

**TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD REGULAR MEETING
THURSDAY FEBRUARY 5, 2015, 10:00 AM
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
AGENDA
REVISED**

	Time	Min.	Presenter	Type	Description
1.	10:00				Call to Order
2.	10:00	5	Hawkins	Action	Reading and Approval of Summary of Motions of the January 8, 2015 meeting of the Design Review Board
3.	10:05	0	Hawkins	No Action	Subdivision, Rezone, Density Transfer, and Conditional Use Permit on Lot 640A and Tract OSP-35A. Hearing date not needed due to recommendation of approval at the January 8, 2015 Design Review Board Meeting. Next hearing shall be at Town Council on February 19, 2015
4.	10:05	40	Hawkins	Public Hearing Quasi-Judicial Action	Consideration of a Design Review Process Development Application for an addition on an existing single-family residence on Lot 250A – Continued from and the January 8, 2015 DRB meeting
5.	10:45	30	Bangert	Action	Consideration of Design Review Process application for a two car garage extension with a design variation request to allow for a secondary roof with a 2/12 pitch, landscaping upgrade, driveway and deck repair to an existing single-family residence on Lot AR16
6.	11:15	30	Hawkins	Public Hearing Quasi-Judicial Action	Consideration of Design Review Process application for a privacy gate along the driveway to an existing single-family residence on Lot 1166
7.	11:45	15			Lunch
8.	12:00	45	Hawkins	Public Hearing Quasi-Judicial Action	Consideration of a Design Review Process application for a new single-family residence and an accessory dwelling unit on Lot 407R
9.	12:45	45	Hawkins	Action Legislative	Consideration of a recommendation to the Town Council for amendments to the Community Development Code (CDC) at (A) Section 17.2.12 to allow the conditional use permit process to establish the allowed height for freestanding antennas; (B) Section 17.4.9(E)(2)-(3) to correct an omission, and not require a concurrent replat with rezoning; (C) Section 17.4.14(F)(3) to revise the criteria for allowing ski lifts on private lots; (D) Chapter 17.8 to amend the definition of a site specific development plan; (E) Section 17.6.9 to meet or exceed San Miguel County open burning regulations; and (F) miscellaneous amendments to the CDC to accomplish the foregoing.

**DESIGN REVIEW BOARD MEETING
AGENDA DECEMBER 4, 2014**

10.	1:30	30	Hawkins	Discussion	DRB Member Appointments: Recommendation to the Town Council for filling members' seats whose term will expire.
11.	2:00	5	Board Members	Action	Design Review Board Annual Election of Chair, Vice-Chair and Temporary Chair by Hand Vote
12.	2:05				Adjourn

**SUMMARY OF MOTIONS
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY, JANUARY 8, 2015**

Call to Order

Acting Chairman, David Eckman, called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:05 a.m. on Thursday, January 8, 2015, in the Conference Room at 455 Mountain Village Boulevard, Mountain Village, Colorado, 81435.

Attendance

The following Board/Alternate members were present and acting:

Banks Brown	Phil Evans
David Eckman	Luke Trujillo
Greer Garner	Keith Brown
Kristine Perpar	Daniel Zemke

The following Board members were absent:

Bill Hoins

Town Staff in attendance:

Katie Cox, Planner
Chris Hawkins, Director of Community Development

Public in attendance:

Dylan Henderson	David Craige
Sean Stoger	Jerry Ross
Jason Merrit	Heather Young
Brad Larsen	Randy Edwards
Rube Fellicelli	Lyn Gruss
Bob Saunders	Tim Greene
Lyn Holbet	Noah Sheedy
David Ballode	Jolana Vanek
Scott Pittenger	Greg Pack
Chris Hazen	Katie Singer
Tim Cannon	Stefanie Solomon
Penelope Gleason	Jake McTigue
Tami Huntsman	Corrie McMills
John Kelly	Adam Singer
Deborah Gesmundo	Scot Kelley

Reading and Approval of Summary of Motions of the December 4, 2014 Design Review Board Meeting

On a **Motion** made by Banks Brown and seconded by Kristine Perpar, the DRB voted 7-0 to approve the Summary of Motions from the December 4, 2014 meeting, with amendments.

Consideration of a Design Review Process Development Application for a Porte Cochere and Pool Addition on the Western Façade on Lots OS-1-MVB And Lot 38-50-51R – Continued From December 4, 2014 DRB Meeting

Upon review and discussion on a **Motion** by Greer Garner and seconded by Kristine Perpar, the DRB voted 7-0 to approve the Resolution for the design review development application for a Porte Cochere and Pool Addition on the Western Façade on Lots OS-1-MVB and Lot 38-50-51R.

Community Development Director Chris Hawkins requested the Design Review Board consider hearing item number 6 - Single Family Residence on Lot 250A next, thereby moving item number 4 Subdivision, Rezone, Density Transfer, and Conditional Use Permit on Lot 640A and Tract OSP-35A to be heard after lunch.

Consideration of a Design Review Process Development Application for an Addition on an Existing Single Family Residence on Lot 250A – Continued from December 4, 2014 DRB meeting. Continued to the February 5, 2015 DRB meeting.

Community Development Director Chris Hawkins requested the Design Review Board continue this item till February 5, 2015.

Acting Chairman David Eckman recused himself from this item due to a conflict of interest. Kristine Perpar will be acting chairman.

On a **Motion** by Greer Garner and seconded by Banks Brown, the DRB voted 7-0 to Continue the Design Review Process Development Application for an Addition on an Existing Single Family Residence on Lot 250A till February 5, 2015 to be held in the Conference Room at 455 Mountain Village Boulevard, Mountain Village, Colorado, 81435

Consideration of a Recommendation to Town Council for a Subdivision, Rezone, Density Transfer, and Conditional Use Permit on Lot 640A and Tract OSP-35A

Design review board member Daniel Zemke recused himself from this item due to a conflict of interest.

Upon review and discussion on a **Motion** by Phil Evans and seconded by Banks Brown, the DRB voted 7-0 to recommend the Town Council approve Subdivision, Rezone, Density Transfer, and Conditional Use Permit on Lot 640A and Tract OSP-35A with the findings and conditions as set forth in the staff memo of record as follows:

Rezoning Findings

1. The proposed rezoning is in general conformance with the goals, policies and provisions of the Comprehensive Plan because, without limitation:
 - 1.1. The development applications meet Land Use Principles, Policies and Actions, Principle I because the development will promote a land use pattern envisioned by the Comprehensive Plan that will provide economic and social vibrancy;
 - 1.2. The development applications meet Land Use Principles, Policies and Actions, Principle I, Policy B that requires rezoning, Planned Unit Developments (PUD), subdivisions, special use permits, density transfers, and other discretionary land use applications to be in

- 3.2.4. Prospect Plaza is located next to the low density projects of The Boulders and Coyote Court that have an approximate FAR of 0.4:1 and 0.2:1, respectively;
 - 3.2.5. Big Billies with an FAR of approximately 0.8:1 is located next to The Terraces and Parker Ridge that have approximate FAR of 0.3:1 and 0.6:1, respectively; and
 - 3.2.6. High density development with higher Floor Area Ratios are located next to lower density development with lower Floor Area Ratios in The Meadows, thus, the proposed development fits within this pre-existing development pattern.
 - 3.3. Environmental and geotechnical impacts shall be avoided, minimized and mitigated, to the extent practical, consistent with the Comprehensive Plan, while also providing the target density identified in each subarea plan development table because, without limitation:
 - 3.3.1. Wetland impacts will be fully evaluated with the Design Review Process development application pursuant to the CDC Wetland Regulations and the United States Army Corps of Engineers Clean Water Act requirements.;
 - 3.3.2. A geotechnical report will be required concurrent with any future building permit application; and,
 - 3.3.3. The development is not located in a floodplain.
 - 3.4. Site-specific issues such as, but not limited to the location of trash facilities, grease trap cleanouts, restaurant vents and access points shall have been addressed to the satisfaction of the Town, with a condition of approval requiring trash and recycling facilities to be located to minimize and mitigate impacts to Northstar and Timberview;
 - 3.5. There are not impacts to the skier experience or ski runs.
4. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources because, without limitation:
 - 4.1. The Telluride Fire Protection District will provide fire protection services;
 - 4.2. The Mountain Village Police Department will provide police protection services;
 - 4.3. Water and sewer are available from the Town of Mountain Village;
 - 4.4. The proposed development is envisioned by the Comprehensive Plan to provide for economic and social vibrancy, thus creating a more sustainable community;
 - 4.5. Employers in the Telluride Region cannot find enough employees for their businesses during the 2014-2015 ski season, with this proposed development providing housing for approximately 146 employees;
 - 4.6. The development will reduce the amount of carbon emissions generated within the Telluride Region, with approximately 146 less commuters into the region on a daily basis; and
 - 4.7. The development will reduce the amount of economic leakage out of the Telluride Region, with local employees spending more dollars locally rather than in the surrounding commuting communities.
5. The proposed rezoning is justified because there are specific policies in the Comprehensive Plan that contemplate the rezoning.
6. Adequate public facilities and services are available to serve the intended land uses.
7. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion, because, without limitation:
 - 7.1. A transportation study completed for the Comprehensive Plan showed that Adams Ranch Road has a volume to capacity ratio of 0.41, thus only 41 percent of capacity at build out;
 - 7.2. Russell Drive showed it was only at 8 percent of capacity at build out;

- 7.3. Adams Ranch Road and Russell Drive have a good level of service to provide access for the development;
 - 7.4. The access drives, parking areas, delivery area(s); and trash and recycling areas will be designed to not create any vehicular or pedestrian hazards concurrent with the required Design Review Process development application; and
 - 7.5. Pedestrian infrastructure will be provided to ensure this development is connected to the sidewalk along Adam's Ranch Road and the bus stops located on the north side of such road.
8. The proposed rezoning meets all applicable Town regulations and standards.

Density Transfer Findings

1. The criteria for decision for a rezoning are met;
2. The density transfer meets the density transfer and density bank policies because, without limitation:
 - 2.1. The Town Council may create workforce housing density that is not in the density bank and transfer it to a site because new workforce housing density is not subject to the density limitation.
3. The proposed density transfer meets all applicable Town regulations and standards.

Conditional Use Permit Findings

1. The proposed conditional use is in general conformity with the policies of the principles, policies and actions set forth in the Comprehensive Plan as set forth under the rezoning findings above;
2. The proposed conditional use is in harmony and compatible with surrounding land uses and the neighborhood and will not create a substantial adverse impact on adjacent properties or on services and infrastructure because, without limitation:
 - 2.1. The multi-family use is the same as surrounding land uses.
 - 2.2. The building height and four stories are similar to several projects in the Meadows, such as Prospect Plaza, Big Billies and Parker Ridge.
 - 2.3. The proposed floor area on the site has approximately the same Floor Area Ratio (FAR) as Prospect Plaza and Big Billies, with the proposed development having an approximate FAR of 0.9:1 and Prospect Plaza and Big Billies having an approximate FAR of 0.8:1.
 - 2.4. Prospect Plaza is located next to the low density projects of The Boulders and Coyote Court that have an approximate FAR of 0.4:1 and 0.2:1, respectively;
 - 2.5. Big Billies with an FAR of approximately 0.8:1 is located next to The Terraces and Parker Ridge that have approximate FAR of 0.3:1 and 0.6:1, respectively;
 - 2.6. High density development with higher Floor Area Ratios are located next to lower density development with lower Floor Area Ratios in The Meadows, thus, the proposed development fits within this pre-existing development pattern.
 - 2.7. Visual impacts have been mitigated by pushing the development into the hillside and by roof and building articulation.
 - 2.8. Visual impacts will be mitigated by intensive landscape buffering to surrounding uses.
 - 2.9. The development will be evaluated pursuant to the Design Regulations which will further ensure compatibility and harmony with surrounding land uses.
3. The design, development and operation of the apartments does not constitute a substantial physical hazard to the neighborhood, public facilities, infrastructure or open space;
4. The design, development and operation of the proposed conditional use shall not have significant adverse effect to the surrounding property owners and uses as outlined under

- number 2 above since the Meadows has a few examples of high density development adjacent to low density development;
5. The design, development and operation of the proposed apartments shall not have a significant adverse effect on open space or the purposes of the facilities owned by the Town;
 6. The design, development and operation of the proposed has minimized adverse environmental and visual impacts to the extent possible considering the nature of the proposed conditional use;
 7. The design, development and operation of the proposed apartments has adequate infrastructure, with water, sewer, electric, natural gas, telecommunications, police protection, and fire protection all provided to the site.
 8. The proposed conditional use does not potentially damage or contaminate any public, private, residential or agricultural water supply source; and
 9. The proposed conditional use permit meets all applicable Town regulations and standards.

Subdivision Criteria for Decision

1. The proposed subdivision is in general conformance with the goals, policies and provisions of the Comprehensive Plan as outlined under the rezoning findings above;
2. The proposed subdivision is consistent with the applicable Zoning and Land Use Regulations and any PUD development agreement regulating development of the property as outlined under the rezoning findings above;
3. The proposed density is being evaluated and processed as a concurrent rezoning and density transfer development applications;
4. With compliance of a condition set forth herein, the proposed subdivision is consistent with the applicable Subdivision Regulations;
5. As outlined in the rezoning and conditional use permit criteria, adequate public facilities and services are available to serve the intended land uses;
6. The original subdivision for this area was approved by the County based on a geotechnical report that provided evidence to show that all areas of the proposed subdivision that may involve soil or geological conditions that may present hazards or that may require special precautions have been identified, and that the proposed uses are compatible with such conditions. The applicant will be required to submit a new geotechnical report with any future building permit application;
7. Subdivision access is in compliance with Town standards and codes; and
8. The proposed subdivision meets all applicable Town regulations and standards.

Approval Conditions

1. The rezoning, density transfer and conditional use permit is approving the density and the general location of the building, general scale and mass, parking areas, accessways, and the park. The final location and design of the building, grading, landscaping, parking areas, accessways and other site improvements shall be determined with the required Design Review Process application pursuant to the applicable requirements of the CDC, including but not limited to the Design Regulations, Wetland Regulations and the Road and Driveway Standards.
2. The proposed density and the general location of the building shall remain substantially as shown in the final approved conceptual plans.
3. The scale and mass of the building and the associated floor area shall not increase from that approved during the rezoning; nor shall the amount of building articulation change substantially without approval of the DRB during the Design Review process application.

4. Prior to submitting for the required Design Review Process development application, the applicant shall obtain approval for the wetland delineation from the United States Army Corps of Engineers.
5. The park shall be designed to the satisfaction of the Design Review Board concurrent with the Design Review Process application, including but not limited to access, grading, useable park area, play equipment, river access/river park, and other park features. This final design will only be achieved by the Town working closely with the developer and the community to create the best park possible while also allowing for the efficient development of the workforce housing project.
6. Prior to the Town Council approving the development applications, the applicant shall enter into a development agreement with the Town to address the following and other topics that arise during the rezoning:
 - 6.1. Public Improvements (landscaping, park improvements, new bus stop and shelter by Coyote Court, lighting, etc.)
 - 6.2. Density and bedroom mix;
 - 6.3. Snow storage on the park and maintenance of such area;
 - 6.4. Noise;
 - 6.5. Dogs and cats;
 - 6.6. Maximum occupancy of each unit;
 - 6.7. Wetland protection;
 - 6.8. Fence with Northstar;
 - 6.9. Water Quality Protection.
 - 6.10. Meadows Sign Replacement;
 - 6.11. Park Design; and,
 - 6.12. Composite Utilities Plan.
7. Trash and recycling facilities shall be located to minimize and mitigate impacts to Northstar and Timberview.
8. Prior to the Town Council reviewing the subdivision, the plat shall be revised to meet the Subdivision Regulations.

Other Business

With no further business, on a **Motion** made by Daniel Zemke and seconded Kristine Perpar, the DRB voted 7-0 to adjourn the January 8, 2015 meeting of the Mountain Village Design Review Board at 12:45 p.m.

Respectfully Submitted,

Chris Hawkins, AICP
Director of Community Development



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Design Review Board

FROM: Chris Hawkins, Director of Community Development

FOR: DRB Public Hearing on February 5, 2015

DATE: January 29, 2015

RE: Consideration of a Design Review Process Development Application for an addition on an existing single-family residence on Lot 250A

PROJECT GEOGRAPHY

Legal Description: Lot 250a, Mountain Village Filing No. 6

Address: 112 Palmyra

Applicant/Agent: Bercovitz Design

Owner: Palmyra Properties, LLC

Zoning: Single-family Zone District

Existing Use: Single-family Dwelling

Proposed Use: No change in use

Adjacent Land Uses:

- **North:** Palmyra Drive and single-family lots
- **South:** OS-10 and single-family lots
- **East:** Lot 250B and single-family lots
- **West:** Lot 251R and single-family lots

Lot Size: 0.402 acres (17,511 sq. ft.)

PROJECT SUMMARY

CDC Provision	Requirement	Proposed
Maximum Building Height	40' maximum (35'+5' for gable roof)	Approx. 26' for addition Approx. 27' for existing
Maximum Avg Building Height	35' maximum (30'+5' for gable roof)	20.6'
Maximum Lot Coverage	40% maximum	17.5% (3,061 sq. ft.)
General Easement Setbacks		
North	16'	79'
South	16'	18'
East	16'	16'
West	16'	
Roof Pitch		
Primary	6:12 to 12:12	8:12 to 10:12
Secondary	4:12 unless specific approval	3:12
Exterior Material		
Stone	35%	41% (1,945 sq. ft.)
Wood	25% (No requirement)	42% (1,995 sq. ft.)
Windows/Doors	40% maximum for windows	17% (816 sq. ft.)
Parking	2 enclosed and 2 non-tandem	2 enclosed and 1 non-tandem

ATTACHMENTS

- Exhibit A: Applicant Narrative
- Exhibit B: Design Review Plans

RECORD DOCUMENTS

- Town of Mountain Village Community Development Code as amended (CDC)
- Town of Mountain Village Home Rule Charter as amended
- Design Review Application as maintained by the Community Development Department

BACKGROUND

The Design Review Board (DRB) continued the subject development application from the January 8, 2015 meeting to allow for the applicant to submit a complete development application. The existing home contains approximately 1,320 sq. ft. of floor area.

CRITERIA FOR DECISION

1. The proposed development meets the Design Regulations;
2. The proposed development is in compliance with the Zoning and Land Use Regulations;
3. The proposed development complies with the road and driveway standards;
4. The proposed development is in compliance with the other applicable regulations of this CDC;
5. The development application complies with any previous plans approved for the site still in effect;
6. The development application complies with any conditions imposed on development of the site through previous approvals; and
7. The proposed development meets all applicable Town regulations and standards.

ANALYSIS

The proposed addition complies with the Design Regulations and the Design Review Process as outlined in the findings set forth in the attached resolution. The following are the only outstanding deficiencies that have to be corrected or addressed:

General Easement Setback

The plans are showing a very slight encroachment into the western general easement setback for the roof dripline. Any DRB approval should therefore include a condition that the plans be revised to remove the encroachment prior to issuing a development permit. CDC Section 17.3.14 states that when a proposed development is approved that is five (5) feet or less from the general easement setback, other setback or a lot line, the review authority approval shall include a condition that a monumented land survey shall be prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into the general easement setback. Staff has added a condition of approval to address this CDC requirement.

The proposed grading plan is showing some very limited grading in the general easement for drainage on the west side of the dwelling and for new drainage on either side of the driveway. The definition of the general easement allows for drainage. Staff is supportive of the drainage as shown because it is an authorized activity in the general easement, and because the extent of the grading has been minimized and mitigated.

Windows

CDC Section 17.5.6(G)(4) states that Windows shall appear to be punched into massive walls. Window patterns and reveals need to be carefully studied to create interest and variety. All windows in stone or stucco walls shall be recessed so that the exterior face of the glass is set back a minimum of five inches (5") from the outside face of the exterior wall assembly. Built-out eyebrows shall not be used to circumvent the intent of the window recess requirement.

The plans need to be revised to show the required 5" recess for the stone walls. Staff has added a condition to address revising the plans to show the 5" minimum stone wall recess.

CDC Section 17.5.6(G)(10) states that Window frames and trim shall be painted or stained wood, painted or clad aluminum or patina copper clad. The applicant has not submitted any details on the proposed window frames. Staff therefore recommends that any approval include a condition that the window frame and trim details be submitted for review and approval prior to issuing a development permit.

Doors

CDC Section 17.5.6(H)(1) states, for single-family development, doors and entryways shall use handcrafted materials whenever possible. The primary entrance doorways shall establish interest, variety and character and shall be reviewed by the review authority on an individual basis. The applicant will provide proposed design for the new entry and garage doors to the DRB at the meeting.

Exterior Color

The exterior color needs to be specified, with the applicant indicating the intent is to match the existing color of the home as shown in the plan set photos.

Parking Regulations

The site plan will have to be revised to move parking space #3, which is shown as a tandem space behind the garage door, to be located next to parking space #4 because the Parking Regulations require two enclosed spaces and two exterior non-tandem spaces. The site plan will also have to be revised to include a snow storage plan that shows areas equal to 25% of the pave area in snow storage. Staff has added a condition of approval to address these needed site plan changes.

Landscaping Regulations

The landscaping plan will have to be revised to include notation on the following required Landscaping Regulations prior to issuing a development permit:

1. Section 17.5.9(C)(4) requires certain elements in the irrigation system, such as a backflow preventer, interior and exterior drain valves, and a master control valve. The landscaping plan will have to be revised to include notations on the required efficient water use design elements.
2. Section 17.5.9(C)(5) requires certain measures to ensure soil protection and erosion control.

3. Section 17.5.9(C)(6) establishes minimum planting size requirements that are not met in the plant schedule, such as the need to provide 30% of the evergreen trees at a size of 10 feet tall or larger; the need to have a diversity of tree plantings with at least 40% of the trees on the landscaping plan not typically found in the town, such as lodgepole pine, white pine, ponderosa pine provided such trees fit with the life zone and the site's microclimate. The quantity of deciduous and evergreen trees also needs to match the numbers shown on the plan. The minimum quality of the nursing stock also has to meet the American standard for nursery stock. Planting schedule notes 3 needs to be removed since it does not relate to any requirement of the CDC, and note 5 needs to include the correct CDC reference concerning weed control. The native grass seed mix also needs to be specified consistent with the Landscaping Regulations.
4. The landscaping plan should be revised to have the note, schedules and legends to where they are not overlapping the plan or existing conditions as it is difficult to read certain areas of overlap.
5. The location of the gas and electric meters needs to be shown on the site and landscaping plans to ensure proper screening.

Lighting Regulations

The proposed lighting plan will need to be revised to specify an LED bulb for the Type A fixture since bulb options are available. The revised cut sheet will need to specify the temperature of the LED light. The LED bulb temperature also has to be specified for the Type B and Type C fixtures consistent with the Lighting Regulations. Staff has added a condition to address these needed revisions.

RECOMMENDATION

Staff recommends the DRB approve the Design Review Process development application with the following motion:

"I move to approve a resolution for a Design Review Process development application for an addition on an existing single-family residence on Lot 250A, with the findings and conditions as set forth in the resolution"

**RESOLUTION OF THE DESIGN REVIEW BOARD
OF MOUNTAIN VILLAGE, COLORADO, AUTHORIZING AND APPROVING THE
DESIGN REVIEW PROCESS DEVELOPMENT APPLICATION FOR AN ADDITION ON AN
EXISTING SINGLE-FAMILY RESIDENCE ON LOT 250A**

Resolution No. 2015-0205-__

RECITALS:

- A. Palmyra Properties, LLC (“Owner”) is the owner of certain real property described as Lot 250A, Mountain Village Filing No. 6.
- B. The Owner’s Representative, Bercovitz Design, has submitted a Class 3 Design Review Process application requesting approval for an addition on an existing single-family residence on Lot 250A (“Application”).
- C. The Design Review Board (DRB) considered this application, along with evidence and testimony, at a public hearing held on February 5, 2015. Upon concluding their review, the DRB voted __ - __ to _____ the Application.
- D. The public hearing on the Application referred to above was preceded by public notice as required by the public hearing noticing requirements set forth in the Community Development Code (“CDC”).
- E. The DRB considered the Application submittal materials, all other relevant materials, public letters and public testimony, and approved the Application with conditions as set forth in this Resolution.
- F. The Owners have addressed, or agreed to address, all conditions of approval of the Application imposed by the DRB.
- G. DRB based their approval of this Application on the following findings, as stated required by section CDC Section 17.4.11(D):
 - 1. With compliance of the conditions set forth below, the proposed development meets the Design Regulations because, without limitation, the development is compliant with the Town design theme, building siting design requirements, building design requirements,
 - 2. With compliance of the conditions set forth below, the proposed development is in compliance with the Zoning and Land Use Regulations because, without limitation, the development is permitted in the Single-family Zone District, the density limitation is not impacted, the platted open space requirements are met, and the General Easement Setback requirements in CDC Section 17.3.14.
 - 3. The proposed development is in compliance with the other regulations of this CDC, including but not limited to the Development Review Procedures, the Fire Mitigation Regulations and the Road and Driveway Standards.
 - 4. As of the Effective Date, development on Lot 250A complies with previous plans approved for the site still in effect.
 - 5. As of the Effective Date, the development application complies with conditions imposed on development of the site through previous approvals.
 - 6. The proposed development meets all applicable Town regulations and standards.

Now, Therefore, Be It Resolved that the DRB hereby approves the Application and authorizes the DRB Chairman to sign the Resolution subject to the conditions in Section 1.

Section 1. Development Application Conditions

1. Prior to issuing a development permit, the plans shall be revised to remove the minor encroachment of the roof overhang into the general easement setback, with a monumented land survey provided prior to the issuance of a certificate of occupancy to ensure no general easement encroachments of the roof dripline or other planned site improvements.
2. Prior to issuing a development permit, the Applicant shall revise the building elevations to include details on the design of the entry and garage doors consistent with CDC Section 17.5.6(H)(1).
3. Prior to issuing a development permit, the Applicant shall submit revised plans to show: (A) the required 5" minimum window recess for stone walls; and (B) the proposed treatment and materials for the window trim and frames.
4. Prior to issuing a development permit, the proposed exterior color will be clearly marked on the plan set.
5. Prior to issuing a development permit, parking space #3 shall be moved adjacent to parking space # 4.
6. Prior to issuing a development permit, the landscaping plan shall be revised to address the detailed list of needed revisions outlined in the staff memo of record dated January 29, 2015.
7. Prior to issuing a development permit, the lighting plan shall be revised to specify an LED bulb for the Type A fixture and the associated specifications; and also specify the LED bulb temperature for the Type B and Type C fixtures.
8. The development shall comply with the following required surveys and inspections as set forth in CDC Section 17.5.5(J):
 - A. As required by CDC section 17.3.14, the developer shall submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into the general easement setback prior to the Building Division conducting the required footing or foundation inspection as applicable.
 - B. Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight foot (8') materials board shall be erected on site consistent with the review authority approval to show:
 - i. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - ii. Wood that is stained in the approved color(s);
 - iii. Any approved metal exterior material;
 - iv. Roofing material(s); and
 - v. Any other approved exterior materials

This materials board shall remain on the site in a readily visible location until the project receives a certificate of occupancy or a temporary certificate of occupancy.
 - C. Prior to or concurrent with the Building Division conducting the foundation and framing inspections, the Planning Division shall conduct site inspections to ensure the development is proceeding in accordance with the approved plans.
 - D. Prior to the issuance of either a certificate of occupancy or a temporary certificate of occupancy, the Planning Division shall inspect the site to ensure the development is constructed in accordance with the approved plans, including but not limited to all exterior materials, windows, exterior lighting, landscaping, drainage and massing.

9. All representations of the applicant, whether within the submittal or at the DRB hearing, are conditions of this approval.

Section 2. Effective Date and Length of Validity

1. This approval shall be effective seven (7) calendar days from the date of the DRB approval, on February 12, 2015 unless (A) an appeal is filed in accordance with the CDC appeal procedures; or (B) the concurrent rezoning and major PUD amendment do not receive final approval, in which case the approval shall be null and void. If an appeal is filed pursuant to the appeal procedures, building permits or other development permits shall not be issued until the appeal is heard by the Town Council and it takes action to uphold or modify the approval.
2. This approval shall be valid for eighteen (18) months from the effective date of approval and shall lapse on August 5, 2016 unless a Renewal Process development application is approved by the Town pursuant to the CDC.

Section 3. Void Approval

A resolution or subsequent approval issued by the Town in error or which does not comply with the provisions of this CDC or Town-adopted codes, ordinances and regulations is null and void. A permit, certificate or license issued in reliance upon any materially false statement in the development application, supporting documents or oral statements made on the record shall be null and void.

Be It Further Resolved that the Application may be developed as submitted in accordance with Resolution No. 2015-0205-

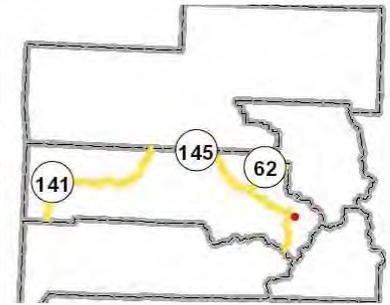
Approved by the Design Review Board at a public meeting February 5, 2015.

Town of Mountain Village, Design Review Board

By: _____
Bill Hoins, Chairman

Attest:

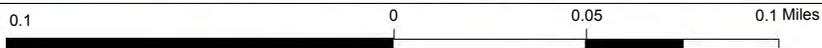
By: _____
Chris Hawkins, Director of Community Development



Legend

- Parcel Boundaries
- Town Boundaries
- County Boundaries

1:3,198



Notes

LOT 250A – ADDITION

**112 Palmyra Drive
January 21 2015**

The Durrschmidt Project is an addition and remodeling that adds only approximately 1,700 square feet of living space and garage on two levels as well as a deck to the east of the existing home on the site. The entire completed home's footprint will measure 3,061 sq ft, or 17.5% of lot coverage which is well below the 40% of permitted lot coverage allowed by section 17.3.13 of the Town of Mountain Village Community Development Code ("CDC"). Similarly, the maximum building height is only 26.9 feet and the average building height is 20.6 feet keeping this home significantly under the allowed maximums of 35 feet and 30 feet, respectively, for these two measuring points. The lot for the Durrschmidt home is a small lot by TMV standards consisting of only .4 acres. The lot is long and narrow measuring approximately 180 feet north to south and 100 feet east to west. The "mass" of the addition is significantly less than would be allowed by the CDC, and it was sited to fit the long, narrow shape of the lot while taking into account the existing vegetation and natural contours of the site. As suggested by section 17.5.5 of the CDC, the siting of the finished home is designed to utilize the existing topography, minimize impact to existing site vegetation, and accommodate drainage, views from the home and create good solar exposure.

Generally, the addition to the home is built to the north, but the siting leaves a large portion of the northern section of the lot unobstructed and open which also allows the preservation of the 20 existing aspen trees located within that area as per the CDC. A small portion of the existing great room is being expanded to the east.

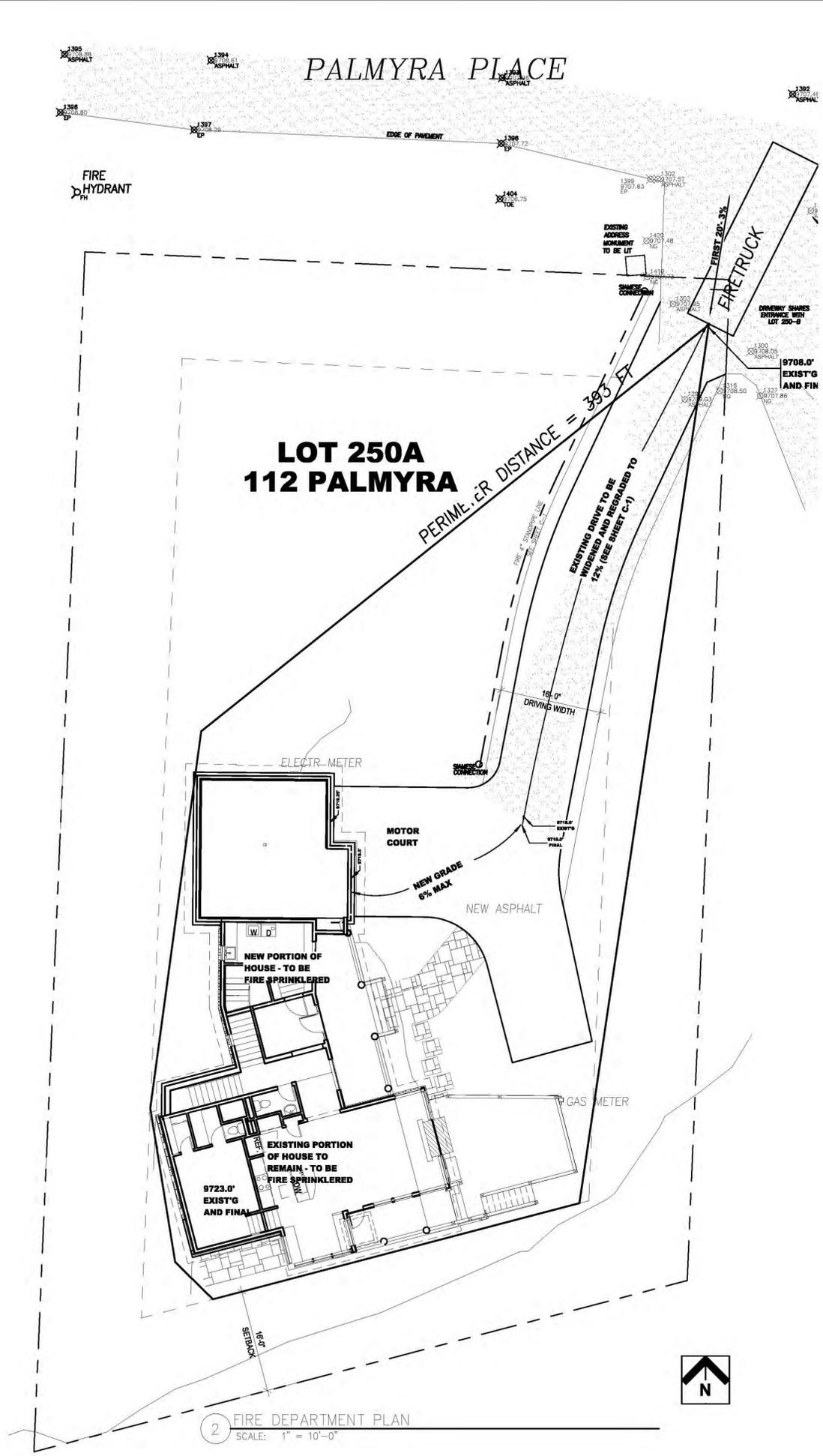
The gable roof is constructed of corrugated metal with a dominant roof pitch of 12:12. As provided for in 17.5.6(C)(2)(b)(i), a slight variation to the roof pitch of a small secondary shed roof is requested to allow 3:12 roof (rather than 4:12). This design variation comports with the criteria established in 17.4.11(E)(5)(e) by being consistent with the overall design theme of the home by matching the 3:12 roof on existing southwest porch, and it blends nicely within and certainly does not have any negative impact on the surrounding neighborhood.

As shown on sheet 4.2, and consistent with 17.5.6(E)(1), the exterior is composed primarily of wood, and it is enhanced by being interspersed with stone covering approximately 40% of the exterior. The cedar wood siding treatment shown satisfies the criteria set forth in in (E)(2)(c) of the this same section of the CDC, and is designed to match the siding found on the existing home. The windows and their pattern are designed in conformance with the section (G) of this portion of the CDC by utilizing the southern exposure and avoiding uninterrupted expanses of glass consistent with the existing home's window treatment.

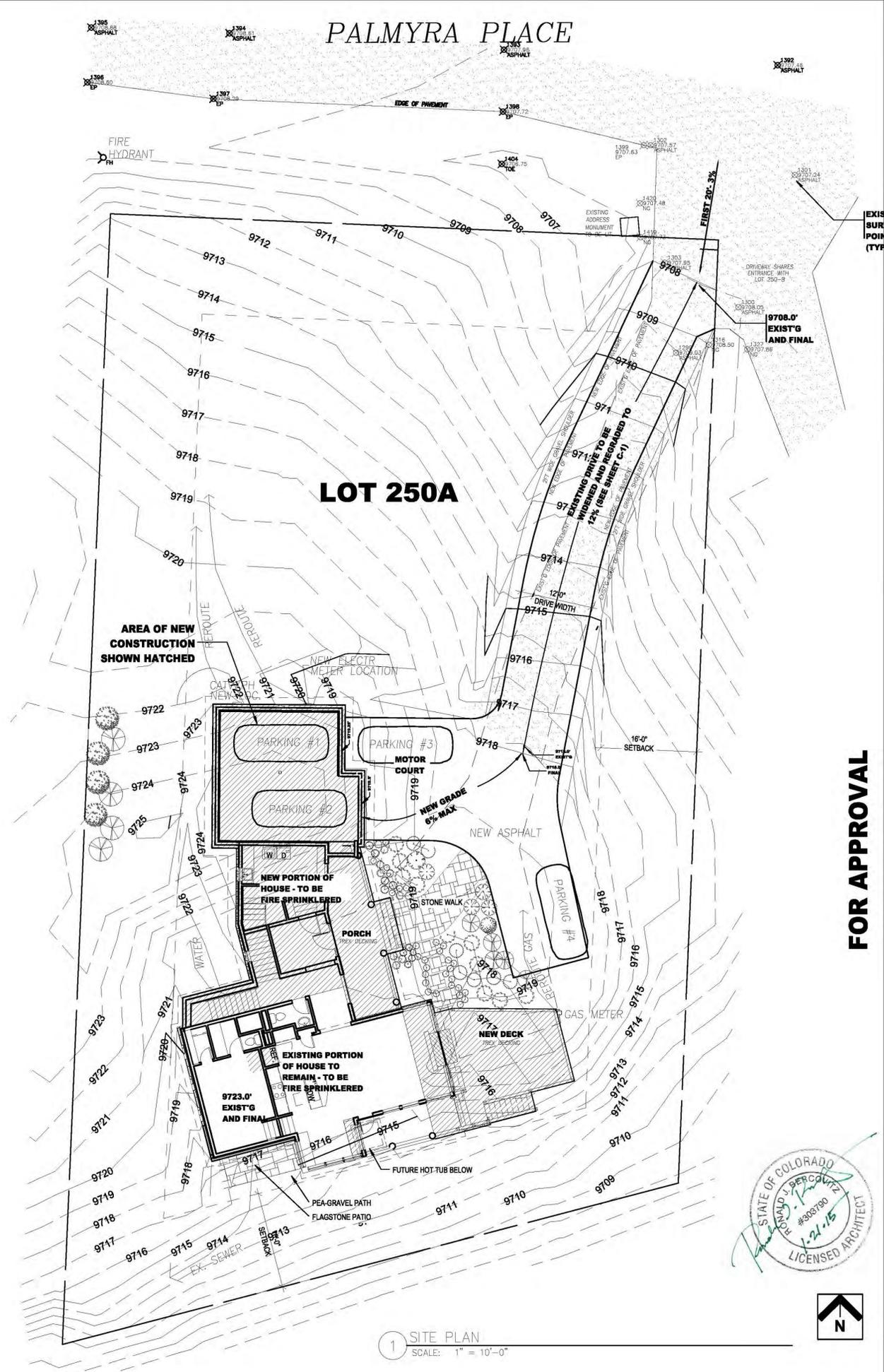
The driveway has been designed with input from the Fire Marshall to comply with the grades allowed in 17.6.6(B) including a grade of 12% on the transitional section buttressed by the approximate 2.5% grade from the road per subsection (B)(4)(b) and the 5-6% grade allowed for garage entrances under (B)(4)(a). Both the new and existing portions of the home will include fire sprinklers per the CDC and Fire Code.

The Landscaping Design presented as sheet 1.2 has been completed by Jen Mann of Grassroots Landscape Design, LLC to satisfy the considerations set forth in 17.5.9. Ms. Mann has extensive experience in creating landscaping plans and bringing them to life in mountain and subalpine environments. She formerly worked with a respected local builder (Fortenberry) as their landscaping expert, and has owned her own local landscaping company for almost 12 years with an emphasis on understanding and working within the unique characteristics of the local high mountain environment. She is a graduate of the Anna Gresham School of Landscape Design and also has a degree in Science and Environmental Ecology. New trees have been added outside of the west elevation to help mitigate any impact on the neighbor to the west, native species are being used, and existing vegetation and significant trees are being preserved by leaving much of the northern lot area undisturbed in her design. The preservation and use of native plants and trees is designed to minimize irrigation needs and take into account the natural topography and environment of the site.

In summary, Ms. Durrschmidt and the various professional consultants and town staff have worked together to design a home addition that will fit well within the existing community and satisfy the requirements of the CDC. The home is modest in size when measured against neighboring properties, and has been carefully planned and designed to provide a home which fits naturally on the lot and within the existing environment.



2 FIRE DEPARTMENT PLAN
SCALE: 1" = 10'-0"



1 SITE PLAN
SCALE: 1" = 10'-0"



FOR APPROVAL

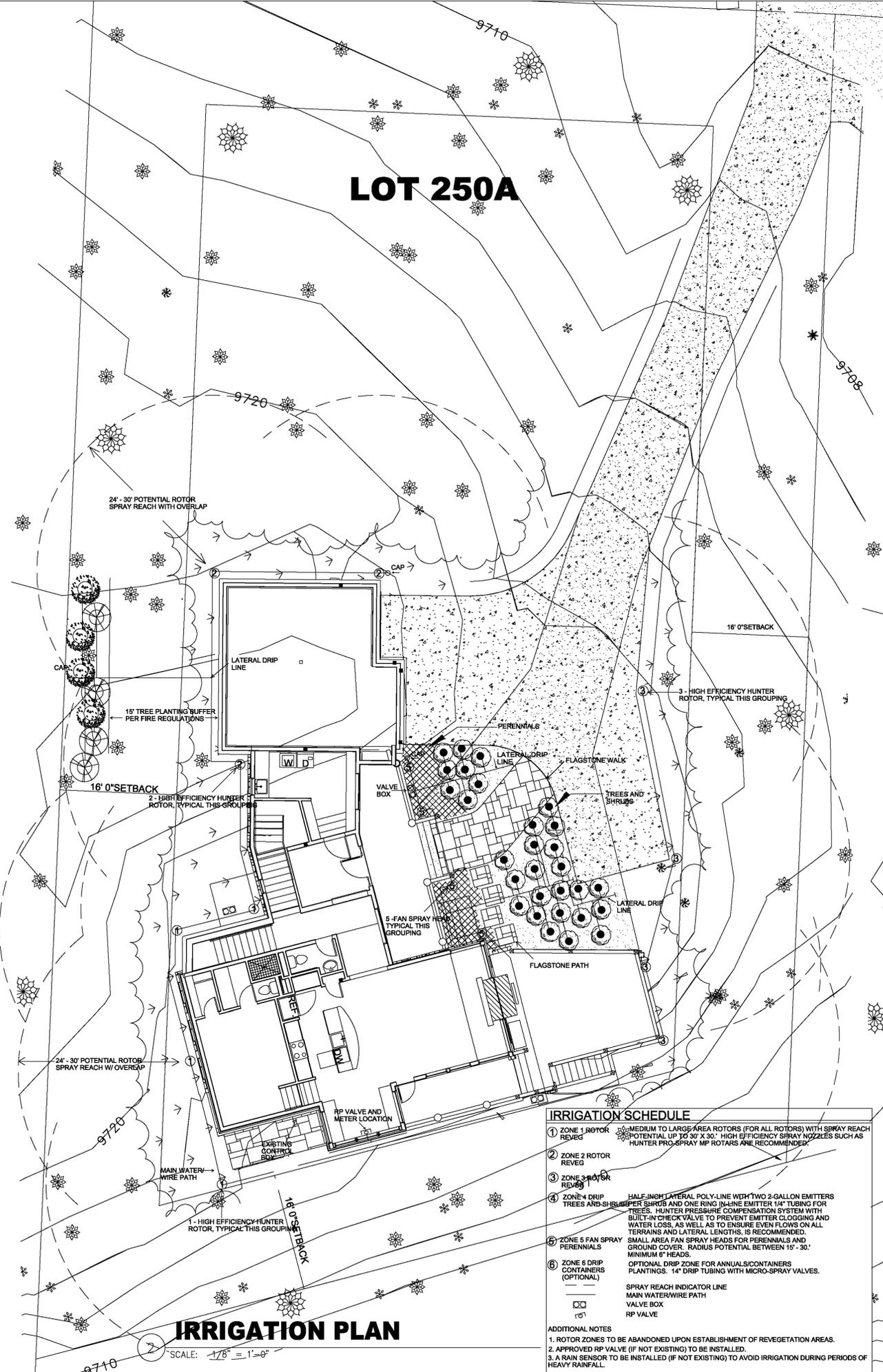
SITE PLAN
FIRE DEPARTMENT PLAN

BERCOVITZ DESIGN
ARCHITECTS
119 W. COLORADO AVE., SUITE A, P.O. BOX 2709 TELLURIDE, CO. 81435
(970) 728-4555

LOT 250A
MOUNTAIN VILLAGE, CO

DATE:
1-9-2015
1-21-2015

LOT 250-B



LOT 250A

IRRIGATION PLAN

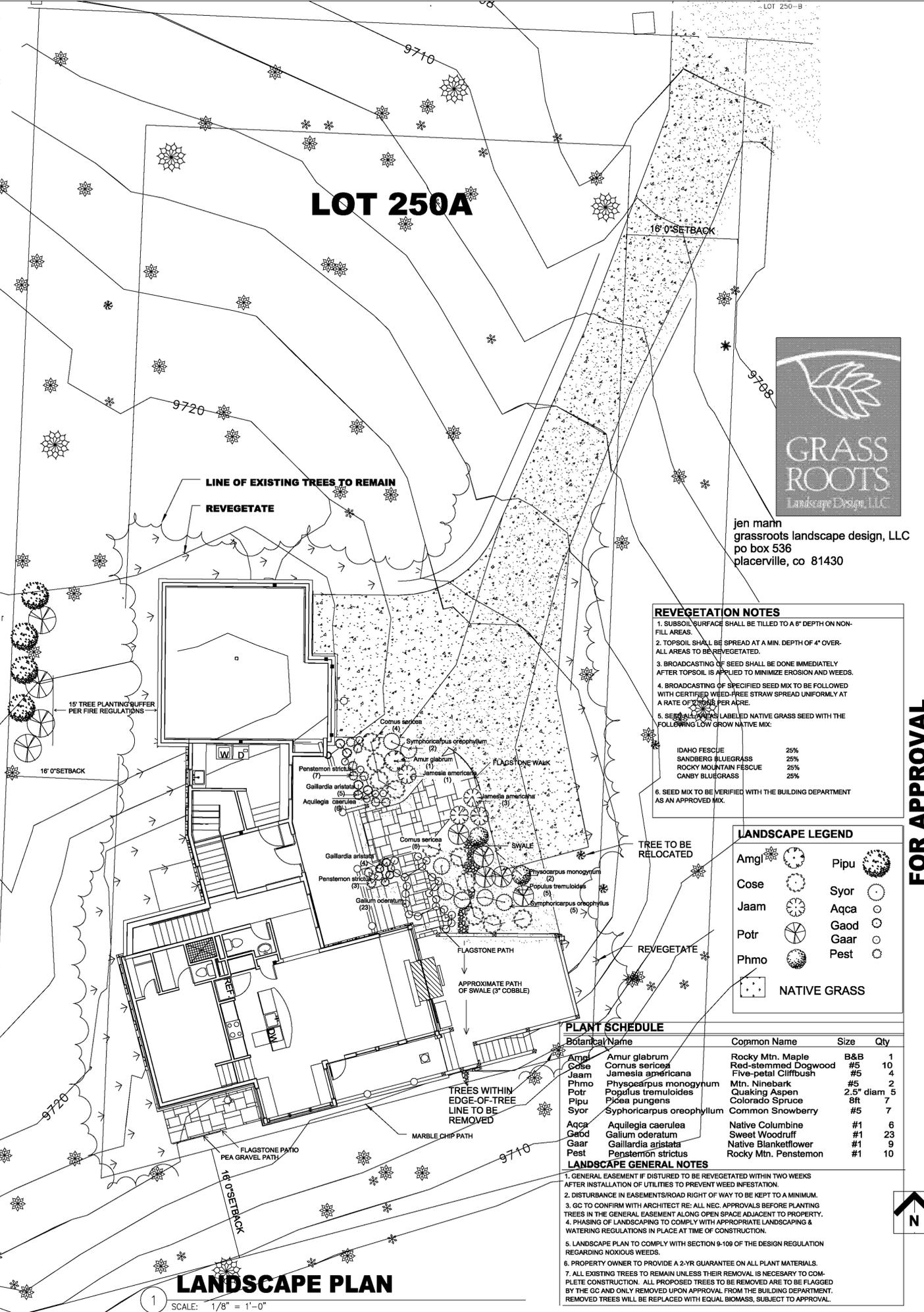
SCALE: 1/8" = 1'-0"

IRRIGATION SCHEDULE

1. ROTOR ZONES TO BE ABANDONED UPON ESTABLISHMENT OF REVEGETATION AREAS.
2. APPROVED RP VALVE (IF NOT EXISTING) TO BE INSTALLED.
3. A RAIN SENSOR TO BE INSTALLED (IF NOT EXISTING) TO AVOID IRRIGATION DURING PERIODS OF HEAVY RAINFALL.

ADDITIONAL NOTES

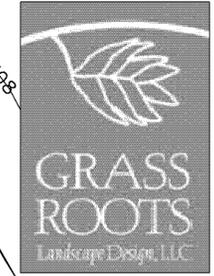
1. ROTOR ZONES TO BE ABANDONED UPON ESTABLISHMENT OF REVEGETATION AREAS.
2. APPROVED RP VALVE (IF NOT EXISTING) TO BE INSTALLED.
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LOT 250A

LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



jen marn
grassroots landscape design, LLC
po box 536
placerville, co 81430

REVEGETATION NOTES

1. SUBSOIL SURFACE SHALL BE TILLED TO A 6" DEPTH ON NON-FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MIN. DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED TO MINIMIZE EROSION AND WEEDS.
4. BROADCASTING OF SPECIFIED SEED MIX TO BE FOLLOWED WITH CERTIFIED WEED-FREE STRAW SPREAD UNIFORMLY AT A RATE OF 2 TONS PER ACRE.
5. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING LOW GROW NATIVE MIX:

IDAHO FESCUE	25%
SANDBERG BLUEGRASS	25%
ROCKY MOUNTAIN FESCUE	25%
CANBY BLUEGRASS	25%

6. SEED MIX TO BE VERIFIED WITH THE BUILDING DEPARTMENT AS AN APPROVED MIX.

LANDSCAPE LEGEND

Amgl	Pipu
Cose	Syor
Jaam	Aqca
Potr	Gaod
Phmo	Gaar
	Pest
	NATIVE GRASS

PLANT SCHEDULE

Botanical Name	Common Name	Size	Qty
Amgl	Rocky Mtn. Maple	B&B	1
Cose	Red-stemmed Dogwood	#5	10
Jaam	Five-petal Cliffbush	#5	4
Phmo	Physocarpus monogynum	#5	2
Potr	Quaking Aspen	2.5" diam	5
Pipu	Colorado Spurge	8ft	7
Syor	Symphoricarpos oreophyllus	#5	7
Aqca	Aquilegia caerulea	#1	6
Gaod	Galium odoratum	#1	23
Gaar	Gallardia aristata	#1	9
Pest	Penstemon strictus	#1	10
	Rocky Mtn. Penstemon		

LANDSCAPE GENERAL NOTES

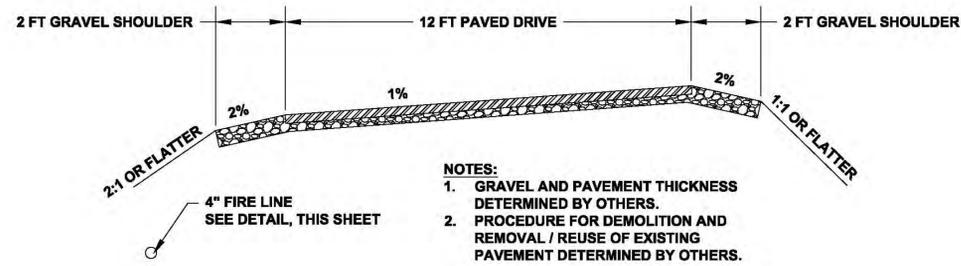
1. GENERAL EASEMENT IF DISTURBED TO BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
2. DISTURBANCE IN EASEMENTS/ROAD RIGHT OF WAY TO BE KEPT TO A MINIMUM.
3. GC TO CONFIRM WITH ARCHITECT RE: ALL NEG. APPROVALS BEFORE PLANTING TREES IN THE GENERAL EASEMENT ALONG OPEN SPACE ADJACENT TO PROPERTY.
4. PHASING OF LANDSCAPING TO COMPLY WITH APPROPRIATE LANDSCAPING & WATERING REGULATIONS IN PLACE AT TIME OF CONSTRUCTION.
5. LANDSCAPE PLAN TO COMPLY WITH SECTION 9-109 OF THE DESIGN REGULATION REGARDING NOXIOUS WEEDS.
6. PROPERTY OWNER TO PROVIDE A 2-YR GUARANTEE ON ALL PLANT MATERIALS.
7. ALL EXISTING TREES TO REMAIN UNLESS THEIR REMOVAL IS NECESSARY TO COMPLETE CONSTRUCTION. ALL PROPOSED TREES TO BE REMOVED ARE TO BE FLAGGED BY THE GC AND ONLY REMOVED UPON APPROVAL FROM THE BUILDING DEPARTMENT. REMOVED TREES WILL BE REPLACED WITH EQUAL BIOMASS, SUBJECT TO APPROVAL.

FOR APPROVAL



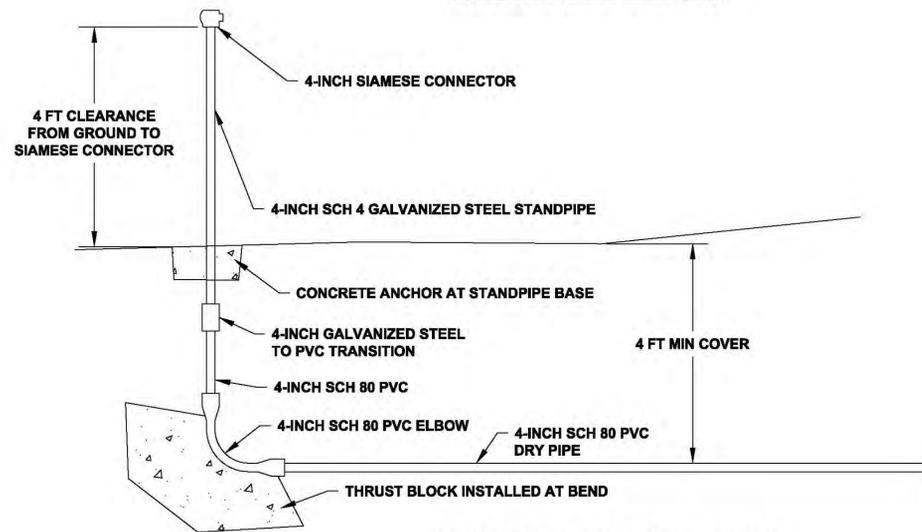
Grading and Drainage Notes:

1. The grading plan is for rough grading only. Changes may be necessary to bring plan into conformance with design intent.
2. All finished floor elevations, building threshold elevations, and stem wall heights to be set / approved by project architect.
3. A water truck, if called for by the owner's representative, will be provided to keep wind erosion in check.
4. Any settlement or soil accumulations beyond the property limits due to grading or erosion shall be repaired immediately by the contractor.
5. Any construction debris or mud tracking in the public right-of-way shall be removed immediately by the contractor. The contractor shall immediately fix any excavations or excessive pavement failures caused by the development and shall properly barricade the site until construction is complete. Failure by the contractor to correct any of the above within 48 hours of written notice by the owner's representative shall cause the owner's representative to issue a stop work order and/or do the work and make a claim against the letter of credit for any cost incurred by the agency.
6. Elevations called out at building are are to finished grade at exterior wall.
7. Existing Trees are to remain undisturbed where possible.
4. Provide minimum 6 inch stem wall reveal at foundation
5. Provide positive drainage away from buildings with a minimum 6 inch fall to a point measured 5 feet horizontally from the building (10% slope)
6. Drainage flowing to the north of the house will be discharged into established roadside ditch on south side of Palmyra Dr
7. Drainage flowing to the south of the house will outfall into established drainage paths in public open space.
8. This grading plan is intended to supplement overall site design by Bercovitz Design Architects, and was developed using data for existing and proposed conditions as provided in said plans.
9. Thrust blocks and concrete anchors shall be in accordance with Town of Mountain Village requirements.



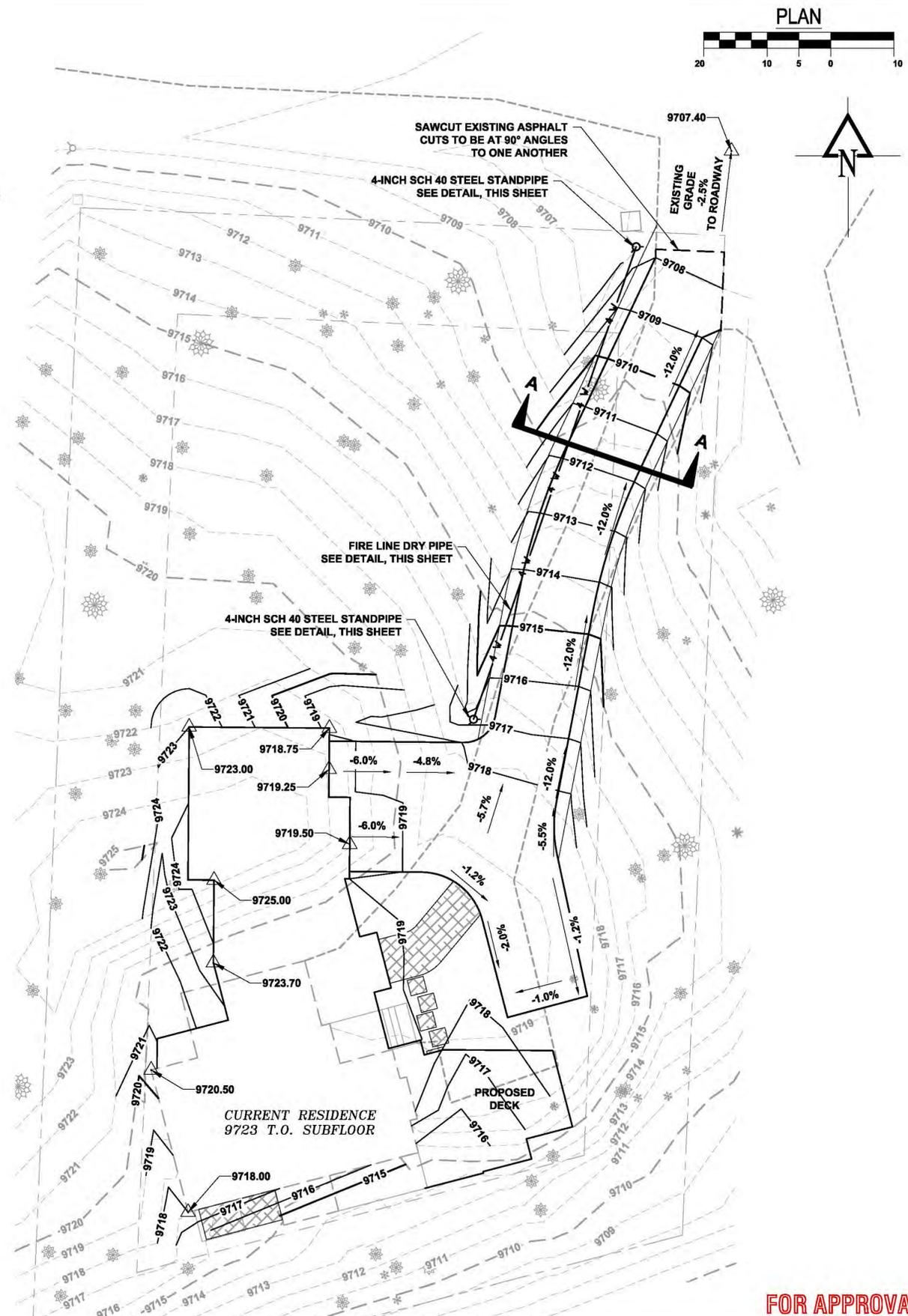
- NOTES:**
1. GRAVEL AND PAVEMENT THICKNESS DETERMINED BY OTHERS.
 2. PROCEDURE FOR DEMOLITION AND REMOVAL / REUSE OF EXISTING PAVEMENT DETERMINED BY OTHERS.

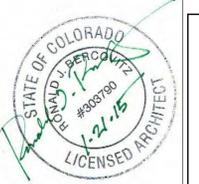
SECTION A-A: DRIVEWAY



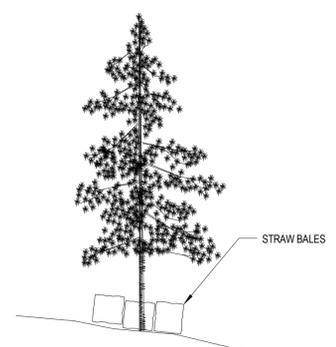
FIRE LINE / DRY PIPE DETAIL

- NOTES:**
1. GALVANIZED STEEL STANDPIPE WILL INCLUDE CONCRETE ANCHOR BLOCK WITH CORROSION PROTECTION.
 2. DOWNHILL END OF LINE WILL INCLUDE SPRING-LOADED BALL VALVE TO ALLOW DRAINAGE WHILE LINE IS NOT IN USE.
 3. FIRE LINE / DRY PIPE IS TO BE CONSTRUCTED IN COORDINATION WITH AND APPROVED BY THE TELLURIDE FIRE PROTECTION DISTRICT

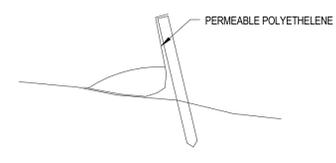




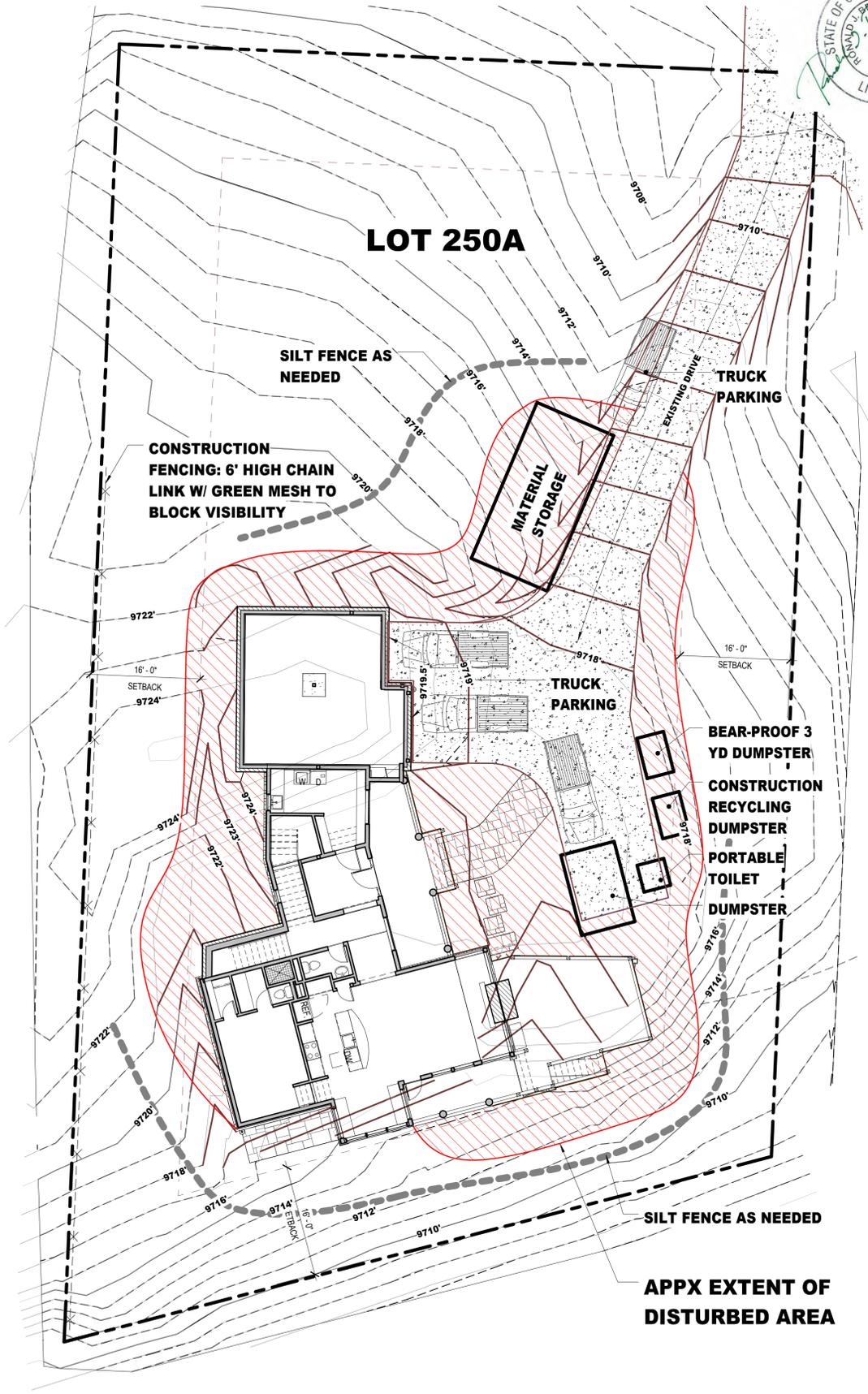
2 SITE CONTEXT PLAN
SCALE: 1" = 20'-0"



4 TREE PROTECTION DETAIL
SCALE: 12" = 1'-0"



3 SILT FENCE DETAIL
SCALE: 12" = 1'-0"



1 CONSTRUCTION MITIGATION PLAN
SCALE: 1" = 10'-0"

**LOT 250A REMODEL/
ADDITION**
MOUNTAIN VILLAGE, COLORADO

BERCOVITZ DESIGN
ARCHITECTS
119 W. COLORADO AVE., SUITE A P.O. BOX 2709 TELLURIDE, CO. 81435
(970) 728-4555

**CONSTR. MITIGATION PLAN,
SITE CONTEXT PLAN**

FOR APPROVAL

1/20/2015 11:05:42 PM



LOT 250A REMODEL / ADDITION
MOUNTAIN VILLAGE, COLORADO

BERCOVITZ DESIGN ARCHITECTS
119 W. COLORADO AVE., SUITE A P.O. BOX 2709 TELLURIDE, CO. 81435
(970) 728-4555

FLOOR PLANS

DOOR SCHEDULE

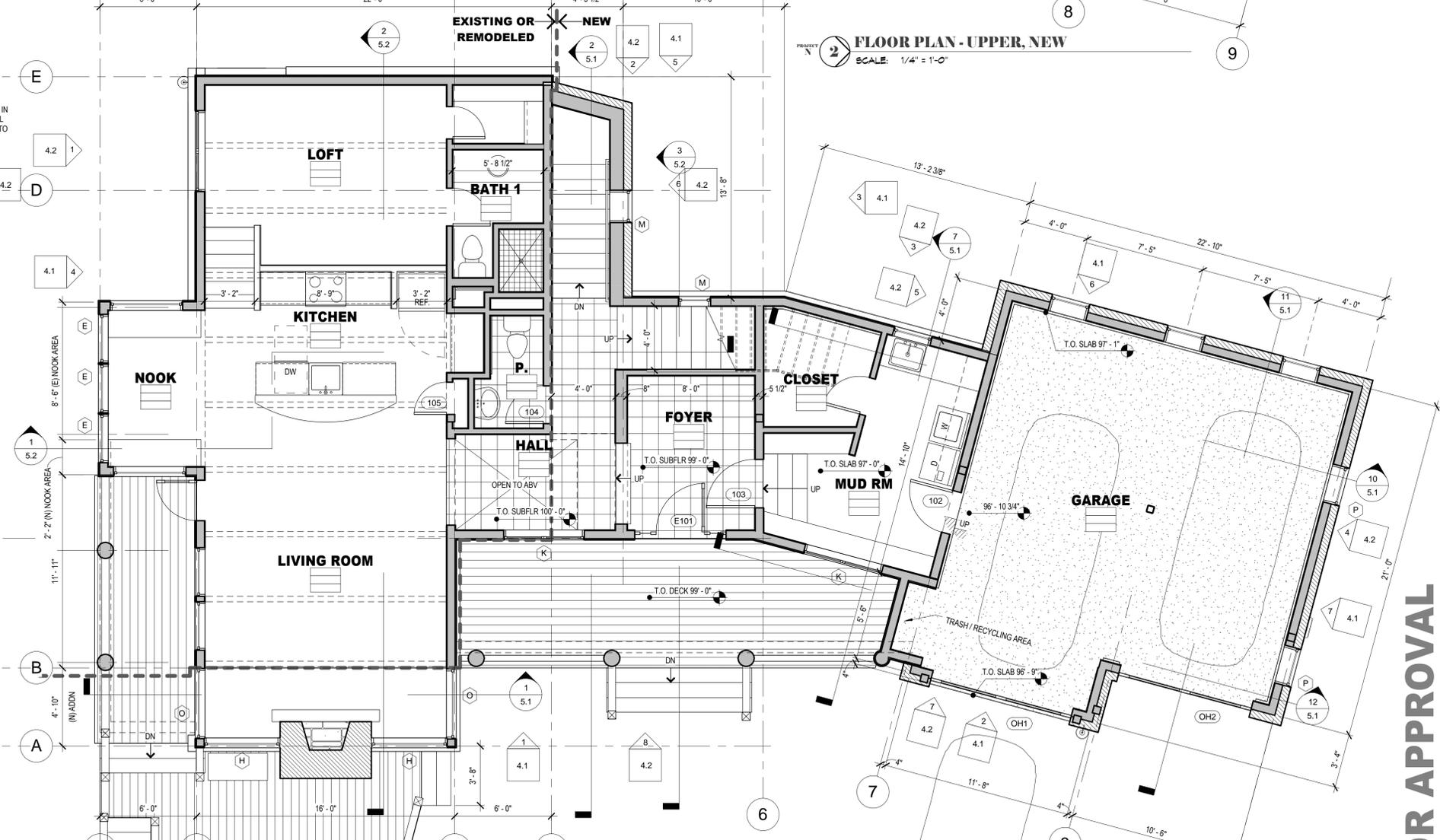
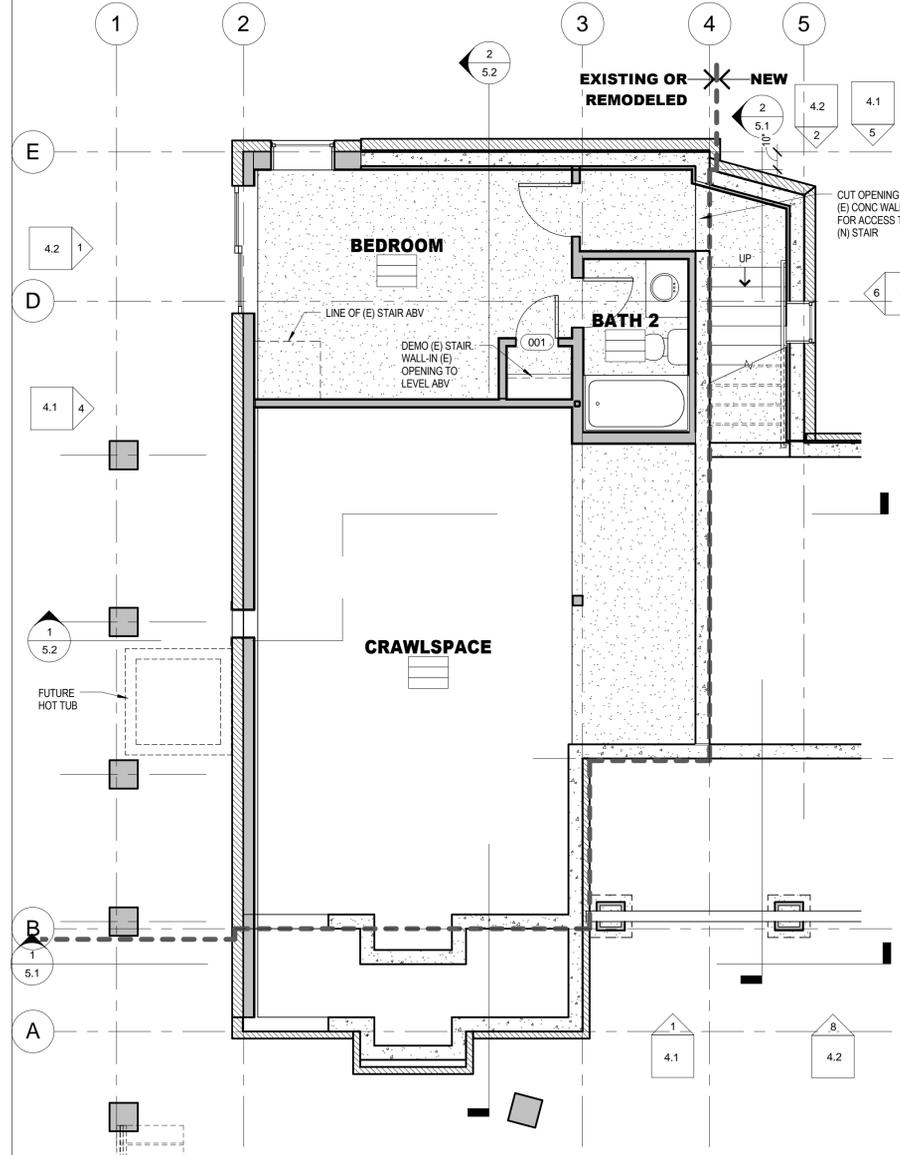
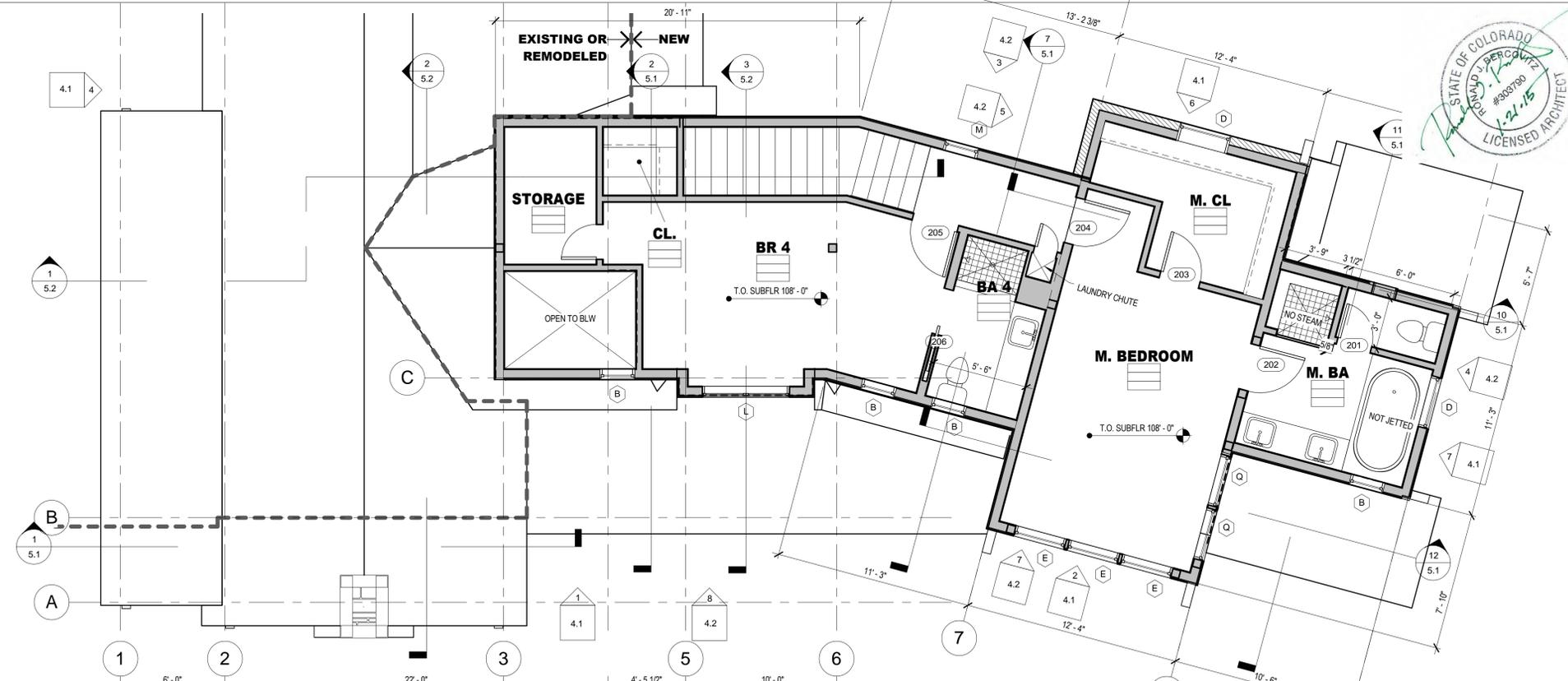
TAG	DOOR TYPE	WIDTH	HEIGHT	SWING	JAMB	COMMENTS
001	Single Door	2'-0"	6'-8"			
2	Single Door	2'-4"	6'-8"			
3	Single Door	2'-0"	6'-8"			
4	Single Door	1'-4"	6'-8"			
102	Single Door	2'-8"	6'-8"			
103	Single Door	5'-0"	7'-0"			
104	Single Door	2'-4"	6'-8"			
105	Single Door	2'-0"	6'-8"			
201	Single Door	2'-0"	6'-8"			
202	Single Door	2'-8"	6'-8"			
203	Single Door	2'-4"	6'-8"			
204	Single Door	2'-8"	6'-8"			
205	Single Door	2'-8"	6'-8"			
206	Focket, single	2'-8"	6'-8"			
E101	Single entry	5'-8"	7'-0"			
OH1	Overhead sectional	4'-0"	9'-0"			
OH2	Overhead sectional	8'-8"	8'-0"			

Grand total: 17

WINDOW SCHEDULE

TAG	COUNT	WINDOW TYPE	WIDTH	HEIGHT	COMMENTS
A	1	Awning	2'-0"	2'-0"	
B	4	Casement	2'-0"	2'-0"	
D	2	Casement	3'-0"	4'-6"	
E	7	Casement	3'-0"	5'-6"	
H	2	Casement	4'-8 1/2"	5'-6"	
K	2	Casement x2	5'-0"	4'-6"	
L	1	Casement x2	5'-0"	5'-6"	
M	3	Casement	2'-0"	2'-6"	
O	2	Casement	4'-4"	5'-6"	
P	6	Casement	2'-5"	2'-5"	
Q	2	Casement	3'-0"	4'-0"	
TR	2	Triangle	6'-1"	6'-1"	Each is TACO windows installed btwn truss members

Grand total: 34



FOR APPROVAL
1/20/2015 11:10:44 PM



DATE:
1-21-2015

**LOT 250A REMODEL /
ADDITION**
MOUNTAIN VILLAGE, COLORADO

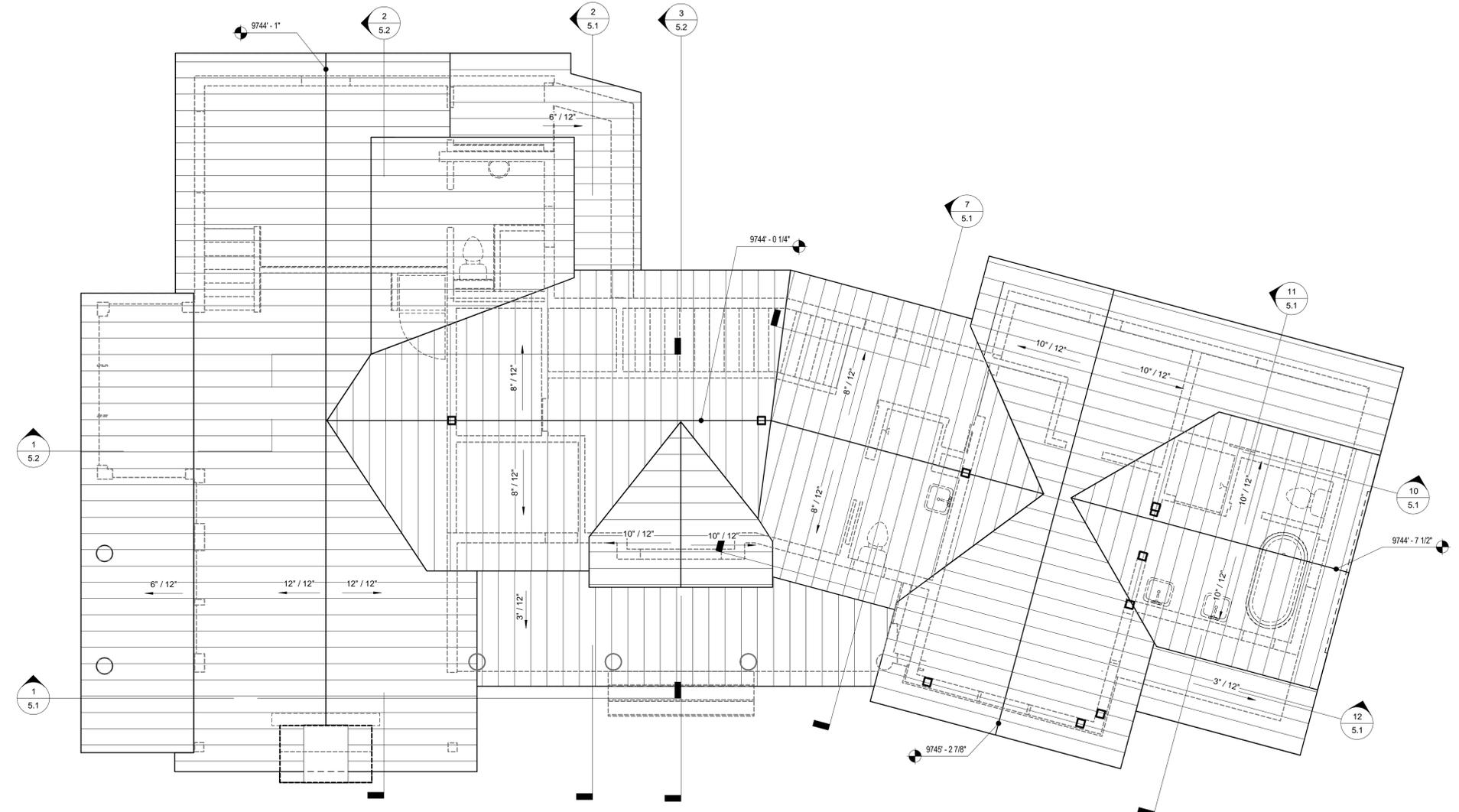
BERCOVITZ DESIGN
ARCHITECTS
119 W. COLORADO AVE., SUITE A P.O. BOX 2709 TELLURIDE, CO. 81435
(970) 728-4555

FOR APPROVAL

1/20/2015 11:10:44 PM

ROOF PLAN

3.2



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



5 ELEV - WEST
SCALE: 1/4" = 1'-0"



3 ELEV - NORTH
SCALE: 1/4" = 1'-0"



2 ELEV - GAR FRONT
SCALE: 1/4" = 1'-0"



7 ELEV - GAR SIDE
SCALE: 1/4" = 1'-0"



6 ELEV - GAR REAR
SCALE: 1/4" = 1'-0"

- CORRUGATED 22GA PRE-RUSTED CORTEN STEEL TO MATCH EXISTING
- 2X R.S. CEDAR FACIA
- FACTORY PAINTED ALUM CLAD WINDOWS TO MATCH EXISTING
- TRIM AT SIDING: 2x6 RS CEDAR TO MATCH EXISTING
- 1x8 RS CEDAR SIDING TO MATCH EXISTING
- TRIM AT STONE: 4x6 RS CEDAR
- R.S. CEDAR CLAD GARAGE DOORS
- STONE TO MATCH EXISTING

- T.O. SUBFLR 2ND NEW 108'-0"
- T.O. SUBFLR LOFT 104'-0"
- T.O. SUBFLR MAIN 100'-0"
- T.O. SUBFLR GAR NEW 98'-0"



ELEV - SOUTH
SCALE: 1/4" = 1'-0"

- T.O. SUBFLR 2ND NEW 108'-0"
- T.O. SUBFLR MAIN 100'-0"
- T.O. SUBFLR GAR NEW 98'-0"
- T.O. SUBFLR LOWER 84'-0"



1 ELEV - EAST
SCALE: 1/4" = 1'-0"

LOT 250A REMODEL /
ADDITION
MOUNTAIN VILLAGE, COLORADO

BERCOFF DESIGN
ARCHITECTS
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ELEVATIONS - NEW

FOR APPROVAL
1/20/2015 11:11:55 PM



LOT 250A REMODEL / ADDITION
MOUNTAIN VILLAGE, COLORADO

BERCOITZ DESIGN ARCHITECTS
119 W. COLORADO AVE., SUITE A, P.O. BOX 2709, TELLURIDE, CO. 81435
(970) 726-4555

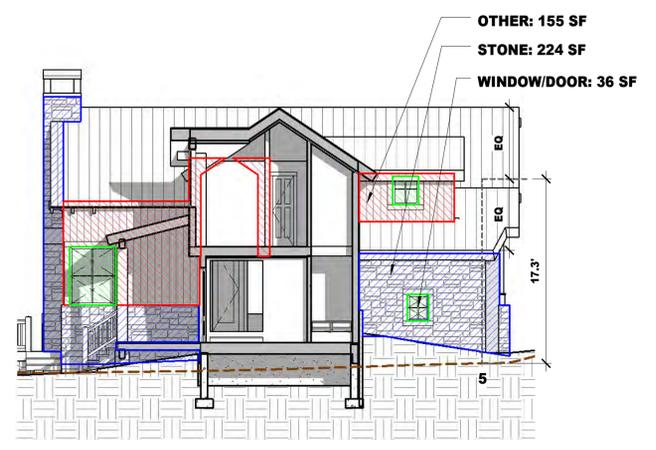
EXTERIOR MATERIAL CALCULATIONS & BUILDING HEIGHT

FOR APPROVAL

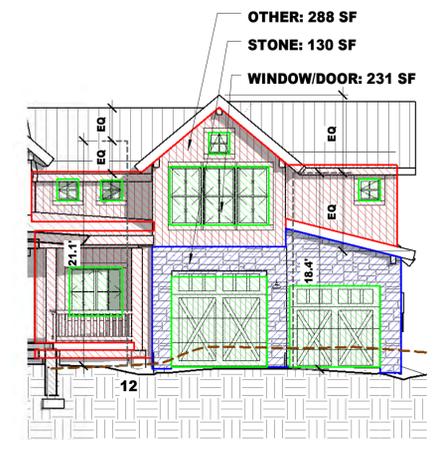
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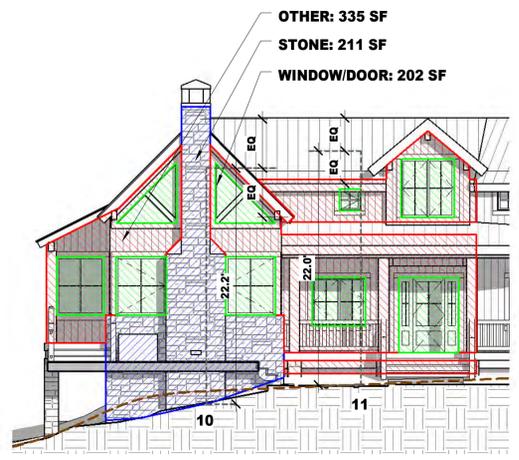
5 SIDING CALC - S2
SCALE: 1/8" = 1'-0"



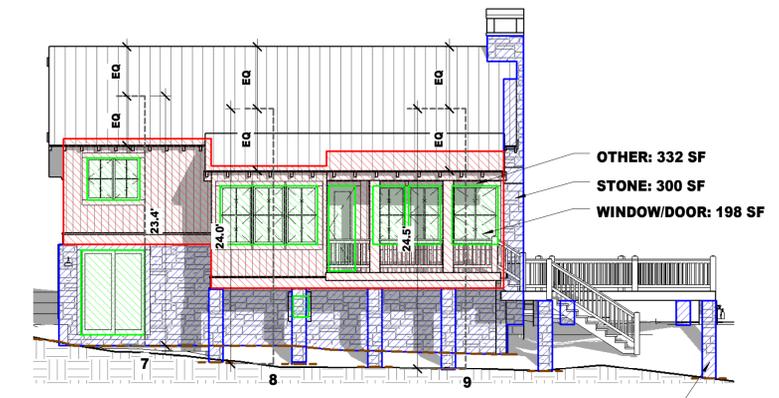
6 SIDING CALC - N2
SCALE: 1/8" = 1'-0"



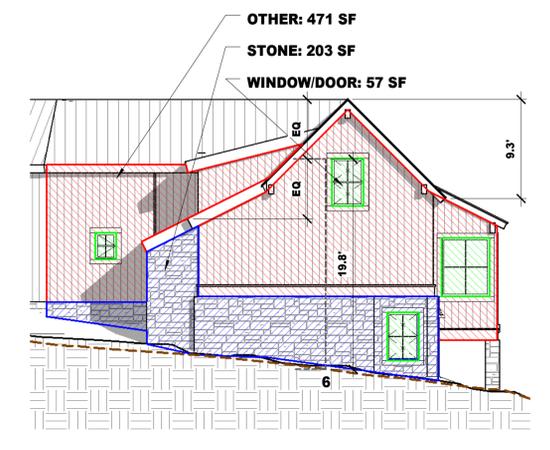
7 SIDING CALC - E2
SCALE: 1/8" = 1'-0"



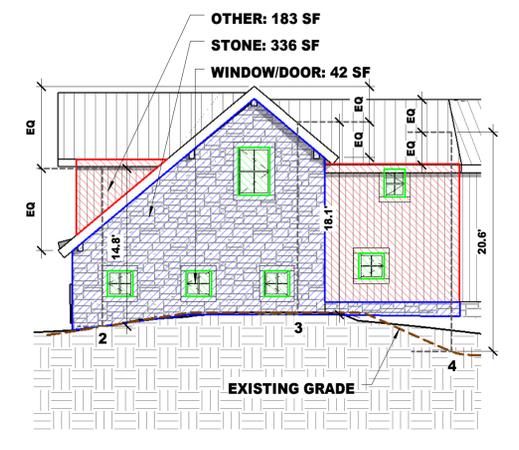
8 SIDING CALC - E1
SCALE: 1/8" = 1'-0"



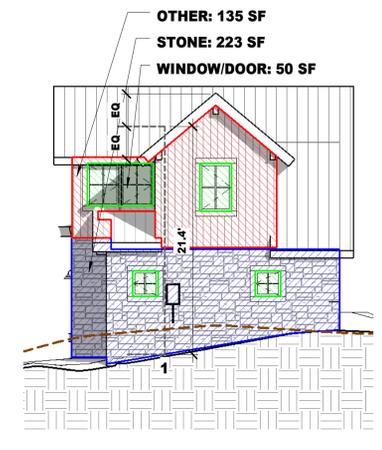
1 SIDING CALC - S1
SCALE: 1/8" = 1'-0"



2 SIDING CALC - W2
SCALE: 1/8" = 1'-0"



3 SIDING CALC - W1
SCALE: 1/8" = 1'-0"



4 SIDING CALC - N1
SCALE: 1/8" = 1'-0"

SIDING CALCULATIONS

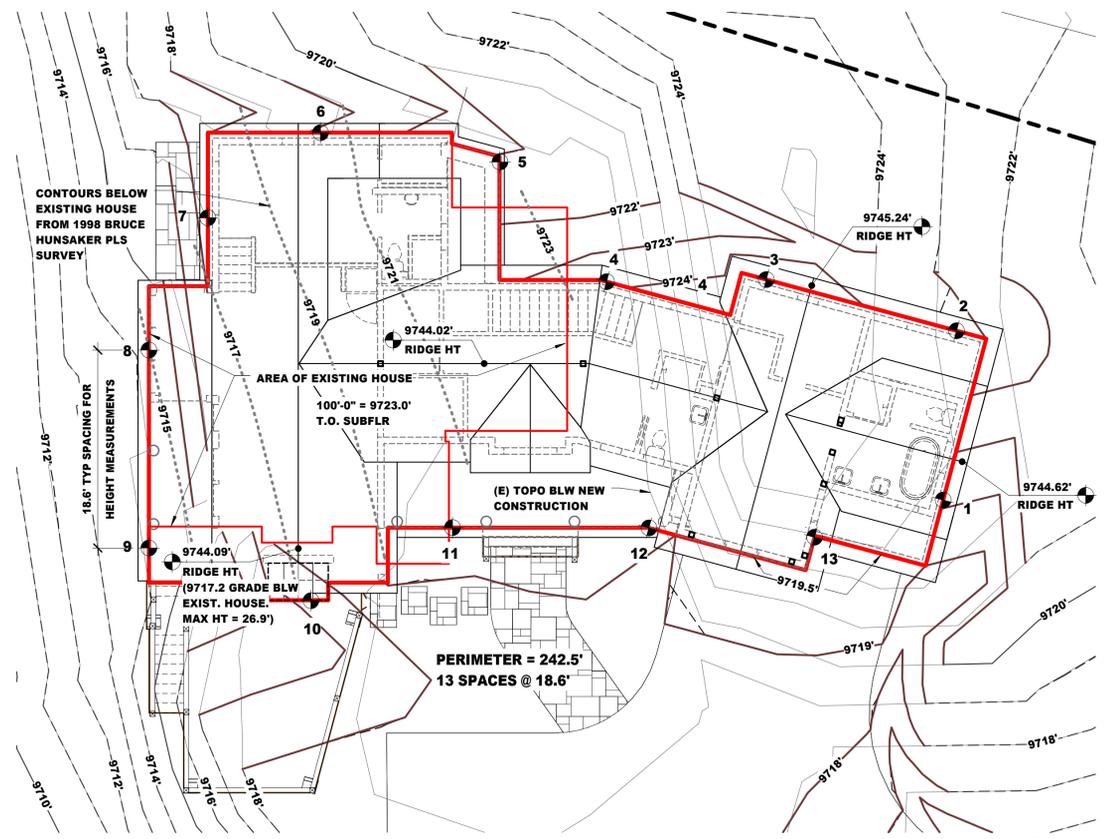
STONE SIDING, INCL PIERS:	1945 SF
OTHER SIDING:	1995 SF
WINDOWS/DOORS:	816 SF
LANDSCAPE STONE WALLS:	0 SF (MIN REQ'D)
TOTAL:	4756 SF
STONE %:	40.9%
WINDOW/DOOR %:	17.2%

MAXIMUM HEIGHT CALCULATION

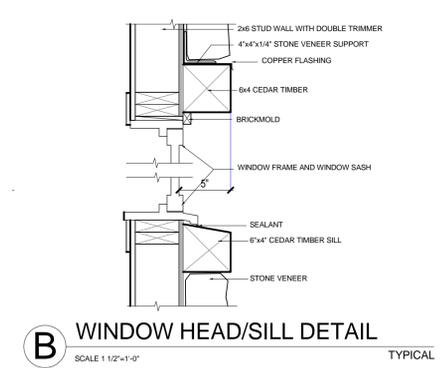
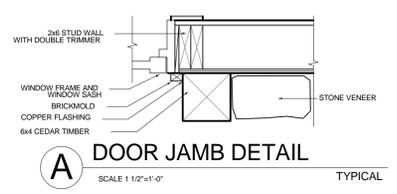
RIDGE HEIGHT:	9744.09'
LOWEST PRE-CONSTRUCTION GRADE BELOW RIDGE HEIGHT:	9717.2'
MAXIMUM =	26.89'

AVERAGE HEIGHT CALCULATION

1	21.4
2	14.8
3	18.1
4	20.6
5	17.3
6	19.8
7	23.4
8	24.0
9	24.5
10	22.2
11	22.0
12	21.1
13	18.4
TTL:	267.6
AVERAGE =	20.6'



9 AVERAGE HEIGHT CALC PLAN / RIDGE HEIGHTS
SCALE: 1/8" = 1'-0"



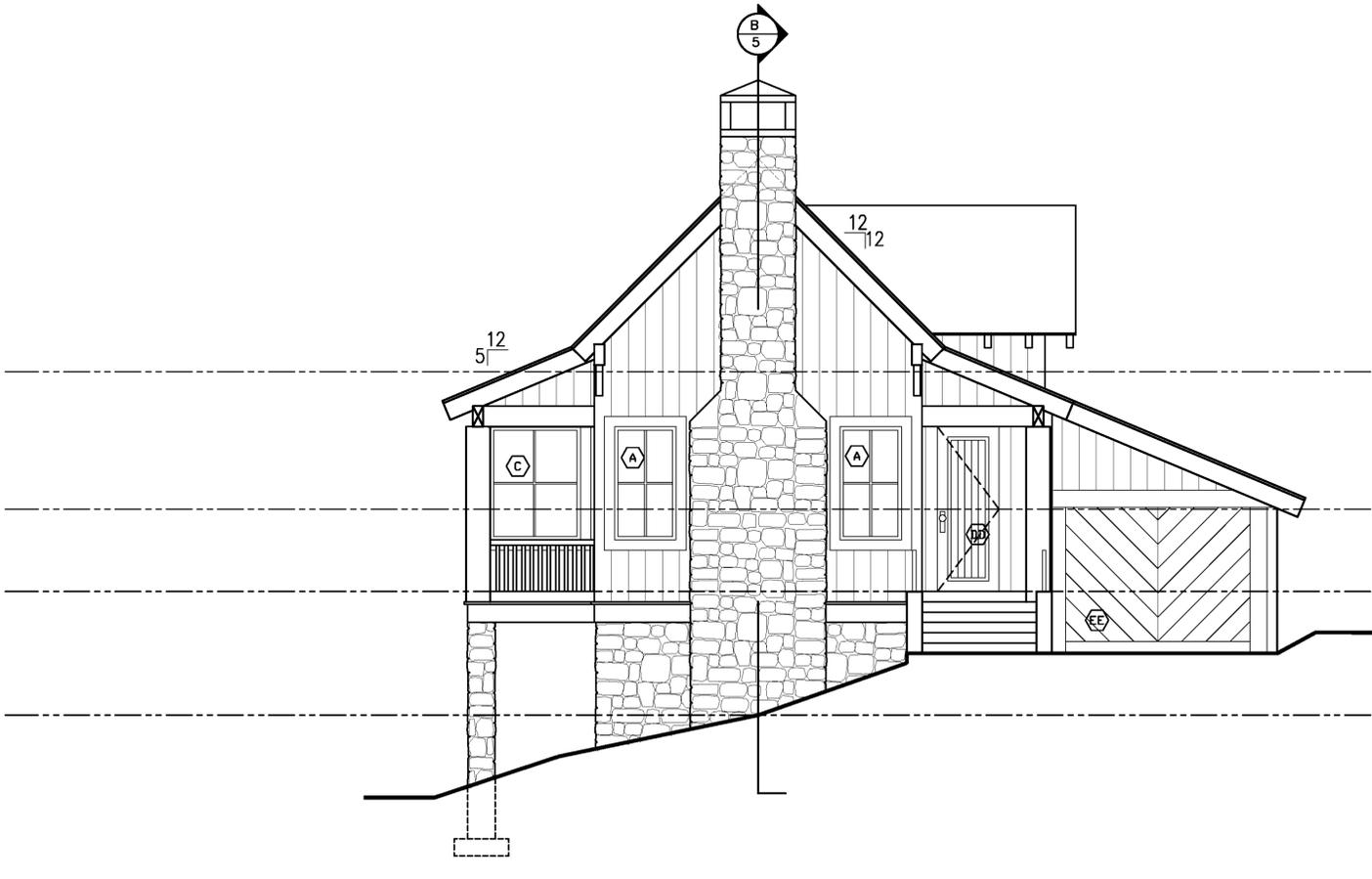
250A-98
 DATE:
 9-16-98
 DRB FINAL
 9-30-98
 2-2-99

LOT 250A
 TELLURIDE MOUNTAIN VILLAGE

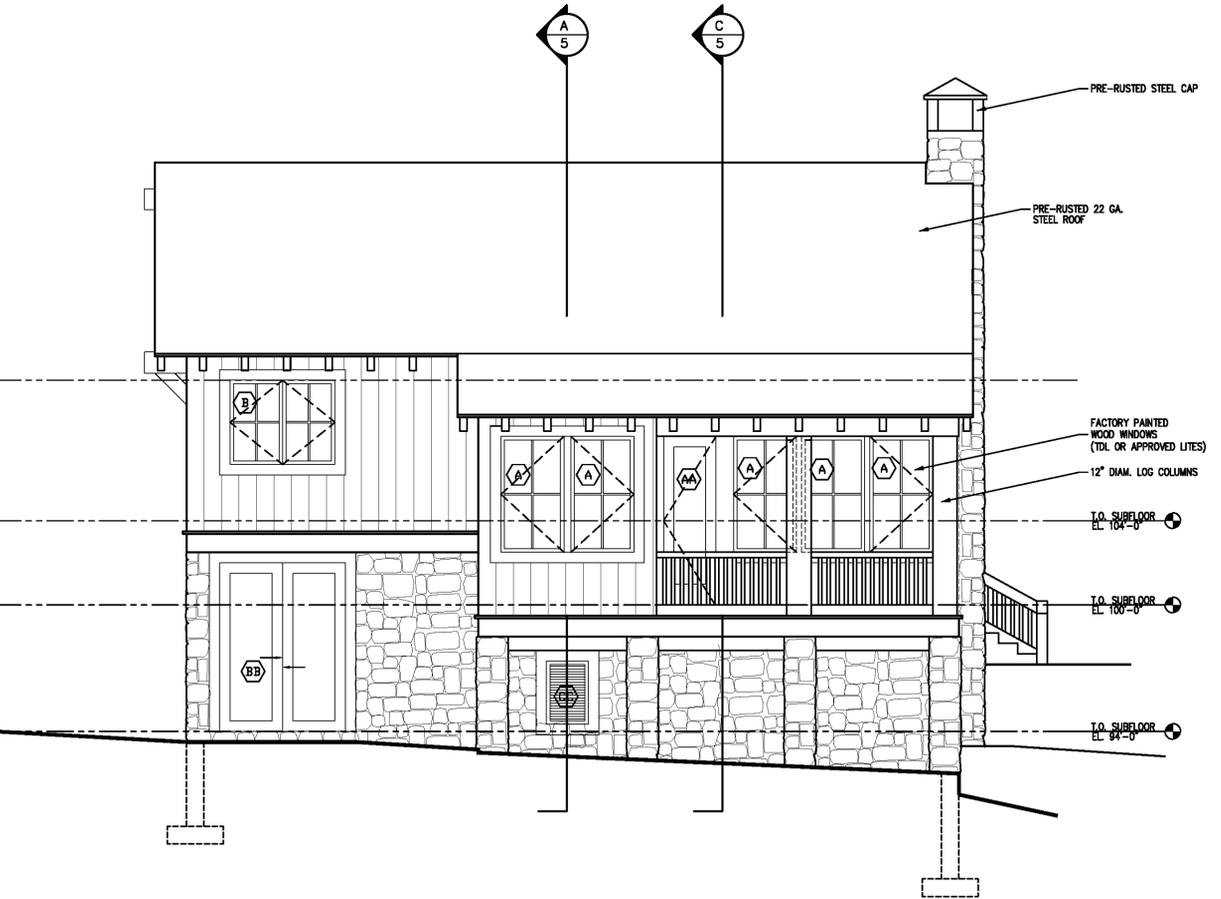
BERCOVITZ DESIGN
 ARCHITECTS
 568 W. PACIFIC AVENUE • PO Box 1374 • TELLURIDE, CO. 81435
 (970) 728-4555

BUILDING ELEVATIONS

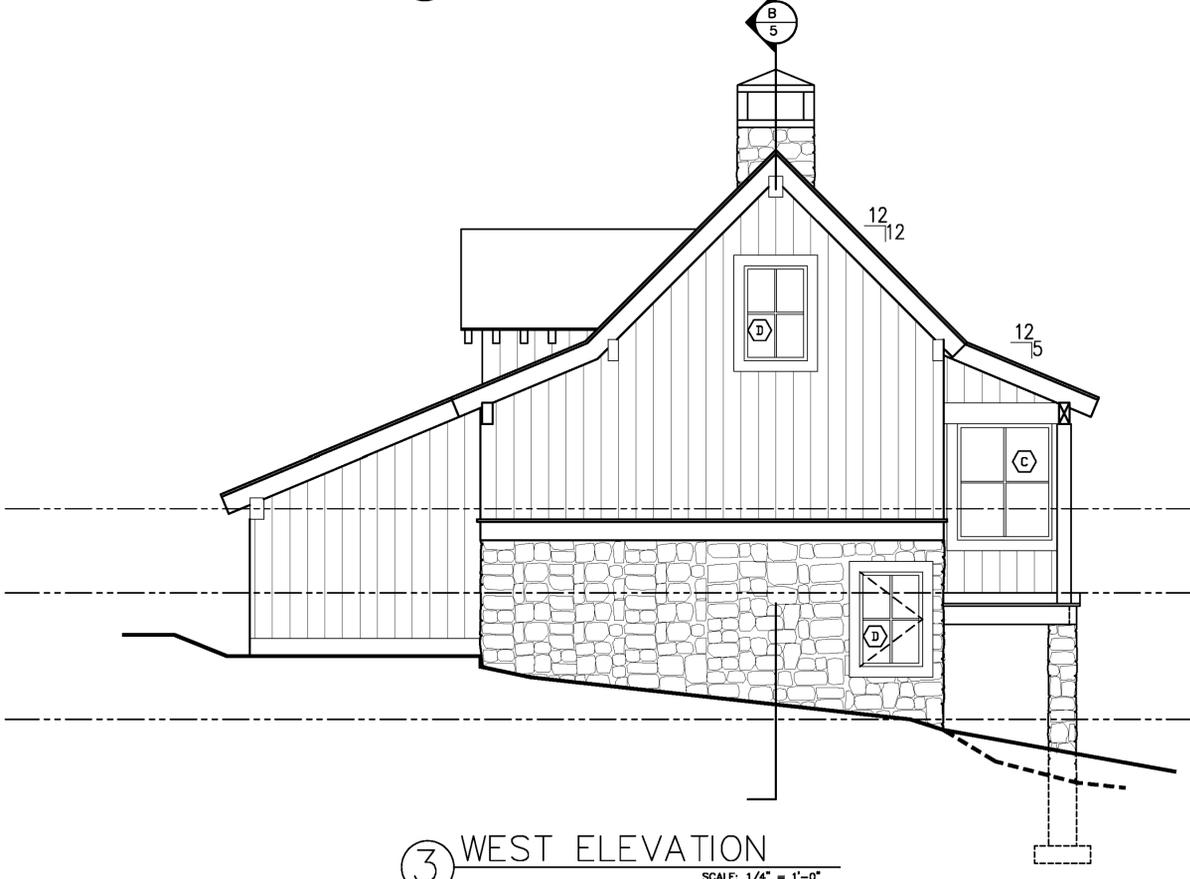
4



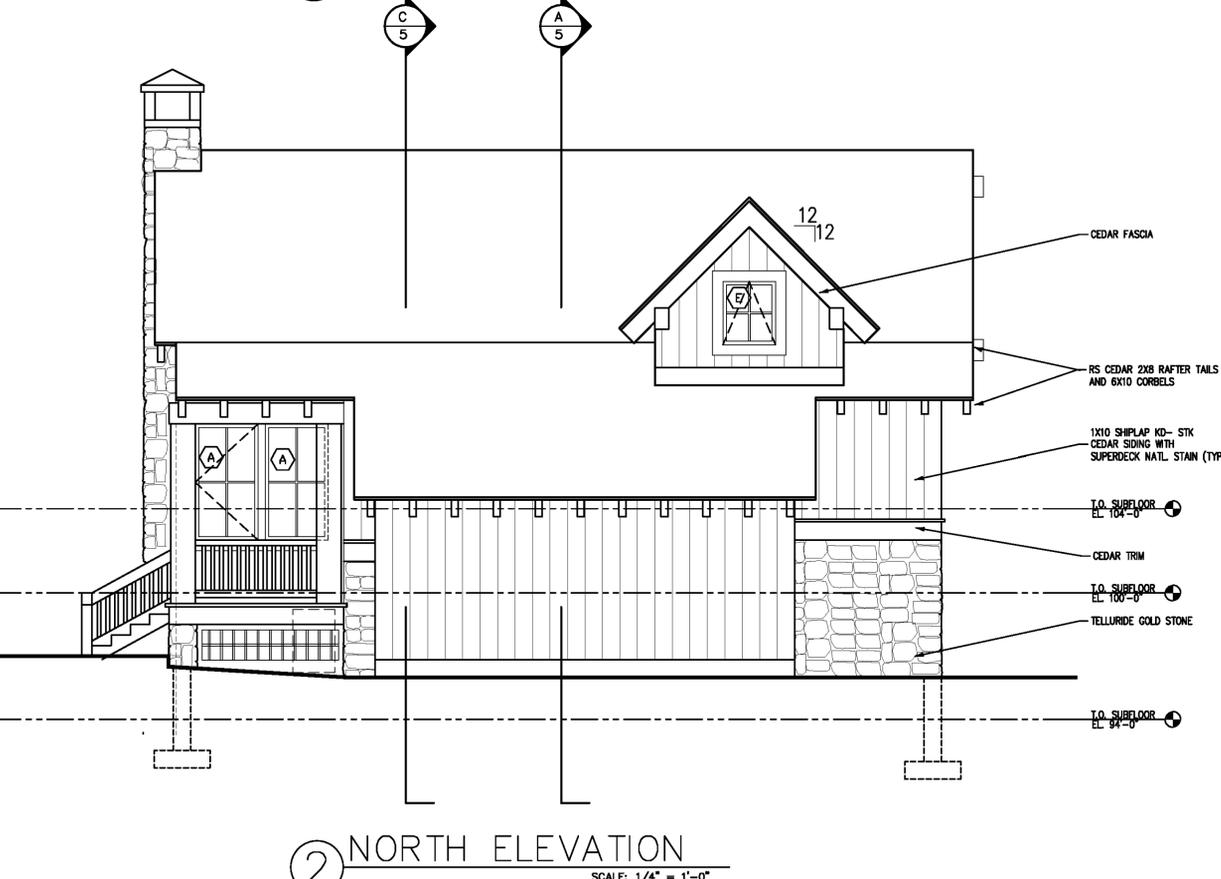
① EAST ELEVATION
 SCALE: 1/4" = 1'-0"



② SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

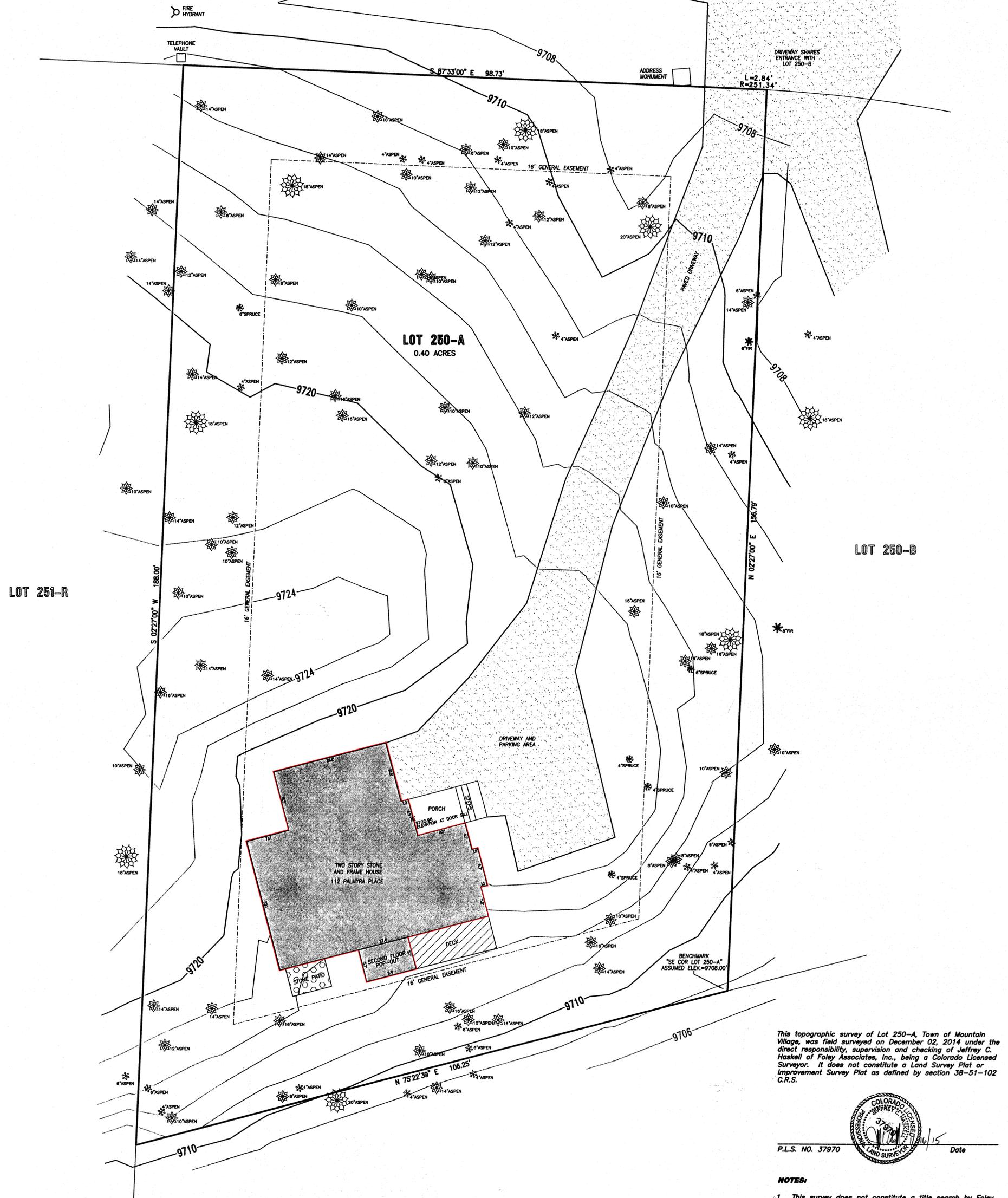


③ WEST ELEVATION
 SCALE: 1/4" = 1'-0"



④ NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

PALMYRA PLACE



This topographic survey of Lot 250-A, Town of Mountain Village, was field surveyed on December 02, 2014 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date 1/15

- NOTES:**
1. This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
 2. Benchmark: The southeast corner of Lot 250-A, as shown hereon, with an assumed elevation of 9708.00 feet.
 3. Contour interval is two feet.
 4. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

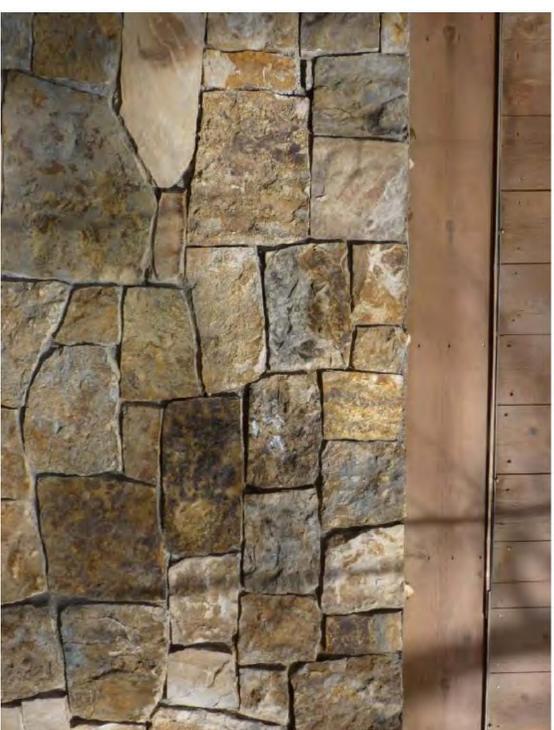
TRACT OS-10

Topographic Survey
 Lot 250A, Town of Mountain Village,
 San Miguel County, Colorado.

Project Mgr:	JH	Rev.	description	date	by
Technician:	MC				
Checked by:	KV				
Start date:	12/02/2014				

FOLEY ASSOCIATES, INC.
 ENGINEERING - PLANNING - SURVEYING

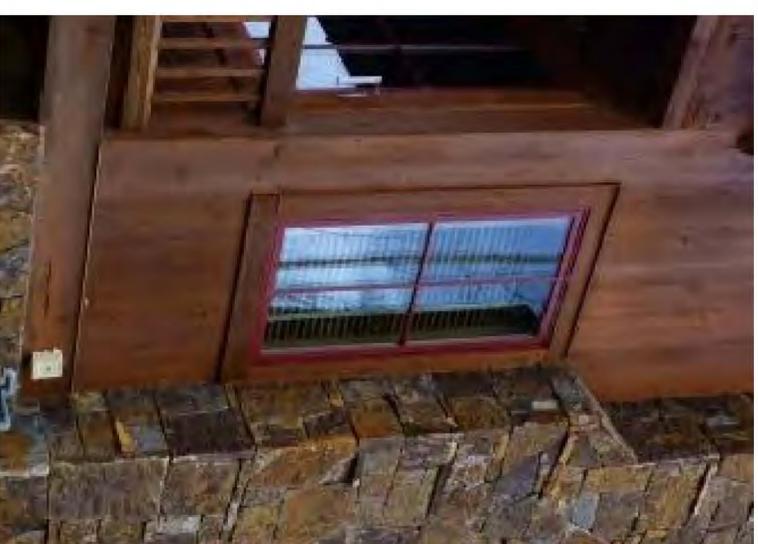
970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435



EXISTING TELLURIDE GOLD STONE



EXISTING STEEL ROOF



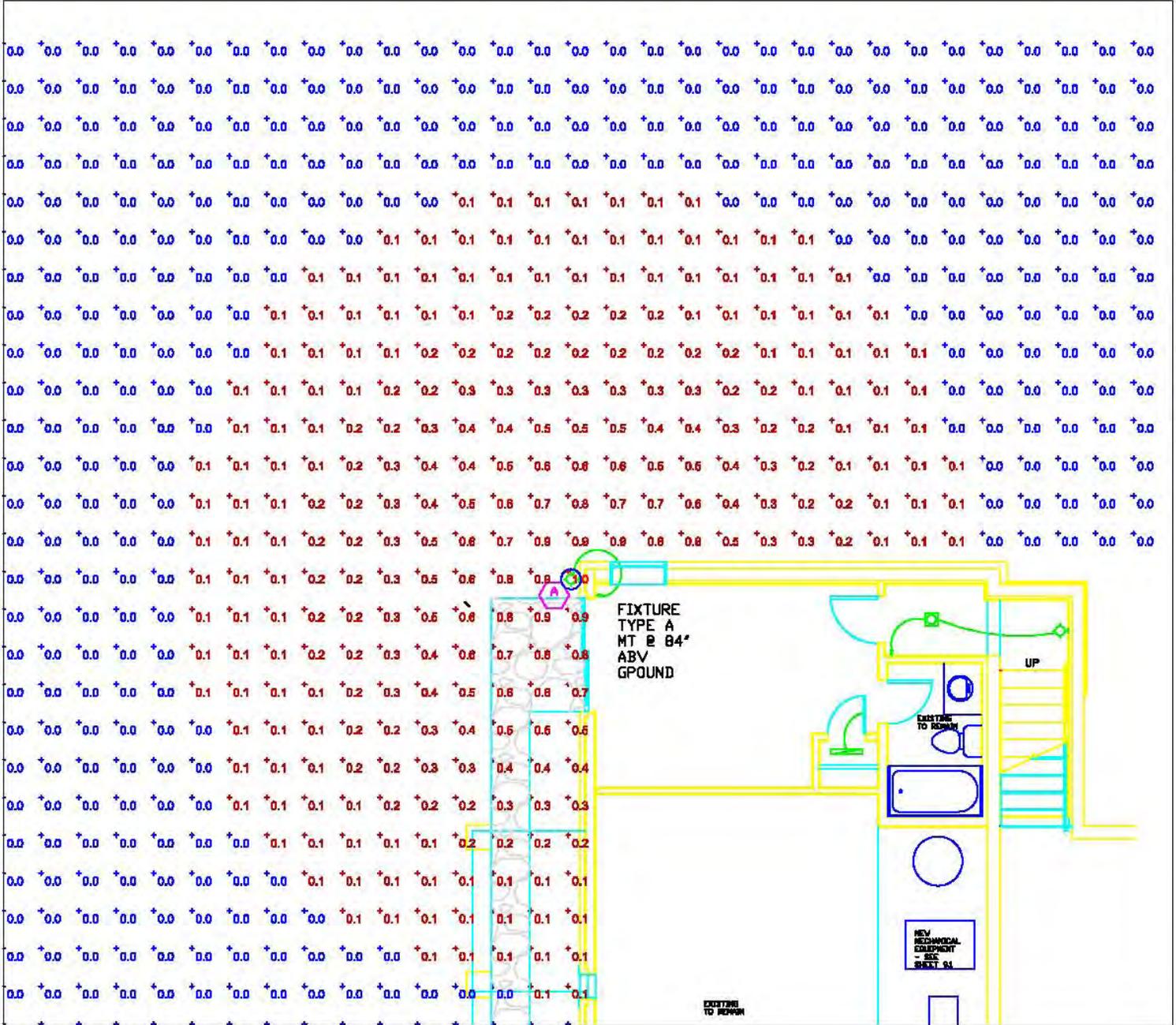
EXISTING PAINTED WINDOWS



EXISTING CEDAR SIDING

EXTERIOR MATERIAL PHOTOS

FOR APPROVAL



Used IES File from LSI for the Abolite Deep Bowl fixture, modified bulb to be a 60 watt equivalent LED bulb. Placed sponse at 84" Abv. Ground.

amped
LIGHTING DESIGN

amped lighting design
katie sapp
po box 4156
telluride, co 81435
970-708-1848

PHASE _____ DATE _____

Foot Candle Measurements 01/29/2015

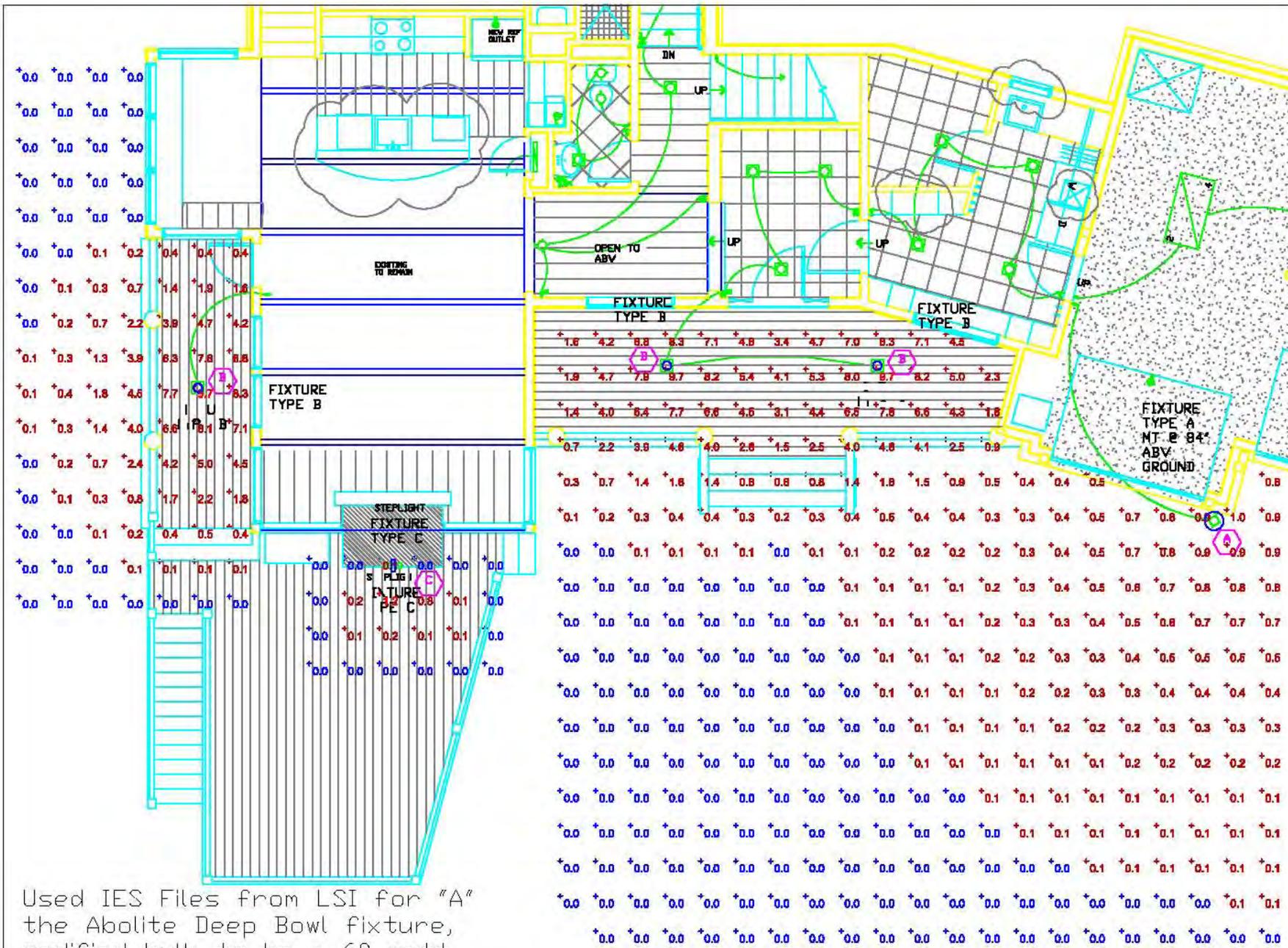
250A Remodel
Mountain Village, CO

PRELIM
DRAWING

Foot Candle Measurements Lower Level Exterior Door

1/8" = 1'0"





amped
LIGHTING DESIGN

amped lighting design
katie sapp
po box 4156
telluride, co 81435
970-708-1848

PHASE: _____ DATE: _____
Foot Candle Measurements 01/29/2015

250A Remodel
Mountain Village, CO

PROJECT
DRAWING

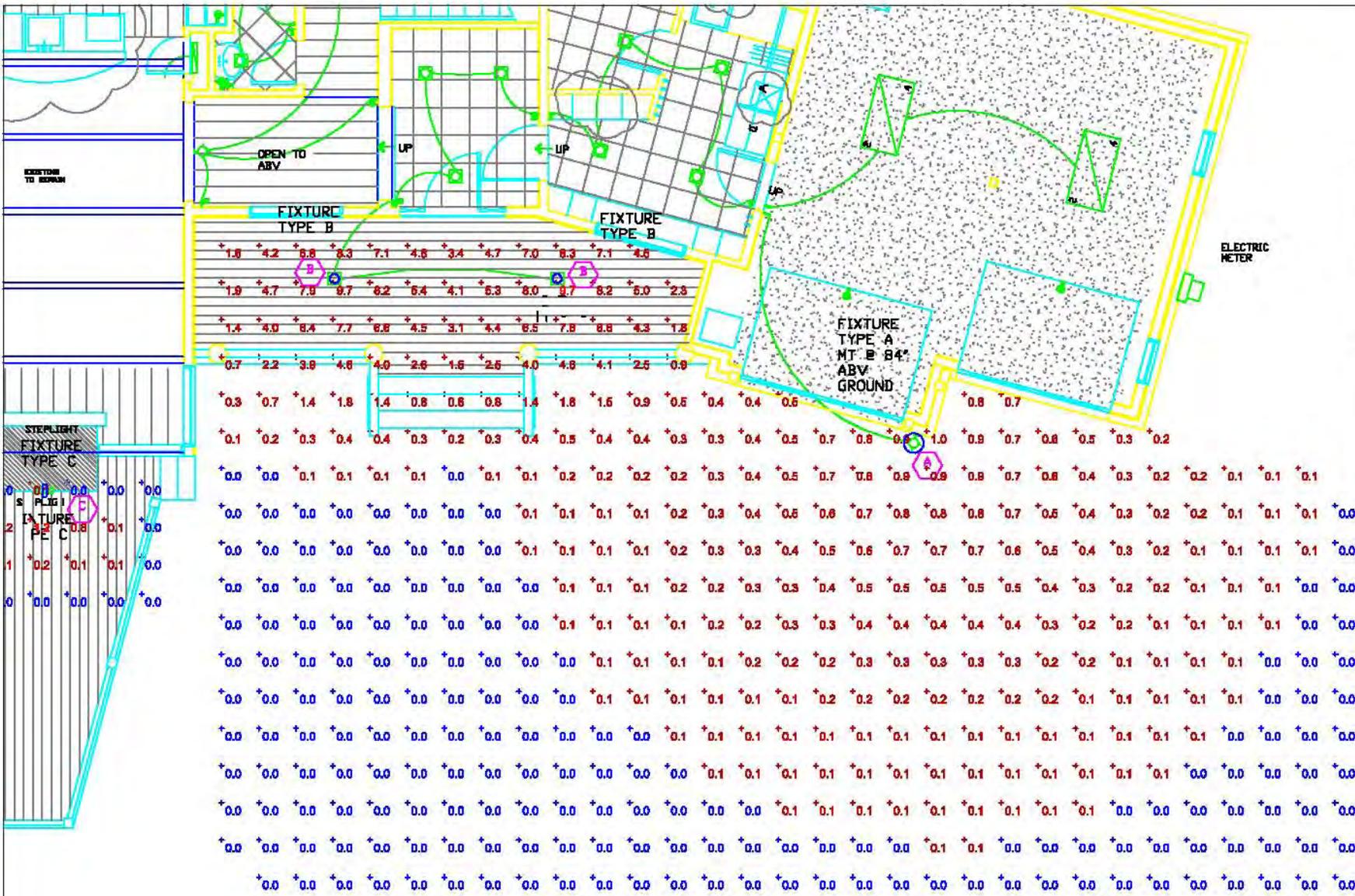
Used IES Files from LSI for "A"
the Abolite Deep Bowl fixture,
modified bulb to be a 60 watt
equivalent LED bulb. Placed sconce
at 84" Abv. Ground.

Used IES Files from Juno for "B"
and "C".

Foot Candle Measurements First Floor

1/8" = 1'0"





Used IES Files from LSI for "A" the Abolite Deep Bowl fixture, modified bulb to be a 60 watt equivalent LED bulb. Placed sconce at 84" Abv. Ground.

Used IES Files from Juno for "B" and "C".

250A Remodel
Mountain Village, CO

PRELIMINARY DRAWING



Foot Candle Measurements First Floor Garage View

1/8" = 1'0"

LSI ABOLITE DEEP BOWL

T_TYPE A FIXTURE



FINISH - Available in either Architectural Textured or High Gloss finish.

LAMP OPTIONS - Designed to accommodate Incandescent, Compact Fluorescent, and High Intensity Discharge lamps. CFL and HID lamps available – order separately; Incandescent lamps by other.

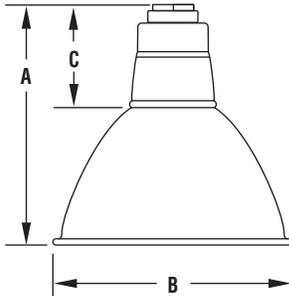
REFLECTOR - Heavy-duty, spun galvanized steel construction.

MOUNTING - Cast aluminum hub tapped for 3/4" NPT conduit. Available factory pre-wired with 96" leads or white or black cord set and canopies. Cord sets listed for damp locations only.

SOCKETS - Incandescent (rated 660 Watt/600 Volt) and HID fixtures (4KV pulse rated) are medium base porcelain. Compact Fluorescent sockets feature smart push-pull thermoplastic design for ease of lamping.

BALLAST - CFL and HID require a Wall, Ceiling, or Remote Ballast. See Accessories page.

DIMENSIONS



Also available in LED



ARRA
Funding Compliant



Fixture	Height (A)	Diameter (B)	Neck (C)	Weight (lbs./kg)
BD 200	11" (279mm)	10" (254mm)	4-3/4" (121mm)	2.5 (1.1kg)
BD 300	12" (305mm)	13" (330mm)	4-3/4" (121mm)	3.2 (1.45kg)

TYPICAL ORDER EXAMPLE: **BD 200 INC 120 MSV CA120WHT G6**

Luminaire Prefix	Lamp Wattage	Light Source	Line Voltage	Finish	Mounting	Factory Installed Options	Field Installed Accessories
BD 200 BD 300	(200 Watt Max.) (300 Watt Max.)	INC - Incandescent	120	MSV - Metallic Silver GWT - Gloss White GBK - Gloss Black GRD - Gloss Red GPT - Textured Graphite RUS - Textured Rust SVG - Satin Verde Green SCP - Satin Copper STQ - Satin Turquoise	LDS96WL- Prewired leads. For use with stem or bracket mounting in wet or indoor locations. CA120WHT - 10' prewired white cord set and canopy ¹ CA120BLK - 10' prewired black cord set and canopy ¹ CA120WHTS - 10' prewired white cord set and canopy with SWAG option ¹ CA120BLKS - 10' prewired black cord set and canopy with SWAG option ¹ CS120 5WHT - 10' prewired white 5-conductor cord set for use with CFL fixtures ² CS120 5BLK - 10' prewired black 5-conductor cord set for use with CFL fixtures ² RC72BLK - 6' prewired black coiled cord set and canopy. Includes SWAG cable ¹	G6 - Globe ³ PG3 - Globe ³	Ball Aligners Decorative Aligners Gooseneck & Wall Brackets Poles & Pole Brackets Stems Wire Guards Remote Ballasts
	26/32/42	CFL - Compact Fluorescent (Globe option required)	UE				
	50 70 100	MH - Metal Halide (PG3 Globe option required)	120 277				
	50 70 100	MP - Metal Halide (for use in open optics in indoor applications only)					

1- For indoor applications only. Order with incandescent and HID fixtures.

2- The 5-Wire cord sets do not include canopy. Order the SMB 26/32/42/ CFL UE GWT decorative canopy/ballast separately. For indoor applications only.

3- For wattage and size restrictions, see Abolite Globes in accessories section.

Juno

Project: _____

Fixture Type: _____

Location: _____

Contact/Phone: _____

TYPE B FIXTURE

6" IC 600 LUMEN LED DOWNLIGHT NEW CONSTRUCTION

IC22LEDG4 RECESSED HOUSING

HYPERBOLIC TRIMS



PRODUCT DESCRIPTION

Dedicated LED, Air-Loc® sealed new construction housing with integral light engine • Shallow housing allows for fit in 2 x 6 construction • Can be completely covered with insulation • Fully sealed housing stops infiltration and exfiltration of air, reducing heating and air cooling costs without the use of additional gaskets • LED housing is designed to provide 50,000 hours of life and is compatible with many standard Juno trims • 5 year limited warranty on LED components.

ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

- No harmful ultraviolet or infrared wavelengths
- No lead or mercury
- Comparable light output to 65W BR30 incandescent

PRODUCT SPECIFICATIONS

LED Light Engine LED array integrated to thermally conductive housing provides uninterrupted heat transfer to ensure long life of the LED • Replaceable light engine mounts directly to housing and incorporates the latest generation, high lumen output LED array • LEDs are binned within a 3-step MacAdam Ellipse exceeding ENERGY STAR® requirements for superior fixture to fixture color uniformity • 2700K, 3000K, 3500K or 4100K color temperature available • 90 CRI minimum.

Hyperbolic Optical System Unique hyperbolic reflector shape optimized for small, directional LED source provides unique aperture appearance with reduced brightness • NMCT™ nano mixing chamber (provided with trim) with high reflectance white finish coupled with a high transmission diffusing lens conceals the LED and integrates with the hyperbolic trim to create a low glare, efficient system producing over 600 lumens using less than 12W*.

Aesthetic Trim Selections Patent pending hyperbolic reflector available in clear Alzak®, wheat haze, black Alzak® and white • Shadow free, knife edge design blends seamlessly into ceiling • Installs with torsion springs.

LED Driver Choice of dedicated 120 volt driver or universal voltage driver that accommodates input voltages from 120-277 volts AC at 50/60Hz • Power factor > 0.9 at 120V input • 120 volt only dimmable with the use of most incandescent, magnetic low voltage and electronic low voltage wall box dimmers • Universal voltage driver is dimmable with the use of most 0-10V wall dimmers • For a list of compatible dimmers, see [JUNOICLED-DIM](#) • Mounted between the j-box and housing for easy access and cool operation.

Life Rated for 50,000 hours at 70% lumen maintenance.

Labels ENERGY STAR® Qualified when used with select trims • Certified to the high efficacy requirements of California T24 with select trims • UL listed for U.S. and Canada through-branch wiring, damp locations • Union made • UL and cUL.

Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Product specifications subject to change without notice.

HOUSING FEATURES

Housing Designed for use in IC (insulated ceiling) or non-IC construction • Aluminum housing sealed for Air-Loc® compliance • Housing is vertically adjustable to accommodate up to a 2" ceiling thickness.

Junction Box Pre-wired junction box provided with (5) ½" and (1) ¾" knockouts, (4) knockouts for 12/2 or 14/2 NM cable and ground wire • UL listed and cUL listed for through-branch wiring, maximum 8 #12 branch circuit conductors • Junction box provided with removable access plates • Knockouts equipped with pryout slots • Quick connect electrical connectors supplied as standard for fast, secure installation.

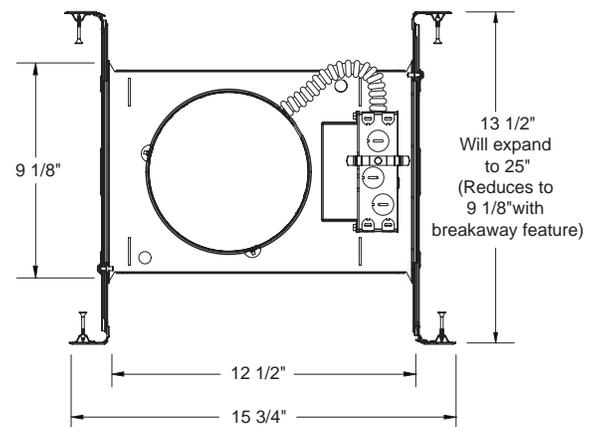
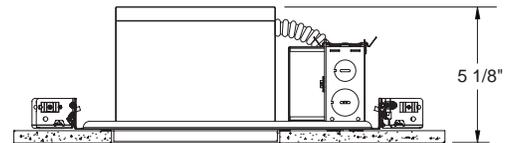
Mounting Frame 22-gauge die-formed galvanized steel mounting frame • Rough-in section (junction box, mounting frame, housing and bar hangers) fully assembled for ease of installation.

Real Nail 3 Bar Hangers Telescoping Real Nail 3® system permits quick placement of housing anywhere within 24" O.C. joists or suspended ceilings • Includes removable nail for repositioning of fixture in wood joist construction • Integral T-bar notch and clip for suspended ceilings • Design covered under Patents US5,505,419 and D552,969.

* Nominal input wattage @ 120-volt operation with dedicated 120-volt driver under stable operating conditions.



DIMENSIONS



6 7/8" CEILING CUTOUT

ELECTRICAL DATA

Dedicated 120V Only Driver Option

120V	
Input Power	11.7W (+/-5%)
Input Current	0.10A
Frequency	50/60Hz
EMI/RFI	FCC Title 47 CFR, Part 15, Class B (residential)
Minimum starting temp	-25°C

ELECTRICAL DATA

Universal Voltage

	120V	277V
Input Power	12.5W (+/-5%)	12.6W (+/-5%)
Input Current	0.11A	0.05A
Frequency	50/60Hz	50/60Hz
EMI/RFI	FCC Title 47 CFR, Part 15, Class A (commercial)	FCC Title 47 CFR, Part 15, Class A (commercial)
Minimum starting temp	-40°C	-40°C



Project:

TYPE C

Fixture Type:

FIXTURE

Location:

Contact/Phone:

IC LED OUTDOOR STEP LIGHT

LED IC115LEDHSG, IC115LEDPM



PRODUCT DESCRIPTION

The LED step light is rated for use in outdoor or indoor wall mount applications including concrete pour, brick masonry or drywall

- Recessed housing is IC rated and can be completely covered with insulation
- Back housing ships separately from power module for rough-in purposes
- Designed to provide 50,000 hours of life and is compatible with standard trims
- 5 year warranty on LED components.

ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

- No harmful ultraviolet or infrared wavelengths
- No lead or mercury
- Comparable light output to compact fluorescent step light



PRODUCT SPECIFICATIONS

Housing Die cast aluminum housing painted white for durability

- Gasket for water tight seal in wet locations
- Cover plate provided to protect housing interior during rough-in
- (2) 1/2" conduit compression fittings provided for wiring
- (1) conduit fitting plug included
- Two brackets supplied for nailing unit to studs.

Power Module LED light engine and driver mounted directly to metal tray assembly for ease of wiring and installation into housing after rough-in.

LED Light Engine: LED PCB utilizes 1 watt high lumen output LEDs binned to Energy Star standards • 3000K or 4100K color temperatures available.

LED Driver: Non-dimming driver accommodates input voltage of 120 volts AC at 50/60Hz • Power factor > 0.9 at 120V input

- Driver is thermally protected and has integral overload and short circuit protection
- Terminal connections provided as standard for easy removal.

Trims Available in textured white or black powder coat on cast aluminum

- Fastens to housing with two allen head screws
- Opal diffuser supplied with all trims.

Life Rated for 50,000 hours at 70% lumen maintenance.

Labels UL listed for wet locations, concrete pour approved

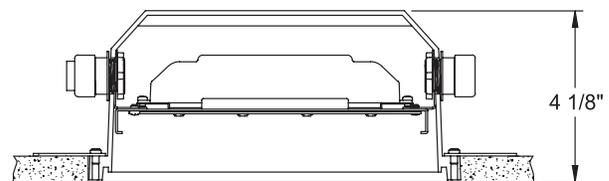
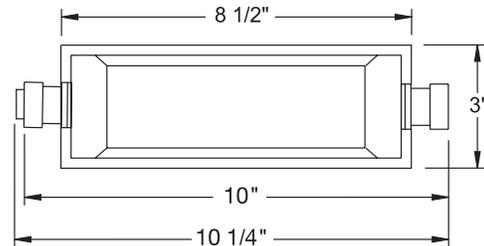
- UL and cUL Listed, RoHS compliant.

Testing All reports are based on published industry procedures; field performance may differ from laboratory performance.

Product specifications subject to change without notice.

DIMENSIONS

IC115LEDHSG



9" X 3" WALL OPENING

ELECTRICAL DATA

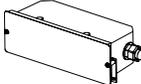
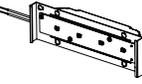
Input Voltage	120V
Input Power	6.4W
Input Current	0.06A
Frequency	50/60Hz
THD	< 10%
Minimum starting temp	-20°C (-4°F)

IC LED OUTDOOR STEP LIGHT

LED

IC115LEDHSG, IC115LEDPM

ORDERING INFORMATION: Housing, power module and trim each ordered separately.

Example: IC115LEDHSG	Example: IC115LEDPM-3K	Example: 835-WH
<p>Back Housing</p>  <p>IC115LEDHSG</p> 	<p>Power Module</p>  <p>IC115LEDPM</p> 	<p>Color Temperature</p> <p>3K 3000K 41K 4100K</p>
<p>Trim/Description</p>  <p>835-WH Full Opal Lens - White 835-BL Full Opal Lens - Black</p>  <p>836-WH Opal Lens with Grill - White 836-BL Opal Lens with Grill - Black</p>  <p>837-WH Opal Lens with Angled Louvers - White 837-BL Opal Lens with Angled Louvers - Black</p> <p>Trim Size: 9 ³/₄" L x 3 ⁵/₈" H Trim Finish: WH - White, BL - Black.</p>		



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Design Review Board
FROM: Dave Bangert, Town Forester
FOR: DRB Public Hearing on February 5, 2015, Agenda Item #5
DATE: January 14, 2015
RE: Consideration of Design Review Process Application for a two car garage extension with a specific approval request to allow for a secondary roof with a 2/12 pitch, landscaping upgrade, driveway and deck repair to an existing Single Family Residence on Lot AR16

PROJECT GEOGRAPHY

Application Description: Design Review Process
Legal Description: Lot AR16, Filing 35, Mountain Village
Address: 112 Single Tree
Applicant/Agent: Courtney Kizer Designs
Owner: Peter G. Mitchell Trust
Zoning: Single Family Residential
Existing Use: Single Family Structure
Proposed Use: Single Family Structure
Adjacent Land Uses:

- **North** Single Family Residential
- **South** Single Family Residential
- **East** Single Family Residential
- **West** Single Family Residential

RECORD DOCUMENTS

- Town of Mountain Village Community Development Code as amended (CDC)
- Town of Mountain Village Home Rule Charter as amended
- Design Review Application as maintained by the Community Development Department

BACKGROUND

The applicant submitted for a class 2 (Staff-Chair) Design Review Process development application for the proposed addition. As a part of the application, the applicant is requesting a specific approval from the DRB for a 2:12 roof pitch for a secondary roof on the proposed garage extension on a single family residential lot. If the DRB approves the proposed 2:12 roof pitch, staff will schedule the Staff-Chair meeting for the approval of the class 2 development application. Staff and the applicant welcome comments on other elements of the application that will be considered by the DRB Chair in its decision on the class 2 application.

CRITERIA FOR DECISION

The applicant has provided a narrative on how the request meets the criteria for a specific approval from the DRB for a secondary roof pitch less than 4/12. The proposed 2/12 roof pitch will achieve the following design objectives:

1. Maintain existing natural light levels in the second level office.
2. Maintain existing views from second level office.
3. Maintain the existing second level porch space.
4. Create a precise meeting point at the corner of the existing porch between the 8/12 sides of the roof which match the existing pitch and the main shed of the roof.

STAFF ANALYSIS

Staff concurs with the applicant that the proposed 2/12 secondary roof pitch relates architecturally and structurally with the existing building.

RECOMMENDED MOTION

"I move to approve a Design Review Process application requesting a specific approval to allow for a secondary roof with a 2/12 pitch on the existing single family home on Lot AR16."



DESIGN REVIEW PROCESS APPLICATION

Community Development Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

DESIGN REVIEW PROCESS APPLICATION

APPLICANT INFORMATION

Name:		E-mail Address:	
Mailing Address:		Phone:	
City:	State:	Zip Code:	
Mountain Village Business License Number:			

PROPERTY INFORMATION

Physical Address:		Acreage:
Zone District:	Zoning Designations:	Density Assigned to the Lot or Site:
Legal Description:		
Existing Land Uses:		
Proposed Land Uses:		

OWNER INFORMATION

Property Owner:		E-mail Address:	
Mailing Address:		Phone:	
City:	State:	Zip Code:	

DESCRIPTION OF REQUEST

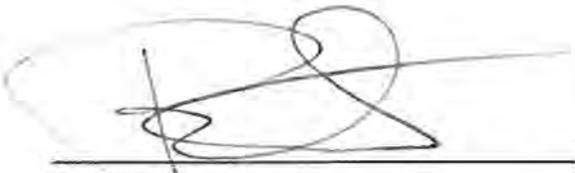


DESIGN REVIEW PROCESS APPLICATION

Community Development Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

OWNER AGENT AUTHORIZATION FORM

I have reviewed the application and hereby authorize Courtney Kizer of _____ to be and to act as my designated representative and represent the development application through all aspects of the development review process with the Town of Mountain Village.



(Signature)

10.31.14

(Date)

SHARI MITCHELL

(Printed name)



DESIGN REVIEW PROCESS APPLICATION

Community Development Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

**OWNER/APPLICANT
ACKNOWLEDGEMENT
OF RESPONSIBILITIES**

I, SHARI MITCHELL, the owner of Lot AR 16 (the "Property") hereby certify that the statements made by myself and my agents on this application are true and correct. I acknowledge that any misrepresentation of any information on the application submittal may be grounds for denial of the development application or the imposition of penalties and/or fines pursuant to the Community Development Code. We have familiarized ourselves with the rules, regulations and procedures with respect to preparing and filing the development application. We agree to allow access to the proposed development site at all times by member of Town staff, DRB members and the Town Council. We agree that if this request is approved, it is issued on the representations made in the development application submittal, and any approval or subsequently issued building permit(s) or other type of permit(s) may be revoked without notice if there is a breach of representations or conditions of approval. By signing this acknowledgement, I understand and agree that I am responsible for the completion of all required on-site and off-site improvements as shown and approved on the final plan(s) (including but not limited to: landscaping, paving, lighting, etc.). We further understand that I (we) are responsible for paying Town legal fees and other fees as set forth in the Community Development Code.

Signature of Owner

10.31.14

Date

Signature of Applicant/Agent

11.5.14

Date

OFFICE USE ONLY

Fee Paid:

By:

Planner:



DESIGN REVIEW PROCESS
APPLICATION

Community Development Department
Planning Division
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

HOA APPROVAL LETTER

I, (print name) Sharon Mitchell, the HOA president of property located at Adams Ranch HOA, 112 Singletree Ridge, provide this letter as written approval of the plans dated _____ which have been submitted to the Town of Mountain Village Community Development Department for the proposed improvements to be completed at the address noted above. I understand that the proposed improvements include (*indicate below*):

Sharon Mitchell

(Signature)

10.31.14

(Date)

Sharon Seay Mitchell

(Printed name)

December 1, 2014

Michael McAllister, Architect of Record
Courtney Kizer, Agent
222 W Colorado Ave. #18
Telluride, CO 81435

Property Address:
112 Singletree Road (Lot AR-16)
Mountain Village, CO 81435

Attention:
Mountain Village Design Review Board
Katie Cox

Re:
Mitchell Garage Addition
Preliminary Plan Review

Dear Mrs. Cox-

Attached is our application for review of a two car garage addition, landscaping update, and deck repair at Lot AR-16. Included are plans, photographs and supporting documentation explaining the extents of the project and compliance with the Mountain Village CDC.

The existing home, built in 2007, has proven to have inadequate storage for equipment, automobiles and outdoor supplies for the needs of the owners. They require an addition to their existing garage for two vehicles, a shed addition for snow removal equipment and additional recycling bins, and expansion of the existing mud room. The renovation includes repair to the existing driveway and rear deck where concrete was damaged during snow removal. In order to enhance the property, an update to the landscaping of the front yard is included in the proposed construction activities.

Please let us know if you need any additional documentation or have any questions on the proposed upgrades.

Sincerely,

Courtney Kizer
222 W. Colorado #18
P.O. Box 1033
Telluride, Colorado 81435
p 512-656-1745
courtneykizer@gmail.com

December 1, 2014

Michael McAllister, Architect of Record
Courtney Kizer, Designer
222 W Colorado Ave. #18
Telluride, CO 81435

Property Address:
112 Singletree Road (Lot AR-16)
Mountain Village, CO 81435

Attention:
Mountain Village Design Review Board
Katie Cox

Re:
Mitchell Garage Addition
Request for Design Variation

Dear Mrs. Cox-

We are requesting a design variation to encroach into the setback a maximum of 2'-6" at the first corner of the proposed addition and a maximum of 1'-5" at the second corner. The ideal addition relates architecturally and structurally to the existing building but is constrained by the pie shape of the lot. The request for variation meets the criteria outlined in section 17.4.11E of the Mountain Village CDC as described below.

- i. The design variation is compatible with the design context of the surrounding area, provides for strong mountain vernacular design.
- ii. The design variation is consistent with the town design theme.
- iii. The strict development application of the setback Design Regulation would prevent the owners from achieving their intended design objectives for the project.
- iv. The design variation is the minimum necessary to allow for the achievement of the intended design objectives.
- v. The design variation is consistent with purpose and intent of the design regulations
- vi. The design variation does not have an unreasonable negative impact on the surrounding neighborhood.
- vii. The proposed design variation meets all applicable town regulations and standards.

CDC 17.3.14 General Easements and Setbacks, Section C states that "all general easement setbacks or other setbacks shall be maintained in a natural, undisturbed state to provide buffering to surrounding land uses and to maintain the ability to conduct any of the general easement allowed uses." The minimal encroachment of the proposed addition into the setback does not reduce the buffering qualities of the setback and does not reduce the potential future uses of the adjacent residential lot. On the same note, the proposed addition does not extend past existing paved driveway limits. No additional impervious cover is required thus minimizing the disturbance of natural elements within the setback.

Please let us know if you have any questions regarding the variance request or require any further information.

Sincerely,

Courtney Kizer
222 W. Colorado #18
P.O. Box 1033
Telluride, Colorado 81435
p 512-656-1745
courtneykizer@gmail.com



McAllister Architects Inc.

970-708-1522 michael@McAllisterArchitects.com

220 E. Colorado, P.O. Box 3890, Telluride Co. 81435

December 15, 2014

Katie Cox
Community Development Department
Planning Department
455 Mountain Village, CO 81435
(970) 728-1392

Mrs. Cox,

This letter is written to certify that I, Michael McAllister Architect, am working with Courtney Kizer on this DRB application for the Mitchell Garage addition.

Courtney Kizer is the agent of Shari Mitchell and the designated representative of the Owner for the DRB application. All communication should be maintained through this relationship.

Sincerely yours,

Michael McAllister, Architect

Licence #400013

January 14, 2015

Michael McAllister, Architect of Record
Courtney Kizer, Designer
222 W Colorado Ave. #18
Telluride, CO 81435

Property Address:
112 Singletree Road (Lot AR-16)
Mountain Village, CO 81435

Attention:
Mountain Village Design Review Board
Dave Bangert, Town Planner

Re:
Mitchell Garage Addition
Request for Design Variation

Dear Mr. Bangert-

We are requesting a design variation for a 2"/12" roof pitch for a secondary roof addition on a single family residential lot. The ideal addition relates architecturally and structurally to the existing building but is constrained by the existing building design and lot shape. The request for variation meets the criteria outlined in section 17.4.11E of the Mountain Village CDC as described below.

- i. The design variation is compatible with the design context of the surrounding area, provides for strong mountain vernacular design.
- ii. The design variation is consistent with the town design theme.
- iii. The strict development application would prevent the owners from achieving their intended design objectives for the project.
- iv. The design variation is the minimum necessary to allow for the achievement of the intended design objectives.
- v. The design variation is consistent with purpose and intent of the design regulations
- vi. The design variation does not have an unreasonable negative impact on the surrounding neighborhood.
- vii. The proposed design variation meets all applicable town regulations and standards.

CDC 17.5.6 Building Design, Section C.2 Roof Form, Pitch, states that Secondary shed roof forms shall have a pitch not less than 4:12 when attached to major building forms. A variance for a 2:12 roof pitch will result in achieving the following design objectives:

- i. Maintain existing natural light levels in the second level office.
- ii. Maintain existing views from the second level office.
- iii. Maintain the existing second level exterior porch space.
- iv. Create a precise meeting point at the corner of the existing porch between the 8:12 sides of the roof which match the existing pitch and the main shed of the roof.

Please let us know if you have any questions regarding the variance request or require any further information.

Sincerely,

Courtney Kizer
222 W. Colorado #18
P.O. Box 1033
Telluride, Colorado 81435
p 512-656-1745
courtneykizer@gmail.com

GENERAL NOTES

- A. THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", LATEST EDITION, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.
- B. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATION AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED THE THE ARCHITECT IMMEDIATELY.
- C. ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH ALL STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3.
- D. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND / OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
- E. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
- F. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.
- G. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE UNIFORM BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- I. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE. DIMENSIONAL ERRORS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- J. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- K. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
- L. CONTRACTOR WILL ASSUME RESPONSIBILITY FOR STONE MASONRY SUBCONTRACTOR AND TAKE-OFFS.
- M. SEE SPECIFICATIONS FOR EXTERIOR FINISH MATERIALS AND COLORS.
- N. ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL DRAWINGS. NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- O. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND LITTER, AND ASHALL NOT BE UNREASONABLY ENCLUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF WORK SHALL REMOVE HIS OR HER TRASH AND DEBRIS.
- P. ALL WELDING AND METAL WORK TO BE REVIEWED BY THE ARCHITECT. ANY INFERIOR WELDS OR METAL WORK THAT IS NOT ACCEPTED WILL BE RE-WORKED ACCORDING TO THE ARCHITECT'S DIRECTION. CALL THE ARCHITECT TO INSPECT ALL STRUCTURAL EXPOSED STEEL, BRIDGES, STAIRS, GUARDRAILS, OR SPECIALTY DESIGN FEATURES LOCATED ANYWHERE WITHIN THE SCOPE OF THE WORK.

ABBREVIATIONS

#	NUMBER
&	AND
@	AT
ACT	ACOUSTIC CEILING TILE
AFF	ABOVE FINISH FLOOR
BYND	BEYOND
BOT	BOTTOM
CJ	CONTROL JOIN
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
DBL	DOUBLE
DEMO	DEMOLISH
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR
DWG	DRAWING
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
FD	FLOOD DRAIN
FIXT	FIXTURE
FLR	FLOOR
FO	FACE OF
FND	FOUNDATION
GA	GAUGE
GWB	GYPSUM WALL BOARD
HP	HIGH POINT
INT	INTERIOR
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
OC	ON CENTER
PLYD	PLYWOOD
PT	PRESSURE TREATED
PNT	PAINT
PVC	POLYVINYL CHLORIDE
RBR	RUBBER
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REQD	REQUIRED
RM	ROOM
SIM	SIMILAR
SPEC	SPECIFIED
SSTL	STAINLESS STEEL
STRUCT	STRUCTURAL
T&G	TONGUE & GROOVE
TELE	TELEPHONE
TLT	TOILET
TO	TOP OF
TPD	TOILET PAPER DISPENSER
TYP	TYPICAL
VIF	VERIFY IN FIELD
W/	WITH
WD	WOOD

LEGEND

SYMBOLS

CALLOUT HEAD	
DOOR TAG	
ELEVATION TAG - INTERIOR	
ELEVATION TAG - BUILDING	
GRID HEAD	
SPOT ELEVATION	
ROOM TAG	
SECTION CALLOUT	
VIEW REFERENCE	
WINDOW TAG	
WALL TYPE TAG	

MATERIALS

BARNWOOD	
CONCRETE	
CORRUGATED METAL	
DRAIN	
FLAGSTONE	
GRAVEL	
GYPSUM BOARD	
PLYWOOD	
SOD	
STONE	
WATER	
WOOD	



PROJECT TEAM

OWNER:

PETER & SHARI MITCHELL
112 SINGLETREE ROAD
TELLURIDE, CO 81435
P. 970.728.0606
pgmitchell@cox.net
shusyuma@cox.net

ARCHITECT:

MICHAEL MCALLISTER
220 EAST COLORADO
TELLURIDE, CO 81435
P. 970.708.1522
michael@mcallisterarchitects.com

AGENT / DESIGNER:

COURTNEY KIZER
222 WEST COLORADO #18
PO BOX 1033
TELLURIDE, CO 81435
P. 512.656.1745
courtneykizer@gmail.com

CONTRACTOR:

TBD

SURVEYOR:

FOLEY ASSOCIATES, INC.
125 W. PACIFIC AVE, STE B-1
TELLURIDE, CO 81435
P. 970.728.6153
dbulson@foleyassoc.com

STRUCTURAL:

TBD

LANDSCAPE:

CARIBOU DESIGN ASSOCIATES
BETH BAILIS
PO BOX 3855
TELLURIDE, CO 81435
P. 970.708.1232
cariboudesign@gmail.com

SHEET INDEX

ARCHITECTURAL

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CODE SUMMARY

LEGAL DESCRIPTION LOT AR-16 MOUNTAIN VILLAGE

ZONING SINGLE FAMILY RESIDENTIAL

BUILDING CODE IRC 2012

AREA TAKEOFFS

TOTAL EXISTING SQUARE FOOTAGE
LIVING 5625 SF
GARAGE / MECH 997 SF
DECKS / PORCHES 1630 SF

TOTAL PROPOSED SQUARE FOOTAGE
LIVING 5706 SF
GARAGE / MECH 1261 SF
DECKS / PORCHES NO CHANGE

LOT SIZE 48351.6 SF (1.11 ACRES)

LOT COVERAGE 6030 SF (12.5% PROPOSED)

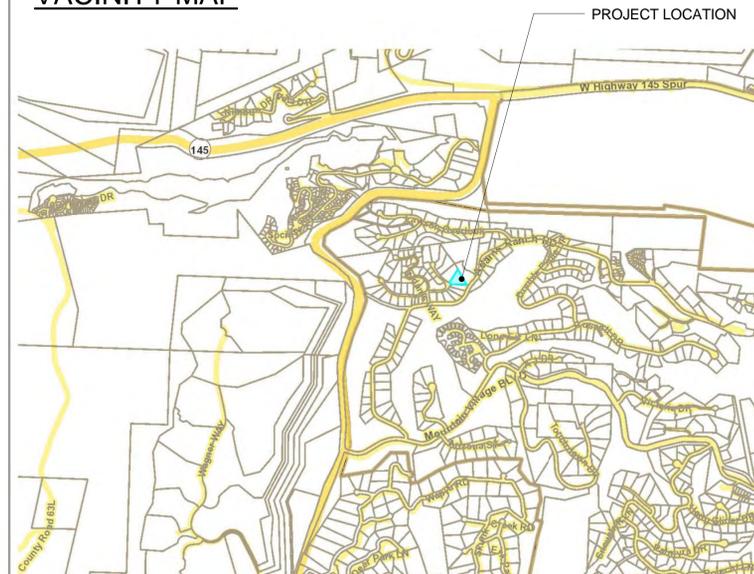
MAX BUILDING HEIGHT NO CHANGE

AVERAGE HEIGHT NO CHANGE

EXISTING SNOW MELT 290 SF

PROPOSED SNOW MELT 352 SF

VACINITY MAP



This topographic survey of Lot AR-16, Town of Mountain Village, was field surveyed on August 08, 2014 under the direct responsibility, supervision and checking of David R. Bulson of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37662

Date

NOTES:

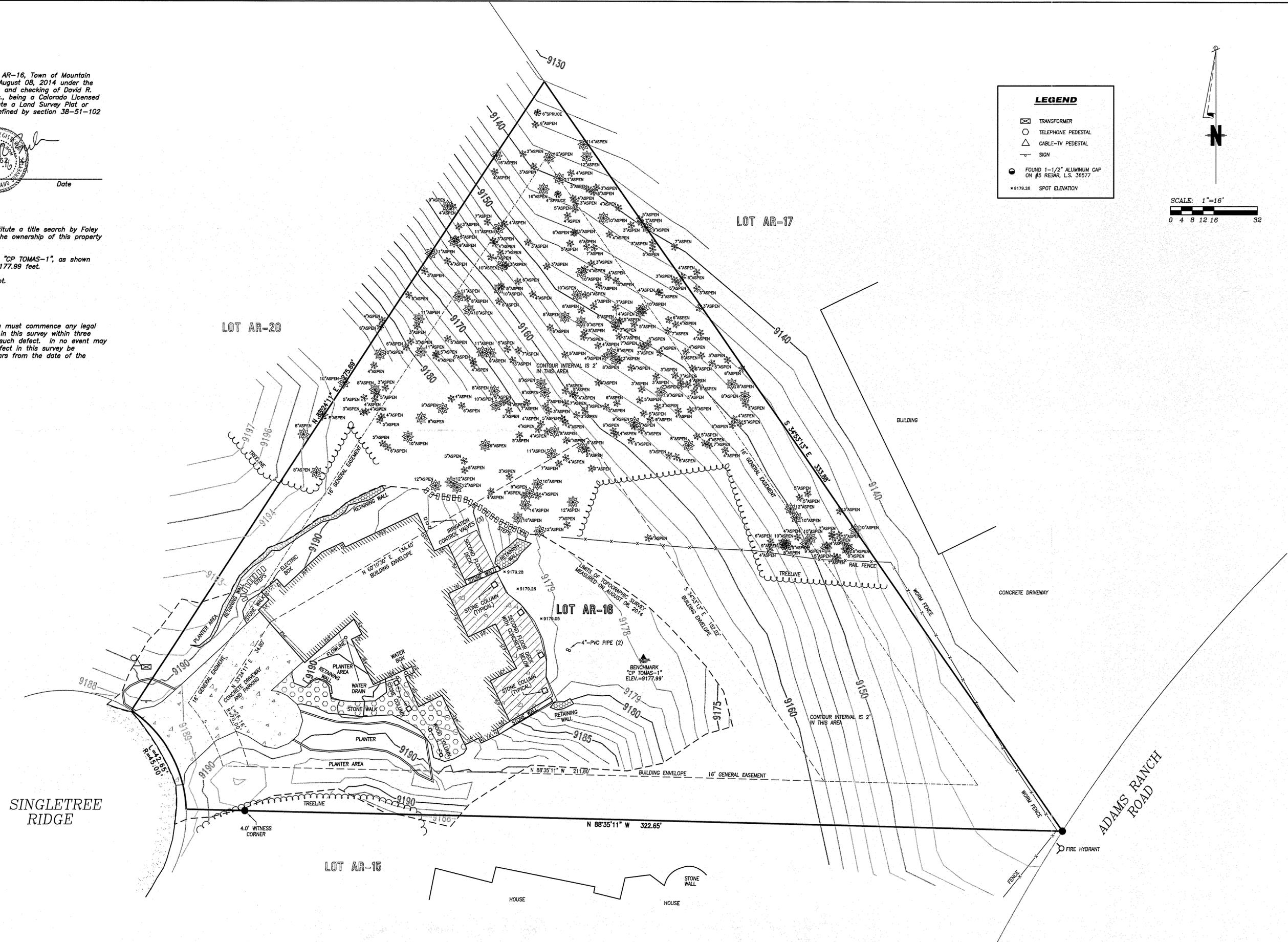
1. This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
2. Benchmark: Control point "CP TOMAS-1", as shown hereon, with an elevation of 9177.99 feet.
3. Contour interval is one foot.

NOTICE:

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LEGEND

- ☒ TRANSFORMER
- TELEPHONE PEDESTAL
- △ CABLE-TV PEDESTAL
- SIGN
- FOUND 1-1/2" ALUMINUM CAP ON #5 REBAR, L.S. 35577
- x 9179.28 SPOT ELEVATION



Topographic Survey
 Lot AR-16, Town of Mountain Village,
 San Miguel County, Colorado.

Project Mgr:	DB	Rev:	description	date	by:
Technician:	MC				
Checked by:					
Start date:	08/08/2014				



970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435



GARAGE AND DRIVEWAY FROM CULDESAC



SOUTH SIDE YARD FROM CULDESAC



NORTH YARD FROM REAR OF SITE



NORTH SIDE YARD FROM DRIVEWAY



NORTH SIDE YARD FROM CULDESAC



GARAGE FROM BELOW



VIEW WEST FROM FRONT YARD



FRONT YARD FROM DRIVEWAY

PROPOSED UNHEALTHY TREE FOR REMOVAL

PROPOSED TREES FOR REPLACEMENT

NOT FOR CONSTRUCTION

MITCHELL GARAGE
112 SINGLETREE ROAD (LOT AR-16)
MOUNTAIN VILLAGE, CO 81435

EXISTING SITE IMAGES

SHEET NUMBER

A1.2

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EXTERIOR LIGHTING

FIXTURES ARE IN ACCORDANCE WITH CDC 17.5.12 SECTION E - LIGHTING DESIGN REGULATIONS.

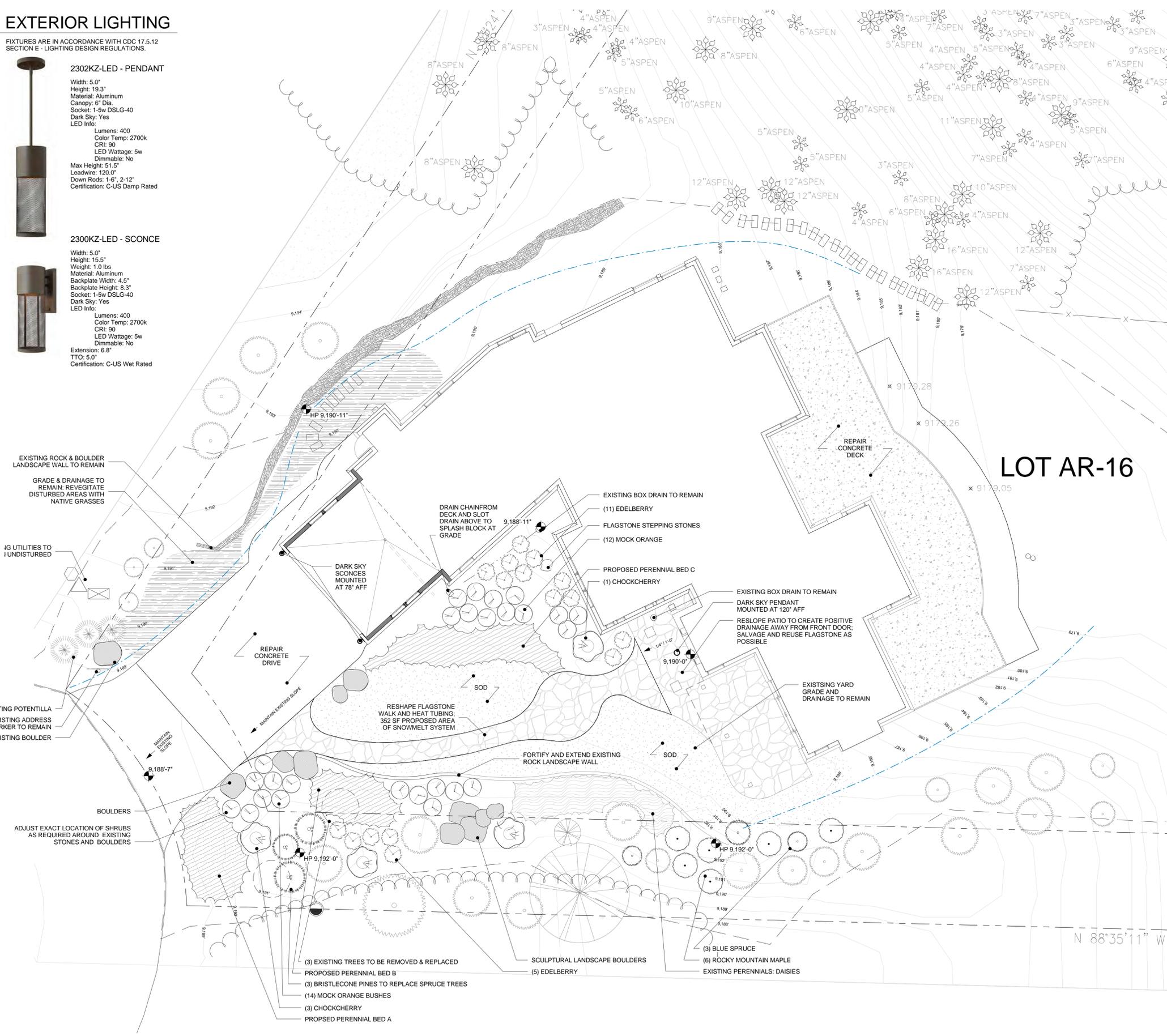


2300KZ-LED - PENDANT
 Width: 5.0"
 Height: 19.3"
 Material: Aluminum
 Canopy: 6" Dia.
 Socket: 1-5w DSLG-40
 Dark Sky: Yes
 LED Info:
 Lumens: 400
 Color Temp: 2700K
 CRI: 90
 LED Wattage: 5w
 Dimmable: No
 Max Height: 51.5"
 Leadwire: 120.0"
 Down Rods: 1-6", 2-12"
 Certification: C-US Damp Rated



2300KZ-LED - SCNCE
 Width: 5.0"
 Height: 19.3"
 Weight: 1.0 lbs
 Material: Aluminum
 Backplate Width: 4.5"
 Backplate Height: 9.3"
 Socket: 1-5w DSLG-40
 Dark Sky: Yes
 LED Info:
 Lumens: 400
 Color Temp: 2700K
 CRI: 90
 LED Wattage: 5w
 Dimmable: No
 Extension: 6.8"
 TTO: 5.0"
 Certification: C-US Wet Rated

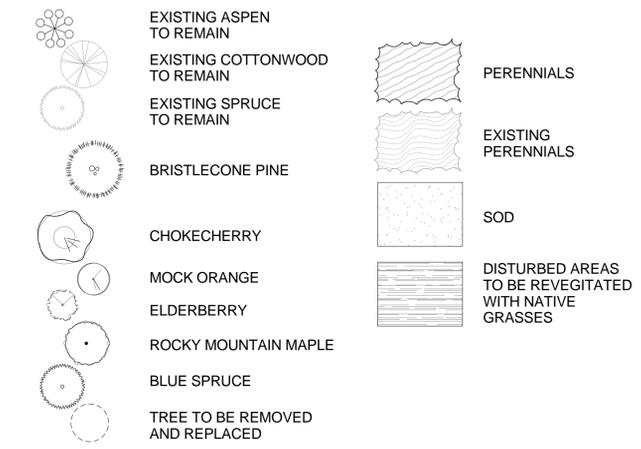
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PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
PICEA PUNGENS	COLORADO BLUE SPRUCE	8' 10'	2 1
PICEA ARISTATA	BRISTLECONE PINE	4'-5'	3
ACER GINNALA	ROCKY MOUNTAIN MAPLE	#5	6
SAMBUCUS PUBENS	NATIVE ELDERBERRY	#5	16
PHILADELPHUS CHEYENNE	MOCK ORANGE	#5	26
PRUNUS VIRGINIANA	NATIVE CHOKECHERRY	#5	4
PERENNIAL BED A: TANACETUM COCCINIUM SOLIDAGO MONARDO CAMBRIDGE			135 SF
PERENNIAL BED B: JOHNSON'S BLUE GERANIUM LEONTOPDIUM ALPINUM			100 SF
PERENNIAL BED C: HELIANthemum ORANGE MONARDO CAMBRIDGE DELPHINIUM ELFIN PINK PENSTEMON CENTRANTHUS RUBER WHITE			160 SF

LEGEND



GENERAL NOTES:

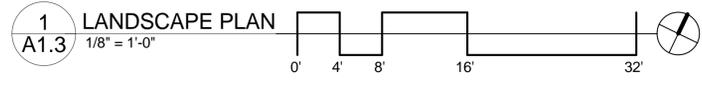
- ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
- ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STACKED WITH 4" METAL POSTS, TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTED MATERIALS SHALL BE NON NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEED LIST.

LANDSCAPE MAINTENANCE NOTES:

- SOD SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.

REVEGATION NOTES:

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGATED (EXCEPT OF SLOPES GREATER THAN 3:1) AND AMENDMENT ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED OR RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING THE SEED.
- BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
- ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MISTURE AT A RATE OF 12 LBS. PER ACRE.



MITCHELL GARAGE

112 SINGLETREE ROAD (LOT AR-16)
MOUNTAIN VILLAGE, CO 81435

DEMO PLANS

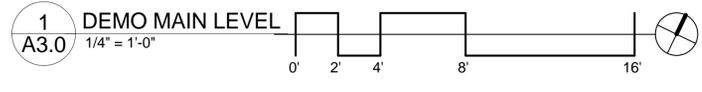
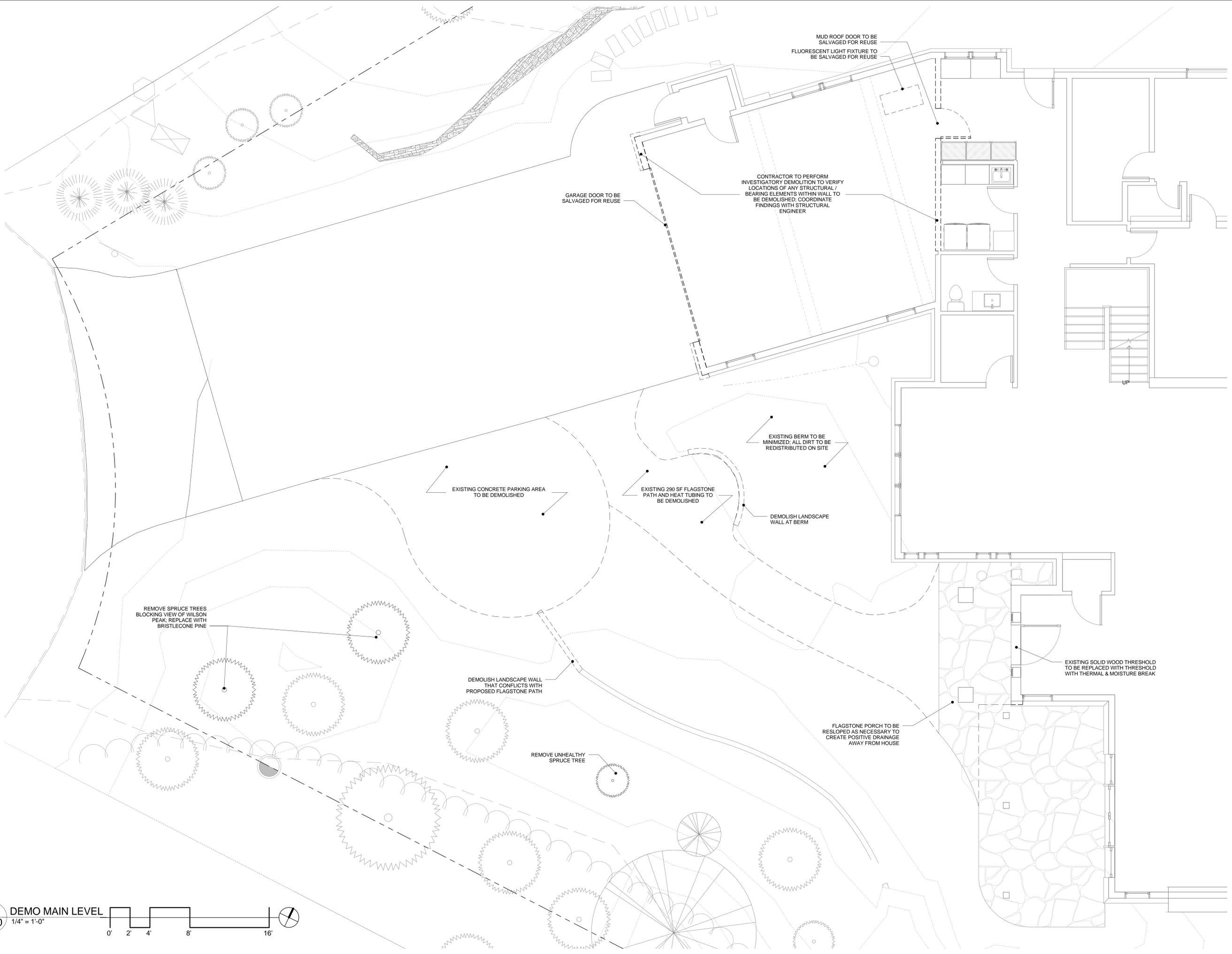
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A3.0

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MITCHELL GARAGE

112 SINGLETREE ROAD (LOT AR-16)
MOUNTAIN VILLAGE, CO 81435

FLOOR PLANS

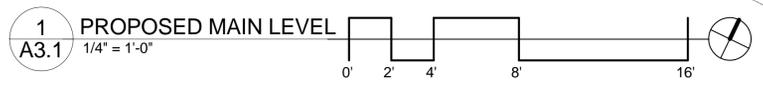
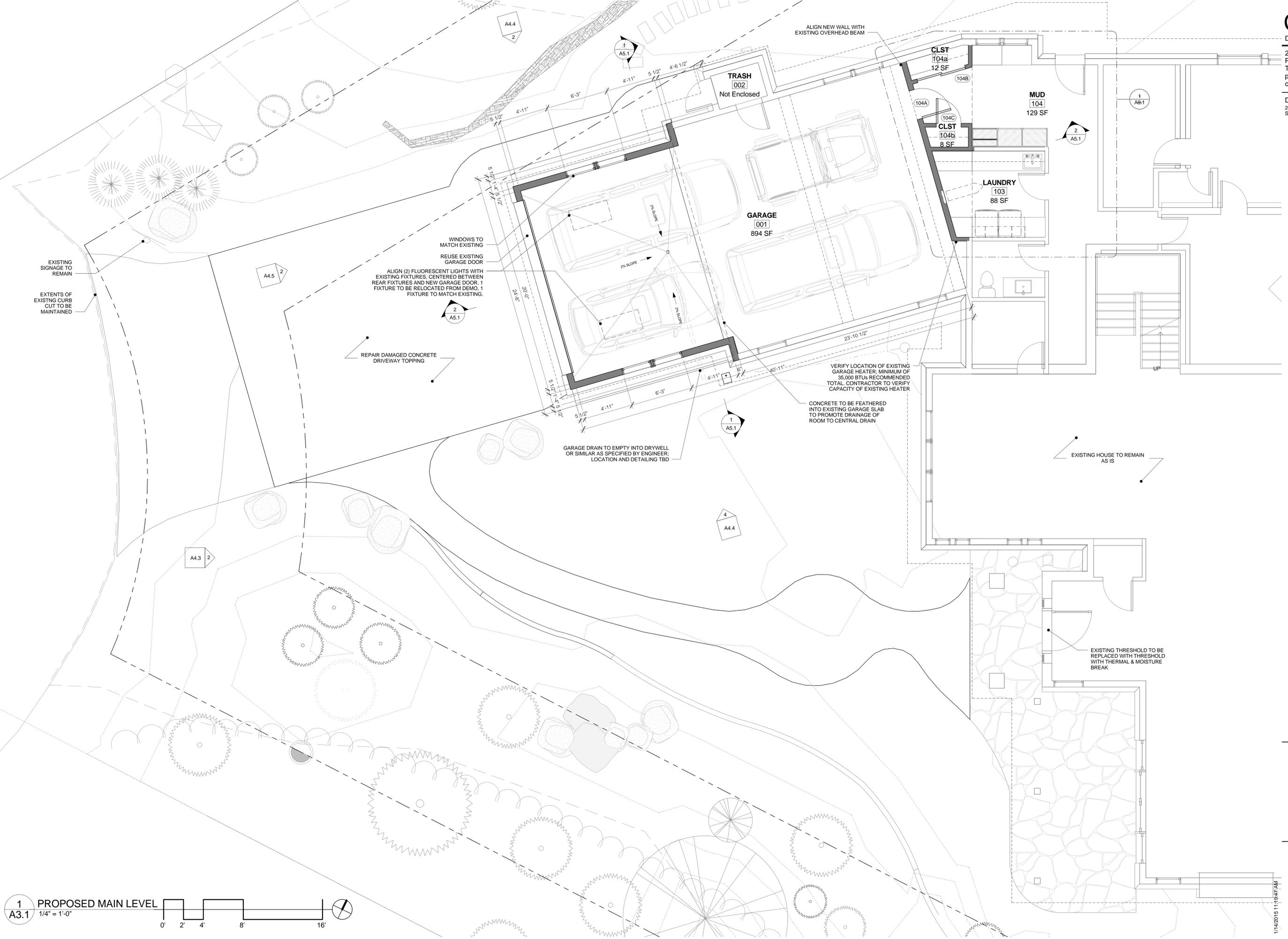
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A3.1

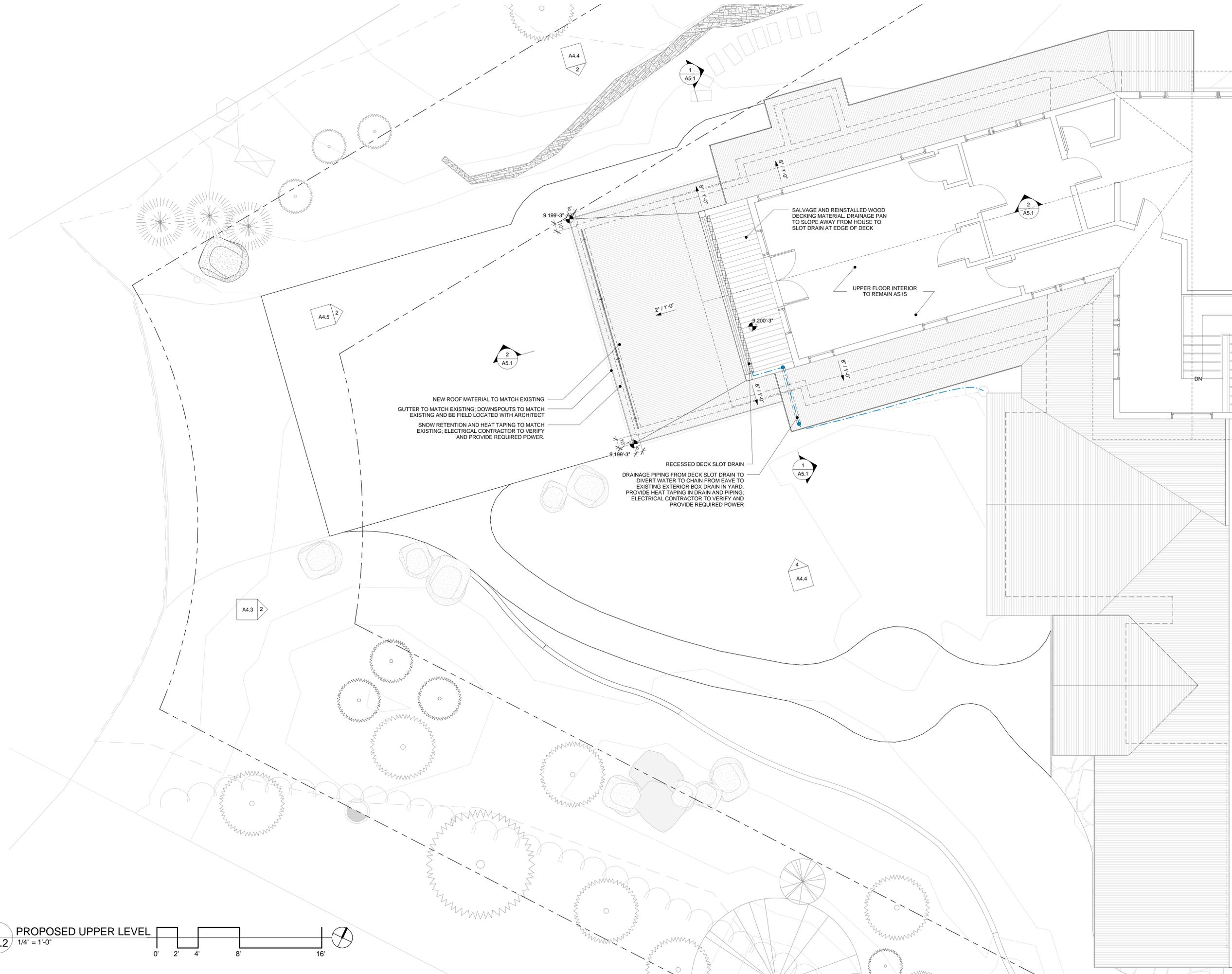
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NOT FOR CONSTRUCTION



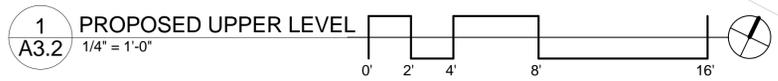
MITCHELL GARAGE

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MOUNTAIN VILLAGE, CO 81435

FLOOR PLANS

SHEET NUMBER

A3.2



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1 NORTH ELEVATION - EXISTING
A4.1 1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED
A4.1 1/4" = 1'-0"

MITCHELL GARAGE

112 SINGLETREE ROAD (LOT AR-16)
MOUNTAIN VILLAGE, CO 81435

ELEVATIONS

SHEET NUMBER

A4.1

1/14/2015 11:19:51 AM

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1 SOUTH ELEVATION - EXISTING
A4.2 1/4" = 1'-0"



2 SOUTH ELEVATION - PROPOSED
A4.2 1/4" = 1'-0"

MITCHELL GARAGE
112 SINGLETREE ROAD (LOT AR-16)
MOUNTAIN VILLAGE, CO 81435

ELEVATIONS

SHEET NUMBER

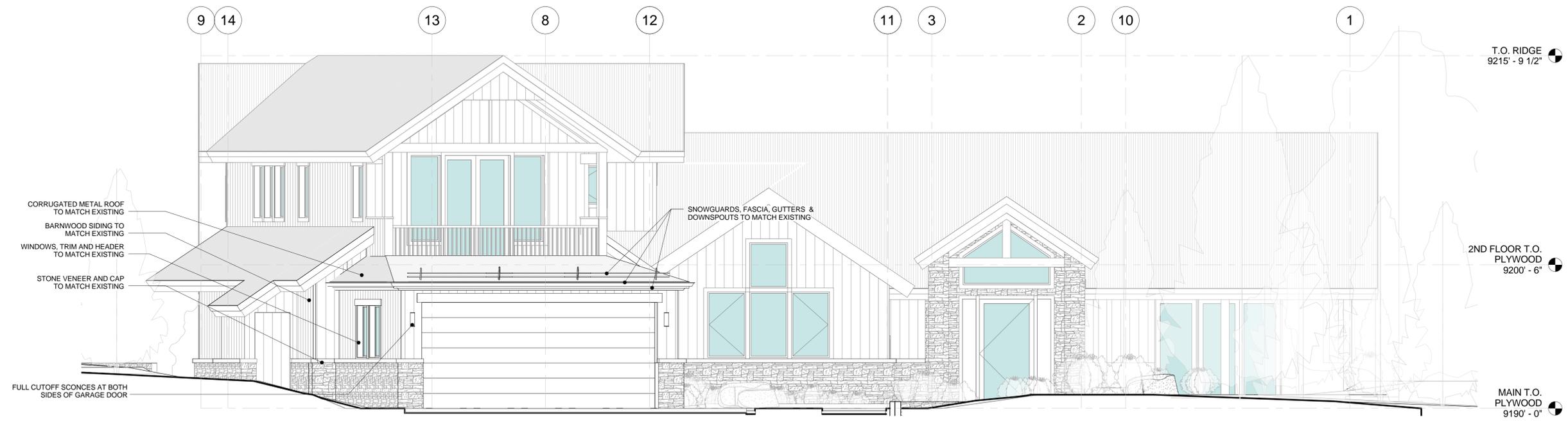
A4.2

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1 WEST ELEVATION - EXISTING
A4.3 1/4" = 1'-0"



2 WEST ELEVATION - PROPOSED
A4.3 1/4" = 1'-0"

NOT FOR CONSTRUCTION

MITCHELL GARAGE
112 SINGLETREE ROAD (LOT AR-16)
MOUNTAIN VILLAGE, CO 81435

ELEVATIONS

SHEET NUMBER

A4.3

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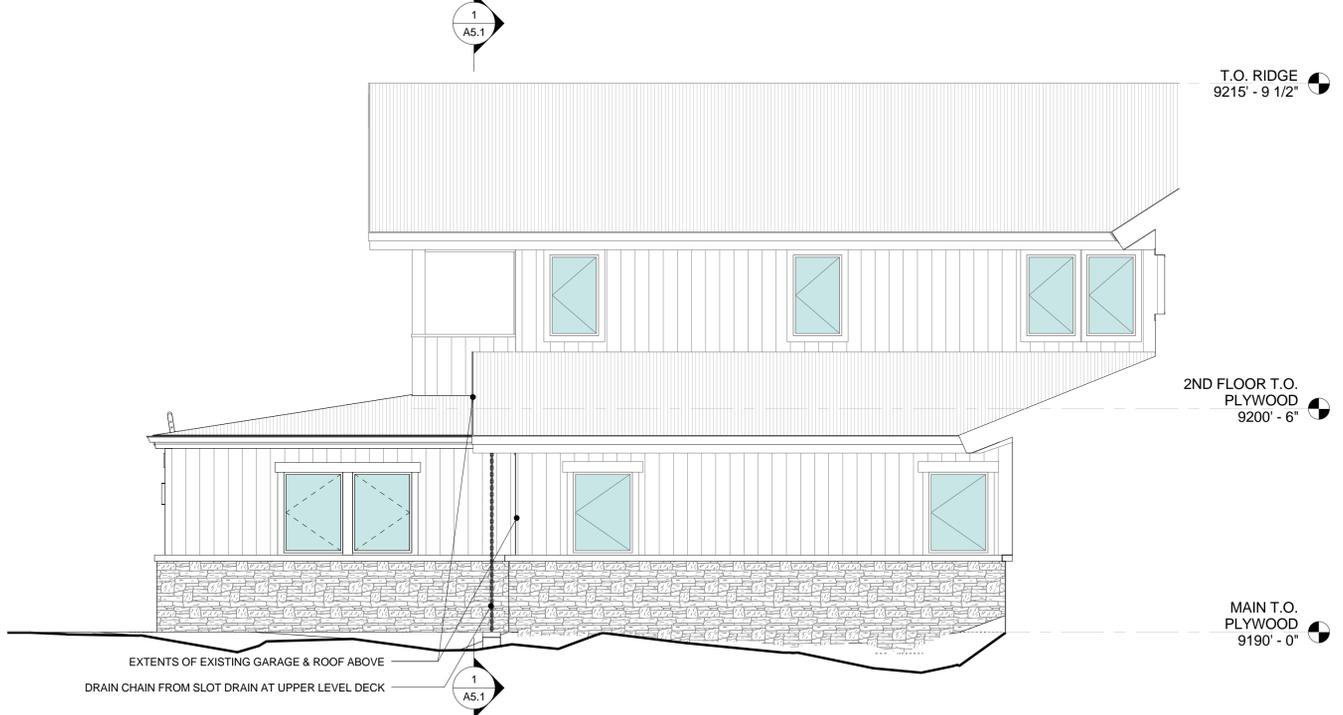
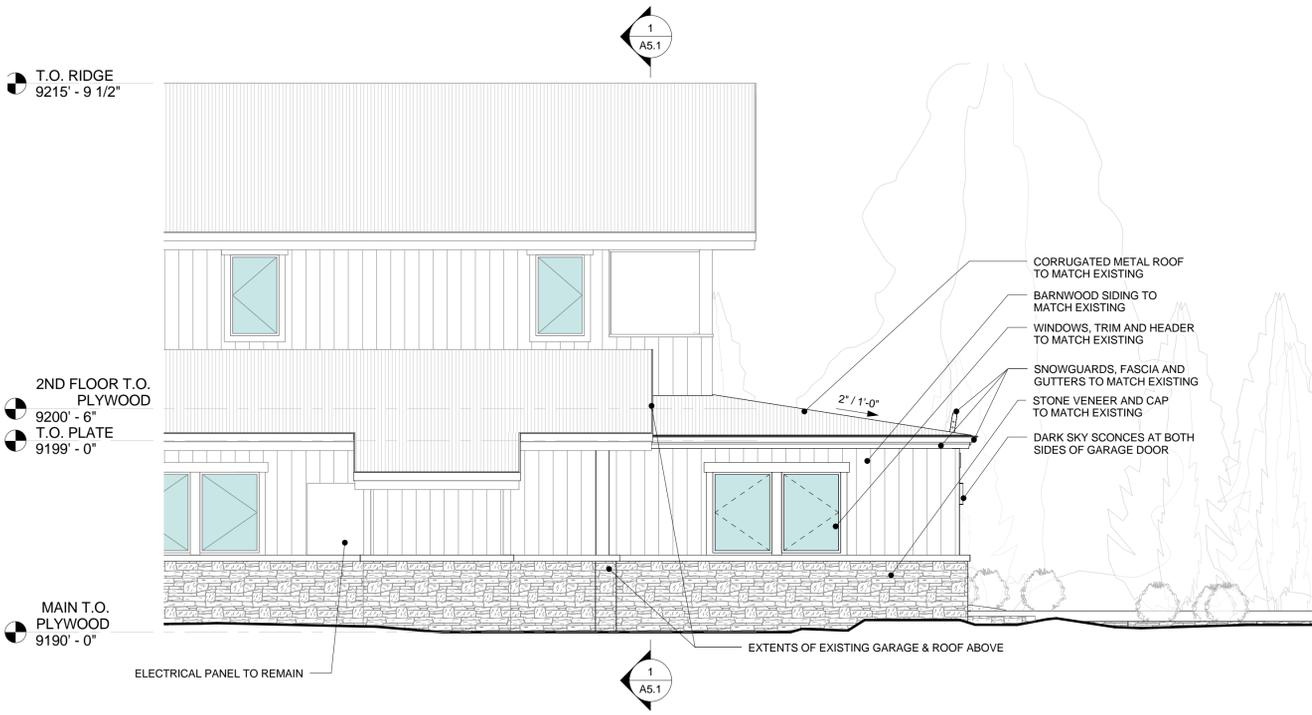
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1 GARAGE NORTH ELEVATION - EXISTING
A4.4 1/4" = 1'-0"

3 GARAGE SOUTH ELEVATION - EXISTING
A4.4 1/4" = 1'-0"

NOT FOR CONSTRUCTION



2 GARAGE NORTH ELEVATION - PROPOSED
A4.4 1/4" = 1'-0"

4 GARAGE SOUTH ELEVATION - PROPOSED
A4.4 1/4" = 1'-0"

MITCHELL GARAGE

112 SINGLETREE ROAD (LOT AR-16)
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ELEVATIONS

SHEET NUMBER

A4.4

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MATERIALS:



EXISTING BARNWOOD SIDING;
NEW SIDING TO MATCH



EXISTING STONE VENEER;
NEW STONE TO MATCH



EXISTING CORRUGATED ROOFING;
NEW ROOFING TO MATCH



RUSTED METAL PANEL GARAGE
DOOR; REUSE EXISTING



EXISTING WINDOWS / TRIM;
NEW WINDOWS TO MATCH



EXISTING CONCRETE; LOCATIONS
TO BE REPAIRED TO MATCH



EXISTING FLAGSTONE SITE PATH;
NEW FLAGSTONE TO MATCH

T.O. RIDGE
9215' - 9 1/2"

2ND FLOOR T.O.
PLYWOOD
9200' - 6"

MAIN T.O.
PLYWOOD
9190' - 0"

NOT FOR CONSTRUCTION



4 GARAGE WEST ELEVATION - EXISTING
A4.5 1/4" = 1'-0"

T.O. RIDGE
9215' - 9 1/2"

2ND FLOOR T.O.
PLYWOOD
9200' - 6"

MAIN T.O.
PLYWOOD
9190' - 0"

- EXISTING METAL RAILING TO REMAIN
- 10' CURB FOR TERMINATION OF PROPOSED ROOF
- CORRUGATED METAL ROOF TO MATCH EXISTING
- SNOWGUARDS, HEAT TAPE, FASCIA AND GUTTERS TO MATCH EXISTING
- BARNWOOD SIDING TO MATCH EXISTING
- DARK SKY SCONCE ON BOTH SIDES OF GARAGE DOOR
- STONE VENEER AND CAP TO MATCH EXISTING



2 GARAGE WEST ELEVATION - PROPOSED
A4.5 1/4" = 1'-0"

MITCHELL GARAGE

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ELEVATIONS

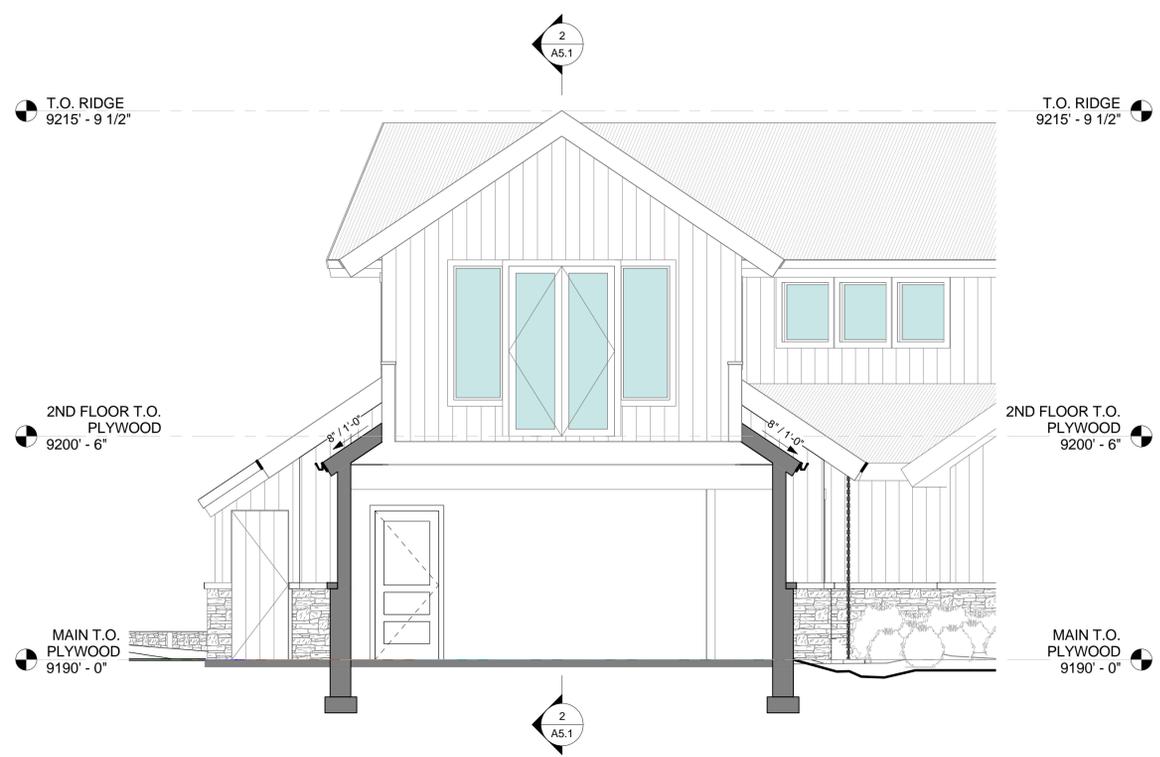
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A4.5

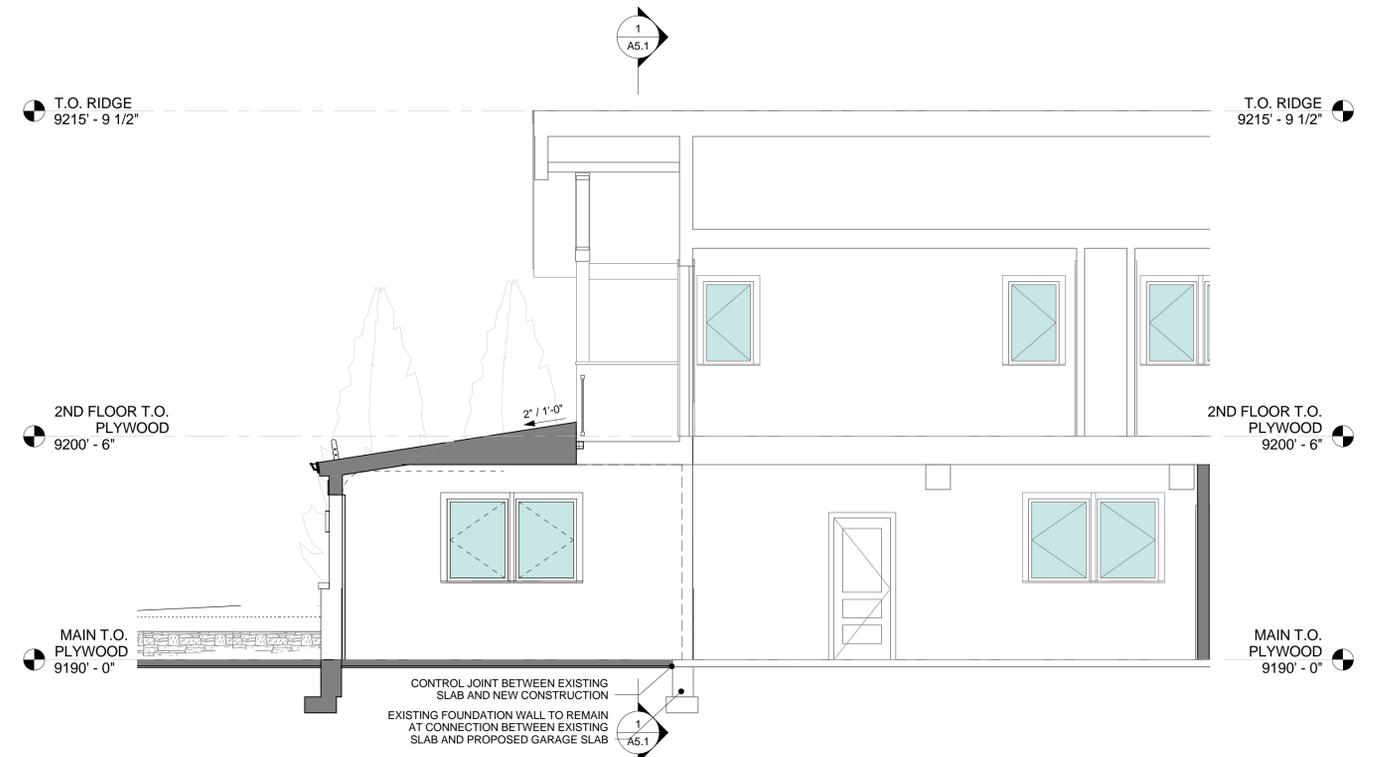
1/14/2015 11:20:44 AM

©cmk

NOT FOR CONSTRUCTION



1 NS SECTION
A5.1 1/4" = 1'-0"



2 WE SECTION
A5.1 1/4" = 1'-0"

*SECTIONS SHOWN ARE FOR SCHEMATIC USE ONLY. CONTRACTOR TO PERFORM INVESTIGATIVE DEMOLITION TO DETERMINE THE LOCATION OF EXISTING STRUCTURAL ELEMENTS. FINDINGS ARE TO REPORTED TO THE STRUCTURAL ENGINEER TO DEVELOP CONSTRUCTION DOCUMENTS PRIOR TO THE COMMENCEMENT OF DEMOLITION.

MITCHELL GARAGE

112 SINGLETREE ROAD (LOT AR-16)
MOUNTAIN VILLAGE, CO 81435

SECTIONS

SHEET NUMBER

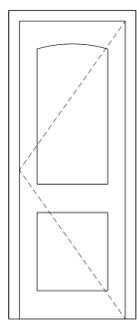
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1/14/2015 11:20:46 AM

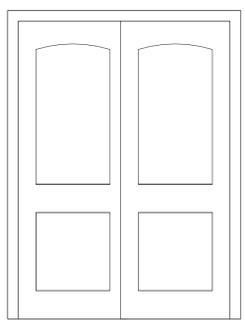
©cmk

DOOR SCHEDULE						
Mark	Room Name	Family	Height	Width	Type Mark	Comments
104A	MUD	Single-Panel 1	7' - 0"	3' - 0"	A1	REUSE EXISTING
104C	MUD	Single-Panel 1	7' - 0"	2' - 6"	A2	
104B	MUD	Sliding-Closet	7' - 0"	5' - 0"	B	
001A	GARAGE	Overhead-Sectional	7' - 9"	18' - 0"	E	REUSE EXISTING

1. DOOR HARDWARE TO MATCH EXISTING. WHEN APPLICABLE, REUSE SALVAGED HARDWARE.
2. DOOR MANUFACTURER TBD.



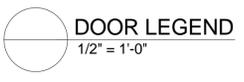
TYPE A



TYPE B

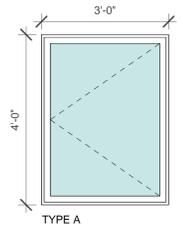


TYPE C

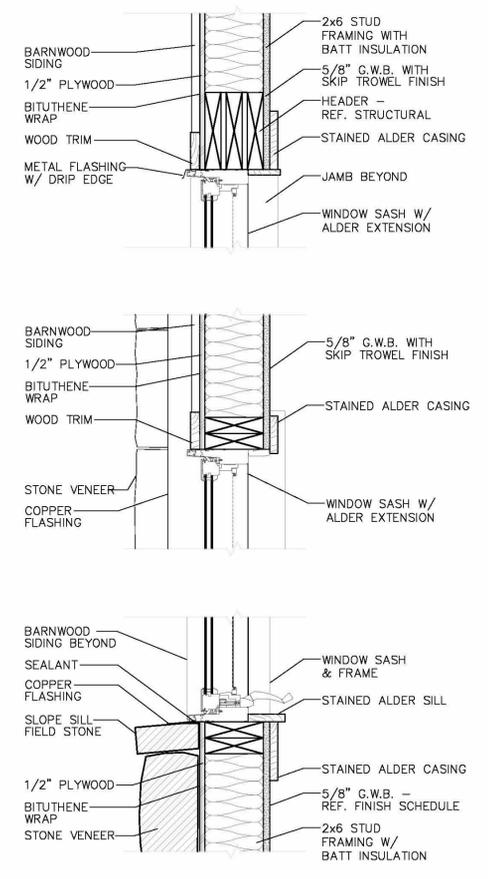
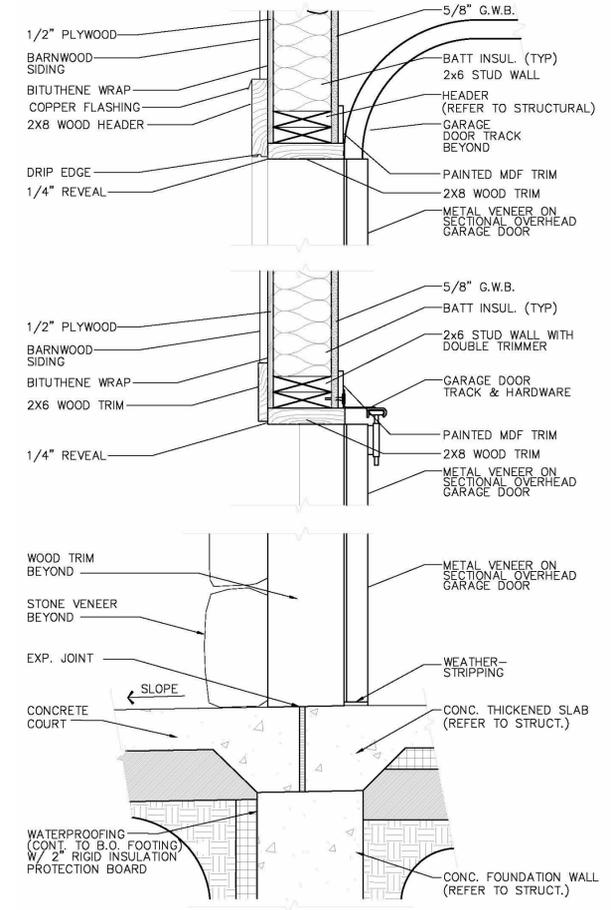
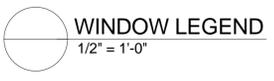


WINDOW SCHEDULE					
Type Mark	Room Number	Family	Width	Height	Comments
A	GARAGE 001	Casement with Trim	3' - 0"	4' - 0"	
A	GARAGE 001	Casement with Trim	3' - 0"	4' - 0"	
A	GARAGE 001	Casement with Trim	3' - 0"	4' - 0"	
A	GARAGE 001	Casement with Trim	3' - 0"	4' - 0"	

1. WINDOW HARDWARE AND FINISH TO MATCH EXISTING.
2. WINDOW MANUFACTURER TO VERIFY SWINGS.
3. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
4. SCREENS ARE TO BE PROVIDED FOR ALL OPERABLE WINDOWS.

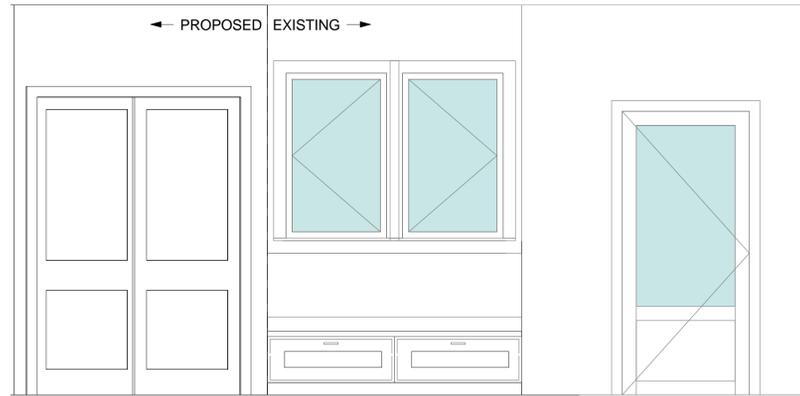


TYPE A

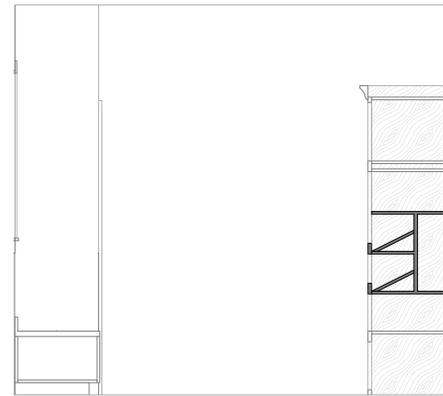


NOT FOR CONSTRUCTION

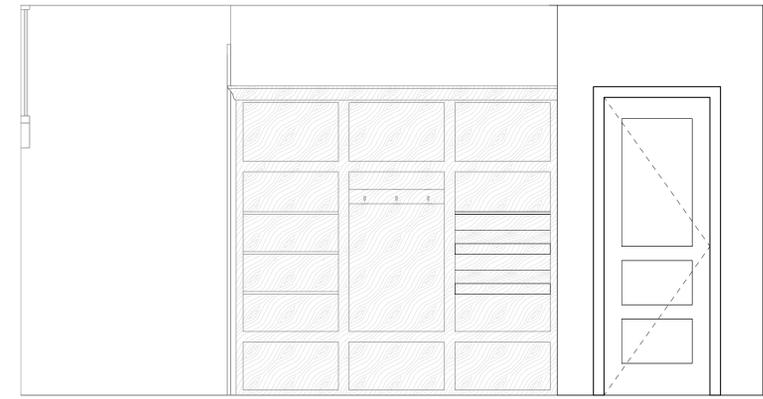
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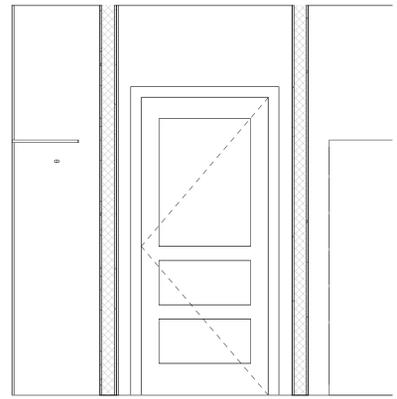
6 MUD - NORTH
A9.1 1/2" = 1'-0"



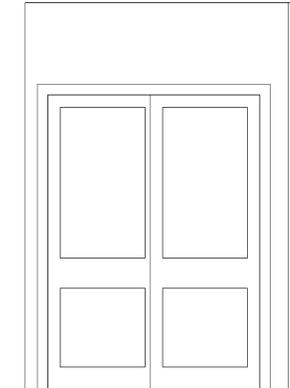
7 MUD - EAST
A9.1 1/2" = 1'-0"



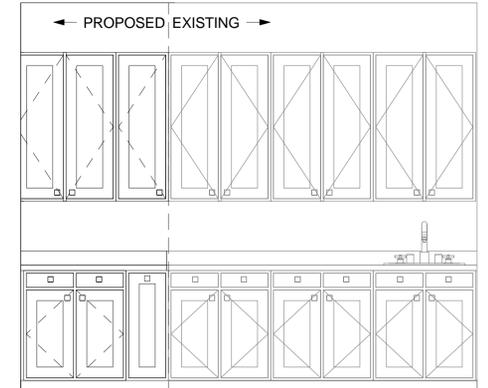
8 MUD - SOUTH
A9.1 1/2" = 1'-0"



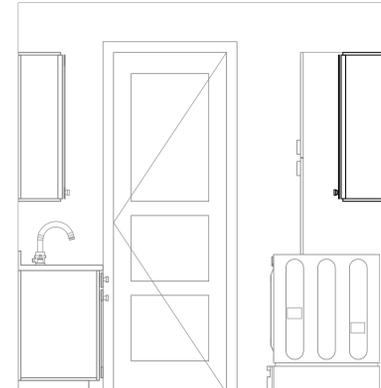
9 MUD - WEST
A9.1 1/2" = 1'-0"



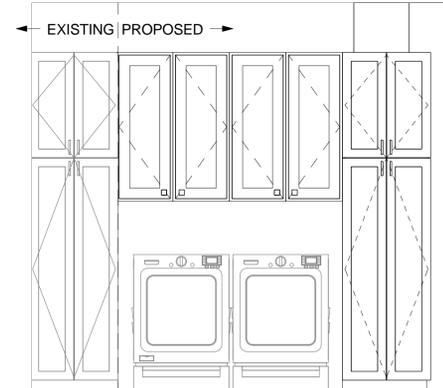
10 MUD - NORTH WEST
A9.1 1/2" = 1'-0"



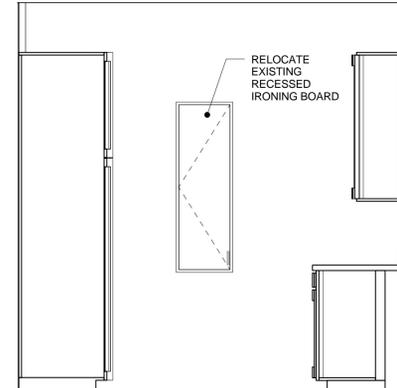
2 LAUNDRY - NORTH
A9.1 1/2" = 1'-0"



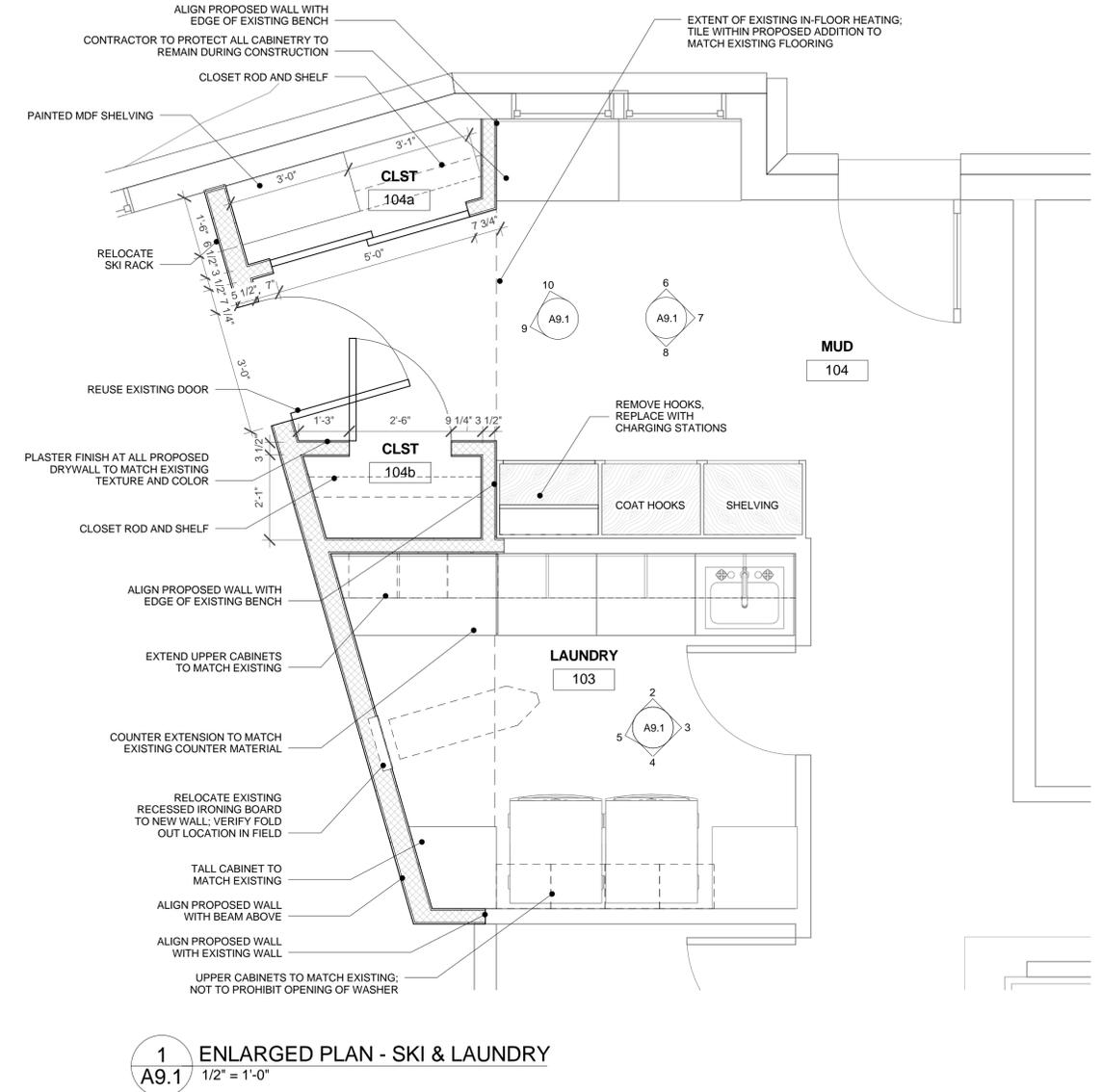
3 LAUNDRY - EAST
A9.1 1/2" = 1'-0"



4 LAUNDRY - SOUTH
A9.1 1/2" = 1'-0"



5 LAUNDRY - WEST
A9.1 1/2" = 1'-0"



1 ENLARGED PLAN - SKI & LAUNDRY
A9.1 1/2" = 1'-0"

MITCHELL GARAGE

112 SINGLETREE ROAD (LOT AR-16)
MOUNTAIN VILLAGE, CO 81435

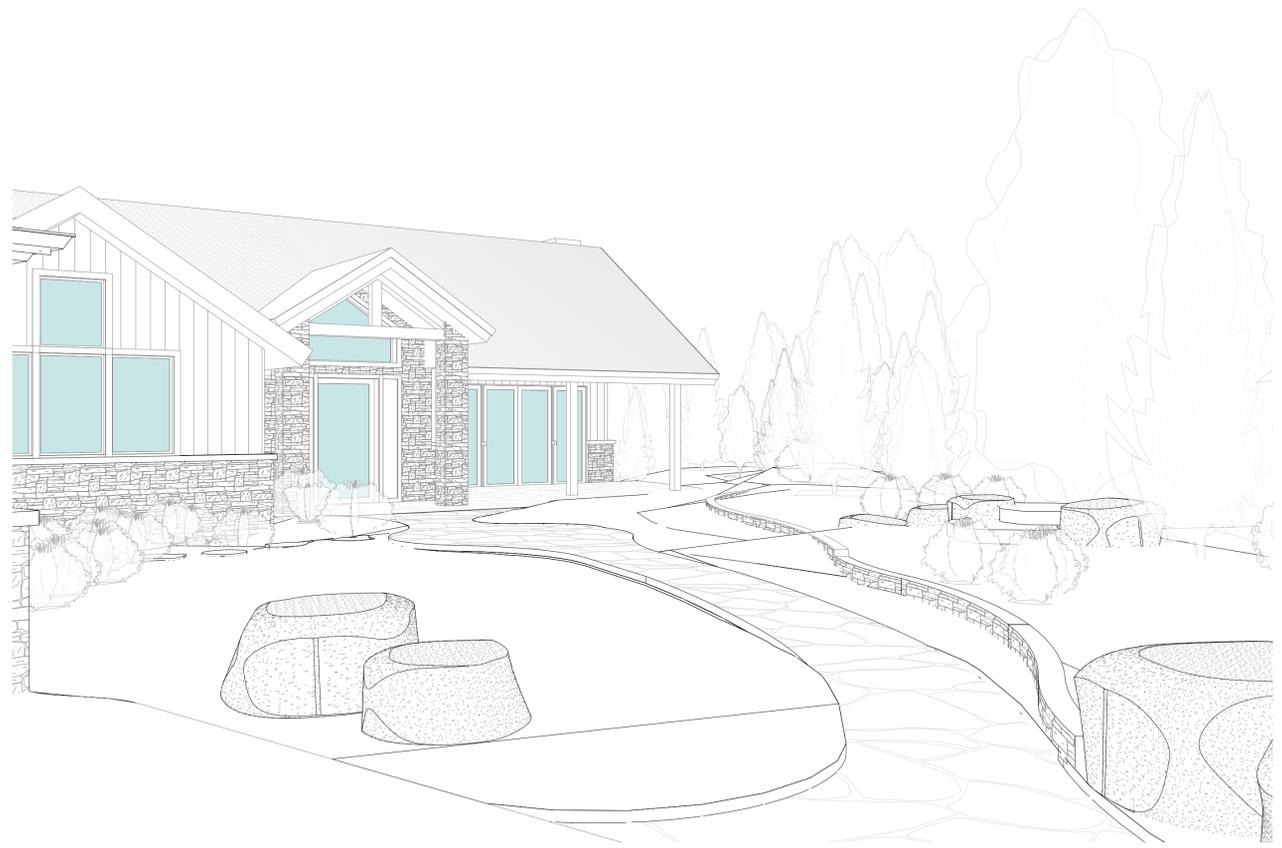
ENLARGED
PLANS

SHEET NUMBER

A9.1

1/14/2015 11:20:49 AM

cmk



2 ENTRY AXON
A11.2



3 GARAGE AXON
A11.2



4 MUD ROOM 2
A11.2

NOT FOR CONSTRUCTION

MITCHELL GARAGE

112 SINGLETREE ROAD (LOT AR-16)
MOUNTAIN VILLAGE, CO 81435

AXONS

SHEET NUMBER

A11.2

1/14/2015 11:20:52 AM



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Design Review Board
FROM: Chris Hawkins, Director of Community Development
FOR: DRB Public Hearing on February 5, 2015
DATE: January 29, 2015
RE: Consideration of Design Review Process Application for a privacy gate along the driveway to an existing Single Family Residence on Lot 1166

PROJECT GEOGRAPHY

Application Description: Design Review Process
Legal Description: Lot 1166, Filing 30, Mountain Village
Address: 218 San Joaquin
Applicant/Agent: TD Smith/Doug Miller
Owner: Mountaintop Scenic View, LLC
Zoning: Single Family Residential
Existing Use: Single Family Structure
Proposed Use: Single Family Structure
Adjacent Land Uses:

- **North** Single Family Residential
- **South** Active Open Space
- **East** Active Open Space
- **West** Active Open Space

RECORD DOCUMENTS

- Town of Mountain Village Community Development Code as amended (CDC)
- Town of Mountain Village Home Rule Charter as amended
- Design Review Application as maintained by the Community Development Department

BACKGROUND

The applicant is requesting a Design Review Process development application and a variation to allow a modest privacy gate that will be visible from surrounding public rights-of-way. The goal of the applicant is to ensure that vehicles do not continue down the driveway to the dwelling. The new owners have had numerous vehicles travel down the 350' drive and have to turn around in their auto court. The gate will not be readily visible to any neighbor.

CRITERIA FOR DECISION

1. The proposed development meets the Design Regulations;
2. The proposed development is in compliance with the Zoning and Land Use Regulations;

3. The proposed development complies with the road and driveway standards;
4. The proposed development is in compliance with the other applicable regulations of this CDC;
5. The development application complies with any previous plans approved for the site still in effect;
6. The development application complies with any conditions imposed on development of the site through previous approvals; and
7. The proposed development meets all applicable Town regulations and standards.

ATTACHMENTS

Exhibit A: Applicant Narrative
Exhibit B: Design Review Plans

RECORD DOCUMENTS

- Town of Mountain Village Community Development Code as amended (CDC)
- Town of Mountain Village Home Rule Charter as amended
- Design Review Application as maintained by the Community Development Department

ANALYSIS

The proposed gate complies with the Design Regulations and the Design Review Process as outlined in the findings set forth in the attached resolution. The following are the outstanding matters that have to be corrected or addressed:

Design Variation

The applicant is seeking the following design variation pursuant to CDC Section 17.4.11(E)(5):

CDC Section 17.5.9(D)(2)(h): Gates are not allowed to close driveway or access tract entrances.

Section 17.4.11(E)(5)(e) states that the following criteria shall be met for the review authority to approve a design variation development:

1. The design variation is compatible with the design context of the surrounding area, and provides for a strong mountain vernacular design.
2. The design variation is consistent with the town design theme;
3. The strict development application of the Design Regulations(s) would prevent the applicant or owner from achieving its intended design objectives for a project;
4. The design variation is the minimum necessary to allow for the achievement of the intended design objectives;
5. The design variation is consistent with purpose and intent of the Design Regulations;
6. The design variation does not have an unreasonable negative impact on the surrounding neighborhood; and
7. The proposed design variation meets all applicable Town regulations and standards.

Cost or inconvenience alone shall not be sufficient grounds to grant a design variation.

The applicant's narrative on the variation states:

“The thematic design for the privacy gate request is consistent with the Community Development Code design guidelines. The stone veneer gate cairns’ at the sides of the driveway which support the gate structure are compatible with the design context of the surrounding area and support the design theme of the Mountain Village.

The gate cairns’ are similar in design and in mass and scale to the existing address monument. The stone veneer will match the existing stone. The heavy timber gate with steel detailing is consistent with the town design theme. The placement of the proposed gate structure is in a location that has no negative impact on the surrounding area. The gate structure will not be visible from any public right of way.”

Staff believes that the strict application of the gate prohibition would not allow the property owner to achieve their goal of stopping recurrent traffic, with motorists thinking the driveway is a roadway and having to turn around at the home. Their main goal is to allow for the quiet enjoyment of their property without motorists driving through. The gate will stop vehicles and allow them to turn around without driving down the full length of the driveway. Staff further believes that the variation meets the criteria as set forth above as outlined in the attached resolution.

General Easement Setbacks

The western side of the gate is proposed to be located within the 16 foot general easement setback. The gate is not one of the permitted uses in the general easement. Section 17.3.14(F) of the CDC states: The DRB may waive the general easement setback or other setbacks and allow for prohibited activities provided (Staff comments on the criteria are shown in *italics*).

:

1. The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot. *The applicant’s main goal is to have quiet enjoyment of their property. The gate will allow for this quiet enjoyment since it will stop a large number of motor vehicles that think the driveway is a road, with the inability to turnaround.*
2. The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams. *This criterion is not applicable to this situation.*
3. No unreasonable negative impacts result to the surrounding properties *Staff does not believe the gate will cause unreasonable negative impacts since the gate is not readily visible to surrounding public ways or properties.*
4. The general easement setback or other setback will be revegetated and landscaped in a natural state. *This criterion is met.*
5. The Public Works Department has approved the permanent above-grade and below-grade improvements. *The Public Works Department has reviewed and approved the encroachment, with the conditions that the owner enters into a revocable encroachment agreement, a turnaround for vehicles is provided, and a Knox Box is available to allow for Public Works and Telluride Fire Department access. Staff has added conditions of approval to address these concerns.*
6. The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town. *Discussed above.*

7. Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts. *Staff does not believe additional landscaping is needed due to the existing trees in the area.*

RECOMMENDED MOTION

"I move to approve a resolution for a Design Review Process development application to allow for a privacy gate along the driveway to a single family residence on Lot 1166."

**RESOLUTION OF THE DESIGN REVIEW BOARD
OF MOUNTAIN VILLAGE, COLORADO, AUTHORIZING AND APPROVING THE
DESIGN REVIEW PROCESS FOR A PRIVACY GATE ALONG THE DRIVEWAY TO AN
EXISTING SINGLE FAMILY RESIDENCE ON LOT 1166**

Resolution No. 2015-0205-__

RECITALS:

- A. Mountaintop Scenic View, LLC (“Owner”) is the owner of certain real property described as Lot 1166, Mountain Village Filing No. 30
- B. The Owner’s Representative, TD Smith, has submitted a Class 3 Design Review Process application requesting approval for a privacy gate along the driveway to an existing single-family residence on Lot 1166 (“Application”).
- C. The Design Review Board (DRB) considered this application, along with evidence and testimony, at a public hearing held on February 5, 2015. Upon concluding their review, the DRB voted - to approve the Application.
- D. The public hearing on the Application referred to above was preceded by public notice as required by the public hearing noticing requirements set forth in the Community Development Code (“CDC”).
- E. The DRB considered the Application submittal materials, all other relevant materials, public letters and public testimony, and approved the Application with conditions as set forth in this Resolution.
- F. The Owners have addressed, or agreed to address, all conditions of approval of the Application imposed by the DRB.
- G. DRB based their approval of this Application on the following findings, as stated required by section CDC Section 17.4.11(D):
 - 1. With compliance of the conditions set forth below, the proposed development meets the Design Regulations because, without limitation, the proposed encroachment into the general easement meets the criteria in CDC Section 17.3.14(F); the development is compliant with the Town design theme; building siting design requirements; building design requirements; grading and drainage design; trash and recycling area design; and utilities design.
 - 2. The DRB finds that the variation to CDC Section 17.5.9(D)(2)(h) that prohibits gates to close driveway or access tract entrances meet the criteria for approving variations as set forth Section 17.4.11(E)(5)(e):
 - a. The design variation is compatible with the design context of the surrounding area, and provides for a strong mountain vernacular design because, without limitation; the gate is not readily visible from surrounding public ways or private property; and the stone veneer and heavy timber gate with steel detailing meet the Town Design Theme.
 - b. The design variation is consistent with the town design theme because, without limitation; the gate is not readily visible from surrounding public ways and the proposed exterior materials are commonly used throughout the town.
 - c. The strict development application of the Design Regulations(s) would prevent the applicant or owner from achieving its intended design objectives for a project because

traffic using the driveway does not allow for the quiet enjoyment of the owner's property;

- d. The design variation is the minimum necessary to allow for the achievement of the intended design objectives;
 - e. The design variation is consistent with purpose and intent of the Design Regulations;
 - f. The design variation does not have an unreasonable negative impact on the surrounding neighborhood because the gate is not readily visible from surrounding public ways and properties; and
 - g. The proposed design variation meets all applicable Town regulations and standards.
3. The proposed development is in compliance with the Zoning and Land Use Regulations because, without limitation, the development is permitted in the Single-family Zone District, the density limitation is not impacted, the platted open space requirements are met, and the General Easement Setback requirements in CDC Section 17.3.14 have been met.
 4. The proposed development is in compliance with the other regulations of this CDC, including but not limited to the Development Review Procedures, the Fire Mitigation Regulations and the Road and Driveway Standards.
 5. As of the Effective Date, development on Lot 1166 complies with previous plans approved for the site still in effect.
 6. As of the Effective Date, the development application complies with conditions imposed on development of the site through previous approvals.
 7. The proposed development meets all applicable Town regulations and standards.

Now, Therefore, Be It Resolved that the DRB hereby approves the Application and authorizes the DRB Chairman to sign the Resolution subject to the conditions in Section 1.

Section 1. Development Application Conditions

1. Prior to issuing a development permit, the plans shall be revised to show a vehicular turnaround designed to meet the requirements of the CDC located prior to the gate; and a Knox Box that allows for the gate to be opened by Town Public Works and the Telluride Fire Protection District.
2. Prior to the issuance of a certificate of completion, the property owner shall enter into a revocable encroachment agreement for the gate, with a monumented land survey prepared showing the exact location of the gate relative to the general easement.
3. The Town Fire Mitigation Regulations shall be met on Lot 1166 if the cost of the gate exceeds the threshold for requiring mitigation.
4. All representations of the applicant, whether within the submittal or at the DRB hearing, are conditions of this approval.

Section 2. Effective Date and Length of Validity

1. This approval shall be effective seven (7) calendar days from the date of the DRB approval, on February 12, 2015 unless an appeal is filed in accordance with the CDC appeal procedures. If an appeal is filed pursuant to the appeal procedures, building permits or other development permits shall not be issued until the appeal is heard by the Town Council and it takes action to uphold or modify the approval.
2. This approval shall be valid for eighteen (18) months from the effective date of approval and shall lapse on August 5, 2016 unless a Renewal Process development application is approved by the Town pursuant to the CDC.

Section 3. Void Approval

A resolution or subsequent approval issued by the Town in error or which does not comply with the provisions of this CDC or Town-adopted codes, ordinances and regulations is null and void. A permit, certificate or license issued in reliance upon any materially false statement in the development application, supporting documents or oral statements made on the record shall be null and void.

Be It Further Resolved that the Application may be developed as submitted in accordance with Resolution No. 2015-0205-

Approved by the Design Review Board at a public meeting February 5, 2015.

Town of Mountain Village, Design Review Board

By: _____
Bill Hoins, Chairman

Attest:

By: _____
Chris Hawkins, Director of Community Development

Lot 1166 Privacy Gate / Design Criteria

The thematic design for the privacy gate request is consistent with the Community Development Code design guidelines. The stone veneer gate cairns' at the sides of the driveway which support the gate structure are compatible with the design context of the surrounding area and support the design theme of the Mountain Village.

The gate cairns' are similar in design and in mass and scale to the existing address monument. The stone veneer will match the existing stone. The heavy timber gate with steel detailing is consistent with the town design theme. The placement of the proposed gate structure is in a location that has no negative impact on the surrounding area. The gate structure will not be visible from any public right of way.

We thank you for your consideration of the proposed privacy gate.

Attachment B

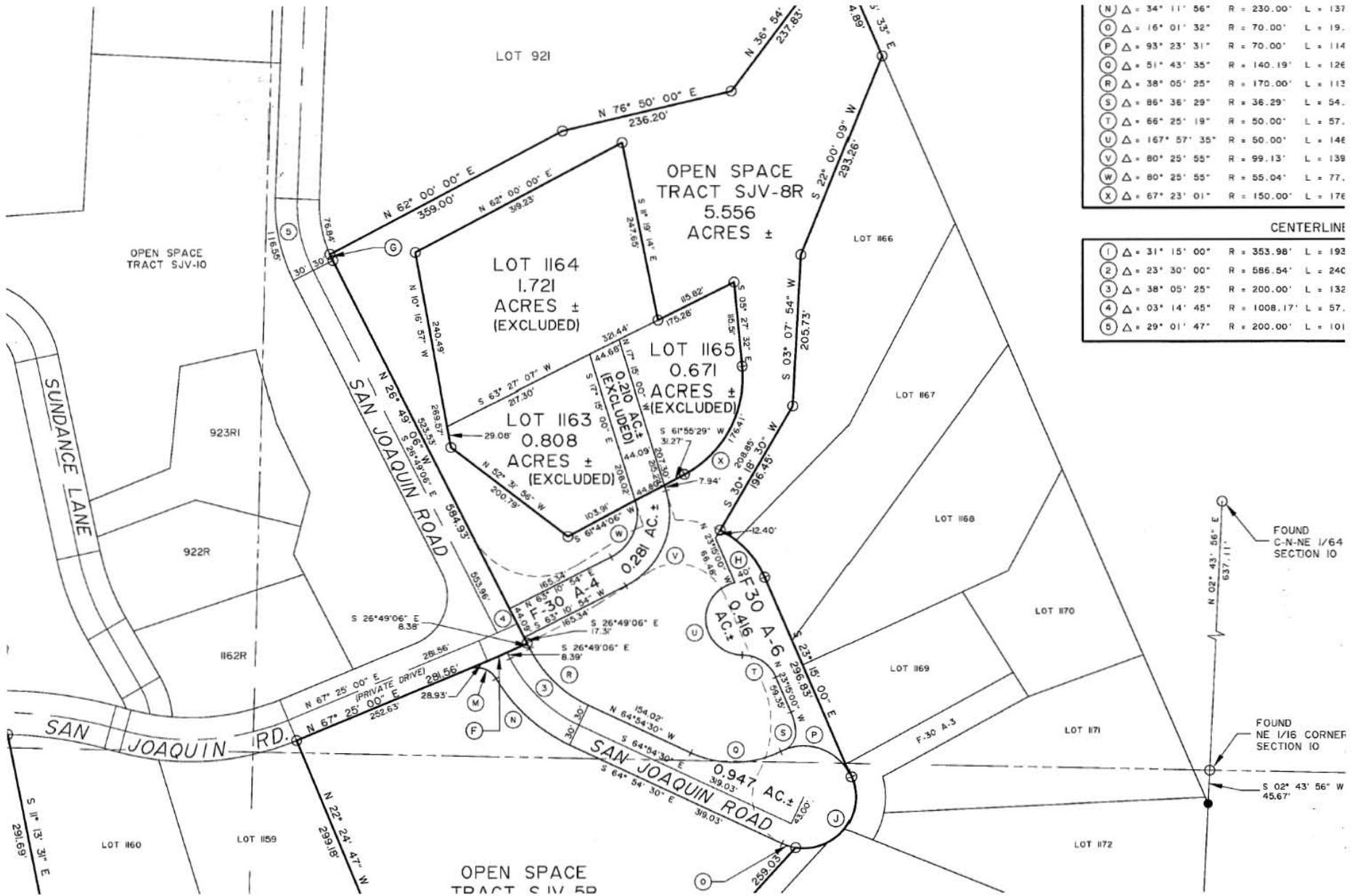
The subject property, Lot 1166, is located at the end of Access Tract F-30 A-6 approximately 300 plus feet south from the termination of San Joaquin Road. There is no physical indication at the "roundabout type, cul-de-sac" that the access tract is not a continuation of San Joaquin Road. For tourists and curiosity seekers not familiar with the Mountain Village roadway system, it is a common occurrence for the public to travel the access tract fronting Lots 1166-1169. Further complicating matters, the residence located on the subject property is not visible from the private driveway entrance some 350 feet from the entry monument. Nor, when the home does come into view is there an adequate location to turn around and reverse direction.

The applicant is requesting a modest privacy gate which is visible at the head of the property's entry signaling that private property lies beyond. The gate will not be visible to any neighbor or public roadway. There is an area which is convenient for turning around just south of the entry after the gate comes into view. All too often, the owner has experienced "trapped" travelers reversing direction on the property via their porte cochere and motor court.

Attachments B, C, and D further depict the matter at hand.



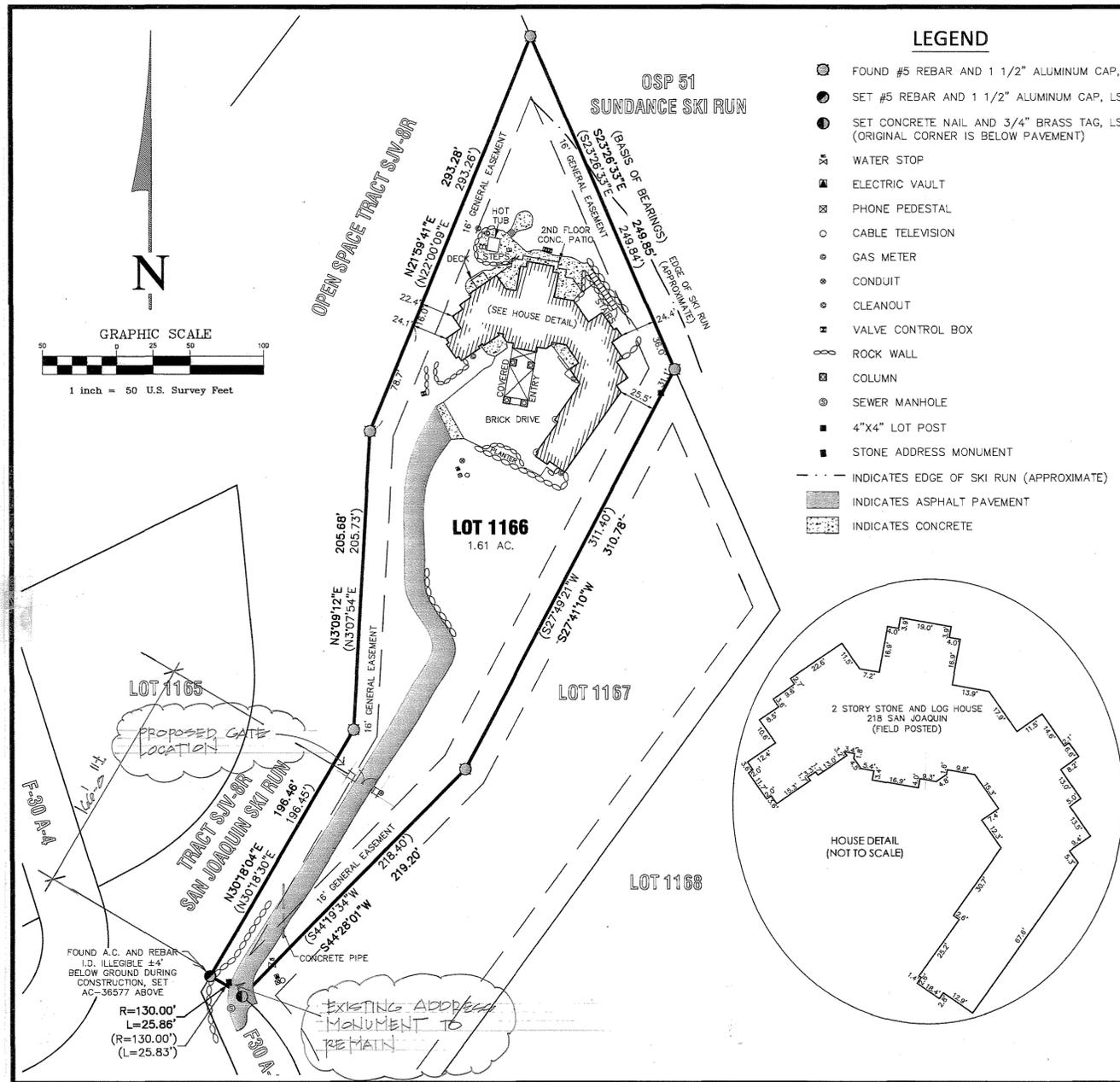




(N)	Δ = 34° 11' 56"	R = 230.00'	L = 137
(O)	Δ = 16° 01' 32"	R = 70.00'	L = 19.
(P)	Δ = 93° 23' 31"	R = 70.00'	L = 114
(Q)	Δ = 51° 43' 35"	R = 140.19'	L = 126
(R)	Δ = 38° 05' 25"	R = 170.00'	L = 112
(S)	Δ = 86° 36' 29"	R = 36.29'	L = 54.
(T)	Δ = 66° 25' 19"	R = 50.00'	L = 57.
(U)	Δ = 167° 57' 35"	R = 50.00'	L = 146
(V)	Δ = 80° 25' 55"	R = 99.13'	L = 139
(W)	Δ = 80° 25' 55"	R = 55.04'	L = 77.
(X)	Δ = 67° 23' 01"	R = 150.00'	L = 176

CENTERLINE

(1)	Δ = 31° 15' 00"	R = 353.98'	L = 193
(2)	Δ = 23° 30' 00"	R = 586.54'	L = 24C
(3)	Δ = 38° 05' 25"	R = 200.00'	L = 132
(4)	Δ = 03° 14' 45"	R = 1008.17'	L = 57.
(5)	Δ = 29° 01' 47"	R = 200.00'	L = 101



NOTICE:
According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

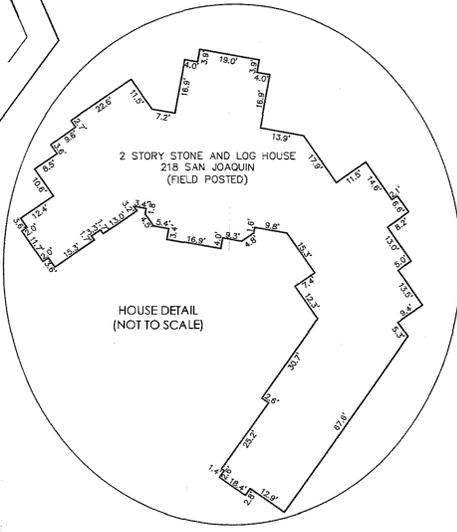
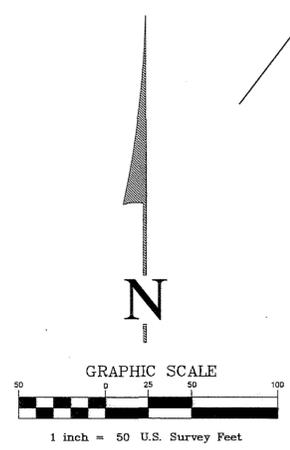
1. According to Flood Insurance Rate Map 08113C0100 C dated September 30, 1988, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
2. Easement research from Land Title Guarantee Company, as an agent for Old Republic National Title Company, Commitment No. LR86002839, Effective Date October 31, 2012 at 5:00 P.M.
3. Lineal Units U.S. Survey Feet.

PROPERTY DESCRIPTION:
Lot 1166, Filing 30, San Joaquin Village, Telluride Mountain Village, according to the Plat recorded March 23, 1993 in Plat Book 1 at page 1463, and the Substantial Amendment to the Final Plat recorded December 22, 1994 in Plat Book 1 at page 1789.
County of San Miguel
State of Colorado

BASIS OF BEARINGS:
The Basis of Bearings for this Improvement Survey Plat was derived from the North line of Lot 1166, according to the Plat of Filing 30, San Joaquin Village, Telluride Mountain Village, Recorded March 23, 1993 in Plat Book 1 at page 1463, said bearing being **S 23°26'33" E**, both being found monuments as depicted on this plat.

SURVEYOR'S CERTIFICATE:
I, Christopher R. Kennedy, of San Juan Surveying, being a Licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Improvement Survey Plat prepared for Land Title Guarantee Company as an Agent for Old Republic National Title Insurance Company, Rainy Day Trust, and Two Trails LLC, a Colorado Limited Liability Company was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

Christopher R. Kennedy
Christopher R. Kennedy, P.L.S. 36577
11/16/2012



IMPROVEMENT SURVEY PLAT
LOT 1166, FILING 30, SAN JOAQUIN VILLAGE, TELLURIDE MOUNTAIN VILLAGE

SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728 - 1128 (970) 728 - 9201 fax
office@sanjuansurveying.net

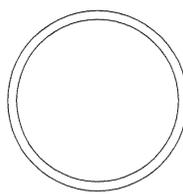
DATE: 11/16/2012
JOB: 9897
DRAWN BY: CLK
CHECKED BY: SH
REVISION DATES:
SHEET: 1 OF 1

SITE PLAN / PROPOSED GATE LOCATION
SCALE: 1" = 50'-0"



A PROPOSED SECURITY GATE FOR:
218 SAN JOAQUIN ROAD
LOT 1166, TELLURIDE MOUNTAIN VILLAGE,
TOWN OF MOUNTAIN VILLAGE, COLO.

NO.	DATE	DESCRIPTION
11.26.14	REVISED DRB	
11.21.14	DRB	

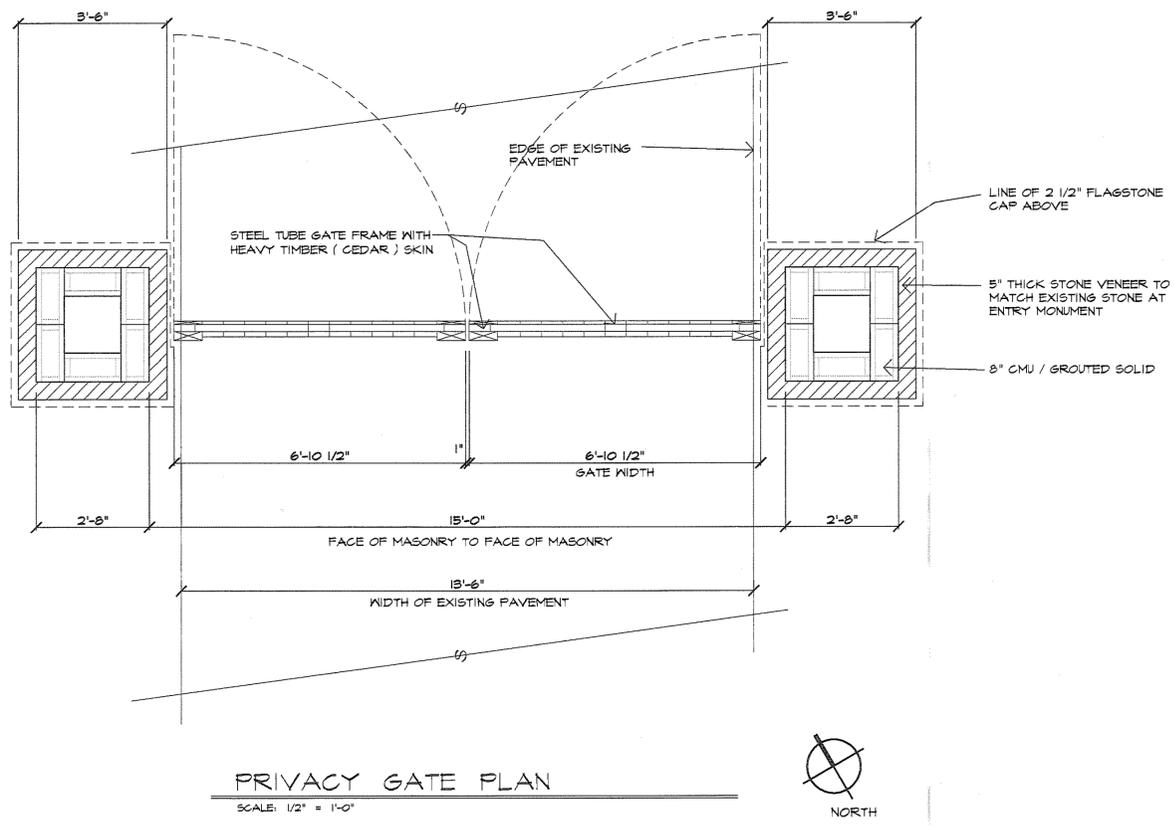
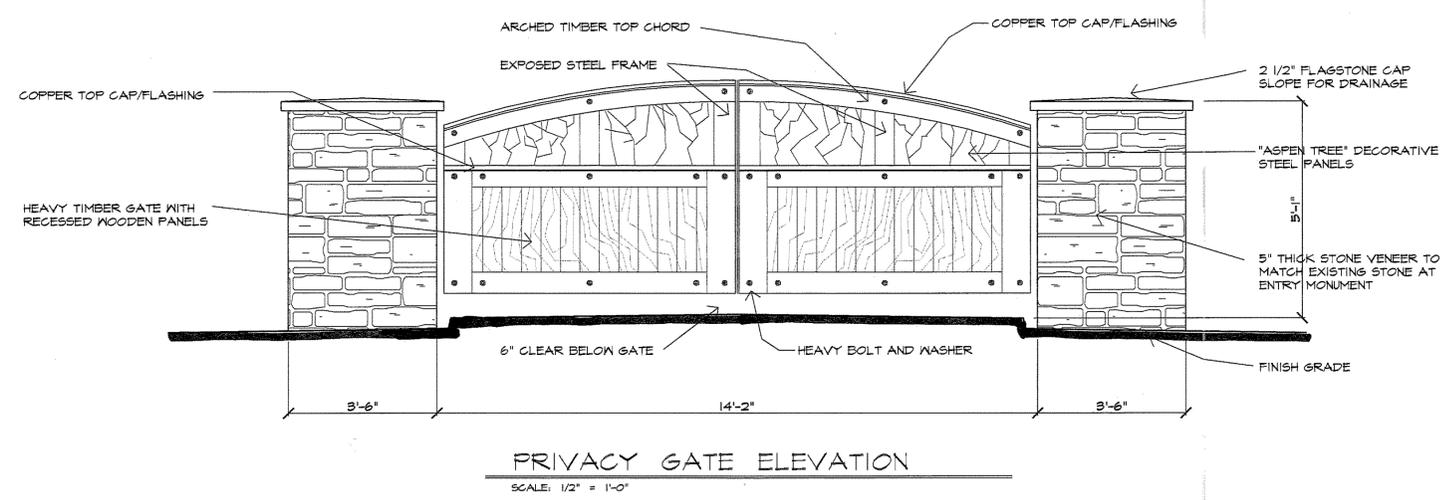


DRAWING NUMBER:
AS-1

Ownership of Documents
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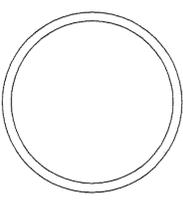
**DOUG MILLER
DESIGNS**

PHONE: (970) 728-8939
 FAX: (970) 728-8795
 P.O. BOX 314
 TELLURIDE, COLORADO 81424

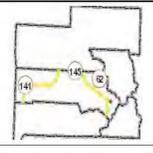


A PROPOSED SECURITY GATE FOR:
218 SAN JOAQUIN ROAD
 LOT 1166, TELLURIDE MOUNTAIN VILLAGE
 TOWN OF MOUNTAIN VILLAGE, COLO.

NO.	DATE	DESCRIPTION
11.26.14	REVISED DRB	
11.12.14	DRB	



DRAWING NUMBER:
A-1



- Legend**
- Parcel Boundaries
 - Roads (>12,000)
 - Arterial
 - Main
 - Local
 - Primitive
 - Town Boundaries
 - County Boundaries





**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Design Review Board

FROM: Chris Hawkins, Director of Community Development

FOR: DRB Public Hearing on February 5, 2015

DATE: January 29, 2015

RE: Consideration of a Design Review Process application for a new single-family residence and an accessory dwelling unit on Lot 407R

PROJECT GEOGRAPHY

Legal Description: Lot 407R, Mountain Village Filing No. 19

Address: 134 Hood Park

Applicant/Agent: Tommy Hein Architects

Owner: Sheila Timm Living Trust

Zoning: Single-family Zone District

Existing Use: Single-family Dwelling

Proposed Use: No change in use

Adjacent Land Uses:

- **North:** Single-family lots
- **South:** Single-family lots and Hood Park Open Space
- **East:** Single-family lots
- **West:** Single-family lots

Lot Size: 2.304 acres

PROJECT SUMMARY

CDC Provision	Requirement	Proposed
Maximum Building Height	40' maximum (35'+5' for gable roof)	Approx. 37'
Maximum Avg Building Height	35' maximum (30'+5' for gable roof)	23'
Maximum Lot Coverage	40% maximum	9.4% (10,675 sq. ft.)
General Easement Setbacks		
North	16'	23'
South	16'	19'
East	16'	22'
West	16'	145'
Roof Pitch		
Primary	6:12 to 12:12	9:12
Secondary	4:12 unless specific approval	4:12
Exterior Material		
Stone	35%	35.7% (5,872 sq. ft.)
Wood	25% (No requirement)	22.4% (3,695 sq. ft.)
Windows/Doors	40% maximum for windows	20% (3,300 sq. ft.)
Plaster Veneer	Specific Approval	8.9% (1,470 sq. ft.)
Metal Grate Accent	Specific Approval	2.5% (417 sq. ft.)

Exterior Material (Continued)		
Painted Copper Accent Panel	Specific Approval	1% (176 sq. ft.)
Standing Seam Metal Siding	Design Variation Required	3% (598 sq. ft.)
Board Formed Concrete	Specific Approval	6.2% (1,012 sq. ft.)
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 non-tandem

ATTACHMENTS

- Exhibit A: Vicinity Map
- Exhibit B: Applicant Narrative
- Exhibit C: Design Review Plans

RECORD DOCUMENTS

- Town of Mountain Village Community Development Code as amended (CDC)
- Town of Mountain Village Home Rule Charter as amended
- Design Review Application as maintained by the Community Development Department

BACKGROUND

The Design Review Board (DRB) conducted a conceptual worksession on the proposed development on December 5, 2013.

CRITERIA FOR DECISION

1. The proposed development meets the Design Regulations;
2. The proposed development is in compliance with the Zoning and Land Use Regulations;
3. The proposed development complies with the road and driveway standards;
4. The proposed development is in compliance with the other applicable regulations of this CDC;
5. The development application complies with any previous plans approved for the site still in effect;
6. The development application complies with any conditions imposed on development of the site through previous approvals; and
7. The proposed development meets all applicable Town regulations and standards.

ANALYSIS

The proposed addition complies with the Design Regulations and the Design Review Process as outlined in the findings set forth in the attached resolution. The following are the outstanding matters that have to be corrected or addressed:

General Easement Setback

CDC Section 17.3.14 states that when a proposed development is approved that is five (5) feet or less from the general easement setback, other setback or a lot line, the review authority approval shall include a condition that a monumented land survey shall be prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into the general easement setback. Staff has added a condition of approval to address this CDC requirement.

The proposed grading plan is showing some very limited grading in the general easement for drainage on the west side of the dwelling and for new drainage on either side of the driveway. The definition of the general easement allows for drainage. Staff is supportive of the drainage as shown because it is an authorized activity in the general easement, and because the extent of the grading has been minimized and mitigated.

The applicant is proposing a ski-out in the general easement on Lots 404, 227A and 227B. CDC Section 17.3.14(L) states that one function of the general easement is to provide for skier access to the ski area. A lot owner may seek skier access to the ski area by the general easement through an intervening lot(s) only if the Town Council approves a class 5 development application for such request, and provided the following criteria are determined by the Council to be met:

1. No disturbance or snow grooming activity is proposed or shall occur in the general easement on the intervening lot(s) without the permission of the intervening lot owner(s).
2. There is adequate buffering and setback between the general easement and any existing home(s) on the intervening lot(s).
3. The owner(s) of the intervening lots are notified of the Council's consideration of the class 5 development application following the public hearing noticing requirements' mailing notice details, with at least 30 days notice provided prior to the Town Council meeting at which the development application will be considered.
4. The location of the access to the ski area is approved ski resort operator if there is any disturbance or snow grooming activity creating a formal entry into the ski area.

This proposal will therefore have to be reviewed and approved by the Town Council prior to issuing a development permit. Staff has added a condition to the DRB resolution addressing this matter.

The development is proposing a step site wall in the general easement. A general easement encroachment agreement will need to be created, executed and recorded prior to issuing a certificate of occupancy. Staff has added a condition to the DRB resolution addressing this matter.

Design Variations

The applicant is seeking the following two design variations pursuant to CDC Section 17.4.11(E)(5):

1. Use of Standing Seam Metal as an accent base material in lieu of stone or wood as outlined in CDC Section 17.5.6(A)(1)(a); and
2. Use of 11" x 6" vertical wood siding in lieu of 11" x 8" or greater as outlined in CDC Section 17.5.6(E)(2).

Section 17.4.11(E)(5)(e) states that the following criteria shall be met for the review authority to approve a design variation development:

1. The design variation is compatible with the design context of the surrounding area, and provides for a strong mountain vernacular design.
2. The design variation is consistent with the town design theme;
3. The strict development application of the Design Regulations(s) would prevent the applicant or owner from achieving its intended design objectives for a project;

4. The design variation is the minimum necessary to allow for the achievement of the intended design objectives;
5. The design variation is consistent with purpose and intent of the Design Regulations;
6. The design variation does not have an unreasonable negative impact on the surrounding neighborhood; and
7. The proposed design variation meets all applicable Town regulations and standards.

Cost or inconvenience alone shall not be sufficient grounds to grant a design variation.

The applicant's narrative states the following concerning the variations:

"We are requesting a Design Variation to allow for the use of Standing Seam Metal as an accent base material in lieu of Stone or Wood as outlined in Section 17.5.6.A.1.a of the CDC. It is our position that this material is consistent with the purpose and intent of the CDC in that materials near grade should be able to withstand snow, rain and elements. The Standing Seam Metal we are proposing is used in relatively small areas to break up the liberal use of stone and wood elsewhere. This material does not have a negative impact on the surrounding neighborhood and meets all applicable Town regulations and standards. Also, we are requesting a Design Variation to allow for the use of 1"x6" vertical wood siding in lieu of 1"x8" or greater as outlined in Section 17.5.6.E.2 of the CDC. We do use 1"x8" horizontal wood siding as the major wood siding material, however it is our intention to use 1"x6" vertical siding in locations where a smaller scale siding is appropriate. This material does not have a negative impact on the surrounding neighborhood and meets all applicable Town regulations and standards."

Doors

CDC Section 17.5.6(H)(1) states, for single-family development, doors and entryways shall use handcrafted materials whenever possible. The primary entrance doorways shall establish interest, variety and character and shall be reviewed by the review authority on an individual basis. The applicant has not yet selected the desired doors. Staff is therefore recommending that any DRB approval include a condition that the applicant will provide proposed design for the new entry and garage doors to Town staff for review and approval prior to the issuance of a development permit.

Exterior Colors

CDC Section 17.5.6(F) states that exterior material color shall harmonize with the natural landscape within and surrounding the town. Color shall be natural, warm and subtle. Any colors used on details such as trim, fascia and timbers can be stronger and provide contrast to the more subtle tones of large wall areas. The applicant will be presenting the proposed exterior colors to the DRB at the hearing. Other proposed exterior materials and colors are presented in the design review plan set.

Windows

CDC Section 17.5.6(G)(4) states that windows shall appear to be punched into massive walls. Window patterns and reveals need to be carefully studied to create interest and variety. All windows in stone or stucco walls shall be recessed so that the exterior face of the glass is set back a minimum of five inches (5") from the outside face of the exterior wall assembly. Built-out eyebrows shall not be used to circumvent the intent of the window recess requirement.

The plans need to be revised to show the dimension for the 5” recess for the stone walls since one section shows the recess without a dimension. Moreover, the DRB should consider if there should be a five inch recess for the plaster walls since plaster is somewhat close to stucco. Staff has added a condition to address revising the plans to show the 5” minimum stone wall recess.

CDC Section 17.5.6(G)(10) states that Window frames and trim shall be painted or stained wood, painted or clad aluminum or patina copper clad. The applicant has not submitted any details on the proposed window frames. Staff therefore recommends that any approval include a condition that the window frame and trim details be submitted for review and approval prior to issuing a development permit.

Parking Regulations

The site plan will need to be revised to include a snow storage plan that shows areas equal to 25% of the pave area in snow storage. Staff has added a condition of approval to address these needed site plan changes.

Landscaping Regulations

The landscaping plan will have to be revised to include notation on the following required Landscaping Regulations prior to issuing a development permit:

1. Section 17.5.9(C)(4) requires certain elements in the irrigation system, such as a backflow preventer, interior and exterior drain valves, and a master control valve. The landscaping plan will have to be revised to include notations on the required efficient water use design elements.
2. Section 17.5.9(C)(5) requires certain measures to ensure soil protection and erosion control.
3. The native grass seed mix also needs to be specified consistent with the Landscaping Regulations.
4. Landscaping general note No. 3 to replace the word “Necessary” with “Planted”
5. Landscaping general note No. 7 needs to include the correct reference to the CDC weed regulations (Section 9-109 is part of the old LUO/Design Regulations).
6. General landscaping note No. 8 can be removed.

Staff has added a condition to address these requirements.

Lighting Regulations

The application is in conformance with the Lighting Regulations except for an isofootcandle study. The applicant will present this study at the meeting.

Miscellaneous Issues

Staff notes the following miscellaneous plan revisions that have to be made:

1. The construction mitigation plan note concerning construction on Sunday has to be removed since no construction activity is allowed on Sundays.

2. The wildfire mitigation plan needs to have a note added that the trees to be removed for fire mitigation will be marked in the field by the Town Forester, and the zones shown hereon do not bind the Town in the application of the Fire Mitigation Regulations.

Staff has added a condition of approval to address these changes.

RECOMMENDATION

Staff recommends the DRB approve the Design Review Process development application with the following motion:

“I move to approve a resolution for a Design Review Process development application for an addition on an existing single-family residence on Lot 407R, with the findings and conditions as set forth in the resolution”

**RESOLUTION OF THE DESIGN REVIEW BOARD
OF MOUNTAIN VILLAGE, COLORADO, AUTHORIZING AND APPROVING THE
DESIGN REVIEW PROCESS FOR A NEW SINGLE-FAMILY RESIDENCE AND AN
ACCESSORY DWELLING UNIT ON LOT 407R**

Resolution No. 2015-0205-__

RECITALS:

- A. Sheila Timm Living Trust (“Owner”) is the owner of certain real property described as Lot 407R, Mountain Village Filing No. 19
- B. The Owner’s Representative, Tommy Hein Architects, has submitted a Class 3 Design Review Process application requesting approval for an addition on an existing single-family residence on Lot 407R (“Application”).
- C. The Design Review Board (DRB) considered this application, along with evidence and testimony, at a public hearing held on February 5, 2015. Upon concluding their review, the DRB voted - to approve the Application.
- D. The public hearing on the Application referred to above was preceded by public notice as required by the public hearing noticing requirements set forth in the Community Development Code (“CDC”).
- E. The DRB considered the Application submittal materials, all other relevant materials, public letters and public testimony, and approved the Application with conditions as set forth in this Resolution.
- F. The Owners have addressed, or agreed to address, all conditions of approval of the Application imposed by the DRB.
- G. DRB based their approval of this Application on the following findings, as stated required by section CDC Section 17.4.11(D):
 - 1. With compliance of the conditions set forth below, the proposed development meets the Design Regulations because, without limitation, the development is compliant with the Town design theme, building siting design requirements, building design requirements, grading and drainage design, trash and recycling area design, and utilities design.
 - 2. The DRB finds that the variations to use standing seam metal as an accent base material in lieu of stone or wood as outlined in CDC Section 17.5.6(A)(1)(a) and the use of 11” x 6" vertical wood siding in lieu of 11” x 8" or greater as outlined in CDC Section 17.5.6(E)(2) meet the criteria for approving variations as set forth Section 17.4.11(E)(5)(e):
 - a. The design variation is compatible with the design context of the surrounding area, and provides for a strong mountain vernacular design;
 - b. The design variation is consistent with the town design theme;
 - c. The strict development application of the Design Regulations(s) would prevent the applicant or owner from achieving its intended design objectives for a project;
 - d. The design variation is the minimum necessary to allow for the achievement of the intended design objectives;
 - e. The design variation is consistent with purpose and intent of the Design Regulations;

- f. The design variation does not have an unreasonable negative impact on the surrounding neighborhood; and
 - g. The proposed design variation meets all applicable Town regulations and standards.
3. With compliance of the conditions set forth below, the proposed development is in compliance with the Zoning and Land Use Regulations because, without limitation, the development is permitted in the Single-family Zone District, the density limitation is not impacted, the platted open space requirements are met, and the General Easement Setback requirements in CDC Section 17.3.14 have been met.
 4. With compliance of the conditions set forth below, the proposed development is in compliance with the other regulations of this CDC, including but not limited to the Development Review Procedures, the Fire Mitigation Regulations and the Road and Driveway Standards.
 5. As of the Effective Date, development on Lot 407R complies with previous plans approved for the site still in effect.
 6. As of the Effective Date, the development application complies with conditions imposed on development of the site through previous approvals.
 7. The proposed development meets all applicable Town regulations and standards.

Now, Therefore, Be It Resolved that the DRB hereby approves the Application and authorizes the DRB Chairman to sign the Resolution subject to the conditions in Section 1.

Section 1. Development Application Conditions

1. Prior to the issuance of a certificate of occupancy: (A) a monumented land survey shall be provided to ensure no general easement encroachments of the roof dripline or other planned site improvements that are in close proximity to the general easement; and (B) a general easement encroachment agreement for the step wall and address monument.
2. The proposed ski-out trail is contingent upon the Town Council approving the proposed skier access through the general easement on Lots 404, 227A and 227B. The Town Council will need to review and act on the proposed ski-out path as a class 5 development application prior to the issuance of a development permit.
3. Prior to issuing a development permit, the building elevations shall be revised to include details on the design of the entry and garage doors consistent with CDC Section 17.5.6(H)(1).
4. Prior to issuing a development permit, the Applicant shall submit revised plans to show: (A) the required 5" minimum window recess for stone walls; and (B) the proposed treatment and materials for the window trim and frames.
5. Prior to issuing a development permit, the site plan shall be revised to show the required snow storage plan, with storage areas equal to a minimum of 25% of the paved areas.
6. Prior to issuing a development permit, the landscaping plan shall be revised to address the detailed list of needed revisions outlined in the staff memo of record dated January 29, 2015.
7. Prior to issuing a development permit, the plans shall be revised to: (A) remove the construction mitigation plan note regarding construction on Sundays; and (B) add the following note to the fire mitigation plan: "The trees to be removed for fire mitigation will be marked in the field by the Town Forester, and the zones shown hereon do not bind the Town in the application of the Fire Mitigation Regulations".
8. The development shall comply with the following required surveys and inspections as set forth in CDC Section 17.5.5(J):
 - A. As required by CDC section 17.3.14, the developer shall submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into the general easement setback prior to the Building Division conducting the required footing or foundation inspection as applicable.

B. Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight foot (8') materials board shall be erected on site consistent with the review authority approval to show:

- i. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- ii. Wood that is stained in the approved color(s);
- iii. Any approved metal exterior material;
- iv. Roofing material(s); and
- v. Any other approved exterior materials

This materials board shall remain on the site in a readily visible location until the project receives a certificate of occupancy or a temporary certificate of occupancy.

C. Prior to or concurrent with the Building Division conducting the foundation and framing inspections, the Planning Division shall conduct site inspections to ensure the development is proceeding in accordance with the approved plans.

D. Prior to the issuance of either a certificate of occupancy or a temporary certificate of occupancy, the Planning Division shall inspect the site to ensure the development is constructed in accordance with the approved plans, including but not limited to all exterior materials, windows, exterior lighting, landscaping, drainage and massing.

E. Prior to the Building Division conducting the required footing or foundation inspection for an accessory dwelling unit, a monumented land survey prepared by a Colorado public land surveyor to ensure that an accessory dwelling unit will contain the maximum floor area as approved by the review authority. Such a survey may also be required by the review authority for any other land use that has a maximum or minimum size established by the CDC a PUD or by a development agreement with the Town.

9. All representations of the applicant, whether within the submittal or at the DRB hearing, are conditions of this approval.

Section 2. Effective Date and Length of Validity

1. This approval shall be effective seven (7) calendar days from the date of the DRB approval, on February 12, 2015 unless an appeal is filed in accordance with the CDC appeal procedures. If an appeal is filed pursuant to the appeal procedures, building permits or other development permits shall not be issued until the appeal is heard by the Town Council and it takes action to uphold or modify the approval.
2. This approval shall be valid for eighteen (18) months from the effective date of approval and shall lapse on August 5, 2016 unless a Renewal Process development application is approved by the Town pursuant to the CDC.

Section 3. Void Approval

A resolution or subsequent approval issued by the Town in error or which does not comply with the provisions of this CDC or Town-adopted codes, ordinances and regulations is null and void. A permit, certificate or license issued in reliance upon any materially false statement in the development application, supporting documents or oral statements made on the record shall be null and void.

Be It Further Resolved that the Application may be developed as submitted in accordance with Resolution No. 2015-0205-

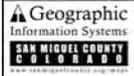
Approved by the Design Review Board at a public meeting February 5, 2015.

Town of Mountain Village, Design Review Board

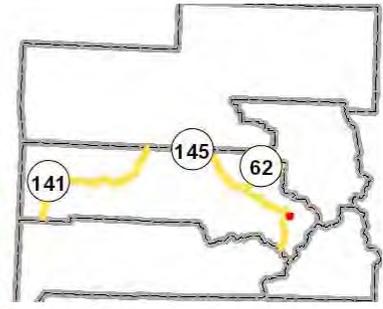
By: _____
Bill Hoins, Chairman

Attest:

By: _____
Chris Hawkins, Director of Community Development



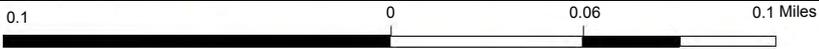
webMap
San Miguel County, Colorado



Legend

-  Parcel Boundaries
-  Town Boundaries
-  County Boundaries

1:3,498 



NAD_1983_UTM_Zone_13N
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THIS MAP IS NOT TO BE USED FOR NAVIGATION
www.sanmiguelcounty.org/maps

Notes

TIMM RESIDENCE

December 19, 2014

DRB FINAL – Revised per Referral & Review Comments

Dan and Sheila Timm are from the Midwest and have been visiting Telluride for over a decade. They have two grown children and several young grandchildren. This is truly their dream family home with adequate space for multiple generations and friends.

This is a large lot at the end of the Hood Park Road on the north side of the street. The neighbors are located a significant distance away both east and west. Neighbors to the north are below this property and access their homes from the road below. The site slopes gently to the west and steeply to the north down to Benchmark. Most significant trees are saved on the site and our intention is to maintain a southern tree buffer to Hood Park. The best building area is a knoll –top towards the east end of the property, which is where we have located the primary living spaces. We have carefully positioned the main foundation south of the steepest portions of the site and allowed the overall form of the structures to be integrated into the natural landscape.

The home is arranged around two solar courtyards to the south with primary view spaces elongated along the north. Access to the site is from the south for optimal winter melting, in a gradual slope to the motor court and entry. A guest wing forms the western boundary of the house and is accessed via a heated path from the foyer. This solution was favored over adding the mass and floor area of an enclosed passage. A ski-out path is proposed through the trees to the west; ski-in and novice ski-out is proposed along the drive to the road.

The house grows from a solid stone or concrete base and reaches to the sky as chimneys flanking the main living space. The roof is a simple 9:12 gable that establishes a hierarchy in the middle, and then cascades down in all directions following the natural topography. All materials and colors are natural which further reinforces the character of our overall design theme. We are requesting the use of exterior plaster as an accent material to softly break up the massing and standing-seam patina copper on the lower portions of the roofs.

We are requesting a Design Variation to allow for the use of Standing Seam Metal as an accent base material in lieu of Stone or Wood as outlined in Section 17.5.6.A.1.a of the CDC. It is our position that this material is consistent with the purpose and intent of the CDC in that materials near grade should be able to withstand snow, rain and elements. The Standing Seam Metal we are proposing is used in relatively small areas to break up the liberal use of stone and wood elsewhere. This material does not have a negative impact on the surrounding neighborhood and meets all applicable Town regulations and standards.

Also, we are requesting a Design Variation to allow for the use of 1"x6" vertical wood siding in lieu of 1"x8" or greater as outlined in Section 17.5.6.E.2 of the CDC. We do use 1"x8" horizontal wood siding as the major wood siding material, however it is our intention to use 1"x6" vertical siding in locations where a smaller scale siding is appropriate. This material does not have a negative impact on the surrounding neighborhood and meets all applicable Town regulations and standards.

Thank you for your consideration of this project,
Tommy Hein, Architect

#

SKI-IN/OUT & GROOMING SIGN NOTE:
SIGN TO BE PLACED AT PROPERTY BOUNDARY THAT CONTAINS SIMILAR LANGUAGE AS STATED BELOW, PER TEL-SKI GROOMING AGREEMENT:
PRIVATE PROPERTY SIDE - "NO PRIVATE GROOMING BEYOND THIS POINT"
SKI AREA SIDE - "WARNING: YOU ARE LEAVING THE TELLURIDE SKI AREA AND TRESPASSING UPON PRIVATE PROPERTY. PLEASE TURN AROUND AND CONTINUE BACK TO MARMOT SKI RUN. THIS LAND IS NOT OWNED, MAINTAINED OR CONTROLLED BY TELLURIDE SKI RESORT IN ANY MANNER AND TELLURIDE SKI AND GOLF SHALL NOT BE RESPONSIBLE FOR ANY LOSS OR LIABILITY ASSOCIATED WITH YOUR OCCUPANCY OR USE OF THIS PROPERTY"

SNOW GROOMER TURN AROUND AND LOCATION OF PRIVATE PROPERTY SIGN - SEE NOTE THIS SHEET

LOT 228-B

LOT 228-A

BENCHMARK DRIVE

Tommy Hein

ARCHITECTS

BOX 3327 TELURIDE, COLORADO 81435 970.728.1220
FAX 728.1294 WWW.TOMMYHEIN.COM



SUBMISSIONS:

DRB WORK SESSION	11.14.13
CLIENT REVIEW	01.18.14
CLIENT REVISIONS	01.24.14
DD PROGRESS	03.28.14
DD / PRICING 1	07.18.14
BUDGET / CLIENT REVIEW	08.05.14
PLAN REVISIONS	10.03.14
PLAN UPDATES	10.17.14
DRB SUBMITTAL	11.07.14
PRICING 2 / ATLANTA TRIP	12.01.14
DRB R&R REVISIONS	12.19.14
DRB ADDITIONAL REVISIONS	01.20.15

TIMM RESIDENCE

Lot 407R
134 Hood Park RD

Mountain Village
Colorado

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OVERALL SITE PLAN

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

A1.0

- GENERAL SITE PLAN NOTES:**
- REFER TO C-SERIES SHEETS FOR GRADING PLANS.
 - ALL DISTURBED AREAS TO BE REVEGETATED. SEE LANDSCAPE PLAN FOR ALL LANDSCAPE INFORMATION, INCLUDING SITE WALLS AND WALKWAYS.
 - INTENT / STRATEGY IS TO MINIMIZE IMPACT TO EXISTING VEGETATION BY MINIMIZING GRADING AND PROTECTING EXISTING TREES WITH CHAIN LINK FENCING OR APPROVED ALTERNATE.
 - FIELD VERIFY REMOVAL OF TREES WITH ARCHITECT AND TOWN OF MOUNTAIN VILLAGE FOREST SUPERVISOR.
 - THERE ARE NO SIGNIFICANT ROCK OUTCROPPINGS ON SITE.
 - SLOPES GREATER THAN 30% ARE CALLED OUT ON SITE PLAN.
 - THERE ARE NO JURISDICTIONAL WETLANDS ON SITE.
 - REFER TO SHEET A1.10 FOR HEIGHT DIAGRAMS AND AVERAGE HEIGHT CALCULATIONS.
 - A USGS HEIGHT SURVEY WILL BE SUBMITTED TO MOUNTAIN VILLAGE DRB PRIOR TO SCHEDULING A FRAMING INSPECTION
 - A MONUMENTED LAND SURVEY OF FOOTERS WILL BE SUBMITTED TO MOUNTAIN VILLAGE DRB PRIOR TO POURING TO ENSURE NO ENCROACHMENTS ON THE GE

FIRE FLOW REQUIREMENTS ARE:
120,000 GPM. W/ SPRINKLERS FOR 2HRS

- ELEC. TRANSFORMER LOCATION
- WATER VALVE LOCATION
- GAS VALVE LOCATION
- UTILITY NOTE: REFER CIVIL DRAWINGS FOR UTILITY RUN LOCATIONS

1 OVERALL SITE PLAN
SCALE: 1" = 20'-0"



STAGING NOTES

1. CONTOUR INTERVAL IS 1'-0"
2. CUT AND SLASH TO BE REMOVED FROM SITE
3. PEDESTRIAN PROTECTION TO BE IMPLEMENTED WITH PROPER SIGNAGE AND HARD HAT REQUIREMENTS.
4. RECYCLING CONTAINERS FOR ALL RECYCLABLE MATERIALS.
5. HEAVY CONSTRUCTION NOISE IS NOT ALLOWED ON SUNDAYS
6. LIMIT OF TREE REMOVAL TO BE WITHIN INDICATED AREA EXCEPT WHERE DESIGNATED AS AREA OF TREES TO REMAIN WITHIN EXCAVATION LIMIT
7. SILT FENCE TO BE OF GEOTECH MATERIAL BURIED 8" BELOW GRADE AND EXTENDING UP 12" ABOVE GRADE. MATERIAL ATTACHED TO PICKETS LOCATED 4' O.C..
8. LIMITS OF EXCAVATION AND AREA OF TREES TO REMAIN TO BE WITHIN PERIMETER OF SILT FENCE
9. TREES TO REMAIN, AS FIELD SIGHTED BY ARCHITECT, TO BE PROTECTED THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
10. LIMITS OF CONSTRUCTION ACTIVITY TO BE WITHIN PERIMETER OF SILT FENCE. TREES WHICH MUST REMAIN WITHIN LIMITS OF DISTURBANCE PER FOREST MANAGEMENT SUPERVISOR

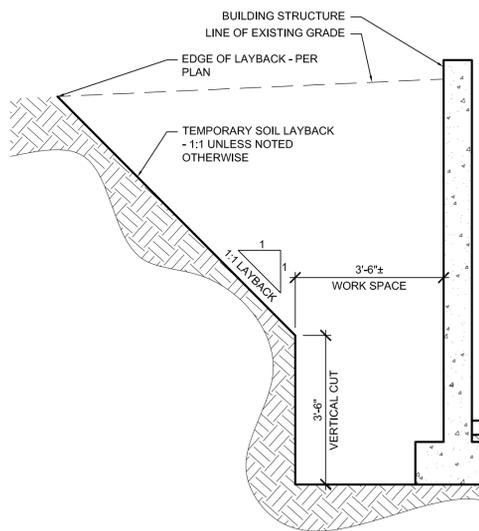
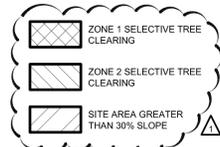
EROSION CONTROL NOTES

ROAD AND DRIVEWAY SHALL BE REVEGETATED WITHIN 30 DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE REVEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.

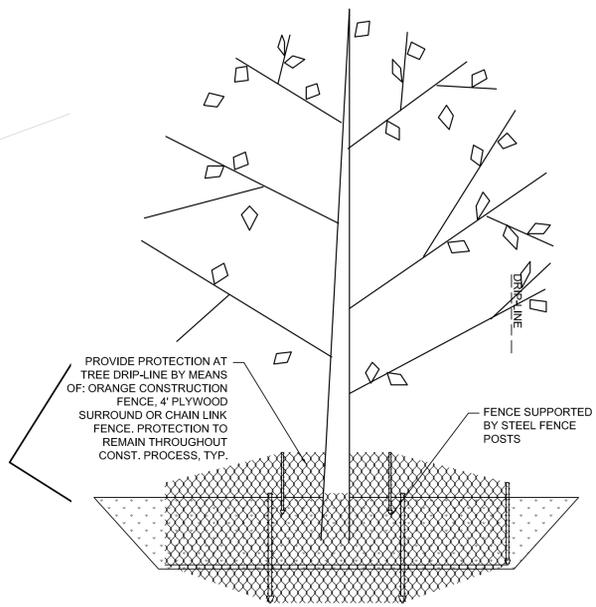
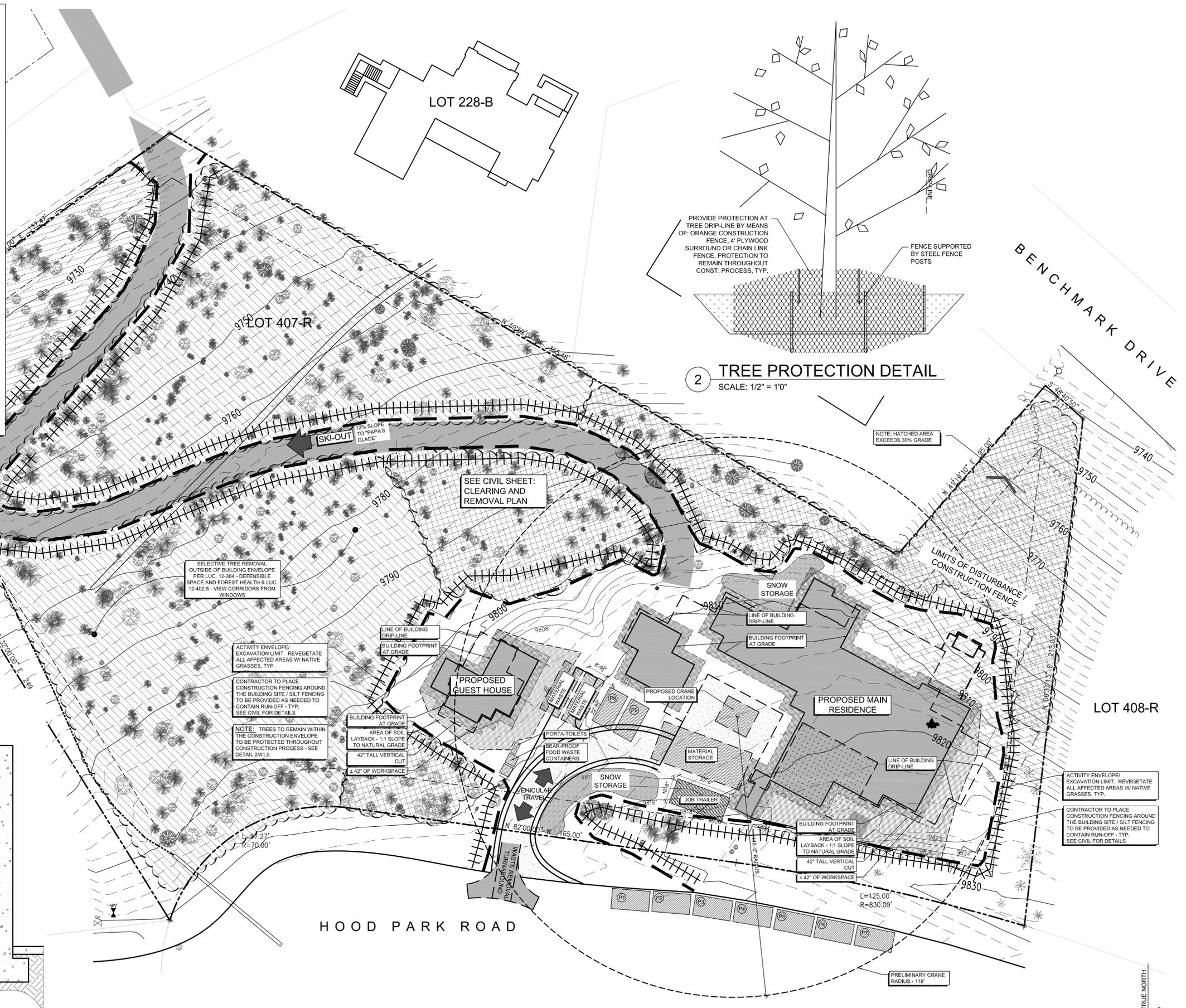
EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OF RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.

IN AREAS THAT ARE TO BE REVEGETATED, ESPECIALLY SEEDING LOCATION WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC, SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPE SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF THE SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED)

NEWLY SEEDDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION CONTROL NETTING. EROSION CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER. IF ALLOWED BY VARIANCE TO SECTION 9-103-2 AND IN DRAINAGE SWALES. FOR ADDITIONAL INFORMATION SEE SHEET C2.



3 LAYBACK DETAIL PER OSHA
SCALE: 1/2" = 1'0"



2 TREE PROTECTION DETAIL
SCALE: 1/2" = 1'0"

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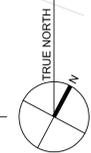
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CONST. MITIGATION PLAN

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A1.1

1 CONST. STAGING
SCALE: 1" = 20'-0"



PLANT SCHEDULE

NEW TREES TO BE PLANTED

BOTANICAL NAME	COMMON NAME	SIZE	QTY
 PICEA PUNGENS	COLORADO SPRUCE	15'-20'	5
 POPULUS TREMULOIDES	QUAKING ASPEN	10'-20'	12
 PINUS FLEXILIS	LIMBER PINE	10'-20'	7
 PINUS ARISTATA	BRISTLECONE PINE	10'-20'	3

TREE PLANTING OPTION - REMOVE AND STORE SELECTED TREES FOR REPLANTING.

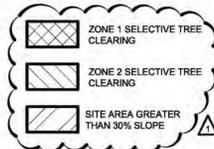
NOTE: SEE SHEET A1.2 FOR TREE PROTECTION DURING CONSTRUCTION

REVEGETATION NOTES

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN TEN DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED, OR ARE RELATIVELY UNDISTURBED, NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING.
- STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY AND 2 TONS PER ACRE FOR STRAW, CRIMP IN.
- ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 POUNDS PER ACRE:

LANDSCAPE GENERAL NOTES

- ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT.
- ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STAKED WITH 4 FOOT METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS, SHREDED CEDAR BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTED MATERIALS SHALL BE A NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEED LIST. LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
- PROPERTY OWNERS ARE REQUIRED TO PROVIDE THE DRB W/ A 2 YR. PLANT GUARANTEE ON ALL PLANT MATERIALS PLANTED AS PART OF THE LANDSCAPE PLAN.
- NO TREES TO BE REMOVED OUTSIDE OF THE BUILDING ENVELOPE.



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LANDSCAPE / IRRIGATION PLAN

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1 LANDSCAPE / IRRIGATION PLAN
SCALE: 1" = 20'-0"

NOT FOR CONSTRUCTION
A1.2

BUILDING HEIGHT CALCS

AVERAGE HEIGHT (PER LUC 17.3.11.C)

M#	ELEVATION AT MEASUREMENT	ELEV. AT MOST RESTRICTIVE GRADE	DIST. ABOVE MOST RESTRICTIVE GRADE
MSRMNT. 1	9829.73'	9812.59'	17.14'
MSRMNT. 2	9839.39'	9811.53'	27.86'
MSRMNT. 3	9839.79'	9811.60'	28.19'
MSRMNT. 4	9844.10'	9814.30'	29.80'
MSRMNT. 5	9848.54'	9812.79'	35.75'
MSRMNT. 6	9845.23'	9818.71'	26.52'
MSRMNT. 7	9842.02'	9812.82'	29.20'
MSRMNT. 8	9844.27'	9822.08'	22.19'
MSRMNT. 9	9844.42'	9821.47'	22.95'
MSRMNT. 10	9820.98'	9805.32'	15.66'
MSRMNT. 11	9819.99'	9804.40'	15.59'
MSRMNT. 12	9822.58'	9801.91'	20.67'

TOTAL OF MEDIAN HEIGHTS **291.52'**

AVERAGE HEIGHT - $291.52' / 12 = 24.29'$

MAX. AVERAGE ALLOWABLE = 30'

COMPLIANT BY 5.71'

MAXIMUM HEIGHT (PER LUC 17.3.12.A)

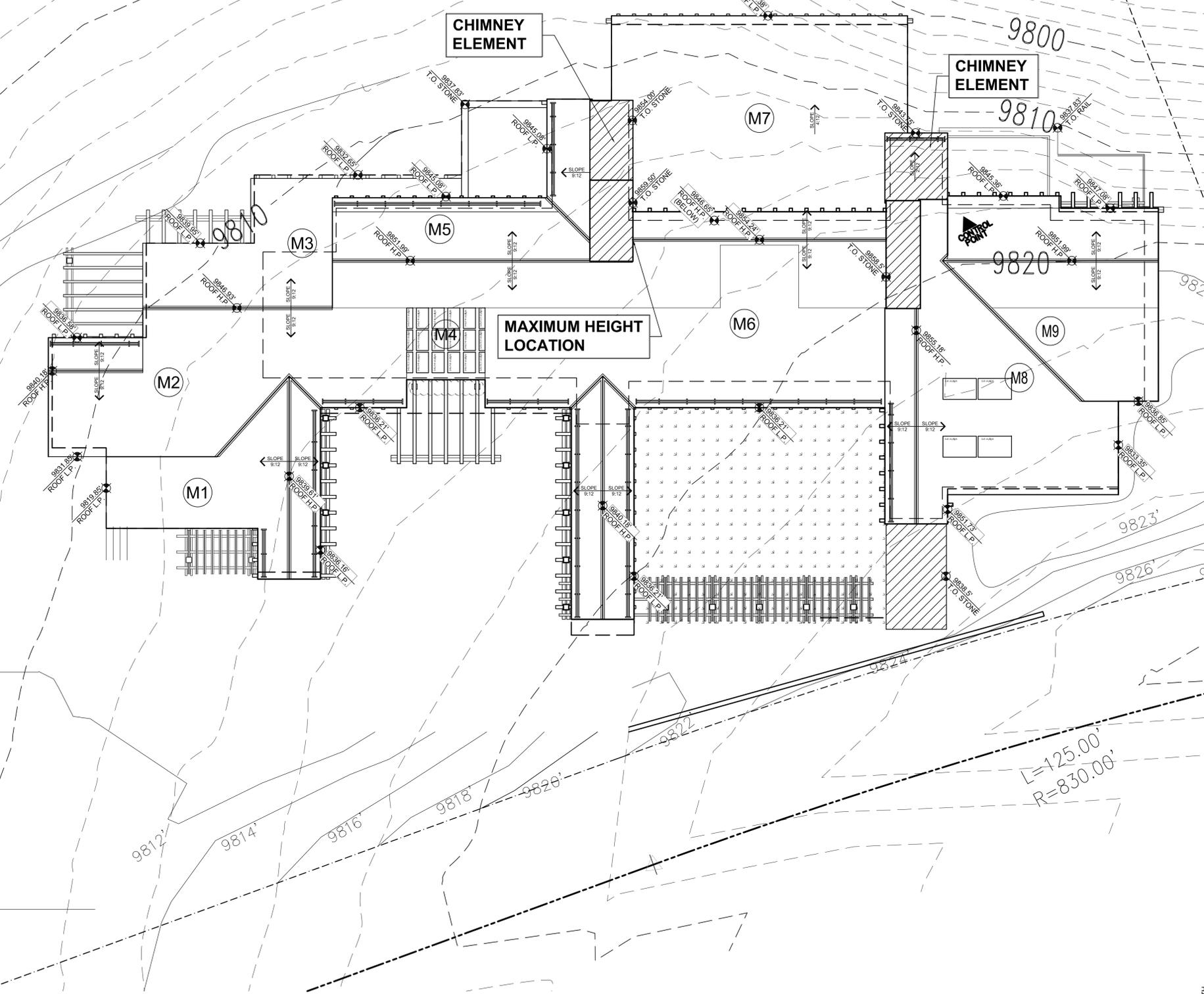
HIGHEST RIDGE 9854.24'

GRADE BELOW 9815.25'

MAXIMUM HEIGHT - 38.99'

MAXIMUM HEIGHT ALLOWABLE
35'-0" + 5'-0" (PER TABLE 3-3) = 40'-0"

COMPLIANT BY - 1.01'



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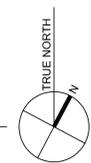
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BUILDING HEIGHT DIAGRAM

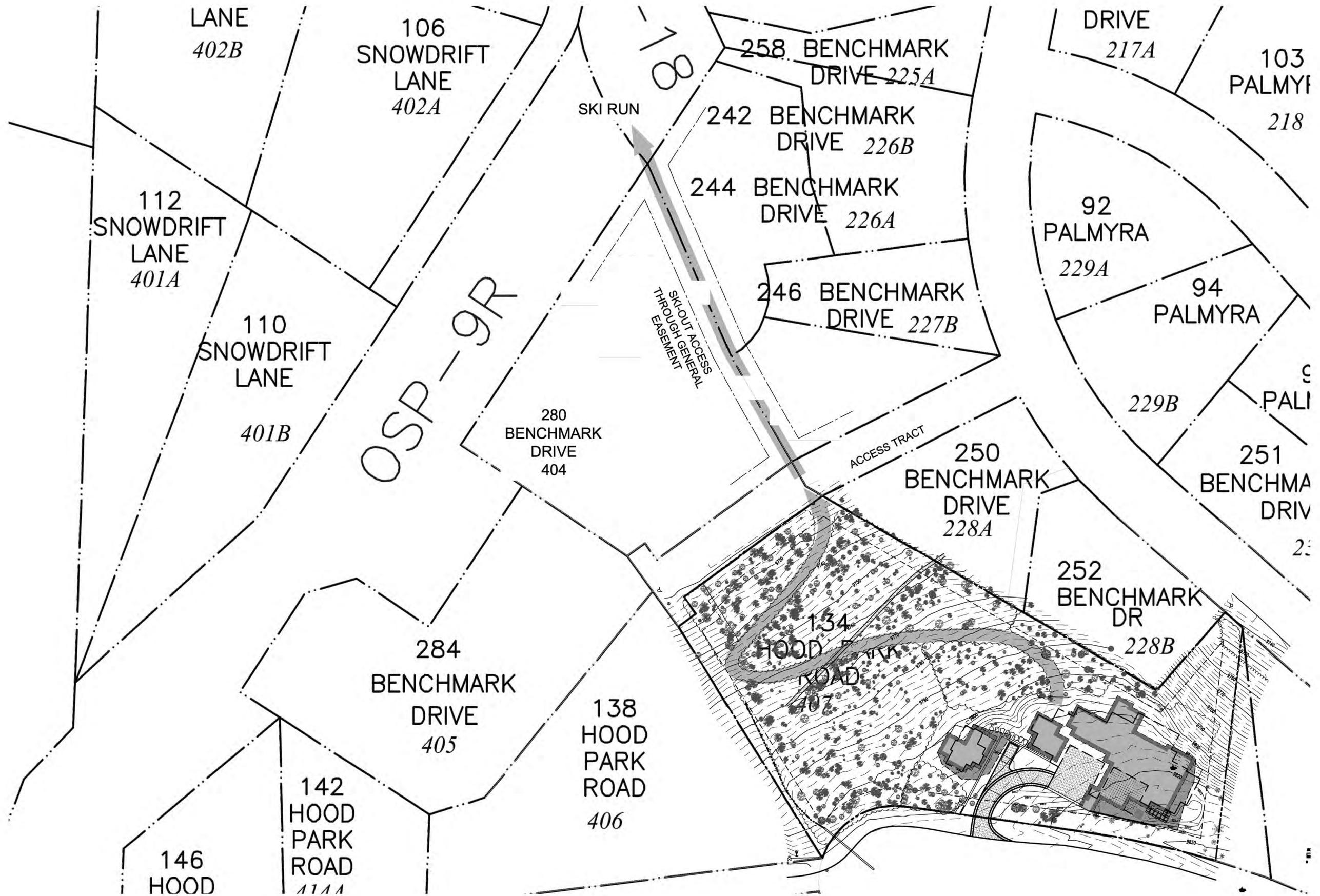
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A1.3

1 BUILDING HEIGHT
SCALE: 1" = 20'-0"



P:\Projects\2014\134 Hood Park RD\134 Hood Park RD.dwg, 1/20/15, 1:28:00 PM



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SKI-OUT ACCESS PLAN

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1 SKI OUT ACCESS PLAN
 SCALE: 1" = 40'-0"

NOT FOR CONSTRUCTION
A1.4



Uncompahgre
Engineering, LLC

P.O. Box 3945
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970-729-0683

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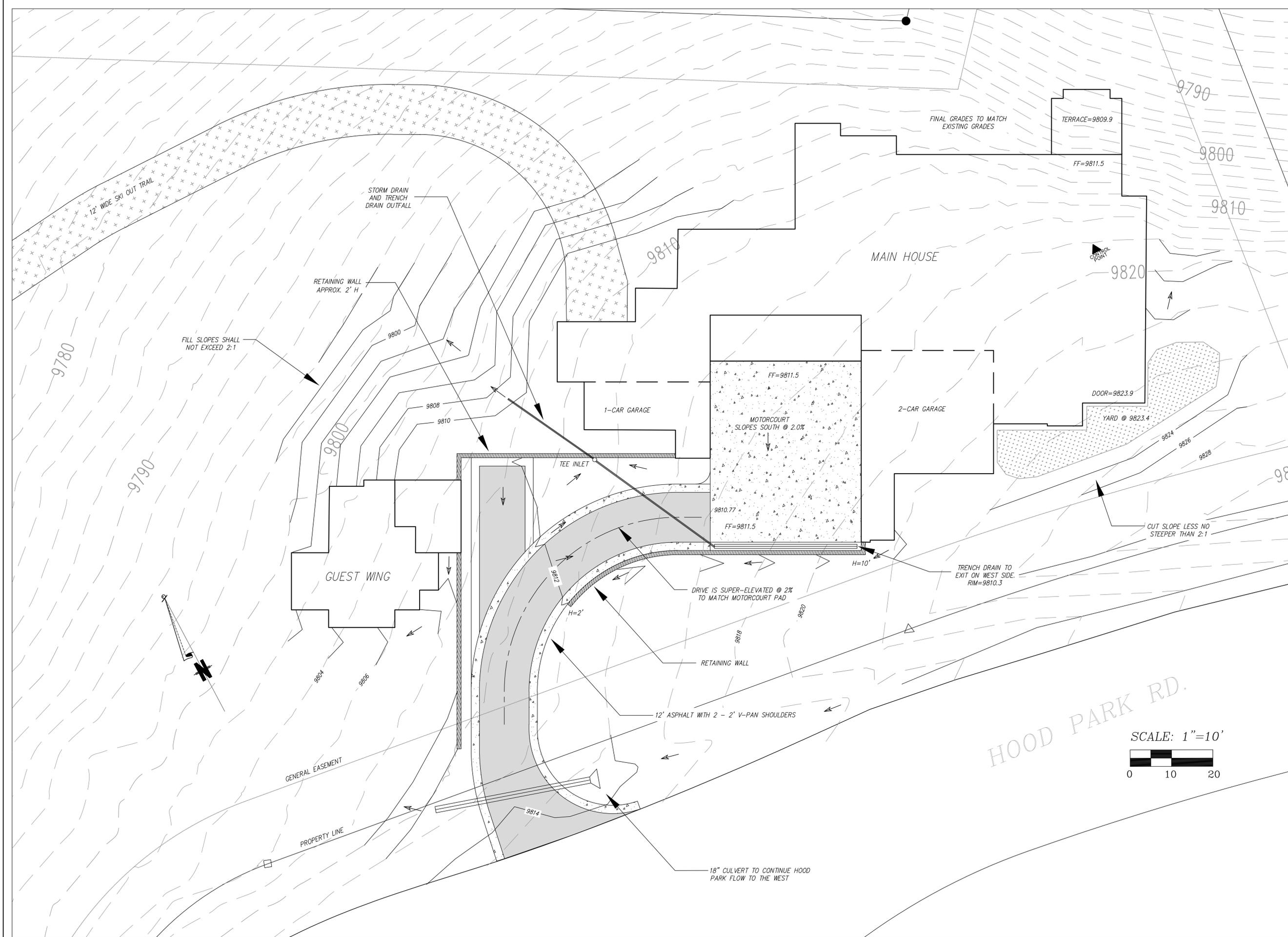
Lot 407
Mtn. Village, CO

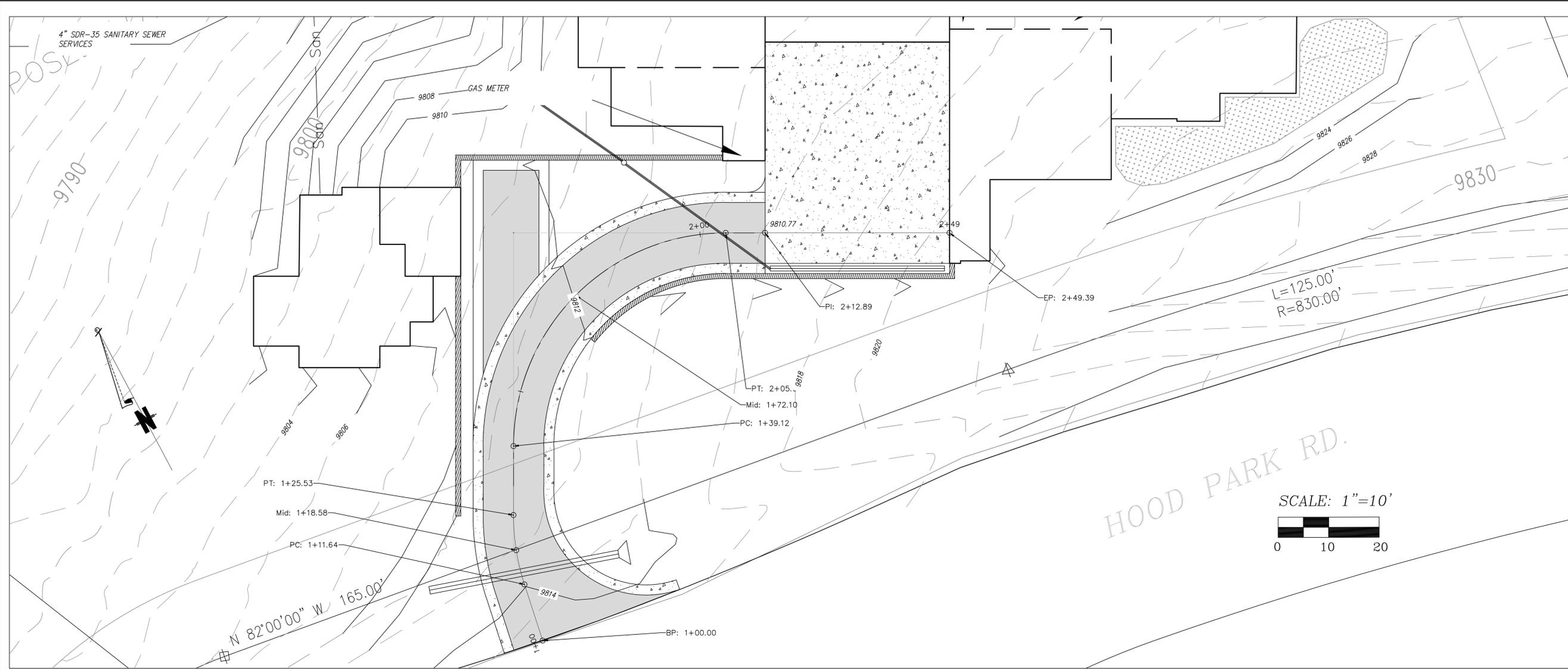
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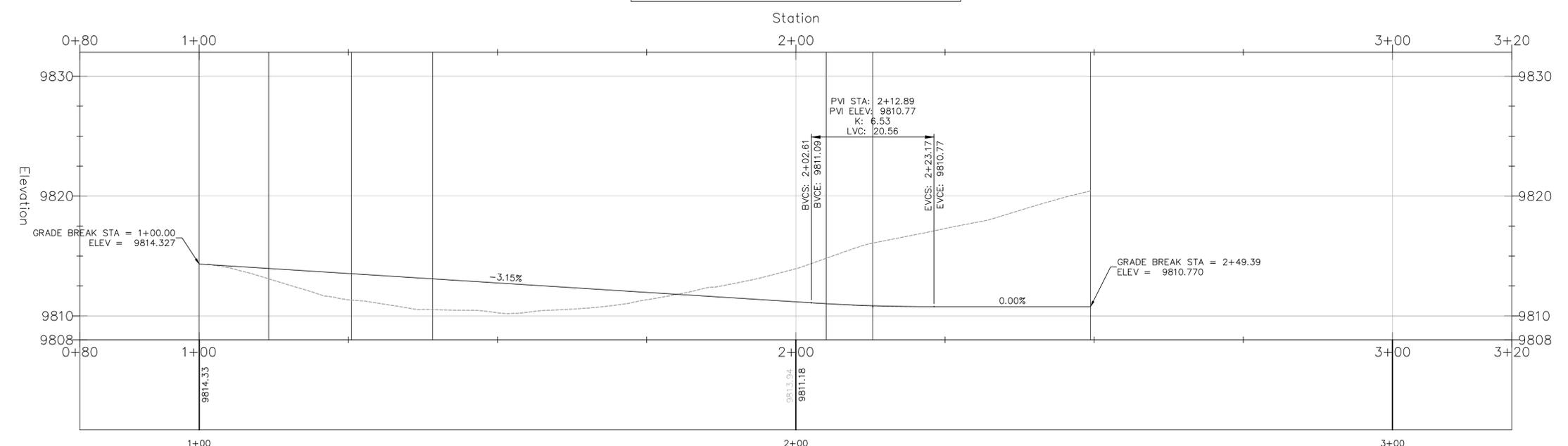
Grading
and
Drainage
Plan

C1





Main Driveway Timm Profile



Scale: 1"=10'
2x Vertical Exaggeration

Uncompahgre Engineering, LLC

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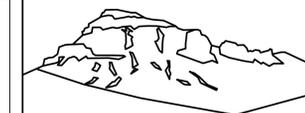
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Driveway
Plan
and
Profile

C2



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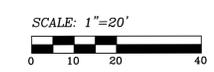
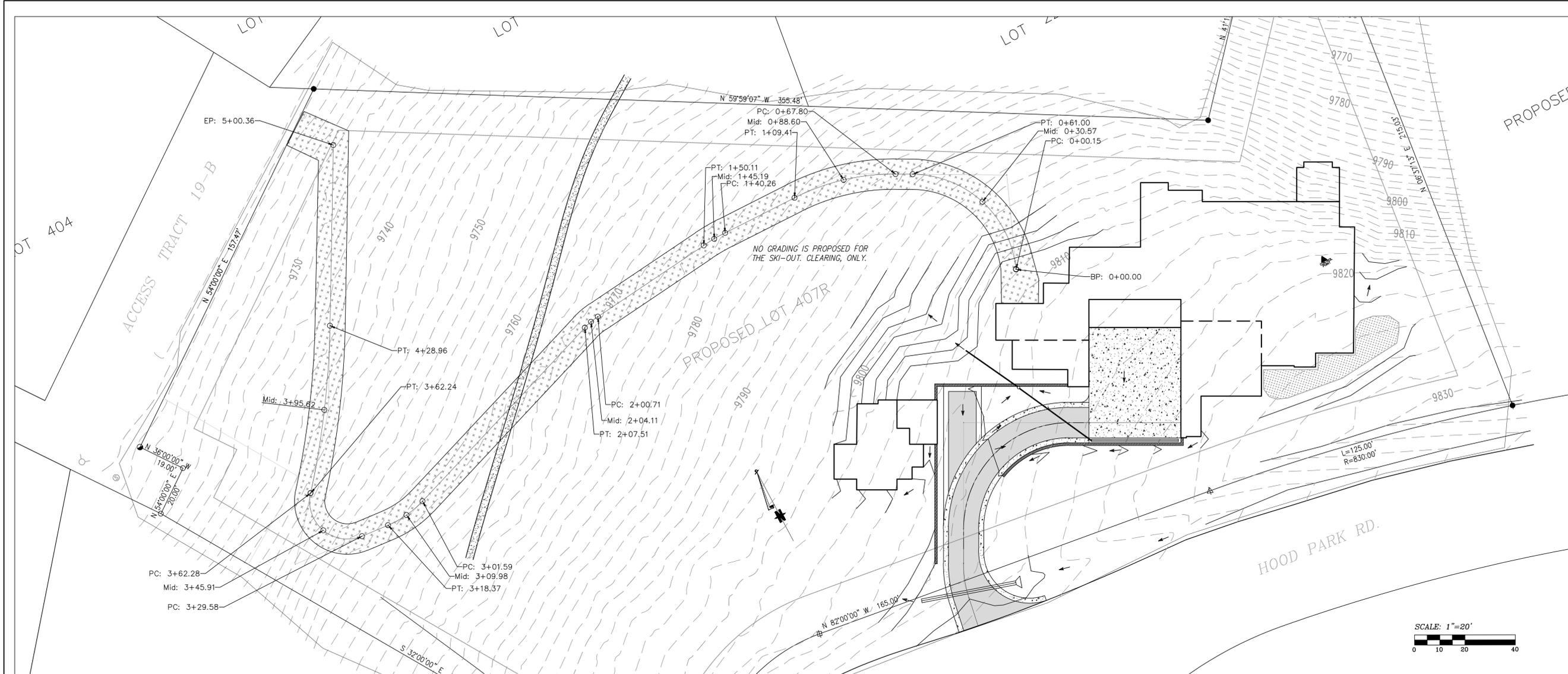
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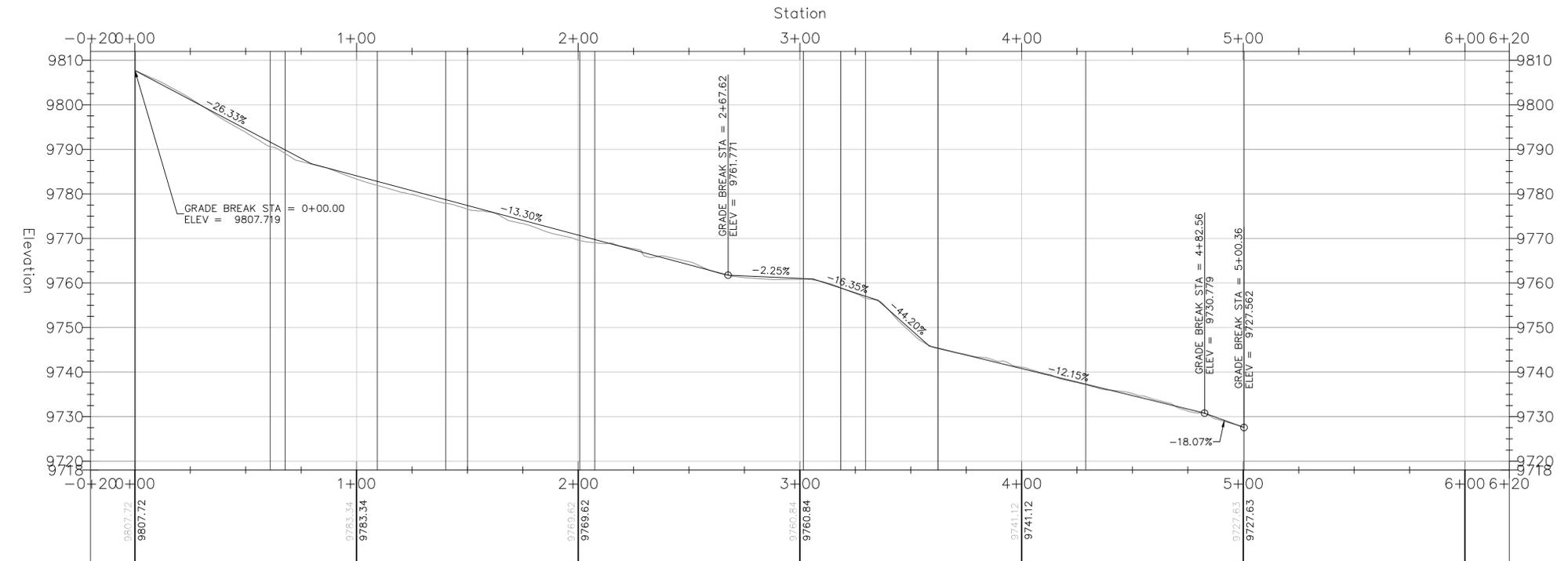
Ski-Out Access

Plan
and
Profile

C3



Ski Out Trail Profile



Scale: 1"=30'
2x Vertical Exaggeration



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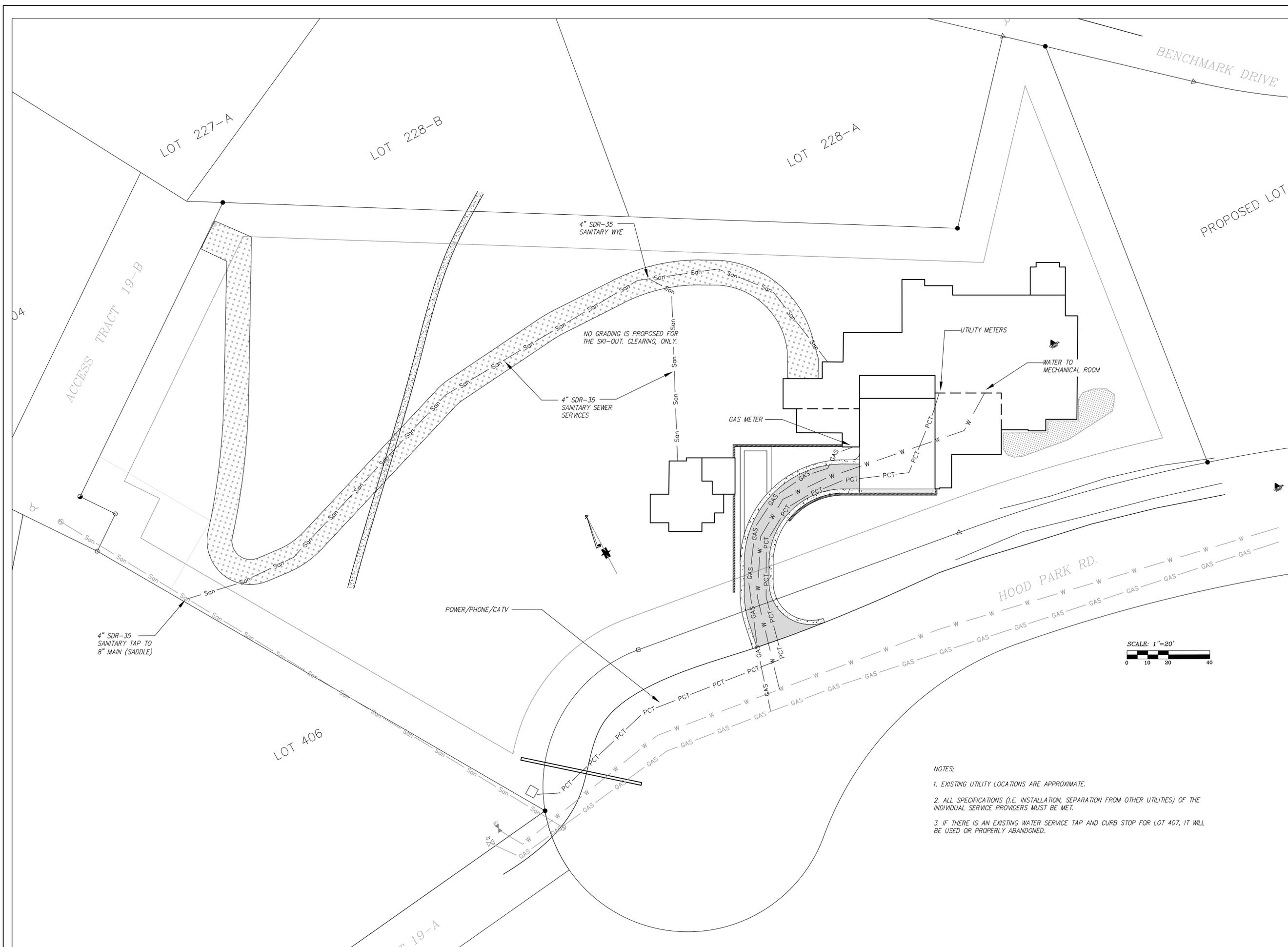
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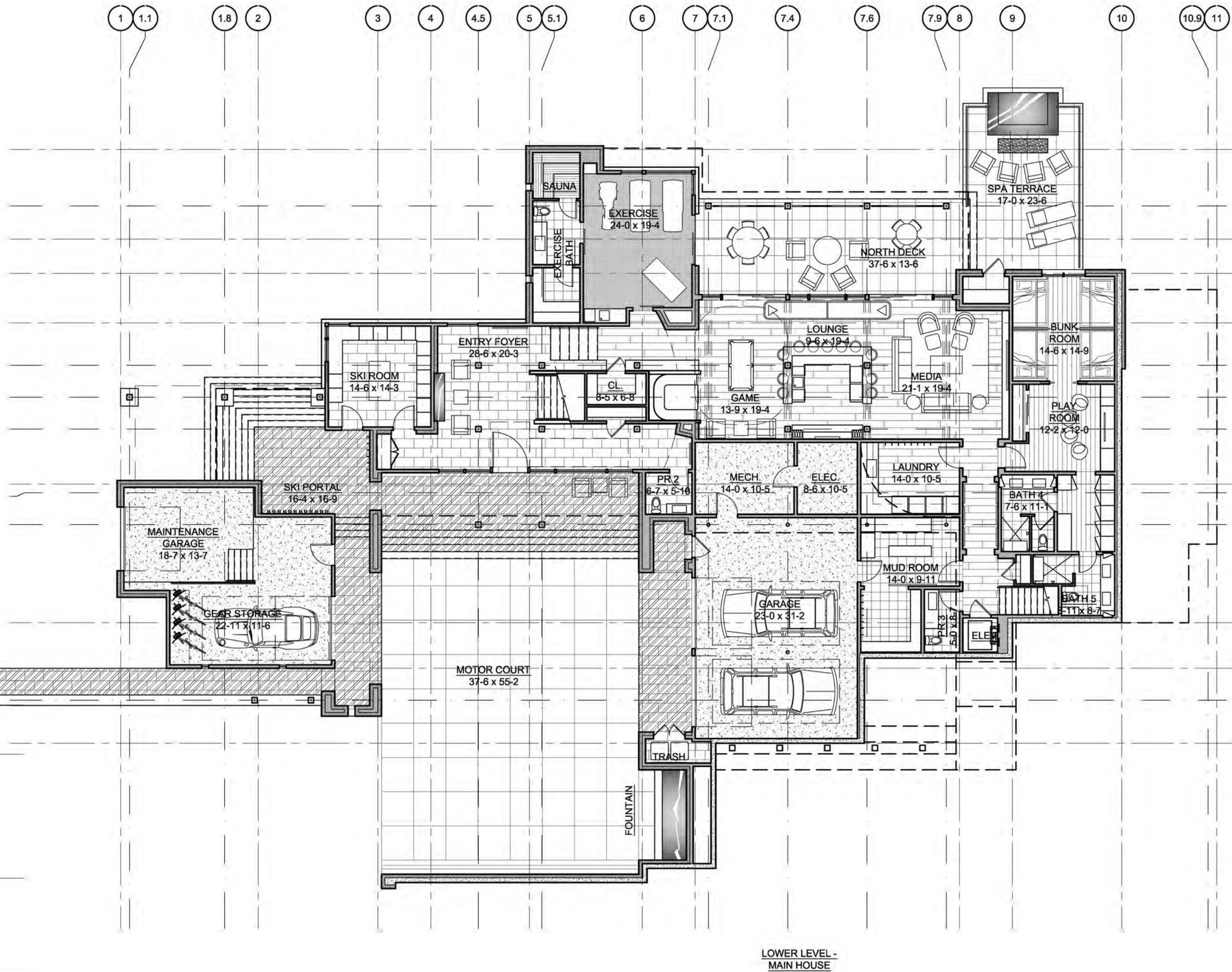
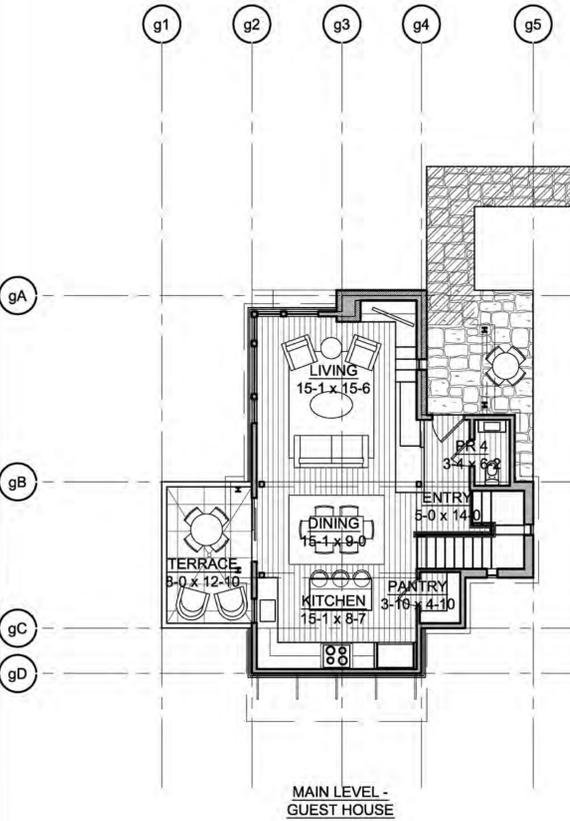
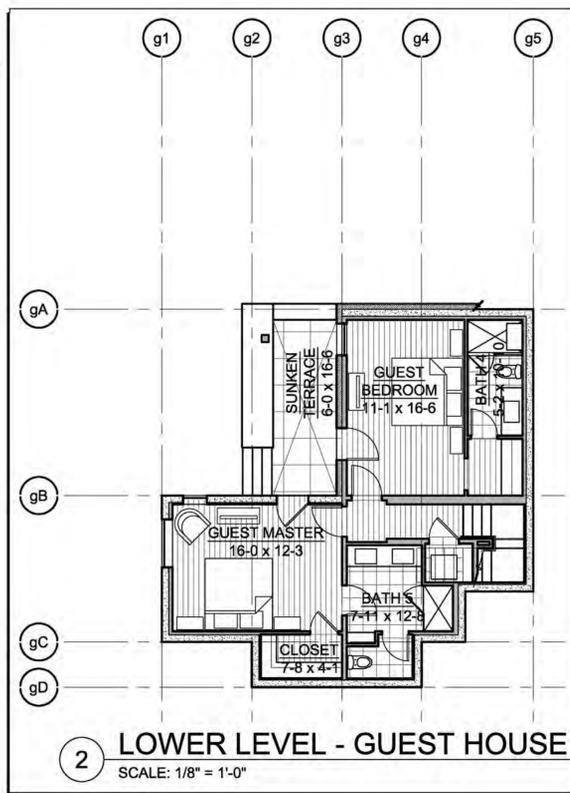
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Utility
Plan

C4



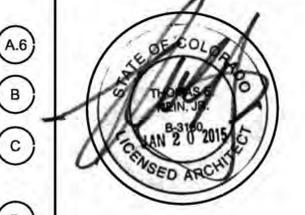
- NOTES:
1. EXISTING UTILITY LOCATIONS ARE APPROXIMATE.
 2. ALL SPECIFICATIONS (I.E. INSTALLATION, SEPARATION FROM OTHER UTILITIES) OF THE INDIVIDUAL SERVICE PROVIDERS MUST BE MET.
 3. IF THERE IS AN EXISTING WATER SERVICE TAP AND CURB STOP FOR LOT 407, IT WILL BE USED OR PROPERLY ABANDONED.



1 OVERALL LOWER LEVEL
SCALE: 1/8" = 1'-0"

SNOWMELT - SHADED
1,000 S.F. MAX
1,901 S.F. USED
ENERGY OFFSET REQ.

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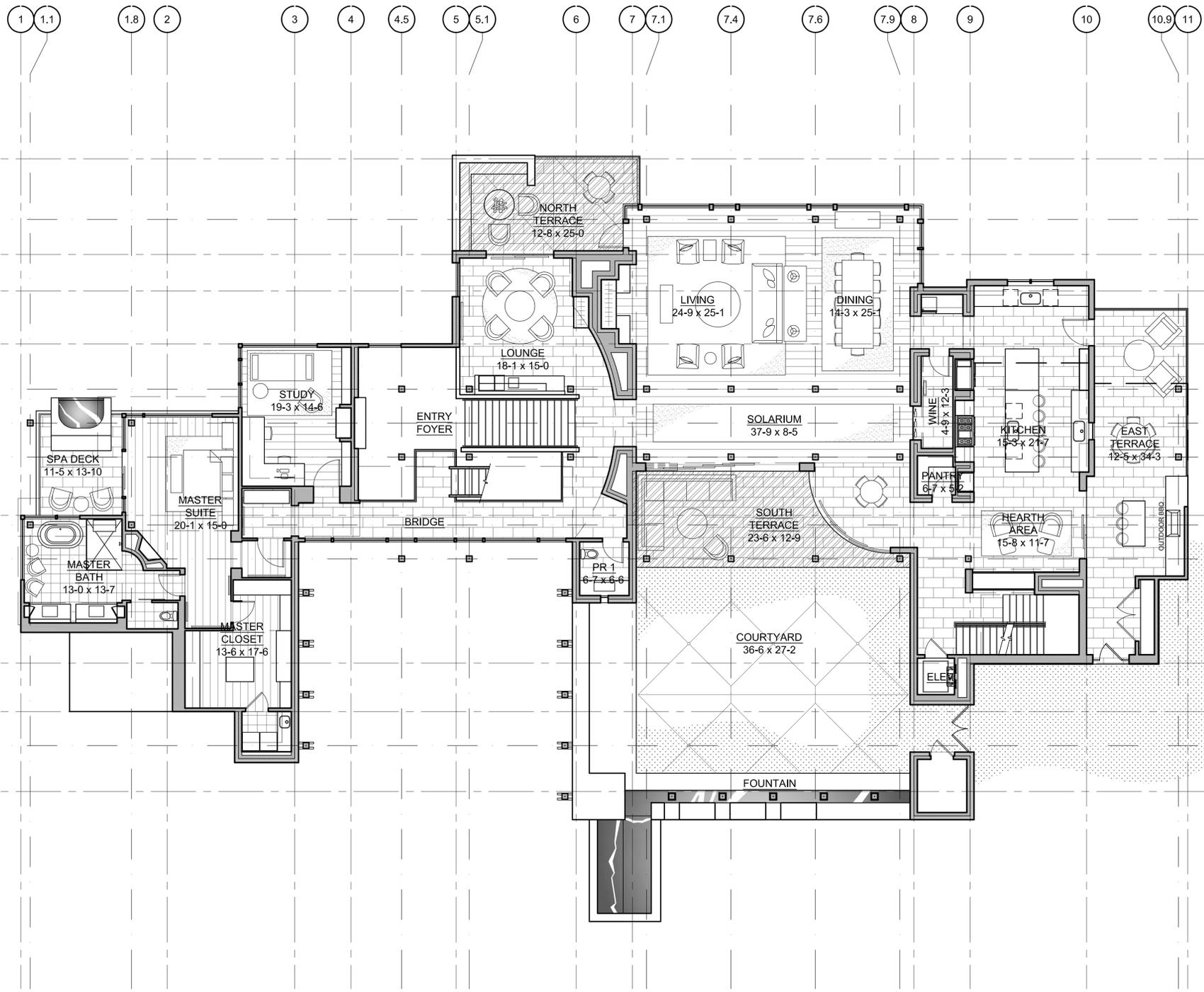
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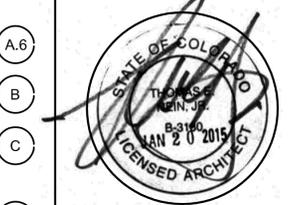
OVERALL LOWER LEVEL

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A2.01



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**OVERALL
 MAIN
 LEVEL**

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1 OVERALL MAIN LEVEL
 SCALE: 1/8" = 1'-0"

**NOT FOR
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 A2.02**

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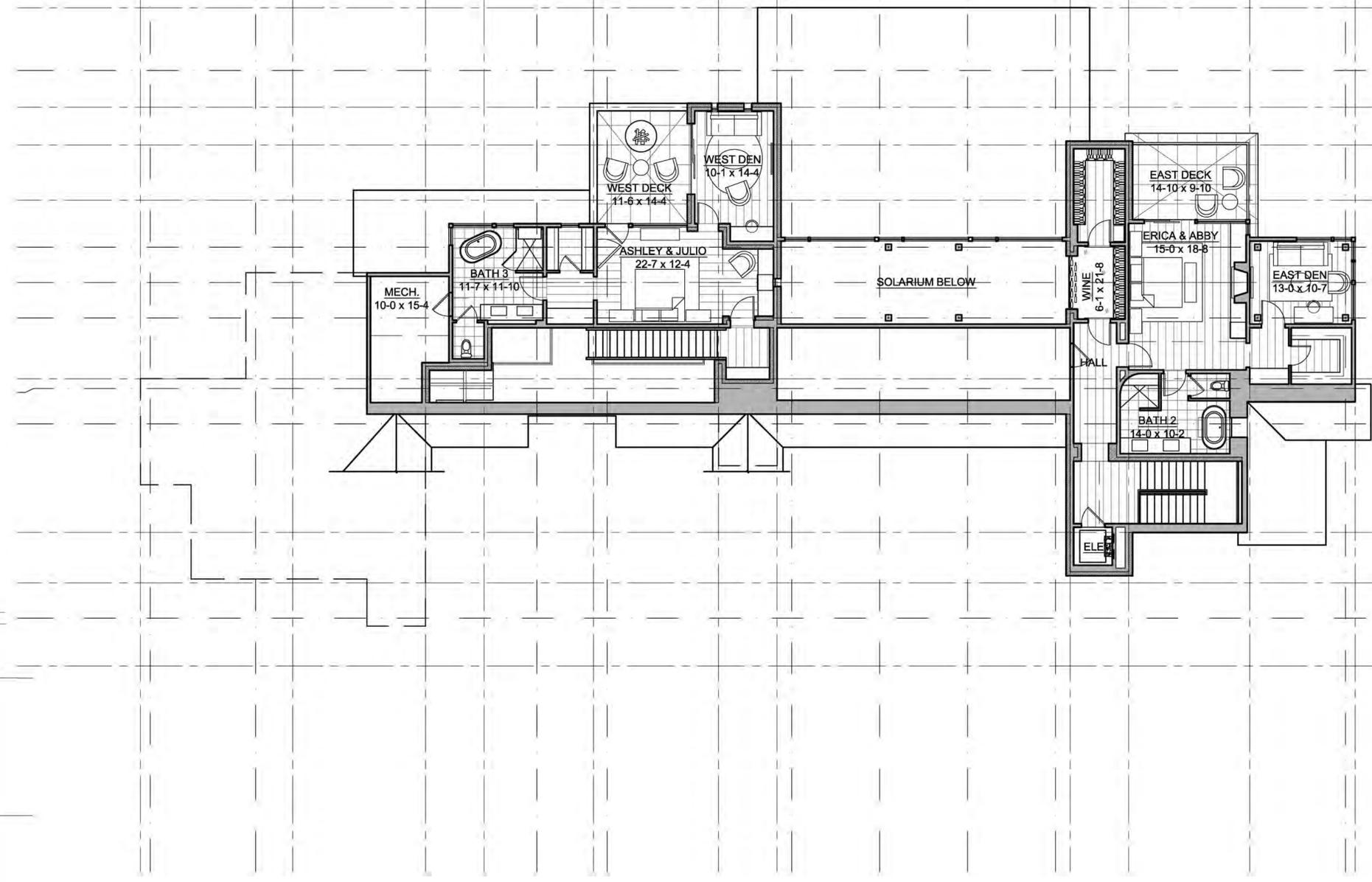
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**OVERALL
UPPER
LEVEL**

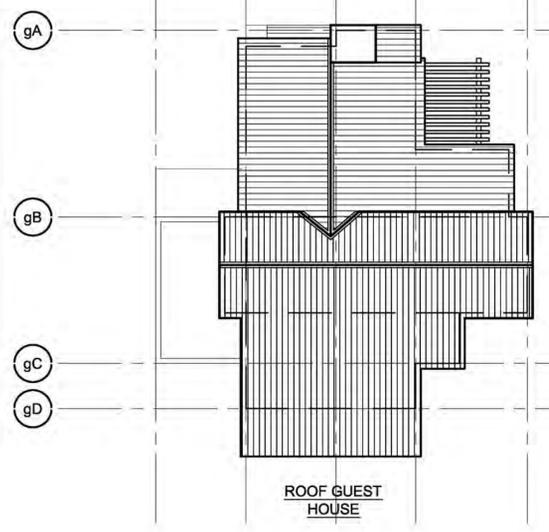
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g1 g2 g3 g4 g5



ROOF GUEST HOUSE

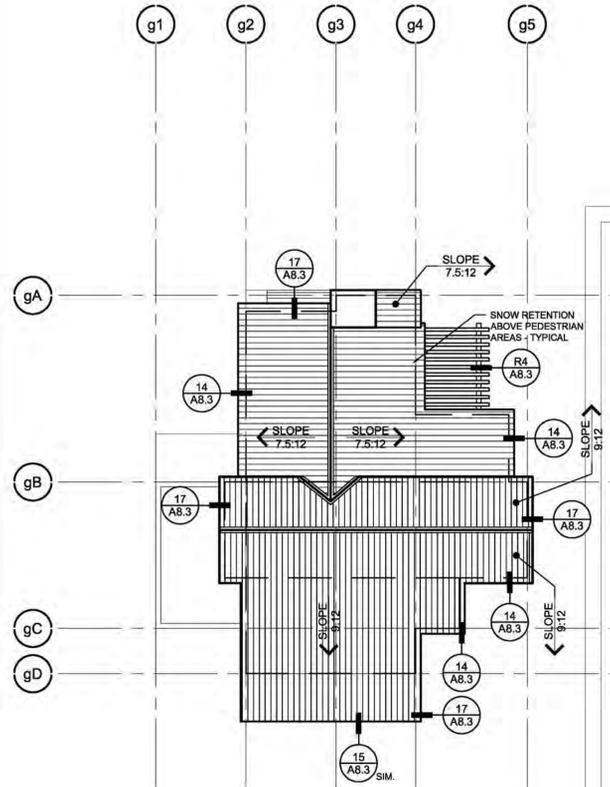
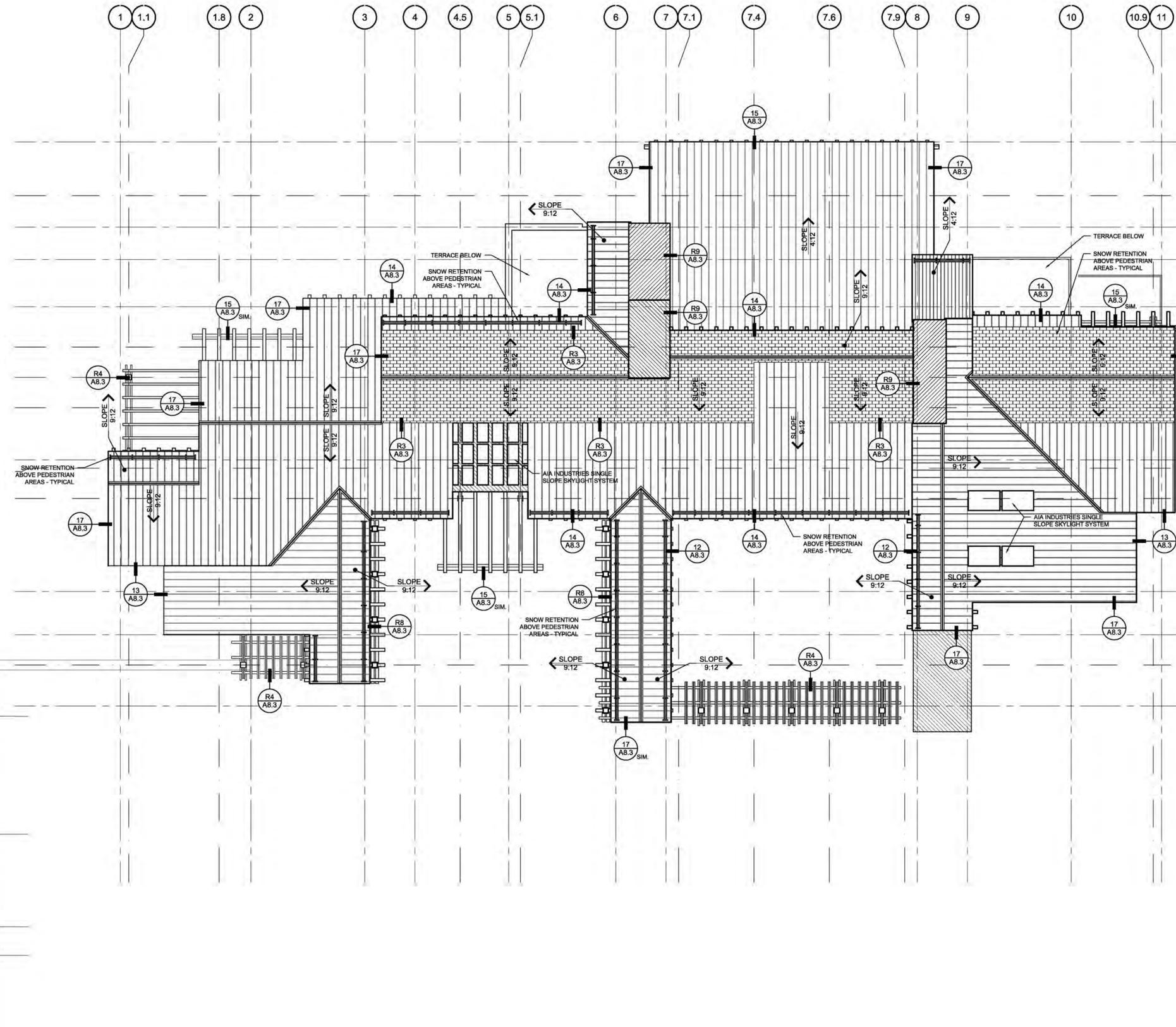
1 OVERALL UPPER LEVEL
SCALE: 1/8" = 1'-0"

Tommy Hein
 ARCHITECTS
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 FAX 728.1294 WWW.TOMMYHEIN.COM



SUBMISSIONS:

DRB WORK SESSION	11.14.13
CLIENT REVIEW	01.18.14
CLIENT REVISIONS	01.24.14
DD PROGRESS	03.28.14
DD / PRICING 1	07.18.14
BUDGET / CLIENT REVIEW	08.05.14
PLAN REVISIONS	10.03.14
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PRICING 2 / ATLANTA TRIP	12.01.14
DRB R&R REVISIONS	12.19.14
DRB ADDITIONAL REVISIONS	01.20.15



TIMM RESIDENCE

Lot 407R
 134 Hood Park RD
 Mountain Village
 Colorado

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OVERALL ROOF PLAN

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1 OVERALL ROOF PLAN
 SCALE: 1/8" = 1'-0"

A2.04
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EXTERIOR FINISH KEY					
STN1 - STONE VENEER		CONC1 - BOARD FORMED CONCRETE		PLS1 - EXTERIOR PLASTER VENEER	
WD2 - VINTAGE 1x6 SIDING W/ REVEAL		WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL		MTL3 - METAL GRATE ACCENT	
MTL5 - COPPER STANDING SEAM		STN2 - SYNTHETIC SLATE SHINGLE		MTL6 - MILL FINISH STEEL	
				WD1 - RECLAIMED TIMBER	
				MTL4 - PATINAED COPPER ACCENT PANEL	

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TOTAL EXTERIOR MATERIAL AREAS				
MATERIAL	LOCATION	AREA	GRAND TOTAL	PERCENTAGE
STONE VENEER	GUEST WING - SOUTH ELEVATION (A/3.1)	18.8 SQ. FT.	5,872.0 SQ. FT.	35.7%
	MAIN HOUSE - SOUTH ELEVATION (A/3.2)	946.6 SQ. FT.		
	MAIN HOUSE - WEST ELEVATION (A/3.3)	1,009.5 SQ. FT.		
	GUEST WING - WEST ELEVATION (A/3.4)	258.2 SQ. FT.		
	MAIN HOUSE - NORTH ELEVATION (A/3.5)	1,196.1 SQ. FT.		
	GUEST WING - NORTH ELEVATION (A/3.6)	243.5 SQ. FT.		
	MAIN HOUSE - EAST ELEVATION (A/3.7)	544.0 SQ. FT.		
	ENTRY COURTYARD - EAST ELEVATION (A/3.8)	825.1 SQ. FT.		
	GUEST WING - EAST ELEVATION (A/3.8)	58.2 SQ. FT.		
	ENTRY COURTYARD - WEST ELEVATION (A/3.9)	384.4 SQ. FT.		
	SOLAR COURTYARD - EAST ELEVATION (A/3.10)	519.5 SQ. FT.		
SOLAR COURTYARD - WEST ELEVATION (A/3.11)	88.0 SQ. FT.			
BOARD FORMED CONCRETE	GUEST WING - SOUTH ELEVATION (A/3.1)	135.9 SQ. FT.	1012.0 SQ. FT.	6.2%
	MAIN HOUSE - SOUTH ELEVATION (A/3.2)	N/A		
	MAIN HOUSE - WEST ELEVATION (A/3.3)	93.5 SQ. FT.		
	GUEST WING - WEST ELEVATION (A/3.4)	140.9 SQ. FT.		
	MAIN HOUSE - NORTH ELEVATION (A/3.5)	438.1 SQ. FT.		
	GUEST WING - NORTH ELEVATION (A/3.6)	97.8 SQ. FT.		
	MAIN HOUSE - EAST ELEVATION (A/3.7)	16.3 SQ. FT.		
	ENTRY COURTYARD - EAST ELEVATION (A/3.8)	N/A		
	GUEST WING - EAST ELEVATION (A/3.8)	56.0 SQ. FT.		
	ENTRY COURTYARD - WEST ELEVATION (A/3.9)	N/A		
	SOLAR COURTYARD - EAST ELEVATION (A/3.10)	33.6 SQ. FT.		
SOLAR COURTYARD - WEST ELEVATION (A/3.11)	N/A			
EXTERIOR PLASTER VENEER	GUEST WING - SOUTH ELEVATION (A/3.1)	N/A	1,469.5 SQ. FT.	8.9%
	MAIN HOUSE - SOUTH ELEVATION (A/3.2)	628.6 SQ. FT.		
	MAIN HOUSE - WEST ELEVATION (A/3.3)	82.9 SQ. FT.		
	GUEST WING - WEST ELEVATION (A/3.4)	N/A		
	MAIN HOUSE - NORTH ELEVATION (A/3.5)	435.3 SQ. FT.		
	GUEST WING - NORTH ELEVATION (A/3.6)	N/A		
	MAIN HOUSE - EAST ELEVATION (A/3.7)	241.7 SQ. FT.		
	ENTRY COURTYARD - EAST ELEVATION (A/3.8)	36.9 SQ. FT.		
	GUEST WING - EAST ELEVATION (A/3.8)	N/A		
	ENTRY COURTYARD - WEST ELEVATION (A/3.9)	44.0 SQ. FT.		
	SOLAR COURTYARD - EAST ELEVATION (A/3.10)	N/A		
SOLAR COURTYARD - WEST ELEVATION (A/3.11)	N/A			

TOTAL EXTERIOR MATERIAL AREAS				
MATERIAL	LOCATION	AREA	GRAND TOTAL	PERCENTAGE
RECLAIMED TIMBER	GUEST WING - SOUTH ELEVATION (A/3.1)	N/A	645.4 SQ. FT.	3.9%
	MAIN HOUSE - SOUTH ELEVATION (A/3.2)	180.0 SQ. FT.		
	MAIN HOUSE - WEST ELEVATION (A/3.3)	97.7 SQ. FT.		
	GUEST WING - WEST ELEVATION (A/3.4)	7.9 SQ. FT.		
	MAIN HOUSE - NORTH ELEVATION (A/3.5)	67.4 SQ. FT.		
	GUEST WING - NORTH ELEVATION (A/3.6)	10.2 SQ. FT.		
	MAIN HOUSE - EAST ELEVATION (A/3.7)	86.2 SQ. FT.		
	ENTRY COURTYARD - EAST ELEVATION (A/3.8)	54.0 SQ. FT.		
	GUEST WING - EAST ELEVATION (A/3.8)	15.7 SQ. FT.		
	ENTRY COURTYARD - WEST ELEVATION (A/3.9)	62.2 SQ. FT.		
	SOLAR COURTYARD - EAST ELEVATION (A/3.10)	33.9 SQ. FT.		
SOLAR COURTYARD - WEST ELEVATION (A/3.11)	30.3 SQ. FT.			
VERTICAL AND HORIZONTAL WOOD SIDING	GUEST WING - SOUTH ELEVATION (A/3.1)	171.7 SQ. FT.	3049.7 SQ. FT.	18.5%
	MAIN HOUSE - SOUTH ELEVATION (A/3.2)	288.4 SQ. FT.		
	MAIN HOUSE - WEST ELEVATION (A/3.3)	479.3 SQ. FT.		
	GUEST WING - WEST ELEVATION (A/3.4)	219.2 SQ. FT.		
	MAIN HOUSE - NORTH ELEVATION (A/3.5)	1,036.3 SQ. FT.		
	GUEST WING - NORTH ELEVATION (A/3.6)	121.2 SQ. FT.		
	MAIN HOUSE - EAST ELEVATION (A/3.7)	375.7 SQ. FT.		
	ENTRY COURTYARD - EAST ELEVATION (A/3.8)	65.8 SQ. FT.		
	GUEST WING - EAST ELEVATION (A/3.8)	73.1 SQ. FT.		
	ENTRY COURTYARD - WEST ELEVATION (A/3.9)	145.9 SQ. FT.		
	SOLAR COURTYARD - EAST ELEVATION (A/3.10)	73.1 SQ. FT.		
SOLAR COURTYARD - WEST ELEVATION (A/3.11)	N/A			
METAL GRATE ACCENT PANEL	GUEST WING - SOUTH ELEVATION (A/3.1)	68.0 SQ. FT.	417.2 SQ. FT.	2.5%
	MAIN HOUSE - SOUTH ELEVATION (A/3.2)	N/A		
	MAIN HOUSE - WEST ELEVATION (A/3.3)	51.6 SQ. FT.		
	GUEST WING - WEST ELEVATION (A/3.4)	32.4 SQ. FT.		
	MAIN HOUSE - NORTH ELEVATION (A/3.5)	79.4 SQ. FT.		
	GUEST WING - NORTH ELEVATION (A/3.6)	84.6 SQ. FT.		
	MAIN HOUSE - EAST ELEVATION (A/3.7)	N/A		
	ENTRY COURTYARD - EAST ELEVATION (A/3.8)	N/A		
	GUEST WING - EAST ELEVATION (A/3.8)	100.1 SQ. FT.		
	ENTRY COURTYARD - WEST ELEVATION (A/3.9)	N/A		
	SOLAR COURTYARD - EAST ELEVATION (A/3.10)	N/A		
SOLAR COURTYARD - WEST ELEVATION (A/3.11)	N/A			

TOTAL EXTERIOR MATERIAL AREAS				
MATERIAL	LOCATION	AREA	GRAND TOTAL	PERCENTAGE
PATINAED COPPER ACCENT PANEL	GUEST WING - SOUTH ELEVATION (A/3.1)	N/A	176.0 SQ. FT.	1.1%
	MAIN HOUSE - SOUTH ELEVATION (A/3.2)	60.4 SQ. FT.		
	MAIN HOUSE - WEST ELEVATION (A/3.3)	28.9 SQ. FT.		
	GUEST WING - WEST ELEVATION (A/3.4)	3.4 SQ. FT.		
	MAIN HOUSE - NORTH ELEVATION (A/3.5)	18.2 SQ. FT.		
	GUEST WING - NORTH ELEVATION (A/3.6)	14.2 SQ. FT.		
	MAIN HOUSE - EAST ELEVATION (A/3.7)	6.5 SQ. FT.		
	ENTRY COURTYARD - EAST ELEVATION (A/3.8)	N/A		
	GUEST WING - EAST ELEVATION (A/3.8)	8.3 SQ. FT.		
	ENTRY COURTYARD - WEST ELEVATION (A/3.9)	N/A		
	SOLAR COURTYARD - EAST ELEVATION (A/3.10)	N/A		
SOLAR COURTYARD - WEST ELEVATION (A/3.11)	38.2 SQ. FT.			
STANDING SEAM METAL SIDING	GUEST WING - SOUTH ELEVATION (A/3.1)	N/A	508.8 SQ. FT.	3.1%
	MAIN HOUSE - SOUTH ELEVATION (A/3.2)	272.8 SQ. FT.		
	MAIN HOUSE - WEST ELEVATION (A/3.3)	101.3 SQ. FT.		
	GUEST WING - WEST ELEVATION (A/3.4)	N/A		
	MAIN HOUSE - NORTH ELEVATION (A/3.5)	N/A		
	GUEST WING - NORTH ELEVATION (A/3.6)	N/A		
	MAIN HOUSE - EAST ELEVATION (A/3.7)	134.8 SQ. FT.		
	ENTRY COURTYARD - EAST ELEVATION (A/3.8)	N/A		
	GUEST WING - EAST ELEVATION (A/3.8)	N/A		
	ENTRY COURTYARD - WEST ELEVATION (A/3.9)	N/A		
	SOLAR COURTYARD - EAST ELEVATION (A/3.10)	N/A		
SOLAR COURTYARD - WEST ELEVATION (A/3.11)	N/A			
GLAZING	GUEST WING - SOUTH ELEVATION (A/3.1)	6.3 SQ. FT.	3,300.3 SQ. FT.	20.1%
	MAIN HOUSE - SOUTH ELEVATION (A/3.2)	831.6 SQ. FT.		
	MAIN HOUSE - WEST ELEVATION (A/3.3)	390.7 SQ. FT.		
	GUEST WING - WEST ELEVATION (A/3.4)	156.6 SQ. FT.		
	MAIN HOUSE - NORTH ELEVATION (A/3.5)	1,320.2 SQ. FT.		
	GUEST WING - NORTH ELEVATION (A/3.6)	66.8 SQ. FT.		
	MAIN HOUSE - EAST ELEVATION (A/3.7)	211.7 SQ. FT.		
	ENTRY COURTYARD - EAST ELEVATION (A/3.8)	N/A		
	GUEST WING - EAST ELEVATION (A/3.8)	9.3 SQ. FT.		
	ENTRY COURTYARD - WEST ELEVATION (A/3.9)	3.5 SQ. FT.		
	SOLAR COURTYARD - EAST ELEVATION (A/3.10)	183.5 SQ. FT.		
SOLAR COURTYARD - WEST ELEVATION (A/3.11)	122.9 SQ. FT.			

SUBMISSIONS:

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CLIENT REVIEW	01.18.14
CLIENT REVISIONS	01.24.14
DD PROGRESS	03.28.14
DD / PRICING 1	07.18.14
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DRB R&R REVISIONS	12.19.14
DRB ADDITIONAL REVISIONS	01.20.15

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MATERIAL AREA CALCULATIONS

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A3.0

TOTAL STONE AT RETAINING WALLS				
MATERIAL	LOCATION	AREA	GRAND TOTAL	PERCENTAGE
STONE VENEER	GUEST WING - SOUTH ELEVATION (A/3.1)	N/A	500.4 SQ. FT.	8.5 %
	MAIN HOUSE - SOUTH ELEVATION (A/3.2)	108.4 SQ. FT.		
	MAIN HOUSE - WEST ELEVATION (A/3.3)	N/A		
	GUEST WING - WEST ELEVATION (A/3.4)	140.8 SQ. FT.		
	MAIN HOUSE - NORTH ELEVATION (A/3.5)	N/A		
	GUEST WING - NORTH ELEVATION (A/3.6)	102.8 SQ. FT.		
	MAIN HOUSE - EAST ELEVATION (A/3.7)	N/A		
	ENTRY COURTYARD - EAST ELEVATION (A/3.8)	148.5 SQ. FT.		
	GUEST WING - EAST ELEVATION (A/3.8)	N/A		
	ENTRY COURTYARD - WEST ELEVATION (A/3.9)	N/A		
	SOLAR COURTYARD - EAST ELEVATION (A/3.10)	N/A		
SOLAR COURTYARD - WEST ELEVATION (A/3.11)	N/A			
		0.0 SQ. FT.		

EXTERIOR MATERIAL AREAS

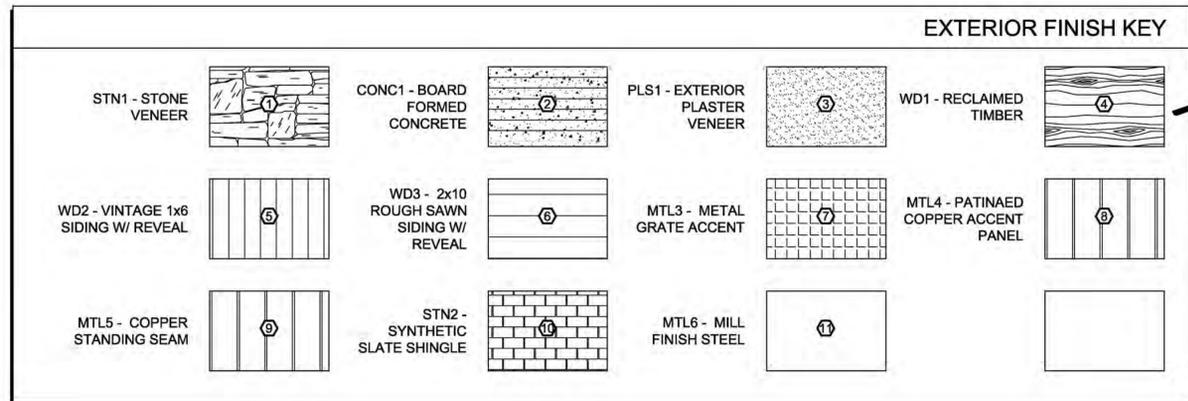
(ALL AREAS FOR SOUTH ELEV. OF MAIN HOUSE INCL. BELOW)

MATERIAL	AREA	* NUMBER BETWEEN WALLS
STONE VENEER	1 24.5 SQ. FT.	
	2 108.4 SQ. FT.	*
	3 107.2 SQ. FT.	
	4 63.6 SQ. FT.	
	5 89.1 SQ. FT.	
	6 44.0 SQ. FT.	
	7 90.7 SQ. FT.	
	8 90.7 SQ. FT.	
	9 21.8 SQ. FT.	
	10 104.7 SQ. FT.	
	11 114.7 SQ. FT.	
	12 62.7 SQ. FT.	
	13 24.7 SQ. FT.	

TOTAL =	946.6 SQ. FT.
PLASTER VENEER	1 250.0 SQ. FT.
	2 378.7 SQ. FT.
TOTAL =	628.6 SQ. FT.
TIMBER	1 4.4 SQ. FT.
	2 20.4 SQ. FT.
	3 4.4 SQ. FT.
	4 5.9 SQ. FT.
	5 8.3 SQ. FT.
	6 11.3 SQ. FT.
	7 13.3 SQ. FT.
	8 8.1 SQ. FT.
	9 5.4 SQ. FT.
	10 4.3 SQ. FT.
	11 42.3 SQ. FT.

	12 12.6 SQ. FT.
	13 4.4 SQ. FT.
	14 27.2 SQ. FT.
	15 7.7 SQ. FT.
TOTAL =	180.0 SQ. FT.
WOOD SIDING (VERT. & HORIZ.)	1 205.6 SQ. FT.
	2 18.6 SQ. FT.
	3 NOT USED
	4 64.1 SQ. FT.
TOTAL =	288.4 SQ. FT.
COPPER ACCENT	1 4.0 SQ. FT.
	2 23.0 SQ. FT.
	3 8.5 SQ. FT.
	4 12.1 SQ. FT.
	5 12.8 SQ. FT.

TOTAL =	60.4 SQ. FT.
STANDING SEAM	1 209.1 SQ. FT.
	2 63.7 SQ. FT.
TOTAL =	272.8 SQ. FT.
GLAZING	1 4.0 SQ. FT.
	2 4.0 SQ. FT.
	3 3.5 SQ. FT.
	4 295.4 SQ. FT.
	5 219.7 SQ. FT.
	6 297.0 SQ. FT.
	7 4.0 SQ. FT.
TOTAL =	831.6 SQ. FT.



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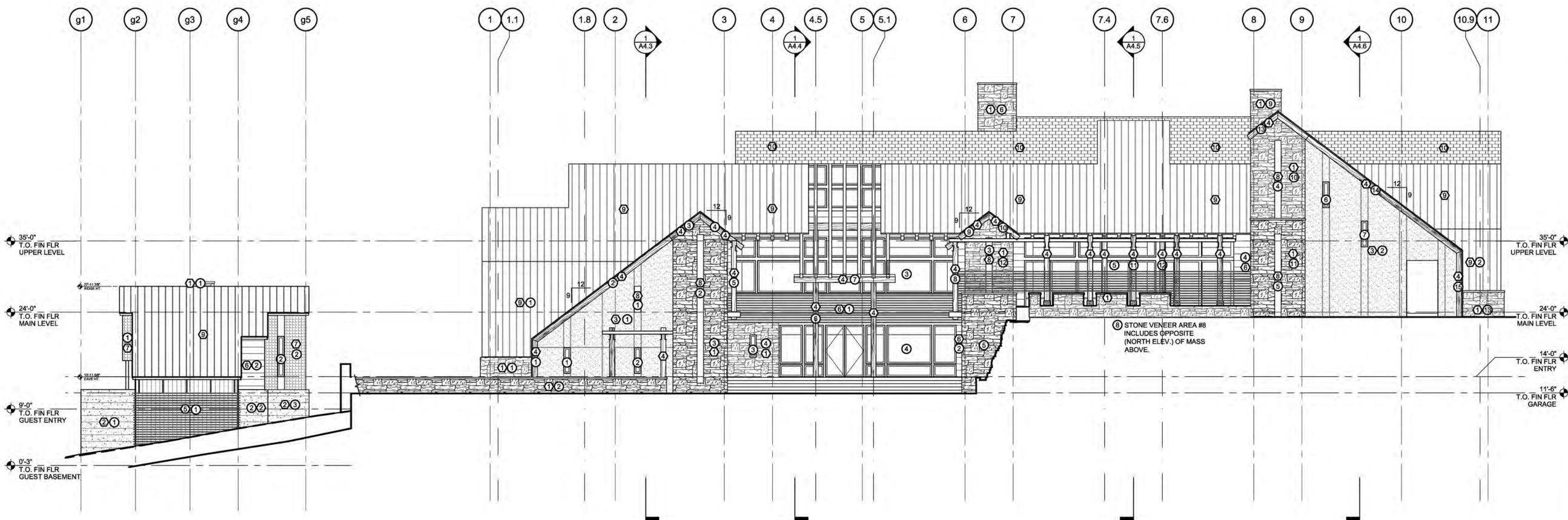
STATE OF COLORADO
 TOMMY HEIN, JR.
 8-3180
 JAN 2 0 2015
 LICENSED ARCHITECT

EXTERIOR MATERIAL AREAS

(AREAS FOR SOUTH ELEV. OF GUEST WING INCL. BELOW)

MATERIAL	AREA	* NUMBER BETWEEN WALLS
STONE VENEER	1 18.8 SQ. FT.	
TOTAL =	18.8 SQ. FT.	
CONCRETE	1 79.6 SQ. FT.	
	2 26.0 SQ. FT.	
	3 30.3 SQ. FT.	
TOTAL =	135.9 SQ. FT.	
WOOD SIDING (VERT. & HORIZ.)	1 142.6 SQ. FT.	
	2 29.1 SQ. FT.	
TOTAL =	171.7 SQ. FT.	
GRATE ACCENT	1 10.5 SQ. FT.	
	2 58.5 SQ. FT.	
TOTAL =	69.0 SQ. FT.	

GLAZING	1 NOT USED
	2 6.3 SQ. FT.
TOTAL =	6.3 SQ. FT.



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OVERALL SOUTH ELEVATION

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A3.0.1

1 OVERALL SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH KEY

STN1 - STONE VENEER		CONC1 - BOARD FORMED CONCRETE		PLS1 - EXTERIOR PLASTER VENEER		WD1 - RECLAIMED TIMBER	
WD2 - VINTAGE 1x6 SIDING W/ REVEAL		WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL		MTL3 - METAL GRATE ACCENT		MTL4 - PATINAED COPPER ACCENT PANEL	
MTL5 - COPPER STANDING SEAM		STN2 - SYNTHETIC SLATE SHINGLE		MTL6 - MILL FINISH STEEL			

EXTERIOR MATERIAL AREAS

(ALL AREAS FOR WEST ELEV. OF MAIN HOUSE INCL. BELOW)

MATERIAL	AREA	REMARKS
STONE VENEER	1	517.3 SQ. FT.
	2	58.5 SQ. FT.
	3	151.2 SQ. FT.
	4	79.1 SQ. FT.
	5	110.8 SQ. FT.
	6	92.7 SQ. FT.
TOTAL =		1009.5 SQ. FT.
CONCRETE	1	71.3 SQ. FT.
	2	22.1 SQ. FT.
TOTAL =		93.5 SQ. FT.
PLASTER VENEER	1	39.6 SQ. FT.
	2	43.3 SQ. FT.
TOTAL =		82.9 SQ. FT.

TIMBER	AREA
1	10.2 SQ. FT.
2	8.9 SQ. FT.
3	6.0 SQ. FT.
4	18.4 SQ. FT.
5	8.2 SQ. FT.
6	4.7 SQ. FT.
7	11.1 SQ. FT.
8	8.3 SQ. FT.
9	16.7 SQ. FT.
10	5.3 SQ. FT.
TOTAL =	97.7 SQ. FT.

GRATE ACCENT	AREA
1	37.2 SQ. FT.
2	14.3 SQ. FT.
TOTAL =	51.6 SQ. FT.
COPPER ACCENT	
1	9.0 SQ. FT.
2	11.8 SQ. FT.
3	6.0 SQ. FT.
TOTAL =	26.9 SQ. FT.
STANDING SEAM	
1	101.3 SQ. FT.
TOTAL =	101.3 SQ. FT.
GLAZING	
1	52.8 SQ. FT.
2	4.0 SQ. FT.
3	46.5 SQ. FT.

4	28.8 SQ. FT.
5	4.0 SQ. FT.
6	12.4 SQ. FT.
7	3.0 SQ. FT.
8	40.7 SQ. FT.
9	39.2 SQ. FT.
10	4.0 SQ. FT.
11	109.7 SQ. FT.
12	3.0 SQ. FT.
13	42.7 SQ. FT.
TOTAL =	390.7 SQ. FT.

EXTERIOR MATERIAL AREAS

(AREAS FOR WEST ELEV. OF GUEST WING INCL. BELOW)

MATERIAL	AREA	REMARKS
STONE VENEER	1	117.4 SQ. FT.
	2	21.2 SQ. FT.
	3	119.4 SQ. FT.
		NOT USED
TOTAL =		258.0 SQ. FT.
CONCRETE	1	107.7 SQ. FT.
TOTAL =		107.7 SQ. FT.
TIMBER	1	4.2 SQ. FT.
	2	1.9 SQ. FT.
	3	1.9 SQ. FT.
TOTAL =		7.9 SQ. FT.
WOOD SIDING	1	219.2 SQ. FT.

(VERT. & HORIZ.)	AREA	
TOTAL =	219.2 SQ. FT.	
GRATE ACCENT	1	32.4 SQ. FT.
TOTAL =		32.4 SQ. FT.
COPPER ACCENT	1	3.4 SQ. FT.
TOTAL =		3.4 SQ. FT.
GLAZING	1	63.0 SQ. FT.
	2	22.3 SQ. FT.
	3	13.2 SQ. FT.
	4	6.3 SQ. FT.
	5	23.2 SQ. FT.
	6	19.9 SQ. FT.
	7	8.7 SQ. FT.
TOTAL =		156.6 SQ. FT.

Tommy Hein

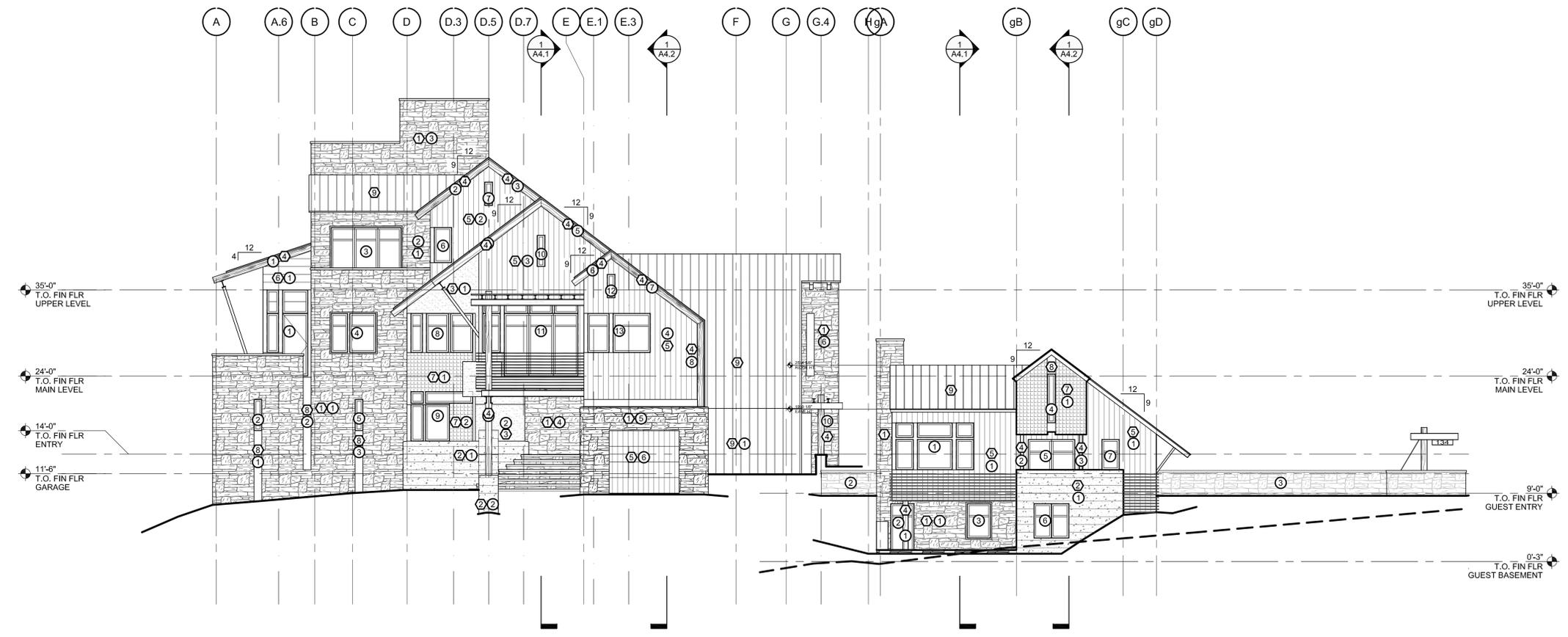
ARCHITECTS

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STATE OF COLORADO
THOMAS HEIN, JR.
B-3180
JAN 20 2015
LICENSED ARCHITECT

SUBMISSIONS:

DRB WORK SESSION	11.14.13
CLIENT REVIEW	01.18.14
CLIENT REVISIONS	01.24.14
DD PROGRESS	03.28.14
DD / PRICING 1	07.18.14
BUDGET / CLIENT REVIEW	08.05.14
PLAN REVISIONS	10.03.14
PLAN UPDATES	10.17.14
DRB SUBMITTAL	11.07.14
PRICING 2 / ATLANTA TRIP	12.01.14
DRB R&R REVISIONS	12.19.14
DRB ADDITIONAL REVISIONS	01.20.15



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Colorado

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OVERALL WEST ELEVATION

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

1 OVERALL WEST ELEVATION
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION
A3.0.2

EXTERIOR FINISH KEY					
STN1 - STONE VENEER		CONC1 - BOARD FORMED CONCRETE		PLS1 - EXTERIOR PLASTER VENEER	
WD2 - VINTAGE 1x6 SIDING W/ REVEAL		WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL		MTL3 - METAL GRATE ACCENT	
MTL5 - COPPER STANDING SEAM		STN2 - SYNTHETIC SLATE SHINGLE		MTL6 - MILL FINISH STEEL	
				WD1 - RECLAIMED TIMBER	
				MTL4 - PATINAED COPPER ACCENT PANEL	

EXTERIOR MATERIAL AREAS (ALL AREAS FOR NORTH ELEV. OF MAIN HOUSE INCL. BELOW)		
MATERIAL	AREA	* VERTICAL RETAINING WALL
STONE VENEER	1 285.4 SQ. FT.	
	2 74.6 SQ. FT.	
	3 271.3 SQ. FT.	
	4 76.4 SQ. FT.	
	5 228.1 SQ. FT.	
	6 260.3 SQ. FT.	
TOTAL =	1196.1 SQ. FT.	
CONCRETE	1 83.9 SQ. FT.	
	2 144.0 SQ. FT.	
	3 193.3 SQ. FT.	
	4 9.4 SQ. FT.	
	5 7.5 SQ. FT.	
TOTAL =	438.1 SQ. FT.	

PLASTER VENEER	1 215.1 SQ. FT.
	2 220.2 SQ. FT.
TOTAL =	435.3 SQ. FT.
TIMBER	1 10.5 SQ. FT.
	2 18.9 SQ. FT.
	3 22.3 SQ. FT.
	4 15.5 SQ. FT.
TOTAL =	67.4 SQ. FT.
WOOD SIDING (VERT. & HORIZ.)	1 112.3 SQ. FT.
	2 47.0 SQ. FT.
	3 91.5 SQ. FT.
	4 223.5 SQ. FT.
	5 59.6 SQ. FT.
	6 47.2 SQ. FT.
	7 163.4 SQ. FT.
	8 184.9 SQ. FT.

TOTAL =	9 106.9 SQ. FT.
	1036.3 SQ. FT.
GRATE ACCENT	1 49.0 SQ. FT.
	2 30.4 SQ. FT.
TOTAL =	79.4 SQ. FT.
COPPER ACCENT	1 7.0 SQ. FT.
	2 11.2 SQ. FT.
TOTAL =	18.2 SQ. FT.
GLAZING	1 41.0 SQ. FT.
	2 63.3 SQ. FT.
	3 37.0 SQ. FT.
	4 37.0 SQ. FT.
	5 74.6 SQ. FT.
	6 312.7 SQ. FT.
	7 324.8 SQ. FT.

	8 30.2 SQ. FT.
	9 46.5 SQ. FT.
	10 42.0 SQ. FT.
	11 3.0 SQ. FT.
	12 69.3 SQ. FT.
	13 33.9 SQ. FT.
	14 49.0 SQ. FT.
	15 31.6 SQ. FT.
	16 78.3 SQ. FT.
	17 46.1 SQ. FT.
TOTAL =	1320.2 SQ. FT.

EXTERIOR MATERIAL AREAS (AREAS FOR NORTH ELEV. OF GUEST WING INCL. BELOW)		
MATERIAL	AREA	* VERTICAL RETAINING WALL
STONE VENEER	1 102.7 SQ. FT.	
	2 140.7 SQ. FT.	
TOTAL =	243.5 SQ. FT.	
CONCRETE	1 97.8 SQ. FT.	
TOTAL =	97.8 SQ. FT.	
TIMBER	1 1.5 SQ. FT.	
	2 2.6 SQ. FT.	
	3 4.2 SQ. FT.	
	4 1.9 SQ. FT.	
TOTAL =	10.2 SQ. FT.	
WOOD SIDING (VERT. & HORIZ.)	1 29.3 SQ. FT.	
	2 76.1 SQ. FT.	

TOTAL =	3 15.8 SQ. FT.
	121.2 SQ. FT.
GRATE ACCENT	1 33.0 SQ. FT.
	2 31.8 SQ. FT.
TOTAL =	3 19.8 SQ. FT.
	84.6 SQ. FT.
COPPER ACCENT	1 2.2 SQ. FT.
	2 12.0 SQ. FT.
TOTAL =	14.2 SQ. FT.
GLAZING	1 4.8 SQ. FT.
	2 37.5 SQ. FT.
	3 14.7 SQ. FT.
	4 9.9 SQ. FT.
TOTAL =	66.8 SQ. FT.



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SUBMISSIONS:

DRB WORK SESSION	11.14.13
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OVERALL NORTH ELEVATION

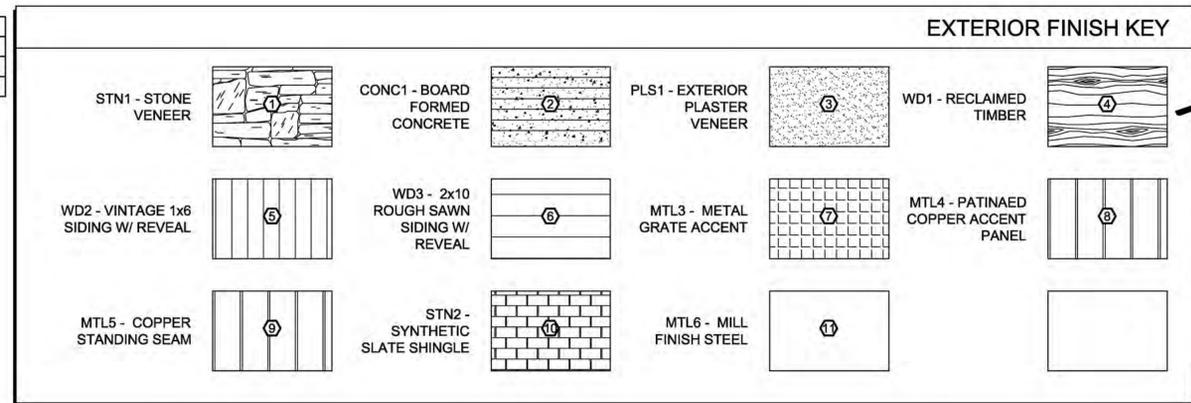
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A3.0.3

1 OVERALL NORTH ELEVATION
SCALE: 1/8" = 1'-0"

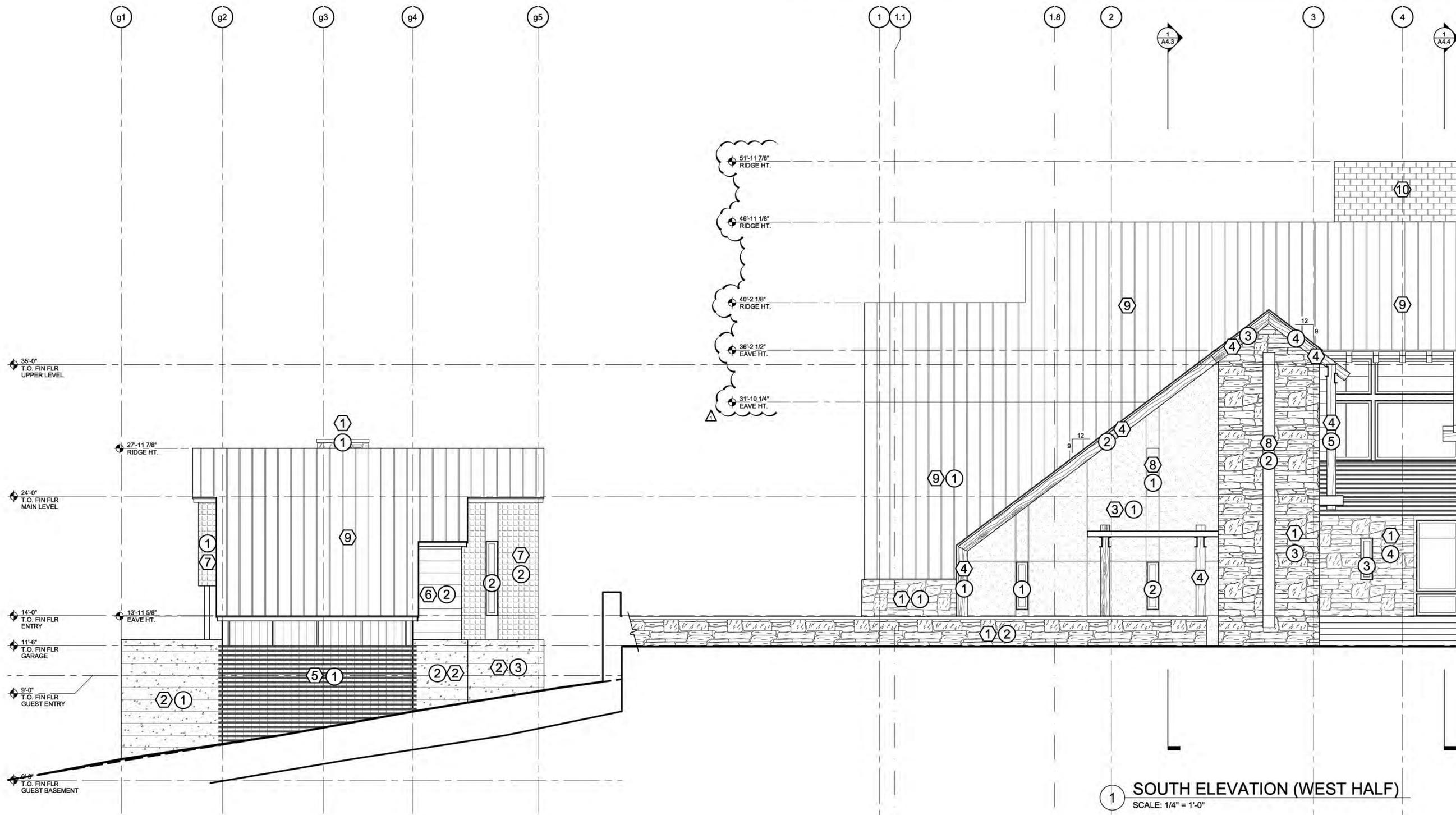
EXTERIOR MATERIAL AREAS (AREAS FOR SOUTH ELEV. OF GUEST WING INCL. BELOW)		
MATERIAL		AREA
STONE VENEER	①	18.8 SQ. FT.
TOTAL =		18.8 SQ. FT.
CONCRETE	①	79.6 SQ. FT.
	②	26.0 SQ. FT.
	③	30.3 SQ. FT.
TOTAL =		135.9 SQ. FT.
WOOD SIDING (VERT. & HORIZ.)	①	142.6 SQ. FT.
	②	29.1 SQ. FT.
TOTAL =		171.7 SQ. FT.
GRATE ACCENT	①	10.5 SQ. FT.
	②	58.5 SQ. FT.
TOTAL =		69.0 SQ. FT.

GLAZING	①	NOT USED
	②	6.3 SQ. FT.
TOTAL =		6.3 SQ. FT.



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STATE OF COLORADO
 TOMMY HEIN, JR.
 LICENSED ARCHITECT
 8-3100
 JAN 2 0 2015



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DRB ADDITIONAL REVISIONS	01.20.15

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SOUTH ELEVATION (WEST HALF)

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1 SOUTH ELEVATION (WEST HALF)
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION
A3.1a

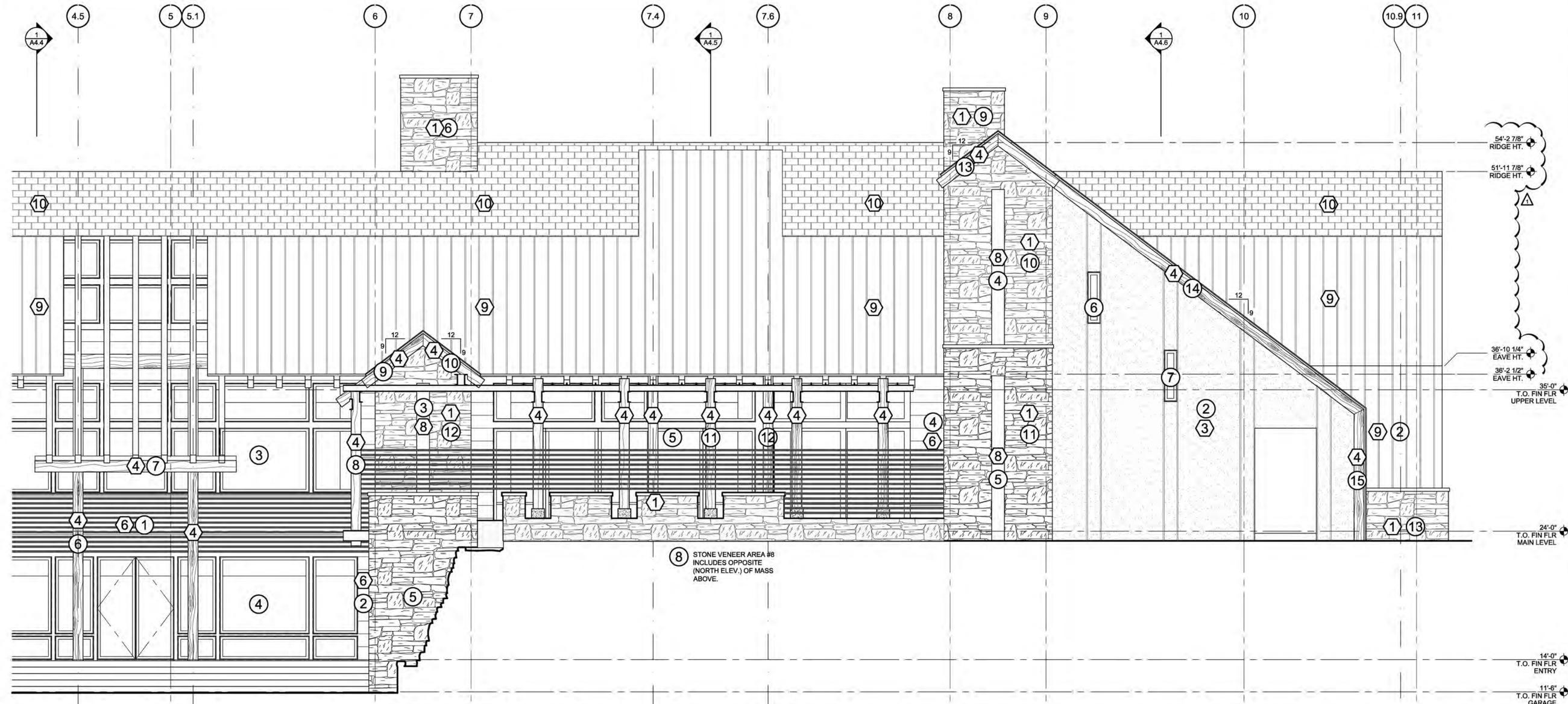
EXTERIOR FINISH KEY					
STN1 - STONE VENEER		CONC1 - BOARD FORMED CONCRETE		PLS1 - EXTERIOR PLASTER VENEER	
WD2 - VINTAGE 1x6 SIDING W/ REVEAL		WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL		MTL3 - METAL GRATE ACCENT	
MTL5 - COPPER STANDING SEAM		STN2 - SYNTHETIC SLATE SHINGLE		MTL6 - MILL FINISH STEEL	
WD1 - RECLAIMED TIMBER		MTL4 - PATINAED COPPER ACCENT PANEL			

EXTERIOR MATERIAL AREAS (ALL AREAS FOR SOUTH ELEV. OF MAIN HOUSE INCL. BELOW)		
MATERIAL	AREA	* INCLUDES OPPOSITE
STONE VENEER	1	24.5 SQ. FT.
	2	108.4 SQ. FT.
	3	107.2 SQ. FT.
	4	63.6 SQ. FT.
	5	89.1 SQ. FT.
	6	44.0 SQ. FT.
	7	90.7 SQ. FT.
	8	90.7 SQ. FT.
	9	21.8 SQ. FT.
	10	104.7 SQ. FT.
	11	114.7 SQ. FT.
	12	62.7 SQ. FT.
	13	24.7 SQ. FT.

TOTAL =	946.6 SQ. FT.	
PLASTER VENEER	1	250.0 SQ. FT.
	2	378.7 SQ. FT.
TOTAL =	628.6 SQ. FT.	
TIMBER	1	4.4 SQ. FT.
	2	20.4 SQ. FT.
	3	4.4 SQ. FT.
	4	5.9 SQ. FT.
	5	8.3 SQ. FT.
	6	11.3 SQ. FT.
	7	13.3 SQ. FT.
	8	8.1 SQ. FT.
	9	5.4 SQ. FT.
	10	4.3 SQ. FT.
	11	42.3 SQ. FT.

	12	12.6 SQ. FT.
	13	4.4 SQ. FT.
	14	27.2 SQ. FT.
	15	7.7 SQ. FT.
TOTAL =	180.0 SQ. FT.	
WOOD SIDING (VERT. & HORIZ.)	1	205.6 SQ. FT.
	2	18.6 SQ. FT.
	3	NOT USED
	4	64.1 SQ. FT.
TOTAL =	288.4 SQ. FT.	
COPPER ACCENT	1	4.0 SQ. FT.
	2	23.0 SQ. FT.
	3	8.5 SQ. FT.
	4	12.1 SQ. FT.
	5	12.8 SQ. FT.

TOTAL =	60.4 SQ. FT.	
STANDING SEAM	1	209.1 SQ. FT.
	2	63.7 SQ. FT.
TOTAL =	272.8 SQ. FT.	
GLAZING	1	4.0 SQ. FT.
	2	4.0 SQ. FT.
	3	3.5 SQ. FT.
	4	295.4 SQ. FT.
	5	219.7 SQ. FT.
	6	297.0 SQ. FT.
	7	4.0 SQ. FT.
TOTAL =	831.6 SQ. FT.	



8 STONE VENEER AREA #8 INCLUDES OPPOSITE (NORTH ELEV.) OF MASS ABOVE.

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SUBMISSIONS:

DRB WORK SESSION	11.14.13
CLIENT REVIEW	01.18.14
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DD PROGRESS	03.28.14
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DRB SUBMITTAL	11.07.14
PRICING 2 / ATLANTA TRIP	12.01.14
DRB R&R REVISIONS	12.19.14
DRB ADDITIONAL REVISIONS	01.20.15

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SOUTH ELEVATION (EAST HALF)
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1 SOUTH ELEVATION (EAST HALF)
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION
A3.1b

EXTERIOR FINISH KEY

STN1 - STONE VENEER	CONC1 - BOARD FORMED CONCRETE	PLS1 - EXTERIOR PLASTER VENEER	WD1 - RECLAIMED TIMBER
WD2 - VINTAGE 1x6 SIDING W/ REVEAL	WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL	MTL3 - METAL GRATE ACCENT	MTL4 - PATINAED COPPER ACCENT PANEL
MTL5 - COPPER STANDING SEAM	STN2 - SYNTHETIC SLATE SHINGLE	MTL6 - MILL FINISH STEEL	

EXTERIOR MATERIAL AREAS

(ALL AREAS FOR WEST ELEV. OF MAIN HOUSE INCL. BELOW)

MATERIAL	AREA
STONE VENEER	1 517.3 SQ. FT.
	2 58.5 SQ. FT.
	3 151.2 SQ. FT.
	4 79.1 SQ. FT.
	5 110.8 SQ. FT.
	6 92.7 SQ. FT.
TOTAL =	1009.5 SQ. FT.
CONCRETE	1 71.3 SQ. FT.
	2 22.1 SQ. FT.
TOTAL =	93.5 SQ. FT.
PLASTER VENEER	1 39.6 SQ. FT.
	2 43.3 SQ. FT.
TOTAL =	82.9 SQ. FT.

TIMBER	AREA
	1 10.2 SQ. FT.
	2 8.9 SQ. FT.
	3 6.0 SQ. FT.
	4 18.4 SQ. FT.
	5 8.2 SQ. FT.
	6 4.7 SQ. FT.
	7 11.1 SQ. FT.
	8 8.3 SQ. FT.
	9 16.7 SQ. FT.
	10 5.3 SQ. FT.
TOTAL =	97.7 SQ. FT.

TOTAL =	6 72.0 SQ. FT.
TOTAL =	479.3 SQ. FT.
GRATE ACCENT	1 37.2 SQ. FT.
	2 14.3 SQ. FT.
TOTAL =	51.6 SQ. FT.
COPPER ACCENT	1 9.0 SQ. FT.
	2 11.8 SQ. FT.
	3 6.0 SQ. FT.
TOTAL =	26.9 SQ. FT.
STANDING SEAM	1 101.3 SQ. FT.
TOTAL =	101.3 SQ. FT.
GLAZING	1 52.8 SQ. FT.
	2 4.0 SQ. FT.
	3 46.5 SQ. FT.

	4 28.8 SQ. FT.
	5 4.0 SQ. FT.
	6 12.4 SQ. FT.
	7 3.0 SQ. FT.
	8 40.7 SQ. FT.
	9 39.2 SQ. FT.
	10 4.0 SQ. FT.
	11 109.7 SQ. FT.
	12 3.0 SQ. FT.
	13 42.7 SQ. FT.
TOTAL =	390.7 SQ. FT.

Tommy Hein

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SUBMISSIONS:

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WEST ELEVATION (NORTH HALF)

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A3.2a



EXTERIOR FINISH KEY

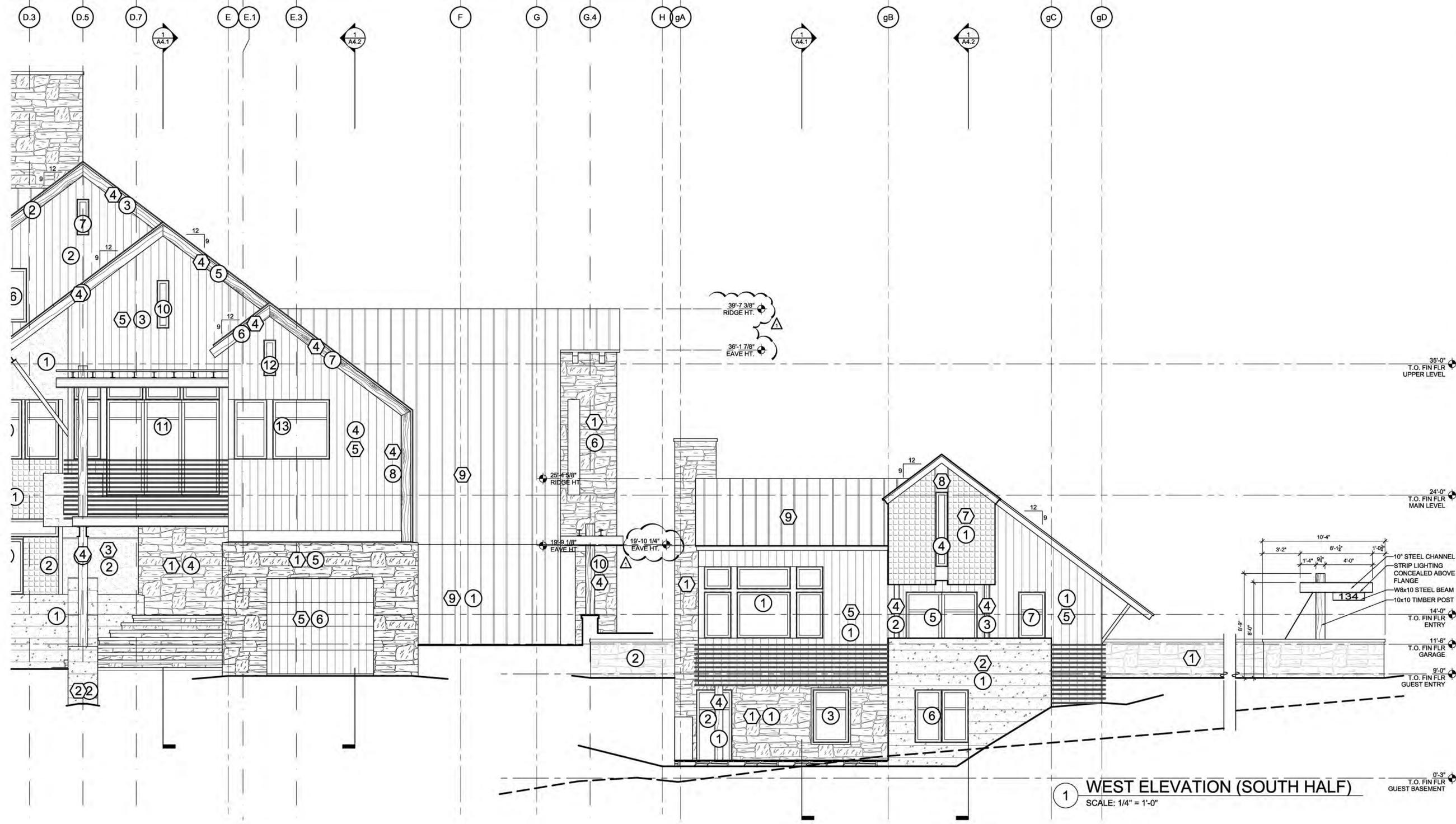
STN1 - STONE VENEER	CONC1 - BOARD FORMED CONCRETE	PLS1 - EXTERIOR PLASTER VENEER	WD1 - RECLAIMED TIMBER
WD2 - VINTAGE 1x6 SIDING W/ REVEAL	WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL	MTL3 - METAL GRATE ACCENT	MTL4 - PATINAED COPPER ACCENT PANEL
MTL5 - COPPER STANDING SEAM	STN2 - SYNTHETIC SLATE SHINGLE	MTL6 - MILL FINISH STEEL	

EXTERIOR MATERIAL AREAS (AREAS FOR WEST ELEV. OF GUEST WING INCL. BELOW)

MATERIAL	AREA	* INCLUDES INTERIOR WALLS
STONE VENEER	1 117.4 SQ. FT.	
	2 21.2 SQ. FT.	*
	3 119.4 SQ. FT.	*
TOTAL =	258.0 SQ. FT.	
CONCRETE	1 107.7 SQ. FT.	
TOTAL =	107.7 SQ. FT.	
TIMBER	1 4.2 SQ. FT.	
	2 1.9 SQ. FT.	
	3 1.9 SQ. FT.	
TOTAL =	7.9 SQ. FT.	
WOOD SIDING	1 219.2 SQ. FT.	

(VERT. & HORIZ.)

TOTAL =	219.2 SQ. FT.
GRATE ACCENT	1 32.4 SQ. FT.
TOTAL =	32.4 SQ. FT.
COPPER ACCENT	1 3.4 SQ. FT.
TOTAL =	3.4 SQ. FT.
GLAZING	1 63.0 SQ. FT.
	2 22.3 SQ. FT.
	3 13.2 SQ. FT.
	4 6.3 SQ. FT.
	5 23.2 SQ. FT.
	6 19.9 SQ. FT.
	7 8.7 SQ. FT.
TOTAL =	156.6 SQ. FT.



1 WEST ELEVATION (SOUTH HALF)
SCALE: 1/4" = 1'-0"

Tommy Hein

ARCHITECTS

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EXTERIOR FINISH KEY

STN1 - STONE VENEER	CONC1 - BOARD FORMED CONCRETE	PLS1 - EXTERIOR PLASTER VENEER	WD1 - RECLAIMED TIMBER
WD2 - VINTAGE 1x6 SIDING W/ REVEAL	WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL	MTL3 - METAL GRATE ACCENT	MTL4 - PATINAED COPPER ACCENT PANEL
MTL5 - COPPER STANDING SEAM	STN2 - SYNTHETIC SLATE SHINGLE	MTL6 - MILL FINISH STEEL	

EXTERIOR MATERIAL AREAS

(ALL AREAS FOR NORTH ELEV. OF MAIN HOUSE INCL. BELOW)

MATERIAL	AREA
STONE VENEER	1 285.4 SQ. FT.
	2 74.6 SQ. FT.
	3 271.3 SQ. FT.
	4 76.4 SQ. FT.
	5 228.1 SQ. FT.
	6 260.3 SQ. FT.
TOTAL =	1196.1 SQ. FT.
CONCRETE	1 83.9 SQ. FT.
	2 144.0 SQ. FT.
	3 193.3 SQ. FT.
	4 9.4 SQ. FT.
	5 7.5 SQ. FT.
TOTAL =	438.1 SQ. FT.

PLASTER VENEER	1 215.1 SQ. FT.
	2 220.2 SQ. FT.
TOTAL =	435.3 SQ. FT.
TIMBER	1 10.5 SQ. FT.
	2 18.9 SQ. FT.
	3 22.3 SQ. FT.
	4 15.5 SQ. FT.
TOTAL =	67.4 SQ. FT.
WOOD SIDING (VERT. & HORIZ.)	1 112.3 SQ. FT.
	2 47.0 SQ. FT.
	3 91.5 SQ. FT.
	4 223.5 SQ. FT.
	5 59.6 SQ. FT.
	6 47.2 SQ. FT.
	7 163.4 SQ. FT.
	8 184.9 SQ. FT.

	9 106.9 SQ. FT.
TOTAL =	1036.3 SQ. FT.
GRATE ACCENT	1 49.0 SQ. FT.
	2 30.4 SQ. FT.
TOTAL =	79.4 SQ. FT.
COPPER ACCENT	1 7.0 SQ. FT.
	2 11.2 SQ. FT.
TOTAL =	18.2 SQ. FT.
GLAZING	1 41.0 SQ. FT.
	2 63.3 SQ. FT.
	3 37.0 SQ. FT.
	4 37.0 SQ. FT.
	5 74.6 SQ. FT.
	6 312.7 SQ. FT.
	7 324.8 SQ. FT.

	8 30.2 SQ. FT.
	9 46.5 SQ. FT.
	10 42.0 SQ. FT.
	11 3.0 SQ. FT.
	12 69.3 SQ. FT.
	13 33.9 SQ. FT.
	14 49.0 SQ. FT.
	15 31.6 SQ. FT.
	16 78.3 SQ. FT.
	17 46.1 SQ. FT.
TOTAL =	1320.2 SQ. FT.

Tommy Hein

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SUBMISSIONS:

DRB WORK SESSION	11.14.13
CLIENT REVIEW	01.18.14
CLIENT REVISIONS	01.24.14
DD PROGRESS	03.28.14
DD / PRICING 1	07.18.14
BUDGET / CLIENT REVIEW	08.05.14
PLAN REVISIONS	10.03.14
PLAN UPDATES	10.17.14
DRB SUBMITTAL	11.07.14
PRICING 2 / ATLANTA TRIP	12.01.14
DRB R&R REVISIONS	12.19.14
DRB ADDITIONAL REVISIONS	01.20.15



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NORTH ELEVATION (EAST HALF)

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1 NORTH ELEVATION (EAST HALF)
 SCALE: 1/4" = 1'-0"

A3.3a

EXTERIOR FINISH KEY

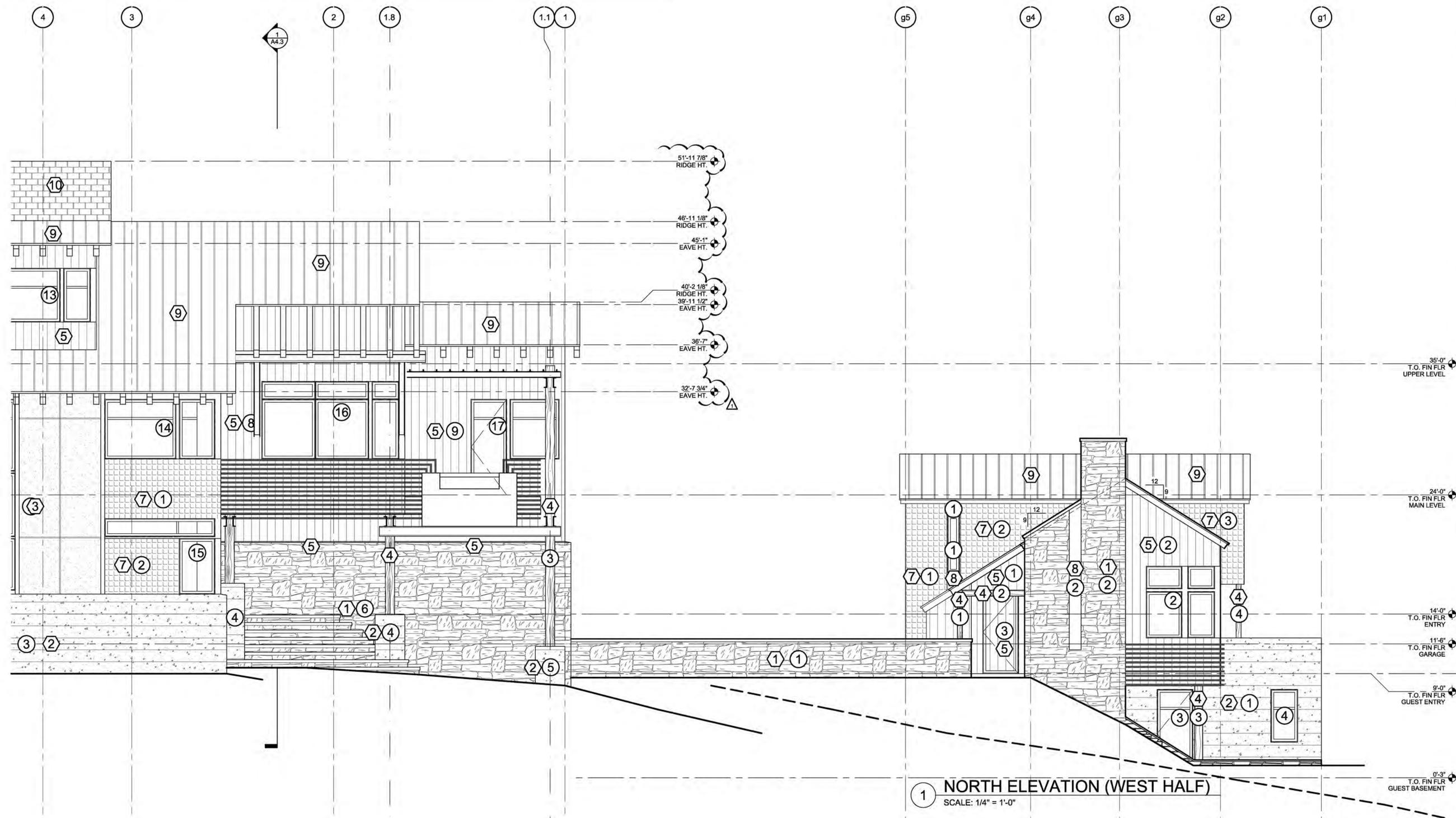
STN1 - STONE VENEER	CONC1 - BOARD FORMED CONCRETE	PLS1 - EXTERIOR PLASTER VENEER	WD1 - RECLAIMED TIMBER
WD2 - VINTAGE 1x6 SIDING W/ REVEAL	WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL	MTL3 - METAL GRATE ACCENT	MTL4 - PATINAED COPPER ACCENT PANEL
MTL5 - COPPER STANDING SEAM	STN2 - SYNTHETIC SLATE SHINGLE	MTL6 - MILL FINISH STEEL	

EXTERIOR MATERIAL AREAS

(AREAS FOR NORTH ELEV. OF GUEST WING INCL. BELOW)

MATERIAL	AREA	REMARKS
STONE VENEER	① 102.7 SQ. FT.	*
	② 140.7 SQ. FT.	
TOTAL =	243.5 SQ. FT.	
CONCRETE	① 97.8 SQ. FT.	
TOTAL =	97.8 SQ. FT.	
TIMBER	① 1.5 SQ. FT.	
	② 2.6 SQ. FT.	
	③ 4.2 SQ. FT.	
	④ 1.9 SQ. FT.	
TOTAL =	10.2 SQ. FT.	
WOOD SIDING (VERT. & HORIZ.)	① 29.3 SQ. FT.	
	② 76.1 SQ. FT.	

TOTAL =	③ 15.8 SQ. FT.
TOTAL =	121.2 SQ. FT.
GRATE ACCENT	① 33.0 SQ. FT.
	② 31.8 SQ. FT.
TOTAL =	③ 19.8 SQ. FT.
TOTAL =	84.6 SQ. FT.
COPPER ACCENT	① 2.2 SQ. FT.
	② 12.0 SQ. FT.
TOTAL =	14.2 SQ. FT.
GLAZING	① 4.8 SQ. FT.
	② 37.5 SQ. FT.
	③ 14.7 SQ. FT.
	④ 9.9 SQ. FT.
TOTAL =	66.8 SQ. FT.



1 NORTH ELEVATION (WEST HALF)
SCALE: 1/4" = 1'-0"

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NORTH ELEVATION (WEST HALF)

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A3.3b

NOT FOR CONSTRUCTION

EXTERIOR FINISH KEY

STN1 - STONE VENEER	CONC1 - BOARD FORMED CONCRETE	PLS1 - EXTERIOR PLASTER VENEER	WD1 - RECLAIMED TIMBER
WD2 - VINTAGE 1x6 SIDING W/ REVEAL	WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL	MTL3 - METAL GRATE ACCENT	MTL4 - PATINAED COPPER ACCENT PANEL
MTL5 - COPPER STANDING SEAM	STN2 - SYNTHETIC SLATE SHINGLE	MTL6 - MILL FINISH STEEL	

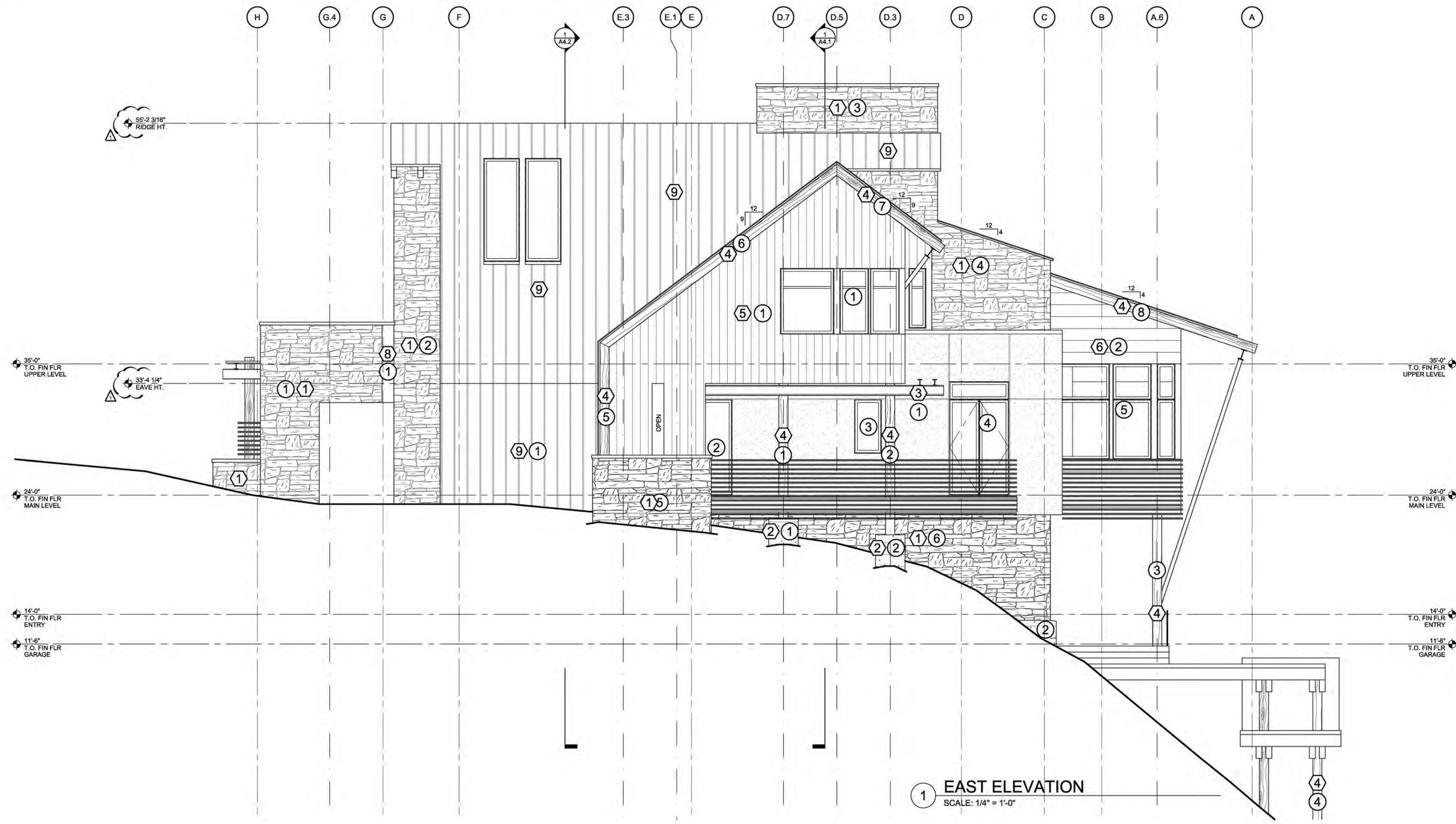
EXTERIOR MATERIAL AREAS

(ALL AREAS FOR EAST ELEV. OF MAIN HOUSE INCL. BELOW)

MATERIAL	AREA
STONE VENEER	116.9 SQ. FT.
	109.5 SQ. FT.
	59.4 SQ. FT.
	94.1 SQ. FT.
	57.9 SQ. FT.
	106.2 SQ. FT.
TOTAL =	544.0 SQ. FT.
CONCRETE	5.6 SQ. FT.
	10.7 SQ. FT.
TOTAL =	16.3 SQ. FT.
PLASTER VENEER	241.7 SQ. FT.
TOTAL =	241.7 SQ. FT.

TIMBER	AREA
	6.7 SQ. FT.
	6.7 SQ. FT.
	8.5 SQ. FT.
	15.6 SQ. FT.
	7.1 SQ. FT.
	18.9 SQ. FT.
	8.6 SQ. FT.
	14.1 SQ. FT.
TOTAL =	86.2 SQ. FT.
WOOD SIDING (VERT. & HORIZ.)	279.4 SQ. FT.
	96.4 SQ. FT.
TOTAL =	375.7 SQ. FT.
COPPER ACCENT	6.5 SQ. FT.
TOTAL =	6.5 SQ. FT.

STANDING SEAM	AREA
	134.8 SQ. FT.
TOTAL =	134.8 SQ. FT.
GLAZING	AREA
	57.8 SQ. FT.
	16.3 SQ. FT.
	10.1 SQ. FT.
	47.5 SQ. FT.
	80.0 SQ. FT.
TOTAL =	211.7 SQ. FT.



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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EAST
ELEVATION

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EXTERIOR FINISH KEY

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WD2 - VINTAGE 1x6 SIDING W/ REVEAL	WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL	MTL3 - METAL GRATE ACCENT	MTL4 - PATINAED COPPER ACCENT PANEL
MTL5 - COPPER STANDING SEAM	STN2 - SYNTHETIC SLATE SHINGLE	MTL6 - MILL FINISH STEEL	

EXTERIOR MATERIAL AREAS (AREAS FOR EAST ELEV. OF GUEST WING INCL. BELOW)

MATERIAL	AREA
STONE VENEER	16.9 SQ. FT.
	41.4 SQ. FT.
TOTAL =	58.2 SQ. FT.
CONCRETE	19.8 SQ. FT.
	36.3 SQ. FT.
TOTAL =	56.0 SQ. FT.
TIMBER	5.5 SQ. FT.
	10.2 SQ. FT.
TOTAL =	15.7 SQ. FT.
WOOD SIDING (VERT. & HORIZ.)	41.8 SQ. FT.
	31.3 SQ. FT.
TOTAL =	73.1 SQ. FT.

GRATE ACCENT	100.1 SQ. FT.
TOTAL =	100.1 SQ. FT.
COPPER ACCENT	8.3 SQ. FT.
TOTAL =	8.3 SQ. FT.
GLAZING	6.3 SQ. FT.
	3.0 SQ. FT.
TOTAL =	9.3 SQ. FT.

EXTERIOR MATERIAL AREAS (AREAS FOR EAST ELEV. OF ENTRY COURTYARD INCL. BELOW)

MATERIAL	AREA
STONE VENEER	476.6 SQ. FT.
	148.5 SQ. FT.
TOTAL =	625.1 SQ. FT.
PLASTER VENEER	36.9 SQ. FT.
TOTAL =	36.9 SQ. FT.
TIMBER	32.7 SQ. FT.
	17.2 SQ. FT.
	4.0 SQ. FT.
TOTAL =	54.0 SQ. FT.
WOOD SIDING (VERT. & HORIZ.)	NOT USED
	65.8 SQ. FT.
TOTAL =	65.8 SQ. FT.

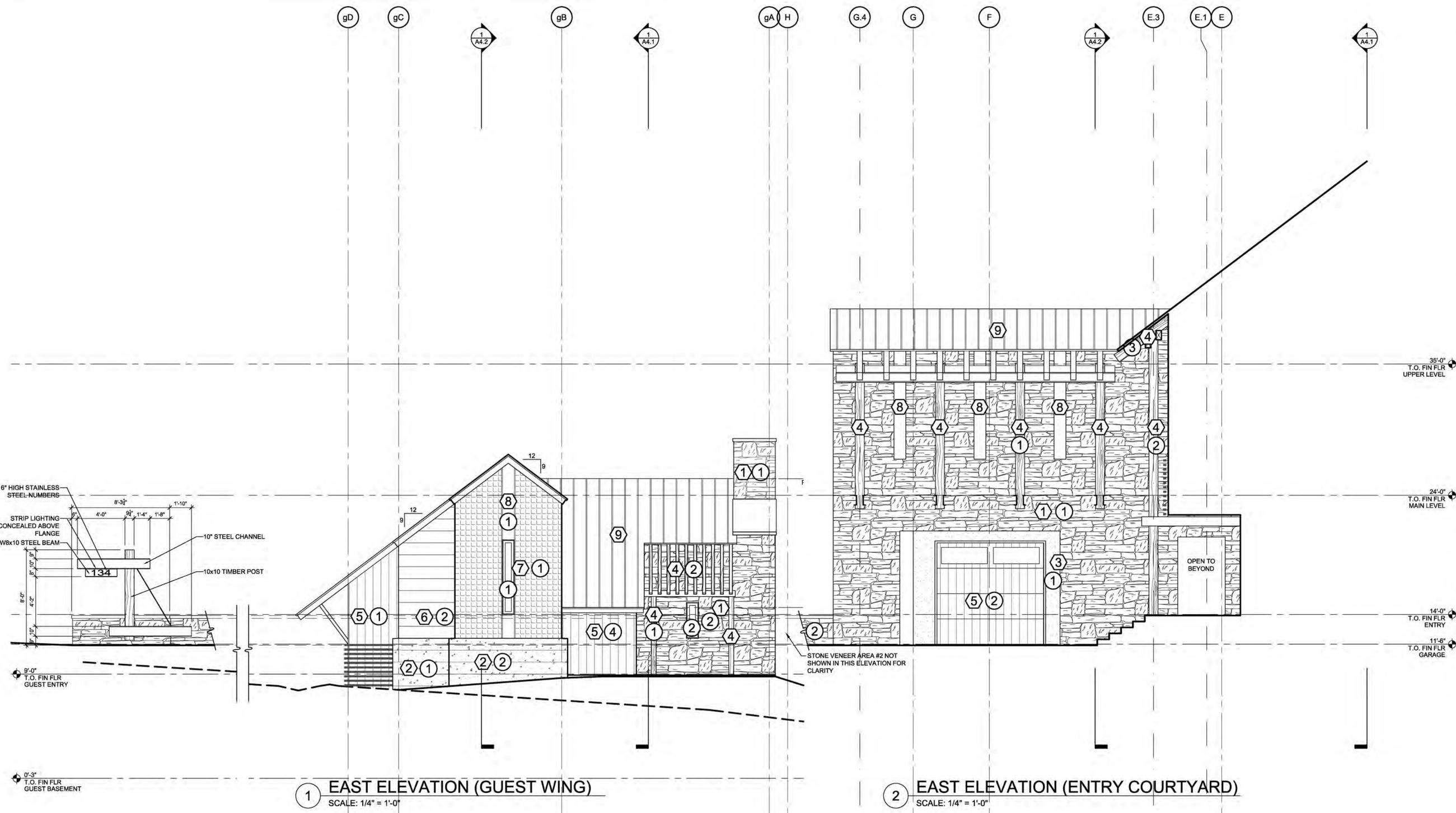
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EAST GUEST & ENTRY ELEVATIONS

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A3.5

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EXTERIOR FINISH KEY

STN1 - STONE VENEER	CONC1 - BOARD FORMED CONCRETE	PLS1 - EXTERIOR PLASTER VENEER	WD1 - RECLAIMED TIMBER
WD2 - VINTAGE 1x6 SIDING W/ REVEAL	WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL	MTL3 - METAL GRATE ACCENT	MTL4 - PATINAED COPPER ACCENT PANEL
MTL5 - COPPER STANDING SEAM	STN2 - SYNTHETIC SLATE SHINGLE	MTL6 - MILL FINISH STEEL	

EXTERIOR MATERIAL AREAS
(AREAS FOR WEST ELEV. OF ENTRY COURTYARD INCL. BELOW)

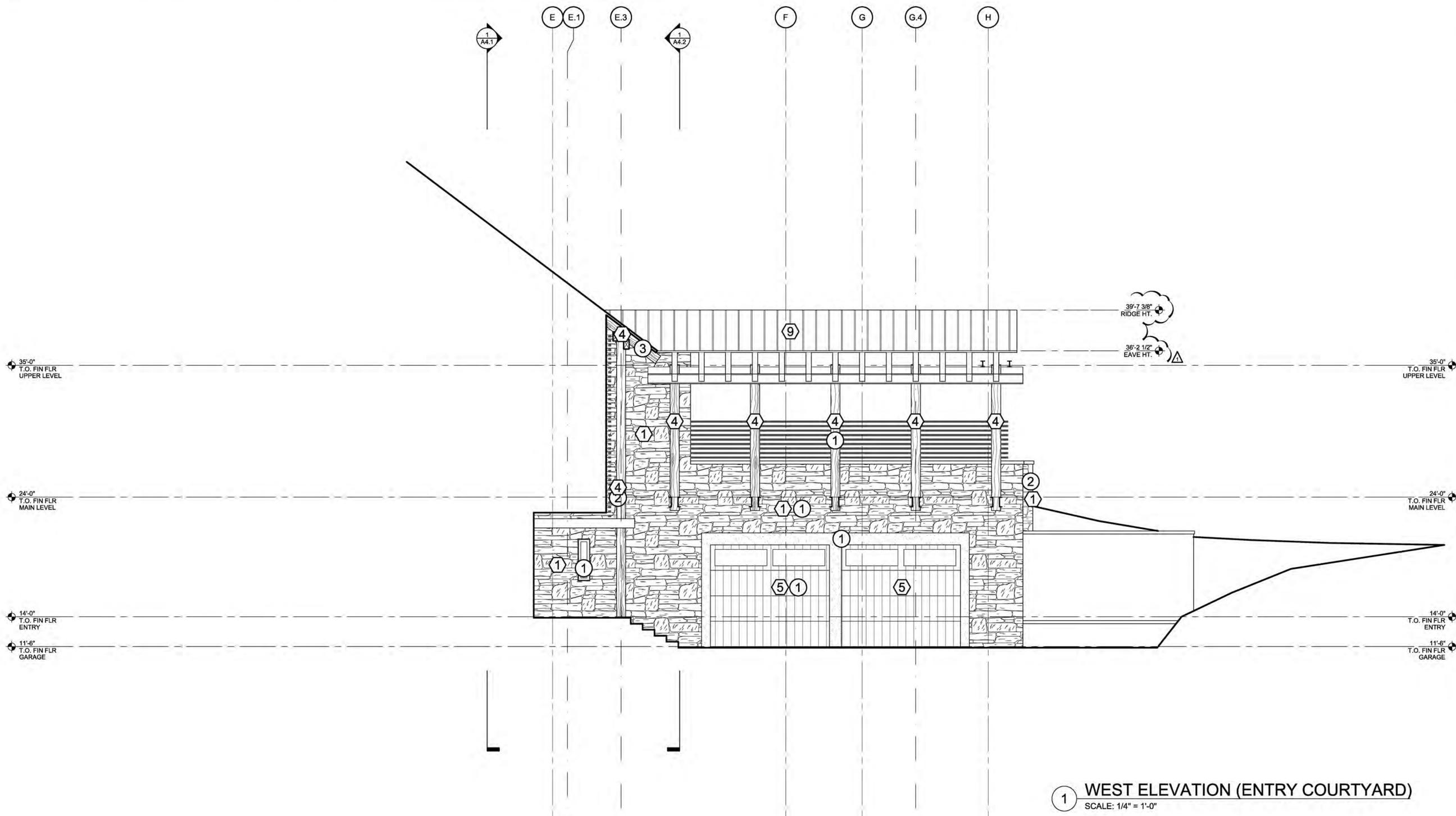
MATERIAL	AREA
STONE VENEER	① 379.8 SQ. FT.
	② 4.7 SQ. FT.
TOTAL =	384.4 SQ. FT.
PLASTER VENEER	① 44.0 SQ. FT.
TOTAL =	44.0 SQ. FT.
TIMBER	① 41.0 SQ. FT.
	② 17.2 SQ. FT.
	③ 4.0 SQ. FT.
TOTAL =	62.2 SQ. FT.
WOOD SIDING (VERT. & HORIZ.)	① 145.9 SQ. FT.
TOTAL =	145.9 SQ. FT.

GLAZING	①	3.5 SQ. FT.
TOTAL =		3.5 SQ. FT.

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PLAN UPDATES	10.17.14
DRB SUBMITTAL	11.07.14
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WEST ENTRY COURTYARD ELEVATION

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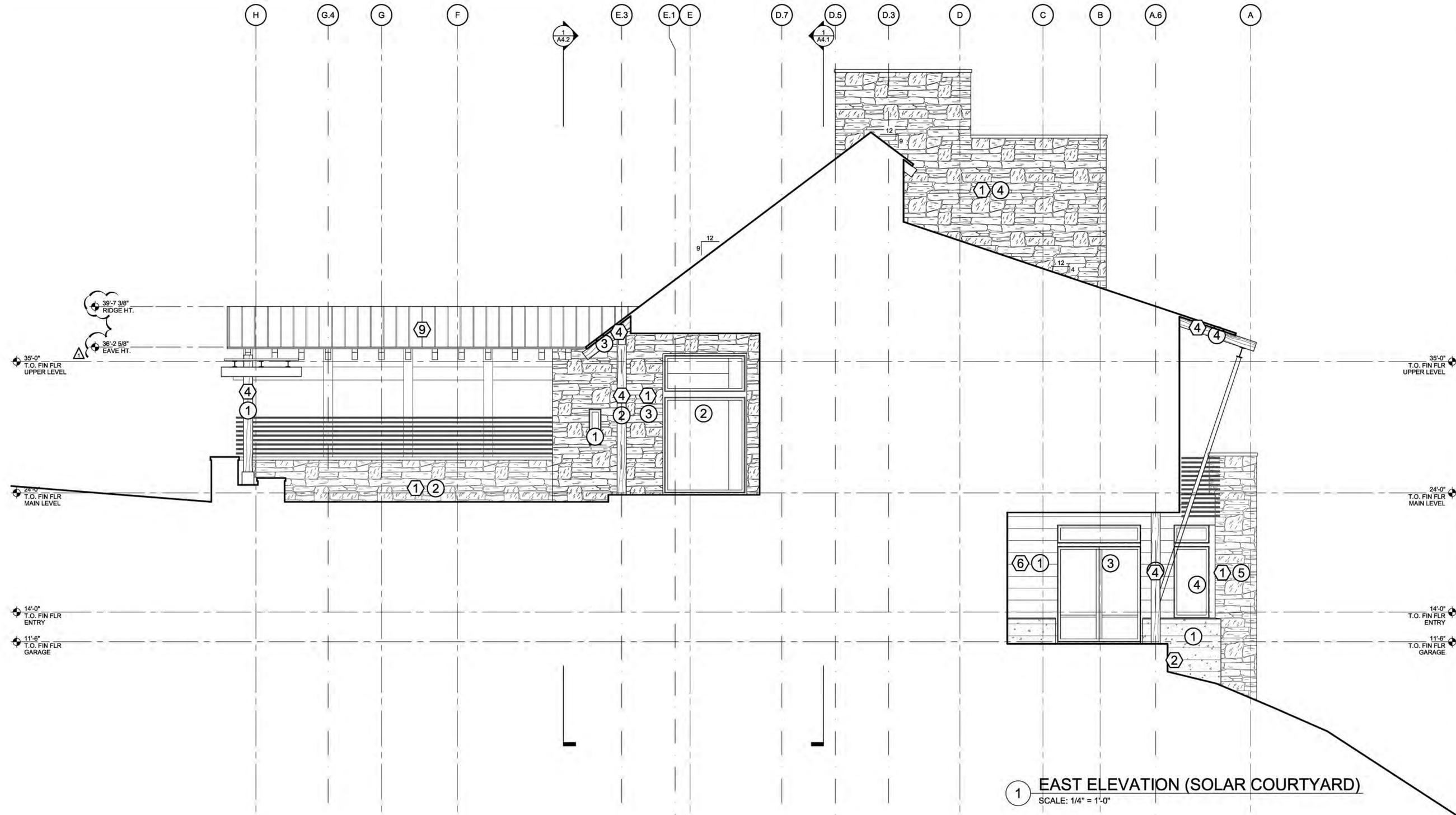
A3.6

① WEST ELEVATION (ENTRY COURTYARD)
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH KEY					
STN1 - STONE VENEER		CONC1 - BOARD FORMED CONCRETE		PLS1 - EXTERIOR PLASTER VENEER	
WD2 - VINTAGE 1x6 SIDING W/ REVEAL		WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL		MTL3 - METAL GRATE ACCENT	
MTL5 - COPPER STANDING SEAM		STN2 - SYNTHETIC SLATE SHINGLE		MTL6 - MILL FINISH STEEL	
				WD1 - RECLAIMED TIMBER	
				MTL4 - PATINAED COPPER ACCENT PANEL	

EXTERIOR MATERIAL AREAS (AREAS FOR EAST ELEV. OF SOLAR COURTYARD INCL. BELOW)		
MATERIAL	AREA	* SQUARE FEET (APPROXIMATE)
STONE VENEER	①	NOT USED
	②	83.0 SQ. FT.
	③	134.6 SQ. FT.
	④	233.8 SQ. FT.
	⑤	68.0 SQ. FT.
TOTAL =		519.5 SQ. FT.
CONCRETE	①	33.6 SQ. FT.
TOTAL =		33.6 SQ. FT.
TIMBER	①	6.8 SQ. FT.
	②	9.7 SQ. FT.
	③	3.7 SQ. FT.
	④	5.2 SQ. FT.
	⑤	8.5 SQ. FT.

TOTAL =		33.9 SQ. FT.
WOOD SIDING (VERT. & HORIZ.)	①	73.1 SQ. FT.
TOTAL =		73.1 SQ. FT.
GLAZING	①	3.0 SQ. FT.
	②	83.8 SQ. FT.
	③	69.7 SQ. FT.
	④	26.9 SQ. FT.
TOTAL =		183.5 SQ. FT.



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EAST SOLAR COURTYARD ELEVATION

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EXTERIOR FINISH KEY					
STN1 - STONE VENEER		CONC1 - BOARD FORMED CONCRETE		PLS1 - EXTERIOR PLASTER VENEER	
WD2 - VINTAGE 1x6 SIDING W/ REVEAL		WD3 - 2x10 ROUGH SAWN SIDING W/ REVEAL		MTL3 - METAL GRATE ACCENT	
MTL5 - COPPER STANDING SEAM		STN2 - SYNTHETIC SLATE SHINGLE		MTL6 - MILL FINISH STEEL	
				WD1 - RECLAIMED TIMBER	
				MTL4 - PATINAED COPPER ACCENT PANEL	

EXTERIOR MATERIAL AREAS	
(AREAS FOR WEST ELEV. OF SOLAR COURTYARD INCL. BELOW)	
MATERIAL	AREA
STONE VENEER	① 38.6 SQ. FT.
	② 83.4 SQ. FT.
	③ 651.6 SQ. FT.
	④ 99.5 SQ. FT.
	⑤ NOT USED
TOTAL =	873.0 SQ. FT.
TIMBER	① 8.5 SQ. FT.
	② 5.2 SQ. FT.
	③ 9.8 SQ. FT.
	④ 6.8 SQ. FT.
TOTAL =	30.3 SQ. FT.
COPPER ACCENT	① 6.6 SQ. FT.
	② 8.5 SQ. FT.

	③	16.8 SQ. FT.
	④	6.3 SQ. FT.
TOTAL =		38.2 SQ. FT.
GLAZING	①	122.9 SQ. FT.
TOTAL =		122.9 SQ. FT.



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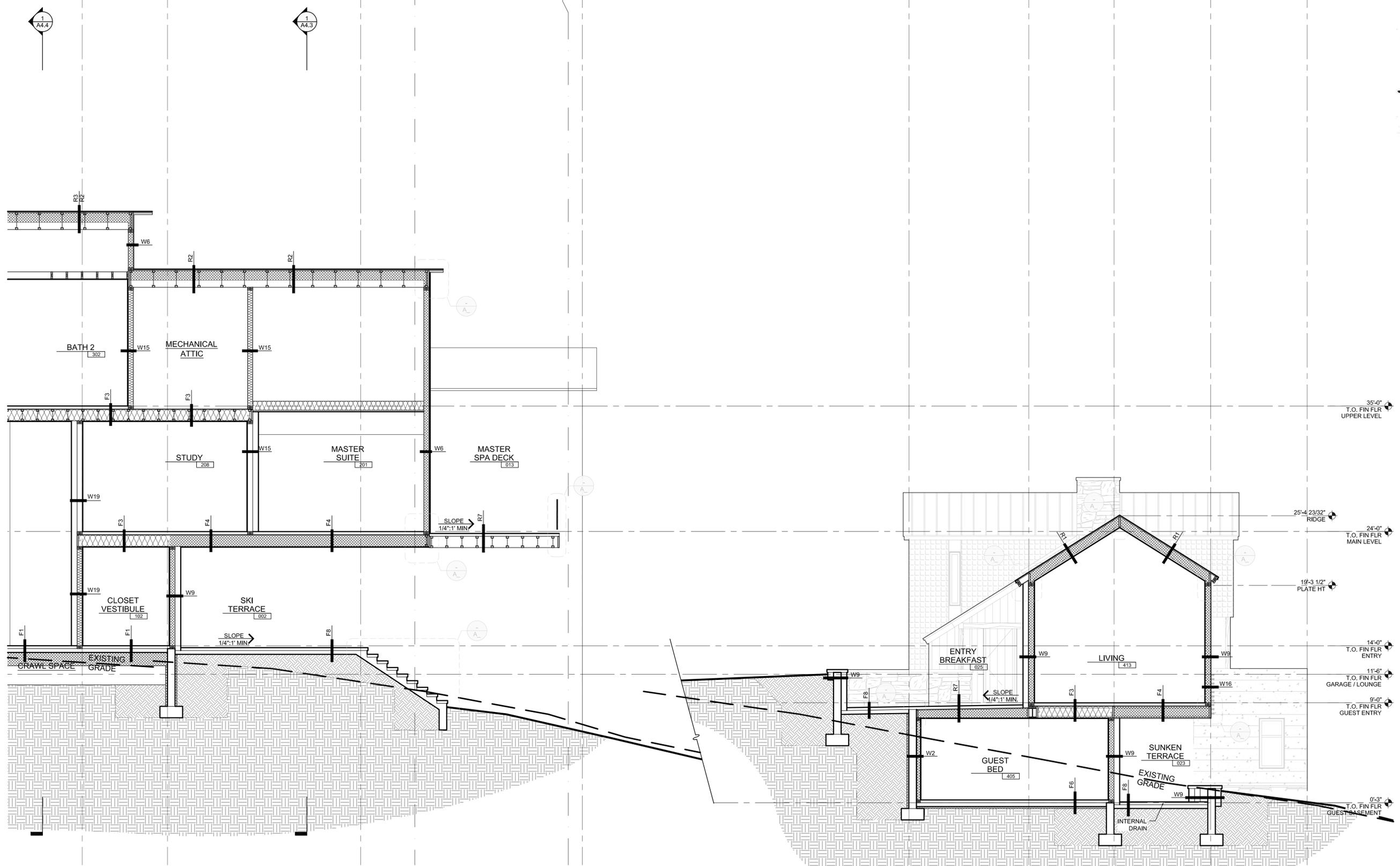
**WEST SOLAR
 COURTYARD
 ELEVATION**

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A3.8
 NOT FOR CONSTRUCTION

1 WEST ELEVATION (SOLAR COURTYARD)
 SCALE: 1/4" = 1'-0"

5) 4) 3) 2) 1.8) 1.1) 1) g5) g4) g3) g2) g1)



1 BUILDING SECTION 1 (WEST HALF)
SCALE: 1/4" = 1'-0"

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BUILDING SECTION

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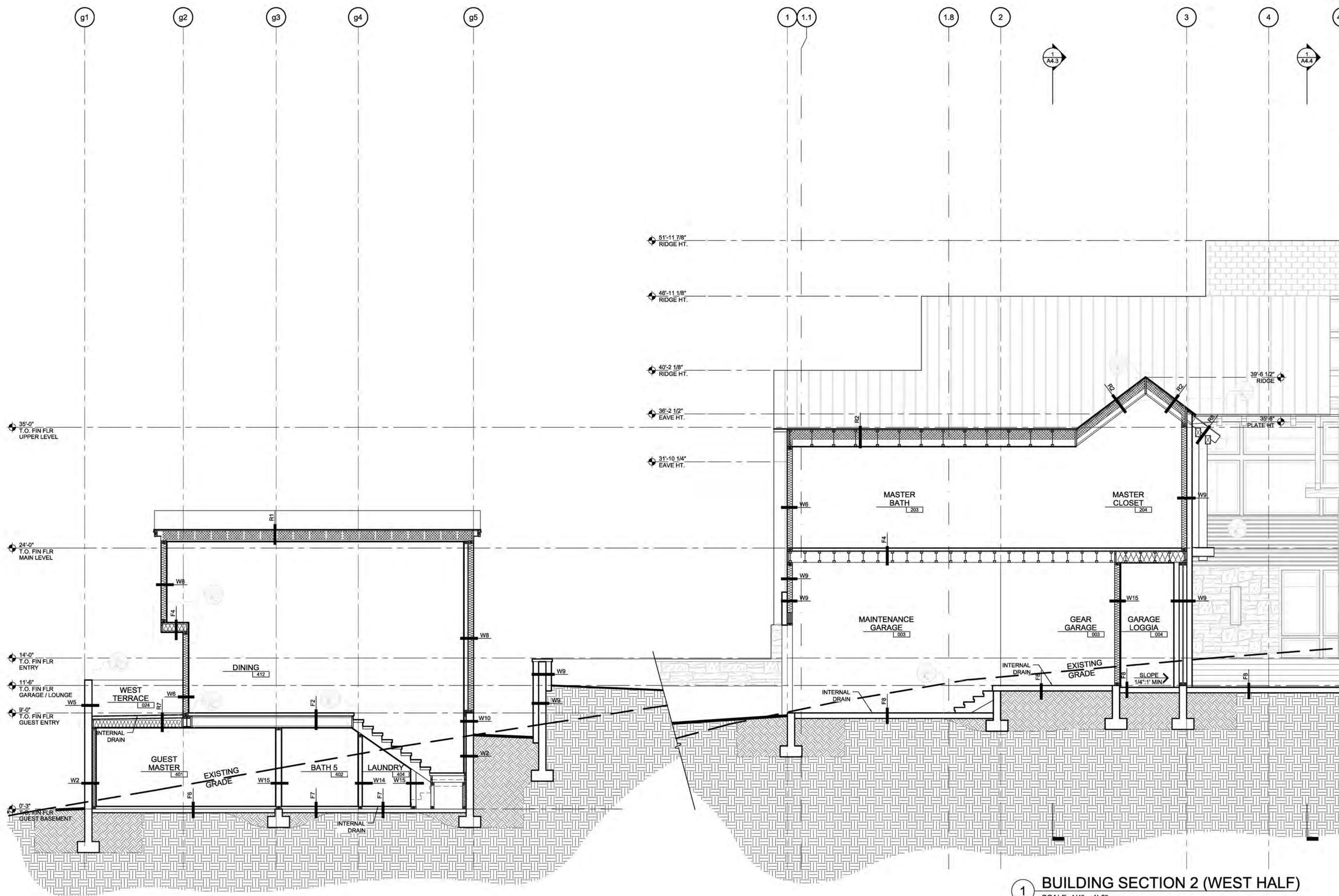
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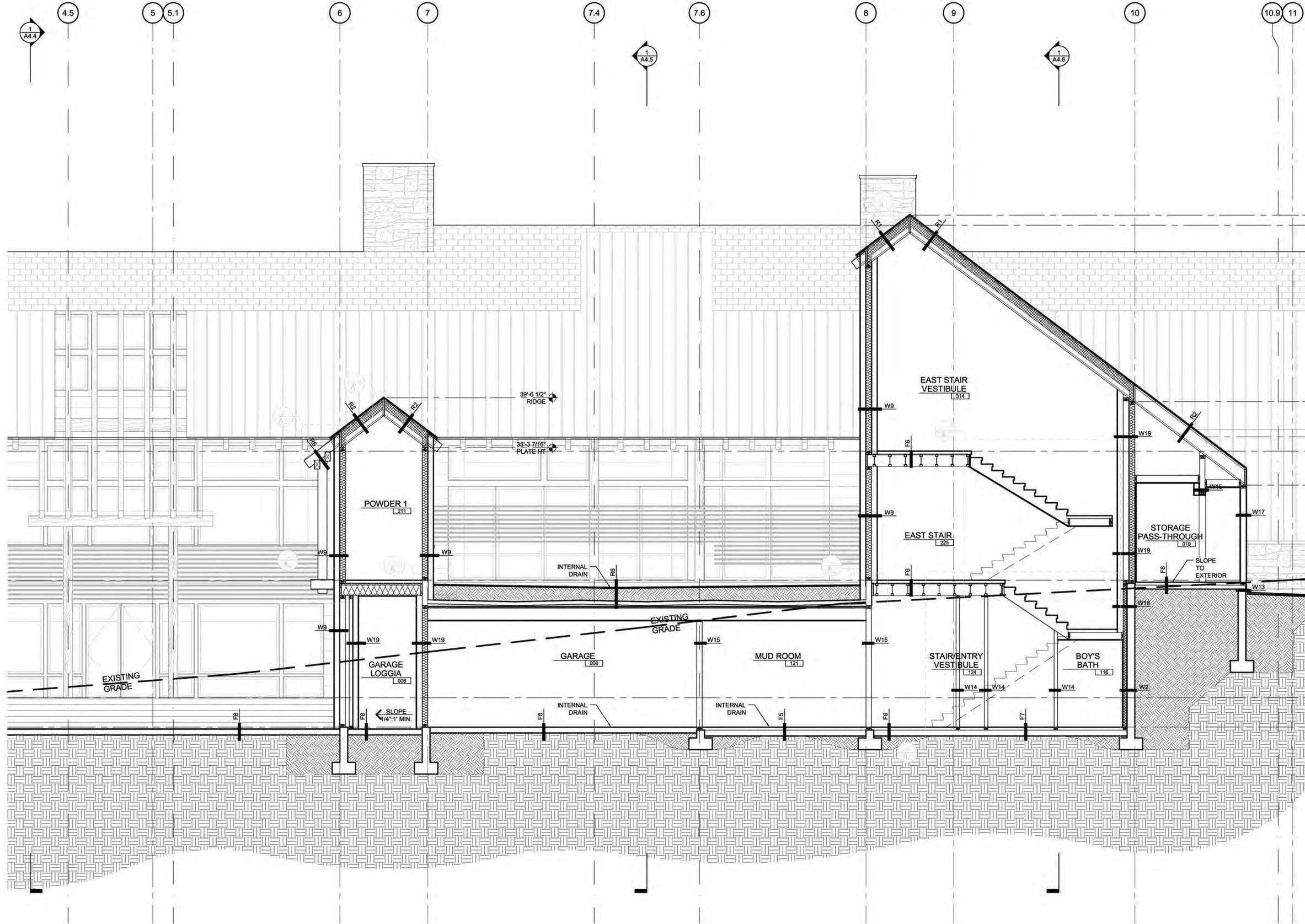
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A4.2a
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1 BUILDING SECTION 2 (WEST HALF)
 SCALE: 1/4" = 1'-0"



SUBMISSIONS:

DRB WORK SESSION	11.14.13
CLIENT REVIEW	01.18.14
CLIENT REVISIONS	01.24.14
DD PROGRESS	03.28.14
DD / PRICING 1	07.18.14
BUDGET / CLIENT REVIEW	08.05.14
PLAN REVISIONS	10.03.14
PLAN UPDATES	10.17.14
DRB SUBMITTAL	11.07.14
PRICING 2 / ATLANTA TRIP	12.01.14
DRB R&R REVISIONS	12.19.14
DRB ADDITIONAL REVISIONS	01.20.15

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A4.2b

1 BUILDING SECTION 2 (EAST HALF)
 SCALE: 1/4" = 1'-0"



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CLIENT REVIEW	01.18.14
CLIENT REVISIONS	01.24.14
DD PROGRESS	03.28.14
DD / PRICING 1	07.18.14
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DRB R&R REVISIONS	12.19.14
△DRB ADDITIONAL REVISIONS	01.20.15

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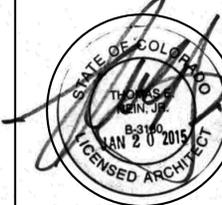
A4.3
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1 BUILDING SECTION 3
 SCALE: 1/4" = 1'-0"

Tommy Hein
ARCHITECTS

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CLIENT REVISIONS	01.24.14
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DRB R&R REVISIONS	12.19.14
Δ DRB ADDITIONAL REVISIONS	01.20.15

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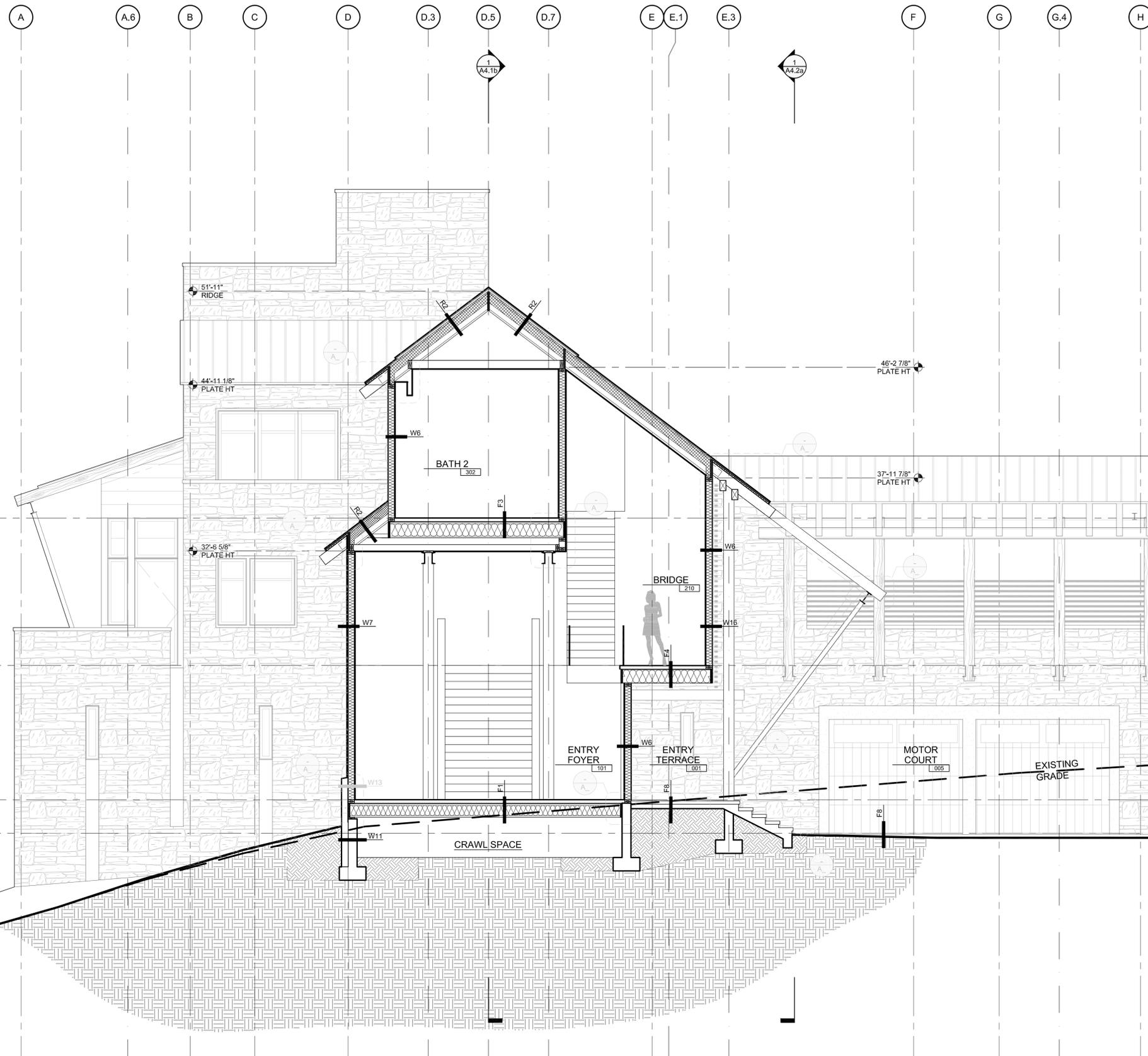
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A4.4



1 BUILDING SECTION 4
SCALE: 1/4" = 1'-0"

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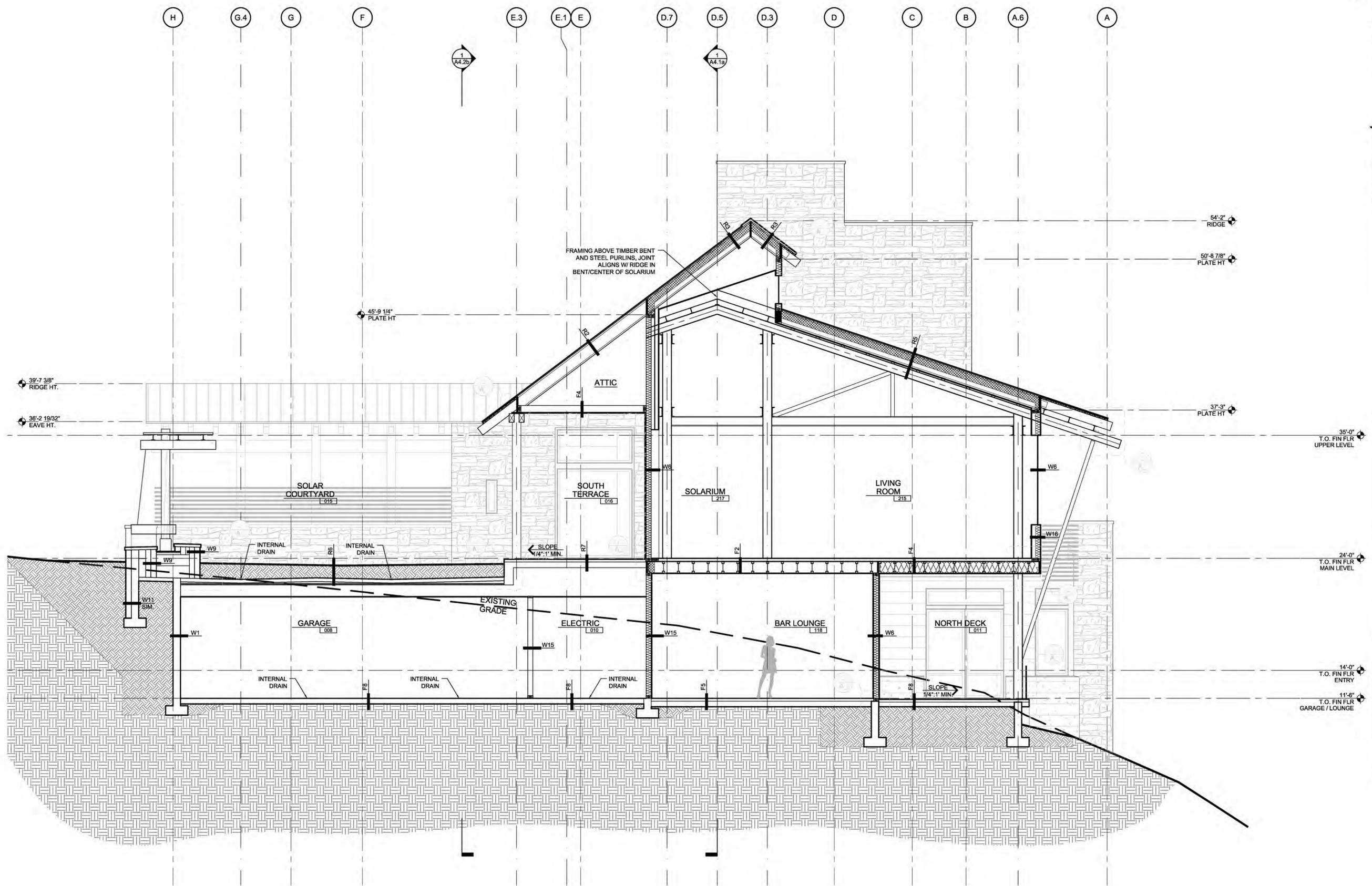
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DRB ADDITIONAL REVISIONS	01.20.15



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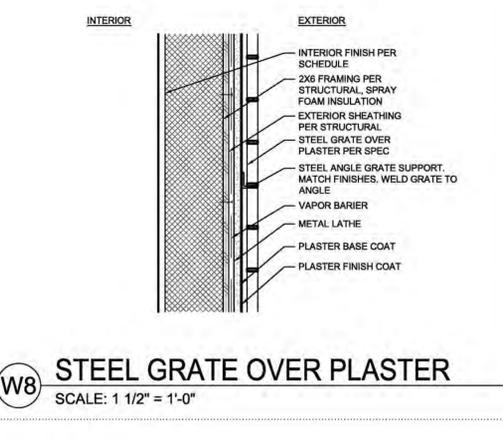
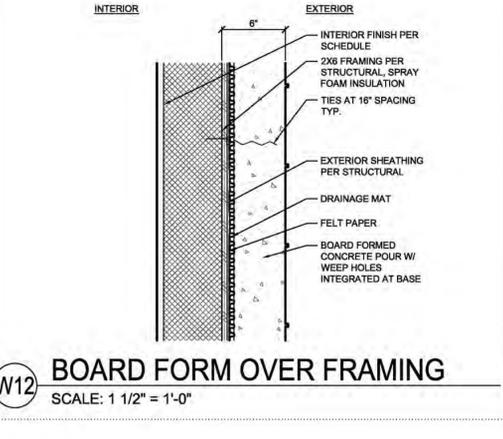
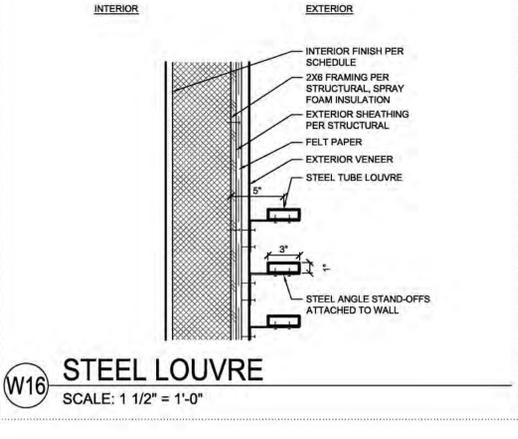
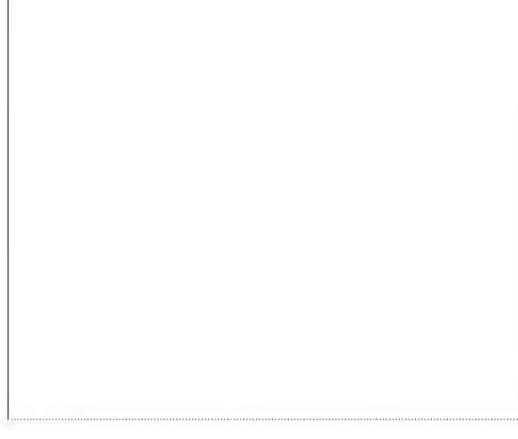
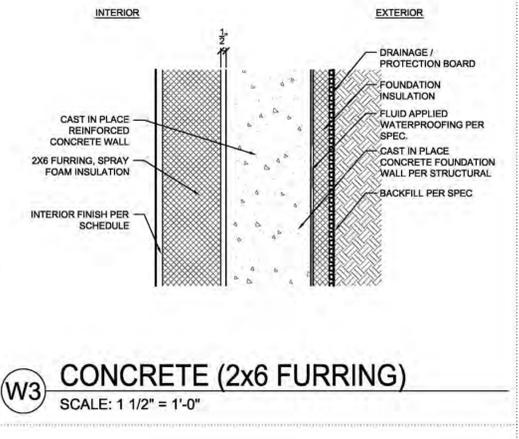
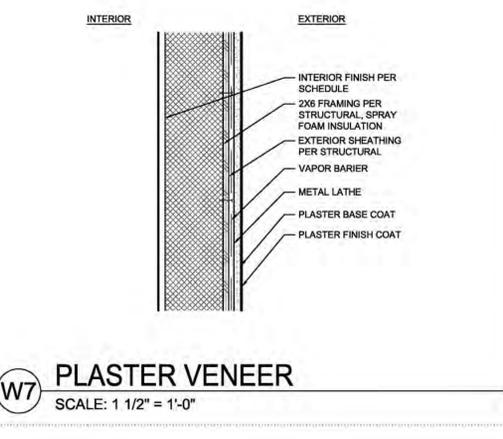
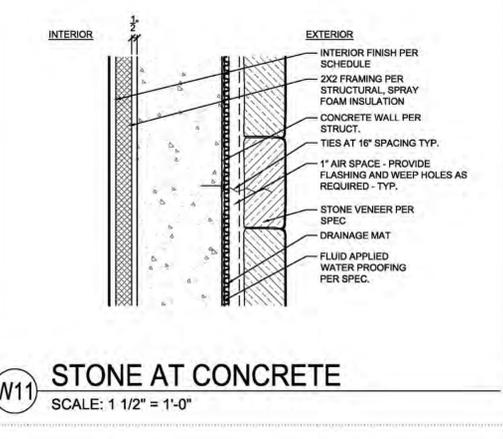
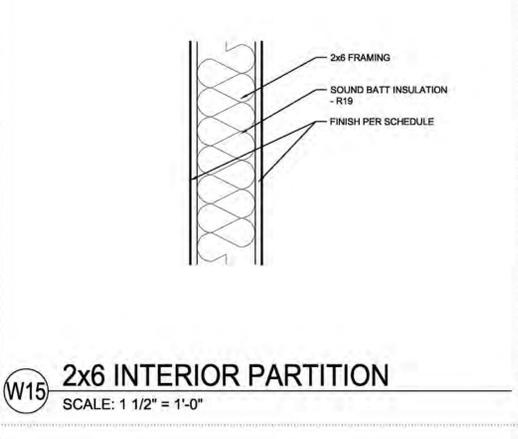
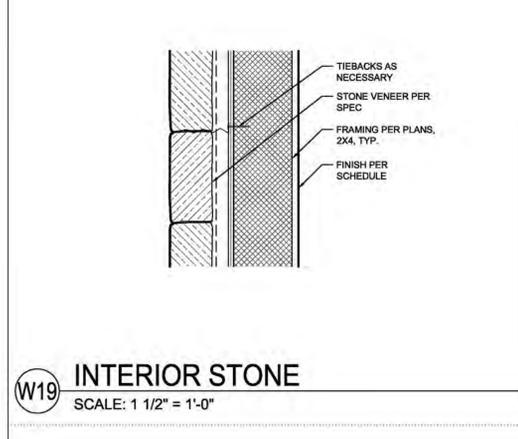
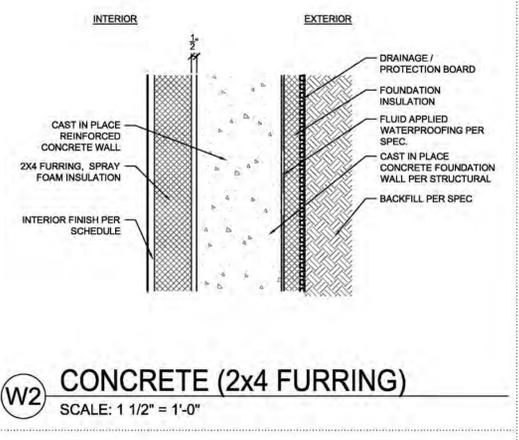
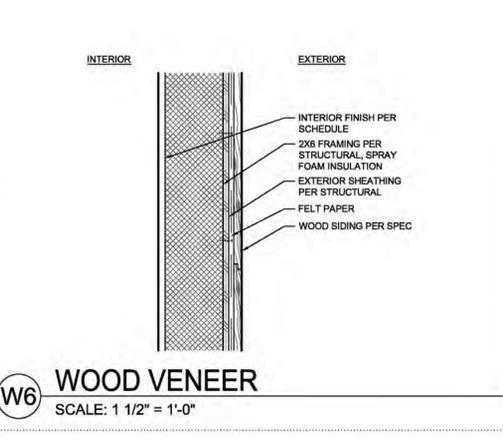
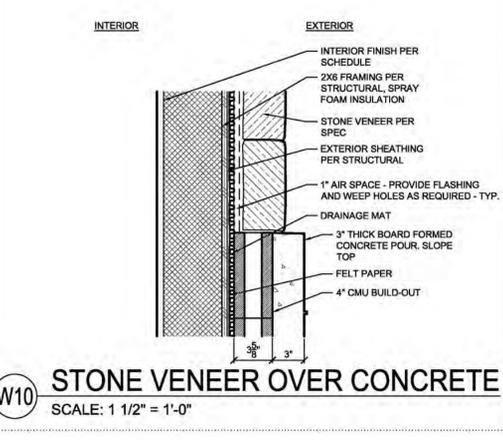
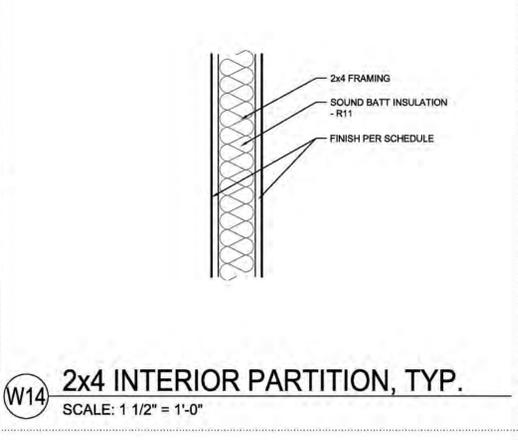
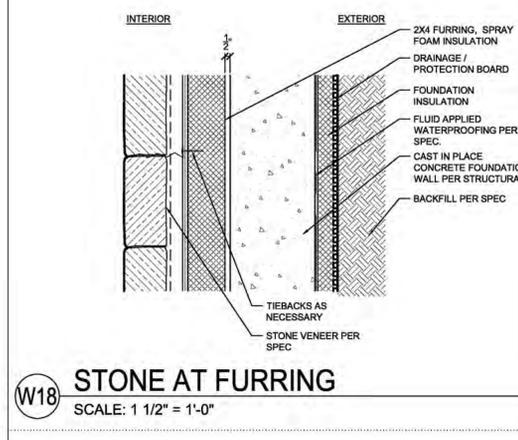
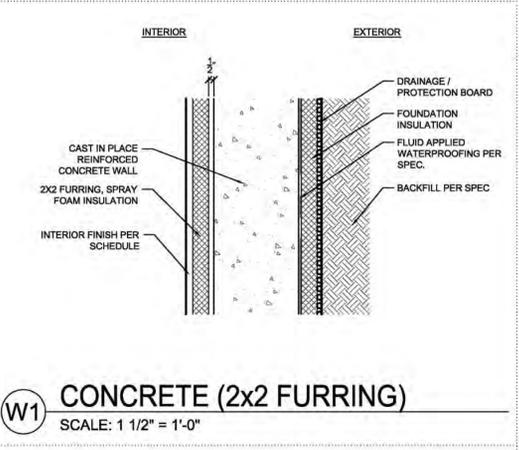
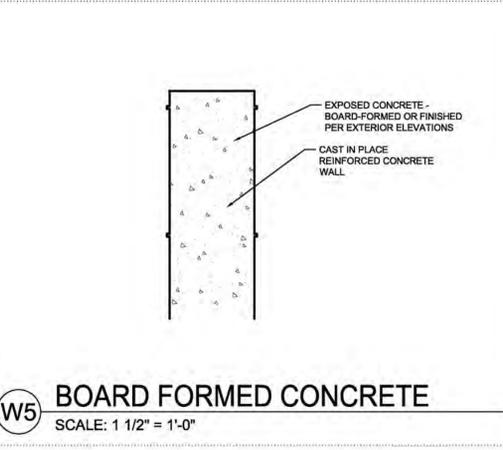
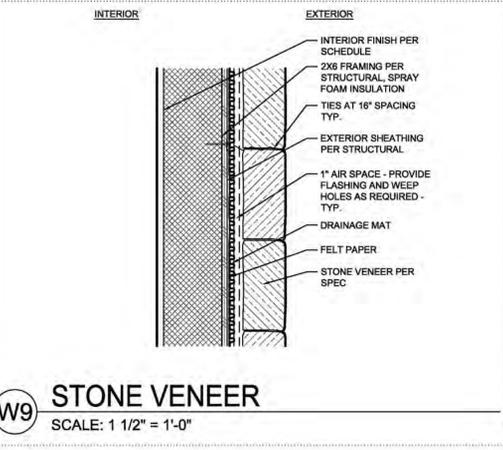
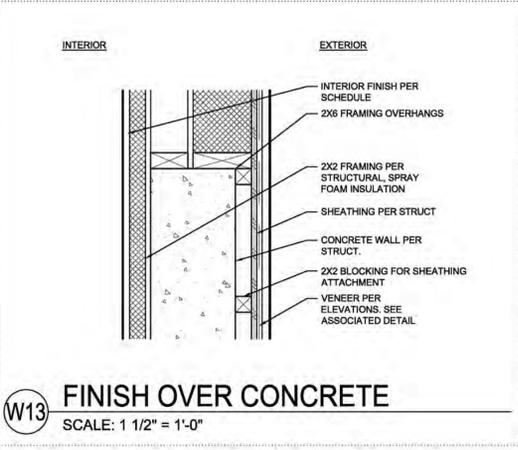
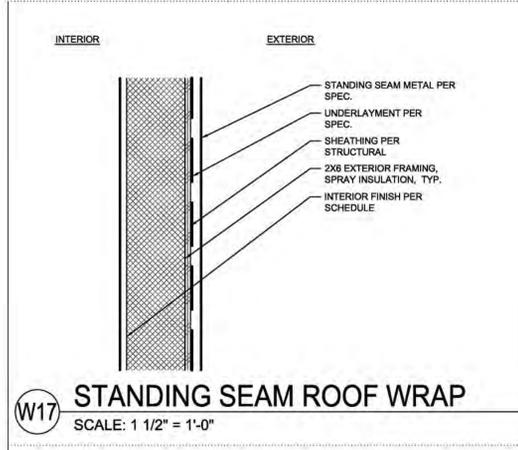
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A4.5

1 BUILDING SECTION 5
SCALE: 1/4" = 1'-0"



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DRB R&R REVISIONS	12.19.14
DRB ADDITIONAL REVISIONS	01.20.15

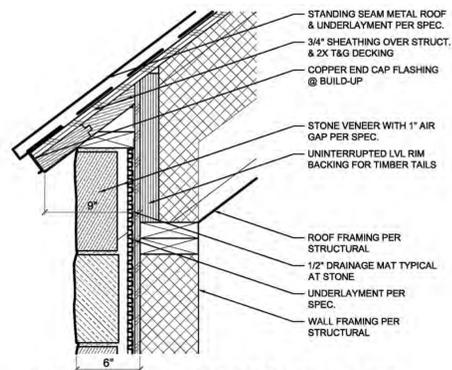
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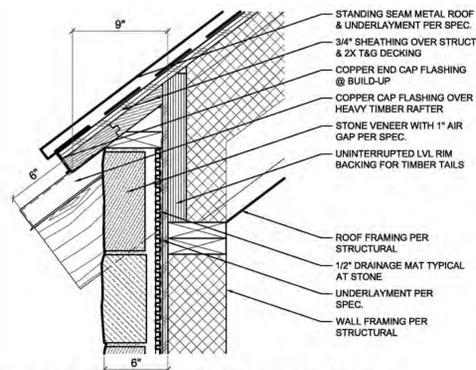
WALL ASSEMBLIES & DETAILS

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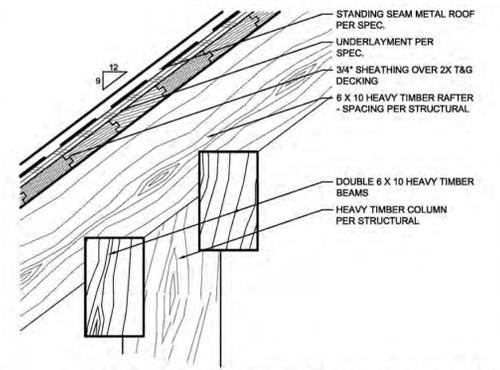
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 NOT FOR CONSTRUCTION



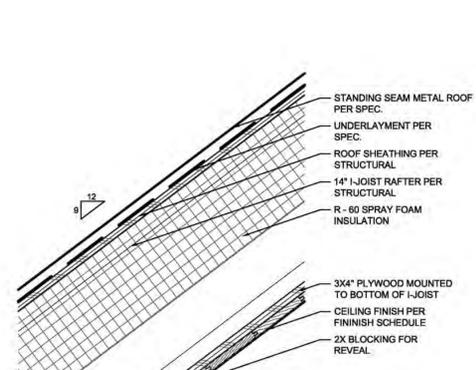
16 SHED EAVE AT STONE BARS
SCALE: 1 1/2" = 1'-0"



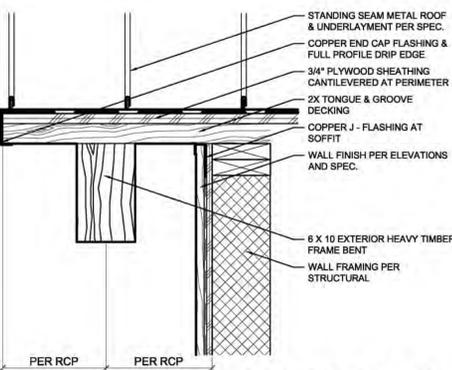
12 TYPICAL EAVE @ STONE
SCALE: 1 1/2" = 1'-0"



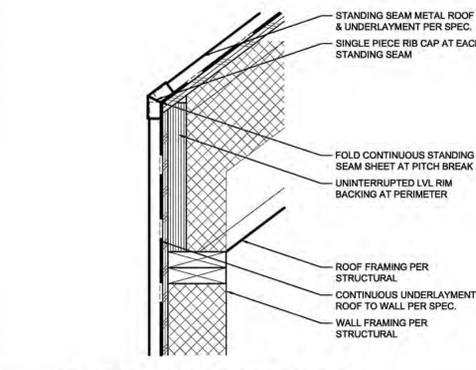
R8 EXTERIOR TIMBER FRAMED ROOF
SCALE: 1 1/2" = 1'-0" SHADE LOGGIA & MOTOR COURT



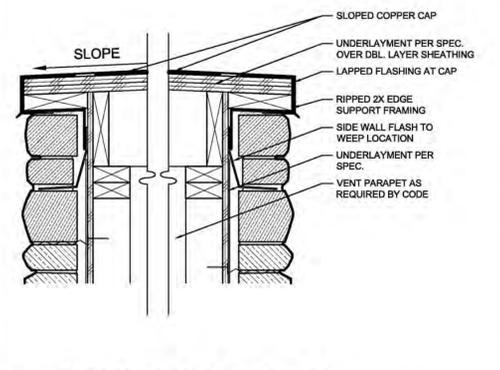
R1 TRUSS ROOF @ TIMBER FRAME
SCALE: 1 1/2" = 1'-0"



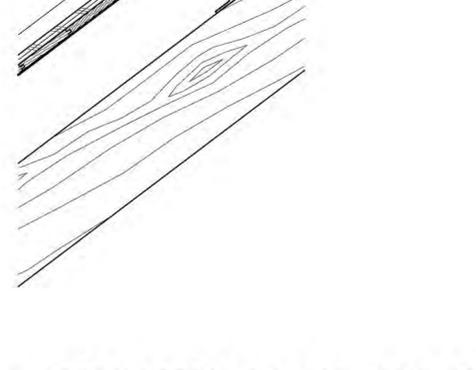
17 RAKE DET. AT EXT. TIMBER BENT
SCALE: 1 1/2" = 1'-0"



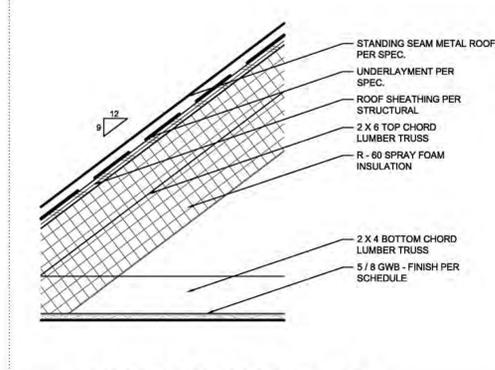
13 STANDING SEAM FOLD
SCALE: 1 1/2" = 1'-0"



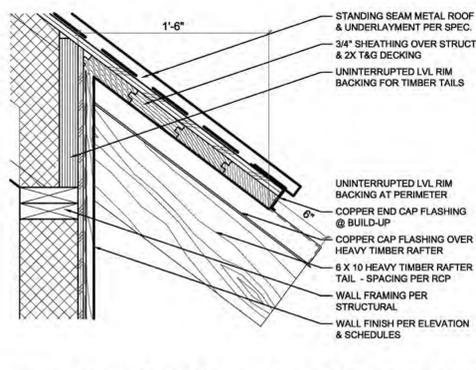
R9 CHIMNEY/STONE CAP
SCALE: 1 1/2" = 1'-0" LINK & KITCHEN SHED ROOFS



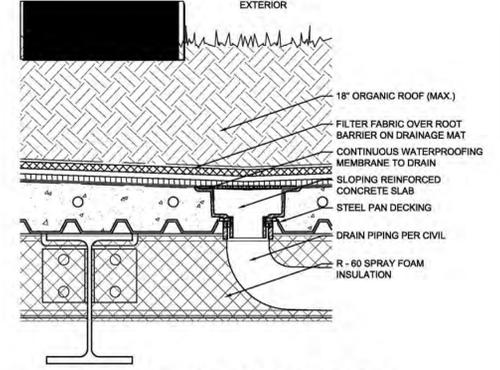
R5 ROOF ASSEMBLY @ LIVING ROOM
SCALE: 1 1/2" = 1'-0"



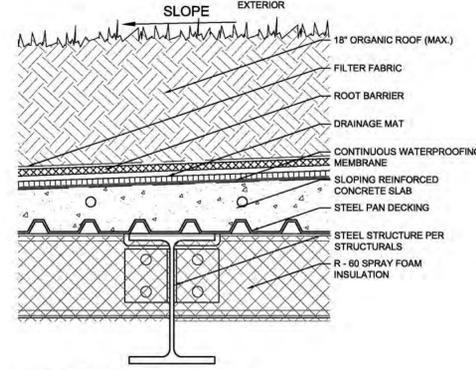
R2 LUMBER TRUSS ROOF
SCALE: 1 1/2" = 1'-0"



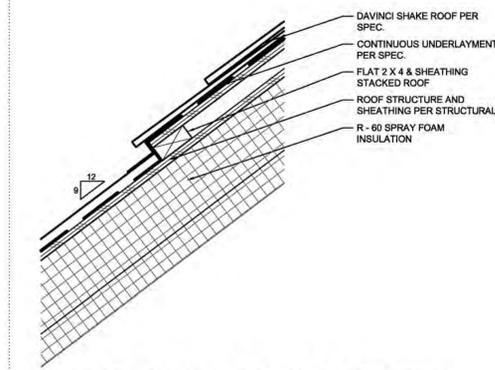
14 EAVE DETAIL AT WOOD/PLASTER
SCALE: 1 1/2" = 1'-0"



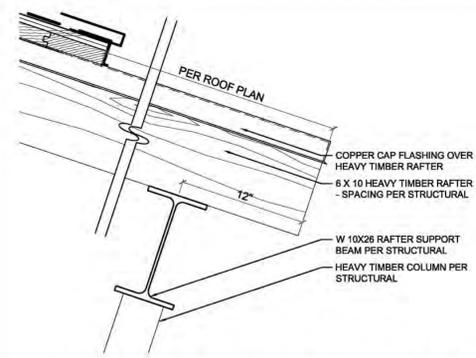
10 DRAIN AT GARDEN ROOF
SCALE: 1 1/2" = 1'-0" LEVEL STRUCTURE



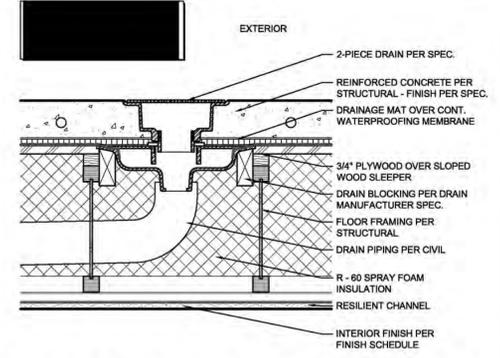
R6 GARDEN ROOF
SCALE: 1 1/2" = 1'-0" LEVEL STRUCTURE



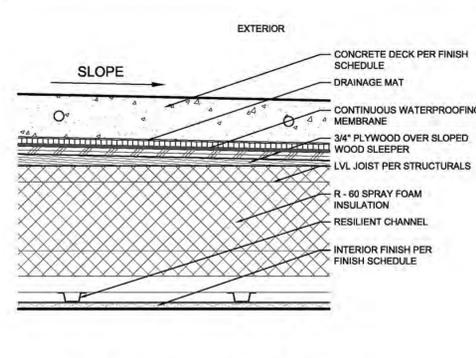
R3 STACKED ROOF ASSEMBLY
SCALE: 1 1/2" = 1'-0"



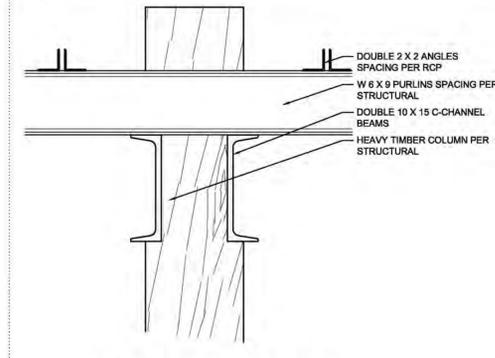
15 EXTENDED TIMBER EAVE DET.
SCALE: 1 1/2" = 1'-0"



11 DRAIN AT WOOD FRAME STRUC.
SCALE: 1 1/2" = 1'-0" LEVEL STRUCTURE



R7 NORTH TERRACE DECK
SCALE: 3/4" = 1'-0" LEVEL STRUCTURE -



R4 TRELLIS ASSEMBLY
SCALE: 1 1/2" = 1'-0"

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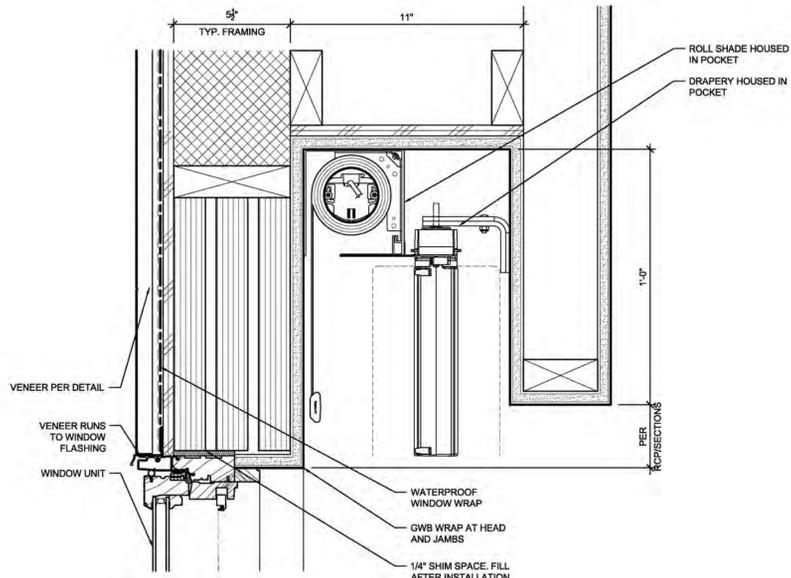
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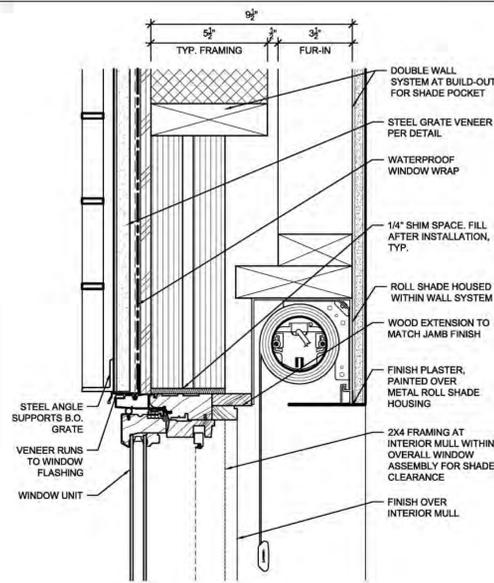
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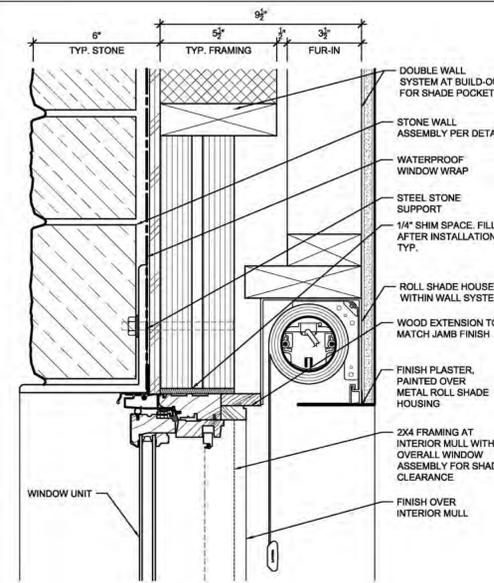
A0.3
CONSTRUCTION



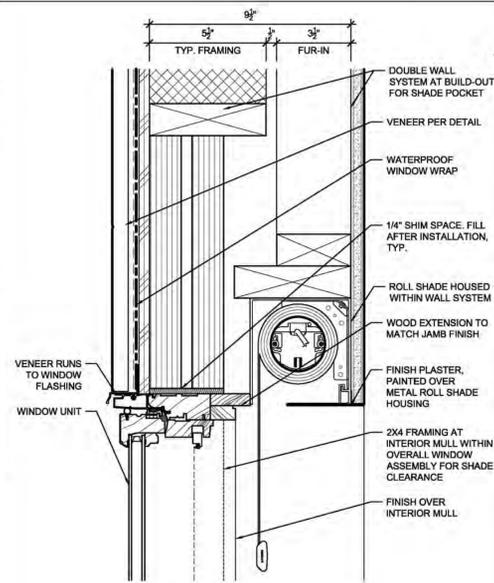
10 WINDOW HEAD AT POCKET
SCALE: 3" = 1'-0" W-H



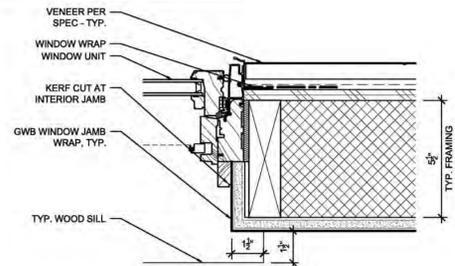
7 WINDOW HEAD AT GRATE
SCALE: 3" = 1'-0" W-H-GRATE



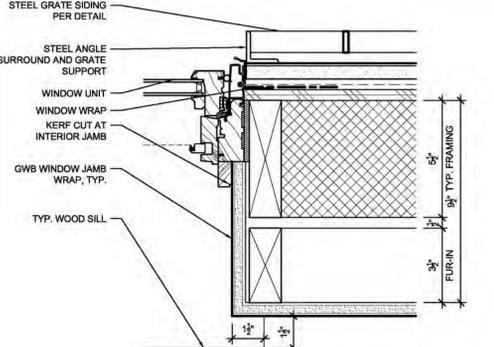
4 WINDOW HEAD AT STONE-SHADE
SCALE: 3" = 1'-0" W-H-STONE



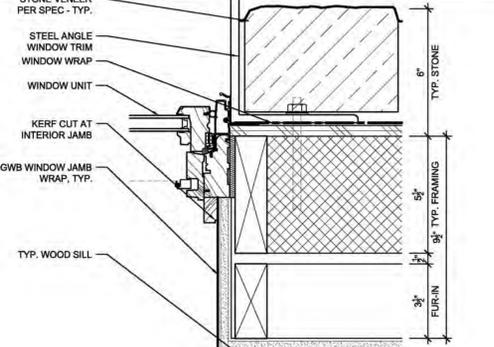
1 WINDOW HEAD, TYP.
SCALE: 3" = 1'-0" W-H



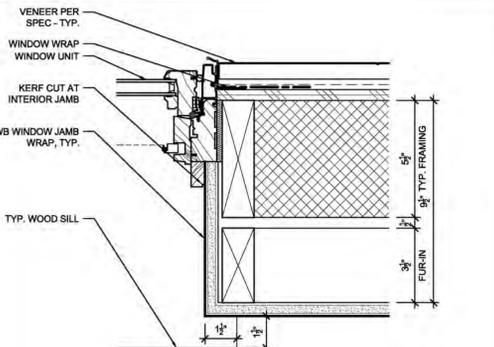
11 WINDOW JAMB AT POCKET
SCALE: 3" = 1'-0" W-J-POCKET



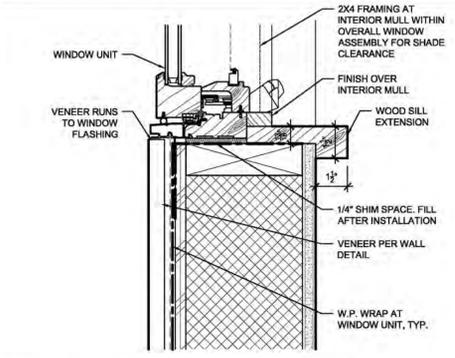
8 WINDOW JAMB AT GRATE
SCALE: 3" = 1'-0" W-J-GRATE



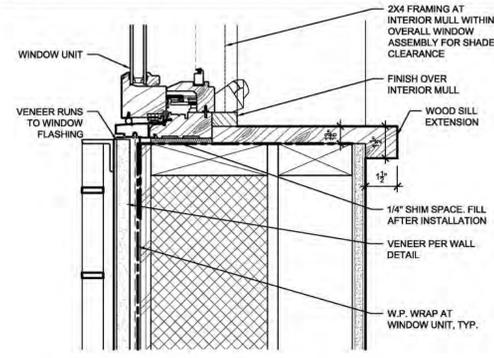
5 WINDOW JAMB AT STONE-SHADE
SCALE: 3" = 1'-0" W-J-STONE



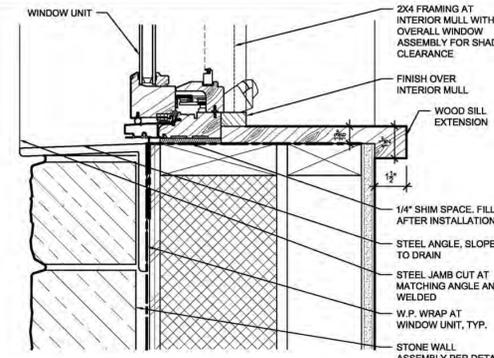
2 WINDOW JAMB, TYP.
SCALE: 3" = 1'-0" W-J



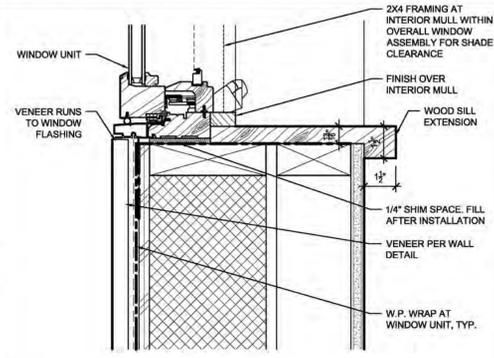
12 WINDOW SILL AT POCKET
SCALE: 3" = 1'-0" W-S-POCKET



9 WINDOW SILL AT GRATE
SCALE: 3" = 1'-0" W-S-GRATE



6 WINDOW SILL AT STONE-SHADE
SCALE: 3" = 1'-0" W-S-STONE



3 WINDOW SILL, TYP.
SCALE: 3" = 1'-0" W-S

13 -
SCALE: 3" = 1'-0"

14 -
SCALE: 3" = 1'-0"

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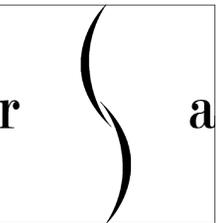
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CONSTRUCTION
A9.1



ROBERT SINGER & ASSOCIATES INC.

DESIGN CONSULTANTS
LIGHTING SPECIALISTS
Corporate Member
IALD, IES

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aspen_co 81621 anthem_az 85086
T 970_963_5692 T 623_551_7667 F
F 970_963_5684 623_551_7677

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basalt_co 81621
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Issue:
11-06-2014
PRELIMINARY SITE
12-18-2014
PERMIT SET

NOT FOR CONSTRUCTION

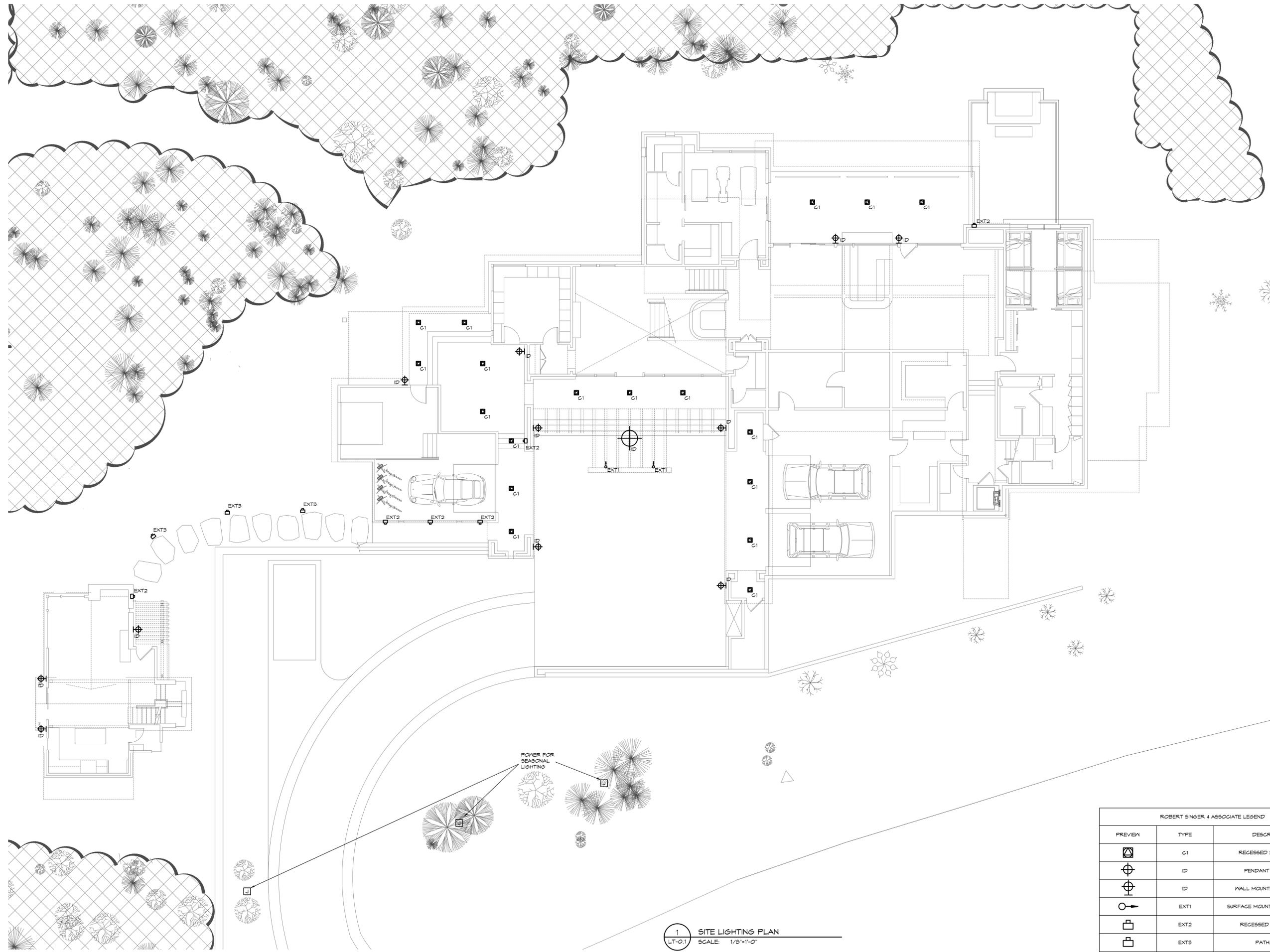


PROJECT

TIMM RESIDENCE
134 HOOD PARK RD
MOUNTAIN VILLAGE, CO
DESCRIPTION

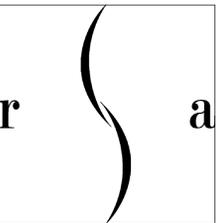
SITE LIGHTING PLAN
SCALE: 1/8"=1'-0"
SHEET

LT-0.1



1 SITE LIGHTING PLAN
LT-0.1 SCALE: 1/8"=1'-0"

ROBERT SINGER & ASSOCIATE LEGEND		
PREVIEW	TYPE	DESCRIPTION
	C1	RECESSED DOWNLIGHT
	ID	PENDANT FIXTURES
	ID	WALL MOUNTED SCORGES
	EXT1	SURFACE MOUNTED DOWNLIGHT
	EXT2	RECESSED STEPLIGHT
	EXT3	PATHLIGHT
	J-BOX	HOLIDAY LIGHTING JUNCTION BOX



ROBERT SINGER & ASSOCIATES INC.

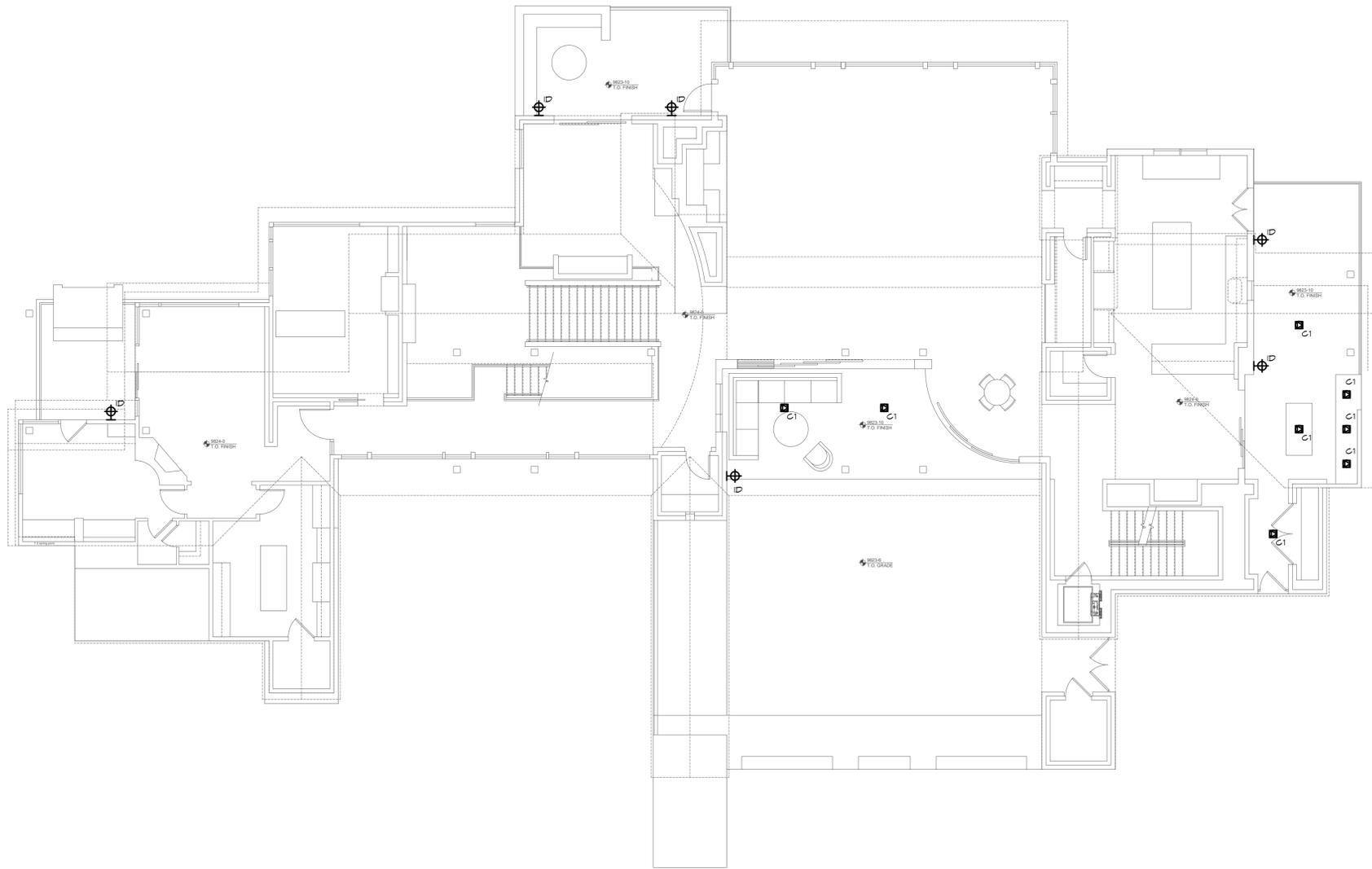
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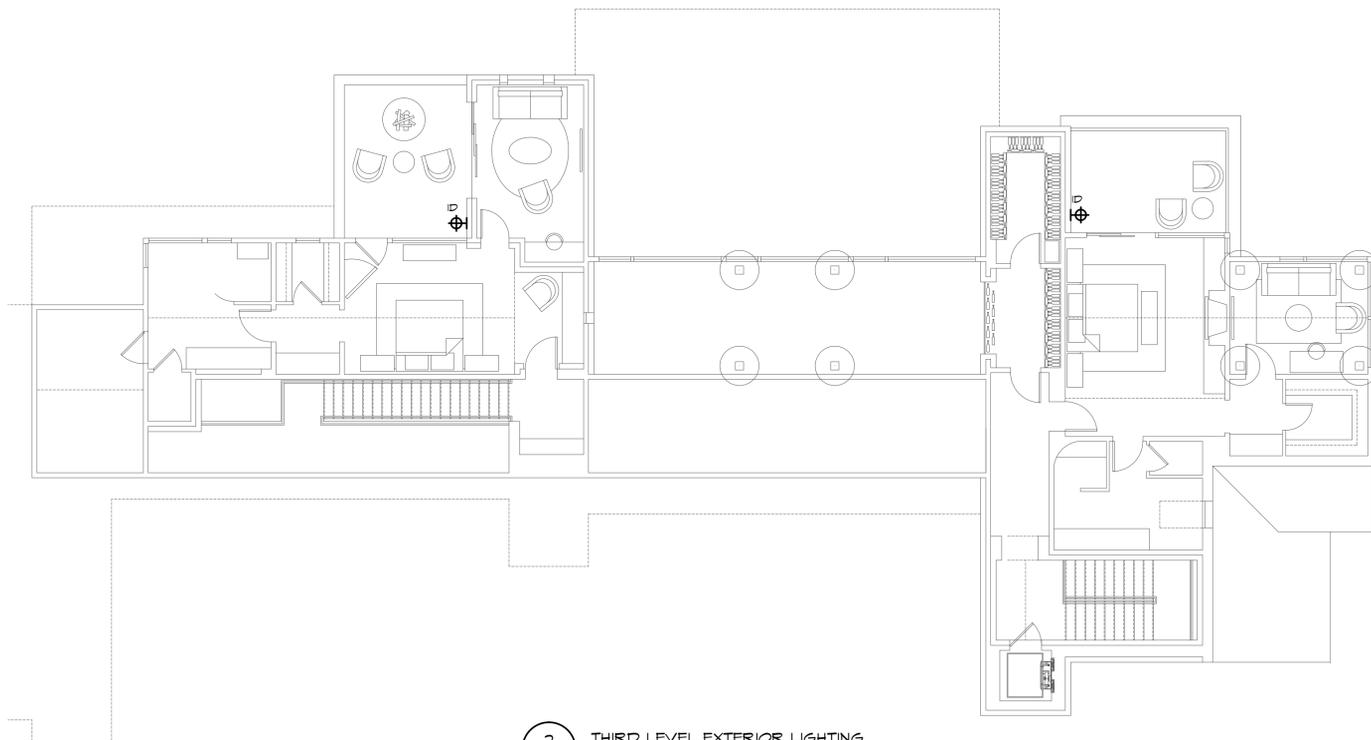
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1 SECOND LEVEL EXTERIOR LIGHTING
LT-0.11 SCALE: 1/8"=1'-0"



2 THIRD LEVEL EXTERIOR LIGHTING
LT-0.11 SCALE: 1/8"=1'-0"

ROBERT SINGER & ASSOCIATE LEGEND		
PREVIEW	TYPE	DESCRIPTION
	C1	RECESSED DOWNLIGHT
	ID	PENDANT FIXTURES
	ID	WALL MOUNTED SCONCES
	EXT1	SURFACE MOUNTED DOWNLIGHT
	EXT2	RECESSED STEPLIGHT
	EXT3	PATHLIGHT
	J-BOX	HOLIDAY LIGHTING JUNCTION BOX

Issue:

11-06-2014
PRELIMINARY SITE

12-18-2014
PERMIT SET

NOT FOR CONSTRUCTION



PROJECT

TIMM RESIDENCE

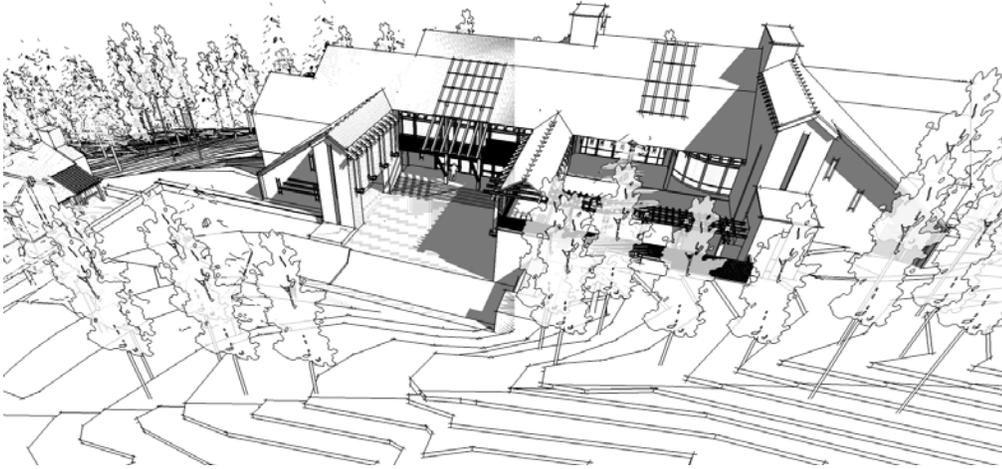
134 HOOD PARK RD
MOUNTAIN VILLAGE, CO

DESCRIPTION
SECOND / THIRD LEVEL
EXTERIOR LIGHTING

SCALE: 1/8"=1'-0"

SHEET

LT-0.11



Submissions

11.06.14 DRB

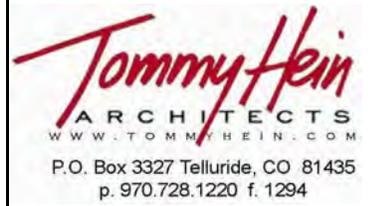
Project

EXTERIOR MATERIAL SPECIFICATIONS

Lot 407R
Timm
134 Hood Park Rd.

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
Installation guaranteed to avoid expansion/contraction/cracking.
Any metal parts must be guaranteed against rust corrosion and scratching.



Submissions

11.06.14 DRB

Location: Per Elevations

Item #:

Manufacturer:

Contact: TBD

Website:

Product: Multi-colored stones, cool tones

Dimensions: 6" Veneer. Random Ashlar Pattern

Finish: TBD
Tuck Joints w/ grey tone grout. Final color TBD

Project

**Lot 407R
Timm**

134 Hood Park Rd.

Description: Provide multiple mock-ups for architect approval.
Split-face; honed face alternates, etc.

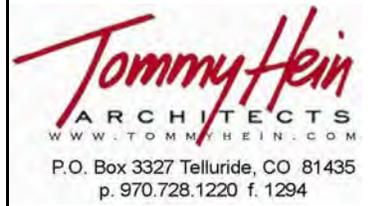
Item

**MATERIAL 1
STONE VENEER**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
Installation guaranteed to avoid expansion/contraction/cracking.
Any metal parts must be guaranteed against rust corrosion and scratching.

STN1



Submissions

11.06.14 DRB

Location: Per Elevations
Item #:
Manufacturer:
Contact: TBD
Website:
Product: Board Formed Concrete
Dimensions: 8"
Finish: Board Formed Grey

Project

**Lot 407R
Timm
134 Hood Park Rd.**

Description: 8" rough sawn cedar bards with 3/4" gap

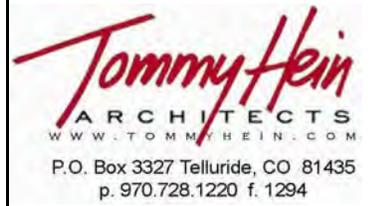
Item

**MATERIAL 2
BOARD FORMED
CONCRTE**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
Installation guaranteed to avoid expansion/contraction/cracking.
Any metal parts must be guaranteed against rust corrosion and scratching.

CONC1



Submissions

11.06.14 DRB

Location: Per Elevations

Item #:

Manufacturer:

Contact: TBD

Website:

Product: Exterior Plaster

Dimensions: N/A

Finish: TBD

Project

**Lot 407R
Timm**

134 Hood Park Rd.

Description: 1/2" Reveals/Expansion Joints per elevations

Item

**MATERIAL 3
EXTERIOR
PLASTER**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
Installation guaranteed to avoid expansion/contraction/cracking.
Any metal parts must be guaranteed against rust corrosion and scratching.

PLS1



Submissions

11.06.14 DRB

Location: Per Elevations

Item #: N/A

Manufacturer:

Contact: TBD

Website:

Product: Douglas Fir

Dimensions: Per Plans

Finish: Distressed

Project

**Lot 407R
 Timm**

134 Hood Park Rd.

Description: Timber structural members

Item

**MATERIAL 4
 RECLAIMED
 TIMBER**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
 Installation guaranteed to avoid expansion/contraction/cracking.
 Any metal parts must be guaranteed against rust corrosion and scratching.

WD1



Submissions

11.06.14 DRB

Location: Per Elevations

Item #: N/A

Manufacturer:

Contact: TBD

Website:

Product: Reclaimed

Dimensions: 1x6 Planks

Finish: Distressed

Project

**Lot 407R
 Timm**

134 Hood Park Rd.

Description: Vertical Wood Siding
 Ship Lap w/ Square Edge
 1/4" Reveal

Item

**MATERIAL 5
 VINTAGE
 VERTICAL SIDING
 W/ REVEAL**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
 Installation guaranteed to avoid expansion/contraction/cracking.
 Any metal parts must be guaranteed against rust corrosion and scratching.

WD2



Submissions

11.06.14 DRB

Location: Per Elevations

Item #: N/A

Manufacturer:

Contact: TBD

Website:

Product:

Dimensions: 2X10 Boards

Finish: Rough Sawn

Project

**Lot 407R
 Timm**

134 Hood Park Rd.

Description: Horizontal Wood Siding
 Ship Lap w/ Square Edge

Item

**MATERIAL 6
 ROUGH SAWN
 HORIZONTAL
 SIDING**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
 Installation guaranteed to avoid expansion/contraction/cracking.
 Any metal parts must be guaranteed against rust corrosion and scratching.

WD3



Submissions

11.06.14 DRB

Location: Per Elevations

Item #:

Manufacturer:

Contact: TBD

Website:

Product:

Dimensions: Per Elevations

Finish: Mill Finish

Sealer:

Project

**Lot 407R
 Timm**

134 Hood Park Rd.

Description: Provide Architect with samples and mockups to select size

Item

**MATERIAL 7
 METAL GRATE
 ACCENT**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
 Installation guaranteed to avoid expansion/contraction/cracking.
 Any metal parts must be guaranteed against rust corrosion and scratching.

MTL3



Submissions

11.06.14 DRB

Location: Per Elevations

Item #:

Manufacturer:

Contact: TBD

Website:

Product: Patinated Copper

Dimensions: 1' typ.

Finish: Bronzed

Project

**Lot 407R
Timm**

134 Hood Park Rd.

Description: Provide Architect with samples of different patinas

Item

**MATERIAL 8
COPPER ACCENT
PANEL**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
Installation guaranteed to avoid expansion/contraction/cracking.
Any metal parts must be guaranteed against rust corrosion and scratching.

MTL4



Submissions

11.06.14 DRB

Location: Per Roof Plan
Item #: N/A
Manufacturer:
Contact: TBD
Website:
Product: Bonderized Steel Metal Standing Seam Roofing
Dimensions: 16" Rib Spacing Wide Panels
Finish: Bonderized

Project

**Lot 407R
Timm**

134 Hood Park Rd.

Description: Bonderized Steel Metal Standing Seam Roofing
Wood T&G Eaves

Item

**MATERIAL 9
STANDING SEAM
ROOFING**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
Installation guaranteed to avoid expansion/contraction/cracking.
Any metal parts must be guaranteed against rust corrosion and scratching.

MTL5



Submissions

11.06.14 DRB

Location: Per Roof Plans

Item #:

Manufacturer:

Contact: TBD

Website:

Product: Synthetic Slate

Dimensions: 6"x18"

Finish: Grey

Project

**Lot 407R
Timm**

134 Hood Park Rd.

Description:

Item

**MATERIAL 10
SYNTHETIC SLATE
SHINGLE**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
Installation guaranteed to avoid expansion/contraction/cracking.
Any metal parts must be guaranteed against rust corrosion and scratching.

STN2



Submissions
 11.06.14 DRB

Location: Per Plans and Elevations

Item #:

Manufacturer:

Contact: TBD

Website:

Product:

Dimensions: Per Plans and Elevations

Finish: Mill Finish

Sealer:

Project

**Lot 407R
 Timm**

134 Hood Park Rd.

Description:

Item

**MATERIAL 11
 MILL FINISHED
 STEEL**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
 Installation guaranteed to avoid expansion/contraction/cracking.
 Any metal parts must be guaranteed against rust corrosion and scratching.

MTL6



Submissions

11.06.14 DRB

Location: Per Plans and Elevations

Item #:

Manufacturer: TBD

Contact: TBD

Website:

Product:

Dimensions: Per Plans and Elevations

Finish: Silver Anodized

Sealer:

Project

**Lot 407R
Timm**

134 Hood Park Rd.

Description: Double Pane Glazing

Item

**MATERIAL 12
GLAZING**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.

Installation guaranteed to avoid expansion/contraction/cracking.

Any metal parts must be guaranteed against rust corrosion and scratching.

GLZ1

Submissions

11.06.14 DRB



Location: Floor Tiles Per Plans

Item #:

Manufacturer:

Contact: TBD

Website:

Product: Colorado Buff Flagstone

Dimensions: 24"x62"

Finish: TBD

Project

**Lot 407R
Timm**

134 Hood Park Rd.

Description:

Item

**COLORADO BUFF
FLAGSTONE**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
Installation guaranteed to avoid expansion/contraction/cracking.
Any metal parts must be guaranteed against rust corrosion and scratching.

STN3



Submissions

11.06.14 DRB

Location: Per Plans and Elevations

Item #:

Manufacturer:

Contact: TBD

Website:

Product:

Dimensions: Per Plans and Elevations

Finish: Mill Finish

Sealer:

Project

**Lot 407R
 Timm**

134 Hood Park Rd.

Description: Heels 'n' Wheels style W 1/4" gap spacing

Item

**STEEL GRATE
 DECKING**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.

Installation guaranteed to avoid expansion/contraction/cracking.

Any metal parts must be guaranteed against rust corrosion and scratching.

MTL7



Submissions

11.06.14 DRB

Location: Per Plans and Elevations

Item #:

Manufacturer:

Contact: TBD

Website:

Product:

Dimensions: Per Plans and Elevations

Finish: Mill Finish

Sealer:

Project

**Lot 407R
Timm**

134 Hood Park Rd.

Description:

Item

**MILL FINISH
RAILING**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
Installation guaranteed to avoid expansion/contraction/cracking.
Any metal parts must be guaranteed against rust corrosion and scratching.

MTL8



Submissions

11.06.14 DRB

Location: Exterior Doors and windows

Item #:

Manufacturer:

Contact: TBD

Website:

Product:

Dimensions:

Finish: White Bronze

Sealer:

Project

**Lot 407R
Timm**

134 Hood Park Rd.

Description:

Item

**EXTERIOR DOOR
and WINDOW
HARDWARE
FINISH**

Comments:

All materials and methods of construction must comply with all applicable fire and life safety codes. Manufacturer/GC to provide sample/submittal to designer approval prior to manufacturing/install.
Installation guaranteed to avoid expansion/contraction/cracking.
Any metal parts must be guaranteed against rust corrosion and scratching.

HDW1

Lighting Fixture Schedule
 Robert Singer & Associates
 970-963-5692
 www.robertsingerlighting.com

Timm Residence

Type	Mfr/Catalog #	Lamping	Electrical	Notes
C1	 Element Lighting E3S-LK-LH930-4-A-I; E3S-L-B-H-W Description: LED Adjustable Downlight	1 - 19W, 1200 Lumen, 3000°K LED		Location: Downlighting Trimless fixture, Refer to installation instructions. Contractor to paint trim to match ceiling color.
EXT1	 HK Lighting ZXL16-C-CGSL-12V-8W-HK LED-30°-3K-BK; LV Description: Surface mounted downlight with full long glare shield and louver lens	1 - 8W, 3000°K LED	120V Remote Q-Tran Transformer Voltage: 12V	Location: Exterior Remote transformer location by EC. Recommend Q-Tran transformer.
EXT2	 Lucifer ISL-ALED-3K-*-**, w/PSA-60-12H Description: Recessed Steplight	1 - 3W, 41.4 Lumens, 3000° K LED	Remote Dimmable Power Supply Voltage: 12V	Location: Exterior Location for remote power supply to be determined on site.
EXT3	 Lucifer Lighting BOL-INT-ACT-*-SD, w/ISL-ALED-3K-*-L Description: LED path light	1 - 3W, 41.4 Lumens, 3000° K LED		Location: Exterior
ID- Sconce	 Hinkley Lighting Atlantis 1649SK-LED Description:	1 - 6W, 2700°K LED		Location: Exterior Sconce
ID- Pendant	 Hinkley Lighting Harbor 2572SK-GU24 Description:	1 - MaxLite 72134: 15W, 3000°K LED		Location: Exterior Pendant

Contact Technology By Design for factory direct pricing
 970-963-1200
 www.technologiesbydesign.com



PROJECT: Timm Residence Site
 DATE: 12/18/2014
 CATALOG #: ZXL16-C-CGSL-12V-8W-HK LED-30°-3K-BK; LV
 LAMP: 8W, 3000°K LED

TYPE:
EXT1
 Page 1 of 3



ZXL16

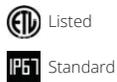
Area Accent ▲ ZX16 Series



PROJECT

FIXTURE TYPE

Characteristics

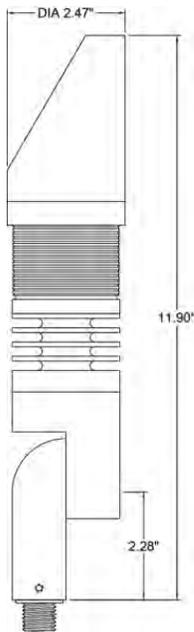


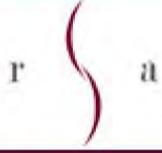
Technical Data

Material	Housing/Cap/Stem - Machined silicone magnesium aluminum alloy (6061-T6) resistant to corrosion Stainless steel (SS304) hardware
Lamp	HK LED
Hoods	A, B, C
Voltage	12V
Wattage	4W, 6W, 8W, 10W, 15W, Remote MLV Dimmable, Remote ELV Dimmable
Reflector	15°, 30°
Color Temp	3K, 4K

Ordering Guide

Series	ZXL16		
Hoods	A	B	C
Glare Shields (optional)	GSL GSA GSS		CGSL CGSA CGSS
Voltage	12V		
Wattage	4W 6W 8W 10W 15W Remote MLV Dimmable Remote ELV Dimmable		
Lamp	HK LED		
Reflector	15° 30°		
Color Temp	3K 4K		
Stem (optional)	FSS		
Finish	BK (black) BZ (bronze) WT (white) ABK (anodized black) ACL (anodized clear) CC (custom)		





PROJECT: Timm Residence Site
DATE: 12/18/2014
CATALOG #: ZXL16-C-CGSL-12V-8W-HK LED-30°-3K-BK; LV
LAMP: 8W, 3000°K LED

TYPE:
EXT1
Page 2 of 3



Glare Shields for C-hood CGSL

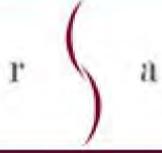


Long glare shield for C-hood

CGSL

Technical Data

Accessory Family
Glare Shields for C-hood



PROJECT: Timm Residence Site
DATE: 12/18/2014
CATALOG #: ZXL16-C-CGSL-12V-8W-HK LED-30°-3K-BK; LV
LAMP: 8W, 3000°K LED

TYPE:
EXT1
Page 3 of 3



Louver LV



LV

Technical Data

Accessory Family
Louver







**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Design Review Board
FROM: Chris Hawkins, Director of Community Development
FOR: DRB Public Meeting on February 5, 2015
DATE: January 30, 2015

RE: Consideration of a recommendation to the Town Council for amendments to the Community Development Code (CDC) at (A) Section 17.2.12 to allow the conditional use permit process to establish the allowed height for freestanding antennas; (B) Section 17.4.9(E)(2)-(3) to correct an omission, and not require a concurrent replat with rezoning; (C) Section 17.4.14(F)(3) to revise the criteria for allowing ski lifts on private lots; (D) Chapter 17.8 to amend the definition of a site specific development plan; (E) Section 17.6.9 to meet or exceed San Miguel County open burning regulations; and (F) miscellaneous amendments to the CDC to accomplish the foregoing

BACKGROUND

The pending amendments to the Community Development Code (CDC) are shown in Exhibit A. The following list outlines the proposed amendments:

1. **Section 17.2.12 to allow the conditional use permit process to establish the allowed height for freestanding antennas.** The main reason for this change is due to the fact that freestanding antenna heights need to be taller than the building height limits to ensure antennas clear the forest canopy and buildings to provide adequate coverage. The proposed amendments allow for the review authority to establish the needed and compatible height as a part of the conditional use permit process, with the maximum height allowed based on the conditional use permit criteria.
2. **Section 17.4.9(E)(2)-(3) to correct an omission, and not require a concurrent replat with rezoning.** The Office of the Town Attorney indicated that it is not necessary to file a replat to change zoning and land use plat notes on older plats since this can occur by an ordinance. Staff is therefore proposing the amendments, which will significantly reduce the costs for future rezonings.
3. **Section 17.4.14(F)(3) to revise the criteria for allowing ski lifts on private lots.** The Town Council asked for stronger criteria to review proposed ski lifts during a worksession in 2014. The goal is to ensure that ski lifts fit a site and are compatible with surrounding area development. Staff would note that a definition for a ski lift should be added to the CDC, and the wording “readily visible” needs some discussion.
4. **Chapter 17.8 to amend the definition of a site specific development plan.** The main reason for this proposed amendment is to match the old Land Use Ordinance allowances for the creation of a site specific development plan. The goal is to allow for an applicant to seek vested property rights with a site specific development plan for rezonings, density transfers, conditional use permits and other development applications listed in the proposed definition. A vested property right to create a site specific

development plan still has to be evaluated pursuant to the Vested Property Rights provisions of the CDC, which includes the submission of a class 4 development application.

RECOMMENDATION

Staff recommends the DRB recommend approval of the proposed CDC amendments with the following motion:

"I move to recommend the Town Council approve the proposed amendments to the Community Development Code."

17.3.12

BUILDING HEIGHT LIMITS

- A. Table 3-3 establishes the maximum building height and average building height limits for each zone district and some specific lots.
- B. Antennas mounted to a structure or building shall not be more than ten percent (10%) higher than the actual, as-built building or structure height to which such antenna is mounted. For example, a building that is of 40 feet high can have an antenna that extends no more than four (4) feet above the roof. Freestanding antenna maximum structure height shall be established by the review authority.

(Please refer to related amendment below)

SECTION 17.4.9

REZONING PROCESS

C. General Standards

- 2. **Ordinance Required for Change in Density or Zoning Designation.** Any change to the density or zoning designation assigned to a lot shall be by duly adopted ordinance that shall be recorded in the records of the San Miguel County Clerk and Recorder.
 - a. To the extent multiple recorded resolutions and/or ordinances exist with respect to the zoning designation of a lot, the most recently recorded resolution or ordinance shall prevail and shall have the effect of voiding all prior recorded resolutions and ordinances.
 - b. ~~Concurrent Replat Required~~ Zoning on Plats. If the current, recorded plat for the lot(s) affected by the rezoning lists either the zone district, zoning designation and/or associated density, ~~a concurrent subdivision development application shall be processed along with the rezoning~~ the rezoning ordinance shall include a section which shall state that the zoning set forth in the rezoning ordinance shall prevail over the any inconsistent plat notations on the any valid recorded plat for the lots affected by such rezoning.

SECTION 17.4.14

CONDITIONAL USE PERMIT

3. Ski Lifts (Tramways) Conditional Use Permits

- a. The installation of a **ski lift** on a private lot outside of the ski resort requires the issuance of a ski lift conditional use permit. In addition to other applicable requirements of the CDC, ski lift conditional use permits shall comply with the following ~~standards~~ criteria:
 - i. One side of the lot must immediately adjoin open space that is used for ski trail purposes;
 - ii. Visual impacts caused by the ski lift are minimized and mitigated, with the location and design carefully located and planned planned so that a ski lift is not readily visible to surrounding properties. In the event that a ski lift cannot be located and planned so as to satisfy this criteria such ski lift shall not be permitted by the review authority;
 - iii. The applicant has contacted adjacent property owners to get input on the

location, design and visual impacts prior to submitting the development application for the ski lift and shall affirm to the review authority that the applicant has satisfied these criteria. Nothing contained in this criteria shall require the consent of adjacent property owners;

iv. Noise impacts are minimized and mitigated;

i.v. Wildlife impacts are minimized and mitigated so as to not unreasonably impact wildlife habitat and movement;

ii.vi. If a ski lift encroaches onto the ski resort operator's land, or an applicant proposes grooming or grading for ski access onto ski resort operator's land, the owner of the lot must obtain permission in writing from the ski resort operator to build a ski lift that provides access to a ski trail.

b. Upon issuance of a ski lift conditional use permit, the lot owner will be required to abide by the following rules and regulations:

i. The use of the ski lift before the first day of the ski season or after the last day of the ski season is prohibited, and the ski lift may only be used between the hours of 9:00 a.m. to 4:30 p.m.

ii. If the ski lift generates decibels in excess of the limitation placed on the ski lift conditional use permit, the use of the ski lift shall cease until the noise level is reduced.

iii. The owner of the ski lift will be responsible for maintaining the appropriate liability coverage for the ski lift and shall provide evidence of same to the Town.

iv. Appropriate safety and instructional signage must be maintained.

v. The ski lift must be operated in compliance with the operation plan submitted to and approved by the Town as a part of the conditional use permit that describes the operating, repair, maintenance and safety procedures for the ski lift.

vi. The ski lift shall be used solely by the owner(s) and guests of the lot(s) where the lift is located, and shall not be used for commercial purposes.

vii. The tramway shall be reviewed and approved by the Colorado Passenger Tramway Safety Board or its successor pursuant to applicable state regulations.

17.1.9

OPEN BURNING REGULATIONS

A. Open burning of wood or slash in piles without the use of a curtain burner or similar enclosed burning device is limited to land zoned as open space unless approved as provided for herein. Such open burning shall only be allowed by the Town for fire mitigation and/or forestry management projects, or ski resort improvements pursuant to the class ~~15~~ development application process subject to meeting the Open Burning Regulations.

1. Open burning is prohibited on all lots that are not zoned as open space unless the ~~Town Council~~ review authority grants a specific approval for a lot that is larger than five (5) acres and the requirements contained herein are met.

~~B.~~ Burning of slash /brush with the use of an air curtain burner or similar enclosed burning device may be approved for all lots in the town as part of a Town approved fire mitigation and/or forestry management project pursuant to the class 1 development application process subject to meeting the Open Burning Regulations.

~~C.B.~~ An applicant for open burning shall submit the following:

- ~~1.~~ San Miguel County Burn Permit, issued by San Miguel County, Colorado.
- ~~2.1.~~ Proof of written notice of intent to conduct an open burn specifying the location and nature of the proposed open burn shall be sent approval of the to the Telluride Fire Protection District. Such notice shall be submitted at least ten (10) days prior to applying for an open burn to the Town, to conduct an open burn. In the even the Telluride Fire Protection District objects to the open burn within ten (10) days after being provided notice, such open burn shall not be approved by the Town.
- ~~2.~~ A written fire management plan must accompany an open burning permit request specifying the dates on which open burning is proposed to occur, time of the day and duration of burning, location of the proposed open burning and materials to be burned. The plan must also include an estimate of quantities and measures to be implemented to provide for protection of the public from any risk associated with the open burning. Such plan must also be accompanied by documentation evidencing the need for open burning, a description of why the open burning would be in the public interest.
- ~~3.~~ A site plan showing the area and size of wood and slash pile(s) to be burned.
- ~~4.~~ A control plan showing how the burn will be monitored and the duration of the burn.
- ~~5.3.~~ Technical specification for a curtain burner or similar enclosed device when such a device is proposed for the open burn.
- ~~6.4.~~ Fire protection measures the applicant will use to control the burn.
- ~~7.5.~~ A Town approved indemnification, holding the Town harmless from any loss or damage caused by the open burn.
- ~~8.6.~~ A certificate of general commercial liability insurance in a form satisfactory to the Town, in the amount of not less than Five-two Mmillion Ddollars (\$52,000,000) in aggregate naming the Town as an additional insured.

~~D.C.~~ The review authority shall issue a burn permit if, in its sole and absolute discretion, it finds that:

- ~~1.~~ All of the submittal requirements have been fulfilled;
- ~~2.~~ Fire protection and air quality measures provide sufficient safeguards to the community;
- ~~3.~~ Weather and forest fuel conditions are predicted to allow the open burn without adverse impacts to air quality, or the spread of wildfire;
- ~~3.4.~~ The review authority determines that the impact to regional air quality will be insignificant.
- ~~4.5.~~ The TFPD or other referral agencies have and San Miguel County have not objected to approved the proposed burn permit;
- ~~5.6.~~ Any other-referral agency comments on the open burn have been addressed;
- ~~7.~~ Indemnification and insurance have been provided to the Town prior to the issuance of the open burn permit.
- ~~6.8.~~ The approval includes a condition that the applicant is required to notify and obtain approval from Mountain Village Police Department for each individual day on which open burning will occur.
- ~~9.~~ The applicant has notified the public of the time and place for which the burn will take place using the Town approved manner for such notification.

Section 17.6.5(D)(1)(b) (Telecommunications Regulations)

- b. Antenna height shall be minimized to the extent practical with the acceptable height permitted determined by the review authority as a part of the required conditional use permit process. ~~In no event shall an antenna exceed the maximum height permitted in the underlying zone district unless approved by a variance or PUD development review process;~~

CHAPTER 17.8 DEFINITIONS

Site-Specific Development Plan: A site specific development plan shall mean a development application approved for one of the following:

- a. Rezoning and density transfer;
- b. A Site-Specific PUD or SPUD;
- c. A Master PUD or MPUD;
- d. Large scale or small scale subdivision;
- e. Class 3 Design Review Process Development Application;
- f. Conditional Use Permit;
- g. Alternative Review Process for Governmental Projects;
- h. Variance Process;

All other approvals for development applications not listed in the foregoing shall not constitute a site specific development plan.

~~The final approved development application plans for a development where (a) a development permit has been issued and no further development approvals are required except for a building permit as required by the Building Codes; and (b) an applicant has also concurrently sought and obtained a vested property right pursuant to the vested property rights process as set forth in Chapter 4.~~



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 369-8242

Agenda Item No.10

DATE: January 29, 2015
TO: Design Review Board
FROM: Jane Marinoff, Administrative Assistant
FOR: DRB Public Hearing on February 5, 2015 Item #10
RE: DRB Applicants and Interviews with a Recommendation to Town Council

ATTACHMENTS

- Exhibit A: Letters of Interest from all DRB Applicants
- Exhibit B: Sample Questions for Applicants

BACKGROUND

The Design Review Board is assembled of seven (7) full-time members and two (2) alternate members appointed by Town Council. The term for a DRB member is two (2) years.

Three (3) regular DRB members and two (2) DRB alternate member terms are expiring at the end of April 2015. Staff has been advertising the open positions as required. The DRB members' terms that are expiring include: David Eckman, Kristine Perpar and Greer Garner. The two (2) alternate members' terms that are expiring are: Phil Evans and Daniel Zemke.

Three (3) of the existing DRB members have indicated that they would like to be reappointed, Dave Eckman, Greer Garner and Phil Evans. Mr. Evans has indicated he would like to be considered for the regular member seat that is being vacated by Kris Perpar who will not be reapplying for her DRB seat. The Town has also received applications from Jean Vatter and Suzanne Greischel expressing their interest in serving on the DRB. Please refer to attached correspondence for all applicants.

If an existing DRB member is an applicant for a vacancy, only the Town Council will interview for such a vacancy rather than the DRB. Thus, the DRB will only interview the new applicants and make a recommendation, with conflicted members whose terms are expiring abstaining from the recommendation motion.

STAFF RECOMMENDATION

Staff recommends that the DRB recommend Town Council appoint three (3) full-time members, and appoint two (2) alternate members as set forth in the motion below:

"I move to recommend the Town Council appoint _____, _____, _____, to serve as the regular DRB members and _____, _____, to serve as alternate members."

DRB Member 2014

Member	Date Appointed	Term Expiration	Regular/Alternate	Consecutive Absences
Dave Eckman	Apr-09	Apr-15	Regular	
Bill Hoins	Apr-08	Apr-16	Regular	
Kristine Perpar	Apr-09	Apr-15	Regular	
Greer Garner	Apr-13	Apr-15	Regular	
Keith Brown	Nov-10	Apr-16	Regular	
Banks Brown	Nov-10	Apr-16	Regular	
Luke Trujillo	Apr-12	Apr-16	Regular	
Phil Evans	Jul-13	Apr-15	Alternate	
Daniel Zemke	Oct-13	Apr-15	Alternate	

Jane Marinoff

From: Kristine Perpar, AIA <kristine@shift-architects.com>
Sent: Thursday, January 15, 2015 4:49 PM
To: Jane Marinoff
Cc: Chris Hawkins
Subject: RE: Design Review Board Term Expiration

Thanks Jane,
I will not be renewing in April.

Kristine

From: Jane Marinoff [<mailto:JMarinoff@mtnvillage.org>]
Sent: Thursday, January 15, 2015 1:53 PM
To: Forward dzemke; Forward deckman; Greer Garner (garnerdr64@gmail.com); Forward kperpar; Phil Evans
Cc: Chris Hawkins; Nichole Zangara
Subject: Design Review Board Term Expiration

Dear DRB members,

Your term on the Design Review Board will expire April 2015.

If you are interested in re-applying for your position please send a letter of intent and resume to me.

Thank you

Jane Marinoff
Administrative Assistant Community Development
Town of Mountain Village
455 Mountain Village Blvd, Suite A
Mountain Village, CO 81435
O :: 970.369.8242
F :: 970.728.4342

[Email Signup](#) | [Website](#) | [Facebook](#) | [Twitter](#) | [Pinterest](#) | [Videos On Demand](#)

From The Desk of: David Dale Eckman

120 Alexander Overlook
Telluride, CO 81435
Cell: 970-708-9336

Via: Email

Mountain Village Town Council
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435

RE: DRB position intent to renew

Thursday, January 15, 2015

Dear Council Members:

I would like to express my interest to renew my position on the Design Review Board with the Town of Mountain Village.

I would like to believe that I bring a plethora of knowledge to the board and have assisted in ensuring that the community is developed in keeping with the vision and the standards established. I find much pride and enjoyment in my commitment to this community and hope my actions have appeased your group.

With this said, please consider my future membership with this board.

Thank you for your time and attention to this matter.

Respectfully Yours,



David D Eckman

cc: File

DAVID DALE ECKMAN

david@eckmancm.com

120 Alexander Overlook
Telluride, CO 81435

970.708.9336

SUMMARY

Project development and management professional with experience in the development and / or construction of resort, hotel, restaurant, multi-family office, industrial, medical, airport, and sport facility property. This experience spans working in the capacity of an owner, consultant, and contractor representative. A foundation of US Army experience provided essential leadership skills coupled with a graduate education.

WORK EXPERIENCE

ECKMAN CONSULTING & MANAGEMENT, Telluride, Colorado April 2009 – Current
Owner Representation and Project Manager Services

Started Eckman Consulting & Development to provide owner representation and project management services regionally for high alpine resort development.

- Mixed use hotel Owner Rep / Project Management of facility improvements, retro commissioning, and build out of unfinished commercial spaces.
- Participate with Executive Committee in sales process of hotel asset
- Due diligence, design development, and construction of flagship Starbucks in 5 star hotel property
- Developed program, designed, and RFP for Town of Mountain Village owned multifamily property.
- Retained as Owner Representative for luxury estate home in Telluride at inception to attain approvals and see through to closeout.
- Luxury estate home with stopped work due to quality and cost control. Negotiated new contract and oversaw completion of work by GC to satisfaction of owner.
- Managed design and construction for luxury estate home build out of spacious unfinished space with existing condition constraints.
- Retained by Town of Mountain Village to consult on energy initiatives on proposed projects.

BUCKENDORF MANAGEMENT INC, Mountain Village, Colorado June 2008 – March 2009
Project & Preconstruction Manager

BMI is a builder founded by the COO of RA Nelson & Associates with a focus on luxury homes and multifamily projects in the Telluride region. BMI emphasizes green building techniques deployed with critical path scheduling of the work.

- Developed standard forms and protocol for operations.
- Business development within regionPreconstruction for multifamily, single-family, and athletic facilities. Some highlighted projects are:
 - Elkstone 21 – 38 million, Greyhead Tennis Barn – 7 million, Graysill Condos – 1 million
- Consulting Town of Mountain Village – develop scope and manage RFP for Village Court Apartments.

RA NELSON & ASSOCIATES, Telluride, Colorado June 2006 – June 2008
Project Manager

RA Nelson is a builder in the Vail, Aspen, Mammoth and Telluride regions. Focus is high-end construction in commercial, multi-family, and single family. 150 Million / Yr. Organization

- Fast track project with 25% scope change in less than 6 months from foundation.
- Commercial and multifamily project preconstruction assistance / management.
- Fire and smoke restoration project.
- Close out multiple projectsConduct business development and work on special committees for organization standardization.

TOWN OF MOUNTAIN VILLAGE, Telluride, Colorado

Oct 2007 – Current

Board Member

Design Review Board – board member for Planning, Zoning, and Design Review for the Town of Mountain Village. Special appointment by Mayor, Director of Development, and Chairman of Board.

DELWEST HOLDINGS LLC, Denver, Colorado

Mar 2004 – Nov 2005

Development Manager, Project Manager

Delwest is a multifamily developer / builder in the Denver region. Product is an entry-level town home and condo in communities with typically 2 – 3 year build out projections.

- Performed contract and budget audits on projects during transitional term, reviewed departmental organizational structure and mediated subcontractor disputes
- Commenced or completed over 218 multifamily units and 3 land development projects.
- Daily responsibilities included management of design teams for pre-development, securing necessary entitlements or regulatory approvals, and assembly of construction documents. Developed / managed land development, indirect, and vertical construction budgets, wrote subcontractor contracts, created schedules, managed staff, and reported on project progress for communities.

ECKMAN PROJECT MANAGEMENT SERVICES, Frisco, Colorado

Oct 2002 – Mar 2004

President

Provide services in construction management to assist clientele achieve development to completion of projects without the liability of retaining the necessary expertise in house.

- Centex Destination Properties – deployed to Palm Springs, CA to assist site managers in fast tracking land development through scheduling with SIPS principals to achieve fiscal goals.
- Intrawest US Holdings – manage team in the completion of projects after corporate lay off. Continued representation on Eagles Nest Design Review Committee.
- MWA Builders, LLC – joint venture and business development. Provided management services.

INTRAWEST US HOLDINGS, Three Peaks Resort Development Group, Dillon, Colorado

2001-2002

Construction Manager

Responsible for the construction of vertical products on the Three Peaks resort in Silverthorne, Colorado and performed a tenant improvement at Copper Mountain.

- Eagles Nest Design Review Committee Chairperson – recognized for achievement in restructuring the committee, executed the duties of review, approval, and monitoring residential projects.
- Assembled design teams for development of project, secured necessary entitlements or regulatory approvals while maintaining schedule, and assembled construction documents to proceed to the construction phase, all within budget.
- Selected qualified general contractors to perform work, ensured compliance of construction budget, delivered quality, meeting or exceeding expectations while maintaining schedule to the close-out.
- Reported timely and concisely to corporate, the partnership, as well as senior management on project progress.

OZ ARCHITECTURE, Summit County Studio, Dillon, Colorado

2000-2001

Construction Administrator

Functioned as construction representative of the architect in the mountain region for Boulder and Denver studios.

- Realized confidence of owner and acted as primary contact between Owner/Contractor
- Successfully administered Owner-Architect-Contractor meetings and other project manager duties
- Under own initiative identified need to implement quality control program and reported field progress on Intrawest projects at Copper Mountain with satisfaction of owner.
- Compiled concise as-built information for new construction concerns of mechanical, electrical, plumbing and architectural coordination.
- Generated thorough deficiency reports and punch lists for Copper Mountain projects.

NORTH STAR CONSTRUCTION MANAGEMENT, INC., Allentown, Pennsylvania***Project Development, Operations, & IT Management***

1997-2000

- Solicited proposals and completed conceptual estimates for projects.
- Assisted with conceptual schedules and design for Design-Build proposals.
- Involvement with sports complex, hotel, fitness facility, medical, manufacturing, and office facilities
- IT Support - administered computer network system, consulted management on available technology.
- Acquired, integrated, and instructed usage of new technology for operations.
- Researched OSHA standard and developed a company safety program.
- Conducted plan review and design meeting coordination.

DANIEL, MANN, JOHNSON, & MENDENHALL, INC., Denver, Colorado

1998

Project Inspector at Denver International Airport (Summer Position)

- Responsible for scheduling, cost tracking, and quality assurance of subcontractors.
- Without disruption to operations, successfully coordinated runway closures and planned the construction operations directly with airport operations officer, control tower, and airline operations officer.
- Oversaw subcontractors performing specialty concrete processes with assurance to compliance of the specifications.

EDUCATION / TRAINING / CERTIFICATIONS**MS, Architectural Engineering, Pennsylvania State University,**

University Park, Pennsylvania, 1999

Advanced studies in Design Build Construction Management,
Organizational Design, Contract Law, Productivity Analysis**BS, Architectural Engineering, Pennsylvania State University**

University Park, Pennsylvania, 1999

ABET accredited degree program,
Construction Management emphasis, Deans List**CETC 150, Stormwater Management and Erosion Control**

CDOT certification course

Intrawest Development School

Whistler, Canada, 2002

Seminar with Senior Corporate Management
Intrawest Delivery Methodology, Organizational Design and Behavior**OSHA Construction Safety Certification****Denver Building Contractor Class B Supervisor Certificate**

Certified Class B under 2003 IBC & IRC by International Code Council

Building Contractor Class B Supervisor Certificate

Certified Class B under 2009 IBC & IRC by International Code Council

Scheduling Seminar – Scheduling Consultants private seminar**LEED Accredited Professional**

COMPUTER SKILLS

Software: Scheduling – Primavera P3, Suretrack, and Microsoft Project
Project Management – Expedition 10 & 8.5
Estimating – Timberline, Precision Estimating, and Win Est Pro
Takeoff – On Screen Takeoff
Design – AutoCAD
MS Office – all modules

Special skills: Proficient in the upgrade, assembly, and diagnosing of PC problems
Experienced in the administration and troubleshooting of networks.

MILITARY EXPERIENCE

SERVED IN US ARMY AS A SCOUT, Germany & Fort Knox, Kentucky

1990-1993

- Leadership position, managed 6 personnel.
- Served as the Squadron's Operations Officer's Assistant.
- Recipient of Army Achievement, National Defense, and Good Conduct medals.
- Three years service with Honorable Discharge.

Dr. Greer T. Garner

253 Adams Ranch Road
Telluride, Colorado 81435
(970) 728-1447
(970) 797-1448 fax
(970) 708-0154 cell
Garnerdr64@gmail.com

January 15, 2015

Design Review Board
Mountain Village Town Council
Mountain Village, Colorado

Dear Design Review Board and Mountain Village Town Council,

I am sending this letter to express my interest in remaining on the Design Review Board.

As a homeowner in Mountain Village I have enjoyed being part of the process which addresses not only building appearance and development but also oversees related aspects impacting economic vitality and sustainability. Having participated on the DRB both as chair and board member for many years as well as being a participant in formulating the Comprehensive Plan, I believe my experience can be of help as Mountain Village continues to grow and thrive.

Thank you for your consideration.

Sincerely,



Greer Garner

Jane Marinoff

From: Phil Evans <cathphil@aol.com>
Sent: Thursday, January 22, 2015 3:42 PM
To: Jane Marinoff
Subject: Re: Design Review Board Term Expiration
Attachments: Phil Evans - Resume.doc

Mayor Jansen and Town Council Members,

I would like to request your consideration for a position on the Design Review Board. I am currently serving as an alternate member, and would like to be considered for an open full member seat, or if none is available, for re-appointment as an alternate.

I am a resident of Mountain Village, and previously served on the DRB for six years, three years as chair.

My resume is attached.

Thank you.

Philip B. Evans
107 Gold hill Ct.
Mountain Village, CO
728-9560

-----Original Message-----

From: Jane Marinoff <JMarinoff@mtnvillage.org>
To: Forward dzemke <dzemke@mtnvillage.org>; Forward deckman <deckman@mtnvillage.org>; Greer Garner (garnerdr64@gmail.com) <garnerdr64@gmail.com>; Forward kperpar <kperpar@mtnvillage.org>; Phil Evans <cathphil@aol.com>
Cc: Chris Hawkins <CHawkins@mtnvillage.org>; Nichole Zangara <NZangara@mtnvillage.org>
Sent: Thu, Jan 15, 2015 1:52 pm
Subject: Design Review Board Term Expiration

Dear DRB members,

Your term on the Design Review Board will expire April 2015.

If you are interested in re-applying for your position please send a letter of intent and resume to me.

Thank you

Jane Marinoff
Administrative Assistant Community Development
Town of Mountain Village
455 Mountain Village Blvd, Suite A
Mountain Village, CO 81435
O :: 970.369.8242
F :: 970.728.4342

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Resume for Philip B. Evans

Phil Evans has been a full-time resident of Mountain Village since the summer of 1998. He and his wife, Cathie, moved here from Connecticut following his retirement from Avon Products, Inc., a Fortune 500 company, where he was a senior executive.

In 1999 Phil was appointed to the Mountain Village Design Review Board. He served on the DRB for six years (three as chairman) until his resignation in March 2005

He was appointed to the Mountain Village Metro District Board in June of 2001, and elected to a full term in June of 2003. He served on the Board until its merger into the Town.

In 2005, Phil was elected to Town Council. He served one term, and did not run for re-election in 2009.

In 2014, Phil applied for an open seat on the Design Review Board, and was appointed as an alternate. He currently serves in this position.

In addition, Phil very actively worked to try to encourage the Telluride Science and Research Center to select Mountain Village as the site for their future permanent home. While this effort was ultimately unsuccessful, it confirmed resident and second home owner support for a diversification of our economic and cultural base.

Phil and his wife Cathie are avid skiers, golfers and hikers. They have two grown children and four grandchildren, all of whom visit Mountain Village as often as possible.

Jean M Vatter
PO BOX 1184
Telluride, CO 81435

1-26-2015

Dear DRB and Town Council,

I am writing to you to notify you of my interest in participating on the Design Review Board for the Town of Mountain Village.

I have been the President and recording Secretary for my HOA where I reside. I am familiar with running meetings, motions etc and complying with bylaws and rules and regs etc. I also am familiar with working with other board members of both like mindedness and also of differing opinions. I have served on that board for 5 years.

My education includes a Mathematics degree and MBA with a marketing focus, a Realtor's license, a negotiations expert and to top it off have much education in the areas of massage. I am a business owner in the Town of Mountain Village that primarily focuses on the sale and marketing of the Fairmont Heritage Place interests. I am in contact with a plethora of Mountain Village businesses, visitors and property owners.

I have infinity for Mountain Village and have worked in MV for the last 12 years and have seen many changes both in the Town itself and ski area. I am a property owner in the Hillside area, Ophir and also have a share at the Franz Klammer lodge.

I have an almost-13 year old who participates in several sports in the area and as a result spend quite a bit of time volunteering for both the sports program, specifically baseball and I have worked quite a bit in within the school district to help students with reading and math.

As for my passions, they revolve around skiing, yoga, running, the love of nature and working with our guests from around the world who make Telluride their destination and have a love for architecture and design. I would describe myself as a 'can do, get it done, problem solver with a mathematical mind who can get along with a variety of personalities'.

I look forward to a response as to the possibility of my participation on the board.

Sincerely,

Jean M Vatter

Jane Marinoff

From: Suzanne Greischel <greischel@yahoo.com>
Sent: Tuesday, January 27, 2015 2:43 PM
To: Jane Marinoff
Subject: Fw: Design Review Board Seat
Attachments: Greischel, Resume 2015.doc; Kentfield Residence..JPG; Kentfield Master.jpg; MidFirst Bank.JPG; Montgomery 4 stair.jpg

To the members of the Town Council,

I am interested in one of the seats for the Design Review Board at Mountain Village. I am not sure if I qualify as a member of the Community as I have only been in the Telluride Area for the last 6 months. My architecture practice has been in San Francisco and I am looking into opening a satellite office in Telluride.

I unfortunately do not have a web-site as I have been lucky enough to always have work. I have attached my Resume and some photos of some of my work. The Kentfield Residence was approximately \$20m and I have worked on it for 8 years. It was just finished. I was the Interior Architect until the Architect passed away and I took over the entire job. Having taught design I truly enjoy the entire process. I have also been a critic for various design classes in San Francisco.

I am looking forward to getting involved in the Design and Art Community in Telluride.

Yours truly,

Suzanne Greischel

G R E I S C H E L
Architecture + Interiors
greischel@yahoo.com 415 613-3673

Suzanne Greischel

G R E I S C H E L
Architecture + Interiors
greischel@yahoo.com

Private Practice

1986-2004 2008-2015
California Architect -License 27372
Residential and Commercial Work

Professional Work

Lecturer - Design Studio - UC Berkeley, CA
1981-1983 1997
Lecturer, CCAC, San Francisco, CA - Design Studio
Professor, UC Extension, Design Studio, San Francisco, CA

Education

BA in Architecture, UC Berkeley, 1979
Masters in Architecture, UC Berkeley, 1983
Eisner Prize, UC Berkeley, 1983

Previous Work Experience

Principal with BraytonHughes Design Studios
San Francisco, CA
12.2004 - 6.2008

Own firm

Residential and Commercial Projects
Greischel, Architecture and Interiors
1986 - 2004 2008 - 2015

SOM - Skidmore Owings and Merrill
1985 - 1986

Jennings and Stout Architects
1983 - 1985

Publications/Awards

IIDA award, March 2010
Stanford Outpatient Facility, Public spaces for Anshen+Allen
While at BraytonHughes Design Studios

Interior Design Magazine, Montgomery & Co.,

Corporate Interiors, No.9, Montgomery & Co.,
San Francisco, CA, 2009

Progressive Architecture, Young Architects

SF Magazine, New Talent

MOMA newsletter, interview

Cottage Book

Western Interiors

Board Member

YBCA Center for the Arts
San Francisco, Ca

Exhibitions

OWA Women Architects Building the City
At ARCH, San Francisco, Ca
September 2009

Recent Projects

Babcock Residence, Kentfield, Ca
Roman Residence, San Francisco, Ca
Lalicker Residence, In Progress, San Francisco, Ca
Four Seasons, San Francisco, 20 Floors Residential Corridors
YBCA Museum, Lobby Redesign
Stanford Hospital, LPCH OB Units
Lipman Residence, San Francisco, Ca.
Fredericks Residence, Vallejo Street, San Francisco
North Beach Pool and Clubhouse
Schematic/Design Development for Paulett Taggart
Published in numerous magazines

With BHDS

MGM Mirage, Executive Offices, Las Vegas - Interiors
Montgomery & Co., Corporate Offices, Embarcadero 2, San Francisco - Interiors
Stanford Outpatient Facilities, Redwood City - Interior Architect
MidFirst Banks, Arizona - Architect
Capital Source, One Maritime, San Francisco - Interiors

Conceptual Projects at BHDS

Sanyo, Seoul, Korea - Executive Offices
One of 3 firms (BHDS) selected in US for final presentation
Created a sketch book for the presentation
Electronic Arts - Executive Offices
Created the final concept presentation at BHDS
We were awarded the job
Stanford Outpatient Facility
Created the presentation and concept
Principal in charge at BHDS; architect: Anshen and Allen
BHDS was then awarded the Master Plan for all of Stanford Medical Campus
Disney Museum
Part of presentation team
Our part of the project did not proceed

Jane Marinoff

From: Douglas Tooley <douglas@motleytools.com>
Sent: Friday, January 30, 2015 4:14 PM
To: Jane Marinoff
Cc: Douglas Tooley
Subject: Design Review Board

I am writing today to apply for an alternate slot on the Design Review Board, with both extensive community planning (GIS) and community member experience.

I'll just be completing my first six months as a VCA Resident in March, currently on disability but hopefully getting healthier faster than I'm getting older. As such, I have both free time and at least a bit of remaining professional judgment.

As a sample of work and additional info I refer you to my comments and introduction submitted with last fall's capital planning process. Locally I have also been following closely the affordable housing issue and am working on a proposal for trail access to Needle Rock.

Thanks for your consideration.

Douglas Tooley
415 Mountain Village Boulevard, #1124
Mountain Village, CO 81435

douglas@motleytools.com 970 779 1132

Sent from my ASUS Pad

Sample DRB Interview Questions

1. What interests you about serving on the DRB?
2. Are you familiar with the TMV DRB and the review process?
3. Do you have any experience serving on a similar board?
4. What qualities do you feel are important for a DRB member to possess?
5. What important qualities do you believe you will bring to the DRB?
6. Do you see yourself having potential conflicts of interest?
7. Are you able to commit the necessary time to the DRB?



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February 5, 2015

Town of Mountain Village
Design Review Board

Re: Funicular Regulations

Dear DRB:

I am an attorney representing Calvin Akin, owner of Lot 386DR aka 536 Benchmark Drive. Mr. Akin recently opposed the installation of a funicular adjacent to his home, the property immediately to the south of the applicant's lot. The applicant was Damb Properties LLC, owner of Lot 374 aka 539 Benchmark Drive.

We appeared at two Town Council worksessions, one in September 2014 and one in November 2014. Ultimately, Town Council directed a moratorium on applications and that the Community Development Code be amended to make the criteria more strict.

We want to thank the Town for this receptive response, and for taking the time to review these rules.

The purpose of this letter is to comment on the proposed rule changes.

Visual and Wildlife Impacts

Submitted with this letter are written comments from local architect/builder Ken Alexander. Mr. Alexander was unable to attend today's DRB meeting, but he has spent a great deal of time assisting with the review of these matters. His comments on visual and wildlife impacts are accurate.

Attached to this letter are a series of photos that we presented to the Town Council, showing the visual impact of the devices. The first six photos are of the funicular serving Bear Creek Lodge. The last two photos, of the deer approaching and moving under a funicular, were actually supplied by the applicant (though I added what I thought the deer might be saying). Though the applicant presented the photos in an effort to show that the devices do not impact wildlife, we would submit that the photos reveal the devices are disruptive to wildlife. We would argue that in the snow, wildlife travel under or past the devices would be made even more difficult.

Multifamily Devices

As Mr. Alexander points out, these devices may be appropriate when serving multifamily projects closer to the Village Core. The more urban environment has a lower probability of wildlife impact. The benefits of moving larger numbers of skiers may outweigh the negative impacts. We would suggest that the updated criteria include as a positive factor whether or not the device will serve multifamily properties closer to the Village Core.

Telski Approval Should Remain as a Criteria

The new rules propose to eliminate the requirement that Telski approve the funicular installation. While I of course do not represent Telski, I called and discussed this proposed change with Telski VP of Mountain Operations & Planning Jeff Proteau, because I knew that this proposed change was not appropriate. We discussed that, historically, Telski written approval has been required for any access from a lot to a ski run, even a simple private ski trail from a ski-in / ski-out lot. This only makes sense. Telski wants and deserves absolute control over how and where skiers enter a run. Also, Telski has the absolute legal right to approve, or disapprove, how an adjacent property owner enters Telski property.

Entry and exit off a run can cause skier(s) to congregate, perhaps at a blind spot, being a safety issue. Also if the funicular encroaches into the GE, there would be no buffer from the run. Finally, the construction of any structure near a ski run is also a safety issue. If the structure is placed close to the run, a skier could hit it. We agree with these Telski concerns, which is why we are stating them here. Again, I do not represent Telski. Telski may appear at this or future hearings and/or offer written comment.

Conclusion

Thank you for your consideration of these comments.

Sincerely,



Joseph A. Solomon, Esq.

Encs.

cc: Calvin Akin, Owner, Lot 374R
Robert Erie, Esq.
Joe Goldberger, Esq.
Ken Alexander, Architect
Lee Roufa, Kastle Keepers
Jeff Proteau, Telski VP of Mountain Operations & Planning















You guys see this thing?

7:49 PM



Watch your head.

7 1:41 PM



ARCHITECTS COLLABORATIVE
ARCHITECTURE PLANNING INTERIORS

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Telluride, CO 81435
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February 5, 2015

Town of Mountain Village Design Review Board (DRB)

Re: Funicular Regulations

Dear DRB:

I have been asked by Bob Erie and Joe Solomon, counsel for Calvin Akin, the owner of Lot 374R aka 536 Benchmark Drive, to comment on the proposed updated funicular regulations.

I participated with these individuals in the Town Council hearings and site walks in September and November of 2014.

I would suggest strengthening the language "readily visible". In almost all cases the lift would be visible at some point. "No adverse visual impact" on the adjoining neighbors, might be better. Also perhaps "no adverse impact the natural environment."

I do believe these lifts could be permissible on very remote lots where there is no visibility, if they do not impact the movement of wildlife.

They could also be fine in the more urban core areas where a multifamily development may access them. In this case additional requirements might be to have them be a harmonious design. Utilizing the natural elements of the building materials approved for development in the Mountain Village. Stone, log post and beam, rusted corrugated metal panels, etc. Certainly Mining scheme elements of design could also be required. This seems historically practical. Encouraging rusted metal detailing. Avoiding the raw industrial elements of the unaltered equipment. Exposed rails, electrical panels and signs warning of hazards should be avoided.

Thank you for your consideration of these comments.

Ken Alexander
Architects Collaborative



TIMM
DEB
T16

APLIN MASONRY
TIMM DEB - sample
Rafter's veneer

APLIN MASONRY
TIMM SHINGLES

APLIN MASONRY
TIMM SHINGLES

TIMM
DEB

APLIN MASONRY
TIMM DEB

APLIN MASONRY
P.O. BOX 100
TOLSON, CO
870-720-8813

APLIN MASONRY
P.O. BOX 100
TOLSON, CO
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TIMM
SHINGLES

TIMM
DRB

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ARKAN SAS
SHAKESKIN
TIMM
DRB







SIGN-IN SHEET

DRB Meeting

Thursday, February 5, 2015

Please write clearly

ATTENDEE NAME (PLEASE PRINT CLEARLY)	ADDRESS
Ron Bercovitz	PO Box 2709 / 84 Orinney / Tvide
Dottie Durrschmidt	112 Palmyra Mtn Village
Laura Calkin	112 Palmyra Mtn Village
Mike Fitzhugh	304 Adams Ranch Rd #2
Jan Mann	PO Box 536 placerville 94360
COURTNEY KEER	PO Box 1033, TELLURIDE
DOUG MILLER	P.O. BOX 1914, TELLURIDE
D. Quinn	Box 2006, Telluride
Tommy Hem	
STACY M LAKE	POB 3814 T-RIDE
Stephanie Farrow	