

**TOWN OF MOUNTAIN VILLAGE  
REGULAR DESIGN REVIEW BOARD MEETING  
THURSDAY MARCH 29, 2018 10:00 AM  
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO  
AGENDA**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	5	Town Clerk		Oath of office B. Brown, K. Brown, D. Craige, L. Trujillo
3.	10:05	5	Starr	Action	Reading and Approval of Summary of Motions for the April 22, 2018 Joint Town Council and Design Review Board Roofing Materials Worksession and the March 1, 2018 Design Review Board Meeting.
4.	10:10	45	Bangert	Initial Architecture and Site Review	Consideration of a Design Review Initial Architectural and Site Review application for a new single-family home on Lot 432, 110 Highlands Way
5.	10:55	45	Bangert	Public Hearing, Quasi-Judicial Action	Consideration of Final Design Review for a new single-family home on Lot 201A, 102 Benchmark Drive
6.	11:40	30	Starr	Public Hearing, Quasi-Judicial Action	Consideration of a Design Review application for CeDUR synthetic roofing, which requires specific approval from the DRB, on Lot 601, Unit 3 Knoll Estates
7.	12:10	15	Bangert	Public Hearing, Quasi-Judicial Action	Consideration of a Design Review application to allow for a new retaining wall encroaching into a General Easement on Lot 657R, 139 AJ Drive
8.	12:25	30			LUNCH
9.	12:55	60	Haynes/Starr	Worksession	Continued Village Center Subarea Roofing Discussion: <ul style="list-style-type: none"> <li>• Discuss providing information to HOA's in the village center this spring-summer to help facilitate roof repair and maintenance in partnership with TMVOA</li> <li>• Discussion regarding Community Development Code Amendment to Village Center Roofing requirements to allow for a broader roof material palette pursuant to DRB approval and consider staff level review of roof material on dormer and secondary roof forms.</li> </ul>
10.	1:55				Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)  
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435  
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: [cd@mtnvillage.org](mailto:cd@mtnvillage.org). We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**SUMMARY OF MOTIONS  
TOWN OF MOUNTAIN VILLAGE  
JOINT TOWN COUNCIL AND DESIGN REVIEW BOARD  
ROOFING WORKSESSION  
THURSDAY, FEBRUARY 22, 2018**

**Call to Order**

Chairman Banks Brown called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:00 a.m. on Thursday, February 22, 2018 in the Conference Room at 455 Mountain Village Boulevard Mountain Village, CO 81435.

**Attendance**

**The following Board/Alternate members were present:**

Banks Brown  
David Craige  
David Eckman  
Keith Brown  
Luke Trujillo  
Phil Evans  
Greer Garner  
Jean Vatter (Alternate)  
Liz Caton (Alternate)

**Attendance**

**The following Town Council members were present:**

Laila Benitez (Mayor)  
Dan Caton  
Jack Gilbride  
Patrick Berry

**Town Staff/Presenter in attendance:**

Michelle Haynes, Planning & Development Services Director  
Dave Bangert, Senior Planner/Forester  
Sam Starr, Planner

**Public in attendance:**

Tim Johnston	Not Provided
Kristin Meucci	<a href="mailto:kkmeucci@gmail.com">kkmeucci@gmail.com</a>
Jack Schultz	Not Provided
Geo Greenbank	<a href="mailto:geog333@gmail.com">geog333@gmail.com</a>
Rob Rydel	<a href="mailto:rrydel@ozarch.com">rrydel@ozarch.com</a>
Kris Bvehm	Not Provided
Anita Cody	<a href="mailto:info@propertymanagementtelluride.com">info@propertymanagementtelluride.com</a>
Harper Meek	<a href="mailto:D.Harper.Meek@gmail.com">D.Harper.Meek@gmail.com</a>
Anton Benitez	<a href="mailto:Anton@tmvoa.org">Anton@tmvoa.org</a>
John Howe	<a href="mailto:johnedwardhowe3@gmail.com">johnedwardhowe3@gmail.com</a>

**Roofing and Village Center Design Discussion Introduction. Introduction of Robert Rydel, AIA, LEED AP BD+C Principal with Oz Architecture.**

Michelle Haynes, Director of Planning and Development Services, introduced Mr. Rob Rydel, AIA, LEED AP BD+C, and highlighted past work of OZ Architecture.

**Presentation: Village Center Roof Materials and Design Themes.**

Mr. Rydel spoke to the Joint Town Council and Design Review Board about his findings in comparative studies, and what roofing trends existed in modern mountain architecture.

Following the presentation, public comment was provided by:

Kristin Meucci  
John Howe  
George Greenbank

**Update on Concrete Tile Inventory**

Sam Starr, Planner, provided an update for the inventory of the concrete tiles that are present in the Mountain Village Core. Starr expressed that there is one viable seller, and the inventory available would supply approximately 1,000 sq. ft. of roofing material.

**Next Steps**

Michelle Haynes received direction from the Design Review Board to allocate time on the March 1, 2018 Design Review Board Agenda to resume discussion of the roofing materials. This matter would be discussed during the "Other Business" agenda item.

**Adjourn**

On a **Motion** made by David Eckman and seconded by Greer Garner DRB voted 7-0 to adjourn the February 22, 2018 worksession at 1:31 p.m.

Respectfully Submitted,

Sam Starr  
Planner

**SUMMARY OF MOTIONS  
TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD MEETING  
THURSDAY, MARCH 1 2018**

**Call to Order**

Chairman Banks Brown called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:00 a.m. on Thursday, March 1, 2018 in the Fire Department Conference Room at 411 Mountain Village Boulevard Mountain Village, CO 81435.

**Attendance**

**The following Board/Alternate members were present and acting:**

Banks Brown  
Keith Brown  
Liz Caton (Alternate)  
David Craige  
Phil Evans  
Greer Garner

**The following Board members were absent:**

Dave Eckman  
Luke Trujillo  
Jean Vatter (Alternate)

**Town Staff in attendance:**

Michelle Haynes, Planning & Development Services Director  
Dave Bangert, Senior Planner/Forester  
Sam Starr, Planner

**Public in attendance:**

Kristine Perpar	<a href="mailto:kristine@shiftarchitects.com">kristine@shiftarchitects.com</a>
Chris Hawkins	<a href="mailto:chris@alpineplanningllc.com">chris@alpineplanningllc.com</a>
Robert Stenhammer	<a href="mailto:Rstenhammer@telski.com">Rstenhammer@telski.com</a>
Eddie Sachs	<a href="mailto:eddie@tommyhein.com">eddie@tommyhein.com</a>
Neal Eilinoff	<a href="mailto:nealeilinoff@gmail.com">nealeilinoff@gmail.com</a>
Suse Connolly	Not Provided
Glen Robins	<a href="mailto:reduxuden@yahoo.com">reduxuden@yahoo.com</a>
Dave Ballode	<a href="mailto:dballode@msn.com">dballode@msn.com</a>
Jeff Koenig	<a href="mailto:Jeff@koenigconstructionservices.com">Jeff@koenigconstructionservices.com</a>
Stacy Lake	<a href="mailto:stacy@tommyhein.com">stacy@tommyhein.com</a>
Narcis Tudor	<a href="mailto:info@narcistudor.com">info@narcistudor.com</a>
Harper Mekil	<a href="mailto:D.Harper.Mekil@gmail.com">D.Harper.Mekil@gmail.com</a>

### **Reading and Approval of Summary of Motions for the January 4, 2018 Design Review Board Meeting.**

On a **Motion** made by Keith Brown and seconded by Phil Evans, the DRB voted 6-0 to approve the January 4<sup>th</sup>, 2018 Joint Town Council and Design Review Summary of Motions with the following changes:

- 1) The first three conditions for agenda item #5, a recommendation to Town Council regarding a comprehensive plan to Parcel M Lot 30, were to be listed as findings. The fourth clarified to be a condition.

### **Interview New Applicants for Design Review Board Open Seats with recommendation to Town Council**

The Design Review Board initiated the process of interviewing candidates for open seats on the Design Review Board. The board interviewed: Glen Robins, Neil Eilinoft, Eddie Sachs, and Suse Connolly, respectively.

On a **Motion** made by consensus, the DRB voted 6-0 to continue this deliberation after all other items on the March 1, 2018 Agenda.

### **Consideration of a Design Review Initial Architectural and Site Review Application for a new single-family home on Lot 201A, 102 Benchmark Drive.**

Dave Bangert presented the Consideration of a Class 3 Application for Initial Architectural and Site review for a new single-family home on Lot 201A, 102 Benchmark Drive. Kristine Perpar of Shift Architects presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by Phil Evans and seconded by Keith Brown, the DRB voted 6-0 to approve Initial Architecture Site Review application with the stated variations and specific approvals for Lot 201A with the following conditions:

- 1) *Applicant is requested to do the sighting along the northern boundary of property to ensure that a ten foot space exists between the structure's overhang, and the property line*
- 2) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 3) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 4) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 5) *Applicant will seek the approval of the Mountain Village Town Council for an address monument in the Benchmark Drive RROW.*
- 6) *Applicant will revise the Construction Mitigation Plan to address the concerns of Public Works and the MVPD regarding construction parking along Benchmark Drive.*

### **Consideration of Final Design Review for a new single-family home on Lot 416A, 206 Wilson Peak Drive.**

Dave Bangert presented the Consideration of a Final Design review for a new single-family home on Lot 416A, 206 Wilson Peak. Chris Hawkins of Alpine Planning LLC and Tommy Hein of Tommy Hein Architects presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by Keith Brown and seconded by Greer Garner, the DRB voted 5-1, with Phil Evans opposing, to approve the Final Design Review application with the stated variations and specific approvals for Lot 416A with the following conditions:

- 1) *Applicable Town fees and taxes shall be paid prior to commencing the activity or prior to the Town issuing a permit, as applicable, including but not limited to the Town's use tax.*
- 2) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 3) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 4) *Prior to issuance of a Building Permit the exterior lighting plan will need to be revised and approved by Staff/Chair or Chair's designate.*
- 5) *Prior to issuance of a CO the owner of Lot 416A will enter in to a General Easement Encroachment Agreement with the Town of Mountain Village for the address monument in the southern GE.*

**Consideration of Final Design Review for a new single-family home on Lot 89-2B, 667 Mountain Village Boulevard.**

Dave Bangert presented the Consideration of a Final Design review for a new single-family home on Lot 89-2B, 667 Mountain Village Boulevard. Chris Hawkins of Alpine Planning LLC and Tommy Hein of Tommy Hein Architects presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by Phil Evans and seconded by David Craige, the DRB voted 6-0 to approve the Final Design Review application with the stated variations and specific approvals for Lot 89-2B with the following conditions:

- 1) *Applicable Town fees and taxes shall be paid prior to commencing the activity or prior to the Town issuing a permit, as applicable, including but not limited to the Town's use tax.*
- 2) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 3) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 4) *Prior to issuance of a Building Permit the exterior lighting plan will need to be revised and approved by Staff/Chair or Chair's designate.*
- 5) *Prior to issuance of a CO the owner of Lot 89-2B will enter in to a General Easement Encroachment Agreement with the Town of Mountain Village for exterior parking, retaining walls. Address monument, and walking path with no further General Easement Encroachments allowed during the development of the project.*
- 6) *The Hilficker retaining walls will have galvanized wiring and the stone will be of the color, size, and shape as presented to the DRB.*

**Consideration of a Class 3 Application for a Final Design Review for a new single-family home on Lot AR613-C1, 101 Lawson Point.**

Sam Starr presented the Consideration of a Class 3 Application for Initial Architectural and Site review for a new single-family home on Lot AR613C1, 101 Lawson Point. Narcis Tudor of Narcis Tudor Architects presented on behalf of the owner.

Starr noted that public comment was provided in the packet, by email and hard copies were provided at their desk at the meeting. No other public comment was provided.

On a **Motion** made by David Craige and seconded by Greer Garner the DRB voted 6-0 to approve the Final Design Review application with the stated variations and specific approvals for Lot AR613-C1 with the following conditions:

- 1) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.*
- 2) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 3) *The owners will enter in to a revocable General Easement encroachment agreement for the address monument and driveway retaining walls located in the GE prior to issuance of a Certificate of Occupancy.*
- 4) *Applicant will relocate all construction vehicles to Lawson Point from Adams Way*
- 5) *Applicant will submit a new Address Identification Sign sheet that indicates downward lighting.*
- 6) *Prior to issuance of a Building Permit the Exterior Lighting Plan will need to be revised and approved by Staff/Chair or Chair's Designate.*
- 7) *The Western portion of the retaining wall be located to the site proposed in the Initial Architectural Site Review.*

**Interview New Applicants for Design Review Board Open Seats with recommendation to Town Council**

The Design Review Board reopened this agenda item. The board deliberated on the merits of all candidates.

On a **Motion** made by Phil Evans, and seconded by Liz Caton, the DRB voted 3-0 to recommend the Town Council reappoint the sitting members to an additional two-year term. An additional recommendation was made that if sitting members were not reappointed, Liz Caton and Jean Vatter be appointed to the Design Review Board, and Eddie Sachs and Glen Robins be considered as board alternates.

**Other Business**

The Design Review Board discussed roofing materials in the Mountain Village Core. The Board then directed Town Planning and Development Staff to draft Community Development Code language for Village Core roofing to present at the March 29<sup>th</sup> Design Review Meeting

**Adjourn**

On a **Motion** made by Greer Garner and seconded by Liz Caton, DRB voted 4-0 to adjourn the March 1<sup>st</sup>, 2018 meeting of the Mountain Village Design Review Board at 2:08 p.m.

Prepared and Submitted by,

Sam Starr  
Planner  
Town of Mountain Village



**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

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**TO:** Design Review Board  
**FROM:** Dave Bangert, Senior Planner  
**FOR:** Meeting of February 1, 2018  
**DATE:** March 21, 2018  
**RE:** Initial Architectural and Site Review for a new single-family dwelling on Lot 432, 110 Highlands Way.

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**PROJECT GEOGRAPHY**

**Application Overview:** The purpose of this agenda item is to allow the Design Review Board (DRB) to provide initial direction to the applicant regarding a proposed new single-family home.

**Legal Description:** Lot 432  
**Address:** 110 Highlands Way  
**Applicant/Agent:** Tom Conyers  
**Owner:** Allan B. and Kara A. Mills  
**Zoning:** Single-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 1.115 acres

**Adjacent Land Uses:**

- **North:** Single -Family
- **South:** Single-Family
- **East:** Open Space
- **West:** Single-Family

**ATTACHMENTS**

- Exhibit A: Narrative
- Exhibit B: Plan Set

**BACKGROUND**

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Design Review for the development of a single-family residence. The proposed project consists of a 6,551-total square foot (with a 822 square foot garage) single-family home located on lot 432. This first step of our two-step process will be initial architectural and site review.

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	35' maximum (35'+5' for gable roof)	34' - 11"
Maximum Avg Building Height	30' maximum (30'+5' for gable roof)	18' - 11"
Maximum Lot Coverage	40% maximum	10%
<b>General Easement Setbacks</b>		
North	16' setback from lot line	1' to GE
South	16' setback from lot line	4' to GE
East	No GE on Eastern lot line	27' to lot line
West	16' setback from lot line	98' to GE
<b>Roof Pitch</b>		
Primary		2:12 shed
Secondary		2:12 sheds
<b>Exterior Material</b>		
Stone	35%	34.4%
Wood	(No requirement)	28.6%
Windows/Doors	40% maximum for windows	33.3%
Metal panel siding		3.7%
Parking	2 enclosed and 2 exterior	3 enclosed and 3 exterior

**17.3.12.C BUILDING HEIGHT LIMITS**

The average height for the proposed designed is compliant at 18' – 11". The maximum height is 34' – 11", which puts it within 1" of the maximum height allowed for the roof design.

When a proposed development is approved that is five (5) feet or less from the maximum building height or maximum average building height, the review authority approval shall include a condition that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This shall be done prior to the Building Division conducting the required framing inspection.

**17.5.5 BUILDING SITING DESIGN**

Lot 432 is a larger sized (1.115 acres) hexagon shaped lot that slopes from west to east. Forest cover on the lot is primarily aspens with a few subalpine firs in the understory. All proposed improvements are outside of the General Easements except the address monument which is proposed to go in the western GE. The terrace on the north side of the lot is one foot off the northern GE line and the auto court retaining wall is four feet off the southern GE. This will require a footer survey prior to pouring concrete to ensure there is no encroachments in to the General Easement area.

**17.5.6 BUILDING DESIGN**

**Building Form and Exterior Wall Form**

In accordance with the Community Development Code, the proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation.

**Roof Forms, Design and Materials**

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets. The primary roof form for the residence is a 2:12

shed. The secondary roof forms are 2:12 sheds. The proposed roofing material will be bonderized standing seam that will require specific approval from the DRB.

**Exterior Wall Materials**

The exterior walls consist of 34.4% stone veneer (dry stack grey stone veneer) with no exposed grout; 28.6% wood, vertical 8” stained siding; and 33.3% fenestration (black metal clad windows) and 3.7% grey metal corrugated siding. The exterior stone will need to be increased slightly to meet the 35% requirement.

**17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan prepared by Uncompahgre Engineering, LLC for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades of 3:1 or flatter.

**17.5.8 PARKING REGULATIONS**

There are 3 enclosed parking spaces and 3 exterior spaces proposed. All parking spaces are completely located within the property boundaries with no encroachments into General Easements or setbacks.

**17.5.9 LANDSCAPING REGULATIONS**

The proposed landscape plan shows 2 aspens, 14 spruces, 5 shrubs and a 300 square foot area of sod to the south of the front entry with all disturbed areas to be re-seeded per CDC guidelines. All plantings will need to be in compliance with Table 5-4 of the CDC: Table 5-4, Minimum Plant Size Requirements

<b>Landscaping Type</b>	<b>Minimum Size</b>
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.

The irrigation plan submitted has a rainfall sensor and a backflow prevention device called out.

**17.5.11 UTILITIES**

All shallow utilities are proposed to be run from west side of the lot. Sanitary sewer will tie in to the existing sewer line to the north. Public Works requests that all utilities be field located by the contractor prior to construction.

**17.5.12 LIGHTING REGULATIONS**

The exterior lighting plan shows 24 down lights, 9 sconces and 15 step lights. Locations include terraces, egresses and a front entrance patio. The DRB should determine if this amount of exterior lighting is appropriate for the design and the site.

**17.5.13.E.4 ADDRESS IDENTIFICATION SIGNS**

The address monument is compliant with the code. The proposed location is in western General Easement and will require specific approval as well as the owners of Lot 432 entering in to a General Easement Encroachment Agreement with the Town of Mountain Village.

**17.6.6.B. DRIVEWAY STANDARDS**

The driveway designs meet the standards of the CDC. The first 20' of the drive is at 2.72% grade and the auto court area has a maximum grade of 2.57%. Applicant has indicated the total snow melt will be under 1000 square feet.

**17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS**

The applicant has indicated that one fireplace will be a wood burning and two will be gas along with the raised fire pit on the northern terrace. The owner's bought a fireplace permit along with the lot.

**17.7.19 CONSTRUCTION MITIGATION**

All construction staging is with the lot boundaries and outside of the General Easements. There is no proposed construction parking along Highlands Way.

**PROPOSED VARIATIONS AND SPECIFIC APPROVALS**

- Specific approval for the address in the western General Easement
- Specific approval for the use of bonderized standing seam roofing.

**RECOMMENDATION**

Staff recommends the DRB approve the Initial Architecture Site Review application with the stated variations and specific approvals for Lot 432 with the following conditions which shall be addressed before Final Review hearing unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.
3. Prior to issuance of a CO the owners of Lot 432 will enter in to a General Easement Encroachment Agreement with the Town of Mountain Village for the address monument in the western GE.

Thomas W. Conyers, Architect, A.I.A.  
P.O. Box 3383  
Telluride, Co 81435  
Phone 970.369.0057

Mills Residence  
Lot 432 TMV  
Mountain Village, Colorado 81435

### PROJECT NARRATIVE

The Mills Residence located on Lot 432 on Highlands Way is a 6551 square foot primary residence with an 822 square foot attached garage. The footprint of the house spans across a relatively flat section of the lot and is sited to maximize views and preserve as many existing trees as possible.

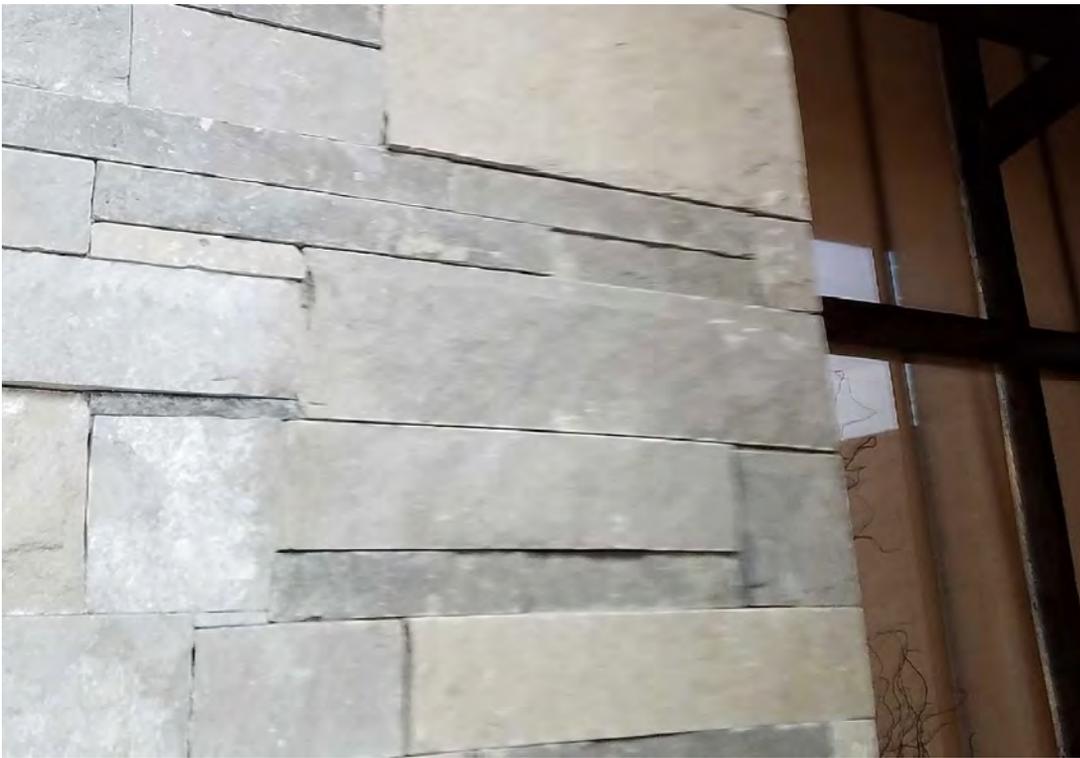
The house is designed around a large exterior terrace on the East side of the property. The terrace is partially covered and the roof form is designed to shed snow away from the terrace for year round use. To minimize the visual impact of the home, a 2:12 roof pitch was incorporated into a steel and glass frame system. For design consistency, the architectural massing is a series of interlocking shed roof forms. The entry courtyard is shaped by large stone walls on the main house and garage. The house opens up to the steel and glass frame as you pass through the stone walls.

The owner's intent was to blend contemporary architectural forms with more contemporary mountain finishes. The use of heavy steel beams, drystack grey stone veneer, heavy wood plank siding and corrugated metal panel siding along with the low profile of a one story house with a walkout basement will allow the home to blend into the existing landscape and fit within the context of the existing contemporary homes on Highlands Way.

SITE PHOTO



STONE VENEER



VERTICAL WOOD SIDING



HORIZONTAL WOOD PLANK SIDING



METAL SIDING



BONDERIZED ROOFING MATERIAL







GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:

SEWER, WATER, AND CABLE TV: TOWN OF MOUNTAIN VILLAGE  
 NATURAL GAS: BLACK HILLS ENERGY  
 POWER: SAN MIGUEL POWER  
 TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ALL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL COORDINATE THE DISCHARGE REQUIREMENTS WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROFF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTATION AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

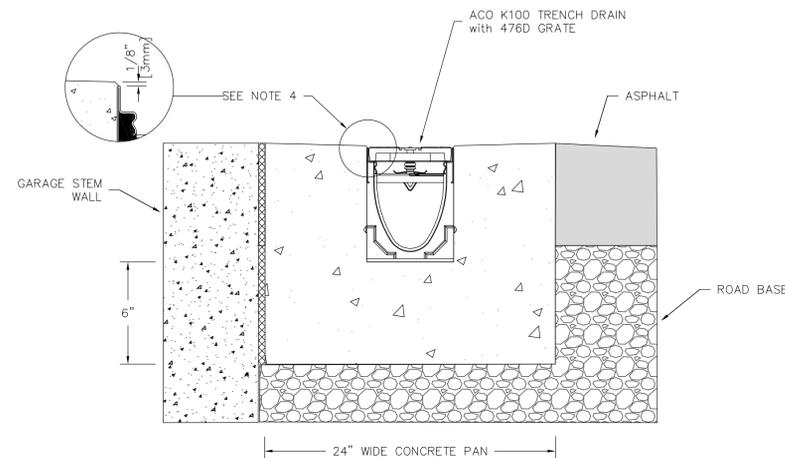
24. PROPOSED WATER AND SANITARY SEWER ARE TO MAINTAIN A MINIMUM TEN FEET (10') HORIZONTAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) AND A MINIMUM VERTICAL SEPARATION OF EIGHTEEN INCHES (18").

25. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

26. HOT TUB DRAINS CANNOT BE CONNECTED TO THE SANITARY SEWER SYSTEM.

27. JOINTS IN SEWER MAINS THAT ARE WITHIN 18 INCHES VERTICALLY AND 10 FEET HORIZONTALLY SHALL BE ENCASED IN CONCRETE.

28. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



NOTES:

- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS.
- MINIMUM CONCRETE STRENGTH OF 4,500 PSI IS REQUIRED.
- EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND.
- THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" [3mm] ABOVE THE TOP OF THE CHANNEL EDGE.
- CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS.
- REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

SPECIFICATION CLAUSE

K100 KLASIKDRAIN - LOAD CLASS C

GENERAL  
 THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K100 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

MATERIALS  
 CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:

COMPRESSIVE STRENGTH:	14,000 PSI
FLEXURAL STRENGTH:	4,000 PSI
TENSILE STRENGTH:	1,500 PSI
WATER ABSORPTION:	0.07%
FROST PROOF	YES
DILUTE ACID AND ALKALI RESISTANT	YES
B117 SALT SPRAY TEST COMPLIANT	YES

THE SYSTEM SHALL BE 4" (100mm) NOMINAL INTERNAL WIDTH WITH A 5.1" (130mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING "QUICKLOK" BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.



Uncompahgre  
 Engineering, LLC

P.O. Box 3945  
 Telluride, CO 81435  
 970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2018-03-02

Lot 432  
 Highlands Way  
 Mtn. Village, CO

NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Civil  
 Engineering  
 Notes

C1



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2018-03-02

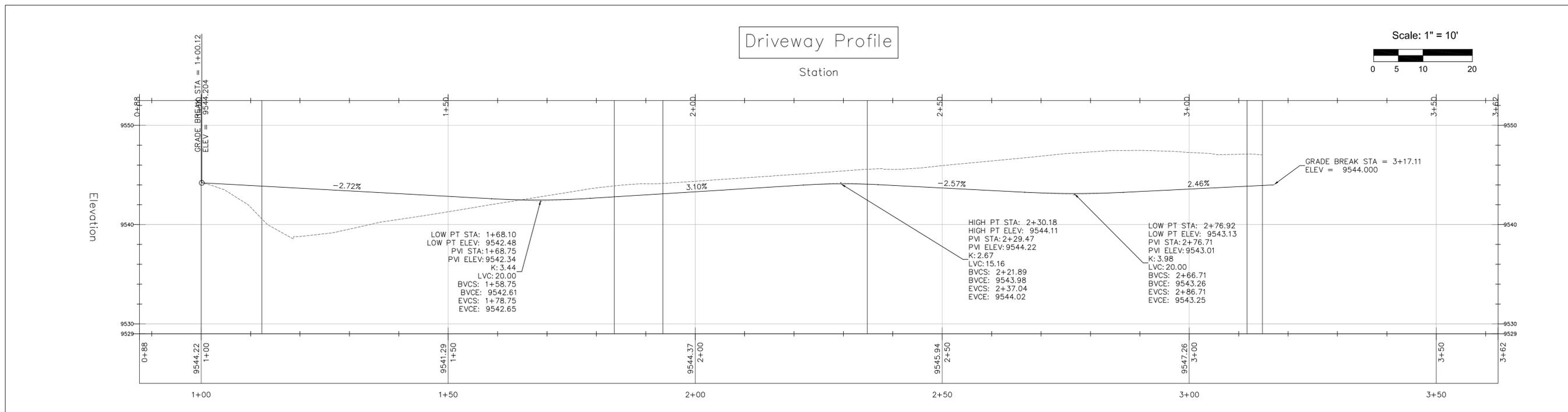
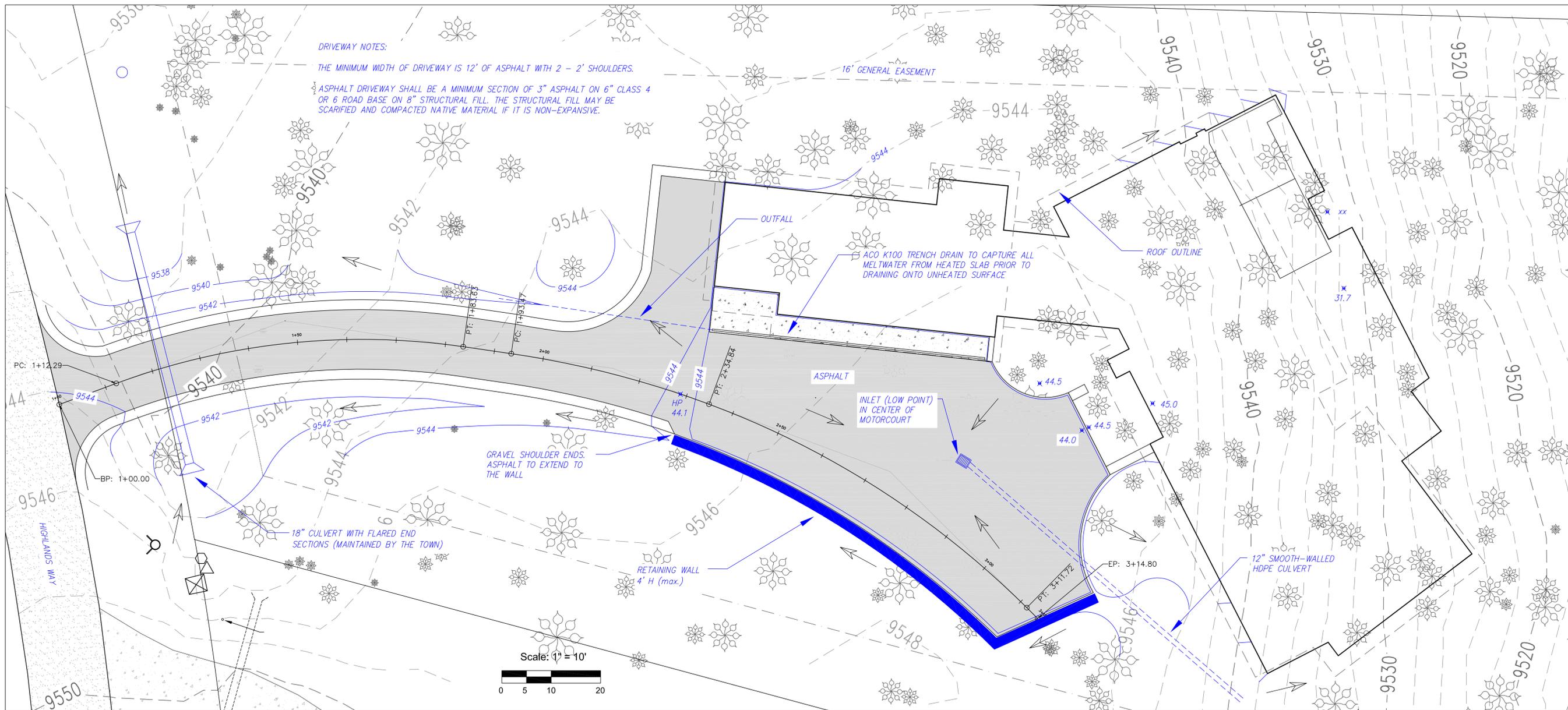
Lot 432  
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DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading  
and  
Drainage  
with  
Existing Trees

C2





Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

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Highlands Way  
Mtn. Village, CO

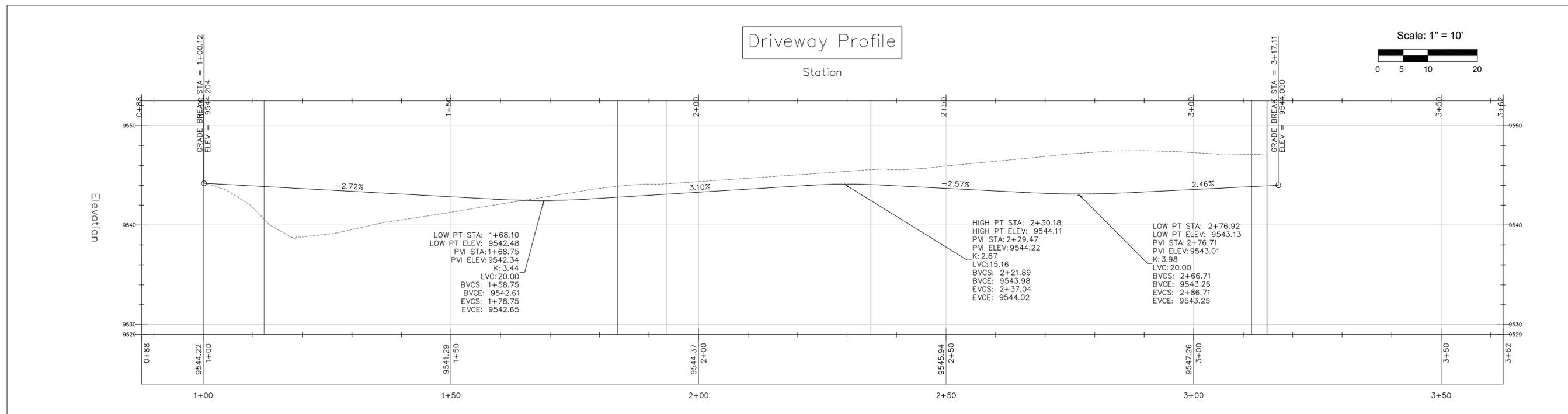
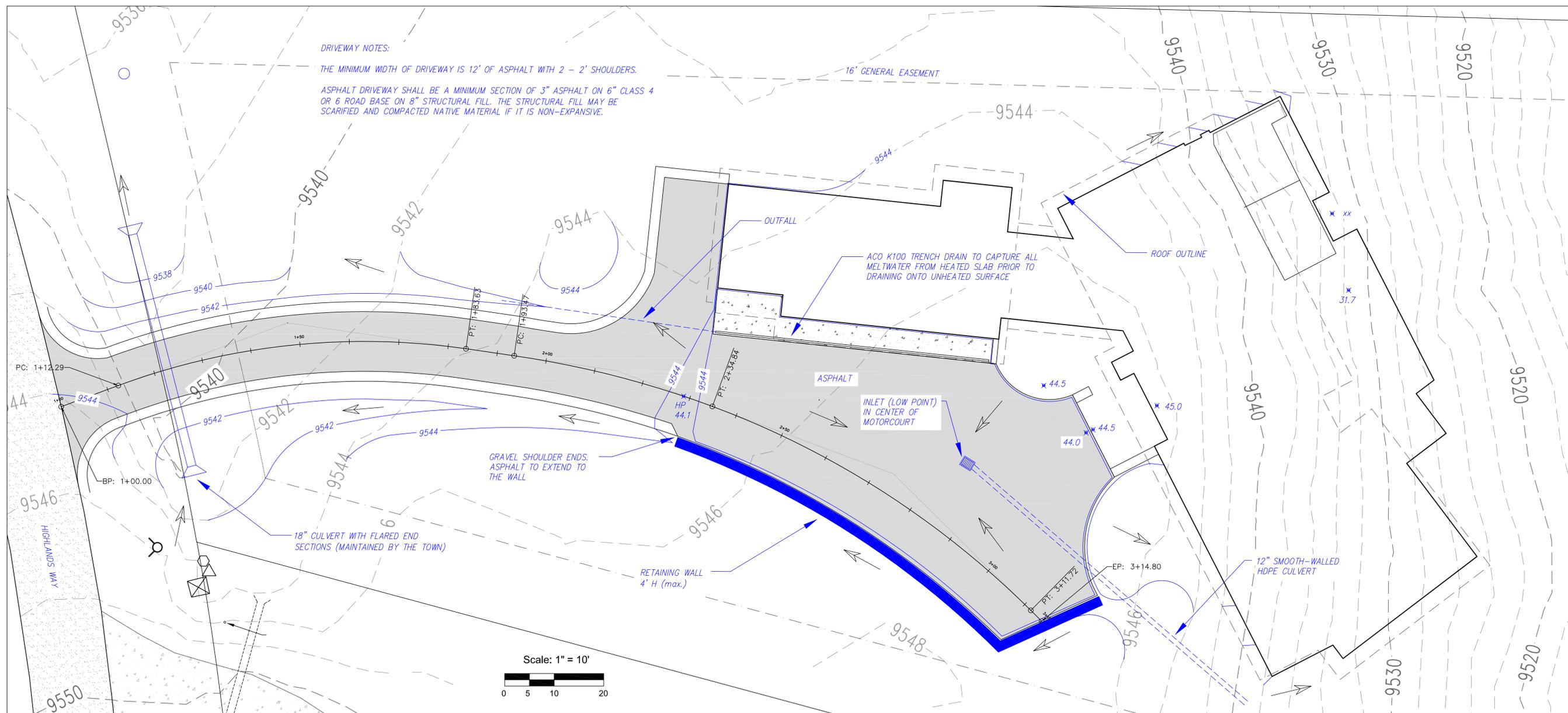
NOT FOR CONSTRUCTION

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CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading  
and  
Drainage

without  
Existing Trees

C3





Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2018-03-02

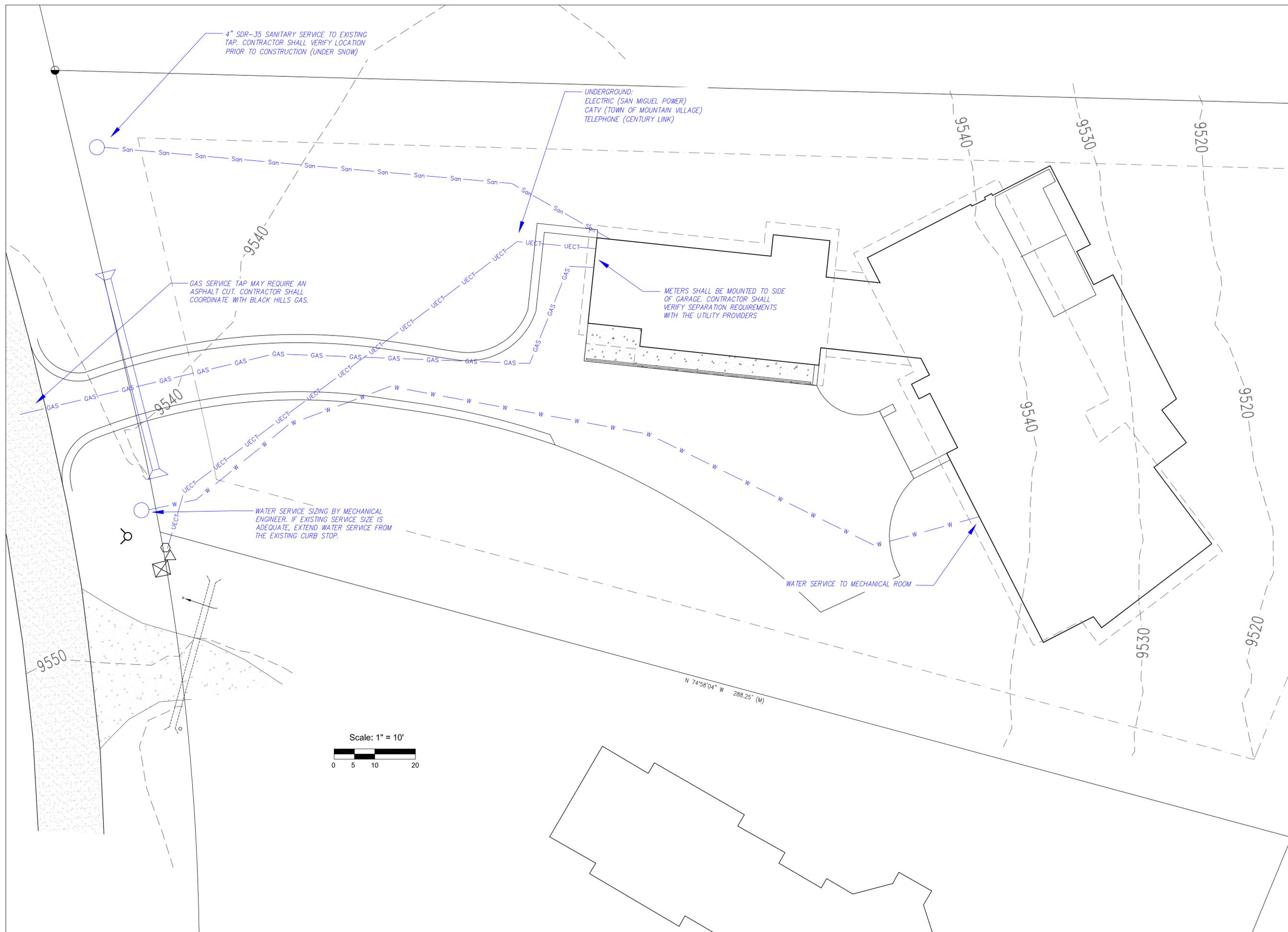
Lot 432  
Highlands Way  
Mtn. Village, CO

NOT FOR CONSTRUCTION

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AND REPORT ANY DISCREPANCIES TO THE  
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DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C4

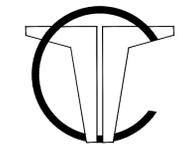


**GENERAL NOTES**

- BUILDING FOOTPRINT IS TO BE LOCATED BY A CERTIFIED SURVEYOR.
- ALL UTILITIES ARE TO BE BURIED.
- LOCATE ALL UTILITIES WITH REPRESENTATIVES OF EACH INDIVIDUAL UTILITY COMPANY OR PROPERTY MASTER PLAN.
- VERIFY SIZE AND LOCATION OF UTILITY LINES WITH APPROPRIATE UTILITY COMPANY OR CONTRACTOR TO PERFORM UTILITY WORK.
- ALL TOPOGRAPHICAL INFORMATION OBTAINED FROM: FOLEY AND ASSOCIATES TELLURIDE, CO 81435 (970)728-6153
- CONTRACTOR TO VERIFY ELEVATIONS SHOWN ARE BASED ON THE MOUNTAIN VILLAGE PROJECT DATUM.
- ANY DISCREPANCIES FOUND ON THESE CONSTRUCTION DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

**LEGEND**

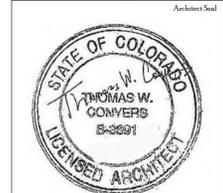
- EXISTING CONTOUR
- PROPOSED CONTOUR



Thomas W. Conyers  
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P.O. BOX 3383  
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970-369-0007

**MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO**

DRG SUBMITTAL	3-2-18
DESCRIPTION	DATE



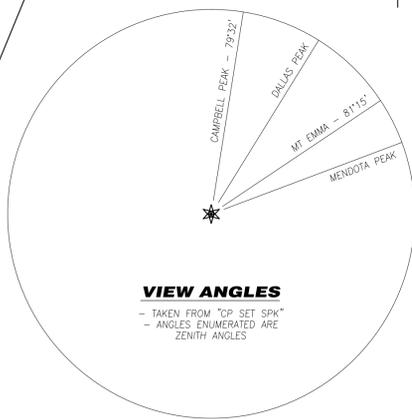
SITE PLAN

**A1.1**



NOTE: VERIFY LOCATION OF SENIOR TAP IN MOUNTAIN VILLAGE PUBLIC WORKS

**A SITE PLAN**  
SCALE: 1/16" = 1'-0"  
SITE ELEVATION 9544'-0" = 100'-0"



- LEGEND**
- FIRE HYDRANT
  - SEWER MANHOLE
  - TRANSFORMER
  - TELEPHONE PEDESTAL
  - CABLE-TV PEDESTAL
  - FOUND 3-1/2" ALUMINUM CAP MARKED U.S. B.L.M.
  - FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 206.32
  - SET 1-1/2" ALUMINUM CAP ON 18" No. 5 REBAR, L.S. 376.62
- MEASURED DIMENSIONS ACCORDING TO THIS SURVEY  
RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 866.

**GENERAL NOTES**

- BUILDING FOOTPRINT IS TO BE LOCATED BY A CERTIFIED SURVEYOR.
- ALL UTILITIES ARE TO BE BURIED.
- LOCATE ALL UTILITIES WITH REPRESENTATIVES OF EACH INDIVIDUAL UTILITY COMPANY OR PROPERTY MASTER PLAN.
- VERIFY SIZE AND LOCATION OF UTILITY LINES WITH APPROPRIATE UTILITY COMPANY OR CONTRACTOR TO PERFORM UTILITY WORK.
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- ANY DISCREPANCIES FOUND ON THESE CONSTRUCTION DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR

**TREE LEGEND**

- SMALL ASPEN (2"-6" DIA.)
- MEDIUM ASPEN (8"-16" DIA.)
- LARGE ASPEN (18"+ DIA.)
- SMALL FIR (2"-6" DIA.)
- LARGE FIR (16"+ DIA.)
- LARGE SPRUCE (16"+ DIA.)



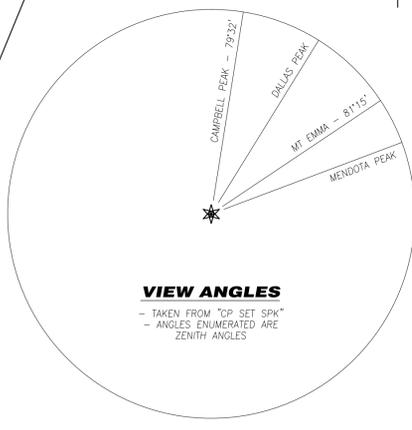
**Thomas W. Conyers**  
Architect, AIA  
PO BOX 3383  
TELLURIDE, CO 81435  
970-369-0007

NOTE:  
ALL TREES LOST IN THE GENERAL EASEMENT SHALL BE REPLACED AT A 2:1 RATIO.

NOTE:  
TREE REMOVAL SHALL COMPLY WITH THE FIRE MITIGATION AND FORESTRY MANAGEMENT REQUIREMENTS IN SECTION 17.6.1 A OF THE CDC.



**TREE REMOVAL PLAN**  
SCALE: 1/16" = 1'-0"  
SITE ELEVATION 9545'-0" = 100'-0"



- LEGEND**
- FIRE HYDRANT
  - SEWER MANHOLE
  - TRANSFORMER
  - TELEPHONE PEDESTAL
  - CABLE-TV PEDESTAL
  - FOUND 3-1/2" ALUMINUM CAP MARKED U.S. B.L.M.
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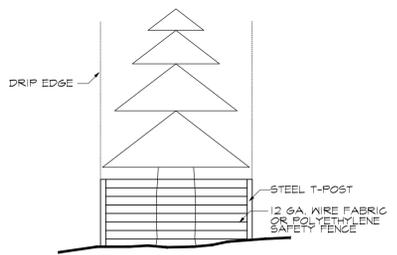
**MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO**

DRG SUBMITTAL	3-2-18
DESCRIPTION	DATE



**TREE REMOVAL PLAN**

**A1.2**



**1 TREE PROTECTION DETAIL**  
NOT TO SCALE

**LOT 182**  
(MILLS KARA A AND MILLS ALAN BRADY, JOINT TRUST)

- LANDSCAPE ARCHITECT NOTES:**
1. ALL TREES AND SHRUBS ARE TO BE LOCATED BY THE PROJECT LANDSCAPE ARCHITECT.
  2. LOCATION OF ALL IRRIGATION CONTROLS AND VALVE BOXES ARE TO BE LOCATED BY THE PROJECT LANDSCAPE ARCHITECT.
  3. ALL TREES AND SHRUBS TO BE IRRIGATED WITH A LOW VOLUME DRIP APPLICATION.
  4. PROVIDE POSITIVE DRAINAGE THROUGHOUT THE SITE.

- REVEGETATION AND EROSION CONTROL NOTES:**
1. ROAD AND DRIVEWAY SHALL BE REVEGETATED WITHIN 30 DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE REVEGETATED IMMEDIATELY (WITHIN 2 WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNERS SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.
  2. EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OR RUNOFF TO ANY PONDS, STREAMS, OR WETLANDS.
  3. IN AREAS THAT ARE TO BE REVEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPE SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED).
  4. NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION-CONTROL NETTING.
  5. EROSION CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2, AND IN DRAINAGE SWALES.
  6. NO NOXIOUS WEEDS ARE INCLUDED IN THE REVEGETATION OR LANDSCAPE PLAN PER SECTION 9-109 OF THE DESIGN REGULATIONS.

**TREE LEGEND**

- SMALL ASPEN (2"-6" DIA.)
- MEDIUM ASPEN (6"-16" DIA.)
- LARGE ASPEN (16"+ DIA.)
- SMALL FIR (2"-6" DIA.)
- LARGE FIR (16"+ DIA.)
- LARGE SPRUCE (16"+ DIA.)

- GENERAL NOTES**
1. SOIL PREPARATION: EVENLY SPREAD FOUR INCHES OF TOPSOIL OVER ALL AREAS TO BE RESEED WITH NATIVE GRASSES. A SOIL AMENDMENT SUCH AS ROTTED MANURE MUST BE ROTOTILLED INTO THE SOIL TO A SIX TO EIGHT INCH DEPTH.
  2. TREE AND SHRUB PLANTING: PLANT IN HOLE TWICE THE DIAMETER OF ROOT BALL. SET TOP OF ROOT BALL EVEN WITH SUBROUNDING GRADE. BACKFILL HOLE WITH CLEAN TOPSOIL. WATER DISTURBED SOIL AROUND ROOT BALL TO REMOVE AIR POCKETS. COVER ROOT BALL WITH TWO INCHES OF COMPOSTING MULCH.
  3. EXISTING TREE PROTECTION: PROTECT ALL REMAINING EXISTING TREES AND VEGETATION WITH HAY BALES AND CONSTRUCTION FENCING. NO ROOTS TO BE EXPOSED AND NO GRADING ADJUSTMENTS WITHIN THE DRIFLINE.
  4. NATIVE GRASS SEEDING: SEED NATIVE GRASSES AT RATE RECOMMENDED BY MANUFACTURER. RAKE SEED INTO SOIL. EVENLY SPREAD STRAW MULCH OVER SEEDED AREAS. SEEDED SLOPES GREATER THAN A 2:1 PITCH SHALL BE PROTECTED WITH EROSION CONTROL FABRIC, EXCELSIOR BRAND, OR APPROVED EQUAL.
  5. IRRIGATION PLAN: IRRIGATION PLAN FOR SCHEMATIC REFERENCE ONLY. FINAL IRRIGATION PLAN TO BE SUBMITTED BY IRRIGATION SUBCONTRACTOR PRIOR TO CONSTRUCTION.
  6. PLANT GUARANTEE: HOMEOWNERS ARE REQUIRED TO PROVIDE A 2 YEAR PLANT GUARANTEE ON ALL PLANT MATERIALS PLANTED AS PART OF THE LANDSCAPE PLAN.

**Thomas W. Conyers**  
Architect, AIA

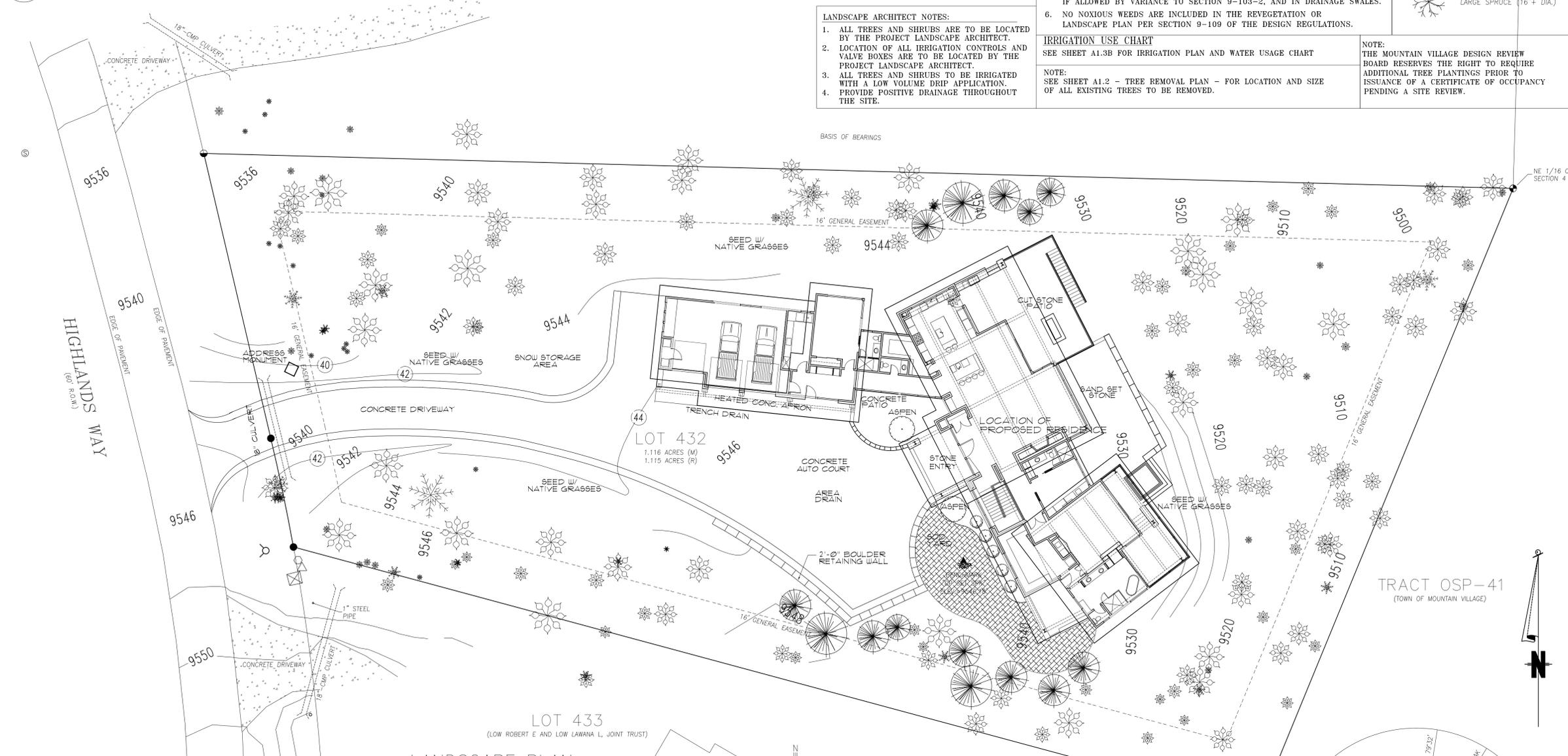
PO BOX 3383  
TELLURIDE, CO 81435  
970-369-0007

LANDSCAPE ARCHITECT  
**SCANLON DESIGN**  
P.O. BOX 3725  
TELLURIDE, COLORADO 81435

- IRRIGATION USE CHART**  
SEE SHEET A1.3B FOR IRRIGATION PLAN AND WATER USAGE CHART
- NOTE:**  
THE MOUNTAIN VILLAGE DESIGN REVIEW BOARD RESERVES THE RIGHT TO REQUIRE ADDITIONAL TREE PLANTINGS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY PENDING A SITE REVIEW.

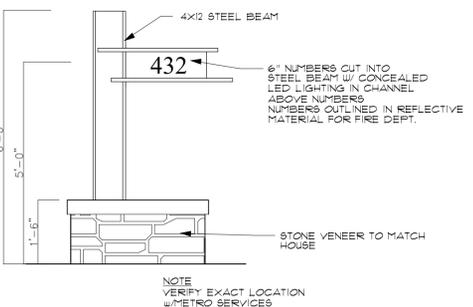
**LEGEND**

- QUAKING ASPEN  
POPULUS TREMULOIDES  
SIZE: 2"-3" CAL.  
QUANTITY: 2
- COLORADO SPRUCE  
PICEA PUNGENS  
SIZE: 8"-0" QUANTITY: 7  
SIZE: 10"-0" QUANTITY: 5  
SIZE: 12"-0" QUANTITY: 2
- NATIVE SHRUBS  
RED TWIG DOGWOOD  
SIZE: #5  
POTENTILLA SPECIES  
QUANTITY: 5
- MOUNTAIN VILLAGE MIX  
SEEDED NATIVE REVEG. GRASS
- WESTERN YARROW 5%
- TALL FESCUE 10%
- ARIZONA FESCUE 5%
- HARD FESCUE 5%
- CREeping RED FESCUE 10%
- ALPINE BLUEGRASS 15%
- CANADA BLUEGRASS 10%
- PERENNIAL RYEGRASS 15%
- SLENDER WHEATGRASS 10%
- MOUNTAIN BROME 15%
- QUANTITY: 12,500 SF
- SOD TURF  
KENTUCKY BLUE/FESCUE  
IRRIGATED/MOWED  
300 SF
- EXISTING CONTOUR
- PROPOSED CONTOUR

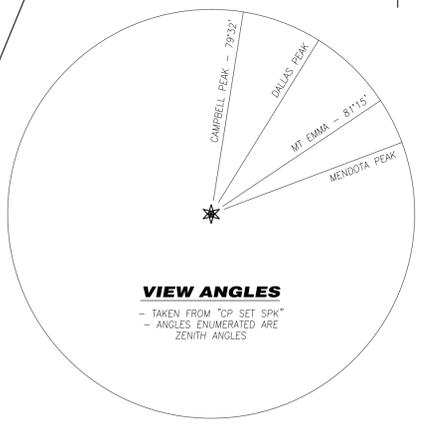


**LOT 433**  
(LOW ROBERT E AND LOW LAWANA L, JOINT TRUST)

**A LANDSCAPE PLAN**  
SCALE: 1/16" = 1'-0"  
SITE ELEVATION 9545'-0" = 100'-0"



**2 ADDRESS MONUMENT**  
SCALE: 1/2" = 1'-0"



- LEGEND**
- FIRE HYDRANT
  - SEWER MANHOLE
  - TRANSFORMER
  - TELEPHONE PEDESTAL
  - CABLE-TV PEDESTAL
  - FOUND 3-1/2" ALUMINUM CAP MARKED U.S. B.L.M.
  - FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 206.32
  - SET 1-1/2" ALUMINUM CAP ON 18" No. 5 REBAR, L.S. 376.62
  - MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
  - RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 866.

**MILLS RESIDENCE**  
**LOT 432**  
MOUNTAIN VILLAGE, COLORADO

DRG SUBMITTAL	3-2-18
DESCRIPTION	DATE

Architect Seal

STATE OF COLORADO  
**THOMAS W. CONYERS**  
LICENSED ARCHITECT  
5-2891

LANDSCAPE PLAN  
Drawing No.

**A1.3A**

IRRIGATION USE CHART			
TYPE AND SIZE OF PLANT	QTY	GAL/MO	TOTAL
ASPEN/SPRUCE TREES	16	10.44	167.04
PERENNIAL BED/SHRUBS (by sqft)	155	2.52/sqft	390.6
SOD (by sq. yd.)	700	3 /sq ft.	2100
TOTAL WATER USE PER MONTH			2657.64 gallons

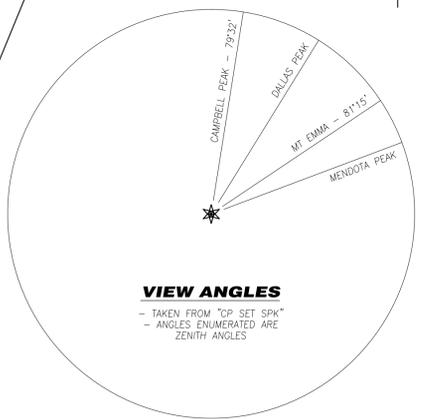
AUTOMATIC CONTROLLER	
RAIN BIRD ESP- MODULAR RAIN SENSOR EQUIPPED	
VALVE BOX CONFIGURATIONS	
VALVE BOX A - STANDARD	
1" EXTERIOR SHUT OFF/ISOLATION VALVE 3/4" BRASS HOSEBIB/DRAIN/WINTERIZATION PORT	
VALVE BOX B - JUMBO	
ZONE #1- POP UPS/TURF ENTRY ZONE #2- DRIP/SOUTH TREES ZONE #3- ROTORS/NORTH REVEG	
VALVE BOX C - JUMBO	
ZONE #4- ROTORS/EAST REVEG ZONE #5- POP UPS/EAST PATIO ZONE #6- ROTORS/NORTH REVEG ZONE #7- DRIP/NORTH TREES	

- ### GENERAL NOTES
- ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.
  - BUILDING CONTRACTOR WILL PROVIDE A GRADE AND TERMINATE WITH A 1" FEMALE ADAPTOR. ALL MECHANICAL COMPONENTS TO BE INSTALLED BY A LICENSED PLUMBER AND MEET ALL CURRENT CODES AND REGS.
  - BUILDING CONTRACTOR WILL PROVIDE ADEQUATE SLEEVING UNDER ALL PAVED SURFACES NOTED ON THE PLAN. SCHEDULE 80 PVC IS REQUIRED AND SHOULD HAVE A DIAMETER NOT LESS THAN 3". SEE NOTES FOR SPECIFIC SIZES.
  - BUILDING CONTRACTOR TO PROVIDE 110 POWER TO THE EXTERIOR OF THE RESIDENCE AT A POINT NOT MORE THAN 10' AWAY FROM WATER SOURCE STUB OUT. CONTROLLER TO BE PROVIDED BY LANDSCAPE CONTRACTOR AND WIRED BY LICENSED ELECTRICIAN PROVIDED BY BUILDING CONTRACTOR. ALL REMOTE CONTROL VALVES TO BE SERVICEABLE THROUGH A MINIMUM 12" DIA. VALVE BOX AND WIRED WITH RAINBIRD MULTI STRAND DIRECT BURIAL WIRE TYPICAL U.N.O.
  - CONTRACTOR TO INSURE A FLOW RATE OF 24 GPM MINIMUM 55 PSI FROM THE PROVIDED SOURCE.
  - AUTOMATIC CONTROLLER TO BE EQUIPPED WITH A RAIN SENSOR POST MOUNTED IN AN OPEN LOCATION.
- \*\*DEPTH TO LINE FROM FINISH GRADE\*\***  
 MAINLINE(PVC SCH40)- 12" MINIMUM  
 POLYETHYLENE LATERALS- 8" MINIMUM  
 1/2" POLYETHYLENE PIPE- 4" MINIMUM

- ### LEGEND
- QUAKING ASPEN  
POPULUS TREMULOIDES  
SIZE: 2"-3" CAL.  
QUANTITY: 2
  - COLORADO SPRUCE  
PICEA PUNGENS  
SIZE: 8'-0" QUANTITY: 7  
SIZE: 10'-0" QUANTITY: 5  
SIZE: 12'-0" QUANTITY: 2
  - NATIVE SHRUBS  
RED TWIG DOGWOOD  
SIZE: #5  
POTENTILLA SPECIES  
QUANTITY: 5
  - MOUNTAIN VILLAGE MIX  
SEEDED NATIVE REVEG. GRASS
  - WESTERN YARROW 5%
  - FALL FESCUE 10%
  - ARIZONA FESCUE 5%
  - HARD FESCUE 5%
  - CREeping RED FESCUE 10%
  - ALPINE BLUEGRASS 15%
  - CANADA BLUEGRASS 10%
  - PERENNIAL RYEGRASS 15%
  - SLENDER WHEATGRASS 10%
  - MOUNTAIN BROME 15%
  - QUANTITY: 12,500 SF
  - SOD TURF  
KENTUCKY BLUE/FESCUE  
IRRIGATED/MOWED  
300 SF
  - EXISTING CONTOUR
  - PROPOSED CONTOUR

- ### IRRIGATION
- C** CONTROLLER
  - R** RAIN SENSOR

- ### LEGEND
- FIRE HYDRANT
  - SEWER MANHOLE
  - TRANSFORMER
  - TELEPHONE PEDESTAL
  - CABLE-TV PEDESTAL
  - FOUND 3-1/2" ALUMINUM CAP MARKED U.S. B.L.M.
  - FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 20632
  - SET 1-1/2" ALUMINUM CAP ON 18" No. 5 REBAR, L.S. 37662
  - MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
  - RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 866.



**A IRRIGATION PLAN**  
 SCALE: 1/16" = 1'-0"  
 SITE ELEVATION 9545'-0" = 100'-0"

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LANDSCAPE ARCHITECT  
**SCANLON DESIGN**  
 P.O. BOX 3725  
 TELLURIDE, COLORADO 81435

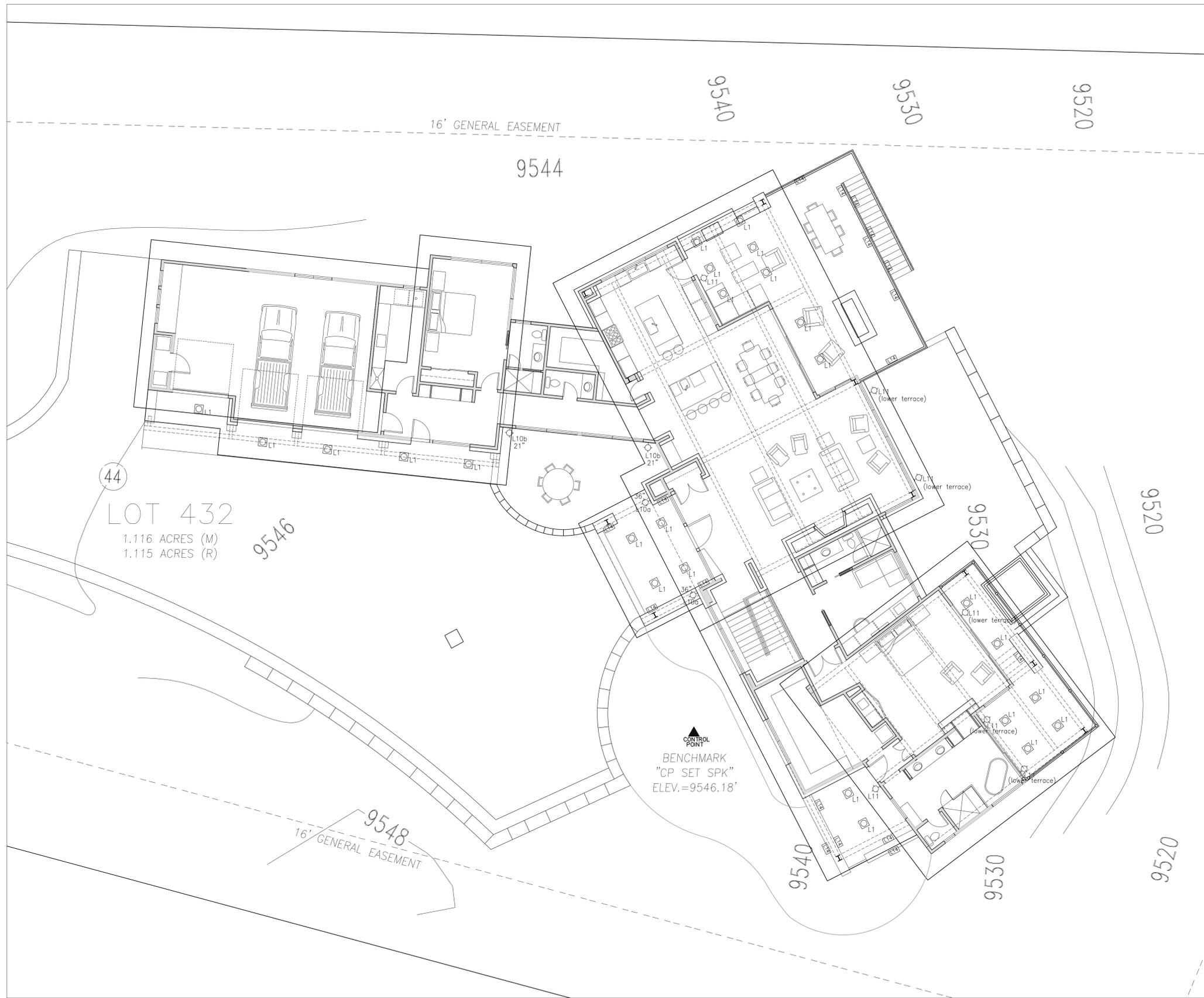
**MILLS RESIDENCE**  
**LOT 432**  
 MOUNTAIN VILLAGE, COLORADO

DRBSUBMITAL	3-2-18
DESCRIPTION	DATE

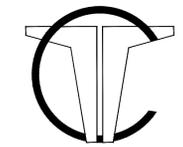


IRRIGATION PLAN

**A1.3B**



TAG	DESCRIPTION	SPECIFICATION
L1	4" SLOPED RECESSED CAN	NORA LIGHTING N-SPEC LED RECESSED LED BULBS 14 watt - SEE CUTSHEET SQUARE TRIM
L10A	EXTERIOR SCONCE	SONNEMAN JAZZ NOTES 36" LED SCONCE 6" X 36" LED BULB - 20 WATT
L10B	EXTERIOR SCONCE	SONNEMAN JAZZ NOTES 21" LED SCONCE 6" X 21" LED BULB - 20 WATT
L11	EXTERIOR SCONCE	SONNEMAN BAND 13" LED SCONCE 6" X 13" LED BULB - 13 WATT
L14	STEP LIGHTS	WAC LIGHTING WL- LED140 STEP LIGHT 5" X 3 1/8" LED BULB - 3.5 WATT MOUNT 18" AFF



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**MILLS RESIDENCE**  
**LOT 432**  
MOUNTAIN VILLAGE, COLORADO

PROGRESS	12-10-17
DESCRIPTION	DATE

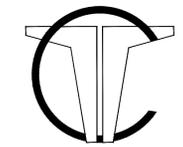


Drawing Title  
**EXTERIOR LIGHTING**

Drawing No.

**A1.4**

**A** EXTERIOR LIGHTING PLAN  
SCALE: 1/8" = 1'-0"  
SITE ELEVATION 9545'-0" = 100'-0"



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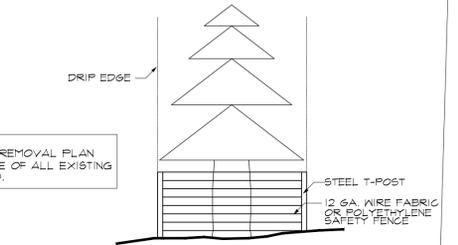
**GENERAL NOTES**

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL FROM METRO SERVICES FOR ALL CONSTRUCTION STAGING PRIOR TO CONSTRUCTION.
2. PROTECT ALL EXISTING TREES AND VEGETATION AFTER CLEARING WITH HAY BALES AND CONSTRUCTION FENCING AS REQUIRED.
3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL CLEARING AND EXCAVATION WITHIN EXISTING PROPERTY LINE BOUNDARIES.
4. GENERAL CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS WITH EACH UTILITY AGENCY.

**LEGEND**

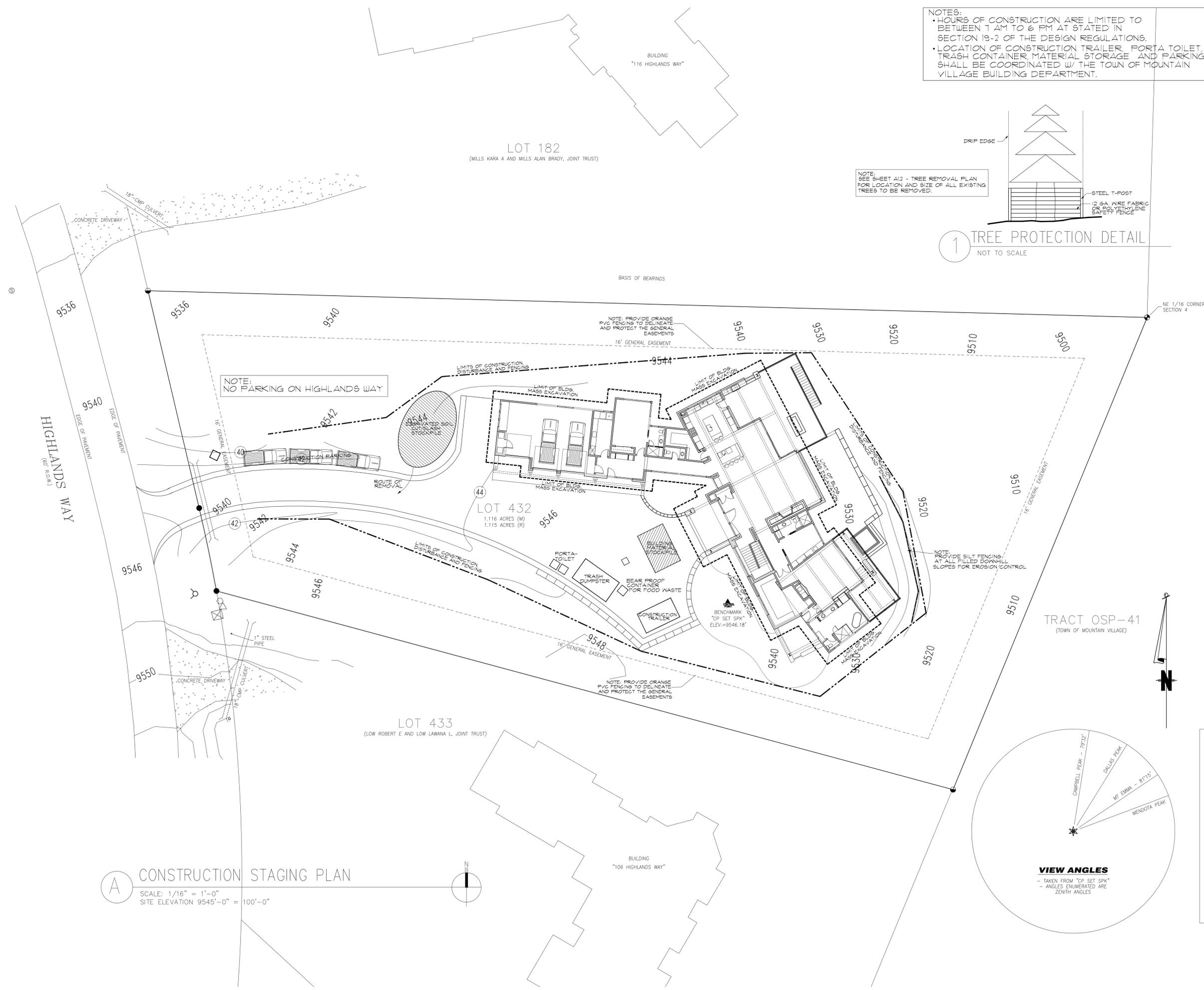
- EXISTING CONTOUR
- PROPOSED CONTOUR

**NOTES:**  
 • HOURS OF CONSTRUCTION ARE LIMITED TO BETWEEN 7 AM TO 6 PM AT STATED IN SECTION 19-2 OF THE DESIGN REGULATIONS.  
 • LOCATION OF CONSTRUCTION TRAILER, PORTA TOILET, TRASH CONTAINER, MATERIAL STORAGE AND PARKING SHALL BE COORDINATED W/ THE TOWN OF MOUNTAIN VILLAGE BUILDING DEPARTMENT.

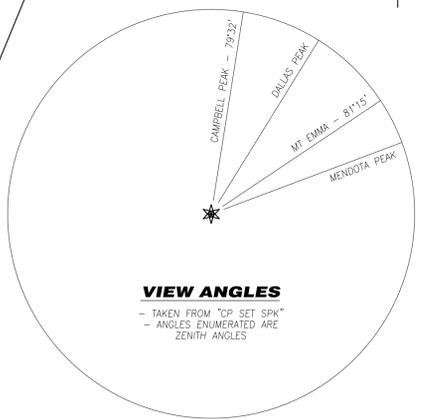


1 TREE PROTECTION DETAIL  
NOT TO SCALE

NOTE: SEE SHEET A12 - TREE REMOVAL PLAN FOR LOCATION AND SIZE OF ALL EXISTING TREES TO BE REMOVED.



**A CONSTRUCTION STAGING PLAN**  
 SCALE: 1/16" = 1'-0"  
 SITE ELEVATION 9545'-0" = 100'-0"



**LEGEND**

- FIRE HYDRANT
  - SEWER MANHOLE
  - TRANSFORMER
  - TELEPHONE PEDESTAL
  - CABLE-TV PEDESTAL
  - FOUND 3-1/2" ALUMINUM CAP MARKED U.S. B.L.M.
  - FOUND 1-1/2" ALUMINUM CAP ON NO. 5 REBAR, L.S. 206.32
  - SET 1-1/2" ALUMINUM CAP ON 18" NO. 5 REBAR, L.S. 376.62
- MEASURED DIMENSIONS ACCORDING TO THIS SURVEY  
 RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 866.

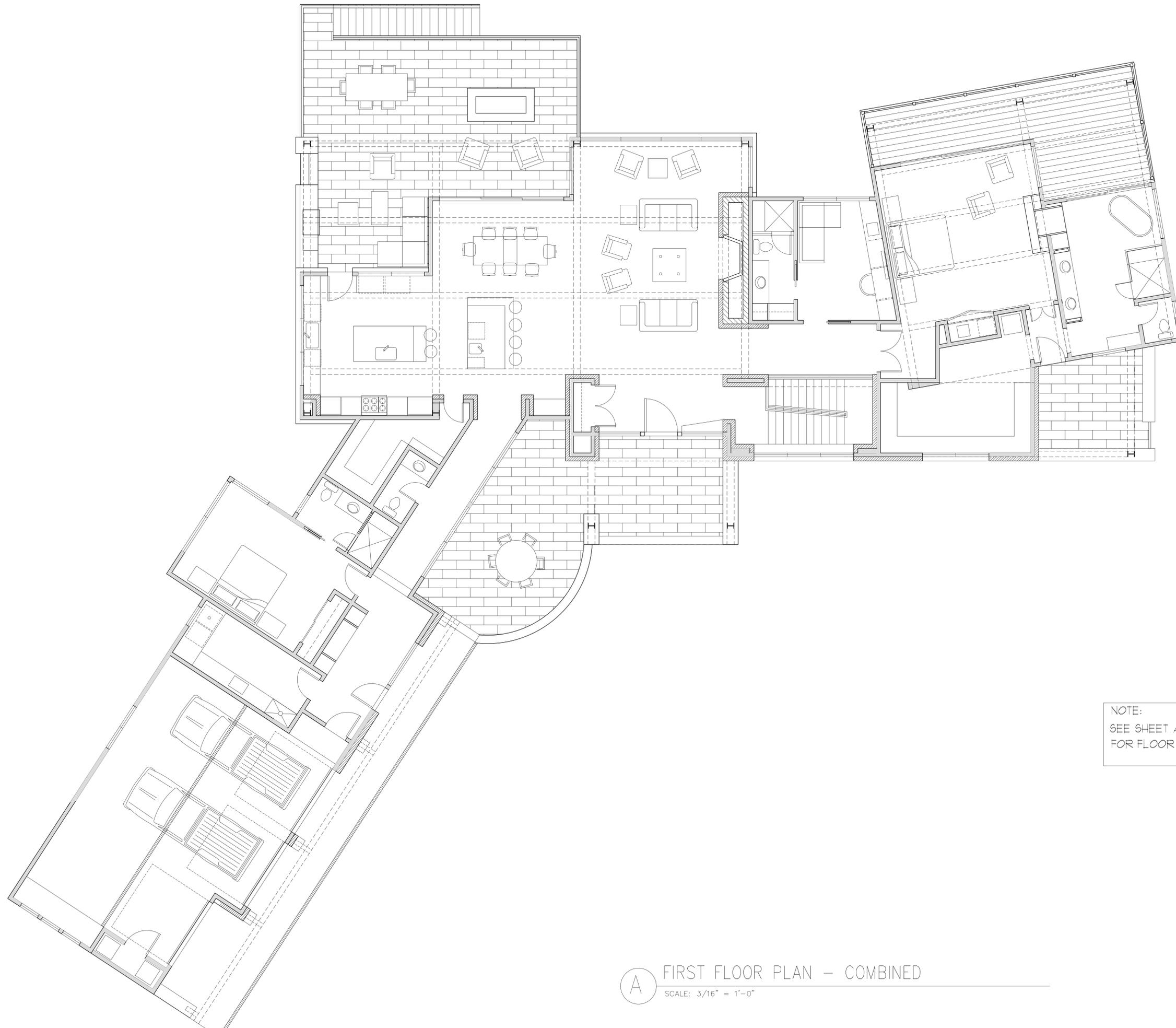
**MILLS RESIDENCE  
 LOT 432  
 MOUNTAIN VILLAGE, COLORADO**

DRG SUBMITTAL	3-2-18
DESCRIPTION	DATE



**STAGING PLAN**

**A15**



NOTE:  
SEE SHEET A2.1, A2.2, A2.2B  
FOR FLOOR PLAN DETAILS

**A** FIRST FLOOR PLAN – COMBINED  
SCALE: 3/16" = 1'-0"



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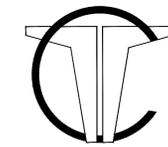
**MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO**

DRG SUBMITAL	3-2-18
DESCRIPTION	DATE

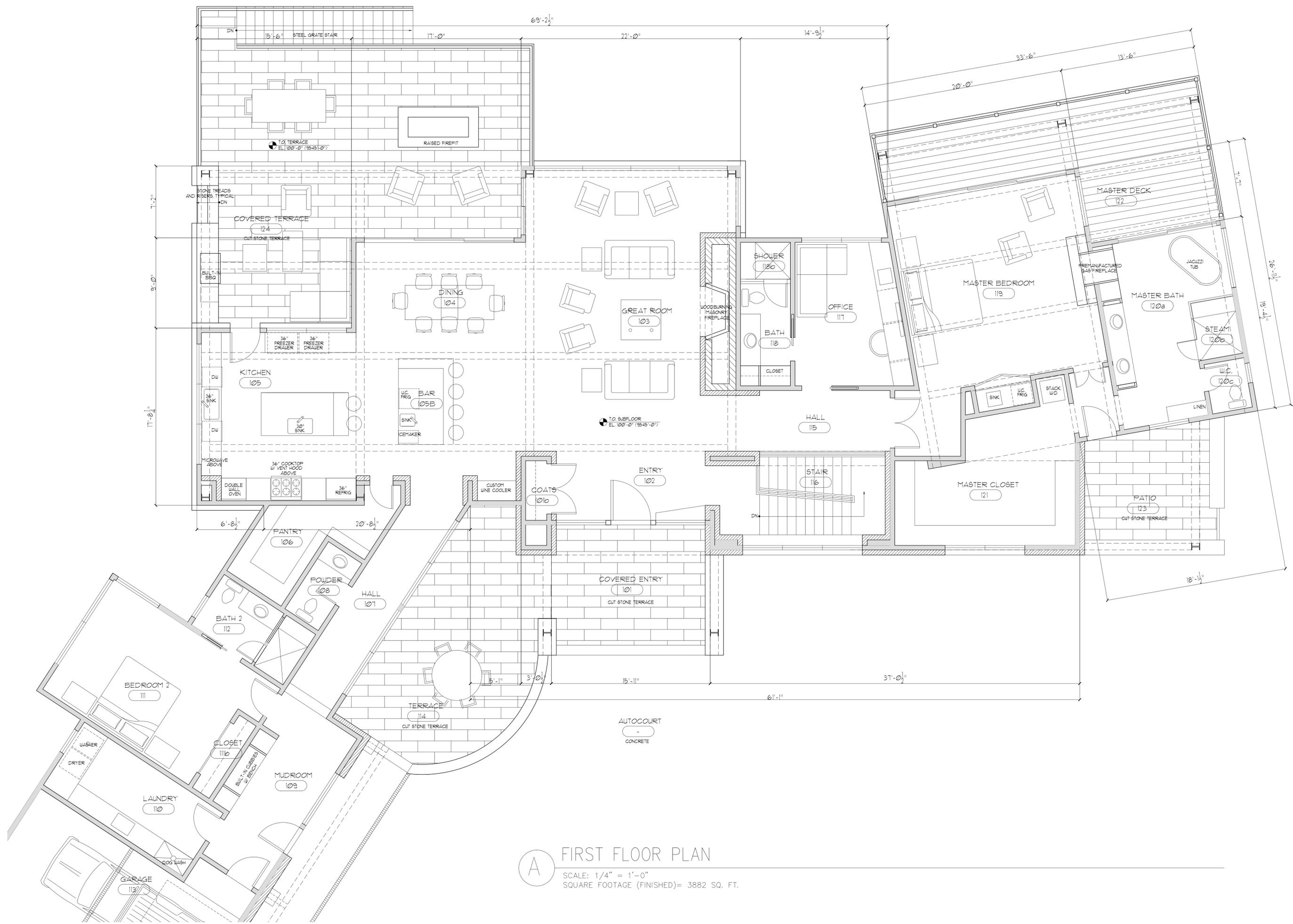


FLOOR PLAN

**A2.0**

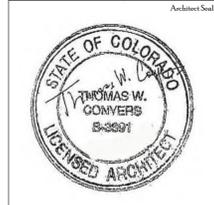


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**MILLS RESIDENCE**  
**LOT 432**  
MOUNTAIN VILLAGE, COLORADO

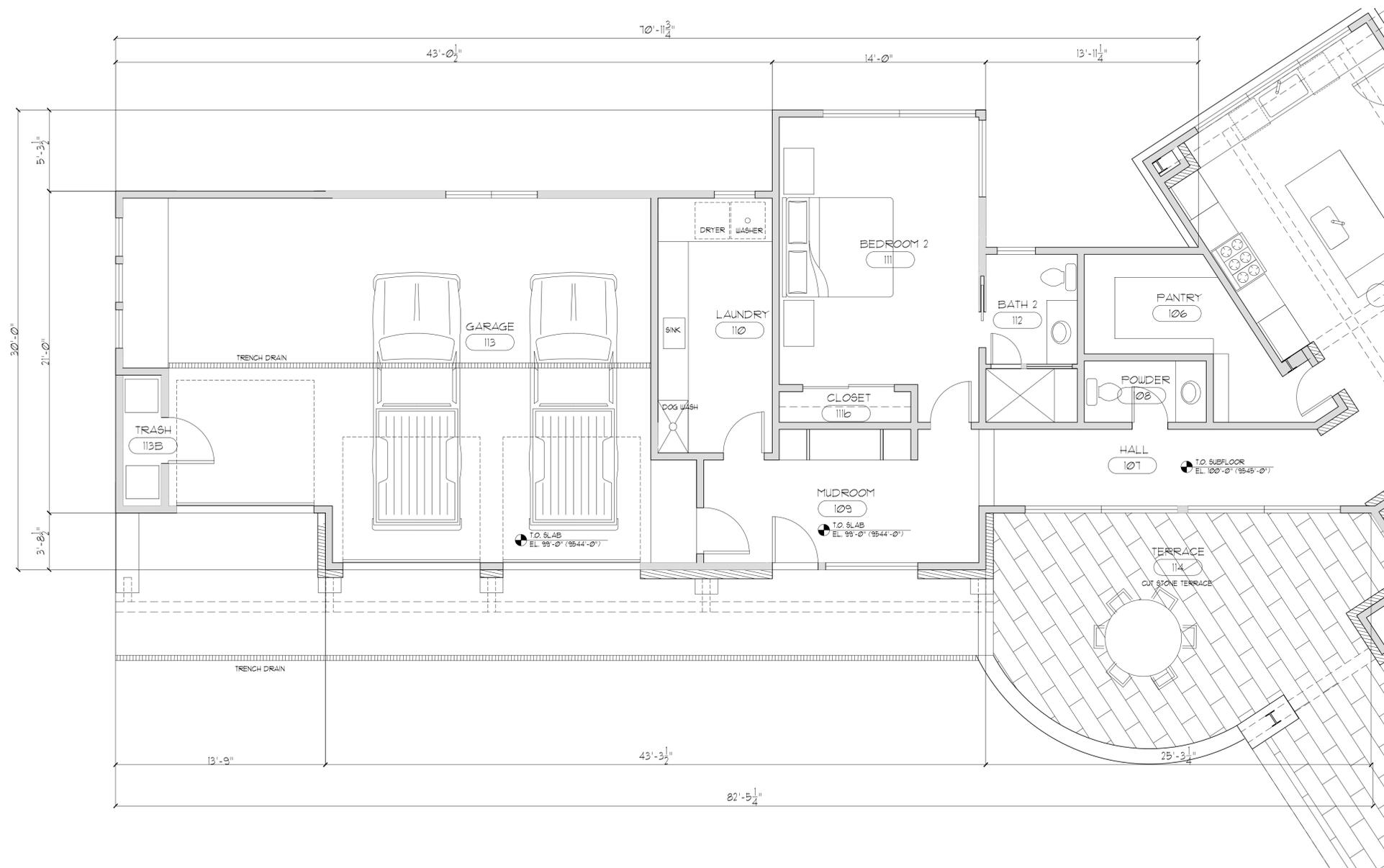
DRS SUBMITAL	3-2-18
DESCRIPTION	DATE



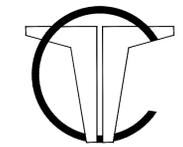
FLOOR PLAN

**A** FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
SQUARE FOOTAGE (FINISHED) = 3882 SQ. FT.

**A2.1A**



**A** GARAGE FLOOR PLAN  
 SCALE: 1/4" = 1'-0"  
 SQUARE FOOTAGE: 822 SQ. FT.



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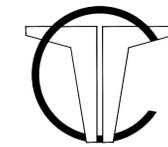
MILLS RESIDENCE  
 LOT 432  
 MOUNTAIN VILLAGE, COLORADO

DRG SUBMITTAL	3-2-18
DESCRIPTION	DATE



Drawing Title  
**FLOOR PLAN**

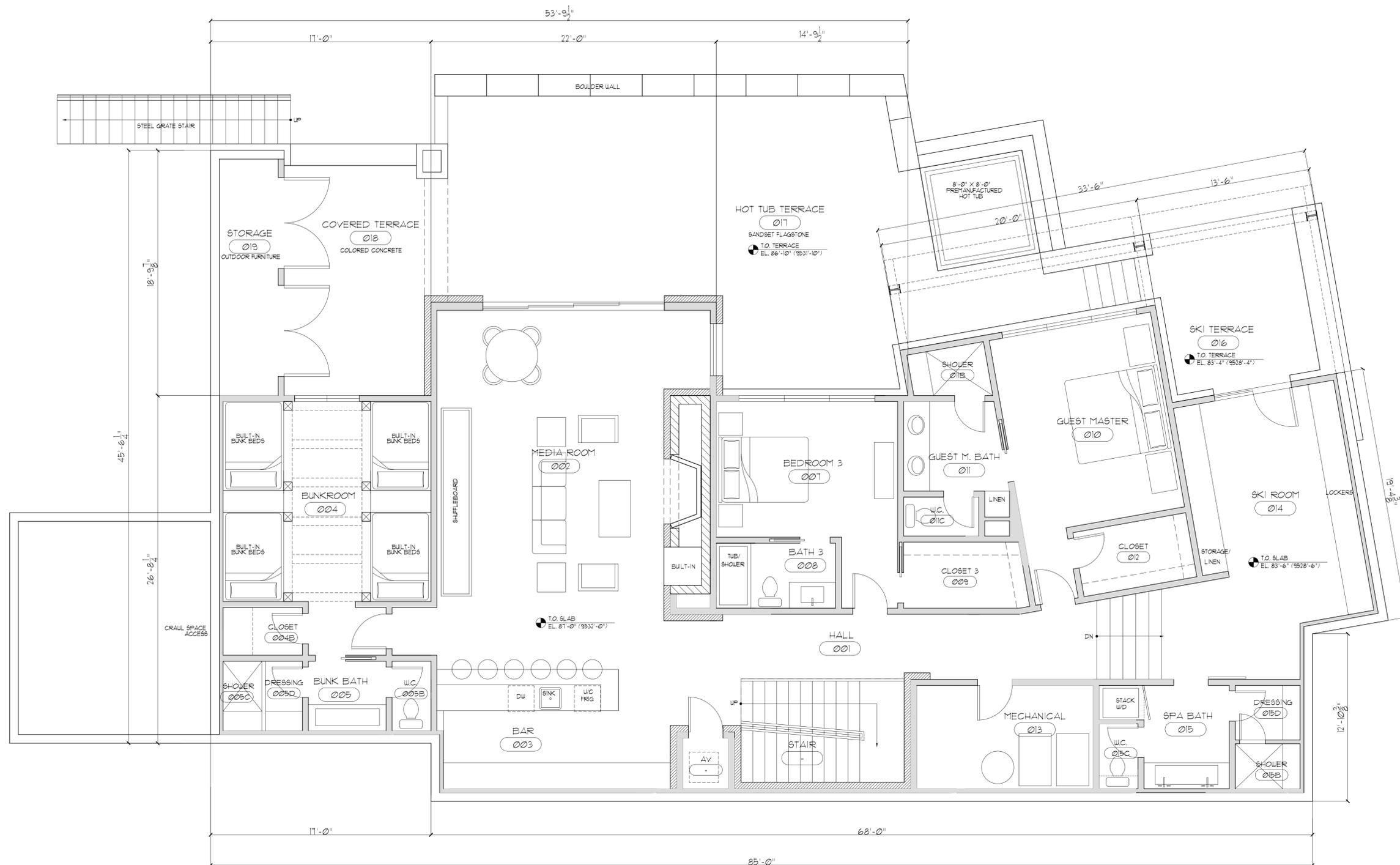
Drawing No.  
**A2.1B**



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MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO



B

LOWER FLOOR PLAN

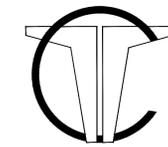
SCALE: 1/4" = 1'-0"  
SQUARE FOOTAGE (FINISHED)= 2669 SQ. FT.

DRS SUBMITTAL	3-2-18
DESCRIPTION	DATE



FLOOR PLAN

A2.2



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MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO

DRG SUBMITTAL	3-2-18
DESCRIPTION	DATE

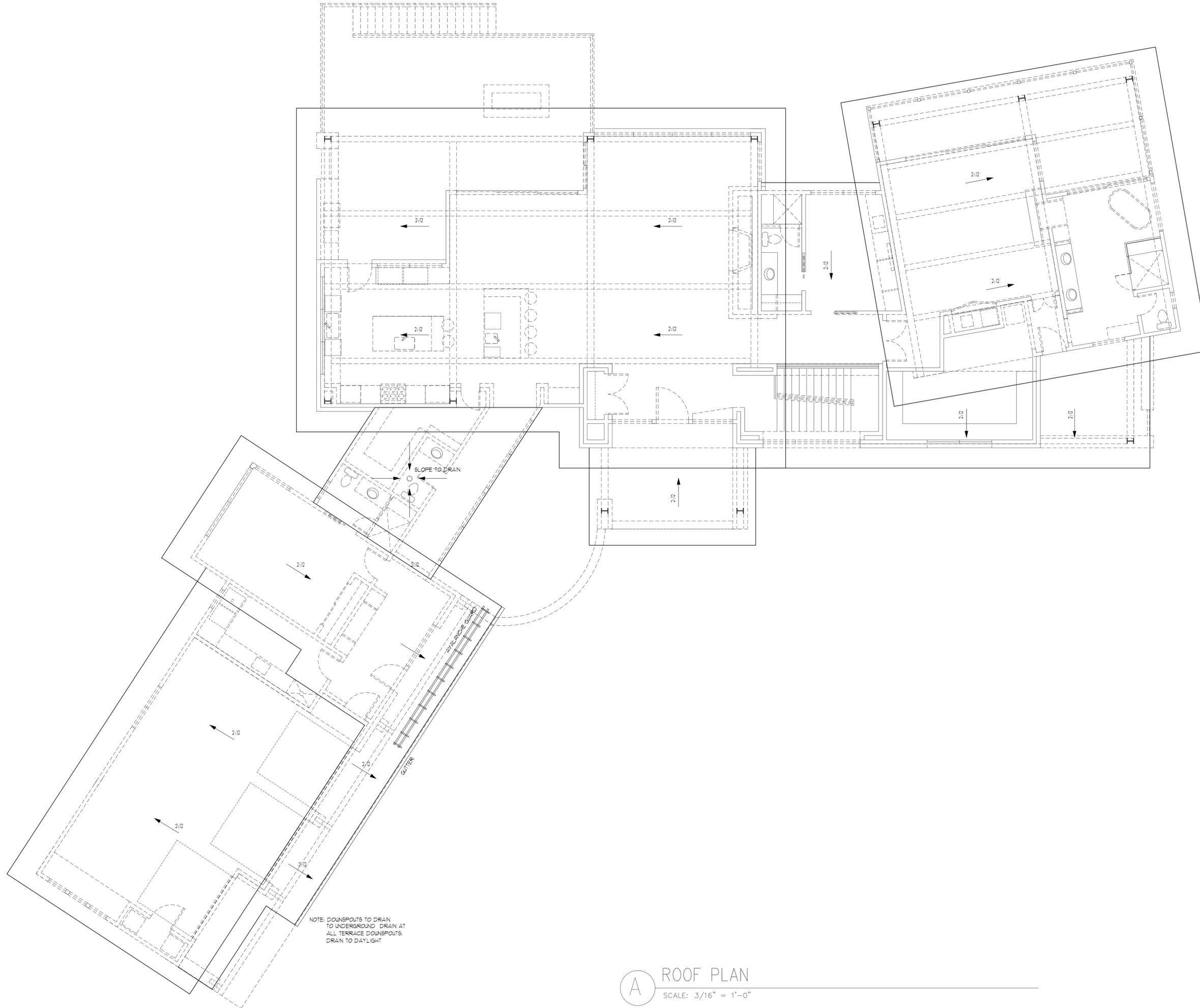
Architect Seal



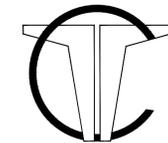
ROOF PLAN

Drawing No.

A2.3

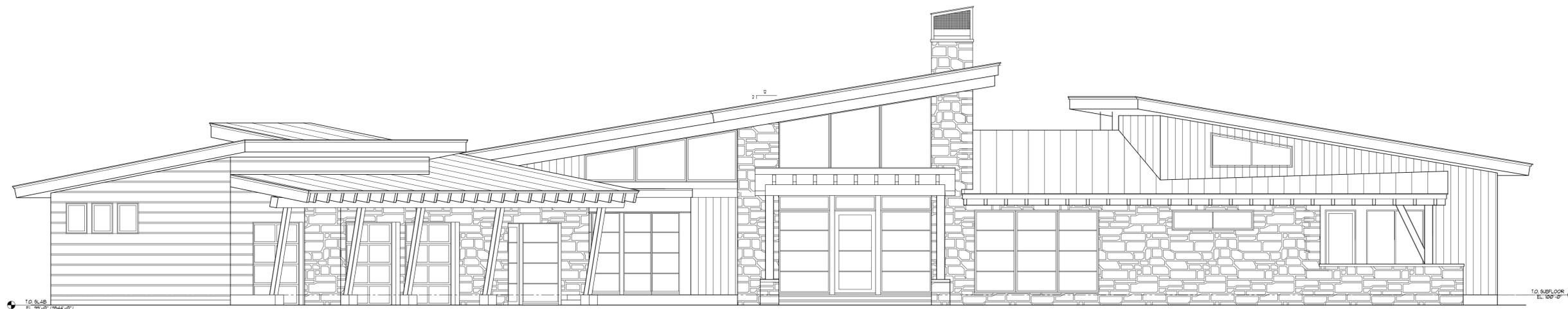


A ROOF PLAN  
SCALE: 3/16" = 1'-0"

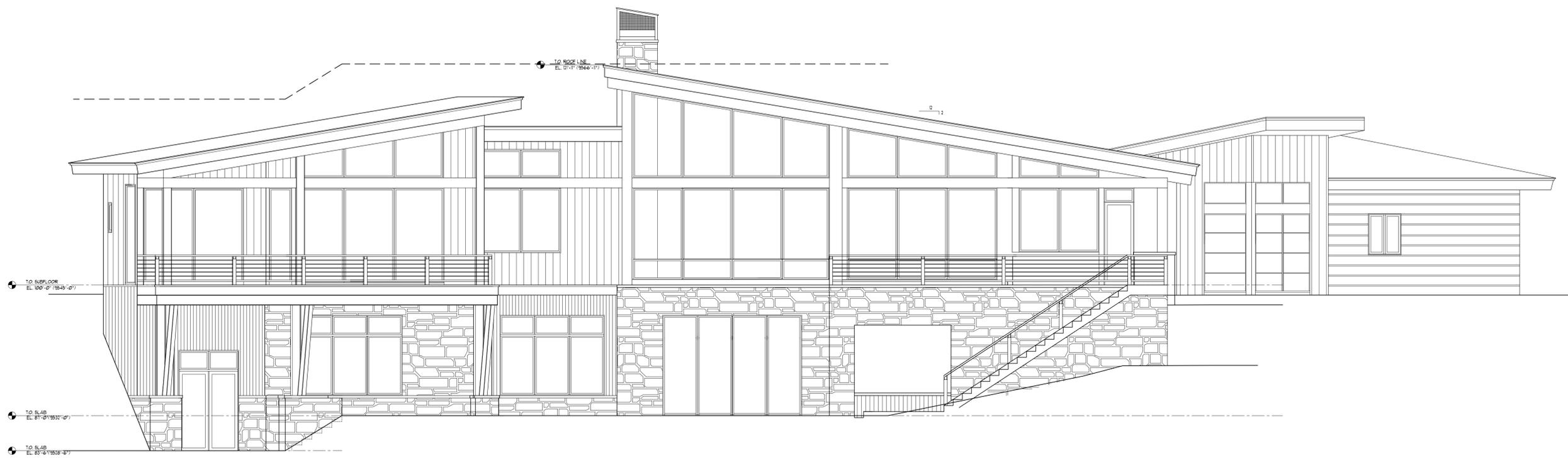


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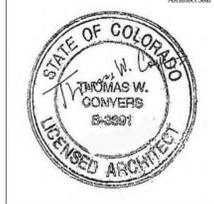
**A** WEST ELEVATION AT AUTOCOURT- COMBINED  
SCALE: 3/16" = 1'-0"



**B** EAST ELEVATION - COMBINED  
SCALE: 3/16" = 1'-0"

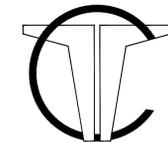
MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO

DATE SUBMITTED	3-2-18
DESCRIPTION	DATE



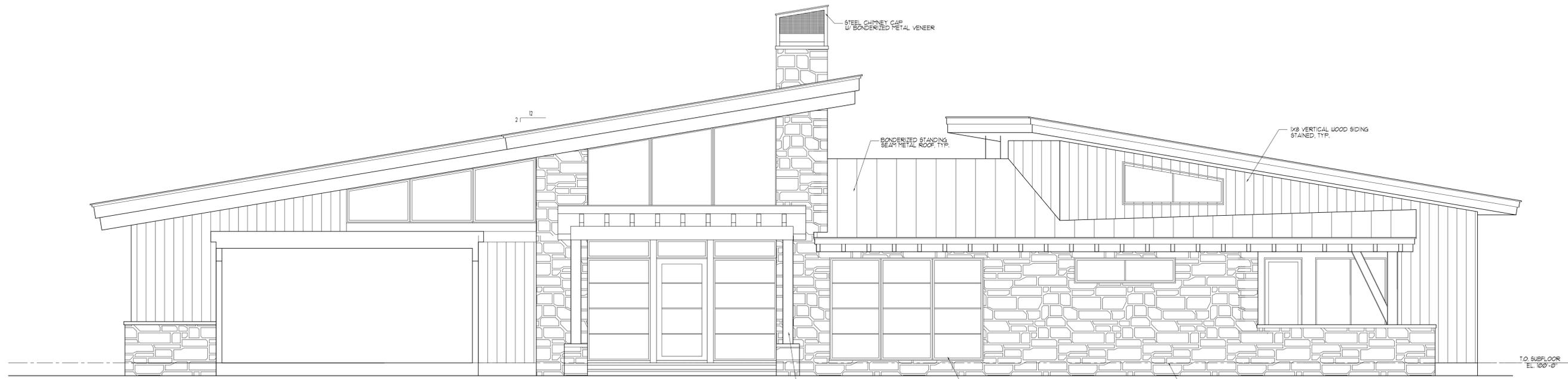
ELEVATIONS

**A3.0**



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**A** WEST ELEVATION  
SCALE: 1/4" = 1'-0"



**B** EAST ELEVATION  
SCALE: 1/4" = 1'-0"

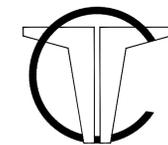
MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO

DRG SUBMITTAL	3-2-18
DESCRIPTION	DATE



ELEVATIONS

**A3.1**

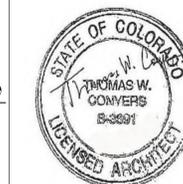


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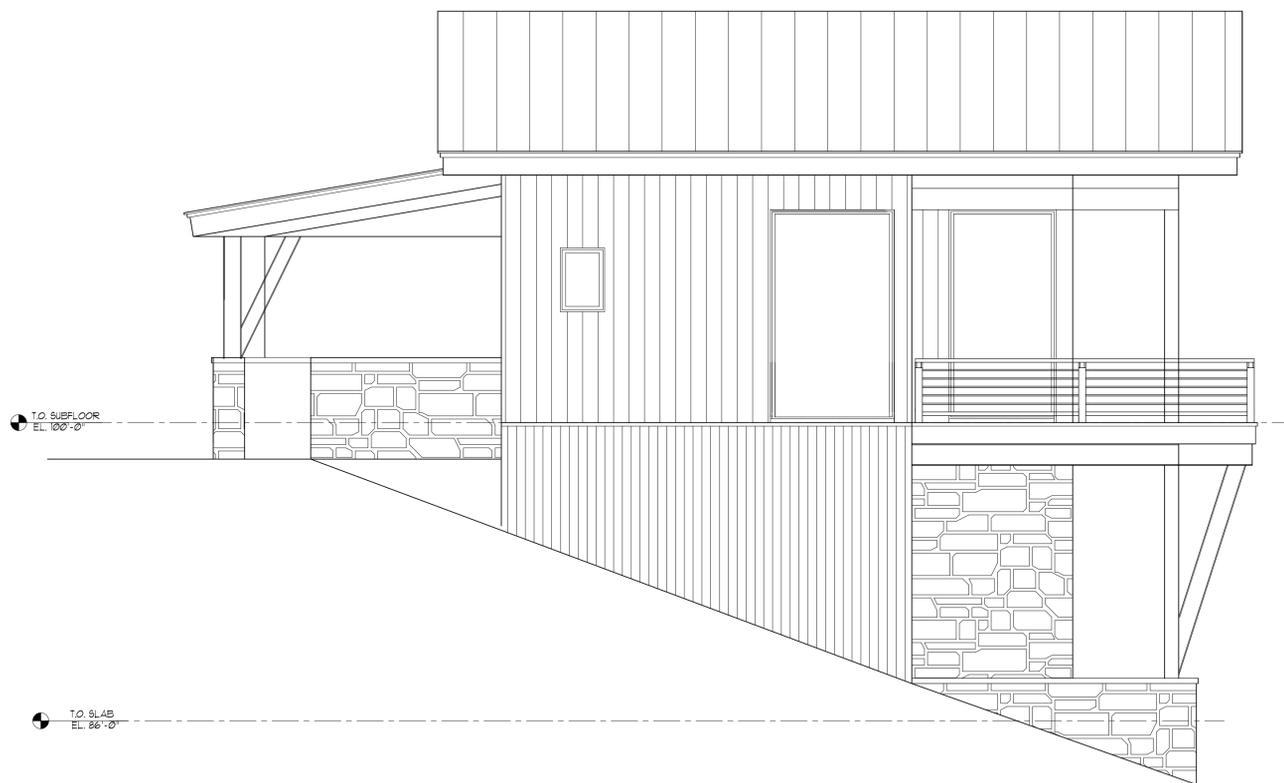
MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO

DRG SUBMITAL 3-2-18  
DESCRIPTION DATE

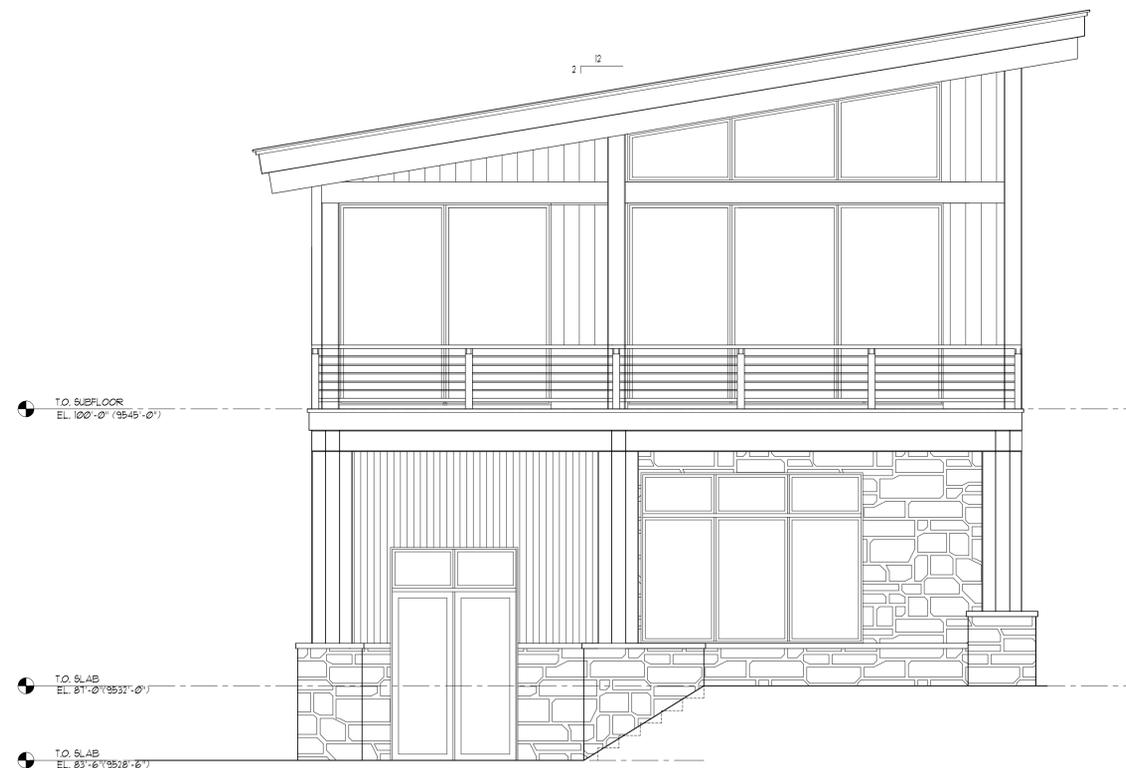


ELEVATIONS

A3.2



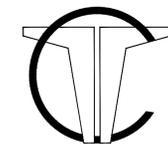
B SOUTH ELEVATION - MASTER BEDROOM  
SCALE: 1/4" = 1'-0"



A EAST ELEVATION - MASTER BEDROOM  
SCALE: 1/4" = 1'-0"



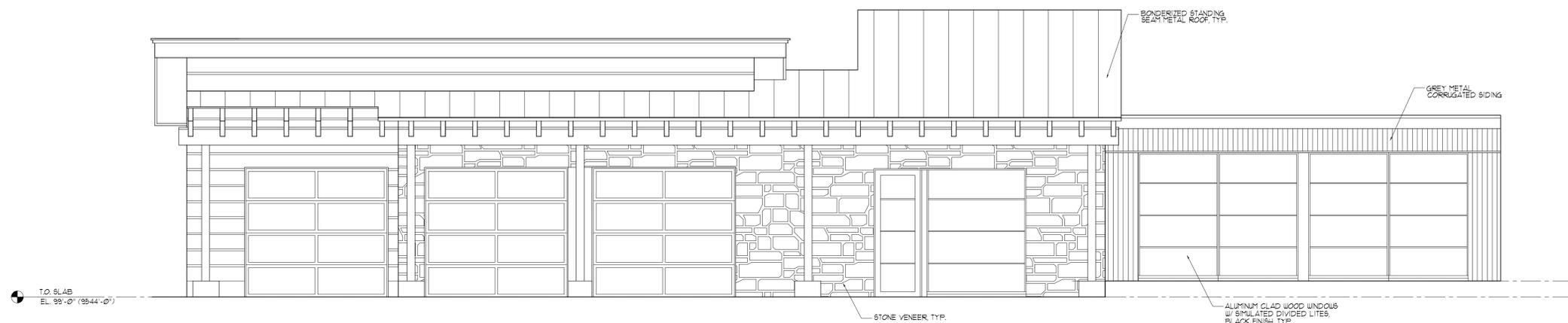
C NORTH ELEVATION AT KITCHEN  
SCALE: 1/4" = 1'-0"



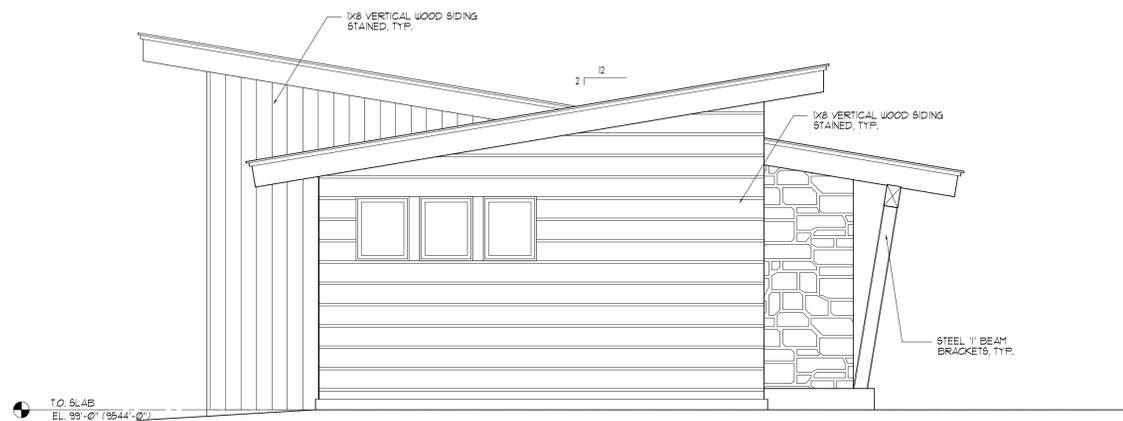
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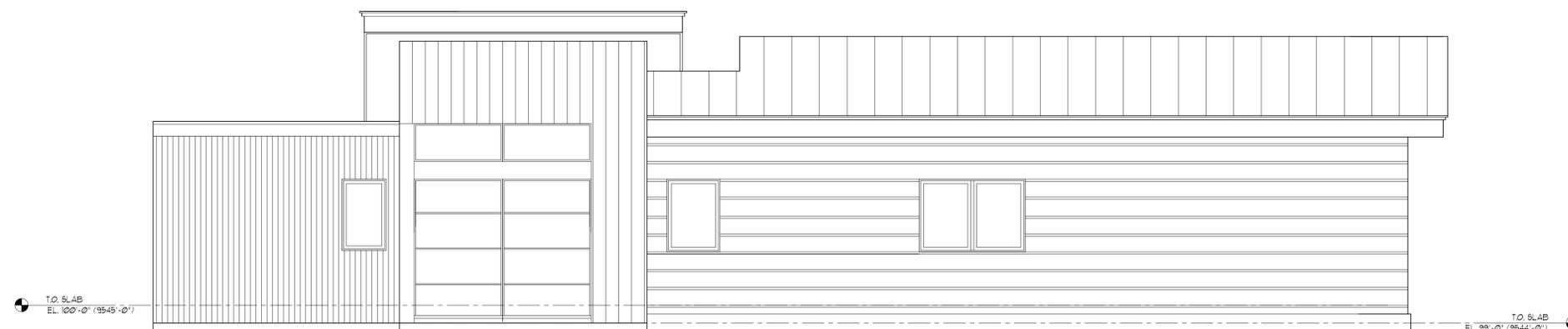
MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO



**A** SOUTH ELEVATION—GARAGE WING AT AUTOCOURT  
SCALE: 1/4" = 1'-0"



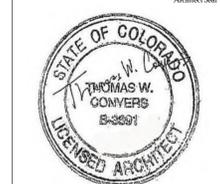
**B** WEST ELEVATION — GARAGE WING  
SCALE: 1/4" = 1'-0"



**C** NORTH ELEVATION — GARAGE WING  
SCALE: 1/4" = 1'-0"

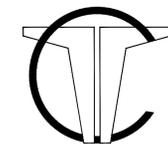
DRG SUBMITTAL	3-2-18
DESCRIPTION	DATE

Architect Seal



ELEVATIONS

**A3.3**

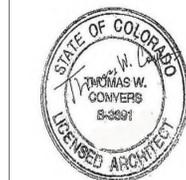


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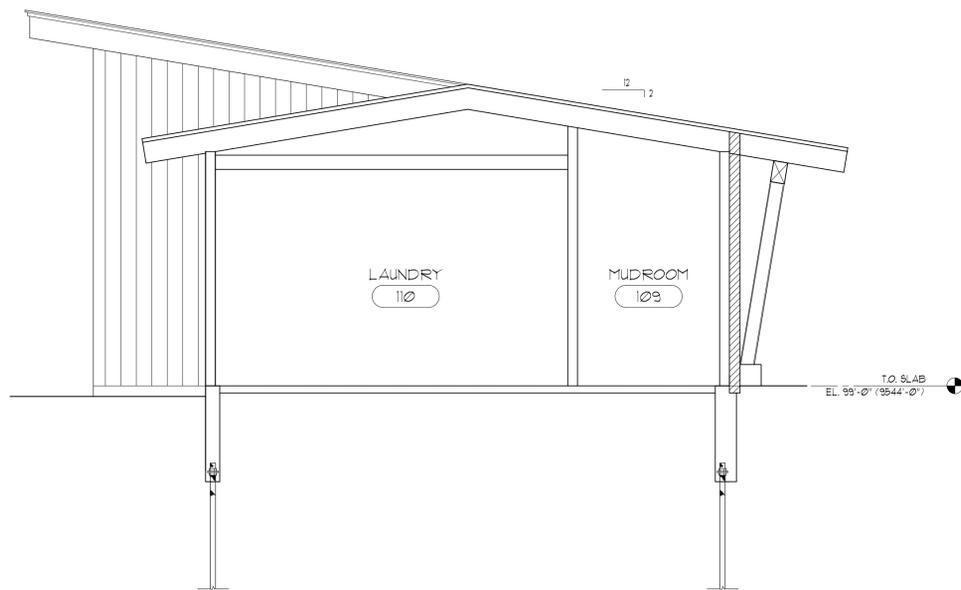
MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO

DATE	
DESCRIPTION	
DATE	

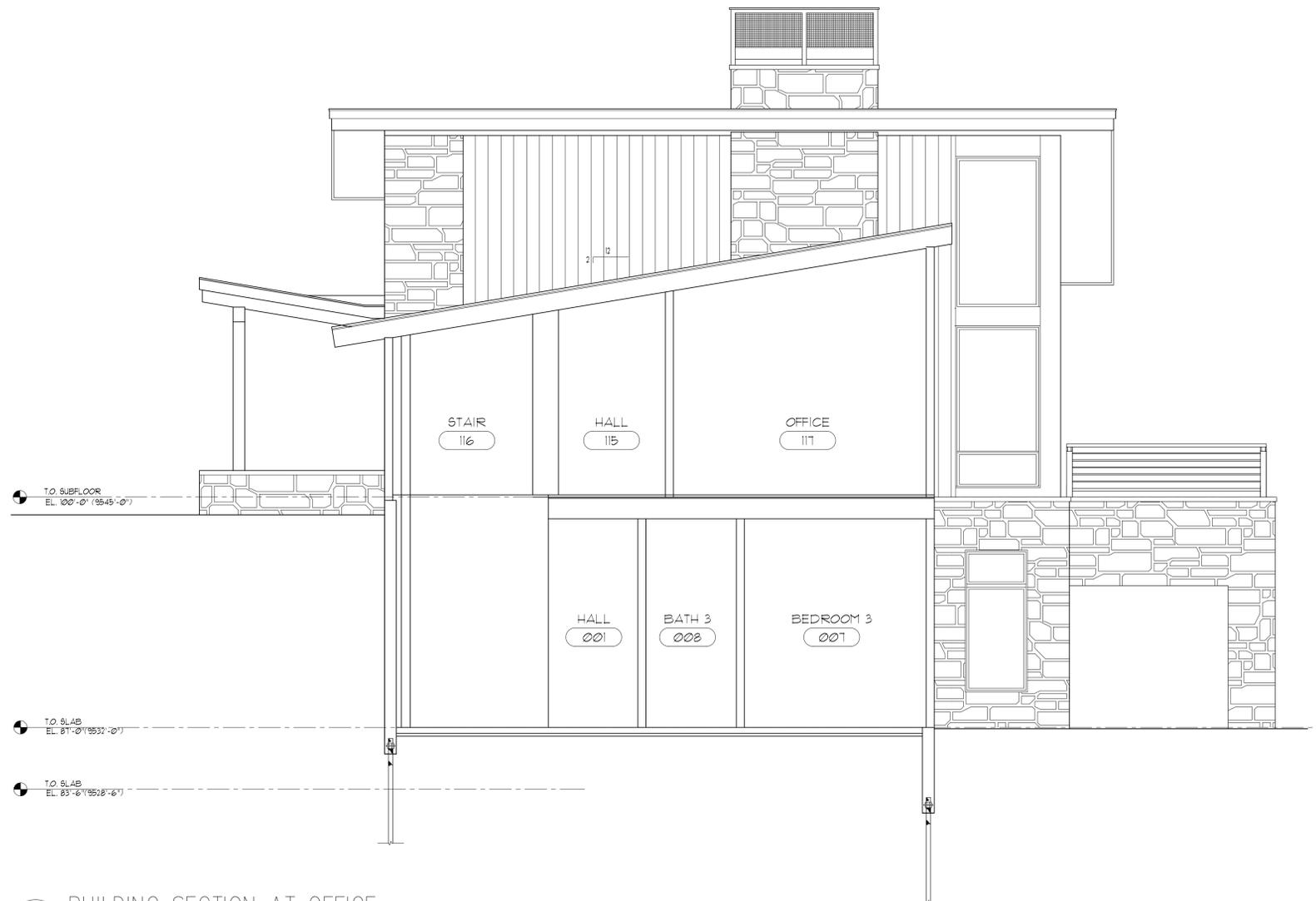


SECTIONS

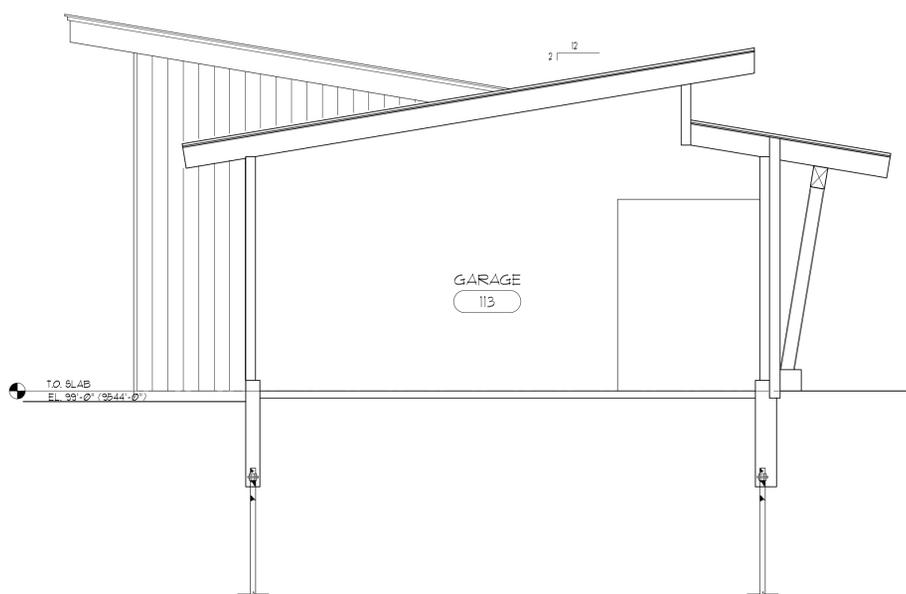
A4.1



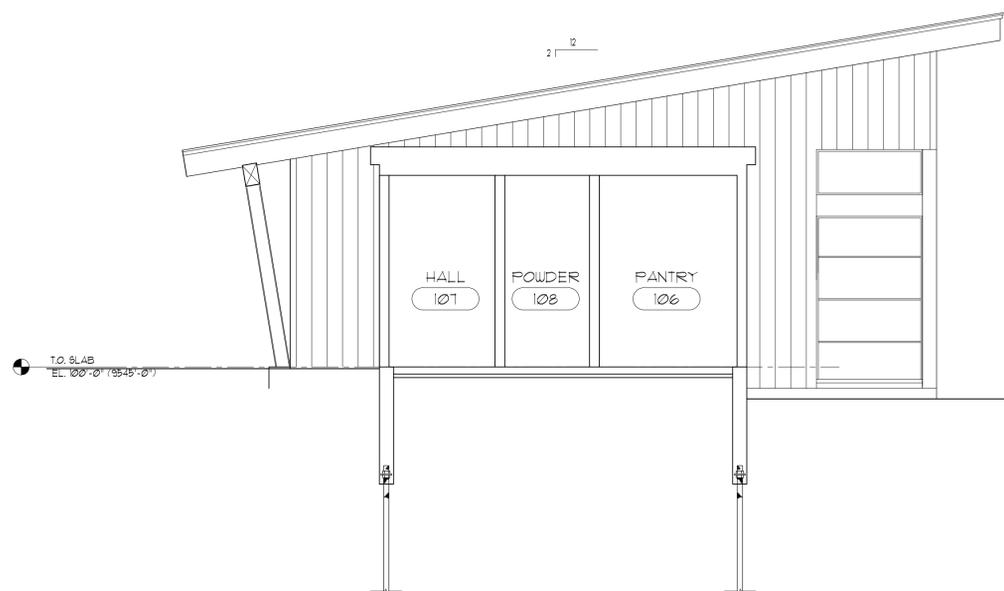
B BUILDING SECTION AT LAUNDRY  
SCALE: 1/4" = 1'-0"



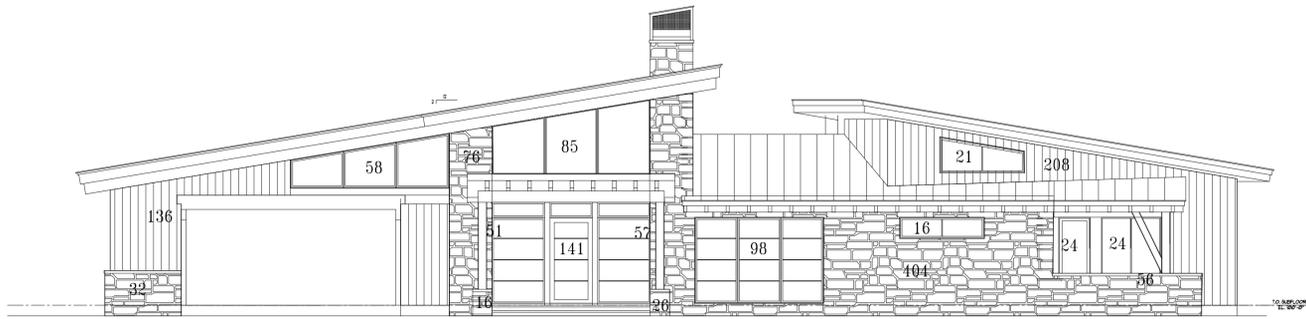
A BUILDING SECTION AT OFFICE  
SCALE: 1/4" = 1'-0"



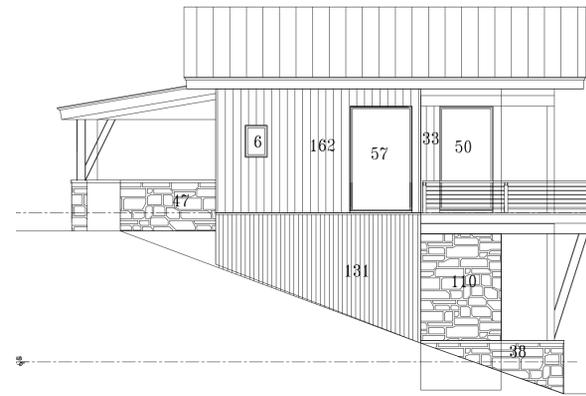
C BUILDING SECTION AT GARAGE  
SCALE: 1/4" = 1'-0"



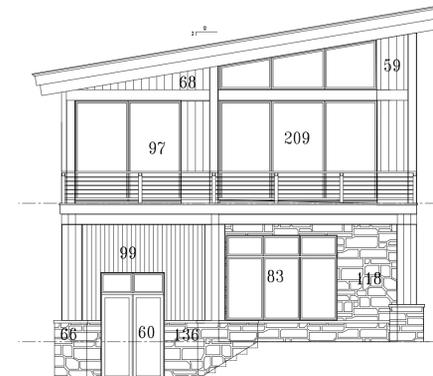
D BUILDING SECTION AT HALL  
SCALE: 1/4" = 1'-0"



A WEST ELEVATION  
SCALE: 1/8" = 1'-0"



B SOUTH ELEVATION- MASTER BEDROOM



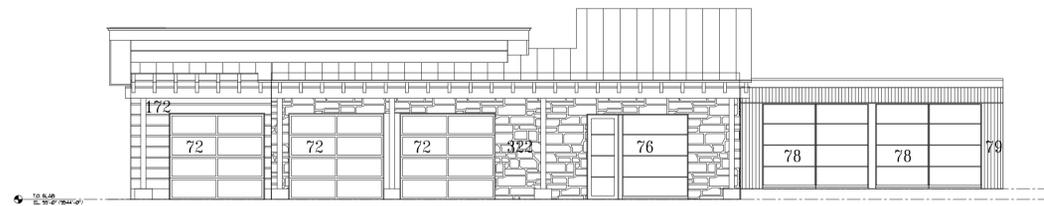
A EAST ELEVATION - MASTER BEDROOM



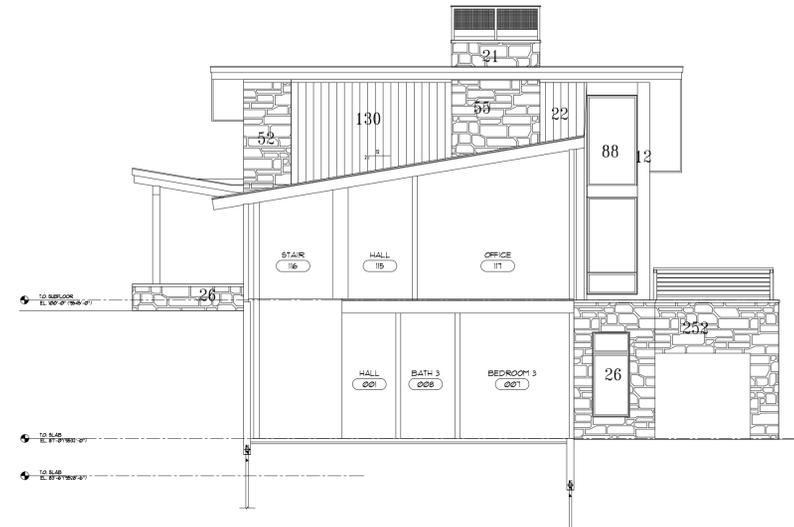
B EAST ELEVATION



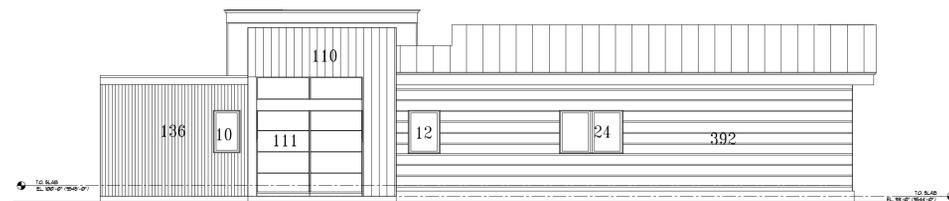
C NORTH ELEVATION AT KITCHEN



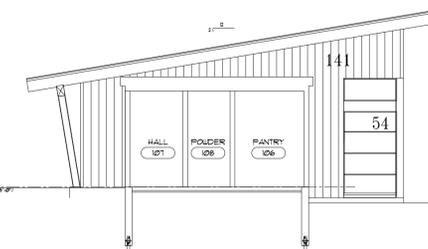
A SOUTH ELEVATION-GARAGE WING AT AUTOCOURT



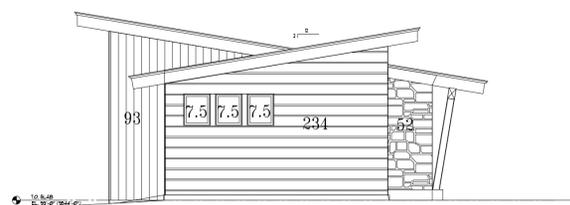
A BUILDING SECTION AT OFFICE-SOUTH



C NORTH ELEVATION - GARAGE WING



D BUILDING SECTION- EAST



B WEST ELEVATION - GARAGE WING

MATERIAL CALCULATION AREA SUMMARY	
NORTH ELEVATION	
STONE VENEER	235 S.F.
WOOD SIDING	637 S.F.
METAL PANEL SIDING	136 S.F.
FENESTRATION	298 S.F.
EAST ELEVATION	
STONE VENEER	897 S.F.
WOOD SIDING	604 S.F.
METAL PANEL SIDING	149 S.F.
FENESTRATION	1400 S.F.
SOUTH ELEVATION	
STONE VENEER	923 S.F.
WOOD SIDING	498 S.F.
METAL PANEL SIDING	210 S.F.
FENESTRATION	675 S.F.
WEST ELEVATION	
STONE VENEER	778 S.F.
WOOD SIDING	621 S.F.
METAL PANEL SIDING	-
FENESTRATION	363 S.F.
TOTALS	
STONE VENEER	2833 S.F.
WOOD SIDING	2360 S.F.
METAL PANEL SIDING	306 S.F.
FENESTRATION	2736 S.F.
TOTALS	8235 S.F.
PERCENTAGES	
STONE VENEER	34.4%
WOOD SIDING	28.6%
METAL PANEL SIDING	3.7%
FENESTRATION	33.3%



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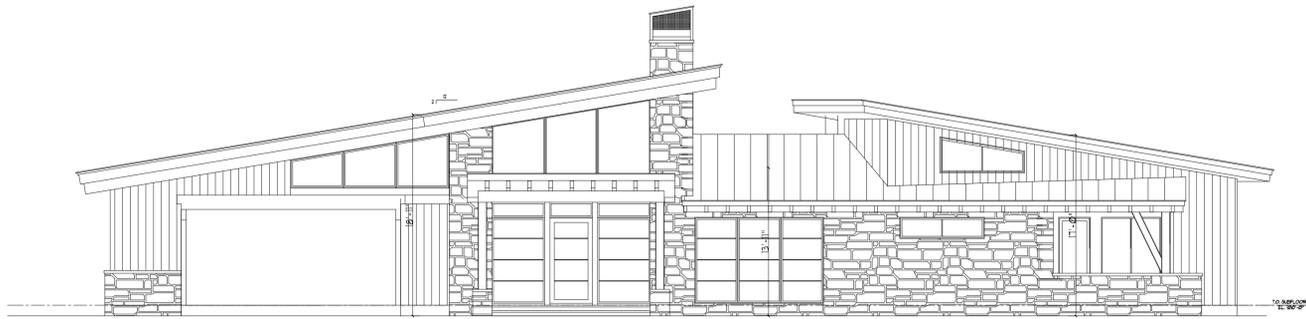
MILLS RESIDENCE  
LOT 432  
MOUNTAIN VILLAGE, COLORADO

DESCRIPTION	DATE
DRG SUBMITTAL	3-2-18

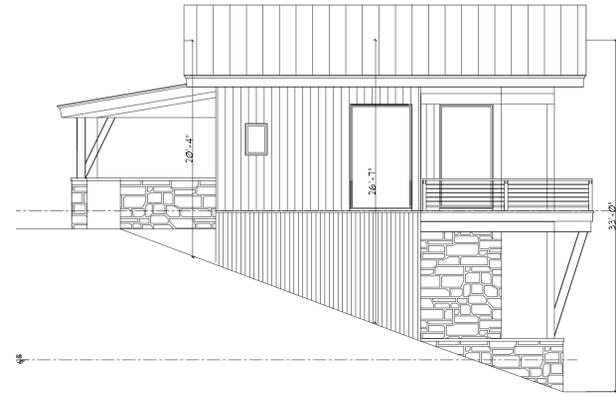


MATERIAL CALCS  
Drawing No.

A4.2



A WEST ELEVATION  
SCALE: 1/8" = 1'-0"



B SOUTH ELEVATION - MASTER BEDROOM



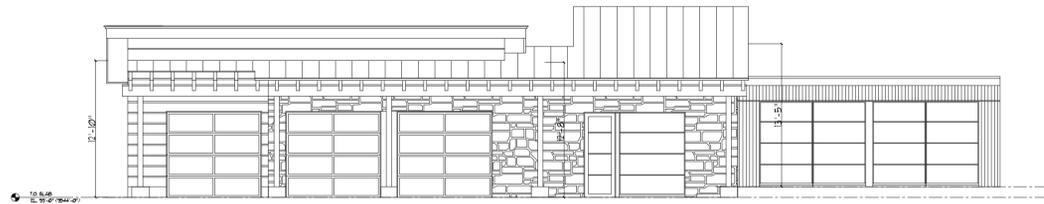
A EAST ELEVATION - MASTER BEDROOM



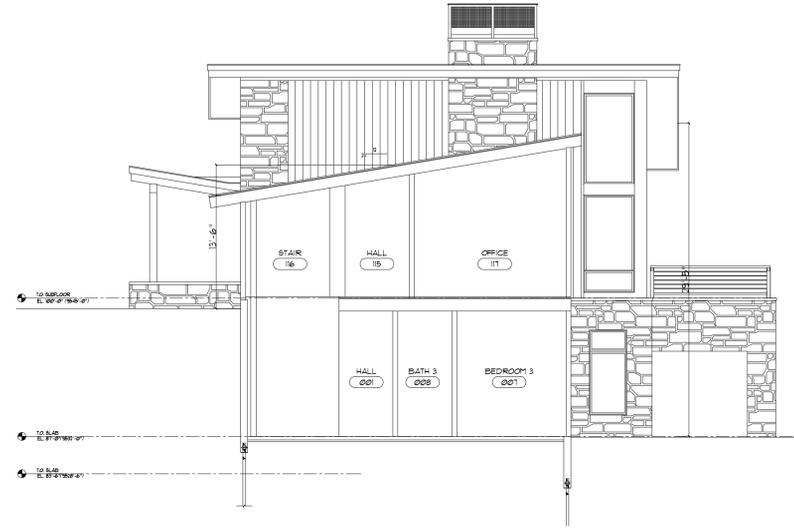
B EAST ELEVATION



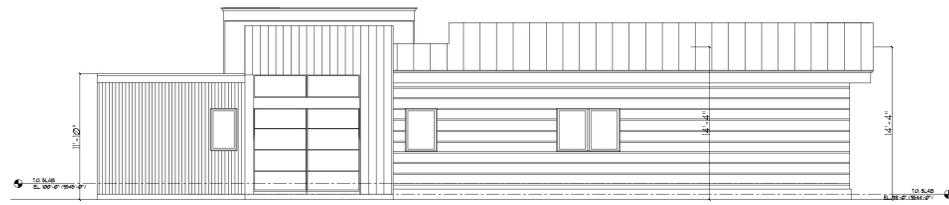
C NORTH ELEVATION AT KITCHEN



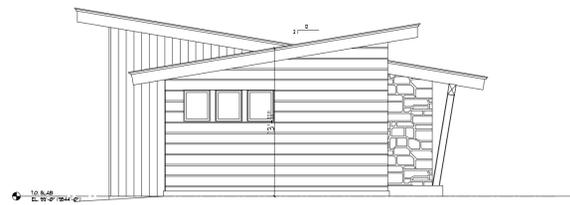
A SOUTH ELEVATION - GARAGE WING AT AUTOCOURT



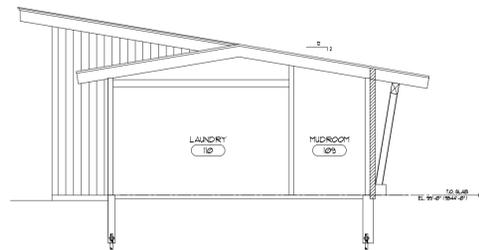
A BUILDING SECTION AT OFFICE



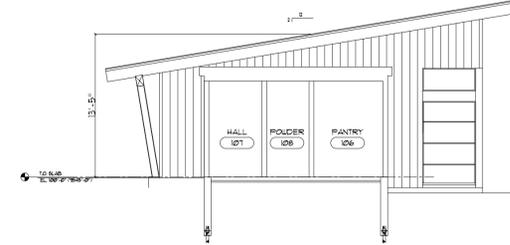
C NORTH ELEVATION - GARAGE WING



B WEST ELEVATION - GARAGE WING



B BUILDING SECTION



D BUILDING SECTION

HEIGHT CALCULATION SUMMARY  
 MAXIMUM RIDGE HEIGHT = 9566'-11"  
 AVERAGE RIDGE HEIGHT = 18'-11"  
 (FROM ADJACENT GRADE)



Thomas W. Conyers  
 Architect, AIA  
 P.O. BOX 3383  
 TELLURIDE, CO 81435  
 970-369-0057

MILLS RESIDENCE  
 LOT 432  
 MOUNTAIN VILLAGE, COLORADO

DESCRIPTION	DATE
DRG SUBMITTAL	3-2-18



HEIGHT CALCS  
 Drawing Title  
 Drawing No.

A4.3



**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

---

**TO:** Design Review Board  
**FROM:** Dave Bangert, Senior Planner  
**FOR:** Meeting of March 29, 2018  
**DATE:** March 21, 2018  
**RE:** Final Design Review for a new single-family dwelling on Lot 201A, 106 Benchmark Drive.

---

**PROJECT GEOGRAPHY**

**Application Overview:** The purpose of this agenda item is to allow the Design Review Board (DRB) to provide final review to the applicant regarding a proposed new single-family home.

**Legal Description:** Lot 201A  
**Address:** 106 Benchmark Drive  
**Applicant/Agent:** Kris Perpar/Shift Architects  
**Owner:** Susan and Bradford Hewitt  
**Zoning:** Single-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 0.469 acres

**Adjacent Land Uses:**

- **North:** Open Space
- **South:** Single-Family
- **East:** Single-Family
- **West:** Single-Family

**ATTACHMENTS**

- Exhibit A: Narrative
- Exhibit B: Plan Set

**BACKGROUND**

The Initial Architectural and Site Review was conducted at the March 1, 2018 DRB meeting. The DRB directed the applicant to move all improvements at least 10' off of the eastern lot line. In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Design Review for the development of a single-family residence. The proposed project consists of a 5,145-total square foot (with 4,493 square foot livable) single-family home located on lot 201A. This is the final design review for this project.

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	35' maximum (35'+5' for gable roof)	36' – 8-3/4"
Maximum Avg Building Height	30' maximum (30'+5' for gable roof)	28' – 5"
Maximum Lot Coverage	40% maximum	37.4%
General Easement Setbacks		
North	16' setback from lot line	15' to GE
South	16' setback from lot line	21' to GE
East	No GE on Eastern lot line	10' to lot line
West	16' setback from lot line	0' to GE
Roof Pitch		
Primary		10:12 gable
Secondary		8:12 gable and hip
Exterior Material		
Stone	35%	38%
Wood	(No requirement)	44%
Windows/Doors	40% maximum for windows	18%
Parking	2 enclosed and 2 exterior	2 enclosed and 2 exterior

**17.3.12.C BUILDING HEIGHT LIMITS**

The average height for the proposed designed is compliant at 28' – 8-3/4". The maximum height is 36' – 8-3/4", which puts it within 5' of the maximum height allowed for the roof design.

When a proposed development is approved that is five (5) feet or less from the maximum building height or maximum average building height, the review authority approval shall include a condition that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This shall be done prior to the Building Division conducting the required framing inspection.

**17.5.5 BUILDING SITING DESIGN**

Lot 201A is an average size (0.469 acres) hexagon shaped lot that slopes from south to north. In 1990 the original Lot 201 was re-platted into Lots 201A and 201B. The plat notes state that 201A and 201B will have one common access from Benchmark Drive to serve both lots. The replat split the original lot into two equal halves but the new interior lot line does not show General Easements on either side of it. Lot 201B was developed and received its Certificate of Occupancy in 2000. There is not lot of information in our Lot Files regarding the Planning approval for Lot 201B. The garage on Lot 201B, at 17', is the closest improvement to the lot line between 201A and 201B. There is an existing GE encroachment agreement for Lot 201B that allows for a landscape berm in the northern GE. Staff concludes that Lot 201B was developed with a 16' setback along its western property line. For lots outside the Village Center Zone District where a general easement does not exist and lots where the general easement has been vacated, the review authority may require the establishment of a building setback as determined by the DRB at the time of review of a development application per CDC Section 17.3.14.B. The DRB can determine any appropriate setback including up to 16 feet. The applicant has moved and modified the garage so that the building foot print and roof overhang are 10' off the eastern property line.

**17.5.6 BUILDING DESIGN**

**Building Form and Exterior Wall Form**

In accordance with the Community Development Code, the proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation.

**Roof Forms, Design and Materials**

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets. The primary roof form for the residence is a 10:12 gable. The secondary roof forms are 8:12 gables and hips. The proposed roofing material will be “weathered copper” bonderized standing seam that will require specific approval from the DRB.

**Exterior Wall Materials**

The exterior walls consist of 38% stone veneer (Telluride Gold, Highlands Detail) with no exposed grout; 44% wood, vertical 8” tongue and groove; and 18% fenestration (cappuccino metal clad Loewen windows).

**17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan prepared by Uncompahgre Engineering, LLC for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades of 3:1 or flatter.

**17.5.8 PARKING REGULATIONS**

There are 2 enclosed parking spaces and 2 exterior spaces proposed. All parking spaces are completely located within the property boundaries with no encroachments into General Easements or setbacks.

**17.5.9 LANDSCAPING REGULATIONS**

The proposed landscape plan shows 3 aspens, 4 spruces, 6 shrubs and 2 perennial beds with all disturbed areas to be re-seeded per CDC guidelines. All plantings will need to be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

<b>Landscaping Type</b>	<b>Minimum Size</b>
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.

The irrigation plan submitted has a rainfall sensor and a backflow prevention device called out.

**17.5.11 UTILITIES**

All shallow utilities are proposed to be run from southwest corner of the lot. The water line will come in from west of the driveway and run to the main house. Sanitary sewer will tie in to the existing sewer line to the north. Public Works requests that all utilities be field located by the contractor prior to construction.

**17.5.12 LIGHTING REGULATIONS**

There are seven (7) sconces purposed on the exterior lighting plan. Locations include egress, deck, garage and patio areas. Lighting is permitted in all proposed locations and seems appropriate for the design.

**17.5.13.E.4 ADDRESS IDENTIFICATION SIGNS**

The address monument is compliant with the code. The proposed location is in the Benchmark Drive Right of Way and will need approval from the Mountain Village Town Council.

**17.6.6.B. DRIVEWAY STANDARDS**

The replat of Lot 201 stated that the two new Lots 201A and 201B would have a shared driveway cut. The new driveway for Lot 201A diverges from the existing driveway for Lot 201B right at the southeast corner of Lot 201A. The driveway designs meet the standards of the CDC. The first 20' of the drive is at 3.21% grade and the auto court area has a maximum grade of 3.21%.

**17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS**

The applicant has indicated the fireplace will be a gas as well as the fire pit on the back patio.

**17.7.19 CONSTRUCTION MITIGATION**

The construction mitigation plan shows the limits of disturbance encroaching into the southern GE. The plan no longer shows temporary construction parking along Benchmark Drive.

**PROPOSED VARIATIONS AND SPECIFIC APPROVALS**

- Town Council approval for address monument in the Benchmark Drive RROW;
- Specific approval for the use of bonderized standing seam roofing.

**RECOMMENDATION**

Staff recommends the DRB approve the Final Design Review application with the stated variations and specific approvals for Lot 201A with the following conditions:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.
3. Applicant will seek the approval of the Mountain Village Town Council for an address monument in the Benchmark Drive RROW.

Date: January 30, 2018  
By: Kristine Perpar, Architect

Property address:

106 Benchmark Drive  
Lot 201A  
Telluride, CO 81435

**Sent to:** MV DRB

**Re:** Development of a Single Family Residence

Dear Mountain Village Design Review Board,

The proposed home for Lot 201A was designed to capture the views of the San Sofia Ridge, sensitivity to the site and neighbors and the existing topography.

Lot 201-A is currently vacant of structures and covered with trees. The building site has a constant slope down towards the north.

The driveway is situated on the eastern portion of the lot accessed by an existing driveway cut for Lot 201-B.

Exterior elevations, plans and roof are simple in form. Roofs are all gabled roofs at a 8:12 pitch with the main gable at 10:12 pitch. Exterior materials; stone, metal and wood accents were selected for their sensitivity to the environment and for durability.

The proposed landscape plan is simple. Aspen trees to be planted on the east side of the structure and new spruce trees to be planted towards Benchmark for privacy with perennial gardens around the entry.

Sincerely,



Kristine Perpar





## GENERAL NOTES:

### CONTRACT DOCUMENTS:

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

### ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

### CODE COMPLIANCE:

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

### INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

### COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

### SUBSTITUTIONS:

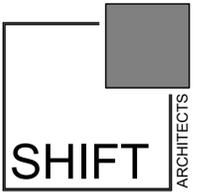
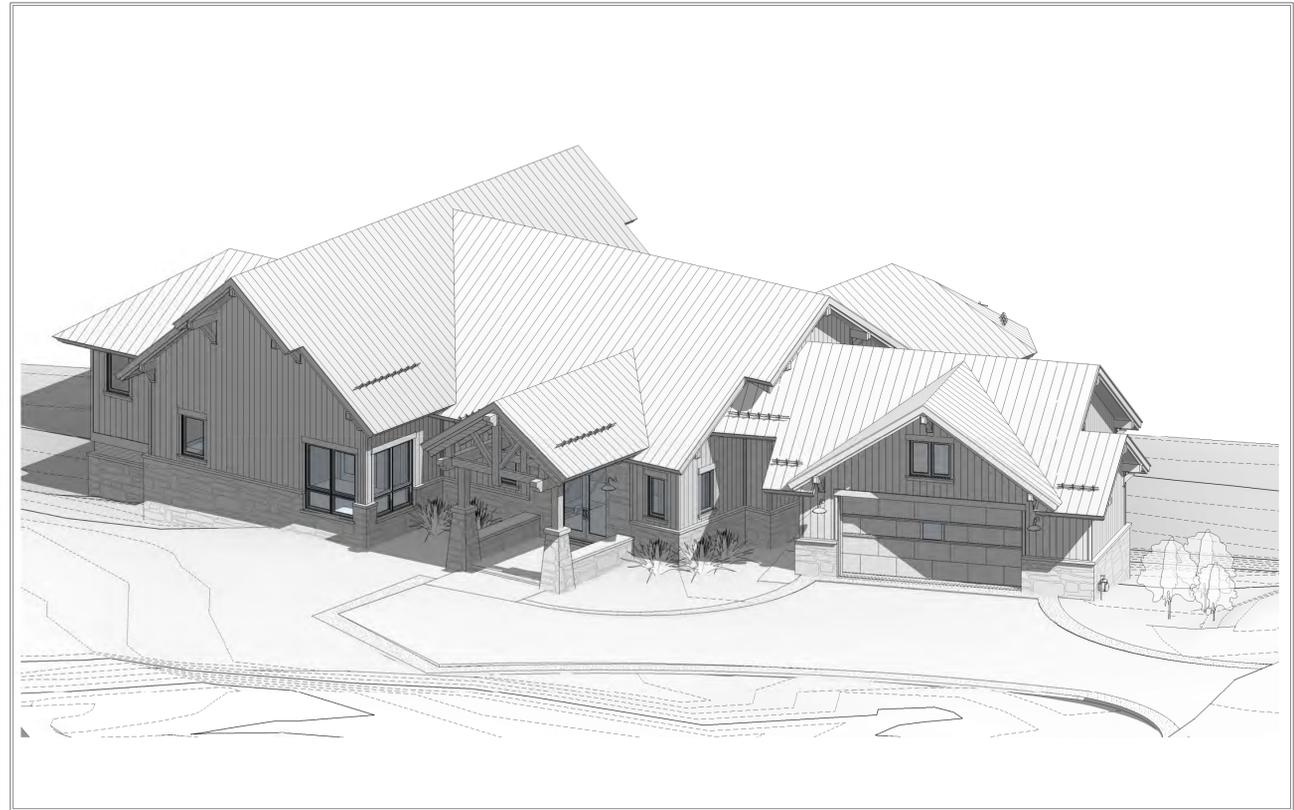
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

### SHOP DRAWINGS:

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

### SAFETY & PROTECTION OF WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



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100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

PROJECT ISSUE DATE:  
03.13.18 DRB RE-SUBMITTAL

### REVISION

NO.	DATE	DESC.
1	03.13.18	Revised lot coverage calculation
3	03.13.18	Revised area calculation

## PROJECT CODE INFORMATION

ZONING	SINGLE-FAMILY RESIDENCE (MV LOT 201A)
BUILDING CODE	IRC 2012 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION	MULTI-STORY; SINGLE FAMILY DWELLING
OCCUPANCY CLASSIFICATION	R-3
AUTOMATIC FIRE SPRINKLER	PER NFPA - SPRINKLED OVER 3600 SF
FIRE RESISTIVE RATING	GARAGE - 1 HR MECHANICAL - 1 HR

## PROJECT INFORMATION

TYPE OF UNIT:	SINGLE FAMILY RESIDENCE	MAX BUILDING HEIGHT: ALLOWABLE	40'-0" (35'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
GROSS FLOOR AREA: LIVING		PROPOSED	36'-8 3/4"
LOWER LEVEL	1,805.83 SF	MAX AVERAGE HEIGHT: ALLOWABLE	35'-0" (30'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
GROUND LEVEL	2,386.84 SF	PROPOSED	28'-5"
3 SEASON ROOM	300.44 SF	PARKING REQUIRED:	4 SPACES PROVIDED (4 REQUIRED) (2 ENCLOSED IN GARAGE) (2 SURFACE SPACES)
TOTAL:	4,493.11 SF		
GARAGE	652.60 SF		
TOTAL:	5,145.71 SF		
LOT AREA:	0.47 ACRES (20,473.2 SF)		
LOT COVERAGE: ALLOWABLE	8,189.28 SF (40% MAX)		
PROPOSED	7,657.38 SF (37.40%)		
			<b>SEE SHEET A2.1 FOR MAXIMUM BUILDING HEIGHT AND LOT COVERAGE CALCULATIONS</b>

## SHEET INDEX

<b>GENERAL</b>	
G1.0	COVER SHEET
G1.1	ABBREVIATIONS AND LEGENDS
<b>CIVIL</b>	
C1	NOTES
C2	GRADING AND DRAINAGE PLAN
C3	UTILITY PLAN
<b>ARCHITECTURAL</b>	
A1.0	SURVEY
A1.1	ARCHITECTURAL SITE PLAN
A1.2	LANDSCAPE PLAN
A1.3	CONSTRUCTION MITIGATION PLAN
A2.1	MAXIMUM BUILDING HEIGHT CALCULATIONS
A2.2	MATERIAL CALCULATIONS
A3.1	FLOOR PLANS
A3.2	FLOOR PLANS
A3.3	ROOF PLAN
A4.0	AXONS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A4.3	EXTERIOR ELEVATIONS
A4.4	EXTERIOR ELEVATIONS
LTG1.0	EXTERIOR LIGHTING PLANS

## VICINITY MAP



## PROJECT TEAM

<b>OWNER:</b>	SUSAN & BRADFORD HEWITT 489 GRAND HILL ST. PAUL, MN 55102 P. 612.280.2597 suehewitt4@gmail.com	<b>SURVEYOR:</b>	FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 P.O. BOX 1385 TELLURIDE, CO 81435 P. 970.728.6153 F. 970.728.6050	<b>MECHANICAL:</b>	HUGHES CONSULTING ENGINEERING, PA STEVEN HUGHES P.E. TELLURIDE OFFICE DIMITRI MERRILL, E.I.T. 220 WEST COLORADO AVENUE TELLURIDE, CO 81435 P. 970.239.1949 F. 785.842.2492 dimitri@hce-pa.com
<b>ARCHITECT:</b>	SHIFT ARCHITECTS KRISTINE PERPAR, AIA - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com	<b>CIVIL:</b>	UNCOMPAGRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dbalode@msn.com	<b>LANDSCAPING:</b>	SHIFT ARCHITECTS KRISTINE PERPAR, AIA - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
<b>GENERAL CONTRACTOR:</b>	OSBORNE BUILDERS MICHAEL OSBORNE 220 E. COLORADO AVE STE. 201 PO BOX 3163 TELLURIDE, CO 81435 P. 970.728.4679 michael@osbornebuilders.com	<b>STRUCTURAL:</b>	ALPINE EDGE ENGINEERING LLC MATTHEW D. HEPP, P.E. 605 RIVER PARK DR. RIDGWAY, CO 81432 P. 970.318.1469 matthewheppeng@gmail.com		

HEWITT RESIDENCE

LOT 201A / 106 BENCHMARK DRIVE  
MOUNTAIN VILLAGE, CO 81435

COVER SHEET

SHEET NUMBER

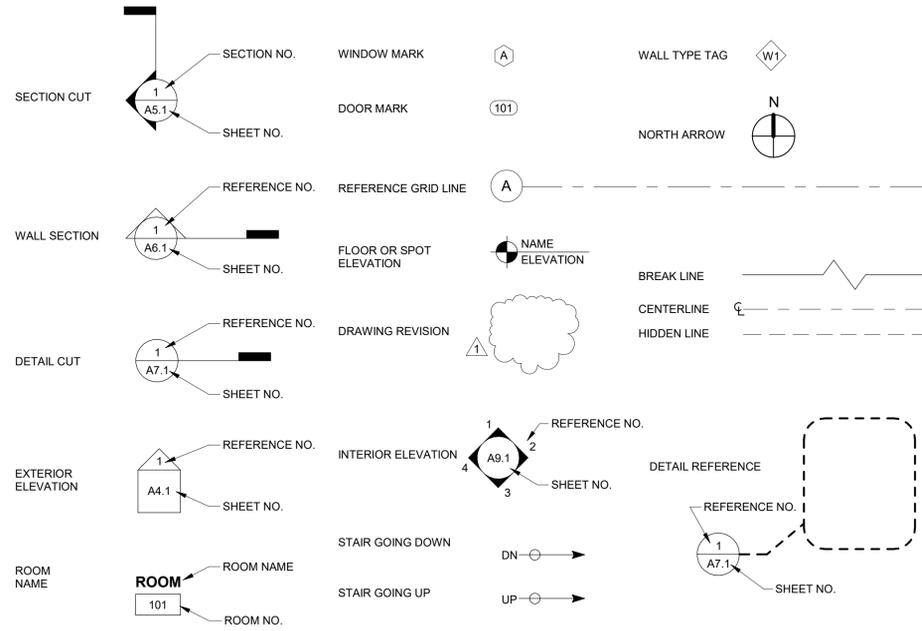
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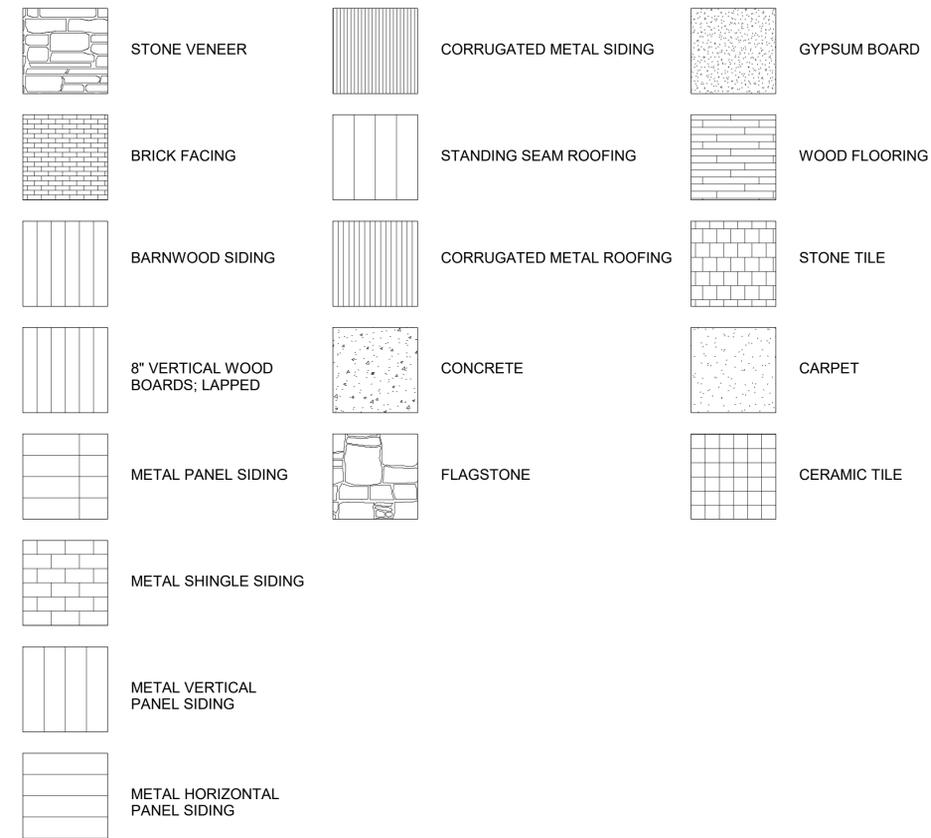
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## SYMBOL LEGEND

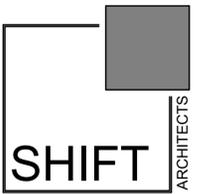


## MATERIAL LEGEND



## ABBREVIATIONS

AC	Acres
AFF	Above Finished Floor
AGG	Aggregate
AL	Aluminum
BM	Bench Mark
BSN	Basin
BTH	Bath
CL	Centre Line
CJ	Control Join
CLST	Closet
CP	Carpet
CT	Ceramic Tile
DIA	Diameter
DP	Downpipe
DW	Dishwasher
EX	Existing
FF	Finished Floor
FHR	Fire Hose Reel
FP	Flue Pipe
GAL	Galvanized
GL	Ground Line
GFI	Ground Fault Circuit Interrupter
GPO	General Power Outlet
IBC	International Building Code
MDF	Medium Density Fibreboard
MR	Metal Roofing
MSB	Main Switch Board
NTS	Not To Scale
PFC	Parallel Flanged Steel Channel
PL	Plastic Laminate
PT	Paint
RC	Reinforced Concrete
REF	Refrigerator
RL	Reduced Level
S	Sanitary Drainage Pipe
SHR	Shower
SK	Sink
SN	Stone
SS	Stainless Steel
ST	S Trap
STF	Steel Trowel Finished Concrete
SW	Stormwater Drainage Line
T&G	Tongue and Grooved
TO	Top Of
TPH	Toilet Paper Holder
TR	Tiled Roofing
TSF	Timber Strip Floor
TYP	Typical
U	Urinal
UOS	Unless Otherwise Specified
V	Valley
VIF	Verify in Field
VP	Vent Pipe
WC	Water Closet (Toilet)
WM	Washing Machine
WPM	Water Proof Membrane

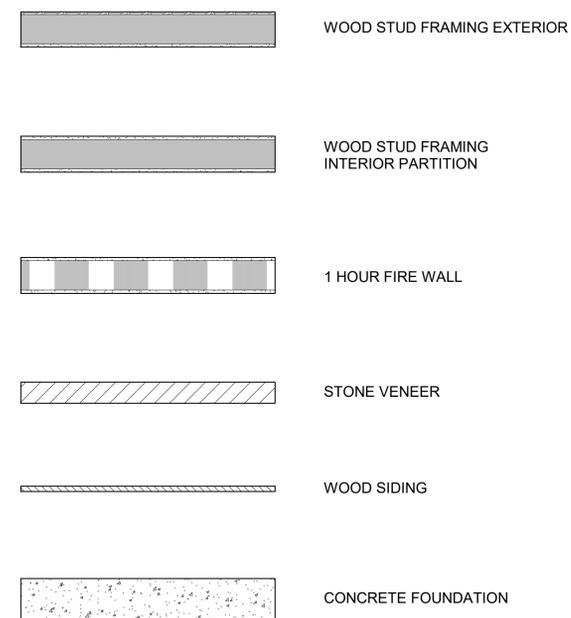


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PROJECT ISSUE DATE:  
 03.13.18 DRB RE-SUBMITTAL

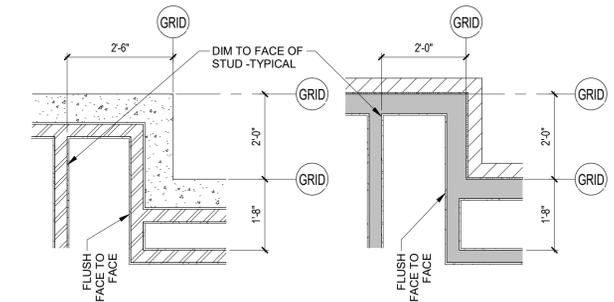
REVISION  
 NO. DATE DESC.

## WALL LEGEND



## DIMENSIONING LEGEND

- GRIDS ALIGN WITH OUTSIDE FACE OF FOUNDATION WALL AND OUTSIDE FACE OF STUD AT EXTERIOR STRUCTURAL FRAME WALL.
- WALLS AND PARTITIONS SHOWN IN PLAN INCLUDE FINISH MATERIALS.
- DIMENSIONS ARE SHOWN FROM GRID TO GRID, GRID TO FACE OF STUD, AND FACE OF STUD TO FACE OF STUD AT INTERIOR PARTITIONS, TYPICAL.
- INTERIOR PARTITIONS FLUSH FACE TO FACE WITH THEIR EXTERIOR COUNTERPARTS, TYPICAL.



## PROJECT DATUM LEGEND

ACTUAL ELEVATION ABOVE SEA LEVEL = PROJECT 0'-0"



HEWITT RESIDENCE

LOT 201A / 106 BENCHMARK DRIVE  
 MOUNTAIN VILLAGE, CO 81435

ABBREVIATIONS AND LEGENDS

SHEET NUMBER

G1.1

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NOT FOR CONSTRUCTION

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GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, AND CABLE TV: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ALL PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL COORDINATE THE DISCHARGE REQUIREMENTS WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROFF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTATION AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

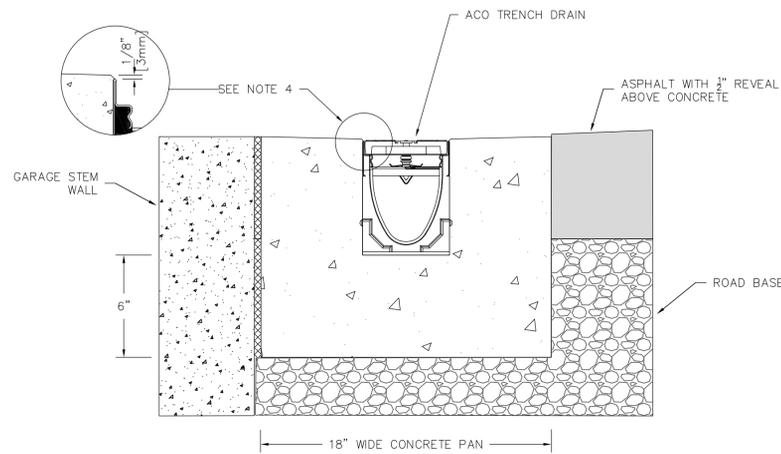
24. PROPOSED WATER AND SANITARY SEWER ARE TO MAINTAIN A MINIMUM TEN FEET (10') HORIZONTAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) AND A MINIMUM VERTICAL SEPARATION OF EIGHTEEN INCHES (18").

25. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

26. HOT TUB DRAINS CANNOT BE CONNECTED TO THE SANITARY SEWER SYSTEM.

27. JOINTS IN SEWER MAINS THAT ARE WITHIN 18 INCHES VERTICALLY AND 10 FEET HORIZONTALLY SHALL BE ENCASED IN CONCRETE.

28. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



NOTES:

- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS.
- MINIMUM CONCRETE STRENGTH OF 4,500 PSI IS REQUIRED.
- EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND.
- THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" [3mm] ABOVE THE TOP OF THE CHANNEL EDGE.
- CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS.
- REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

ACO TRENCH DRAIN  
TYPICAL SECTION  
NOT TO SCALE

SPECIFICATION CLAUSE

K100 KLASIKDRAIN - LOAD CLASS C

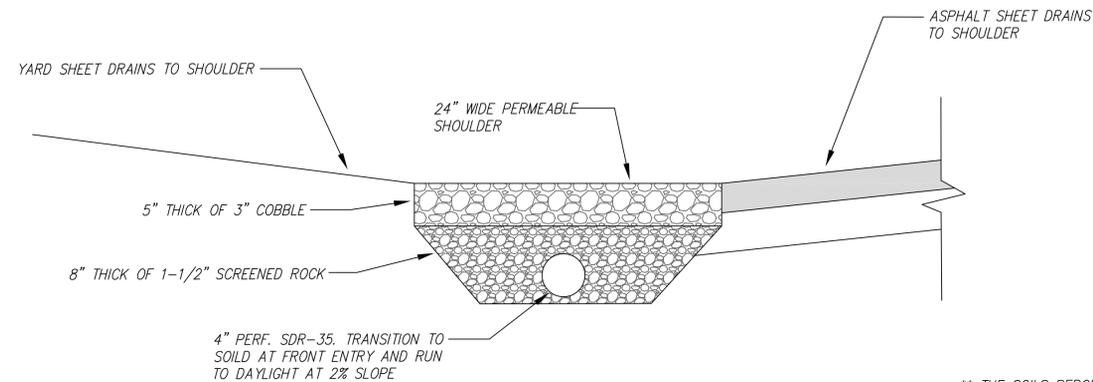
GENERAL  
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K100 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

MATERIALS  
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:  
COMPRESSIVE STRENGTH: 14,000 PSI  
FLEXURAL STRENGTH: 4,000 PSI  
TENSILE STRENGTH: 1,500 PSI  
WATER ABSORPTION: 0.07%  
FROST PROOF: YES  
DILUTE ACID AND ALKALI RESISTANT: YES  
B117 SALT SPRAY TEST COMPLIANT: YES

THE SYSTEM SHALL BE 4" (100mm) NOMINAL INTERNAL WIDTH WITH A 5.1" (130mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING "QUICKLOCK" BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.



COBBLE SHOULDER BETWEEN GARAGE AND HOUSE\*\*  
TYP. SECTION

\*\* THE SOILS REPORT INDICATES THAT THE NATIVE MATERIAL MAY BE CLAYEY AND WON'T PERCOLATE. DUE TO THE WATER BEING DIRECTED TO THE YARD AREA, THIS DRAIN HAS BEEN DESIGNED TO ALLOW WATER TO DRAIN OUT. IF THE SOIL CONDITIONS DO NOT WARRANT A DRAIN, IT MAY BE DELETED OR IT MAY BE ALTERED BY THE LANDSCAPE ARCHITECT.



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2018-01-17  
REVISED FOOTPRINT 2018-03-19

Hewitt Residence  
Lot 201A  
Mt. Village, CO

NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1





Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2018-01-17  
REVISED FOOTPRINT 2018-03-19

Hewitt Residence  
Lot 201A  
Mt. Village, CO

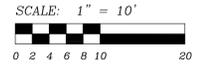
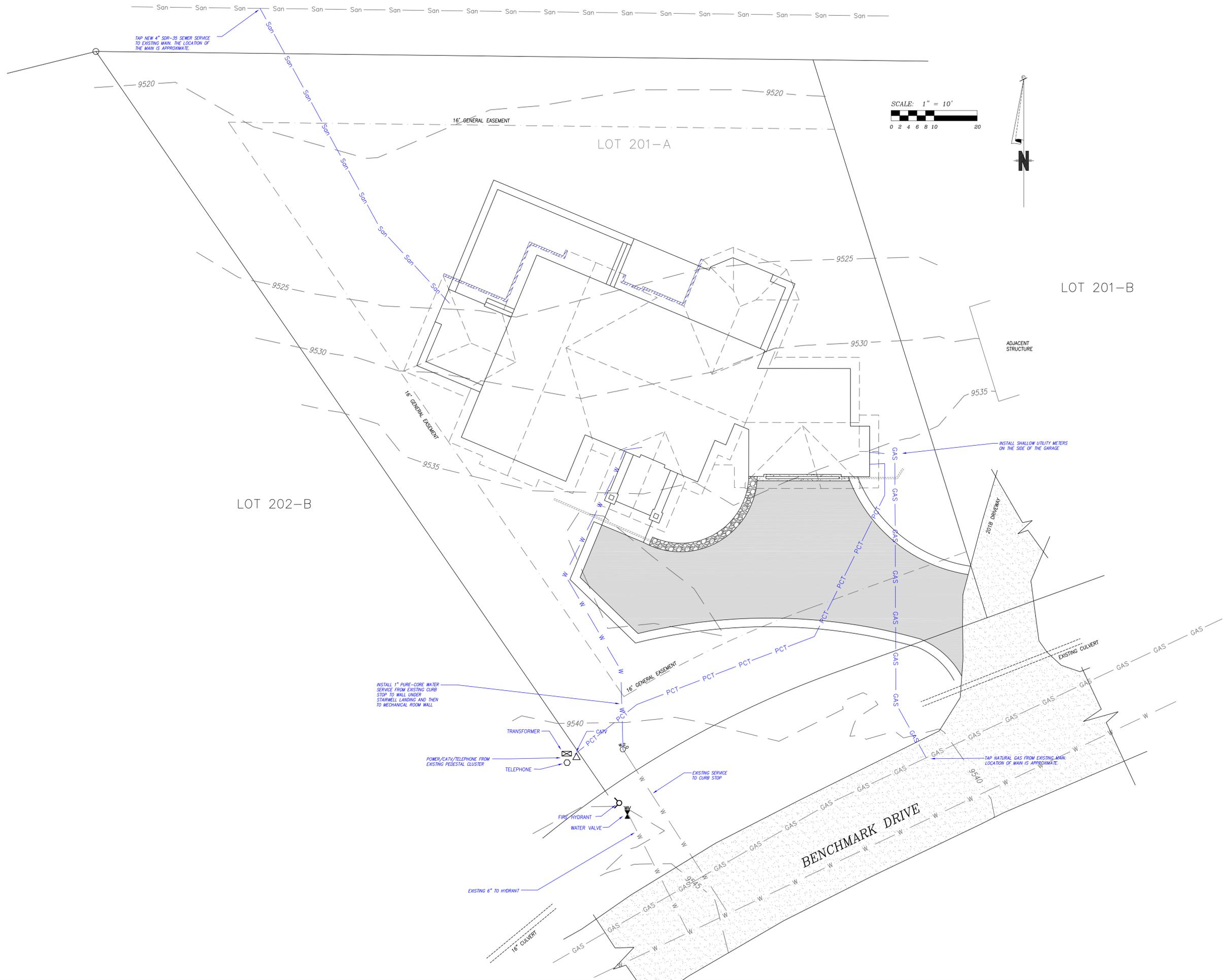
NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utility  
Plan

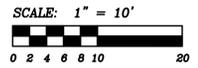
C3

Sheet 3 of 3



**LEGEND**

- FOUND REBAR WITH A 1 1/2 INCH ALUMINUM CAP LS 24954
- FOUND REBAR WITH A 1 1/2 INCH ALUMINUM CAP LS 20632
- FOUND REBAR WITH A 1 1/2 INCH ALUMINUM CAP LS 37903



**SURVEYOR CERTIFICATE:**

This topographic survey of Lot 201A, Town of Mountain Village, is hereby certified to Susan and Bradford Hewitt. This property was field surveyed on August 22, 2017 with trees located on January 4th, 2018 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., Licensed Surveyor. It does not constitute a Land Survey or Improvement Survey Plot as defined by section 38-51-10.



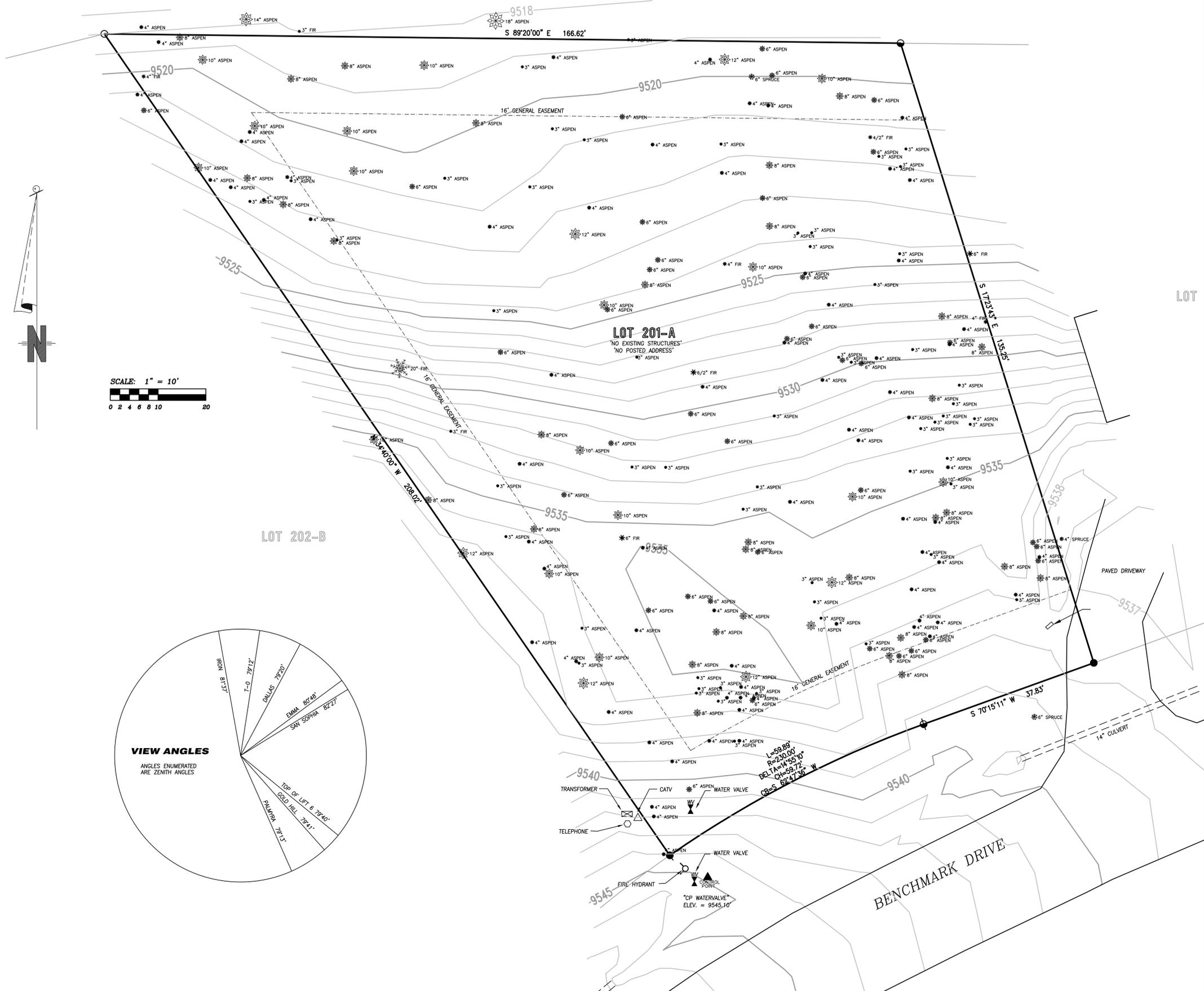
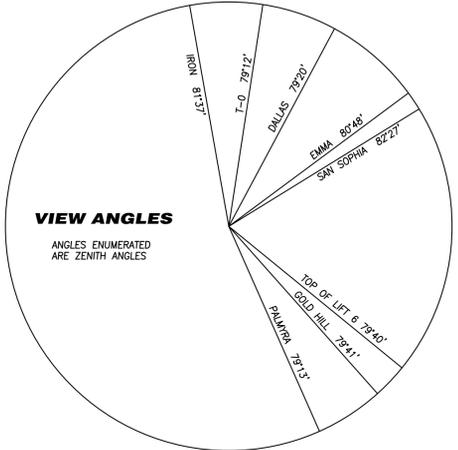
P.L.S. NO. 37970

**PROPERTY DESCRIPTION:**

LOT 201-A, TELLURIDE MOUNTAIN VILLAGE, FILING 6, ACCORDING TO THE REPLAT OF LOT 201, TELLURIDE MOUNTAIN VILLAGE, FILING 6 RECORDED AUGUST 16, 1990 IN PLAT BOOK 1 AT PAGE 1067, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**NOTES:**

1. Easement research and property description from Land Title Guarantee Company, Order Number TLR86007309-2, dated 8/3/17 at 5:00 P.M.
2. According to FEMA Flood Insurance Rate Map 08113C0286 C, Panel Number 0286-C, dated September 30, 1988, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
3. Bearings for this survey based on found original monuments along the northern boundary of the property as shown hereon.
4. No posted address.
5. Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.
6. This survey is valid only if a print or electronic copy has a seal and signature of the surveyor noted within the statement above.
7. Any person who knowingly removes, alters, or defaces any public land survey monument and/or boundary monument or accessory, commits a class two (2) misdemeanor pursuant to C.R.S. 18-4-508.
8. The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.
9. This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities.
10. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
11. Index contours are every 5' and intermediate contours are every 1'
12. Site Benchmark is "CP WATERVALVE" as shown hereon having an elevation of 9545.10 feet.



**TOPOGRAPHIC SURVEY AND TREE INVENTORY - LOT 201-A, TOWN OF MOUNTAIN VILLAGE, COLORADO**

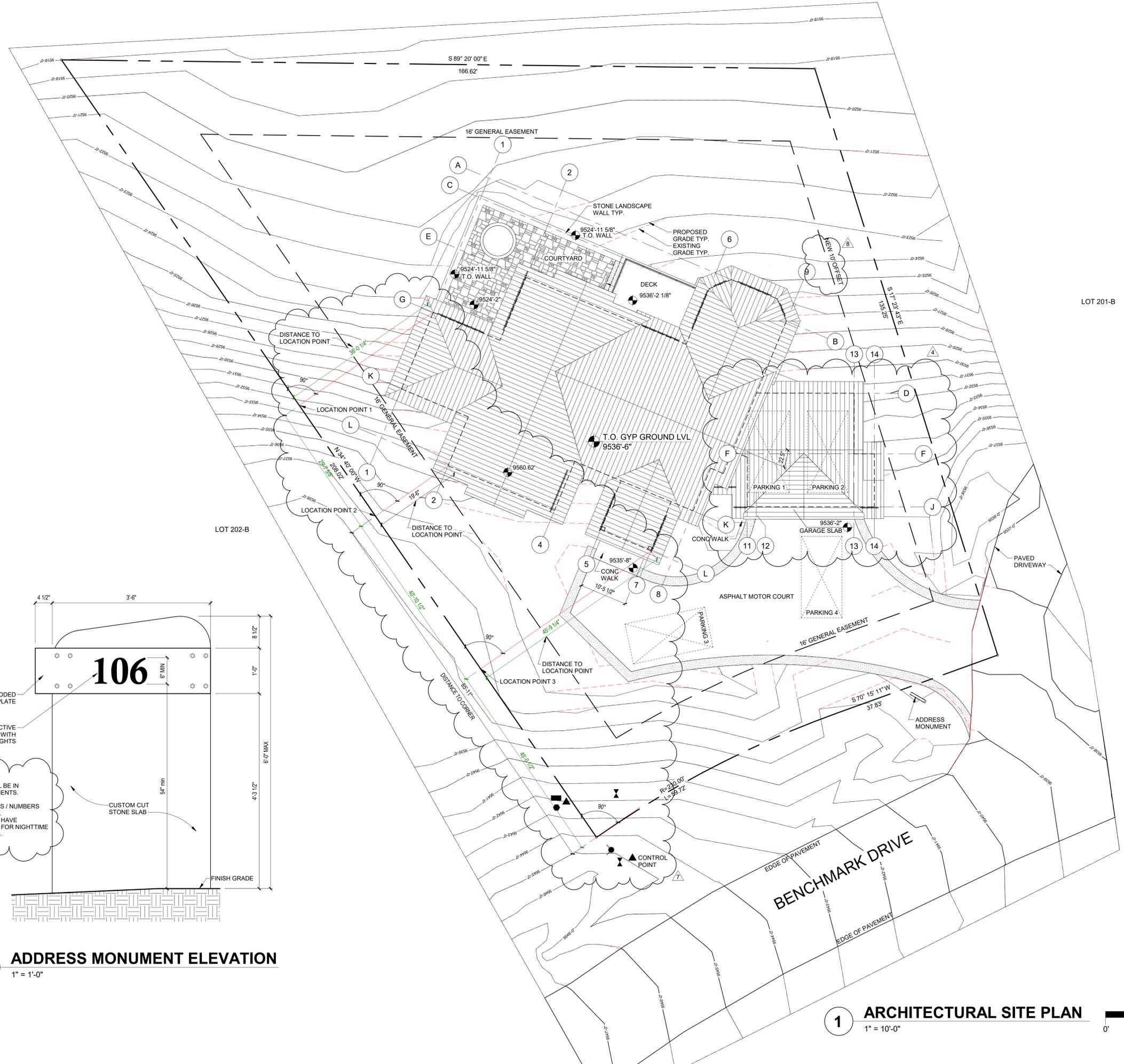
Rev.	description	date	by



970-728-6153 970-728-6050 fax  
 P.O. BOX 1385  
 125 W. PACIFIC, SUITE B-1  
 TELLURIDE, COLORADO 81435

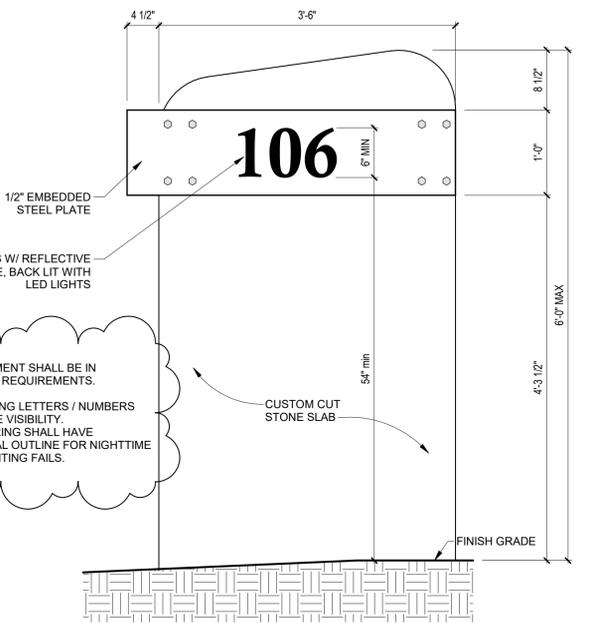
PROJECT ISSUE DATE:  
 03.13.18 DRB RE-SUBMITTAL

NO.	DATE	DESC.
4	03.13.18	Re-design of garage
6	03.13.18	Revised address monument
7	03.13.18	Re-locate house on site
8	03.13.18	New 10' offset



LOT 201-B

LOT 202-B



**2 ADDRESS MONUMENT ELEVATION**  
 1" = 1'-0"

**1 ARCHITECTURAL SITE PLAN**  
 1" = 10'-0"

**HEWITT RESIDENCE**

LOT 201A / 106 BENCHMARK DRIVE  
 MOUNTAIN VILLAGE, CO 81435

ARCHITECTURAL  
 SITE PLAN

SHEET NUMBER

**A1.1**

NOT FOR CONSTRUCTION

### GENERAL NOTES:

1. ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
2. ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
3. NECESSARY TREES SHALL BE STAKED WITH 4" METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

#### NOXIOUS WEEDS:

1. ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

#### LANDSCAPE MAINTENANCE NOTES:

1. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
2. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
3. ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
4. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

### REVEGETATION NOTES:

1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
4. AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
5. BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
6. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
7. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

### LANDSCAPE LEGEND

	CONCRETE PAVERS		INDIGENOUS SHRUBS
	FENCE		EXISTING ASPEN TREE TO REMAIN
	FENCE; WOOD		EXISTING ASPEN TREE TO BE REMOVED
	METAL GATE TO MATCH FENCE		EXISTING EVERGREEN TREE TO REMAIN
	METAL PLANTING BED WALL		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		
	DISTURBED AREAS		
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING		
	FLAGSTONE		
	STONE PAVER		
	SNOW MELT AREAS		

**NOTE:**  
ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

### PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	3
PICEA	SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	4
SHRUBS		5 GAL.	6
PERENNIALS - BED A			293 SF
PERENNIALS - BED B			167 SF

### IRRIGATION NOTES

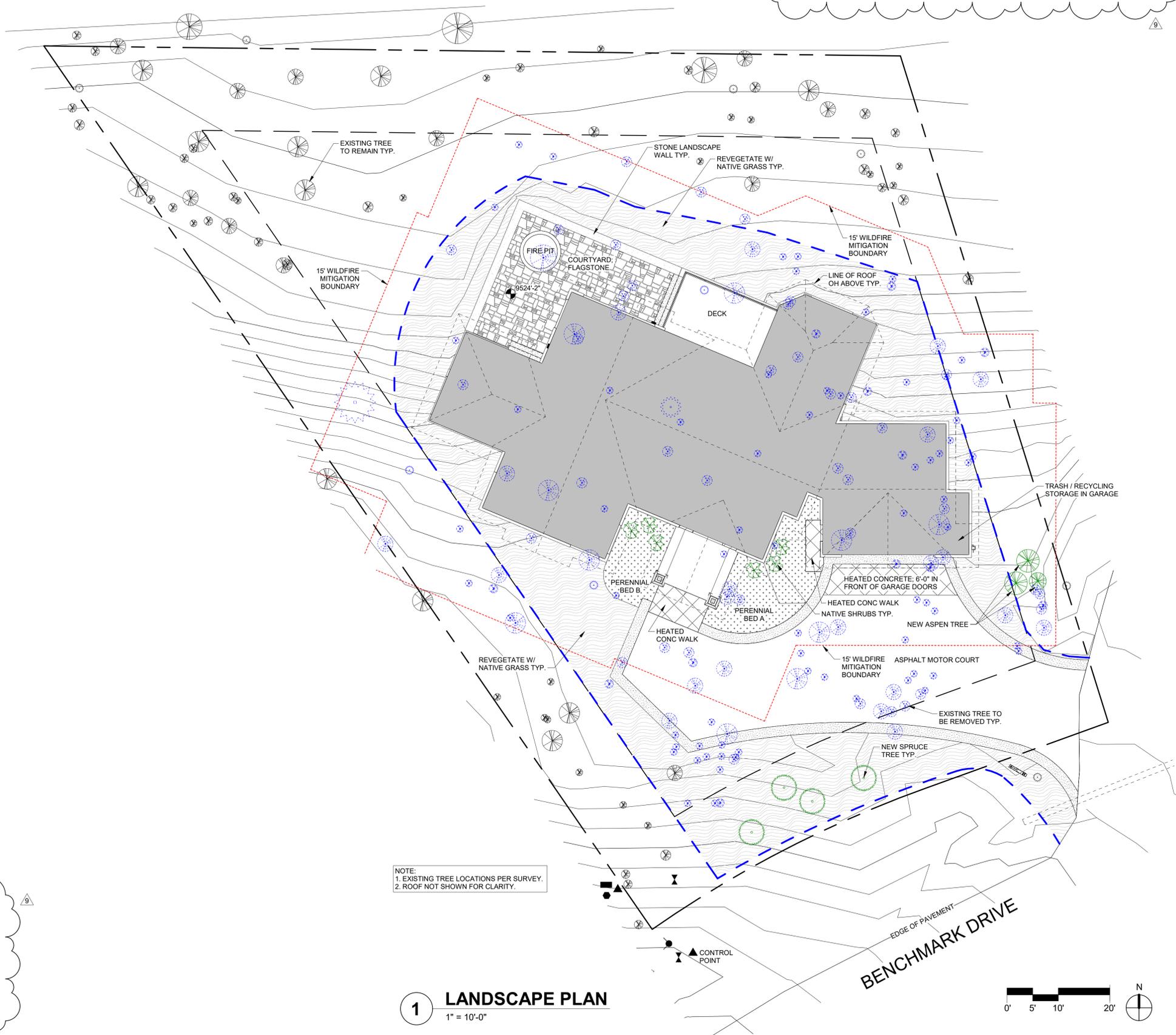
1. TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER.
2. RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER.
3. 1.5" WILKINS MODEL 500 PRESSURE REGULATOR.
4. RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE.
5. CLASS 200 PVC MAINLINE 1 1/2".
6. 1" 80NSF POLYLATERAL LINE.
7. WATER SENSOR BY RAINBIRD.

### IRRIGATION SCHEDULE

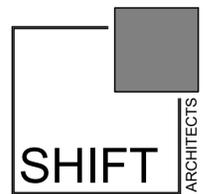
ZONE	LOCATION	HEAD	GPM
1	DECIDUOUS TREES	DRIP EMITTERS	-
1	EVERGREEN TREES	DRIP EMITTERS	-
2	SHRUBS	DRIP EMITTERS	-
3	PERENNIALS - BED A	1806 POP UPS	-
3	PERENNIALS - BED B	1806 POP UPS	-
4	REVEGETATION AREAS	ROTORS	24

### WATER USAGE CHART

TYPE	MONTHLY USE	TOTAL #	TOTAL MONTHLY USAGE
REVEGETATION	2/ GAL S.F.	3,661	7,322 (FIRST SEASON)
PERENNIALS	4/ S.F.	460	1,840
ASPEN	10 GAL	3	30
SPRUCE	10 GAL	4	40
NATIVE SHRUBS	5 GAL	6	30
COMPLETE MONTHLY USAGE (FOR ESTABLISHMENT)			9,262 GAL
(POST ESTABLISHMENT)			1,940 GAL



**1 LANDSCAPE PLAN**  
1" = 10'-0"



P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

PROJECT ISSUE DATE:  
03.13.18 DRB RE-SUBMITTAL

NO.	DATE	DESC.
9	03.13.18	Revised landscape

HEWITT RESIDENCE

LOT 201A / 106 BENCHMARK DRIVE  
MOUNTAIN VILLAGE, CO 81435

LANDSCAPE PLAN

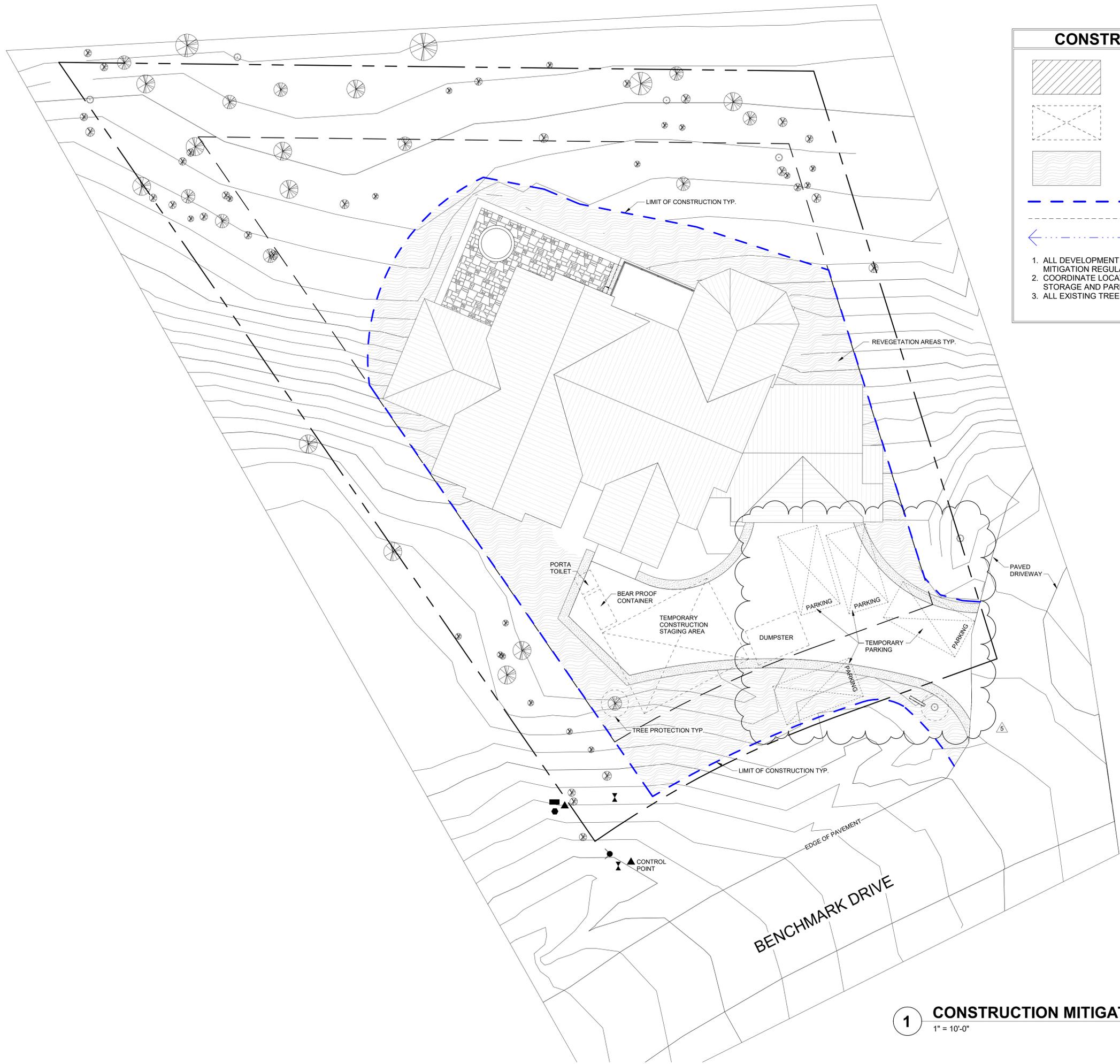
SHEET NUMBER

**A1.2**

NOT FOR CONSTRUCTION

©shift architects

3/13/2018 4:00:44 PM



### CONSTRUCTION MITIGATION LEGEND

	LIMITS OF CONSTRUCTION		EXISTING ASPEN TREE TO REMAIN
	TEMPORARY PARKING		EXISTING EVERGREEN TREE TO REMAIN
	REVEGETATION AREAS		
	CONSTRUCTION FENCING		
	UTILITY / SEWAGE TRENCH		
	DRAINAGE PATH		

1. ALL DEVELOPMENT SHALL COMPLY WITH CDC CONSTRUCTION MITIGATION REGULATIONS.
2. COORDINATE LOCATION OF PORTA TOILET, TRASH, RECYCLE, MATERIAL STORAGE AND PARKING WITH THE TOWN OF MOUNTAIN VILLAGE.
3. ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

**SHIFT** ARCHITECTS

P.O. Box 3206  
 100 W. Colorado Suite 211  
 Telluride, Colorado 81435  
 p 970-728-8145  
 kristine@shift-architects.com  
 www.shift-architects.com

PROJECT ISSUE DATE:  
03.13.18 DRB RE-SUBMITTAL

REVISION		
NO.	DATE	DESC.
5	03.13.18	Revised parking

# HEWITT RESIDENCE

LOT 201A / 106 BENCHMARK DRIVE  
MOUNTAIN VILLAGE, CO 81435

## CONSTRUCTION MITIGATION PLAN

SHEET NUMBER

# A1.3

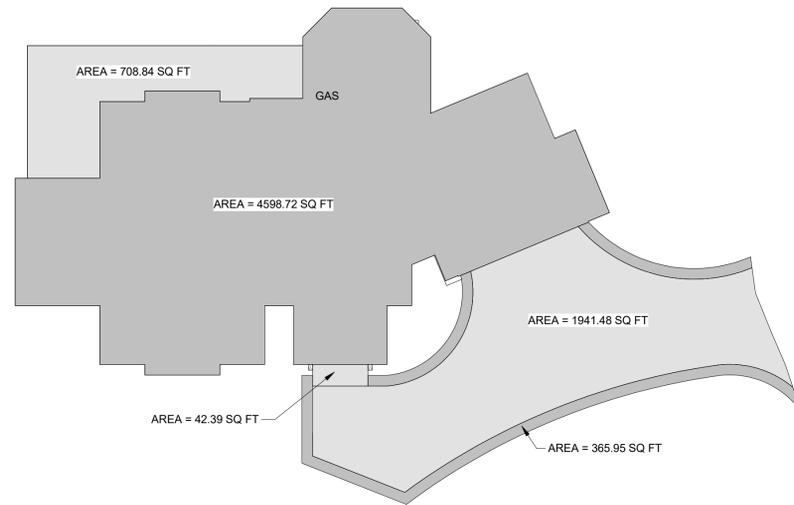
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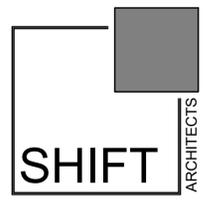
### CONSTRUCTION MITIGATION PLAN

1" = 10'-0"

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LOT COVERAGE:	
HOUSE TO ROOF OVERHANG DRIPLINE	4,598.72 SF
ENTRY STOOP	42.39 SF
LOWER LEVEL COURTYARD	708.84 SF
MOTOR COURT	1,941.48 SF
MOTOR COURT SHOULDER	365.95 SF
<b>TOTAL:</b>	<b>7,657.38 SF</b>



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 www.shift-architects.com

PROJECT ISSUE DATE:  
 03.13.18 DRB RE-SUBMITTAL

REVISION		
NO.	DATE	DESC.
1	03.13.18	Revised lot coverage calculation

**2** MAXIMUM LOT COVERAGE CALCULATION  
 1/16" = 1'-0"

AVG HT CLACULATIONS:	
MEASUREMENT 1	23'- 1 1/2"
MEASUREMENT 2	28'- 8 1/2"
MEASUREMENT 3	28'-8"
MEASUREMENT 4	31'-1 1/2"
MEASUREMENT 5	30'-5 1/2"
<b>TOTAL:</b>	<b>142'-1"</b>
<b>AVERAGE:</b>	<b>28'-5"</b>



**1** MAXIMUM BUILDING HEIGHT  
 1/4" = 1'-0"

HEWITT RESIDENCE

LOT 201A / 106 BENCHMARK DRIVE  
 MOUNTAIN VILLAGE, CO 81435

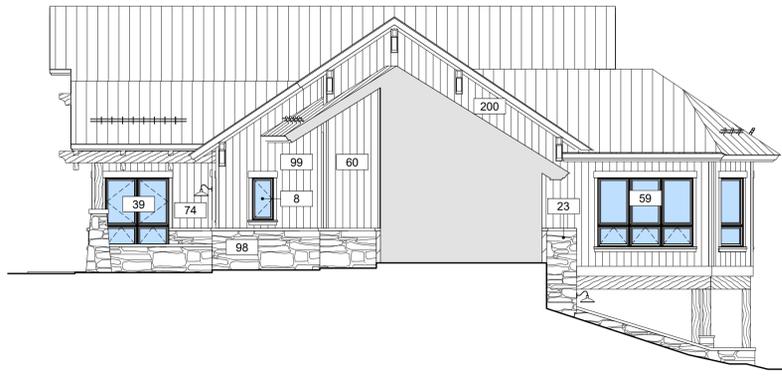
MAXIMUM BUILDING HEIGHT CALCULATIONS

SHEET NUMBER

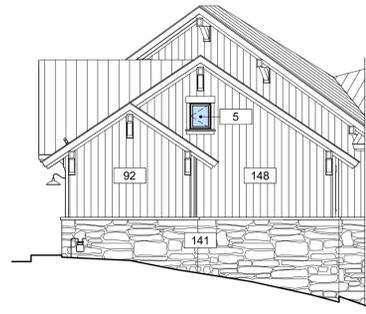
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NOT FOR CONSTRUCTION

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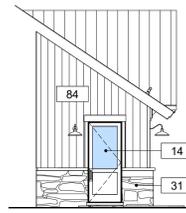
**1 EAST ENTRY**  
1/8" = 1'-0"



**2 EAST GARAGE**  
1/8" = 1'-0"



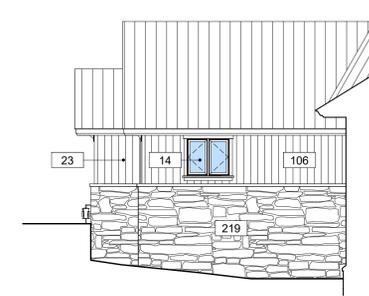
**3 WEST ELEVATION**  
1/8" = 1'-0"



**4 WEST GARAGE**  
1/8" = 1'-0"



**5 NORTH ELEVATION**  
1/8" = 1'-0"



**6 NORTH GARAGE**  
1/8" = 1'-0"



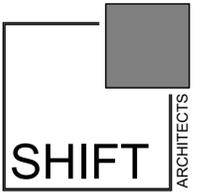
**7 SOUTH ELEVATION**  
1/8" = 1'-0"



**8 SOUTH GARAGE**  
1/8" = 1'-0"

**MATERIAL CALCULATIONS**

<b>NORTH</b>	
STONE	729 SF
WOOD SIDING	535 SF
WINDOWS/DOORS	606 SF
<b>SOUTH</b>	
STONE	396 SF
WOOD SIDING	644 SF
WINDOWS/DOORS	112 SF
<b>EAST ENTRY</b>	
STONE	121 SF
WOOD SIDING	433 SF
WINDOWS/DOORS	106 SF
<b>WEST</b>	
STONE	449 SF
WOOD SIDING	303 SF
WINDOWS/DOORS	226 SF
<b>NORTH GARAGE</b>	
STONE	219 SF
WOOD SIDING	129 SF
WINDOWS/DOORS	14 SF
<b>SOUTH GARAGE</b>	
STONE	42 SF
WOOD SIDING	152 SF
WINDOWS/DOORS	14 SF
<b>EAST GARAGE</b>	
STONE	141 SF
WOOD SIDING	240 SF
WINDOWS/DOORS	5 SF
<b>WEST GARAGE</b>	
STONE	31 SF
WOOD SIDING	84 SF
WINDOWS/DOORS	14 SF
<b>TOTALS</b>	
STONE	2,128 SF
WOOD SIDING	2,520 SF
WINDOWS/DOORS	1,097 SF
<b>TOTAL:</b>	<b>5,745 SF</b>
<b>PERCENTAGES</b>	
STONE	38 %
WOOD SIDING	44 %
WINDOWS/DOORS	18 %
<b>TOTAL:</b>	<b>100%</b>



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**PROJECT ISSUE DATE:**  
03.13.18 DRB RE-SUBMITTAL

**REVISION**

NO.	DATE	DESC.
2	03.13.18	Revised material calculation

HEWITT RESIDENCE

LOT 201A / 106 BENCHMARK DRIVE  
MOUNTAIN VILLAGE, CO 81435

MATERIAL CALCULATIONS

SHEET NUMBER

**A2.2**

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**HEWITT RESIDENCE**

LOT 201A / 106 BENCHMARK DRIVE  
 MOUNTAIN VILLAGE, CO 81435

FLOOR PLANS

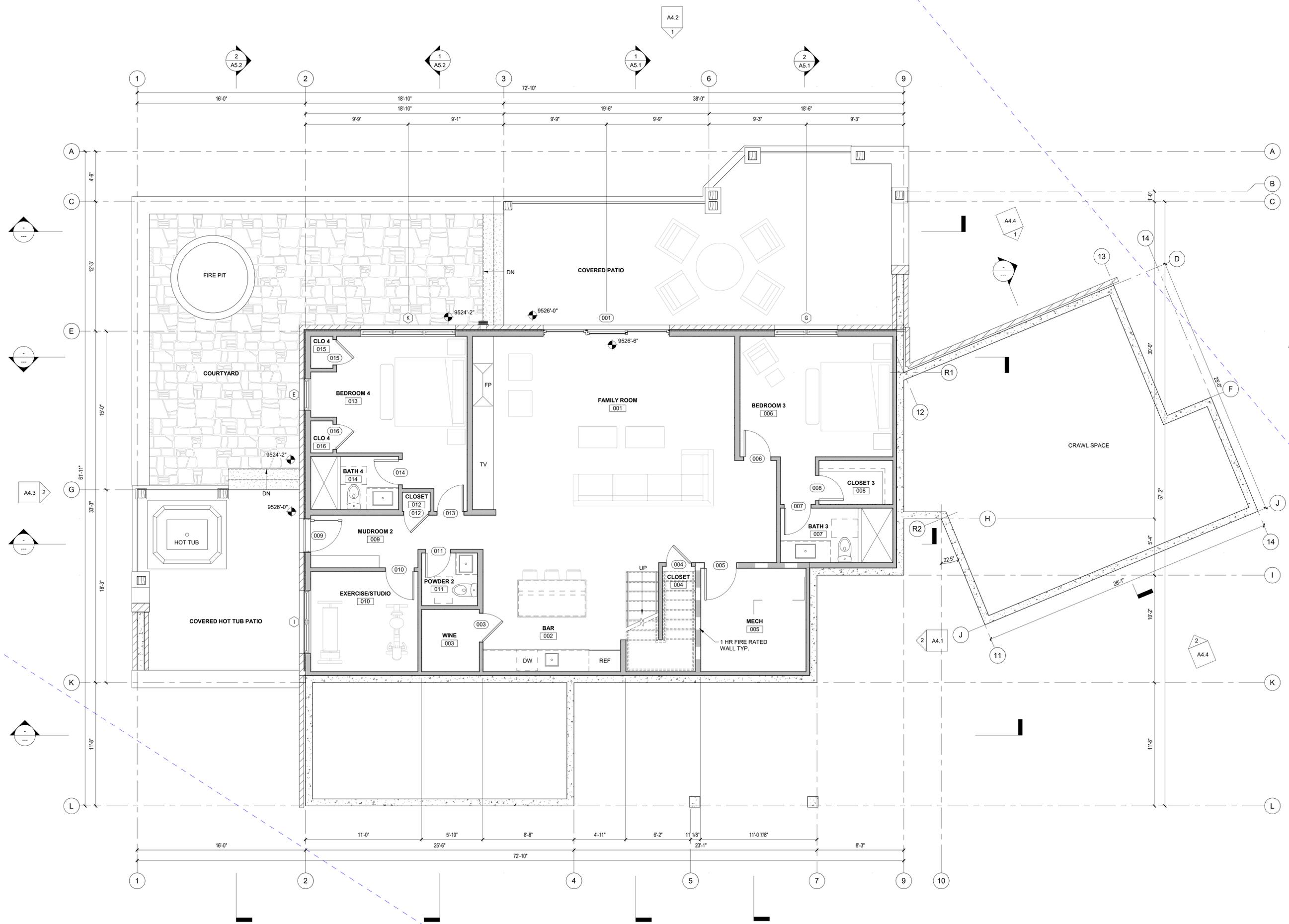
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**1 LOWER LEVEL**  
 1/4" = 1'-0"



A4.1

A4.1

A4.3

A4.4

A4.4

A4.4

A4.2

A5.2

A5.2

A5.1

A5.1

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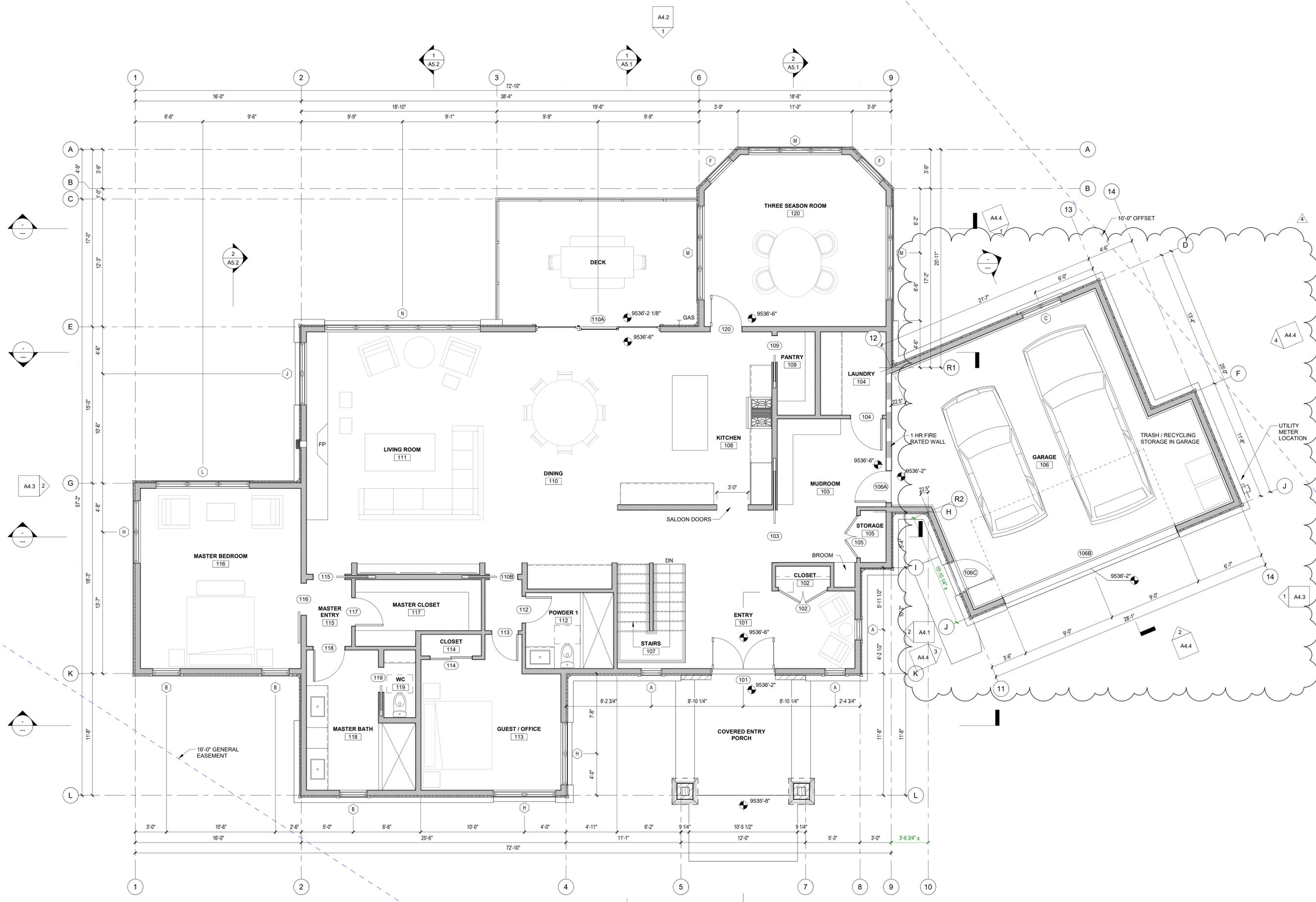
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**HEWITT RESIDENCE**

LOT 201A / 106 BENCHMARK DRIVE  
 MOUNTAIN VILLAGE, CO 81435

FLOOR PLANS

SHEET NUMBER

**1 GROUND LEVEL**  
 1/4" = 1'-0"

**A3.2**

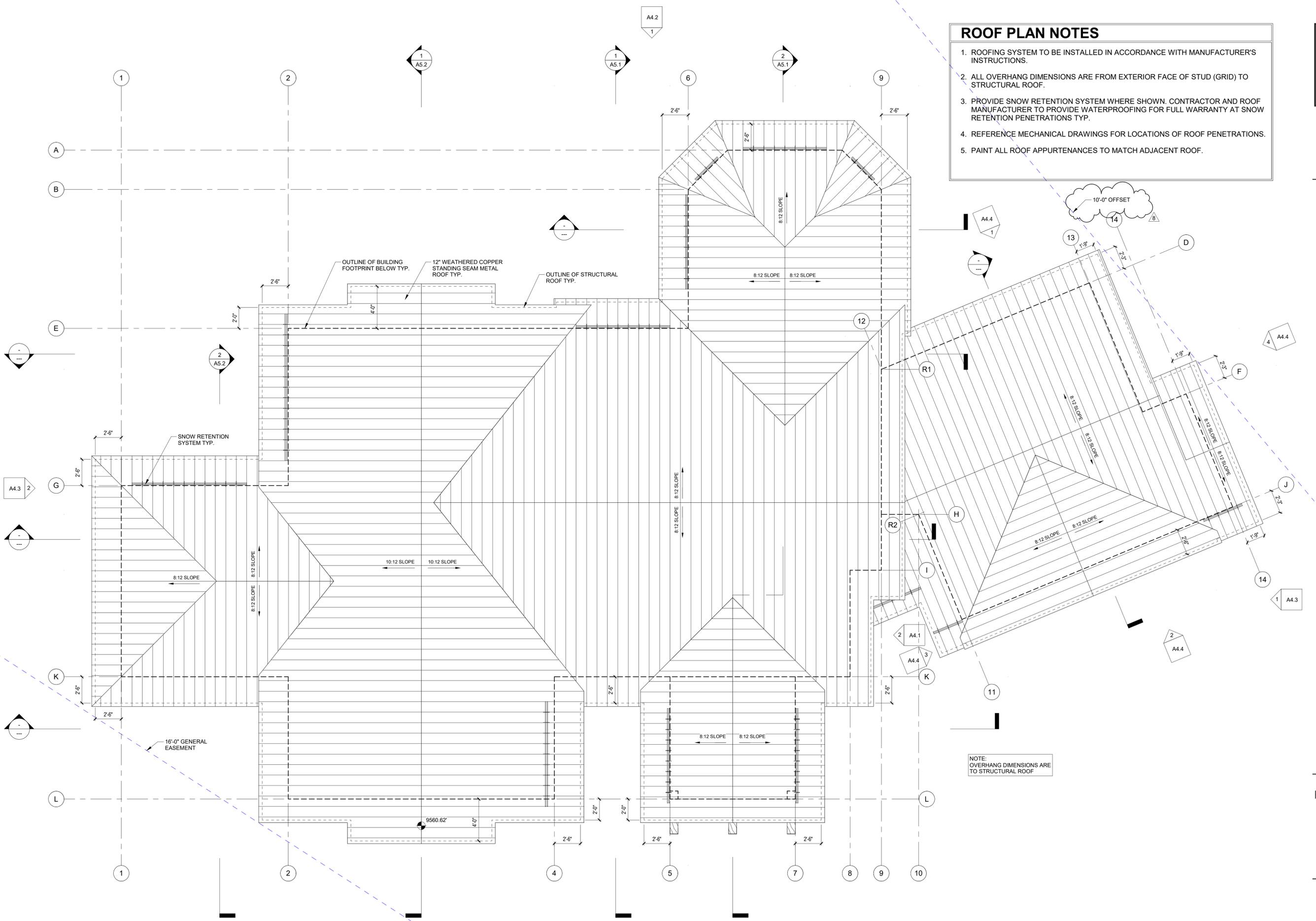
3/13/2018 4:00:57 PM

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**ROOF PLAN NOTES**

1. ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF STUD (GRID) TO STRUCTURAL ROOF.
3. PROVIDE SNOW RETENTION SYSTEM WHERE SHOWN. CONTRACTOR AND ROOF MANUFACTURER TO PROVIDE WATERPROOFING FOR FULL WARRANTY AT SNOW RETENTION PENETRATIONS TYP.
4. REFERENCE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF PENETRATIONS.
5. PAINT ALL ROOF APPURTENANCES TO MATCH ADJACENT ROOF.



NOTE:  
OVERHANG DIMENSIONS ARE  
TO STRUCTURAL ROOF

**HEWITT RESIDENCE**

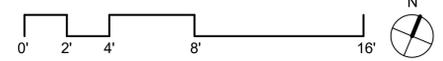
LOT 201A / 106 BENCHMARK DRIVE  
MOUNTAIN VILLAGE, CO 81435

ROOF PLAN

SHEET NUMBER

**A3.3**

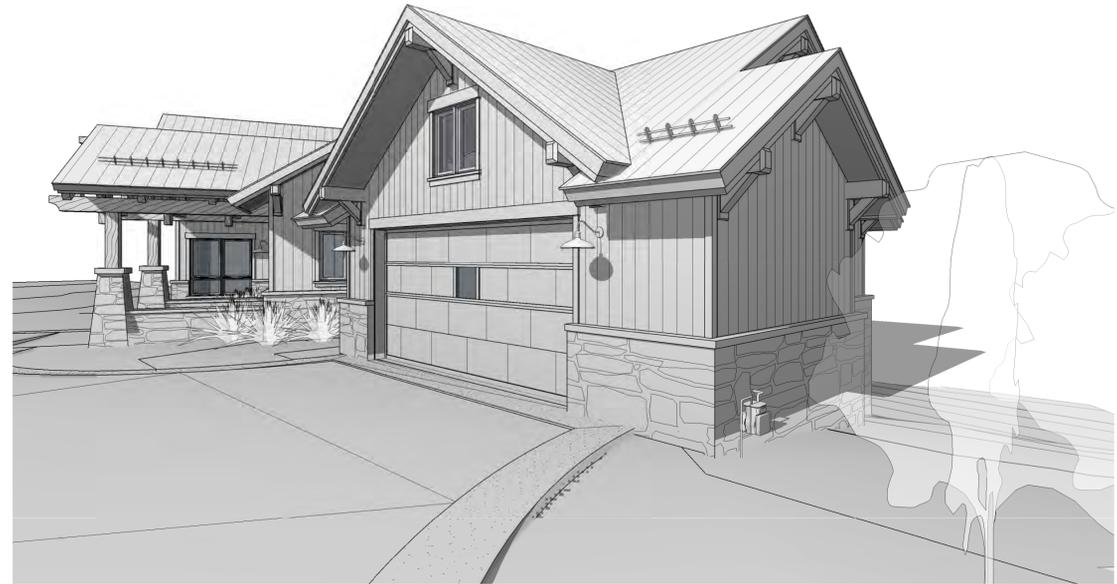
**1 ROOF PLAN**  
1/4" = 1'-0"



NOT FOR CONSTRUCTION



1 AXON AT ENTRY



2 SOUTHEAST AXON



3 NORTHWEST AXON



4 NORTHEAST AXON

HEWITT RESIDENCE

LOT 201A / 106 BENCHMARK DRIVE  
 MOUNTAIN VILLAGE, CO 81435

AXONS

SHEET NUMBER

**A4.0**

3/13/2018 4:01:14 PM

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TELLURIDE GOLD COLLECTION  
HIGHLANDS DETAIL  
FULL STONE VENEER



8" MONTANA TIMBER; TONGUE  
AND GROOVE; RANCHWOOD  
WESTERN WIRE BRUSHED



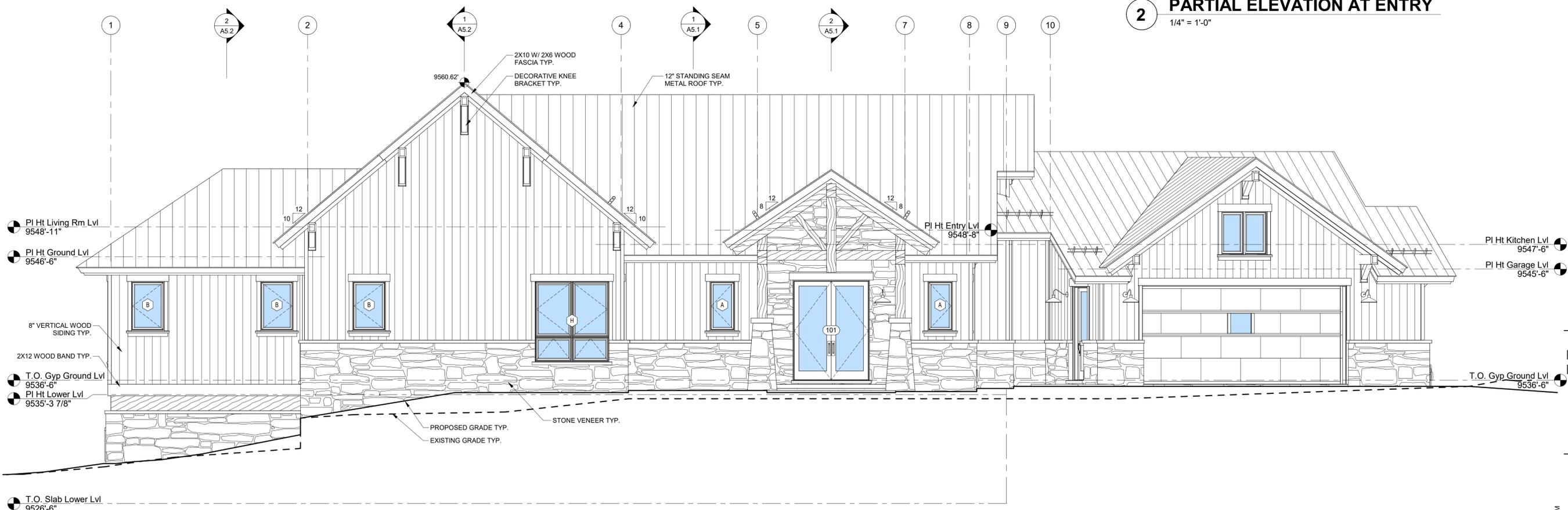
12" WEATHERED COPPER  
STANDING SEAM METAL ROOF



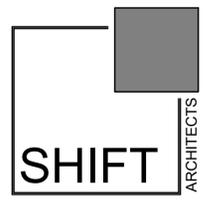
LOEWEN ALUMN CLAD WOOD  
CAPPUCCINO



**2 PARTIAL ELEVATION AT ENTRY**  
1/4" = 1'-0"



**1 SOUTH ELEVATION**  
1/4" = 1'-0"



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PROJECT ISSUE DATE:  
03.13.18 DRB RE-SUBMITTAL

REVISION  
NO. DATE DESC.

HEWITT RESIDENCE

LOT 201A / 106 BENCHMARK DRIVE  
MOUNTAIN VILLAGE, CO 81435

EXTERIOR  
ELEVATIONS

SHEET NUMBER

**A4.1**

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3/13/2018 4:01:16 PM



**HEWITT RESIDENCE**

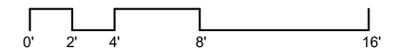
LOT 201A / 106 BENCHMARK DRIVE  
 MOUNTAIN VILLAGE, CO 81435

**EXTERIOR ELEVATIONS**

SHEET NUMBER

**A4.2**

**1 NORTH ELEVATION**  
 1/4" = 1'-0"



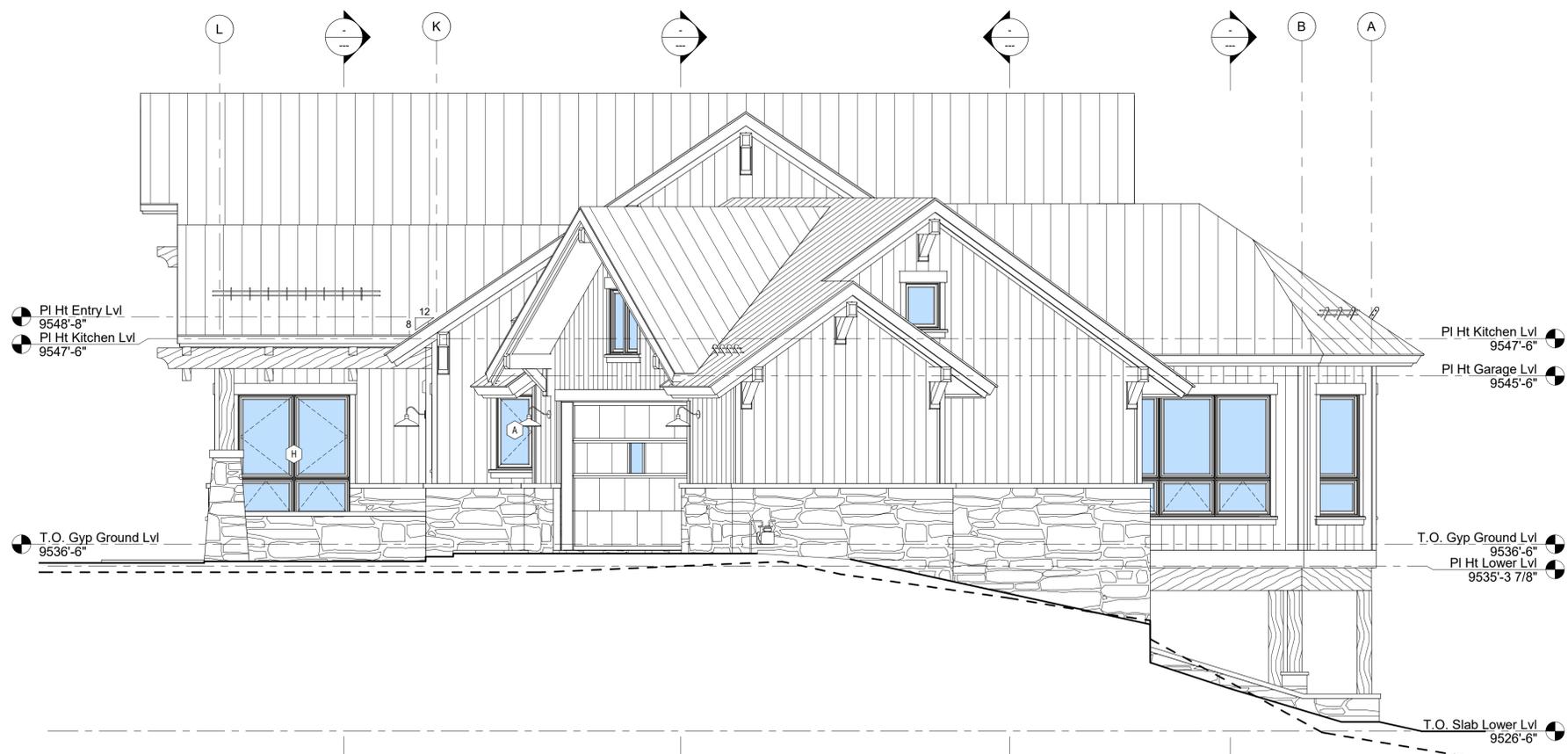
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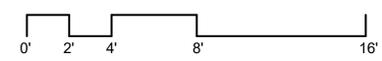
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**2 WEST ELEVATION**  
 1/4" = 1'-0"



**1 EAST ELEVATION**  
 1/4" = 1'-0"



**HEWITT RESIDENCE**

LOT 201A / 106 BENCHMARK DRIVE  
 MOUNTAIN VILLAGE, CO 81435

EXTERIOR ELEVATIONS

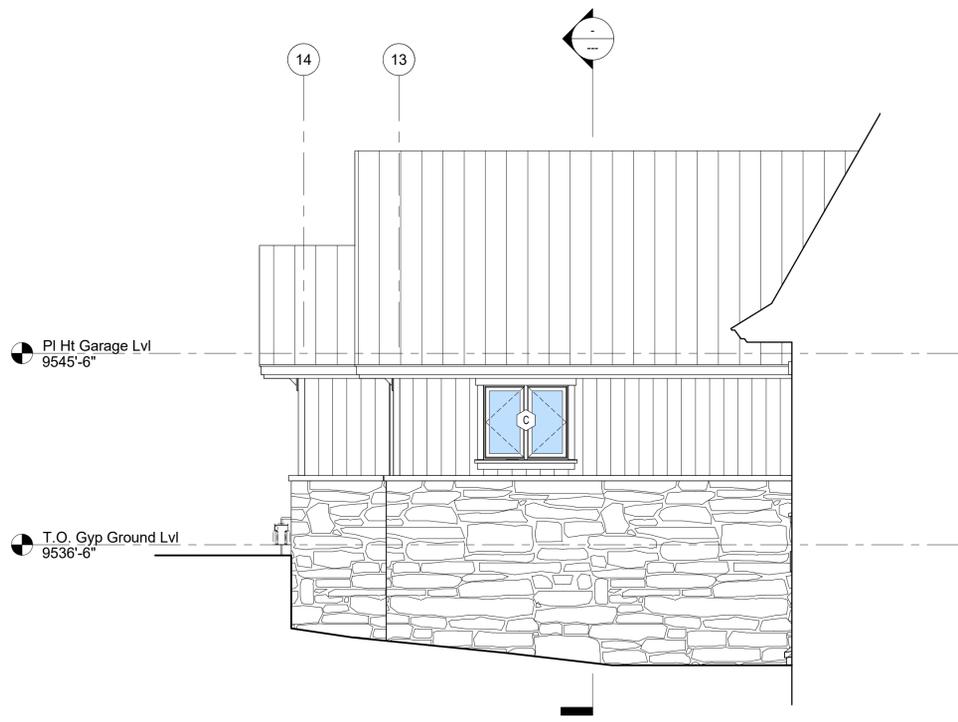
SHEET NUMBER

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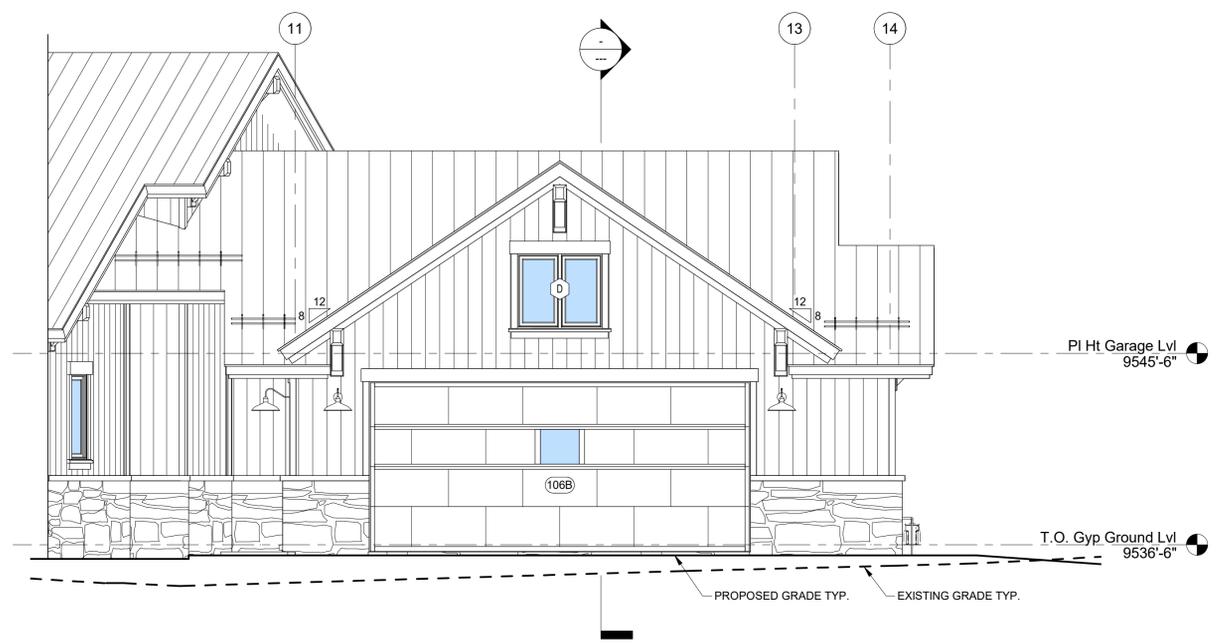
3/13/2018 4:01:20 PM

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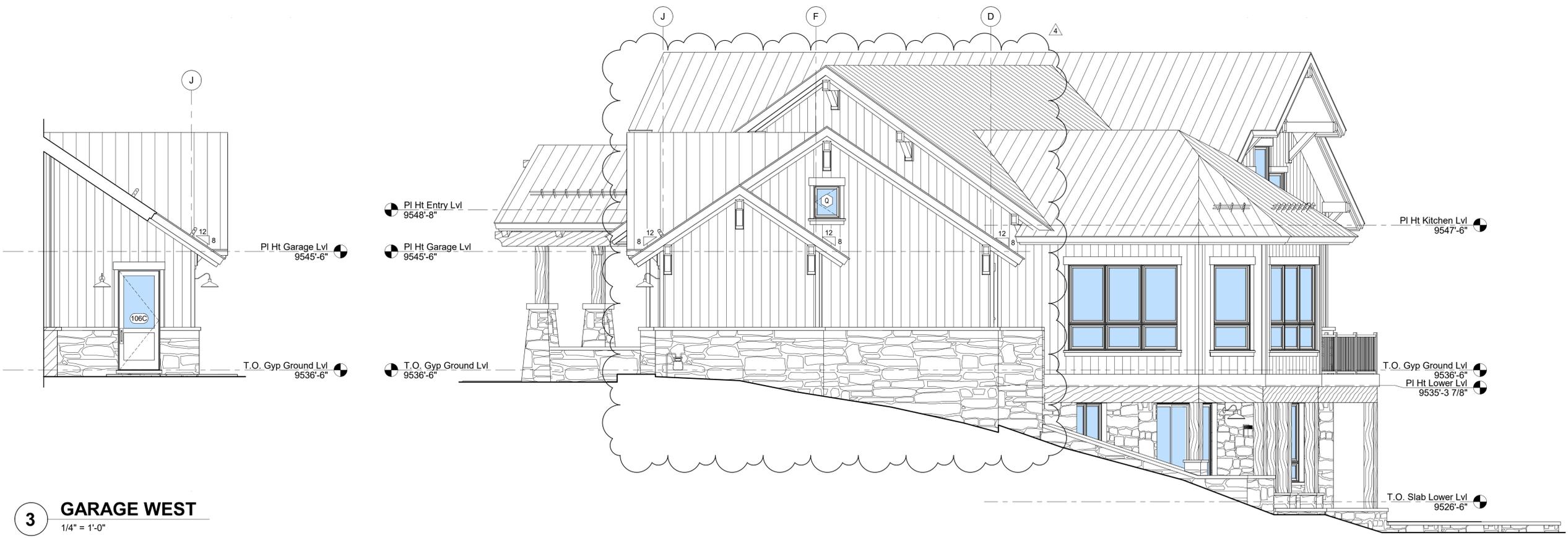
**NOT FOR CONSTRUCTION**



**1 GARAGE NORTH**  
 1/4" = 1'-0"

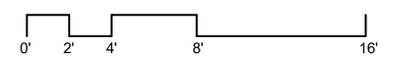


**2 GARAGE SOUTH**  
 1/4" = 1'-0"



**3 GARAGE WEST**  
 1/4" = 1'-0"

**4 GARAGE EAST**  
 1/4" = 1'-0"



HEWITT RESIDENCE

LOT 201A / 106 BENCHMARK DRIVE  
 MOUNTAIN VILLAGE, CO 81435

EXTERIOR  
 ELEVATIONS

SHEET NUMBER

**A4.4**

NOT FOR CONSTRUCTION



**FIXTURE A:**

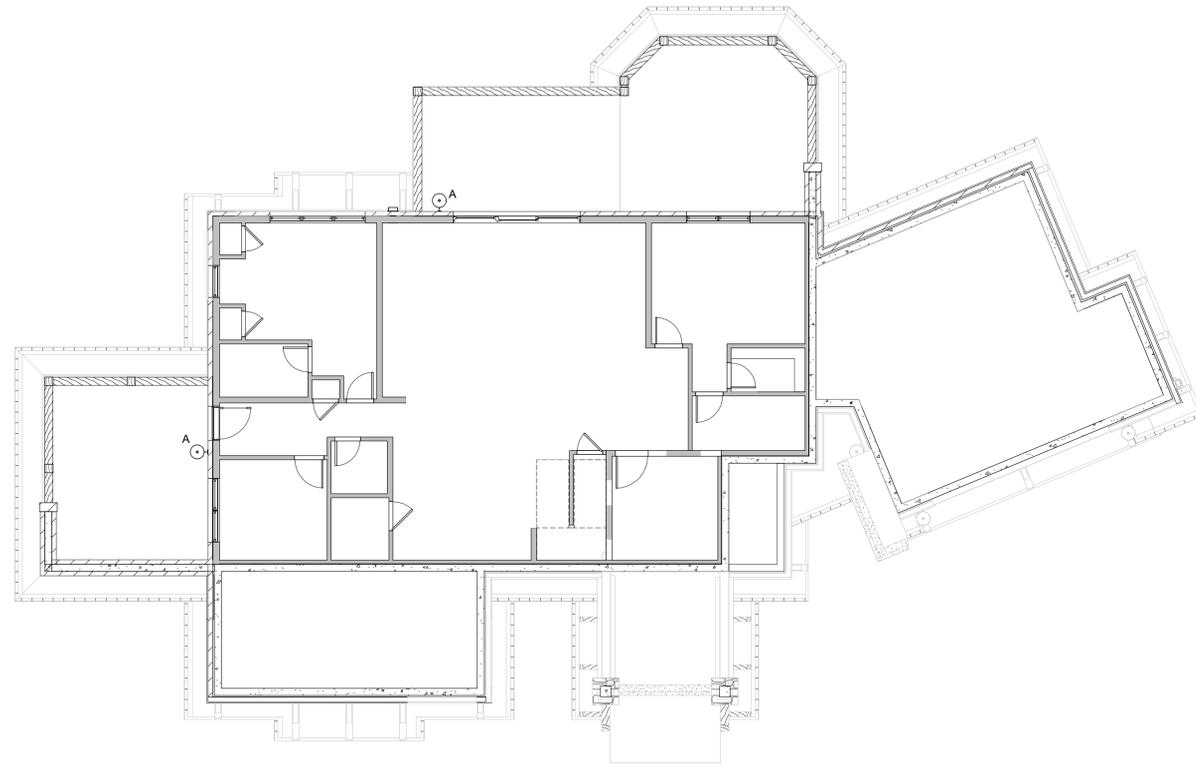
OUTDOOR WALL LIGHT

**RESTORATION HARDWARE "VINTAGE BARN OUTDOOR SCONCE"**

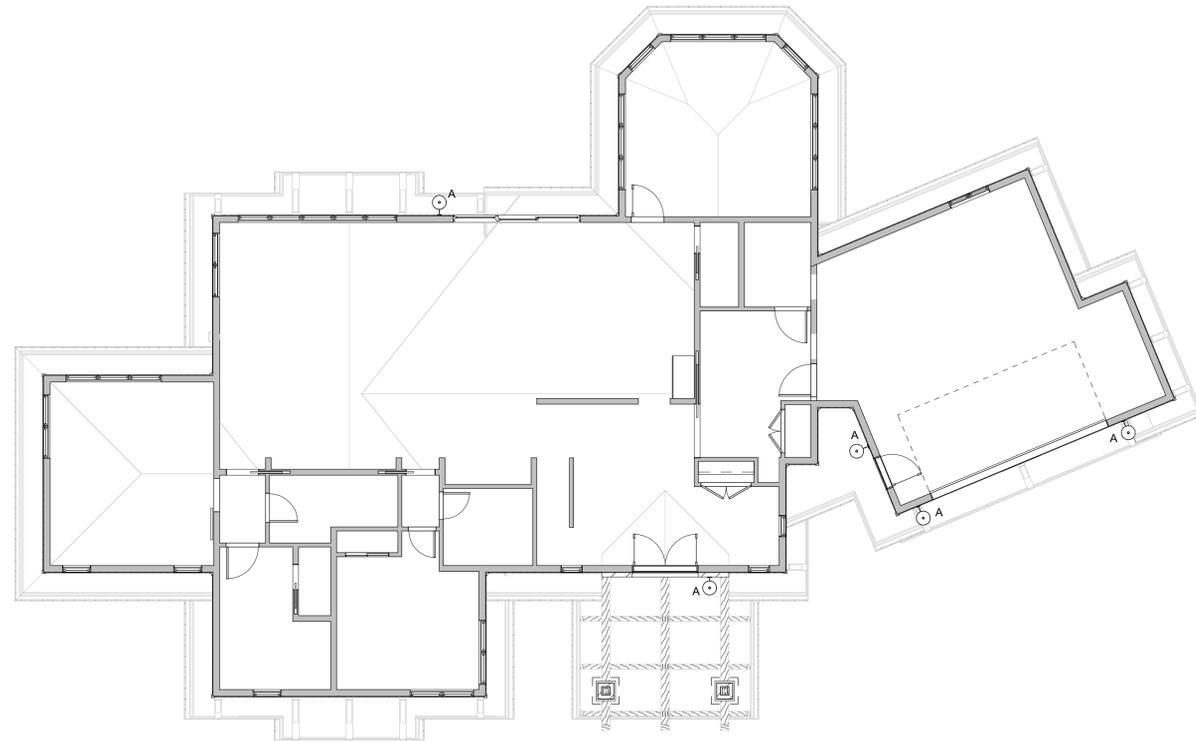
WEATHERED RUST	
WIDTH	14"
DEPTH	21 1/2"
HEIGHT	13 1/2"
MATERIAL	STEEL AND ALUMINUM
FINISH	WEATHERED RUST SHADE / CAP
WATTAGE	60w MAX
DIMMABLE	YES
CERTIFICATION	WET UL LISTED

PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.

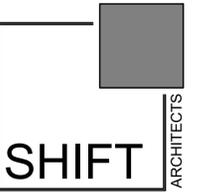
MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.



**1 LOWER LEVEL EXTERIOR LIGHTING PLAN**  
1/8" = 1'-0"



**2 GROUND LEVEL EXTERIOR LIGHTING PLAN**  
1/8" = 1'-0"



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REVISION  
NO. DATE DESC.

HEWITT RESIDENCE

LOT 201A / 106 BENCHMARK DRIVE  
MOUNTAIN VILLAGE, CO 81435

EXTERIOR LIGHTING  
PLANS

SHEET NUMBER

**LTG1.0**

3/13/2018 4:01:28 PM

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**PLANNING & DEVELOPMENT SERVICE**  
**PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

---

**DATE:** March 20, 2018  
**TO:** Design Review Board  
**FROM:** Sam Starr, Planner  
**FOR:** DRB Public Hearing on March 29, 2018  
**RE:** Consideration of a Design review application for CeDUR synthetic roofing, which requires a specific approval from the DRB, on Lot 601, Unit 3 Knoll Estates.

---

**PROJECT GEOGRAPHY**

**Legal Description:** Lot 601, Unit 3  
**Address:** 116 Eagle Drive  
**Applicant/Agent:** Paul Hoskinson  
**Owner:** Charles and Jean Davidow  
**Zoning:** Multi-Family  
**Existing Use:** Multi-Family

**ATTACHMENTS**

- Exhibit A: Narrative
- Exhibit B: Drawings and Images

**BACKGROUND**

The existing roofing on Lot 601 Unit 3 is cedar shake which is no longer allowed in Mountain Village. The applicant is proposing to replace the existing cedar shake with a CeDUR synthetic roofing that requires DRB review and approval. Accordingly, staff has elevated the request to the Board to consider a specific approval per CDC Section 17.5.6.C.3.e., which states:

- e. The following roofing materials may be approved by the DRB as a specific approval that is processed as a class 3 development application if the DRB finds the roofing material is consistent with the town design theme and the applicable Design Regulations:
- iii. Synthetic roofing material that accurately emulates wood shake, concrete and slate tile or any other roofing material permitted or existing in Mountain Village.

**17.5.4 TOWN DESIGN THEME**

- A.** The town design theme is directed at establishing a strong image and sense of place for the community within its mountain setting.
- B.** Mountain Village is located in a fragile, high-alpine environment that contains forests, streams, wetlands and mountainous topography. The natural physical features and setting of

the town shall inform the design of our buildings to promote harmony between people and nature that respects and blends with its surroundings and is integrated into the landscape.

**C.** Architecture and landscaping within the town shall be respectful and responsive to the tradition of alpine design and shall reflect sturdy building forms common to alpine regions.

**D.** Architectural expression shall be a blend of influences that visually tie the town to mountain buildings typically found in high alpine environments.

**E.** Architecture within the town will continue to evolve and create a unique mountain vernacular architecture that is influenced by international and regional historical alpine precedents. The Town encourages new compatible design interpretations that embrace nature, recall the past, interpret our current time, and move us into the future while respecting the design context of the neighborhood surrounding a site.

**F.** The key characteristics of the town design theme are:

1. Building siting that is sensitive to the building location, access, views, solar gain, tree preservation, and visual impacts to the existing design context of surrounding neighborhood development.
2. Massing that is simple in form and steps with the natural topography.
3. Grounded bases that are designed to withstand alpine snow conditions.
4. Structure that is expressive of its function to shelter from high snow loads.
5. Materials that are natural and sustainable in stone, wood, and metal.
6. Colors that blend with nature.

The Design Regulations set forth herein are intended to achieve these defining characteristics.

The CeDUR synthetic shake proposed by the applicant is a material that meets the design theme of the town, as the walden color blends with nature and emulate a natural material. The proposed material is not a radical departure from the existing roof; therefore, the new material will not change the architectural character of the home. There is also a CeDUR synthetic roof on Unit 5 of Lot 601, so there is sufficient precedent for this material in the neighborhood.

**STAFF RECOMMENDATION**

Staff recommends that the DRB approve the specific approval for CeDUR synthetic Roof at 116 Eagle Drive, Lot 601 Unit 3, as proposed with the following motion:

*"I move to approve the application by Charles and Jean Davidow for the use of synthetic roofing, with the findings contained in the staff memo presented at the March 29<sup>th</sup>, 2018 DRB meeting.*

**Chuck and Jeanne Davidow**

**116 Eagle Dr. Mountain Village, CO**

**Development Review Process Application**

**Responses to Items Not Marked N/A**

- 1. Application Form and Fee Acknowledgement Form:** Attached
- 2. Proof of Ownership:** Assessor's office tax report attached
- 3. Agency Letter:** Attached
- 7. Development Narrative:** The current cedar shake roof is in deteriorating condition. There are cracked, cupped and missing shingles over the entire roof, particularly on ridges and adjacent to valleys (see picture attached). The existing shingles are dried out and break when walked on. The current roof is a fire hazard and will be prone to leaks in the near future. It would be in the best interests of the Owner, the Town of Mountain Village and the Owners insurance company to replace the roof at this time rather than to spend money, on a recurring basis, to repair the existing roof. Because of this the Homeowner requests approval to re-roof the current residence with CeDUR synthetic shake shingles.

The residence will be re-roofed using the following procedures:

- Remove current cedar shake shingles, underlayment and metal and haul away.
- Inspect decking to determine if any needs to be replaced. If so, replace.
- Install Carlisle WIP 300 HT (high temperature) ice and water shield over entire roof surface with 2 layers in all valleys.
- Install powder coated steel headwall sidewall and drip edge flashing at all intersections of roof and exterior walls. Color- CMG dark bronze
- Install powder coated steel valley metal in all valleys- open valley installation. Color- CMG dark bronze.
- Install ridge vents on all major ridges.
- Install CeDUR shake starter, hip and ridge and field shingles using galvanized RS 1 3/4" nails using straight across pattern. Color- Walden
- Install snow retention above all traffic areas. The Owner has reviewed the areas where people and property could be damaged from falling snow and has designed a snow retention plan to protect those areas. The front entrance of the home is not used in the winter. Therefore no snow clips will be installed in this area. Color Statuary Bronze **Plan attached.**
- Replace existing pipe jack boots. Paint all boots and furnace vents to blend with the color of the new roof shingles.

- Fully clean up the jobsite after completion of work.
- The Project will be fully permitted by the Mountain Village building department. All work will be performed in accordance with the all applicable building codes.

Re-roofing of the residence with CeDUR shingles will comply with the desires of the Town of Mountain Village to eliminate the fire hazard associated with the cedar shake shingles currently in place on the subject roof. The CeDUR shingles re-roofing will result in a Class A fire rating for the roofing system as well as a Class IV hail rating (the best possible). The use of CeDUR shingles in the Walden color is the same as the immediately adjacent home located at 115 Eagle Drive- picture attached. The CMG dark bronze for flashing metal will emulate the color of copper after patina. The statuary bronze color for the snow clips will also emulate the color of copper after patina and is the same color as used at 115 Eagle Drive.

**8H. Existing Improvements:** See photographs attached showing building, driveway, roadway and site improvements. There are no drainage systems, trails, sidewalks, lite poles. There is a fence on the lower side of the property, below the tennis court (not shown). This fence will not be impacted by the re-roofing process.

**9G. Construction Mitigation Plan:**

- i. Construction disturbances will include noise associated with the re-roofing process, including the sound of compressors and nail guns.
- ii. No crane will be used.
- iii. No trees will be removed.
- iv. No trees will be disturbed
- v. No construction fencing will be used. Landscaping will not be disturbed to any significant degree. Minor debris will be removed from landscaping on a daily basis. Debris will be loaded into a truck to be located in the driveway.
- vi. Materials will be roof loaded. Only minor amounts of materials will be located in the driveway during construction.
- vii. Haul off truck will be parked in the driveway. One construction pick-up truck will be parked in the driveway or on the roadside adjacent to the home.
- viii. No port-a-toilet will be on site
- ix. There will be no construction trailer
- x. There will be no need for erosion control as no disturbance of the ground will occur.
- xi. Haul off truck will be parked in the driveway and removed from the site once tear-off of the existing roof is complete.
- xii. There will be no food waste left onsite overnight.

**9H. Materials Board:** Will be available at the time of the DRB review.

**12. Design Variation** The existing cedar shake roof will be re-roofed using CeDUR synthetic shake shingles. The color will be Walden



Broken, missing ridge cap

Cracked, cupped shingles


**TRA SNOW & SUN**  
 1657 South 580 East American Fork, UT, 84003  
 Ph: 801.756.8666 | Fax: 801.756.7891 | [trawindowsandsun.com](http://trawindowsandsun.com)

REV#	DATE	DESCRIPTION
00	1/9/18	RELEASED FOR ESTIMATION
01	2/16/18	REVISED PER CUSTOMER
02	2/20/18	REVISED PER CUSTOMER


**STAMP**  
 2/20/2018

116 EAGLE DR  
 MOUNTAIN VILLAGE, CO  
 DRAWN BY: JC  
 APPROVED: CHKD

**SR1.0**  
 SHEET 1 OF 2  
 February 20, 2018

**PLAN LEGEND**

	CLAMP ON SNOW FENCE
	SNOW BRACKET
	EXPANSION JOINT
	SNOW FENCE DECK MOUNT

**SNOW RETENTION NOTES**

BRACKET TYPE:	APEX D
BRACKETS/SQ:	SEE PLANS
EST. NO. ROOFING SQ:	SEE PLANS
DECK SHEATHING:	3/8 PLY
FENCE TYPE:	N/A
MOUNT SPACING:	N/A
MATL COLOR:	COPPER
ROOFING MATL:	SMULATED SLATE
SPACING/WIDTH:	10" VERT
RIB HEIGHT:	N/A
ROOF SLOPES:	3:12, 4:12, 12:12
GROUND SNOW LOAD:	120 PSF

**PROJECT NOTES**

- ALL APEX D SNOW BRACKET FENCE COURSES TO BE INSTALLED 10' FROM EAVE OR ROOF PITCH CHANGE UNDO.

**KEY NOTES**

SR1: APEX D SNOW BRACKET (SEE DETAIL 2-5 / SR2.0)

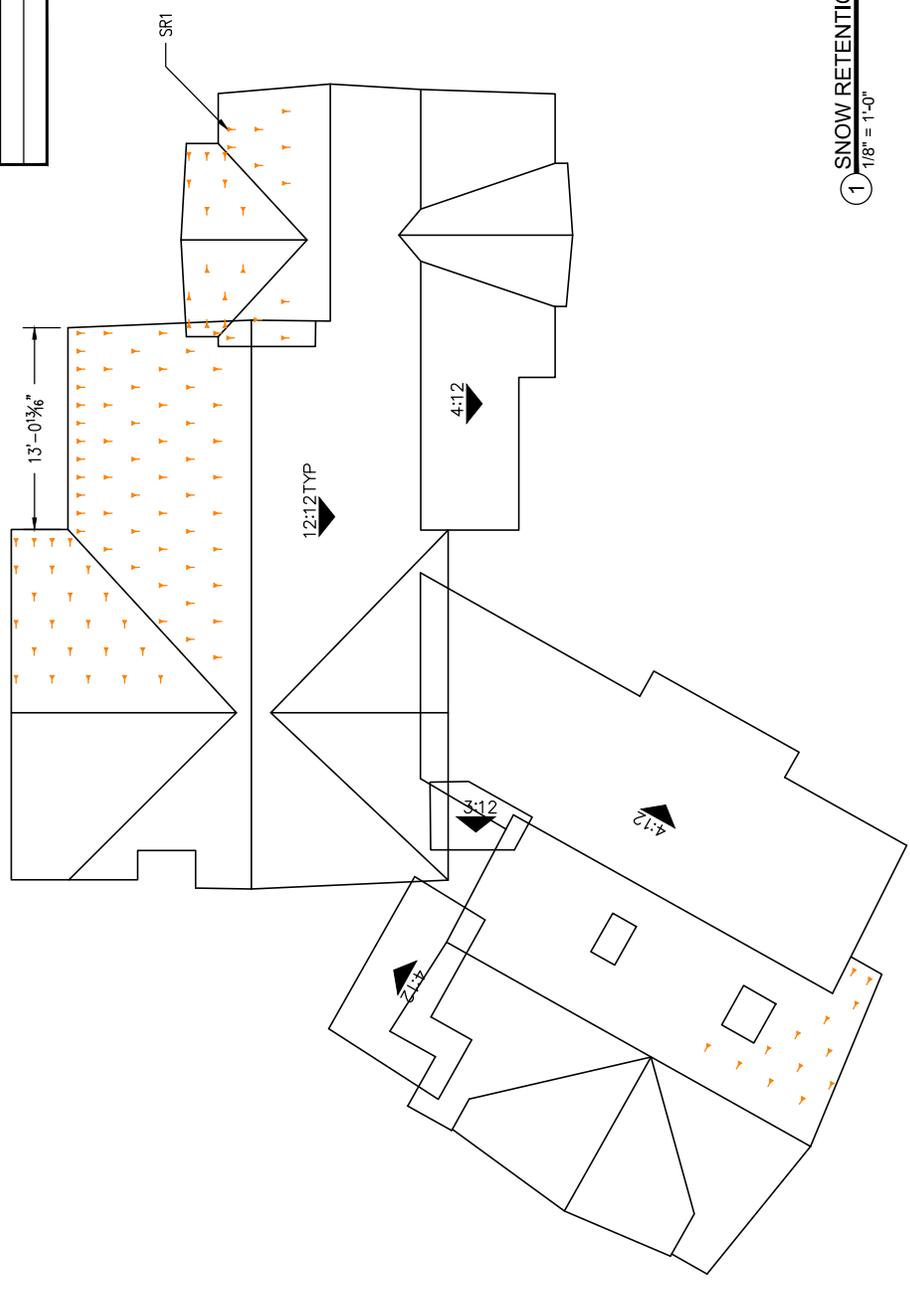
**GENERAL NOTES**

- Snow Bracket / Snow Fence layout has been engineered for this specific roof application. Any deviation from the prescribed layout will void the product or system warranty.
- Install Snow Brackets / Snow Fence per specifications and details provided by TRA Snow and Sun. Installer is responsible for the correct installation of all snow retention system components.
- Installer shall check existing job site conditions and dimensions prior to installation. Installer shall report any discrepancies or conflicts to TRA Snow and Sun prior to commencing work.
- Drawings and quotes are based upon information provided by the customer to TRA Snow and Sun. TRA Snow and Sun is not liable for any information that is found to be incorrect or false.
- Any snow bracket quantity shown is for estimating purposes only and is based on the calculated number of snow brackets per roofing square. Installer is responsible to verify proper snow bracket quantity based on actual number of roofing squares.

DISCLAIMER: These drawings are the property of TRA Snow and Sun and any reuse or further distribution thereof in part or in whole without the express written consent of TRA Snow and Sun is prohibited. Drawings are not an exhibit of engineer.

**SNOW RETENTION PART SCHEDULE**

PART / DESC	QTY
APEX D SNOW BRACKET	121



**1 SNOW RETENTION PLAN**  
 1/8" = 1'-0"

REV#	DATE	DESCRIPTION
00	1/9/18	RELEASED FOR ESTIMATION
01	2/16/18	REVISED PER CUSTOMER
02	2/20/18	REVISED PER CUSTOMER


**STAMP**  
 2/20/2018

116 EAGLE DR  
 MOUNTAIN VILLAGE, CO

DRAWN BY: JC  
 APPROVED: CHKD

**SR2.0**  
 SHEET 2 OF 2  
 February 20, 2018

**PLAN LEGEND**

	CLAMP ON SNOW FENCE
	SNOW BRACKET
	EXPANSION JOINT
	SNOW FENCE DECK MOUNT

**SNOW RETENTION NOTES**

BRACKET TYPE:	APEX D
BRACKETS/SQ:	SEE PLANS
EST. NO. ROOFING SQ:	SEE PLANS
DECK SHEATHING:	3/8 PLY
FENCE TYPE:	N/A
MOUNT SPACING:	N/A
MATL COLOR:	COPPER
ROOFING MATL:	SIMULATED SLATE
SPACING/WIDTH:	10" VERT
RIB HEIGHT:	N/A
ROOF SLOPES:	3:12, 4:12, 12:12
GROUND SNOW LOAD:	120 PSF

**PROJECT NOTES**

1. ALL APEX D SNOW BRACKET EAVE COURSES TO BE INSTALLED 10" FROM EAVE OR ROOF PITCH CHANGE UNDO.

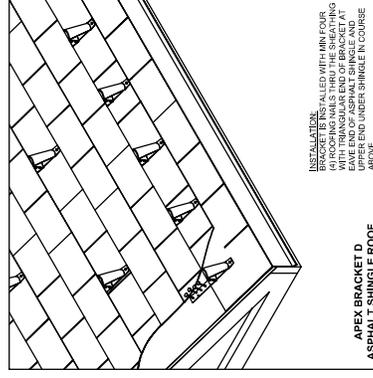
**KEY NOTES**

SR1: APEX D SNOW BRACKET (SEE DETAIL 2-5 / SR2.0)

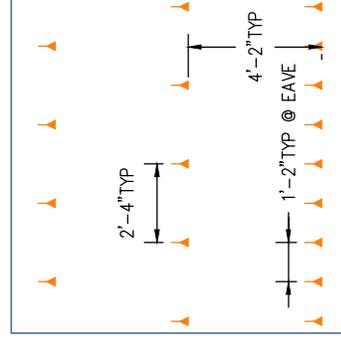
**GENERAL NOTES**

- Snow Bracket / Snow Fence layout has been engineered for this specific roof application. Any deviation from the prescribed layout will void the product or system warranty.
- Install Snow Brackets / Snow Fence per specifications and details provided by TRA Snow and Sun. Installer is responsible for the correct installation of all snow retention system components.
- Installer shall check existing job site conditions and dimensions prior to installation. Installer shall report any discrepancies or conflicts to TRA Snow and Sun prior to commencing work.
- Drawings and quotes are based upon information provided by the customer to TRA Snow and Sun. TRA Snow and Sun is not liable for any information that is found to be incorrect or false.
- Any snow bracket quantity shown is for estimating purposes only and is based on the calculated number of snow brackets per roofing square. Installer is responsible to verify proper snow bracket quantity based on actual number of roofing squares.

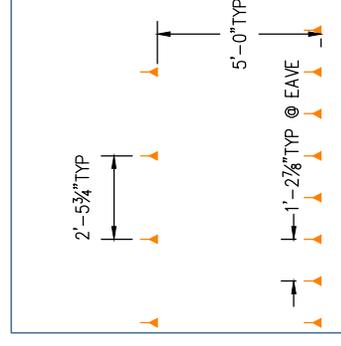
DISCLAIMER: These drawings are the property of TRA Snow and Sun and any reuse or further distribution thereof in part or in whole without the express written consent of TRA Snow and Sun is prohibited. Drafter is not an architect or engineer.



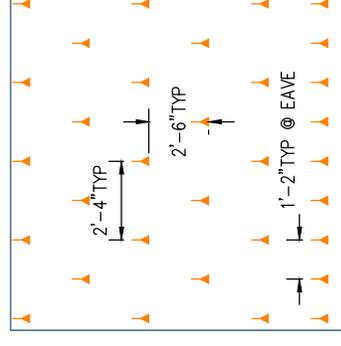
2 **APEX D SNOW BRACKET INSTALL DETAIL**  
 NO SCALE



4 **APEX D SNOW BRACKET LAYOUT DETAIL**  
 10:3 BPS 4:12 SLOPE  
 1/4" = 1'-0"



3 **APEX D SNOW BRACKET LAYOUT DETAIL**  
 8:1 BPS 3:12 SLOPE  
 1/4" = 1'-0"



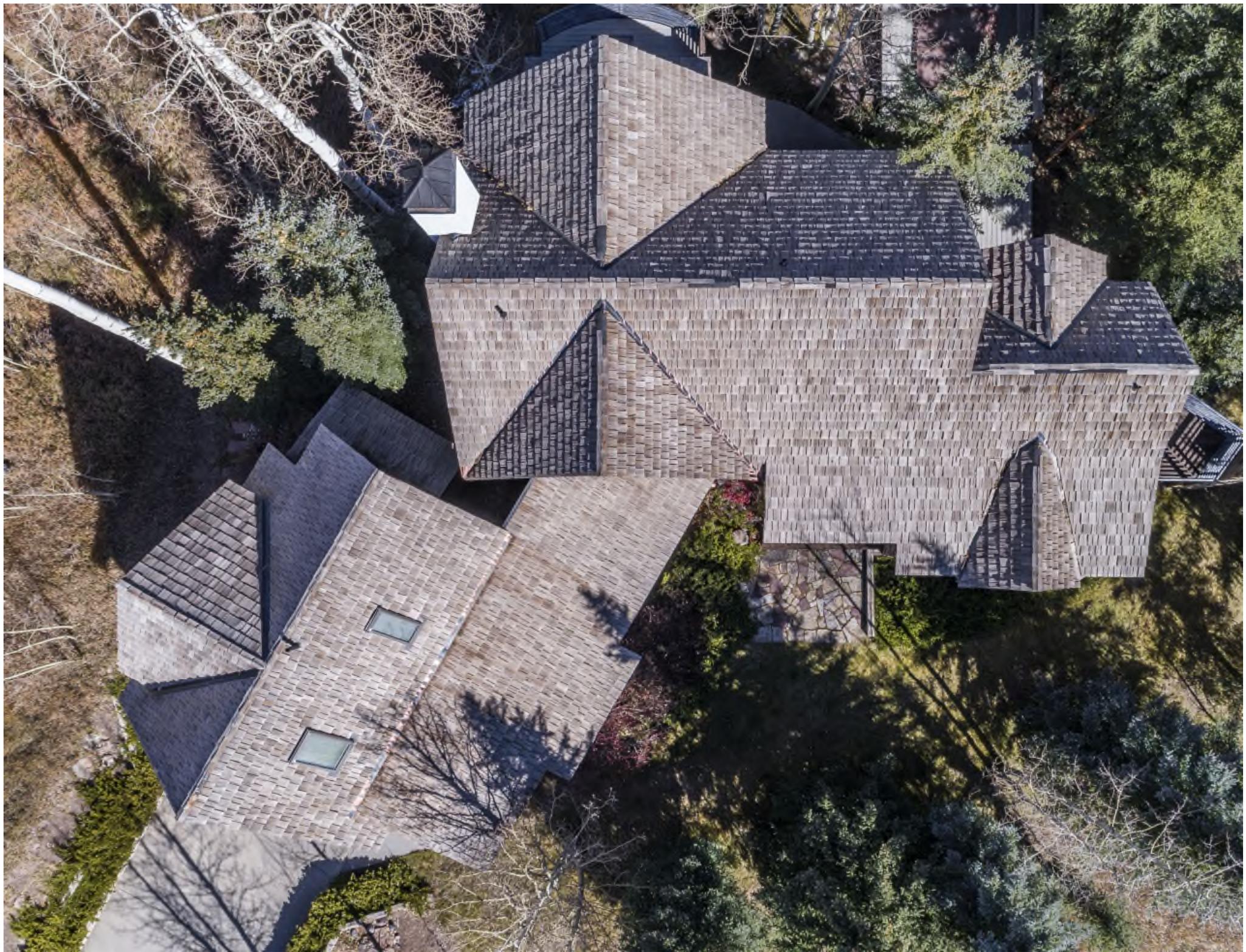
5 **APEX D SNOW BRACKET LAYOUT DETAIL**  
 17:1 BPS 12:12 SLOPE  
 1/4" = 1'-0"













115 Eagle Dr Before Re-Roof

115 Eagle Drive after re-roof





**PLANNING & DEVELOPMENT SERVICES**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

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**TO:** Design Review Board  
**FROM:** Dave Bangert, Senior Planner/Town Forester  
**FOR:** DRB Meeting on March 29, 2018  
**DATE:** March 19, 2018  
**RE:** Consideration of a Design Review Application for a new retaining wall into the northern General Easement on Lot 657R.

---

**APPLICATION OVERVIEW:**

The purpose and intent of this memo is to have the Design Review Board review and evaluate the proposed new retaining wall that extends into the General Easement (GE) on Lot 657R.

**PROJECT GEOGRAPHY**

**Legal Description:** Lot 657R, Telluride Mountain Village  
**Address:** 139 AJ Drive  
**Applicant/Agent:** Truline Architects  
**Owner:** David and Becky Roche  
**Zoning:** Single Family  
**Existing Use:** Single Family  
**Lot Area:** 0.686 acres

**Adjacent Land Uses:**

- **North:** Open Space
- **South:** Single Family
- **East:** Single Family
- **West:** Single Family

**ATTACHMENTS**

- Exhibit A: Narrative
- Exhibit B: Plan set

**BACKGROUND**

The owner's representative, Truline Architects, has submitted a Design Review application in accordance with the Community Development Code (CDC). The applicant is proposing a new boulder retaining wall in the northern General Easement and a gravel service pathway in the western GE as part of a Staff/Chair application to remodel parts of the interior, add an additional 300 square feet of livable space and new outdoor patio area with fire pavilion. Staff concludes that the proposed new encroachments will not adversely affect any surrounding properties. The Public Works Department has no issues with the additional encroachments into the GE and has no future plans to use these GE's.

**ANALYSIS OF RELEVANT CODE SECTIONS**

**17.3.14 General Easement Setbacks**

C. All general easement setbacks or other setbacks shall be maintained in a natural, undisturbed state to provide buffering to surrounding land uses and to maintain the ability to conduct any of the general easement allowed uses.

D. All above- and below-grade structures or structural components (soil nailing, etc.), earth disturbance, or ground level site development such as walks, hardscape, terraces and patios shall be located outside of the general easement setback or other setbacks on each lot within the allowable building area of a lot.

E. The following development activities are permitted in the general easement setback or other setbacks subject to the applicable review process and Design Regulations:

1. Review authority approved accessways for direct access, including driveways, walkways, and ski trails and ski lifts for ski area access.
  - a. Accessway impacts to the general easement shall be minimized to the extent practical, such as a perpendicular crossing of the easement setback area.
  - b. Accessways shall not exceed the minimum Town standards for construction, such as the minimum width.
2. Utilities;
  - a. To the extent practical, all utilities shall follow a driveway alignment.
3. Address monuments;
4. Natural landscaping without any man-made materials or hardscape;
5. Fire mitigation and forestry management without substantial earthwork;
6. Construction staging provided:
  - a. The area proposed for such staging is devoid of naturally occurring trees or other naturally occurring vegetation; or
  - b. The DRB is approving disturbance in the general easement for another proposed improvement such as a driveway, utility cut, or skier access, and the area can be used for staging until the approved improvement is constructed; and
7. Other uses as provided for in the definition of general easement.

F. The DRB may waive the general easement setback or other setbacks and allow for prohibited activities provided:

1. The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot;
2. The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams;
3. No unreasonable negative impacts result to the surrounding properties;
4. The general easement setback or other setback will be revegetated and landscaped in a natural state;
5. The Public Works Department has approved the permanent above-grade and below-grade improvements;
6. The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town; and
7. Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts.

**STAFF ANALYSIS**

The applicant is proposing a new retaining wall that will encroach into the northern General Easement. Staff feels these encroachments will not cause any negative impacts to surrounding properties. The Public Works Department found no issue with the proposed GE encroachment.

**STAFF RECOMMENDATION**

Staff recommends approval the General Easement encroachment proposed by the applicant, Truline Architects, on Lot 657R with the following motion:

*“I move to approve the application by Truline Architects to add a retaining wall into the northern General Easement and a gravel service pathway in the western GE with a new General Easement encroachment agreement, with a new Improvement Location Certificate, between the owners of Lot 657R and the Town of Mountain Village”.*



March, 2018 updated

Town of Mountain Village  
Michelle Haynes, MPA  
Planning and Development Services Director  
455 Mtn. Village Blvd. Suite A  
Mountain Village, CO 81435  
970-369-8250

Subj: Design Narrative – 139 AJ Drive  
Lot 657R –Mtn. Village  
Mtn. Village, Colorado  
Cc/Mr. Dave Bangert cc: DRB members

Dear Michelle and Dave,

On behalf of the Roche's at 139 AJ Drive we are submitting a Class 2 or 3 application for the remodel and exterior landscape project. The existing home from 2003 was purchased by the Roche's in the past few years, and they now want to improve their landscape. Enclosed in our application is a very extensive set of drawings describing our design intent. Please note we are not attempting to change any of the exteriors or rooflines on this existing home. However the current outdoor yard space facing North does not function well for our clients. So our focus is primarily outdoor uses and spaces. To summarize the project application here is a quick bullet list of items to review:

1. Outdoor landscape and patio facing north. [Hidden from public view] and facing the golf course just North of Hole 15
2. Remodel existing entertainment room below the garage- add proper lighting
3. Add small powder/bathroom to existing entertainment room- small addition with shed roof
4. Add an exterior staircase down to the patio from the existing entry bridge – add connectivity from the garage and main level of the home
5. Add an exterior deck at the master (small) and not noticeable – new with shed roof from above
6. Add hot tub and related patio outside the new remodeled entertainment room
7. Add Fire Pavilion free standing structure on the West of the lot open space- low level design with respect to the neighbor on the SW side, includes seating and a small outdoor gas fireplace
8. Add a 6 light bollards on the existing driveway for safety – small design that matches the main address monument
9. Add 2 Bevelo gas lamps on the lower stone wall – completely hidden from public view
10. Add exterior lighting per the new AE Design drawings

11. The service pathway with small step lights is intended to be gravel only for people to service the yard and hot tub. The lighting at this location would be nice for extra guests who arrive and park in the cul-de-sac.
12. In the new fire pavilion building (free-standing) we are proposing L1 led linear lights for the drink niches' in the stone walls. We also would like to create L1 lighting along the SE side of the main ridge beam so that light is low level and safe in the night.
13. The new patio facing North is to be heated entirely with internal drains as drawn by David Ballode PE. This is late coming information and new drawings on the patio will be presented at the DRB hearing with new calculations.

Please note that the drawings are very complete with intent and show as-builts vs. the new construction. Please reference all plans including AE Design lighting plans (overlaid on TruL plans), and lighting cut sheets.

Thank you for your time,  
Luke Trujillo AIA  
Principal Architect – TruLinea Architects Inc.  
[www.TruLinea.com](http://www.TruLinea.com)  
Cell: (970) 708-1445

# Roche Landscape Design

Lot 657R, 139 AJ Drive  
Town of Mountain Village,  
Colorado 81435

## GENERAL NOTES

- A. THE AIA DOCUMENT 201 "GENERAL CONDITIONS OF THE CONTRACT FROM CONSTRUCTION" LATEST EDITION, ARE HEREBY MADE A PART IF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT
- B. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATION, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THROUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY
- C. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES
- D. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENT.
- E. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTOR SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DENY WORK IN PROGRESS
- F. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.
- G. WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE UNIFORM BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- I. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE. DIMENSIONAL ERRORS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- J. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
- K. CONTRACTOR WILL ASSUME RESPONSIBILITY OF THE ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
- L. CONTRACTOR WILL ASSUME RESPONSIBILITY FOR STONE MASONRY SUBCONTRACTOR'S TAKE-OFFS.
- M. SEE SPECIFICATIONS FOR DOOR, WINDOW, AND FINISH SCHEDULES.
- N. SEE SPECIFICATIONS FOR EXTERIOR FINISH MATERIALS AND COLORS.
- O. ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCH DRAWINGS. NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION
- P. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCLUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF WORK SHALL REMOVE HIS/HER TRASH DEBRIS.
- Q. FIRE SPRINKLER SYSTEM (WHEN APPLICABLE) SHOULD BE PROVIDED THROUGHOUT THE BUILDING BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE DRAWINGS AND OBTAINING THE PERMITS FOR THE REQUIRED SYSTEM. THE FIRE SPRINKLER SYSTEM SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES.
- R. ALL WELDING AND METAL WORK TO BE REVIEWED BY THE ARCHITECT. ANY INTERIOR WELDS OR METAL WORK THAT IS NOT ACCEPTED WILL BE RE-WORKED ACCORDING TO THE ARCHITECT DIRECTION. CALL THE ARCHITECT TO INSPECT DESIGN LOCATED ANYWHERE WITHIN THE SCOPE OF THE WORK.

## PROJECT DIRECTORY:

OWNER:	David & Becky Roche
ARCHITECT:	TRULINEA ARCHITECT INC. LUKE TRUJILLO AIA 113 LOST CREEK LANE, SUITE B MOUNTAIN VILLAGE, CO 81435 www.Truline.com EMAIL: truline@gmail.com
INTERIOR DESIGNER:	Susan Kindard Austin, Texas EMAIL: susankindard@gmail.com
CONTRACTOR:	Ken Watt P.O. BOX 874 NORWOOD, CO 81423 970.729.0090 EMAIL: ken@trifectalinc.net
STRUCTURAL & MECHANICAL ENGINEER:	RESOURCE ENGINEERING GROUP DODSON HARPER 502 WHITEROCK AVE, SUITE 102 PO BOX 3725 CRESTED BUTTE, CO 81224 970.349.1216 EMAIL: dodson@reginc.com
CIVIL ENGINEER:	UNCOMPAGHRE ENGINEERING, LLC DAVID BALLODE 113 LOST CREEK LANE, SUITE D MOUNTAIN VILLAGE, CO 81435 PO BOX 3945 TELLURIDE, CO 81435 970.729.0683 EMAIL: dbalode@msn.com
LIGHTING DESIGNER:	ARCHITECTURAL ENGINEERING DESIGN GROUP STEPHANIE KALTZ, MELINA MOSER & BRYAN JASS 1900 WAZEE STREET #350 DENVER, CO 80202 303.296.3034 EMAIL: skaltz@aedesign-inc.com
LANDSCAPE ARCHITECT:	TBD TBD ADDRESS TOWN, STATE ZIP WEBSITE EMAIL:



## CODE SUMMARY

### OVERVIEW

CODE REVIEW: 2012 I.R.C.  
OCCUPANCY GROUP: R3  
CONSTRUCTION TYPE: V-N  
DESCRIPTION: 2 STORY RESIDENCE WITH BASMENT

### LAND USE SUMMARY

LEGAL DESCRIPTION: LOT 657R MOUNTAIN VILLAGE, CO  
ZONING: RESIDENTIAL  
USE: SINGLE FAMILY RESIDENCE

### NEW LIVEABLE AREA SUMMARY

BASEMENT: 0 SF  
MAIN: 300 SF  
UPPER: 0 SF  
TOTAL: 300 SF

GARAGE: 0 SF  
TOTAL ENCLOSED: 0 SF

### SETBACKS

16' GENERAL EASEMENT AT ALL PROPERTY LINES

MAXIMUM HEIGHT  
ALLOWED: 35'  
PROPOSED: LOWER THAN EXISTING STRUCTURE

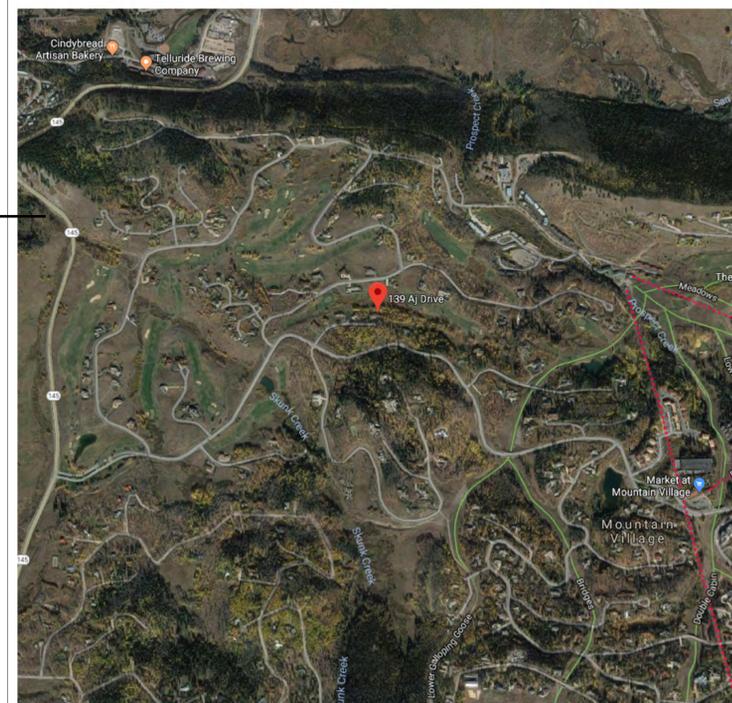
AVERAGE HEIGHT  
ALLOWED: 30'  
PROPOSED: LOWER THAN EXISTING STRUCTURE

### SITE COVERAGE

LOT 657R SIZE: 29,893 SF or .686 ACRES  
SITE COVERAGE  
ALLOWED: 40%  
PROPOSED: 11,520 SF or 38.5%  
HEATED: 1,250 SF

PARKING REQUIRED:  
2 ENCLOSED  
2 SURFACE

## PROJECT LOCATION



## PROJECT NOTES

#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.03.07
6	EXT LGHT REVISION	18.03.15

Project number	Roche
Print Date	3/15/2018 6:16:20 PM
Modeled by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

2018.03.15
A001
Cover Sheet

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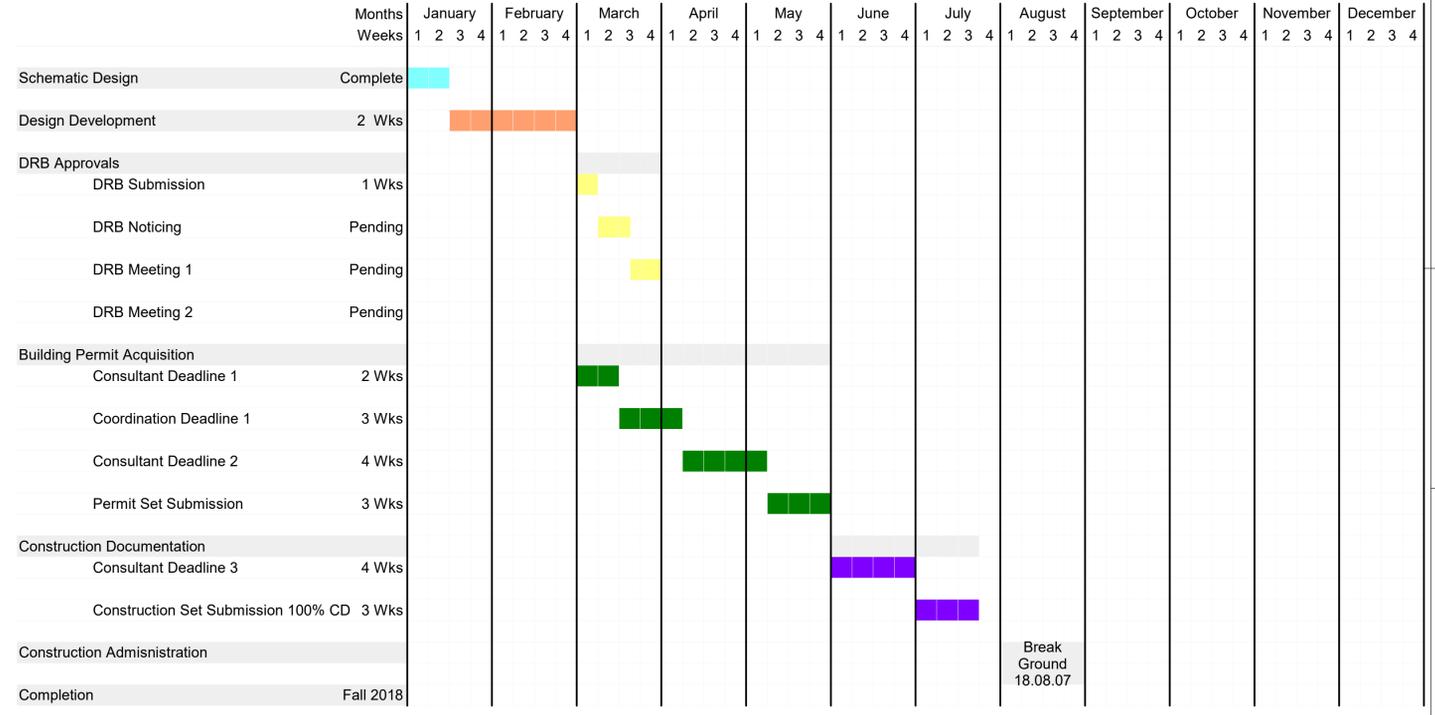
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Abbreviations					
AB	ANCHOR BOLT	HBD	HARDBOARD	SYST	SYSTEM
AC	AIR CONDITIONING	HDR	HEADER	T	TREAD (IN PLAN)
ACCT	ACCENT	HDWR	HARDWARE	T	TEMPERED (ON WINDOW)
ACQUST	ACOUSTICAL	HM	HOLLOW METAL	TB	TACK BOARD
ADA	AMERICANS WITH DISABILITIES ACT	HORZ/H	HORIZONTAL	TBB	TILE BACKER BOARD
ADJ	ADJUSTABLE	HPC	HIGH PERFORMANCE COATING	TBD	TO BE DETERMINED
ADJT	ADJACENT	HRU	HEATING ROOFTOP UNIT	T&B	TOP & BOTTOM
AFF	ABOVE FINISH FLOOR	HT/H	HEIGHT	TC	TOP OF CURB
ALUM	ALUMINUM	HTR	HEATER	T&G	TONGUE & GROOVE
ALT	ALTERNATE	HVAC	HEATING, VENTING & AIR CONDITIONING	TEL	TELEPHONE
APC	ACRYLIC PLASTER CEILING SYSTEM	IBC	INTERNATIONAL BUILDING CODE	TEMP	TEMPERED
APPROX	APPROXIMATE	ID	ISIDE DIAMETER	THK	THICKNESS
ARCH	ARCHITECT/ARCHITECTURAL	INDIC	INDICATOR	THLD	THRESHOLD
ASPH	ASPHALT	INSUL	INSULATION	T.O.	TOP OF
AUTO	AUTOMATIC	INT	INTERIOR	T.O. B	TOP OF BEAM
AWI	AMERICAN WOODWORKING INST.	JAN	JANITOR	T.O. C	TOP OF CONCRETE
BBF	STANDARD (2X) SMALL DRAWERS OVER FILE DRAWER	JT	JOINT	T.O. F	TOP OF FLR/FOOTING
BD	BOARD	JST	JOIST	T.O. M	TOP OF MASONRY
BITUM	BITUMINOUS	KD	KNOCK DOWN	T.O. S	TOP OF SLAB
BLDG	BUILDING	KIT	KITCHEN	T.O. STL	TOP OF STEEL
BLK	BLOCK	LAM	LAMINATE	TS	TUBE STEEL
BLKG	BLOCKING	LAV	LAVATORY	TV	TELEVISION
BM	BENCH MARK	LF	LINEAR FOOT	TYP	TYPICAL
BM	BEAM	LIN	LINOLEUM	TYPE 'X'	FIRE RATED GYPSUM BOARD
BO	BY OWNER	LT	LIGHT	UBC	UNIFORM BUILDING CODE
B.O.	BOTTOM OF	MAT.	MATERIAL	UL	UNDERWRRIERS LABRATORY
BRG	BEARING	MANUF	MANUFACTURE	UNFIN	UNFINISHED
BSMT	BASEMENT	MAX	MAXIMUM	UON	UNLESS OTHERWISE NOTED
CAB	CABINET	MB	MARKER BOARD	VAR	VARIABLES
CBB	CEMENTITIOUS BACKER BOARD	MD	METAL DECK	VER/V	VERTICAL
CFA	COMPUTER FLOOR AREA	MDF	MEDIUM DENSITY FIBERBOARD	VEST	VESTIBULE
CHNLS	CHANNELS	MECH	MECHANICAL	VIF	VERIFY IN FIELD
CJ	CONTROL JOINT	MH	MANHOLE	W	WASHER (IN PLAN)
CL	CENTER LINE	MISC	MISCELLANEOUS	W	WIRE GLASS (ON WILDOW)
CLG	CEILING	MIN	MINIMUM	W/	WITH
CLR	CLEAR	MIR	MIRROR	WC	WATER CLOSET
CMT	CERAMIC MOSAIC TILE	MO	MASONRY OPENING	WD	WOOD
CMT-B	CERAMIC MOSAIC TILE BASE	MTD	MOUNTED	WDW	WINDOW
CMU	CONCRETE MASONRY UNIT	MTG	MEETING	WF	WIDE FLANGE
COL	COLUMN	MTL	METAL	WH	WATER HEATER
CONC	CONCRETE	(N)	NEW	WI	WROUGHT IRON
CONT	CONTINUOUS	N	NORTH	W/O	WITHOUT
CONSTR	CONSTRUCTION	NA	NOT APPLICABLE	WP	WATERPROOF
COORD	COORDINATE	NAT	NATATORIUM	WR	WATER RESISTANT
CPT	CARPET	NIC	NOT IN CONTRACT	WT	WEIGHT
CSI	CONSTRUCTION SPECIFICATIONS INSTITUTE	NTS	NOT TO SCALE	WWF	WELDED WIRE FABRIC
CTP	CERAMIC TILE PAVERS	NO.	NUMBER	∅	CENTER LINE
CUH	CABINET UNIT HEATER	NOM	NOMINAL	<	ANGLE
CWT	CERAMIC WALL TILE	NON-COM	NON-COMBUSTIBLE	∩	CHANNEL
D	DRYER (IN PLAN)	OC	ON CENTER	∅ or *	DIAMETER
DBL	DOUBLE	OD	OUTSIDE DIAMETER	∅	DIAMETER
DEMO	DEMOLISH, DEMOLITION	OFC/OFF	OFFICE	∅	DIAMETER
DEPT	DEPARTMENT	OH	OVER HEAD	∅	DIAMETER
DF	DRINKING FOUNTAIN	OPG	OPENING	∅	DIAMETER
DIA	DIAMETER	OPP	OPPOSITE	∅	DIAMETER
DIM.	DIMENSION	OV	OVER	∅	DIAMETER
DISP	DISPENSER	PC	PRECAST CONCRETE	∅	DIAMETER
DN	DOWN	PCV	POLYVINYL CHLORIDE	∅	DIAMETER
DR	DOOR	PL	PROPERTY LINE	∅	DIAMETER
DS	DOWN SPOUT	PL	PLATE	∅	DIAMETER
DTL	DETAIL	PLG	PLUMBING	∅	DIAMETER
DW	DISHWASHER	PLAM	PLASTIC LAMINATE	∅	DIAMETER
DWG	DRAWING	PLYWD	PLYWOOD	∅	DIAMETER
(E)	EXISTING	PNL	PANEL	∅	DIAMETER
EA	EACH	PR	PAIR	∅	DIAMETER
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	PREFAB	PREFABRICATED	∅	DIAMETER
EJ	EXPANSION JOINT	POR	PORCELAIN TILE	∅	DIAMETER
ELEV/EL	ELEVATION	PT	PAINT	∅	DIAMETER
ELEC	ELECTRICAL	PTN	PARTITION	∅	DIAMETER
ENCL	ENCLOSURE	QT	QUARRY TILE	∅	DIAMETER
ENGR	ENGINEERED	R	RISER	∅	DIAMETER
EPF	EPOXY POURED FLOOR	RAD	RADIUS	∅	DIAMETER
EQ	EQUAL	RB	RACQUETBALL	∅	DIAMETER
EQUIP	EQUIPMENT	RB	RUBBER BASE	∅	DIAMETER
EQUIV	EQUIVALENT	RCP	REFLECTED CEILING PLAN	∅	DIAMETER
EX	EXPOSED	RD	ROOF DRAIN	∅	DIAMETER
EXH	EXHAUST	RE:	REFER/REFERENCE	∅	DIAMETER
EXP	EXPANSION	RE:	REFER/REFERENCE	∅	DIAMETER
EXP-JT	EXPANSION JOINT	REF	REFRIGERATOR	∅	DIAMETER
EXT	EXTERIOR	REINF	REINFORCED	∅	DIAMETER
EW	EACH WAY	REQ	REQUIRED	∅	DIAMETER
EWC	ELECTRIC WATER COOLER	RESIL	RESILIENT	∅	DIAMETER
FBGL	FIBERGLASS	REV	REVISION	∅	DIAMETER
FD	FLOOR DRAIN	RFG	ROOFING	∅	DIAMETER
FDN	FOUNDATION	RM	ROOM	∅	DIAMETER
FE	FIRE EXTINGUISHER	R-NOSING	RUBBER STAIR NOSING	∅	DIAMETER
FEC	FIRE EXTINGUISHER CABINET	RO	ROUGH OPENING	∅	DIAMETER
FF	FINIFH FLOOR	ROW	RIGHT OF WAY	∅	DIAMETER
FF&E	FURNITURE, FIXTURES & EQUIPMENT	RTFS	RUN TRACK FLR SYSTEM	∅	DIAMETER
FG	FINISH GRADE	RTU	ROOF TOP UNIT	∅	DIAMETER
FHC	FIRE HOSE CABINET	SAT	SUSPENDED ACOUSTICAL TILE	∅	DIAMETER
FIN	FINISH(ED)	SC	SOLID CORE	∅	DIAMETER
FIN-FLR	FINISH FLOOR	SCHED	SCHEDULE	∅	DIAMETER
FIXT	FIXTURE	S-CONC	SEALED CONCRETE	∅	DIAMETER
FLD	FIELD	SEAL	SEALER CONCRETE	∅	DIAMETER
FLR	FLOOR	SECT	SECTION	∅	DIAMETER
FLRG	FLOORING	SF	SQUARE FOOT/FEET	∅	DIAMETER
FO	FACE OF	SHT	SHEET	∅	DIAMETER
FOS	FACE OF STUD	SHWR	SHOWER	∅	DIAMETER
FR	FIRE RESISTIVE	SIM	SIMILAR	∅	DIAMETER
FR	FRAME	SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTOR NATIONAL ASSOCIATION	∅	DIAMETER
FRMG	FRAMING	SPEC	SPECIFICATIONS	∅	DIAMETER
FRP	FIBER REINFORCED PANEL	SPRL	SPANDREL	∅	DIAMETER
FT	FOOT/FEET	SQ	SQUARE	∅	DIAMETER
FTG	FOOTING	SS	SOLID SURFACE	∅	DIAMETER
FURN	FURNITURE	S-STL	STAINLESS STEEL	∅	DIAMETER
FUT	FUTURE	ST	STAIN	∅	DIAMETER
GA	GAUGE	STA	STATION	∅	DIAMETER
GAL	GALVANIZED	STC	SOUND TRANSMISSION CLASS	∅	DIAMETER
GC	GENERAL CONTRACTOR	STD	STANDARD	∅	DIAMETER
GHM	GALVANIZED HOLLOW METAL	STHG	SHEATHING	∅	DIAMETER
GL	GLASS	STL	STEEL	∅	DIAMETER
GLU LAM	GLUE LAMINATED WOOD	SUPPL	SUPPLIED	∅	DIAMETER
GMGU	GLASS MESH GYPSUM UNIT	SUSP	SUSPENDED	∅	DIAMETER
GR	GRADE	STOR	STORAGE	∅	DIAMETER
GYP D/GWB	GYPSUM BOARD	STR	STRINGER	∅	DIAMETER
HB	HOSE BIB	STRL	STRUCTURAL	∅	DIAMETER
HC	HOLLOW CORE	STRUCT	STRUCTURE, STRUCTURAL	∅	DIAMETER
HC	HANDICAP, HANDICAPPED	SYM	SYMMETRICAL	∅	DIAMETER

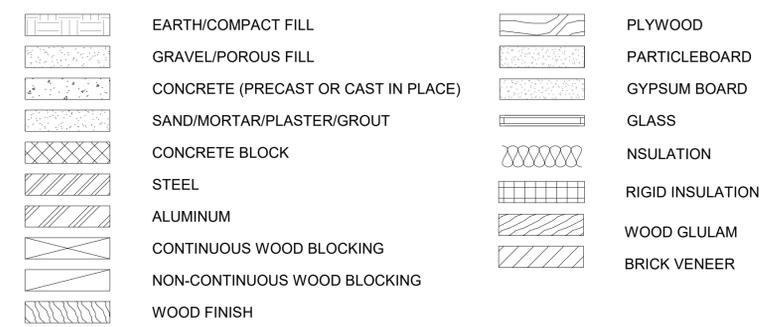
Schedule

Design, Documentation & Bid Schedule

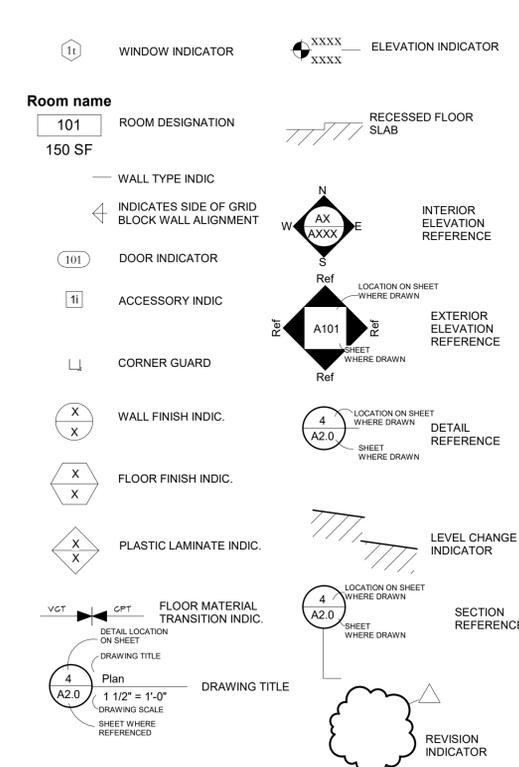
\* All dates listed below are intended for estimation perpose only.



Material Legend



Symbol Legend



PROJECT NARRATIVE:

ALL NEW LANDSCAPE DESIGN FACING NW AND NE. INCLUDES NEW FIREPLACE OUTDOOR COVERED PAVILION. THE LOWER ROOM BELOW THE GARAGE IS TO BE COMPLETELY REMODELED AND ADDED ONTO FOR ENTERTAINMENT. A HOT TUB AND ASSOCIATED PATIO SPACE WILL ACCOMPANY THIS PROJECT. GRADING IN THE GE IS REQUIRED TO ALLOW AN OUTDOOR SPACE THAT WILL HAVE NO GUARDRAILS. A NEW OUTDOOR STAIRCASE WILL CONNECT THE ENTRY BRIDGE TO THE NEW LOWER PATIO OUTDOOR LIVING SPACE. VARIOUS SMALL UPGRADES AND DESIGN ADDITIONS ARE TO BE INCLUDED IN THE EXISTING HOME.

**TRULINE ARCHITECTURE**  
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 Mountain Village, CO 81435  
 Email: Truline@gmail.com

Roche Landscape Design  
 Lot 657R, 139 AJ Drive  
 Town of Mountain Village,  
 Colorado 81435

#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.26

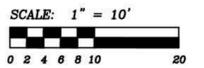
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Print Date	3/15/2018 6:16:22 PM
Modeled by	Author
Checked by	Checker
Scale	As indicated

2018.03.15  
**A002**  
 General Notes & Legends  
 3/15/2018 6:16:22 PM

This topographic survey of a portion of Lot 657R, Town of Mountain Village, was field surveyed on August 31, 2017 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date



**NOTES:**

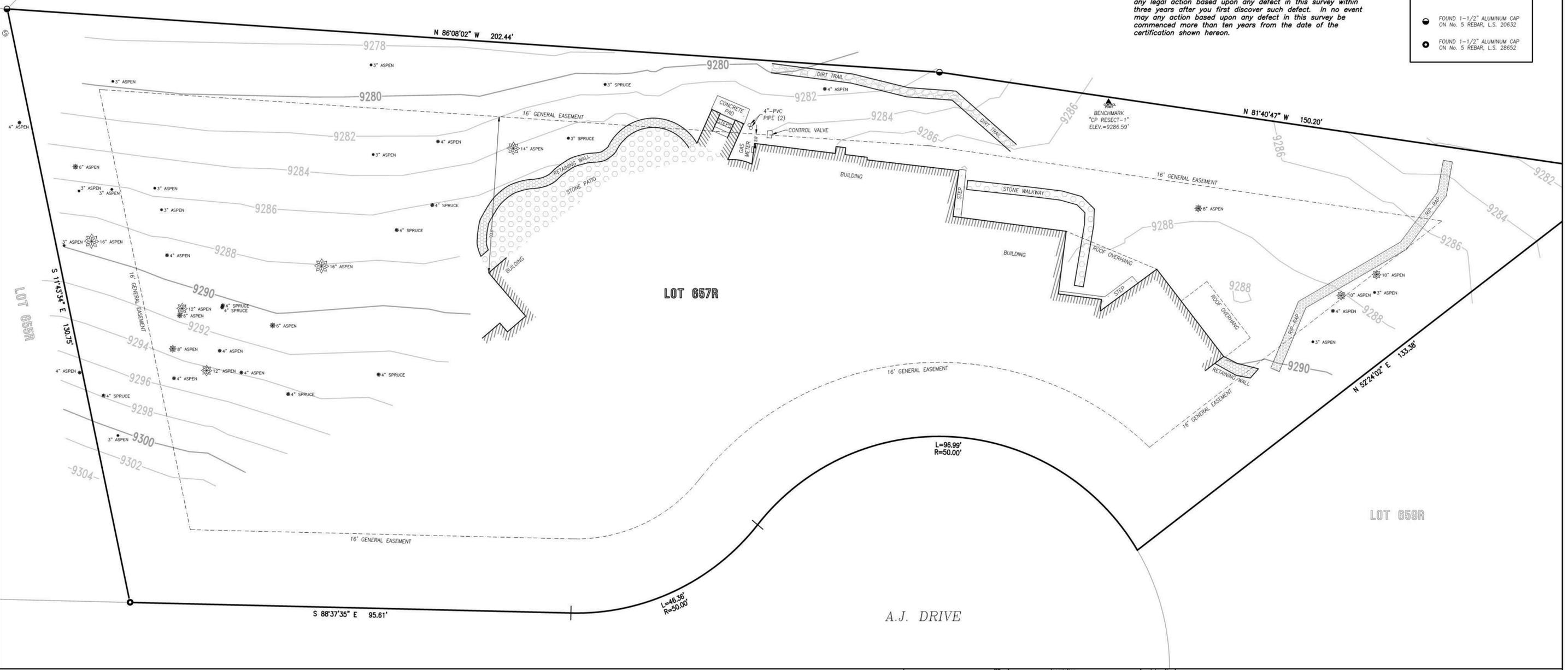
1. This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
2. Benchmark: Control point "CP RESECT-1", as shown hereon, with an elevation of 9286.59 feet.
3. Contour interval is two feet.
4. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**LEGEND**

- ⊕ CURB STOP
- ⊙ SEWER MANHOLE
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 20632
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 28652

TRACT  
OSP-15A

TRACT OSP-15B



**Topographic Survey**  
Lot 657R, Town of Mountain Village,  
San Miguel County, Colorado.

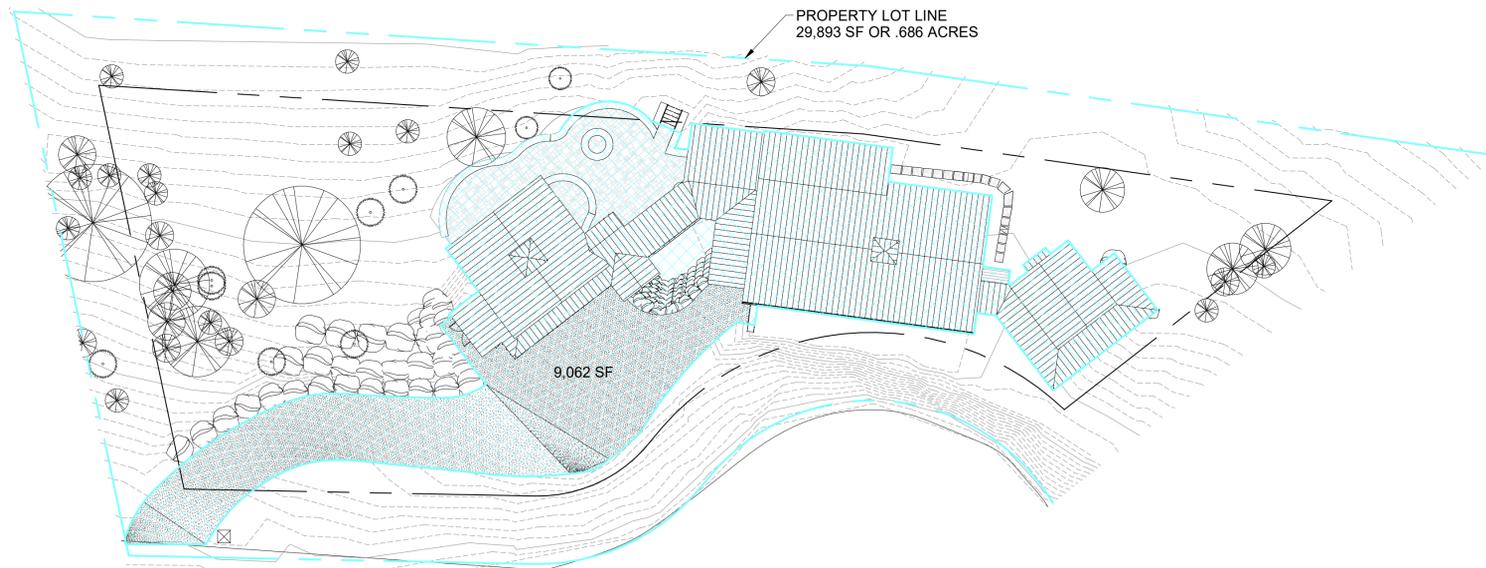
Project Mgr:	JH	Rev.	description	date	by
Technician:	MC				
Checked by:					
Start date:	08/31/2017				



970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Drawing path: dwg\00089 TOPO 08-17.dwg Sheet1 of 1 Project #: 00089

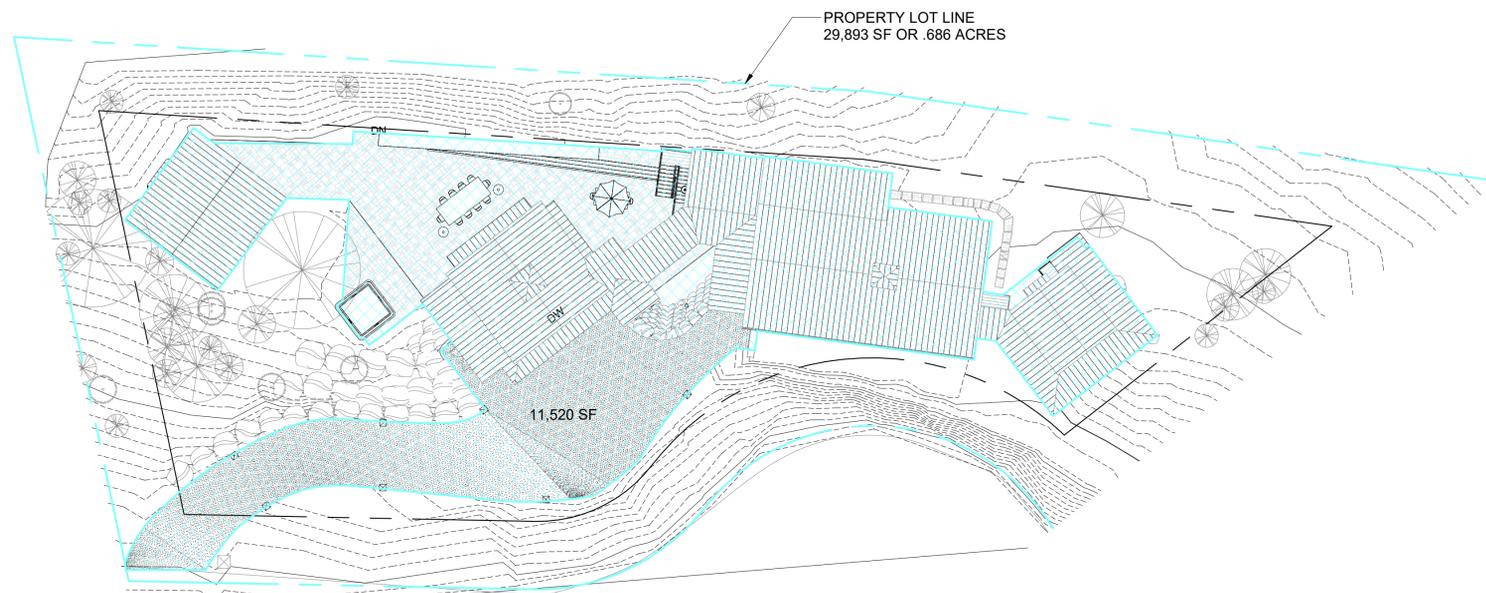
F:\0089\Jobs\0089\00089.dwg 00089 TOPO 08-17.dwg 9/27/2017 2:18:07 PM, PC3



**2 Existing - Site Coverage**  
1" = 20'-0"

**SITE COVERAGE (MUST BE LESS THEN 40%)**

LOT SIZE	29,893 SF or .686 ACRES
EXISTING TOTAL COVERAGE	9,046 or 30%
PROPOSED TOTAL COVERAGE	11,520 SF or 38.5%
• EXISTING STRUCTURE	7,700 SF
• MAIN PATIO	2,593 SF
• COVER FIREPLACE	737 SF
• HOT TUB PATIO & HOT TUB	349 SF
• DECK OFF OF MASTER	120 SF



**1 Proposed - Site Coverage**  
1" = 20'-0"

#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number	Roche
Print Date	3/15/2018 6:16:28 PM
Modeled by	Author
Checked by	Checker
Scale	As indicated

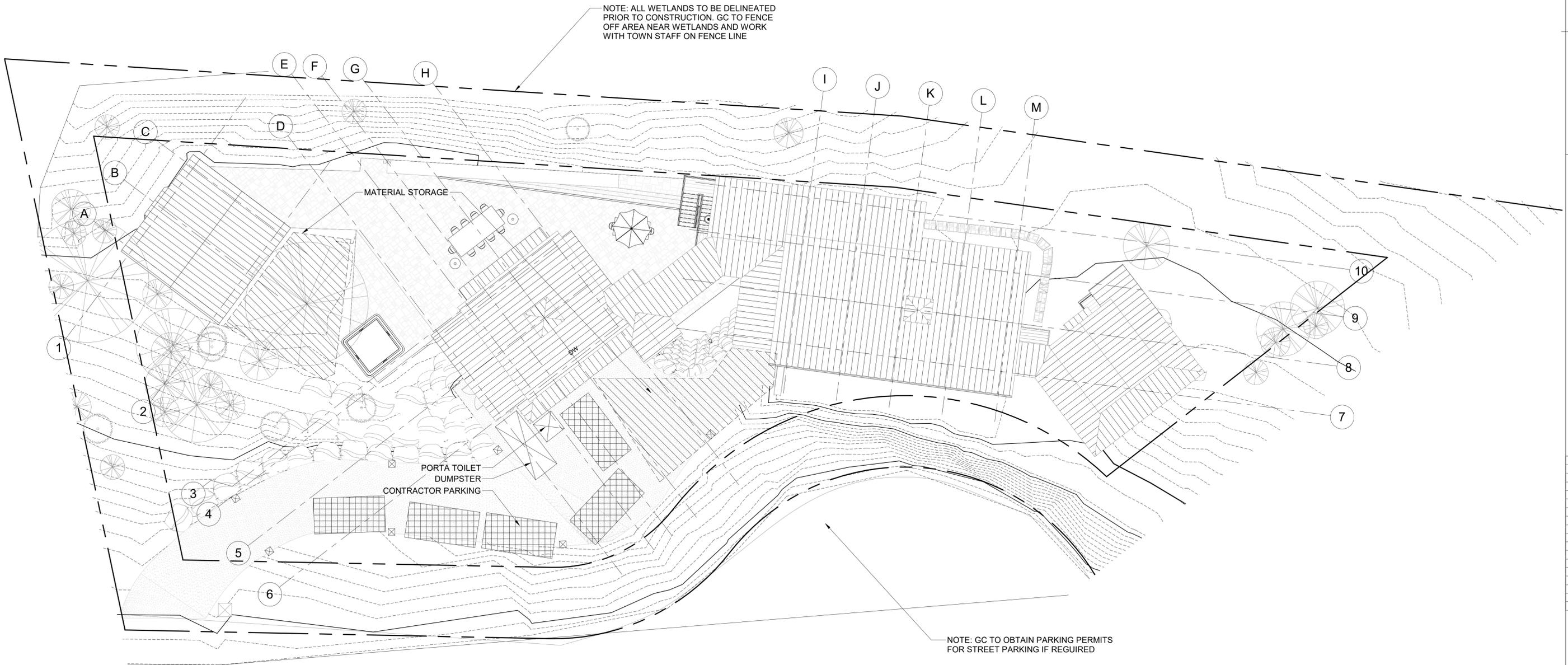
2018.03.15

A004

Site Coverage

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3/15/2018 6:16:28 PM



**1 Construction Staging Plan**  
3/32" = 1'-0"

#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number	Roche
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Modeled by	Author
Checked by	Checker
Scale	3/32" = 1'-0"

2018.03.15

**A005**

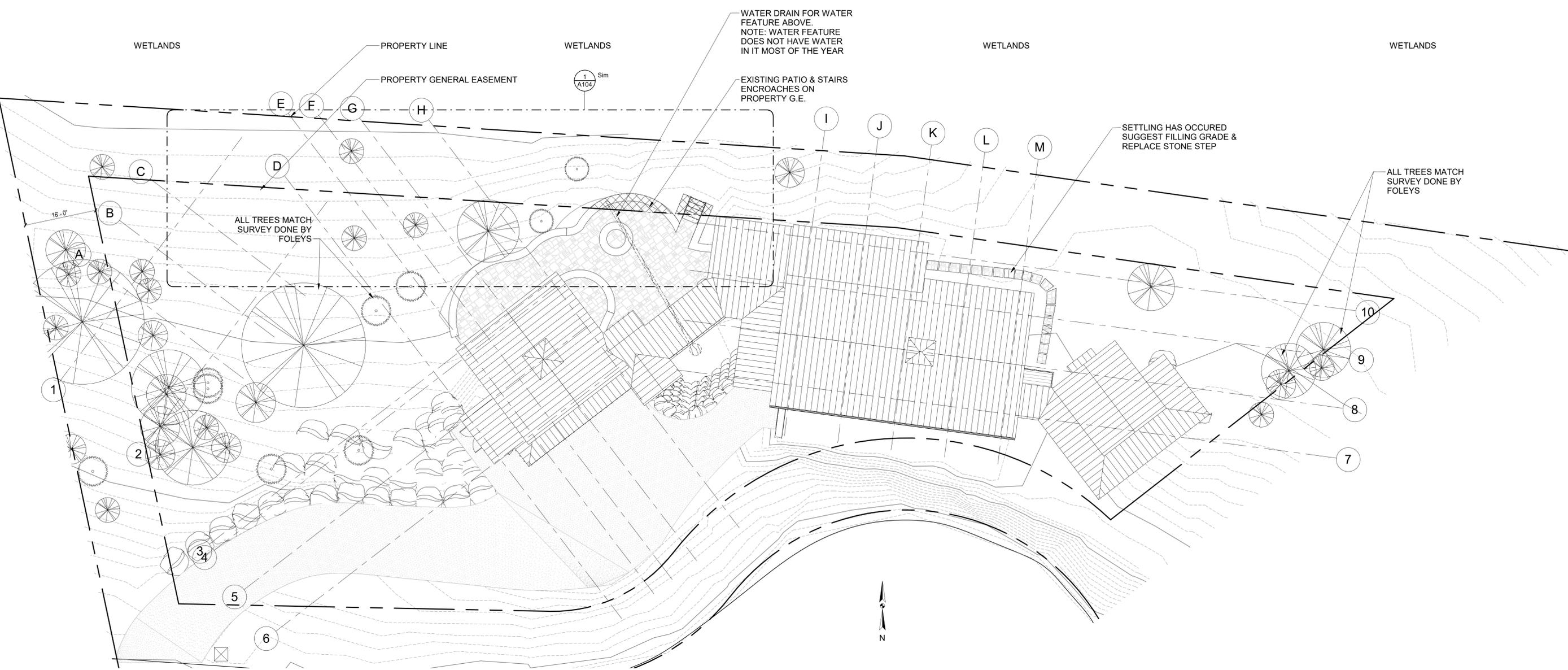
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1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number	Roche
Print Date	3/15/2018 6:16:37 PM
Modeled by	LB
Checked by	Luke
Scale	3/32" = 1'-0"

2018.03.15

A100

Site Plan  
 3/15/2018 6:16:37 PM

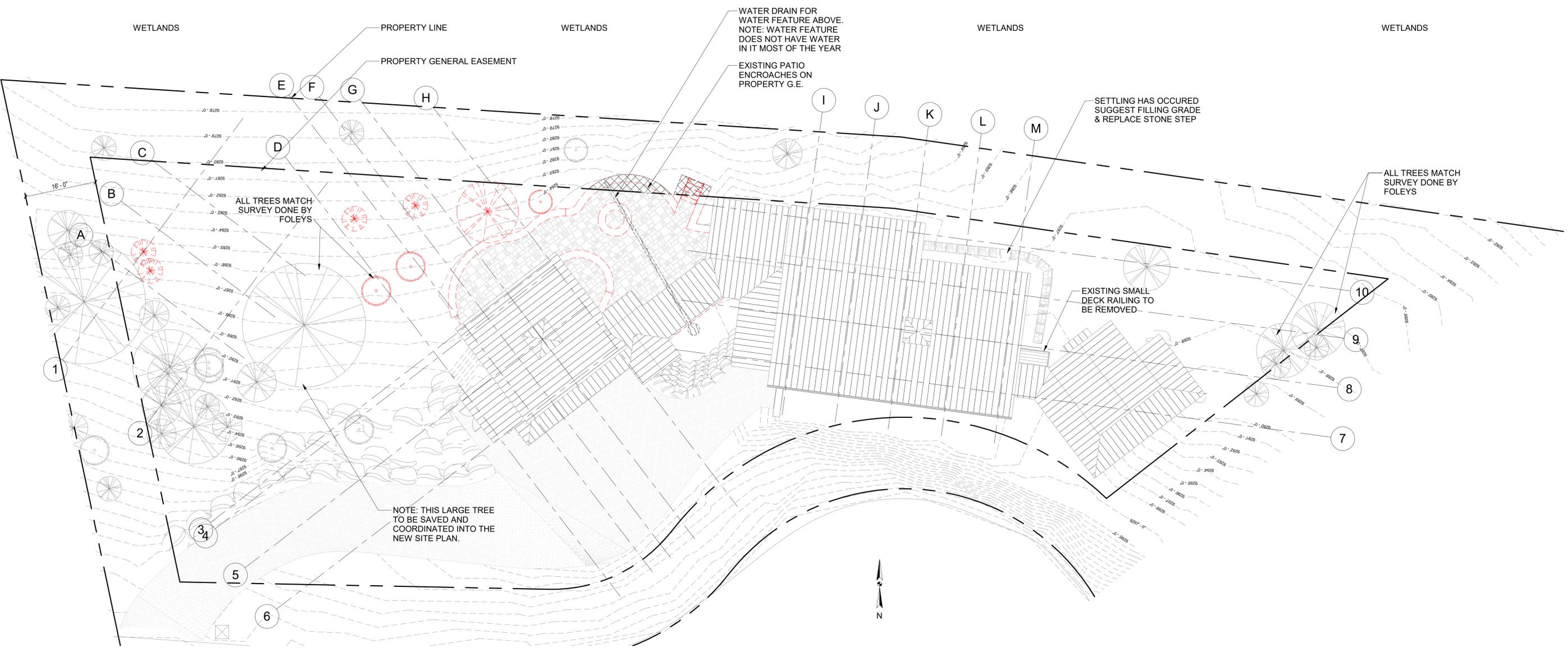


**1 Existing - Site Plan**  
 3/32" = 1'-0"

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#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number	Roche
Print Date	3/15/2018 6:16:40 PM
Modeled by	Author
Checked by	Checker
Scale	3/32" = 1'-0"



**1 Demo - Site Plan**  
 3/32" = 1'-0"

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#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number	Roche
Print Date	3/15/2018 6:16:45 PM
Modeled by	Author
Checked by	Checker
Scale	3/32" = 1'-0"

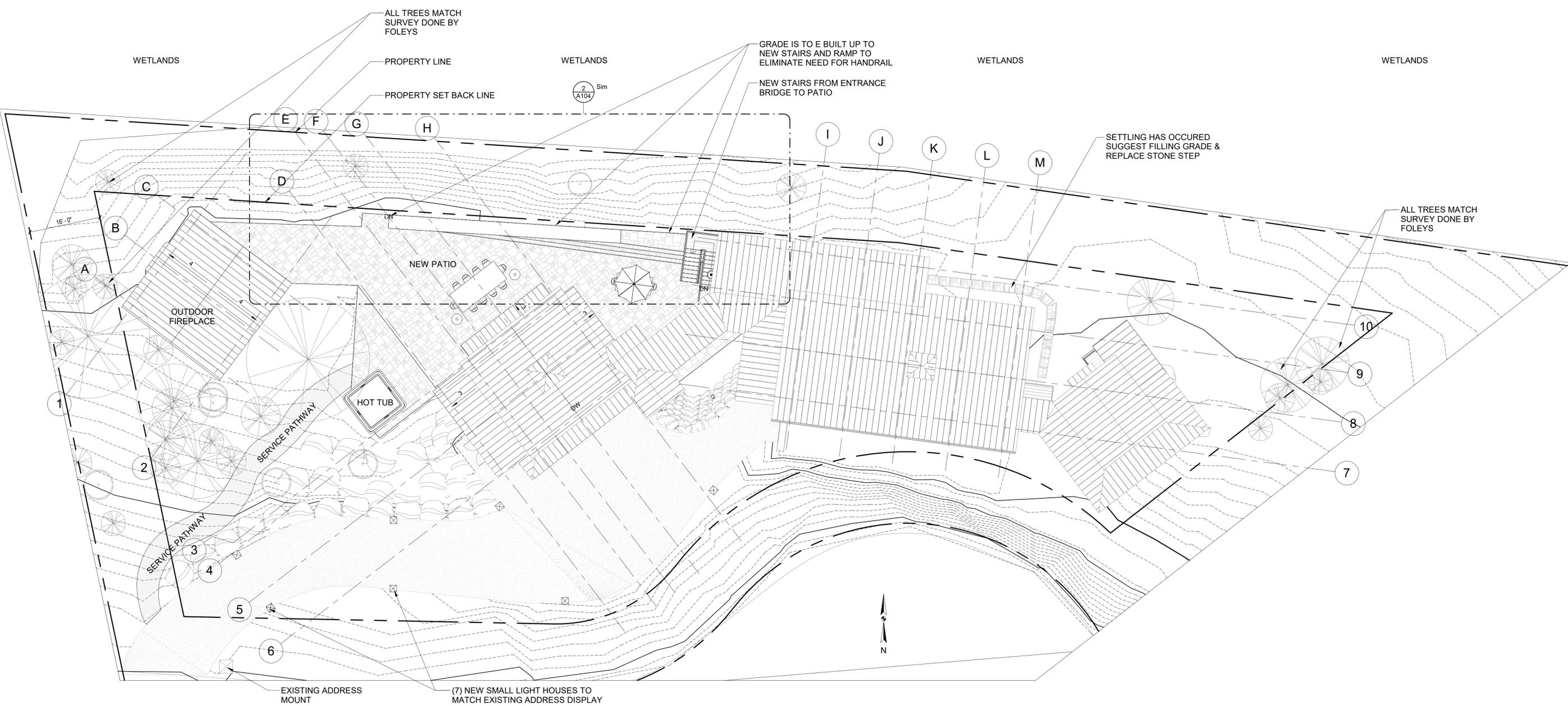
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2018.03.15

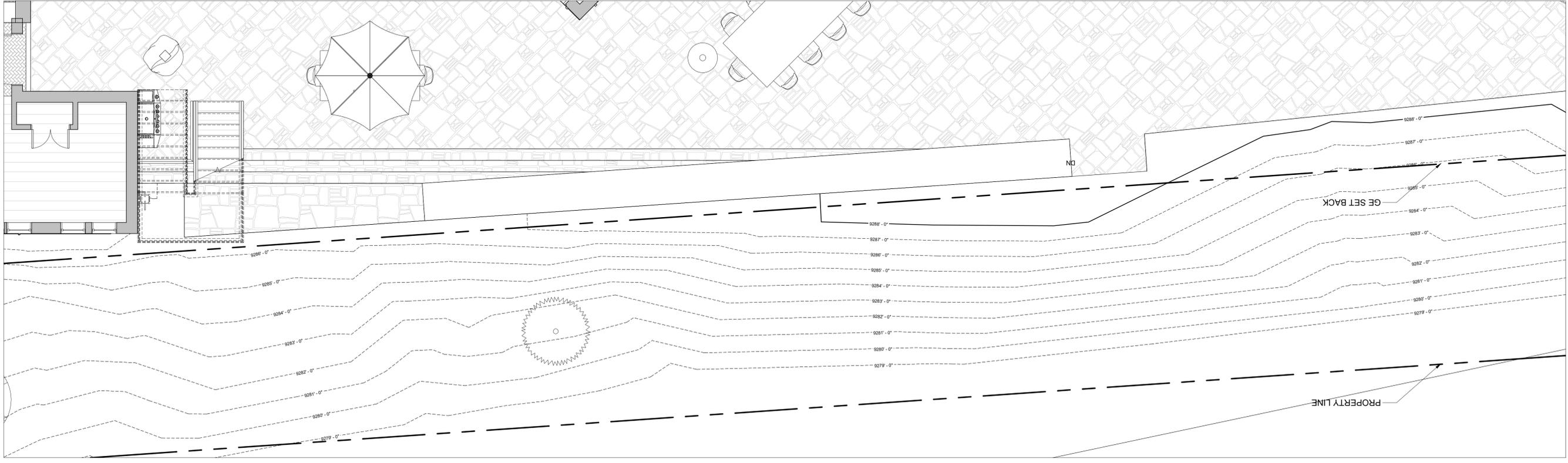
A102

Proposed Site Plan

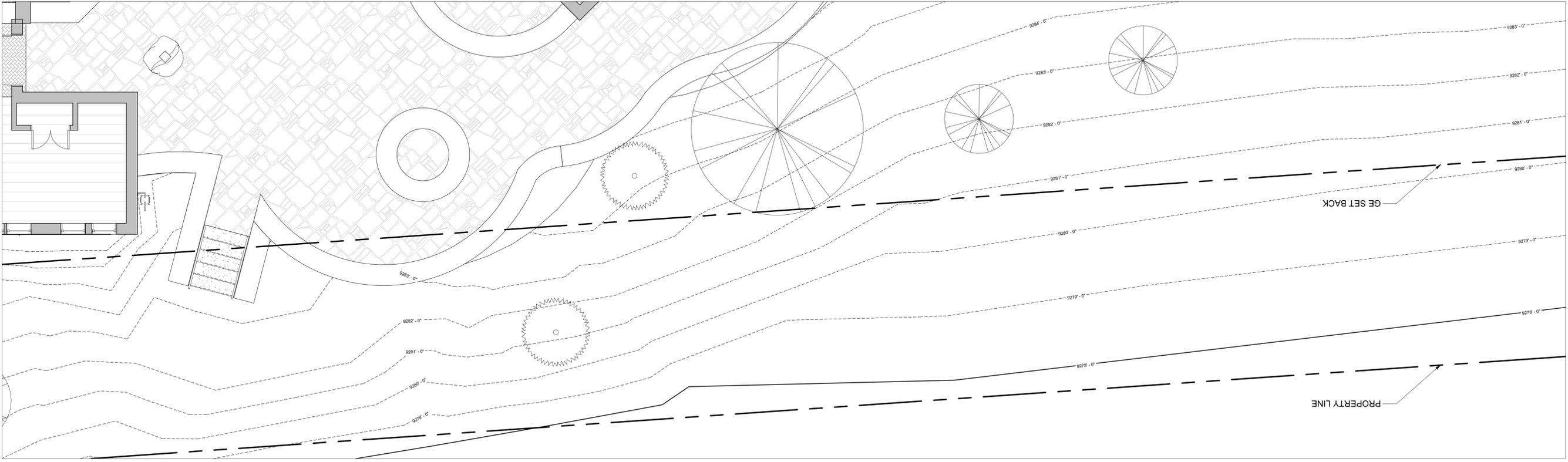
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**1 Proposed - Site Plan**  
 3/32" = 1'-0"



Note: all grading to be coordinated and designed with David Balode PE - grading plans by Mr. Balode will be ready for presentation by the time of the DRB hearing.



Project number Roche

Print Date 3/15/2018 6:16:47 PM

Modelled by Author

Checked by Checker

Scale 1/4" = 1'-0"

2018.03.15

A104

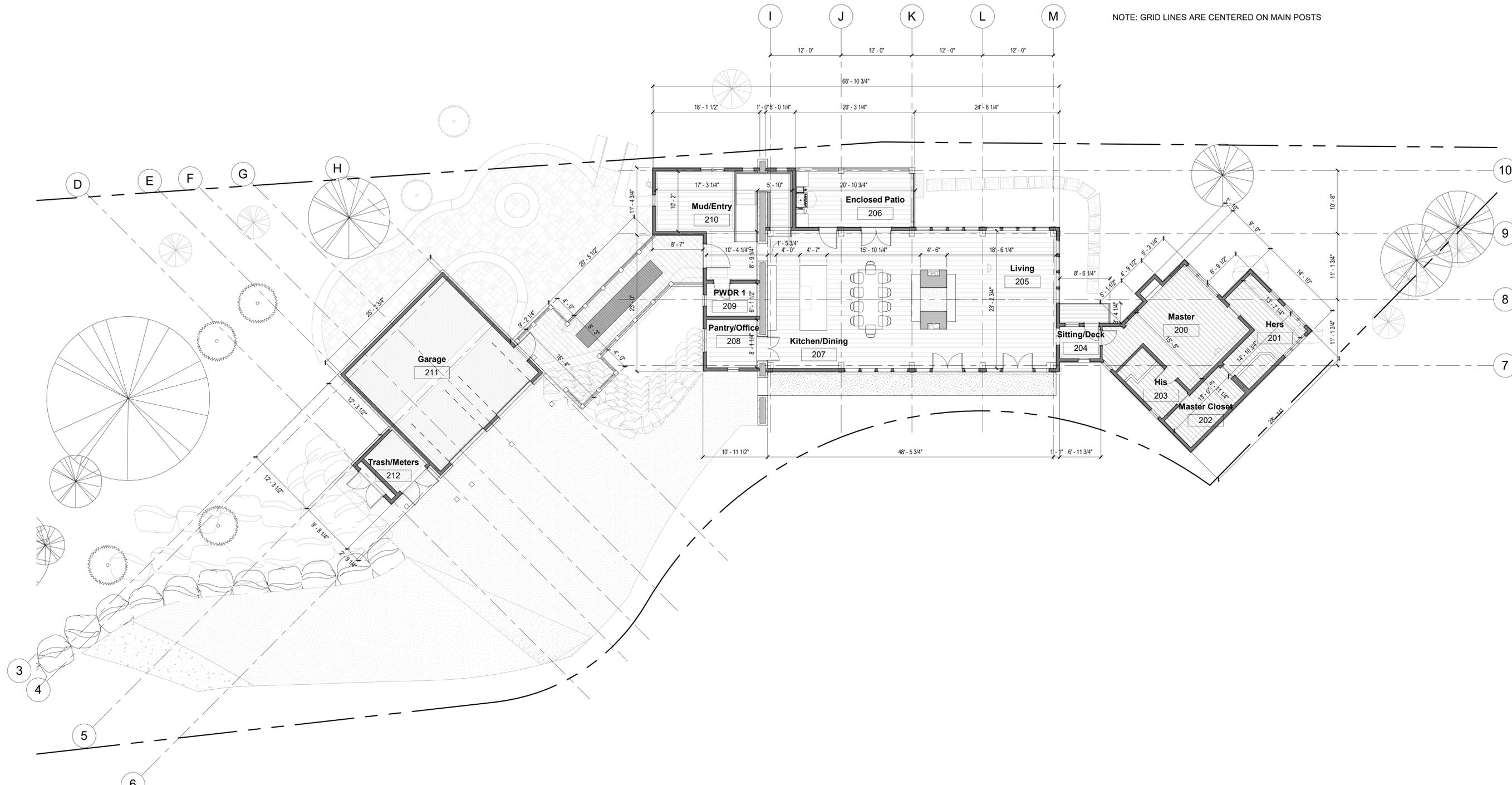
Grading Change

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#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
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5	FOURTH REVISION	18.02.28

Roche Landscape Design  
 Lot 657R, 139 AJ Drive  
 Town of Mountain Village,  
 Colorado 81435

**TRU** ARCHITECTURE  
 Truline a.com  
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 Mountain Village, CO 81435  
 Email: Truline@gmail.com



NOTE: GRID LINES ARE CENTERED ON MAIN POSTS

**1 Existing - Main Level**  
1/8" = 1'-0"

Roche Landscape Design  
 Lot 657R, 139 AJ Drive  
 Town of Mountain Village,  
 Colorado 81435

#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number Roche  
 Print Date 3/15/2018 6:16:52 PM  
 Modeled by LB  
 Checked by Luke Trujillo  
 Scale 1/8" = 1'-0"

2018.03.15

**A110**  
Existing Floor Plan

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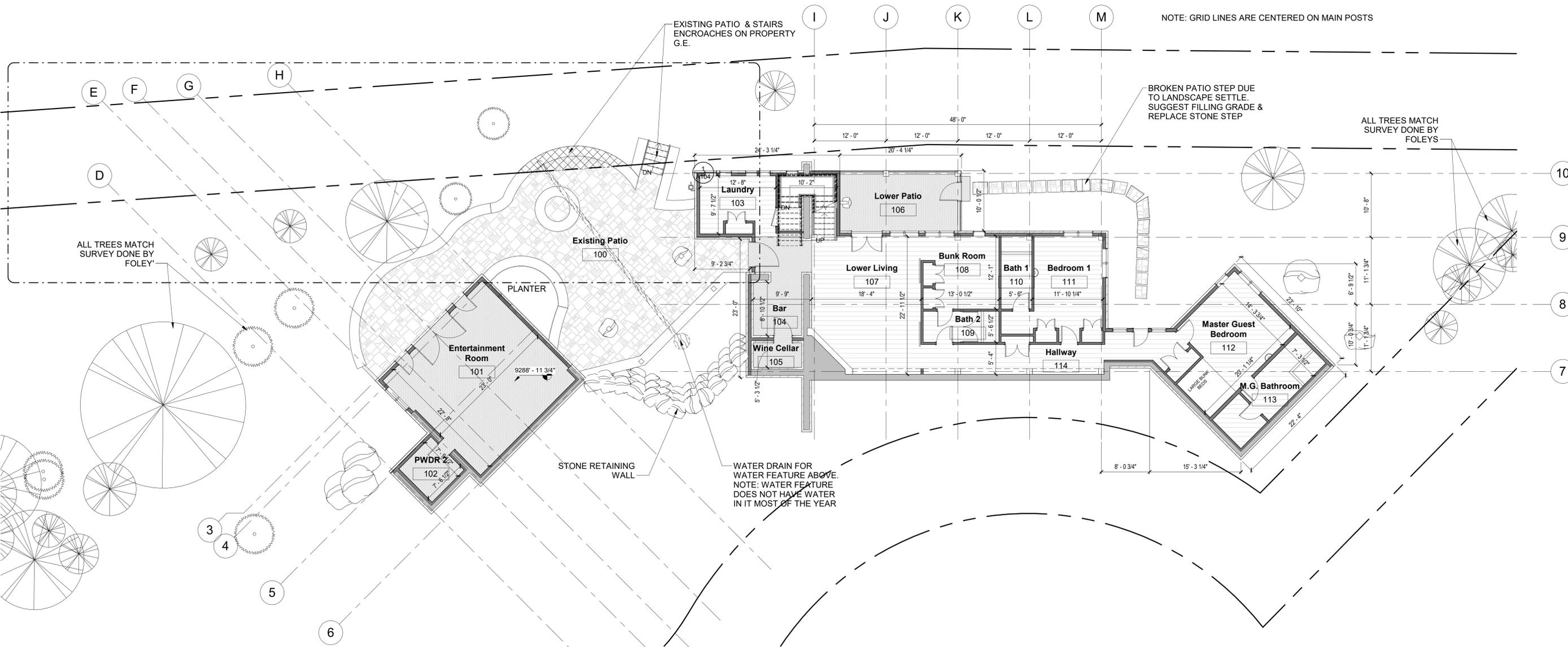
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1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

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 Checked by Luke  
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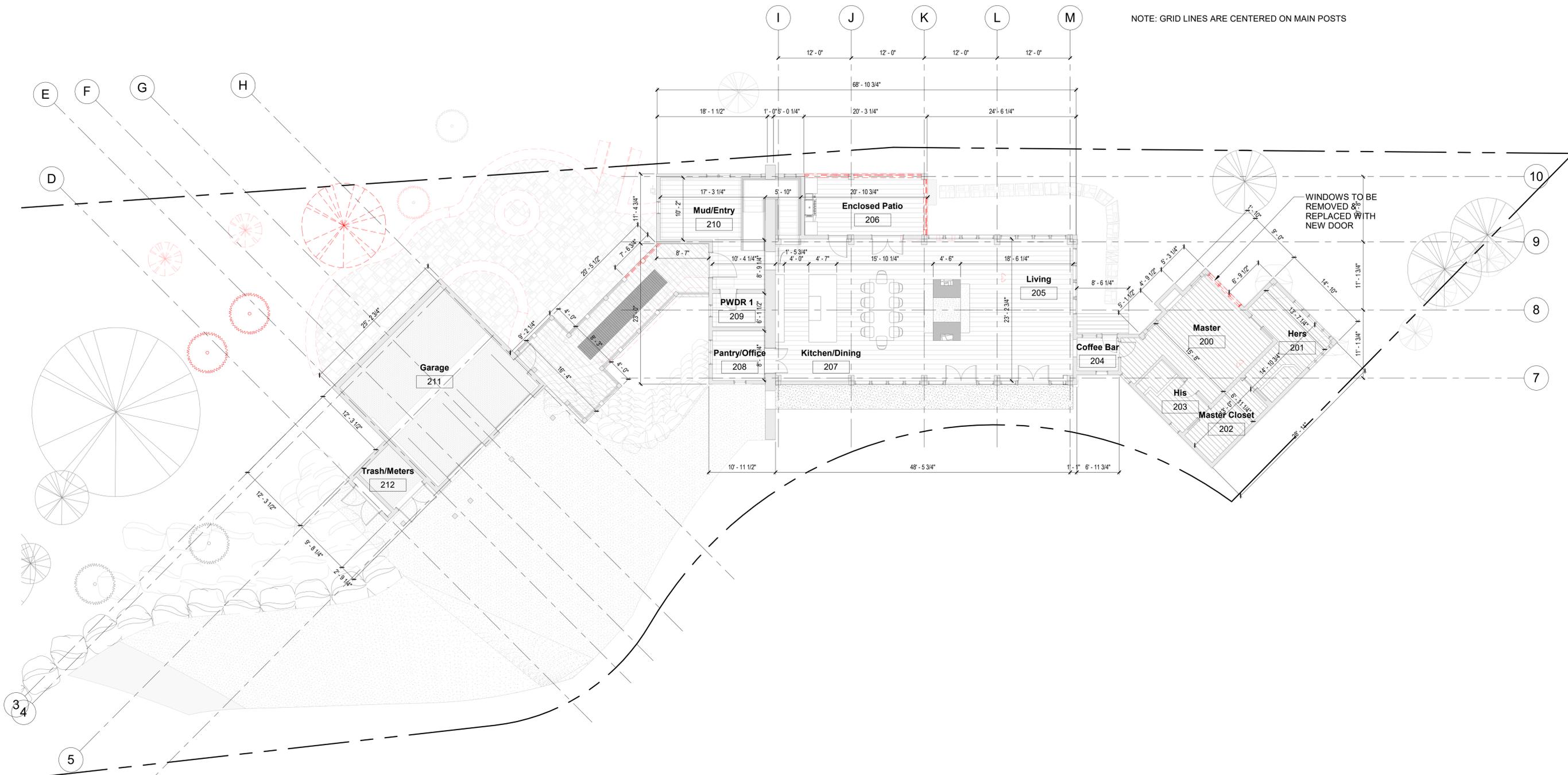
2018.03.15

A111

Existing Floor Plan



**1 Existing - Lower Level**  
 1/8" = 1'-0"



NOTE: GRID LINES ARE CENTERED ON MAIN POSTS

**1 Demo - Mail Level**  
1/8" = 1'-0"

Roche Landscape Design  
Lot 657R, 139 AJ Drive  
Town of Mountain Village,  
Colorado 81435

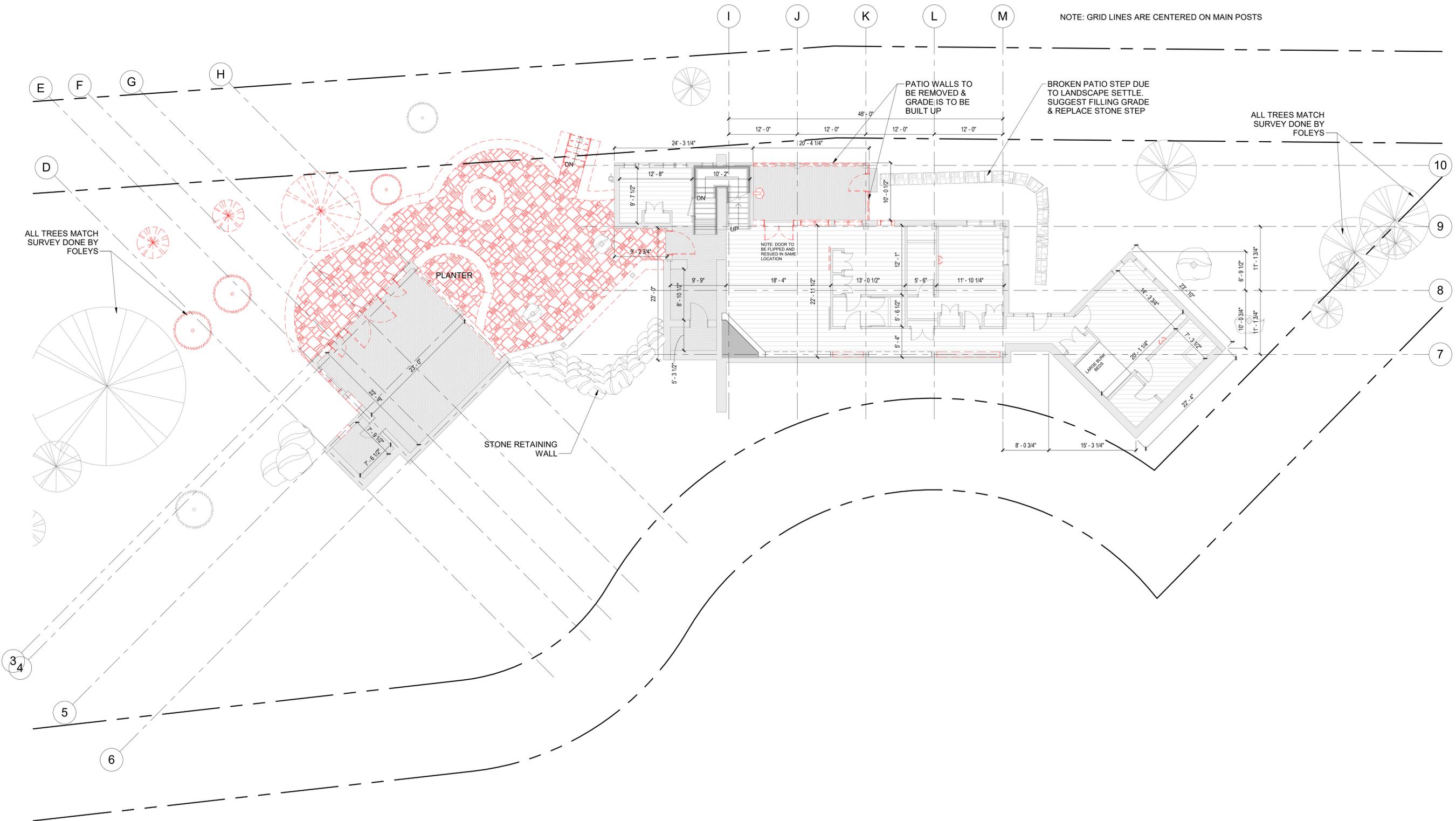
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1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number Roche  
Print Date 3/15/2018 6:17:00 PM  
Modeled by Author  
Checked by Checker  
Scale 1/8" = 1'-0"

2018.03.15

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3/15/2018 6:17:00 PM



NOTE: GRID LINES ARE CENTERED ON MAIN POSTS

ALL TREES MATCH SURVEY DONE BY FOLEYS

ALL TREES MATCH SURVEY DONE BY FOLEYS

PATIO WALLS TO BE REMOVED & GRADE IS TO BE BUILT UP

BROKEN PATIO STEP DUE TO LANDSCAPE SETTLE. SUGGEST FILLING GRADE & REPLACE STONE STEP

NOTE: DOOR TO BE FLIPPED AND REUSED IN SAME LOCATION

PLANTER

STONE RETAINING WALL

**1 Demo - Lower Level**  
1/8" = 1'-0"



#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
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4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number	Roche
Print Date	3/15/2018 6:17:40 PM
Modeled by	Author
Checked by	Checker
Scale	1/8" = 1'-0"

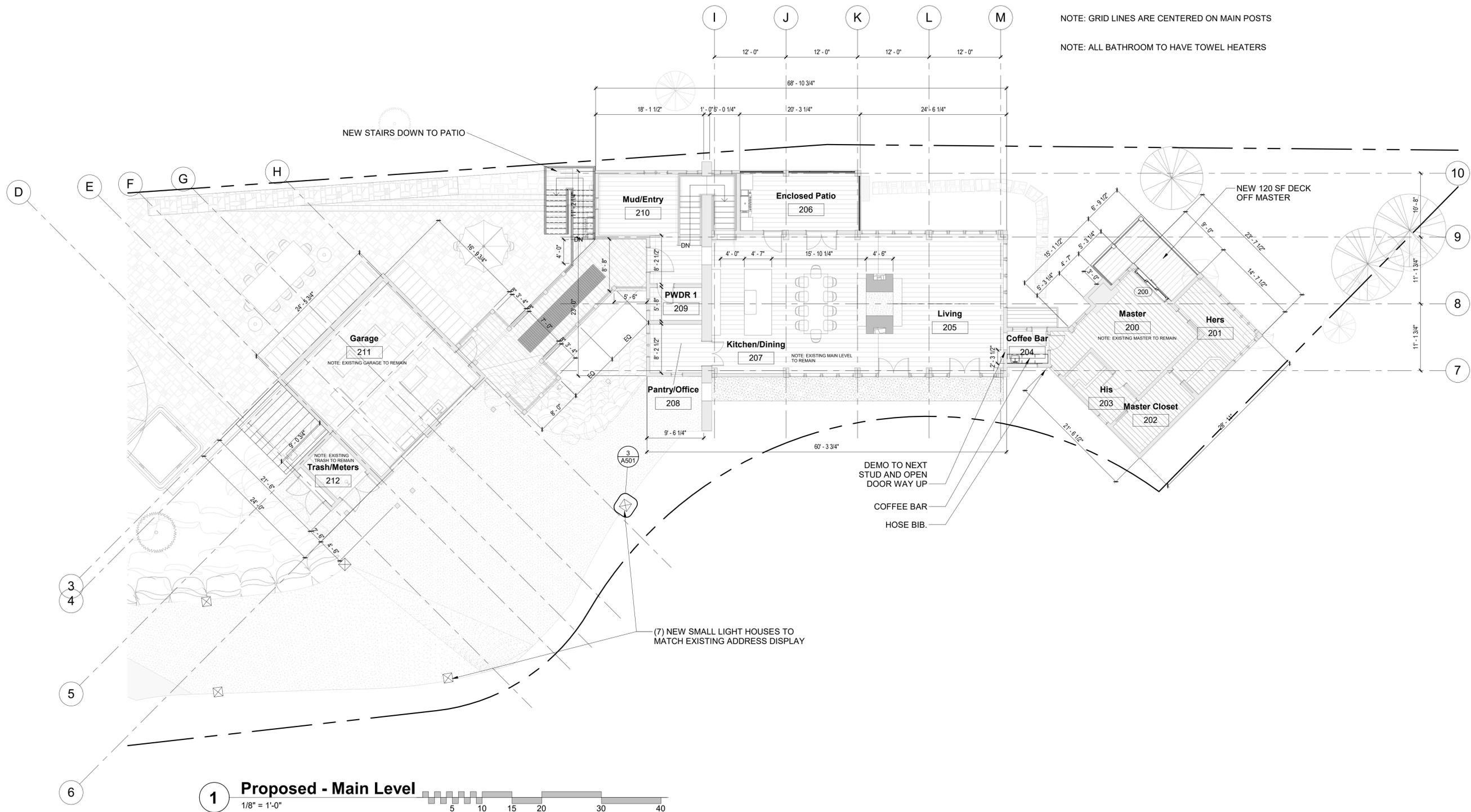
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2018.03.15

A121

Demo Floor Plans

3/15/2018 6:17:40 PM



NOTE: GRID LINES ARE CENTERED ON MAIN POSTS  
 NOTE: ALL BATHROOM TO HAVE TOWEL HEATERS

**1 Proposed - Main Level**  
 1/8" = 1'-0"

#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.26

Project number Roche  
 Print Date 3/15/2018 6:17:45 PM  
 Modeled by LB  
 Checked by LT  
 Scale 1/8" = 1'-0"

2018.03.15

#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

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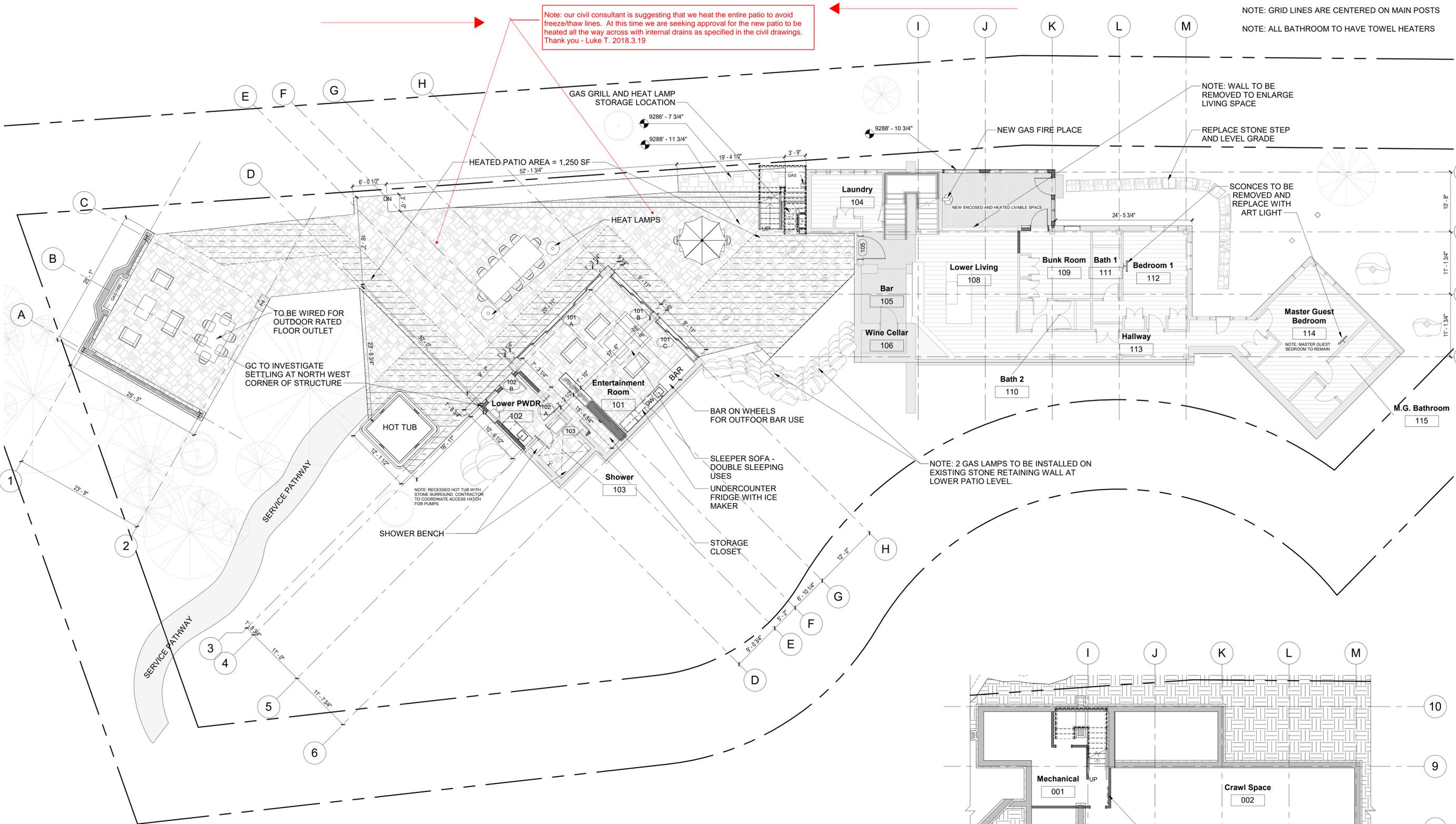
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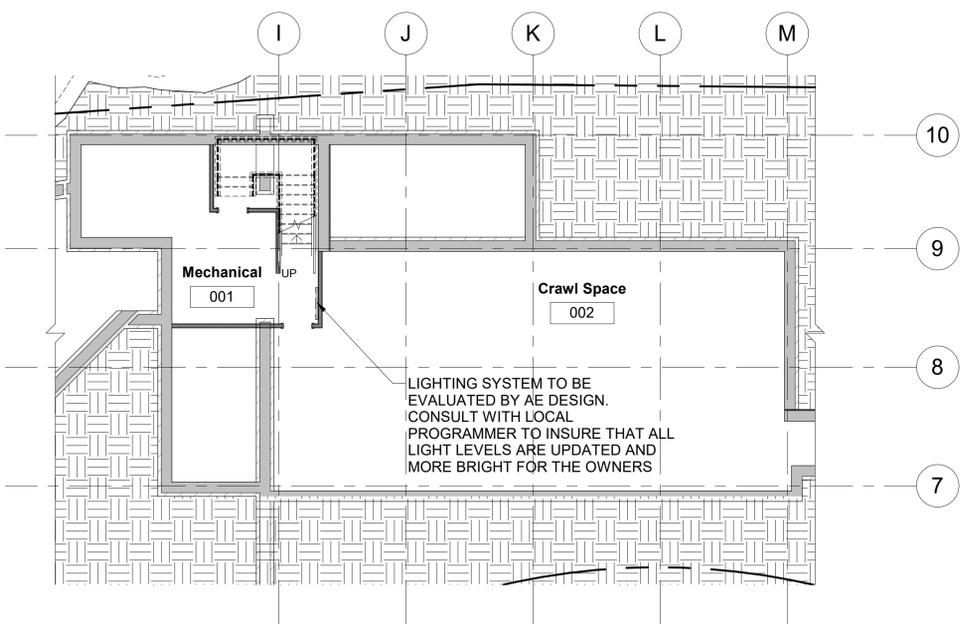
Proposed Floor Plan

NOTE: GRID LINES ARE CENTERED ON MAIN POSTS  
 NOTE: ALL BATHROOM TO HAVE TOWEL HEATERS

Note: our civil consultant is suggesting that we heat the entire patio to avoid freeze/thaw lines. At this time we are seeking approval for the new patio to be heated all the way across with internal drains as specified in the civil drawings. Thank you - Luke T. 2018.3.19



**1 Proposed - Lower Level**  
 1/8" = 1'-0"



**2 Mechanical**  
 1/8" = 1'-0"

#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
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4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number	Roche
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Modeled by	Author
Checked by	Checker
Scale	1/8" = 1'-0"

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2018.03.15

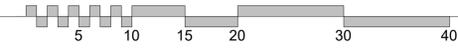
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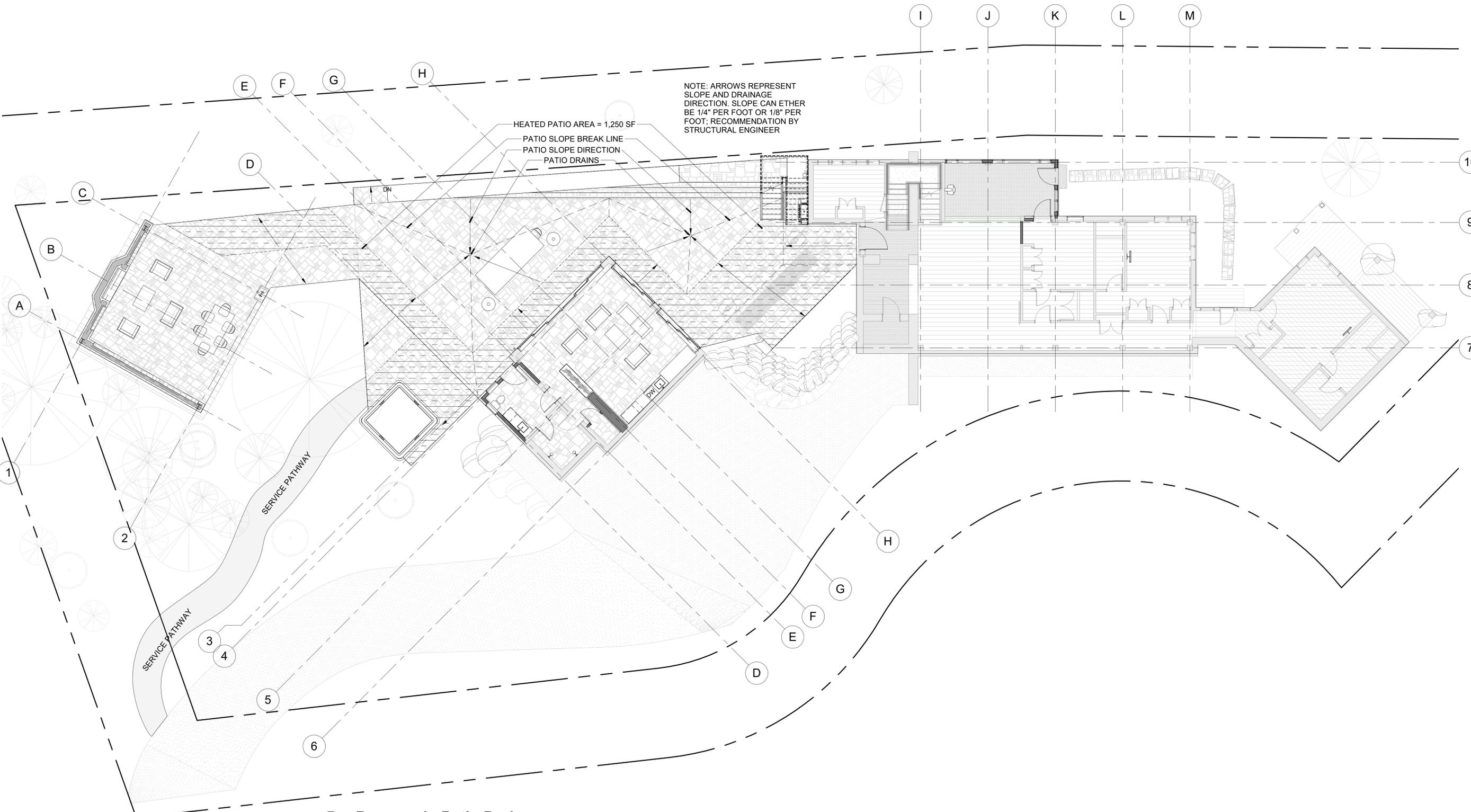
Proposed Roof Plan

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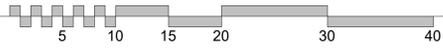


**1 Proposed - Roof Plan**  
 1/8" = 1'-0"





**1 Proposed - Patio Drainage**  
 1/8" = 1'-0"



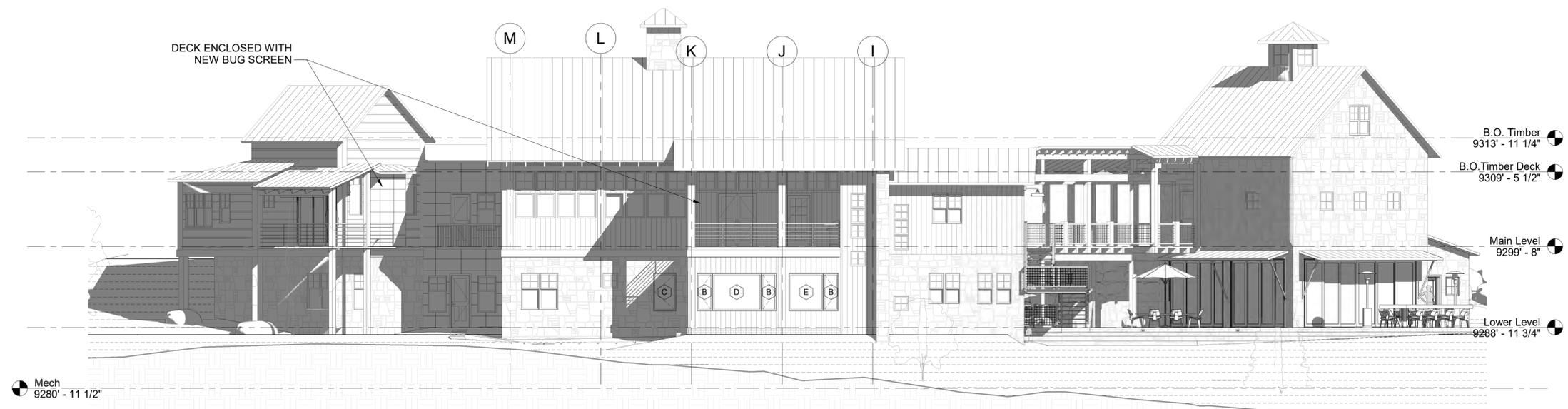
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1	AS-BUILT	17.08.24
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3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number Roche  
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 Checked by Checker  
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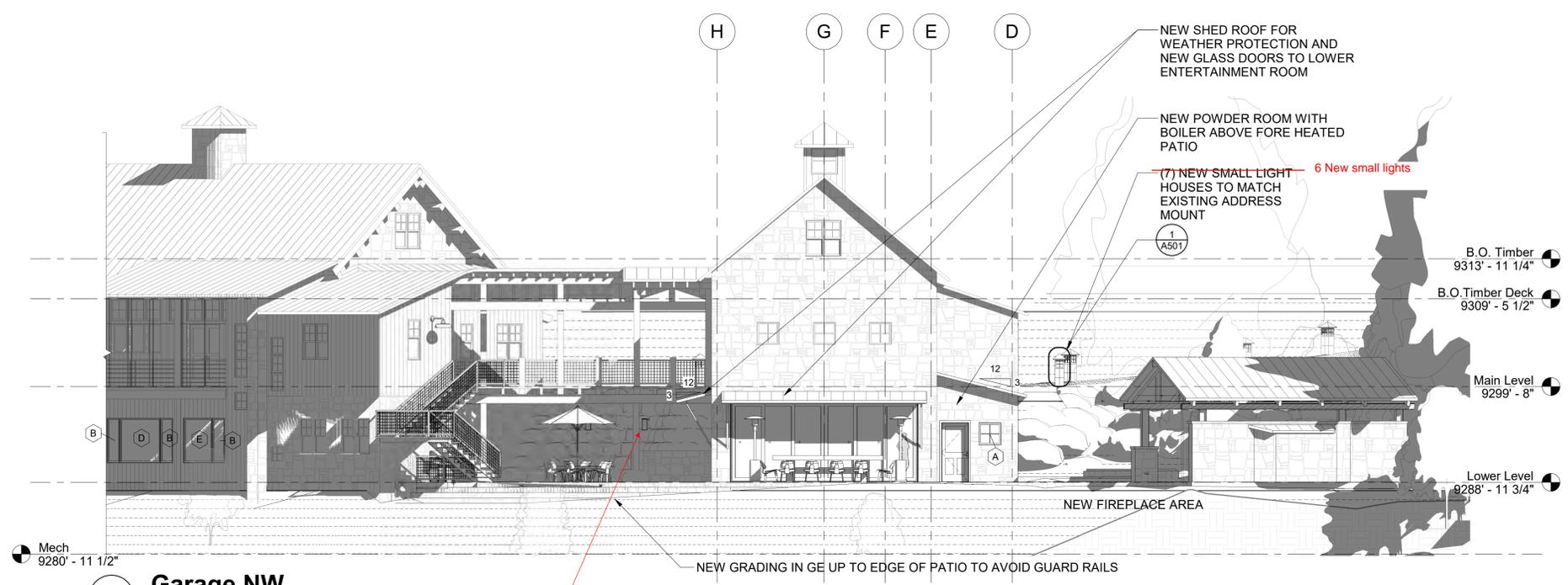
2018.03.15

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3/15/2018 6:17:59 PM



**1 North**  
1/8" = 1'-0"



**2 Garage NW**  
1/8" = 1'-0"

Note: two gas lights proposed at existing stone ret. wall - not viewable from any public way.

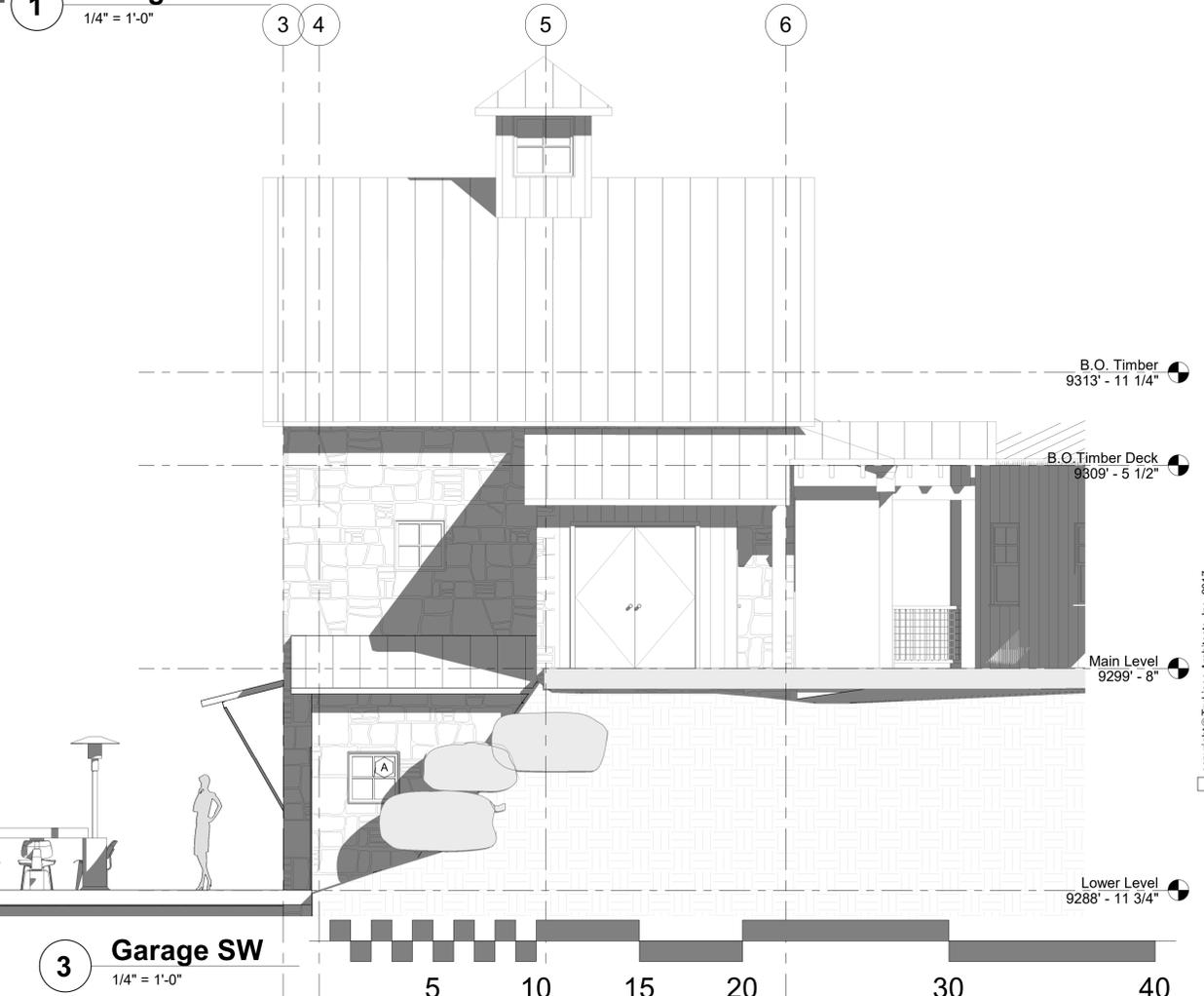
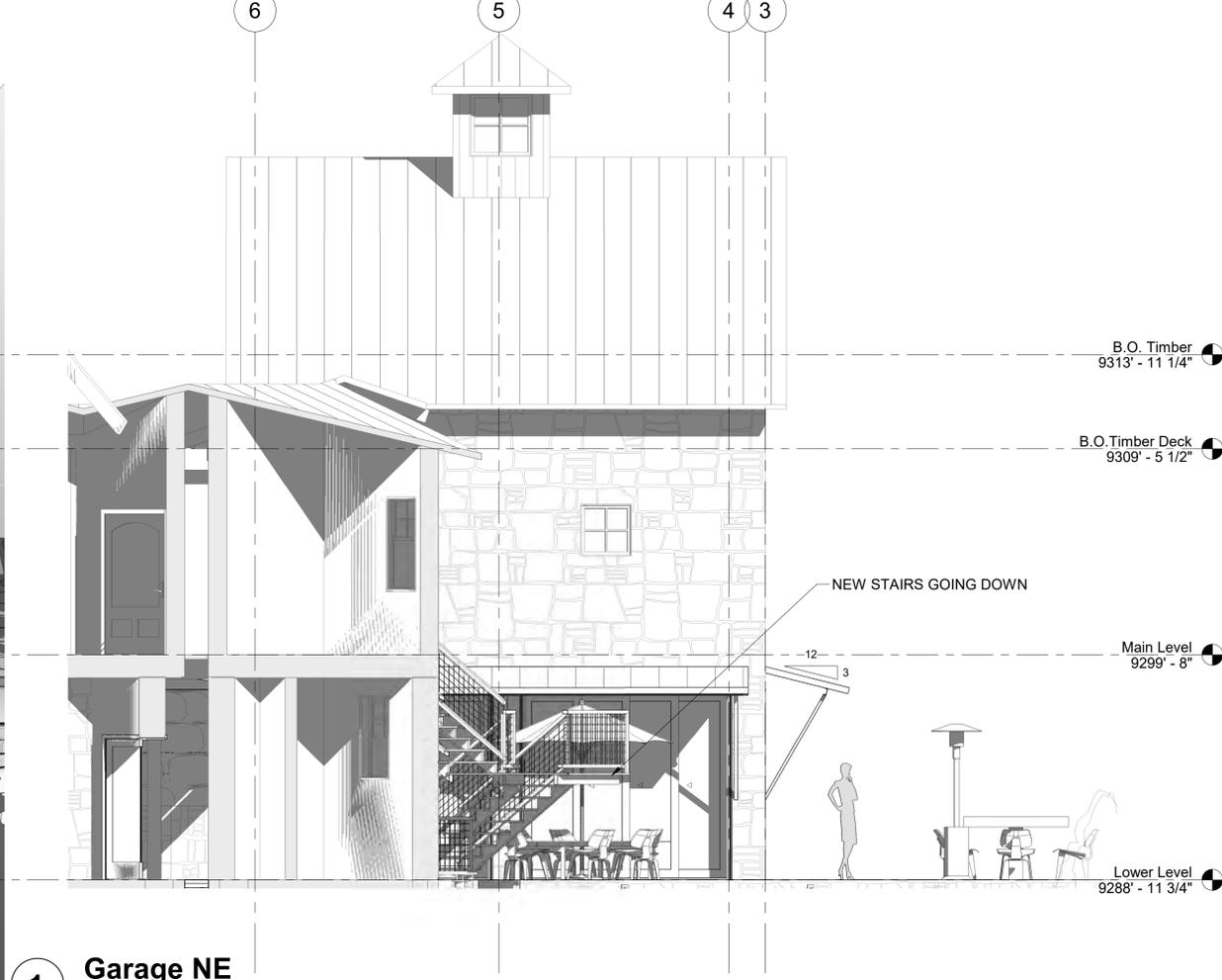
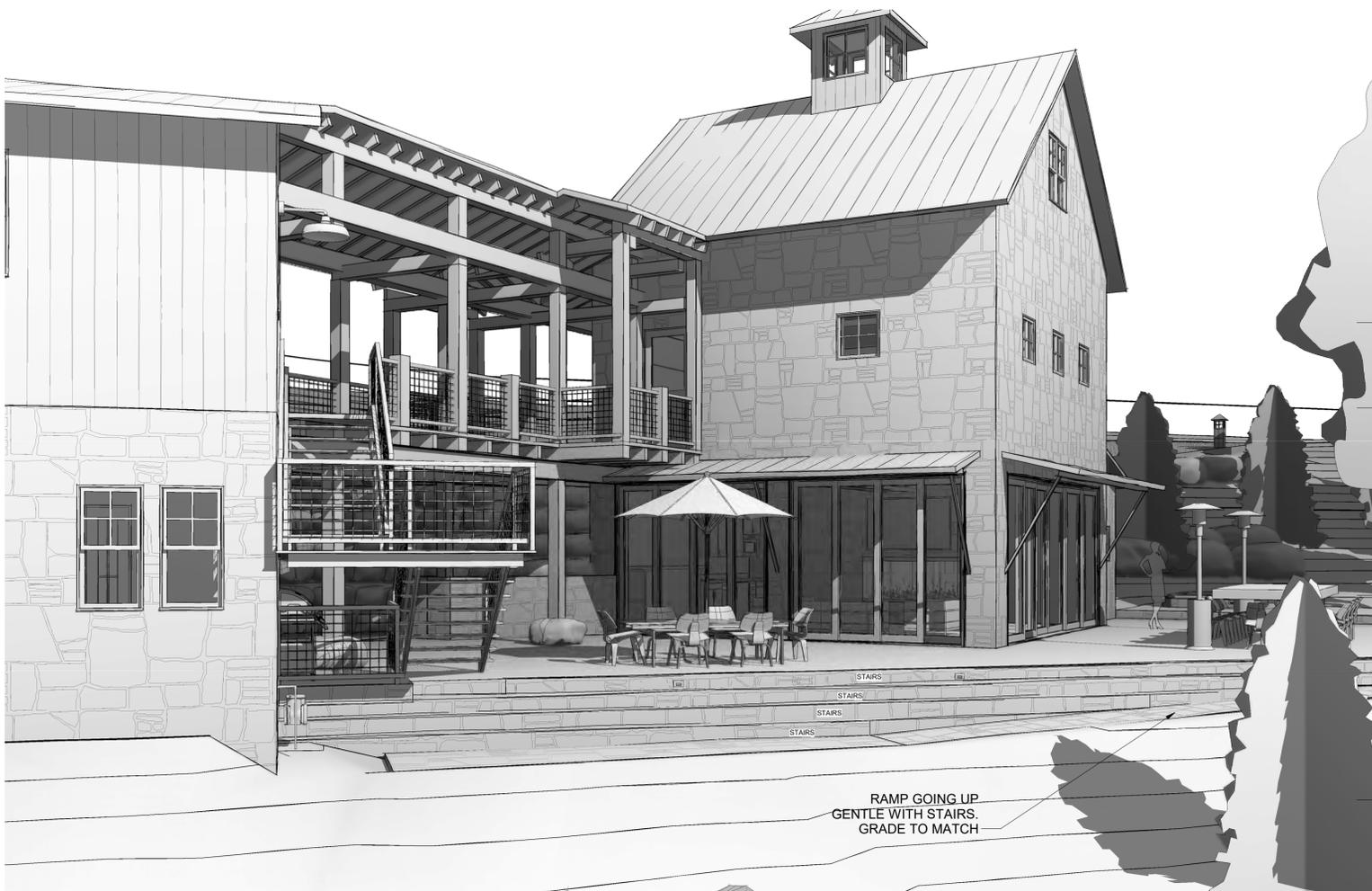
**MATERIAL CALCULATIONS**

NEW ROOFING		1,157 SF
• FIREPLACE	780 SF	
• AWNINGS	53 SF	
• NEW BATHROOM	124 SF	
• MASTER DECK	200 SF	
FLAT STONE		3,593 SF
• MAIN PATIO	2,249 SF	
• COVERED FIREPLACE	747 SF	
• HOT TUB PATIO & HOT TUB	253 SF	
• STAIRS	188 SF	
• RAMP	156 SF	
VERTICAL STONE		940 SF
• COVERED FIREPLACE	900 SF	
• STAIRS	140 SF	

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5	FOURTH REVISION	18.02.28

Project number	Roche
Print Date	3/15/2018 6:18:12 PM
Modeled by	LB
Checked by	Luke
Scale	As indicated

2018.03.15



**TRULINE ARCHITECTURE**  
 Truline a.com  
 113 Lost Creek Lane, Suite B  
 Mountain Village, CO 81435  
 Email: Truline@gmail.com

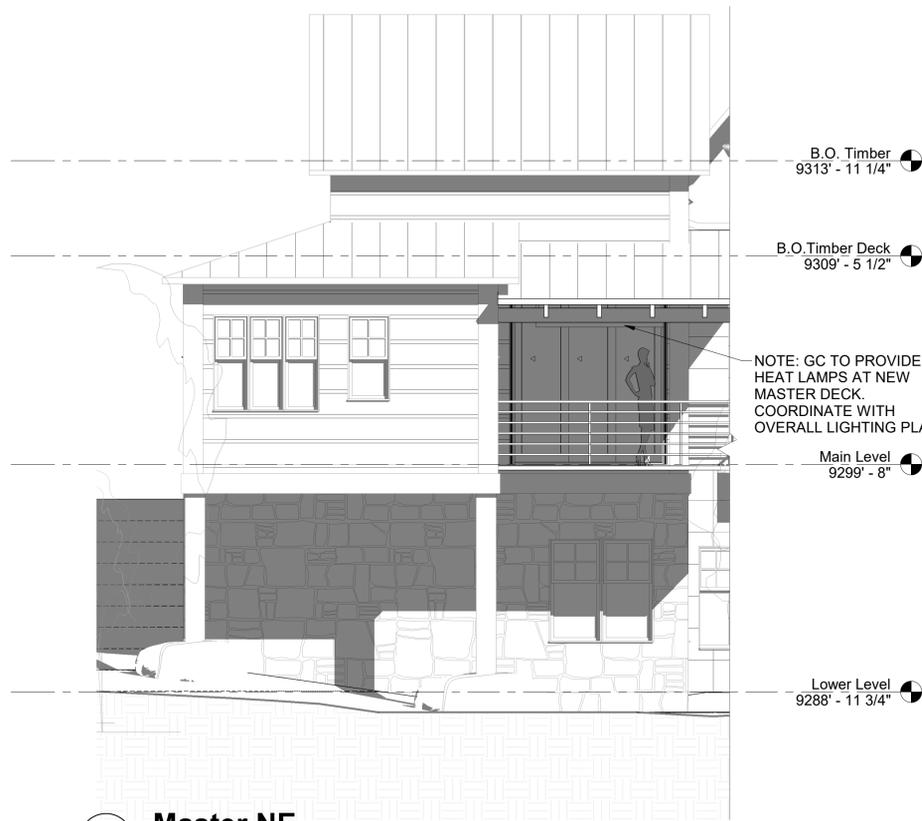
**TRULINE ARCHITECTURE**  
 Roche Landscape Design  
 Lot 657R, 139 AJ Drive  
 Town of Mountain Village,  
 Colorado 81435

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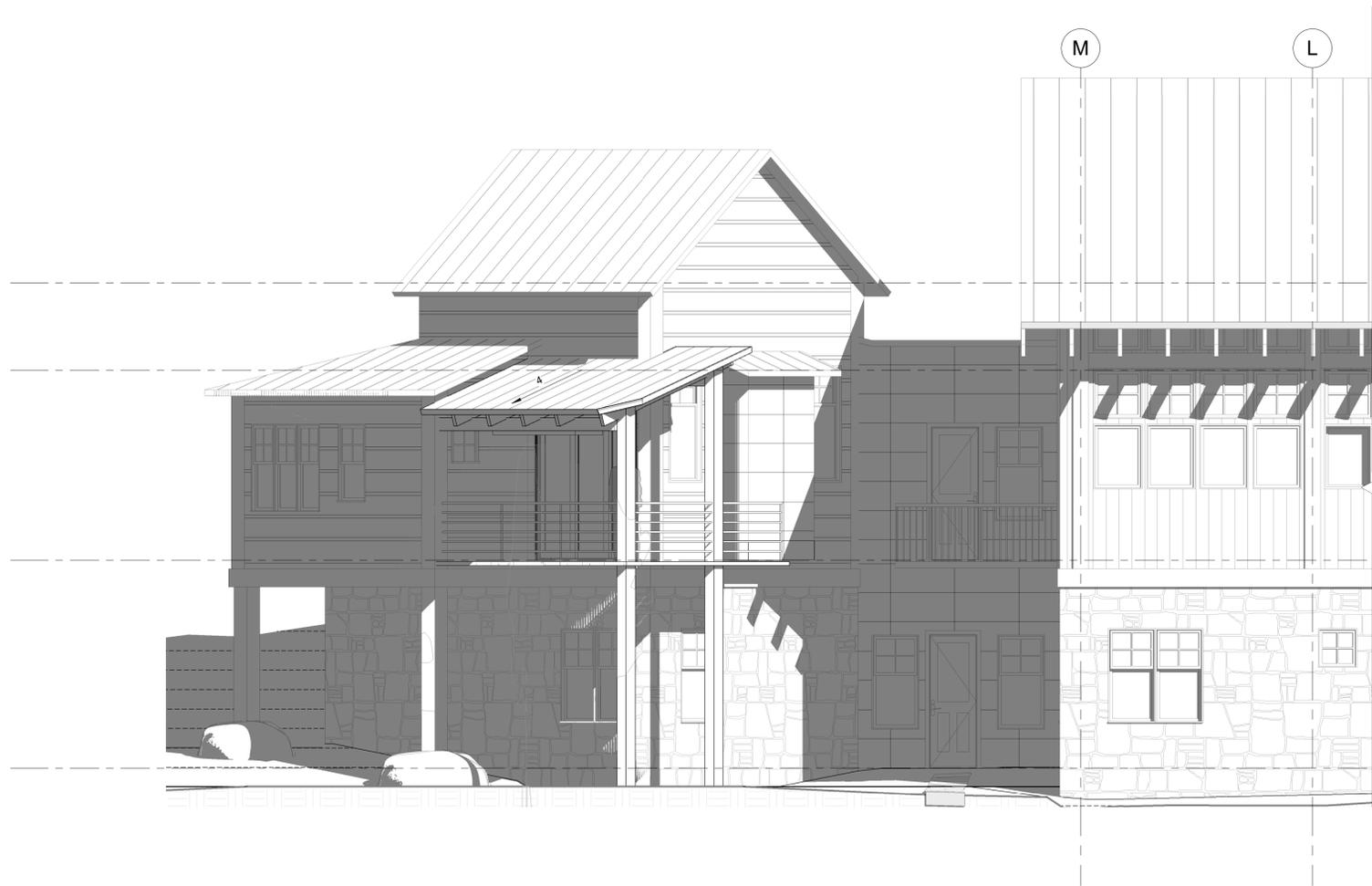
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 Checked by: Checker  
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 2018.03.15

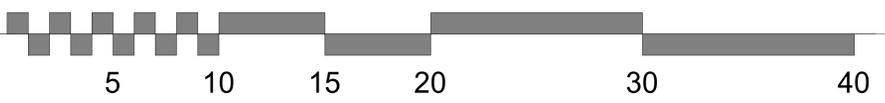
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**1 Master NE**  
1/4" = 1'-0"



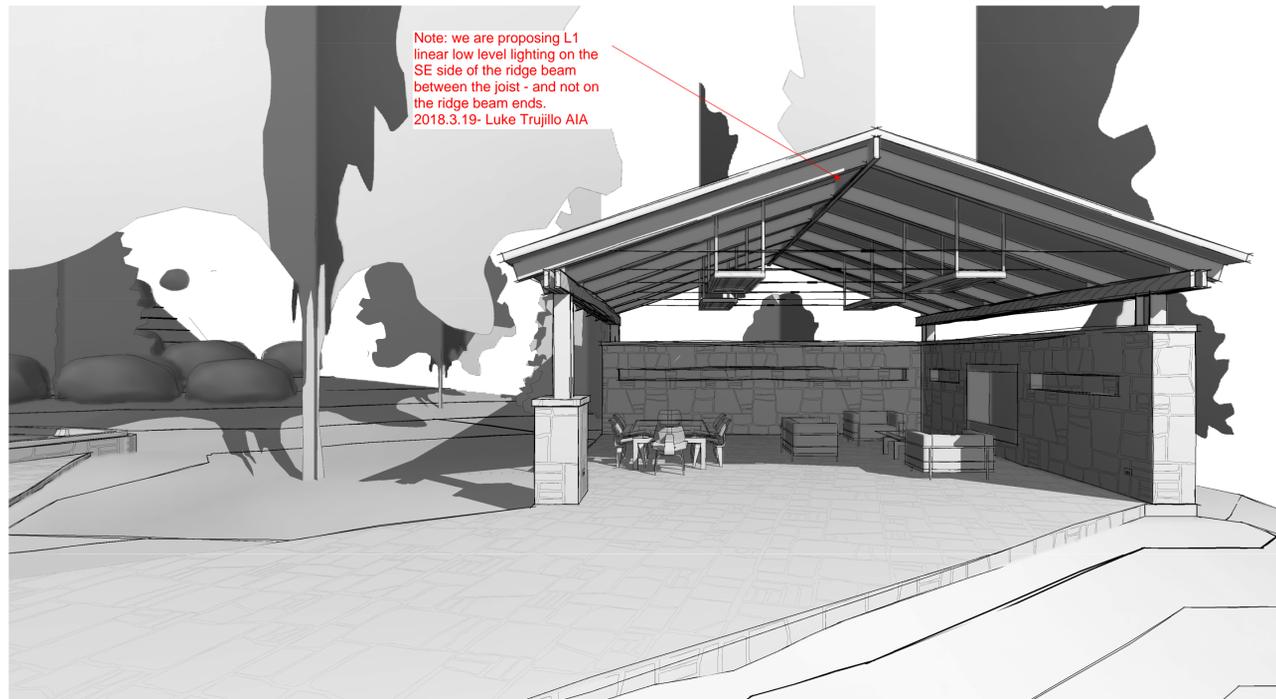
**2 Master Bridge**  
1/4" = 1'-0"



#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

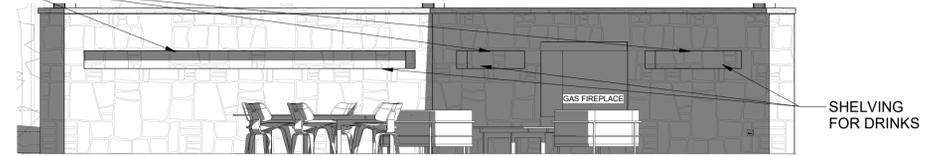
Project number	Roche
Print Date	3/15/2018 6:19:09 PM
Modeled by	LB
Checked by	Luke
Scale	1/4" = 1'-0"

2018.03.15



LED LIGHT STRIP  
ACROSS TOP

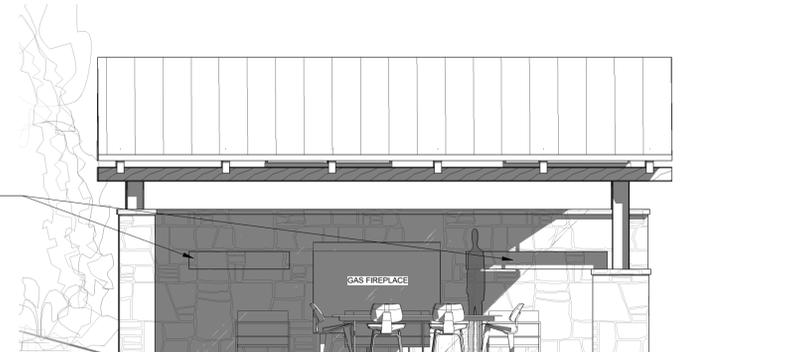
Note: all lighting to be coordinated with AE Design lighting plans.



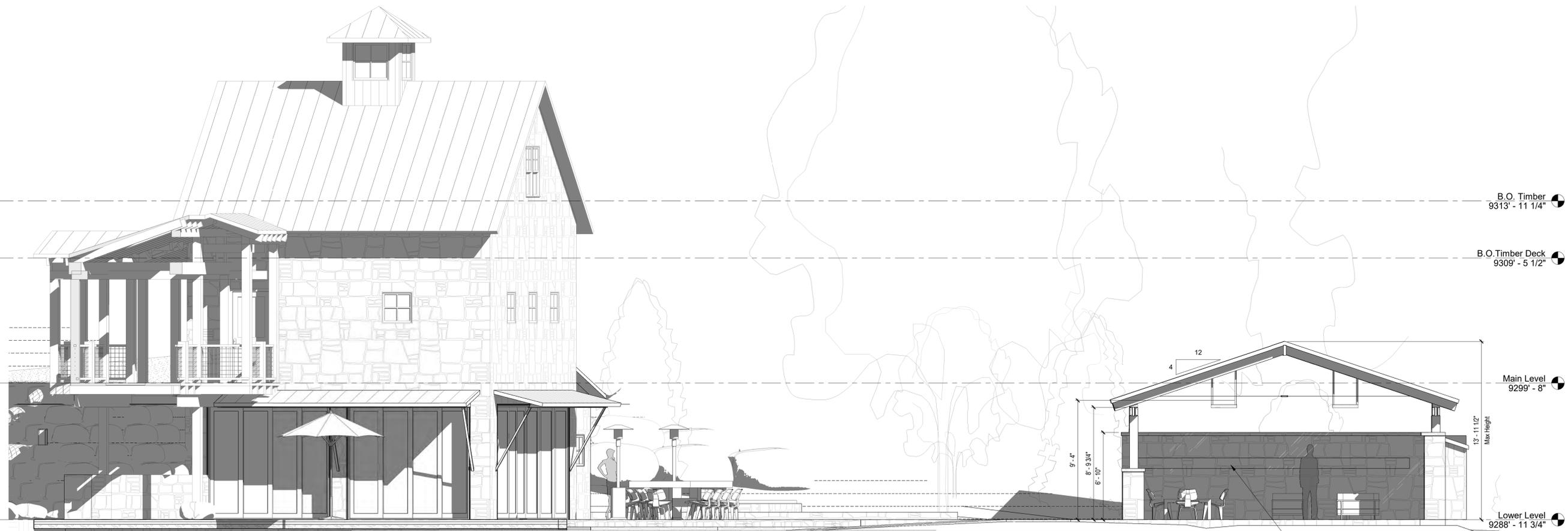
1 Fireplace  
1/4" = 1'-0"



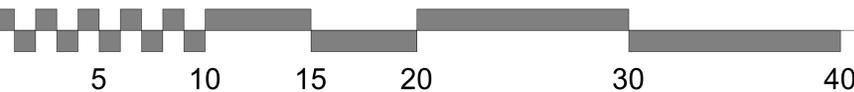
NOTE: RECESSED STONE WORK TO ALLOW DRINKS AND SNACKS - DOWN LIT LED LIGHTS TO BE WIRED AND INTEGRATED.



2 Fireplace West  
1/4" = 1'-0"



3 Fireplace South  
1/4" = 1'-0"



NOTE: RECESSED STONE WORK TO ALLOW DRINKS AND SNACKS - DOWN LIT LED LIGHTS TO BE WIRED AND INTEGRATED.

#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.28

Project number	Roche
Print Date	3/15/2018 6:19:24 PM
Modeled by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

2018.03.15

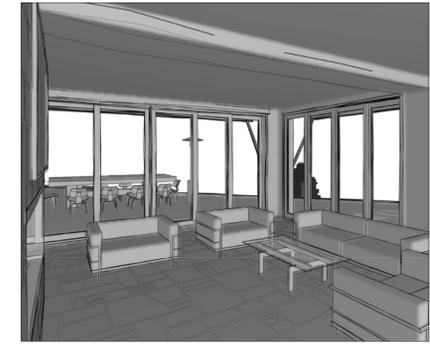
A204

Elevations

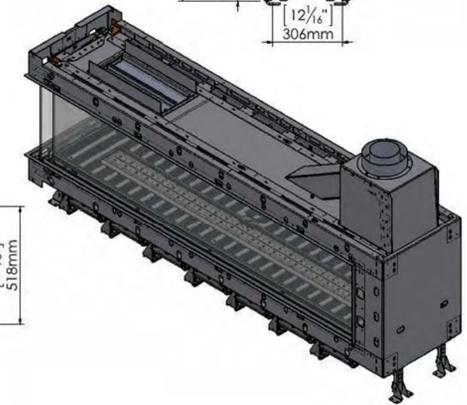
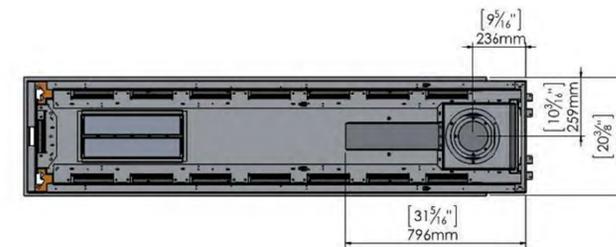
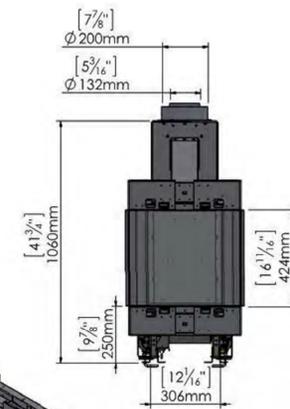
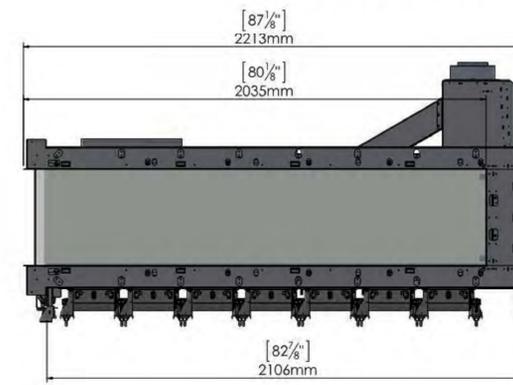
3/15/2018 6:19:24 PM



NOTE: THIS IS A STORAGE CLOSET IN THE BACK



**ORTAL** 200 Space Creator  
YOUR LIFE. YOUR FIRE Double Glass



NOTE: 3-WAY FIREPLACE MAKES THIS ROOM APPEAR LARGER

- MICROWAVE
- MINI FRIDGE WITH ICE MAKER
- DISHWASHER
- BAR
- SLEEPER SOFA



#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.04
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.26

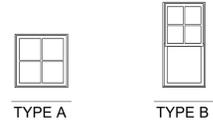
Project number Roche  
Print Date 3/15/2018 6:20:01 PM  
Modeled by Author  
Checked by Checker  
Scale

2018.03.15

A205

#	SUBMISSION	DATE
1	AS-BUILT	17.08.24
2	FIRST REVISION	17.11.14
3	SECOND REVISION	17.12.24
4	THIRD REVISION	18.01.07
5	FOURTH REVISION	18.02.26

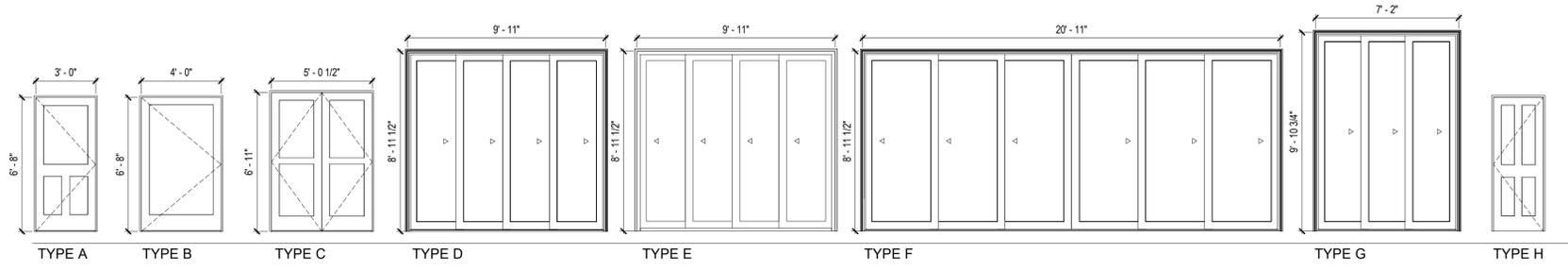
Window Schedule										
Type Mark	Type	Height	Width	Sill Height	Head Height	Manufacturer	Model	Finish	Description	Comments
A	Fixed 4 Panel	2' - 6"	2' - 6"	4' - 2"	6' - 8"					
A	Fixed 4 Panel	2' - 6"	2' - 6"	4' - 2"	6' - 8"					
B	Casement	5' - 0"	2' - 0"	2' - 2"	7' - 2"					
B	Casement	5' - 0"	2' - 0"	2' - 2"	7' - 2"					
B	Casement	5' - 0"	2' - 0"	2' - 2"	7' - 2"					
B	Casement	5' - 0"	2' - 0"	2' - 2"	7' - 2"					
B	Casement	5' - 0"	2' - 0"	2' - 2"	7' - 2"					
C	Casement	5' - 0"	3' - 0"	2' - 2"	7' - 2"					
D	Fixed	5' - 0"	6' - 6"	2' - 2"	7' - 2"					
E	Fixed	5' - 0"	4' - 6"	2' - 2"	7' - 2"					



Window Type  
1/4" = 1'-0"

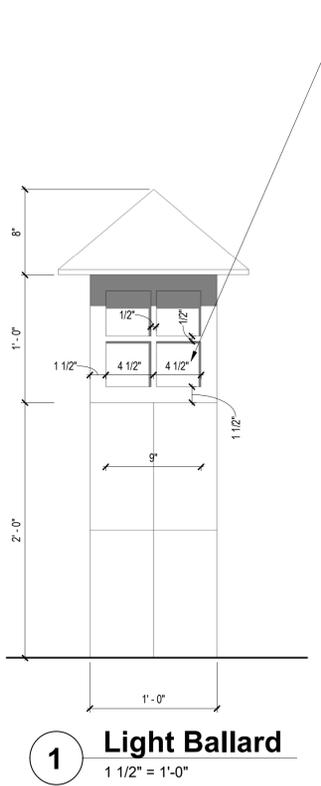
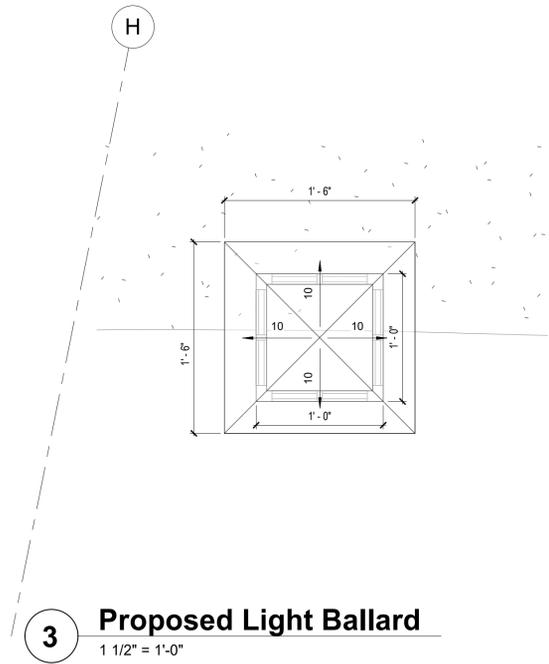
Door Schedule										
Mark	Door Type	Family	Height	Width	Manufacturer	Finish	Description	Comments		
101 A	F	Door-Multi Slide Stacked Bi Parting	8' - 11 1/2"	20' - 11"						
101 B	D	Door-Multi Slide Stacked Uni Directional	8' - 11 1/2"	9' - 11"						
101 C	D	Door-Multi Slide Stacked Uni Directional	8' - 11 1/2"	9' - 11"						
101 D	H	Door-Interior-Single-4_Panel-Wood	6' - 8"	2' - 6"						
102 A	H	Door-Interior-Single-4_Panel-Wood	6' - 8"	2' - 6"						
102 B	A	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad	6' - 8"	3' - 0"						
103 B	H	Door-Interior-Single-4_Panel-Wood	6' - 8"	2' - 6"						
103 C	B	Door-Exterior-Single-Entry-Full Glass	6' - 8"	3' - 0"						
105	B	Door-Exterior-Single-Entry-Full Glass	6' - 8"	4' - 0"				Replace Existing Door		
108	B	Door-Exterior-Single-Entry-Full Glass	7' - 2"	3' - 0"						
200	G	Door-Multi Slide Stacked Uni Directional	9' - 10 3/4"	7' - 2"						

NOTE: ALL BATHROOM TO HAVE TOWEL HEATERS



Door Types  
1/4" = 1'-0"

Project number	Roche
Print Date	3/15/2018 6:20:02 PM
Modeled by	Author
Checked by	Checker
Scale	1/4" = 1'-0"



NOTE: OPAQUE GLASS PANELS TO BE PLACED IN THE DESIGN WITH FULL 40W CUT & DOWNLIT LED LIGHT LOCATED INSIDE THE BOLLARD. THESE LIGHTING BOLLARDS ARE FOR SAFETY AT THE STEEP DRIVE, AND ARE MINIATURE MATCHES OF THE EXISTING LARGE ADDRESS MONUMENT CURRENTLY IN PLACE AND EXISTING.



Specialty Equipment Schedule					
Family	Count	Manufacturer	Model	Description	Comments
Dishwasher	1				
Hanging Heater	5				
Heat Lamp	2				
Hot Tub	1				
Interior 3 Sided Gas Fire	1				
Microwave	1				
Outdoor Gas Fireplace	1				
Over Head Door Shades	1				
Small Fire Place	1				
Wall TV	1				

Plumbing Schedule					
Family	Room: Name	Manufacturer	Model	Description	Comments
Shower Head and Controls	Shower				
Shower Head and Controls	Shower				
Sink	Coffee Bar				
Sink Faucet	Entertainment Room				
Sink Faucet	Lower PWDR				
Small Sink	Entertainment Room				
Small Sink	Lower PWDR				
Toilet	Lower PWDR				

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1	AS-BUILT	17.08.24
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5	FOURTH REVISION	18.02.28

Project number	Roche
Print Date	3/15/2018 6:20:11 PM
Modeled by	Author
Checked by	Checker
Scale	1 1/2" = 1'-0"

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3/15/2018 6:20:11 PM



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
SUBMITTAL 2018-03-15

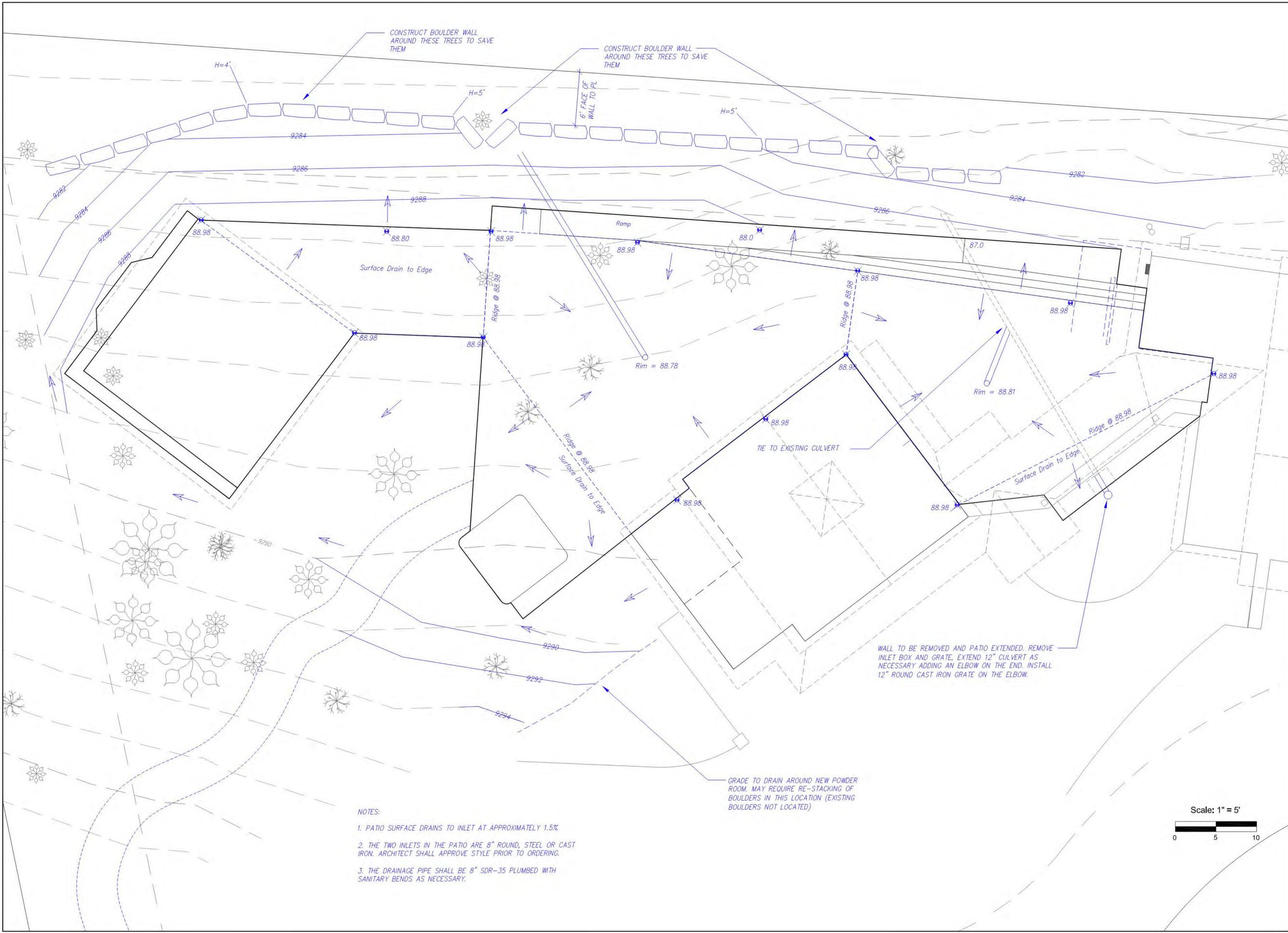
139 A.J Drive  
Mtn. Village, CO

NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading  
and  
Drainage  
Plan

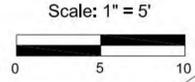
C1



- NOTES:
1. PATIO SURFACE DRAINS TO INLET AT APPROXIMATELY 1.5%
  2. THE TWO INLETS IN THE PATIO ARE 8" ROUND, STEEL OR CAST IRON. ARCHITECT SHALL APPROVE STYLE PRIOR TO ORDERING.
  3. THE DRAINAGE PIPE SHALL BE 8" SDR-35 PLUMBED WITH SANITARY BENDS AS NECESSARY.

WALL TO BE REMOVED AND PATIO EXTENDED. REMOVE INLET BOX AND GRATE, EXTEND 12" CULVERT AS NECESSARY ADDING AN ELBOW ON THE END. INSTALL 12" ROUND CAST IRON GRATE ON THE ELBOW.

GRADE TO DRAIN AROUND NEW POWDER ROOM. MAY REQUIRE RE-STACKING OF BOULDERS IN THIS LOCATION (EXISTING BOULDERS NOT LOCATED)





**COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**Agenda Item #9**

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**TO:** Design Review Board

**FROM:** Michelle Haynes, Planning and Development Services Director

**FOR:** Meeting of March 29, 2018

**DATE:** March 21, 2018

**RE:** Worksession regarding a Community Development Code (CDC) Amendment to Village Center Roofing requirements to allow for a broader roof material palette pursuant to DRB approval and consider staff level review of roof material on dormer and secondary roof forms.

---

**BACKGROUND**

At our last meeting held on March 1, 2018, the Design Review Board (DRB) requested to continue the Village Center roof discussion. Staff offered to provide a draft Community Development Code amendment to broaden the range of Class 3, Design Review Board review of roofing materials that could be considered in the Village Center.

**ATTACHMENTS**

1. Proposed CDC Amendment
2. Comments from DRB member regarding the CDC roofing code amendment provided via email

**EXPLANATION OF PROPOSED CDC AMENDMENT**

The community has expressed some urgency to allow greater consideration of roofing materials prior to the upcoming building season for a few reasons: 1) Lack of availability of burnt sienna roofing tiles; 2) Consider broader range of roofing materials due to the limited availability of roofing tiles; 3) Consider modifying the review process to allow dormer and secondary roof material to be reviewed by a Class 1 application and staff level review (unless elevated).

The CDC limits the allowable roofing materials in the Village Center to concrete burnt sienna tile or a synthetic material that emulates concrete tile. The CDC language reads as follows:

- d. Village Center roofing material shall be concrete tile or synthetic materials that emulate concrete tile of the color burnt sienna except for special copper accent roofs that shall require specific approval of the DRB.

The purpose and intent of the roof material requirement was to create a European village feel to the Village Center and distinguish the Village Center from the rest of the community as the primary pedestrian, accommodations and commercial core. Through a series of work sessions, the DRB has come to understand that chalet style architecture and design theme can be achieved through several design requirements, consider expanding roofing material options, while maintaining a chalet design theme. Roof pitch and slope, decorative metal and timber

elements, geometry of entries, windows, decks and floor levels all contribute to chalet style design.

Staff has provided the following CDC amendment for your discussion.

- 1) Allow copper as a permitted roof material outside of the Village Center.
- 2) Include a list of appropriate Village Center roof materials that will require the DRB to review with the finding that with site specific review and the approved roofing material is found to be consistent with town design theme and applicable design regulations.
- 3) Allow dormers and secondary roof form materials (per the list) in the Village Center to be approved as a Class 1 staff level application.

### **EXISTING RELEVANT CDC REGULATIONS ASSOCIATED WITH ROOF DESIGN IN THE VILLAGE CENTER**

Finally, as a point of information, roof design review applications also consider the following CDC regulations in the Village Center. I have only provided relevant excerpts from the CDC.

#### **3. Roof Material**

- a. All roofing material shall be of a type and quality that will withstand high alpine climate conditions.
3. Due to heavy snowfall experienced in the area, all site plans shall provide a snow shed and storage plan for roofs, walkways and drives. Areas of snow or ice shedding from roofs shall be shown along with methods to protect pedestrian and/or vehicular traffic from injury or damage.

#### **C. Roof Form**

##### **1. Roof Design Elements**

- c. Roofs shall be designed and insulated to ensure valleys, areas over wall top plates and other similar building spaces do not form ice dams and to prevent the need for heat tracing.
- f. The design of roofs shall reflect concern for snow accumulation and ice/snow shedding. Entries, walkways and pedestrian areas shall be protected from ice/snow shedding.
- g. Eaves and fascia shall generally be responsive and proportional to the design of the building.

##### **2. Roof Drainage**

- a. Where roofs drip onto pedestrian or other public areas, all multi-family, mixed use or commercial buildings shall provide a system of gutters, downspouts and permitted heat-tape to direct and channel roof run-off into the project's landscape areas and to prevent ice build-up in pedestrian areas. In non-pedestrian or public areas, roofs may drip to cobble lined swales that direct water to the natural or proposed landscape.
- b. All development within the Village Center shall be required to provide an integral guttering system designed into the roof or other DRB approved system of gutters, downspouts and heat-tape to contain roof run-off.
- c. Within the Village Center, all building roof run-off shall be directed to storm sewers or drainage systems capable of handling the volume of run-off. Such

system shall be kept and maintained by the owner and/or respective homeowners association in a clean, safe condition and in good repair.

h. Roof flashing, Gutters Downspouts and Similar Hardware:

i. In the Village Center, all exposed metal flashing, gutters, downspouts and other roof hardware shall be copper except when either structural requirements dictate the use of stronger materials such as for snow fences.

iii. When steel or iron are used, they shall be either rusted to match the roof or finished with a baked on enamel paint or, subject to the prior approval of the review authority, a silicon modified alloy or special epoxy paint system of a color approved by the review authority.

**4. Pedestrian Protection.** Due to the potential for heavy snow accumulation, snow shedding shall be expected from sloping roofs onto the adjoining finished grades. It is therefore important that people, structures and improvements be protected from these potential impact loads.

a. All building entries and shop fronts shall be located at gable ends of buildings or shall be protected by secondary roofs, arcades, balconies or similar structures when they are subject to snow or ice shedding.

b. Structures, improvements and other pedestrian/public areas shall be protected by structural snow retention devices and other measures, such as snow fences and heat traced gutters.

c. Snow retention devices shall be designed by a registered, Colorado professional engineer to support structural loads.

**CONCLUSION**

Please discuss and provide direction to staff regarding a proposed CDC roofing amendment (see attachment #1) to the Village Center with an ancillary amendment to allow copper as a permitted material outside of the Village Center. Understanding that applicants also must demonstrate a replaced or new roof material will require that snow shed, snow loads, drainage and structural design be reviewed at the same time.

/mbh

**1. Roof Material**

- a. All roofing material shall be of a type and quality that will withstand high alpine climate conditions.
- b. The review authority may require class A roofing materials as a fire mitigation measure.
- c. Permitted roof material outside the Village Center include:
  - i. Rusted, black or gray standing seam or corrugated metal;
  - ii. Zinc;
  - iii. Minimum 1/2" slate; and
  - iv. Synthetic materials that have been approved by the Design Review Board for general use after having been used on individual projects and the Board makes the finding that the material has proven to meet the standards stated below.
  - v. Copper;
    - (a) Copper shall only be considered when it is proposed with a brown or verde patina finish where visible except for the Village Center where a verde patina finish is required.
    - (b) The copper finish shall be completed prior to issuing a certificate of occupancy.
- d. Village Center roofing material will require a Class 3 Design Review Board application and building specific design review. The following materials may be approved by the DRB if the DRB finds the roofing material is consistent with the town design theme and applicable Design Regulations:
  - i. Burnt sienna concrete tile
  - ii. Synthetic material that emulates burnt sienna concrete tile or slate
  - iii. Copper
  - iv. Galvanized standing seam metal (not rusted or reflective)
  - v. Zinc
  - vi. Slate
  - vii. A contextually compatible roofing material in design, theme and durability that represents a proven emerging technology (e.g. solar roof tiles).

d.1.Modification to roof material found on dormers and secondary roof forms may be reviewed as a Class 1 design review application.

~~d. shall be concrete tile or synthetic materials that emulate concrete tile of the color burnt sienna except for special copper accent roofs that shall require specific approval of the DRB.~~
- e. The following roofing materials may be approved by the DRB as a specific approval that is processed as a class 3 development application if the DRB finds the roofing material is consistent with the town design theme and the applicable Design Regulations:
  - i. ~~Copper;~~

~~(a) Copper shall only be considered when it is proposed with a brown or verde patina finish where visible except for the Village Center where a verde patina finish is required.~~

~~(b) The copper finish shall be completed prior to issuing a certificate of occupancy.~~

~~ii.i.~~ Galvanized corrugated or standing seam metal (not rusted or reflective);

~~ii.ii.~~ Synthetic roofing material that accurately emulates wood shake, concrete and slate tile or any other roofing material permitted or existing in Mountain Village.

(a) Synthetic roofing material shall be:

- (i.) Durable
- (ii.) High strength, both material and shape;
- (iii.) Low absorption or permeability;
- (iv.) High freeze/thaw damage resistance;
- (v.) Color throughout the tile (not surface applied); and
- (vi.) High-quality design that fits within the architectural context of the building and the architectural context of the surrounding area.

f. The following requirements are applicable to all roofing:

- i. Metal roofing surface shall not reflect an excessive amount of light when viewed against direct sunlight.
- ii. Unless the DRB grants a specific approval for a non-rusted metal roof, corrugated and standing seam roofing materials shall be pre-treated to produce rusting prior to placement on the roof, and prior to the issuance of a certificate of occupancy.

g. The installation or re-installation of wood shakes, glazed tile and asphalt shingles is prohibited, except for the repair or replacement of ~~wood shake roof~~ areas that are 25% or less of the total roof surface area.

h. Roof flashing, Gutters Downspouts and Similar Hardware:

- i. In the Village Center, all exposed metal flashing, gutters, downspouts and other roof hardware shall be copper except when ~~either~~ structural requirements dictate the use of stronger materials such as for snow fences.
- ii. In all other areas, other metal guttering besides copper may be approved by the review authority to allow it to match roofing material, such as the use of rusty steel guttering on a rusty metal roof.
- iii. When steel or iron are used, they shall be either rusted to match the roof or finished with a baked on enamel paint or, subject to the prior approval of the review authority, a silicon modified alloy or special epoxy paint system of a color approved by the review authority.

**From:** [Michelle Haynes](#)  
**To:** [Dan and Greer Garner](#)  
**Subject:** Re: March 29th DRB Meeting  
**Date:** Friday, March 16, 2018 5:48:31 PM

---

On Mar 16, 2018, at 3:58 PM, Dan and Greer Garner <[garnerdr64@gmail.com](mailto:garnerdr64@gmail.com)> wrote:

Hi Michelle - I have read the roofing materials section you attached. Overall, I think it sounds fine although the board may want to tweak it some. I had two items I wondered about: d. ii. on the first page: "synthetic materials that emulates burnt sienna tile or slate"--I'm fine with the slate as some of the homes have this material and it looks good; I would want to make sure the synthetic burnt sienna was a close approximation of the original and not noticeably artificial looking. On top of page 2, ii: "Galvanic corrugated or standing seam metal etc.": I would want some clarity around corrugated metal roofs as I recall a while back some on the board expressed concern about the longevity of this roofing product and other issues related to its durability. Overall, I think the document captures what the board is trying to accomplish.  
Greer

On Fri, Mar 16, 2018 at 10:03 AM, Michelle Haynes  
<[MHaynes@mtnvillage.org](mailto:MHaynes@mtnvillage.org)> wrote:

Greer:

I plan to circulate a draft roofing code amendment for comments. I have attached it here. If you would like to call me or provide an email with some comments that would be helpful since you will not be attending the meeting.

Thank you.

Michelle Haynes, MPA

Planning and Development Services Director

Town of Mountain Village

[455 Mountain Village Blvd. Suite A](#)  
Mountain Village, CO 81435

O:: [970-239-4061](tel:970-239-4061) – *PLEASE NOTE NEW OFFICE PHONE NUMBER*

M:: [970-417-6976](tel:970-417-6976)

[mhaynes@mtnvillage.org](mailto:mhaynes@mtnvillage.org)



**From:** Dan and Greer Garner [mailto:[garnerdr64@gmail.com](mailto:garnerdr64@gmail.com)]  
**Sent:** Friday, March 16, 2018 9:53 AM  
**To:** Jane Marinoff <[JMarinoff@mtnvillage.org](mailto:JMarinoff@mtnvillage.org)>; Michelle Haynes <[MHaynes@mtnvillage.org](mailto:MHaynes@mtnvillage.org)>  
**Subject:** March 29th DRB Meeting

Hi Jane and Michelle - I will be unable to make the March 29th DRB meeting due to being out of town during that time period. I will be making the next meeting though.

Wishing you both well,

Greer

--

**Greer Garner**

**Telluride, CO**

--

**Dan and Dr. Greer Garner**  
**Telluride, CO**

--

**Dan and Dr. Greer Garner**  
**Telluride, CO**

# SIGN-IN SHEET

DRB WORKSHOP Meeting  
THURSDAY March 29, 2018  
Please write clearly

ATTENDEE NAME (PLEASE PRINT CLEARLY)	EMAIL ADDRESS
<del>B. STEPHAN</del>	
Paul Hoskinson CIDM Garnett Beauford T.M.V.O.A.	Phoskinson@Cedee.com
K- IRP Dabod IR skphanner	