

**TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD REGULAR MEETING  
THURSDAY MAY 4, 2017 10:00 AM  
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO**

**REVISED AGENDA**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	5	Town Clerk or Deputy Town Clerk	Action	Swearing in of Design Review Board Members appointed by Town Council at the March 16, 2017 Council Meeting
3.	10:05	5	Board Members	Action	Design Review Board Annual Election of Chair, Vice-Chair and Temporary Chair
4.	10:10	5	Van Nimwegen	Action	Reading and Approval of Summary of Motions of the March 30, 2017 Design Review Board Meeting
5.	10:15	45	Bangert	Public Hearing, Quasi-Judicial Action	Consideration of a Design Review Process Application for new construction of a single family home on Lot 600BR-3. TBD Trails Edge
6.	11:00	30	Starr	Public Hearing, Quasi-Judicial Action	Consideration of a Conditional Use Permit Application for renewal of a ropes course on Lot OS-3U
7.	11:30	15	Van Nimwegen	Work Session	Review of Process to Amend Roof Material Standards for the Village Core Buildings
8.	11:45	30			LUNCH
9.	12:15	45	Van Nimwegen	Public Hearing, Quasi-Judicial Action	Review for recommendation to Town Council of the following actions proposed for the Village Court Apartments, 415 Mountain Village Boulevard: 1. Rezoning of Lot 1005R, zoned Multi-Family and Full Use Active Open Space, to transfer 22 units of Employee Apartment or Condominium density (66 person equivalent) to the 2.8 acre parcel; and 2. Rezoning of Lot 1001R, zoned Multi-Family and Full Use Active Open Space, to transfer 48 units of Employee Apartment or Condominium density (144 person equivalent) to the 8.4 acre parcel; and 3. Approval of a Conditional Use Permit for 48 Employee Apartment or Condominium units on Lot 1001R; and 4. Approval of alternative parking requirements.
10.	1:00	15	Kee	Action	Review for recommendation to Town Council Amendments to the Community Development Code to Adopt the 2017 National Electric Code and move Chapter 17.7 Building Regulations to a new Chapter of the Municipal Code
11.	1:15	10	Van Nimwegen	Discussion	Other Business

Please note that this Agenda is subject to change. (Times are approximate and subject to change)  
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435  
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: [cd@mtnvillage.org](mailto:cd@mtnvillage.org). We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**DESIGN REVIEW BOARD MEETING  
AGENDA FOR MAY 4 2017**

12.	1:25				Adjourn
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**SUMMARY OF MOTIONS  
TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD MEETING  
THURSDAY, MARCH 30, 2017**

Agenda Item 4

**Call to Order**

Chairman Dave Eckman called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:01 a.m. on Thursday, March 30, 2017 in the Conference Room at 455 Mountain Village Boulevard Mountain Village, CO 81435.

**Attendance**

**The following Board/Alternate members were present and acting:**

Dave Eckman (Chair)  
Banks Brown (Vice-Chair)  
Phil Evans  
Keith Brown  
Luke Trujillo  
Greer Garner  
Liz Caton (Alternate)

**The following Board members were absent:**

Dave Craige  
Jean Vatter (Alternate)

**Town Staff in attendance:**

Glen Van Nimwegen, Director of Planning and Development Services  
Dave Bangert, Senior Planner/Forester  
Sam Starr, Planner

**Public in attendance:**

Jackson Trout	<a href="mailto:Jackson@Reidsmitharchitects.com">Jackson@Reidsmitharchitects.com</a>
Reid Smith	<a href="mailto:reid@Reidsmitharchitects.com">reid@Reidsmitharchitects.com</a>
Jack Wesson	
Russ Montgomery	
Kevin Maughan	<a href="mailto:kmaughan@telski.com">kmaughan@telski.com</a>
Jessica Kutz	<a href="mailto:jessica@telluridenews.com">jessica@telluridenews.com</a>
Bill Jensen	
Jeff Proteau	
Stefanie Soloman	
Alex Brown	<a href="mailto:abrown@telski.com">abrown@telski.com</a>
Blake Builder	<a href="mailto:bbuilder@tellurideskiresort.com">bbuilder@tellurideskiresort.com</a>

**Reading and Approval of Summary of Motions of the March 2, 2017 Design Review Board Regular Meeting**

On a **Motion** made by Phil Evans and seconded by Banks Brown, the DRB voted 7-0 to approve the Summary of Motions from the March 2, 2017 Design Review Board Meeting.

**Conceptual Work Session for a new single family home on lot 149AR, 255 Country Club Dr.**

Dave Bangert presented the conceptual design for a proposed single family home located on Lot 149AR, 255 Country Club Drive. Reid Smith and Jackson Trout from Reid Smith Architects gave an overview of the proposed single family home

**Conceptual Work Session for a new single family home on lot 600BR-3, 19 Trails Edge**

Dave Bangert presented the conceptual design for a proposed single family home located on Lot 600BR-3, 19 Trails Edge. Jack Wesson from Jack Wesson Architects gave an overview of the proposed single family home

**Report on the appropriateness of the mining sluice amusement approved in Heritage Plaza, Lots OS-3X, as required by the Conditional Use Permit approved by Resolution 2014-0515-16; and discussion of other amusements on Heritage Plaza.**

Sam Starr presented a report to the Board on the appropriateness of the mining sluice amusement.

**Consideration of approval for a Conditional Use Permit for Ski Valet, Concierge, and Sponsorship Vehicle on Heritage Plaza.**

Sam Starr presented a Conditional Use Permit for Ski Valet, Concierge, and Sponsorship Vehicle on Heritage Plaza. Kevin Maughan from Telluride Ski and Golf gave an overview of the proposed Conditional Use Permit.

On a **Motion** made by Phil Evans and seconded by Greer Garner, the DRB voted 7-0, to approve the Conditional Use Permit for the Ski Valet, Concierge, and Sponsorship Vehicle on Heritage Plaza.

**Review of Proposed Exterior Changes to Telluride Apartments, Lot 640A, 306 Adams Ranch Road**

Glen Van Nimwegen presented the Proposed Exterior Changes to Telluride Apartments, Lot 640A, 306 Adams Ranch Road. Three alternatives were proposed by the applicant. Mr. Van Nimwegen discussed staff's preference for Option 2 with changes to the amount of stone at the entrance; additional landscaping; provide entry monument; and upgrade lighting.

Blake Builder presented the alternatives to the Board and answered questions. He stated they are planning to present the updated design to the neighbors prior to coming back to the Board for formal approval on May 4.

The Board deliberated on the alternatives and the consensus was Option 1 provided the richest colors and aesthetic. Additional suggestions for the project included providing a solution to control the wetland at the rear of the project from encroaching on the building; and differentiate the entrances to the building with color and/or material changes.

**Discussion of the Town Hall Subarea Plan and proposed rezoning of the Village Court Apartments to add density as proposed by the Plan, Lot 1001, 415 Mountain Village Boulevard.**

Glen Van Nimwegen gave a presentation on the latest plan for the Town Hall Subarea. Part of the

recommendation of the Plan is to provide additional work force housing, principally at the Village Court Apartments. Mr. Van Nimwegen explained that staff would be bringing forward a case to add 70 additional units to the site, parallel with Town Council's review of the Subarea Plan. The timing of the hearings would be:

- May 4<sup>th</sup> review for a recommendation to the Town Council;
- May 18<sup>th</sup> first reading of the rezoning ordinance and work session with Town Council and the Planning Committee; and
- June 20 approval of Town Hall Subarea Plan and second reading of rezoning ordinance for VCA.

**Other Business**

Glen Van Nimwegen stated elections of Board officers will be at next meeting, May 4.

On a **Motion** made by Keith Brown and seconded by Luke Trujillo the DRB voted 7-0 to adjourn the March 30, 2017 meeting of the Mountain Village Design Review Board at 2:05 p.m.

Respectfully Submitted,

Glen Van Nimwegen  
Director

DRAFT



Agenda Item # 5

**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Design Review Board

**FROM:** Dave Bangert, Senior Planner

**FOR:** Meeting of May 4, 2017

**DATE:** April 27, 2017

**RE:** Consideration of a Design Review application for a new single-family dwelling on Lot 600BR-3, 19 Trails Edge Lane

**PROJECT GEOGRAPHY**

**Legal Description:** Lot 600BR-3  
**Address:** 19 Trails Edge Lane  
**Applicant/Agent:** Jack Wesson Architect  
**Owner:** BCW Properties, LLC  
**Zoning:** Single-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 0.124 Acres  
**Adjacent Land Uses:**

- **North:** Open Space
- **South:** Multi-Family
- **East:** Single-Family
- **West:** Single-Family

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	40' maximum (35'+5' for gable roof)	34' – 11 1/8"
Maximum Avg Building Height	35' maximum (30'+5' for gable roof)	19' – 9 1/4"
Maximum Lot Coverage	40% maximum	40%
General Easement Setbacks		
North	0' No GE, no setback	13' to lot line
South	8' setback	20' to lot line
East	8' setback	8' to lot line
West	8' setback	8' to lot line
Roof Pitch		
Primary		12:12
Secondary		5:12 and 4:12
Exterior Material		
Stone	35%	35.17%
Wood	(No requirement)	30.93%
Windows/Doors	40% maximum for windows	17.53%
Metal Accents	(No requirement)	16.37%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

## **ATTACHMENTS**

- Exhibit A: Applicant Narrative
- Exhibit B: Plan set

## **BACKGROUND**

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Design Review for the development of a single-family residence. The proposed dwelling unit is located on Trails Edge Drive. The proposed dwelling unit consists of four (4) bedrooms and an attached two (2) car garage for a total of 4716 square feet including garage and mechanical space. The site area consists of 0.124 acres and is characterized by a predominantly medium aspen and a few firs. Terrain across the site slopes from the north to the south.

### **17.3.14 GENERAL EASEMENT SETBACKS**

The proposed site does not have any General Easement Setbacks. They were abandoned when the subdivision was created. Eight (8) foot wide setbacks were substituted around the sides and front of the lot. The CDC states "All above- or below-grade structures...shall be located outside of the general easement setback *or other setbacks...*". Two 14 foot long sections of the footings on the east side of the proposed home are expected to encroach approximately one to two feet into the east side setback, approximately 10 feet below grade. These are not general easements so the Town will not need this area for utilities and the encroachment will not be visible above grade.

### **17.5.5 BUILDING SITING DESIGN**

#### **Site Plan**

The layout and roof line of the unit is located completely within the allowable buildable area of the lot with no encroachments proposed. However, some disturbances, tree removal and construction staging is proposed within 8' Setbacks surrounding the buildable area. The DRB should review the site plan and determine whether the construction staging encroachments into the 8' Setbacks would cause unreasonable negative impacts to the surrounding properties. Because the foundation is less than 5' from the setbacks a monument survey of the footers will be required before the pouring of concrete. This will be a condition of approval.

### **17.5.6 BUILDING DESIGN**

#### **Building Form and Exterior Wall Form**

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, grounded base.

#### **Roof Forms**

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets. The design is a combination of three gables at 12:12 and five sheds at 4:12 and 5:12. This design meets the intent of the code with the varied forms and vertical offsets.

#### **Roof Material**

The primary roofing material proposed is a rusted standing seam metal with snow fencing and heated gutters and downspouts.

**Exterior Wall Materials**

The exterior wall material percentages include 35.17% stone (Telluride Gold, grout pattern TBD); 30.93% wood siding (8" vertical wood siding barn wood or stained); 16.37% steel panels; and 17.53% fenestration (metal clad, color TBD). With a 35.17% stone coverage, the stone percentage just meets the 35% minimum.

**17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan prepared by Uncompahgre Engineering for the proposed development. Positive drainage away from the structure has been created. The plan includes piping within the 8' Setbacks that will terminate in a 7" x 5' x 2.5' deep dry well on the north side of the lot. Grading on the site blends with the natural topography.

**17.5.8 PARKING REGULATIONS**

The unit is proposing two (2) indoor and two (2) outdoor surface parking spaces. One of the interior spaces only has a depth of 16' which does meet the criteria for "compact motor vehicle". All parking spaces are completely located within the property boundaries. The driveway is pitched at 8.8% along the center line and is proposed to be snow-melted.

**17.5.9 LANDSCAPING REGULATIONS**

The proposed landscape plan shows eleven (11) aspens and three (3) spruces to be planted, in additions to nine potentilla shrubs. All plantings shall be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

<b>Landscaping Type</b>	<b>Minimum Size</b>
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height ("dbh")
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.
Shrubs	5 gallon or larger massing of smaller shrubs

An irrigation plan has been submitted and is in compliance with Table 5-3, Irrigation System Design. A rain shut-off device is called out in the plans as well as a backflow prevention device.

**17.5.11 UTILITIES**

Public Works is fine with the final layout of the utility plan and commented that the developer is responsible to determine the actual location of the existing utilities.

**17.5.12 LIGHTING REGULATIONS**

The proposed lighting plan includes three (3) sconces, two (2) step lights and one pendant fixture at the front entry. Locations include egress, deck and patio areas. Lighting is permitted in all proposed locations. All lighting has been designed as full cut-off fixtures with LED bulbs. All bulbs to be Philips LED lamp, A19, E26, 6.5W, 2700K or similar.

### **17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS**

The applicant has indicated the fireplace will be a gas and not solid fuel-burning. Staff would note that in order to install a solid fuel-burning device (i.e., interior fireplace, wood burner or fireplace insert) in any structure in the Town, the Owner must have or obtain a permit from the Town.

### **17.7.19 CONSTRUCTION MITIGATION**

All construction staging is proposed within the lot lines but will be in the east, west and south 8' setbacks. Additional construction parking is shown along Trail Edge.

### **POSSIBLE VARIATIONS OR SPECIFIC APPROVALS**

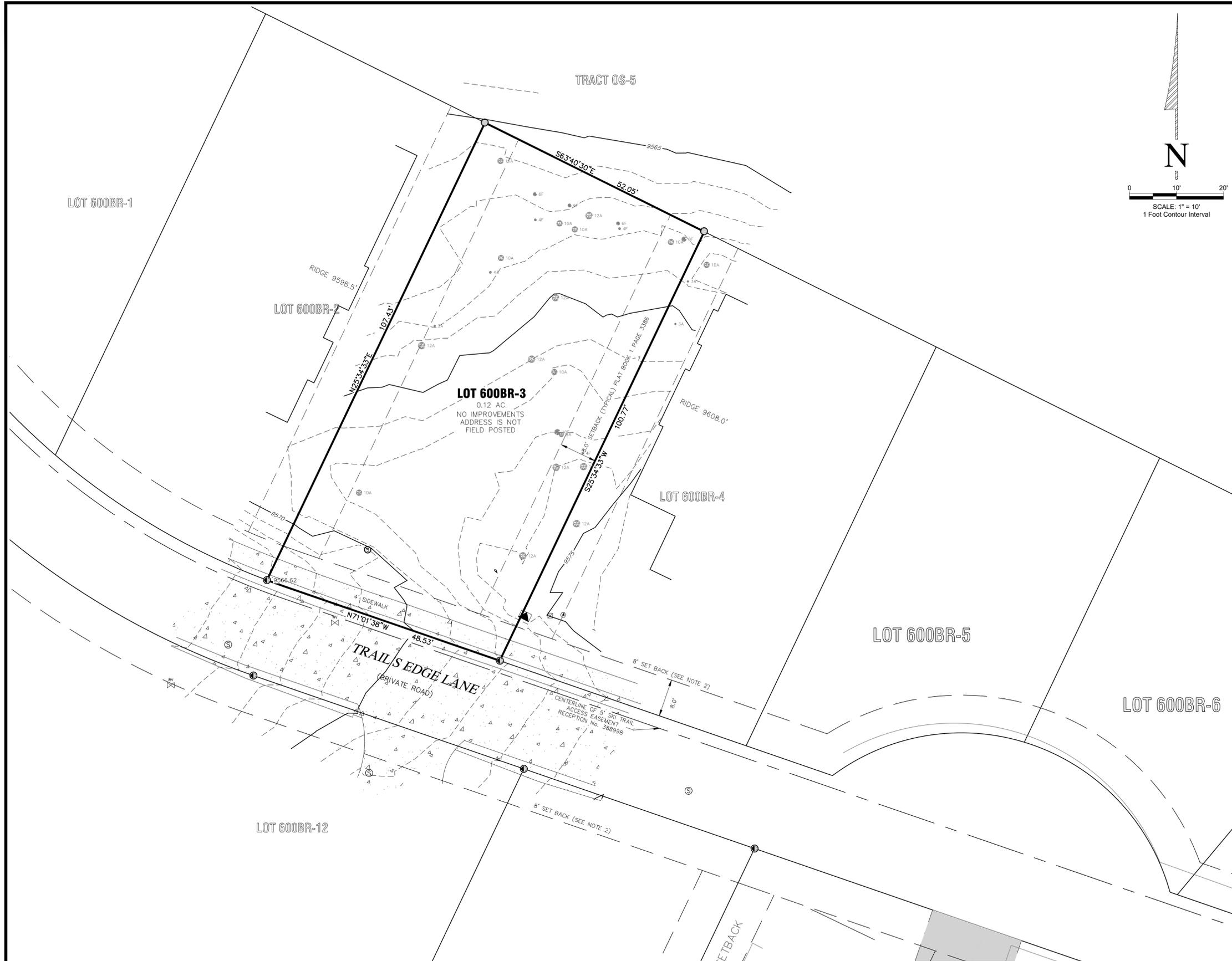
- Specific approval of an encroachment of up to two feet (2') into the east side setbacks, approximately 10 feet below grade.

### **RECOMMENDATION**

Staff recommends the DRB approve the Design Review application for Lot 600BR-3, with the identified encroachment into the side yard setback, with the following motion:

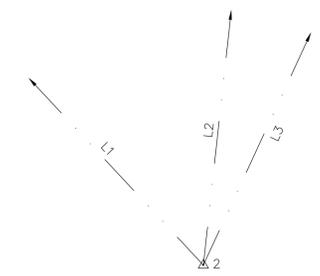
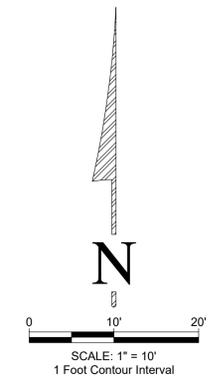
"I move to approve a Design Review Process development application for a new single-family residence on Lot 600BR-3, with the findings and conditions as set forth at the May 4, 2017 DRB meeting to include:

1. A survey of the footers will be provided prior to pouring concrete to determine the encroachment into the east side setback will not exceed two feet and there are no encroachments into the west side eight foot setbacks.
2. The residence shall have a monitored fire sprinkler system; and the numbers on the address monument shall be coated or outlined with material to cause them to be reflective.
3. Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points."



**LEGEND**

- FOUND #4 REBAR WITH 1 1/2" ALUMINUM CAP. LS 24954
- FOUND CONCRETE WITH 3/4" BRASS TAG. LS 24954
- ⊠ TELEPHONE PEDESTAL
- ▲ ELECTRIC TRANSFORMER
- CABLE PEDESTAL
- ⊕ WATER VALVE
- ⊙ SEWER MANHOLE
- ⊙ SEWER CONNECTION (APPROXIMATE)
- ⊙ #A ASPEN TREE, NUMBER INDICATES CALIPER
- ⊙ #F FIR TREE, NUMBER INDICATES CALIPER
- CONCRETE



VIEW ANGLE TABLE			
NUMBER	MOUNTAIN PEAK	BEARING	ZENITH ANGLE
L1	GREY HEAD	N43°10'W	85°52'
L2	CAMPBELL	N06°16'E	79°25'
L3	SAN JOAQUIN	N24°56'E	79°23'

**NOTICE:**

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**NOTES:**

- According to Flood Insurance Rate Map: 08113C0125, map dated September 30, 1992, this parcel lies within Zone X (Areas determined to be outside the 500-year flood plain).
- Vertical datum is based on the found Foley and Associates Control Point, having an elevation of 9568.84 feet. The Site Benchmark is the Southwest Corner of Lot 600BR-3, having an elevation of 9566.62'.
- Fieldwork was performed September 30, 2017.
- Lineal Units U.S. Survey Feet

**PROPERTY DESCRIPTION:**

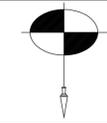
Lot 600BR-3, Trail's Edge at Double Cabins, according to the Plat recorded November 11, 2004 in Plat Book 1 at page 3385.  
County of San Miguel,  
State of Colorado.

**SURVEYOR'S CERTIFICATE:**

I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 600BR-3, Trail's Edge at Double Cabins, was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

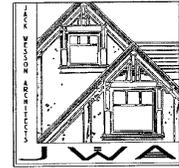
*Christopher R. Kennedy*  
Christopher R. Kennedy, P.L.S. 36577  
02/23/2017

**TOPOGRAPHIC SURVEY**  
**LOT 600BR-3, TRAIL'S EDGE AT DOUBLE CABINS**



**SAN JUAN SURVEYING**  
SURVEYING \* PLANNING  
102 SOCIETY DRIVE TELLURIDE, CO. 81435  
(970) 728-1128 (970) 728-9201 fax  
office@sanjuansurveying.net

DATE:	02/22/2017
JOB:	09004
DRAWN BY:	ESS
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1



## NARRATIVE

4.13.17

To: Community Development Department  
Design Review Board  
Mountain Village, CO

From: Jack Wesson  
Jack Wesson Architects, Inc.  
110 S. Pine #100  
P.O. Box 2051  
Telluride, CO 81435  
(970) 519.1551  
jwesson@me.com.com

Re: Design Review Submission Narrative for a Single Family Residence  
Lot 600BR-3, Mountain Village CO

This single family residence is proposed to be built on lot BR600-3 Trails Edge (lot size 3250 sf). The interior gross heated area is approximately 4068 sf., plus 136 sf. Mechanical, plus a 485 sf. two car garage. The design esthetic is a rustic, mining vernacular, in keeping with the HOA design guidelines in the Trails Edge Subdivision. The exterior materials incorporate antique barn wood siding and timbers, stone and rusted metal. Roof forms are traditional and include gable and shed forms. The project is compliant with the Land Use Ordinance; the massing is within the maximum height limits site coverage (2167 sf.) does not exceed 40% (40.0%). The application also includes a below grade basement space under the driveway, an area interpreted by staff not count in the site coverage area beyond the 40% threshold since there are no above grade visual impacts..

No variances are requested.

The exterior materials meet the surface area criteria:

stone veneer s	35.17% (exceeds 35%)
fenestration is	17.53%
wood is	30.93%
metal accent is	16.37%

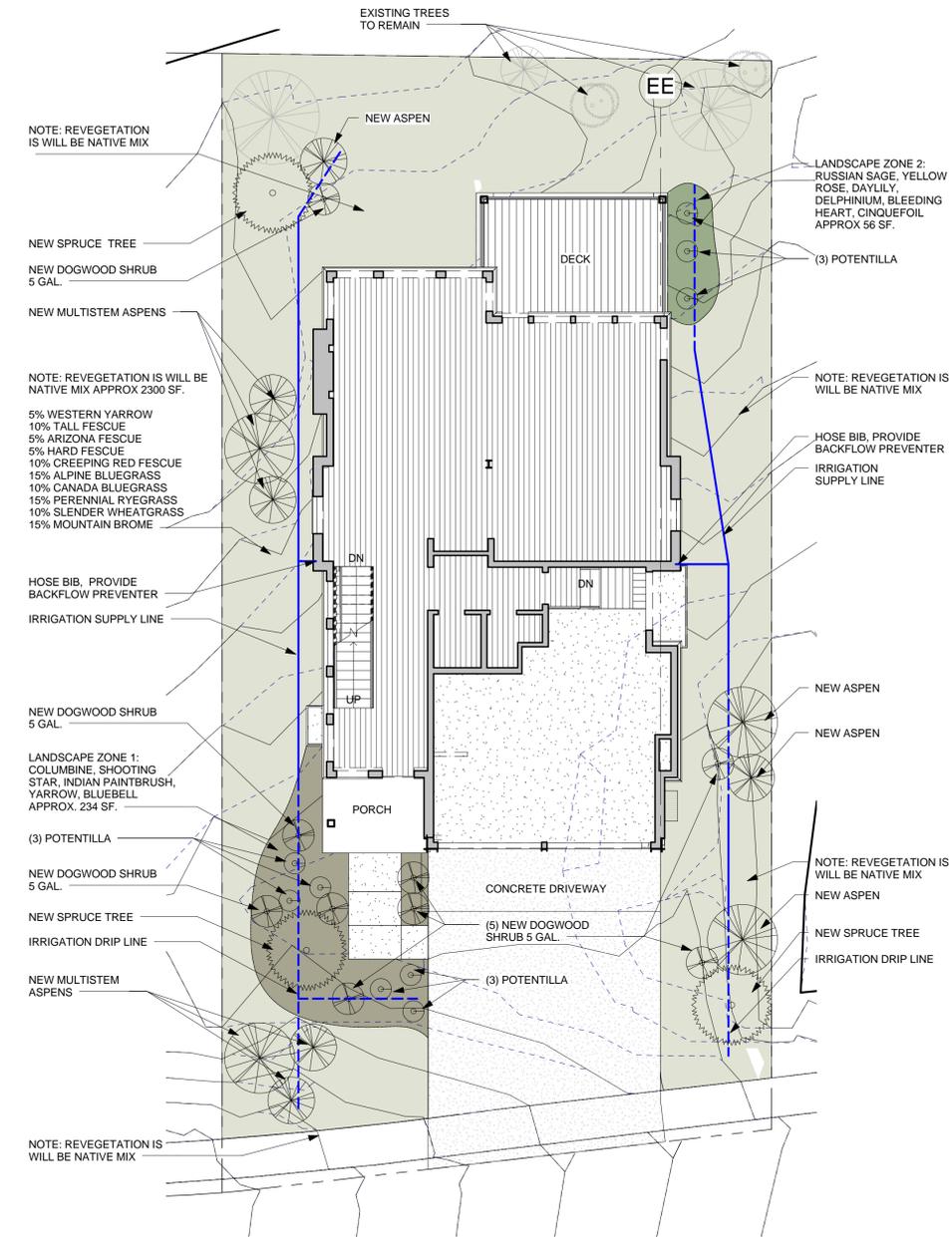
Site Coverage: 2167 sf (40%)-not including the subterranean mechanical space under the driveway  
Floor Area Living: 4068 sf  
Floor Area Garage 485 sf and 136 basement mechanical  
Ave. Ht. 24'-8 3/8"  
Max. Ht. 35'-0"

Sincerely,

Jack Wesson







- GENERAL NOTES:**
1. SOIL PREPARATION SPECIFICATIONS: SOIL IN REVEG. AREA WILL BE AUGMENTED WITH HYDROMULCH.
  2. THIS LANDSCAPE PLAN COMPLIES WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
  3. THE PROPERTY OWNER GUARANTEES ALL PLANT MATERIALS FOR TWO YEAR.
  4. ALL TREES AND SHRUBS SHALL BE BACKFILLED WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
  5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO
  6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
  7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK. PLANTING DETAILS FOR ROOT SYSTEMS, SOIL PREPARATION, SEEDING, MULCHING, AND FERTILIZATION TECHNIQUES SHALL BE IN ACCORDANCE WITH GUIDELINES SET FORTH BY THE ASSOCIATED LANDSCAPE CONTRACTORS OR COLORADO.
  8. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
- REVEGETATION AND EROSION CONTROL NOTES:**
1. SUBSOIL SURFACES SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
  2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE RE-VEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTO-TILLED AT A RATE OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.
  3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
  4. NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION-CONTROL NETTING.
  5. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
  7. EROSION-CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2, AND IN DRAINAGE SWALES.
  8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.
  9. ROAD AND DRIVEWAY SHALL BE RE-VEGETATED WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-VEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.
  10. EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OR RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.
  11. IN AREAS THAT ARE TO BE RE-VEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPE SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED).

DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY FROM THE HOUSE AS REQUIRED BY TOWN'S ADOPTIVE BUILDING CODES

THE PROJECT SHALL COMPLY WITH THE TOWNS FIRE MITIGATION STANDARDS

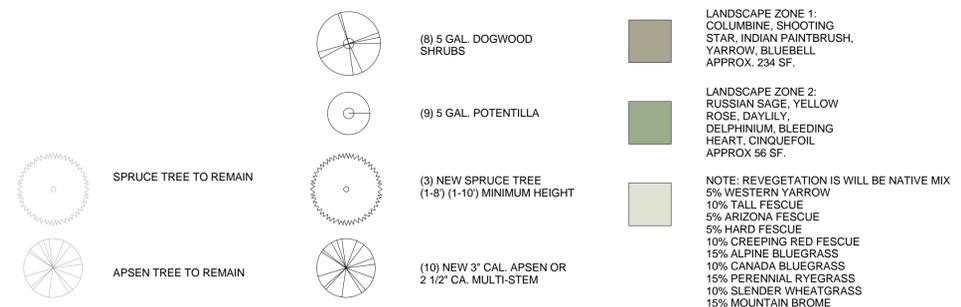
THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

1 LANDSCAPE AND IRRIGATION PLAN  
1/8" = 1'-0"

**WATER USAGE CHART:**  
 ASPEN 10 @ 10 gal. = 100 gal.  
 SPRUCE 3 @ 10 gal. = 30 gal.  
 POTENTILLA 9 @ 2 gal. = 18 gal.  
 DOGWOOD 8 @ 2 gal. = 16 gal.  
 TOTAL = 164 gal.

**\*NOTE: INSTALL RAIN SHUT-OFF DEVICE AS REQ'D BY SECTION 9-210**

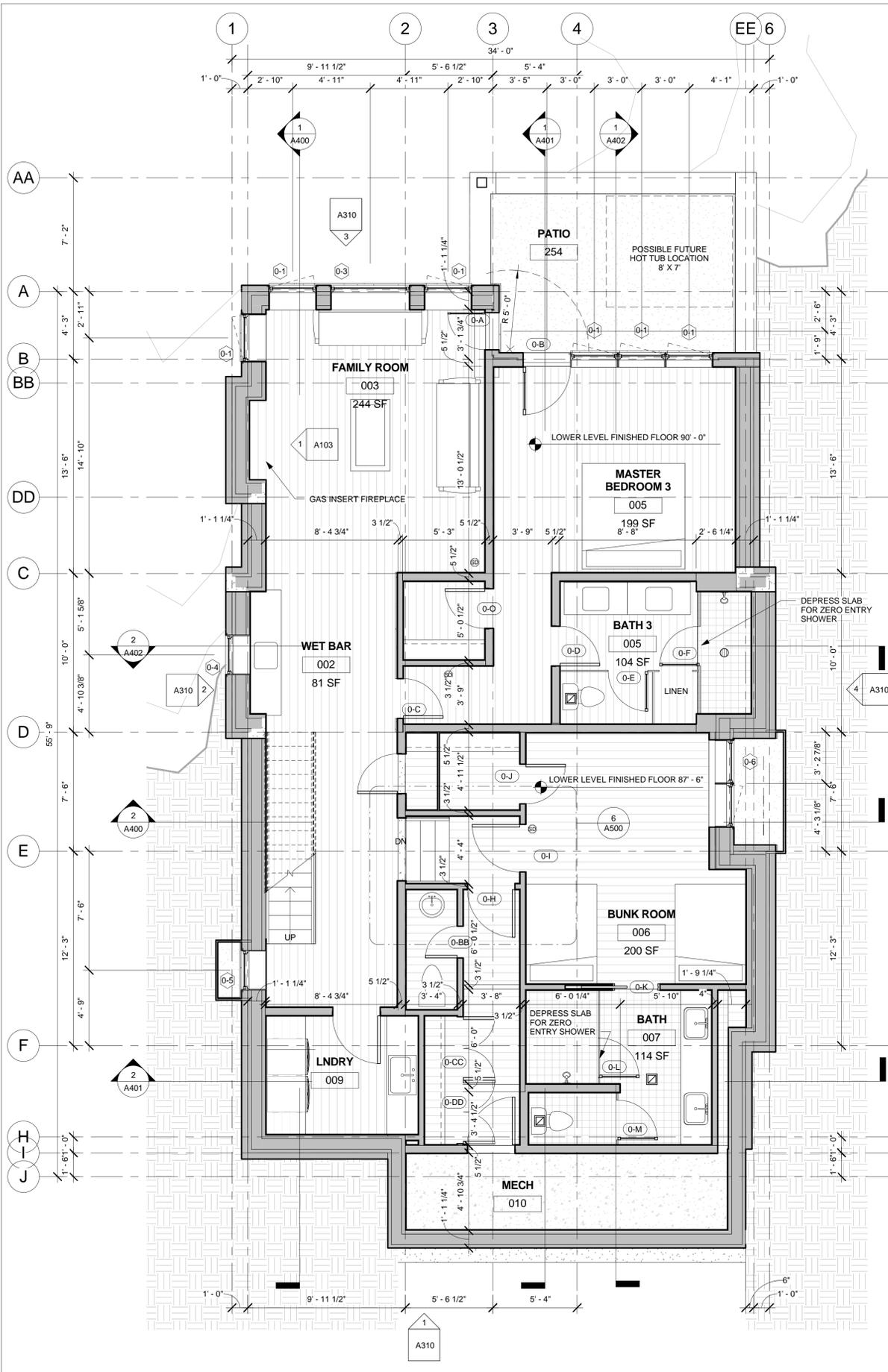
**INSTALL BACKFLOW PREVENTERS**



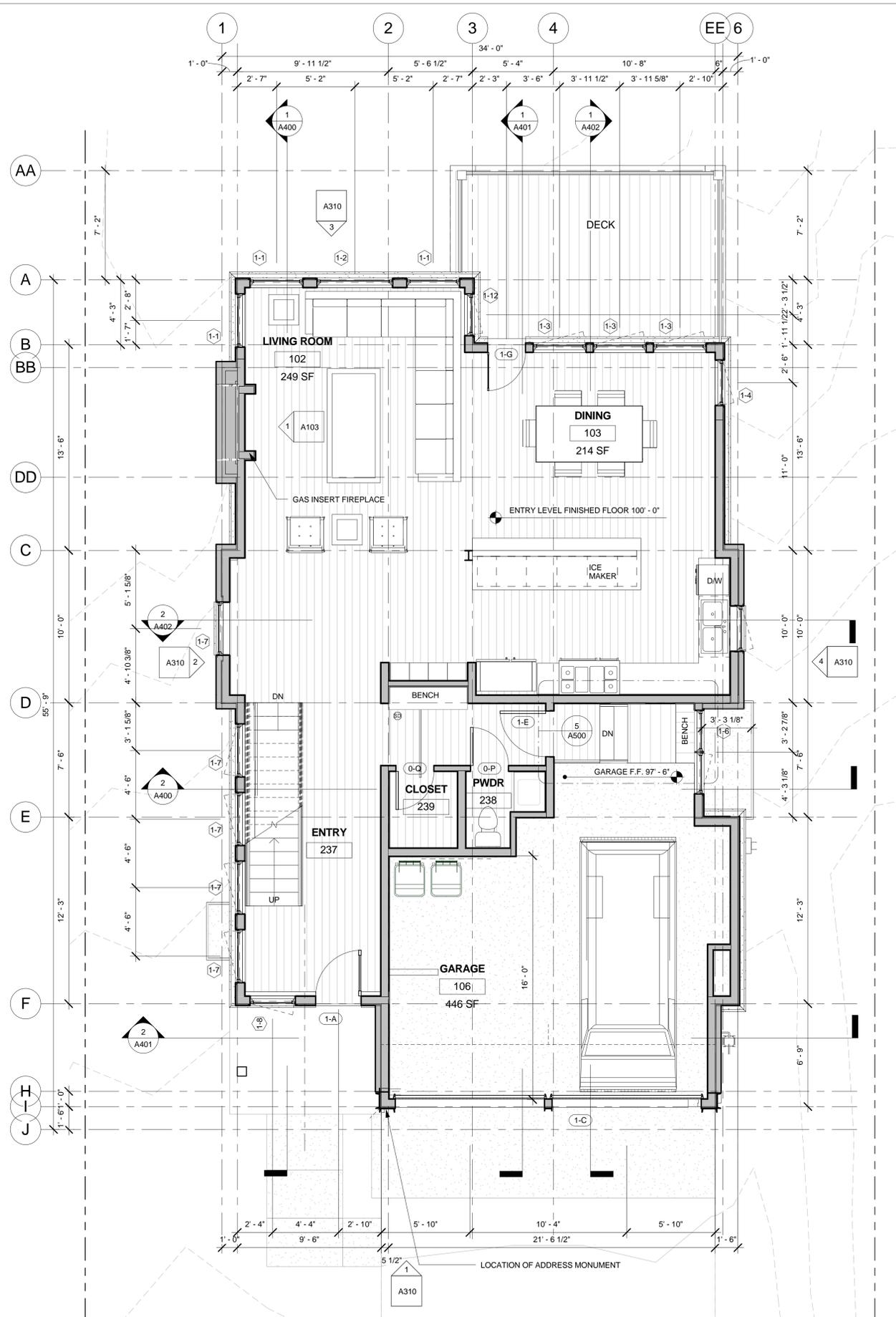


**JACK WESSON ARCHITECTS INC.**  
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 TEL: 970.728.9755  
 FAX: 970.728.9724  
 jack@wessonarch.com  
 www.jackwessonarchitects.com

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>2-13-17</td><td>ELECTRIC AS BUILTS</td></tr> <tr><td>12-1-16</td><td>DRB AMEND #1</td></tr> <tr><td>8-24-16</td><td>CHIMNEY UPDATE</td></tr> <tr><td>3-11-16</td><td>PERMIT SET</td></tr> <tr><td>2-16-16</td><td>WINDOW LOCATIONS</td></tr> <tr><td>2-11-16</td><td>ELECTRICAL PLANS</td></tr> <tr><td>12-9-15</td><td>PERMIT SET</td></tr> <tr><td>12-9-15</td><td>DRB CONDITIONS</td></tr> <tr><td>11-25-15</td><td>UPDATE SET</td></tr> <tr><td>11-20-15</td><td>REVISIONS</td></tr> <tr><td>11-11-15</td><td>REVISIONS</td></tr> <tr><td>11-6-15</td><td>REVIT DRAWINGS</td></tr> <tr><td>11-2-15</td><td>REVIT DRAWINGS</td></tr> <tr><td>MARK</td><td>REV. DATE</td><td>DESCRIPTION</td></tr> </table>	2-13-17	ELECTRIC AS BUILTS	12-1-16	DRB AMEND #1	8-24-16	CHIMNEY UPDATE	3-11-16	PERMIT SET	2-16-16	WINDOW LOCATIONS	2-11-16	ELECTRICAL PLANS	12-9-15	PERMIT SET	12-9-15	DRB CONDITIONS	11-25-15	UPDATE SET	11-20-15	REVISIONS	11-11-15	REVISIONS	11-6-15	REVIT DRAWINGS	11-2-15	REVIT DRAWINGS	MARK	REV. DATE	DESCRIPTION	<p>PROJECT NAME: TRAILS EDGE 2          LOT 908BR-2          MOUNTAIN VILLAGE, COLORADO 81435</p> <p>SHEET DESCRIPTION: LANDSCAPE PLAN</p> <p>SHEET NUMBER: A101</p>
2-13-17	ELECTRIC AS BUILTS																													
12-1-16	DRB AMEND #1																													
8-24-16	CHIMNEY UPDATE																													
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11-11-15	REVISIONS																													
11-6-15	REVIT DRAWINGS																													
11-2-15	REVIT DRAWINGS																													
MARK	REV. DATE	DESCRIPTION																												



1- BASEMENT  
1/4" = 1'-0"



2- ENTRY LEVEL  
1/4" = 1'-0"

Window Schedule		
Type Mark	Nominal Height	Nominal Width
0-1	5'-0"	3'-0"
0-1	5'-0"	3'-0"
0-1	5'-0"	3'-0"
0-1	5'-0"	3'-0"
0-1	5'-0"	3'-0"
0-3	5'-0"	5'-0"
0-4	3'-0"	2'-6"
0-5	4'-0"	2'-6"
0-6	5'-0"	2'-9"
0-6	5'-0"	2'-9"
1-1	8'-6"	3'-6"
1-1	8'-6"	3'-6"
1-1	8'-6"	3'-6"
1-2	8'-6"	5'-0"
1-3	5'-6"	3'-6"
1-3	5'-6"	3'-6"
1-3	5'-6"	3'-6"
1-4	6'-0"	3'-0"
1-6	5'-6"	2'-9"
1-6	5'-6"	2'-9"
1-7	6'-0 7/8"	3'-6"
1-7	6'-0 7/8"	3'-6"
1-7	6'-0 7/8"	3'-6"
1-7	6'-0 7/8"	3'-6"
1-8	6'-0"	3'-0"
1-9	5'-2"	3'-0"
1-10	8'-0 7/8"	4'-0"
1-10	8'-0 7/8"	4'-0"
1-11	4'-0 7/8"	3'-6"
1-11	4'-0 7/8"	3'-6"
1-11	4'-0 7/8"	3'-6"
1-12	8'-6"	2'-9"
1-14	4'-0 7/8"	3'-6"
2-1	5'-9 7/8"	5'-0"
2-2	1'-6"	2'-6"
2-2	1'-6"	2'-6"
2-4	6'-6 7/8"	4'-0"
2-5	5'-0 7/8"	2'-6"
2-6	5'-0 7/8"	3'-0"
106	2'-6"	2'-6"
106	2'-6"	2'-6"
106	2'-6"	2'-6"
106	2'-6"	2'-6"

\*\*\*SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM\*\*\*

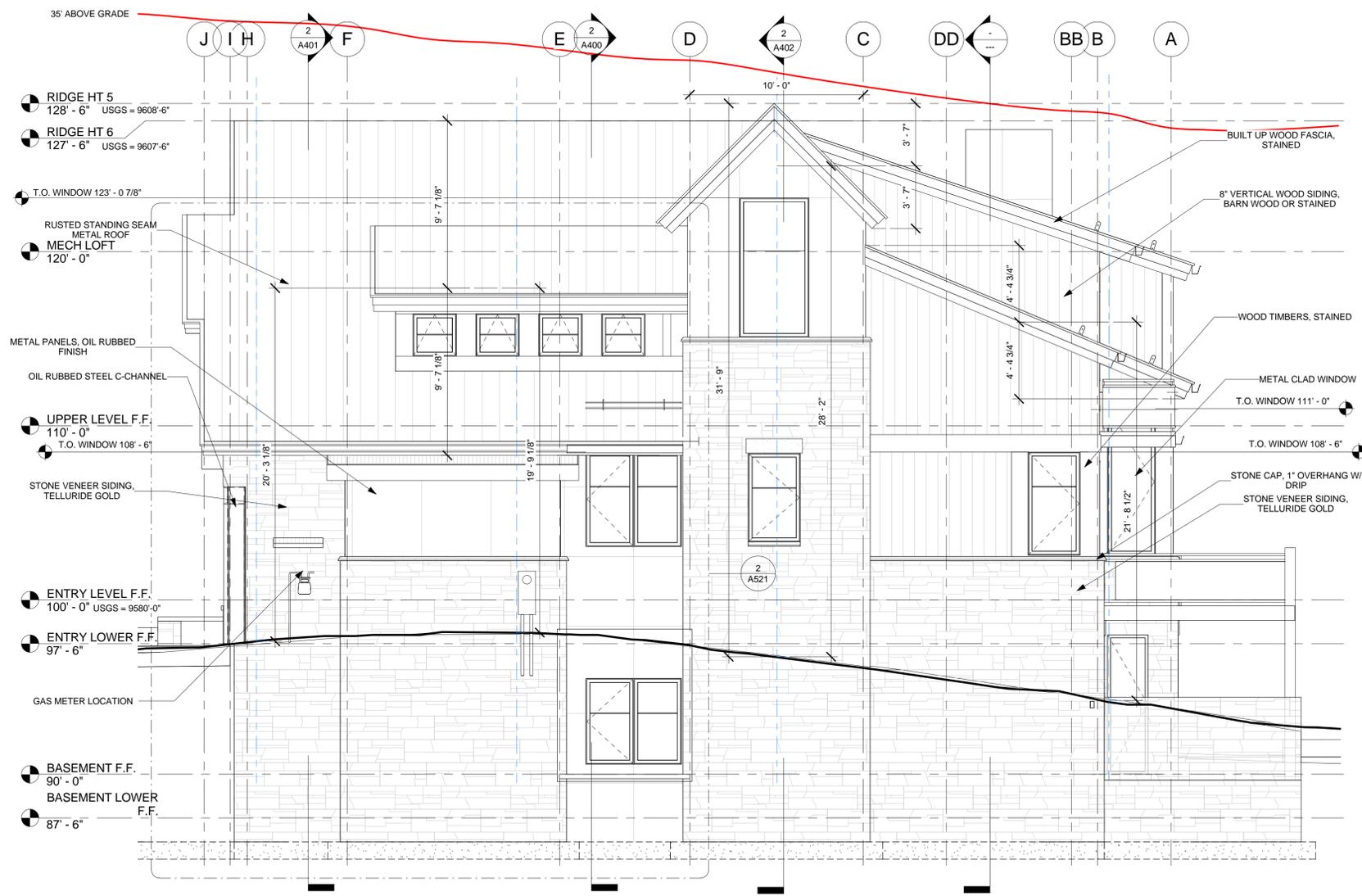


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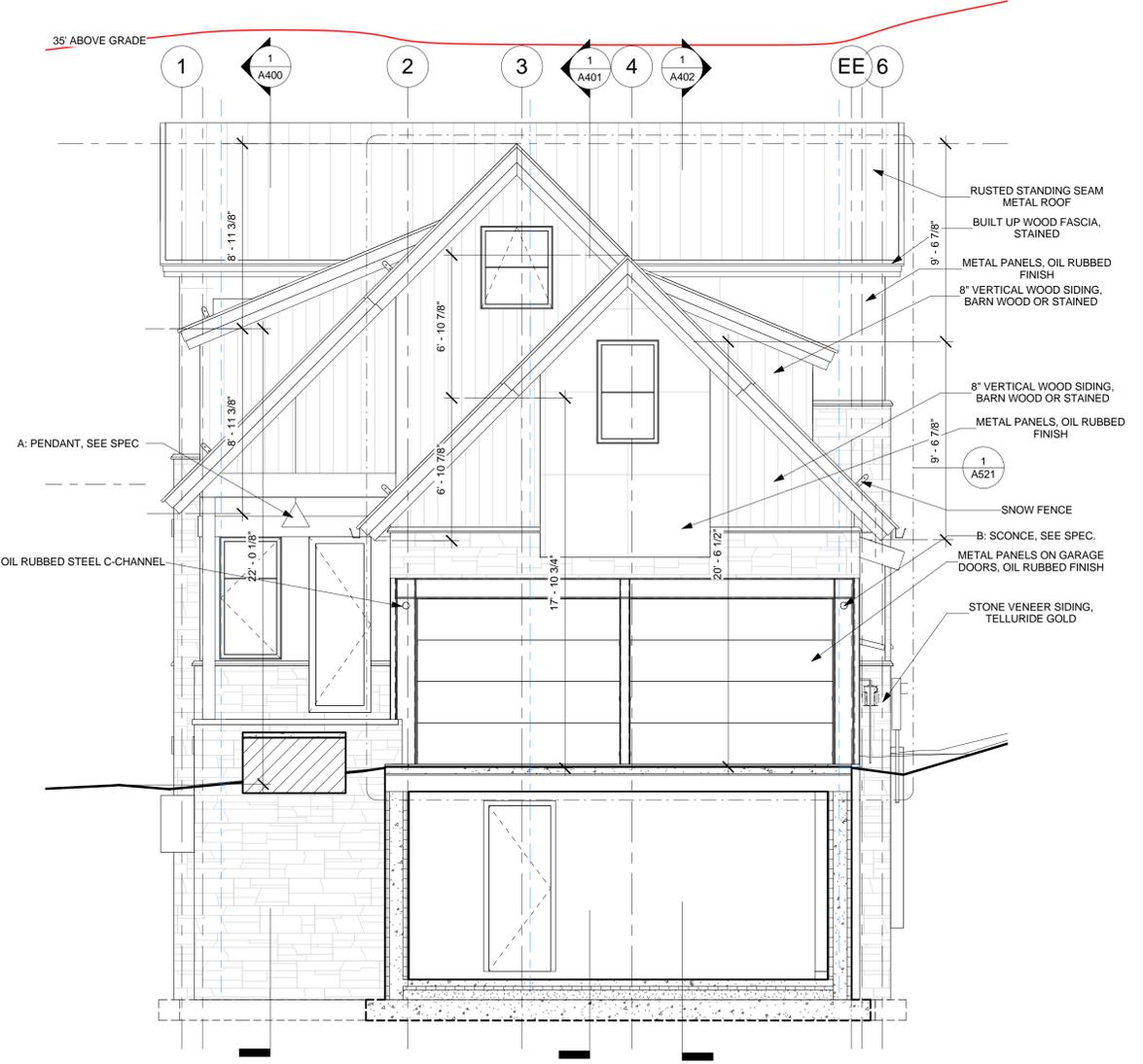
4-12-17	DRB SET REVISED SET 2	
4-11-17	DRB SET REVISED TOPO	
3-31-17	DRB SET	
3-14-17	DRB WORKSESSION	
3-13-17	REVIT DRAWINGS	
MARK	REV DATE	DESCRIPTION
PROJECT NAME:	TRAILS EDGE 3	
PROJECT MANAGER:	LOT 900BR-3	
DRAWN BY:	MOUNTAIN VILLAGE, COLORADO 81435	
REVIEWED BY:	SHEET DESCRIPTION:	
	FLOOR PLANS	
	SHEET NUMBER:	
	A201	







② 4 EAST ELEVATION  
1/4" = 1'-0"



① 1 SOUTH ELEVATION  
1/4" = 1'-0"

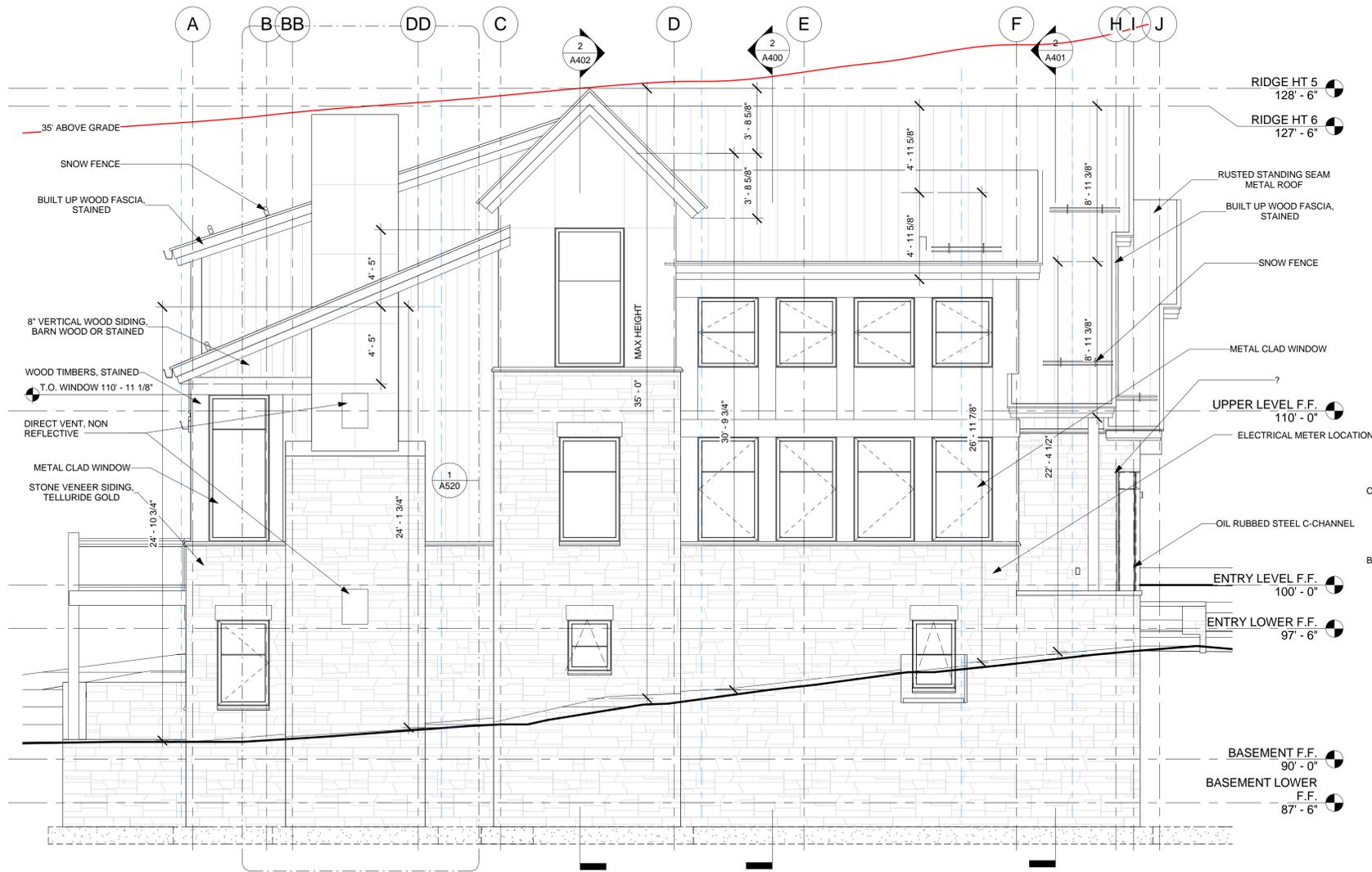
AVERAGE ROOF HEIGHT = 24'-8 3/8"  
MAX ROOF HEIGHT = 35'-0"



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MARK	REV. DATE	DESCRIPTION
4-12-17	DRB SET REVISED SET 2	
4-11-17	DRB SET REVISED TOPO	
3-31-17	DRB SET	
3-14-17	DRB WORKSESSION	
3-13-17	REVIT DRAWINGS	
PROJECT NAME:	TRAILS EDGE 3	
PROJECT MANAGER:	LOT 900BR-3	
DRAWN BY:	MOUNTAIN VILLAGE, COLORADO 81435	
REVIEWED BY:	SHEET DESCRIPTION:	
	ELEVATIONS	
	SHEET NUMBER:	
	A300	

PROJECT NAME:  
TRAILS EDGE 3  
LOT 900BR-3  
MOUNTAIN VILLAGE, COLORADO 81435  
SHEET DESCRIPTION:  
ELEVATIONS  
SHEET NUMBER:  
A300



② 2 WEST ELEVATION  
1/4" = 1'-0"



① 3 NORTH ELEVATION  
1/4" = 1'-0"



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MARK	REV. DATE	DESCRIPTION
4-12-17	DRB SET REVISED SET 2	
4-11-17	DRB SET REVISED TOPO	
3-31-17	DRB SET	
3-14-17	DRB WORKSESSION	
3-13-17	REVIT DRAWINGS	
PROJECT NAME:	PROJECT MANAGER:	
PROJECT MANAGER:	DRAWN BY:	
DRAWN BY:	REVIEWED BY:	
REVIEWED BY:	2006 JWA	

PROJECT NAME:  
**TRAILS EDGE 3**  
LOT 900BR-3  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**ELEVATIONS**

SHEET NUMBER:  
**A301**



① MATERIAL CALC 1 SOUTH ELEVATION  
3/16" = 1'-0"



② MATERIAL CALC 2 WEST ELEVATION  
3/16" = 1'-0"



③ MATERIAL CALC 3 NORTH ELEVATION  
3/16" = 1'-0"



④ MATERIAL CALC 4 EAST ELEVATION  
3/16" = 1'-0"

Lot 3 Material Calculations						
Elevation	South	East	North	West	Total	Percent
Stone	160.57	455.26	379.28	741.73	1736.84	35.17%
Wood	346.79	427.46	249.41	503.57	1527.23	30.93%
Fenestration	55.78	185.75	369.91	254.41	865.85	17.53%
Accent	348.59	222.53	49.00	188.10	808.22	16.37%
<b>Total</b>	<b>911.73</b>	<b>1291</b>	<b>1047.6</b>	<b>1687.81</b>	<b>4938.14</b>	



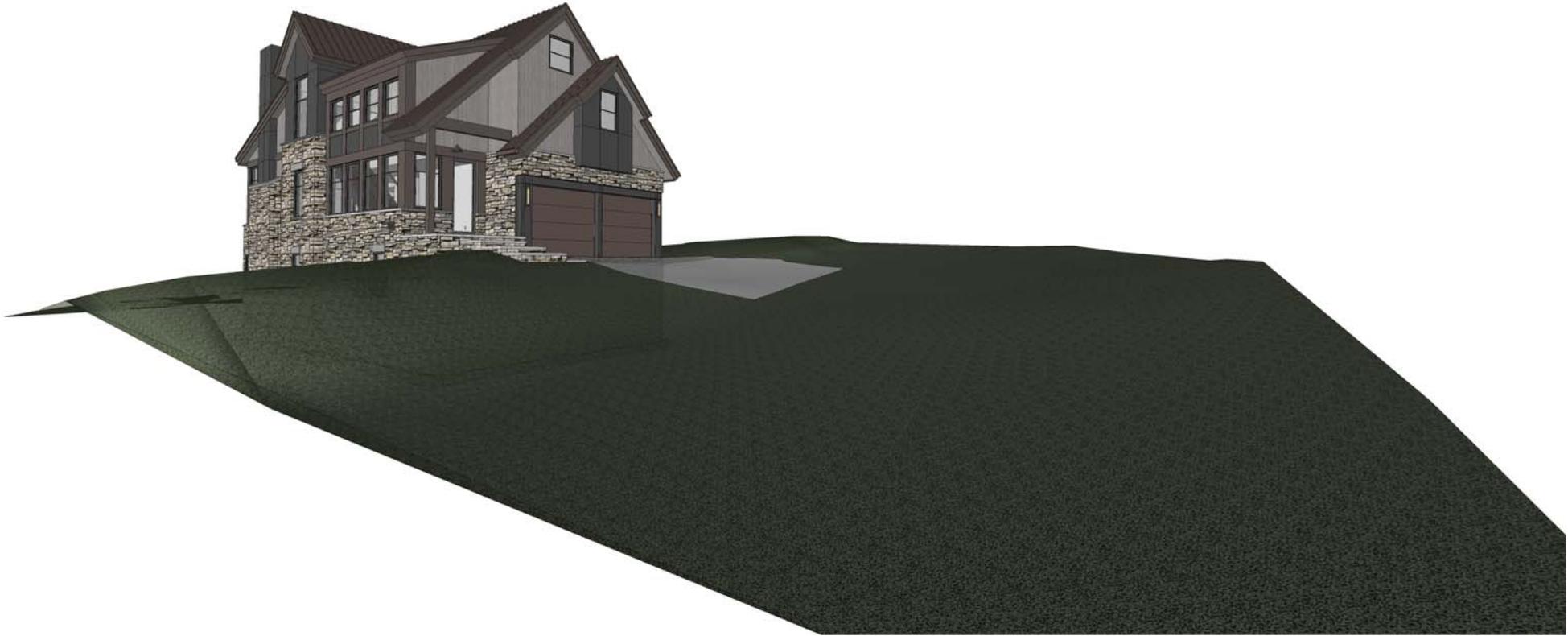
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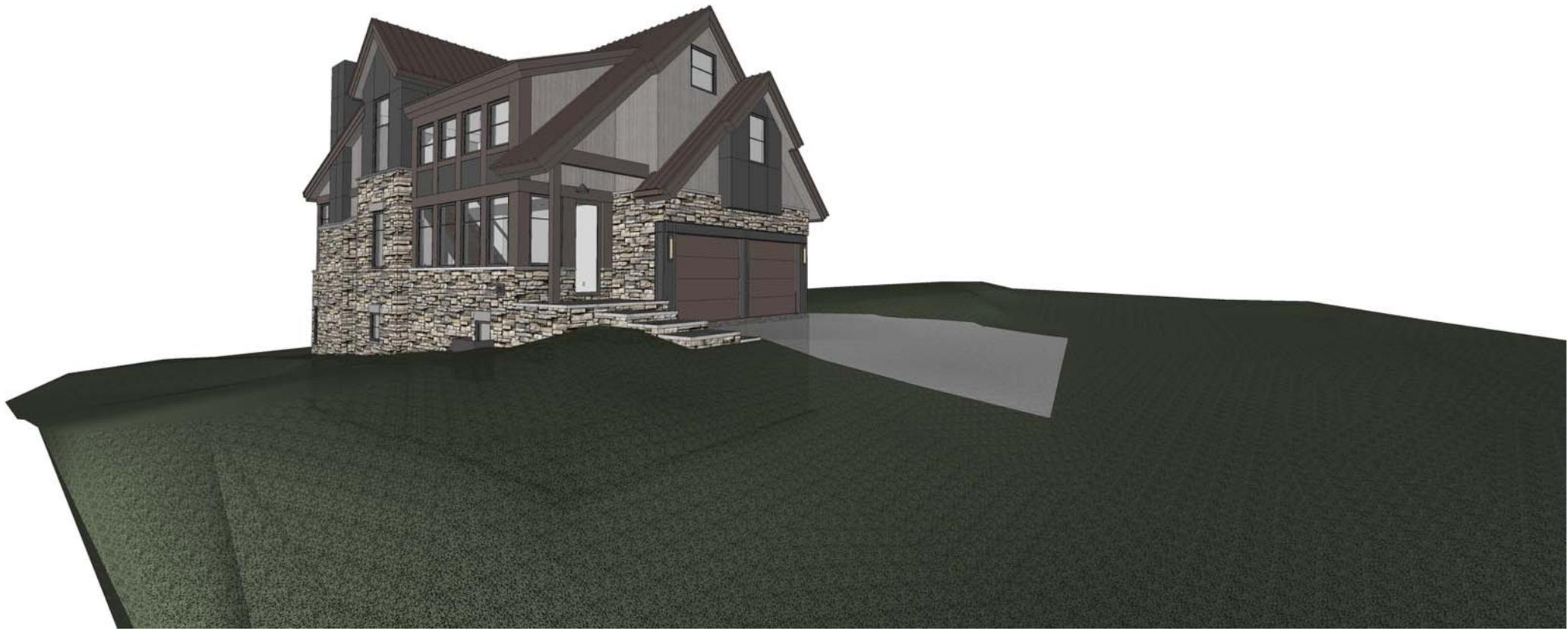
MARK	REV. DATE	DESCRIPTION
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4-11-17		DRB SET REVISED TOPO
3-31-17		DRB SET
3-14-17		DRB WORKSESSION
3-13-17		REVIT DRAWINGS

PROJECT NAME:  
**TRAILS EDGE 3**  
LOT 900BR-3  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**MATERIAL CALCS**

SHEET NUMBER:  
**A310**











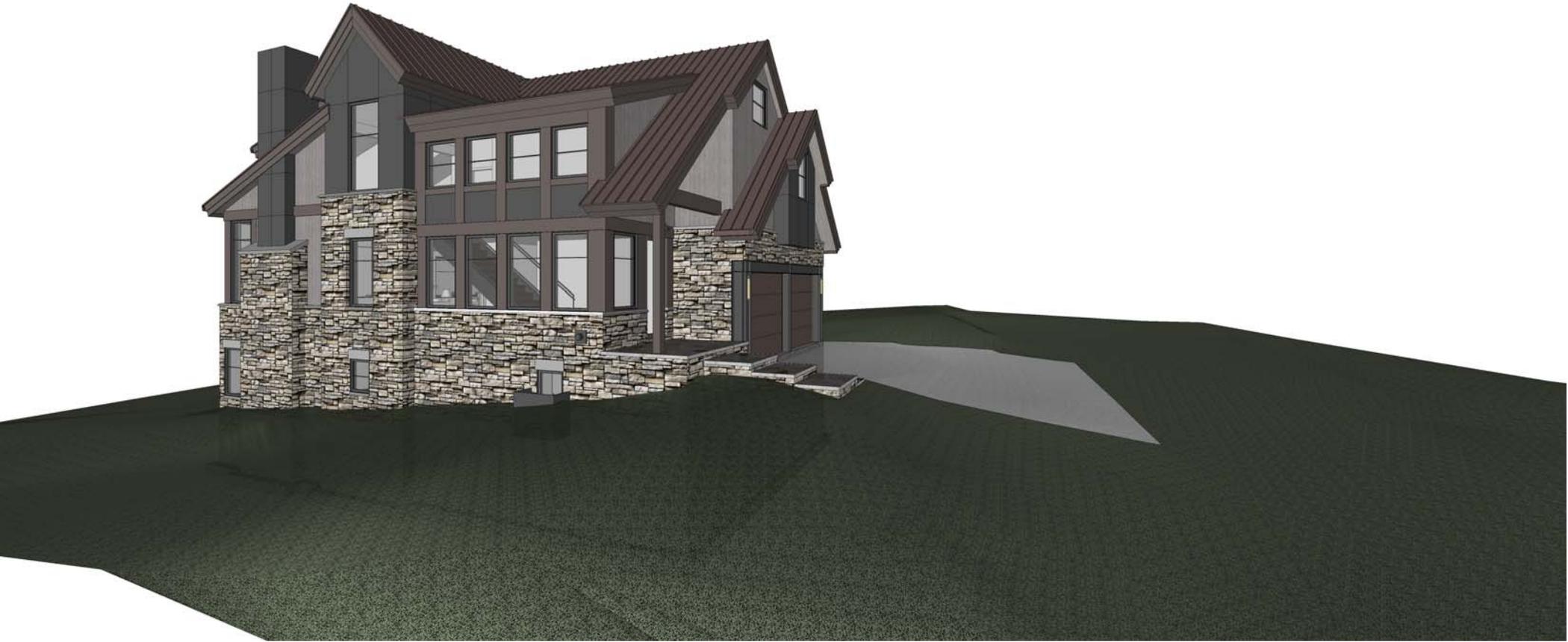


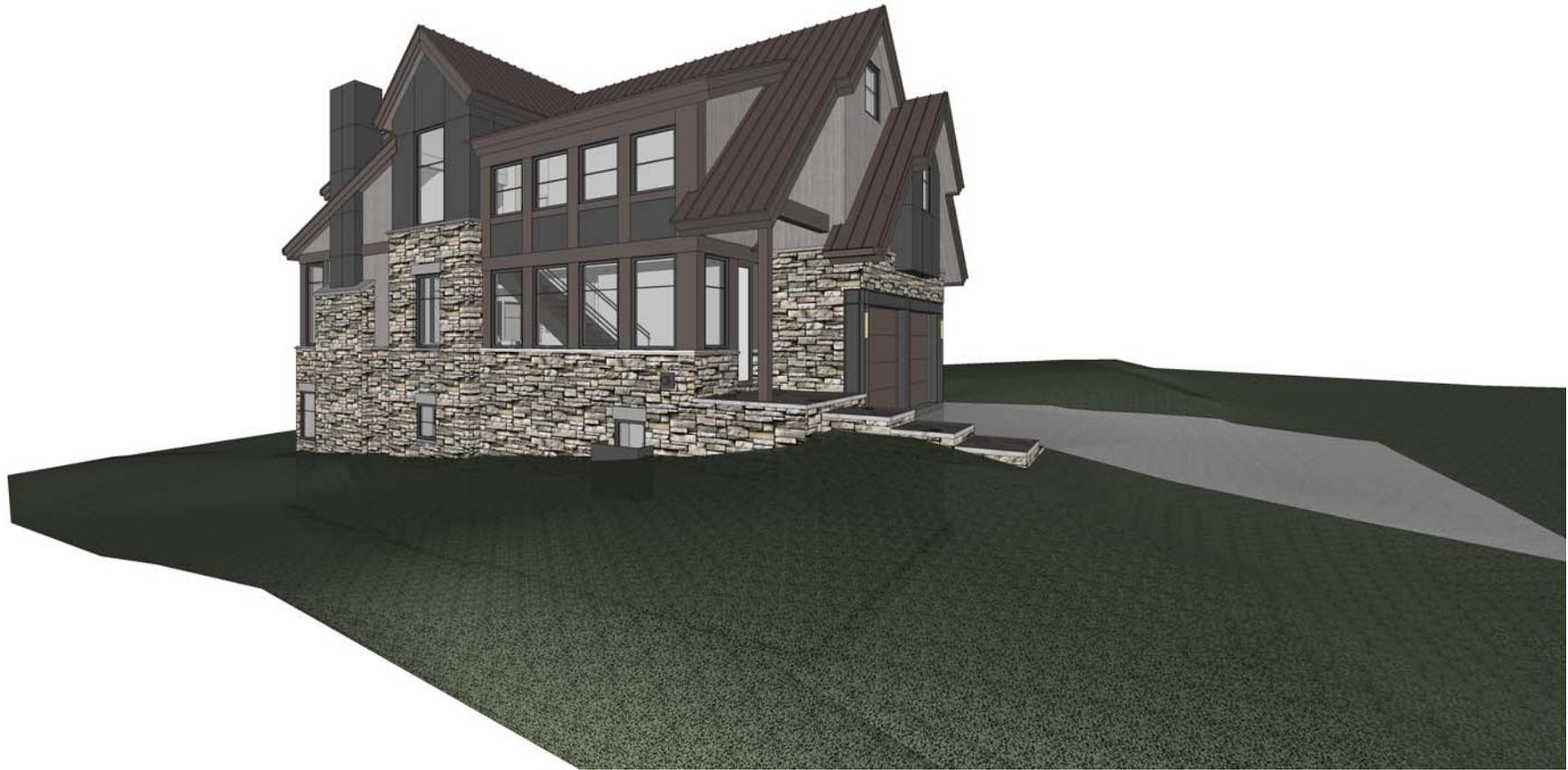












# LOT 600BR-3, MOUNTAIN VILLAGE, CO MATERIAL SAMPLE PHOTOS



RUSTED STANDING SEAM METAL ROOF



8" VERTICAL BARN WOOD SIDING



OIL RUBBED METAL PANELS



TELLURIDE GOLD STONE

Pendant A

# Shelter Outdoor Pendant 1322

By Hinkley Lighting

**\$209.00 - \$329.00**

Select items in stock, choose options to view or **check availability**.

5 out of 5 

1 of 1 (100%) people recommend this product

**FREE SHIPPING** on orders over \$75.

### Finish:



Black



Hematite



Buckeye Bronze

### Light Option:



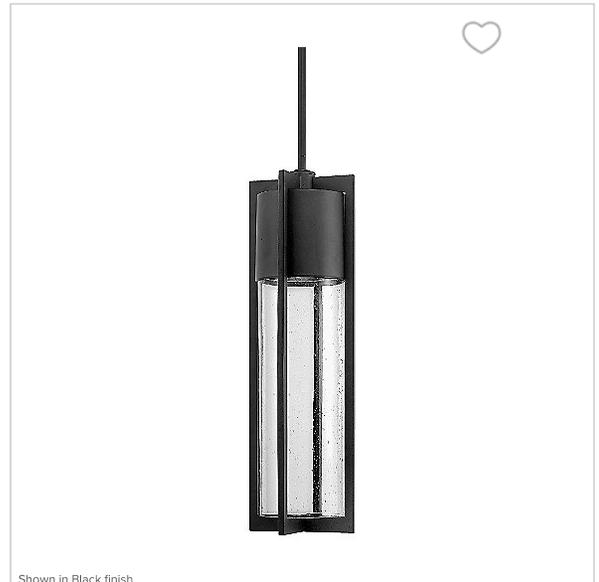
Incandescent



Fluorescent



LED



Shown in Black finish

## Details

The Hinkley Lighting Shelter Outdoor Pendant adds sleek, contemporary design to exterior living spaces.

Comes with a delicate cylindrical clear seeded glass shade, which is kept safe and secure within a metal frame that comes in a black finish to match the stem and canopy. Dark Sky compliant.

Cleveland-based Hinkley Lighting is driven by a passion to combine design and function to create exceptional lighting solutions. Family-owned Hinkley began as a traditional lantern company in 1922, and, still today, they produce top quality outdoor lighting. Hinkley Lighting has also expanded to include a full range of interior lighting solutions, including chandeliers, sconces, pendants and vanity lights.

The Shelter Outdoor Pendant 1322 is available with the following:

### Details:

- Material: Solid Aluminum
- Shade Material: Glass
- Cylindrical Clear Seedy shade
- Fluorescent option is Title 24 compliant
- Round ceiling canopy
- Dark Sky compliant
- Sloped ceiling adaptable (0-45)
- Comes with One 6.00 in., Two 12.00 in. stem/downrod
- UL Listed Damp
- Made In China

### Options:

- **Finish:** Black, Hematite, Buckeye Bronze
- **Light Option:** Incandescent, Fluorescent, LED

**Lighting:**

- Halogen Option: One 72 Watt (1490 Lumens) 120 Volt E26 Medium Base Halogen Lamp(s) (Not Included)
- Fluorescent Option: One 26 Watt (1750 Lumens) 120 Volt GU24 Base Fluorescent Lamp(s) (Not Included)
- LED Option: 15 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 96 Color Temp: 2700K Lifespan: 40000 hours

**Compare Brightness:**



**Dimensions:**

- **Ceiling Canopy:** Diameter 6"
- **Fixture:** Width 6.25"
- **Maximum Hanging:** Length Adjustable From 21.75", Adjustable To 54"

**Ratings:** Based on 1 reviews, this product is rated 5.0 out of 5.

**Manufacturer IDs:** [view](#)

Need help with some of our terminology? Check out [Lumens' Lighting & Design Glossary](#).

YOU MAY ALSO LIKE

**Shelter Outdoor Wall Sconce**  
By Hinkley Lighting

From: **\$109.00**

**Dawn Indoor/Outdoor LED Wall Sconce**  
By Modern Forms

From: **\$299.00**

**Shelter Half-Round LED Outdoor Wall Sconce**  
By Hinkley Lighting

From: **\$249.00**

FEEDBACK

Show your style with #loveyourlumens **ADD A PHOTO**

B Exterior Wall Sconce

Hubberton Forge Small Outdoor Wall sconce in dark smoke-35W Halogen or LED Equal



## C Step Light

Tech Lighting Single Pitch Wall Light Bronx/Black 1 x 10W 120V LED Module-700 lumens 5" x 5"





**PLANNING AND DEVELOPMENT SERVICES**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

---

**TO:** Design Review Board

**FROM:** Sam Starr, Town Planner

**FOR:** DRB Public Hearing on May 4, 2017, Agenda Item #6

**DATE:** April 26, 2017

**RE:** Consideration of a Conditional Use Permit Development Application for the Placement of a ropes course on OS3U, Active Open Space

---

**APPLICATION OVERVIEW:**

The purpose and intent of this memo is to have the Design Review Board review and provide a recommendation to Town Council for the placement of a ropes course on OS3U, Active Open Space.

**PROJECT GEOGRAPHY**

**Legal Description:** OS-3U, Telluride Mountain Village  
**Address:** No address assigned to Active Open Space  
**Applicant/Agent:** Gravity Play Events  
**Owner:** Telluride Ski Resort  
**Zone District:** Village Center  
**Zoning Designation:** Active Open Space  
**Existing Use:** Active Open Space  
**Proposed Use:** Active Open Space  
**Adjacent Land Uses:**

- **North:** Active Open Space, Village Center
- **South:** Active Open Space, Ski Area
- **East:** Active Open Space, Single Family
- **West:** Active Open Space, Village Center

**ATTACHMENTS**

- Exhibit A: Vicinity map
- Exhibit B: Application
- Exhibit C: Resolution No. 2014-0515-16

**BACKGROUND**

In accordance with 17.4.14 of the Community Development Code (CDC), the applicant has applied for a Class 4 Conditional Use Permit for the placement of a ropes course on Active Open Space, OS-3U, during the summer season. The ropes course has been in operation since 2014, and has received no complaints from the Parks and Rec or Environmental Services Departments.

**CRITERIA FOR DECISION**

1. The following criteria shall be met for the review authority to approve a conditional use permit:
  - a. The proposed conditional use is in general conformity with the policies of the principles, policies and actions set forth in the Comprehensive Plan;
  - b. The proposed conditional use is in harmony and compatible with surrounding land uses and the neighborhood and will not create a substantial adverse impact on adjacent properties or on services and infrastructure;
  - c. The design, development and operation of the proposed conditional use shall not constitute a substantial physical hazard to the neighborhood, public facilities, infrastructure or open space;
  - d. The design, development and operation of the proposed conditional use shall not have significant adverse effect to the surrounding property owners and uses;
  - e. The design, development and operation of the proposed conditional use shall not have a significant adverse effect on open space or the purposes of the facilities owned by the Town;
  - f. The design, development and operation of the proposed conditional use shall minimize adverse environmental and visual impacts to the extent possible considering the nature of the proposed conditional use;
  - g. The design, development and operation of the proposed conditional use shall provide adequate infrastructure;
  - h. The proposed conditional use does not potentially damage or contaminate any public, private, residential or agricultural water supply source; and
  - i. The proposed conditional use permit meets all applicable Town regulations and standards.
2. It shall be the burden of the applicant to demonstrate that submittal material and the proposed development substantially comply with the conditional use permit review criteria.

**ANALYSIS**

The ropes course has been a long, ongoing occurrence in the town. Moreover, such uses are common in ski resort communities to provide attractions in summer months. Staff feels the proposal is generally consistent with the Design Regulations. Council may elect to develop allowances and design standards for the proposed conditional uses in the future. Staff would therefore recommend approval through April 2020.

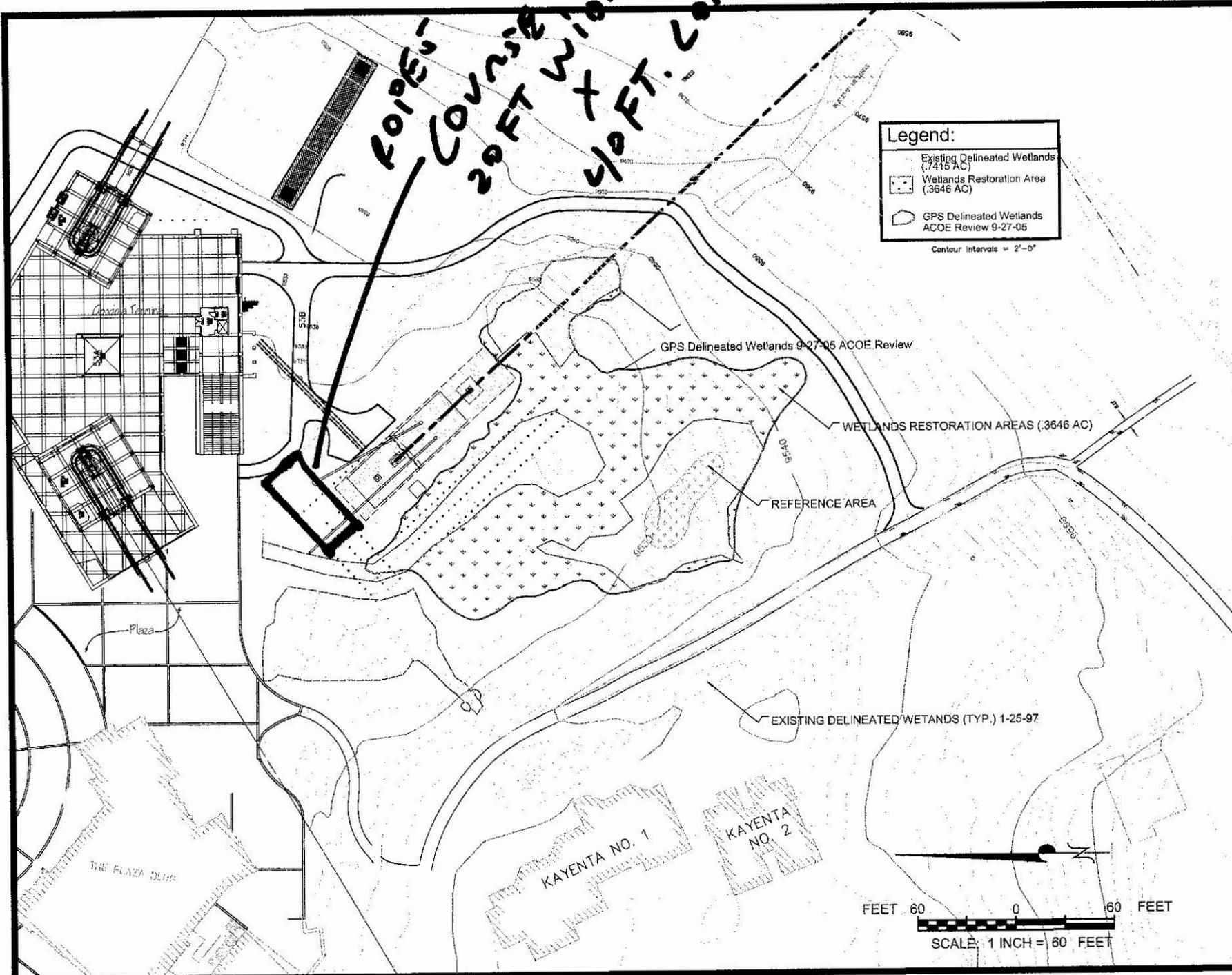
**RECOMMENDATION**

Staff recommends the DRB recommend the Town Council approve the conditional use permit to allow the placement of a ropes course on OS-3U, with the proposed motion set forth below:

*"I move to approve the conditional use permit for the placement of a ropes course on OS-3U with the following conditions:*

- 1. The Applicant shall maintain adequate bike traffic access from the bottom of the bike park to the Village Center plazas with either stations or hard fence to segregate bikers using the bike park, and users and spectators of the ropes course; the design of the stations or hard fence shall be reviewed by Planning Divisions Staff prior to installation.*
- 2. The Applicant shall secure the structure, including, without limitation, the pool, ladders, and other elements that might attract public access when closed.*
- 3. In the event of water limitations or restrictions, the Applicant shall close the pool portion of the ropes course structure.*
- 4. The Applicant shall re-surface all disturbed areas with landscaping and provide seating for spectators.*
- 5. Applicant shall provide an erosion control and drainage plan to ensure protection of the wetlands in the surrounding area.*
- 6. The Applicant shall revise the site and grading plan to have appropriate finished grade material, benches, and simple landscaping to improve the appearance of the ropes course, site grading, and the existing condition of the site.*
- 7. This Conditional Use Permit shall be valid for a period of three (3) years with an annual review by the Planning Division staff, with the Applicant responding to any valid issues as they arise during the operation or the annual review.*

**ROPER COURSE  
20 FT WIDE  
40 FT CORN**



**Legend:**

- Existing Delineated Wetlands (.7416 AC)
- Wetlands Restoration Area (.3646 AC)
- GPS Delineated Wetlands ACOE Review 9-27-05

Contour Intervals = 2'-0"

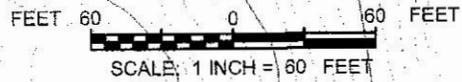


FIGURE LIFT 4

**LIFT 4 MITIGATION RESTORATION AREA  
DELINEATED WETLAND AREAS  
TOWN OF MOUNTAIN VILLAGE, COLORADO**

DATE:	11-30-05	SCALE:	1" = 60'
REVISION:		DATE:	
REVISION:		DATE:	
REVISION:		DATE:	



# CONDITIONAL USE PERMIT APPLICATION

Community Development Department  
Planning Division  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

## CONDITIONAL USE PERMIT APPLICATION

### APPLICANT INFORMATION

**Name:** GPA & GPE, Inc. dba Gravity Play Events  
**E-mail Address:** scott@gravityplayevents.com  
**Mailing Address:** 1272 Dream Lake Ct.  
**Phone:** 719-531-7510  
**City:** Colorado Springs  
**State:** CO  
**Zip Code:** 80921  
**Mountain Village Business License Number:** 01655

### PROPERTY INFORMATION

**Physical Address:** N/A  
**Acreage:**  
**Zone District:** Active Open Space  
**Zoning Designations:** Active Open Space  
**Density Assigned to the Lot or Site:** N/A  
**Legal Description:** Open Space Tract 0534  
**Existing Land Uses:** AOS  
**Proposed Land Uses:** AOS

### OWNER INFORMATION

**Property Owner:** TSG  
**E-mail Address:**  
**Mailing Address:**  
**Phone:**  
**City:**  
**State:**  
**Zip Code:**

### DESCRIPTION OF REQUEST

See Narrative



# CONDITIONAL USE PERMIT APPLICATION

Community Development Department  
Planning Division  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**OWNER/APPLICANT  
ACKNOWLEDGEMENT  
OF RESPONSIBILITIES**

I, Telluride Ski & Golf Company, the owner of Lot 0534 (the "Property") hereby certify that the statements made by myself and my agents on this application are true and correct. I acknowledge that any misrepresentation of any information on the application submittal may be grounds for denial of the development application or the imposition of penalties and/or fines pursuant to the Community Development Code. We have familiarized ourselves with the rules, regulations and procedures with respect to preparing and filing the development application. We agree to allow access to the proposed development site at all times by member of Town staff, DRB members and the Town Council. We agree that if this request is approved, it is issued on the representations made in the development application submittal, and any approval or subsequently issued building permit(s) or other type of permit(s) may be revoked without notice if there is a breach of representations or conditions of approval. By signing this acknowledgement, I understand and agree that I am responsible for the completion of all required on-site and off-site improvements as shown and approved on the final plan(s) (including but not limited to: landscaping, paving, lighting, etc.). We further understand that I (we) are responsible for paying Town legal fees and other fees as set forth in the Community Development Code.

Signature of Owner

Date

3/30/17

Signature of Applicant/Agent

Date

**OFFICE USE ONLY**

Fee Paid:

By:

Planner:



# CONDITIONAL USE PERMIT APPLICATION

Planning & Development Services  
Department  
Planning Division  
455 Mountain Village Blvd.  
Mountain Village, CO 81435

## OWNER AGENT AUTHORIZATION FORM

I have reviewed the application and hereby authorize *(insert agent name)* \_\_\_\_\_ of  
*(insert agent's business name)* \_\_\_\_\_ to be and to act as my  
designated representative and represent the development application through all aspects of the development  
review process with the Town of Mountain Village.

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Printed name)

## # 6 – Development Narrative

We propose to set up and operate a mobile Ropes Course with Water Walkers (see attached photos) for family entertainment and economic vitality in Mountain Village for Summer 2017.

The operation will attract and retain visitors to Mountain Village by providing a wholesome and healthy activity opportunity that is both physically and mentally stimulating.

Signage with wooden frames and benches for comfort and appearance will also be sought and proposed.

Daily safety inspections will occur, all staff will be trained and follow written operation procedures and the Water Walker Pool will be covered when closed.

**RESOLUTION OF THE TOWN COUNCIL  
OF THE TOWN OF MOUNTAIN VILLAGE,  
MOUNTAIN VILLAGE, COLORADO  
APPROVING A CONDITIONAL USE PERMIT FOR THE INSTALLATION OF A  
TEMPORARY ROPES COURSE STRUCTURE ON ACTIVE OPEN SPACE, OS-3U**

**Resolution No. 2014-0515-16**

- A. TSG Ski & Golf, LLC is the owner of record of real property described as Tract OS-3U, Town of Mountain Village (Owner); and
- B. The Owner has authorized Scott Butler to pursue the approval of the Conditional Use Permit to allow for the installation of a temporary ropes course structure on Tract OS-3U, Town of Mountain Village (Applicant) and the Applicant has submitted such application requesting approval of the Conditional Use Permit; and
- C. The proposed development is in compliance with the provisions of Section 14.4.14 of the Community Development Code (CDC); and
- D. The Design Review Board (DRB) considered this application, along with evidence and testimony, at a public meeting held on May 8, 2014. Upon concluding their review, the DRB voted in favor of the Conditional Use Permit and recommended approval to the Town Council subject to certain conditions as set forth in this resolution; and
- E. The Town Council considered and approved this application, along with evidence and testimony, at a public meeting held on May 15, 2014; and
- F. The public hearings referred to above were preceded by publication of public notice of such hearings on such dates and/or dates from which such hearings were continued in the *Telluride Daily Planet*, and by mailing of public notice to property owners within four hundred feet (400') of the Property, as required by the CDC; and
- G. After the public hearings referred to above, the DRB and the Town Council each individually considered the Application submittal materials, and all other relevant materials, public letters and public testimony, and approved the Application with conditions as set forth in this Resolution; and
- H. The Applicant has addressed, or agreed to address, all conditions of approval of the Application imposed by Town Council based upon a recommendation for approval by the DRB; and
- I. The Town Council finds the Application meets the Conditional Use Permit requirements contained in CDC Section 17.4.14 as follows:
  - 1. The proposed conditional use is in general conformity with the policies of the principles, policies and actions set forth in the Comprehensive Plan;
  - 2. The proposed conditional use is in harmony and compatible with surrounding land uses and the neighborhood and will not create a substantial adverse impact on adjacent properties or on services and infrastructure;
  - 3. The design, development and operation of the proposed conditional use shall not constitute a substantial physical hazard to the neighborhood, public facilities, infrastructure or open space;

4. The design, development and operation of the proposed conditional use shall not have significant adverse effect to the surrounding property owners and uses;
5. The design, development and operation of the proposed conditional use shall not have a significant adverse effect on open space or the purposes of the facilities owned by the Town;
6. The design, development and operation of the proposed conditional use shall minimize adverse environmental and visual impacts to the extent possible considering the nature of the proposed conditional use;
7. The design, development and operation of the proposed conditional use shall provide adequate infrastructure;
8. The proposed conditional use does not potentially damage or contaminate any public, private, residential or agricultural water supply source; and
9. The proposed conditional use permit meets all applicable Town regulations and standards.

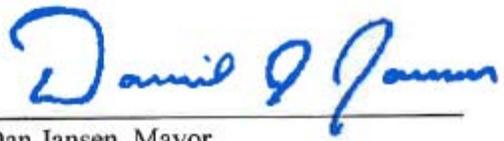
**NOW, THEREFORE, BE IT RESOLVED THAT THE TOWN COUNCIL HEREBY APPROVES A CONDITIONAL USE PERMIT TO ALLOW FOR THE INSTALLATION OF A TEMPORARY ROPES COURSE STRUCTURE ON OS-3U AND AUTHORIZES THE MAYOR TO SIGN THE RESOLUTION SUBJECT TO CONDITIONS SET FORTH IN SECTION 1 BELOW:**

1. The Applicant shall submit all signage for approval through the appropriate design review process prior to installation.
2. The Applicant shall maintain adequate bike traffic access from the bottom of the bike park to the Village Center plazas with either stations or hard fence to segregate bikers using the Bike Park and users and spectators of the ropes course; the design of the stations or hard fence shall be reviewed by Planning Divisions staff prior to installation.
3. The Applicant shall secure the structure, including, without limitation, the pool, ladders, and other elements that might attract public access when closed.
4. In the event of water limitations or restrictions, the Applicant shall close the pool portion of the ropes course structure.
5. The Applicant shall re-surface all disturbed areas with landscaping and provide seating for spectators.
6. The Applicant shall provide an erosion control and drainage plan to ensure protection of the wetlands in the surrounding area.
7. The Applicant shall revise the site and grading plan to have appropriate finished grade material, benches and simple landscaping to improve the appearance of the ropes course, site grading and the existing condition of the site.
8. The Conditional Use Permit shall be valid for a period of three years (3) with an annual review by the Planning Division staff, with the Applicant responding to any valid issues as they arise during operation or the annual review.

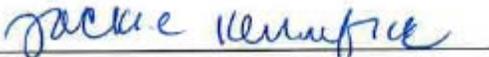
**Be It Further Resolved** that OS-3U may be developed as submitted in accordance with Resolution No. 2014-0515-16

**Approved** by the Town Council at a public meeting May 15, 2014.

Town of Mountain Village, Town Council

By:   
Dan Jansen, Mayor

Attest:

By:   
Jackie Kennefick, Town Clerk

Approved as to Form:

  
James Mahoney, Assistant Town Attorney



**PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**Agenda Item No. 7**

**TO:** Design Review Board

**FROM:** Glen Van Nimwegen, AICP  
Director

**FOR:** Meeting of May 4, 2017

**DATE:** April 26, 2017

**RE:** **Work Session to Review Process to Amend Roof Material Standards for the Village Center Buildings**

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On June 2, 2016 the staff and Anton Benitez, Executive Director of TMVOA had a work session with the DRB to talk about the strategy for roof replacement in the Village Center. As you know, tile is dictated by the CDC and it is in short supply. Section 17.5.6 (C) 3 of the CDC describes appropriate roof materials in Mountain Village. Staff has highlighted the standards for buildings within the Village Center:

**3. Roof Material**

- a. All roofing material shall be of a type and quality that will withstand high alpine climate conditions.
- b. The review authority may require class A roofing materials as a fire mitigation measure.
- c. Permitted roof material outside the Village Center include:
  - i. Rusted, black or gray standing seam or corrugated metal;
  - ii. Zinc;
  - iii. Minimum 1/2" slate; and
  - iv. Synthetic materials that have been approved by the Design Review Board for general use after having been used on individual projects and the Board makes the finding that the material has proven to meet the standards stated below.
- d. Village Center roofing material shall be concrete tile or synthetic materials that emulate concrete tile of the color burnt sienna except for special copper accent roofs that shall require specific approval of the DRB.
- e. The following roofing materials may be approved by the DRB as a specific approval that is processed as a class 3 development application if the DRB finds the roofing material is consistent with the town design theme and the applicable Design Regulations:
  - i. Copper;

- (a) Copper shall only be considered when it is proposed with a brown or verde patina finish where visible except for the Village Center where a verde patina finish is required.
  - (b) The copper finish shall be completed prior to issuing a certificate of occupancy.
- ii. Galvanized corrugated or standing seam metal (not rusted or reflective);
- iii. Synthetic roofing material that accurately emulates wood shake, concrete and slate tile or any other roofing material permitted or existing in Mountain Village.
  - (a) Synthetic roofing material shall be:
    - (i) Durable
    - (ii) High strength, both material and shape;
    - (iii) Low absorption or permeability;
    - (iv) High freeze/thaw damage resistance;
    - (v) Color throughout the tile (not surface applied); and
    - (vi) High-quality design that fits within the architectural context of the building and the architectural context of the surrounding area.
- f. The following requirements are applicable to all roofing:
  - i. Metal roofing surface shall not reflect an excessive amount of light when viewed against direct sunlight.
  - ii. Unless the DRB grants a specific approval for a non-rusted metal roof, corrugated and standing seam roofing materials shall be pre-treated to produce rusting prior to placement on the roof, and prior to the issuance of a certificate of occupancy.
- g. The installation or re-installation of wood shakes, glazed tile and asphalt shingles is prohibited, except for the repair or replacement of wood shake areas that are 25% or less of the total roof surface area.
- h. Roof flashing, Gutters Downspouts and Similar Hardware:
  - i. In the Village Center, all exposed metal flashing, gutters, downspouts and other roof hardware shall be copper except when either structural requirements dictate the use of stronger materials such as for snow fences.
  - ii. In all other areas, other metal guttering besides copper may be approved by the review authority to allow it to match roofing material, such as the use of rusty steel guttering on a rusty metal roof.
  - iii. When steel or iron are used, they shall be either rusted to match the roof or finished with a baked on enamel paint or, subject to the prior approval of the review authority, a silicon modified alloy or special epoxy paint system of a color approved by the review authority.

Staff would like the DRB's input on which direction to take to amend this requirement of the CDC:

1. Draft ordinance to amend CDC to allow other roof materials than tile and synthetic tile in the Village Center. The other roof materials would be rusted, black or gray standing seam or corrugated metal (not sure this is appropriate in the VC); zinc or minimum ½ inch slate (these are the materials that are allowed outright in the MV). Some requirements would be:
  - a. Staff review that must be elevated to DRB;
  - b. Require applicant to provide visuals that show the new material in context with the surrounding buildings;
  - c. Notify Village Center HOA's of proposal for input on design and facilitate negotiation of acquiring tiles; or
2. Create process utilizing an architect or designer that could model different roof materials in Village Center and make recommendations. The process would include input from Village Center building owners and residents of Mountain Village. Goals would be:
  - a. Partnership with TMVOA and MV;
  - b. Provide staff with electronic model to provide evaluation of material changes to the Board;
  - c. Garner wide support for subsequent change to the CDC.



**PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 369-8250

**Agenda Item No. 9**

**TO:** Design Review Board  
**FROM:** Glen Van Nimwegen, AICP  
Director  
**FOR:** Meeting of May 4, 2017  
**DATE:** April 25, 2017

**RE:** Review and make a recommendation to the Town Council regarding the following proposed actions for Lots 1001R and 1005R; Village Court Apartments, 415 Mountain Village Boulevard:

- A. Rezoning of Lot 1005R, zoned Multi-Family and Full Use Active Open Space, to transfer approximately 22 units of Employee Apartment or Condominium density (66 person equivalent) to the 2.8 acre parcel; Rezoning of 1001R, zoned Multi-Family and Full Use Active Open Space, to transfer approximately 48 units of Employee Apartment or Condominium density (144 person equivalent density) to the 8.4 acre parcel; and**
- B. Approval of a Conditional Use Permit for approximately 48 Employee Apartment or Condominium units on Lot 1001R; and**
- C. Approval of alternative parking requirements.**

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**PROJECT GEOGRAPHY**

**Legal Description:** Lots 1001R and 1005R  
**Applicant/Agent:** Town of Mountain Village  
**Owner:** Town of Mountain Village Housing Authority  
**Zoning:** Multi-Family and Full Use Active Open Space (FUAOS)  
**Existing Use:** Employee apartments and open space  
**Proposed Use:** 70 additional employee apartment or condominium units  
**Site Area:** 11.2 acres  
**Density:**

- **Existing** 19.8 units per acre
- **Proposed** 26.1 units per acre

**Adjacent Land Uses / Zoning District:**

- **North:** Open Space / FUAOS
- **South:** Parking Garage, Open Space / Civic Zone District
- **East:** Open Space, Lift 10, Double Cabins Ski Run / FUAOS
- **West:** Open Space and Single-family Residence / FUAOS and Single-Family

**ATTACHMENTS**

**Exhibit A:** Aerial Photo of Site  
**Exhibit B:** Existing Zoning

- Exhibit C: Town Hall Subarea Plan
- Exhibit D: Parking Study
- Exhibit E: Lots 1001R, 1007R, 1008R and Tract OS-1R-1R Plat
- Exhibit F: Public Comments

**BACKGROUND AND ANALYSIS**

Last spring the Town launched an effort to update the Town Hall Subarea Plan of the comprehensive plan. An overarching theme that came out of the process was to “Expand workforce housing”. The draft plan identified the possibility of some housing as a part of the new mixed-use buildings close to town hall, but most of the new housing is proposed to be added to the Village Court Apartments. To implement the goal, staff is proposing the following development applications:

- A. Rezoning and Density Transfer. Per the draft amended Town Hall Subarea Plan, staff is recommending 70 additional units be moved to the two lots. The existing zone districts remain the same. Staff is recommending the zoning designation for the new units be expanded to include Employee Condominiums as well as Employee Apartments. The addition of employee or work force housing in Mountain Village does not count against the housing density cap. The existing and proposed density is as follows:

Use	Actual Units	Density Per Unit	Person Equivalent Density
Employee Apartments	222	3	666
Additional Emp Apts / Condo	70	3	210
Proposed Density	292	3	876

- B. Conditional Use Permit. When the Town Hall Subarea was amended in 2014, it was followed by a rezoning of the area to new zoning districts. Portions of Lots 1005R and 1001R were rezoned from Multi-Family to Full Use Active Open Space. The CDC requires a conditional use permit to allow workforce housing in Full Use Active Open Space. The area of this district was platted at the time for Lot 1001R (Exhibit E). Staff is not certain if the new proposed units will encroach on the open space district. Therefore we are proposing a CUP for Lot 1001R. There are no units proposed close to the existing open space district in Lot 1005R.

- C. Alternative Parking Requirements. Section 17.5.8(A)6 of the CDC allows the review agency to approve parking requirements different than the mandated requirements through the Class 4 process. Staff has studied the existing parking trends at the Village Court Apartments, and had our findings verified by a parking consultant with the Town Hall Subarea Planning team. The table below outlines the request:

Land Use	Apartments	Parking Ratio	Spaces
Employee condo/apartments outside Village Core per CDC	222	1.5 space/unit	333
Existing employee parking at VCA	222	1.1 space/unit	246
Proposed Parking	292	1 space/unit	292

Staff is not seeking final Design Review approval of the development plans at this time. The schematic plans are from the latest version of the draft Town Hall Subarea Plan. It is intended to provide a high level, conceptual view of the overall project design, and prove the additional units “fit” on the site.

**Current Site Conditions**

The Village Court Apartments includes 222 employee housing units in the following bedroom configurations:

Unit Type	Amount	Size (Square Feet)
Studio	78	351
1 Bedroom 1 Bath	78	525
2 Bedroom 1 Bath	52	785
3 Bedroom 2 Bath	12	1075
Commercial (Mountain Munchkins)	2	1075

**Comprehensive Plan Context**

Since March of 2016 the Town Hall Planning Committee has been working on a revised Town Hall Subarea Plan. The Committee is made up of representatives from TSG, TMVOA and Mountain Village. The plan is slated for Town Council adoption on June 20, 2017. The draft plan recommends the addition of 70 units to the two lots. However, the current Town Hall Subarea Plan is generally supportive of the expansion of the workforce housing:

Town Hall Subarea Plan (2011, amended 2014)

- Create additional deed restricted housing for year-round and seasonal residents. (page 60)
- 2. PARCEL B VILLAGE COURT APARTMENTS (VCA)
  - a. Continue to provide deed restricted housing consistent with the town Housing Authority policies and federal or state mandated programs applicable to Parcel B Village Court Apartments.
  - b. Continue the measured development of vacant, buildable land at VCA. (page 61)

Paragraph I.A states that even though Table 8. Town Hall Development Table does not indicate additional units for VCA, an application can be made for the rezoning if it can be shown it “fits” on the site (page 61). Staff believes the preliminary design work and parking study that have been done for the updated plan show the additional units fit on the site.

The following Comprehensive Plan policies are applicable to the DRB’s consideration of the development applications:

Land Use Principles, Policies and Actions, Principle I, Policies B, C & G

- B. Require rezoning, Planned Unit Developments (PUD), subdivisions, special use permits, density transfers, and other discretionary land use applications to be in general conformance with the Land Use Plan, the Subarea Plans and their associated principles and policies, and the applicable policies of the Comprehensive Plan.
- C. Permit development applications in general conformance with the Comprehensive Plan

per the applicable criteria for decision-making.

G. Require a rezoning, PUD, subdivision or density transfer to meet the following applicable criteria:

1. A proposal shall not increase the town's density beyond the 8,027 person equivalent density cap in accordance with the terms of the County Settlement Agreement which allows for the creation of bonus employee density, so proposal does not affect the cap.
  - The proposal is for employee density so it does not affect the cap.
2. A proposal generally meets the targeted parcel density as identified in the Development Tables for each Subarea Plan.
  - The Table does not state the allowed density for VCA, but the density meets the "fits" requirement.
3. A proposal shall meet the adopted criteria for decision-making for the required development review processes.
  - See Criteria and Findings below.
4. A proposal to rezone, subdivide or transfer density shall provide public benefits listed in the Public Benefits Table.
  - This request is not one of the specific actions that require the provision of public benefits.
5. A proposal that involves rezoning open space, as envisioned by the Comprehensive Plan, shall provide an equal or greater amount of replacement of open space within the original County PUD boundary in accordance with the terms of the County Settlement Agreement and LUO and Design Guidelines.
  - This request is not rezoning open space. Work force housing is allowed use in Active Open Space subject to approval of a Conditional Use Permit.
6. The proposal will meet the following or equivalent standards:
  - a. Minimize and mitigate a project's visual impacts, to the extent practical, while also providing the targeted density identified in each Subarea Plan Development Table. It is understood that some visual impacts will occur with development.
    - The project "fits" the site. The height of buildings will not exceed the existing buildings on-site, and the height of certain buildings in proximity to an existing single-family residence will be reduced.
  - b. Ensure appropriate scale and mass that fits the site(s) under review.
    - See above.
  - c. Avoid, minimize and mitigate environmental and geotechnical impacts, to the extent practical, consistent with the Comprehensive Plan while also providing the target density identified in each Subarea Plan Development Table.
    - The project "fits" the site. All required environmental and geotechnical studies, including wetland delineations will have to occur prior to construction.
  - d. Address all site-specific issues to the satisfaction of the town such as, but not limited to, the location of trash facilities, grease trap cleanouts, restaurant vents, and access points.
    - Development standards are being included with the rezoning ordinance and the project will have to go through Design Review Board for final development approval.

## Town Hall Subarea Plan as Proposed 2017

The draft plan emphasizes again the need to expand workforce housing, primarily at VCA. A conceptual site plan was done that showed capacity for up to 70 additional units. Additional vehicle access points are recommended, as well as improved pedestrian connections. The amended Town Hall Subarea Plan provides further support and justification of the expansion of VCA.

### **Alternative Parking Requirements**

Section 17.5.8 (A) 6 of the CDC allows for the review authority of Class 4 applications to approve parking standards that are different from those dictated by the code. The proposed parking change must be evaluated by a parking professional, and the review authority must make the following findings:

- i. The alternative parking requirements shall be sufficient to meet the parking demand for the proposed uses; and
- ii. The alternative parking requirements shall not be detrimental to the public health, safety and welfare.

Planning staff did an inventory of the use of parking in Village Court Apartments for a week during a peak demand period. Our findings were that only 89% of the 246 spaces were utilized at the peak time (Sunday night). This equates to a maximum demand of one car per unit, which is the allowed requirement for the Village Center. The analysis supports reducing the parking requirement for Village Court, which is likely due to the proximity of transit through the gondola, dial-a-ride and local buses. The staff study was evaluated by a transportation planner that was a part of the consulting team employed for the Town Hall Subarea Plan who recommends the reduced parking standard (Exhibit D).

### **Neighbor Concerns**

The property owner in the closest proximity to Village Court Apartments has raised concerns about the addition of units where the shop is currently, and the Townhomes proposed adjacent to Lift 10 (Exhibit F). The footprint of their home can be seen in the upper left corner of the Town Hall Subarea site plan.

The planning committee for the subarea plan considered the concerns raised by Mr. Evans and is recommending conditions be added to the rezoning to reduce noise impacts of the new units.

### **CRITERIA AND FINDINGS FOR DECISION**

Below are the criteria that must be met for the Board to recommend approval of the requested actions. Staff has inserted our interpretation of how the proposal meets the criteria as stated in the bulleted text.

#### **Rezoning Criteria**

1. The proposed rezoning is in general conformance with the goals, policies and provisions of the Comprehensive Plan:

- The development applications meet Land Use Principles, Policies and Actions, Principle I because the development will promote a land use pattern envisioned by the Comprehensive Plan that will provide economic and social vibrancy;
  - The development applications meet Land Use Principles, Policies and Actions, Principle I, Policy B that requires rezoning, Planned Unit Developments (PUD), subdivisions, special use permits, density transfers, and other discretionary land use applications to be in general conformance with the Land Use Plan, the Subarea Plans and their associated principles and policies, and the applicable policies of the Comprehensive Plan;
  - The development applications meet Land Use Principles, Policies and Actions, Principle I, Policy C that permits development applications in general conformance with the Comprehensive Plan per the applicable criteria for decision-making;
  - The development applications meet Land Use Principles, Policies and Actions, Principle I, Policy G that requires a rezoning, PUD, subdivision or density transfer to meet the certain site standards that have been embodied in the CDC as the Comprehensive Plan Project Standards (Please refer to criterion below);
2. The proposed rezoning is consistent with the Zoning and Land Use Regulations;
    - Employee housing is a permitted use in the current Multi-Family Zone District and is a conditional use in the existing Full Use Active Open Space Zone District;
    - The CDC density limitation will not be exceeded because new workforce housing does not count towards the density limitation;
    - The development will be required to comply with the building height, lot coverage requirements during the required Design Review Process development application.
  3. The proposed rezoning meets the Comprehensive Plan project standards:
    - Additional development at the site of Village Court Apartments was proposed and evaluated through the one-year process to amend the Town Hall Subarea Plan chapter of the comprehensive plan. The additional development will fit on the site.
  4. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources:
    - The Telluride Fire Protection District will provide fire protection services;
    - The Mountain Village Police Department will provide police protection services;
    - The proposed development is envisioned by the Comprehensive Plan to provide for economic and social vibrancy, thus creating a more sustainable community; and
    - The development will reduce the amount of economic leakage out of the Telluride Region, with local employees spending more dollars locally rather than in the surrounding commuting communities.
  5. The proposed rezoning is justified because there is an error in the current zoning, there have been changes in conditions in the vicinity or there are specific policies in the Comprehensive Plan that contemplate the rezoning;
  6. Adequate public facilities and services are available to serve the intended land uses.
    - Water and sewer are available from the Town of Mountain Village;
  7. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion:

- A transportation study completed for the Comprehensive Plan showed that Mountain Village Boulevard has a volume to capacity ratio of approximately 70% based on the build-out of the land uses as proposed;
- There will be a net reduction in the land uses proposed in the comprehensive plan with the adoption of the amended Town Hall Subarea;
- The proposed Town Hall Subarea Plan recommends an additional access point to VCA directly through the parking garage to Mountain Village Boulevard;
- The intersection of the Village Court Apartments driveway and Mountain Village Boulevard will be improved for pedestrians and vehicles with the addition of a round-about and
- There will be additional and improved pedestrian connections between VCA and the Town Hall area, including new bus stops.

8. The proposed rezoning meets all applicable Town regulations and standards.

### **Density Transfer Criteria**

1. The criteria for decision for a rezoning are met, since such density transfer must be processed concurrently with a rezoning development application (except for MPUD development applications).
2. The density transfer meets the density transfer and density bank policies:
  - The Town Council may create workforce housing density that is not in the density bank and transfer it to a site because new workforce housing density is not subject to the density limitation.
3. The proposed density transfer meets all applicable Town regulations and standards.

### **Conditional Use Permit Criteria**

Staff has made a CUP request because a portion of Lot 1001R where additional units may be located is zoned for Full Use Active Open Space.

1. The proposed conditional use is in general conformity with the policies of the principles, policies and actions set forth in the Comprehensive Plan.
2. The proposed conditional use is in harmony and compatible with surrounding land uses and the neighborhood and will not create a substantial adverse impact on adjacent properties or on services and infrastructure;
  - The site is presently developed as multi-family;
  - The building height will be according to the CDC or lower and therefore will not exceed the height of existing units at VCA;
  - Staff is recommending conditions be applied to the rezoning to limit impacts to an existing neighbor;
  - The development will be evaluated pursuant to the Design Regulations which will further ensure compatibility and harmony with surrounding land uses; and
  - The parking requirement will be reduced, but not beyond what can be provided on site or in the adjacent parking garage.

3. The design, development and operation of the proposed conditional use shall not constitute a substantial physical hazard to the neighborhood, public facilities, infrastructure or open space;
4. The design, development and operation of the proposed conditional use shall not have significant adverse effect to the surrounding property owners and uses;
  - Staff is recommending conditions be applied to the rezoning to limit impacts to an existing neighbor.
5. The design, development and operation of the proposed conditional use shall not have a significant adverse effect on open space or the purposes of the facilities owned by the Town.
6. The design, development and operation of the proposed conditional use shall minimize adverse environmental and visual impacts to the extent possible considering the nature of the proposed conditional use.
7. The design, development and operation of the proposed conditional use shall provide adequate infrastructure.
8. The proposed conditional use does not potentially damage or contaminate any public, private, residential or agricultural water supply source; and
9. The proposed conditional use permit meets all applicable Town regulations and standards.

#### **Alternative Parking Requirement Findings**

1. The alternative parking requirements shall be sufficient to meet the parking demand for the proposed uses;
  - Staff and the Town's parking consultant have evaluated the actual parking demand for Village Court Apartments and based on the proximity of transit are recommending a ratio of one space per unit.
2. The alternative parking requirements shall not be detrimental to the public health, safety and welfare.
  - There is adequate room on-site and/or in the adjacent parking garage.

#### **STAFF RECOMMENDATION**

The Village Court Apartments is the principal site of work force housing in Mountain Village, and there is need for additional housing. The present comprehensive plan allows for the addition of density in the Town Hall Subarea if it can be shown it fits the area. A more detailed analysis shows that 70 additional units should fit within the site subject to the final delineation of the wetlands. A Conditional Use Permit is being provided because a portion of the additional units may encroach into open space. The parking has been analyzed and a more accurate requirement for parking at this site is one space per unit.

Therefore, staff is recommending approval of the rezoning to transfer density; the conditional use and alternative parking requirements as proposed.

## **PROPOSED MOTION**

"I recommend the Design Review Board recommend the Town Council approve the proposed applications subject to the following conditions:

1. The final location and design of the building, grading, landscaping, parking areas and other site improvements shall be determined with the required Design Review Process application pursuant to the applicable requirements of the CDC, including but not limited to the Design Regulations, except:
  - a. The buildings to be located where the existing shop and storage units are currently located shall be limited to two stories or 30 feet; and shall not have outside decks facing Tract OS1R3 or OS1R1 respectively; and
  - b. The applicant may seek certain variations to the Design Regulations such as the percent of stone, roofing material, window materials or other similar variations as are typically granted for employee housing projects; and
  - c. Parking shall be provided at a minimum ratio of one (1) space per unit on-site or in the adjacent parking garage.
2. The proposed density shall not exceed 292 employee condo/apartment units and the general location of the buildings shall remain substantially as shown in the conceptual plans.
3. The Employee Housing Deed Restriction that exists on the property shall be extended to include the additional 70 units.



**Village Court Apartments**

Lot 1001R

Lift 10

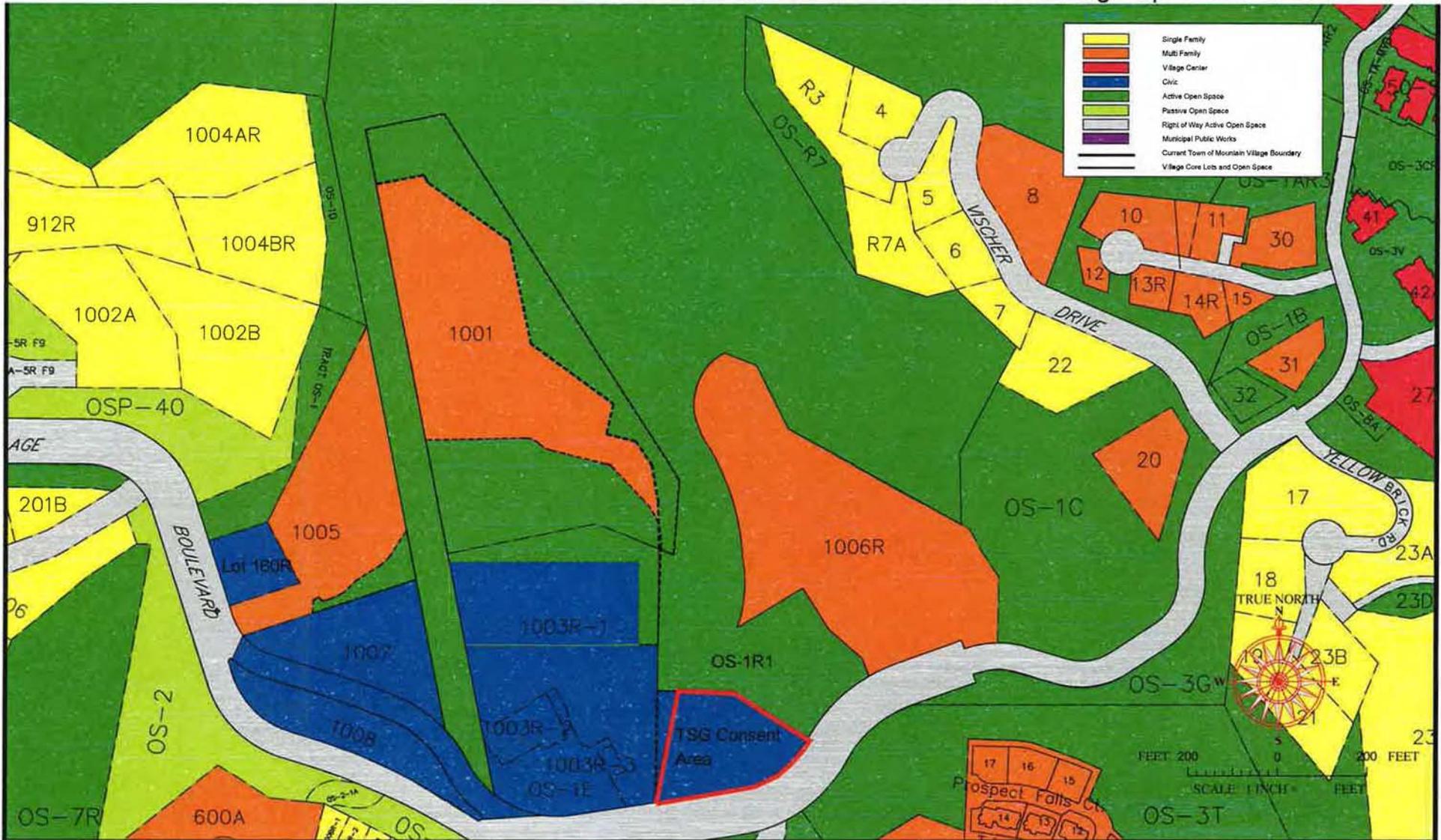
Lot 1005R

Town Hall

1:4,220



# Exhibit A: Town Hall Subarea Official Zoning Map Amendment



Lot 1001 -1008 Proposed Rezone  
TMV Zoning Map



Town of Mountain Village  
Comprehensive Plan - 2008  
Figure 1.0  
[www.townofmountainvillage.com](http://www.townofmountainvillage.com)

1" = 200'  
12-13-13

# MOUNTAIN VILLAGE

Town Hall Center Subarea Plan  
Preferred Option - DRAFT

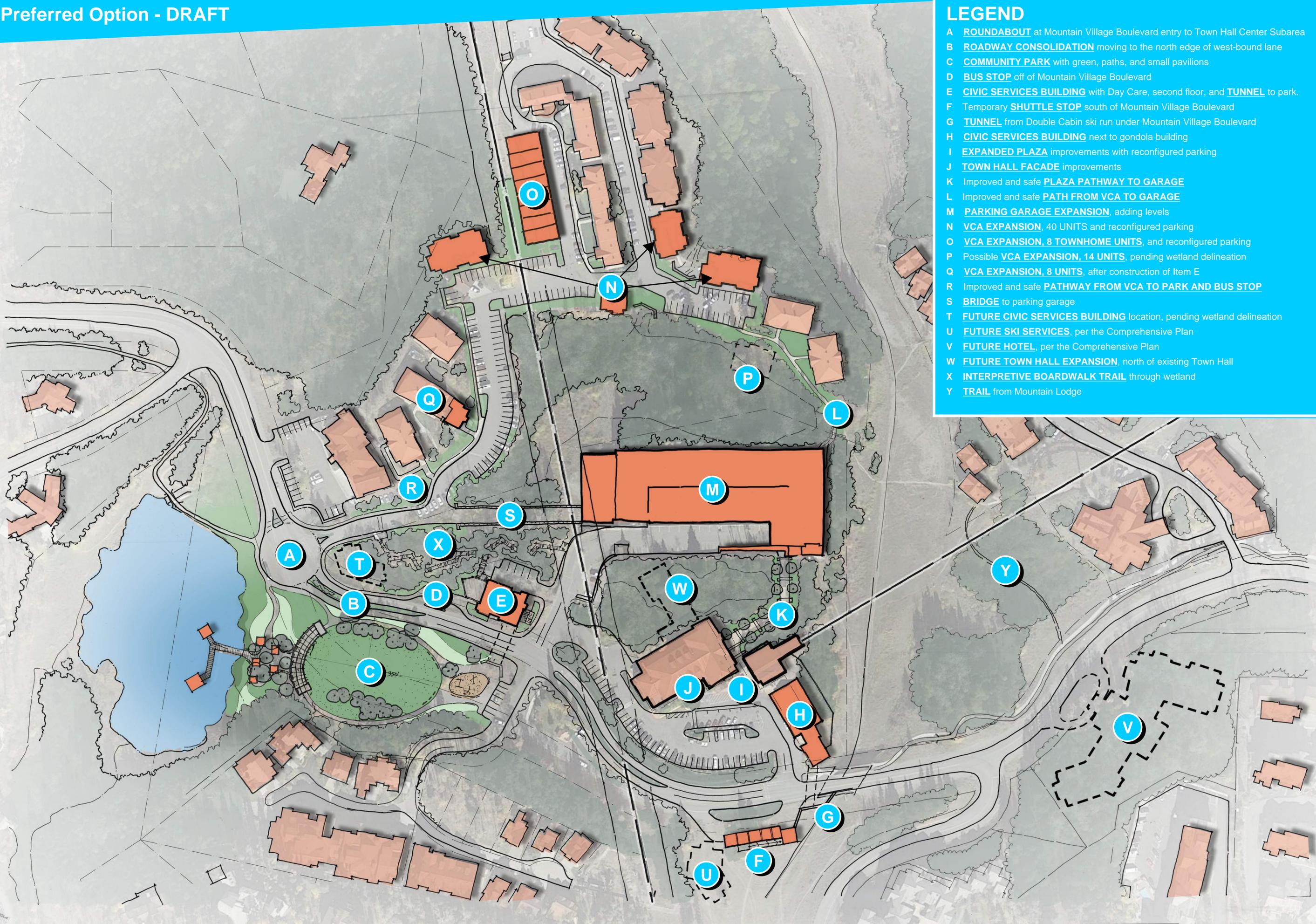
for Client WebEx  
1 February 2017



AECOM  
OZ Architecture

## LEGEND

- A **ROUNDBABOUT** at Mountain Village Boulevard entry to Town Hall Center Subarea
- B **ROADWAY CONSOLIDATION** moving to the north edge of west-bound lane
- C **COMMUNITY PARK** with green, paths, and small pavilions
- D **BUS STOP** off of Mountain Village Boulevard
- E **CIVIC SERVICES BUILDING** with Day Care, second floor, and **TUNNEL** to park.
- F Temporary **SHUTTLE STOP** south of Mountain Village Boulevard
- G **TUNNEL** from Double Cabin ski run under Mountain Village Boulevard
- H **CIVIC SERVICES BUILDING** next to gondola building
- I **EXPANDED PLAZA** improvements with reconfigured parking
- J **TOWN HALL FACADE** improvements
- K Improved and safe **PLAZA PATHWAY TO GARAGE**
- L Improved and safe **PATH FROM VCA TO GARAGE**
- M **PARKING GARAGE EXPANSION**, adding levels
- N **VCA EXPANSION**, 40 UNITS and reconfigured parking
- O **VCA EXPANSION, 8 TOWNHOME UNITS**, and reconfigured parking
- P Possible **VCA EXPANSION, 14 UNITS**, pending wetland delineation
- Q **VCA EXPANSION, 8 UNITS**, after construction of Item E
- R Improved and safe **PATHWAY FROM VCA TO PARK AND BUS STOP**
- S **BRIDGE** to parking garage
- T **FUTURE CIVIC SERVICES BUILDING** location, pending wetland delineation
- U **FUTURE SKI SERVICES**, per the Comprehensive Plan
- V **FUTURE HOTEL**, per the Comprehensive Plan
- W **FUTURE TOWN HALL EXPANSION**, north of existing Town Hall
- X **INTERPRETIVE BOARDWALK TRAIL** through wetland
- Y **TRAIL** from Mountain Lodge



**AECOM**  
 6200 South Quebec Street  
 Greenwood Village, CO 80111  
 T 303-694-2770

## Memorandum

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Date: February 28, 2017  
 To: Town Hall Center Subarea Plan Committee Members  
 From: AECOM Project Team: Nick VanderKwaak  
 Subject: Parking Analysis and Recommendations for Town Hall Center Subarea Plan

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## Introduction

This memorandum summarizes available parking data including existing parking supply, parking utilization, and potential future parking requirements in the Town Hall Center Subarea. To fully understand the current and future parking needs in the subarea and the associated parking structure additions, a more in depth parking study and parking garage expansion engineering study is recommended.

## Existing Parking Supply

### Surface Parking (Public)

A total of 53 surface parking spaces (3 of which are accessible) are located in front of town hall. An additional six (6) 1 hour visitor parking spaces are located in the gravel area in front of the fire station near Elk Pond.

Location	Parking Spaces	Note
Town Hall: Retaining Wall Parking	29	1 hour limit; unlimited day parking for residents
Town Hall: Middle Island	21	1 hour limit; 1 post office spot limited to 10 minutes
Town Hall: Accessible	3	Accessible parking next to grocery store
Gravel lot in front of fire station	6	1 hour visitor parking
<b>Total</b>	<b>59</b>	

In addition to visitor and daily resident parking, there are approximately 25 town vehicle spaces at the fire station and between the divided roadway reserved for police, fire, and other town vehicles.

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**Village Court Apartments Parking (VCA)**

Parking at VCA is limited to VCA residents. This includes the parking spaces south of the fire station along the entrance toward VCA apartments and all other spaces contained in the VCA complex. There are approximately 246 spaces available in the area (Source: Town of Mountain Village 2017 VCA Parking Study).

**Gondola Parking Garage (GPG)**

The Gondola Parking Garage is located behind Town Hall Plaza, and the three levels of the garage park 460 vehicles at capacity. The garage is free during the day but costs \$25 for overnight parking.

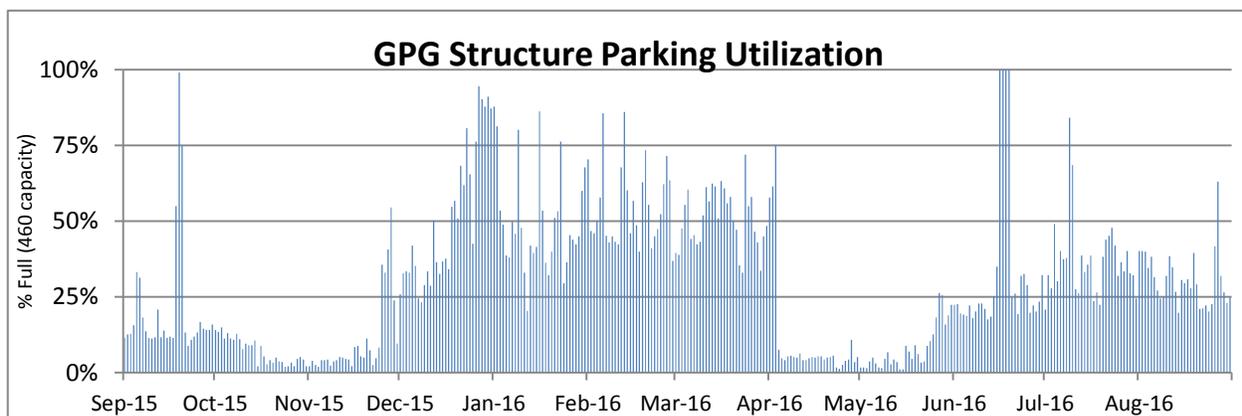
**Parking Utilization**

The Town of Mountain Village has collected once a day parking counts at noon for several years in the following locations:

- Heritage Parking Garage (HPG)
- Gondola Parking Garage (GPG)
- Street Parking
- UMB Employee
- North Village Center (NVC)
- Town Hall Plaza
- Blue Mesa
- Meadows

For the purpose of the Town Hall Subarea, the GPG structure and Town Hall Plaza parking area statistics were analyzed and are summarized below. The data covers the period through 8/31/2016, so the following charts illustrate the one year period between 9/1/2016 and 8/31/2016. While not shown in this memorandum, parking usage during other years shows peak usage in late December and during Telluride festivals.

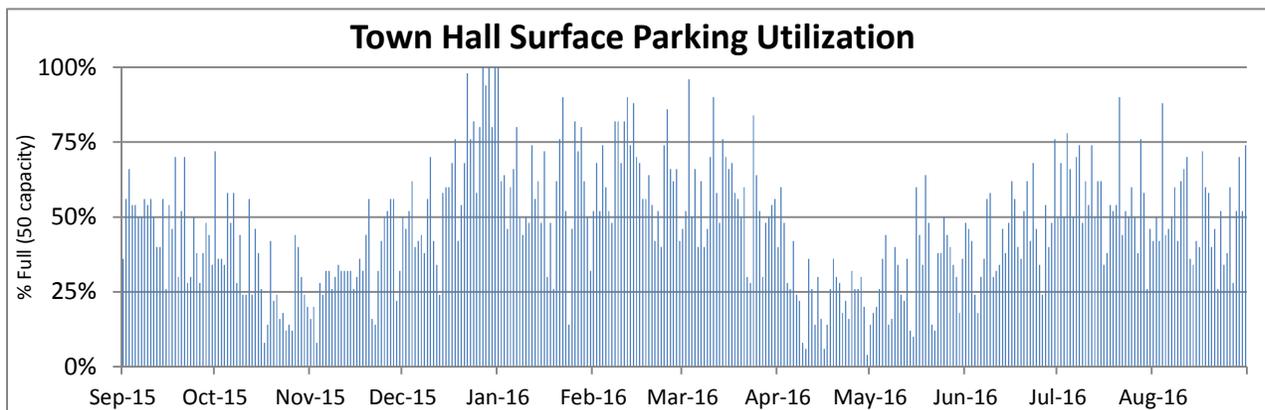
Parking in the garage during the annual Blues & Brews Festival on September 16-18, 2015 and the Bluegrass Festival on June 18-21, 2016 were at capacity. The garage is utilized frequently during the ski season with specific timeframes near the late December holidays experiencing the highest utilization. A total of 173 days during this one year period between September 2015 and August 2016 had less than 25% utilization and 20 days had greater than 75% utilization. The heaviest 8 days (greater than 90% utilization) were during the festivals.



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The 50 spaces (not including the 3 ADA spaces) in the surface lot at the Town Hall had a higher utilization rate than the Gondola Parking Garage. There were 51 days where utilization was less than 25% and 31 days utilization was greater than 75%. Heavy usage greater than 90% was recorded on 7 days with most of those days occurring during the festivals. The data shown below shows utilization in this lot at noon but does not capture other hours of the day which may be busier or less busy. To fully understand trends in this parking area, a parking study is recommended.



**VCA Parking Utilization Study (conducted by Town of Mountain Village)**

A parking utilization study was conducted by the Town of Mountain Village which found that on average, the parking occupancy of Village Court Apartments, at any given time, is approximately 79%, which represents 194 of the existing 246 spots. The highest rate of occupancy during the study was 89%. The exact number of parking spaces was difficult to determine due to poor pavement markings, and residents park in areas that are not officially striped as parking spaces. Details of the study are included as an appendix to this memorandum.

**Proposed Development Program Parking Impact**

**Town of Mountain Village Comprehensive Plan Parking Recommendations**

The Town of Mountain Village Comprehensive Plan (2014) provides guidance to provide additional parking supply by building additional levels to the Gondola Parking Garage to accommodate day skier, visitor, and employee parking. The following recommendations were approved by the Town as part of the comprehensive plan:

- Meet the required parking for the land uses at Town Hall if excess capacity beyond the day skier, visitor, and employee parking demands and/or if shared-use parking is feasible.
- Utilize parking spaces better at VCA by converting some surface parking into enclosed garages.
- Consider a payment in-lieu system to assist in the funding of the construction of additional parking garage floors in the Gondola Parking Garage.
- Provide pedestrian connections from the Gondola Parking Garage to all uses in Town Hall Center.

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### Town of Mountain Village Development Code

The Town of Mountain Village Community Development Code (2015) parking regulations require that parking spaces shall be provided on-site for development as specified in the following table:

Zoning Designation	Required Number of Parking Spaces
Single-family	2 enclosed spaces in garage and 2 surface parking spaces
Condominium unit (Village Center)	1 space per unit
Condominium unit (Multi-family)	1.5 spaces per unit
Single-family common interest community	2 spaces per unit
Employee condo/apt. unit (Village Center)	1 space per unit
Employee condo/apt. unit (outside Village Center)	1.5 spaces per unit
Hotel unit, Hotel efficiency unit, Lodge unit, or Efficiency lodge unit	0.5 space per unit
Commercial space (low intensity commercial)	1 space per 1,000 sq. ft.
Commercial space (high intensity commercial)	1 space per 500 sq. ft.
Industrial	2 spaces per 1,000 sq. ft.

Alternative Parking Requirements for uses not listed and for modifications based on changes in travel modes are allowed to be proposed by developers and may be approved by the review authority if they meet the parking demand for the proposed uses and are not detrimental to the public health, safety and welfare. Development proposing alternate parking requirements requires a parking study to confirm that the proposed minimum parking requirements will provide sufficient parking spaces to serve the proposed uses.

The parking needs in the Town Hall Center Subarea are lower than areas with similar land uses because of the gondola transportation link to the Village Core and Telluride which provides a convenient travel option for residents and visitors as an alternative to parking in those areas. This, combined with free dial a ride and other shuttle options, reduces the need to provide the same level of parking supply for new uses as if they were developed in an area without transit connections. Visitors who arrive by car are able to park their vehicle once for the day and navigate without out it to destinations in Mountain Village and Telluride.

### Workforce Housing Proposed Development

The Community Development code proposes 1 space per unit for employee housing in the Village Core and 1.5 spaces per unit for employee housing outside of the core. For new units constructed in the Village Court Apartments, it is recommended to consider adding only 1 space per unit due to the proximity of the Gondola and ability of residents to live a car free or car reduced lifestyle due to the reduced parking needs described above.

The following is a table summarizing the proposed workforce housing units in the proposed Town Hall Center Subarea Plan.

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Building	Product Type	Average Unit Size (sf)	# Units per Building	Parking Required (1 per unit)	Parking Required (1.5 per unit)
<b>Bldg A</b>	1, 2 BDRM	800	18	18	27
<b>Bldg B</b>	1, 2 BDRM	800	12	12	18
<b>Bldg C</b>	1, 2 BDRM	800	12	12	18
<b>Bldg D</b>	1, 2 BDRM	800	12	12	18
<b>Bldg E</b>	TOWNHOME	1000	7	7	11
<b>TOTAL</b>			<b>61</b>	<b>61</b>	<b>92</b>
				<b>(Recommended)</b>	

Tuck under parking could be provided for 18 units, and the number of parking spaces required beyond this number would need to be provided in the Gondola Parking Garage or in another alternate location. If 1 space per unit is used, an additional 43 parking spaces would need to be provided.

The following is a table summarizing the proposed civic and office development in the proposed Town Hall Center Subarea Plan.

**Civic/Office Proposed Development**

Civic Building	Building Area (GSF)	Parking Requirement	Parking Required
<b>Offices - Main Floor</b>	3,000	1 per 500 sf	6
<b>Munchkin Daycare - Lower Level</b>	2,500	1 per 500 sf	5
<b>Common Space - Lower Level</b>	500		
<b>TOTAL</b>			<b>11</b>

Community Hall	Building Area (GSF)	Parking Requirement	Parking Required
<b>B1 Level</b>	5,400	1 per 500 sf	11
<b>Retail</b>	5,400	1 per 500 sf	11
<b>Commercial/Office</b>	3,600	1 per 500 sf	8
<b>Common Space (All Levels)</b>	4,500		
<b>TOTAL</b>			<b>30</b>

Parking for Community Hall is recommended to be located in the Gondola Parking Garage.

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Park	Parking Required
Passive Park with trail connections and bike parking	8

## Parking Garage Expansion

The parking garage was originally designed to accommodate the expansion of two additional levels constructed in three phases. The Town of Mountain Village provided some of the original construction figures which included details about phasing and cost for each phase (included as an appendix to this memorandum). The original cost estimates (provided by Finn KJome on 1/3/2017) are order of magnitude and have been adjusted to 2017 dollars (from 2007), but it is recommended to perform an updated engineering analysis to determine feasibility and estimate the cost. It is not clear if electrical, elevator expansion, drainage, and fire protection were included with this original cost estimate. In addition, steel would require at least a 9 month lead time before it would be available for construction.

	Description	Estimated Parking Spaces	Estimate (2017\$)	Construction Duration
<b>Phase I</b>	Levels 8 (ramp) and north half of level 9. One additional level on existing parking garage	150	\$4.7 million	60-75 days
<b>Phase II</b>	Levels 10 (ramp) and north half of level 11	150	\$4.7 million	60-75 days
<b>Phase III</b>	Completion of levels 9 and 11. South half of the structure filled in.	100	\$4.7 million	Requires pile driving (construction time unknown)
<b>Total</b>		<b>400</b>	<b>\$14.1 million</b>	

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## Recommendations

The AECOM team recommends the following related to parking as part of the Town Hall Center Subarea Plan.

### A. Parking Requirements for New Development

Based on the Town Hall Center Subarea Plan proposed development, the following additional parking spaces are recommended:

1. Civic Building (Phase 1, with Office and Mountain Munchkin Daycare): 11 Spaces
2. Civic Building (Phase 2, west of Phase 1 building if wetland delineation is favorable): 11 spaces
3. Community Hall Building (next to the Gondola): 30 spaces
4. Community Park (passive park with trail connections and bike parking): 8 spaces
5. Village Court Apartments (61 additional units with 18 tuck under spaces): 43 spaces

The team assumes:

- A. The current existing uses require all of the surface parking available
- B. The existing parking structure spaces (although not full much of the year) is needed for peak season requirements.

**Therefore, a total of 103 parking spaces should be provided—8 surface spaces serving the community park and 95 spaces in a new phase of construction to the parking structure.** (Note: Phase 1 of the parking structure assumes 120 spaces. Therefore, an excess of 25 spaces is assumed to be included in the Phase 1 buildout.)

Although the parking structure is not highly utilized year-round, many other variables impact the parking demand at Mountain Village Town Hall including:

- Potential hotel and ski services development in future phases of the Town Hall Center Subarea
- Potential additional VCA units (beyond the 61 units, depending on wetland limits) in the Town Hall Center Subarea
- Hotel and retail development in other areas of Mountain Village
- Growth of residential and commercial development in Mountain Village
- Overall increase in number of visitors to the Town of Mountain Village and the Town of Telluride
- Changes in travel behavior with more visitors arriving via shuttle or transit
- Availability of remote parking in other areas of the region with shuttle service
- Change in on-street parking policy or usage in other Mountain Village parking garages

Therefore, additional phases of the parking structure may be needed. A comprehensive parking/engineering study is recommended to:

1. Determine if Phase 2 and/or Phase 3 of the parking structure is required (totaling an additional 240 spaces)
2. Properly estimate costs of construction for Phase 1 versus Phases 1-3 simultaneously
3. Recommend optimum timing of construction of Phases 1, 2 and 3
4. Recommend financing sources, mechanisms, grants and other capital sources

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**B. Additional Recommendations for the Town Hall Center Subarea related to Parking and Transportation**

In addition to expanding the parking structure with Phase 1 and the community park surface parking of 8 spaces, the team also recommends:

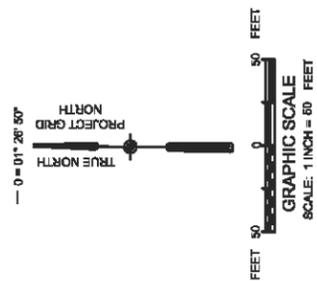
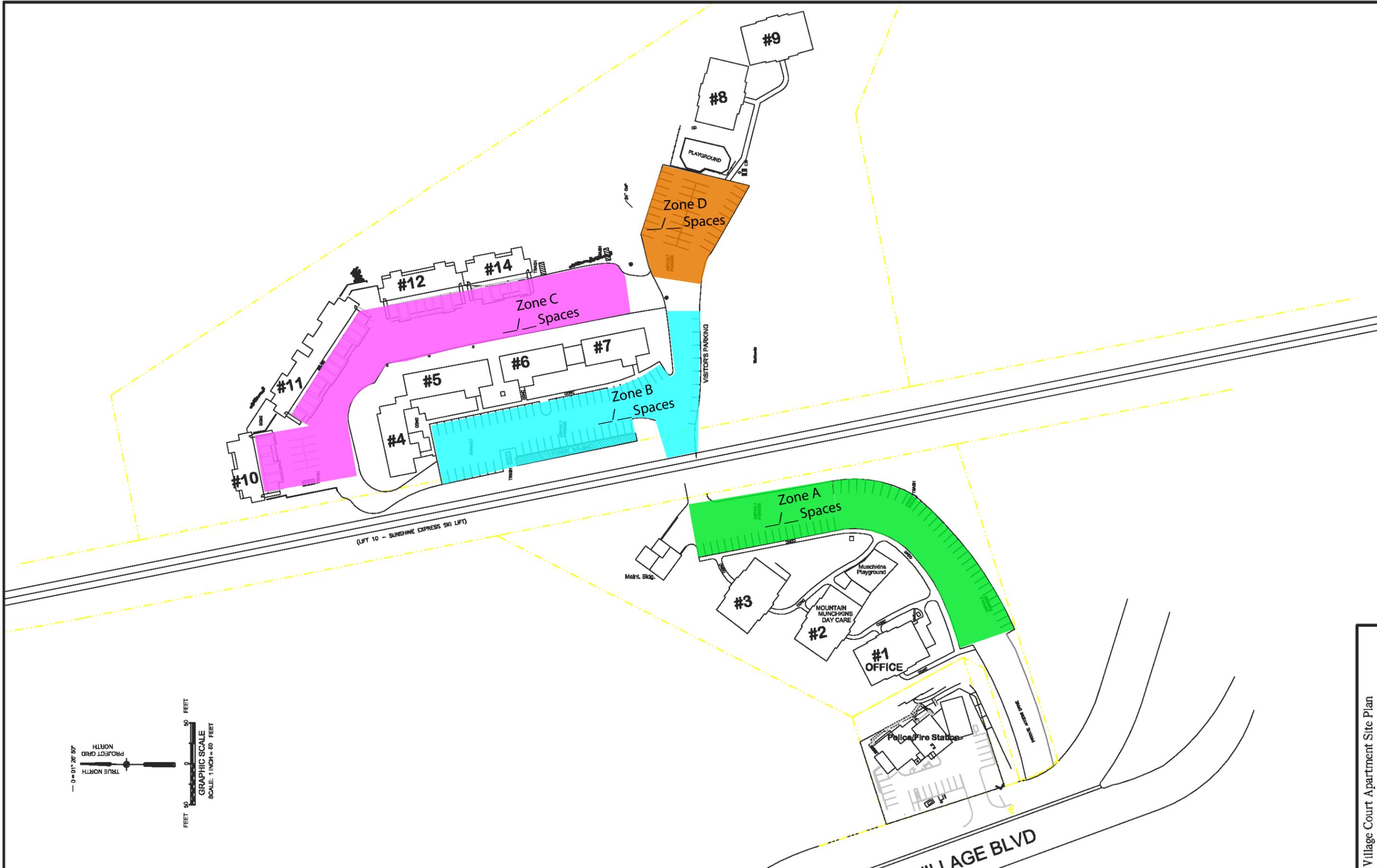
1. Develop and provide a car share program (most likely located in the parking structure with dedicated spaces) such as Zipcar, Car2Go or others.
2. Continue to provide (and potentially expand) electric vehicle charging stations.
3. Explore the potential impact of autonomous vehicles and partnering opportunities such as Uber, Google, etc.
4. Comprehensively connect the pedestrian and bike trail network in the Town Hall Center Subarea.
5. Explore the need for bike storage and bike share facilities in the Town Hall Center Subarea.

**Responding to Peak Parking Demand**

Apart from new development, parking availability is already limited during specific peak times of the year, so if the Town of Mountain Village, Telluride Golf and Ski Club and the Committee desire to address this peak parking demand, building Phases 2 and 3 would create more parking capacity. To address the peak parking needs, new development, and to respond to additional parking demand created by policies or other parking changes then the full garage build out should be completed.

**Appendicies**

1. Village Court Apartments Map
2. Village Court Apartments Parking Memorandum
3. Gondola Parking Garage Plans - 3 phases



DRAWN BY: RBC DESIGNED BY: CHECKED BY:	<small>Disclaimer:</small> This information is a product of the Mountain Village Geographical Information Systems (GIS) Department and is intended for the display of relative positions and locations only. Users of this information hereby recognize, acknowledge and agree that it is not a guaranteed account, legal or surveyed representation of land. There remains all risks and responsibility for use and all direct and indirect damages, including consequential damages, that may flow from the use of this information. Users further recognize, acknowledge and agree that the Mountain Village GIS Department has not made any representation, warranty, or guarantee of any kind for this information in survey records or GIS to be used or relied upon for any particular purpose.
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REVISION	DATE	DESCRIPTION	BY	CHKD



Town of Mountain Village  
 Geographical Information System  
 & CAD Design Office  
 411 Mountain Village Blvd, Mountain Village, CO 81435  
 Ph. 970-728-5946 Fax 970-728-6027

# Village Court Apartments Site Plan

Staging Plan

SCALE: 1" = 50'	JOB NO:	DATE: 8-8-11
SHEET NO:	1 of 1	

Village Court Apartment Site Plan



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**DATE:** December 23, 2016  
**TO:** Kim Montgomery, Glen Van Nimwegen, Jim Loebe, Cecelia Curry, et. al.  
**FROM:** Sam Starr, Planner  
**RE:** **Village Court Apartments Parking**

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### **Executive Summary**

On average, the parking occupancy of Village Court Apartments (VCA) at any given time is approximately 79%, which represents 194 of the existing 246 spots. The highest rate of occupancy during this study was 89%. If VCA were to expand the number of apartments by 38 to 60 units, the creation of 50 to 70 new parking stalls would also need to occur in order to comply with code and comfortably accommodate residents, guests.

Regardless of the expansion plans, the parking lot for VCA desperately needs to be restriped; the following results were based on estimated counts from the 2011 VCA Site Plan, and observed actual spots. It seems that residents basically make their own parking stalls, which can lead to code infractions and other safety-related issues.

### **Research Methodology**

To obtain a general sense of how many spots were intended to be in the Village Court Apartments, an initial review of the 2011 VCA Site Plan was conducted, and the plan showed that there was an allocation 172 striped parking stalls. Following the primary site plan review, the schedule for observation was set and it was determined that it would be best to observe and count parking four times daily: the first observation at 7:00 AM, the second observation at 12:00PM, the third observation at 5:00 PM, and the fourth and final observation at 10:00PM. By counting in five hour increments, the observer could note the differences in occupancy when most jobs started, when lunch hour occurred, when most workers came home, and one nightly count. The count would happen on the two weekdays of Tuesday December 12<sup>th</sup>, Thursday December 15<sup>th</sup>, and the two weekend days of December the 17<sup>th</sup> and December the 18<sup>th</sup>. These dates were selected to observe differences in occupancy between weekdays and the weekend, where it was generally accepted that the occupancy rate would be higher, likely due to a typical work schedule.

To begin the count, the 2011 VCA Site Plan was divided up into four zones: Zone A consisted of stalls outside buildings 1-3; Zone B consisted of stalls outside buildings 4-7; Zone C consisted of buildings 10-14; and Zone D consisted of buildings 8 and 9. Each count would observe the number of cars in each Zone, and what the weather was like, and any additional anecdotal notes of any parking irregularities. The first count, performed on 12/12 would also observe the

number of actual stalls allocated, and compare it to the number from the 2011 VCA Site Plan. The results from the study can be found below.

## Study Results

The first count performed on 12/12 at 7:00AM showed, clearly, that there is a massive discrepancy between the number of stalls pictured on the 2011 VCA Site Plan, and the number of places where people generally park. Given the fact that the striping has worn substantially in most areas, and the portion “labeled visitor parking” was striped as 90 degree parking instead of a 180 degree (parallel) parking spots, the number of parking stalls was actually 246, not 172 as indicated on the 2011 VCA Site Plan.

The following counts were observed. Weather was additionally noted, providing if there were clouds/snow, and what a rough approximation of the temperature was. The lowest and highest overall parking occupancy rate percentages observed are noted in red.

Tuesday, 12/13							
	Zone A	Zone B	Zone C	Zone D	Total	Total %	Weather During Count
7:00AM	48/52	57/63	84/100	24/31	213/246	0.87	Clear, ~10
12:00PM	43/52	50/63	64/100	20/31	177/246	0.71	Clear, ~35
5:00PM	37/52	60/63	69/100	18/31	184/246	0.74	Cloudy, ~15
10:00PM	38/52	63/63	85/100	21/31	207/246	0.84	Snow, ~10

Thursday, 12/15							
	Zone A	Zone B	Zone C	Zone D	Total	Total %	Weather During Count
7:00AM	49/52	63/63	83/100	21/31	216/246	0.88	Clear, ~10
12:00PM	36/52	47/63	58/100	13/31	154/246	0.63	Clear, ~35
5:00PM	40/52	56/63	65/100	16/31	177/246	0.72	Snow, ~20
10:00PM	40/52	61/63	83/100	21/31	205/246	0.83	Snow, ~20

Saturday, 12/17							
	Zone A	Zone B	Zone C	Zone D	Total	Total %	Weather During Count
7:00AM	47/52	56/63	82/100	22/31	207/246	0.84	Snow ~15
12:00PM	35/52	56/63	76/100	17/31	184/246	0.74	Snow ~20
5:00PM	35/52	58/63	78/100	21/31	192/246	0.78	Snow ~10
10:00PM	No Count						

Sunday, 12/18							
	Zone A	Zone B	Zone C	Zone D	Total	Total %	Weather During Count
7:00AM	No Count						
12:00PM	34/52	58/63	78/100	21/31	191/246	0.78	Clear, ~20
5:00PM	36/52	60/63	86/100	19/31	201/246	0.81	Clear, ~15
10:00PM	36/52	68/63	93/100	22/31	219/246	0.89	Clear, ~0

Figure 1

As to be expected, the highest occupancy occurred Sunday night, following a day of blizzard like conditions. Most striking is the fact that the rates of occupancy remained consistent throughout the weekdays and weekend, which is to say that there, was very little fluctuation amongst all 7:00 AM counts, 12:00PM counts, etc. The data offers no conclusion as to why the lowest occupancy rate occurred on 12PM Tuesday, other than it was the middle of the day, and

weather was moderate. There is no indication weather played a significant role in occupancy rates, and the same study should be reciprocated in the summer months to confirm this.

Not featured in the above figure are the totals for all counts. The total statistical mean occupancy percentage for the four days of observation was 79%, the median was 79.5%, and the range was 63% to 89%.

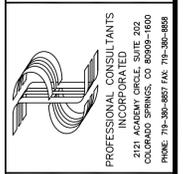
DRAFT

# STRUCTURAL AND FOUNDATION PLANS AND SPECIFICATIONS FOR GONDOLA TERMINAL PARKING STRUCTURE

## TOWN OF MOUNTAIN VILLAGE, COLORADO PHASE 6 - CONSTRUCTION YEAR 2007 / 2008

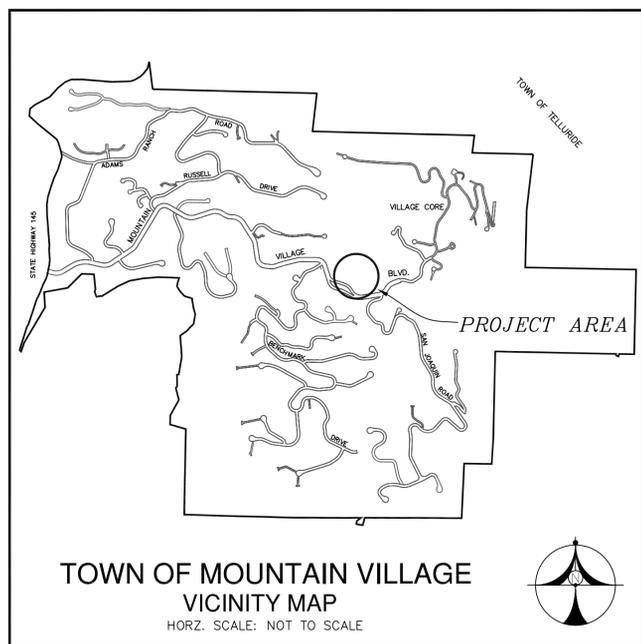
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**GONDOLA TERMINAL PARKING STRUCTURE**  
**COVER SHEET, LOCATION, CONTACTS AND GENERAL NOTES**  
**LOT 1003, TOWN OF MOUNTAIN VILLAGE, COLORADO**



PROFESSIONAL CONSULTANTS  
 INCORPORATED  
 2121 ACADEMY CIRCLE, SUITE 202  
 COLORADO SPRINGS, CO 80909-1600  
 PHONE: 719-380-8857 FAX: 719-380-8858

Owner and Design Professionals		Construction and Utility Contact Agencies	
<b>Owner:</b>	Mountain Village Metropolitan District Kathy Mahoney, Manager P.O. Box 11064 Telluride, CO 81435 970-728-8000	<b>Utilities:</b>	Mountain Village Metropolitan District Bill Mahoney, Operations Manager 411 Mountain Village Blvd, Mountain Village, CO 81435 970-728-8000
<b>Structural Engineer:</b>	Professional Consultants Incorporated Alvaro J. Testa, Ph.D., P.E. 2121 Academy Circle, Suite 202 Colorado Springs, CO 80909-1600 719-380-8857	<b>Building Dept.</b>	Town of Mountain Village John Cheroske, Building Official 411 Mountain Village Blvd, Mountain Village, CO 81435 970-728-7460
<b>Soils Engineer (1):</b>	Lambert & Associates Norman W. Johnston P. O. Box 0045 Montrose, CO 81502 970-249-2154		
<b>Soils Engineer (2):</b>	Buckhorn Geotech William M. Ungerer 222 South Park Ave. Montrose, CO 81401 970-249-6828		
<b>Surveyor:</b>	Professional Consultants Incorporated Randall D. Hency 2121 Academy Circle, Suite 202 Colorado Springs, CO 80909-1600 719-380-8857		



SHEET INDEX

S1.	COVER SHEET, LOCATION, CONTACTS AND GENERAL NOTES
<del>S2.</del>	<del>SPECIFICATIONS, STEEL MEMBERS AND CONNECTIONS</del>
<del>S3.</del>	<del>TIERS 1, 2 AND 3 PAVING AND DRAINAGE PLAN</del>
<del>S4-S5.</del>	<del>DETAILS</del>
<del>S6-S10</del>	<del>UPPER FLOORS STEEL DECK AND HORIZONTAL STEEL LAYOUT</del>
<del>S11</del>	<del>STEEL DECK REINFORCED CONCRETE SLAB</del>
<del>S12</del>	<del>DETAILS</del>
<del>S13-S14</del>	<del>LINES 1 THRU 4 BUILDING CROSS SECTIONS</del>
<del>S15-S20</del>	<del>LINES A THROUGH V BUILDING CROSS SECTIONS</del>
<del>S21</del>	<del>STAIR SECTIONS AND NOTES</del>
<del>F1</del>	<del>GENERAL AND TECHNICAL FOUNDATION NOTES AND SPECIFICATIONS, PILE LOCATION TABLE</del>
<del>F2</del>	<del>PILE, PILE CAP AND TIE BEAM LAYOUT &amp; DETAILS</del>
<del>F3</del>	<del>PEDESTAL LAYOUT AND DETAILS</del>
<del>F4</del>	<del>FOUNDATION DETAILS</del>
<del>F5</del>	<del>FOUNDATION DETAILS</del>

**GENERAL NOTES - ALL WORK:**

- THE PARKING STRUCTURE PROJECT IS BEING BUILT IN PHASES. THESE PLANS REFLECT THE OVERALL LAYOUT OF THE WORK PROPOSED TO BE COMPLETED DURING PHASE "V" OF CONSTRUCTION (HIGHLIGHTED IN THESE PLANS).
- THE OWNER WILL UNDERTAKE THE TASK OF MANAGING THIS PHASE OF CONSTRUCTION OF THE PROJECT. THEREFORE, THE WORK HAS BEEN SEPARATED INTO FOUR CATEGORIES, AS FOLLOWS:
  - STEEL PILE DRIVING
  - REINFORCED CONCRETE PILE CAPS, PEDESTALS, TIE BEAMS AND FOOTERS
  - STRUCTURAL STEEL
  - REINFORCED CONCRETE DECKS, BARRIERS AND FLATWORK
- OTHER WORK, SUCH AS ELECTRICAL, ELEVATOR EXPANSION, DRAINAGE AND FIRE PROTECTION, IS TO BE DONE BY OWNER.
- TIME IS OF THE ESSENCE IN THE COMPLETION OF ALL THE WORK CATEGORIES DESCRIBED HEREIN.
- THIS SET OF PLANS ARE AN INTEGRAL COMPONENT OF THE CONTRACT DOCUMENTS. ANY DISCREPANCIES IN THESE PLANS MUST BE BROUGHT TO THE ATTENTION OF ENGINEER FOR REVIEW. A CLARIFICATION OF THE INTENT WILL BE PRODUCED WITHIN 48 WORKING HOURS OF THE NOTICE.
- THE APPLICABLE CODES FOR THE WORK HEREIN ARE AS FOLLOWS:
  - LATEST UNIFORM BUILDING CODE
  - LATEST AMERICAN INSTITUTE OF STEEL CONSTRUCTION CODE.
  - LATEST STRUCTURAL WELDING CODE.
  - LATEST AMERICAN CONCRETE INSTITUTE No. 318.
- ALL DESIGN, FABRICATION AND CONSTRUCTION EFFORTS MUST MEET THE ABOVE-REFERENCED CODES AS A MINIMUM.
- CHANGES TO THE DESIGN MAY BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL.
- ALL CONTRACTORS MUST BE REGISTERED TO DO BUSINESS IN THE TOWN OF MOUNTAIN VILLAGE. ALL CONTRACTORS ARE RESPONSIBLE FOR ALL COSTS OF DOING BUSINESS IN THE TELLURIDE AREA. NO LIVING QUARTERS MAY BE ESTABLISHED AT THE JOB SITE. TEMPORARY STORAGE AND SANITARY FACILITIES ARE REQUIRED.
- OWNER WILL PROVIDE CONSTRUCTION STAKING AND AS-BUILT DATA FOR EXISTING STRUCTURAL COMPONENTS AT NO EXPENSE TO THE CONTRACTOR.
- OWNER WILL PROVIDE INSPECTORS AT THE SITE TO MONITOR THE PROGRESS OF THE WORK AND TO ASSIST IN THE COORDINATION OF VARIOUS CONTRACTORS AND OWNER WHOM MAY BE WORKING ON SITE SIMULTANEOUSLY.
- ENGINEER'S APPROVAL MUST BE OBTAINED BEFORE MAKING ANY SUBSTITUTIONS.
- DRAWINGS SHALL NOT BE SCALED.
- NOTES AND DETAILS IN THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES. WHERE NO DETAILS ARE SHOWN, REFER TO SIMILAR DETAILS ELSEWHERE ON THE PROJECT AND, ALSO, CALL ENGINEER.
- THESE PLANS AND SPECIFICATIONS ADDRESS THE STRUCTURE IN ITS ULTIMATE SERVICE CONDITION. IT IS LIKELY THAT DURING CONSTRUCTION, UNSTABLE CONFIGURATIONS BE CREATED BY CONTRACTOR. CONTRACTOR MUST INCLUDE IN HIS/HER PRICE OF DOING THE WORK ANY AND ALL TEMPORARY BRACING, SHORING AND CONNECTIONS THAT ARE NEEDED TO MAINTAIN STABILITY UNTIL SUCH TIME AS ALL THE WORK IS COMPLETED. IF SOME OF THE TEMPORARY MATERIALS OR FACILITIES ARE INTENDED TO REMAIN AFTER THEY ARE NO LONGER NEEDED, CONTRACTOR MUST CLEAR THIS WITH ENGINEER. IN SUCH AN EVENTUALITY, ALL SUCH APPURTENANT MATERIALS MUST BE TREATED AND FINISHED AS IF THEY HAD BEEN AN ORIGINAL COMPONENT IN THE PROJECT. THIS WILL ALL BE AT CONTRACTOR'S COST.

- THESE PLANS WERE PREPARED THE 1997 EDITION OF THE UNIFORM BUILDING CODE
- REFERENCE LOADS AND FACTORS USED IN DESIGN:
  - SEISMIC LOADS PER UBC 1997.
 

ZONE	1
SEISMIC ZONE FACTOR, Z	0.075
SITE COEFFICIENT, S	1.0
OCCUPANCY CATEGORY	IV
IMPORTANCE FACTOR, I	1.0
RW	6
  - WIND PRESSURE PER UBC 1997
 

REFERENCE WIND VELOCITY	80 MPH
EXPOSURE CLASSIFICATION	B
IMPORTANCE FACTOR, IW	1.0
  - SNOW /NO PARKING LOADS. . . . . 100 PSF (NOT REDUCED)
  - COMBINED WITH PARKING LOADS . . . . . 60 PSF (REDUCED)
  - PARKING . . . . . 40 PSF
- ALLOWABLE STRESS DESIGN METHOD OF DESIGN WAS USED.

**ALL REINFORCED CONCRETE - PHASE V**

**TECHNICAL SPECIFICATIONS:**

- CONCRETE:
  - ALL CONCRETE SHALL BE STONE AGGREGATE UNLESS NOTED. MINIMUM CONCRETE 14-DAY COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS:
 

1. SLAB ON GRADE	4,000 PSI
2. FOR 4" AND 6" STEEL DECK	4,000 PSI
3. TOPPING (LIGHT WEIGHT CONCRETE)	4,000 PSI
  - AIR ENTRAINMENT # 6%.
  - REINFORCING STEEL: MINIMUM YIELD STRENGTH 60,000 PSI
  - REINFORCEMENT PROTECTION
    - CONCRETE PLACED AGAINST EARTH . . . . . 3"
    - CONCRETE PLACED IN FORMS BUT EXPOSED TO WEATHER OR EARTH:
      - BAR #5 AND SMALLER . . . . . 1-1/2"
      - BAR #5 LARGER THAN #5 . . . . . 2"
    - SLABS OR WALLS NOT EXPOSED TO WEATHER OR EARTH:
      - BAR #11 AND SMALLER . . . . . 1"
      - SLABS - STEEL (MIN) . . . . . 1-1/2"

- REINFORCING STEEL PLACING TOLERANCES: PER UBC 1997
- NO SPLICES OF REINFORCEMENT PERMITTED EXCEPT AS DETAILED OR AUTHORIZED BY STRUCTURAL ENGINEER. MAKE REBARS CONTINUOUS AROUND CORNERS. WHERE PERMITTED, SPLICES MUST BE MADE BY MECHANICAL CONNECTORS OR CONTACT LAPS. REFER TO LAP SPLICE SCHEDULE FOR LAP LENGTHS. ALL TERMINATIONS OF REBARS AT END OF SLABS MUST BE IN "L" SHAPE AND BEHIND STUDS WHERE AVAILABLE.
- PLACE BARS IN ACCORDANCE WITH THE LATEST EDITIONS OF "ACI DETAILING MANUAL", PUBLICATION SP-66 AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318.
- PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING STEEL AT POSITIONS SHOWN ON PLANS. ALL DOWELS, BOLTS, AND EMBEDDED PLATES SHALL BE SET AND TIED IN PLACE BEFORE THE CONCRETE IS POURED. "STABBING" DOWELS, BOLTS AND PLATES INTO PREVIOUSLY POURED CONCRETE IS NOT PERMITTED.
- PLACE 2-#5 (1 EACH FACE) WITH 2'-0" PROJECTION AROUND OPENINGS IN CONCRETE DECKS AND SLABS-ON-GRADE. OPENINGS LARGER THAN 12" IN ANY DIRECTION SHALL BE REINFORCED WITH 2-#5 x 4'-0" PLACED DIAGONALLY TO EACH CORNER.
- CONSTRUCTION JOINTS:
  - THERE SHALL BE NO JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE WITHIN THE CENTER THIRD OF A SPAN. ALL CONSTRUCTION JOINTS SHALL BE AS OUTLINED OR AUTHORIZED BY STRUCTURAL ENGINEER.
  - SURFACE OF CONCRETE AT CONSTRUCTION JOINTS SHALL BE CLEANED AND LAITANCE REMOVED. IMMEDIATELY BEFORE NEW CONCRETE IS PLACED, THE CONSTRUCTION JOINT SHALL BE WETTED AND ALL STANDING WATER REMOVED.
- WIRE FABRIC REINFORCEMENT: LAP 12" AT SPLICES AND WIRE TOGETHER. PROVIDE ACCESSORIES TO PROPERLY SUPPORT MESH AT POSITION SPECIFIED.
- NO WELDING OF REINFORCEMENT SHALL BE PERMITTED UNLESS SPECIFICALLY CALLED FOR OR APPROVED BY THE STRUCTURAL ENGINEER. WHERE PERMITTED, WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1. LATEST EDITION.
- PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS BEFORE PLACING CONCRETE. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING OF CONCRETE IS NOT PERMITTED EXCEPT AS SHOWN OR AS APPROVED BY THE ENGINEER IN ADVANCE OF CONDITIONS NOT SHOWN ON THE DRAWINGS.
- ALL REINFORCING BAR BENDS SHALL BE MADE IN THE FABRICATOR'S SHOP UNLESS OTHERWISE NOTED ON THE DRAWINGS OR APPROVED BY THE STRUCTURAL ENGINEER.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING PROPOSED CONSTRUCTION JOINT LOCATION AND CASTING SEQUENCE TO THE ENGINEER FOR REVIEW AND APPROVAL.
- ALL REINFORCED BARS TERMINATING AT THE EDGE OF A DECK MUST BE BENT BEHIND THE STUDS USING STANDARD HOOKS OR BENDS.
- AGGREGATE TO BE USED FOR STEEL DECK CONCRETE MUST BE TESTED TO PROVE THAT IT IS RESISTANT TO ALKALI-SILICA REACTION (ASR). IT MUST ALSO BE NO LARGER THAN 3/4 INCH.
- CONCRETE SLUMP MAY NOT EXCEED 4" FOR SLABS ON GRADE AND 3" FOR DECKS.
- ALL CONCRETE USED SHALL MEET THE REQUIREMENTS FOR MIXING, PLACING, CURING AND FINISHING BLIND IN ACI'S PUBLICATIONS 304, 308, 309, 347.
- ALL NEW CONCRETE MUST BE PROTECTED FROM THE WEATHER AND MAINTAINED MOIST FOR 48 HOURS.
- CONTRACTOR MUST PROVIDE EVIDENCE OF THE CONCRETE MIXTURES TO BE USED AND THEIR 14-DAY STRENGTH.

**ESTIMATED QUANTITIES FOR CONCRETE DECKS, BARRIERS AND SLABS - PHASE V:**

DESCRIPTION	UNITS	ESTIMATED QUANTITY
4" REINFORCED CONCRETE DECK	SF	1,502
6" REINFORCED CONCRETE DECK	SF	47,322
6" REINFORCED CONCRETE SLAB	SF	6,395
12" REINFORCED CONCRETE MOMENT SLAB	SF	579
CONCRETE BARRIER WALL	LF	172
MOBILIZATION	EA	1

**MEASUREMENT OF PAY QUANTITIES:**

- CONCRETE WORK SHALL BE PAID FOR AS FOLLOWS WHEN THE VARIOUS ITEMS HAVE BEEN COMPLETED AND SUCCESSFULLY TESTED:
  - ON A PER SQUARE FOOT BASIS FOR REINFORCED CONCRETE DECKS AND SLABS OF EACH SIZE;
  - ON A PER LINEAL FOOT BASIS FOR CONCRETE WALL BARRIERS;
- MOBILIZATION SHALL INCLUDE ALL COSTS RELATED TO THE STARTUP OF THE PROJECT SUCH AS MOBILIZATION OF PERSONNEL, EQUIPMENT, SUPPLIES AND INITIAL PREPARATION OF THE WORK SITE. IT ALSO INCLUDES COSTS FOR ITEMS SUCH AS OFFICES AND OTHER FACILITIES AND THE FINAL CLEANOUT OF AND DE-MOBILIZATION FROM THE PROJECT SITE. IT WILL BE PAID 50% AFTER 25% OF THE WORK IS COMPLETED AND INVOICED. THE REMAINING 50% WILL BE PAID WITH THE FINAL PAY REQUEST AND AFTER DEMOBILIZATION AND CLEANOUT.

NOT FOR CONSTRUCTION









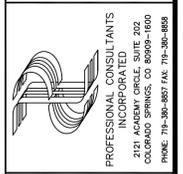


# STRUCTURAL AND FOUNDATION PLANS AND SPECIFICATIONS FOR GONDOLA TERMINAL PARKING STRUCTURE

## TOWN OF MOUNTAIN VILLAGE, COLORADO PHASE 6 - CONSTRUCTION YEAR 2007 / 2008

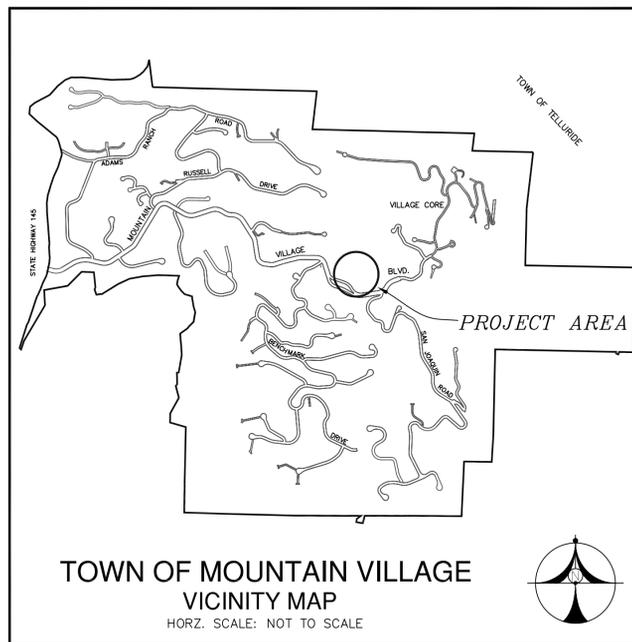
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**GONDOLA TERMINAL PARKING STRUCTURE**  
**COVER SHEET, LOCATION, CONTACTS AND GENERAL NOTES**  
**LOT 1003, TOWN OF MOUNTAIN VILLAGE, COLORADO**



PROFESSIONAL CONSULTANTS  
 INCORPORATED  
 2121 ACADEMY CIRCLE, SUITE 202  
 COLORADO SPRINGS, CO 80909-1600  
 PHONE: 719-380-8857 FAX: 719-380-8858

<u>Owner and Design Professionals</u>		<u>Construction and Utility Contact Agencies</u>	
Owner:	Mountain Village Metropolitan District Kathy Mahoney, Manager P.O. Box 11064 Telluride, CO 81435 970-728-8000	Utilities:	Mountain Village Metropolitan District Bill Mahoney, Operations Manager 411 Mountain Village Blvd. Mountain Village, CO 81435 970-728-8000
Structural Engineer:	Professional Consultants Incorporated Alvaro J. Testa, Ph.D., P.E. 2121 Academy Circle, Suite 202 Colorado Springs, CO 80909-1600 719-380-8857	Building Dept.:	Town of Mountain Village John Cheroske, Building Official 411 Mountain Village Blvd. Mountain Village, CO 81435 970-728-7460
Soils Engineer (1):	Lambert & Associates Norman W. Johnston P. O. Box 0045 Montrose, CO 81502 970-249-2154		
Soils Engineer (2):	Buckhorn Geotech William M. Ungerer 222 South Park Ave. Montrose, CO 81401 970-249-6828		
Surveyor:	Professional Consultants Incorporated Randall D. Hency 2121 Academy Circle, Suite 202 Colorado Springs, CO 80909-1600 719-380-8857		



SHEET INDEX

S1.	COVER SHEET, LOCATION, CONTACTS AND GENERAL NOTES
S2.	SPECIFICATIONS, STEEL MEMBERS AND CONNECTIONS
S3.	TIERS 1, 2 AND 3 PAVING AND DRAINAGE PLAN
S4-S5.	DETAILS
S6-S10	UPPER FLOORS STEEL DECK AND HORIZONTAL STEEL LAYOUT
S11	STEEL DECK REINFORCED CONCRETE SLAB
S12	DETAILS
S13-S14	LINES 1 THRU 4 BUILDING CROSS SECTIONS
S15-S20	LINES A THROUGH V BUILDING CROSS SECTIONS
S21	STAIR SECTIONS AND NOTES
<del>F1</del>	<del>GENERAL AND TECHNICAL FOUNDATION NOTES AND SPECIFICATIONS, PILE LOCATION TABLE</del>
<del>F2</del>	<del>PILE, PILE CAP AND TIE BEAM LAYOUT &amp; DETAILS</del>
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<del>F5</del>	<del>FOUNDATION DETAILS</del>

**GENERAL NOTES - ALL WORK:**

- THE PARKING STRUCTURE PROJECT IS BEING BUILT IN PHASES. THESE PLANS REFLECT THE OVERALL LAYOUT OF THE WORK PROPOSED TO BE COMPLETED DURING PHASE "V" OF CONSTRUCTION (HIGHLIGHTED IN THESE PLANS).
- THE OWNER WILL UNDERTAKE THE TASK OF MANAGING THIS PHASE OF CONSTRUCTION OF THE PROJECT. THEREFORE, THE WORK HAS BEEN SEPARATED INTO FOUR CATEGORIES, AS FOLLOWS:
  - STEEL PILE DRIVING
  - REINFORCED CONCRETE PILE CAPS, PEDESTALS, TIE BEAMS AND FOOTERS
  - STRUCTURAL STEEL
  - REINFORCED CONCRETE DECKS, BARRIERS AND FLATWORK
- OTHER WORK, SUCH AS ELECTRICAL, ELEVATOR EXPANSION, DRAINAGE AND FIRE PROTECTION, IS TO BE DONE BY OWNER.
- TIME IS OF THE ESSENCE IN THE COMPLETION OF ALL THE WORK CATEGORIES DESCRIBED HEREIN.
- THIS SET OF PLANS ARE AN INTEGRAL COMPONENT OF THE CONTRACT DOCUMENTS. ANY DISCREPANCIES IN THESE PLANS MUST BE BROUGHT TO THE ATTENTION OF ENGINEER FOR REVIEW. A CLARIFICATION OF THE INTENT WILL BE PRODUCED WITHIN 48 WORKING HOURS OF THE NOTICE.
- THE APPLICABLE CODES FOR THE WORK HEREIN ARE AS FOLLOWS:
  - LATEST UNIFORM BUILDING CODE
  - LATEST AMERICAN INSTITUTE OF STEEL CONSTRUCTION CODE.
  - LATEST STRUCTURAL WELDING CODE.
  - LATEST AMERICAN CONCRETE INSTITUTE No. 318.
- ALL DESIGN, FABRICATION AND CONSTRUCTION EFFORTS MUST MEET THE ABOVE-REFERENCED CODES AS A MINIMUM.
- CHANGES TO THE DESIGN MAY BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL.
- ALL CONTRACTORS MUST BE REGISTERED TO DO BUSINESS IN THE TOWN OF MOUNTAIN VILLAGE. ALL CONTRACTORS ARE RESPONSIBLE FOR ALL COSTS OF DOING BUSINESS IN THE TELLURIDE AREA. NO LIVING QUARTERS MAY BE ESTABLISHED AT THE JOB SITE. TEMPORARY STORAGE AND SANITARY FACILITIES ARE REQUIRED.
- OWNER WILL PROVIDE CONSTRUCTION STAKING AND AS-BUILT DATA FOR EXISTING STRUCTURAL COMPONENTS AT NO EXPENSE TO THE CONTRACTOR.
- OWNER WILL PROVIDE INSPECTORS AT THE SITE TO MONITOR THE PROGRESS OF THE WORK AND TO ASSIST IN THE COORDINATION OF VARIOUS CONTRACTORS AND OWNER WHOM MAY BE WORKING ON SITE SIMULTANEOUSLY.
- ENGINEER'S APPROVAL MUST BE OBTAINED BEFORE MAKING ANY SUBSTITUTIONS.
- DRAWINGS SHALL NOT BE SCALED.
- NOTES AND DETAILS IN THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES. WHERE NO DETAILS ARE SHOWN, REFER TO SIMILAR DETAILS ELSEWHERE ON THE PROJECT AND, ALSO, CALL ENGINEER.
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- THESE PLANS WERE PREPARED THE 1997 EDITION OF THE UNIFORM BUILDING CODE
- REFERENCE LOADS AND FACTORS USED IN DESIGN:
  - SEISMIC LOADS PER UBC 1997.
 

ZONE	1
SEISMIC ZONE FACTOR, Z	0.075
SITE COEFFICIENT, S	1.0
OCCUPANCY CATEGORY	IV
IMPORTANCE FACTOR, I	1.0
RW	6
  - WIND PRESSURE PER UBC 1997
 

REFERENCE WIND VELOCITY	80 MPH
EXPOSURE CLASSIFICATION	B
IMPORTANCE FACTOR, Iw	1.0
  - SNOW /NO PARKING LOADS. 100 PSF (NOT REDUCED)
  - COMBINED WITH PARKING LOADS. 60 PSF (REDUCED)
  - PARKING. 40 PSF
- ALLOWABLE STRESS DESIGN METHOD OF DESIGN WAS USED.

**ALL REINFORCED CONCRETE - PHASE V**

**TECHNICAL SPECIFICATIONS:**

- CONCRETE:
  - ALL CONCRETE SHALL BE STONE AGGREGATE UNLESS NOTED. MINIMUM CONCRETE 14-DAY COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS:
 

1. SLAB ON GRADE	4,000 PSI
2. FOR 4" AND 6" STEEL DECK	4,000 PSI
3. TOPPING (LIGHT WEIGHT CONCRETE)	4,000 PSI
  - AIR ENTRAINMENT ± 6%.
  - REINFORCING STEEL: MINIMUM YIELD STRENGTH 60,000 PSI
  - REINFORCEMENT PROTECTION
 

1. CONCRETE PLACED AGAINST EARTH	3"
2. CONCRETE PLACED IN FORMS BUT EXPOSED TO WEATHER OR EARTH: <ol style="list-style-type: none"> <li>BAR #5 AND SMALLER</li></ol>	1-1/2"
- SLABS OR WALLS NOT EXPOSED TO WEATHER OR EARTH:
  - BAR #11 AND SMALLER 1" |  - SLABS - STEEL (MIN) 1-1/2" |

- REINFORCING STEEL PLACING TOLERANCES: PER UBC 1997
- NO SPLICES OF REINFORCEMENT PERMITTED EXCEPT AS DETAILED OR AUTHORIZED BY STRUCTURAL ENGINEER. MAKE REBARS CONTINUOUS AROUND CORNERS. WHERE PERMITTED, SPLICES MUST BE MADE BY MECHANICAL CONNECTORS OR CONTACT LAPS. REFER TO LAP SPLICE SCHEDULE FOR LAP LENGTHS. ALL TERMINATIONS OF REBARS AT END OF SLABS MUST BE IN "L" SHAPE AND BEHIND STUDS WHERE AVAILABLE.
- PLACE BARS IN ACCORDANCE WITH THE LATEST EDITIONS OF "ACI DETAILING MANUAL", PUBLICATION SP-66 AND "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318.
- PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING STEEL AT POSITIONS SHOWN ON PLANS. ALL DOWELS, BOLTS, AND EMBEDDED PLATES SHALL BE SET AND TIED IN PLACE BEFORE THE CONCRETE IS POURED. "STABBING" DOWELS, BOLTS AND PLATES INTO PREVIOUSLY POURED CONCRETE IS NOT PERMITTED.
- PLACE 2-#5 (1 EACH FACE) WITH 2'-0" PROJECTION AROUND OPENINGS IN CONCRETE DECKS AND SLABS-ON-GRADE. OPENINGS LARGER THAN 12" IN ANY DIRECTION SHALL BE REINFORCED WITH 2-#5s x 4'-0" PLACED DIAGONALLY TO EACH CORNER.
- CONSTRUCTION JOINTS:
  - THERE SHALL BE NO JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE WITHIN THE CENTER THIRD OF A SPAN. ALL CONSTRUCTION JOINTS SHALL BE AS OUTLINED OR AUTHORIZED BY STRUCTURAL ENGINEER.
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- WIRE FABRIC REINFORCEMENT: LAP 12" AT SPLICES AND WIRE TOGETHER. PROVIDE ACCESSORIES TO PROPERLY SUPPORT MESH AT POSITION SPECIFIED.
- NO WELDING OF REINFORCEMENT SHALL BE PERMITTED UNLESS SPECIFICALLY CALLED FOR OR APPROVED BY THE STRUCTURAL ENGINEER. WHERE PERMITTED, WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1. LATEST EDITION.
- PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS BEFORE PLACING CONCRETE. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING OF CONCRETE IS NOT PERMITTED EXCEPT AS SHOWN OR AS APPROVED BY THE ENGINEER IN ADVANCE OF CONDITIONS NOT SHOWN ON THE DRAWINGS.
- ALL REINFORCING BAR BENDS SHALL BE MADE IN THE FABRICATOR'S SHOP UNLESS OTHERWISE NOTED ON THE DRAWINGS OR APPROVED BY THE STRUCTURAL ENGINEER.
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- ALL REINFORCED BARS TERMINATING AT THE EDGE OF A DECK MUST BE BENT BEHIND THE STUDS USING STANDARD HOOKS OR BENDS.
- AGGREGATE TO BE USED FOR STEEL DECK CONCRETE MUST BE TESTED TO PROVE THAT IT IS RESISTANT TO ALKALI-SILICA REACTION (ASR). IT MUST ALSO BE NO LARGER THAN 3/4 INCH.
- CONCRETE SLUMP MAY NOT EXCEED 4" FOR SLABS ON GRADE AND 3" FOR DECKS.
- ALL CONCRETE USED SHALL MEET THE REQUIREMENTS FOR MIXING, PLACING, CURING AND FINISHING PUBLISHED IN ACI PUBLICATIONS 304, 308, 309, 347.
- ALL NEW CONCRETE MUST BE PROTECTED FROM THE WEATHER AND MAINTAINED MOIST FOR 48 HOURS.
- CONTRACTOR MUST PROVIDE EVIDENCE OF THE CONCRETE MIXTURES TO BE USED AND THEIR 14-DAY STRENGTH.

**ESTIMATED QUANTITIES FOR CONCRETE DECKS, BARRIERS AND SLABS - PHASE V:**

DESCRIPTION	UNITS	ESTIMATED QUANTITY
4" REINFORCED CONCRETE DECK	SF	1,502
6" REINFORCED CONCRETE DECK	SF	47,322
6" REINFORCED CONCRETE SLAB	SF	6,395
12" REINFORCED CONCRETE MOMENT SLAB	SF	579
CONCRETE BARRIER WALL	LF	172
MOBILIZATION	EA	1

**MEASUREMENT OF PAY QUANTITIES:**

- CONCRETE WORK SHALL BE PAID FOR AS FOLLOWS WHEN THE VARIOUS ITEMS HAVE BEEN COMPLETED AND SUCCESSFULLY TESTED:
  - ON A PER SQUARE FOOT BASIS FOR REINFORCED CONCRETE DECKS AND SLABS OF EACH SIZE;
  - ON A PER LINEAL FOOT BASIS FOR CONCRETE WALL BARRIERS;
- MOBILIZATION SHALL INCLUDE ALL COSTS RELATED TO THE STARTUP OF THE PROJECT SUCH AS MOBILIZATION OF PERSONNEL, EQUIPMENT, SUPPLIES AND INITIAL PREPARATION OF THE WORK SITE. IT ALSO INCLUDES COSTS FOR ITEMS SUCH AS OFFICES AND OTHER FACILITIES AND THE FINAL CLEANOUT OF AND DE-MOBILIZATION FROM THE PROJECT SITE. IT WILL BE PAID 50% AFTER 25% OF THE WORK IS COMPLETED AND INVOICED. THE REMAINING 50% WILL BE PAID WITH THE FINAL PAY REQUEST AND AFTER DEMOBILIZATION AND CLEANOUT.

NOT FOR CONSTRUCTION

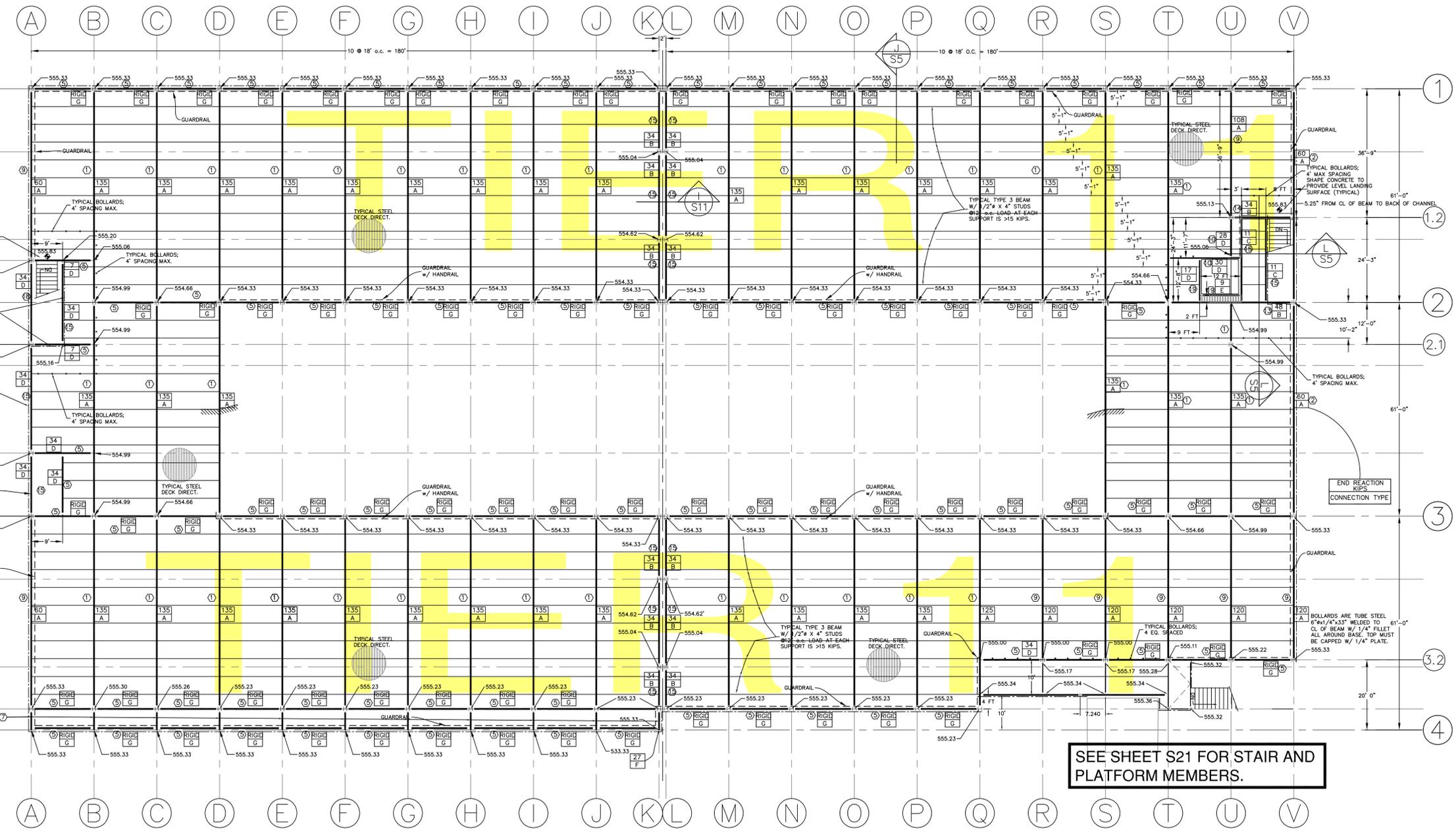
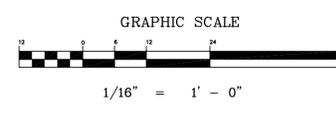
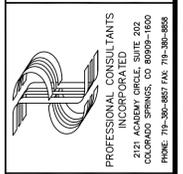






DESIGNED BY:	AJT
DRAWN BY:	AJT, TUV
CHECKED BY:	AJT
APPROVED BY:	AJT
DATE:	05/07/07
REVISION:	
FILENAME:	\\20020401.0\DWG\PHASE-6.DWG

**GONDOLA PARKING STRUCTURE**  
**TIER 11 - CONCRETE PANELS & STRUCTURAL STEEL LAYOUTS**  
**LOT 1003, TOWN OF MOUNTAIN VILLAGE, COLORADO**



SEE SHEET S21 FOR STAIR AND PLATFORM MEMBERS.

**NOT FOR CONSTRUCTION**



**TOWN PLAT NOTES:**

Lots 1007 & 1008 are platted by the subdivision plat recorded at Reception Number 271932, Plat Book #1 at Page 1147 (the "Lots 1007 & 1008 Plat"). Plat Note No.5 of the Lots 1007 & 1008 Plat establishes the use or density, or both, for Lots 1007 & 1008 with both lots having a designated use of commercial & parking (the "Lots 1007 & 1008 Designated Uses"). The Lots 1007 & 1008 Designated Uses were amended by the Town's approval of Ordinance Number 2014-\_\_\_\_ (the "Ordinance"); therefore Plat Note No. 5 of the Lots 1007 & 1008 Plat is amended to remove the Designated Uses for Lots 1007 & 1008, with the Ordinance and any future rezoning ordinance controlling zoning and land uses permitted on Lots 1007 & 1008.

Lot 1001 is platted by the subdivision plat recorded at Reception Number 274123, Plat Book #1 at Page 1216 (the "Lot 1001 Plat"). Plat Note No. 5 of the Lot 1001 Plat establishes the use or density, or both, for Lot 1001 with a designation of 24 two-bedroom employee apartments with a person equivalent population of 72 persons, and 78 employee efficiency apartments with a person equivalent population of 156 persons (the "Lot 1001 Designated Uses"). The Lot 1001 Designated Uses are amended by the Ordinance; therefore Plat Note No. 5 of the Lot 1001 Plat is amended to remove the Lot 1001 Designated Uses, with the Ordinance and any future rezoning ordinance controlling zoning and land uses permitted on Lot 1001.

Lot OS-1R1 is platted by the subdivision plat recorded at Reception Number 274123, Plat Book #1 at Pages 3869-3872 (the "OS-1R1 Plat"). The OS-1R1 Plat establishes the Land Use Chart that sets forth the units, density per unit, proposed density and zoning designations for Lot OS-1R1 with a designation of Active Open Space (the "OS-1R1 Designated Uses"). The Land Use Chart for OS-1R1 is amended by the Ordinance; therefore the Land Use Chart is amended to remove the OS-1R1 Designated Use, with the Ordinance and any future rezoning ordinance controlling zoning and land uses permitted on Lot OS-1R1.

**NOTES OF CLARIFICATION:**

- The configuration of the following Lots, Tracts and Rights of Way have been modified by this Amendment to the Final Plat.  
none
- The following Lots, Tracts and Rights of Way have been deleted by this Amendment to the Final Plat.  
none
- The following Lots, Tracts and Rights of Way have been created by this Amendment to the Final Plat.  
none

**CERTIFICATE OF OWNERSHIP:**

KNOW ALL MEN BY THESE PRESENTS that TOWN OF MOUNTAIN VILLAGE HOUSING AUTHORITY, A BODY CORPORATE AND POLITIC OF THE STATE OF COLORADO, being the owners in fee simple of all real property described as follows,

LOT 1001, REPLAT AND RE-ZONING OF LOT 1001 TELLURIDE MOUNTAIN VILLAGE, FILING 1, ACCORDING TO THE PLAT RECORDED DECEMBER 2, 1991 IN PLAT BOOK 1 AT PAGE 1216, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

AND THAT

TELLURIDE MOUNTAIN VILLAGE RESORT COMPANY, A COLORADO NON-PROFIT CORPORATION, being the owner in fee simple of all real property described as follows,

LOTS 1007 AND 1008, FINAL PLAT OF REPLAT OF PORTIONS OF FILING 1, REPLAT 5 OF FILING 1, AND REPLAT 7 OF FILING 1, ALL OF FILING 1, PHASE 1, TELLURIDE MOUNTAIN VILLAGE, RECORDED AUGUST 1, 1991 IN PLAT BOOK 1 AT PAGE 1147, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

AND THAT

TSG SKI & GOLF, LLC, A DELAWARE LIMITED LIABILITY COMPANY, being the owner in fee simple of all real property described as follows,

LOT OS-1R-1, A REPLAT OF LOTS 118, 126, 130, 152A, 152B AND TRACT OS-1, TELLURIDE MOUNTAIN VILLAGE, FILING 1, ACCORDING TO THE PLAT RECORDED OCTOBER 22, 2007 IN PLAT BOOK 1 AT PAGE 3869, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

does hereby make an Amendment to the Final Plat of said real property in accordance with the Amendment to the Final Plat shown hereon:

IN WITNESS WHEREOF, TOWN OF MOUNTAIN VILLAGE HOUSING AUTHORITY, A BODY CORPORATE AND POLITIC OF THE STATE OF COLORADO (with respect to Lot 1001) and TELLURIDE MOUNTAIN VILLAGE RESORT COMPANY, A COLORADO NON-PROFIT CORPORATION (with respect to Lot 1007 and Lot 1008) and TSG SKI & GOLF, LLC, A DELAWARE LIMITED LIABILITY COMPANY (with respect to OS-1R-1) do each execute this Replat as of \_\_\_\_\_, 2014 ("Effective Date") for the purposes stated herein.

TOWN OF MOUNTAIN VILLAGE HOUSING AUTHORITY, A BODY CORPORATE AND POLITIC OF THE STATE OF COLORADO

By: \_\_\_\_\_

Printed name: \_\_\_\_\_

Title: \_\_\_\_\_

TELLURIDE MOUNTAIN VILLAGE RESORT COMPANY, A COLORADO NON-PROFIT CORPORATION

By: \_\_\_\_\_

Printed name: \_\_\_\_\_

Title: \_\_\_\_\_

TSG SKI & GOLF, LLC, A DELAWARE LIMITED LIABILITY COMPANY

By: \_\_\_\_\_

Printed name: \_\_\_\_\_

Title: \_\_\_\_\_

**ACKNOWLEDGMENT**

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ ) ss

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2014 A.D. by \_\_\_\_\_ as the \_\_\_\_\_ of the TOWN OF MOUNTAIN VILLAGE HOUSING AUTHORITY, A BODY CORPORATE AND POLITIC OF THE STATE OF COLORADO  
Witness my hand and seal.  
My commission expires \_\_\_\_\_.

Notary Public

**ACKNOWLEDGMENT**

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ ) ss

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2014 A.D. by \_\_\_\_\_ as the \_\_\_\_\_ of the TELLURIDE MOUNTAIN VILLAGE RESORT COMPANY, A COLORADO NON-PROFIT CORPORATION  
Witness my hand and seal.  
My commission expires \_\_\_\_\_.

Notary Public

**ACKNOWLEDGMENT**

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ ) ss

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2014 A.D. by \_\_\_\_\_ as the \_\_\_\_\_ of TSG SKI & GOLF, LLC, A DELAWARE LIMITED LIABILITY COMPANY  
Witness my hand and seal.  
My commission expires \_\_\_\_\_.

Notary Public

**TITLE INSURANCE COMPANY CERTIFICATE**

Land Title Guarantee Company does hereby certify that we have examined the title to the lands herein shown on this Plat Amendment to the Final Plat of Lots 1001R, 1007R, 1008R and Tract OS-1R-1R and that title to this land is in the name of the TOWN OF MOUNTAIN VILLAGE HOUSING AUTHORITY, A BODY CORPORATE AND POLITIC OF THE STATE OF COLORADO (with respect to Lot 1001) and TELLURIDE MOUNTAIN VILLAGE RESORT COMPANY, A COLORADO NON-PROFIT CORPORATION (with respect to Lot 1007 and Lot 1008) and TSG SKI & GOLF, LLC, A DELAWARE LIMITED LIABILITY COMPANY (with respect to OS-1R-1) and is free and clear of all encumbrances, liens, taxes, and special assessments except as follows:

Title Insurance Company Representative

**TOWN OF MOUNTAIN VILLAGE APPROVAL**

I, \_\_\_\_\_, as Mayor of the Town of Mountain Village, Colorado, do hereby certify that this Replat has been approved by the Town Council in the same resolution that has authorized and directed me to execute this document.

\_\_\_\_\_, as Mayor Date

**ACKNOWLEDGMENT**

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ ) ss

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2014 A.D. by \_\_\_\_\_ as Mayor of the Town of Mountain Village.

Witness my hand and seal.  
My commission expires \_\_\_\_\_.

Notary Public

**SURVEYOR'S CERTIFICATE:**

I, David R. Bulson, of Foley Associates, Inc., a Professional Land Surveyor licensed under the laws of the State of Colorado, do hereby certify that this Plat Amendment to the Final Plat of Lots 1001R, 1007R, 1008R and Tract OS-1R-1R shown hereon has been prepared under my direct supervision and accurately represents a survey conducted under my direct supervision. This survey complies with applicable provisions of Title 38, Article 51, C.R.S. to the best of my knowledge and belief.

IN WITNESS HEREOF, I here unto affix my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 2014.

P.L.S. No. 37662 Date

**TREASURER'S CERTIFICATE:**

I, the undersigned, Treasurer of the County of San Miguel, do hereby certify that according to the records of the San Miguel County Treasurer there are no liens against the subdivision or any part thereof for unpaid state, county, municipal or local taxes or special assessments due and payable, in accordance with Land Use Code Section 3-101.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

San Miguel County Treasurer

**RECORDER'S CERTIFICATE:**

This Replat was filed for record in the office of the San Miguel County Clerk and Recorder on this \_\_\_\_\_ day of \_\_\_\_\_, 2014 A.D., at Plat Book \_\_\_\_\_, Page \_\_\_\_\_, Reception No. \_\_\_\_\_, Time \_\_\_\_\_.

San Miguel County Clerk

**PLAT KEY:**

Sheet 1: Notes and Line and Curve Tables

Sheet 2: Property Boundary and Easements

CURVE TABLE - AS MEASURED					
CURVE	ARC LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	18.88'	50.00	21'35"00"	18.72'	S19°07'30"W
C2	50.21'	50.04	57'29"14"	48.13'	S84°20'52"E
C3	178.77'	230.00	44'48"58"	175.23'	N44°19'37"W
C4	103.25'	119.12	49'39'57"	103.25'	N81°50'20"E
C5	66.85'	230.03	16'40'37"	66.71'	N81°39'57"E
C6	226.08'	140.00	92'28"54"	202.23'	S13°28'27"W
C7	451.37'	600.00	43'06"11"	440.80'	N11°17'36"W
C8	194.56'	359.10	31'02'35"	192.19'	S43°25'28"W
C9	203.64'	218.84	53'18"58"	196.37'	N54°33'37"E
C10	95.40'	225.59	24'13'51"	94.89'	S30°23'32"E
C11	85.94'	313.59	15'33'07"	85.65'	N43°10'28"W
C12	38.63'	50.00	44'16'12"	37.68'	N80°04'24"E
C13	71.31'	4957.58	0°49'27"	71.31'	S87°34'24"E
C14	125.45'	117.52	61'09'38"	119.57'	S49°46'15"E
C15	105.90'	224.89	28'58'33"	104.93'	N22°52'06"W
C16	67.20'	184.95	23'20'36"	66.74'	N02°15'16"E
C17	59.18'	117.59	28'50'17"	59.18'	N85°11'37"E
C18	107.28'	117.59	52°18'14"	107.21'	S21°15'41"E
C19	63.58'	117.50	31'00'08"	63.58'	N02°55'50"E
C20	182.00'	107.51	86°20'18"	147.11'	S30°39'50"W
C21	122.11'	82.91	84°22'58"	111.37'	N63°58'48"W

CURVE TABLE - RECORD					
CURVE	ARC LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	18.83	50.00	21'35"00"	18.72	S19°07'30"W
C2	48.08	50.04	57'29"14"	48.08	S84°20'52"E
C3	178.77	230.00	44'48"58"	175.23	N44°19'37"W
C4	200.03	119.10	16°07'33"	140.89	N72°38'46"W
C5	98.74	170.00	33'16'45"	97.36	N38°38'25"W
C6	75.89	241.57	17'59'58"	75.58	S31°00'01"E
C7	272.34	330.00	47'17'06"	264.68	S21°08'33"W
C8	123.29	118.72	59'30'05"	117.82	N27°15'02"E
C9	103.25	119.10	49'39'57"	103.04	N81°49'59"E
C10	66.85	230.00	16'40'37"	66.71	N81°40'19"W
C11	226.08	140.00	92'31'27"	202.30	S13°28'44"W
C12	451.36	600.00	43'06'05"	440.79	N11°15'57"W
C13	194.62	359.20	31'02'35"	192.24	S43°30'07"W
C14	203.70	218.90	53'18'58"	196.43	N54°38'16"E
C15	95.43	225.58	24'14'17"	94.72	S30°24'43"E
C16	85.93	313.58	15'33'07"	85.66	N43°10'24"W
C17	39.04	50.00	44'43'53"	38.05	N87°41'29"E
C18	71.37	4961.46	0°49'27"	71.37	S87°28'16"E
C19	125.43	117.50	61'09'38"	119.56	S49°46'47"E
C20	105.96	225.00	28'58'53"	104.98	N22°52'20"W
C21	67.22	185.00	23'20'36"	66.76	N02°17'30"E
C22	59.14'	117.50	28'50'17"	59.14'	N85°13'11"E
C23	107.28'	117.50	52°18'14"	107.21'	N44°39'41"E
C24	63.63'	117.50	31'01'40"	63.63'	N03°07'31"E
C25	181.99'	107.50	86°20'18"	161.99'	S30°39'50"W
C26	122.08'	82.91	84°21'56"	122.08'	N63°59'03"W
C27	136.67'	313.58'	24'47'33"	134.63'	N55°34'24"W
C28	153.76'	182.18'	45'00"08"	153.71'	N70°23'15"W
C29	78.62'	133.50'	33'44'48"	77.50'	S55°58'58"E
C30	131.16'	5.00'	152°48'47"	9.88'	S25°24'12"E
C31	84.36'	187.50'	25'46'48"	83.65'	S59°54'52"E
C32	149.20'	1767.80'	45°00'08"	149.15'	N70°23'15"W
C33	184.28'	259.58'	40°40'36"	180.44'	N47°37'53"W
C34	122.91'	279.58'	25°11'19"	121.92'	S39°53'14"E
C35	22.75'	7.50'	173°48'48"	14.98'	N34°18'18"E
C36	182.93'	890.31'	107°28'08"	162.71'	N63°58'37"W
C37	105.38'	1688.80'	3°37'04"	105.38'	N70°59'43"W
C38	181.91'	194.00'	53°43'30"	178.32'	S48°18'58"E

CURVE NUMBERS C3 THRU C7 AND C24 WERE NOT USED.

LINE TABLE - RECORD			LINE TABLE - AS MEASURED			LINE TABLE - RECORD			LINE TABLE - AS MEASURED		
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	334.85'	S19°10'03"W	L1	334.85'	N19°09'48"E	L84	147.41'	S65°39'37"E	L84	147.32'	S65°37'49"E
L2	524.28'	S22°28'25"W	L2	524.33'	N22°28'07"E	L85	54.23'	S89°54'29"E	L85	54.23'	S89°54'29"E
L3	22.28'	N84°00'00"W	L3	21.77'	S85°40'13"E	L86	259.75'	N07°06'25"W	L86	260.00'	N07°06'38"W
L4	6.04'	S10°58'28"E	L4	5.99'	S10°43'57"W	L87	189.86'	N75°37'50"W	L87	189.85'	N75°38'03"W
L5	93.33'	N69°37'56"W	L5	93.34'	S69°32'54"E	L88	200.43'	S62°20'16"W	L88	200.42'	S62°20'03"W
L6	138.92'	S83°52'30"W	L6	138.95'	N83°53'09"E	L89	99.90'	N62°50'11"W	L89	99.89'	N62°50'24"W
L7	91.84'	S28°55'00"W	L7	91.96'	N28°55'39"E	L90	113.79'	N24°20'23"E	L90	113.79'	N24°20'10"E
L8	59.50'	S80°04'58"E	L8	59.58'	N80°01'44"W	L91	490.29'	N50°52'36"W	L91	490.27'	N50°52'59"W
L9	52.60'	N81°40'00"W	L9	52.57'	S81°36'12"E	L92	65.01'	S84°28'39"E	L92	65.01'	S84°16'12"E
L10	87.05'	S10°41'02"E	L10	87.16'	N10°38'28"W	L93	216.67'	N38°30'00"W	L93	215.91'	N37°56'12"W
L11	57.00'	S69°32'48"E	L11	57.07'	N69°31'10"W	L94	264.28'	S88°35'31"E	L94	262.35'	S88°33'30"E
L12	48.88'	S05°28'51"E	L12	48.92'	S05°28'36"W	L95	110.48'	S73°10'15"E	L95	111.59'	S72°55'51"E
L13	68.25'	S04°14'47"W	L13	68.30'	N04°27'26"E	L96	100.00'	S01°23'50"W	L96	99.76'	S01°28'46"W
L14	141.97'	S79°03'28"E	L14	142.23'	N79°07'37"W	L97	277.57'	S64°35'51"E	L97	275.77'	S64°33'05"E
L15	59.17'	S30°32'00"E	L15	59.23'	S30°06'25"E	L98	173.50'	S50°35'50"E	L98	174.29'	S50°34'12"E
L16	NA	N59°20'00"E	L16	77.13'	N59°31'54"E	L99	155.46'	N02°09'28"E	L99	154.43'	N02°09'41"E
L17	NA	N21°39'12"E	L17	162.17'	N21°39'12"E	L100	128.28'	S24°34'16"E	L100	125.45'	S24°56'20"E
L18	32.52'	S01°40'51"W	L18	32.52'	S01°40'51"W	L101	172.36'	S73°58'35"E	L101	172.36'	S73°58'35"E
L19	6.40'	S26°33'54"E	L19	6.40'	S26°33'54"E	L102	39.25'	S16°49'45"W	L102	39.02'	S16°39'31"W
L20	19.14'	S87°08'35"E	L20	19.14'	S87°08'35"E	L103	85.50'	S41°11'11"E	L103	85.22'	S41°11'48"E
L21	32.48'	S01°40'58"W	L21	32.48'	S01°40'58"W	L104	259.21'	N84°20'00"E	L104	259.41'	N84°21'43"E
L22	9.82'	S20°03'17"E	L22	9.82'	S20°03'17"E	L105	160.04'	N42°45'00"E	L105		



**From:** [Anton Benitez](#)  
**To:** [Pepple, Nathan](#)  
**Cc:** [Glen Van Nimwegen](#)  
**Subject:** FW: See the Town Hall Subarea Plan - Today from 1-7 pm  
**Date:** Monday, March 20, 2017 7:18:01 PM  
**Attachments:** [image001.png](#)

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FYI

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**From:** steve evans [mailto:s.o.evans@outlook.com]  
**Sent:** Monday, March 20, 2017 3:15 PM  
**To:** Anton Benitez <anton@tmvoa.org>  
**Cc:** Glen VanNimwegen <gvannimwegen@mtnvillage.org>  
**Subject:** RE: See the Town Hall Subarea Plan - Today from 1-7 pm

Yes, that is the location. The current maintenance/storage structure is small, low profile, generally only during business hours, accessed only from the east and not obtrusive. Two story occupied apartments will be very different.

I look forward to talking with Mr. Van Nimwegen.

Regards,

Steve Evans  
480-429-8292

Please note new email address: [s.o.evans@outlook.com](mailto:s.o.evans@outlook.com)

---

**From:** Anton Benitez [mailto:anton@tmvoa.org]  
**Sent:** Monday, March 20, 2017 1:37 PM  
**To:** steve evans <[s.o.evans@outlook.com](mailto:s.o.evans@outlook.com)>  
**Cc:** Glen VanNimwegen <[gvannimwegen@mtnvillage.org](mailto:gvannimwegen@mtnvillage.org)>; Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)>  
**Subject:** RE: See the Town Hall Subarea Plan - Today from 1-7 pm

Dear Mr. Evans,

Thank you for your email and feedback regarding the planning for the Town Hall Subarea. I've pulled a satellite picture to view your properties in comparison to the proposed VCA expansion sites (see attached). I've circled in red the VCA site I believe you're referencing. Currently there is a building on this site which serves as a maintenance facility for VCA. What is being proposed is having that site be used for apartments instead of a maintenance facility.

As the Town of Mountain Village owns this site, I'm including Glen Van Nimwegen (Town Planner) on this email as he would be better able to provide information with respect to the proposed size of this building.

**Glen** - could you please reach out to Mr. Evans regarding his concern and let me know if I can further

assist in any way.

Thank you and appreciate your engagement and feedback.

Anton

---

**From:** steve evans [<mailto:s.o.evans@outlook.com>]  
**Sent:** Saturday, March 18, 2017 12:34 PM  
**To:** Anton Benitez <[anton@tmvoa.org](mailto:anton@tmvoa.org)>  
**Subject:** RE: See the Town Hall Subarea Plan - Today from 1-7 pm  
**Importance:** High

Mr. Benitez:

I was unable to attend the subarea planning event. However, I have reviewed the exhibits included in your notice. I reside at 301 Larkspur Lane in a single family home and I own Lots 1002A and 1002B.

As the closest single family resident to the west of the study area, I have one major problem with the plan. This is item N which is the expansion of the employee housing showing a new multi-story building immediately behind my home. This is unacceptable to my single family neighbors and to me. I am not opposed employee housing in general, but this one building in particular. The housing expansion east of the parking/drive area is OK and was expected. However, this building jammed in west of the parking/drive area is unacceptable.

The Town must be responsive to the single family neighborhood to the west which consists of low density one and two acre lots. Expansion of high density uses next to single family homes is not good planning.

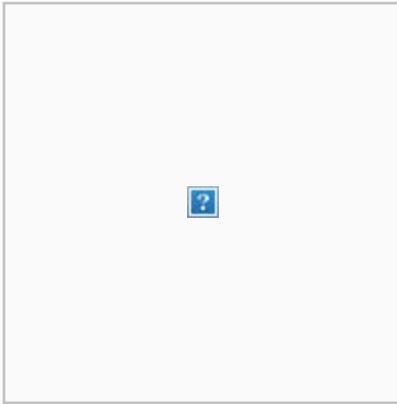
Thank you for your consideration. If you have any questions regarding our concern, please call me.

Steve Evans  
480-429-8292

---

**From:** Anton Benitez, TMVOA Executive Director [<mailto:anton@tmvoa.org>]  
**Sent:** Monday, March 13, 2017 9:21 AM  
**To:** Evans Personal Residence Trust <[s.o.evans@cox.net](mailto:s.o.evans@cox.net)>  
**Subject:** See the Town Hall Subarea Plan - Today from 1-7 pm

No Images? [Click here](#)



**Open House for Town Hall Subarea Plan – Today from 1-7pm**

Come see the proposed concepts for the Mountain Village Town Hall Subarea today - Monday, March 13 from 1-7pm at Town Hall. Consultants from AECOM will be available to review the public process and answer questions.

View [some of the exhibits](#) that will be available at the Open House.

For more information about this project, please visit [www.townhallplan.com/](http://www.townhallplan.com/).

---

Anton Benitez, Executive Director  
Telluride Mountain Village Owners Association  
[anton@tmvoa.org](mailto:anton@tmvoa.org)

Share

TMVOA  
113 Lost Creek Lane, Suite A,  
Mountain Village, CO 81435  
970.728.1904 | [www.tmvoa.org](http://www.tmvoa.org)

[Unsubscribe](#)

**From:** Glen Van Nimwegen  
**To:** [anton@tmvoa.org](mailto:anton@tmvoa.org); [bill@telski.com](mailto:bill@telski.com); [Cath Jett](#); [Bruce MacIntire](#); [Bruce MacIntire](#); [Pete Mitchell](#); ["Jim Royer"](#)  
**Subject:** FW: Town Hall Subarea Plan Lot 1001R and Lot 1005SR  
**Date:** Tuesday, April 11, 2017 12:34:00 PM  
**Importance:** High

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[Steve is the neighbor to Village Court Apartments.](#)

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**From:** steve evans [<mailto:s.o.evans@outlook.com>]  
**Sent:** Monday, April 10, 2017 1:09 PM  
**To:** Glen Van Nimwegen  
**Subject:** Town Hall Subarea Plan Lot 1001R and Lot 1005SR  
**Importance:** High

Mr. Van Nimwegen:

Thank you for speaking with me again today. As you requested, I am sending this message because I will be in Japan until April 29<sup>th</sup>. I am pleased to learn that an alternative site plan is being considered which eliminates the apartment building that previously was shown on the west property line where the existing single story maintenance facility is located. I also understand that this new plan relocates the townhouse units which were shown near the west property line where the existing storage units are located. Moving these buildings elsewhere on the site away from the west property line and the nearby single family homes improves the plan.

As I said in my earlier message to Mr. Benitez, "the Town must be responsive to the single family neighborhood to the west which consists of low density one and two acre lots. Expansion of high density uses next to single family homes is not good planning". The two changes that you described today address these concerns. Subject to seeing an actual revised plan with these two changes, we would support this project. Our home is 301 Larkspur Lane and we own Lots 1002A and 1002B.

Thank you,

Steve Evans  
480-429-8292

**ORDINANCE NO. 2017-\_\_**

**AN ORDINANCE AMENDING THE COMMUNITY DEVELOPMENT CODE (CDC) AT SECTION 17.7.15 ADOPTING THE 2017 NATIONAL ELECTRICT CODE, LOCAL AMENDMENTS THERETO AND MISCELLANEOUS AMENDMENTS TO THE CDC TO ACCOMPLISH THE FOREGOING**

**RECITALS**

- A. The Town of Mountain Village (the “Town”) is a legally created, established, organized and existing Colorado municipal corporation under the provisions of Article XX of the Constitution of the State of Colorado (the “Constitution”) and the Home Rule Charter of the Town (the “Charter”).
- B. Pursuant to the Constitution, the Charter, the Colorado Revised Statutes and the common law, the Town has the authority to regulate the use and development of land and to adopt ordinances and regulations in furtherance thereof.
- C. The Town Council may amend the CDC, including the Building Codes from time-to-time to address new versions of the Building Codes including local amendments thereto.

**NOW THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF MOUNTAIN VILLAGE, COLORADO AS FOLLOWS:**

**Section 1. Amendment of Community Development Code**

- A. The Town of Mountain Village Community Development Code, section 17.7.15 is hereby amended and replaced as set forth in Exhibit A which is attached hereto and incorporated herein.
- B. The Planning Division is directed to codify the amendments in Exhibit A into the CDC.
- C. The Planning Division may correct typographical and formatting errors in the amendments or the adopted CDC.

**Section 2. Ordinance Effect**

- D. This Ordinance shall have no effect on pending litigation, if any, and shall not operate as an abatement of any action or proceeding now pending under or by virtue of the ordinances repealed or amended as herein provided and the same shall be construed and concluded under such prior ordinances.
- E. All ordinances, of the Town, or parts thereof, inconsistent or in conflict with this Ordinance, are hereby repealed, replaced and superseded to the extent only of such inconsistency or conflict.

**Section3. Severability**

The provisions of this Ordinance are severable and the invalidity of any section, phrase, clause or portion of this Ordinance as determined by a court of competent jurisdiction shall not affect the validity or effectiveness of the remainder of this Ordinance.

**Section 4. Effective Date**

This Ordinance shall become effective on \_\_\_\_\_, 2017.

**Section 5. Public Hearing**

A public hearing on this Ordinance was held on the \_\_\_\_\_ day of June, 2017 in the Town Council

Chambers, Town Hall, 455 Mountain Village Blvd, Mountain Village, Colorado 81435.

**INTRODUCED, READ AND REFERRED to public hearing before the Town Council of the Town of Mountain Village, Colorado on the \_\_\_\_ day of May, 2017.**

**TOWN OF MOUNTAIN VILLAGE:**

**TOWN OF MOUNTAIN VILLAGE,  
COLORADO, A HOME-RULE  
MUNICIPALITY**

By: \_\_\_\_\_  
Dan Jansen, Mayor

ATTEST:

\_\_\_\_\_  
Jackie Kennefick, Town Clerk

**HEARD AND FINALLY ADOPTED by the Town Council of the Town of Mountain Village, Colorado this \_\_\_\_\_ day of June, 2017.**

**TOWN OF MOUNTAIN VILLAGE:**

**TOWN OF MOUNTAIN VILLAGE,  
COLORADO, A HOME-RULE  
MUNICIPALITY**

By: \_\_\_\_\_  
Dan Jansen, Mayor

ATTEST:

\_\_\_\_\_  
Jackie Kennefick, Town Clerk

Approved As To Form:

\_\_\_\_\_  
Jim Mahoney, Assistant Town Attorney

I, Jackie Kennefick, the duly qualified and acting Town Clerk of the Town of Mountain Village, Colorado ("Town") do hereby certify that:

1. The attached copy of Ordinance No. \_\_\_\_\_ ("Ordinance") is a true, correct and complete copy thereof.

2. The Ordinance was introduced, read by title, approved on first reading with minor amendments and referred to public hearing by the Town Council the Town ("Council") at a regular meeting held at Town Hall, 455 Mountain Village Blvd., Mountain Village, Colorado, on \_\_\_\_\_, 2017, by the affirmative vote of a quorum of the Town Council as follows:

Council Member Name	"Yes"	"No"	Absent	Abstain
Dan Jansen, Mayor				
Cath Jett				
Laila Benitez				
Dan Caton				
Michelle Sherry				
Martin McKinley, Mayor Pro-Temp				
Bruce MacIntire				

3. After the Council's approval of the first reading of the Ordinance, notice of the public hearing, containing the date, time and location of the public hearing and a description of the subject matter of the proposed Ordinance was posted and published in the Telluride Daily Planet, a newspaper of general circulation in the Town, on \_\_\_\_\_, 2017 in accordance with Section 5.2b of the Town of Mountain Village Home Rule.

4. A public hearing on the Ordinance was held by the Town Council at a regular meeting of the Town Council held at Town Hall, 455 Mountain Village Blvd., Mountain Village, Colorado, on \_\_\_\_\_, 2017. At the public hearing, the Ordinance was considered, read by title, and approved without amendment by the Town Council, by the affirmative vote of a quorum of the Town Council as follows:

Council Member Name	"Yes"	"No"	Absent	Abstain
Dan Jansen, Mayor				
Cath Jett				
Laila Benitez				
Dan Caton				
Michelle Sherry				
Martin McKinley, Mayor Pro-Temp				
Bruce MacIntire				

5. The Ordinance has been signed by the Mayor, sealed with the Town seal, attested by me as Town Clerk, and duly numbered and recorded in the official records of the Town.

**IN WITNESS WHEREOF**, I have hereunto set my hand and affixed the seal of the Town this \_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
Jackie Kennefick, Town Clerk

(SEAL)

**Exhibit A: CDC Amendments**

**17.7.15 NATIONAL ELECTRIC CODE**

- A.** The Town of Mountain Village hereby adopts and incorporates herein by reference as the Electrical Code of the Town, the National Electrical Code (“NEC”) “also known as NFPA 70 “as published by the National Fire Protection Association Inc, and adopted as the electrical code of the State of Colorado.
- B.** The NEC shall be reviewed to be re-adopted as the electrical code for the Town of Mountain Village when the State of Colorado adopts such updated versions as the electrical code for the State of Colorado.
- C.** Amendments, Additions and Modifications. “Previous editions and amendments of the National Electrical Code are replaced with the 2017 National Electrical Code which includes” amendments as follows:

- 1.** The Building Division is charged with administering and enforcing the provisions of the NEC.

- 2. 200.6 Means of Identifying Grounded Conductors**

- Amend by inserting:

- (A)** Sizes 6 AWG or Smaller. An insulated grounded conductor of 6 AWG or smaller shall be identified by one of the following means:

- Amend by deleting items 1-3 and replacing with:

- (1)** A continuous white outer finish “for 120 volt ground to ungrounded single phase and three phase systems.”
      - (2)** A continuous gray outer finish “for 277 volt ground to ungrounded 3 phase systems.”
      - (3)** Three continuous white “for 120 volt” or gray stripes “for 277 volt” along the conductor’s entire length on other than green insulation or 3 wraps of corresponding phase tape at each termination point.

- (B)** Sizes 4 AWG or Larger. An insulated grounded conductor 4AWG or larger shall be identified by one of the following means:

- Amend by deleting items 1-4 and replacing with:

- (1)** A continuous white outer finish “for 120 volt ground to ungrounded single phase and three phase systems.”
      - (2)** A continuous gray outer finish “for 277 volt ground to ungrounded 3 phase systems.”
      - (3)** Three continuous white “for 120 volt” or gray stripes “for 277 volt” along the conductor’s entire length on other than green insulation or 3 wraps of corresponding phase tape at each termination point.

- 2. 210.5 (C) Identification of Ungrounded Conductors.**

- Amend by inserting the following:

- (A) Sizes 6 AWG or Smaller. An insulated grounded conductor of 6 AWG or smaller shall be identified by one of the following means:

Amend by deleting items 1-3 and replacing with:

- (1) A continuous white outer finish “for 120 volt ground to ungrounded single phase and three phase systems.”
- (2) A continuous gray outer finish “for 277 volt ground to ungrounded 3 phase systems.”
- (3) Three continuous white “for 120 volt” or gray stripes “for 277 volt” along the conductor’s entire length on other than green insulation or 3 wraps of corresponding phase tape at each termination point.

- (B) Sizes 4 AWG or Larger. An insulated grounded conductor 4AWG or larger shall be identified by one of the following means:

Amend by deleting items 1-4 and replacing with:

- (1) A continuous white outer finish “for 120 volt ground to ungrounded single phase and three phase systems.”
- (2) A continuous gray outer finish “for 277 volt ground to ungrounded 3 phase systems.”
- (3) Three continuous white “for 120 volt” or gray stripes “for 277 volt” along the conductor’s entire length on other than green insulation or 3 wraps of corresponding phase tape at each termination point.

**3. Section 334.40 (B)**

Shall be amended by inserting the following:

(B) Devices of Insulating Material. Self-contained switches, self-contained receptacles, and nonmetallic-sheathed cable interconnector devices of insulating material that are listed “specifically for use in the occupancy group and type of construction installed and installed per installation instructions” shall be permitted to be used without boxes in exposed cable wiring and for repair wiring in existing buildings where the cable is concealed.

**4. Section 410.16 Luminaires in Clothes Closets** amend by inserting “and or built in bed furniture units”

**5. Section 426.4 Continuous Load.**

Fixed outdoor electric deicing and snow-melting equipment shall be considered as a continuous load. “Overcurrent selection shall be based on zero degree start-up.”

**6. Section 695.1 Scope (A) Covered.**

Amended by inserting the following:

“(C) NFPA 13 D Residential water pump motors where amended.”

**Section 695.6 (A) Supply Conductors Section (1)**

Shall be amended by adding the following:

“Supply Conductors for residential on site NFPA 13d sprinkler system pumps shall be physically routed outside the building. The conductors’ pumps and associated equipment shall be protected from potential damage by fire and protected from physical damage. Raceways where entering the building into the water pump room shall be EMT, IMC, or GRC and installed no higher than 3’ above the finished floor. All Boxes shall have threaded hubs. Motor whips shall be flexible metal conduit, liquid tight flexible metal conduit or type MC Cable.”



**PLANNING AND DEVELOPMENT SERVICES  
DEPARTMENT**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**Agenda Item No. 11**

**TO:** Town Council  
**FROM:** Glen Van Nimwegen, Director  
**FOR:** Meeting of April 20, 2017  
**DATE:** April 4, 2017  
**RE:** Planning and Development Services Department Update

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**Projects**

- 1. Town Hall Subarea Plan.** AECOM visited Mountain Village in January and March of this year. The initial preferred plan was formulated in January and was further perfected in March. At the March meetings we also began to put estimated costs to the implementation of the plan. Monday, March 13 included a public open house from 1 to 7 PM. Over 50 residents stopped in and commented on the plans, which included the perspective drawings of the Elk Pond (Lake?), adjacent park and new buildings proposed for the market area.

Perspective  
of the Elk  
Pond  
Community  
Park as  
envisioned  
by the Town  
Hall Subarea  
Plan.



Arcfel's conceptual rendering of the proposed community park area (subject to change)

The next steps in the process are:

- May 18 Work Session with Town Council and THS Planning Committee; and
- June 20 Adoption by Town Council.

2. **Village Court Apartment Rezoning.** Staff is initiating the rezoning of Lots 1001R and 1005R to add up to 70 units of employee housing as recommended by the Town Hall Subarea Plan. The timing of this case is as follows:
- May 4 recommendation by the Design Review Board;
  - May 18 First Reading and Set Public Hearing by Town Council. Approval will be subject to adoption of the Town Hall Subarea Plan; and
  - June 20 Public Hearing and Adoption by Town Council.

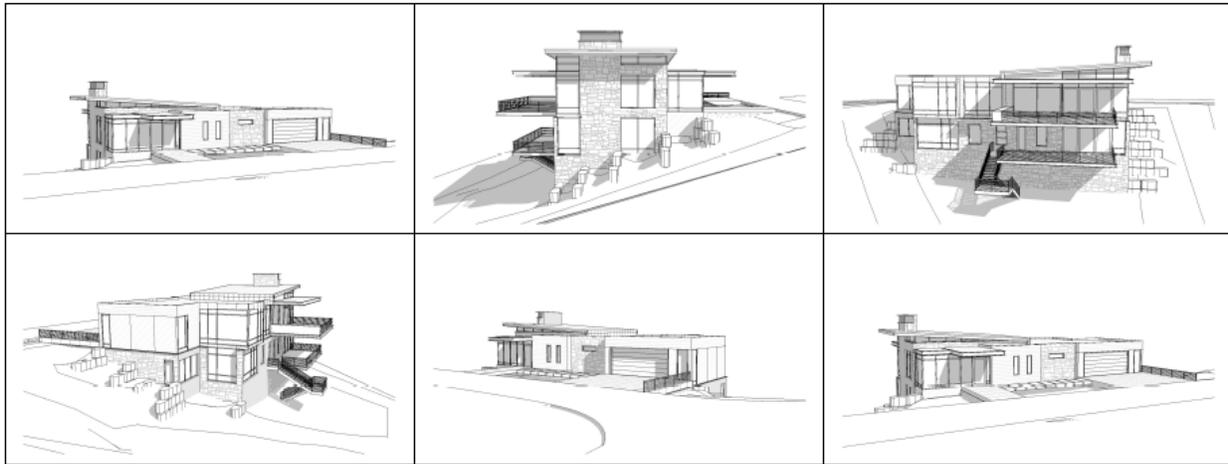
3. **APA Colorado Conference.** The local chapter of the American Planning Association is hosting our conference in Mountain Village and Telluride from October 4-6, 2017. The theme is “Envision the Future...What If?” What a great setting for What If planning scenarios. Planner Sam Starr and Director of Marketing Bill Kight have been working on several conference planning committees including Mobile Tours, Entertainment, Sponsorship and Tech/Green. A key note speaker has not been identified yet.



4. **Defensible Space Grant and Forest Health Landscape Assessment.** In 2016 there were 47 requests for site visits to do defensible space assessments. Twenty-five of them went on to complete the work and receive funding. A total of \$68,603 was distributed in the form of rebates to participating property owners. Funding for the program in 2017 will total \$80,000, with \$50,000 coming from Mountain Village and \$30,000 coming from TMVOA.

The Town Council agreed to participate with Telluride, San Miguel County, TSG and TMVOA to fund a comprehensive Forest Health Landscape Assessment. The assessment process will utilize a series of stakeholder and public meetings to form shared values and concerns about the forest health in the San Miguel watershed. This information will be captured in an Optimization Map that will be a dynamic model to portray projected forest change caused by possible ecological disturbances. The third meeting will be April 24 where the Optimization Map will be presented. In June a target location will be chosen to test various scenarios of forest change.

5. **Design Review Code Amendments.** Two recent code amendments have changed the way the Board is doing business. Effective April 16, new applications will have to follow the two-step process: Initial Architecture and Site Review, then Final Review. Staff has modified the application for the new process and is awaiting the first customer. The modifications to the design regulations went into effect March 18<sup>th</sup>. We have already had our first work session on a project that is testing the changed roof design goals.



Preliminary design proposed for 255 Country Club Drive.

**Village Court Apartments Update**

Since bringing to light the issue of our responsibility to verify the lawful presence of our residents, staff has taken the following actions:

- We have translated most of the VCA forms into Spanish. We have contracted with an interpreter, Caroline Grew, who is helping us with this task and with meetings with Spanish speaking tenants. Kody Gerkin, the new Lead Intercultural Navigator with Tri-County Health has also been invaluable in facilitating meetings with tenants regarding this issue. Cecillia, Rob and Luke recently completed intermediate Spanish classes.
- Jim Mahoney and I have met with a total of 12 households regarding their lawful presence. Jim has gleaned through most of the 74 files of tenants that may not be lawfully present. He has been able to resolve 17 of those files; and 16 more are possible. Four families have moved out. We believe the list is now down to approximately 30.
- We now have access to the Systematic Alien Verification for Entitlements (SAVE) program. This is a computer accessed system through the Department of Homeland Security and US Citizenship and Immigration Services where staff can verify the various documents that prove lawful presence.

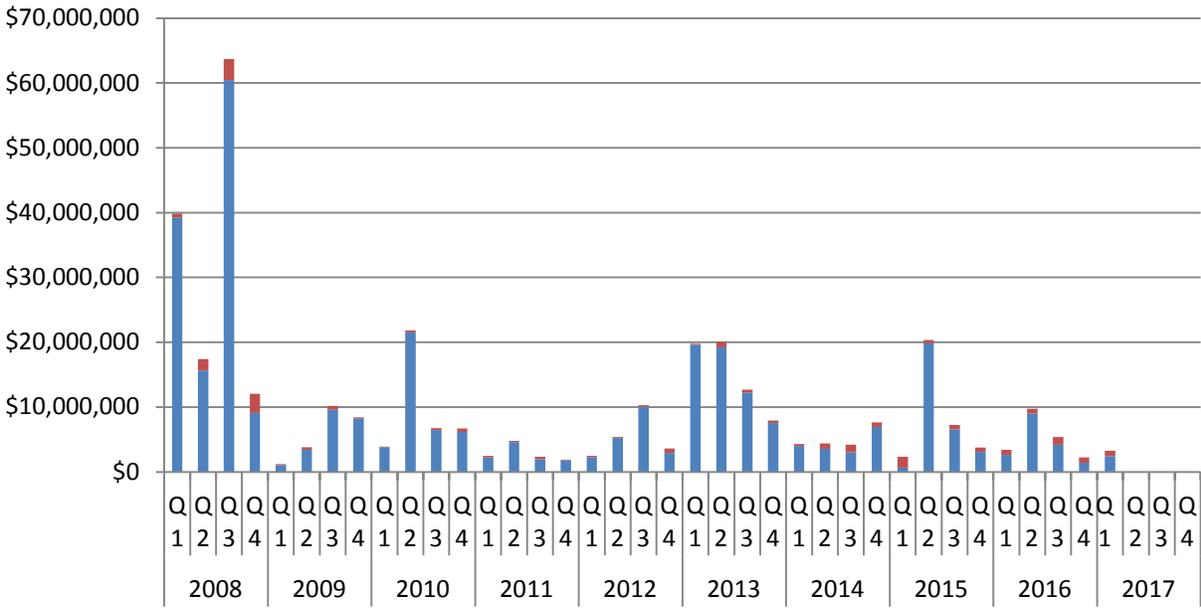
Staff has been approached by a Mountain Village employer about the possibility of having a corporate lease for their workers. We stopped this practice some time ago because it got out of control because we were not aware of who was occupying the unit. Since then we require only individual residents to be on the lease. Some of the advantages of a corporate lease include the guarantee of income during recessionary times and the ability to have increased liability if damage occurs. We will draft a proposal and bring back to the Housing Authority for consideration.

In other VCA news, we have hired Luke Adamson as our Assistant Manager. Luke has lived at VCA and worked in Telluride in the past, and has recently been assisting in the management of a 500 unit apartment complex in Tempe, Arizona, home to Arizona State University. Luke brings management and Spanish language skills to VCA.

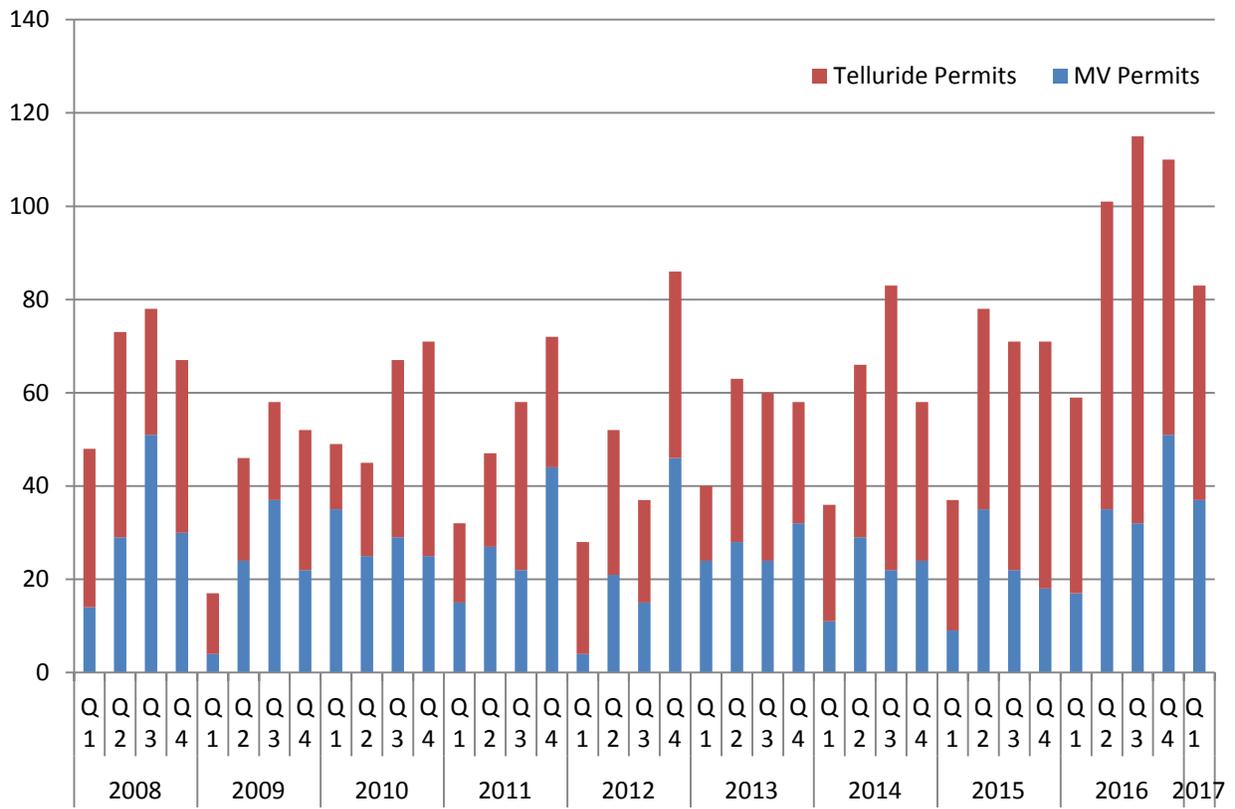
**Development Services Activity**

The two graphs below map the value of new construction in Mountain Village over the last eight years, and the number of Telluride and Mountain Village permits that have been issued.

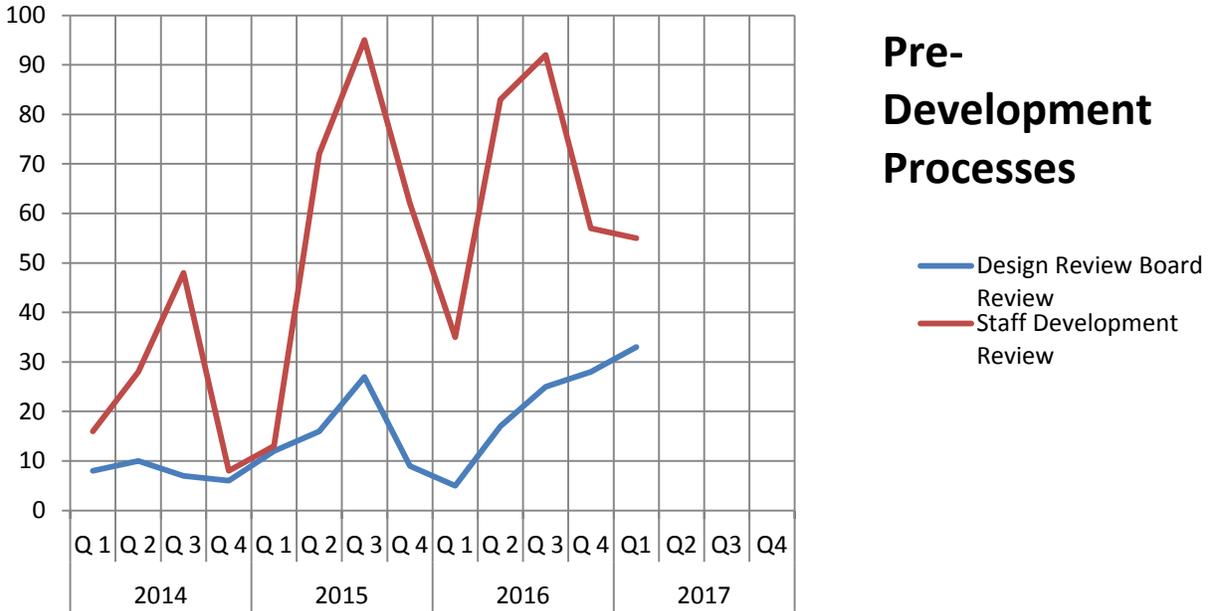
## Mountain Village and Telluride Building Permit Valuations



## Mountain Village and Telluride Building Permits



At first glance the two graphs above paint a picture that we are doing more for less. For instance in the last quarter of 2016 the combined permit numbers for Mountain Village and Telluride was close to an all-time high of 111. However, the valuation of these permits was only \$2.2 million. The trend is two-fold; first there are an increasing number of Telluride permits, which are limited to only electrical and plumbing permits; and Mountain Village owners are making more improvements to existing properties, versus starting brand new projects.



The above graph supports the theory that our current building activity is dominated by improvements being made to existing structures, as simpler Staff Development Reviews have been high through 2016. There has been a steady increase in 2016 and 2017 of more complicated approvals by the DRB, which consistently have been new single-family homes. However these projects are taking their time progressing to the next step of permit issuance.

**Thank you for your support of the Planning and Development Services Department.**

# SIGN-IN SHEET

DRB Meeting  
THURSDAY MAY 4, 2017  
Please write clearly

ATTENDEE NAME (PLEASE PRINT CLEARLY)	EMAIL ADDRESS
JACK WESSON	JWESSON@ME.COM
Russ Montgomery	RUSSME@PROSETCONSTRUCTION.COM
J. SCOTT BUTLER	JSCOTT@GRAVITYPLAYEVENTS.COM
Anton Benitez	TMVOA
Doug Troller	Steve Evans Counsel 6016021015
Douglas Tooley	on file
pam potter	

