

**TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD REGULAR MEETING
THURSDAY MARCH 2, 2017 10:00 AM
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
AGENDA**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	5	Van Nimwegen	Action	Reading and Approval of Summary of Motions of the February 2, 2017 Design Review Board Meeting.
3.	10:05	45	Starr	Public Hearing Quasi-Judicial Action	Consideration of a Design Review Process Development Application for new construction of a single-family residence on Lot 165R-22, 22 Cortina Drive.
4.	10:50	15	Bangert	Public Hearing Quasi-Judicial Action	Consideration and Recommendation to Town Council of an Application for Rezone/Density Transfer for Lot 128, units 736 and 740 (the Peaks) 136 Country Club Drive.
5.	11:05	30	Van Nimwegen	Worksession	Review of Design Review Application Requirements
6.	11:35	5	Van Nimwegen	Discussion	Other Business
7.	11:40				Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435
Phone: (970) 369-8242 Fax: (970) 728-4342

**SUMMARY OF MOTIONS
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY, FEBRUARY 2, 2017**

Agenda Item 2

Call to Order

Chairman Dave Eckman called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:03 a.m. on Thursday, February 2, 2017 in the Conference Room at 455 Mountain Village Boulevard Mountain Village, CO 81435.

Attendance

The following Board/Alternate members were present and acting:

Dave Eckman (Chair)
Banks Brown (Vice-Chair)
Phil Evans
Keith Brown
Luke Trujillo
Dave Craige
Greer Garner
Jean Vatter (Alternate)
Liz Caton (Alternate)

The following Board members were absent:

None.

Town Staff in attendance:

Glen Van Nimwegen, Director of Planning and Development Services
Dave Bangert, Senior Planner/Forester
Sam Starr, Planner
Jim Mahoney, Town Attorney

Public in attendance:

Devin Morris
Mark McGarey
David Ballode dballode@msn.com
Lea Sisson lea@leasonarchitects.com

Executive Session for the Purpose of Receiving Legal Advice Pursuant to C.R.S. 24-6-402(b)

On a **Motion** made by Phil Evans and seconded by Banks Brown, DRB voted **7-0** to enter into Executive Session for the Purpose of Receiving Legal Advice Pursuant to C.R.S. 24-6-402(b)

Chairman David Eckman concluded Executive Session and returned to regular session 10:30 a.m.

Reading and Approval of Summary of Motions of the January 5, 2017 Design Review Board

Regular Meeting

On a **Motion** made by Phil Evans and seconded by Greer Garner, the DRB voted 7-0 to approve the Summary of Motions from the January 5, 2017 Design Review Board Meeting.

An amendment to a previously approved conditional use permit for a 100 foot communication tower to be located in Tract OSP 49-R (Resolution No. 2015-0423-08) to remove the condition

that prohibited the tower from including lights. The request is to allow a red beacon as required by the Federal Aviation Administration

Glen Van Nimwegen updated the board on the changes to the proposed new tower, which includes adding a red light beacon as required by the FAA. Staff recommends the change with the following proposed amended conditions:

1. The tower ~~shall not~~ MAY include a light beacon AS REQUIRED BY ~~or be brightly painted to stand out to aircraft. If the Federal Aviation Administration ("FAA") SUBJECT TO THE USE OF AN AIRCRAFT DETECTION LIGHTING SYSTEM AS APPROVED BY THE FAA. requires either a light beacon or bright paint for the tower to stand out, the antenna shall be lowered to a height where these FAA requirements do not apply.~~
2. The proposed towers and antennas shall be painted to match the surrounding tree color below the tree line and a blue gray above the tree line to mitigate visual impacts. The applicant shall provide color samples to the Town and San Miguel County for review and approval prior to or concurrent with submitting for a building permit.
3. New antennas or equipment placed on the existing tower shall be painted to match the surrounding tree color below the tree line and a blue gray above the tree line to mitigate visual impacts, with the color reviewed and approved by the Town and San Miguel County.
4. The new tower shall be designed to co-locate the number of antennas shown on the Proposed Site Elevations plan, Sheet C-3.1 dated 4/15/15.
5. The current and proposed towers shall be made available for colocation of new telecommunication equipment so long as: (A) there is enough room on the tower for the new equipment (given the vertical & horizontal separation requirements of the current users), (B) there is enough structural capacity for the new equipment, and (C) the new equipment will not cause interference to the current users.
6. Prior to issuing a building permit, the applicant shall submit long-term easements from The Ridge, TSG and any other intervening property owner for (1) the access road to the tower site; (2) the tower site; and (3) utility routes for existing and new utilities to the site. Prior to executing such easements, the Town shall review and approve the easements to ensure long-term vehicular and utility access across intervening land and long term tower siting.
7. Prior to issuing a building permit, the applicant shall submit a composite utility plan to show the planned routes for power, fiber and any other necessary utilities to the site.
8. The approved conditional use permit application is for the benefit of the existing tower that is owned by Telluride Ski and Golf, LLC ("TSG") and the proposed new tower on TSG owned land. Therefore the conditional use permit is hereby granted to TSG and any successors or assigns.
9. The conditional use permit shall be valid for a period of twenty (20) years from the Effective Date subject to meeting the conditions specified herein.
10. THE APPLICANT, CROWN CASTLE, ENTERS INTO A LEGALLY BINDING WRITTEN COMMITMENT WITH SAN MIGUEL COUNTY TO ALLOW THE RELOCATION OF THE STATE OF COLORADO'S DTRS 800 RADIO SYSTEM EQUIPMENT LOCATED ON THE EXISTING 90 FOOT COMMUNICATION TOWER IN A MANNER AND AT LOCATIONS ACCEPTABLE TO THE SAN MIGUEL COUNTY SHERIFF, THE COLORADO OFFICE OF INFORMATION TECHNOLOGY, AND SMETSA. THE APPLICANT SHALL PROVIDE A NEW SITE PLAN DEPICTING THE DTRS 800 RADIO SYSTEM EQUIPMENT AND THE

PROPOSED SITE ELEVATIONS TOGETHER WITH THE PROPOSED AT&T ANTENNAS TOGETHER WITH FUTURE COLOCATOR ANTENNA ARRAY AND MICROWAVE DISHES ON A DRAWING TO REPLACE THE PROPOSED SITE ELEVATIONS, SHEET C-3.1 PREPARED BY BLACK AND VEATCH.

11. THE TOWN, BY WRITTEN RESOLUTION, FORMALLY COMMIT TO TURN OFF AND DISCONTINUE USING THE "UPPER BANK" OF LIGHTS IN THE SAN SOPHIA GONDOLA STATION, FROM DUSK TO DAWN TO REDUCE LIGHT SPILL IN TO THE COONSKIN VIEW PLANE. IT IS UNDERSTOOD THAT THESE LIGHTS MAY BE TURNED ON INTERMITTENTLY AS NEEDED FOR MAINTENANCE AND REPAIRS, AS WELL AS IN EMERGENCY SITUATIONS.

On a Motion made by Banks Brown and seconded by Phil Evans, the DRB voted 7-0, to recommend the Town Council approve the proposed amendment to the conditional use permit recorded as Resolution No. 2015-0423-08 with the findings contained in the staff memo and the amended conditions above, excluding condition #11 because this is not in the purview of the DRB in relation to approving the amended CUP.

Review and recommendation to the Town Council regarding the following proposed actions for Lot 640A, 306 Adams Ranch Road: A. The proposed rezoning of the southern .55 acres of Lot 640A (2.56 Acres) from Multi-Family Zone District to Class 2 Active Open Space and the remaining 2.01 acres to Class 3 Active Open Space; and B. The transfer of 15 units of Employee Apartment or Condominium units (45 person equivalent density) from the Density Bank to Lot 640A for a total of 45 units of Employee Apartment or Condominium units (135 person equivalent density); and C. The approval of a Conditional Use Permit for 45 Employee Apartment or Condominium units on the central 1.41 acres of Lot 640A; and D. Approval of the Replat of 640A.

Glen Van Nimwegen requested that this item be tabled – stating that the application will have to be re-noticed for a future agenda.

On a Motion made by Phil Evans and seconded by Greer Garner, the DRB voted 7-0, to Table the application Lot 640A, 306 Adams Ranch Road.

An amendment to the design of the driveway and retaining walls for a previously approved single-family home on Lot 912R, located at 132 Victoria Drive.

Dave Bangert presented the application for an amendment to the design of the driveway and retaining walls for a previously approved single-family home on Lot 912R, located at 132 Victoria Drive. Lea Sisson from Sisson Architects presented the proposed amendment on behalf of the owner.

On a Motion made by Luke Trujillo and seconded by Keith Brown, the DRB voted 6-1, with Dave Eckman opposed to the vote, to approve the development application for a new driveway alignment for a previously approved single-family home and accessory dwelling unit on Lot 912R subject to the previously approved conditions and the following conditions:

1. The applicant shall enter into an agreement with the TFPD assuring maintenance of the fire fighter access walk and record such agreement with San Miguel County.
2. The approval shall be subject to the additional conditions of the TFPD as shown on the attached exhibits.

3. All representations of the applicant/agent, whether within the submittal or at the DRB hearing, are conditions of this approval.

Review for a recommendation to the Town Council proposed amendments to Chapter 17.4 Development Review Procedures of the Community Development Code regarding establishing a two-step Design Review process.

Mr. Van Nimwegen presented the latest amendments to Section 17.4 to the Board. The amendments are to create a two-step process for projects where the first step would include approval of preliminary plans and the second would be final review and approval. The Board and staff discussed several issues that include:

- Consistently using either “final” or “formal”;
- Provide reference to requiring a complete application before a project goes forward;
- Safeguards to allow applicant to proceed if they fail at initial step one; and
- Better define what is a complete composition as described in Section 17.4.11 (C) 3 a and b.

A **Motion** was made by Banks Brown, seconded by Phil Evans and the DRB voted **7-0** to recommend to Town Council the proposed amendments to Chapter 17.4 Development Review Procedures of the Community Development Code regarding establishing a two-step Design Review process.

Board Member Keith Brown left the meeting at 1:05 p.m. due to another commitment

Other Business

Mr. Van Nimwegen mentioned an opportunity for the Board to meet with the Town Hall planning consultants on March 13 from 11 am to 12 pm in the Council Chambers.

On a **Motion** made by Greer Garner and seconded by Banks Brown the DRB voted 7-0 to adjourn the February 2, 2017 meeting of the Mountain Village Design Review Board at 1:15 p.m.

Respectfully Submitted,

Glen Van Nimwegen
Director



TO: Design Review Board
FROM: Sam Starr
FOR: Meeting of March 2, 2017
DATE: February 23, 2017
RE: Consideration of a Design Review application for a new single-family dwelling on Lot 165R, 22 Cortina Drive

PROJECT GEOGRAPHY:

Legal Description: Lot 165R
Address: 22 Cortina Drive.
Applicant/Agent: Alpine Planning, LLC & Tommy Hein Associates
Owner: David H Ezell Living Trust
Zoning: Multi-Family
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: 0.44 acres
Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Multi-Family

ATTACHMENTS:

- Exhibit A: Narrative
- Exhibit B: Plan Set

BACKGROUND:

A Conceptual Work Session for this project was held on January 5, 2017. The applicant has submitted an application in accordance with the provisions of Section 17.4.6 of the Community Development Code (CDC) for Design Review of a new single family residence. The proposed project consists of a 3,268 square foot single-family home and an 831 square foot garage/mechanical space located on lot 165R, Unit 22.

PROJECT SUMMARY:

CDC Provision	Requirement	Proposed
Maximum Building Height	48' maximum +5' for appurtenances	40' 8.5"
Maximum Avg Building Height	48' maximum	24.09'
Maximum Lot Coverage	65% maximum	16.2%
General Easement Setbacks		
North	16' General Easement	34' from GE
South	16' General Easement	4' from GE
East	16' General Easement	11 ' from GE
West	16' General Easement	0.5' from GE
Roof Pitch		
Primary	6:12 to 12:12	3:12; 12:12
Secondary	4:12 unless specific approval	3:12; 5:12
Exterior Material		
Stone	35%	40.27%
Wood	25% (No requirement)	10/74%
Windows/Doors	40% maximum for windows	17.95%
Metal Accents	Specific Approval	28.35%
Parking	2 enclosed and 2 non-tandem	2 Garage + 2 Surface

ANALYSIS:**17.3.12.C BUILDING HEIGHT LIMITS**

Applicant has stated that the maximum building height will be 40'-8.5", and the average building height is 24"-10". Both of these measurements are compliant with the Community Development Code.

17.5.5 BUILDING SITING DESIGN

Lot 165R is a 0.44 acre semicircular lot that has significant northern facing slopes which exceed 30% in grade. In addition to steep grades, this property abuts Cortina Drive on three sides. The proposed building is north facing to capture the views of the Sneffels Mountain Range, and to provide privacy from southern neighbors. The applicant is also proposing to bring the driveway up from the western portion to minimize the need for substantial retaining walls, and have the flattest possible driveway. All proposed improvements on the lot are outside of the General Easements, but due to the close proximity of the western stairs, a footing survey will be required prior to pouring concrete. This is a condition of approval.

17.5.6 BUILDING DESIGN**Building Form and Exterior Wall Form**

The proposed form and massing demonstrate a heavy, grounded base.

Roof Forms

The CDC allows for primary roof pitches to be between 6:12 and 12:12 and be gable in form, and secondary roofs will not have pitches less than 4:12 and be either gable or shed in form. The proposed roof forms are a combination of a primary "asymmetrical gable" and 4 sheds. The primary asymmetrical gable has a 3:12 and 12:12 pitch, and the secondary shed roofs have 3:12 pitches. Each demonstrates sloped planes, and varied ridgelines pursuant to current and pending development codes. Nevertheless, variations will be needed to allow primary roof forms under 6:12, and secondary roof pitches under 4:12.

Exterior Wall Materials

The exterior walls consist of 40.27% stone veneer; 20.26% 6" vertical steel siding; 10.74% timber; and 17.95% fenestration (with aluminum clad wood framing). The northern elevation includes two windows that are 49 square feet. One gallery window is allowed by code, but DRB approval will be needed for the second window that exceeds the code maximum of 40 sq. ft. The total fenestration for the northern elevation is 21.51%, which is code compliant. The roofing material proposed is bonderized standing seam metal.

Building Design Variations and Specific Approvals

- The applicant is seeking specific approval for the following design variations pursuant to CDC Section 17.4.11(E)(5):
 1. Proposed primary and secondary shed roofs with 3:12 pitches as outlined in CDC Section 17.5.6.(C)(2)(a, b)
 2. Proposed driveway grade exceeding the maximum grade of 8% as outlined in CDC Section 17.6.6(A)(4)(a)(b)
 3. Proposed fenestration to exceed maximum uninterrupted glass area of 40 sq. ft. as outlined in CDC Section 17.5.6(G)(2)(a)
 4. Proposed flat chimney cap instead of code required arched chimney cap as outlined in CDC Section 17.5.6(D)(2)
 5. Proposed siting of home that does not have south walls open to sun and views as outlined in CDC Section 17.5.6(G)(1)(b)
 6. Proposed driveway exceeds maximum grade of 8% as outlined in CDC Section 17.6.6(B)(4).
 7. Proposed lighting that is not downward facing as outlined in CDC Section 17.5.12(E)(1)
- Section 17.4.11(E) (5) (e) and (f) states:

(e) The following criteria shall be met for the review authority to approve a design variation development:

- i. The design variation is compatible with the design context of the surrounding area, and provides for a strong mountain vernacular design.
- ii. The design variation is consistent with the town design theme;
- iii. The strict development application of the Design Regulation(s) would prevent the applicant or owner from achieving its intended design objectives for a project;
- iv. The design variation is the minimum necessary to allow for the achievement of the intended design objectives;
- v. The design variation is consistent with the purpose and intent of the Design Regulations;
- vi. The design variation does not have an unreasonable negative impact on the surrounding neighborhood; and
- vii. The proposed design variation meets all applicable Town regulations and standards.

(f) Cost or inconvenience alone shall not be sufficient grounds to grant a design variation.

17.5.7 GRADING AND DRAINAGE PLAN

The applicant has provided a grading and drainage plan prepared by Alpine Land Consulting, LLC for the proposed development. Positive drainage away from the structures has been

provided with all disturbed areas and drainage swales to have final grades of 2:1 or flatter.

17.5.8 PARKING REGULATIONS

There are 2 enclosed parking spaces and 2 exterior spaces proposed. All parking spaces are completely located within the property boundaries. The total amount of snowmelt proposed is 739.6 square feet, which is under the 1000 square foot maximum.

17.5.9 LANDSCAPING REGULATIONS

In addition to the existing vegetation, the proposed landscape plan shows an addition of 3 Dwarf Colorado Spruce and 7 Quaking Aspen, as well as 2 gardening beds. All plantings will need to be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

Landscaping Type	Minimum Size
Deciduous Trees –Single stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.
Shrubs	5 gallon or larger massing of smaller shrubs

A formal irrigation plan has been submitted that shows a drip system for the new trees, and a backflow prevention device.

17.5.11 UTILITIES

All shallow utilities are proposed to be run from the north east corner to existing lines, and the sanitary sewer is proposed to run southeast to Cortina Drive. Public Works requests that all utilities be field located by the contractor prior to construction. Applicant also proposes that both the indoor and outdoor fireplaces be gas-fueled.

17.5.12 LIGHTING REGULATIONS

The proposed lighting plan includes 18 sconces, 3 accent lights and 13 recessed cans. Locations include egress, auto court, and deck and patio areas. Lighting is permitted in all proposed locations; however, the DRB should determine if these are appropriate for the design and lighting location since many of the lights are on the green roof above the garage. Additionally the 3 identified accent lights have the ability to rotate 355 degrees, and CDC 17.5.12E requires that the lights be down facing. The code also prohibits architectural lighting, and these lights, if facing upward, can be used as such.

17.6.6.B DRIVEWAY STANDARDS

Although the driveway entry has slopes less than 5%, portions of the driveway between the entry and auto court exceed the maximum 8% and will need specific approval. The Telluride Fire Protection District has also reviewed and approved this driveway.

17.7.19 CONSTRUCTION MITIGATION

All construction staging is within the lot boundaries and is compliant with the Community Development Code.

Potential Variations and Specific Approvals

- Primary and secondary roof pitches of 3:12;
- One window containing glass area of 49 sq. ft;
- Driveway slope at 10%;
- Orientation is to have south walls be less open to sun and views;
- Flat chimney cap; and
- Use of accent lighting that rotates.

RECOMMENDATION:

Staff recommends the DRB approve the Design Review application for Lot 165R with the above variations, specific approvals and conditions with the following motion:

"I move to approve a Design Review Process development application for a new single-family residence on Lot 165R with the findings and conditions as set forth at the March 2, 2017 DRB meeting to include:

1. A survey of the footers will be provided prior to pouring concrete to determine that there are no encroachments into the GE.
2. A ridge height survey will be provided during the framing inspection to determine the building height is in compliance.
3. The residence shall have a monitored fire sprinkler system; and the numbers on the address monument shall be coated or outlined with material to cause them to be reflective.
4. Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.

22 Cortina

Design Review Process Project Narrative



BACKGROUND

The David H Ezell Living Trust (“**Owner**”) owns Unit 2, Cortina Land Condominiums located at 155 Cortina Drive (“**Property**”). The Owner intends to construct a new single-family dwelling on the Property starting in the spring of 2017.

The Property is vacant and is located on the north end of the interior development area of the Cortina Subdivision, with Cortina Drive looping and wrapping around the Property as it gains elevation to the upper lots in the subdivision. The Property is shown in Figure 1. The Property is located in the Multi-family Zone District.

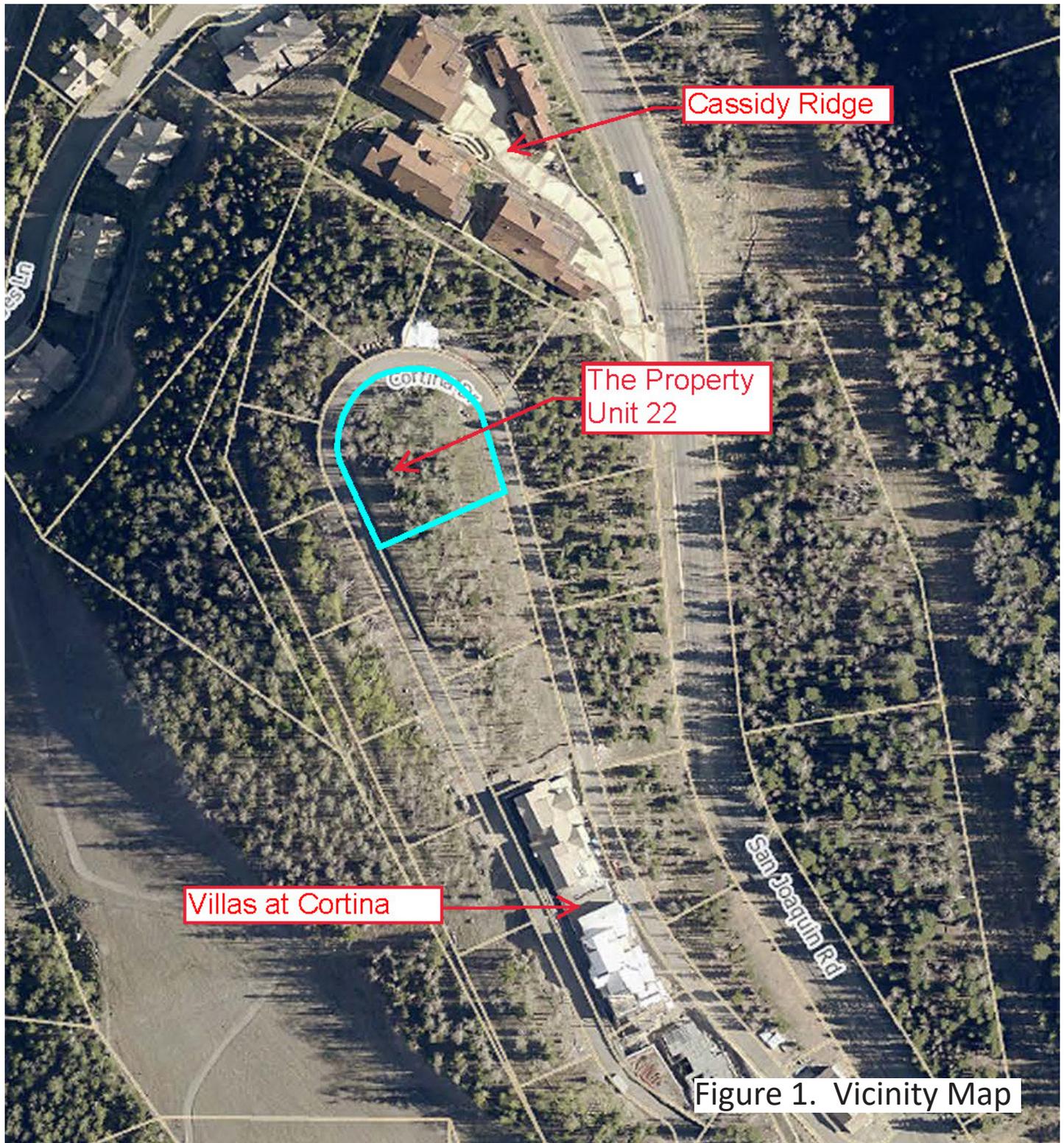


Figure 1. Vicinity Map

The Property has slopes 30 percent or greater, which combined with Cortina Drive wrapping around it, create a unique design context. This context has shaped the design as presented, with the goal to minimize slope disturbance as discussed below, maximize views, provide safe access and fit the new home on the site as sensitively as possible. This design has significantly limited the lot coverage to roughly one-third of that permitted for the zone district, with a large undisturbed area that will retain its natural character.

The proposed design of the home is based in Mountain Village’s and Telluride’s evolving mountain vernacular design with some European influences. The primary roof form is a shed roof form with two main shed roof forms creating a secondary asymmetrical gable form at the top of the roof. The primary shed roof forms on the western side of the home have a 3:12 pitch to match the primary roof, while a secondary shed on the east elevation has a 5:12 pitch. The gable end to the east has a 12:12 pitch while the gable end to the west has a 3:12 pitch. We feel the proposed roof has a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical alignments as allowed by current CDC and pending amendments to the Design Regulations.

Views from the Property are oriented primarily to the north San Sophia Ridge, with secondary views to the east and west. There are no southern views with Unit 21 to be developed in the future most likely impacting the limited southern views from the Property.

The proposed home is designed with a solid, heavy stone base that leads into the chimney with the upper floor consisting of glass, wood siding, metal siding, timber posts and beams. Roofing will be a bondurized standing seam metal roof. The home will also have outdoor living spaces to the north and west that are integrated into the home.

The Cortina Subdivision was approved by the Town in 2005 and permits 19 single-family, “detached condos” on Units 1-16 and 20-22, with multi-family development in the already constructed Villas at Cortina on Lot 18R and vacant 17R. Detached condos were an express allowed use in the town per the old Land Use Ordinance. The Mountain Village Community Development Code (“CDC”) does not list detached condos as an express permitted use, however, CDC Table 3-1 lists “single-family dwelling platted as a condominium dwelling unit” as a permitted use in the Multi-family Zone District. Table 1 outlines the geography for the Property.

Table 1. Geography and Zoning Requirements

Geography and Zoning Requirements		
	Existing/Requirement	Proposed
Legal Description	Unit 22, Cortina Land Condominiums	No Change
Address	155 Cortina Drive	No Change
Lot Size	0.44 acre; 19,166.4 square feet	No Change
Floor Area	No Floor Area Requirement	4,099.1 sq. ft.
Zone District	Multi-family Zone District	No Change
Maximum Building Height	48 feet + 5 feet for roof appurtenances	Approx. 40 feet
Average Building Height	48 feet	Approx. 40 feet
Lot Coverage	65%	16.2% (3,104.6 sq. ft.)
Setbacks		
	Front - East	16 feet
	Front - North	16 feet
	Front - West	16 feet
	Rear - South	16 feet
Parking	2 enclosed spaces + 2 unenclosed	2 garage + 2 surface

VARIATIONS AND SPECIFIC APPROVALS

The proposed single-family home will necessitate the following variations and specific approvals:

- Specific approval per CDC Section 17.5.6(C)(1)(a)(i) to have a primary shed roof form
- Variation to CDC Section 17.5.6(C)(2)(a) for roof pitches of less than 6:12 to allow for 3:12 pitches
- Specific approval to CDC Section 17.5.6(C)(2)(b) allow secondary roof forms to have a pitch of less than 4:12 to allow for 3:12 pitches.
- Specific approval to CDC Section 17.5.6(G)(2)(a) to allow uninterrupted glass area to exceed 40 sq. ft.
- Variation to CDC Section 17.5.6(D)(2) that requires an arched chimney cap to allow for a flat chimney cap
- Variation to CDC Section 17.5.6(G)(1)(b) to have the south walls be less open to sun and views.
- Specific approval to CDC Section 17.6.6(B)(4) to allow for driveway grades greater than 8 percent.

Variations

CDC Section 17.4.11(E)(5)(e) establishes the following review criteria for the Design Review Board (“DRB”) to approve a variation:

- i. The design variation is compatible with the design context of the surrounding area, and provides for a strong mountain vernacular design.
- ii. The design variation is consistent with the town design theme;
- iii. The strict development application of the Design Regulations(s) would prevent the applicant or owner from achieving its intended design objectives for a project;
- iv. The design variation is the minimum necessary to allow for the achievement of the intended design objectives;
- v. The design variation is consistent with purpose and intent of the Design Regulations;
- vi. The design variation does not have an unreasonable negative impact on the surrounding neighborhood; and
- vii. The proposed design variation meets all applicable Town regulations and standards.

We believe the variations to allow primary shed roof forms with a 3:12 pitch; secondary roof forms with a 3:12 pitch; a flat chimney cap; and views oriented to the north, east and west meet the criteria to approve a variation outlined above. The design variations are compatible with the design context of the surrounding area and provide a strong mountain vernacular design. We believe the design fits in perfectly with the more European Villas at Cortina and the more modern design on Unit 14. Mountain Village has several recent designs that are a part of the evolving local mountain vernacular, with the development community and community desiring change to allow for the continuing evolution of mountain modern design in Mountain Village and Telluride Region.

The Town amendments to the Design Regulations are supportive of the requested variations, with a new roof design requirement to have “...multiple forms that emphasize sloped planes, varied ridgelines and vertical alignments”. The proposed amendments to the Design Regulations also allow for non-arched chimney caps.

We believe that the proposed design variations are consistent with the Town Design Theme because the building design is sensitive to the building location, access, views, solar gain, tree preservation and visual impacts to the design context of the surrounding neighborhood development. The design provides a simple massing that steps with the steep topography of the Property. The design also provides a solid, heavy grounded base that will withstand the high alpine conditions. The design also provides for sustainable materials with stone, wood, metal and glass, with natural colors that will blend into the site.

The strict application of the Design Regulations would prevent Tommy Hein’s design objectives to create a more modern design that is based in the evolving mountain vernacular of the Telluride Region. The design variations are the minimum necessary to achieve the design objectives, and are consistent with the Design
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Regulations Purpose and Intent. The Design Regulations will not have an unreasonable or negative impact on surrounding properties in the surrounding neighborhood. Last, the design variations will meet all applicable Town regulations and standards, especially the pending amendments to the Design Regulations.

Specific Approvals

Primary Shed Roof Forms With a 3:12 Pitch and Secondary Roof Forms with 3:12 Pitch

The design has primary shed roof forms with a 3:12 pitch so specific approvals are needed to achieve the design objectives for the development. CDC Section 17.5.6(C)(1)(a)(i) states:

“Other primary and secondary roof forms may be approved by the DRB as a specific approval consistent with the roof pitch requirements as set forth herein, and provided the Town design theme is met.”

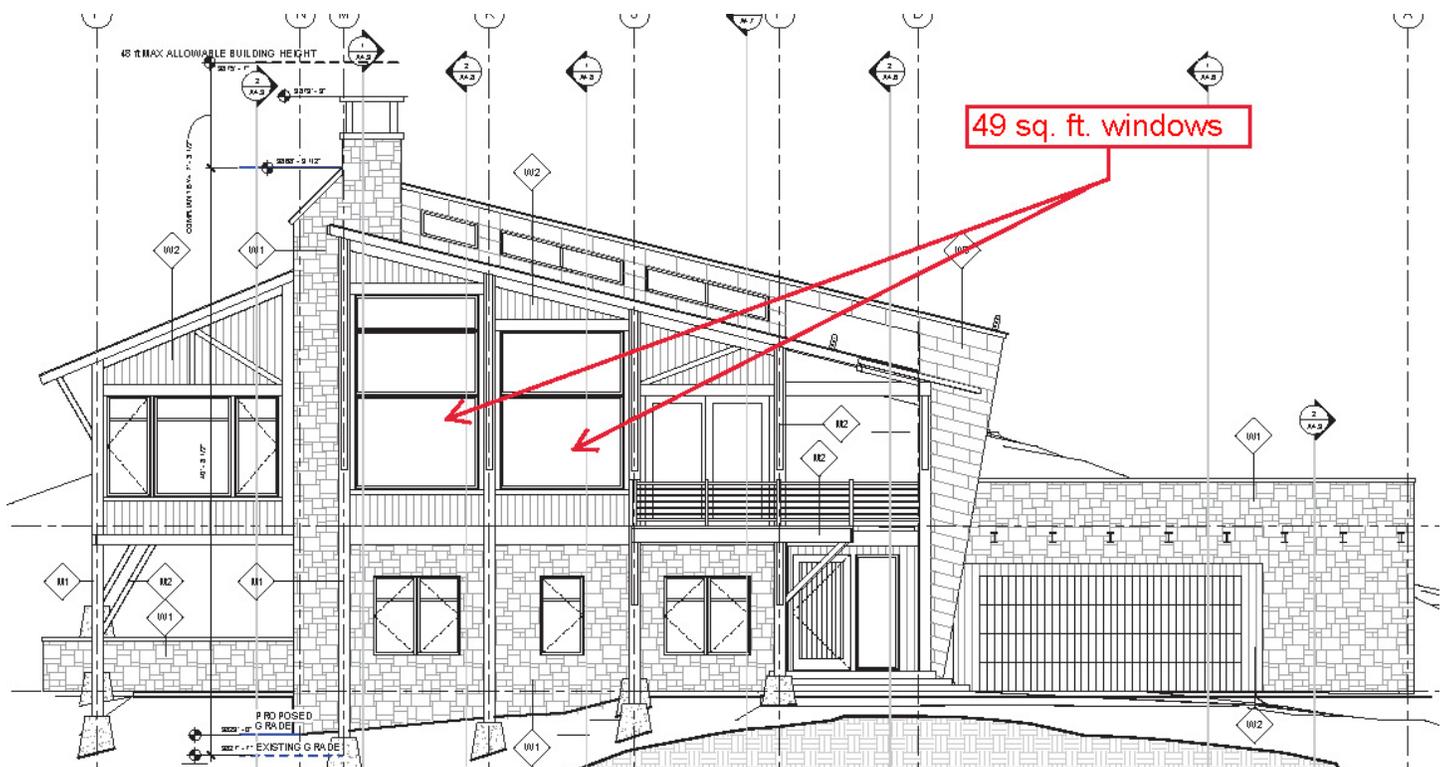
The specific approvals to allow the proposed roof design and roof pitch are also in line with the pending amendments to the Design Regulations that allow roofs to have “a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical alignments”. We believe the roof forms provide the desired roof form composition while also clearly meeting the Design Theme.

Uninterrupted Glass Area Greater Than 40 Square Feet

The design of the home has incorporated two 49 square foot windows into the north elevation in order to capture the main views from the living room to the San Sophia Ridge. This design is integral to the Owner’s desire to make the surrounding environment the focal point of the integrated outdoor and indoor living spaces. This design is also consistent with the pending amendments to the CDC that will not require a specific approval for window areas over 40 sq. ft., with the new window standard stating:

“Window design must be responsive to the energy code and site conditions. Each window wall composition will be evaluated on the basis of whether it is an integral part of the structure’s complete design.”

We believe that the overall window design is integral to the overall design and wall composition of the structure, maximizing window fenestration on the north east and west facades, and limiting on the south due to the overall design and the future home siting on Unit 21 in the future.





Driveway Grade Greater Than Eight Percent

The Property has a steep topography as discussed in the Steep Slope Regulation section below. This existing condition necessitates a driveway grade of 10 percent. The entry to the driveway has slopes less than 5 percent as required by the CDC Driveway Regulations, and the auto-court by the home has a grade of 1.4 to 2.2 percent. The driveway in between the entry grade and auto-court grade is 10% to connect the gentler sloping driveway entry and auto-court. The Telluride Fire Protection District has reviewed and approved the driveway design.



LOT COVERAGE & FLOOR AREA CALCULATIONS

STANDARDS	ALLOWED	PROPOSED
LOT COVERAGE		
GROSS LOT AREA (S.F. AND ACREAGE)	< 40% LOT COVERAGE	0.44 ACRES= 19,166.4 s.f. LOT COVERAGE= 3,104.6 s.f. COVERAGE %= 16%
LOT COVERAGE	< 40%	(16% IS 24% BELOW THE ALLOWABLE 40%)
FLOOR AREA CALCULATIONS		
		FLOOR AREA TO EXTERIOR FACE OF WALLS: LOWER LEVEL= 2,159.7 s.f. UPPER LEVEL= 1,939.4 s.f. GROSS AREA= 4,099.1 s.f. LIVABLE AREA= 3268.0 s.f. (SEE A2.0)
MISC REQUIREMENTS		
BUILDING SETBACKS	16FT.	N=50' S=18' E=24' W=16.5'
BUILDING HEIGHT		
- MAXIMUM	- 48+5	- 40 FT +/-
- AVERAGE	- 48+5	- 40 FT +/-
NUMBER OF UNITS BY TYPE	- 1 RESIDENTIAL	- 1 RESIDENTIAL
PARKING SPACES		
- ENCLOSED	- 2 ENCLOSED	- 2 ENCLOSED
- SURFACE	- 2 SURFACE	- 2 SURFACE
SNOWMELT AREA	- 1000.0 S.F.	- 739.6 SHOWN (COMPLIANT BY 260 S.F.)
EXTERIOR MATERIALS	- SEE A3.0	- SEE A3.0

ZONING CODE SUMMARY

ZONING	- SINGLE FAMILY RESIDENTIAL
BUILDING CODE	- IRC-2013
DESCRIPTION	- 2.0 STORY
OCCUPANCY CLASSIFICATION	- IRC 1&2
AUTOMATIC FIRE SPRINKLERS	- NFPA 13D- SPRINKLERED GREATER THAN 3,600 S.F.
FIRE RESISTIVE RATING	- N.A.
EXIT ENCLOSURE RATING	- N.A.
ELEVATOR SHAFT	- N.A.

GENERAL NOTES

CONTRACT DOCUMENTS

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED

ORGANIZATION

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: PLANNING & REGULATORY (A SHEETS) CIVIL DRAWINGS (C SHEETS) LANDSCAPE DRAWINGS (L SHEETS) ARCHITECTURAL DRAWINGS (A SHEETS) INTERIOR DRAWINGS (I SHEETS) STRUCTURAL DRAWINGS (S SHEETS) MECHANICAL DRAWINGS (M SHEETS) ELECTRICAL (E SHEETS) AUDIOVISUAL DRAWINGS (LV SHEETS) LIGHTING DRAWINGS (LP SHEETS)

CODE COMPLIANCE

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3

REGULATORY COMPLIANCE

THE CONTRACTOR SHALL ENSURE THAT THE WORK AND CONSTRUCTION ADMINISTRATION PROCESSES COMPLY WITH ALL APPLICABLE GOVERNMENTAL AND PRIVATE REGULATIONS, INCLUDING BUT NOT LIMITED TO THE TOWN OF TELLURIDE LAND USE CODE (LUC), DESIGN GUIDELINES, HISTORIC AND ARCHITECTURAL REVIEW COMMISSION (HARC) CONDITIONS, CERTIFICATES OF APPROPRIATENESS (CAs) AND IMPACT STATEMENTS; THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE (CDC) AND DESIGN REVIEW BOARD (DRB) CONDITIONS; SAN MIGUEL COUNTY BUILDING REGULATIONS; AND ALL COVENANTS, CONDITIONS & RESTRICTIONS, DECLARATIONS, ARCHITECTURAL GUIDELINES AND RULES AND REGULATIONS ESTABLISHED BY ANY PRIVATE OWNERS ASSOCIATIONS THAT GOVERN THE PROJECT SITE

INTENT

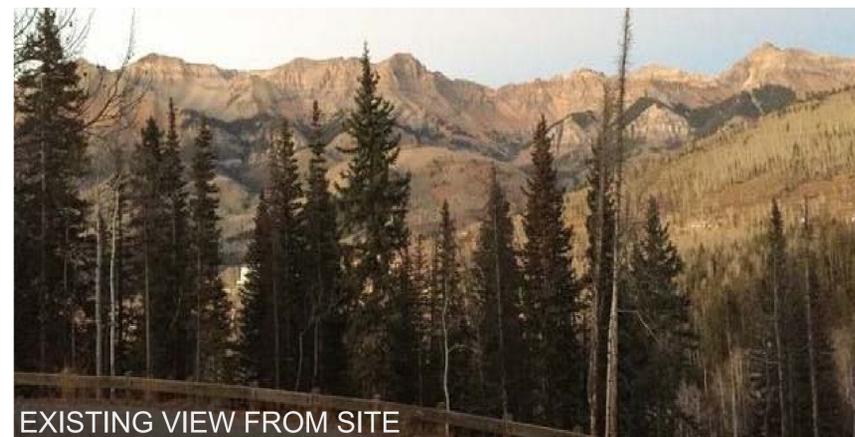
THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN

COORDINATION

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS OF THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AUDIOVISUAL AND LIGHTING DRAWINGS.

Sheet List

Sheet Number	Sheet Name
A0.1	PROJECT INFORMATION SHEET
A0.2	EXTERIOR 3D VIEWS
A1.0	SITE PLAN- ARCHITECTURAL
A1.1	SITE PLAN- LANDSCAPE
A1.2	SITE PLAN- CONSTRUCTION MANAGEMENT
A1.3	BUILDING HEIGHT DIAGRAM
LT-0.1	LOWER LEVEL SITE LIGHTING PLAN
LT-0.2	UPPER LEVEL SITE LIGHTING PLAN
LT-0.3	LIGHTING SPECIFICATIONS
A2.0	FLOOR AREA DIAGRAMS
A2.1	LOWER LEVEL FLOOR PLAN
A2.2	UPPER LEVEL FLOOR PLAN
A2.3	ROOF PLAN
A3.0	EXTERIOR MATERIAL CALCULATIONS
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A3.4	EXTERIOR ELEVATIONS
A4.1	BUILDING SECTIONS
C1.0	TOPOGRAPHIC SURVEY
C1.6	DRB GRADING PLAN
C1.7	DRB UTILITY PLAN
C1.8	DRB DRAINAGE PLAN



EXISTING VIEW FROM SITE

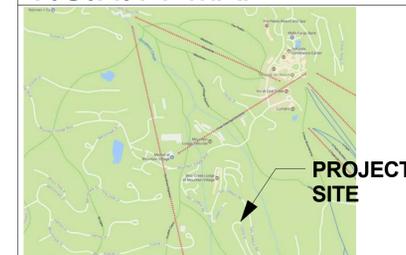


NORTH ELEVATION



ENTRY COURT ELEVATION

VICINITY MAP



PROJECT SITE

PROJECT TEAM

OWNER:

DAVID H. EZELL LIVING TRUST
c/o TOMMY HEIN ARCHITECTS

ARCHITECT:

TOMMY HEIN ARCHITECTS
TOMMY HEIN
108 S. OAK ST- P.O. BOX 3327
TELLURIDE, CO 81435
p. 970.728.1220 f. 970.728.1294
TOMMY@TOMMYHEIN.COM

PROJECT PLANNER:

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p. 970.964.7927
CHRIS@ALPINEPLANNINGLLC.COM

CONTRACTOR:

TBD
TELLURIDE, CO 81435
p. 970.XX f. 970.XX

INTERIORS:

TRIBE INTERIOR DESIGN
SLOAN PRESSLY
P.O. BOX 3292
TELLURIDE, CO 81435
p. 970.688.0505

LANDSCAPE:

TBD

CIVIL:

ALPINE LAND CONSULTING, LLC
GREGG ANDERSON
P.O. BOX 234
RICO, CO 81332
970.708.0326
GREGG@ALPINELANDCONSULTING.COM

STRUCTURAL:

COLORADO STRUCTURAL
MIKE ARBENY
315 BELLEVUE, SUITE 2B
P.O. BOX 2544
CRESTED BUTTE, CO 81224
970.349.5922
MIKE@COLORADOSTRUCTURAL.COM

MECHANICAL, ELECTRICAL, PLUMBING:

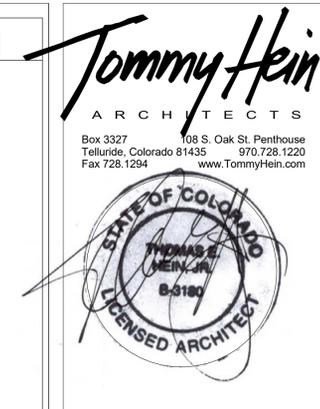
HUGHES CONSULTING
ENGINEERING
DIMITRI MERRILL
220 W. COLORADO AVE.
TELLURIDE, CO 81435
p. 970.239.1949
DIMITRI@HCE-PA.COM

LIGHTING:

ROBERT SINGER & ASSOCIATES INC.
ROBERT SINGER
P.O. BOX 8929
ASPEN, CO 81621
p.970.963.5692 f.970.963.5684
RSINGER@ROBERTSINGERLIGHTING.COM

SURVEYOR:

SAN JUAN SURVEYING
CHRISTOPHER KENNEDY
102 SOCIETY DR
TELLURIDE, CO 81435
p.970.728.1128 f.970.728.9201
OFFICE@SANJUANSURVEYING.NET



Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

LOT 22 CORTINA
155 CORTINA DRIVE

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PROJECT INFORMATION SHEET

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A0.1



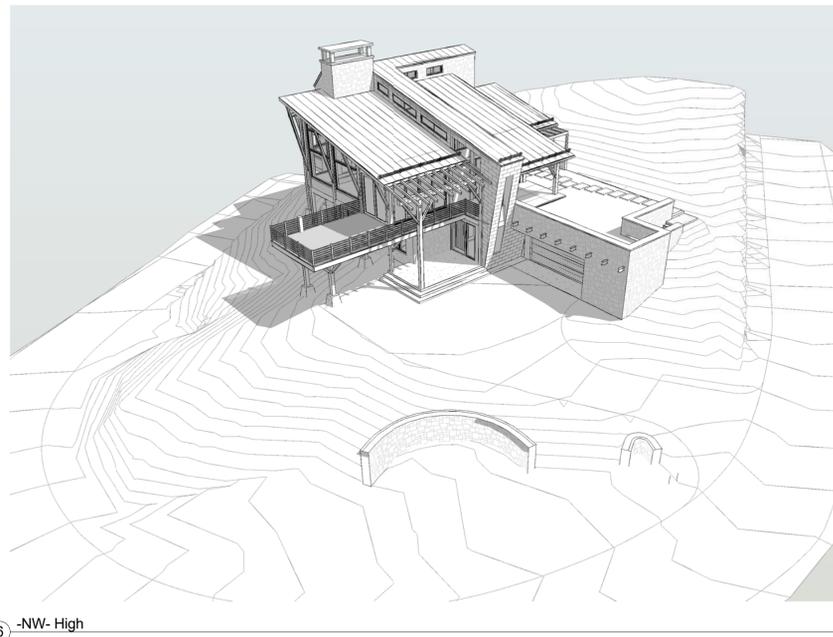
5 -NE- High



2 North East View



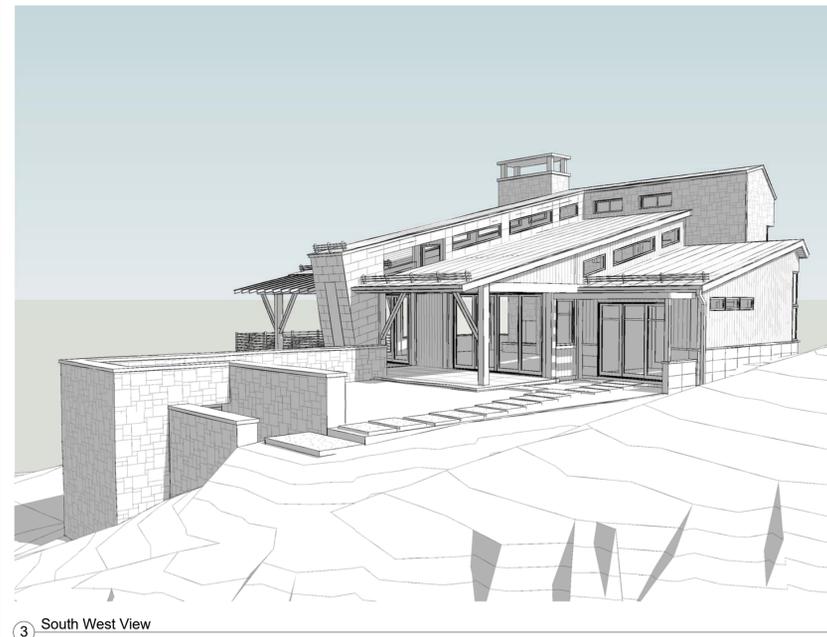
1 North West View



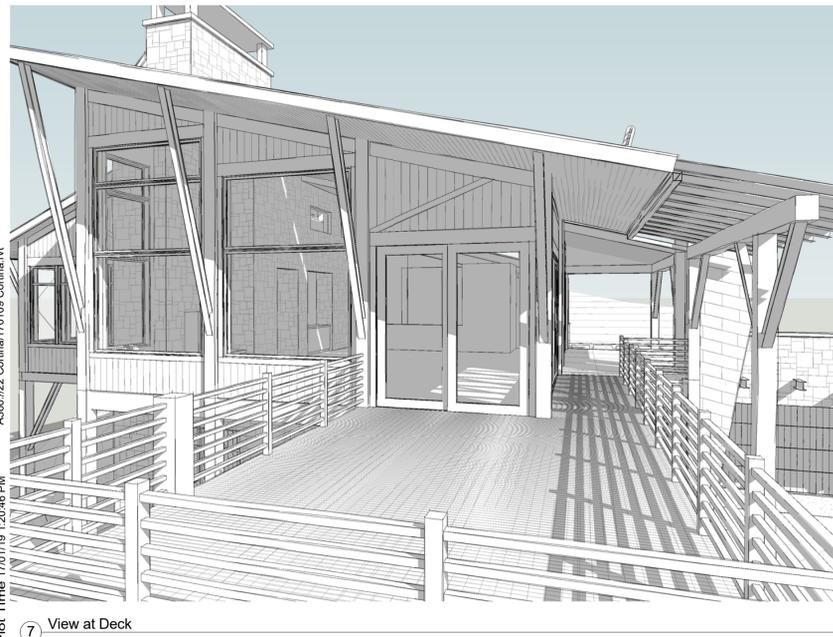
6 -NW- High



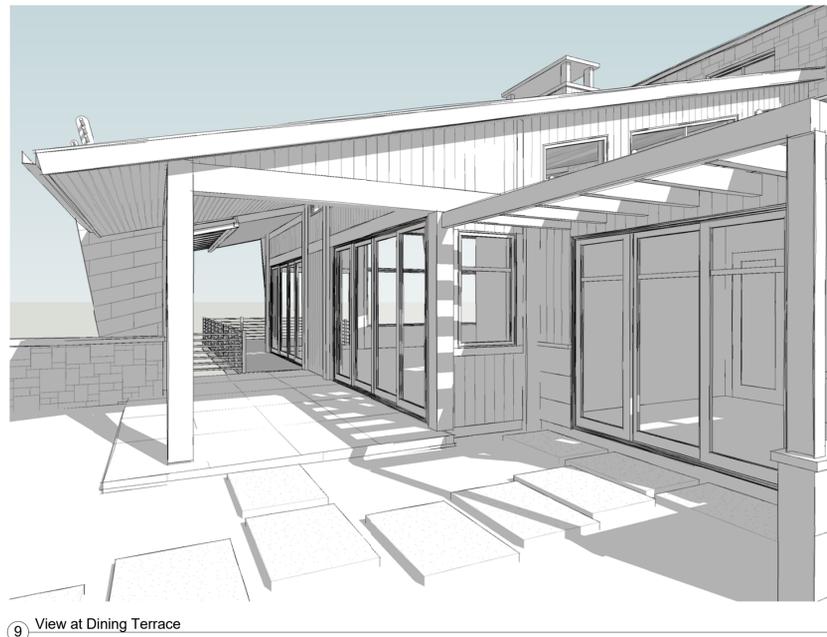
4 South East View



3 South West View



7 View at Deck



9 View at Dining Terrace



8 View at Entry

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ARCHITECTS
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EXTERIOR 3D VIEWS

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A0.2

Plot Time: 1/10/19 4:20:46 PM
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Submissions

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CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

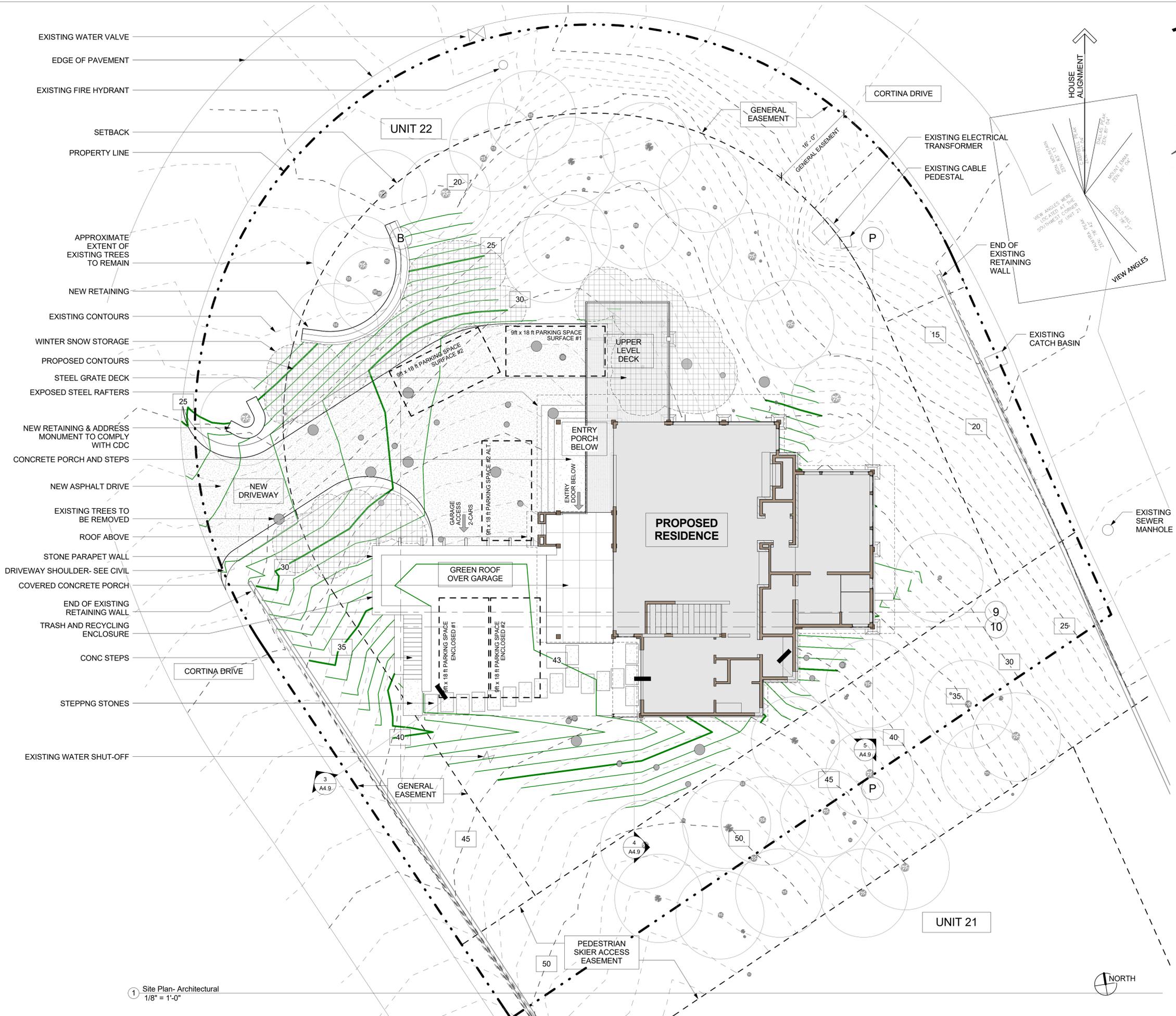
EZELL RESIDENCE

LOT 22 CORTINA
155 CORTINA DRIVE

SITE PLAN- ARCHITECTURAL

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A1.0



- EXISTING WATER VALVE
- EDGE OF PAVEMENT
- EXISTING FIRE HYDRANT
- SETBACK
- PROPERTY LINE
- APPROXIMATE EXTENT OF EXISTING TREES TO REMAIN
- NEW RETAINING
- EXISTING CONTOURS
- WINTER SNOW STORAGE
- PROPOSED CONTOURS
- STEEL GRATE DECK
- EXPOSED STEEL RAFTERS
- NEW RETAINING & ADDRESS MONUMENT TO COMPLY WITH CDC
- CONCRETE PORCH AND STEPS
- NEW ASPHALT DRIVE
- EXISTING TREES TO BE REMOVED
- ROOF ABOVE
- STONE PARAPET WALL
- DRIVEWAY SHOULDER- SEE CIVIL
- COVERED CONCRETE PORCH
- END OF EXISTING RETAINING WALL
- TRASH AND RECYCLING ENCLOSURE
- CONC STEPS
- STEPPNG STONES
- EXISTING WATER SHUT-OFF

1 Site Plan- Architectural
1/8" = 1'-0"

PLANT SCHEDULE

NEW TREES TO BE PLANTED

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PICEA PUNGENS SESTER'S DWARF	DWARF COLORADO SPRUCE	4-5 FT	3
POPULUS TREMULOIDES	QUAKING ASPEN	10'-20'	7

TREE PLANTING OPTION - REMOVE AND STORE SELECTED TREES FOR REPLANTING.

LANDSCAPE GENERAL NOTES

- ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT.
- ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- PLANTED TREES SHALL BE STAKED WITH 4 FOOT METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
- MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS. SHREDDED CEDAR BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTED MATERIALS SHALL BE A NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEED LIST. LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH SECTION 17.7.9.C.6.g OF THE COMMUNITY DEVELOPMENT CODE REGARDING NOXIOUS WEEDS.
- NO TREES TO BE REMOVED OUTSIDE OF THE BUILDING ENVELOPE, EXCEPT AS REQUIRED FOR FIRE MITIGATION AND/OR AS DESIGNATED BY THE TOWN FORESTER.
- SEEDING WITH NATIVE GRASS SEED MIX, IF APPLICABLE, IS REQUIRED IN ALL DISTURBED AREA ON THE PERIMETER OF THE BUILDING SITE AND AT UTILITY AND ROAD CUTS.
 - NATIVE GRASS SEED MIX SHALL BE COMPOSED OF THE FOLLOWING:

WESTERN YARROW	5%	TALL FESCUE	10%
ARIZONA FESCUE	5%	HARD FESCUE	5%
CREeping RED FESCUE	10%	ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%	PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%	MOUNTAIN BROME	15%

SOIL PROTECTION NOTES

- PRIOR TO EXCAVATION, TOPSOIL SHALL BE STRIPPED AND STORED ON THE SITE OR IN A LOCATION APPROVED BY THE REVIEW AUTHORITY.
- GOOD QUALITY TOPSOIL SHALL BE REPLACED IN AREAS REQUIRING LANDSCAPING OR REVEGETATION.
- TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF FOUR INCHES (4").
- A SOIL AMENDMENT, SUCH AS FULLY COMPOSTED MANURE, SHALL BE ROTOTILLED INTO ALL AREAS THAT WILL BE SODDED OR SEEDED.
 - AMENDMENTS SHALL BE TILLED INTO THE SOIL TO A SIX TO EIGHT (6"-8") DEPTH.
 - THE RATE OF APPLICATION OF SOIL AMENDMENT SHALL BE THREE (3) CUBIC YARDS PER 1,000 SQUARE FEET.
- NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF WEED FREE MULCHES. ACCEPTABLE MULCHES ARE: STRAW, HYDRO-MULCH AND, WHEN NEEDED, BIODEGRADABLE EROSION-CONTROL NETTING.
 - NYLON NETTING IS PROHIBITED.

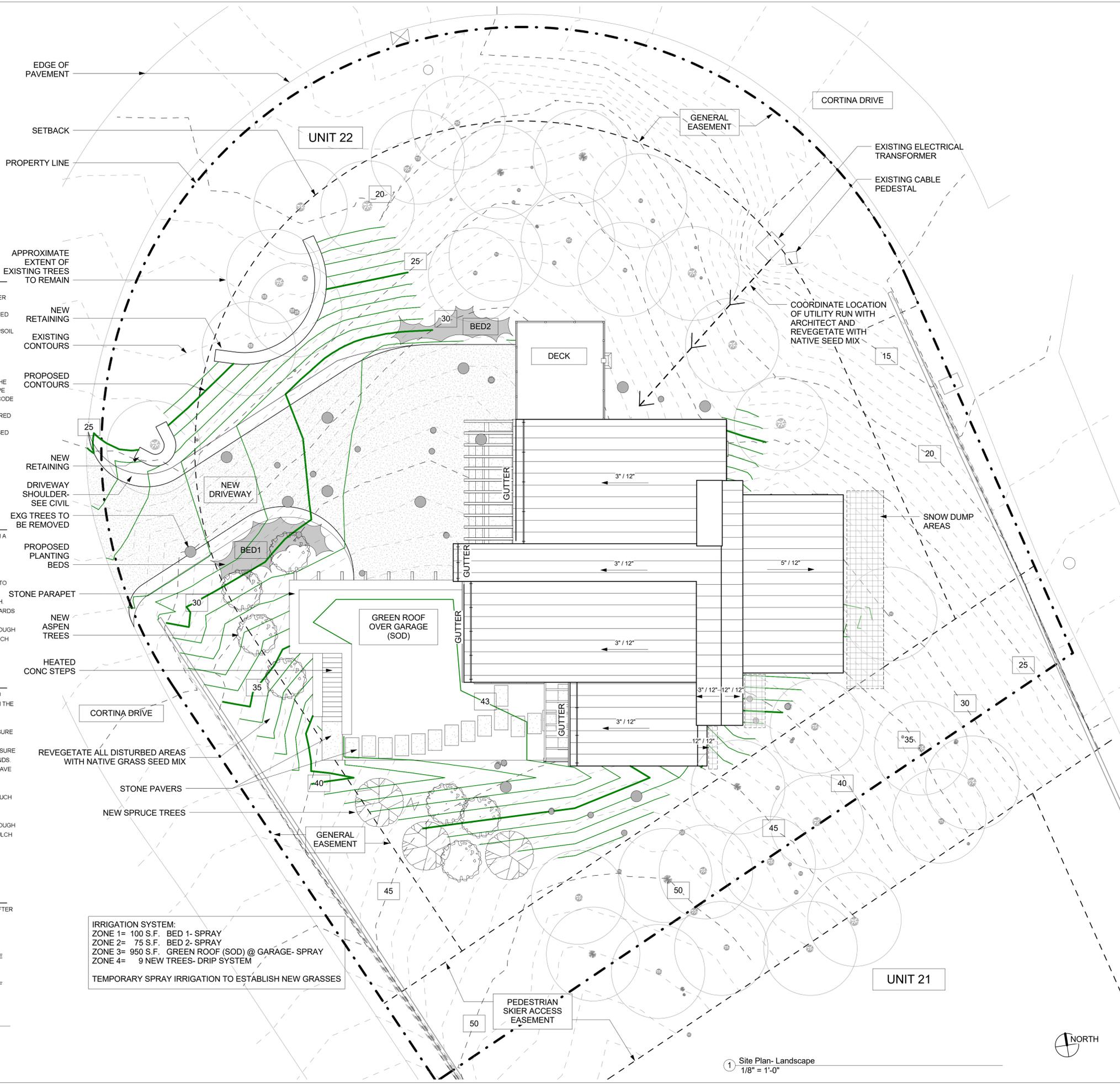
EROSION CONTROL NOTES

- TO THE EXTENT PRACTICAL, ROAD AND DRIVEWAY SHALL BE REVEGETATED WITHIN 30 DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE.
- UTILITY CUTS SHALL BE REVEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.
- EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OF RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.
- IN AREAS THAT ARE TO BE REVEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPE SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF THE SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED)
- NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION CONTROL NETTING.
- EROSION CONTROL NETTING WILL BE REQUIRED ON SLOPES 2:1 OR STEEPER.

IRRIGATION SYSTEM REQ'S

- A BACKFLOW PREVENTER BY A COLORADO LICENSED PLUMBER THAT IS INSTALLED AFTER RECEIVING A PLUMBING PERMIT FROM THE TOWN.
- INTERIOR AND EXTERIOR DRAIN VALVES AND AN INTERIOR DRAIN.
- HEAD-TO-HEAD OR DOUBLE COVERAGE.
- A MASTER CONTROL VALVE.
- A FLOW CONTROL DEVICE TO PREVENT WATER LOSS IN THE EVENT OF A BREAK IN THE IRRIGATION SYSTEM.
- SELF-SEALING HEADS TO REDUCE RUN OUT AFTER ZONE SHUTS DOWN.
- LOW-ANGLE SPRAY HEADS TO REDUCE WIND EFFECT AND MISTING ON AREAS OF TURF AND LOW-GROWING VEGETATION.

IRRIGATION SYSTEM:
 ZONE 1= 100 S.F. BED 1- SPRAY
 ZONE 2= 75 S.F. BED 2- SPRAY
 ZONE 3= 950 S.F. GREEN ROOF (SOD) @ GARAGE- SPRAY
 ZONE 4= 9 NEW TREES- DRIP SYSTEM
 TEMPORARY SPRAY IRRIGATION TO ESTABLISH NEW GRASSES



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 Telluride, Colorado 81435 970.728.1220
 Fax 728.1294 www.TommyHein.com

STATE OF COLORADO
 THOMAS E. HEIN, JR.
 8-0180
 LICENSED ARCHITECT

Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

LOT 22 CORTINA
 155 CORTINA DRIVE

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SITE PLAN- LANDSCAPE

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A1.1

Plot Time 17/01/19 12:29:53 PM A3691/22 Cortina17/01/19 Cortina.rvt

2 Landscape Notes
 12" = 1'-0"

1 Site Plan- Landscape
 1/8" = 1'-0"

STAGING NOTES

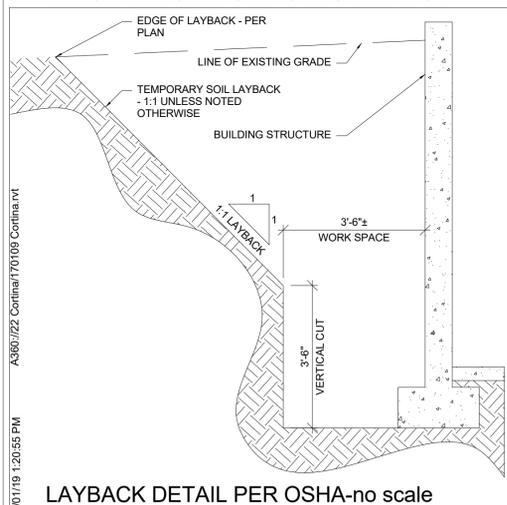
1. CONTOUR INTERVAL IS 1'-0".
2. CUT AND SLASH TO BE REMOVED FROM SITE.
3. PEDESTRIAN PROTECTION TO BE IMPLEMENTED WITH PROPER SIGNAGE AND HARD HAT REQUIREMENTS.
4. RECYCLING CONTAINERS TO BE PROVIDED FOR ALL RECYCLABLE MATERIALS.
5. LIMIT OF TREE REMOVAL TO BE WITHIN THE INDICATED AREA EXCEPT WHERE DESIGNATED AS "TREES TO REMAIN" WITHIN THE EXCAVATION LIMIT.
6. SILT FENCE TO BE OF GEO-TECHNICAL ENGINEER APPROVED MATERIAL BURIED 8" BELOW GRADE AND EXTENDING UP 12" ABOVE GRADE. MATERIAL ATTACHED TO PICKETS LOCATED 4'-0" ON CENTER.
7. ALL LIMITS OF EXCAVATION TO BE WITHIN PERIMETER OF SILT FENCE.
8. TREES TO REMAIN, AS DESIGNATED BY ARCHITECT, ARE TO BE PROTECTED THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. (SEE DETAIL THIS PAGE)
9. TREES TO BE REMOVED FOR FIRE MITIGATION WILL BE MARKED IN THE FIELD BY THE TOWN FORESTER AND THE ZONES SHOWN HEREON DO NOT BIND THE TOWN IN THE APPLICATION OF THE FIRE MITIGATION REGULATIONS.

SOIL PROTECTION NOTES

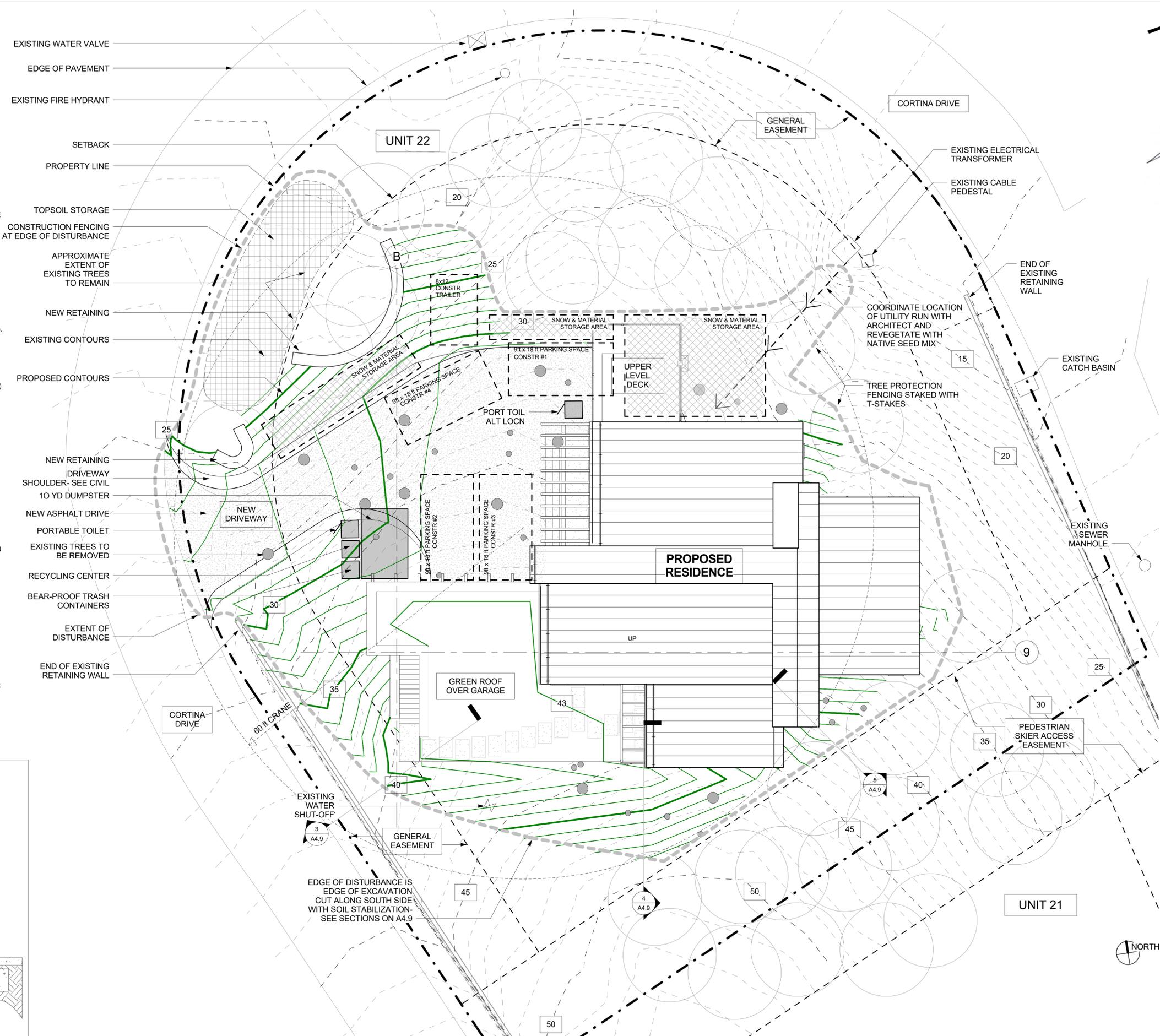
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 - 5.1. NYLON NETTING IS PROHIBITED.

EROSION CONTROL NOTES

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6. EROSION CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2 AND IN DRAINAGE SWALES. FOR ADDITIONAL INFORMATION SEE SHEET C2.



LAYBACK DETAIL PER OSHA-no scale



1 Site Plan- Construction Management
1/8" = 1'-0"



Submissions

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CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

LOT 22 CORTINA
155 CORTINA DRIVE

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SITE PLAN- CONSTRUCTION MANAGEMENT

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A1.2



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LOT 22 CORTINA
155 CORTINA DRIVE

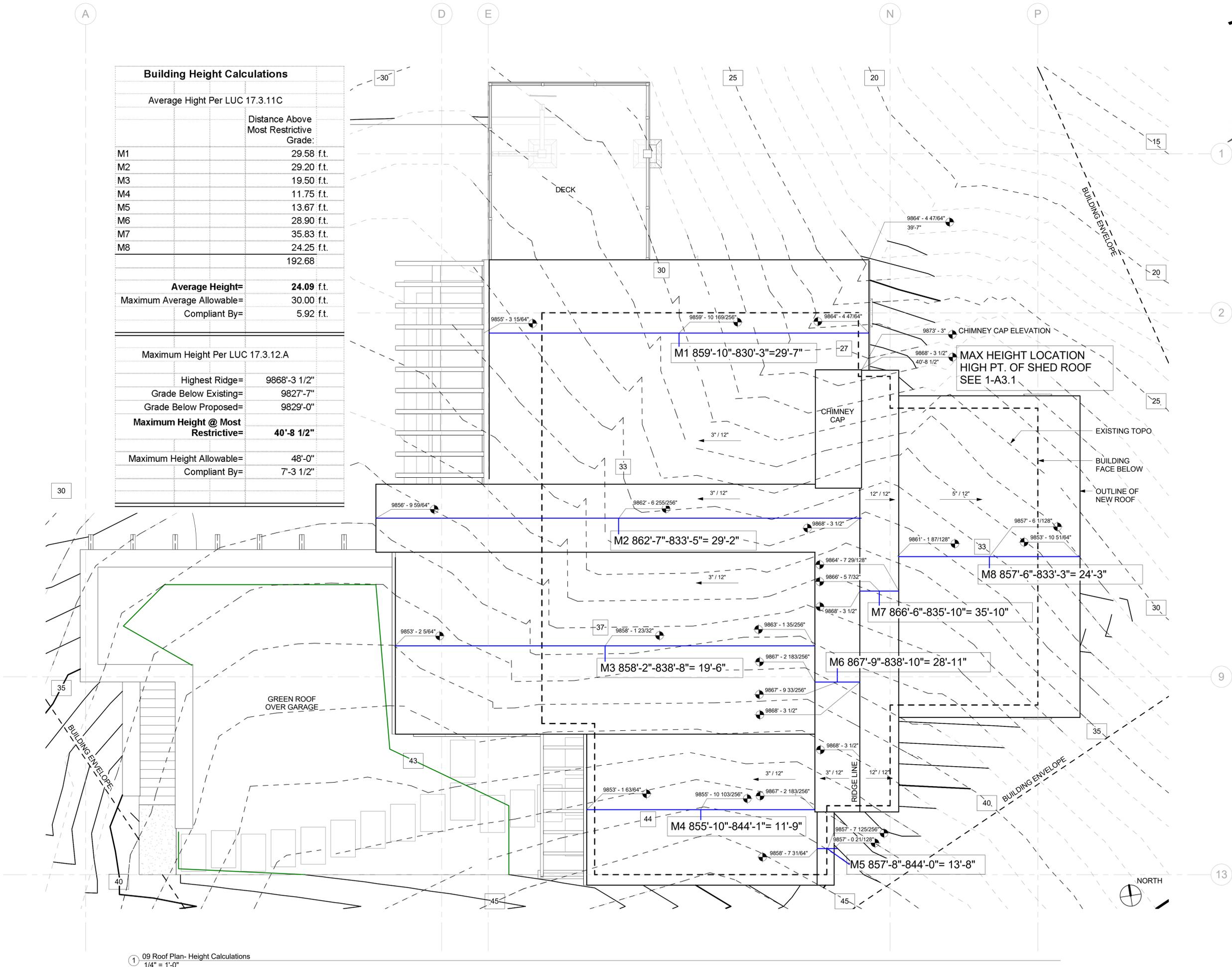
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BUILDING HEIGHT DIAGRAM

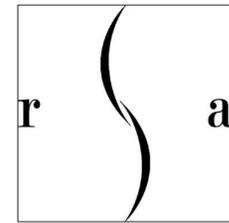
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AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A1.3

Building Height Calculations	
Average Hight Per LUC 17.3.11C	
	Distance Above Most Restrictive Grade:
M1	29.58 f.t.
M2	29.20 f.t.
M3	19.50 f.t.
M4	11.75 f.t.
M5	13.67 f.t.
M6	28.90 f.t.
M7	35.83 f.t.
M8	24.25 f.t.
	192.68
Average Height=	24.09 f.t.
Maximum Average Allowable=	30.00 f.t.
Compliant By=	5.92 f.t.
Maximum Height Per LUC 17.3.12.A	
Highest Ridge=	9868'-3 1/2"
Grade Below Existing=	9827'-7"
Grade Below Proposed=	9829'-0"
Maximum Height @ Most Restrictive=	40'-8 1/2"
Maximum Height Allowable=	48'-0"
Compliant By=	7'-3 1/2"



① 09 Roof Plan- Height Calculations
1/4" = 1'-0"



ROBERT SINGER & ASSOCIATES INC.

DESIGN CONSULTANTS
LIGHTING SPECIALISTS
Corporate Member
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Issue:
01-18-17
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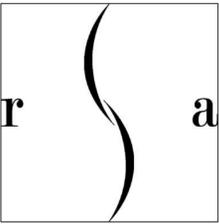
PROJECT
EZELL RESIDENCE
22 CORTINA
MOUNTAIN VILLAGE, CO
DESCRIPTION
UPPER LEVEL SITE LIGHTING PLAN

SCALE: 1/8" = 1'-0"
SHEET

LT-0.1



1 UPPER LEVEL SITE LIGHTING PLAN
LT-0.1 SCALE: 1/8"=1'-0"



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Issue:

01-18-17
DRB SUBMITTAL

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CONSTRUCTION**



PROJECT

EZELL RESIDENCE

22 CORTINA
MOUNTAIN VILLAGE, CO
DESCRIPTION
LOWER LEVEL SITE
LIGHTING PLAN

SCALE: 1/8" = 1'-0"
SHEET

LT-0.2



1 LOWER LEVEL SITE LIGHTING PLAN
LT-0.2 SCALE: 1/8"=1'-0"

Project Name: 22 Cortina
Submitted: 01/18/2017
Catalog #: E3S-LF-LH930-4-A-I; E3S-L-B-L-W
Lamp: 18W, 90 CRI, 3000°K

B1

3" LED ADJUSTABLE DOWNLIGHT

LED SOLUTIONS

LAMPING & OPTICS

TRIMS

HOUSING

ELEMENT
1800 Cedar Avenue, Suite 3000, Dallas, TX 75201-1007 | 1-800-453-6000 | 972-453-6000

Project Name: 22 Cortina
Submitted: 01/18/2017
Catalog #: E3S-LF-LH930-4-A-I; E3S-L-B-L-W
Lamp: 18W, 90 CRI, 3000°K

B1

3" LED ADJUSTABLE DOWNLIGHT

TRIMS

WOOD CEILING OPTION / FLANGELESS TRIMS

ADJUSTABLE TRIM ADAPTER

ELEMENT
1800 Cedar Avenue, Suite 3000, Dallas, TX 75201-1007 | 1-800-453-6000 | 972-453-6000

Project Name: 22 Cortina
Submitted: 01/18/2017
Catalog #: E3S-LF-LH930-4-A-I; E3S-L-B-L-W
Lamp: 18W, 90 CRI, 3000°K

B1

3" LED ADJUSTABLE DOWNLIGHT

GRIDS

TRIM

ELEMENT
1800 Cedar Avenue, Suite 3000, Dallas, TX 75201-1007 | 1-800-453-6000 | 972-453-6000

Project Name: 22 Cortina
Submitted: 01/18/2017
Catalog #: E3S-LF-LH930-4-A-I; E3S-L-B-L-W
Lamp: 18W, 90 CRI, 3000°K

B1

3" LED ADJUSTABLE DOWNLIGHT

REPLACEMENT OPTIC

ELEMENT
1800 Cedar Avenue, Suite 3000, Dallas, TX 75201-1007 | 1-800-453-6000 | 972-453-6000

Project Name: 22 Cortina
Submitted: 01/18/2017
Catalog #: ZXL16-SQ-12V-8W-HKLED-15-3K°K
Lamp: 8 W LED, Lumens, 3000°K

EXT1

HUSA Lighting Group

ZXL16-SQ

Area Accent - ZXL15 Series

Characteristics

Technical Data

Ordering Guide

ELEMENT
1800 Cedar Avenue, Suite 3000, Dallas, TX 75201-1007 | 1-800-453-6000 | 972-453-6000

Project Name: 22 Cortina
Submitted: 01/18/2017
Catalog #: ISL-ALED-3K°K°; PSA-60-12H-JB-1
Lamp: 3W, 41.4 Lumens, 3000°K LED

SL

IMPACT
ISL-ALED
RECESSED LUMINAIRE

DESCRIPTION

TECHNICAL

CONSTRUCTION

ELECTRICAL

HOUSING

LED

ORDERING INFORMATION (Luminaire)

LUCIFER
LUCIFER LIGHTING COMPANY

Project Name: 22 Cortina
Submitted: 01/18/2017
Catalog #: ISL-ALED-3K°K°; PSA-60-12H-JB-1
Lamp: 3W, 41.4 Lumens, 3000°K LED

SL

IMPACT
ISL-ALED
RECESSED LUMINAIRE

DESCRIPTION

TECHNICAL

CONSTRUCTION

ELECTRICAL

HOUSING

LED

ORDERING INFORMATION (Luminaire)

LUCIFER
LUCIFER LIGHTING COMPANY

Project Name: 22 Cortina
Submitted: 01/18/2017
Catalog #: ISL-ALED-3K°K°; PSA-60-12H-JB-1
Lamp: 3W, 41.4 Lumens, 3000°K LED

SL

POWER SUPPLY OPTIONS

UNIVERSAL BACK BOX ORDERING INFORMATION

MOUNTING BRACKET OPTIONS

LUCIFER
LUCIFER LIGHTING COMPANY

Project Name: 22 Cortina
Submitted: 01/18/2017
Catalog #: WS-W696-BZ
Lamp: 28 W LED, 1673 Lumens, 3000°K

XD1-1

BIG V - model WS-W696
LED Interior & Exterior Sconce

PRODUCT DESCRIPTION

FEATURES

ORDER NUMBER

EXAMPLE WS-W696-BZ

LUCIFER
LUCIFER LIGHTING COMPANY

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Issue:

01-18-17

DRB SUBMITTAL

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LUCIFER

PROJECT

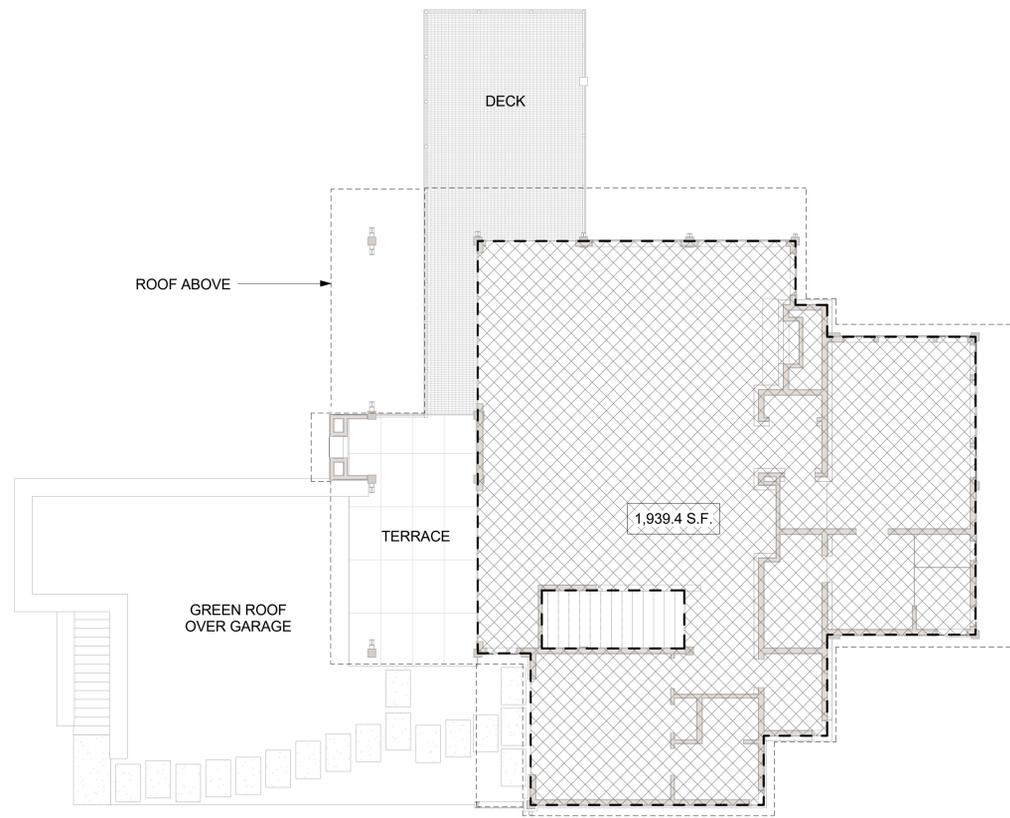
EZELL RESIDENCE

22 CORTINA MOUNTAIN VILLAGE, CO
DESCRIPTION

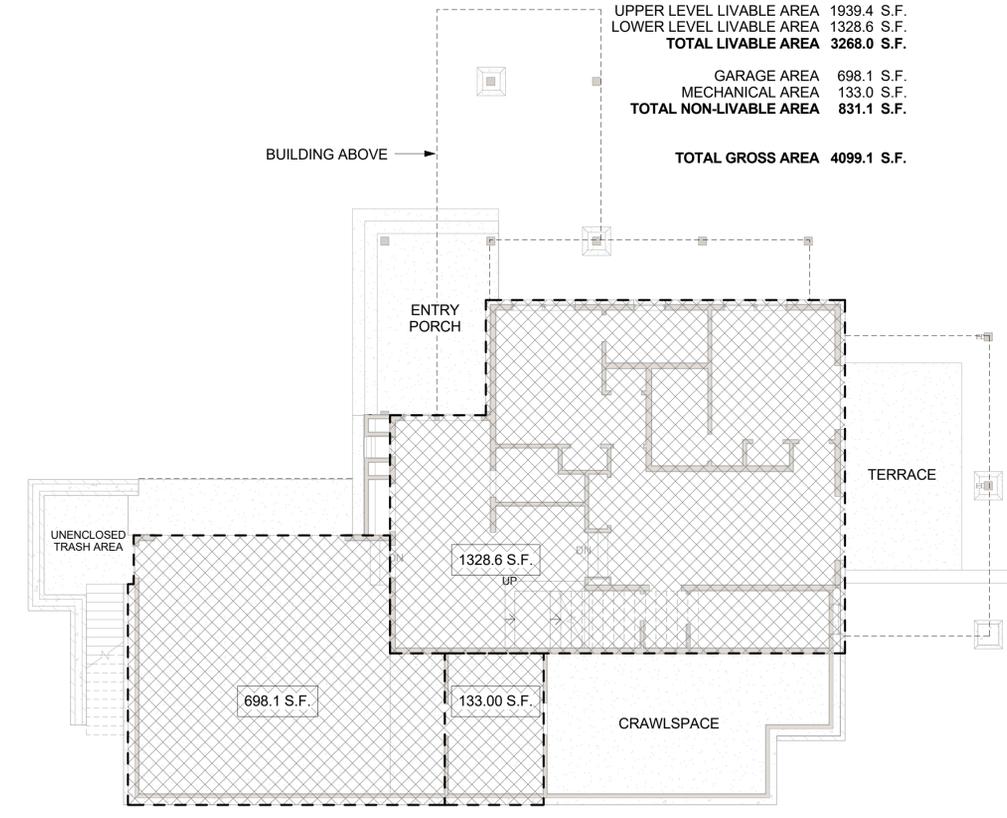
SPECIFICATIONS

SCALE: ---
SHEET

LT-0.3

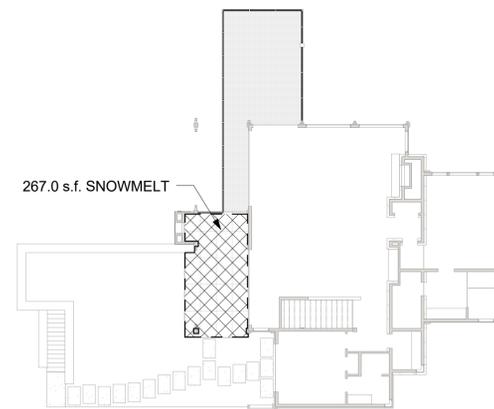


② Upper Level Floor Area
1/8" = 1'-0"

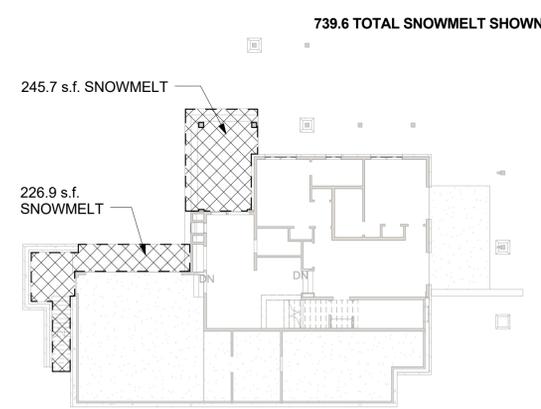


UPPER LEVEL LIVABLE AREA 1939.4 S.F.
 LOWER LEVEL LIVABLE AREA 1328.6 S.F.
TOTAL LIVABLE AREA 3268.0 S.F.
 GARAGE AREA 698.1 S.F.
 MECHANICAL AREA 133.0 S.F.
TOTAL NON-LIVABLE AREA 831.1 S.F.
TOTAL GROSS AREA 4099.1 S.F.

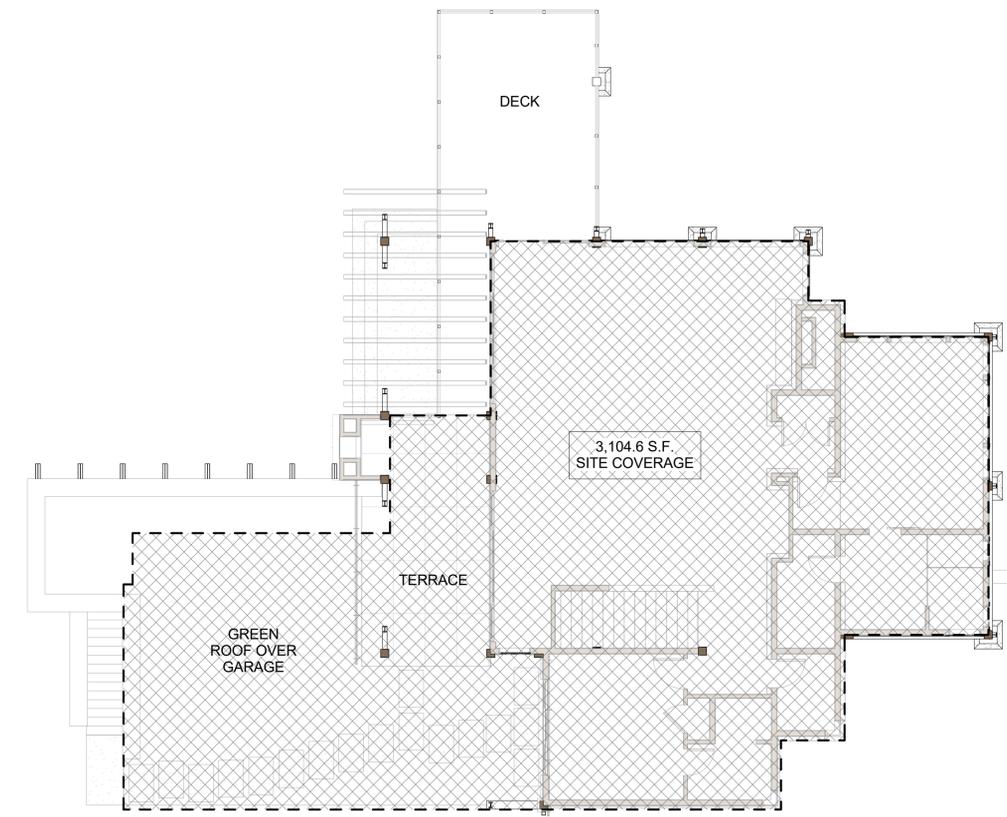
① Lower Level Floor Area
1/8" = 1'-0"



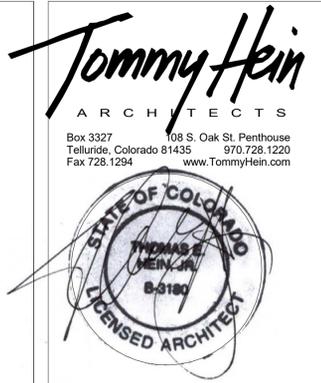
⑤ Upper Level Snow Melt
1/16" = 1'-0"



④ Lower Level Snow Melt
1/16" = 1'-0"



③ Site Coverage
1/8" = 1'-0"



Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

LOT 22 CORTINA
155 CORTINA DRIVE

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FLOOR AREA DIAGRAMS

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A2.0



Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

LOT 22 CORTINA
155 CORTINA DRIVE

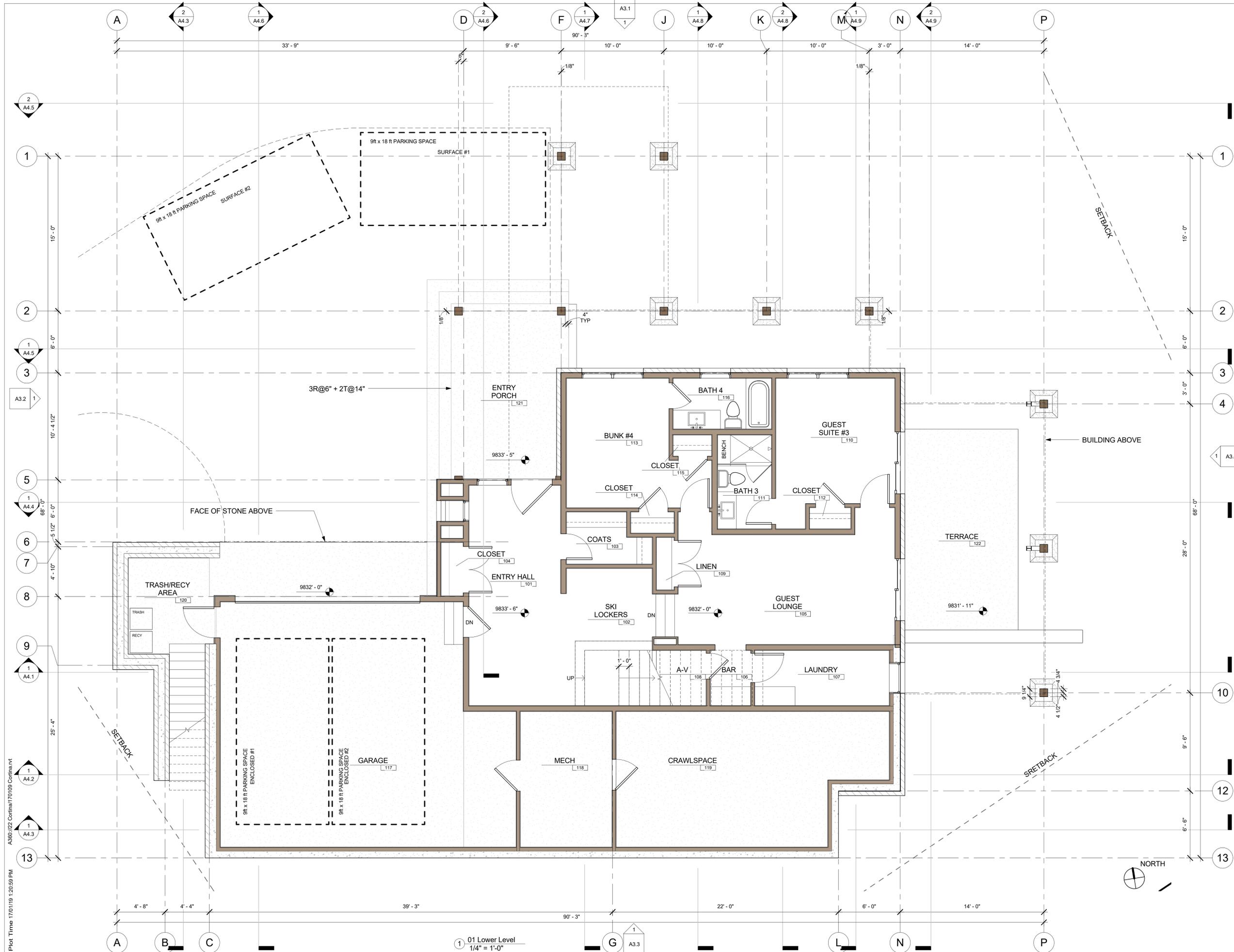
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LOWER LEVEL FLOOR PLAN

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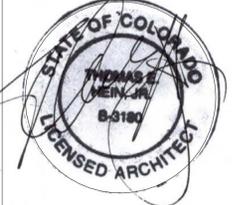
A2.1

0 1' 2' 4' 8'
SCALE: 1/4" = 1'-0"



Plot Time: 17/01/19 1:20:59 PM
A360/122 Cortina/170109 Cortina.rvt
1 A4.2
1 A4.3

01 Lower Level
1/4" = 1'-0"



Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

LOT 22 CORTINA
155 CORTINA DRIVE

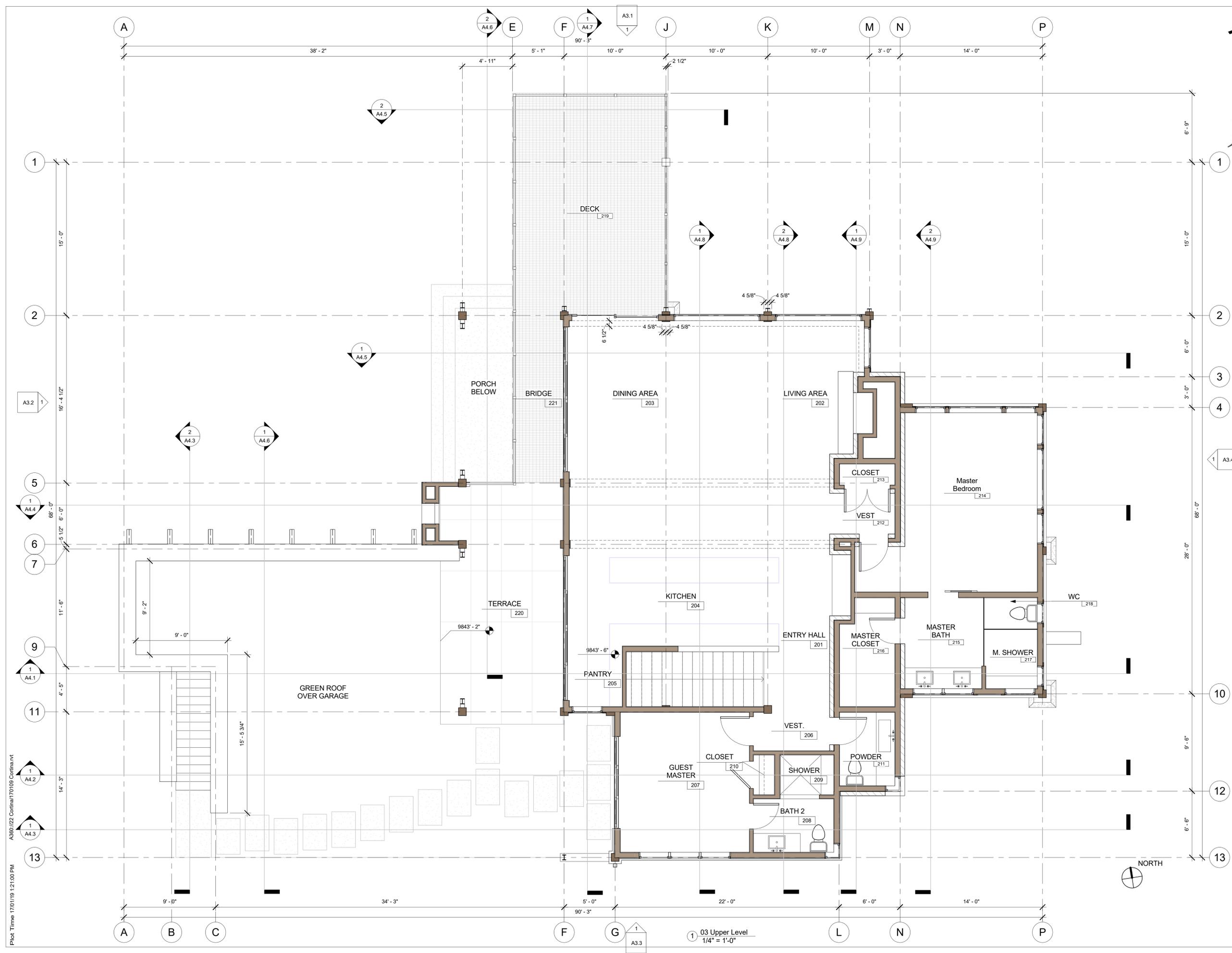
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UPPER LEVEL FLOOR PLAN

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A2.2

0 1' 2' 4' 8'
SCALE: 1/4" = 1'-0"



Plot Time: 17/01/19 12:10:00 PM
A369/122 Cortina/170109 Cortina.rvt

03 Upper Level
1/4" = 1'-0"



Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

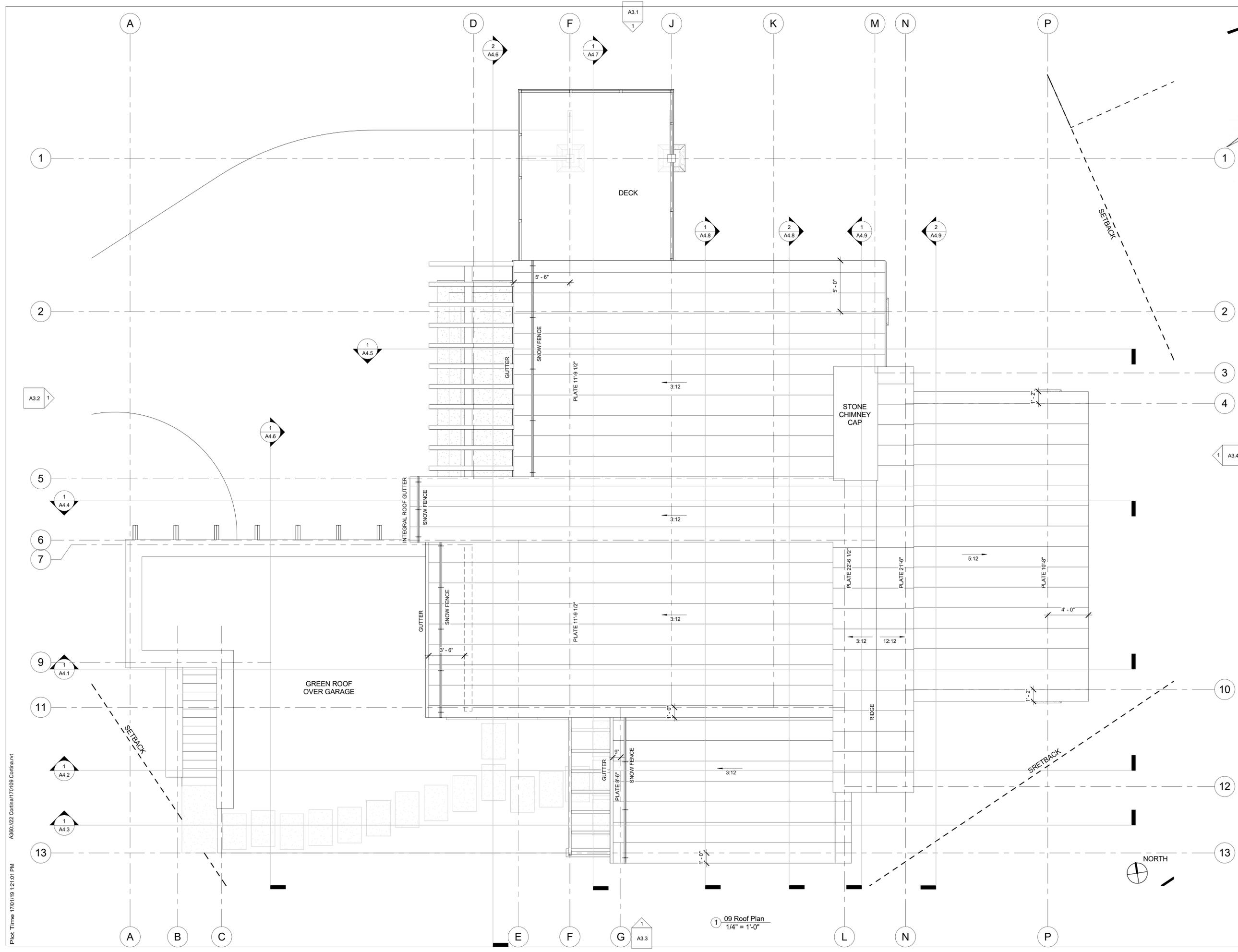
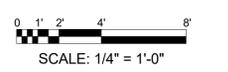
LOT 22 CORTINA
155 CORTINA DRIVE

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ROOF PLAN

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A2.3



09 Roof Plan
1/4" = 1'-0"

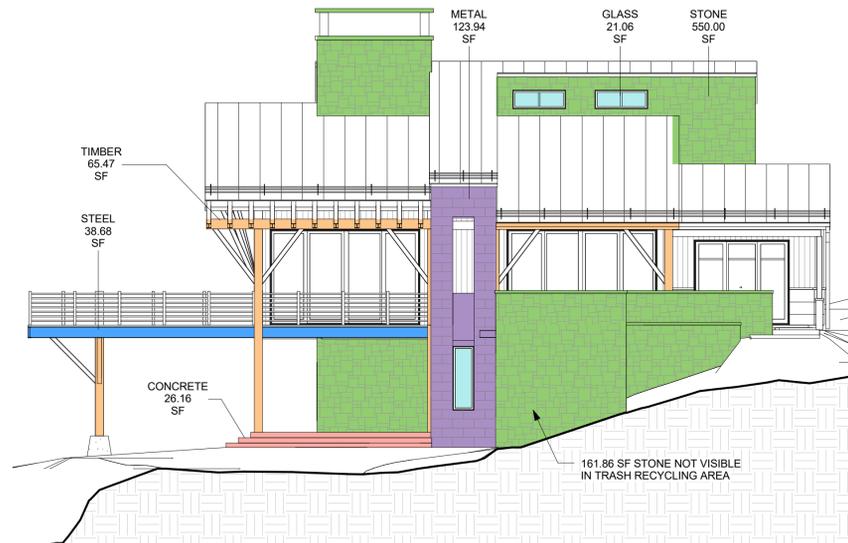
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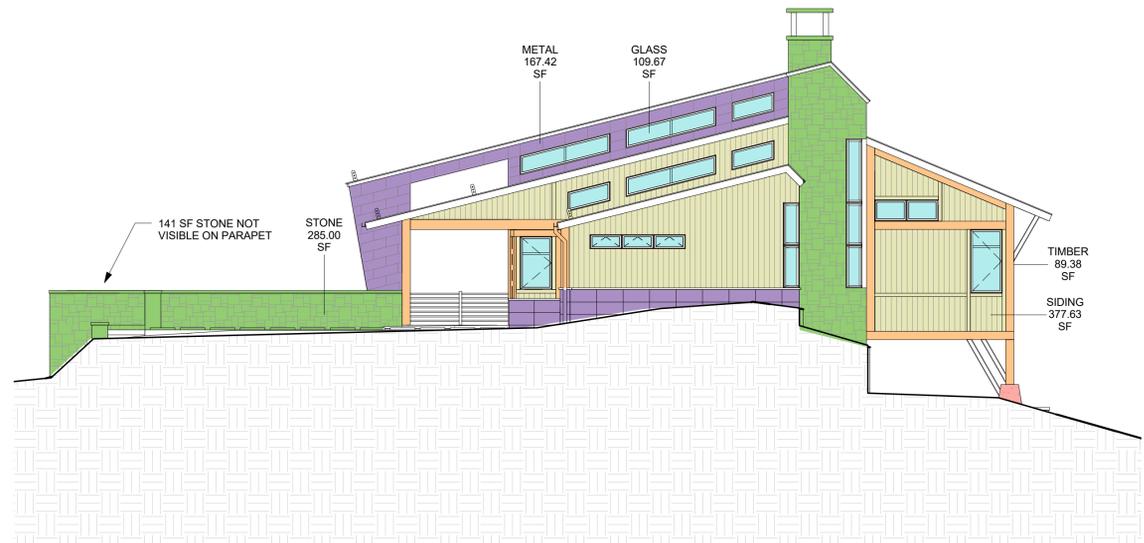
2 East Material Calcs.
1/8" = 1'-0"



1 North Material Calcs.
1/8" = 1'-0"



4 West 1 Material Calcs.
1/8" = 1'-0"



3 South Material Calcs.
1/8" = 1'-0"



5 West 2 Material Calcs
1/8" = 1'-0"

	NORTH	SOUTH	EAST	WEST 1	WEST 2	TOTALS:	
SIDING	363.80	375.64	268.56		190.95	1,198.95	20.26%
METAL	146.77	167.42	24.52	123.94	16.22	478.87	8.09%
STONE	801.57	426.00	606.04	550.00		2,383.61	40.27%
TIMBER	251.68	89.38	139.95	65.47	89.43	635.91	10.74%
STEEL	15.67		20.39	38.68		74.74	1.26%
CONCRETE	53.91			30.34		84.25	1.42%
GLASS	447.56	111.49	236.25	21.06	245.99	1,062.35	17.95%
	2,080.96	1,169.93	1,295.71	829.49	542.59	5,918.68	100.00%
				West 1 + West 2 =	1,372.08		
% Glazing Per Elevation	21.51%	9.53%	18.23%	2.54%	17.93%	17.95%	17.95% GLAZING PROVIDED 40% GLAZING ALLOWED COMPLIANT BY 22%

STONE REQUIREMENT CALCULATION:
35% Stone Requirement = 2,071.54 S.F.
Stone Provided = 2,383.61 S.F.
Compliant By = 312.07 S.F.
Compliant By = 5.27%

6 Material Calculations
12" = 1'-0"

Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

LOT 22 CORTINA
155 CORTINA DRIVE

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EXTERIOR MATERIAL CALCULATIONS

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A3.0

Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

LOT 22 CORTINA

155 CORTINA DRIVE

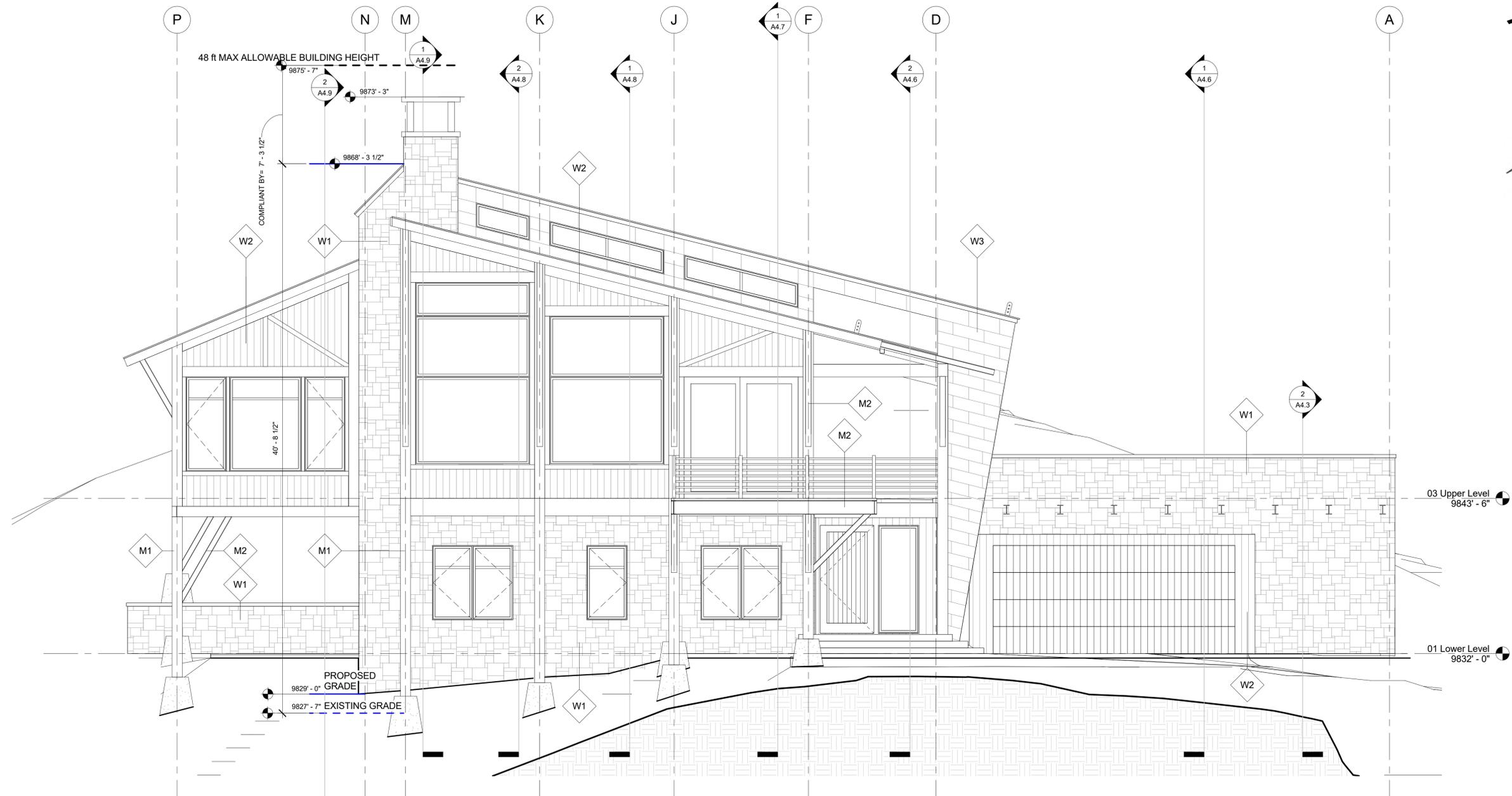
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EXTERIOR ELEVATIONS

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A3.1

0 1' 2' 4' 8'
SCALE: 1/4" = 1'-0"

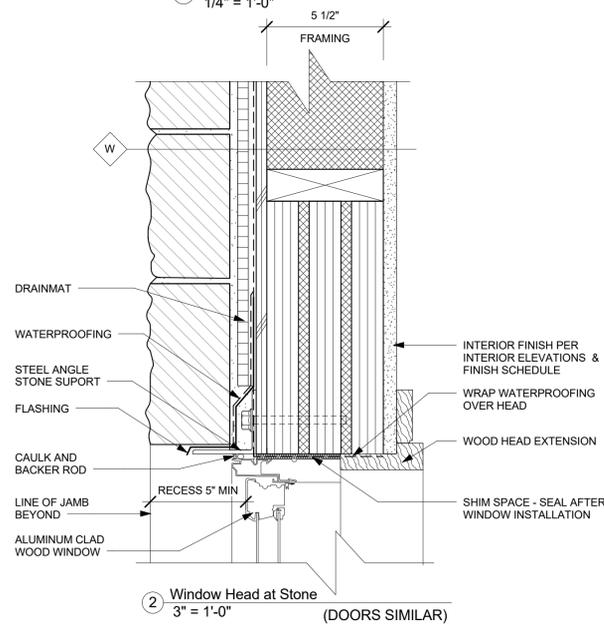


1 North Elevation
1/4" = 1'-0"

WALLS
W1 - 5" STONE VENEER
W2 - VERTICAL STEEL SIDING
W3 - STEEL PANEL SIDING

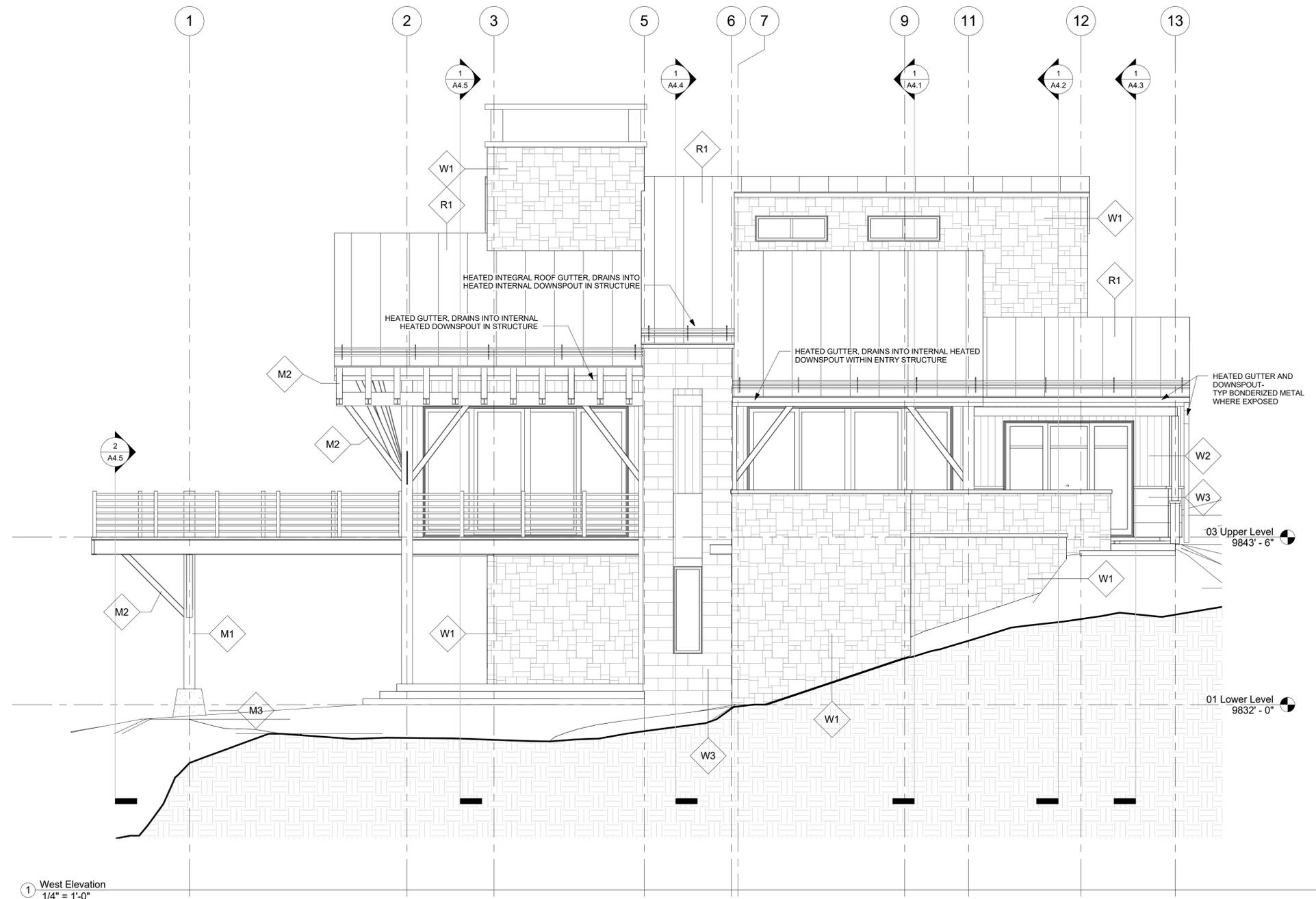
ROOFS
R1 - STANDING SEAM

MATERIAL
M1 - TIMBER BEAMS/COLUMNS
M2 - STEEL BEAMS/COLUMNS/BRACKETS
M3 - CONCRETE



Material Legend Photos
12" = 1'-0"

Plot Time: 17/01/19 12:10:09 PM A360/122 Cortina17/01/19 Cortina.rvt



1 West Elevation
1/4" = 1'-0"

- WALLS**
W1 - 5" STONE VENEER
W2 - VERTICAL STEEL SIDING
W3 - STEEL PANEL SIDING
- ROOFS**
R1 - STANDING SEAM
- MATERIAL**
M1 - TIMBER BEAMS/COLUMNS
M2 - STEEL BEAMS/COLUMNS/BRACKETS
M3 - CONCRETE



Material Legend Photos
12" = 1'-0"

Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

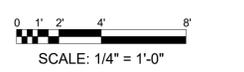
LOT 22 CORTINA
155 CORTINA DRIVE

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EXTERIOR ELEVATIONS

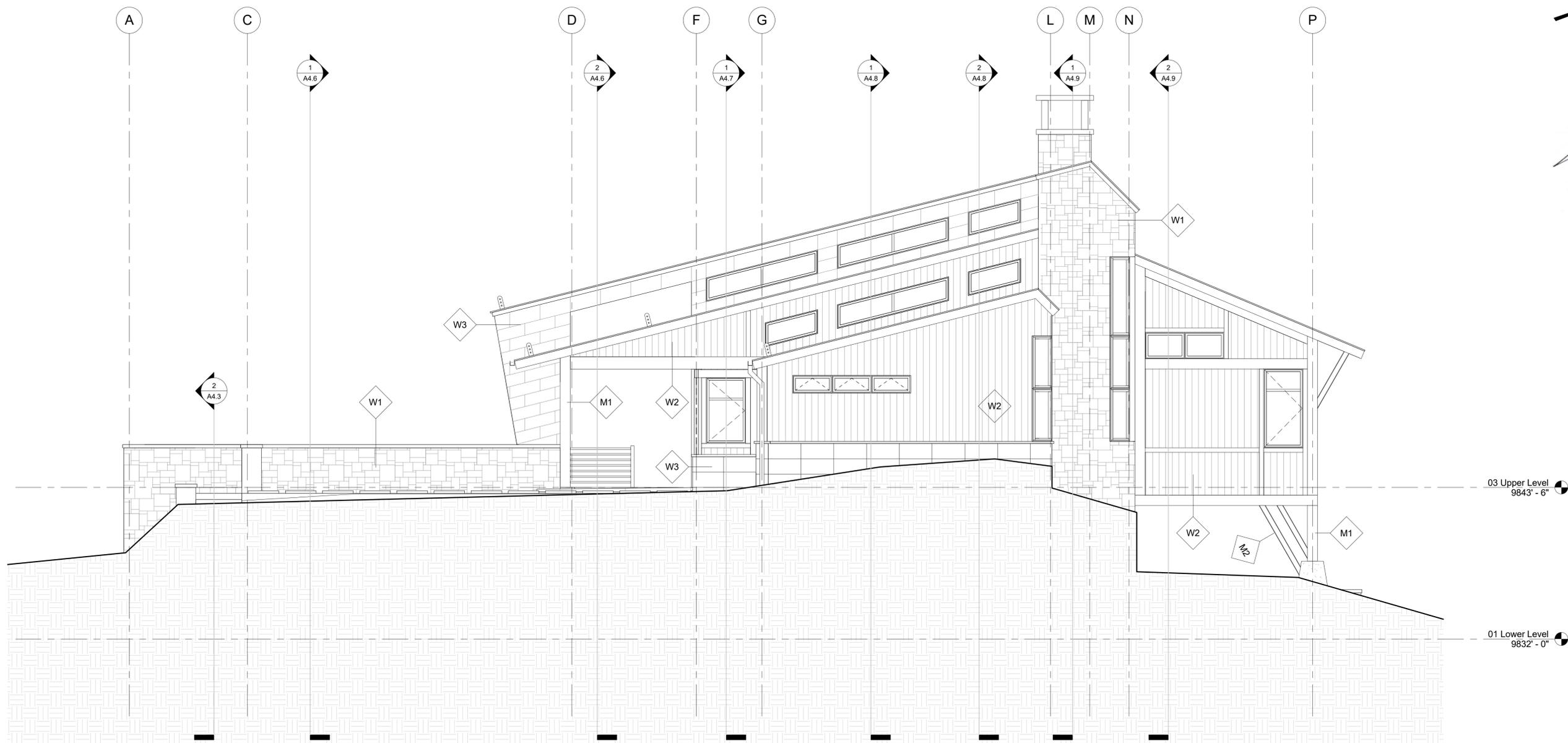
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AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A3.2



Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17



1 South Elevation
1/4" = 1'-0"

- WALLS**
W1 - 5" STONE VENEER
W2 - VERTICAL STEEL SIDING
W3 - STEEL PANEL SIDING
- ROOFS**
R1 - STANDING SEAM
- MATERIAL**
M1 - TIMBER BEAMS/COLUMNS
M2 - STEEL BEAMS/COLUMNS/BRACKETS
M3 - CONCRETE

EZELL RESIDENCE

LOT 22 CORTINA
155 CORTINA DRIVE

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EXTERIOR ELEVATIONS

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201



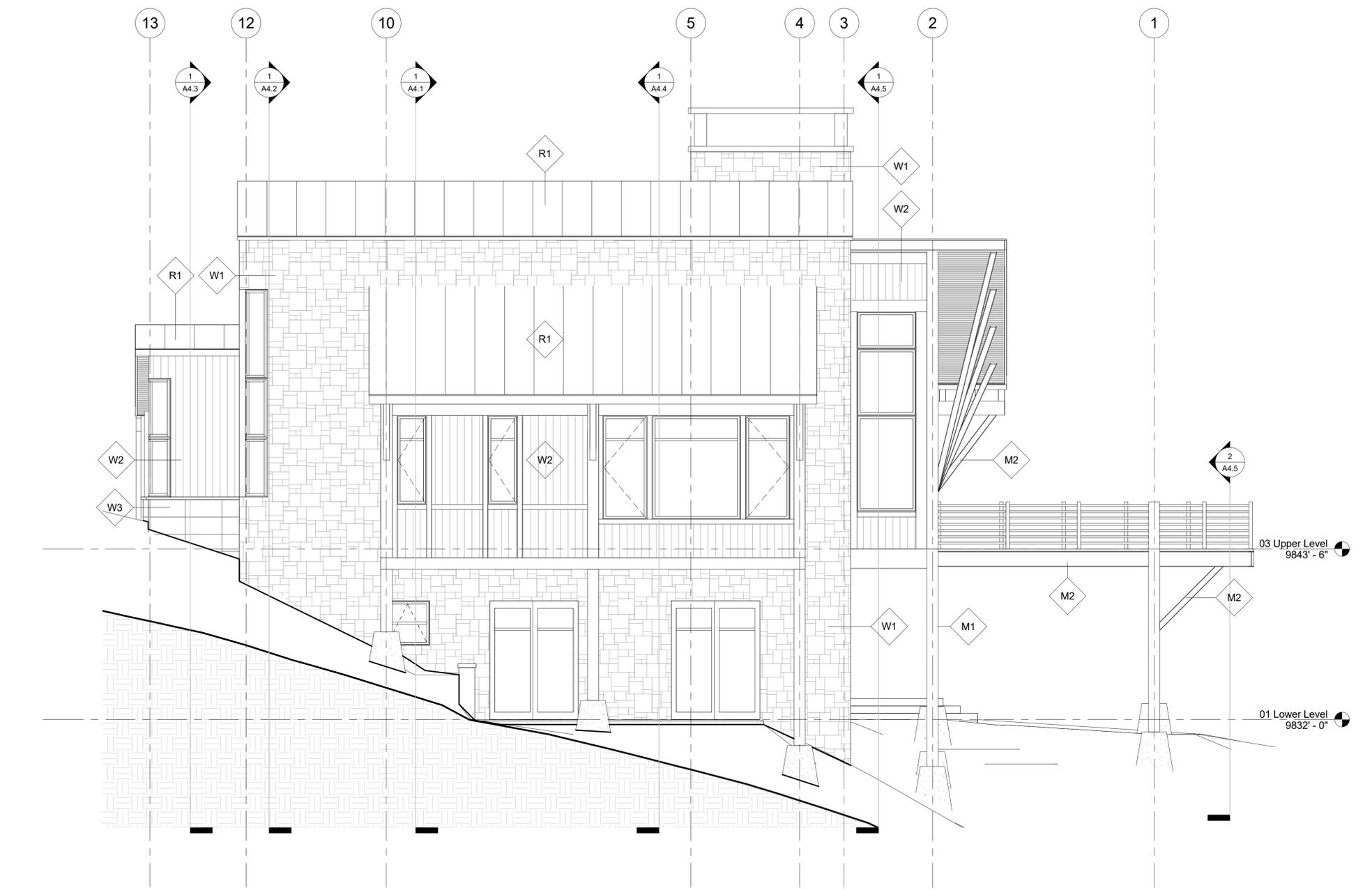
Material Legend Photos
1/2" = 1'-0"

A3.3

0 1' 2' 4' 8'
SCALE: 1/4" = 1'-0"

Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17



① East Elevation
1/4" = 1'-0"

EZELL RESIDENCE

LOT 22 CORTINA
155 CORTINA DRIVE

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EXTERIOR ELEVATIONS

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

- WALLS**
W1 - 5" STONE VENEER
W2 - VERTICAL STEEL SIDING
W3 - STEEL PANEL SIDING
- ROOFS**
R1 - STANDING SEAM
- MATERIAL**
M1 - TIMBER BEAMS/COLUMNS
M2 - STEEL BEAMS/COLUMNS/BRACKETS
M3 - CONCRETE

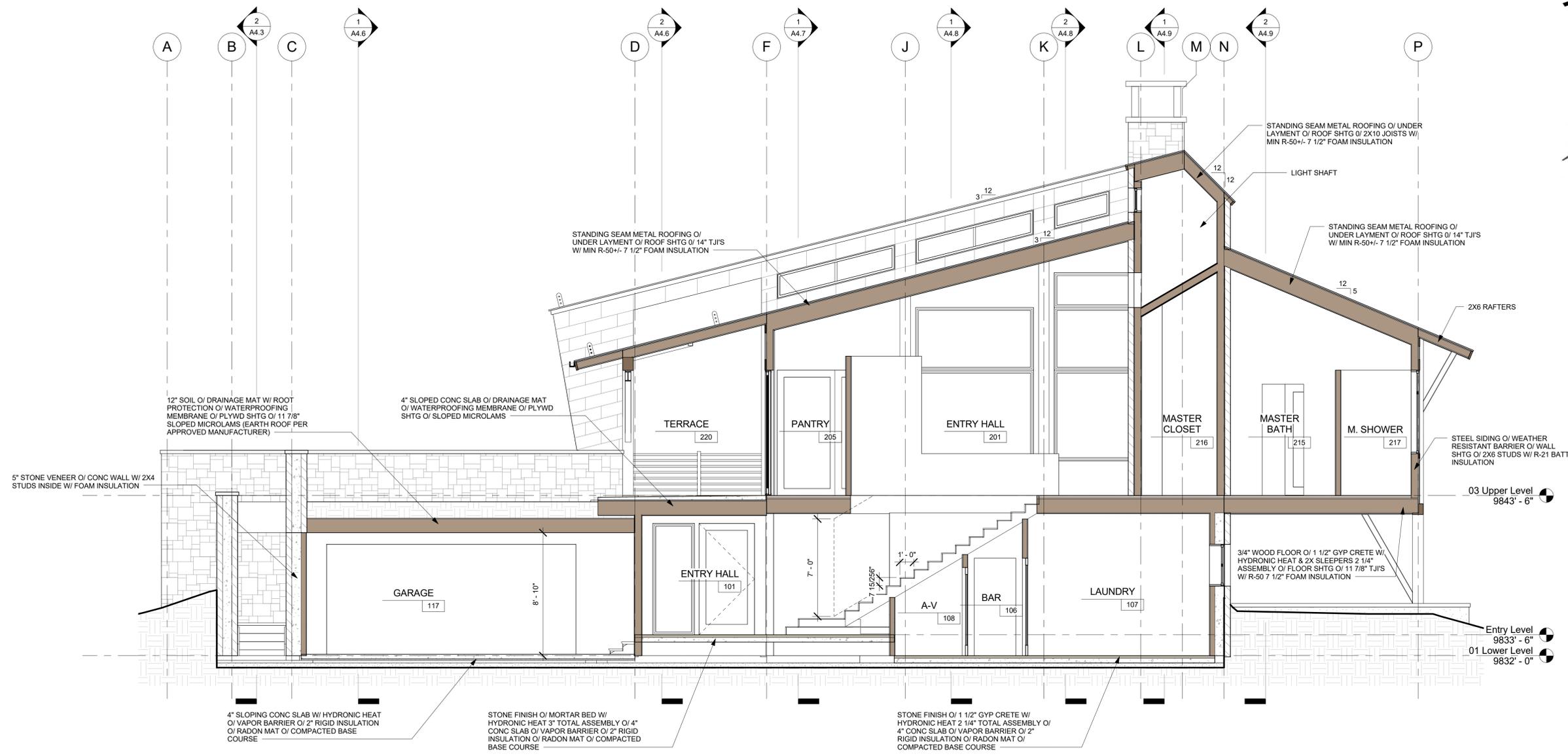


R1-BONDERIZED METAL ROOF (W3 SIMILAR FINISH) W2-6" VERTICAL STEEL SIDING W1-5" STONE VENEER M1-WOOD COLUMN STEEL RAILING M3-CONCRETE STEEL GRATE ALUMINUM CLAD WOOD WINDOW

Material Legend Photos
12" = 1'-0"

A3.4

0 1' 2' 4' 8'
SCALE: 1/4" = 1'-0"



Section 1
1/4" = 1'-0"

Submissions

CLIENT REVIEW	11-23-16
CLIENT REVIEW	12-08-16
CLIENT REVIEW & DRB CONCEPTUAL	12-15-16
HOA/ DRB/ OWNER	01-19-17

EZELL RESIDENCE

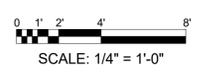
LOT 22 CORTINA
155 CORTINA DRIVE

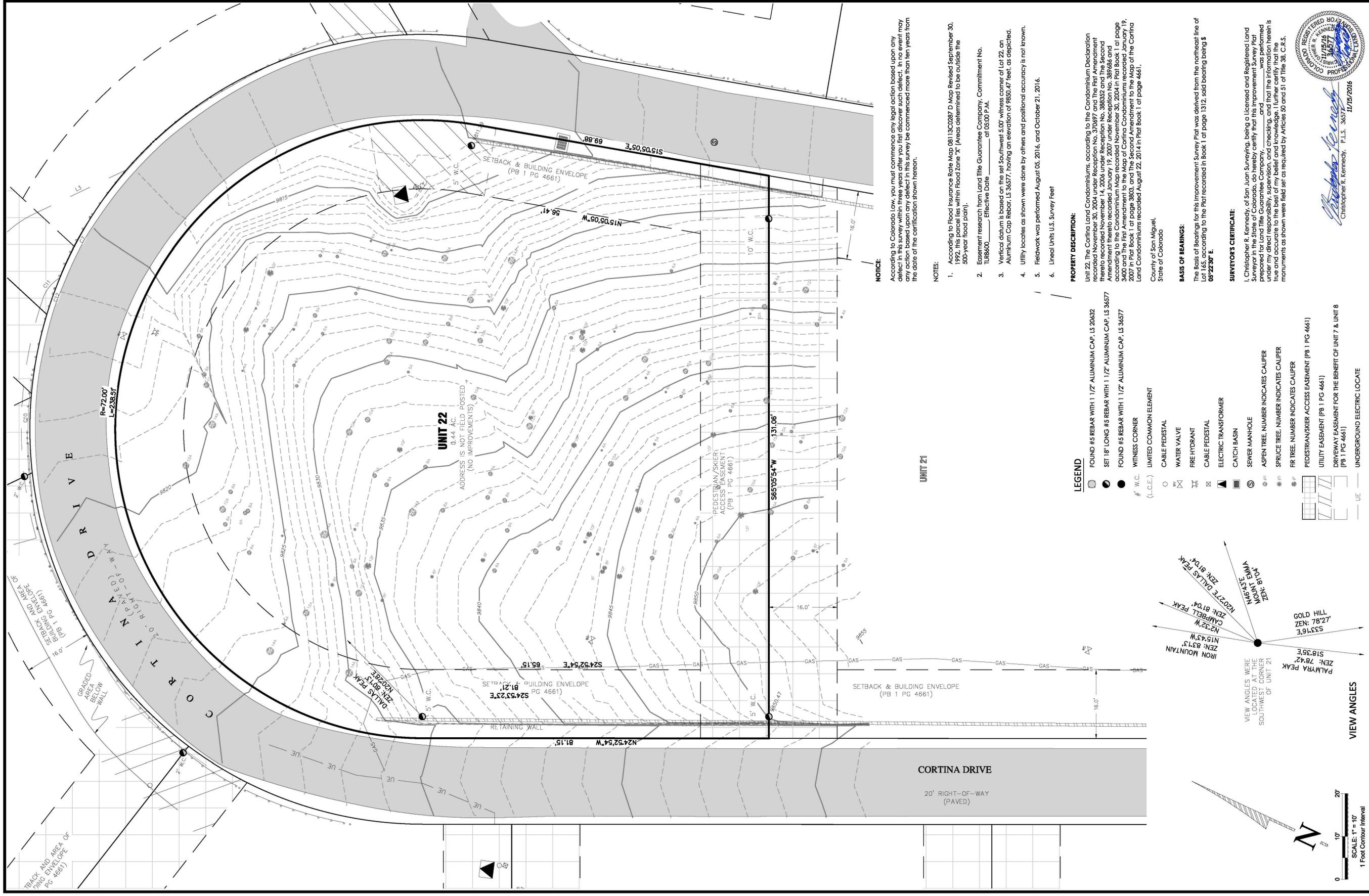
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BUILDING SECTIONS

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A4.1





NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

1. According to Flood Insurance Rate Map 08113C0287 D Map Revised September 30, 1992, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
2. Easement research from Land Title Guarantee Company, Commitment No. 1168600, Effective Date _____ at 05:00 P.M.
3. Vertical datum is based on the set Southwest 5.00' witness corner of Lot 22, an Aluminum Cop Rebar, LS 36577, having an elevation of 9850.47 feet, as depicted.
4. Utility locates as shown were done by others and positional accuracy is not known.
5. Fieldwork was performed August 05, 2016, and October 21, 2016.
6. Lineal Units U.S. Survey Feet

PROPERTY DESCRIPTION:

Unit 22, The Cortina Land Condominiums, according to the Condominium Declaration recorded November 30, 2004 under Reception No. 370697 and The First Amendment thereto recorded November 14, 2006 under Reception No. 388332 and The Second Amendment thereto recorded January 19, 2007 under Reception No. 387686 and according to the Condominium Map recorded November 30, 2004 in Plat Book 1 at page 4661 and the map recorded November 30, 2004 in Plat Book 1 at page 4661 and the map recorded August 22, 2014 in Plat Book 1 at page 4661. The Cortina Land Condominiums recorded August 22, 2014 in Plat Book 1 at page 4661.

BASIS OF BEARINGS:

The Basis of Bearings for this Improvement Survey Plat was derived from the northeast line of Lot 165, according to the Plat recorded in Book 1 at page 1312, said bearing being $05^{\circ}22'30''$ E.

SURVEYOR'S CERTIFICATE:

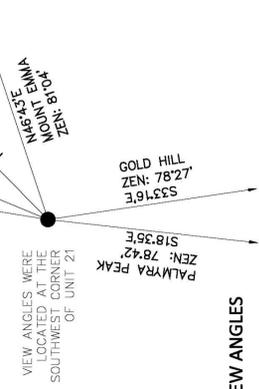
I, Christopher R. Kennedy, of San Juan Surveying, being a Licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that improvement Survey Plat recorded herein was prepared by me or under my direct supervision, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.



Christopher R. Kennedy, P.L.S. 36577
11/15/2016

LEGEND

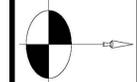
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 20632
- SET 18" LONG #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
- W.C. WITNESS CORNER
- LIMITED COMMON ELEMENT (L.C.E.)
- CABLE PEDESTAL
- WATER VALVE
- FIRE HYDRANT
- CABLE PEDESTAL
- ELECTRIC TRANSFORMER
- CATCH BASIN
- SEWER MANHOLE
- ASPEN TREE, NUMBER INDICATES CALIPER
- SPRUCE TREE, NUMBER INDICATES CALIPER
- FIR TREE, NUMBER INDICATES CALIPER
- PEDESTRIAN/SKIER ACCESS EASEMENT (PB 1 PG 4661)
- UTILITY EASEMENT (PB 1 PG 4661)
- DRIVEWAY EASEMENT FOR THE BENEFIT OF UNIT 7 & UNIT 8 (PB 1 PG 4661)
- UNDERGROUND ELECTRIC LOCATE



VIEW ANGLES

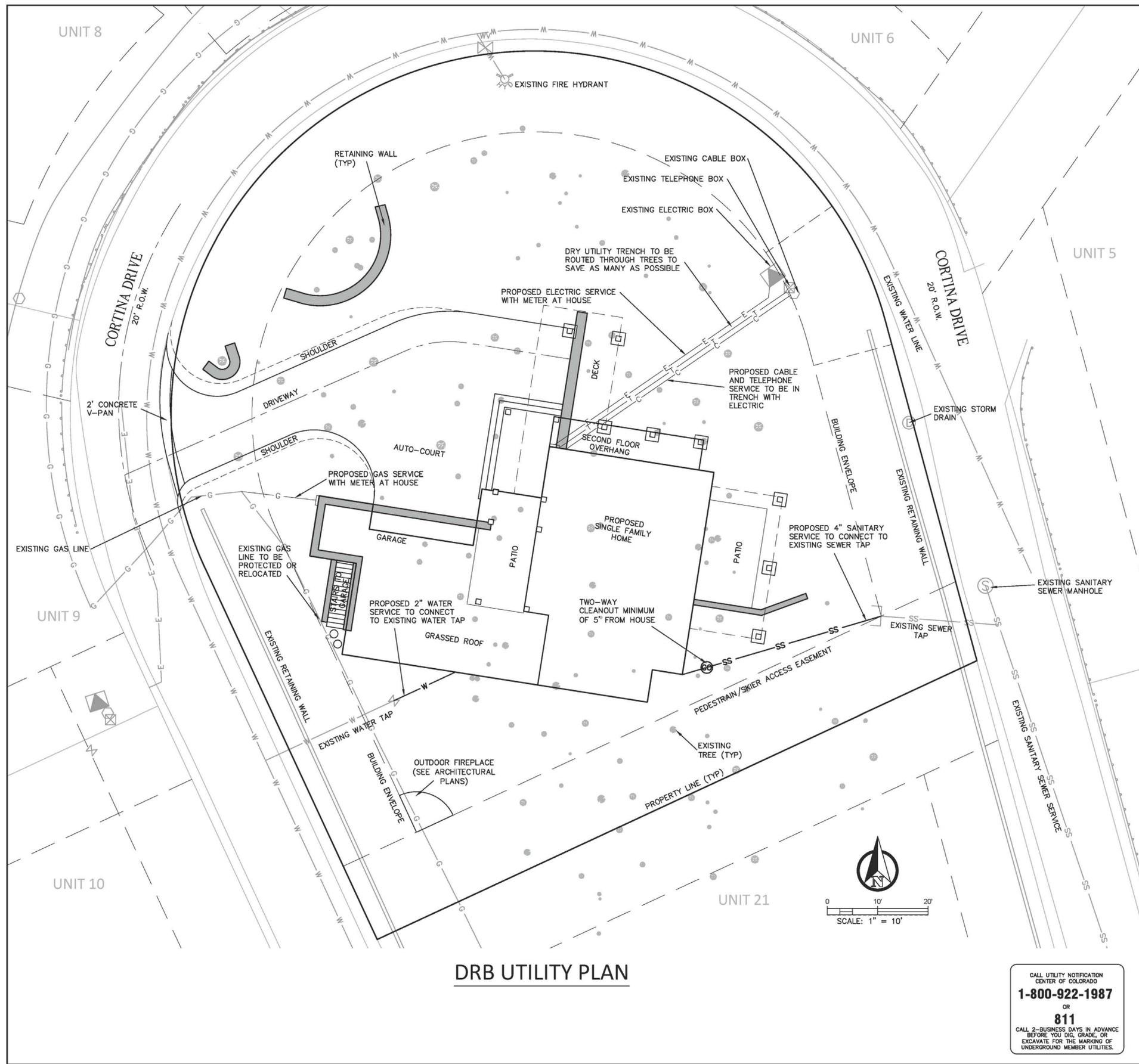


SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728-1128 (970) 728-9201 fax
office@sanjuansurveying.net



IMPROVEMENT SURVEY PLAT
UNIT 22, THE CORTINA LAND CONDOMINIUMS

DATE: 11/15/2016
JOB: 04028
DRAWN BY: ADM
CHECKED BY: CRK
REVISION DATES:
SHEET: 1 OF 1



NOTES:

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
2. SOME OF THE EXISTING UTILITY INFORMATION PROVIDED BY SAN JUAN SURVEYING LLC; IMPROVEMENT SURVEY PLAT UNIT 22, THE CORTINA LAND CONDOMINIUMS; BENCHMARK: SOUTHWEST CORNER 5.00' WITNESS CORNER OF LOT 22 HAVING AN ELEVATION OF 9850.47 FEET, CONTACT CHRISTOPHER KENNEDY, PLS AT (970) 728-1128 FOR MORE BENCHMARK INFORMATION.
2. ALL OTHER EXISTING UTILITIES ARE FROM MAPPING AND MUST BE CONFIRMED FOR LOCATION AND DEPTH AS PART OF PREPARING CONSTRUCTION DOCUMENTS.
3. WATER SERVICE SIZE MUST BE CONFIRMED WITH MECHANICAL ENGINEER AND FIRE PROTECTION (SPRINKLER) CONSULTANT.
4. IN ALL CASES, SANITARY SEWER AND WATER LINES MUST MAINTAIN A MINIMUM OF 10' SEPARATION.
5. ALL UTILITIES TO BE ROUTED THROUGH TREES TO SAVE AS MANY TREES AS POSSIBLE.

THIS PLAN IS FOR CONCEPTUAL PLANNING ONLY AND NOT FOR CONSTRUCTION

THIS DRB PLANNING DOCUMENT WAS PREPARED BY ME AND UNDER MY DIRECT SUPERVISION ON BEHALF OF ALPINE LAND CONSULTING, LLC FOR DAVID H. EZELL LIVING TRUST AND INCLUDES DRB PLANNING DESIGN ONLY, AND DOES NOT INCLUDE ANY OTHER PLANNING OR ENGINEERING.



GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

ALPINE LAND CONSULTING, LLC
P.O. BOX 234
RICO, COLORADO 81352
970-708-0326
GREG@ALPINELANDCONSULTING.COM

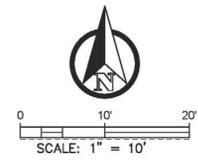
UNIT 22 CORTINA
DRB UTILITY PLANS

CLIENT:
DAVID H. EZELL LIVING TRUST
3108 LARKSPUR LN
FORT SMITH, AR 72916

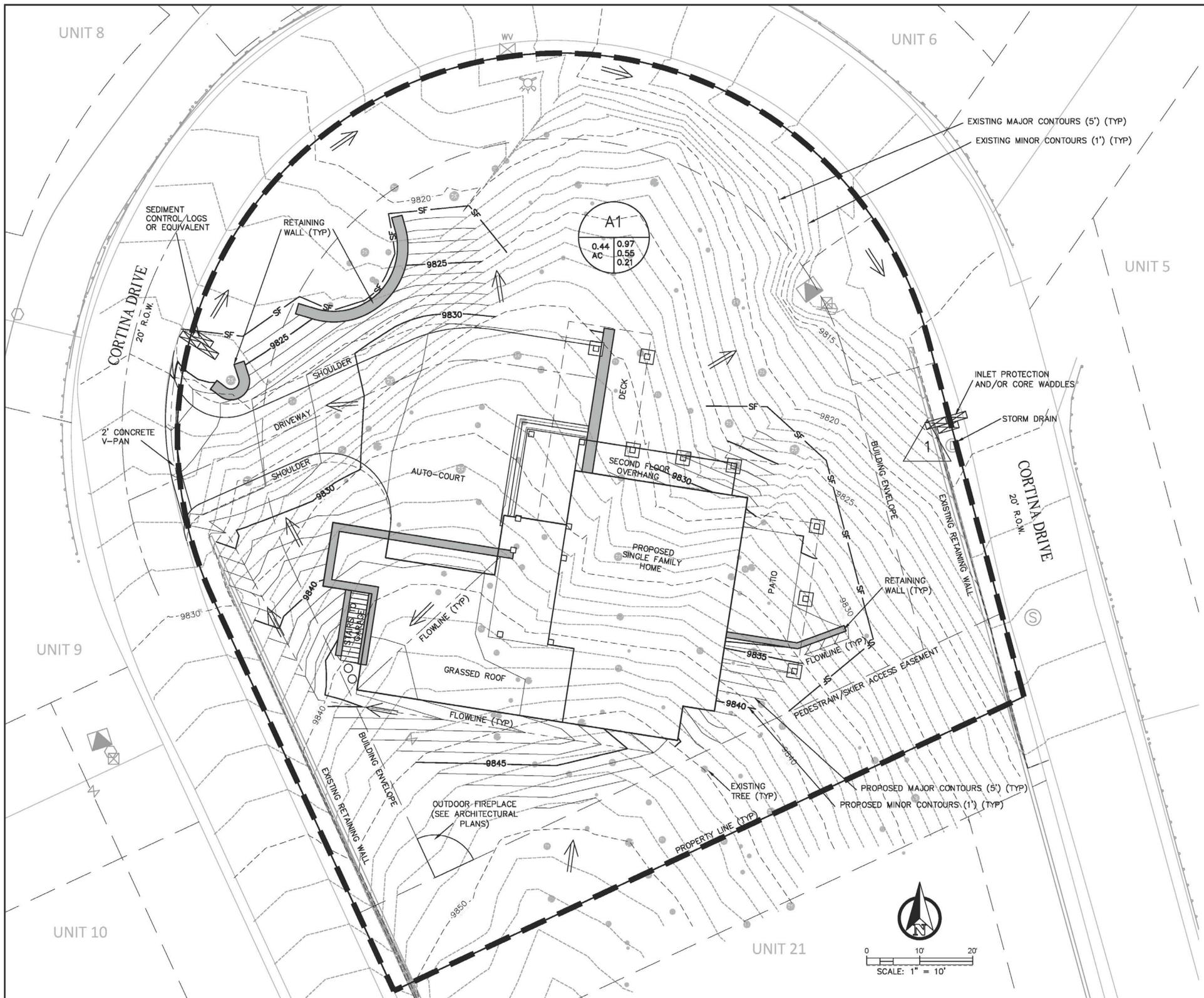
DATE:	DECEMBER 15, 2016
PROJECT #:	2016027
PROJECT MANAGER:	GEA
DRAWN BY:	ADM
SHEET #:	1

NO.	REVISIONS	DATE

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



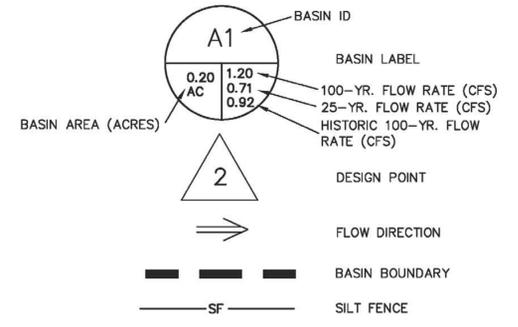
DRB UTILITY PLAN



NOTES:

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION
2. MAXIMUM GRADING 2:1 (HORIZONTAL:VERTICAL)
3. ALL EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY SAN JUAN SURVEYING LLC; IMPROVEMENT SURVEY PLAT UNIT 22, THE CORTINA LAND CONDOMINIUMS; BENCHMARK: SOUTHWEST CORNER 5.00' WITNESS CORNER OF LOT 22 HAVING AN ELEVATION OF 9850.47 FEET, CONTACT CHRISTOPHER KENNEDY, PLS AT (970) 728-1128 FOR MORE BENCHMARK INFORMATION.
4. SEE DRB GRADING PLAN FOR ALL PROPOSED GRADING.
5. NO DETENTION PROPOSED AS THIS SITE IS PART OF CONDOMINIUM SUBDIVISION AND HAS EXISTING DRAINAGE FACILITIES.

LEGEND



THIS PLAN IS FOR CONCEPTUAL PLANNING ONLY AND NOT FOR CONSTRUCTION

THIS DRB PLANNING DOCUMENT WAS PREPARED BY ME AND UNDER MY DIRECT SUPERVISION ON BEHALF OF ALPINE LAND CONSULTING, LLC FOR DAVID H EZELL LIVING TRUST AND INCLUDES DRB PLANNING DESIGN ONLY, AND DOES NOT INCLUDE ANY OTHER PLANNING OR ENGINEERING.



GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

ALPINE LAND CONSULTING, LLC
P.O. BOX 234
RICO, COLORADO 81332
970-708-0326
GREG@ALPINELANDCONSULTING.COM

UNIT 22 CORTINA
DRB DRAINAGE PLAN

CLIENT:
DAVID H EZELL LIVING TRUST
3108 LARKSPUR LN
FORT SMITH, AR 72916

DATE: DECEMBER 15, 2016

PROJECT #: 2016027

PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #:

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

NO.	REVISIONS	DATE



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

Agenda Item No.4

TO: Design Review Board

FROM: Dave Bangert, Senior Planner

FOR: Meeting of March 2, 2017

DATE: February 7, 2017

RE: **Consider a recommendation to the Town Council Regarding the Proposed Rezoning/Density Transfer application of Lot 128, The Peaks to combine condominium Units 736 and 740 to create one condominium unit and Transfer One Density Unit (three person equivalent density) to the Density Bank.**

PROJECT GEOGRAPHY

Legal Description: Lot 128, The Peaks Units 736 and 740
Address: 136 Country Club Drive
Applicant/Agent: Kris Perpar, Shift Architects
Owner: Robert and Charlotte Kettler
Zoning: Village Center
Existing Use: Condominium
Proposed Use: Condominium
Lot Size: 5.56 Acres

Adjacent Land Uses:

- **North:** Village Center and Residential – Single Family
- **South:** Active Open Space and Village Center
- **East:** Village Center
- **West:** Active Open Space

ATTACHMENTS

- Exhibit A: Site plans and Condominium map
- Exhibit B: Rezoning and Density Transfer application

BACKGROUND

The applicant, Kris Perpar/Shift Architects, represents owners of units 736 and 740, Lot 128, The Peaks. The owners desire to combine their two condominium units, unit 736 (3222 S.F.) and unit 740 (872 S.F.) The rezoning is required to move the density on unit 740 (three person equivalent) to the Density Bank under the owner's name. In 2015 Thomas G. Kennedy, applicant and owner's representative, submitted an application for a rezoning and density transfer to re-designate 174 Peaks Condo Hotel Units from hotel zoning to 142 efficiency lodge units and 32 lodge units without increasing the number of units at the Peaks. It is important to note that the proposed rezoning was extensively discussed during the creation of the Mountain Village Comprehensive Plan, and was seen as a way to help the Town achieve the density envisioned in the Town Hall Center and the Mountain Village Center subareas. In general,

there was support for the proposed rezoning and density transfer knowing it will only transfer density to the density bank.

DISCUSSION

To transfer density to the Density Bank the rezoning process must be followed, which includes a recommendation by the Design Review Board and final action by the Town Council. The following criteria must be met for the review authority to approve a rezoning application:

- a. The proposed rezoning is in general conformance with the goals, policies and provisions of the Comprehensive Plan;
- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations;
- c. The proposed rezoning meets the Comprehensive Plan project standards;
- d. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources;
- e. The proposed rezoning is justified because there is an error in the current zoning, there have been changes in conditions in the vicinity or there are specific policies in the Comprehensive Plan that contemplate the rezoning;
- f. Adequate public facilities and services are available to serve the intended land uses;
- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and
- h. The proposed rezoning meets all applicable Town regulations and standards.

The Mountain Village Center Subarea Plan of the Comprehensive Plan provides principles, policies and actions for this important core of the town. The specific recommendations for The Peaks parcel states:

“The Peaks provided an overall plan for the following parcels of land that are based solely on the provision of hotbeds, without any condominiums. Therefore, any future development review that requires general conformance with the Comprehensive Plan only requires the provision of hotbed units and dorm units as outlined in the Mountain Village Center Subarea Development Table, with the minimum sizes for the hotbed units in accordance with the hotbed policies.”

The proposal to reduce one condominium unit by transferring it to the Density Bank is consistent with the plan because it does not change the current number of hotbeds or dorm units. Also, because the proposal is transferring density to the Bank, versus increasing the intensity of development of Lot 128, the project standards of the Comprehensive Plan, and the decision criteria related to adequate facilities and infrastructure does not apply. Staff finds the application meets the above criteria.

The following criteria must be met for the Town Council to approve the transfer of density to the density bank:

- a. The criteria for decision for a rezoning are met, since such density transfer must be processed concurrently with a rezoning development application;
- b. The density transfer meets the density transfer and density bank policies; and
- c. The proposed density transfer meets all applicable Town regulations and standards.

The proposed density transfer meets the above criteria.

PROPOSED MOTION

The Design Review Board recommends the Town Council approve the rezoning of Lot 128, The Peaks to combine units 736 and 740 and to transfer one Condominium density unit (three person equivalent density) to the Density Bank.



REZONING/DENSITY TRANSFER APPLICATION

Planning & Development Services
Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435

REZONING/DENSITY TRANSFER APPLICATION

APPLICANT INFORMATION

Name: Kristine Perpar; Shift Architects		E-mail Address: kristine@shift-architects.com	
Mailing Address: P.O. Box 3206		Phone: 9707288145	
City: Telluride	State: CO	Zip Code: 81435	
Mountain Village Business License Number: 1732			

PROPERTY INFORMATION

Physical Address: 136 Country Club Drive		Acreage:	
Zone District: Multi Unit	Zoning Designations: Multi Unit	Density Assigned to the Lot or Site:	
Legal Description: Lot 126 Unit 736 & 740			
Existing Land Uses: Multi Unit			
Proposed Land Uses: Multi Unit			

OWNER INFORMATION

Property Owner: Robert Kettler		E-mail Address: bob@kettler.com	
Mailing Address: 1751 Pinnacle Drive; Suite 700		Phone: 703 6415300	
City: McLean	State: VA	Zip Code: 22102	

DESCRIPTION OF REQUEST

Combining of 2 Peak Units. Unit 736; 3222 S.F. & Unit 740 872 S.F.



REZONING/DENSITY TRANSFER APPLICATION

Planning & Development Services
Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435

**OWNER/APPLICANT
ACKNOWLEDGEMENT
OF RESPONSIBILITIES**

I, Robert Kettler, the owner of Lot 128; unit 736 & 740 (the "Property") hereby certify that the statements made by myself and my agents on this application are true and correct. I acknowledge that any misrepresentation of any information on the application submittal may be grounds for denial of the development application or the imposition of penalties and/or fines pursuant to the Community Development Code. We have familiarized ourselves with the rules, regulations and procedures with respect to preparing and filing the development application. We agree to allow access to the proposed development site at all times by member of Town staff, DRB members and the Town Council. We agree that if this request is approved, it is issued on the representations made in the development application submittal, and any approval or subsequently issued building permit(s) or other type of permit(s) may be revoked without notice if there is a breach of representations or conditions of approval. By signing this acknowledgement, I understand and agree that I am responsible for the completion of all required on-site and off-site improvements as shown and approved on the final plan(s) (including but not limited to: landscaping, paving, lighting, etc.). We further understand that I (we) are responsible for paying Town legal fees and other fees as set forth in the Community Development Code.

RL Kettler (CK) 1 10 17
Signature of Owner Date

[Signature] 1 10 17
Signature of Applicant/Agent Date

OFFICE USE ONLY	
Fee Paid:	By:
	Planner:



REZONING/DENSITY TRANSFER
APPLICATION

Planning & Development Services
Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435

OWNER AGENT AUTHORIZATION FORM

I have reviewed the application and hereby authorize Kristine Perpar of
Shift Architects to be and to act as my designated representative and represent the development
application through all aspects of the development review process with the Town of Mountain Village.

RC Kettler (ck)
(Signature)

1 10 17
(Date)

Robert Kettler
(Printed name)



REZONING/DENSITY TRANSFER
APPLICATION

Planning & Development Services
Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435

HOA APPROVAL LETTER

I, (print name) Curtis Brunjes, the HOA president of property located at
Lot 128, provide this letter as
written approval of the plans dated 1.9.2017 which have been submitted to the
Town of Mountain Village Planning & Development Services Department for the proposed improvements to be
completed at the address noted above. I understand that the proposed improvements include (*indicate below*):


(Signature)

1 10 17
(Date)

HOA President
(Title)

GENERAL NOTES:

CONTRACT DOCUMENTS:

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

CODE COMPLIANCE:

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

SUBSTITUTIONS:

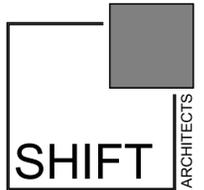
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

SHOP DRAWINGS:

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

SAFETY & PROTECTION OF WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
01.09.17 DRB MINOR SUBDIVISION

PROJECT CODE INFORMATION

ZONING
BUILDING CODE IRC 2012 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION
OCCUPANCY CLASSIFICATION
AUTOMATIC FIRE SPRINKLER
FIRE RESISTIVE RATING

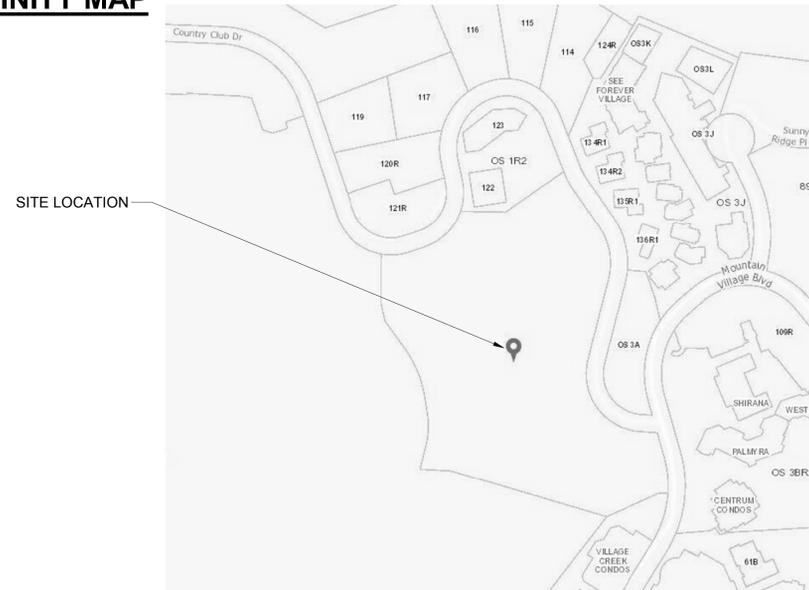
PROJECT INFORMATION

TYPE: REMODEL OF EXISTING CONDOMINIUM
PROPERTY ADDRESS: 136 COUNTRY CLUB DRIVE, MOUNTAIN VILLAGE, CO 81435
TAX AREA: 108
SUBDIVISION: DORAL HOTEL
FLOOR AREA CALCULATION:
UNIT 736
LEVEL 7 1,761 SF
LEVEL 8 675 SF
LEVEL 9 786 SF
TOTAL 3,222 SF
UNIT 740
LEVEL 7 872 SF
TOTAL: 4,094 SF

SHEET INDEX

GENERAL
G1.0 COVER SHEET
ARCHITECTURAL
A2.1 EXISTING / DEMO PLANS
A2.2 EXISTING / DEMO PLANS
A2.4 EXISTING ELEVATIONS
A2.5 EXISTING ELEVATIONS
A3.1 FLOOR PLANS
A3.2 FLOOR PLANS
A4.1 EXTERIOR ELEVATIONS
A4.2 EXTERIOR ELEVATIONS

VICINITY MAP



PROJECT TEAM

OWNER:

ROBERT C. KETTLER
P. 703.641.5300
bob@kettler.com

ARCHITECT:

SHIFT ARCHITECTS
KRISTINE PERPAR, AIA - ARCHITECT
100 WEST COLORADO STE. 211
TELLURIDE, CO 81435
P. 970.275.0263
kristine@shift-architects.com

GENERAL CONTRACTOR:

TBD

STRUCTURAL:

JESSE PEKKALA, LLC
PO BOX 688
TELLURIDE, CO 81435
C. 970.728.5013
jesse@pekkalaeng.com

KETTLER RESIDENCE- UNIT 736

136 COUNTRY CLUB DRIVE UNIT 736
MOUNTAIN VILLAGE, CO 81435

COVER SHEET

SHEET NUMBER

G1.0

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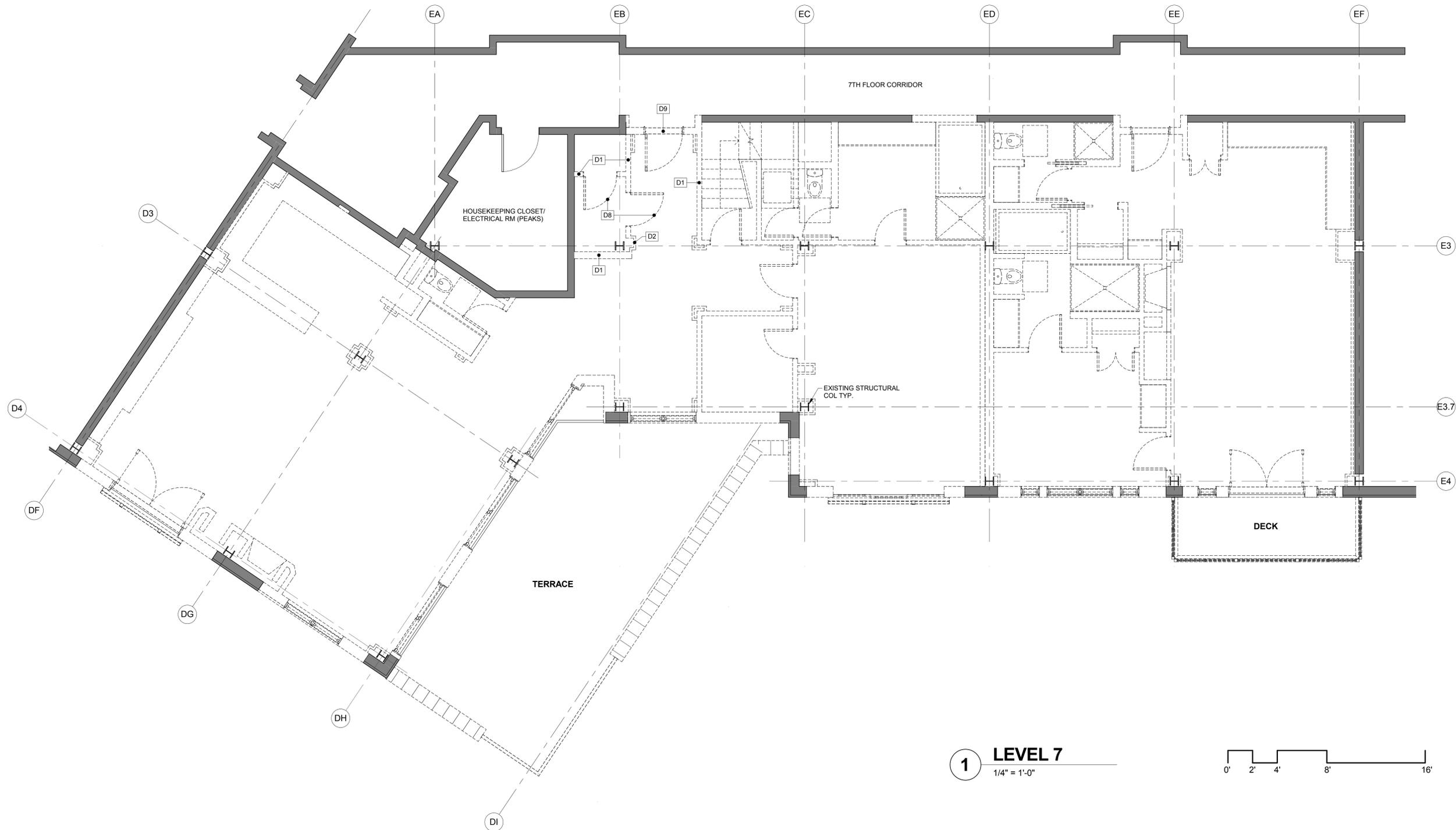
NOT FOR CONSTRUCTION

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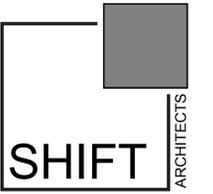
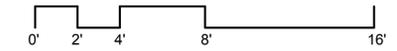
GENERAL DEMOLITION NOTES:

1. DEMOLITION INDICATED IS FOR GENERAL REFERENCE PURPOSES ONLY AND IS NOT INTENDED TO IDENTIFY ALL OF THE DEMOLITION, REMOVAL OF FINISHES, ETC. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION NECESSARY TO ACCOMMODATE NEW WORK WHETHER INDICATED OR NOT.
2. THE CONTRACTOR MUST ADHERE TO THE SCOPE OF WORK SHOWN ON THE DRAWINGS. NO WORK IS AUTHORIZED IF IT EXPANDS THE ORIGINAL SCOPE OF WORK UNLESS IT IS APPROVED IN WRITING BY THE OWNER/ARCHITECT. ANY WORK UNDERTAKEN BY THE CONTRACTOR AND ANY ADDITIONAL REQUIRED DOCUMENTATION OR COST TO THE PROJECT WITHOUT PRIOR WRITTEN APPROVAL IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
3. VERIFY EXISTING STRUCTURE PRIOR TO DEMOLITION.
4. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. PROTECT ALL AREAS OF EXTERIOR FINISH ADJACENT TO DEMOLISHED ELEMENTS. PATCH AND REPAIR TO MATCH EXISTING CONDITIONS IF AFFECTED DURING CONSTRUCTION.
6. COORDINATE REMOVAL OF EXISTING FLOOR FINISHES TO ACCOMMODATE NEW PROPOSED FLOORING. ADJUST UNDERLAYMENT AS NECESSARY TO ENSURE SMOOTH/LEVEL TRANSITIONS BETWEEN DIFFERENT MATERIALS AND NEW AND EXISTING WORK.

--- DASHED LINES INDICATE REMOVAL OF EXISTING



1 LEVEL 7
1/4" = 1'-0"



P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
01.09.17 DRB MINOR SUBDIVISION

KETTLER RESIDENCE- UNIT 736

136 COUNTRY CLUB DRIVE UNIT 736
MOUNTAIN VILLAGE, CO 81435

EXISTING / DEMO
PLANS

SHEET NUMBER

A2.1

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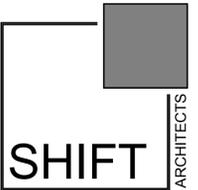
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GENERAL DEMOLITION NOTES:

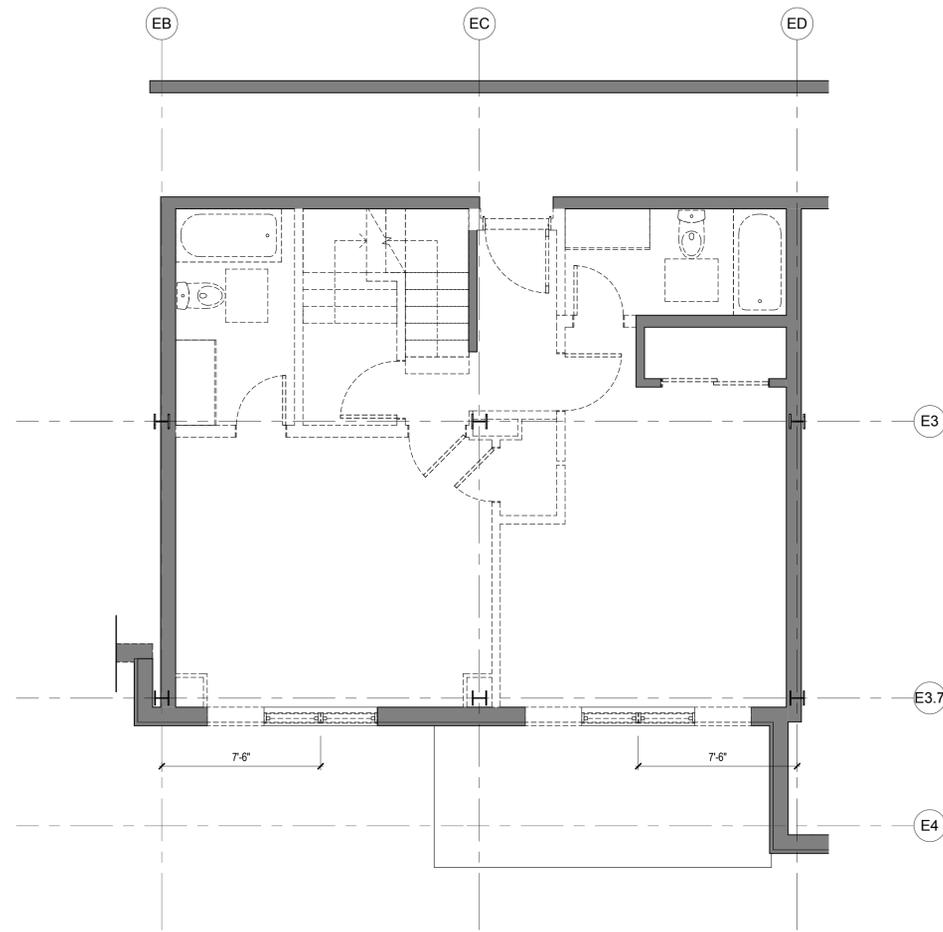
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--- DASHED LINES INDICATE REMOVAL OF EXISTING

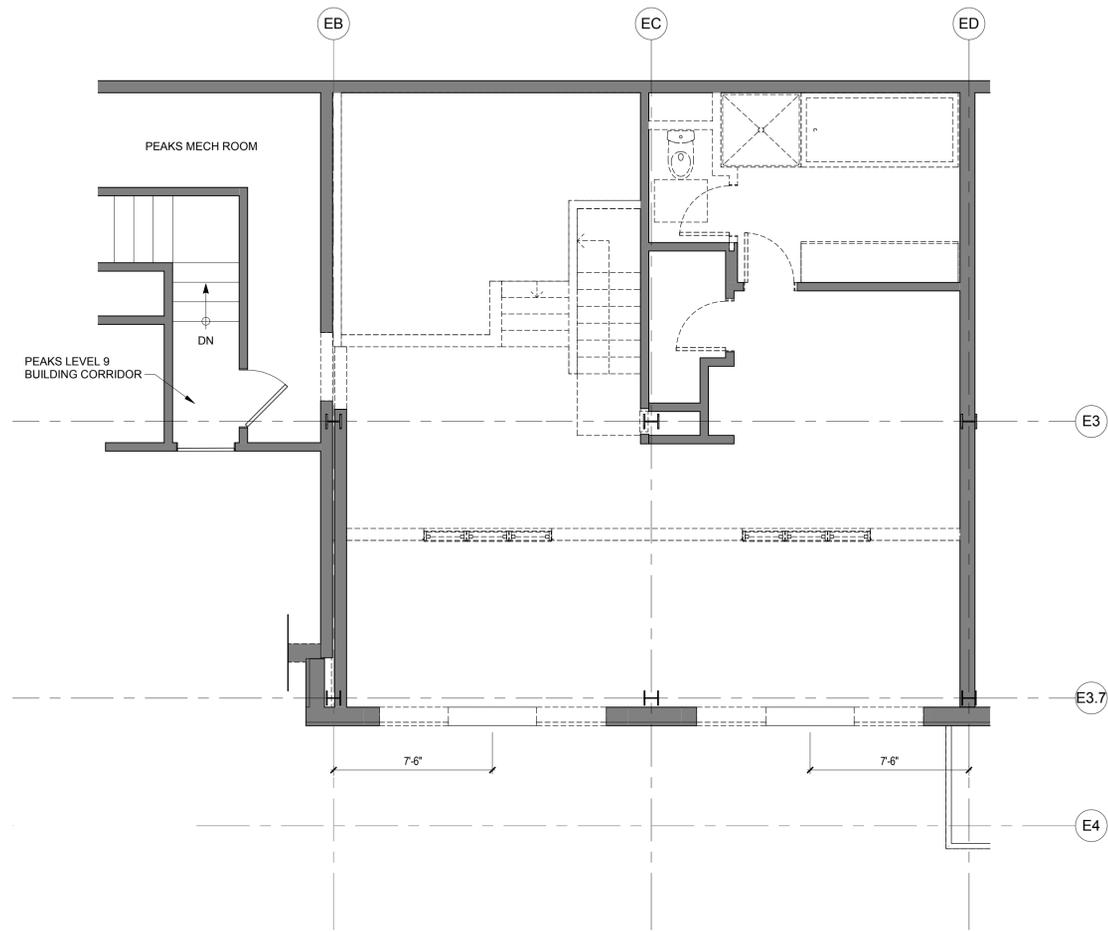


P.O. Box 3206
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kristine@shift-architects.com
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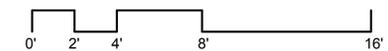
PROJECT ISSUE DATE:
01.09.17 DRB MINOR SUBDIVISION



1 LEVEL 8
1/4" = 1'-0"



2 LEVEL 9
1/4" = 1'-0"



KETTLER RESIDENCE- UNIT 736

136 COUNTRY CLUB DRIVE UNIT 736
MOUNTAIN VILLAGE, CO 81435

EXISTING / DEMO
PLANS

SHEET NUMBER

A2.2

1/9/2017 11:11:10 AM

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KETTLER RESIDENCE- UNIT 736

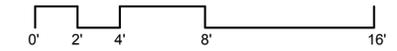
136 COUNTRY CLUB DRIVE UNIT 736
MOUNTAIN VILLAGE, CO 81435

EXISTING
ELEVATIONS

SHEET NUMBER

A2.4

1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



1/9/2017 11:11:11 AM

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2 EXISTING ELEVATION AT TERRACE
 1/4" = 1'-0"

1 EXISTING WEST ELEVATION
 1/4" = 1'-0"

T.O. Slab Lvl 10 (E)
 9585'-0"

T.O. Slab Lvl 9 (E)
 9575'-0"

T.O. Slab Lvl 8 (E)
 9565'-0"

T.O. Slab Lvl 7 (E)
 9555'-0"

KETTLER RESIDENCE- UNIT 736

136 COUNTRY CLUB DRIVE UNIT 736
 MOUNTAIN VILLAGE, CO 81435

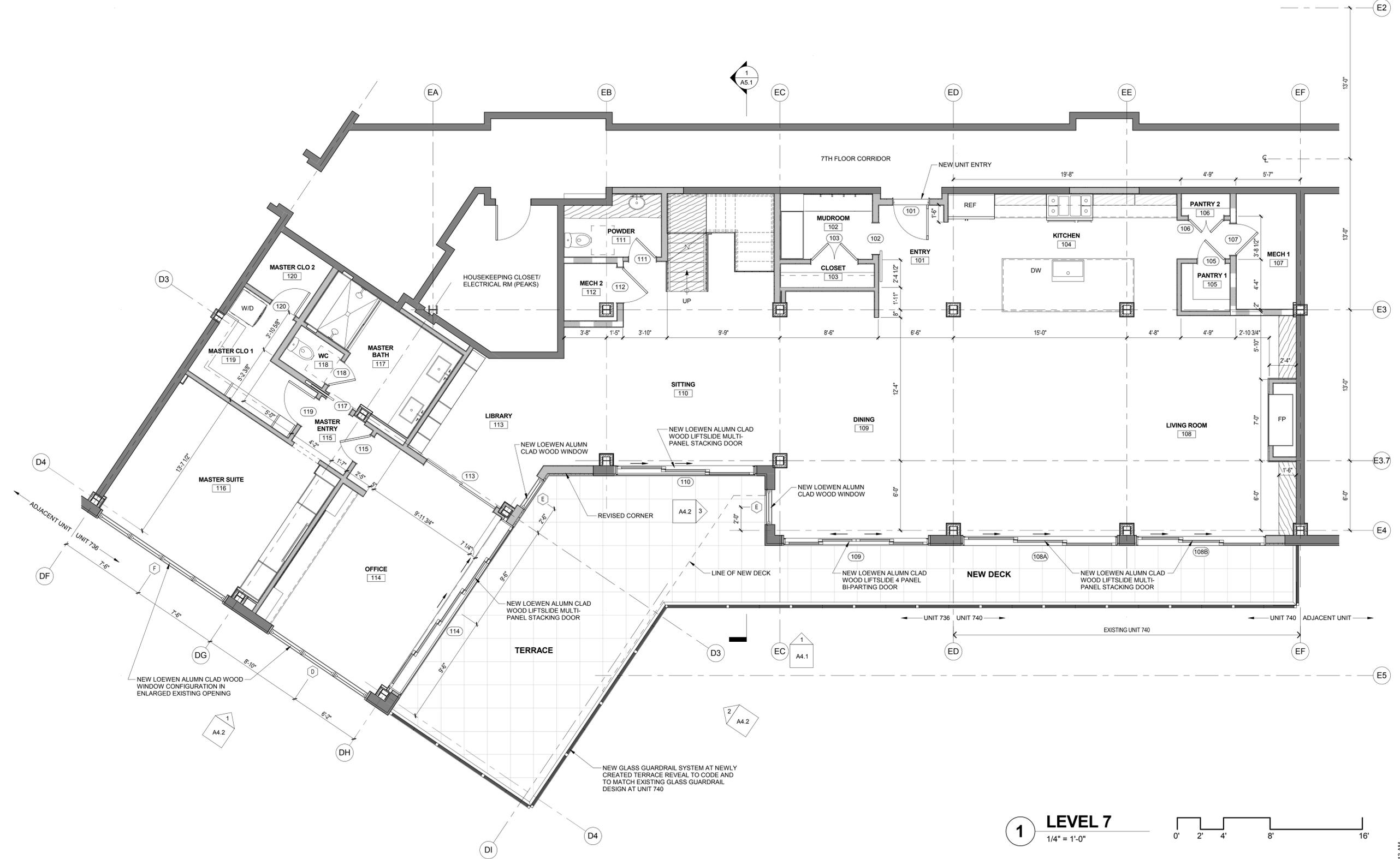
FLOOR PLANS

SHEET NUMBER

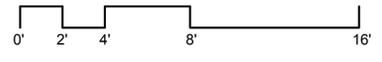
A3.1

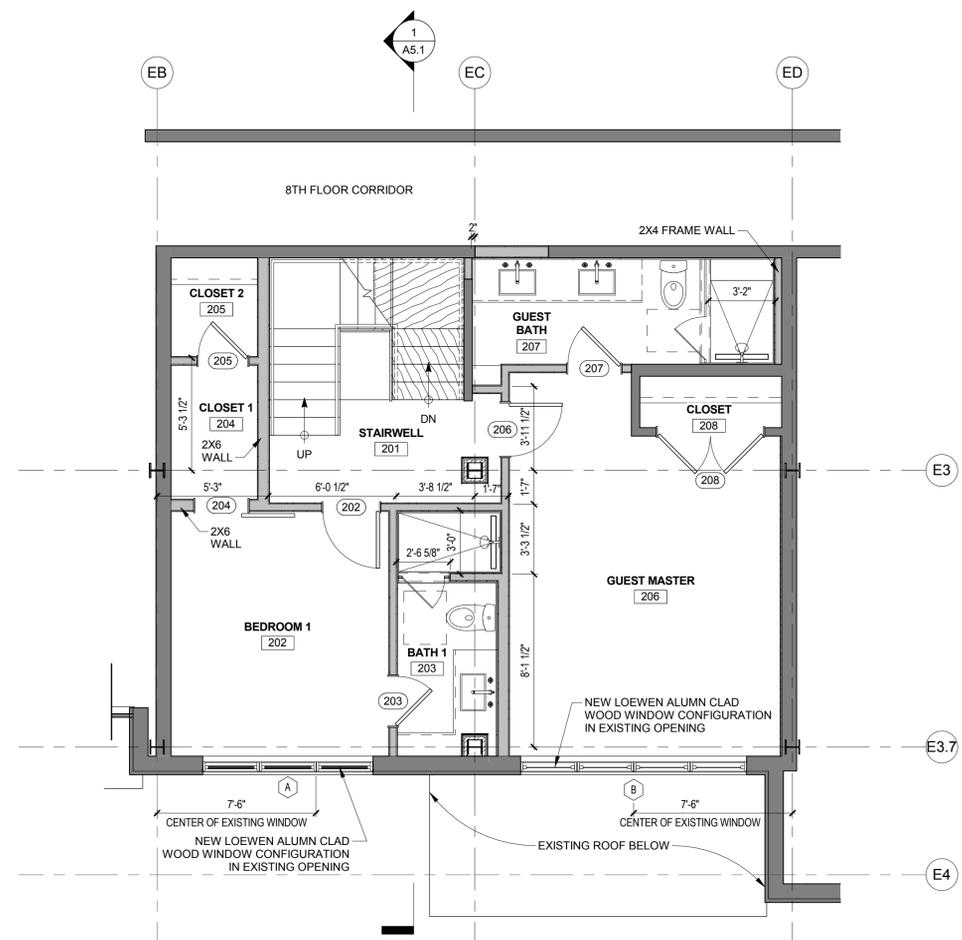
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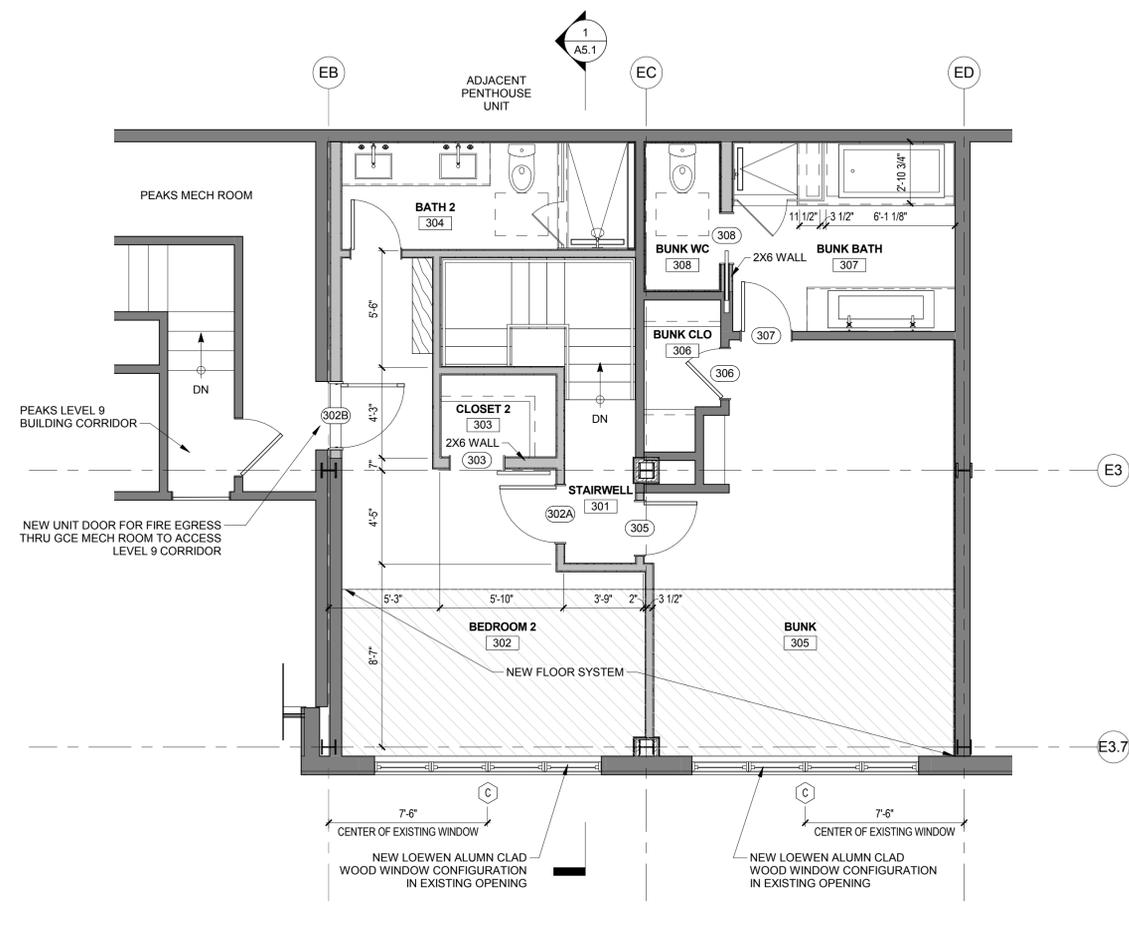


1 LEVEL 7
 1/4" = 1'-0"

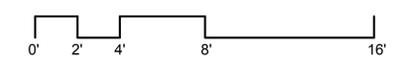




1 LEVEL 8
 1/4" = 1'-0"



2 LEVEL 9
 1/4" = 1'-0"



KETTLER RESIDENCE- UNIT 736

136 COUNTRY CLUB DRIVE UNIT 736
 MOUNTAIN VILLAGE, CO 81435

FLOOR PLANS

SHEET NUMBER

A3.2

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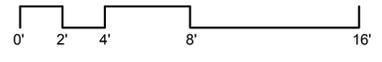
KETTLER RESIDENCE- UNIT 736

136 COUNTRY CLUB DRIVE UNIT 736
 MOUNTAIN VILLAGE, CO 81435

EXTERIOR ELEVATIONS

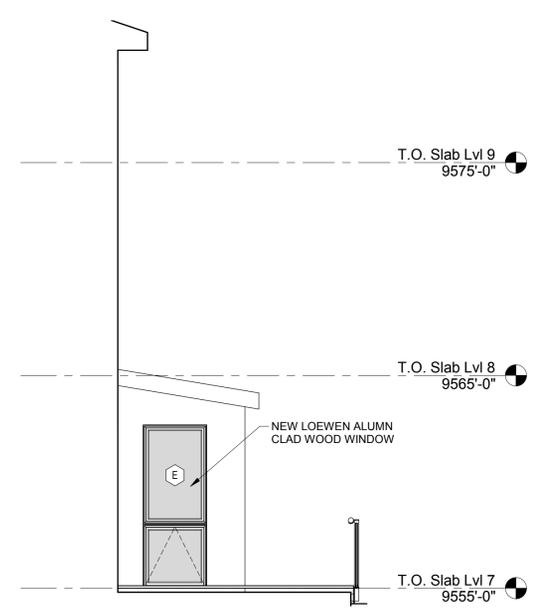
SHEET NUMBER

1 SOUTH ELEVATION
 1/4" = 1'-0"

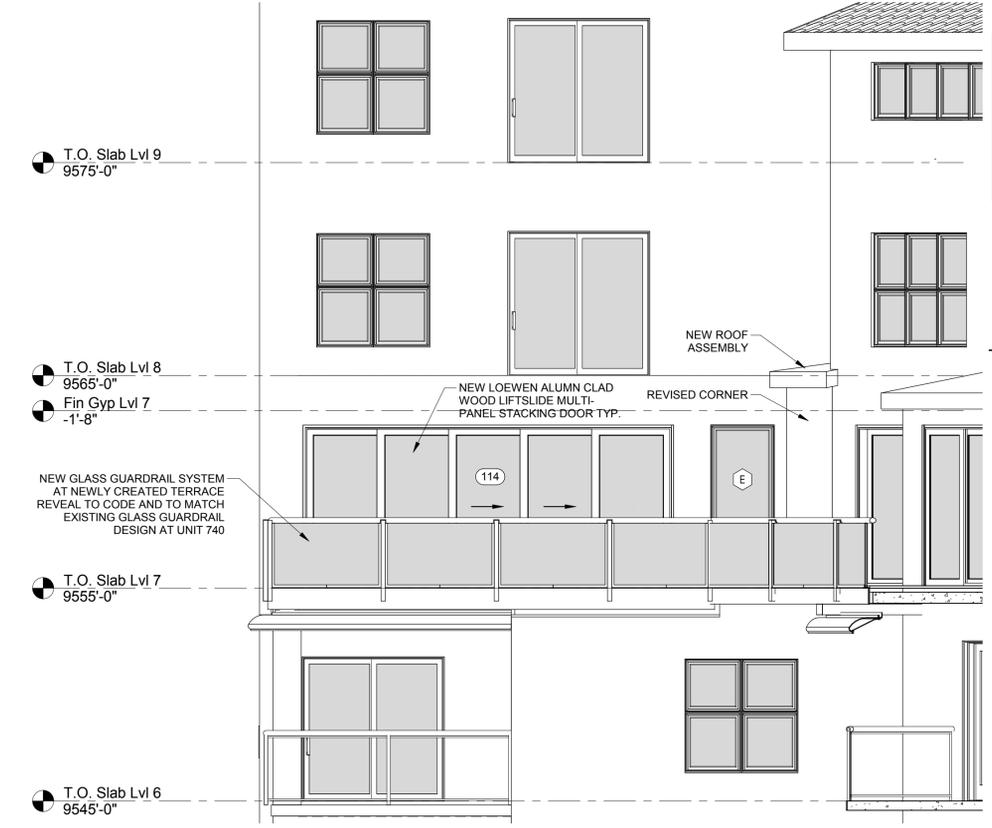


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A4.1



3 PARTIAL ELEVATION AT DINING WINDOW
1/4" = 1'-0"



2 PARTIAL ELEVATION AT TERRACE
1/4" = 1'-0"



T.O. Slab Lvl 9
9575'-0"

T.O. Slab Lvl 8
9565'-0"
Fin Gyp Lvl 7
-1'-8"

T.O. Slab Lvl 7
9555'-0"

T.O. Slab Lvl 6
9545'-0"

1 PARTIAL WEST ELEVATION
1/4" = 1'-0"

KETTLER RESIDENCE- UNIT 736

136 COUNTRY CLUB DRIVE UNIT 736
MOUNTAIN VILLAGE, CO 81435

EXTERIOR
ELEVATIONS

SHEET NUMBER

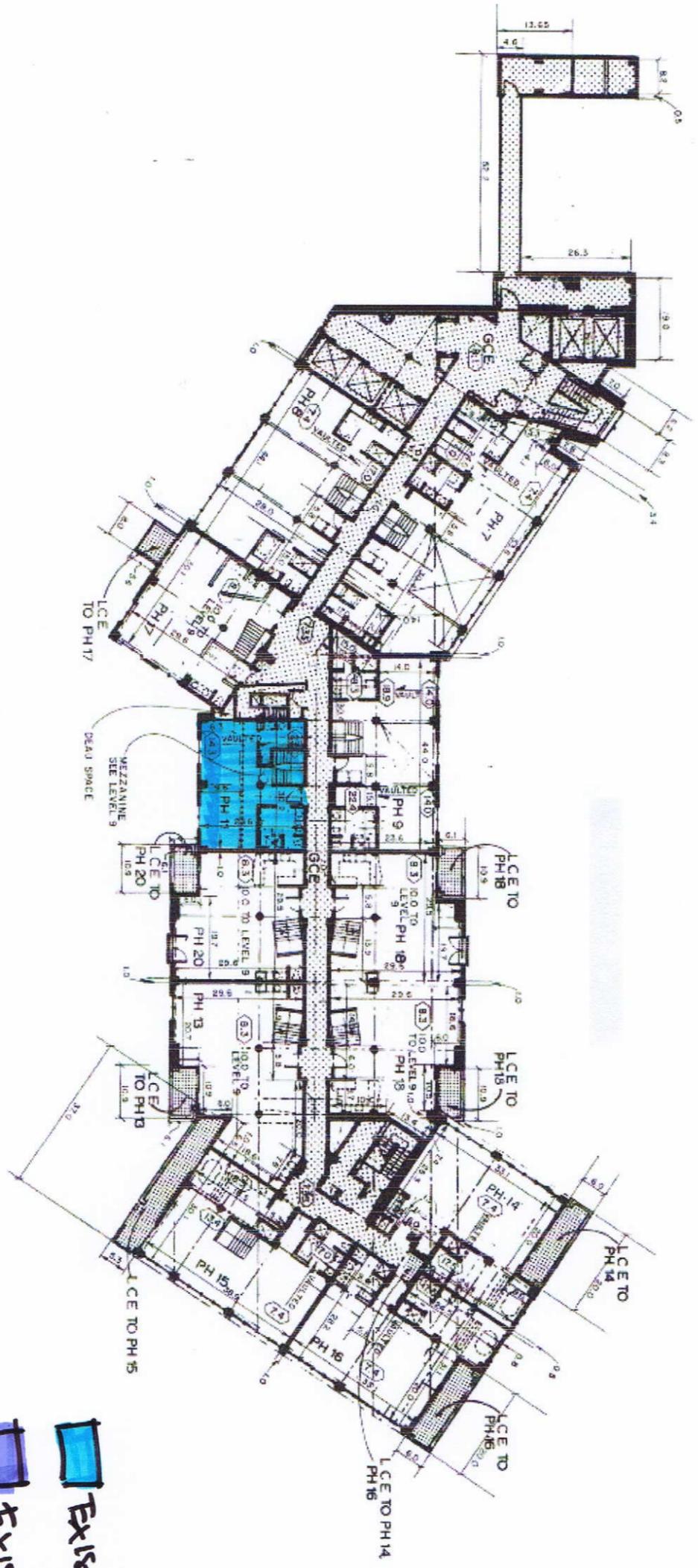
A4.2

1/9/2017 11:11:18 AM

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- LEGEND**
-  GCE General Common Element
 -  LCE Limited Common Element
 -  Room Height (horizontal boundary)
 -  Height Change



Doral Telluride

RESORT & SPA

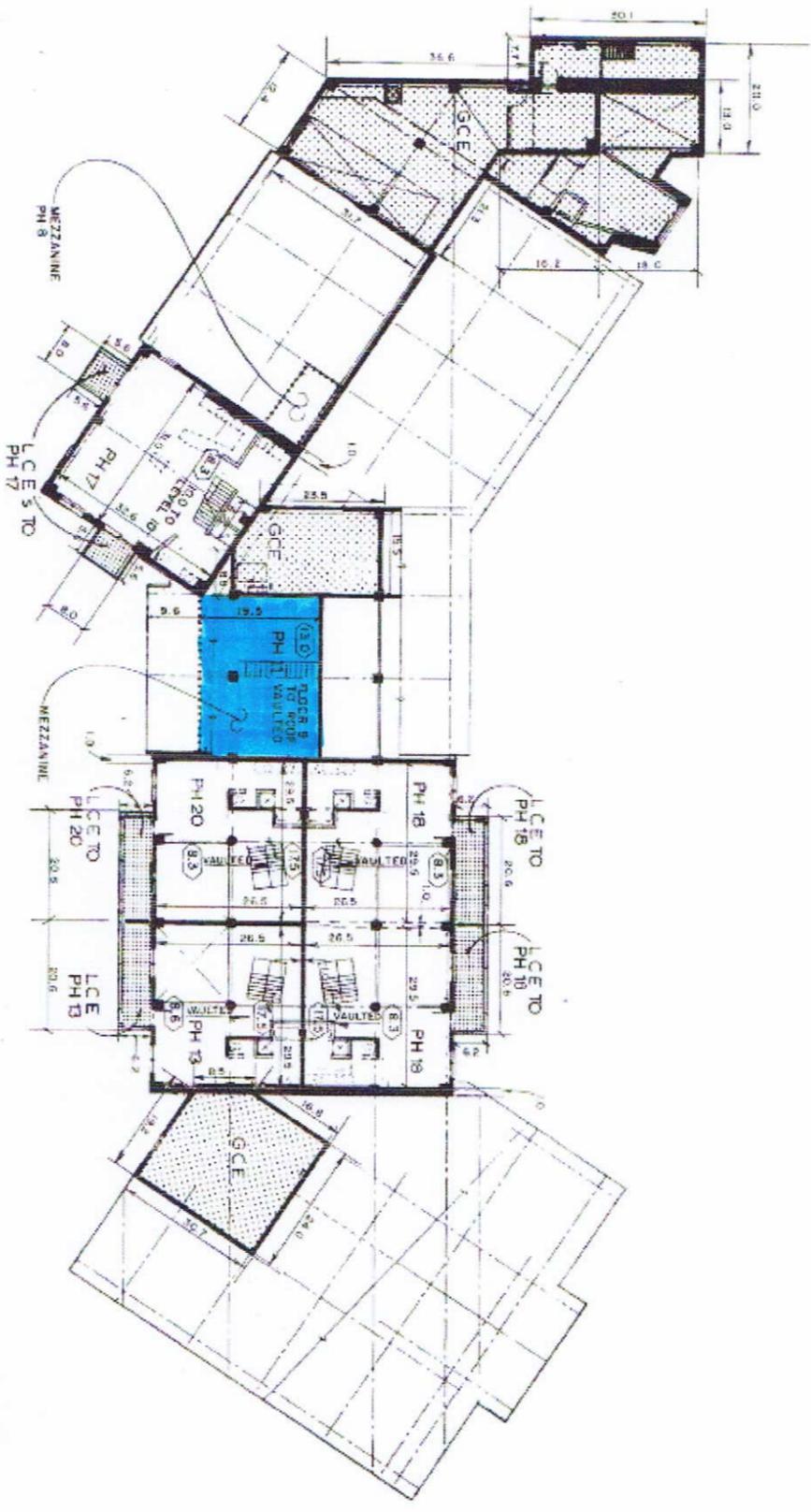
GREENHORNE & O'MARA, INC.

Engineers / Architects / Planners / Scientists / Surveyors
 5151 South Taughan Way Suite 488 Aurora, Colorado 80014 (303)-755-8000

NOTES: ALL INTERIOR WALLS
 ARE 0.5" THICK
 UNLESS OTHERWISE
 NOTED.

LEVEL EIGHT

 EXISTING PH 11, 13, 16
 EXISTING PH 12, 14, 16



- LEGEND**
- GCE General Common Element
 - LCE Limited Common Element
 - Room Height (horizontal boundary)
 - Height Change

Doral Telluride
RESORT & SPA

GREENHORNE & O'MARA, INC.
Engineers / Architects / Planners / Scientists / Surveyors
2131 South Trenchon Way Suite 422 Aurora, Colorado 80014 (303)-755-8000

LEVEL NINE

NOTE: ALL INTERIOR WALLS ARE 0.5" THICK UNLESS OTHERWISE NOTED.

EXISTING PH 11, 736
 EXISTING PH 12, 740



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

Agenda Item #5

TO: Design Review Board

FROM: Glen Van Nimwegen, AICP
Director

FOR: Meeting of March 2, 2017

DATE: February 22, 2017

RE: **Work Session to Review Application Requirements**

With the migration of the process to two steps, Sketch and Final, staff thought it would be helpful to review the current application requirements. Our goal will be to reach consensus with the Board of what documents are required for the initial Sketch review. We have attached the current applications for Class 3 DRB Review and Work Session.

Town Council is scheduled to have the public hearing and possible approval of the amendments to Chapter 17.4 Development Review Procedures on March 16, 2017. If adopted, the changes will go into effect on April 15, 2016. Any application made prior to this date will follow the current process.

Attachments:

- Conceptual Work Session Application
- Design Review Process Application



CONCEPTUAL WORKSESSION SUBMITTAL APPLICATION

Planning & Development Service
Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435

The Planning & Development Service Department is here to assist you with your conceptual worksession request pursuant to the Community Development Code (CDC).

This publication outlines the Conceptual Worksession process of the CDC and also provides the submittal requirements for such development applications.

Contents of the Publication

This publication is intended to address the submittal requirements for a worksession consistent with the Conceptual Worksession Process, which is a required process for certain development applications, such as a rezoning or PUD applications. However, it is each developer’s responsibility to review the CDC and any associated regulations to ensure a full understanding of the conceptual worksession process.

Development Review Process

Conceptual worksession submittals shall follow the process and procedures set forth in Chapter 17.4 of the CDC. The worksession process generally consists of the following steps:

- Step 1:** Pre-submittal Meeting
- Step 2:** Conceptual Worksession Submittal
- Step 3:** Planning Division Completeness Check
- Step 4:** Referral and Review
- Step 5:** Planning Division Follow-up Communication
- Step 6:** Plan Revisions
- Step 7:** Schedule DRB and, if applicable, Town Council Public Meeting(s)
- Step 8:** Publish Review Authority Agenda; and
- Step 9:** Conduct Public Conceptual Worksession

Conceptual Worksession Submittal Requirements:

The following forms, information and plans will need to be submitted in order to have a complete conceptual worksession submittal. Situations will occur when all of the listed submittal requirements will not be required and where items not listed as submittal requirements will be required in order for the Town to have sufficient information to fully evaluate the impacts of a proposed development. The Planning Division is therefore authorized to determine, based on the nature of a proposed development, whether to waive submittal requirements or require additional submittal requirements.

Submitted (Office Use)	Item No	Submittal Requirements
	1.	Worksession Submission Form. Completed; form (Attached).
	2.	Fees. \$1,000 (Credit for any future development submittals).



CONCEPTUAL WORKSESSION SUBMITTAL APPLICATION

**Planning & Development Service
Department**
Planning Division
 455 Mountain Village Blvd.
 Mountain Village, CO 81435

Submitted (Office Use)	Item No	Submittal Requirements
		The agent and property owner are responsible for paying all Town fees as set forth in the fee resolution, and are also required by the CDC to pay for Town legal fees, the cost of special studies, and other fees as set forth in the CDC. Such fees are considered a condition precedent to having a complete development process submission, and shall be paid prior to the Town issuing the final approval.
	3.	Proof of Ownership. Copy of current deed or title report on the effected property.
	4.	Agency Letter. If conceptual worksession request is not submitted by the owner of the property, a letter of agency, signed by the property owner giving permission to a firm or person to submit the requested land use application (Attached). A conceptual worksession for a PUD may be filed only by the owner(s) of fee title to all land to be included within such PUD or other person holding written consent thereto from the owner(s) of all land to be included in such PUD, or any combination thereof. No PUD may be approved without the written consent of the landowner(s) whose property is included in the PUD.
	5.	HOA Letter. For proposed development on property that is owned in common by a homeowners association, the conceptual worksession submittal shall include: <ul style="list-style-type: none"> A. A letter from the Homeowner’s Association (HOA) board giving permission for the request (Attached), and, where a vote is required by the HOA governing documents, a copy of the proof of the vote and outcome of such vote. B. A copy of the HOA governing documents, including bylaws and declaration.
	6.	Title Report. Copy of current title report for the property listing all encumbrances.
	7.	Development Narrative. A written narrative of the proposed development that outlines the request. The narrative should include a summary of how the proposed development meets the key requirements of the CDC, such as the applicable criteria for decision.
	8.	Existing Condition Plan. A stamped, monumented land survey prepared by a Colorado registered land surveyor showing existing site and surrounding access (driveway or roadway route, utility route, etc.) conditions drawn at a scale of 1” = 10’ to a maximum of 1” = 30’ showing the following information: <ul style="list-style-type: none"> A. Lot Size. Lot size needs to be shown. B. Existing Lot Lines. Existing platted lot lines need to be shown with distances, bearings and a basis of bearing. Existing property pins or monuments found and the relationship to the established corner also need to be shown. C. Existing Topography. Existing topography needs to be shown with two foot contour intervals, including spot elevations at the edge of asphalt along any roadway or driveway frontage for the intended accessway at 25 foot intervals. D. Steep Slopes. Any slopes that are 30% or greater shall be mapped with a shaded or hatched pattern. E. Wetlands, Ponds, Streams or Drainages (if any). Wetlands, ponds, streams and drainages need to be shown. Recent wetland delineation by qualified consultant



CONCEPTUAL WORKSESSION SUBMITTAL APPLICATION

Planning & Development Service
Department
Planning Division
 455 Mountain Village Blvd.
 Mountain Village, CO 81435

Submitted (Office Use)	Item No	Submittal Requirements
		must be surveyed and shown on proposed site plan for United States Army Corps of Engineers approval. If wetlands are located adjacent to the development site, such wetland area also needs to be shown.
		F. Easements. Indicated all easements shown on the governing plats and recorded against the property.
		G. Utilities. All underground and above ground utilities and pedestals or transformers need to be shown.
		H. Existing Improvements. Any existing site improvements need to be shown, such as buildings (including driplines), drainage systems, trails (if part of official Town trail system as shown in the Comprehensive Plan), sidewalks, roadways, driveways, light poles and fences.
		I. Fire Mitigation/Forestry Management. A tree survey of all trees with a diameter at breast height of four inches (4") or greater shall be shown to ensure compliance with the fire mitigation and forestry management requirements.
	9.	Proposed Development Plan. The following information shall be submitted for the conceptual worksession:
		A. Conceptual Site Plan. A conceptual site plan prepared by a qualified consultant (architect, engineer, planner, etc.) in accordance with the applicable regulations of the CDC (unless a variation is requested pursuant to the PUD Regulations) shall be submitted to show the proposed location of any roads, driveways, buildings, sidewalks, trails, parking areas, amenity areas, plaza areas, or other intended or required development.
		B. Conceptual Grading Plan. A conceptual grading plan prepared by a qualified consultant showing how the project can meet the CDC roadway and driveway standards, grading and drainage design requirements and pedestrian connections, as applicable, with proposed grading shown with a solid line and spot elevations as needed.
		C. Conceptual Building Elevations and Floorplans: Conceptual architectural plans prepared by a qualified consultant designed in accordance with the applicable regulations of the CDC (unless a variation is requested pursuant to the PUD Regulations) including but not limited to building elevations and floorplans with a scale of 1/4" = 1' to 1/16" = 1' for larger scale projects.
		D. Conceptual Landscaping Plan. A conceptual landscaping plan in accordance with the Landscaping Regulations shall be designed and prepared by a qualified consultant with experience in creating and planting landscape plans in montane and subalpine life zones.
	10	Practicable Alternatives Analysis: For development proposing disturbance to wetlands, the general easement or slopes greater than 30%, the Town may require an applicant prepare a practicable alternatives analysis to demonstrate why it is not practicable to avoid such areas.



CONCEPTUAL WORKSESSION SUBMITTAL APPLICATION

Planning & Development Service
Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435

Submitted (Office Use)	Item No	Submittal Requirements
	11.	Plan Set Sheet Requirements. All plans sets as set forth in these submittal requirements shall be formatted to have a sheet size of 24" X 36", with cover sheet providing the contact information of all plan consultants, vicinity map, and sheet index; and all sheets showing date of original plan preparation and all revision dates, sheet labels and numbers, borders, title blocks, project name, lot number, address and legends. A. All plans submitted by a Colorado licensed architect, surveyor, geologist or interior designer shall be electronically stamped and signed without a locked signature to allow for commenting on the plan sets.
	12.	ePlan Submittal. All conceptual worksession requests shall be submitted pursuant to the ePlans submittal as outlined in the following publication: https://townofmountainvillage.com/media/ePlans-Electronic-Submittal-and-Review.pdf

Questions and/or comments on ePlans Process can be directed to cd@mtnvillage.org or call 970-728-1392.



CONCEPTUAL WORKSESSION SUBMITTAL APPLICATION

Planning & Development Service
Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435

WORKSESSION SUBMISSION PROCESS		
APPLICANT INFORMATION		
Name:		E-mail Address:
Mailing Address:		Phone:
City:	State:	Zip Code:
Mountain Village Business License Number:		
PROPERTY INFORMATION		
Physical Address:		Acreage:
Zone District:	Zoning Designations:	Density Assigned to the Lot or Site:
Legal Description:		
Existing Land Uses:		
Proposed Land Uses:		
OWNER INFORMATION		
Property Owner:		E-mail Address:
Mailing Address:		Phone:
City:	State:	Zip Code:
DESCRIPTION OF REQUEST		



CONCEPTUAL WORKSESSION SUBMITTAL APPLICATION

Planning & Development Service
Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435

**OWNER/APPLICANT
ACKNOWLEDGEMENT
OF RESPONSIBILITIES**

I, _____, the owner of Lot _____ (the "Property") hereby certify that the statements made by myself and my agents on this submittal are true and correct. I acknowledge that any misrepresentation of any information on the submittal may be grounds for denial of the development worksession or the imposition of penalties and/or fines pursuant to the Community Development Code. We have familiarized ourselves with the rules, regulations and procedures with respect to preparing and filing the development submission request. We agree to allow access to the proposed development site at all times by member of Town staff, DRB members and the Town Council. We agree that if this request is approved, it is issued on the representations made in the development submittal, and any approval or subsequently issued building permit(s) or other type of permit(s) may be revoked without notice if there is a breach of representations or conditions of approval. By signing this acknowledgement, I understand and agree that I am responsible for the completion of all required on-site and off-site improvements as shown and approved on the final plan(s) (including but not limited to: landscaping, paving, lighting, etc.). We further understand that I (we) are responsible for paying Town legal fees and other fees as set forth in the Community Development Code.

Signature of Owner

Date

Signature of /Agent

Date

OFFICE USE ONLY

Fee Paid:

By:

Planner:



CONCEPTUAL WORKSESSION SUBMITTAL APPLICATION

Planning & Development Service
Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435

OWNER AGENT AUTHORIZATION FORM

I have reviewed the development submission request and hereby authorize _____
of _____ to be and to act as my designated representative and represent
the development request through all aspects of the development review process with the Town of Mountain
Village.

(Signature)

(Date)

(Printed name)



CONCEPTUAL WORKSESSION SUBMITTAL APPLICATION

Planning & Development Service
Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435

HOA APPROVAL LETTER

I, (*print name*) _____, the HOA president of property located at
_____, provide this letter as
written approval of the plans dated _____ which have been submitted to the
Town of Mountain Village Planning & Development Service Department for the proposed improvements to be
completed at the address noted above. I understand that the proposed improvements include (*indicate below*):

(Signature)

(Date)

(Title)



DESIGN REVIEW PROCESS APPLICATION

Planning & Development Services
Department
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435

The Planning & Development Services Department is here to assist you with your development application pursuant to the Community Development Code (CDC).

This publication outlines the Design Review Process Development Application process of the CDC and also provides the submittal requirements for such development application.

Contents of the Publication

This publication is intended to address the submittal requirements for a Design Review Development Application. However, it is each applicant's responsibility to review the CDC and any associated regulations to ensure a full understanding of the development application process.

Development Review Process

After any required conceptual worksession with the DRB and/or the Town Council, design review process development applications shall be processed as a class 1, class 2 or class 3 development applications as follows:

Class 1 application: Staff development application review process;

Class 2 application: Staff-DRB chair development application review process;

Class 3 application: DRB development application review process;

Class 1 Applications. *The following types of Design Review Process development applications shall be processed as class 1 applications:*

1. Design revisions or remodeling that are minor in nature, does not alter the massing of the structure and does not compromise the intent of the Design Regulations or approved plans provided the developer provides a courtesy notice to all property owners within 400 feet of the lot affected by the redevelopment;
2. Painting or staining of an existing home or structure;
3. Roofing replacement;
4. Insubstantial landscaping and grading development applications;
5. Sign permits;
6. Bridges for recreational or pedestrian paths;
7. Fire mitigation and forestry management projects;
8. New or modified lighting on all buildings and structures;
9. The replacement of a lift with a new lift provided the capacity of the lift is not changing;
10. Minor golf course improvements or landscaping, such green or tee replacements; and
11. Minor ski resort improvements such as replacing or installing a snowmaking line.

If any of design variation is sought pursuant to Design Variation Process for one of the development applications set forth above, such development application shall be processed as a class 3 application. The review authority may elect to elevate a Design Review Process Development Application to either a class 2 or 3 application based on complicating factors, complex design or other similar considerations. If the review authority elects to elevate



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a Design Review Process Development Application to a class 3 application, no public notice of such application is required.

Class 2 Development Applications. The following types of Design Review Process development applications shall be processed as class 2 applications:

1. Building additions that do not increase the floor area by more than twenty-five percent (25%) of the primary structure;
2. Design revisions or remodeling that are more significant in nature, minimally alters the massing of the structure and does not compromise the intent of the Design Regulations or approved plans provided the developer provides a courtesy notice to all property owners within 400 feet of the lot affected by the redevelopment;
3. New or remodeled, non-residential buildings or structures with less than 2,500 sq. ft. of floor area; and
4. Substantial landscaping and grading development applications;

If any of design variation is sought pursuant to Design Variation Process for one of the development applications set forth above, such development application shall be processed as a class 3 application. The review authority may elect to elevate a Design Review Process development application to a class 3 application based on complicating factors, complex design or other similar considerations. If the review authority elects to elevate a Design Review Process development application to a class 3 application, no public notice of such application is required.

Class 3 Development Applications. All other Design Review Process development applications not listed above shall be processed as class 3 applications.

The development application process generally consists of the following steps:

- Step 1: Pre-submittal Meeting with Applicant and Planning Division (Class 2 and 3 Applications, or if Required for Class 1 Applications)**
- Step 2: Applicant Development Application Submittal**
- Step 3: Planning Division Development Application Completeness Check**
- Step 4: Planning Division Development Application Referral and Review**
- Step 5: Planning Division Follow-up Communication**
- Step 6: Applicant Plan Revisions**
- Step 7: Planning Division Schedule Review Authority Public Hearing (Class 3 Applications)**
- Step 8: Applicant Public Noticing for Class 3 Applications (Minimum of 30 days prior to hearing)**
- Step 9: Planning Division Preparation of Staff Reports (Typically only for Class 2 and 3 applications)**
- Step 10: Design Review Board Public Hearing(s) Typically Only for Class 3 Applications (Class 1 and 2 Applications May be Elevated)**
- Step 11: Review Authority Action**
- Step 12: Planning Division Provides Notice of Action**
- Step 13: Effective Date of Application Decision and Appeal**
- Step 14: Length of Validity (Generally 18 months unless longer vesting)**



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Development Application Submittal Requirements:

The following forms, information and plans will need to be submitted in order to have a complete development application. Situations will occur when all of the listed submittal requirements will not be required and where items not listed as submittal requirements will be required in order for the Town to have sufficient information to fully evaluate the impacts of a development application. The Planning Division is therefore authorized to determine, based on the nature of a development application, whether to waive submittal requirements or require additional submittal requirements.

Submitted (Office Use)	Item No	Submittal Requirements
	1.	Application Form. Completed application form (Attached).
	2.	Fees. A. Class 1: \$250 for 2 hours; hourly rate thereafter B. Class 2: \$500 for 4 hours; hourly rate thereafter C. Class 3: \$3,500 plus per unit fee The applicant and property owner are responsible for paying all Town fees as set forth in the fee resolution, and are also required by the CDC to pay for Town Legal fees, the cost of special studies, and other fees as set forth in the CDC. Such fees are considered a condition precedent to having a complete development application, and shall be paid prior to the Town issuing the final approval
	3.	Proof of Ownership. Copy of current deed or title report on the effected property.
	4.	Agency Letter. If application is not submitted by the owner of the property, a letter of agency, signed by the property owner giving permission to a firm or person to submit the requested land use application (Attached).
	5.	HOA Letter. For development on property that is owned in common by a homeowners association, the development application shall include: A. A letter from the Homeowner's Association (HOA) board giving permission for the application (Attached), and where a vote is required by the HOA governing documents, a copy of the proof of the vote and outcome of such vote. B. A copy of the HOA governing documents, including bylaws and declaration.
	6.	Title Report. Copy of current title report for the property listing all encumbrances.
	7.	Development Narrative. A written narrative of the development application that outlines the request. The narrative should include a summary of how the application meets the key requirements of the CDC, such as the applicable criteria for decision
	8.	Existing Condition Plan. A stamped, monumented land survey prepared by a Colorado registered land surveyor showing existing site and surrounding access (driveway or roadway route, utility route, etc.) conditions drawn at a scale of 1" = 10' to a maximum of 1" = 30' showing the following information: A. Lot Size. Lot size needs to be shown. B. Existing Lot Lines. Existing platted lot lines need to be shown with distances, bearings and a basis of bearing. Existing property pins or monuments found and the relationship to the established corner also need to be shown. C. Existing Topography. Existing topography needs to be shown with two foot contour



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		intervals, including spot elevations at the edge of asphalt along any roadway or driveway frontage for the intended access-way at 25 foot intervals.
		D. Steep Slopes. Any slopes that are 30% or greater shall be mapped with a shaded or hatch pattern.
		E. Wetlands, Ponds, Streams or Drainages (if any). Wetland, ponds, streams and drainages need to be shown. Recent wetland delineation by qualified consultant must be surveyed and shown on proposed site plan for United States Army Corps of Engineers approval. If wetland are located adjacent to the development site, such wetland area also needs to be shown (17.6.1 B)
		F. Easements. Indicate all easements shown on the governing plats and recorded against the property.
		G. Utilities. All underground and above ground utilities and pedestals or transformers need to be shown.
		H. Existing Improvements. Any existing site improvements need to be shown, such as buildings (including drip lines), drainage systems, trails (if part of official Town trails system as shown in the Comprehensive Plan), sidewalks, roadways, driveways, lite poles and fences.
		I. Fire Mitigation/Forestry Management. A Tree survey of all trees with a diameter at breast height of four inches (4") or greater shall be shown to ensure compliance with the fire mitigation and forestry management requirements (17.6.1 A)
	9.	Proposed Development Plan. The following information needs to be submitted:
		A. Site Plan. A site plan showing all proposed development improvements with an engineered scale of 1"=10' to a maximum of 1" =30' showing: <ul style="list-style-type: none"> i. Existing topography, existing utility pedestals and transformers, proposed grading, wetlands, trees with a bdh of 4" or greater, ponds, streams, drainages, setbacks and easements. ii. Proposed buildings, with roof drip lines clearly shown. iii. Composite utility plan including but not limited to proposed gas and electric meter locations and any new transformer locations. iv. Proposed parking areas and spaces, required signage (adaptable parking spaces, loading/unloading area, no parking etc.), address monuments, sidewalks, lighting, trash/recycling enclosures, amenity area, patios, decks and other proposed improvements clearly shown. v. Proposed landscaping. vi. Project summary that lists project data, including but not limited to lot size, zoning designations on the lot or site, building height, average building height, required parking and maximum lot coverage.
		B. Grading Plan. An access and grading plan prepared by a Colorado registered professional engineer showing how the project can meet the CDC roadway and driveway standards (17.6.6), grading and drainage design requirements (17.5.5 and 17.5.7) and pedestrian connections, as applicable, with existing grading in a dashed line, propose degrading shown with a solid line and spot elevations as needed.
		C. Building Elevations and floor Plans. . Architectural plans prepared by a Colorado



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		<p>licensed architect designed in accordance with the applicable regulations of the CDEC (Design Regulations, Zoning Regulation, etc.) including but not limited to building elevations and floor plans with a scale of 1/4" = 1' to 1/16"= 1' for larger scale projects.</p> <ul style="list-style-type: none"> i. Floor plans labeled, dimensions and drawn in sufficient detail ii. All elevations of proposed buildings with all exterior wall materials clearly labeled and calculated in a table format to comply with section 17.5.6E and iii. Maximum building height and maximum average height with plan submittal requirements pursuant to CDC section 17.3.11, including but not limited to a table calculating the maximum average building height. iv. Roof plan that meets the roof form Design Regulations in section 17.5.6.C, including but not limited to roof design, snow and ice shed prevention devices, pitch, eaves and fascia, drainage and material.. v. Roof plan overlaid on a topographic survey with all ridgeline heights labeled in USGS elevation vi. Window and door schedule to comply with CDC section 17.5.6.G-H Details of recess of windows and doors within stucco or stone walls. vii. Address monument design and lighting to comply with CDC section 17.5.13.E(4) and 17.5.13.F.
		<p>D. Computer Massing Model. A computer massing model with interactive viewing capability (360 degree rotation, fly by, etc.) showing the proposed buildings, including roof forms, illustrating building mass and proportion, site contours of 2' intervals, and surrounding development to scale so the building design can be evaluated pursuant to the Design Regulations.</p>
		<p>E. Landscape Plan. A Landscape plan in accordance with the Landscaping Regulations (17.5.9) shall be designed and prepared by an American Society of Landscape Architecture certified designer or a landscape professional with experience in creating and planting landscape plans in montane and subalpine life zones.</p>
		<p>F. Outdoor Lighting Plan. A conceptual outdoor lighting plan in accordance with the Lighting Regulations (17.5.12) including but not limited to the need to provide full cut-off light fixtures.</p>
		<p>G. Construction Mitigation Plan. Maps or plans and written narrative describing layout of the construction site to show:</p> <ul style="list-style-type: none"> i. Limits of construction disturbance, including limits of excavation; ii. Location of cranes and crane radius (if applicable); iii. Limits of tree removal; iv. Identification of trees to remain within the limits of disturbance; v. Location of construction fencing and details of methods to protect the trees to be preserved on a site and any other vegetation; vi. Location of building materials storage areas, cut and slash storage and route of removal;
		<p>vii. Construction parking(location and amount);</p>



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		<ul style="list-style-type: none"> viii. Location of port-a-toilet; ix. Location and size of construction trailer; x. Location and methods of erosion control and methods to protect ponds, streams and wetland is applicable; xi. Location and size of trash container of enclosure and route of removal; and xii. Location of bear proof container for all food waste.
		<p>H. Material Board. The applicant shall submit photos of proposed materials and a 2'x3' materials board with sampled of stone, siding material, colors, accent material and roofing at the time of the DRB Review for Class 3 applications. A 4'x4' stone mockup shall be constructed on site prior to commencement of stone work.</p>
	10.	<p>A. Engineered Infrastructure Plan. The development shall include sufficient infrastructure designed by a Colorado registered professional engineer, including but not limited to vehicular and pedestrian access, mass transit connections, parking, traffic circulation, fire access, water , sewer and other utilities.</p> <ul style="list-style-type: none"> i. Utility Plan. A composite utility plan showing the intended routes for providing water, sewer, electric, cable and telecommunications. ii. Availability of Water, Sewage Disposal and Utilities. The applicant shall consult with the director of the Public Works Department, San Miguel Power association and Source Gas prior to the submission of a development application to include statements from such agencies in the application on the availability of utilities to serve the intended development. iii. Access Plan. An access plan providing access to and from the site of the development shall be provided, including any needed infrastructure improvements as may be required by the Subdivision Regulations and the Road and Driveway Standards.
	11.	<p>Practicable Alternatives Analysis: For development proposing disturbance to wetlands, the general easement or slopes greater than 30%, the Town may require an applicant prepare a practicable alternative to demonstrate why it is not practicable to avoid such areas.</p>
	12.	<p>Design Variation. If a design variation is requested pursuant to the Design Variation Process in the CDC section 17.4.11.E(5), the application shall include a detailed narrative on how such variation meets the criteria in section 17.4.11.E(5)(e).</p>
	13.	<p>Public Improvements Cost Spreadsheet. For multi-family, mixed use or commercial development, or as otherwise required by the CDC or a development agreement, the developer shall submit a spreadsheet breaking down the cost of the construction of any public facilities or improvements that are necessary for the development, with such spreadsheet providing the line item total cost, unit type (EG. Lineal feet, cubic yards, sq. Ft.)</p>
	14.	<p>Plan Set Sheet Requirements. All plan sets as set forth in these submittal requirements shall be formatted to have a sheet size of 24" x 36", with cover sheet providing the contact information of all plan consultants, vicinity map, and sheet index; and all sheets showing date of original plan preparation and all revision dates, sheet labels and numbers, borders, title blocks, project name, lot number, address legends.</p>



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		A. All plans submitted by a Colorado licensed architect, Surveyor, geologist or interior designer shall be electronically stamped and signed without a locked signature to allow for commenting on the plan sets.
	15.	Licensed Architect Required. All development applications for a structure or building to be constructed, altered or modified within the town are required to be stamped by a Colorado licensed architect. If allowed by the CRS 12-25-301 et seq, the Director of Community Development may exempt a remodeling development application for this requirement, if he/she determines that such remodeling is minor in nature and without any modification to a building's mass, or for a remodeling that is simply proposing the replacement of exterior materials and associated minor alterations.
	16.	ePlan Submittal. All development applications shall be submitted pursuant to the ePlans submittal process as outlined in the following publication: https://townofmountainvillage.com/media/ePlans-Electronic-Submittal-and-Review.pdf

Questions and/or comments on ePlans Process can be directed to cd@mtnvillage.org or call 970-728-1392.



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APPLICANT INFORMATION			
Name:		E-mail Address:	
Mailing Address:		Phone:	
City:	State:	Zip Code:	
Mountain Village Business License Number:			
PROPERTY INFORMATION			
Physical Address:		Acreage:	
Zone District:	Zoning Designations:	Density Assigned to the Lot or Site:	
Legal Description:			
Existing Land Uses:			
Proposed Land Uses:			
OWNER INFORMATION			
Property Owner:		E-mail Address:	
Mailing Address:		Phone:	
City:	State:	Zip Code:	
DESCRIPTION OF REQUEST			



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**OWNER/APPLICANT
ACKNOWLEDGEMENT
OF RESPONSIBILITIES**

I, _____, the owner of Lot _____ (the "Property") hereby certify that the statements made by myself and my agents on this application are true and correct. I acknowledge that any misrepresentation of any information on the application submittal may be grounds for denial of the development application or the imposition of penalties and/or fines pursuant to the Community Development Code. We have familiarized ourselves with the rules, regulations and procedures with respect to preparing and filing the development application. We agree to allow access to the proposed development site at all times by members of Town staff, DRB and Town Council. We agree that if this request is approved, it is issued on the representations made in the development application submittal, and any approval or subsequently issued building permit(s) or other type of permit(s) may be revoked without notice if there is a breach of representations or conditions of approval. By signing this acknowledgement, I understand and agree that I am responsible for the completion of all required on-site and off-site improvements as shown and approved on the final plan(s) (including but not limited to: landscaping, paving, lighting, etc.). We further understand that I (we) are responsible for paying Town legal fees and other fees as set forth in the Community Development Code.

Signature of Owner

Date

Signature of Applicant/Agent

Date

OFFICE USE ONLY

Fee Paid:

By:

Planner:



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OWNER AGENT AUTHORIZATION FORM

I have reviewed the application and hereby authorize (agent *name*) _____
of (agent's business name) _____ to be and to act as my designated
representative and represent the development application through all aspects of the development review
process with the Town of Mountain Village.

(Signature)

(Date)

(Printed name)



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HOA APPROVAL LETTER

I, (*print name*) _____, the HOA president of property located at _____, provide this letter as written approval of the plans dated _____ which have been submitted to the Town of Mountain Village Planning & Development Services Department for the proposed improvements to be completed at the address noted above. I understand that the proposed improvements include (*indicate below*):

(Signature)

(Date)

(Printed name)

SIGN-IN SHEET

DRB Meeting

THURSDAY MARCH 2, 2017

Please write clearly

ATTENDEE NAME (PLEASE PRINT CLEARLY)	EMAIL ADDRESS
Kristine Perper	
HARPER MERIK	D. HARPER.MERIK@COMAIL
STACY LAKE	STACY@TOMMYHEIN.COM
Chase Harkin	chase@alpinplanning.com

