

MOUNTAIN VILLAGE 2016 BASE AREA IMPROVEMENTS SAN MIGUEL COUNTY, COLORADO

Town of Mountain Village Approval

"All work shall be constructed to Town of Mountain Village Standards. This Plan Set has been reviewed and found to be in general compliance with these standards. The engineering design and concept remains the responsibility of the professional engineer whose stamp and signature appear hereon."

ACCEPTED BY: _____
PUBLIC WORKS DIRECTOR

DATE: _____

General Notes:

All materials and workmanship shall be in accordance with the Project Manual and the Town of Mountain Village Ordinance 2013-8. When requirements in the construction specifications or design standards conflict the more stringent requirement shall apply.

The contractor is responsible for obtaining all required permits prior to the commencement of any work on the project. A Town road right-of-way work permit is required for all work in the public right-of-way.

The contractor shall be responsible for notifying the town of any problems in conforming to the approved plans for any element of the proposed improvements prior to its construction.

The engineer shall be responsible during construction activities to resolve construction problems due to changed conditions or design errors encountered by the contractor during the progress of any portion of the proposed work. Any improvements constructed not in accordance with the approved plans or the approved revised plans, shall be removed and the improvements shall be reconstructed according to the approved plans.

Underground utilities shown on these plans are from physical evidence on the surface, survey performed, and historical maps. The contractor shall be responsible for the horizontal and vertical location of all utilities prior to construction, including potholing if necessary. The contractor shall contact the appropriate agencies for location of all underground utilities at least 72 hours prior to commencement of construction. Where potholing or excavation reveals conflicts between existing and proposed utilities, the contractor shall notify the town immediately and any revisions to the construction plans shall be approved in writing.

The contractor shall be responsible for providing a copy of "RECORD DRAWINGS" plans to the Town of Mountain Village prior to final acceptance of work.

The contractor shall notify the Public Works Director or his representative at least 24 hours prior to desired inspection.

The contractor shall reset all Survey Monuments disturbed during construction within 60 days of project completion.

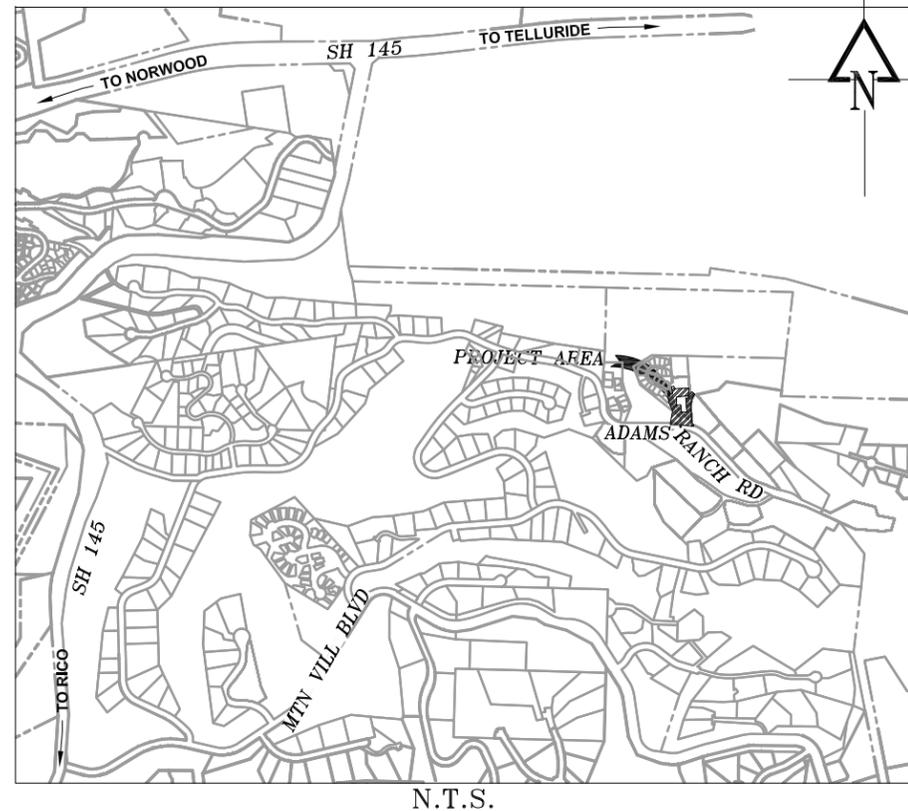
The contractor shall be solely and completely responsible for conditions at and adjacent to the job site, including safety of all persons and property during performance of the work. The contractor shall also be responsible for confining all work and physical disturbance to a 50-foot easement surrounding the proposed pipe location. This requirement shall apply continuously and not be limited to normal working hours.

The duty of the Town to conduct construction review of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures in, on, or near the construction site.

Field conditions may exist that require changes to the drawings. If such conditions are encountered, standard engineering practices shall be followed.

Topographic and Boundary Survey Data provided by San Juan Surveying
Datum: NAD 83 CO South, NAVD 88

Benchmark Point Desc.: Set 24-in long #5 rebar and 1-1/2-in aluminum cap, SJS
Control, N: 1472905.13, E: 2319047.69, Elev: 9070.36



Sheet List Table	
Sheet Number	Sheet Title
1	PROJECT DATA SHEET
2	OVERALL SITE PLAN
3	BUS STOP SITE PLAN
4	BOULDERS WAY - PLAN AND PROFILE VIEWS
5	TOWN SHOPS ACCESS - PLAN AND PROFILE VIEWS
6	TYPICAL SECTIONS
7	TYPICAL DETAILS
8	TYPICAL DETAILS (2)

Utility Notes (cont.):

The contractor shall be responsible for protection of all existing asphalt from construction equipment. Damaged asphalt shall be replaced by the contractor at his expense.

Structure northing / easting labels are to the center of the proposed structure

All sawcuts in asphalt are to intersect at 90° to one another.

Traffic Control Notes:

The contractor shall provide all lights, signs, barricades, flagmen or other devices necessary to provide for public safety in accordance with the current Manual on Uniform Traffic Control Devices.

The contractor shall obtain approval of all traffic control plans from the Town of Mountain Village at least 72 hours prior to the start of construction.



REVISIONS:

**MOUNTAIN VILLAGE
2016 BASE AREA IMPROVEMENTS
PROJECT DATA SHEET**

Russell Planning & Engineering, Inc.
Civil Engineering Services
994 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 385-4546
Fax: (970) 385-4502



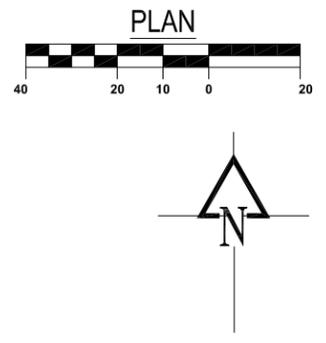
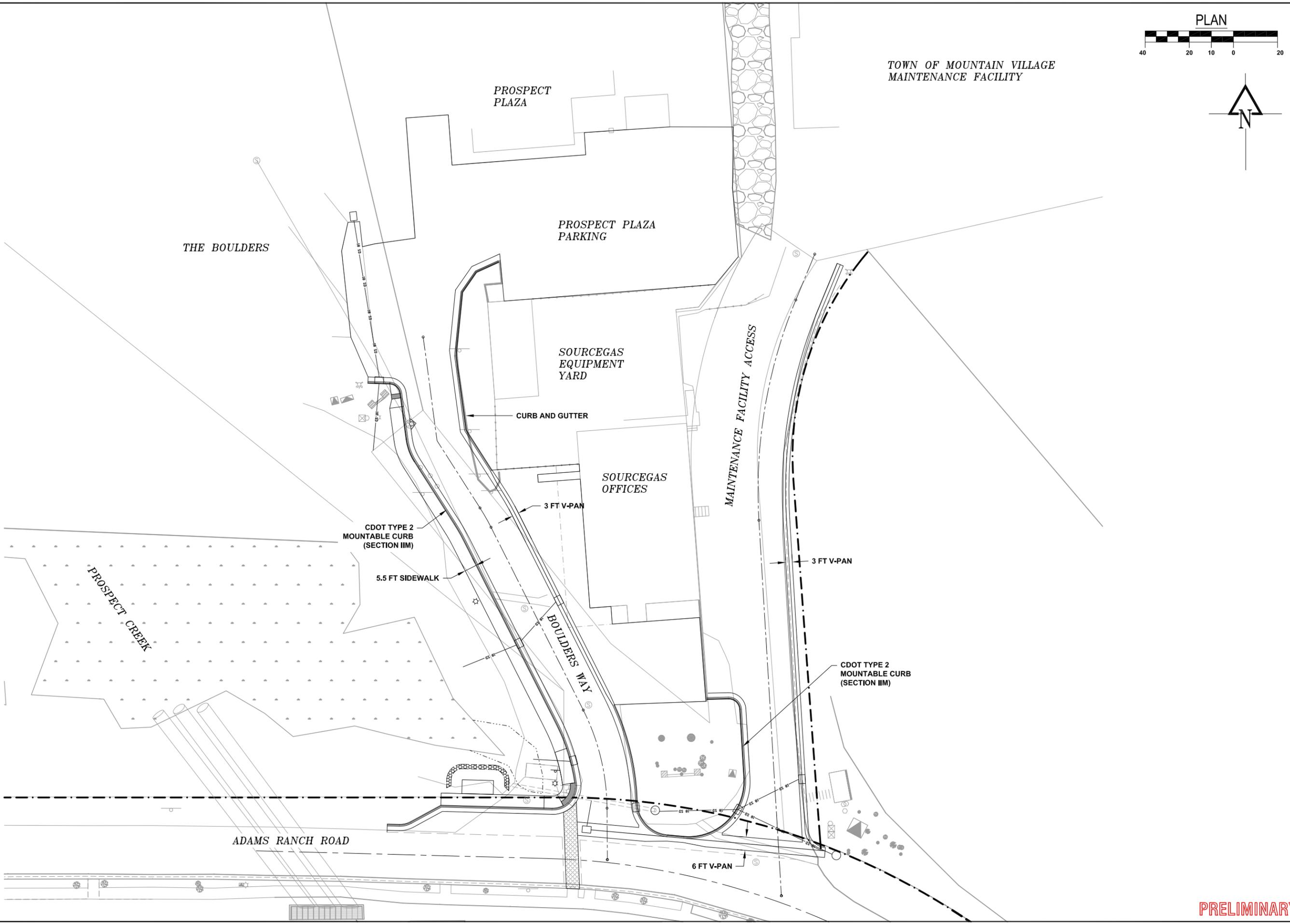
Drawn: TM
Drafted: SF
Checked: BF

Date of Submittal
04-11-2016

1 OF 8

PRELIMINARY

1



CALL 811
TWO WORKING DAYS
BEFORE YOU DIG

811
Know what's below.
Call before you dig.

REVISIONS:

**MOUNTAIN VILLAGE
2016 BASE AREA IMPROVEMENTS
OVERALL SITE PLAN**

Russell Planning & Engineering, Inc.
Civil Engineering Services
934 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 385-4546
Fax: (970) 385-4502

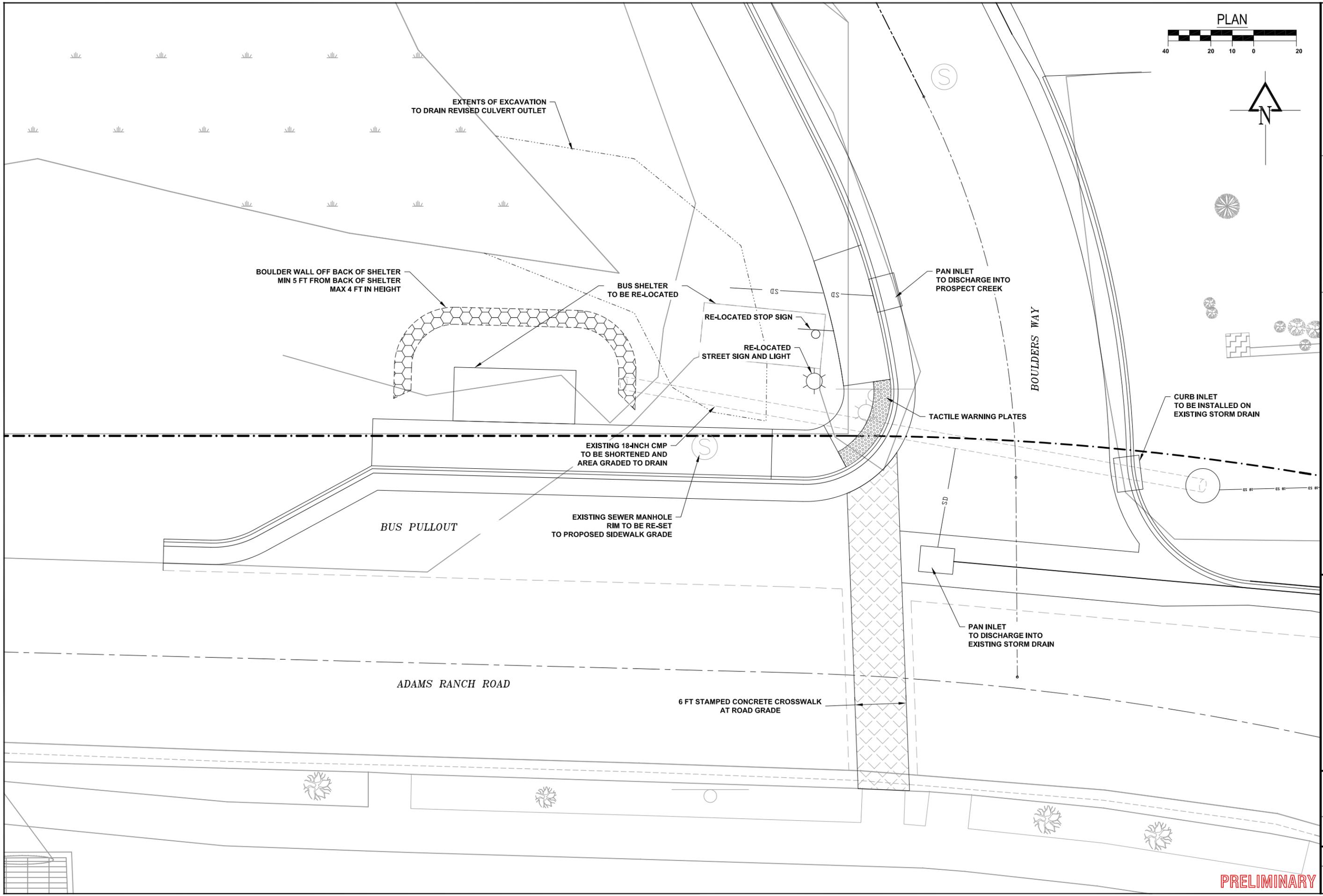


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04-11-2016

2 OF 8

PRELIMINARY



PLAN
40 20 10 0 20



CALL 811
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REVISIONS:

**MOUNTAIN VILLAGE
2016 BASE AREA IMPROVEMENTS
BUS STOP SITE PLAN**

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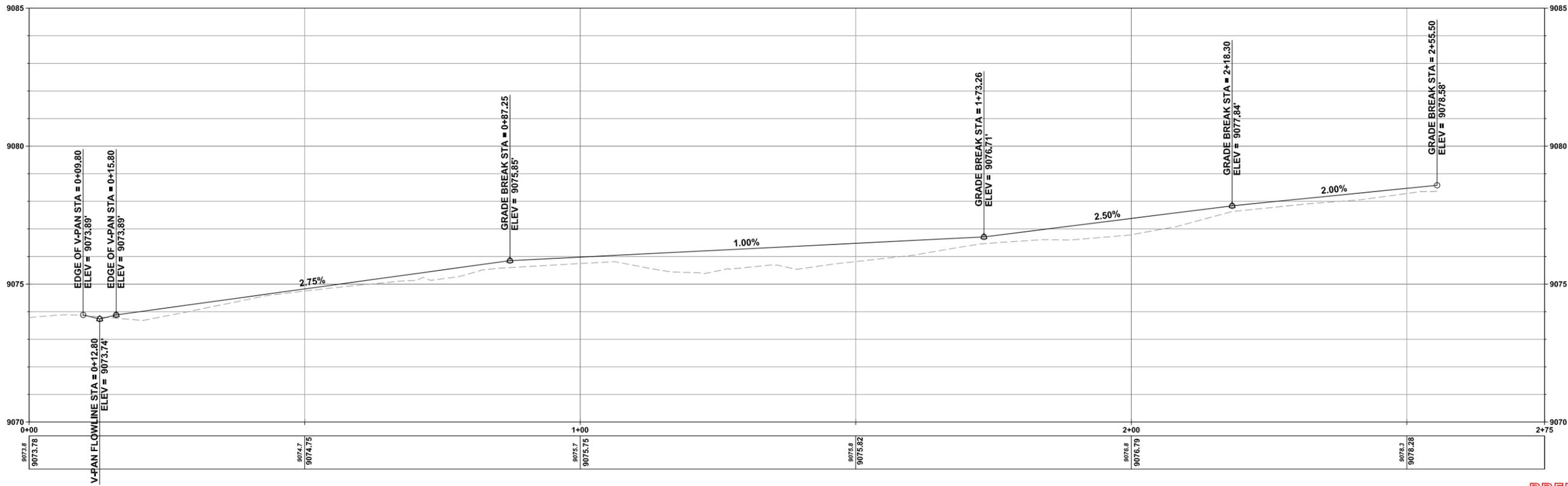
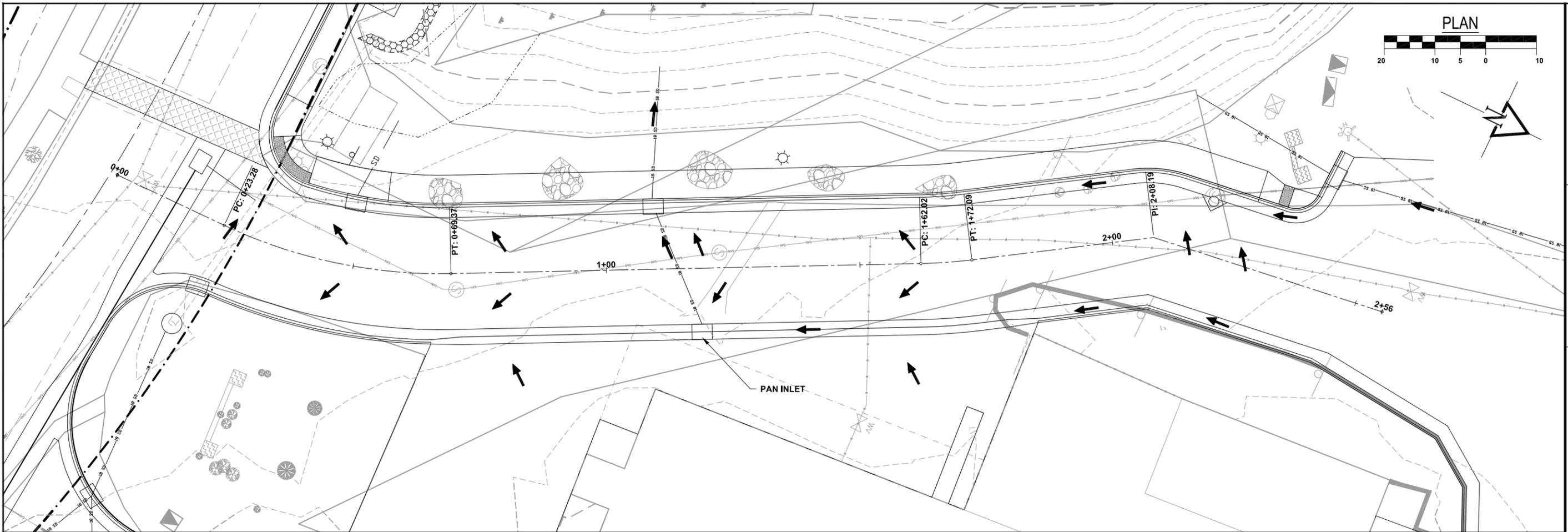


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3 OF 8

PRELIMINARY



PLAN
20 10 5 0 10

811
Know what's below.
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REVISIONS:

**MOUNTAIN VILLAGE
2016 BASE AREA IMPROVEMENTS
BOULDERS WAY - PLAN AND PROFILE VIEWS
AND DRAINAGE PLANS**

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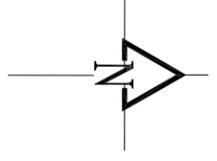
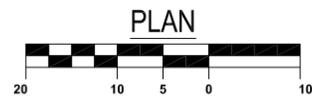
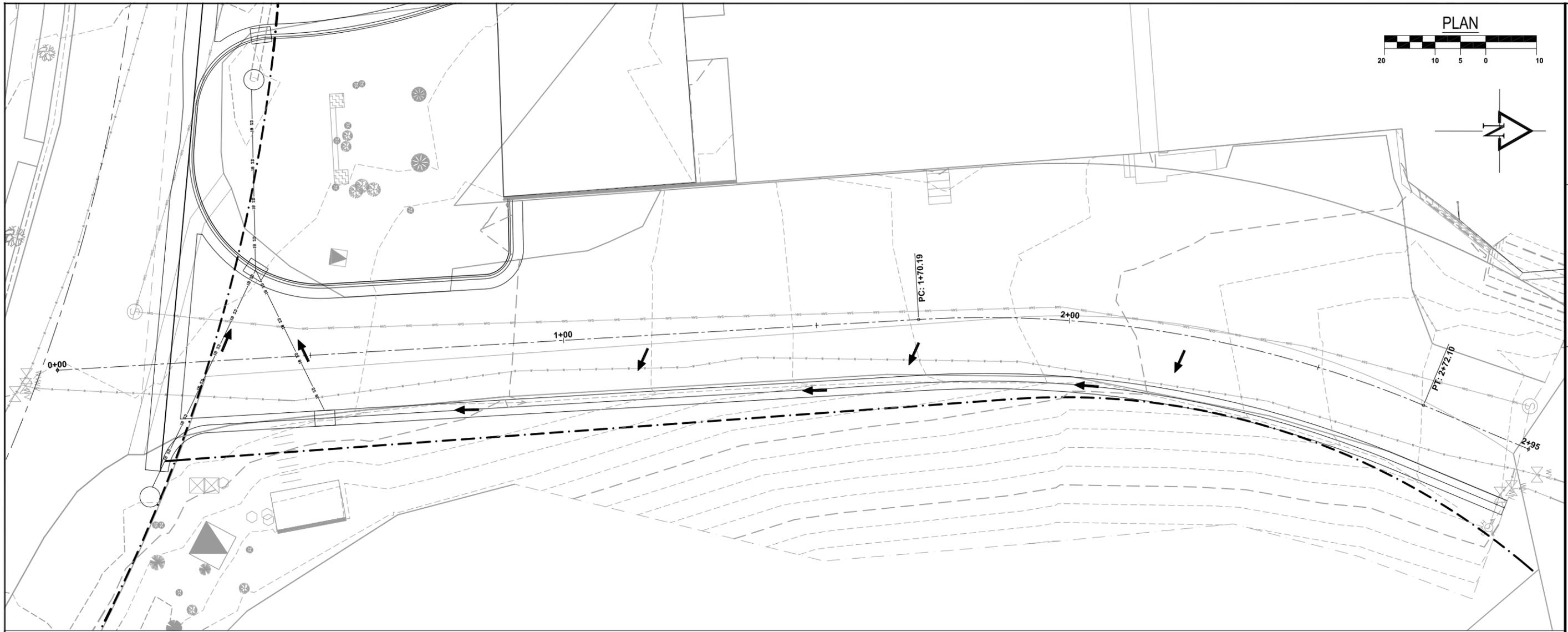


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4 OF 8

PRELIMINARY



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Know what's below.
Call before you dig.

REVISIONS:

**MOUNTAIN VILLAGE
2016 BASE AREA IMPROVEMENTS
TOWN SHOPS ACCESS - PLAN AND PROFILE
VIEWS AND DRAINAGE PLANS**

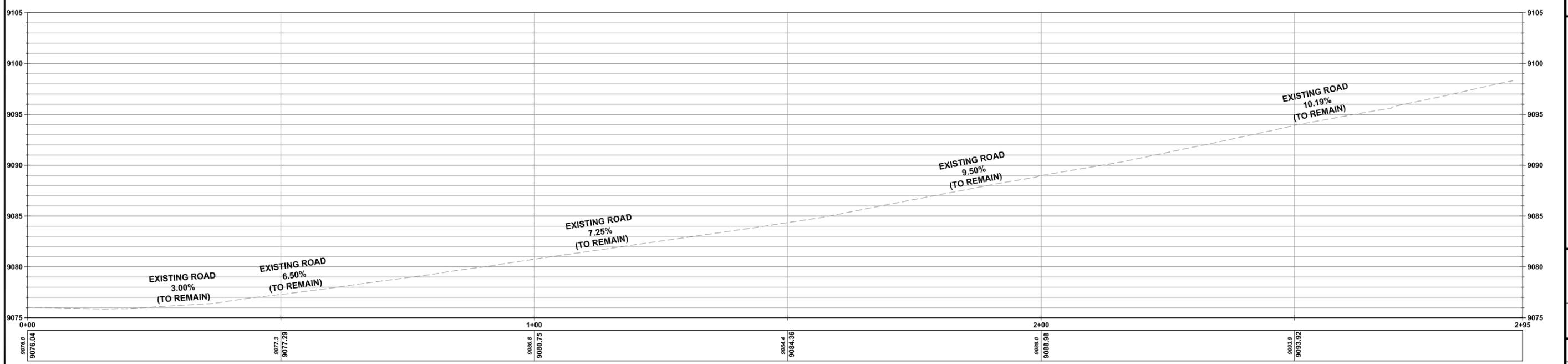
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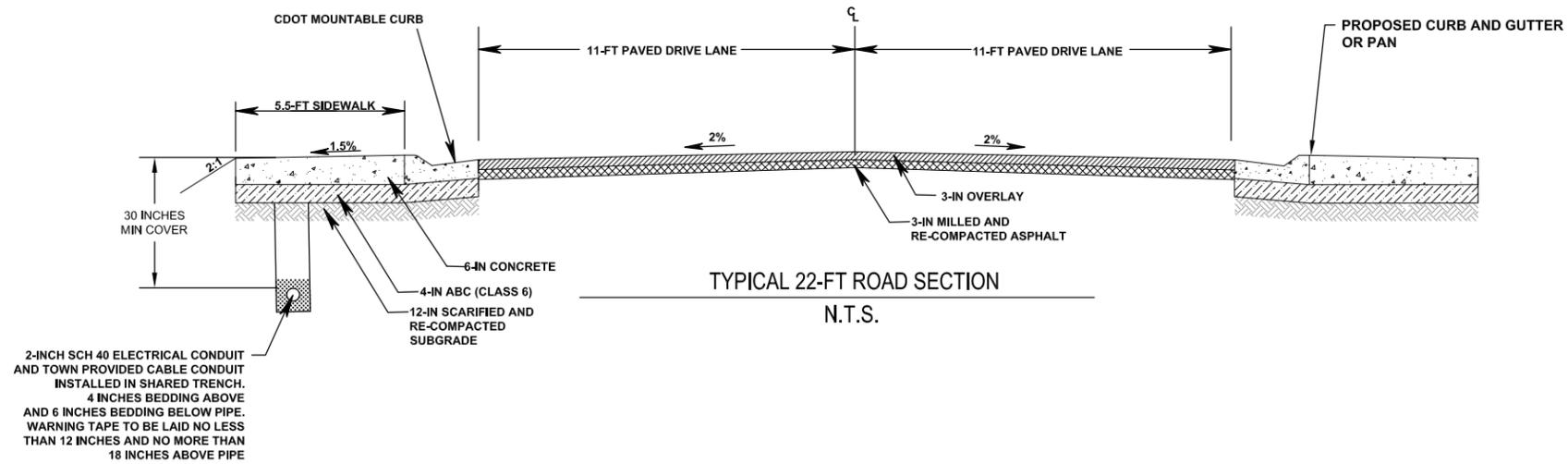
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5 OF 8



PRELIMINARY



REVISIONS:

**MOUNTAIN VILLAGE
2016 BASE AREA IMPROVEMENTS
TYPICAL SECTIONS**

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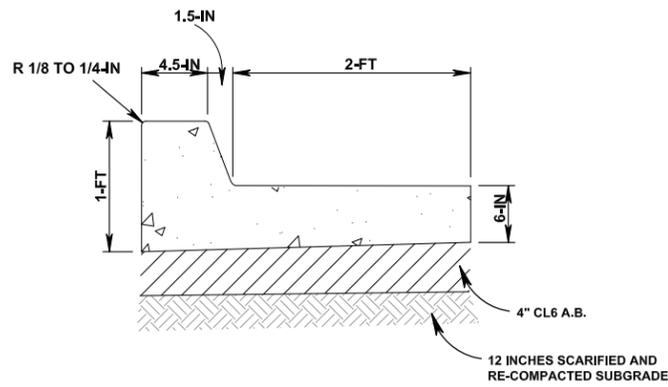
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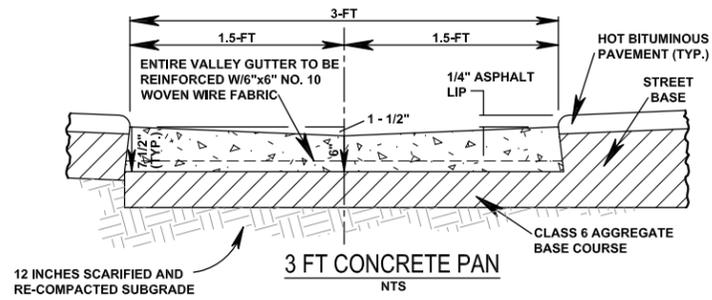
6 OF 8

6

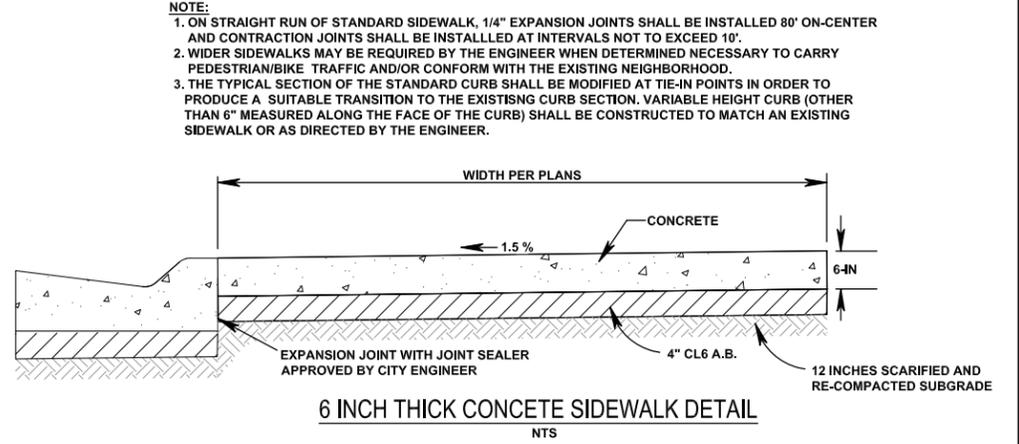
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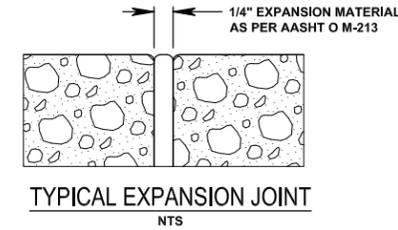
CDOT TYPE 2 CURB AND GUTTER DETAIL
N.T.S.



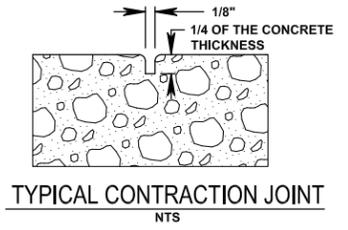
3 FT CONCRETE PAN
N.T.S.



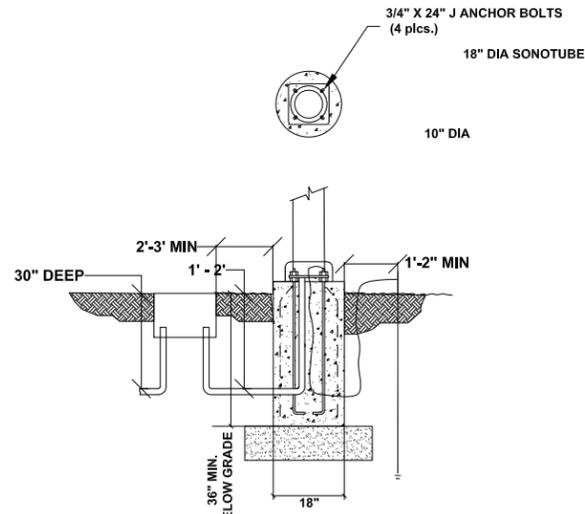
6 INCH THICK CONCRETE SIDEWALK DETAIL
N.T.S.



TYPICAL EXPANSION JOINT
N.T.S.



TYPICAL CONTRACTION JOINT
N.T.S.



NOTE:
WIDTH AND DEPTH OF FOOTING
MUST MEET CURRENT IBC BUILDING CODES.

LIGHTING
LIGHT POLE FOOTING

NOTE:
1. ON STRAIGHT RUN OF STANDARD SIDEWALK, 1/4\"/>

REVISIONS:

MOUNTAIN VILLAGE
2016 BASE AREA IMPROVEMENTS
TYPICAL DETAILS

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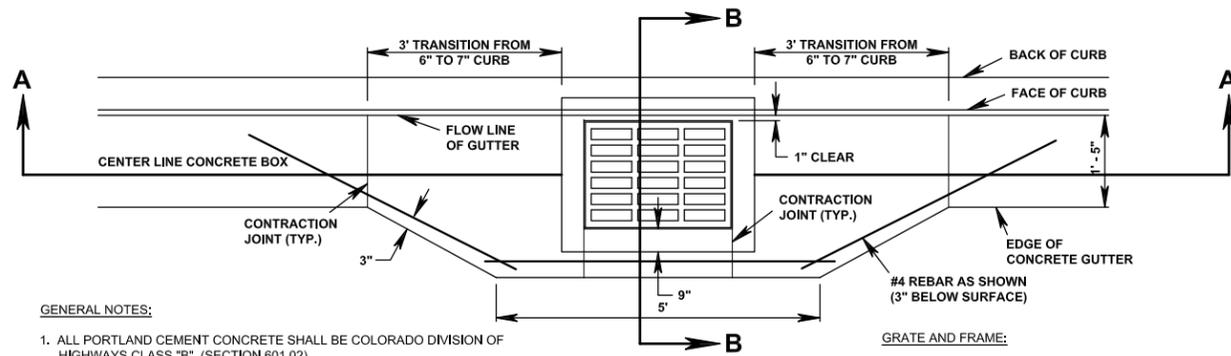
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7 OF 8

PRELIMINARY

CALL 811
TWO WORKING DAYS
BEFORE YOU DIG

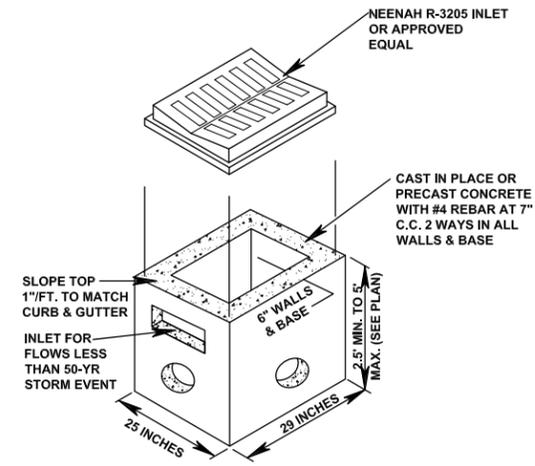




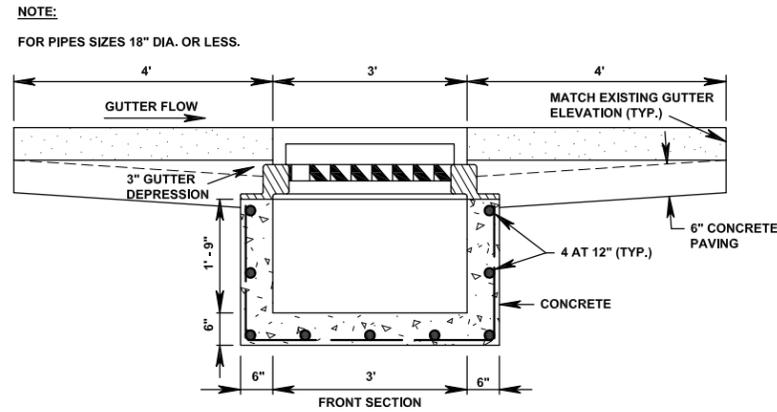
- GENERAL NOTES:**
1. ALL PORTLAND CEMENT CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "B", (SECTION 601.02)
 2. ANY EXISTING PAVEMENT NOT DESIGNATED FOR REMOVAL WHICH IS DISTURBED BY CONSTRUCTION SHALL BE REPLACED IN-KIND BY CONTRACTOR.
 3. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED CONTRACTOR, BONDED WITH THE CITY OF DURANGO.
 4. SEE PLAN SHEETS FOR ALL PIPE SIZES AND ELEVATIONS WHICH WILL DETERMINE SIZES OF STRUCTURES AND OPENINGS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

- GRATE AND FRAME:**
1. ALL GRATES SHALL BE BICYCLE SAFE.
 2. ALL INLETS IN CURBS SHALL HAVE CURB OPENING.

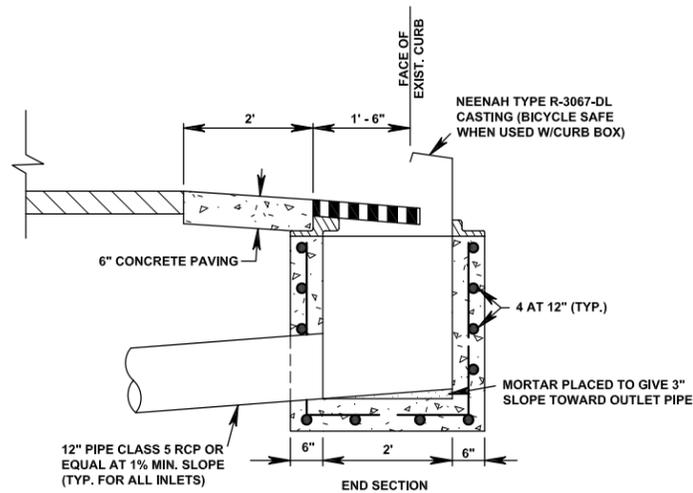
CURB INLET DETAIL
N.T.S.



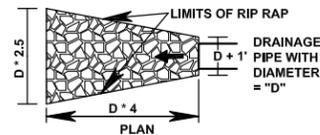
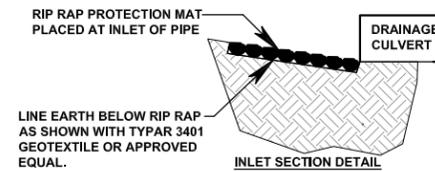
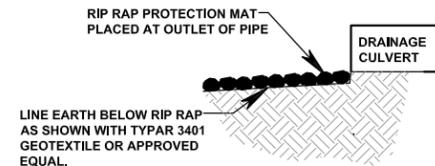
PAN INLET DETAIL
N.T.S.



SECTION A-A
N.T.S.

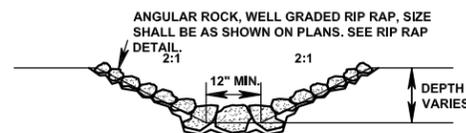


SECTION B-B
N.T.S.



RIP RAP DETAIL
N.T.S.

NOTE:
ALL RIPRAP SHALL HAVE A NOMINAL DIAMETER OF 9 INCHES, UNLESS CALLED OUT OTHERWISE ON THESE PLANS.



GROUTED RIP RAP DITCH DETAIL
TYPICAL DITCH DETAILS
N.T.S.

REVISIONS:

MOUNTAIN VILLAGE
2016 BASE AREA IMPROVEMENTS
TYPICAL DETAILS (2)

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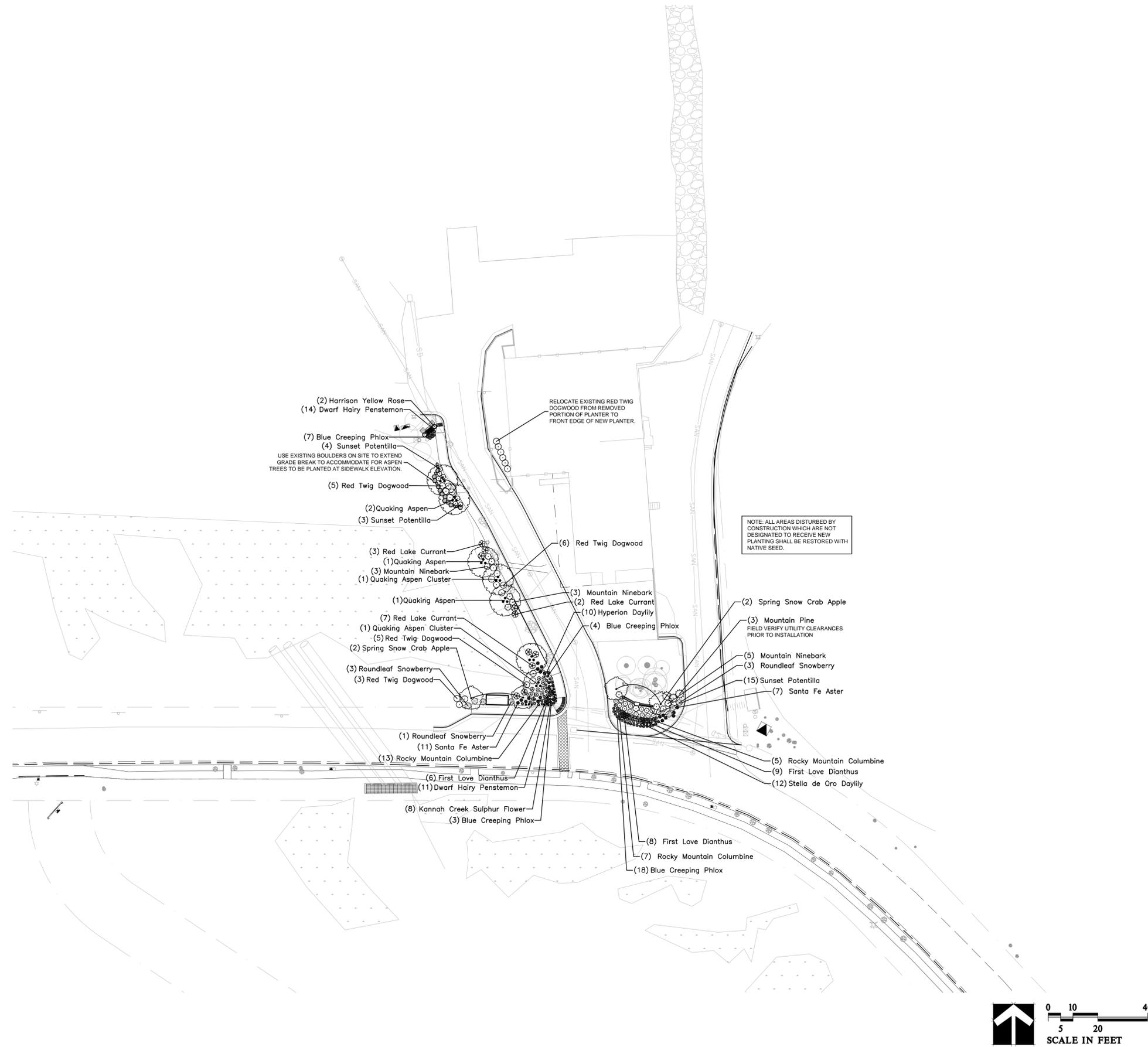
Date of Submittal
04-11-2016

8 OF 8

PRELIMINARY

CALL 811
TWO WORKING DAYS
BEFORE YOU DIG





Town of Mountain Village
2016 Boulders Improvements

PROJECT NUMBER: 16072 DATE: 04.07.2016

DESIGNED: MB
DRAWN: MB, CC
CHECKED: MB

REVISIONS:

JOB DESCRIPTION:
DESIGN REVIEW

SHEET TITLE:

**LANDSCAPE
PLAN**

SHEET NUMBER:

L1.1

SHEET OF

PLANT SCHEDULE

TREES	COMMON NAME / BOTANICAL NAME	CONT	CAL	QTY
	SPRING SNOW CRAB APPLE / MALUS X 'SPRING SNOW'	15 GAL		4
	QUAKING ASPEN / POPULUS TREMULOIDES	B & B	2" CAL	4
	QUAKING ASPEN CLUSTER / POPULUS TREMULOIDES MULTI-STEM CLUSTER	B & B	3" CAL	3
SHRUBS	COMMON NAME / BOTANICAL NAME	CONT		QTY
	RED TWIG DOGWOOD / CORNUS SERICEA RELOCATED	5 GAL		17
	RED TWIG DOGWOOD / CORNUS SERICEA RELOCATED	RELOCATED		6
	MOUNTAIN NINEBARK / PHYSOCARPUS MONOGYNUS	5 GAL		11
	MOUNTAIN PINE / PINUS MUGO 'BIG TUNA'	5 GAL		3
	SUNSET POTENTILLA / POTENTILLA FRUTICOSA 'SUNSET'	5 GAL		22
	RED LAKE CURRANT / RIBES RUBRUM 'RED LAKE'	5 GAL		10
	HARRISON YELLOW ROSE / ROSA HARISONII	5 GAL		2
	ROUNDLEAF SNWBERRY / SYMPHORICARPOS ROTUNDFOLIUS	5 GAL		7
PERENNIALS	COMMON NAME / BOTANICAL NAME	CONT		QTY
	ROCKY MOUNTAIN COLUMBINE / AQUILEGIA CAERULEA	1 GAL		25
	FIRST LOVE DIANTHUS / DIANTHUS X 'FIRST LOVE'	1 GAL		23
	KANNAH CREEK SULPHUR FLOWER / ERIOGONUM UMBELLATUM 'KANNAH CREEK'	1 GAL		8
	HYPERION DAYLILY / HEMEROCALLIS X 'HYPERION'	1 GAL		10
	STELLA DE ORO DAYLILY / HEMEROCALLIS X 'STELLA DE ORO'	1 GAL		12
	SANTA FE ASTER / MACHAERANTHERA BIGELOVII	1 GAL		18
	DWARF HAIRY PENSTEMON / PENSTEMON HIRSUTUS 'PYGMAEUS'	1 GAL		26
	BLUE CREEPING PHLOX / PHLOX SUBULATA 'EMERALD CUSHION BLUE'	1 GAL		32

GENERAL NOTES

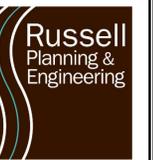
- PLANT CALIPER AND CONTAINER SIZE (WHERE APPLICABLE) SHALL BE IN CONFORMANCE WITH ACCEPTED TOWN OF MOUNTAIN VILLAGE GUIDELINES AND STANDARDS.
- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN. ANY DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES BEFORE WORK BEGINS.
- IF THERE ARE CONFLICTS BETWEEN UTILITIES AND PLANTINGS THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT TO COORDINATE FIELD ADJUSTMENTS.
- TREES SHALL BE A MINIMUM OF 5'-0" FROM ALL UTILITIES.
- LOCATIONS OF TREES/SHRUBS TO BE STAKED AND REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO PLANT MATERIAL BEING DELIVERED TO THE SITE.
- NOTIFY LANDSCAPE ARCHITECT FOR INSPECTION AND/OR APPROVAL OF LANDSCAPE MATERIALS AND IRRIGATION PRODUCTS PRIOR TO INSTALLATION.
- FIELD ADJUST PLANTINGS FOR TRANSFORMERS, CURB CUTS, AND OTHER FUTURE IMPROVEMENTS. STAKE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNTS ON THE CALL-OUTS ON THE PLANS & THE ACTUAL NUMBER OF PLANTS DEPICTED ON THE PLANS, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE ACTUAL NUMBER OF PLANTS AS DEPICTED ON THE PLANS.
- ALL AREAS DISTURBED OUTSIDE THE ORIGINAL GRADING/SEEDING LIMITS, SHOWN ON DRAWING, TO BE RESEDED, REGRADED AND REPAIRED AS APPROPRIATE AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS, WORKMANSHIP, & IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR AFTER WRITTEN ACCEPTANCE BY LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL INSTALL WILDLIFE PROTECTION AROUND ALL TREE PLANTINGS. WILDLIFE PROTECTION FENCING INSTALLED TO PROTECT TREES SHALL BE MAINTAINED THROUGHOUT THE WARRANTY PERIOD. SEE 7/L3.1
- THE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED. THE CONTRACTOR SHALL REMOVE REQUIRED DEPTH OF SOIL ALONG CURBS AND WALKWAYS TO ACCOMMODATE MULCH DEPTH.
- CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AND WALKWAYS. ALL FINE GRADING SHALL BE APPROVED PRIOR TO SEEDING/PLANTING.
- ALL PLANTING AREAS TO BE PLANTED WILL HAVE 6" DEPTH TOPSOIL INSTALLED. THESE AREAS WILL THEN BE TILLED TO A MINIMUM 8" DEPTH INCORPORATING A-1 ORGANICS BIOCOMP CLASS 1 COMPOST (OR APPROVED EQUAL) AT A MINIMUM RATE OF 4 C.Y. PER 1000 S.F. THE DISTURBED AREAS OF THE SITE WILL THEN BE FINE GRADED IN PREPARATION FOR SEEDING, SODDING OR PLANTING AS SPECIFIED IN THE PLANS AND SPECIFICATIONS. SOIL PREPARATION AND AMENDMENTS WILL NOT BE MEASURED SEPARATELY BUT WILL BE INCLUDED IN THE COST OF THE PLANTS. NATIVE SEEDED AREAS WILL HAVE TOPSOIL BUT DO NOT REQUIRE ORGANIC SOIL AMENDMENT.
- ALL BED AREAS WILL RECEIVE A MINIMUM OF 4" OF CEDAR BARK MULCH OR APPROVED EQUAL. EXCEPT AS NOTED ON THE PLANS. ALL TREES WILL RECEIVE 4" CEDAR BARK MULCH WITHIN THE SAUCER AREA PER THE DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR WEED CONTROL ON BEDS AND SEEDED AREAS UNTIL FINAL PROJECT ACCEPTANCE.
- SEE CIVIL FOR BENCHMARKS AND GRADING
- STOCKPILE TOPSOIL FOR RE-USE ON SITE. TOPSOIL TO BE SENT TO CSU SOILS LAB WWW.SOILTESTINGLAB.COLOSTATE.EDU FOR AMENDMENT RECOMMENDATIONS. AMENDED TOPSOIL SHOULD BE APPLIED 6" DEPTH IN ALL PLANTING BEDS AND TURF AREAS.
- AN UNDERGROUND, PRESSURIZED IRRIGATION SYSTEM WILL BE PROVIDED.
- SEE ARCHITECT FOR ENTRANCE OR MONUMENT SIGN DETAILS.
- ALL TREES SHALL BE PLANTED A MINIMUM OF 2' FROM EITHER SIDE OF IRRIGATION LINES.
- ALL PLANTING AREAS WILL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM OF ROTORS, SPRAYS, BUBBLERS, AND DRIP. ASSUMES EXISTING IRRIGATION SYSTEM CAN BE EXPANDED.
- OUTDOOR TABLES AND FURNISHINGS AT THE PORCH TO BE DETERMINED BY ART CONSULTANT.



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN

1309 East 3rd Ave. Room 23
Durango, CO 81301 | 970.385.4219

REUSE OF DOCUMENT
This document is the property of DHM Design Corp. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of DHM Design Corp.



Town of Mountain Village
2016 Boulders Improvements

PROJECT NUMBER: 16072 DATE: 04.07.2016

DESIGNED: MB
DRAWN: MB, CC
CHECKED: MB

REVISIONS:

JOB DESCRIPTION:
DESIGN REVIEW

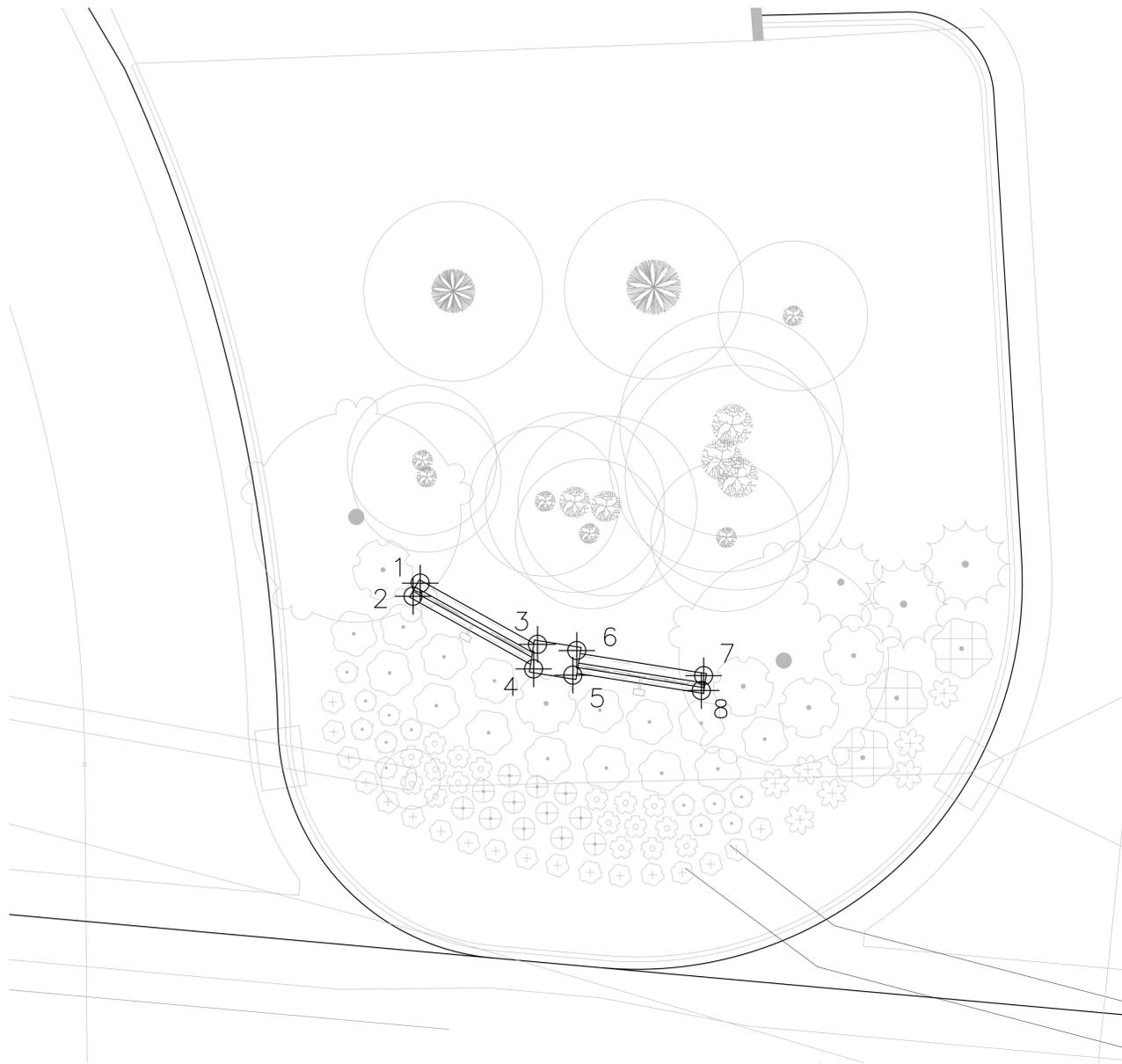
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LANDSCAPE NOTES

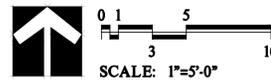
SHEET NUMBER:

L1.2

SHEET OF



SIGN LOCATION PLAN

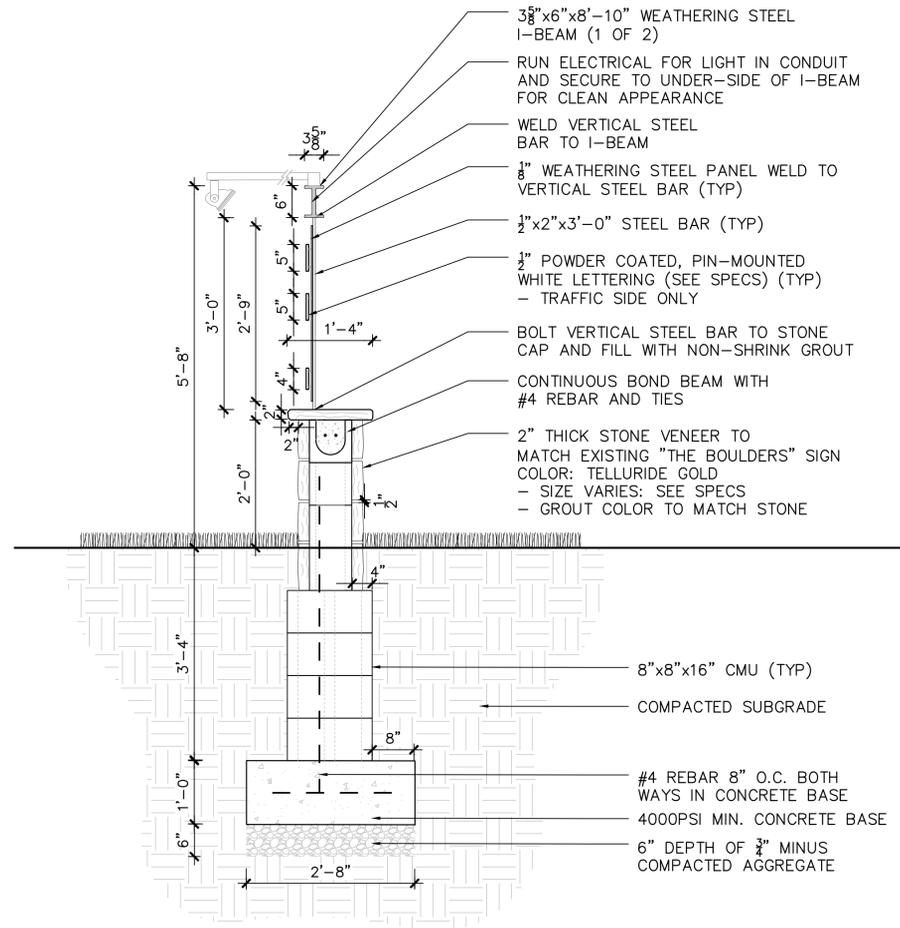


NORTHING/EASTING POINT SCHEDULE

POINT	DESCRIPTION	NORTHING	EASTING
1		N 10580.6479	E 10103.0341
2		N 10579.7731	E 10102.5496
3		N 10576.5636	E 10110.8994
4		N 10574.9174	E 10110.6393
5		N 10574.5012	E 10113.2732
6		N 10576.1474	E 10113.5334
7		N 10574.4655	E 10122.0418
8		N 10573.4777	E 10121.8857

NOTE:
 1. **FIELD LOCATE UTILITIES AND SIGHT TRIANGLE LOCATIONS PRIOR TO INSTALLATION. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF CONFLICTS ARE FOUND.**

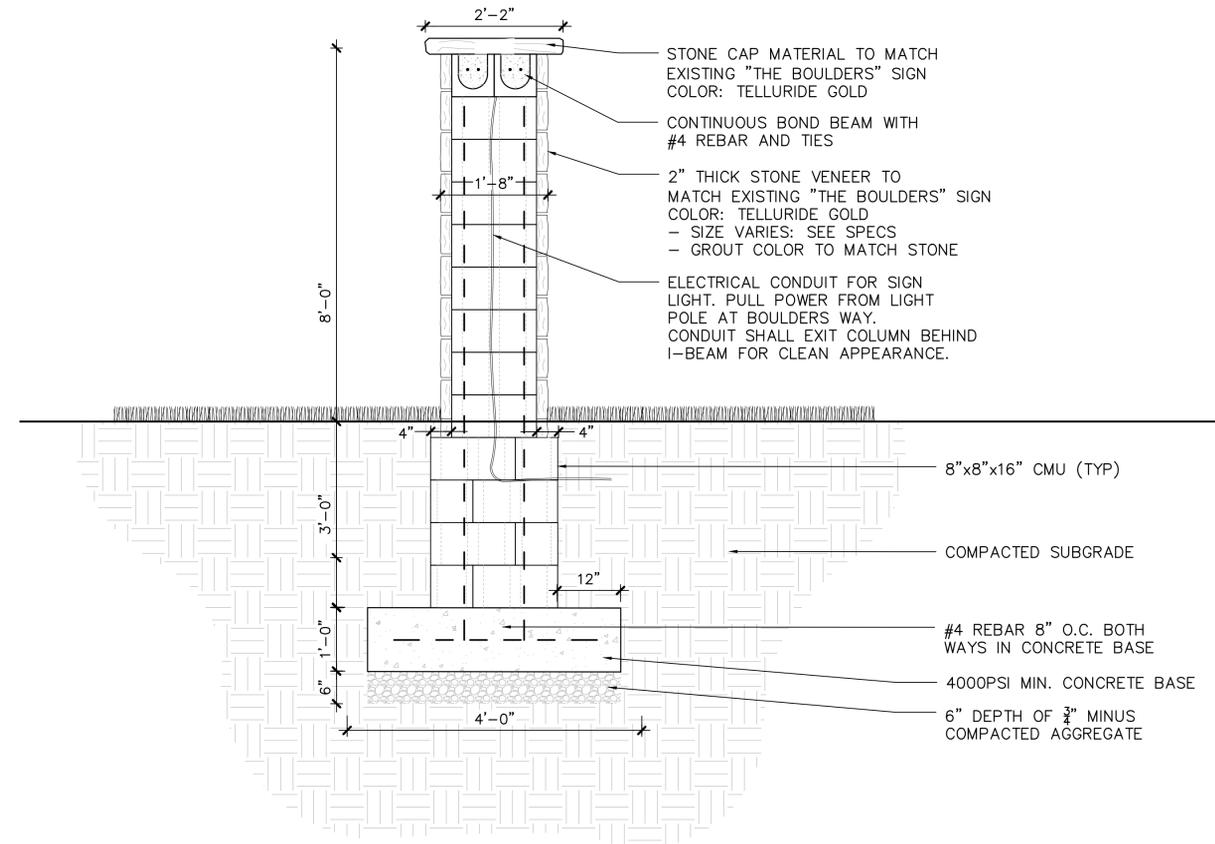




1 SIGN SECTION
L2.2

- NOTES:**
- LETTERS MOUNTED ON ONCOMING TRAFFIC SIDE ONLY.
 - SEE SPECS FOR LETTER-MOUNTING HARDWARE
 - STONE VENEER ON BOTH SIDES. PREPARE 6' FF MOCK-UP FOR OWNER APPROVAL PRIOR TO COMPLETION.
 - STONE VENEER COLOR TO BE 'TELLURIDE GOLD' AND MATCH EXISTING 'THE BOULDERS' SIGN

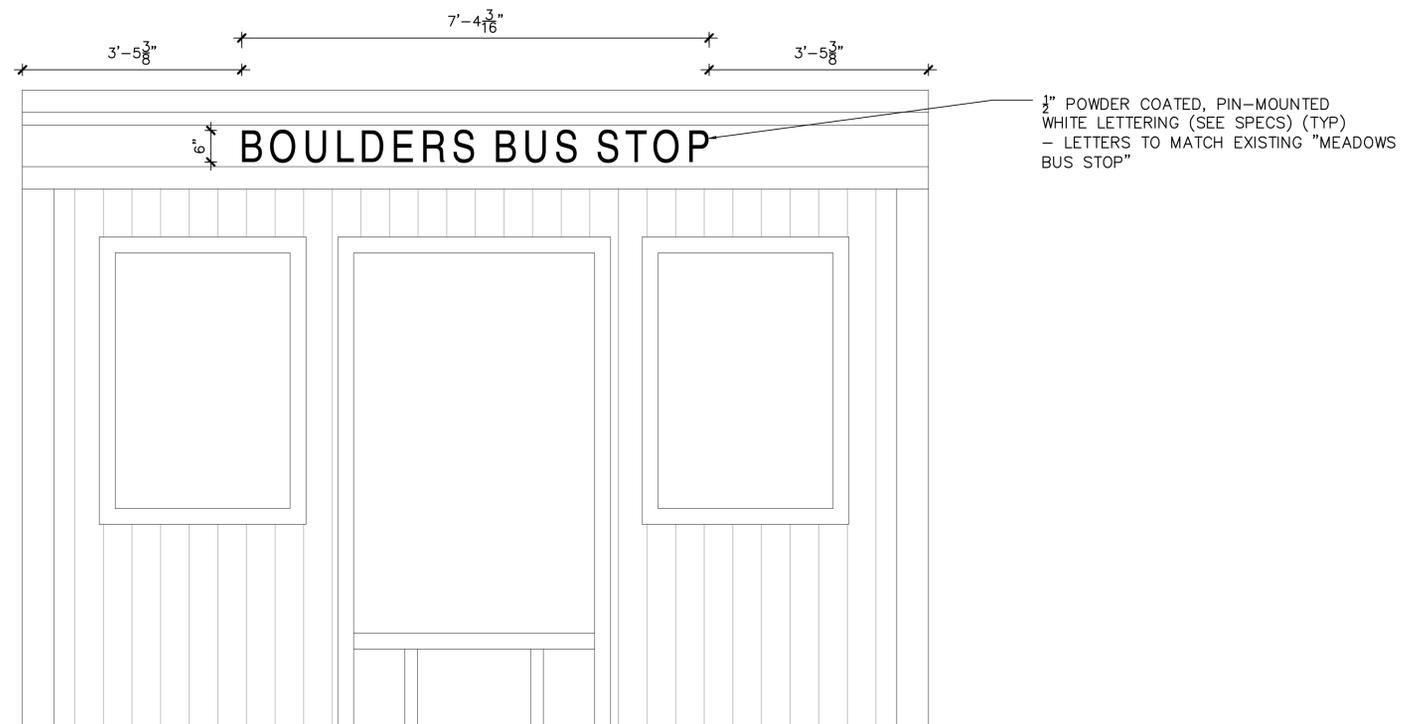
SCALE: 3/4" = 1'-0"



2 COLUMN SECTION
L2.2

- NOTES:**
- STONE VENEER ON BOTH SIDES. PREPARE 6' FF MOCK-UP FOR OWNER APPROVAL PRIOR TO COMPLETION. MOCK-UP MAY BE USED ON FINAL PRODUCT UPON ARRIVAL.
 - STONE VENEER COLOR TO BE 'TELLURIDE GOLD' AND MATCH EXISTING 'THE BOULDERS' SIGN

SCALE: 3/4" = 1'-0"



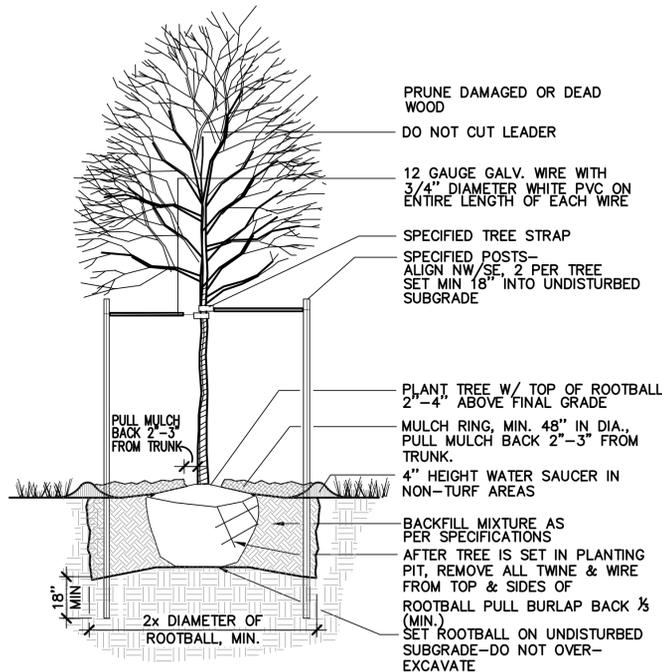
EXISTING BUS STOP LETTERING

1 BUS STOP LETTERING
L2.3

NOTES:

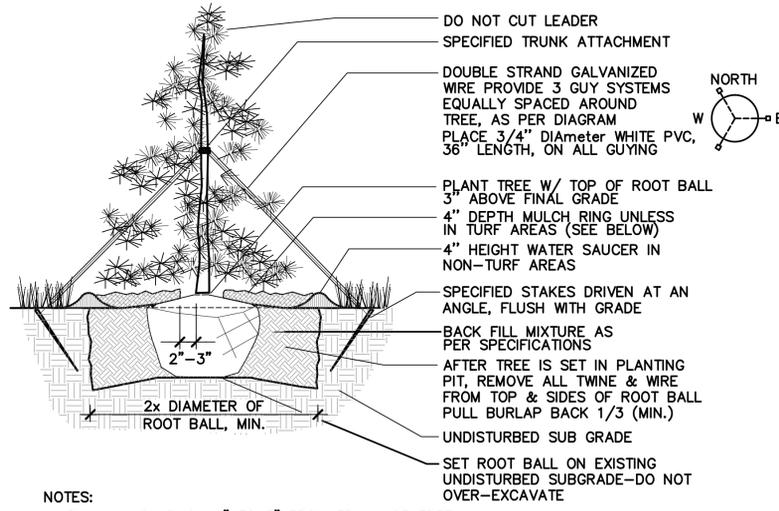
1. LETTERS MOUNTED ON ONCOMING TRAFFIC SIDE ONLY.
2. SEE SPECS FOR LETTER-MOUNTING HARDWARE
3. LETTERING SIZE AND MATERIAL TO MATCH EXISTING "MEADOWS BUS STOP"

SCALE: 3/4" = 1'-0"



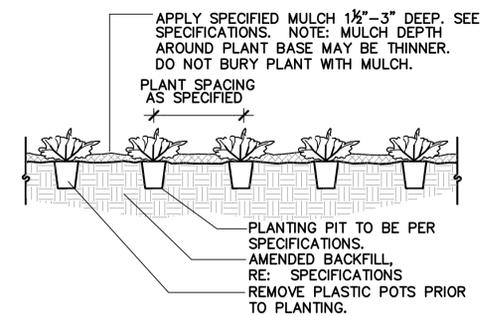
- NOTE: 1. MULCH SHOULD BE 4" DEEP IN NON-TURF AREAS.
2. ONLY STAKE TREES WHEN NECESSARY.

1 DECIDUOUS TREE PLANTING
L3.1 NOT TO SCALE

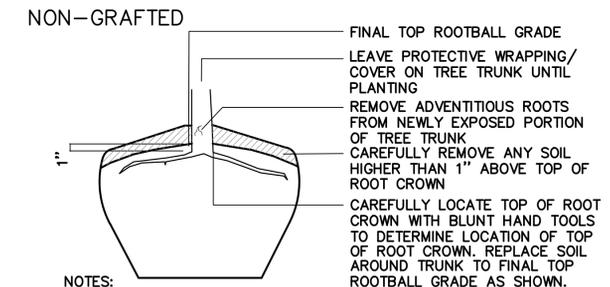
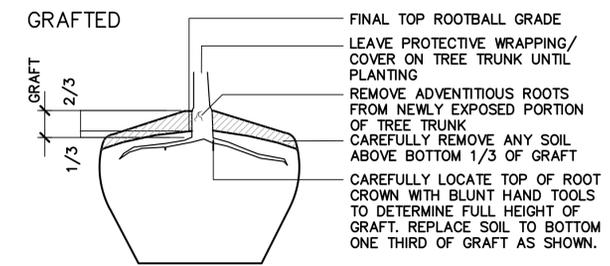


- NOTES:
1. PULL MULCH BACK 2" TO 3" FROM TRUNK OF TREE
2. INSTALL SPECIFIED MULCH TO DRIP LINE OF TREE WHERE PLANTED IN LAWN AREAS. MULCH TO BE 2" DEEP IN LAWN AREAS.
3. DO NOT PROVIDE WATER BASIN IN IRRIGATED LAWN AREAS.

2 EVERGREEN TREE PLANTING
L3.1 NOT TO SCALE

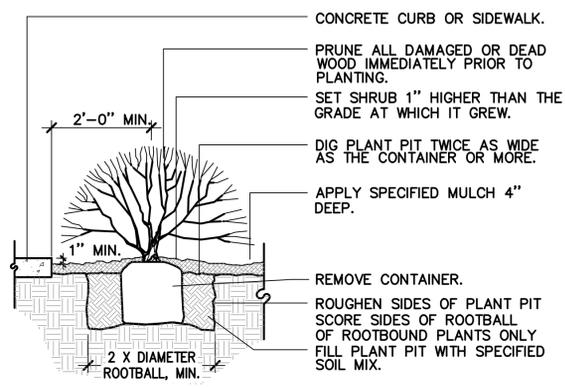


3 PERENNIALS & GROUND COVERS
L3.1 NOT TO SCALE



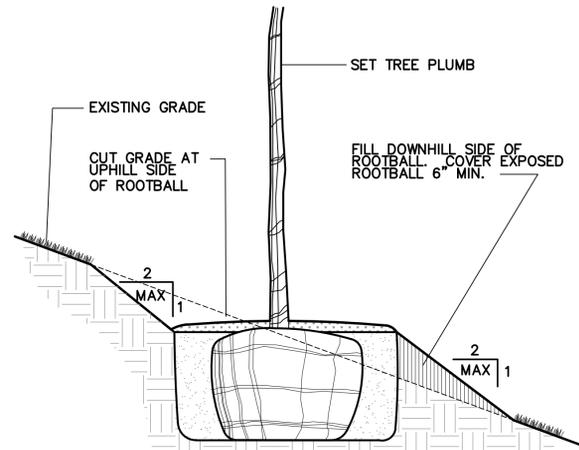
- NOTES:
1. ALL WORK TO BE DONE AT TIME OF PLANTING
2. PEEL BACK ONLY TOP OF BURLAP REQUIRED TO PERFORM WORK. REPLACE BURLAP BEFORE MOVING TREE INTO PLANTING PIT. DO NOT REMOVE WIRE BASKET UNTIL INSIDE PLANTING PIT.
3. MEASURE NEW HEIGHT OF ROOTBALL AND DIG PLANTING PIT SO FINAL TOP ROOTBALL GRADE IS 3" ABOVE FINAL GRADE SURROUNDING BALL.

4 FINAL TOP ROOTBALL GRADE
L3.1 NOT TO SCALE



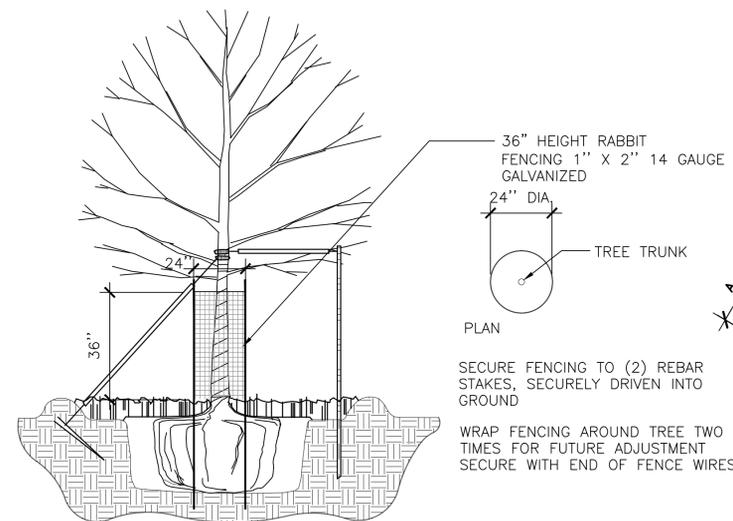
- NOTES:
1. ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
2. FINISHED GRADE OF MULCH 1" BELOW EDGE OF WALK OR CURB

5 SHRUB PLANTING
L3.1 NOT TO SCALE



- NOTE: REFER TO VARIOUS SPECIFIC TREE INSTALLATION DETAILS FOR STAKING, GUYING, MULCHING, ETC.
NOTE: THIS INSTALLATION SHALL APPLY TO ALL TREE TYPES AND SIZES PLANTED ON SLOPES LESS THAN 2:1.
NOTE: SEE DETAIL 3/L4.6 FOR PLANTINGS ON SLOPES 2:1.

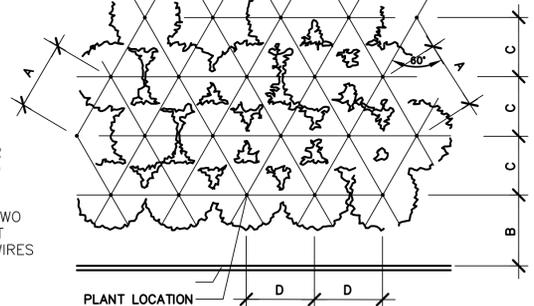
6 TREE PLANTING ON SLOPE
L3.1 NOT TO SCALE



7 WILDLIFE PROTECTION
L3.1 NOT TO SCALE

PLANT SPACING**	A	B	C	D
6"	6"	6"	5"	6"
8"	8"	6"	7"	8"
12"	12"	8"	10"	12"
18"	18"	9"	15"	18"
24"	24"	18"	21"	24"
30"	30"	15"	26"	30"
36"	36"	30"	31"	36"
48"	48"	30"	42"	48"
60"	60"	36"	52"	60"

**OR AS SHOWN ON PLAN



8 SHRUB/FLOWER/GROUNDCOVER PLANTING LAYOUT TRIANGULAR SPACED
L3.1 NOT TO SCALE

RECORDERS CERTIFICATE

This plat was filed for record in the office of the County Clerk and Recorder of San Miguel County on this 22 day of September, 1989

Book No.: Plat #1
Page No.: 932-933
Reception No.: 261214
Time: 10:05 AM
County Clerk



CERTIFICATE OF OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS that The Telluride Company, being sole owner in fee simple of all the real property described on Sheet 2, does hereby plat said real property pursuant to this plat:

ATTEST:

A. J. Wells
Secretary

THE TELLURIDE COMPANY, a Colorado corporation
by Ronald D. Allred
Ronald D. Allred
Chairman of the Board of Directors

STATE OF COLORADO) ss.
COUNTY OF SAN MIGUEL)

Subscribed and sworn to before me this 22 day of September, 1989, by Ronald D. Allred as Chairman of the Board of Directors and A. J. Wells as Secretary of The Telluride Company, a Colorado corporation.

Witness my hand and official seal. My commission expires: April 20, 1993.

Wallace E. Beadie
Notary Public

NOTE OF CLARIFICATION

- The Configuration of the following lots, tracts and rights-of-way have been modified by this Plat:
NONE
- The following lots have been created by this Plat.
Lots: 644, 645, 646, 648, 649, 650, TRACTS F22-1 & F22-2
- The following lots have been deleted by this Plat.
NONE
- At the time of recording this plat, the population level in the Telluride Mountain Village is 4222.5; the population level of the Telluride Mountain Village excluding lots containing transferable development rights is 4127.5; the population level of the Telluride Mountain Village excluding lots containing transferable development rights and employees housing rooms and/or units is 4152. These density figures are arrived at by adding 215 people, including 215 employees, to the density figures set forth in the Final Plat of Plat 22, Telluride Mountain Village, recorded in Plat Book 1 at page 925 of San Miguel County records.
- The use or density, or both, of the following lots have been changed as follows:
NONE

ACCESS TRACT: Designates a tract which may be used as follows: access for specific lots as indicated, utilities, drainage, snow storage and roadway maintenance. The Access Tracts do not meet San Miguel County standards for roadways and, therefore, neither San Miguel County, the Mountain Village Metropolitan District nor any other governmental entity has any obligation or intention to either (1) accept title to or (2) maintain any Access Tracts. Consequently, the repair and maintenance of each Access Tract, and the cost thereof, shall be the responsibility of those owners of the properties utilizing such Access Tract.

261214

PLAT
TELLURIDE COMPANY
TO
TELLURIDE MOUNTAIN VILLAGE
FILING 22

STATE OF COLORADO)
COUNTY OF SAN MIGUEL)
FILED FOR RECORD AT 10:05 A.M. ON SEP 22 1989
BY Wallace E. Beadie
GAY CAPPS
COUNTY CLERK

COUNTY COMMISSIONER'S APPROVAL

This plat has been accepted for filing by the San Miguel County Board of Commissioners and this replat, the uses, densities, standards and definitions contained herein are hereby approved.

Effective date: Sept. 21, 1989

Chairman
Ronald C. Allison
TITLE INSURANCE COMPANY CERTIFICATE

The San Miguel Title Co. does hereby certify that we have examined the title to all lands herein shown on this plat and that title to this land is in the name of The Telluride Company, a Colorado corporation and is free and clear of all encumbrances, liens, and taxes except as follows:
MORTGAGE DEED RECORDED BOOK 150 PAGE 1855
ALL UNPAID TAXES

Dated this 5th day of September, 1989
Paul Strout, President

TREASURER'S CERTIFICATE

I certify that according to the records in my office that there are no liens against this subdivision or any part thereof for unpaid state, county, municipal, or local taxes or special assessments.

Dated this 6th day of September, 1989.
Treasurer Sherry M. Rose

TAX BOND CERTIFICATE

The undersigned Clerk of San Miguel County certifies that N/A dollars have been deposited to cover taxes and assessments against this property which are a lien, but are not yet payable.

Dated this 22nd day of September, 1989
Gay Capps
County Clerk

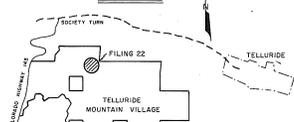
COVENANTS, CONDITIONS, EASEMENTS, RESTRICTIONS, AND DEFINITIONS

General notes one (1) through (14), inclusive, and definitions one (1) through twenty-five (25), inclusive, as shown on sheets one (1) and two (2) of the Plat for the Telluride Mountain Village, Filing 6, recorded on June 20, 1984 in the office of the Clerk and Recorder for San Miguel County, Colorado, in Plat Book 1 at pages 565-571, are incorporated herein by this reference and shall apply to the real property platted hereby in the same manner as if fully set forth herein. Any amendments to the above referenced General Notes and Definitions shall apply to the real property platted hereby. San Miguel County, reserves the right and power to, pursuant to a zoning amendment, modify the covenants, conditions, easements, restrictions, and definitions.

NOTES:

ORIGIN OF BEARING: THE NORTH LINE S 1/2 SE 1/4 OF SECTION 34, TOWNSHIP 43 NORTH, RANGE 9 WEST, OF THE NEW MEXICO PRINCIPAL MERIDIAN BEARS S 89° 26' 40" E WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO. THIS BEARING WAS NOTED ON "26" 50" CLOCKWISE FROM ROGER D. MANNHE'S SURVEY AS SHOWN ON THE TELLURIDE COMPANY BOUNDARY MAP DATED OCTOBER OF 1980. THIS ROTATION WAS DONE TO BE IN CONFORMANCE WITH THE PRODUCT BEARINGS ESTABLISHED PREVIOUSLY BY KRBNA, INC. DENVER, COLORADO.
ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON A DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

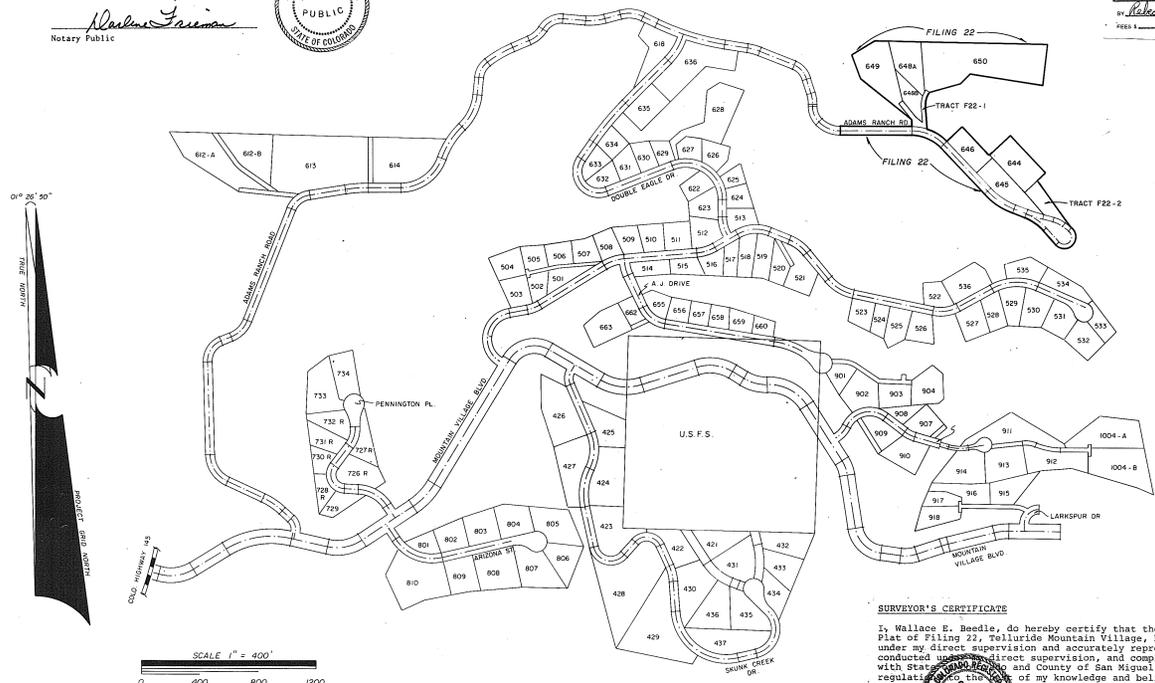
VICINITY MAP



SURVEYOR'S CERTIFICATE

I, Wallace E. Beadie, do hereby certify that the accompanying Plat of Filing 22, Telluride Mountain Village, has been prepared under my direct supervision and accurately represents a survey conducted under my direct supervision, and complies with State, County and County of San Miguel statutes and regulations to the best of my knowledge and beliefs.

Wallace E. Beadie
Wallace E. Beadie
P.L.S. 1000
DATE July 23 1989



TELLURIDE MOUNTAIN VILLAGE FILING 22

NOTE: The following R-1 Housing Deed Restriction San Miguel County, Colorado shall only apply to Lots 644, 645 and 646 of Filing 22.

Draft 9-21-89 R-1 HOUSING DEED RESTRICTION SAN MIGUEL COUNTY, COLORADO
Subject Property: Lots 644, 645 and 646 of Filing 22

The use and occupancy of the property, described above, shall here forth be limited exclusively to housing for individuals who are residents of and employed in the R-1 School District of San Miguel County, Colorado, subject to such exceptions and additional qualifications as may be specified in Housing Guidelines, Rules and Regulations, including but not limited to the definition of any of the terms used herein, established from time to time by the Board of County Commissioners of San Miguel County, Colorado or its designated representative.

The foregoing restriction on use and occupancy constitutes a perpetual covenant which runs with the land as a burden thereon for the benefit of the Board of County Commissioners of San Miguel County, Colorado, and shall be binding on the owner, and on the heirs, personal representatives, assigns and any transferee of the owner. The foregoing restriction and covenant shall be administered by the Board of County Commissioners of San Miguel County, Colorado, and enforceable by any appropriate legal action including but not limited to injunction, abatement or eviction of non-complying users or occupants or such other remedies and penalties as may be specified in such Housing Guidelines, Rules and Regulations.

The foregoing restriction and covenant may be modified with the written consent of the owner and the San Miguel County Board of County Commissioners. No such modification shall be effective until an instrument in writing shall be executed and recorded in the Office of the Clerk and Recorder of the County of San Miguel, State of Colorado.

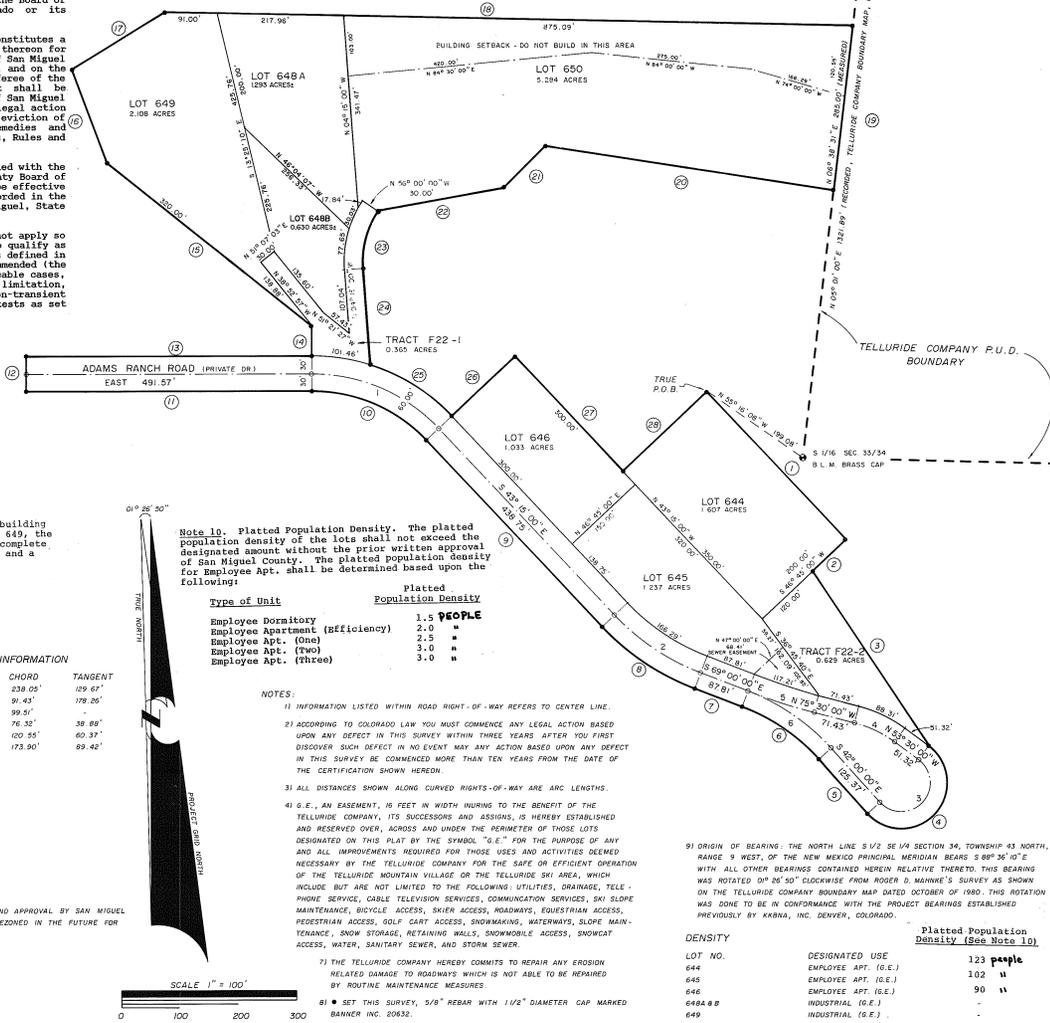
The foregoing restriction on use and occupancy shall not apply so long as the property shall be operated as and continue to qualify as a "qualified low-income housing project" as that term is defined in Section 41(i) of the Internal Revenue Code of 1986, as amended (the "Code"), or any successor statute thereto, and the applicable cases, rule and regulations thereunder including, without limitation, holding such housing out to the general public for non-transient rental by individuals meeting certain specified income tests as set forth in the Code.

NOTE: Prior to the issuance of a building permit on either Lot 648A, 648B or 649, the owner of the respective lot shall complete a soil test for EPA metal toxicity and a soil gas analysis.

CENTER LINE CURVE INFORMATION

NO.	DELTA	RADIUS	LENGTH	CHORD	TANGENT
1	46° 45' 00"	300.00'	244.78'	238.05'	129.67'
2	25° 45' 00"	400.00'	179.77'	91.43'	178.26'
3	19° 20' 00"	50.00'	166.99'	99.81'	-
4	22° 30' 00"	200.00'	76.75'	76.75'	38.88'
5	06° 30' 00"	1063.15'	120.61'	120.61'	60.32'
6	27° 00' 00"	372.46'	175.53'	173.90'	89.42'

NOTE REGARDING OPEN SPACE - SUBJECT TO REVIEW AND APPROVAL BY SAN MIGUEL COUNTY, OPEN SPACE AREA MAY BE REPLANTED AND REZONED IN THE FUTURE FOR FUTURE REAL ESTATE PRODUCTS.



Note 10. Platted Population Density. The platted population density of the lots shall not exceed the designated amount without the prior written approval of San Miguel County. The platted population density for Employee Apt. shall be determined based upon the following:

Type of Unit	Population Density
Employee Dormitory	1.5 PEOPLE
Employee Apartment (Efficiency)	2.0 "
Employee Apt. (One)	2.5 "
Employee Apt. (Two)	3.0 "
Employee Apt. (Three)	3.0 "

- NOTES:
- 1) INFORMATION LISTED WITHIN ROAD RIGHT-OF-WAY REFERS TO CENTER LINE.
 - 2) ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
 - 3) ALL DISTANCES SHOWN ALONG CURVED RIGHTS-OF-WAY ARE ARC LENGTHS.
 - 4) G.E., AN EASEMENT, 16 FEET IN WIDTH INURING TO THE BENEFIT OF THE TELLURIDE COMPANY, ITS SUCCESSORS AND ASSIGNS, IS HEREBY ESTABLISHED AND RESERVED OVER, ACROSS AND UNDER THE PERMITTER OF THOSE LOTS DESIGNATED ON THIS PLAT BY THE SYMBOL "G.E." FOR THE PURPOSE OF ANY AND ALL IMPROVEMENTS REQUIRED FOR THOSE USES AND ACTIVITIES DEEMED NECESSARY BY THE TELLURIDE COMPANY FOR THE SAFE OR EFFICIENT OPERATION OF THE TELLURIDE MOUNTAIN VILLAGE OR THE TELLURIDE SKI AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: UTILITIES, DRAINAGE, TELEPHONE SERVICE, CABLE TELEVISION SERVICES, COMMUNICATION SERVICES, SKI SLOPE MAINTENANCE, BICYCLE ACCESS, SKIER ACCESS, ROADWAYS, EQUESTRIAN ACCESS, PEDESTRIAN ACCESS, GOLF CART ACCESS, SNOWMANS, WATERWAYS, SLOPE MAINTENANCE, SNOW STORAGE, RETAINING WALLS, SNOWMOBILE ACCESS, SNOWCAT ACCESS, WATER, SANITARY SEWER, AND STORM SEWER.
 - 7) THE TELLURIDE COMPANY HEREBY COMMITS TO REPAIR ANY EROSION RELATED DAMAGE TO ROADWAYS WHICH IS NOT ABLE TO BE REPAIRED BY ROUTINE MAINTENANCE MEASURES.
 - 8) SET THIS SURVEY, 5/8" REBAR WITH 1/2" DIAMETER CAP MARKED BANHER INC. 20935.

DENSITY	Platted Population Density (See Note 10)
LOT NO.	123 people
644	EMPLOYEE APT. (G.E.)
645	EMPLOYEE APT. (G.E.)
646	EMPLOYEE APT. (G.E.)
648A & B	INDUSTRIAL (G.E.)
649	INDUSTRIAL (G.E.)
650	INDUSTRIAL (G.E.)
TRACTS F22-1 & F22-2	ACCESS

LEGAL DESCRIPTION OF FILING 22
TELLURIDE MOUNTAIN VILLAGE

A tract of land located in a portion of the NE 1/4 of the SW 1/4 of the SW 1/4 of Section 34, and a portion of the SW 1/4 of the SW 1/4 of Section 34, both in Township 43 North, Range 9 West, of the New Mexico Principal Meridian, County of San Miguel, State of Colorado described as follows:

Beginning at the S 7/16 Corner of said Section 33/34, which is a B.L.M. Brass Cap, Thence N 55° 16' 08" W, 159.08 Feet to the Point of Beginning;

Thence S 43° 15' 00" E, 350.00 Feet;

Thence N 42° 45' 00" W, 80.00 Feet;

Thence S 33° 44' 27" E, 358.69 Feet;

Thence Southwesterly 265.78 Feet along the arc of a circular curve concave to the North West having a radius of 80.00 Feet, a Delta of 13° 30' 00", and whose Long Chord bears S 42° 15' 00" W, 159.20 Feet;

Thence N 42° 00' 00" W, 123.37 Feet;

Thence Northwesterly 161.38 Feet along the arc of a circular curve concave to the South West having a radius of 242.45 Feet, a Delta of 27° 00' 00", and whose Long Chord bears N 55° 30' 00" W, 159.49 Feet;

N 69° 00' 00" W, 87.81 Feet;

Thence Northwesterly 193.25 Feet along the arc of a circular curve concave to the North East having a radius of 320.00 Feet, a Delta of 23° 45' 00", and whose Long Chord bears S 54° 01' 30" W, 191.03 Feet;

Thence N 43° 15' 00" W, 438.75 Feet;

Thence Northwesterly 220.20 Feet along the arc of a circular curve concave to the South West having a radius of 270.00 Feet, a Delta of 48° 45' 00", and whose Long Chord bears N 64° 37' 35" W, 214.24 Feet;

Thence East, 491.57 Feet;

Thence North, 60.00 Feet;

Thence East, 471.57 Feet;

Thence North, 47.98 Feet;

Thence N 51° 21' 27" W, 455.60 Feet;

Thence N 28° 35' 00" W, 170.00 Feet;

Thence N 58° 30' 00" E, 190.00 Feet;

Thence N 88° 50' 00" E, 1184.05 Feet;

Thence N 64° 38' 31" W, 285.00 Feet;

Thence N 81° 12' 56" W, 504.58 Feet;

Thence N 45° 00' 00" W, 100.00 Feet;

Thence S 77° 26' 07" W, 218.37 Feet;

Thence Southwesterly 105.50 Feet along the arc of a circular curve concave to the South East having a radius of 158.00 Feet, a Delta of 38° 15' 00", and whose Long Chord bears S 14° 52' 30" W, 131.55 Feet;

Thence S 04° 15' 00" E, 158.38 Feet;

Thence Southwesterly 167.86 Feet along the arc of a circular curve concave to the South West having a radius of 320.00 Feet, a Delta of 23° 45' 00", and whose Long Chord bears S 54° 01' 30" W, 166.10 Feet;

Thence S 46° 45' 00" E, 150.00 Feet;

Thence N 46° 45' 00" E, 200.00 Feet to the True Point of Beginning containing 17.78 "G.E."

agree more or less as described above.

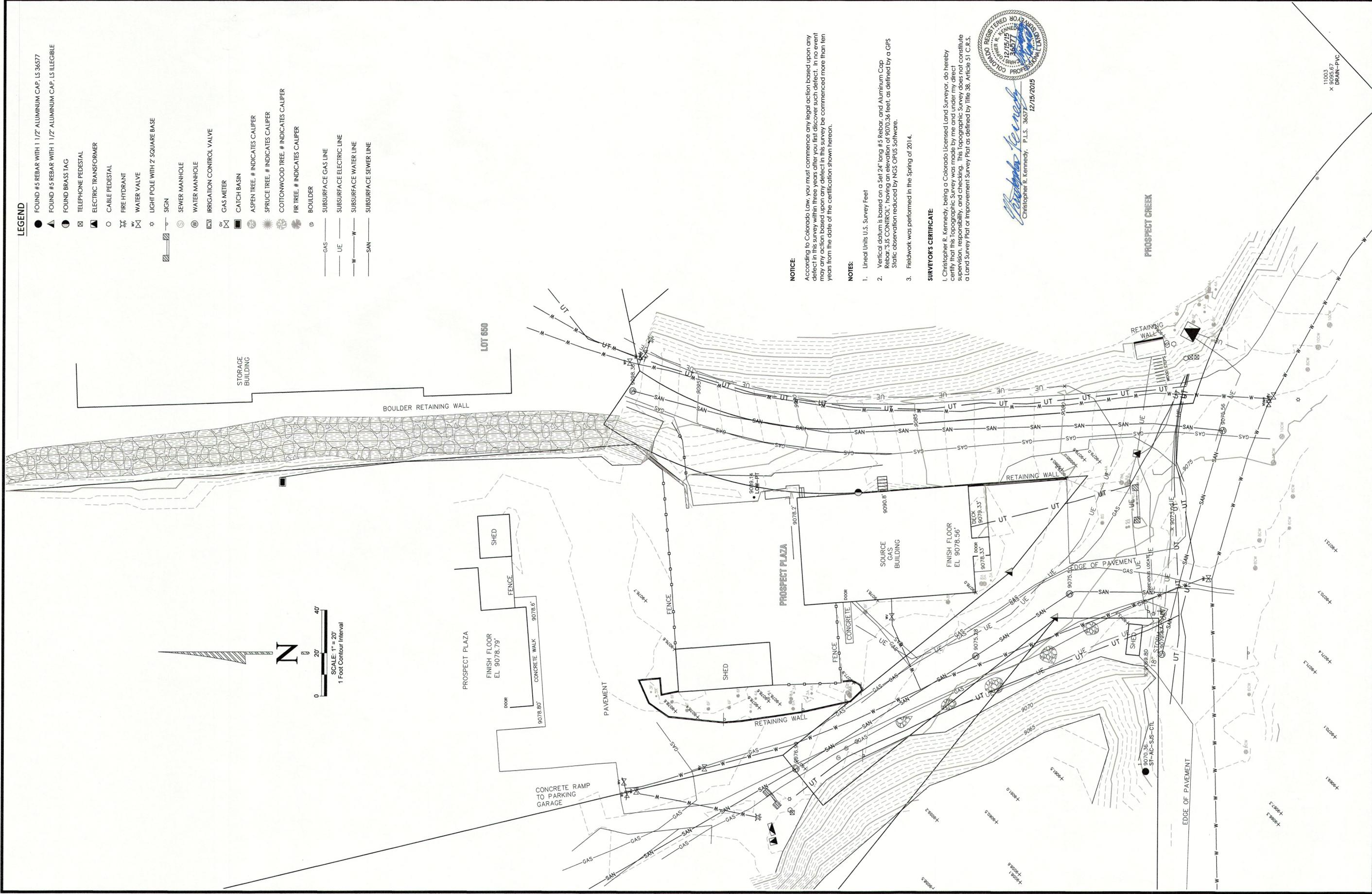
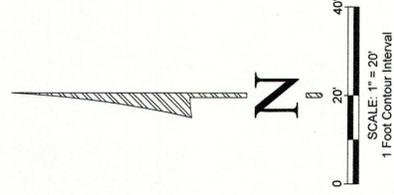
- 1) S 43° 15' 00" E 350.00'
- 2) S 46° 45' 00" W 80.00'
- 3) S 33° 44' 27" E 358.69'
- 4) S 19° 30' 00" R = 80.00' L = 267.38' T = 794.46' C = 159.20'
- 5) N 48° 00' 00" W 123.37'
- 6) S 27° 00' 00" R = 342.46' L = 161.38' T = 62.81' C = 159.49'
- 7) N 69° 00' 00" W 87.81'
- 8) S 25° 45' 00" R = 430.00' L = 193.25' T = 88.29' C = 191.63'
- 9) N 43° 15' 00" W 438.75'
- 10) S 48° 45' 00" R = 270.00' L = 220.30' T = 116.70' C = 214.24'
- 11) WEST 491.57'
- 12) NORTH 60.00'
- 13) EAST 491.57'
- 14) NORTH 47.98'
- 15) N 51° 21' 27" W 455.60'
- 16) N 20° 35' 00" W 170.00'
- 17) N 58° 30' 00" E 190.00'
- 18) S 88° 50' 00" E 1184.05'
- 19) S 06° 30' 31" W 285.00'
- 20) N 81° 12' 56" W 504.58'
- 21) S 45° 00' 00" W 100.00'
- 22) S 77° 26' 07" W 218.37'
- 23) S 38° 15' 00" R = 158.00' L = 105.50' T = 54.80' C = 103.55'
- 24) S 04° 15' 00" E 158.38'
- 25) S 29° 08' 01" R = 330.00' L = 167.86' T = 85.75' C = 166.00'
- 26) N 46° 45' 00" E 150.00'
- 27) S 43° 15' 00" E 270.00'
- 28) N 46° 45' 00" E 200.00'



TELLURIDE MOUNTAIN VILLAGE FILING 22

LEGEND

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
- ▲ FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS ILLEGIBLE
- ▣ FOUND BRASS TAG
- ⊠ TELEPHONE PEDESTAL
- ⊡ ELECTRIC TRANSFORMER
- CABLE PEDESTAL
- ⊕ FIRE HYDRANT
- ⊗ WATER VALVE
- ☆ LIGHT POLE WITH 2' SQUARE BASE
- ⊞ SIGN
- ⊙ SEWER MANHOLE
- ⊕ WATER MANHOLE
- ⊞ IRRIGATION CONTROL VALVE
- ⊞ GAS METER
- ⊞ CATCH BASIN
- ⊞ ASPEN TREE, # INDICATES CALIPER
- ⊞ SPRUCE TREE, # INDICATES CALIPER
- ⊞ COTTONWOOD TREE, # INDICATES CALIPER
- ⊞ FIR TREE, # INDICATES CALIPER
- ⊞ BOULDER
- GAS — SUBSURFACE GAS LINE
- UE — SUBSURFACE ELECTRIC LINE
- W — SUBSURFACE WATER LINE
- SAN — SUBSURFACE SEWER LINE



NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

1. Lined Units U.S. Survey Feet
2. Vertical datum is based on a Set 24" long #5 Rebar, and Aluminum Cap Rebar, "SJS CONTROL", having an elevation of 9070.36 feet, as defined by a GPS Static observation reduced by NGS OPUS Software.
3. Fieldwork was performed in the Spring of 2014.

SURVEYOR'S CERTIFICATE:

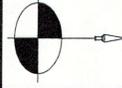
I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.



Christopher R. Kennedy
 Christopher R. Kennedy, P.L.S. 36577
 12/15/2015

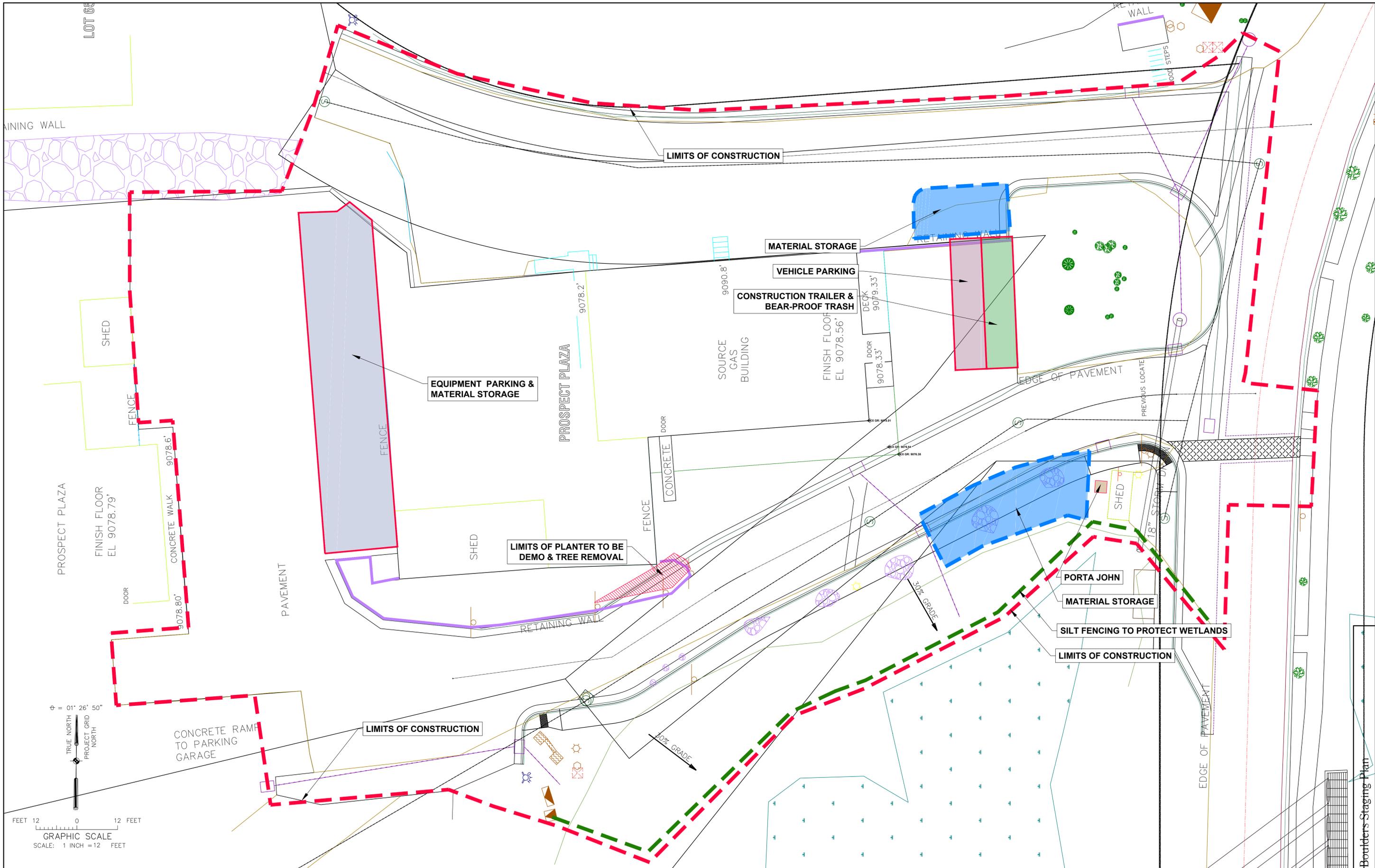
**TOPOGRAPHIC SURVEY
 BOULDERS, TOWN OF MOUNTAIN VILLAGE**

SAN JUAN SURVEYING
 SURVEYING * PLANNING
 102 SOCIETY DRIVE TELLURIDE, CO. 81435
 (970) 728-1128 (970) 728-9201 fax
 office@sanjuansurveying.net



DATE: 11/16/2015
 JOB: 14007
 DRAWN BY: CRK
 CHECKED BY: ADM
 REVISION DATES:
 SHEET: 1 OF 1

11003
 X 8095.67
 DRAIN-PVC



DRAWN BY: RBC
 DESIGNED BY: FK
 CHECKED BY:
 Disclaimers
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REVISION	DATE	DESCRIPTION	BY	CHD



Town of Mountain Village
 Geographical Information System
 & CAD Design Office
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 Ph. 970-728-5946 Fax 970-728-6027

Boulders Staging Plan

Town of Mountain Village, CO

SCALE: 1" = 12'
 SHEET NO: 1 of 1
 JOB NO: 4-6-16
 DATE:

Boulders Staging Plan