

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING
THURSDAY FEBRUARY 1, 2018 10:00 AM**

**(NOTE CHANGE OF LOCATION)
3RD FLOOR CONFERENCE ROOM, FIRE HOUSE
411 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO**

REVISED AGENDA

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	20	Mahoney	Executive Session	Purpose of Receiving Legal Advice Pursuant to C.R.S. 24-6-402(b), and for the Purpose of Negotiations Pursuant to C.R.S. 24-6-402(4)e
3.	10:20	5	Starr	Action	Reading and Approval of Summary of Motions of the of the January 4, 2018 Design Review Board Meeting.
4.	10:25	20	Kee	Public Hearing, Quasi-Judicial Action	A recommendation to the Town Council regarding a Community Development Code (CDC) Amendment to Section 17.7.7 Building Board of Appeals to make minor and conforming amendments pursuant to CDC Section 17.1.7 Amendments to the Community Development Code.
5.	10:45	45	Haynes	Public Hearing, Quasi-Judicial Action	A recommendation to the Town Council regarding a Comprehensive Plan Amendment to Parcel M, Lot 30, (which consists of Lot 30 and a portion of the adjacent open space parcel OS1AR-3) within the Village Center Subarea and other associated amendments to accomplish the foregoing pursuant to Community Development Code Section 17.1.5 Town Comprehensive Plan.
6.	11:30	45	Bangert	Initial Architecture and Site Review	Consideration of a Class 3 application for Initial Architectural and Site Review for a new single- family home on Lot 89-2B, 667 Mountain Village Blvd
7.	12:15	30			LUNCH
8.	12:45	5	Bangert	Public Hearing, Quasi-Judicial Action	Consideration of a Class 3 application for Final Design Review for a new single-family home on Lot 416A, 206 Wilson Peak Drive. The Applicant has requested that this item be continued to the March 1, 2018 Design Review Board Meeting.
9.	12:50	30	Starr	Public Hearing, Quasi-Judicial Action	A Recommendation to Town Council regarding a proposed density transfer and rezone application for Lot 628B, 105 Double Eagle Way, to transfer one density unit (four-person equivalent density) into the Density Bank.

Please note that this Agenda is subject to change. (Times are approximate and subject to change)
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: cd@mtnvillage.org. We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

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DESIGN REVIEW BOARD MEETING
AGENDA FOR FEBRUARY 1, 2018

10.	1:20	60	Starr	Initial Architecture and Site Review	Consideration of a Class 3 application for Initial Architectural and Site Review for a new single-family home on Lot AR613-C1, 101 Lawson Point.
11.	2:20	5	Haynes	Discussion	Other Business: Request the Design Review Board have a Special Worksession on February 22, 2018 at 10:00 am regarding roofing materials.
12.	2:25				Adjourn

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**SUMMARY OF MOTIONS
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY, JANUARY 4, 2018**

Call to Order

Chairman Banks Brown called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:03 a.m. on Thursday, January 4th, 2018 in the Conference Room at 455 Mountain Village Boulevard Mountain Village, CO 81435.

Attendance

The following Board/Alternate members were present and acting:

Banks Brown
Keith Brown
Liz Caton (Alternate)
David Craige
Dave Eckman
Phil Evans
Greer Garner
Jean Vatter (Alternate)

The following Board members were absent:

Luke Trujillo

Town Staff in attendance:

Michelle Haynes, Planning & Development Services Director
Dave Bangert, Senior Planner/Forester
Sam Starr, Planner

Public in attendance:

Reiner Brasch	Rbrasch@easternpartners.com
Cath Jett	cathjett@gmail.com
Dylan Henderson	dylanh12@hotmail.com
Billy Meredith	ross@rossimage.com
Patrick Berry	pberry@mtnvillage.org
Jim Royer	jamesroyer@gmail.com
Daniel Zemke	daniel@dzemkelaw.com
Tom Kennedy	tom@tklaw.net
Chris Hawkins	chris@alpineplanningllc.com
Alan Safdi	alansafdi@gmail.com
Anton Benitez	anton@tmvoa.org
Stefanie Solomon	ssolomon@telski.com
Matt Lynch	mattlynch@tommyhein.com
Tommy Hein	tommyhein@mac.com
Jeff Koenig	Jeff@Koenigconstructionservices.com
Doug Tueller	
Pete Mitchell	
David Cohen	
Theresa Cox	
Sherri Mitchell	

Reading and Approval of Summary of Motions for the December 7, 2017 Joint Town Council and Design Review Board Meetings

On a **Motion** made by Greer Garner and seconded by Keith Brown, the DRB voted 7-0 to approve the October 5, 2017 Joint Town Council and Design Review Summary of Motions.

Consideration of a Minor Revisions application for changes to the driveway retaining walls on Lot 166AR2-8, 7 Stonegate Drive.

Dave Bangert presented the Consideration of a Minor Revisions application for changes to the driveway retaining walls on Lot 166AR2-8, 7 Stonegate Drive. Dylan Henderson of Dylan Henderson Architects presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by David Craige and seconded by Phil Evans, the DRB voted 7-0 to approve the minor revisions application for Lot 166AR2-8 with the following conditions:

- 1) *Stonegate drive grades will be readjusted to the satisfaction of the town Public Works Director*
- 2) *Increase height of platted trees on landscape drawings by another two feet to provide increased shielding between lots 166AR2-7 and 166AR2-8.*

A Recommendation to Town Council regarding a proposed density transfer and rezone application for Lot 304, 317 Benchmark Drive, to transfer one density unit (four-person equivalent density) into the Density Bank.

Michelle Haynes presented the consideration of a recommendation to Town Council regarding a proposed density transfer and rezone application for Lot 304, 317 Benchmark Drive. Daniel Zemke of the Law Offices of Daniel Zemke presented on behalf of the owner.

There was no public comment.

On a **Motion** made by Keith Brown and seconded by Dave Eckman, the DRB voted 7-0 to recommend that Town Council approve the rezone and transfer application pursuant to CDC Sections 17.4.9 and 17.4.10 to transfer one density unit (four-person equivalent density) to the Density Bank for Lot 304, with the following conditions:

- 1) *The owner of record of density in the density bank shall be responsible for all dues, fees and any taxes associated with the assigned density and zoning until such time as the density is either transferred to another lot, or person or entity.*
- 2) *The density transfer approval is conditioned upon the minor subdivision plat approval by the Town Council.*

A recommendation to the Town Council regarding a Major PUD Amendment to extend the Development Agreement and the associated Vested Property Rights on Lots 126R and 152R, Country Club Drive, for a two-year period.

Michelle Haynes presented the consideration of a recommendation to Town Council regarding a Major PUD Amendment to extend the Development Agreement and associated Vested Property Rights on Lots 126R and

152R. Chris Hawkins of Alpine Planning LLC. And Tom Kennedy, of the Law Offices of Tom Kennedy presented on behalf of the owner.

Haynes noted that public comment was provided in the packet, by email and hard copies were provided at their desk at the meeting. She also noted that some public comment was provided directly to the board members. The board members were notified to not respond directly to the public comment as it would otherwise constitute a public meeting, and the public who provided comment directly were notified that the DRB would not engage with them directly regarding their comments, their comments would be distributed by email and at the meeting.

Banks Brown, Phil Evans, Keith Brown, David Eckman and Greer Garner disclosed a variety of scenarios in which ex-parte communications could be construed. Each circumstance was deemed to be either prior to the filing of an application and/or did not delve into the substance of the application; thus, none were considered actual ex-parte communications. Each member also felt that in each scenario and subsequent to it, that they were each capable of evaluating the merits of the request and provide an unbiased and fair decision.

Chairperson Brown asked that staff notify the board as soon as an application is received so that they can avoid future ex-parte communication issues with pending applications. Staff agreed to provide notification.

Public comment: Alan Safdi Stefanie Solomon, Sheri Mitchell, Cath Jett, Billy Ross Meredith, Doug Tueller, John Horn, Pete Mitchell

On a **Motion** made by Phil Evans and seconded by David Craige, the DRB voted 6-1, Eckman dissenting, to recommend that town council deny the Major PUD Amendment to extend the Development Agreement and the associated Vested Property Rights on Lots 126R and 152R.

Consideration of a Class 3 Application for Initial Architectural and Site review for a new single-family home on Lot 416A, 206 Wilson Peak Drive.

Dave Bangert presented the Consideration of a Class 3 Application for Initial Architectural and Site review for a new single-family home on Lot 416A, 206 Wilson Peak Drive. Chris Hawkins of Alpine Planning LLC and Tommy Hein of Tommy Hein Architects presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by Phil Evans and seconded by Phil Evans, the DRB voted 7-0 to approve Initial Architecture Site Review application with the stated variations and specific approvals for Lot 416A with the following conditions:

- 1) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 2) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 3) *Architect look carefully at the chimney, relative to the height of the building prior to Final Review.*

Other Business

Planning and Development Services Director Michelle Haynes provided the board with a reminder for submitting letters of interest and resumes for Board Members whose term is up in 2018. Dave Eckman asked

for clarification on the 2018 DRB schedule.

Adjourn

On a Unanimous **Motion**, DRB voted 7-0 to adjourn the January 4th, 2018 meeting of the Mountain Village Design Review Board at 2:08 p.m.

Prepared and Submitted by,

Sam Starr
Planner
Town of Mountain Village

DRAFT



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

Agenda Item No. 4

TO: Design Review Board

FROM: Michelle Haynes, Planning and Development Services Director

FOR: Meeting of February 1, 2018

DATE: January 18, 2018

RE: A recommendation to the Town Council regarding a Community Development Code (CDC) amendment to CDC Section 17.7.7 Building Board of Appeals to make minor and conforming amendments pursuant to CDC Section 17.1.7 Amendments to the Community Development Code.

BACKGROUND

The department seeks to make minor amendments to the Building Board of Appeals bylaws which are found at CDC Section 17.7.7.

DISCUSSION

The amendment is exhibit A to this memo. Additional language is double underlined, removed language is shown as a strike through.

ANALYSIS

These amendments are ministerial in nature.

PROPOSED MOTION

Staff recommends the DRB provide a recommendation of approval to the Town Council with the following proposed motion:

I move to recommend approval to the Town Council regarding an amendment to CDC Section 17.7.7 Building Board of Appeals attached as exhibit A.

This motion is based on the evidence and testimony provided at a public hearing held on February 1, 2018, with notice of such hearing as required by the Community Development Code.

17.7.7 BUILDING BOARD OF APPEALS

- A. Name.** The name of this Board shall be the Town of Mountain Village Building Board of Appeals (the “Board of Appeals”).
- B. Authority.** The Authority of the Board of Appeals is strictly limited to hearing and deciding appeals of administrative orders, decisions or determinations made by the Town of Mountain Village (“Town”) Building Official (“Building Official”) relative to the application and interpretation of all duly adopted Building Codes and Regulation (collectively the “Building Regulations”) . There shall be and is hereby created the Board. The Building Official shall be an ex officio member of and shall act as secretary to the Board but shall have no vote on any matter before the Board. The Board bylaws for conducting its business are hereby created by Town of Mountain Village Town Council (“Town Council”). The Board shall be appointed by the Town Council and shall hold office at its pleasure. The Board shall render all decisions in writing with findings in accordance with the adopted bylaws and Building Regulations.
- C. Appeal Procedures.** All appeals of decisions of the Building Official shall be filed in accordance with the applicable Building Regulation and shall be made in writing within seven (7) calendar days of the decision of the Building Official. Failure to file a written appeal within seven calendar days shall preclude the Board from hearing any appeal and the decision of the Building Official shall stand as the final administrative decision of the Town.
- D. Appointments and Terms of Office.** The Board shall consist of five regular members and two alternates. Applications shall be received, reviewed and appointments made to the Board by the Town Council. Advertising for appointments will be consistent with the Town Council adopted policy. Appointments shall serve until they either (a) resign; (b) are no longer qualified; (c) are removed by the Town Council or (d) the Town Council elects to make new appointments to the Board. Any member of the Board may be removed with or without cause by a majority vote of the Town Council. Any vacancy occurring on the Board shall be filled by the Town Council.
- E. Attendance.** To ensure the orderly conduct of business, member attendance is vital. Except for emergency absences, medical condition absences and absences resulting from military leave of less than two continuous months, no current Board member shall miss more than three meetings in any twelve-month period upon any fourth absence within 12 months, other than for an emergency, medical condition or military leave of less than two months, as determined by the chair, the Board member shall be deemed to have resigned from the Board, and the Town Council shall appoint a replacement.
- F. Qualifications.** The Board shall consist of a minimum of one Colorado Licensed Electrical Contractor, one Colorado Licensed Plumbing Contractor, and ~~two~~ three ICC Certified General Contractors. Each shall have a minimum of 5 years of documented experience in their respective area of expertise. Candidates with experience and education in Design or Construction Management will also be considered.
- G. Officers.** The Board shall annually elect a chair from its number who shall preside over all hearings and proceedings of the Board. The elected chair shall not serve successive terms. A vice-chair elected annually by the Board shall assume the chair's duties in the chair's absence.

- H. Quorum and Voting.** Quorum shall consist of three members, and a decision of a majority of the members of the Board shall control. Any absent member may join in a decision of the Board after he or she has considered the evidence presented in any hearings conducted during his or her absence. All decisions are final, subject only to appeal to a court of competent jurisdiction.
- I. Duties.**
- 1. Chair.** The chair shall preside at all meetings of the Board and shall perform all duties usually incident to the office of Chair and such other duties as may be assigned to him or her from time to time by the Task Force. The Chair shall see to the execution of resolutions, procedures and policies approved by the Task Force.
 - 2. Vice Chair.** In the absence or disability of the Chair, the Vice Chair shall have all powers of and shall be subject to all restrictions upon the Chair. The Vice Chair shall perform such duties as shall from time to time be assigned by the Task Force.
 - 3. Secretary.** Secretarial duties for the Board will be maintained by the Town staff. Secretary responsibilities are as follows 1) to keep minutes of Board meetings and to keep records of the Board.
- J. Meetings.** The Board shall hold an initial organization meeting as called by the chair. Further meetings shall be held as necessary in order to timely hear appeals as called by the Chair or the Building Official.
- K. Rules of Order.** Unless otherwise specified in these bylaws, the Board will follow procedures outline in Robert's Rules of Order, Newly Revised.
- L. Meeting Notices.** The appointed staff member shall furnish the Board advance notice of all meetings. Staff shall deliver, by the close of business the Friday before the next meeting, minutes of the previous meetings and copies of material to be studied or acted upon, including an agenda, and other items necessary for discussion. Meeting notices may be delivered via email. Meeting notices are also posted at town approved posting areas and on the town's website.
- M. Agenda.** The appointed staff shall prepare the agenda with input from the Chair, and copies distributed in advance of the meeting. Other items of the agenda shall include but not be limited to disposition of minutes of the previous meeting, which may be distributed and approved via email by the board members due to the potential for long periods between meetings. The minutes and agenda shall be delivered to Board members as needed no later than 7 days in advance of the meeting.
- N. Open to the Public.** All meetings shall be open to the public, except for executive session as authorized in the Colorado Open Meetings law, C.R.S. 24-6-402. Advertisement of the public meeting will be consistent with town adopted public meeting posting location requirements.



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

Agenda Item #5

TO: Design Review Board

FROM: Michelle Haynes, Planning and Development Services Director

FOR: Meeting of February 1, 2018

DATE: January 19, 2018

RE: A recommendation to the Town Council regarding a Comprehensive Plan Amendment regarding Parcel M, Lot 30, which consists of Lot 30 and a portion of the adjacent open space parcel OS1AR-3 within the Village Center Subarea and other associated amendments to accomplish the foregoing pursuant to Community Development Code Section 17.1.5 Town Comprehensive Plan.

BACKGROUND

The Town Council has initiated a Comprehensive Plan amendment to Parcel M, Lot 30 Village Center Subarea pursuant to Community Development Code (CDC) Section 17.1.5.E. specifically to amend Chapter Titled *Land Use Plan Policies*, Section Titled *Mountain Village Subarea Plan Principles, Policies and Actions* Subsection 13. *Parcel M Lot 30*.

TIMELINE REGARDING PARCEL M, LOT 30 COMPREHENSIVE PLAN AMENDMENT

- August 17, 2017 Town Council Worksession
- October 12, 2017 Public Open House regarding a Parcel M, Lot 30 Comprehensive Plan Amendment

ATTACHMENTS

- a) Context Map
- b) Relevant Existing Comprehensive Plan Documents
 1. Future Land Use Map
 2. Village Subarea Map
 3. Village Subarea Table
 4. Village Subarea Principles, Policies and Actions No. 13 Parcel M, Lot 30
- c) Proposed Amendment No. 13 Principles, Policies and Actions contained in the Comprehensive Plan
- d) Public Comments provided at and around the public open house held on October 12, 2017 (29 written comments in total), plus recent public comment
- e) Worksession Memo for the meeting dated August 17, 2107

SITE ORIENTATION

Parcel M in the Comprehensive Plan is comprised of a land area that includes Lot 30 and a portion of OS1AR-3, an adjacent open space parcel of land. It is located adjacent to the Aspen Ridge multi-family condominium development on the west and south side of Mountain Village Boulevard and across from the Granita mixed use development to the east and Tramontana multi-family

development to the south (See Attachment Context Map). Lot 30 is a vacant lot, except for a commercial area in a small building that exists on the southwest corner of the lot. Parcel OS1AR-3 surrounds Lot 30 on three sides (see context map) is also vacant and zoned Active Open Space. Parcel M is a combination of two separate zoning designations Lot 30 being Multi-Family, OS1AR-3 Active Open Space. It is also recognized in the Comprehensive Plan as part of the Mountain Village Center Subarea.

PARCEL M, LOT 30 OVERVIEW OF EXISTING ZONING AND COMPREHENSIVE PLAN VISION

Existing Zoning and Density Allocations for Lot 30

	Community Development Code (CDC)
Zoning	Multi-Family
Lot Size	.60 acres
Maximum Allowable Height	48 feet
Lot Coverage	65%
Current Zoning	9 Condominiums 2 Employee Apartments Commercial Use (per Resolution No. 2012-0426-07)

Comprehensive Plan Table 7 specific to Parcel M, Lot 30 excerpt

Parcel M Lot 30	Target Maximum Building Height	Target Hotbed Mix	Target Condo Units	Target Dorm Units*	Target Restaurant/Commercial Area	Total Target Units
	78.5	88	12	2	0	102

Existing Zoning and Density Allocations for Parcel OS1AR-3

	Community Development Code (CDC)
Zoning	Full Use Ski Resort Active Open Space (Class3AOS)
Lot Size	1.432 acres MOL (only a portion contemplated pursuant to the comprehensive plan of .419 acres MOL)
Maximum Allowable Height	n/a
Lot Coverage	n/a
Current Zoning	No density designated

Full Use Ski Resort Active Open Space Zoning is associated with the operation and maintenance of a ski resort and the community at large which are limited to ski resort uses, active recreational uses, recreational trails, community infrastructure, equestrian facilities, workforce housing, telecommunications antenna and similar uses.

Table 3-1: Town of Mountain Village Land Use Schedule outlines specific uses allowed consistent with the broad list above indicating whether they are permitted or conditional uses.

Comprehensive Plan Land Use Map

The Future Land Use Plan map in the Comprehensive Plan indicates that Parcel M, if developed consistent with the Comprehensive Plan, would be rezoned to mixed-use [village center] and the remaining portion of OS1AR-3 rezoned to limited use ski resort active open space.

BACKGROUND

In July of 2017, the owner of Lot 30, which is a portion of the Comprehensive Plan Parcel M area, approached the town regarding the potential of a comprehensive plan amendment. The owner of lot 30 has an existing density allocation of 9 condominiums and 2 employee apartments that can be constructed today without demonstrating conformance with the Comprehensive Plan. The owner of Lot 30 felt that the Comprehensive Plan table (Table 7) did not provide any flexibility should they wish to develop Lot 30 other than to its by right density allocation other than a joint development plan (Parcel M) with the owner of OS1AR-3 and would otherwise preclude a condominium density increase. The specific request discussed at the Town Council worksession in August included an amendment to the Comprehensive Plan Table 7 and also to the principles and policies, to remove the flagship hotel designation and allow an increase in condominium density up to 25 condominium units.

The Town of Mountain Village held an open house on October 12th, specifically regarding an amendment to Parcel M, Lot 30. We had an attendance of over 30 community members and 26 public comments submitted in writing. The land owner of OS1AR-3 participated in the open house and also provided written comment, having not otherwise participated in the worksession in August.

In a general summary, many members of the public were not aware that the Comprehensive Plan Parcel M, Lot 30 indicated building heights up to 78.5 feet, a density of 102 units and characterized within the Village Center Subarea. Absent the Comprehensive Plan the community public comments felt the property would be developed similar to the Aspen Ridge Condominium development which it is adjacent, and zoned multi-family. (see attached public comment letters) More importantly, the underlying comments suggested that future development of the parcel be sensitive to the surrounding densities and heights.

The Town Council has spent a significant amount of time talking with the public along with the property owners of Lot 30 and OS1AR-3 and finalized a proposed Comprehensive Plan amendment contained herein during the intervening months with the stated goal of allowing both Lot 30 and OS1AR-3 the ability to pursue alternative development scenarios to the full Parcel M buildout which would have existed prior to the adoption of the Comprehensive Plan, while also preserving a full Parcel M option.

PROPOSED AMENDMENT

The Comprehensive Plan amendment proposes the following.

- No change to the future land use plan map
- No change to the village center subarea map
- No change to Table 7
- Modify No. 13 Parcel M, Lot 30 (a part of OS1AR-3 and Lot 30) Principles, Policies and Actions to strike the words, no site specific policies, and amend with the following as listed:
 - a. *The flagship hotel, flag hotel operator and flag hotel site designations may apply at the discretion of Town Council after receiving a recommendation from the Design Review Board, should Parcel M be developed as a single parcel (Lot 30 and .419 acres of OS1AR3) Town Council may also consider other measures such as timeshares, fractional sales, condominium-hotel, front desk and amenity spaces for administering rental programs and boutique hotels among other measures and requirements along*

with traditional flagship hotel requirements in any development scenario including an independent Lot 30 development (meaning exclusive of any inclusion of the OS1AR-3 portion of Parcel M) scenario or a Parcel M development scenario.

- b. The range of development on Parcel M shall be from 9 condominium units (which is currently allowed by right on the Lot 30 portion of Parcel M) to the full 102 total unit mixes for the entire Parcel M as shown on Table 7 Mountain Village Center Development Table ("Table 7"). Table 7 shall only be invoked in the event of proposed development of the entire Parcel M. The owner of Lot 30 may elect to bring forth to the Town an application, meeting all submittal requirements of the Town's Community Development Code to develop Lot 30 independently or jointly as Parcel M. The Town Council shall have the sole discretion, after receiving a recommendation from the Design Review Board, pursuant to its Community Development Code, to determine if any proposed development scenario other than a by right development scenario is in the best interest of the community and whether such a scenario is appropriate for development independently on Lot 30 without invoking the requirements of Table 7. Otherwise, the Town Council shall consider the Community Development Code requirements as well as the Comprehensive Plan principles and policies in making such a determination.*
- c. If an entire Parcel M development scenario, is proposed, then an increase in hotbeds, and mixed use development is required and shall then require a rezoning to the Village Center zone district in order to realize the Comprehensive Plan principles and policies.*
- d. In the event that an independent Lot 30 development occurs in any manner (either by right or through a rezone and density transfer), the remainder of Parcel M (the OSP1AR-3 portion) may be developed either consistent with the existing underlying zoning or pursuant to rezone and density transfer as approved by the Town Council, so long as it meets such rezone and density transfer requirements and the Comprehensive Plan principles and policies. However, general conformance with the unit mix for Parcel M as shown on Table 7 Mountain Village Center Development Table shall not be applicable as that unit mix is only representative of an entire Parcel M development.*

COMPREHENSIVE PLAN CRITERIA AT 17.1.5.

E. The Town Council may initiate amendments to the Comprehensive Plan from time to time in accordance with the requirements of C.R.S. § 31-23-206, since elements of the community vision and factors affecting land use may change over time.

F. Amendments to the Comprehensive Plan shall meet the following process steps:

- 1.** The initiation of a Comprehensive Plan amendment may only be initiated if the Town Council finds:
 - a.** That the community visions and factors affecting land use have substantially changed since the adoption of the Comprehensive Plan;
 - b.** Adequate financing and resources are available to complete the amendment.
- 3.** Citizen participation is the most important element of amending or creating a Comprehensive Plan. Therefore, the Comprehensive Plan amendment process shall include significant and meaningful public participation elements.

COMPREHENSIVE PLAN PURPOSE

The purpose of the Community Development Code at Section 17.1.3 is to Implement the Comprehensive Plan.

At CDC Section 17.1.5., land use applications such as Planned Unit Developments, Variances or density transfer or rezone applications must be in general conformance with the Comprehensive Plan. Further the CDC states the following:

C. The Comprehensive Plan future land use map shall be implemented by:

1. Ensuring all development applications that are required to be in general conformance with the Comprehensive Plan are compliant with the land use plan policies and future land use map of the Comprehensive Plan; and
2. Ensuring that the ski resort operator and golf resort operator's land will be rezoned in the future to be in general conformance with the land use plan policies and the future land use plan as set forth in the Comprehensive Plan, including but not limited to the public benefit number 9 in the Comprehensive Plan public benefits table, that requires the ski resort operator and golf resort operator's land to be rezoned to be consistent with the six open space classifications shown on the future land use plan and as set forth in this CDC.

ANALYSIS

The purpose of the Comprehensive Plan amendment is not to change the intention of the Parcel M use specifically, but to perfect site specific policies on Parcel M, Lot 30 in response to input by the owners of the properties, stakeholders and community members.

The proposed Comprehensive Plan amendment provides greater flexibility and guidance in achieving Comprehensive Plan conformance for Lot 30 and Parcel OS1AR-3 separately or combined. The Comprehensive Plan amendment provides greater Town Council discretion and flexibility should a hotbed development or mixed use proposal be considered recognizing that hot bed density can be achieved and may be preferred at a smaller scale, or a less traditional hotel model. The amendment also provides greater flexibility should Lot 30 be developed to increase condominium density without invoking conformance with Table 7. And otherwise would conform with 48 feet multi-family zoning heights and other regulations. Finally, the amendment provides greater flexibility and guidance should development of the OSAR1-3 parcel be considered under the same criteria and circumstances which existed prior to the adoption of the Comprehensive Plan.

RECOMMENDED MOTION

I move to recommend approval to the Mountain Village Town Council of an amendment to the Comprehensive Plan, Parcel M, Lot 30 (a part of OS1AR-3 and Lot 30) attached as exhibit c with the following findings:

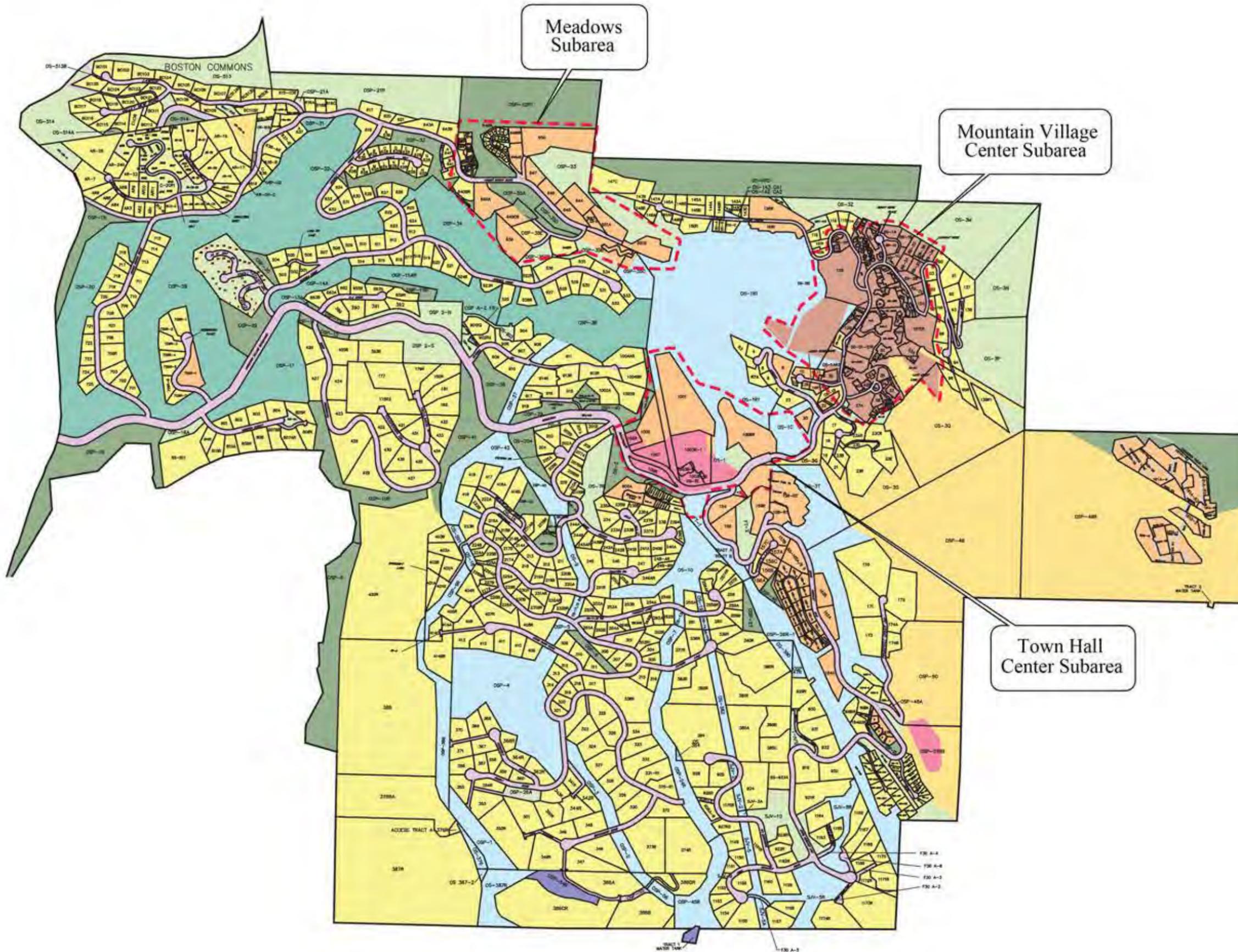
1. *That the community visions and factors affecting land use have substantially changed since the adoption of the Comprehensive Plan;*
2. *Adequate financing and resources are available to complete the amendment.*
3. *That significant and meaningful public participation occurred.*

This motion is based on the evidence and testimony provided at a public hearing held on February 1, 2018, with notice of such hearing as required by the Community Development Code.

/mbh

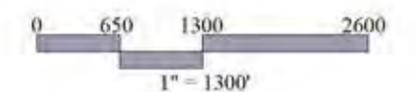


Future Land Use Plan

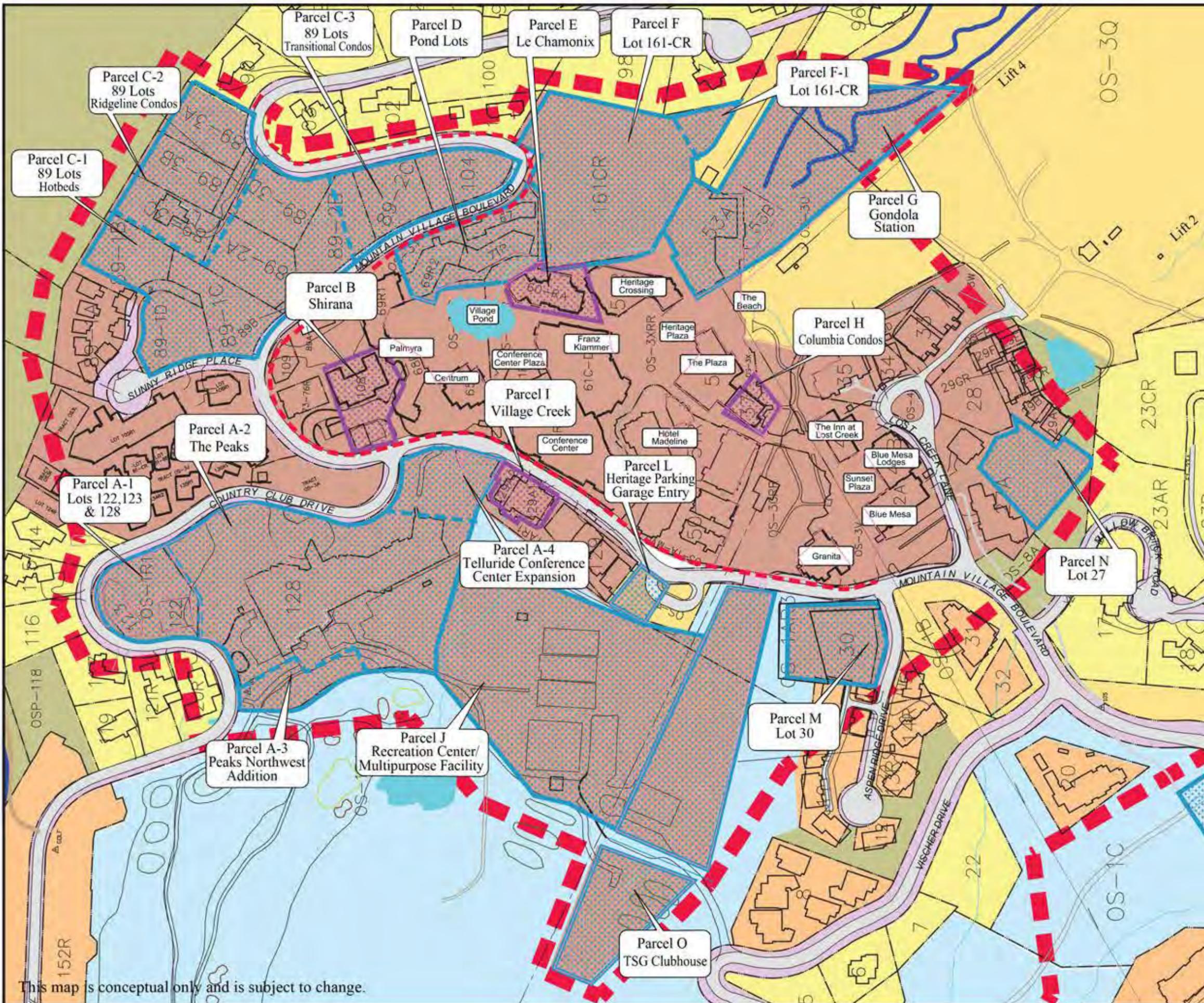


Legend

- Civic
- Mixed-Use Center
- Multiunit
- Municipal Public Works
- Single-Family and Duplex
- Passive Open Space
- Limited Use Golf Course Active Open Space
- Full Use Ski Resort Active Open Space
- Limited Use Ski Resort Active Open Space
- Resource Conservation Active Open Space
- Right-of-Way and Access Active Open Space
- Subarea

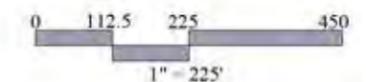


Mountain Village Center Subarea Plan Map



Legend

- Redevelopment Site
- Subarea Parcel Boundary
- Civic
- Mixed-Use Center
- Multiunit
- Municipal Public Works
- Single-Family and Duplex
- Passive Open Space
- Limited Use Golf Course Active Open Space
- Full Use Ski Resort Active Open Space
- Limited Use Ski Resort Active Open Space
- Resource Conservation Active Open Space
- Right-of-Way and Access Active Open Space
- Existing Trail
- Proposed Trail
- Existing Sidewalk
- Proposed Sidewalk
- Subarea Boundary



This map is conceptual only and is subject to change.

Table 7. Mountain Village Center Development Table

Parcel Designation	Target Maximum Building Height	Target Hotbed Mix	Target Condo Units	Target Dorm Units*	Target Restaurant/Commercial Area	Total Target Units
Parcel A-1 Lots 122, 123 & 128 	54	125	0	3	Existing in The Peaks	128
Parcel A-2 The Peaks	Existing	177	23	0	As built	200
Parcel A-3 Peaks Northwest Addition 	43.5	56	0	1	Existing in The Peaks	57
Parcel A-4 Telluride Conference Center Expansion 	78.5	68	0	2	Existing in The Peaks	70
Parcel B Shirana	78.5	78	10	2	0	90
Parcel C-1 89 Lots Hotbeds 	68	174	23	4	8,000 square feet	201
Parcel C-2 89 Lots Ridgeline Condos	35	0	8	0	0	8
Parcel C-3 89 Lots Transitional Condos 	43.5	0	8	0	0	8
Parcel D Pond Lots 	78.5	71	9	2	5,000 square feet	82
Parcel E Le Chamonix 	78.5	51	7	1	12,540 square feet	59
Parcel F Lot 161-CR 	95.5	242	32	6	6,500 square feet	280
Parcel G Gondola Station 	68	127	17	5	3,500 square feet	147
Parcel H Columbia Condos 	68	28	4	1	8,700	33
Parcel I Village Creek 	68	39	5	1	0	45
Parcel J Recreation Center/ Multipurpose Facility	52	NA	NA	NA	TBD	NA
Parcel K Meadows Magic Carpet 	57.5	115	15	3	5,000 square feet	133
Parcel L Heritage Parking Garage Entry 	57.5	14	2	1	0	17
Parcel M Lot 30 	78.5	88	12	2	0	102
Parcel N Lot 27 	78.5	64	9	2	0	75
Parcel O TSG Clubhouse	57.5	51	7	1	0 (Private Club OK)	59

*Target dorm units are calculated by multiplying the number of hotbed units by 10% to determine the number of employees required to be provided dorm housing. The resultant number of employees is then multiplied by 250 square feet per employee to determine the total floor area in dorm units. This dorm unit floor area is then divided by 1,000 to determine the number of dorm units based on 1,000 square feet per dorm unit, each with ideally four separate bedrooms. Refer to Section IV.B.2. in the Land Use Principles, Policies and Actions, page 43.

M. Require that any applicant who proposes a rezoning, density transfer, subdivision or any other application that requires general conformance with the Comprehensive Plan to meet the following site-specific policies at the appropriate step in the development review process:

1. THE PEAKS

The Peaks provided an overall plan for the following parcels of land that are based solely on the provision of hotbeds without any condominiums. Therefore, any future development review that requires general conformance with the Comprehensive Plan only requires the provision of

hotbed units and dorm units as outlined in the Mountain Village Center Subarea Development Table, with the minimum sizes for the hotbed units in accordance with the hotbed policies (page 43). The number of dorm units will also need to be established based on the 10% standard set forth in Section IV.B.2., page 43.

Magic Carpet to cooperate and fund an engineered access study that looks at the coordinated and combined public access to Parcel K Meadows Magic Carpet through Parcel J Recreation Center/ Multipurpose Facility since such access provides for a better sense of arrival and entry to a hotbed project on this parcel than Mountain Village Boulevard and also reduces vehicular trips on Visher Drive.

- c. Provide direct, year-round, at-grade pedestrian connection to Mountain Village Center by sidewalks, stairs and appropriate dark-sky lighting.
- d. Allow for golf course parking within Parcel K Meadows Magic Carpet.

12. PARCEL L HERITAGE PARKING GARAGE ENTRY

- a. Encourage the development and operation of Parcel L Heritage Parking Garage Entry to be in conjunction with Hotel Madeline on Lots 50-51.
- b. Allow an above grade, above right-of-way connection from Hotel Madeline to Parcel L Heritage Parking Garage Entry that also provides connectivity to Parcel J Recreation Center/Multipurpose Facility. Ensure the connection is architecturally interesting and appropriately consistent with the town’s Design Regulations.
- c. Evaluate if required parking for Parcel L Heritage Parking Garage Entry can be included within Heritage Parking Garage.

13. PARCEL M LOT 30

- a. No site-specific policies.

14. PARCEL N LOT 27

- a. No site-specific policies.

15. PARCEL O TSG CLUBHOUSE

- a. Provide all required parking in a garage to minimize visual impacts.
- b. Require the provision of a shuttle service, and/or sidewalk, or other pedestrian connection to existing plaza areas in Mountain Village Center.



Amendment to comp plan:

Amend paragraph 13 on page 59 of the Comprehensive Plan shall be amended as follows:

“13. Parcel M (a part of OS1AR-3 and Lot 30)

- a. The flagship hotel, flag hotel operator and flag hotel site designations may apply at the discretion of Town Council after receiving a recommendation from the Design Review Board, should Parcel M be developed as a single parcel (Lot 30 and .419 acres of OS1AR3) Town Council may also consider other measures such as timeshares, fractional sales, condominium-hotel, front desk and amenity spaces for administering rental programs and boutique hotels among other measures and requirements along with traditional flagship hotel requirements in any development scenario including an independent Lot 30 development (meaning exclusive of any inclusion of the OS1AR portion of Parcel M) scenario or a Parcel M development scenario.
- b. The range of development on Parcel M shall be from 9 condominium units (which is currently allowed by right on the Lot 30 portion of Parcel M) to the full 102 total unit mixes for the entire Parcel M as shown on Table 7 Mountain Village Center Development Table (“Table 7”). Table 7 shall only be invoked in the event of proposed development of the entire Parcel M. The owner of Lot 30 may elect to bring forth to the Town an application, meeting all submittal requirements of the Town’s Community Development Code to develop Lot 30 independently or jointly as Parcel M. The Town Council shall have the sole discretion, after receiving a recommendation from the Design Review Board, pursuant to its Community Development Code, to determine if any proposed development scenario other than a by right development scenario is in the best interest of the community and whether such a scenario is appropriate for development independently on Lot 30 without invoking the requirements of Table 7. Otherwise, the Town Council shall consider the Community Development Code requirements as well as the Comprehensive Plan principles and policies in making such a determination.
- c. If an entire Parcel M development scenario, is proposed, then an increase in hotbeds, and mixed use development is required and shall then require a rezoning to the Village Center zone district in order to realize the Comprehensive Plan principles and policies.
- d. In the event that an independent Lot 30 development occurs in any manner (either by right or through a rezone and density transfer), the remainder of Parcel M (the OSP1AR-3 portion) may be developed either consistent with the existing underlying zoning or pursuant to rezone and density transfer as approved by the Town Council, so long as it meets such rezone and density transfer requirements and the Comprehensive Plan principles and policies. However, general conformance with the unit mix for Parcel M as shown on Table 7 Mountain Village Center Development Table shall not be applicable as that unit mix is only representative of an entire Parcel M development.

Public Comment Summary Page

Attachment D. Public Comment

<u>Letter</u>	<u>Support</u>	<u>Not Support</u>	<u>Suspend</u>	<u>Other</u>	<u>Notes</u>
1 Delves	X				25 condos + 48 feet in height, encourage broader hot bed definition
2 Catsman	X				20 condos + 5-10 deed restricted units
3 Jensen			X		Lumiere model of development
4 Durham	X				25 condos + 48 feet in height
5 Ward		X			reduce below 25 condos and consistent heights with zoning 48'
6 Stenhammer			X		hot bed development important - don't fragment the parcel
7 Roer - Granita	X				supports 9-25 condos and 48 feet
8 Omotani - Granita	x				supports 9-25 condos and 48 feet
9 Ward					see above 2 emails with comments same general comments
10 Vanek	X				similar to aspen ridge supported
11 Eaton	X				similar to aspen ridge supported
12 Elinoff		X			ok with height and density in comp plan
13 Field	X				density and height in comp plan inappropriate, density proposed ok
14 MacIntire	X				flexible zoning 9 condos or up to 70 hotel or condo hotel units-remove flagship replace with "AAA 3 star or higher" - scrape condo-hotel rules
15 Tooley				X	support 48' height. If upzone then hotel, commercial and workforce housing discuss library and med center
16 Gilbert	X				comp plan height and density inappropriate - create a canyon
17 Gilbert	X				comp plan height and density inappropriate - too much hardscape loss of greenscape
18 Evans	X				waive comp plan requirement - proceed as requesting
19 Prohaska		X			hotel development important - if not here then where?
20 Jensen			X		keep option joint land use (lot 30 and TSG open space) for greater purpose future needs
21 Ezell	x				supportive of reducing density over what comp plan indicates
22 Granita	X				supports 9-25 condos and 48 feet
23 Gunty		x			existing zoning is adequate supports an amendment to consider different options on Lot 30, support reasonable height, more affordable housing
24 Pashayan	x				support reducing table 7 in comp plan
25 Capo	x				support comp plan amendment reduce height and density
26 Ullrich-Granita	x				support a comp plan amendment to remove flagship, reduce height density
27 Ward	x				support reducing mass table 7
28 Vankova	x				support lower density here
29 Omotani - Granita	x				

Michelle Haynes

From: rhdelves@aol.com
Sent: Thursday, October 12, 2017 12:49 PM
To: Michelle Haynes
Cc: rhdelves@aol.com
Subject: Parcel 30

Hi Michelle. Welcome to Mountain Village! I see that Lot 30 is again under discussion. You may not know, but I was significantly involved in the Comp Plan effort and it all got developed and approved while I was Mayor. I'm afraid the document did not really accurately capture the spirit or content of some of the discussions at the time re: lot 30. Much of the give and take in the planning process was looking for possible places to increase density – specifically “hot bed” (hotel or similar use) density. Some large numbers were suggested as possible on several parcels including lot 30. But in the case of lot 30, a high hot bed density scenario was only envisioned as part of a larger project that would pull in active open space from the ski run to create a larger footprint AND would likely work in concert with the “Magic Carpet” parcel across the ski run to create a much larger project– and only through that combination would a flagged property become possible. It was never our intent to prohibit a medium density condo project on lot 30 and certainly not to prohibit by right development or force a flag.

In my opinion, a 25 unit condo development with a max height of 48 feet is probably the more appropriate development option here. The bottom line for the Comp Plan was to encourage more density in and near the core while preserving the low/medium density outside of the core. This parcel is on/near the core so more is good – but too much is probably too much. And, the world has changed – with VRBO-type options, condo projects increasingly perform like the “hot beds” envisioned in the Comp Plan – Aspen Ridge certainly does.

Hope that's helpful. If you'd ever like to sit down and debrief the Comp Plan let me know – my knowledge is getting dated, but I lived and breathed it for a few years.

Bob Delves
rhdelves@aol.com
970-708-4047

Michelle Haynes

From: Werner Catsman <werner@catsman.com>
Sent: Wednesday, October 11, 2017 8:34 PM
To: Michelle Haynes
Subject: Lot 30

Hi Michelle,

I hope you are enjoying your new role in the Mt. Village. I saw that there is an open house regarding Lot 30. Unfortunately, I'm extremely busy tomorrow and can't attend the forum but I've worked with a few different developers on a few concepts and wanted to give you my two cents.

It seems that the comprehensive plan has placed too much density on the lot and that the "build by right" doesn't offer quite enough to make the project viable.

From my perspective, this lot would be an ideal spot to get 20 plus condo units on it with perhaps an additional (5-10) deed restricted units. At a slightly larger density, I think it would be profitable enough to add more employee units and explore the potential of a public/private venture.

I also think that the ski access issue where I believe Telski is stating there is no access should be addressed as it is just silly to have a lot adjacent to the ski area that doesn't technically have access.

Those are my thoughts and I hope the open house goes well.

Thanks,
Werner Catsman
President
CL: 970 519 1379



Michelle Haynes

From: Jensen, Bill <bjensen@tellurideskiresort.com>
Sent: Thursday, October 12, 2017 12:37 PM
To: Michelle Haynes

Michelle, thank you for your time today. As I think through lot 30/M Zoning request I am curious why no one has thought about a Lumiere type condo hotel at that location. The goal of the comp plan was to generate more economic activity for the core of mountain village. A boutique condo hotel would provide condo sales for a developer, a hotel/hot beds for the community, increased economic vitality for the core and a good fit in the lot 30/M location.

Lumiere is a great reference point as the work group works through the village core study.

Another example of why we should defer the zoning decision on Lot 30 until we can review the comp plan in this public, group effort.

Bill

Sent from my iPhone

Michelle Haynes

From: Anton Benitez <anton@tmvoa.org>
Sent: Thursday, October 12, 2017 2:44 PM
To: Michelle Haynes
Cc: Anton Benitez
Subject: FW: Lot 30

Please add to Lot 30 public comment.

AB

From: tim durham [mailto:rtimdurham@gmail.com]
Sent: Thursday, October 12, 2017 1:52 PM
To: Anton Benitez <anton@tmvoa.org>
Subject: Lot 30

Hello Anton, the email, MHaynes@mtnvillage.org, does not work so I thought I would send it to you to pass on.

I have been a property owner in MV for 27 years and I write this to encourage the Town of MV to change the zoning of Lot 30 back to its original land use of a maximum height of 48' and a maximum of 25 units.

Thanks,

Tim Durham
512-422-1237

Michelle Haynes

From: Anton Benitez <anton@tmvoa.org>
Sent: Thursday, October 12, 2017 9:57 AM
To: Michelle Haynes
Cc: Anton Benitez
Subject: FW: Lot 30, Parcel M -- Public Comment

FYI Plz add to public comment.

AB

From: Stacie Ward [mailto:wards4@mac.com]
Sent: Thursday, October 12, 2017 9:56 AM
To: Anton Benitez <anton@tmvoa.org>
Subject: Fwd: Lot 30, Parcel M -- Public Comment

Hello Anton—

Here is the original email— thank you for reaching out on this issue. Now that I understand further what Mr. Huschke is asking, our concerns and objections would be:

1. The requested density increase from 9 units to 25 units is too great for Lot 30 given the size of the property (.6 acres).
2. The requested density increase would necessitate that the proposed structure be much higher than the current height restriction of 48 feet. A building of such great height and overall scale would not be in keeping with the existing character of the Aspen Ridge neighborhood. Our comments listed below still apply.

Thank you,
Stacie Ward

Begin forwarded message:

From: Stacie Ward <wards4@mac.com>
Subject: Lot 30, Parcel M -- Public Comment
Date: October 11, 2017 at 9:20:12 PM EDT
To: MHaynes@mtnvillage.org
Cc: anton@tmvoa.org

Dear Ms. Haynes,

We just received an email from Mr. Benitez about the Open House to discuss Lot 30-Parcel M, scheduled for tomorrow October 12th. My wife and I own Aspen Ridge #20 and would like to comment on the proposed re-zoning of Lot 30, but we are currently in Florida and will be unable to make the meeting in person. Please consider this email as our official input on the matter and include it with the other public comments.

While we understand the thinking and motivation behind the effort to increase the density and height restrictions currently associated with Lot 30-Parcel M, we are vehemently opposed to it coming to

fruition in the new Plan. In general, Lot 30-Parcel M appears too small to support such a large increase in density, and we question the necessity of the requested change as well. We are under the impression that at present, there are plenty of available hotel rooms in Mountain Village even during holidays, so adding more rooms at this juncture seems superfluous. Our more specific concerns and objections to the proposed changes include, but are not limited to:

1. Not in keeping with the residential character of the Aspen Ridge neighborhood. To increase the density of Lot 30-Parcel M from a handful of condominium units to a monstrous 108-hotbed structure is a huge leap in planning-- one unsupported by the historical zoning of the property and directly at odds with the residential character of the neighborhood. We bought in Aspen Ridge precisely for the fact that it felt like a true second home rather than just a vacation destination. While we like being close to the Village core, we did not purchase within the core because it's too developed and crowded for our taste. Aspen Ridge's location is perfect as it's close enough to the core's amenities, but far enough away for peace and quiet, with more open space.
2. Eyesore. Besides the general character of the Aspen Ridge neighborhood being adversely affected, the proposal to increase the height restriction of Lot 30-Parcel M to 78 feet is ill-advised for aesthetic reasons. The proposed hotel will dwarf all of the surrounding buildings and utterly spoil the charming approach to the Village core, as well as the immediately adjacent Aspen Ridge residential properties. The visual pollution presented by such an obtrusive structure contradicts the "unmatched beauty" marketed by Telski and the Mountain Village community.
3. Increased Traffic and Noise. The increased traffic and noise that would undoubtedly accompany such a large hotel structure would negatively impact the adjacent Aspen Ridge condominium owners. As stated above, Aspen Ridge is a residential area, and a respite from the commercialization that exists in the Village core. A large hotel structure existing in such close proximity to private residences would shatter the existing peaceful environment with too many people coming and going, constant deliveries, and increased noise levels. There can be no question that the heightened overall activity surrounding such a structure would adversely affect the Aspen Ridge owners' use and enjoyment of their residential properties that currently exists.
4. Interfering with reasonable investment-backed expectations of Aspen Ridge owners. In addition to adversely affecting our use and enjoyment, the above factors will likely negatively impact our condominium's property value. We, and other Aspen Ridge owners, paid a significant premium to be located slopeside with outstanding views and serene surroundings. An obtrusive hotel structure is simply out of place in the Aspen Ridge neighborhood, and will likely interfere with our reasonable, investment-backed expectations should we choose to sell in the future. While we think it's fantastic that Telski and the Mountain Village community are addressing future growth and development issues, it should not be done at the expense of residents whose investment is far greater than that of a lift ticket or a hotel stay.

Thank you in advance for your consideration of this matter, and please feel free to contact us if you have further questions.

Sincerely,

Tom Ward
Stacie Ward
Aspen Ridge, Unit 20
(727) 940-3469

Michelle Haynes

From: Robert Stenhammer <stenhammer@gmail.com>
Sent: Thursday, October 12, 2017 11:07 AM
To: Michelle Haynes
Cc: Kim Montgomery; Laila Benitez
Subject: Public Comment - Lot 30 Parcel M

Hi Michelle;

I am unable to attend the Open House today but here are my thoughts:

- My comments stem from the Comp Plan "*Road Map for the Future*" and specifically pg. 28 "*The Importance of Hotbeds for Envisioned Economic Vibrancy*" and the content in the following Economic Development section. To me, this is the most important section of the Comp Plan and holds the key to long-term Mountain Village success *and* destination success.
- As we look to the future, additional hotbeds are needed for the sustainability of Town revenue streams, village vibrancy, the success of our merchants, and the services and offerings that are required to give world-class resort experiences for our residents and guests.
- As you know, The Town of Telluride will unlikely be adding additional hot beds with significant density; additional hot bed development needs to occur in Mountain Village as we work to optimize our tourism economy.
- Lot 30 along with Parcel M and TSG Open Space represent a premiere hot bed development location in Mountain Village. With easy access off Mtn Village Blvd, Ski-In/Ski-Out capabilities, walking distance to the Village Core/Gondola and the golf course can all be possible with keeping to the Comprehensive Plan.
- In my opinion, fragmenting Lot30 and treating Parcel M separately with 25 condo units would be a fail in the face of the Comp Plan economic objectives and long-term visioning.

I understand TMV, TSG and TMVOA will soon be undertaking a Village Core Sub-Area Plan similar to the Town Hall plan. I would encourage this land be part of that process to understand in more detail the importance of this special parcel and how to best utilize it.

Thank you for your very capable service and contributions to Mountain Village.

Best Regards,

Robert Stenhammer
210 Sunnyridge PL
970-708-7771

Granita Homeowners Association

10/12/17

Comprehensive Plan Amendment Lot 30, Parcel M

Dear Michelle,

Thank you for your time today at the TMV open house regarding the Comprehensive Plan Amendment Lot 30, Parcel M.

As a multiple Mountain Village property owner and owner in the Granita Building and it's current President, Please allow this letter to serve as formal notice that we the Granita HOA and it's owners support The Huschke's proposed changes to the comp plan. We totally support their request to reduce the building height from 78' to 48', reduce the density from 102 units to between 9-25 units, and remove the requirement for a Flagship hotel.

Please do not hesitate to call at any time if I can be of any assistance whatsoever.

Respectfully,

A handwritten signature in black ink, appearing to read 'AR', with a long horizontal line extending to the right.

Albert Roer
President
Granita Condominium Owners Association

Michelle Haynes

From: Gmail Les Omotani <lmo8337@gmail.com>
Sent: Thursday, October 12, 2017 12:13 PM
To: Michelle Haynes
Cc: Gmail Les Omotani
Subject: COMPREHENSIVE PLAN AMENDMENT LOT 30 PARCEL M

Granita Homeowners Association

10/12/17

Comprehensive Plan Amendment Lot 30, Parcel M

Dear Michelle,

Regarding the Comprehensive Plan Amendment Lot 30, Parcel M.

As an owner in the Granita Building, Please allow this letter to serve as formal notice that we the Granita HOA and it's owners support The Huschke's proposed changes to the comp plan. We totally support their request to reduce the building height from 78' to 48', reduce the density from 102 units to between 9-25 units, and remove the requirement for a Flagship hotel.

Respectfully,

LES AND BARBARA OMOTANI

Granita Owner

Unit # 304

Les and Barbara Omotani

Les Omotani, Ph. D.
LMO8337@gmail.com

8337 N Lee Trevino Drive
Tucson, Arizona 85742

516 652 6278

Michelle Haynes

From: Stacie Ward <wards4@mac.com>
Sent: Wednesday, October 11, 2017 7:20 PM
To: Michelle Haynes
Cc: anton@tmvoa.org
Subject: Lot 30, Parcel M -- Public Comment

Dear Ms. Haynes,

We just received an email from Mr. Benitez about the Open House to discuss Lot 30-Parcel M, scheduled for tomorrow October 12th. My wife and I own Aspen Ridge #20 and would like to comment on the proposed re-zoning of Lot 30, but we are currently in Florida and will be unable to make the meeting in person. Please consider this email as our official input on the matter and include it with the other public comments.

While we understand the thinking and motivation behind the effort to increase the density and height restrictions currently associated with Lot 30-Parcel M, we are vehemently opposed to it coming to fruition in the new Plan. In general, Lot 30-Parcel M appears too small to support such a large increase in density, and we question the necessity of the requested change as well. We are under the impression that at present, there are plenty of available hotel rooms in Mountain Village even during holidays, so adding more rooms at this juncture seems superfluous. Our more specific concerns and objections to the proposed changes include, but are not limited to:

1. Not in keeping with the residential character of the Aspen Ridge neighborhood. To increase the density of Lot 30-Parcel M from a handful of condominium units to a monstrous 108-hotbed structure is a huge leap in planning-- one unsupported by the historical zoning of the property and directly at odds with the residential character of the neighborhood. We bought in Aspen Ridge precisely for the fact that it felt like a true second home rather than just a vacation destination. While we like being close to the Village core, we did not purchase within the core because it's too developed and crowded for our taste. Aspen Ridge's location is perfect as it's close enough to the core's amenities, but far enough away for peace and quiet, with more open space.
2. Eyesore. Besides the general character of the Aspen Ridge neighborhood being adversely affected, the proposal to increase the height restriction of Lot 30-Parcel M to 78 feet is ill-advised for aesthetic reasons. The proposed hotel will dwarf all of the surrounding buildings and utterly spoil the charming approach to the Village core, as well as the immediately adjacent Aspen Ridge residential properties. The visual pollution presented by such an obtrusive structure contradicts the "unmatched beauty" marketed by Telski and the Mountain Village community.
3. Increased Traffic and Noise. The increased traffic and noise that would undoubtedly accompany such a large hotel structure would negatively impact the adjacent Aspen Ridge condominium owners. As stated above, Aspen Ridge is a residential area, and a respite from the commercialization that exists in the Village core. A large hotel structure existing in such close proximity to private residences would shatter the existing peaceful environment with too many people coming and going, constant deliveries, and increased noise levels. There can be no question that the heightened overall activity surrounding such a structure would adversely affect the Aspen Ridge owners' use and enjoyment of their residential properties that currently exists.
4. Interfering with reasonable investment-backed expectations of Aspen Ridge owners. In addition to adversely affecting our use and enjoyment, the above factors will likely negatively impact our condominium's property value. We, and other Aspen Ridge owners, paid a significant premium to be located slopeside with outstanding views and serene surroundings. An obtrusive hotel structure is simply out of place in the Aspen Ridge neighborhood, and will likely interfere with our reasonable, investment-backed expectations should we choose to sell in the future. While we think

it's fantastic that Telski and the Mountain Village community are addressing future growth and development issues, it should not be done at the expense of residents whose investment is far greater than that of a lift ticket or a hotel stay.

Thank you in advance for your consideration of this matter, and please feel free to contact us if you have further questions.

Sincerely,

Tom Ward
Stacie Ward
Aspen Ridge, Unit 20
(727) 940-3469

10/11/2017

To Town of Mountain Village

Re: Lot 30 M

This lot is such a lovely lot – and still has some Aspen trees that are becoming more and more valuable around Mountain Village.

Our visitors come here for the beauty first, and second, hiking and outdoor activities, skiing, etc. And only after that come hotels and various amenities. I This I hear year round on the Gondola, from many visitors from all over the US and the world.

So I would urge all parties involved to consider a project similar to Aspen Ridge, as that **would not block our most valuable asset – the views !**

It would also be lovely to have these open houses after working hours, so we, the working residents could actually participate. It is nice these are held, but during workday you are only getting fairly small percentage of residents. When meetings were held after work on the Meadows project Town Hall was packed. Please consider this for the next scheduled open houses.

Thank you for considering my comments,

Jolana Vanek, 19 Boulders Way

Michelle Haynes

From: Brian Eaton <bingo.eaton@cox.net>
Sent: Wednesday, October 11, 2017 9:35 PM
To: Michelle Haynes
Subject: Re: Lot 30 M

Michelle,

Thanks for the info. We certainly do no longer need hotel sites to add to the 4-5 we already have and cannot find developers for. As it appears our condo availability is easing,,something that aligns itself with Aspen Ridge would be a great plan. Low density on a premier location.

But, it is time to start carefully controlling our growth. The days of BUILD,BUILD, BUILD are long gone, and we all lost lots of equity in our own homes during this time.

Every development needs to prove that; it is worthy of our Village, and WILL NOT detract from the beauty of its surroundings!

We need to plan like the Swiss, the mountains are more important and nature cannot be improved here!

Brian Eaton

Sent from my iPad

> On Oct 11, 2017, at 3:07 PM, Michelle Haynes <MHaynes@mtnvillage.org> wrote:

>
> Brian:
>
> There is no secrecy, hence a public meeting and open house!
>
> Here is the worksession memo from August and a pdf of some slides we'll show tomorrow.
>
> Let me know if you have any additional questions.
>
> Thank you!

>
> Michelle Haynes, MPA
> Planning and Development Services Director Town of Mountain Village
> 455 Mountain Village Blvd. Suite A
> Mountain Village, CO 81435
> O:: 970-239-4061 - PLEASE NOTE NEW OFFICE PHONE NUMBER
> M:: 970-417-6976
> mhaynes@mtnvillage.org

>
>
> Email Signup | Website | Facebook | Twitter | Pinterest | Videos On
> Demand

>
> -----Original Message-----

> From: Brian Eaton [mailto:bingo.eaton@cox.net]
> Sent: Wednesday, October 11, 2017 4:06 PM
> To: Michelle Haynes <MHaynes@mtnvillage.org>

> Subject: Lot 30 M

>

> Michelle, so why all the secrecy. We would like some background info as this is a very special location.

> Thanks,

> Brian Eaton

> 104 Gold Hill Ct

>

> Sent from my iPad

> <Lot 30 Parcel m ppt.pdf>

> <20170808 Lot 30 Comp Plan Amendment Worksession Memo revised.pdf>

Michelle Haynes

From: Michelle Haynes
Sent: Wednesday, October 11, 2017 6:32 PM
To: neal elinoff
Subject: Re: meeting tomorrow 10 - noon

Thanks for your comments Neal. I will incorporate them.

Michelle Haynes

Sent from my iPhone

On Oct 11, 2017, at 4:56 PM, neal elinoff <nealelinoff@gmail.com> wrote:

Hi Michelle,

I own a Blue Mesa Condo that is impacted by this and I'm okay with increasing density and the height to the new height of 70 feet. I think it's fine. And I have a condo that would be impacted but it's important to get some more people into the core and get some greater vitality.

Sincerely,

Neal Elinoff *president*

Elinoff & Co. Gallerists and Jewelers

204 West Colorado Ave.

PO Box 2846

Telluride, CO 81435

work: 970-728-5566; fax: 970-728-5950; cell: 970-708-0679



Comprehensive Plan Amendment Lot 30, Parcel

Please provide your comments on the Comprehensive Plan Amendment

NAME SALLY FIELD

Email SALLYFIELD@MVCABLE.NET

PLEASE PROVIDE YOUR COMMENTS:

1. THE PROPOSED 102 UNITS SUGGESTED BY COMPT PLAN IS CONSIDERED VERY INAPPROPRIATE FOR THIS SITE, (UNREALISTIC AND POTENTIALLY DAMAGING TO NEIGHBORING PROPERTY) THE IDEA IS NOT A GOOD ONE. THE CURRENT ZONING IS SUPPORTED BY NEIGHBORS, SITE SIZE & MARKET. A SLIGHT INCREASE IN DENSITY WITH APPROPRIATE DESIGN MAY BE SUPPORTED AS WELL.

NAME _____

Email _____

PLEASE PROVIDE YOUR COMMENTS:



Comprehensive Plan Amendment Lot 30, Parcel

Please provide your comments on the Comprehensive Plan Amendment

NAME Bruce McIntire

Email brucem@luxwest.com

PLEASE PROVIDE YOUR COMMENTS:

- Lot 30 could have flexible zoning allowing for 9 condos or up to ~70~ hotel or condo-hotel units. It takes about 70 hotel units to support minimal management.
- SCRAP THE EXISTING CONDO-HOTEL RULES
- REPLACE THE WORD "FLAGSHIP" WITH THE TERM - "AAA 3-STAR OR HIGHER" ON MOST HOTEL SITES

NAME _____

Email _____

PLEASE PROVIDE YOUR COMMENTS:



Comprehensive Plan Amendment Lot 30, Parcel

Please provide your comments on the Comprehensive Plan Amendment

10/12/2017

NAME Douglas Tooley

Email douglas@tooleytools.com

PLEASE PROVIDE YOUR COMMENTS:

I support the 48' high building envelope,
BUT the use of the additional space
gained from the upzone should have
specific substantial non-condo uses
including commercial & work force housing.
The Med Center & Library should also be discussed.

NAME _____

Email _____

PLEASE PROVIDE YOUR COMMENTS:

(like hotel)



Comprehensive Plan Amendment Lot 30, Parcel

Please provide your comments on the Comprehensive Plan Amendment

NAME Jan H Gilboer

Email jan.gilboer@villagearchitect.com

PLEASE PROVIDE YOUR COMMENTS:

IT APPEARS TO ME THAT THE CONCEPT IS TOTALLY INAPPROPRIATE FOR LOT 30. THE SOLICITING ^{Block of} 102 UNITS IS 180' FROM WHAT REMAINS OF GROUND. THE DENSITY FOR 60 AC IS TOTALLY UNACCEPTABLE FROM THE LOT AND KILLS THE ENTIRE LOT LINE TO THE STREET AND DEVELOPS A CANYON ALONG THE STREET ESPECIALLY WITH A 78' ALLOWANCE FOR HEIGHT. LIGHT, VIEWS & DENSITY DO NOT ALLOW PROPER USE OF THE LOT. THERE IS NO UNDERSTANDING OF UTILITIES FOR THE SITE; NO SEWER, WATER, POWER ETC ARE THOUGHT ABOUT.

NAME _____

Email _____

PLEASE PROVIDE YOUR COMMENTS:

All-in-all the proposal is inappropriate.



Comprehensive Plan Amendment Lot 30, Parcel

Please provide your comments on the Comprehensive Plan Amendment

NAME Sandra Gilbert

Email svqnm@comcast.net

PLEASE PROVIDE YOUR COMMENTS:

The proposed density is so far outside the established density in the immediate area that it is ludicrous. Impacts to views, sun and natural light, air circulation, sewer and water & electrical service will be monumental. Current zoning of 11 units is appropriate. Established property values will be negatively impacted to the benefit of the developer who takes the money and leaves in place owners to

NAME _____

Email _____

PLEASE PROVIDE YOUR COMMENTS:

beat the burden.
City level density is not appropriate in a residential neighborhood. The arrival in Mountain Village will be adversely affected by a nonalike building imposed in the midst of the current established height limitations. The elimination of easements is contrary to a focus on the environment and moving into a concrete jungle aesthetic - is this the future of Mountain Village?
and green space



Comprehensive Plan Amendment Lot 30, Parcel

Please provide your comments on the Comprehensive Plan Amendment

NAME PHIL EVANS

Email pboe43@aol.com

PLEASE PROVIDE YOUR COMMENTS:

RECOMMEND TO CONSIDER WAIVING COMP. PLAN
REQM'T ON LOT 30, AND INSTRUCT DEVELOPER
TO PROCEED WITH EXISTING ZONING APPLICATION
(WITH VARIANCES & INCREASED DENSITY AS DESIRED)

NAME P. EVANS

Email _____

PLEASE PROVIDE YOUR COMMENTS:

COUNCIL SHOULD NOT AGREE TO NEW ZONING
WITHOUT DRB REVIEW & INVOLVEMENT



Comprehensive Plan Amendment Lot 30, Parcel

Please provide your comments on the Comprehensive Plan Amendment

NAME Martinique Prohaska

Email martinique.davis@gmail.com

PLEASE PROVIDE YOUR COMMENTS: I do believe there needs to be long-range thinking when considering the future of this lot, as it is one of the last/best areas for development of a Flagship hotel. While our current economic climate may not indicate the need for more "hot beds," we are a top-ranked, world-class resort that should envision such development in the future. To support this amendment, I would want to see other opportunities for hotel development in the commercial core explored.

NAME _____

Email _____

PLEASE PROVIDE YOUR COMMENTS:

Michelle Haynes

From: Jensen, Bill <bjensen@tellurideski resort.com>
Sent: Thursday, October 12, 2017 4:30 PM
To: Michelle Haynes
Subject: RE: Lot 30 Parcel M Public Comments - Open House

These are the verbal comments I shared with Michelle at the open house.

TSG, as an adjacent land owner, has had no interactions with the lot 30 owners or their representative John Horn. Given the common lot lines, one would think the lot 30 owners or their representative would have reached out to TSG at a minimum with a neighborly heads up on what they were hoping to achieve in a rezoning.

The last interaction TSG had with the lot 30 owners was in 2014 when TSG granted the lot owners an access easement (previous to that Lot 30 had no access).

A rezoning of lot 30 without considering the potential use of TSG open space in that location that could allow for use of density over a broader footprint and perhaps would allow for an overall height reduction seems premature. Without the ability to work together on options the only remaining development use for TSG's open space according to the land plan is affordable housing.

While the comp plan density associated with Parcel M (the designation for the combination of lot 30 and TSG open space) is significant, given the increased land mass, there may be options or variations that better meet the current and future needs of Mountain Village.

Given the Town of Mountain Village and TMVOA are initiating a working group to study the Village core it would seem appropriate to defer a rezoning decision and allow that working group six months to look at the Mountain Village core in its entirety and how lot 30/Parcel M options that may better serve the future of the core area.

Bill Jensen

From: Michelle Haynes [mailto:MHaynes@mtnvillage.org]
Sent: Thursday, October 12, 2017 3:52 PM
To: Jensen, Bill <bjensen@tellurideski resort.com>
Subject: RE: Lot 30 Parcel M Public Comments - Open House

Bill:

Yes, verbal comments are harder to summarize succinctly. I did not summarize anyone's verbal comments. Would you like to provide them now via email and I can amend the public comments? Happy to do so. Just let me know.

Michelle Haynes, MPA
Planning and Development Services Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435
O:: 970-239-4061 – PLEASE NOTE NEW OFFICE PHONE NUMBER
M:: 970-417-6976
mhaynes@mtnvillage.org



[Email Signup](#) | [Website](#) | [Facebook](#) | [Twitter](#) | [Pinterest](#) | [Videos On Demand](#)

From: Jensen, Bill [<mailto:bjensen@tellurideskiresort.com>]
Sent: Thursday, October 12, 2017 3:48 PM
To: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: RE: Lot 30 Parcel M Public Comments - Open House

Michelle, saw you included my follow up email comment but you did not include my as important verbal comments to you during the open house.

Bill

From: Michelle Haynes [<mailto:MHaynes@mtnvillage.org>]
Sent: Thursday, October 12, 2017 3:30 PM
To: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: Lot 30 Parcel M Public Comments - Open House

Please see the attached public comments from today's open house.

If I receive more, and I expect that I may, I will forward those along as well.

Thank you.

Michelle Haynes, MPA
Planning and Development Services Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435
O:: 970-239-4061 – PLEASE NOTE NEW OFFICE PHONE NUMBER
M:: 970-417-6976
mhaynes@mtnvillage.org



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Michelle Haynes

From: Dave Ezell <DEzell@sigmasupply.com>
Sent: Friday, October 13, 2017 12:37 PM
To: Michelle Haynes
Cc: nickiezell1@yahoo.com; bkjack@rmi.net
Subject: FW: Comprehensive Plan Amendment Lot 30, Parcel M
Attachments: 20171012113445580.pdf; ATT00001.htm

Please note that as owners of Granita 204 we are in support of reducing the density of this proposed building as Darrell Huschke notes in his attached letter.

Thank you!

Dave Ezell
Sigma Supply of North America Inc.
3316 Towson Avenue
Fort Smith, AR 72901
800-785-0367
479-785-0367
479-785-0368 (FAX)
479-459-7028 (Cellular)
dezell@sigmasupply.com

www.sigmasupply.com

From: Nicki Ezell [nickiezell1@yahoo.com]
Sent: Friday, October 13, 2017 1:16 PM
To: Dave Ezell
Subject: Fwd: Comprehensive Plan Amendment Lot 30, Parcel M

Sent from my iPhone

Begin forwarded message:

From: "Marcy Pickering" <marcy@peakpropertytelluride.com>
Date: October 13, 2017 at 12:28:44 PM CDT
To: <marcy@peakpropertytelluride.com>, <office@peakpropertytelluride.com>
Subject: **FW: Comprehensive Plan Amendment Lot 30, Parcel M**

Granita Owners,

Please see below, and if you have any additional questions, please don't hesitate to contact me.

Thank you,
Marcy Pickering
President/Owner
Peak Property Management & Maintenance Inc.

100 Aspen Ridge Dr.
Telluride, CO 81435
Office: 970-729-0178
Fax: 970-728-0998

Marcy,

Please forward this email and the attachment to all the Granita owners so that they can write their own letter in support of the Huschke's proposal. They can send an email to Michelle Haynes TMV Town Planner @ mhaynes@mtnvillage.org

Granita Homeowners Association

10/12/17

Comprehensive Plan Amendment Lot 30, Parcel M

Dear Michelle,

Regarding the Comprehensive Plan Amendment Lot 30, Parcel M..

As an owner in the Granita Building, Please allow this letter to serve as formal notice that we the Granita HOA and it's owners support The Huschke's proposed changes to the comp plan. We totally support their request to reduce the building height from 78' to 48', reduce the density from 102 units to between 9-25 units, and remove the requirement for a Flagship hotel.

Respectfully,

Granita Owner
Unit #

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Michelle Haynes

From: Murry Gunty <mgunty@blackstreetcapital.com>
Sent: Wednesday, October 18, 2017 8:51 AM
To: Michelle Haynes
Subject: Lot 30 feedback

It seems to me that there is no shortage of condos for sale in Mountain village. The proposal to increase the number of units to up to 25 seems unnecessary to me. the existing zoning should be sufficient for them. I hope this feedback is helpful.

--

Murry Gunty
CEO
Blackstreet Capital
5425 Wisconsin Ave, Suite 701
Chevy Chase, MD 20815
240 223 1333
mgunty@blackstreetcapital.com

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Michelle Haynes

From: Angela Pashayan <info@angalapashayan.com>
Sent: Wednesday, October 18, 2017 11:33 AM
To: Michelle Haynes
Subject: Lot 30

Thank you for the information on Lot 30 in the Mountain Village.

It is my opinion that the lot is located in a prime location for development of a small boutique hotel encroaching past the Lot lines into Telski property per their agreement, with a few local housing units included as a trade off. It would bring more amenities to our Mountain Village and offer much needed local housing. Four to five units of local housing is better than nothing at all.

I am literally typing this while riding on the off season goose to town..... listening to the driver explain to a group of visitors that Mountain Village is in the midst of a housing crunch. The visitors replied, "how can the Mountain Village sustain itself going forward "? The driver provided no answer.

In regards to planning and zoning, I am 'for' amending the comprehensive plan to allow consideration of different types of developments on Lot 30 while the Mountain Village retains the right to accept or deny proposals of development. This may lead to contingent offers to purchase the land delaying the sell, however the sellers can always choose to sell at any time under the existing planning & zoning codes that I believe allow for an 8 unit condo building.

If a contingent offer is accepted for the larger footprint development, I would be against a height past 3 stories (approx. 35-40 ft. high).

My last comment for consideration is on the stipulations for including local housing units; that there be configurations offered for families and singles, and that the hotel may not bring in 'their own' occupants/employees to fill those units. We have qualified people here waiting for solid opportunities to work.

Thank you for considering my views on this important matter of planning and development in Mountain Village.

--





A development of this scale on this site is an outrage ! Lot 30 cannot absorb something of this magnitude . Traffic and parking impacts will be intolerable and frankly dangerous. Proposed height and density will violate the quiet enjoyment rights of the longstanding residents of Aspen Ridge . I strongly urge the Mountain Village Owners Association reject this proposal .
Allowing excessive density in a development to rectify an economic result would be irresponsible on the part of the Association . Any development on this site needs to contemplate a more sensible usage that is compatible with its neighbors and will not be totally disruptive to the surroundings as this will certainly be.
I hope that reason will prevail and that MVOA will prevent the destruction of this important neighborhood that has been a jewel of Mountain Village for years .

Peter Capobianco , resident of Aspen Ridge

From: Anton Benitez, TMVOA Executive Director <anton@tmvoa.org>
Sent: Wednesday, October 11, 2017 6:40:55 PM
To: petercapo@hotmail.com
Subject: Lot 30 Open House, Ballot Issue 1A



TOMORROW: Lot 30, Parcel M – Open House

The Town is holding an open house to discuss and gather public input on a Comprehensive Plan Amendment to Lot 30, Parcel M on Thurs., Oct 12, 10 a.m. – 12 p.m. at Town Hall. The site is located across the street from the Granita Building and adjacent to the Aspen Ridge development.

Public input is a key component of any comprehensive plan and comprehensive plan amendment. Town Council will consider the comprehensive plan amendment at their Nov

Michelle Haynes

From: Steven Ullrich <sullrich2@yahoo.com>
Sent: Friday, October 13, 2017 12:34 PM
To: Michelle Haynes
Subject: Regarding the Comprehensive Plan Amendment Lot 30, Parcel M.

Granita Homeowners Association

10/13/17

Comprehensive Plan Amendment Lot 30, Parcel M

Dear Michelle,

Regarding the Comprehensive Plan Amendment Lot 30, Parcel M.

As an owner in the Granita Building, Please allow this letter to serve as formal notice that we the Granita HOA and its owners support The Huschke's proposed changes to the comp plan. We totally support their request to reduce the building height from 78' to 48', reduce the density from 102 units to between 9-25 units, and remove the requirement for a Flagship hotel.

Respectfully,

Steven Ullrich

Granita Owner

Unit # 202

Michelle Haynes

From: Marty <mmhuschke@aol.com>
Sent: Saturday, October 14, 2017 5:30 PM
To: jhorn@rmi.net; Michelle Haynes
Subject: Fwd: Lot 30 Mountain Village

Begin forwarded message:

From: Stacie Ward <wards4@mac.com>
Date: October 14, 2017 at 4:11:24 PM MST
To: Marty <mmhuschke@aol.com>
Subject: Re: Lot 30 Mountain Village

Hello Darrell—

Thank you for emailing to clarify your position, as the documents attached to the TMVOA email were a bit unclear as to your request and the current restrictions. We support your efforts to develop Lot 30 if the interests of Aspen Ridge owners are ultimately protected and the character of the immediate neighborhood is retained.

Specifically, we support:

1. The removal of the flagship requirement from Lot 30/Parcel M under the Comprehensive Plan;
2. The reduction in height and density of Lot 30/Parcel M under the Comprehensive Plan (down from 78 feet and 102 units, respectively);
3. Developing Lot 30 (or the Lot 30/Parcel M combination) in keeping with the current character of the Aspen Ridge neighborhood (i.e., multi-family only).

However, we do have these concerns:

1. Density request of up to 25 condominium units on the Lot 30/Parcel M is too great. We are skeptical that 25 condominium units (or anything approaching that number) could be constructed on Lot 30/Parcel M and still be in keeping with the character of the Aspen Ridge community. It seems that amount of density would require a very large and tall structure, and be at odds with the townhouses of Aspen Ridge.
2. We would not support a hotel or a commercial, non-residential structure of any kind on Lot 30/Parcel M, whether mixed-use or hybrid approach, irregardless of the removal of the flagship requirement. Therefore, we do not agree with or support the following Staff recommendation:
 - "it is in the town's best interest to incentivize a greater unit number with a hybrid approach to hotel bed base (hotel, hotel efficiency, condominium-hotel, lodge, efficiency lodge, or property management/rental pool requirements) without the flagship hotel requirement, consistent with a lot that has historically been treated as a transition lot between two zone districts."

We hope you and the town can come to an agreement on this, and that you will be allowed to sell/develop Lot 30 in such a way that also protects the interests and investments of all Aspen Ridge owners, as well as the residential character of our neighborhood.

Thanks again for emailing,
Stacie and Tom Ward

On Oct 13, 2017, at 4:15 PM, Marty <mmhuschke@aol.com> wrote:

October 13, 2017

Dear Tom and Stacy,

I wanted to be sure that you understand that I am trying to REDUCE the height limit and density on Lot 30 to protect the owners and character of Aspen Ridge. The 78.5 height and 102 unit requirements were imposed on my property by the Comprehensive Design Plan. I am asking for a height and density consistent with our neighborhood.

If you wish to discuss any other aspects of Lot 30, I would be happy to talk with you. (602) 616-9876

Thank you for being a concerned resident of Aspen Ridge.

Sincerely,

Darrell Huschke
Developer of Aspen Ridge
Owner of Lot 30 and AR Unit 18

Michelle Haynes

From: Laila Benitez
Sent: Saturday, October 14, 2017 3:24 PM
To: Michelle Haynes
Cc: jolanavanek@yahoo.com
Subject: Fwd: Lot 30, Parcel M Comprehensive Plan Amendment Open House, October 12
Attachments: Aspen Ridge Comment.docx; ATT00001.htm

Hi Michelle,
Please see Jolana's email feedback below.
Thanks,
LB

Sent from my iPhone

Begin forwarded message:

From: JOLANA VANKOVA <jolanavanek@yahoo.com>
Date: October 14, 2017 at 2:17:35 PM MDT
To: Town of Mountain Village <lailabenitez@mtnvillage.org>
Subject: Lot 30, Parcel M Comprehensive Plan Amendment Open House, October 12
Reply-To: JOLANA VANKOVA <jolanavanek@yahoo.com>

Dear Laila,

I had clients Thursday morning so I only dropped in for about 3 minutes. My comment is attached.

Even the TMV founder Ron Allred said during a meeting that he would not build the Peaks that size today. Let's not block this amazing last part of views and trees by huge hotel as we have done with the Peaks 20 plus years ago.

All I had a chance to speak with , specially riding on the Gondola approaching from town hall felt that something like "Aspen Ridge phase 2" would look appropriate.

Thank you
Jolana Vanek

From: Town of Mountain Village <bkight@mntvillage.org>
To: Jolana Vanek <jolanavanek@yahoo.com>
Sent: Wednesday, October 11, 2017 12:51 PM
Subject: Lot 30, Parcel M Comprehensive Plan Amendment Open House, October 12

Mountain Village Seeks Community Input

No Images? [Click here](#)



RESIDENTS

BUSINESSES

GOVERNING

EVENTS

Comprehensive Plan Amendment Lot 30, Parcel M

OPEN HOUSE



SEEKING COMMUNITY INPUT

Thursday, October 12
10 a.m. to 12 p.m.
Mountain Village Town Hall

The Town of Mountain Village is holding an open house to discuss a comprehensive plan amendment to Lot 30, Parcel M. Public input is a key component of any comprehensive plan and comprehensive plan amendment. Coffee and pastries will be served!

For more information or to provide written public comment, contact Planning and Development Services Director, Michelle Haynes at MHaynes@mtnvillage.org

SUGGESTED RSVP

From: [L.Omotani](#)
To: [Michelle Haynes](#)
Cc: [Les M. Omotani](#)
Subject: Re: Parcel M, Lot 30 Comprehensive Plan Amendment, Village Center Subarea
Date: Saturday, January 13, 2018 7:22:43 AM

Hi Michelle

Thanks for this update

We continue to support what we understood to be the existing owners plans to develop Lot 30 as small density condo/town homes. We are not supportive of the expanded high density hotel with multi story height allowances. This is NOT what we were told when we purchased our Granita condo.

When the Madeline hotel was built restricting existing mountain views we were told by village planners that we would continue to have our down valley MEADOWS views without obstruction.

Thanks for continuing to keep us informed

Les Omotani

Granita 304

Sent from my iPad

On Jan 11, 2018, at 3:50 PM, Michelle Haynes <MHaynes@mtnvillage.org> wrote:

Dear Community Members:

The design review board (DRB) will be providing a recommendation to town council and the town council will consider a comprehensive plan amendment to parcel M, lot 30, Village Center Subarea. The DRB recommendation will occur on February 1st and the town council will consider a proposed amendment on February 15th.

Draft and preliminary materials can be found at the following link:

<https://townofmountainvillage.com/governing/building-development/current-planning/>

Please also note that the materials associated with the proposed comprehensive plan amendment will be **updated** by January 19, 2018 and town council may consider edits or revisions prior to and at the town council meeting.

I am providing this email to you as a courtesy because you either participated in the open house, provided public comment or otherwise expressed interest in this process.

Do not hesitate to contact me if you have any additional questions.

With regard,

Michelle Haynes, MPA
Planning and Development Services Director
Town of Mountain Village
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435
O:: 970-239-4061 – *PLEASE NOTE NEW OFFICE PHONE NUMBER*
M:: 970-417-6976
mhaynes@mtnvillage.org



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**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

Agenda Item #13

TO: Town Council

FROM: Michelle Haynes, Planning and Development Services Director

FOR: Meeting of August 17, 2017

DATE: July 28, 2017

RE: **Worksession regarding a Comprehensive Plan Amendment for Lot 30, Parcel M**

Worksession Summary

The purpose of the worksession is to discuss amending the existing unit and density designations contained within the Mountain Village Comprehensive Plan for Lot 30, Parcel M. Only the Town Council can initiate a Comprehensive Plan amendment pursuant to the Community Development Code (CDC) Section 17.1.5.E.

Attachments

- Context Map

Geography and Existing Use

Lot 30 is located adjacent to the Aspen Ridge multi-family condominium development on the west and south side of Mountain Village Boulevard and across from the Granita mixed use development to the east and Tramontana multi-family development to the south (See Attachment Context Map). Lot 30 is a vacant lot, except for a commercial area in a small building that exists on the southwest corner of the lot. It is zoned Multi-Family although recognized in the Comprehensive Plan as part of the Mountain Village Center Subarea. The Mountain Village Center Subarea is substantially comprised of the Village Center Zone District (VC) with some variation outside of the VC zone district boundary to include Lot 30 zoned multi-family, the Sunny Ridge and Lookout lots zoned multi-family, and Mountain Village Blvd lots zoned single-family on the south and north boundaries of the VC zone district .

Lot 30 Community Development Code Data:

	Community Development Code (CDC)
Zoning	Multi-Family
Lot Size	.60 acres
Maximum Allowable Height	48 feet
Lot Coverage	65%
Current Zoning	9 Condominiums 2 Employee Apartments Commercial Use (per Resolution No. 2012-0426-07)

Site Background

When originally platted at Reception No. 233115 in 1984, Lot 30 was designated a condominium lot with an allocation of four (4) units. The Town approved an increase in density to 14 condominium units (1988) and then a later rezoned to single family (1991). Today the densities are approved at nine (9) condominium units, two (2) employee apartments and commercial (2012). A replat of Lot 30 and Lot 11 occurred in 1996 resulting in a lot size increase from .452 acres to .60 that included a portion of contiguous open space. The lot is not encumbered with General Easements.

2014 Comprehensive Plan

The Comprehensive Plan was adopted in 2011 and included Principals, Policies and Actions related to a number of subareas and parcels contained within each subarea. Lot 30 is indicated as Parcel M, which includes an Active Open Space parcel that surrounds Lot 30 on three sides owned by Telluride Ski and Golf (TSG). Parcel M is envisioned to provide a target total of 102 units by combining Lot 30 with the TSG active open space parcel.

Although outlined in Table 7. Below, Lot 30, Parcel M contains no additional site specific policies in the Comprehensive Plan. See excerpt from Table 7. Mountain Village Development Table specific to Parcel M Lot 30 below:

Parcel M Lot 30	Target Maximum Building Height	Target Hotbed Mix	Target Condo Units	Target Dorm Units*	Target Restaurant/Commercial Area	Total Target Units
	78.5	88	12	2	0	102

Additional Background

In 2014, Town Council held a worksession with a potential buyer of Lot 30 to rezone the property for a proposed multi-family project from 9 to 15 condominium units. The following bullet points summarize the prior worksession:

- Staff supported the Comprehensive Plan as written and did not otherwise support the rezone worksession premise because it was not consistent with the Comprehensive Plan.
- In order for the owner of Lot 30 to redevelop consistent with the Comprehensive Plan, the owner of Lot 30 must consolidate ownership with TSG. As a worksession outcome, the applicants were asked to talk with TSG regarding redevelopment of the properties consistent with the Master Plan. The talks with TSG did not result in the desired Comprehensive Plan direction to the owner's satisfaction. There has been no development activity on the property since 2014.
- The owner indicated that the number of units increased from 22 units to 102 units during the Comprehensive Plan process very late in the adoption process and only after the intended densities on Boomerang and the Comanche sites were abandoned. The owner of Lot 30 did not receive notice regarding the unit number increase.
- The owner could otherwise develop 9 Condominium Units as a by right scenario but any development scenario that varies with this proposal otherwise needs to be consistent with the Comprehensive Plan.
- It is generally understood that if a lot consolidation between Lot 30 and the TSG active open space parcel does not occur, Lot 30 cannot accommodate the densities outlined in the Comprehensive Plan.

Staff Analysis

Staff is supportive of a Comprehensive Plan amendment for Lot 30, Parcel M for the following reasons:

- Lot 30 functions as a transition lot between the Aspen Ridge condominium development (multi-family zoning), and the Village Center, zoned for high density, multi-use and hot-bed development. This is evidenced by development history on the lot along with its treatment in the Comprehensive Plan. Flexibility in zoning, uses and units can be encouraged on this lot with the associated appropriate town approvals.
- The 102 unit numbers outlined for Lot 30, Parcel M provided for in the Comprehensive Plan require cooperative efforts with TSG that may or may not be achievable in order to comply with the Comprehensive Plan. The fundamental nature of a Comprehensive Plan is to provide an aspiration that is achievable for the town and a property owner. The Comprehensive Plan for Lot 30, Parcel M does not currently provide adequate flexibility and/or aspiration for the owners of Lot 30 and within the area of Parcel M.
- Although the owner could construct nine (9) condominium units and two (2) apartment efficiencies consistent with the development pattern of the adjacent Aspen Ridge condominium development and the underlying zoning, it is in the town's best interest to incentivize a greater unit number with a hybrid approach to hotel bed base (hotel, hotel efficiency, condominium-hotel, lodge, efficiency lodge, or property management/rental pool requirements) without the flagship hotel requirement, consistent with a lot that has historically been treated as a transition lot between two zone districts. The discussion of the right range and mix of units as well as other details can occur during a Comprehensive Plan amendment to Lot 30, Parcel M.

/mbh

Context Map: Lot 30, Parcel M





**PLANNING & DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Design Review Board
FROM: Dave Bangert, Senior Planner
FOR: Meeting of February 1, 2018
DATE: January 24, 2018
RE: Initial Architectural and Site Review for a new single-family dwelling on Lot 89-2B, 667 Mountain Village Blvd.

PROJECT GEOGRAPHY

Application Overview: The purpose of this agenda item is to allow the Design Review Board (DRB) to provide initial direction to the applicant regarding a proposed new single-family home.

Legal Description: Lot 89-2B

Address: 667 Mountain Village Blvd.

Applicant/Agent: Alpine Planning/Tommy Hein Architects

Owner: David Wyler

Zoning: Single-Family Zone District

Existing Use: Vacant Lot

Proposed Use: Single-Family

Lot Size: 0.637 acres

Adjacent Land Uses:

- **North:** Single-Family
- **South:** Single-Family
- **East:** Single-Family
- **West:** Multi-Family

ATTACHMENTS

- Exhibit A: Narrative
- Exhibit B: Plan Set

BACKGROUND

At the December 7, 2017 Design Review Board meeting a work session was conducted for Lot 89-2B. After feedback and direction from the DRB the applicant has made several changes to the design. The main dwelling has been redesigned to be closer to the lower garage by 10' and is now connected with an enclosed elevated bridge that ties the living areas of the lower garage and main house together. The upper garage and associated exterior parking/backing space have been flipped to provide better function and reduce the impacts to the lot to the south and the front entry way has been redesigned to provide a better entry and sense of arrival. The applicant has submitted an application in accordance with the provisions of Section 17.4.11 of the Community Development Code (CDC) for a Design Review Process application with the Design Review

Board. The proposed project consists of a 339-square foot single car garage and 695-square foot two car garage with 492 of livable space. Total livable square footage for the home is 6,144-square feet with total square footage of 7,637-square feet. This first step of our two-step process will be initial architectural and site review.

PROJECT SUMMARY

CDC Provision	Requirement	Proposed
Maximum Building Height	35' maximum (35'+5' for gable roof)	34' – 10"
Maximum Avg Building Height	30' maximum (30'+5' for gable roof)	20' – 6"
Maximum Lot Coverage	40% maximum	19.54%
General Easement Setbacks		
North	16' setback from lot line	65' to GE
South	16' setback from lot line	0' to GE
East	16' setback from lot line	0' to GE
West	16' setback from lot line	2' to GE
Roof Pitch		
Primary		1:12
Secondary		1:12
Exterior Material		
Stone	35%	41.1%
Wood	(No requirement)	17.9%
Windows/Doors	40% maximum for windows	18%
Metal Accents		21.7%
Board Formed Concrete		1.4%
Parking	2 enclosed and 2 exterior	3 enclosed and 1 exterior

17.3.12.C BUILDING HEIGHT LIMITS

The average height for the proposed designed is relatively low at 20' – 6". The maximum height is 34' – 10", which puts it within 2" of the maximum height allowed for the roof design.

When a proposed development is approved that is five (5) feet or less from the maximum building height or maximum average building height, the review authority approval shall include a condition that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This shall be done prior to the Building Division conducting the required framing inspection.

17.5.5 BUILDING SITING DESIGN

Lot 89-2B is an average size (0.637 acres) irregular hexagon shaped lot that slopes from east to west. This lot has road frontage along Mountain Village Blvd. on both the east and west property boundaries. Both eastern and western boundaries have slopes above 30% grade in the 16' General Easements. The applicant is proposing two driveways off lower and upper Mountain Village Blvd. This will require specific approval from the DRB. The Town's Public Works Department supports the request for two driveway cuts. The house site is located near the top of the lot close to the eastern GE's. There is a proposed encroachment into the eastern General Easement for a portion of an exterior parking space, address monument and a 10' high driveway retaining wall and a proposed encroachment into the southern GE for a portion of the driveway retaining wall. There are proposed retaining walls in the western GE to create access and a backing area for the lower garage. There a number of the design elements of the main home that extend within 5' of the eastern, southern and western GE lines. The applicant will seek specific approval for the parking encroachment and retaining walls in the southern, eastern and western GE's. Telluride Ski and Golf has granted permission to the owner of lot 89-2B for "Driveway Improvements" in the 30-foot TSG easement.

17.5.6 BUILDING DESIGN

Building Form and Exterior Wall Form

In accordance with the Community Development Code, the proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation.

Roof Forms, Design and Materials

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets. The primary roof forms for the residence are (2) 1:12 shed roofs. The secondary roof forms are low pitch (1:12) sheds over the front entry way, bridge element and the lower garage. The roof over the upper garage is proposed to be flat with 1/4" slopes to central roof drains. The proposed roofing material will be bonderized standing seam as well as fascia. This will require specific approval from the DRB for use of bonderized standing seam roofing.

Exterior Wall Materials

The exterior walls consist of 41.1% stone veneer (Indiana Buff Limestone) with random ashlar pattern; 17.9 % wood, vertical 8" barn wood and rough sawn timber beams; 18% fenestration (bronze metal clad Loewen windows); 21.7% steel accents, with bonderized steel panels, corrugated bonderized metal siding, steel panel railing (bronze painted to match windows) and exposed steel members and C-channel steel railing (painted mid grey); 1.4% board formed concrete.

17.5.7 GRADING AND DRAINAGE PLAN

The applicant has provided a grading and drainage plan prepared by Uncompahgre Engineering, LLC for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades of 3:1 or flatter.

17.5.8 PARKING REGULATIONS

There are 3 enclosed parking spaces and 1 exterior space proposed. All parking spaces are completely located within the property boundaries but the exterior parking space encroaches into the eastern GE and the backing area for the lower garage encroaches into the western G E. The applicant has indicated that there will be snowmelt in front of the garage doors, front entry porch and terraces on main house and lower garage. Total square footage of snowmelt is 1,396 square feet. This will require an energy offset for the square footage of snowmelt above 1000 SQ FT.

17.5.9 LANDSCAPING REGULATIONS

The proposed landscape plan shows 35 aspens and 10 spruces with all disturbed areas to be re-seeded per CDC guidelines. All plantings will need to be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

Landscaping Type	Minimum Size
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.

A formal irrigation plan has not been submitted at this time but the irrigation plan will need to show a rainfall sensor and a backflow prevention device.

17.5.11 UTILITIES

All shallow utilities are proposed to be run from lower Mountain Village Blvd. on the northern side of the lower driveway. The water line will come in from south of the lower driveway and run to the main house. Sanitary sewer will tie in to the existing sewer line to the north. Public Works requests that all utilities be field located by the contractor prior to construction.

17.5.12 LIGHTING REGULATIONS

No exterior lighting plan has been submitted for the Initial Architectural and Site Review.

17.5.13.E.4 ADDRESS IDENTIFICATION SIGNS

The address monument is compliant with the code; however, the numbers will have to be reflective per the TFPD and the light source will need to be determined. The proposed location is in the eastern GE and will need approval from the Board.

17.6.6.B. DRIVEWAY STANDARDS

The driveway designs meet the standards of the CDC. The first 20' of the upper drive is at 3.42% grade and the auto court area has a maximum grade of 2.00%. The grade of the lower drive is 3.52%.

17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS

The applicant has indicated the fireplace will be a gas as well as the fire pit on the back patio.

17.7.19 CONSTRUCTION MITIGATION

No construction mitigation plan has been submitted for the Initial Architectural and Site Review.

PROPOSED VARIATIONS AND SPECIFIC APPROVALS

- Exterior parking and retaining wall in the eastern General Easement;
- Retaining wall in the northern General Easement;
- Retaining walls in the western General Easement;
- Specific approval for two curb cuts;
- Specific approval for a retaining wall over 5' without stepping;
- Specific approval for use of bonderized roofing, fascia and siding panels;
- Specific approval for the use of board formed concrete.

RECOMMENDATION

Staff recommends the DRB approve the Initial Architecture Site Review application with the stated variations and specific approvals for Lot 89-2B with the following conditions which shall be addressed before Final Review hearing unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.

Wyer
PAD

Initial Architecture and Site Review



BACKGROUND

David and Lynnette Wyler are the owners of Lot 89-2B located at 667 Mountain Village Blvd (“**Property**”). The Wyler’s intend to start the construction a new single-family dwelling on the Property starting in the spring of 2018.

The Property is vacant and is located east of the Village Center, with Mountain Village Boulevard wrapping around the Property as it switchbacks up the mountainside as shown in Figure 1. The Property is framed by this switchback with two frontages onto Mountain Village Boulevard.

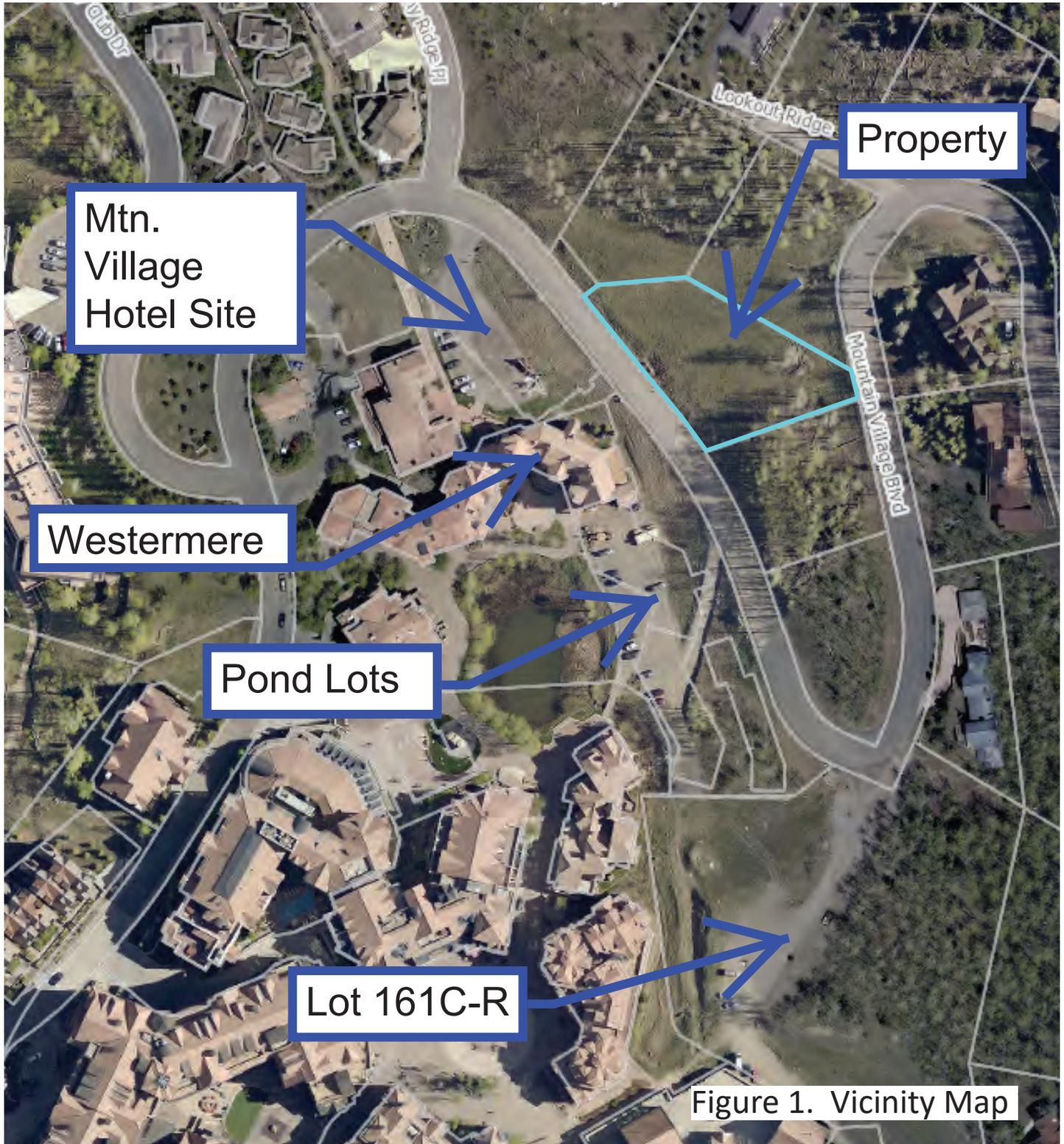


Figure 1. Vicinity Map

The Property is also characterized with a very unique, irregular hexagon shape that has the lower Mountain Village frontage at approximately 207 lineal feet and the upper Mountain Village frontage at 30 feet. This irregular lot size is further encumbered by a 30 foot wide easement along the upper Mountain Village Boulevard frontage that benefits Telluride Ski and Golf (“**TSG Easement**”) that almost doubles the normal 16 foot general easement. Figure 2 shows the irregular lot shape and the 30 foot wide easement.

The Wyler’s proposed home is primarily oriented to capture views of Mount Wilson and other mountains to the west and southwest looking across the Village Center. The proposed home has to be located at the highest point of the Property to access these views due to approved development on the Mountain Village Hotel site, the existing height of Westermere and in anticipation of potential development of the Pond Lots and Lot 161C-R. The heights and impact of both the Mountain Village Hotel and Westermere are known since the Town has approved plans for the Mountain Village Hotel and Westermere is constructed. What is not known is the eventual height that may be approved by the Town for any proposed development of the Pond Lots or Lot 161C-R. Any home on the Property must therefore be located as high up as possible to ensure access to western/southwestern views across the Pond Lots, Lot 161C-R, Westermere and any development of the Mountain Village Hotel.

Access and arrival must come from Upper Mountain Village Boulevard on the east side of the lot due to the proposed home location on the highest elevations of the Property. Access to the upper portion of the Property is constrained due to the 30 foot width, irregular shape and the TSG Easement. The narrow width of the lot and pie shape of the upper building area does not allow for a two car garage, architectural arrival/entry into the home or required surface parking. So the plans have been designed with a one car garage, a minimal entry/arrival into the home and one surface parking space on the east side of the Property, and an attached garage to on the west side of the Property providing the remainder of the required parking, bike storage and living space for a ski lounge. The attached garage is accessed from lower Mountain Village Boulevard and will also provide the main pedestrian and ski access to the Village Center and the gondola stations.

Project Geography

Geography and Zoning Requirements		
	Existing/Requirement	Proposed
Legal Description	Lot 89-2C	No Change
Address	667 Mountain Village Blvd.	No Change
Lot Size	0.637 acre; 27,747.72 square feet	No Change
Floor Area	No Floor Area Requirement	7,637 sq. ft.
Zone District	Single-family Zone District	No Change
Maximum Building Height	35 feet + 5 feet	34'-10"
Average Building Height	30 feet	20'-6"
Lot Coverage	40% (11,099 sq. ft.)	19.5% (5,424 sq. ft.)
Setbacks		
	Front - East	16 feet
	Side - North	16 feet
	Rear - West	16 feet
	Side - South	16 feet
Parking	2 enclosed spaces + 2 unenclosed	3 garage + 1 surface

Major Changes Since the Conceptual Worksession

The following major changes were made in response to DRB comments at the conceptual worksession:

1. The dwelling was redesigned to be closer to the garage by approximately 10 feet, with the worksession site plan showing approximately 40 feet of separation and the Initial Architecture and Site Review plan showing approximately 28 feet of separation. We believe that this 30 percent decrease in building separation, creation of a horizontal bridge connection and the architectural connectivity to the overall design addresses the DRB's concerns.
2. The dwelling consolidated the uphill mass of the house, stepped the forms more down the hill, and connected the lower garage with an enclosed bridge that has an architectural element/stair on the garage side and a building offset on the dwelling side to fully connect the living spaces together.
3. The front garage and associated backing space/surface parking space was flipped to provide better functionality and reduce impacts to the lot south of the Property.
4. The front entry was redesigned to provide a better entry, focal point and sense of arrival.

Garage Backing Area/Parking Space in the General Easement

The Property's constraints as outlined above necessitates a design for the front of the Property (east side) that balances the need for a main home entry/arrival point and parking. This balanced design provides for one car garage, a minimal entry/arrival architectural element and one surface parking space. The surface parking space is proposed to encroach into the northern general easement by approximately 12' in order to provide for a minimal amount of building facade for the main entry and arrival to the home. The parking space also

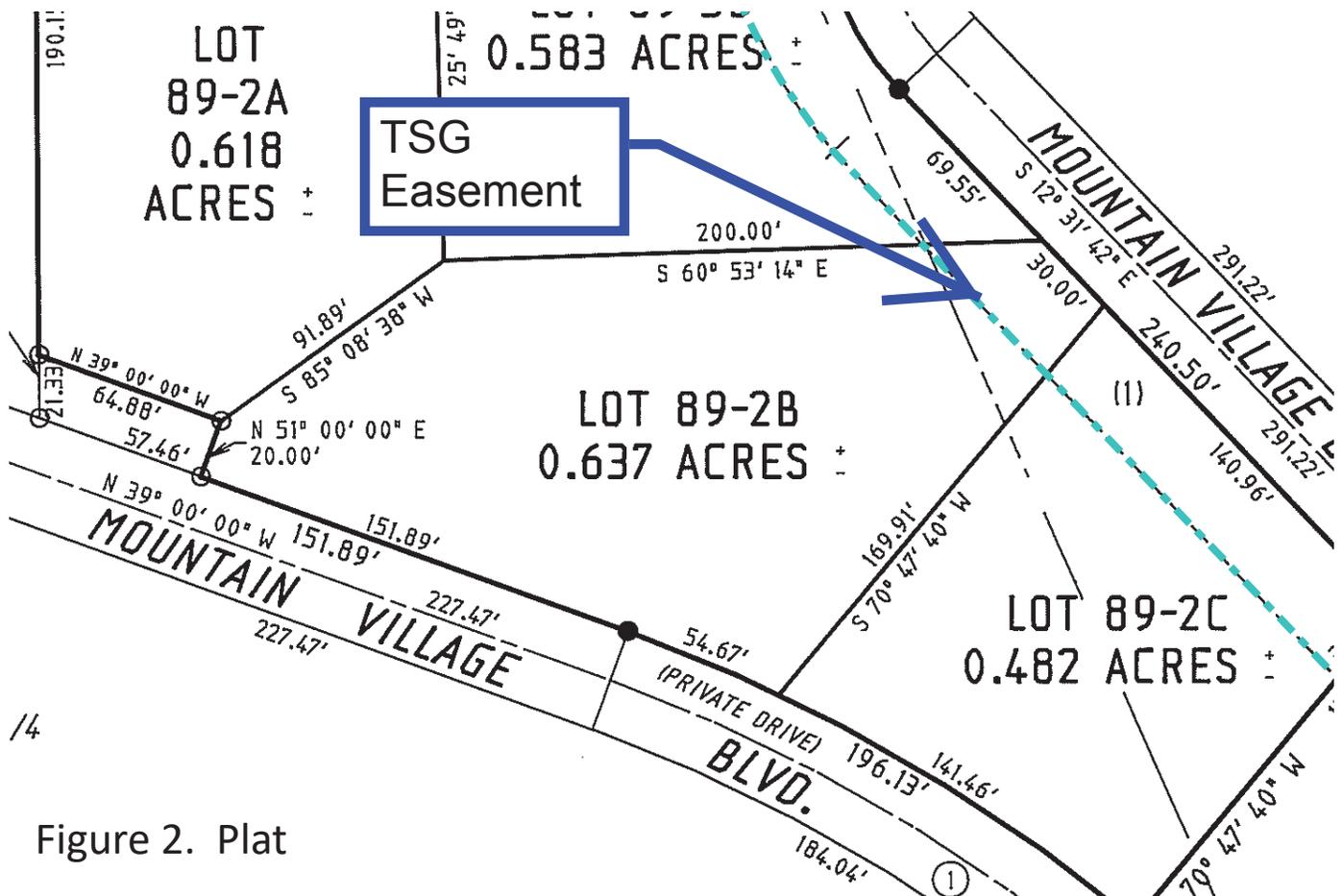


Figure 2. Plat

provides for the required backing space from the garage so a vehicle exits the Property onto Mountain Village Boulevard without a backing onto the road. The surface parking space/garage backing area is proposed to be constructed with one retaining wall to minimize disturbance to the general easement and create a level parking area as shown in Figure 3.

The proposed garage backing area/parking space meets the requirements of Community Development Code (“CDC”) Section 17.3.14(F) because:

1. The irregular shape of the lot, the TSG Easement, the need to design a home on the highest portion of the Property, and the narrow lot width on the east side of the Property necessitates a design that balances the creation of a main entry/arrival for the home with the provision of a minimal amount of parking at the front of the Property. There is no practicable alternative that allows for the creation of the main home entry/arrival, garage parking and associated vehicular backing movements, and surface parking at the front of the Property without using a small portion of the general easement.
2. The disturbance and parking in the general easement are needed due to the conditions of the Property including steep 45 percent slopes, its irregular size, the TSG Easement, and the need to design the home as high as possible on the Property. The Property has approximately 45 percent slopes leading down from the eastern property line where access to the building site must be provided. These steep slopes necessitate the creation of a level arrival area/parking space in front of the main entry, with retaining walls, fill and paving as shown in the conceptual worksession plan set.
3. A 12 foot general easement encroachment for the surface parking space and garage backing area will not have an unreasonable, negative impact on the lot to the north. The home on the lot to the north will also be designed on the highest portion of the lot in order to access views, which is away from the general easement encroachment. Driveways are permitted in the general easement and parking typically occurs

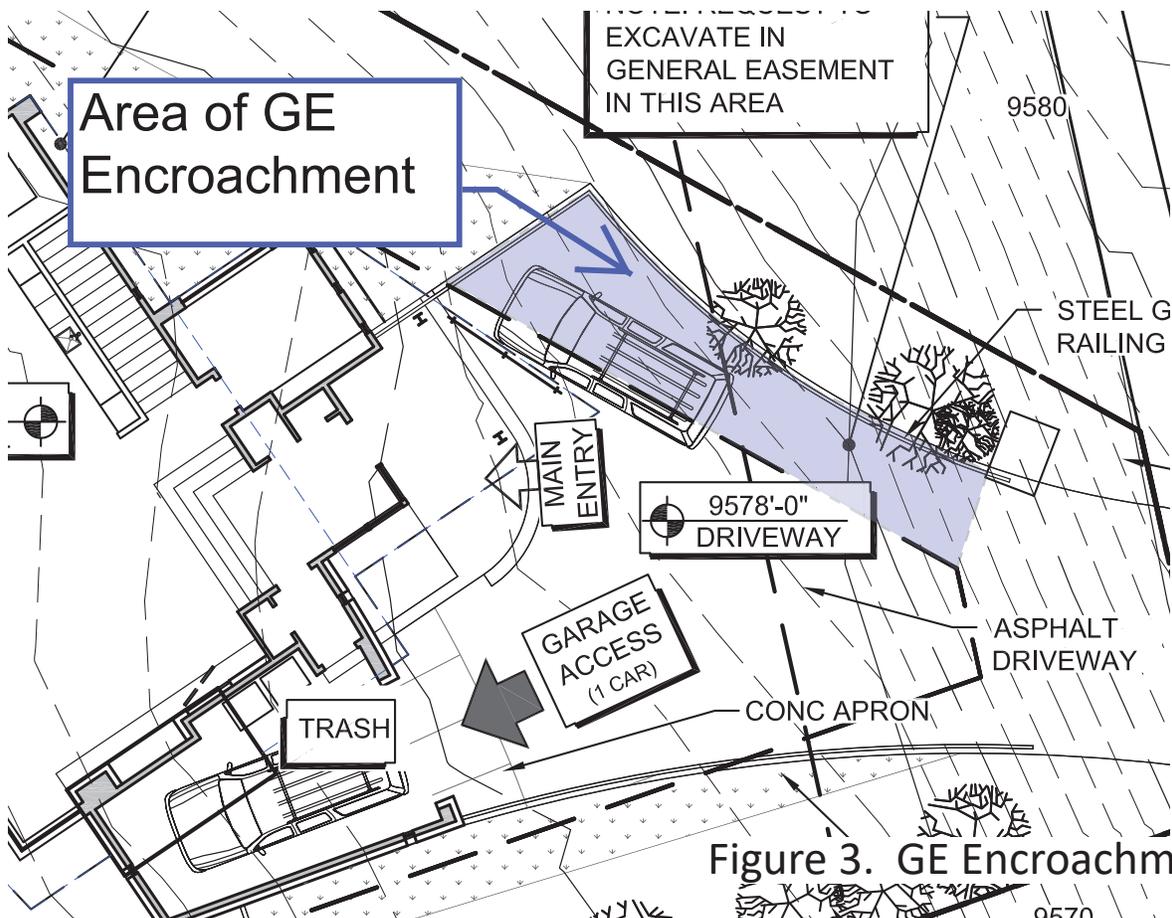


Figure 3. GE Encroachment

on driveways. A landscape buffer will be provided between the parking area and Lot 89-3D to mitigate the setback encroachment.

4. The general easement setback or other setback will be revegetated and landscaped in a natural state. The remaining area outside the parking area will be revegetated and landscaped with spruce and aspen trees.
5. The Public Works Department has no objections to the general easement encroachment.
6. The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town.
7. The parking area/garage backing space encroachment will be mitigated with landscaping. The parking/backing area encroachment into the general easement has been minimized by the use of one retaining wall versus a stepped wall and the provision of a landscaping buffer.

It should be noted that the provision of a parking area in the general easement is similar to other permitted paved uses in the easement, including driveways and walkways, with vehicles often parking in driveway areas.

The other improvements in the general easement include the upper driveway, lower driveway, grading associated with the driveway and backing area from the garage, stepping stones, utilities and the address marker. All of these improvements are permitted in the general easement by the CDC.

Steep Slopes

The Property contains steep slopes that are 30% or greater as shown in Figure 4. These steep slope areas were created by the cut and fill from the construction of Mountain Village Boulevard, so they are man-made and not natural slopes. Section 17.6.1(C)(2)(a) of the CDC states that:

“Building and development shall be located off slopes that are thirty percent (30%) or greater to the extent practical.

i. In evaluating practicable alternatives, the Town recognizes that it may be necessary to permit disturbance of slopes that are 30% or greater on a lot to allow access to key viewsheds, avoid other environmental issues, buffer development and similar site-specific design considerations.”

The disturbance to the steep slopes is necessary because the cut and fill for Mountain Village Boulevard creates steep slopes on both frontages as shown in Figure 4. The home must be located at the highest portion of the site to access key viewsheds as outlined above. The proposed disturbance of steep slopes is needed to allow for reasonable use of the property since access to the development has to cross these steep slope areas. Steep slope disturbance will be minimized to the extent practical. A Colorado PE has designed the civil plans for the development of the Property.

Driveway Variation for Two Curb Cuts

The Wyler's are requesting a variation to CDC Section 17.6.6(B)(17) that limits curb cuts to one per lot as allowed by CDC Section 17.6.6(B)(23).

CDC Section 17.6.6(B)(17) that states:

“Only one (1) curb cut for a driveway accessing a lot from the main road shall be permitted without specific approval from the review authority in consultation with the Public Works Department.”

Two curb cuts are needed for the development of the Property the need to locate development at the highest part of the Property, the lots irregular shape, the TSG Easement and the steep slopes. Only two parking spaces can be provided at the front of the Property as discussed above. The second curb cut is needed in order to

Page 5

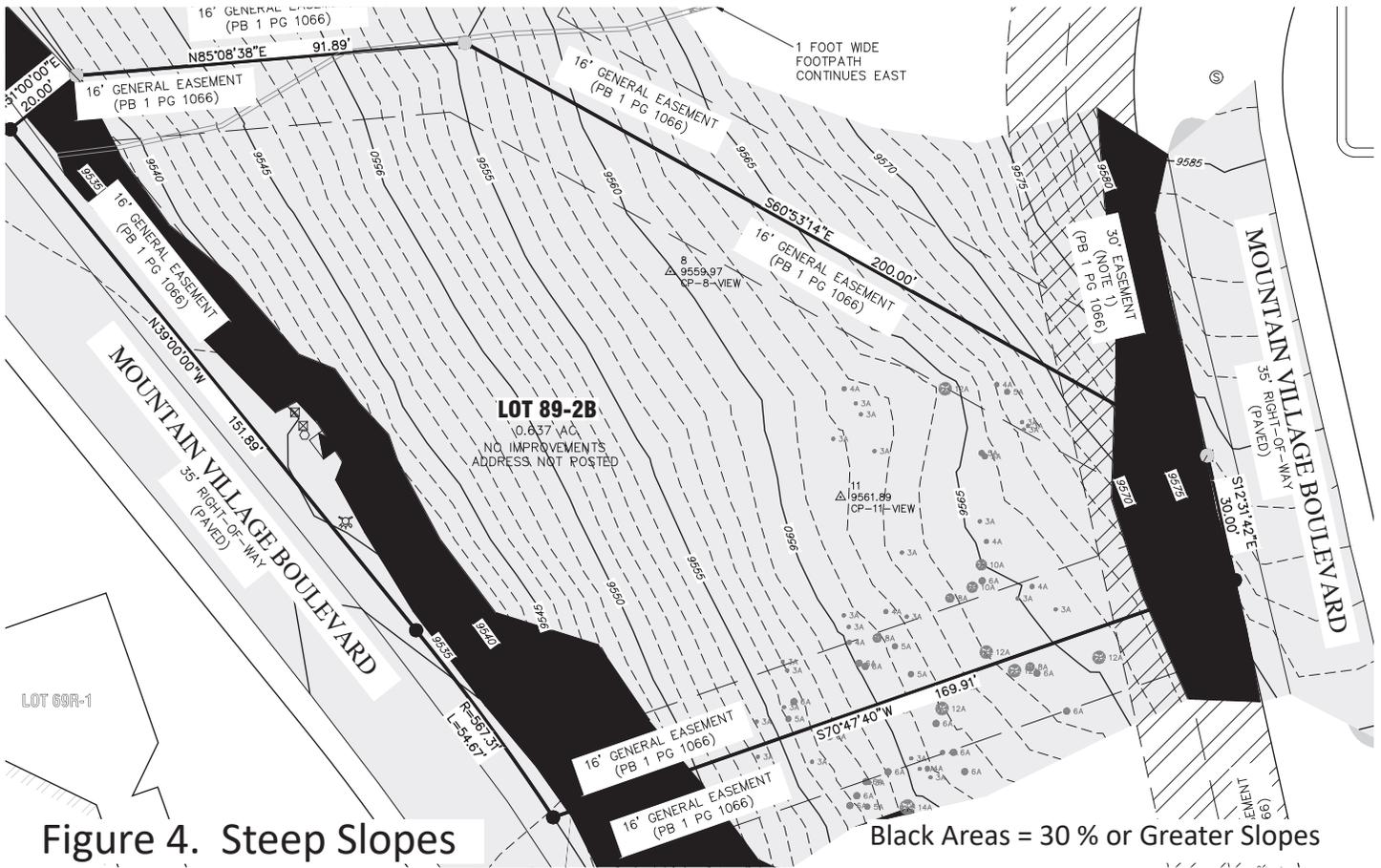


Figure 4. Steep Slopes

Black Areas = 30 % or Greater Slopes

provide access to an attached garage that will provide the additional required parking, storage, ski room and the pedestrian and ski access to the Village Center, ski area and the gondola stations.

The two curb cuts are located approximately 800 feet from each other due to the switchback up the side of the Mountain. Thus there will be no adverse impacts to snow storage or other right-of-way functions by allowing two cuts. This situation is much different from a lot with only one frontage where two curb cuts have been requested in the past for looped driveways that impact snow storage and design. In this case, a person driving up Mountain Village Boulevard will only see one curb cut at a time for the Property, with the main access point off upper Mountain Village Boulevard on the east side of the lot.

The Town's Public Works Department referral stated:

"..The Town has given variances to this regulation in the past when it was determined to not be detrimental to Town snow removal operation. In this situation Public Works will support the applicants request for 2 curb cuts."

Design

Designing access to the Property has been very challenging. The narrow entry and steep slopes on the front of the Property only leaves enough area for an minimal entry/arrival area, a single car garage and one surface parking space. We have a creative solution to put the additional required parking in an attached garage that is accessed from lower Mountain Village Boulevard, with the dwelling massing stepping down the hillside. This

solution breaks up the mass of the structures on the site and is consistent with the “hillside” village vernacular in this neighborhood.

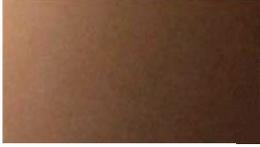
The main house has three offset shed roof forms with 1:12 roof pitches that have flanking stone fireplace forms and covered decks that step down with the natural topography. The central, upper main shed roof form steps down to (A) the eastern lower shed roof by approximately three feet; (B) the southern lower shed roof by approximately seven feet; and (C) the northern shed roof by approximately 3 feet. The chimney elements, decks and lower attached garage further break up the massing and roof forms. This design provides a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets as required by the Design Regulations.

Proposed exterior materials include the following with requested DRB specific approvals noted:

- Standing seam bonderized roof (Specific Approval)
- Bonderized steel panels (Specific Approval)
- Bonderized fascia and soffit (Specific Approval)
- Corrugated bonderized metal siding (Specific Approval)
- 8” barnwood siding
- Barnwood siding
- Board Formed Concrete (Specific Approval)
- Indiana buff limestone in a random ashlar pattern
- Rough sawn timber beams
- Exposed W8-steel columns (Specific Approval)
- Exposed C-Channel steel railings painted med-gray
- Lowen windows bronze anodized

Material	North	South	East	West	Total	Percent
Stone	1042.1	1773.6	1430.1	1080.3	5326.1	41.1
Glass	182.5	1048.6	718.9	378.4	2328.4	18.0
Wood	891.8	364.6	173	291.5	1720.9	13.3
Metal	313	298.9	146.3	1201.9	1960.1	15.1
Steel	18.3	510.6	213.4	112.1	854.4	6.6
Timber	29.1	162.3	188.9	210.2	590.5	4.6
Concrete	121.6	44.4	10.9	0	176.9	1.4

MATERIAL KEY: (typ all elevations)

<p>STANDING SEAM BONDERIZED ROOF, WALLS, & FASCIA</p>		<p>RUBBLE STONE IN HILFIKER WALL & LOWER RETAINING</p>	
<p>+/- 8" BARNWOOD W/ 1/4" REVEAL</p>		<p>INDIANA BUFF LIMESTONE VENEER, RANDOM ASHLAR PATTERN</p>	
<p>BOARD FORMED CONCRETE</p>		<p>EXPOSED C-CHANNEL STEEL RAILING, PAINED MED-GREY</p>	
<p>ROUGH SAWN TIMBER BEAMS</p>		<p>SOLID STEEL PANEL RAILING, BRONZE PAINT TO MATCH WINDOWS</p>	







GENERAL NOTES

CONTRACT DOCUMENTS

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

ORGANIZATION

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: CIVIL DRAWINGS (C SHEETS), LANDSCAPE DRAWINGS (L SHEETS), ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (I SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL DRAWINGS (M SHEETS), ELECTRICAL (E SHEETS), PLUMBING (P SHEETS), FIRE ALARM (FA SHEETS), FIRE PROTECTION (FP SHEETS), AUDIOVISUAL DRAWINGS (LV SHEETS) AND LIGHTING DRAWINGS (LP SHEETS).

CODE COMPLIANCE:

ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3

INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AUDIOVISUAL AND LIGHTING DRAWINGS.

ZONING - CODE SUMMARY

ZONING - SINGLE FAMILY RESIDENTIAL
BUILDING CODE - IRC 2012
DESCRIPTION - 2.0 STORY W/ BASEMENT
OCCUPANCY CLASSIFICATION - IRC 182
AUTOMATIC FIRE SPRINKLERS - NFPA 13D - SPRINKLERED GREATER THAN 3600SF

FIRE RESISTIVE RATING - SHAFT ENCLOSURES - 1HR.
EXIT ENCLOSURE RATING - 1HR.

REGULATORY COMPLIANCE:

THE CONTRACTOR SHALL ENSURE THAT THE WORK AND CONSTRUCTION ADMINISTRATION PROCESSES COMPLY WITH ALL APPLICABLE GOVERNMENTAL AND PRIVATE REGULATIONS, INCLUDING BUT NOT LIMITED TO THE TOWN OF TELLURIDE LAND USE CODE (LUC), DESIGN GUIDELINES, HISTORIC AND ARCHITECTURAL REVIEW COMMISSION (HARC) CONDITIONS, CERTIFICATES OF APPROPRIATENESS (CAS) AND IMPACT STATEMENTS; THE TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE (CDC) AND DESIGN REVIEW BOARD (DRB) CONDITIONS; SAN MIGUEL COUNTY BUILDING REGULATIONS; AND ALL COVENANTS CONDITIONS & RESTRICTIONS, DECLARATIONS, ARCHITECTURAL GUIDELINES AND RULES & REGULATIONS ESTABLISHED BY ANY PRIVATE OWNERS ASSOCIATIONS THAT GOVERN THE PROJECT SITE.

SHEET INDEX

ARCHITECTURAL

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A0.2	SITE MASSING
A0.3	PERSPECTIVES
A1 SITE SERIES	
--	TOPOGRAPHIC SURVEY
--	SLOPE SURVEY
C1	GRADING AND DRAINAGE PLAN
C2	PRELIMINARY UTILITY PLAN
A1.1	OVERALL SITE / LANDSCAPE PLAN
A1.2	BUILDING HEIGHT DIAGRAM
A2 PLAN SERIES	
A2.0	AREA CALCULATIONS, SNOW MELT / HERS
A2.1	FLOOR PLAN BASEMENT / LOWER GARAGE
A2.2	LOUNGE LEVEL 00 & LEVEL 01
A2.3	FLOOR PLAN LEVEL 02
A2.4	FLOOR PLAN LEVEL 03
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A3 EXTERIOR ELEVATION SERIES	
A3.1	SOUTH ELEVATION
A3.3	NORTH ELEVATION
A3.3	EAST ELEVATION
A3.4	WEST ELEVATION

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CONTRACTOR:
TBD

INTERIORS:
TBD

LANDSCAPE:
TBD

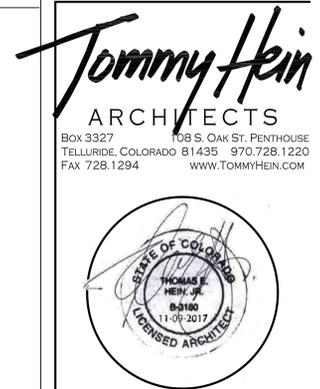
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LIGHTING:
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SUBMISSIONS:	
CLIENT REVIEW	10-25-17
WORKSESSION 01	11-10-17
DRB REVISED	11-27-17
CLIENT REVIEW	12-14-17
DRB APPLICATION 01	12-22-17

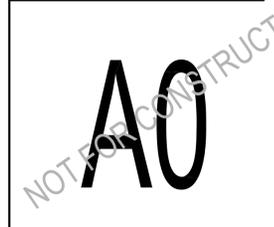


LOT 89-2B
667 MOUNTAIN VILLAGE BLVD.
MOUNTAIN VILLAGE, CO

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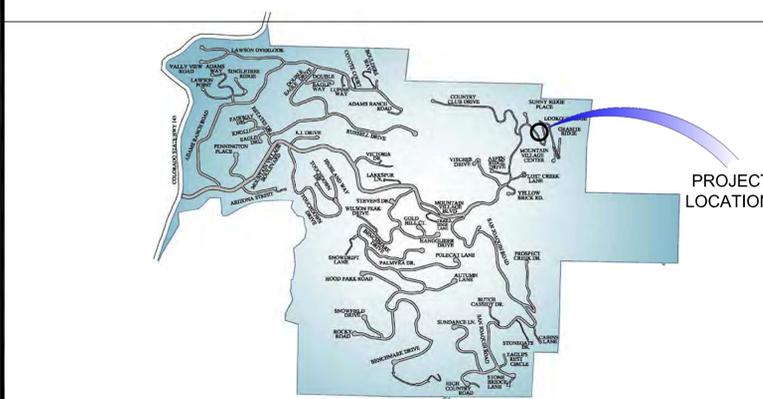
PROJECT INFO SHEET

CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
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DONE IN ACCORDANCE WITH AIA DOCUMENT A201



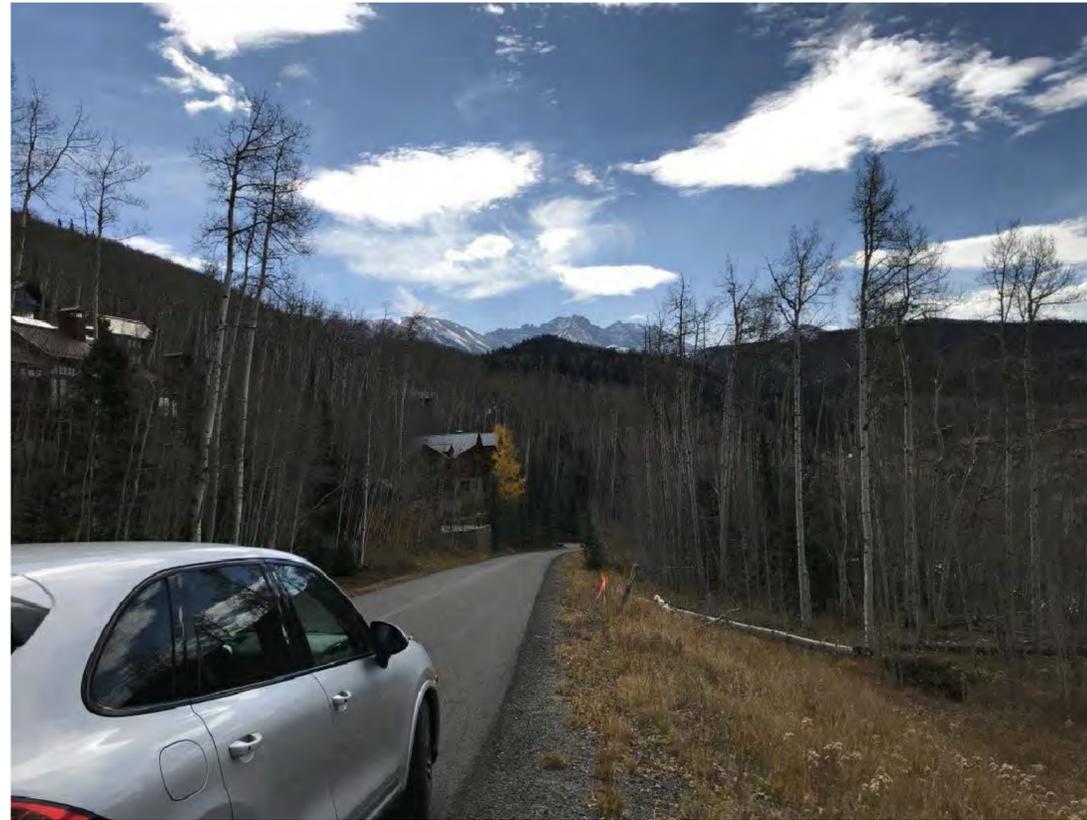
LOT COVERAGE AND FLOOR AREA CALCULATIONS		
STANDARDS	ALLOWED	PROPOSED
LOT COVERAGE		
GROSS LOT AREA (SF AND ACREAGE)	< 40% Lot Coverage	Lot Area .637 Acres = 27,747.22 SF Lot Coverage 5,424 SF Coverage % 19.54%
LOT COVERAGE	< 40%	19.54% (20.46 BELOW 40% ALLOWABLE)
FLOOR AREA CALCULATIONS		
		PROPOSED RESIDENCE - LIVABLE Lounge Level 00 = 492 SQ. FT. Level 01 = 543 SQ. FT. Level 02 = 2,531 SQ. FT. Level 03 = 2,578 SQ. FT. LIVABLE TOTAL = 6,144 SQ. FT.
		PROPOSED NON-LIVABLE (Garage, Mech, Storage) Basement / Lower Garage Level = 695 SQ. FT. Level 01 = 459 SQ. FT. Level 03 = 339 SQ. FT. NON-LIVABLE TOTAL = 1,493 SQ. FT.
		PROPOSED RESIDENCE GROSS Livable = 6,144 SQ. FT. Non-Livable = 1,493 SQ. FT. GROSS TOTAL = 7,637 SQ. FT.
MISC. REQUIREMENTS		
BUILDING SETBACKS	16'-0"	16'-3"+ TO 42'+
BUILDING HEIGHT Maximum Average	35'-0" 20'-6"	
NUMBER OF UNITS Broken down by Type	1 Residential	1 Residential
PARKING SPACES Enclosed Surface	2 2	3 3

VICINITY MAP





3 **SOUTHWEST VIEW**
SCALE: NO SCALE



1 **SOUTHEAST VIEW**
SCALE: NO SCALE



2 **SOUTH VIEW**
SCALE: NO SCALE

Tommy Hein
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Box 3327 108 S. Oak St. Penthouse
Telluride, Colorado 81435 970.728.1220
Fax 728.1294 www.tommyhein.com

SUBMISSIONS:

CLIENT REVIEW	10-25-17
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667 MOUNTAIN VILLAGE
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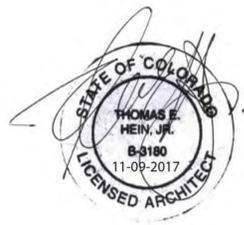
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**SITE
PHOTOS**

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 FAX: 728.1294 WWW.TOMMYHEIN.COM



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AERIAL 01



AERIAL 02

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LOT 89-2B
 667 MOUNTAIN VILLAGE
 BLVD.

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 CO

SITE
 MASSING

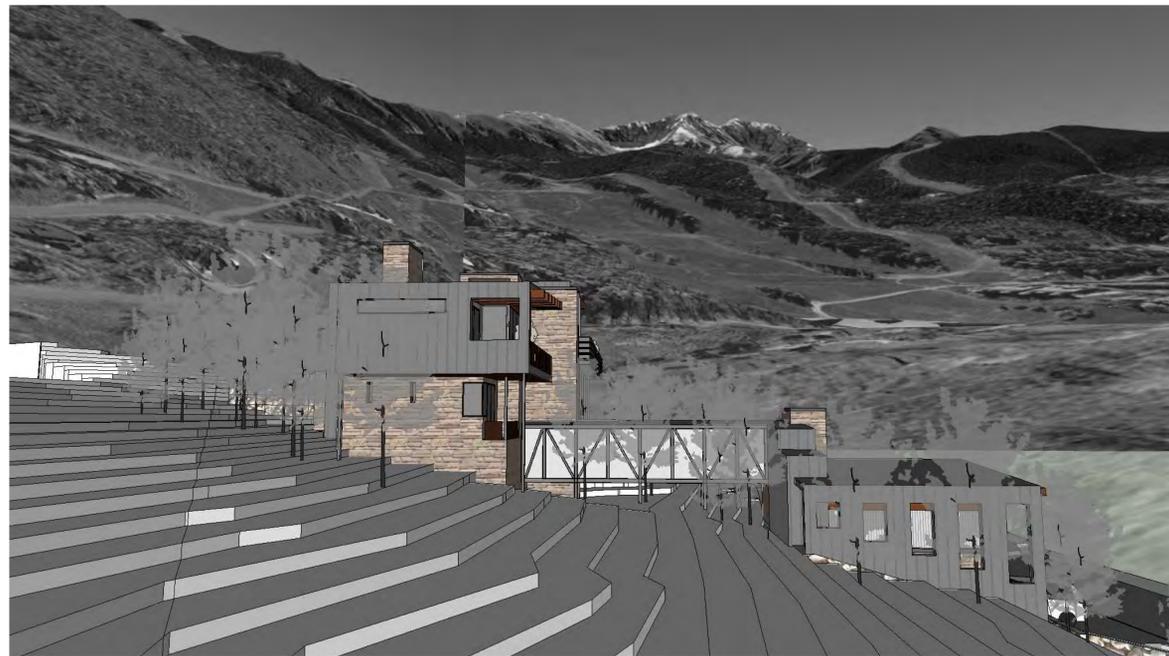
A0.2



WEST VIEW



VIEW TO DALLAS



VIEW TO PALMYRA



ENTRY VIEW TO WILSON

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 BOX 3327 TELJUNCO, COLORADO 81435 970.728.1220
 FAX: 728.1294 WWW.TOMMYHEIN.COM



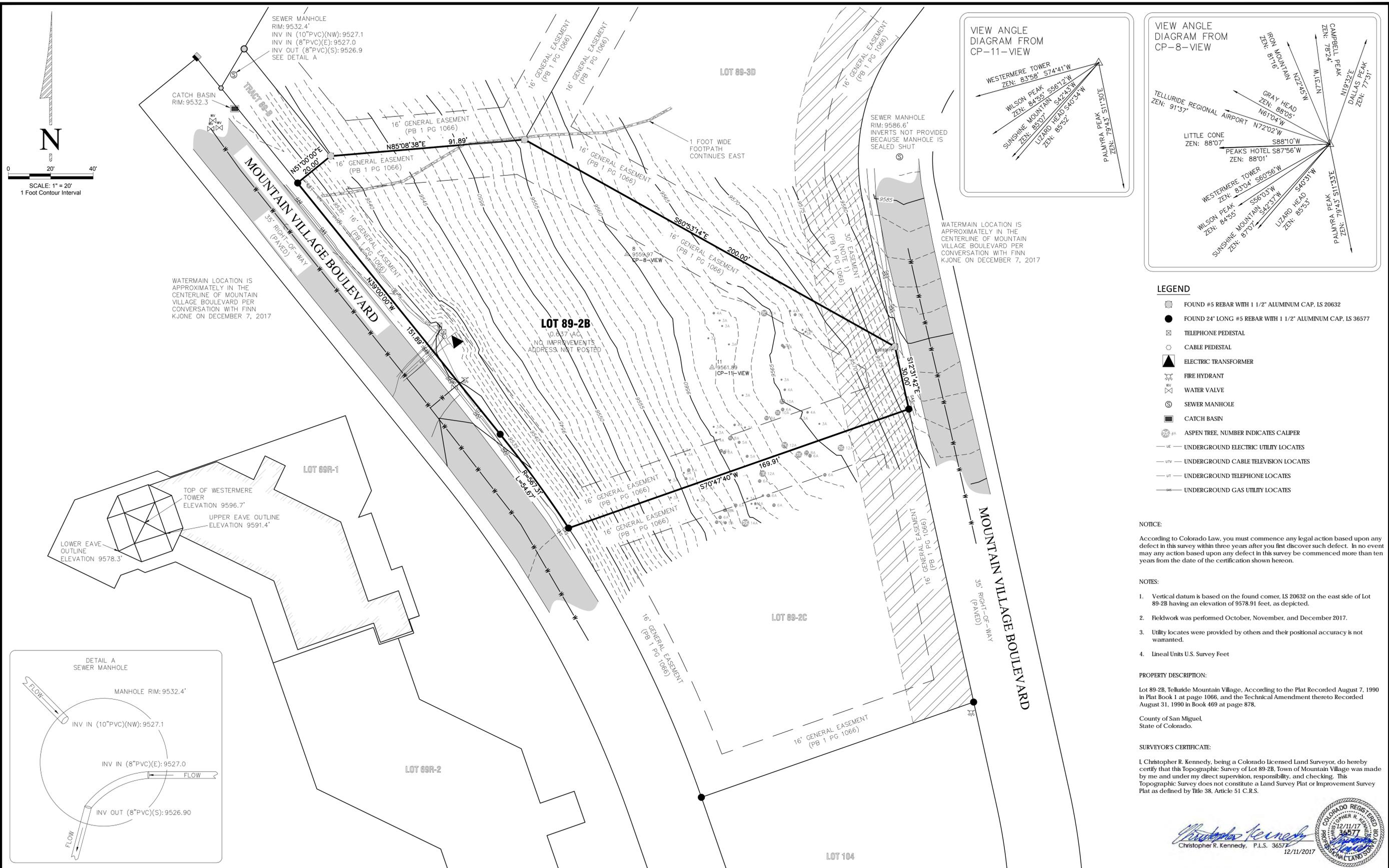
SUBMISSIONS	
CLIENT REVIEW	10-25-17
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DRB REVISED	11-27-17
CLIENT REVIEW	12-14-17
DRB APPLICATION 01	12-22-17

Wylor
 PAD

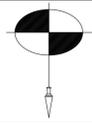
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PERSPECTIVES

A0.3



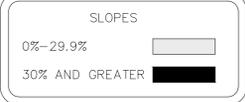
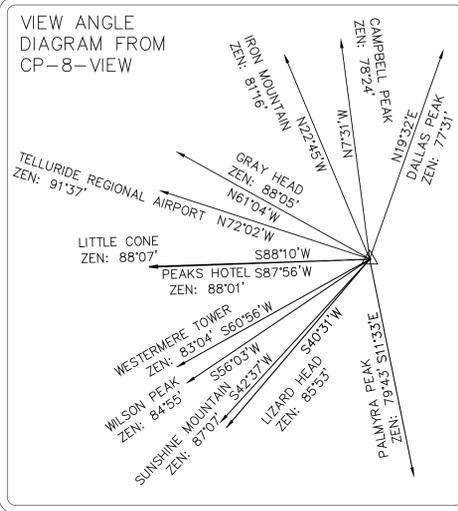
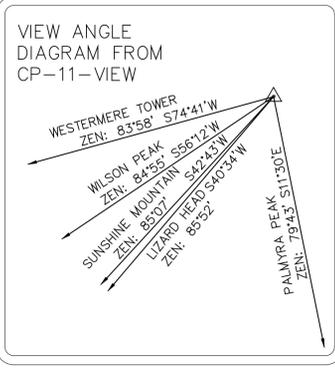
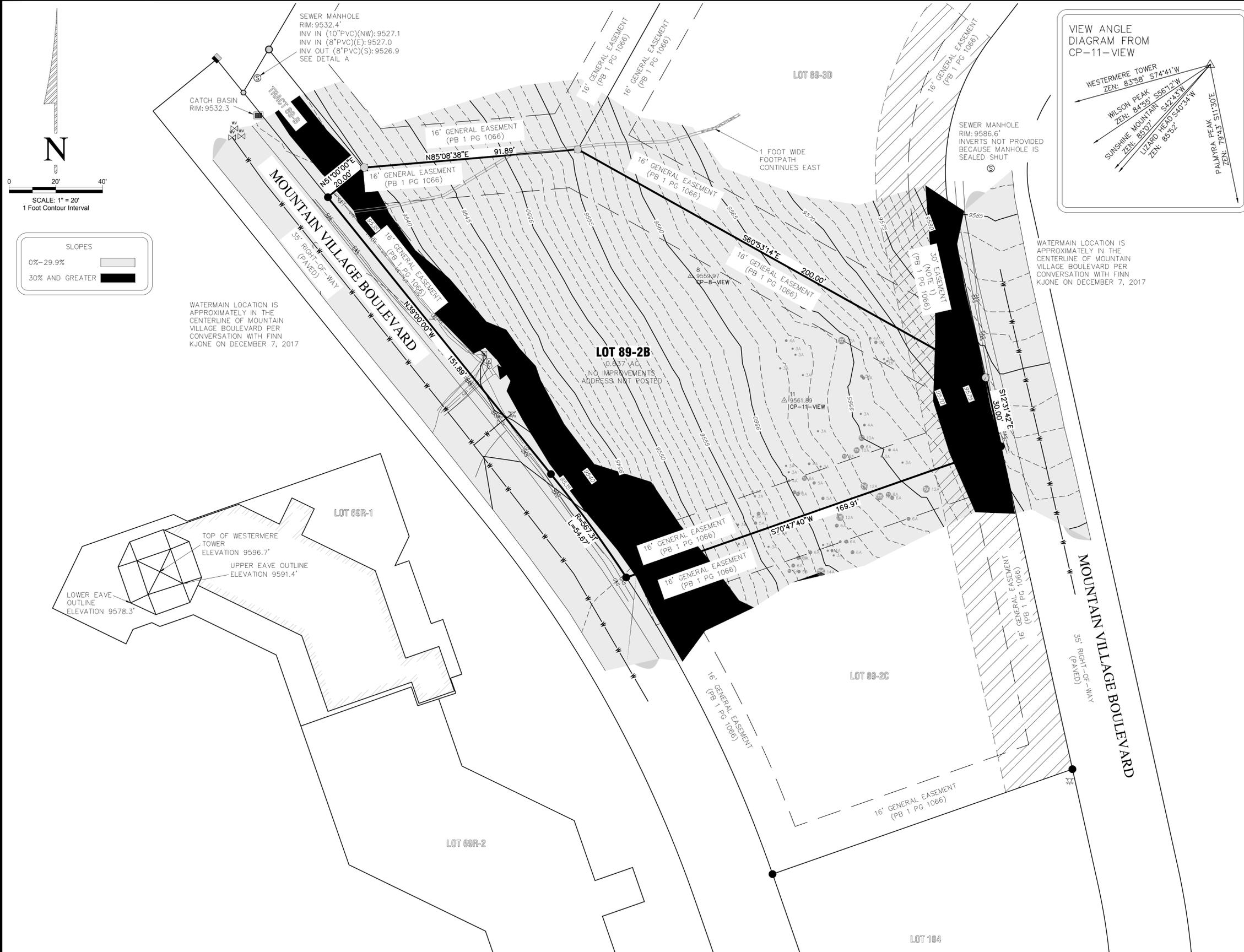
TOPOGRAPHIC SURVEY
LOT 89-2B, TELLURIDE MOUNTAIN VILLAGE



SAN JUAN SURVEYING
 SURVEYING * PLANNING
 102 SOCIETY DRIVE TELLURIDE, CO. 81435
 (970) 728-1128 (970) 728-9201 fax
 office@sanjuansurveying.net

DATE:	12/11/2017
JOB:	04098
DRAWN BY:	ESS
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1

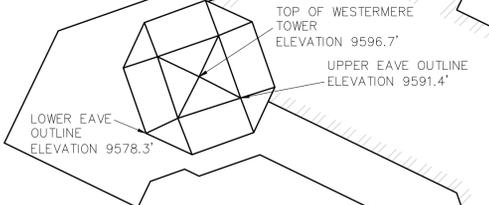
Christopher R. Kennedy, P.L.S. 36577
 12/11/2017



WATERMAIN LOCATION IS APPROXIMATELY IN THE CENTERLINE OF MOUNTAIN VILLAGE BOULEVARD PER CONVERSATION WITH FINN KJONE ON DECEMBER 7, 2017

WATERMAIN LOCATION IS APPROXIMATELY IN THE CENTERLINE OF MOUNTAIN VILLAGE BOULEVARD PER CONVERSATION WITH FINN KJONE ON DECEMBER 7, 2017

LOT 89-2B
 0.337 AC
 NO IMPROVEMENTS
 ADDRESS NOT POSTED



- LEGEND**
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, IS 20632
 - FOUND 24" LONG #5 REBAR WITH 1 1/2" ALUMINUM CAP, IS 36577
 - TELEPHONE PEDESTAL
 - CABLE PEDESTAL
 - ELECTRIC TRANSFORMER
 - FIRE HYDRANT
 - WATER VALVE
 - SEWER MANHOLE
 - CATCH BASIN
 - ASPEN TREE, NUMBER INDICATES CALIPER

According to Colorado law, you may commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

- NOTES:**
1. Vertical datum is based on the found corner, IS 20632 on the east side of Lot 89-2B having an elevation of 9578.91 feet, as depicted.
 2. Fieldwork was performed October, November, and December 2017.
 3. Utility locates were provided by others and their positional accuracy is not warranted.
 4. Lineal Units U.S. Survey Feet

PROPERTY DESCRIPTION:
 Lot 89-2B, Telluride Mountain Village. According to the Plat Recorded August 7, 1990 in Plat Book 1 at page 1066, and the Technical Amendment thereto Recorded August 31, 1990 in Book 469 at page 878.
 County of San Miguel,
 State of Colorado.

SURVEYOR'S CERTIFICATE:
 I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 89-2B, Town of Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

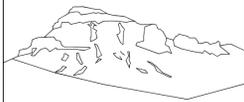
Christopher R. Kennedy
 Christopher R. Kennedy, P.L.S. 36577
 12/11/2017

SLOPE SURVEY

LOT 89-2B, TELLURIDE MOUNTAIN VILLAGE

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 SURVEYING * PLANNING
 102 SOCIETY DRIVE TELLURIDE, CO. 81435
 (970) 728-1128 (970) 728-9201 fax
 office@sanjuansurveying.net

DATE:	12/11/2017
JOB:	04098
DRAWN BY:	ESS
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB APPLICATION 01 2017-12-22

Wylar Residence
Lot 89-2B
Mtn. Village, CO

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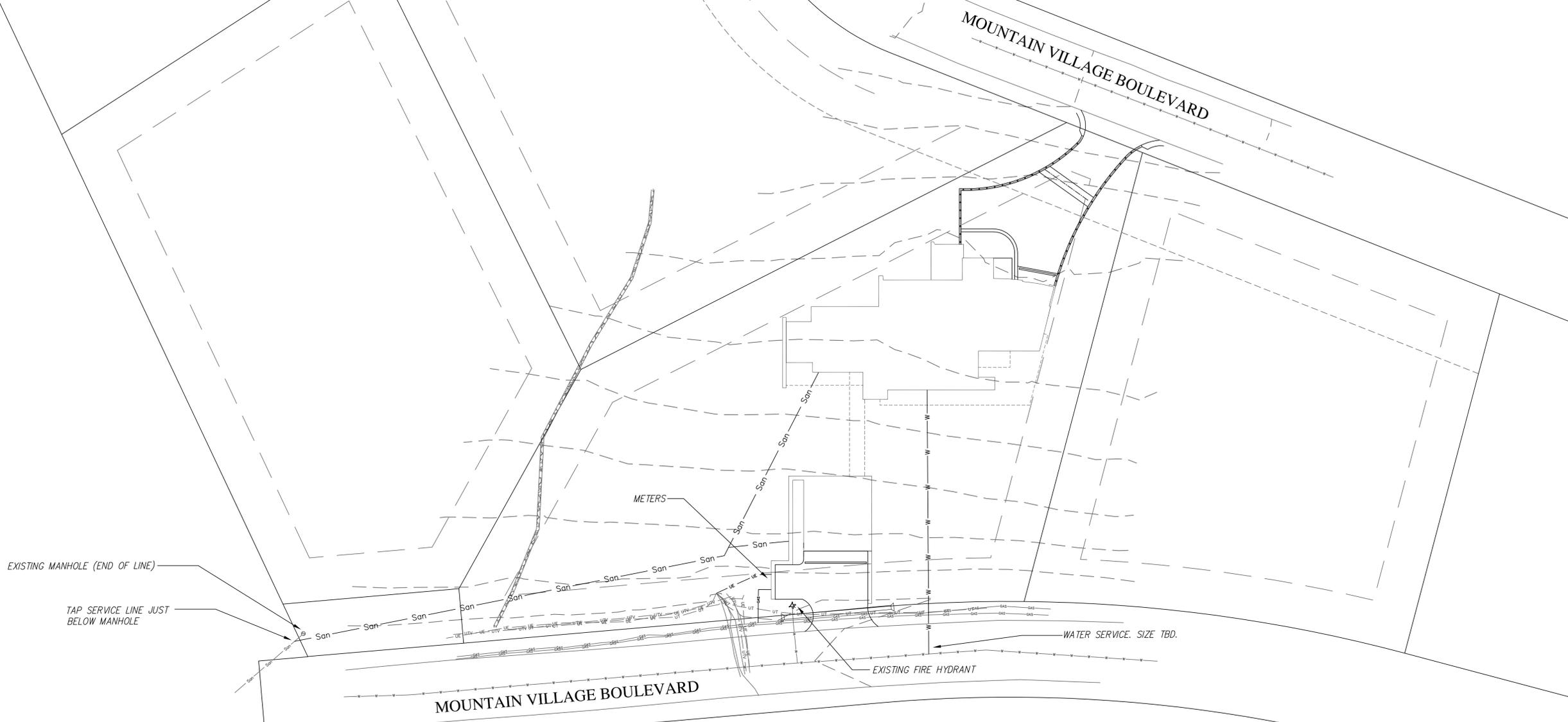
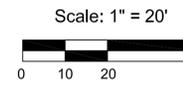
Preliminary
Utility
Plan

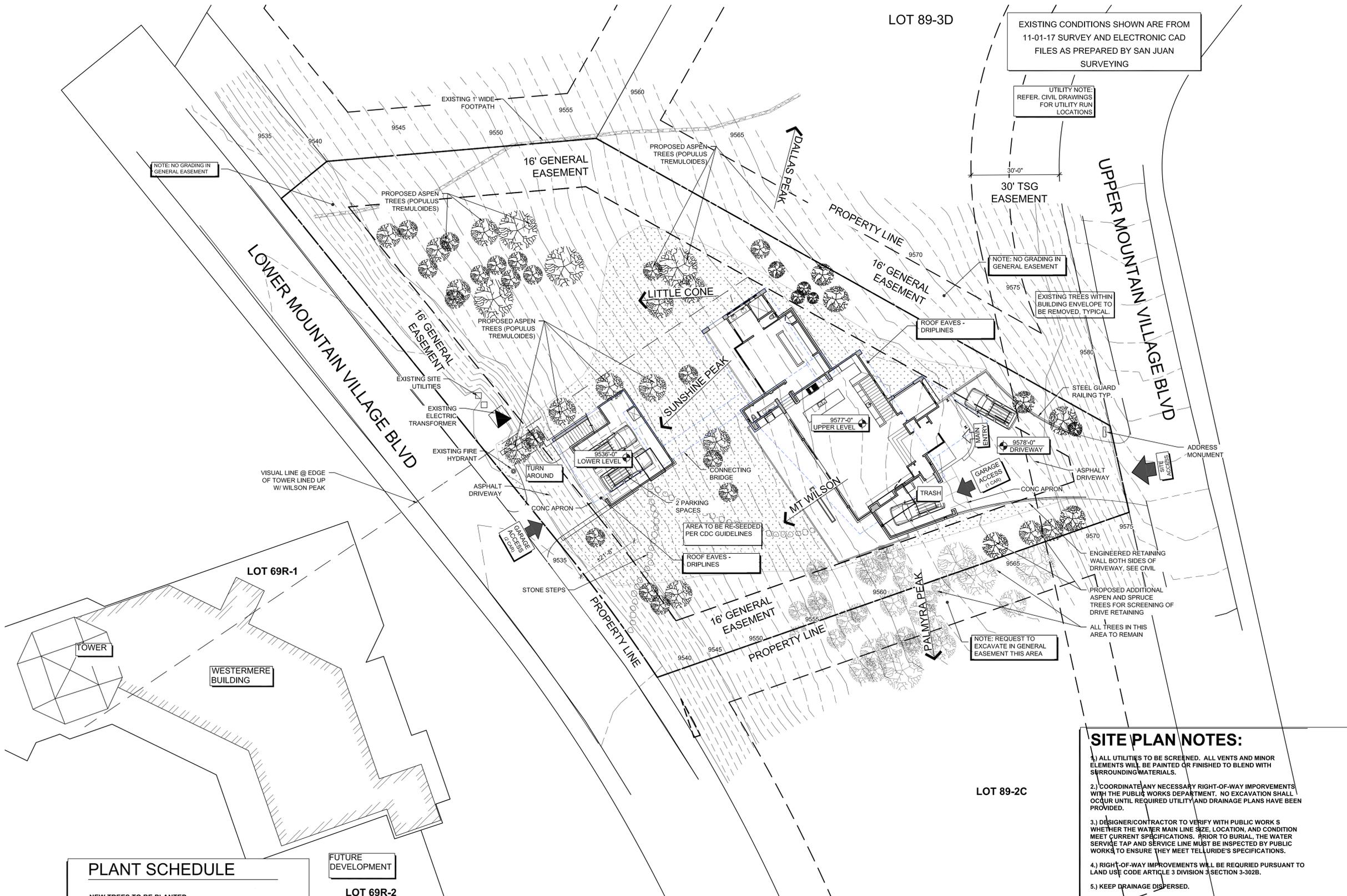
C2

UTILITY NOTES:

UTILITY SERVICE SIZING STILL MUST BE DETERMINED. THIS PLAN SHOWS THE PREFERRED
CONCEPT, BUT ALL UTILITIES MUST BE COORDINATED AND APPROVED BY THE INDIVIDUAL
UTILITY ENTITIES PRIOR TO CONSTRUCTION.

THOSE ENTITIES ARE:
SEWER, WATER, AND CATV BY THE TOWN OF MOUNTAIN VILLAGE
NATURAL GAS BY BLACK HILLS GAS
POWER BY SAN MIGUEL POWER
TELEPHONE BY CENTURY LINK.





LOT 89-3D

EXISTING CONDITIONS SHOWN ARE FROM 11-01-17 SURVEY AND ELECTRONIC CAD FILES AS PREPARED BY SAN JUAN SURVEYING

UTILITY NOTE: REFER. CIVIL DRAWINGS FOR UTILITY RUN LOCATIONS

30'-0" TSG EASEMENT

NOTE: NO GRADING IN GENERAL EASEMENT

EXISTING TREES WITHIN BUILDING ENVELOPE TO BE REMOVED, TYPICAL.

NOTE: REQUEST TO EXCAVATE IN GENERAL EASEMENT THIS AREA

UPPER MOUNTAIN VILLAGE BLVD

LOWER MOUNTAIN VILLAGE BLVD

LOT 69R-1

FUTURE DEVELOPMENT LOT 69R-2

LOT 89-2C

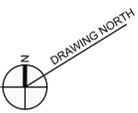
PLANT SCHEDULE

NEW TREES TO BE PLANTED

BOTANICAL NAME	COMMON NAME	SIZE	# TO BE PLANTED
 PICEA PUNGENS	COLORADO SPRUCE	15'-20'	10
 POPULUS TREMULOIDES	QUAKING ASPEN	10'-20'	35

TREE PLANTING OPTION - REMOVE AND STORE SELECTED TREES FOR REPLANTING.

1 SITE/ LANDSCAPE PLAN
SCALE: 1"=16'-0" DRAINAGE - SEE CIVIL



- SITE PLAN NOTES:**
- 1) ALL UTILITIES TO BE SCREENED. ALL VENTS AND MINOR ELEMENTS WILL BE PAINTED OR FINISHED TO BLEND WITH SURROUNDING MATERIALS.
 - 2) COORDINATE ANY NECESSARY RIGHT-OF-WAY IMPROVEMENTS WITH THE PUBLIC WORKS DEPARTMENT. NO EXCAVATION SHALL OCCUR UNTIL REQUIRED UTILITY AND DRAINAGE PLANS HAVE BEEN PROVIDED.
 - 3) DESIGNER/CONTRACTOR TO VERIFY WITH PUBLIC WORKS WHETHER THE WATER MAIN LINE SIZE, LOCATION, AND CONDITION MEET CURRENT SPECIFICATIONS. PRIOR TO BURIAL, THE WATER SERVICE TAP AND SERVICE LINE MUST BE INSPECTED BY PUBLIC WORKS TO ENSURE THEY MEET TELLURIDE'S SPECIFICATIONS.
 - 4) RIGHT-OF-WAY IMPROVEMENTS WILL BE REQUIRED PURSUANT TO LAND USE CODE ARTICLE 3 DIVISION 3 SECTION 3-302B.
 - 5) KEEP DRAINAGE DISPersed.

- REVEGETATION NOTES:**
1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
 2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
 3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN TEN DAYS) TO MINIMIZE EROSION AND WEEDS.
 4. AREAS WHICH HAVE BEEN COMPACTED, OR ARE RELATIVELY UNDISTURBED, NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING.
 5. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY AND 2 TONS PER ACRE FOR STRAW, CRIMP IN.
 6. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
 7. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
 8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 POUNDS PER ACRE:

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STATE OF COLORADO
THOMAS E. HEIN, JR.
8-0180
11-09-2017
LICENSED ARCHITECT

SUBMISSIONS:

CLIENT REVIEW	10-25-17
WORKSESSION 01	11-10-17
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DRB APPLICATION 01	12-22-17

Wylter
PAD

LOT 89-2B
667 MOUNTAIN VILLAGE BLVD.
MOUNTAIN VILLAGE, CO

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SITE LANDSCAPE PLAN

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BUILDING HEIGHT CALCS

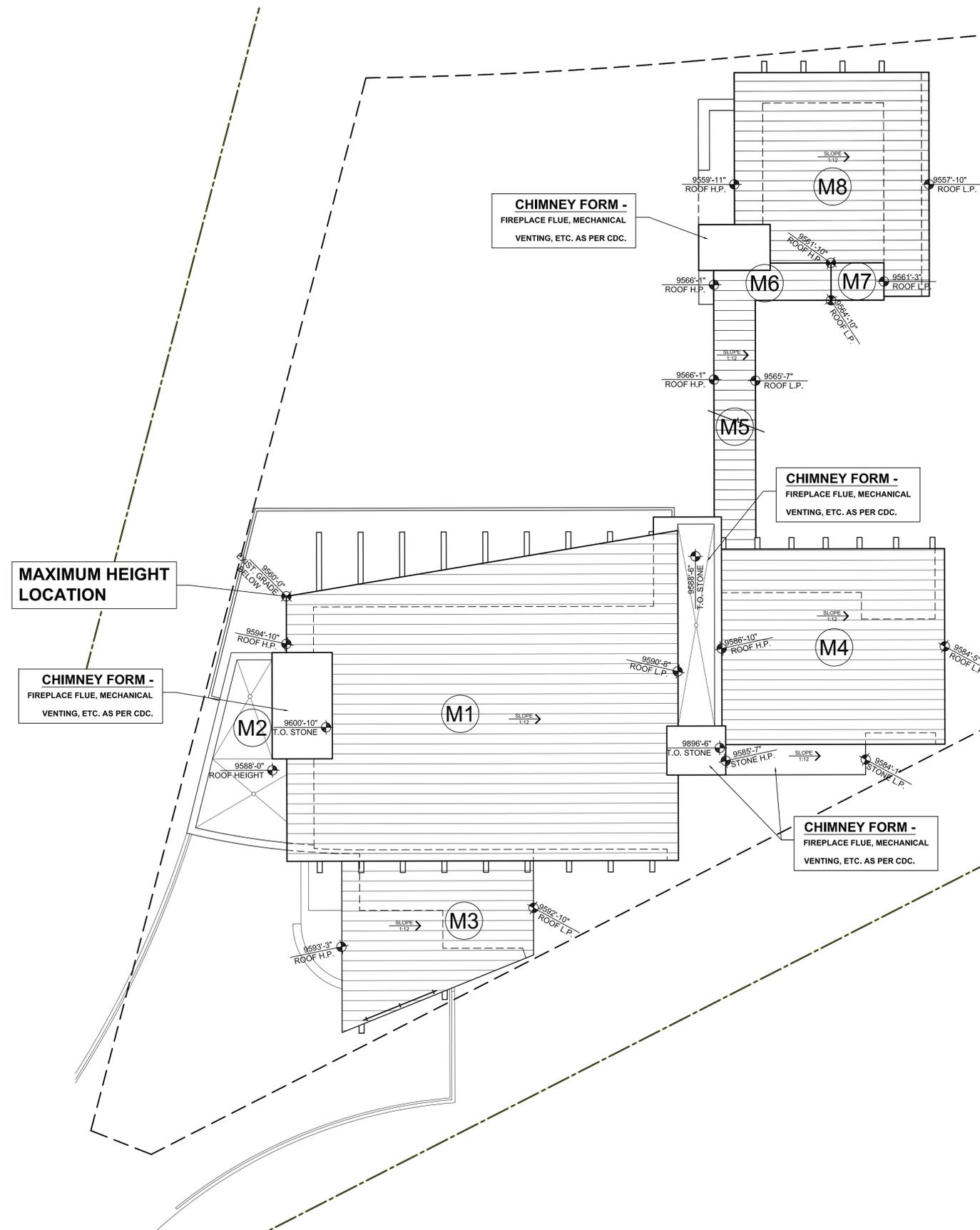
AVERAGE HEIGHT (PER LUC 17.3.11.C)			
M#	ELEVATION AT MEASUREMENT	ELEV. AT MOST RESTRICTIVE GRADE	DIST. ABOVE MOST RESTRICTIVE GRADE
MSRMNT. 1	9592'-11"	9562'	30'-11"
MSRMNT. 2	9588'	9562'	26'-0"
MSRMNT. 3	9588'-1"	9565'	23'-1"
MSRMNT. 4	9585'-8"	9559'	26'-8"
MSRMNT. 5	9565'-10"	9552'	13'-10"
MSRMNT. 6	9565'-3"	9548'	17'-3"
MSRMNT. 7	9561'-6"	9548'	13'-6"
MSRMNT. 8	9558'-10"	9546'	12'-10"

TOTAL OF MEDIAN HEIGHTS	164'-1"
--------------------------------	----------------

AVERAGE HEIGHT - 164'-1" / 8 = 20'-6"
MAX. AVERAGE ALLOWABLE = 30'
COMPLIANT BY 9'-6"

MAXIMUM HEIGHT (PER LUC 17.3.12.A)	
HIGHEST RIDGE	9594'-10"
GRADE BELOW	9560'-0"

MAXIMUM HEIGHT - 34'-10" (SEE A3.3)
MAXIMUM HEIGHT ALLOWABLE
35'-0"
COMPLIANT BY - 0'-2" (SEE A3.3)



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LOT 89-2B
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BUILDING HEIGHT DIAGRAM

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1 BUILDING HEIGHT DIAGRAM
 SCALE: 1/8"= 1'-0"



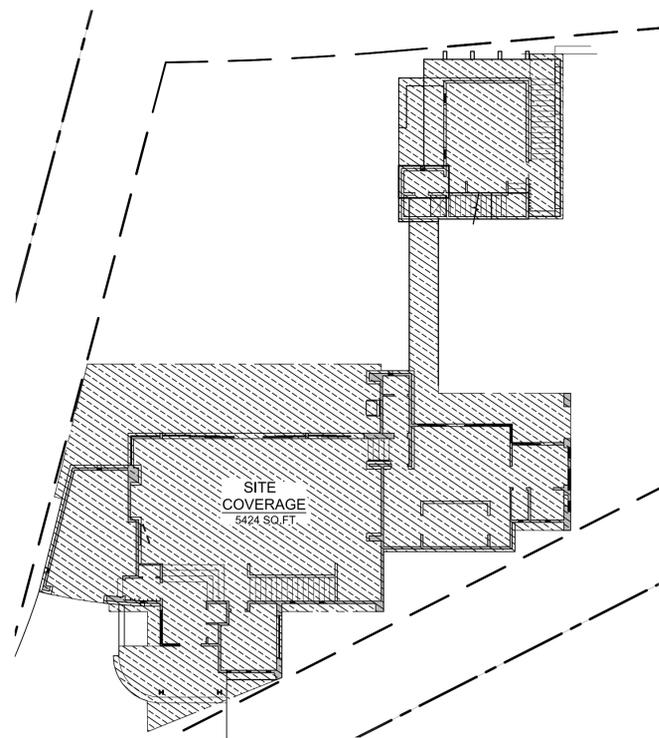
A1.2
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TELLURIDE, COLORADO 81435 970.728.1220
FAX 728.1294 WWW.TOMMYHEIN.COM

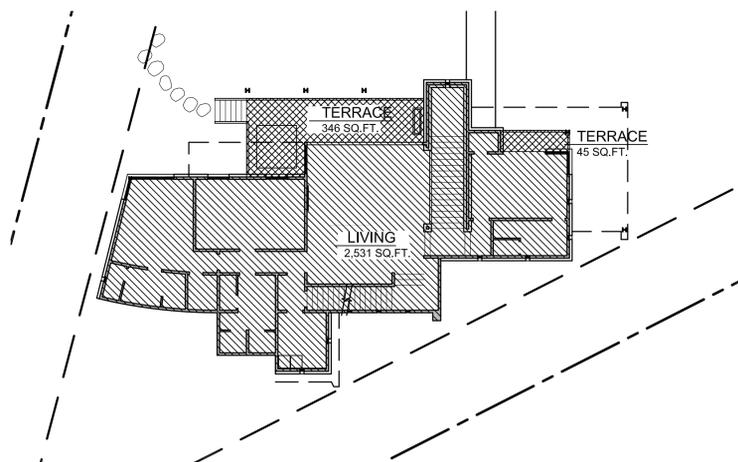


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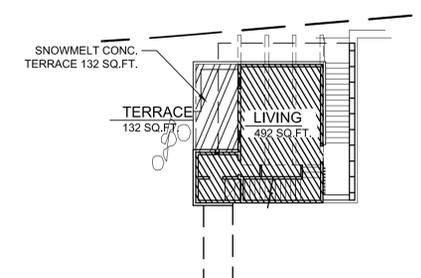


6 SITE / LOT COVERAGE DIAGRAM
SCALE: 1/16" = 1'-0"

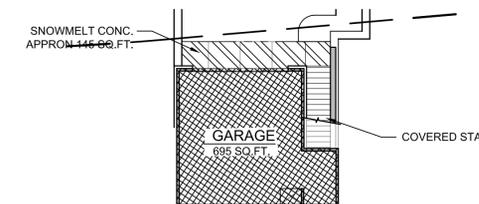
CDC SITE COVERAGE DEFINITION:
THE TOTAL HORIZONTAL AREA OF ANY BUILDING, CARPORT, PORTE-COCHERE OR ARCADE AND SHALL ALSO INCLUDE WALKWAYS, ROOF OVERHANGS, EAVES, EXTERIOR STAIRS, DECKS, COVERED PORCHES, TERRACES AND PATIOS. SUCH HORIZONTAL MEASUREMENT SHALL BE FROM THE DRIP LINES OF BUILDINGS AND FROM THE EXTERIOR SURFACE OF THE TOTAL WALL ASSEMBLY.



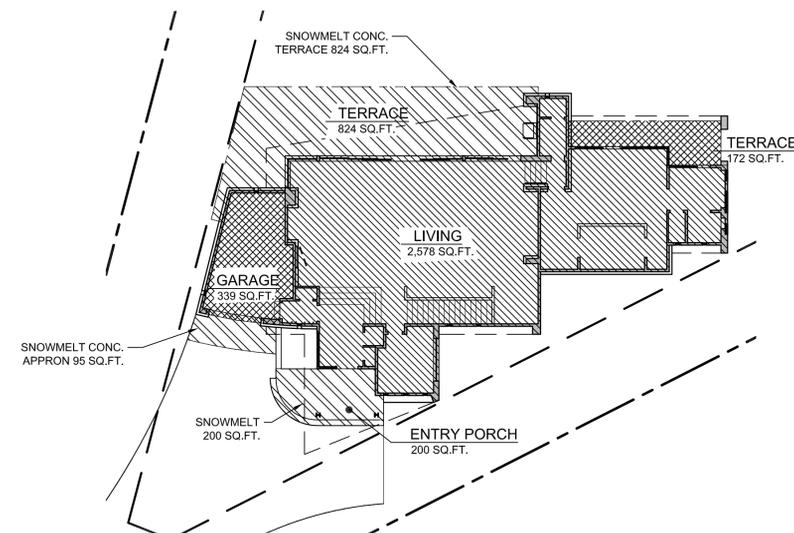
4 FLOOR AREA DIAGRAM- LEVEL 02
SCALE: 1/16" = 1'-0"



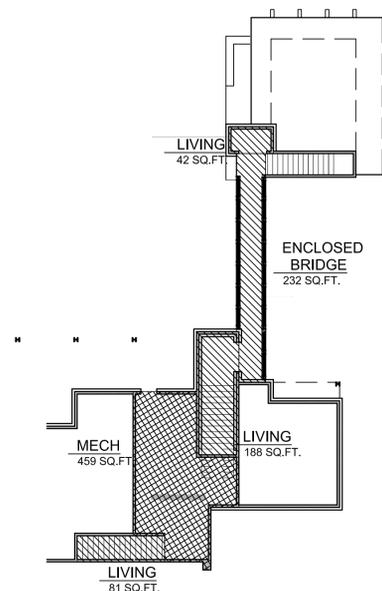
2 FLOOR AREA DIAGRAM LEVEL 00
SCALE: 1/16" = 1'-0" LOUNGE LEVEL



1 FLOOR AREA DIAGRAM
SCALE: 1/16" = 1'-0" BASEMENT / LOWER GARAGE LEVEL



5 FLOOR AREA DIAGRAM- LEVEL 03
SCALE: 1/16" = 1'-0"



3 FLOOR AREA DIAGRAM- LEVEL 01
SCALE: 1/16" = 1'-0"

PROPOSED RESIDENCE SNOW MELT CALCULATIONS	
BASEMENT / LOWER GARAGE LEVEL	
CONC APRON	= 145 SQ. FT.
LOUNGE LEVEL 00	
TERRACE	= 132 SQ. FT.
LEVEL 03	
TERRACE	= 824 SQ. FT.
CONC APRON	= 95 SQ. FT.
ENTRY PORCH	= 200 SQ. FT.
TOTAL SNOW MELT AREA	= 1,396 SQ. FT.

PROPOSED RESIDENCE FLOOR AREA CALCULATIONS	
BASEMENT / LOWER GARAGE LEVEL	
GARAGE (NON-LIVABLE)	= 695 SQ. FT.
LOUNGE LEVEL 00	
LIVING	= 492 SQ. FT.
LEVEL 01	
LIVING	= 543 SQ. FT.
MECH (NON-LIVABLE)	= 459 SQ. FT.
LEVEL 02	
LIVING	= 2,531 SQ. FT.
LEVEL 03	
LIVING	= 2,578 SQ. FT.
GARAGE (NON-LIVABLE)	= 339 SQ. FT.
TOTAL LIVABLE AREA	
LIVABLE FLOOR AREA	= 6,144 SQ. FT.
TOTAL GROSS AREA	
GROSS FLOOR AREA	= 7,637 SQ. FT.

PROPOSED RESIDENCE PORCHES / TERRACES	
LOUNGE LEVEL 00	
TERRACE (NON-LIVABLE)	= 132 SQ. FT.
LEVEL 02	
TERRACE (NON-LIVABLE)	= 391 SQ. FT.
LEVEL 03	
PORCH (NON-LIVABLE)	= 200 SQ. FT.
TERRACE (NON-LIVABLE)	= 996 SQ. FT.
TOTAL PORCHES / TERRACES	= 1,719 SQ. FT.

Wyer
PAD

LOT 89-2B
667 MOUNTAIN VILLAGE BLVD.
MOUNTAIN VILLAGE, CO

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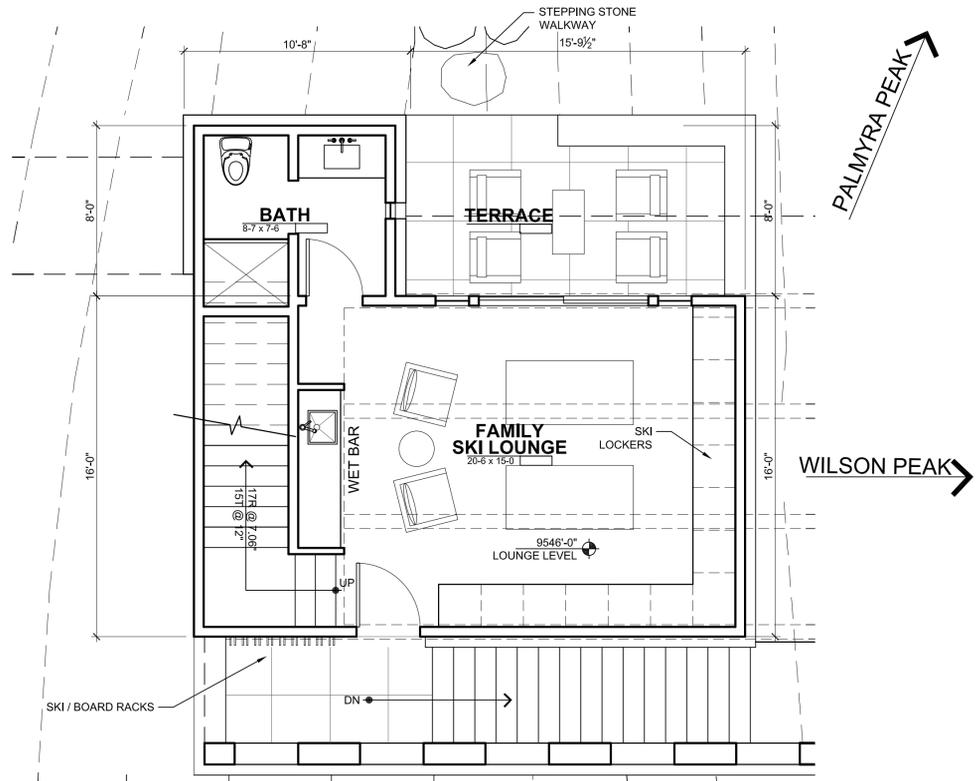
AREA CALCULATIONS SNOWMELT/HERS

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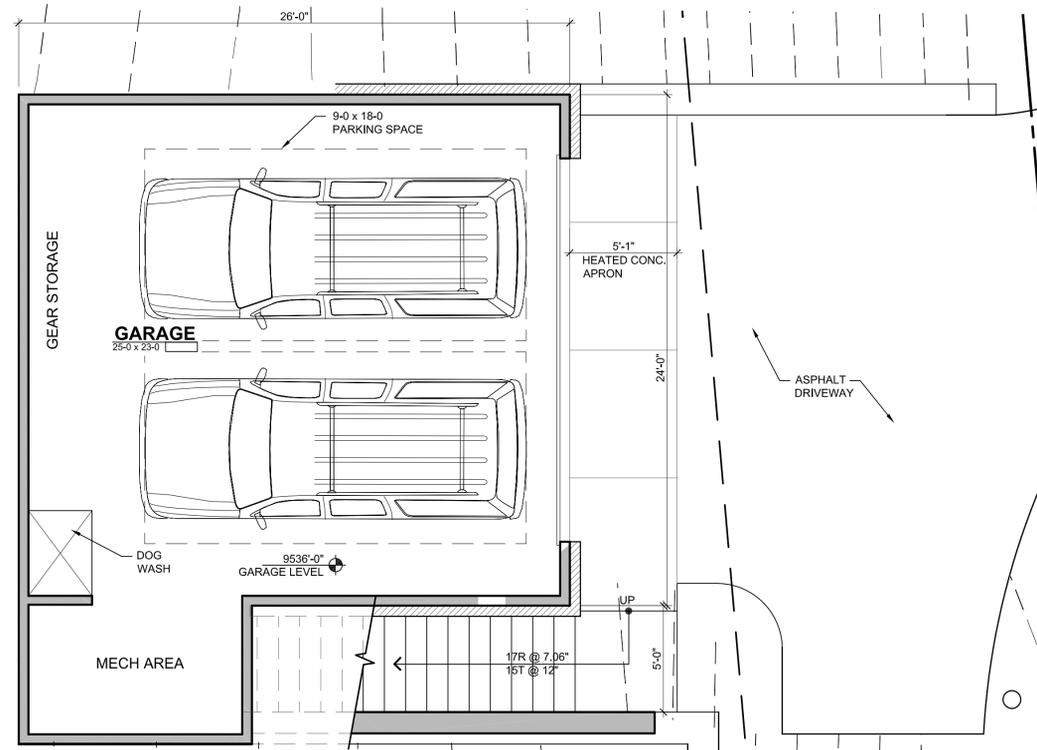
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NOT FOR CONSTRUCTION

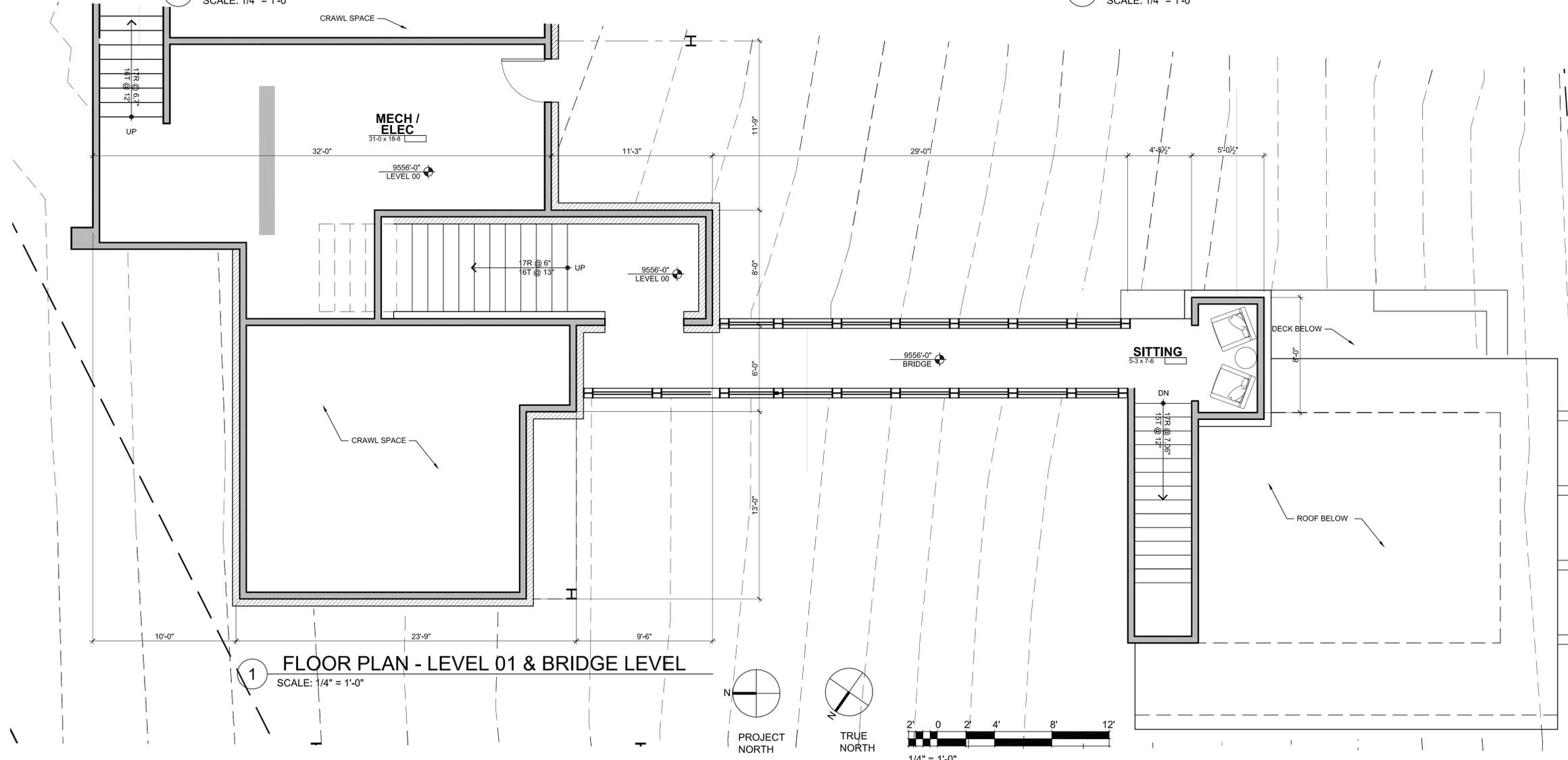




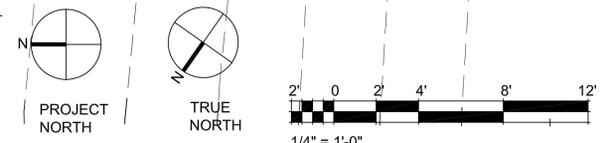
3 FLOOR PLAN - LEVEL 00 LOUNGE
SCALE: 1/4" = 1'-0"



2 FLOOR PLAN - BASEMENT / LOWER GARAGE LEVEL
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN - LEVEL 01 & BRIDGE LEVEL
SCALE: 1/4" = 1'-0"



Tommy Hein
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FAX 728.1294 WWW.TOMMYHEIN.COM

SUBMISSIONS:

CLIENT REVIEW	10-25-17
WORKSESSION 01	11-10-17
DRB REVISED	11-27-17
CLIENT REVIEW	12-14-17
DRB APPLICATION 01	12-22-17

Wyer
PAD

LOT 89-2B
667 MOUNTAIN VILLAGE BLVD.
MOUNTAIN VILLAGE, CO

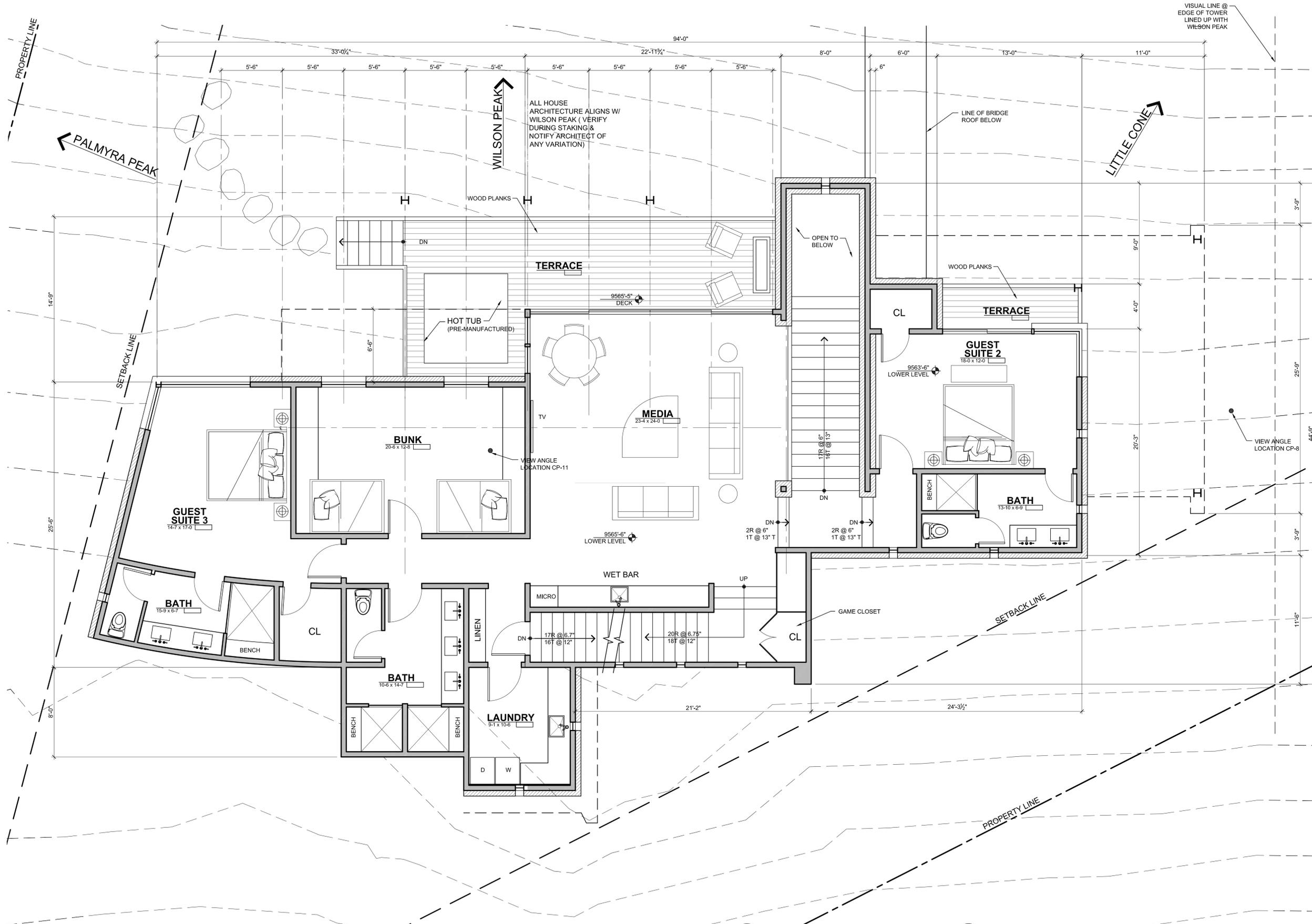
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FLOOR PLAN
LEVEL 00 &
LEVEL 01

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A2.1

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SUBMISSIONS:

CLIENT REVIEW	10-25-17
WORKSESSION 01	11-10-17
DRB REVISED	11-27-17
CLIENT REVIEW	12-14-17
DRB APPLICATION 01	12-22-17

Wyer
 PAD

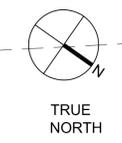
LOT 89-2B
 667 MOUNTAIN VILLAGE BLVD.
 MOUNTAIN VILLAGE, CO

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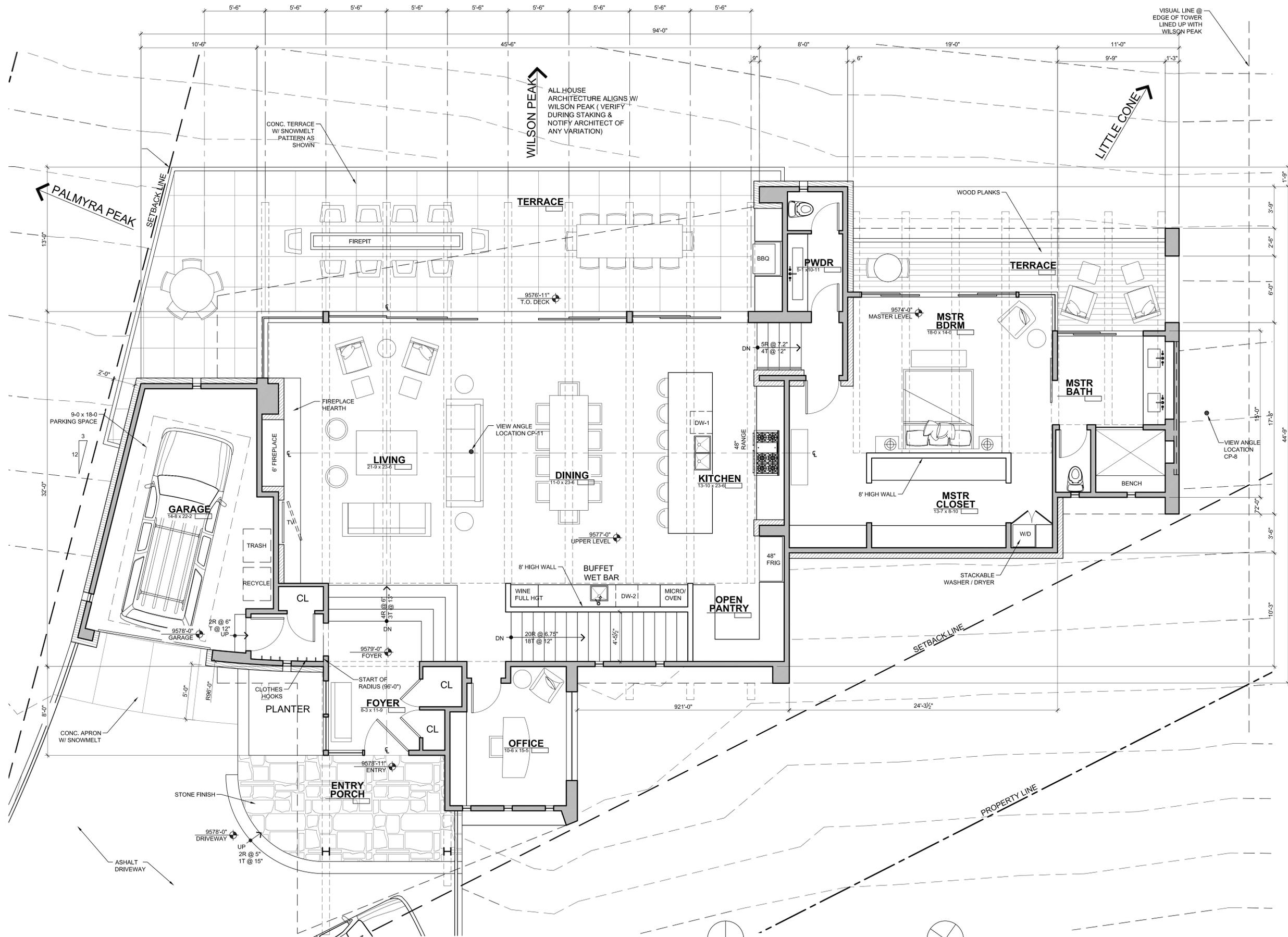
FLOOR PLAN LEVEL 02

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

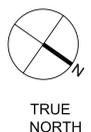
1 FLOOR PLAN - LEVEL 02
 SCALE: 1/4" = 1'-0"



A2.2
 NOT FOR CONSTRUCTION



1 FLOOR PLAN - LEVEL 02
SCALE: 1/4" = 1'-0"



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SUBMISSIONS:

CLIENT REVIEW	10-25-17
WORKSESSION 01	11-10-17
DRB REVISED	11-27-17
CLIENT REVIEW	12-14-17
DRB APPLICATION 01	12-22-17

Wyer
PAD

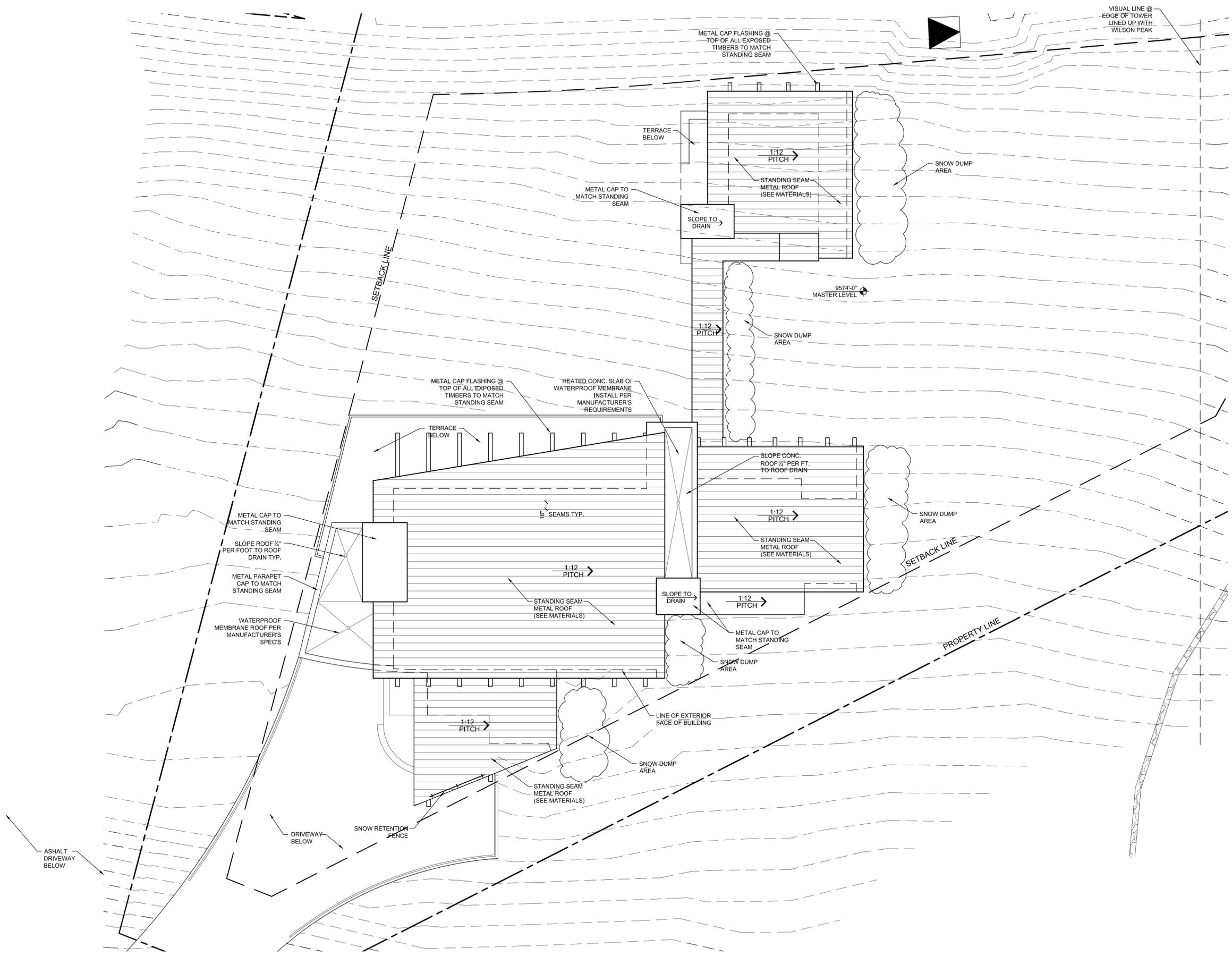
LOT 89-2B
667 MOUNTAIN VILLAGE BLVD.
MOUNTAIN VILLAGE, CO

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FLOOR PLAN
LEVEL 03

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A2.3
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SUBMISSIONS:

CLIENT REVIEW	10-25-17
WORKSESSION 01	11-10-17
DRB REVISED	11-27-17
CLIENT REVIEW	12-14-17
DRB APPLICATION 01	12-22-17

Wyler
PAD

LOT 89-2B
 667 MOUNTAIN VILLAGE BLVD.
 MOUNTAIN VILLAGE, CO

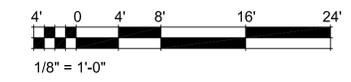
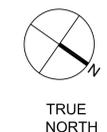
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ROOF PLAN

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A2.4
 NOT FOR CONSTRUCTION

1 ROOF PLAN
 SCALE: 1/8" = 1'-0"



MATERIAL KEY: (typ all elevations)

STANDING SEAM BONDERIZED ROOF, WALLS, & FASCIA		RUBBLE STONE IN HILFIKER WALL & LOWER RETAINING	
+/- 8" BARNWOOD W/ 1/4" REVEAL		INDIANA BUFF LIMESTONE VENEER, RANDOM ASHLAR PATTERN	
BOARD FORMED CONCRETE		EXPOSED C-CHANNEL STEEL RAILING, PAINED MED-GREY	
ROUGH SAWN TIMBER BEAMS		SOLID STEEL PANEL RAILING, BRONZE PAINT TO MATCH WINDOWS	

LOWEN WINDOWS - BRONZE ANODIZED



EXTERIOR MATERIAL CALCULATIONS

	NORTH	SOUTH	EAST	WEST
STONE	1,042.1	1,773.6	1,430.1	1,080.3
GLASS	182.5	1,048.6	718.9	378.4
SIDING	891.8	364.6	173	291.5
METAL	313	298.9	146.3	1,201.9
STEEL	18.3	510.6	213.4	112.1
TIMBER	29.1	162.3	188.9	210.2
CONCRETE	121.6	44.4	10.9	0
% GLAZING PER ELEVATION	7%	24.9%	24.9%	11.6%

MAXIMUM GLAZING CALCULATION

40% MAX GLAZING ALLOWABLE= 5,182.9 S.F.
 GLAZING PROVIDED = 2,328.4 S.F. or 18%
 COMPLIANT BY= 2,854.5 S.F. or 22%

STONE REQUIREMENT CALCULATION

35% STONE REQUIREMENT= 4,535.1 S.F.
 STONE PROVIDED = 5,326.1 S.F. or 41.1%
 COMPLIANT BY= 791 S.F. or 5.1%

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 TELLURIDE, COLORADO 81435 970.728.1230
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SUBMISSIONS

CLIENT REVIEW	10-25-17
WORKSESSION 01	11-10-17
DRB REVISED	11-27-17
CLIENT REVIEW	12-14-17
DRB APPLICATION 01	12-22-17



Wyer
 PAD

LOT 89-2B
 667 MOUNTAIN VILLAGE BLVD.
 MOUNTAIN VILLAGE, CO

SOUTH ELEVATION

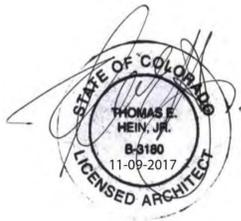
A3.1

1 SOUTH ELEVATION
 SCALE: 3/16"=1'-0"

MATERIAL KEY: (typ all elevations)

STANDING SEAM BONDORIZED ROOF, WALLS, & FASCIA		RUBBLE STONE IN HILFIKER WALL & LOWER RETAINING		LOWEN WINDOWS - BRONZE ANODIZED	
+/- 8" BARNWOOD W/ 1/4" REVEAL		INDIANA BUFF LIMESTONE VENEER, RANDOM ASHLAR PATTERN			
BOARD FORMED CONCRETE		EXPOSED C-CHANNEL STEEL RAILING, PAINED MED-GREY			
ROUGH SAWN TIMBER BEAMS		SOLID STEEL PANEL RAILING, BRONZE PAINT TO MATCH WINDOWS			
EXPOSED W8-STEEL MEMBERS, PAINTED MED-GREY					

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SUBMISSIONS	
CLIENT REVIEW	10-25-17
WORKSESSION 01	11-10-17
DRB REVISED	11-27-17
CLIENT REVIEW	12-14-17
DRB APPLICATION 01	12-22-17



Wyer
PAD
LOT 89-2B
667 MOUNTAIN VILLAGE BLVD.
MOUNTAIN VILLAGE, CO

NORTH ELEVATION

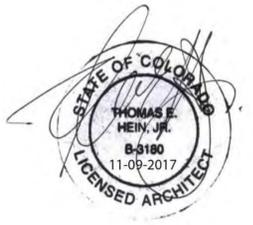
A3.2

1 NORTH ELEVATION
SCALE: 3/16"=1'-0"

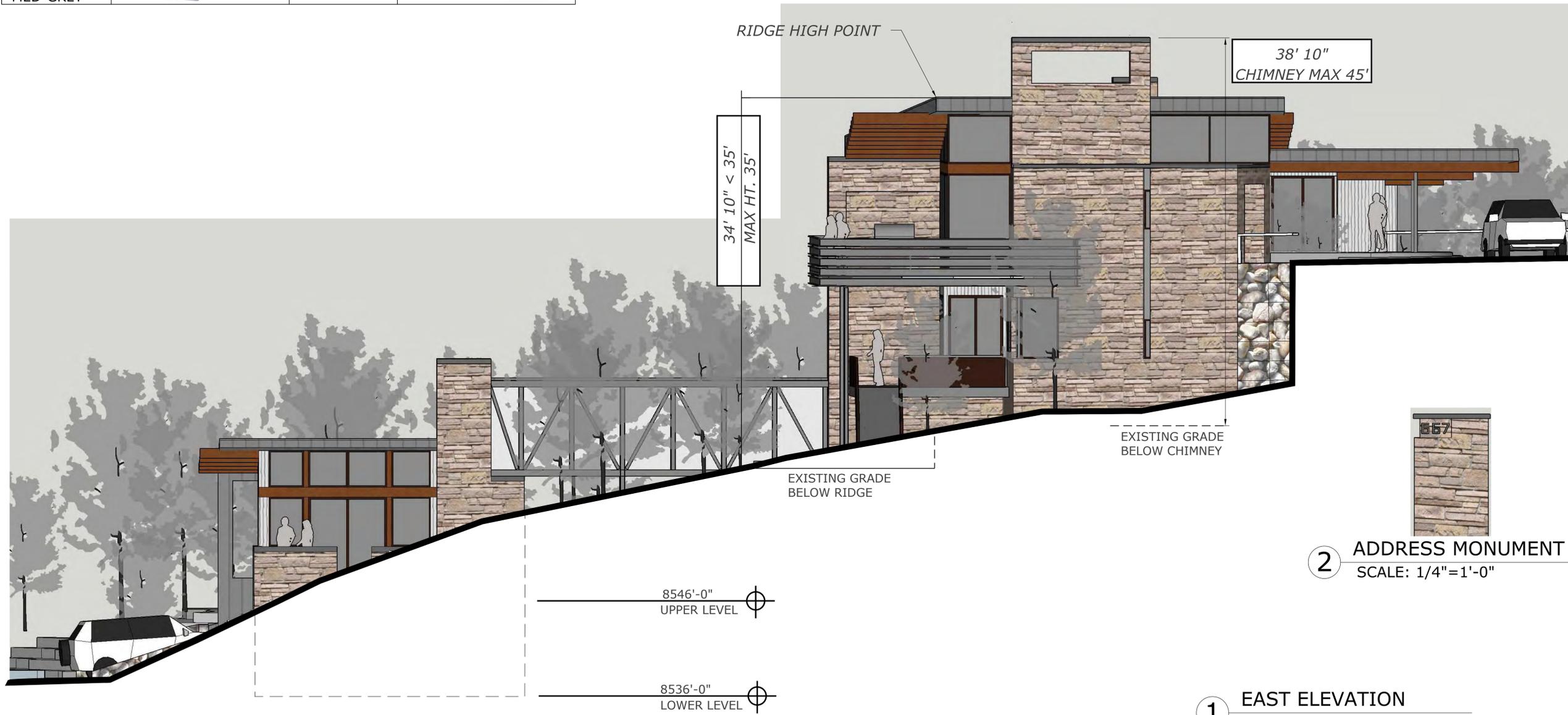
MATERIAL KEY: (typ all elevations)

STANDING SEAM BONDORIZED ROOF, WALLS, & FASCIA		RUBBLE STONE IN HILFKER WALL & LOWER RETAINING		LOWEN WINDOWS - BRONZE ANODIZED	
+/- 8" BARNWOOD W/ 1/4" REVEAL		INDIANA BUFF LIMESTONE VENEER, RANDOM ASHLAR PATTERN			
BOARD FORMED CONCRETE		EXPOSED C-CHANNEL STEEL RAILING, PAINED MED-GREY			
ROUGH SAWN TIMBER BEAMS					
EXPOSED W8-STEEL MEMBERS, PAINTED MED-GREY		SOLID STEEL PANEL RAILING, BRONZE PAINT TO MATCH WINDOWS			

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SUBMISSIONS	
CLIENT REVIEW	10-25-17
WORKSESSION 01	11-10-17
DRB REVISED	11-27-17
CLIENT REVIEW	12-14-17
DRB APPLICATION 01	12-22-17



1 EAST ELEVATION
SCALE: 3/16"=1'-0"

Wyer
PAD

LOT 89-2B
667 MOUNTAIN VILLAGE BLVD.
MOUNTAIN VILLAGE, CO

EAST ELEVATION

A3.3

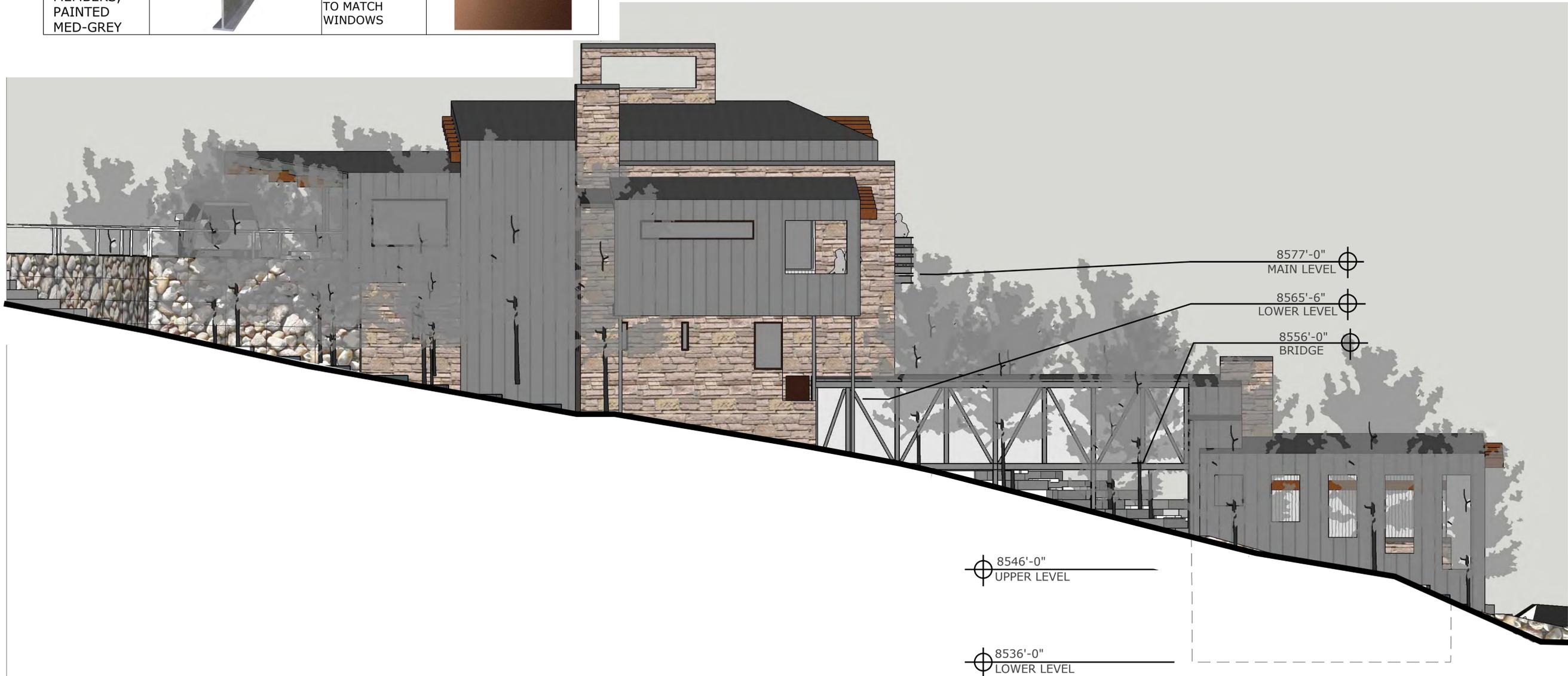
MATERIAL KEY: (typ all elevations)

STANDING SEAM BONDORIZED ROOF, WALLS, & FASCIA		RUBBLE STONE IN HILFIKER WALL & LOWER RETAINING		LOWEN WINDOWS - BRONZE ANODIZED	
+/- 8" BARNWOOD W/ 1/4" REVEAL		INDIANA BUFF LIMESTONE VENEER, RANDOM ASHLAR PATTERN			
BOARD FORMED CONCRETE		EXPOSED C-CHANNEL STEEL RAILING, PAINED MED-GREY			
ROUGH SAWN TIMBER BEAMS					
EXPOSED W8-STEEL MEMBERS, PAINTED MED-GREY		SOLID STEEL PANEL RAILING, BRONZE PAINT TO MATCH WINDOWS			

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SUBMISSIONS	
CLIENT REVIEW	10-25-17
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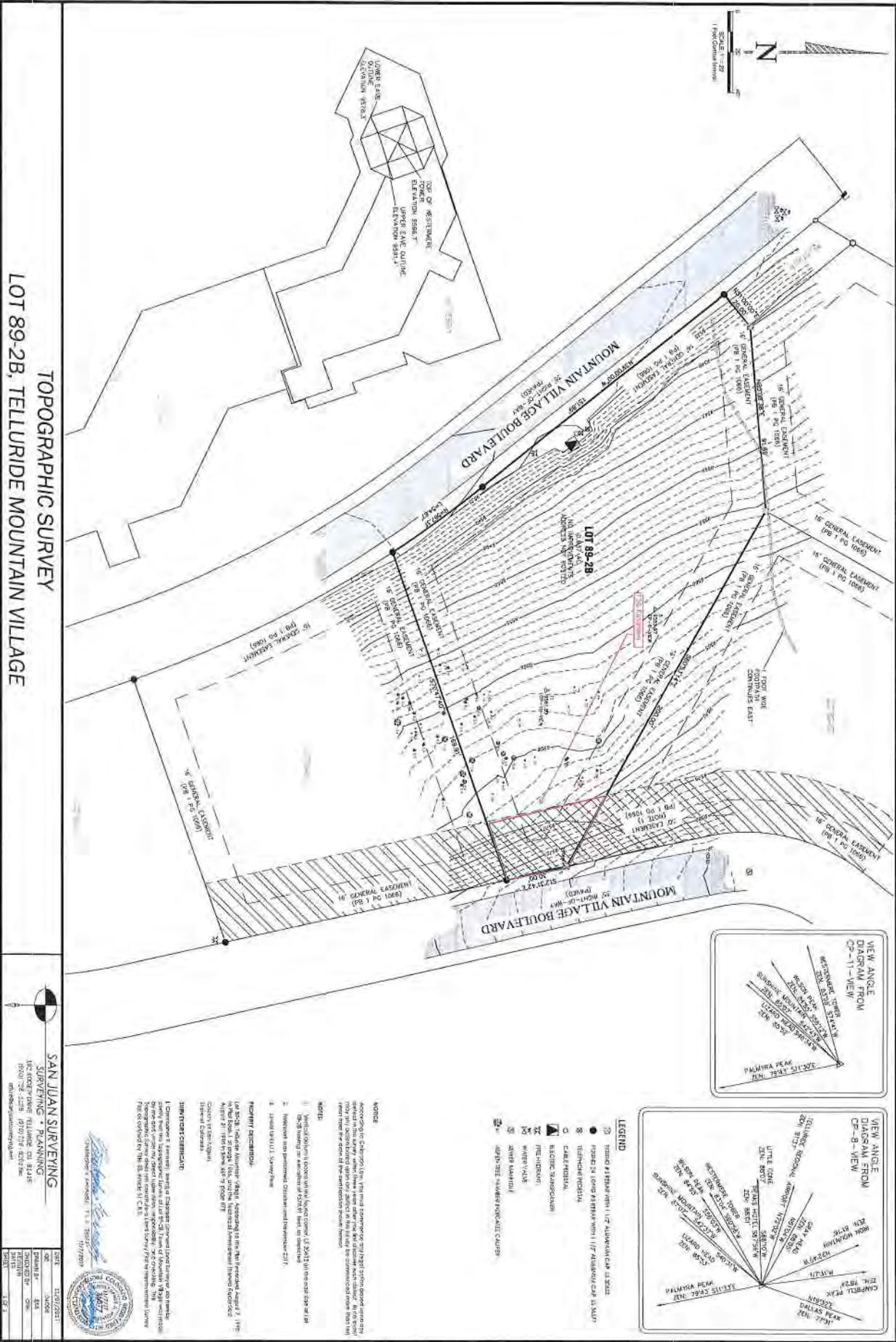


Wyer
PAD
LOT 89-2B
667 MOUNTAIN VILLAGE
BLVD.
MOUNTAIN VILLAGE,
CO

WEST
ELEVATION

A3.4

1 WEST ELEVATION
SCALE: 3/16"=1'-0"



TOPOGRAPHIC SURVEY
LOT 89-2B, TELLURIDE MOUNTAIN VILLAGE

SAN JUAN SURVEYING
 SURVEYING • PLANNING
 1422 ROCKY MOUNTAIN BLVD
 STE 200 • COLO SPRING, CO 80901
 PH: 719.261.1111 FAX: 719.261.1112
 www.sanjuanurvey.com

DATE: 11/07/2011
 DRAWN BY: JAC
 CHECKED BY: JAC
 REVIEWED BY: JAC
 SCALE: 1" = 20'



NOTICE:
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LEGEND:
 1. 1" = 20' SCALE
 2. 1" = 20' SCALE
 3. 1" = 20' SCALE
 4. 1" = 20' SCALE
 5. 1" = 20' SCALE

VIEW ANGLE DIAGRAM FROM CP-11 - VIEW
 This diagram shows the view from CP-11 towards the mountain range. The view is unobstructed and provides a clear view of the terrain and buildings.

VIEW ANGLE DIAGRAM FROM CP-8 - VIEW
 This diagram shows the view from CP-8 towards the mountain range. The view is unobstructed and provides a clear view of the terrain and buildings.

CONSENT TO DRIVEWAY IMPROVEMENTS
 I, the undersigned, hereby consent to the installation and maintenance of a driveway on the property described herein, subject to the terms and conditions set forth herein.

NOTICE:
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From: Jim Stowers <Jim@OxfordCos.com>
Sent: Tuesday, January 16, 2018 8:04 PM
To: Dave Bangert
Cc: TD Smith
Subject: DRB re: Lot 89-2B Design review

I am the owner of Lot 89-2C, adjacent to this proposed development on Lot 89-2B. There does not appear to be an east elevation from grade level that would show the massive wall that supports the driveway etc. I was wondering if there is an elevation that would show the view from our future home elevation, grade level. The elevation shown cuts out the driveway and the other East elevation is from a bird's eye view. I also have concerns about the structure extending all the way down the hillside with significant height all the way down. This would block all of my views to the West. In addition, is the height limit based on the average height of the buildable area or the middle of the lot?

Thank you in advance for any help you can provide in better understanding this perspective and the final height.

I certainly want to work with the Wyler's to get them the home they can enjoy while protecting my interest as well.

Regards,
Jim

James E. Stowers III
Oxford Companies
411 Nichols Rd Suite 209
Kansas City, MO 64112
816-531-7700 Main
816-547-8788 Mobile



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

Agenda Item No. 9

TO: Design Review Board
FROM: Sam Starr, Planner
FOR: Meeting of February 1, 2018
DATE: January 25, 2017
RE: A recommendation to Town Council regarding a proposed density transfer and rezone application for lot 628B, to transfer one density unit (four-person equivalent density) into the density bank.

PROJECT GEOGRAPHY

Project Description: A recommendation to Town Council regarding a proposed density transfer and rezone application for lot 628B to transfer one density unit (four-person equivalent density) into the density bank. This is associated with a minor subdivision application for lots 628A, 628B, and 628C, which subdivides (replats) three lots into two lots by incorporating lot 628B equally into lot 628A and Lot 628C.

Legal Description: Lot 628B, Town of Mountain Village according to Plat Book 1, Page 1159 according to records of San Miguel County, Colorado.

Address: 105 Double Eagle Way

Applicant/Agent: Tom Beck.

Owner: Tom Beck/Total Planning, LLC.

Zoning: Single Family

Existing Use: Vacant land

Proposed Use: Replat into adjacent properties and a substantial portion of the area formerly known as Lot 628B.

Lot Size: .362 acres

Adjacent Land Uses:

- **North:** Open Space
- **South:** Single Family
- **East:** Single Family
- **West:** Single Family

ATTACHMENTS

- Exhibit A: Applicant's Narrative
- Exhibit B: Minor Scale Subdivision (replat) document

BACKGROUND

The owners of lot 628A, 628B and 628C have submitted application to replat the properties into two lots from three lots. Lot 628B will be replat equally into Lot 628A and 628C. The area formerly called lot 628B will have a private covenant precluding any buildings on a substantial portion of the newly replatted portion of the lots. In order to propose a minor subdivision application, the applicants have submitted two concurrent applications 1) transfer the density associated with this

lot to the density bank (a rezone and density transfer application) and 2) submit a minor subdivision application. Both applications have been received and are being reviewed concurrently. A recommendation from the DRB for the density transfer rezone portion is part of the review process. The minor subdivision application will be reviewed concurrently by the Town Council with the rezone and density transfer application on February 15th 2018.

CRITERIA AND ANALYSIS

To transfer density to the Density Bank the rezoning process must be followed, which includes a recommendation by the Design Review Board and final action by the Town Council. The following criteria must be met for the review authority to approve a rezoning application:

- a. The proposed rezoning is in general conformance with the goals, policies and provisions of the Comprehensive Plan;
- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations;
- c. The proposed rezoning meets the Comprehensive Plan project standards;
- d. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources;
- e. The proposed rezoning is justified because there is an error in the current zoning, there have been changes in conditions in the vicinity or there are specific policies in the Comprehensive Plan that contemplate the rezoning;
- f. Adequate public facilities and services are available to serve the intended land uses;
- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and
- h. The proposed rezoning meets all applicable Town regulations and standards.

The proposal to transfer units to the Density Bank is consistent with the Comprehensive Plan which notes in Land Use Value Number 8, land uses are envisioned to fit into the surrounding neighborhood. (p. 35 of the Comprehensive Plan). Single Family zoning is intended to be low density which is consistent with the Comprehensive Plan Land Use Policy A.1 (p.38) This application is reducing the density between the three lots by one single family density. Staff finds the application meets the above criteria. Criteria e & f are not applicable to this application.

The following criteria must be met for the Town Council to approve the transfer of density to the density bank:

- a. The criteria for decision for a rezoning are met, since such density transfer must be processed concurrently with a rezoning development application;
- b. The density transfer meets the density transfer and density bank policies; and
- c. The proposed density transfer meets all applicable Town regulations and standards.

The proposed density transfer meets the above criteria.

PROPOSED MOTION

The Design Review Board recommends the Town Council approve the rezone and density transfer application pursuant to CDC Sections 17.4.9 & 17.4.10 to transfer one density unit (four-person equivalent density) to the Density Bank for Lot 628B with the following findings:

1. The owner of record of density in the density bank shall be responsible for all dues, fees and any taxes associated with the assigned density and zoning until such time as the density is either transferred to a lot or another person or entity.
2. The density transfer approval is conditioned upon the minor subdivision plat approval by the Town Council.

/STS

January 25, 2018

Michelle Haynes, Planning Department Director
Town of Mountain Village, CO
455 Mountain Village, CO 81435
mhaynes@mtnvillage.org

RE:

Proposed density transfer and rezone application for Lot 628B, 105 Double Eagle Way, to transfer one density unit (four-person equivalent density) into the Density Bank.

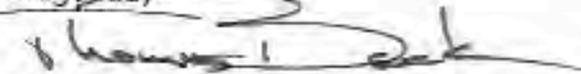
Dear Ms. Haynes:

We are requesting a vacation of the lot lines in Lot 628B, that the lot be subdivided and portions of lot 628B be transferred to the adjacent parcels Lot 628A and lot 628C, all of which is set forth in the proposed submitted replat.

We make this request in order to guard against further development on either side of the parties current residences.

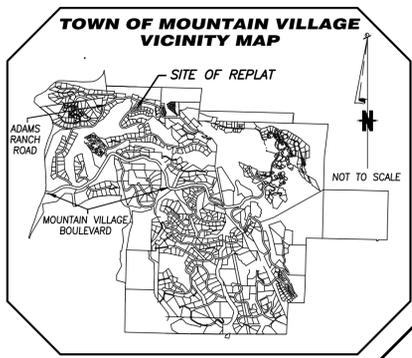
Upon completion of the process, the lots will be designated as Lot 682-AR for Beck & Caruso and 628-CR for Total Planning, LLC.

Regards,



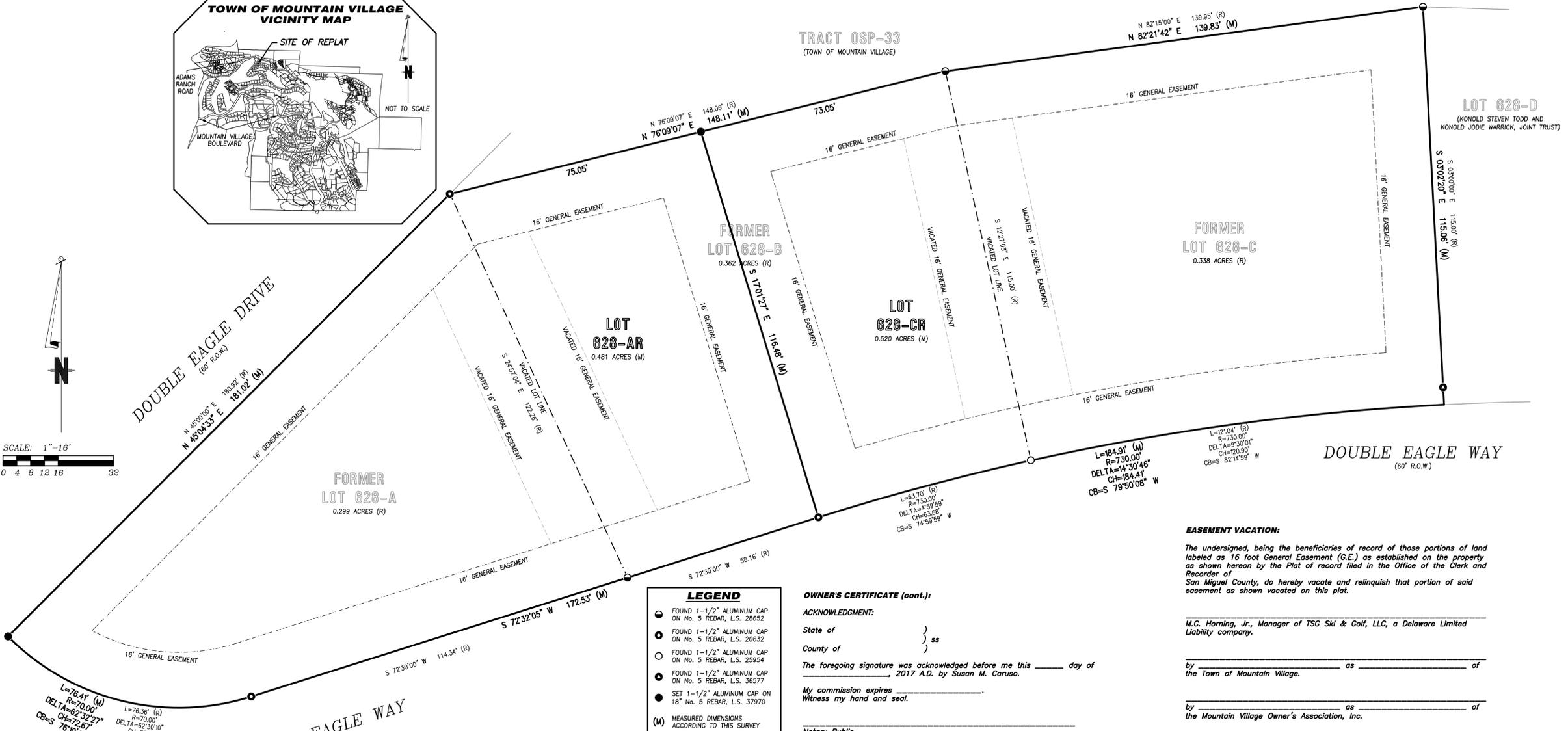
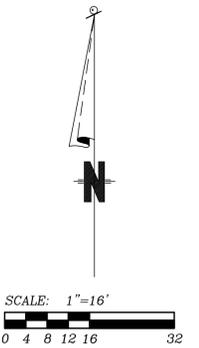
Tom Beck

cc: Susan Caruso
Total Planning, LLC



TRACT OSP-33
(TOWN OF MOUNTAIN VILLAGE)

LOT 628-D
(KONOLD STEVEN TODD AND
KONOLD JODIE WARRICK, JOINT TRUST)



SCALE: 1"=16'

FORMER LOT 628-A
0.299 ACRES (R)

FORMER LOT 628-B
0.362 ACRES (R)

LOT 628-AR
0.481 ACRES (M)

LOT 628-CR
0.520 ACRES (M)

FORMER LOT 628-C
0.338 ACRES (R)

- LEGEND**
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 28652
 - FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 20632
 - FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 25954
 - FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 36577
 - SET 1-1/2" ALUMINUM CAP ON 18" No. 5 REBAR, L.S. 37970
 - (M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
 - (R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 1159

OWNER'S CERTIFICATE (cont.):

The Parties do hereby agree upon the boundary lines as set forth hereon and do further grant, sell and convey to the other owners such of their real property as may lie on the other party's side of the boundary lines set forth on this Plat and do hereby agree that the boundary lines as shown on this plat are the boundary lines by agreement of adjoining parties pursuant to the Provisions of Colorado Revised Statutes (1973) 38-44-112.

OWNER'S CERTIFICATE:

KNOW ALL PERSONS BY THESE PRESENTS that SUSAN M. CARUSO AND THOMAS P. BECK, being the owners of the following described land:

LOT 628-A, MOUNTAIN VILLAGE, ACCORDING TO THE FINAL REPLAT OF LOTS 628, 635 AND 636, FILING 4, AND LOT 641, FILING 9, AND A PORTION OF THE OPEN SPACE, TELLURIDE MOUNTAIN VILLAGE, RECORDED AUGUST 21, 1991 IN PLAT BOOK 1 AT PAGE 1159, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

AND THAT

TOTAL PLANNING, LLC, AN IOWA LIMITED LIABILITY COMPANY, and SUSAN M. CARUSO AND THOMAS P. BECK, being the owner of the following described land:

LOT 628-B, MOUNTAIN VILLAGE, ACCORDING TO THE FINAL REPLAT OF LOTS 628, 635 AND 636, FILING 4, AND LOT 641, FILING 9, AND A PORTION OF THE OPEN SPACE, TELLURIDE MOUNTAIN VILLAGE, RECORDED AUGUST 21, 1991 IN PLAT BOOK 1 AT PAGE 1159, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

AND THAT

TOTAL PLANNING, LLC, AN IOWA LIMITED LIABILITY COMPANY, being the owner of the following described land:

LOT 628-C, MOUNTAIN VILLAGE, ACCORDING TO THE FINAL REPLAT OF LOTS 628, 635 AND 636, FILING 4, AND LOT 641, FILING 9, AND A PORTION OF THE OPEN SPACE, TELLURIDE MOUNTAIN VILLAGE, RECORDED AUGUST 21, 1991 IN PLAT BOOK 1 AT PAGE 1159, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Have by these presents caused same to be laid out, platted and subdivided the same into lots, as shown on this plat under the name and style of LOT 628-AR AND LOT 628-CR REPLAT, and hereby dedicate portions of Lot 628-AR and Lot 628-CR as 16' general easements as shown hereon.

OWNER'S CERTIFICATE (cont.):

ACKNOWLEDGMENT:

State of _____)
County of _____) ss

The foregoing signature was acknowledged before me this _____ day of _____, 2017 A.D. by Susan M. Caruso.

My commission expires _____
Witness my hand and seal.

Notary Public _____

ACKNOWLEDGMENT:

State of _____)
County of _____) ss

The foregoing signature was acknowledged before me this _____ day of _____, 2017 A.D. by Thomas P. Beck.

My commission expires _____
Witness my hand and seal.

Notary Public _____

ACKNOWLEDGMENT:

State of _____)
County of _____) ss

The foregoing signature was acknowledged before me this _____ day of _____, 2017 A.D. by Donald Perrotta as Member/Manager of Total Planning, LLC, an Iowa limited liability company.

My commission expires _____
Witness my hand and seal.

Notary Public _____

ACKNOWLEDGMENT:

State of _____)
County of _____) ss

The foregoing signature was acknowledged before me this _____ day of _____, 2017 A.D. by Karla Barlow as Member/Manager of Total Planning, LLC, an Iowa limited liability company.

My commission expires _____
Witness my hand and seal.

Notary Public _____

EASEMENT VACATION:

The undersigned, being the beneficiaries of record of those portions of land labeled as 16 foot General Easement (G.E.) as established on the property as shown hereon by the Plat of record filed in the Office of the Clerk and Recorder of San Miguel County, do hereby vacate and relinquish that portion of said easement as shown vacated on this plat.

M.C. Horning, Jr., Manager of TSG Ski & Golf, LLC, a Delaware Limited Liability company.

by _____ as _____ of the Town of Mountain Village.

by _____ as _____ of the Mountain Village Owner's Association, Inc.

ACKNOWLEDGMENT:

State of _____)
County of _____) ss

The foregoing signature was acknowledged before me this _____ day of _____, 2017 A.D. by M.C. Horning, Jr. as Manager of TSG Ski & Golf, LLC, a Delaware Limited Liability company.

My commission expires _____
Witness my hand and seal.

Notary Public _____

ACKNOWLEDGMENT:

State of _____)
County of _____) ss

The foregoing signature was acknowledged before me this _____ day of _____, 2017 A.D. by _____ as _____ of the Town of Mountain Village.

My commission expires _____
Witness my hand and seal.

Notary Public _____

ACKNOWLEDGMENT:

State of _____)
County of _____) ss

The foregoing signature was acknowledged before me this _____ day of _____, 2017 A.D. by _____ as _____ of Mountain Village Owner's Association, Inc.

My commission expires _____
Witness my hand and seal.

Notary Public _____

SURVEYOR'S CERTIFICATE:

I, Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor, do hereby certify that this plat and survey of LOT 628-AR AND LOT 628-CR REPLAT was made by me and under my direct responsibility, supervision and checking, in compliance with the applicable provisions of Title 38, Article 51, C.R.S., and that both are true and accurate to the best of my knowledge and belief.

P.L.S. No. 37970 Date _____

NOTES:

- Approval of this plan may create a vested property right pursuant to Article 68 of Title 24, C.R.S., as amended.
- Easement research and legal descriptions provided by Land Title Guarantee Company, Order Number TLR86007302, dated August 03, 2017 at 5:00 P.M. as to Lot 628-A, Order Number TLR86007157, dated June 08, 2017 at 5:00 P.M. as to Lot 628-B, and Order Number TLR86007296, dated August 03, 2017 at 5:00 P.M. as to Lot 628-C.

NOTES OF CLARIFICATION:

- The Configuration of the following lots, tracts, and right-of-way have been modified by this plat:
none
- The following lots have been created by this plat:
Lot 628-AR and Lot 628-CR
- The following lots have been deleted by this plat:
Lot 628-A, Lot 628-B, and Lot 628-C

BASIS OF BEARINGS: The bearing between found monuments along the northern boundary of former Lot 628-B, as shown hereon, assumed to have the record bearing of N 76°09'07" E according to Plat Book 1 at page 1159.

Lineal Units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.

Mortgage's consent for Lot 628-C, Town of Mountain Village, is recorded at Reception No. _____.

NOTICE: According to Colorado law, you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

TOWN OF MOUNTAIN VILLAGE APPROVAL:

I, _____, as Mayor of the Town of Mountain Village, Colorado, do hereby certify that this Plat has been approved by the Town Council in the same resolution that has authorized and directed me to execute this document.

Mayor _____ Date _____

TITLE INSURANCE COMPANY CERTIFICATE:

Land Title Guarantee Company does hereby certify that we have examined the title to all lands herein shown on this plat and that the title to this land is in the names of those persons shown in the Owners Certificate which is on the face hereof and is free of all liens and taxes, except as follows:

Title Insurance Company Representative _____

TREASURER'S CERTIFICATE:

I, the undersigned, Treasurer of the County of San Miguel, do hereby certify that according to the records of the San Miguel County Treasurer there are no liens against the subdivision or any part thereof for unpaid state, county, municipal or local taxes or special assessments due and payable, in accordance with Land Use Code Section 3-101.

Dated this _____ day of _____, 2017.

San Miguel County Treasurer _____

RECORDER'S CERTIFICATE:

This plat was filed for record in the office of the San Miguel County Clerk and Recorder on this _____ day of _____, 2017, at
Plat Book _____,
Page _____,
Reception No. _____,
Time _____.

San Miguel County Clerk _____

Lot 628-AR and Lot 628-CR Replat,
A Small Scale Subdivision to vacate property lines on Lots 628-A, 628-B, and 628-C, Town of Mountain Village, located within the N 1/2 of Section 33, T.43N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH	Rev.	description	date	by
Technician:	MC				
Checked by:					
Start date:	09/11/2017				



970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Drawing path: dws\05007 REPLAT 09-17.dwg Sheet 1 of 1 Project #: 05007

F:\014\Jobs\05007\05007\05007 REPLAT 09-17.dwg, 12/29/2017 12:25:05 PM, PC3



**PLANNING & DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Design Review Board

FROM: Sam Starr, Planner

FOR: Meeting of February 1, 2018

DATE: January 25, 2018

RE: Class 3 application for Initial Architectural and Site Review for a new single-family home on Lot AR613-C1, 101 Lawson Point.

PROJECT GEOGRAPHY

Legal Description: Lot AR613-C1, Town of Mountain Village according to Plat Book 1, Page 3786 according to records of San Miguel County, Colorado.

Address: 101 Lawson Point

Applicant/Agent: Narcis Tudor Architects

Owner: Damon Demas

Zoning: Single-Family Zone District

Existing Use: Vacant Lot

Proposed Use: Single-Family

Lot Size: 0.27 acres

Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Open Space
- **East:** Single-Family
- **West:** Single-Family

ATTACHMENTS

- Exhibit A: Narrative
- Exhibit B: Plan Set
- Exhibit C: Public Comment

PROJECT SUMMARY

CDC Provision	Requirement	Proposed
Maximum Building Height	40' maximum (35'+5' for gable roof)	20.46'
Maximum Avg Building Height	35' maximum (30'+5' for gable roof)	15.67'
Maximum Lot Coverage	40% maximum	23.4%
General Easement Setbacks		
North	16' setback from lot line	1.40' to GE
South	16' setback from lot line	0' to GE
East	16' setback from lot line	0' to GE

West	8' setback from lot line	3.71' to GE
Roof Pitch		
Primary		2:12
Secondary		10:12
Exterior Material		
Stone	35%	31.3%
Wood	25% (No requirement)	31.0%
Windows/Doors	40% maximum for windows	32.7%
Metal Accents	N/A	5%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

BACKGROUND

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Design Review for the development of a single-family residence. The proposed project consists of a 3,226 square foot single-family home located on lot AR613-C1.

17.3.12.C BUILDING HEIGHT LIMITS

The proposed maximum building height for the building will be 20'-5", and the average building height is 15'-8". The chimney height is 25'-5", which is the maximum allowable height for a chimney on a gable roof. Accordingly, a condition of approval will be that the applicant hire a Colorado public land surveyor to establish the maximum building height and the maximum average building height prior to the Building Division conducting the required framing inspection.

17.5.5 BUILDING SITING DESIGN

Lot 628D is a small (.27 acre) lot that slopes gently from the center portion outward to the east and south. In addition, a large berm exists on the northern section which has driven the design of both the home and retaining walls that encroach into the northern portion of the General Easements (GE). The proximity of the home to all other GE's are close enough to warrant a footer survey prior to pouring concrete to ensure no additional encroachments in to the General Easement area. There are no proposed impacts to wetlands, and applicant has worked with the town forester to establish optimal placement of the residence for forest health and preservation of existing aspen, spruce, and pine trees on the site.

17.5.6 BUILDING DESIGN

Building Form and Exterior Wall Form

In accordance with the Community Development Code, the proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation.

Roof Forms, Design and Materials

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets. This home has 2:12 shed roofs on the majority of the residence; however, a 10:12 gabled roof exists on the southern portion, and is oriented in a manner that provides the best view corridor to the applicant.

Exterior Wall Materials

The exterior walls consist of 31.3% stone veneer; 31 % wood siding with a mix of 8" horizontal and vertical slats; 5% steel deck handrails, and; and 32.7% fenestration. All metal accents (including window cladding) are proposed to be either a black or copper colored steel. Community Development Code 17.5.6E(1) requires all buildings to have minimum 35% stone walls, and applicant will need to seek specific approval for the noncompliant amount of proposed stone fenestration.

17.5.13.E.4 ADDRESS IDENTIFICATION SIGNS

As shown on the grading and drainage plan the address monument is currently proposed to be located in the northern General Easement, which will require an easement encroachment agreement. The proposed material is a powder-coated black, ½” steel with LED back-lighting and 9” lettering.

17.5.12 LIGHTING REGULATIONS

The proposed lighting plan includes 3 exterior sconces, 22 step lights, 1 mono-point light, and 3 exterior chandeliers. Locations include egress, deck, garage and patio areas. Lighting is permitted in all proposed locations but the DRB should determine if the exterior lighting is excessive for the design. The applicant must also submit a separate lighting cut sheet prior to final design review.

17.6.6.B. DRIVEWAY STANDARDS

The proposed driveway has a maximum grade of 6%, and is 16’ wide with a single 2’ v-pan shoulder on the west side. As stated previously, the driveway and retaining wall do encroach into the northern portion of the General Easements (GE), and the applicant will have to enter into a revocable General Easement encroachment agreement with the Town of Mountain Village prior to the issuance of a Certificate of Occupancy.

17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS & FIRE PROTECTION

The applicant has not indicated if any fireplaces will be a gas or solid fuel-burning. Staff would note that in order to install a solid fuel-burning device (i.e., interior fireplace, wood burner or fireplace insert) in any structure in the Town, the Owner must have or obtain a Mountain Village fireplace permit. Additionally, the Telluride Fire Protection District will not require the applicant to install a home sprinkler system.

17.7.19 CONSTRUCTION MITIGATION

All construction staging is within the lot boundaries but the construction staging plan shows construction parking and disturbance in the public Right of Way. Town of Mountain Village Police Chief has indicated that the proposed parking plan will not be acceptable for the safety and welfare of residents and commuters along Adams Way.

PROPOSED VARIATIONS AND SPECIFIC APPROVALS

- Driveway and retaining wall encroaching into the northern General Easement
- Stone fenestration to be below 35%

RECOMMENDATION

Staff recommends the DRB approve the Initial Architecture Site Review application with the stated variations and specific approvals for Lot AR613-C1 with the following conditions which shall be addressed before Final Review hearing unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.

2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.
3. Applicant shall submit separate lighting plans within 14 days of the initial architecture site review approval.
4. The owners will enter in to a revocable General Easement encroachment agreement for the address monument and driveway retaining walls located in the GE prior to issuance of a Certificate of Occupancy.
5. Applicant will work with Mountain Village Police Department Chief to draft a traffic and parking plan for construction mitigation purposes that is acceptable to both parties.

January 5, 2018

RE: H1 RESIDENCE – CONCEPTUAL PLAN

To: Town of Mountain Village DRB Staff + Board

Thank you for taking the time to review our application. This memo is outlined to address the main items of the project and is a narrative introduction to the accompanying drawings | diagrams.

SITE DESCRIPTION – LOT AR613-C1

The property is located on a natural knoll surrounded by public-right-of-ways: Adams Ranch Road to the south, Adams Way to the east and Lawson Point to the north.

VIEWS

Primary views are southwest to Wilson and Sunshine peaks and opposite northeast to Dallas Peak. Panoramic views and passive solar span these two points to the south.

ACCESS

The access to the parcel is from the north, off Lawson Point, entering the site to the vehicular parking area | motor-court. The pedestrian access continues south stepping up to the main entrance.

PROGRAM

The proposed program for this project is an approximate 2500 square foot single story house with a 650 square foot garage.

PARTI

The general parti orients the common spaces of the house furthest to the south capturing the main views. Secondary spaces step back (north) with a utility corridor connecting the house to the garage which is placed closest to the road. The proposed layout creates the least site disturbance and excavation, allowing the architecture to unfold around the east and south edges of the property, creating a natural courtyard | garden space in its central core and towards the northwest.

ARCHITECTURE

The overall architecture is driven by the natural topography of the site, view orientation and solar path. Sustainable design principles played a major role in delineating the forms, glazing orientation and materiality of the project.

- **Forms** – The architectural components are simple forms, arranged to capture the passive solar and active solar (solar panels) as the main views described above. The main space, the largest pod is a steeply pitched gable roof cohesive to the alpine vernacular. The secondary low pitched roofs hug the grade and keep the structure low to the ground, conscious of spatial efficiency and view corridors from the neighboring properties.
- **Glazing** – The glazing is concentrated towards the views and solar path.
- **Materials** – The material palette is based on sustainable principles and our alpine climate. Stone veneer grounds the project and works with the proposed topography. Horizontal wood siding is the primary material applied in a manner proportionate in scale to the primary forms. Secondary forms are clad in vertical wood and metal siding, again keeping the scale of forms and materials proportionately connected. Tertiary, accent materials are exposed steel and exposed rafters, creating a lacy | light & shadow play, giving the project a more interesting, articulated aesthetic. The roof is metal standing seam.

CONCLUSION | VARIANCES

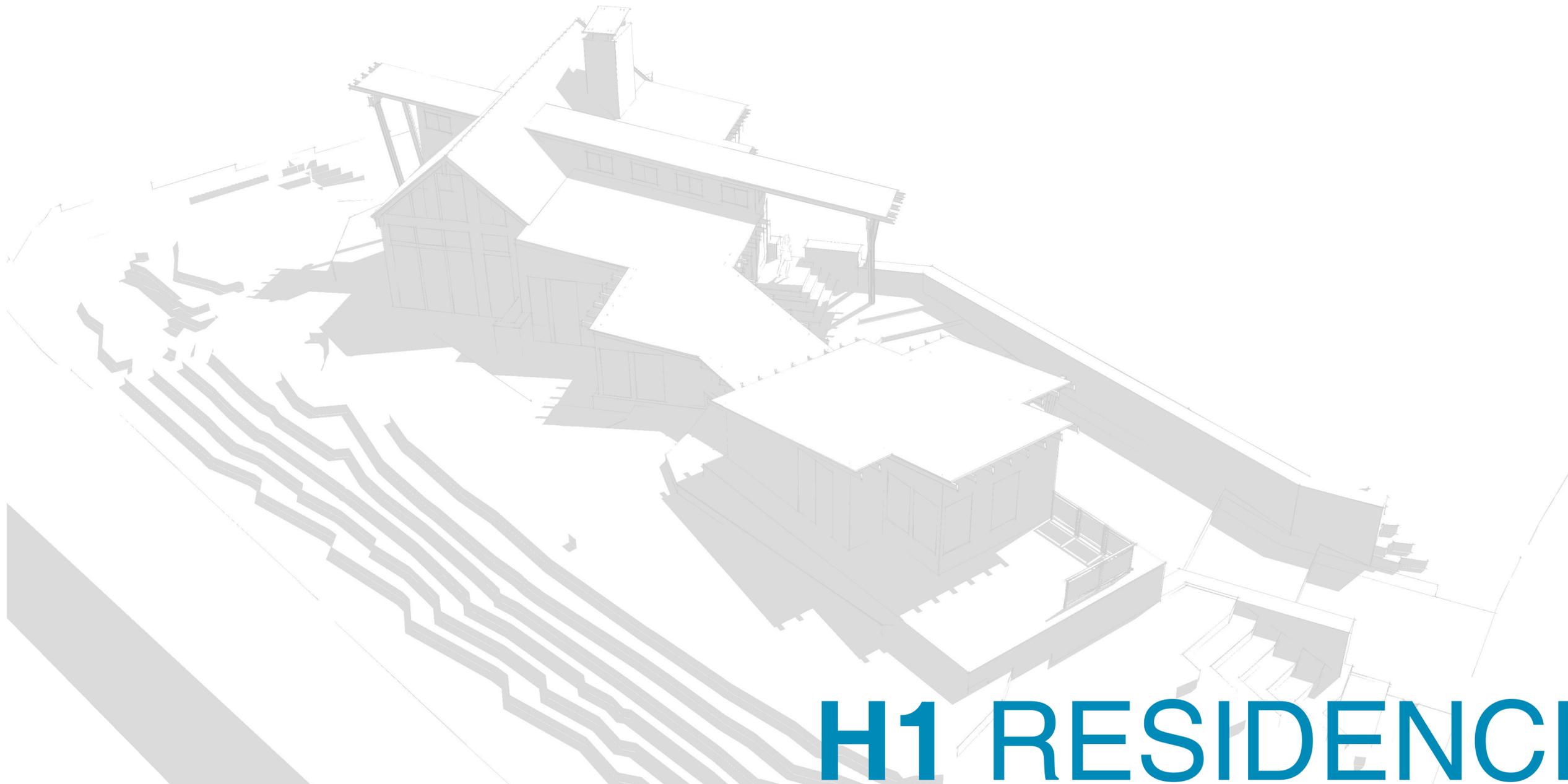
The main driver outlined above can be concluded by our approach to design and build a sustainable, low carbon footprint, site sensitive project while taking into account the neighboring view corridors. Our goal is to keep the architecture subordinate to these factors hence being driven by them.

As such we request the following variances:

1. Percentage of rock is 31.3% (3.7% below the required 35%)
2. Roof Forms | Roof Pitch – The roof forms are proposed to be shed or half gable. Compositionally, the primary form is a 10:12 pitch gable form. Cohesive to the design we request roof pitches of 2:12 and 4:12 respectively. This allows us to keep this single story structure energy efficient and sensitive to the adjacent properties view corridors. Overall this design allows the home to be significantly below the allowable average and maximum heights of the MV DRB.
3. Due to vehicle turning radii constraints we request the west retaining wall for the access to the motorcourt | garage to be placed with the easement.

Thank you for taking the time to review our application and should you have any questions please do not hesitate to contact me directly.

Narcis Tudor
ARCHITECT
ARC.L# - 00402820



H1 RESIDENCE

01.08.2018

MOUNTAIN VILLAGE DESIGN REVIEW

NARCIS TUDOR ARCHITECTS©

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07.08.2017 CLIENT / SITE MEETING
07.20.2017 SD - SCHEMES C-D
08.11.2017 SD | DD - SCHEME E3
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10.25.2017 PLAN REVISIONS
11.17.2017 HOA
12.22.2017 HOA 2
01.04.2018 HOA 3
01.08.2018 DRB

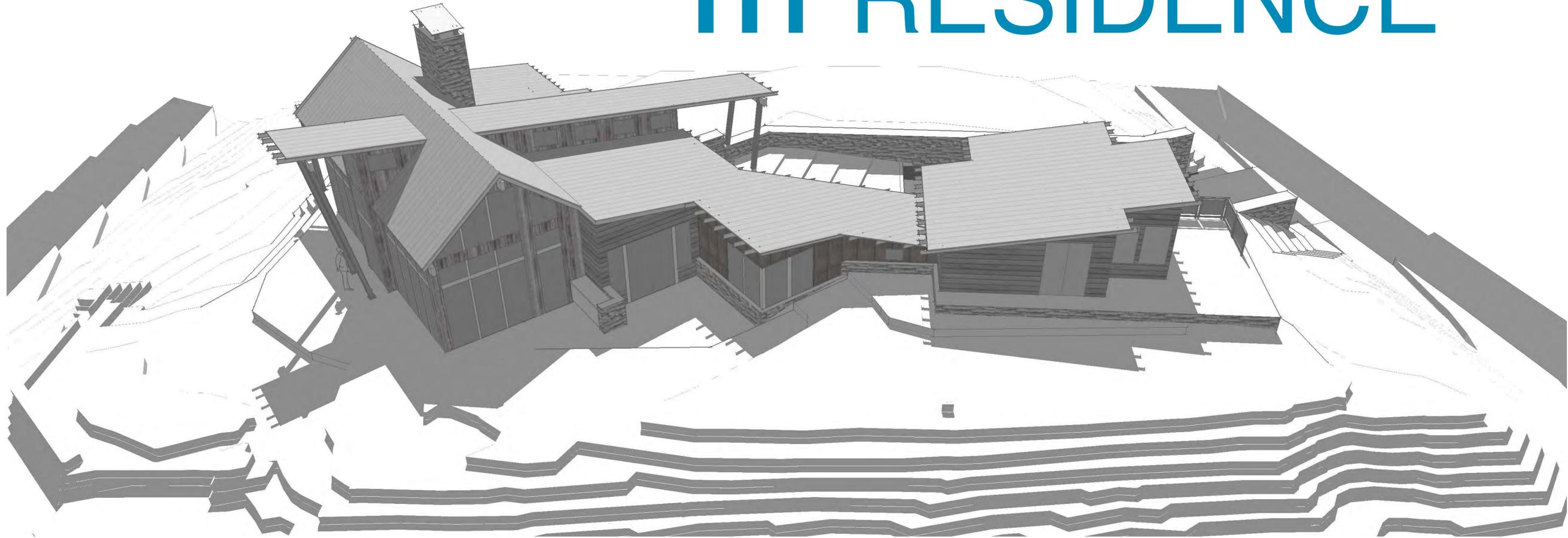
**NOT FOR
CONSTRUCTION**

project
H1
MOUNTAIN
VILLAGE
COLORADO 81435

phase
COVER

sheet
A0.0

H1 RESIDENCE

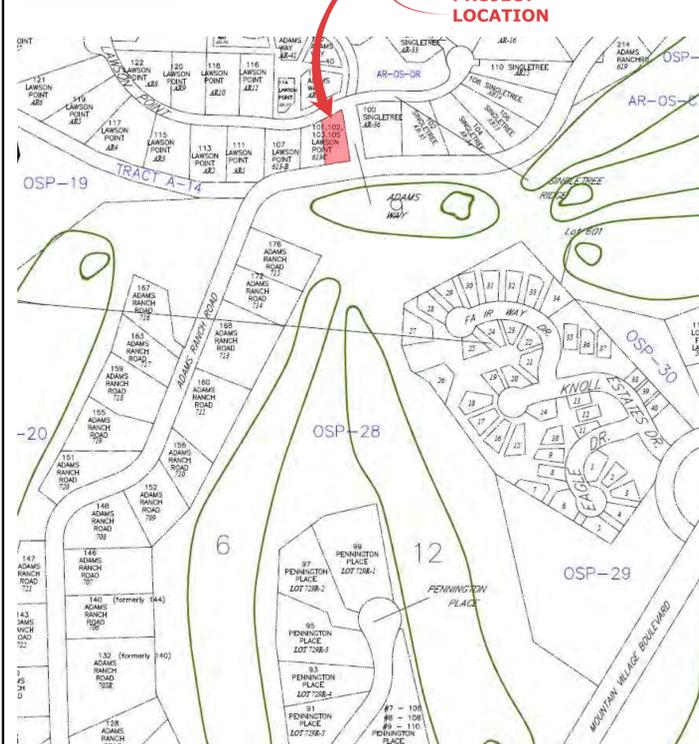


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VICINITY MAP



GENERAL NOTES

CONTRACT DOCUMENTS:
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, GENERAL SPECIFICATIONS, AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

ORGANIZATION:
WHERE APPLICABLE, THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (I SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL AND PLUMBING DRAWINGS (M SHEETS), ELECTRICAL (E SHEETS), AND LIGHTING (LP SHEETS).

CODE COMPLIANCE:
ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

INTENT:
THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN. ALL FUNCTIONALITY AND PERFORMANCE OF THE BUILDING COMPONENTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

COORDINATION:
THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL, AND LIGHTING DRAWINGS.

LAND USE & CDC INFORMATION

LOT:	AR 613-C1
IMPROVEMENT TYPE:	NEW CONSTRUCTION
TYPE OF UNIT:	SINGLE FAMILY
LOT AREA:	11,933.6 SF
MAXIMUM SITE COVERAGE:	(40%) 4,773.4 SF
MAXIMUM AVERAGE HEIGHT:	30 FEET
MAXIMUM HEIGHT:	35 FEET
SETBACKS:	16 FEET & 8 FEET
PROPOSED SITE COVERAGE:	3,226.7 SF 27%
PROPOSED BUILDING GROSS AREA:	PER FLOOR PLANS
PROPOSED BUILDING LIVABLE AREA:	PER FLOOR PLANS
BUILDING HIGH POINT:	25.5' AT CHIMNEY
AVERAGE BUILDING HEIGHT:	15.675'
PARKING REQUIREMENTS:	2 ENCLOSED / 2 OPEN

FAÇADE MATERIAL SUMMARY

MATERIAL	AMOUNT	PERCENTAGE
STONE RET. WALLS	APPROX. 650 SF	13.8%
STONE	825 SF	17.5%
WOOD	1457 SF	31.0%
METAL PANELS	237 SF	5.0%
FENESTRATION	1537 SF	32.7%
TOTAL VERT. SURFACE	4706 SF	100%
TOTAL PERCENTAGE STONE:		31.3%
35% REQUIRED PER CDC - VARIANCE OF 3.7% REQUESTED		

CODE SUMMARY

ZONING:	SINGLE FAMILY RESIDENTIAL
BUILDING CODE:	IRC 2012
DESCRIPTION:	1-STORY W/ PARTIAL SPLIT LEVEL
OCCUPANCY CLASS:	IRC SINGLE FAMILY

PROJECT TEAM:

OWNER
DAMON + ELAINE DEMAS

ARCHITECT/INTERIORS
NARCIS TUDOR ARCHITECTURE
201 W COLORADO AVENUE
SUITE 203
TELLURIDE, COLORADO, 81435
P. 970.708.4983
narcis@narcistudor.com

CONTRACTOR

STRUCTURAL ENGINEER

SURVEYOR
FOLEY & ASSOCIATES

CIVIL ENGINEER
UNCOMPAGHRE ENGINEERING
DAVID BALLODE, P.E.
BLUE MESA BUILDING, SUITE D
113 LOST CREEK LANE
MOUNTAIN VILLAGE, CO 81435
P. 970-729-0683

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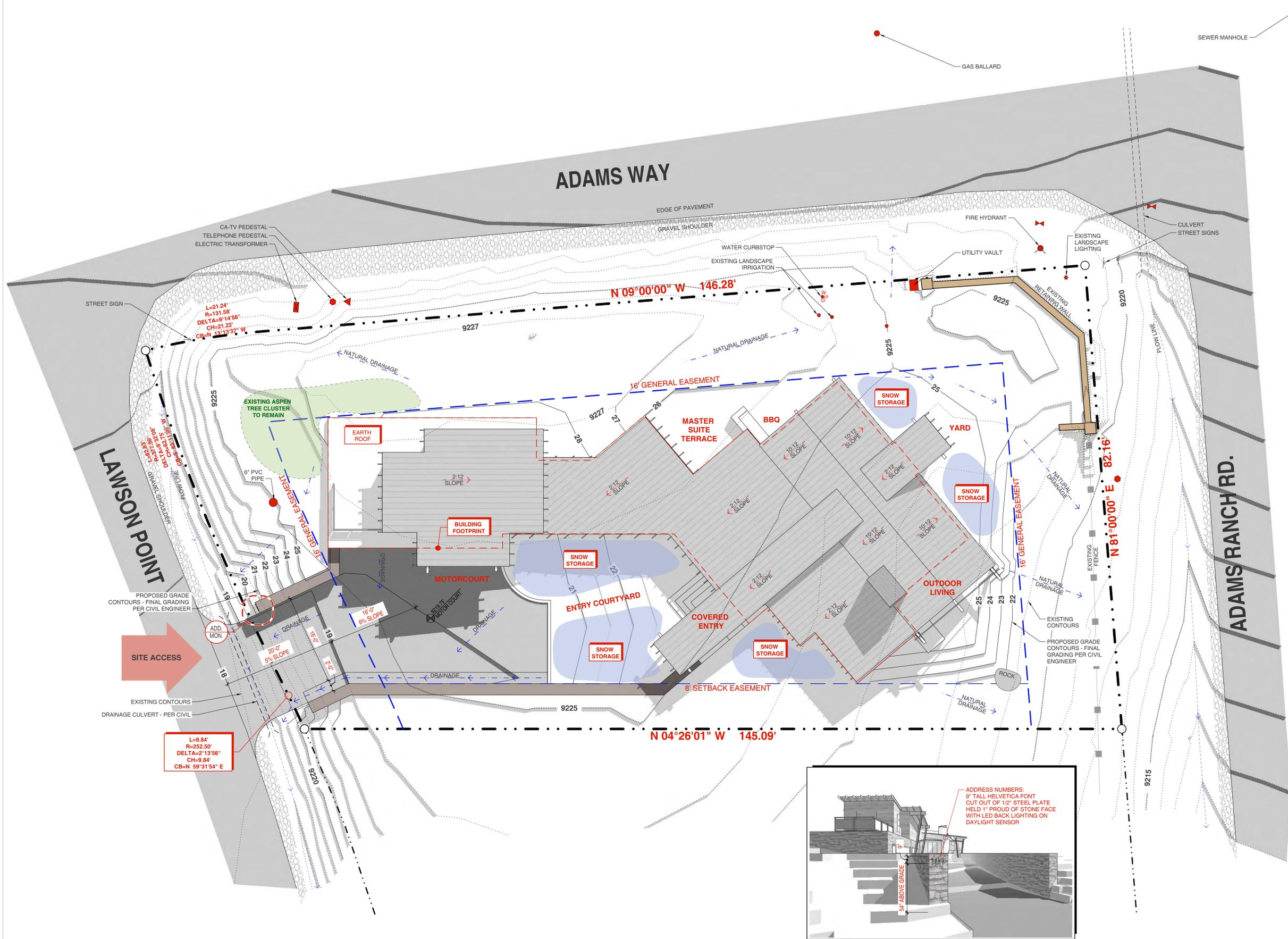
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H1

MOUNTAIN VILLAGE COLORADO 81435

PROJECT INFO

A0.1



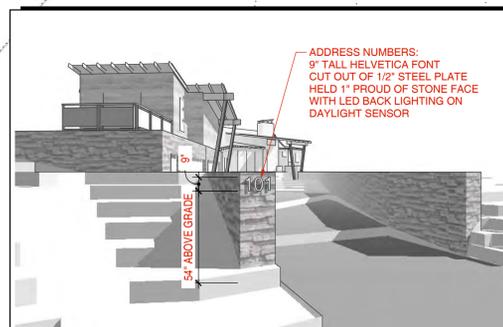
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CH=9.84'
CB=N 59°31'54" E

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R=131.58'
DELTA=9°14'56"
CH=21.22'
CB=N 13°13'37" W

N 04°26'01" W 145.09'

N 09°00'00" W 146.28'

N 81°00'00" E 82.16'



2 ADDRESS MONUMENT
SCALE: PERSPECTIVE

1 GRADING & DRAINAGE PLAN
SCALE: 1/8" = 1'-0"



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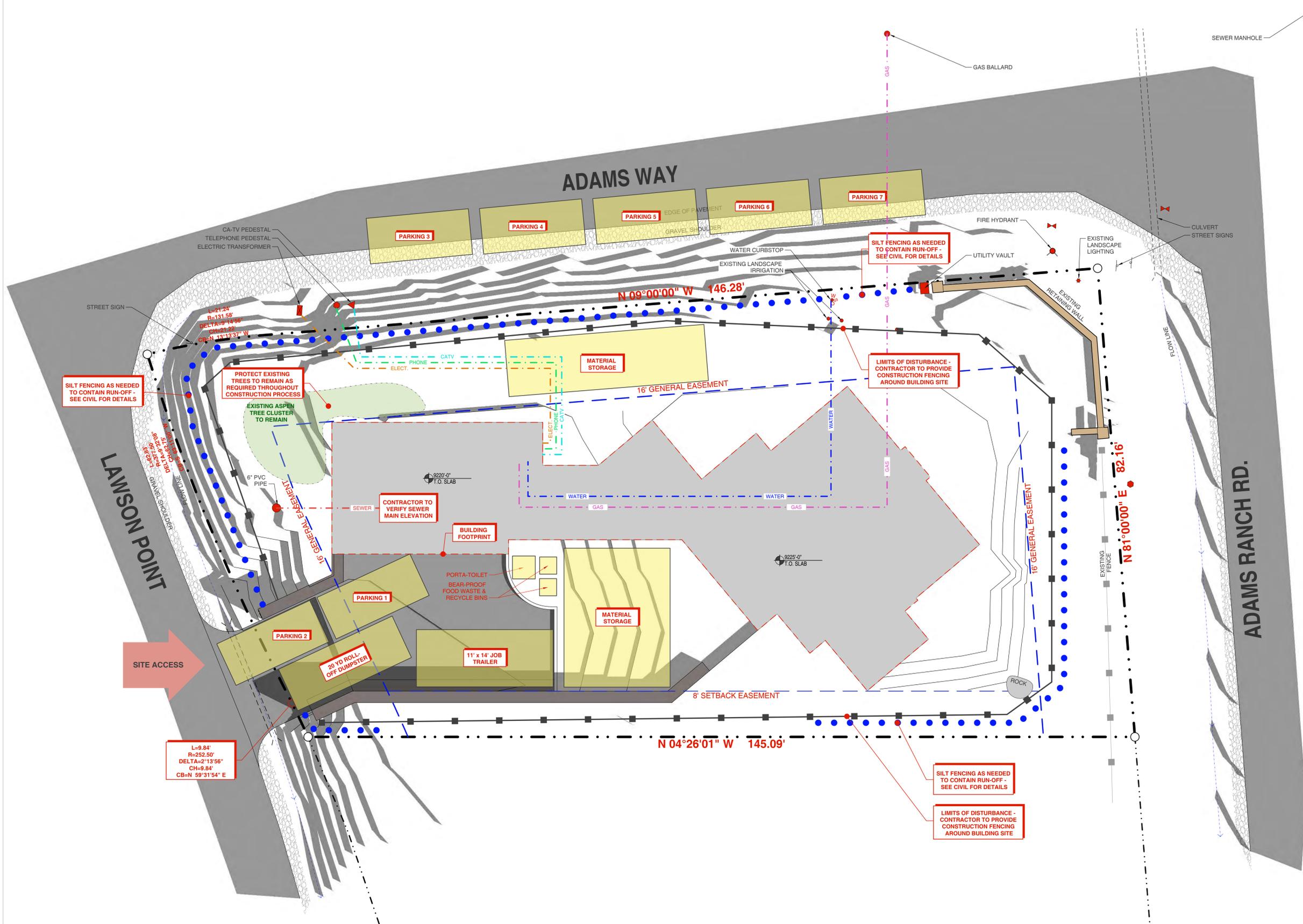
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H1

MOUNTAIN VILLAGE
COLORADO 81435

GRADING & DRAINAGE PLAN

A1.2



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10.25.2017	PLAN REVISIONS
11.17.2017	HOA
12.22.2017	HOA 2
01.04.2018	HOA 3
01.08.2018	DRB

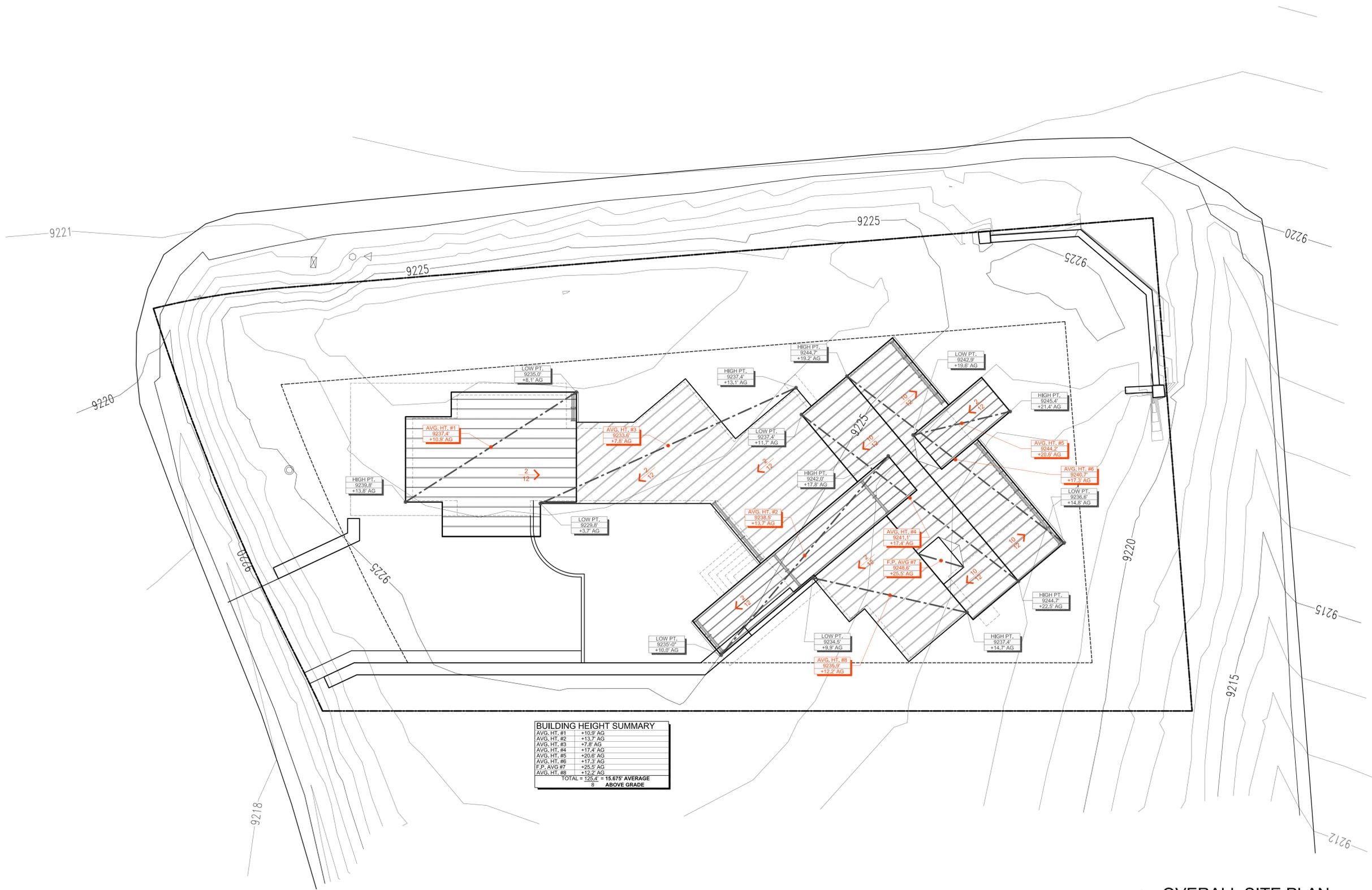
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H1

MOUNTAIN VILLAGE
COLORADO 81435

UTILITY & CONST. MITIGATION

A1.3



1 OVERALL SITE PLAN
SCALE: 1/8" = 1'-0"

submissions
 07.08.2017 CLIENT / SITE MEETING
 07.20.2017 SD - SCHEMES CHD
 08.11.2017 SD | DD - SCHEM E3
 09.25.2017 DD - H1 MASSING | HOA
 10.13.2017 CONTRACTOR | STAKING
 10.25.2017 PLAN REVISIONS
 11.17.2017 HOA
 12.22.2017 HOA 2
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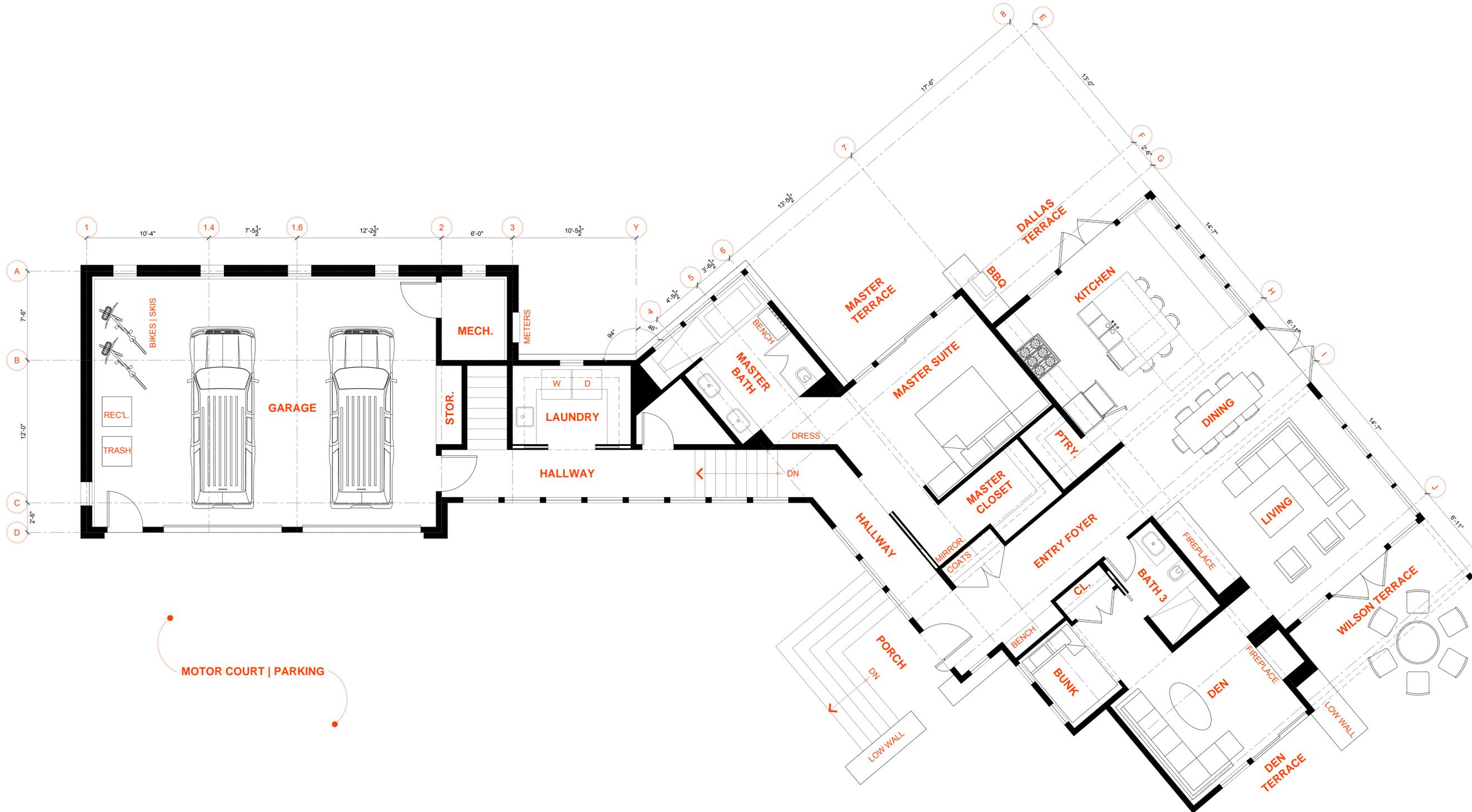
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H1
MOUNTAIN VILLAGE
 COLORADO 81435

DD
BUILDING HEIGHT CALCS.

A1.2

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MOTOR COURT | PARKING

1 MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 LIVABLE AREA - 1916 SF
 NON-LIVABLE - 721 SF

submissions
 07.08.2017 CLIENT / SITE MEETING
 07.20.2017 SD - SCHEMES C-D
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 09.25.2017 DD - H1 MASSING | HOA
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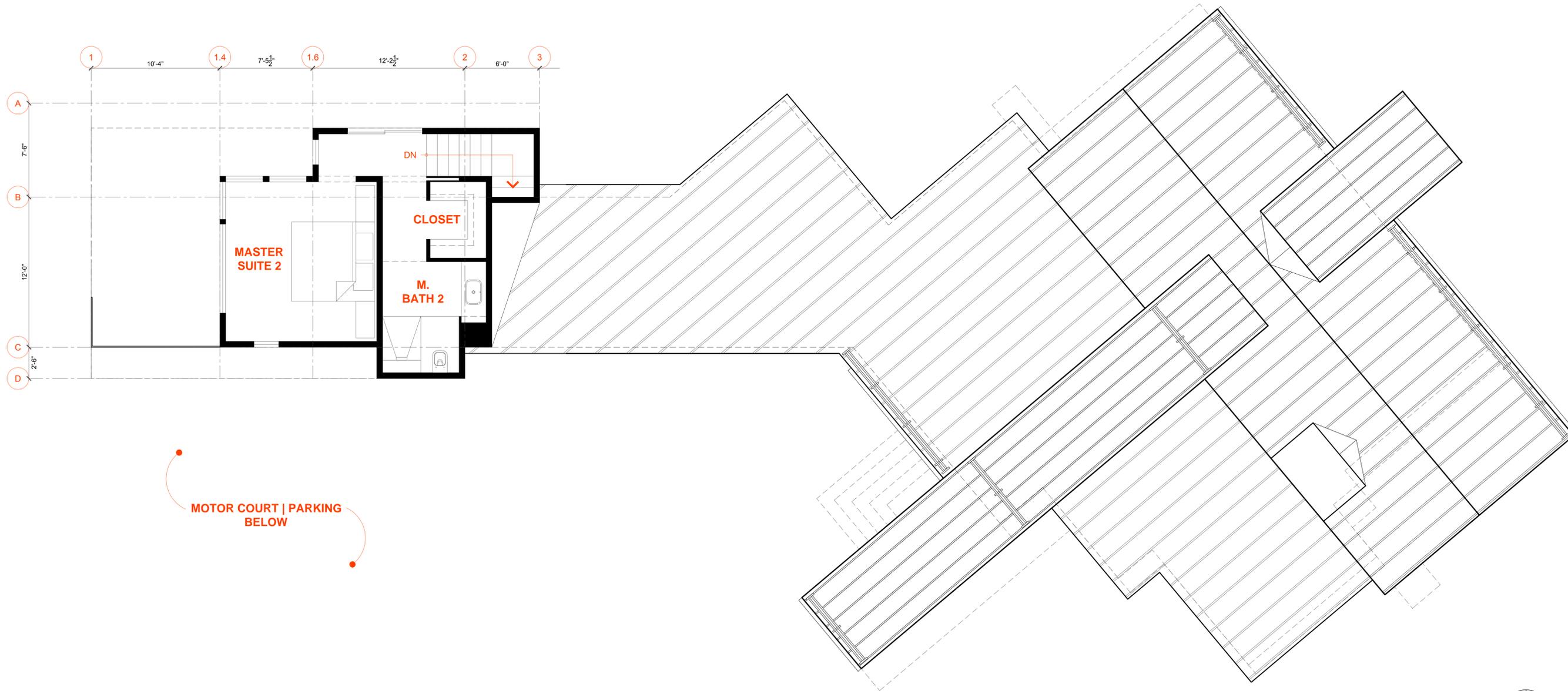
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H1
 MOUNTAIN VILLAGE
 COLORADO 81435

DD
 MAIN LEVEL PLAN

A2.1

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MOTOR COURT | PARKING
BELOW

1 UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIVABLE AREA - 363 SF

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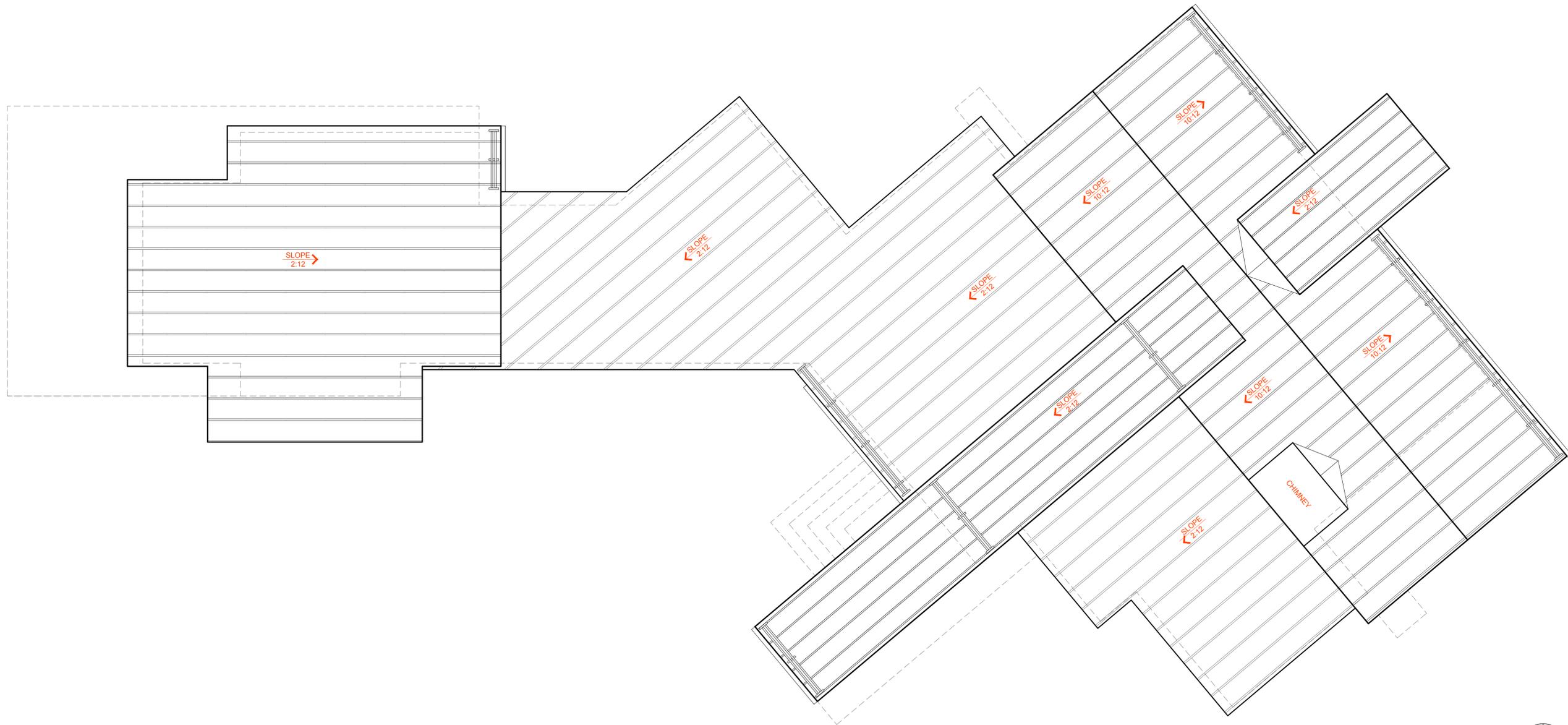
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H1

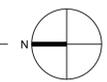
MOUNTAIN VILLAGE
COLORADO 81435

DD
UPPER
LEVEL
PLAN

A2.2



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



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01.08.2018 DRB

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H1

MOUNTAIN VILLAGE
COLORADO 81435

DD
ROOF
PLAN

A2.3



F1 FENESTRATION
"BROWN" OR "BRONZE" CLAD



S1 STONE VENEER
DRY-STACK, ROUGH



R1 STANDING SEAM ROOF
RUSTED



M1 RUSTED PANELS
RUSTED



M2 STEEL DETAILING
PAINTED SIMILAR TO WINDOW
CLADDING

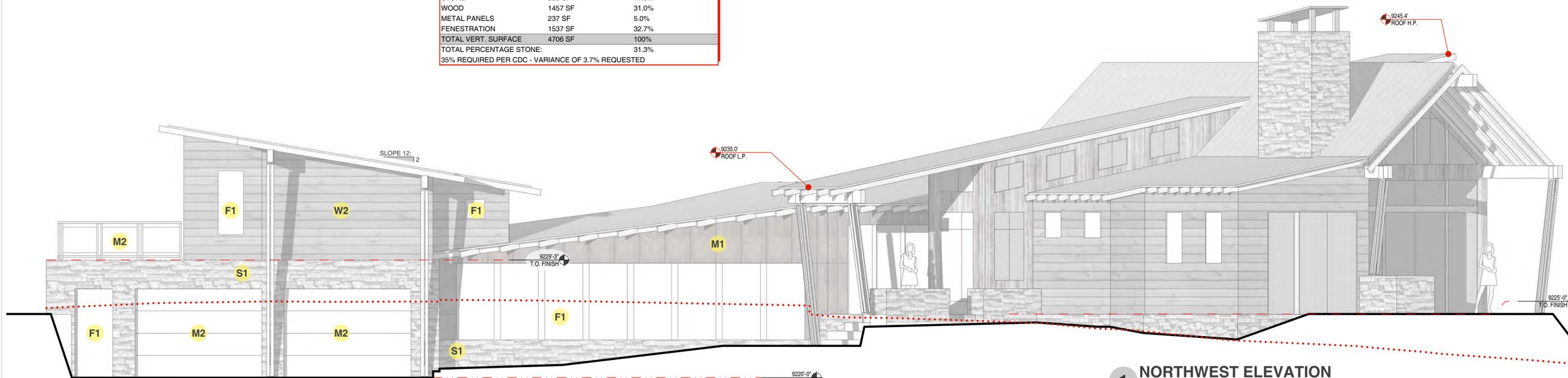


W1 VERT. WOOD SIDING



W2 8" HORIZ. WOOD SIDING

FACADE MATERIAL SUMMARY		
MATERIAL	AMOUNT	PERCENTAGE
STONE RET. WALLS	APPROX. 650 SF	13.8%
STONE	825 SF	17.5%
WOOD	1457 SF	31.0%
METAL PANELS	237 SF	5.0%
FENESTRATION	1537 SF	32.7%
TOTAL VERT. SURFACE	4706 SF	100%
TOTAL PERCENTAGE STONE:		31.3%
35% REQUIRED PER CDC - VARIANCE OF 3.7% REQUESTED		



1 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

NORTHWEST GARAGE & HALL	
MATERIAL	AMOUNT
STONE	156 SF
WOOD	177 SF
METAL PANELS	88 SF
FENESTRATION	198 SF



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NORTH FACADE	
MATERIAL	AMOUNT
STONE	154 SF
WOOD	209 SF
METAL PANELS	33 SF
FENESTRATION	138 SF

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09.26.2017	DD - H1 MASSING HOA
10.13.2017	CONTRACTOR STAKING
10.25.2017	PLAN REVISIONS
11.17.2017	HOA
12.22.2017	HOA 2
01.04.2018	HOA 3
01.08.2018	DRB

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H1

MOUNTAIN VILLAGE
COLORADO 81435

phase

EXTERIOR ELEVATIONS

sheet

A3.1

A3 Elevations DEMAS | Printed: 01.08.2018



F1 FENESTRATION
"BROWN" OR "BRONZE" CLAD



S1 STONE VENEER
DRY-STACK, ROUGH



R1 STANDING SEAM ROOF
RUSTED



M1 RUSTED PANELS
RUSTED



M2 STEEL DETAILING
PAINTED SIMILAR TO WINDOW CLADDING

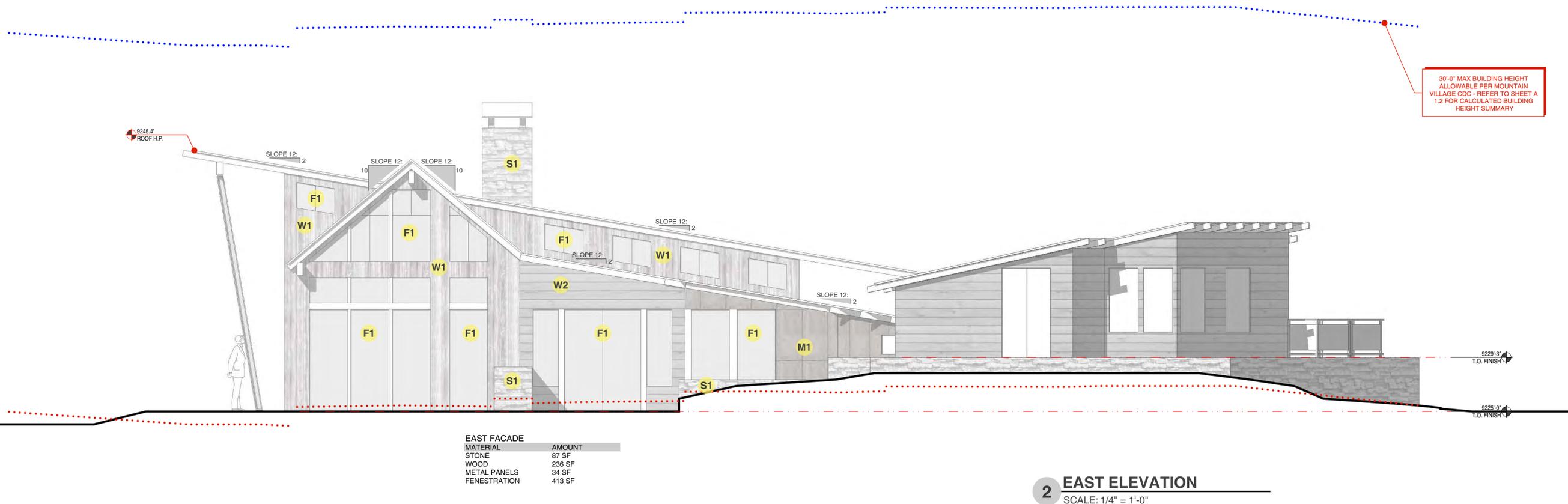
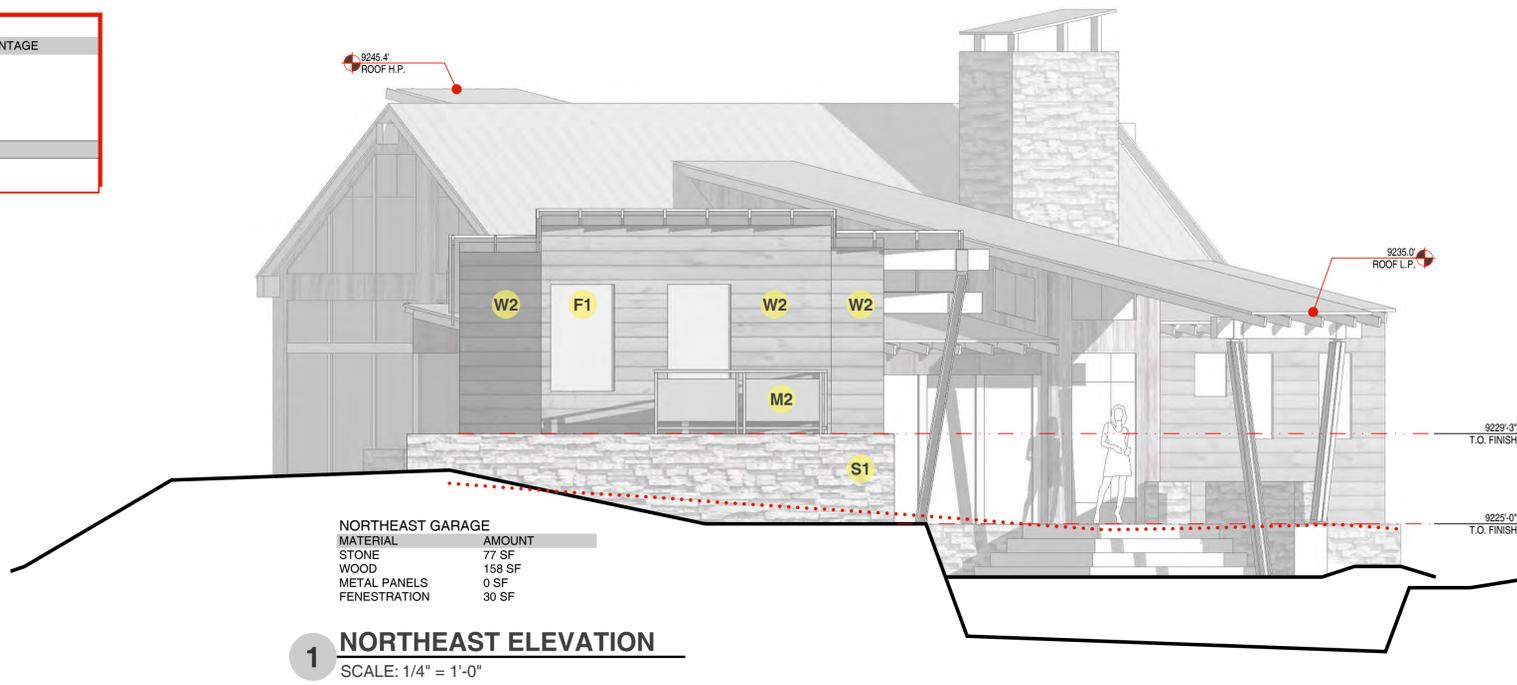


W1 VERT. WOOD SIDING



W2 8" HORIZ. WOOD SIDING

FACADE MATERIAL SUMMARY		
MATERIAL	AMOUNT	PERCENTAGE
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STONE	825 SF	17.5%
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TOTAL VERT. SURFACE	4706 SF	100%
TOTAL PERCENTAGE STONE:		31.3%
35% REQUIRED PER CDC - VARIANCE OF 3.7% REQUESTED		



30'-0" MAX BUILDING HEIGHT ALLOWABLE PER MOUNTAIN VILLAGE CDC - REFER TO SHEET A 1.2 FOR CALCULATED BUILDING HEIGHT SUMMARY

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01.04.2018	HOA 3
01.08.2018	DRB

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Project

H1

MOUNTAIN VILLAGE COLORADO 81435

phase

EXTERIOR ELEVATIONS

sheet

A3.2

A3 Elevations DEMAS | Printed: 01.08.2018



F1 FENESTRATION
"BROWN" OR "BRONZE" CLAD



S1 STONE VENEER
DRY-STACK, ROUGH



R1 STANDING SEAM ROOF
RUSTED



M1 RUSTED PANELS
RUSTED



M2 STEEL DETAILING
PAINTED SIMILAR TO WINDOW
CLADDING



W1 VERT. WOOD SIDING

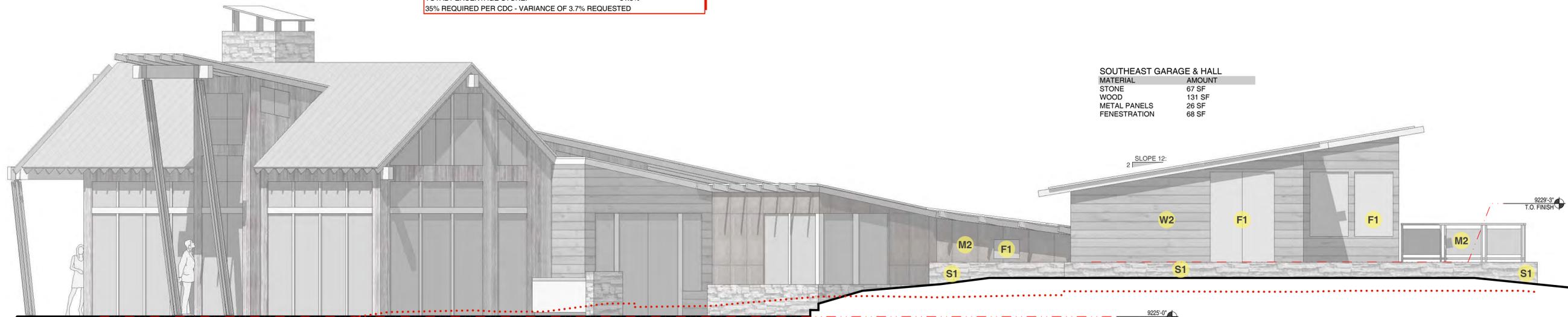


W2 8" HORIZ. WOOD SIDING

30'-0" MAX BUILDING HEIGHT
ALLOWABLE PER MOUNTAIN
VILLAGE CDC - REFER TO SHEET A
1.2 FOR CALCULATED BUILDING
HEIGHT SUMMARY

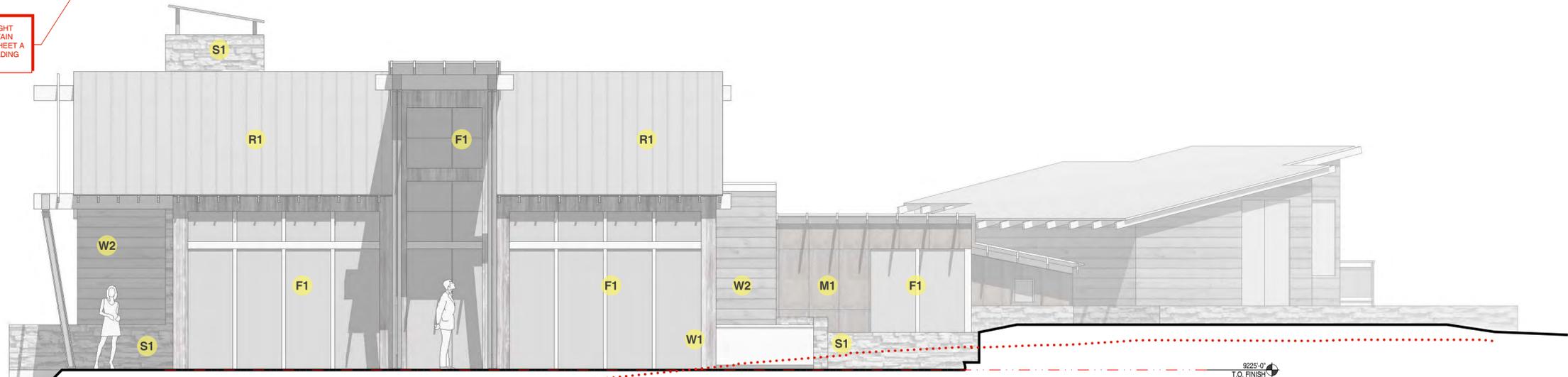
FACADE MATERIAL SUMMARY		
MATERIAL	AMOUNT	PERCENTAGE
STONE RET. WALLS	APPROX. 650 SF	13.8%
STONE	825 SF	17.5%
WOOD	1457 SF	31.0%
METAL PANELS	237 SF	5.0%
FENESTRATION	1537 SF	32.7%
TOTAL VERT. SURFACE	4706 SF	100%
TOTAL PERCENTAGE STONE:		31.3%
35% REQUIRED PER CDC - VARIANCE OF 3.7% REQUESTED		

SOUTHEAST GARAGE & HALL	
MATERIAL	AMOUNT
STONE	67 SF
WOOD	131 SF
METAL PANELS	26 SF
FENESTRATION	68 SF



1 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

30'-0" MAX BUILDING HEIGHT
ALLOWABLE PER MOUNTAIN
VILLAGE CDC - REFER TO SHEET A
1.2 FOR CALCULATED BUILDING
HEIGHT SUMMARY



SOUTH FACADE	
MATERIAL	AMOUNT
STONE	127 SF
WOOD	206 SF
METAL PANELS	56 SF
FENESTRATION	387 SF

2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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09.26.2017	CONTRACTOR STAKING
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11.17.2017	HOA 2
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01.04.2018	DRB
01.08.2018	

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H1
MOUNTAIN VILLAGE
COLORADO 81435

EXTERIOR ELEVATIONS

A3.3



F1 FENESTRATION
"BROWN" OR "BRONZE" CLAD



S1 STONE VENEER
DRY-STACK, ROUGH



R1 STANDING SEAM ROOF
RUSTED



M1 RUSTED PANELS
RUSTED



M2 STEEL DETAILING
PAINTED SIMILAR TO WINDOW CLADDING

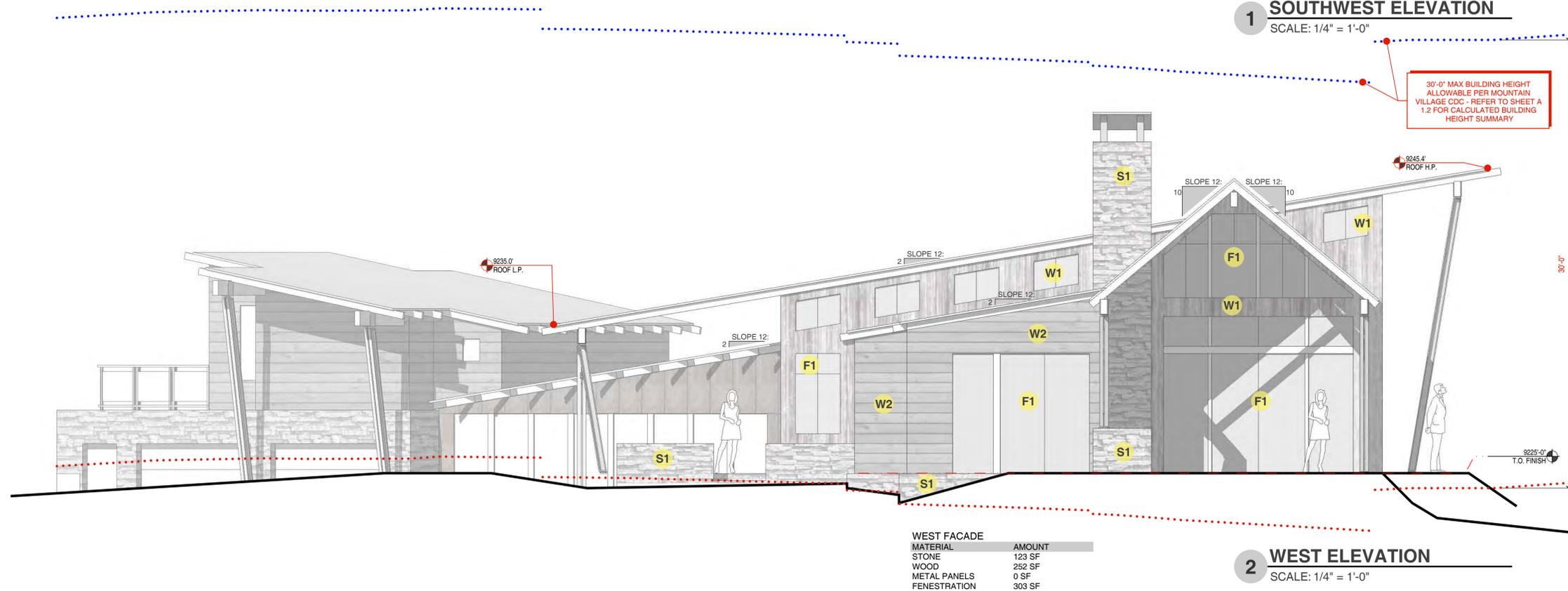
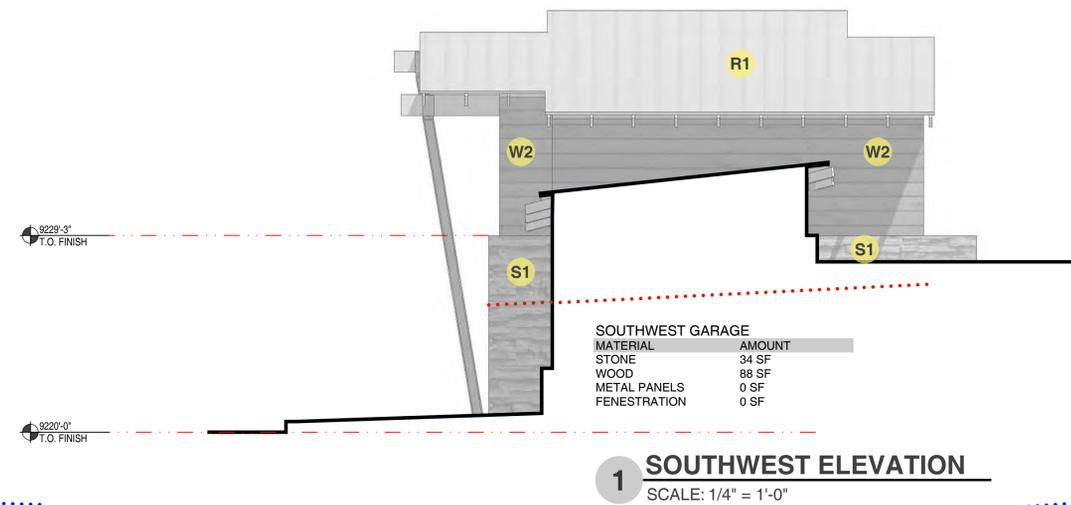


W1 VERT. WOOD SIDING



W2 8" HORIZ. WOOD SIDING

FACADE MATERIAL SUMMARY		
MATERIAL	AMOUNT	PERCENTAGE
STONE RET. WALLS	APPROX. 650 SF	13.8%
STONE	825 SF	17.5%
WOOD	1457 SF	31.0%
METAL PANELS	237 SF	5.0%
FENESTRATION	1537 SF	32.7%
TOTAL VERT. SURFACE	4706 SF	100%
TOTAL PERCENTAGE STONE:		31.3%
35% REQUIRED PER CDC - VARIANCE OF 3.7% REQUESTED		



Submissions	
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08.11.2017	SD DD - SCHEME E3
09.26.2017	DD - H1 MASSING HOA
10.13.2017	CONTRACTOR STAKING
10.25.2017	PLAN REVISIONS
11.17.2017	HOA
12.22.2017	HOA 2
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MOUNTAIN VILLAGE
COLORADO 81435

EXTERIOR ELEVATIONS

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09.26.2017	DD - H1 MASSING HOA
10.13.2017	CONTRACTOR STAKING
10.25.2017	PLAN REVISIONS
11.17.2017	HOA
12.22.2017	HOA 2
01.04.2018	HOA 3
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**MOUNTAIN VILLAGE
COLORADO 81435**

phase

**CONCEPTUAL
PERSPECTIVES**

sheet

A3.5



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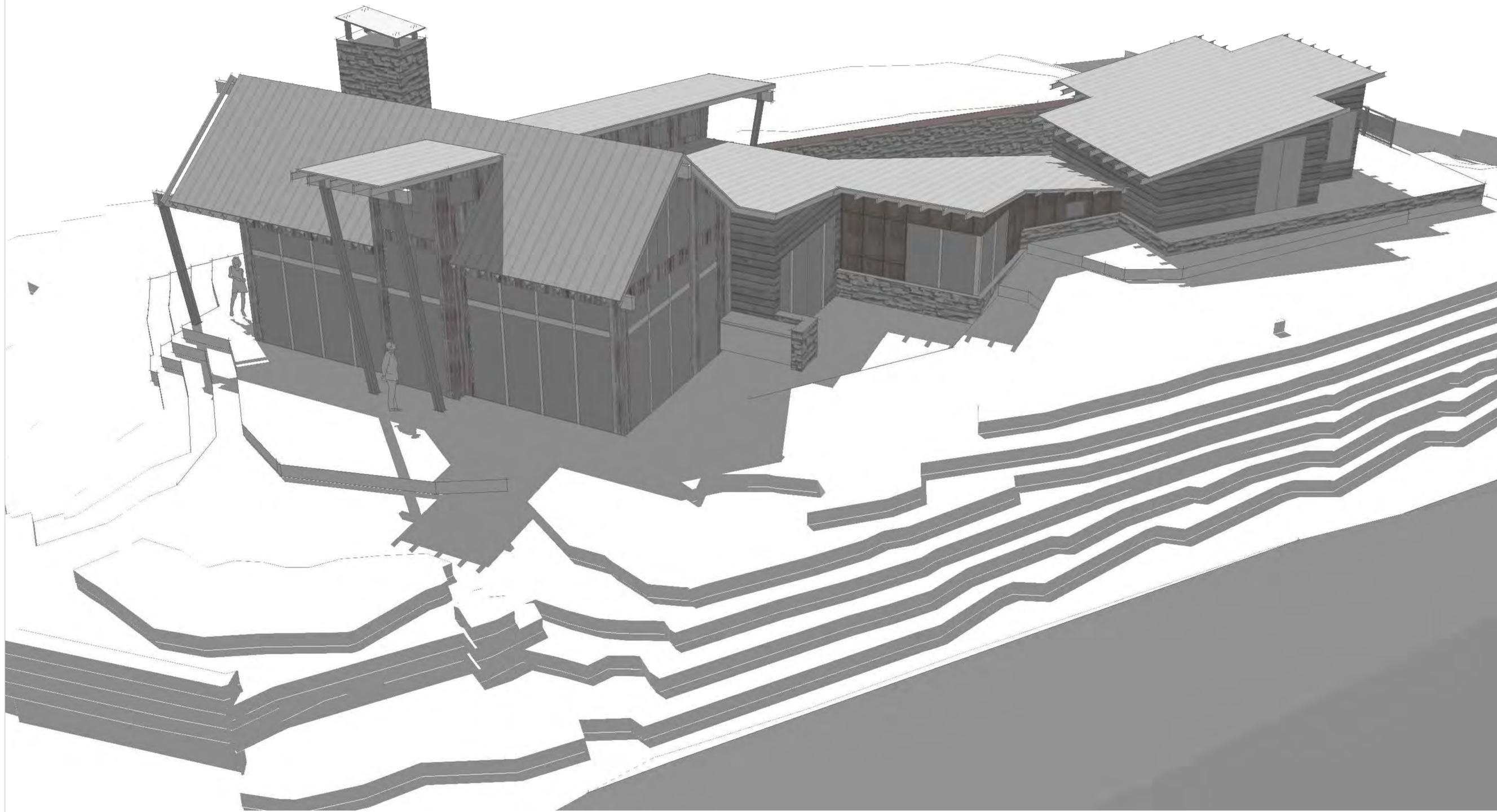
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08.11.2017 SD | DD - SCHEME E3
09.26.2017 DD - H1 MASSING | HOA
10.13.2017 CONTRACTOR | STAKING
10.25.2017 PLAN REVISIONS
11.17.2017 HOA
12.22.2017 HOA 2
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H1
MOUNTAIN VILLAGE
COLORADO 81435

phase
CONCEPTUAL PERSPECTIVES

sheet
A3.6



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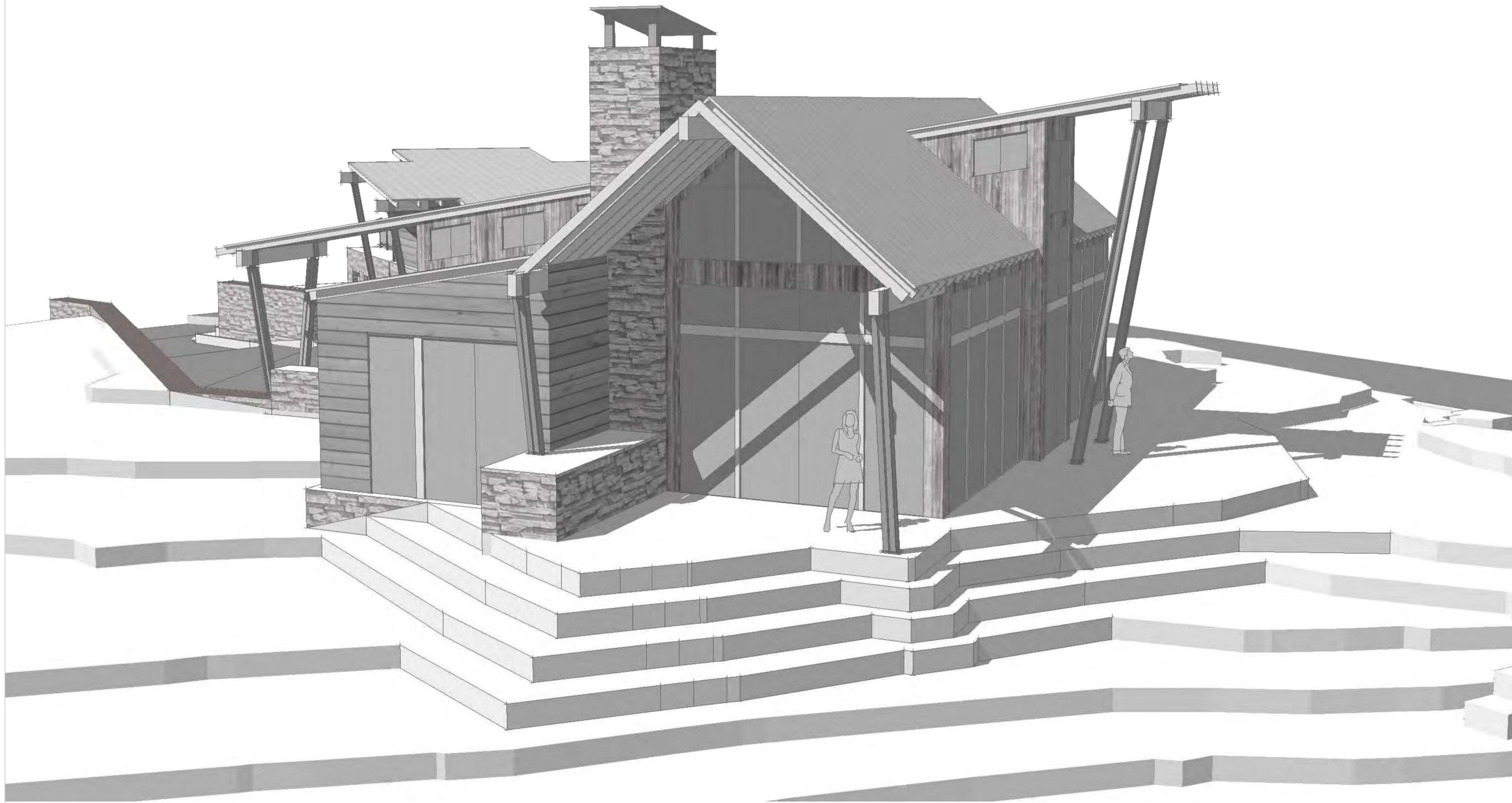
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11.17.2017	HOA
12.22.2017	HOA 2
01.04.2018	HOA 3
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H1
**MOUNTAIN
VILLAGE
COLORADO 81435**

**CONCEPTUAL
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**MOUNTAIN VILLAGE
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**CONCEPTUAL
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H1

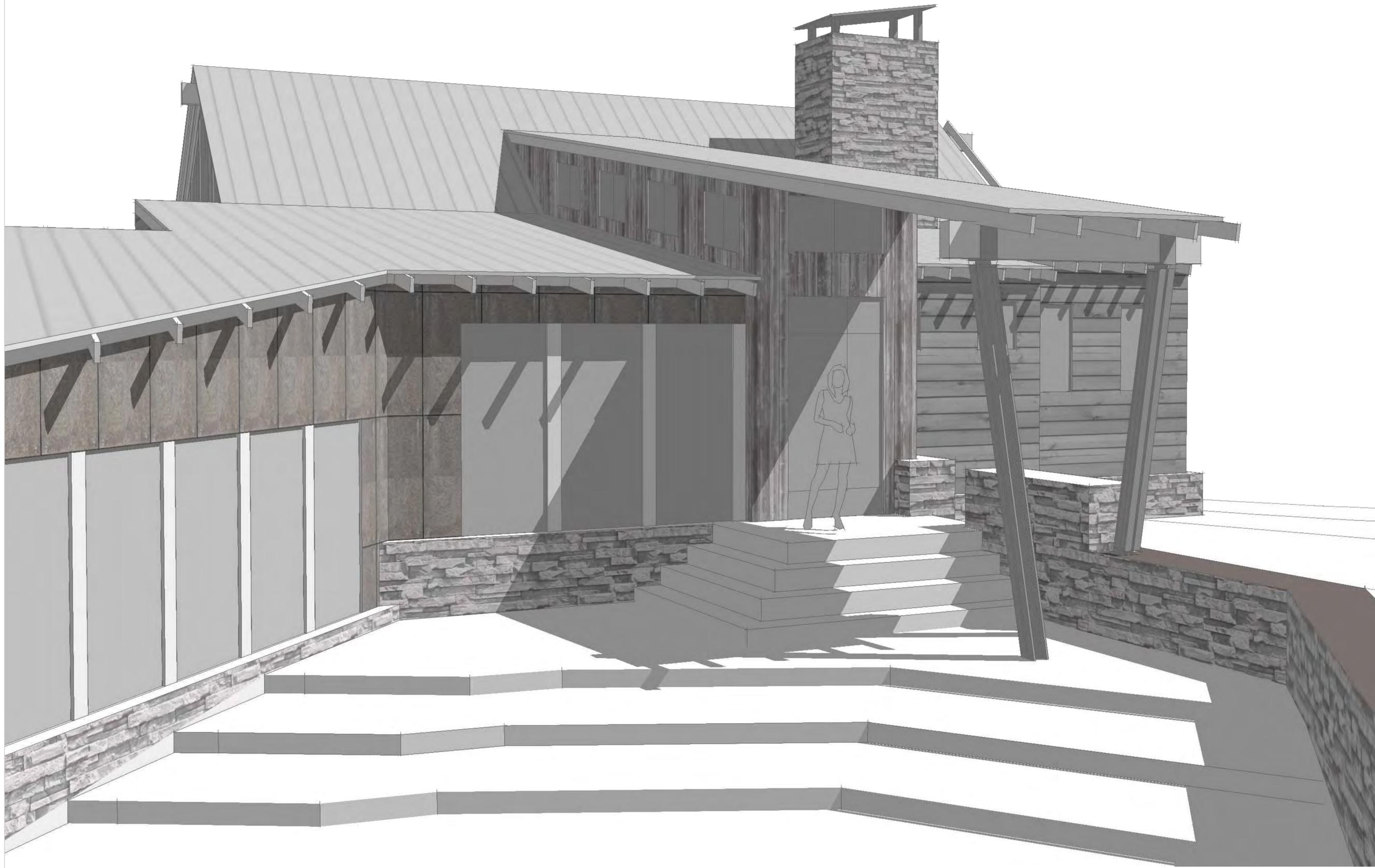
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VILLAGE
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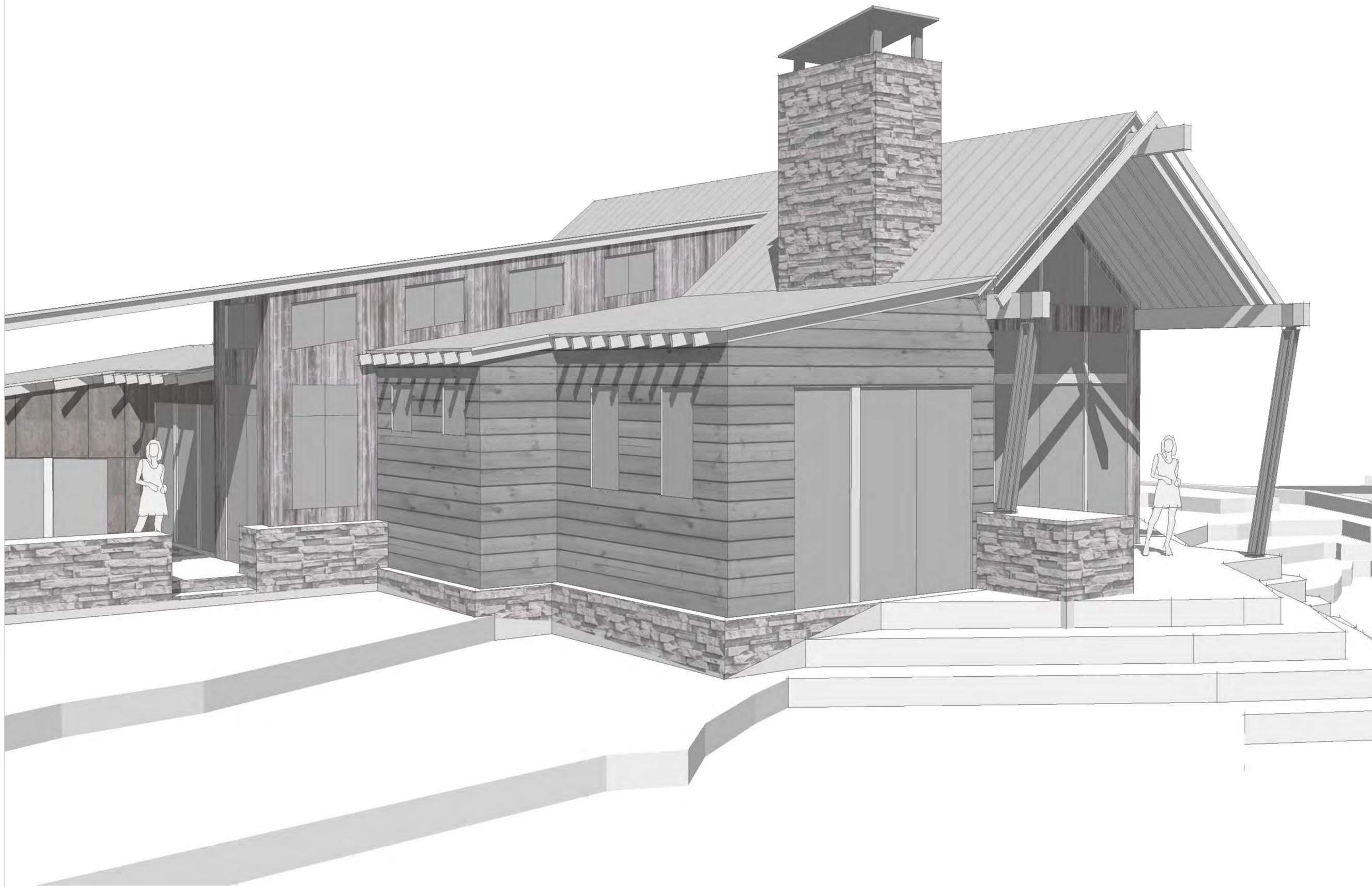
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H1

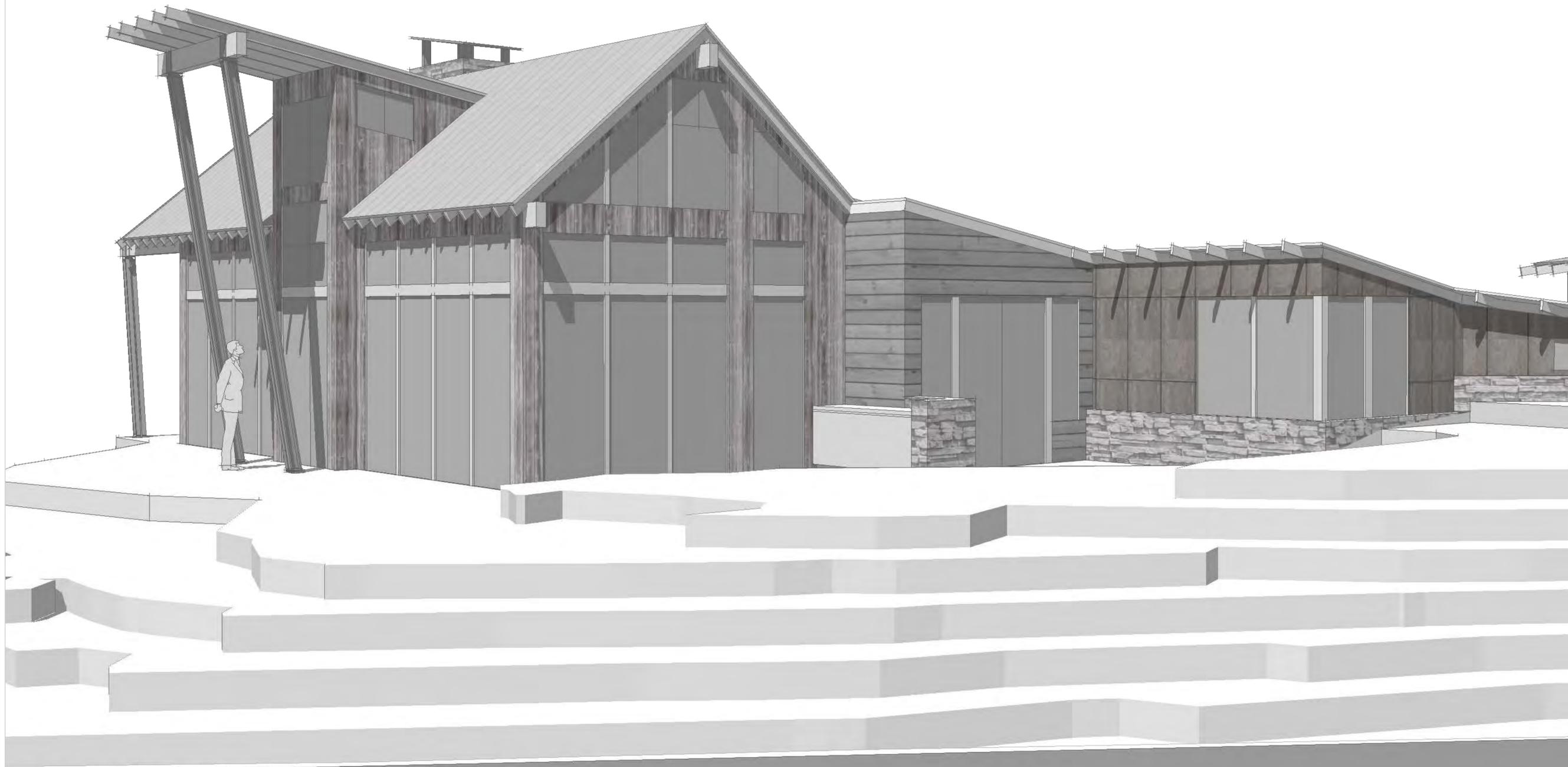
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phase

CONCEPTUAL PERSPECTIVES

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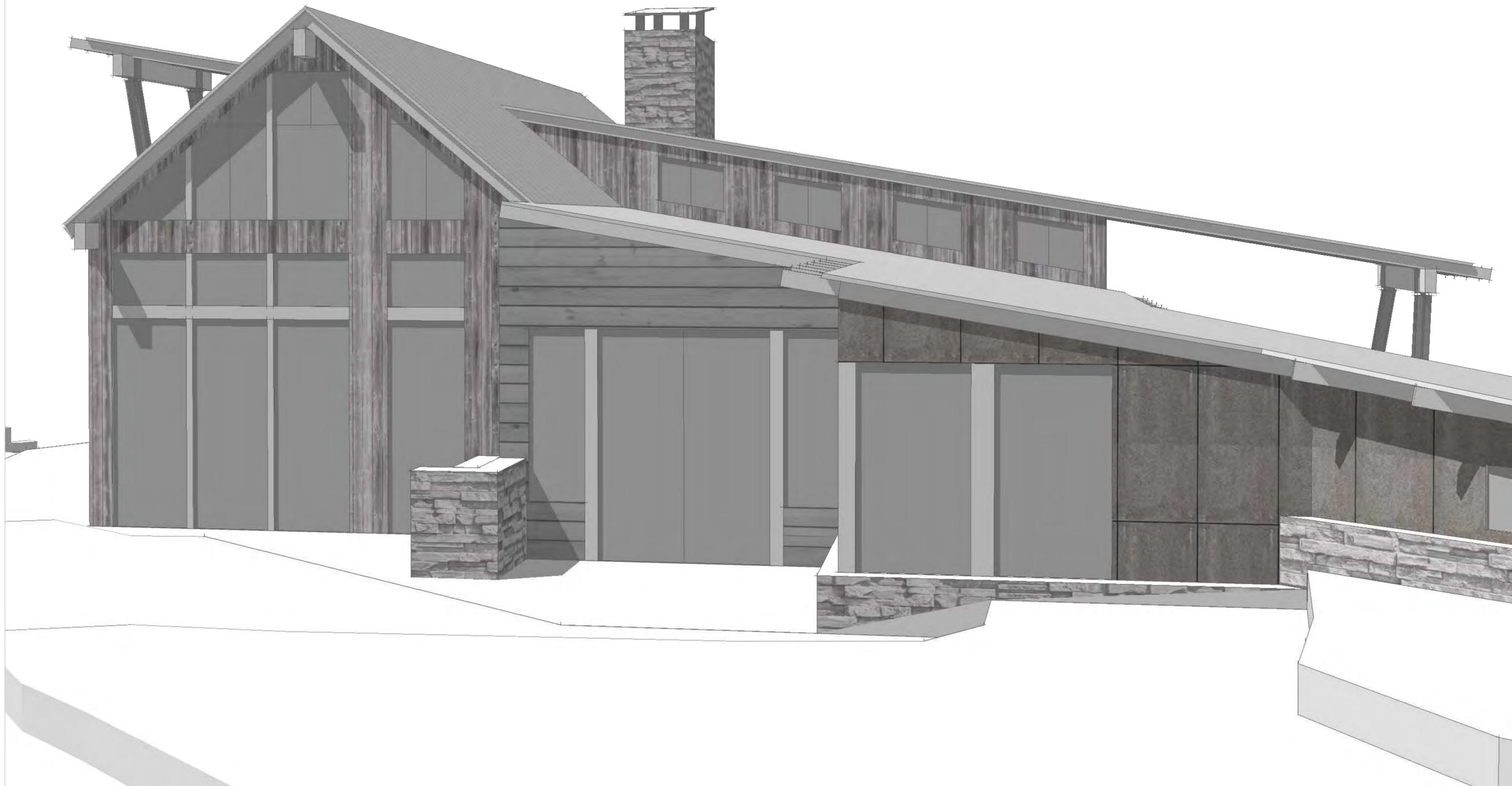
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VILLAGE
COLORADO 81435**

phase

**CONCEPTUAL
PERSPECTIVES**

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H1

**MOUNTAIN
VILLAGE
COLORADO 81435**

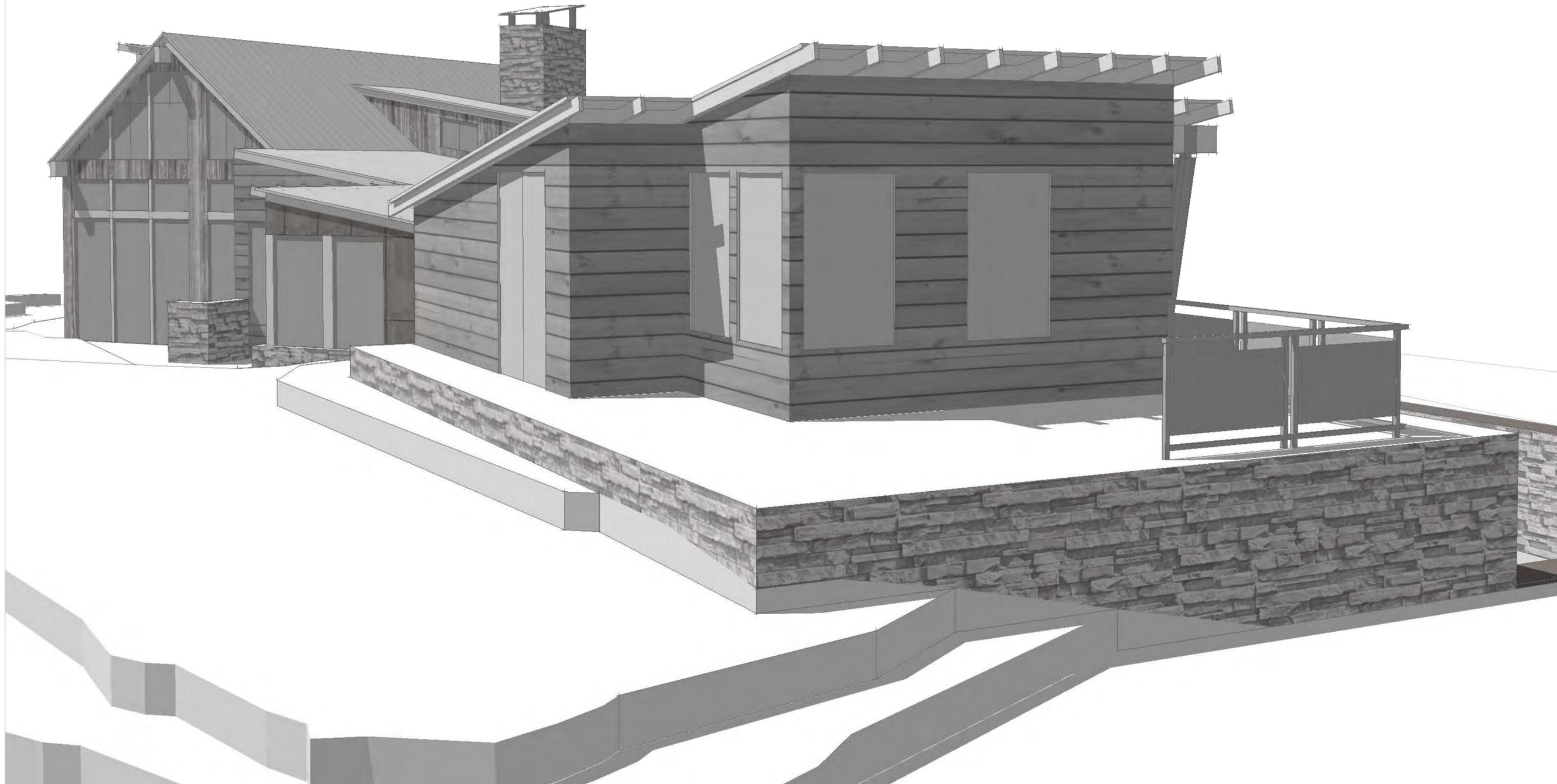
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**CONCEPTUAL
PERSPECTIVES**

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A3.13

A0 - Perspectives | Printed: 01.08.2018



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CONSTRUCTION**

project

H1

**MOUNTAIN
VILLAGE
COLORADO 81435**

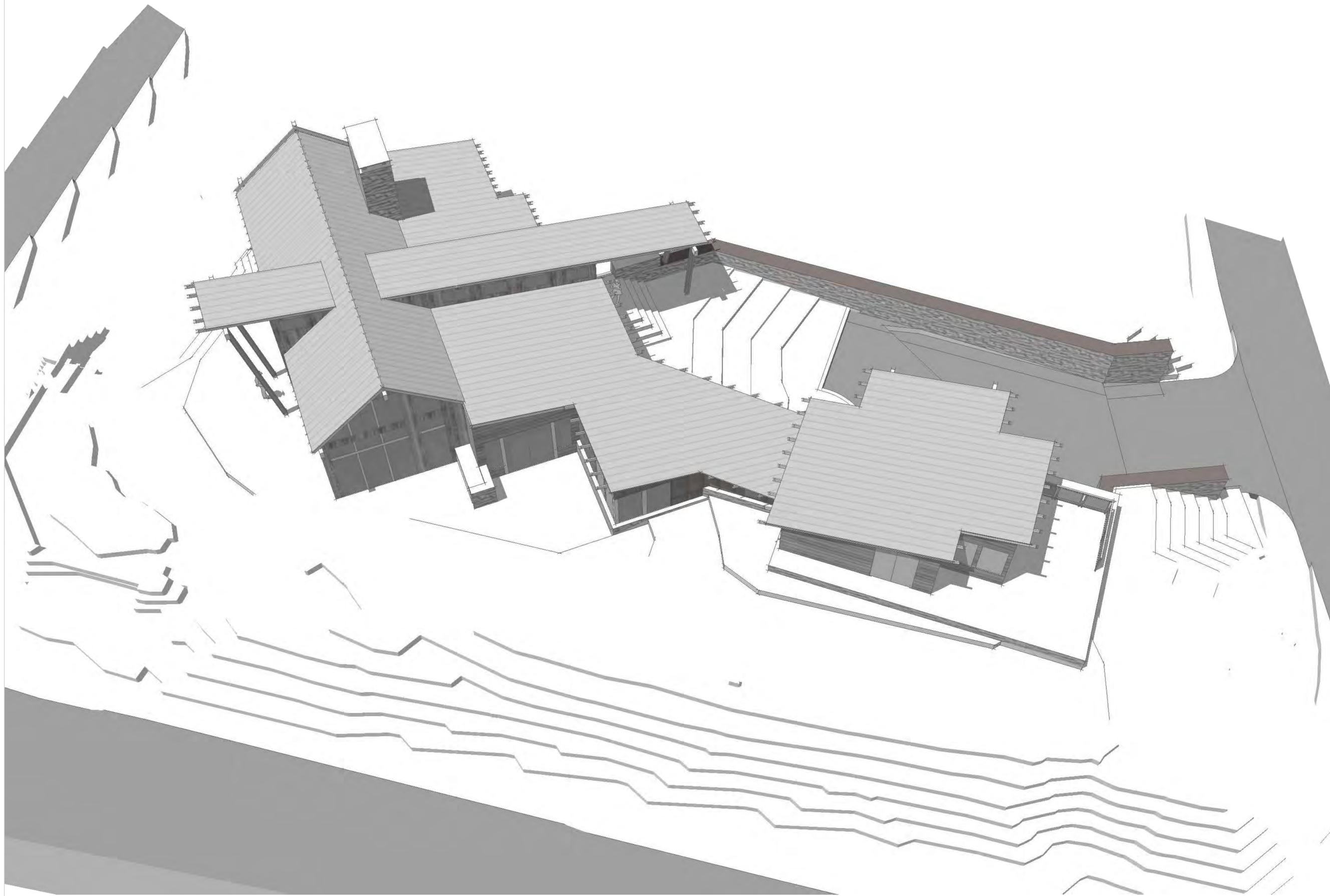
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**CONCEPTUAL
PERSPECTIVES**

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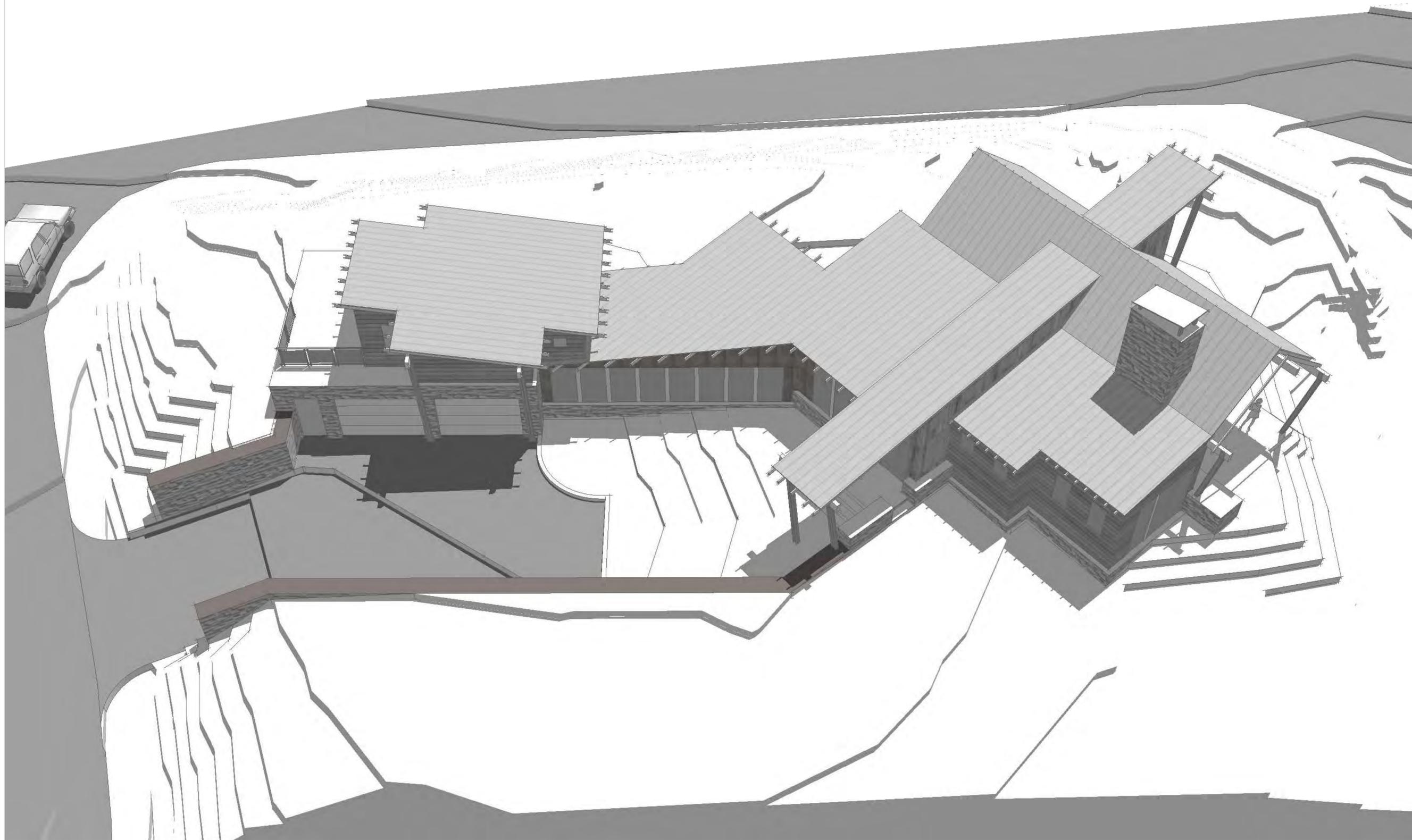
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01.08.2018	DRB

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project
H1
**MOUNTAIN
VILLAGE
COLORADO 81435**

phase
**CONCEPTUAL
PERSPECTIVES**

sheet
A3.15



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submissions
07.08.2017 CLIENT / SITE MEETING
07.20.2017 SD - SCHEMES C+D
08.11.2017 SD | DD - SCHEME E3
09.26.2017 DD - H1 MASSING | HOA
10.13.2017 CONTRACTOR | STAKING
10.25.2017 PLAN REVISIONS
11.17.2017 HOA
12.22.2017 HOA 2
01.04.2018 HOA 3
01.08.2018 DRB

**NOT FOR
CONSTRUCTION**

project
H1
**MOUNTAIN
VILLAGE
COLORADO 81435**

phase
**CONCEPTUAL
PERSPECTIVES**

sheet
A3.16

Sam Starr

From: Kevin Glynn <kglynn@global.t-bird.edu>
Sent: Sunday, January 21, 2018 3:31 PM
To: Sam Starr
Cc: Dana Riess
Subject: COmments to Design Review Board for AR 613 C-1

Hello

We own the lot next to AR613C-1

We object to spill-over of the solid (stone veneer) wall into 8' offset easement space to our lot. The wall should remain within the non-easement space(s). There is room on the Adams Way side of the lot to shift the whole structure east to maintain the appropriate space between the two lots' constructed structures.

Thank you

Kevin Glynn & Dana Riess

owners AR613 C-2

SIGN-IN SHEET

DRB Meeting

THURSDAY FEBRUARY 1, 2018

Please write clearly

ATTENDEE NAME (PLEASE PRINT CLEARLY)	EMAIL ADDRESS
John Horn	
Bill Hoins	bithde@gmail.com
DAN HOULIHAN	
Chris Hankins	Chris@alpineplanninglk.com
ROBERT STENHAMMEN	TSG
Albert Roer	Telluride Properties / GRANIA HOA
SAUL FELD	SAULFELD@MUCABLE.COM
Tommy Hein	tommy@tommyhein.com