

**TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD REGULAR MEETING  
THURSDAY AUGUST 4, 2016 10:00 AM  
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO  
AGENDA**

	<b>Time</b>	<b>Min.</b>	<b>Presenter</b>	<b>Type</b>	
<b>1.</b>	10:00		Chair		Call to Order
<b>2.</b>	10:00	5	Van Nimwegen	Action	Reading and Approval of Summary of Motions of the July 7, 2016 Design Review Board Meeting
<b>3.</b>	10:05	60	Bangert	Public Hearing Quasi-Judicial Action	Consideration of a Design Review application for a new single family home on Lot 5, 137 Vischer Drive (Continued from the July 7, 2016 DRB meeting)
<b>4.</b>	11:05	30	Van Nimwegen	Public Hearing Quasi-Judicial Action	Consideration of a Design Review application for a new single family home on Lot 181, 118 Highlands Way (Continued from the July 7, 2016 DRB meeting)
<b>5.</b>	11:35	45	Van Nimwegen	Work Session	Conceptual Work Session application for a proposed new single-family home on Lot 165R, Unit 12 of The Cortina Land Condominiums
<b>6.</b>	12:20	30	Lunch		
<b>7.</b>	12:50	45	Bangert	Work Session	Consideration of a Conceptual Work Session application for a proposed new single family home on Lot GH-11, 111 Cabins Lane
<b>8.</b>	1:35	5	Van Nimwegen	Informational	Other Business
<b>9.</b>	1:40				Adjourn

**SUMMARY OF MOTIONS  
TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD MEETING  
THURSDAY JULY 7, 2016**

**Call to Order**

Chairman Dave Eckman called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:05 a.m. on Thursday July 7, 2016 in the Conference Room at 455 Mountain Village Boulevard Mountain Village, CO 81435.

**Attendance**

**The following Board/Alternate members were present and acting:**

Dave Eckman (Chair)  
Dave Craige  
Phil Evans  
Keith Brown  
Greer Garner  
Luke Trujillo  
Jean Vatter (Alternate)  
Liz Caton (Alternate)

**The following Board members were absent:**

Banks Brown

**Town Staff in attendance:**

Glen Van Nimwegen, Director of Planning and Development Services  
Dave Bangert, Senior Planner/Forester  
Jim Mahoney Town Attorney

**Public in attendance:**

Mathew Franklin MTN Design  
David Heaney  
Dominic Mauriello - MPG  
Kris Bartosiak  
DH Meek  
Peter Sante  
Shane Jordan  
Christian Wieninger  
Kerstin Wieninger  
Dave Ballode  
Ryan Deppen  
Anton Benitez TMVOA

**Reading and Approval of Summary of Motions of the June 2, 2016 Design Review Board Meeting.**

On a **Motion** made by Phil Evans and seconded by Jean Vatter, the DRB voted **7-0** to approve the Summary of Motions from the June 2, 2016.

**Review for a Recommendation to Town Council for an ordinance amending the Community Development Code to further limit the rezoning and subdivision of Single Family lots.**

Glen Van Nimwegen and Jim Mahoney presented the Board with the proposed recommendations to Town

Council for an ordinance to amend the Community Development Code to further limit the rezoning and subdivision of Single Family lots. Discussion and review took place between the board and staff, with public comment received from Dominic Mauriello and David Heaney.

On a **Motion** made by Phil Evans and seconded by Greer Garner, the DRB voted **5-2**, with David Craige and Keith Brown opposing the motion, DRB moved to recommend to the Town Council the following:

1. The Town Council reconsiders the ability to subdivide single family lots at all and the DRB believes that subdivision of single family lots should be prohibited.
2. In the event that Town Council continues with the ability to subdivide single family lots the language proposed by staff is recommended; with the condition that lots are only eligible for one subdivision.

**Consideration of a Design Review application for a new single family home on Lot GH-15, 115 Cabins Lane**

Dave Bangert presented an overview of the proposed project for a single family home on Lot GH-15, 115 Cabins Lane, Matt Franklin presented on behalf of the owner.

On a Motion made by Greer Garner and seconded by David Craige, the DRB voted **6-1**, with Keith Brown opposing the motion, to approve the project with the following conditions:

1. Revise landscape plan to show more aspen planting if need be due to clearing for wildfire mitigation.
2. Prior to issuing a building permit the applicant will update plans to show a shed roof, or raise the pitch of the roof to protect the back stairwell from snow fall.
3. A survey of the footers will be provided prior to pouring concrete to determine the no encroachments into the GE.
4. Prior to issuing a building permit the applicant will update plans to show exterior light on the upper deck lowered below the height of the doors.
5. Prior to CO grade and retaining will be lowered to expose more of the front entry way.
6. Prior to issuing of a building permit the applicant will submit stone pattern photos to Staff for DRB review.
7. Prior to issuing a building permit the applicant will revise plans to show the ridge over the Master bedroom raised to meet the ridge of the 12:12 primary roof.

**Consideration of a Design Review application for a new single family home on Lot 181, 118 Highlands Way.**

Glen Van Nimwegen presented an overview of the proposed project for a single family home on Lot 181, 118 Highlands Way, Peter Sante and Shane Jordan presented on behalf of the owners.

On a Motion made by Luke Trujillo and seconded by Phil Evans, the DRB voted **6-1**, with Dave Eckman opposing the motion, to continue this application till the August 4, 2016 Design Review Board Meeting with direction to the applicant to address:

1. The design of the car storage/carport;
2. Exterior lighting that will not intrude on neighboring property;
3. Provide window trim details per the CDC;
4. Reconsider the chimney design.

**Consideration of a Design Review application for a new single family home on Lot 5, 137 Vischer Drive (Staff Recommendation to continue this item till the August Design Review Board Meeting)**

On a **Motion** made by Phil Evans and seconded by Greer Garner, the DRB voted **7-0** to continue this item to the August 4, 2016 Design Review Board Meeting.

**Consideration of a Minor Revisions application for Lot 221AR, 200 Wilson Peak Drive to allow for encroachments into the General Easements**

Luke Trujillo recused himself due to a conflict of interest for this agenda item.

Dave Bangert requested consideration of a Minor Revisions application for Lot 221AR, 200 Wilson Peak Drive to allow for encroachments into the General Easements. Luke Trujillo presented on behalf of the owner.

On a **Motion** made by Phil Evans and seconded by Greer Garner, the DRB voted **7-0** to approve the application for minor revisions for Lot 221AR, 200 Wilson Peak Drive to allow for encroachments into the General Easements.

David Craige left the meeting at 2 p.m.

**Other Business.**

Glen Van Nimwegen reminded Board members about the July 21, 2016 Joint Town Council meeting with the Design Review Board.

Board Member Evans suggested the Board and staff schedule a tour of recently completed projects. It was suggested that perhaps October would be an appropriate date.

On a **Motion** made by Phil Evans and seconded by Greer Garner, the DRB voted **7-0** to adjourn the July 7, 2016 meeting of the Mountain Village Design Review Board at 2:48 p.m.

Respectfully Submitted,

Glen Van Nimwegen  
Director



**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

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**TO:** Design Review Board  
**FROM:** Dave Bangert  
**FOR:** Meeting of August 4, 2016  
**DATE:** July 29, 2016  
**RE:** Design Review application for a new single-family dwelling on Lot 5

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**PROJECT GEOGRAPHY**

**Legal Description:** Lot 5  
**Address:** 137 Vischer Drive  
**Applicant/Agent:** Jack Wesson Architects, Inc.  
**Owner:** Silverleaf, LLC  
**Zoning:** Single-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 0.38

**Adjacent Land Uses:**

- **North:** Open Space
- **South:** Single-Family
- **East:** Multi-Family
- **West:** Single-Family

**ATTACHMENTS**

- Exhibit A: Narrative
- Exhibit B: Plan Set

**RECORD DOCUMENTS**

- Town of Mountain Village Community Development Code (as adopted March 2013)
- Town of Mountain Village Home Rule Charter (as amended on June 28, 2005)
- Design Review Application as maintained by the Community Development Department.

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	40' maximum (35'+5' for gable roof)	37' 5"
Maximum Avg Building Height	35' maximum (30'+5' for gable roof)	26' 4"
Maximum Lot Coverage	40% maximum	18.8%
General Easement Setbacks		
North	16' setback from lot line	45'+ to GE
South	16' setback from lot line	8.5' to GE
East	16' setback from lot line	0' to GE
West	16' setback from lot line	0' to GE
Roof Pitch		
Primary	6:12 to 12:12	9:12, 4:12
Secondary	4:12 unless specific approval	4:12, 3:12, 2.5:12
Exterior Material		
Stone	35%	30.5%
Wood	25% (No requirement)	31.89%
Windows/Doors	40% maximum for windows	20.63%
Metal Accents	Specific Approval	16.85%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

**BACKGROUND**

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Design Review for the development of a single-family residence. The proposed project consists of a 4,699 total square foot (576 sq. ft. garage) single-family home located on lot 5. The Design Review Board conducted a Conceptual Work Session for this project on March 30, 2016.

**CRITERIA FOR DECISION**

1. The proposed development meets the Design Regulations;
2. The proposed development is in compliance with the Zoning and Land Use Regulations;
3. The proposed development complies with the road and driveway standards;
4. The proposed development is in compliance with the other applicable regulations of this CDC;
5. The development application complies with any previous plans approved for the site still in effect;
6. The development application complies with any conditions imposed on development of the site through previous approvals; and
7. The proposed development meets all applicable Town regulations and standards.

**17.3.12.C BUILDING HEIGHT LIMITS**

The applicant has stated that the maximum building height will be 37'-5" and average building height is 26'-4". When a proposed development is approved that is five (5) feet or less from the maximum building height or maximum average building height, the review authority approval shall include a condition that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This shall be done prior to the Building Division conducting the required framing inspection.

**17.5.5 BUILDING SITING DESIGN**

Lot 5 is a small (0.38 acres) irregularly shaped lot that slopes from east to west and narrows as it goes north towards the horse shoe curve on Vischer Drive. The tree cover on the lot is almost

entirely aspen with a couple of small spruce mixed with the aspen understory. Most of the aspen overstory is in decline and will be removed either for the home construction or wildfire mitigation. Positioning the proposed home to capture the desired views to the north requires that the design be narrow in the northern section of the lot to maintain the GE setbacks and widening towards the south where there is more buildable room. There is a proposed retaining wall for the driveway that extends into the western General Easement which will require approval from the DRB as well as an encroachment agreement with Town. The NE corner of the home's roof line and SW corner of the garage roof line are depicted right on the General Easement. Due to the foundation being within 5 feet of the General Easement this will require a monumented survey prior to pouring foundation footers. This is a condition of approval.

### **17.5.6 BUILDING DESIGN**

#### **Building Form and Exterior Wall Form**

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick massed base.

#### **Roof Forms, Design and Materials**

The CDC allows for primary roof pitches to be between 6:12 and 12:12 and be gable in form, and secondary roofs will not have pitches less than 4:12 and be either gable or shed in form. The proposed roof forms are a combination of 3 gables and 7 sheds. Two of the gables are primary and have 9:12 and 4:12 pitches and the secondary gable is 9:12. The primary shed roof is a 4:12 with secondary shed roofs from 3:12 down to 2.5:12. The roofing material proposed is bonderized standing seam. The DRB should consider if these variations to the roof forms and pitches are appropriate for the lot and the surrounding neighborhood.

- The applicant is seeking specific approval for the following design variation pursuant to CDC Section 17.4.11(E) (5):
  1. Proposed primary roof to be a shed rather than a gable as outlined in CDC Section 17.5.6. (C)(1)(a).
  2. Proposed secondary shed roofs with 2.5:12 and 3:12 pitches as outlined in CDC Section 17.5.6. (C)(2)(b).
  3. Proposed reduction in stone percentage from 35% to 30.5% as outlined in CDC Section 17.5.6. (E)(1)(a).
- Section 17.4.11(E) (5) (e) and (f) states:
  - (e) The following criteria shall be met for the review authority to approve a design variation development:
    - i. The design variation is compatible with the design context of the surrounding area, and provides for a strong mountain vernacular design.
    - ii. The design variation is consistent with the town design theme;
    - iii. The strict development application of the Design Regulation(s) would prevent the applicant or owner from achieving its intended design objectives for a project;
    - iv. The design variation is the minimum necessary to allow for the achievement of the intended design objectives;

- v. The design variation is consistent with the purpose and intent of the Design Regulations;
  - vi. The design variation does not have an unreasonable negative impact on the surrounding neighborhood; and
  - vii. The proposed design variation meets all applicable Town regulations and standards.
- (f) Cost or inconvenience alone shall not be sufficient grounds to grant a design variation.

The applicant’s narrative states the following concerning the variations:

**Exterior Wall Materials**

The exterior walls consist of 30.64%% stone (Telluride Gold dry stack) the DRB will need to give approval of this design variation, staff recommends that the chimney flue be covered in stone rather than the proposed oiled metal panels to bring the stone percentage into compliance; 31.89% wood siding with 12” horizontal siding stained or painted, 8” vertical siding (barn wood or stained) and 8” horizontal siding (barn wood or stained); 16.85% metal accents panels (oil rubbed finish), rusted corrugated metal siding; and 20.63% fenestration (metal clad, color not specified). With a 30.64% stone coverage, the stone percentage does not meet the 35% minimum and will require approval from the DRB for this design variation. Wood siding shall be a minimum size of one inch by eight inches (1" x 8") in dimension. Metal panel accents require specific approval from the DRB. The DRB should review the steel panel accents to determine if these elements are appropriate and compatible with the surrounding area development.

**17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan prepared by Alpine Land Consulting, LLC for the proposed development. Positive drainage away from the structure has been created with two (2) 1’ deep drainage swales terminating in a 2’ x 2’ area drain in the western General Easement. The applicant is proposing either a 12” storm drain or a drainage swale to run between Lot 6 and Lot 7A. This will require agreements between the owners of Lots 5, 6, and 7A as well a General Easement encroachment agreement with the Town.

**17.5.8 PARKING REGULATIONS**

The unit is proposing two (2) indoor and two (2) outdoor surface parking spaces. All parking spaces are completely located within the property boundaries.

**17.5.9 LANDSCAPING REGULATIONS**

The proposed landscape plan shows three (3) 3” aspens, three (3) multi stem aspens, two (2) spruces ( 1-8” and 1-10” which will need to be changed to a 12’ to meet code), two bristlecone pines, two Mugo pines, five (5) Montgomery spruces as well as assorted shrubs, perennials and ground cover. All plantings shall be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

Landscaping Type	Minimum Size
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or

	larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.
Shrubs	5 gallon or larger massing of smaller shrubs

An irrigation plan has been submitted and is in compliance with Table 5-3, Irrigation System Design. A rain shut-off device is called out in the plans but a backflow prevention device will need to be added to the irrigation plan prior to issuance of a building permit.

**17.5.11 UTILITIES**

All utilities are located on the western side of the lot with minimal site disturbance. The proposed sewer alignment runs between Lots 6 and 7A in the General Easements. This will require a General Easement encroachment agreement with the Town. Public Works has determined that this sewer alignment is the most desirable.

**17.5.12 LIGHTING REGULATIONS**

The proposed lighting plan includes seven (7) sconces, five (5) recessed cans and thirteen (13) steep lights. Locations include egress, deck, garage and patio areas. Lighting is permitted in all proposed locations. All lighting has been designed as full cut-off fixtures with LED bulbs. All bulbs to be LED 10w, 2500K-2700K.

**17.5.13.E.4 ADDRESS IDENTIFICATION SIGNS**

The address monument design meets the code; however it is proposed to be placed in the General Easement. Address monuments may be located in the General Easement provided the owner enters into a General Easement revocable encroachment agreement with the Town. This will be a condition prior to Certificate of Occupancy.

**17.6.6. B. DRIVEWAY STANDARDS**

The driveway grades are all compliant, 5% for the first 20’ and auto court area 2% - 2.5%. The driveway width is 24’, over the 12’ width for single family homes but due to short driveway length it is appropriate for the design.

**17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS**

The applicant has indicated the fireplace will be a gas and not solid fuel-burning. Staff would note that in order to install a solid fuel-burning device (i.e., interior fireplace, wood burner or fireplace insert) in any structure in the Town, the Owner must have or obtain a permit from the Town.

**17.7.19 CONSTRUCTION MITIGATION**

All construction staging is with the lot boundaries but the construction staging plan shows material storage and disturbance in the General Easements. This disturbance is minimal and will not adversely affect the surrounding properties.

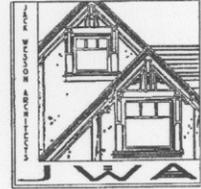
**PROPOSED VARIATIONS AND SPECIFIC APPROVALS**

- A reduction in stone from the 35% minimum to 30.64%;
- Primary roof to be a shed rather than a gable;
- Secondary roofs with 2.5:12 and 3:12 pitches;
- Metal panel accents; and
- Retaining wall in the western General Easement.

**RECOMMENDATION**

Staff recommends the DRB approve the Design Review application for Lot 5 with the following motion:

*“I move to approve a Design Review Process development application for a new single-family residence on Lot 5, with the findings and conditions as set forth at the July 7, 2016 DRB meeting”*



## NARRATIVE

5-27-16

To: Mountain Village Design Review Board

From: Jack Wesson  
110 S. Pine unit 1  
Telluride, Co 81435  
Ph: (970) 728-9755 ext. 27

Re: Akhras Residence  
Lot 5 Mountain Village  
Design Review Board Submission

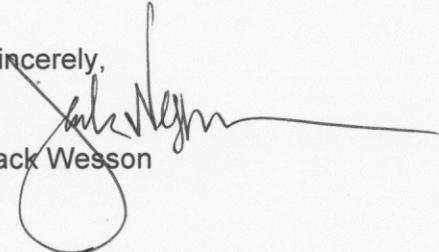
The applicant is submitting for Design Review Board (DRB) approval a single family house of approximately 4010 sf (plus 576 sf garage). The house has a single access off of the cul de sac at the end of Vischer Drive. The driveway is short and straight with a short section at a 10% slope.

The applicant would like the Board to consider several variations:

1. The applicant would like the board to consider a reduction in stone from the required 35% to 30.5%.
2. The glazing overall exceeds 20% of the overall wall area.
3. The pitch of a lower subordinate roof is 2.5:12.

The massing of the building maintains the intent of the Mountain Village design guidelines. The roof combines indigenous "alpine" gable forms with cascading shed roof forms. The exterior materials will be a mix of stone, stained R.S. wood, metal roof (bonderized standing seam) and plate steel chimney and entry feature. The exterior railings will be a dark patina finished steel.

Sincerely,

  
Jack Wesson

LOT 4

VISCHER DRIVE

BENCHMARK  
"BASE L5-2"  
ELEV.=9427.63'

**SURVEYOR'S STATEMENT:**

This Existing Conditions/Improvement Survey of a portion of Block 27, East Telluride, was field surveyed in December of 2015 under the direct responsibility, supervision and checking of David R. Bulson of Foley Associates, Inc., being a Colorado Licensed Surveyor, in compliance with CRS 38-51-106.

David R. Bulson L.S. 37662

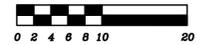
**PROPERTY DESCRIPTION:**

LOT 5, TELLURIDE MOUNTAIN VILLAGE, FILING 1, ACCORDING TO THE PLAT RECORDED MARCH 9, 1984 IN PLAT BOOK 1 AT PAGE 476, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**NOTES:**

- Easement research and property description from Land Title Guarantee Company, order number 86005224 dated October 1, 2015 at 05:00 PM
- According to FEMA Flood Insurance Rate Map 08113C0287 D, panel number 0287-D, dated September 30, 1992, this parcel is within Zone X; Areas of 500-year flood, areas of 100-year flood with average drainage areas of less than 1 square mile, and areas protected by levees from 100-year flood.
- Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.
- This survey is valid only if a print or electronic copy has a seal and signature of the surveyor noted within the statement above.
- Benchmark: Control point "BASE L5-2", as shown hereon, with an elevation of 9427.63 feet.
- Contour interval is two feet.
- The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.
- According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

SCALE: 1" = 10'



	12" ASPEN TREE
	4" SPRUCE TREE
	TELEPHONE PEDESTAL
	TRANSFORMER

**TOPOGRAPHIC SURVEY**  
Lot 5, Telluride Mountain Village,  
San Miguel County, Colorado.

Project Mgr:	DB	Rev:	description	date	by
Technician:	FO				
Checked by:					
Start date:	12/05/2015				



970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Drawing path: Q:\JOBS\

Sheet 1 of 1 Project #: 9092





**LEGEND:**

- - - - - EXISTING CONTOUR (2 FOOT)
- - - - - EXISTING CONTOUR (10 FOOT)
- - - - - NEW CONTOUR (2 FOOT)
- - - - - NEW CONTOUR (10 FOOT)

- — — — — SEWER LINE
- — — — — WATER LINE
- — — — — ELECTRIC LINE
- — — — — CABLE LINE
- — — — — PHONE LINE
- GAS — GAS LINE

**LEGEND:**

- EXISTING ASPEN TREE (SIZE)
- EXISTING SPRUCE TREE (SIZE)
- EXISTING FIR TREE (SIZE)
- EXISTING ASPEN TREE (SIZE) TO BE REMOVED
- EXISTING SPRUCE TREE (SIZE) TO BE REMOVED
- EXISTING FIR TREE (SIZE) TO BE REMOVED

- NEW 3" CAL. ASPEN
- NEW 2 1/2" CAL. / MULTI STEM ASPEN
- NEW SPRUCE TREE (1-8') (1-10') MINIMUM HT.
- NEW BRISTLECONE PINE
- NEW MUGO PINE
- NEW 4 GAL. POTENTILLA
- NEW 5 GAL. MONTGOMERY SPRUCE
- NEW DOGWOOD SHRUB

NATIVE REVEGETATION SEED MIX, SEE LIST FOR COMPOSITION APPROX. 3560 SF.

**PERENNIALS AND GROUND COVER**

- 1 COLUMBINE, SHOOTING STAR, INDIAN PAINTBRUSH, YARROW, BLUEBELL APPROX. 692 SF.
- 2 RUSSIAN SAGE, YELLOW ROSE, DAYLILY, DELPHINIUM, BLEEDING HEART, CINQUEFOIL APPROX. 290 SF.

**WATER USAGE CHART:**

TYPE	TOTAL #	AVERAGE MONTHLY USAGE	TOTAL MONTHLY USAGE
ASPEN	6	10 GAL. EACH	60 GAL./MO.
SPRUCE/BRISTLECONE/MUGO	6	10 GAL. EACH	60 GAL./MO.
5 GAL. POTENTILLA	11	2 GAL. EACH	22 GAL./MO.
5 GAL. SHRUB	5	2 GAL. EACH	10 GAL./MO.
DOGWOOD SHRUB	11	2 GAL. EACH	22 GAL./MO.
TOTAL MONTHLY USAGE			174 GAL./MO.

\*NOTE: INSTALL RAIN SHUT-OFF DEVICE AS REQ'D BY SECTION 9-210

- IRRIGATION LEGEND:**
- HOSE BIB
  - SUPPLY LINE
  - 1" DRIP SYSTEM LINE

- LIGHTING LEGEND:**
- EXTERIOR PENDANT - 25 WATT BULB MAX.
  - EXTERIOR WALL SCONCE - 25 WATT BULB MAX.

**GENERAL NOTES:**

1. SOIL PREPARATION SPECIFICATIONS: SOIL IN REVEG. AREA WILL BE AMENDED WITH HYDROMULCH.
2. THIS LANDSCAPE PLAN COMPLIES WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOxious WEEDS.
3. THE PROPERTY OWNER GUARANTEES ALL PLANT MATERIALS FOR TWO YEAR.
4. ALL TREES AND SHRUBS SHALL BE BACKFILLED WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 4" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS, SHREDDED CEDAR BARK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK. PLANTING DETAILS FOR ROOT SYSTEMS, SOIL PREPARATION, IRRIGATION, MULCHING, AND FERTILIZATION TECHNIQUES SHALL BE IN ACCORDANCE WITH GUIDELINES SET FORTH BY THE ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO.
8. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.

NOTE: REVEGETATION IS WILL BE NATIVE MIX

- 5% WESTERN YARROW
- 10% TALL FESCUE
- 5% ARIZONA FESCUE
- 5% HARD FESCUE
- 10% CREEPING RED FESCUE
- 15% ALPINE BLUEGRASS
- 10% CANADA BLUEGRASS
- 15% PERENNIAL RYEGRASS
- 10% SLENDER WHEATGRASS
- 15% MOUNTAIN BROME

**VEGETATION AND EROSION CONTROL NOTES:**

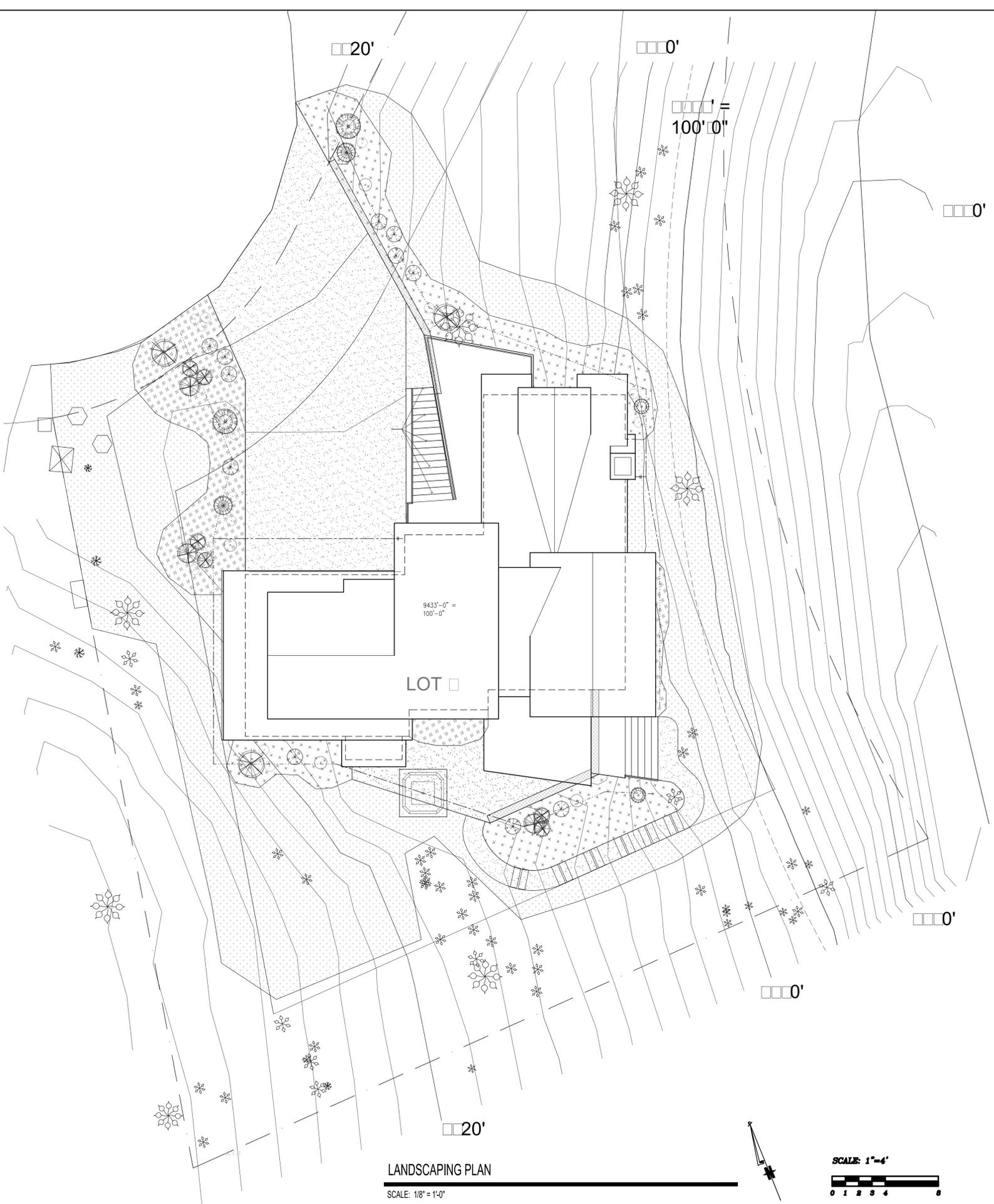
1. SUBSOIL SURFACES SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE RE-VEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS SHALL BE TILLED AT A RATE OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
4. NEWLY SEEDD AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION-CONTROL NETTING.
5. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDD AREA AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
7. EROSION-CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER IF ALLOWED BY VARIANCE TO SECTION 9-103-2, AND IN DRAINAGE SWALES.
8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.
9. ROAD AND DRIVEWAY SHALL BE RE-VEGETATED WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-VEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.
10. EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OR HAZARD TO ANY FENCES, STREETS OR WETLANDS.
11. IN AREAS THAT ARE TO BE RE-VEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SOIL SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED).

- QUANTITY:**
- 3 NEW 3" CAL. ASPEN
  - 3 NEW 2 1/2" CAL. / MULTI STEM ASPEN
  - 2 NEW SPRUCE TREE (1-8') (1-10') MINIMUM HT.
  - 2 NEW BRISTLECONE PINE
  - 2 NEW MUGO PINE
  - 18 NEW 4 GAL. POTENTILLA
  - 5 NEW 5 GAL. MONTGOMERY SPRUCE
  - 11 NEW DOGWOOD SHRUB

THE PROJECT SHALL COMPLY WITH THE TOWNS FIRE MITIGATION STANDARDS

THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY FROM THE HOUSE AS REQUIRED BY TOWNS ADOPITIVE BUILDING CODES



**LANDSCAPING PLAN**  
SCALE: 1/8" = 1'-0"

SCALE: 1" = 4'  
0 1 2 3 4 8

**JACK WESSON ARCHITECTS INC.**  
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jwk@wessonarch.com  
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---

PROJECT NAME:  
**LOT 5: AKHRAS**  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**SITE □ LA □ S**

---

PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
© 2008 JWA

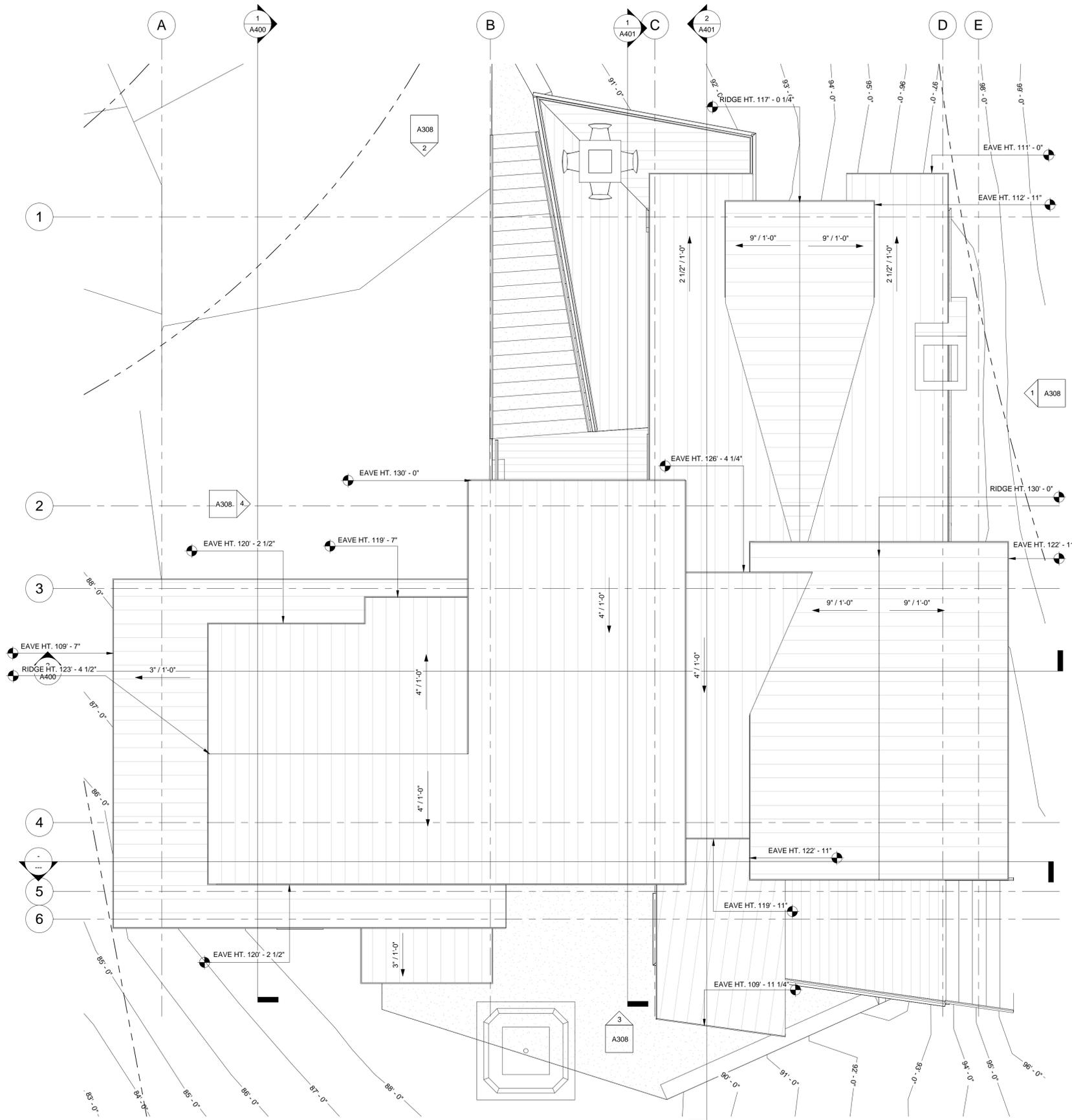
SHEET NUMBER:  
**A102**











1 ROOF PLAN  
1/4" = 1'-0"



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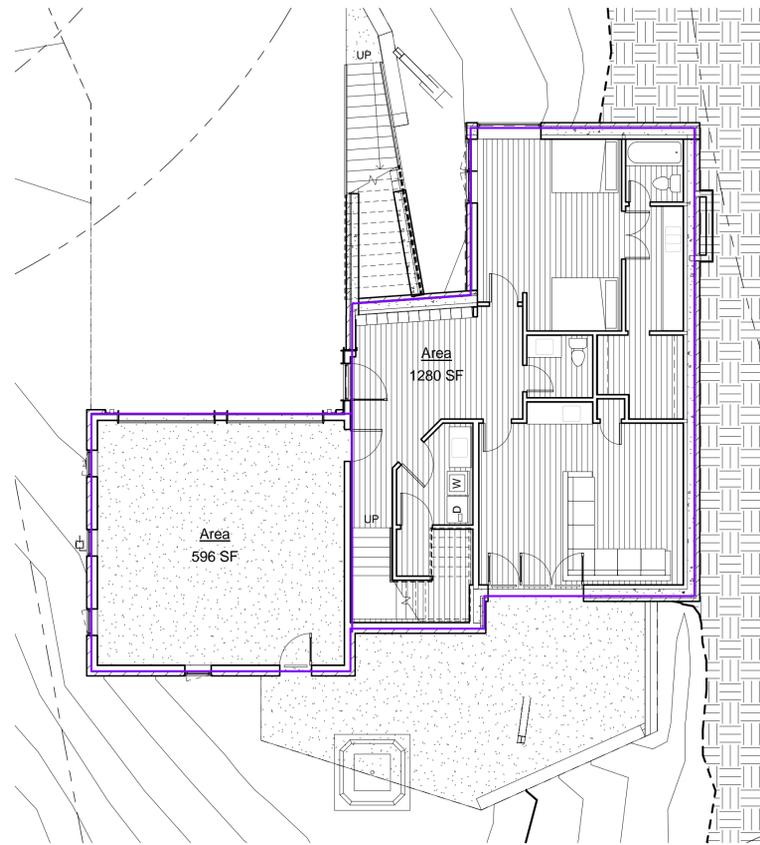
PROJECT NAME:  
AKHRAS  
LOT 5  
MOUNTAIN VILLAGE, COLORADO 81435

5-26-16 | DRB APPLICATION  
3-23-16 | WORK SESSION  
3-11-16 | WORK SESSION  
1-14-16 | D.D.

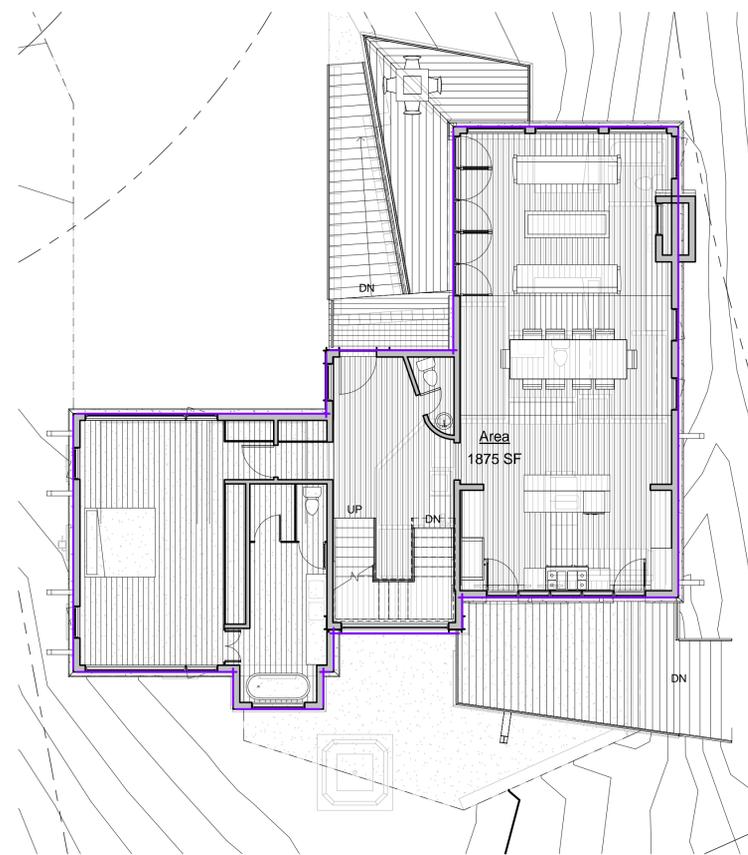
SHEET DESCRIPTION:  
ROOF PLAN

MARK	REV	DATE	DESCRIPTION

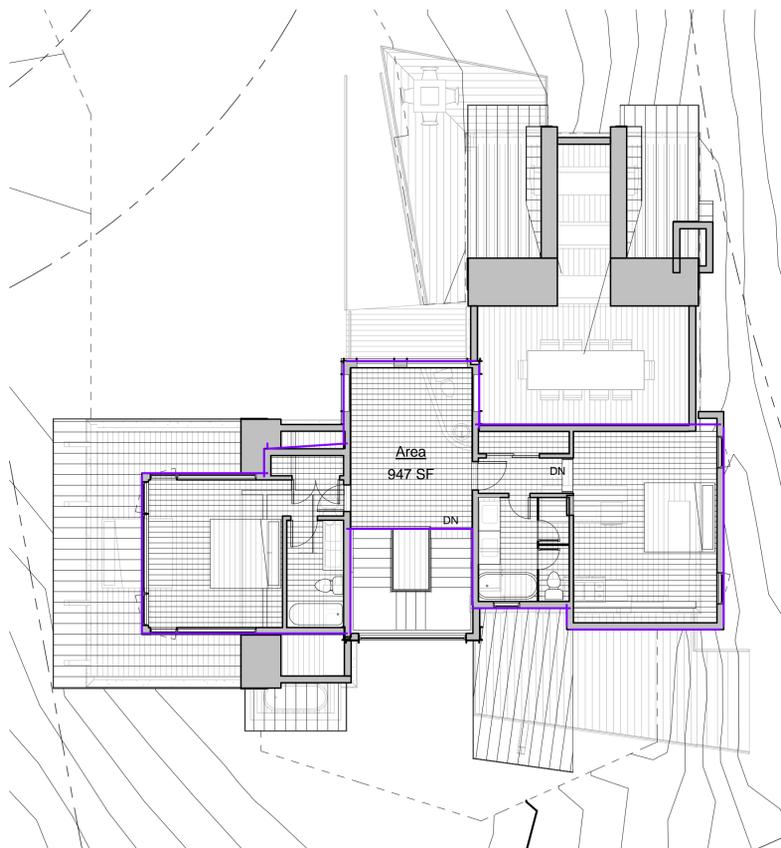
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**A204**



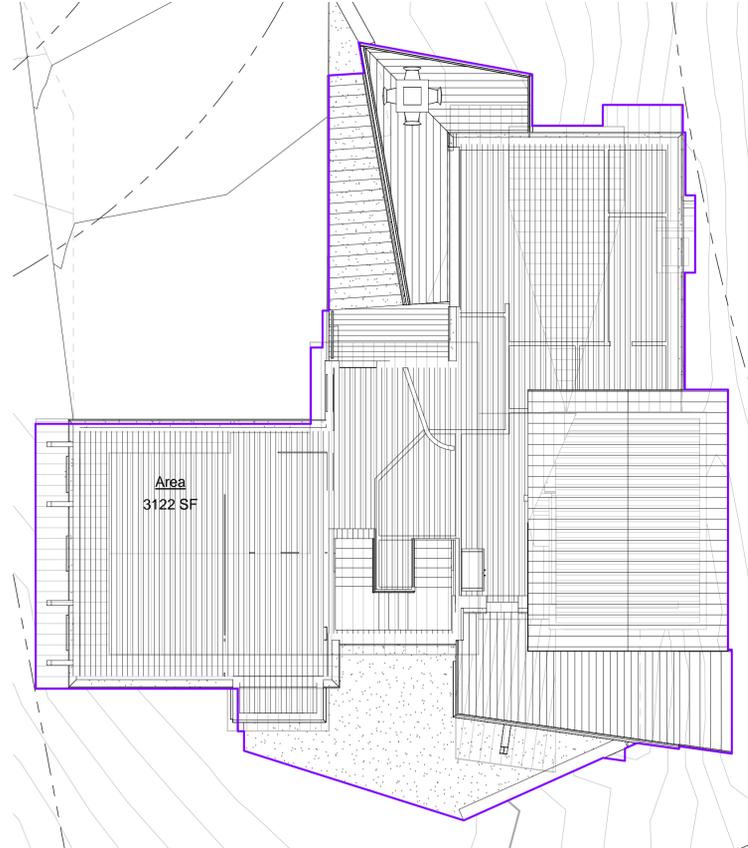
① A201 BASEMENT  
1/8" = 1'-0"



② A202 ENTRY LEVEL  
1/8" = 1'-0"



③ A203 UPPER LEVEL  
1/8" = 1'-0"



④ ROOF PLAN  
1/8" = 1'-0"

BASEMENT LEVEL: 1284 SF  
 GARAGE: 593 SF  
 ENTRY LEVEL: 11875 SF  
 UPPER LEVEL: 947 SF  
 TOTAL: 4899 SF  
 \*\*\*SQUARE FOOTAGE REQUIRES  
 A FIRE SPRINKLER SYSTEM\*\*\*  
 TOTAL LOT AREA: 16,602 SF  
 ALLOWABLE SITE COVERAGE (40%):  
 6,640.8 sf.  
 ACTUAL SITE COVERAGE : 3122 SF.



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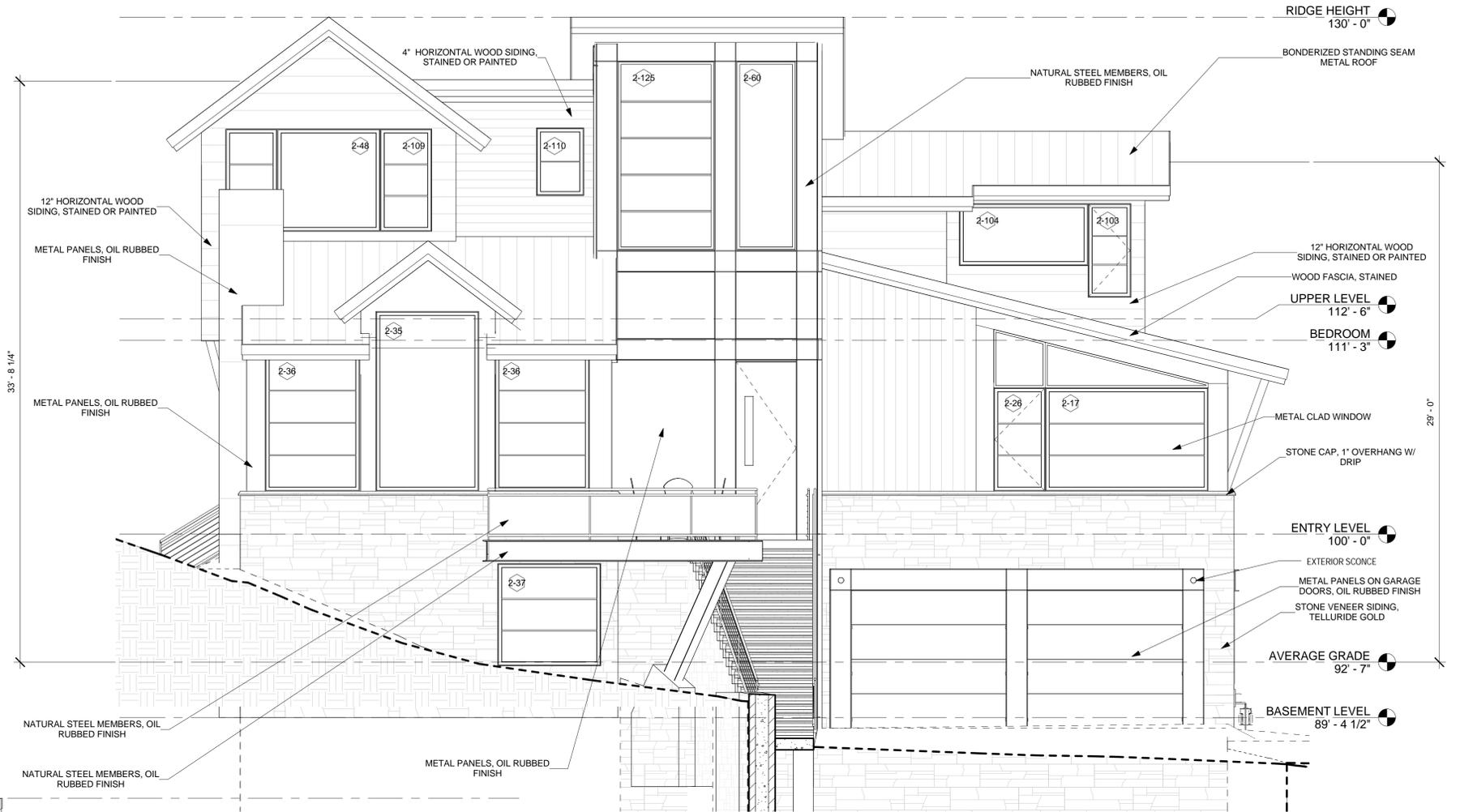
12-9-15	PERMIT SET
12-9-15	DRS CONDITIONS
11-25-15	UPDATE SET
11-20-15	REVISIONS
11-11-15	REVISIONS
11-6-15	REVIT DRAWINGS
11-2-15	REVIT DRAWINGS

MARK	REV. DATE	DESCRIPTION

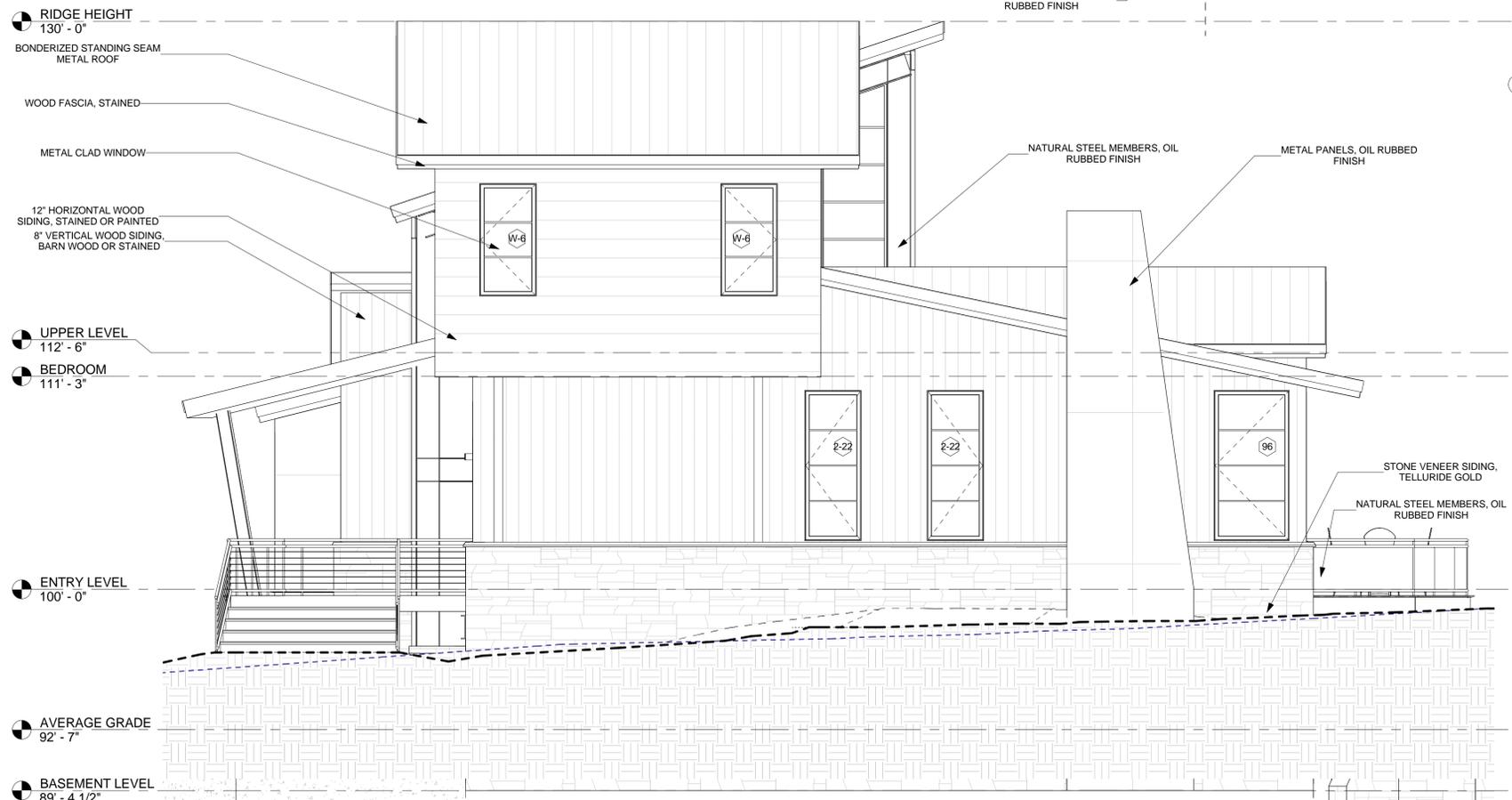
PROJECT NAME:  
**TRAILS EDGE 2**  
 LOT 900BR-2  
 MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**GROSS BUILDING AREA**

SHEET NUMBER:  
**A210**



1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"

Window Schedule		
Type Mark	Nominal Height	Nominal Width
2-17	6'-0 7/8"	9'-6"
2-17	6'-0 7/8"	9'-6"
2-22	8'-0"	3'-0"
2-22	8'-0"	3'-0"
2-26	6'-0 7/8"	3'-0"
2-26	6'-0 7/8"	3'-0"
2-26	6'-0 7/8"	3'-0"
2-26	6'-0 7/8"	3'-0"
2-34	5'-6"	2'-6"
2-34	5'-6"	2'-6"
2-34	5'-6"	2'-6"
2-34	5'-6"	2'-6"
2-35	10'-6"	6'-0"
2-36	8'-0"	5'-6"
2-36	8'-0"	5'-6"
2-37	6'-0"	6'-0"
2-48	6'-0"	6'-0"
2-51	5'-6"	7'-6"
2-52	4'-0"	2'-6"
2-53	5'-6"	3'-0"
2-53	5'-6"	3'-0"
2-58	8'-0"	6'-0"
2-60		
2-102	8'-0"	5'-0"
2-103	5'-6"	2'-6"
2-103	5'-6"	2'-6"
2-104	3'-8"	7'-6"
2-104	3'-8"	7'-6"
2-105	8'-6"	10'-2"

Window Schedule		
Type Mark	Nominal Height	Nominal Width
2-106	9'-0"	10'-2"
2-108	8'-0"	3'-0"
2-108	8'-0"	3'-0"
2-109	6'-0"	3'-0"
2-109	6'-0"	3'-0"
2-110	4'-0"	2'-9"
2-125		
2-151	10'-0"	3'-6"
2-154	1'-6"	3'-6"
2-155	3'-0"	10'-2"
2-156	6'-0"	3'-0"
2-156	6'-0"	3'-0"
96	8'-0"	4'-0"
W-5	2'-0"	3'-0"
W-6	6'-0"	3'-0"
W-6	6'-0"	3'-0"



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PROJECT NAME: AKHRAS LOT 5 MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION: ELEVATIONS

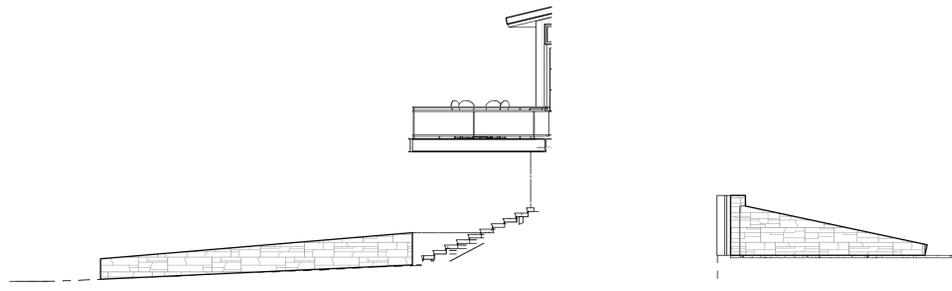
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MARK	REV. DATE	DESCRIPTION
5-26-16		DRB APPLICATION
3-23-16		WORK SESSION
3-11-16		WORK SESSION
1-14-16		D.D.

PROJECT NAME: AKHRAS LOT 5  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
2006 JWR





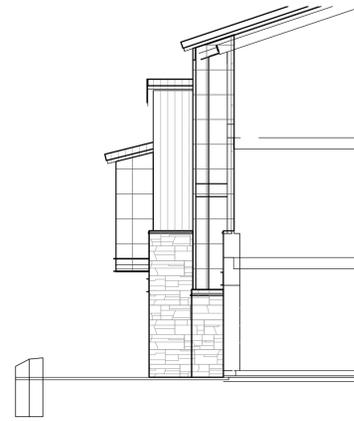


DRIVEWAY RETAINING WALL

SCALE: 1/8" = 1'-0"

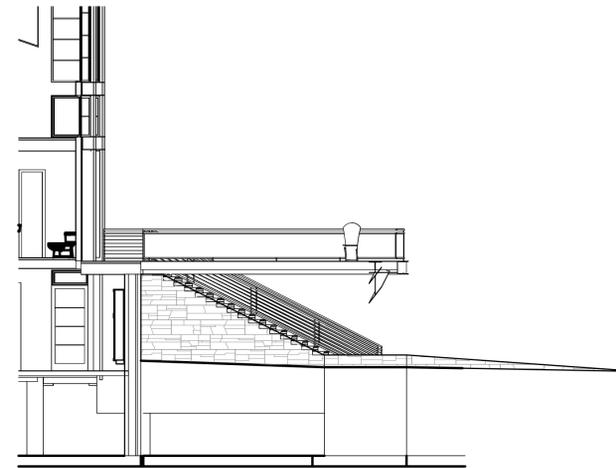
REAR PATIO RETAINING WALL

SCALE: 1/8" = 1'-0"



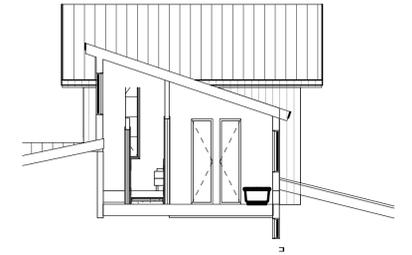
EAST MAIN STAIR MATERIAL STUDY

SCALE: 1/8" = 1'-0"



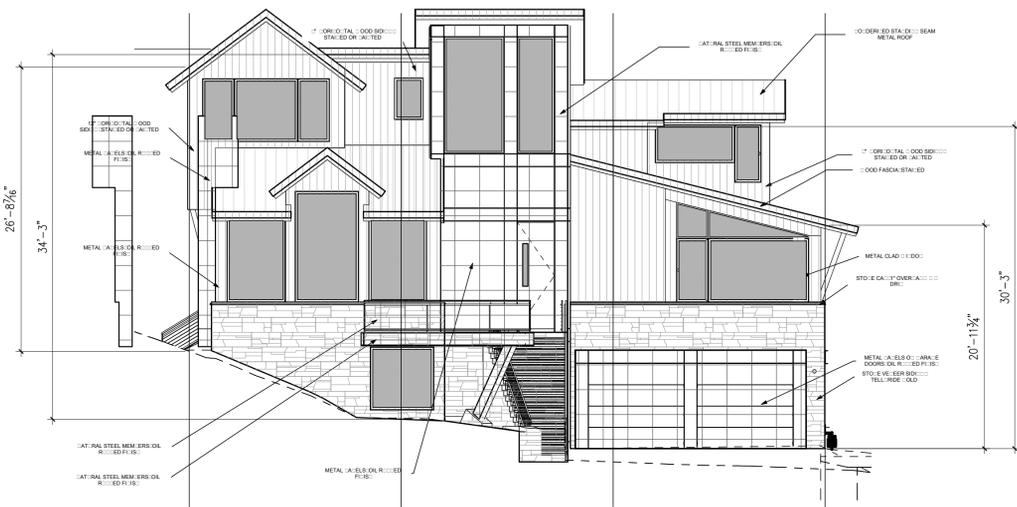
EAST ENTRY STAIR MATERIAL STUDY

SCALE: 1/8" = 1'-0"



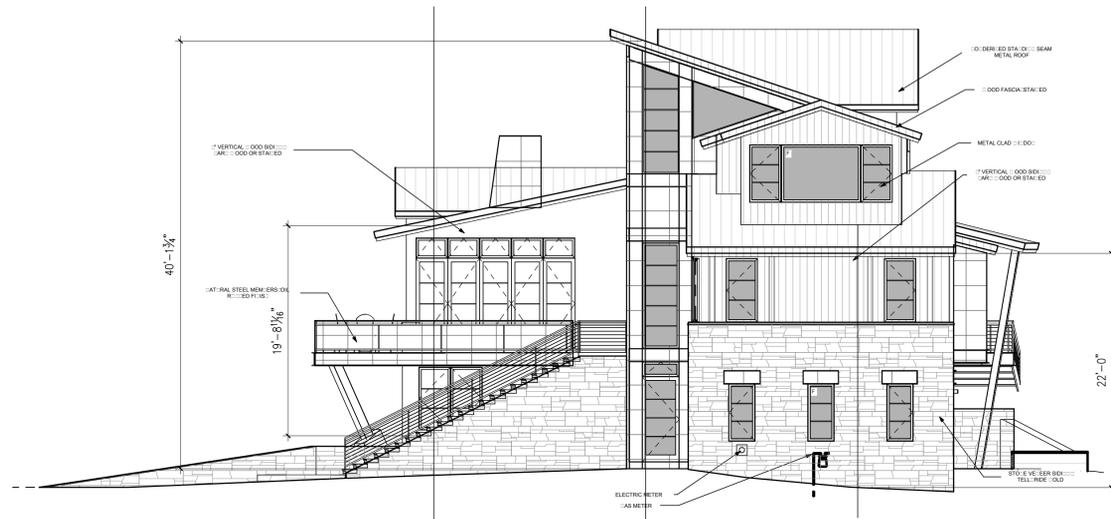
WEST MBR MATERIAL STUDY

SCALE: 1/8" = 1'-0"



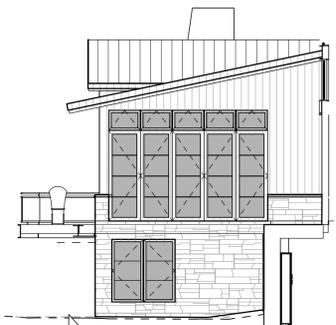
NORTH ELEVATION MATERIAL STUDY

SCALE: 1/8" = 1'-0"



WEST ELEVATION MATERIAL STUDY

SCALE: 1/8" = 1'-0"



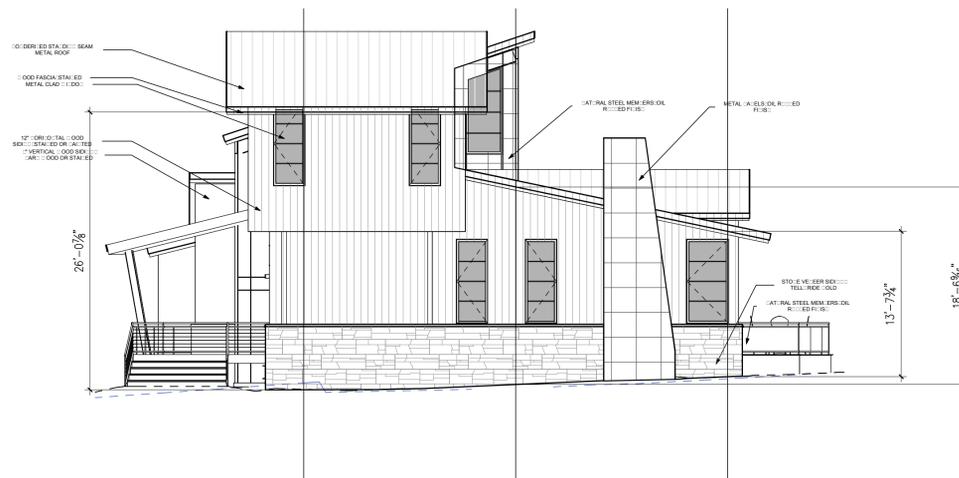
WEST LIVING ROOM MATERIAL STUDY

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION MATERIAL STUDY

SCALE: 1/8" = 1'-0"



EAST ELEVATION MATERIAL STUDY

SCALE: 1/8" = 1'-0"

Elevation	Stone	Wood	Glass	Accent	Total
South	604.8	706.9	541.2	164.5	2017.4
East	220.0	557.7	122.0	162.1	1061.8
North	404.5	592.0	429.1	598.5	2024.1
West	587.5	295.2	219.7	356.8	1459.2
West MBR	0	43.7	0	0	43.7
West Living Room	124.0	173.3	136.9	0	434.2
East Entry Stair	109.0	0.00	0	0	109.0
East Main Stair	80.5	57.7	121.1	0	259.3
Retaining Walls	201.0	0	0	0	201.0
Total	2331.3	2426.5	1570.0	1281.9	7609.7
Percent	30.64%	31.89%	20.63%	16.85%	100.00%

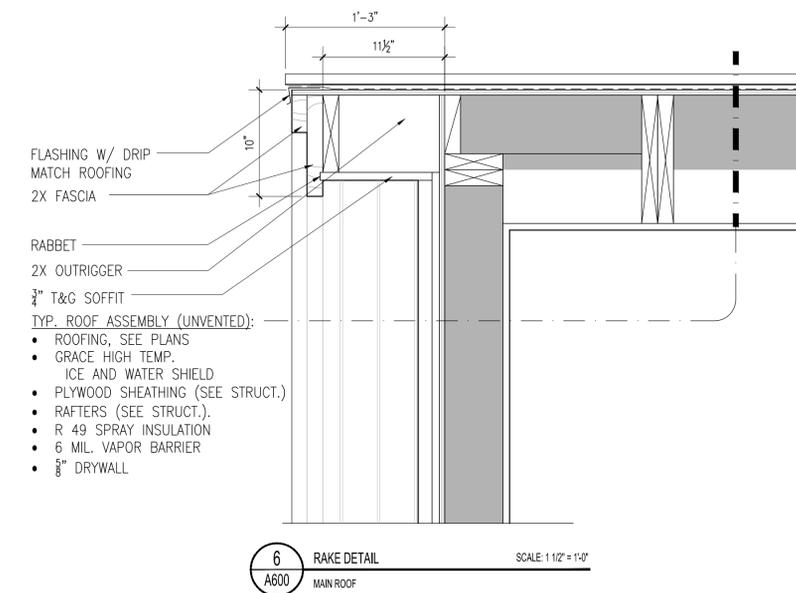
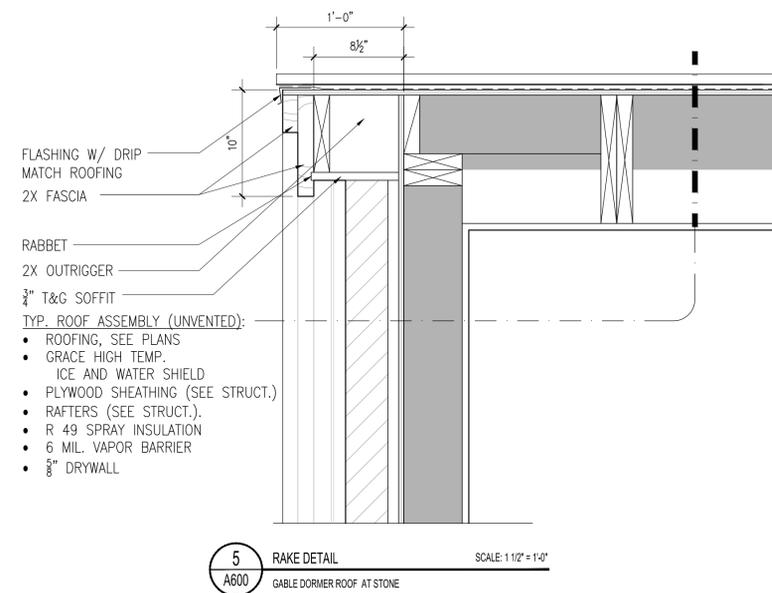
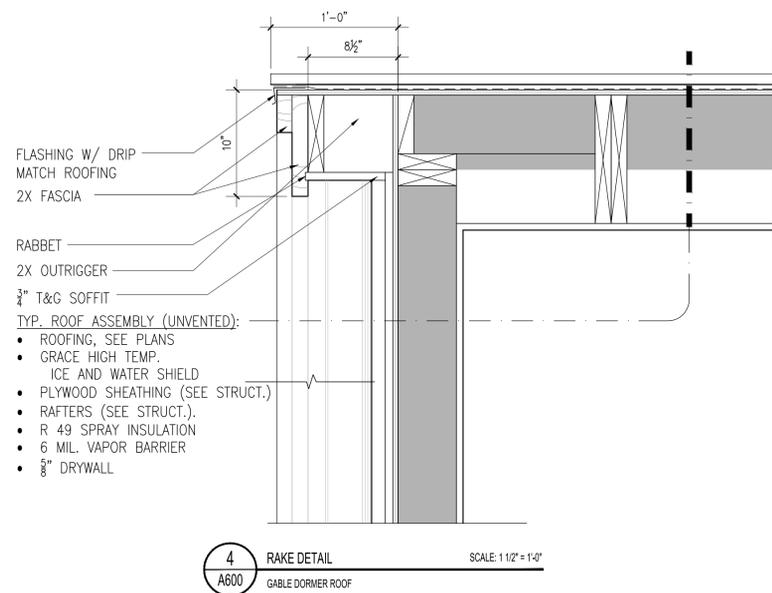
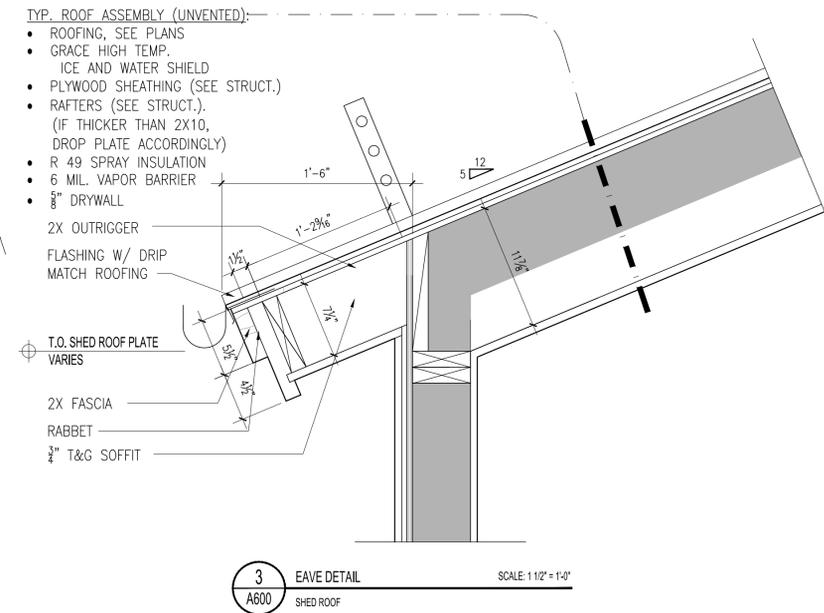
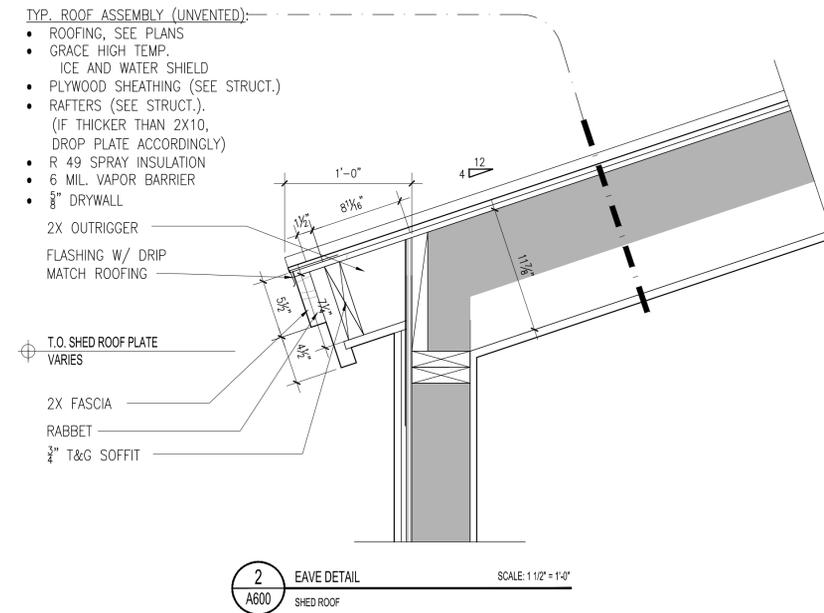
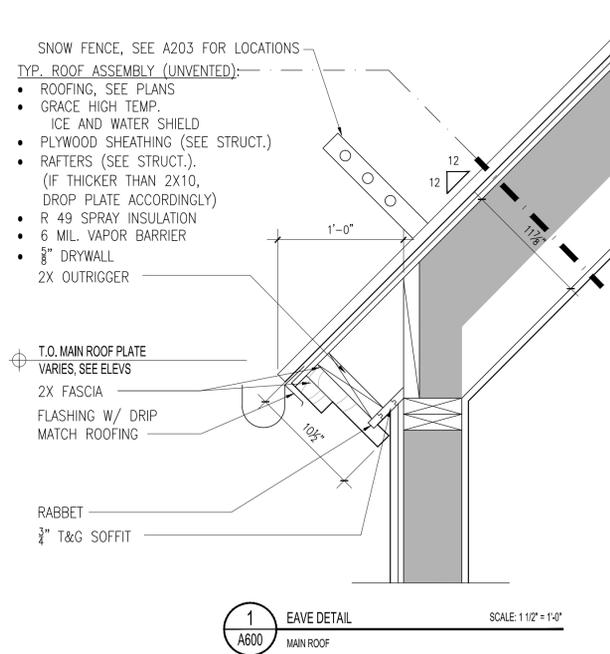
AVERAGE ROOF HEIGHT = 26' 4"



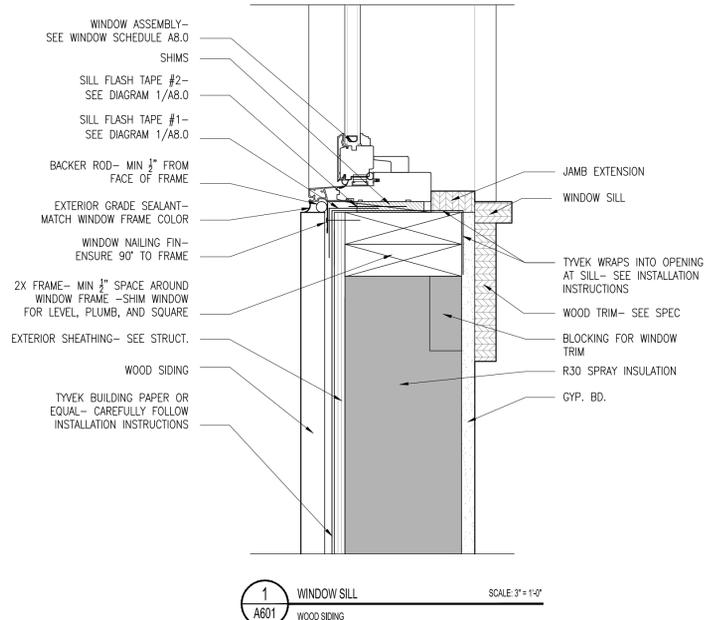
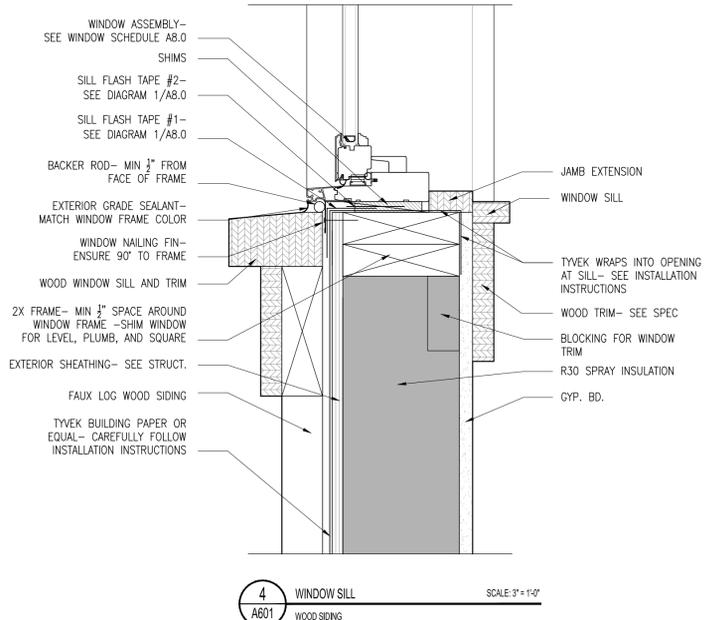
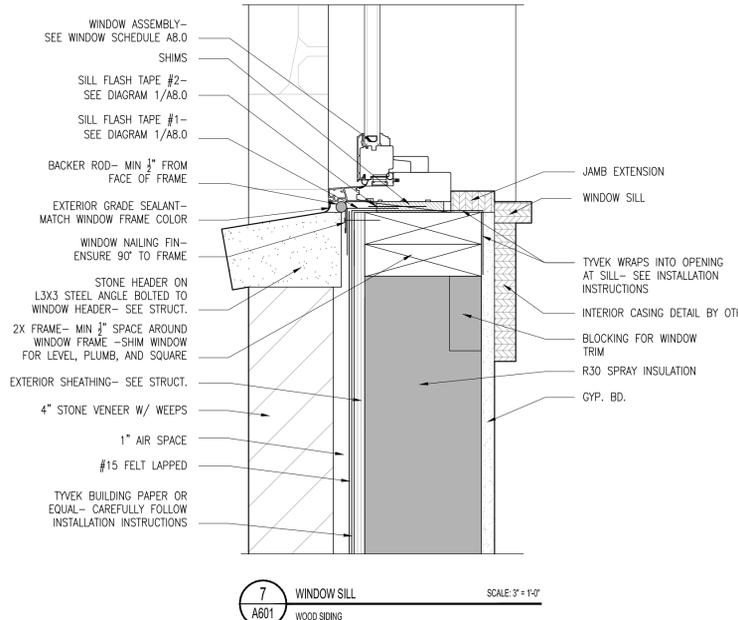
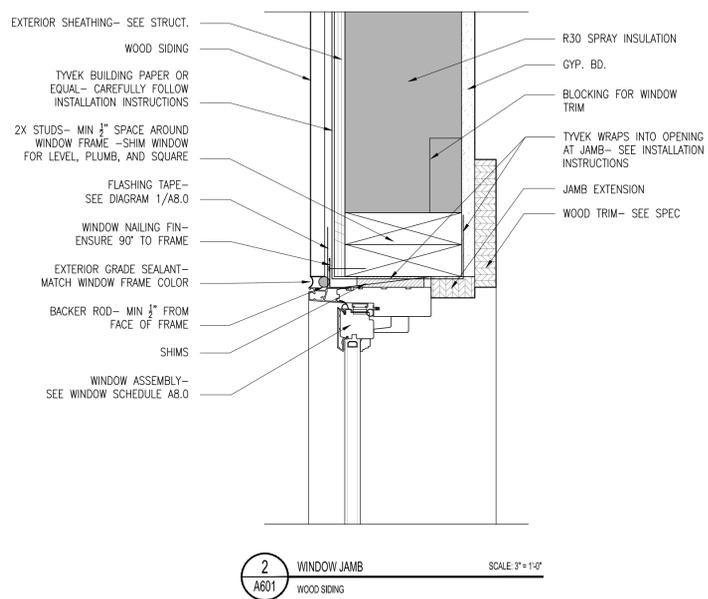
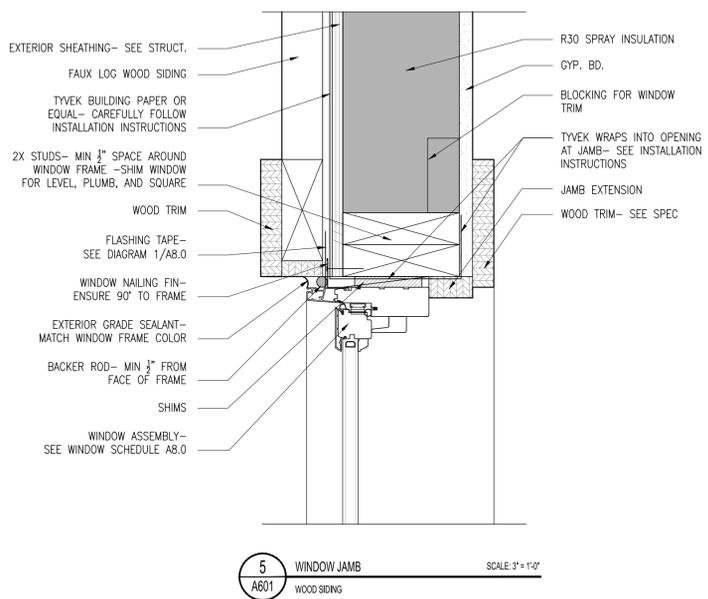
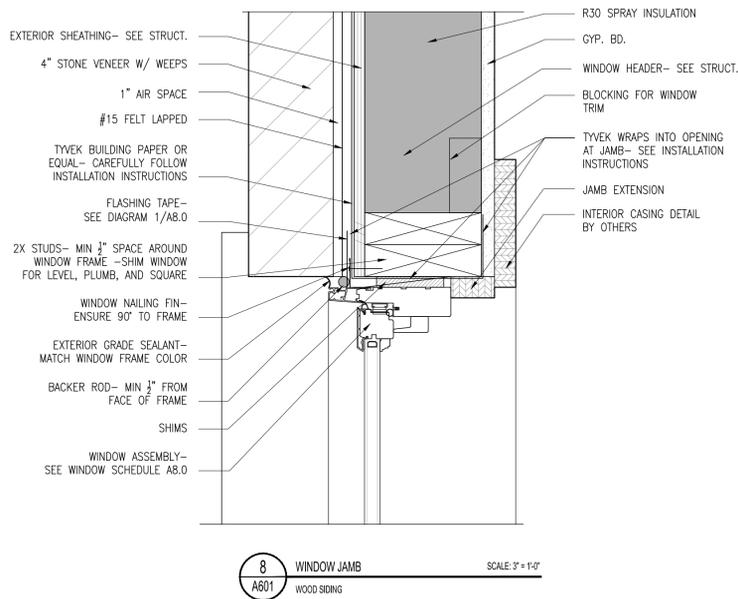
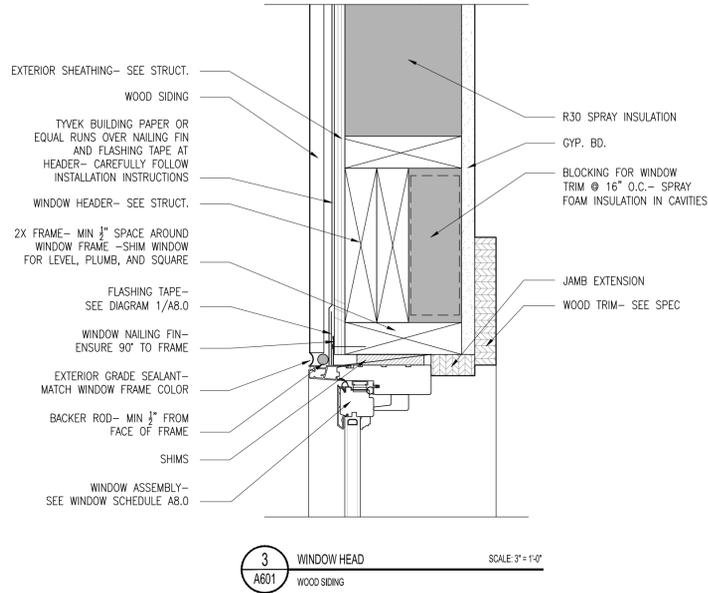
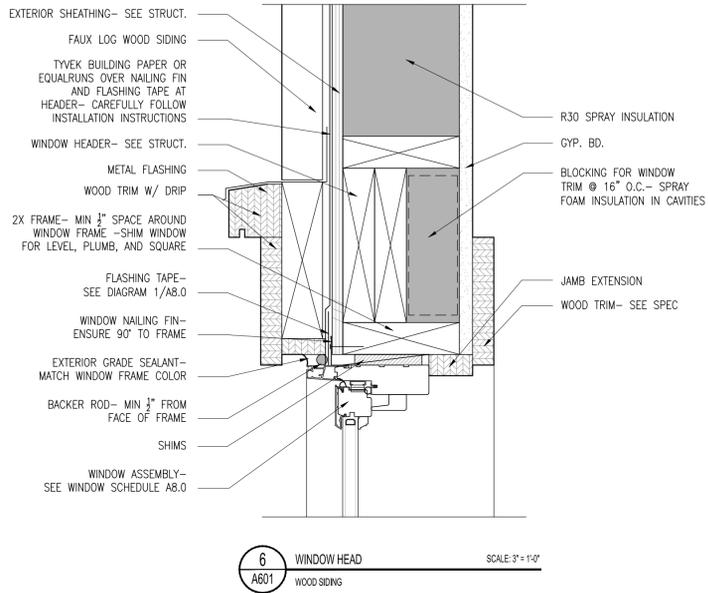
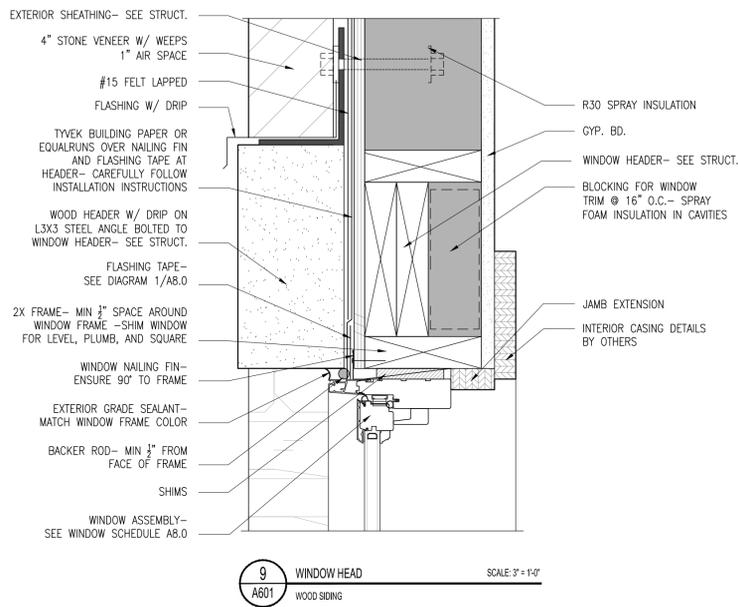
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TEL: 970.728.9755  
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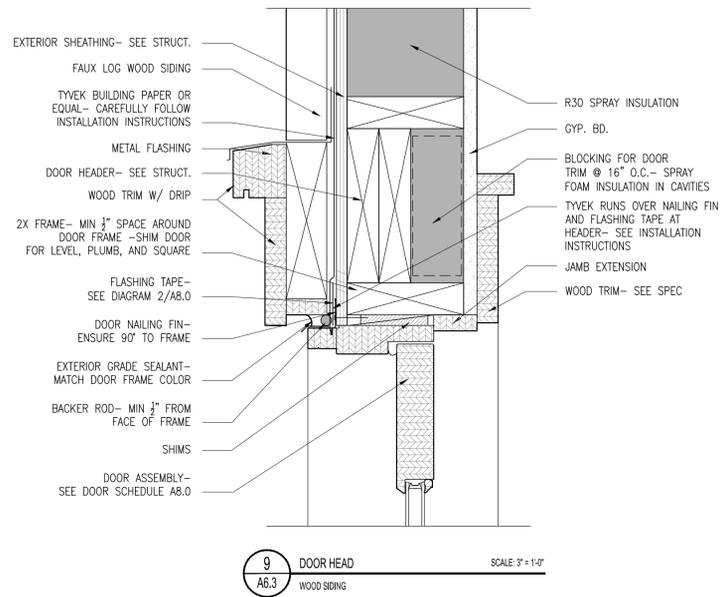
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SHEET DESCRIPTION:	MATERIAL A/D
MARK   REV. DATE   DESCRIPTION	5-18-16   DRB APPLICATION
PROJECT NAME:	LOT 5: AKHRAS
PROJECT MANAGER:	JACK WESSON
DRAWN BY:	JACK WESSON
REVIEWED BY:	JACK WESSON
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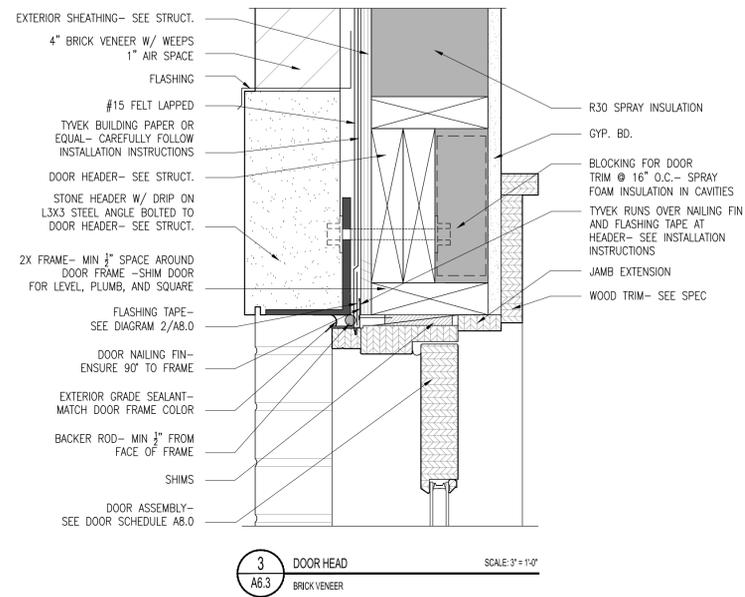
		<b>JACK WESSON</b> ARCHITECTS INC.	
		333 WEST COLORADO AVENUE TELLURIDE, COLORADO 81435 TEL: 970.728.9755 FAX: 970.728.9724 jack@wessonarch.com www.jackwessonarchitects.com	
PROJECT NAME:		LOT 5: AKHRAS	
PROJECT DESCRIPTION:		MOUNTAIN VILLAGE, COLORADO 81435	
MARK   REV. DATE   DESCRIPTION		5-18-16   DRB APPLICATION	
PROJECT NAME:		LOT 5: AKHRAS	
PROJECT MANAGER:		DRAWN BY:	
REVIEWED BY:		SHEET NUMBER:	
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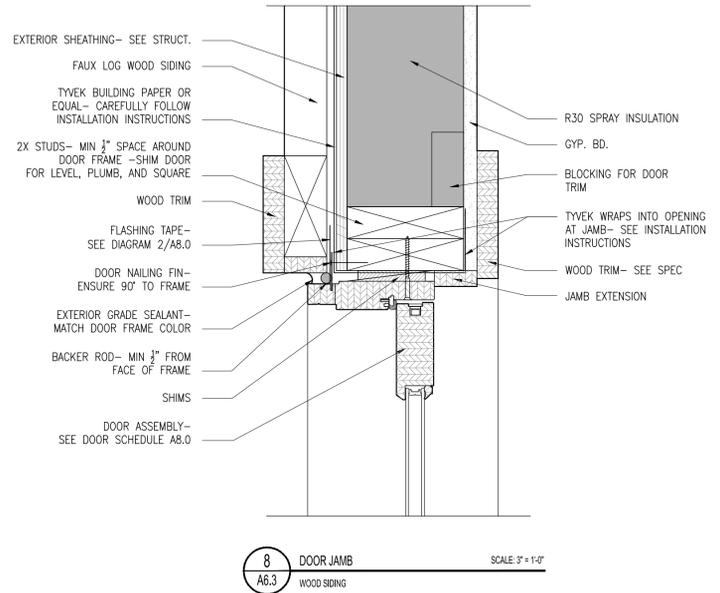
		<b>JACK WESSON ARCHITECTS INC.</b> 333 WEST COLORADO AVENUE TELLURIDE, COLORADO 81435 TEL: 970.728.9755 FAX: 970.728.9724 jack@wessonarch.com www.jackwessonarchitects.com	
		PROJECT NAME: <b>LOT 5: AKHRAS</b> MOUNTAIN VILLAGE, COLORADO 81435 SHEET DESCRIPTION: <input type="checkbox"/> I DO <b>DETAILS</b> SHEET NUMBER: <b>A01</b>	
5-18-16	DRB APPLICATION	PROJECT NAME:	DESCRIPTION:
MARK	REV. DATE	PROJECT NAME:	DESCRIPTION:
		PROJECT MANAGER:	
		DRAWN BY:	
		REVIEWED BY:	
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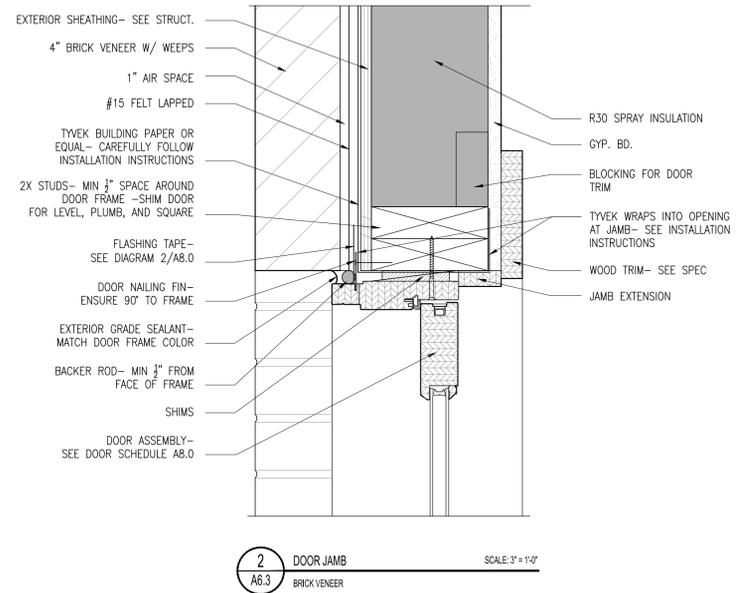
9 DOOR HEAD  
A6.3 WOOD SIDING SCALE: 3/4\"/>



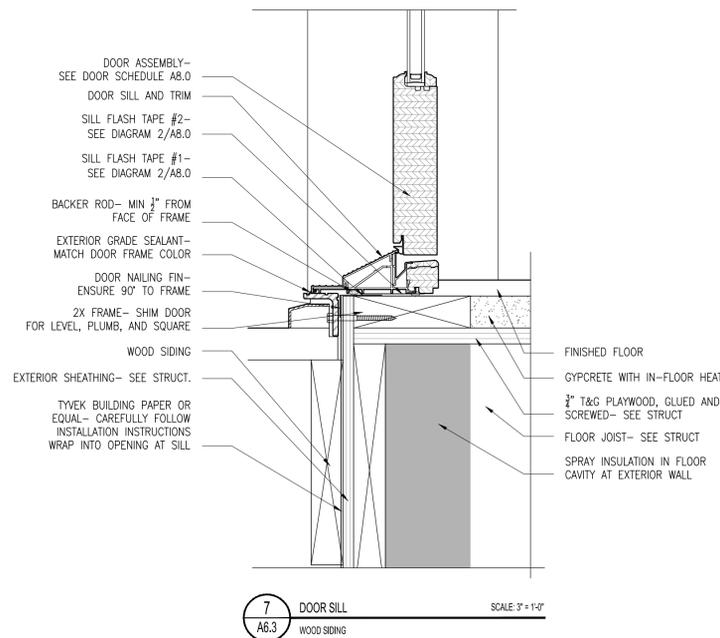
3 DOOR HEAD  
A6.3 BRICK VENEER SCALE: 3/4\"/>



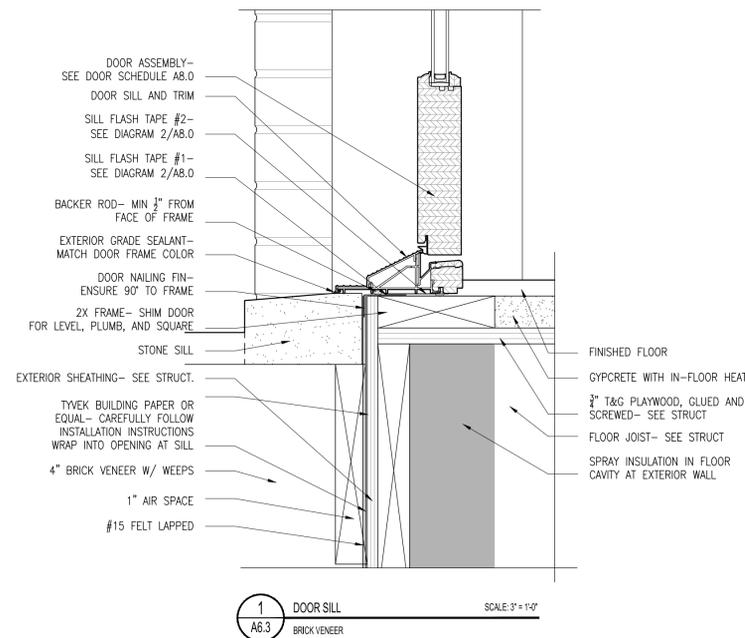
8 DOOR JAMB  
A6.3 WOOD SIDING SCALE: 3/4\"/>



2 DOOR JAMB  
A6.3 BRICK VENEER SCALE: 3/4\"/>



7 DOOR SILL  
A6.3 WOOD SIDING SCALE: 3/4\"/>



1 DOOR SILL  
A6.3 BRICK VENEER SCALE: 3/4\"/>



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5-16-16	DRB APPLICATION
MARK	REV. DATE
PROJECT NAME	DESCRIPTION
PROJECT MANAGER	
DRAWN BY:	
REVIEWED BY:	
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PROJECT NAME:  
**LOT 5: AKHRAS**  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**DOOR**  
**DETAILS**

SHEET NUMBER:  
**A002**



Image Landsat

Google earth

1998

Imagery Date: 10/13/2015

eye alt 9456 ft

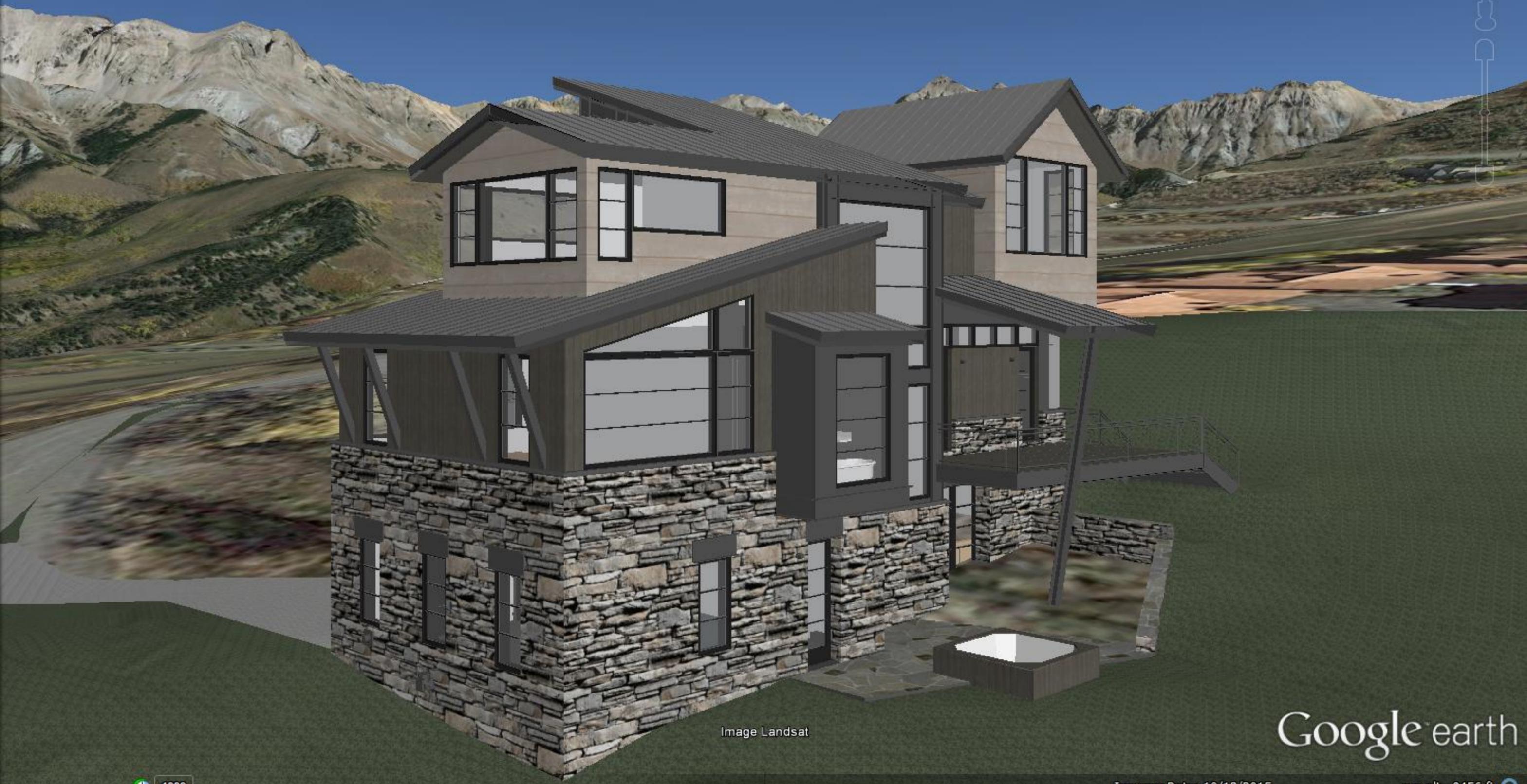


Image Landsat

Google earth

1999

Imagery Date: 10/13/2015

eye alt 9456 ft

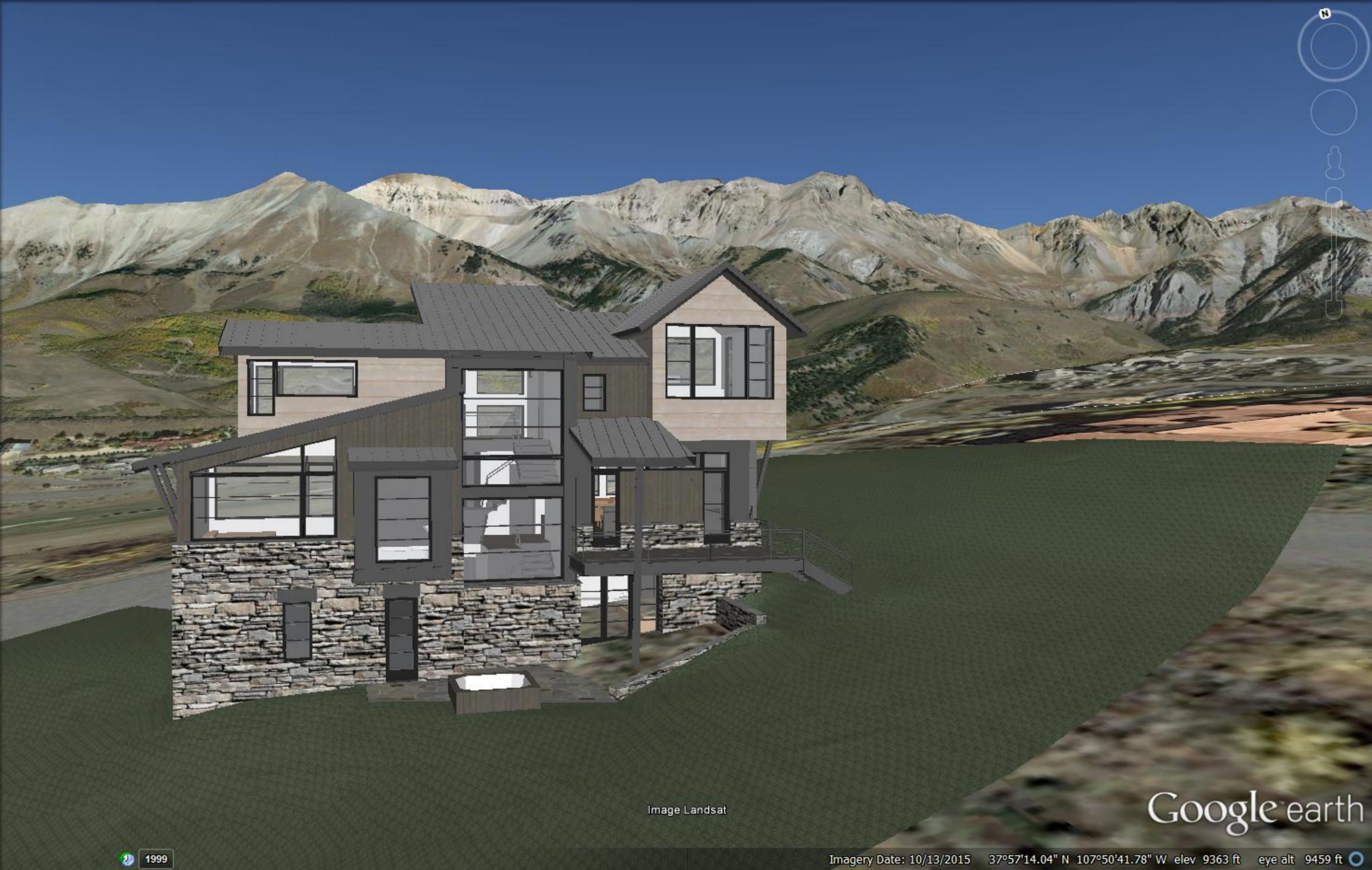


Image Landsat

Google earth

1999

Imagery Date: 10/13/2015 37°57'14.04" N 107°50'41.78" W elev 9363 ft eye alt 9459 ft

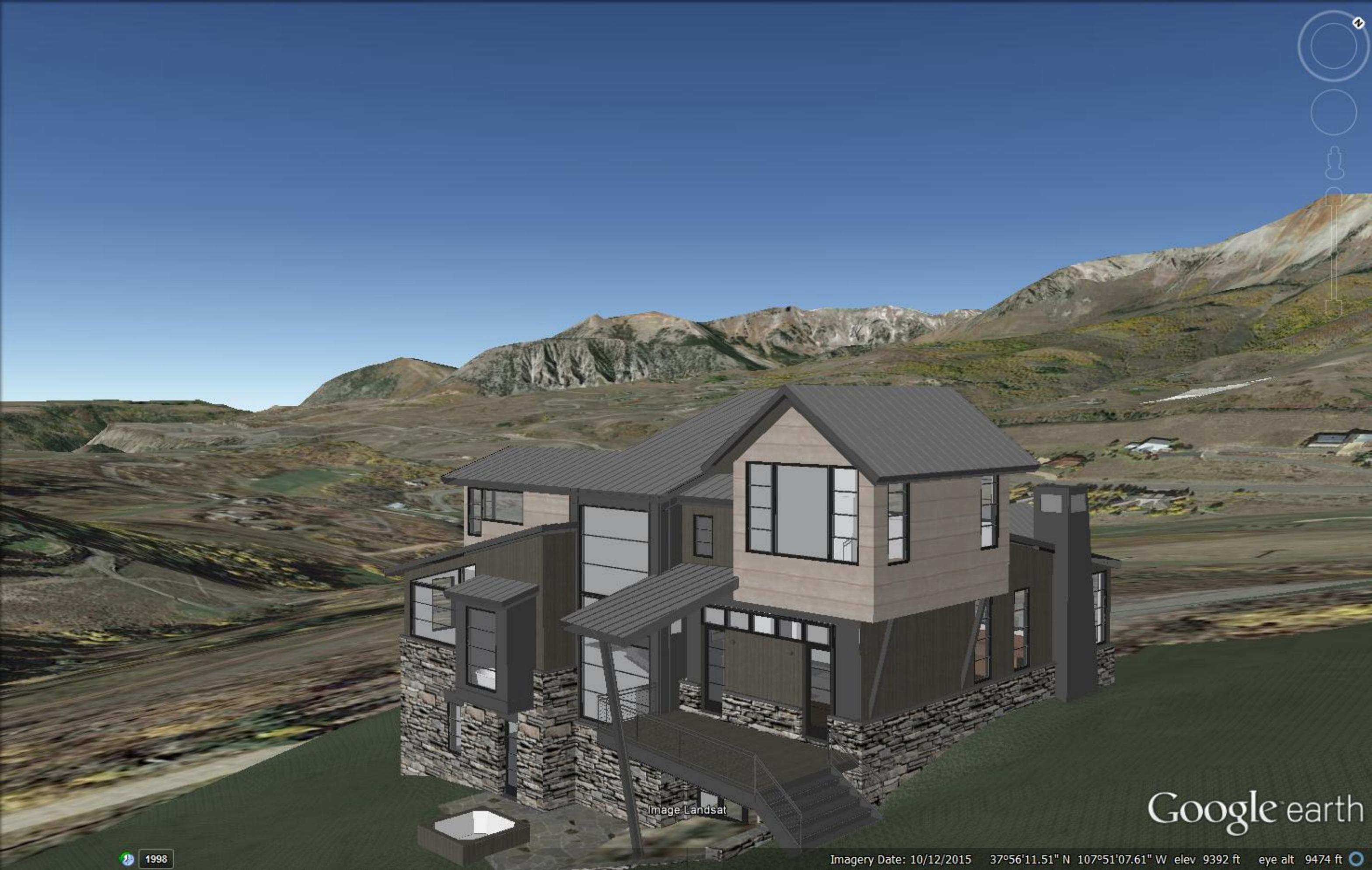


Image Landsat

Google earth

1998

Imagery Date: 10/12/2015 37°56'11.51" N 107°51'07.61" W elev 9392 ft eye alt 9474 ft



Image Landsat

Google earth

1998

Imagery Date: 10/12/2015 37°56'06.86" N 107°51'13.30" W elev 9396 ft eye alt 9470 ft

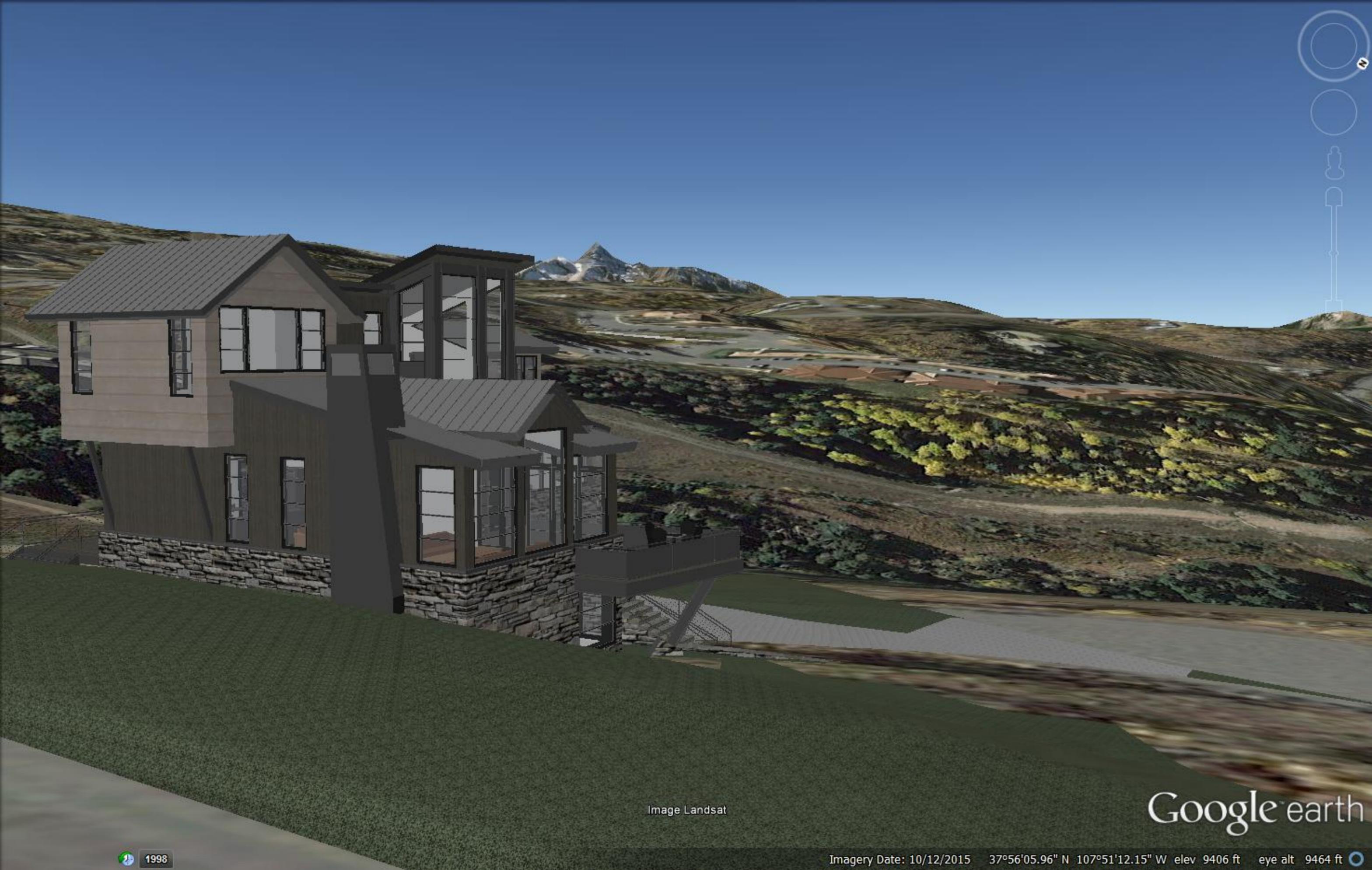


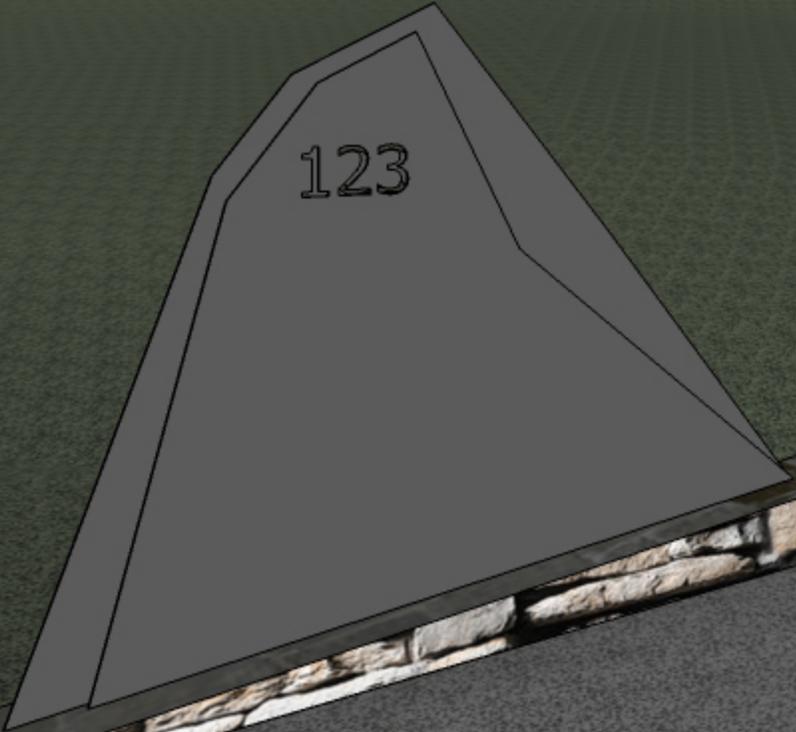
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Google earth

1998

Imagery Date: 10/12/2015 37°56'05.96" N 107°51'12.15" W elev 9406 ft eye alt 9464 ft

LOT 5 ADDRESS MONUMENT, LASER CUT PLATE STEEL  
PANELS SANDWICHING AN ILLUMINATED PLEXIGLASS SHEET,  
6" LETTERS, 4'-6" ABOVE GRADE



# Airis Indoor/Outdoor Wall Sconce

By Hubbardton Forge

**\$437.80 - \$1,331.00**

Usually ships within 2 to 3 weeks.

5 out of 5

2 of 2 (100%) people recommend this product

## Shade Color:



Mesh Tube



Seedy Clear



Textured Plate

## Finish:



Black



Natural Iron

## Size:



Small



Medium



Large

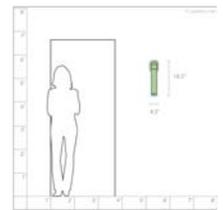


**SCONCE A = MEDIUM SIZE  
SCONCE B = LARGE SIZE**

## Details

The Hubbardton Forge Airis Indoor/Outdoor Wall Sconce enhances the beauty of your external area with its contemporary outline while illuminating radiance all around. Use inside for a bold statement. The Airis Outdoor Wall Sconce features a hand-forged wrought iron body and textured shade.

Hubbardton Forge, headquartered in Hubbardton, Vermont, hand-forges simple and elegant metal lighting fixtures and accessories, combining ancient hand-forging techniques with environmentally-sound finishing practices.



SEE SCALE DRAWING

## WHAT ARE YOU WORKING ON?

Sign up for our email list and get a free lighting planner to help guide your next project or style update.

- Kitchen
- Dining Room
- Bath
- Living Room
- Bedroom
- Other

Email:

SIGN ME UP

**Options:**

- **Shade Color:** Mesh Tube, Seedy Clear, Textured Plate
- **Finish:** Black, Natural Iron
- **Size:** Small, Medium, Large

**Lighting:**

- Small Option: One 35 Watt (290 Lumens) 120 Volt GU10 Base Halogen Lamp(s) (Not Included)
- Medium Option: One 35 Watt (290 Lumens) 120 Volt GU10 Base Halogen Lamp(s) (Not Included)
- Large Option: One 50 Watt (550 Lumens) 120 Volt GU10 Twist & Lock Base Halogen Lamp(s) (Not Included)

**Compare Brightness:**



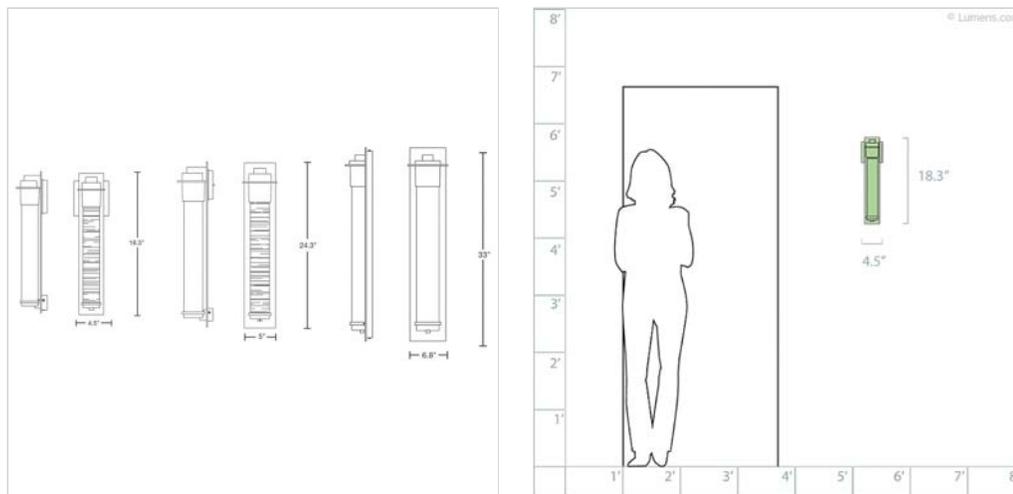
**Dimensions:**

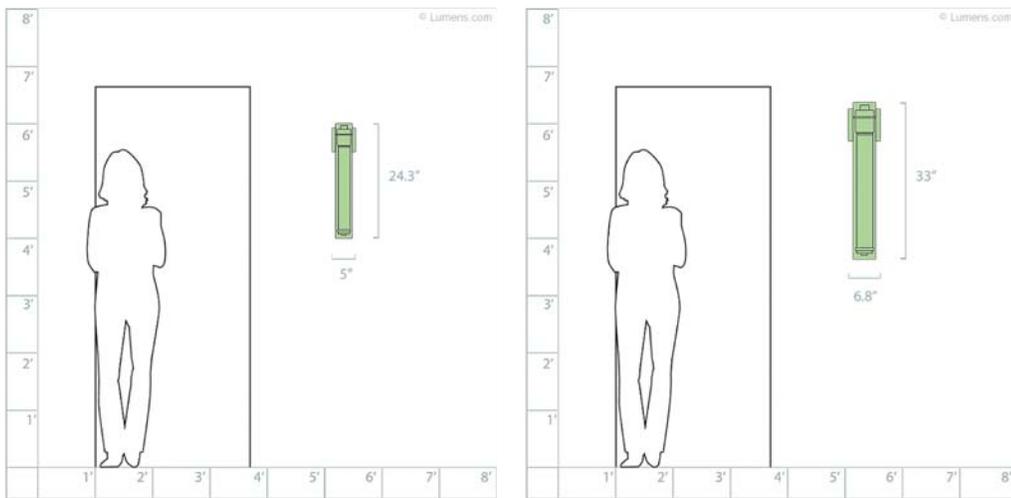
- **Small Fixture:** Height 18.3", Width 4.5", Depth 4"
- **Small Shade:** Height 13.5", Diameter 2"
- **Small Plate:** Height 4.5", Width 4.5"
- **Medium Fixture:** Height 24.3", Width 5", Depth 5.2"
- **Medium Shade:** Height 18", Diameter 2.8"
- **Medium Plate:** Height 4.5", Width 4.5"
- **Large Fixture:** Height 33", Width 6.8", Depth 4.6"
- **Large Shade:** Height 25", Diameter 3.75"
- **Large Plate:** Height 33", Width 6.12"

**Ratings:** Based on 2 reviews, this product is rated 5.0 out of 5.

Need help with some of our terminology? Check out [Lumens' Lighting & Design Glossary](#).

**Diagram**





## Reviews

Check out what other customers think...



### Summary of Customer Ratings & Reviews

Overall 5 out of 5

2 of 2 people recommend this product

- Appearance
- Construction
- Features
- Material
- Value

#### PROS

- Elegant (2)
- Stylish (2)
- Easy to Install (1)
- Good Illumination (1)
- Good Quality (1)

#### CONS

- Expensive (2)

## Product Reviews

Choose a sort order

**LightMatters**  
Sacramento, CA

My style is modern.  
I use this outdoors.  
I've owned this product for 6 months or less.

#### Overall

- Appearance
- Construction
- Features
- Material
- Value

#### Quality Workmanship Stands Out

November 13, 2012

**Pros:** Good Quality, Easy to Install, Elegant, Stylish  
**Cons:** Expensive

I wanted an outdoor light that was simple yet commands attention. This fixture turned out to be perfect. I got the version with the mesh tube, which definitely gets your attention when the light is turned on. The wire mesh captures the light and glows like a "light tube". There is something that you should be aware of. This fixture (especially with the wire mesh tube) casts most of its light straight down. For me this was a good thing, since I did not want any light to be directly in anybody's eyes from any viewing position. I ended up getting a second one for the side of the house as well!

Was this review helpful to you?  
(Report Inappropriate Review)

Share with a friend:

**CatLady**

#### Beautiful Addition to the Front of the House

March 16, 2012

#### Overall

**Pros:** Elegant, Stylish, Good Illumination  
**Cons:** Expensive

[Click here to print this page](#)



## Horizontal Recessed LED Step Light

Item Code: DAL-HORIZONTAL-RECESSED-LED-STEP-LIGHT

Description: By DALs Lighting.

The Horizontal Recessed LED Step Light is minimal yet efficient lighting fixture, suitable for both indoor and outdoor applications. Perfect for stairwells, hallways and corridors. Offered with a choice of black, white, bronze, or grey metal finish.

### Features:

- Integrated non-dimmable LED driver
- Indoor and outdoor use
- Fits in standard junction box
- 50,000+ hours of service life
- Warm white light output
- Optimized light spread
- Low power consumption
- Excellent color rendering
- Superior color consistency
- Die-cast aluminum housing
- cETL, ETL and wet location listed

Shown in white.

### Dimensions

- 2.875"W X 4.75"L X 0.25" extension

### Material(s)

Aluminum

### Lamp Type

LED

### Bulbs

1 X 3.5W 120V LED module, 3000K, 245 lumens (included)

### Listing

CETL, ETL, UL, WET-LOCATION

### Manufacturer Specifications

[Click to download specifications.](#)

### Instructions

[Click to download instructions.](#)

### Item Number

DAL-HORIZONTAL-RECESSED-LED-STEP-LIGHT

### Model(s)

LEDSTEP005-BK LEDSTEP005-BR LEDSTEP005-SG LEDSTEP005-WH

Price: \$99.00  
+ Free Shipping



C: STEP LIGHT AT FRONT DECK

### Options:

#### Model:

LEDSTEP005 - Horizontal Recessed LED Step Light

#### Finish:

WH - White  
BK - Black  
BR - Bronze  
SG - Grey

By DALs Lighting.

The Horizontal Recessed LED Step Light is minimal yet efficient lighting fixture, suitable for both indoor and outdoor applications. Perfect for stairwells, hallways and corridors. Offered with a choice of black, white, bronze, or grey metal finish.

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- Fits in standard junction box
- 50,000+ hours of service life
- Warm white light output
- Optimized light spread
- Low power consumption
- Excellent color rendering
- Superior color consistency
- Die-cast aluminum housing
- cETL, ETL and wet location listed

Shown in white.

If you have questions, call (866) 428 9289

[Click here to print this page](#)

## LED Directional Wall Light - 2261

Item Code: BGA-LED-WALL-2261

Description: Designed and manufactured by BEGA.



**D: STEPLIGHT AT STAIRS  
AND DRIVEWAY**

BEGA's 2261LED is a compact and versatile wall light with an integrated LED source that provides direct illumination. The one piece housing is made from marine grade (copper free) die-cast aluminum and includes a matte finish glass diffuser. Their versatility shows best when used at different mounting heights. Mounted low they can be used for marking pathways and steps; used low and in multiples they can illuminate walkways and passageways. With higher mounting heights they can be used as wall luminaires next to front doors or for wall-washing small wall areas.

Offered in choice of Bega Graphite or Bronze electrostatically applied polyester powder coat finish. Includes 120 to 277V universal voltage electronic driver. 0-10V dimming. Fixtures are fully gasketed for weather tight operation. For use in down (direct) position only.

LED modules are replaceable and BEGA can supply a suitable LED replacement for up to 20 years after the purchase of their LED luminaires.

### Dimensions

- 6.8"L X 3.75"H X 2.4"Extension

### Material(s)

aluminum, glass

### Lamp Type

LED

### Bulbs

6.6W 120-277V LED; 3000K; 85CRI; 291 lumens

### Listing

CSA, CSA US, IP64, WET LOCATION, ADA

### Manufacturer Specifications

[Click to download specifications.](#)

### Instructions

[Click to download instructions.](#)

### Item Number

BGA-LED-WALL-2261

### Model(s)

B22261

Price: \$335.00  
+ Free Shipping

### Options:

#### Model:

B22261 - LED Directional Wall Light

#### Color:

BLK - BEGA Graphite

BRZ - BEGA Bronze

Designed and manufactured by BEGA.

BEGA's 2261LED is a compact and versatile wall light with an integrated LED source that provides direct illumination. The one piece housing is made from marine grade (copper free) die-cast aluminum and includes a matte finish glass diffuser. Their versatility shows best when used at different mounting heights. Mounted low they can be used for marking pathways and steps; used low and in multiples they can illuminate walkways and passageways. With higher mounting heights they can be used as wall luminaires next to front doors or for wall-

washing small wall areas.

Offered in choice of Bega Graphite or Bronze electrostatically applied polyester powder coat finish. Includes 120 to 277V universal voltage electronic driver. 0-10V dimming. Fixtures are fully gasketed for weather tight operation. For use in down (direct) position only.

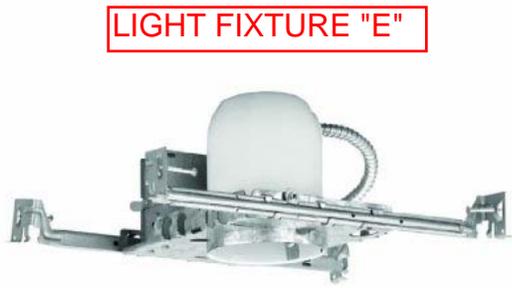
LED modules are replaceable and BEGA can supply a suitable LED replacement for up to 20 years after the purchase of their LED luminaires.

If you have questions, call (866) 428 9289

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Tools & Home Improvement > Electrical > Recessed Lighting > Housings



### WAC Lighting R400SNA 4-Inch New Construction Housing Non Ic-Air Tight Recessed Lighting

Lighting  
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Lighting Housing  
Lighting Housing  
Lighting Housing  
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<b>\$22.00</b> (\$22.00 / Package) + \$6.85 shipping Sold by: Lamps.com	<b>Add to Cart</b>
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11 used & new from **\$15.51**

Have one to sell? **Sell on Amazon**

### Product Information

Technical Details

Additional Information

Part Number	R-400S-N-A
Item Weight	2 pounds
Product Dimensions	12 x 8 x 5 inches
Item model number	R-400S-N-A
Size	4
Color	multi
Style	Traditional
Finish	Clear
Voltage	120 volts
Item Package Quantity	1
Certification	UL Listed

ASIN	B001R5D8II
Customer Reviews	<a href="#">Be the first to review this product</a>
Best Sellers Rank	#497,668 in Home Improvement ( <a href="#">See top 100</a> )
Shipping Weight	2 pounds ( <a href="#">View shipping rates and policies</a> )
Shipping	This item is also available for shipping to select countries outside the U.S.
Date First Available	November 10, 2008

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Would you like to [update product info](#), [give feedback on images](#), or [tell us about a lower price?](#)

**Product Description**

4" Line Voltage. Non-IC New Construction Shallow Airtight Ready Housing.

**Important Information**

**Bulb Voltage**  
120.00 Volts

**Product Ads from External Websites** ([What's this?](#))

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Elco EL9181CA N/A Line Voltage Housings 6" Line Voltage IC Slope...  
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 + \$9.99 Est. shipping  
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Intense 4" New Construction Non-IC Recessed Light Housing  
**\$54.91**  
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3-inch Recessed Lighting Kit  
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WAC 4" IC New Construction Line Voltage Recessed Housing  
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### Philips - 430512 - LED Lighting Lamp Code: 10.5/CorePro/3000 Wattage: 12

★★★★★ [Write the first review](#)



Price: \$12.89 ea.

Qty:

**\$12.89**

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In Stock

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#### Specs

LED Lighting; Lamp Code: 10.5/CorePro/3000; Wattage: 12; Wattage: 12; Lumens: 800; Color Temperature Rating: 3,000; Size (Inch): 5.3000

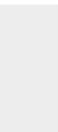
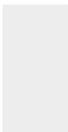
Lamp Code	10.5/CorePro/3000
Wattage	12
Wattage	12
Lumens	800
Color Temperature Rating	3000
Size (Inch)	5.3000
Diameter (Decimal Inch)	2.44
Voltage (V)	120
Average Life Hours	25000
Configuration	A19
Color Rendering Index	85

## PHILIPS

Brand:	Philips
MSC Part #:	92433812
Mfr Part #:	430512
UPC #:	466774305114
Big Book Page #:	<b>3428</b>

There are no item notes for this item.

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Philips 429381 10.5-watt (60-watt equivalent) 800 Lumens 3000K A19 LED...

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Buy new: \$63.35  
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Philips 433227 10.5-watt Slim Style Dimmable A19 LED Light Bulb, Soft...

Buy new: \$9.86  
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(408)

Tools & Home Improvement > Lighting & Ceiling Fans > Outdoor Lighting > Landscape Lighting > Path Lights



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## 1 10.5-watt 800 A19 LED Household Light White

Customer reviews

Shipping on orders over \$35.

Amazon.com. Gift-wrap available.

Order within 7 hrs 22 mins shipping at checkout. Details

Kitchens, living rooms, bedrooms and hallways, and floor lamps, pendant fixtures

Works with dimmer switches and color-changing smart bulbs

Energy Star certified. Household lasts at least 18.3 years. Contains no mercury. E11 base. Model number: 430512

> See more product details

15 new from \$7.99

Eligible for 15% Off Select Philips Light Bulbs. This item is eligible for our Do-It-Yourself Philips light bulb promotion of an extra 15% off at checkout on select Philips light bulbs when shipped and sold by Amazon.com. See details and all eligible products.

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\$10.65

+ Free Shipping

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\$14.39

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Sold by: Lighting Components of NY

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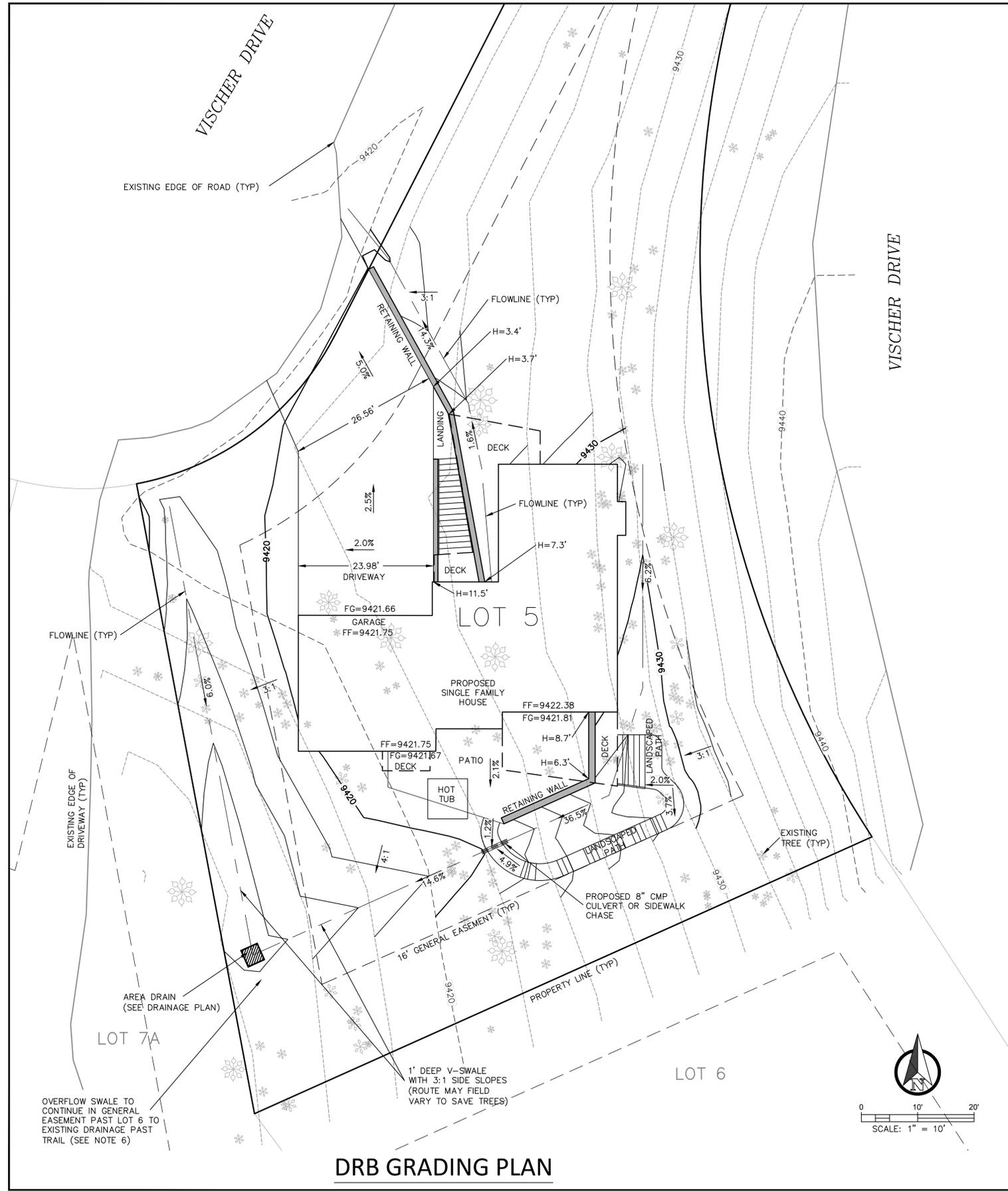


A19 Soft White General Purpose LED Bulbs - 6 P...

(64)

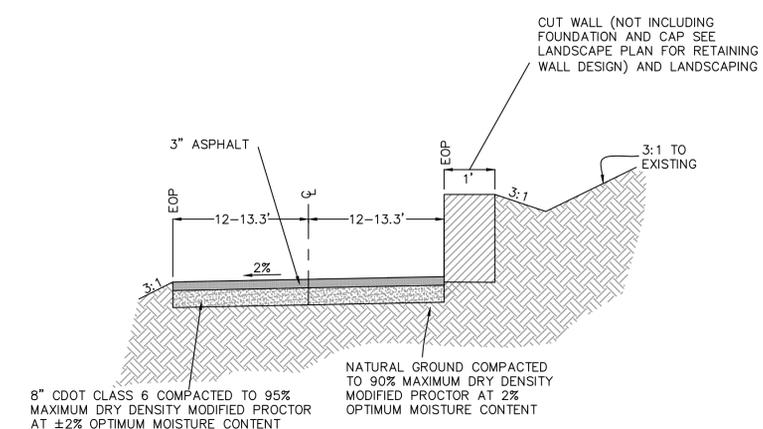
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GREGORY E. ANDERSON  
COLORADO PROFESSIONAL ENGINEER  
REGISTRATION NO. 35736

ALPINE LAND  
CONSULTING, LLC  
P.O. BOX 234  
RICO, COLORADO 81532  
970-708-0326  
GREGG@ALPINELANDCONSULTING.COM

LOT 5  
MOUNTAIN VILLAGE

DRB GRADING PLAN

CLIENT:

SILVERTIP INVESTMENTS LLC  
12222 CALICO FALLS LANE  
HOUSTON, TX 77064

DATE: JUNE 13, 2016

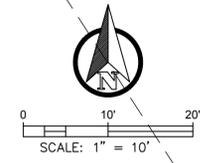
PROJECT #: 2016013

PROJECT MANAGER: GEA  
DRAWN BY: ADM

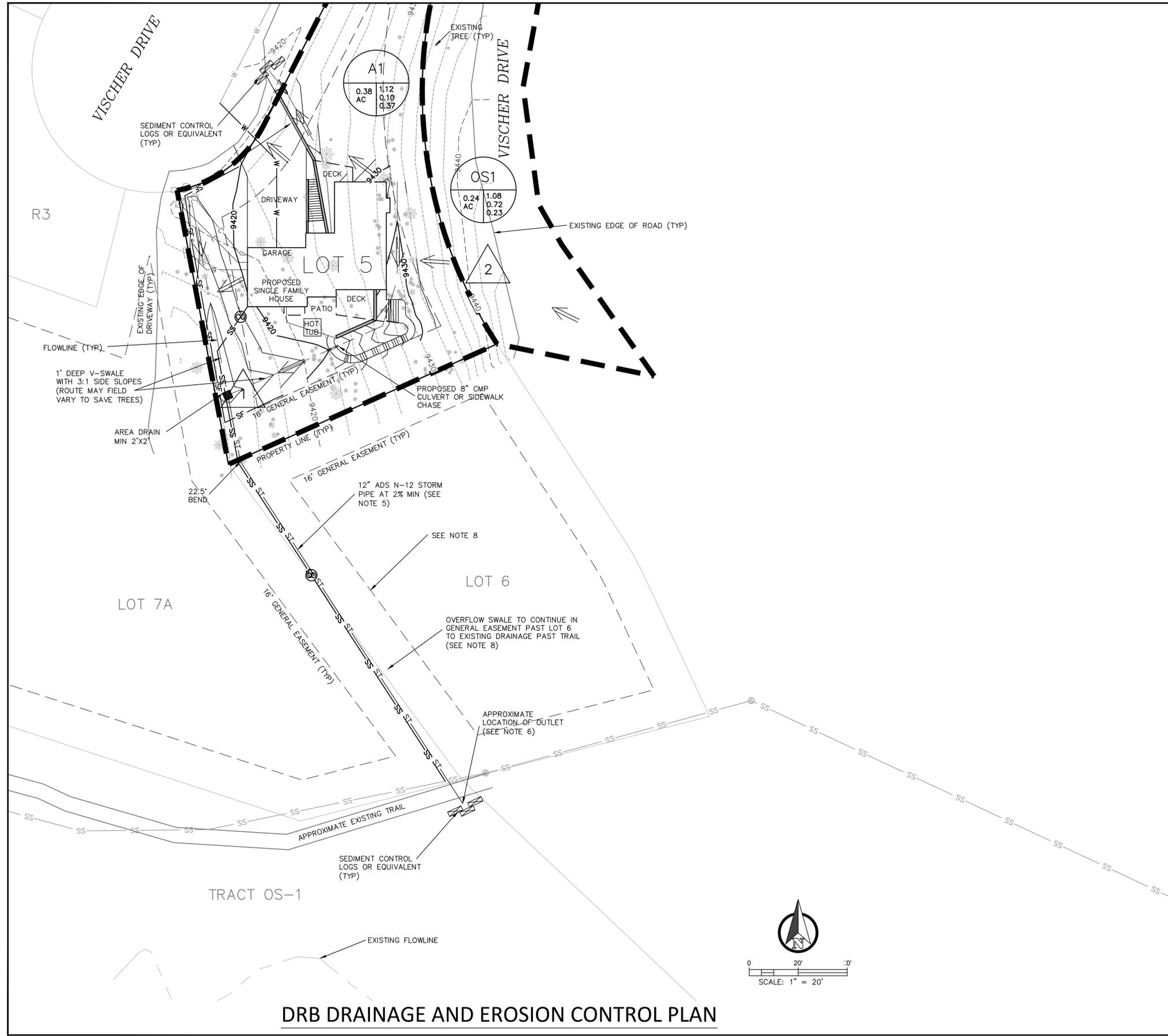
SHEET #:

**CI**

NO.	REVISIONS	DATE



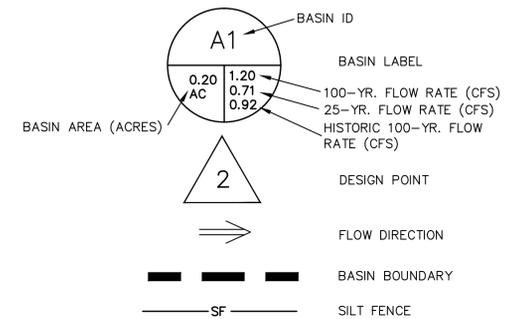
**DRB GRADING PLAN**



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5. NO DETENTION OR RETENTION IS PROPOSED FOR THIS PROPOSED SINGLE FAMILY HOME AT THIS TIME. IF RETENTION IS REQUIRED IT MUST BE INCLUDED WITH THE CONSTRUCTION DOCUMENTS.
6. ADDITIONAL TOPOGRAPHIC INFORMATION WILL BE REQUIRED PRIOR TO FINAL CONSTRUCTION PLANS TO CONFIRM PIPE LOCATION/DEPTH AND STREAM/WETLANDS.
7. 12" ADS N-12 PIPE CAN CARRY A 100-YEAR FLOW RATE.
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9. OWNER AND/OR ARCHITECT TO CONFIRM AND HAVE ALL APPROVALS NECESSARY FOR USE OF 16' GENERAL EASEMENT FOR STORM AND SANITARY SERVICES BEFORE START OF ANY CONSTRUCTION.

**LEGEND**



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OR  
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CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
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GREGORY E. ANDERSON  
COLORADO PROFESSIONAL ENGINEER  
REGISTRATION NO. 35736

**ALPINE LAND CONSULTING, LLC**  
P.O. BOX 234  
RICO, COLORADO 81532  
970-758-0326  
GREGG@ALPINELANDCONSULTING.COM

LOT 5  
MOUNTAIN VILLAGE

DRB DRAINAGE PLAN

CLIENT:

SILVERTIP INVESTMENTS LLC  
12222 CALICO FALLS LANE  
HOUSTON, TX 77041

DATE: JUNE 13, 2016

PROJECT #: 2016013

PROJECT MANAGER: GEA  
DRAWN BY: ADM

SHEET #:

**C2**

NO.	REVISIONS	DATE

**DRB DRAINAGE AND EROSION CONTROL PLAN**



## Jane Marinoff

---

**From:** Anton Benitez <anton@tmvoa.org>  
**Sent:** Friday, July 15, 2016 1:05 PM  
**To:** CBL  
**Cc:** Glen Van Nimwegen; Jane Marinoff  
**Subject:** RE: Lot 5 on Vischer DRB plans

Chris,

Hope you are well. As to your question below, this is a something that is best addressed by the Town Planner. By way of cc, Glen or someone from his department will be able to provide details as it relates to the codes on exterior lighting.

Thanks,  
Anton

**From:** CBL [mailto:laukenmann@gmail.com]  
**Sent:** Monday, July 11, 2016 12:06 PM  
**To:** Anton Benitez <anton@tmvoa.org>  
**Subject:** Fwd: Lot 5 on Vischer DRB plans

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Thanks Anton,

On behalf of the Pine Meadows HOA, as Chair,

Chris Laukenmann

----- Forwarded message -----

**From:** [ostoreylaw](mailto:ostoreylaw@gmail.com) <[ostoreylaw@gmail.com](mailto:ostoreylaw@gmail.com)>  
**Date:** Mon, Jul 11, 2016 at 10:22 AM  
**Subject:** Re: Lot 5 on Vischer DRB plans  
**To:** CBL <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)>  
**Cc:** Ken Sherlock <[sherlockken@gmail.com](mailto:sherlockken@gmail.com)>, Karen Dunivan <[karendunivanmmm@yahoo.com](mailto:karendunivanmmm@yahoo.com)>, Cindi Coester <[barrkley@comcast.net](mailto:barrkley@comcast.net)>, Kerry Dunivan <[kdunivan03@yahoo.com](mailto:kdunivan03@yahoo.com)>

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Bud [479 856 3114](tel:4798563114)

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it does not appear that they are consistently of the "downlighting" variety. We should ping DRB on this issue.

<https://townofmountainvillage.com/media/Lot-5-Design-Review-Process-Application-for-new-Single-Family-Home.pdf>

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I am not in favor of replacing any aspens with fruit or other trees that will disrupt the continuity of our natural looking landscape.

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So Karen/Kerry. Let's respond as Follows: We are not clear on what you propose. We assume though that the Aspen trees you want to remove are two of the grove of trees on our common area at the entrance to Pine Meadows. As such we need a detailed landscape plan as to: which trees you propose to remove, why you want to remove them and what/where/how many ornamental trees you wish to replace them with (there is already an objection to crab apple trees). We are concerned that your proposal could set a precedent for other owners to begin cutting aspens and planting ornamental trees of their choice in our common area. If your concern is that these trees limit your view, our preference would be that you propose a plan to simply prune these trees.

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<[karendunivanmmm@yahoo.com](mailto:karendunivanmmm@yahoo.com)> wrote:

I will forward all your questions  
to the sub-contractor.

***Karen Dunivan  
Mountain Mansion  
Management, LLC***

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PM, CBL <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)>  
wrote:

What is the reasoning to  
remove the aspen trees? Are  
they on HOA space or the  
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grown up with crabapple trees  
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make quite a mess when  
dropping fruit, far beyond the  
footprint of the branches and  
leaves. Who is going to harvest  
and pick up all those  
crabapples? Will crabapples  
attract bears?

On Wed, Jun 29, 2016 at 12:25  
PM, Karen Dunivan  
<[karendunivanmmm@yahoo.com](mailto:karendunivanmmm@yahoo.com)  
> wrote:

Dear Board,  
We have been contacted by  
Alpine Arborist, a sub-contractor  
for Unit 131, requesting  
permission to remove 2 aspens  
and replace with ornamental  
trees such as crab apple trees.  
Alpine Arborist has submitted a  
request to the TOMV (Town of  
Mountain Village) to remove the  
aspen trees. He is requesting  
permission from the HOA as  
well. Please let me know if the  
HOA will give the owner of Unit

131 permission to replace these trees.

Respectfully,

***Karen Dunivan  
Mountain Mansion  
Management, LLC***

## Jane Marinoff

---

**From:** CBL <laukenmann@gmail.com>  
**Sent:** Thursday, July 28, 2016 9:24 AM  
**To:** Anton Benitez  
**Cc:** Glen Van Nimwegen; Jane Marinoff  
**Subject:** Re: Lot 5 on Vischer DRB plans

I spoke with Mr. Wesson a while back, and he was to assure us with an email summary of our discussion on the subject, yet I have not received any response. I have followed up with him gently by email reminder, but still have no response, so there is no choice but to object given the fast approaching date for review.

On Thu, Jul 28, 2016 at 8:16 AM, Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)> wrote:

Chris,

I've attached the emails that Glen and Dave with the Town of Mountain Village Planning department sent you earlier this month. Did you not receive them?

If you would like to discuss with me, please feel free to call my cell phone today or anytime.

Anton

[970-708-4414](tel:970-708-4414)

**From:** CBL [mailto:[laukenmann@gmail.com](mailto:laukenmann@gmail.com)]  
**Sent:** Wednesday, July 27, 2016 11:27 PM  
**To:** Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)>  
**Cc:** Glen Van Nimwegen <[GVanNimwegen@mtnvillage.org](mailto:GVanNimwegen@mtnvillage.org)>; Jane Marinoff <[JMarinoff@mtnvillage.org](mailto:JMarinoff@mtnvillage.org)>  
**Subject:** Re: Lot 5 on Vischer DRB plans

I have not received a written response, as was promised, to date. I have sent a reminder, no response. We here at the Pine Meadows HOA accordingly vehemently object to each and every aspect of the project on Lot 5, for the record. Thank you.

On Fri, Jul 15, 2016 at 12:04 PM, Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)> wrote:

Chris,

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requesting permission to  
remove 2 aspens and replace  
with ornamental trees such as  
crab apple trees. Alpine  
Arborist has submitted a  
request to the TOMV (Town of  
Mountain Village) to remove  
the aspen trees. He is  
requesting permission from the  
HOA as well. Please let me  
know if the HOA will give the  
owner of Unit 131 permission  
to replace these trees.

Respectfully,

***Karen Dunivan***

***Mountain Mansion  
Management, LLC***

----- Forwarded message -----

From: Dave Bangert <[DBangert@mtnvillage.org](mailto:DBangert@mtnvillage.org)>

To: Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)>

Cc: "[laukenmann@gmail.com](mailto:laukenmann@gmail.com)" <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)>, Glen Van Nimwegen

<[GVanNimwegen@mtnvillage.org](mailto:GVanNimwegen@mtnvillage.org)>

Date: Thu, 28 Jul 2016 14:32:42 +0000

Subject: FW: Lot 5 lighting

This response was originally sent on July 18, 2016. Let me know if you have any questions.

Dave Bangert

Senior Planner/Forester

Town of Mountain Village

455 Mountain Village Blvd, Suite A

Mountain Village, CO 81435

O :: [970.369.8203](tel:970.369.8203)

C :: [970.417.1789](tel:970.417.1789)

F :: [970.728.4342](tel:970.728.4342)

---

**From:** Dave Bangert

**Sent:** Monday, July 18, 2016 12:54 PM

**To:** '[laukenmann@gmail.com](mailto:laukenmann@gmail.com)'

**Cc:** Anton Benitez ([anton@TMVOA.ORG](mailto:anton@TMVOA.ORG)) ([anton@TMVOA.ORG](mailto:anton@TMVOA.ORG)); Glen Van Nimwegen

**Subject:** Lot 5 lighting

Anton,

Here the section of my DRB staff memo for Lot 5 regarding the exterior lighting;

### **17.5.12 LIGHTING REGULATIONS**

The proposed lighting plan includes seven (7) sconces, five (5) recessed cans and thirteen (13) steep lights. Locations include egress, deck, garage and patio areas. Lighting is permitted in all proposed locations. All lighting has been designed as full cut-off fixtures with LED bulbs. All bulbs to be LED 10w, 2500K-2700K.

If the Meadows HOA has issues with the proposed development of Lot 5 they should plan on attending the Design Review Board meeting on August 4, 2016 at 10am, Mountain Village conference room.

Dave Bangert

Senior Planner/Forester

Town of Mountain Village

455 Mountain Village Blvd, Suite A

Mountain Village, CO 81435

O :: [970.369.8203](tel:970.369.8203)

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To: "[laukenmann@gmail.com](mailto:laukenmann@gmail.com)" <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)>

Cc: Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)>, Dave Bangert <[DBangert@mtnvillage.org](mailto:DBangert@mtnvillage.org)>

Date: Mon, 18 Jul 2016 18:52:01 +0000

Subject: Exterior Lighting at Lot 5

Hi Chris: I got your email. Our code requirements for exterior lighting can be found on page 499 here <https://townofmountainvillage.com/media/Municipal-Code-of-the-Town-of-Mountain-Village.pdf>

You are right, flood lights are not required and all fixtures must be shielded so the source is not visible. We have done a cursory review of the proposal for Lot 5 and have found it meeting the standards as it only includes some step lighting and a few wall sconces at the entry. However, I know the architect would like to know the concerns of any neighbors and you can contact Jack Wesson at [970-728-9755](tel:970-728-9755) or [jack@wessonarch.com](mailto:jack@wessonarch.com)

Glen Van Nimwegen, AICP

Director of Planning and Development Services

[970-369-8250](tel:970-369-8250)





**PLANNING & DEVELOPMENT SERVICES  
DEPARTMENT**

455 Mountain Village Blvd.  
Mountain Village, CO 81435

**TO:** Design Review Board  
**FROM:** Glen Van Nimwegen, Director  
**FOR:** Meeting of August 4, 2016  
**DATE:** July 26, 2016  
**RE:** Design Review Approval for a new single-family dwelling on Lot 181; 118 Highlands Way

**PROJECT GEOGRAPHY**

**Legal Description:** Lot 181  
**Address:** 118 Highlands Way  
**Applicant/Agent:** Sante Architects  
**Owner:** Christian Wieninger  
**Zoning:** Single-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 1.84 acres  
**Adjacent Land Uses:**

- o **North:** Single-Family
- o **South:** Single-Family
- o **East:** Open Space
- o **West:** Single-Family

**ATTACHMENTS**

- Exhibit A: Revised Narrative
- Exhibit B: Metal Chimneys in MV
- Exhibit C: Revised Plan Set
- Exhibit D: Lighting Cut Sheets
- Exhibit E: July 7 Staff Report

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	40' maximum (35'+5' for gable roof)	23' 6"
Maximum Avg Building Height	30'	19' ¾"
Maximum Lot Coverage	40% maximum	5%
General Easement Setbacks		
North	16' setback from lot line (GE)	3' to GE
South	16' setback from lot line (GE)	19' to GE

East	16' setback from lot line (GE)	225' + to GE
West	16' setback from lot line (GE)	52' to GE
<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Roof Pitch		
Primary	6:12 to 12:12	6:12
Secondary	4:12 unless specific approval	2:12 and Flat Roof
Exterior Material		
Stone	35%	43%
Wood	25% (No requirement)	26%
Windows/Doors	40% maximum for windows	31%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

**BACKGROUND**

A conceptual work session was held regarding this application on May 5, 2016. The project received formal review on July 7, 2016. The project was continued so the applicant could address the following list of concerns:

1. The design of the car storage/carport;
2. Exterior lighting that will not intrude on neighboring property;
3. Provide window trim details per the CDC;
4. Reconsider the chimney design.

**OVERVIEW**

Please refer to the July 7 staff report for an overall description and critique of the project. This report will address the issues raised at that meeting, list currently proposed variations and reasons for approval.

**Design of the Car Storage / Carport**

The two outdoor parking spaces were proposed to be sheltered by an extension of the flat portion of the roof. The architect stated that one reason for this is to balance the portion of the flat roof that protects the southern patio. The Board felt the parking overhang created a carport which is not in character with Mountain Village. The applicant has further reduced the overhang from what was first proposed at 16 feet, to 12 feet and now at eight feet. The steel columns remain. The current design does center the garage below this portion of flat roof as seen in the South Elevation.

**Exterior Lighting**

The Board was concerned the number of exterior fixtures, together with the light trespass from the interior, would impact the property to the south. The applicant has removed approximately one-half of the exterior fixtures. They have also designated the wattage of the proposed fixtures.

**Window Trim Details**

The plan set for the July 7 DRB meeting had one window detail to illustrate that the windows that were within, or adjacent to the stone were inset at least five inches per the CDC. The revised plans are still in compliance and a detail of the areas of where glass is within the vertical siding. The architect has made an effort to not emphasize these joints by adding additional reveals or trim.

### **Chimney**

The applicant has provided pictures of Mountain Village homes that do not have heavy stone surrounds. This concern was raised because the CDC states “Chimney enclosures are generally made of stone, stucco or metal. The metal shall be treated to produce rusting”. However the first stated standard under the chimney standards is “The chimney form shall relate to the overall building”. Staff believes the proposed chimney meets the CDC as the flue is encased in steel and the simple design relates to the austere roof design and metal columns supporting the flat roof extensions.

### **Other Changes**

The applicant has changed the glass front door to steel to highlight the entry. This removes their request for a variation to exceed uninterrupted glass area of 40 square feet. They have also lowered the stone along the north elevation to below the windows. The change reduces the amount of stone by two percent with a directly related increase in the amount of vertical wood siding. The percentage of stone still exceeds the CDC requirement at 41%.

### **Potential Design Variations and Specific Approvals Required**

- Specific approval of the address monument is required because it is in the front General Easement.
- Specific approval of the 2.2:1 grade slope adjacent to the terrace where 3:1 is required.
- The secondary roof forms are flat or 2:12 pitch where a minimum of 4:12 is required.
- The vertical siding is of varied sizes from two to 10 inches where a minimum of eight inches is required.

### **COMPOSITION AND TOWN DESIGN THEME**

The proposed design is a departure from the most interpretations of the Mountain Village vernacular, including the neighboring structures. However, it is staff’s contention the proposal meets the goals of the community’s design theme:

#### 17.5.4 TOWN DESIGN THEME

- A. The town design theme is directed at establishing a strong image and sense of place for the community within its mountain setting.
- B. Mountain Village is located in a fragile, high-alpine environment that contains forests, streams, wetlands and mountainous topography. The natural physical features and setting of the town shall inform the design of our buildings to promote harmony between people and nature that respects and blends with its surroundings and is integrated into the landscape.

Staff: The applicant has successfully sited the home in the most appropriate (flat) location on the site and preserved many of the existing mature Douglas Fir trees. They have kept the building height low to not impede upon the neighboring structures.

- C. Architecture and landscaping within the town shall be respectful and responsive to the tradition of alpine design and shall reflect sturdy building forms common to alpine regions.
- D. Architectural expression shall be a blend of influences that visually tie the town to mountain buildings typically found in high alpine environments.

Staff: The low slung design and flatter pitch of the roof takes away some of the common elements that are used in Mountain Village to evoke sturdiness, such as stone

buttresses, heavy timber or steel brackets. However the view of this home from the roadway (west elevation) is of a sturdy stone house.

- E. Architecture within the town will continue to evolve and create a unique mountain vernacular architecture that is influenced by international and regional historical alpine precedents. The Town encourages new compatible design interpretations that embrace nature, recall the past, interpret our current time, and move us into the future while respecting the design context of the neighborhood surrounding a site.

Staff: The Wieninger home is an implementation of this goal. There are probably more international than local or regional influences in the design, but the result respects the site and design context of the neighborhood without mimicking the neighbors.

- F. The key characteristics of the town design theme are:
1. Building siting that is sensitive to the building location, access, views, solar gain, tree preservation, and visual impacts to the existing design context of surrounding neighborhood development.
  2. Massing that is simple in form and steps with the natural topography.
  3. Solid, heavy grounded bases that are designed to withstand alpine snow conditions.
  4. Structure that is expressive of its function to shelter from high snow loads.
  5. Materials that are natural and sustainable in stone, wood, and metal.
  6. Colors that blend with nature.

Staff: In addition to integrating the home into the site to preserve significant trees, the non-characteristic long bands of windows and balcony only occur on the east elevation to take advantage of the principal views. The massing is simple and steps with the topography. The roof form has changed so that it does not appear as a short gable roof surrounded by a flat roof. The 2:12 secondary extensions help unify the roof form. The materials are natural and very much a part of the Mountain Village palette.

### **RECOMMENDATION**

Staff believes a new interpretation of design in this location is warranted because:

- It is carefully located on the infill site to preserve existing specimen trees and avoid major grading;
- Glass expanses are on ground level to embrace nature;
- It is a good neighbor by staying below the shoulders of the much more massive scale of the neighboring structures;
- The low profile of the home does not lend itself to many of the elements used to ground a taller structure such as stone buttresses, heavy steel and wood columns and brackets;
- The scale of the home, preservation of trees and the supplementing landscape buffers the home from the neighbors; and
- The neighborhood does include other modern design interpretations.

Therefore, staff recommends approval of the project with the proposed variations and specific approvals contained herein subject to the following conditions:

1. Approval of a general easement encroachment for the address monument prior to issuance of a certificate of occupancy.

**Agenda Item # 3**

2. The residence shall have a monitored fire sprinkler system; and the numbers on the address monument shall be coated or outlined with material to cause them to be reflective.
3. The applicant shall submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into any easements/setbacks prior to the Building Division conducting the required footing or foundation inspection, as applicable.
4. Prior to the issuance of a development permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.

May 23, 2016

**Updated July 20, 2016**

Town of Mountain Village

Planning Department

Attention: Glen Van Nimwegen / Dave Bangert

**RE: Lot 181 Mountain Village – DRB application**

Glen / Dave –

Based on our May 5 Worksession with the Mountain Village Design Review Board, attached is our plan submittal for Lot 181.

General Info:

The property is located towards the end of Highlands Way, nestled amongst mostly built-out lots. It is a very private site, with significant amounts of mature landscaping on the lot and a fairly flat building area towards the west side of the property, which is where we are proposing to place the home. The siting of the home is in response to both a natural shelf created by the topography as well as a series of mature mostly fir trees located in the middle of the lot, to the southeast, and north of the proposed residence. The canopy of these trees has been a significant driver in the design of the home, encouraging us to place the home in such a way that is exists below and is tucked under the large canopy overhead.

We attempted to minimize the driveway length and keep the approach as straightforward as possible in order to reduce the amount of tree removal on the lot. The home is essentially an L-shaped plan. There is a garage, mudroom, and bedroom wing located in an east west orientation and the kitchen, dining and living areas are located in the north/south orientation to maximize the views from those spaces. The bedrooms will be oriented to a south lawn within the disturbed area of the development to further engage the occupants with the outdoor spaces and provide ample southern exposure. We have eliminated the double carport from our previous hearing based on general feedback from the board.

Glazing:

As you can see, there is significant amounts of glazing around the open living area. The driving factor behind this is maximizing the exposure of the living spaces to the outdoor spaces and providing an uninterrupted visual connection between the two. I have spoken with the building department, and their response has been that as long as we meet a performance based energy code for the home then we are allowed some flexibility in how this is achieved. This is of course from a building code perspective only and would not supercede the decision of the Design Review Board. Essentially our approach will be to work with an energy modeling consultant and likely provide high performance glazing that allows us to reach our goals through HERS rating analysis. This has been designed within the 40 sf max uninterrupted glazing guideline. It should be noted that these panels are a single story of glass, unlike the homes you see throughout the Mountain Village that have 2 to 2.5 stories of glazing to maximize views. I think if you were add the total amount of glass that we are proposing, it would be in line with a more typical, but much larger home in the region. The amount of glazing is essentially unchanged from our previous hearing.

### Roof forms:

We are proposing 2 intersecting 6:12 primary gables over each wing of the L-shaped form, with a flat roof portion over the garage area. From our previous hearing we have eliminated the flat roof “eaves” that surrounded the gables before and replaced these sections with a 2:12 lower roof form. From a design standpoint, our approach as mentioned previously was to engage this home below the existing tree canopy and respond to the natural topography in a single, horizontal form, rather than building 3-4 stories up and maximizing the height. We studied many iterations of roof forms both prior to the worksession and after getting feedback from the board. We felt that this approach met both our design aesthetic for a single low building form, but also responded to the concerns that the board members had for eliminating much of the flat roofed areas. It was previously discussed and should be reiterated that what we are proposing has very minimal impact on the 2 neighboring homes from a mass and scale, solar access and view corridor perspective, compared to a more traditional home. We were previously proposing a “LiveRoof” tray system for the flat roofed portions of the home but after hearing from the board members, the consensus seemed to be that they were not in favor of this approach.

### Revisions based on the July 7, 2016 hearing:

**We received a general list of items of concern from the DRB at the July 7 hearing that we have attempted to address in the resubmittal of our plans. These items include:**

**1 – Carport design – A majority of the DRB members were opposed to the originally submitted full length carport that encompassed 2 protected parking spaces, so we eliminated the carport and provided a 12’ overhang that we indicated on the west side of the home at our previous hearing. We have since further reduced this overhang from 12’ to 8’ and maintained the columns in order to provide some consistency with the overhang on the terrace south of the living room, to provide architectural interest on that end of the home and to provide some protection for the trash storage area and garage entry door below.**

**2 – Outdoor lighting plan – We were asked to study the outdoor lighting plan and reduce the number of fixtures. Upon review we previously submitted a plan with a 48 fixtures that were a combination of recessed steplights, recessed downlights and freestanding landscape post lights. Our revised lighting plan now consists of 22 steplights and downlights resulting in a reduction of over 50%. Additional information on the individual fixtures has been provided including trim, beam spread and wattage. It should also be noted that the project next door on Lot 182 to the south had a combined 43 fixtures approved for their exterior lighting plan, with quite a few of them exposed decorative fixtures.**

**3 – Chimney flue – The board had some hesitation with our chimney design being an exposed metal flue which seemed to contradict the CDC. To clarify, our chimney is a circular steel surround that would hide our actual chimney flue inside of it. Attached are a series of images of metal chimney flue surrounds that were previously approved throughout Mountain Village over the years. We feel that our chimney design is in compliance with the design theme of the community and we hesitate to add a large stone chimney surround by extending the fireplace up through the roof, adding unnecessary mass up high.**

**4 – Window trim – We were asked to study options for window trim although no requirements or conditions were stated. The design aesthetic of our home results in clean lines and very little unnecessary ornamentation on the building. The windows in the living area have no trim since they are a series of units mullied together and any windows in the stone walls are recessed and have stone returns which is quite common throughout Mountain Village. So we focused our design energy on the windows in wood siding, mainly on the south and north elevations. The treatment of our vertical siding and it's varied widths would be interrupted by window trim if we were to apply it on the sides and our barn doors would need to hang out past this trim in order to pass by and cover the glazing. The area below the doors and windows is a trim piece in dark metal that will show from the bottom of the door to the deck, approximately 5". We feel any additional trim added will distract from the design intent.**

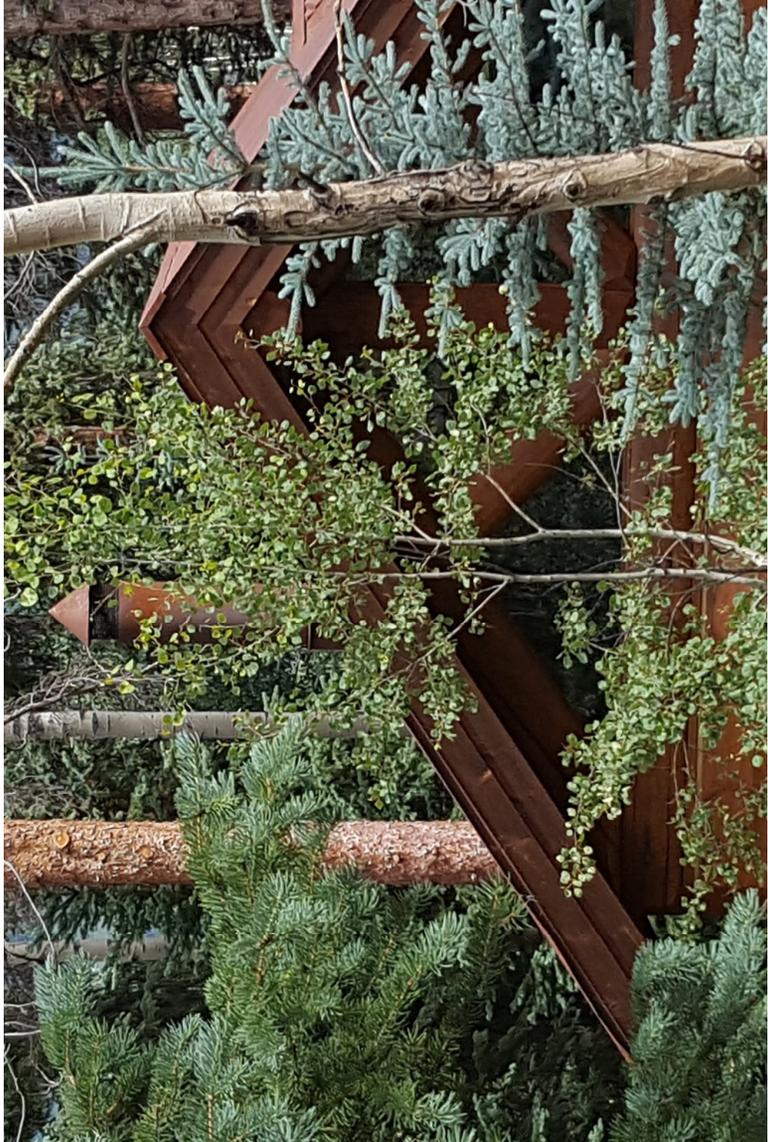
**Additional items to note:**

- **The front door has been revised to steel to create sense of solidity, highlight the entry and not require a variance from the board for exceeding allowable glazing.**
- **The stone on the north side has been lowered 12" to the bottom of the windows rather than engaged as previously shown. Stone / Material calculations have been updated.**

Please review the revised drawings and let me know if you have any questions in order for the application to proceed. Thank you for your time and direction so far on this.

Sincerely,

Peter Sante  
Sante Architects

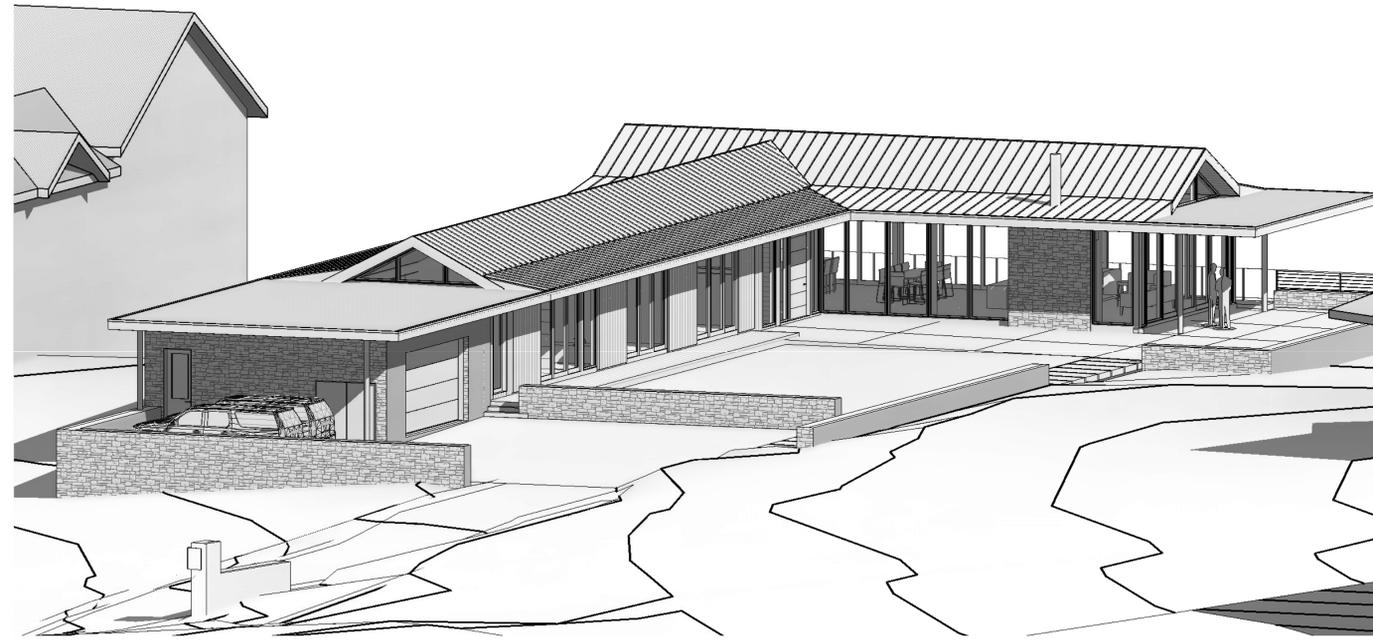












**SHEET INDEX**

- 1.4 INTERIOR 3D VIEWS
- 1.5 RENDERINGS
- 5.0 BUILDING SECTIONS
- 5.1 BUILDING SECTIONS
- 5.2 BUILDING SECTIONS
- 9.0 INTERIORS - LIVING ROOM
- 9.1 INTERIORS - LIVING ROOM
- A 1.0 COVER SHEET, INDEX
- A 1.1 CONCEPTUAL VIEWS
- A 1.2 3D VIEWS
- A 2.0 SITE PLAN
- A 3.0 OVERALL FLOOR PLANS
- A 3.1 FLOOR PLANS
- A 3.2 FLOOR PLANS
- A 3.4 ROOF PLAN
- A 4.0 ELEVATIONS
- A 8.0 DOORS AND WINDOWS

**BUILDING CODE/ZONING INFO**

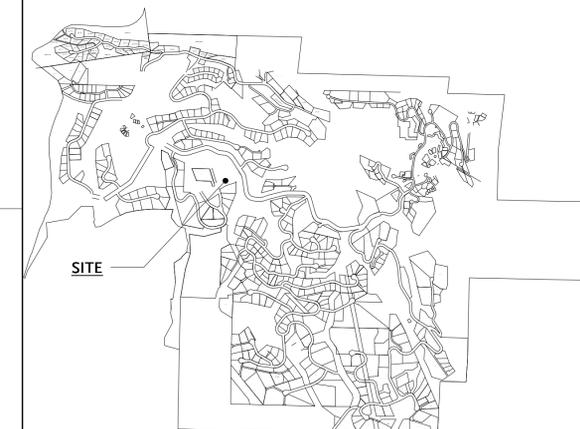
- A LT OUTDOOR LIGHTING PLAN
- PROJECT INFORMATIONAL CALCULATIONS
- A OCCUPANCY AND LOADING PLAN
- B TYPE OF CONSTRUCTION
- C UZ DRB DRAINAGE AND EROSION CONTROL PLAN
- SQUARE FOOTAGE CALCULATIONS

MAIN LEVEL FLOOR PLAN	3421 sf
LOWER LEVEL FLOOR PLAN	1652 sf
<b>GARAGE</b>	<b>587 sf</b>
<b>TOTAL</b>	<b>5660 sf</b>
LOT SIZE:	1.84 ACRES = 80,151sf
BUILDING FOOTPRINT:	4008 sf
LOT COVERAGE:	5%

**PROJECT DIRECTORY**

<p><b>OWNER</b></p> <p>CHRISTIAN WIENINGER MARKTSTRASSE 1 83317 TEISENDORF GERMANY</p>	<p><b>ARCHITECT</b></p> <p>SANTE ARCHITECTS, LLC 107 N. FIR STREET P.O. BOX 61 TELLURIDE, CO 81435</p> <p>970.728.6102 - P 970.728.6103 - F</p>	<p><b>CONTRACTOR</b></p> <p>EVANS CONSTRUCTION 683 W. PACIFIC AVE #200A TELLURIDE, CO 81435</p> <p>970.369.0870</p>
<p><b>STRUCTURAL ENGINEER</b></p>	<p><b>SURVEYOR</b></p> <p>SAN JUAN SURVEYING 102 SOCIETY DR. TELLURIDE, CO 81435</p> <p>970.728.1128 - P 970.728.9201 - F</p>	<p><b>GEOTECH ENGINEER</b></p> <p>DOWL 222 SOUTH PARK AVE. MONTROSE, CO 81401</p> <p>970.249.6828</p>

**VICINITY MAP**



**SANTE ARCHITECTS**

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107 North Fir Street  
Telluride, CO 81435  
www.SANTearchitects.com

**LOT 181  
MOUNTAIN  
VILLAGE  
COLORADO**

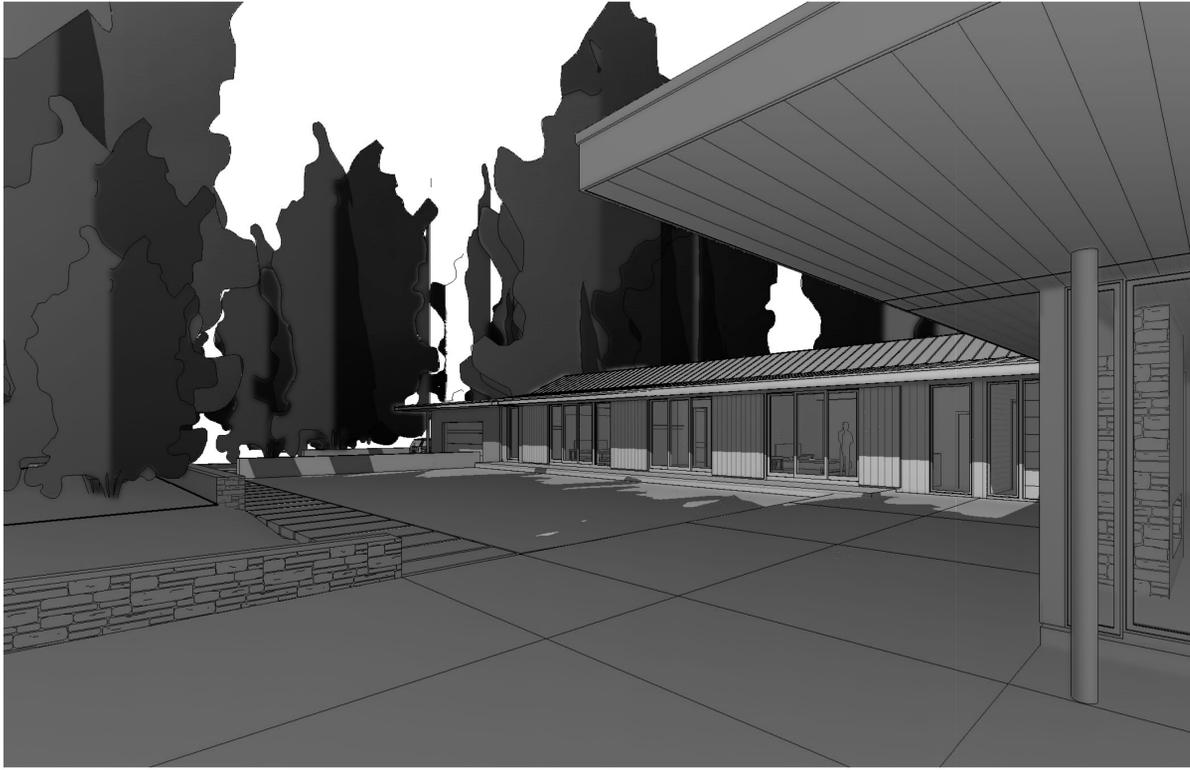
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SJ  
CHECKED BY:  
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FILE:  
1515

**LOT 181 MOUNTAIN VILLAGE  
DRB FINAL APPROVAL - RESUBMITTAL  
7.20.16**

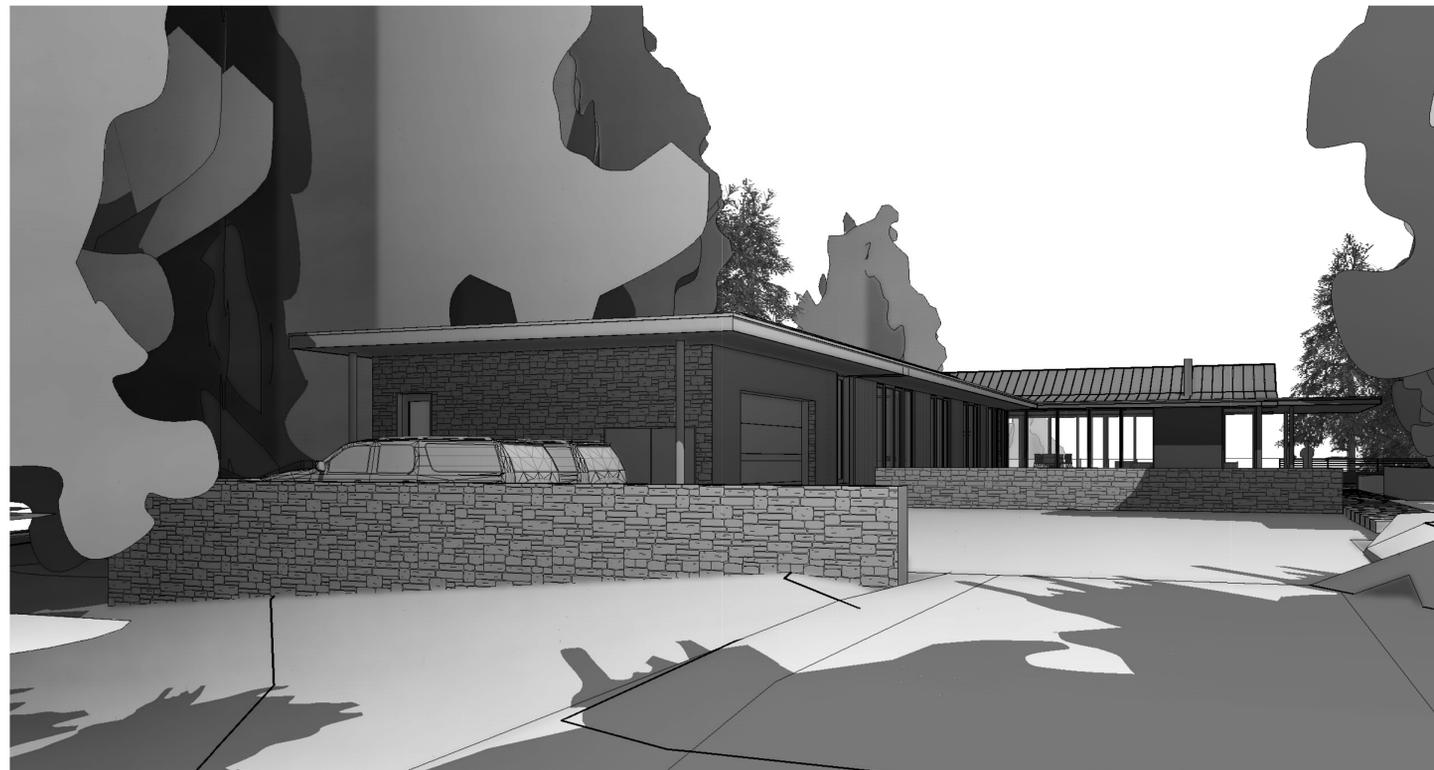
**COVER SHEET,  
INDEX**

SCALE:  
1 1/2" = 1'-0"

A 1.0



1 3D View 1



2 view from driveway



3 3D View 6

LOT 181  
 MOUNTAIN VILLAGE  
 COLORADO

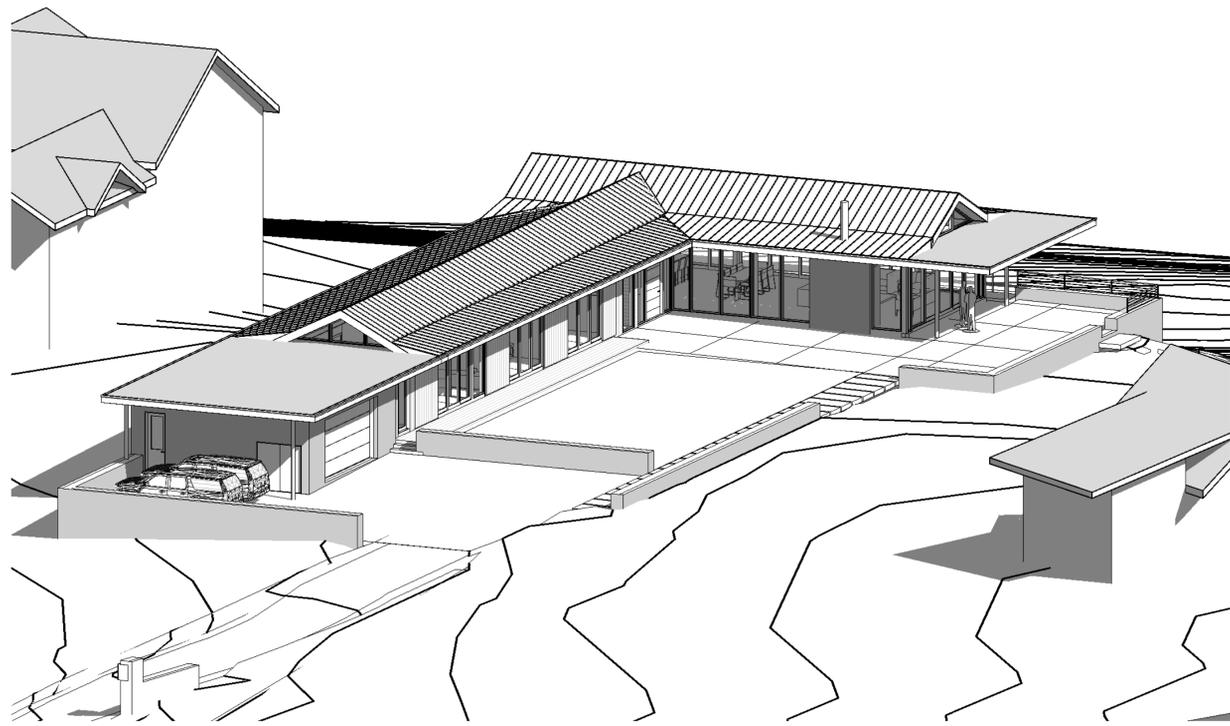
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MV DRB FINAL  
 RESUBMITTAL 7.20.16

CONCEPTUAL VIEWS

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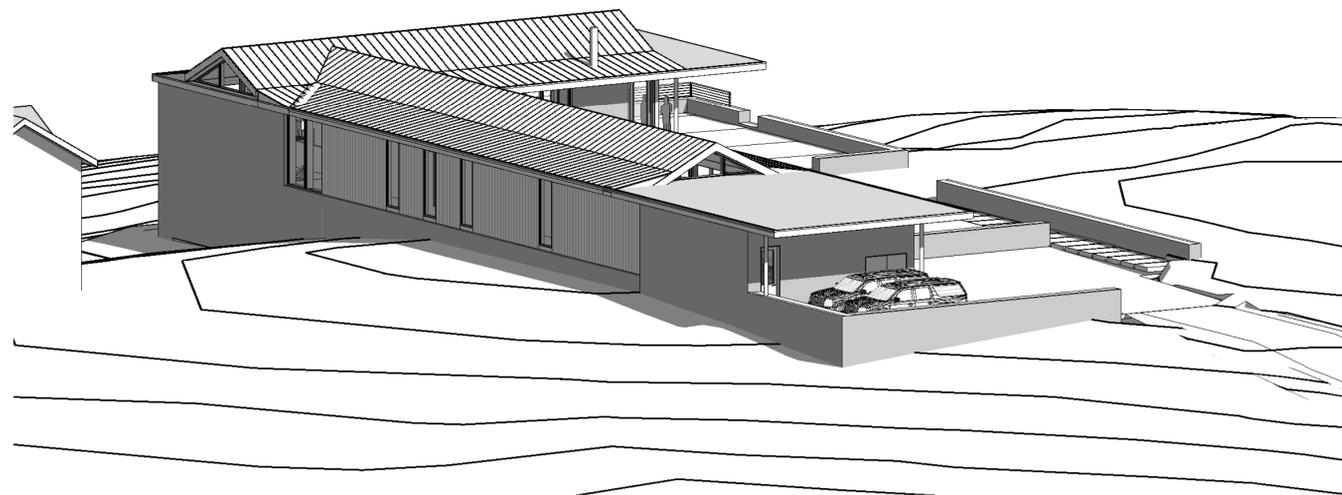
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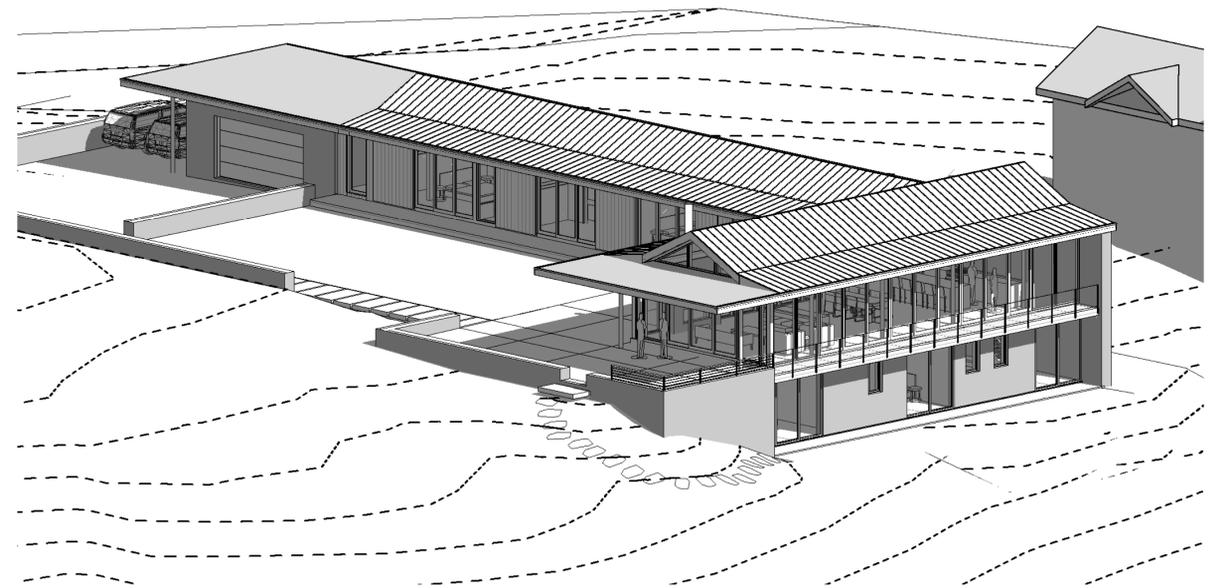
1 3D entry



2 3D NE



3 3D NW



4 3D SE

LOT 181  
 MOUNTAIN VILLAGE  
 COLORADO

DATE:  
 7.20.16

DRAWN BY:  
 SJ

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 SJ

FILE:  
 1515

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 RESUBMITTAL 7.20.16

3D VIEWS

SCALE:



LOT 181  
 MOUNTAIN VILLAGE  
 COLORADO

DATE:  
 7.20.16

DRAWN BY:  
 Author

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 Checker

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MV DRB FINAL  
 RESUBMITTAL 7.20.16

Revision Schedule

RENDERINGS

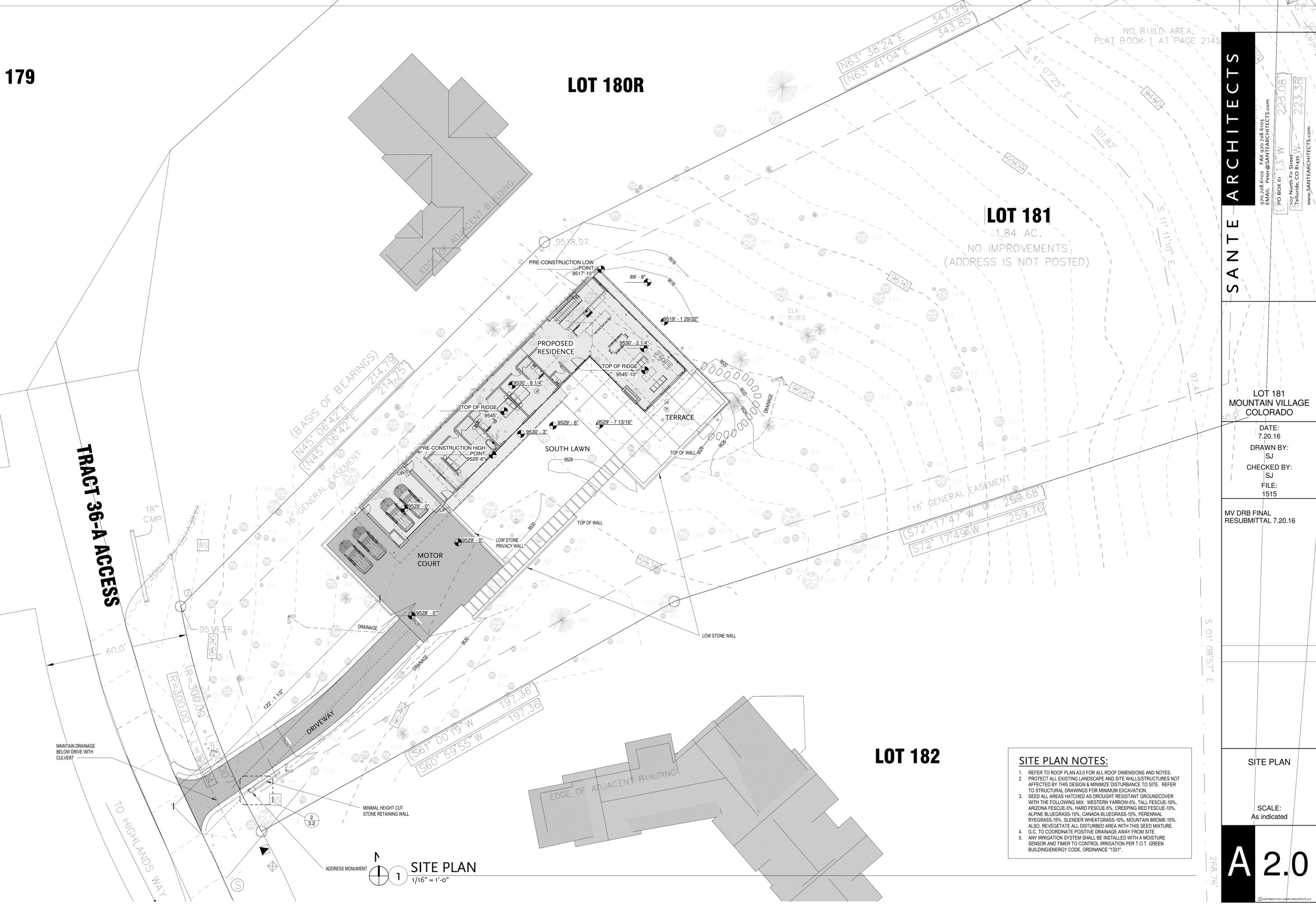
SCALE:

LOT 180R

LOT 181

1.84 AC.  
NO IMPROVEMENTS  
(ADDRESS IS NOT POSTED)

LOT 182



TRACT 36-A ACCESS

(BASIS OF BEARINGS)  
[N45° 06' 42" E 214.79]  
[N45° 06' 42" E 214.75]  
16' GENERAL EASEMENT

16' GENERAL EASEMENT  
[S72° 17' 47" W 259.68]  
[S72° 17' 49" W 259.76]

[S61° 00' 19" W 197.36]  
[S60° 59' 55" W 197.36]

- SITE PLAN NOTES:**
1. REFER TO ROOF PLAN A3.0 FOR ALL ROOF DIMENSIONS AND NOTES.
  2. PROTECT ALL EXISTING LANDSCAPE AND SITE WALLS/STRUCTURES NOT AFFECTED BY THIS DESIGN & MINIMIZE DISTURBANCE TO SITE. REFER TO STRUCTURAL DRAWINGS FOR MINIMUM EXCAVATION.
  3. SEED ALL AREAS HATCHED AS DROUGHT RESISTANT GROUND COVER WITH THE FOLLOWING MIX: WESTERN YARROW-5%, TALL FESCUE-10%, ARIZONA FESCUE-5%, HARD FESCUE-5%, CREEPING RED FESCUE-10%, ALPINE BLUEGRASS-15%, CANADA BLUEGRASS-10%, PERENNIAL RYEGRASS-15%, SLENDER WHEATGRASS-10%, MOUNTAIN BROME-15%. ALSO, REVEGETATE ALL DISTURBED AREA WITH THIS SEED MIXTURE.
  4. G.C. TO COORDINATE POSITIVE DRAINAGE AWAY FROM SITE.
  5. ANY IRRIGATION SYSTEM SHALL BE INSTALLED WITH A MOISTURE SENSOR AND TIMER TO CONTROL IRRIGATION PER T.O.T. GREEN BUILDING/ENERGY CODE, ORDINANCE 1331.

1 SITE PLAN  
1/16" = 1'-0"

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Telluride, CO 81435 W 223.38  
www.SANTEARCHITECTS.com

LOT 181  
MOUNTAIN VILLAGE  
COLORADO

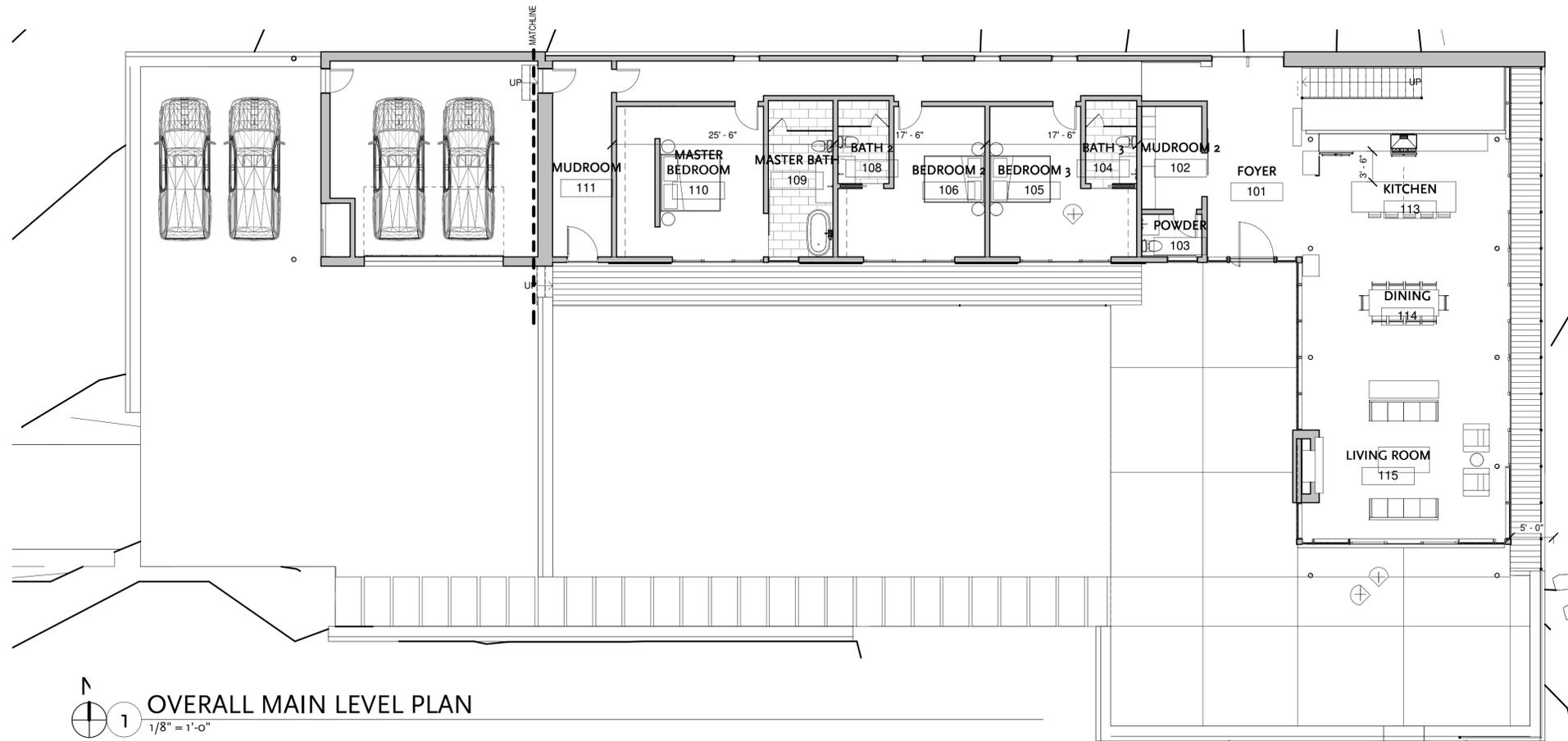
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RESUBMITTAL 7.20.16

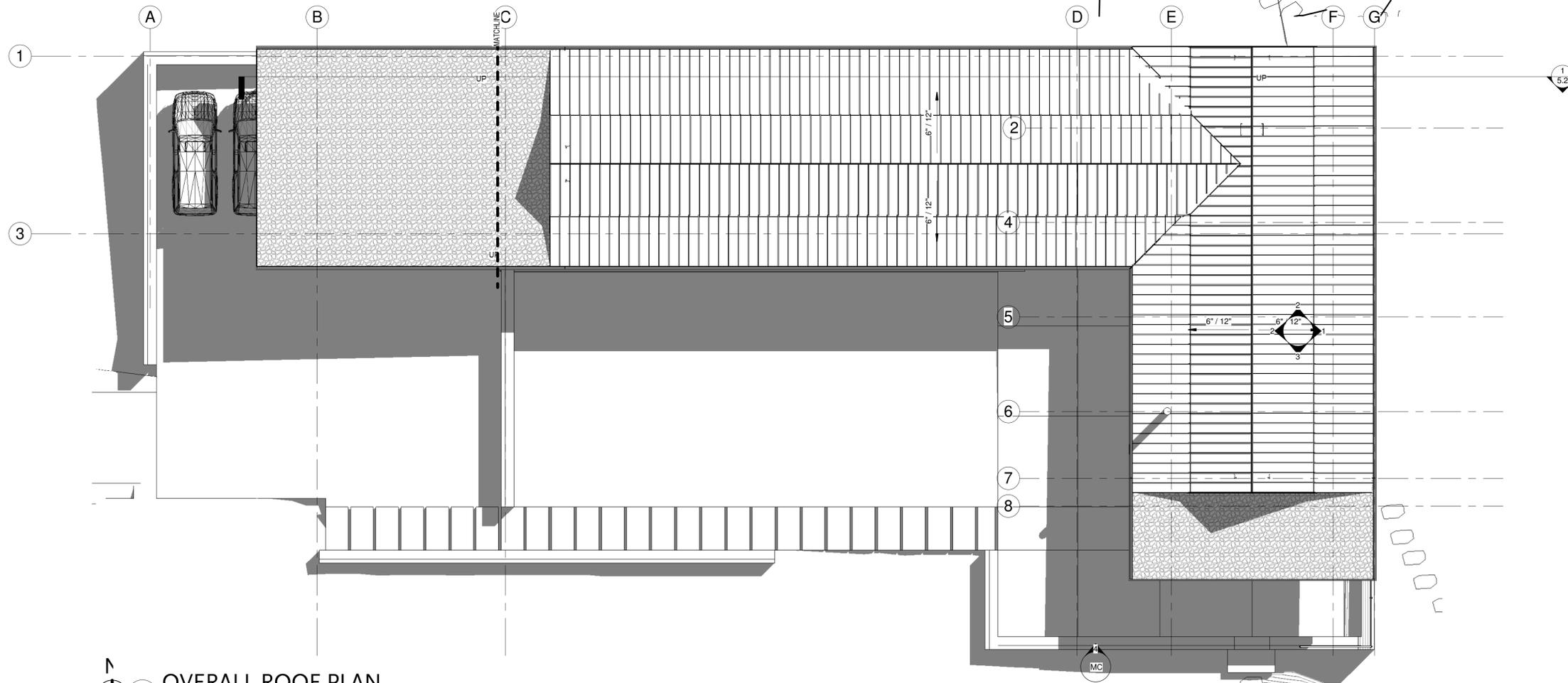
SITE PLAN

SCALE:  
As indicated

A 2.0



1 OVERALL MAIN LEVEL PLAN  
1/8" = 1'-0"



2 OVERALL ROOF PLAN  
1/8" = 1'-0"

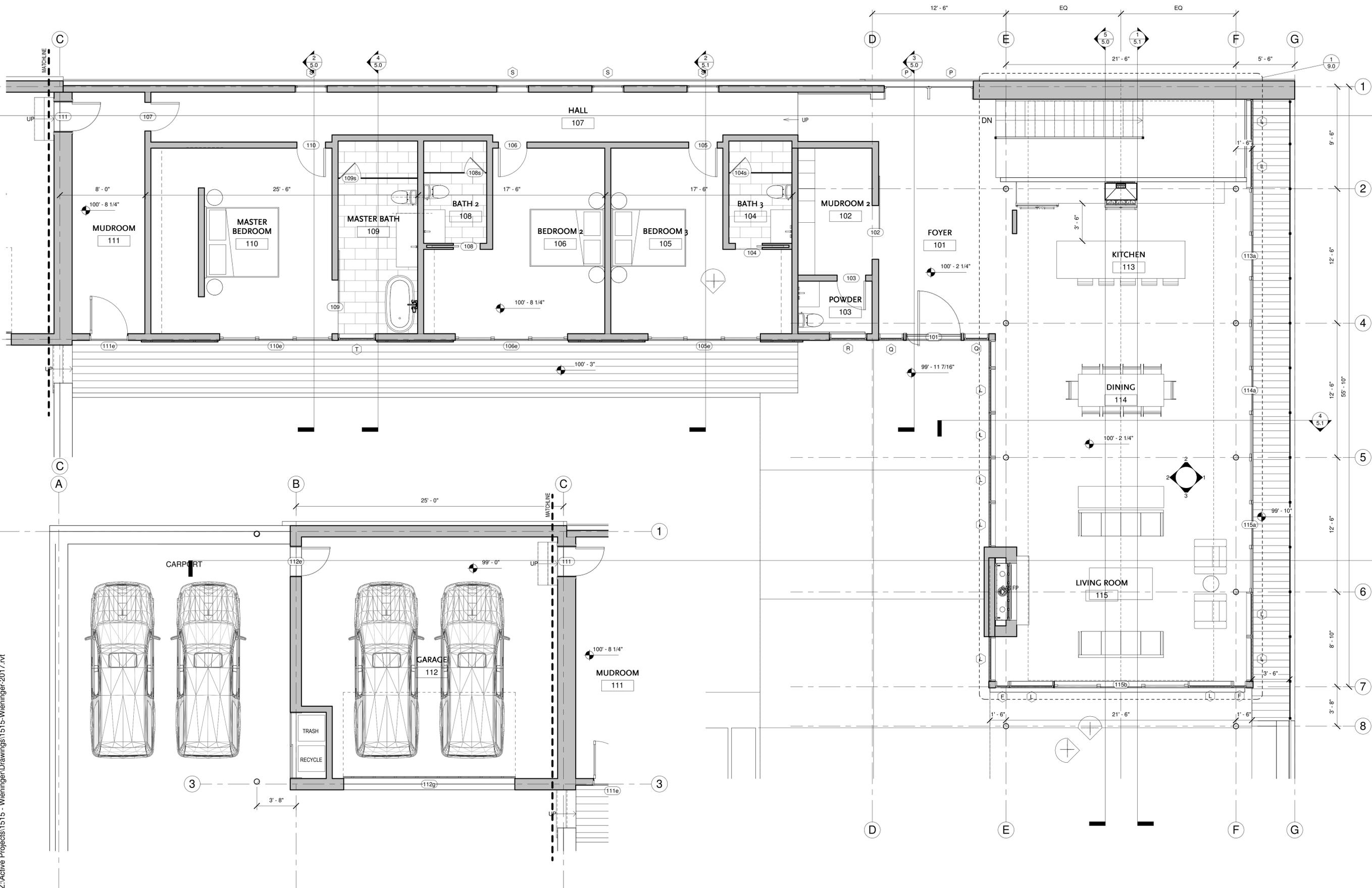
LOT 181  
MOUNTAIN VILLAGE  
COLORADO

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7.20.16  
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MV DRB FINAL  
RESUBMITTAL 7.20.16

OVERALL FLOOR  
PLANS

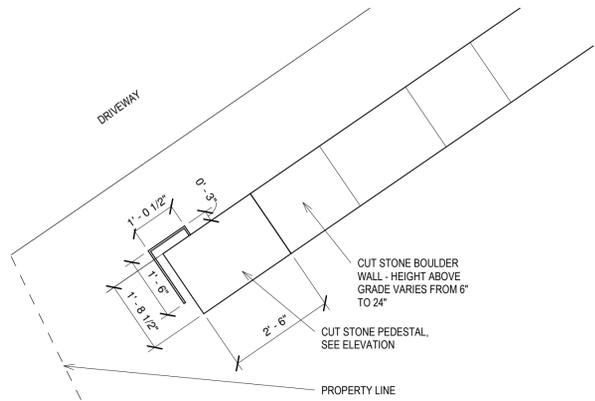
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1/8" = 1'-0"



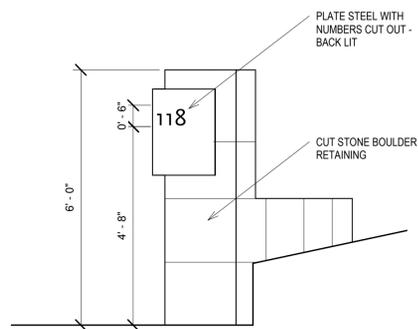
**1 GARAGE PLAN**  
 1/4" = 1'-0"

**2 MAIN LEVEL FLOOR PLAN**  
 1/4" = 1'-0"

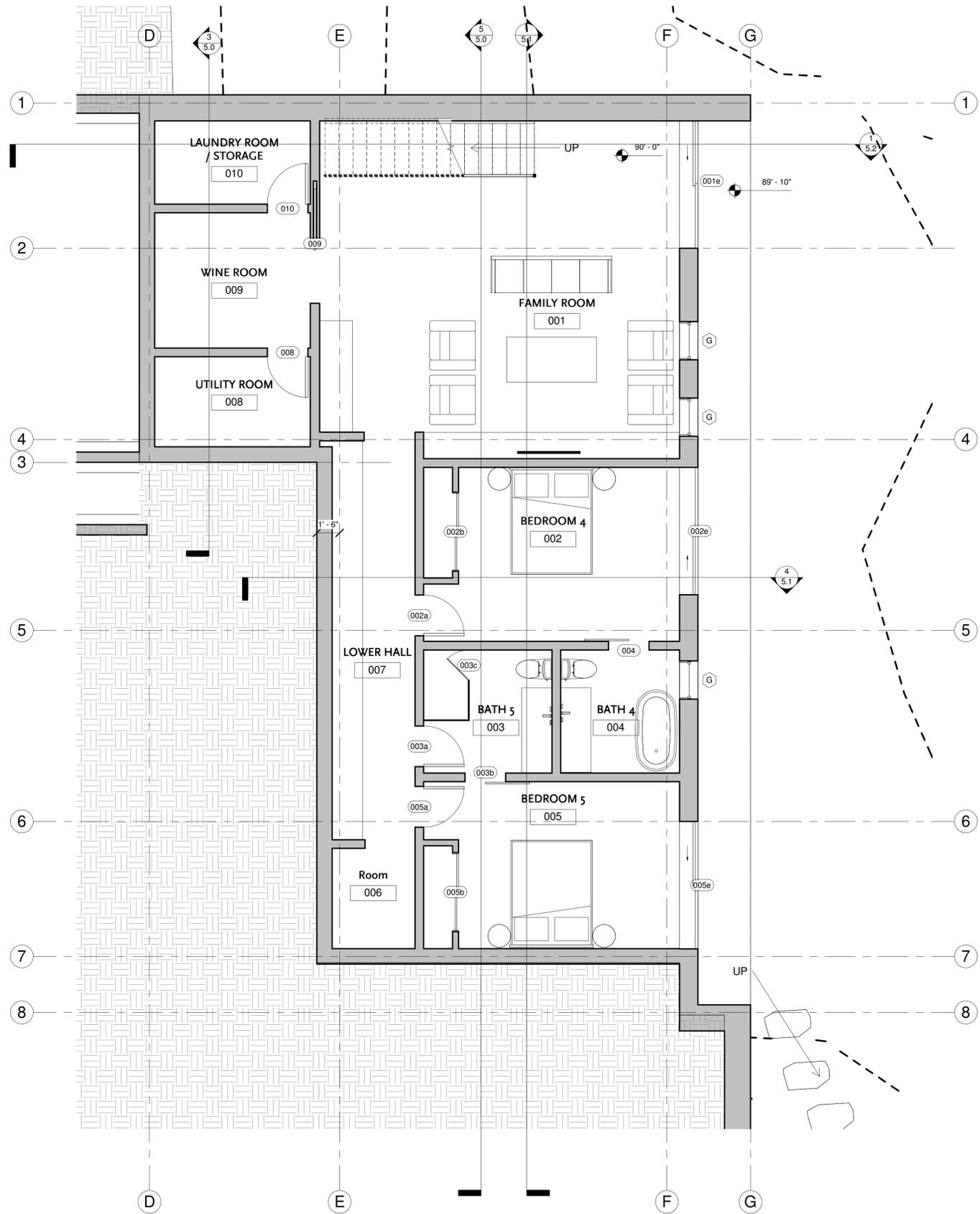
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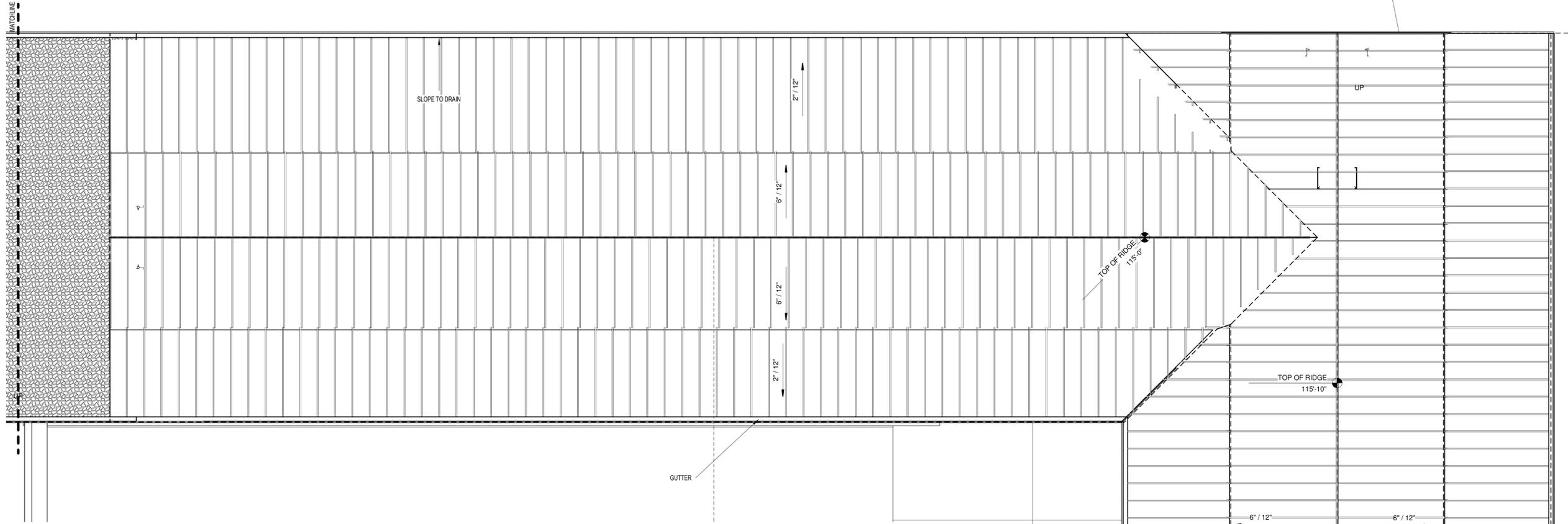
**2 ADDRESS MONUMENT PLAN**  
1/2" = 1'-0"



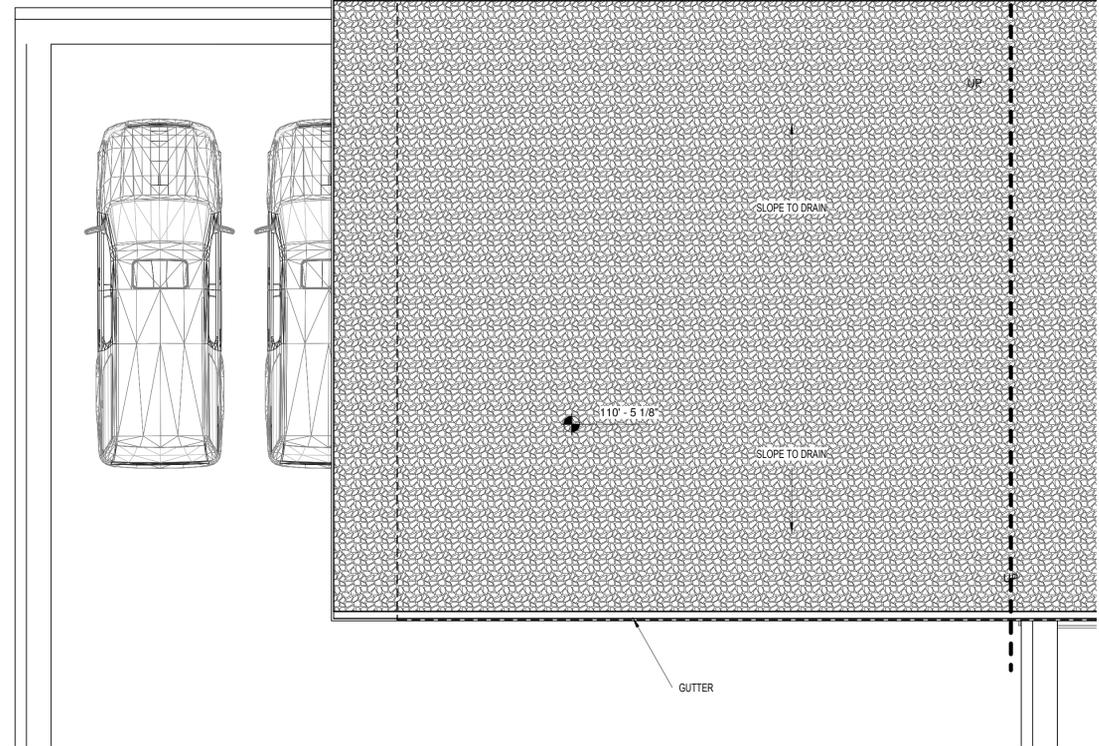
**3 ADDRESS MONUMENT ELEVATION**  
1/2" = 1'-0"



**1 LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0"

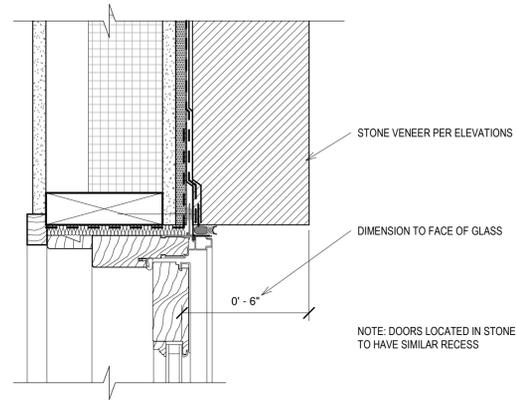


2 MAIN ROOF PLAN  
1/4" = 1'-0"



3 GARAGE / CARPORT ROOF  
1/4" = 1'-0"





**1** TYP WINDOW RECESS DETAIL  
3" = 1'-0"

**WINDOW NOTES:**

- FOR GENERAL NOTES SEE A1.0.
- REFER TO EXTERIOR ELEVATIONS A4.0 & A4.1 FOR WINDOW SWING/OPERATION INFORMATION.
- REFER TO EXTERIOR ELEVATIONS A4.0 & A4.1 FOR LOCATIONS OF SAFETY GLAZING.
- WINDOW SIZES LISTED ARE UNIT SIZES AND COORDINATE WITH PLAN AND EXTERIOR ELEVATION DIMENSIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND COORDINATE ALL ROUGH OPENINGS WITH MANUFACTURER AND CONSTRUCTION DOCUMENTATION.
- INSTALL WINDOWS PER SELECTED MANUFACTURERS INSTALLATION INSTRUCTIONS. WRAP ALL R.O.'S WITH ICE AND WATER SHIELD OVER BUILDING PAPER TO 6" BEYOND OPENING AT EXTERIOR, TYPICAL & TO INSIDE OF FRAMING AT INTERIOR. BUILDING PAPER AT HEAD TO OVERLAP BITUTHANE/FLANGE AT HEAD TO CREATE A SHINGLE EFFECT.
- VERIFY DIMENSIONS FOR CUSTOM WINDOWS IN THE FIELD.
- EXTERIOR TRIM AND INTERIOR CASING TO MATCH DETAILING AT EXISTING WINDOWS.
- WINDOWS TO MEET THE CURRENT APPLICABLE INTERNATIONAL ENERGY CODE IN PLACE FOR THE TOWN OF MOUNTAIN VILLAGE.

**WINDOW SCHEDULE**

Type Mark	Width	Height	Comments
F	1' - 3 3/4"	9' - 6"	
G	2' - 6"	4' - 0"	
I	4' - 5"	1' - 6"	
J	4' - 5"	1' - 6"	TRIANGULAR
L	4' - 2"	9' - 4"	
M	2' - 7"	9' - 4"	
P	4' - 2"	9' - 4"	
Q	2' - 4"	9' - 3"	
R	3' - 6"	9' - 3"	
S	3' - 0"	8' - 9 3/4"	
T	3' - 6"	8' - 9 3/4"	

**DOOR NOTES:**

- FOR GENERAL NOTES SEE A1.0.
- VERIFY EXTERIOR DOOR DESIGN WITH OWNER. EXTERIOR DOORS SHALL BE ENERGY STAR RATED WITH AN R-VALUE OF 2.86 OR MORE. INTERIOR DOORS TO MATCH STYLE, SPECIES AND FINISH OF EXISTING DOORS.
- FOR DOOR LOCATIONS (SHOWN 106) SEE PLAN DRAWINGS.
- DOOR SWINGS SHALL BE AS SHOWN ON PLAN DRAWINGS.
- WHERE FLOOR MATERIAL IS CONTINUOUS AT DOOR, NO THRESHOLD DETAIL.
- DOOR SIZES LISTED ARE PANEL/LEAF SIZES. DIMENSIONS FOR INTERIOR DOORS ON PLANS ARE TO CENTERLINE OR EDGE OF R.O.
- ALIGN DOOR HEIGHTS TO EXISTING HEIGHTS WHERE UNLESS OTHERWISE NOTED.
- PROVIDE HINGE PINS AT ALL LOCATIONS WHERE DOOR SWING INTERFERES WITH CASE, BASE, BUCK, OR WALLS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND COORDINATE ALL ROUGH OPENINGS WITH MANUFACTURER AND CONSTRUCTION DOCUMENTATION.

**DOOR SCHEDULE**

Mark	Width	Height	Comments
001a	8' - 4"	9' - 0"	EXTERIOR
002a	2' - 8"	7' - 0"	
002b	5' - 0"	7' - 0"	
002e	8' - 4"	9' - 0"	EXTERIOR
003a	2' - 8"	7' - 0"	
003b	2' - 8"	7' - 0"	
003c	2' - 0"	7' - 6"	GLASS SHOWER DOOR
004	2' - 8"	7' - 0"	
005a	2' - 8"	7' - 0"	
005b	5' - 0"	7' - 0"	
005c	6' - 0"	6' - 0"	
005e	8' - 4"	9' - 0"	EXTERIOR
008	2' - 8"	7' - 0"	
009	4' - 0"	8' - 0"	
010	2' - 8"	7' - 0"	
101	5' - 0"	9' - 3"	EXTERIOR
102	5' - 0"	8' - 2"	
103	2' - 8"	7' - 0"	
104	2' - 6"	8' - 0"	
104a	2' - 0"	7' - 6"	GLASS SHOWER DOOR
105	2' - 8"	7' - 0"	
105e	10' - 6"	8' - 9 3/4"	EXTERIOR
106	2' - 8"	7' - 0"	
106e	10' - 6"	8' - 9 3/4"	EXTERIOR
107	2' - 8"	7' - 0"	
108	2' - 6"	8' - 0"	
108a	2' - 0"	7' - 6"	
108b	5' - 0"	8' - 2"	GLASS SHOWER DOOR
108c	2' - 0"	7' - 6"	
108d	2' - 0"	7' - 6"	GLASS SHOWER DOOR
110	2' - 8"	7' - 0"	
110e	10' - 6"	8' - 9 3/4"	EXTERIOR
111	2' - 8"	8' - 0"	
111e	3' - 6"	8' - 9 3/4"	EXTERIOR
112e	2' - 8"	8' - 0"	EXTERIOR
112g	16' - 0"	8' - 0"	
113a	12' - 6"	9' - 4"	EXTERIOR
114a	12' - 6"	9' - 4"	EXTERIOR
115a	12' - 6"	9' - 4"	EXTERIOR
115b	12' - 6"	9' - 4"	EXTERIOR

**SANTE ARCHITECTS**

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Telluride, CO 81435  
www.santearchitects.com

LOT 181  
MOUNTAIN VILLAGE  
COLORADO

DATE:  
7.20.16

DRAWN BY:  
SJ

CHECKED BY:  
SJ

FILE:  
1515

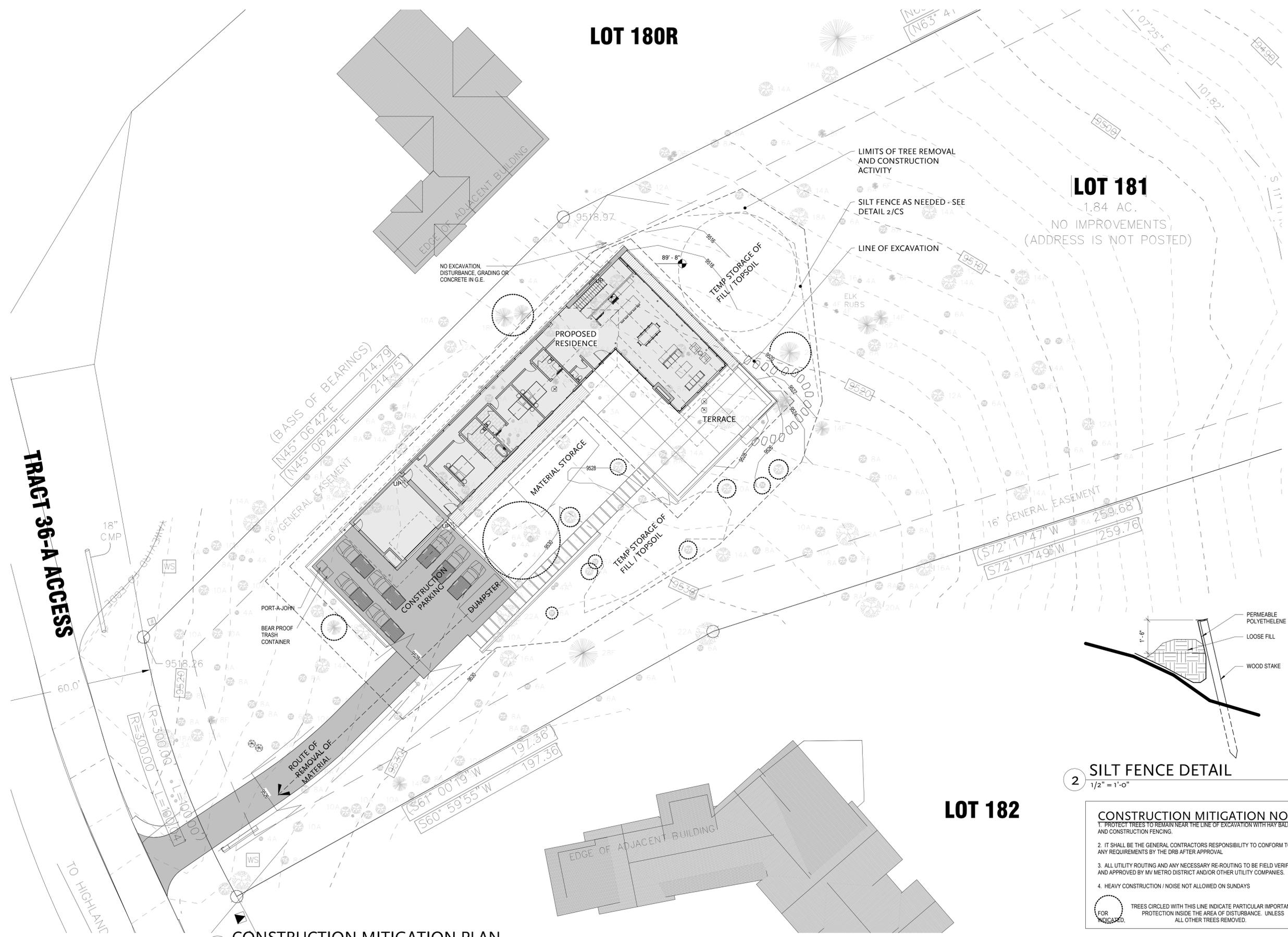
MV DRB FINAL  
RESUBMITTAL 7.20.16

DOORS AND  
WINDOWS

SCALE:  
As indicated

**A 8.0**

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**LOT 180R**

**LOT 181**  
1.84 AC.  
NO IMPROVEMENTS  
(ADDRESS IS NOT POSTED)

**LOT 182**

**1** CONSTRUCTION MITIGATION PLAN  
1/16" = 1'-0"

**2** SILT FENCE DETAIL  
1/2" = 1'-0"

- CONSTRUCTION MITIGATION NOTES:**
1. PROTECT TREES TO REMAIN NEAR THE LINE OF EXCAVATION WITH HAY BALES AND CONSTRUCTION FENCING.
  2. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO CONFORM TO ANY REQUIREMENTS BY THE DRB AFTER APPROVAL.
  3. ALL UTILITY ROUTING AND ANY NECESSARY RE-ROUTING TO BE FIELD VERIFIED AND APPROVED BY MV METRO DISTRICT AND/OR OTHER UTILITY COMPANIES.
  4. HEAVY CONSTRUCTION / NOISE NOT ALLOWED ON SUNDAYS
- TREES CIRCLED WITH THIS LINE INDICATE PARTICULAR IMPORTANCE PROTECTION INSIDE THE AREA OF DISTURBANCE. UNLESS ALL OTHER TREES REMOVED.

**SANTE ARCHITECTS**

LOT 181  
MOUNTAIN VILLAGE  
COLORADO

DATE:  
7.20.16  
DRAWN BY:  
SJ  
CHECKED BY:  
SJ  
FILE:  
1515

MV DRB FINAL  
RESUBMITTAL 7.20.16

CONSTRUCTION  
MITIGATION PLAN

SCALE:  
As indicated

**ACM**

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EMAIL: Peter@SANTearchitects.com  
PO BOX 61  
107 North Fir Street  
Telluride, CO 81435  
www.SANTearchitects.com

**LANDSCAPE PLAN NOTES:**

- GENERAL NOTES**
- All trees and shrubs shall be field located by project Landscape architect.
  - All trees and shrubs shall be backfilled with a topsoil/organic fertilizer mixture at a 2:1 ratio.
  - Necessary trees shall be staked with 4 foot metal posts. Trees shall be guyed with 12 gauge galvanized wire and poly-propylene tree race straps.
  - Tree straps to be removed following the initial first two planting seasons.
  - Perennial planting beds shall be tilled to a 6" depth and amended with topsoil and organic fertilizer at a 2:1 ratio.
  - See planting details for all deciduous and evergreen trees.
  - Mulch all perennial beds with Back to Earth Landscaper Mix or approved equivalent.
  - All plant material to meet the American Standard for Nursery Stock.
  - In non-perennial bed planting areas calling for mulch use triple shredded pine mulch, color black or brown. No red.

- NOXIOUS WEEDS**
- All planted materials including seed, shall be non-noxious species as specified within the San Miguel County's most current Noxious Weed List.

- LANDSCAPE MAINTENANCE NOTES**
- Turf shall be aerated 2 to 3 times per year to increase the water absorption rates. Necessary organic fertilization and amendment shall be incorporated at the same time.
  - Irrigation system shall be turned on by the 15th of May and blown out by the 30th of October annually.
  - Mulch shall be re-applied to all perennial beds, trees, and shrub beds every 3 seasons at a minimum.
  - Tree stem protection in the form of a tree wrap shall be applied to trees subject to physical damage from snow blowing and winter vole damage. Stems should be wrapped from the bottom to the top to keep water from seeping in. The top should be attached with a stretchable material such as masking tape or light twine that will decompose naturally.
  - Remove tree wrap every spring following the winter snow plow season. Never leave a tree stem wrap for more than one year.
  - All plantings within a perennial bed shall be trimmed to 6" from the ground in the fall following the growing season and before winter. Beds should be raked and then mulched with straw, hay, or leaves, where necessary.
  - Perennial beds requiring additional mulching in the fall shall be those susceptible to significant snow melt with a south or southwesterly exposure and/or significant wind exposure.
  - All standing dead shall be removed seasonally upon appearance.

**LANDSCAPE PLANT SCHEDULE:**

BOTANICAL NAME	COMMON	SIZE	QTY
Populus tremuloides	Aspen	2.5' cal. multi 3.0' cal. single	9 8
Picea pungens	Colorado Spruce	12'	1
Pinus aristata	Bristlecone Pine	4-6'	3
Pinus mugo	Mugo Pine	24"	5
Pseudotsuga mensziesii	Douglas Fir	10'	1
Prunus virginiana melanocarpa	Native Elderberry	#5	8
Sambucus pubens	Native Elderberry	#5	6
Sod		1200 SF	
Perennial groundcover		400 SF	
Revegetation Native Grass seed	(see revegetation notes)	field verify	

**LANDSCAPE WATER USAGE:**

Type	Monthly use	Total #	Total Monthly Usage
Perennials	2.5 gal.	400 SF	1,000
Sod	4 gal./sf	1200 SF	4,800
Shrubs	4 gal	19	76
Aspen	10 gal. ea.	17	170
Spruce	25 gal. ea	1	25
Douglas Fir	20 gal. ea	1	20
Bristlecone	10 gal. ea	3	30
<b>Total</b>			<b>6,121 gallons</b>

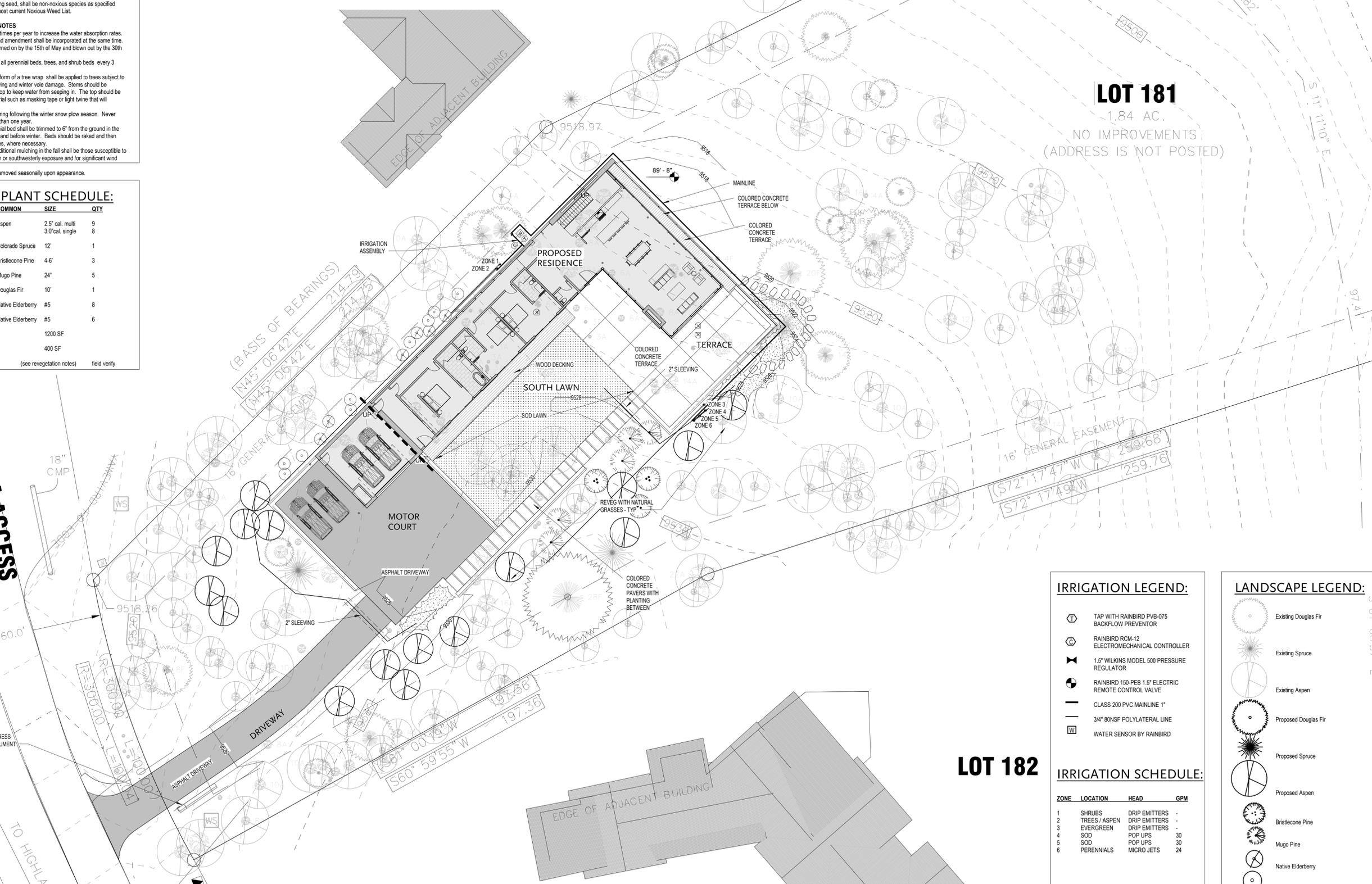
**LOT 180R**

**LOT 181**

1.84 AC.  
NO IMPROVEMENTS  
(ADDRESS IS NOT POSTED)

**LOT 182**

**TRACT 36-A ACCESS**



**IRRIGATION LEGEND:**

- TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTOR
- RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
- 1.5" WILKINS MODEL 500 PRESSURE REGULATOR
- RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE
- CLASS 200 PVC MAINLINE 1"
- 3/4" 80NSF POLYLATERAL LINE
- WATER SENSOR BY RAINBIRD

**IRRIGATION SCHEDULE:**

ZONE	LOCATION	HEAD	GPM
1	SHRUBS	DRIP EMITTERS	-
2	TREES / ASPEN	DRIP EMITTERS	-
3	EVERGREEN	DRIP EMITTERS	-
4	SOD	POP UPS	30
5	SOD	POP UPS	30
6	PERENNIALS	MICRO JETS	24

**LANDSCAPE LEGEND:**

- Existing Douglas Fir
- Existing Spruce
- Existing Aspen
- Proposed Douglas Fir
- Proposed Spruce
- Proposed Aspen
- Bristlecone Pine
- Mugo Pine
- Native Elderberry
- Native Chokecherry
- Perennial Groundcover
- Sod

**LANDSCAPE PLAN**  
1/16" = 1'-0"

**SANTE ARCHITECTS**

970728.6102 FAX 970 728 6103  
EMAIL Peter@SANTEARCHITECTS.com  
PO BOX 61  
107 North Fir Street  
Telluride, CO 81435  
www.SANTEARCHITECTS.com

**LOT 181 MOUNTAIN VILLAGE COLORADO**

DATE: 7.20.16  
DRAWN BY: SJ  
CHECKED BY: SJ  
FILE: 1515

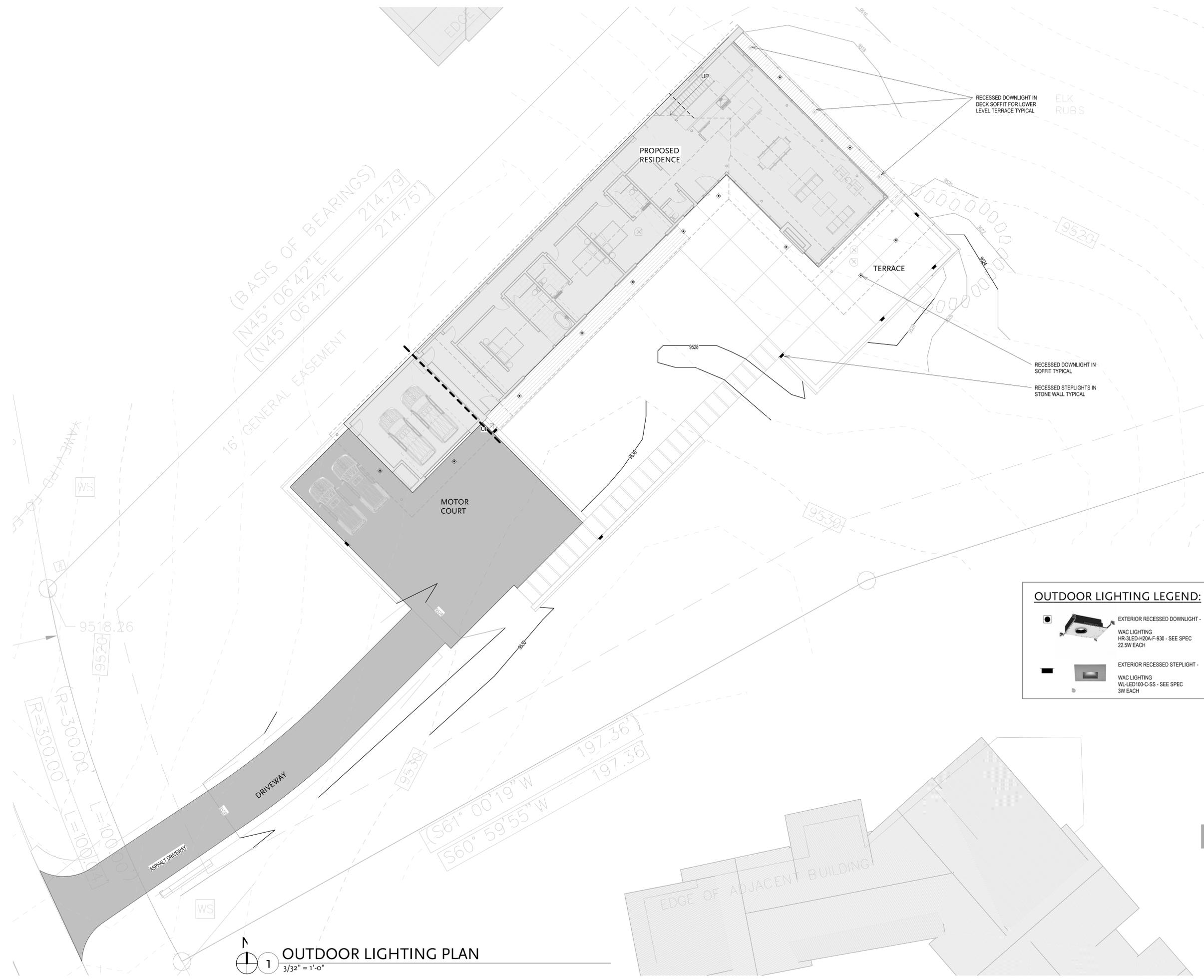
MV DRB FINAL RESUBMITTAL 7.20.16

**CONCEPTUAL LANDSCAPE PLAN**

SCALE: As indicated

**ALS**

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**OUTDOOR LIGHTING LEGEND:**

	EXTERIOR RECESSED DOWNLIGHT - WAC LIGHTING HR-3LED-H20A-F-930 - SEE SPEC 22.5W EACH
	EXTERIOR RECESSED STEPLIGHT - WAC LIGHTING WL-LED100-C-SS - SEE SPEC 3W EACH

**1** OUTDOOR LIGHTING PLAN  
3/32" = 1'-0"

**SANTE ARCHITECTS**

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www.SANTearchitects.com

**LOT 181  
MOUNTAIN VILLAGE  
COLORADO**

DATE:  
7.20.16  
DRAWN BY:  
SJ  
CHECKED BY:  
Checker  
FILE:  
1515

MV DRB FINAL  
RESUBMITTAL 7.20.16

**OUTDOOR LIGHTING  
PLAN**

SCALE:  
As indicated

**ALT**

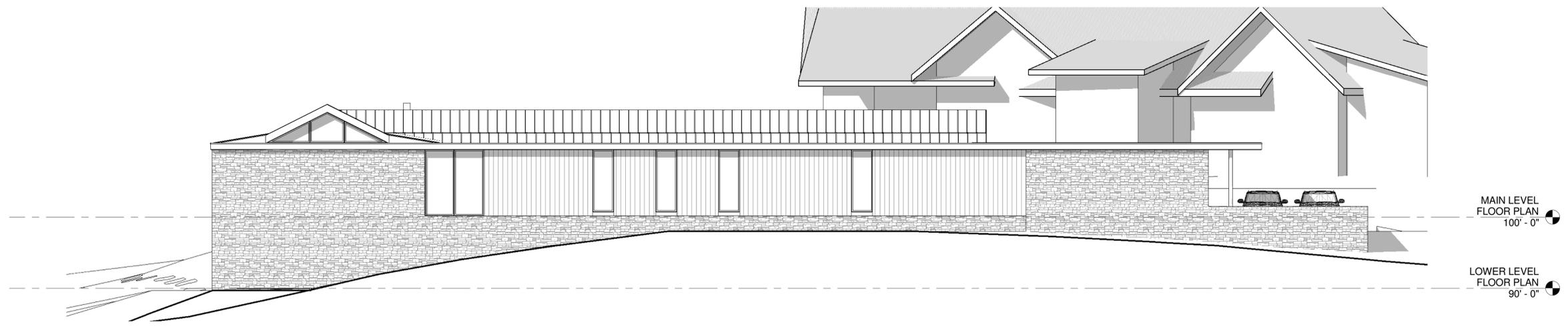
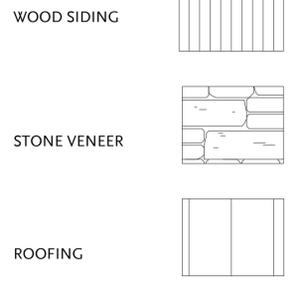
© COPYRIGHT 2016 SANTE ARCHITECTS LLC

**MATERIAL CALCULATIONS:**

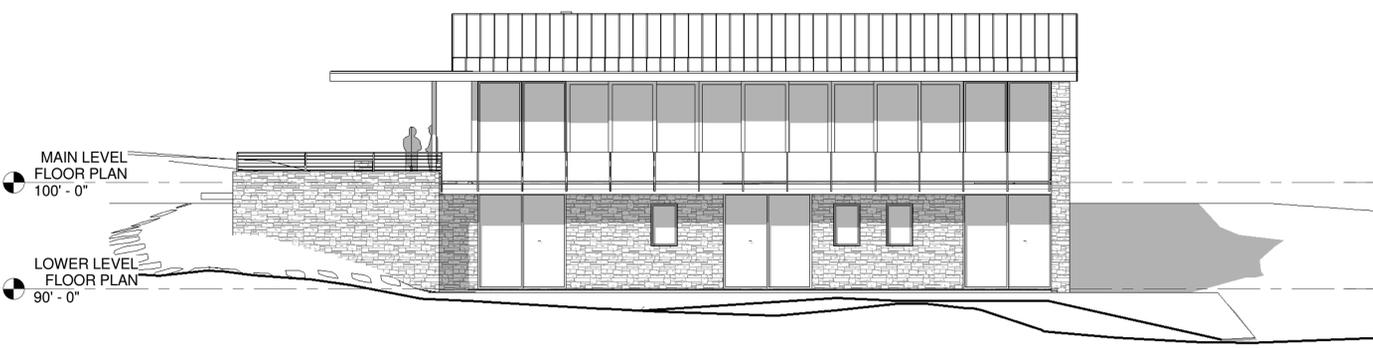
NORTH ELEVATION:	EAST ELEVATION:	SOUTH ELEVATION:	WEST ELEVATION:
TOTAL SF OF EXTERIOR WALL - 2244 SF	TOTAL SF OF EXTERIOR WALL - 1376 SF	TOTAL SF OF EXTERIOR WALL - 1703 SF	TOTAL SF OF EXTERIOR WALL - 787 SF
TOTAL SF OF STONE - 1258 SF	TOTAL SF OF STONE - 487 SF	TOTAL SF OF STONE - 287 SF	TOTAL SF OF STONE - 471 SF
TOTAL SF OF STUCCO - 0 SF	TOTAL SF OF STUCCO - 0 SF	TOTAL SF OF STUCCO - 0 SF	TOTAL SF OF STUCCO - 0 SF
TOTAL SF OF WOOD - 782 SF	TOTAL SF OF WOOD - 123 SF	TOTAL SF OF WOOD - 740 SF	TOTAL SF OF WOOD - 93 SF
TOTAL SF OF ACCENT - 0 SF	TOTAL SF OF ACCENT - 0 SF	TOTAL SF OF ACCENT - 0 SF	TOTAL SF OF ACCENT - 0 SF
TOTAL SF OF FENESTRATION - 224 SF	TOTAL SF OF FENESTRATION - 766 SF	TOTAL SF OF FENESTRATION - 676 SF	TOTAL SF OF FENESTRATION - 223 SF

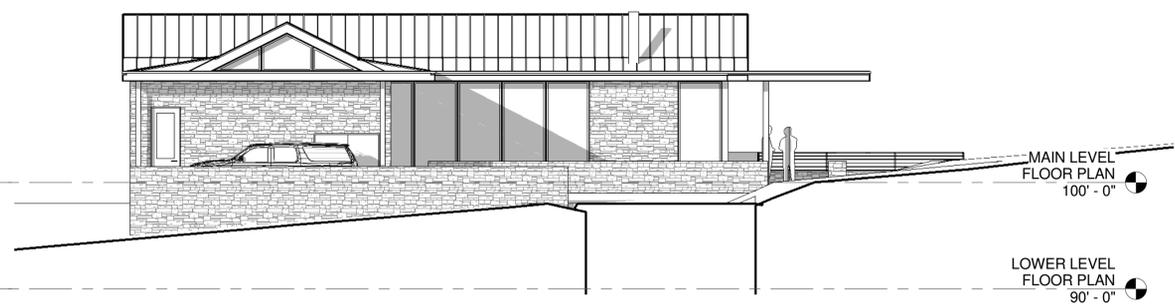
EXTERIOR WALL PERCENTAGES:	TOTAL BUILDING:
TOTAL % OF EXTERIOR WALL - 100%	TOTAL SF OF EXTERIOR WALL - 6110 SF
TOTAL % OF STONE - 41%	TOTAL SF OF STONE - 2503 SF
TOTAL % OF STUCCO - 0%	TOTAL SF OF STUCCO - 0 SF
TOTAL % OF WOOD - 28%	TOTAL SF OF WOOD - 1718 SF
TOTAL % OF ACCENT - 0%	TOTAL SF OF ACCENT - 0 SF
TOTAL % OF FENESTRATION - 31%	TOTAL SF OF FENESTRATION - 1889 SF



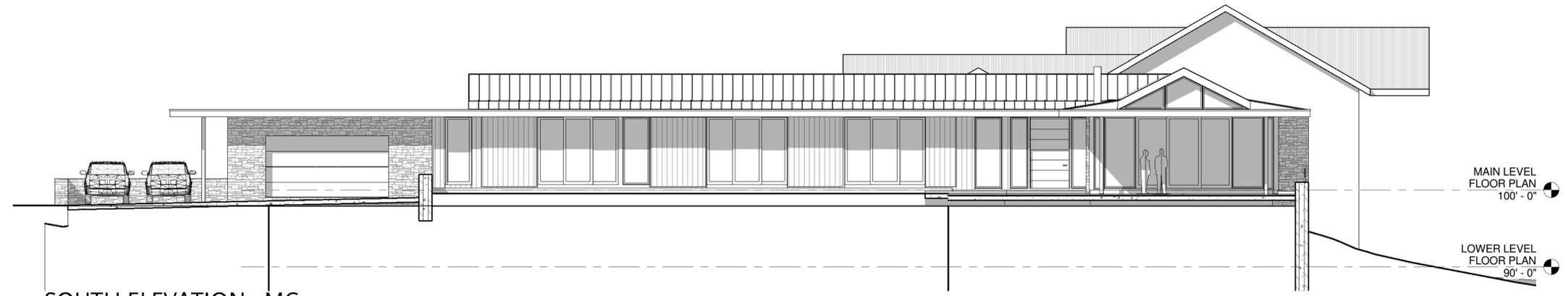
**1 NORTH ELEVATION - MC**  
1/8" = 1'-0"



**2 EAST ELEVATION - MC**  
1/8" = 1'-0"



**3 WEST ELEVATION - MC**  
1/8" = 1'-0"



**4 SOUTH ELEVATION - MC**  
1/8" = 1'-0"

**SANTE ARCHITECTS**

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www.santearchitects.com

LOT 181  
MOUNTAIN VILLAGE  
COLORADO

DATE:  
7.20.16  
DRAWN BY:  
SJ  
CHECKED BY:  
Checker  
FILE:  
1515

MV DRB FINAL  
RESUBMITTAL 7.20.16

MATERIAL  
CALCULATIONS

SCALE:  
As indicated

**AMC**



**PLANNING & DEVELOPMENT SERVICES  
DEPARTMENT**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435

**TO:** Design Review Board  
**FROM:** Glen Van Nimwegen  
**FOR:** Meeting of July 7, 2016  
**DATE:** June 29, 2016  
**RE:** Design Review Approval for a new single-family dwelling on Lot 181; 118 Highlands Way

**PROJECT GEOGRAPHY**

**Legal Description:** Lot 181  
**Address:** 118 Highlands Way  
**Applicant/Agent:** Sante Architects  
**Owner:** Christian Wieninger  
**Zoning:** Single-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 1.84 acres  
**Adjacent Land Uses:**

- **North:** Single-Family
- **South:** Single-Family
- **East:** Open Space
- **West:** Single-Family

**ATTACHMENTS**

- Exhibit A: Narrative
- Exhibit B: Plan Set
- Exhibit C: Lighting Cut Sheets

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	40' maximum (35'+5' for gable roof)	23' 6"
Maximum Avg Building Height	30'	19' 3/4"
Maximum Lot Coverage	40% maximum	5%
General Easement Setbacks		
North	16' setback from lot line (GE)	3' to GE
South	16' setback from lot line (GE)	19' to GE
East	16' setback from lot line (GE)	225' + to GE
West	16' setback from lot line (GE)	52' to GE

CDC Provision	Requirement	Proposed
Roof Pitch		
Primary	6:12 to 12:12	6:12
Secondary	4:12 unless specific approval	2:12 and Flat Roof
Exterior Material		
Stone	35%	43%
Wood	25% (No requirement)	26%
Windows/Doors	40% maximum for windows	31%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

**BACKGROUND**

A conceptual work session was held regarding this application on May 5, 2016. That meeting generated a lively discussion about the design and the theme for Mountain Village. The following points were made by board members regarding the site plan and architecture of the submittal:

- The design is a departure from the Mountain Village vernacular
- Likes simplicity of design
- Roof is too flat; the roof design should mirror surrounding topography and not extend over exterior parking spaces
- The straight ridgeline of roof may appear monotonous from a distance
- Don't break up roof planes
- Fits into context of existing neighborhood
- Design is considerate of the site and neighbors
- The green roof is a moustache
- Carport does not fit within the character of Mountain Village
- Design is of another place (Arizona) and not responsive to goals of the CDC
- Perhaps provide a wall adjacent to open stairway on East Elevation
- Eliminate green roof concept
- Appreciates effort to preserve Douglas Fir trees on the site
- Design in the Mountain Village will continue to evolve.

The design changes that have been made since the May 5<sup>th</sup> Work Session include:

- The roof design has changed by providing a combination gable, thereby extending the gable to the eaves. The primary gable is a 6:12 pitch and the new extensions are at a 2:12 pitch. The flat portion over the outdoor parking area has been shortened one car width. The flat portion will be covered by small tumbled stones recycled from the stonework.
- The stone veneer on the north elevation has been interrupted by vertical siding.
- The outside stairs have been removed from the east elevation.
- Stone replaced horizontal siding on the garage walls on the west and south elevations.
- On the south elevation, the horizontal siding was replaced with the varied width vertical siding. The architect is incorporating sliding barn doors of the same vertical siding that will cover the bedroom openings when the owners are away.

**OVERVIEW**

Lot 181 is 1.84 acres and slopes from west to east. The proposed home is situated toward the west of the lot to minimize the driveway length and reduce the amount of tree removal on the lot. The building site is fairly flat and the home is positioned in response to a natural shelf due to the topography of the lot and a series of mature Douglas firs located in the middle of the lot. The

site plan is a direct result of the effort to save these trees and tuck the home under the tree canopy.

### **Grading, Site and Landscape**

The tree cover on the lot is a mix of mature aspen, Douglas fir and a few spruces with an aspen understory. Most of the aspen is in decline and will be removed either for the home construction or wildfire mitigation. Most of the Douglas fir will be retained on the lot. All structures and improvements are out of the General Easement (GE), except for a proposed address monument which will need specific Board approval. The NE corner of the home's roof line and deck are within 5' of the GE. Due to the foundation being within five feet of the General Easement this will require a survey prior to pouring foundation footers.

There is one small area adjacent to the terrace where the grade is 2.2:1 where 3:1 is the maximum grade allowed without specific approval by the board. Steps are provided down this slope so the lower level can have quick access to the terrace. This is a better solution than the exterior stairway shown at the work session.

### **Roof Forms and Pitches**

The applicant has revised their design from the work session by extending the gable roof to the eaves with extensions at a pitch of 2:12. The portion of flat roof that extended over the two exterior parking spaces has been shortened about eight feet. The primary roof form is gable with a pitch of 6:12. These and the flat portions of the roof will require specific approval by the Board. (see Section 17.5.6.C 1 and 2 of the CDC)

The applicant has abandoned the proposal to make the flat portions of the roof green, and instead will cover these portions with tumbled stones from the chips from the masonry work.

### **Windows and Doors**

The total fenestration for the proposed home is 31%. The north elevation is at 10% windows which is under the 20% maximum. The east elevation opens up to the predominant views with 56% of the elevation as glass. The south elevation is at 41% fenestration and the west elevation is at 28% fenestration. All windows proposed as dark, anodized aluminum clad, color to be determined. The majority of the windows are at the 40 sq. ft. maximum for uninterrupted glass. (See Section 17.5.6.G of the CDC)

The applicant has added barn doors made of the same vertical siding as exterior wall material of the south elevation. These hang from a track in the soffit and will be closed over the bedroom glass doors when the occupants are away. All of the windows and doors will be inset a minimum of five inches when in the stone veneer.

The design guidelines state the primary entrance doorway shall establish interest, variety and character as determined on an individual basis. In this application the front door is on the west end of the south elevation and is subtly different from the other glass openings by being wider and taller. The front entry glass area is approximately 47.5 square feet, which exceeds the 40 square foot standard, but does open to a foyer adjacent to the great room. The design guidelines allow for larger uninterrupted glass areas when adjacent to a great room. The Board will have to give specific approval for the glass area of the entry doorway. (See Section 17.5.6.G of the CDC)

**Materials**

The percentage of stone is 43%. The majority of this stone is on the north and west elevations where more than one level are showing. The south elevation has only 17% stone, but the site walls around the courtyard help the view portray the solid, grounded theme of our design guidelines. The roofing material proposed is bonderized standing seam with bonderized fascia and gutters. Vertical wood siding makes up 26% of the materials of elevations. The board widths vary from two to ten inches. The Board will have to approve the siding as the code requires a minimum board dimension of eight inches.

The chimney pipe is a dark black mill scale raw sealed steel. The design guidelines require the chimney design to relate to the overall design, and this one does. However there is language in the CDC that requires a curved cap and that the chimney not be exposed metal. (See Section 15.5.6.D of the CDC)

**Outdoor Lighting**

The outdoor lighting includes only soffit and two types of step-lights surrounding the terrace and motor court. The recessed downlights are contained in the soffit above the west, east and south elevations. The step-lights are integrated into the adjacent low wall, or a short pedestal light is used where there is no adjacent wall. The proposed lighting should not be noticeable to the adjoining neighbors.

**Construction Mitigation**

The construction staging will occur in the auto court area of the home. There are areas of topsoil storage on the north and east sides of the lot, outside of the general easements. Existing trees in the patio/terrace area will be protected.

**Potential Design Variations and Specific Approvals Required**

- Specific approval of the address monument is required because it is in the front General Easement.
- Specific approval of the 2.2:1 slope adjacent to the terrace where 3:1 is required.
- The secondary roof forms are flat or 2:12 pitch where a minimum of 4:12 is required.
- The main entry door is glass and 47.5 square feet, which exceeds the maximum size of uninterrupted glass at 40 square feet. The doorway opens to the foyer, which is adjacent to the great room. The regulations allow up to 70 square feet when the opening is to a great room.
- The vertical siding is of varied sizes from two to 10 inches where a minimum of eight inches is required.
- The chimney is a dark black mill scale raw sealed steel pipe where the regulations do not allow exposed metal.

**COMPOSITION AND TOWN DESIGN THEME**

A considerable amount of discussion was devoted at the work session to the proposed design departure from the Mountain Village vernacular. The design is different in appearance than the neighboring structures. However, it is staff’s contention the proposal meets most of the goals of the community’s design theme:

17.5.4 TOWN DESIGN THEME

- A. The town design theme is directed at establishing a strong image and sense of place for the community within its mountain setting.

- B. Mountain Village is located in a fragile, high-alpine environment that contains forests, streams, wetlands and mountainous topography. The natural physical features and setting of the town shall inform the design of our buildings to promote harmony between people and nature that respects and blends with its surroundings and is integrated into the landscape.

Staff: The applicant has successfully sited the home in the most appropriate (flat) location on the site and preserved many of the existing mature Douglas Fir trees. They have kept the building height low to not impede upon the neighboring structures.

- C. Architecture and landscaping within the town shall be respectful and responsive to the tradition of alpine design and shall reflect sturdy building forms common to alpine regions.

- D. Architectural expression shall be a blend of influences that visually tie the town to mountain buildings typically found in high alpine environments.

Staff: The low slung design and flatter pitch of the roof takes away some of the common elements that are used in Mountain Village to evoke sturdiness, such as stone buttresses, heavy timber or steel brackets. However the view of this home from the roadway (west elevation) is of a sturdy stone house.

- E. Architecture within the town will continue to evolve and create a unique mountain vernacular architecture that is influenced by international and regional historical alpine precedents. The Town encourages new compatible design interpretations that embrace nature, recall the past, interpret our current time, and move us into the future while respecting the design context of the neighborhood surrounding a site.

Staff: The Wieninger home is an implementation of this goal. There are probably more international than local or regional influences in the design, but the result respects the site and design context of the neighborhood without mimicking the neighbors.

- F. The key characteristics of the town design theme are:
1. Building siting that is sensitive to the building location, access, views, solar gain, tree preservation, and visual impacts to the existing design context of surrounding neighborhood development.
  2. Massing that is simple in form and steps with the natural topography.
  3. Solid, heavy grounded bases that are designed to withstand alpine snow conditions.
  4. Structure that is expressive of its function to shelter from high snow loads.
  5. Materials that are natural and sustainable in stone, wood, and metal.
  6. Colors that blend with nature.

Staff: In addition to integrating the home into the site to preserve significant trees, the non-characteristic long bands of windows and balcony only occur on the east elevation to take advantage of the principal views. The massing is simple and steps with the topography. The roof form has changed so that it does not appear as a short gable roof surrounded by a flat roof. The 2:12 secondary extensions help unify the roof form. The materials are natural and very much a part of the Mountain Village palette.

Staff believes a new interpretation of design in this location is warranted by the benefits it allows by integrating into this infill site and staying below the shoulders of the much more massive scale of the neighboring structures.

**RECOMMENDATION**

Staff recommends approval of the project with the proposed variations and specific approvals contained herein subject to the following conditions:

1. Approval of a general easement encroachment for the address monument prior to issuance of a certificate of occupancy.
2. The residence shall have a monitored fire sprinkler system; and the numbers on the address monument shall be coated or outlined with material to cause them to be reflective.
3. The applicant shall submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into any easements/setbacks prior to the Building Division conducting the required footing or foundation inspection, as applicable.
4. Prior to the issuance of a development permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.



**PLANNING & DEVELOPMENT SERVICES  
DEPARTMENT**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Design Review Board

**FROM:** Glen Van Nimwegen

**FOR:** Meeting of August 4, 2016

**DATE:** July 29, 2016

**RE:** Conceptual work session for a new single-family dwelling on Lot 165R, Unit 12 at the Cortina Land Condominiums

**PROJECT GEOGRAPHY**

**Application Overview:** The purpose of this agenda item is to allow the Design Review Board provide initial direction to the applicant regarding a proposed new single family home.

**Legal Description:** Lot 165R, Unit 12 at the Cortina Land Condominiums

**Address:** 220 Cortina Drive

**Applicant/Agent:** Sean Hakes, Wildcatter Investments

**Architect:** BOKA Powell, Dallas, TX

**Owner:** Wildcatter Cortina Development, LLC

**Zoning:** Multi-Family

**Existing Use:** Vacant Lot

**Proposed Use:** Single-Family

**Lot Size:** 9,000 square feet

**Adjacent Land Uses:**

- **North:** Vacant
- **South:** Vacant
- **East:** Vacant
- **West:** Open Space

**ATTACHMENTS**

- Exhibit A: Cortina Plan Set
- Exhibit B: Unit 12 Topo
- Exhibit C: Cortina Land Condominiums Plat

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	48' maximum	34' – 8.5"
Maximum Avg Building Height	48'	TBD
Maximum Lot Coverage	40% maximum	33%

Easement / Setbacks		
North	16' setback from lot line	16'
South	10' setback from lot line	10'
East	16' setback from lot line	16'
West	16' setback from lot line	16'
Roof Pitch		
Primary	6:12 to 12:12	6:12
Secondary	4:12 unless specific approval	3:12
Exterior Material		
Stone	35%	30%
Wood	25% (No requirement)	30%
Windows/Doors	40% maximum for windows	26%
Metal Accents	Specific Approval	14%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

**BACKGROUND**

The applicant has submitted an application in accordance with the provisions of Section 17.4.6 of the Community Development Code (CDC) for a conceptual work session with the Design Review Board. The proposed project consists of a 6,546 total, 5,044 livable, square foot single-family home for Unit 12 at Cortina. The purpose of the work session is to allow the applicant and DRB to have an informal, non-binding review and discussion about the project, potential issues and possible solutions. Staff has conducted a cursory review of the project in relation to the intent and standards of the Design Regulations of the CDC.

**CURSORY ANALYSIS**

**Overview**

The proposed home fills the building envelope that is created by a front setback, and three Pedestrian Skier Access Easements. The building site has 23 feet of fall from a small knoll in the north corner, to the south corner. There is a smattering of aspen trees of various sizes on the lot. Below staff has outlined some areas where variations or special approvals may be requested.

**Site**

The lot does not have general easements, but is encircled by access and building setbacks. Section 17.3.14 (K) states that when a proposed development is approved that is five (5) feet or less from other setbacks or a lot line, the review authority approval shall include a condition that a land survey shall be prepared by a Colorado surveyor to ensure there are no above-grade or below-grade encroachments into the general easement setback. Most of the proposed home is directly on the setback lines.

The CDC allows only one curb cut for a driveway accessing a lot from the main road. A circular drive is proposed creating two curb cuts for the lot. This may be permitted with specific approval from the Board in consultation with the Public Works Department.

**Roof Forms and Pitches**

Staff is identifying the primary roof as the tallest gable over the north 1/3 of the home. The pitch of the primary roof is at 6:12 which is within the standards of being within the range of 6:12 to 12:12. The secondary roof forms then are the various shed roofs that are lower than the primary, but probably covers more surface area of the roof. The secondary shed roofs have a pitch of only 3:12 where 4:12 is required.

The roof form itself meets many of the design objectives of the CDC:

- Roof forms shall be simple in design to the extent practicable.
- Dormers may be included to add interest and scale to major roof areas and to make habitable use of space within the roofs. Dormers may have gable or shed forms.
- The DRB may require long ridgelines to be stepped to avoid long spans of unbroken ridges when such elements are not in proportion to the design and scale of the building, or to ensure the building design is following the topography of the site.
- Roof ridgelines shall, where practicable, step with the topography of the site following the stepped foundation.

The Board should consider whether there is adequate protection from snow shedding from the large shed roof to the front door and driveway. A snow guard is provided.

Section 17.5.6(D) paragraph five states chimneys should be at the rear or sides of structures, not directly viewable from the public access way. There is a chimney on the east end of the north elevation, which is at the entry to the home. Staff believes the mass of the chimney helps balance the height and mass of the west half of the elevation.

### **Windows**

The total fenestration for the proposed home is 26% when 40% is allowed. However, the north elevation is at 26% fenestration which is above the CDC standard of no greater than 20%. Staff believes the primary views are to the north, which would be a reason to grant a variation. No windows exceed the standard of being over 40 square feet.

### **Materials**

The stone percentage is at 30% which is below the CDC standard of 35%. Staff does not believe this percentage includes the site wall which extends from the base of the deck on the north elevation to frame the pedestrian entryway from Cortina Drive. The majority of the stone is on this North elevation which is the principal pedestrian view. Fourteen percent of the materials is the accent material of steel. The wood material is horizontal siding which appears to be only six inches wide where eight inches is required. The roofing material is standing seam metal as well as the fascia and gutters. The deck and terrace railings are metal and cable.

### **Proposed Variations and/or Special Approvals**

- A survey shall be provided to verify structure is within the setbacks.
- Special approval of the circular drive and two curb cuts on Cortina Drive.
- A variation to the required roof pitch is requested for the secondary roofs to 3:12 where 4:12 is required.
- A chimney is on the front façade adjacent to the principal entryway.
- Twenty six percent of the north elevation is glass where the standard is no greater than 20%.
- Only 30% of the exterior of the home is stone where 35% is required.
- Horizontal wood siding is 6" in width where 8" is required.

### **RECOMMENDATION**

Work sessions provide an opportunity for the DRB to informally review a proposed application. As such, the DRB can only provide general comments and direction, with no formal decision. It should also be noted that Staff conducts only a high level, cursory review, with the more

## **Agenda Item #5**

detailed and thorough review left to the formal process. Therefore, the DRB and staff review and comments will evolve as the project moves through the DRB process.



# CORTINA LOT 12

WORK SESSION SUBMITTAL 07.14.2016

## SHEET LIST

SHEET NUMBER	SHEET NAME	
ARCHITECTURE		
A0.00	SHEET INDEX/INFORMATION SHEET	•
A1.00	SITE PLAN	•
A2.01	PLAN - LOWER LEVEL	•
A2.02	PLAN - MAIN LEVEL	•
A2.03	PLAN - UPPER LEVEL	•
A2.04	ROOF PLAN	•
A3.00	3D VIEWS	•
A3.01	3D VIEWS	•
A3.02	3D VIEWS	•
A3.03	3D VIEWS	•
A4.00	EXTERIOR ELEVATIONS	•
A4.01	EXTERIOR ELEVATIONS	•
A4.02	MATERIAL CALCULATIONS	•
A4.03	MATERIALS	•

WORK SESSION SUBMITTAL 07.14.2016

## BUILDING CODE SUMMARY

**APPLICABLE CODES:**  
2012 INTERNATIONAL RESIDENTIAL CODE

**OCCUPANCY CLASSIFICATION:**  
R

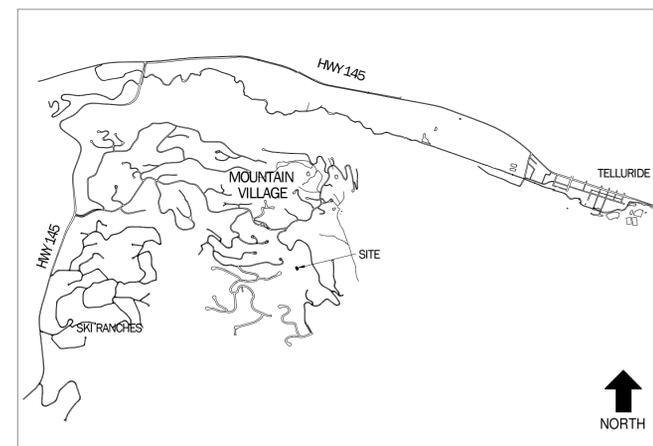
**CONSTRUCTION TYPE:**  
VA

### TOTAL SQUARE FOOTAGE CALCULATIONS:

LOWER LEVEL		MAIN LEVEL	
CONDITIONED SPACE:	2,183 SF	CONDITIONED SPACE:	1,857 SF
TERRACE/BALCONY:	90 SF	TERRACE/BALCONY:	523 SF
		GARAGE:	589 SF
UPPER LEVEL			
CONDITIONED SPACE:	1,004 SF		
TERRACE/BALCONY:	300 SF		

### TOTAL SF CALCULATIONS

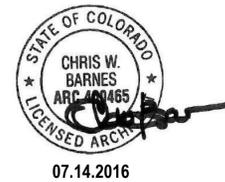
CONDITIONED SPACE:	5,044 SF
TERRACE/BALCONY:	913 SF
GARAGE:	589 SF
<b>TOTAL SF:</b>	<b>6,546 SF</b>



LOCATION MAP  
SCALE: NTS



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client  
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CORTINA LOT 12

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original issue  
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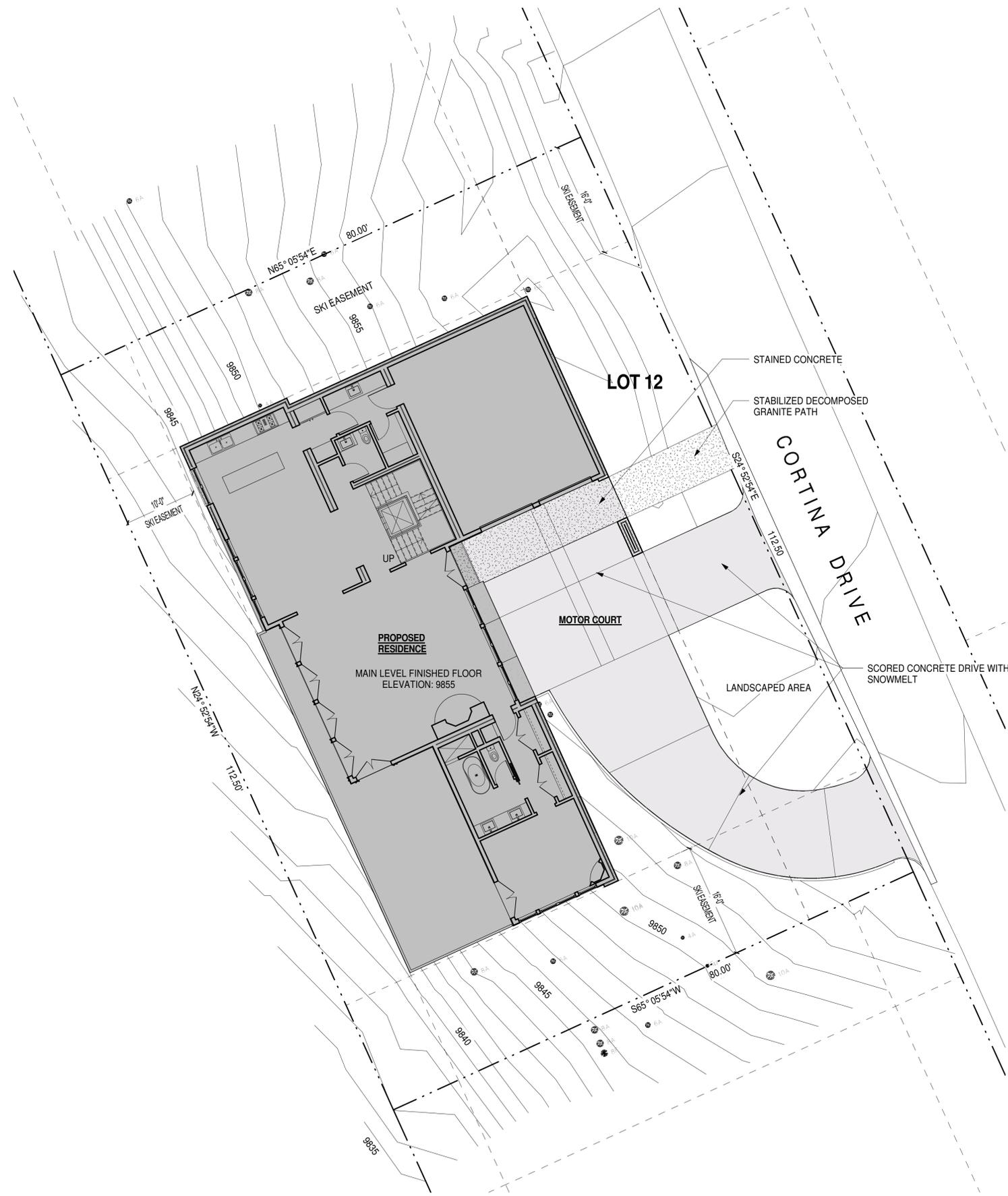
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SHEET INDEX/INFORMATION SHEET

project number 16069.100

date 07.14.2016

sheet

# A0.00



**01 SITE PLAN**  
SCALE: 1/8" = 1'-0"



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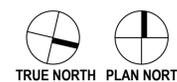
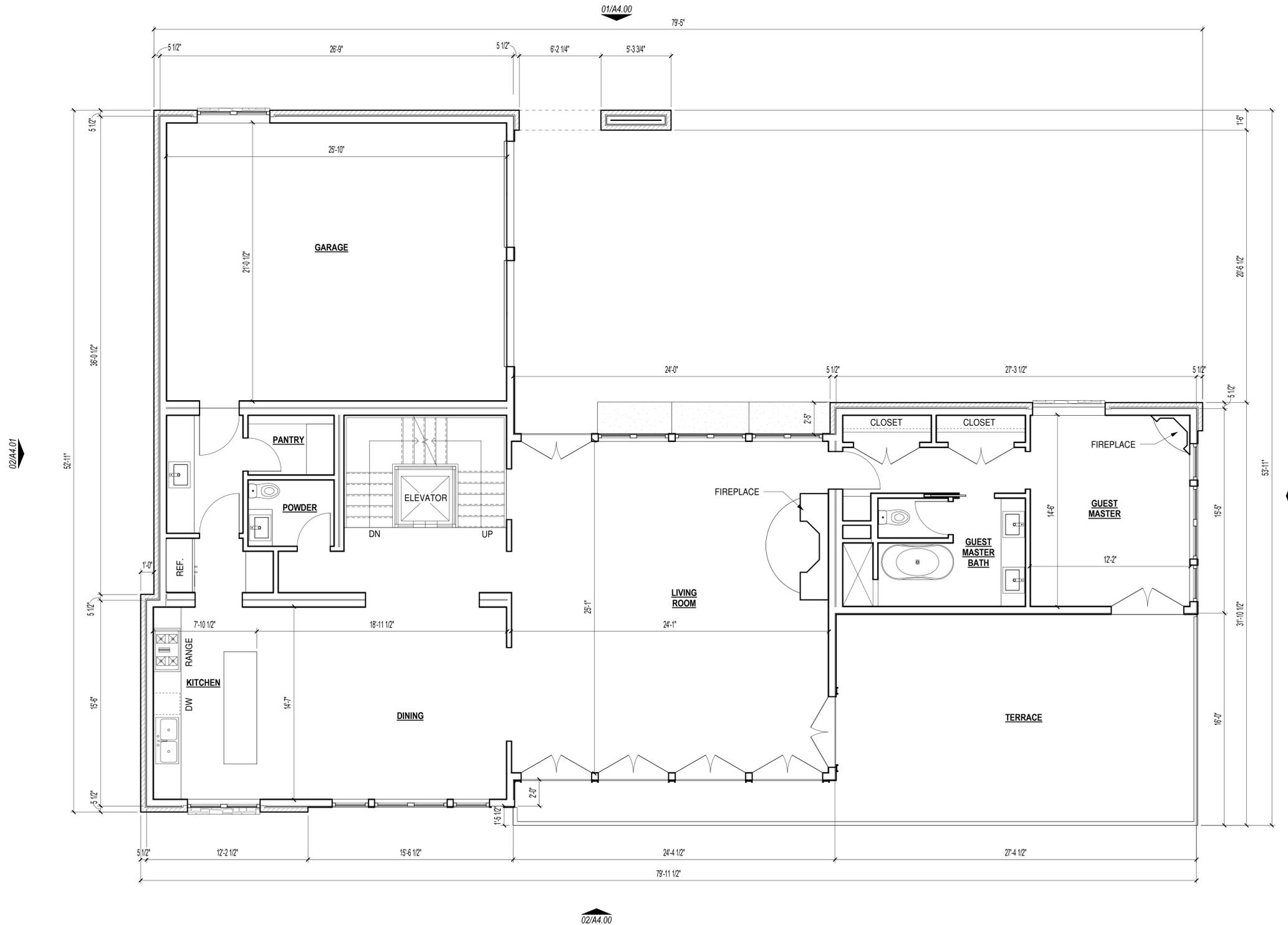
title  
**SITE PLAN**

project number 16069.100  
date 07.14.2016  
sheet  
**A1.00**



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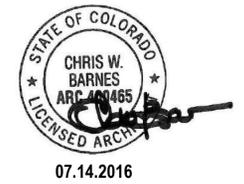
plotted: 7/14/2016 3:57:55 PM



**01 PLAN - MAIN LEVEL**  
SCALE: 1/4" = 1'-0"



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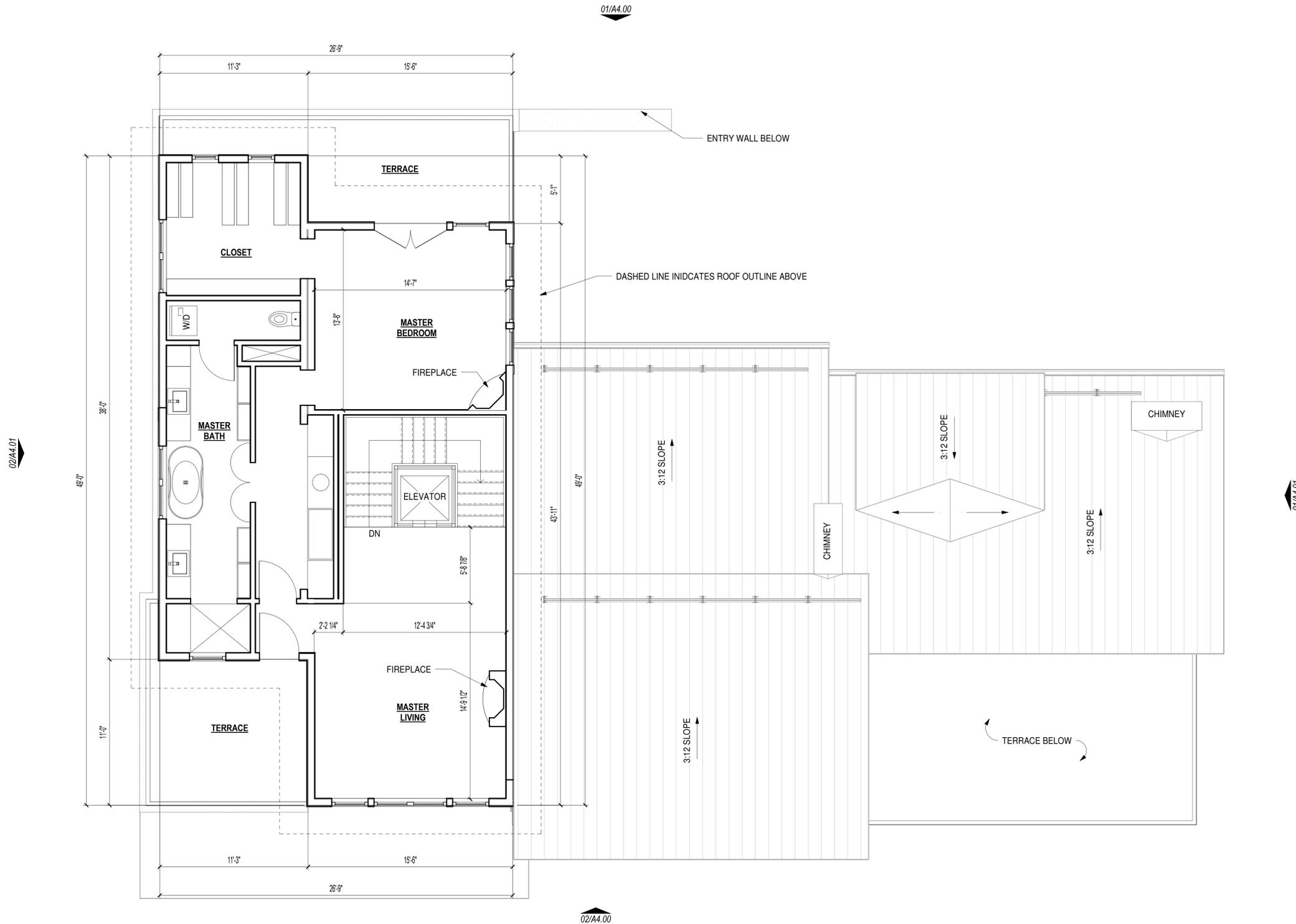
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**PLAN - MAIN LEVEL**

project number 16069.100  
date 07.14.2016  
sheet

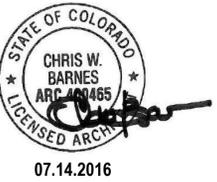
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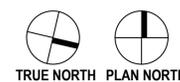
project  
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 revisions

title  
 PLAN - UPPER LEVEL

project number 16069.100  
 date 07.14.2016  
 sheet

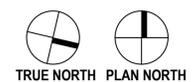
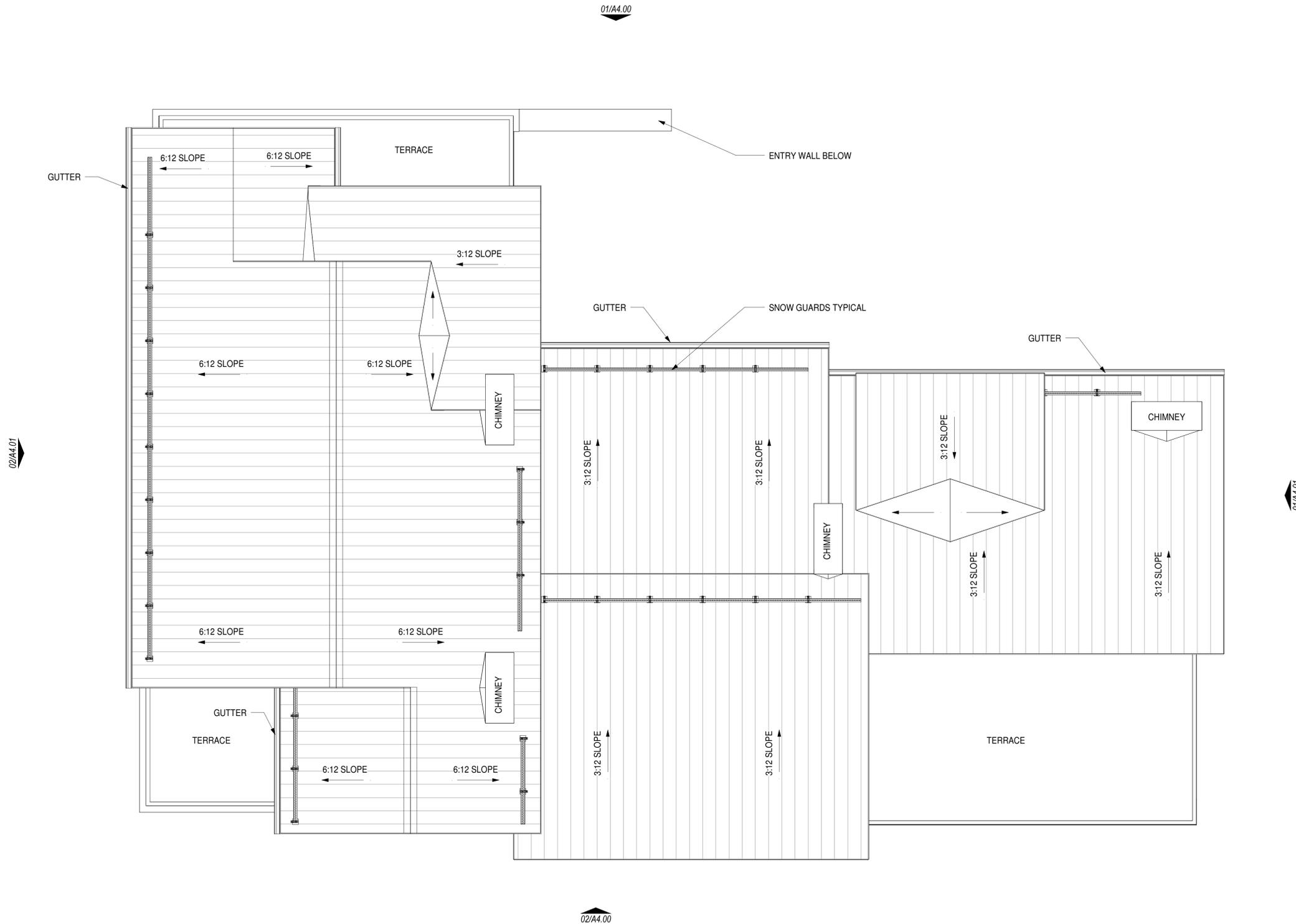
**A2.03**



**01 PLAN - UPPER LEVEL**  
 SCALE: 1/4" = 1'-0"

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**01** ROOF PLAN  
SCALE: 1/4" = 1'-0"



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CORTINA LOT 12

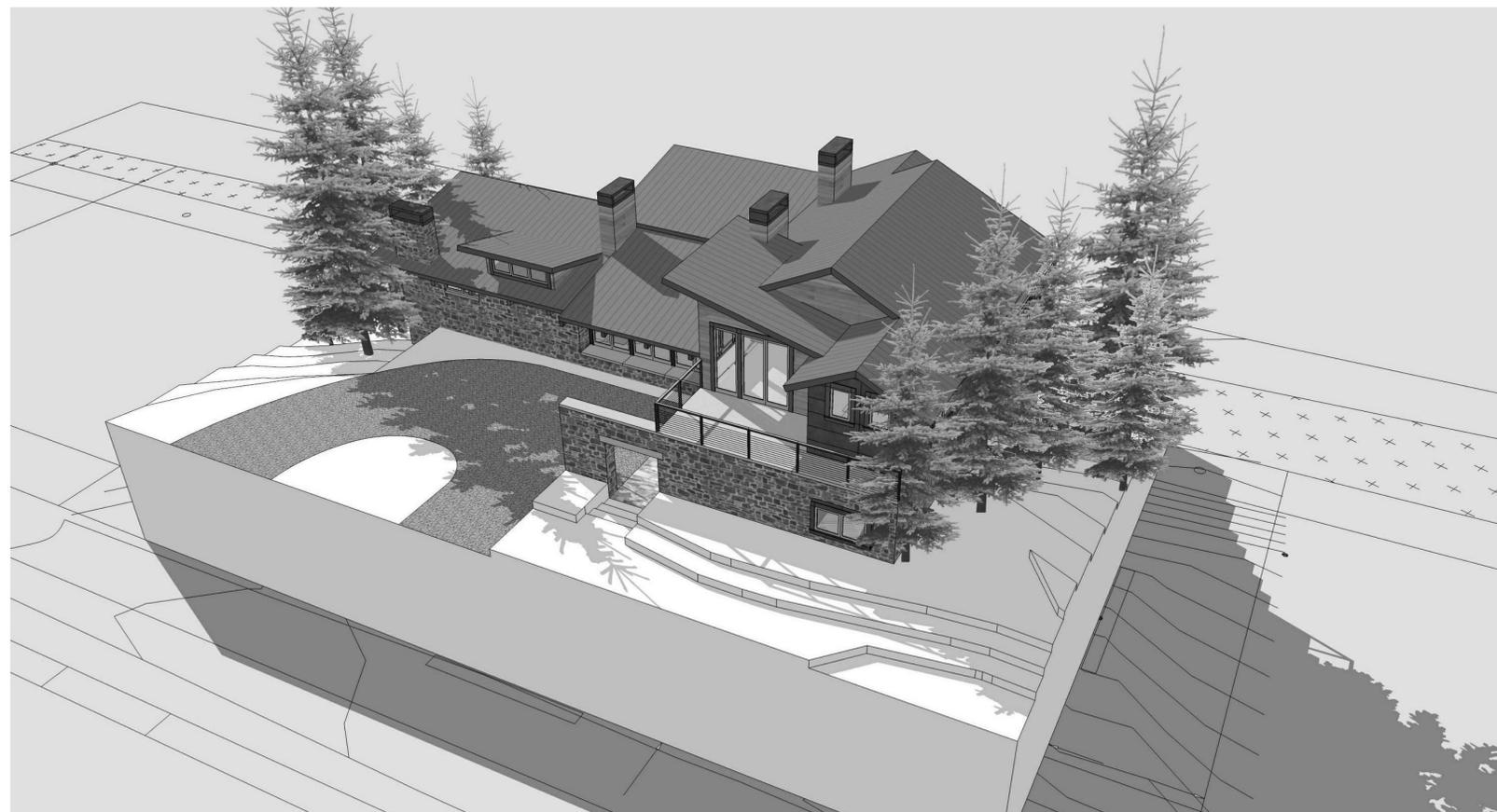
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title  
ROOF PLAN

project number 16069.100  
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sheet

**A2.04**



02 3D VIEW 2



01 3D VIEW 1



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 3D VIEWS

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A3.00



02 3D VIEW 4



01 3D VIEW 3



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 3D VIEWS

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A3.01



02 3D VIEW 6



01 3D VIEW 5



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title  
3D VIEWS

project number 16069.100

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sheet

A3.02



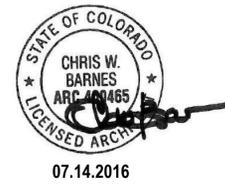
02 3D VIEW 8  
SCALE: 1 : 210



01 3D VIEW 7  
SCALE: 1 : 210



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title  
 3D VIEWS

project number 16069.100  
 date 07.14.2016  
 sheet

**A3.03**

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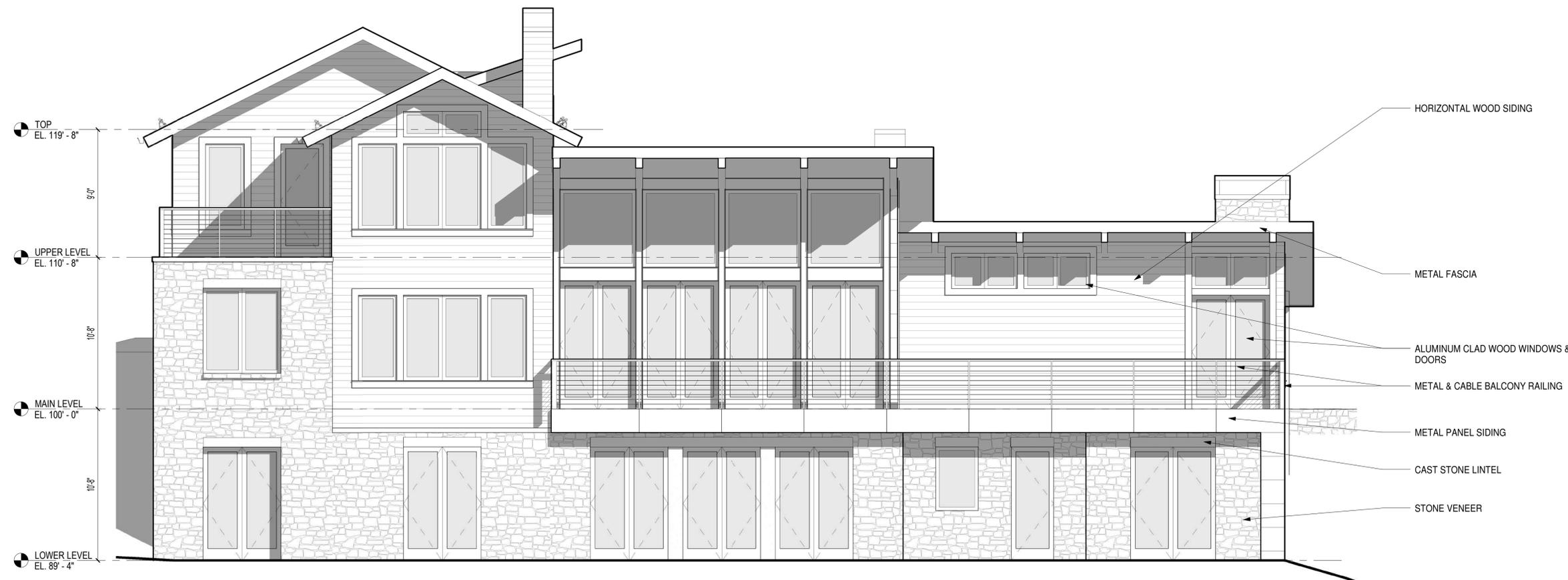
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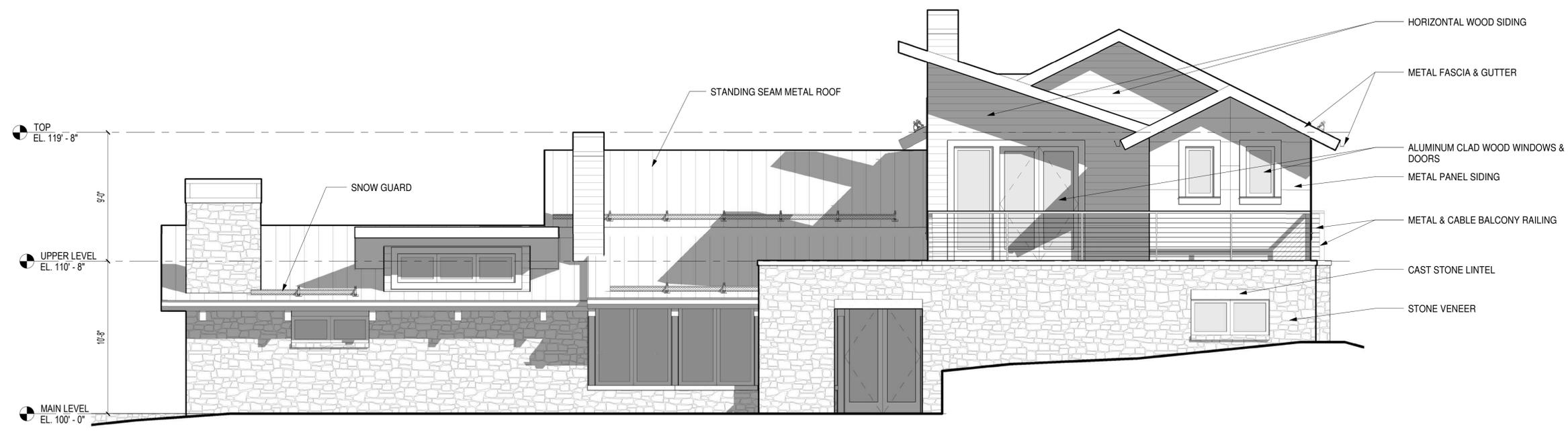
client  
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project  
CORTINA LOT 12  
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title  
EXTERIOR ELEVATIONS  
project number 16069.100  
date 07.14.2016  
sheet  
**A4.00**



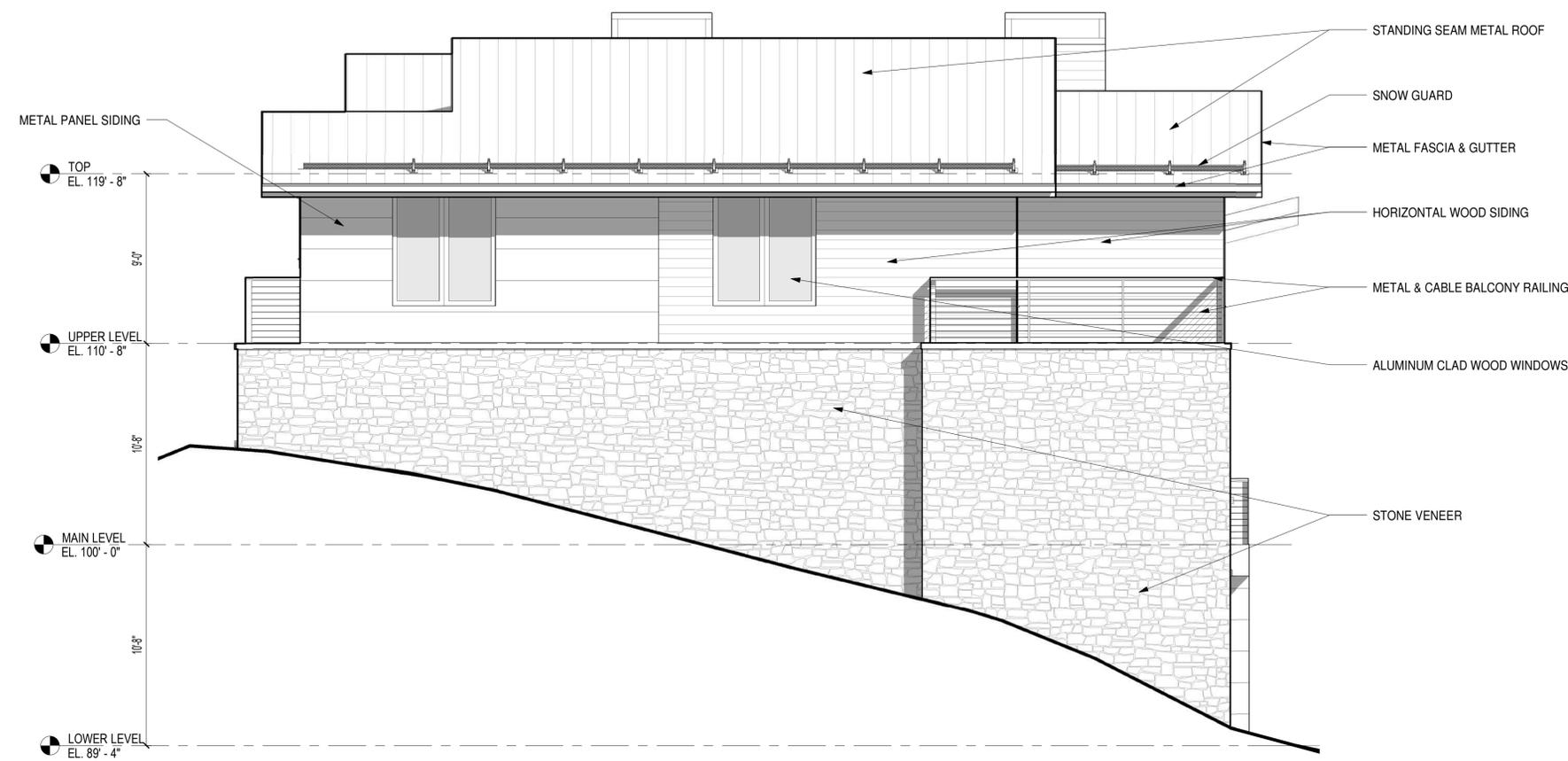
02 ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



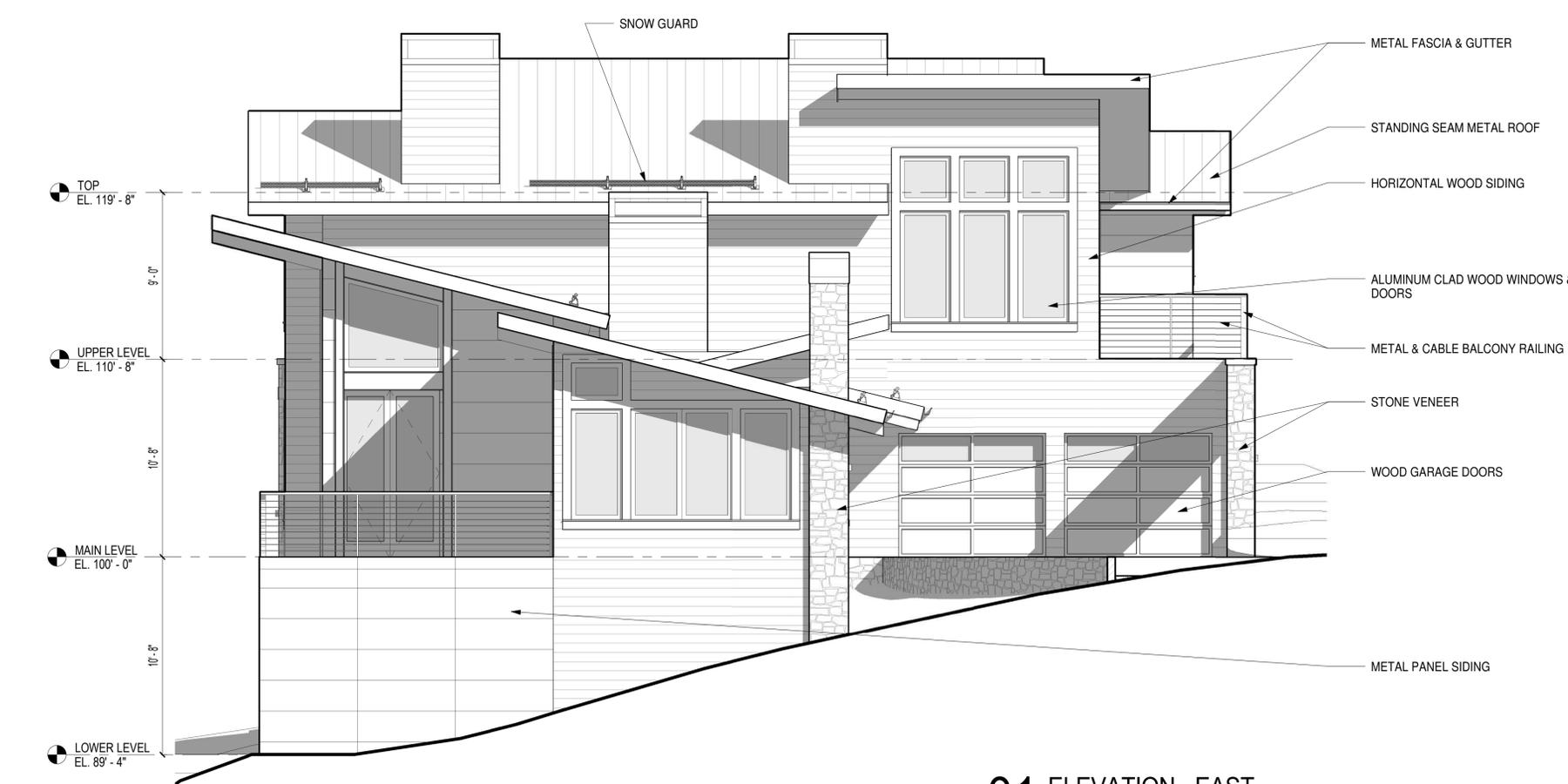
01 ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"

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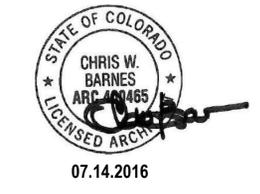
**02 ELEVATION - WEST**  
SCALE: 1/4" = 1'-0"



**01 ELEVATION - EAST**  
SCALE: 1/4" = 1'-0"



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title  
**EXTERIOR ELEVATIONS**

project number 16069.100

date 07.14.2016

sheet

**A4.01**

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# MATERIAL CALCULATIONS

## NORTH ELEVATION:

TOTAL SF OF EXTERIOR WALL: 1,001 SF  
 TOTAL SF OF STONE: 450 SF (45%)  
 TOTAL SF OF WOOD: 166 SF (17%)  
 TOTAL SF OF METAL: 126 SF (12%)  
 TOTAL SF OF FENESTRATION: 259 SF (26%)

## SOUTH ELEVATION:

TOTAL SF OF EXTERIOR WALL: 2,218 SF  
 TOTAL SF OF STONE: 537 SF (24%)  
 TOTAL SF OF WOOD: 571 SF (26%)  
 TOTAL SF OF METAL: 200 SF (9%)  
 TOTAL SF OF FENESTRATION: 910 SF (41%)

## EAST ELEVATION:

TOTAL SF OF EXTERIOR WALL: 1,372 SF  
 TOTAL SF OF STONE: 79 SF (6%)  
 TOTAL SF OF WOOD: 709 SF (51%)  
 TOTAL SF OF METAL: 344 SF (25%)  
 TOTAL SF OF FENESTRATION: 240 SF (18%)

## WEST ELEVATION:

TOTAL SF OF EXTERIOR WALL: 1,051 SF  
 TOTAL SF OF STONE: 611 SF (58%)  
 TOTAL SF OF WOOD: 230 SF (22%)  
 TOTAL SF OF METAL: 144 SF (14%)  
 TOTAL SF OF FENESTRATION: 66 SF (6%)

## TOTAL BUILDING

TOTAL SF OF EXTERIOR WALL: 5,642 SF  
 TOTAL SF OF STONE: 1,677 SF (30%)  
 TOTAL SF OF WOOD: 1,676 SF (30%)  
 TOTAL SF OF METAL: 814 SF (14%)  
 TOTAL SF OF FENESTRATION: 1,475 SF (26%)

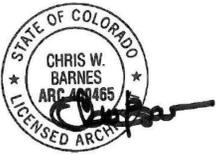
# MATERIAL KEY

-  METAL PANEL SIDING
-  HORIZONTAL WOOD SIDING
-  STONE VENEER
-  FENESTRATION
-  STANDING SEAM METAL ROOF



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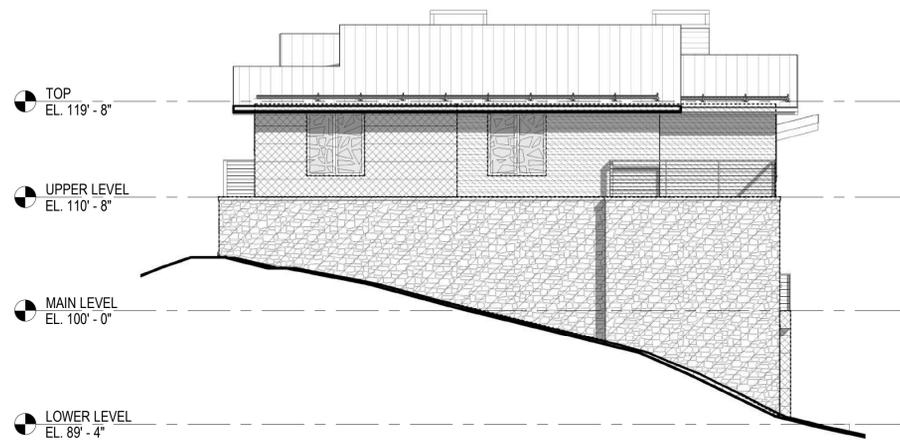
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**MATERIAL CALCULATIONS**

project number 16069.100

date 07.14.2016

sheet

# A4.02



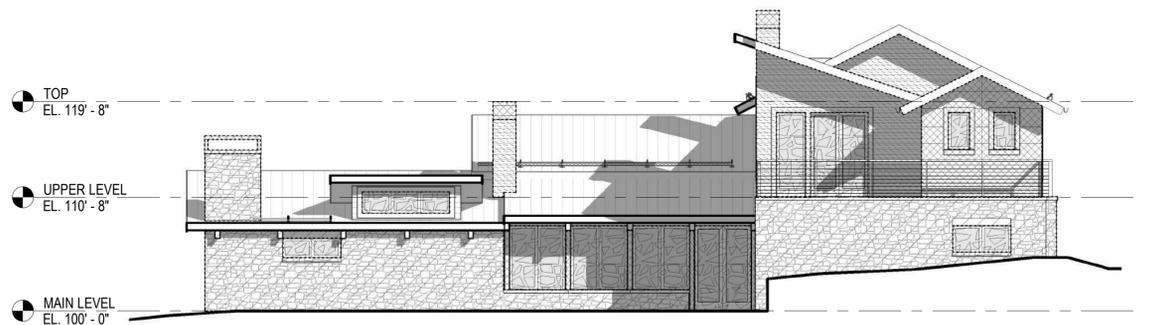
**04** ELEVATION - WEST MC  
 SCALE: 1/8" = 1'-0"



**02** ELEVATION - SOUTH MC  
 SCALE: 1/8" = 1'-0"



**03** ELEVATION - EAST MC  
 SCALE: 1/8" = 1'-0"



**01** ELEVATION - NORTH MC  
 SCALE: 1/8" = 1'-0"

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**MATERIAL PALETTE OPTION 01:**

STANDING SEAM METAL ROOF



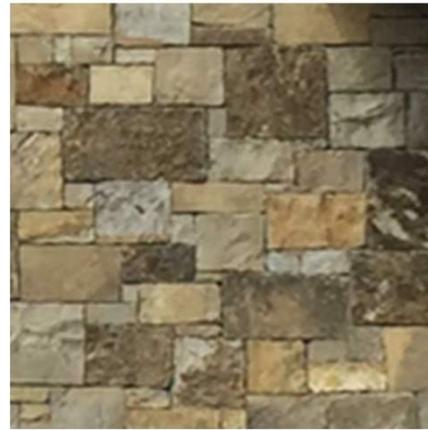
HORIZONTAL WOOD SIDING



METAL PANEL SIDING



STONE VENEER



PORCELAIN TILE



**MATERIAL PALETTE OPTION 02:**

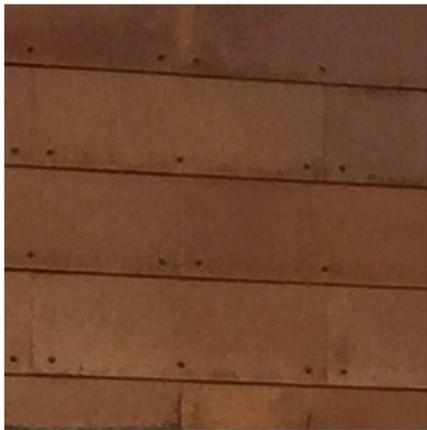
STANDING SEAM METAL ROOF



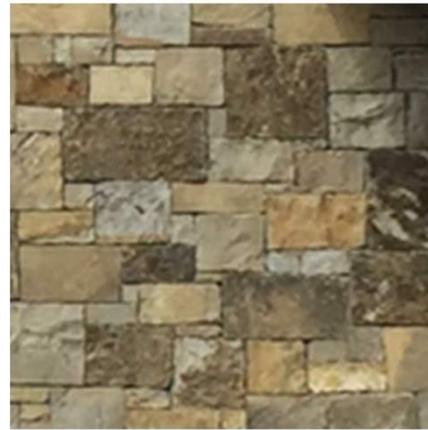
HORIZONTAL WOOD SIDING



METAL PANEL SIDING



STONE VENEER



PORCELAIN TILE



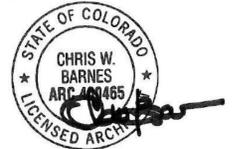
CAST STONE



METAL & CABLE BALCONY RAILING



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revisions

title  
MATERIALS

project number 16069.100  
date 07.14.2016  
sheet

**A4.03**

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TITLE INSURANCE COMPANY CERTIFICATE:

Land Title Guarantee Company does hereby certify that we have examined the title to Units 2, 3, 13, 14, 15, 17, 18, 19, 20 and 23, The Cortina Land Condominiums, herein shown on this Map Amendment and that the titles to the Units are in the names of:

Units 2 and 3 - Stonegate San Joaquin Partners, LLC, a Colorado Limited Liability Company. Units 13, 17, 18, 19, and 23 - Eastern Cortina Partners, LLC, a Colorado Limited Liability Company.

Unit 14 - Cortina No. 14, LLC, a Colorado Limited Liability Company. Unit 15 - Jeffrey N. Daily, a Colorado Limited Liability Company. Unit 20 - Nevitt Lee Duffey, Jr. and Jenny Neal Duffey Revocable Trust Agreement, dated January 04, 2008.

TOWN APPROVAL CERTIFICATE:

I, Chris Hawkins, as the Community Development Director of Mountain Village, Colorado, do hereby certify that this Map Amendment has been approved by the Town in accordance with the Community Development Code as a staff subdivision.

Chris Hawkins, as Community Development Director, Date: 8-21-14

COUNTY TREASURER CERTIFICATE:

I certify that according to the records in the San Miguel County Treasurer's office, there are no liens against the property that is the subject of this Map Amendment, or any part thereof, for unpaid State, county or municipal ad valorem taxes or special assessments certified to the County Treasurer for collection.

Ann Marburger - Deputy San Miguel County Treasurer, Date: 8-21-14

SURVEYOR'S CERTIFICATE:

I, David R. Bulson, being a Registered Land Surveyor in the State of Colorado, do hereby certify that this map and survey of the SECOND AMENDMENT TO THE MAP OF THE CORTINA LAND CONDOMINIUMS ("Map Amendment") (i) was made under my direct supervision, responsibility and checking; (ii) is true and accurate to the best of my knowledge and belief; (iii) is clear and legible; (iv) contains all the information required by C.R.S. 38-33.3-209; and (v) that all monuments and markers were set as required by Articles 50 and 51 of Title 38, C.R.S.

Dated this 20th day of August, 2014.

David R. Bulson

SURVEYOR NOTES:

- 1. Elevation datum referenced to CP RIM as depicted hereon. 2. Easement research from Land Title Guarantee Company; Units 2 and 3, Commitment Number TLR86004129, dated August 08, 2014; Unit 13, Commitment Number TLR86003807, dated August 12, 2014; Unit 14, Commitment Number TLR86003322, dated August 12, 2014; Unit 15, Commitment Number TLR86003810, dated March 20, 2014; Units 17, 18, 19, and 23, Commitment Number TLR86003646, dated July 29, 2014; and Unit 20, Commitment Number TLR86004128, dated August 08, 2014. 3. BENCHMARK: Refer to San Juan Surveying, Inc.'s Topographic and Tree Survey, dated 12/11/2005. Elevations are based on an assumed elevation of 9665.05 feet at the North corner of Lot SS165-B. 4. BASIS OF BEARINGS. The bearing from monument "Overpass" to monument "Rim" was assumed to bear N31°16'24"W from Banner Associates, Inc. project bearings. Monuments described hereon.

SURVEYOR NOTES (cont.):

- 5. NOTICE: According to Colorado law, you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. 6. All areas not specifically denoted as part of a Unit or Limited Common Element shall be deemed to be a General Common Element. 7. Lineal units depicted hereon are in U.S. Survey feet, or decimal portions thereof.

MAP CERTIFICATION:

The undersigned parties execute, publish and make the within "Second Map Amendment" ("Map Amendment") intending it to be made effective as of August 22, 2014 ("Effective Date").

1. Stonegate San Joaquin Partners, LLC, a Colorado limited liability company ("Declarant") has established a certain land condominium regime on Lot 165, Town of Mountain Village, San Miguel County, Colorado entitled "Cortina" ("Community") in accordance with certain governing documents for the Community, including ("Governing Documents"): (a) the Condominium Declaration recorded on November 30, 2004 in Reception No. 370697, the First Amendment to the Declaration recorded on November 14, 2006 in Reception No. 398352, the Second Amendment to the Declaration recorded on January 18, 2007 in Reception No. 399686 and the Companion (Third) Declaration described below, each with the Clerk and Recorder for San Miguel County, Colorado (collectively, the "Declaration"); (b) the Condominium Map for the Community recorded on November 30, 2004 in Plat Book 1, Page 3400, Reception No. 370696 and the First Amendment to the Condominium Map recorded on January 19, 2007 in Plat Book 1, Page 3803, Reception No. 399685 each with the Clerk and Recorder for San Miguel County, Colorado (collectively, the "Map"); (c) the Articles of Incorporation and Bylaws for The Cortina Land Condominiums Owners Association, Inc., a Colorado nonprofit corporation (the "Association"); and (d) any Rules, Regulations and/or Policies for the Association and Community. The Community consists of certain Units and Parcels, as more particularly described in the Declaration and Map. The Association has been formed to manage the affairs of the Community. Capitalized terms shall be given the same meaning assigned to the term in the Governing Documents.

2. Pursuant to Article 7 of the Declaration, Declarant established and reserved for itself and its assignees certain "Reserved Rights" concerning the Community.

3. Association is the current, fee simple owner of Parcels B, C and D, Cortina, pursuant to the Governing Documents.

4. Eastern Cortina Partners, LLC, a Colorado limited liability company ("Eastern Cortina Partners") is the current, fee simple owner of Units 17, 18, 19 and 23, Cortina, pursuant to the Governing Documents. Eastern Cortina Partners was assigned certain of the Reserved Rights by Assignment recorded on December 20, 2011 in Reception No. 420967 ("Units 17, 18, 19 and 23 Reserved Rights"). The Parties recognize, acknowledge and agree that the Units 17, 18, 19 and 23 Reserved Rights have been assigned to and may be exercised by Eastern Cortina Partners as contemplated by the Governing Documents and applicable law.

5. This Map Amendment is being executed and recorded simultaneously with a certain Third Amendment to the Declaration recorded on August 22, 2014 in Reception No. 434256 ("Companion Declaration Amendment").

6. Declarant, Association, Eastern Cortina Partners, Jeffrey N. Daily, and Cortina No. 14, LLC, have either executed this Map Amendment and the Companion Declaration Amendment or provided its separate executed authorization and consent ("Owner Authorization and Consent") to amend the Map and the Declaration for the purposes stated below and/or depicted herein and in the Companion Declaration Amendment. Any separate Owner Authorization and Consent required for this Map Amendment and the Companion Declaration Amendment will be appended to the Companion Declaration Amendment, which is being recorded simultaneously with the Map Amendment and through such execution and recordation will be deemed to validly and properly result in and effect the modifications and amendments contemplated in the Map Amendment and the Companion Declaration Amendment. In some instances, the amendments to the Map and the Declaration contemplated by this Map Amendment and the Companion Declaration Amendment are being undertaken by Declarant or Eastern Cortina Partners pursuant to the Reserved Rights vested in them. In all instances, the Association joins this Map Amendment to evidence its acknowledgment, consent and approval of the Map Amendment.

7. In addition to the exercise of the Reserved Rights, this Map Amendment and the Companion Declaration Amendment have also been approved by the Owners having at least 51% of the votes in the Community.

8. Any lot owner whose lot is further burdened by any change in the Map Amendment has also approved and consented to this Second Map Amendment as evidenced either by their execution below or by their execution and recordation of their separate Owner Authorization and Consent.

9. The Parties acknowledge and agree that with the execution and recordation of this Map Amendment and the Companion Declaration Amendment, each of the following described actions shall have been undertaken and completed:

a. With respect to Unit 17, Unit 18 and Unit 19, Cortina: (i) The combining of Unit 18 and Unit 19, together with the vacation and extinguishment of the demising boundary lines and setback lines between Unit 17, Unit 18, Unit 19, Cortina, resulting in the formation of new Unit 17R and Unit 18R; (ii) The establishment of a five foot no build zone on Unit 17R; (iii) The creation, grant and conveyance of a Pedestrian/Skier Access Easement on, over and across that portion of Unit 17R and Unit 18R as depicted on this Map Amendment, which shall exist and may be used in accordance with the terms and conditions of the Governing Documents; and (iv) The creation of a Construction and Maintenance Easement over a portion of Unit 17R and Unit 18R. These amendments are being undertaken pursuant to the Reserved Rights held by Eastern Cortina Partners, with the acknowledgement, consent and approval of Declarant and Association.

b. With respect to the Pedestrian/Skier Access Easement, the Declarant, in accordance with its Reserved Rights, including the rights established and reserved with respect to the initial creation, grant and conveyance of the Pedestrian/Skier Access Easement and with the acknowledgement, consent and approval of the Association, is hereby adding or vacating and extinguishing a portion of the Pedestrian/Skier Access Easement from certain areas of the following Cortina Units as noted below. The portions of the Pedestrian/Skier Access Easement not proposed for vacation and extinguishment shall continue in full force and effect. The following revisions are being made to the Pedestrian/Skier Access Easement and are depicted on the Map Amendment and summarized as follows:

- i. Removed from the southern, northern and western boundaries of Unit 13; ii. Added along the common boundary of Units 17R and 18R; iii. Removed from the northern, southern and eastern boundaries of Unit 17(former); iv. Removed from the common boundary of Units 5 and 6.

c. With respect to the Grading Grooming Skier Easement, the Declarant, in accordance with its Reserved Rights, including the rights established and reserved with respect to the initial creation, grant and conveyance of the Grading Grooming Skier Easement and with the acknowledgement, consent and approval of the Association, is hereby adding the Grading Grooming Skier Easement to certain areas of the following Cortina Units as noted below. The following revisions are being made to the Grading Grooming Skier Easement and are depicted on the Map Amendment and summarized as follows:

- i. Added to the northern, southern and western boundaries of Unit 14; ii. Added to the northern, southern and western boundaries of Unit 13; iii. Added to the southern and eastern boundaries of Unit 17R; and iv. Added to Parcel B.

d. With respect to the Utility Easement, the Declarant, in accordance with its Reserved Rights, including the rights established and reserved with respect to the initial creation, grant and conveyance of the Utility Easement and with the acknowledgement, consent and approval of the Association, is hereby adding the Utility Easement to certain areas of the following Cortina Units as noted below. The following revisions are being made to the Utility Easement and are depicted on the Map Amendment and summarized as follows:

- i. Added to common boundary of Units 2 and 3; ii. Added to common boundary of Units 13 and 14; and iii. Added to north and south boundaries of Unit 15, as depicted.

MAP CERTIFICATION (cont.):

e. With respect to the Drainage Easement, the Declarant, in accordance with its Reserved Rights, including the rights established and reserved with respect to the initial creation, grant and conveyance of the Drainage Easement and with the acknowledgement, consent and approval of the Association, is hereby adding the Drainage Easement to certain areas of the following Cortina Units as noted below. The following revisions are being made to the Drainage Easement and are depicted on the Map Amendment and summarized as follows:

- i. Added to common boundary of Units 2 and 3; ii. Added to common boundary of Units 13 and 14; and iii. Added to south boundary of Unit 20, as depicted.

10. Pursuant to Note 16 from the original Condominium Map, the existing trees located within the western setback of Units 15 and 16 (reflected as a No Tree Disturbance Area) shall be protected and said trees shall not be removed unless approved by the Town.

11. The Governing Documents established certain easements, namely the Plat Established Easements, which affect and concern portions of the Community. The terms and conditions of the Plat Established Easements as previously established are recited below. The locations of the respective Plat Established Easements are depicted on Sheet 3 of this Map Amendment. Except for the specific amendments to the locations of some of the Plat Established Easements provided for in this Map Amendment and/or the Companion Declaration Amendment, the terms, conditions and locations of all Plat Established Easements as established in the Map are hereby ratified and re-confirmed. The Plat Established Easements are as follows:

SKI FACILITY AND ACCESS EASEMENT. There is hereby established a perpetual non-exclusive easement, entitled the "Ski Facility and Access Easement", which easement area is located and depicted on this Map. An Authorized Party may use the area of the Ski Facility and Access Easement only for the installation, maintenance, inspection, repair and replacement of Skier Facilities as provided for in the Declaration, provided that an Authorized Party using the easement area shall undertake an authorized use in a manner that minimizes impacts to the affected land. An Authorized Party may also use the area of the Ski Facility and Access Easement to enable non-motorized, pedestrian access, including skier access, over and across the Ski Facility and Access Easement. Declarant may reduce or eliminate any portion of the Ski Facility and Access Easement deemed by Declarant to no longer be necessary for the authorized uses.

PEDESTRIAN/SKIER ACCESS EASEMENT. There is hereby established a perpetual non-exclusive easement, entitled the "Pedestrian/Skier Access Easement", which easement area is located and depicted on this Map. An Authorized Party may use the area of the Pedestrian/Skier Access Easement to enable non-motorized, pedestrian access, including skier access, over and across the Pedestrian/Skier Access Easement. No improvements made be made within the area of each Pedestrian/Skier Access Easement, without the consent of Declarant and the owner of the Unit burdened by the particular segment of the Pedestrian/Skier Access Easement upon which the improvements are sought to be undertaken. The improvements so restricted are intended to be broad and include, without limitation, clearing, grading, snow grooming, installation of stairs or other structures. Declarant may reduce or eliminate any portion of the Pedestrian/Skier Access Easement deemed by Declarant to no longer be necessary for the authorized uses.

UTILITY EASEMENT. There is hereby established a perpetual, non-exclusive easement entitled the "Utility Easement", which easement is located and depicted on this Map, as may be modified from time to time. An Authorized Party may use the area of the Utility Easement only for the installation, maintenance, inspection, repair and replacement of (a) underground utilities, (b) above ground utility pedestals, junction boxes, transformers, gas line facilities, and the like necessary for the systems, (c) above ground pipelines and irrigation lines (d) other uses determined by Declarant to be necessary for the development of the subdivision provided that an Authorized Party using the easement area shall undertake an authorized use in a manner that minimizes impacts to the affected land and that the user promptly regrades and restores the property to its condition preceding the authorized uses.

DRIVEWAY EASEMENT. There is hereby established a perpetual, non-exclusive easement entitled the "Driveway Easement", which easement is located and depicted on this Map, as may be modified from time to time. The Owner of Units ("Benefited Owners") designated on the Map as benefited by the Driveway Easement may use the area of the Driveway Easement only for the installation, maintenance, inspection, repair and replacement of a Driveway, which may be shared by Benefited Owners, including cost of constructing and maintaining, as more particularly provided for in the Declaration. In using the Driveway Easement, a Benefited Owner shall undertake an authorized use in a manner that minimizes impacts to the affected land and that the user promptly regrades and restores the property to its condition preceding the authorized use.

UNITS 17R AND 18R SHARED FACILITIES EASEMENT. There is hereby established a perpetual non-exclusive easement, entitled the "Units 17R and 18R Shared Facilities Easement", which easement area is located and depicted on this Map Amendment. The owner of Unit 17R and Unit 18R, including any condominium association formed in connection with any development occurring on said Unit 17R and Unit 18R ("Units 17R and 18R Shared Facilities Easement Beneficiaries"), may use the Shared Facilities Easement to clear, grade, construct, install, repair, maintain and upgrade as well as use above ground and underground facilities and improvements, including stairs, supports, pathways and the like to any improvements occurring on Unit 17R and Unit 18R to enable non-motorized pedestrian access ("Access Improvements") and utility extensions ("Access Improvements"). In undertaking any work authorized by this Unit 17R and 18R Shared Facilities Easement, a party shall undertake an authorized use in a manner that minimizes impacts to the affected land. The improvements located within the Unit 17R and 18R Shared Facilities Easement. In addition to the Units 17R and 18R Shared Facilities Easement Beneficiaries, each Authorized Party may use the Access Improvements located within the Units 17R and 18R Shared Facilities Easement for non-motorized, pedestrian access.

GRADING GROOMING SKIER EASEMENT. There is hereby established a perpetual and non-exclusive easement, entitled the "Grading Grooming Skier Easement", which easement area is located and depicted on this Map. An Authorized Party may use the area of the Grading Grooming Skier Easement for the purpose of clearing of trees, grading, and generally improving the area to enhance, improve and create better and more convenient skier access. An Authorized Party may also use the area of this easement to groom snow, plow snow, import snow, and generally increase the usability of a pathway for gaining access to and from a ski run, including the maintenance of that pathway, and the non-motorized use of that area for skier and pedestrian access. This Grading Grooming Skier Easement may be used to enhance an area burdened by the Pedestrian Skier Access Easement and/or the Ski Facility and Access Easement. Declarant or Association may reduce or eliminate any portion of this easement deemed by Declarant or Association to no longer be necessary for the authorized uses. In the event the uses authorized by this easement require or propose any clearing, grading, or other site disturbance on adjacent property owned by the operator of the Ski Area, written consent of such owner must be obtained in advance of such activities.

CONSTRUCTION AND MAINTENANCE EASEMENT. There is hereby established a perpetual and non-exclusive easement, entitled the "Construction and Maintenance Easement", which easement area is located and depicted on this Map. An Authorized Party may use the area of the Construction and Maintenance Easement for the purposes of gaining access to an area in order to construct or provide maintenance of certain improvements. An Authorized Party may also use the area of this easement to stage construction and/or store materials during a construction project, however said improvements cannot be constructed within this easement area. Once the construction has been completed, the easement area can be utilized by an Authorized Party in order to provide maintenance services to the adjacent improvements constructed. The Authorized Party must use its commercial best efforts to complete all work in a timely manner and with the least amount of disturbance as possible. Declarant or Association may reduce or eliminate any portion of this easement deemed by Declarant or Association to no longer be necessary for the authorized uses.

MAP CERTIFICATION (cont.):

DRAINAGE EASEMENT. There is hereby established, granted and conveyed for the use and benefit of an Authorized Party a certain non-exclusive, perpetual easement entitled the "Drainage Easement". The Drainage Easement benefits Units and Parcels within the community and burdens those portions of the Units and/or Parcels as noted, depicted and described on this Map. The Drainage Easement shall allow for the installation, maintenance, usage, repair, replacement and upgrading of certain surface and/or subsurface drainage ditches, facilities and other improvements ("Drainage Facilities") and shall also allow for any reasonable clearing, grading and removal of vegetation necessary and appropriate for the installation of such Drainage Facilities.

12. Except for the amendments and modifications contained herein, nothing stated herein shall otherwise change, waive, terminate, modify, supplement or annul any other provisions of the Declaration, the Map and other Governing Documents for the Community.

13. Compliance to the Community Development Code: The Association here covenants and confirms that all improvements envisioned by the easements granted herein must be completed in accordance with the Town of Mountain Village Community Development Code, Town approvals, and all Town Laws and Ordinances.

IN WITNESS WHEREOF, the Declarant, Eastern Cortina Partners and the Association have each executed this Map Amendment for the purposes stated herein.

DECLARANT:

Stonegate San Joaquin Partners, LLC, a Colorado limited liability company. By: [Signature] Date: 8-18-2014 Printed Name: Jack Huff Title: MANAGER STATE OF TEXAS ) ss COUNTY OF TARRANT ) Subscribed to and acknowledged before me this 18 day of August, 2014 by [Signature] as [Signature] of Stonegate San Joaquin Partners, LLC, a Colorado limited liability company. Witness my hand and official seal. [Signature] My commission expires: 05/21/2017 Notary Public

EASTERN CORTINA PARTNERS Eastern Cortina Partners, LLC, a Colorado limited liability company. By: [Signature] Date: 8-19-14 Printed Name: Reiner Brasch Title: Manager STATE OF TEXAS ) ss COUNTY OF DALLAS ) Subscribed to and acknowledged before me this 19th day of August, 2014 by [Signature] of Eastern Cortina Partners, LLC, a Colorado limited liability company. Witness my hand and official seal. [Signature] My commission expires: 7/22/19 Notary Public

ASSOCIATION The Cortina Land Condominiums Owners Association, Inc., a Colorado nonprofit corporation. By: [Signature] Date: 8-18-2014 Printed Name: Jack Huff Title: Vice President STATE OF TEXAS ) ss COUNTY OF TARRANT ) Subscribed to and acknowledged before me this 18 day of August, 2014 by [Signature] of The Cortina Land Condominiums Owners Association, Inc., a Colorado nonprofit corporation. Witness my hand and official seal. [Signature] My commission expires: 05/21/2017 Notary Public

RECORDER'S CERTIFICATE: This plat was filed for record in the office of the San Miguel County Clerk and Recorder on this 22nd day of August, 2014, at [Signature] Plat Book 4661-4664 Page 4661-4664 Reception No. 434255 Time 10:40 AM

M. Kathleen Erie San Miguel County Clerk

434255 REPEAT STONEGATE SAN JOAQUIN PARTNERS, LLC, EASTERN CORTINA PARTNERS, LLC, CORTINA NO. 14 LLC, JEFFREY N. DAILY, NEVITT LEE JR. & JENNY NEAL DUFFEY REV TRUST TO REPEAT VILLAS AT CORTINA State of Colorado ) ss County of San Miguel ) Filed for Record at 10:40 O'Clock A.M. AUGUST 22, 2014 and duly recorded in Plat Book PLAT 1 page 4661 M. Kathleen Erie County Clerk & Recorder By: [Signature] Deputy Fees: 41.00

434255 REPEAT STONEGATE SAN JOAQUIN PARTNERS, LLC, EASTERN CORTINA PARTNERS, LLC, CORTINA NO. 14 LLC, JEFFREY N. DAILY, NEVITT LEE JR. & JENNY NEAL DUFFEY REV TRUST TO REPEAT VILLAS AT CORTINA State of Colorado ) ss County of San Miguel ) Filed for Record at 10:40 O'Clock A.M. AUGUST 22, 2014 and duly recorded in Plat Book PLAT 1 page 4661 M. Kathleen Erie County Clerk & Recorder By: [Signature] Deputy Fees: 41.00

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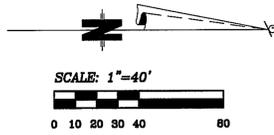
# UNIT BOUNDARIES AND BUILDING ENVELOPES

REFLECTS CONDITIONS FOLLOWING THE MODIFICATIONS, ADDITIONS,  
AND DELETIONS OF UNIT BOUNDARIES AND BUILDING ENVELOPES.

OPEN SPACE  
TRACT OSP-46



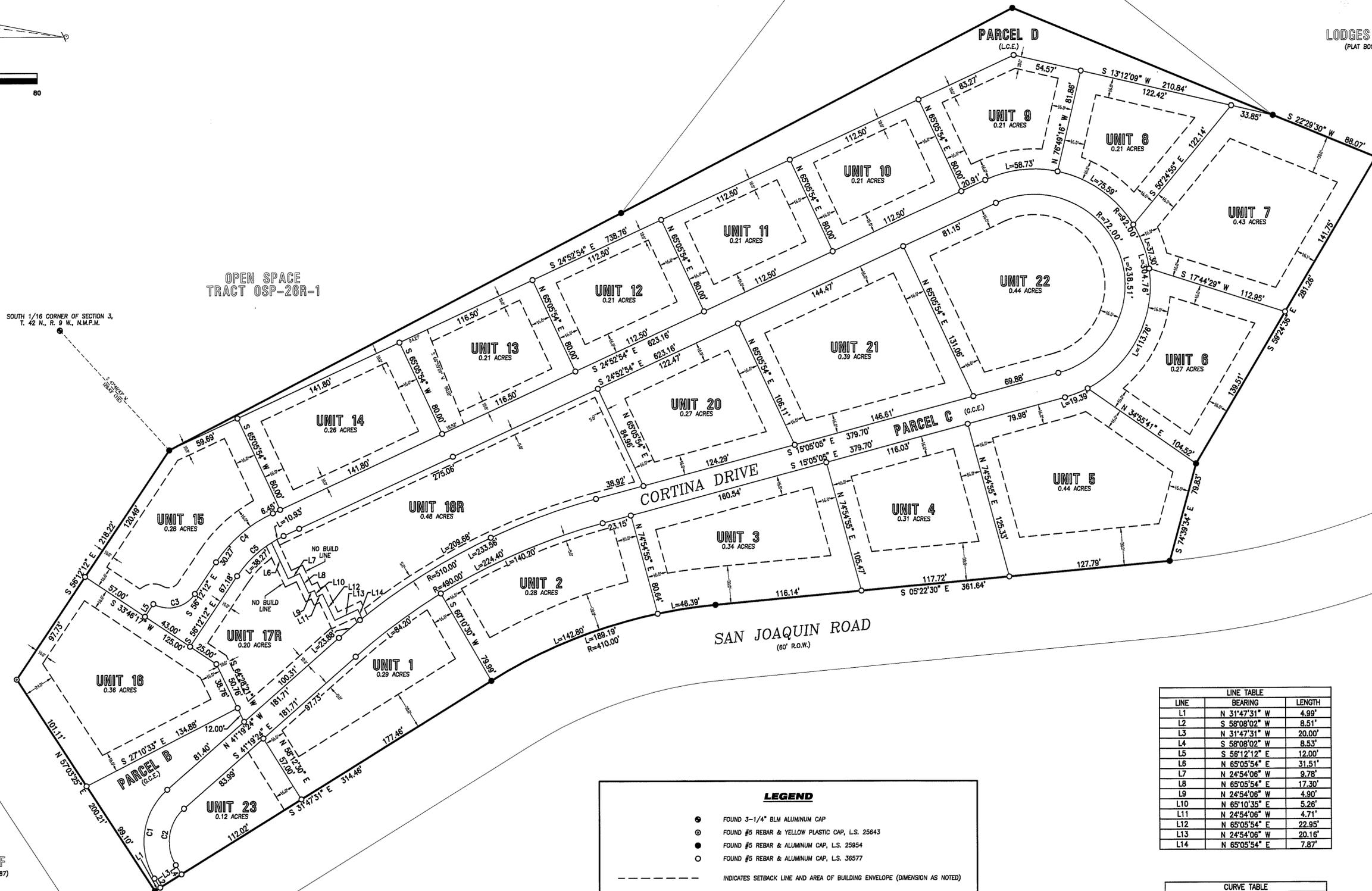
LODGES ON SUNDANCE  
(PLAT BOOK 1, PAGES 1797-1798)



SOUTH 1/16 CORNER OF SECTION 3,  
T. 42 N., R. 9 W., N.M.P.M.

OPEN SPACE  
TRACT OSP-26R-1

CASSIDY RIDGE  
(PLAT BOOK 1, PAGE 4486)



**LEGEND**

- FOUND 3-1/4" BLM ALUMINUM CAP
- ⊙ FOUND #5 REBAR & YELLOW PLASTIC CAP, L.S. 25843
- FOUND #5 REBAR & ALUMINUM CAP, L.S. 25954
- FOUND #5 REBAR & ALUMINUM CAP, L.S. 36577
- - - - - INDICATES SETBACK LINE AND AREA OF BUILDING ENVELOPE (DIMENSION AS NOTED)

LINE	BEARING	LENGTH
L1	N 31°47'31" W	4.99'
L2	S 58°08'02" W	8.51'
L3	N 31°47'31" W	20.00'
L4	S 58°08'02" W	8.53'
L5	S 56°12'12" E	12.00'
L6	N 65°05'54" E	31.51'
L7	N 24°54'06" W	9.78'
L8	N 65°05'54" E	17.30'
L9	N 24°54'06" W	4.90'
L10	N 65°10'35" E	5.26'
L11	N 24°54'06" W	4.71'
L12	N 65°05'54" E	22.95'
L13	N 24°54'06" W	20.16'
L14	N 65°05'54" E	7.67'

CURVE	LENGTH	RADIUS	DELTA ANG.
C1	77.32'	55.00'	80°32'34"
C2	49.20'	35.00'	80°32'34"
C3	37.27'	25.00'	85°24'41"
C4	60.13'	110.00'	31°19'18"
C5	49.20'	90.00'	31°19'17"

WINTERLEAF  
(PLAT BOOK 1, PAGE 1087)

PAGE 4662

SECOND AMENDMENT TO THE MAP OF THE CORTINA LAND CONDOMINIUMS, A COLORADO COMMON INTEREST COMMUNITY,  
LOCATED ON LOT 165, TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO.

Project Mgr: DB	Rev: 1	DESCRIPTION: REMOVED VACATED BOUNDARY ON 17R AND 18R	DATE: 10/02/13	BY: MC
Technician: MC	Rev: 2	DESCRIPTION: CHANGED BOUNDARY LINE BETWEEN 17R AND 18R	DATE: 07/10/14	BY: MC
Checked by:				
Start date: 04/23/2012				



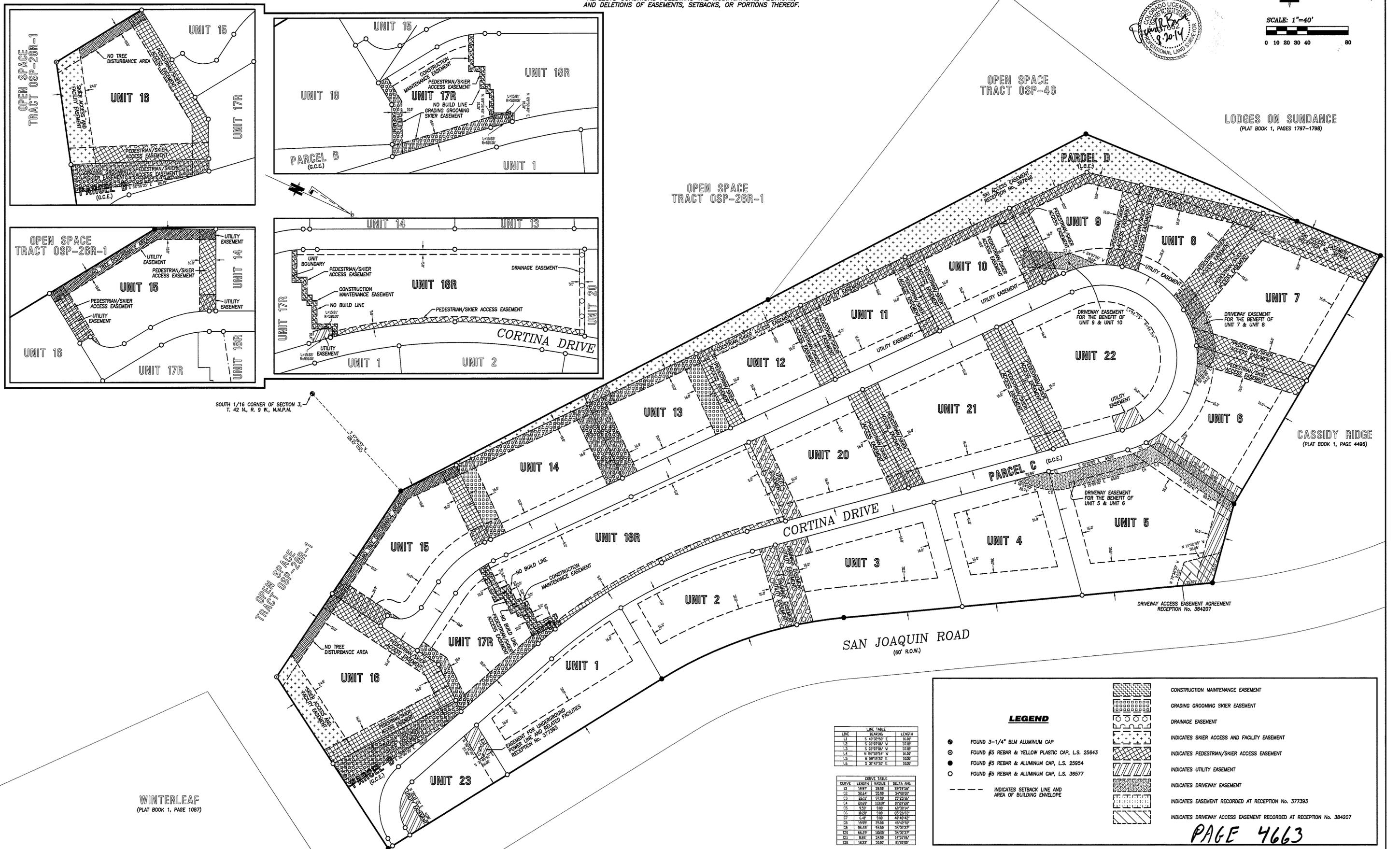
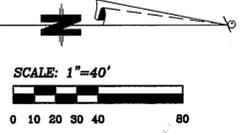
970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Drawing path: dwg\Cortina Land Condo\MAP Amend 01-14.dwg Sheet2 of 4 Project #: 03117

Z:\018 W\Jobs\03117.dwg\Cortina Land Condo\MAP Amend 01-14.dwg, 8/19/2014 1:14:34 PM, muno

# CUMULATIVE EASEMENTS, SETBACKS, AND OTHER MATTERS

REFLECTS CONDITIONS FOLLOWING THE MODIFICATIONS, ADDITIONS, AND DELETIONS OF EASEMENTS, SETBACKS, OR PORTIONS THEREOF.



SOUTH 1/16 CORNER OF SECTION 3,  
T. 42 N., R. 9 W., N.M.P.M.

WINTERLEAF  
(PLAT BOOK 1, PAGE 1087)

LODGES ON SUNDANCE  
(PLAT BOOK 1, PAGES 1797-1798)

CASSIDY RIDGE  
(PLAT BOOK 1, PAGE 4496)

LINE	BEARING	LENGTH
L1	S 42°25'00" E	16.00'
L2	S 52°47'26" W	27.80'
L3	S 52°47'26" W	27.80'
L4	N 80°25'24" W	16.00'
L5	N 50°12'30" E	10.00'
L6	S 20°47'30" E	10.00'

CURVE	LENGTH	RADIUS	DELTA ANGLE
C1	19.97'	28.00'	89°19'56"
C2	22.14'	34.00'	94°00'00"
C3	26.11'	37.25'	102°25'14"
C4	28.69'	40.00'	107°29'28"
C5	31.57'	42.50'	112°51'14"
C6	34.89'	45.00'	118°26'37"
C7	38.67'	47.50'	124°14'42"
C8	42.93'	50.00'	130°14'26"
C9	47.68'	52.50'	136°14'37"
C10	52.93'	55.00'	142°14'52"
C11	58.68'	57.50'	148°15'10"
C12	64.93'	60.00'	154°15'30"

**LEGEND**

- FOUND 3-1/4" BLM ALUMINUM CAP
- FOUND #5 REBAR & YELLOW PLASTIC CAP, L.S. 25643
- FOUND #5 REBAR & ALUMINUM CAP, L.S. 25954
- FOUND #5 REBAR & ALUMINUM CAP, L.S. 36577
- INDICATES SETBACK LINE AND AREA OF BUILDING ENVELOPE

- [Pattern] CONSTRUCTION MAINTENANCE EASEMENT
- [Pattern] GRADING GROOMING SKIER EASEMENT
- [Pattern] DRAINAGE EASEMENT
- [Pattern] INDICATES SKIER ACCESS AND FACILITY EASEMENT
- [Pattern] INDICATES PEDESTRIAN/SKIER ACCESS EASEMENT
- [Pattern] INDICATES UTILITY EASEMENT
- [Pattern] INDICATES DRIVEWAY EASEMENT
- [Pattern] INDICATES EASEMENT RECORDED AT RECEPTION No. 377393
- [Pattern] INDICATES DRIVEWAY ACCESS EASEMENT RECORDED AT RECEPTION No. 384207

PAGE 4663

SECOND AMENDMENT TO THE MAP OF THE CORTINA LAND CONDOMINIUMS, A COLORADO COMMON INTEREST COMMUNITY,  
LOCATED ON LOT 165, TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO.

Project Mgr: DB	DATE: 10/02/13	<b>FOLEY ASSOCIATES, INC.</b> ENGINEERING - PLANNING - SURVEYING	970-728-6153 970-728-6050 fax P.O. BOX 1385 125 W. PACIFIC, SUITE B-1 TELLURIDE, COLORADO 81435
Technician: MC	DATE: 01/10/14		
Checked by:		Drawing path: dwg\Cortina Land Condo\MAP Amend 01-14.dwg	Sheet 3 of 4
Start date: 04/23/2012			Project #: 03117

Z:\old\W\h\h\0182030317.dwg\Cortina Land Condo\MAP Amend 01-14.dwg, 8/19/2014 1:22:16 PM, mmo

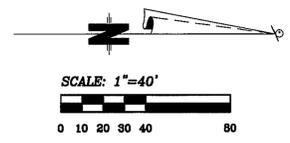
# VACATED EASEMENTS, SETBACKS, AND OTHER MATTERS

REFLECTS THE EASEMENTS, SETBACKS AND UNIT BOUNDARIES BEING VACATED BY THIS CONDOMINIUM AMENDMENT.

OPEN SPACE TRACT OSP-46



LODGES ON SUNDANCE  
(PLAT BOOK 1, PAGES 1787-1788)



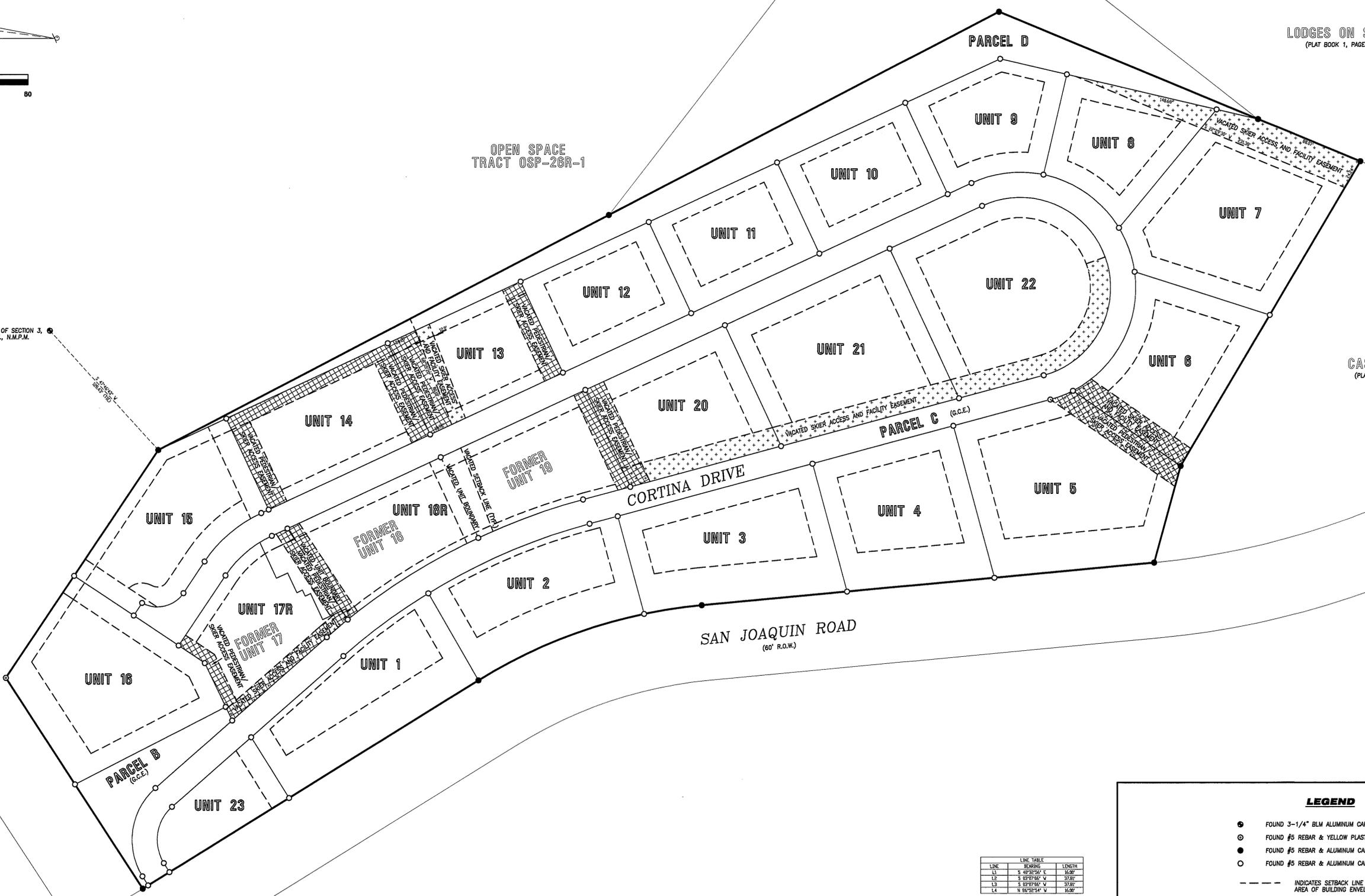
OPEN SPACE TRACT OSP-26R-1

SOUTH 1/16 CORNER OF SECTION 3,  
T. 42 N., R. 9 W., N.M.P.M.

CASSIDY RIDGE  
(PLAT BOOK 1, PAGE 4498)

OPEN SPACE TRACT OSP-26R-1

WINTERLEAF  
(PLAT BOOK 1, PAGE 1087)



LINE	BEARING	LENGTH
L1	S 49°25'41" E	15.87'
L2	S 02°07'36" V	37.81'
L3	S 02°07'36" V	37.81'
L4	N 86°02'54" V	35.89'

CURVE	LENGTH	RADIUS	DELTA ANG.
C1	19.57'	39.14'	89°19'56"
C2	28.47'	56.94'	34°09'00"
C3	26.11'	52.22'	35°25'46"
C4	28.09'	56.18'	37°07'00"
C5	9.59'	19.18'	62°04'14"
C6	18.28'	36.56'	65°26'33"
C7	4.41'	8.82'	49°48'42"
C8	19.57'	39.14'	89°19'56"
C9	26.65'	53.30'	34°31'31"
C10	16.82'	33.64'	34°09'00"
C11	8.82'	17.64'	14°09'00"
C12	18.28'	36.56'	65°26'33"

**LEGEND**

- FOUND 3-1/4" BLM ALUMINUM CAP
- FOUND #5 REBAR & YELLOW PLASTIC CAP, L.S. 25643
- FOUND #5 REBAR & ALUMINUM CAP, L.S. 25954
- FOUND #5 REBAR & ALUMINUM CAP, L.S. 36577
- INDICATES SETBACK LINE AND AREA OF BUILDING ENVELOPE
- INDICATES FORMER PEDESTRIAN/SKIER ACCESS EASEMENT, VACATED BY THIS CONDOMINIUM AMENDMENT.
- INDICATES FORMER PORTION OF SKIER ACCESS AND FACILITY EASEMENT, VACATED BY THIS CONDOMINIUM AMENDMENT.

PAGE 4664

SECOND AMENDMENT TO THE MAP OF THE CORTINA LAND CONDOMINIUMS, A COLORADO COMMON INTEREST COMMUNITY, LOCATED ON LOT 165, TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO.

Project Mgr:	DB
Technician:	MC
Checked by:	
Start date:	04/23/2012

**FOLEY ASSOCIATES, INC.**  
ENGINEERING • PLANNING • SURVEYING

970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Z:\04 W\04052020\03117.dwg\Cortina Land Condo\MAP Amend 01-14.dwg, 8/19/2014, 12:44:31 PM, mrcro



**PLANNING & DEVELOPMENT SERVICES  
DEPARTMENT**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Design Review Board  
**FROM:** Dave Bangert, Senior Planner  
**FOR:** Meeting of August 4, 2016  
**DATE:** July 28, 2016  
**RE:** Conceptual work session for a new single-family dwelling on Lot GH-11.

**PROJECT GEOGRAPHY**

**Application Overview:** The purpose of this agenda item is to allow the Design Review Board (DRB) to provide initial direction to the applicant regarding a proposed new single family home.

**Legal Description:** Lot GH-11  
**Address:** 11 Cabins Lane  
**Applicant/Agent:** Luke Trujillo, AIA  
**Owner:** John and Natalie Horwath  
**Zoning:** Single-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 0.23 acres

**Adjacent Land Uses:**

- **North:** Single-Family
- **South:** Single-Family
- **East:** Open Space
- **West:** Open Space

**ATTACHMENTS**

- Exhibit A: Narrative
- Exhibit B: Plan Set

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	40' maximum (35'+5' for gable roof)	44' – 11"
Maximum Avg Building Height	30'	30' – 2.15"
Maximum Lot Coverage	40% maximum	18.25%
General Easement Setbacks		
North	5' setback from lot line	0' to setback
South	16' GE	0' to GE
East	16' GE	63' to GE
West	5' setback from lot line	0' to setback

Roof Pitch		
Primary	6:12 to 12:12	6:12, 4.5:12
Secondary	4:12 unless specific approval	6:12, 4:12, 3.6:12
Exterior Material		
Stone	35%	40%
Wood	25% (No requirement)	18%
Windows/Doors	40% maximum for windows	31%
Metal Accents	Specific Approval	11%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

**BACKGROUND**

The applicant has submitted an application in accordance with the provisions of Section 17.4.6 of the Community Development Code (CDC) for a conceptual work session with the Design Review Board. The proposed project consists of a 2988 square foot single-family home located on lot GH-11. The purpose of the work session is to allow the applicant and DRB to have an informal, non-binding review and discussion about the project, potential issues and possible solutions. Staff has conducted a cursory review of the project in relation to the intent and standards of the Design Regulations of the CDC (**Chapter 17.5**).

**CURSORY ANALYSIS**

**Overview**

Lot GH-11 is 0.23 acres and slopes very steeply from west to east. The proposed home is situated toward the west of the lot to minimize the driveway length and grade as well as having adequate setbacks from the “No Build Zone” on the eastern third of the lot. The building site slopes west to east with a building footprint of roughly 1800 square feet which is consistent with surrounding properties and under the 40% lot coverage maximum.

**Site**

The tree cover on the lot is fairly dense Engelmann spruce and sub alpine fir with a few mature aspens. All structures and improvements are out of the General Easements and setbacks. However there are proposed retaining walls and a roof overhang right on the northern setback line and retaining walls, deck overhang and a patio area right on the southern setback line and southern General Easement. Due to the foundation being within 5 feet of the setback lines and the patio area right on the southern General Easement this will require a monumented survey prior to pouring foundation footers to ensure no encroachments in to the setbacks or General Easement.

**Roof Forms and Pitches**

The proposed home is comprised of two roof system to mitigate snow and water away from the structure. The applicant has stepped the roof planes down towards the street level to give the structure a human scale. Both the garage and the main structure are comprised of offset gables with 6:12 and 4:12/4.5:12 pitches. A primary roof under a 6:12 pitch will require specific approval from the DRB. There is one secondary shed roof with a 3.6:12 pitch that will require specific approval from the DRB as well.

**Roof Heights**

The average roof height is proposed at 30’ – 2.15” and meets the average height requirements under the CDC. However, the applicant is proposing a maximum roof height at 44’ – 11” which will require a Class 4 Variance Application. This is a two-step process where the applicant will

present the Variance Application to the DRB for a recommendation and to Town Council for their action. During this work session the DRB should provide guidance to the applicant regarding the appropriateness of the variance based on the following criteria from Section 17.4.16 (D):

1. The following criteria shall be met for the review authority to approve a variance:
  - a. The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography or other extraordinary or exceptional physical conditions;
  - b. The variance can be granted without substantial detriment to the public health, safety and welfare;
  - c. The variance can be granted without substantial impairment of the intent of the CDC;
  - d. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district;
  - e. Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use;
  - f. The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created;
  - g. The variance is not solely based on economic hardship alone; and
  - h. The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards.
2. It shall be the burden of the applicant to demonstrate that submittal material and the proposed development substantially comply with the variance review criteria.

### **Materials**

The applicant has indicated that the stone percentage is 40% but at this time we do not have specifications as to type, color or grouting. The roofing material proposed is bonderized standing seam but this may be changed to rusted standing seam metal roofing to be consistent with the aesthetic of surrounding homes on Cabins Lane. The wood siding is proposed to be vertical reclaimed barn wood and horizontal wood with chinking. The applicant is proposing to use plate steel on the northeastern and southeastern elevations that face the steep slope that drops to Prospect Creek. Window details are not available at this time but will be part of the submittal for a Design Review application.

### **Potential Variance and Variations**

- The applicant is proposing a maximum roof height above the 35' + 5' which will require the applicant to submit a Class 4 Variance Process application.
- The primary roof with less than a 6:12 pitch will require specific approval from the DRB.
- The shed roof with a 3.6:12 pitch will require specific approval from the DRB.

**RECOMMENDATION**

Work sessions provide an opportunity for the DRB to informally review a proposed application. As such, the DRB can only provide general comments and direction, with no formal decision. It should also be noted that Staff conducts only a high level, cursory review, with the more detailed and thorough review left to the formal process. Therefore, the DRB and staff review and comments will evolve as the project moves through the DRB process.



July 28, 2016 [Revised]

Town of Mtn. Village DRB and staff  
Mr. Glen Van Nimwegan & Mr. Dave Bangert

Town of Mountain Village  
455 Mountain Village Blvd, Suite A  
Mountain Village, CO 81435

Subject: T-Swiss Residence on Cabins Lane

DRB Staff and board members,

Enclosed you will find our proposal for a new home on Lot GH11 for Jason and Natalie Horwath. Our proposal is for a home that will blend into the neighborhood context. As currently designed we have a home with an area of **2988** SF. GH11 is a unique lot in the subdivision because of the trapezoidal shape and steep grades at the end of the street. We have purposely stepped down rooflines over the garage at street level so the home will be at a human scale near the public right of way. This house will match the context as seen from the street.

Jason and Natalie have lived in Switzerland and have asked our team to include this inspiration in our design, in addition to drawing from Telluride-oriented design elements. Thus the name 'T-Swiss' was derived for the project. The Swiss Chalet influence can be seen in our simple shapes, rooflines, roof overhangs, and rafter tails. The unique composition is intended to provide views into the tree-house type of canopy that will exist at the **East** of the lot. Thus the main living space is located on the upper level.

During our design investigations we analyzed all the homes on Cabins Lane and found the average home size to be 2913 SF. The largest home is 3503, and the smallest is 1680 per real estate records. Per the design regulations we have a home that meets the standards at right under 3000 sf. It's also important to note that our proposed building footprint is 1800 SF +/-, making the proposed home very consistent with others on this street.

The Horwath residence has a simple '2 roof' system design to provide easier mitigation of snow and water. After studying several Mountain Village homes, we realized that large roof overhangs will be important to push all snow and ice away from the building and protect guardrails and utility meters in the process. We wish to avoid any long-term damage by having large roof overhangs and supporting brackets. Therefore the design you see in this package is intentionally very pragmatic for snow country.

With respect to building height we are proposing a design that would require a variance on the design height. The lot has a hardship because of steep grades. After months of design studies we believe this current proposal is the right one for consideration. The owner's and TruLinea Architects realize that the

design does not fit the cookie cutter recipe for design height. However if you watch our go-pro video, and walk the lot; you will realize that what we are proposing is justified. The ‘ship’s prow’ and East elevation will never be seen by the public. This house is on a very steep slope right above Prospect Creek. So when the final build occurs, the house will simply blend into the extremely tall tree canopy. We are going to try and save a very large spruce near the ship’s prow – so that the owner’s can enjoy the tall tree and all the activity that goes along with it. Again please understand we are facing a hardship because the home is located on a very challenging lot that is basically hidden from all public views. I would invite any board member or town council person to view this lot on their own and discover our challenge. During our DRB hearing we will provide context photos, and context massing of our adjacent homes to show the overall heights.

On June 3<sup>rd</sup> the Horwath’s reviewed their lot with a temporary view platform made of scaffolding, with the help of Koenig Construction. Up on the scaffolding (roughly at 9950’) we learned that we could achieve some partial views towards the surrounding peaks. We also learned that having our kitchen and living space on the upper level created a ‘tree house’ effect. This is a major part of our design goal for GH#11. This is why you see the design in front of you now.

Lastly I did ask Glen Van Nimwegan to walk the site with me on 7/22. Glen and I reviewed the lot and the challenging conditions. Our team and owner’s fully realized that a variance must be passed by town council for approval. We are willing to go through all conditions if it will lend itself to a more valuable design for our clients. Realizing that the Mtn. Village has ‘challenge’ lots left in its supply, architects are faced with unique design for a valuable return to their clients. More and more DRB and Town Council are going to look at more requests such as ours on T-swiss.

Sincerely,

Luke Trujillo AIA

Principal Architect – TruLinea Architects Inc.

[www.TruLinea.com](http://www.TruLinea.com)

Office: (970) 708-1445

Email: [trulinea@gmail.com](mailto:trulinea@gmail.com)



**TOPOGRAPHIC SURVEY**  
**LOT GH-11, THE CABINS AT GOLD HILL**



**SAN JUAN SURVEYING**  
 SURVEYING \* PLANNING  
 102 SOCIETY DRIVE TELLURIDE, CO. 81435  
 (970) 728-1128 (970) 728-9201 fax  
 office@sanjuansurveying.net

DATE:	11/23/2015
JOB:	15034
DRAWN BY:	CRK
CHECKED BY:	ADM
REVISION DATES:	
SHEET:	1 OF 1

  
 Christopher R. Kennedy, P.L.S. 36577  
 11/23/2015  


## SYMBOL LEGEND

SECTION NO.	WINDOW MARK	115	NEW CONTOUR	
SECTION CUT	DOOR MARK	107	EXISTING CONTOUR	
SHEET NO.	REFERENCE GRID LINE	X	BREAK LINE	
DETAIL NO.	SPOT ELEVATION	100'-0" (USGS = 8872) T.O. FF (main)	CENTER LINE	
SHEET NO.	DRAWING REVISION		HIDDEN LINE	
DETAIL CUT	INTERIOR ELEVATION		PROPERTY LINE	
DETAIL CUT	STAIRS GOING DOWN		SETBACK LINE	
EXTERIOR ELEVATION	STAIRS GOING UP		DETAIL REFERENCE	
NAME & ROOM #		SHEET #		
ROOM NUMBER				
SQUARE FOOTAGE				

## MATERIAL LEGEND

CONCRETE	SOIL/ COMPACTED FILL	
CONCRETE MASONRY UNIT	UNDISTURBED SOIL	
	NON-COMPACTED FILL	
STONE	SAND	
FRAME WALL	FINISHED WOOD	
MTL. STUDS	ROUGH FRAMING OR	
WOOD STUDS	ROUGH SAWN TRIM	
TILE	WOOD BLOCKING	
STEEL	GLU-LAM WOOD	
ALUMINUM OR OR SHEET METAL	PARTICLE BD. OR WOOD FIBER BD.	
BATT INSULATION	RIGID INSULATION	
GYP. WALL BD/ STUCCO/ PLASTER	CARPET	
PLYWOOD		

## ABBREVIATIONS

AOR	Area of Refuge	GR	Grade	SECT	Section
AGG	Aggregate	GLB	Laminated Wood Beam	SEW	Sewer
AFF	Above Finished Floor	GYP	Gypsum	SHT	Sheet
ALT	Aluminate	GWB	Gypsum Wallboard	SHLV	Shelves
ARCH	Architectural	HDW	Hardware	SHM	Similar
ASSY	Assembly	HD	Head	SL	Sliding
BM	Beam	HVAC	Heating, Ventilating, and Air Conditioning	SM	Sheet Metal
BRG	Bearing	HT	Height	STC	Sound - Transmission Class
BET	Between	HWY	Highway	STC	Specification
BD	Board	HCR	Horizontal	SQ	Square
BS	Both Sides	HTL	Hot/Diameter	STD	Standard
BO	Bottom Of	ID	Inside Diameter	STL	Steel
BILDG	Building	INT	Interior	STRUCT	Structure (all)
CAB	Cabinet	IT	Joint	SUB	Substitute
CL	Centrifuge	LAM	Laminate	SUPPL	Supplement (all)
CER	Ceramic	LAV	Lavatory	SUSP	Suspend (ed)
CLR	Clear	MFG	Manufacturer	TEL	Telephone
CLOS	Closest	MO	Masonry	TV	Television
CMU	Concrete Masonry Unit	MTL	Masonry Opening	TEMP	Tempered
COL	Column	MAX	Material	TH	That is
CONC	Concrete	MC	Maximum	THK	Thick
CJ	Construction Joint	MECH	Medicine Cabinet	TPH	Token Piger Holder
CONT	Continuous	MIN	Mechanical	T&G	Young and Groove
DP	Dampproofing	MISC	Minimum	T&B	Top and Bottom
DET	Detail	NIC	Miscellaneous	TD	Top Of
DIA	Diameter	NA	Not In Contact	T	Tread
DM	Dimension	NTS	Not Applicable	TS	Tube Steel
DW	Dishwasher	OC	Not to Scale	TYP	Typical
DN	Down	OPG	On Center	UG	Underground
DR	Drain	OPP	Opening	UN.O.	Unless Noted Otherwise
DS	Downspout	OPH	Opposite	UPH	Unless Noted Otherwise
DRWG	Drawing	OD	Opposite Hand	UBC	Uniform Building Code
EA	Each	OD	Outside Diameter	USG	United States Gage
EL	Elevation	P	Perforated (s)	VAR	Variable
EQ	Equal	PFM	Perforated Sheet Metal	VENT	Ventilate
EXIST	Existing	PL	Plate	VF	Verify In Field
EJ	Expansion Joint	PLY	Plywood	VERT	Vertical
EXT	Exterior	PROJ	Project	VAT	Vinyl Adhesive Tile
FE CABT	Fire Extinguisher Cabinet	PROJ	Project	V	Voltage
FOC	Face Of Concrete	PROP	Property	WC	Water Closet
FOS	Face Of Stud	R	Raster or Riser	WSP	Wetproof
FN	Finish	REF	Refer	WT	Weight
FP	Fireproof	REFR	Refrigerator	WN	Window
FL	Floor	RENF	Reinforce (d)	WV	With (cont. form)
FD	Floor Drain	REQD	Required	WO	Without
FTG	Footing	RISM	Round Head Sheet Metal Screw	W	Wood
FND	Foundation	RM	Room		
GA	Gauge				

## HOME OWNERS ASSOCIATION PRELIMINARY SUBMITTAL JULY 20, 2016

### PROJECT DIRECTORY:

**OWNER:** Jason and Natalie Horwath  
13 Cabins Lane  
Mtn. Village, CO 81435

**ARCHITECT:** TruLinea Architects Inc.  
Luke Trujillo AIA - Principal  
113 Lost Creek Lane  
Mountain Village, CO 81435  
970.728.3437

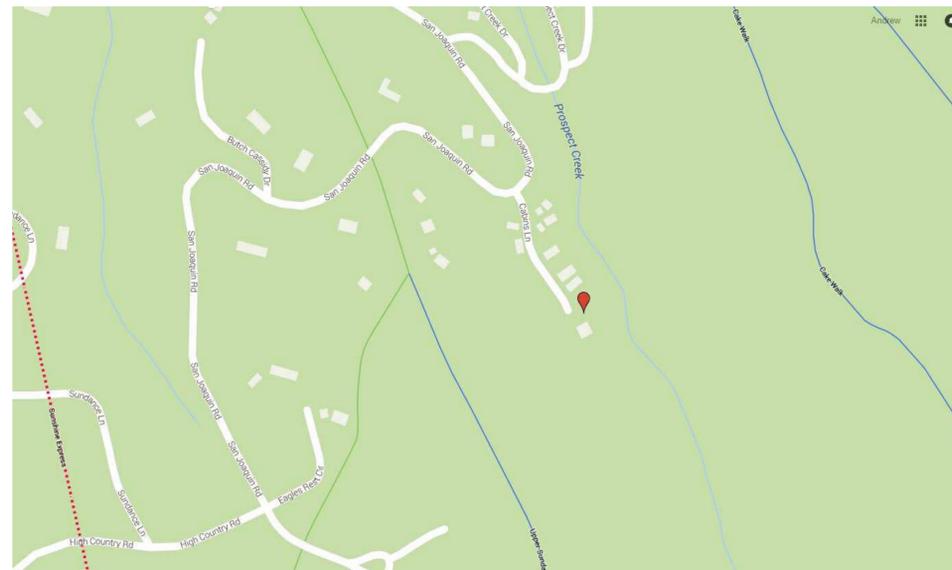
www.Truline.com  
email: truline@gmail.com

### CONTRACTOR:

**CONSULTANTS:** STRUCTURAL ENGINEER:

**MECHANICAL DESIGN:**

**VICINITY MAP:** LIGHTING DESIGNER:



## GENERAL NOTES

- THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", LATEST EDITION, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATION, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES.
- THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
- ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER, REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.

### CODE SUMMARY

2012 I.R.C.  
-WOOD FRAME CONSTRUCTION  
- 2 STORIES - RESIDENTIAL  
-NOT IN FLOOD PLAIN  
-OCCUPANCY = RESIDENTIAL  
-SPRINKLER SYSTEM APPROVED

### LAND USE SUMMARY

LEGAL DESCRIPTION: 114 Arizona Dr. LOT 810-C  
Mtn. Village, CO 81435  
LOT SIZE: 31,166 SF - 715 ACRES  
ZONING: RESIDENTIAL  
HEIGHT: 35'-0" MAX  
Historic Structures: NONE

### SETBACKS - LUC.

Regulations: 16 G.E. Envelope

Building is within setbacks - no variations to occur.

### NOTES BY BUILDING OFFICIAL: FOR CONSTRUCTION

- WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE UNIFORM BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE. DIMENSIONAL ERRORS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
- CONTRACTOR WILL ASSUME RESPONSIBILITY FOR STONE MASONRY SUBCONTRACTOR'S TAKE-OFFS.
- SEE SPECIFICATIONS FOR DOOR, WINDOW, AND FINISH SCHEDULES.
- SEE SPECIFICATIONS FOR EXTERIOR FINISH MATERIALS AND COLORS.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCH DRAWINGS. NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- THE JOB SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCLUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF WORK SHALL REMOVE HIS/HER TRASH AND DEBRIS.
- FIRE SPRINKLER SYSTEMS (WHEN APPLICABLE) SHOULD BE PROVIDED THROUGHOUT THE BUILDING BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE DRAWINGS AND OBTAINING THE PERMITS FOR THE REQUIRED SYSTEM. THE FIRE SPRINKLER SYSTEM SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES.
- ALL WELDING AND METAL WORK TO BE REVIEWED BY THE ARCHITECT. ANY INFERIOR WELDS OR METAL WORK THAT IS NOT ACCEPTED WILL BE RE-WORKED ACCORDING TO THE ARCHITECT'S DIRECTION. CALL THE ARCHITECT TO INSPECT ALL STRUCTURAL EXPOSED STEEL, BRIDGES, STAIRS, GUARDRAILS, OR SPECIALTY DESIGN FEATURES LOCATED ANYWHERE WITHIN THE SCOPE OF THE WORK.

### SHEET LIST

Sheet Number	Sheet Name
G-001	COVER SHEET
A-100	NET AREA PLANS
AS-101	ARCHITECTURAL SITE PLAN
A-101	LOWER LEVEL FLOOR PLAN
A-102	MAIN LEVEL FLOOR PLAN
A-103	UPPER LEVEL FLOOR PLAN
A-104	LOFT FLOOR PLAN
A-201	EXTERIOR ELEVATIONS
A-204	EXTERIOR MATERIAL CALCS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-901	PRELIMINARY 3 DIMENSIONAL VIEW

**TRULINEA ARCHITECTURE**  
**T-SWISS**  
**GOLD HILL, LOT 11, MOUNTAIN VILLAGE, COLORADO**

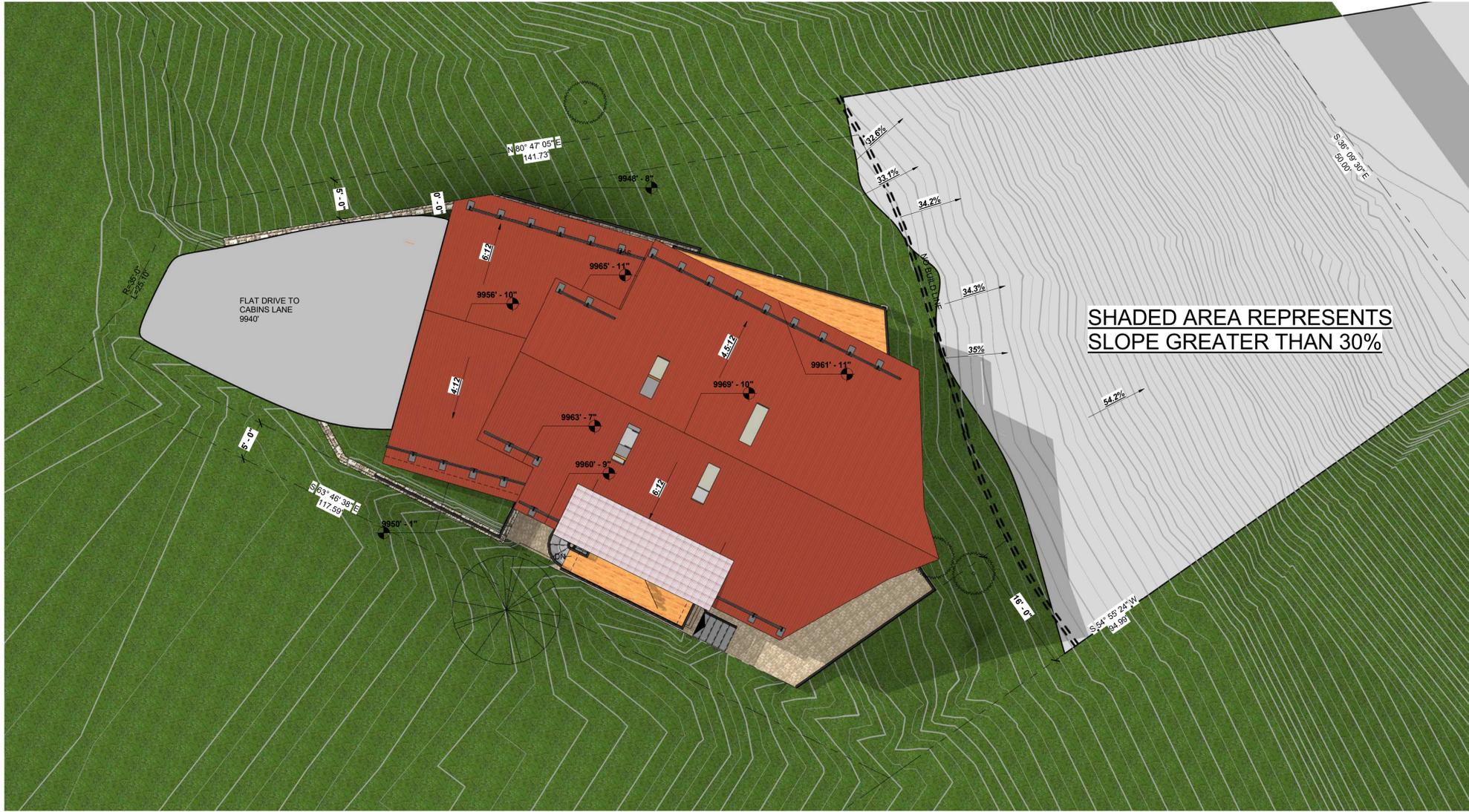
#	SUBMISSION	DATE
8	LUKE REVIEW	16.02.02
9	CLIENT REVIEW	16.02.15
10	LUKE REDESIGN	16.04.15
11	OPTIONS PRES	16.04.29
12	OPTION A REF	16.05.05
13	CLIENT REVISIONS	16.05.15
14	MATERIALS	16.05.25
15	HOA PRELIM	16.06.23
16	HOA MEETING	16.07.20

Project number: T-SWISS  
Date: 2016.07.22  
Modeled by: AG  
Checked by: LT  
Scale: 12" = 1'-0"



G-001

COVER SHEET

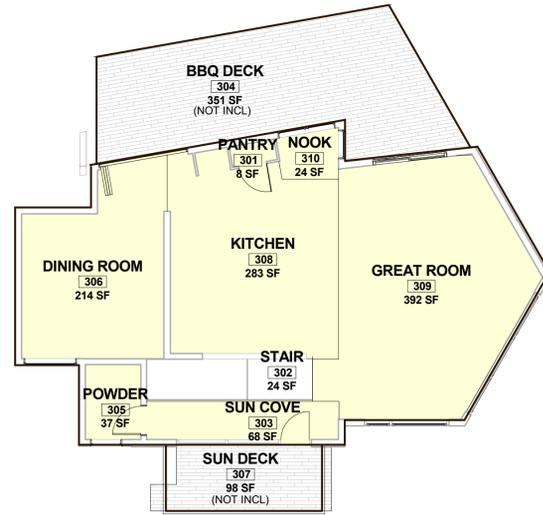


**T-SWISS**  
GOLD HILL, LOT 11, MOUNTAIN  
VILLAGE, COLORADO

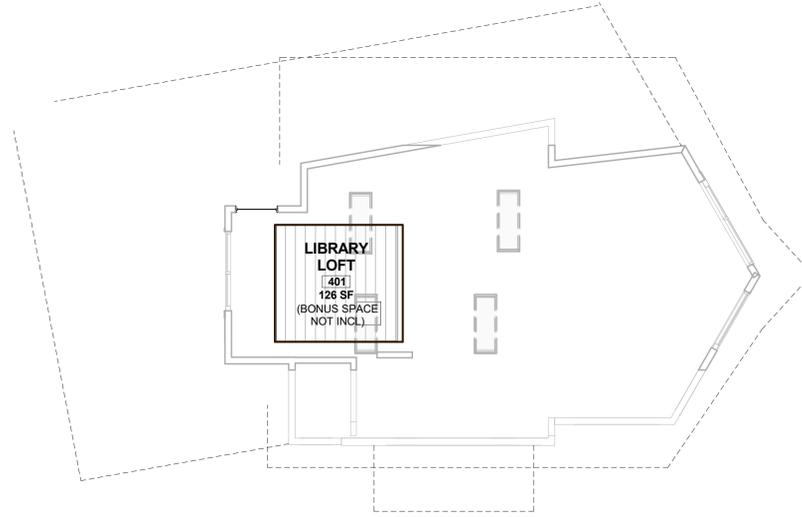
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8	LUKE REVIEW	16.02.02
9	CLIENT REVIEW	16.02.15
10	LUKE REDESIGN	16.04.15
11	OPTIONS PRES	16.04.29
12	OPTION A REF	16.05.05
13	CLIENT REVISIONS	16.05.15
14	MATERIALS	16.05.25
15	HOA PRELIM	16.06.23
16	HOA MEETING	16.07.20

Project number T-SWISS  
Date 2016.07.22  
Modeled by AG  
Checked by LT  
Scale 1/8" = 1'-0"

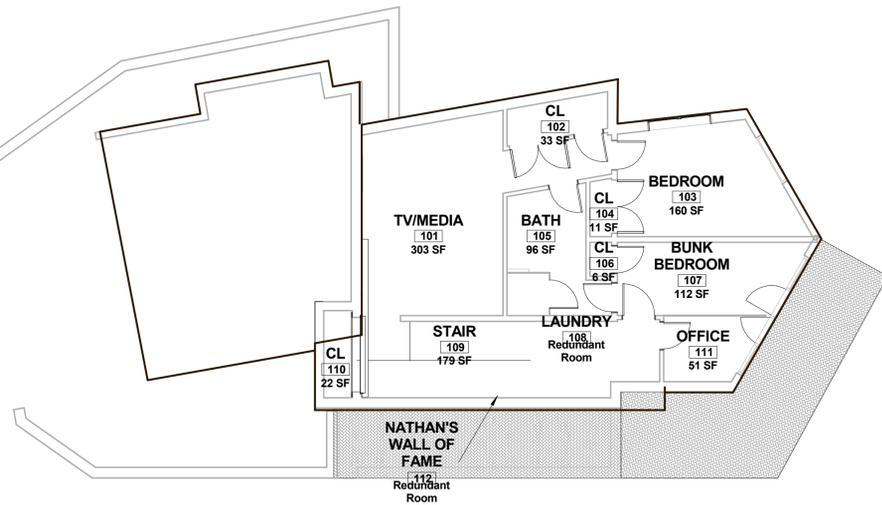




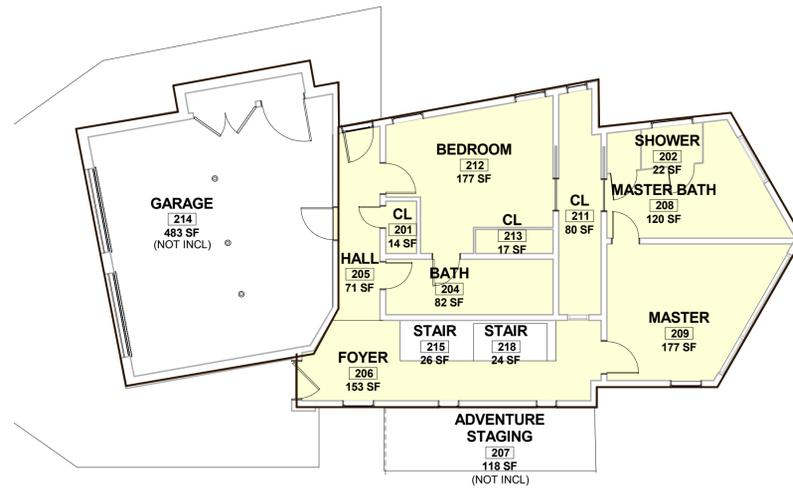
C1 UPPER LEVEL AREAS  
1/8" = 1'-0"



C3 LOFT LEVEL AREA  
1/8" = 1'-0"



A1 LOWER LEVEL AREAS  
1/8" = 1'-0"

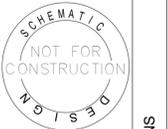


A3 MAIN LEVEL AREAS  
1/8" = 1'-0"

NET AREAS		
Number	Name	Area
101	TV/MEDIA	303 SF
102	CL	33 SF
103	BEDROOM	160 SF
104	CL	11 SF
105	BATH	96 SF
106	CL	6 SF
107	BUNK BEDROOM	112 SF
108	LAUNDRY	0 SF
109	STAIR	179 SF
110	CL	22 SF
111	OFFICE	51 SF
112	NATHAN'S WALL OF FAME	0 SF
201	CL	14 SF
202	SHOWER	22 SF
203	LINEN	0 SF
204	BATH	82 SF
205	HALL	71 SF
206	FOYER	153 SF
208	MASTER BATH	120 SF
209	MASTER	177 SF
210	SHOWER	0 SF
211	CL	80 SF
212	BEDROOM	177 SF
213	CL	17 SF
215	STAIR	26 SF
218	STAIR	24 SF
301	PANTRY	8 SF
302	STAIR	24 SF
303	SUN COVE	68 SF
305	POWDER	37 SF
306	DINING ROOM	214 SF
308	KITCHEN	283 SF
309	GREAT ROOM	392 SF
310	NOOK	24 SF
Grand total: 34		2988 SF

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16	HOA MEETING	16.07.20

Project number T-SWISS  
Date 2016.07.22  
Modeled by AG  
Checked by TL  
Scale 1/8" = 1'-0"



ROOM SQUARE FOOTAGES - LOWER LEVEL		
NUMBER	ROOM	SF
101	TV/MEDIA	303 SF
102	CL	33 SF
103	BEDROOM	160 SF
104	CL	11 SF
105	BATH	96 SF
106	CL	6 SF
107	BUNK BEDROOM	112 SF
108	LAUNDRY	Redundant Room
109	STAIR	179 SF
110	CL	22 SF
111	OFFICE	51 SF
112	NATHAN'S WALL OF FAME	Redundant Room
Grand total: 12		974 SF



A1 01 - LOWER LEVEL FLOOR PLAN  
1/4" = 1'-0"



#	SUBMISSION	DATE
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Project number	T-SWISS
Date	2016.07.22
Modeled by	AG
Checked by	LT
Scale	1/4" = 1'-0"





ROOM SQUARE FOOTAGES - MAIN LEVEL		
NUMBER	ROOM	SF
201	CL	14 SF
202	SHOWER	22 SF
204	BATH	82 SF
205	HALL	71 SF
206	FOYER	153 SF
207	ADVENTURE STAGING	118 SF
208	MASTER BATH	120 SF
209	MASTER	177 SF
211	CL	80 SF
212	BEDROOM	177 SF
213	CL	17 SF
214	GARAGE	483 SF
215	STAIR	26 SF
218	STAIR	24 SF
Grand total: 14		1565 SF

TRULL ARCHITECTURE  
 Trulline a.com  
 113 Lost Creek Lane, Suite B  
 Telluride Mountain Village, CO USA 81435

T-SWISS  
 GOLD HILL, LOT 11, MOUNTAIN  
 VILLAGE, COLORADO

#	SUBMISSION	DATE
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14	MATERIALS	16.05.25
15	HOA PRELIM	16.06.23
16	HOA MEETING	16.07.20

Project number: T-SWISS  
 Date: 2016.07.22  
 Modeled by: AG  
 Checked by: LT  
 Scale: 1/4" = 1'-0"

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 SCHEMATIC DESIGN  
 NOT FOR CONSTRUCTION  
 MAIN LEVEL FLOOR PLAN  
 A-102  
 7/22/2016 7:17:28 AM

A1 MAIN LEVEL FLOOR PLAN  
 1/4" = 1'-0"

ROOM SQUARE FOOTAGES - UPPER LEVEL		
NUMBER	ROOM	SF
301	PANTRY	8 SF
302	STAIR	24 SF
303	SUN COVE	68 SF
304	BBQ DECK	351 SF
305	POWDER	37 SF
306	DINING ROOM	214 SF
307	SUN DECK	98 SF
308	KITCHEN	283 SF
309	GREAT ROOM	392 SF
310	NOOK	24 SF
Grand total: 10		1500 SF



A1 UPPER LEVEL FLOOR PLAN  
1/4" = 1'-0"

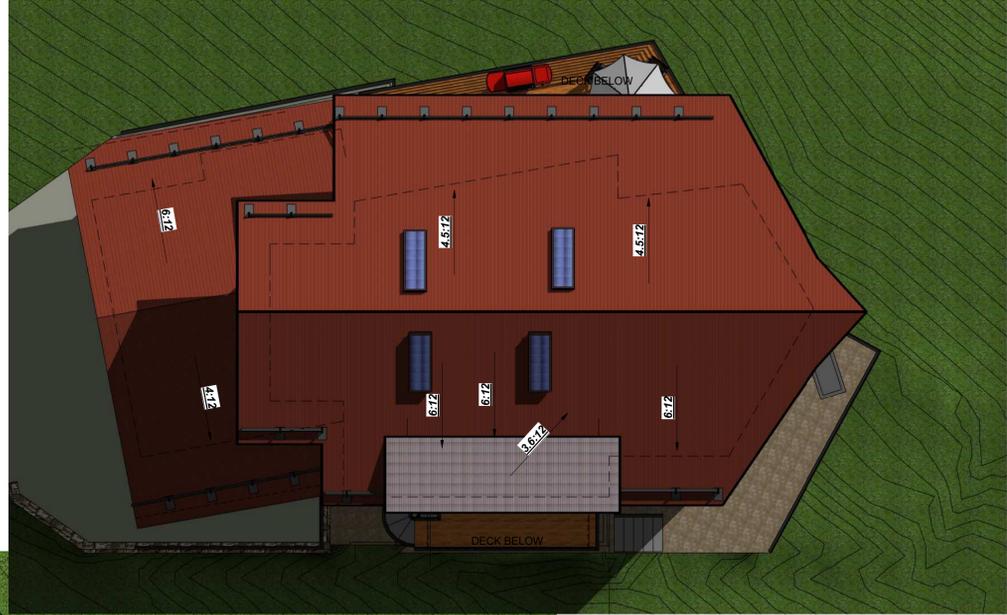
TRULINE ARCHITECTURE  
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 Telluride Mountain Village, CO USA 81435

T-SWISS  
 GOLD HILL, LOT 11, MOUNTAIN  
 VILLAGE, COLORADO

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16	HOA MEETING	16.07.20

Project number: T-SWISS  
 Date: 2016.07.22  
 Modeled by: Author  
 Checked by: Checker  
 Scale: 1/4" = 1'-0"

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 SCHEMATIC DESIGN  
 NOT FOR CONSTRUCTION  
 UPPER LEVEL FLOOR PLAN  
 A-103  
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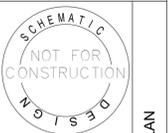


**A1 LOFT FLOOR PLAN**  
1/4" = 1'-0"

**D4 ROOF PLAN**  
1/8" = 1'-0"

#	SUBMISSION	DATE
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15	HOA PRELIM	16.06.23
16	HOA MEETING	16.07.20

Project number	T-SWISS
Date	2016.07.22
Modeled by	Author
Checked by	Checker
Scale	As indicated



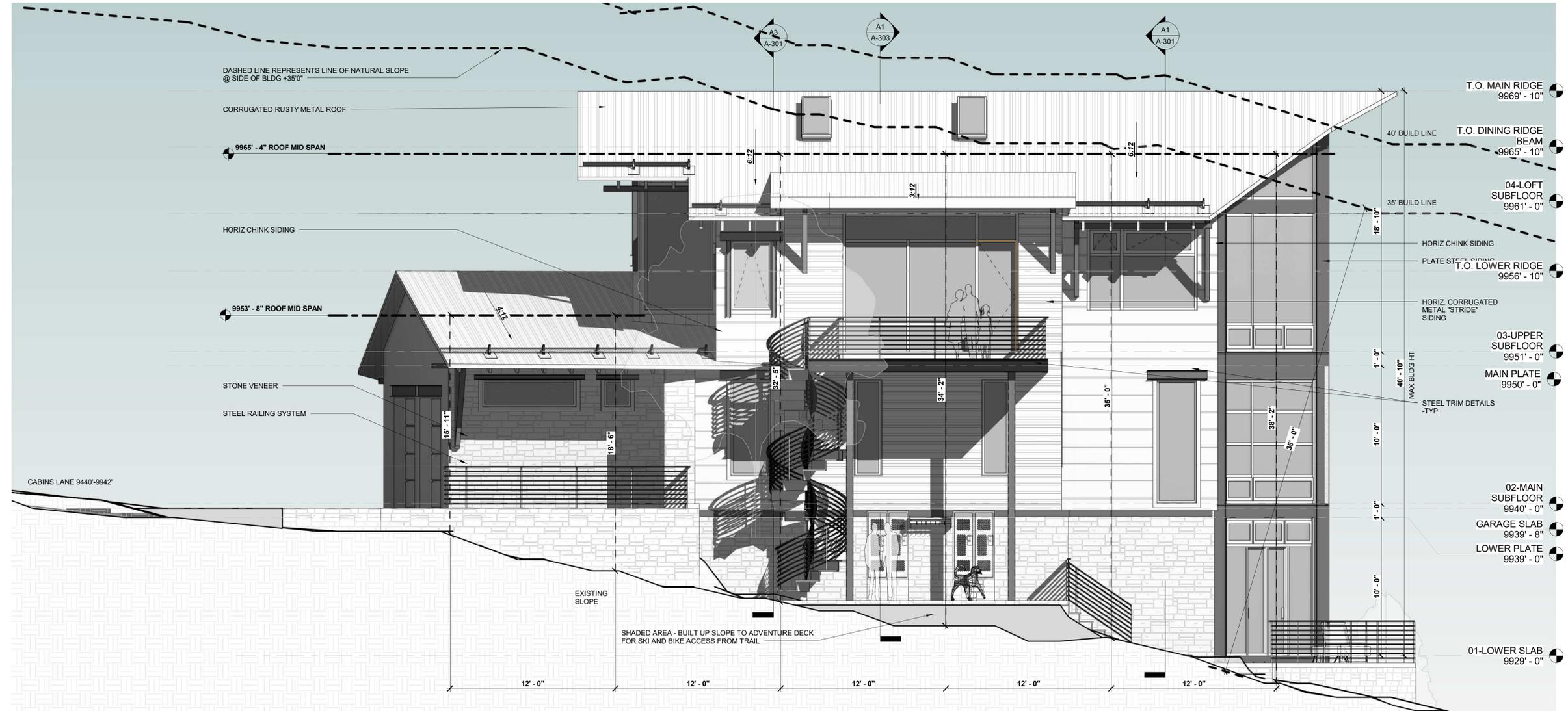


**D1 WESTERN ELEVATION**  
1/4" = 1'-0"

- T.O. MAIN RIDGE  
9969' - 10"
- T.O. DINING RIDGE  
BEAM  
9965' - 10"
- 04-LOFT  
SUBFLOOR  
9961' - 0"
- T.O. LOWER RIDGE  
9956' - 10"
- 03-UPPER  
SUBFLOOR  
9951' - 0"
- MAIN PLATE  
9950' - 0"
- GARAGE SLAB  
9939' - 8"

**AVG HT CALCS**

MEASUREMENT 1 -	15'-11"
MEASUREMENT 2 -	18'-6"
MEASUREMENT 3 -	32'-5"
MEASUREMENT 4 -	34'-2"
MEASUREMENT 5 -	35'-0"
MEASUREMENT 6 -	38'-2"
TOTAL	- 174'-2"
AVG	- 29'-0 5/16"



**A1 SOUTHERN ELEVATION**  
1/4" = 1'-0"

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8	LUKE REVIEW	16.02.02
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16	HOA MEETING	16.07.20

Project number T-SWISS  
Date 2016.07.22  
Modeled by AG  
Checked by LT  
Scale 1/4" = 1'-0"



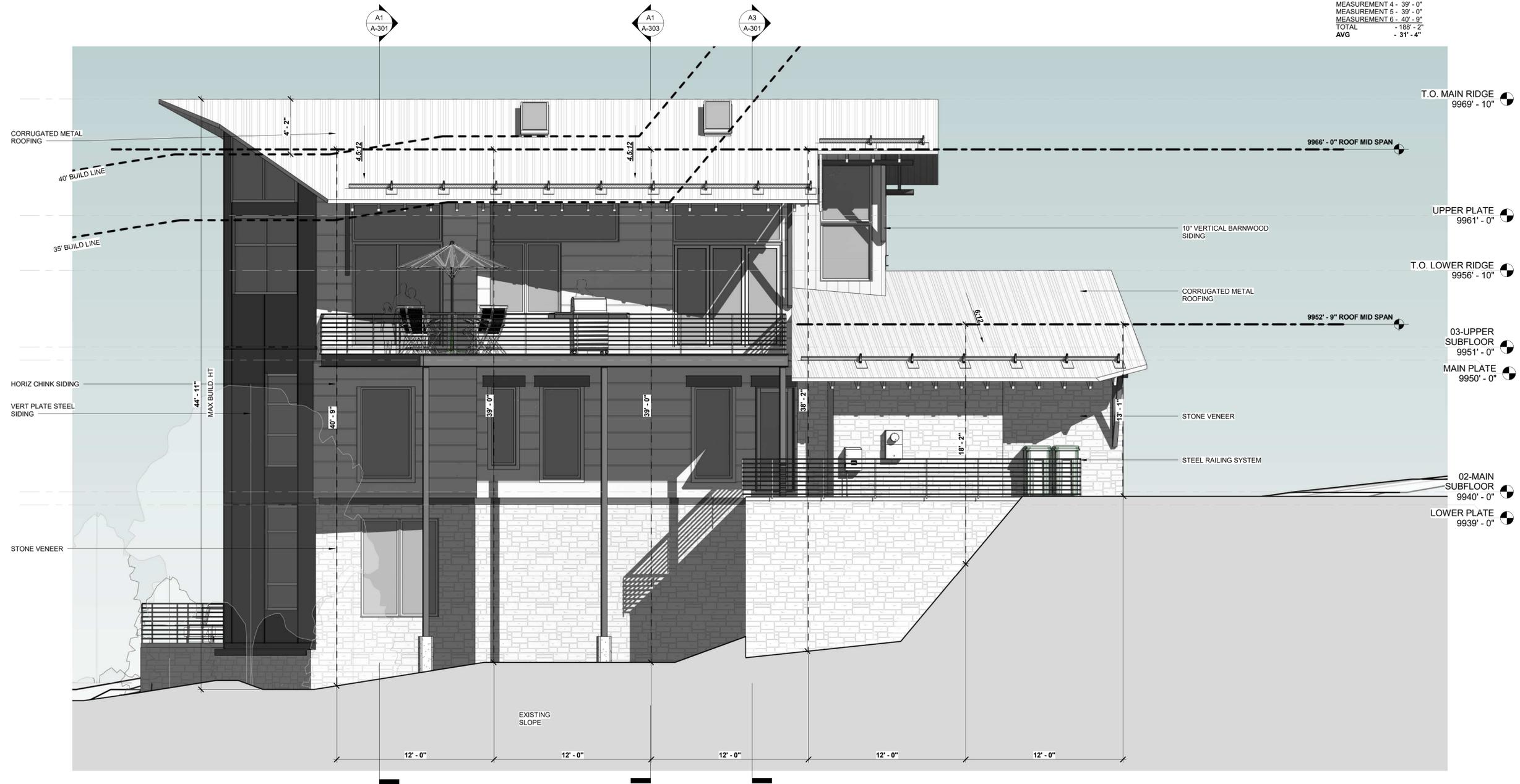
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8	LUKE REVIEW	16.02.02
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14	MATERIALS	16.05.25
15	HOA PRELIM	16.06.23
16	HOA MEETING	16.07.20

Project number	T-SWISS
Date	2016.07.26
Modeled by	AG
Checked by	LT
Scale	1/4" = 1'-0"



AVG HT CALCS

MEASUREMENT 1	- 13' - 1"
MEASUREMENT 2	- 18' - 2"
MEASUREMENT 3	- 38' - 2"
MEASUREMENT 4	- 39' - 0"
MEASUREMENT 5	- 38' - 0"
MEASUREMENT 6	- 40' - 9"
TOTAL	- 188' - 2"
AVG	- 31' - 4"



A1 NORTHERN ELEVATION  
1/4" = 1'-0"

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7/26/2016 4:24:32 PM



- T.O. MAIN RIDGE  
9969' - 10"
- T.O. DINING RIDGE  
BEAM  
9965' - 10"
- NO SECONDARY WINDOWS  
ABOVE 40 SF
- 04-LOFT  
SUBFLOOR  
UPPER PLATE  
9961' - 0"
- T.O. LOWER RIDGE  
9956' - 10"
- STEEL TRIM DETAILS  
-TYP.
- 03-UPPER  
SUBFLOOR  
9951' - 0"
- MAIN PLATE  
9950' - 0"
- PLATE STEEL SIDING
- HORIZ. CHINK SIDING
- cabins lane  
9942' - 9"
- 02-MAIN  
SUBFLOOR  
9940' - 0"
- LOWER PLATE  
9939' - 0"
- STONE VENEER
- 01-LOWER SLAB  
9929' - 0"
- CRAWL SPACE ACCESS

A1 EASTERN ELEVATION  
1/4" = 1'-0"

T-SWISS  
GOLD HILL, LOT 11, MOUNTAIN  
VILLAGE, COLORADO

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### MATERIAL TOTALS

1. GLASS & DOORS	1,565 SF - 31%
2. VERTICAL BARNWOOD	148 SF - 3%
3. STONE	1,987 SF - 40%
4. HORIZ. WOOD & CHINKING	739 SF - 15%
5. PLATE STEEL	553 SF - 11%
<b>TOTAL</b>	<b>4,992 SF</b>

- GLASS AND DOORS
- VERTICAL BARNWOOD
- STONE
- HORIZ. WOOD & CHINKING
- PLATE STEEL

### MATERIAL TOTALS

TOTAL AREA -	1,601 SF
STONE -	884 SF - 55%
VERTICAL BARNWOOD -	36 SF - 2%
GLASS & DOORS -	407 SF - 25%
HORIZ WOOD & CHINKING -	274 SF - 17%
*METAL STRUCTURE AND TRIM NOT INCLUDED	



C1 NORTHERN ELEVATION MATERIALS  
1/8" = 1'-0"

### MATERIAL TOTALS

TOTAL AREA -	1,036 SF
METAL PLATE -	370 SF - 36%
GLASS & DOORS -	191 SF - 18%
STONE VENEER -	363 SF - 35%
HORIZ CHINKING -	111 SF - 11%
*METAL STRUCTURE AND TRIM NOT INCLUDED	



C2 NORTHEAST ELEVATION MATERIALS  
1/8" = 1'-0"

### MATERIAL TOTALS

TOTAL AREA -	597 SF
METAL PLATE -	183 SF - 31%
GLASS & DOORS -	414 SF - 69%
*METAL STRUCTURE AND TRIM NOT INCLUDED	



C4 SOUTHEAST ELEVATION MATERIALS  
1/8" = 1'-0"

### MATERIAL TOTALS

TOTAL AREA -	1,071 SF
STONE -	492 SF - 46%
VERTICAL BARNWOOD -	24 SF - 2%
HORIZ WOOD & CHINKING -	236 SF - 22%
GLASS & DOORS -	319 SF - 30%
*METAL STRUCTURE AND TRIM NOT INCLUDED	



A1 SOUTHERN ELEVATION MATERIALS  
1/8" = 1'-0"

### MATERIAL TOTALS

TOTAL AREA -	688 SF
HORIZ CHINKING -	118 SF - 17%
STONE -	248 SF - 36%
VERTICAL BARNWOOD -	88 SF - 13%
GLASS & DOORS -	234 SF - 34%
*METAL STRUCTURE AND TRIM NOT INCLUDED	



A3 WESTERN ELEVATION MATERIALS  
1/8" = 1'-0"

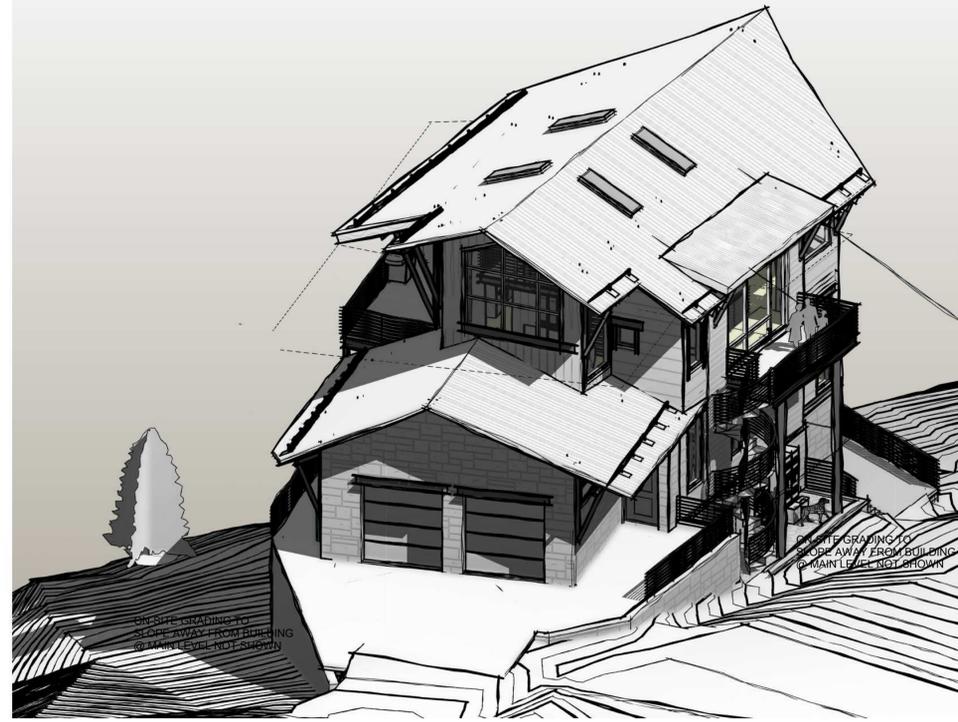
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Project number	T-SWISS
Date	2016.07.22
Modeled by	AG
Checked by	LT
Scale	1/8" = 1'-0"



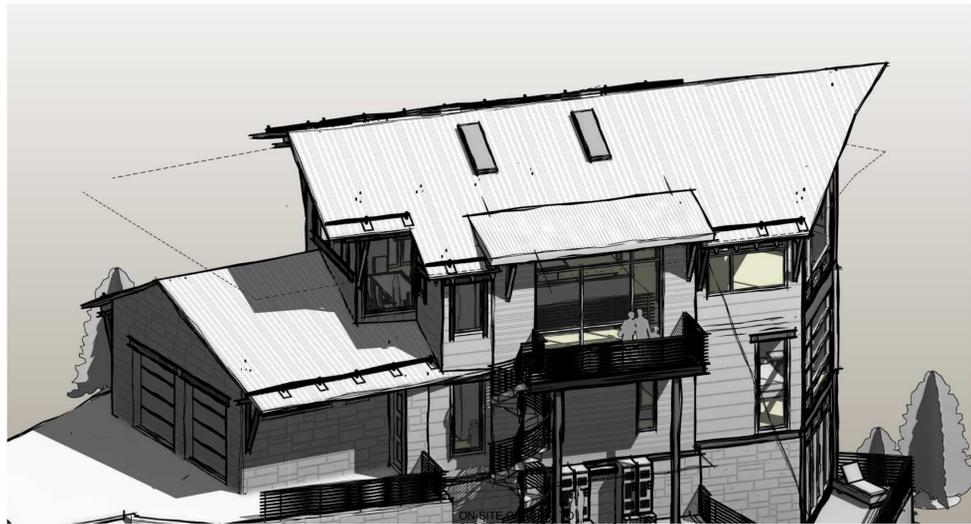


C1 NORTHERN ISOMETRIC



C3 WESTERN ISOMETRIC

BEAUTIFUL TERRACING OF ROOFS ON A SLOPED LANDSCAPE -  
MIMICING THE NATURAL BEAUTY OF THE MOUNTAINS THEMSELVES.



© LUKE STEIN  
SLOPE AWAY FROM BUILDING  
@ MAIN LEVEL NOT SHOWN

A1 SOUTHERN ISOMETRIC



A3 EASTERN ISOMETRIC



#	SUBMISSION	DATE
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Project number T-SWISS

Date 2016.07.22

Modeled by AG

Checked by LT

Scale



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PRELIMINARY 3 DIMENSIONAL VIEW

A-901

## GH 11 - T swiss Project

### DRB - material cut sheets for proposed new residence

**Name:** T-swiss - aka Horwath Residence  
**Location :** Entire House -Dark metal clad windows - casement, fixed, doors, etc.  
**Item Description:** Windows - metal clad - matching everywhere  
**Issue Date:** 2016.06.23

\*Note - barnwood siding to match.



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Architects

970-708-1445 ----TruLinea.com

## GH 11 - T swiss Project

### DRB - material cut sheets for proposed new residence

**Name:** T-swiss - aka Horwath Residence  
**Location :** Entire House -all stone veneer locations with cap at top of wall  
**Item Description:** Stone veneer similar to GH 9 - with mortar flush or near flush  
**Issue Date:** 2016.06.23



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Architects

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## GH 11 - T swiss Project

### DRB - material cut sheets for proposed new residence

**Name:** T-swiss - aka Horwath Residence  
**Location :** Primary gable roof forms.  
**Item Description:** Standing seam metal roof - RUSTY - 17 inch widths  
**Issue Date:** 2016.06.27



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## GH 11 - T swiss Project

### DRB - material cut sheets for proposed new residence

**Name:** T-swiss - aka Horwath Residence  
**Location :** All roof locations as indicated on the elevations  
**Item Description:** Snow guards with pipe- integrated holders on Standing seam locations  
**Issue Date:** 2016.06.27



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## GH 11 - T swiss Project

### DRB - material cut sheets for proposed new residence

**Name:** T-swiss - aka Horwath Residence  
**Location :** Decorative beams, Rafter tails  
**Item Description:** Wood beam and rafter details on all exteriors as depicted on elevations  
**Issue Date:** 2016.06.27



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## GH 11 - T swiss Project

### DRB - material cut sheets for proposed new residence

**Name:** T-swiss - aka Horwath Residence  
**Location :** Prow of ship on East elevation  
**Item Description:** Plate metal siding with 1/4" seams - align with all window frames and geometry  
**Issue Date:** 2016.06.27



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## GH 11 - T swiss Project

### DRB - material cut sheets for proposed new residence

**Name:** T-swiss - aka Horwath Residence  
**Location :** Light Sconces - Exterior Lighting  
**Item Description:** 40 W. Max - downlights - dark sky compliant  
**Issue Date:** 2016.06.27

W: 4.5" H: 15.5"  
Backplate H: 12"  
backplate W: 4.5"

Hinkley Shelter 1324kz-gu24



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## GH 11 - T swiss Project

### DRB - material cut sheets for proposed new residence

**Name:** T-swiss - aka Horwath Residence  
**Location :** Pipe & Flu detail above fireplace in family room  
**Item Description:** Large 15" or greater rusty solid pipe with cap for termination.  
**Issue Date:** 2016.06.27



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## GH 11 - T swiss Project

### DRB - material cut sheets for proposed new residence

**Name:** T-swiss - aka Horwath Residence  
**Location :** All exterior decks, guards, and framing.  
**Item Description:** Decks - south facing  
**Issue Date:** 2016.06.23

Deck rim, and guardrails to be metal - gun blue finish



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## GH 11 - T swiss Project

### DRB - material cut sheets for proposed new residence

**Name:** T-swiss - aka Horwath Residence  
**Location :** north and south elevations. Upper dining wall facing Cabins Lane  
**Item Description:** Reclaimed barn wood siding with dark stain  
**Issue Date:** 2016.06.27



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*GH # 11 - HORWATH RESIDENCE*

*2016.05.31*

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Architects

 T-swiss

RIDGE HEIGHTS

RIDGE HEIGHTS



GH # 11 - HORWATH RESIDENCE

+ T-swiss

TRULINEA  
Architects

2016.05.31

# SIGN-IN SHEET

DRB Meeting

Thursday August 4, 2016

Please write clearly

ATTENDEE NAME (PLEASE PRINT CLEARLY)	EMAIL ADDRESS
Adam Birek	Adam.Birek@gmail.com
Jules Wessman	JWESSMAN@ME.COM
Del Ves	
SHANE JORDAN	shane@santearchitects.com
PETER SANTE	peter@santearchitects.com
JOHN ORFIELD	jorfield@bokapowell.com
Sean Hakes	SH@wildcatterinv.com
Ken Grudberg	Ken@grudbergrealestate.com
ANDREW GRIFFIN	GRIFFITHARCHITECTURE@GMAIL.COM

**MEMORANDUM**

**DATE:** June 28, 2016

**TO:** Planning & Development Services Department  
Planning Division  
Town of Mountain Village

**FROM:** Lawrence A. Crosby  
President  
Cabins at Gold Hill HOA



**RE:** HOA Review of Plans for GH-11

**CC:** Luke Trujillo, TruLinea

This Memorandum is to confirm that the Gold Hill HOA is in the process of reviewing the residential project proposed by Architect Luke Trujillo for lot GH-11. The plans and designs submitted by Mr. Trujillo are being shared with the HOA Board and will reviewed at the HOA Annual Meeting/Board Meeting on July 22, 2016. Mr. Trujillo is intending to join that meeting, provide a project overview, and answer questions. I expect an HOA decision by the end of that meeting. In the meantime, I would be happy to discuss the project with the staff of the Planning Department if that can help expedite the process.

## Jane Marinoff

---

**From:** CBL <laukenmann@gmail.com>  
**Sent:** Thursday, August 04, 2016 8:35 AM  
**To:** Dave Bangert; Anton Benitez  
**Cc:** Jane Marinoff; Glen Van Nimwegen  
**Subject:** Re: Conf room tel #

Here is the summary: The Pine Meadows HOA objects to the project in respect of the following:

We have not received adequate information regarding the exterior lighting plan that may impact the Pine Meadows homeowners. We requested an audience with the owner/builder/architect, and engaged in numerous emails and a discussion that resulted in the representation written comfort and assurances would be provided concerning the exterior lighting plan and impact upon Lot 8. To date, despite several diplomatic reminders, we have received nothing. Accordingly, the Pine Meadows HOA respectfully lodges our collective objection to the project, pending further adequate information regarding exterior lighting mitigation.

Please introduce this email into the file as we are unable to provide a live representative in person or by telephone this morning.

Regards,

Chris Laukenmann, Chair, Pine Meadows HOA  
319-344-7101

On Tue, Aug 2, 2016 at 9:24 AM, Dave Bangert <[DBangert@mtnvillage.org](mailto:DBangert@mtnvillage.org)> wrote:

Below is the number for the Council Chambers. We do not video the DRB meetings so following the meeting proceedings via the phone line might prove difficult. You can give public comment once the meeting is opened to public comment after board discussion. If you have a local representative available to attend the meeting that would probably be best. You can also submit written comments that will be presented to the board prior to the meeting. I have included the two emails that were forwarded to me in the packet material for Lot 5. If you need assistance with calling in to the DRB meeting Jane Marinoff can help you.

Dave Bangert

Senior Planner/Forester

Town of Mountain Village

455 Mountain Village Blvd, Suite A

Mountain Village, CO 81435

O :: [970.369.8203](tel:970.369.8203)

C :: [970.417.1789](tel:970.417.1789)

F :: [970.728.4342](tel:970.728.4342)

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**From:** Jane Marinoff  
**Sent:** Tuesday, August 02, 2016 9:18 AM  
**To:** Glen Van Nimwegen; Dave Bangert  
**Subject:** Conf room tel #

Direct number to Star Phone in Council Chambers [970-369-6443](tel:970-369-6443)

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**From:** Glen Van Nimwegen  
**Sent:** Tuesday, August 02, 2016 7:19 AM  
**To:** Dave Bangert  
**Cc:** Jane Marinoff  
**Subject:** Re: DRB meeting

We have the technology. There is no video.

Sent from my iPhone

On Aug 2, 2016, at 7:11 AM, Dave Bangert <[DBangert@mtnvillage.org](mailto:DBangert@mtnvillage.org)> wrote:

Can we set something up at the DRB meeting?

Dave Bangert

Senior Planner/Forester

Town of Mountain Village

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**From:** Chris Laujennan [<mailto:laukenmann@gmail.com>]  
**Sent:** Monday, August 01, 2016 6:02 PM  
**To:** Dave Bangert  
**Subject:** Re: DRB meeting

Thank you. Is there a dial in?

On Aug 1, 2016, at 2:33 PM, Dave Bangert <[DBangert@mtnvillage.org](mailto:DBangert@mtnvillage.org)> wrote:

Attached is the agenda for this Thursday's DRB meeting.

Dave Bangert

Senior Planner/Forester

Town of Mountain Village

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<August 4, 2016 Design Review Board Agenda.pdf>

## Jane Marinoff

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**From:** CBL <laukenmann@gmail.com>  
**Sent:** Thursday, July 28, 2016 9:24 AM  
**To:** Anton Benitez  
**Cc:** Glen Van Nimwegen; Jane Marinoff  
**Subject:** Re: Lot 5 on Vischer DRB plans

I spoke with Mr. Wesson a while back, and he was to assure us with an email summary of our discussion on the subject, yet I have not received any response. I have followed up with him gently by email reminder, but still have no response, so there is no choice but to object given the fast approaching date for review.

On Thu, Jul 28, 2016 at 8:16 AM, Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)> wrote:

Chris,

I've attached the emails that Glen and Dave with the Town of Mountain Village Planning department sent you earlier this month. Did you not receive them?

If you would like to discuss with me, please feel free to call my cell phone today or anytime.

Anton

[970-708-4414](tel:970-708-4414)

**From:** CBL [mailto:[laukenmann@gmail.com](mailto:laukenmann@gmail.com)]  
**Sent:** Wednesday, July 27, 2016 11:27 PM  
**To:** Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)>  
**Cc:** Glen Van Nimwegen <[GVanNimwegen@mtnvillage.org](mailto:GVanNimwegen@mtnvillage.org)>; Jane Marinoff <[JMarinoff@mtnvillage.org](mailto:JMarinoff@mtnvillage.org)>  
**Subject:** Re: Lot 5 on Vischer DRB plans

I have not received a written response, as was promised, to date. I have sent a reminder, no response. We here at the Pine Meadows HOA accordingly vehemently object to each and every aspect of the project on Lot 5, for the record. Thank you.

On Fri, Jul 15, 2016 at 12:04 PM, Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)> wrote:

Chris,

Hope you are well. As to your question below, this is a something that is best addressed by the Town Planner. By way of cc, Glen or someone from his department will be able to provide details as it relates to the codes on exterior lighting.

Thanks,

Anton

**From:** CBL [mailto:[laukenmann@gmail.com](mailto:laukenmann@gmail.com)]  
**Sent:** Monday, July 11, 2016 12:06 PM  
**To:** Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)>  
**Subject:** Fwd: Lot 5 on Vischer DRB plans

Hi Anton, can you give us some insight on the exterior lighting here please. Looks like a lot of lights that may impact several of the Pine Meadows Units across the street. All exterior lights should be "down lighting" and not area or flood lights. They should all be shielded beyond a limited reasonable down lit area and not lateral.

Thanks Anton,

On behalf of the Pine Meadows HOA, as Chair,

Chris Laukenmann

----- Forwarded message -----

**From:** **ostoreylaw** <[ostoreylaw@gmail.com](mailto:ostoreylaw@gmail.com)>  
**Date:** Mon, Jul 11, 2016 at 10:22 AM  
**Subject:** Re: Lot 5 on Vischer DRB plans  
**To:** CBL <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)>  
**Cc:** Ken Sherlock <[sherlockken@gmail.com](mailto:sherlockken@gmail.com)>, Karen Dunivan <[karendunivanmmm@yahoo.com](mailto:karendunivanmmm@yahoo.com)>, Cindi Coester <[barrkley@comcast.net](mailto:barrkley@comcast.net)>, Kerry Dunivan <[kdunivan03@yahoo.com](mailto:kdunivan03@yahoo.com)>

Chris. Can you call planner with your questions. I think you know more about this stuff than anyone. I will not be here for hearing.

Bud [479 856 3114](tel:4798563114)

On Jul 10, 2016, at 10:34 AM, CBL <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)> wrote:

Regarding Lot 5 across the way on Vischer, please see attached plans and proposal. The DRB Hearing is on August 4th at 10am. I cannot tell much about the elevations and any impact it might have on our units, but I do note that there appears to be quite a lot of exterior lighting, and it does not appear that they are consistently of the "downlighting" variety. We should ping DRB on this issue.

<https://townofmountainvillage.com/media/Lot-5-Design-Review-Process-Application-for-new-Single-Family-Home.pdf>

On Fri, Jul 1, 2016 at 7:36 AM, Chris Laujennan <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)> wrote:

Concur. I don't believe crabapple is a native species at this elevation either.

On Jul 1, 2016, at 6:09 AM, Ken Sherlock <[sherlockken@gmail.com](mailto:sherlockken@gmail.com)> wrote:

Great plan Bud.

I am not in favor of replacing any aspens with fruit or other trees that will disrupt the continuity of our natural looking landscape.

On Jun 30, 2016, at 11:53 AM, ostoreylaw <[ostoreylaw@gmail.com](mailto:ostoreylaw@gmail.com)> wrote:

So Karen/Kerry. Let's respond as Follows: We are not clear on what you propose. We assume though that the Aspen trees you want to remove are two of the grove of trees on our common area at the entrance to Pine Meadows. As such we need a detailed landscape plan as to: which trees you propose to remove, why you want to remove them and what/where/how many ornamental trees you wish to replace them with (there is already an objection to crab apple trees). We are concerned that your proposal could set a precedent for other owners to begin cutting aspens and planting ornamental trees of their choice in our common area. If your concern is that these trees limit your view, our preference would be that you propose a plan to simply prune these trees.

Bud [479 856 3114](tel:4798563114)

On Jun 29, 2016, at 8:50 PM, CBL <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)> wrote:

I support that approach Bud.

On Wed, Jun 29, 2016 at 7:43 PM, ostoreylaw  
<[ostoreylaw@gmail.com](mailto:ostoreylaw@gmail.com)> wrote:

Guys. I have looked at the common area trees on 131. They do have a lot of aspens but they are on our entrance. If 131 wants to remove some trees, we need a thoughtful landscape proposal.....if the view is the concern, perhaps they can prune the existing trees with a plan approved by HOA.

Bud [479 856 3114](tel:4798563114)

On Jun 29, 2016, at 5:17 PM, Karen Dunivan  
<[karendunivanmmm@yahoo.com](mailto:karendunivanmmm@yahoo.com)> wrote:

I will forward all your questions to the sub-contractor.

***Karen Dunivan***

***Mountain Mansion  
Management, LLC***

On Wednesday, June 29, 2016 3:58 PM, CBL <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)> wrote:

What is the reasoning to remove the aspen trees? Are they on HOA space or the surrounding Telski easement space? What is the role of TOMV in this request? Are other tree choices being considered? Trust me, having grown up with crabapple trees in the neighbor's yard, they make quite a mess when dropping fruit, far beyond the footprint of the branches and leaves. Who is going to harvest and pick up all those crabapples? Will crabapples attract bears?

On Wed, Jun 29, 2016 at  
12:25 PM, Karen Dunivan  
<[karendunivanmmm@yahoo.com](mailto:karendunivanmmm@yahoo.com)> wrote:

Dear Board,

We have been contacted by  
Alpine Arborist, a sub-  
contractor for Unit 131,  
requesting permission to  
remove 2 aspens and replace  
with ornamental trees such as  
crab apple trees. Alpine  
Arborist has submitted a  
request to the TOMV (Town of  
Mountain Village) to remove  
the aspen trees. He is  
requesting permission from the  
HOA as well. Please let me  
know if the HOA will give the  
owner of Unit 131 permission  
to replace these trees.

Respectfully,

***Karen Dunivan***

***Mountain Mansion  
Management, LLC***

----- Forwarded message -----

From: Dave Bangert <[DBangert@mtnvillage.org](mailto:DBangert@mtnvillage.org)>

To: Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)>

Cc: "[laukenmann@gmail.com](mailto:laukenmann@gmail.com)" <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)>, Glen Van Nimwegen

<[GVanNimwegen@mtnvillage.org](mailto:GVanNimwegen@mtnvillage.org)>

Date: Thu, 28 Jul 2016 14:32:42 +0000

Subject: FW: Lot 5 lighting

This response was originally sent on July 18, 2016. Let me know if you have any questions.

Dave Bangert

Senior Planner/Forester

Town of Mountain Village

455 Mountain Village Blvd, Suite A

Mountain Village, CO 81435

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**From:** Dave Bangert

**Sent:** Monday, July 18, 2016 12:54 PM

**To:** '[laukenmann@gmail.com](mailto:laukenmann@gmail.com)'

**Cc:** Anton Benitez ([anton@TMVOA.ORG](mailto:anton@TMVOA.ORG)) ([anton@TMVOA.ORG](mailto:anton@TMVOA.ORG)); Glen Van Nimwegen

**Subject:** Lot 5 lighting

Anton,

Here the section of my DRB staff memo for Lot 5 regarding the exterior lighting;

### **17.5.12 LIGHTING REGULATIONS**

The proposed lighting plan includes seven (7) sconces, five (5) recessed cans and thirteen (13) steep lights. Locations include egress, deck, garage and patio areas. Lighting is permitted in all proposed locations. All lighting has been designed as full cut-off fixtures with LED bulbs. All bulbs to be LED 10w, 2500K-2700K.

If the Meadows HOA has issues with the proposed development of Lot 5 they should plan on attending the Design Review Board meeting on August 4, 2016 at 10am, Mountain Village conference room.

Dave Bangert

Senior Planner/Forester

Town of Mountain Village

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----- Forwarded message -----

From: Glen Van Nimwegen <[GVanNimwegen@mtnvillage.org](mailto:GVanNimwegen@mtnvillage.org)>

To: "[laukenmann@gmail.com](mailto:laukenmann@gmail.com)" <[laukenmann@gmail.com](mailto:laukenmann@gmail.com)>

Cc: Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)>, Dave Bangert <[DBangert@mtnvillage.org](mailto:DBangert@mtnvillage.org)>

Date: Mon, 18 Jul 2016 18:52:01 +0000

Subject: Exterior Lighting at Lot 5

Hi Chris: I got your email. Our code requirements for exterior lighting can be found on page 499 here <https://townofmountainvillage.com/media/Municipal-Code-of-the-Town-of-Mountain-Village.pdf>

You are right, flood lights are not required and all fixtures must be shielded so the source is not visible. We have done a cursory review of the proposal for Lot 5 and have found it meeting the standards as it only includes some step lighting and a few wall sconces at the entry. However, I know the architect would like to know the concerns of any neighbors and you can contact Jack Wesson at [970-728-9755](tel:970-728-9755) or [jack@wessonarch.com](mailto:jack@wessonarch.com)

Glen Van Nimwegen, AICP

Director of Planning and Development Services