

**TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD REGULAR MEETING
THURSDAY JULY 7, 2016 10:00 AM
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
AGENDA**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	5	Van Nimwegen	Action	Reading and Approval of Summary of Motions of the June 2, 2016 Design Review Board Meeting
3.	10:05	45	Van Nimwegen	Public Hearing Action	Review for a Recommendation to Town Council an ordinance amending the Community Development Code to further limit the rezoning and subdivision of Single Family lots
4.	10:50	45	Bangert	Public Hearing Quasi-Judicial Action	Consideration of a Design Review application for a new single family home on Lot GH-15, 115 Cabins Lane
5.	11:35	45	Van Nimwegen	Public Hearing Quasi-Judicial Action	Consideration of a Design Review application for a new single family home on Lot 181, 118 Highlands Way
6.	12:20	5	Bangert	Public Hearing Quasi-Judicial Action	Consideration of a Design Review application for a new single family home on Lot 5, 137 Vischer Drive <i>(This item will be continued till the August Design Review Board Meeting)</i>
7.	12:25	30	Lunch		
8.	12:55	15	Bangert	Public Hearing Quasi-Judicial Action	Consideration of a Minor Revisions application for Lot 221AR, 200 Wilson Peak Drive to allow for encroachments into the General Easements
9.	1:10	5	Van Nimwegen	Informational	Other Business
10.	1:15				Adjourn

**SUMMARY OF MOTIONS
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY JUNE 2, 2016**

Agenda Item 2

Call to Order

Chairman Dave Eckman called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:05 a.m. on Thursday June 2, 2016 in the Third Floor Conference Room, Fire House at 411 Mountain Village Boulevard Mountain Village, CO 81435.

Attendance

The following Board/Alternate members were present and acting:

Dave Eckman (Chair)
Dave Craige
Phil Evans
Jean Vatter

The following Board members were absent:

Banks Brown
Keith Brown
Greer Garner
Luke Trujillo

Town Staff in attendance:

Glen Van Nimwegen, Director of Planning and Development Services
Dave Bangert, Town Forester/Planner
Colleen Henderson, Planner II
Jane Marinoff, Administrative

Public in attendance:

Lea Sisson	Architect (Lot 912R)
Finn Kjome	Public Works Director
Bubba Gentry	Owner Lot 913 (128 Victoria Drive)
Alex Martin	
Bill Hoins	Box 260
Matt Mitchell	High Mark Development (Lot AR-32)
John Horn	Agent (Lot AR-32)
Emily Brafford	Applicant (Lot AR-32)
Garrett Brafford	Applicant (Lot AR-32)
Anton Benitez	TMVOA
Carlotta Horn	Lot AR-32
Tom Conyers	Lot AR-27
Anton Benitez	Telluride Mountain Village Owners Association

Reading and Approval of Summary of Motions of the May 5, 2016 Design Review Board Meeting.

Phil Evans stated that the votes were incorrect on the following items: Signage Lot 53A & OS-3U should read DRB voted 6-1, and on Roofing Repairs to Lot 61CD should read DRB voted 6-0. Also under Roofing Repairs to Lot 61CD the DRB condition should be added to the motion that there are two (2) secondary shed roofs and to save the old concrete tiles for inventory. On a **Motion** made by Phil Evans and seconded by David Craige, the DRB voted **4-0** to approve the Summary of Motions from the May 5, 2016 meeting with changes.

Consideration of a Design Review Application for a Single Family Home on Lot 912R (132 Victoria Drive).

Colleen Henderson presented an overview of the proposed project which included a single family home and accessory dwelling unit (ADU) on Lot 912R. Lea Sisson (Architect) presented on behalf of the applicant and referred to a 3D model on her computer. Glen Van Nimwegen added information about the existing Declaration of Ski Trail Easement Agreement (Rec. No. 436160) involving Lots 912R, 913R, 1004-AR and 1004-BR and staff's recommended condition for the applicant to provide documentation to the Town of Mountain Village that all beneficiaries of the private ski trail easement have consented to relocating the private ski trail easement prior to issuance of a building permit.

On a **Motion** made by Phil Evans and seconded by David Craige, the DRB voted **4-0** to approve the project with conditions 1 through 6 as recommended by staff and new conditions 7 through 9 as stated below:

1. Prior to the submittal of construction plans for a building permit, the applicant shall provide to the Town of Mountain Village documentation that all beneficiaries of the private ski trail easement have consented to relocating the private ski trail easement to the southern 16' GE on Lot 912R through recordation with San Miguel County.
2. The developer shall submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into any easements/setbacks prior to the Building Division conducting the required footing or foundation inspection, as applicable.
3. Prior to the Building Division conducting the required framing inspection, the applicant shall conduct a monumented land survey prepared by a Colorado public land surveyor to establish the maximum building height, including but not limited to natural grade, finished grade and the building height measurement points (in USGS datum).
4. The applicant shall submit a Utility Plan prepared by a Colorado licensed professional engineer to Town staff for review and approval prior to the issuance of a building permit.
5. The applicant shall submit revised architectural plans indicating the main residential structure be equipped with an approved fire sprinkler system meeting the International Fire Code (CDC Section 17.7.18).
6. All representations of the applicant/agent, whether within the submittal or at the DRB hearing, are conditions of this approval.
7. If the driveway must be moved because the applicant and the other beneficiaries of the ski trail easement do not agree to move the easement, then the revised plans must be reviewed and approved by the staff and DRB Chairman. Appropriate safety measures (railing) shall be incorporated into the driveway where adjacent to the ski access.
8. The final exterior lighting plan, including the address monument shall be reviewed and approved by staff and Board Member Craige.
9. There shall be further review, and approval of the grading of the transition between the hammerhead and the entrance driveway by staff and Board Chair.

Consideration of a Design Review Application for a Single Family Home on Lot AR-27 (124 Singletree Way).

Dave Bangert presented an overview of the proposed project which included a single family home on Lot AR-27. Tom Conyers presented on behalf of the applicant. On a Motion made by David Craige and seconded by Jean Vatter, the DRB voted **4-0** to approve the project with the following conditions:

1. Applicable Town fees and taxes shall be paid prior to commencing the activity or prior to the Town issuing a permit, as applicable, including but not limited to the Town's use tax.
2. Prior to issuance of a building permit the applicant will revise the lighting plan to remove lights within

- 5' of hot tub and change L1's to L2's.
- 3. Prior to CO applicant will revise irrigation plan to cover entire revegetation area.
- 4. Prior to CO applicant will revise landscaping plan to screen the south side of the garage area.
- 5. Prior to CO the owners of Lot AR-27 will enter into a General Easement encroachment agreement with the Town for the address monument in the wester GE.
- 6. A survey of the footers will be provided prior to pouring concrete to determine the no encroachments into the GE.
- 7. A ridge height survey will be provided during the framing inspection to determine the building height is in compliance.
- 8. All representations of the applicant, whether within the submittal or at the DRB hearing, are conditions of this approval.

Consideration of a Design Review Application for a Single Family Home on Lot AR-32 (123 Singletree Way).

Colleen Henderson presented an overview of the proposed project which included a single family home on Lot AR-32. Garrett Brafford presented the project representing himself as the owner and referred to revisions to the plans. On a Motion made by Phil Evans and seconded by David Craige, that the Board make the finding that it supports the proposal for less than 35% stone in this case due to the flat site and the addition of stacked stone walls in the landscape. The DRB voted **4-0** to approve the project subject to conditions 1 through 10 as recommended by staff and new conditions 11 through 15 as follows:

- 1. The developer shall submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into any easements/setbacks prior to the Building Division conducting the required footing or foundation inspection, as applicable.
- 2. The corrugated metal roof and siding accent shall be treated to produce rusting prior to the issuance of a certificate of occupancy (C.O.).
- 3. Prior to the issuance of a development permit, the applicants shall submit revised plans to Town staff for review and approval that indicate the type, materials, and treatment for the casement windows and doors indicated on the window schedule (Exhibit FA-33) and shown on the architectural elevations (Exhibit FA-5).
- 4. Prior to the issuance of a development permit, the applicants shall submit a revised landscape/irrigation plan indicating the location of backflow preventers, interior and exterior drain valves, and a master control valve as required by CDC Section 17.5.9(C)(4).
- 5. Prior to the issuance of a development permit, the applicants shall submit a revised landscape/irrigation plan listing the Spring snow crabapple trees to be a minimum of 3-inch caliper diameter at breast height (dbh) and the Bristlecone pine tree to be a minimum of 8 to 12 feet in height as required by CDC Section 17.5.9.
- 6. The proposed address identification numbers attached to the garage shall comply with the size, contrast, illumination and maintenance requirements set forth in the CDC.
- 7. Prior to the issuance of a development permit, the applicants shall field verify all public and private utilities.
- 8. Prior to issuance of a development permit, the applicants shall seek the approval of the Mountain Village Town Council for temporary construction staging and parking in the Singletree Way RROW and

- enter into a license agreement.
9. All representations of the applicants/agent, whether within the submittal or at the DRB hearing, are conditions of this approval.
 10. Applicable Town fees and taxes shall be paid prior to commencing the activity or prior to the Town issuing a permit, as applicable, including but not limited to the Town's building permit fees, use tax and any other outstanding fees owed to the Town.
 11. The applicant shall submit revised elevations/architectural floor plans (Exhibit FA-5) and a revised window/door schedule (Exhibit FA-33) to staff reducing the size and moving the front window south of the entry door on the east elevation to accommodate an interior staircase.
 12. The applicant shall submit revised elevations/architectural floor plans (Exhibit FA-5) to staff deleting the cedar shakes below the gable roofs on the east and west elevations and replace the material with vertical wood siding.
 13. Prior to the issuance of a development permit, the applicants shall submit revised elevations to staff deleting the vertical stone columns on the garage on the west elevation and replacing the material with wood trim.
 14. The applicants shall submit revised elevations to staff adding more stone to the east elevation to raise the height of the stone material to the bottom of the windows and wrap it around to the north elevation to the utility case.
 15. The applicant shall submit a revised grading/drainage plan (Exhibit FA-3) to staff indicating a stepped stone retaining wall on the north and south side of the driveway as required by CDC Section 17.5.7.

Strategy for Roof Replacement in the Village Core

Anton Benitez told the Board that he had been approached by several building owners in the core about developing a strategy to receive approval to replace roofs. The current manufacturer is no longer in business that makes the mandated tile. Anton recommended the subject be put on the Council agenda in July.

Department Update

Glen Van Nimwegen presented the staff report on other projects that are being undertaken by the Department.

Other Business.

Glen Van Nimwegen reminded Board members about the May 19, 2016 Joint Town Council meeting with the Design Review Board and will find out the time of the meeting (8:30 am-3:30pm). Glen also mentioned an additional candidate applied to fill the vacant DRB "alternate" seat. Phil Evans added that "alternate" members have the opportunity to vote quite often due to travel schedules and vacations. It was the consensus of the board members present to delay the joint meeting with Town Council due to members being out of town.

On a **Motion** made by Phil Evans and seconded by David Craige, the DRB voted **4-0** to adjourn the June 2, 2016 meeting of the Mountain Village Design Review Board at 1:58 p.m.

Respectfully Submitted,

Glen Van Nimwegen
Director



**PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

Agenda Item No. 3

TO: Design Review Board
FROM: Glen Van Nimwegen, AICP
FOR: Meeting of July 7, 2016
DATE: June 28, 2016
RE: **Proposed Amendments to the Community Development Code (CDC)
Limiting Lot Splits in the Single-Family Residential District**

BACKGROUND

On April 21st the Town Council put a moratorium in place on any requests to rezone and subdivide a single-family lot to create additional units. The moratorium is set to expire on August 1, 2016. At the May 19th Council meeting staff presented research about other communities similar to Mountain Village, and their standards for subdivision of single-family lots. At that time we also heard from a representative of an area resident. Discussion included the following topics:

- The concerns are the densification of existing residential areas where there is a diverse range of lot sizes; and the addition of more intense uses, such as what is allowed in the Active Open Space district;
- Should the notice area be increased? It should not act as a barrier to requests, but should address the large parcels where 400 feet may not be enough.
- There were differing views on whether the PUD process is the right tool for this issue as the process is onerous and time consuming;
- The current ordinance has no definition of what makes a rezoning “exceptional”;
- Perhaps the amount of splits should be based on the size of the original parcel; and
- The moratorium should be ended as soon as possible.

On June 16th staff presented draft amendments to the CDC to address the above concerns. The draft modifies Section 17.3.4(F)4. Further Subdivision Limited to allow additional density in the single-family district only through a new Single-Family Planned Unit Development (SFPUD) process. “Exceptional” was removed from the reasoning behind an approval. Instead staff proposes simply using the public benefit requirement of the PUD. In addition we added limitations and clarifications to the extent of the subdivision:

- The subdivision cannot include more than two single-family lots; and
- Would allow the creation of passive open space parcels.

Staff is proposing amendments to Section 17.4.12 Planned Unit Development Regulations to create the new Single-Family Planned Unit Development (SFPUD) process that:

- Is shorter as we have removed the requirement for a Sketch Plan review by the Design Review Board.

- Requires the subject parcel to be a minimum of five acres and the subdivision to create no more than two lots. The only exception to this would be the creation of a lot zoned for Passive Open Space;
- Allows only Passive Open Space and Single-Family district uses in a SFPUD; and
- Requires community benefits be provided such as additional passive open space; workforce housing; other actions which implement goals of the Comprehensive Plan; or other benefits as determined by the Town Council.

Direction from the Council at the work session was to change the standards to the minimum parcel size to no less than six acres, and the resulting lots to be no less than three acres in size; and increase the notice area to 1,500 feet.

DISCUSSION

Attached is the latest redline version of the amendments. Also attached is an email from Dominic Mauriello, a planner representing resident David Heaney. They are requesting that four lots that are greater than 20 acres in size be limited to resulting lot sizes of a minimum of ten acres. In addition they are requesting that the ordinance be amended to only allow a parcel to receive one SFPUD, thereby eliminating the opportunity to subsequently re-subdivide SFPUD parcels.

Staff is not in favor of the latest proposed changes. Owners of parcels of six acres and greater should be afforded the same opportunities, and restrictions, proposed in the draft ordinance. Staff believes the ordinance as currently drafted supports diversity in lots sizes better than what is proposed by Mauriello and Heaney. For example, under the current draft if a 20 acre parcel is split into two lots with one lot at the minimum of three acres, the second lot must be 17 acres, which is more diversity than two ten acre lots. Also, we do not believe subsequent lot splits after the original SFPUD is established is a real threat as every SFPUD must provide community benefits.

Attached to this report are two maps of the Single-Family lots in the community. The first shows our lots in ranges of size and the second map identifies only lots that are six acres or greater and the footprint of any existing home.

SUMMARY

The proposed amendments to the CDC will have the following effect:

- Single-family zoned lots may only be rezoned to Passive Open Space or the new SFPUD district;
- The minimum parcel size for a SFPUD is six acres;
- The SFPUD parcel may only be divided into two single-family lots, each of which must be a minimum of three acres each;
- The SFPUD process will only include the Conceptual and Final steps, which will include five public hearings;
- The notice requirements will be expanded to require mailed notices to owners within 1,500 feet surrounding the subject parcel. The current requirement is 400 feet; and
- Community benefits must be provided with the SFPUD which could include the provision of additional passive open space, workforce housing or the attainment of goals stated in the comprehensive plan or other community benefits as determined by the Town Council.

NEXT STEPS

If the Board recommends the Town Council approve the proposed amendments or with specific changes, the next actions could be:

- At the July 21st Town Council meeting:
 - First reading and set the public hearing of the proposed ordinance.
 - Extend the moratorium until 30 days after the second reading of the ordinance (September 16, 2016).
- The August 18th Town Council meeting will be a public hearing and second reading of the ordinance to amend the CDC.

PROPOSED MOTION

"I move that the Town Council approve the proposed changes to the Community Development Code as attached hereto."

Attach: Proposed Changes to the CDC
Map of Lot Sizes
Map of Lot Sizes of Six Acres and Greater
Email from Dominic Mauriello

Proposed Amendments to the Community Development Code

Section 17.3.4 Specific Zone District Requirements

F. Single-Family Zone District

1. **Permitted Uses.** Lots in the single-family zone district may be used for the construction of one (1) single-family dwelling unit and one (1) accessory dwelling unit.
 - a. Three (3) lots in the single-family zone district have a zoning designation of non-subdivideable duplex: Lot 213, Lot 245 and Lot 257B, with the following allowances and limitations to such lots:
 - i. Two (2) dwelling units may be constructed;
 - ii. One (1) dwelling unit shall be designated as a major duplex unit, and one (1) dwelling unit shall be designated as minor duplex unit;
 - iii. The square footage of the minor duplex unit may not exceed seventy-five percent (75%) of the square footage of the major unit;
 - iv. Dwelling units may be either detached or combined into one (1) structure; and
 - v. Accessory dwelling units shall not be allowed.
2. **Accessory Buildings or Structures.** Permitted accessory buildings or structures include hot tubs, saunas, swimming pools, gazebos, art, ski tramways approved pursuant to the Conditional Use Permit Process, outdoor kitchens, play equipment, fire pits, tennis courts and typical court fencing, ice skating rinks approved pursuant to the Conditional Use Permit Process, fenced dog areas, and similar uses. Storage buildings are expressly prohibited, except the DRB may approve a trash and recycling bin storage building at the end of a driveway longer than 100 feet provided such is designed in accordance with the Design Regulations.
 - a. All accessory buildings or structures shall be located in the rear yard to the extent practical.
 - b. Accessory buildings or structures shall not exceed 500 sq. ft. in size or floor area, as applicable.
 - c. Design requirements applicable to accessory dwelling units are in the Single-Family zone district.
 - d. Buffering is provided for high activity level buildings or structures, such as hot tubs, swimming pools and tennis courts to mitigate the adverse visual and noise impacts.
3. **Accessory Uses.** Permitted accessory uses include home occupations pursuant to the Home Occupation Regulations, firewood storage in the rear yard when a valid fireplace permit is held, ski surface parking as limited by Parking Regulations, private outdoor projection system onto the wall of a building to show movies or other media that is not visible from a public way or adjoining lot (buffering required), and other similar uses.
4. **Further Subdivision Limited.** A single-family lot may be further subdivided and

additional density ~~may be~~ transferred onto a single-family lot by the Rezoning Process in limited situations only if:

- a. The density is currently permitted on a lot; or
- b. The Comprehensive Plan envisions higher density; or
- c. A SFPUD is approved pursuant to the PUD Regulations; ~~or~~ and
- d. The Town Council determines that the rezoning ~~is exceptional and~~ meets conditions to mitigate the subdivision or any increase in density and otherwise meets the public benefit requirements of an SFPUD as determined by the Town Council. ~~the upzoning, such as but not limited to clustered development, the provision of additional open space, or other community benefits;~~ and. The ~~subdivision and/or~~ rezoning is compatible and fits with surrounding area development. A subdivision shall not create result in the creation of more than two single family lots. Notwithstanding the foregoing, the creation of passive open space lots, in addition to the single family lots is permitted, which are smaller than the average lot size within 1500 feet of the outer boundaries of the subject property.

5. Accessory Dwelling Unit. Accessory dwelling units are permitted in the Single-Family Zone District provided such units shall:

- a. Only be allowed if the primary single-family dwelling unit exists or is constructed concurrently;
- b. Comply with the Design Regulations;
- c. Have the following floor area limitations:
 - i. A maximum of 800 sq. ft. of floor area if the primary single-family dwelling unit on the lot is 4,000 sq. ft. or less of floor area; and
 - ii. If the primary single-family dwelling unit is in excess of 4,000 sq. ft., the accessory dwelling unit is limited to twenty percent (20%) of the floor area of the primary single-family dwelling unit or 1,500 square feet of floor area, whichever is less.
- d. Be physically attached (roof forms and foundation) to the primary single-family dwelling unit if the lot is less than or equal to 0.75 acres. Lots that are greater than 0.75 acres may develop an accessory dwelling unit that is detached from the main single-family dwelling unit;
- e. Provide separate access to the unit, a kitchen facility separate from the main single-family dwelling unit, and off-street parking as required by the Design Regulations; and
- f. Be located on a lot so as to minimize visual impacts to existing buildings on lots immediately adjacent to the proposed unit to the extent practical.

CHAPTER 17.4 DEVELOPMENT REVIEW PROCEDURES

17.4.1 PURPOSE

The purpose of the Development Review Procedures is to provide a clear, transparent, consistent, predictable and efficient review process for certain development activities within Mountain Village that are governed by this CDC.

17.4.2 OVERVIEW OF DEVELOPMENT REVIEW PROCESSES

- A. There are five (5) development review processes that are used for evaluating land use development applications governed by the CDC:
1. **Class 1 application:** Staff development application review process;
 2. **Class 2 application:** Staff-DRB chair development application review process;
 3. **Class 3 application:** DRB development application review process;
 4. **Class 4 application:** DRB-Town Council development application review process; and
 5. **Class 5 application:** Town Council development application review process.
- B. Table 4-1 summarizes the types of development applications that fall under each class of application and associated review authority:

Table 4-1, Development Application Classes

Development Application Type	Application Class	Review Authority
Minor revision Process	Class 1	Planning Division Staff
Renewals	Class 1	Planning Division Staff
Rezoning Process	Class 4	DRB Recommendation & Town Council Action
Density Transfer Process		
From lot, or density bank, to a lot	Class 4	DRB Recommendation & Town Council Action
Within the density bank	Class 1	Planning Division Staff
Design Review Process		
	Class 1	Planning Division Staff
	Class 2	DRB Chair
	Class 3	DRB
Site Specific PUD (SPUD)	Class 4	DRB Recommendation & Town Council Action
Conceptual PUD	Class 4	DRB Recommendation & Town Council Action
Sketch PUD	Class 3	DRB
Final PUD	Class 4	DRB Recommendation & Town Council Action
<u>Single Family PUD (SFPUD)</u>		
<u>Conceptual PUD</u>	Class 4	DRB Recommendation and Town Council Action
<u>Final PUD</u>	Class 4	DRB Recommendation and Town Council Action
Master PUD (MPUD)		
Outline PUD	Class 5	Town Council
Final PUD	Class 4	DRB Recommendation & Town Council Action
Subdivision		
Major Subdivisions	Class 4	DRB Recommendation & Town Council Action
Minor Subdivisions	Class 5	Town Council
Staff Subdivisions	Class 1	Planning Division Staff
Conditional Use Permits	Class 4	DRB Recommendation & Town Council Action
Variance Process	Class 4	DRB Recommendation & Town Council Action
Vested Property Right	Class 4	DRB Recommendation & Town Council Action

Comment [GVN1]: 6/16 Town Council

Section 17.4.4 (I) Public Hearing Noticing Requirements

2. **Public Noticing Requirements.** Notice as required by this section shall be given at least thirty (30) calendar days prior to the initial public hearing held by the review authority. Development applications shall be noticed in substantial compliance with the following provisions:
 - a. **Class 1 and 2 Applications.** No legal notice of these administrative development application processes is required.
 - b. **Class 3 and 4 Applications.** Notice of the public hearing(s) shall be: 1) sent to all property owners within 400 feet of the property boundaries in accordance with the public hearing noticing requirements and the mailing notice details, 2) posted in accordance with the posted notice details, and 3) listed on the review authority agenda.
 - i. If the Director of Community Development determines that a final MPUD or major PUD amendment development application affects only a portion of the property within a MPUD, SPUD or PUD, then, notwithstanding any other provisions of this section, notice shall be mailed to owners within 400 feet of the affected site or to those owners that are determined to be potentially affected.
 - c. **Class 5 Applications.** Notice of the following development application public hearing(s) shall be: 1) sent to all property owners within 400 feet of the property boundary in accordance with the public noticing requirements and the mailing notice details, 2) posted in accordance with posted notice details, and 3) listed on the review authority agenda:

- i. Outline MPUD development applications;
- ii. No legal notice is required for the following class 5 development applications:
 - (a) Minor subdivisions.
 - (b) Other class 5 applications.
- d. **Mineral Estate Notification:** An applicant, for any application outside of the Original PUD Boundary, shall provide notice to mineral estate owners as required by C.R.S. § 24-65.5-100, et seq., as currently enacted or hereinafter amended.

3. **Additional Public Notice Requirements for Specific Development Review Applications**

- a. **Vested Property Right.** Notice of the review authority's public hearing for a vested property right may be combined with the notice for any other required, concurrent hearing to be held on the site-specific development plan for the subject site or lot.
- b. **CDC Amendments.** Notice of the review authority's public hearing for the proposed CDC amendment shall be: 1) listed on the review authority agenda, and 2) listed as a public notice on the Town's website at least fifteen (15) calendar days prior to the initial public meeting.
- c. **Adoption or Amendments to Master Plans.** Notice of the Town Council's public hearing for the proposed adoption of or amendments to the Comprehensive Plan shall be: 1) listed on the Council's agenda, and 2) published as a legal advertisement at least once in a newspaper of general circulation in the town at least fifteen (15) calendar days prior to the initial public meeting.
- d. Applications for the Single Family PUD. Notice of the public hearing(s) shall be: 1) sent to all property owners within 1,500 feet of the property boundaries in accordance with the public hearing noticing requirements and the mailing notice details, 2) posted in accordance with the posted notice details, and 3) listed on the review authority agenda.

4. **Mailing Notice Details**

- a. Mailing of the property owner notice is the responsibility of the applicant who shall obtain a copy of the adjacent property owner letter form from the Planning Division.
- b. The mailing of all notices shall be by first-class mail, postage prepaid.
- c. If a condominium development is located within the prescribed distance of the subject property, the applicant shall provide notice to the condominium association and every condominium unit property owner or part owner who owns at least a fifty percent (50%) interest in a condominium unit.
- d. Prior to the mailing of notice, the applicant shall deliver to the Planning Division a copy of the notice for review and approval.
- e. If for any reason a development application is not placed on the agenda for the date noticed, the applicant shall re-notice the revised scheduled meeting date at least fifteen (15) days prior to the revised meeting date.
- f. The applicant shall execute an affidavit of mailing in a form provided by the Planning Division with a copy of the notice and the property owner mailing list

- attached thereto.
- g. If notice required by this section is determined to be improper or incomplete, the applicant shall be required to re-notice adjacent owners at least thirty (30) days prior to a revised scheduled meeting date.
 - h. Notices shall be deemed delivered when deposited for delivery with the United States Postal Service.
 - i. Notices shall include, at a minimum, the following information:
 - i. Name and address of the applicant;
 - ii. Type of development application(s);
 - iii. Address and legal description of the subject property;
 - iv. Date, time and place of the DRB and/or Town Council meeting;
 - v. Detail summary of the development application under consideration;
 - vi. Description of any requested variations to the standard requirements of the CDC;
 - vii. Vicinity map;
 - viii. Identification of the review authority that will conduct the public hearing; and
 - ix. Such other information deemed necessary by the Planning Division in order to inform the public of the nature of the development application.

5. Posted Notice Details

- a. At least fifteen (15) days prior to the meeting date, the applicant shall post a public notice sign on the property that is the subject of the development application.
- b. The public notice sign shall be provided by the Planning Division and shall be posted on the property by the applicant in a visible location adjacent to public rights-of-way or public space.
- c. The posted notice shall only indicate that the property is the subject of a pending land use development application before the Town and shall provide a contact phone number with the Town to obtain information regarding the development application.
- d. More than one notice may be required to be posted on the property affected by the development application if the Planning Division determines that because of the size, orientation or other characteristics of the property additional posted notice is necessary.
- e. The applicant shall be responsible for returning the sign to the Planning Division following the meeting date.
- f. The Planning Division may require a security deposit for the sign.
- g. The applicant shall execute an affidavit of posting the notice in a form provided by the Planning Division.

17.4.12 PLANNED UNIT DEVELOPMENT REGULATIONS

A. Purpose and Intent

The purpose and intent of the Planned Unit Development (“PUD”) Regulations is to:

1. Permit variations from the strict application of certain standards of the CDC in order to allow for flexibility, creativity and innovation in land use planning and project design;
2. Allow for a creative planning approach to the development and use of land and related physical facilities to produce a better development;
3. Provide for community benefits;
4. Promote and implement the Comprehensive Plan;
5. Promote more efficient use of land, public facilities and governmental services; and
6. Encourage integrated planning in order to achieve the above purposes.

B. Overview of the PUD Process

1. A PUD may be created in either of ~~two~~three ways: the Site-specific PUD Process (“SPUD”), ~~or~~ the Master PUD Process (“MPUD”) or the Single Family PUD Process (“SFPUD”).
 - a. The SPUD results in approval of rezoning to a PUD district and a detailed set of design plans, a PUD development agreement, a subdivision (if needed), a density transfer (if needed), a site-specific development plan and a vested property right.
 - b. The MPUD results in the approval of rezoning to a PUD district and a PUD development agreement that outlines permitted land use, density, maximum height and floor area, required community benefits and a vested right, but which requires a detailed final plan for individual phases prior to actual development.
 - c. The SFPUD results in the approval of a subdivision and/or rezoning of properties in the Single Family Zone District which may only retain the Single Family zoning or may be rezoned to the Passive Open Space Zone District or a combination thereof.
2. The primary steps in the SPUD and SFPUD Process are:

- a. Conceptual PUD review (DRB and Town Council);
- b. Sketch PUD review (DRB) (not required in a SFPUD);
- c. Final PUD rezoning ordinance and PUD development agreement (DRB and Town Council);
- d. Concurrent subdivision and density transfer, as applicable; and
- e. Final PUD review.

3. The primary steps in the MPUD Process are:

- a. Conceptual worksession (DRB and Town Council);
- b. Outline MPUD rezoning ordinance and outline PUD development agreement (DRB and Town Council);
- c. Final MPUD approval and final MPUD development agreement for all or portions of the outline MPUD (DRB and Town Council); and
- d. Subdivision and density transfer, as applicable.

4. **PUD Development Agreement Required.**

- a. An application for approval of a final PUD plan shall include a proposed PUD development agreement setting forth, at a minimum, the permitted uses, density, maximum building height and massing, zoning designations, CDC and Design Regulations variations, rezonings, density transfers, subdivisions, requirements for the construction of any public improvements and facilities, timetable and schedule of development, phasing requirements and conditions, any proposed conditions of approval and a statement establishing a vested property right.
- b. The final PUD development agreement and any other required legal instruments, including but not limited to subdivision plats, easements and maintenance agreements shall be executed by the owner(s) of the property included in the PUD development application, the Director of Community Development, the Town Manager and the Mayor and shall be recorded in the records of the San Miguel County Clerk and Recorder at the applicant's expense.

C. Applicability

The SPUD Process is available only for a single parcel of land or contiguous parcels of land, where the owner/owners of the site desire to develop the site as a unified development which achieves the goals of the Comprehensive Plan through the flexibility afforded by the SPUD Process. The MPUD Process is available only for a large-phased PUD project where the property included in the MPUD development application need not be contiguous and the owner/owners desire to achieve the goals of the Comprehensive Plan through the flexibility afforded by the MPUD Process. The SFPUD Process is available only for properties single-family lots of ~~five~~ six acres or more located entirely within the Single Family Zone District and for a single parcel of land or ~~continuous~~ contiguous parcels of land where the owner/owners of the site desire to develop the site as a unified development which achieves the goals of the Comprehensive Plan through the flexibility afforded by the SFPUD Process. To the extent of conflict between these PUD Regulations and C.R.S. 29-67-101 et seq., these regulations shall supersede that statute.

Comment [GVN2]: From 6/16 TC

D. Review Process

1. **SPUD:**

- a. **Step 1, Conceptual SPUD.** The conceptual SPUD is processed as a class 4 application.
 - i. The purpose of the conceptual SPUD is to provide the DRB, the Town Council, the applicant and the public an opportunity to engage in an exploratory discussion of the SPUD development proposal (including proposed uses, density, maximum building height and floor area and community benefits), to raise issues and concerns and to examine alternative approaches to development.
 - (a) The DRB shall focus its review and comments on design-related issues pursuant to the Design Regulations.
 - (b) The Town Council shall focus its review on the other issues associated with a SPUD, such as mass and scale, public benefits, density, and general conformance with the Comprehensive Plan.
 - ii. Conceptual SPUD approval authorizes the applicant to submit a sketch PUD development application.
 - iii. Conceptual SPUD approval is effective for a period of twelve (12) months from the date of approval, unless the Town Council, upon request of the applicant, grants an extension of the approval.
- b. **Step 2, Sketch SPUD.** The sketch SPUD is processed as a class 3 application.
 - i. The purpose of the sketch SPUD is for the applicant to present its development application to the DRB with Design Review Process plans that are designed/engineered solutions to the issues and concerns identified during the conceptual SPUD stage and to address the criteria for decision.
 - ii. Sketch SPUD approval authorizes the applicant to submit a final PUD application.
 - iii. Sketch SPUD approval shall be effective for a period of twelve (12) months from the date of approval, unless the DRB, upon request of the applicant, grants an extension of the approval.
- c. **Step 3, Final SPUD.** The final SPUD is processed as a class 4 application.
 - i. The purpose of the final SPUD is for the applicant to address to the DRB and Town Council, in a detailed manner, all issues and concerns raised during the sketch PUD stage and to present the Final SPUD plans and associated documents for consideration.
 - (a) The DRB shall focus its review and comments on design-related issues pursuant to the Design Regulations.
 - (b) The Town Council shall consider all issues associated with the SPUD, such as mass and scale, public benefits, density, and general conformance with the Comprehensive Plan.
 - ii. Final SPUD approval shall include approval of an ordinance rezoning the property to a SPUD and approving the SPUD development agreement.
 - iii. Final SPUD approval shall remain in effect for three (3) years following

the date of the Town Council ordinance approving the PUD, unless the time frame is extended by Town Council. The Town Council may approve a longer vesting period for a final SPUD based on unique circumstances or development objectives.

- d. **Concurrent Review.** Separate rezoning, density transfer and design review process development applications are not required to be submitted concurrent with a SPUD development application; such applications are considered a part of the overall SPUD development application process. If a subdivision is necessary for the proposed SPUD, a subdivision application shall be concurrently processed with a SPUD per the Subdivision Regulations.
- e. **Rezoning.** A SPUD application shall concurrently request to rezone to the PUD Zone District.
- f. **Final SPUD Development Agreement.**
 - i. The final SPUD development application shall be accompanied by a proposed development agreement for consideration by Town Council. The SPUD development agreement shall include:
 - (a) Proposed, permitted and accessory uses;
 - (b) Density and zoning designations;
 - (c) Maximum and average building heights;
 - (d) Floor area;
 - (e) Permitted variations to the CDC;
 - (f) Massing as reflected in associated design review plans;
 - (g) Required hotbed mix (if any per the Comprehensive Plan);
 - (h) Maximum building height and floor area;
 - (i) Any project phasing; and,
 - (g) A list of community benefits for the entire SPUD agreement, which specifies which dedications, conditions, contributions etc. are to be made and the triggers of such benefits in connection with any phasing of the project. The development agreement must specify the individual trigger for the required conveyance or payment of the listed community benefit. The final SPUD development agreement shall also address providing the needed requirements for security and completion and warranty of improvements as for any development.
- g. **Vested Rights.** Approval of a SPUD plan application by the Town Council may constitute a site-specific development plan and a vested property right if a developer requests such a concurrent vested property rights development application.

2. SFPUD Review Process:

- a. Step 1, Conceptual SFPUD. The conceptual SFPUD is processed as a class 4 application with the special notice requirements described in Section [17.4.4\(I\)3.d.](#)
 - i. The purpose of the conceptual SFPUD is to provide the DRB, the Town Council, the applicant and the public an opportunity to engage in an

exploratory discussion of the SFPUD development proposal (including proposed use subdivision, density, and community benefits), and to raise any other issues and concerns and to examine alternative approaches to development.

- (a) The DRB shall focus its review and comments on lot sizes, compatibility with the surrounding neighborhood, density, ~~compatibility with the surrounding neighborhood~~ as well as any design-related issues pursuant to the Design Regulations.
- (b) The Town Council shall focus its review and comments on the ~~other issues associated with a SFPUD, such as on~~ lot sizes, compatibility with the surrounding neighborhood, public benefits, density, and general conformance with the Comprehensive Plan.

- ii. Conceptual SFPUD approval authorizes the applicant to submit a ~~sketch~~final PUD development application.
- iii. Conceptual SFPUD approval is effective for a period of twelve (12) months from the date of approval, unless the Town Council, upon request of the applicant, grants an extension of the approval.

~~Step 2, Sketch SFPUD. The sketch SFPUD is processed as a class 3 application.~~

~~The purpose of the sketch SFPUD is for the applicant to present its development application to the DRB with Design Review Process plans that are designed/engineered solutions to the issues and concerns identified during the conceptual SFPUD stage and to address the criteria for decision.~~

~~Sketch SFPUD approval authorizes the applicant to submit a final PUD application.~~

~~Sketch SFPUD approval shall be effective for a period of twelve (12) months from the date of approval, unless the DRB, upon request of the applicant, grants an extension of the approval.~~

b. Step 32, Final SFPUD. The final SFPUD is processed as a class 4 application.

- i. The purpose of the final SFPUD is for the applicant to address to the DRB and Town Council, in a detailed manner, all issues and concerns raised during the conceptual PUD stage, ~~sketch PUD stage~~ and to present the Final SFPUD plans and associated documents for consideration.
 - (a) The DRB shall focus its review and comments on lot sizes, compatibility with the surrounding neighborhood, density, ~~compatibility with the surrounding neighborhood~~ as well as any design-related issues pursuant to the Design Regulations.
 - (b) The Town Council shall focus its review ~~on the other issues associated with a SFPUD, such as on~~ lot sizes, compatibility with the surrounding neighborhood, public benefits, density, and general conformance with the Comprehensive Plan.
- ii. Final SFPUD approval shall include approval of an ordinance approving

- the SFPUD, which may include a rezoning to Passive Open Space, subdivision and approving the SFPUD development agreement.
- iii. Final SFPUD approval shall remain in effect for three (3) years following the date of the Town Council ordinance approving the SFPUD, unless the time frame is extended by Town Council. The Town Council may approve a longer vesting period for a final SFPUD based on unique circumstances or development objectives.
- c. **Concurrent Review.** Separate rezoning, density transfer and design review process development applications are not required to be submitted concurrent with a SFPUD development application; such applications are considered a part of the overall SFPUD development application process. If a subdivision is necessary for the proposed SFPUD, a subdivision application shall be concurrently processed with a SFPUD per the Subdivision Regulations.
- d. **Rezoning.** A SFPUD application shall not be permitted to rezone to any category other than the Single Family Zone District or the Passive Open Space Zone District or a combination thereof.
- e. **Final SFPUD Development Agreement.**
- i. The final SFPUD development application shall be accompanied by a proposed development agreement for consideration by Town Council. The SFPUD development agreement shall include:
- (a) Proposed, permitted and accessory uses;
- (b) Density and zoning designations;
- (c) ~~Permitted~~Approved additional variations to the CDC;
- (d) Massing as reflected in associated design review plans;
- ~~Any project phasing; and;~~
- (e) A list of community benefits for the entire SFPUD agreement, which specifies which dedications, conditions, contributions etc. are to be made and the triggers of such benefits in connection with any phasing of the project. The development agreement must specify the individual trigger for the required conveyance or payment of the listed community benefit. The final SFPUD development agreement shall also address ~~providing~~the provision of the needed requirements for security and completion and warranty of improvements ~~as~~ for any development.
- f. **Vested Rights.** Approval of a SFPUD plan application by the Town Council may constitute a site-specific development plan and a vested property right if a developer requests such a concurrent vested property rights development application.

2.3. MPUD Review Process:

- a. **Step 1: Conceptual Worksession with Town Council.** A conceptual worksession application shall be submitted prior to submitting a MPUD development application to discuss overall proposed development, phasing, uses and densities and community benefits. No outline MPUD application may be submitted until the conceptual worksession has been completed.
- b. **Step 2: MPUD Development Application for Outline MPUD.** The outline

MPUD shall be processed as a class 5 application, with the following additional requirements:

- i. **Development Agreement.** The development application shall be accompanied by a proposed development agreement for consideration by Town Council. The MPUD development agreement shall include:
 - (a) Proposed, permitted and accessory uses;
 - (b) Density and zoning designations for each included parcel;
 - (c) Required hotbed mix (if any per the Comprehensive Plan);
 - (d) Maximum and average building heights;
 - (e) Floor area;
 - (f) Permitted variations to the CDC;
 - (g) The general building massing for each parcel include in the MPUD.
 - (h) Project phasing; and
 - (i) A list of community benefits for the entire MPUD shall be made a part of the development agreement, which specifies which dedications, conditions, etc. are to be made in connection with each parcel or phase of the project when brought in for final MPUD approval. The development agreement must specify the individual trigger for the required conveyance or payment of the listed community benefit.
- ii. **Density.** Allowed densities are approved subject to density transfer; applicant may choose to process a density transfer at this stage for all or a part of the entire property, which is the subject of the outline MPUD application.
- iii. **Rezoning.** A MPUD application shall concurrently request to rezone to the PUD Zone District.
- iv. **Application of Zoning Designations.** Zoning designations assigned to the property in a MPUD can occur at the outline MPUD stage or the final MPUD stage.
- v. **Subdivision.** Typically not addressed until final MPUD stage; however, applicant may choose to process a subdivision of all or a part of the entire property, which is the subject of the outline MPUD application.
- vi. **Town Council Action.** Town Council approves, with or without conditions of approval, or denies. The form of approval is a rezoning ordinance and an outline MPUD development agreement that shall be recorded in the records of the San Miguel County Clerk and Recorder.
- vii. **Vested Rights.** Approval of an outline MPUD plan application by the Town Council shall constitute a vested property right to the extent covered by the outline PUD development agreement, including zoning, permitted uses, density, maximum building height and floor area.
- viii. **Concurrent Review.** The owner or developer of a MPUD may submit concurrent development applications for density transfer, subdivision and design review that are processed concurrently with the final MPUD per the applicable Development Review Procedures. If not, then the required outline MPUD development agreement shall include a requirement to submit such applications in the future in a logical, phased manner.

- c. **Step 3: Final MPUD Plan Stage.** The final MPUD plan development applications shall be processed as a class 4 application to allow individual parcels or phases of the outline MPUD to be brought forward for final approval and development, with the following additional requirements:
 - i. **Final MPUD Plan Development Applications.** The final MPUD plan stage shall include subdivision, density transfer and Design Review Process applications (as set forth below), to the extent such applications have not already been approved for the site/phase under consideration pursuant to the outline MPUD Process.
 - (a) The Town Council’s approval of final MPUD plan development applications shall be by resolution recorded in the records of the San Miguel County Clerk and Recorder.
 - (b) In the event there is a conflict between the Development Review Procedures, regarding PUD development applications and the PUD Regulations, the PUD Regulations shall prevail.
 - ii. **Final MPUD Development Agreement.** This agreement is in addition to and supplements the outline MPUD development agreement, providing the needed requirements for security and completion and warranty of improvements as for any development. This agreement shall repeat the time frame for actual conveyance, construction or payment, as appropriate, and of the relevant community benefits for this phase or parcel, as originally set forth in the development agreement executed as a condition of outline MPUD approval.
 - iii. **Vested Rights.** Approval of a final PUD plan application by the Town Council shall constitute a site-specific development plan and a vested property right and replaces the vesting period given at the outline stage with respect to that phase, to the extent covered by the PUD development agreement, including zoning, permitted uses, density and building height and floor area.
 - iv. **Challenge.** The final MUPD plan approval is subject to review under C.R.C.P. §106(a)(4), but not subject to referendum.

E. Criteria for Decision

The following criteria shall be met for the review authority to approve ~~a rezoning to the PUD Zone District~~ PUD application and related concurrent applications, along with the associated PUD development agreement:

1. The proposed PUD is in general conformity with the policies, principles and standards set forth in the Comprehensive Plan;
2. The proposed PUD is consistent with the underlying zone district and zoning designations on the site or to be applied to the site unless the PUD is proposing a variation to such standards;
3. The development proposed for the PUD represents a creative approach to the development, use of land and related facilities to produce a better development than would otherwise be possible and will provide amenities for residents of the PUD and the public in general;
4. The proposed PUD is consistent with and furthers the PUD purposes and intent;

5. The PUD meets the PUD general standards;
6. The PUD provides adequate community benefits;
7. Adequate public facilities and services are or will be available to serve the intended land uses;
8. The proposed PUD shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and
9. The proposed PUD meets all applicable Town regulations and standards unless a PUD is proposing a variation to such standards.

F. PUD Relationship to the CDC

The development regulations and standards contained in an approved PUD and its associated development agreement shall supersede the provisions of the CDC to the extent of conflict. Where an approved PUD development agreement does not address specific CDC standards, the specific provisions contained in the CDC shall apply as determined by the Planning Division, subject to a final determination by the relevant review authority. In making this determination, the Planning Division and review authority shall consider the original intent of the PUD, the type of use, intensity of use, type of structure and similar factors to identify the situation covered by the CDC closest in comparison to the situation in the PUD. Notwithstanding the foregoing, when possible, the PUD and the CDC should be read to be consistent with one another.

G. PUD Community Benefits

1. One or more of the following community benefits shall be provided in determining whether any of the CDC requirements should be varied or if the rezoning to the PUD Zone District and concurrent (for SPUD) or subsequent (for MPUD) rezoning, subdivision, or density transfer request should be granted for a PUD:
 - a. Development of, or a contribution to, the development of public benefits or public improvements, or the attainment of principles, policies or actions envisioned in the Comprehensive Plan (unless prohibited under number 2 below), such as benefits identified in the public benefit table.
2. The provision of hotbeds, commercial area, workforce housing or the attainment of other subarea plan principles, policies and actions on development parcels identified in a subarea plan development table shall not be considered community benefits as required by this section, and are instead required in order to achieve general conformance with the Comprehensive Plan.
3. For SFPUD one or more of the following community benefits shall be provided in determining whether any of the CDC requirements should be varied or if a rezoning, subdivision or density transfer request should be granted for a SFPUD:
 - b. Rezoning to the Passive Open Space Zone District, contribution of Passive Open Space parcels to the Town, provision of additional workforce housing, the attainment of ~~principals~~principles, policies or actions envisioned in the Comprehensive Plan or such other community benefits as the Town Council determines necessary and appropriate under the circumstances.

e.a. _____

H. Comprehensive Plan Project Standards

Each final SPUD or MPUD plan shall include specific criteria and requirements to satisfy the following Comprehensive Plan project standards:

1. Visual impacts shall be minimized and mitigated to the extent practical, while also providing the targeted density identified in each subarea plan development table. It is understood that visual impacts will occur with development.
2. Appropriate scale and mass that fits the site(s) under review shall be provided.
3. Environmental and geotechnical impacts shall be avoided, minimized and mitigated, to the extent practical, consistent with the Comprehensive Plan, while also providing the

- target density identified in each subarea plan development table.
4. Site-specific issues such as, but not limited to the location of trash facilities, grease trap cleanouts, restaurant vents and access points shall be addressed to the satisfaction of the Town.
 5. The skier experience shall not be adversely affected, and any ski run width reductions or grade changes shall be within industry standards.

I. General Standards

1. **Authority to Initiate.** A development application for a PUD may be filed only by the owner(s) of fee title to all land to be included within such PUD or other person holding written consent thereto from the owner(s) of all land to be included in such PUD, or any combination thereof. No PUD may be approved without the written consent of the landowner(s) whose property is included in the PUD.
2. **Eligible Property.**
 - a. **SPUD.** A development application for a SPUD may be made for a single parcel of land or contiguous parcels of land controlled by a single landowner or by a group of landowners to be developed as a unified plan pursuant to the PUD Regulations.
 - b. **MPUD.** A development application for a MPUD may be made for either a single parcel of land, contiguous parcels of land or noncontiguous parcels of land controlled by a single landowner or by a group of landowners to be developed as a unified project.
 - b-c. **SFPUD.** A development application for a SFPUD may be made for a single parcel of land or contiguous parcels of land controlled by a single landowner or by a group of landowners to be developed as a unified plan pursuant to the PUD Regulations.
3. **Minimum PUD Size.** There is no minimum land area or property size to be included in a SPUD or MPUD application. For an SFPUD, the minimum land area or property size to be included in a SFPUD shall be ~~five~~ six (56) acres.
4. **Minimum Density.**
 - a. **SPUD.** The minimum density to be included in a SPUD is ten (10) dwelling units. Commercial, public and other non-residential projects may also be proposed as part of an SPUD.
 - b. **MPUD.** The minimum density to be included in a MPUD is fifty (50) dwelling units. Commercial, public and other non-residential projects may also be proposed as part of an MPUD.
 - b-c. **SFPUD.** The minimum density to be included in an SFPUD is two (2) dwelling units on lots that are a minimum of three (3) acres. The only non-residential elements which may be proposed as part of a SFPUD shall be Passive Open Space parcels.
5. **Rezoning Ordinance Required.** Any PUD application shall be required to request rezoning to the PUD Zone District as a part of the PUD Process. The PUD development review process is a Rezoning Process, and a concurrent rezoning development application shall not be required. Because a PUD results in a rezoning to the PUD Zone District, any final PUD approval shall be by ordinance.

Comment [GVN3]: 6/16 Town Council

Comment [GVN4]: 6/16 Town Council

- a. All ordinances for rezonings that change the zone district to PUD shall be accompanied by a map that shows the new zoning and the boundaries of such district.
- b. A PUD development agreement shall not become effective or be recorded until thirty (30) days after the date of the ordinance approving the same.

6. Prior-Approved PUDs.

- a. PUDs approved prior to the effective date of the CDC are valid and enforceable under the terms and conditions of the approved development agreements. Modifications to such PUDs may be proposed pursuant to the PUD amendment process.
- b. A developer of a PUD approved prior to the effective date of the CDC may propose to create a new PUD pursuant to the PUD Regulations following the process and requirements set forth herein.

7. Density Transfer. An increase in density shall require the transfer of density to the property from the density bank or other lot(s) within the town boundaries, except for the creation of additional workforce housing, subject to the workforce housing restriction.

- a. ~~For a SPUD, a separate density transfer development application is not required, however, if additional density is requested through an SPUD, such a request shall be made through the SPUD application.~~
- ~~a-b. For a SFPUD, a separate density transfer development application is not required, however, if additional density is requested through an SFPUD, such a request shall be made through the SFPUD application.~~
- b-c. For outline MPUD, the PUD development agreement shall require a separate density transfer application unless a concurrent density transfer is requested at the outline MPUD stage.
- e-d. All density transfer requests shall conform to the Density Limitation and the CDC.

8. Landscaping and Buffering. The landscaping and public spaces proposed for the PUD shall provide buffering of uses from one another to minimize adverse impacts and shall create attractive public spaces consistent with the character of the surrounding environment, neighborhood and area.

9. Infrastructure. The development proposed for the PUD shall include sufficient infrastructure, including but not limited to vehicular and pedestrian access, mass transit connections, parking, traffic circulation, fire access, water, sewer and other utilities.

10. Phasing. Each phase (if any) of the development proposed for the PUD shall be self-sufficient and not dependent upon later phases. Phases shall be structured so that the failure to develop subsequent phases shall not have any adverse impacts on the PUD, the surrounding environment, neighborhood and area.

J. Vested Rights

- 1. The PUD Zone District applied to property included in a PUD shall be valid in perpetuity unless the Town Council rezones such land to another zone district, upon application by the owner or on Town Council's own motion.
- ~~1-2.~~ The SFPUD zoning shall only be for Single Family Zone District, Deed Restricted and Passive Open Space

~~2.3.~~ The PUD development agreement shall establish a vested property right to allow for development envisioned in the PUD development agreement as provided for in the PUD Regulations.

~~3.4.~~ Upon the expiration of the vesting period set forth in the relevant PUD development agreement, the agreement shall require the owner(s) or developer(s) to submit a new SPUD or MPUD development application, as applicable, in order to proceed with development.

K. Guarantee of Public Improvements

A PUD developer shall be responsible for the construction of all infrastructure, public facilities and improvements that are necessary for the development of the PUD or that are required as a condition of approval of the PUD or by the CDC. The developer shall also be responsible for entering into an improvements agreement for the construction of public improvements in a form and amount satisfactory to the Town. The guarantee of public improvements shall be contained in the PUD development agreement and be in general conformance with the public improvements policy set forth in the Subdivision Regulations.

L. Enforcement of the PUD Plan

1. **By the Town.** The PUD development agreement shall run with and be a burden upon the land to which it applies. The rights and obligations set forth in the PUD development agreement shall run in favor of the Town and shall be enforceable at law or in equity by the Town without limitation on any power or regulation otherwise granted by law.
2. **By Residents, Occupants and Owners.** Those provisions of the PUD plan expressly running in favor of the residents, occupants and owners of the PUD, whether recorded by plat, covenant, easement or otherwise, may be enforced at law or in equity by such residents, occupants or owners acting individually, jointly or through an organization designated in the PUD plan to act on their behalf.
3. **Relinquishment of Resident and Owner Rights.** Residents and owners in a PUD may, to the extent and in the manner expressly authorized by the provisions of the PUD, modify, remove or release their rights to enforce the provisions of the plan, but no such action shall affect the right of the Town to enforce the provisions of the plan.

M. Modification or Revocation of a PUD by the Town

1. The PUD development agreement shall provide for the right of the Town to modify or revoke a PUD for failure to comply with specific PUD requirements.
 - a. In order to modify or revoke a PUD the Town shall follow the same Development Review Procedures required to create a PUD as outlined in the PUD Regulations.
 - b. The owner(s) of property within the PUD boundary shall be notified of any modification, revocation or rezoning initiated by the Town.
2. Any Town Council action modifying or revoking a PUD development agreement will leave the PUD Zone District, density and zoning designations on a site, nullify the PUD development agreement and shall require the submission of a new PUD development application to allow any further development. The modification or revocation shall consider the effect of the modification or revocation on the completed development areas within the PUD which have been issued a certificate of occupancy and sold to a bonafide

third party purchaser who is not affiliated with the original applicant or developer.

N. Planned Unit Development Amendment Process

1. Type of Amendment

- a. **Minor Amendments.** A proposed PUD amendment is considered minor, as determined by the Director of Community Development, if it meets the following criteria for decision:
 - i. The PUD amendment is not substantial and maintains the intent and integrity of the PUD development agreement and the associated plan sets, including but not limited to the required community benefits, or other public benefits or improvements outlined in the PUD development agreement;
 - ii. The PUD amendment does not change the density, zoning designation, increase the floor area or significantly alter any approved building scale and mass of the development; and
 - iii. The PUD amendment will not result in a net decrease in the amount of open space nor result in a change in character of any of the open space proposed within the PUD.
- b. **Major PUD Amendments.** A PUD amendment that is not classified as a minor amendment is considered a major amendment.

2. Review Process

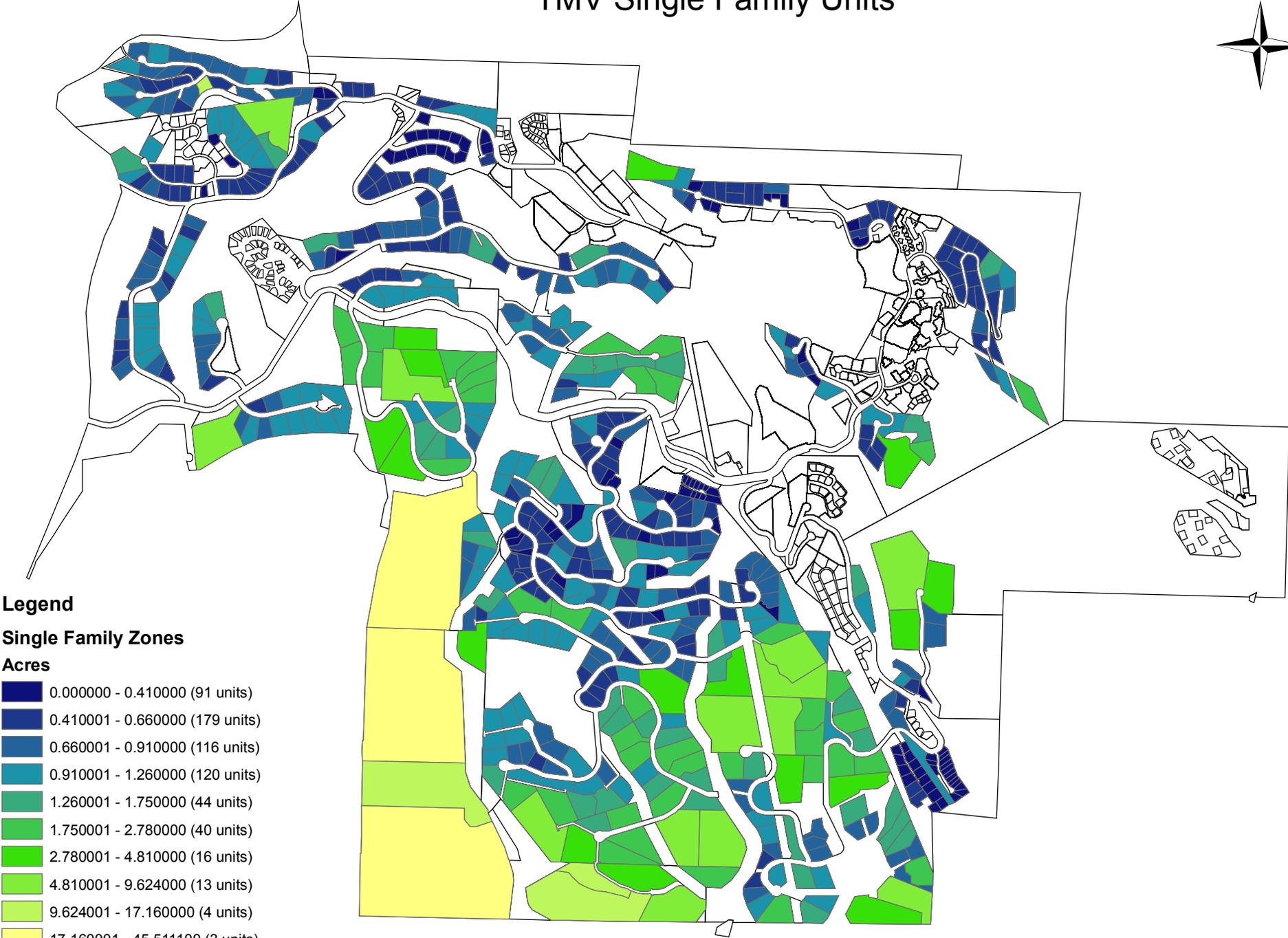
- a. **Minor Amendments.** Minor PUD amendment development applications shall be processed as class 1 development applications.
- b. **Major Amendments.** Major PUD amendment development applications shall be processed as class 4 development applications.

3. Authority to Initiate a PUD Amendment

- a. Amendments to a PUD plan may be initiated by any of the following persons or entities acting alone or together:
 - i. The owners of fee title to at least sixty-seven percent (67%) of the real property within the PUD;
 - ii. An individual or entity having written permission of the property owner(s) described in section I.1 above; or
 - iii. The Town.

4. Criteria for Decision. The criteria for decision for a PUD amendment are the same as for the creation of a PUD.

TMV Single Family Units



Legend

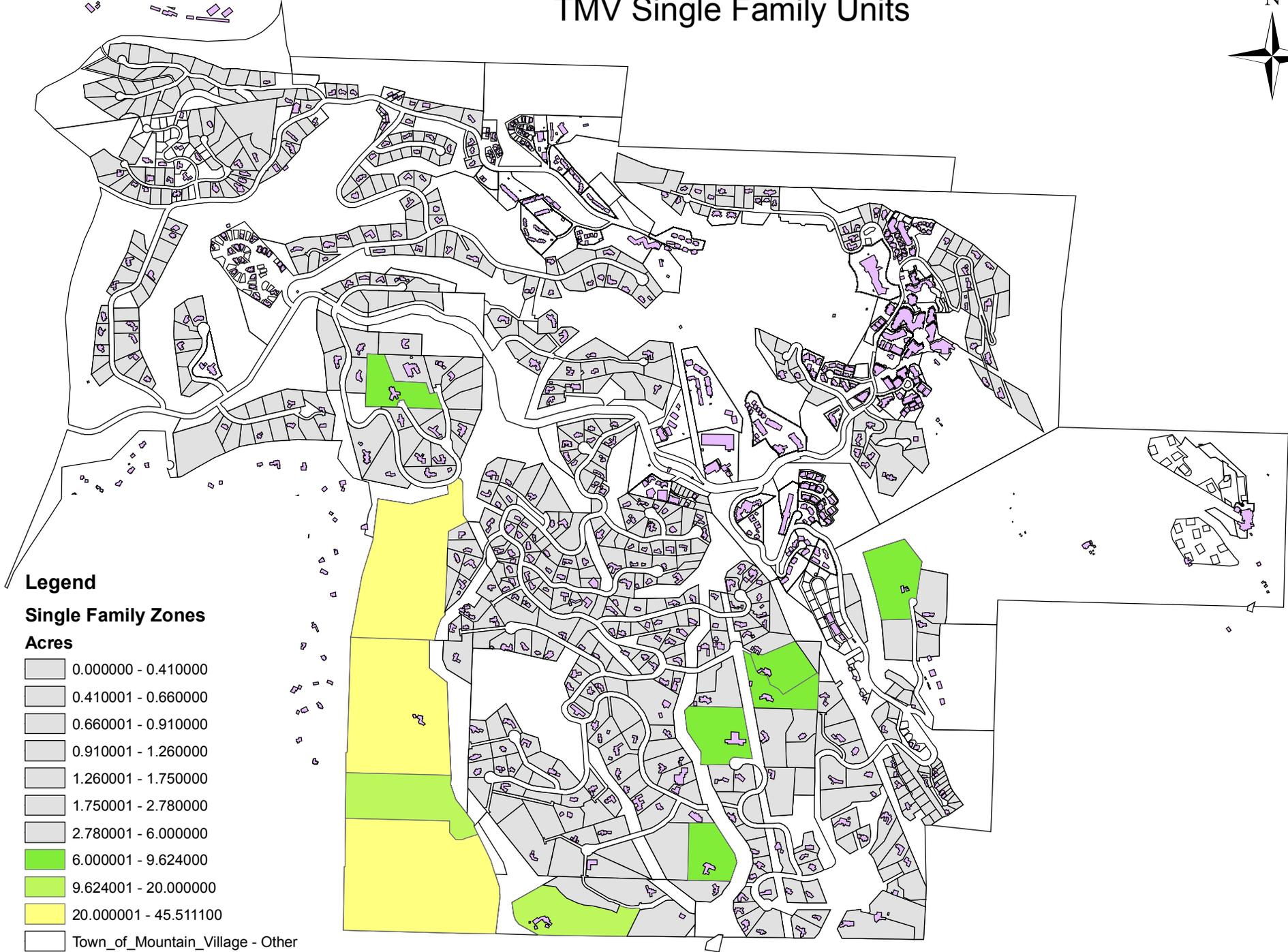
Single Family Zones

Acres

0.000000 - 0.410000	(91 units)
0.410001 - 0.660000	(179 units)
0.660001 - 0.910000	(116 units)
0.910001 - 1.260000	(120 units)
1.260001 - 1.750000	(44 units)
1.750001 - 2.780000	(40 units)
2.780001 - 4.810000	(16 units)
4.810001 - 9.624000	(13 units)
9.624001 - 17.160000	(4 units)
17.160001 - 45.511100	(3 units)
Town_of_Mountain_Village - Other	

0 0.25 0.5 1 Miles

TMV Single Family Units



Legend

Single Family Zones

- Acres
- 0.000000 - 0.410000
 - 0.410001 - 0.660000
 - 0.660001 - 0.910000
 - 0.910001 - 1.260000
 - 1.260001 - 1.750000
 - 1.750001 - 2.780000
 - 2.780001 - 6.000000
 - 6.000001 - 9.624000
 - 9.624001 - 20.000000
 - 20.000001 - 45.511100
- Town_of_Mountain_Village - Other
- Building_Outlines

0 0.25 0.5 1 Miles

From: [Dominic Mauriello](#)
To: [Glen Van Nimwegen](#)
Cc: [Kendra Carberry](#); jmahoney@jdreedlaw.com
Subject: Lot Splits - CDC Amendment
Date: Tuesday, June 28, 2016 9:21:25 AM

Hi Glen:

Thank you for speaking with me this morning. I will see you at the DRB meeting on July 7 around noon.

Thank you for coming up with some reasonable changes to the CDC that help address my clients' concerns. We appreciate the Town's efforts in this regard.

My clients are still concerned about the possible density increases that could occur if the larger estate lots were divided into 3-acre homesites. In order to prevent this potential large increase in density but still allow some reasonable subdivisions, we offer the following text change:

Page 93 (#3): "For an SFPUD, the minimum land area or property size to be included in a SFPUD shall be 6 acres with no resulting lot less than 3 acres, except that for Lots 376RA1, 387R1, 388, and 420R the minimum SFPUD size shall be 20-acres with no resulting lot less than 10 acres minimum."

Page 84 (C. Applicability) will also need to be amended to reflect the 6 acre and 20 acre minimum lot sizes.

Additionally, we think there should be a simple phrase added to the amendment that prevents future resubdivision of lots that were already resubdivided as an SFPUD. We offer the following proposed change:

Page 93 (#2c): "SFPUD. A development application for a SFPUD may be made for a single parcel of land or contiguous parcels of land controlled by a single landowner or by a group of landowners to be developed as a unified plan pursuant to the PUD Regulations. An application for an SFPUD may only be submitted or approved once for any parcel of land in order to prevent future resubdivision of the same parcel or parcels of land."

We believe there are other areas of the CDC that may need some minor revision to accommodate the changes being proposed by the Town such as definitions, vested rights, and the subdivision chapter.

Thank you again for the opportunity to participate in this revision process.

Please let me know if you have an additional questions or comments.

Dominic F. Mauriello, AICP
Mauriello Planning Group, LLC
PO Box 4777
2205 Eagle Ranch Road

Eagle, Colorado 81631

970-376-3318 cell

www.mpgvail.com



TO: Design Review Board

FROM: Dave Bangert, Senior Planner

FOR: Meeting of July 7, 2016

DATE: June 30, 2016

RE: Consideration of a Design Review Process application for a new single-family dwelling on Lot GH-15, 115 Cabins Lane

PROJECT GEOGRAPHY

Legal Description: Lot GH-15
Address: 115 Cabins Lane
Applicant/Agent: Matt Franklin Architect
Owner: Michael and Susan Magoline
Zoning: Single-Family Zone District
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: 0.21 acres
Adjacent Land Uses:

- **North:** Single-Family
- **South:** Single-Family
- **East:** Single-Family
- **West:** Open Space

ATTACHMENTS

- Exhibit A: Applicant Narrative
- Exhibit B: Plan Set

PROJECT SUMMARY

CDC Provision	Requirement	Proposed
Maximum Building Height	40' maximum (35'+5' for gable roof)	29' – 4.25"
Maximum Avg Building Height	35' maximum (30'+5' for gable roof)	21' – 7.125"
Maximum Lot Coverage	40% maximum	20.5%
General Easement Setbacks		
North	16' setback from lot line	1.3' to GE
South	16' setback from lot line	4.5' to Setback
East	16' setback from lot line	10.75' to Setback
West	16' setback from lot line	46.5" to GE
Roof Pitch		
Primary	6:12 to 12:12	12:12
Secondary	4:12 unless specific approval	4:12

Exterior Material		
Stone	35%	37.4%
Wood	25% (No requirement)	45.8%
Windows/Doors	40% maximum for windows	16.8%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

BACKGROUND

The proposed project consists of a 1,684 total square foot (580 sq. ft. garage) single-family home located on lot GH-15. The Design Review Board conducted a Conceptual Work Session for this project on July 30, 2015. The original design had two boulder retaining walls to the west and south of the proposed home. The new design has one small four foot boulder retaining wall on the south side of the proposed home and retaining walls on either side of the driveway.

17.3.12.C BUILDING HEIGHT LIMITS

The applicant has stated that the maximum building height will be 29’ – 4.25” and average building height is 21’ – 7.125”. Both maximum and average heights are well below the allowable limit.

17.5.5 BUILDING SITING DESIGN

Lot GH-15 is a small (0.21 acre) lot that slopes steeply from east to west with the majority of the disturbance on the eastern half of the lot facing Cabins Lane. The tree cover on the lot is a mix of spruce and sub alpine fir with some overstory aspen. The majority of these trees will be removed either for the home construction or wildfire mitigation. Positioning the proposed home close to Cabins Lane minimizes the disturbance on the lot and the need for excessive retainage as well as to comply with the Cabins at Gold Hill height requirements. There are proposed five’ to ten foot retaining walls for the driveway that extends into the eastern five foot setback. Outside of grading these are the only proposed encroachments into either the five foot setbacks or the 16’ General Easements. The north and south sides of the proposed home is within five feet of the northern GE and southern setback. Due to the foundation being within five feet of the General Easement this will require a monumented survey prior to pouring foundation footers. This is a condition of approval.

17.5.6 BUILDING DESIGN

Building Form and Exterior Wall Form

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick massed base.

Roof Forms, Design and Materials

The CDC allows for primary roof pitches to be between 6:12 and 12:12 and be gable in form, and secondary roofs will not have pitches less than 4:12 and be either gable or shed in form. The proposed roof forms are a combination of one primary gable and 3 sheds. The gable is a 12:12 pitch and all 3 shed roofs are 4:12 pitch. The roofing material proposed is corrugated rusty metal with snow fencing or cleats to protect against snow shedding.

Exterior Wall Materials

The exterior walls consist of 37.4%% stone (Telluride Gold with a medium mortar pattern); 45.8% plank horizontal wood siding (2 x 12” Doug fir Sashco Brown color) with white chinking; and 16.8% fenestration (aluminum clad windows in bronze).

17.5.7 GRADING AND DRAINAGE PLAN

The applicant has provided a grading and drainage plan prepared by Uncompahgre Engineering, LLC for the proposed development. Positive drainage away from the structure has been created with drainage going down the north and south sides of the structure. There is proposed grading in the northern GE and small unreinforced boulder wall on the south side of the structure. There is also 30” wide concrete v-pan with a 4” deep flowline between the driveway surface and Cabins Lane.

17.5.8 PARKING REGULATIONS

The unit is proposing two (2) indoor and two (2) outdoor surface parking spaces. The two exterior parking spaces both slightly encroach into the 5’ setback on the eastern side of the lot. The Design Review board should determine if this encroachment adversely affects the neighboring properties.

17.5.9 LANDSCAPING REGULATIONS

The proposed landscape plan shows three (3) 3” aspens, five (5) spruces, three at 8’ and two at 10’ which will need to be changed to a 12’ to meet code) and six (6) shrubs. The majority of the tree plantings will be in the northern GE to provide screening to San Juan and in the southern 5’ setback to screen the property next door. All plantings shall be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

Landscaping Type	Minimum Size
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.
Shrubs	5 gallon or larger massing of smaller shrubs

17.5.11 UTILITIES

Most of the utilities are located on the eastern side of the lot with minimal site disturbance. The electric, cable and telephone will come down from the pedestal on the northwest corner of the lot and go through the north side of the lot.

17.5.12 LIGHTING REGULATIONS

The proposed lighting plan includes just four (4) exterior sconces. Locations include egress, deck, garage and patio areas. Lighting is permitted in all proposed locations. All lighting has been designed as full cut-off fixtures with LED bulbs. All bulbs to be LED 10w, 2500K-2700K.

17.5.13.E.4 ADDRESS IDENTIFICATION SIGNS

The applicant has indicated that the address lettering will be on the structure rather than having a separate address monument.

17.6.6. B. DRIVEWAY STANDARDS

The driveway is fairly short due to the steepness on the lot as it leaves Cabins Lane. The driveway grades are at 4.6% for the south side and 7.7% for the north side of the driveway. The driveway width is 25', over the 12' width for single family homes but due to short driveway length it is appropriate for the design.

17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS

The applicant has indicated the fireplace will be a gas and not solid fuel-burning. Staff would note that in order to install a solid fuel-burning device (i.e., interior fireplace, wood burner or fireplace insert) in any structure in the Town, the Owner must have or obtain a permit from the Town.

17.7.19 CONSTRUCTION MITIGATION

The applicant is in the process of obtaining an agreement from Telluride Ski and Golf for the use of TSG parcel OS-166 for temporary construction staging for the new construction on GH-15. This agreement will be a condition prior to issuing a building permit. The rest of the proposed construction mitigation will be confined within the lot lines of GH-15 with no proposed use of the Cabins Lane Road Right of Way. There will be 70' radius crane to set the timber frame and sips panels. Flaggers will be provided to direct vehicles past the equipment and construction zone if necessary. At least one lane of Cabins Lane will remain open at all times and the crane will be removed at the end of each day to provide two-way traffic. There will be no construction parking on either Cabins Lane or San Juaquin Road.

PROPOSED VARIATIONS AND SPECIFIC APPROVALS

- Retaining walls in the eastern Setback.
- Driveway grades greater than 5% for first 20'.
- 25 foot wide driveway where 12 feet is the maximum.

RECOMMENDATION

Staff recommends the DRB approve the Design Review application for Lot GH-15 with the specific approvals and the following condition: Due to the foundation being within five feet of the General Easement this will require a monumented survey prior to pouring foundation footers.



711 E. Broadway Meridian, ID 83642

May 27, 2016

Ms. Savannah Jameson & Mr. Dave Bangert
Community Development Director & Town Forrester
Town of Mountain Village

Subject: Development Narrative for Lot GH15
Owner: Michael and Susan Magoline

The proposed development is to build a single family residence on lot GH15 Cabins Lane. The proposed configuration of the home consists of a main floor and second floor of living space above a daylight garage and entry. The garage access is on the downhill side of the slope with main access directly to the left through the entry/bunk room. There is also a secondary access to the main floor from the uphill side (rear) of the property.

Specifications and design criteria are listed on the following page.

A monitored fire sprinkler system is not required and will not be provided.

There are two variances we feel will be needed. One is for a small amount of grade work in the 5' setback area along the road in front of the home and to accommodate a bit of retaining wall in that area along the driveway to minimize the amount of grading needed. The second is to increase the 5% driveway grade for the first 20' up to 7.7%.

The proposed driveway will come off of Cabins Lane on the east side of the property and will provide the two required off road exterior parking areas. The grade of the driveway does not exceed 7.7%.

Thank you for your time and consideration,

Matthew Franklin, Architect
MTN Design
mfranklin@mtndesign.com
(208) 493-2692

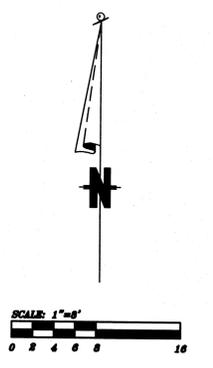
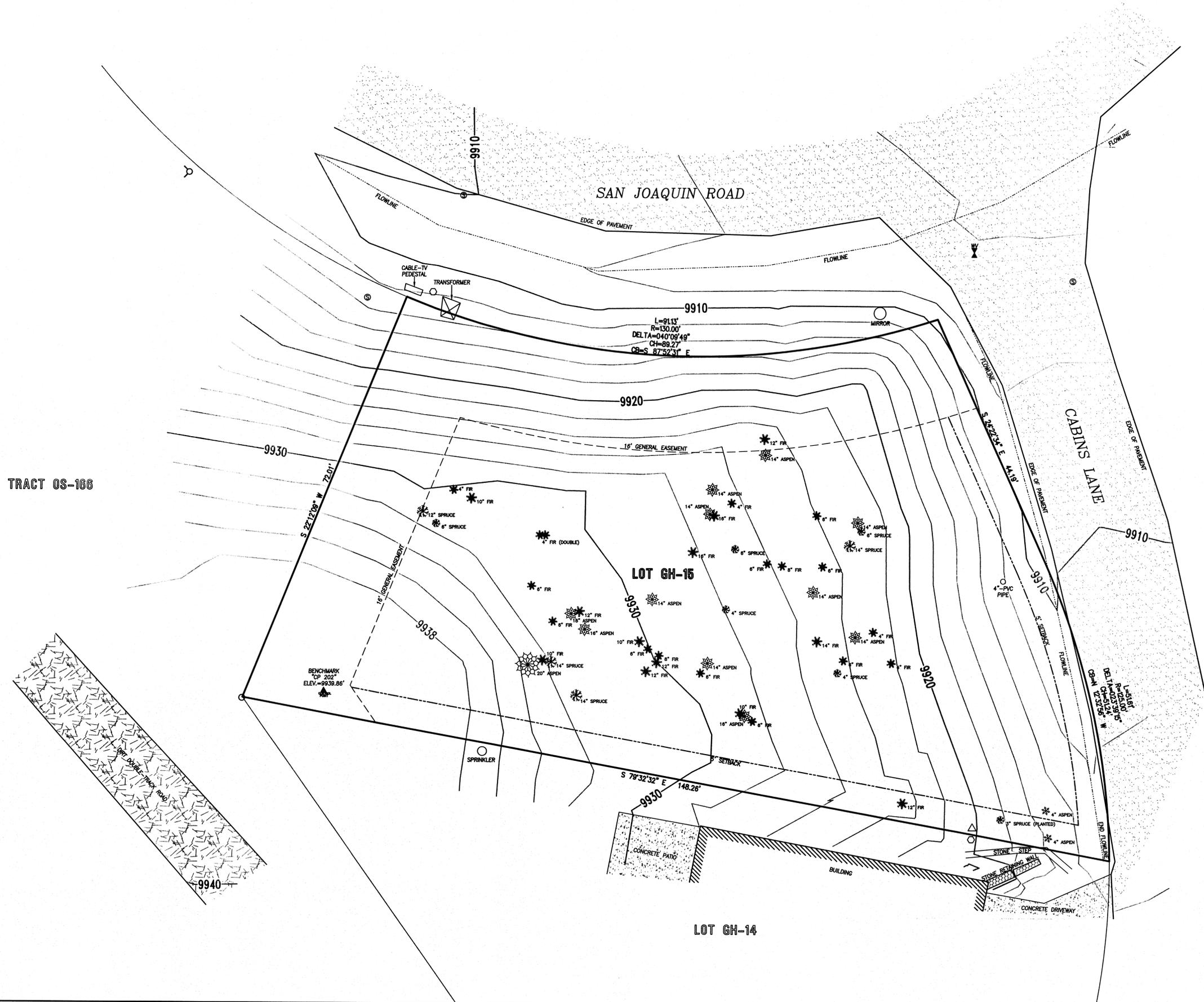
PROJECT GEOGRAPHY

Legal Description: Lot GH15, Telluride Mountain Village Filing No. 31
Address: Lot GH15 Cabins Lane, Mountain Village, CO
Applicant/Agent: Matthew C. Franklin, MTN Design
Owner: Michael & Susan Magoline
Zoning: Single-Family Zone District
Existing use: Vacant
Proposed use: Single-Family Residence
Lot size: .21 acres +/-

PROJECT SUMMARY

CDC Provision	Requirement	Proposed
Maximum Building Height	40' max. (35'+5' for gable roof)	29'-4 1/4"
Maximum Avg. Building Height	35' max. (30'+5' for gable roof)	21'-7 1/8"
Maximum Lot Coverage	40 % maximum	20.5%
General Easement Setbacks		
North	16'	
South	5'	
East	5'	
West	16'	
Roof Pitch		
Primary	6:12 to 12:12	12:12
Secondary	4:12 unless specific approval	4:12
Exterior Material		
Stone	35%	37.4%
Wood	25% (no requirement)	45.8%
Windows/Doors	40% maximum for windows	16.8%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

TRACT OS-166



LEGEND

- ⊕ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊗ SEWER MANHOLE
- TELEPHONE PEDESTAL
- CABLE-TV PEDESTAL
- FOUND REBAR WITH NO CAP

This topographic survey of Lot GH-15, Town of Mountain Village, was field surveyed on May 18, 2015 under the direct responsibility, supervision and checking of David R. Bulson of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37662

Date

NOTES:

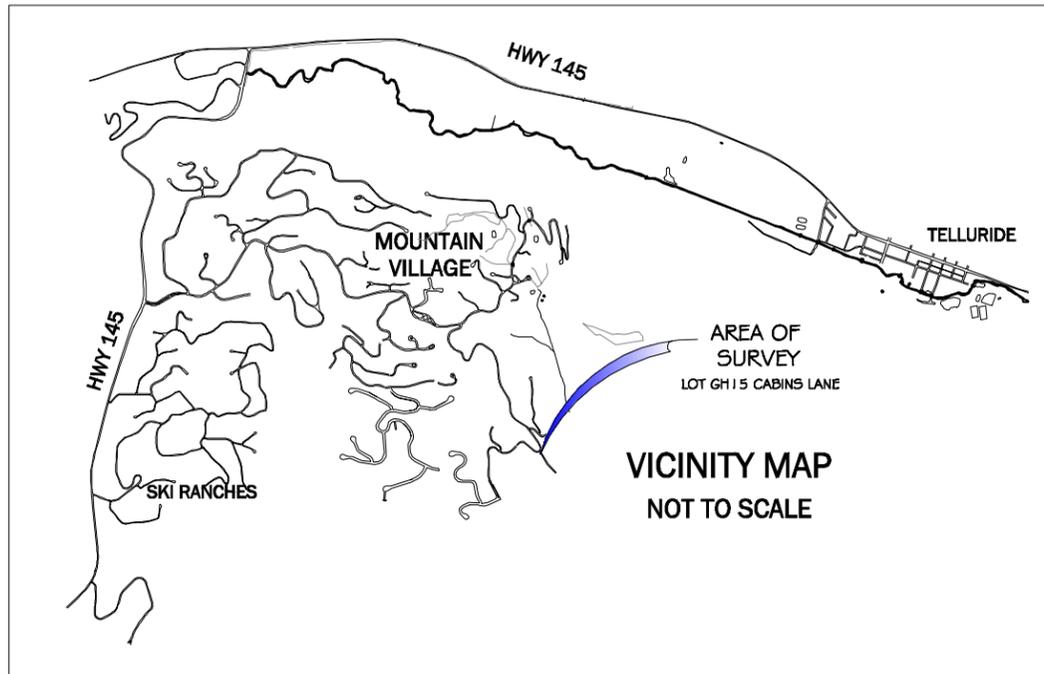
1. This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
2. Benchmark: Control point "CP 202", as shown hereon, with an elevation of 9939.86 feet.
3. Contour interval is two feet.
4. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Topographic Survey
 Lot GH-15, Town of Mountain Village,
 San Miguel County, Colorado.

Project Mgr	DB	Rev.	description	date	by
Technician	MC				
Technician					
Checked by	DS				
Start date	05/18/2015				

FOLEY ASSOCIATES, INC.
 ENGINEERING PLANNING SURVEYING

970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435



DRAWING INDEX:

CV	COVER SHEET
6PEC	SPECIFICATIONS & WINDOW/DOOR DETAILS
SITE	SITE PLAN/ FIRE MITIGATION PLAN
01	WINDOW SCHEDULE
10	BASEMENT PLAN
10e	BASEMENT ELECTRICAL & EXTERIOR LIGHTING PLAN
11	MAIN FLOOR PLAN
11e	MAIN FLOOR ELECTRICAL & EXTERIOR LIGHTING PLAN
12	SECOND FLOOR PLAN
12e	SECOND FLOOR ELECTRICAL & EXTERIOR LIGHTING PLAN
13	ROOF PLAN
21	BUILDING ELEVATIONS
22	BUILDING ELEVATIONS

CONTACT INFORMATION

ARCHITECT:	MATTHEW C. FRANKLIN MTN DESIGN 711 E. BROADWAY MERIDIAN, ID 83642 (208) 493-2692
SURVEYOR:	DAVID BULSON FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 TELLURIDE, CO 81435 (970) 728-6153
CIVIL ENGINEER:	DAVID BALLODE UNCOMPAGRE ENGINEERING PO BOX 3945 TELLURIDE, CO 81435 (970) 729-0683
LANDSCAPE DESIGNER:	LARRY SCANLON SCANLON DESIGNS TELLURIDE, CO 81435 (970) 708-2088

**MIKE & SUSAN
MAGOLINE**

PROJECT INFORMATION

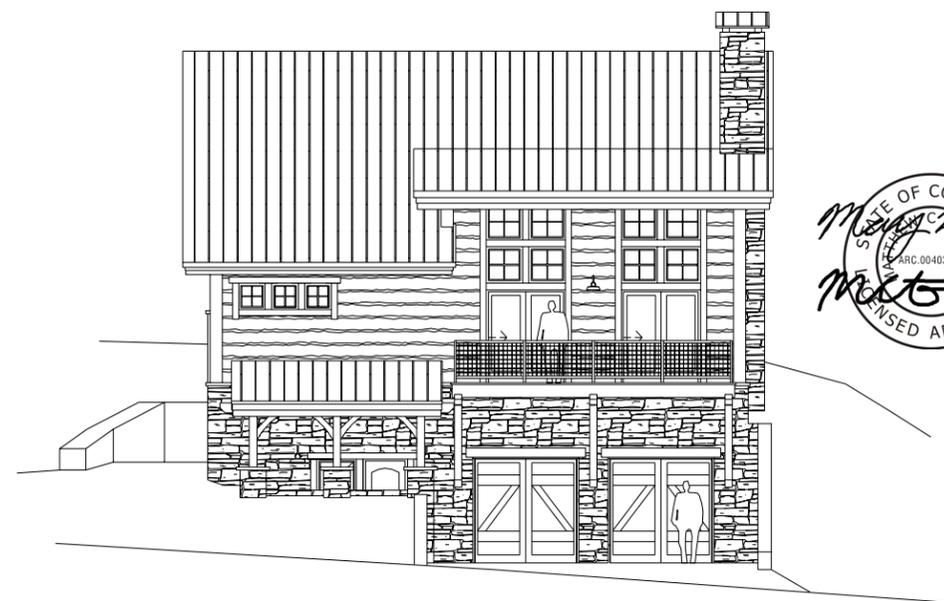
ADDRESS:	LOT GH-15 CABINS LANE
LOCATION:	TOWN OF MOUNTAIN VILLAGE, CO
JURISDICTION:	SAN MIGUEL COUNTY
CONTACT INFO:	RANDY KEE 970-369-8246

DESIGN CRITERIA

CODE REQUIRED:	2012 IRC
GROUND SNOW LOAD:	130 LBS
WIND LOAD:	90 MPH, EXP. B
SEISMIC ZONE:	1
FROST DEPTH:	48"
ENG STAMP REQUIRED:	YES
ARCH STAMP REQUIRED:	YES
SITE PLAN REQUIRED:	YES
WINDOW MANUFACTURER:	WINDSOR U.N.O
ELEVATION:	9924'



PRECISIONCRAFT
LOG & TIMBER HOMES



DESIGN PHASE		
DRAWN:	DATE:	CHKD:
MCF	7.17.15	
MCF	2.19.16	
DESIGN REV. PHASE		
DR/COI	3.28.16	
DESIGN REV. APP.		
MCF	5.27.16	CP
FINALS PHASE		
-	-	
SHOP DRAWINGS		
-	-	

PROJECT: 15-005

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**PRELIMINARY
NOT FOR
CONSTRUCTION**

SCALE: NA

CV

SHEET



MATERIALS PACKAGE SPECIFICATIONS

MATERIALS PACKAGE

- **TRUSSES:**
11"x11" Rectangular DOUG FIR FOHC
TEXTURING: NONE
LOCATION: PER PLAN
- **TIMBERFRAME:**
11"x11" Rectangular DOUG FIR FOHC
1"x9" Rectangular DOUG FIR FOHC
1"x7" Rectangular DOUG FIR FOHC
5"x7" Rectangular DOUG FIR FOHC
TEXTURING: NONE
LOCATION: PER PLAN
- **MATERIAL SPECS**
EDGE STYLE: DRAWKNIFED CORNERS
FINISH: NONE
CARVING: NONE
- **INSULSPAN SIP PANELS**
WALL PANEL: 6-1/2" - NON-BORATE - 5/8" SHIM
ROOF PANEL: 12-1/4" - NON-BORATE - 1/8" SHIM
LOCATION: Per plan (RTA=Ready To Assemble)
- **PLASTISPAN**
HD Type II 3"
- **ADVANTAGE ICF**
ICF WIDTH: 13-1/4" x 8" STEM WALL
ICF HEIGHT: 16-1/2"
LOCATION: FOUNDATION WALLS PER PLAN

DFOHC - HEADER GRADE OR BETTER (U.N.O.)

GRADING STANDARDS:

ALL LOG MATERIALS ARE GRADED IN ACCORDANCE WITH THE GRADING RULES OF THE LOG HOME COUNCIL AND ASTM STANDARD D-3957, UNLESS OTHERWISE SPECIFIED THE LOG/TIMBER MATERIALS PROVIDED (LISTED ABOVE; REFER TO PLANS AND SHT. MPI FOR LOCATIONS) WILL BE WALL GRADE OR BETTER
-TRUSS MEMBERS ARE TO BE HEADER GRADE OR BETTER
-MEMBERS WITH ARCH CUTS TO BE WALL GRADE OR BETTER (U.N.O.)



INTERIOR FINISHES		
GREAT ROOM	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT:	HARDWOOD FLOOR DRYWALL (SKIP TROWEL) T&G
KITCHEN	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT: COUNTERTOP TREATMENT:	HARDWOOD FLOOR DRYWALL (SKIP TROWEL) T&G SOLID SURFACE (GRANITE)
LAUNDRY	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT: COUNTERTOP TREATMENT:	TILE DRYWALL (SKIP TROWEL) DRYWALL (SKIP TROWEL) SOLID SURFACE (GRANITE)
BATH #1	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT: COUNTERTOP TREATMENT:	TILE DRYWALL (SKIP TROWEL) DRYWALL (SKIP TROWEL) SOLID SURFACE (GRANITE)
BEDROOM #2	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT:	CARPET DRYWALL (SKIP TROWEL) DRYWALL (SKIP TROWEL)
MASTER BEDROOM	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT:	CARPET DRYWALL (SKIP TROWEL) T&G
MASTER BATHROOM	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT: COUNTERTOP TREATMENT:	TILE DRYWALL (SKIP TROWEL) T&G SOLID SURFACE (GRANITE)
MASTER CLOSET	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT:	CARPET DRYWALL (SKIP TROWEL) T&G
BUNK ROOM	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT:	CARPET DRYWALL (SKIP TROWEL) DRYWALL (SKIP TROWEL)
BATH #2	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT: COUNTERTOP TREATMENT:	TILE DRYWALL (SKIP TROWEL) DRYWALL (SKIP TROWEL) SOLID SURFACE (GRANITE)
STAIRS	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT:	HARDWOOD FLOOR DRYWALL (SKIP TROWEL) DRYWALL (SKIP TROWEL)
GARAGE	FLOOR TREATMENT: WALL TREATMENT: CEILING TREATMENT:	CONCRETE (FLOAT FINISH) DRYWALL (SKIP TROWEL) TYPE-X DRYWALL (SKIP TROWEL) TYPE-X

NOTE: ALL MATERIALS & SYSTEMS TO BE VERIFIED WITH OWNERS

EXTERIOR FINISHES		
STONE	STONE TYPE:	NATURAL STONE
SIDING	WALLS:	HORIZONTAL PLANK SIDING W/ CHINKING
ROOFING	MAIN: ENTRY ROOF:	RUSTED CORRUGATED METAL RUSTED CORRUGATED METAL
RAILING	INTERIOR: EXTERIOR:	WROUGHT IRON RAILING WROUGHT IRON RAILING
PATIOS		CONCRETE (BROOM FINISH)
DECKS		COMPOSITE DECKING TREATED JOISTS
EAVES	SOFFIT: FASCIA:	PINE T&G 1X CEDAR BUILD UP

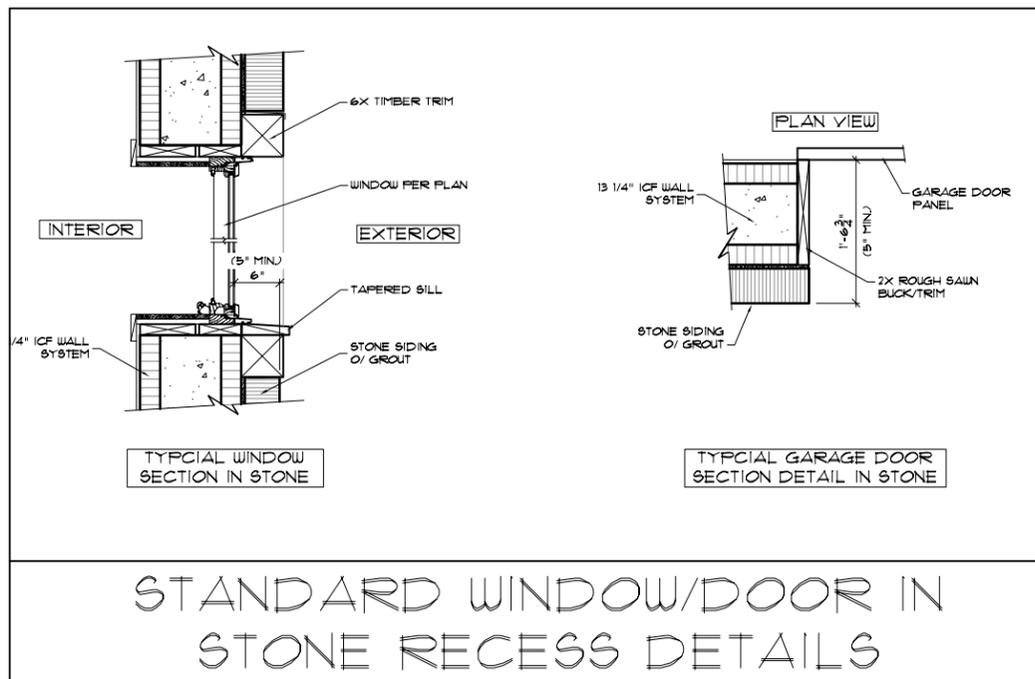
NOTE: VERIFY MATERIAL LOCATIONS WITH ELEVATIONS

MECHANICAL SYSTEMS		
HEATING/ APPLIANCES	HEATING: AIR CONDITIONING: AIR EXCHANGER: RANGE:	FORCED AIR YES YES GAS
FIREPLACES	APPLIANCES: GREAT ROOM:	TO BE DETERMINED GAS
WATER/WASTE	WATER SUPPLY: WASTE REMOVAL:	CITY SEWER
FIRE SUPPRESS	FIRE SPRINKLERS:	NOT REQUIRED

INSULATION R-VALUES		
INSULATION	FLOORS: FRAMED WALLS: CEILING: SLABS:	R-30 MIN. R-20 + R-5 MIN. R-49 MIN. R-10 MIN.

CONSTRUCTION SYSTEMS		
ROOF	MAIN: ENTRY ROOF:	12 1/4" SIPs 2X DIMENSIONAL
FLOORS		TJI JOISTS
EXT WALLS		6 1/2" SIPs
STEM WALLS		13 1/4" ICF CONCRETE WALL 13 1/4" ICF CONCRETE WALL

NOTE: VERIFY CONSTRUCTION SYSTEMS WITH PLANS



INSTALLATION

- ◆ INSTALLATION OF MATERIALS DEPICTED ON SHEET MP2 & SFI PERFORMED BY MATERIALS PROVIDER (REFER TO CONTRACT)
- ◆ INSTALLATION OF MATERIALS DEPICTED ON SHEET MP3 & ICFI PERFORMED BY OWNERS BUILDER OR PARTIES OTHER THAN MATERIALS PROVIDER (REFER TO CONTRACT)

RESIDENCE VENTILATION NOTE

A MECHANICAL VENTILATION SYSTEM IS REQUIRED TO PROVIDE AIR MOVEMENT AND REMOVE HUMIDITY. EXCESS HUMIDITY IN THE HOME COULD RESULT IN A BUILD UP OF WATER VAPOR IN UNWANTED AREAS CAUSING SEVERE DAMAGE TO THE STRUCTURAL INSULATED PANEL OR OTHER BUILDING MATERIALS



**MIKE & SUSAN
MAGOLINE**

DESIGN PHASE		
DRAWN:	DATE:	CHKCD
MCF	1.17.15	
MCF	2.19.16	
DESIGN REV. PHASE		
DR/COI	3.28.16	
DESIGN REV. APP.		
MCF	5.27.16	CP
FINALS PHASE		
-	-	
SHOP DRAWINGS		
-	-	

PROJECT: 15-005



**PRELIMINARY
NOT FOR
CONSTRUCTION**

SCALE: NA

SPEC

SHEET





FIRE MITIGATION PLAN PROVISIONS



MIKE & SUSAN MAGOLINE

- SPRUCE TREE, NUMBER INDICATES CALIPER
- ASPEN TREE, NUMBER INDICATES CALIPER
- FIR TREE, NUMBER INDICATES CALIPER
- SPRUCE TREE TO BE REMOVED FOR FIRE MITIGATION PLAN
- ASPEN TREE TO BE REMOVED FOR FIRE MITIGATION PLAN
- FIR TREE TO BE REMOVED FOR FIRE MITIGATION PLAN

- ZONE 1 FIRE MITIGATION PROVISIONS:**
- ALL SLASH AND FLAMMABLE VEGETATION AS IDENTIFIED BY STAFF SHALL BE REMOVED.
 - ALL TREES AND SHRUBS WITHIN ZONE 1 SHALL BE REMOVED. (SEE MARKED TREES ON PLAN)
- THE FOLLOWING EXCEPTIONS APPLY TO ZONE 1:
- A TREE OR SHRUB MAY REMAIN WITHIN ZONE 1 PROVIDED THE DEFENSIBLE SPACE DISTANCE IS MEASURED COMMENCING FROM THE VEGETATION'S DRIP EDGE RATHER THAN FROM THE BUILDING PLANE, AND PROVIDED THE DISTANCE IS NOT LIMITED BY A LOT LINE.
 - FLAMMABLE VEGETATION SHALL BE ALLOWED IN PLANTERS ATTACHED TO THE BUILDING SO LONG AS THE PLANTER IS WITHIN TEN FEET OF A BUILDING AND VEGETATION IS NOT PLANTED DIRECTLY BENEATH WINDOWS OR NEXT TO FOUNDATION VENTS.

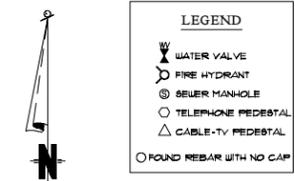
- ZONE 2 FIRE MITIGATION PROVISIONS:**
- DOMINANT AND CODOMINANT LIVE TREES WITH A DBH OF FOUR INCHES OR GREATER SHALL BE SPACED WITH A TEN FOOT CROWN-TO-CROWN SEPARATION. ALL LADDER FUEL AND SLASH SHALL BE REMOVED FROM THE 10 FOOT CROWN-TO-CROWN SEPARATION AREA.
 - ALL STRESSED, DISEASED, DEAD OR DYING TREES AND SHRUBS AS IDENTIFIED BY STAFF SHALL BE REMOVED EXCEPT FOR STANDING DEAD TREES THAT STAFF INDICATES NEED TO BE MAINTAINED SINCE STANDING DEAD TREES PROVIDE IMPORTANT WILDLIFE HABITAT.
 - SHRUBS OVER FIVE FEET TALL SHALL HAVE AN AVERAGE SPACING OF TEN FEET FROM SHRUB-TO-SHRUB.

- THE FOLLOWING EXCEPTIONS APPLY TO ZONE 2:
- GROUPINGS OF TREES OR SHRUBS MAY BE ALLOWED PROVIDED THAT ALL OF THE CROWNS IN SUCH GROUPS OF TREES OR THE EDGE OF THE SHRUBS ARE SPACED TEN FEET FROM CROWN-TO-CROWN OR FROM EDGE OF SHRUB TO ANY TREES OR SHRUBS OUTSIDE OF SUCH GROUPINGS.
 - ASPENS, NARROWLEAF COTTONWOODS, WILLOWS AND OTHER TREES AND SHRUBS LISTED IN COU COOPERATIVE EXTENSION PUBLICATION #309, FIREWISE PLANT MATERIALS AS ADVANCED FROM THE LIST MAY BE SPACED CLOSER THAN THE TEN FOOT CROWN-TO-CROWN SEPARATION AS APPROVED BY STAFF.
 - CLOSER SPACING OF ANY TREES MAY BE ALLOWED BY STAFF UPON A DETERMINATION THAT THE REQUIRED TEN FOOT CROWN-TO-CROWN SPACING WOULD PUT THE REMAINING TREES AT UNLIE RISK OF WIND-THROW OR SNOW BREAKAGE.
 - TREE REMOVAL FOR THE CREATION OF DEFENSIBLE SPACE, IF SUCH TREE REMOVAL IS DETERMINED TO BE IMPRACTICAL BY THE TOWN DUE TO STEEP SLOPES, WETLAND OR OTHER ENVIRONMENTAL CONSTRAINTS, AND OTHER MITIGATION IS PROVIDED.

TREES REMAINING WITHIN ZONE 2 SHALL HAVE BRANCHES PRUNED TO A HEIGHT OF TEN FEET; BUT NOTWITHSTANDING SAID HEIGHT REQUIREMENT, BRANCHES NEED NOT BE PRUNED TO MORE THAN ONE-THIRD OF THE TREE HEIGHT WITH THE FOLLOWING EXCEPTIONS OF ASPEN TREES AND ISOLATED SPRUCE AND FIR TREES.

CHIPPED WOOD AND SMALL TRIMMER MAY BE SPREAD THROUGHOUT EITHER ZONE 2 OR ZONE 3 PROVIDED THE WOOD CHIPS HAVE A MAXIMUM DEPTH OF TWO TO THREE INCHES AND SMALL TRIMMER HAS A DIAMETER OF THREE INCHES OR LESS AND IS CUT UP INTO LENGTHS THAT ARE THREE FEET OR LESS.

- ZONE 3 FIRE MITIGATION PROVISIONS:**
- ALL DISEASED, BEETLE INFESTED, DEAD OR DYING TREES, AS IDENTIFIED BY STAFF, SHALL BE REMOVED EXCEPT FOR STANDING DEAD TREES THAT THE STAFF INDICATES NEED TO BE MAINTAINED SINCE STANDING DEAD TREES PROVIDE IMPORTANT WILDLIFE HABITAT.



TOTAL LOT SQUARE FOOTAGE - 9283 SQFT.
BUILDING SQUARE FOOTAGE - 1074 SQFT.
COVERED ENTRYWAY - 90 SQFT.
REAR ENTRANCEWAY - 9 SQFT.
DRIVEWAY SQUARE FOOTAGE - 950 SQFT.
TOTAL LOT COVERAGE - 1869 SQFT.
1869 SQFT / 9283 SQFT = 20.1% LOT COVERAGE
ALLOWABLE COVERAGE IS 40%

MAXIMUM BUILDING HEIGHT ABOVE MOST RESTRICTIVE GRADE (PROPOSED) IS 21'-10 1/4"
AVERAGE BUILDING HEIGHT IS 20'-8 3/8"
SEE SHEET 13 (ROOF PLAN)

- (1) COVERED PARKING SPACES REQUIRED
- (2) OFF ROAD PARKING SPACES REQUIRED

This topographic survey of Lot GH-15, Town of Mountain Village, was field surveyed on May 18, 2015 under the direct responsibility, supervision and checking of David R. Bulson of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37662 Date

- NOTES:
- This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
 - Benchmark: Control point "CP 202", as shown hereon, with an elevation of 9939.86 feet.
 - Contour interval is two feet.
 - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

DESIGN PHASE		
DRAWN:	DATE:	CHKD:
MCF	7.17.15	
MCF	2.19.16	
DESIGN REV. PHASE		
DR/COI	3.28.16	
DESIGN REV. APP.		
MCF	5.27.16	CP
FINALS PHASE		
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SHOP DRAWINGS

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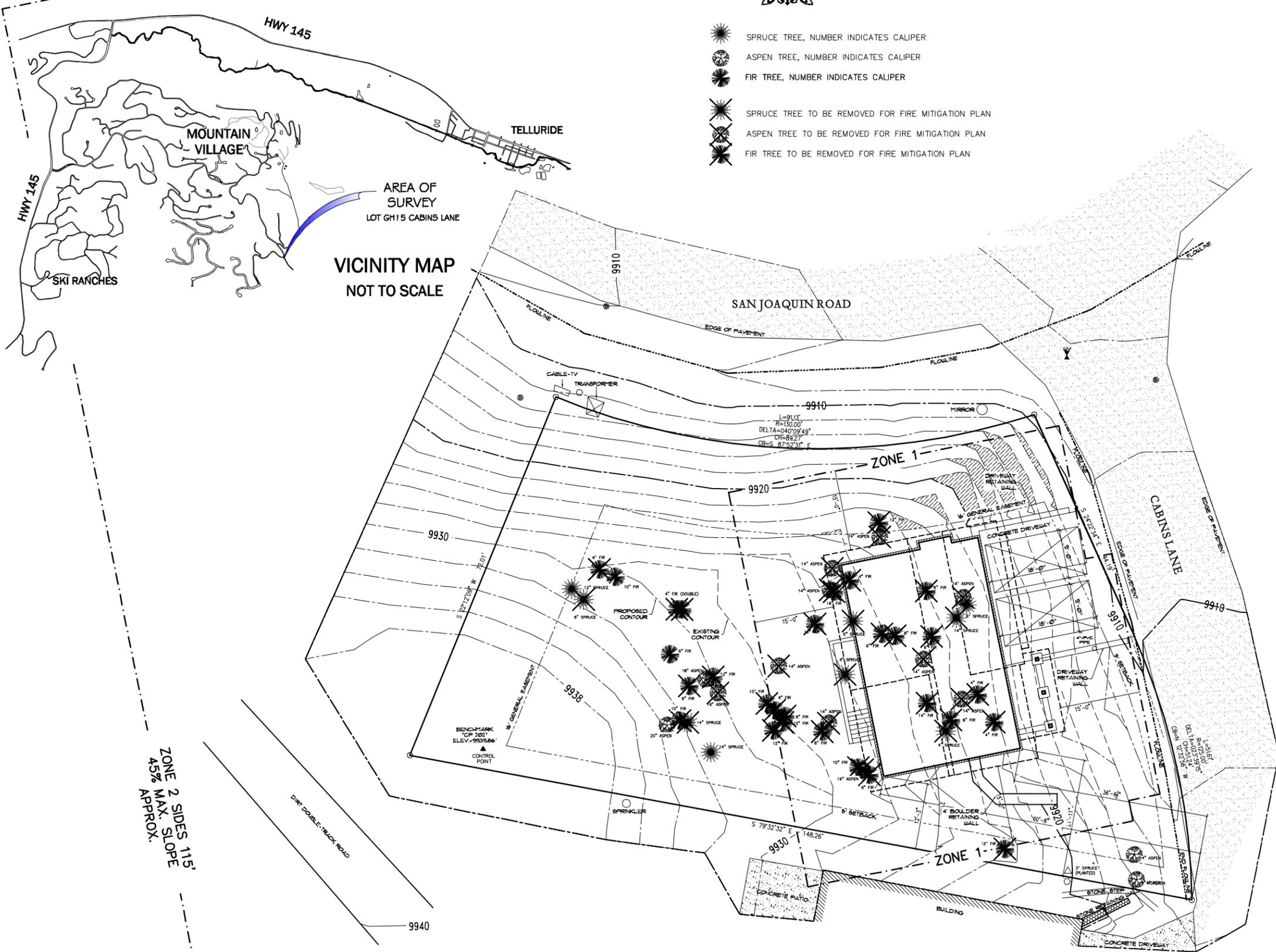
PROJECT: 15-005

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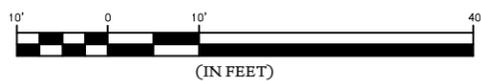
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SITE
SHEET



ZONE 2 SIDES 115'
45% MAX. SLOPE
APPROX.

SITE PLAN & FIRE MITIGATION PLAN



GENERAL FOUNDATION NOTES:

- THIS IS A SUGGESTED FOUNDATION PLAN ONLY AND IS SUBJECT TO APPROVAL BY THE LOCAL ENFORCEMENT AGENCY. FOUNDATION AND OTHER SITE CONCRETE WORK SHALL BE DESIGNED FOR LOCAL SOIL BEARING CONDITIONS AND FURNISHED AND INSTALLED BY THE SITE CONTRACTOR. FOUNDATION STRUCTURE IS BASED ON THE USE OF SPREAD FOOTINGS AT A MAXIMUM SOIL BEARING PRESSURE OF 1500 POUNDS PER SQUARE FOOT.
- ALL FOOTINGS SHALL BEAR ON SOLID, UNDISTURBED EARTH.
- IF SOIL IS DISTURBED, COMPACT SOIL IN 6" LIFTS TO 95% MAXIMUM DRY DENSITY PER ASTM D698.
- CONTRACTOR TO NOTIFY DESIGNER IF SOIL CONDITIONS ARE ENCOUNTERED WHICH MAY REQUIRE A LOWER ASSUMED SOIL BEARING PRESSURE (SUCH AS CLAYS, SILTS, OR ORGANICS).
- SEE COVER SHEET FOR MINIMUM FOOTING DEPTH BELOW GRADE.
- ALL CONCRETE PLACEMENT AND REINFORCEMENT COVER SHALL CONFORM TO ACI 318.
- CONCRETE FORM WORK TO BE OF ADEQUATE STRENGTH AND PROPERLY BRACED TO PREVENT SAGGING OR BULGING.
- PROTECT ALL CONCRETE FROM FREEZING TEMPERATURES.
- REINFORCING STEEL SHALL BE CONTINUOUS THROUGH ALL COLD JOINTS.
- FOOTING STEPS SHALL BE STEPPED A MAXIMUM OF (2) VERTICALLY TO (10) HORIZONTALLY.
- ALL CONCRETE SHALL HAVE A MINIMUM OF 2500 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS.
- REINFORCEMENT SHALL BE ASTM A615, GRADE 40 MINIMUM FOR #4 BARS AND SMALLER, AND GRADE 60 FOR #5 BARS AND LARGER. WALL REINFORCING SHALL BE DEFORMED STEEL BARS WITH A MINIMUM TENSILE STRENGTH OF 60000 P.S.I.
- LAP ALL BARS 40 DIAMETERS (MIN. 12") ALL SPLICES.
- INSTALL #4 STEEL AT TOP AND BOTTOM OF ALL INTERSECTING CONCRETE WALLS. HOOK 12" INTO WALLS.
- ALL SLABS ON GRADE SHALL BEAR ON 4" COMPACTED GRANULAR FILL WITH 6x6x10 (WUM), OR EQUIVALENT, WELDED WIRE MESH TO CONFORM TO ASTM A185-64.
- INTERIOR SLABS SHALL HAVE MIN. 6 MIL. POLYETHYLENE VAPOR RETARDER UNDERNEATH.
- TOP OF FOUNDATION WALLS MUST BE SET LEVEL AND TRUE BY BUILDERS LEVEL AND/OR TRANSIT TO ASSURE PROPER SETTING OF FRAMING, SIPS, LOGS AND/OR TIMBERS MEMBERS.
- ANCHOR BOLTS SHALL BE ASTM A307. REFER TO FOUNDATION/BOLT PLAN FOR PLACEMENT. BOLTS SHALL HAVE A 1" MINIMUM EMBEDMENT DEPTH, (UNO). USE 3/8" DIA L- OR J- TYPE ANCHORS BOLTS.
- ANCHOR BOLTS TO BE WITHIN 1'-0" OF SILL PLATE ENDS, WITH A MINIMUM OF TWO PER WALL, AND NO CLOSER THAN 6" FROM CONCRETE WALL CORNERS.
- PROVIDE AN ADEQUATE DRAINAGE SYSTEM BEHIND ALL WALLS AS REQUIRED TO ALLEVIATE ANY STANDING WATER.
- ALL BASEMENT WALLS AND RETAINING WALLS WHICH HAVE DIRT HIGHER THAN AN INTERIOR FLOOR LEVEL SHALL HAVE AN APPROVED WATERPROOFING MEMBRANE APPLIED.
- REFER TO DRAWINGS FOR STEM WALL AND FOOTING SIZE AND REINFORCEMENT.
- BASEMENT WALLS SHALL NOT BE BACK FILLED UNTIL ATTACHED FLOORS ARE FRAMED AND SHEATHED.
- PROVIDE CORNER BARS WITH 18" LEGS AT CORNERS AND INTERSECTING WALLS AND FOOTINGS. SIZE AND PLACEMENT TO MATCH HORIZONTAL REINFORCEMENT.
- USE ONLY REDWOOD OR TREATED SILL PLATES WITH SILL SEAL.
- SLAB CONTROL AND EXPANSION JOINTS SHALL HAVE A MAXIMUM SPACING OF 10'-0" IN BOTH DIRECTIONS OR PER LOCAL CODE.
- PROVIDE #4 VERTICALS AT 48" O.C. AND AT EACH SIDE OF WALL OPENINGS AND AT EACH END OF WALLS, UNO.
- PROVIDE (2) #4 HORIZONTALS AT TOP OF WALL AND ABOVE ALL OPENINGS. PROVIDE #4 HORIZONTALS AT ALL INTERSECTING FLOOR AND ROOF LEVELS, BOTTOM OF ALL WINDOWS AND AT 10'-0" MAXIMUM.
- HORIZONTAL REINFORCING TO EXTEND NOT LESS THAN 24" OR 40 BAR DIAMETERS, WHICHEVER IS GREATER, BEYOND EDGE OF ALL OPENINGS.
- SEE FOUNDATION PLAN AND CORRESPONDING DETAILS FOR OTHER NOTES.

GENERAL CONCRETE MASONRY UNIT NOTES:

- ALL C.M.U. BLOCK TO MEET OR EXCEED REQUIREMENTS PER LOCAL CODES WITH MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF MASONRY, EQUAL TO 1500 P.S.I. MINIMUM.
- ALL MASONRY SHALL BE LAID IN RUNNING BOND, UNLESS NOTED OTHERWISE.
- MORTAR SHALL BE OF TYPE M OR S, WITH MINIMUM COMPRESSIVE CURE STRENGTH OF 2500 PSI AND 1800 PSI, RESPECTIVELY, IN ACCORDANCE WITH ASTM C270.
- GROUT SHALL BE OF MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI IN ACCORDANCE WITH LOCAL CODES.
- ALL GROUTING SHALL BE DONE VIA LOW LIFT PROCEDURES, NOT TO EXCEED 4'-0" IN HEIGHT, UNLESS CLEAN-OUTS ARE USED. IF CLEAN-OUTS ARE USED, HIGH LIFT GROUTING PROCEDURES MAY BE IMPLEMENTED.
- ALL C.M.U. BELOW GRADE TO BE SOLID GROUTED, UNO.
- REINFORCING OF C.M.U. TO CONFORM WITH ALL LOCAL CODES.

GENERAL FRAMING NOTES:

- STRUCTURAL LUMBER SHALL BE SPRUCE-PINE-FIR (SPF) No. 2 OR BETTER FOR ALL 2x5, 3x5, AND 4x5.
- ALL BEAMS AND POSTS 6x6 AND LARGER SHALL BE SPRUCE-PINE-FIR (SPF) No. 2 OR BETTER.
- WOOD BEARING ON, OR INSTALLED WITHIN 1" OF CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.
- ALL GLUED-LAMINATED TIMBERS, AS REQUIRED, SHALL BE ARCHITECTURAL GRADE (UNO). ERECTION SHALL BE IN ACCORDANCE WITH ALL MANUFACTURERS GUIDELINES.
- PROVIDE WET USE ADHESIVES.
- ALL FRAMING DETAILS SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES.
- PROVIDE SOLID BLOCKING BELOW ALL BEARING WALLS AND POSTS.
- MINIMUM HEADER ON BEARING WALL TO BE (2) 2x8 WITH (1) 2x6 BEARING STUD PLUS KING STUD EACH END (UNO).
- BLOCK AND NAIL ALL HORIZONTAL PANEL EDGES AT DESIGNATED SHEAR WALLS.
- NAIL ROOF WITH 8d AT 6" O.C. EDGE NAILING (EN.) AND 12" O.C. FIELD NAILING (INTERMEDIATE) (UNO).
- NAIL FLOOR WITH 10d AT 6" O.C. EDGE NAILING, AND 12" O.C. FIELD NAILING (INTERMEDIATE) (UNO).
- PROVIDE 1/8" SPACE AT ALL PANEL EDGES.
- ALL OSB SHEATHING SHALL BE APA RATED EXPOSURE 1, WITH THICKNESS, VENEER GRADES AND SPAN RATINGS AS NOTED HEREIN OR ON DRAWINGS/DETAILS.
- ROOF SHEATHING : 5/8" OSB MIN. (24" SPAN RATING). FLOOR SHEATHING : 3/4" OSB MIN. (24" SPAN RATING). EXT. WALL SHEATHING : 7/16" OSB MIN. (24" SPAN RATING). (ALL SPAN RATING TO MEET LOCAL CODES)
- ALL DIMENSIONS ARE TO CENTER-LINE OF LOG WALLS, POSTS, AND TO FACE OF FRAMING (UNO).
- ALL INTERIOR PARTITION WALLS ARE 2x STUD WALLS (UNO.)
- 2x DIMENSIONAL STUDS ARE STANDARD, OR BETTER, SPRUCE-PINE-FIR (SPF).
- PROVIDE STEEL STRAPS AT PIPES IN STUD WALLS AS REQUIRED PER LOCAL CODES.
- OVERFRAMING, OR "CALIFORNIA FRAMING," SHALL BE DONE SUCH THAT VERTICAL LOADS ARE TRANSFERRED TO MAIN STRUCTURE BELOW, BY DIRECT BEARING, AT SPACING NOT TO EXCEED 24" O.C.
- BOTH BOLTS AND LAGS SHALL CONFORM TO ASTM A307 GRADE (UNO.).
- PROVIDE MILD STEEL PLATE WASHERS AT ALL BOLT HEADS AND NUTS BEARING AGAINST WOOD, OR PER LOCAL CODE.
- METAL HANGERS AND CONNECTIONS TO BE MANUFACTURED BY THE SIMPSON COMPANY AND INSTALLED PER THEIR SPECIFICATION. OTHER MANUFACTURERS MAY BE CONSIDERED WHERE LOAD CAPACITY AND DIMENSIONS ARE EQUAL OR BETTER.
- PLYWOOD WEB JOISTS TO BE DESIGNED, CERTIFIED, ERECTED, INSTALLED AND BRACED BY MANUFACTURERS SPECIFICATIONS.
- ALL STEEL TO CONFORM TO ASTM A36 (UNO.). STEEL PIPE SHALL CONFORM TO ASTM A53 Gr. B (Fy=35ksi).
- STRUCTURAL STEEL TUBES SHALL CONFORM TO ASTM A500, GRADE B (Fy=46ksi).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 9th EDITION ASD, OR 3rd EDITION LRFD MANUAL OF AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, OR AS PER LOCAL CODES.
- ALL WELDING SHALL BE PERFORMED PER AWS D11 WITH A MINIMUM WELD SIZE OF 3/16" AND WITH E70XX ELECTRODE.
- MACHINE BOLTS SHALL BE ASTM A307 (UNO.)
- PROVIDE LOCK WASHERS BETWEEN NUT AND CONNECTED STEEL.
- ALL STEEL ANCHORS, TIES AND OTHER MEMBERS EMBEDDED IN CONCRETE OR MASONRY SHALL BE LEFT UNPAINTED.
- ALL STEEL, INCLUDING NUTS, BOLTS, AND WASHERS EXPOSED TO WEATHER SHALL BE GALVANIZED OR ZINC PLATED.

MISC. NOTES:

- ALL MATERIALS, SUPPLIES AND EQUIPMENT TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS.
- USE 1/2" WATER RESISTANT GYPSUM BOARD OR CEMENT BACKER BOARD WITH TILE AROUND SHOWERS, TUBS AND WHIRLPOOLS.

WINDOW SCHEDULE

ITEM	CALLOUT	FRAME SIZE	ROUGH OPENING	RO. SQ. FOOTAGE	JAMB	MAKE	DESCRIPTION/COMMENTS	QTY.
W1	3256	36" X 60"	36 3/4" X 60 1/2"	15.44 SQFT	6 9/16"	WINDSOR	LEFT HINGE CASEMENT	1
W2	2020	24" X 24"	24 3/4" X 24 1/2"	4.21 SQFT	1 1/8"		LEFT HINGE CASEMENT W/ GRIDS	1
W3	2020	24" X 24"	24 3/4" X 24 1/2"	4.21 SQFT			LEFT HINGE CASEMENT W/ GRIDS	1
W4	2020	24" X 24"	24 3/4" X 24 1/2"	4.21 SQFT			RIGHT HINGE CASEMENT W/ GRIDS	1
W5	2020	24" X 24"	24 3/4" X 24 1/2"	4.21 SQFT			LEFT HINGE CASEMENT W/ GRIDS	1
W6	2020	24" X 24"	24 3/4" X 24 1/2"	4.21 SQFT			RIGHT HINGE CASEMENT W/ GRIDS	1
W7	3232	36" X 36"	36 3/4" X 36 1/2"	9.32 SQFT			LEFT HINGE CASEMENT	1
W8	3220	36" X 24"	36 3/4" X 24 1/2"	6.25 SQFT			PICTURE W/ GRIDS	1
W9	2016	47 3/16" X 22 3/4"	47 15/16" X 23 1/4"	7.75 SQFT			GLIDE BY	1
W10	3250	36" X 54"	36 3/4" X 54 1/2"	13.91 SQFT			LEFT HINGE CASEMENT (EGRESS)	1
W11	3250	36" X 54"	36 3/4" X 54 1/2"	13.91 SQFT			RIGHT HINGE CASEMENT (EGRESS)	1
W12	3220	32 1/8" X 32 1/8"	32 1/8" X 32 5/8"	7.45 SQFT			PICTURE W/ GRIDS	1
W13	3220	32 1/8" X 32 1/8"	32 1/8" X 32 5/8"	7.45 SQFT			PICTURE W/ GRIDS	1
W14	3220	32 1/8" X 32 1/8"	32 1/8" X 32 5/8"	7.45 SQFT			PICTURE W/ GRIDS	1
W15	3220	32 1/8" X 32 1/8"	32 1/8" X 32 5/8"	7.45 SQFT			PICTURE W/ GRIDS	1
W16	3220	32 1/8" X 32 1/8"	32 1/8" X 32 5/8"	7.45 SQFT			PICTURE W/ GRIDS	1
W17	3220	32 1/8" X 32 1/8"	32 1/8" X 32 5/8"	7.45 SQFT			PICTURE W/ GRIDS	1
W18	3220	32 1/8" X 32 1/8"	32 1/8" X 32 5/8"	7.45 SQFT			PICTURE W/ GRIDS	1
W19	3220	32 1/8" X 32 1/8"	32 1/8" X 32 5/8"	7.45 SQFT			PICTURE W/ GRIDS	1
W20	3244	36" X 48"	36 3/4" X 48 1/2"	12.38 SQFT			LEFT HINGE CASEMENT	1
W21	3250	36" X 54"	36 3/4" X 54 1/2"	13.91 SQFT			LEFT HINGE CASEMENT (EGRESS)	1
W22	3250	36" X 54"	36 3/4" X 54 1/2"	13.91 SQFT			RIGHT HINGE CASEMENT (EGRESS)	1
TOTAL WDO OPENING SQFT				187.43 SQFT				

NOTE: WINDOWS MEETING EGRESSES TO HAVE MAXIMUM FINISHED SILL HEIGHT - 44 IN, MINIMUM NET CLEAR OPENING - 5.1 SQ. FT, MINIMUM HEIGHT - 24 IN, MINIMUM WIDTH - 20 IN.
NOTE: WINDOW/DOOR OPENINGS MAY REQUIRE ON SITE CUT UP AND OR DOWN TO ACHIEVE REQUIRED LOG VERTICAL OPENING. VERIFY WITH PRODUCTION WALL DRAWINGS PER WINDOW/DOOR LOCATIONS

DOOR SCHEDULE

ITEM	SIZE	FRAME	ROUGH OPENING		JAMB	MAKE	DESCRIPTION/COMMENTS	QTY.
D1	3070	FER MFGR	36 3/4" X 84 1/2"	21.57 SQFT	6 9/16"	JELDUEW	ENTRY DOOR (MODEL #387)	1
D2	8080	NA	NA	6.4 SQFT	NA	FER OWNER	OVERHEAD GARAGE DOOR	1
D3	8080	NA	NA	6.4 SQFT	NA	FER OWNER	OVERHEAD GARAGE DOOR	1
D4	60610-0X	11" X 82 1/2"	11 3/4" X 83"	41.36 SQFT	1 1/8"	WINDSOR	SLIDING PATIO DOOR	1
D5	60610-0X	11" X 82 1/2"	11 3/4" X 83"	41.36 SQFT	1 1/8"	WINDSOR	SLIDING PATIO DOOR	1
D6	3070	FER MFGR	36 3/4" X 84 1/2"	21.57 SQFT	1 1/8"	JELDUEW	ENTRY DOOR (MODEL #387)	1
TOTAL DOOR OPENING SQFT				253.86 SQFT				

NOTE: VERIFY ALL WINDOW & DOOR OPENINGS AND SIZES. FIELD MEASURE CUSTOM WINDOW & DOOR OPENINGS IN LOG WALLS AND TIMBER FRAME OPENINGS BEFORE ORDERING.

NOTE: ALL DOORS BETWEEN GARAGE AND RESIDENCE SHALL BE EITHER SOLID WOOD NOT LESS THAN 1 1/2" THICK, OR SOLID/HONEYCOMB CORE STEEL NOT LESS THAN 1 1/2" THICK, OR 20 MINUTE FIRE RATED DOORS.

NOTE: FOR WINDOWS & DOORS LOCATED IN A SIPS WALL A 1 1/2" JAMB IS RECOMMENDED (6 1/2" WALL PANEL + 1/2" GYP. BD. + 1/2").

NOTE: STOVE HEARTH & WALL PROTECTION TO BE DESIGNED & INSTALLED BY OTHERS TO MEET ALL CODES, LOCAL ORDINANCES & MANUFACTURERS SPECS. (NO PROVISION FOR STOVE, HEARTH, AND WALL PROTECTION WEIGHT HAS BEEN MADE IN SIZING THE FLOOR MEMBERS.)

NOTE: OWNERS (OR BUILDER) TO VERIFY EXISTING SLOPE: EXTERIOR POST LENGTHS ARE BASED PER GRADE IN ELEVATIONS, LOG/TIMBER & PIER HEIGHTS ARE MEASURED FROM TOP OF MAIN FLOOR SHEATHING.

NOTE: REFER TO SECTIONS (3x PGS.) BENT & LINE DRAWINGS (5x PGS.) FOR SPECIFIC PIER FLOOR, AND LOG OR TIMBER HEIGHTS & SIZES TO ENSURE PROPER INSTALLATION OF LOG OR TIMBER FRAME MEMBERS.

NOTE: POST IN FRAMED WALLS CAN BE EITHER SOLID OR A 2X BUILD UP EQUIVALENT.



JELDUEW ENTRY DOOR (MODEL #387)



**MIKE & SUSAN
MAGOLINE**

DESIGN PHASE		
DRAWN:	DATE:	CHKCD
MCF	1.17.15	
MCF	2.19.16	
DESIGN REV. PHASE		
DR/COI	3.28.16	
DESIGN REV. APP.		
MCF	5.27.16	CP
FINALS PHASE		
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SHOP DRAWINGS		
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PROJECT: 15-005

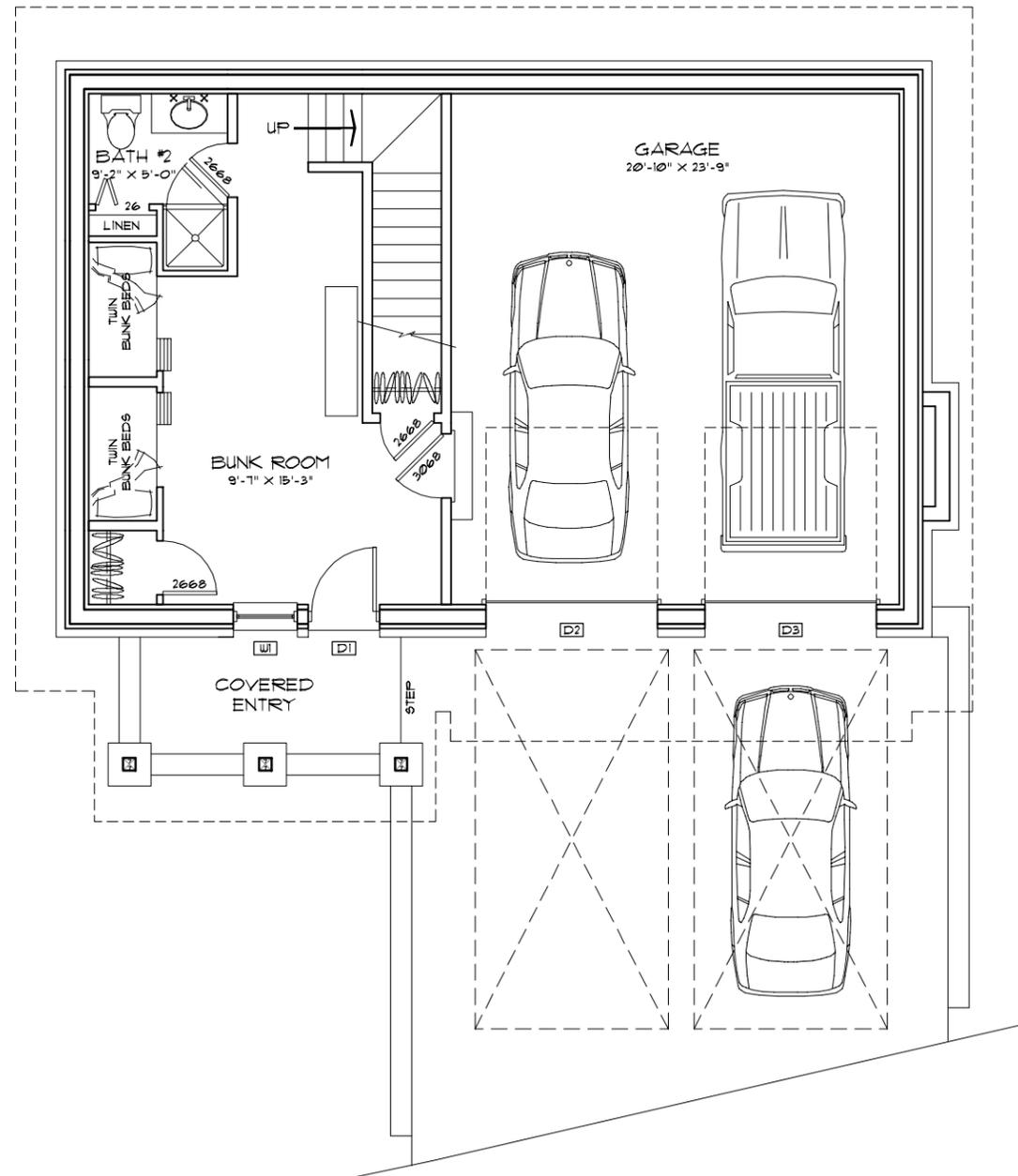
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SCALE: NA

0.1
SHEET





**MIKE & SUSAN
 MAGOLINE**

DESIGN PHASE		
DRAWN:	DATE:	CHECK:
MCF	7.17.15	
MCF	2.19.16	
DESIGN REV. PHASE		
DR/COI	3.28.16	
DESIGN REV. APP.		
MCF	5.27.16	CP
FINALS PHASE		
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SCALE:

BASEMENT FLOOR PLAN

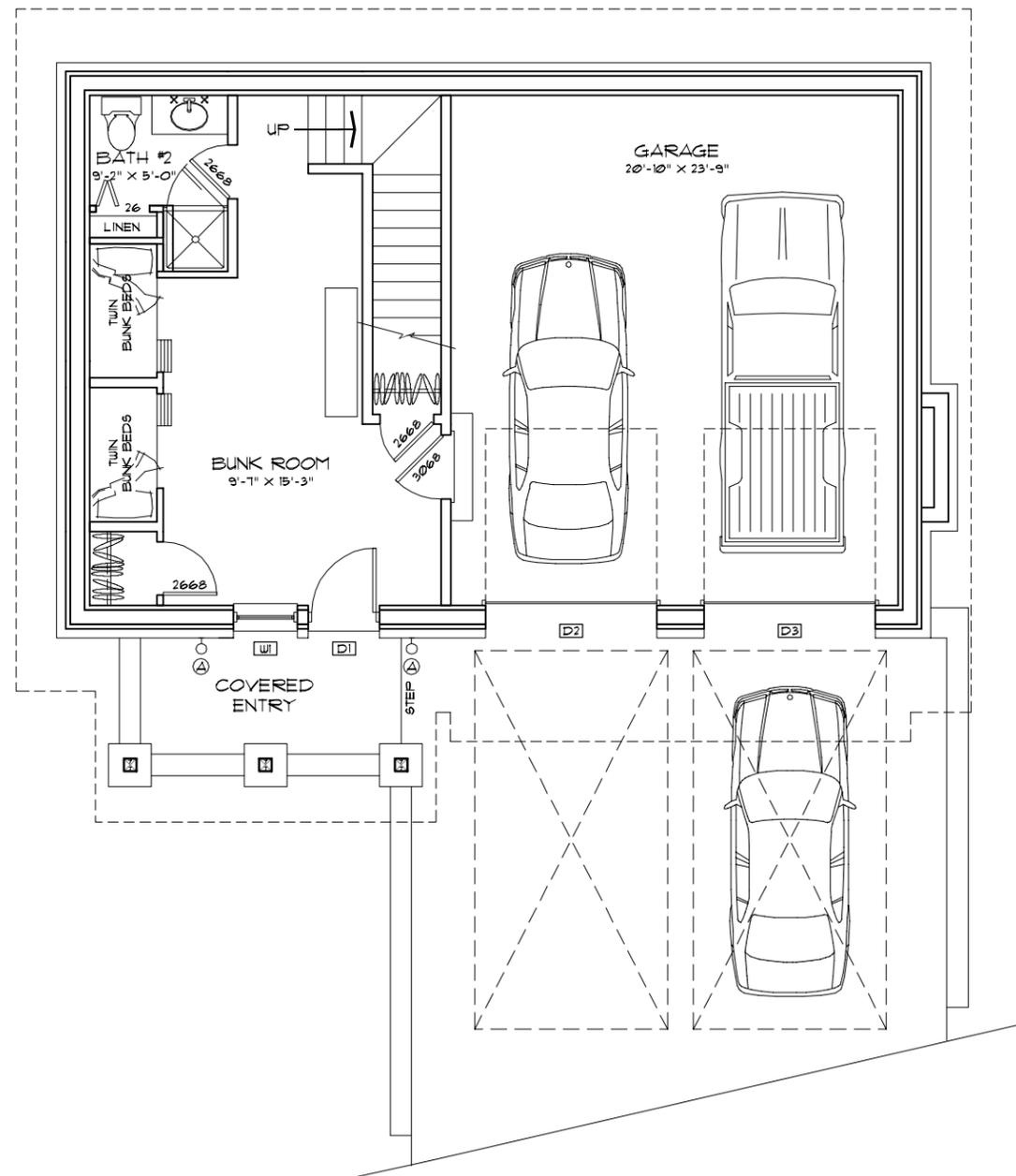
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SHEET





**MIKE & SUSAN
 MAGOLINE**



EXTERIOR LIGHTING SCHEDULE	
NOTE: FIXTURES ARE FOUND ON SHEETS 1.0E AND 1.1E. NOT ALL FIXTURES ARE REPRESENTED ON THIS SHEET.	
 TOTAL QTY: 4	MANUFACTURER: BARN LIGHT ELECTRIC WEBSITE: BARNLIGHTELECTRIC.COM DESCRIPTION: WALL MOUNTED GOOSE NECK LIGHT (ORIGINAL) PRODUCT #: WLS14-FC (G) DIMENSIONS: 14" x 1 1/2" MOUNTING: WALL MOUNT ELECTRICAL: TRIAC DIMMING 12W/120V FINISH: 615-OIL RUBBED BRONZE ACCESSORIES: DOMED LENS LAMP: LED (CREE) 850 lm (2700K)

TOTAL LUMEN OUTPUT
 GOOSE NECK (ORIGINAL) 850 lm x 4 = 3400 lm
 TOTAL LUMEN OUTPUT = 3400 lm

DESIGN PHASE		
DRAWN:	DATE:	CHKD:
MCF	7.17.15	
MCF	2.19.16	
DESIGN REV. PHASE		
DR/COI	3.28.16	
DESIGN REV. APP.		
MCF	5.27.16	CP
FINALS PHASE		
-	-	-
SHOP DRAWINGS		
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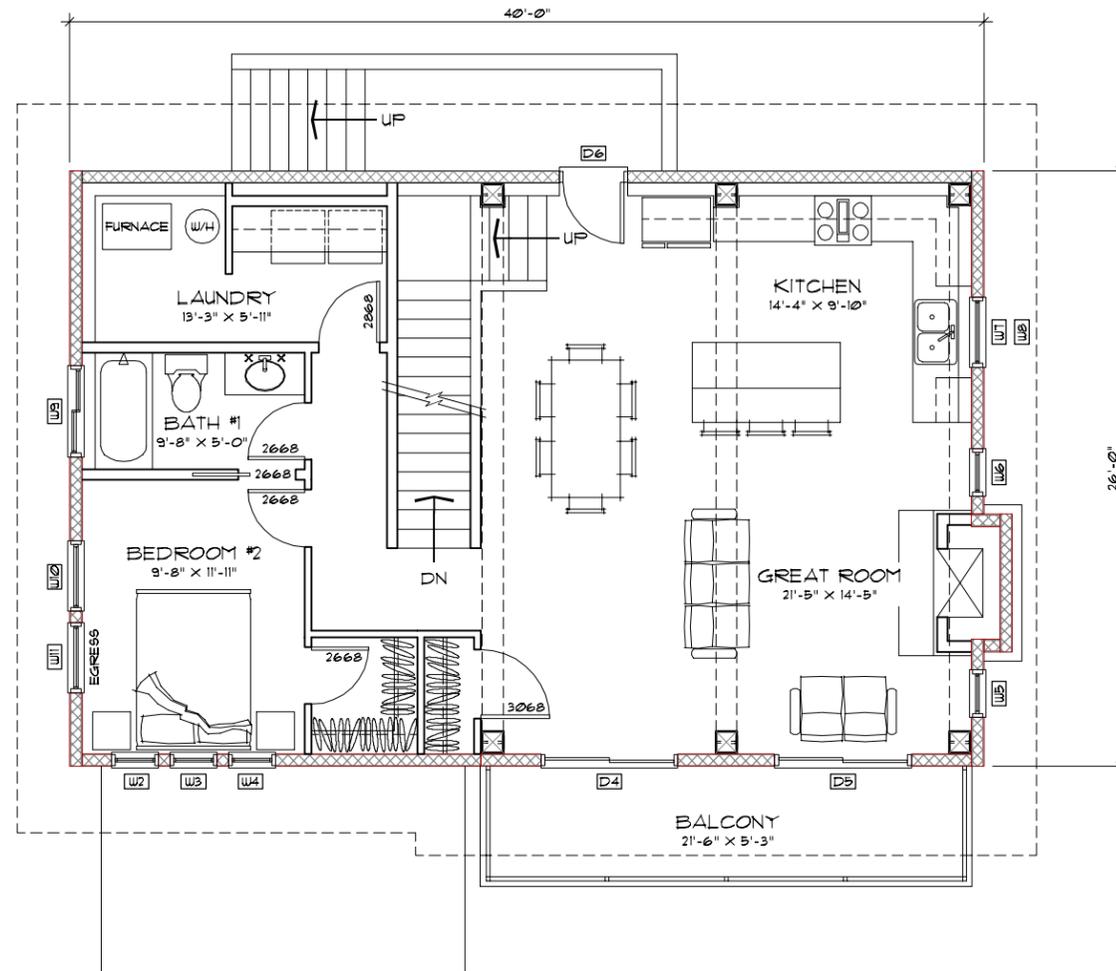
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**BASEMENT FLOOR ELECTRICAL PLAN AND
 BASEMENT FLOOR EXTERIOR LIGHTING PLAN**

1.0E
 SHEET





**MIKE & SUSAN
 MAGOLINE**

DESIGN PHASE		
DRAWN:	DATE:	CHKD:
MCF	7.17.15	
MCF	2.19.16	
DESIGN REV. PHASE		
DR/COI	3.28.16	
DESIGN REV. APP.		
MCF	5.27.16	CP
FINALS PHASE		
-	-	
SHOP DRAWINGS		
-	-	

PROJECT: 15-005

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 CONSTRUCTION**



MAIN FLOOR PLAN

MAIN FLOOR AREA :	1048 SF.
2ND FLOOR AREA :	310 SF.
BASEMENT FLOOR AREA :	498 SF.
TOTAL LIVEABLE FLOOR AREA :	1856 SF.
GARAGE FLOOR AREA :	580 SF.
TOTAL FLOOR AREA :	2436 SF.
BALCONY AREA :	113 SF.

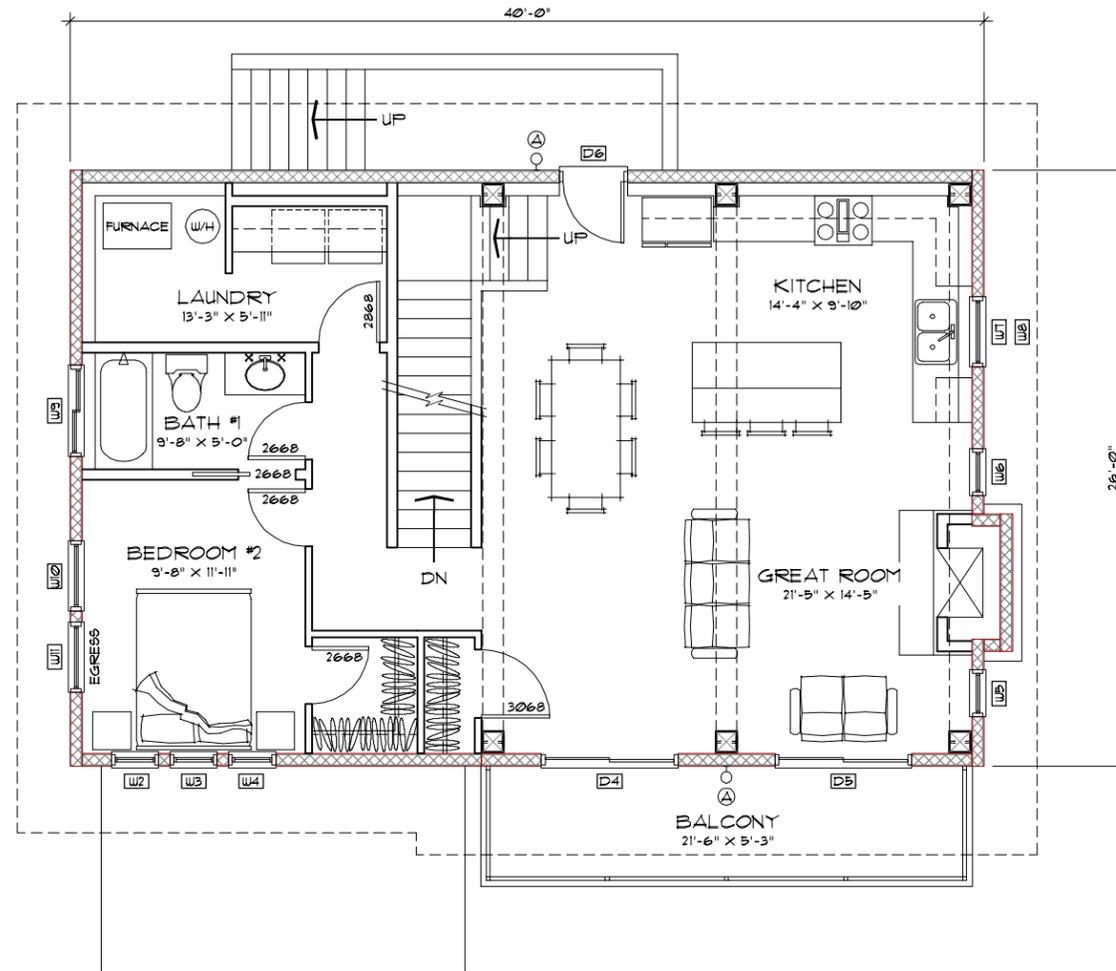
1.1

SHEET





**MIKE & SUSAN
 MAGOLINE**



EXTERIOR LIGHTING SCHEDULE	
NOTE: FIXTURES ARE FOUND ON SHEETS 1.0E AND 1.1E. NOT ALL FIXTURES ARE REPRESENTED ON THIS SHEET.	
 TOTAL QTY: 4	MANUFACTURER: BARN LIGHT ELECTRIC WEBSITE: BARNLIGHTELECTRIC.COM DESCRIPTION: WALL MOUNTED GOOSE NECK LIGHT (ORIGINAL) PRODUCT #: WLS14-PC (G) DIMENSIONS: 14" x 1 1/2" MOUNTING: WALL MOUNT ELECTRICAL: TRIAC DIMMING 120V/120V FINISH: 615-OIL RUBBED BRONZE ACCESSORIES: DOMED LENS LAMP: LED (CREE) 850 lm (2700K)

TOTAL LUMEN OUTPUT
 GOOSE NECK (ORIGINAL) 850 lm x 4 = 3400 lm
 TOTAL LUMEN OUTPUT = 3400 lm



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MCF	2.19.16	
DESIGN REV. PHASE		
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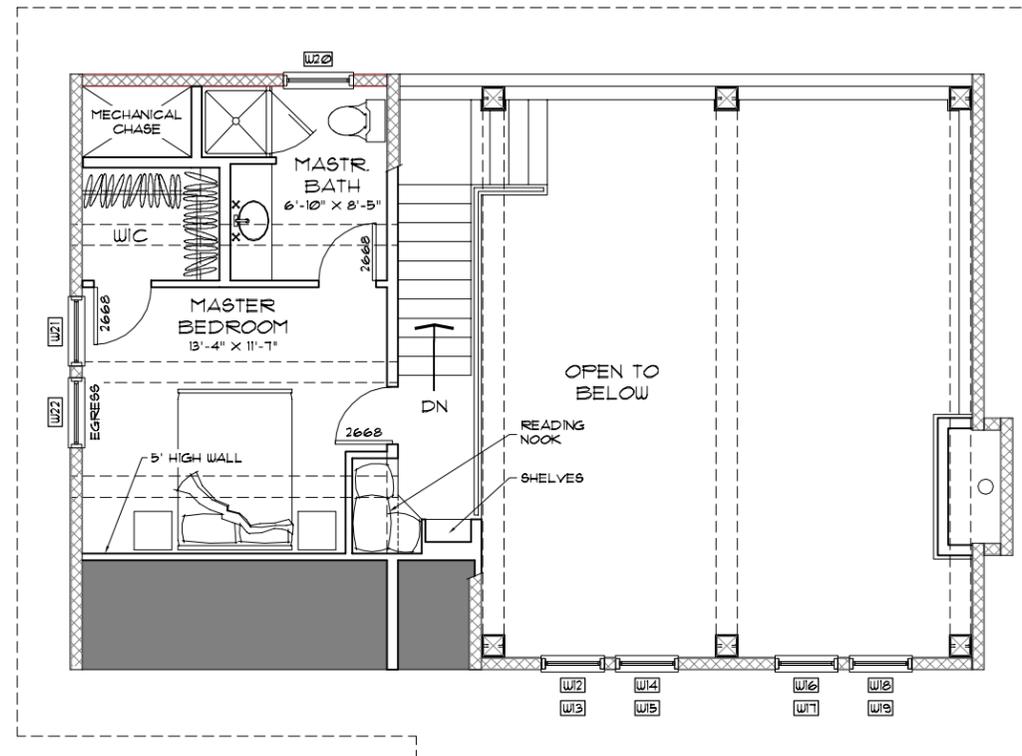
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SCALE:
1.1E
 SHEET

**MAIN FLOOR ELECTRICAL PLAN AND
 MAIN FLOOR EXTERIOR LIGHTING PLAN**





**MIKE & SUSAN
 MAGOLINE**

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MCF	2.19.16	
DESIGN REV. PHASE		
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SECOND FLOOR PLAN

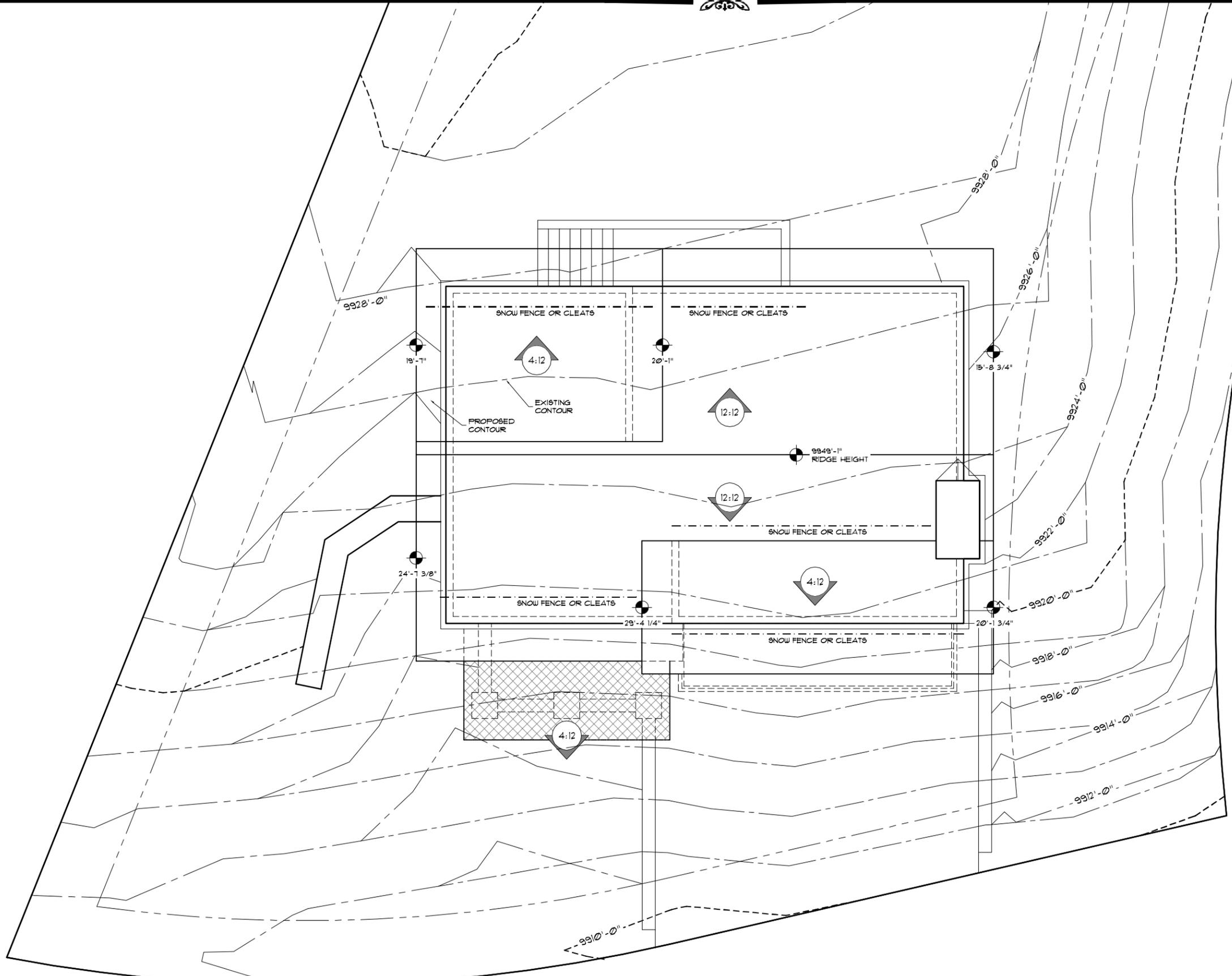
1.2

SHEET





**MIKE & SUSAN
 MAGOLINE**



 FIELD FRAME ROOF LOCATIONS
 SIP6 ROOF LOCATIONS

AVERAGE BUILDING HEIGHT:

19'-1"
20'-1"
15'-8 3/4"
20'-1 3/4"
29'-4 1/4"
24'-1 3/8"
$120 \cdot 1 \frac{5}{8} / 6 = 21 \cdot 1 \frac{1}{8}$ "

DESIGN PHASE		
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MCF	7.17.15	
MCF	2.19.16	
DESIGN REV. PHASE		
DR/COI	3.28.16	
DESIGN REV. APP.		
MCF	5.27.16	<i>CP</i>
FINALS PHASE		
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SHOP DRAWINGS		
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ROOF PLAN

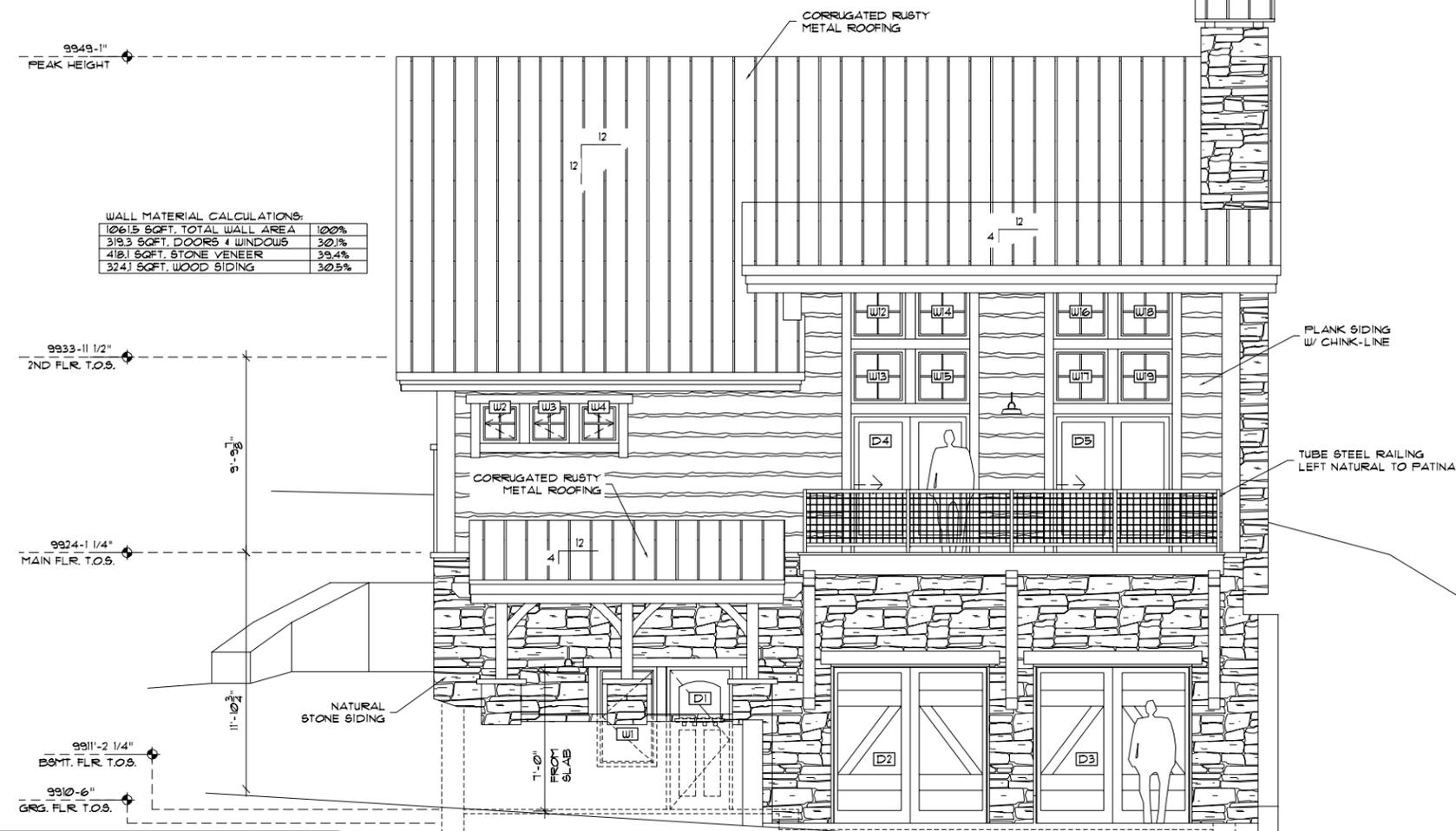
1.3

SHEET





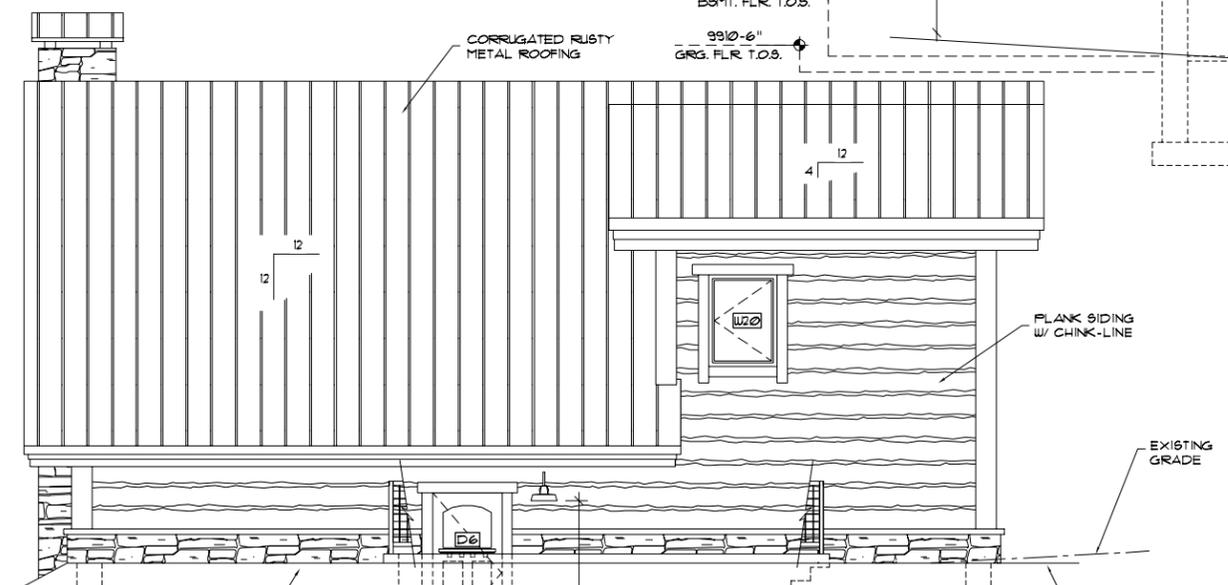
**MIKE & SUSAN
 MAGOLINE**



EAST ELEVATION

WALL MATERIAL CALCULATIONS:

1261.5 SQFT. TOTAL WALL AREA	100%
319.3 SQFT. DOORS & WINDOWS	25.3%
418.1 SQFT. STONE VENEER	33.1%
324.1 SQFT. WOOD SIDING	25.5%



WEST ELEVATION

WALL MATERIAL CALCULATIONS:

464.2 SQFT. TOTAL WALL AREA	100%
34.0 SQFT. DOORS & WINDOWS	7.3%
151.9 SQFT. STONE VENEER	32.7%
278.3 SQFT. WOOD SIDING	60.0%

TOTAL MATERIAL CALCULATIONS FOR ALL WALLS:

2621.5 SQFT. TOTAL WALL AREA	100%
440.7 SQFT. DOORS & WINDOWS	16.8%
979.2 SQFT. STONE VENEER	37.4%
1201.6 SQFT. WOOD SIDING	45.8%

NOTE:
 OWNERS (OR BUILDER) TO VERIFY EXISTING SLOPE.
 EXTERIOR POST LENGTHS ARE BASED PER GRADE
 IN ELEVATIONS. LOG/TIMBER & PIER HEIGHTS ARE
 MEASURED FROM TOP OF MAIN FLOOR SHEATHING.

RESIDENCE VENTILATION NOTE:
 A MECHANICAL VENTILATION SYSTEM IS REQUIRED
 TO PROVIDE AIR MOVEMENT AND REMOVE
 HUMIDITY. EXCESS HUMIDITY IN THE HOME COULD
 RESULT IN A BUILD UP OF WATER VAPOR IN
 UNWANTED AREAS CAUSING SEVERE DAMAGE TO
 THE STRUCTURAL INSULATED PANEL OR OTHER
 BUILDING MATERIALS.

DESIGN PHASE

DRAWN:	DATE:	CHKD:
MCF	7.17.15	
MCF	2.19.16	

DESIGN REV. PHASE

DR/COI	3.28.16	
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DESIGN REV. APP.

MCF	5.27.16	CP
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FINALS PHASE

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SHOP DRAWINGS

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PROJECT: 15-005

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2.1

SHEET

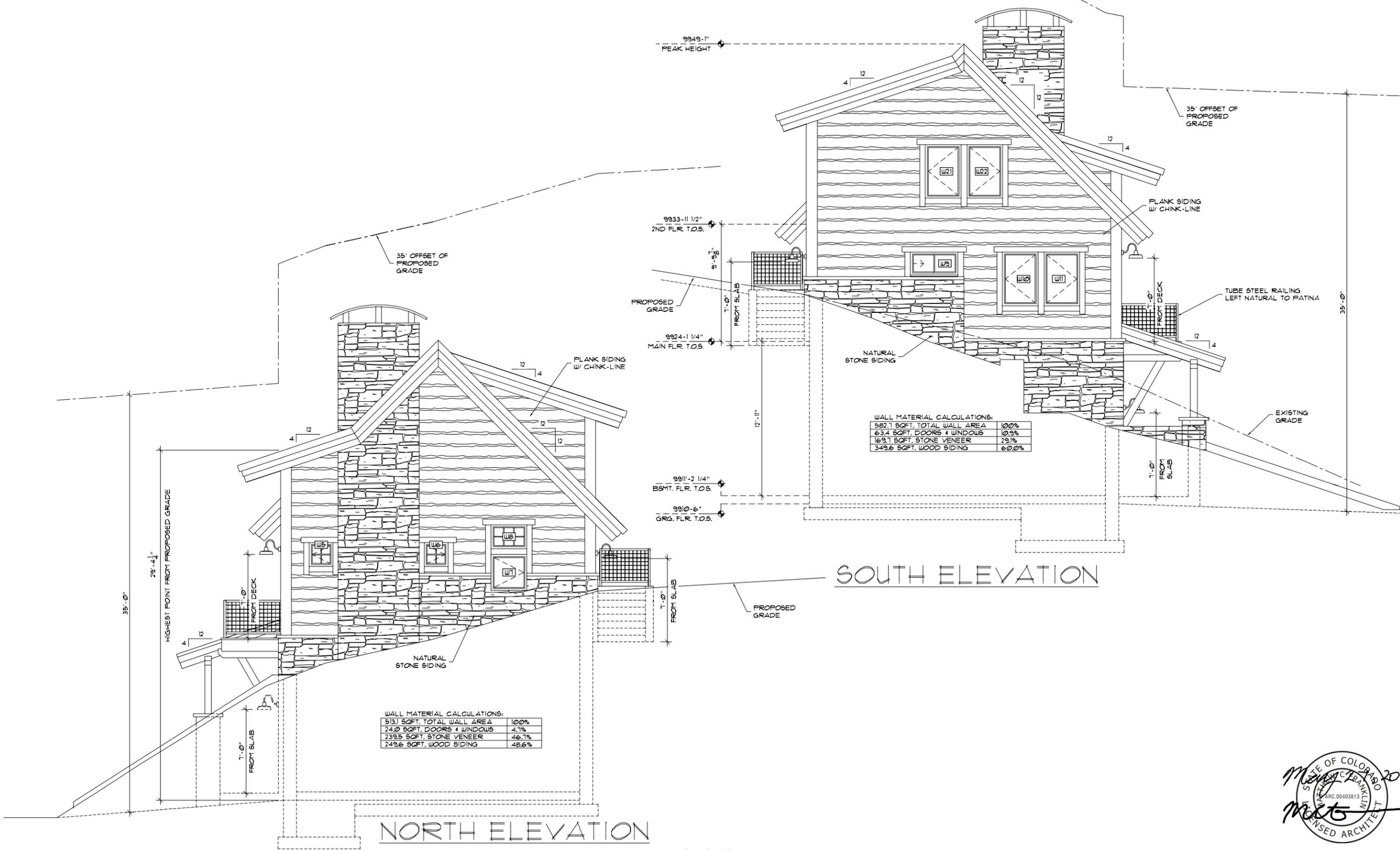




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 BUILDING MATERIALS.

**MIKE & SUSAN
 MAGOLINE**



WALL MATERIAL CALCULATIONS:

582.1 SQFT. TOTAL WALL AREA	100%
63.4 SQFT. DOORS & WINDOWS	10.9%
169.7 SQFT. STONE VENEER	29.1%
349.6 SQFT. WOOD SIDING	60.0%

WALL MATERIAL CALCULATIONS:

515.1 SQFT. TOTAL WALL AREA	100%
24.0 SQFT. DOORS & WINDOWS	4.7%
238.5 SQFT. STONE VENEER	46.1%
243.6 SQFT. WOOD SIDING	48.6%

SOUTH ELEVATION

NORTH ELEVATION

DESIGN PHASE

DRAWN:	DATE:	CHKD:
MCF	7.17.15	
MCF	2.19.16	

DESIGN REV. PHASE

DR/COI	3.28.16	
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DESIGN REV. APP.

MCF	5.27.16	CP
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FINALS PHASE

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SHOP DRAWINGS

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PROJECT: 15-005

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2.2

SHEET





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

REVIEW 2016-05-22

Gold Hill
Lot 15
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

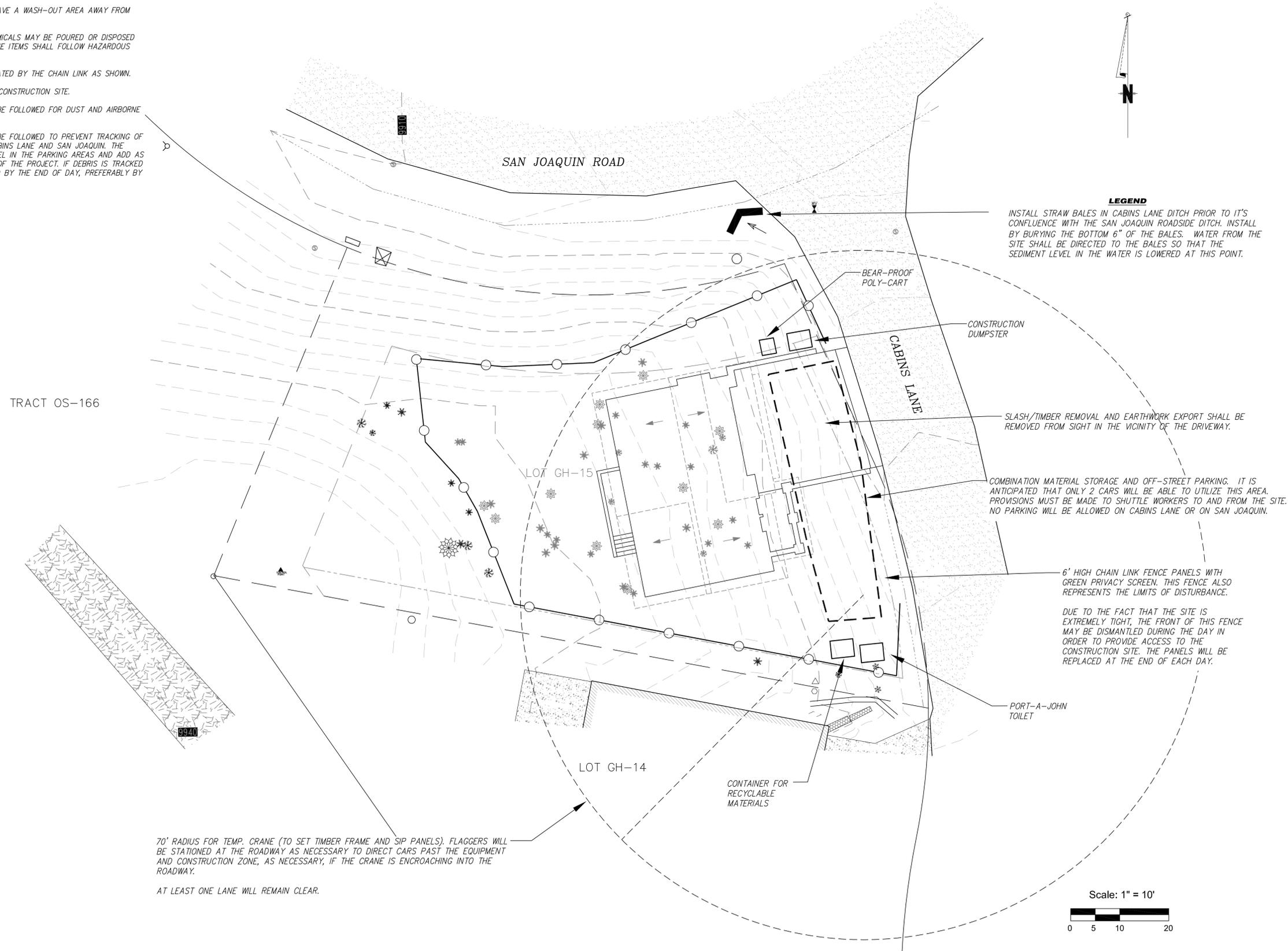
Construction
Mitigation
Plan

C3

CONSTRUCTION MITIGATION NOTES:

THE CONSTRUCTION MITIGATION REQUIREMENTS LISTED IN SECTION 17.7.19 SHALL BE FOLLOWED. THESE REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO:

1. CONCRETE, GROUT, AND PAINT MUST HAVE A WASH-OUT AREA AWAY FROM WETLANDS AND STREAMS.
2. NO PAINT, STAINS, SOLVENTS, OR CHEMICALS MAY BE POURED OR DISPOSED OF ON THE PROPERTY. DISPOSAL OF THOSE ITEMS SHALL FOLLOW HAZARDOUS MATERIALS DISPOSAL PROCEDURES.
3. TREES TO BE SAVED SHALL BE SEPARATED BY THE CHAIN LINK AS SHOWN.
4. NO DOGS SHALL BE ALLOWED ON THE CONSTRUCTION SITE.
5. BEST MANAGEMENT PRACTICES SHALL BE FOLLOWED FOR DUST AND AIRBORNE PARTICLE CONTROL.
6. BEST MANAGEMENT PRACTICES SHALL BE FOLLOWED TO PREVENT TRACKING OF SOIL, ROCKS, OR OTHER DEBRIS ONTO CABINS LANE AND SAN JOAQUIN. THE CONTRACTOR SHALL INSTALL CLEAN GRAVEL IN THE PARKING AREAS AND ADD AS NECESSARY THROUGHOUT THE DURATION OF THE PROJECT. IF DEBRIS IS TRACKED ONTO SAN JOAQUIN, IT MUST BE REMOVED BY THE END OF DAY, PREFERABLY BY SWEEPING.



LEGEND
INSTALL STRAW BALES IN CABINS LANE DITCH PRIOR TO ITS CONFLUENCE WITH THE SAN JOAQUIN ROADSIDE DITCH. INSTALL BY BURYING THE BOTTOM 6" OF THE BALES. WATER FROM THE SITE SHALL BE DIRECTED TO THE BALES SO THAT THE SEDIMENT LEVEL IN THE WATER IS LOWERED AT THIS POINT.

BEAR-PROOF POLY-CART
CONSTRUCTION DUMPSTER
SLASH/TIMBER REMOVAL AND EARTHWORK EXPORT SHALL BE REMOVED FROM SIGHT IN THE VICINITY OF THE DRIVEWAY.
COMBINATION MATERIAL STORAGE AND OFF-STREET PARKING. IT IS ANTICIPATED THAT ONLY 2 CARS WILL BE ABLE TO UTILIZE THIS AREA. PROVISIONS MUST BE MADE TO SHUTTLE WORKERS TO AND FROM THE SITE. NO PARKING WILL BE ALLOWED ON CABINS LANE OR ON SAN JOAQUIN.

6' HIGH CHAIN LINK FENCE PANELS WITH GREEN PRIVACY SCREEN. THIS FENCE ALSO REPRESENTS THE LIMITS OF DISTURBANCE.
DUE TO THE FACT THAT THE SITE IS EXTREMELY TIGHT, THE FRONT OF THIS FENCE MAY BE DISMANTLED DURING THE DAY IN ORDER TO PROVIDE ACCESS TO THE CONSTRUCTION SITE. THE PANELS WILL BE REPLACED AT THE END OF EACH DAY.

PORT-A-JOHN TOILET

CONTAINER FOR RECYCLABLE MATERIALS

70' RADIUS FOR TEMP. CRANE (TO SET TIMBER FRAME AND SIP PANELS). FLAGGERS WILL BE STATIONED AT THE ROADWAY AS NECESSARY TO DIRECT CARS PAST THE EQUIPMENT AND CONSTRUCTION ZONE, AS NECESSARY, IF THE CRANE IS ENCRACHING INTO THE ROADWAY.
AT LEAST ONE LANE WILL REMAIN CLEAR.

Scale: 1" = 10'
0 5 10 20



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2016-05-27

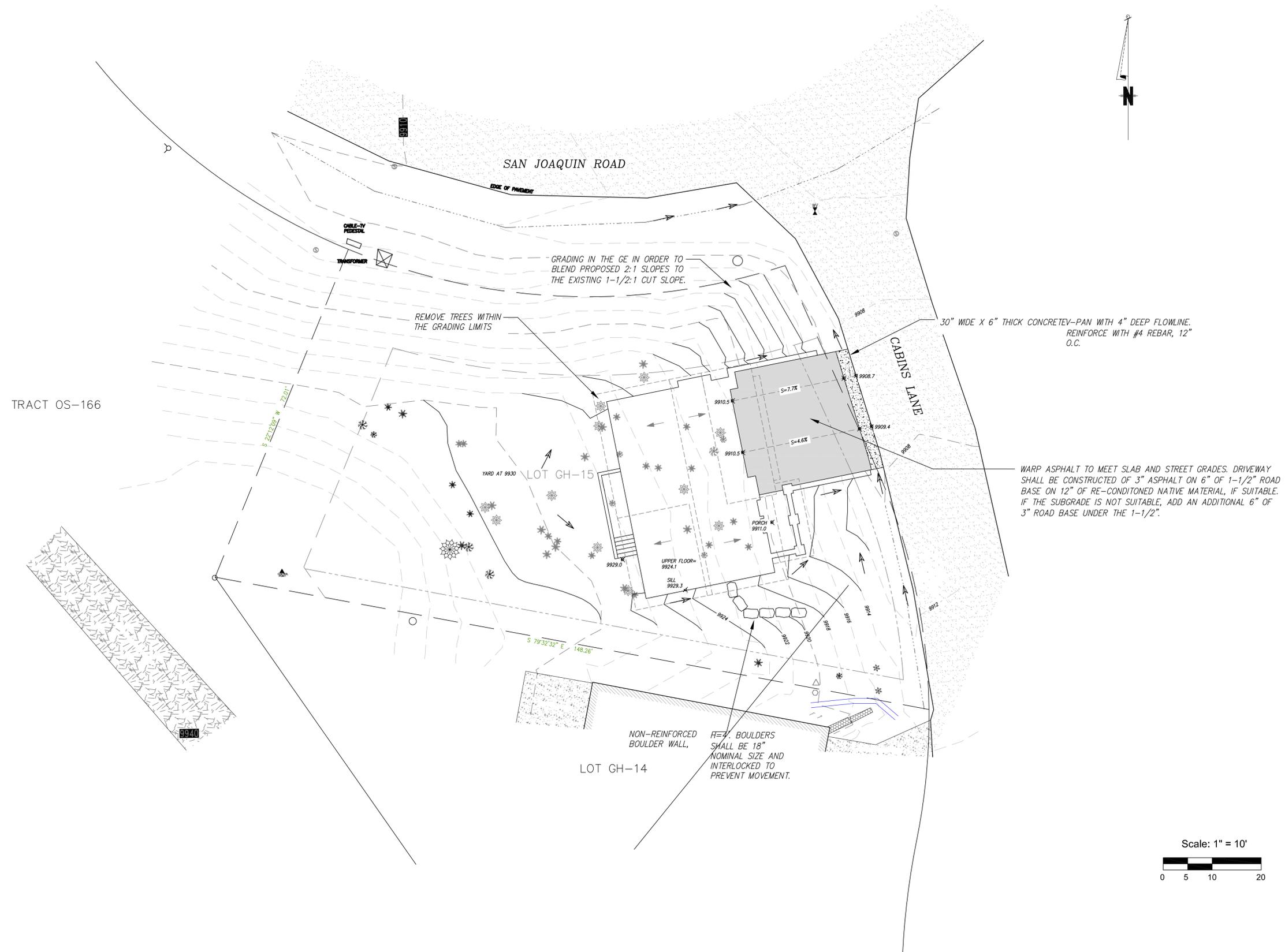
Gold Hill
Lot 15
Mtn. Village, CO



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CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage
Plan

C1



Landscape Plan

Revegetation Notes

1. Subsoil surface shall be tilled to a minimum depth of 4" on all non-fill areas.
2. Topsoil shall be spread at a minimum depth of 2" on all areas to be seeded pending existing soil condition.
3. Broadcasting of Mtn. Village approved seed mix shall be done immediately following seedbed preparation to minimize erosion and weed seed germination.
4. Straw mulch will be applied over all seeded areas at a rate of two tons per acre.
5. Net all slopes greater than 2:1 with biodegradable netting pinned 6' on center. Netting shall be trenched in along the top edge at a minimum depth of ten inches. Always apply fabric vertically to the slope.

General Notes

1. All trees and shrubs are to be located by the project Landscape Architect.
2. Provide positive drainage throughout the site.
3. Revegetation of all disturbed areas to be Mountain Village seed mix.

Scanlon Design

P.O. Box 3725
Telluride, Colorado 81435
(970) 728-2088

Legend

-  Proposed Aspen
-  Proposed Spruce
-  Shrubs

Plant Schedule

Botanical Name	Common Name	Size	Qty
<i>Picea pungens</i>	Colorado spruce	8'	3
		10'	2
<i>Populus tremuloides</i>	Quaking aspen	2" cal.	3
Native shrubs	Assorted native	#5	6
Revegetation	Seed and mulch	3,000 sq. ft. FV	



LEGEND

-  WATER VALVE
-  FIRE HYDRANT
-  ASPEN TREE
-  TELEPHONE PEDISTAL
-  CABLE-TV PEDISTAL
-  CABLE-TV PEDISTAL WITH NO CAP

LEGEND

INDICATED GRADE DISTURBANCE OUTSIDE OF BUILDING ENVELOPE

TOTAL LOT SQUARE FOOTAGE - 1893 SQ.FT.
BUILDING SQUARE FOOTAGE - 184 SQ.FT.
COVERED ENTRYWAY - 50 SQ.FT.
DRIVEWAY SQUARE FOOTAGE - 180 SQ.FT.
TOTAL LOT COVERAGE - 1174 SQ.FT.
1174 SQ.FT. / 1893 SQ.FT. = 15.6% LOT COVERAGE
ALLOWABLE COVERAGE IS 40%

MAXIMUM BUILDING HEIGHT ABOVE FINISH RESTRICTIVE GRADE (PROPOSED) IS 21'-0" (14')
AVERAGE BUILDING HEIGHT IS 20'-0" (14') SEE SHEET 13 (ROOF PLAN)

(1) COVERED PARKING SPACES REQUIRED
(2) OFF ROAD PARKING SPACES REQUIRED

This topographic survey of Lot GH-15, Town of Mountain Village, was field surveyed on May 18, 2015 under the direct responsibility, supervision and checking of David R. Buson of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plot or Improvement Survey Plot as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37662 Date

- ### NOTES:
1. This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of the property or easements of record.
 2. Benchmark: Control point "CP 202", as shown herein, with an elevation of 9939.86 feet.
 3. Contour interval is two feet.
 4. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

Landscape Plan
Prepared: May, 2016
SITE PLAN



MIKE & SUSAN
MAGOLINE

DESIGN PHASE		
DESIGN	DATE	CHKD
MCF	5/27/16	
MCF	6/30/16	
MCF	7/11/16	
MCF	2/18/16	
DESIGN REV. PHASE		
DR/CO	3/28/16	
FINAL PHASE		
SHOP DRAWINGS		

PROJECT: 15-005

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PRELIMINARY
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CONSTRUCTION

SCALE: AS NOTED

SITE
SHEET



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2016-05-27

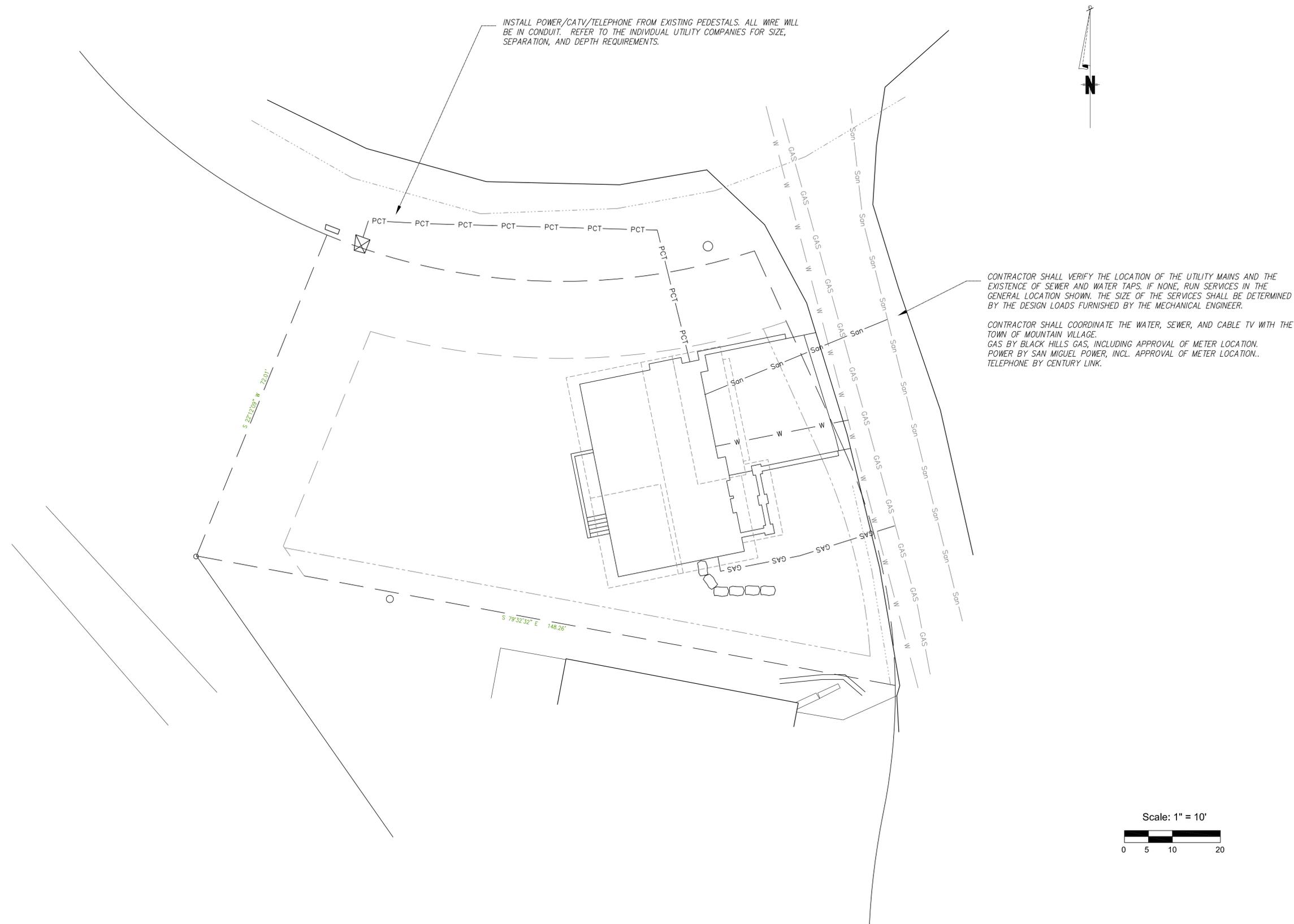
Gold Hill
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ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utility
Plan

C2



INSTALL POWER/CATV/TELEPHONE FROM EXISTING PEDESTALS. ALL WIRE WILL BE IN CONDUIT. REFER TO THE INDIVIDUAL UTILITY COMPANIES FOR SIZE, SEPARATION, AND DEPTH REQUIREMENTS.

CONTRACTOR SHALL VERIFY THE LOCATION OF THE UTILITY MAINS AND THE EXISTENCE OF SEWER AND WATER TAPS. IF NONE, RUN SERVICES IN THE GENERAL LOCATION SHOWN. THE SIZE OF THE SERVICES SHALL BE DETERMINED BY THE DESIGN LOADS FURNISHED BY THE MECHANICAL ENGINEER.

CONTRACTOR SHALL COORDINATE THE WATER, SEWER, AND CABLE TV WITH THE TOWN OF MOUNTAIN VILLAGE.
GAS BY BLACK HILLS GAS, INCLUDING APPROVAL OF METER LOCATION.
POWER BY SAN MIGUEL POWER, INCL. APPROVAL OF METER LOCATION.
TELEPHONE BY CENTURY LINK.

Scale: 1" = 10'



NORTHEAST VIEW



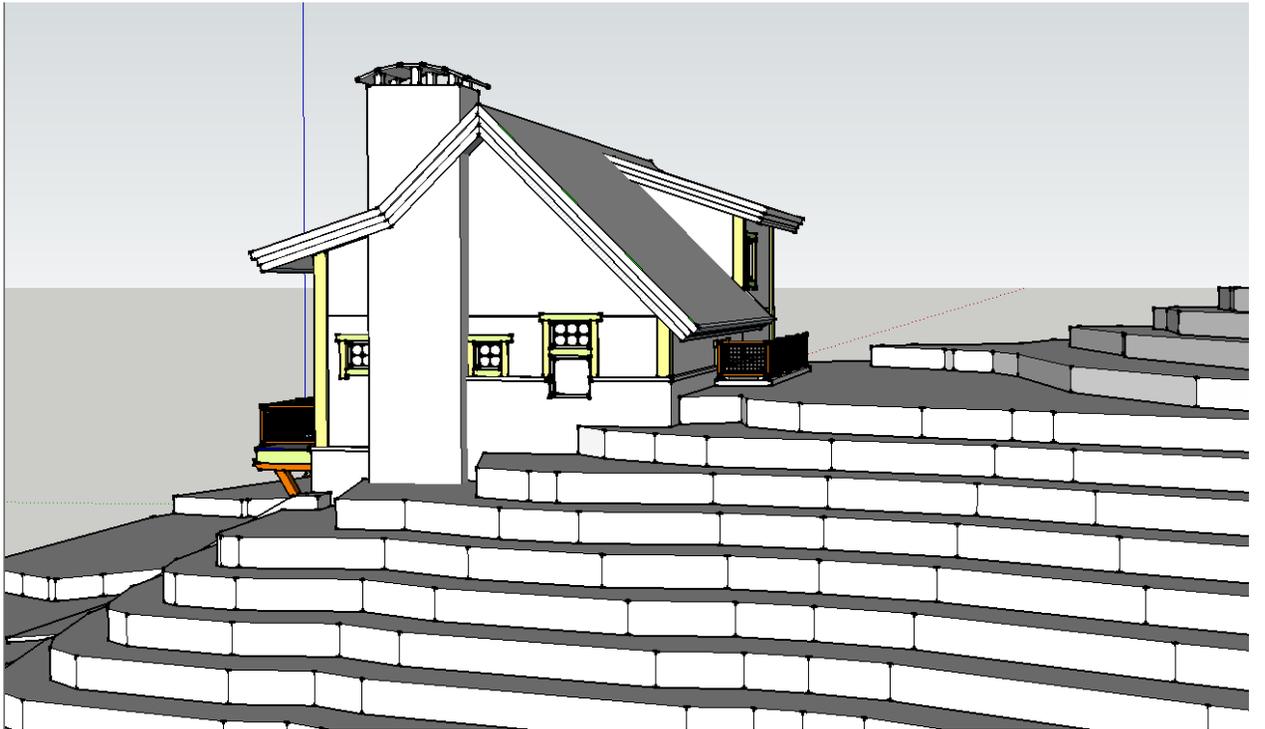
SOUTHEAST VIEW



SOUTHWEST VIEW



NORTHWEST VIEW



Materials for GH15



Stone Material – Natural Telluride Stone Quarried Locally



Roofing Material – Rusty Corrugated Metal



Trim Material – 2x10 Doug Fir (Brown Tone Medium Color)



Main Siding Material – 2x12 Doug Fir Horizontal Plank Siding with Chink Line
(Brown Tone Medium Color with White Chinking)



**PLANNING & DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435

TO: Design Review Board
FROM: Glen Van Nimwegen
FOR: Meeting of July 7, 2016
DATE: June 29, 2016
RE: Design Review Approval for a new single-family dwelling on Lot 181; 118 Highlands Way

PROJECT GEOGRAPHY

Legal Description: Lot 181
Address: 118 Highlands Way
Applicant/Agent: Sante Architects
Owner: Christian Wieninger
Zoning: Single-Family Zone District
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: 1.84 acres
Adjacent Land Uses:

- o **North:** Single-Family
- o **South:** Single-Family
- o **East:** Open Space
- o **West:** Single-Family

ATTACHMENTS

- Exhibit A: Narrative
- Exhibit B: Plan Set
- Exhibit C: Lighting Cut Sheets

PROJECT SUMMARY

CDC Provision	Requirement	Proposed
Maximum Building Height	40' maximum (35'+5' for gable roof)	23' 6"
Maximum Avg Building Height	30'	19' 3/4"
Maximum Lot Coverage	40% maximum	5%
General Easement Setbacks		
North	16' setback from lot line (GE)	3' to GE
South	16' setback from lot line (GE)	19' to GE
East	16' setback from lot line (GE)	225' + to GE
West	16' setback from lot line (GE)	52' to GE

CDC Provision	Requirement	Proposed
Roof Pitch		
Primary	6:12 to 12:12	6:12
Secondary	4:12 unless specific approval	2:12 and Flat Roof
Exterior Material		
Stone	35%	43%
Wood	25% (No requirement)	26%
Windows/Doors	40% maximum for windows	31%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

BACKGROUND

A conceptual work session was held regarding this application on May 5, 2016. That meeting generated a lively discussion about the design and the theme for Mountain Village. The following points were made by board members regarding the site plan and architecture of the submittal:

- The design is a departure from the Mountain Village vernacular
- Likes simplicity of design
- Roof is too flat; the roof design should mirror surrounding topography and not extend over exterior parking spaces
- The straight ridgeline of roof may appear monotonous from a distance
- Don't break up roof planes
- Fits into context of existing neighborhood
- Design is considerate of the site and neighbors
- The green roof is a moustache
- Carport does not fit within the character of Mountain Village
- Design is of another place (Arizona) and not responsive to goals of the CDC
- Perhaps provide a wall adjacent to open stairway on East Elevation
- Eliminate green roof concept
- Appreciates effort to preserve Douglas Fir trees on the site
- Design in the Mountain Village will continue to evolve.

The design changes that have been made since the May 5th Work Session include:

- The roof design has changed by providing a combination gable, thereby extending the gable to the eaves. The primary gable is a 6:12 pitch and the new extensions are at a 2:12 pitch. The flat portion over the outdoor parking area has been shortened one car width. The flat portion will be covered by small tumbled stones recycled from the stonework.
- The stone veneer on the north elevation has been interrupted by vertical siding.
- The outside stairs have been removed from the east elevation.
- Stone replaced horizontal siding on the garage walls on the west and south elevations.
- On the south elevation, the horizontal siding was replaced with the varied width vertical siding. The architect is incorporating sliding barn doors of the same vertical siding that will cover the bedroom openings when the owners are away.

OVERVIEW

Lot 181 is 1.84 acres and slopes from west to east. The proposed home is situated toward the west of the lot to minimize the driveway length and reduce the amount of tree removal on the lot. The building site is fairly flat and the home is positioned in response to a natural shelf due to the topography of the lot and a series of mature Douglas firs located in the middle of the lot. The

site plan is a direct result of the effort to save these trees and tuck the home under the tree canopy.

Grading, Site and Landscape

The tree cover on the lot is a mix of mature aspen, Douglas fir and a few spruces with an aspen understory. Most of the aspen is in decline and will be removed either for the home construction or wildfire mitigation. Most of the Douglas fir will be retained on the lot. All structures and improvements are out of the General Easement (GE), except for a proposed address monument which will need specific Board approval. The NE corner of the home's roof line and deck are within 5' of the GE. Due to the foundation being within five feet of the General Easement this will require a survey prior to pouring foundation footers.

There is one small area adjacent to the terrace where the grade is 2.2:1 where 3:1 is the maximum grade allowed without specific approval by the board. Steps are provided down this slope so the lower level can have quick access to the terrace. This is a better solution than the exterior stairway shown at the work session.

Roof Forms and Pitches

The applicant has revised their design from the work session by extending the gable roof to the eaves with extensions at a pitch of 2:12. The portion of flat roof that extended over the two exterior parking spaces has been shortened about eight feet. The primary roof form is gable with a pitch of 6:12. These and the flat portions of the roof will require specific approval by the Board. (see Section 17.5.6.C 1 and 2 of the CDC)

The applicant has abandoned the proposal to make the flat portions of the roof green, and instead will cover these portions with tumbled stones from the chips from the masonry work.

Windows and Doors

The total fenestration for the proposed home is 31%. The north elevation is at 10% windows which is under the 20% maximum. The east elevation opens up to the predominant views with 56% of the elevation as glass. The south elevation is at 41% fenestration and the west elevation is at 28% fenestration. All windows proposed as dark, anodized aluminum clad, color to be determined. The majority of the windows are at the 40 sq. ft. maximum for uninterrupted glass. (See Section 17.5.6.G of the CDC)

The applicant has added barn doors made of the same vertical siding as exterior wall material of the south elevation. These hang from a track in the soffit and will be closed over the bedroom glass doors when the occupants are away. All of the windows and doors will be inset a minimum of five inches when in the stone veneer.

The design guidelines state the primary entrance doorway shall establish interest, variety and character as determined on an individual basis. In this application the front door is on the west end of the south elevation and is subtly different from the other glass openings by being wider and taller. The front entry glass area is approximately 47.5 square feet, which exceeds the 40 square foot standard, but does open to a foyer adjacent to the great room. The design guidelines allow for larger uninterrupted glass areas when adjacent to a great room. The Board will have to give specific approval for the glass area of the entry doorway. (See Section 17.5.6.G of the CDC)

Materials

The percentage of stone is 43%. The majority of this stone is on the north and west elevations where more than one level are showing. The south elevation has only 17% stone, but the site walls around the courtyard help the view portray the solid, grounded theme of our design guidelines. The roofing material proposed is bonderized standing seam with bonderized fascia and gutters. Vertical wood siding makes up 26% of the materials of elevations. The board widths vary from two to ten inches. The Board will have to approve the siding as the code requires a minimum board dimension of eight inches.

The chimney pipe is a dark black mill scale raw sealed steel. The design guidelines require the chimney design to relate to the overall design, and this one does. However there is language in the CDC that requires a curved cap and that the chimney not be exposed metal. (See Section 15.5.6.D of the CDC)

Outdoor Lighting

The outdoor lighting includes only soffit and two types of step-lights surrounding the terrace and motor court. The recessed downlights are contained in the soffit above the west, east and south elevations. The step-lights are integrated into the adjacent low wall, or a short pedestal light is used where there is no adjacent wall. The proposed lighting should not be noticeable to the adjoining neighbors.

Construction Mitigation

The construction staging will occur in the auto court area of the home. There are areas of topsoil storage on the north and east sides of the lot, outside of the general easements. Existing trees in the patio/terrace area will be protected.

Potential Design Variations and Specific Approvals Required

- Specific approval of the address monument is required because it is in the front General Easement.
- Specific approval of the 2.2:1 slope adjacent to the terrace where 3:1 is required.
- The secondary roof forms are flat or 2:12 pitch where a minimum of 4:12 is required.
- The main entry door is glass and 47.5 square feet, which exceeds the maximum size of uninterrupted glass at 40 square feet. The doorway opens to the foyer, which is adjacent to the great room. The regulations allow up to 70 square feet when the opening is to a great room.
- The vertical siding is of varied sizes from two to 10 inches where a minimum of eight inches is required.
- The chimney is a dark black mill scale raw sealed steel pipe where the regulations do not allow exposed metal.

COMPOSITION AND TOWN DESIGN THEME

A considerable amount of discussion was devoted at the work session to the proposed design departure from the Mountain Village vernacular. The design is different in appearance than the neighboring structures. However, it is staff’s contention the proposal meets most of the goals of the community’s design theme:

17.5.4 TOWN DESIGN THEME

- A. The town design theme is directed at establishing a strong image and sense of place for the community within its mountain setting.

- B. Mountain Village is located in a fragile, high-alpine environment that contains forests, streams, wetlands and mountainous topography. The natural physical features and setting of the town shall inform the design of our buildings to promote harmony between people and nature that respects and blends with its surroundings and is integrated into the landscape.

Staff: The applicant has successfully sited the home in the most appropriate (flat) location on the site and preserved many of the existing mature Douglas Fir trees. They have kept the building height low to not impede upon the neighboring structures.

- C. Architecture and landscaping within the town shall be respectful and responsive to the tradition of alpine design and shall reflect sturdy building forms common to alpine regions.

- D. Architectural expression shall be a blend of influences that visually tie the town to mountain buildings typically found in high alpine environments.

Staff: The low slung design and flatter pitch of the roof takes away some of the common elements that are used in Mountain Village to evoke sturdiness, such as stone buttresses, heavy timber or steel brackets. However the view of this home from the roadway (west elevation) is of a sturdy stone house.

- E. Architecture within the town will continue to evolve and create a unique mountain vernacular architecture that is influenced by international and regional historical alpine precedents. The Town encourages new compatible design interpretations that embrace nature, recall the past, interpret our current time, and move us into the future while respecting the design context of the neighborhood surrounding a site.

Staff: The Wieninger home is an implementation of this goal. There are probably more international than local or regional influences in the design, but the result respects the site and design context of the neighborhood without mimicking the neighbors.

- F. The key characteristics of the town design theme are:
 1. Building siting that is sensitive to the building location, access, views, solar gain, tree preservation, and visual impacts to the existing design context of surrounding neighborhood development.
 2. Massing that is simple in form and steps with the natural topography.
 3. Solid, heavy grounded bases that are designed to withstand alpine snow conditions.
 4. Structure that is expressive of its function to shelter from high snow loads.
 5. Materials that are natural and sustainable in stone, wood, and metal.
 6. Colors that blend with nature.

Staff: In addition to integrating the home into the site to preserve significant trees, the non-characteristic long bands of windows and balcony only occur on the east elevation to take advantage of the principal views. The massing is simple and steps with the topography. The roof form has changed so that it does not appear as a short gable roof surrounded by a flat roof. The 2:12 secondary extensions help unify the roof form. The materials are natural and very much a part of the Mountain Village palette.

Staff believes a new interpretation of design in this location is warranted by the benefits it allows by integrating into this infill site and staying below the shoulders of the much more massive scale of the neighboring structures.

RECOMMENDATION

Staff recommends approval of the project with the proposed variations and specific approvals contained herein subject to the following conditions:

1. Approval of a general easement encroachment for the address monument prior to issuance of a certificate of occupancy.
2. The residence shall have a monitored fire sprinkler system; and the numbers on the address monument shall be coated or outlined with material to cause them to be reflective.
3. The applicant shall submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into any easements/setbacks prior to the Building Division conducting the required footing or foundation inspection, as applicable.
4. Prior to the issuance of a development permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.

May 23, 2016

Town of Mountain Village

Planning Department

Attention: Dave Bangert

RE: Lot 181 Mountain Village – DRB application

Dave –

Based on our May 5 Worksession with the Mountain Village Design Review Board, attached is our plan submittal for Lot 181.

General Info:

The property is located towards the end of Highlands Way, nestled amongst mostly built-out lots. It is a very private site, with significant amounts of mature landscaping on the lot and a fairly flat building area towards the west side of the property, which is where we are proposing to place the home. The siting of the home is in response to both a natural shelf created by the topography as well as a series of mature mostly fir trees located in the middle of the lot, to the southeast, and north of the proposed residence. The canopy of these trees has been a significant driver in the design of the home, encouraging us to place the home in such a way that it exists below and is tucked under the large canopy overhead.

We attempted to minimize the driveway length and keep the approach as straightforward as possible in order to reduce the amount of tree removal on the lot. The home is essentially an L-shaped plan. There is a garage, mudroom, and bedroom wing located in an east west orientation and the kitchen, dining and living areas are located in the north/south orientation to maximize the views from those spaces. The bedrooms will be oriented to a south lawn within the disturbed area of the development to further engage the occupants with the outdoor spaces and provide ample southern exposure. We have eliminated the double carport from our previous hearing based on general feedback from the board.

Glazing:

As you can see, there is significant amounts of glazing around the open living area. The driving factor behind this is maximizing the exposure of the living spaces to the outdoor spaces and providing an uninterrupted visual connection between the two. I have spoken with the building department, and their response has been that as long as we meet a performance based energy code for the home then we are allowed some flexibility in how this is achieved. This is of course from a building code perspective only and would not supercede the decision of the Design Review Board. Essentially our approach will be to work with an energy modeling consultant and likely provide high performance glazing that allows us to reach our goals through HERS rating analysis. This has been designed within the 40 sf max uninterrupted glazing guideline. It should be noted that these panels are a single story of glass, unlike the homes you see throughout the Mountain Village that have 2 to 2.5 stories of glazing to maximize views. I think if you were add the total amount of glass that we are proposing, it would be in line with a more typical, but much larger home in the region. The amount of glazing is essentially unchanged from our previous hearing.

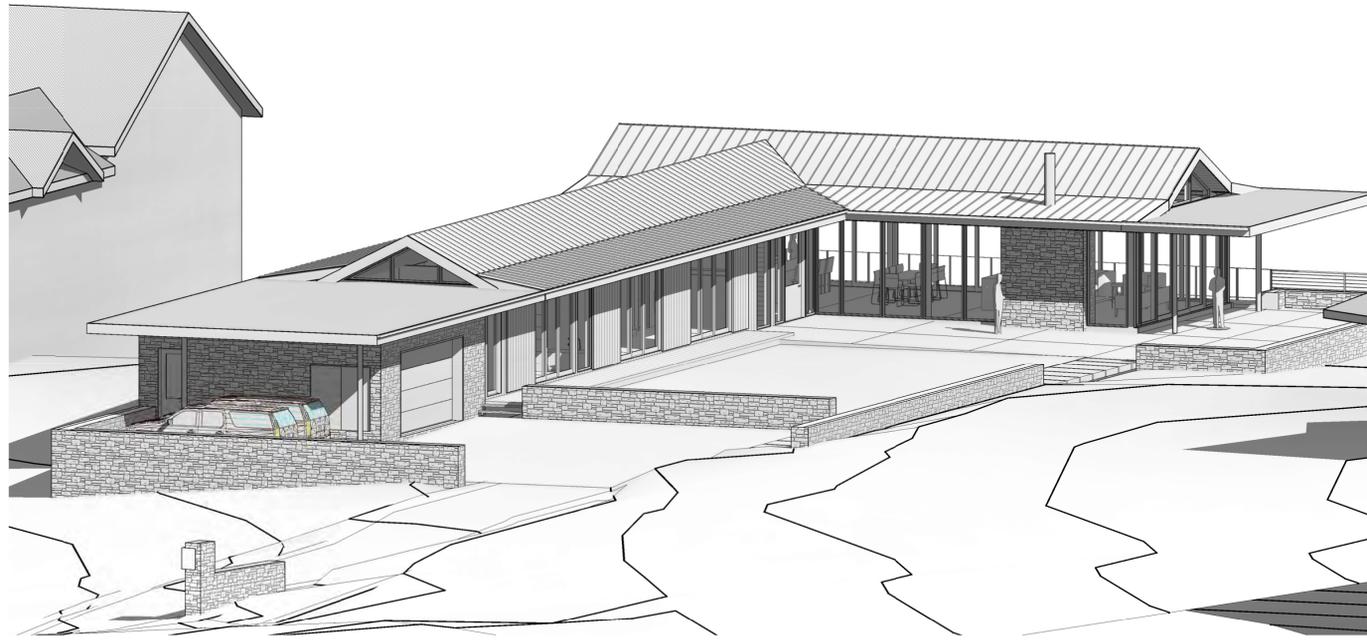
Roof forms:

We are proposing 2 intersecting 6:12 primary gables over each wing of the L-shaped form, with a flat roof portion over the garage area. From our previous hearing we have eliminated the flat roof "eaves" that surrounded the gables before and replaced these sections with a 2:12 lower roof form. From a design standpoint, our approach as mentioned previously was to engage this home below the existing tree canopy and respond to the natural topography in a single, horizontal form, rather than building 3-4 stories up and maximizing the height. We studied many iterations of roof forms both prior to the worksession and after getting feedback from the board. We felt that this approach met both our design aesthetic for a single low building form, but also responded to the concerns that the board members had for eliminating much of the flat roofed areas. It was previously discussed and should be reiterated that what we are proposing has very minimal impact on the 2 neighboring homes from a mass and scale, solar access and view corridor perspective, compared to a more traditional home. We were previously proposing a "LiveRoof" tray system for the flat roofed portions of the home but after hearing from the board members, the consensus seemed to be that they were not in favor of this approach.

Please review the revised drawings and let me know if you have any questions in order for the application to proceed. Thank you for your time and direction so far on this.

Sincerely,

Peter Sante
Sante Architects



SHEET INDEX

- A 1.0 COVER SHEET, INDEX
- A 1.1 CONCEPTUAL VIEWS
- A 1.2 3D VIEWS
- A 2.0 SITE PLAN
- A 3.0 OVERALL FLOOR PLANS
- A 3.1 FLOOR PLANS
- A 3.2 FLOOR PLANS
- A 3.4 ROOF PLAN
- A 4.0 ELEVATIONS
- A 8.0 DOORS AND WINDOWS
- A CM CONSTRUCTION MITIGATION PLAN
- A LS CONCEPTUAL LANDSCAPE PLAN
- A LT OUTDOOR LIGHTING PLAN
- A MC MATERIAL CALCULATIONS
- C C1 DRB GRADING PLAN
- C C2 DRB DRAINAGE AND EROSION CONTROL PLAN
- C C3 DRB UTILITY PLAN

BUILDING CODE/ZONING INFO

PROJECT INFORMATION
 A. OCCUPANCY
 B. TYPE OF CONSTRUCTION

SQUARE FOOTAGE CALCULATIONS

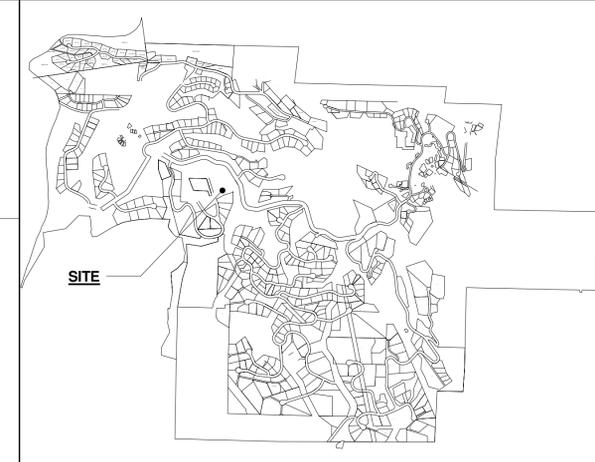
MAIN LEVEL FLOOR PLAN	3421 sf
LOWER LEVEL FLOOR PLAN	1652 sf
GARAGE	587 sf
TOTAL	5660 sf

LOT SIZE:	1.84 ACRES = 80,151sf
BUILDING FOOTPRINT:	4008 sf
LOT COVERAGE:	5%

PROJECT DIRECTORY

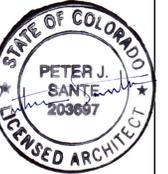
<p>OWNER CHRISTIAN WIENINGER MARKTSTRASSE 1 83317 TEISENDORF GERMANY</p>	<p>ARCHITECT SANTE ARCHITECTS, LLC 107 N. FIR STREET P.O. BOX 61 TELLURIDE, CO 81435 970.728.6102 - P 970.728.6103 - F</p>	<p>CONTRACTOR EVANS CONSTRUCTION 683 W. PACIFIC AVE #200A TELLURIDE, CO 81435 970.369.0870</p>
<p>STRUCTURAL ENGINEER</p>	<p>SURVEYOR SAN JUAN SURVEYING 102 SOCIETY DR. TELLURIDE, CO 81435 970.728.1128 - P 970.728.9201 - F</p>	<p>GEOTECH ENGINEER DOWL 222 SOUTH PARK AVE. MONTROSE, CO 81401 970.249.6828</p>

VICINITY MAP



SANTE ARCHITECTS

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 EMAIL: Peter@SANTearchitects.com
 PO BOX 61
 107 North Fir Street
 Telluride, CO 81435
 www.SANTearchitects.com



**LOT 181
 MOUNTAIN
 VILLAGE
 COLORADO**

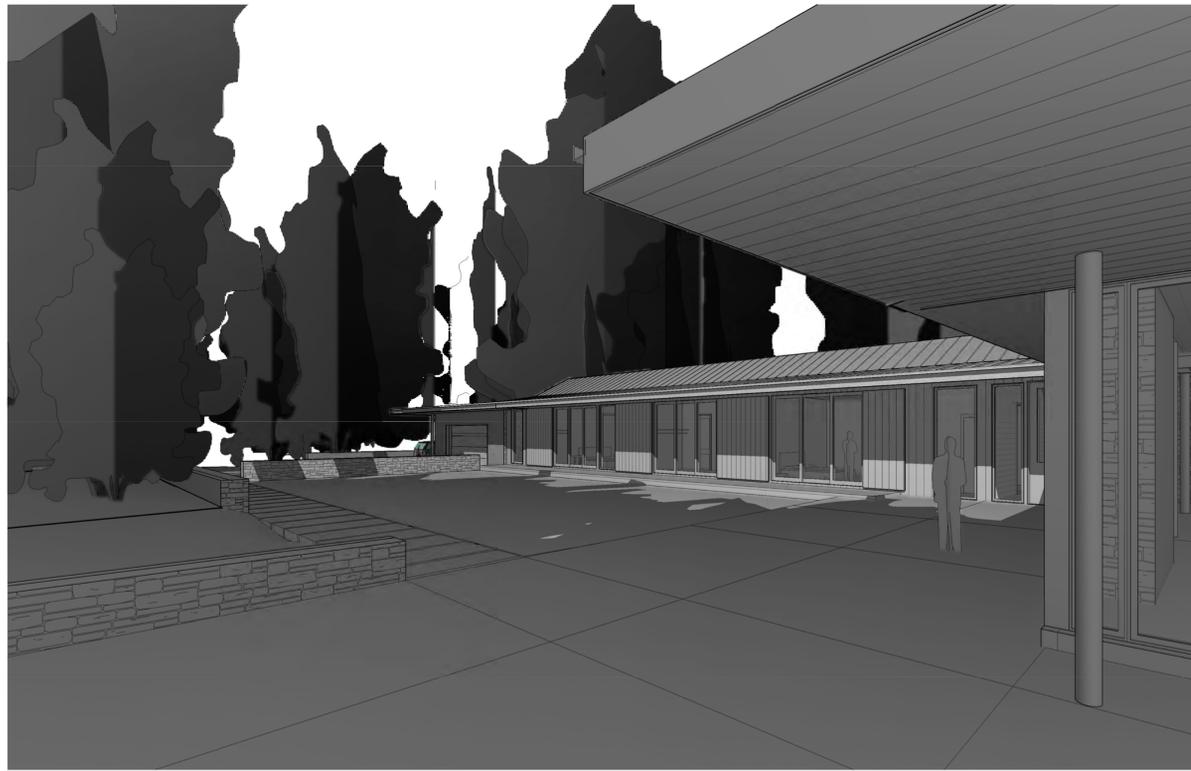
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 5.23.16
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 SJ
 CHECKED BY:
 SJ
 FILE:
 1515

**LOT 181 MOUNTAIN VILLAGE
 DRB APPROVAL
 5.23.16**

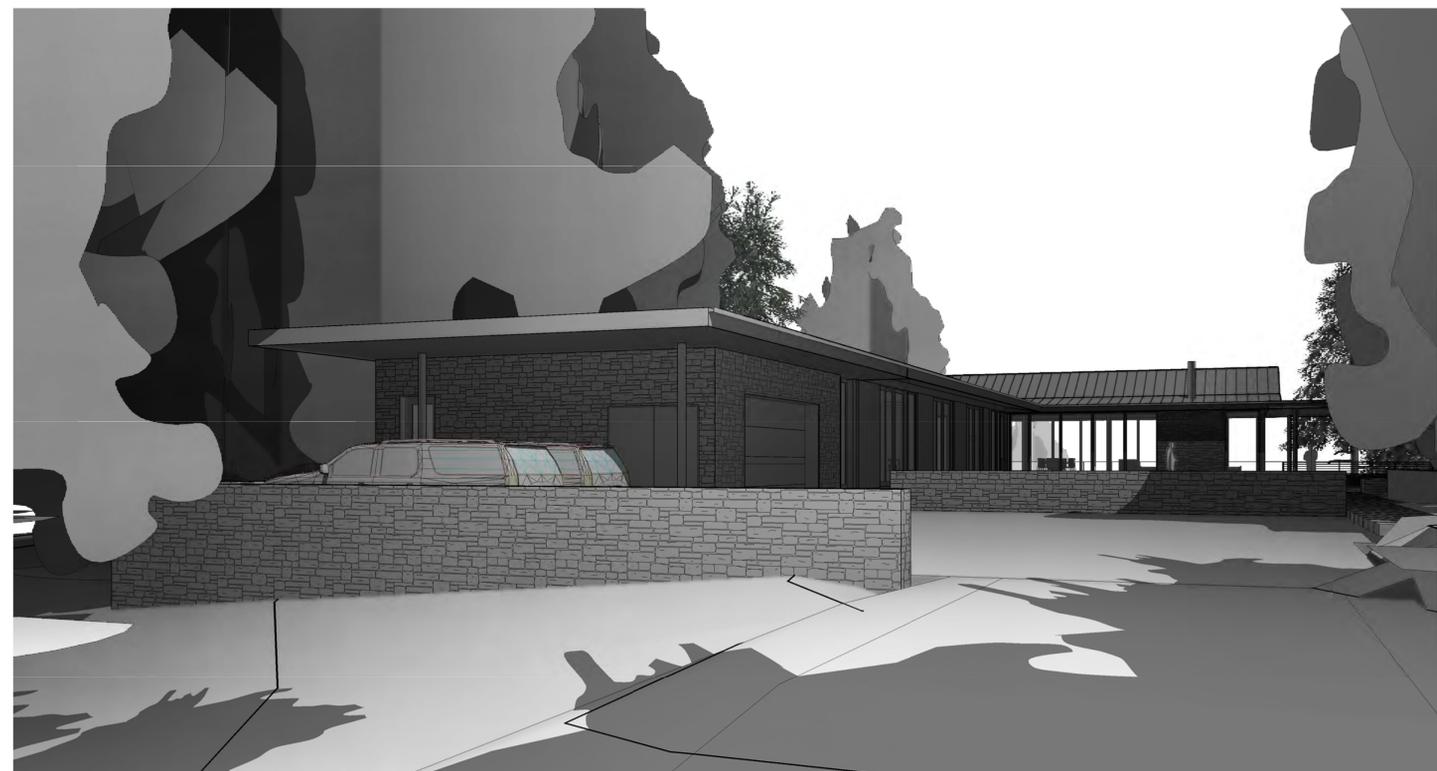
COVER SHEET,
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SCALE:
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1 3D View 1



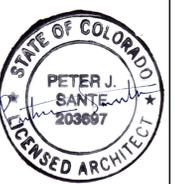
2 3D View 5



3 3D View 6

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LOT 181
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 COLORADO

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 SJ
 CHECKED BY:
 SJ
 FILE:
 1515

MV DRB APPROVAL 5.23.16

Revision Schedule

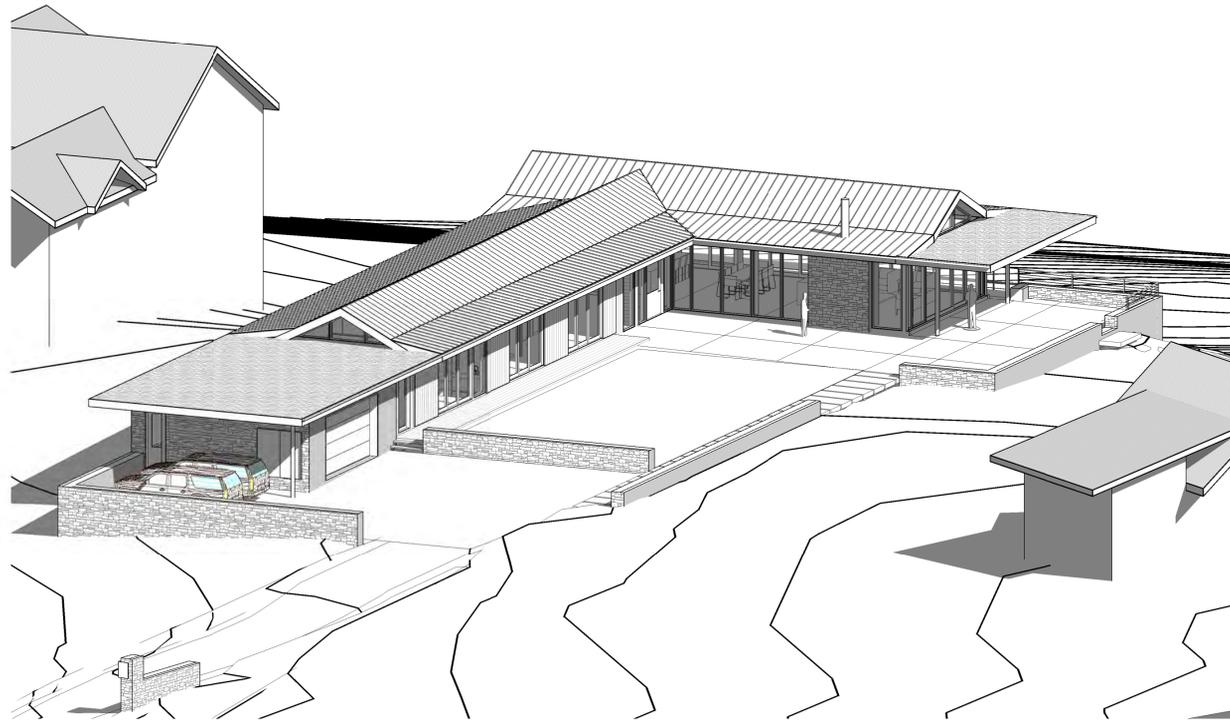
CONCEPTUAL VIEWS

SCALE:

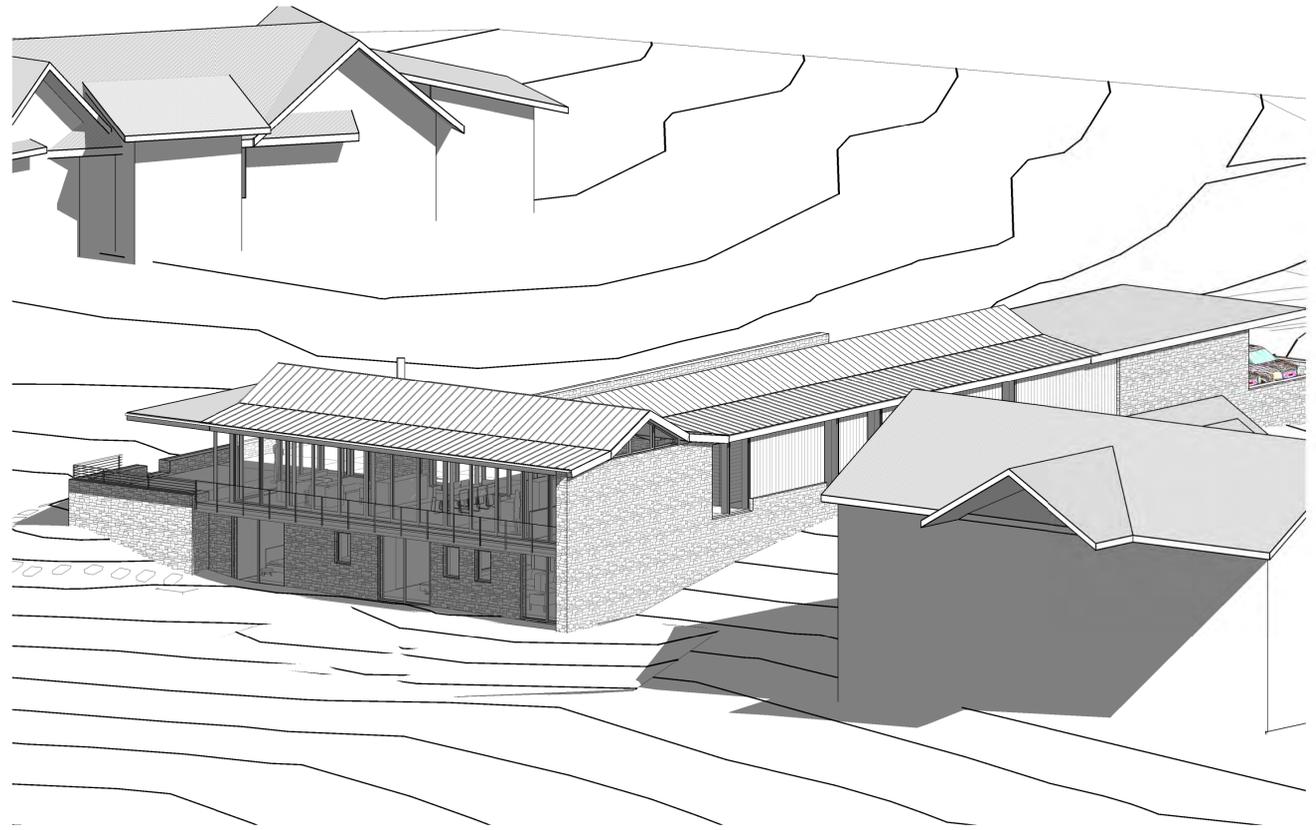
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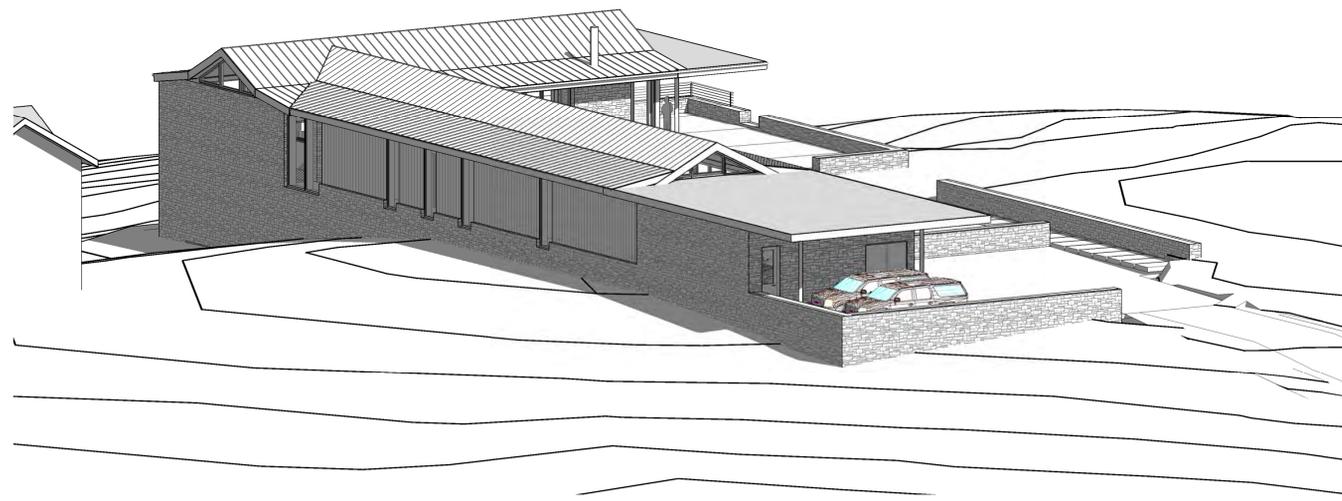
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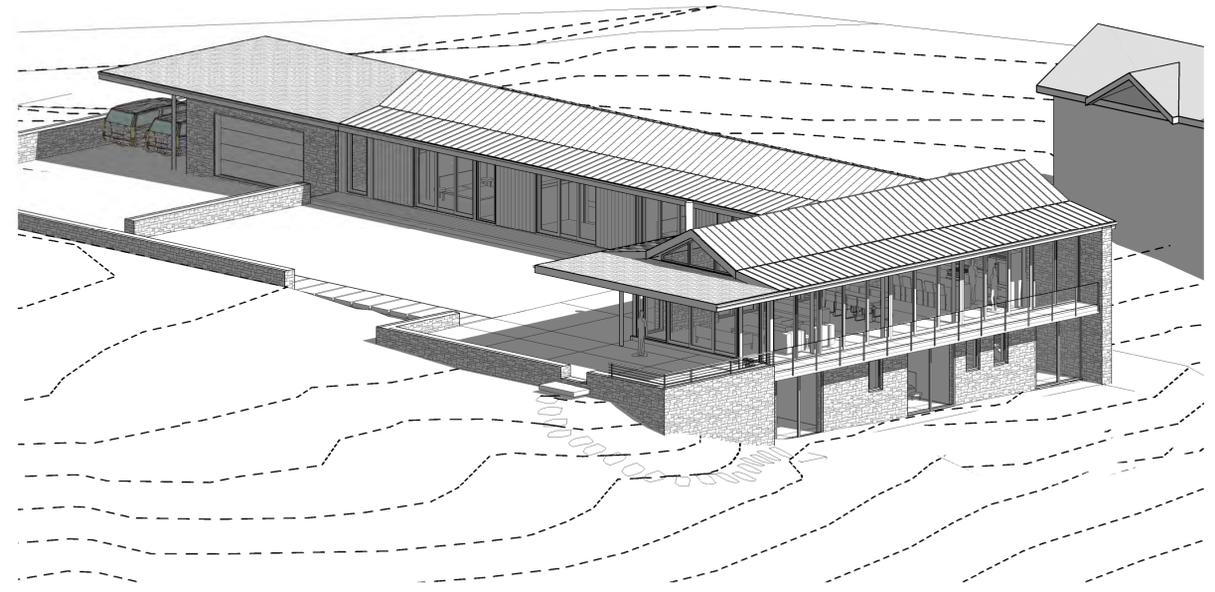
1 3D entry



2 3D NE



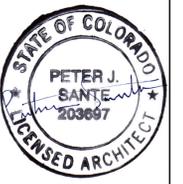
3 3D NW



4 3D SE

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LOT 181
 MOUNTAIN VILLAGE
 COLORADO

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Revision Schedule

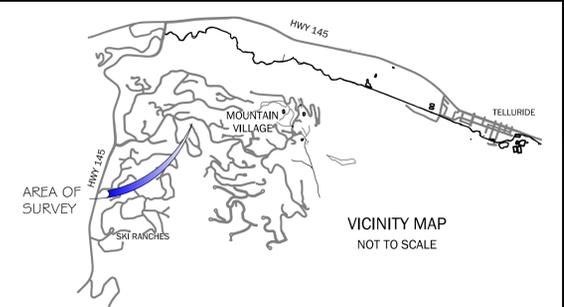
3D VIEWS

SCALE:

A 1.2

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LEGEND

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 20632
- ▲ ELECTRIC VAULT
- ⊠ TELEPHONE PEDESTAL
- ⊙ SEWER MANHOLE
- ⊞ WATER STOP
- ⊡ ADDRESS MONUMENT (122 HIGHLANDS DRIVE)
- PAVEMENT
- ⊙# SPRUCE TREE, # INDICATES CALIPER
- ⊙# FIR TREE, # INDICATES CALIPER
- ⊙# ASPEN TREE, # INDICATES CALIPER

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

1. According to Flood Insurance Rate Map: 08113C0287 D, map revised September 30, 1992, this parcel lies within Zone X (Areas determined to be outside the 500-year flood plain).
2. Vertical datum is based on SJS Control Point CP-20 on Victoria Drive having an elevation of 9388.20'. Site benchmark is the found property corner of Lot 181, an Aluminum Cap Rebar, LS 20632, having an elevation of 9518.26 feet, as depicted.
3. Views to major peaks are shown with zenith angles.
4. Lineal Units U.S. Survey Feet

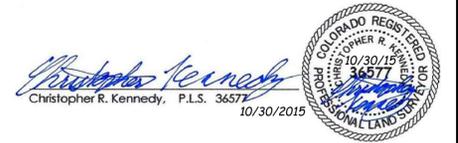
PROPERTY DESCRIPTION:

Lot 181, Filing 36, Telluride Mountain Village, according to the Plat recorded October 23, 1996 in Plat Book 1 at page 2144.

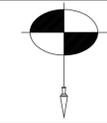
County of San Miguel,
State of Colorado

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 181, Filing 36, Telluride Mountain Village, was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.



TOPOGRAPHIC SURVEY
LOT 181, FILING 36, TELLURIDE MOUNTAIN VILLAGE



SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728-1128 (970) 728-9201 fax
office@sanjuansurveying.net

DATE:	10/28/2015
JOB:	99001
DRAWN BY:	CRK
CHECKED BY:	ADM
REVISION DATES:	
SHEET:	1 OF 1

LOT 180R

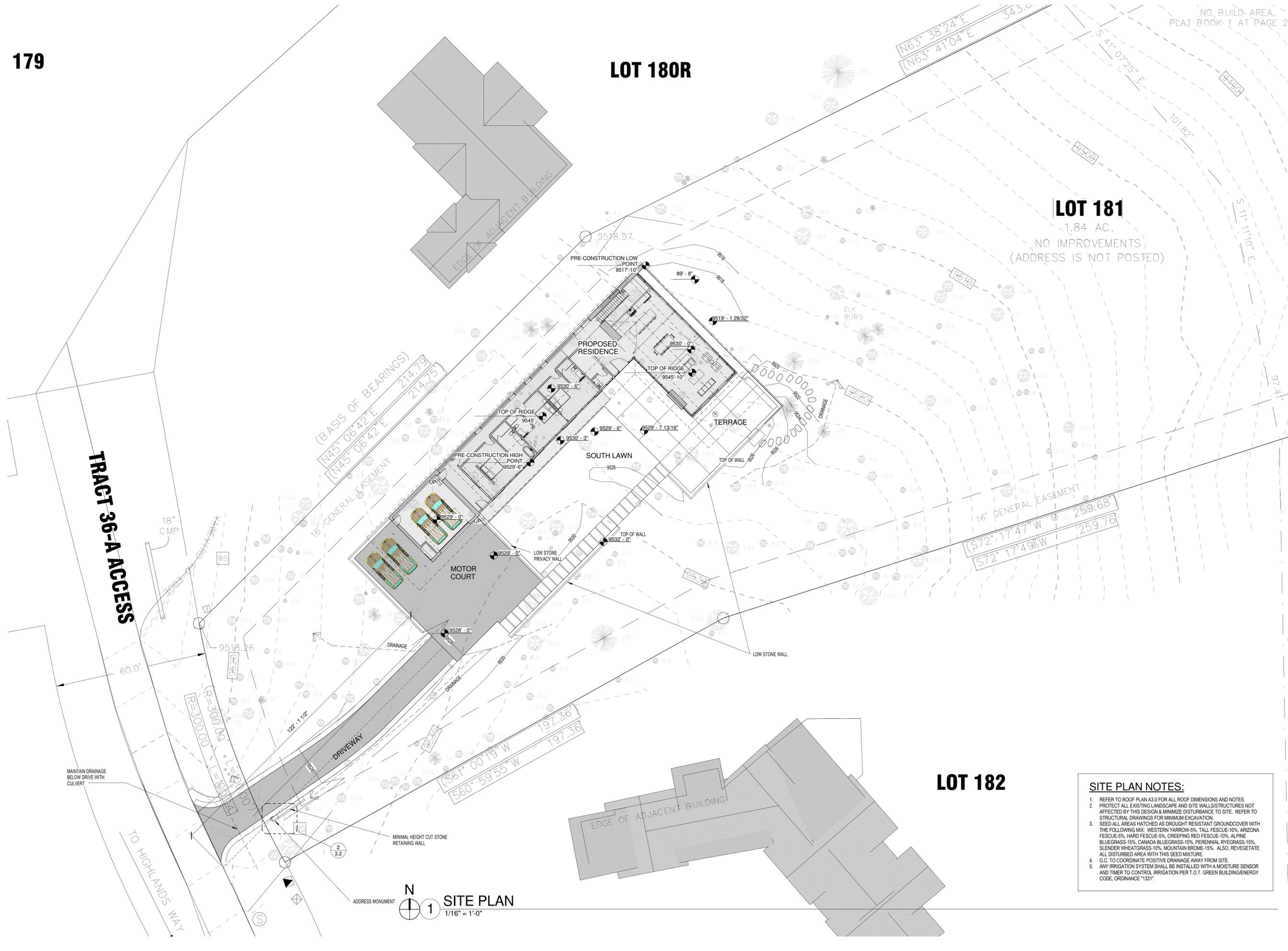
LOT 181

1.84 AC.
NO IMPROVEMENTS
(ADDRESS IS NOT POSTED)

LOT 182

TRACT 36-A ACCESS

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N
1 SITE PLAN
1/16" = 1'-0"

- SITE PLAN NOTES:**
- REFER TO ROOF PLAN A3.0 FOR ALL ROOF DIMENSIONS AND NOTES.
 - PROTECT ALL EXISTING LANDSCAPE AND SITE WALLS/STRUCTURES NOT AFFECTED BY THIS DESIGN & MINIMIZE DISTURBANCE TO SITE. REFER TO STRUCTURAL DRAWINGS FOR MINIMUM EXCAVATION.
 - SEED ALL AREAS HATCHED AS DROUGHT RESISTANT GROUNDCOVER WITH THE FOLLOWING MIX: WESTERN YARROW-5%, TALL FESCUE-10%, ARIZONA FESCUE-5%, HARD FESCUE-5%, CREEPING RED FESCUE-10%, ALPINE BLUEGRASS-15%, CANADA BLUEGRASS-10%, PERENNIAL RYEGRASS-15%, SLENDER WHEATGRASS-10%, MOUNTAIN BROME-15%. ALSO, REVEGETATE ALL DISTURBED AREA WITH THIS SEED MIXTURE.
 - G.C. TO COORDINATE POSITIVE DRAINAGE AWAY FROM SITE.
 - ANY IRRIGATION SYSTEM SHALL BE INSTALLED WITH A MOISTURE SENSOR AND TIMER TO CONTROL IRRIGATION PER T.O.T. GREEN BUILDING/ENERGY CODE, ORDINANCE "1331".

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STATE OF COLORADO
PETER J. SANTE
203667
LICENSED ARCHITECT

LOT 181
MOUNTAIN VILLAGE
COLORADO

DATE: 5.23.16
DRAWN BY: SJ
CHECKED BY: SJ
FILE: 1515

MV DRB APPROVAL 5.23.16

Revision Schedule

SITE PLAN

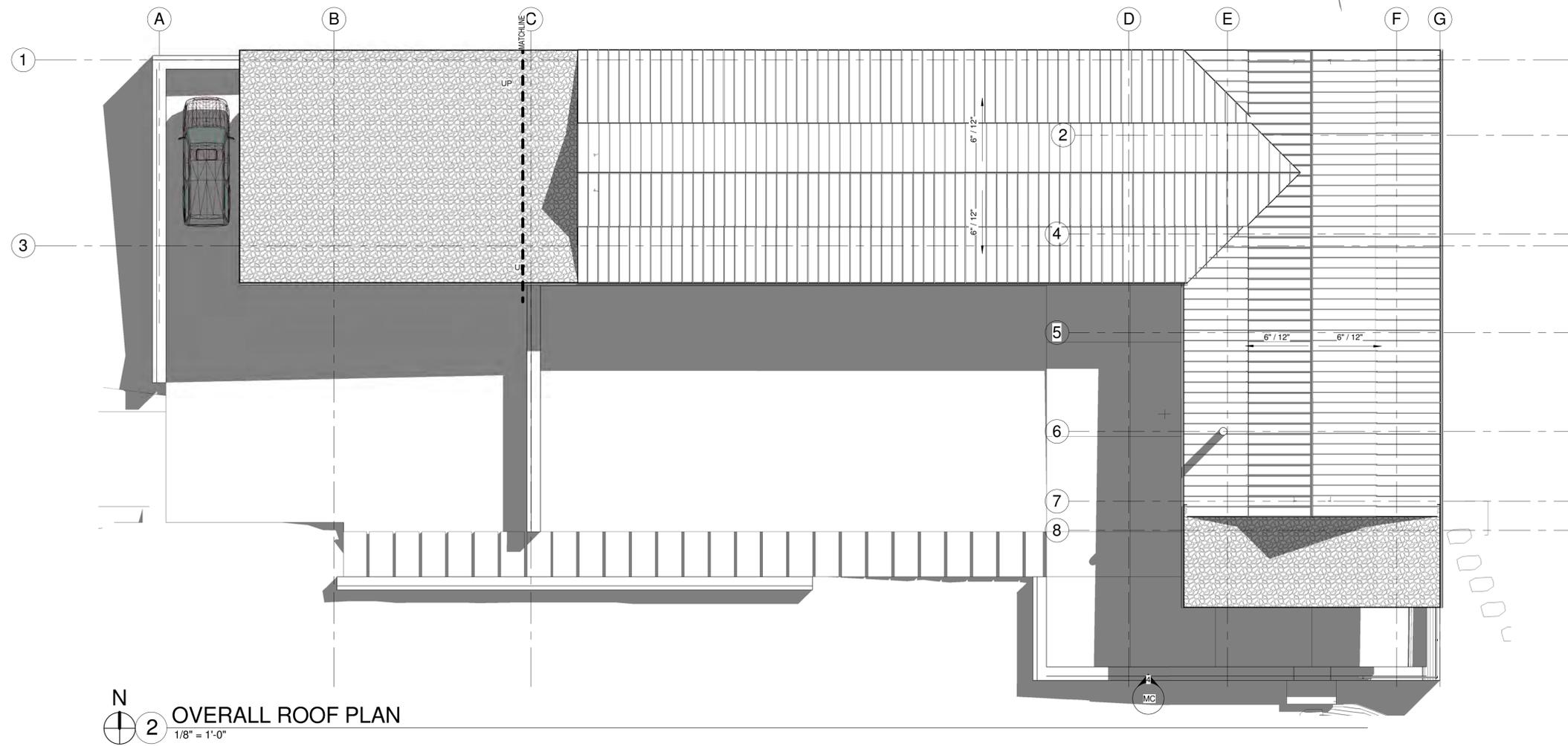
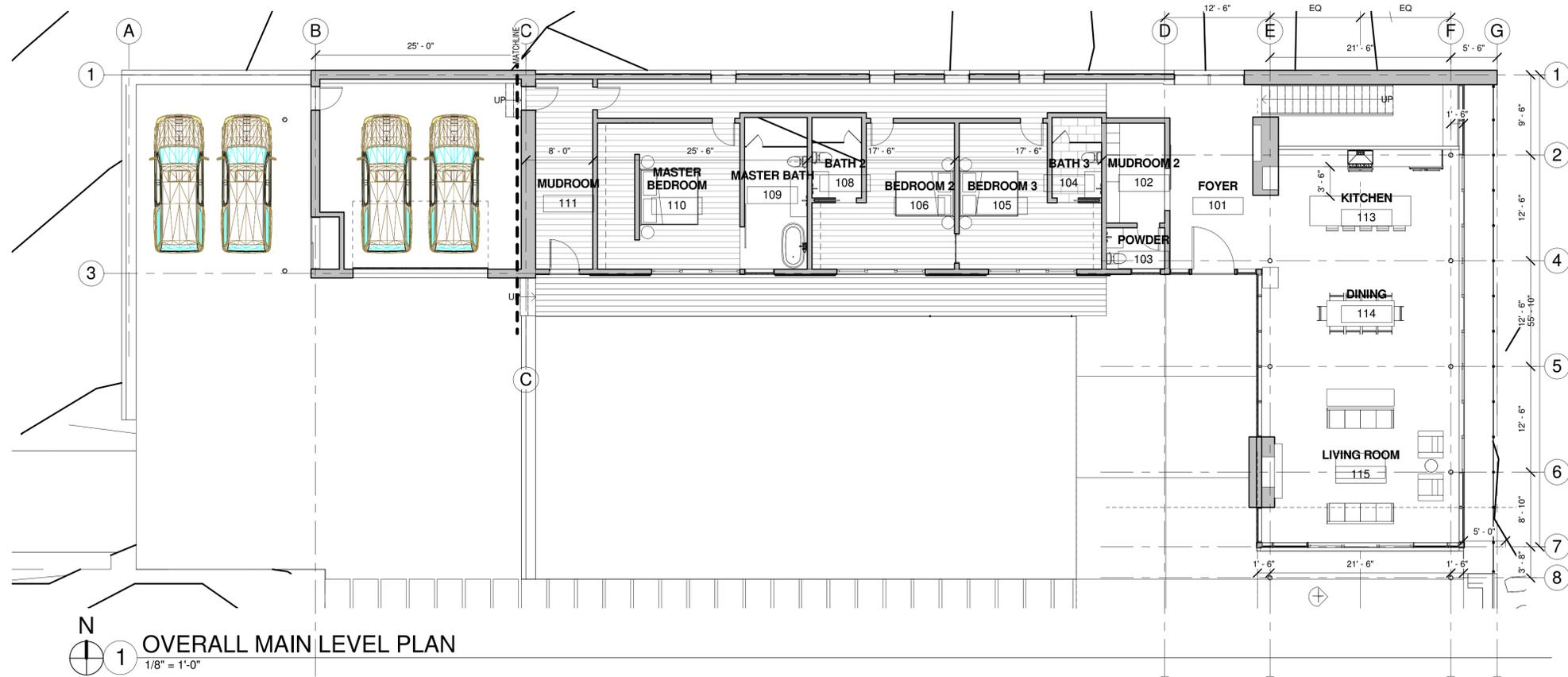
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As indicated

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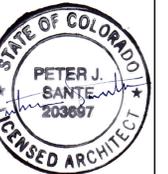
S 01° 08' 57" E

268.76'



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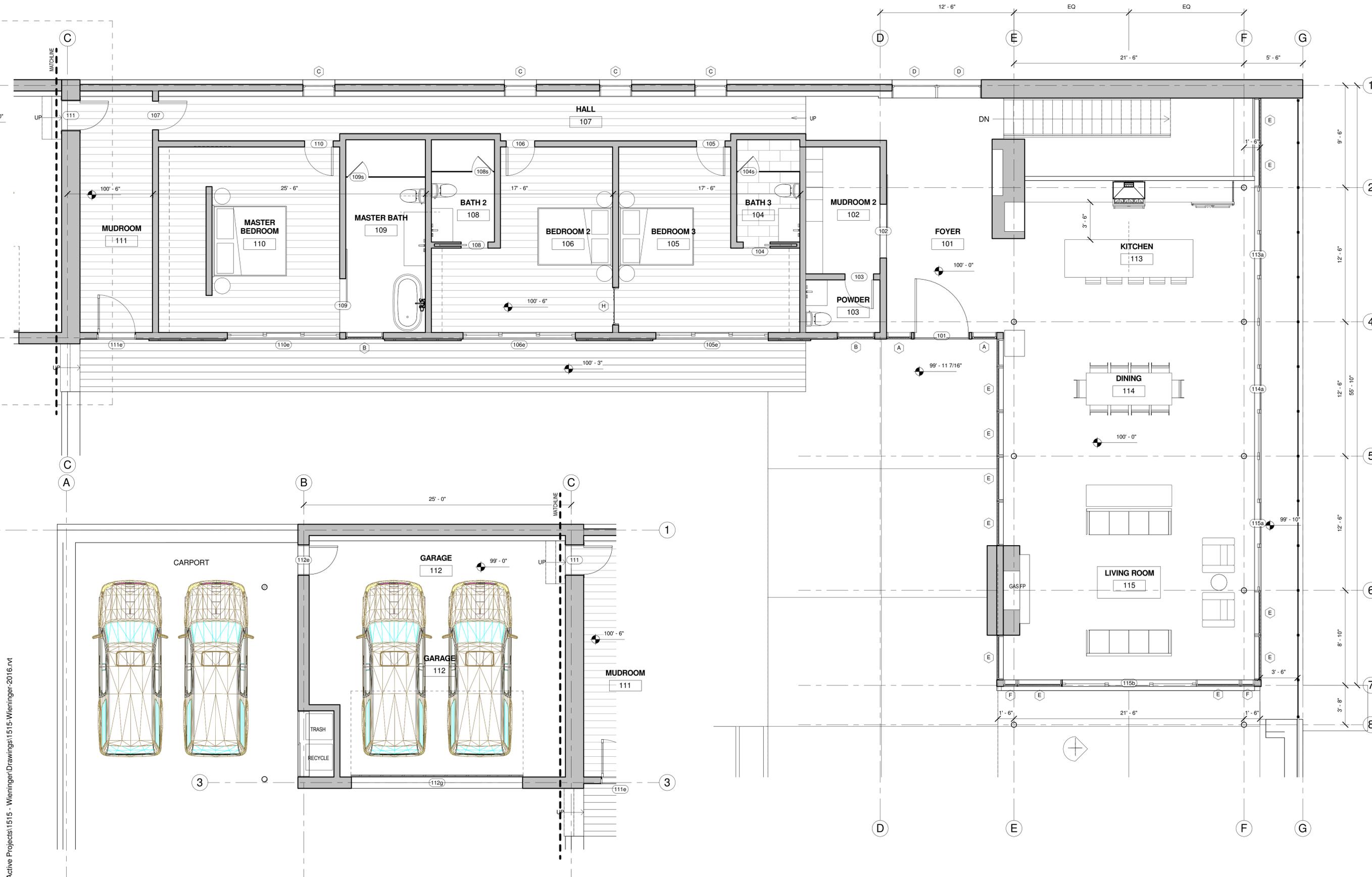
Revision Schedule

OVERALL FLOOR
PLANS

SCALE:
1/8" = 1'-0"

A 3.0

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1 GARAGE PLAN
1/4" = 1'-0"

2 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

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 CHECKED BY: SJ
 FILE: 1515

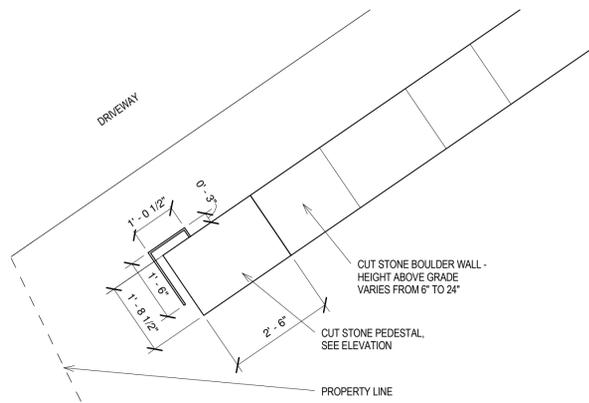
MV DRB APPROVAL 5.23.16

Revision Schedule

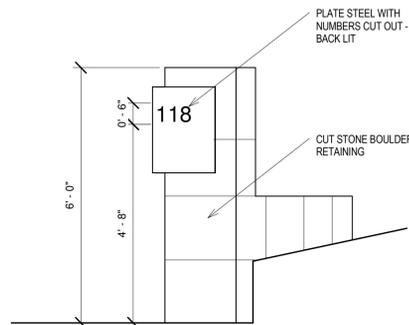
FLOOR PLANS

SCALE:
1/4" = 1'-0"

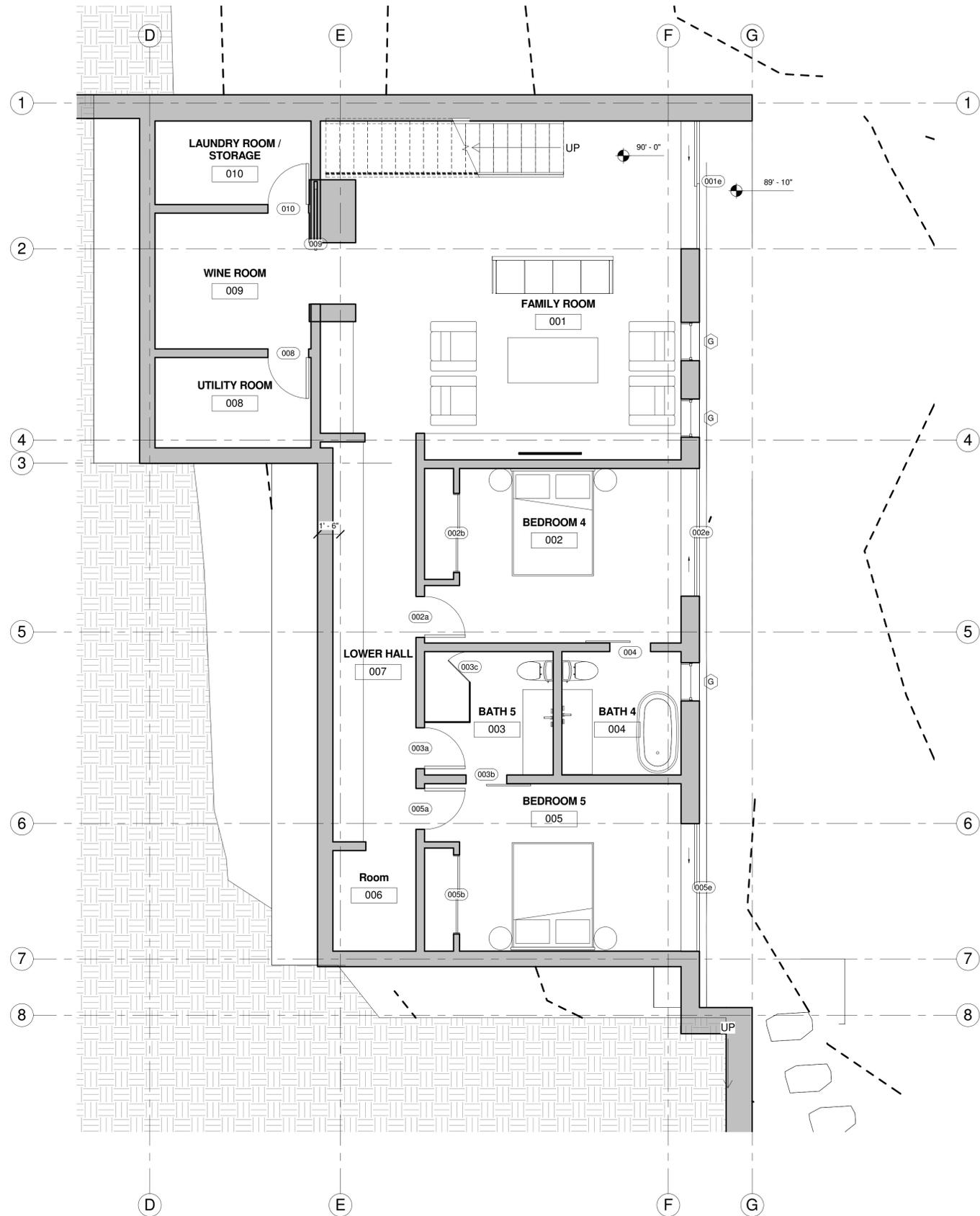
A 3.1



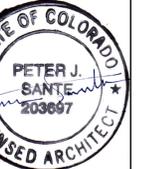
2 ADDRESS MONUMENT PLAN
1/2" = 1'-0"



3 ADDRESS MONUMENT ELEVATION
1/2" = 1'-0"



1 LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"



LOT 181
MOUNTAIN VILLAGE
COLORADO

DATE: 5.23.16
DRAWN BY: SJ
CHECKED BY: SJ
FILE: 1515

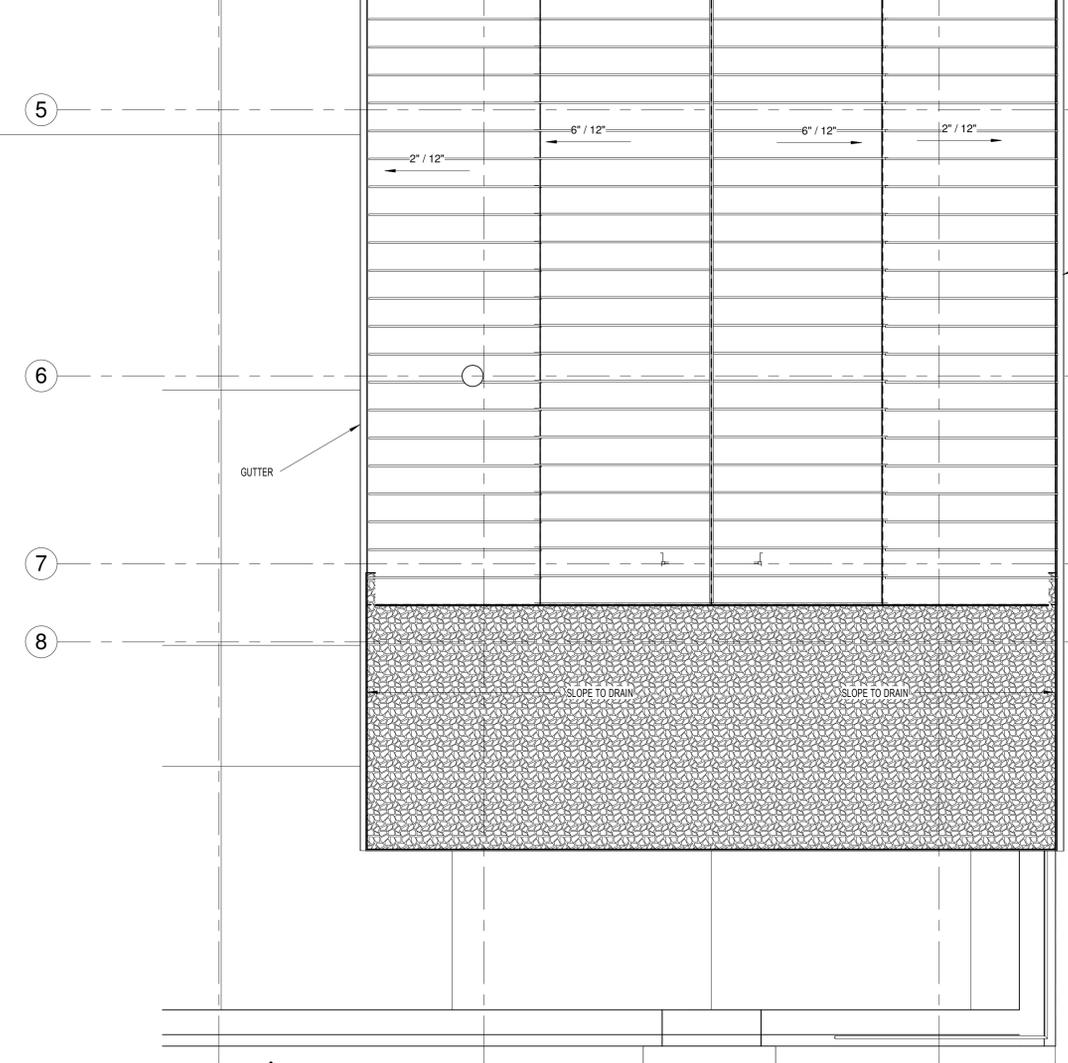
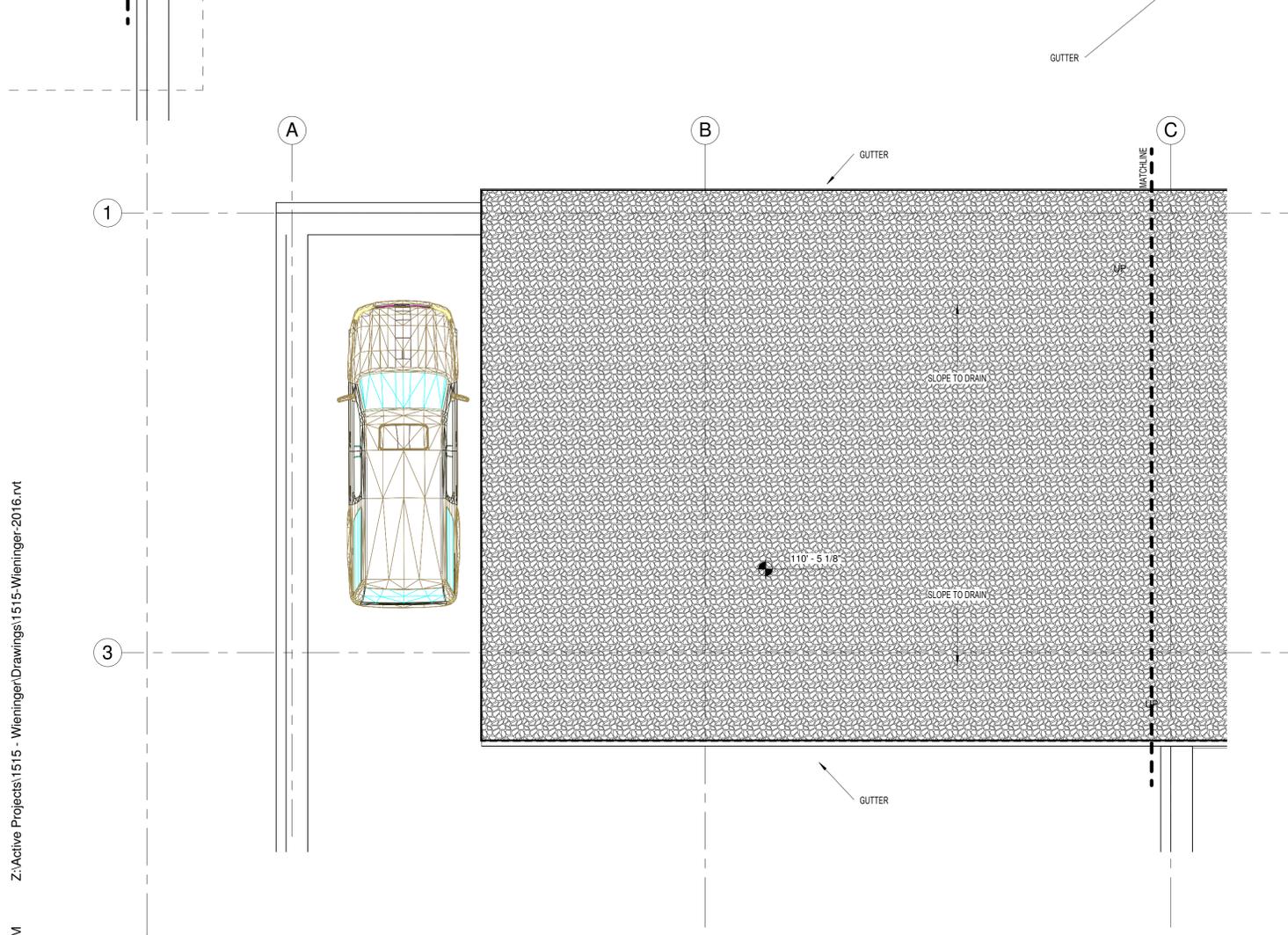
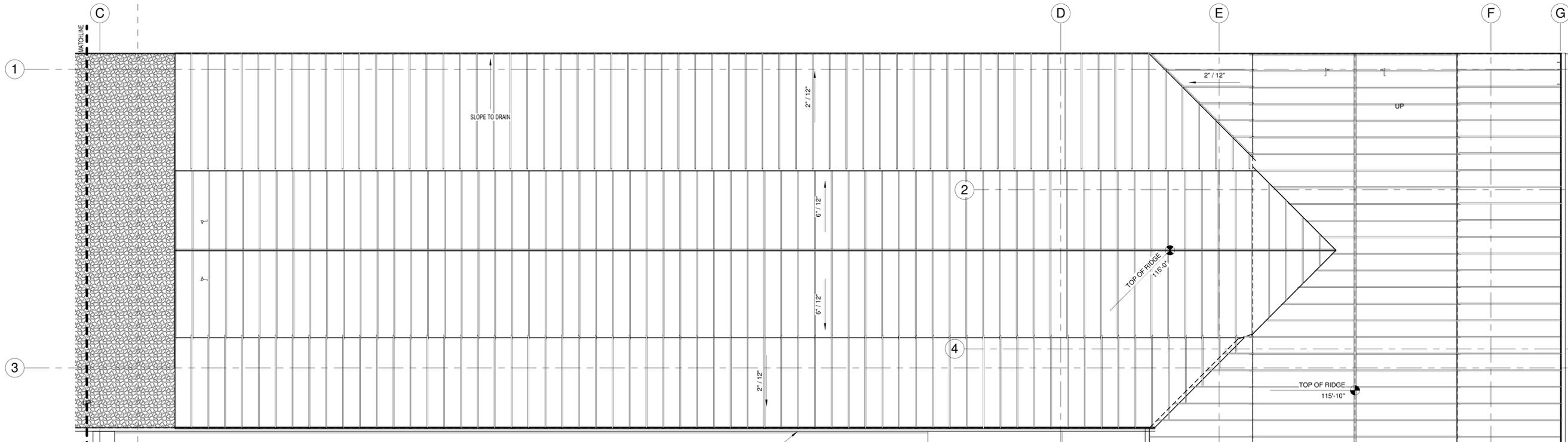
MV DRB APPROVAL 5.23.16

Revision Schedule

FLOOR PLANS

SCALE:
As indicated

A 3.2

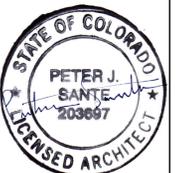


3 GARAGE / CARPORT ROOF
1/4" = 1'-0"

2 MAIN ROOF PLAN
1/4" = 1'-0"

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107 North Fir Street
Telluride, CO 81435
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LOT 181
MOUNTAIN VILLAGE
COLORADO

DATE: 5.23.16
DRAWN BY: SJ
CHECKED BY: SJ
FILE: 1515

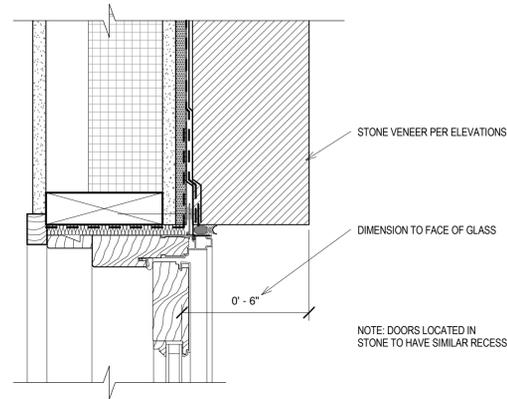
MV DRB APPROVAL 5.23.16

Revision Schedule

ROOF PLAN

SCALE:
1/4" = 1'-0"

A 3.4



1 TYP WINDOW RECESS DETAIL
3" = 1'-0"

WINDOW NOTES:

- FOR GENERAL NOTES SEE A1.0.
- REFER TO EXTERIOR ELEVATIONS A4.0 & A4.1 FOR WINDOW SWING/OPERATION INFORMATION.
- REFER TO EXTERIOR ELEVATIONS A4.0 & A4.1 FOR LOCATIONS OF SAFETY GLAZING.
- WINDOW SIZES LISTED ARE UNIT SIZES AND COORDINATE WITH PLAN AND EXTERIOR ELEVATION DIMENSIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND COORDINATE ALL ROUGH OPENINGS WITH MANUFACTURER AND CONSTRUCTION DOCUMENTATION.
- INSTALL WINDOWS PER SELECTED MANUFACTURERS INSTALLATION INSTRUCTIONS. WRAP ALL R.O.'S W/ ICE AND WATER SHIELD OVER BUILDING PAPER TO 6" BEYOND OPENING AT EXTERIOR. TYPICAL & TO INSIDE OF FRAMING AT INTERIOR. BUILDING PAPER AT HEAD TO OVERLAP BITUTHANE/FLANGE AT HEAD TO CREATE A SHINGLE EFFECT.
- VERIFY DIMENSIONS FOR CUSTOM WINDOWS IN THE FIELD.
- EXTERIOR TRIM AND INTERIOR CASING TO MATCH DETAILING AT EXISTING WINDOWS.
- WINDOWS TO MEET THE CURRENT APPLICABLE INTERNATIONAL ENERGY CODE IN PLACE FOR THE TOWN OF MOUNTAIN VILLAGE.

WINDOW SCHEDULE

Type Mark	Width	Height	Comments
A	2'-4"	9'-6"	
B	3'-6"		
C	3'-0"	9'-0"	
D	4'-2"	9'-6"	
E	4'-2"	9'-6"	
F	1'-3 3/4"	9'-6"	
G	2'-6"	4'-0"	
H	3'-6"	8'-0"	TRIANGULAR
I	4'-5"	11'-6"	TRIANGULAR
J	4'-5"	11'-6"	TRIANGULAR
K	2'-7"	9'-6"	

DOOR NOTES:

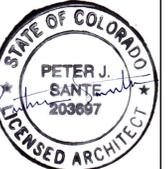
- FOR GENERAL NOTES SEE A1.0.
- VERIFY EXTERIOR DOOR DESIGN WITH OWNER. EXTERIOR DOORS SHALL BE ENERGY STAR RATED WITH AN R-VALUE OF 2.85 OR MORE. INTERIOR DOORS TO MATCH STYLE, SPECIES AND FINISH OF EXISTING DOORS.
- FOR DOOR LOCATIONS (SHOWN (106)) SEE PLAN DRAWINGS.
- DOOR SWINGS SHALL BE AS SHOWN ON PLAN DRAWINGS.
- WHERE FLOOR MATERIAL IS CONTINUOUS AT DOOR, NO THRESHOLD DETAIL.
- DOOR SIZES LISTED ARE PANELEAF SIZES. DIMENSIONS FOR INTERIOR DOORS ON PLANS ARE TO CENTERLINE OR EDGE OF R.O.
- ALIGN DOOR HEIGHTS TO EXISTING HEIGHTS WHERE UNLESS OTHERWISE NOTED.
- PROVIDE HINGE PINS AT ALL LOCATIONS WHERE DOOR SWING INTERFERES WITH CASE, BASE, BUCK, OR WALLS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND COORDINATE ALL ROUGH OPENINGS WITH MANUFACTURER AND CONSTRUCTION DOCUMENTATION.

DOOR SCHEDULE

Mark	Width	Height	Comments
001e	8'-4"	9'-0"	EXTERIOR
002a	2'-8"	7'-0"	
002b	5'-0"	7'-0"	
002e	8'-4"	9'-0"	EXTERIOR
003a	2'-8"	7'-0"	
003b	2'-8"	7'-0"	
003c	2'-0"	7'-6"	GLASS SHOWER DOOR
004	2'-8"	7'-0"	
005a	2'-8"	7'-0"	
005b	5'-0"	7'-0"	
005c	6'-0"	6'-0"	
005e	8'-4"	9'-0"	EXTERIOR
008	2'-8"	7'-0"	
009	4'-0"	8'-0"	
010	2'-8"	7'-0"	
101	5'-0"	9'-6"	EXTERIOR
102	5'-0"	8'-2"	
103	2'-8"	7'-0"	
104	2'-6"	8'-0"	
104a	2'-0"	7'-6"	GLASS SHOWER DOOR
105	2'-8"	7'-0"	
105a	10'-6"	9'-0"	EXTERIOR
106	2'-8"	7'-0"	
106a	10'-6"	9'-0"	EXTERIOR
107	2'-8"	7'-0"	
108	2'-6"	8'-0"	
108a	2'-0"	7'-6"	GLASS SHOWER DOOR
109	5'-0"	8'-2"	
109a	2'-0"	7'-6"	GLASS SHOWER DOOR
110	2'-8"	7'-0"	
110a	10'-6"	9'-0"	EXTERIOR
111	2'-8"	8'-0"	
111a	3'-6"	9'-0"	EXTERIOR
112a	2'-8"	8'-0"	EXTERIOR
112g	16'-0"	8'-0"	
113a	12'-6"	9'-6"	EXTERIOR
114a	12'-6"	9'-6"	EXTERIOR
115a	12'-6"	9'-6"	EXTERIOR
115b	12'-6"	9'-6"	EXTERIOR

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LOT 181
 MOUNTAIN VILLAGE
 COLORADO

DATE:
 5.23.16
 DRAWN BY:
 SJ
 CHECKED BY:
 SJ
 FILE:
 1515

MV DRB APPROVAL 5.23.16

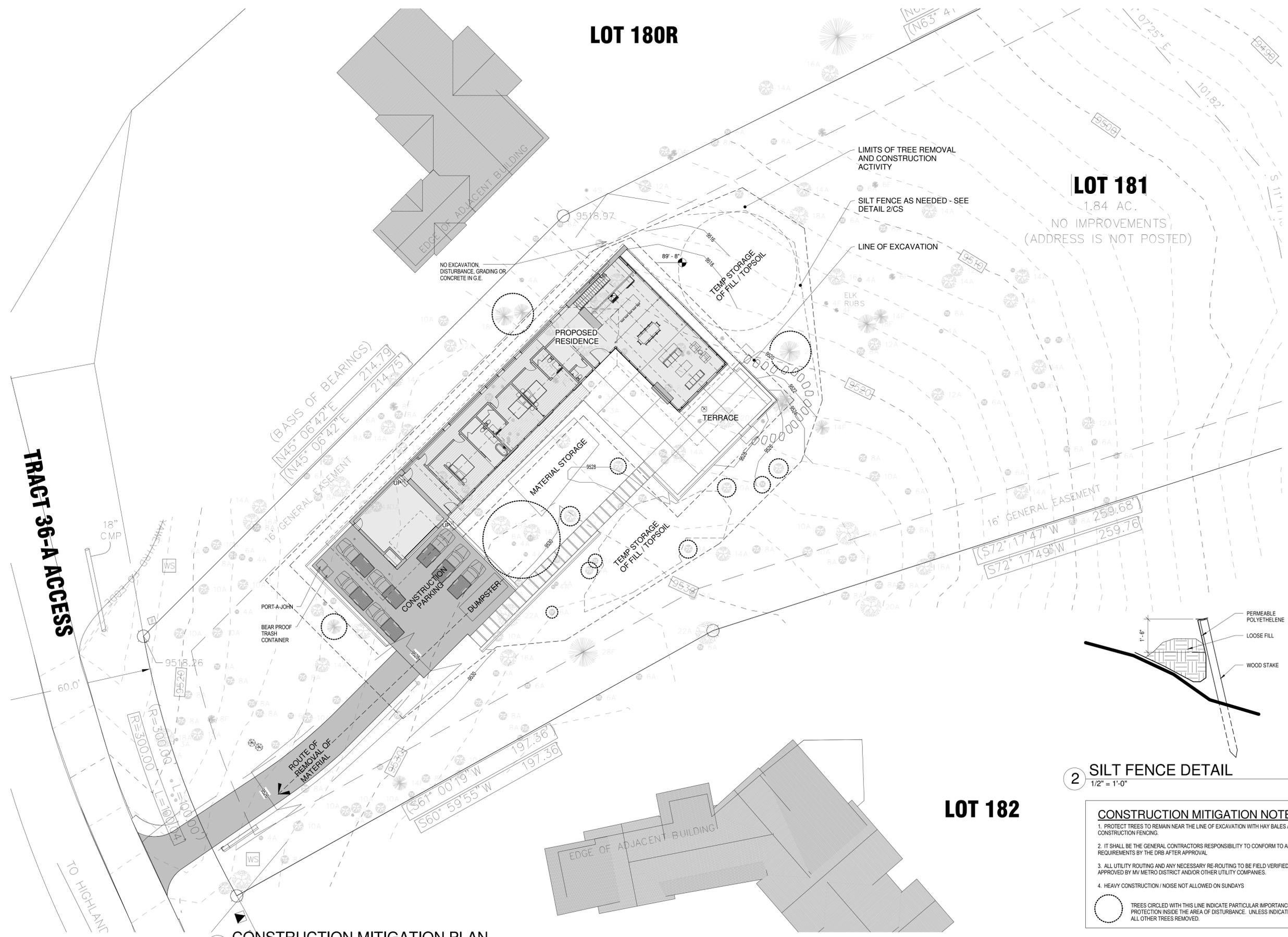
Revision Schedule

DOORS AND
 WINDOWS

SCALE:
 As indicated

A 8.0

5/23/2016 3:56:40 PM Z:\Active Projects\1515 - Wieninger\Drawings\1515-Wieninger-2016.rvt



LOT 180R

LOT 181

1.84 AC.
NO IMPROVEMENTS
(ADDRESS IS NOT POSTED)

LOT 182

1 CONSTRUCTION MITIGATION PLAN
1/16" = 1'-0"

2 SILT FENCE DETAIL
1/2" = 1'-0"

CONSTRUCTION MITIGATION NOTES:

1. PROTECT TREES TO REMAIN NEAR THE LINE OF EXCAVATION WITH HAY BALES AND CONSTRUCTION FENCING.
2. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO CONFORM TO ANY REQUIREMENTS BY THE DRB AFTER APPROVAL.
3. ALL UTILITY ROUTING AND ANY NECESSARY RE-ROUTING TO BE FIELD VERIFIED AND APPROVED BY MV METRO DISTRICT AND/OR OTHER UTILITY COMPANIES.
4. HEAVY CONSTRUCTION / NOISE NOT ALLOWED ON SUNDAYS

TREES CIRCLED WITH THIS LINE INDICATE PARTICULAR IMPORTANCE FOR PROTECTION INSIDE THE AREA OF DISTURBANCE. UNLESS INDICATED, ALL OTHER TREES REMOVED.

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STATE OF COLORADO
PETER J. SANTE
203697
LICENSED ARCHITECT

LOT 181
MOUNTAIN VILLAGE
COLORADO

DATE:
5.23.16
DRAWN BY:
SJ
CHECKED BY:
SJ
FILE:
1515

MV DRB APPROVAL 5.23.16

Revision Schedule

CONSTRUCTION
MITIGATION PLAN

SCALE:
As indicated

ACM

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LANDSCAPE PLAN NOTES:

- GENERAL NOTES**
- All trees and shrubs shall be field located by project Landscape architect.
 - All trees and shrubs shall be backfilled with a topsoil/organic fertilizer mixture at a 2:1 ratio.
 - Necessary trees shall be staked with 4 foot metal posts. Trees shall be guyed with 12 gauge galvanized wire and poly-propylene tree race straps.
 - Tree straps to be removed following the initial first two planting seasons.
 - Perennial planting beds shall be tilled to a 6" depth and amended with topsoil and organic fertilizer at a 2:1 ratio.
 - See planting details for all deciduous and evergreen trees.
 - Mulch all perennial beds with Back to Earth Landscaper Mix or approved equivalent.
 - All plant material to meet the American Standard for Nursery Stock.
 - In non-perennial bed planting areas calling for mulch use triple shredded pine mulch, color black or brown. No red.

- NOXIOUS WEEDS**
- All planted materials including seed, shall be non-noxious species as specified within the San Miguel County's most current Noxious Weed List.

- LANDSCAPE MAINTENANCE NOTES**
- Turf shall be aerated 2 to 3 times per year to increase the water absorption rates. Necessary organic fertilization and amendment shall be incorporated at the same time.
 - Irrigation system shall be turned on by the 15th of May and blown out by the 30th of October annually.
 - Mulch shall be re-applied to all perennial beds, trees, and shrub beds every 3 seasons at a minimum.
 - Tree stem protection in the form of a tree wrap shall be applied to trees subject to physical damage from snow plowing and winter vole damage. Stems should be wrapped from the bottom to the top to keep water from seeping in. The top should be attached with a stretchable material such as masking tape or light twine that will decompose naturally.
 - Remove tree wrap every spring following the winter snow plow season. Never leave a tree stem wrap for more than one year.
 - All plantings within a perennial bed shall be trimmed to 6" from the ground in the fall following the growing season and before winter. Beds should be raked and then mulched with straw, hay, or leaves, where necessary.
 - Perennial beds requiring additional mulching in the fall shall be those susceptible to significant snow melt with a south or southwesterly exposure and/or significant wind exposure.
 - All standing dead shall be removed seasonally upon appearance.

LANDSCAPE WATER USAGE:

Type	Monthly use	Total #	Total Monthly Usage
Perennials	2.5 gal.	400 SF	1,000
Sod	4 gal./sf	1200 SF	4,800
Shrubs	4 gal.	19	76
Aspen	10 gal. ea.	17	170
Spruce	25 gal. ea	1	25
Douglas Fir	20 gal. ea	1	20
Bristlecone	10 gal. ea.	3	30
Total			6,121 gallons

LANDSCAPE PLANT SCHEDULE:

BOTANICAL NAME	COMMON	SIZE	QTY
Populus tremuloides	Aspen	2.5' cal. multi 3.0' cal. single	9 8
Picea pungens	Colorado Spruce	12'	1
Pinus aristata	Bristlecone Pine	4-6'	3
Pinus mugo	Mugo Pine	24"	5
Pseudotsuga menszili	Douglas Fir	10'	1
Prunus virginiana melanocarpa	Native Elderberry	#5	8
Sambucus pubens	Native Elderberry	#5	6
Sod		1200 SF	
Perennial groundcover		400 SF	
Revegetation Native Grass seed	(see revegetation notes)	field verify	

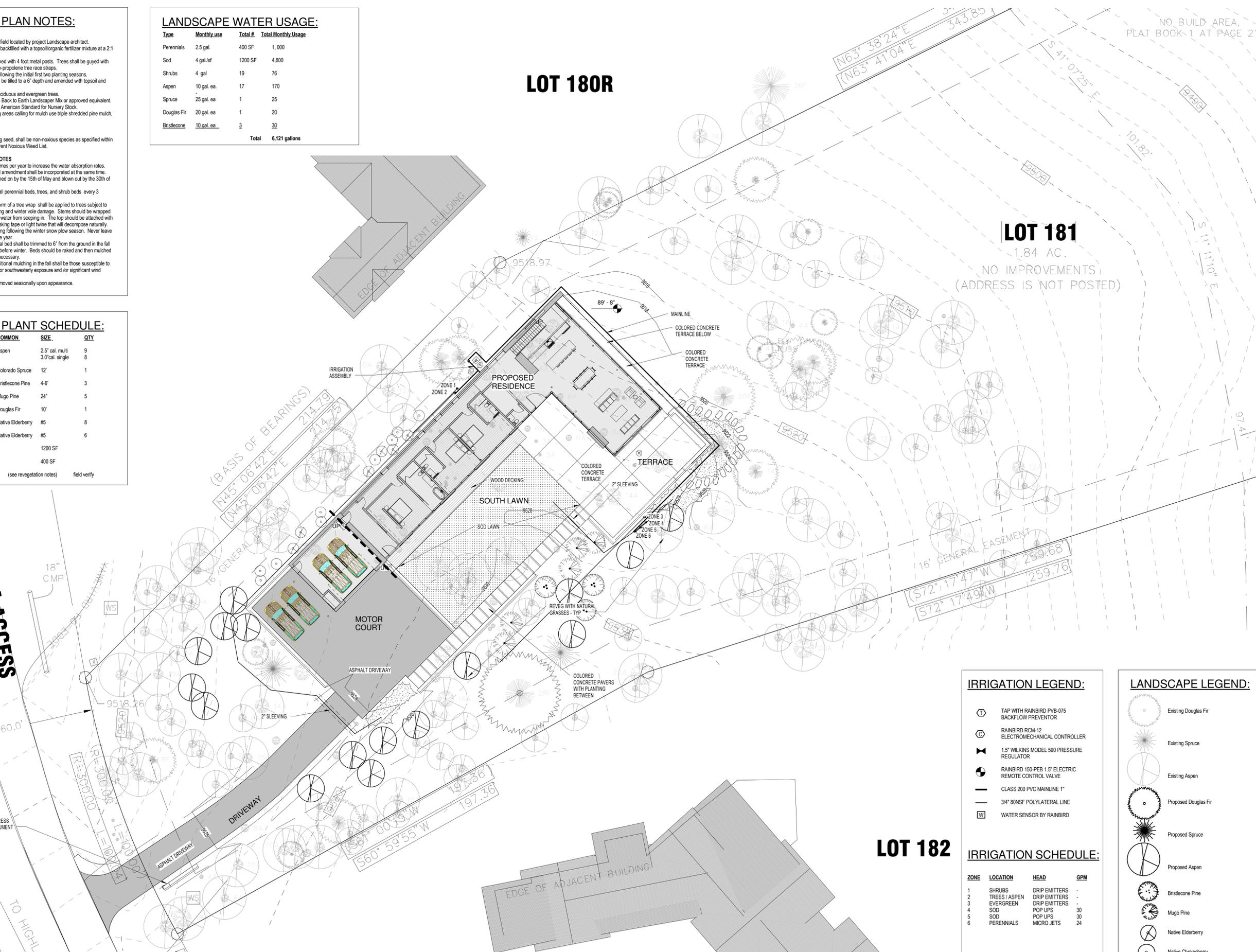
LOT 180R

LOT 181

1.84 AC.
NO IMPROVEMENTS
(ADDRESS IS NOT POSTED)

LOT 182

TRACT 36-A ACCESS



IRRIGATION LEGEND:

- TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTOR
- RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
- 1.5" WILKINS MODEL 500 PRESSURE REGULATOR
- RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE
- CLASS 200 PVC MAINLINE 1"
- 3/4" BONSF POLYLATERAL LINE
- WATER SENSOR BY RAINBIRD

IRRIGATION SCHEDULE:

ZONE	LOCATION	HEAD	GPM
1	SHRUBS	DRIP EMITTERS	-
2	TREES / ASPEN	DRIP EMITTERS	-
3	EVERGREEN	DRIP EMITTERS	-
4	SOD	POP UPS	30
5	SOD	POP UPS	30
6	PERENNIALS	MICRO JETS	24

LANDSCAPE LEGEND:

- Existing Douglas Fir
- Existing Spruce
- Existing Aspen
- Proposed Douglas Fir
- Proposed Spruce
- Proposed Aspen
- Bristlecone Pine
- Mugo Pine
- Native Elderberry
- Native Chokecherry
- Perennial Groundcover
- Sod

LANDSCAPE PLAN
1/16" = 1'-0"

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STATE OF COLORADO
PETER J. SANTE
203667
LICENSED ARCHITECT

LOT 181 MOUNTAIN VILLAGE COLORADO

DATE: 5.23.16
DRAWN BY: SJ
CHECKED BY: SJ
FILE: 1515

MV DRB APPROVAL 5.23.16

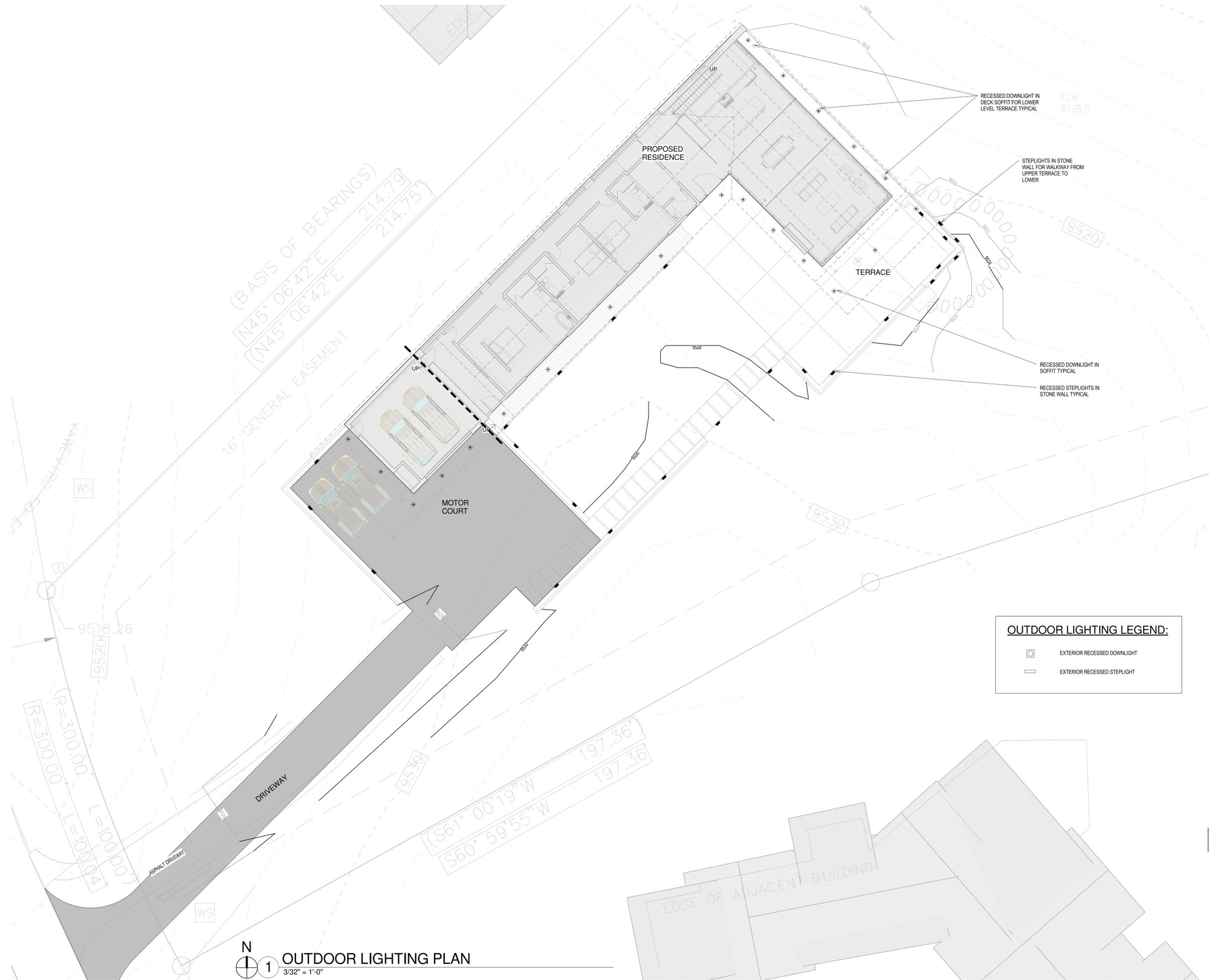
Revision Schedule

CONCEPTUAL LANDSCAPE PLAN

SCALE: As indicated

ALS

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OUTDOOR LIGHTING LEGEND:

-  EXTERIOR RECESSED DOWNLIGHT
-  EXTERIOR RECESSED STEPLIGHT

1 **OUTDOOR LIGHTING PLAN**
3/32" = 1'-0"

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LOT 181
MOUNTAIN VILLAGE
COLORADO

DATE:
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1515

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Revision Schedule

OUTDOOR LIGHTING
PLAN

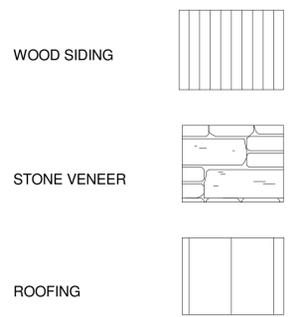
SCALE:
As indicated

ALT

MATERIAL CALCULATIONS:

NORTH ELEVATION:	EAST ELEVATION:	SOUTH ELEVATION:	WEST ELEVATION:
TOTAL SF OF EXTERIOR WALL - 2244 SF	TOTAL SF OF EXTERIOR WALL - 1376 SF	TOTAL SF OF EXTERIOR WALL - 1703 SF	TOTAL SF OF EXTERIOR WALL - 787 SF
TOTAL SF OF STONE - 1360 SF	TOTAL SF OF STONE - 487 SF	TOTAL SF OF STONE - 287 SF	TOTAL SF OF STONE - 471 SF
TOTAL SF OF STUCCO - 0 SF	TOTAL SF OF STUCCO - 0 SF	TOTAL SF OF STUCCO - 0 SF	TOTAL SF OF STUCCO - 0 SF
TOTAL SF OF WOOD - 680 SF	TOTAL SF OF WOOD - 123 SF	TOTAL SF OF WOOD - 740 SF	TOTAL SF OF WOOD - 33 SF
TOTAL SF OF ACCENT - 0 SF	TOTAL SF OF ACCENT - 0 SF	TOTAL SF OF ACCENT - 0 SF	TOTAL SF OF ACCENT - 0 SF
TOTAL SF OF FENESTRATION - 224 SF	TOTAL SF OF FENESTRATION - 766 SF	TOTAL SF OF FENESTRATION - 676 SF	TOTAL SF OF FENESTRATION - 223 SF

EXTERIOR WALL PERCENTAGES:	TOTAL BUILDING:
TOTAL % OF EXTERIOR WALL - 100%	TOTAL SF OF EXTERIOR WALL - 6110 SF
TOTAL % OF STONE - 43%	TOTAL SF OF STONE - 2605 SF
TOTAL % OF STUCCO - 0%	TOTAL SF OF STUCCO - 0 SF
TOTAL % OF WOOD - 26%	TOTAL SF OF WOOD - 1616 SF
TOTAL % OF ACCENT - 0%	TOTAL SF OF ACCENT - 0 SF
TOTAL % OF FENESTRATION - 31%	TOTAL SF OF FENESTRATION - 1889 SF



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LOT 181
 MOUNTAIN VILLAGE
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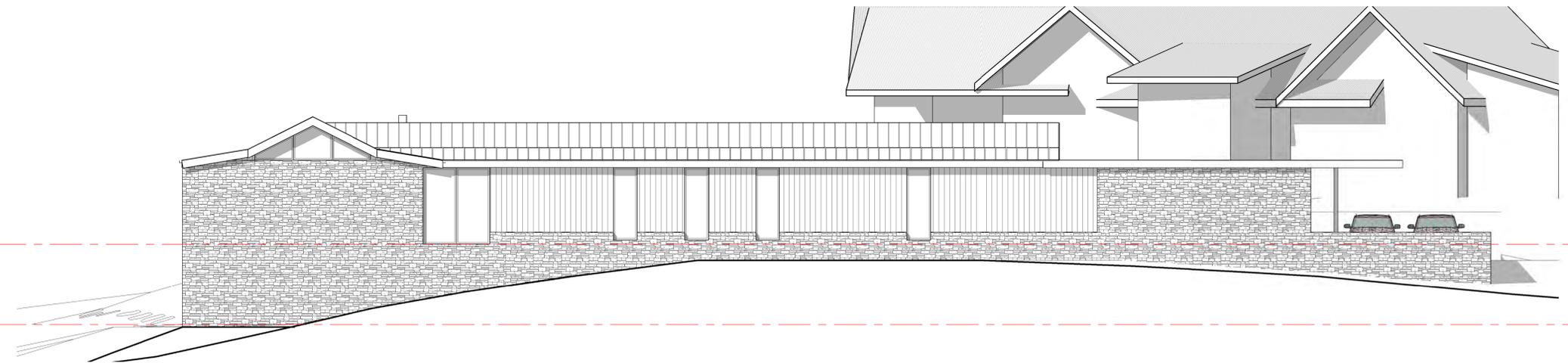
Revision Schedule

MATERIAL
 CALCULATIONS

SCALE:
 As indicated

A MC

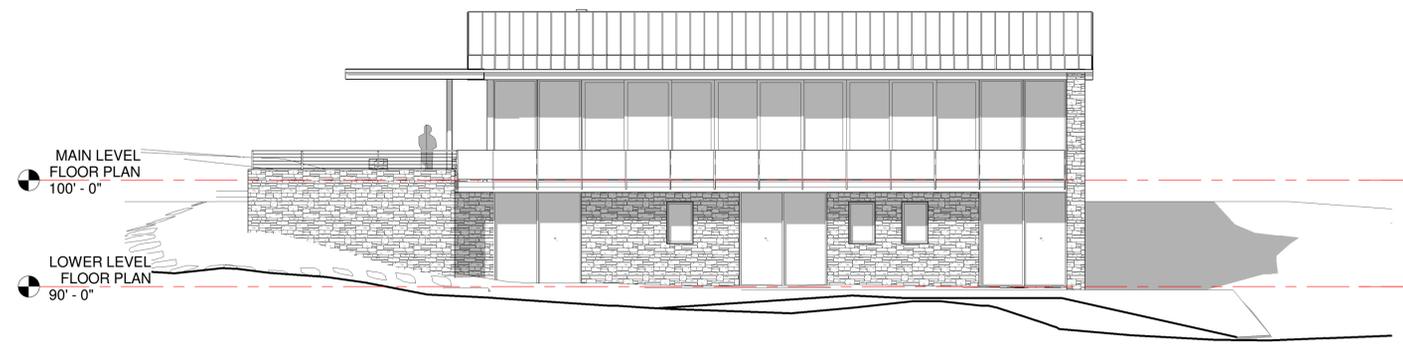
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1 NORTH ELEVATION - MC
 1/8" = 1'-0"

MAIN LEVEL
 FLOOR PLAN
 100' - 0"

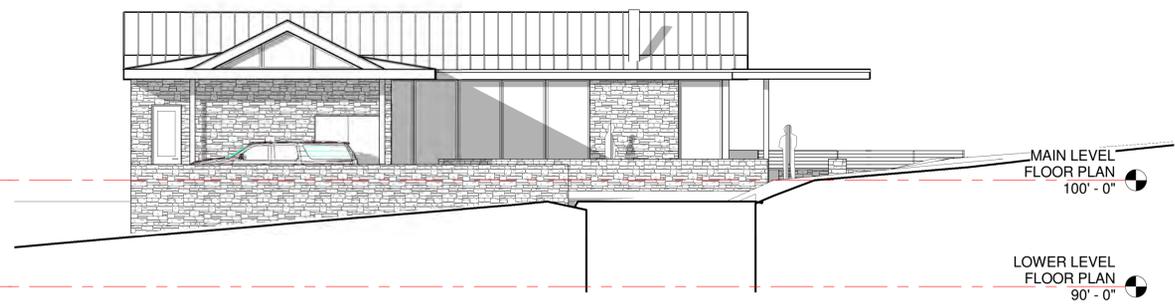
LOWER LEVEL
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 90' - 0"



2 EAST ELEVATION - MC
 1/8" = 1'-0"

MAIN LEVEL
 FLOOR PLAN
 100' - 0"

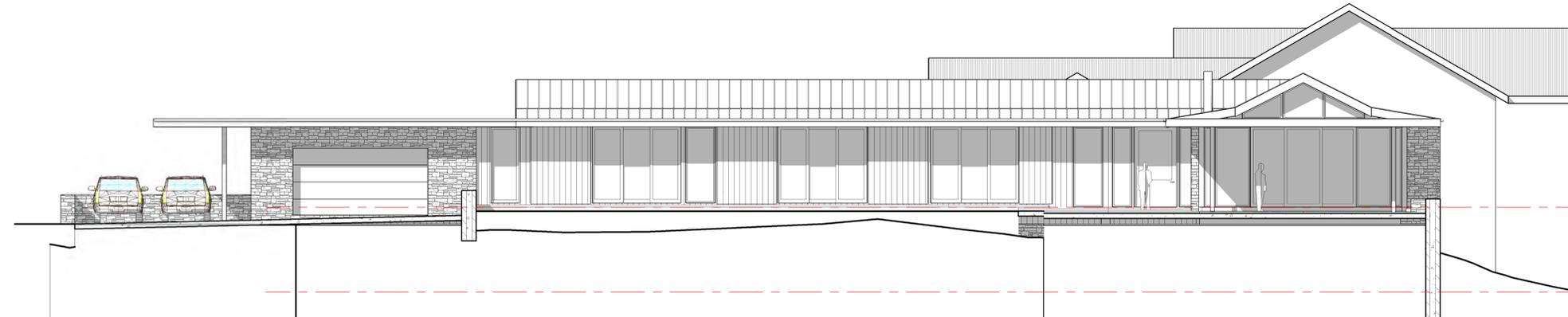
LOWER LEVEL
 FLOOR PLAN
 90' - 0"



3 WEST ELEVATION - MC
 1/8" = 1'-0"

MAIN LEVEL
 FLOOR PLAN
 100' - 0"

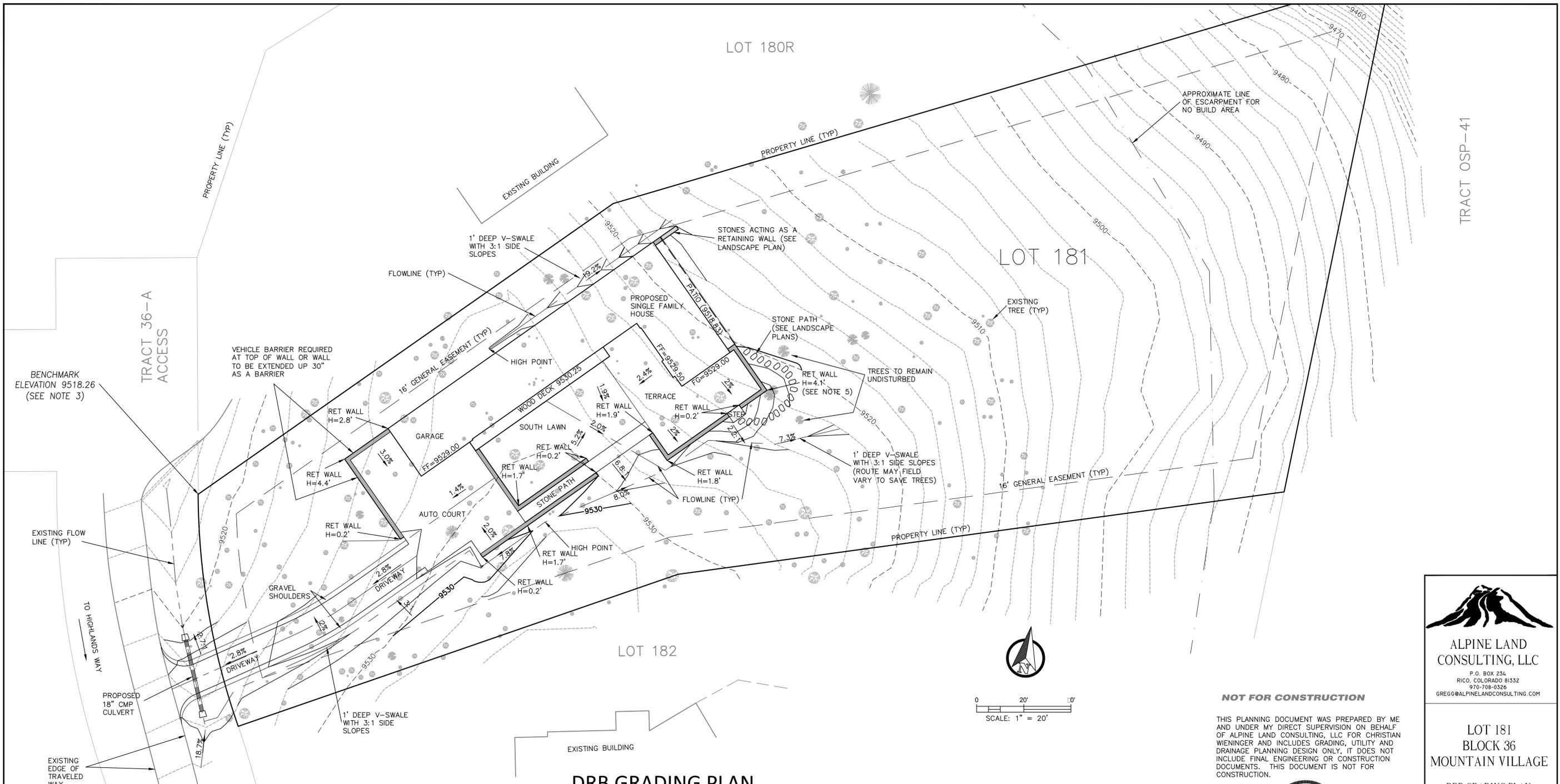
LOWER LEVEL
 FLOOR PLAN
 90' - 0"



4 SOUTH ELEVATION - MC
 1/8" = 1'-0"

MAIN LEVEL
 FLOOR PLAN
 100' - 0"

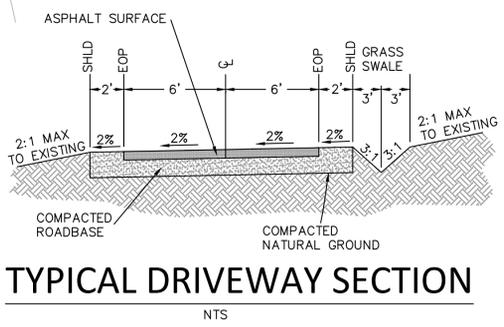
LOWER LEVEL
 FLOOR PLAN
 90' - 0"



DRB GRADING PLAN

NOTES:

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION
2. MAXIMUM GRADING 2:1 (HORIZONTAL:VERTICAL)
3. ALL EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY SAN JUAN SURVEYING; TOPOGRAPHIC SURVEY, LOT 181, FILING 36, TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO, DATED 10/28/2015, COMPLETED BY CHRISTOPHER R. KENNEDY, PLS; BENCHMARK: FOUND PROPERTY CORNER OF LOT 181, AN ALUMINUM CAP REBAR, LS 20632, HAVING AN ELEVATION OF 9518.26, AS DEPICTED, CONTACT CHRISTOPHER R. KENNEDY, PLS AT 970-728-1128 FOR MORE BENCHMARK INFORMATION.
4. ALL RETAINING WALL HEIGHTS ARE FINISHED GRADE TO FINISHED (RETAINED HEIGHT) AND DO NOT INCLUDE ANY FOUNDATIONS OR CAP (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS)
5. RETAINING WALLS REQUIRE HAND RAIL FOR ALL RETAINED HEIGHTS OVER 2.5' (SEE ARCHITECTURAL AND/OR LANDSCAPE PLANS)



TYPICAL DRIVEWAY SECTION
NTS

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

NOT FOR CONSTRUCTION

THIS PLANNING DOCUMENT WAS PREPARED BY ME AND UNDER MY DIRECT SUPERVISION ON BEHALF OF ALPINE LAND CONSULTING, LLC FOR CHRISTIAN WIENINGER AND INCLUDES GRADING, UTILITY AND DRAINAGE PLANNING DESIGN ONLY, IT DOES NOT INCLUDE FINAL ENGINEERING OR CONSTRUCTION DOCUMENTS. THIS DOCUMENT IS NOT FOR CONSTRUCTION.



GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

NO.	REVISIONS	DATE



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P.O. BOX 234
RICO, COLORADO 81532
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

**LOT 181
BLOCK 36
MOUNTAIN VILLAGE**
DRB GRADING PLAN

CLIENT:
CHRISTIAN WIENINGER
8317 TEISENDORF, GERMANY

DATE: MAY 23, 2016

PROJECT #: 2016010

PROJECT MANAGER: GEA
DRAWN BY: GEA/ADM

SHEET #:

CI

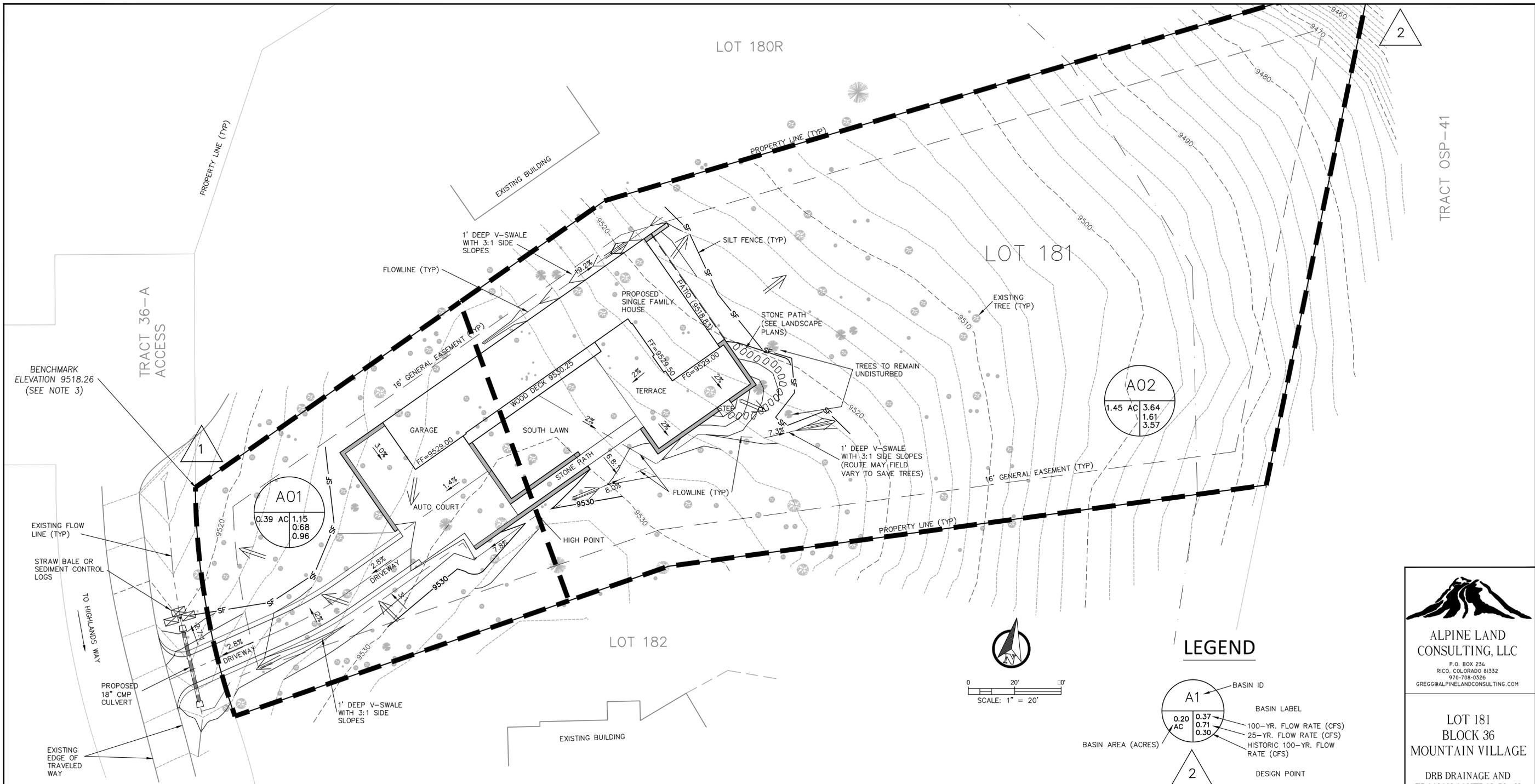
TRACT OSP-41

TRACT 36-A
ACCESS

LOT 180R

LOT 181

LOT 182

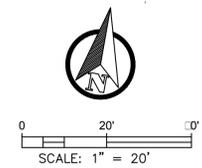


DRB DRAINAGE AND EROSION CONTROL PLAN

NOTES:

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION
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4. SEE DRB GRADING PLAN FOR ALL PROPOSED GRADING.
5. NO DETENTION OR RETENTION IS PROPOSED FOR THIS PROPOSED SINGLE FAMILY HOME AT THIS TIME. IF RETENTION IS REQUIRED IT MUST BE INCLUDED WITH THE CONSTRUCTION DOCUMENTS.

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OR
811
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.



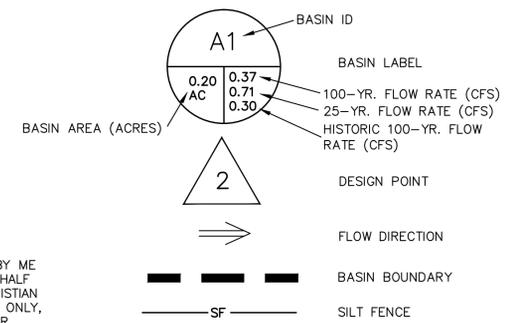
NOT FOR CONSTRUCTION

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GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

LEGEND



NO.	REVISIONS	DATE

ALPINE LAND CONSULTING, LLC
P.O. BOX 234
RICO, COLORADO 81532
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

**LOT 181
BLOCK 36
MOUNTAIN VILLAGE**

DRB DRAINAGE AND
EROSION CONTROL PLAN

CLIENT:
CHRISTIAN WIENINGER
8317 TEISENDORF, GERMANY

DATE: MAY 23, 2016

PROJECT #: 2016010

PROJECT MANAGER: GEA
DRAWN BY: GEA/ADM

SHEET #:

C2

TRACT OSP-41

2

TRACT 36-A
ACCESS

LOT 180R

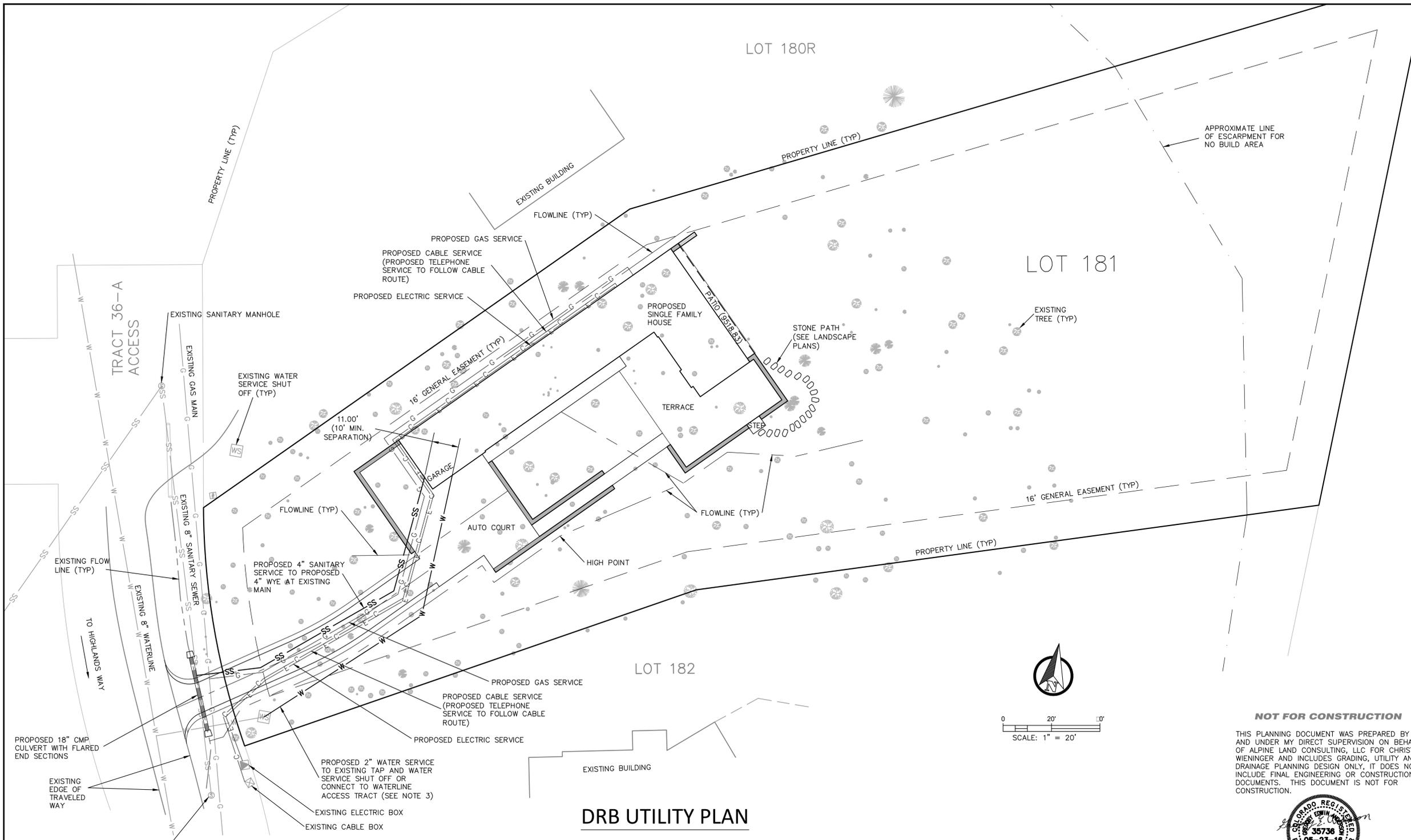
LOT 181

LOT 182

BENCHMARK
ELEVATION 9518.26
(SEE NOTE 3)

A01
0.39 AC 1.15
0.68
0.96

A02
1.45 AC 3.64
1.61
3.57



TRACT OSP-41

APPROXIMATE LINE OF ESCARPMENT FOR NO BUILD AREA

LOT 180R

LOT 181

LOT 182

DRB UTILITY PLAN

ALPINE LAND CONSULTING, LLC
 P.O. BOX 234
 RICO, COLORADO 81532
 970-708-0326
 GREGG@ALPINELANDCONSULTING.COM

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GREGORY E. ANDERSON
 COLORADO PROFESSIONAL ENGINEER
 REGISTRATION NO. 35736

LOT 181
 BLOCK 36
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CLIENT:
 CHRISTIAN WIENINGER
 8317 TEISENDORF, GERMANY

DATE: MAY 23, 2016

PROJECT #: 2016010

PROJECT MANAGER: GEA
 DRAWN BY: GEA/ADM

SHEET #:

C3

NOTES:

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION
2. ALL EXISTING UTILITIES ARE FROM MAPPING AND MUST BE CONFIRMED AS PART OF PREPARING CONSTRUCTION DOCUMENTS
3. IF EXISTING WATER SERVICE TAP IS LESS THAN 2" NEW SERVICE MUST CONTINUE TO THE EXISTING WATERLINE IN THE ACCESS TRACT. WATER SERVICE SIZE MUST BE CONFIRMED WITH MECHANICAL ENGINEER AND FIRE PROTECTION (SPRINKLER) CONSULTANT
4. IN ALL CASES, SANITARY SEWER AND WATER LINES MUST MAINTAIN A MINIMUM OF 10' SEPARATION

CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
1-800-922-1987
 OR
811
 CALL 2-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR
 EXCAVATE FOR THE MARKING OF
 UNDERGROUND MEMBER UTILITIES.

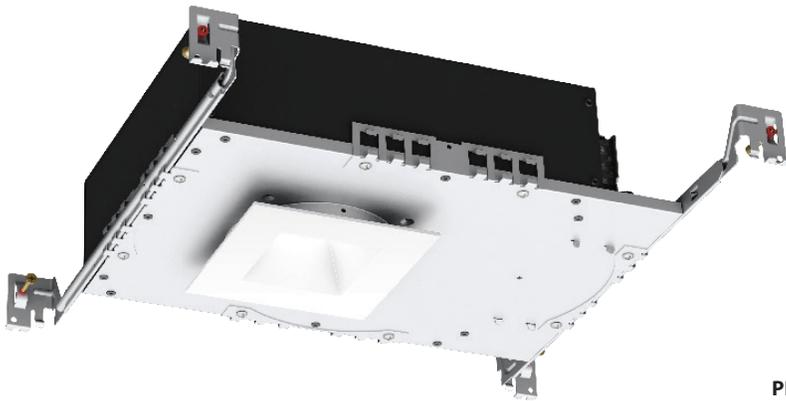
NO.	REVISIONS	DATE

AETHER

3.5" LED Shallow Housing

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

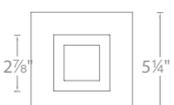
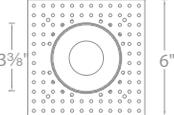
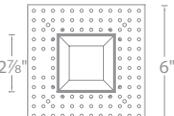
Project: _____

Location: _____

PRODUCT DESCRIPTION

Designed to fit in tight plenum

TRIMS (ORDER HOUSING SEPARATELY)

		HR-3LED-T120-WT <i>Round</i>
		HR-3LED-T720-WT <i>Square</i>
		HR-3LED-TL220-WT <i>Round Trimless</i>
		HR-3LED-TL820-WT <i>Square Trimless</i>

FEATURES

- Energy Star® rated
- Wet location listed for trims
- 3.5" trim aperture, 3.5" housing height
- 35° cut-off angle
- Universal input voltage (120V-277V)

SPECIFICATIONS

Construction: Powder coated finish on die-cast aluminum.

Dimming: 100% - 10% with 0 - 10V dimmer (120V - 277V)

100% - 15% with Electronic Low Voltage (ELV) dimmer (120V only)

Input: 120V-277V AC

Light Source: Bridgelux Vero 10

Total power consumption of 22.5W with included driver

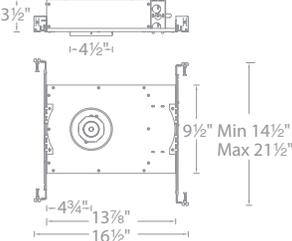
Mounting: Retention clips firmly hold trim to housing.

Finish: White (WT) powder coat paint.

Standards: ETL & cETL Listed, Airtight, Wet location.

Ceiling thickness: 1/2" - 1 1/2"

HOUSINGS

	Beam	Max CBCP	Max Lumen	Color Temp	CRI
 	HR-3LED-H20A <i>New Construction</i> <i>IC-Rated, Airtight</i>				
	N 25°	4480	1375	27 2700K	85
	F 40°	2555	1315	927 2700K	90
HR-3LED-H20AC <i>New Construction</i> <i>IC-Rated, Airtight</i> <i>Chicago Plenum</i>					
				30 3000K	85
				930 3000K	90
				35 3500K	85
				40 4000K	85



Example: **HR-3LED-H20AC-F-930**

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

AETHER

3.5" LED Shallow Housing

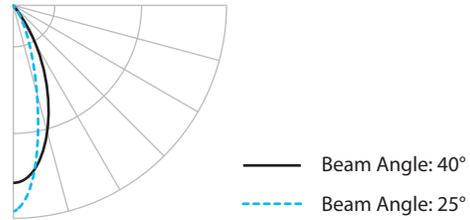
WAC LIGHTING

Responsible Lighting®

FIXTURE PERFORMANCE

Beam Angle	Color Temp	CRI	Lumens	CBCP
25°	2700K	85	1190	4405
	2700K	90	1000	3910
	3000K	85	1200	4465
	3000K	90	1005	3600
	3500K	85	1185	4260
	4000K	85	1335	4775
40°	2700K	85	1140	2360
	2700K	90	1025	2080
	3000K	85	1185	2465
	3000K	90	950	1910
	3500K	85	1175	2345
	4000K	85	1265	2520

PHOTOMETRY



waclighting.com
Phone (800) 526.2588
Fax (800) 526.2585

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1600 Distribution Ct
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1750 Archibald Avenue
Ontario, CA 91760

A Sculptured Formed Illuminator with Xelogen or LED Light Source
Lamping: DL-182 - 20W Xelogen / 20W Halogen : DLED-183 - 8W LED Cluster 2700K

PROJECT	TYPE	CATALOG NUMBER
---------	------	----------------

Fixture Description:

A sculptural formed illuminator that utilizes either a halogen, xelogen or LED light source. Provides general accent illumination to highlight landscape vegetation or hardscape.

Material:

.040 solid brass construction.

Electrical:

Remote 24-volt DC Constant Voltage Driver for LED. Remote 12-volt / AC for halogen or xelogen.

Powder coat finishes:

White, Rust bronze, Black iron

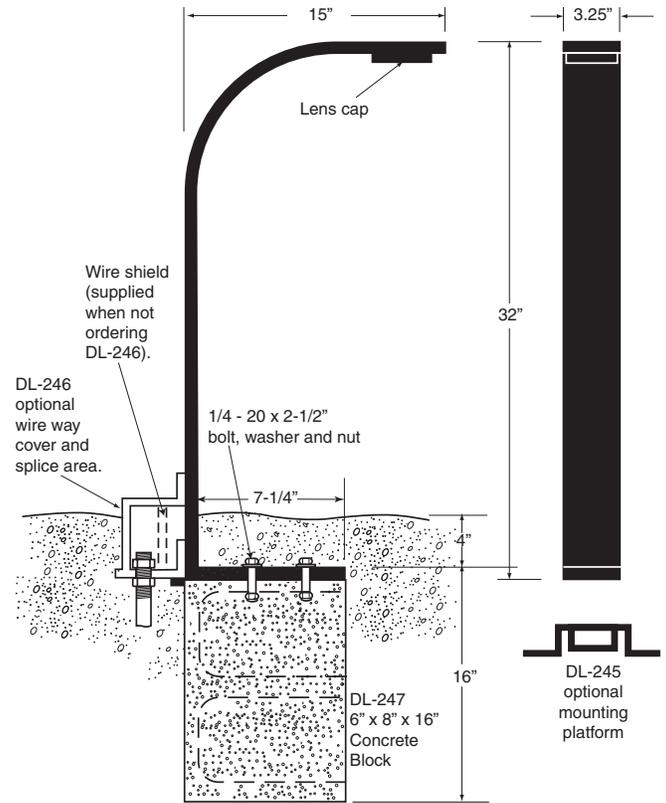
Optional Finishes for Solid Brass Construction:

1. Verdè, 2. Satin Nickel, 3. Copper Bronze, 4. White*, 5. Ancient Bronze, 6. Brass Bronze, 7. Custom, 8. Copper Plate, 9. Ancient Verdè. 10. Grey Bronze, 11. Rust Brown*, 12. Black*, 13. Pewter, 14. Oil Rubbed Bronze*
- * Powder coat finishes

Mounting:

Base is supplied with 2-3/8" holes for bolting down to below grade mounting platform or concrete block.

WARNING: Use constant voltage 24 DC Class II drivers for LED fixture and 12 volt AC transformers for halogen / xelogen.



Mounting and Accessories:

Cat. Number	Description
DL-245	Brass Mounting Platform
DL-246	Brass 1/2" PVC Bottom Plate with wire way cover
DL-247	Concrete Block

Model Number	Construction	Lamp	Lamp Life	Finishes
DL-182	Solid Brass	20W Xelogen / 20W Halogen	5,000 Hrs.	1-13 Standard Brass Finishes
DLED-183	Solid Brass	1 - 8W Cluster 2700K LED	25,000 Hrs.	1-13 Standard Brass Finishes

Note: 20W Xelogen may be replaced by 20W Halogen.

Model: WL-LED100

LEDme® Step Light

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

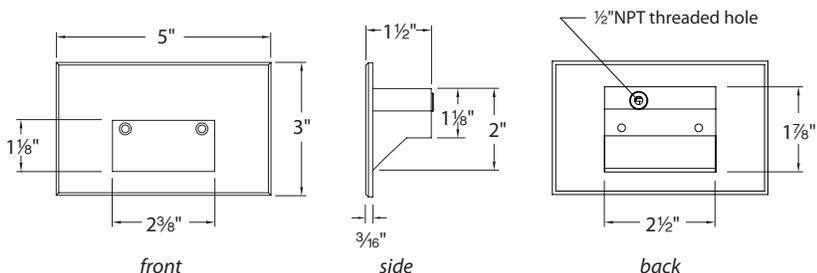
Project: _____

Location: _____

PRODUCT DESCRIPTION

Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.



FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 40,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- IP66 rated, Protected against high-pressure water jets
- Up to 200 fixtures can be connected in parallel
- Replaceable LED module
- 5 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel

Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz

Light Source: 3000K CCT Samsung HV-AC High Power LED, CRI: 85
Optional color lenses. Total power consumption of 3.9W

Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H
Includes bracket for J-Box mount.

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer
Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vietri VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600

Standards: IP66, UL & cUL Listed for wet locations

ORDER NUMBER

Model #	Light Color	Finish
WL-LED100 120V WL-LED100F 277V	C White 3000K	BBR Bronze on brass
	AM Amber 610nm	SS Stainless Steel
	RD Red 640nm	BK Black on Aluminum
	BL Blue 450nm	WT White on Aluminum
WL-LED100 120V	AM Amber 610nm	*BN Brushed Nickel on Aluminum
	C White 3000K	BZ Bronze on Aluminum

*Brushed Nickel Finish is for interior use only



Example: WL-LED100F-BL-SS

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

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44 Harbor Park Drive
Port Washington, NY 11050

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Ontario, CA 91760

Model: WL-LED100

LEDme® Step Light

WAC LIGHTING

Responsible Lighting®

FIXTURE PERFORMANCE

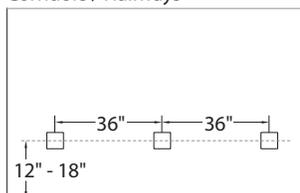
Input Voltage	Light Color	Finish	Lumens
WL-LED100 120V	C White	BBR Bronze on Brass	32
		SS Stainless Steel	45
		BK Black on Aluminum	31
		WT White on Aluminum	68
		*BN Brushed Nickel on Aluminum	31
		BZ Bronze on Aluminum	32
	AM Amber	BBR Bronze on Brass	21
		SS Stainless Steel	28
		BK Black on Aluminum	19
		WT White on Aluminum	38
		*BN Brushed Nickel on Aluminum	19
		BZ Bronze on Aluminum	21
	RD Red	SS Stainless Steel	3
		BK Black on Aluminum	2
		WT White on Aluminum	4
		*BN Brushed Nickel on Aluminum	2
BZ Bronze on Aluminum		2	
BL Blue	SS Stainless Steel	5	
	BK Black on Aluminum	3	
	WT White on Aluminum	8	
	*BN Brushed Nickel on Aluminum	3	
	BZ Bronze on Aluminum	4	

Input Voltage	Light Color	Finish	Lumens
WL-LED100F 277V	C White	SS Stainless Steel	37
		BK Black on Aluminum	25
		WT White on Aluminum	58
		*BN Brushed Nickel on Aluminum	25
		BZ Bronze on Aluminum	27
	AM Amber	SS Stainless Steel	20
		BK Black on Aluminum	14
		WT White on Aluminum	29
		*BN Brushed Nickel on Aluminum	14
		BZ Bronze on Aluminum	15
	RD Red	SS Stainless Steel	2
		BK Black on Aluminum	1.5
		WT White on Aluminum	3
		*BN Brushed Nickel on Aluminum	1.5
		BZ Bronze on Aluminum	2
	BL Blue	SS Stainless Steel	4
		BK Black on Aluminum	3
		WT White on Aluminum	6
		*BN Brushed Nickel on Aluminum	3
		BZ Bronze on Aluminum	3

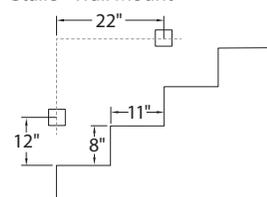
*Brushed Nickel Finish is for interior use only

SPACING RECOMMENDATIONS FOR OPTIMAL LIGHT DISTRIBUTION

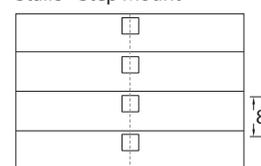
Corridors / Hallways



Stairs - Wall Mount



Stairs - Step Mount



Mount in center of stair as close to the upper tread as possible. For best results use one light per step for steps narrower than 5'.

waclighting.com
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Ontario, CA 91760



PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
 455 Mountain Village Blvd.
 Mountain Village, CO 81435
 (970) 728-1392

TO: Design Review Board

FROM: Dave Bangert, Senior Planner

FOR: DRB Public Hearing on July 7, 2016

DATE: June 28, 2016

RE: Consideration of a Minor Revisions application for changes to a previously approved addition to an existing single-family residence on Lot 221AR, 200 Wilson Peak Drive

PROJECT GEOGRAPHY

Legal Description: Lot 221AR, Mountain Village Filing No. 6

Address: 200 Wilson Peak Drive

Applicant/Agent: Truline Architects

Owner: Jeffrey Moody

Zoning: Single-family Zone District

Existing Use: Single-family Dwelling

Proposed Use: No change in use

Adjacent Land Uses:

- **North:** Passive Open Space
- **South:** Single-family lots
- **East:** Single-family lots
- **West:** Active Open Space

Lot Size: 0.618 acres

PROJECT SUMMARY

CDC Provision	Requirement	Proposed
Maximum Building Height	40' maximum (35'+5' for gable roof)	29' – 9"
Maximum Avg Building Height	35' maximum (30'+5' for gable roof)	20' – 13"
Maximum Lot Coverage	40% maximum	21.2% (5,710 sq. ft.)
General Easement Setbacks		
North	16' General Easement (GE)	Encroachment of boulder wall and roof overhang
South	16' GE	18.45'
East	16' GE	5.33' to GE
West	16' GE	2'-6.75" to GE
Roof Pitch		
Primary	6:12 to 12:12	6:12
Secondary	4:12 unless specific approval	5:12, 3.5:12, 3:12, 0.25:12 green
Exterior Material		
Stone	35%	43.1% (1394 sq. ft.)
Wood	25% (No requirement)	17.7% (572 sq. ft.)
Windows/Doors	40% maximum for windows	29.6% (957 sq. ft.)

Metal Accent	Specific Approval	9.5% (308 sq. ft.)
Parking	2 enclosed and 2 non-tandem	2 enclosed and 4 exterior

ATTACHMENTS

- Exhibit B: Applicant Narrative
- Exhibit C: Plans

BACKGROUND

The Design Review Board (DRB) approved a Design Review application for this addition on July 2, 2015. The applicant is proposing some minor changes to the exterior; window changes at the garage and stair well, a revision to the drainage plan that will require a portion of a boulder retaining wall encroaching in to the northern General Easement and a change from an elevated deck over the spa area to a 3:12 shed roof that is proposed to overhang in to the northern GE. This application is being raised from Class 1 Staff approval to a Class 3 DRB approval for the proposed encroachments into the General Easement.

ANALYSIS

Staff has discussed the proposed minor encroachments into the northern General Easement with Public Works and they have no issue with the proposed encroachments. The owners of Lot 221AR will have to enter in to a General Easement encroachment agreement with the Town of Mountain Village prior to issuance of a Certificate of Occupancy. This will be a condition of approval. The applicant has provided a narrative outlining the design changes and the need for the encroachments into the General Easement:

“We are installing a stainless steel spa with auto-retracting cover. For this reason we have changed the roof over the spa, from a deck that was approved by DRB last summer. The roof is a simple rectangular shape, but needs to extend the dripline to the edge of our patio to protect the spa from weather. I met with the owner’s this past Saturday and walked the job site. We discussed that the roof needs to also be high enough so that views from the interior spa space still capture the range and Dallas Peak. We discussed ‘clipping’ the roof at the GE to avoid this application. However after a site visit it was collectively determined that we should extend the roof all the way so that it will not appear awkward when seated inside the pool. For this reason the roof as currently proposed will have a small triangle of roof over the GE by 4’-5” & 7’-10”. It is important to note that this location is steep, hidden from the public view, and all land north of this project is open space OSP-43”.

Design Variations

The applicant is seeking specific approval for the following design variation pursuant to CDC Section 17.4.11(E) (5):

1. Proposed secondary roof with a 3:12 pitch as outlined in CDC Section 17.5.6.(C)(2)(b).

RECOMMENDATION

Staff recommends the DRB approve the Minor Revisions application for Lot 221AR with the specific approval and the following condition: The owners of Lot 221AR will have to enter in to a General Easement encroachment agreement with the Town of Mountain Village prior to issuance of a Certificate of Occupancy.



June 27, 2016

Dave Bangert
Associate Planner/Forester
Town of Mountain Village
455 Mountain Village Blvd, Suite A
Mountain Village, CO 81435

Subj: Minor Revisions and GE encroachment for Spa Roof
200 Wilson Peak Dr.
Mountain Village, Colorado

Dave,

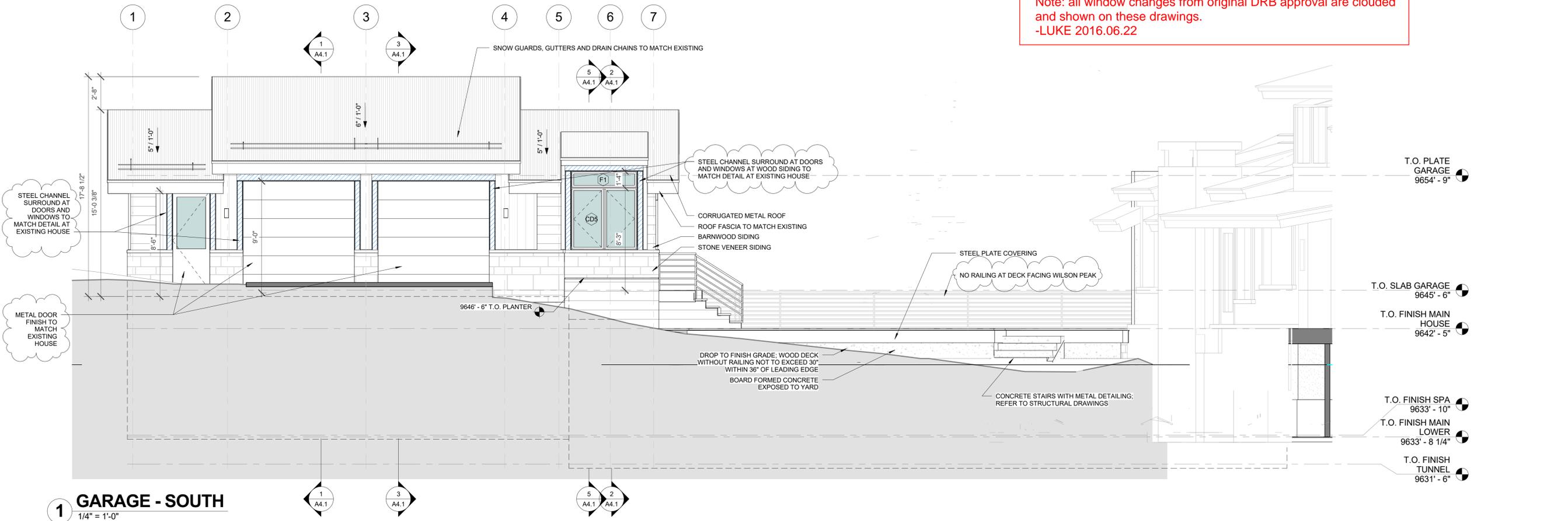
Enclosed you will find an application for GE encroachment and minor revisions for the Moody Tunnel Project. This complicated project is about halfway complete, with all framing, waterproofing, and stone veneer constructed. The project broke ground last fall 2015.

This application is for the roof cover over the exterior spa or pool. We are installing a stainless steel spa with auto-retracting cover. For this reason we have changed the roof over the spa, from a deck that was approved by DRB last summer. The roof is a simple rectangular shape, but needs to extend the dripline to the edge of our patio to protect the spa from weather. I met with the owner's this past Saturday and walked the job site. We discussed that the roof needs to also be high enough so that views from the interior spa space still capture the range and Dallas Peak. We discussed 'clipping' the roof at the GE to avoid this application. However after a site visit it was collectively determined that we should extend the roof all the way so that it will not appear awkward when seated inside the pool. For this reason the roof as currently proposed will have a small triangle of roof over the GE by 4'-5" & 7'-10". It is important to note that this location is steep, hidden from the public view, and all land north of this project is open space OSP-43.

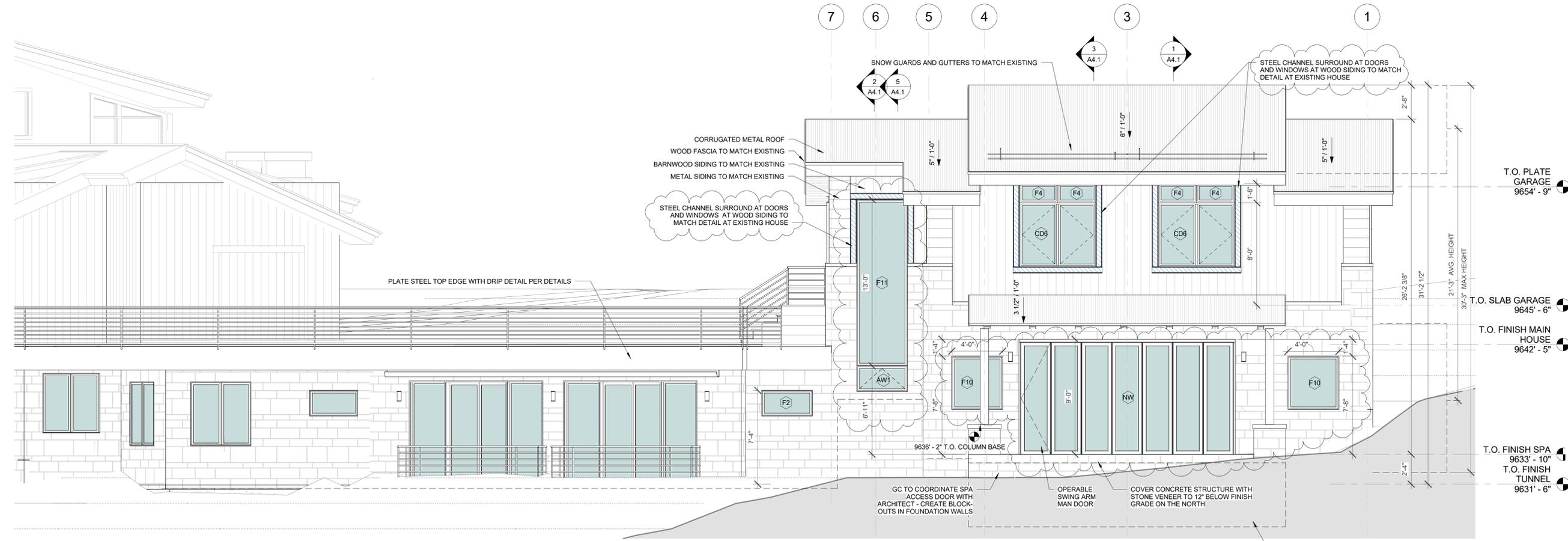
With this minor revisions application we are also submitting some minor window changes, and a dry-stack boulder retaining wall to protect the new structure. It is my understanding that staff would approve the windows and retaining wall. The spa roof structure is the item that must be presented to the DRB board for approval. I plan to show the board our final design and views of the current conditions.

Thank you for the consideration,

Note: all window changes from original DRB approval are clouded and shown on these drawings.
 -LUKE 2016.06.22



1 GARAGE - SOUTH
 1/4" = 1'-0"



2 GARAGE - NORTH
 1/4" = 1'-0"

SUBMISSIONS:
 2015 10 07 ASI 1
 2015 10 20 SURVEY
 ADJUSTMENTS
 2015 10 22 ASI 2
 2015 11 24 LUKE'S REDLINE
 REVIEW SET
 2015 12 15 REVISED
 CONSTRUCTION SET
 2016 01 07 MAIN HOUSE
 BEAM SECTION
 2016 02 27 ASI 8 -
 EXTERIOR WINDOWS

PRINT DATE:
 2016 02 27 ASI 8 - EXTERIOR
 WINDOWS

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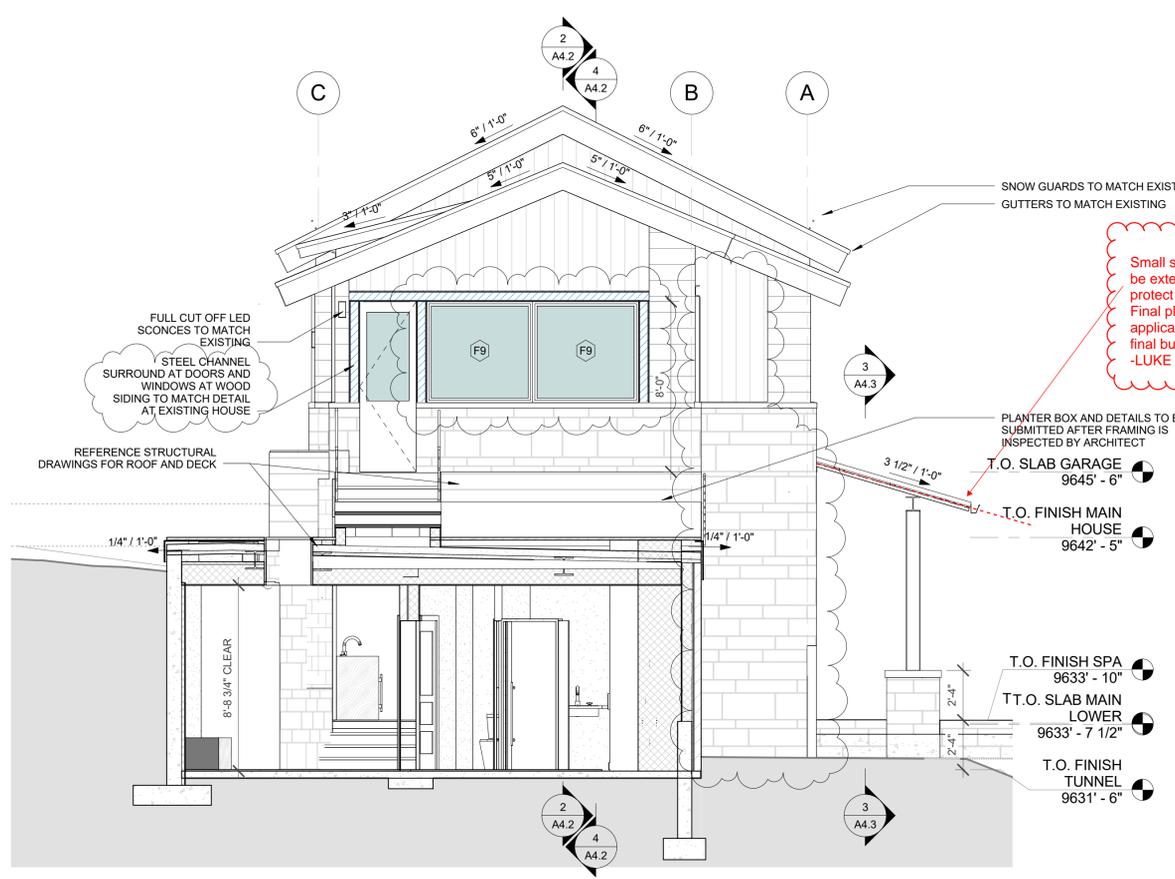
A3.1

ELEVATIONS

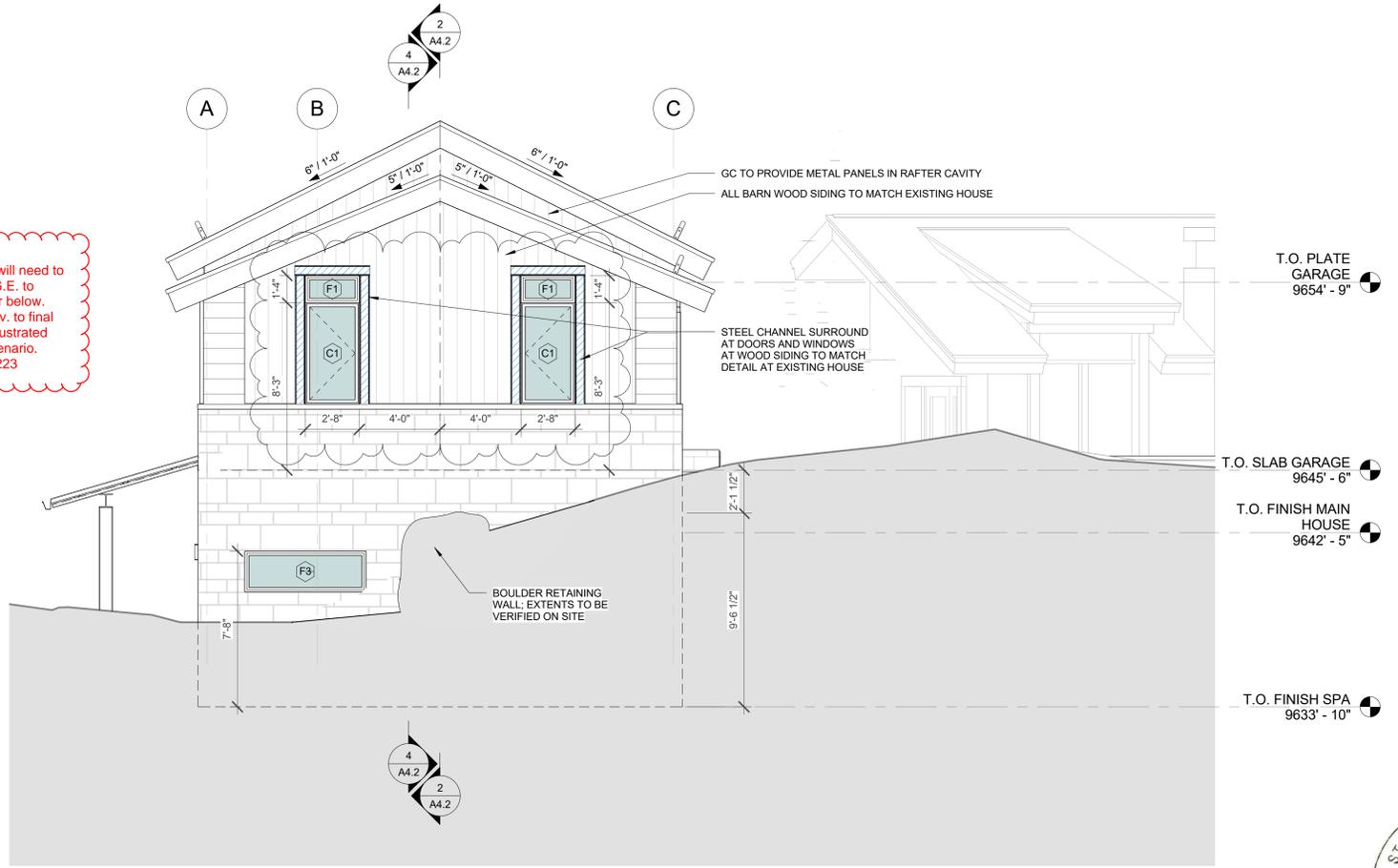
EXTERIOR MATERIAL CALCULATIONS

TUNNEL NORTH	GARAGE NORTH	GARAGE EAST	TOTAL
Stone 369 SF 52%	Stone 447 SF 42%	Stone 200 SF 48%	STONE 1394 43.1%
Glass 239 SF 34%	Glass 254 SF 24%	Glass 83 SF 20%	GLASS 699 21.6%
Doors 0 SF 0%	Doors 82 SF 8%	Doors 0 SF 0%	DOORS 258 8.0%
Siding 82 SF 0%	Siding 82 SF 24%	Siding 86 SF 21%	SIDING 572 17.7%
Accent Metal 100 SF 14%	Accent Metal 40 SF 4%	Accent Metal 50 SF 12%	METAL 308 9.5%
TOTAL 708 100%	TOTAL 1077 100%	TOTAL 419 100%	TOTAL 3231 100%

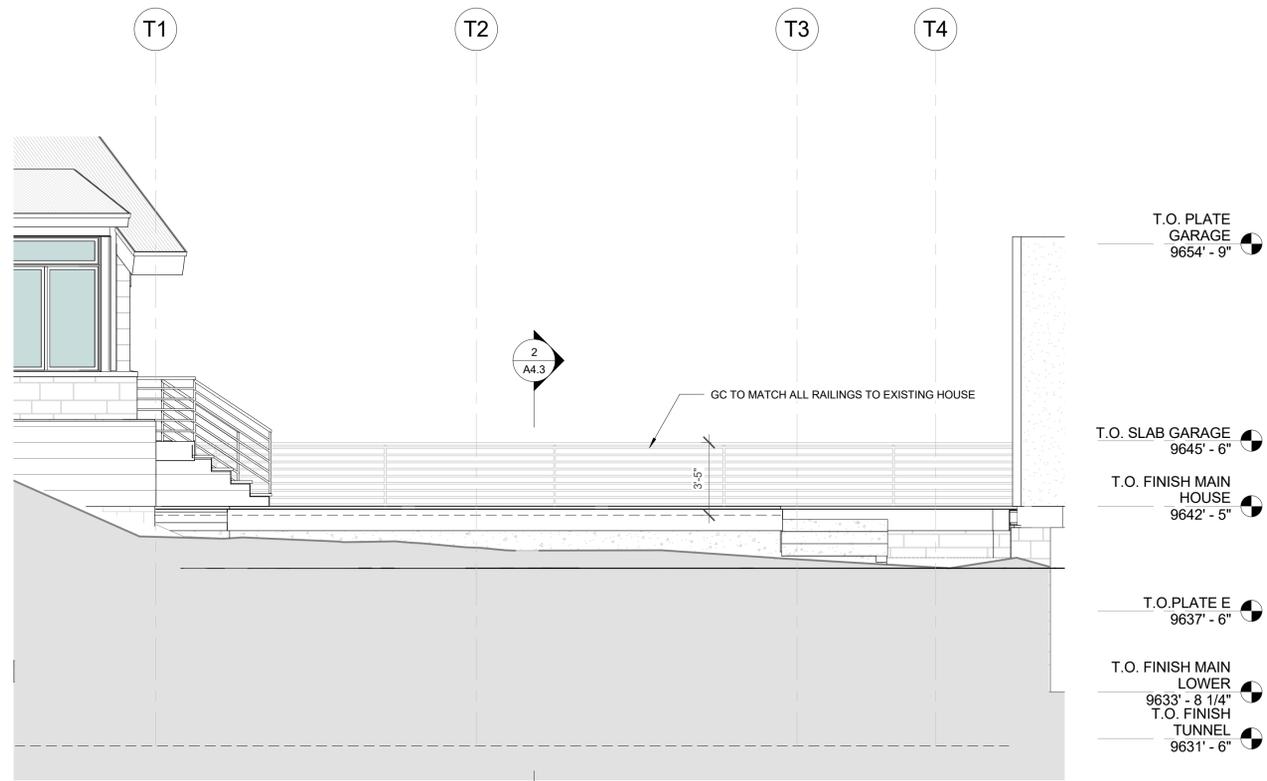
TUNNEL SOUTH	GARAGE SOUTH	GARAGE WEST
Stone 125 SF 63%	Stone 80 SF 19%	Stone 173 SF 43%
Glass 6 SF 3%	Glass 39 SF 9%	Glass 73 SF 20%
Doors 0 SF 0%	Doors 176 SF 41%	Doors 0 SF 0%
Siding 0 SF 0%	Siding 109 SF 25%	Siding 123 SF 31%
Accent Metal 68 SF 34%	Accent Metal 25 SF 6%	Accent Metal 25 SF 6%
TOTAL 199 100%	TOTAL 429 100%	TOTAL 399 100%



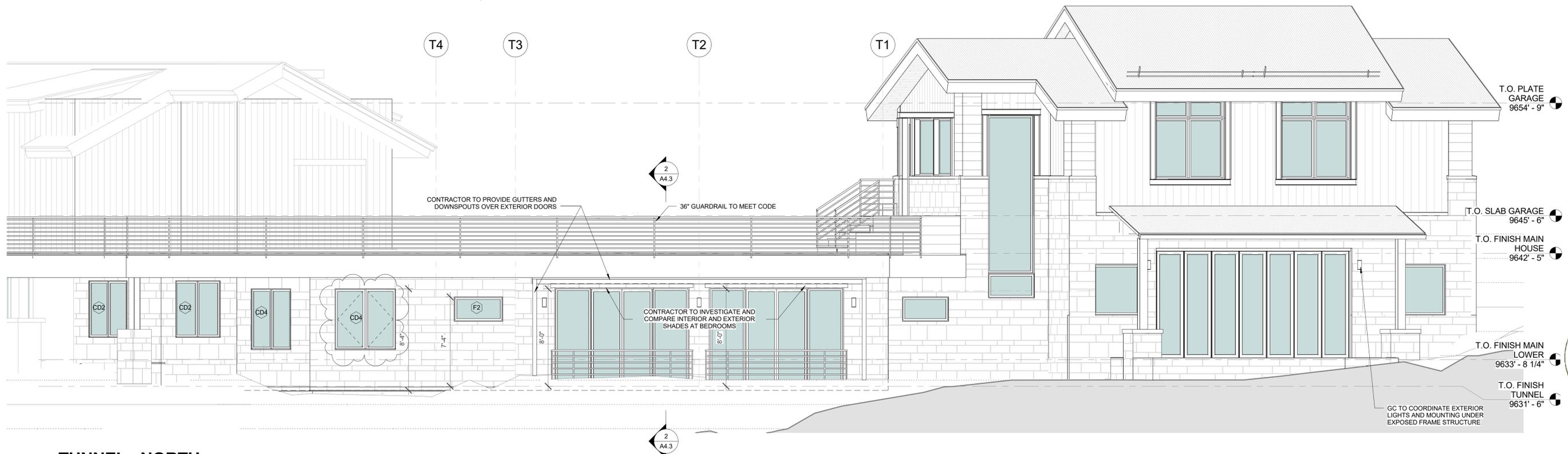
1 GARAGE - EAST
1/4" = 1'-0"



2 GARAGE - WEST
1/4" = 1'-0"



2 TUNNEL - SOUTH
1/4" = 1'-0"

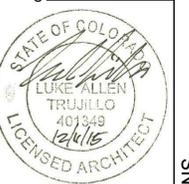


1 TUNNEL - NORTH
1/4" = 1'-0"

SUBMISSIONS:
2015 10 07 ASI 1
2015 10 20 SURVEY
ADJUSTMENTS
2015 10 22 ASI 2
2015 11 24 LUKE'S REDLINE
REVIEW SET
2015 12 15 REVISED
CONSTRUCTION SET
2016 01 07 MAIN HOUSE
BEAM SECTION
2016 02 27 ASI 8 -
EXTERIOR WINDOWS

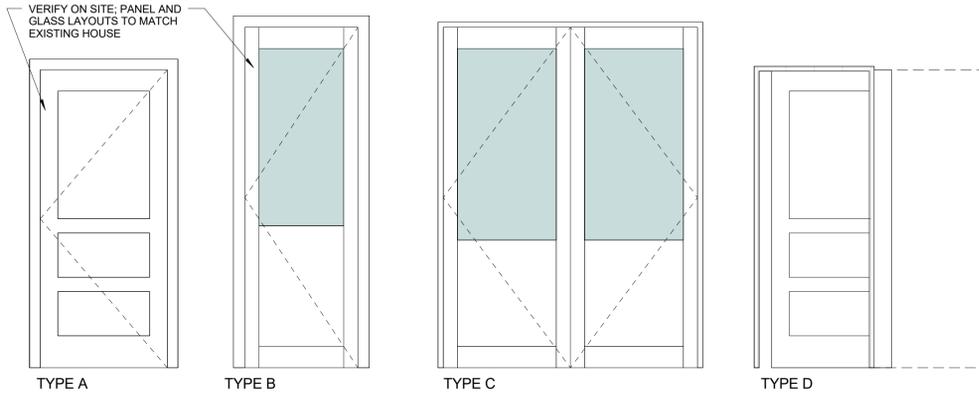
PRINT DATE:
2016 02 27 ASI 8 - EXTERIOR
WINDOWS

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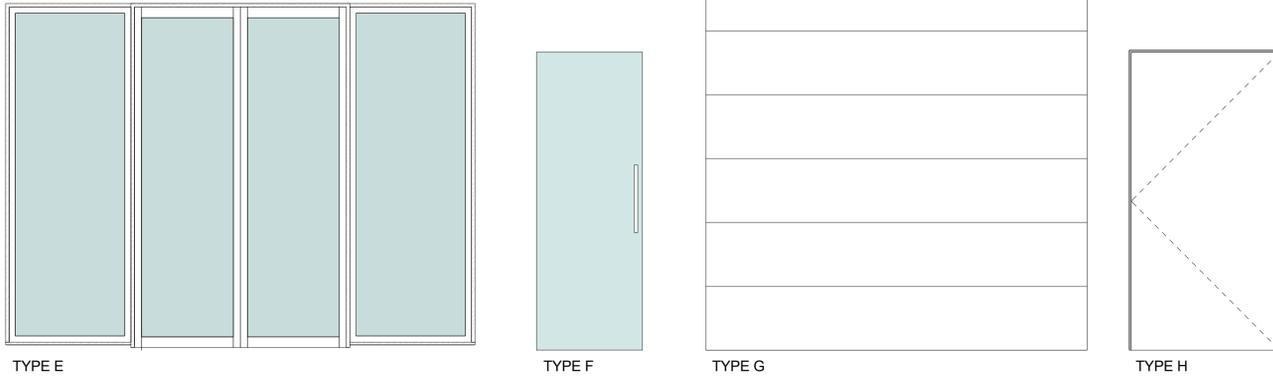
FINISH SCHEDULE						
Number	Name	Wall Finish	Floor Finish	Ceiling Finish	Base Finish	Comments
001	WET BAR					
002	TV MEDIA					
003	GUEST BATH					
004	BEDROOM					
005	BATH					
006	TOILET					
007	BEDROOM					
008	BATH					
009	TOILET					
010	GUEST					
011	TUNNEL					
012	STAIR					
013	SPA					
014	BAR					
015	STEAM ROOM					
016	CHANGING					
017	SHOWER					
018	POWDER					
019	MECHANICAL					
020	DRY SAUNA					
021	WINE CELLAR					
101	GARAGE					
102	STAIR					

** FINAL FINISH SCHEDULE BY STUDIO FRANK



TYPE A TYPE B TYPE C TYPE D

DOOR SCHEDULE						
Mark	Room Name	Type Mark	Family and Type	Width	Height	Comments
003A	GUEST BATH	A2	Single-Panel 1: 32" x 84"	2'-8"	7'-0"	
003B	GUEST BATH	F	Curtain Wall Sgl Glass: Curtain Wall Sgl Glass	2'-0"	7'-0"	
004A	BEDROOM	A2	Single-Panel 1: 32" x 84"	2'-8"	7'-0"	
004B	BEDROOM	E1	Sliding-Double: 132" x 96"	5'-0"	8'-0"	
005A	BATH	D2	Pocket Door: 32" x 84"	2'-8"	7'-0"	
005B	BATH	F	Curtain Wall Sgl Glass: Curtain Wall Sgl Glass	2'-4"	6'-8"	
006A	TOILET	D1	Pocket Door: 30" x 84"	2'-6"	7'-0"	
007A	BEDROOM	A2	Single-Panel 1: 32" x 84"	2'-8"	7'-0"	
007B	BEDROOM	E1	Sliding-Double: 132" x 96"	5'-0"	8'-0"	
008A	BATH	D2	Pocket Door: 32" x 84"	2'-8"	7'-0"	
008B	BATH	F	Curtain Wall Sgl Glass: Curtain Wall Sgl Glass	2'-4"	7'-0"	
009A	TOILET	A1	Single-Panel 1: 30" x 84"	2'-6"	7'-0"	
010A	BUNK	A2	Single-Panel 1: 32" x 84"	2'-8"	7'-0"	
013B	SPA	D5	Access Hatch: Spa Equipment	2'-6"	2'-6"	Verify size with access req's for hot tub equipment.
015A	STEAM	F	Curtain Wall Sgl Glass: Curtain Wall Sgl Glass	2'-8"	7'-0"	
016A	CHANGING	D2	Pocket Door: 32" x 84"	2'-8"	7'-0"	Frosted Glass
018A	POWDER	D8	Single-Glass 1: 32" x 84"	2'-8"	7'-0"	
019A	MECHANICAL	H	Single-Flush: 42" x 84"	3'-6"	7'-0"	
020A	DRY SAUNA	F	Curtain Wall Sgl Glass: Curtain Wall Sgl Glass	2'-8"	7'-0"	
021A	WINE CELLAR	F	Curtain Wall Sgl Glass: Curtain Wall Sgl Glass	3'-0"	7'-0"	
101A	GARAGE	B2	Single-Glass 1: 36" x 96"	3'-0"	8'-0"	
101B	GARAGE	G	Overhead-Sectional: 9' x 9'	9'-0"	9'-0"	
101C	GARAGE	G	Overhead-Sectional: 9' x 9'	9'-0"	9'-0"	
102A	STAIR	B1	Single-Glass 1: 32" x 96" Thin Trim	2'-8"	8'-0"	
102B	STAIR	B2	Single-Glass 1: 36" x 96"	3'-0"	8'-0"	

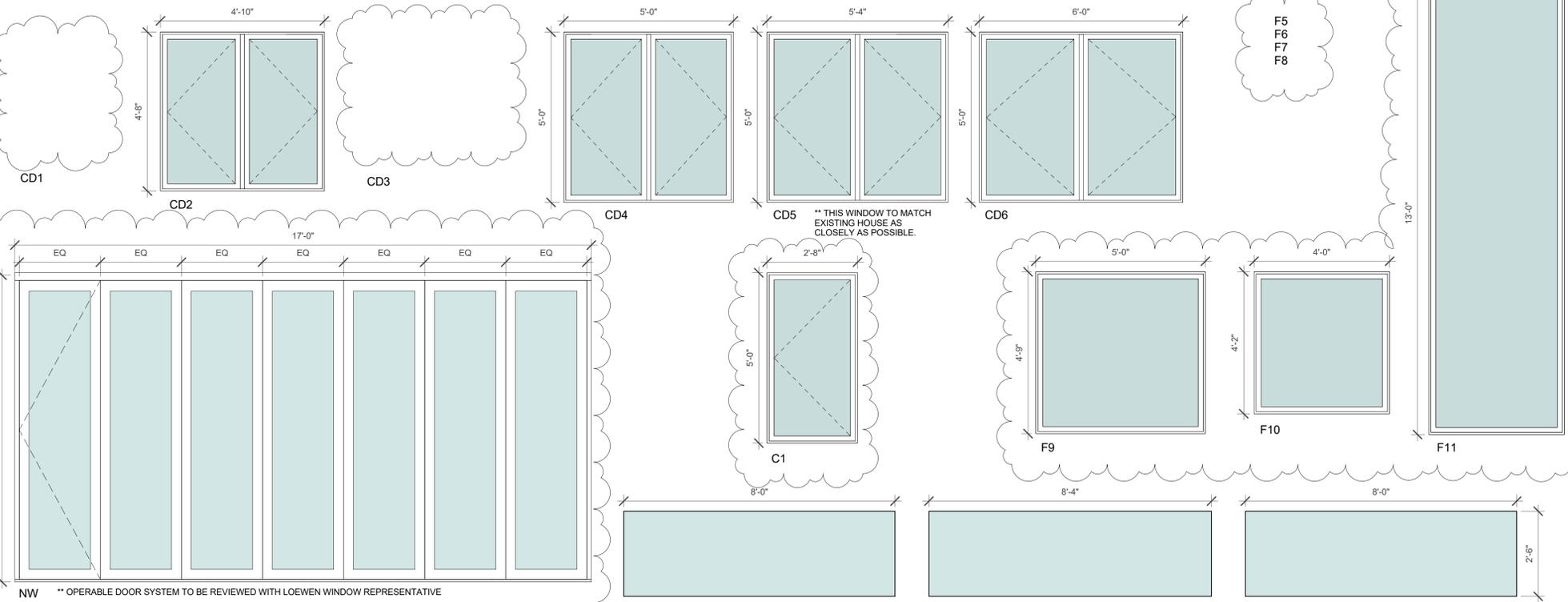


TYPE E TYPE F TYPE G TYPE H

DOOR LEGEND

1/2" = 1'-0"

WINDOW SCHEDULE					
Room Number	Room Name	Type Mark	Family and Type	Width	Height
002	TV MEDIA	CD2	Case ment Dbl: 58" x 56"	4'-10"	4'-8"
002	TV MEDIA	CD2	Case ment Dbl: 58" x 56"	4'-10"	4'-8"
005	BATH	F2	Fixed: 24" x 48"	4'-0"	2'-0"
008	BATH	F2	Fixed: 24" x 48"	4'-0"	2'-0"
010	BUNK	CD4	Case ment Dbl: 60" x 60"	5'-0"	5'-0"
010	BUNK	CD4	Case ment Dbl: 60" x 60"	5'-0"	5'-0"
011	TUNNEL	SL1	Skylights Flush with Deck		
013	SPA	NW	Window-NanaWall-WD-66: Standard	17'-0"	9'-0"
015	SAUNA	F10	Fixed: 48" x 50"	4'-0"	4'-2"
020	STEAM	F3	Fixed: 24" x 60"	6'-0"	2'-0"
020	STEAM	F10	Fixed: 48" x 50"	4'-0"	4'-2"
101	GARAGE	C1	Case ment NO Trim: 32" X 60"	2'-8"	5'-0"
101	GARAGE	C1	Case ment NO Trim: 32" X 60"	2'-8"	5'-0"
101	GARAGE	CD6	Case ment Dbl: 72" x 60"	6'-0"	5'-0"
101	GARAGE	CD6	Case ment Dbl: 72" x 60"	6'-0"	5'-0"
101	GARAGE	F1	Fixed: 16" x 32"	2'-8"	1'-4"
101	GARAGE	F1	Fixed: 16" x 32"	2'-8"	1'-4"
101	GARAGE	F4	Fixed: 36" x 18"	3'-0"	1'-6"
101	GARAGE	F4	Fixed: 36" x 18"	3'-0"	1'-6"
101	GARAGE	F4	Fixed: 36" x 18"	3'-0"	1'-6"
101	GARAGE	F4	Fixed: 36" x 18"	3'-0"	1'-6"
102	STAIR	AW1	Awning: 48" x 24"	4'-0"	2'-0"
102	STAIR	CD5	Case ment Dbl: 60" x 64"	5'-4"	5'-0"
102	STAIR	F1	Fixed: 16" X 64"	5'-4"	1'-4"
102	STAIR	F9	Fixed: 57" x 60"	5'-0"	4'-9"
102	STAIR	F9	Fixed: 57" x 60"	5'-0"	4'-9"
102	STAIR	F11	Fixed: 48" x 156"	4'-0"	13'-0"



WINDOW LEGEND

1/2" = 1'-0"

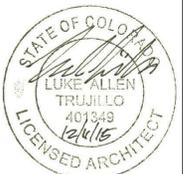
** ALL NEW CONSTRUCTION WINDOWS TO HAVE .32 OR LOWER U VALUE

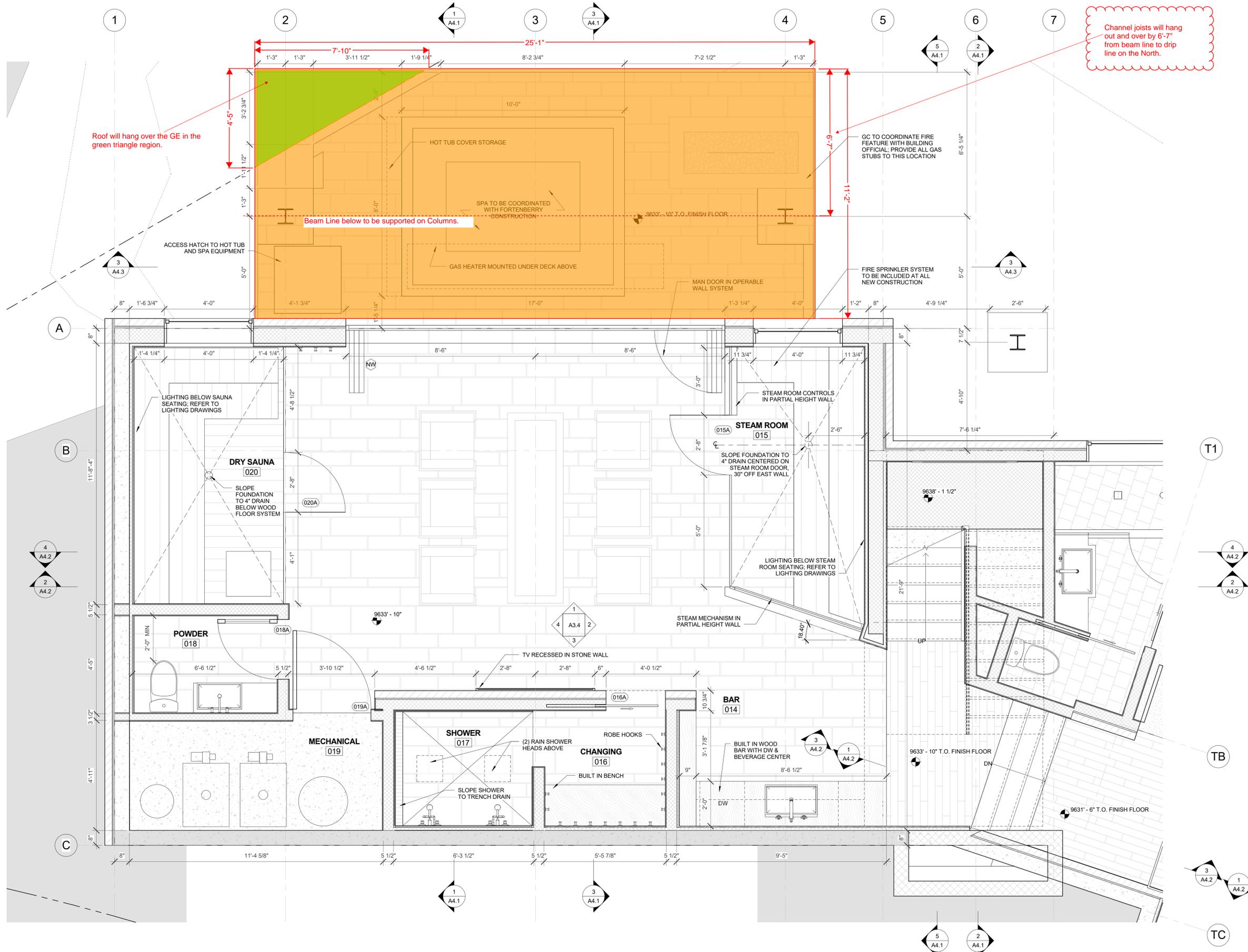
PLUMBING SCHEDULE						
Room Number	Room Name	Type Mark	Family	Manufacturer	Model	Finish
003	GUEST BATH	SWF	Shower Faucet	Hansgrohe	Raindance 27658	
003	GUEST BATH	T	Dual Flush Toilet	TOTO USA, Inc.	CST412MF	Vitreous China - TOTO - 01 Cotton
003	GUEST BATH		Kohler Ladina Sink	Kohler	Verticyl K-2882-0	
003	GUEST BATH	VF1	Kohler Purist Faucet	Kohler	Purist K-14406-3	
005	BATH	SWF	Shower Faucet	Hansgrohe	Raindance 27658	
005	BATH	VS	Kohler Ladina Sink	Kohler	Verticyl K-2882-0	
005	BATH	VF1	Kohler Purist Faucet	Kohler	Purist K-14406-3	
006	TOILET	T	Dual Flush Toilet	TOTO USA, Inc.	CST412MF	Vitreous China - TOTO - 01 Cotton
008	BATH	SWF	Shower Faucet	Hansgrohe	Raindance 27658	
008	BATH	VS	Kohler Ladina Sink	Kohler	Verticyl K-2882-0	
008	BATH	VF1	Kohler Purist Faucet	Kohler	Purist K-14406-3	
009	TOILET	T	Dual Flush Toilet	TOTO USA, Inc.	CST412MF	Vitreous China - TOTO - 01 Cotton
013	SPA	HT	Plumbing Fixtures 1	Hot Tub - TBD		
013	BAR		Kohler Ladina Sink	Kohler	Verticyl K-2882-0	
013	BAR	VF1	Kohler Purist Faucet	Kohler	Purist K-14406-3	
017	POWDER	T	Dual Flush Toilet	TOTO USA, Inc.	CST412MF	Vitreous China - TOTO - 01 Cotton
017	POWDER		Kohler Ladina Sink	Kohler	Verticyl K-2882-0	
017	POWDER	VF2	Kohler Wall Mounted Faucet	Kohler	Purist K-14426-CP	
018	SHOWER	SWF	Shower Faucet	Hansgrohe	Raindance 27658	
018	SHOWER	SWF	Shower Faucet	Hansgrohe	Raindance 27658	

** PLUMBING SCHEDULE IS FOR PRICING PURPOSES ONLY; ACTUAL PLUMBING LIST TO BE GENERATED BUY STUDIO FRANK

SUBMISSIONS:
2015 10 07 ASI 1
2015 10 20 SURVEY
ADJUSTMENTS
2015 10 22 ASI 2
2015 11 24 LUKE'S REDLINE
REVIEW SET
2015 12 15 REVISED
CONSTRUCTION SET
2016 01 07 MAIN HOUSE
BEAM SECTION
2016 02 27 ASI 8 -
EXTERIOR WINDOWS

PRINT DATE:
2016 02 27 ASI 8 - EXTERIOR
WINDOWS





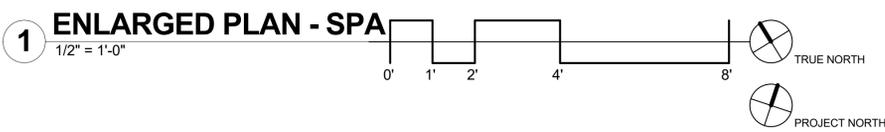
Channel joists will hang out and over by 6-7" from beam line to drip line on the North.

Roof will hang over the GE in the green triangle region.

GC TO COORDINATE FIRE FEATURE WITH BUILDING OFFICIAL. PROVIDE ALL GAS STUBS TO THIS LOCATION

Beam Line below to be supported on Columns.

FIRE SPRINKLER SYSTEM TO BE INCLUDED AT ALL NEW CONSTRUCTION



1 ENLARGED PLAN - SPA
1/2" = 1'-0"

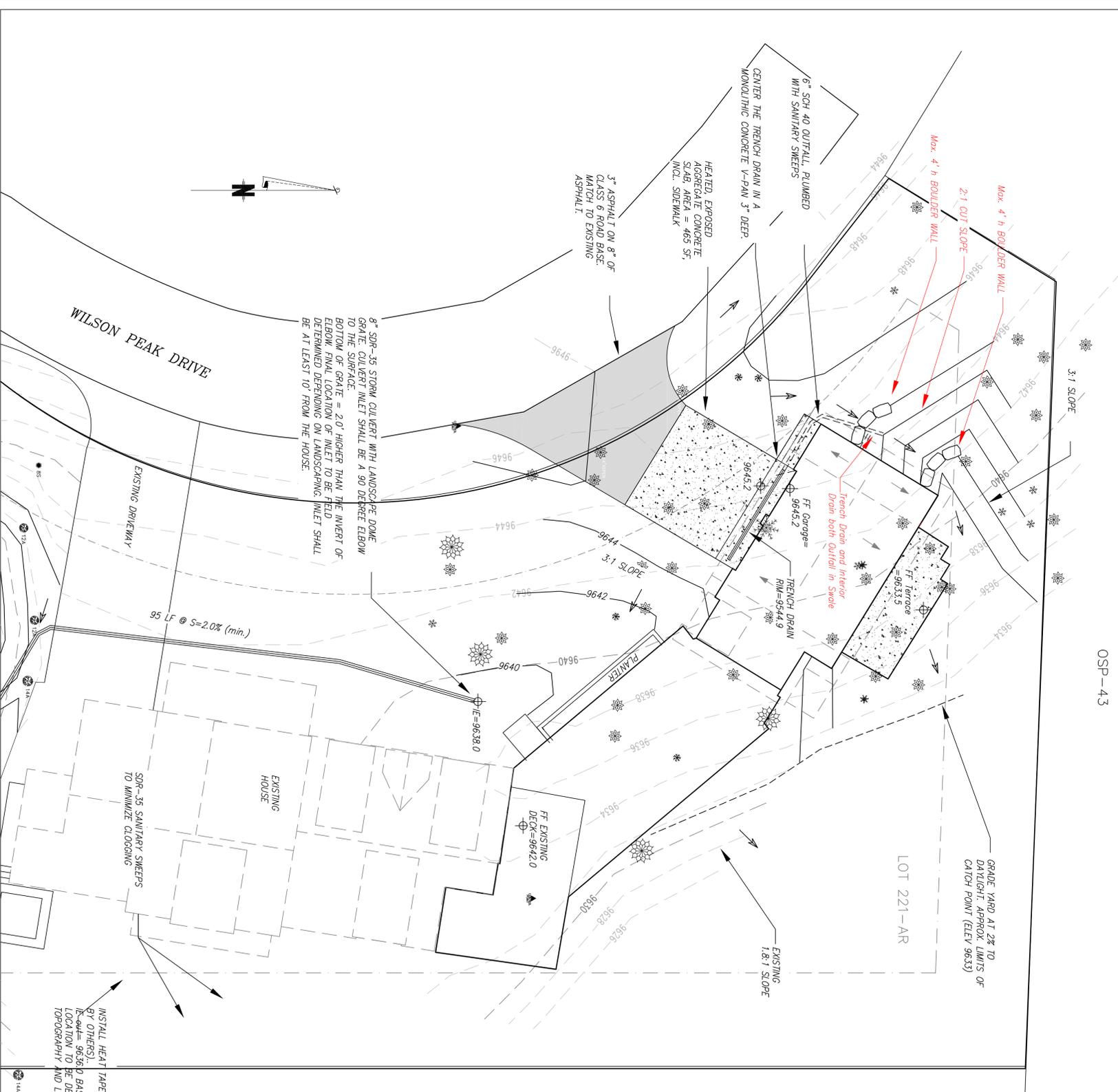
SUBMISSIONS:
2015 10 07 ASI 1
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ADJUSTMENTS
2015 10 22 ASI 2
2015 11 24 LUKE'S REDLINE
REVIEW SET
2015 12 15 REVISED
CONSTRUCTION SET

PRINT DATE:
2015 12 15 REVISED
ARCHITECTURAL
CONSTRUCTION SET



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- REVISIONS ARE IN RED
1. THE RETAINING WALL WAS MOVED FROM THE WEST SIDE OF THE BACK TERRACE. THE NECESSARY RETAINING NOW TAKES PLACE IN THE STEPPED BOULDER WALLS.
 2. THE GRADING, ALTHOUGH IN THE GET, IS WITHIN THE LIMITS OF THE PREVIOUS GRADING PLAN.



- CONSTRUCTION NOTES:
1. TRENCH DRAIN SHALL BE ACO FG200 TO FIT WITH URBAN ACCESSORIES 10" WIDE FLAT RAINBOW GRADE. URBAN ACCESSORIES GRATES ARE 18" LONG (THE 18 LF OF DRAIN REQUIRES 12 GRATES). ACO DRAINS ARE 108" LONG (EACH). USE SLOPED ACO SECTION F805 AND F806. THE ACO SECTION S ARE 108" LONG. 2 SECTIONS = 216" = 18 LF.
 2. THE TRENCH DRAIN SHALL OUTFALL FROM INVERT TO GAIN DEPTH UNDER SIDEWALK TO THE WEST. OUTFALL PIPE SHALL BE PLUMBED WITH 6" SCH 40 SANITARY WTS AND SWEEPS TO MINIMIZE CHANGE OF CLOGGING.
 3. TRENCH DRAIN SHALL HAVE HEAT TAPE INSTALLED TO DAYLIGHT. REFER TO ELECTRICAL PLANS FOR POWER SOURCE.
 4. DOME LANDSCAPE GRADE MUST BE APPROVED BY ARCHITECT. CONTRACTOR SHALL SUBMIT CUT SHEET PRIOR TO CONSTRUCTION.
 5. NATIVE LOSS/ROCKS SHALL BE INSTALLED AT THE END OF THE OUTFALL PIPE TO SERVE AS AN ENERGY DISSIPATOR. FIELD FIT AS NECESSARY.

Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2015-06-08
DRAINAGE CHANGE	2015-09-08
TRENCH DRAIN CHANGE	2015-09-08
WEST GRADING/WALL CHANGE	2016-08-21

Moody Residence
Addition

200 Wilson Peak Dr.
Mtn. Village, CO



CONTRACTOR TO REVIEW AND CORRECT ALL CHANGES AND INTERDISCIPLINARY DRAWINGS FOR CONFLICTS PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage
Plan

C1

SIGN-IN SHEET

DRB Meeting
 Thursday July 7, 2016
 Please write clearly

ATTENDEE NAME (PLEASE PRINT CLEARLY)	ADDRESS
MATTHEW FRANKLIN	5293 N. SUN SHINER WAY MEDIOLA, ID 83646
DAVID HEANEY	140 San Sophia TWIN
Dominic Maunello	MPG
KRIS BARTOSIAK	102 Cabins La
D H MEEK	102 CABINS LN
PETER SANTI	181 Highlands Dr.
SHANE JORDAN	" " " "
CHRISTIAN WIBNINGER	" " " "
KERSTIN WIBNINGER	" " " "
DAVID JALLODE	GH 15
SHANE JORDAN	118 HIGHLANDS WAY
RYAN DETTON	45 SUNSHINE CIR.
ANTON BENITEZ	113 LOST CREEK LANE TWIN

July 5, 2016

Dear DRB representatives,

We are writing as concerned neighbors about Lot 181 proposed development, DRB hearing date July 7. Our concerns are:

- Inconsistent with the neighborhood & Mountain Village CDC Title 17 building requirements.
 - Other homes in this Highlands Way neighborhood have a more traditional & sturdy feeling (pages 113 & 116 specify that walls need to portray mass that is strong and thick).
 - The practically flat roof, page 117, stepping of long ridgelines may be required and secondary shed roofs minimum roof pitch is 4:12. Are carports allowed in Mountain Village? We don't recall seeing any.
 - Page 120 cites that buildings need to have 35% minimum stone walls – I'm not clear how this proposed structure meets this requirement.
 - Page 122 cites large uninterrupted expanses of glass shall be avoided except on southern facades (which may not exceed 40 sq ft). Page 123 sites windows shall appear to be punched into massive walls; and, continuous, repetitive bands of windows shall be avoided.
- Complete loss of privacy to our homesite, lot 182. Please note, that we are NOT opposed to having neighbors. As full-time residents, we are quite concerned that the siting & layout of the majority of their proposed new building is directly facing our home, their terrace practically abuts our terrace. All that proposed glass is quite reflective, subject to solar gain (especially with the direct western exposure) and then there is the fact that glass is very transparent, we do not want to look directly into their living areas. We've reviewed their landscaping plan, which contributes nothing to the privacy between our 2 homes.
- As full-time Mountain Village residents who are just finishing construction of our new home, we understand and appreciate the effort that goes into crafting your dream home (and that all dream homes are not the same); we worked very hard to ensure that our home is consistent with Mountain Village standards – we do not feel this home meets that same bar. As such, we are requesting that DRB request modifications be made to the proposed home on Lot 181.

Thank you,
Brady & Kara Mills
116 Highlands Way, Lot 182

From: [Thomas Kennedy](#)
To: [Glen Van Nimwegen](#)
Cc: [Jim Mahoney](#)
Subject: RE: Single Family District Rezoning and Lot Splits
Date: Wednesday, July 06, 2016 6:32:54 PM
Attachments: [image001.png](#)

Glen

Thanks for sending along the Staff Report which relates to the referenced CDC changes.

I do not represent anyone who is currently interested in pursuing an application that might seek to use these code provisions. That said, generally, it looks like the approach staff has drafted has been well thought out and balances rights and interests of land owners.

I do note my concern and opposition to suggestions made in an email included in the packet, sent to the Town by Mr. Mauriello, the land planner from Vail who is assisting some Mt Village lot owners. Mr. Mauriello is encouraging the Town to modify the proposed CDC amendments to establish two sets of standards for the proposed SFPUD submission and review requirements, one standard having generally applicability to all single-family lots in the Mt. Village and a different, more onerous standard which would apply only to four particular single-family lots he specifically calls out in his correspondence to the Town, which are located at the edge of the Mt Village, are larger in size when compared to most other Mt. Village lots and happen to be located close to some of his clients.

When considering an amendment to a land use code, the governing body is generally required to adopt measures that apply to similar property in a uniform manner. The land use code measures are also expected to conform to the municipalities master plan. The language of the Mt Village Comp Plan relating to replatting and rezoning of single family lots, addresses, among other things, a goal of providing separation and buffering when creating new lots, which are goals much more readily achievable when dealing with more land. The Comp Plan does not draw a distinction based upon lot sizes. As a practical matter, it does not follow that more stringent requirements should apply to larger tracts of land, which, by their very nature are more likely to be able to meet the code standards and Comp Plan expectations (ie spacing of lots and buffering). In any event, it is my view that creating and applying two differing sets of standards for similarly zoned single-family property, under these conditions, would constitute illegal spot zoning and should not be considered by the Town

Thank You
Tom Kennedy

The Law Offices of Thomas G. Kennedy
P.O. Box 3081 (Mailing Address)
The Willow Professional Building
307 East Colorado Avenue, Suite 203
Telluride, Colorado 81435
Voice: (970)728-2424

Fax: (970)728-9439
Email Address tom@tklaw.net

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From: Glen Van Nimwegen [mailto:GVanNimwegen@mtnvillage.org]
Sent: Wednesday, July 06, 2016 4:40 PM
To: Thomas Kennedy
Cc: Jim Mahoney
Subject: Single Family District Rezoning and Lot Splits

Tom: per your request, attached is the complete staff report that is going to the DRB tomorrow for a recommendation to Council.

Glen Van Nimwegen, AICP
Director of Planning and Development Services
970-369-8250



Dave Bangert

From: Banks Brown <banks@rmi.net>
Sent: Wednesday, July 06, 2016 8:43 PM
To: Forward bbrown; Forward dcraige; Forward deckman; Forward ggarner; Forward jvatter;
Forward kbrown; Forward ltrujillo; Forward pevans; 'Caton Liz'
Cc: Glen Van Nimwegen; Dave Bangert
Subject: DRB July 7

Fellow Board Members,

I'm unable to attend tomorrow's meeting but did want to share my comments on a number of the agenda items we'll be considering.

Agenda Item 3. My concern on the amending the CDC is addressed in the letter we received from Thomas Kennedy. I think it is poor public policy to set two standards for further subdivision especially when common sense would usually lead you to think that larger parcels could more successfully mitigate impact than smaller parcels. Yet what seeing is the reverse. My inclination is to follow the Comp Plan's direction. There are significant reviews throughout the process that have historically proven to be more than adequate.

Agenda Item 4. I find this submittal well within the boundaries of submittals we receive and with Board's directives should be approved..

Agenda Item 5. I find that Staff's review and recommendation is well reasoned and responds to the Board's concerns and comments during the work session. Their Background summation is thorough and accurate. Their comments in the Composition and Design Theme are spot on. My comments are that the siting of the home is superb. The impact of the structure from adjoining homes and Mountain village Blvd. should be applauded. The reduced height that benefits neighbors, the weight of the construction from Highlands Way, the preservation of unique forest, a melding of other architecture on the street, the materials certainly call out our present time and gently move Mountain Village architecture forward. I agree with staff and think this home benefits this particular site and preserves the integrity of the surrounding terrain, forest, and helps reduce the scale of neighborhood by presenting a less massive profile. I, likewise, would recommend approval.

Agenda Item 8. I feel Staff's recommendation appropriate with the signed agreement.

BANKS D. BROWN
Telluride Sotheby's International Realty
137 W. Colorado Ave.
Telluride, CO 81435
banks@rmi.net
P 970 729 1100
F 888 739 7868

Telluride | **Sotheby's**
INTERNATIONAL REALTY

Jane Marinoff

From: Jim Mahoney <jmahoney@jdreedlaw.com>
Sent: Thursday, July 07, 2016 10:02 AM
To: Jane Marinoff
Subject: FW: Single Family District Rezoning and Lot Splits

Can you print the email below and bring copies for DRB ASAP.

Thanks,

Jim

James Mahoney

J. David Reed, P.C.

PO Box 196

Montrose, CO 81402

(970) 249-3806

(970) 249-9661 (fax)

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From: Kendra Carberry [mailto:klc@hpwclaw.com]
Sent: Thursday, July 07, 2016 9:02 AM
To: Glen Van Nimwegen; Jim Mahoney; Thomas Kennedy
Cc: Dominic Mauriello; David Heaney
Subject: FW: Single Family District Rezoning and Lot Splits

Glen, Jim and Tom,.

Dominic forwarded to me the email from Tom citing concerns about spot zoning, and my clients asked me to weigh in. While I agree that the land use code should conform to the comprehensive plan, I do not agree that a restriction that would apply (currently) to four lots in Mountain Village would constitute spot zoning. Spot zoning is typically zoning aimed at one particular lot, not a group of lots or a particular type of lot. Moreover, these restrictions could apply equally to larger lots created by assemblage later.

Regardless, however, spot zoning is no longer a real legal issue. Every single PUD constitutes spot zoning, and courts have recognized that PUDs are valid zoning tools. In addition, many land use codes have different requirements for larger lots. If the legislative purpose is to keep larger lots large, such a goal would be valid.

As such, I do not see any legal issues with the approach of treating larger lots differently. I would be glad to discuss in more detail if you like. Thanks.

Kendra L. Carberry
Hoffmann, Parker, Wilson & Carberry, P.C.
511 16th Street, Suite 610
Denver, CO 80202
direct – (303) 951-2095
office – (303) 825-6444

From: Dominic Mauriello [<mailto:dominic@mpgvail.com>]
Sent: Thursday, July 07, 2016 7:30 AM
To: Kendra Carberry; David Heaney
Subject: Fwd: Single Family District Rezoning and Lot Splits

Dominic F. Mauriello, AICP
Mauriello Planning Group, LLC
PO Box 4777
[2205 Eagle Ranch Road](#)
[Eagle, Colorado 81631](#)
970-376-3318 cell
www.mpgvail.com

Begin forwarded message:

From: Glen Van Nimwegen <GVanNimwegen@mtnvillage.org>
Date: July 7, 2016 at 7:19:34 AM MDT
To: "dominic@mpgvail.com" <dominic@mpgvail.com>
Subject: Fwd: Single Family District Rezoning and Lot Splits

FYI

Sent from my iPhone

Begin forwarded message:

From: Thomas Kennedy <tom@tklaw.net>
Date: July 6, 2016 at 6:32:48 PM MDT
To: Glen Van Nimwegen <GVanNimwegen@mtnvillage.org>
Cc: Jim Mahoney <jmahoney@jdreedlaw.com>
Subject: RE: Single Family District Rezoning and Lot Splits

Glen

Thanks for sending along the Staff Report which relates to the referenced CDC changes.

I do not represent anyone who is currently interested in pursuing an application that might seek to use these code provisions. That said, generally, it looks like the approach staff has drafted has been well thought out and balances rights and interests of land owners.

I do note my concern and opposition to suggestions made in an email included in the packet, sent to the Town by Mr. Mauriello, the land planner from Vail who is assisting some Mt Village lot owners. Mr. Mauriello is encouraging the Town to modify the proposed CDC amendments to establish two sets of standards for the proposed SFPUD submission and review requirements, one standard having generally applicability to all single-family lots in the Mt. Village and a different, more onerous standard which would apply only to four particular single-family lots he specifically calls out in his correspondence to the Town, which are located at the edge of the Mt Village, are larger in size when compared to most other Mt. Village lots and happen to be located close to some of his clients.

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Thank You
Tom Kennedy

The Law Offices of Thomas G. Kennedy
P.O. Box 3081 (Mailing Address)
The Willow Professional Building
307 East Colorado Avenue, Suite 203
Telluride, Colorado 81435
Voice: (970)728-2424
Fax: (970)728-9439
Email Address tom@tklaw.net

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From: Glen Van Nimwegen [mailto:GVanNimwegen@mtnvillage.org]
Sent: Wednesday, July 06, 2016 4:40 PM
To: Thomas Kennedy

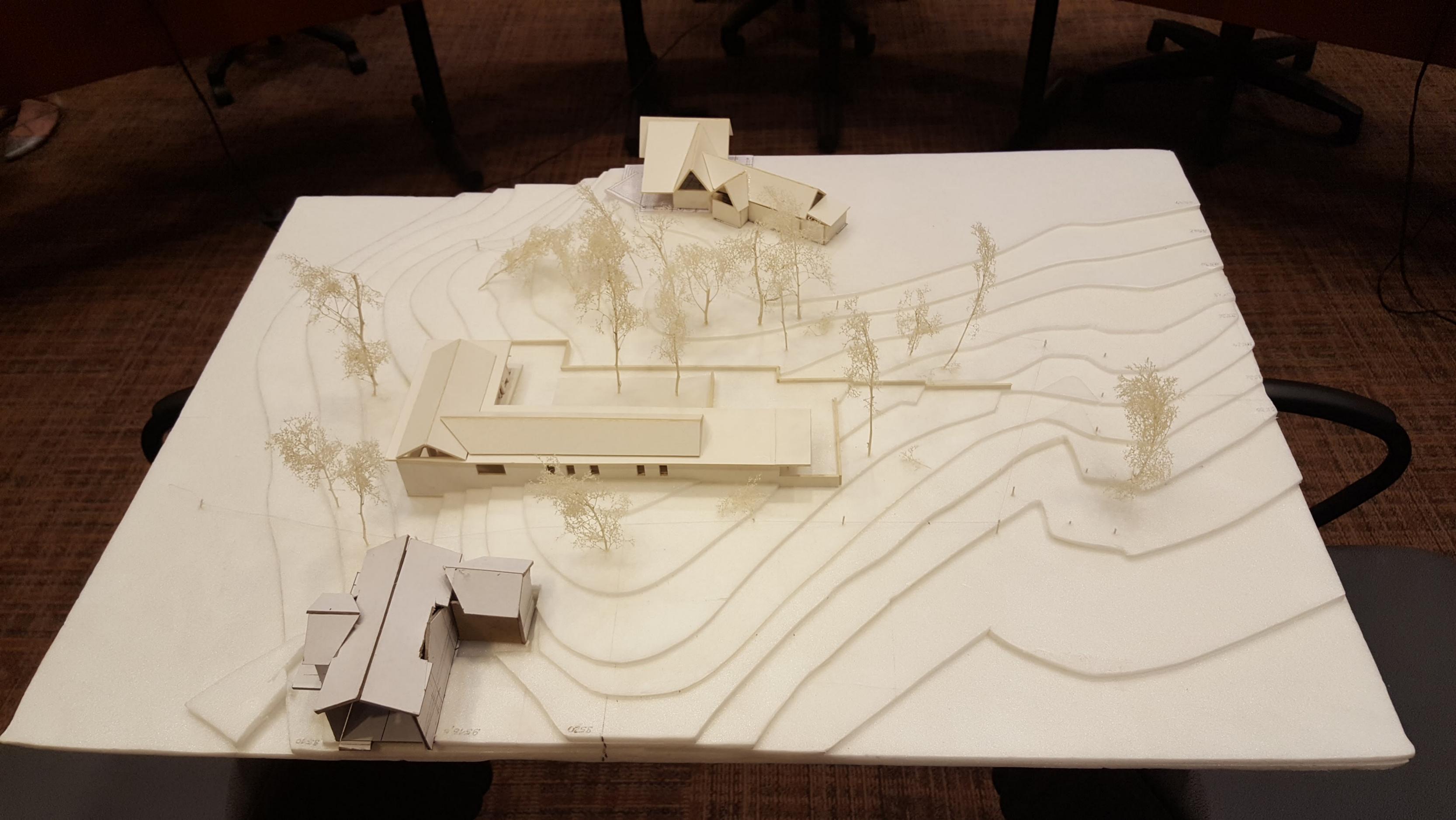
Cc: Jim Mahoney

Subject: Single Family District Rezoning and Lot Splits

Tom: per your request, attached is the complete staff report that is going to the DRB tomorrow for a recommendation to Council.

Glen Van Nimwegen, AICP
Director of Planning and Development Services
970-369-8250







7010
European Windows
www.europeanwindows.com