

**TOWN OF MOUNTAIN VILLAGE  
REGULAR DESIGN REVIEW BOARD MEETING  
THURSDAY SEPTEMBER 6, 2018 10:00 AM  
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO  
AGENDA**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	5	Starr	Action	Reading and Approval of Summary of Motions for the August 2, 2018 Design Review Board Meeting.
3.	10:05	60	Starr	Initial Architecture and Site Review	Consideration of an Initial Architectural Site Review for a New Single-Family Home on Lot AR-49, 116 Adams Way
4.	11:05	60	Starr	Public Hearing, Quasi-Judicial Action	Consideration of a Final Review Application for a New Single-Family Home on Lot 165-11, 220 Cortina Drive
5.	12:05	5	Haynes	Information	Other Business
6.	12:10				Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)  
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435  
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: [cd@mtnvillage.org](mailto:cd@mtnvillage.org). We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**SUMMARY OF MOTIONS  
TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD MEETING  
THURSDAY, AUGUST 2 2018**

**Call to Order**

DRB Chair Banks Brown called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:02 a.m. on Thursday, August 2, 2018 in Palmyra Conference Room at 415 Mountain Village Boulevard Mountain Village, CO 81435.

**Attendance**

**The following Board/Alternate members were present and acting:**

Banks Brown  
Liz Caton (Alternate)  
Phil Evans  
Greer Garner  
David Eckman  
Luke Trujillo

**The following Board members were absent:**

Keith Brown  
David Craige  
Jean Vatter (Alternate)

**Town Staff in attendance:**

Michelle Haynes, Planning & Development Services Director  
Sam Starr, Planner  
Chris Broady, Chief of Police

**Public in attendance:**

Narcis Tudor	<a href="mailto:info@narcistudor.com">info@narcistudor.com</a>
John and Elizabeth Raese	Not Provided
Mary Brinton	<a href="mailto:mtpeaks.maryb@gmail.com">mtpeaks.maryb@gmail.com</a>
Jaime Dugaard	<a href="mailto:jaimie@centerskyarchitecture.com">jaimie@centerskyarchitecture.com</a>

**Executive Session for the Purpose of Receiving Legal Advice Pursuant to C.R.S 24-6-402(b) and for the Purpose of Negotiations Pursuant to C.R.S 24-6-402(4)e.**

On a **Motion** made by David Eckman and seconded by Phil Evans, DRB voted 6-0 to enter into executive session for the purpose of receiving legal advice pursuant to C.R.S. 24-6-402(b), and for the purpose of negotiations pursuant to C.R.S 24-6-402(4)e.

Chairman Banks Brown concluded executive session and returned to regular session at 10:36 a.m.

**Reading and Approval of Summary of Motions for the July 12, 2018 Design Review Board Meeting.**

On a **Motion** made by Greer Garner and seconded by Luke Trujillo, the DRB voted 6-0 to approve the July 12<sup>th</sup>, 2018 Design Review Summary of Motions.

**Consideration of a Minor Revisions Application for Design Variations to an Address Monument at Lot 1151, 132 High Country Road.**

Planning and Development Services Director Michelle Haynes presented the consideration of a minor revisions application for design variations to an address monument at Lot 1151, 132 High Country Road. Applicants John and Elizabeth Racy represented themselves.

No public comment was provided.

On a **Motion** made by Phil Evans and seconded by Greer Garner, the DRB voted 6-0 to deny the minor revisions application for Lot 1151, 132 High Country Road, with the following findings:

1. *The design variation is not the minimum necessary to allow for the achievement of the intended design objectives.*
2. *The design variation does have an unreasonable negative impact on the surrounding neighborhood because it is out of scale and context and a neighbor complained that it was not consistent with the CDC nor the neighborhood.*

**Consideration of an Initial Architectural Site Review for a New Single-Family Home on Lot 165-11, 210 Cortina Drive.**

Planner Sam Starr presented the Initial Architectural Site Review for a new single-family home on Lot 165-11, 210 Cortina Drive. Jaimie Dugaard of Centre Sky Architecture presented on behalf of the owner. Board Member David Eckman recused himself from this matter on account of a conflict of interest with this agenda item.

No public comment was provided.

On a **Motion** made by Phil Evans and seconded by Greer Garner, the DRB voted 5-0 to approve the Initial Architectural Site Review application for Lot 165-11 with the following conditions:

1. *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
2. *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
3. *Prior to issuance of a CO the owners of Lot 165 unit 11 will enter in to a General Easement Encroachment/RROW Agreement with the Town of Mountain Village for the exterior parking, retaining wall and driveway abutments in the eastern GE and the backing area in the Cortina RROW.*
4. *Applicant reconsider chimney height and slope based on conversations held at the August 2<sup>nd</sup>, 2018 Design Review Board Meeting.*

**Consideration of a Final Review Application for a New Single-Family Home on Lot AR-31, 125 Singletree Ridge.**

Sam Starr presented the Final Review for a new single-family home on Lot AR-31, 125 Singletree Ridge. Narcis Tudor of Narcis Tudor Architects presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by Greer Garner and seconded by Luke Trujillo, the DRB voted 6-0 to approve the Final Review application for Lot AR-31 with the following conditions:

1. *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
2. *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
3. *Prior to issuance of a CO the owners of Lot AR-31 will enter in to a General Easement Encroachment/RROW Agreement with the Town of Mountain Village for the exterior parking, retaining wall and driveway abutments in the GE and the backing area in the Singletree RROW.*
4. *Applicant work with building staff to move construction fencing in, and as close to the building envelope as possible.*

**Other Business**

Michelle Haynes noted that there would be an open house with AECOM consultants on Wednesday August 12<sup>th</sup> for the community to provide input on village center programming. Haynes also stated that the Town of Mountain Village is interviewing for the vacant Senior Planner position.

**Adjourn**

On a Unanimous **Motion**, DRB voted 6-0 to adjourn the August 2, 2018 meeting of the Mountain Village Design Review Board at 12:05 p.m.

Prepared and Submitted by,

Sam Starr  
Planner  
Town of Mountain Village



**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Design Review Board  
**FROM:** Sam Starr, Planner  
**FOR:** Meeting of September 6, 2018  
**DATE:** August 30, 2018  
**RE:** Consideration of an Initial Architectural Site Review application for a new single-family dwelling on Lot AR-49, 116 Adams Way.

**PROJECT GEOGRAPHY**

**Legal Description:** Lot AR-49  
**Address:** 116 Adams Way  
**Applicant/Agent:** Michael Lauterbach/MJL Companies  
**Owner:** Heidi Lauterbach  
**Zoning:** Multi-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family Common Interest  
**Lot Size:** 0.15 Acres  
**Adjacent Land Uses:**

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Open Space

**ATTACHMENTS**

- Exhibit A: Applicant Narrative
- Exhibit B: Plan Set

**BACKGROUND**

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Initial Architectural Site Review for the development of a single-family residence. The proposed dwelling unit is located on 116 Adams Way and consists of 2149 livable square feet with 863 square feet of mechanical and garage space. The site area consists of 0.15 acres and is characterized by a substantial slope on the southern portion that has driven the design and placement of this residence.

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	35 + 5' (if gable form) maximum	33' 4"
Maximum Avg Building Height	30' + 5' (if gable form) maximum	25' 5"
Maximum Lot Coverage	65%	39%
General Easement Setbacks		
North	16' Setback	26'
South	16' Setback	40'
East	16' Setback	16'
West	10' Easement	48'
Roof Pitch		
Primary		2:12
Secondary		2:12
Exterior Material		
Stone	35%	35.02%
Wood	No requirement	33.40%
Windows/Doors	40% maximum for windows	17.20%
Metal Accents	No requirement	14.40%
Parking	2 enclosed	2 enclosed

**17.3.12.C BUILDING HEIGHT LIMITS**

The average height for the proposed design is code compliant at 28". The maximum height is 33' – 4", which falls within the maximum height allowed for a single-family home with a gabled roof. To verify that the finished product matches the proposed plans, staff recommends that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review approval as it is a construction condition.

**17.5.5 BUILDING SITING DESIGN**

Lot AR-49 is a small lot (0.15 acres) with slopes from the southern to northern portion of the site. The topography-driven siting of the home has caused portions of the driveway and the address identification sign to be in parts of the General Easement. To accommodate the structural elements in the GE, the applicant will need to enter into a General Easement Encroachment Agreement for the address monument and driveway. Staff also recommends that a monumented land survey of the footers be provided prior to pouring concrete to determine there are no further encroachments into the GE. This condition shall also be carried over to any Final Review approval as it is a construction condition.

**17.5.6 BUILDING DESIGN****Building Form and Exterior Wall Form**

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation. Moreover, the materials and form align with the character of the neighborhood.

**Roof Forms, Design and Materials**

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines, and vertical offsets. The primary roof is an offset gable with a 2:12 pitch. The secondary roof is also a 2:12 pitch. No chimneys were proposed at the time of submittal. The proposed roof material is a rusted, corrugated Corten steel.

**Exterior Wall Materials**

The exterior walls consist of 35.02% stone veneer, which will be a mixture of 4” and 8” tall Colorado Buff stone. 33.40% of the exterior materials will be 10” vertical cedar wood, while the remainder of the materiality will be 17.20% sierra pacific window fenestration with copper clad trim, and 14.40% metal accents.

**17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades of 3:1 or flatter. The driveway and other fill areas will be graded with the foundation excavation. Applicant proposes placing a series of boulders for retainage in the southern portion to ease the naturally occurring slope. A swale is also shown to assist in positive flow away from the residence.

**17.5.8 PARKING REGULATIONS**

The applicant shows 2 enclosed parking spaces, which is consistent with the requirements for a Single Family Common Interest Community. The applicant has indicated they will not be using snowmelt for the 928 square foot driveway, or for the 242 square feet of deck.

**17.5.9 LANDSCAPING REGULATIONS**

The proposed landscape plan shows 5 Malus ‘Spring Snow’ and 3 Colorado Spruce trees to be planted along with the preservation of existing aspen and spruce on site. All plantings will need to be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

<b>Landscaping Type</b>	<b>Minimum Size</b>
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.
Shrubs	5 gallon or larger massing of smaller shrubs

A formal irrigation plan has been submitted that shows a drip system, rainfall, sensor and a backflow prevention device.

**17.5.11 UTILITIES**

All shallow utilities are proposed to be run from the northern portion of the lot. Public Works requests that all utilities be field located by the contractor prior to construction.

**RECOMMENDATION**

Staff recommends the DRB approve the Initial Architecture Site Review application with the stated variations and specific approvals for Lot Ar-49, 116 Adams Way with the following conditions which shall be addressed before issuance of a building permit unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.
3. Owners of Lot AR-49 will enter into a revocable General Easement Encroachment Agreement for the address monument and driveway in the northern portion of the General Easement.

LOT AR-49  
TELLURIDE MOUNTAIN VILLAGE  
**DEVELOPMENT AND STONE NARRATIVE**  
AUGUST 1, 2018

Heidi Lauterbach and Matt Steen, Telluride Mountain Village (MV) residents and professionals, have purchased the above referenced lot in order to create a home for their personal use and enjoyment. The lot is shaped like a horseshoe with the open end of the horseshoe facing east towards an adjacent single family residence. The south, west, and north sides of the lot are contiguous to Adams Way, a cul du sac residential street in the MV. Adams Way as it surrounds the lot has been placed well above the natural contours of the lot and has been heavily retained with very tall retaining walls on three sides. Due to the surrounding road structure, the lot is likened to a ladle in appearance with a flat and lower opening to the east.

Siting of a residence on the lot is somewhat restricted by road maintenance setbacks, numerous old growth fir and aspen trees, significant steepness to the south which borders Adams Way, and the lot curvature on the west end. It was originally hoped that a modest home of two floors and three bedrooms could allow a concealed garage entrance from the east side of the structure. It was found that even though a garage door could be concealed on the east elevation, that option would require removal of additional old growth timber on the west end of the lot. It is believed that retainage of the tall trees to the west which provide a buffer from the road is a better option than concealment of the garage doors.

Utility locations found on the lot are optimum with the water stub located beneath the driveway, a sanitation connection and collection line located on the east of the building, and the phone, cable and electrical conduits located in the far southwest corner of the lot allowing an easy and concealed connection to the west side of the structure. The natural gas line which would display a meter on the front east side of the structure around the corner from the garage door also affords easy access and is located adjacent to the asphalt pavement on the north side of the structure.

The home has been designed to be well grounded with rock indigenous to Colorado. Even though the locally quarried Telluride Gold stone has not been selected, a combination of four and eight inch tall Colorado Buff beige and Colorado Buff stained which is found north of Loveland, Colorado in Masonville, Colorado, has been selected. Fortunately the stone is consistent in both height and depth and therefore horizontal grout lines can be uniform throughout and of minimal width and the mason can easily achieve the required 5" offset from contiguous windows.

Sierra Pacific windows have been chosen due to their stringent glass requirements and availability of their copper colored clad trim which will be matched in other exterior areas requiring flashing. A rusted and corrugated steel roof with a two in twelve roof slope has been selected for its' commonality to the mining structure shed roofs and to protect the home from the spread of fire. Interior insulation will be fiberglass with no foam components. Portions of the exterior will also be sided with rusted and corrugated steel while the remaining exterior walls will display 1 x 10 pine and spruce shiplap siding. We've selected Colorado pine and spruce due to its availability, abundance, and lesser shrinking attributes. Support beams, braces, and deck posts are selected to have a minimum 8 x 8 size.

Plumbing codes now require only one plumbing protrusion above the roof and that single 4" vent will be

partially hidden from view at the highest point on the rear of the westerly sloped roof. Adjacent to that protrusion will be a radon exhaust pipe which will also be partially hidden. As the living room fireplace and any natural gas fireplaces which may be added will be wall vented, no protrusions will be required for fireplace flues. The winter snow is likely to slide very slightly on the two and twelve pitch until melting begins in late March. At that point, the snow may continue to leave the roof but at a somewhat faster pace.

Other notable items to be included within the development of the home include a 1  $\frac{3}{4}$ " knotty alder wood entry door with three equal glass panels; a two foot garage door recess; significant but low profile rock retaining walls to be constructed at the rear of the home; minimal down lighting to occur only from the face of the home; the addition of shade and evergreen trees to the front of the home; and possibly most important, a covered and recessed main entrance.

After approvals and permits are obtained, it may still be possible to install a concrete foundation this fall although an early and consistent snowfall will not cause a complaint. In late March of 2019, construction will either commence or continue with completion anticipated in late 2019.

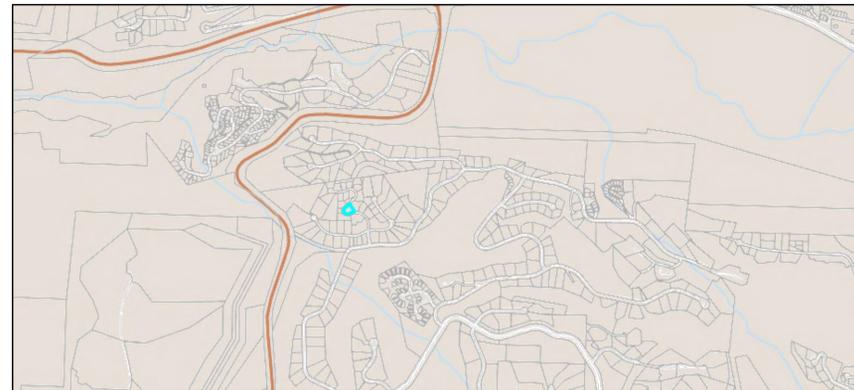


MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

# LS 2 RESIDENCE

## LOT AR - 49, 116 ADAMS WAY, TELLURIDE MOUNTAIN VILLAGE TELLURIDE, COLORADO 81435

VICINITY MAP



SITE AND BUILDING ANALYSIS

ZONING - RESIDENTIAL  
 LOT SIZE - .15 ACRES = 6482 SQ. FT.  
 MAXIMUM HEIGHT = 35'-0"  
 PROPOSED BUILDING FOOTPRINT - 1,656.97 SQ. FT.  
 DRIVEWAY AREA - 928.96 SQ. FT.  
 ROOF AREA - 2,144.50 SQ. FT.  
 GROUND SNOW LOAD = 130 LBS  
 WIND SPEED = 90 MPH  
 SEISMIC DESIGN CATEGORY C  
 FROST DEPTH 48"  
 WINTER DESIGN TEMPERATURE -15 F

LEGAL DESCRIPTION:  
 PARCEL # 456533314148

UNIT AR-49, 116 ADAMS WAY  
 THE VILLAGE AT ADAMS RANCH  
 TOWN OF MOUNTAIN VILLAGE  
 SAN MIGUEL COUNTY, COLORADO

LOT OWNER:  
 WILLIAM SPICER  
 5133 E. 18TH AVE.  
 DENVER COLORADO 80220  
 headstaple@aol.com

RESIDENTIAL IMPROVEMENTS OWNER:  
 HEIDI LAUTERBACH & MATT STEEN  
 P.O. BOX 2978  
 TELLURIDE COLORADO 81435  
 lauterbach.heidi@gmail.com

ARCHITECT:  
 STEVEN JAMES RIDEN AIA ARCHITECT PC  
 115 G STREET SALIDA, CO. 81201  
 970-389-0150  
 steve@riden1.com

CONSTRUCTION MANAGER:  
 MJL DEVELOPMENT INC  
 P.O. BOX 5026 EDWARDS, CO. 81632  
 970-471-1670  
 mjlausterbach5026@gmail.com

STRUCTURAL ENGINEER:  
 EWING ENGINEERING INC.  
 P.O. BOX 2526  
 VAIL, COLORADO 81658  
 970-949-5153  
 ewing-vail@comcast.net

SURVEYOR:  
 FOLEY ASSOCIATES, INC.  
 125 W. PACIFIC, SUITE B-1  
 TELLURIDE, COLORADO 81435  
 970-728-6153 970-728-6050 fax

TABLE OF CONTENTS DRB JULY 24, 2018

- COVER PAGE
- TOPOGRAPHIC SURVEY
- SD1 SITE DEVELOPMENT AND UTILITY PLAN
- L1 LANDSCAPE DEVELOPMENT PLAN
- CMP CONSTRUCTION MANAGEMENT PLAN
- A1 LOWER LEVEL FLOOR PLAN
- A2 MAIN LEVEL FLOOR PLAN
- A3 ROOF PLAN
- A4 BUILDING ELEVATIONS
- A5 BUILDING SECTIONS
- E1 EXTERIOR LIGHTING PLAN
- DT1 ARCHITECTURAL DETAILS



334326

REPLAT

ADAMS RANCH PARTNERS LLC

TO

VILLAGE AT ADAMS RANCH 1ST AMEND

**SURVEYOR'S CERTIFICATE**

I, J. David Foley, being a Registered Land Surveyor in the State of Colorado, do hereby certify that this map and survey of FIRST AMENDMENT TO THE COMMON OWNERSHIP COMMUNITY MAP FOR THE VILLAGE AT ADAMS RANCH (1) was made under my direct supervision, responsibility and checking (1) is true and accurate to the best of my knowledge and belief (1) is clear and legible (1) (2) contains all the information required by C.R.S. 38-33-209.

Dated this 25th day of April, 2000



J. David Foley

**NOTES**

- 1. The following abbreviations are defined for this Common Interest Community Map: C.E. Common Element L.C.E. Limited Common Element
- 2. Easement research from the Telluride Mountain Title Company, Order No. 99100031-1 dated November 16, 1999 at 245 A.M.
- 3. BASIS OF BEARINGS. The bearing along the southerly boundary of Filing 33 from the SW1/4 corner of Section 33 to the SW1/4 corner of Sections 32 and 33 assumed as the record bearing of N 82°32'11" W according to the plat of Telluride Mountain Village, Filing 33 recorded in Plat Book 1 at page 1787.
- 4. According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- 5. The Owners of Units AR-31 and AR-32 are not required to contribute to costs and expenses associated with the ownership, use and repair of Adams Way.
- 6. The Units depicted hereon will require no further setbacks as that requirement is being fulfilled within and over the LCE's and the 16' General Easements shown on each Unit. The area of a Unit is deemed to be a building envelope.
- 7. Maximum allowable height on Units AR-45 and AR-47 to be no greater than 10 feet below the maximum height allowed by the Mountain Village Land Use Ordinance, unless approved by the Owners of Units AR-31 and AR-32.
- 8. Building Envelope is that area on a lot within which all building improvements must be located. Building improvements include, but are not limited to, excavations, buildings, decks, patios, roof overhangs, play areas, swimming pools, tennis courts, and enclosed parking areas. Driveways and exterior parking shall be reviewed by the DRB on an individual basis to determine location in relationship to the designated Building Envelope. Site topography, tree clearing, adjacent properties, etc., shall be considered by the DRB in regard to driveway and exterior parking locations.
- 9. 16' General easement and utility easements shown hereon shall benefit the Telluride Mountain Village Metro District and The Village at Adams Ranch Homeowner's Association.
- 10. For Units AR-37, AR-39, AR-40, AR-41, AR-45 and Units AR-47 through AR-50 inclusive, the maximum building footprint is not to exceed 2800 square feet and the maximum total residential building square footage is not to exceed 4500 square feet per each building envelope.
- 11. Plat notes 6, 8, 9 and 10 were placed upon this Plat at the request of the Town of Mountain Village. Plat notes 3 and 7 were placed upon this Plat at the request of Adams Ranch Partners, LLC pursuant to conditions the real estate contract for purchase of Units AR-31 and AR-32.

**OWNERSHIP CERTIFICATE**

KNOW ALL PERSONS BY THESE PRESENTS that Adams Ranch Partners, LLC, a Colorado limited liability company, being the Declarant of THE VILLAGE AT ADAMS RANCH, has reconfigured unit boundaries and common elements and has created new units and new common elements as shown on this plat and as set forth in the Amendment to the Declaration of Covenants, Conditions, and Restrictions for THE VILLAGE AT ADAMS RANCH recorded at Reception No. \_\_\_\_\_

IN WITNESS WHEREOF, the Declarant hereby executes this Certificate on this 25th day of April, 2000.

DECLARANT: Adams Ranch Partners, LLC, a Colorado limited liability company

By: [Signature] Eric Garcia

**ACKNOWLEDGEMENT**

STATE OF Colorado ) ss  
COUNTY OF San Miguel

The foregoing was subscribed and sworn to me before this 25th day of May, 2000, by

Witness my hand and official seal. My commission expires May 6, 2004

[Signature] John L. Christensen  
Notary Public



**NEW LEGAL DESCRIPTION OF THE VILLAGE AT ADAMS RANCH, A COMMON INTEREST OWNERSHIP COMMUNITY**

Lot C-1, Adams Ranch at the Town of Mountain Village, according to the plat filed in the office of the Clerk and Recorder in Plat Book 1 at page 248B,

AND

Lot C-2R and Adams Way, Replat of Adams Ranch at the Town of Mountain Village, according to the plat filed in the office of the Clerk and Recorder in Plat Book 1 at pages \_\_\_\_\_ County of San Miguel, State of Colorado.

**LEGAL DESCRIPTION OF NEW AREA TO BE ADDED TO THE VILLAGE AT ADAMS RANCH, A COMMON INTEREST OWNERSHIP COMMUNITY**

A portion of Lot C-2R and Adams Way, Replat of Adams Ranch at Town of Mountain Village, according to the plat recorded in the office of the Clerk and Recorder in Plat Book 1 at pages \_\_\_\_\_ further described as follows: Beginning at the northeast corner of said Lot C-2R; Thence S 14°26'34" W, 121.18 feet along the easterly boundary of said Lot C-2R; Thence S 05°32'17" E, 249.71 feet along the easterly boundary of said Lot C-2R; Thence S 82°43'22" W, 20.01 feet; Thence S 69°34'42" W, 89.18 feet; Thence S 70°33'37" W, 88.08 feet; Thence S 44°02'33" W, 16.30 feet; Thence S 52.46 feet along a tangential curve concave to the northwest with a radius of 200.00 feet and a delta angle of 15°01'44"; Thence S 59°04'16" W, 41.45 feet; Thence S 18°47'08" W, 29.04 feet; Thence 67.03 feet along a non-tangential curve concave to the south with a radius of 45.00 feet, a delta angle of 82°20'22" a chord which bears S 64°06'55" W for a chord distance of 61.00 feet; Thence N 90°00'00" W, 73.43 feet to the westerly boundary of said Lot C-2R; Thence W 01°30'00" E, 293.49 feet along the westerly boundary of said Lot C-2R; Thence 41.28 feet along a non-tangential curve concave to the north with a radius of 290.00 feet, a delta angle of 08°09'05"; a chord which bears N 89°19'45" W for a chord distance of 41.22 feet along the southerly boundary of said Lot C-2R; Thence S 22°35'54" W, 202.53 feet along the boundary of said Lot C-2R; Thence N 52°31'03" 210.00 feet along the boundary of said Lot C-2R; Thence N 27°01'20" E, 249.50 feet along the westerly boundary of said Lot C-2R; Thence N 61°38'59" E, 585.53 feet to the Point of Beginning. Town of Mountain Village, County of San Miguel, State of Colorado.

**SECURITY INTEREST HOLDER'S CONSENT**

The undersigned Lane Star Bank, as a beneficiary of a deed of trust which constitutes a lien upon the Declarant's property, recorded at Reception No. \_\_\_\_\_ in the San Miguel County Clerk and Recorder's real property records, hereby consents to this map.

Name: \_\_\_\_\_  
Date: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Title: \_\_\_\_\_

State of Colorado ) ss  
County of San Miguel  
Filed for record in \_\_\_\_\_  
and duly recorded in Plat Book \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_  
GAY CAPPIS  
County Clerk & Recorder  
By \_\_\_\_\_ Deputy  
Fees: \$30.00

**ACKNOWLEDGEMENT**

State of \_\_\_\_\_ ) ss  
County of \_\_\_\_\_

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_ A.D. by \_\_\_\_\_ of Lane Star Bank.

My commission expires \_\_\_\_\_  
Witness my hand and seal.

Notary Public

**SECURITY INTEREST HOLDER'S CONSENT**

The undersigned WestStar Bank, as a beneficiary of a deed of trust which constitutes a lien upon the Declarant's property, recorded at Reception No. \_\_\_\_\_ in the San Miguel County Clerk and Recorder's real property records, hereby consents to this map.

Name: \_\_\_\_\_  
Date: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Title: \_\_\_\_\_

**ACKNOWLEDGEMENT**

State of \_\_\_\_\_ ) ss  
County of \_\_\_\_\_

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_ A.D. by \_\_\_\_\_ of WestStar Bank.

My commission expires \_\_\_\_\_  
Witness my hand and seal.

Notary Public

**RECORDER'S CERTIFICATE**

This map was filed for record in the office of the County Clerk and Recorder of San Miguel County on the \_\_\_\_\_ day of \_\_\_\_\_, 2000, at Reception No. 334326 Time 9:16 AM.

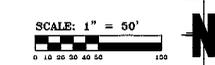
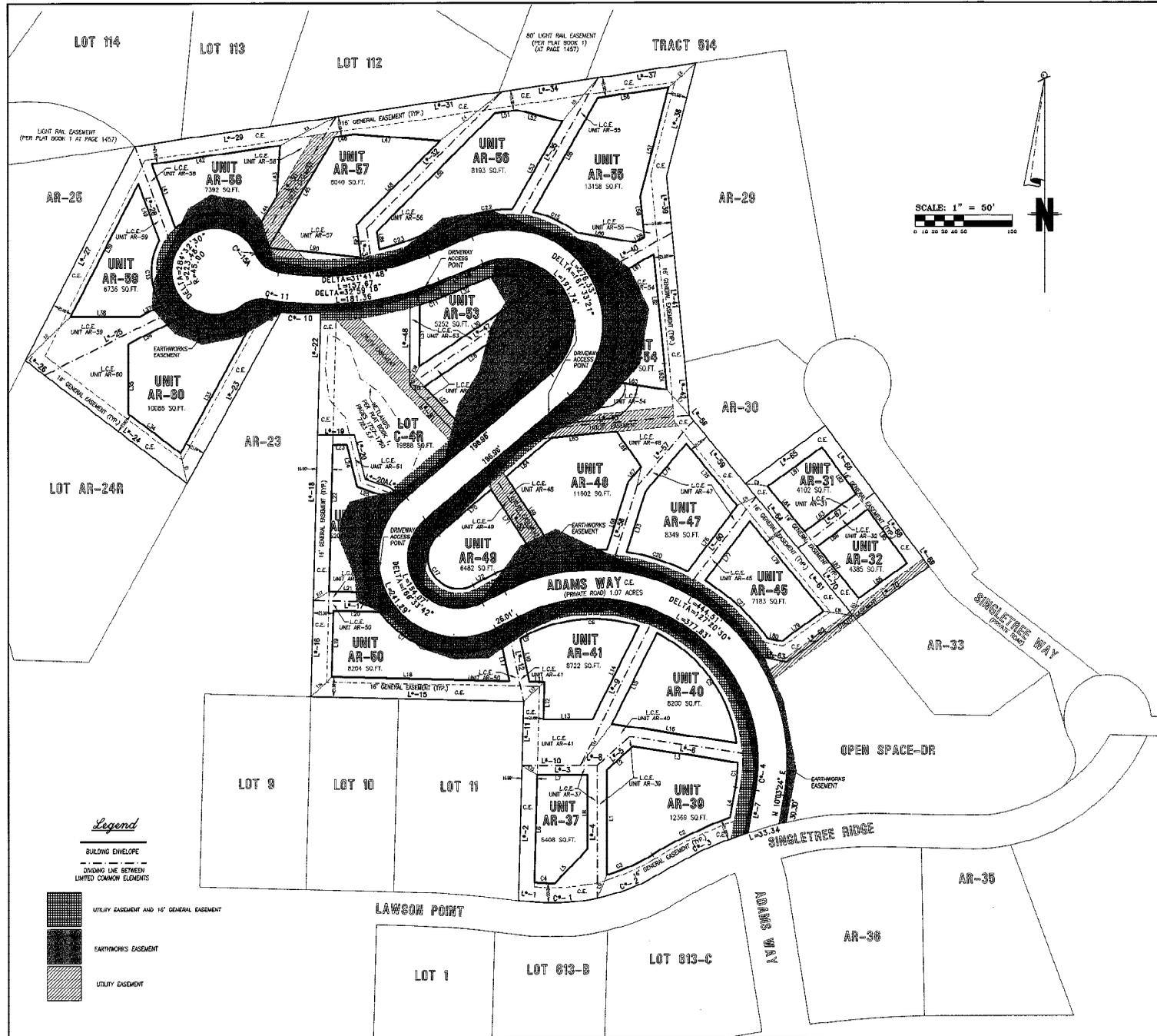
[Signature] San Miguel County Clerk



PAGE 2715

FIRST AMENDMENT TO THE COMMON OWNERSHIP COMMUNITY PLAT FOR THE VILLAGE AT ADAMS RANCH  
A COMMON INTEREST OWNERSHIP COMMUNITY  
LOCATED ON LOTS C-2AR, C-2BR, C-2CR AND ADAMS WAY, REPLAT OF ADAMS RANCH AT TOWN OF MOUNTAIN VILLAGE

Project No: 07  
Foley Associates, Inc.  
790-728-8153 970-728-6050 fax  
P.O. BOX 1565  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435



LINE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	109.87	S80°00'14"E	L21	214.76	S26°45'4"W			
L2	39.86	S46°11'47"E	L22	189.05	S62°21'03"W			
L3	103.69	S21°04'47"E	L23	144.69	S87°10'17"W			
L4	32.47	S10°25'24"W	L24	24.97	S62°41'03"W			
L5	48.61	S43°43'34"W	L25	249.98	S77°10'20"E			
L6	111.32	N17°30'07"E	L26	79.29	S19°29'17"W			
L7	52.05	N82°58'48"W	L27	210.04	N11°02'30"E			
L8	72.06	N07°02'44"E	L28	144.02	N40°00'00"E			
L9	6.39	N85°45'43"E	L29	173.51	N10°00'00"E			
L10	45.84	N11°33'27"W	L30	199.12	N44°43'46"E			
L11	15.72	N82°45'43"E	L31	45.00	N07°30'17"W			
L12	39.57	N01°30'00"E	L32	100.00	N81°30'54"E			
L13	50.54	S60°00'00"W	L33	181.45	N22°21'12"E			
L14	105.54	S20°20'17"W	L34	71.88	S65°41'15"W			
L15	103.34	S20°20'17"W	L35	107.87	N81°30'37"E			
L16	130.29	S81°24'42"E	L36	121.18	S11°02'34"W			
L17	40.41	S11°02'37"E	L37	69.41	S00°00'00"E			
L18	181.72	N88°30'11"W	L38	68.07	N47°17'50"E			
L19	69.03	N11°02'37"E	L39	63.38	S84°30'00"W			
L20	48.09	N88°34'46"W	L40	85.01	S32°24'42"E			
L21	41.86	N82°44'40"W	L41	77.15	S32°24'42"E			
L22	152.55	S10°30'07"E	L42	120.53	S39°31'01"E			
L23	14.92	N80°00'00"E	L43	52.54	S03°54'17"W			
L24	45.14	S17°21'46"E	L44	12.52	S17°21'46"E			
L25	31.26	S17°21'46"E	L45	66.41	S07°44'00"W			
L26	180.45	N88°00'00"E	L46	69.40	S32°55'51"E			
L27	53.14	S42°50'00"E	L47	69.39	N63°45'00"E			
L28	13.71	S76°10'30"E	L48	69.48	S32°03'01"E			
L29	83.53	S49°18'30"W	L49	89.91	S39°25'51"E			
L30	119.30	S02°00'00"E	L50	61.78	N43°45'00"E			
L31	64.24	S02°25'56"W	L51	64.24	S37°45'53"E			
L32	48.36	N87°41'10"E	L52	65.37	N53°44'00"E			
L33	152.79	S20°30'07"E	L53	124.60	N07°30'17"W			
L34	47.89	N02°31'03"W	L54	95.94	S03°42'30"E			
L35	72.21	S09°00'00"W	L55	62.35	N48°30'00"E			
L36	33.89	S82°21'50"W	L56	149.83	N02°00'00"E			
L37	24.88	S47°11'00"W	L57	72.96	N87°40'00"E			
L38	71.89	N09°00'00"E	L58	132.77	N09°00'00"E			
L39	154.76	S27°21'20"E	L59	45.00	N44°11'57"E			
L40	82.86	S20°01'01"W	L60	133.98	S21°24'27"E			
L41	70.92	S20°01'01"W	L61	44.94	S10°24'24"E			
L42	134.10	N81°30'37"E	L62	174.81	S09°00'00"E			
L43	65.32	S09°00'00"E	L63	65.37	N43°45'00"E			
L44	40.07	S20°30'07"E	L64	65.37	N07°30'17"W			
L45	131.74	S37°45'53"W	L65	66.41	S07°44'00"E			
L46	19.85	N81°30'37"E	L66	69.40	S32°55'51"E			
L47	88.87	S82°21'43"E	L67	69.39	N63°45'00"E			
L48	122.88	N44°43'46"E	L68	120.53	S39°31'01"E			
L49	25.16	N07°30'17"W	L69	52.54	S03°54'17"W			
L50	172.52	N44°43'46"E	L70	12.52	S17°21'46"E			
L51	29.66	N87°30'37"E	L71	66.41	S07°44'00"E			
L52	48.96	S99°17'50"E	L72	69.40	S32°55'51"E			
L53	186.73	N09°00'00"E	L73	69.39	N63°45'00"E			
L54	48.86	S47°11'00"W	L74	69.48	S32°03'01"E			
L55	136.03	N02°31'03"W	L75	89.91	S39°25'51"E			
L56	74.90	N81°30'37"E	L76	61.78	N43°45'00"E			
L57	114.68	S42°50'00"E	L77	64.24	S37°45'53"E			
L58	48.36	N87°41'10"E	L78	65.37	N53°44'00"E			
L59	152.79	S20°30'07"E	L79	124.60	N07°30'17"W			
L60	47.89	N02°31'03"W	L80	95.94	S03°42'30"E			
L61	72.21	S09°00'00"W	L81	62.35	N48°30'00"E			
L62	33.89	S82°21'50"W	L82	149.83	N02°00'00"E			
L63	24.88	S47°11'00"W	L83	72.96	N87°40'00"E			
L64	71.89	N09°00'00"E	L84	132.77	N09°00'00"E			
L65	154.76	S27°21'20"E	L85	45.00	N44°11'57"E			
L66	82.86	S20°01'01"W	L86	133.98	S21°24'27"E			
L67	70.92	S20°01'01"W	L87	44.94	S10°24'24"E			
L68	134.10	N81°30'37"E	L88	174.81	S09°00'00"E			
L69	65.32	S09°00'00"E	L89	65.37	N43°45'00"E			
L70	40.07	S20°30'07"E	L90	65.37	N07°30'17"W			
L71	131.74	S37°45'53"W	L91	66.41	S07°44'00"E			
L72	19.85	N81°30'37"E	L92	69.40	S32°55'51"E			
L73	88.87	S82°21'43"E	L93	69.39	N63°45'00"E			
L74	122.88	N44°43'46"E	L94	120.53	S39°31'01"E			
L75	25.16	N07°30'17"W	L95	52.54	S03°54'17"W			
L76	172.52	N44°43'46"E	L96	12.52	S17°21'46"E			
L77	29.66	N87°30'37"E	L97	66.41	S07°44'00"E			
L78	48.96	S99°17'50"E	L98	69.40	S32°55'51"E			
L79	186.73	N09°00'00"E	L99	69.39	N63°45'00"E			
L80	48.86	S47°11'00"W	L100	69.48	S32°03'01"E			
L81	136.03	N02°31'03"W	L101	89.91	S39°25'51"E			
L82	74.90	N81°30'37"E	L102	61.78	N43°45'00"E			
L83	114.68	S42°50'00"E	L103	64.24	S37°45'53"E			
L84	48.36	N87°41'10"E	L104	65.37	N53°44'00"E			
L85	152.79	S20°30'07"E	L105	124.60	N07°30'17"W			
L86	47.89	N02°31'03"W	L106	95.94	S03°42'30"E			
L87	72.21	S09°00'00"W	L107	62.35	N48°30'00"E			
L88	33.89	S82°21'50"W	L108	149.83	N02°00'00"E			
L89	24.88	S47°11'00"W	L109	72.96	N87°40'00"E			
L90	71.89	N09°00'00"E	L110	132.77	N09°00'00"E			
L91	154.76	S27°21'20"E	L111	45.00	N44°11'57"E			
L92	82.86	S20°01'01"W	L112	133.98	S21°24'27"E			
L93	70.92	S20°01'01"W	L113	44.94	S10°24'24"E			
L94	134.10	N81°30'37"E	L114	174.81	S09°00'00"E			
L95	65.32	S09°00'00"E	L115	65.37	N43°45'00"E			
L96	40.07	S20°30'07"E	L116	65.37	N07°30'17"W			
L97	131.74	S37°45'53"W	L117	66.41	S07°44'00"E			
L98	19.85	N81°30'37"E	L118	69.40	S32°55'51"E			
L99	88.87	S82°21'43"E	L119	69.39	N63°45'00"E			
L100	122.88	N44°43'46"E	L120	120.53	S39°31'01"E			
L101	25.16	N07°30'17"W	L121	52.54	S03°54'17"W			
L102	172.52	N44°43'46"E	L122	12.52	S17°21'46"E			
L103	29.66	N87°30'37"E	L123	66.41	S07°44'00"E			
L104	48.96	S99°17'50"E	L124	69.40	S32°55'51"E			
L105	186.73	N09°00'00"E	L125	69.39	N63°45'00"E			
L106	48.86	S47°11'00"W	L126	69.48	S32°03'01"E			
L107	136.03	N02°31'03"W	L127	89.91	S39°25'51"E			
L108	74.90	N81°30'37"E	L128	61.78	N43°45'00"E			
L109	114.68	S42°50'00"E	L129	64.24	S37°45'53"E			
L110	48.36	N87°41'10"E	L130	65.37	N53°44'00"E			
L111	152.79	S20°30'07"E	L131	124.60	N07°30'17"W			
L112	47.89	N02°31'03"W	L132	95.94	S03°42'30"E			
L113	72.21	S09°00'00"W	L133	62.35	N48°30'00"E			
L114	33.89	S82°21'50"W	L134	149.83	N02°00'00"E			
L115	24.88	S47°11'00"W	L135	72.96	N87°40'00"E			
L116	71.89	N09°00'00"E	L136	132.77	N09°00'00"E			
L117	154.76	S27°21'20"E	L137	45.00	N44°11'57"E			
L118	82.86	S20°01'01"W	L138	133.98	S21°24'27"E			
L119	70.92	S20°01'01"W	L139	44.94	S10°24'24"E			
L120	134.10	N81°30'37"E	L140	174.81	S09°00'00"E			
L121	65.32	S09°00'00"E	L141	65.37	N43°45'00"E			
L122	40.07	S20°30'07"E	L142	65.37	N07°30'17"W			
L123	131.74	S37°45'53"W	L143	66.41	S07°44'00"E			
L124	19.85	N81°30'37"E	L144	69.40	S32°55'51"E			
L125	88.87	S82°21'43"E	L145</					

SECURITY INTEREST HOLDER'S CONSENT

The undersigned Lone Star Bank, as a beneficiary of a deed of trust which constitutes a lien upon the Declarant's property, recorded at Reception No. 323596, in the San Miguel County Clerk and Recorder's real property records, hereby consents to this map. (As per updated survey and re-plat dated )

Name: Rebecca D. Park  
Date: May 11, 2000  
Address: 3014 Monticello Dallas, TX 75205  
Signature: [Handwritten Signature]  
Title: Senior Vice President

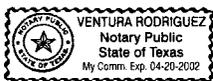
ACKNOWLEDGMENT

State of TEXAS )  
County of Dallas ) ss

The foregoing signature was acknowledged before me this 11 day of May, 20 00 A.D. by REBECCA D. PARK of Lone Star Bank.

My commission expires 4-20-2002.  
Witness my hand and seal.

[Handwritten Signature]  
Notary Public



SECURITY INTEREST HOLDER'S CONSENT

The undersigned WestStar Bank, as a beneficiary of a deed of trust which constitutes a lien upon the Declarant's property, recorded at Reception No. 329775, in the San Miguel County Clerk and Recorder's real property records, hereby consents to this map.

Name: Thomas W. Kennedy FVP  
Date: 5/16/00  
Address: PO 487 / 238 E. Columbia Ave, Telluride CO  
Signature: [Handwritten Signature]  
Title: First V.P.

ACKNOWLEDGMENT

State of Colorado )  
County of San Miguel ) ss

The foregoing signature was acknowledged before me this 16<sup>th</sup> day of May, 20 00 A.D. by Thomas W. Kennedy, FVP of WestStar Bank.

My commission expires 8-4-03  
Witness my hand and seal.  
Nora Davis  
Notary Public



My Commission Expires Aug. 4, 2003

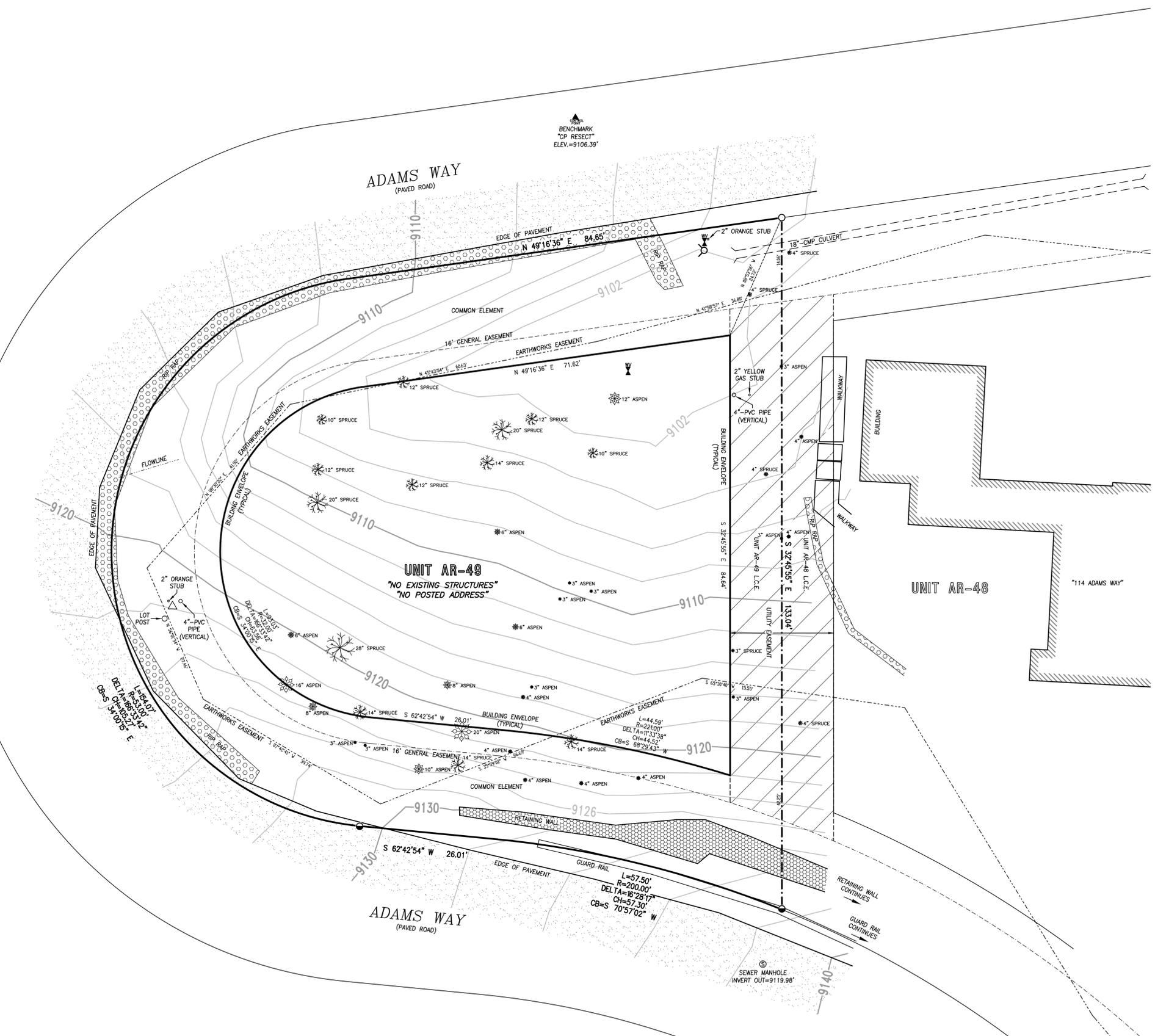
SEWER MANHOLE  
INVERT IN=9075.41'

BENCHMARK  
"CP RESECT"  
ELEV.=9106.39'

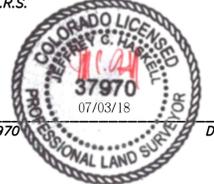
**LEGEND**

- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- CABLE-TV PEDESTAL
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 24954
- FOUND No. 5 REBAR, NO CAP

SCALE: 1" = 10'



This topographic survey of Unit AR-49, The Village at Adams Ranch, Town of Mountain Village, was field surveyed on May 25, 2018 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 \_\_\_\_\_ Date

- NOTES:**
- This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
  - Benchmark: Control point "CP RESECT", as shown hereon, with an elevation of 9106.39 feet.
  - Contour interval is two feet.
  - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**Topographic Survey**  
Unit AR-49, The Village at Adams Ranch, Town of Mountain Village,  
San Miguel County, Colorado.

Project Mgr:	JH
Technician:	MC
Checked by:	KV/DS
Start date:	05/25/2018



970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

F:\014 W\Jobs\02006 TOPO 05-18.dwg - 7/3/2018 1:52:27 PM PC3

**LEGEND**

- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- CABLE-TV PEDESTAL
- 
- FOUND No. 5 REBAR, NO CAP



STEVEN JAMES RIDEN  
ARCHITECT  
115 G STREET, SALIDA COLORADO 81201 970-389-0150  
MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

**LS2 RESIDENCE**  
LOT AR-49 116 ADAMS WAY  
TELLURIDE MOUNTAIN VILLAGE

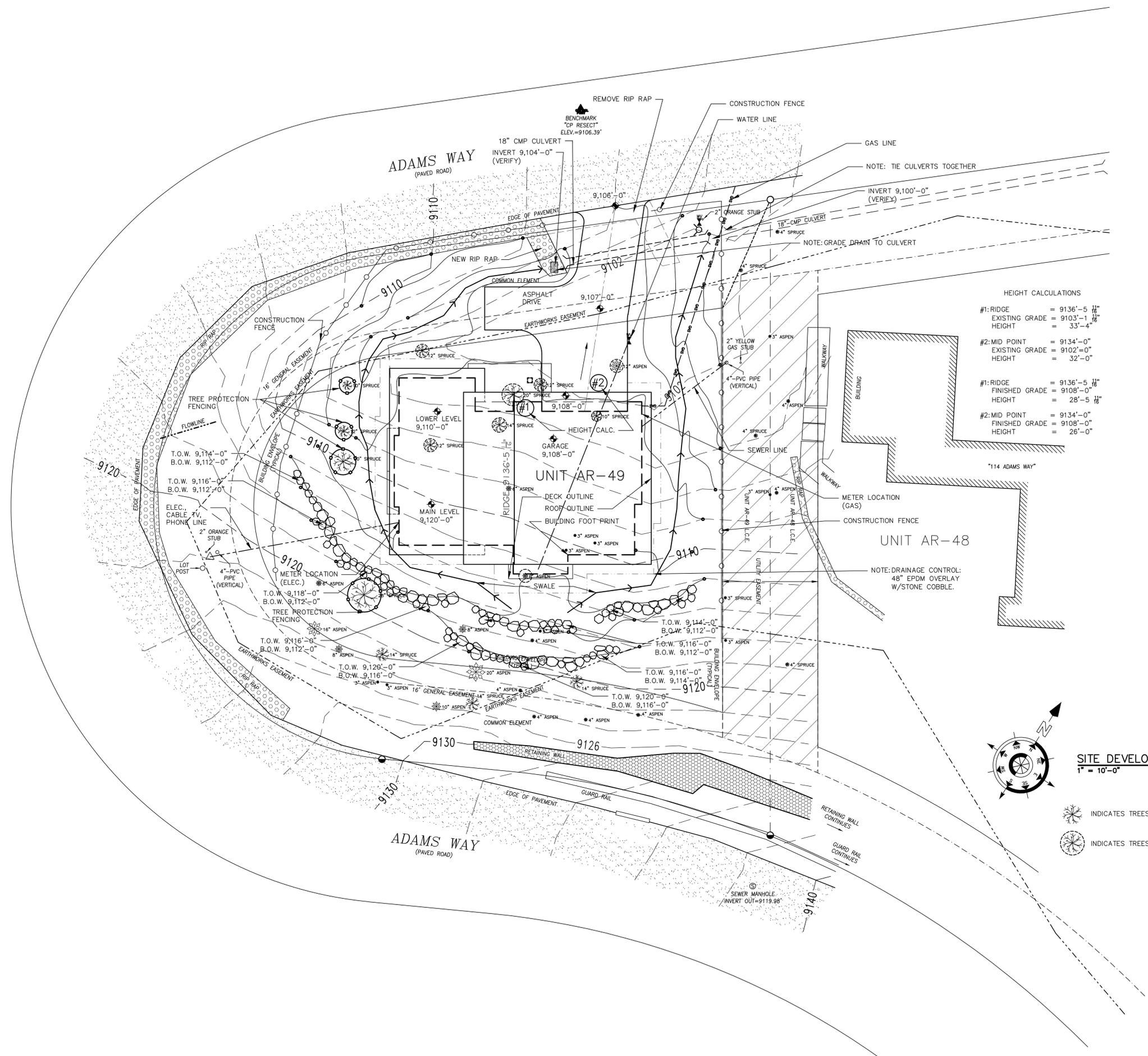
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THE CONTRACTOR SHALL THOROUGHLY INSPECT AND SURVEY EXISTING FIELD CONDITIONS TO VERIFY THAT THOSE SHOWN REFLECT WORK ON THE DRAWINGS. THE CONTRACTOR SHALL REPORT ANY VARIATIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING.

JOB NUMBER: 18-4  
DRAWN BY: TH  
DATE: JULY 24, 2018  
ROLE: HOA

**SD1**



**HEIGHT CALCULATIONS**

#1: RIDGE	= 9136'-5 1/8"
EXISTING GRADE	= 9103'-1 1/8"
HEIGHT	= 33'-4"
#2: MID POINT	= 9134'-0"
EXISTING GRADE	= 9102'-0"
HEIGHT	= 32'-0"
#1: RIDGE	= 9136'-5 1/8"
FINISHED GRADE	= 9108'-0"
HEIGHT	= 28'-5 1/8"
#2: MID POINT	= 9134'-0"
FINISHED GRADE	= 9108'-0"
HEIGHT	= 26'-0"



**SITE DEVELOPMENT AND UTILITY PLAN**  
1" = 10'-0"

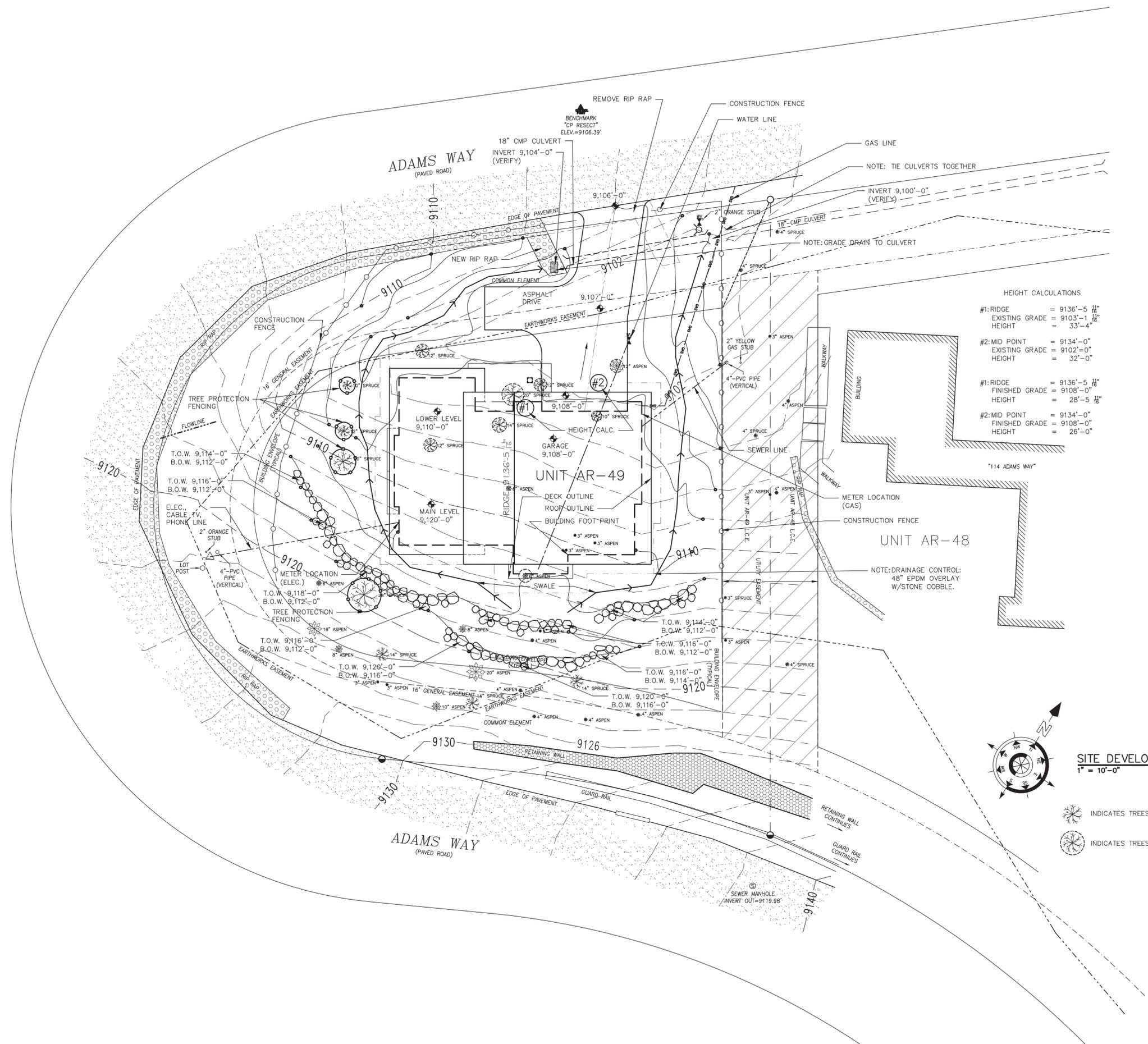
- INDICATES TREES TO REMAIN
- INDICATES TREES TO BE REMOVED



Albert N. Ewing  
 Colorado P.E. 15862  
 P.O. Box 2526  
 Vail, Colorado 81658  
 ewing-vail@comcast.net

**LEGEND**

- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- CABLE-TV PEDESTAL
- 
- FOUND No. 5 REBAR, NO CAP



**HEIGHT CALCULATIONS**

#1: RIDGE	= 9136'-5 1/8"
EXISTING GRADE	= 9103'-1 1/8"
HEIGHT	= 33'-4"
#2: MID POINT	= 9134'-0"
EXISTING GRADE	= 9102'-0"
HEIGHT	= 32'-0"
#1: RIDGE	= 9136'-5 1/8"
FINISHED GRADE	= 9108'-0"
HEIGHT	= 28'-5 1/8"
#2: MID POINT	= 9134'-0"
FINISHED GRADE	= 9108'-0"
HEIGHT	= 26'-0"



**SITE DEVELOPMENT, DRAINAGE AND UTILITY PLAN**  
 1" = 10'-0"

- INDICATES TREES TO REMAIN
- INDICATES TREES TO BE REMOVED



STEVEN JAMES RIDEN  
 ARCHITECT  
 115 G STREET, SALIDA COLORADO 81201 970-389-0150  
 MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

**LS2 RESIDENCE**  
 LOT AR-49 116 ADAMS WAY  
 TELLURIDE MOUNTAIN VILLAGE

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THE CONTRACTOR SHALL THOROUGHLY INSPECT AND SURVEY EXISTING FIELD CONDITIONS TO VERIFY THAT THOSE SHOWN REFLECT WORK ON THE DRAWINGS. THE CONTRACTOR SHALL REPORT ANY VARIATIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING.

JOB NUMBER	18-4
DRAWN BY	TH
DATE	JULY 24, 2018
ROLE	HOA
REVISION DATE	INITIAL

**SD1**

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	3	PICEA PUNGENS	COLORADO SPRUCE	10' HT.
	5	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CALIPER
		REVEGETATE ALL DISTURBED AREAS WITH NATIVE GRASS & WILDFLOWER SEED MIX		

GRAPHIC LEGEND

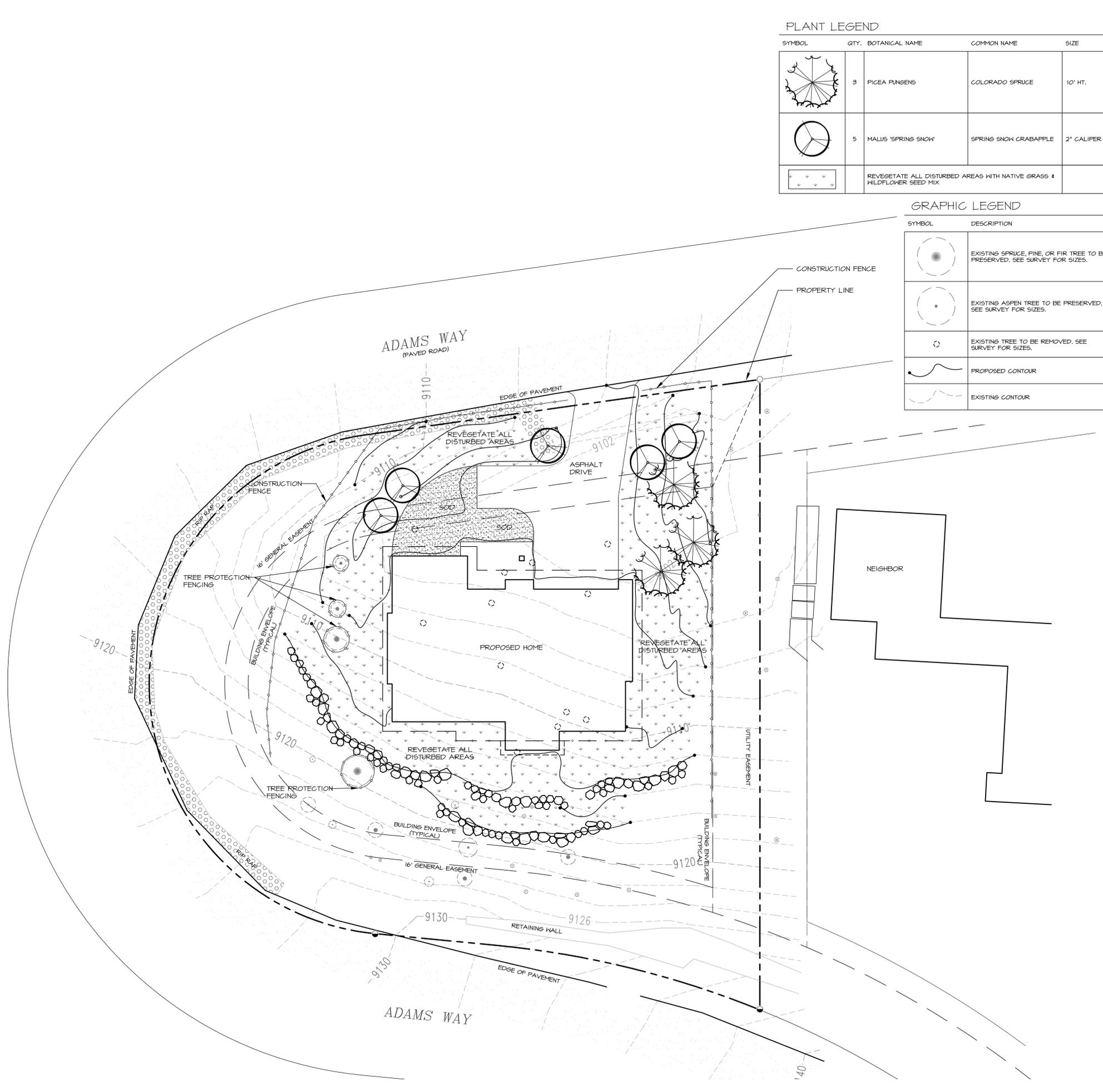
SYMBOL	DESCRIPTION
	EXISTING SPRUCE, PINE, OR FIR TREE TO BE PRESERVED. SEE SURVEY FOR SIZES.
	EXISTING ASPEN TREE TO BE PRESERVED. SEE SURVEY FOR SIZES.
	EXISTING TREE TO BE REMOVED. SEE SURVEY FOR SIZES.
	PROPOSED CONTOUR
	EXISTING CONTOUR

PLANTING NOTES & SPECIFICATIONS:

- THE PLANTING PLAN IS DIAGRAMMATIC. ALL PLANT LOCATIONS ARE APPROXIMATE. QUANTITIES SHOWN ON THE PLANTING LEGEND ARE APPROXIMATE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED WITHIN THE LEGEND(S).
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF THE DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN.
- LANDSCAPE CONTRACTOR SHALL APPLY A CONTACT HERBICIDE, WHERE WEEDS ARE PRESENT, PER MANUFACTURER'S SPECIFICATIONS, PRIOR TO COMMENCEMENT OF ANY PLANTING OR IRRIGATION WORK. WEEDS SHALL BE ALLOWED TO COMPLETELY DIE BACK, INCLUDING THE ROOTS BEFORE BEGINNING WORK.
- PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES & PESTS.
- ALL CONTAINERIZED PLANTS NEED TO BE TO EDGE OF CONTAINER & HOLD ROOT BALL TOGETHER.
- PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL.
- ALL PLANT MATERIAL SHALL BE PLACED IN FITS HAVING A MINIMUM DIAMETER OF 150 PERCENT OF THE PLANTS TOTAL ROOT BALL OR CONTAINER VOLUME.
- ALL TREES SHALL HAVE THE ROOT CROWN PLANTED 2" ABOVE THE SURROUNDING FINISHED GRADE. ALL SHRUBS SHALL HAVE THE ROOT CROWN PLANTED 1" ABOVE THE SURROUNDING FINISHED GRADE.
- ALL TREES SHALL HAVE ALL THINE OR OTHER BINDING MATERIAL REMOVED AROUND CROWN OF TRUNK. ALL TREES SHALL HAVE BURLAP AND BINDING MATERIALS PULLED BACK FROM A MINIMUM OF THE TOP ONE THIRD OF THE ROOT BALL PRIOR TO BACKFILLING.
- EVERGREEN TREES 14" IN HEIGHT AND ALL DECIDUOUS TREES ARE TO BE STAKED WITH 5 FOOT STEEL "T" STAKES AND GUYED WITH 12 GAUGE, GALVANIZED WIRE AND 1-1/2 INCH WIDE GREEN NYLON TREE STRAPS. STAKES ARE TO BE REMOVED 3 YEARS FROM DATE OF INSTALLATION UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- ALL EVERGREEN AND DECIDUOUS TREES SHALL BE PROVIDED WITH AN 'EARTHEN SAUCER' AT ITS BASE. SAUCERS ARE TO BE CONSTRUCTED HAVING A MINIMUM SHALLOW DEPTH OF FOUR (4) INCHES. SAUCERS SHALL BE INSTALLED ON DOWNHILL SIDE ONLY WHEN PLANTINGS OCCUR ON A HILLSIDE.
- ALL NEWLY PLANTED TREES SHALL BE FERTILIZED AT THE TIME OF PLANTING WITH BIOSOL MIX, ALL-PURPOSE FERTILIZER PER MANUFACTURER'S SPECIFICATIONS. FERTILIZER TO BE MIXED IN WITH BACKFILL.
- ALL SOD AREAS SHALL BE SEPARATED FROM ADJACENT PLANTING BEDS WITH EDGING. EDGING SHALL BE 1/2" X 4" BLACK STEEL ROLL TOP, TACKED IN PLACE WITH THREE (3) INCH EDGING PINS SPACED EVENLY PER 10' SECTION OF EDGING. OVERLAP EDGING BY 1/4" & SECURE OVERLAPPING SECTIONS WITH 2 PINS. EDGING SHALL NOT PROTRUDE ABOVE SURROUNDING FINISHED GRADE BY MORE THAN 1/4".
- ALL PLANTING SHALL BE COMPLETED DURING THE NORMAL GROWING SEASON; NO PLANTING SHOULD OCCUR DURING INCLEMENT OR FREEZING WEATHER.
- LANDSCAPE CONTRACTOR SHALL SUPPLY AND DISTRIBUTE COMPOST TO THE SITE. THE TOPSOIL AND COMPOST ARE TO BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE PRIOR TO DELIVERY. TILL 6" TOPSOIL & 2" COMPOST, AND TOP DRESS WITH 1" COMPOST FOR ALL PERENNIAL BEDS. SPREAD TOPSOIL TO A DEPTH OF 3" TO ESTABLISH ALL TURF AREAS & TREE PLANTINGS. A DEPTH OF 1" FOR ALL DISTURBED AREAS TO RECEIVE NATIVE REVEGETATION, AND FOR THE AMENDED BACKFILL OF ALL NEW TREES. SCARIFY EXISTING SOIL SURFACE PRIOR TO THE ADDITION OF TOPSOIL TO FORM AN ADEQUATE BOND. FOR FINISH GRADING, SOIL SURFACE SHOULD BE A LOOSE MOIST SURFACE. PLANTING SHOULD OCCUR WITHIN 10 DAYS OF SURFACE PREPARATION.
  - LOOSEN SOIL TO A MINIMUM OF 4" DEPTH. REMOVE STONES OVER 2" IN DIAMETER, STICKS, ROOTS, RUBBISH, AND EXTRANEOUS MATTER.
  - DISTRIBUTE 1" OF TOPSOIL TO BE CULTIVATED INTO NATIVE SOIL.
  - GRADE AREAS TO A SMOOTH FREE SURFACE WITH A LOOSE, MODERATELY COARSE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
  - ONE APPLICATION OF A DI-AMMONIUM PHOSPHATE FERTILIZER, 18-46-0, SHALL BE BROADCAST PRIOR TO SEEDING AT A RATE OF 8 LBS. PER 1000 S.F.
- ALL DISTURBED AREAS TO BE REVEGETATED WITH NATIVE GRASS SEED MIX SOWN WITH THE FOLLOWING MIX AT A RATE OF 1 LB. PER 1000 S.F.
  - 20% SLENDER WHEATGRASS
  - 20% MOUNTAIN BROME
  - 15% GREEN NEEDLEGRASS
  - 15% THICKSPIKE WHEATGRASS
  - 10% ROCKY MOUNTAIN FESCUE
  - 5% BLUE GRAMA
  - 5% INDIAN RICE GRASS
  - 5% SANDBERG BLUEGRASS
  - 5% BOTTLEBRUSH SQUIRRELTAIL
- MULCH ALL SEED SOWN AREAS WITH 1" - 2" OF CERTIFIED WEED FREE STRAW OR HAY. ALL STRAW AREAS ARE TO BE TACKIFIED WITH APPROVED ORGANIC TACKIFIER AT THE RATE OF 120 LBS. / ACRE, OR HYDROMULCH.
- ALL SEED SOWN AREAS ARE TO BE LIGHTLY RAKED 1/4" INTO THE SOIL AND IRRIGATED.
- LANDSCAPE CONTRACTOR SHALL SUBMIT THE COMPANY'S WRITTEN DOCUMENT REGARDING ITS POLICY ON PLANT GUARANTEE AND REPLACEMENT TO THE OWNER. EACH GUARANTEE SHALL CONFORM TO THE MINIMUM STANDARD OF REPLACING ALL MATERIAL INCLUDING LABOR, DUE TO THE SICKNESS OR DEATH OF A PLANT FOR A PERIOD OF ONE-YEAR FOLLOWING THE PLANT'S INSTALLATION. NURSERY STOCK IS NOT GUARANTEED AGAINST FLOOD, OWNER NEGLIGENCE, VEHICULAR OR LAWN MOWER DAMAGE, STORM DAMAGE, THEFT OR ANIMAL DAMAGE (DOMESTIC OR WILDLIFE).
- CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF EXISTING LANDSCAPED AREA, DAMAGE INCURRED IS TO BE REPAIRED AT THE CONTRACTOR'S COST.
- TURF FOOD 10-5-5 OR 14-5-5 ORGANIC FERTILIZER (RICH LAWN BRAND OR EQUIVALENT) SHALL BE APPLIED TO ALL NEW SEEDED AREAS PER MANUFACTURER'S SPECIFICATIONS.

IRRIGATION NOTES & SPECIFICATIONS:

- AUTOMATIC DRIP IRRIGATION SHALL BE PROVIDED AT ALL NEW TREES AND SHRUBS. AUTOMATIC 6" POP-UP SPRAY HEADS OR ROTORS SHALL BE PROVIDED FOR LAWN AREAS. ALL OVERHEAD IRRIGATION HEADS SHALL BE SPACED ON CENTER PER THEIR COVERAGE RADIUS TO PROVIDE EVEN AND EFFICIENT WATERING.
- TEMPORARY ABOVE GROUND AUTOMATIC IRRIGATION ROTOR OR SPRAY TYPE IRRIGATION HEADS SHALL BE PROVIDED AT ALL OTHER DISTURBED AREAS THAT ARE TO BE REVEGETATED AND SHALL BE REMOVED BY THE LANDSCAPE CONTRACTOR 2 YEARS AFTER PROJECT COMPLETION.
- FLUSH DIRT AND DEBRIS FROM PIPING BEFORE INSTALLING SPRINKLERS AND OTHER DEVICES.
- A LOW VOLTAGE SYSTEM MANUFACTURED EXPRESSLY FOR CONTROL OF AUTOMATIC CIRCUIT VALVES OF AN IRRIGATION SYSTEM SHALL BE INSTALLED. SYSTEM SHALL INCLUDE AN ADJUSTABLE 24 HOUR TIME CLOCK WHICH WILL ALLOW FOR AUTOMATIC, SEMI-AUTOMATIC, OR MANUAL OPERATION; CIRCUIT CONTROL WHICH ALLOWS FOR MANUAL OR AUTOMATIC OPERATION; PROGRAMMABLE CAPABILITIES THAT ALLOW FOR INDEPENDENT WATERING SCHEDULES PER ZONE, AND RAIN SENSOR. THE SYSTEM SHALL INCLUDE A PRESSURE REGULATOR AND BACKFLOW PREVENTOR DEVICE WITH 20 GPM AT 60 PSI AT A 1" POINT OF CONNECTION. NOTIFY LANDSCAPE ARCHITECT IF THE REQUIRED FLOW CANNOT BE MET.
- PROVIDE 4" PVC SLEEVING BELOW ALL HARDSCAPE TO ADJACENT PLANTING AREAS.
- MAINLINE IS TO BE BURIED 12"-18" BELOW FINISHED GRADE. LATERAL PIPES SHALL BE BURIED 8"-12" BELOW FINISHED GRADE IN LANDSCAPED AREAS AND A MINIMUM OF 2" BELOW FINISHED GRADE IN NATIVE/DISTURBED AREAS. ALL PIPE TRENCHES SHALL BE FREE OF ROCKS AND DEBRIS PRIOR TO PIPE INSTALLATION. BACKFILL TRENCHES WITH SOIL THAT IS FREE OF ROCKS AND DEBRIS.
- INSTALL ALL DRIP IRRIGATION LINES PER MANUFACTURER SPECIFICATIONS.
- VALVE BOX LOCATIONS ARE TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR IS TO PROVIDE OWNER WITH AS-BUILT IRRIGATION PLANS THAT INCLUDE APPROXIMATE MAINLINE ROUTING AND VALVE BOX LOCATIONS.
- THE FOLLOWING IRRIGATION TESTS AND INSPECTIONS SHALL BE COMPLETED BY THE CONTRACTOR:
  - LEAK TEST: AFTER INSTALLATION, CHARGE SYSTEM AND TEST FOR LEAKS. REPAIR LEAKS AND RETEST UNTIL NO LEAKS EXIST.
  - OPERATIONAL TEST: AFTER ELECTRICAL CIRCUITRY HAS BEEN ENERGIZED, OPERATE CONTROLLERS AND AUTOMATIC CONTROL VALVES TO CONFIRM PROPER SYSTEM OPERATION.
  - TEST AND ADJUST CONTROLS AND SAFETIES; REPLACE DAMAGED AND MALFUNCTIONING CONTROLS AND EQUIPMENT.
- CONTRACTOR IS TO PROVIDE START UP AND BLOW-OUT SERVICES FOR IRRIGATION SYSTEM FOR THE FIRST SEASON IT IS INSTALLED.
- EXTENT OF IRRIGATION AT REVEGETATED AREAS IS TO COVER LIMITS OF DISTURBANCE. VERIFY LIMITS OF DISTURBANCE ON SITE AND ADJUST ACCORDINGLY. INFORM LANDSCAPE ARCHITECT IF ADDITIONAL IRRIGATION IS REQUIRED.



ADAMS RANCH RESIDENCE  
 UNIT AR-49, THE VILLAGE AT ADAMS RANCH, TOWN OF  
 MOUNTAIN VILLAGE  
 SAN MIGUEL COUNTY, COLORADO

6 August 2018

Title:  
 DRB Planting Plan



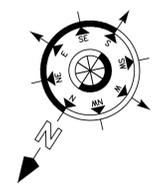
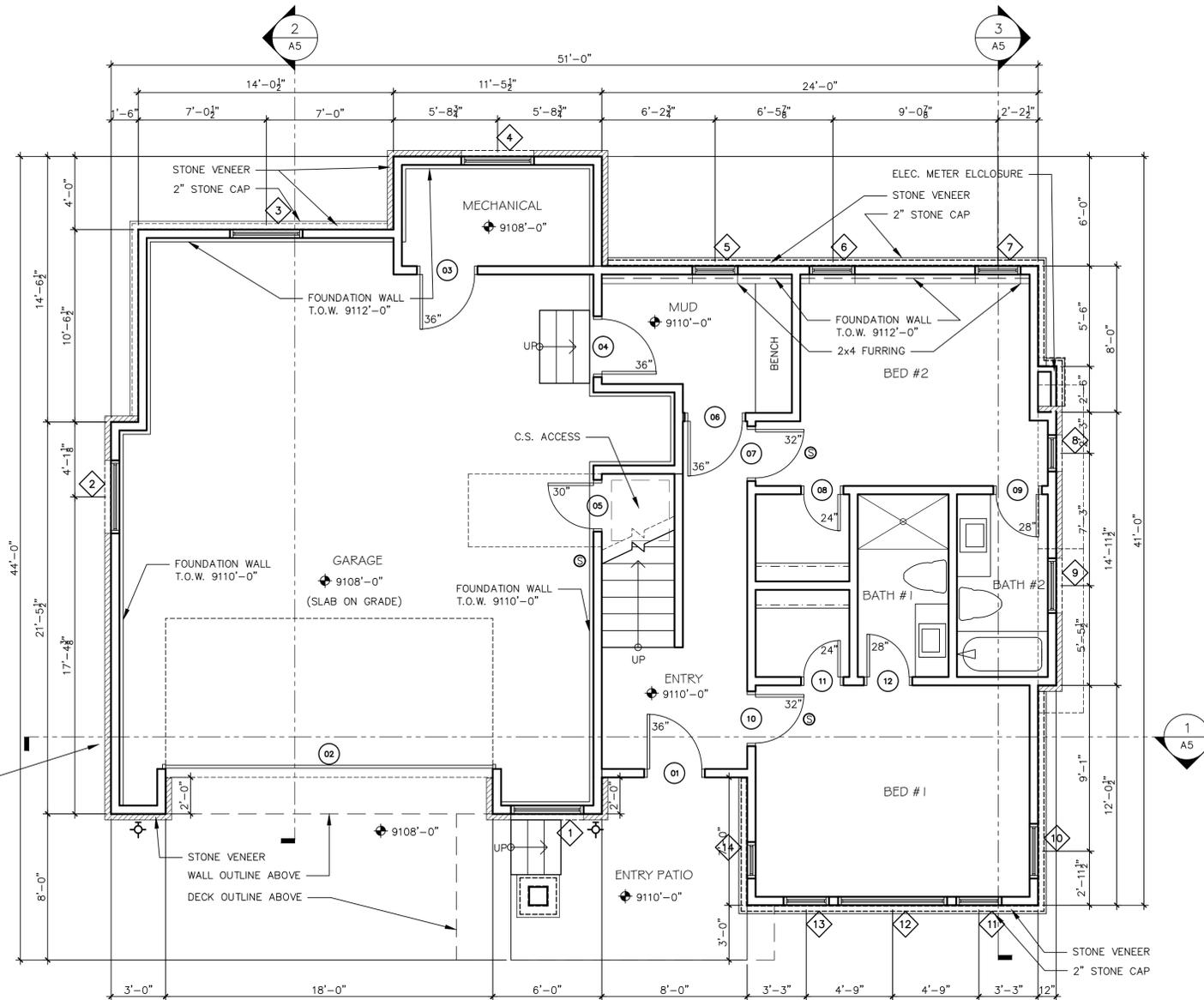
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 1" = 10'

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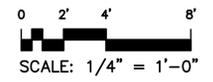
LOWER LEVEL DOOR SCHEDULE					
MARK	DOOR SIZE		Style	FIRE RATING LABEL	NOTES
	WD	HGT			
1	3'-0"	7'-6"	Hinged - Single	--	--
2	18'-0"	8'-0"	Overhead - Sectional	--	--
3	3'-0"	7'-6"	Hinged - Single	20 MIN.	W/closer
4	3'-0"	7'-6"	Hinged - Single	20 MIN.	W/closer
5	2'-6"	4'-0"	Hinged - Single	--	To crawl space access
6	3'-0"	7'-6"	Hinged - Single	--	--
7	2'-8"	7'-6"	Hinged - Single	--	--
8	2'-0"	7'-6"	Hinged - Single	--	--
9	2'-4"	7'-6"	Hinged - Single	--	--
10	2'-8"	7'-6"	Hinged - Single	--	--
11	2'-0"	7'-6"	Hinged - Single	--	--
12	2'-4"	7'-6"	Hinged - Single	--	--

LOWER LEVEL WINDOW SCHEDULE					
MARK	SIZE		Style	Sill Height	NOTES
	WIDTH	HEIGHT			
1	4'-0"	2'-0"	Awning	6'-0"	--
2	4'-0"	2'-6"	Awning	6'-6"	--
3	4'-0"	2'-6"	Awning	6'-6"	--
4	4'-0"	2'-6"	Awning	6'-6"	--
5	2'-6"	4'-0"	Casement	3'-6"	--
6	2'-6"	4'-0"	Casement	3'-6"	--
7	2'-6"	4'-0"	Casement	3'-6"	--
8	2'-0"	4'-0"	Picture	3'-6"	--
9	3'-0"	3'-6"	Casement	4'-0"	--
10	3'-0"	4'-0"	Casement	3'-6"	--
11	2'-6"	4'-0"	Casement	3'-6"	--
12	6'-0"	4'-0"	Picture	3'-6"	--
13	2'-6"	4'-0"	Casement	3'-6"	--
14	2'-0"	4'-0"	Casement	3'-6"	--



LOWER LEVEL FLOOR PLAN  
1/4" = 1'-0"

LOWER LEVEL = 793.95 SQ. FT.  
GARAGE/MECH. = 863.02 SQ. FT.  
FOOT PRINT = 1656.97 SQ. FT.



- ⊕ EXTERIOR LIGHTING - VERIFY W/OWNER/ARCHITECT
- ⊕ EXTERIOR WALL SCONCE
- ⊕ CEILING, OVERHEAD FIXTURE
- ⊕ SMOKE DETECTOR/CARBON MONOXIDE-SILHOUETTE LOW-PROFILE SMOKE ALARM O.A.E.



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LS2 RESIDENCE  
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TELLURIDE MOUNTAIN VILLAGE

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FORM NUMBER	18-4
DRAWN BY	TH
DATE	JULY 24, 2018
ROLE	HOA
REVISION DATE	INITIAL



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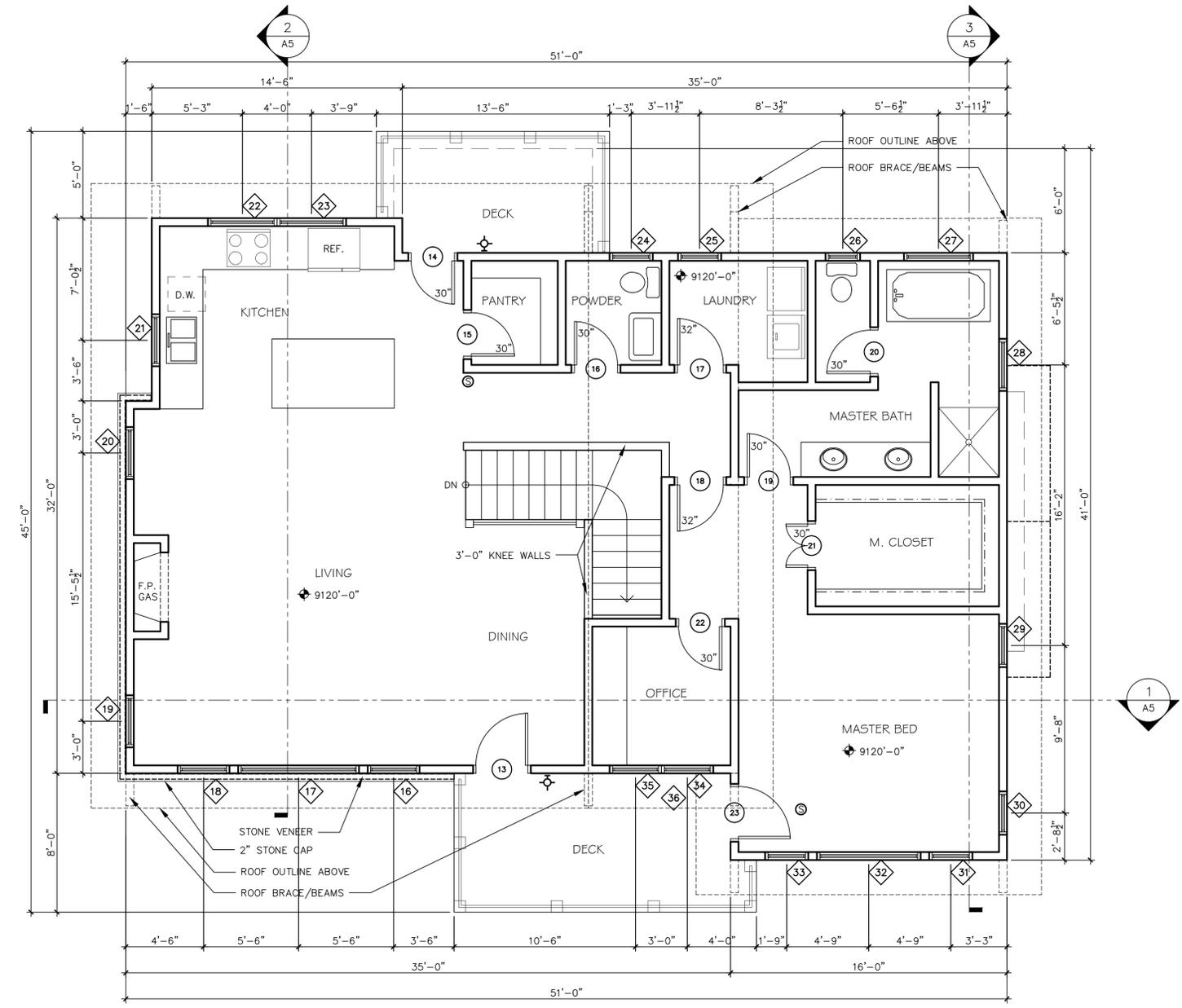
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**A2**

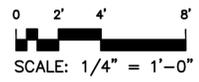
MARK	DOOR SIZE		Style	FIRE RATING LABEL	NOTES
	WD	HGT			
13	3'-0"	7'-6"	Hinged - Single - Full Lite	--	--
14	2'-6"	7'-6"	Hinged - Single - Full Lite	--	--
15	2'-6"	7'-6"	Hinged - Single	--	--
16	2'-8"	7'-6"	Hinged - Single	--	--
17	2'-8"	7'-6"	Hinged - Single	--	--
18	2'-8"	7'-6"	Hinged - Single	--	--
19	2'-6"	7'-6"	Hinged - Single	--	--
20	2'-6"	7'-6"	Hinged - Single	--	--
21	2'-6"	7'-6"	Hinged - Double	--	--
22	2'-8"	7'-6"	Hinged - Single	--	--
23	3'-0"	7'-6"	Hinged - Single - Full Lite	--	--

MARK	SIZE		Style	Sill Height	NOTES
	WIDTH	HEIGHT			
16	3'-0"	7'-0"	Casement	3'-0"	--
17	7'-0"	7'-0"	Picture	3'-0"	--
18	3'-0"	7'-0"	Casement	3'-0"	--
19	3'-0"	5'-0"	Casement	3'-0"	--
20	3'-0"	5'-0"	Casement	3'-0"	--
21	3'-0"	4'-8"	Casement	3'-6"	--
22	4'-0"	2'-6"	Picture	7'-6"	--
23	4'-0"	2'-6"	Picture	7'-6"	--
24	2'-6"	4'-0"	Casement	3'-6"	--
25	2'-6"	4'-0"	Casement	3'-6"	--
26	2'-0"	3'-6"	Casement	4'-0"	--
27	4'-0"	4'-0"	Picture	3'-6"	--
28	3'-0"	4'-0"	Casement	3'-6"	--
29	2'-6"	4'-0"	Casement	3'-6"	--
30	2'-6"	4'-0"	Casement	3'-6"	--
31	2'-6"	4'-6"	Casement	3'-6"	--
32	6'-0"	4'-6"	Picture	3'-6"	--
33	2'-8"	4'-8"	Casement	3'-6"	--
34	3'-0"	4'-6"	Casement	3'-6"	--
35	3'-0"	4'-6"	Casement	3'-6"	--
36	6'-0"	2'-0"	Picture	8'-0"	--

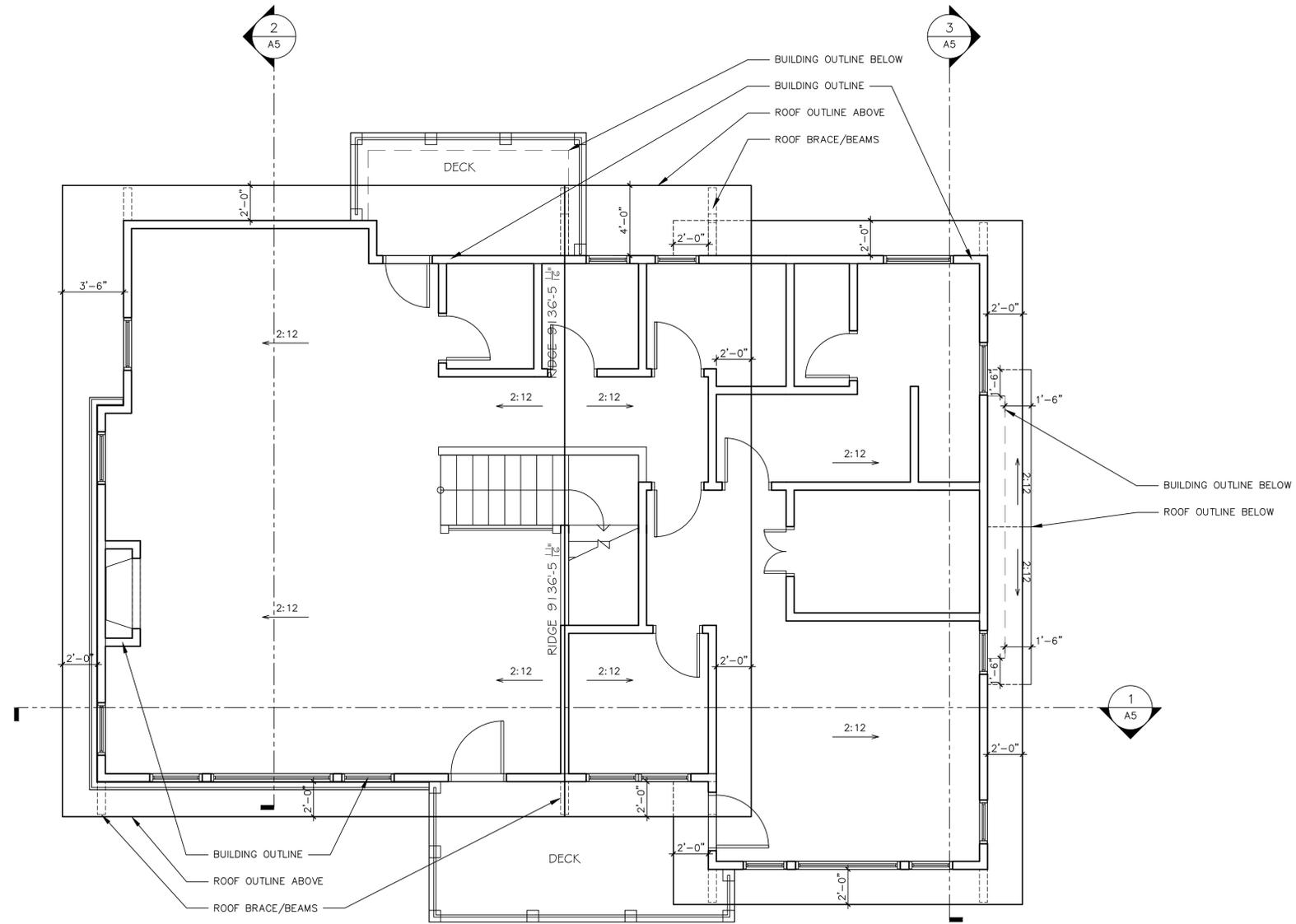


MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0"

MAIN LEVEL = 1626.18 SQ. FT.  
MAIN LEVEL DECKS = 224 SQ. FT.

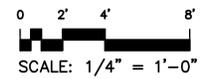


- EXTERIOR LIGHTING - VERIFY W/OWNER/ARCHITECT
- ⊕ EXTERIOR WALL SCONCE
- ⊕ CEILING, OVERHEAD FIXTURE
- ⊕ SMOKE DETECTOR/CARBON MONOXIDE-SILHOUETTE LOW-PROFILE SMOKE ALARM O.A.E.



**ROOF PLAN**  
1/4" = 1'-0"

NOTE: ROOF AREA = 2,144.5 SQ. FT.



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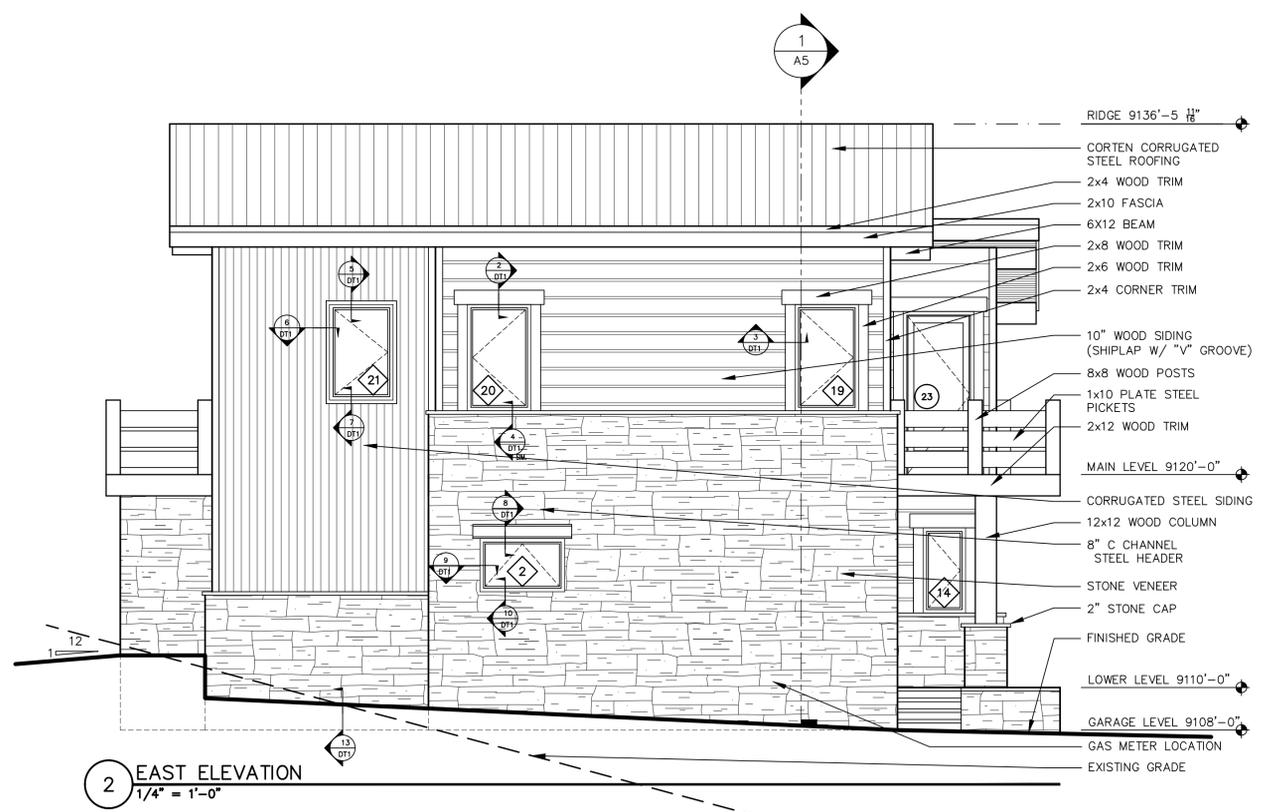
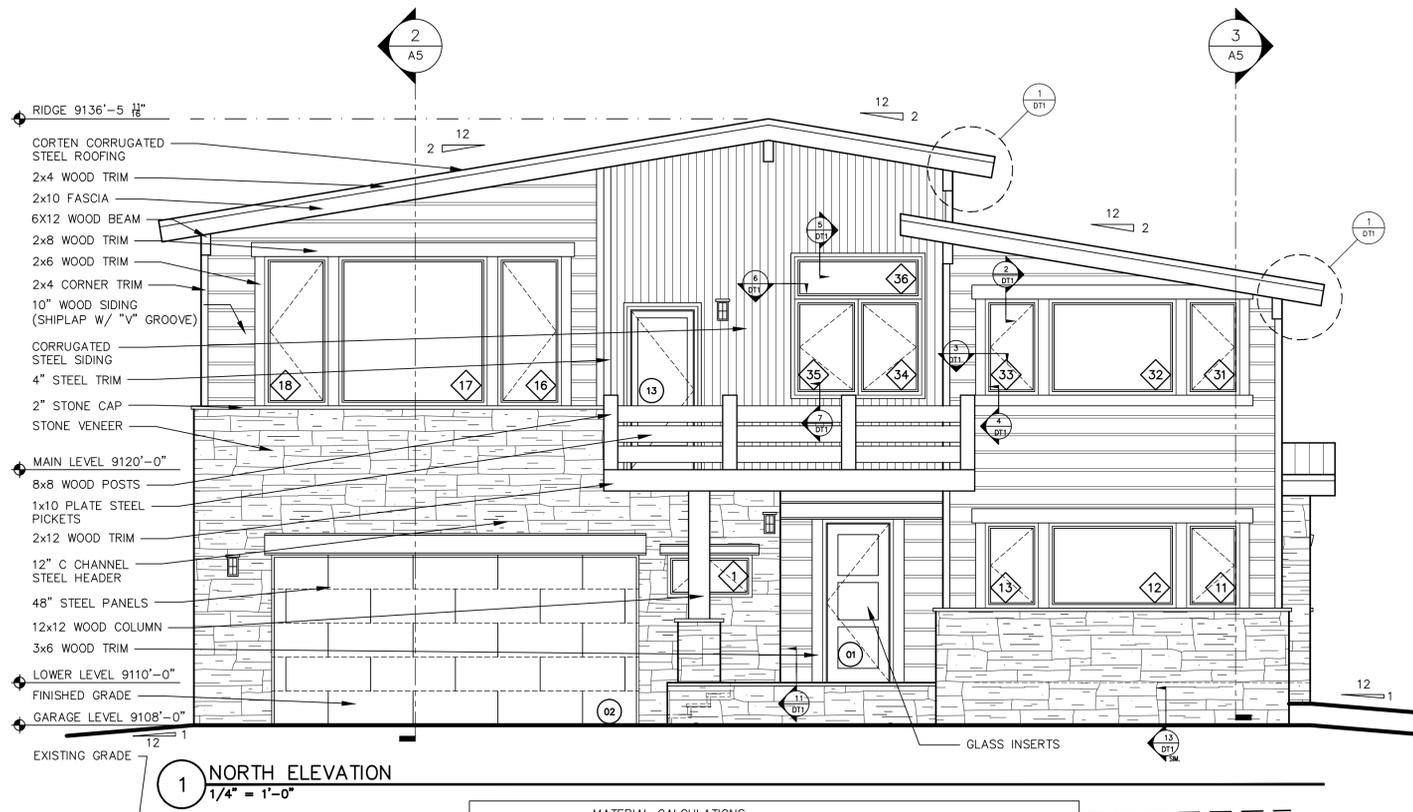
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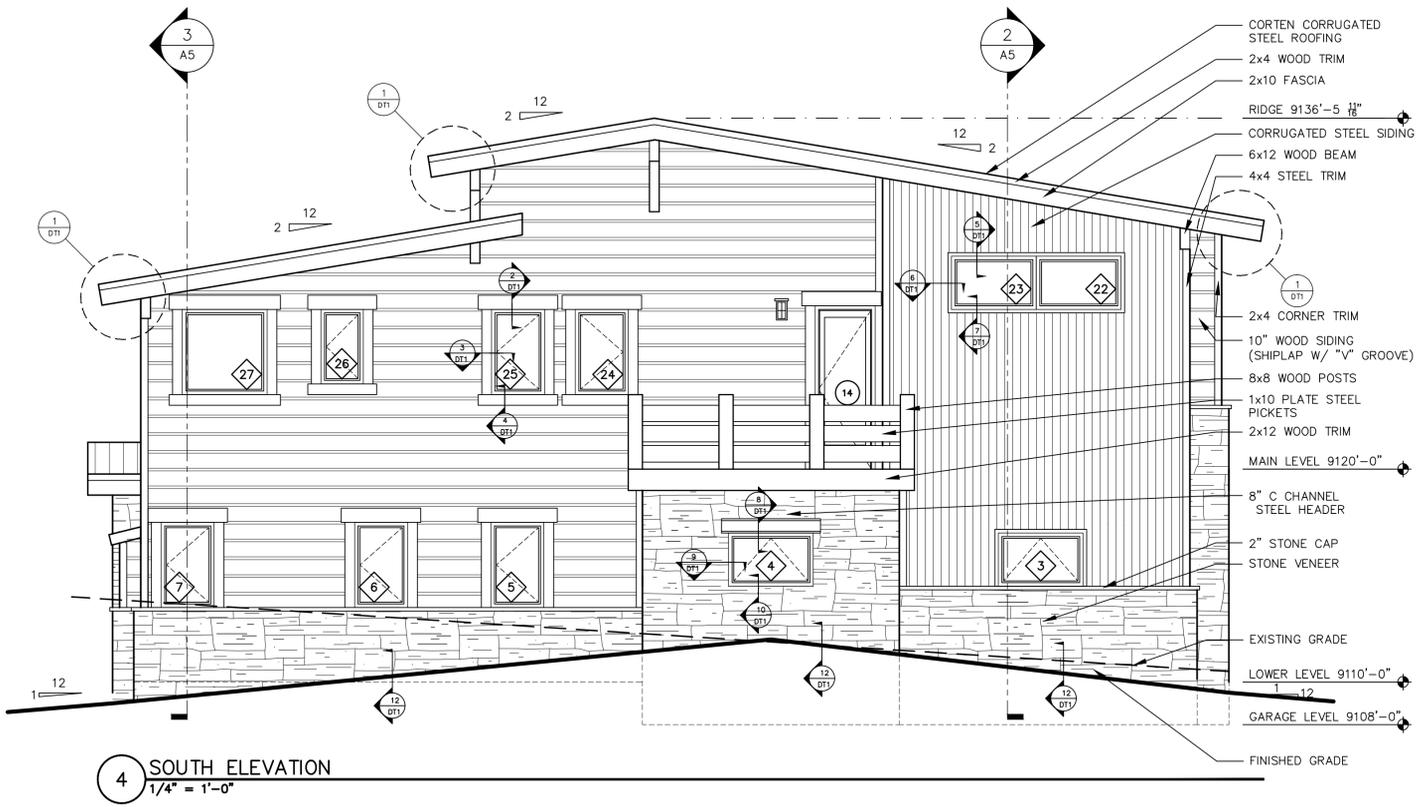
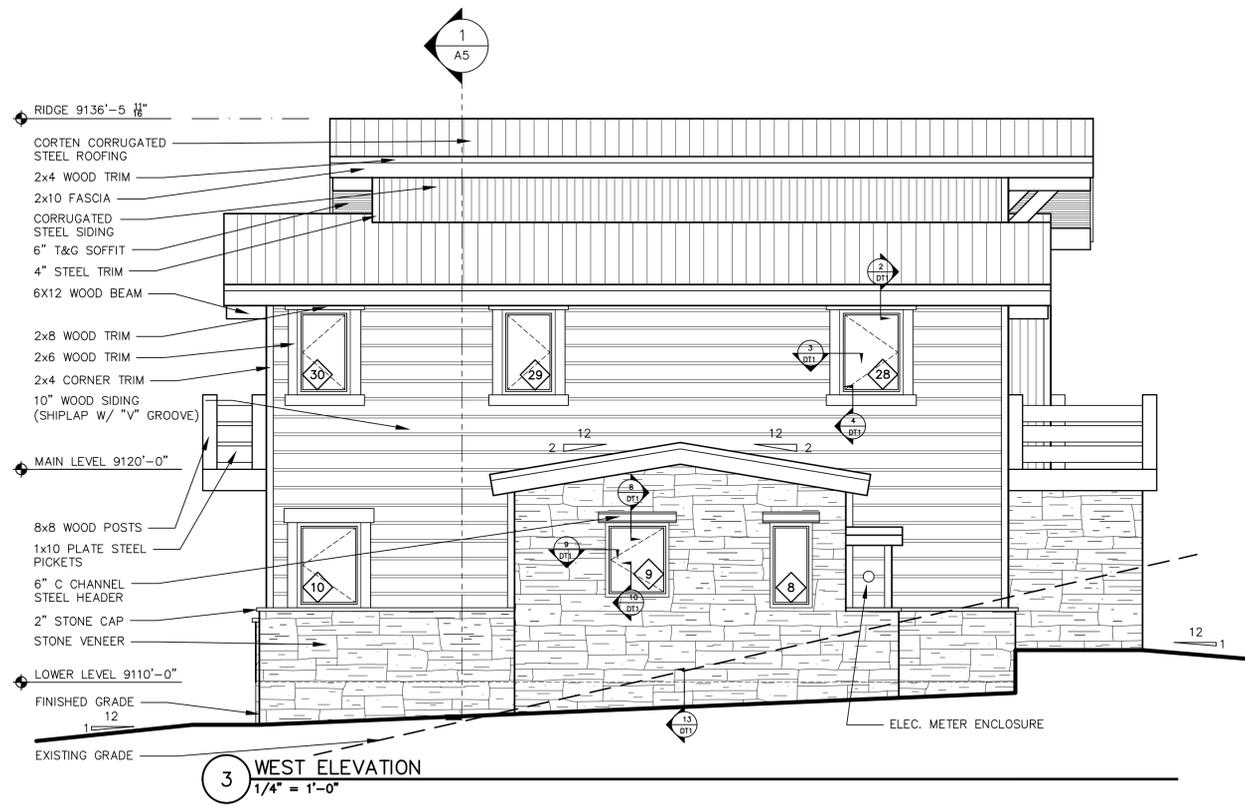
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JOB NUMBER	18-4
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MATERIAL CALCULATIONS

	NORTH	EAST	WEST	SOUTH	TOTAL
ELEVATION SQ. FT. :	1257.06	887.21	838.21	1120.96	= 4103.35 SQ. FT.
STONE :	361.20	468.33	333.28	274.86	= 1437.37 SQ. FT. = 35 %
WOOD SIDING :	300.86	190.51	363.88	513.47	= 1368.72 SQ. FT. = 33.4 %
STEEL SIDING :	173.72	141.30	78.46	197.91	= 591.39 SQ. FT. = 14.4 %
WINDOWS & DOORS :	421.26	87.05	62.50	134.72	= 705.53 SQ. FT. = 17.2 %



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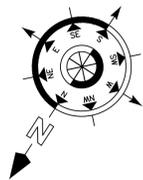
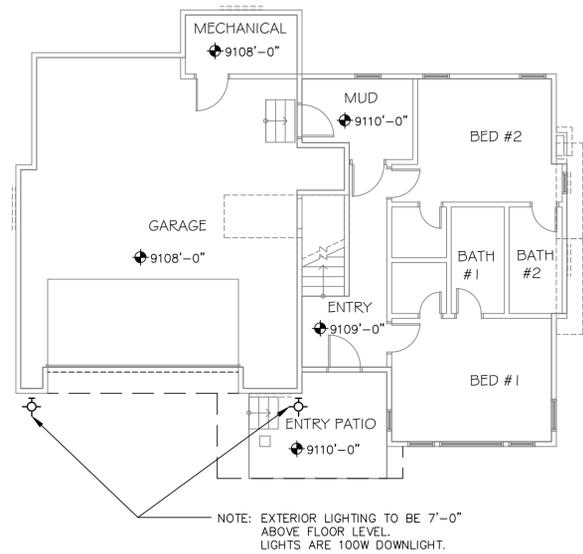
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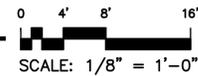
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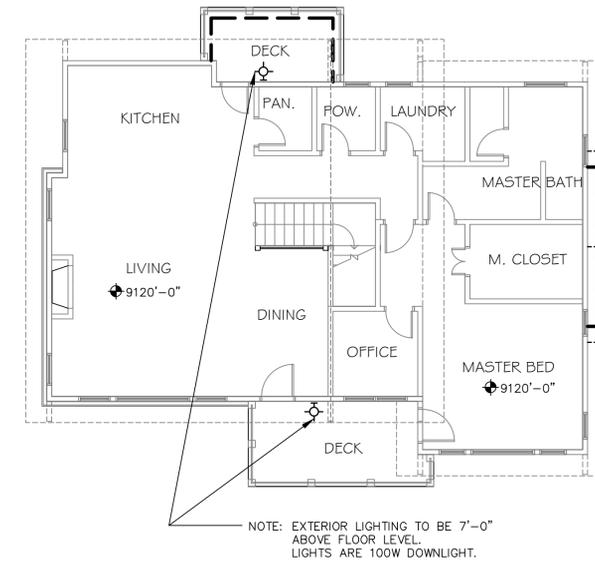
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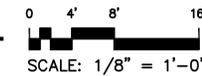
**LOWER LEVEL EXTERIOR LIGHTING**  
1/8" = 1'-0"



- EXTERIOR LIGHTING
- ⊕ EXTERIOR WALL SCONCE
  - ⊕ CEILING, OVERHEAD FIXTURE



**MAIN LEVEL EXTERIOR LIGHTING**  
1/8" = 1'-0"



- EXTERIOR LIGHTING
- ⊕ EXTERIOR WALL SCONCE
  - ⊕ CEILING, OVERHEAD FIXTURE



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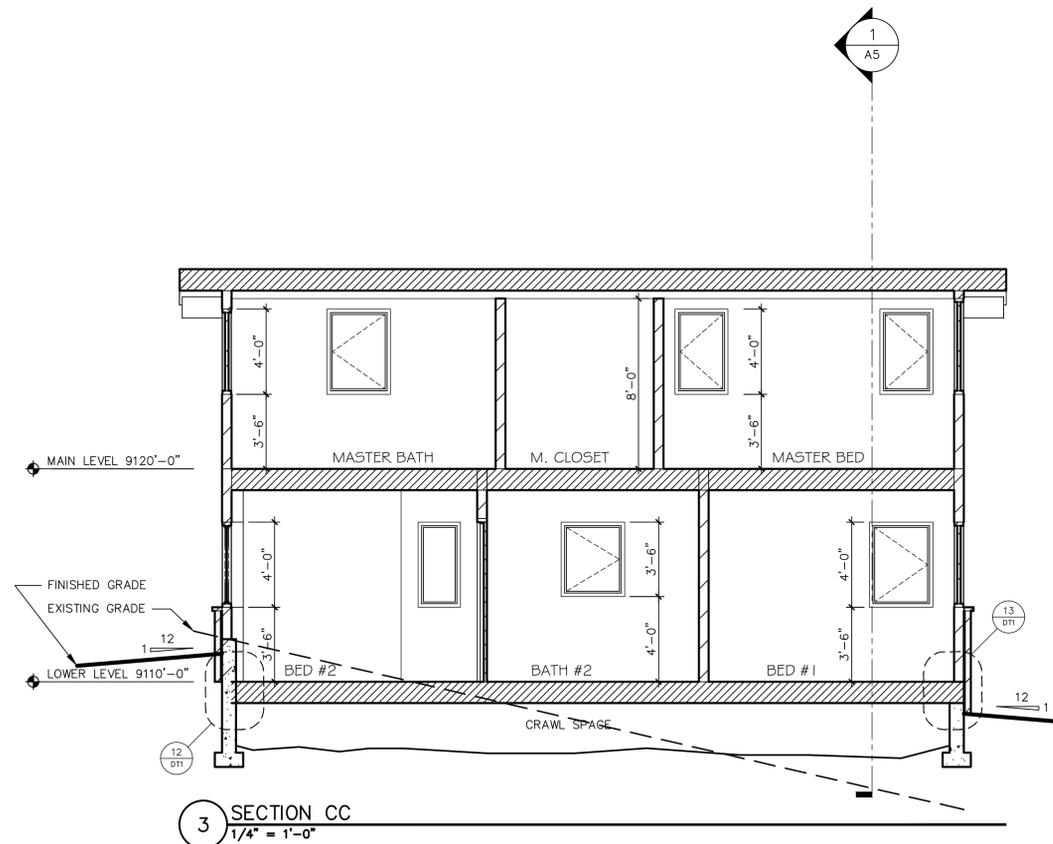
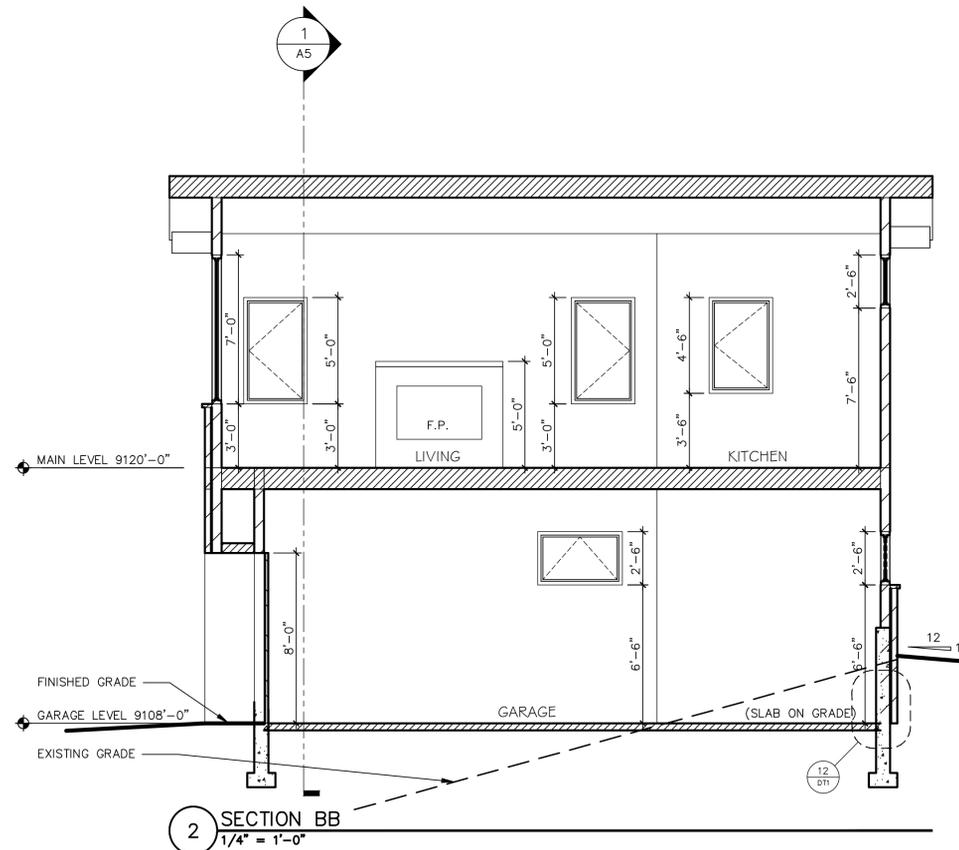
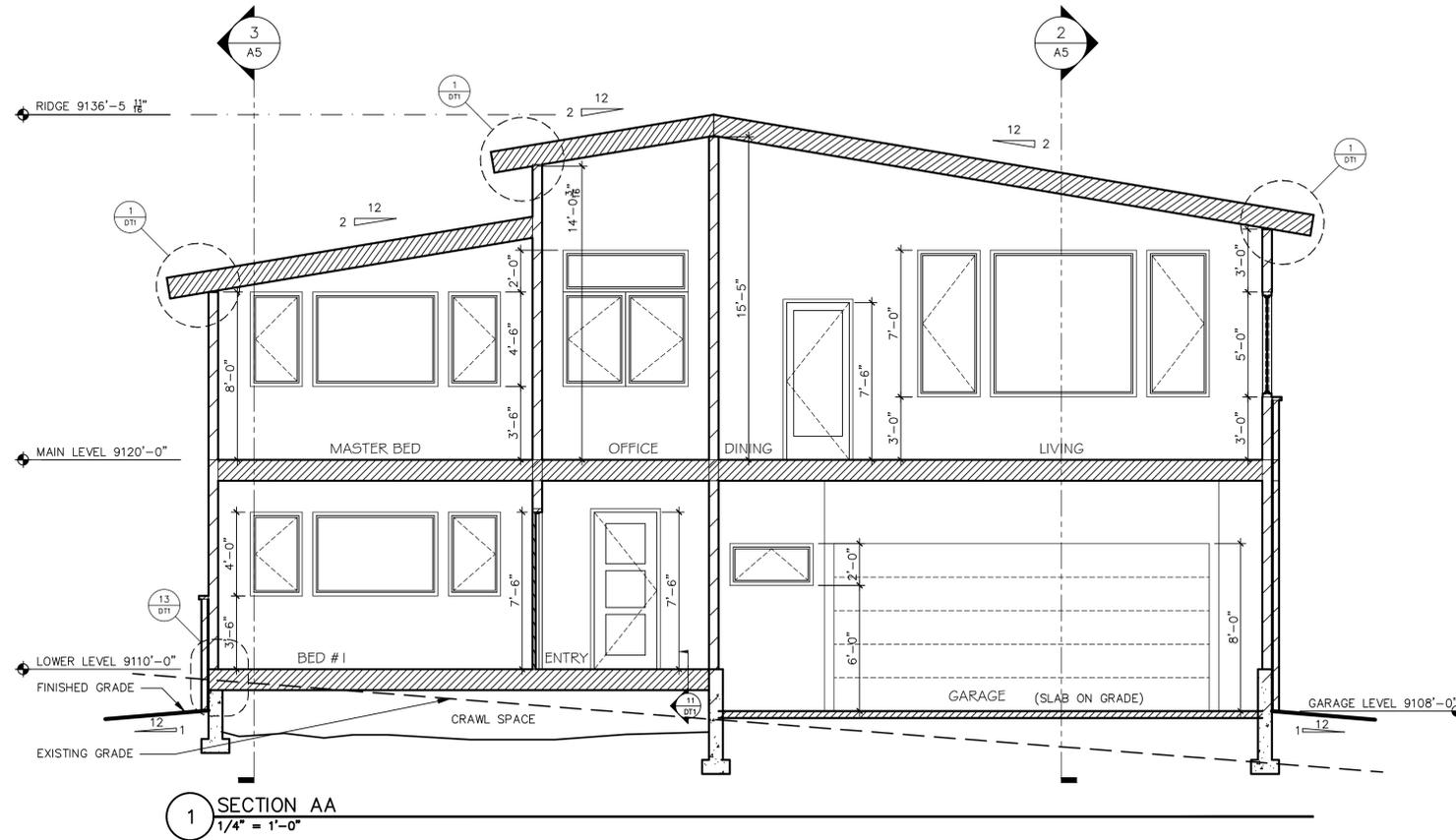
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JOB NUMBER	18-4
DRAWN BY	TH
DATE	JULY 24, 2018
ROLE	HOA
#	REVISION DATE INITIAL



STEVEN JAMES RIDEN  
ARCHITECT  
115 G STREET, SALIDA COLORADO 81201 970-389-0150  
MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

LS2 RESIDENCE  
LOT AR-49 116 ADAMS WAY  
TELLURIDE MOUNTAIN VILLAGE

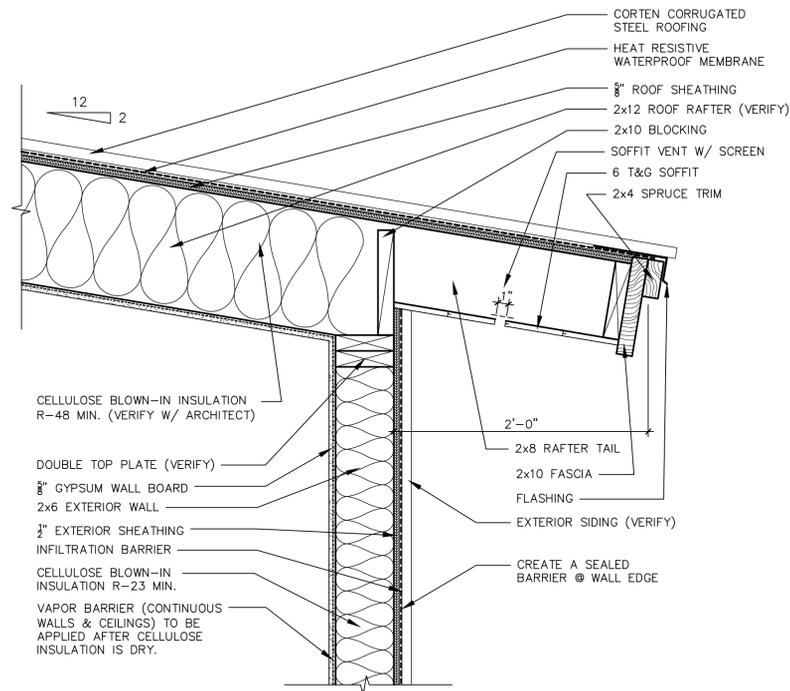
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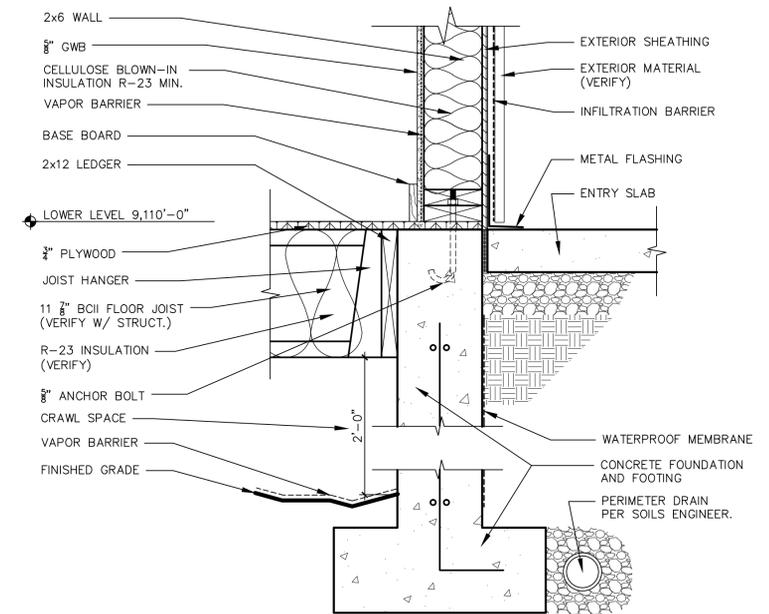
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FORM NUMBER: 18-4  
DRAWN BY: TH  
DATE: JULY 24, 2018  
ROLE: HOA

NO.	REVISION DATE	INITIAL

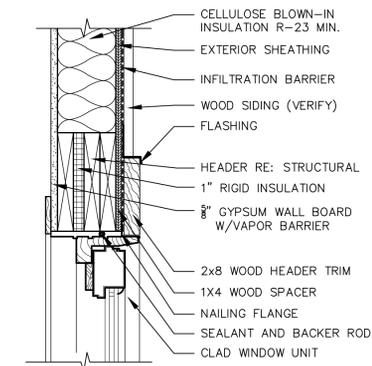


1 ROOF EAVE DETAIL  
1 1/2" = 1'-0"

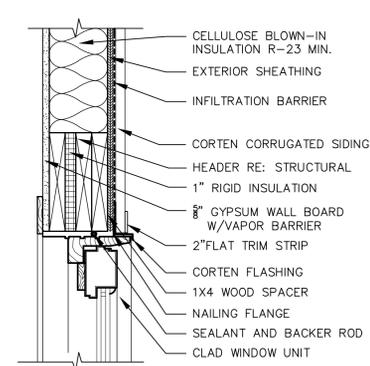


11 EXTERIOR WALL @ ENTRY  
1 1/2" = 1'-0"

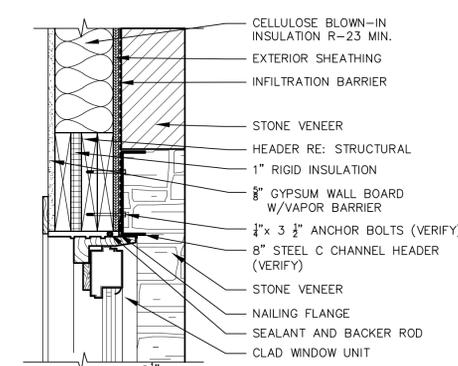
NOTE: @ SIM. STONE VENEER, & NO SLAB



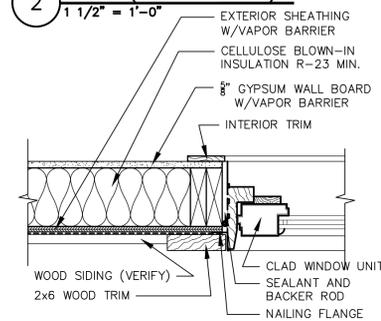
2 HEAD (WOOD SIDING)  
1 1/2" = 1'-0"



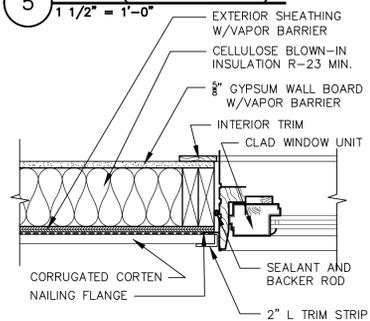
5 HEAD (STEEL SIDING)  
1 1/2" = 1'-0"



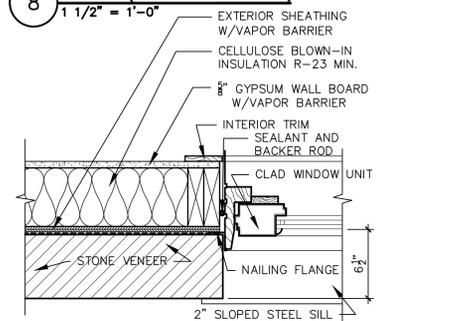
8 HEAD (STONE VENEER)  
1 1/2" = 1'-0"



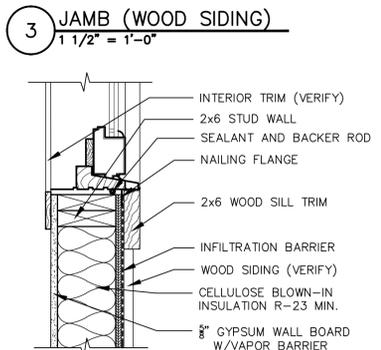
3 JAMB (WOOD SIDING)  
1 1/2" = 1'-0"



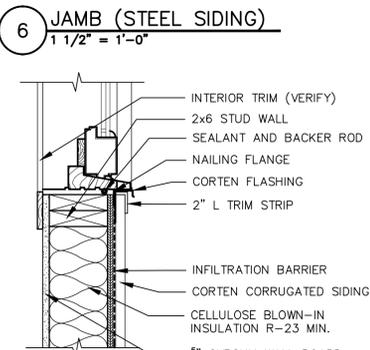
6 JAMB (STEEL SIDING)  
1 1/2" = 1'-0"



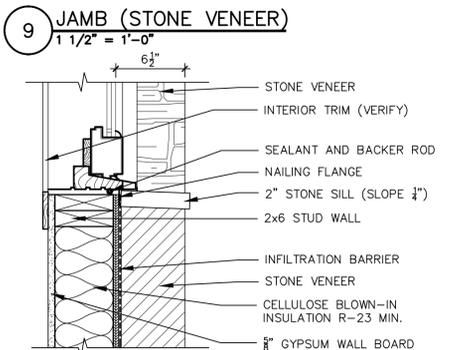
9 JAMB (STONE VENEER)  
1 1/2" = 1'-0"



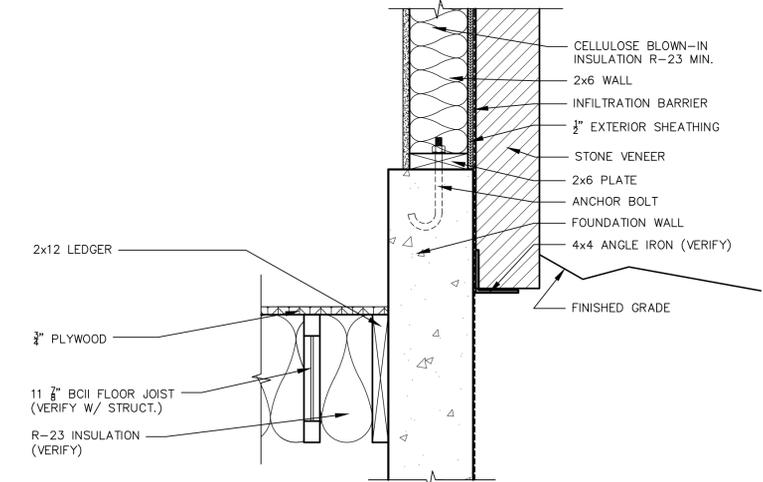
4 SILL (WOOD SIDING)  
1 1/2" = 1'-0"



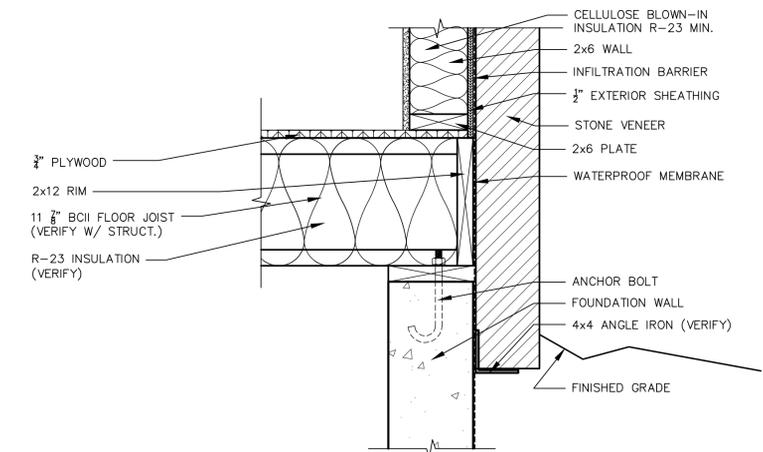
7 SILL (STEEL SIDING)  
1 1/2" = 1'-0"



10 SILL (STONE VENEER)  
1 1/2" = 1'-0"



12 EXTERIOR WALL @ BACK  
1 1/2" = 1'-0"



13 EXTERIOR WALL @ SIDE  
1 1/2" = 1'-0"



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JOB NUMBER: 18-4  
DRAWN BY: TH  
DATE: JULY 24, 2018  
ROLE: HOA

REVISION DATE: INITIAL

DT1

**LEGEND**

-  WATER VALVE
-  FIRE HYDRANT
-  SEWER MANHOLE
-  CABLE-TV PEDESTAL
-  FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 24954
-  FOUND No. 5 REBAR, NO CAP



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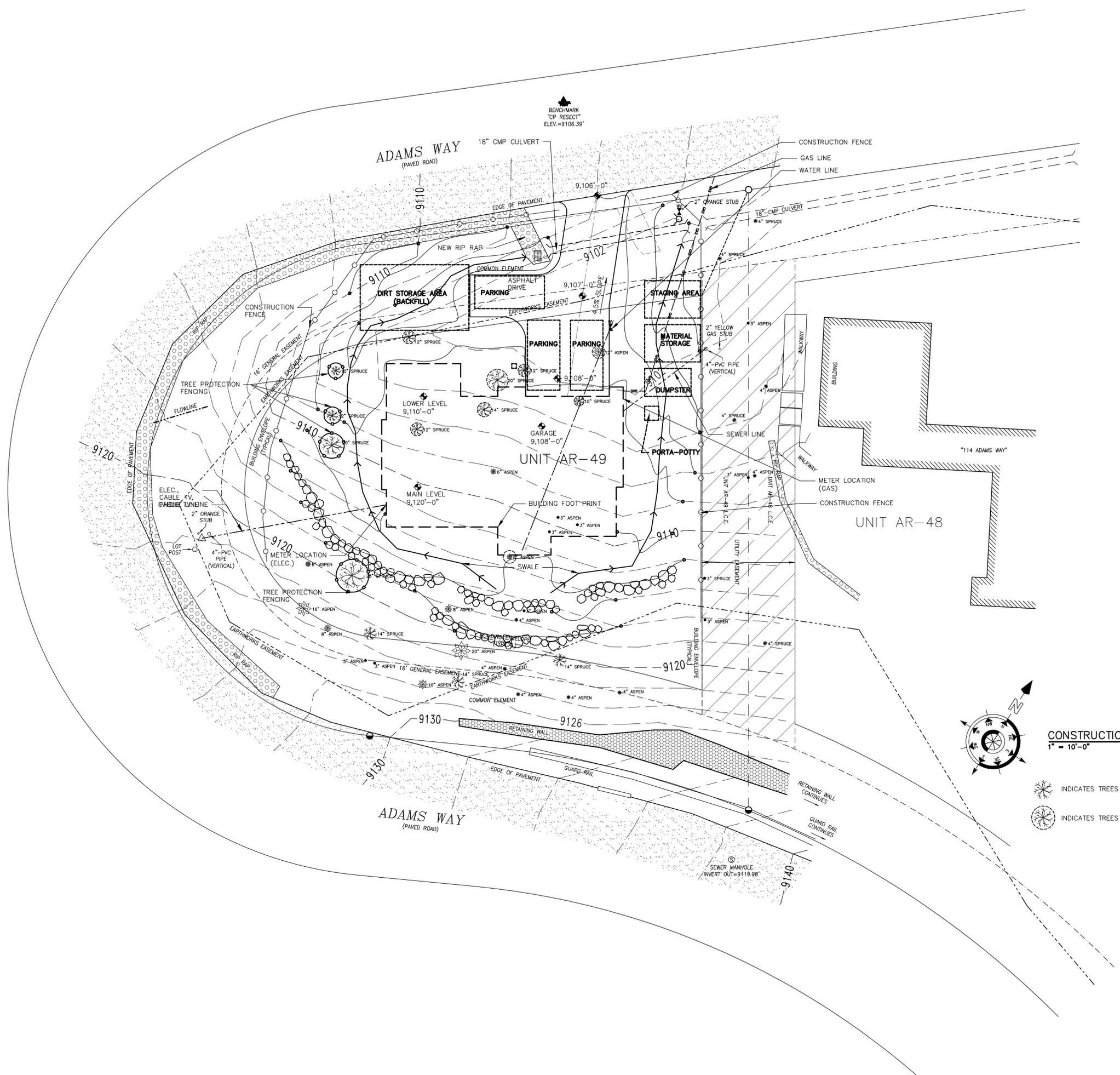
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**CMP**



**CONSTRUCTION MANAGEMENT PLAN**  
1" = 10'-0"

-  INDICATES TREES TO REMAIN
-  INDICATES TREES TO BE REMOVED

**LOT AR49**  
**Exterior Lighting Plan**

Lights to be used on the exterior of the house:  
Fairbanks Wall Lantern

Images of lights:



Light Specifications:

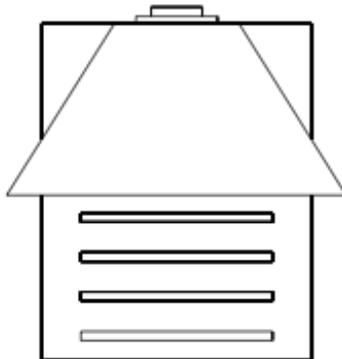
*BULB: 1- MEDIUM BASE SOCKET, 100 WATT MAXIMUM*

*DIMENSIONS: 13 INCH HEIGHT, 12 INCH WIDTH, 7 INCH EXTENSION*

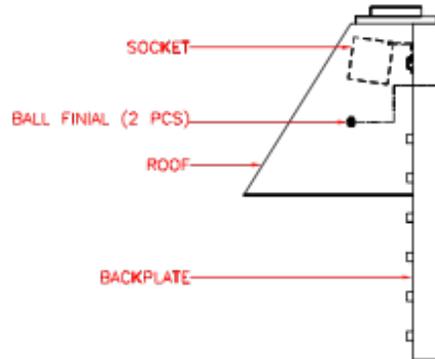
*HEIGHT: 13 INCHES*

*WEIGHT: 15.42 LBS.*

*FINISH: COPPER FINISH*



**FRONT VIEW:**



**SIDE VIEW:**

**PRODUCT SPECIFICATIONS**

**NOTE:** THE ACTUAL FINISH IS GILDED COPPER.

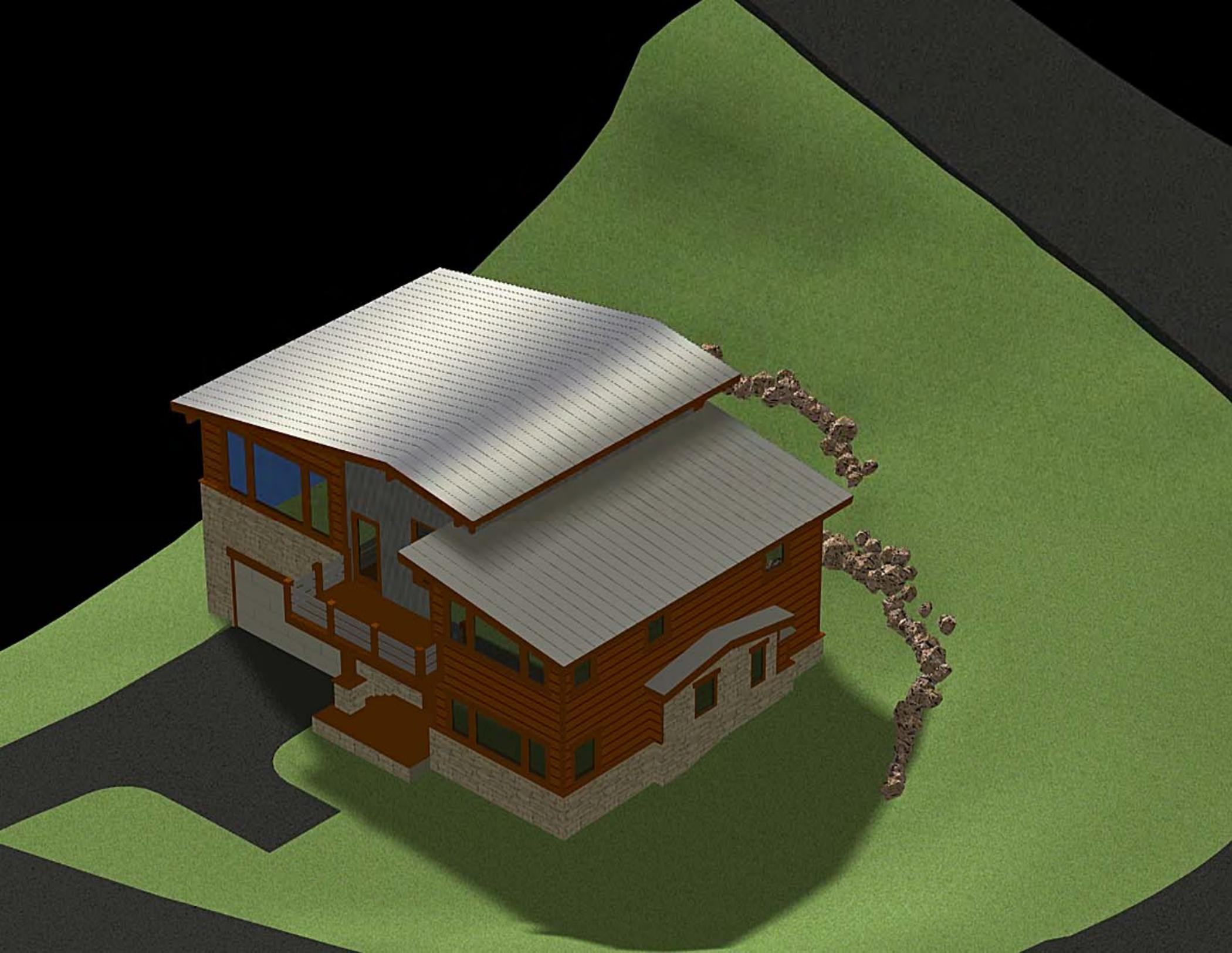
- OVERALL ASSEMBLED DIMENSIONS:** HEIGHT: 31.8 CM (12-1/2"), WIDTH: 30.5 CM (12"), EXTENSION: 17.8 CM (7").
- 1 LIGHT:** UL LISTED, 100 WATT, E27 MEDIUM BASE CERAMIC SOCKET.
- BACKPLATE:** PAINTED STEEL, 30.5 CM (12") LENGTH x 24.2 CM (9-1/2") WIDTH x 2.5 CM (1") HEIGHT. (2) HOLES IN BACKPLATE FOR MOUNTING SCREWS TO PASS THROUGH.
- ROOF:** PAINTED STEEL, 30.5 CM (12") WIDTH x 15.2 CM (6") EXTENSION x 15.5 CM (6-1/8") VERTICAL HEIGHT.
- SUPPLY WIRE:** UL LISTED, 18 AWG, 105', MUST EXTEND A MINIMUM OF 15.2 CM (6") PAST CENTER OF BACKPLATE. WIRES MUST BE LEAD FREE.
- LABELS:** CETL, MANUFACTURING DATE, MODEL # AND COUNTRY OF ORIGIN LABELS PROVIDED ON INSIDE OF BACKPLATE. RELAMPING LABEL FOR 100 WATT TYPE "A" BULB PROVIDED ON SOCKET. RELAMPING LABELS ARE NOT ALLOWED TO BE PLACED ON THE OUTSIDE OF THE PRODUCT.

**PACKAGING AND SHIPPING**

- THE ITEM IS ASSEMBLED FOR SHIPPING AS SHOWN. THE LANTERN IS SECURED SO THEY CAN NOT MOVE DURING SHIPPING.
  - HARDWARE PACK #005 PROVIDED. ENTIRE FIXTURE IS COVERED IN A CLOSED PLASTIC BAG WITH A SMALL BAG OF SILICA INSIDE.
  - THE CARTON IS MADE OF DOUBLE WALL, CORRUGATED CARDBOARD "A MA A". BROWN IN COLOR. THE INNER PACKING IS DIE-CUT CARDBOARD OR STYROFOAM TO PROTECT AND SECURE THE LANTERN AND MUST PASS THE FEDEX AND ISTA-3A DROP TEST REQUIREMENTS.
  - EACH CARTON SHALL BE PRINTED WITH A LINE DRAWING AND THE KENROY HOME NAME AND LOGO, MODEL NUMBER AND FINISH, EACH CARTON SHALL BE PROVIDED A UPC LABEL. THE UPC BAR CODE AS FOLLOWS: 053392102791.
- OTHER DETAILS:**
- ENTIRE BACKPLATE ASSEMBLY MUST SIT FLUSH AGAINST WALL SURFACE.
  - ALL VISIBLE PARTS MUST MATCH FIXTURE FINISH UNLESS OTHERWISE SPECIFIED.
  - MODEL 10161COP INSTRUCTIONS ARE TO BE PRINTED CLEARLY ON QUALITY PAPER AND PACKED WITH EACH FIXTURE.
  - ALL BAGS MUST BE LABELED WITH OFFICIAL "THIS BAG IS NOT A TOY" STATEMENT.
  - DIMS OF UNIT BOX: 37 CM (14-9/16") LENGTH x 36 CM (13-3/4") WIDTH x 24 CM (9-7/16") HEIGHT. (CUFT.: 1.1')
  - DIMS OF MASTER BOX: 76 CM (30") LENGTH x 72 CM (28-5/16") WIDTH x 26 CM (10-1/4") HEIGHT. (4 PCS/CTN) (CUFT.: 5')
  - NET WEIGHT (UNIT): 3.3 LBS. GROSS WEIGHT (UNIT): 5.1 LBS.
  - THIS ITEM MUST BE CETL APPROVED FOR WET LOCATION, THE CETL NUMBER IS 4000819.

3723 Regent Boulevard JACKSONVILLE, FL 32224 PHONE: 904-642-4340 FAX: 904-642-4150	THIS DOCUMENT AND THE INFORMATION THAT IT DISCLOSES IS THE EXCLUSIVE PROPERTY OF KENROY HOME. ANY REPRODUCTION OR USE OF THIS DRAWING IN PART OR IN WHOLE, WITHOUT THE EXPRESS CONSENT OF THE PROPRIETOR IS PROHIBITED. © 2009 KENROY HOME.		REVISION DATE: 6/9/10 change US to CETL.	MODEL #: <b>10161COP</b>	
	DATE: 1/12/2009	SCALE: NONE	DRAWN BY: JAMES	REVISION DATE: 10/10/2013 add package drawing	FINISH: <b>GC</b>
	REFERENCE: <b>FAIRBANKS LARGE WALL LANTERN</b>			APPROVAL:	PAGE: 1 OF 1











**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Design Review Board  
**FROM:** Sam Starr, Planner  
**FOR:** Meeting of September 6, 2018  
**DATE:** August 31, 2018  
**RE:** Consideration of an Final Review application for a new single-family residence on Lot 165 Unit 11, Cortina Drive

**PROJECT GEOGRAPHY**

**Legal Description:** Lot 165  
**Address:** 210 Cortina Drive  
**Applicant/Agent:** Centre Sky Architecture  
**Owner:** Michael Talbott  
**Zoning:** Multi-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 0.21 Acres

**Adjacent Land Uses:**

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Open Space

**ATTACHMENTS**

- Exhibit A: Revised Applicant Narrative
- Exhibit B: Plan Set

**BACKGROUND**

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Final Review for the development of a single-family residence. The proposed dwelling unit is located on Cortina Drive, and consists of 4,972 livable square feet with 124 square feet of mechanical space and a 676 square foot garage. The site area consists of 0.21 acres and is characterized by a substantial slope on the western portion that has driven the design and placement of this residence.

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	35 + 5' (if gable form) maximum	37' 9"
Maximum Avg Building Height	30' + 5' (if gable form) maximum	28'
Maximum Lot Coverage	65%	48%
General Easement Setbacks		
North	16' Setback	15' 10"
South	16' Setback	16' 2"
East	16' Setback	16'
West	10' Easement	10' 7"
Roof Pitch		
Primary		2:12
Secondary		7:12
Exterior Material		
Stone	35%	35.10%
Wood	No requirement	27.60%
Windows/Doors	40% maximum for windows	21.40%
Metal Accents	No requirement	15.90%
Parking	2 enclosed	2 enclosed

**17.3.12.C BUILDING HEIGHT LIMITS**

The average height for the proposed design is code compliant at 28". The proposed maximum height is 37' – 9", which falls within the maximum height allowed for a single family home with a gabled roof. To verify that the finished product matches the proposed plans, staff recommends that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review approval as it is a construction condition.

**17.5.5 BUILDING SITING DESIGN**

Lot 165, Unit 11 is a small lot (0.21 acres) that slopes considerably from the east to the west. The topography-driven siting of the home has caused portions of the driveway to be in parts of the General Easements. To accommodate the structural elements in the GE, the applicant will need to enter into a General Easement Encroachment Agreement for the stone walkway and driveway. Staff also recommends that a monumented land survey of the footers be provided prior to pouring concrete to determine there are no further encroachments into the GE. This condition shall also be carried over to any Final Review approval as it is a construction condition.

**17.5.6 BUILDING DESIGN**

**Building Form and Exterior Wall Form**

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation. Moreover, the materials and form align with the character of the neighborhood.

**Roof Forms, Design and Materials**

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines, and vertical offsets. The primary roof forms for the proposed residence consist of 7:12 and 2:12 roofs, both of which are gabled.

At the August 2, 2018 Design Review Board meeting, the board made a condition of Initial Architectural Site Review approval that the applicant reconsider the chimney height and slope

for final review. In the revised plans attached as exhibit B, there are now 2 chimneys instead of 3, and both the slope and height of the chimneys have been reduced. The applicant still proposes to use a rusted standing seam for the roofing material.

### **Exterior Wall Materials**

The exterior walls consist of 35.10% stone veneer, which will be a mix of a gray quartzite plank of varying dimensions, and a 6" ashlar layup. 27.60% of the exterior materials will be an 8" vertical cedar ship lap-wood, while the remainder of the materiality will be 21.40% fenestration, and 15.90% metal accents.

### **17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades of 3:1 or flatter. The driveway and other fill areas will be graded with the foundation excavation. The applicant proposes to locate a portion of the driveway, and the 3 foot concrete v pan to be in the Cortina Drive road right of way.

### **17.5.8 PARKING REGULATIONS**

The applicant shows 2 enclosed parking spaces, which is consistent with the requirements for a Single Family Common Interest Community. However, a portion of the driveway, retaining walls, and drainage pans remain in the General Easement. The applicant has indicated that there will be snowmelt on the driveway, but the amount will not exceed 1000 square feet.

### **17.5.11 UTILITIES**

All shallow utilities are proposed to be run from the southern portion of the lot. Public Works requests that all utilities be field located by the contractor prior to construction.

### **17.5.12 LIGHTING REGULATIONS**

Applicant proposes 21 exterior lights, in the following arrangement:

- 6 3" LED recessed cans
- 6 5"x18.5" 1100 lumen black wall sconces
- 8 5"x15" 1100 lumen black wall sconces
- 1 5"x15.8" 100 lumen black exterior pendant

The placement of lighting is code compliant, and the locations include: decks, exterior egress areas, and the entryway. Owing to how small the lot and home are, planning staff still recommends that the exterior plan be revised and approved by staff/chair or chair's designate.

### **17.5.13.E.4 ADDRESS IDENTIFICATION SIGNS**

Applicant proposes to attach the address sign to the retaining wall, using 8"x8" and 6"x8" wood beams. The numbers will be 6" tall brushed aluminum, and all wood will have a metal cap. The applicant does not show any lighting and will need to submit an updated address identification sign indicating the presence of a concealed and downlit LED light illuminating the numbers.

### **17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS**

Applicant has indicated the fireplace will be gas-fueled.

### **17.7.19 CONSTRUCTION MITIGATION**

All construction staging is within the lot boundaries. However, the construction staging plan does show construction parking and disturbance in the General Easements and Cortina Drive Right of Way. Staff finds this disturbance is minimal and will not adversely affect the surrounding properties. The configuration is necessary given the size and slope constraints of the site.

**RECOMMENDATION**

Staff recommends the DRB approve the Final Review application with the stated variations and specific approvals for Lot 165 Unit 11 with the following conditions which shall be addressed before issuance of a building permit unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.
3. Prior to issuance of a CO the owners of Lot 165 unit 11 will enter in to a General Easement Encroachment Agreement with the Town of Mountain Village for the exterior parking, retaining wall and driveway abutments in the eastern General Easement.
4. Applicant provide an updated Address Identification Sign demonstrating the presence of downlit, concealed LED light.
5. Exterior lighting plan be revised and approved by staff/chair or chair's designate.

# CENTRE SKY

ARCHITECTURE LTD

---

10125 RANCHO MONTECITO DRIVE  
PARKER COLORADO 80138  
303.840.0020  
303.840.2299 F



11 LONE PEAK DR #206; BOX 161488  
BIG SKY MONTANA 59716  
406.995.7572  
406.995.7477 F

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## T11 Project Narrative:

Located in Mountain Village, Lot 11 is a down sloping site off of Cortina Drive. The lot is heavily covered with aspen trees and some pine trees. Lot 11 has great southern and western sun exposure. It also has views to the San Sophia Range to the East and views to ski run to the West. Lot 11 is a ski in ski out lot and has a skier access easement on its western property boundary.

The proposed design for Lot 11 has a mountain contemporary architectural theme. Exterior materials include vertical ship lap gray siding, two stone textures with one as a stone veneer planks and the second an ashlar layup at the great room fireplace stack, black metal paneling, black window frames, and a rusted metal standing seam roofing. Public spaces of the Great Room, Kitchen, and Dining are pushed to the North side of the site to take advantage of views and passive solar gain. This is achieved through large windows and doors that open up to a patio and deck allowing for cross ventilation. The garage and master bedrooms are located on the South side of lot in order to minimize the amount of regrading. Upper level over garage includes two large bedrooms that take advantage of views to the East and West. While the lower level bedrooms, ski room, and family room face west and are accessed via a walk out patio.

Sincerely,

Jamie Daugaard, AIA, NCARB, LEED ap

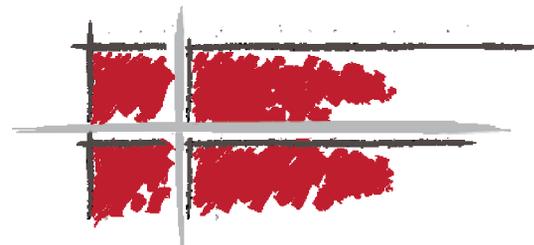
Principal Architect-Centre Sky Architecture

# CORTINA LOT 11

MOUNTAIN VILLAGE, CO 81435



NOTE:  
RENDERINGS MAY DIFFER FROM CONSTRUCTION PLANS.  
CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.



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ISSUE # \_\_\_\_\_



NOTE:  
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CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.



**CENTRE SKY**  
ARCHITECTURE LTD

# TELLURIDE LOT 11

MOUNTAIN VILLAGE, COLORADO

■ CENTRE SKY ARCHITECTURE, LTD.

PROSET CONSTRUCTION ■

**CENTRE SKY**  
ARCHITECTURE, LTD.  
ARCHITECTURE  
&  
PLANNING

## CENTRE SKY ARCHITECTURE, LTD.

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P.O. Box 161488  
Big Sky, MT. 59716  
Phone: (406) 995-7572 Fax: (406) 995-7477  
E-mail: sara@centresky.com

10125 Rancho Montecito Drive  
Parker, CO. 80138  
Phone: (303) 840-0020 Fax: (303) 840-2299  
Website: www.centresky.com

## ARCHITECTURE

## MICHAEL TALBOTT

13905 River Glen Ln.  
Prospect, KY 40059  
Cell: (502) 415-2280  
E-mail: mtalbott1@gmail.com

## CLIENT

## PROSET CONSTRUCTION

1519 East Main Street  
Montrose, CO 81401  
Phone: (907) 626-3114  
Cell: (970) 708-9336  
Email: davide@prosetconstruction.com, scott@prosetmodular.com  
Website: www.prosetmodular.com

## GENERAL CONTRACTOR

## JESSE PEKKALA STRUCTURAL ENGINEERS

P.O. BOX 688  
201 West Colorado Ave. #201  
Telluride, CO 81435  
Phone: (970) 729-1809  
Email: jesse@pekkalaeng.com

## STRUCTURAL ENGINEER

## LUXWEST PROPERTIES

Bruce McIntyre  
Phone: (970) 729-0979  
Email: brucem@luxwest.com

## CLIENT REPRESENTATIVE

## SAN JUAN SURVEYING

102 Society Drive  
Telluride, CO 81435  
Phone: (970) 728-1128  
Email: office@sanjuansurveying.net

## SURVEYOR

## BURGGRAAF ASSOCIATES INC.

1404 Hawk Parkway, #218  
Montrose, CO 81401  
Phone: (970)240-5990  
Email: m.burggraaf@bai-eng.biz

## MECHANICAL ENGINEER

## LUX WEST INTERIORS

327 E Colorado Ave.  
P.O. Box 1552  
Telluride, CO 81435  
Phone: (970) 728-8238  
Email: barbara@luxwest.com

## INTERIOR DESIGN

## ALPINE LAND CONSULTING, LLC.

P.O. Box 234  
Rico, CO. 81332  
Phone: (970)708-0326  
Email: gregg@alpinelandconsulting.com  
Website: www.alpinelandconsulting.com

## CIVIL ENGINEER

## TRAUTNER GEOTECH LLC

649 Tech Center Drive Unit A  
Durango, CO 81301  
Phone: (970)259-5095

## GEOTECHNICAL ENGINEER

## LOTUS ENERGY SOLUTIONS

P.O. Box 803  
Ophir, CO 81426  
Phone: (970) 708-9674  
Email: lotusenergysolutions@gmail.com

## ENERGY CONSULTANT

## GRASSROOTS LANDSCAPE DESIGN, LLC

P.O. Box 536  
Placerville, CO. 81430  
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## LANDSCAPE DESIGNER

## ■ FINAL REVIEW

AUGUST 23, 2018 ■



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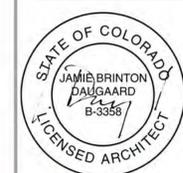
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CORTINA LOT 11  
MOUNTAIN VILLAGE, CO 81435

NOT FOR CONSTRUCTION



Issued For	Date
* 100% S.D.	06/28/2018
* Pricing #	-
* DRB Initial Review	06/28/2018
* 100% D.D.	08/02/2018
* ARC Final Review	08/23/2018
* 100% C.D.	-
* PHASE 2	-
* REV. #	-

Drawn By S. DAGOSTINO  
Date 08/23/2018  
Project # 1808.00  
Phase CD  
Sheet

T1-0.1  
TITLE SHEET

## CODE ANALYSIS

ZONING: -  
OCCUPANCY: R-1  
CONSTRUCTION TYPE: TYPE V NON RATED  
ALLOWABLE FLOOR AREA: -  
FIRE SUPPRESSION: REQUIRED - NFPA 13D  
IRRIGATION: REQUIRED - MOUNTAIN VILLAGE CDC.  
BEARING & NON-BEARING EXTERIOR WALLS: NON RATED  
INTERIOR BEARING WALLS: NON RATED  
STRUCTURAL FRAME: NON RATED

BUILDING DEPT: -  
BUILDING DEPT PHONE: -  
CODE JURISDICTION: -  
SHAFT ENCLOSURES: -  
ROOF/ROOF CEILING: -

STATE OF COLORADO - SAN MIGUEL COUNTY  
(970)728-3923  
2012 INTERNATIONAL RESIDENTIAL CODE  
2012 INTERNATIONAL PLUMBING CODE  
2012 INTERNATIONAL MECHANICAL CODE  
2012 INTERNATIONAL FUEL GAS CODE  
2012 INTERNATIONAL ENERGY CONSERVATION CODE  
2017 NATIONAL ELECTRICAL CODE  
2012 INTERNATIONAL FIRE CODE  
TOWN OF MOUNTAIN VILLAGE & SAN MIGUEL COUNTY  
PRESCRIPTIVE ENERGY CODE & GREEN BUILDING STANDARDS  
NONE  
CLASS-A ROOF CONSTRUCTION REQUIRED

ZONING DISTRICT	MINIMUM AREA	MAXIMUM LOT COVERAGE SEE 1/A1-3.2	MAXIMUM HEIGHT	PROPERTY SETBACKS		
				FRONT (ROAD)	SIDE	REAR
REQUIRED	N/A	<65%	30' AVG. MAX - 35' (+5') MAX	16 FEET	16 FEET	10 FEET
ACTUAL	N/A	45%	28' AVG. MAX - 32' (+5') MAX	COMPLIED	COMPLIED	COMPLIED

## AREA ANALYSIS

DEFINITIONS:  
SQUARE FOOT: As defined by ANSI Z765-2003: Livable floor area as measured from exterior dimensions including thickness of all walls, interior and exterior, excluding fireplace bump-outs, mechanical spaces, garage spaces, and unfinished basement and/or attic space.

GROSS SQUARE FOOT: Total building area as measured from exterior dimensions including thickness of all walls, interior and exterior, mechanical spaces, garage spaces, and accessible un-fished space; does NOT include crawl spaces, patios and decks.

PROJECT SQUARE FOOTAGE	LOWER LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL
	LIVABLE	1,846 SF	1,964 SF	1,332 SF
MECHANICAL	160 SF	NA	NA	160 SF
GARAGE	NA	676 SF	NA	676 SF
TOTAL	2,006 GSF	2,640 GSF	1,332 GSF	5,978 GSF

	LOWER LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL
M. BED 02 PATIO	NA	NA	248 SF	248 SF
M. BED 03 PATIO	NA	NA	213 SF	213 SF
GREAT ROOM DECK	NA	437 SF	NA	437 SF
ENTRY PATIO	NA	483 SF	NA	483 SF
LOWER LEVEL PATIO	468 SF	NA	NA	468 SF
TOTAL	468 SF	920 SF	461 SF	1,849 GSF

## SITE INFORMATION

POWER: SAN MIGUEL POWER ASSOCIATION  
1-877-864-7311  
CITY: CITY  
SEWER: CITY  
GAS: SOURCE GAS - (970) 728-6141  
MOUNTAIN VILLAGE CABLE - (970) 369 - 0555  
CABLE: -  
TELEPHONE SERVICE: -  
UNDERGROUND UTILITY LOCATE: 813  
FIRE DEPT: TELLURIDE FIRE PROTECTION DISTRICT  
FIRE DEPT. PHONE: (970) 729-2411 CHIEF/INSPECTOR - J. CHEROSKE

## DESIGN CRITERIA

BASIC WIND SPEED: 90 MPH/3 SEC. GUST (VERIFY W/ STRUCTURAL ENG.)  
SEISMIC DESIGN CATEGORY: "C" (VERIFY WITH STRUCTURAL ENG.)  
FROST DEPTH: MINIMUM 48" BELOW FINISH GRADE  
SNOW LOADS: - PSF (VERIFY W/ STRUCTURAL ENG.)  
FOUNDATION STANDARD: REFER TO STRUCTURAL DRAWINGS, GENERAL NOTES & FOUNDATION DETAILS.

DEFENSIBLE SPACE: 30 FEET IS RECOMMENDED  
GEOTECHNICAL REPORT: COPIES AVAILABLE UPON REQUEST

## GRAPHIC SYMBOLS

	100'-0" T.O. CONC.		POINT ELEVATION POINT		LINE OF ELEMENT ABOVE OR HIDDEN		NEW CONCRETE
	EXTERIOR ELEVATION MARKER		TITLE SCALE		TITLE MARK		PUMICE-CRETE RAMMED EARTH RASTRA PANELS
	BUILDING SECTION & SECTION DETAIL MARKER		DETAIL INDICATOR		TIMBER OR LOG ELEMENT		INSULATION
	INTERIOR WALL ELEVATION MARKER		SECTION DETAIL INDICATOR		STRUCTURAL BACKFILL		UNDISTURBED SOIL
	ROOM NAME ROOM NUMBER		REVISION MARKER		ASPHALT		WALL TO BE REMOVED
	DOOR INDICATOR		WALL TYPE		EXISTING WALL TO REMAIN		NEW WALL
	WINDOW TYPE						
	DATUM POINT						
	BREAK LINE						

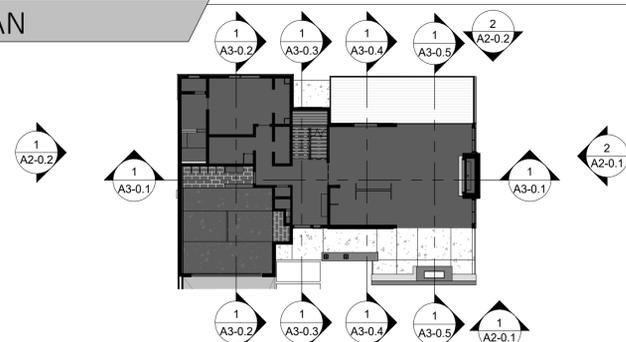
## VICINITY MAP



## SHEET INDEX

<b>GENERAL</b>	COVER	A3-0.2 BUILDING SECTIONS
01 PERSPECTIVES		A3-0.3 BUILDING SECTIONS
T1-0.1 TITLE SHEET		A3-0.4 BUILDING SECTIONS
		A3-0.5 BUILDING SECTIONS
A0-0.0 GENERAL NOTES		A3-1.1 WALL SECTIONS
A0-0.1 GENERAL NOTES		A3-2.1 FIREPLACE SECTIONS & DETAILS
A0-0.2 MATERIAL SPECIFICATIONS		A3-2.2 FIREPLACE SECTIONS & DETAILS
<b>CIVIL</b>		A3-3.1 STAIR PLANS SECTIONS & DETAILS
C1-0.0 EXISTING SITE SURVEY		A4-1.0 INTERIOR FINISH SCHEDULE
C1-0.1 GRADING NOTES		A4-1.1 INTERIOR ELEVATIONS
C1-0.2 GRADING PLAN		A4-1.2 INTERIOR ELEVATIONS
C1-0.3 DRAINAGE AND EROSION CONTROL PLAN		A4-1.3 INTERIOR ELEVATIONS
C2-0.1 CONSTRUCTION MITIGATION PLAN		A4-1.4 INTERIOR ELEVATIONS
		A4-1.5 INTERIOR ELEVATIONS
A1-0.1 SITE PLAN		A4-1.6 INTERIOR ELEVATIONS
A1-0.2 SITE AXON, SECTION & DETAILS		A4-2.0 INTERIOR DETAILS
A1-0.3 UTILITY PLAN		AS-0.1 WALL & ROOF TYPE DETAILS
<b>LANDSCAPE</b>		AS-0.2 FLOOR TYPE DETAILS
LS-1 LANDSCAPE PLAN		AS-1.1 EXTERIOR DETAILS
LS-2 IRRIGATION PLAN		AS-1.2 EXTERIOR DETAILS
<b>ARCHITECTURAL</b>		A6-1.1 WINDOW ELEVATIONS
A1-1.0 LOWER LEVEL PLAN		A6-1.2 WINDOW SCHEDULE
A1-1.1 MAIN LEVEL PLAN		A6-1.3 WINDOW DETAILS
A1-1.2 UPPER LEVEL PLAN		A6-2.1 DOOR ELEVATIONS & SCHEDULE
A1-2.0 LOWER LEVEL RCP		A6-2.2 DOOR DETAILS
A1-2.1 MAIN LEVEL RCP		<b>ELECTRICAL</b>
A1-2.2 UPPER LEVEL RCP		ED-0.1 EXTERIOR LIGHTS
A1-3.1 ROOF PLAN		E1-1.0 LIGHTING PLANS
A1-3.2 ROOF PLAN & TOPO SURVEY		E1-1.1 POWER PLANS
A1-3.3 ROOF DETAILS		<b>PERSPECTIVES</b>
A1-3.4 ROOF DETAILS		P-0.1 EXTERIOR PERSPECTIVES
A2-0.1 EXTERIOR ELEVATIONS		
A2-0.2 EXTERIOR ELEVATIONS		
A3-0.1 BUILDING SECTIONS		

## KEY PLAN



## ABBREVIATIONS

AB	anchor bolt	DWG	drawing	HT	height	PC	pumice-crete	STN	stone
ABV	above	DWR	drawer	HTG	heating	PIRE	perforate	STIFF	stiffener
AAC	autoclaved aerated concrete			HWD	hardwood	PERIM	perimeter	STO	storage
ADJ	adjacent	E	east, egress	HVAC	heat/ventilate/air condition	PL	plaster	STR	structural
AFF	above finished floor	EA	each	ID	inside diameter	PLAM	plastic laminate	SUSP	suspended
AGG	aggregate	EHD	electric hand dryer	INCL	include (d) (ing)	PLAS	plastic	SV	stacked ovens
ALUM	aluminum	EJ	expansion joint	INSUL	insulate (d) (ion)	PLF	plate	T	tread
ALT	alternation	EL	electric (all)	INT	interior	PLT	plate	TB	towel bar
ARCH	architect (ural)	ELEC	electric (all)	IRC	international residential code	PNL	panel	TC	terra cotta
ASPH	asphalt	EPDM	elastomeric membrane	INV	invert	PNT	paint (ed)	TEL	telephone
A/C	air conditioning	EQT	equipment	JST	joist	PSF	pounds per square foot	THK	thick (ness)
AVG	average	LWC	leaking water cooler	JT	joint	PSI	pounds per square inch	TO	top of
BD	board	EXST	existing	K	knockout	PTD	paper towel dispenser	TOC	top of concrete
BLDG	building	EXH	exhaust	KIT	kitchen	PTN	partition	TOS	top of steel
BLK	block	EXT	exterior	LO	knockout	PVC	polyvinyl chloride	TOW	top of wall
BLKG	blocking			L	length, angle	PVMT	pavement	TPD	toilet paper dispenser
BLKQ	bottom of	FC	faucet	KO	knockout		plywood	TPH	toilet paper holder
BOT	bottom	FD	floor drain	L	length, angle			TR	trash compactor
BR	bedroom	FDN	foundation	LAM	laboratory			TS	tube steel
BRG	bearing	FE	fire extinguisher	LAM	laboratory	QT	quarry tile	TV	television
BSMT	basement	FEC	fire extinguisher cabinet	LAV	lavatory			TYP	typical
BUR	built up roofing	FF	factory finish	LB	labeled	R	riser, radius	T&G	tongue and groove
		FFE	finished floor elevation	LF	lineal feet	R/A	return air		
C	channel	FIN	finish	LL	live load	RB	room	UBC	uniform building code
CB	cabinet	FLG	flashing	LF	live load	RCP	reflected ceiling plan	UE	underground electric
CB	catch basin	FLR	floor (ing)	LT	light	RD	roof drain	UL	underwriters laboratory
CG	corner guard	FLUR	flooring	LWC	lightweight concrete	RE	reference	UNO	unless noted otherwise
CTR	center	FND	feminine napkin dispenser	MAS	masonry	RF	refrigerator	VERT	vertical
CI	cast iron	FRV	feminine napkin vendor	MATL	material (s)	RG	register	VCT	vinyl composition tile
CI	control joint	FOC	face of concrete	MAX	maximum	REG	register	VR	vapor retarder
CL	ceiling	FOF	face of finish	MECH	mechanic (al)	REIN	reinforce (d) (ing)		
CLG	closet	FOM	face of masonry	MECH	mechanic (al)	REQD	required		
CLR	clear (ance)	FOS	face of stud	MTL	metal	REV	revision (s), revised	W	west, wide, width
CMU	concrete masonry unit	FRMG	framing	MFR	manufacturer (r)	RFG	roofing	W/	with
CMA	carbon monoxide alarm	FTC	foot	MH	manhole	RM	room	WC	water/closet
COL	clean out	FUT	footing	MIN	minimum	RO	rough opening	WD	wood
CO	column	FTG	future	MISC	miscellaneous	ROW	right of way	WDO	window
CONC	concrete			ML	microlam	RS	rough sawn	WF	wide flange
CONC	concrete			MLD	molding, moulding	RUB	rubber	WG	wire glass
CONST	construction	GA	gauge, gauge	MMB	membrane	RW	refrigerator drawers	WI	wrought iron
CONT	continuous or continue	GAL	gallon	MO	masonry opening	S	south	W/O	without
CORR	corridor	GAL	gallon	MOV	movable	SA	smoke alarm	WP	waterproof (ing)
CPT	carpet (ed)	GB	grab bar	MT	mount (ed) (ing)	S/A	smoke alarm	WR	warming drawer
CS	casement	GC	general contract	MW	microwave oven	SAG	suspended acoustic grid	WS	water supply
CTM	ceramic tile	GDO	garage door opener	N	not	SC	solid core	WVF	welded wire fabric
CY	clothes dryer	GI	galvanized iron	NAT	natural	SCH	schedule		
CW	clothes washer	GL	glass, glazing	NIC	not in contract	SD	storm drain		
		GWB	gypsum wall board	NT	not to scale	SECT	section		
		GV	galvanized	NTS	not to scale	SH	sheet	∠	angle
DBL	double	GYP	gypsum			SHG	sheathing	⊕	centerline
DBL	drinking fountain					SIM	similar	⊘	diameter
DH	double hung					SN	sink	⊥	perpendicular
DIAG	diagonal	HAS	headed anchor stud			SPD	soap dispenser	⊓	plate
DIAM	diameter	HB	hose bibb			SPEC	specification		
DIM	dimension (s)	HDB	hardboard			SPKR	speaker		
DISP	dispenser	HDC	hollow core			SQ	square		
DL	dead load	HCP	handicap (ped)			SS	service sink		
DN	down	HDR	header			SS	sanitary sewer		
DP	drain disposal	HDW	hardware			ST	steel		
DR	door	HM	hollow metal			STD	standard		
DS	downspout	HOR	horizontal						
DTL	detail	HP	horsepower						
DW	dish washer								

## GENERAL NOTES

- ALL CONSTRUCTION INCLUDED UNDER THIS CONTRACT SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE & LOCAL CODES, STANDARDS, REGULATIONS, ORDINANCES, SPECIFICATIONS AND ANY APPLICABLE DESIGN OR ARCHITECTURAL REVIEW COMMITTEES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS APPLICABLE TO THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ON-SITE REVIEWS BY BOTH THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER AT THE APPROPRIATE CONSTRUCTION PHASES AS SET FORTH BY EACH SPECIALTY.
- GENERAL CONTRACTOR/CONSTRUCTION MANAGER AS WELL AS SUB-CONTRACTORS SHALL BE FAMILIAR WITH & COMPLY TO ALL PROCEDURES SET FORTH BY FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES IN THE CONSTRUCTION OF THIS PROJECT. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FURNISH ALL AFFIDAVITS, CERTIFICATES, & REPORTS THAT MAY BE REQUIRED BY ANY & ALL AGENCIES INCLUDING ANY APPLICABLE DESIGN OR ARCHITECTURAL REVIEW COMMITTEES UPON REQUEST.
- ALL CONSTRUCTION DOCUMENTS ARE BASED ON THE ACCURACY OF THE EXISTING RECORD DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER AND TRADE CONTRACTORS TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE INSTALLATION OF ANY NEW WORK OR DEMOLITION OF EXISTING CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND BETWEEN THE EXISTING CONDITION AND THE CONSTRUCTION DOCUMENTS THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- INTERRUPTION OF EXISTING UTILITIES AND SERVICES AS NECESSARY MUST BE COORDINATED WITH THE OWNER'S REPRESENTATIVE WITH A MINIMUM OF 72 HOURS PRIOR NOTICE. THESE SERVICE INTERRUPTIONS INCLUDE BUT ARE NOT LIMITED TO: WATER, POWER, SANITARY SEWER, GAS, TELEPHONE, CABLE, ETC.
- CONTRACTORS SHALL COMPLY WITH ALL CONSTRUCTION DOCUMENTS, INCLUDING OUTLINE SPECIFICATIONS. **DO NOT SCALE DRAWINGS!** FOLLOW DIMENSIONS AS PER PLANS. NOTIFY ARCHITECT OF ANY CONFLICTS.
- SPECIFICATIONS AND DRAWINGS INDICATE FINISHED STRUCTURE. BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES, AND CONDITIONS (INCLUDING SAFETY), EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS.
- CONTRACTORS AND SUB CONTRACTORS SHALL RIGIDLY ADHERE TO ALL LAWS, CODES, AND ORDINANCES WHICH APPLY TO THIS WORK. THEY SHALL NOTIFY AND RECEIVE CLARIFICATION FROM ARCHITECT IN WRITING OF ANY VARIATIONS BETWEEN CONTRACT DOCUMENTS AND GOVERNING REGULATIONS.
- PRIOR TO MATERIAL FABRICATION, SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR CONFORMANCE TO DESIGN. REFER TO NOTES BELOW ON "SHOP DRAWINGS" AS WELL AS STRUCTURAL ENGINEERS GENERAL NOTES FOR FURTHER INFORMATION. THE CHECKING OF SHOP DRAWINGS BY THE ARCHITECT OR ENGINEER IN NO WAY RELIEVES THE CONTRACTOR OF FULL RESPONSIBILITY FOR ACCURATE COMPLETION OF THE WORK AS DRAWN AND SPECIFIED.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL WALL TYPES CONFORM TO STRUCTURAL SHEAR WALL REQUIREMENTS. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
- PROVIDE SCREEN WALL AT ALL EXTERIOR MECHANICAL EQUIPMENT. SCREEN WALL TO BE AT A MIN. HEIGHT OF 1'-0" ABOVE THE MECHANICAL EQUIPMENT, UNLESS NOTED OTHERWISE.
- A RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS.
- GUARDRAILS ARE REQUIRED AT ANY LOCATION HAVING A VERTICAL DROP GREATER THAN 30 INCHES AND ARE TO BE 36" MINIMUM IN HEIGHT.
- OPEN GUARDRAILS AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
- INSTALL HANDRAILS AT ALL STAIRS HAVING MORE THAN TWO RISERS, UNLESS SHOWN OTHERWISE. HANDRAILS TO BE NOT LESS THAN 34 INCHES, NOR MORE THAN 38 INCHES ABOVE NOSING OF TREADS.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5'-0" O.C. UNLESS NOTED OTHERWISE.
- ALL CONCRETE SLABS ON GRADE TO HAVE SLIP SHEETS INSTALLED BETWEEN SLAB AND SUBGRADE.
- EVERY EFFORT IS MADE TO PROVIDE COMPLETE AND ACCURATE INFORMATION. IF THERE IS ANY CONFLICTING INFORMATION OR OMISSIONS IN THE WORKING DRAWINGS OR SUPPLEMENTAL DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECT FOR A RESOLUTION.
- PROVIDE INSULATION AS FOLLOWS IN COMPLIANCE WITH 2012 IECC, SEE TABLE 402.1.1 FOR FULL DETAILS.

CEILING	R-49 MIN.
WOOD FRAME WALL	R-20 MIN. OR R-13 CAVITY INSULATION PLUS R-5 INSULATED SHEATHING.
MASS WALL	R-15 MIN. CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME; OR IF MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL, R-19 MIN. CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
FLOOR	R-30 MIN.
BASEMENT WALL	R-15 MIN. CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME; OR IF MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL, R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
SLAB	R-10 MIN. @ 4" DEPTH, R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.
CRAWL SPACE WALL	R-10 MIN. CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.

## SITE MANAGEMENT NOTES

### GENERAL NOTES

- BUILDING FOOTPRINT SHALL BE LOCATED BY A CERTIFIED SURVEYOR & TO BE REVIEWED AND APPROVED BY ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTOR SHALL REMOVE ALL VEGETATION, TREES, STUMPS, DEBRIS AND EXISTING STRUCTURES, INCLUDING PAVEMENT, SIDEWALK, BUILDING FOUNDATION, ABANDONED UTILITIES AND EXISTING TOPSOIL IN ALL AREAS OF DEVELOPMENT.
- DO NOT DISTURB SITE BEYOND CONSTRUCTION LIMITS AS SET FORTH WITHIN THIS DRAWING SET.
- ALL SURFACES DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED AND OR RE-LANDSCAPED AS SET FORTH IN THE LANDSCAPING PLAN OR TO MATCH EXISTING WHERE NOT NOTED, SUCH THAT THEY BECOME INDISTINGUISHABLE FROM ADJACENT UNDISTURBED NATURAL AREAS.
- NOTICE TO ALL CONTRACTORS AND SUBCONTRACTORS: PROTECT NATURAL VEGETATION, TERRAIN, ROCKS, ETC. FROM STUCCO, PAINT, ROOFING FOAM, CONCRETE OR OTHER DAMAGE BY COVERING WITH PLASTIC OR AS REQUIRED. PROVIDE A 4'-0" HIGH BARRIER WITHIN BUILDING ENVELOPE (WHEN APPLICABLE). KEEP MATERIALS AND WORKMEN WITHIN THE FENCE TO PREVENT DAMAGE TO NATURAL TERRAIN AND VEGETATION. THE COST OF RECLAIMING OR REPAIRING ANY DAMAGE DUE TO NEGLIGENCE WILL BE AT THE CONTRACTOR'S / SUBCONTRACTOR'S EXPENSE.
- ANY AREAS EXTENDING BEYOND THE IMMEDIATE BUILDING SITE THAT ARE DISTURBED DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO, DRAINAGE FACILITIES AND UTILITY (SEWER, WATER, ELECTRIC, ETC.) TRENCHES SHALL BE RESTORED TO THEIR NATURAL STATE.
- ALL TRADES SHALL BE RESPONSIBLE TO COMPLETE SITE INVESTIGATION TO IDENTIFY SCOPES OF MATERIALS TO BE REMOVED AND NEW MATERIALS REQUIRED TO MATCH EXISTING CONSTRUCTION.
- ALL PROPERTY AND BUILDING LINES AS WELL AS ALL SPOT ELEVATIONS SUCH AS TOP OF PWD IN RELATION TO EXISTING GRADE, SHALL BE FIELD VERIFIED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- HOUSE ADDRESS MARKING: A HOUSE NUMBER SHALL BE DISPLAYED IN A PROMINENT MANNER, SO THAT IT IS REASONABLY VISIBLE TO ENABLE EMERGENCY VEHICLES TO LOCATE THE RESIDENCE.
- ALL REMAINING WALLS TO HAVE DRAIN TILE SURROUNDED BY 3/4" CRUSHED GRAVEL WRAPPED IN GEOTEXTILE BEHIND WALL AND WEEPS @ 4'-0" O.C. (TYP). REFER TO SOILS REPORT FOR FURTHER INFORMATION.
- 3'-0" NON COMBUSTIBLE SPACE AROUND HOUSE PERIMETER IS REQUIRED 30'-0" DEFENSIBLE SPACE AROUND HOUSE PERIMETER IS STRONGLY RECOMMENDED.

### UTILITIES

- CONTRACTOR SHALL CONFIRM WITH EACH APPLICABLE AGENCY THAT ALL UTILITIES (SEWER, POWER, WATER, ETC.) ARE LOCATED AS SHOWN AND THAT SEWER TAP IS LOW ENOUGH TO SERVE ALL PLUMBING DRAINS.
- CONTRACTORS SHALL NOTIFY UTILITY LOCATOR A MINIMUM OF (3) WORKING DAYS PRIOR TO COMMENCING WORK TO DETERMINE HOW RESPECTIVE UTILITIES WILL BE EFFECTED BY CONSTRUCTION.
- ALL UTILITIES ARE TO BE BURIED, AND SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL ORDINANCES.
- UTILITY ROUTING AND CONDUIT TRENCH LOCATIONS SHALL CONFORM TO ALL APPLICABLE BUILDING CODES WITH REFERENCE TO HORIZONTAL AND VERTICAL SEPARATION.
- ELECTRICAL METER SHALL HAVE THE ABILITY TO BE READ REMOTELY BY POWER COMPANY.
- WATER SUPPLY LINE SHALL BE 1 1/2" OD POLYETHYLENE AND 8'-0" BELOW GRADE, UNLESS NOTED OTHERWISE.

### EXCAVATION

- ANY EXCAVATION SHALL BE CONDUCTED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN GEOTECHNICAL REPORT.
- FINISH GRADE SHALL BE A MINIMUM OF 8 INCHES BELOW WOOD FRAMING AT BUILDING EXTERIOR.
- FINISH GRADE TO SLOPE AWAY FROM STRUCTURE FOR A MINIMUM DISTANCE OF 10'-0" AND AT A MINIMUM SLOPE OF 1:10 AND A MAXIMUM SLOPE OF 1:2 UNLESS NOTED OTHERWISE. - GEOTECHNICAL REPORT TO SUPERCEDE ANY FURTHER CONFLICTS.
- THERE SHALL BE AN EVEN SLOPE BETWEEN NEW GRADES. UNLESS NOTED OTHERWISE, MEET EXISTING GRADES AT A MAXIMUM SLOPE OF 1'-0" VERTICAL TO 2'-0" HORIZONTAL AND A RECOMMENDED SLOPE OF 1'-0" VERTICAL TO 10'-0" HORIZONTAL. ALL FINISHED EARTH GRADES TO BE 1" BELOW ADJACENT WALLS AND DRIVES UNLESS OTHERWISE NOTED. DITCHES TO HAVE SMOOTH CONTOURS TO FACILITATE USE OF LAWN MOWERS WHERE APPLICABLE.
- THE UNDER FLOOR GRADE SHALL BE CLEANED OF ALL VEGETATION AND ORGANIC MATERIAL. ALL WOOD FORMS USED FOR PLACING CONCRETE SHALL BE REMOVED, AND ALL CRAWL SPACES SHALL BE CLEANED OF ALL CONSTRUCTION DEBRIS BEFORE STRUCTURE IS OCCUPIED.

### FIRE SUPPRESSION

- FIRE SUPPRESSION SYSTEM IS REQUIRED. SPRINKLER SYSTEM DESIGN AND LAYOUT SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO COMMENCING INSTALLATION.
- FIRE SUPPRESSION ENGINEER OF RECORD SHALL BE CONTACTED BY GENERAL CONTRACTOR TO PERFORM ON-SITE OBSERVATION VERIFYING THE INSTALLATION IS IN ACCORDANCE WITH PLANS PROVIDED.

### STAGING NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL FROM ANY APPLICABLE ARCHITECTURAL REVIEW COMMITTEE FOR ALL CONSTRUCTION STAGING IN THE FIELD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL CLEARING AND EXCAVATION WITHIN EXISTING PROPERTY LINE BOUNDARIES AND GENERAL EASEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ANY REVISIONS OR ALTERATIONS TO THE CONSTRUCTION STAGING PLAN PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO INSTALL STRAW BALES IN ADDITION TO SILT FENCE AT LOCATIONS OF POTENTIAL RUN-OFF INTO WETLAND AREAS AS INDICATED ON SITE PLAN.
- ANY DAMAGE TO THE EXISTING ROADWAY, INCLUDING THE ASPHALT SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CULVERTS, AND EXISTING VEGETATION AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR TO THE SATISFACTION OF THE DEVELOPER.
- GRAVEL CONSTRUCTION ENTRANCE IS TO BE CONSTRUCTED WITH A MIN. OF 2" OF 3/4" SCREENED ROCK TO COVER ALL DRIVEWAYS, PARKING, AND LAY DOWN AREAS TO BE PLACED AT START OF CONSTRUCTION, AND A RECOMMENDATION OF 1 MIN. OF 8 1/2" MINUS 3" PITRUM OVER A GEOTECHNICAL SEPARATION FABRIC.
- ANY USE OF ANY FIRE HYDRANT IS PROHIBITED FOR USE BY ANY OTHER THAN THE GOVERNING FIRE DEPARTMENT.
- ALL WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT PROJECT COMPLETION. FURTHER, CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.
- GENERAL CONTRACTOR IS TO PROVIDE ONE LOCATION FOR CONCRETE TRUCK WASHOUT. CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.

## G.C. SUBMITTALS TO ARCHITECT

- PROJECT SCHEDULE
- PROJECT BUDGET
- RADON MITIGATION PLAN AND DETAILS
- FIRE SUPPRESSION DESIGN AND LAYOUT, IF REQUIRED.
  - DOCUMENTATION OF FIRE SUPPRESSION ENGINEERS SITE REVIEW
- MECHANICAL ROOM EQUIPMENT LAYOUT.
- ROOF PENETRATION PLAN.
- MATERIAL SAMPLES AND MOCKUPS AS REQUIRED - SEE MATERIAL LEGEND.
- STEEL SHOP DRAWINGS.
- TIMBER SHOP DRAWINGS.
- DOOR AND WINDOW MFR. SUBMITTALS AND SHOP DRAWINGS
- ROUGH OPENINGS WALK THROUGH REQUIRED, COORD W/ ARCH.
- PRE-MANUFACTURED TRUSS SHOP DRAWINGS, AS APPLICABLE.
- VAPOR BARRIER SPECS AND SUBMITTAL SHEETS.
- INSULATION SPECS AND SUBMITTAL SHEETS.
- BELOW SLAB INSULATION WALK THROUGH, REVIEW, & APPROVAL REQUIRED, COORD. W/ ARCH.
- MECHANICAL DESIGN AND SHOP DRAWINGS WHERE MECHANICAL DESIGN IS NOT PROVIDED AS PART OF ARCHITECTS SCOPE.
- ELECTRICAL WALK THROUGH REQUIRED, COORD W/ ARCH. ID. OWNER
- SNOW GUARD AND GUTTER SUBMITTALS AND SHOP DRAWINGS.
- DOCUMENTATION OF SITE INSPECTIONS FROM STRUCTURAL ENGINEER AND GEOTECHNICAL ENGINEER AS OUTLINED BY EACH ENTITY.
- BLOWER DOOR TEST RESULTS
- THERMAL IMAGING TEST RESULTS:
  - MICHAEL DUNPHY: michael.dunphy@jillpartlopost.com, 970.209.0866
  - ALAN SENTER: silnspec@msn.com, 970.318.1197
- CONTRACT W/ RECYCLING COMPANY COORD. INFORMATION W/ ARCHITECT.
- OPERATIONS AND MAINTENANCE MANUAL
- 3D HOUSE SCAN BY 3D BOZEMAN, LLC. SCAN TAKEN BEFORE DRYWALL IS INSTALLED. ANOTHER OPTIONAL SCAN AFTER HOUSE IS COMPLETED.
- WEEKLY OR BI-WEEKLY CONSTRUCTION REPORTS AND PHOTOS DESCRIBING ALL WORK PERFORMED, ANY BUILDING ITEMS, AND UP COMING SCHEDULE DEADLINES.
- UNDERGROUND UTILITIES RECORD DRAWINGS.



PRO VENT DUCT COVER

### EROSION CONTROL AND BMP'S

- STORM WATER DETENTION POND/S ARE REQUIRED TO MINIMIZE SEDIMENT RUNOFF. SEE SITE PLAN AND SITE DETAILS FOR FURTHER INFORMATION.
- STORM WATER DETENTION POND/S SHOULD BE LOCATED ON SITE TO MAXIMIZE THE COLLECTION OF SURFACE RUNOFF WATER, IN ADDITION TO COLLECTING ROOF DRAINS AND FOUNDATION DRAIN IF APPLICABLE.
- GENERAL CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL FENCE AND/OR SEDIMENT STOP AS INDICATED ON SITE PLAN BEFORE START OF CONSTRUCTION.
- CONTRACTORS SHALL CONDUCT THEIR WORK IN SUCH A MANNER THAT ALL SOIL, FUELS, OILS, BUTANUMINOUS MATERIALS, CHEMICALS, SANITARY SEWAGE, AND OTHER HARMFUL MATERIALS ARE CONFINED WITHIN THE PROJECT LIMITS AND PREVENTED FROM ENTERING STORM SEWERS, WATER COURSES, RIVERS, LAKES OR RESERVOIRS.
- THE CONTRACTOR SHALL PLACE A FILTER OR BARRIER COMPOSED OF STRAW, STONE, FILTER FABRIC ON DRAINAGE STRUCTURE GRATES OR OTHER APPROVED MATERIAL AROUND ALL DRAINAGE COURSES TO PREVENT SEDIMENTATION IN THESE AREAS. AFTER THE CONSTRUCTION OPERATIONS ARE COMPLETED, THE CONTRACTOR SHALL REMOVE THESE FILTERS AND CLEAN ALL THE SEDIMENT AND DEBRIS FROM THE CATCH BASINS OR OTHER DRAINAGE STRUCTURES.
- THE COST OF THIS WORK AND OTHER CONTROL MEASURES, WHICH MAY BE REQUIRED, WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE CONSIDERED INCLUDED UNDER THE SCOPE OF THIS PROJECT.
- SEE DETAIL \_7/A1-A-2 FOR RECOMMENDED SEDIMENT STOP INSTALLATION
- WATER DIVERTED FROM ITS ORIGINAL DRAINAGE PATTERN SHALL BE RETURNED TO ITS ORIGINAL COURSE BEFORE LEAVING THE PROPERTY.
- INTRODUCED DRAINAGE FEATURES SHALL BE NATURAL APPEARING, DESIGNED TO EMULATE INDIGENOUS SWALES AND WASHES AND SHALL CONFORM TO ALL DRAINAGE EASEMENTS.
- A "STORM WATER POLLUTION PROTECTION PLAN" (SWPPP) AND PERMIT IS REQUIRED FOR ANY PROJECT WHICH THE AREA OF DISTURBANCE IS GREATER THAN 1 ACRE. FURTHERMORE, THE GOVERNING DEVELOPMENT MAY REQUIRE A SWPPP REGARDLESS OF SIZE OF AREA OF DISTURBANCE.

### DRIVEWAY REQUIREMENTS

- ANY DRIVEWAY THAT SHALL SERVE AS A "FIRE LANE" AS INDICATED ON THE ARCHITECTURAL LOT DIAGRAM, SHEET A1-0-1, SHALL CONFORM TO THE FOLLOWING:
  - A YEAR AND DRIVEWAY SURFACE CAPABLE TO SUSTAIN ANY IMPOSED LOADS OF FIRE APPARATUS (30 TONS).
  - AN UNOBSTRUCTED DRIVABLE WIDTH OF NOT LESS THAN 16'-0" AND A MAXIMUM PAVED WIDTH OF 14'-0"
  - AN UNOBSTRUCTED HEIGHT CLEARANCE OF NOT LESS THAN 13'-6"
  - A MAXIMUM SLOPE OF 12% AT ANY STRAIGHT RUN AND RECOMMENDED MAXIMUM SLOPE OF 5% AT ANY TURN LOCATION.
  - MINIMUM INSIDE TURNING RADIUS OF 30'-0", AND MINIMUM OUTSIDE TURNING RADIUS OF 50'-0"
- AN EMERGENCY VEHICLE TURNAROUND SHALL BE INSTALLED WITHIN 150' OF ANY DEAD END TO A "FIRE LANE". TURNAROUNDS SHALL BE NOT LESS THAN 20' WIDE AND NOT LESS THAN 35' IN LENGTH BEYOND THE CLEAR "FIRE LANE" WIDTH AS REQUIRED BY THE WHITEFISH FIRE DEPARTMENT FOR ANY DRIVEWAY LENGTH EXCEEDING 150'.
  - INSIDE TURNING RADIUS FOR ANY DRIVEWAY THAT IS NOT PART OF A "FIRE LANE" SHALL NOT BE LESS 10'.
- DRIVEWAY SHALL HAVE A NORMAL GRADE NOT TO EXCEED 10% EXCEPT FOR THE FIRST AND LAST 20' OF DRIVEWAY WHICH IS NOT TO EXCEED 4%.
- A MAXIMUM OF 5% GRADE IS STRONGLY RECOMMENDED AT ANY AND ALL TURNING LOCATIONS.
- SEE DETAILS FOR DRIVEWAY SECTION DETAILS

### LANDSCAPING

- LANDSCAPE CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT PRIOR TO INSTALLATION, COPIES OF REPORT AVAILABLE UPON REQUEST. RE: ARCHITECT/GENERAL CONTRACTOR/OWNER.
- REFERENCE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE NOTES.

### REMODEL - DUST CONTROL

- CONSTRUCTION PLAN IS TO BE SUBMITTED TO OWNER AND ARCHITECT BEFORE DEMOLITION OCCURS.
- ISOLATE WORK AREA AND SEAL ONES NOT IN USE WITH TAPES.
- CREATE TEMPORARY WALLS AND CORDON OFF AREAS USING A "ZIPWALL DUST BARRIER SYSTEM" OR EQUAL TO THE MANUFACTURER'S SPEC'S.
- FLOOR PAPER SHOULD BE APPLIED TO ALL AREAS OF THE CONSTRUCTION ZONE.
- DESIGNATE ONE DOORWAY INTO THE STRUCTURE AND INSTALL A "ZIPDOOR KIT" OR EQUAL IN THAT ENTRY WAY SEPARATING WORK AREA FROM THE REST OF THE HOME. IT IS RECOMMENDED TO CHOOSE AN ENTRY WAY THAT ALSO HAS A DOOR TO CLOSE TO CREATE A DOUBLE BARRIER.
- DEMO WASTE TO BE REMOVED THROUGH A DUST BARRIER PROTECTION AREA, NOT THROUGH UNPROTECTED AREAS.
- IF POSSIBLE, COMPLETELY ELIMINATE ACCESS FROM INSIDE THE NON-CONSTRUCTION AREAS TO THE CONSTRUCTION AREAS; PROVIDING OUTDOOR OR ALTERNATIVE ACCESS TO REST ROOMS, OUTSIDE BASEMENT ACCESS TO UTILITIES, ETC...
- IT IS RECOMMENDED THAT STICKY MATS BE PLACED DIRECTLY OUTSIDE OF THE ENTRANCE TO THE CONSTRUCTION ZONE IN AN ATTEMPT TO CAPTURE EXTRA DUST FROM THE EXTERIOR.
- IT IS RECOMMENDED TO USE HIGH-EFFICIENCY, HEPA-FILTERED DUST CONTROL EQUIPMENT AND CONTAINMENT BARRIERS TO HELP ISOLATE AND REMOVE PARTICLES RELEASED INTO THE AIR DURING DEMOLITION.
- ESTABLISH A NEGATIVE PRESSURE ENVIRONMENT WITH OUTDOOR AIR CIRCULATION, KEEP WINDOWS AND DOORS INSIDE THE NON-REMODELLED HOME CLOSED AT ALL TIMES.
- TURN OFF DUCT WORK-BASED HEATING AND COOLING DURING THE ENTIRE CONSTRUCTION PROCESS. IT IS RECOMMENDED TO TAPE PLASTIC BARRIER OVER THE REGISTERS AND VENTS THROUGH OUT THE HOME.
- PRO-VENT OR SIMILAR PRODUCT TO BE ADDED TO EXPOSED DUCT INTAKES IMMEDIATELY AFTER THEY ARE INSTALLED.
- IT IS RECOMMENDED TO USE A HEPA VACUUM FOR CLEANING PURPOSES, NOT SWEEPING WITH A BROOM.
- EXISTING LIGHT FIXTURES TO REMAIN WILL BE SEALED OFF WITH PLASTIC AND TAPE.
- ONCE CARPET OR WOOD FLOORING IS REMOVED, MAKE SURE PLYWOOD SUBFLOOR IS SECURELY ATTACHED TO PREVENT SQUEAKS.
- IT IS RECOMMENDED TO PERFORM AS MUCH OF THE WORK OUTSIDE AS POSSIBLE.
- IT IS RECOMMENDED THAT ALL SMOKE ALARMS BE TAPED AND COVERED AFTER INSTALL.

## SHOP DRAWING NOTES

- SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL ELEMENTS REQUIRING CUSTOM FABRICATION IN ADDITION TO ANY STRUCTURAL ITEMS REQUIRED BY THE STRUCTURAL ENGINEER. CONSTRUCTION DOCUMENTS SHALL NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS.
- THE GENERAL CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND PRODUCT DATA FOR CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTAL. ANY SHOP DRAWINGS OR PRODUCT DATA NOT REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW. ALL DIMENSIONS SHALL BE VERIFIED BY GENERAL CONTRACTOR ON SITE.
- ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM THE ORIGINAL CONTRACT DRAWINGS SHALL BE CLOUDED BY THE MANUFACTURER OR FABRICATOR. ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTING PARTIES SHALL NOT BE CONSIDERED ALLOWED AFTER THE ARCHITECT'S REVIEW, UNLESS NOTED ACCORDINGLY BY THE ARCHITECT.
- THE ARCHITECT RESERVES THE RIGHT TO ALLOW OR NOT ALLOW ANY CHANGES TO THE ORIGINAL CONTRACT DRAWINGS AT ANY TIME BEFORE OR AFTER SHOP DRAWING REVIEW.
- THE SHOP DRAWINGS DO NOT REPLACE THE ORIGINAL CONTRACT DRAWINGS. ITEMS OMITTED OR SHOWN INCORRECTLY AND WHICH ARE NOT NOTED AS ALLOWED BY THE ARCHITECT OR STRUCTURAL ENGINEER ARE NOT TO BE CONSIDERED CHANGES TO THE ORIGINAL CONTRACT DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ITEMS OMITTED OR SHOWN INCORRECTLY ARE CONSTRUCTED IN ACCORDANCE WITH THE ORIGINAL CONTRACT DRAWINGS.
- REVIEWING OF SHOP DRAWINGS IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS AND COMPLETENESS SHALL REST WITH THE CONTRACTOR.
- SHOP DRAWINGS WILL BE RETURNED FOR RE-SUBMITTAL IF MAJOR ERRORS ARE FOUND DURING REVIEW.
- ALLOW A MINIMUM OF FIVE WORKING DAYS FOR REVIEW OF SHOP DRAWINGS BY THE ARCHITECT.

## CENTRE SKY

### ARCHITECTURE, LTD. ARCHITECTURE & PLANNING



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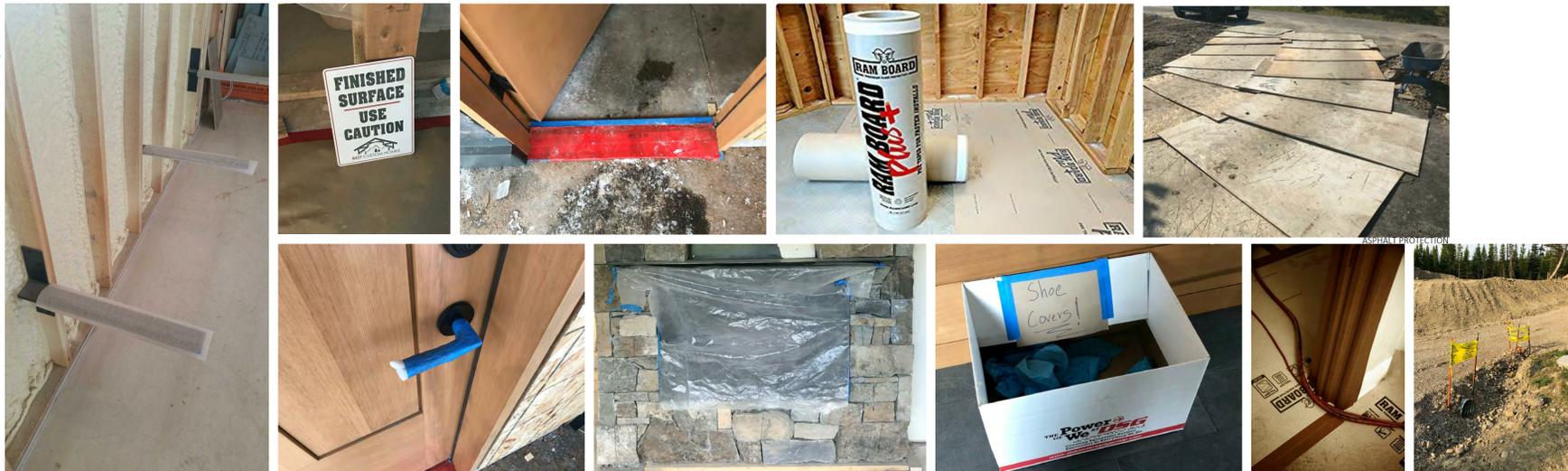
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EXPECTED PROTECTION OF FINISHES

1. PROVIDE FINAL PROTECTION AND MAINTAIN CONDITIONS THAT ENSURE INSTALLED WORK IS WITHOUT DAMAGE OR DETERIORATION AT TIME OF SUBSTANTIAL COMPLETION.
2. WHERE CONCRETE SLAB TO BE FINAL FINISH-PROTECT SLAB FROM CHIPS, MARKS, SEALANT AND DRYWALL DEBRIS, PAINT, OILS AND STAIN.
3. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, INCLUDING, BUT NOT LIMITED TO, TEMPERATURE AND RELATIVE HUMIDITY.



RAM JAMB  
DOOR JAMB PROTECTION

INSULATION SPECIFICATIONS

INSULATION SCHEDULE - PROJECT SPECIFIC			
CAVITY	R - VALUE		
	MINIMUM	PROJECT SPECIFIC	
ROOFS OVER HEATED SPACES	R-49	R-51	8.5" MIN OF SPRAY APPLIED POLYURETHANE INSULATION
EXTERIOR WALLS	R-20	R-30	1" CONTINUOUS RIGID INSULATION (EXTERIOR OF STUD) + 4" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION
INTERIOR WALLS	-	R-15	RECOMMENDED 4" BLOWN IN CELLULOSE - DAMP SPRAYED OR EQUIVALENT ROCK WOOL BATT INSULATION
FLOORS OVER UNHEATED SPACES	R-30	R-36	6" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION
FLOORS OVER HEATED SPACES	-	-	3.5" MINERAL FIBER BATT INSULATION IN FLOORS OVER HEATED SPACES FOR SOUND INSULATION
BASEMENT WALL	R-15/19	R-19	R-19 BATT INSULATION - WHERE STUD BAY EXISTS 3.5"-2" POLYURETHANE TAPER ELSEWHERE
CRAWL SPACE	LID	R-20	4" SPRAY POLYURETHANE INSULATION OR EQ.
	WALL	R-15/19	3.5" SPRAY POLYURETHANE
UNDER CONC. SLAB	R-10/13	R-14	2" OF DOW 'STYROFOAM BRAND SM' INSULATION

**NOTES:**

1. ARCHITECT'S RECOMMENDATION FOR ALL EXTERIOR EAVES AND RAKES TO RECEIVE MIN. OF 3" BLOWN IN POLYURETHANE INSULATION UNLESS NOTED OTHERWISE.
2. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 4" SPRAY APPLIED POLYURETHANE INSULATION AT EXTERIOR WALLS WITH AN R-11 MINERAL FIBER BATT OVER TOP OF 2" SPRAY APPLIED POLYURETHANE INSULATION.
3. ARCHITECT'S RECOMMENDATION FOR BASEMENT FURRING WALLS TO RECEIVE 3.5" BLOWN IN POLYURETHANE INSULATION IN PLACE OF R-19 BATT.
4. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 2" NCFI SPRAY APPLIED POLYURETHANE INSULATION UNDER CONCRETE SLAB WITH 2" POLY-ISOCYANURATE RIGID FOAM INSULATION.
5. GENERAL CONTRACTOR TO PROVIDE COST COMPARISON FOR BLOWN-IN WET CELLULOSE PRODUCT TO REPLACE BATT INSULATION IN EXTERIOR WALLS AND FLOORS.
6. THERMAL IMAGING TEST SHALL BE PERFORMED AND REPORT SUBMITTED TO OWNER AND ARCHITECT.
7. AT A MINIMUM, ALL INTERIOR WALLS SEPARATING BEDROOMS AND/OR BATHROOMS SHALL BE INSULATED AS SPECIFIED ABOVE. IT IS STRONGLY RECOMMENDED THAT ALL INTERIOR WALLS BE INSULATED.
8. FOAM INSULATING SEALANT AT ALL WINDOWS AND DOORS.
9. THE BUILDING SHALL ACHIEVE A HOME ENERGY RATING SYSTEM (HERS) RATING OF 60 OR LESS, PRIOR TO ISSUANCE OF A BUILDING PERMIT.

STANDARD PUNCH LIST ITEMS

GC TO REVIEW AND COMPLETE ALL STANDARD PUNCH LIST ITEMS LISTED BELOW PRIOR TO FINAL PUNCH LIST WALKTHROUGH WITH ARCHITECT.

1. BRING OPERATIONS & MAINTENANCE MANUAL - BINDER TO BE PROVIDED BY GC
2. CLEAN UP - GENERAL EXTERIOR AND INTERIOR CONSTRUCTION CLEAN UP
3. CLEAN UP CONDITION
4. REMOVE OR CLEAN UP PAINT - EXTERIOR AND INTERIOR PAINT SMEARED ON TRIM OR OTHER MATERIALS
5. PUTTY - APPLY PUTTY TO ALL INTERIOR FINISH NAIL HOLES
6. PAINT/STAIN - APPLY PAINT OR STAIN TO PUTTED NAIL HOLES OR WOOD THAT HAS BEEN CHIPPED
7. STAIN - STAIN ALL WOOD FACES IF UNFINISHED
8. SEALANT OR CAULK APPLIED WHERE APPLICABLE
9. DRYWALL MUD & PAINT
10. RECTIFY SCUFF
11. REMOVE TAPE
12. PAINT MORTISE STRIKE FLAT BLACK THROUGHOUT
13. CLEAN EXTERIOR THRESHOLDS
14. ORIENTATE PLUMBING FIXTURE HANDLES 90 DEGREES TO FLOOR OR COUNTER
15. REMOVE LIGHT DUST & MATERIAL DROPPINGS FROM FLOOR BEFORE PAD & CARPET ARE ADDED
16. WOOD FLOOR FILLER
17. CLEAN WINDOW SASH
18. CABINET DOOR BUMPERS APPLIED
19. ALL DRAWERS TO BE ADJUSTED SO THERE IS NO MOVEMENT AND NO RUBBING
20. PAINT FLOOR MECHANICAL VENTS FLAT BLACK
21. CLEAN ALL VENTS OF ANY CONSTRUCTION DEBRIS

RADON SYSTEMS

**NOTE:** RADON PLAN TO BE SUBMITTED, BY CONTRACTOR, TO ARCHITECT FOR REVIEW. RADON MEASURED IN PICOCURIES PER LITER pCi/L  
- 4 pCi/L = ACTION REQUIRED LEVEL  
- 2 pCi/L = ACCEPTABLE LEVEL  
- 2pCi/L > RADON LEVEL GOAL

**RADON MITIGATION - CRAWLSPACE PASSIVE SUB-MEMBRANE DEPRESSURIZATION SYSTEM**

FOUNDATION WALL - ALL CONTROL JOINTS, ISOLATION JOINTS & OTHER JOINTS SHOULD BE CALKED WITH AN ELECTROMETRIC SEALANT SUCH AS POLYURETHANE CAULK, DAMP PROOF FOUNDATION WALL AND SEAL ANY PENETRATIONS THROUGH THE WALL.

CRAWLSPACE SHEETING TO BE HIGH-DENSITY CROSS-LAMINATED POLYETHYLENE. COLOR TO BE WHITE. OVERLAY W/ EPDM RUBBERIZED ROOFING MEMBRANE AT HIGH TRAFFIC AREAS AND ALONG EXPECTED TRAFFIC ROUTES. OVERLAP SHEETS BY 12" AND SEAL SHEETING USING A 1/2" WIDE BEAD OF CAULK. WIRE BRUSH 12" ABOVE CRAWLSPACE FLOOR TO REMOVE ANY DIRT AND SECURE PLASTIC TO WALL @ 12" ABOVE CRAWLSPACE FLOOR WITH 1/2" WIDE BEAD OF CAULK.

SEAL AROUND ALL VERTICAL PENETRATIONS. SEAL FLOOR-TO-WALL JOINTS, SEAL CONTROL JOINTS.

AIR HANDLING SYSTEMS IN CRAWLSPACE TO MAINTAIN CONTINUOUS POSITIVE PRESSURE WITHIN THE DUCTWORK. THIS IS TO PREVENT RADON FROM BEING DRAWN INTO THE DUCTWORK AND THEN DISTRIBUTED THROUGHOUT THE HOUSE.

RISER PIPE TO BE SCHEDULE 40 PVC OR ABS, CONNECT TO 3 OR 4 INCH DIAMETER CORRUGATED AND PERFORATED COLLECTION PIPE 5'4" OR A STRIP OF GEOTEXTILE DRAIN MATTING ON THE SOIL AT THE RISER LOCATION BENEATH THE PLASTIC SHEETING.

ACCESS DOORS AND OTHER OPENINGS OR PENETRATIONS BETWEEN FLOORS AND ADJOINING CRAWLSPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE SEALED TO PREVENT AIR LEAKAGE.

LABEL RISER AT ALL VISIBLE LOCATIONS SO IT IS NOT CONFUSED WITH ANY OTHER PLUMBING. LABEL PLASTIC SHEETING TO STATE THAT THE PLASTIC SHOULD NOT BE REMOVED AND, IF CUT, IT SHOULD BE PATCHED OR REPLACED. AFTER CONSTRUCTION IS COMPLETED, INSPECT THE SHEETING FOR DAMAGE AND REPAIR AS NECESSARY.

PROVIDE FOR FUTURE FAN IF NEEDED. FAN CANNOT BE INSIDE THE LIVING SPACE OR CRAWLSPACE. FANS ARE MOST OFTEN LOCATED IN ATTICS OR GARAGES (UNLESS THERE IS A LIVING SPACE ABOVE THE GARAGE.) FANS REQUIRE A 30-INCH VERTICAL RUN OF PIPE FOR INSTALLATION. FANS REQUIRE AN UNSWITCHED ELECTRICAL JUNCTION BOX.

**RADON MITIGATION - PASSIVE SUB-SLAB SYSTEM**

PLACE A UNIFORM LAYER OF CLEAN AGGREGATE UNDER ALL CONCRETE SLABS OF FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND AND ARE WITHIN THE WALLS OF THE LIVING SPACES. USE A MINIMUM 4" THICK LAYER 1/2" TO 3/4" IN SIZE. UNLESS GEOTECHNICAL RECOMMENDATIONS ARE MORE STRINGENT.

PLACE A 4" TEE FITTING AT THE LOCATION THE RISER WILL EXTEND THROUGH THE SLAB. CONNECT SHORT STUB, AT LEAST 8" OF 4" PVC PIPE VERTICALLY INTO THE TEE. LAY 4" PERFORATED AND CORRUGATED PIPE (MINIMUM LENGTH OF 30 FEET) IN THE GRAVEL AND CONNECT IT TO THE RADON VENT RISER TEE FITTING. AN ELBOW FITTING MAY BE USED IN PLACE OF A TEE FITTING WHEN USING ADDITIONAL PIPING IN THE GRAVEL. MAKE SURE THE CONCRETE DOES NOT PLUG UP THE PIPE DURING POUR.

PRIOR TO POURING THE SLAB OR PLACING FLOOR ASSEMBLY, LAY A MIN. 6-MIL OR 3-MIL CROSS LAMINATED POLYETHYLENE OR EQUIVALENT SHEETING MATERIAL ON TOP OF THE GAS PERMEABLE LAYER. THE SHEETING SHOULD COVER THE ENTIRE FLOOR AREA. SHEETING SHOULD FIT CLOSELY AROUND ANY PIPE, WIRE OR PENETRATIONS.

FOUNDATION WALL AND SLABS SHOULD BE CONSTRUCTED TO REDUCE POTENTIAL RADON ENTRY ROUTES. IN GENERAL OPENINGS IN WALL AND SLABS SHOULD BE MINIMIZED AND NECESSARY OPENINGS AND JOINTS SHOULD BE SEALED.

ALL CONTROL JOINTS OR OTHER JOINTS SHOULD BE SEALED WITH POLYURETHANE CAULK TO REDUCE RADON ENTRY.

LABEL RISER AT ALL VISIBLE LOCATIONS SO IT IS NOT CONFUSED WITH ANY OTHER PLUMBING. LABEL PLASTIC SHEETING TO STATE THAT THE PLASTIC SHOULD NOT BE REMOVED AND, IF CUT, IT SHOULD BE PATCHED OR REPLACED. AFTER CONSTRUCTION IS COMPLETED, INSPECT THE SHEETING FOR DAMAGE AND REPAIR AS NECESSARY.

PROVIDE FOR FUTURE FAN IF NEEDED. FAN CANNOT BE INSIDE THE LIVING SPACE OR CRAWLSPACE. FANS ARE MOST OFTEN LOCATED IN ATTICS OR GARAGES (UNLESS THERE IS A LIVING SPACE ABOVE THE GARAGE.) FANS REQUIRE A 30-INCH VERTICAL RUN OF PIPE FOR INSTALLATION. FANS REQUIRE AN UNSWITCHED ELECTRICAL JUNCTION BOX.

GEOTECHNICAL REPORT NOTES

NOTES REGARDING THE GEOTECHNICAL REPORT PROVIDED HERE ARE IN NO WAY INTENDED TO SERVE AS A SUPPLEMENT TO THE GEOTECHNICAL REPORT. IT IS REQUIRED THAT THE GENERAL CONTRACTOR AS WELL AS ANY APPLICABLE SUB CONTRACTORS RECEIVE AND REVIEW THE GEOTECHNICAL REPORT.

A FULL GEOTECHNICAL ANALYSIS AND REPORT HAS BEEN PREPARED FOR THIS PROPERTY BY: TRAUTNER GEOTECH, LLC. DATED: JUNE 1, 2018 PN-551996C

1. SURFACE & SUBSURFACE DRAINAGE SHALL CONFORM TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AS SET FORTH IN THE REFERENCED GEOTECHNICAL REPORT.
2. PROPER DRAINAGE SHOULD BE PROVIDED IN THE FINAL DESIGN AND DURING CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED OF ANY ISSUES OR CONFLICTS NOT ACCOUNTED FOR WITHIN THESE DRAWINGS OR THE REFERENCED GEOTECHNICAL REPORT.
3. SITE PREPARATION PROCEDURES AND FOUNDATION EXCAVATIONS TO BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO ASSESS THAT THE ADEQUATE BEARING CONDITIONS EXIST AND THAT PLACEMENT OF ENGINEERED FILL HAS BEEN PERFORMED SATISFACTORILY. IF THE SOIL CONDITIONS ENCOUNTERED DIFFER SIGNIFICANTLY FROM THOSE PRESENTED IN THE GEOTECHNICAL REPORT, SUPPLEMENTAL RECOMMENDATIONS MAY BE REQUIRED.
4. POSITIVE DRAINAGE SHALL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED THROUGHOUT THE LIFE OF THE PROPOSED DEVELOPMENT. INFILTRATION OF WATER INTO UTILITY OR FOUNDATION EXCAVATIONS MUST BE PREVENTED DURING CONSTRUCTION.
5. STRIP AND REMOVE ANY EXISTING VEGETATION, ORGANIC TOPSOILS, DEBRIS AND ANY OTHER DELETERIOUS MATERIALS FROM THE BUILDING AREAS. THE BUILDING AREAS ARE DEFINED AS THAT AREA WITHIN THE BUILDING FOOTPRINT PLUS 5 FEET BEYOND THE PERIMETER OF THE FOOTPRINT. ALL EXPOSED SURFACES SHOULD BE FREE OF MOUNDS AND DEPRESSIONS THAT COULD PREVENT UNIFORM COMPACTION.
6. FROZEN SOILS SHOULD NOT BE USED AS FILL OR BACKFILL.
7. EXISTING SOILS REMOVED AT BUILDING FOOTPRINT EXCAVATION MAY BE REUSED IN LANDSCAPE AREAS, AS LONG AS IN ACCORDANCE OF THE REFERENCED GEOTECHNICAL REPORT.
8. ALL IMPORT FILL AND ONSITE BACKFILL SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER. WHERE FILL IS TO BE PLACED, LOOSE OR OTHERWISE UNSUITABLE MATERIAL SHOULD BE REMOVED PRIOR TO PLACEMENT OF NEW FILL.
9. GEOTECHNICAL ENGINEER OF RECORD SHALL BE CONTACTED BY THE GENERAL CONTRACTOR AT COMPLETION OF EXCAVATION AND PRIOR TO ANY FILL BEING PLACED TO PERFORM A REVIEW OF EXCAVATION AND SUBSURFACE SOIL CONDITIONS IN COMPARISON WITH THE FINDINGS IN THE GEOTECHNICAL REPORT.

AIR CONTROL

1. PROVIDE A CONTINUOUS AIR BARRIER BEHIND TUB AND SHOWER LOCATIONS AT ALL EXTERIOR WALLS. INSULATION TO BE INSTALLED BEFORE TUB OR SHOWER ENCLOSURE IS INSTALLED.
2. SEAMS BETWEEN SUBFLOOR AND BOTTOM PLATE TO BE SEALED WITH CAULK
3. SEAMS BETWEEN TOP PLATE, FLOOR JOISTS, AND ROOF JOISTS TO BE SEALED WITH CAULK
4. SEAMS BETWEEN KING AND TRIMMER STUDS AT WINDOWS AND DOORS TO BE SEALED WITH CAULK
5. SEAL HOLES IN ELECTRICAL BOXES LOCATED ON EXTERIOR WALLS WITH EITHER LOW EXPANSION FOAM OR USE AN AIR TIGHT BOX.
6. SILL SEAL PROVIDED BETWEEN TREATED WOOD SILL PLATES AND CONCRETE STEMS OR SLABS.

HVAC SYSTEMS

FORCED AIR HEATING SYSTEM -	YES
RADIANT HEAT -	YES
SECOND STAGE HEAT -	-
HEAT RECOVERY VENTILATION SYSTEM -	-
HUMIDIFIER UNIT -	-
FORCED AIR COOLING -	YES
SOLAR PANELS -	-
SOLAR HOT WATER -	-
GEOTHERMAL SYSTEM -	-
WATER FILTRATION -	-
BACK UP GENERATOR -	-
WATER COP -	-
WATER SOFTENER -	-
REVERSE OSMOSIS -	-
PRELIM. RADON MITIGATION -	YES
VISIBLE THERMOSTAT -	-
REMOTE THERMOSTAT -	-

MOISTURE CONTROL

1. SLOPE PATIO SLABS, WALKS AND DRIVEWAYS A MINIMUM OF 1/8" PER FT. AWAY FROM U.N.N., TAMP BACK FILL IN 6" LAYERS TO PREVENT SETTLING, AN SLOPE THE FINAL GRADE AWAY FROM THE FOUNDATION AT A RATE AS PRESCRIBED BY THE GEOTECHNICAL ENGINEER.
2. INSTALL PROTECTED DRAIN TILE AT FOOTINGS. PER SITE SPECIFIC GEOTECHNICAL REPORT. DISCHARGE TO OUTSIDE GRADE (DAYLIGHT) OR TO A SUMP PUMP. NO SURFACE OR ROOF DRAINAGE SHALL BE ROUTED TO ANY PART OF THE FOOTING DRAIN TILE SYSTEM.
3. DRAINS OR SUMP PUMPS IN BASEMENT AND CRAWL SPACE FLOORS TO DISCHARGE A MIN. OF 10 FT. OUTSIDE THE FOUNDATION OR INTO AN APPROVED SEWER SYSTEM. PROVIDE SEALED (GASKET) SUMP PUMP COVER IN AREAS WHERE RADON IS OF CONCERN.
4. PROVIDE CAPILARY BREAKS BENEATH CONCRETE SLABS, INCLUDING BASEMENT FLOORS.
5. DAMP-PROOF OR WATERPROOF ALL EXTERIOR SURFACES OF BELOW-GRADE FOUNDATION WALLS.
6. DIRECT ROOF WATER AWAY FROM THE STRUCTURE USING GUTTERS AND DOWNSPOUTS THAT EMPTY INTO LATERAL PIPING THAT DEPOSITS WATER ON A SLOPING FINISHED GRADE A MINIMUM OF 10 FT. FROM THE FOUNDATION. ROOFS DESIGNED WITHOUT GUTTERS ARE ACCEPTABLE IF THEY ARE DESIGNED TO DEPOSIT RAINWATER TO A GRADE-LEVEL ROCK BED WITH WATERPROOF LINER DRAIN PIPE THAT DEPOSITS WATER ON A SLOPING FINISHED GRADE, AS SPECIFIED ABOVE. WHEN LOT SPACE LIMITS OR PREVENTS REQUIRED GRADING, DIRECT ROOF WATER TO AN UNDERGROUND CATCHMENT SYSTEM (NOT CONNECTED TO THE FOUNDATION DRAIN TILE SYSTEM) THAT DEPOSITS WATER A MINIMUM OF 10FT. FROM THE FOUNDATION. RAINWATER-HARVESTING SYSTEMS MAY BE USED TO MEET THIS REQUIREMENT WHEN THEY ARE DESIGNED TO PROPERLY DRAIN OVERFLOW, MEETING DISCHARGE DISTANCE REQUIREMENTS ABOVE.
7. INSTALL MOISTURE-RESISTANT MATERIAL AND MOISTURE-PROTECTIVE SYSTEMS IN VULNERABLE AREAS TO PREVENT THE GROWTH OF MOLD. INSTALL WATER-RESISTANT HARD-SURFACE FLOORING IN KITCHENS, BATHROOMS, ENTRYWAYS, LAUNDRY AREA & UTILITY ROOMS. DO NOT INSTALL WALL-TO-WALL CARPET ADJACENT TO TOILETS AND BATHING FIXTURES.
8. INSTALL MOISTURE-RESISTANT BACKING MATERIAL (I.E., CEMENT BOARD OR THE EQUIVALENT, BUT NOT PAPER-FACED WALL BOARD) BEHIND TUB AND SHOWER ENCLOSURES.
9. INSTALL ALL CONDENSATE DISCHARGE ACCORDING TO IRC SECTION M1411.3.
10. INSULATE PIPING INSTALLED IN EXTERIOR WALLS.
11. DO NOT INSTALL CONTINUOUS VAPOR BARRIERS ON THE INTERIOR SIDE OF EXTERIOR WALLS THAT HAVE HIGH CONDENSATION POTENTIAL (E.G., BELOW-GRADE EXTERIOR WALLS IN MOST CLIMATES AND ABOVE GRADE EXTERIOR WALLS IN WARM-HUMID CLIMATES). EXAMPLE: AN INTERIOR STUD WALL ERECTED NEXT TO A BELOW-GRADE BASEMENT WALL AND INSULATED WITH MINERAL WOOL, FIBERGLASS OR CELLULOSE INSULATION SHOULD NOT HAVE OIL-FACED PAPER, POLYETHYLENE FILM OR VINYL WALLPAPER ON ITS INTERIOR SURFACE. WATER VAPOR PASSING FROM THE DAMP EARTH THROUGH THE BELOW-GRADE CONCRETE OR CMU WALL WILL PASS EASILY THROUGH THE INSULATION MATERIALS, BUT ACCUMULATE ON MICROCLIMATE. USING MATERIALS OF 2 PERMS OF MORE ON THE INTERIOR OF THE WALLS ALLOWS IT TO DRY INTO THE BASEMENT.
12. DO NOT INSTALL BUILDING MATERIALS THAT HAVE VISIBLE SIGNS OF WATER DAMAGE OR MOLD. IN ADDITION, INTERIOR WALLS SHALL NOT BE ENCLOSED (E.G., WITH DRYWALL) IF EITHER THE FRAMING MEMBERS OR INSULATION HAS A HIGH MOISTURE CONTENT. FOR WET-APPLIED INSULATION, FOLLOW THE MANUFACTURER'S DRYING RECOMMENDATIONS. LUMBER SHOULD NOT EXCEED 18% MOISTURE CONTENT.
13. GARAGE FLOOR DRAINS ARE TO MEET DISCHARGE DISTANCE REQUIREMENTS ABOVE AND TO DRAIN INTO LANDSCAPED/PAVED HOLDING PONDS TO ALLOW WASTE WATER TO NATURALLY EVAPORATE. SEE SWPPP % EPA REQUIREMENTS.

CORTINA LOT 11  
MOUNTAIN VILLAGE, CO 81435

NOT FOR  
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Issued For	Date
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* 100% C.D.	-
* PHASE 2	-
* REV. #	-

Drawn By S. DAGOSTINO  
Date 08/23/2018  
Project # 1808.00  
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Sheet

A0-0.1  
GENERAL NOTES

# MATERIAL SPECIFICATIONS

## EXTERIOR MATERIALS LEGEND

**NOTE:**  
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

**METAL ROOFING**  
COLD ROLLED RUSTED METAL, 2" MECH. SEAM, 18" RIB SPACING  
COLOR: NATURAL RUST  
MFR: TBD  
RE: 4 / A1-3.3

**BALLAST ROOFING**  
TPO ROOF W/RANDOM 1" TO 3" RIVER ROCK BALLAST, COLOR: DARK BRONZE  
THICKNESS: 60 MIL, RHINO BOND ATTACHMENT SYSTEM

**VERTICAL WOOD SIDING**  
1X8 VERTICAL SHIP LAP  
COLOR: MEDIUM GREY  
MFR: VINTAGE WOODS

**STEEL SIDING**  
METAL TYPE B PATINATED STEEL SIDING PANELS, 1/8" W/EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING  
PATINA: VARIED BLACK  
MFR: VINTAGE WOOD  
RE:

**STONE MASONRY VENEER**  
1 1/2" THICK  
STONE CURATORS: GRAY QUARTZITE PLANK  
LAYUP: RE: 3 / A0-0.2

**STONE MASONRY**  
6" THICK  
STONE CURATORS: GRAY QUARTZITE  
LAYUP: RE: 4 / A0-0.2

## EXTERIOR MATERIAL QUANTITIES

MATERIAL	ELEVATION (SF/%)				
	NORTH	EAST	SOUTH	WEST	TOTAL
STONE	596/44.7	338/23.9	495/43.9	610/31.5	2,039/35.1
METAL	235/17.6	263/18.6	74/6.7	350/18.1	922/15.9
WOOD	337/25.3	320/22.6	512/45.4	434/22.4	1,603/27.6
FENESTRATION	165/12.4	492/34.8	46/4.0	542/28.0	1,245/21.4

## MATERIAL TYPES

### METAL TYPES:

#### ARCHITECTURAL & FLASHING METAL TYPES:

METAL TYPE 'A': COLD ROLLED RUSTED METAL  
METAL TYPE 'B': HOT ROLLED STEEL COATED WITH PENETROL  
METAL TYPE 'C': BREAK METAL BY WINDOW MFR, TO MATCH WINDOW FINISH  
METAL TYPE 'D': PREFINISHED DARK BROWN METAL

### WOOD TYPES:

WOOD TYPE 'A': FIR BY 'VINTAGE WOODS', STAINED LIGHT BROWN  
WOOD TYPE 'B': STAINED WOOD INTERIOR TRIM, TO MATCH DOOR SLABS  
HEAVY TIMBER TYPE 'A': FIR BY 'VINTAGE WOODS', STAINED LIGHT BROWN  
GLULAM TYPE 'A': FIR BY 'VINTAGE WOODS', STAINED LIGHT BROWN

NOTE: REFERENCE STRUCTURAL DRAWINGS FOR STRUCTURAL GRADE OF TIMBER WHERE APPLICABLE

### STONE TYPES:

STONE TYPE 'A': 'GREY OKLAHOMA', GROUT COLOR TO MATCH AND TO BE APPROVED BY ARCH.  
STONE TYPE 'B': BALLAST ROOF

### ALL SAMPLES TO BE SUBMITTED TO ARCHITECT

AT A MINIMUM THE FOLLOWING EXCESS MATERIALS TO BE RECYCLED:  
CARDBOARD, DRYWALL, WOOD, METAL, COPPER, BRASS, STEEL, TIN, NEWSPAPER, AND CARDBOARD

# MATERIAL BOARD



R1



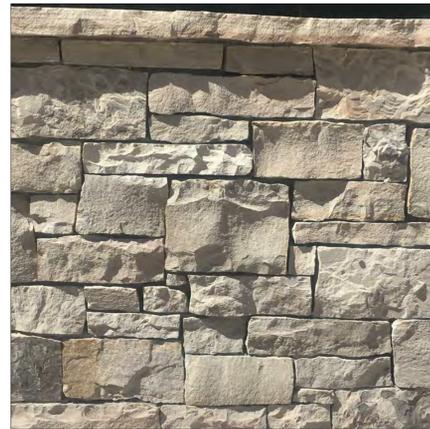
R2



S1

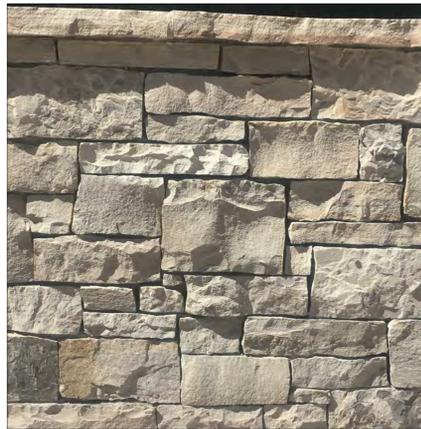


S2



S3

PLANK LAYUP  
INDICATIVE OF STONE SPECIES ONLY RE:3 / A0-0.2  
FOR LAYUP & SPECIFICATIONS



S4

ASHLAR LAYUP  
INDICATIVE OF STONE SPECIES ONLY RE:4 / A0-0.2  
FOR LAYUP & SPECIFICATIONS



SIERRA PACIFIC  
CONTEMPORARY PROFILE, CLEAR PINE INTERIOR,  
CAFE ROYAL EXTERIOR



DECKING  
KEBONY CLEAR DECKING  
1 1/4" x 6"

# SIDING & TRIM SCHEDULE

SIDING & TRIM SCHEDULE							
STRUCTURAL EXPRESSION	WIDTH	LENGTH	MFR.	TEXTURE	COLOR	SPECIES	COMMENTS
COLUMNS	RE: PLANS	RE: PLANS	-	-	-	-	-
BEAMS	RE: PLANS	RE: PLANS	-	-	-	-	-
MISC. (KNEE BRACES, ECT...)	N/A	N/A	-	-	-	-	-
EXTERIOR HORIZONTAL SIDING	N/A	N/A	-	-	-	-	-
EXTERIOR VERTICAL SIDING	1x8 SHIPLAP	-	VINTAGE	-	MEDIUM GREY	SPRUCE	-
EXTERIOR SOFFIT	1x8 SHIPLAP	-	VINTAGE	-	LIGHT BROWN, L23	SPRUCE	-
EXTERIOR TRIM (DOOR, WINDOW, CORNER)	N/A	N/A	-	-	-	-	-
FASCIA	2X8	N/A	VINTAGE	-	MEDIUM BROWN, M23	SPRUCE	-
INTERIOR VERTICAL SIDING	N/A	N/A	-	-	-	-	-
INTERIOR HORIZONTAL SIDING	1x10 SHIPLAP	-	VINTAGE	-	LIGHT BROWN, L23	SPRUCE	-
INTERIOR CEILING	1x8 SHIPLAP	-	VINTAGE	-	LIGHT BROWN, L23	SPRUCE	-
GARAGE DOOR BODY	N/A	N/A	METAL TYPE B	-	METAL TYPE B	-	-
GARAGE DOOR TRIM	N/A	N/A	METAL TYPE B	-	METAL TYPE B	-	-
STAIR TREADS	-	-	-	-	-	-	-
FLOOR TRIM	8"	N/A	-	-	-	-	-
INT. DOOR & WINDOW TRIM	1x2	-	-	-	-	-	-

**NOTE:**  
• ALL CUT ENDS, MITERS, & CORNERS TO BE SEALED W/ MFR. RECOMMENDED SEALANT/STAIN  
• COORD. W/ VINTAGE WOODS FOR ADDITIONAL TOUCH UP STAIN  
• COORD. W/ VINTAGE WOODS ON TOUCH UP APPLICATIONS AND TREATMENTS

# FIREPLACE SPECS

## FIRE PLACE SPECIFICATIONS

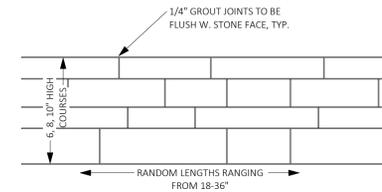
- GAS FIREPLACE, HEAT & GLO, MEZZO 72", LOFT FORGE FRONT
- GAS FIREPLACE, HEAT & GLO, MEZZO 72", LOFT FORGE FRONT
- CFBL210 LINEAR CROSSFIRE BRASS BURNER BY WARMING TRENDS



HEAT & GLO MEZZO FIREPLACE

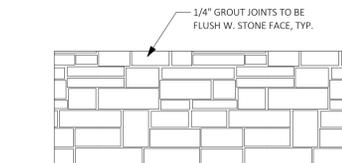
# AV SYSTEMS

ENVIRONMENTAL SECURITY	YES
WATER -	YES
LOW TEMP/FREEZE -	YES
SECURITY LIFE SAFETY & INTRUSION	YES
CO -	YES
HEAT -	YES
SMOKE -	YES
GAS -	YES
DOORS -	-
MOTION -	-
SIRENS & STROBE -	-
SPRINKLER -	YES
SEPTIC -	YES
SECURITY CAMERAS -	YES
BUILT - IN SPEAKERS -	YES
TV -	YES
GAMING SYSTEM -	YES
LIGHTING CONTROL -	YES
AUTOMATED SHADES -	YES
NETWORK / DATA SYSTEM -	YES



PATTERN: PLANK  
GROUT: MATCH STONE  
BLOCK SIZE: VARIES, 6-10" x 18-36"  
COLOR: GREY OKLAHOMA

3 S3 STONE LAYUP DETAIL  
1/2" = 1'-0"



PATTERN: ASHLAR, 20% TO BE 2" PROUD  
GROUT: MATCH STONE  
BLOCK SIZE: VARIES, 6-10" x 18-36"  
COLOR: GREY OKLAHOMA

4 S4 STONE LAYUP DETAIL  
1/2" = 1'-0"

# CENTRE SKY

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&  
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COLORADO:  
10125 RANCHO MONTECITO DR.  
PARKER, COLORADO 80138  
P 303.840.0020  
F 303.840.2299

MONTANA:  
P.O. BOX 161488  
11 LONE PEAK DR., UNIT 206  
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CORTINA LOT 11  
MOUNTAIN VILLAGE, CO 81435

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 \* REV. # \_\_\_\_\_

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Date 08/23/2018  
Project # 1808.00  
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A0-0.2

MATERIAL  
SPECIFICATIONS



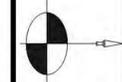
COLORADO:  
10125 RANCHO MONTECITO DR.  
PARKER, COLORADO 80138  
P 303.840.0020  
F 303.840.2299

MONTANA:  
P.O. BOX 161488  
11 LONE PEAK DR., UNIT 206  
BIG SKY, MONTANA 59716  
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F 406.995.7477

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REVISION:	
DATES:	
SHEET:	1 OF 1

**SAN JUAN SURVEYING**  
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102 SOCIETY DRIVE TELLURIDE, CO. 81435  
(970) 728-1128 (970) 728-9201 fax  
office@sanjuansurveying.net



**IMPROVEMENT SURVEY PLAT**  
**UNIT 11, THE CORTINA LAND CONDOMINIUMS**

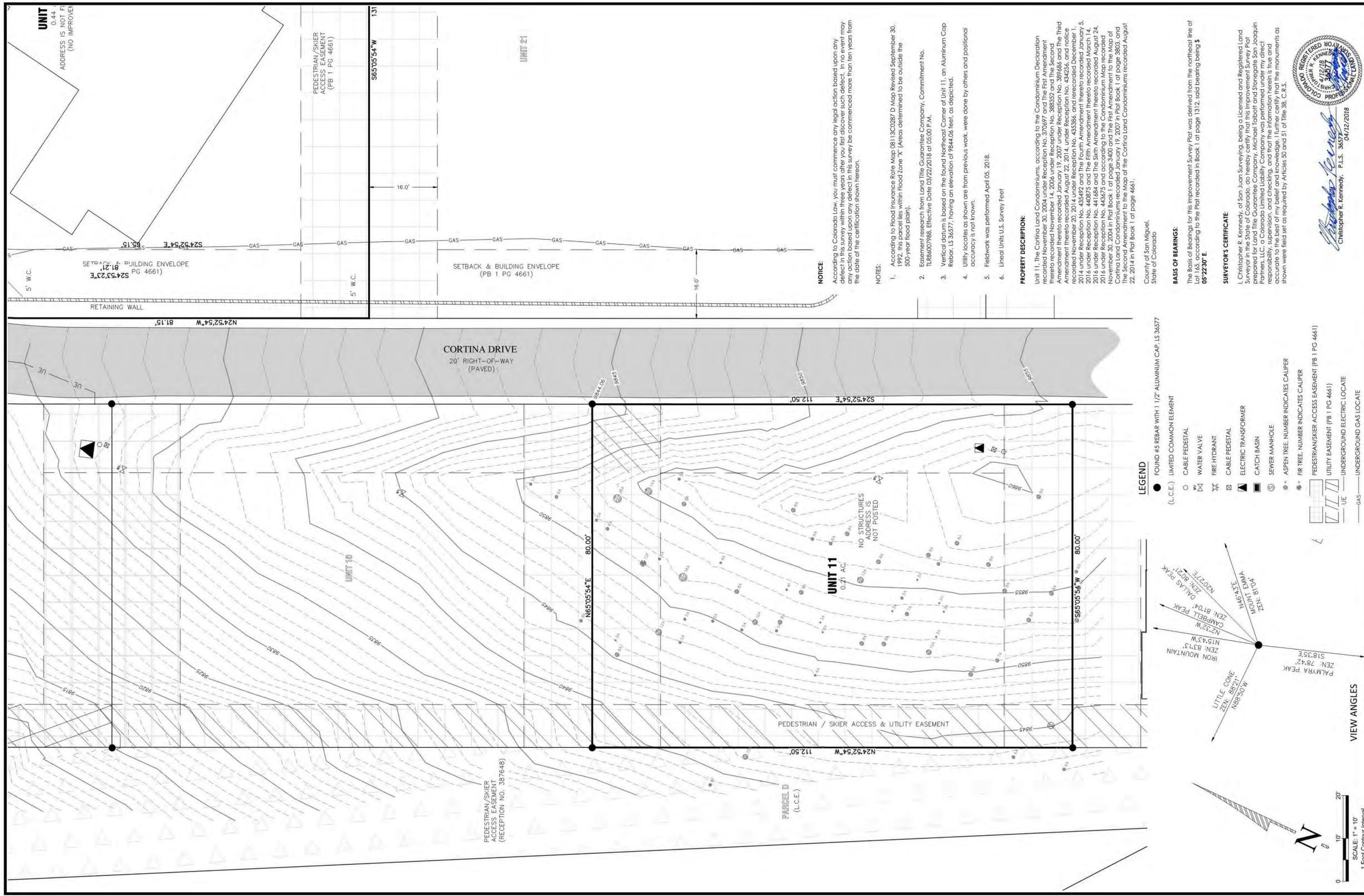
**C1-0.0**  
EXISTING SITE  
SURVEY

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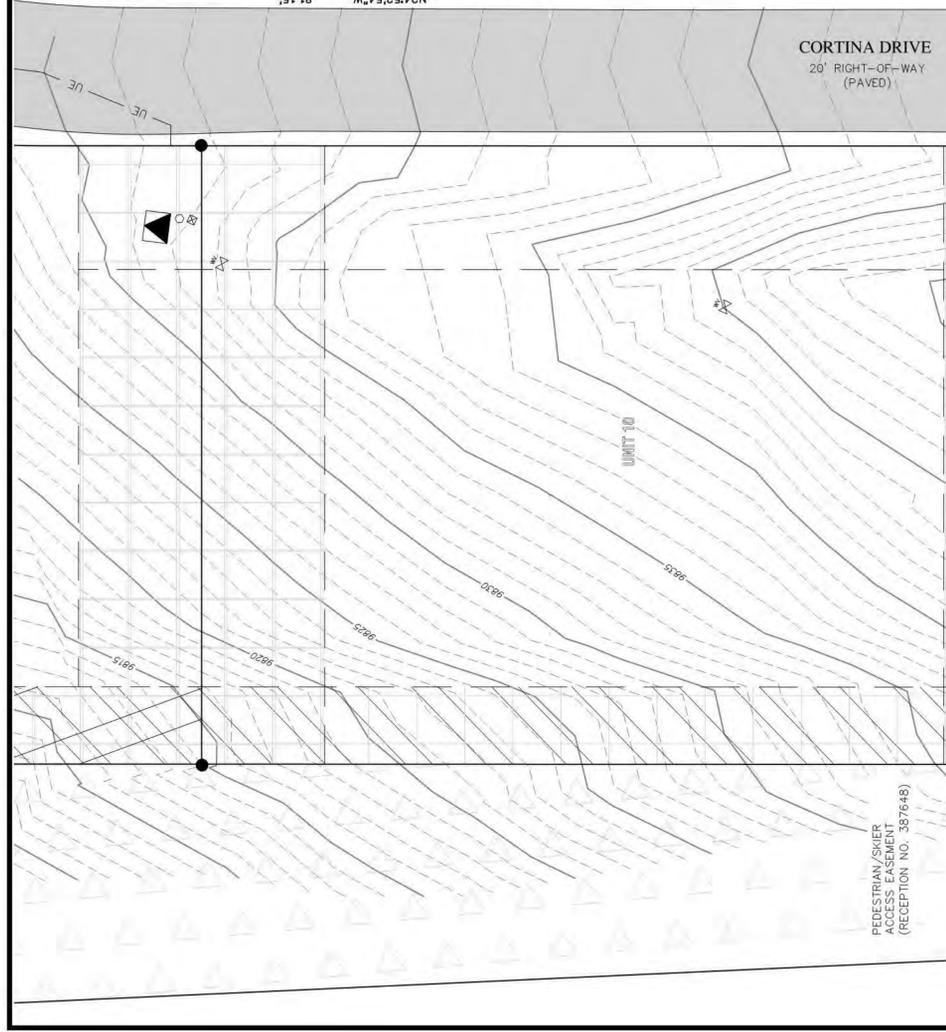
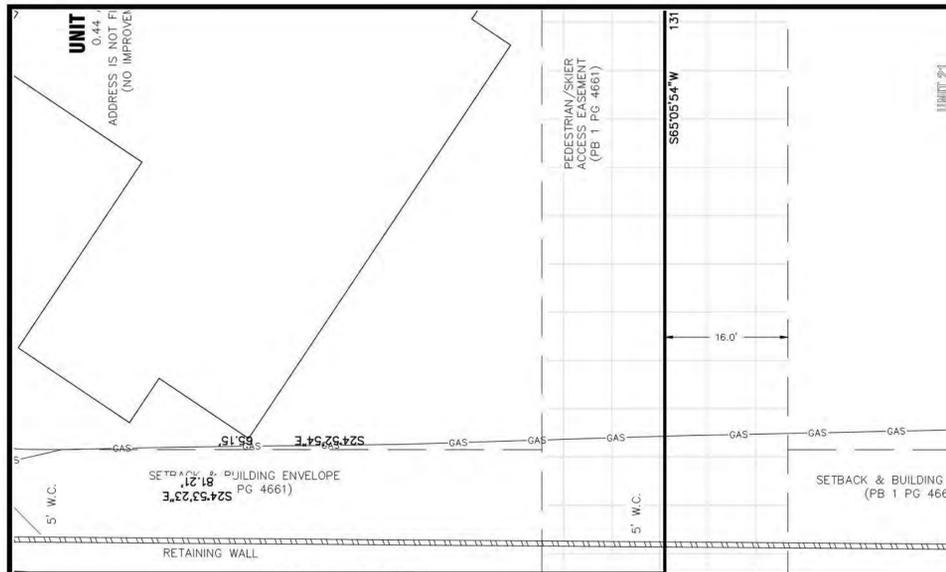
Drawn By: S. DAGOSTINO  
Date: 08/23/2018  
Project #: 1808.00  
Phase: CD  
Sheet



**PROPERTY DESCRIPTION:**  
Unit 11, The Cortina Land Condominiums, according to the Condominium Declaration recorded November 30, 2004 under Reception No. 370497 and the First Amendment thereto recorded November 14, 2006 under Reception No. 388352 and the Second Amendment thereto recorded January 19, 2007 under Reception No. 389686 and the Third Amendment thereto recorded August 22, 2014 under Reception No. 434256, and notice of the Fourth Amendment thereto recorded January 5, 2014 under Reception No. 435492 and the Fifth Amendment thereto recorded January 14, 2016 under Reception No. 441684 and the Sixth Amendment thereto recorded August 24, 2016 under Reception No. 445675 and according to the Condominium Map recorded November 30, 2004 in Plat Book 1 at page 3400 and the First Amendment to the map of Unit 11 recorded August 22, 2014 in Plat Book 1 at page 3886 and the Second Amendment to the map of the Cortina Land Condominiums recorded August 22, 2014 in Plat Book 1 at page 4661.

**NOTICE:**  
According to Colorado Law, you must commence any legal action based upon any error or omission in this plat within the time period specified in the event, may be commenced upon any defect in this survey to be commenced more than ten years from the date of the certification shown hereon.

**NOTES:**  
1. According to Flood Insurance Rate Map 08113CD287 D Map Revised September 30, 1992, this parcel lies within Flood Zone "X". (Areas determined to be outside the 500-year flood plain).  
2. Easement research from Land Title Guarantee Company, Commitment No. 10984007988, Effective Date 03/22/2018 at 05:00 P.M.  
3. Vertical datum is based on the found Northeast Corner of Unit 11, an Aluminum Cap Rebar, LS 34577, having an elevation of 7844.05 feet, as depicted.  
4. Utility locates as shown are from previous work, were done by others and positional accuracy is not known.  
5. Fieldwork was performed April 05, 2018.  
6. Lineal Units U.S. Survey Feet



**UNIT 11**  
0.21 AC.  
NO STRUCTURES  
APPLICABLE  
NOT POSTED

# GRADING, AND DRAINAGE CIVIL CONSTRUCTION PLANS FOR UNIT 11 CORTINA, TOWN OF MOUNTAIN VILLAGE SAN MIGUEL COUNTY, COLORADO

## GENERAL NOTES:

1. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 OR 811 TO OBTAIN AN INQUIRY IDENTIFICATION NUMBER AND TO REQUEST THE UTILITY OWNERS TO MARK OR OTHERWISE INDICATE THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES, INCLUDING SERVICE CONNECTIONS, WHICH MAY BE AFFECTED BY ITS OPERATIONS. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL UTILITIES AND ALL STRUCTURES FOUND AT THE SITE.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES, INCLUDING ANY UTILITIES NOT SHOWN ON THE DRAWINGS WHEN WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL EXERCISE SUFFICIENT CARE TO PREVENT DAMAGE TO THE LINES IN THE EVENT THAT THE INFORMATION SHOWN ON THE DRAWINGS DOES NOT REFLECT ACTUAL FIELD CONDITIONS.
3. IF ANY OF THE EXISTING UTILITIES AND SERVICES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS THE CONTRACTOR SHALL NOTIFY AND WORK WITH THE ENGINEER AND ARCHITECT TO FIND A SOLUTION BEFORE THE START OF ANY CONSTRUCTION ACTIVITIES.
4. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH "TITLE 17 COMMUNITY DEVELOPMENT CODE OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE, ADOPTED FEBRUARY 21, 2013".
5. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION." THESE REGULATIONS ARE DESCRIBED IN SUBPART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS. SHEETING AND SHORING SHALL BE UTILIZED WHERE NECESSARY TO PREVENT ANY EXCESSIVE WIDENING OR SLOUGHING OF THE TRENCH WHICH MAY BE DETRIMENTAL TO HUMAN SAFETY, TO THE PIPE BEING PLACED, TO TREES OR TO ANY EXISTING STRUCTURE WHERE EXCAVATIONS ARE MADE UNDER SEVERE WATER CONDITIONS. THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING.
6. THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE PLANS APPROVED BY THE TOWN OF MOUNTAIN VILLAGE AND ONE COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
7. CONTRACTOR AND/OR OWNER TO OBTAIN ALL NECESSARY PERMITS AND APPROVAL BEFORE THE START OF ANY CONSTRUCTION ACTIVITIES.
8. IF CUMULATIVE AREA OF DISTURBANCE EQUALS OR EXCEEDS ONE (1) ACRE, ON-SITE EROSION CONTROL SHALL BE PLANNED AND EXECUTED IN CONFORMANCE WITH THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, STORM WATER DISCHARGE REGULATIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED WITH APPROPRIATE APPROVALS FROM THE TOWN OF MOUNTAIN VILLAGE AND THE ENGINEER AS FIELD CONDITIONS WARRANT.
10. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO THE ENGINEER BEFORE THE START OF ANY CONSTRUCTION.
11. BENCHMARK: FOUND NORTHEAST CORNER OF UNIT 11, AN ALUMINUM CAP REBAR, LS 36577, HAVING AN ELEVATION OF 9844.06 FEET, AS SHOWN ON THE IMPROVEMENT SURVEY PLAT FOR UNIT 11, THE CORTINA LAND CONDOMINIUMS BY SAN JUAN SURVEYING. CONTACT CHRIS KENNEDY AT SAN JUAN SURVEYING AT (970) 708-1128 FOR MORE BENCHMARK INFORMATION.
12. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
13. CONTRACTOR MUST AWARE OF ALL TREES TO REMAIN PER THE DESIGN REVIEW BOARD APPROVAL PROCESS AND PROTECT THOSE TREES DURING CONSTRUCTION.
14. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
15. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITY PROVIDERS TO COORDINATE SCHEDULES.

16. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFFS MUST BE APPROVED BY THE TOWN, AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL, UNLESS WRITTEN PERMISSION IS GIVEN OTHERWISE.
17. CONTRACTOR SHALL REGULARLY PATROL THE PUBLIC LANDS ADJACENT TO THE DEVELOPMENT TO REMOVE CONSTRUCTION DEBRIS AND KEEP CLEAN AND SAFE.
18. PRIOR TO BEGINNING OF ANY CONSTRUCTION ACTIVITIES ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER/DEVELOPER OR CONTRACTOR.

## ROADWAY AND TRAIL/PATH NOTES:

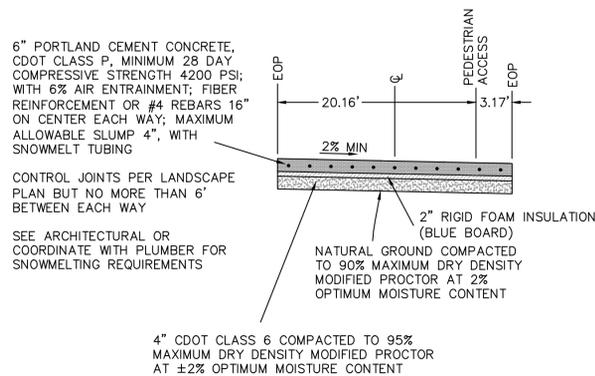
19. PAVING SHALL NOT START UNTIL PAVEMENT DESIGN, WHICH IS PART OF THE GEOTECHNICAL REPORT, HAS BEEN APPROVED BY THE TOWN OF MOUNTAIN VILLAGE.
20. WATER CAN BE USED AS A DUST PALLIATIVE.
21. HEATED AND PAVED DRIVEWAY/TRAIL/PATH SECTION TO BE COORDINATED WITH MECHANICAL ENGINEER FOR HEATING REQUIREMENTS AND GEOTECHNICAL ENGINEER OR ARCHITECT FOR REQUIRED PAVEMENT SECTION.

## GRADING AND EROSION CONTROL NOTES:

22. ALL SITE GRADING (EXCAVATION, EMBANKMENT, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST SOILS INVESTIGATION FOR THIS PROPERTY AS DETERMINED BY A GEOTECHNICAL ENGINEER.
23. A STATE STORMWATER DISCHARGE PERMIT SHALL BE OBTAINED PRIOR TO ANY GRADING BEING PERFORMED ON SITE LARGER THAN 1 ACRE IN SIZE. THESE PERMITS CAN BE OBTAINED FROM THE STATE WATER QUALITY CONTROL DIVISION (303-692-3500).
24. MAXIMUM CUT SLOPES AND FILL SLOPES ARE 2.5:1 (HORIZONTAL:VERTICAL).
25. ALL FILL MUST BE COMPACTED TO 95% MODIFIED PROCTOR AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT OR AS REQUIRED IN THE GEOTECHNICAL ENGINEER'S FINAL SOILS REPORT.
26. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
27. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURES. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, PETE OR ANY OTHER ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.
28. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN
29. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS.
30. AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE CONTRACTOR SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
31. NATIVE MATERIAL AND/OR TOPSOIL STOCKPILED MUST HAVE SEPARATE SILT FENCE AROUND STOCKPILE AND BE VEGETATED WITH NATIVE SEED MIX AS APPROVED BY TOWN OF MOUNTAIN VILLAGE IF THE STOCKPILE IS TO REMAIN FOR 90 DAYS OR LONGER.
32. WATER CAN BE USED AS A DUST PALLIATIVE.
33. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, SHOULD CONDITIONS MERIT THEM.

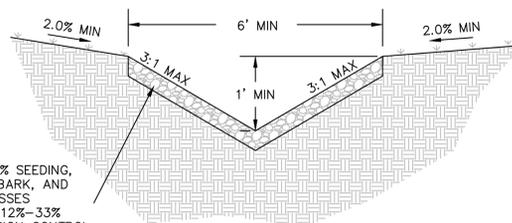
## RETAINING WALL NOTES:

34. SEE STRUCTURAL OR ARCHITECTURAL PLANS FOR ALL RETAINING WALL SECTIONS.
35. TW=TOP OF WALL ELEVATION AT FINISHED GROUND SURFACE; BW=BOTTOM OF WALL ELEVATION AT FINISHED GROUND SURFACE. THESE ELEVATIONS DO NOT INCLUDE ANY REQUIRED FOUNDATIONS OR CAPS. SEE STRUCTURAL OR ARCHITECTURAL PLANS FOR DETAILS.



## TYPICAL SNOWMELTED CONCRETE DRIVEWAY SECTION

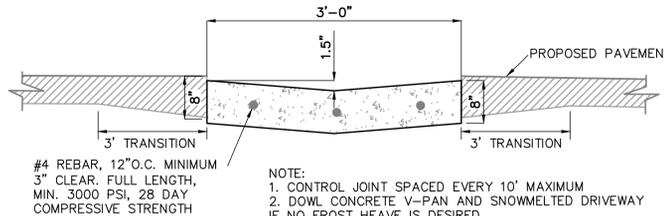
N.T.S.



- RECOMMENDED
- SLOPES UP TO 12% SEEDING, MULCHES, ROCK, BARK, AND ORNAMENTAL GRASSES
  - SLOPES BETWEEN 12%-33% COBBLES OR EROSION CONTROL MAT
  - SLOPES BETWEEN 33%-50% TYPE VL RIP-RAP (D<sub>50</sub>=6")

## TYPICAL YARD SWALE SECTION

N.T.S.



## TYPICAL CONCRETE V-PAN

N.T.S.



## VICINITY MAP

N.T.S.

## CIVIL SHEET INDEX

- CI-0.1 COVER SHEET AND DETAILS
- CI-0.2 GRADING PLAN
- CI-0.3 DRAINAGE AND EROSION CONTROL

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987**  
OR  
**811**  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

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GREGORY E. ANDERSON  
COLORADO PROFESSIONAL ENGINEER  
REGISTRATION NO. 35736

NO.	REVISIONS	DATE



**ALPINE LAND CONSULTING, LLC**  
P.O. BOX 234  
RICO, COLORADO 81532  
970-708-0326  
GREGG@ALPINELANDCONSULTING.COM

---

**UNIT 11 CORTINA**

COVER SHEET

---

**CLIENT:**  
SILVER GLADE DEVELOPMENT CO  
118 E MAIN ST., STE 500  
LOUISVILLE, KY 40202

---

DATE: AUGUST 22, 2018

---

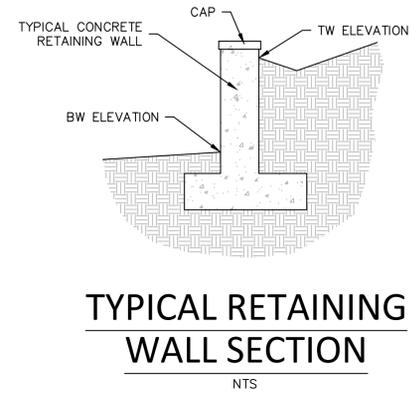
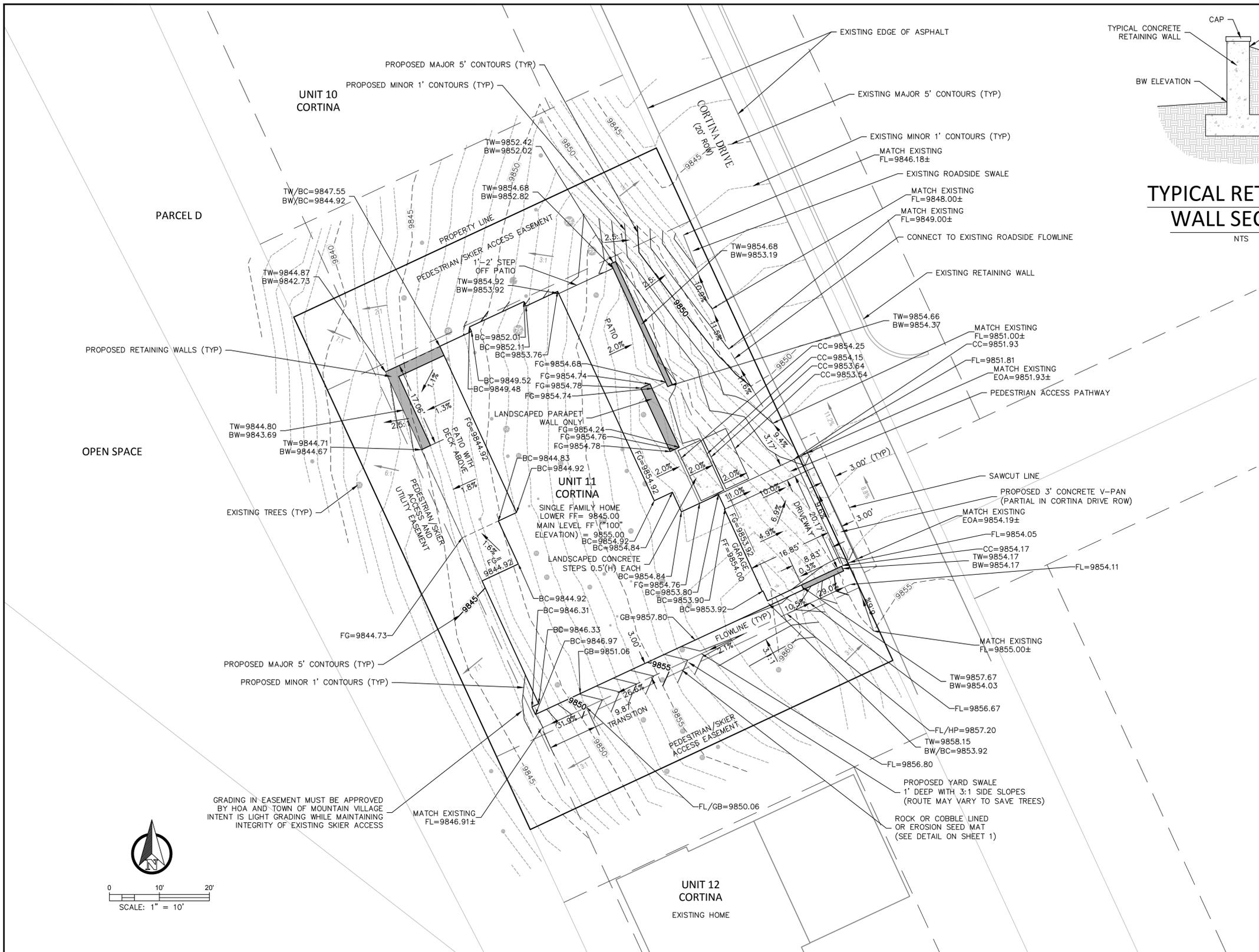
PROJECT #: 2018021

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PROJECT MANAGER: GEA  
DRAWN BY: ADM

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**CI-0.1**



**LEGEND**

- BC = BUILDING CORNER
- BW = BOTTOM OF WALL (SEE NOTE 3)
- CC = CONCRETE
- EOA = EDGE OF ASPHALT
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOWLINE
- GB = GRADE BREAK
- HP = HIGH POINT
- TW = TOP OF WALL (SEE NOTE 3)
- 3:1 ← EXISTING SLOPE (H:V)
- 9.0% ← EXISTING GRADE
- 2.0% → PROPOSED GRADE
- 2.5:1 → PROPOSED SLOPE (H:V)

**NOTES**

1. MAXIMUM GRADING 2.5:1 PER GEOTECHNICAL REPORT PROVIDED BY TRAUTNER ENGINEERING.
2. ALL EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY SAN JUAN SURVEYING. SEE NOTE 11 ON SHEET 1.
3. ALL RETAINING WALL HEIGHTS AREA FINISHED GRADE TO FINISHED GRADE (RETAINED HEIGHT) AND DO NOT INCLUDE FOUNDATIONS OR CAP (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
4. RETAINING WALLS WITH PEDESTRIAN ACCESS REQUIRE HARD RAILS FOR ALL RETAINED HEIGHT OVER 2.5' (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS FOR RETAINING WALL SECTION).
5. SEE STRUCTURAL OR ARCHITECTURAL/LANDSCAPE PLANS FOR ALL HOUSE DIMENSIONS.

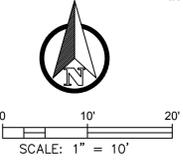
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OR  
**811**  
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UNDERGROUND MEMBER UTILITIES.

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GREGORY E. ANDERSON  
COLORADO PROFESSIONAL ENGINEER  
REGISTRATION NO. 35736



**GRADING PLAN**

NO.	REVISIONS	DATE

**UNIT 11 CORTINA**

GRADING PLAN

**CLIENT:**

SILVER GLADE DEVELOPMENT CO  
118 E MAIN ST., STE 500  
LOUISVILLE, KY 40202

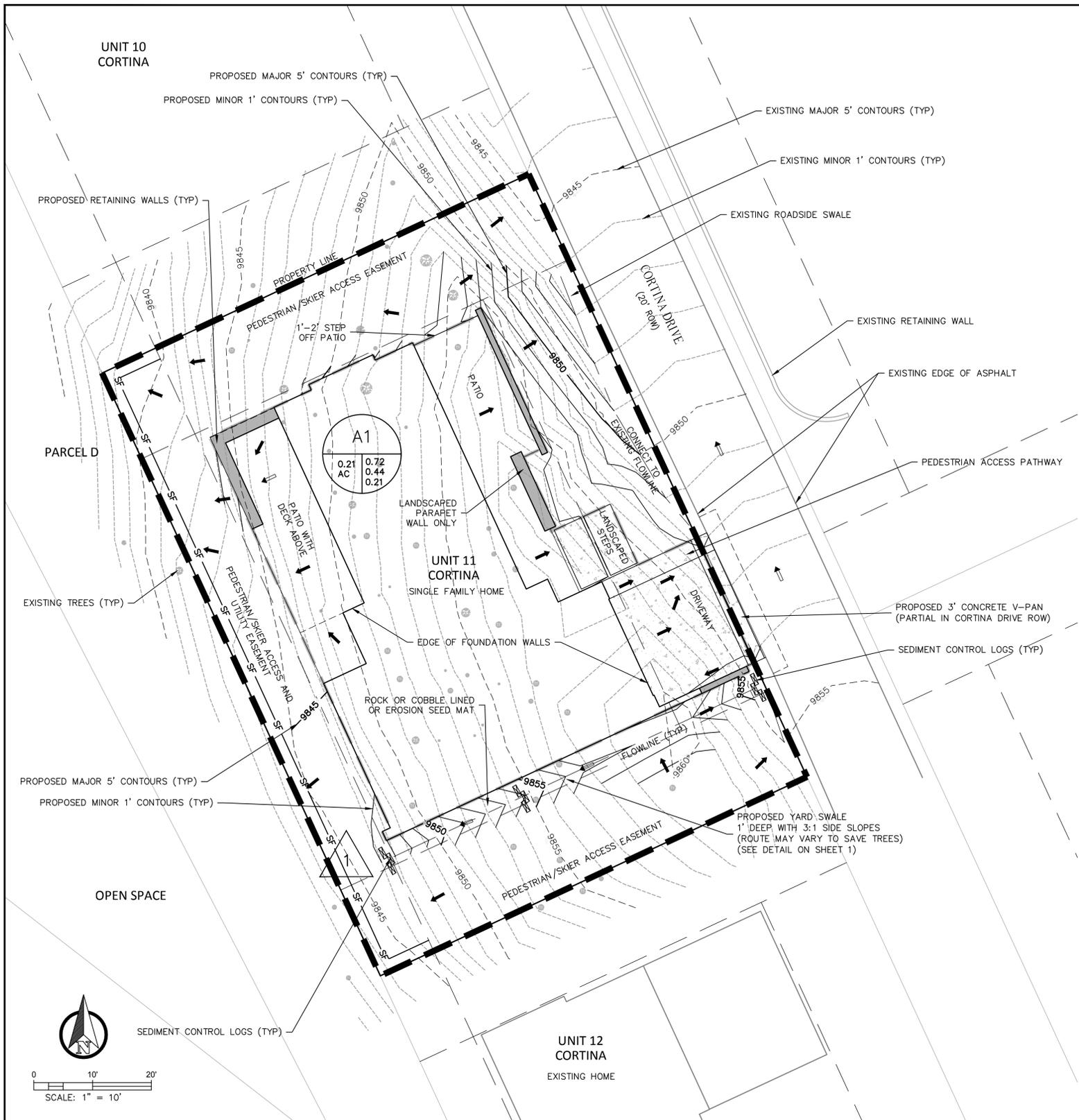
DATE: AUGUST 22, 2018

PROJECT #: 2018021

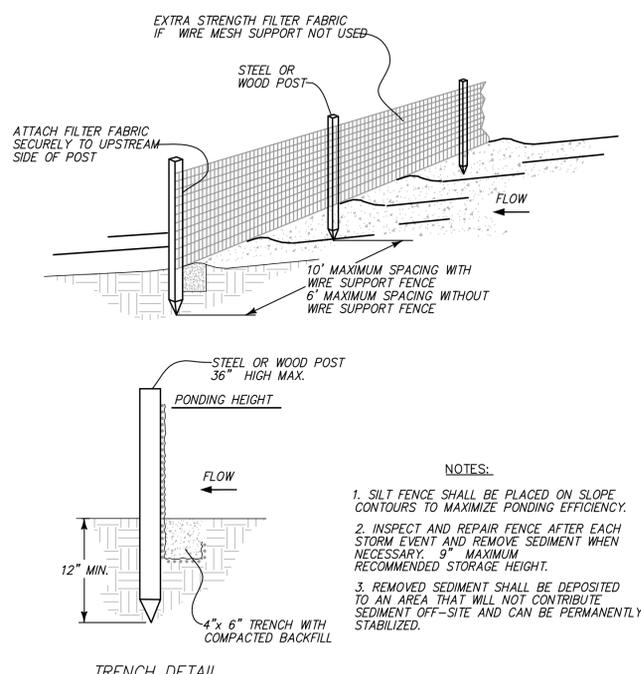
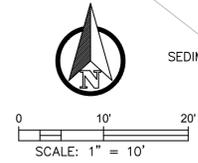
PROJECT MANAGER: GEA  
DRAWN BY: ADM

SHEET #:

**CI-0.2**

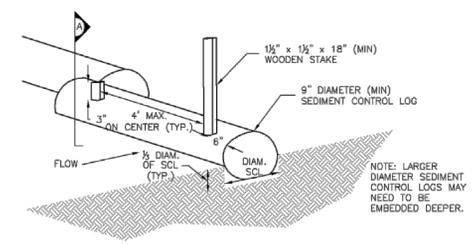


**DRAINAGE AND EROSION CONTROL PLAN**

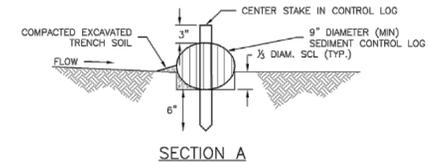


- NOTES:**
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
  2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
  3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

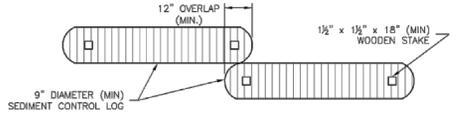
**SILT FENCE**  
NTS



**SEDIMENT CONTROL LOG**



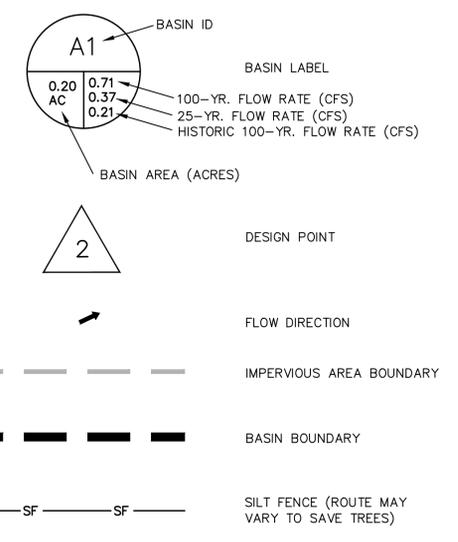
**SECTION A**



**SEDIMENT CONTROL LOG JOINTS**

**SEDIMENT CONTROL LOGS**  
NTS

**LEGEND**



**NOTES**

1. MAXIMUM GRADING 2.5:1 PER GEOTECHNICAL REPORT PROVIDED BY TRAUTNER ENGINEERING. ANY SLOPES GREATER THAN 2.5:1 TO BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO FINAL CONSTRUCTION DOCUMENTS.
2. ALL EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY SAN JUAN SURVEYING. SEE NOTE 11 ON SHEET 1.
3. NO DETENTION PROPOSED AS THIS SITE IS PART OF CONDOMINIUM SUBDIVISION AND HAS EXISTING DRAINAGE FACILITIES.

CALL UTILITY NOTIFICATION  
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GREGORY E. ANDERSON  
COLORADO PROFESSIONAL ENGINEER  
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**UNIT 11 CORTINA**  
DRAINAGE AND EROSION CONTROL PLAN

**CLIENT:**  
SILVER GLADE DEVELOPMENT CO  
118 E MAIN ST., STE 500  
LOUISVILLE, KY 40202

**DATE:** AUGUST 22, 2018

**PROJECT #:** 2018021

**PROJECT MANAGER:** GEA  
**DRAWN BY:** ADM

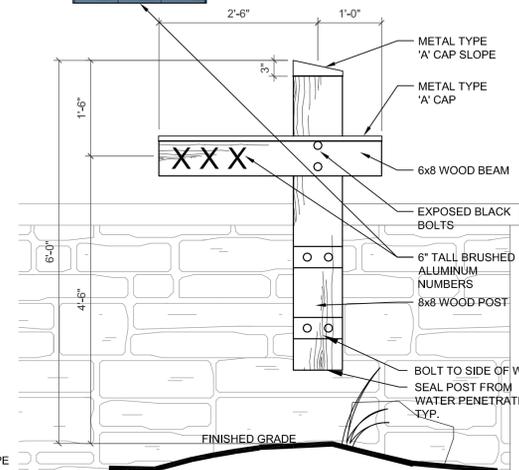
**SHEET #:**

**CI-0.3**

NO.	REVISIONS	DATE



364

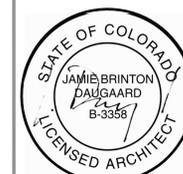


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F 303.840.2299

MONTANA:  
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CORTINA LOT 11  
MOUNTAIN VILLAGE, CO 81435

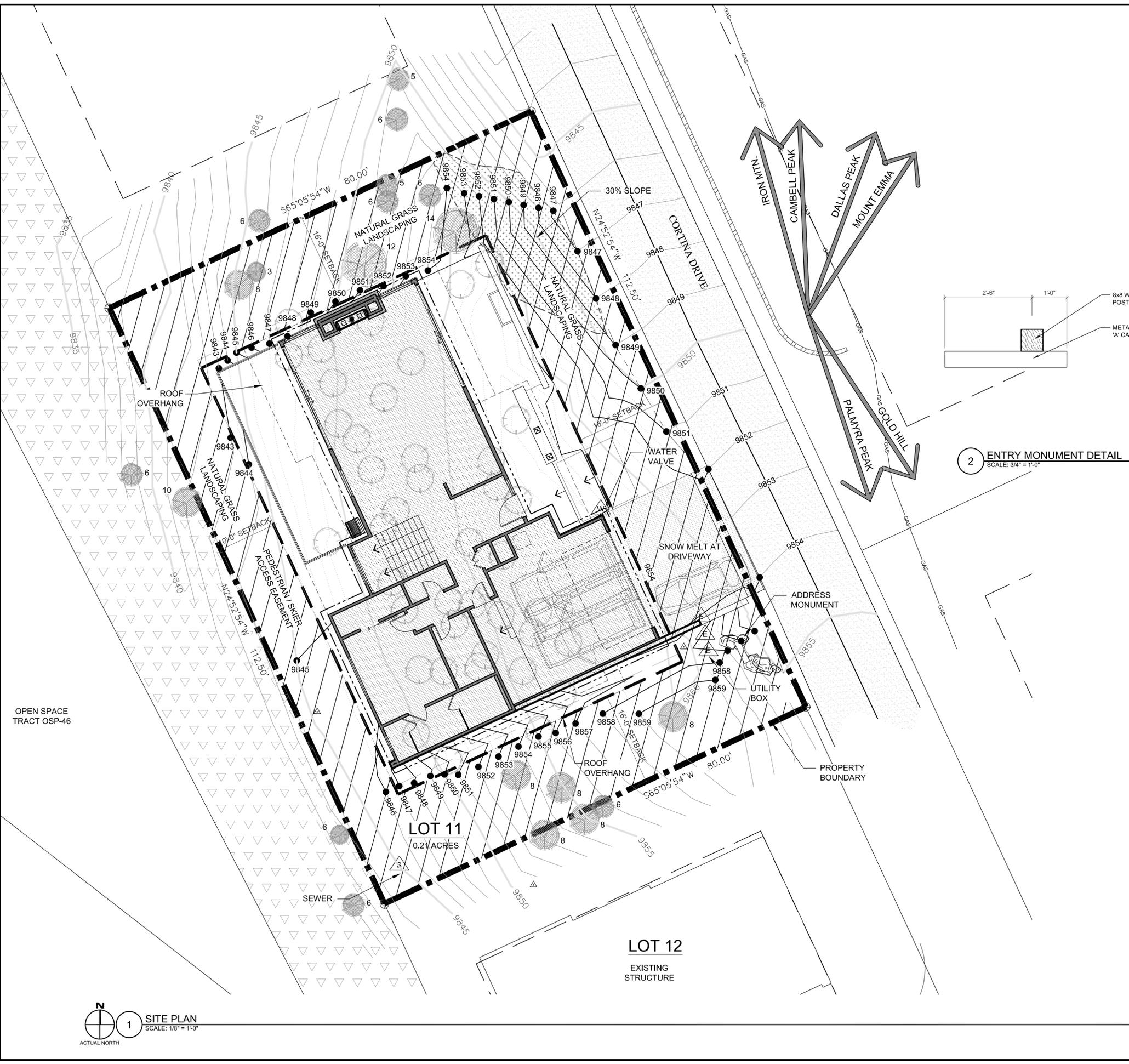


Issued For	Date
100% S.D.	06/28/2018
SD Pricing #1	
100% D.D.	08/02/2018
95% C.D.	08/23/2018
100% C.D.	

Drawn By *S. Tomlinson*  
Date 08-23-2018  
Project # 1808.00  
Phase FINAL DRB REVIEW  
Sheet

A1-0.1

SITE PLAN



2 ENTRY MONUMENT DETAIL  
SCALE: 3/4\"/>

LEGEND	
---	DRAINAGE
---	LIMITS OF CONSTRUCTION
---	EROSION CONTROL
---	DRAINTILE
---	NEW WATER LINE
---	NEW SEWER LINE
---	NEW ELECTRICAL LINE
---	NEW PHONE LINE
---	EXISTING GRADE LINE
---	NEW GRADE LINE
---	LIMITS OF EXCAVATION
---	METAL PLANTING BORDER
---	SNOW MELT LOCATIONS
---	ASPHALT
---	CONCRETE

- GENERAL NOTES
1. ALL PERIMETER FOUNDATION DRAINS TO EXIT TO DAYLIGHT
  2. STORM WATER DETENTION POND SHOULD BE LOCATED ON SITE TO MAXIMIZE THE COLLECTION OF SURFACE RUNOFF WATER IN ADDITION TO COLLECTING ROOF DRAINS AND FOUNDATION DRAIN IF APPLICABLE.
  3. ALL CONCRETE WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT PROJECT COMPLETION. CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.
  4. EXCESS SOIL FROM CONSTRUCTION TO BE RELOCATED ON SITE W/ GEOTECHNICAL ENGINEER APPROVAL.
  5. ANY DAMAGE TO THE EXISTING ROADWAY INCLUDING THE AC SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CULVERTS, EXISTING VEGETATION, AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GC TO SATISFACTION OF SPARC.
  6. ALL DRIVEWAYS, PARKING, AND LAYDOWN AREAS TO BE COVERED WITH TWO INCHES OF 3/8\"/>

HOUSE ELEVATIONS:

T.O. CONC. @ LOWER LEVEL	90'-0" = 9845'-0"
T.O. CONC. @ GARAGE LEVEL	99'-0" = 9854'-0"
T.O. SUBFLR @ MAIN LEVEL	100'-0" = 9855'-0"

GENERAL PROJECT DETAILS:

ELEVATION @ DRIVEWAY	9853'-0"
ELEVATION @ GARAGE	9854'-0"
TOTAL ELEVATION GAIN	1'-0"
TOTAL DRIVEWAY LENGTH	20'-0"
AVERAGE SLOPE	5.0%
LOT COVERAGE	48.0%
MAX BUILDING HT.	32'-0"
AVERAGE BUILDING HT.	28'-0"





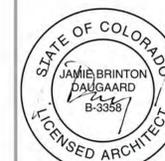
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CORTINA LOT 11  
 MOUNTAIN VILLAGE, CO 81435

NOT FOR  
 CONSTRUCTION



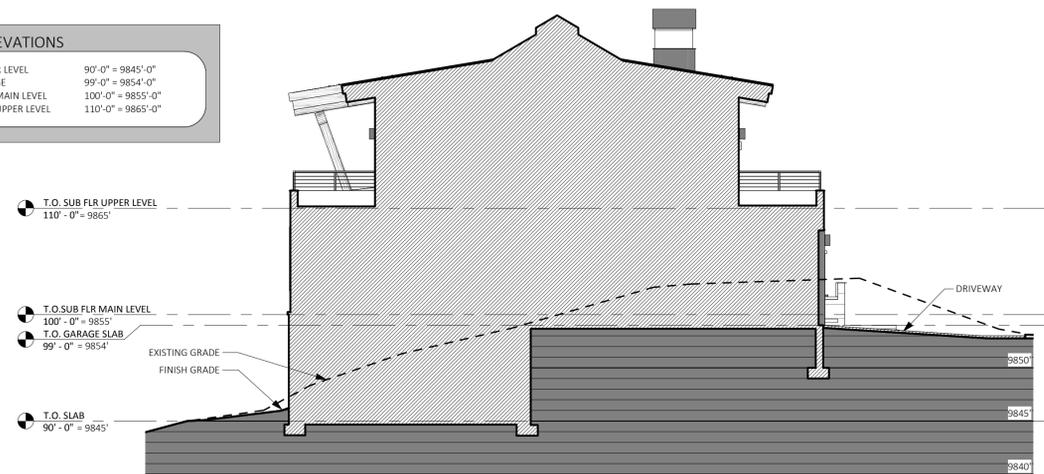
Issued For	Date
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* Pricing #	-
* DRB Initial Review	06/28/2018
* 100% D.D.	08/02/2018
* ARC Final Review	08/23/2018
* 100% C.D.	-
* PHASE 2	-
* REV. #	-

Drawn By S. DAGOSTINO  
 Date 08/23/2018  
 Project # 1808.00  
 Phase CD  
 Sheet

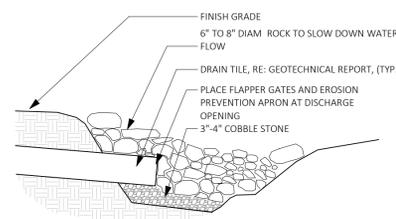
**A1-0.2**  
 SITE AXON,  
 SECTION & DETAILS

**STRUCTURAL ELEVATIONS**

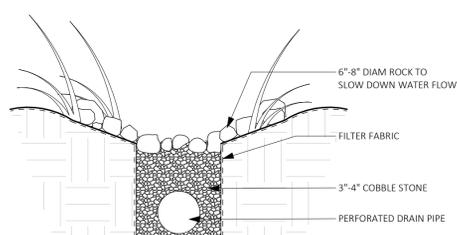
T.O. SLAB @ LOWER LEVEL	90'-0" = 9845'-0"
T.O. SLAB @ GARAGE	99'-0" = 9854'-0"
T.O. SUBFLOOR @ MAIN LEVEL	100'-0" = 9855'-0"
T.O. SUBFLOOR @ UPPER LEVEL	110'-0" = 9865'-0"



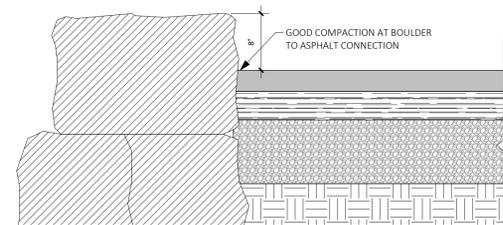
**1 SITE SECTION**  
 1/8" = 1'-0"



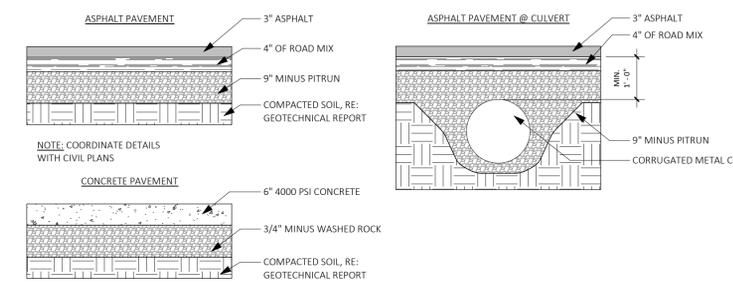
**NOTE:**  
 ADD CLEANOUTS TO FOUNDATION DRAINPIPE FOR ANY FUTURE MAINTENANCE OR INSPECTION.  
 INSTALL FOUNDATION DRAINS FRENCH DRAINS WITH THE ADEQUATE SLOPE TO DRAIN MOISTURE AWAY FROM THE BUILDING AND FOUNDATION, KEEPING THE PIPE PROTECTED FROM BEING CRUSHED DURING BACKFILLING.



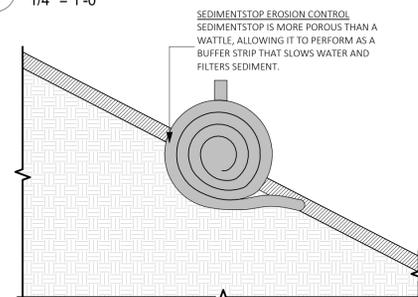
**4 DRAINAGE SWALE**  
 1" = 1'-0"



**5 DRIVEWAY CURB DETAIL**  
 1" = 1'-0"

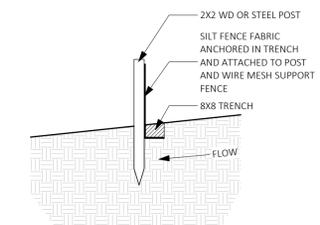


**6 SITE PAVING DETAILS**  
 1/2" = 1'-0"



**GENERAL INSTALLATION NOTES**  
 PREPARE SOIL BEFORE INSTALLATION.  
 ANCHOR BLANKET AT TOP OF THE SLOPE IN A 6-INCH x 6-INCH WIDE TRENCH WITH A ROW OF STAPLES/STACKS APPROXIMATELY 12 INCHES APART AT THE BOTTOM OF THE TRENCH.  
 FOLD A 12-INCH PORTION OF BLANKET BACK AND SECURE WITH A ROW OF STAPLES APPROXIMATELY 12 INCHES APART ACROSS THE WIDTH OF THE BLANKET.  
 STAPLE THE EDGES OF PARALLEL BLANKETS WITH 2 - 5 INCHES OF OVERLAP.  
 WHEN USING DOT SYSTEM, PLACES THROUGH THE APPROPRIATE STAPLE PATTERN PROVIDED BY THE MANUFACTURE.  
 INSTALL SEDIMENT STOP EROSION CONTROL TO MANUFACTURES SPECIFICATIONS.

**7 EROSION CONTROL DETAIL**  
 1/4" = 1'-0"

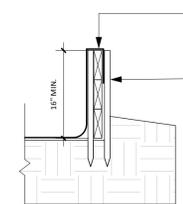


**GENERAL NOTES**  
 FABRIC MATERIAL SHALL BE MIRAFI 100X, OR ENGINEER APPROVED EQUAL.  
 SUPPORT FENCE IF USED SHALL BE 2X2 BY 14-GAUGE WIRE MESH FENCING IN 3 FOOT WIDE ROLLS.  
 SILT FENCE SHOULD NOT BE USED IF GRADE IS ABOVE 50% IN EITHER DIRECTION FOR A DISTANCE OF MORE THAN 100'-0" UNLESS USED IN COMBINATION WITH TEMPORARY SEDIMENT TRAPS.  
 SILT FENCE SHALL NOT BE USED TO DIVERT FLOW AND NOT INTENDED FOR CONCENTRATED FLOW CONDITIONS.  
 ENDS OF EACH SEPARATE SECTION OF SILT FENCE SHOULD BE TURNED UPSLOPE A MINIMUM OF 1'-0" TO PREVENT RUNOFF FROM GOING AROUND THE END OF FENCE.

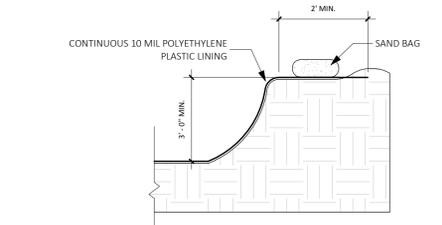
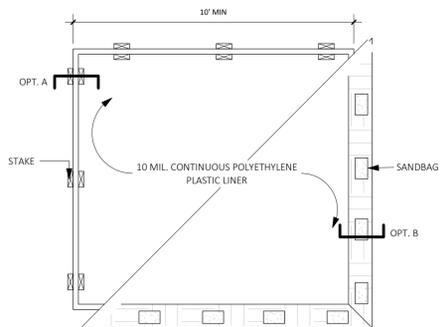
**8 SILT FENCE DETAIL**  
 1/4" = 1'-0"

**CONCRETE WASHOUT AREA NOTES:**

1. Temporary concrete washout facilities shall be located a minimum of 50 ft from sensitive areas including storm drain inlets, open drainage facilities, and watercourses.
2. Concrete washout within the roadside ditches is strictly prohibited.
3. Washout of concrete trucks shall be performed in designated areas only.
4. Once concrete wastes are washed into the designated area and allowed to harden, the concrete should be broken up, removed, and disposed of per applicable solid waste regulations. Dispose of hardened concrete on a regular basis.
5. Materials used to construct temporary concrete washout facilities shall be removed from the site of the work and disposed of or recycled.
6. Holes, depressions or other ground disturbance caused by the removal of the temporary concrete washout facilities shall be backfilled, repaired, and stabilized to prevent erosion.

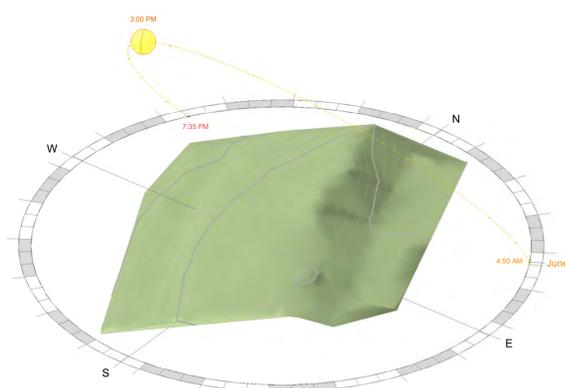


**OPTION 'A'**  
 ABOVE GRADE W/ WOOD PLANKS

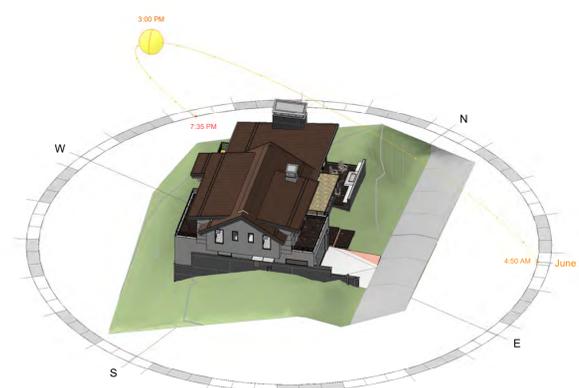


**OPTION 'B'**  
 BELOW GRADE

**2 CONCRETE WASHOUT AREA**  
 3/4" = 1'-0"



**9 SITE AXON SUN PATH - EXISTING**



**10 SITE AXON SUN PATH - NEW**



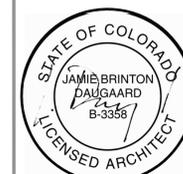
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CORTINA LOT 11  
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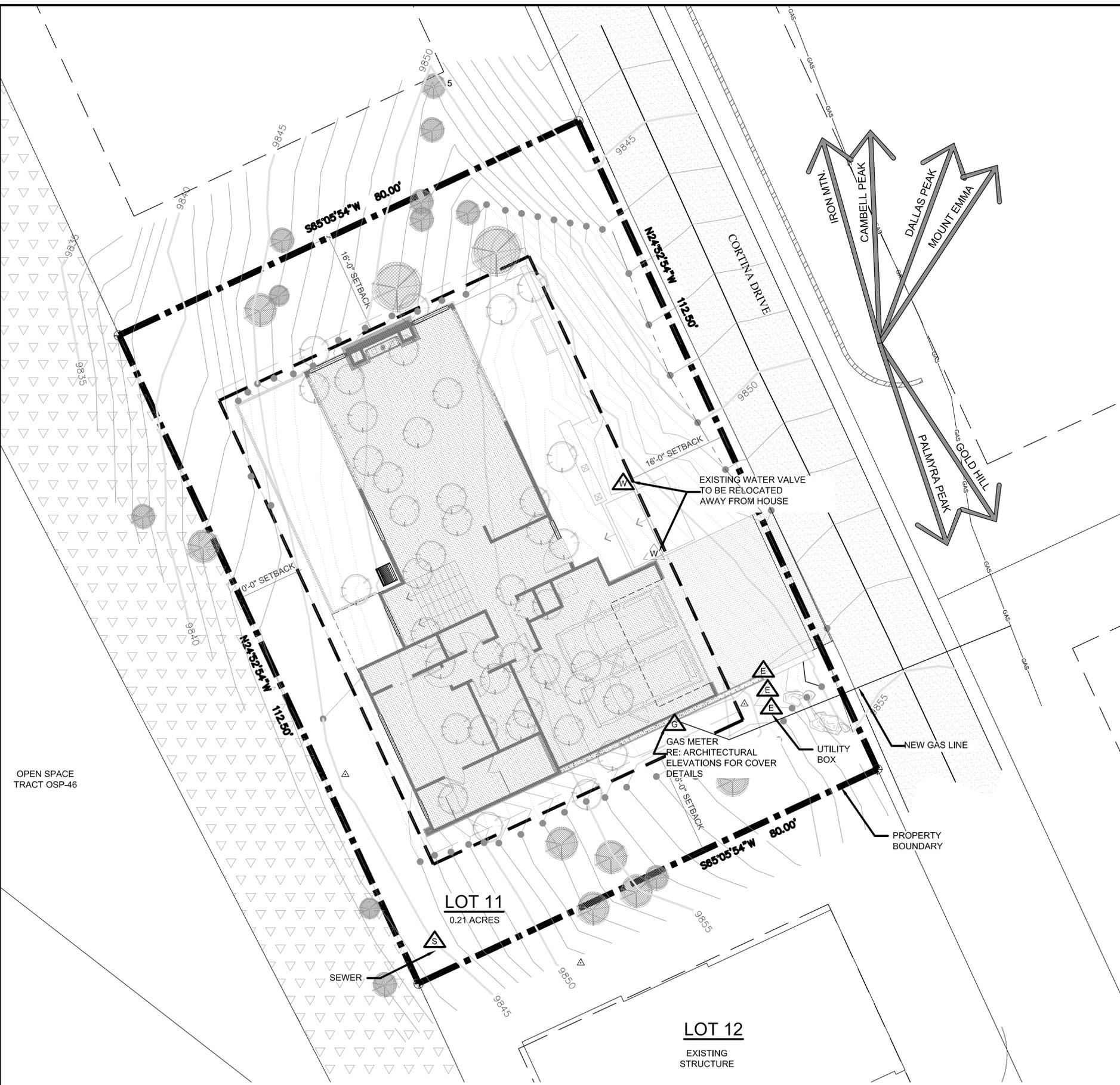


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SD Pricing #1	
100% D.D.	08/02/2018
95% C.D.	08/23/2018
100% C.D.	

Drawn By *S. Tomlinson*  
Date 08-23-2018  
Project # 1808.00  
Phase FINAL DRB REVIEW  
Sheet

A1-0.3

UTILITY PLAN



LEGEND

--- DRAINAGE	--- EXISTING GRADE LINE
- - - LIMITS OF CONSTRUCTION	--- NEW GRADE LINE
~ EROSION CONTROL	- - - LIMITS OF EXCAVATION
- - - DRAINTILE	--- METAL PLANTING BORDER
--- NEW WATER LINE	▨ SNOW MELT LOCATIONS
--- NEW SEWER LINE	▨ ASPHALT
--- NEW ELECTRICAL LINE	▨ CONCRETE
--- NEW PHONE LINE	

- GENERAL NOTES
1. ALL PERIMETER FOUNDATION DRAINS TO EXIT TO DAYLIGHT
  2. STORM WATER DETENTION POND SHOULD BE LOCATED ON SITE TO MAXIMIZE THE COLLECTION OF SURFACE RUNOFF WATER IN ADDITION TO COLLECTING ROOF DRAINS AND FOUNDATION DRAIN IF APPLICABLE.
  3. ALL CONCRETE WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT PROJECT COMPLETION. CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.
  4. EXCESS SOIL FROM CONSTRUCTION TO BE RELOCATED ON SITE W/ GEOTECHNICAL ENGINEER APPROVAL.
  5. ANY DAMAGE TO THE EXISTING ROADWAY INCLUDING THE AC SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CULVERTS, EXISTING VEGETATION, AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GC TO SATISFACTION OF SPARC.
  6. ALL DRIVEWAYS, PARKING, AND LAYDOWN AREAS TO BE COVERED WITH TWO INCHES OF 3/8" SCREENED ROCK. RECOMMENDED TO DO A MINIMUM OF 8" OF 3" MINUS PITRUN OVER A GEOTECHNICAL SEPARATION FABRIC.
  7. USE OF FIRE HYDRANT IS PROHIBITED WITHIN SPANISH PEAKS.

HOUSE ELEVATIONS:

T.O. CONC. @ LOWER LEVEL	90'-0" = 9845'-0"
T.O. CONC. @ GARAGE LEVEL	99'-0" = 9854'-0"
T.O. SUBFLR @ MAIN LEVEL	100'-0" = 9855'-0"

GENERAL PROJECT DETAILS:

ELEVATION @ DRIVEWAY	9853'-0"
ELEVATION @ GARAGE	9854'-0"
TOTAL ELEVATION GAIN	1'-0"
TOTAL DRIVEWAY LENGTH	20'-0"
AVERAGE SLOPE	5.0%
LOT COVERAGE	48.0%
MAX BUILDING HT.	32'-0"
AVERAGE BUILDING HT.	28'-0"

UTILITY PLAN  
SCALE: 1/8" = 1'-0"  
ACTUAL NORTH

OPEN SPACE  
TRACT OSP-46

LOT 12  
EXISTING  
STRUCTURE

LOT 11  
0.21 ACRES

**GENERAL NOTES**

1. DISTURBANCE IN EASEMENTS/ROAD RIGHT OF WAY TO BE KEPT TO A MINIMUM.
2. PHASING OF LANDSCAPING TO COMPLY WITH APPROPRIATE LANDSCAPING AND WATERING REGULATIONS IN PLACE AT TIME OF CONSTRUCTION.
3. ALL PLANTS AND TREES TO MEET THE REQUIREMENTS OF THE AMERICAN HORTICULTURAL INDUSTRY ASSOCIATION REGARDING THE QUALITY OF NURSERY STOCK.
4. LANDSCAPE PLAN TO COMPLY WITH SECTION 17.5.9(G) OF THE CDC LANDSCAPE DESIGN REGULATION REGARDING NOXIOUS WEEDS.
5. ALL EXISTING TREES TO REMAIN UNLESS THEIR REMOVAL IS DEEMED NECESSARY TO COMPLETE CONSTRUCTION. REMOVED TREES WILL BE REPLACED WITH EQUAL BIOMASS SUBJECT TO APPROVAL.
6. ALL TREES AND REVEGETATION TO BE NATIVE TO THE APPROPRIATE LIFE ZONE AND MICRO CLIMATE OF THE SITE.
7. NO TREES TO BE PLANTED WITHIN 15' OF THE STRUCTURE TO ALLOW FOR APPROPRIATE FIRE BUFFER.
8. PERENNIALS 80% OR GREATER TO BE DROUGHT RESISTANT.

**REVEGETATION NOTES**

1. BROADCASTING OF SEED SHALL BE DONE WITHIN TEN DAYS AFTER TOPSOIL HAS BEEN APPLIED TO MINIMIZE EROSION AND WEED ESTABLISHMENT.
2. SEED ALL AREAS NOTATED "NATIVE GRASS/WILDFLOWER SEED" AS WELL AS ANY DISTURBED AREAS AT THE PERIMETER OF THE BUILDING SITE WITH THE FOLLOWING NATIVE WEED FREE MIX:

western yarrow	5%
tall fescue	10%
arizona fescue	5%
hard fescue	5%
creeping red fescue	5%
alpine bluegrass	15%
canada bluegrass	10%
perennial rye grass	15%
slender wheatgrass	10%
mountain brome	15%

3. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED.
4. SEED TO BE BROADCAST AT A RATE OF 8LBS PER 1,000 SQUARE FEET.
5. SLOPES THAT ARE GREATER THAN 3:1 SHALL BE NETTED WITH NON-NYLON 100% BIO AND PHOTO DEGRADABLE CERTIFIED WEED FREE STRAW BLANKETS SUCH AS AEC PREMIER STRAW DOUBLE OR SINGLE NET FIBRENET.
6. BROADCAST WILDFLOWER SEED AT A RATE OF 1LB PER 500 SQUARE FEET WITH THE FOLLOWING NATIVE SEED MIX:

Penstemon strictus	15%
Achillea lanulosa	15%
Campanula rotundifolia	20%
Geranium richardsonii	30%
Gaillardia aristata	20%

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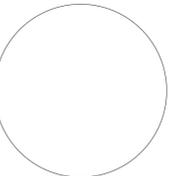
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**PLANT SCHEDULE**

Image	ID	Qty	Latin Name	Common Name	Scheduled Size
	Aqca	5	Aquilegia caerulea 'Winky Double Red & White'	Winky Double Red & White Columbine	1 GAL
	Digr	23	Dianthus gratianopolitanus	Firewitch Cheddar Pink	1 GAL
	Ecpu	5	Echinacea purpurea	Firebird Coneflower	1 GAL
	Fegl	41	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue grass	1 GAL
	Hese	4	Helictotrichon sempervirans	Blue Oat Grass	2 GAL
	Irsi	9	Iris sibirica 'Caesar's Brother'	Caesar's Brother Siberian Iris	1 GAL
	Phop	1	Physocarpus opulifolius	Ninebark 'Autumn Jubilee'	5 GAL
	Pipu	2	Picea pungens 'Glauca Globosa'	Dwarf Globe Blue Spruce	10 GAL
	Potr	3	Populus tremuloides	Quaking Aspen	B&B 2.5" - 3"
	Prvi - 1	3	Prunus virginiana 'Shubert'	Shubert Chokecherry	B&B 2.5" - 3"
	Sasy	4	Salvia sylvestris	May Night Sage	1 GAL
	Seac	15	Sedum acre	Gold Moss Sedum	1 GAL
	Sedp-1	16	Sedum spurium 'Dragon's Blood'	Dragon's Blood Stonecrop	1 GAL
	Sere-1	20	Sedum reflexum 'Angelina'	Angelina Stonecrop	1 GAL
	Sesi	9	Sedum sieboldii	Sedum 'October Daphne'	1 GAL
	Sesp	14	Sedum spurium 'Tricolor'	Tricolor Sedum	1 GAL

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Drawn By \_\_\_\_\_  
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Phase FINAL DRB REVIEW  
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Grassroots Landscape Design, LLC  
970.729.1657  
grassrootstelluride@gmail.com

**LS-1**

Drawn By: jm  
DATE: 8.23.18



**CONCEPTUAL LANDSCAPE DESIGN**

1/8" = 1' - 0"

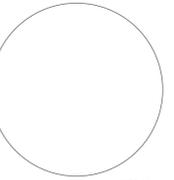


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970.729.1657  
grassrootstelluride@gmail.com

LS-2

Drawn By: jm  
DATE: 8.23.18



GRASSROOTS  
LANDSCAPE DESIGN, LLC

**IRRIGATION NOTES**

1. ALL TREES AND SHRUBS TO BE DRIP IRRIGATED
2. GENERAL CONTRACTOR TO PROVIDE 1" MINIMUM HARD COPPER LINE TO THE EXTERIOR OF THE RESIDENCE. COPPER STUB OUT WILL BE SET AT 12" BELOW FINISH GRADE AND TERMINATE WITH A 1" FEMALE ADAPTOR. ALL MECHANICAL COMPONENTS TO BE INSTALLED BY A LICENSED PLUMBER AND MEET ALL CURRENT CODES AND REGULATIONS.
3. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ADEQUATE SLEEVING UNDER ALL PAVED SURFACES NOTED ON THE PLAN. SCHEDULE 80 PVC IS REQUIRED AND SHOULD HAVE A DIAMETER OF 4".
4. GENERAL CONTRACTOR TO PROVIDE 110 POWER TO THE EXTERIOR OF THE RESIDENCE AT A POINT NOT MORE THAN 10' AWAY FROM WATER SOURCE STUB OUT. CONTROLLER TO BE PROVIDED, INSTALLED, AND WIRED BY IRRIGATION CONTRACTOR .
5. GENERAL CONTRACTOR TO ENSURE A FLOW RATE OF 24 GPM MINIMUM 55 PSI FROM THE PROVIDED SOURCE.
6. 100% HEAD TO HEAD COVERAGE REQUIRED ON ALL POP UP AND ROTOR NOZZLES.
7. MAINLINE ISOLATION VALVE TO BE INSTALLED IN MECHANICAL ROOM BEFORE BACKFLOW RP VALVE.
8. HALF INCH LATERAL POLY LINE WITH TWO 2-GALLON EMITTERS OR SIMILAR FOR EACH SHRUB AND ONE RING IN-LINE EMITTER 1/4" TUBING FOR TREES.
9. HUNTER PRESSURE COMPENSATION SYSTEM WITH BUILT-IN CHECK VALVE TO PREVENT EMITTER CLOGGING AND WATER LOSS, AS WELL AS TO ENSURE EVEN FLOWS ON ALL TERRAINS AND LATERAL LENGTHS. IS RECOMMENDED.
10. VACUUM/AIR RELEASE BALL VALVE TO BE INSTALLED IF SYSTEM IS RUNNING LENGTHS OVER SIGNIFICANT ELEVATION CHANGES TO PREVENT PIPE COLLAPSE.
11. ALL ZONES TO RUN AT < 80% OF SYSTEM CAPACITY.
12. ALL ROTOR ZONES TO BE ABANDONED UPON ESTABLISHMENT OF REVEG AREAS OR AFTER THE THIRD GROWING SEASON.
13. WIFI READY CONTROLLER TO BE PAIRED WITH RAIN SENSOR; SENSOR TO BE LOCATED IN AN OPEN AREA.

**IRRIGATION LEGEND**

**ZONE LINES**

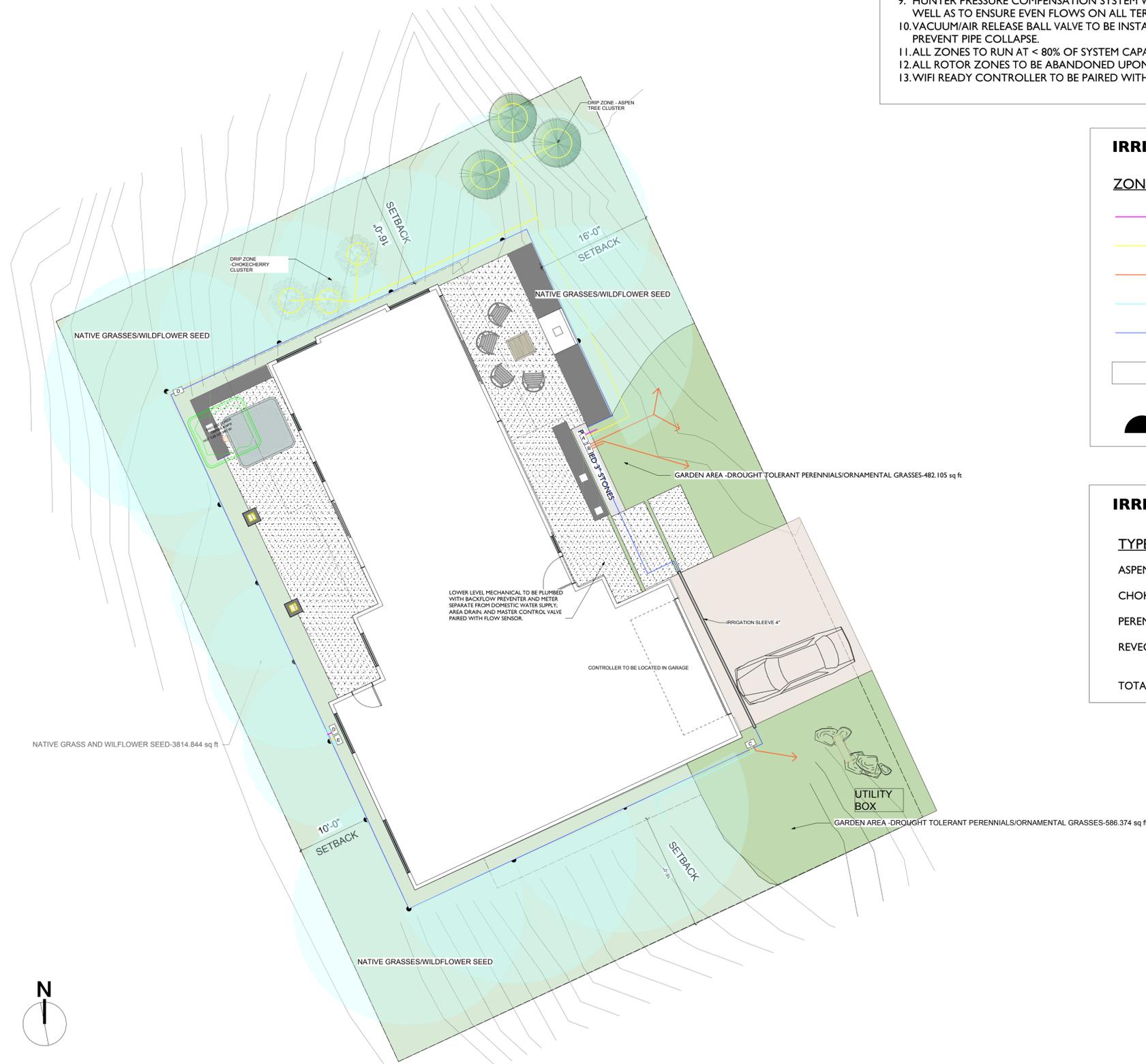
- ANNUALS (OPTIONAL)
- DRIP
- GARDEN POP UP
- ROTOR
- MAIN LINE
- VALVE BOX
- 180 ROTOR

**VALVE BOX CONFIGURATION**

- A - ZONE #1; DRIP, ANNUALS AT ENTRY (OPTIONAL)
- ZONE #2; DRIP, NORTH ASPENS
- ZONE #3; ROTOR, REVEG EAST AND NORTH/EAST
- B - ZONE #4; POP UP; ENTRY GARDEN AREA, NORTH
- ZONE #5; POP UP; ENTRY GARDEN AREA, NORTH
- ZONE #6; NOT DESIGNATED
- C - ZONE #7; POP UP; SOUTH EAST GARDEN AREA
- ZONE #8; DRIP; CHOKECHERRY SHRUBS
- ZONE #9; ROTOR; SOUTH REVEG
- D - ZONE #10; ROTOR, SOUTHWEST REVEG
- ZONE #11; ROTOR, WEST REVEG
- ZONE #12; DRIP, ANNUALS NEAR SPA (OPTIONAL)
- E - ZONE #13; NOT DESIGNATED
- ZONE #14; NORTH WEST REVEG
- ZONE #15; NORTH REVEG

**IRRIGATION USE CHART**

TYPE AND SIZE OF PLANT	QTY	GAL/MO	TOTAL
ASPEN TREES (3" CA)	3	30.84	93
CHOKECHERRY SHRUBS (b&b)	3	15.09	45
PERENNIAL BEDS	1,069 SF	1.68	1,798
REVEG ZONES	3,815 SF	2.0 / SF	7,630
<b>TOTAL WATER USE PER MONTH IN GALLONS</b>			<b>9,566</b>



IRRIGATION PLAN  
Scale: 1/8" = 1'-0"

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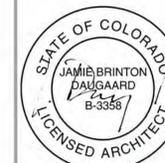
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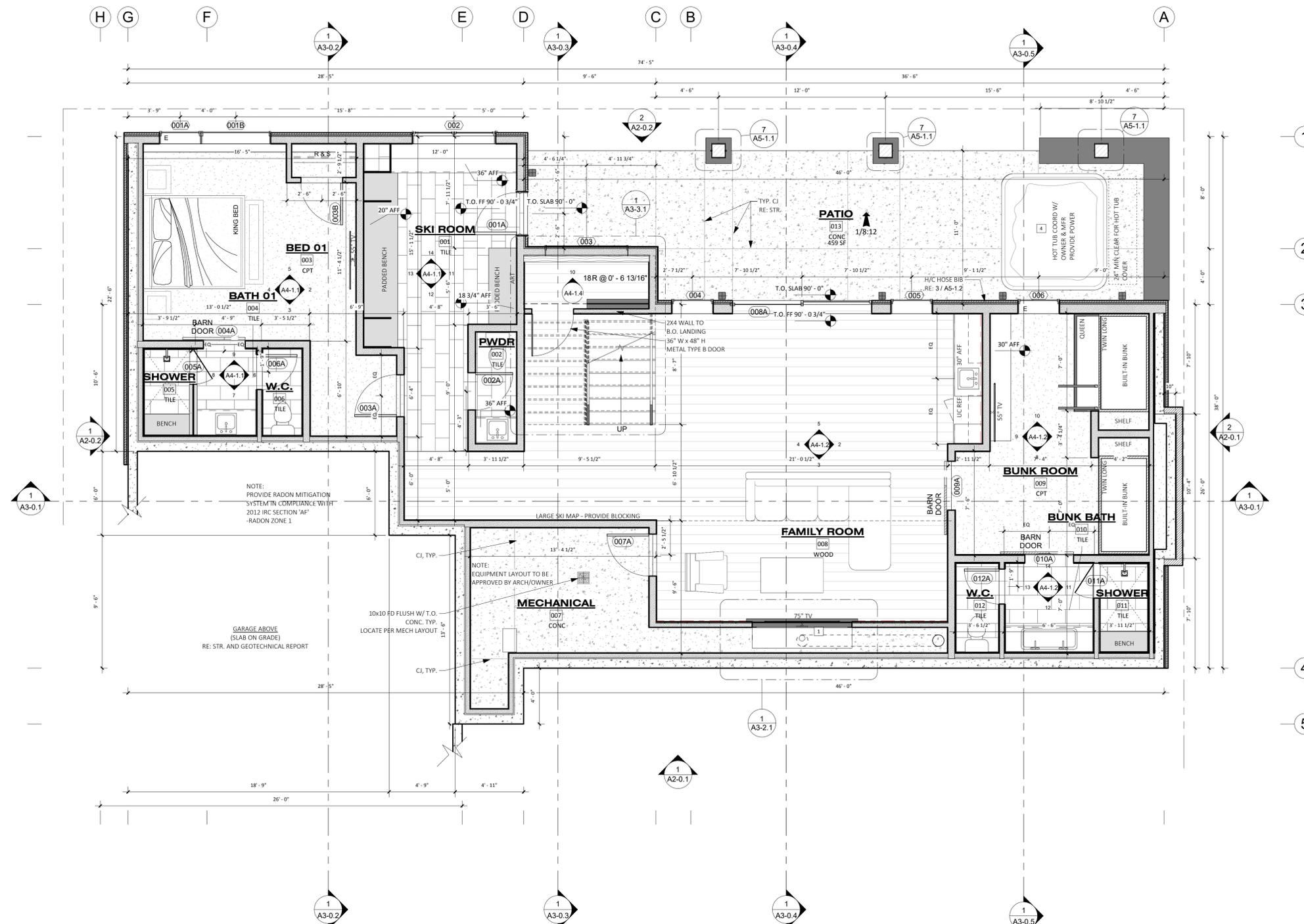
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* PHASE 2	-
* REV. #	-

Drawn By S. DAGOSTINO  
Date 08/23/2018  
Project # 1808.00  
Phase CD  
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**A1-1.0**  
LOWER LEVEL PLAN



**KEY NOTE LEGEND**

- GAS FIREPLACE, HEAT & GLO, MEZZO 72", LOFT FORGE FRONT
- GAS FIREPLACE, HEAT & GLO, MEZZO 72", LOFT FORGE FRONT
- CFBL210 LINEAR CROSSFIRE BRASS BURNER BY WARMING TRENDS
- HOT TUB TUB

**PROJECT SQUARE FOOTAGE**

	LOWER LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL
LIVABLE	1,846 SF	1,964 SF	1,332 SF	5,142 SF
MECHANICAL	160 SF	NA	NA	160 SF
GARAGE	NA	676 SF	NA	676 SF
<b>TOTAL</b>	<b>2,006 GSF</b>	<b>2,640 GSF</b>	<b>1,332 GSF</b>	<b>5,978 GSF</b>
M. BED 02 PATIO	NA	NA	248 SF	248 SF
M. BED 03 PATIO	NA	NA	213 SF	213 SF
GREAT ROOM DECK	NA	437 SF	NA	437 SF
ENTRY PATIO	NA	483 SF	NA	483 SF
LOWER LEVEL PATIO	468 SF	NA	NA	468 SF
<b>TOTAL</b>	<b>468 SF</b>	<b>920 SF</b>	<b>461 SF</b>	<b>3,849 GSF</b>

**WALL & COLUMN LEGEND**

- ARCHITECTURAL WALL
- CONVENTIONAL WOOD FRAMING - STANDARD THICKNESS 2x6 U.N.O.
- CONCRETE WALL - STANDARD THICKNESS 8" U.N.O.
- STONE MASONRY TYPE 'A' - STANDARD THICKNESS OF 1 1/2" U.N.O.
- INDICATES COLUMN. VERIFY SIZE AND TYPE WITH STRUCTURAL DRAWINGS TYP.

**GENERAL NOTES:**

- ALL DIMENSIONS ARE TO FRAMING UNLESS NOTED OTHERWISE.
- ALL WOOD-FRAMED FLOORS TO RECEIVE 1 1/2" L.W. GYPSUM CONCRETE LAYER WITH EMBEDDED RADIANT HEAT TUBING U.N.O. ALL CONC. SLAB FLOORING SHALL HAVE IMBEDDED RADIANT HEAT TUBING U.N.O., REFERENCE MECHANICAL CONTRACTOR FOR FURTHER INFORMATION.
- CENTER ALL DOORS ABOUT WALL OR SPACE UNLESS INDICATED OTHERWISE.
- ALL BARN DOOR OPENINGS SHALL BE GWB CASED OPENINGS AND SHALL HAVE A CLEAR OPENING 2" LESS THAT OF THE DOOR PANEL WIDTH (TYP. U.N.O.)
- THE GENERAL CONTRACTOR AND/OR WINDOW MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR ENSURING THAT SAFETY GLASS IS PROVIDED WHERE APPLICABLE IN ACCORDANCE WITH 2012 IRC SECTION R308.4
- RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS. (TYP)
- ANY AND ALL POST AND BEAM SIZES SHALL BE CROSS CHECKED WITH STRUCTURAL DRAWINGS, NOTIFY ARCHITECT OF ANY DISCREPANCIES. (TYP)
- WATER SUPPLY (W.S.) TO BE LOCATED ON NON-VISIBLE SIDE OF TOILET (TYP)
- MATERIAL TRANSITION TO FALL BELOW DOOR LEAF (TYP)

TRUE NORTH  
PLAN NORTH  
**1** LOWER LEVEL PLAN  
1/4" = 1'-0"

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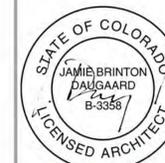
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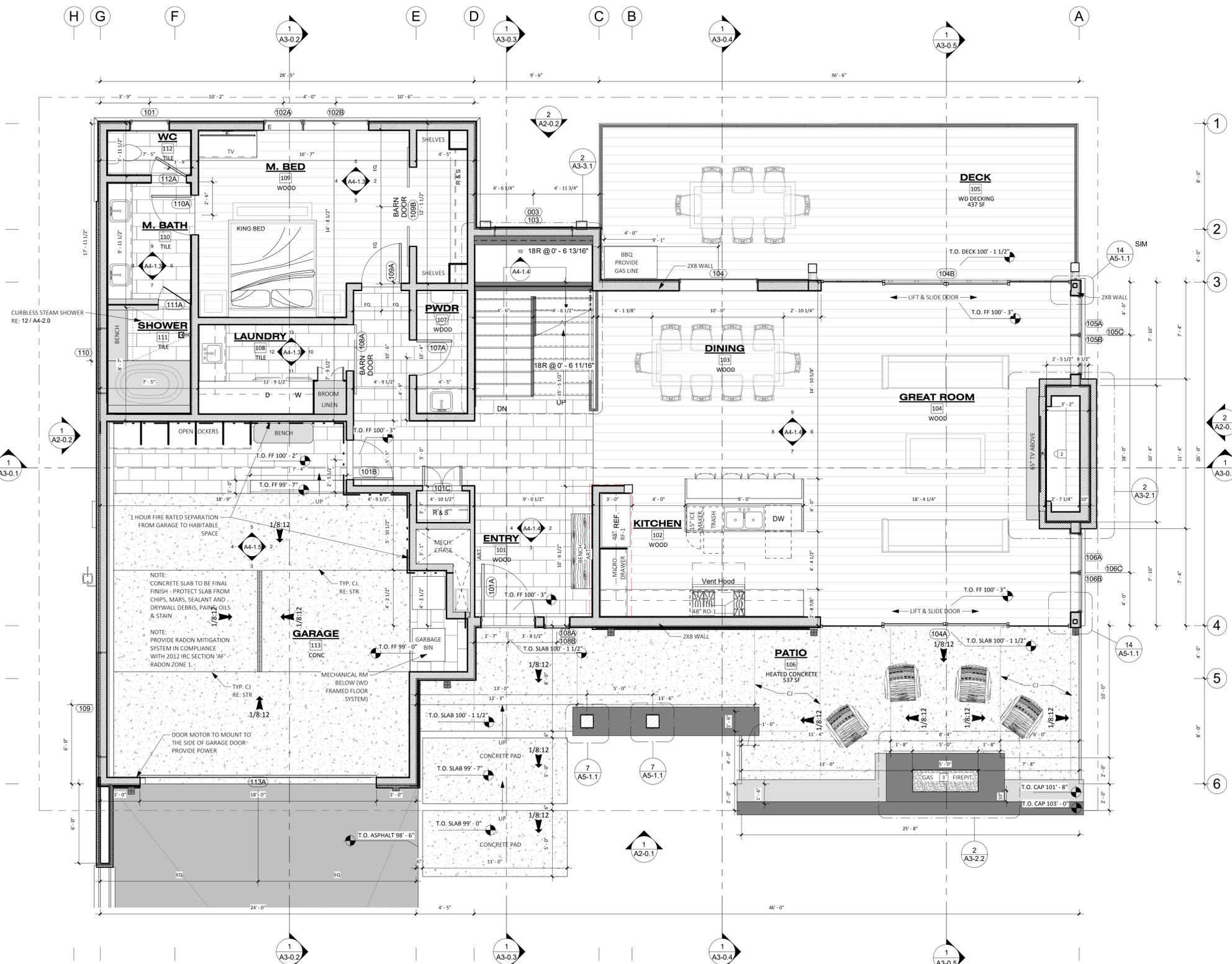
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**A1-1.1**  
MAIN LEVEL PLAN



CURBLESS STEAM SHOWER  
RE: 12/A4-2.0

NOTE:  
CONCRETE SLAB TO BE FINAL  
FINISH - PROTECT SLAB FROM  
CHIPS, MARKS, SEALANT AND  
DRYWALL DEBRIS, PAINTS, OILS  
& STAIN

NOTE:  
PROVIDE RADON MITIGATION  
SYSTEM IN COMPLIANCE  
WITH 2012 IRC SECTION 'AF'  
RADON ZONE 1.

**KEY NOTE LEGEND**

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  - MATERIAL TRANSITION TO FALL BELOW DOOR LEAF (TYP)

**1 MAIN LEVEL PLAN**  
1/4" = 1'-0"



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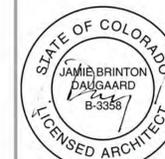
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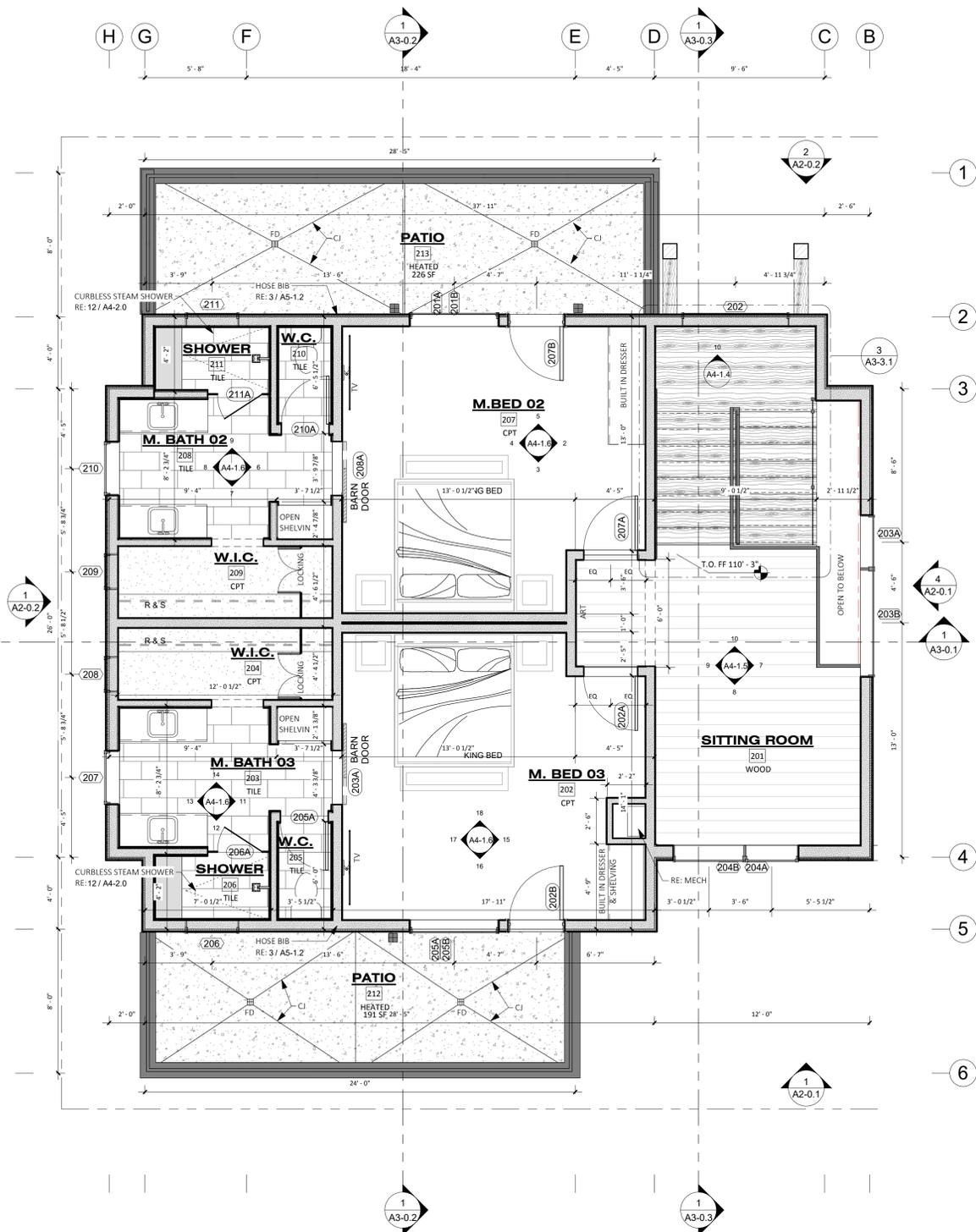
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Drawn By S. DAGOSTINO  
Date 08/23/2018  
Project # 1808.00  
Phase CD  
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**A1-1.2**  
UPPER LEVEL PLAN



**PROJECT SQUARE FOOTAGE**

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MECHANICAL	160 SF	NA	NA	160 SF
GARAGE	NA	676 SF	NA	676 SF
<b>TOTAL</b>	<b>2,006 GSF</b>	<b>2,640 GSF</b>	<b>1,332 GSF</b>	<b>5,978 GSF</b>
M. BED 02 PATIO	NA	NA	248 SF	248 SF
M. BED 03 PATIO	NA	NA	213 SF	213 SF
GREAT ROOM DECK	NA	437 SF	NA	437 SF
ENTRY PATIO	NA	483 SF	NA	483 SF
LOWER LEVEL PATIO	468 SF	NA	NA	468 SF
<b>TOTAL</b>	<b>468 SF</b>	<b>920 SF</b>	<b>461 SF</b>	<b>1,849 GSF</b>

- KEY NOTE LEGEND**
- GAS FIREPLACE, HEAT & GLO, MEZZO 72", LOFT FORGE FRONT
  - GAS FIREPLACE, HEAT & GLO, MEZZO 72", LOFT FORGE FRONT
  - CFBL210 LINEAR CROSSFIRE BRASS BURNER BY WARMING TRENDS
  - HOT TUB TBD

**WALL & COLUMN LEGEND**

	ARCHITECTURAL WALL
	CONVENTIONAL WOOD FRAMING - STANDARD THICKNESS 2x6 U.N.O.
	CONCRETE WALL - STANDARD THICKNESS 8" U.N.O.
	STONE MASONRY TYPE 'A' - STANDARD THICKNESS OF 1 1/2" U.N.O.
	INDICATES COLUMN. VERIFY SIZE AND TYPE WITH STRUCTURAL DRAWINGS TYP.

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FRAMING UNLESS NOTED OTHERWISE.
  - ALL WOOD FRAMED FLOORS TO RECEIVE 1 1/2" L.W. GYPSUM CONCRETE LAYER WITH EMBEDDED RADIANT HEAT TUBING U.N.O. ALL CONC. SLAB FLOORING SHALL HAVE IMBEDDED RADIANT HEAT TUBING U.N.O. - REFERENCE MECHANICAL CONTRACTOR FOR FURTHER INFORMATION.
  - CENTER ALL DOORS ABOUT WALL OR SPACE UNLESS INDICATED OTHERWISE.
  - ALL BARN DOOR OPENINGS SHALL BE GWB CASED OPENINGS AND SHALL HAVE A CLEAR OPENING 2" LESS THAT OF THE DOOR PANEL WIDTH (TYP, U.N.O.)
  - THE GENERAL CONTRACTOR AND/OR WINDOW MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR ENSURING THAT SAFETY GLASS IS PROVIDED WHERE APPLICABLE IN ACCORDANCE WITH 2012 IRC SECTION R308.4
  - RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS. (TYP)
  - ANY AND ALL POST AND BEAM SIZES SHALL BE CROSS CHECKED WITH STRUCTURAL DRAWINGS, NOTIFY ARCHITECT OF ANY DISCREPANCIES. (TYP)
  - WATER SUPPLY (W.S.) TO BE LOCATED ON NON-VISIBLE SIDE OF TOILET (TYP)
  - MATERIAL TRANSITION TO FALL BELOW DOOR LEAF (TYP)

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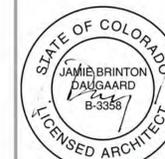
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CORTINA LOT 11  
MOUNTAIN VILLAGE, CO 81435

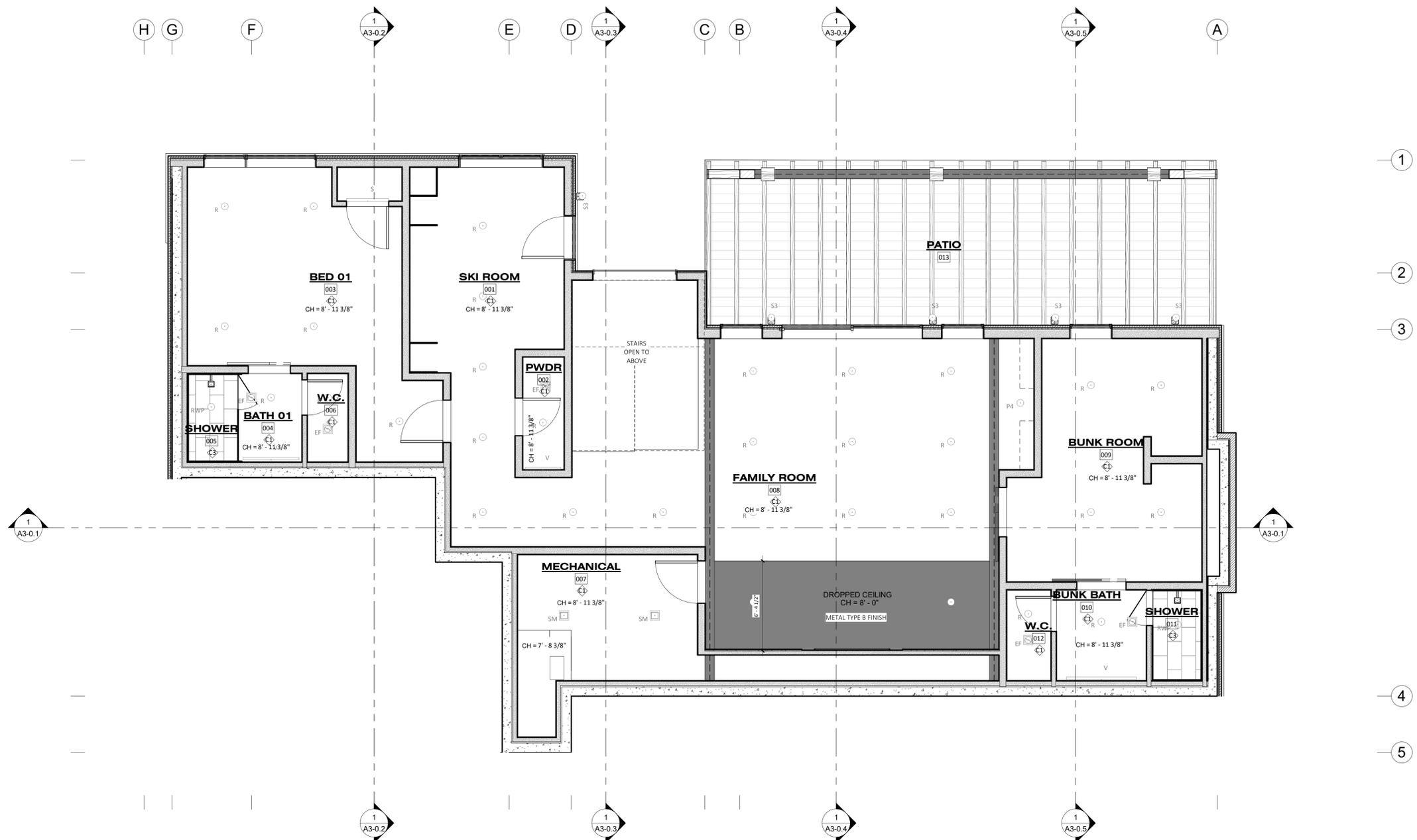
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**A1-2.0**  
LOWER LEVEL RCP



BEAM LEGEND	
	_X_ (STR.) - INDICATES STRUCTURAL TIMBER/GLU LAM BEAM, VERIFY WITH STRUCTURAL DRAWINGS (TYP.)
	_X_ INDICATES ARCHITECTURAL BEAM OR TRUSS.
<b>NOTE:</b>	
- ALL TIMBER TRUSSES, RIDGE BEAMS AND PURLIN BEAMS, SHALL BE ASSUMED AS WOOD TYPE 'A' U.N.O.	
- ALL EXPOSED GLU LAM (G.L.) BEAMS SHALL BE ASSUMED AS G.L. TYPE 'A' U.N.O.	
- SEE GENERAL NOTES SHEET A0-0.2 FOR MATERIAL TYPE DEFINITIONS.	

CEILING MATERIALS LEGEND	
<b>NOTE:</b> REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIALS AND INSTALLATION REQUIREMENTS	
	CEILING FINISH - PAINT 5/8" GWB TYPE 'X' WITH PAINTED FINISH REFERENCE INTERIOR FINISH SPECIFICATIONS FOR COLOR, (TYP.)
	SOFFIT FINISH - WOOD 1x8 WIRE BRUSHED SPRUCE SHIP LAP STAIN: TBD MFR: VINTAGE RE:
	CEILING FINISH - TILE COORDINATE TYPE AND LAYOUT WITH ID, (TYP.)

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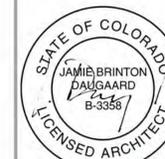
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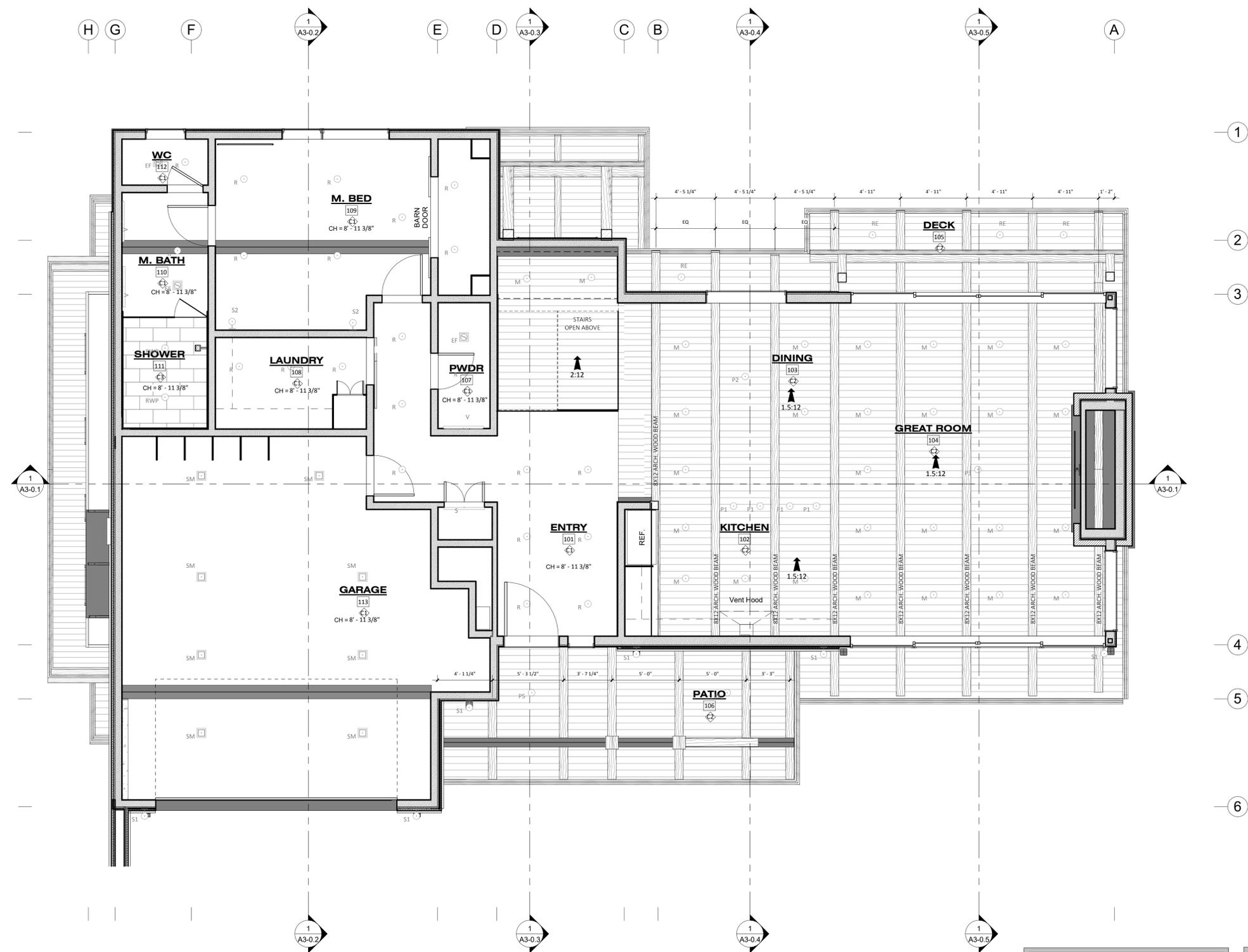
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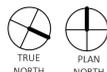
**A1-2.1**  
MAIN LEVEL RCP



BEAM LEGEND	
	_X_ (STR.) - INDICATES STRUCTURAL TIMBER/GLU LAM BEAM, VERIFY WITH STRUCTURAL DRAWINGS (TYP.)
	_X_ INDICATES ARCHITECTURAL BEAM OR TRUSS.
<b>NOTE:</b>	
- ALL TIMBER TRUSSES, RIDGE BEAMS AND PURLIN BEAMS, SHALL BE ASSUMED AS WOOD TYPE 'A' U.N.O.	
- ALL EXPOSED GLU LAM (G.L.) BEAMS SHALL BE ASSUMED AS G.L. TYPE 'A' U.N.O.	
- SEE GENERAL NOTES SHEET A0-0.2 FOR MATERIAL TYPE DEFINITIONS.	

CEILING MATERIALS LEGEND	
<b>NOTE:</b>	
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIALS AND INSTALLATION REQUIREMENTS	
	CEILING FINISH - PAINT 5/8" GWB TYPE 'X' WITH PAINTED FINISH REFERENCE INTERIOR FINISH SPECIFICATIONS FOR COLOR, (TYP.)
	SOFFIT FINISH - WOOD 1x8 WIRE BRUSHED SPRUCE SHIP LAP STAIN: TBD MFR: VINTAGE RE:
	CEILING FINISH - TILE COORDINATE TYPE AND LAYOUT WITH ID, (TYP.)

**1** MAIN LEVEL RCP  
1/4" = 1'-0"



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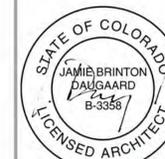
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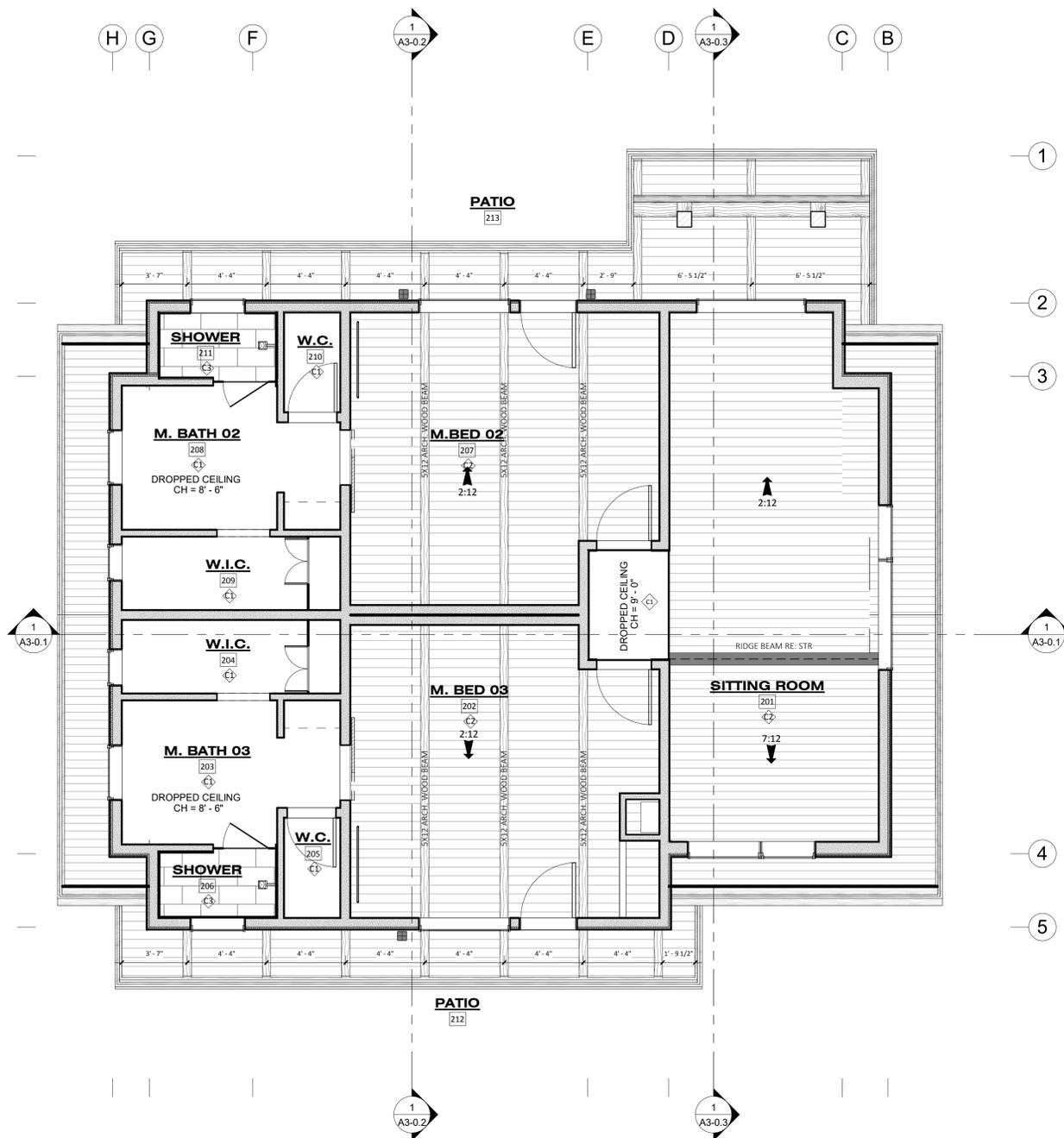
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**A1-2.2**  
UPPER LEVEL RCP



**BEAM LEGEND**

— X (STR) — INDICATES STRUCTURAL TIMBER/GLU LAM BEAM, VERIFY WITH STRUCTURAL DRAWINGS (TYP.)

— X — INDICATES ARCHITECTURAL BEAM OR TRUSS.

**NOTE:**

- ALL TIMBER TRUSSES, RIDGE BEAMS AND PURLIN BEAMS, SHALL BE ASSUMED AS WOOD TYPE 'A' U.N.O.
- ALL EXPOSED GLU LAM (G.L.) BEAMS SHALL BE ASSUMED AS G.L. TYPE 'A' U.N.O.
- SEE GENERAL NOTES SHEET AD-0.2 FOR MATERIAL TYPE DEFINITIONS.

**CEILING MATERIALS LEGEND**

**NOTE:**  
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIALS AND INSTALLATION REQUIREMENTS

CEILING FINISH - PAINT  
5/8" GWB TYPE 'X' WITH PAINTED FINISH  
REFERENCE INTERIOR FINISH SPECIFICATIONS FOR COLOR, (TYP.)

SOFFIT FINISH - WOOD  
1x8 WIRE BRUSHED SPRUCE SHIP LAP  
STAIN: TBD  
MFR: VINTAGE  
RE:

CEILING FINISH - TILE  
COORDINATE TYPE AND LAYOUT WITH ID, (TYP.)

TRUE NORTH  
PLAN NORTH  
**1** UPPER LEVEL RCP  
1/4" = 1'-0"

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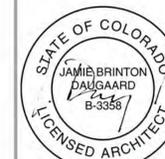
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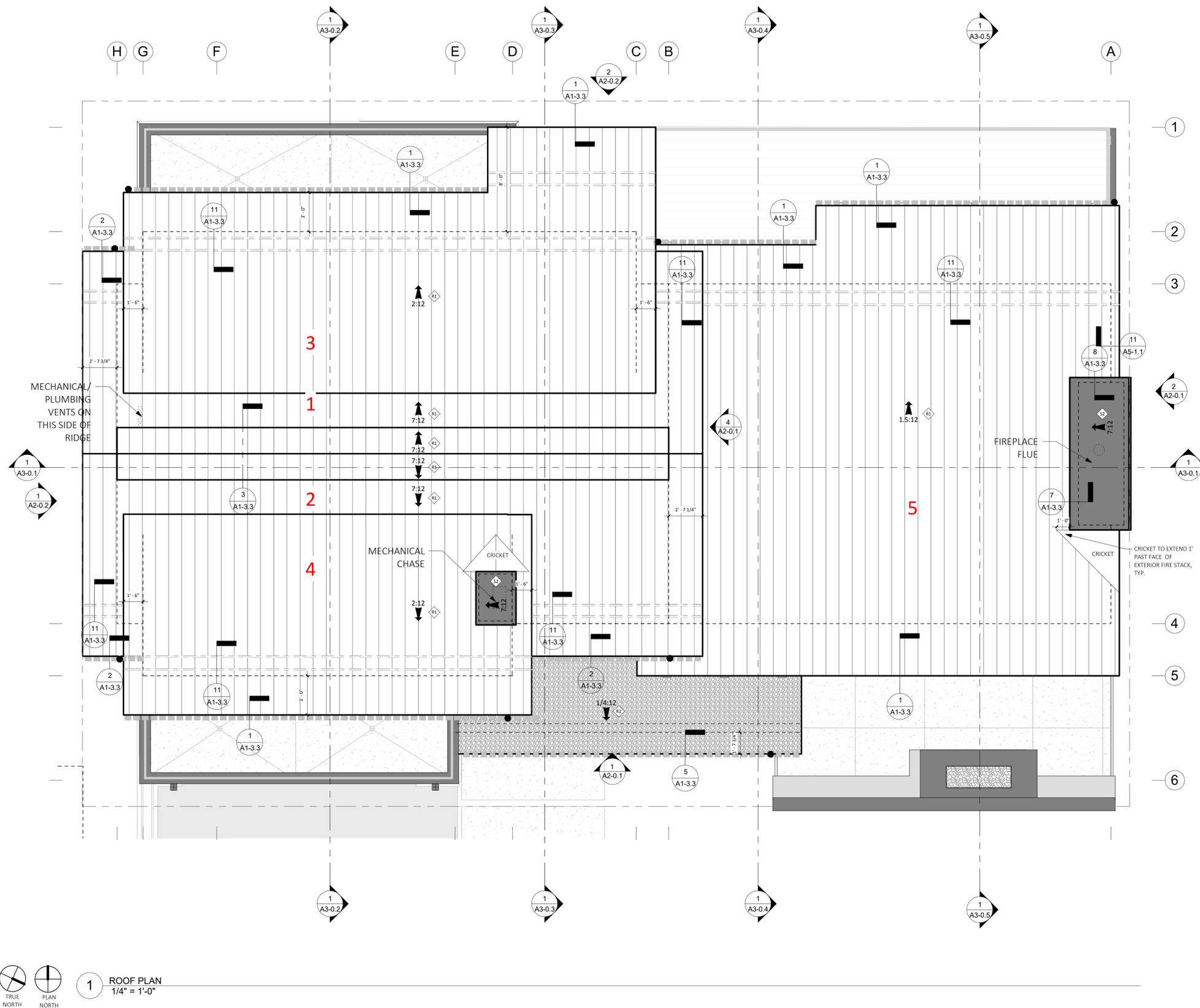
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**A1-3.1**  
ROOF PLAN



**ROOF MATERIALS LEGEND**

**NOTE:**  
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

**METAL ROOFING:**  
COLD ROLLED RUSTED METAL, 2" MECH. SEAM, 18" RIB SPACING  
COLOR: NATURAL RUST  
MFR: TBD  
RE: 4 / A1-3.3

**BALLAST ROOFING:**  
TPO ROOF W/RANDOM 1" TO 3" RIVER ROCK BALLAST, COLOR: DARK BRONZE  
THICKNESS: 60 MIL, RHINO BOND ATTACHMENT SYSTEM

--- SNOW BREAK  
NOTE: THIS IS A GRAPHIC REPRESENTATION ONLY, FINAL QUANTITY & LOCATION IS TO BE DETERMINED BY ROOFER & G.C.

● METAL TYPE A, SEAMLESS 6" SQUARE, GUTTERS W/ DOWNSPOUT AS INDICATED. PROVIDE ELEC. HEAT TAPE, TYP. PROVIDE DEBRIS SCREEN AT ALL TRANSITIONS TO DOWNSPOUT, TYP.  
RE: 9 / A1-3.3

**1** ROOF PLANE

**CRICKET DIMENSION TABLE**

ROOF SLOPE	H
12 : 12	1/2 OF W
8 : 12	1/3 OF W
6 : 12	1/4 OF W
4 : 12	1/6 OF W
3 : 12	1/8 OF W

- ROOF PLAN GENERAL NOTES**
- ALL ROOFS TO ACHIEVE A CLASS 'A' FIRE RATING BY INSTALLING REQUIRED ROOFING UNDERLAYMENT AT ALL LOCATIONS WHERE PRIMARY ROOF MATERIAL DOES NOT ACHIEVE CLASS 'A' RATING. GC TO VERIFY COMPLIANCE, TYP.
  - IT IS RECOMMENDED THAT ALL ROOFS RECEIVE BUILD-UP FOR VENTILATED DOUBLE COLD ROOF, COVER BASE LAYER AND TOP LAYER OF PWD WITH SINGLE LAYER OF SELF-ADHERING UNDERLAYMENT AS SPECIFIED. RE: PROJECT SPECIFICATIONS.
  - ALL RAKE AND EAVE DIMENSIONS TO BE HORIZONTAL DIMENSIONS, NOT ALONG THE PITCH.
  - COORDINATE LAYOUT OF ROOF FRAMING WITH EXPOSED RAFTERS WHERE APPLICABLE, SEE REFLECTED CEILING PLAN FOR LOCATIONS, (TYP.)
  - PROVIDE ELEC. ROUGH IN FOR HEAT TAPE IN ALL VALLEYS, RE: ELEC. FOR FURTHER DETAIL.
  - VERIFY ALL GUTTER & DOWNSPOUT LOCATIONS AND TYPES WITH ARCHITECT PRIOR TO INSTALLATION.
  - LIGHTNING PROTECTION IS RECOMMENDED, REFER TO MANUFACTURER FOR LIGHTNING ROD AND GROUND ROD LOCATIONS AS IMPLEMENTED.
  - PROVIDE ELECTRICAL HEAT TAPE AT ALL HARD PIPED GUTTERS & DOWNSPOUTS (TYP.)
  - ALL ROOF PENETRATION LOCATIONS INCLUDING, BUT NOT LIMITED TO; FLUES, VENTILATION PIPES AND STACKS SHALL BE SUBMITTED TO ARCHITECT AND ROOFING MFR. FOR REVIEW. (NOTE: NOT ALL ROOF PENETRATIONS MAY BE SHOWN ON PLAN)
  - OVERTER FLASHING SHALL BE INSTALLED WHERE A LOWER SLOPED ROOF TERMINATES AGAINST A VERTICAL WALL, CHIMNEY CHASE, OR FRAMED COLUMN.
  - FLASHING AT PLUMBING VENTS TO MATCH ROOF MATERIAL, RE10 / A1-3.3
- METAL ROOFS:** INSTALL SLIP SHEET AS SPECIFIED ON TOP OF SINGLE LAYER 'MIRADRI' HIGH TEMP ICE & WATER UNDERLAYMENT. DUAL LAYER TO EXTEND 6" UP FROM BOTTOM ON LOW SLOPE ROOFS, COVER ALL PWD SHEATHING WHERE METAL ROOF IS LOCATED. LAP OVER HIPS, RIDGES, AND THROUGH VALLEYS, TYP. UNDERLAYMENT SHALL BE LAPPED 6" VERTICALLY (END OR SIDE LAP) AND 2" HORIZONTALLY (HEAD LAP).
- NOTE:** ALL VALLEYS TO RECEIVE METAL TYPE 'A' W-VALLEY METAL OVER TOP SLIP SHEET AS SPECIFIED 6" EXPOSED VALLEY METAL EACH SIDE, TYP.

**1** ROOF PLAN  
1/4" = 1'-0"

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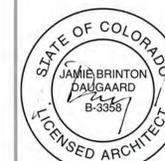
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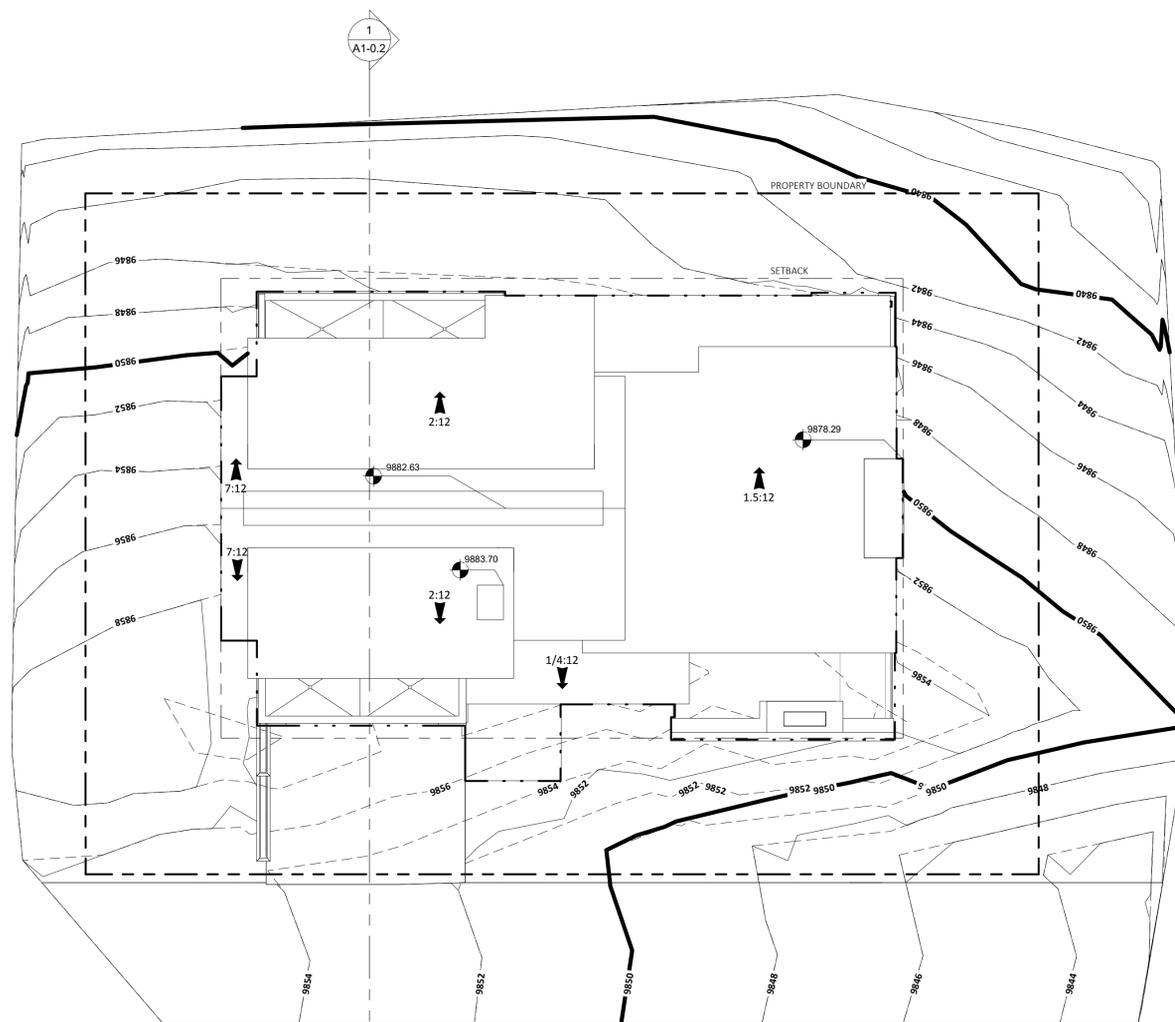
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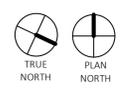
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**A1-3.2**  
ROOF PLAN & TOPO  
SURVEY



1 SITE PLAN  
1" = 10'-0"



**LOT COVERAGE - MOUNTAIN VILLAGE DEFINITION**

LOT COVERAGE: THE CALCULATION OF THE TOTAL HORIZONTAL AREA OF ANY BUILDING, CARPORT, PORTE-COCHERE, OR ARCADE AND SHALL ALSO INCLUDE WALKWAYS, ROOF OVERHANGS, EAVES, EXTERIOR STAIRS, DECKS, COVERED PORCH, TERRACES AND PATIOS. SUCH HORIZONTAL MEASUREMENT SHALL BE FROM THE BUILDING DRIP LINES AND FROM THE EXTERIOR SURFACE OF THE TOTAL WALL ASSEMBLY, WHICHEVER IS MORE RESTRICTIVE.

--- LOT COVERAGE = 4,052 SF  
- - - LOT SIZE = 9,000 SF  
- - - LOT COVERAGE = 45%

MAXIMUM LOT COVERAGE ALLOWED = 65%

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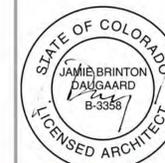
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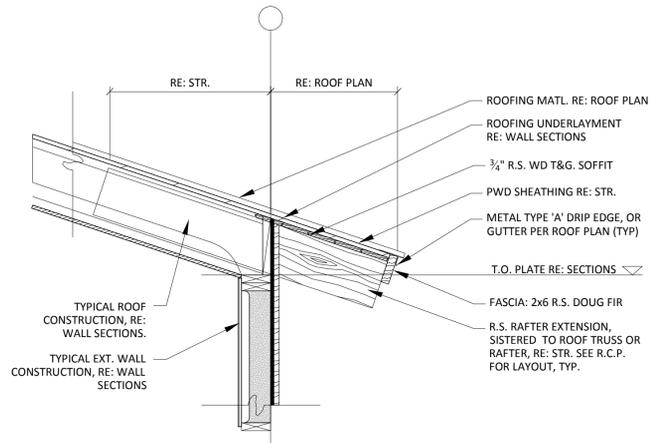
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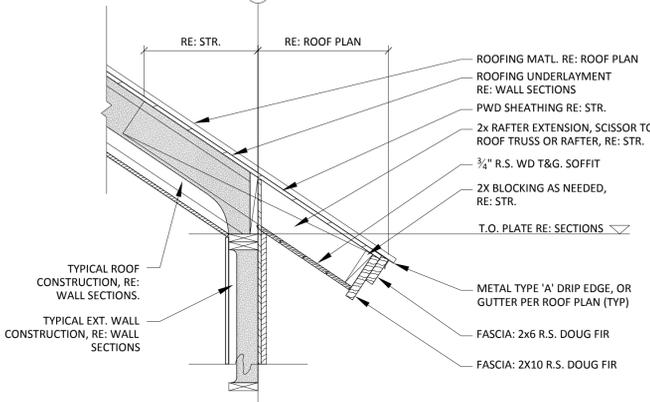
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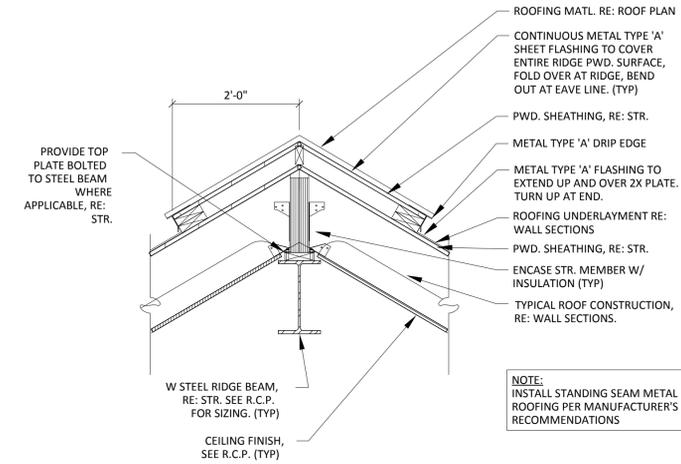
**A1-3.3**  
ROOF DETAILS



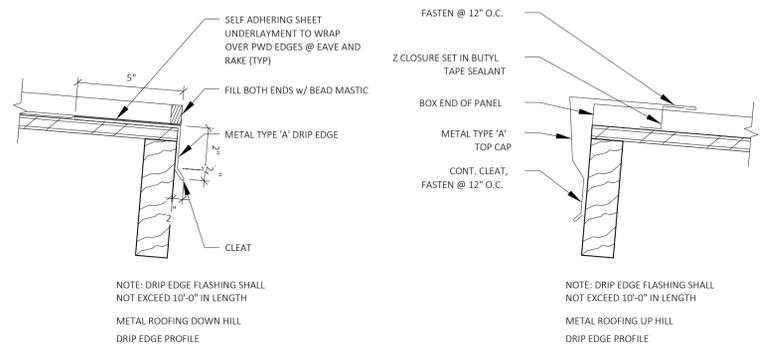
**1** EAVE DETAIL W/ EXPOSED RAFTER DETAIL  
3/4" = 1'-0"



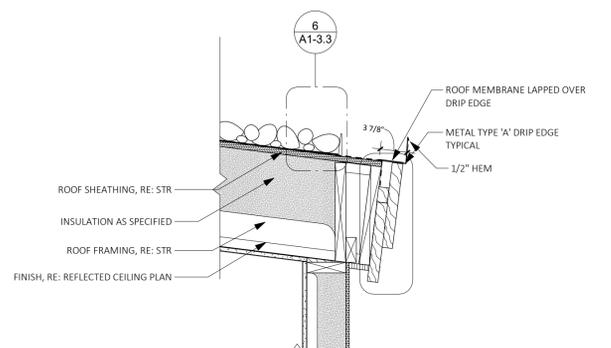
**2** EAVE DETAIL @ STICK FRAMED ROOF  
3/4" = 1'-0"



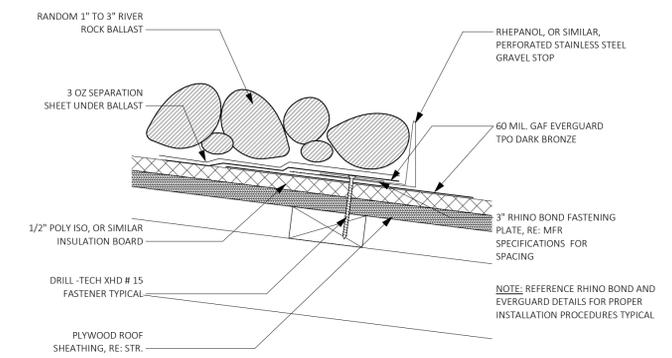
**3** RIDGE DETAIL W/ STICK FRAME  
3/4" = 1'-0"



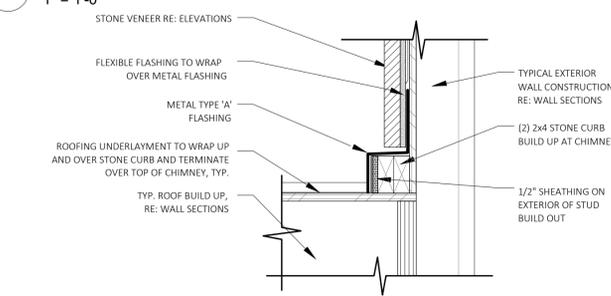
**4** METAL TYPE A DRIP EDGE PROFILES  
3" = 1'-0"



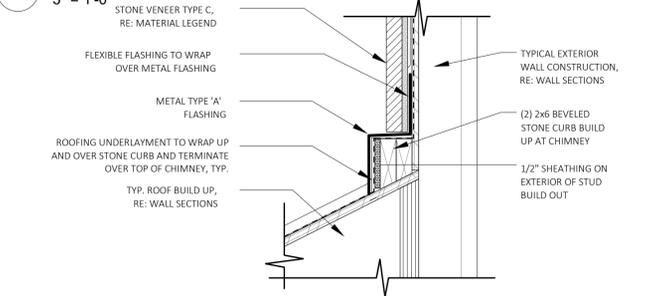
**5** BALLASTED SLOPED ROOF  
1" = 1'-0"



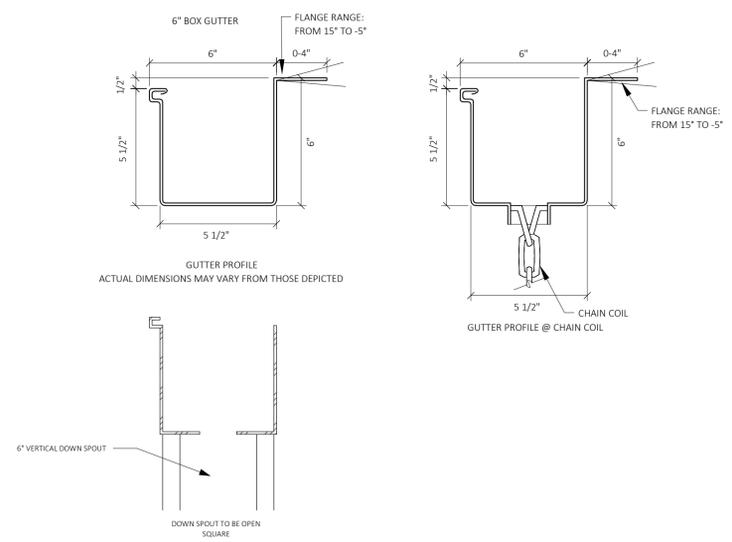
**6** BALLASTED ROOF BUILD UP @ GRAVEL STOP  
3" = 1'-0"



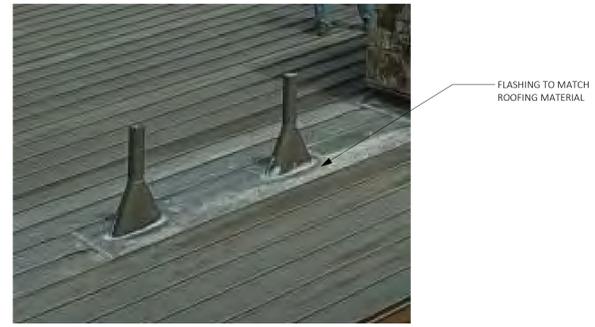
**7** STONE CURB AT RAKE SIDE WALLS OF CHIMNEY  
1 1/2" = 1'-0"



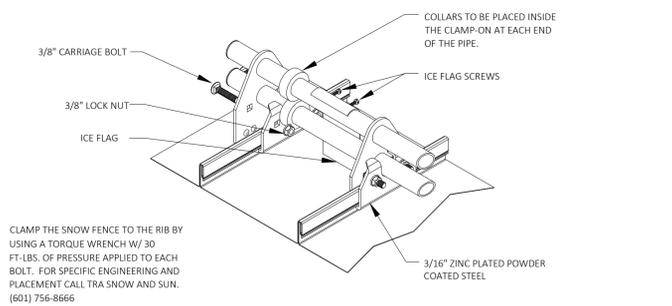
**8** STONE CURB AT GABLE SIDE WALLS OF CHIMNEY  
1 1/2" = 1'-0"



**9** METAL TYPE A GUTTER PROFILES  
3" = 1'-0"



**10** FLASHING @ PLUMBING VENTS  
3" = 1'-0"



**11** SNOW GUARD DETAIL - METAL ROOFING  
1 1/2" = 1'-0"

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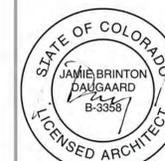
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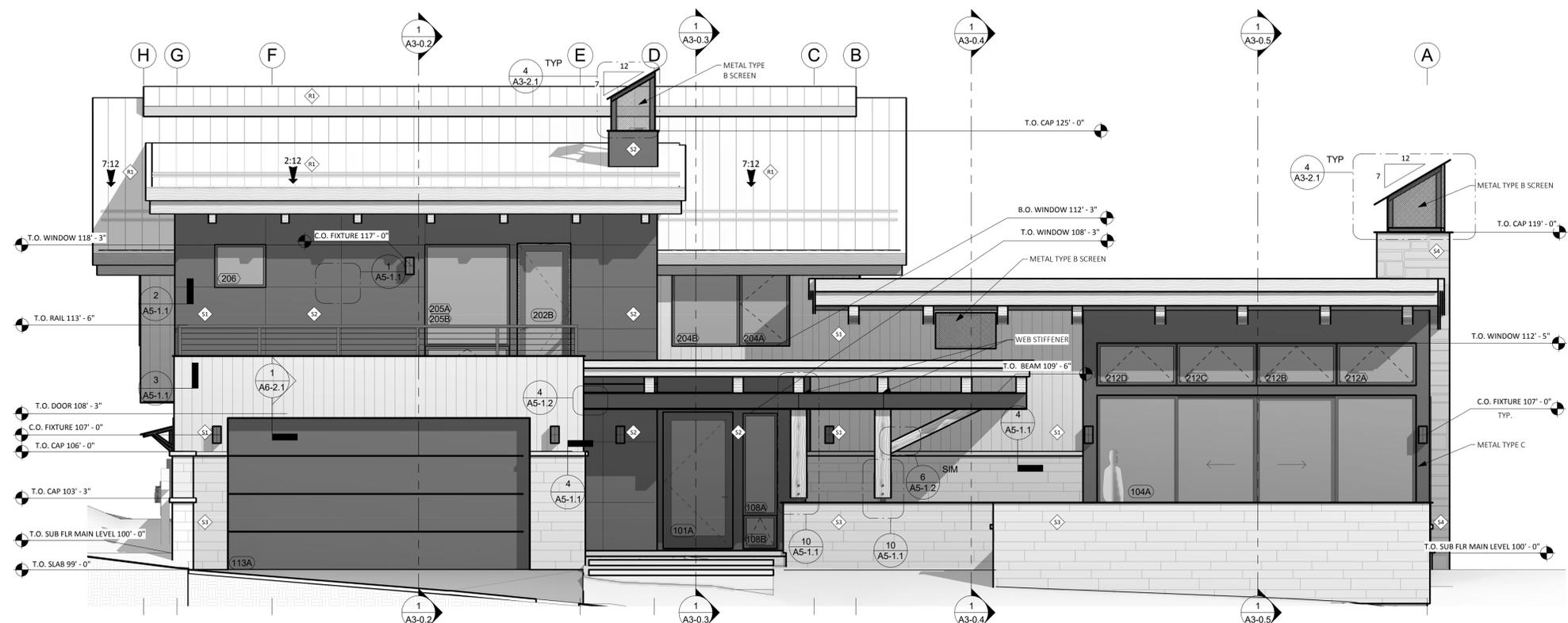


Issued For	Date
* 100% S.D.	06/28/2018
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* 100% D.D.	08/02/2018
* ARC Final Review	08/23/2018
* 100% C.D.	-
* PHASE 2	-
* REV. #	-

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Date 08/23/2018  
Project # 1808.00  
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**A2-0.1**

EXTERIOR  
ELEVATIONS



1 EAST  
1/4" = 1'-0"

**EXTERIOR MATERIALS LEGEND**

NOTE: REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

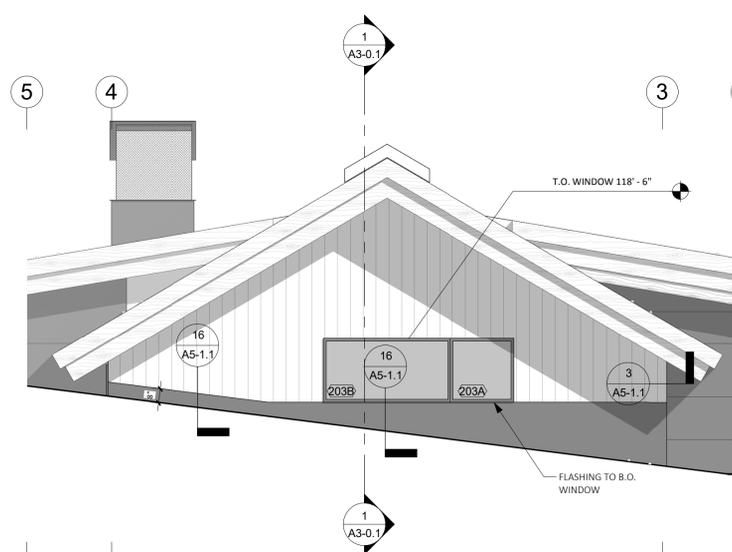
	<b>METAL ROOFING</b> COLD ROLLED RUSTED METAL, 2" MECH. SEAM, 18" RIB SPACING COLOR: NATURAL RUST MFR: TBD RE: 4 / A1-3.3
	<b>BALLAST ROOFING</b> TPO ROOF W/RANDOM 1" TO 3" RIVER ROCK BALLAST, COLOR: DARK BRONZE THICKNESS: 60 MIL, RHINO BOND ATTACHMENT SYSTEM
	<b>VERTICAL WOOD SIDING</b> 1X8 WD VERTICAL SHIP LAP COLOR: MEDIUM GREY MFR: VINTAGE WOODS
	<b>STEEL SIDING</b> METAL TYPE B PATINATED STEEL SIDING PANELS, 1/8" W/EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING PATINA: VARIOUS BLACK MFR: VINTAGE WOOD RE:
	<b>STONE MASONRY VENEER</b> 1 1/2" THICK STONE CURATORS: GRAY QUARTZITE PLANK LAYUP: RE: 3 / A0-0.2
	<b>STONE MASONRY</b> 6" THICK STONE CURATORS: GRAY QUARTZITE LAYUP: RE: 4 / A0-0.2

**EXTERIOR MATERIAL QUANTITIES**

MATERIAL	ELEVATION (SF/%)				
	NORTH	EAST	SOUTH	WEST	TOTAL
STONE	596/44.7	338/23.9	495/43.9	610/31.5	2,039/35.1
METAL	235/17.6	263/18.6	74/6.7	350/18.1	922/15.9
WOOD	337/25.3	320/22.6	512/45.4	434/22.4	1,603/27.6
FENESTRATION	165/12.4	492/34.8	46/4.0	542/28.0	1,245/21.4



2 NORTH  
1/4" = 1'-0"



4 NORTH ELEVATION - HIDDEN  
1/4" = 1'-0"



3 KEY PLAN  
1" = 30'-0"

# CENTRE SKY

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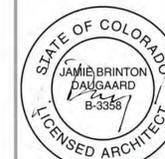
**COLORADO:**  
10125 RANCHO MONTECITO DR.  
PARKER, COLORADO 80138  
P 303.840.0020  
F 303.840.2299

**MONTANA:**  
P.O. BOX 161488  
11 LONE PEAK DR., UNIT 206  
BIG SKY, MONTANA 59716  
P 406.995.7572  
F 406.995.7477

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CORTINA LOT 11  
MOUNTAIN VILLAGE, CO 81435

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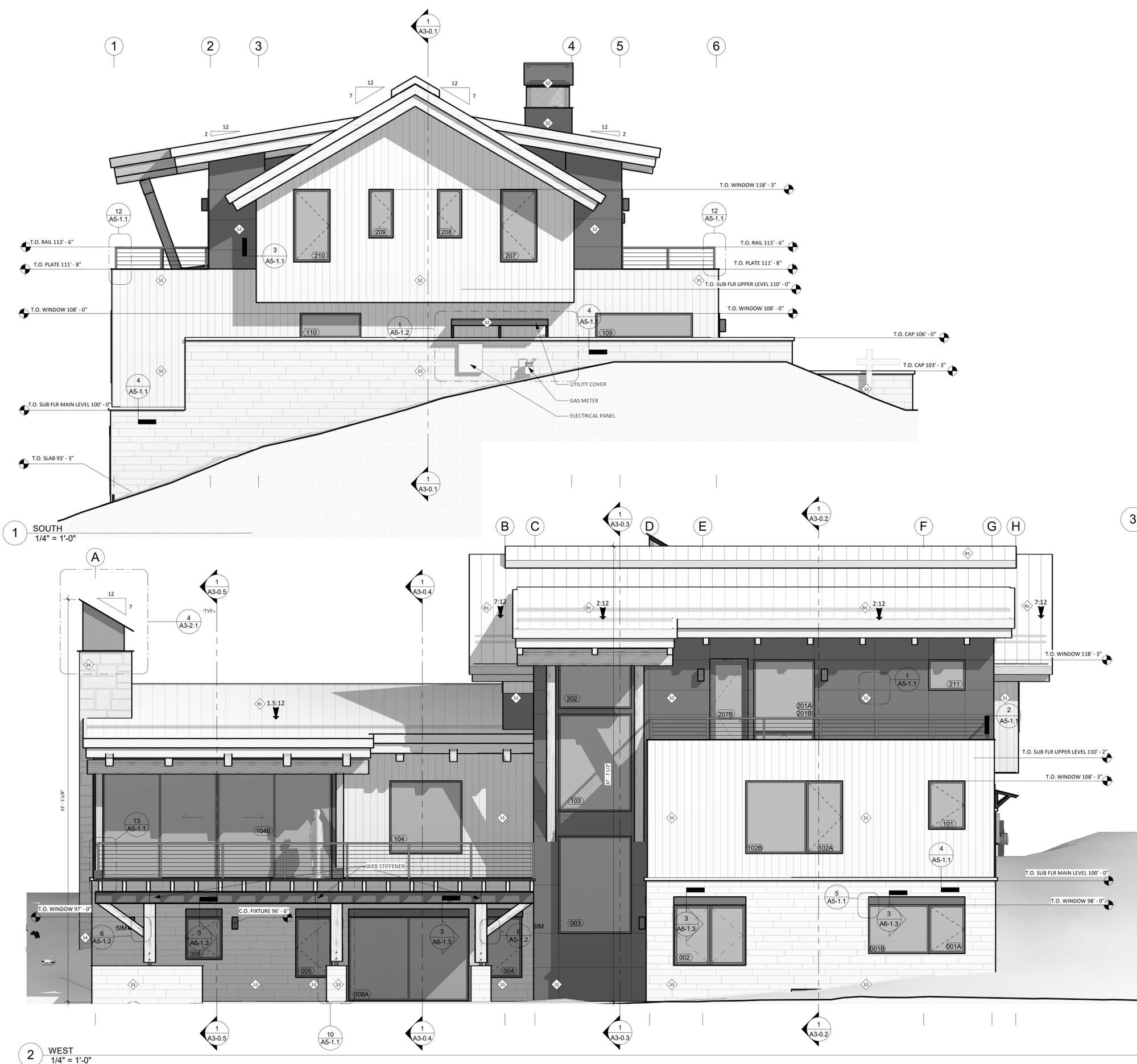


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**A2-0.2**

EXTERIOR  
ELEVATIONS



3 KEY PLAN  
1" = 30'-0"

EXTERIOR MATERIALS LEGEND	
NOTE: REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.	
	<b>METAL ROOFING</b> COLD ROLLED RUSTED METAL, 3" MECH. SEAM, 18" RIB SPACING COLOR: NATURAL RUST MFR: TBD RE: 4 / A1-3.3
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	<b>VERTICAL WOOD SIDING</b> 1X8 WD VERTICAL SHIP LAP COLOR: MEDIUM GREY MFR: VINTAGE WOODS
	<b>STEEL SIDING</b> METAL TYPE B PATINATED STEEL SIDING PANELS, 1/8" W/EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING PATINA: VARIED BLACK MFR: VINTAGE WOOD RE:
	<b>STONE MASONRY VENEER</b> 1-1/2" THICK STONE CURATORS: GRAY QUARTZITE PLANK LAYOUT: RE: 3 / A0-0.2
	<b>STONE MASONRY</b> 6" THICK STONE CURATORS: GRAY QUARTZITE LAYOUT: RE: 4 / A0-0.2

MATERIAL	ELEVATION (SF/%)				TOTAL
	NORTH	EAST	SOUTH	WEST	
STONE	596/44.7	338/23.9	495/43.9	610/31.5	2,039/35.1
METAL	235/17.6	263/18.6	74/6.7	350/18.1	922/15.9
WOOD	337/25.3	320/22.6	512/45.4	434/22.4	1,603/27.6
FENESTRATION	165/12.4	492/34.8	46/4.0	542/28.0	1,245/21.4

## EXTERIOR LIGHT FIXTURES

- ELECTRICAL NOTES:
1. LIGHTING SHALL MEET THE INTENT OF DARK SKY LIGHTING. ALL FIXTURES MUST HAVE FULL CUT-OFF SHIELD WITH NO UPWARD GLARE OR VISIBLE BULB.
  2. LIGHTING SHOULD BE SUBDUED AND LIMITED IN NUMBER OF FIXTURES AND DIRECT LIGHTING SHALL NOT RADIATE OUT OR UP FROM THE PROPERTY.
  3. AREA LIGHTING SHALL HAVE CONCEALED LIGHT SOURCES AND SHALL BE ALL WHITE LIGHTS.
  4. CLEAR OR SEED GLASS IS PROHIBITED. FLOOD, BLINKING, AND MOVING LIGHTS ARE PROHIBITED. TEMPORARY HOLIDAY ORNAMENTAL LIGHTS ARE ALLOWED BUT MAY BE SUBJECT TO REVIEW UPON COMPLAINT OF OBTRUSIVENESS AND SHOULD BE REMOVED OR TURNED OFF ON A SEASONAL BASIS.
  5. ALL EXTERIOR LIGHTS SHALL BE LED OR OTHER EQUIVALENT ENERGY SAVING LIGHTING.

## EXTERIOR WALL PENDANT (P5)



**HINKLEY & R.**

HINKLEY LIGHTING, INC.  
33000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012  
[PH] 440.653.5300 [F] 440.653.5555  
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM

ARIA 2302BK-LED	
BLACK	
WIDTH:	5.3"
HEIGHT:	15.5"
WEIGHT:	2.5 LBS
MATERIAL:	ALUMINUM
CANOPY:	6" DIA.
SOCKET:	15W LED *INCLUDED
DARK SKY:	YES
<b>LED INFO:</b>	
LUMENS:	1100
COLOR TEMP:	2700K
CRI:	92
INCANDESCENT EQUIVALENCY:	1-75w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.
MAX HEIGHT:	48.0"
LEADWIRE:	120.0"
DOWN RODS:	1-8", 2-12"
CERTIFICATION:	C-US DAMP RATED
VOLTAGE:	120V
UPC:	640665230291
INSTALL OPTIONS:	UP: INSTALL ON SLOPED CEILING 90°

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

*lifeAGLOW®*

## EXTERIOR WALL MOUNT SCONCE (S1)



**HINKLEY & R.**

HINKLEY LIGHTING, INC.  
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[PH] 440.653.5300 [F] 440.653.5555  
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM

ARIA 2304BK-LED	
BLACK	
WIDTH:	5.3"
HEIGHT:	18.5"
WEIGHT:	2.3 LBS
MATERIAL:	ALUMINUM
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	8.3"
SOCKET:	15W LED *INCLUDED
DARK SKY:	YES
<b>LED INFO:</b>	
LUMENS:	1100
COLOR TEMP:	2700K
CRI:	92
INCANDESCENT EQUIVALENCY:	1 X 75W
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.
EXTENSION:	6.8"
TTO:	5.0"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665230499

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

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## EXTERIOR WALL MOUNT SCONCE (S3)



**HINKLEY & R.**

HINKLEY LIGHTING, INC.  
33000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012  
[PH] 440.653.5300 [F] 440.653.5555  
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM

ARIA 2300BK-LED	
BLACK	
WIDTH:	5.3"
HEIGHT:	15.5"
WEIGHT:	2.0 LBS
MATERIAL:	ALUMINUM
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	8.3"
SOCKET:	15W LED *INCLUDED
DARK SKY:	YES
<b>LED INFO:</b>	
LUMENS:	1100
COLOR TEMP:	2700K
CRI:	92
INCANDESCENT EQUIVALENCY:	1 X 75W
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.
EXTENSION:	6.8"
TTO:	5.0"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665230093

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

*lifeAGLOW®*

## EXTERIOR RECESSED CAN (RE)

**Eco-Downlight LED 3" Recessed**  
IC / Airtight / Adjustable EDL-ADJ

**Fixture**

- Integral 120-277V input LED Driver, 24W output, 90% efficient, 0.99 power factor
- Five (5) year warranty
- UL/C-UL listed for damp location

**LEDs**

- High-performance COB LEDs:
  - 2,700K ±50, CRI 90, 1900 lm
  - 3,000K ±50, CRI 90, 2035 lm
  - 3,500K ±50, CRI 90, 2186 lm
  - 4,000K ±50, CRI 80, 2691 lm
- 2-step binning process
- 50,000 hours at 70% lumen maintenance (L70)
- LM79 test results available at [cslighting.com](http://cslighting.com)
- Standard dimming compatible with INC (incandescent/LED), ELV or 0-10V dimmers to 10%
- Field-replaceable light engine and driver

**ORDERING FORMAT**  
Use this format for ordering units include the last three letters for the dimming option:

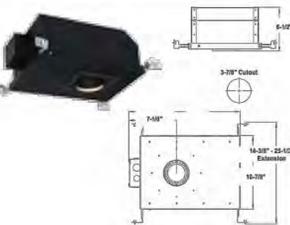
**EDL - ADJ - 27 - 4 - DIM**

FIXTURE      ADJ HOUSING      DIM

27 (2700K)      L1 - A Series Hi Lume 2-Wire  
30 (3000K)      L2 - Eco Series 5 Series  
40 (4000K)      L3 - Hi Lume Hi Series Fade to Black  
L4 - Lutron A-Series Hi-Lume 3-Wire  
EL1 - E160LED DALI  
EL2 - E160LED 0-10V

**ADJUSTABLE IC HOUSING**

- 30°, 50° and 80° optics included
- Optional 10° optic available
- Suitable for insulated ceilings and airtight applications
- Adjustable, rotating heat sink:
  - Vertical aiming up to 45° tilt
  - Horizontal aiming 359° rotation
- Extruded aluminum heat sink with black anodized finish
- Aluminum air tight housing with black powder-coat finish
- Galvanized steel adjustable hanger bars
- Accommodates ceiling thicknesses to 3"
- Steel junction box with black powder-coat finish with four 3/8" and four 1/4" trade-size knockouts
- NOTE: Polycell spray-in foam insulation requires setback of 3" from all sides and top of housing. Standard insulation may be placed in direct contact with any part of this fixture



## CENTRE SKY

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■ MONTANA:  
P.O. BOX 161488  
11 LONE PEAK DR., UNIT 206  
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P 406.995.7572  
F 406.995.7477

[www.centresky.com](http://www.centresky.com)

CORTINA LOT 11

MOUNTAIN VILLAGE, CO 81435

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Drawn By S. DAGOSTINO  
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**E0-0.1**  
EXTERIOR LIGHTS



COLORADO:  
10125 RANCHO MONTECITO DR.  
PARKER, COLORADO 80138  
P 303.840.0020  
F 303.840.2299

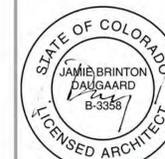
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MOUNTAIN VILLAGE, CO 81435

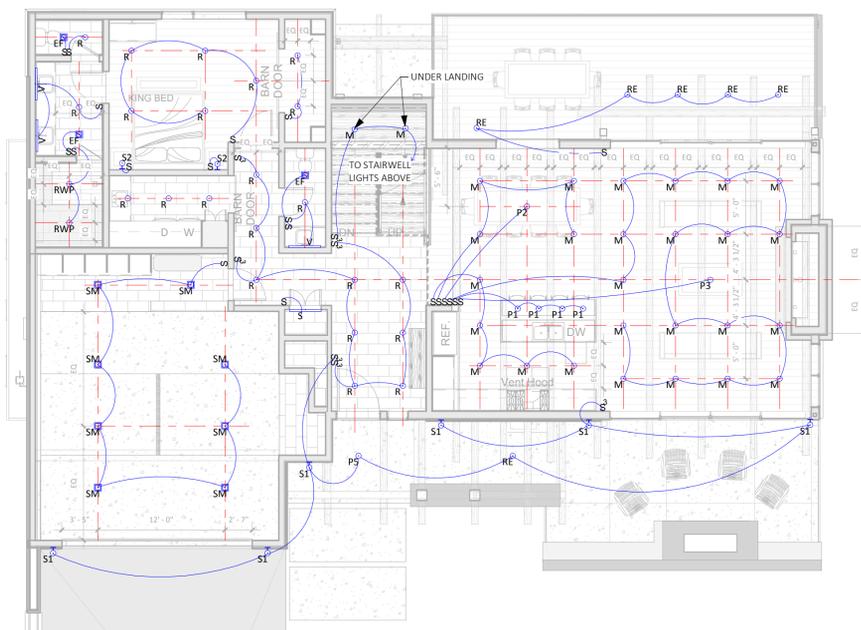
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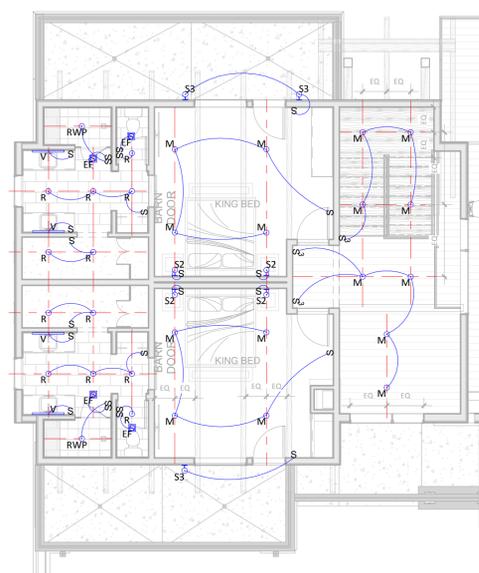
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E1-1.0  
LIGHTING PLANS



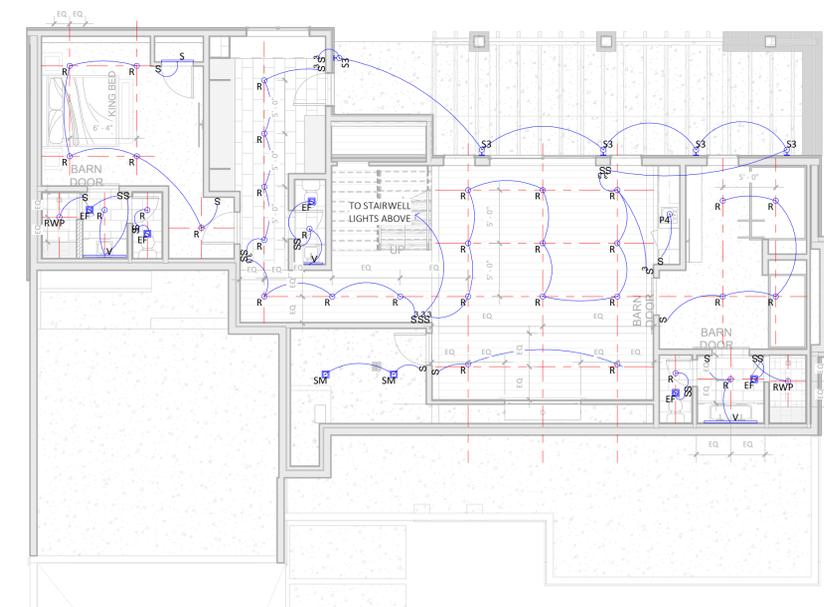
1 EXTERIOR LIGHTING PLAN - MAIN LEVEL  
1/8" = 1'-0"



3 EXTERIOR LIGHTING PLAN - UPPER LEVEL  
1/8" = 1'-0"

ELECTRICAL NOTES

1. OUTLETS BELOW WINDOWS TO BE CENTERED ON WINDOWS (TYP)
2. COORDINATE OUTLETS AT COUNTERS W/ HEIGHT OF BACK SPLASH
3. PROVIDE LOW TEMPERATURE SENSORS
6. PROVIDE SMOKE ALARMS AS REQUIRED BY 2012 IRC, SEC. R 314
7. PROVIDE CARBON MONOXIDE SENSORS AS REQUIRED BY 2012 IRC, SEC R315
8. INTEGRATE SMOKE DETECTORS
9. ALL LIGHT FIXTURES INSTALLED IN SHOWERS TO BE WATERPROTECTED
10. ALL BEDROOMS TO BE WIRED FOR TV AND PHONE (VERIFY W/ OWNER)
11. COORD TV OUTLET HEIGHT W/ AV
12. FIREPLACES TO BE ON REMOTE CONTROL, TYP.
13. COORDINATE FLOOR OUTLETS WITH ARCHITECT, ID, OWNER & ELECTRICAL CONTRACTOR REQUIRED
14. CONNECT FRONT OF HOUSE EXTERIOR LIGHTING TO PHOTO SENSOR: DOUGLAS LIGHTING CONTROLS #WPS-5527 (VERIFY W/ OWNER)
15. PROVIDE OUTLETS AS REQUIRED FOR MECHANICAL/PLUMBING SYSTEMS & FIREPLACES
16. ELEC. CONTRACTOR TO VERIFY ALL APPLICABLE CODES ARE MET WITH OUTLET PLACEMENT, SWITCHING AND WIRING.
17. GENERAL CONTRACTOR TO COORD. ALL PHONE, AND AUDIO VISUAL REQUIREMENTS
18. ALL EXTERIOR OUTLETS TO BE GFI WATER PROTECT
19. COORDINATE PHONE AND DATA LOCATIONS W/ OWNER
20. G.C. TO ADD OUTLET FOR RADON EXHAUST FAN, COORD. LOCATION WITH ARCHITECT
21. PROVIDE WATER COP
22. PROVIDE POWER FOR IRRIGATION, COORD. W/ LANDSCAPING
23. PROVIDE OUTLET @ TOP OF CHIMNEY FOR FUTURE FAN IF NEEDED
24. ELECTRICAL WALKTHROUGH REQUIRED, SCHEDULE WITH ARCH, ID, OWNER, THROUGH GC
25. ALL FIXTURES TO BE DIMMABLE, EXCEPT IN STORAGE, MECHANICAL, AND CLOSET ROOMS.



2 EXTERIOR LIGHTING PLAN - LOWER LEVEL  
1/8" = 1'-0"

LIGHT FIXTURE SCHEDULE	
NOTE	FINISH DESCRIPTION
EF	EXHAUST FAN
M	MONOPOINTS
P1	PENDANT 01
P2	PENDANT 02
P3	PENDANT 03
P4	PENDANT 04
P5	PENDANT 05
R	RECESSED CAN
RE	RECESSED CAN - EXTERIOR
RWP	RECESSED CAN - WATER PROOF
S	STRIP LIGHT - WASH WALL
S1	SCONCE 01
S2	SCONCE 02
S3	SCONCE 03
SM	SURFACE MOUNT SQ
V	VANITY

ELECTRICAL SYMBOL LEGEND	
---	Centerline
S	Switch, 15 AMP, 120-277V AC
⚡	Equipment
⏻	Duplex Receptacle 15 AMP, 125V AC
⏻	GFI Receptacle 15 AMP, 120V AC
⏻	Waterproof receptacle 15 AMP, 120V AC
⏻	Floor Receptacle 15 AMP, 125V AC, COORD. W/ ID
R	Recessed Can
RWP	Recessed Can - Waterproof
M	Surface Mount Monopoint
SM	Surface Mount Square
p	Pendant
S	Sconce
D	Decorative
V	Vanity
S	Strip Light
EF	Exhaust Fan