

**TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD REGULAR MEETING  
THURSDAY DECEMBER 3, 2015, 10:00 AM  
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO  
AGENDA**

	<b>Time</b>	<b>Min.</b>	<b>Presenter</b>	<b>Type</b>	
<b>1.</b>	10:00				Call to Order
<b>2.</b>	10:00	5	Van Nimwegen	Action	Reading and Approval of Summary of Motions of the October 1, 2015 Meeting of the Design Review Board
<b>3.</b>	10:05	5	Van Nimwegen	Action	Review proposed 2016 Design Review Board Meeting Schedule
<b>4.</b>	10:10	45	Bangert	Action	Design Review Application and Resolution for a new single family home on Lot 600BR-2
<b>5.</b>	10:55	15	Van Nimwegen Meucci	Update	Village Court Apartments Site Improvements
<b>6.</b>	11:10				Adjourn

**SUMMARY OF MOTIONS  
TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD MEETING  
THURSDAY, OCTOBER 1, 2015**

Agenda Item 2

**Call to Order**

Chairman, Bill Hoins, called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:02 a.m. on Thursday, October 1, 2015, in the Conference Room at 455 Mountain Village Boulevard, Mountain Village, Colorado, 81435.

**Attendance**

**The following Board/Alternate members were present and acting:**

Dave Eckman	Greer Garner
Phil Evans	Keith Brown
David Craige	Luke Trujillo
Bill Hoins, Chair	

**The following Board members were absent:**

Banks Brown	Jean Vatter
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**Town Staff in attendance:**

Glen Van Nimwegen, Planning and Development Director  
Savannah Jameson, Planner II  
Dave Bangert, Town Forester

**Public in Attendance:**

Jack Wesson  
Bruce Derrick

**Reading and Approval of Summary of Motions of the September 3, 2015 Meeting of the Design Review Board**

On a motion by Phil Evans and seconded by David Eckman, the DRB voted 7-0 to approve the September 3, 2015 meeting notes with the minor revision to the last motion.

**Reading and Approval of Summary of Motions of the September 17, 2015 Special Meeting of the Design Review Board**

On a motion by Greer Garner and seconded by David Eckman, the DRB voted 6-0 to approve the minutes of the special meeting. Bill Hoins abstained.

**Continuation from the September 17, 2015 meeting of a Minor Revision Application for the ski valet windows on Lot 38-50-51R, Hotel Madeline**

David Craige recused himself.

Per applicant request the meeting was continued to the November 5, 2015 meeting.

On a motion by David Eckman and seconded by Greer Garner, the DRB voted 7-0 to move the application for minor revision for Lot 38-50-51R, Hotel Madeline, to a date specific time, November 5, 2015 Design Review Board meeting.

**Consideration of a Design Review application to allow for address numbering and illumination on a previously approved monument in the RROW on Lot 204**

Bruce Derrick presented for the application.

On a Motion made by David Eckman and seconded by David Craige, the DRB voted 7-0 to approve the design review application to allow for the address numbering and illumination on a previously approved monument in the RROW on Lot 204.

**Consideration of a recommendation to the Town Council for amendments to the CDC at 17.6.5 Telecommunications Antenna Regulations to Section (C)(D.3)(D.1) and (D.2).**

On a motion by David Eckman and seconded by Phil Evans, the DRB voted 7-0 to make a recommendation to the Town Council for amendments to the Community Development Code (CDC) at 17.6.5 Telecommunications Antenna Regulations to Section (C) to provide for temporary, mobile cellular facilities, commonly known as Cells on Wheels (COW) and require their approval through a Class 1 application and add a new Section (D.3) to set the term of a temporary COW to 180 days with the provision the time may be extended by the Director of Planning and Development Services but not beyond one year aggregate; require COW's to be located outside of any setbacks or General Easements and be setback from property lines an equal distance as the height of the structure, unless there is approval from an adjoining property owner for less setback; and limiting the COW facility height including antenna height of 60 feet. Also minor changes to the titles of (D.1) to read "Freestanding Antenna Standards" and (D.2) to read "Attached Antenna Standards". In addition to this motion we would also encourage staff to provide Section (D) to include sections of review as discussed here by the Board.

**Consideration of a Design Review Process Development Application for new construction of a single-family residence on Lot BC513AR**

Due to time constraints this item was reviewed out of order

Jack Wesson presented for the application

On a motion made by David Eckman and seconded by Phil Evans, the Board voted 7-0 to approve the resolution for the design review process development application for new single family residence on Lot BC513AR with findings and conditions as set forth in the resolution with the additional conditions that the applicant study and further expand the depth of the soffits on the gable roof forms, that the applicant provide stone bases at any columns on the north deck, that the applicant update plan sets as discussed in the course of the hearing to make accurate representations of design intent and lastly that the applicant submit for record the computer massing model and materials board for final review by Board Chair.

**Other Business**

On a Motion made by Greer Garner and seconded by Phil Evans, the DRB voted 7-0 to adjourn the October 1, 2015 meeting of the Mountain Village Design Review Board at 12:35 p.m.

Respectfully Submitted,

Glen Van Nimvegen  
Director of Planning & Development Service

**2016 DRB Meeting Schedule**

DRB Meeting Date	
Thursday, January 7, 2016	10am
Thursday, February 4, 2016	10am
Thursday, March 3, 2016	10am
Thursday, April 7, 2016	10am
Thursday, May 5, 2016	10am
Thursday, June 2, 2016	10am
Thursday, July 7, 2016	10am
Thursday, August 4, 2016	10am
Thursday, September 1, 2016	10am
Thursday, October 6, 2016	10am
Thursday, November 3, 2016	10am
Thursday, December 1, 2016	10am



**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Design Review Board  
**FROM:** Dave Bangert, Town Forester  
**FOR:** Meeting of December 3, 2015  
**DATE:** November 25, 2015  
**RE:** Consideration of a Design Review application for a new single-family dwelling on Lot 600BR-2

**PROJECT GEOGRAPHY**

**Application Overview:** The purpose and intent of this memo is to have a Design Review Board (DRB) review and approve a new single family home on Lot 600BR-2.

**Legal Description:** Lot 600BR-2  
**Address:** 17 Trails Ridge  
**Applicant/Agent:** Jack Wesson Architect  
**Owner:** BCW Properties, LLC  
**Zoning:** Single-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 0.13 Acres

**Adjacent Land Uses:**

- **North:** Open Space
- **South:** Multi-Family
- **East:** Single-Family
- **West:** Single-Family

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	40' maximum (35'+5' for gable roof)	37' – 10"
Maximum Avg Building Height	35' maximum (30'+5' for gable roof)	25' – 9.5"
Maximum Lot Coverage	40% maximum	39.98%
<b>General Easement Setbacks</b>		
North	0' No GE, no setback	12' – 9.25"
South	8' setback	21' – 11.25"
East	8' setback	8'
West	8' setback	8'
<b>Roof Pitch</b>		
Primary	6:12 to 12:12	12:12
Secondary	4:12 unless specific approval	5:12, 4:12 one shed roof 3:12
<b>Exterior Material</b>		
Stone	35%	37.42%
Wood	25% (No requirement)	21.86%
Windows/Doors	40% maximum for windows	16.01%
Metal Accents	Specific Approval	24.71%
Parking	2 enclosed and 2 non-tandem	2 enclosed and 2 exterior

**ATTACHMENTS**

- Exhibit A: Applicant Narrative
- Exhibit B: Plan set
- Exhibit C: Lot 600BR-1 License Agreement for Temporary Construction Staging

**RECORD DOCUMENTS**

- Town of Mountain Village Community Development Code (as adopted March 2013)
- Town of Mountain Village Home Rule Charter (as amended on June 28, 2005)
- Design Review Application as maintained by the Community Development Department.

**BACKGROUND**

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Design Review for the development of a single-family residence. The proposed dwelling unit is located on Trails Edge Drive. The proposed dwelling unit consists of four (4) bedrooms and an attached two (2) car garage for a total of 4586 square feet including garage and mechanical space. The site area consists of 0.13 acres and is characterized by a predominantly medium aspen and a few firs. Terrain across the site slopes from the north to the south with a berm at the road.

**CRITERIA FOR DECISION**

1. The proposed development meets the Design Regulations;
2. The proposed development is in compliance with the Zoning and Land Use Regulations;
3. The proposed development complies with the road and driveway standards;
4. The proposed development is in compliance with the other applicable regulations of this CDC;
5. The development application complies with any previous plans approved for the site still in effect;
6. The development application complies with any conditions imposed on development of the site through previous approvals; and
7. The proposed development meets all applicable Town regulations and standards.

**17.5.5 BUILDING SITING DESIGN**

**Site Plan**

The layout and roof line of the unit is located completely within the allowable buildable area of the lot with no encroachments proposed. However, some disturbances, tree removal and construction staging is proposed within 8' Setbacks surrounding the buildable area. The DRB should review the site plan and determine whether the construction staging encroachments into the 8' Setbacks would cause unreasonable negative impacts to the surrounding properties. Because the foundation is less than 5' from the setbacks a monument survey of the footers will be required before the pouring of concrete. This will be a condition of approval.

**17.7.19 CONSTRUCTION MITIGATION**

The applicant is proposing to use Lot 600BR-1 for some of their construction staging as per the license agreement.

### **17.5.6 BUILDING DESIGN**

#### **Building Form and Exterior Wall Form**

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick massed base.

#### **Roof Forms**

The CDC allows for primary roof pitches to be between 6:12 and 12:12 and be gable in form, and secondary roofs will not have pitches less than 4:12 and be either gable or shed in form. With this in mind, the roof plan illustrates that a shed roof form for the garage east pop out will have a 3:12 slope, requiring a variation. All other roof slopes are compliant.

The applicant is seeking specific approval for the following design variation pursuant to CDC Section 17.4.11(E)(5):

1. Proposed secondary shed roof with 3:12 pitch as outlined in CDC Section 17.5.6.(C)(2)(b).

Section 17.4.11(E)(5)(e) states that the following criteria shall be met for the review authority to approve a design variation development:

1. The design variation is compatible with the design context of the surrounding area, and provides for a strong mountain vernacular design.
2. The design variation is consistent with the town design theme;
3. The strict development application of the Design Regulations(s) would prevent the applicant or owner from achieving its intended design objectives for a project;
4. The design variation is the minimum necessary to allow for the achievement of the intended design objectives;
5. The design variation is consistent with purpose and intent of the Design Regulations;
6. The design variation does not have an unreasonable negative impact on the surrounding neighborhood; and
7. The proposed design variation meets all applicable Town regulations and standards.

Cost or inconvenience alone shall not be sufficient grounds to grant a design variation.

The applicant's narrative states the following concerning the variations:

The applicant requests a 3:12 roof pitch over a very small roof on the garage storage popout on the east side. This reduced pitch is to maintain a ceiling height adequate for hanging bikes and storage below. The roof form is very short, so this has a very modest effect, but also very subtle.

#### **Eaves and Fascia**

The proposed fascia depth is (10) inches. This is compliance with the CDC.

- a. Eaves shall generally be responsive and proportional to the design of the building.
- b. Fascia shall be a minimum of ten inches (10") for single-family dwellings and eighteen inches (18") for multi-family, mixed-use or commercial development.

**Roof Material**

The primary roofing material proposed is a rusted corrugated metal and is a permitted roof material outside of the Village Center.

**Exterior Wall Materials**

The exterior wall material percentages include 37.42% stone; 21.86% wood siding; 24.71% steel accents; and 16.01% fenestration. With a 36.38% stone coverage, the stone percentage meets the 35% minimum. Wood siding shall be a minimum size of one inch by eight inches (1" x 8") in dimension and stained. Steel accents require a DRB specific approval:

**Metal.** The review authority may review and approve metal as an accent siding material, soffit material and fascia material as specific approvals in a development application.

- a. Permitted metal siding types include rusted corrugated, rusted sheet metal panels, zinc panels, copper panels and other metal types reviewed and approved by the DRB.
- b. Copper metal shall be treated to produce a patina prior to the issuance of a certificate of occupancy.
- c. Corrugated metal shall be treated to produce rusting prior to the issuance of a certificate of occupancy.

The DRB should review the steel accents to determine if these elements are appropriate and compatible with the surrounding area development.

**17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan prepared by Uncompahgre Engineering for the proposed development. Positive drainage away from the structure has been created. The plan includes piping within the 8' Setbacks. An 18" culvert is being shown under the driveway at the road. Grading on the site blends with the natural topography.

**17.5.8 PARKING REGULATIONS**

The unit is proposing two (2) indoor and two (2) outdoor surface parking spaces (17' and 21' clear depth ). All parking spaces are completely located within the property boundaries.

**17.5.9 LANDSCAPING REGULATIONS**

The proposed landscape plan shows (10) aspens and (2) spruce to be planted, in additions to a mixture of shrubs and perennials. All plantings shall be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

<b>Landscaping Type</b>	<b>Minimum Size</b>
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height ("dbh")
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.
Shrubs	5 gallon or larger massing of smaller shrubs

An irrigation plan has been submitted and is in compliance with Table 5-3, Irrigation System Design. A rain shut-off device is called out in the plans as well as a backflow prevention device.

**17.5.11 UTILITIES**

Public Works will review the final layout of the utility plan and commented that the developer is responsible to determine the actual location of the existing utilities.

**17.5.12 LIGHTING REGULATIONS**

The proposed lighting plan includes eleven (11) sconces. Locations include egress, deck and patio areas. Lighting is permitted in all proposed locations. All lighting has been designed as full cut-off fixtures with LED bulbs. All bulbs to be Philips LED lamp, A19, E26, 6.5W, 2700K or similar.

**17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS**

The applicant has indicated the fireplace will be a gas and not solid fuel-burning. Staff would note that in order to install a solid fuel-burning device (i.e., interior fireplace, wood burner or fireplace insert) in any structure in the Town, the Owner must have or obtain a permit from the Town.

**RECOMMENDATION**

Staff recommends the DRB approve the Design Review application for Lot 600BR-2 with the following motion:

*“I move to approve a resolution for a Design Review Process development application for a new single-family residence on Lot 600BR-2, with the findings and conditions as set forth in the resolution”*

**RESOLUTION OF THE DESIGN REVIEW BOARD  
OF MOUNTAIN VILLAGE, COLORADO, AUTHORIZING AND APPROVING THE DESIGN  
REVIEW PROCESS FOR LOT 600BR-2**

**Resolution No. 2015-1203-17**

**RECITALS:**

- A. BCW Properties, LLC is the owner (“Owner”) of record of real property described as Lot 600BR-2, Filing 1, Town of Mountain Village; and
- B. Jack Wesson Architect, has submitted a Class 3 Design Review Process application requesting approval for the development of a single family home on Lot 600BR-2, Town of Mountain Village; and
- C. The Design Review Board (DRB) considered this application, along with evidence and testimony, at a public meeting held on December 3, 2015. Upon concluding their review, the DRB voted 0-0 to approve the Design Review; and
- D. The public hearings referred to above were preceded by publication of public notice of such hearings on such dates and/or dates from which such hearings were continued on the *Town of Mountain Village website*, and by mailing of public notice to property owners within four hundred feet (400') of the Property, as required by the Community Development Code; and
- E. The DRB considered the Application submittal materials, and all other relevant materials, public letters and public testimony, and approved the Application with conditions as set forth in this Resolution; and
- F. The Owners have addressed, or agreed to address, all conditions of approval of the Application imposed by the DRB; and
- G. DRB based their approval of this Application on the following findings, as stated required by section CDC Section 17.4.11.D:
  - 1. With compliance of the conditions set forth below, the proposed development meets the Design Regulations because, without limitation, the development is compliant with the Town design theme, the building siting design requirements, building design requirements, and the Parking Regulations.
  - 2. With compliance of the conditions set forth below, the proposed development is in compliance with the Zoning and Land Use Regulations because, without limitation, the development is located in the Single Family Zone District, the maximum and average building heights are met, and the structure complies with the lot coverage requirements;
  - 3. The proposed development is in compliance with the other applicable regulations of this CDC, including but not limited to the Development Review Procedures, the Fire Mitigation Regulations and the Steep Slope Regulations;
  - 4. The development application complies with any previous plans approved for the site still in effect because, without limitation, the development is in compliance with previously approved development plans;
  - 5. The development application complies with any conditions imposed on development of the site through previous approvals; and

**Town of Mountain Village, Design Review Board**

By: \_\_\_\_\_  
Bill Hoins, Chairman

**Attest:**

By: \_\_\_\_\_  
Dave Bangert, Town Forester

6. The proposed development meets all applicable Town regulations and standards because, without limitation a design variation have been granted for:
  - a. Roof pitch of 3:12 on a secondary roof form;

**Now, Therefore, Be It Resolved** that the DRB hereby approves the Design Review Process development application and authorizes the DRB Chairman to sign the Resolution subject to the following conditions:

**Section 1. Development Application Conditions**

1. As required by CDC section 17.3.14, the developer shall submit a monumented land survey prepared by a Colorado public land surveyor to ensure there are no above-grade or below-grade encroachments into the setback prior to the Building Division conducting the required footing or foundation inspection as applicable.
2. Prior to the mason setting any stonework, a four foot (4') by four foot (4') mock up board be prepared by the development mason for the review authority to approve the final stone material and setting pattern consistent with the review authority approval.
3. Applicable Town fees and taxes shall be paid prior to commencing the activity or prior to the Town issuing a permit, as applicable, including but not limited to the Town's use tax.
4. All representations of the applicant, whether within the submittal or at the DRB hearing, are conditions of this approval.

**Section 2. Effective Date and Length of Validity**

1. This approval shall be effective seven (7) calendar days from the date of the DRB approval, on December 3, 2015 unless an appeal is filed in accordance with the CDC appeal procedures. If an appeal is filed pursuant to the appeal procedures, building permits or other development permits shall not be issued until the appeal is heard by the Town Council and it takes action to uphold or modify the approval.
2. This approval shall be valid for eighteen (18) months from the effective date of approval and shall lapse on June 10, 2017 unless a Renewal Process development application is approved by the Town pursuant to the CDC.

**Section 3. Void Approval**

A resolution or subsequent approval issued by the Town in error or which does not comply with the provisions of this CDC or Town-adopted codes, ordinances and regulations is null and void. A permit, certificate or license issued in reliance upon any materially false statement in the development application, supporting documents or oral statements made on the record shall be null and void.

**Be It Further Resolved** that Lot 600BR-2 may be developed as submitted in accordance with Resolution NO. 2015-1203-15

**Approved** by the Design Review Board at a public meeting December 3, 2015.



## NARRATIVE

10.21.15

To: Town of Mountain Village  
Department of Planning and Design Review

From: Jack Wesson  
Jack Wesson Architects, Inc.  
P.O. Box 2051, 333 W. Colorado Ave. #4  
Telluride, CO 81435  
(970) 728-9755 xt.27  
jack@wessonarch.com  
adam.birck@gmail.com

Re: Lot 600BR-2  
DRB Application for Single Family House

### **APPLICATION OVERVIEW:**

The purpose and intent of this memo is to have the Design Review Board review and act upon an application for the development of a single-family residence located on Lot 600BR-2.

### **PROJECT GEOGRAPHY**

**Legal Description:** Lot 600BR-2, Telluride Mountain Village  
**Address:** TBD Trails Edge, Mountain Village, Colorado  
**Applicant/Agent:** Jack Wesson Architects  
**Owner:** **BCW Properties**  
**Zoning:** Single Family Residential  
**Existing Use:** Vacant Single Family  
**Proposed Use:** Single Family  
**Lot Area:** 0.13 acres (5567 sf)

### **BACKGROUND**

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Design Review for the development of a single-family residence. The proposed dwelling unit is located on Trails Edge Drive. The proposed dwelling unit consists of four (4) bedrooms and an attached two (2) car garage for a total of square feet including garage and mechanical space. The site area consists of 0.579 acres and is characterized by a predominantly medium aspen and a few firs. Terrain across the site slopes from the north to the south with a berm at the road.

### **BASIC DEVELOPMENT REQUIREMENTS**

	<b>Allowed Maximum</b>	<b>Proposed</b>
<b>Number of Dwelling Units</b>	1	1
<b>Building Height (Max.)</b>	35'+5'	37' 10"
<b>Building Height (Max. Average)</b>	30'	25' 9-1/2"
<b>Gross Floor Area</b>		4586 sq ft
<b>Livable</b>		4027 sq ft
<b>Non-livable</b>		558 sq ft
<b>Lot Coverage</b>	40%	39.98%

Parking Spaces	4 (2 enclosed)	4 (2 enclosed)
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### 17.5.5 BUILDING SITING DESIGN

#### Site Plan

The layout and roof line of the unit is located completely within the allowable buildable area of the lot with no encroachments proposed. However, some disturbances, tree removal and construction staging is proposed within General Easements surrounding the buildable area.

The DRB should review the site plan and determine whether the construction staging encroachments into the General Easements would cause unreasonable negative impacts to the surrounding properties.

### 17.5.6 BUILDING DESIGN

#### Building Form and Exterior Wall Form

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick massed base.

#### Roof Forms

The CDC allows for primary roof pitches to be between 6:12 and 12:12 and be gable in form, and secondary roofs will not have pitches less than 4:12 and be either gable or shed in form. With this in mind, the roof plan illustrates that a shed roof form for the garage east pop out will have a 3:12 slope, requiring a variance. All other roof slopes are compliant.

#### Eaves and Fascia

The proposed fascia depth is (10) inches. This is compliance with the CDC.

- a. Eaves shall generally be responsive and proportional to the design of the building.
- b. Fascia shall be a minimum of ten inches (10") for single-family dwellings and eighteen inches (18") for multi-family, mixed-use or commercial development.

#### Roof Material

The primary roofing material proposed is a rusted corrugated metal and is a permitted roof material outside of the Village Center.

#### Exterior Wall Materials

The exterior wall material percentages include 37.42% stone; 21.86% wood siding; 24.71% steel accents; and 16.01% fenestration. With a 36.38% stone coverage, the stone percentage meets the 35% minimum. Wood siding shall be a minimum size of one inch by eight inches (1" x 8") in dimension and stained. Steel accents require a DRB specific approval:

***Metal.*** The review authority may review and approve metal as an accent siding material, soffit material and fascia material as specific approvals in a development application.

- a. Permitted metal siding types include rusted corrugated, rusted sheet metal panels, zinc panels, copper panels and other metal types reviewed and approved by the DRB.
- b. Copper metal shall be treated to produce a patina prior to the issuance of a certificate of occupancy.
- c. Corrugated metal shall be treated to produce rusting prior to the issuance of a certificate of occupancy.

The DRB should review the steel accents to determine if these elements are appropriate and compatible with the surrounding area development.

### 17.5.7 GRADING AND DRAINAGE PLAN

The applicant has provided a grading and drainage plan prepared by Uncompahgre Engineering for the proposed development. Positive drainage away from the structure has been created. The

plan includes piping within the General Easement and Setbacks. Such permanent encroachments into the General Easement require a revocable encroachment agreement with the Town. An 18" culvert is being shown under the driveway at the road.

Grading on the site blends with the natural topography.

**17.5.8 PARKING REGULATIONS**

The unit is proposing two (2) indoor and two (2) outdoor surface parking spaces (17' and 21' clear depth ). Section 17.5.8 of the CDC requires one parking space for each bedroom constructed on the site, unless within a separate HOA, this the minimum requirement is per the HOA approval. All parking spaces are completely located within the property boundaries.

**17.5.9 LANDSCAPING REGULATIONS**

The proposed landscape plan shows (10) aspens and (2) spruce to be planted, in additions to a mixture of shrubs and perennials. All plantings shall be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

<b>Landscaping Type</b>	<b>Minimum Size</b>
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.
Shrubs	5 gallon or larger massing of smaller shrubs

An irrigation plan has been submitted and is in compliance with Table 5-3, Irrigation System Design.

**17.5.11 UTILITIES**

Public Works will review the layout of the utility plan and commented that the developer is responsible to determine the actual location of the existing utilities.

**17.5.12 LIGHTING REGULATIONS**

The proposed lighting plan includes eleven (11) sconces. Locations include egress, and deck and patio areas. Lighting is permitted in all proposed locations. All lighting has been designed as full cut-off fixtures with LED bulbs. Kelvin temperature has not been specific and staff recommends a condition of approval to limit the temperature to be 3,500K or less.

***Limited Exterior Lighting***

**17.6.8 SOLID FUEL BURNING DEVICE REGULATIONS**

The applicant has indicated the fireplace will be a gas and not solid fuel-burning. Staff would note that in order to install a solid fuel-burning device (i.e., interior fireplace, wood burner or fireplace insert) in any structure in the Town, the Owner must have or obtain a permit from the Town.

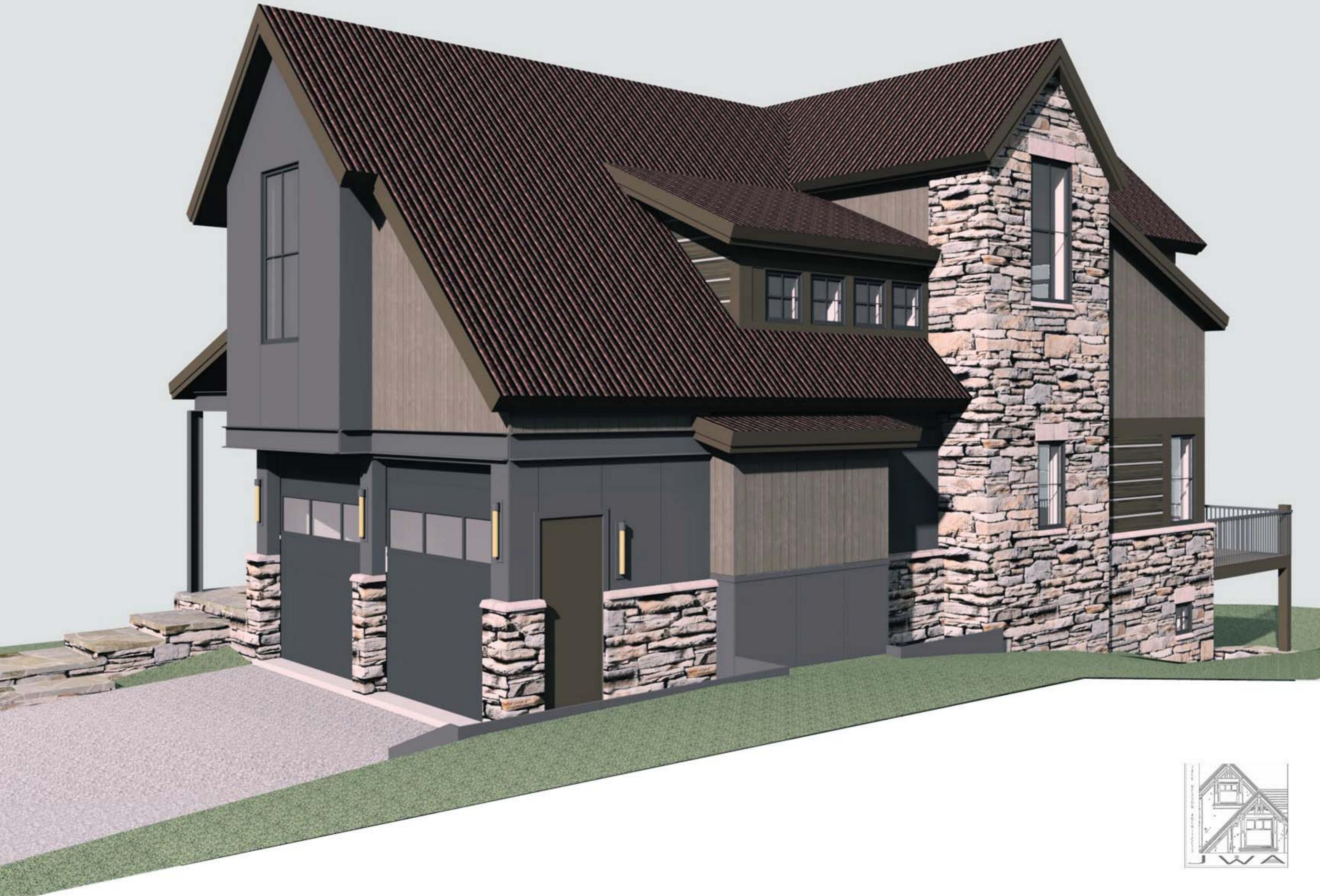
Thank you for your consideration for our application to the Design Review Board of Mountain Village for a single family residence on Lot 600BR-Mountain Village, Co.

Sincerely,

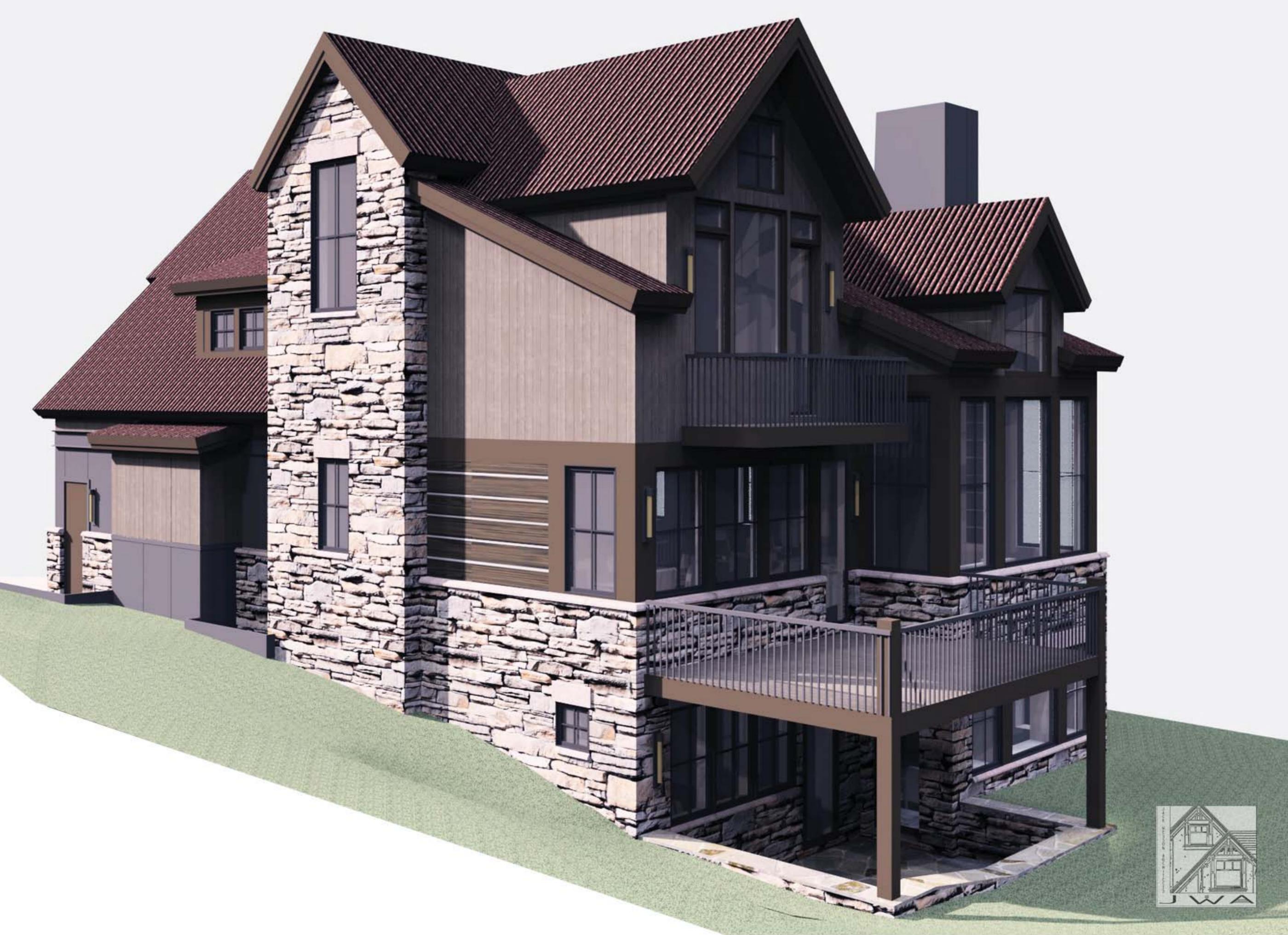
Jack Wesson  
JWA, Inc.



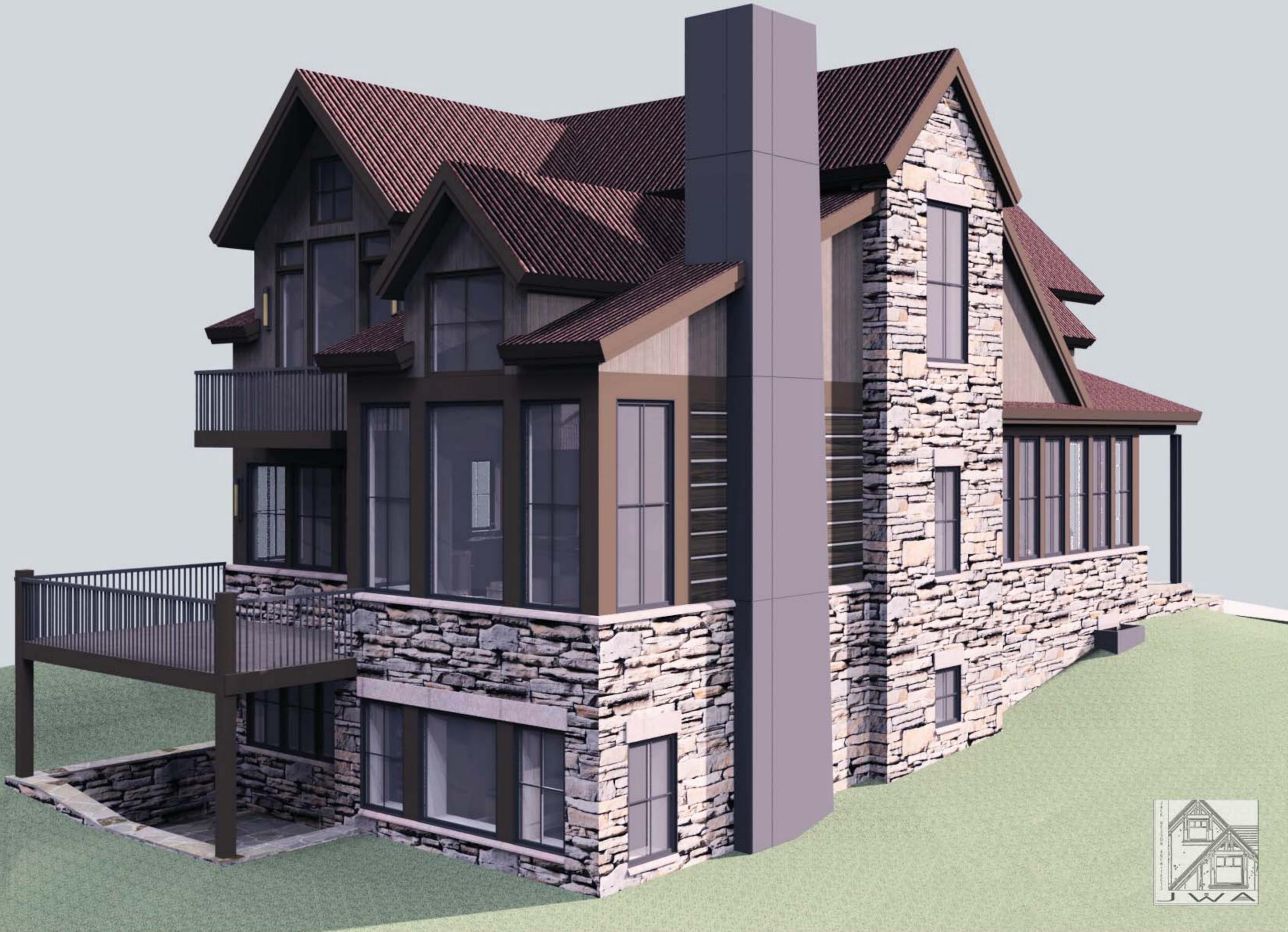
LOT 600BR-2: RENDERING LOOKING AT THE NORTHEAST CORNER



LOT 600BR-2: RENDERING LOOKING AT THE NORTHEAST CORNER



LOT 600BR-2: RENDERING LOOKING AT THE NORTHEAST CORNER



LOT 600BR-2: RENDERING LOOKING AT THE NORTHWEST CORNER

BUILDING SUMMARY	
SITE PERMIT NUMBER:	—
BUILDING PERMIT NUMBER:	—
PROJECT ADDRESS:	TRAIL'S EDGE LANE
BLOCK:	—
LOT:	600B-02
LOT AREA:	5,567 SQ. FT.
ZONING DISTRICT:	SINGLE FAMILY
PROPOSED USE:	RESIDENTIAL
NUMBER OF STORIES:	2
NUMBER OF SUB-LEVELS:	1

CODE SUMMARY	
BUILDING CODE:	INTERNATIONAL RESIDENTIAL CODE (2009) INTERNATIONAL ELECTRICAL CODE (2008) INTERNATIONAL FIRE CODE (2009) INTERNATIONAL MECHANICAL CODE (2009) INTERNATIONAL PLUMBING CODE (2009)
ENERGY CODE:	MOUNTAIN VILLAGE
TYPE OF CONSTRUCTION:	TYPE 5-B
OCCUPANCY:	R-3

### ABBREVIATIONS & SYMBOLS

WALL, BUILDING OR MISCELLANEOUS SECTION NO. DRAWING NO.	
INTERIOR ELEVATION NO. SHEET NO.	
ROOM NAME ROOM NO.	KITCHEN [206]
DOOR NO.	
ELEVATION WINDOW NO.	
FRAME WALL	
BRICK/STONE VENEER	
SPOT ELEVATION	
ROOF SLOPE	

A.B.	AS BUILT / ANCHOR BOLT	MAX.	MAXIMUM
A.C.T.	ACOUSTICAL CEILING TILE	MECH.	MECHANICAL
ADJ.	ADJUSTABLE	MFG.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	M.H.	MANHOLE
ALT.	ALTERNATE	MIN.	MINIMUM
ALUM.	ALUMINIUM	MISC.	MISCELLANEOUS
BD.	BOARD	M.L. / ML	MICRO-LAM
BLDG.	BUILDING	M.L.R./MB	MICRO-LAM BEAM
BOT.	BOTTOM	N.I.C.	NOT IN CONTRACT
BYND.	BEYOND	NO.	NUMBER
C.A.T.V.	CABLE TELEVISION LINE	N.T.S.	NOT TO SCALE
C.J.	CONTROL JOINT	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	O.P.	OUTSIDE DIAMETER
COL.	COLUMN	OPNG.	OPENING
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS	PERF.	PERFORATED
CTR.	CENTER	P.L.	PROPERTY LINE
DET.	DETAIL	P.LAM.	PLASTIC LAMINATE
DIAG.	DIAGONAL ELECTRIC LINE	POL.	POLISHED
EA.	EACH	PR.	PAIR
E.J.	EXPANSION JOINT	P.TD.	PAINTED
EQ.	EQUAL	REQ'D.	REQUIRED
EXP. JT.	EXPANSION JOINT	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
FIN.FL./F.F.	FINISHED FLOOR	SCHED.	SCHEDULE
FIN. GR.	FINISH GRADE FLOOR	SHT.	SHEET
F.S.P.	FIRE STAND PIPE	SIM.	SIMILAR
F.V.	FIELD VERIFY	SPEC.	SPECIFICATION
GA.	GAUGE	SQ. FT.	SQUARE FEET
GALV.	GALVANIZED	SQ. IN.	SQUARE INCHES
GBX.	GYPSON BOARD TYPX	STD.	STANDARD
GL.	GLASS	STL.	STEEL
GB.	GYPSON WALL BOARD	TC.	TOP OF CURB.
H.C.	HOLLOW CORE	T & G.	TONGUE & GROOVE
H.M.	HOLLOW METAL	T.O.C.	TOP OF CONCRETE
HORIZ.	HORIZONTAL	T.O.S.	TOP OF SLAB
HVAC.	HEATING VENTILATION & AIR CONDITIONING	TYP.	TYPICAL
I.D.	INSIDE DIAMETER	T.	TELEPHONE LINE
IN.	INCH / INCHES	U.B.C.	UNIFORM BUILDING CODE
INSUL.	INSULATION	U.N.O.	UNLESS NOTED OTHERWISE
JT.	JOINT	VERT.	VERTICAL
LAM.	LAMINATED	V.I.F.	VERIFY IN FIELD
LAV.	LAVATORY	WD.	WOOD

### GENERAL NOTES

GN01- CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

GN02- MATERIALS AND ASSEMBLIES: ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, O.S.H.A. REQUIREMENTS, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUB-CONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

GN03- CONTRACTOR TO REVIEW GEO-TECHNICAL REPORT FOR BUILDING SYSTEM RECOMMENDATIONS. SHOULD UNEXPECTED SITE CONDITIONS ARISE DURING EXCAVATION, THE ARCHITECT AND GEO-TECHNICAL ENGINEER SHALL BE NOTIFIED FOR A SITE EVALUATION OF EXISTING CONDITIONS.

GN04- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH THE FLOORS, CEILING AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS.

GN05- ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE GENERAL CONTRACTOR AND HIS/HER SUBCONTRACTORS. THEY SHALL BE ONE AND THE SAME.

GN06- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS AND THE CERTIFICATE OF OCCUPANCY.

GN07- THE CONTRACTOR SHALL COMPARE AND SUBMIT AS REQUIRED TO MANUFACTURERS AND OWNER ALL MATERIAL, FIXTURE AND APPLIANCE WARRANTIES.

GN08- THE JOBSITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS. THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOB SITE.

GN09- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT AND THE PROTECTION OF NEIGHBORING PROPERTIES.

GN10- THE CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.

GN11- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL NECESSARY ACCESS PANELS IN ALL PARTITIONS, FLOORS, CEILING, AND WALLS AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED FLUSH TO SURFACE WITH NO TRIM.

GN12- FOR THIS PROJECT, DATUM 100.00' IS SET AT FINISH FLOOR, MAIN LEVEL OF THE UNIT.

GN13- DATUM ELEVATIONS ARE GIVEN TO TOP OF FINISH FLOOR. ALL OTHER FINISH MATERIALS ARE ADDED TO THESE GIVEN ELEVATIONS UNLESS OTHERWISE NOTED.

GN14- DO NOT OBTAIN DIMENSIONS BY SCALING DRAWINGS - USE WRITTEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE PROJECT ARCHITECT BEFORE THE COMMENCEMENT OF WORK.

GN15- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TAKEN TO THE FOLLOWING IN ORDER OF PRIORITY:

- GRID LINES
- FLOOR LINES
- WORK POINTS
- STRUCTURAL STEEL
- FACE OF STUD
- FACE OF CONCRETE
- FACE OF FINISH

GN16- UNLESS OTHERWISE NOTED, DIMENSIONS ARE ASSUMED TO BE:

- PLUMB
- LEVEL
- SQUARE
- PARALLEL

F. TO ESTABLISHED AXES OR BASELINES AS ESTABLISHED BY DIMENSIONAL OR ANGULAR NOTATIONS

GN17- ALL GLASS MUST CONFORM TO CODE REQUIREMENTS FOR SAFETY GLAZING.

GN18- MATERIALS, WHERE REQUIRED, ARE TO HAVE AN UL LABEL IN AN INCONSPICUOUS BUT VISIBLE LOCATION.

GN19- SIZES, DIMENSIONS, LOCATIONS, AND DETAILS OF PLANTERS, TREE GATES, CONCRETE FINISH, TILE PATTERNS, GRADING, SITE LIGHTING, ETC., ASSOCIATED WITH LANDSCAPE ARE SHOWN ON LANDSCAPE DRAWINGS.

GN20- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF UTILITY LINES, AGGREGATE BASES, SPOT ELEVATIONS ETC., ASSOCIATED WITH CIVIL ARE SHOWN ON THE CIVIL DRAWINGS.

GN21- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF STRUCTURAL MEMBERS, BEAMS, SLABS, WALLS, OPENINGS, ETC., ARE SHOWN ON STRUCTURAL DRAWINGS.

GN22- SIZES, DIMENSIONS, LOCATIONS AND DETAIL OF REGISTERS, DUCTS, EQUIPMENT, WALL OPENINGS, LOUVERS, ACCESS HATCHES, EQUIPMENT CURBS, VENTS, ETC., ASSOCIATED WITH HEATING VENTILATING AND AIR CONDITIONING ARE CONTAINED ON THE MECHANICAL DRAWINGS. COORDINATE LOCATION OF REGISTERS WITH ARCHITECTURAL REFLECTED CEILING PLAN.

SITE PLAN GENERAL NOTES

SPGN01- CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS WITH EACH UTILITY AGENCY PRIOR TO EXCAVATION.

SPGN02- CONTRACTOR TO VERIFY ALL FLOOR ELEVATIONS PRIOR TO EXCAVATION.

SPGN03- CONTRACTOR TO PROTECT ALL TREES ON PROPERTY & ADJACENT PROPERTIES THAT EXTEND OVER PROPERTY LINE.

SPGN04- THE PROJECT SHALL COMPLY WITH THE TOWNS FIRE MITIGATION STANDARDS

SPGN05- THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

ITEM	Insulation Value	Total Value
FRAME WALLS AND RIM JOIST (LOG HOMES REQUIRE ENERGY ANALYSIS)	R 21	R 24
WINDOW IN FRAME WALLS AND BASEMENT	Low-E double glazed	
WALL WINDOWS TO FLOOR AREA	15% max	
DOORS IN FRAME WALLS AND BASEMENT	R 2.96	
CEILING OR RAFTERS	R 49	
AIR INFILTRATION	Prescriptive Air Sealing	
WALLS TO GARAGE OR UNHEATED BUFFER SPACES	R 19	R 21
HEATED GARAGES/SO	Same as home	
HEATED BASEMENT AREA(S) WALLS	R 15	
BASEMENT WINDOW TO FLOOR AREA	10% max	
FLOORS OVER UNHEATED SPACES	R 30	
FLOORS OVER UNVENTED SPACES WITH INSULATED WALLS	None	
CRAWL SPACE WALLS (UNVENTED)	R 21	
CANTILEVER FLOORS	R 38	R 40
SLABS IN HEATED AREAS (EXCEPT GARAGES)	R 7.5	
HEAT IN THE SLAB	R 10	
EXPOSED SLAB EDGES	R 7.5- R 10	
SLABS IN UNHEATED AREAS	0	

SPACE HEATING SYSTEM PERFORMANCE		
Gas furnaces	90% AFUE	
Gas boiler (including snow-melt boilers)	90% AFUE	
Dedicated snow-melt systems	>90% AFUE	
DUCTS:	R 5	
Inside envelope, outside conditioned space	R 8	
Outside building envelope		
WOOD-BURNING FIREPLACES/STOVES	Tight fitting enclosures	
GAS LOG SETS IN MASONRY FIREPLACES	Tight fitting doors w/ith outside Combustion air or automatic flue damper as approved by Building Dept.	
WATER HEATER PERFORMANCE		
Gas	.80 energy factor	
Electric	.88 energy factor	
HOT WATER HEATER PIPING	Heat traps	
HOT WATER PIPING IN UNCONDITIONED SPACES	1/2" w/ all closed cell foam insulation or equivalent	
SETBACK THERMOSTAT	Required (except for hydronic heat)	
AIR CONDITIONING	15.0 SEER	
AIR SOURCE HEAT PUMPS	14.0 SEER	
GROUND HEAT PUMPS	11.5 SEER	

FOOT NOTES: THE R-VALUES GIVEN ABOVE ARE THE TOTAL R-VALUES. THE R-VALUES OF DIFFERENT MATERIALS ARE ADDED TOGETHER INCLUDING AIR FILLS, AIR SPACES AND BUILDING MATERIALS. THE R-VALUE IS REDUCED BY THE EFFECTS OF THERMAL BRIDGING THROUGH FRAMING. FOR INSTANCE, UNLESS SPECIAL METHODS OR RIGID INSULATION SHEATHING ARE USED, THE R-VALUE FOR WALLS MUST BE DECREASED DUE TO THERMAL BRIDGING. MULTIPLY THE R-VALUE OF CEILING AT THE DEPTH OF THE FRAMING MEMBERS BY .94 AND THE WALL BY .87.

- ALL WINDOWS MUST DEMONSTRATE A 0.35 MAXIMUM U-VALUE (INCLUDING GLASS IN DOORS). ALL SKYLIGHTS MUST DEMONSTRATE A U-FACTOR OF 0.60 (2001 NFRC RATED AT 20 DEGREES) OR 0.45 (RES97 RATED AT 90 DEGREES). ALL WINDOWS MUST HAVE A HIGH QUALITY THERMAL ISOLATION BREAK BETWEEN THE INSIDE AND OUTSIDE FRAMES.
- ALLOWABLE PERCENTAGE OF WINDOW AREA MEASURED BY ROUGH OPENING SIZES. R-VALUE FOR WINDOWS IS A COMBINATION OF GLASS, FRAME AND SPACES COVERED BY THE NATIONAL RESEARCH COUNCIL ON NFRC. IF WINDOW AREA IS > 15% THEN THE WINDOW MUST PROVIDE A U VALUE OF 0.35 OR LOWER. BASEMENT WINDOWS WITH >10% GLAZING AREA TO EXTERIOR WALL AREA MUST PROVIDE A U VALUE OF 0.35 OR LOWER. ALL WINDOWS MUST PROVIDE AN AIR LEAKAGE MAXIMUM RATE OF 0.3 CFM PER SQUARE FOOT OF WINDOW AREA. REPLACEMENT WINDOWS SHALL MEET THE SAME CRITERIA AS THE AFOREMENTIONED.

3. ALL EXTERIOR JOINTS IN THE BUILDING ENVELOPE SHALL BE CALKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED IN AN APPROVED MANNER FOR THE PERFORMANCE APPROACH A HOME MUST ACHIEVE A HERS RATING OF 80, OR LOWER AS REQUIRED IN THE GREEN BUILDING STANDARDS FOR HOME SIZE.

4. ENTIRE UNDER SLAB AREA MUST BE INSULATED. THE SLAB EDGE PERIMETER MUST BE PROTECTED WITH INSULATION. EXTERIOR SLABS REQUIRE A MINIMUM OF R-5 BELOW SLAB AND AT ALL EDGES.

5. FOUNDATION INSULATION AND SLAB INSULATION WHERE REQUIRED SHALL COVER ALL SLAB EDGES.

6. ALL WOOD-BURNING FIREPLACES AND WOOD STOVES MUST HAVE OUTSIDE COMBUSTION AIR WITH TIGHT FITTING DOORS AND SHALL BE DESIGNED NOT TO REQUIRE INDOOR COMBUSTION AIR. WOOD STOVES MUST BE EPA CERTIFIED OR LISTED AS AN EXEMPT DEVICE.

9. VERTICAL RISERS SHALL HAVE A HEAT TRAP ON BOTH THE INLET AND OUTLET OF THE WATER HEATER. HEAT TRAPS NOT REQUIRED WITH REDUCED FLOW SYSTEMS. REDUCED FLOW PUMPS SHALL BE PROVIDED WITH TIMERS AND A MANUAL ON/OFF SWITCH.

10. ALL HEATED GARAGES SHALL BE CONSTRUCTED TO THE SAME REQUIREMENTS AS THE HOME.

11. WATER LINES MUST BE PROTECTED FROM FREEZING EXCEPT FLOORS OVER INSULATED BASEMENTS.

12. MUST BE UNVENTED AREAS WITH A TIGHT FITTING GROUND VAPOR BARRIER AND CONSTRUCTED AS CONDITIONED SPACE.

13. AN ENERGY RATING IS REQUIRED OF ALL LOG STRUCTURES. HERS RATING MUST BE 80 OR LOWER AS REQUIRED IN THE GREEN BUILDING STANDARDS FOR HOME SIZE.

14. GAP/LEAK DOORS ONLY.

15. R-VALUE OF 38 IS ALLOWED IF ENERGY-EFFICIENT TRUSSES ARE USED AND INSULATION EXTENDS OVER TOP PLATES. ENERGY HELLS ON ALL ROOF TRUSSES: 12" MIN. WHEN USING FIBERGLASS OR CELLULOSE, 7" MIN. WHEN SPRAY FOAM IS APPLIED. RECESSED LIGHT FIXTURES MUST BE "AIR-TIGHT" I.C. RATED.

16. ALL FURNACE DUCTS TO BE AIR TIGHT AND CONSTRUCTED WITH COMMERCIAL GRADE MASTIC AND FIBERGLASS MESH. DUCTS ARE TO BE SEALED SUBSTANTIALLY AIRTIGHT WITH TAPES (NOT DUCT TAPE) MASTICS OR GASKETING. FIBERGLASS DUCTS THAT EXPOSE FIBERS TO THE AIR STEAM ARE NOT PERMITTED.

GREEN BUILDING STANDARD

IN ADDITION TO THE PREVIOUSLY USED ENERGY REQUIREMENTS ALL NEW CONSTRUCTION MUST IMPLEMENT THE FOLLOWING STANDARDS

- EXTERIOR AIR-FILTRATION BARRIER
- FOAM SILL SEALER BENEATH SILL PLATES
- ENERGY HELLS ON ALL ROOF TRUSSES (12" MIN. WHEN USING FIBERGLASS OR CELLULOSE, 7" MIN. WHEN SPRAY FOAM IS APPLIED)
- TIMERS OR MOTION SENSORS ARE REQUIRED FOR BATH AND LAUNDRY EXHAUST FANS
- FORMALDEHYDE-FREE INSULATION
- CARBON MONOXIDE (HARD-WIRED) DETECTORS REQUIRED NEAR THE DOOR BETWEEN THE RESIDENCE AND THE GARAGE (IF THERE IS AN ATTACHED GARAGE) AND NEAR THE MECHANICAL ROOM. MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
- INSULATING BLANKETS REQUIRED FOR HOT WATER HEATERS
- NO HOT AIR DUCTS ALLOWED IN EXTERIOR WALLS (UNLESS R-10 INSULATION IS INSTALLED ON THE EXTERIOR SIDE OF THE DUCT)
- ATTACHED GARAGES MUST BE ISOLATED FROM THE DWELLING WITH EXTENSIVE AIR-SEALING PRACTICES
- INSULATED HEADERS, MIN R-10, WHEREVER POSSIBLE. STEEL HEADERS MUST BE PROVIDED WITH INSULATION ON BOTH THE EXTERIOR & INTERIOR SIDES OF THE STEEL.
- ALL HOT WATER RE-CIRCULATION SYSTEMS MUST BE PROVIDED WITH A TIMER OR AN AQUA STAT AND MANUAL ON/OFF SWITCH. PIPING MUST BE INSULATED (1/2" THICK WALL FOAM INSULATION MINIMUM OR EQUIVALENT).
- HOT WATER PIPING IN UNCONDITIONED SPACES REQUIRES R-6 INSULATION (BOILERS AND DOMESTIC WATER)
- MINIMUM 30-YEAR ROOF MATERIAL
- RETURN AIR DUCTS ARE REQUIRED (PANELED FRAMING CAVITIES ARE PROHIBITED)
- RANGE HOODS ARE REQUIRED AND MUST BE DUCTED TO EXTERIOR, UNLESS ALLOWED AN EXEMPTION BY THE BUILDING DEPARTMENT UNDER CERTAIN DESIGN CONDITIONS.
- WESTERN COAL FLY ASH CONCRETE MUST BE USED IN ALL CEMENT MIXES, EXCEPTION FROM THIS REQUIREMENT IS ALLOWED FOR EXTERIOR SLABS.
- PAPER COVERED OPSIM BOARD MUST BE RATED 1/2" INCH ABOVE CONCRETE SLABS.
- 3 STUD EXTERIOR CORNERS MUST BE CAPABLE OF BEING INSULATED.
- LADEE-BACKED FRAMING OR ALTERNATE MUST BE AT ALL PARTITION WALL CONNECTIONS.
- EXTERIOR WALLS OF FIREPLACES SHALL COMPLY WITH MINIMUM WALL R-VALUE, R-21
- ALL BATH OR SHOWER ROOMS SHALL HAVE AN EXHAUST FAN DUCTED TO OUTSIDE.
- SKYLIGHT SHAFTS AND KNEE WALLS MUST BE AIR SEALED AND INSULATED TO THE SAME LEVEL AS THE EXTERIOR WALLS. INSULATION ON ATTIC KNEE WALLS AND SKYLIGHT SHAFTS SHALL BE ENCASED ON ALL 6 SIDES OF THE ENCLOSURE.
- INSULATE UNDER AND AROUND BATHUBS MUST BE TO PRESCRIPTIVE CODE REQUIREMENTS.
- OPENINGS TO UNCONDITIONED SPACE MUST BE FULLY SEALED.
- CRAWLSPACE WALL INSULATION MUST BE PERMANENTLY ATTACHED TO THE WALLS. EXPOSED EARTH IN CRAWLSPACES MUST BE COVERED WITH CONTINUOUS VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED OR SEALED WITH MASTIC.
- WINDOWS & DOORS: CALKING, GASKETING, ADHESIVE FLASHING TAPE, FOAM SEALANT, OR WEATHER-STRIPPING MUST BE INSTALLED FORMING A COMPLETE AIR BARRIER.
- BAND/AN JOISTS MUST BE INSULATED AND AIR SEALED.
- RECESSED LIGHT FIXTURES MUST BE "AIR-TIGHT" I.C. RATED IN ALL BUILDING ENVELOPE CEILINGS. IF MINIMUM DEPTH OF INSULATION MUST BE MAINTAINED BETWEEN THE LIGHT FIXTURE AND EXTERIOR SHEATHING. RECESSED LIGHT FIXTURES ARE STRONGLY RECOMMENDED TO BE "AIR-TIGHT" I.C. RATED FOR INTERIOR CEILINGS TO IMPROVE AIR QUALITY AND TO REDUCE AIRFLOW THROUGH THE BUILDING ENVELOPE.
- RECESSED STEP LIGHTS ARE NOT PERMITTED IN EXTERIOR BUILDING WALLS, EXCEPT WHERE FULLY ENCASED IN STONE OR CONCRETE OR WITH SUFFICIENT REMAINING WALL INSULATION TO MAINTAIN THE REQUIRED WALL R-VALUE.

RAJON MITIGATION - ONE OF THE FOLLOWING 3 OPTIONS MUST BE COMPLIED WITH

- INSTALL A PASSIVE RAJON MITIGATION SYSTEM
- PROVIDE THE BUILDING DEPARTMENT WITH RESULTS OF A SOLS TEST INDICATING RAJON LEVELS PRIOR TO CONSTRUCTION
- THE PROPERTY OWNER (NOT CONTRACTOR, ARCHITECT, PROJECT MANAGER), IF HE WILL BE THE RESIDENT, MUST PROVIDE THE BUILDING DEPARTMENT WITH A SIGNED RAJON MITIGATION WAIVER WHICH DECLARES THE OWNER UNDERSTANDS THE PROPOSED BUILDING SITE MAY HAVE RAJON PRODUCING SOLS, BUT THE OWNER HAS DECIDED NOT TO DESIGN AND/OR CONSTRUCT A RAJON MITIGATION SYSTEM INTO THE PROJECT. VOC HOMEOWNER AWARENESS SHEET MUST BE SIGNED BY THE GENERAL CONTRACTOR AND INCLUDED IN SALE OF HOME DOCUMENTS.

SNOWMELT SYSTEM REQUIREMENTS:

- SNOW-MELT AREAS MUST NOT EXCEED 1000 SQ. FT. INCREASE IS ALLOWED FOR DEMONSTRATED GENUINE SAFETY ISSUES OR IF THE STRUCTURE ACHIEVES A 50 OR LESS HERS RATING, 30% MORE FREE SNOW-MELT AREA IS ALLOWED. REQUESTS FOR GREATER THAN 1000 SQ. FT. OF SNOW MELT MAY BE CONSIDERED AT THE DISCRETION OF THE BUILDING OFFICIAL IF ENERGY USED FOR THE SYSTEM COMES FROM ON-SITE RENEWABLE ENERGY SOURCES.
- ELECTRIC SNOWMELT IS NOT PERMITTED.
- SNOWMELT SYSTEMS MUST INCLUDE BOTH MOISTURE AND TEMPERATURE SENSORS TO CONTROL SNOWMELT OPERATION.
- IDLING SNOWMELT SYSTEMS ARE NOT PERMITTED.
- UNDER THE SLAB INSULATION OF AT LEAST R-10 IS REQUIRED.

OUTDOOR SPA AND POOL REQUIREMENTS

- NO ELECTRIC RESISTANCE HEATING
- OUTDOOR SPAS MUST BE FULLY INSULATED ENCLOSURES WITH TIGHT FITTING COVERS INSULATED TO AT LEAST R-12.
- A READILY ACCESSIBLE ON-OFF SWITCH MOUNTED ON THE OUTSIDE OF THE HEATER, THAT ALLOWS SHUTTING OFF THE HEATER WITHOUT ADJUSTING THE THERMOSTAT SETTING, IS REQUIRED FOR ALL HEATED OUTDOOR SPAS AND POOLS.
- POOLS SHALL HAVE DIRECTIONAL INLETS THAT ADEQUATELY MIX THE POOL WATER.
- AT LEAST 4" OF PIPE BETWEEN THE FILTER AND HEATER MUST BE INSTALLED TO ALLOW FOR THE FUTURE ADDITION OF SOLAR HEATING EQUIPMENT.
- AN INSULATED COVER (MINIMUM R-6) MUST BE INSTALLED ON ALL POOLS AND SPAS.

THE BUILDING MEETS A HERS RATING OF 70 OR LESS, CERTIFIED BY A HOME ENERGY RATER.

6. AN INSULATED COVER (MINIMUM R-6) MUST BE INSTALLED ON ALL POOLS AND SPAS.

THE LATEST VERSIONS OF ACCA MANUALS J AND S, ASHRAE 2001 HANDBOOK OF FUNDAMENTALS, OR AN EQUIVALENT COMPUTATION PROCEDURE, APPLICABLE ALSO TO ADDITIONS AND RENOVATIONS WHERE NEW HVAC EQUIPMENT IS INSTALLED.

- DUCT SYSTEM IS SIZED, DESIGNED, AND INSTALLED ACCORDING TO ACCA MANUAL D OR EQUIVALENT.
- DUCTS ARE SEALED WITH UL 181 TAPE, LOW-MODIC MASTIC (FDA, USDA, & EPA-APPROVED), GASKETS, OR AN APPROVED SYSTEM AS REQUIRED BY THE IRC (SECTION M601.5.1) OR IBC (SECTION 603.9) TO REDUCE LEAKAGE.
- DUCTS EXTERNAL TO CONDITIONED AIRSPACE (I.E. THROUGH CRAWLSPACE OR ATTICS) MUST HAVE INSULATION R-8 OR GREATER.
- ALL FURNACE DUCTS MUST BE AIR TIGHT AND CONSTRUCTED WITH COMMERCIAL GRADE MASTIC AND FIBERGLASS MESH. DUCTS ARE TO BE SEALED SUBSTANTIALLY AIRTIGHT WITH TAPES (NOT DUCT TAPE) MASTICS OR GASKETING.
- FIBERGLASS DUCTS THAT EXPOSE FIBERS TO THE AIR STREAM ARE NOT PERMITTED.
- HEATING APPLIANCES MUST BE 92% EFFICIENT OR GREATER.
- MULTI-BOILER SYSTEMS MUST BE PROVIDED WITH A STAGING DEVICE AND OUTDOOR RESET DIGITAL THERMOSTATS REQUIRED.
- HEATING DUCT LEAKAGE TEST REQUIRED: LEAKAGE OUTSIDE OF CONDITIONED SPACE MUST NOT EXCEED 5% OF DESIGN FLOW, WITHIN CONDITIONED SPACE 10% IS ALLOWED.
- NO "WRAP & HEAT" CONSTRUCTION PROJECTS ARE ALLOWED UNLESS: 1) RENEWABLE ENERGY IS USED AS THE HEAT SOURCE OR 2) THE BUILDING MEETS A HERS RATING OF 70 OR LESS, CERTIFIED BY A HOME ENERGY RATER.
- ENGINEERED FRAMING PRODUCTS INSTEAD OF DIMENSIONED SOLID LUMBER FOR FLOOR FRAMING, RAFTERS AND HEADERS THAT ARE LARGER THAN 2X8 MATERIAL.
- ORIENTED STRAND BOARD FOR WALL SHEATHING
- 25% OF THE EXTERIOR WALLS MUST BE PROVIDED WITH NON-WOOD SIDDING MATERIAL.

### DRAWING INDEX

ARCHITECTURAL	
A000	PROJECT DATA, DRAWING INDEX, PROJECT DIRECTORY SURVEY SURVEY REPEAT
A100	OVERALL SITE PLAN
A101	CONSTRUCTION STAGING PLAN
A102	EXTERIOR LIGHTING PLAN AND LANDSCAPE/IRRIGATION PLAN
C1	GRADING, DRAINAGE, AND UTILITY PLAN
A201	LOWER LEVEL AND ENTRY LEVEL FLOOR PLAN
A202	UPPER LEVEL PLAN AND ROOF PLAN
A300	ELEVATIONS- SOUTH AND EAST
A601	WINDOW DETAILS
A602	EXTERIOR DOOR DETAILS
A605	ROOF EAVE/FASCIA DETAILS

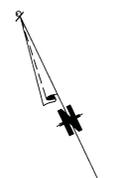
### PROJECT ELEVATION



### PROJECT DIRECTORY

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<b>STRUCTURAL ENGINEER</b> TBD		PROJECT NAME: <b>TRAIL'S EDGE 2</b> MOUNTAIN VILLAGE, COLORADO 81415 SHEET DESCRIPTION: <b>COVER SHEET</b> SHEET NUMBER: <b>A-000</b>	

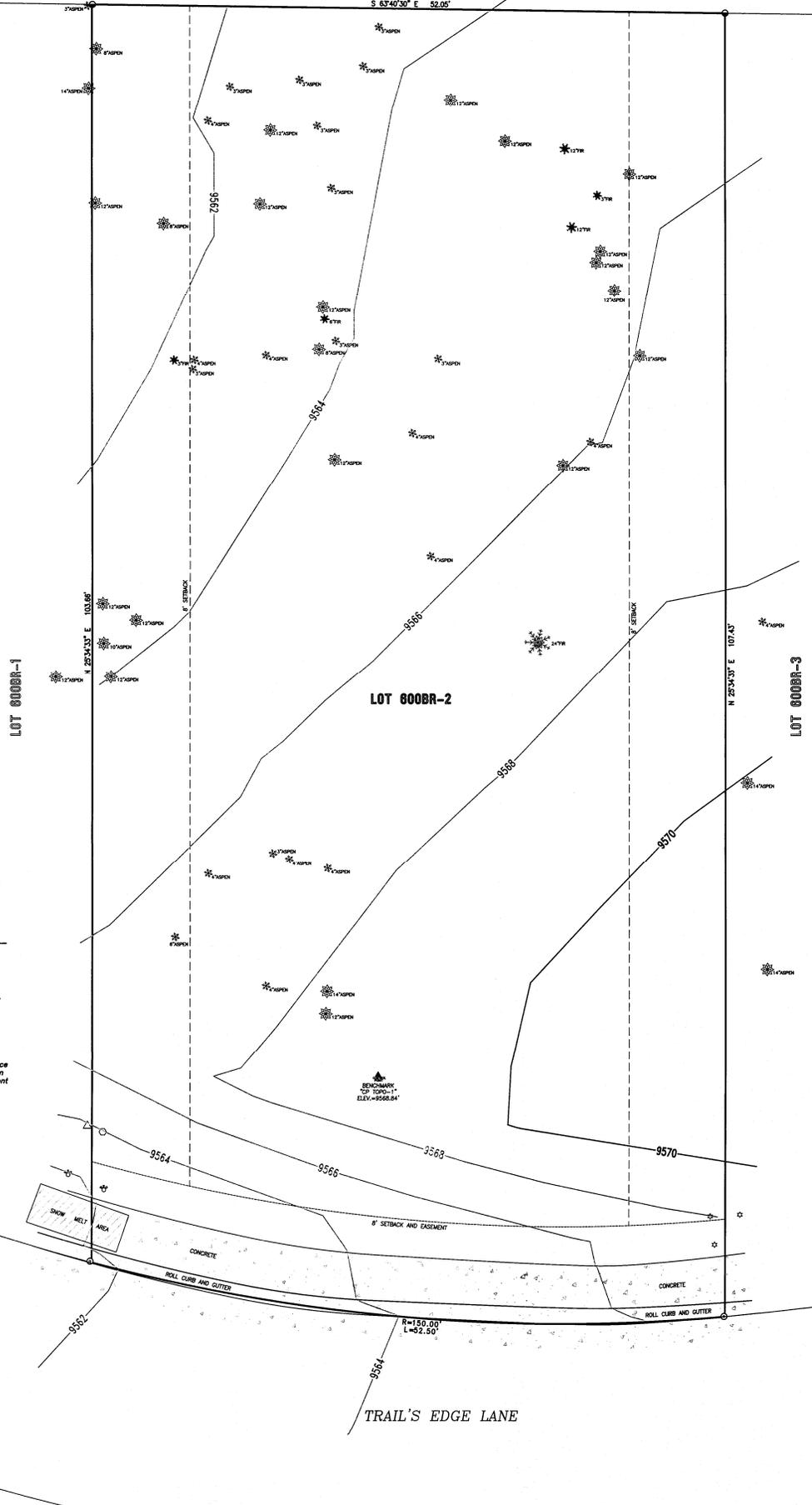
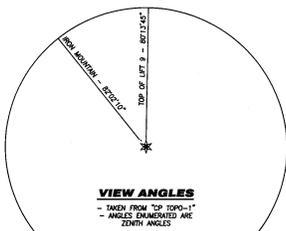
TRACT OS-5



SCALE: 1"=4'  
0 1 2 3 4

**LEGEND**

	CURB STOP
	SEWER MANHOLE
	LAMP POST
	TELEPHONE PEDESTAL
	CABLE-TV PEDESTAL
	FOUND REBAR AND 1-1/2" ALUMINUM CAP, L.S. 24854
	FOUND BRASS TAG, L.S. 24854



This topographic survey of Lot 600BR-2, Town of Mountain Village, was field surveyed on March 01, 2013 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

- NOTES:**
1. This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or assessments of record.
  2. Benchmark: Control point "TOP TOPO-1", as shown hereon, with an elevation of 9566.84 feet.
  3. Contour interval is two feet.
  4. **NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

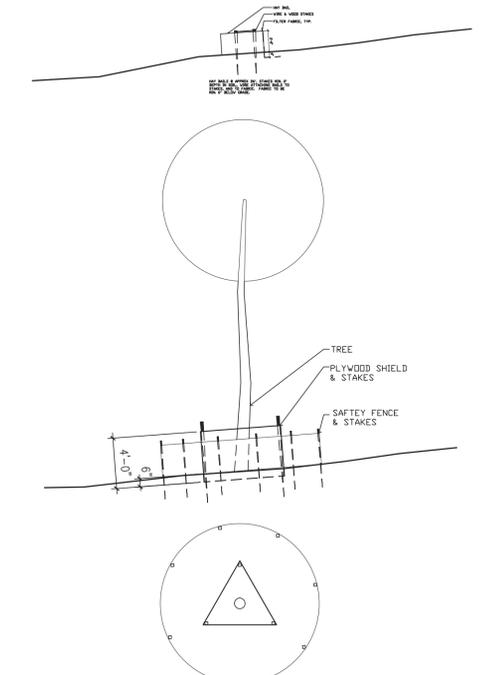
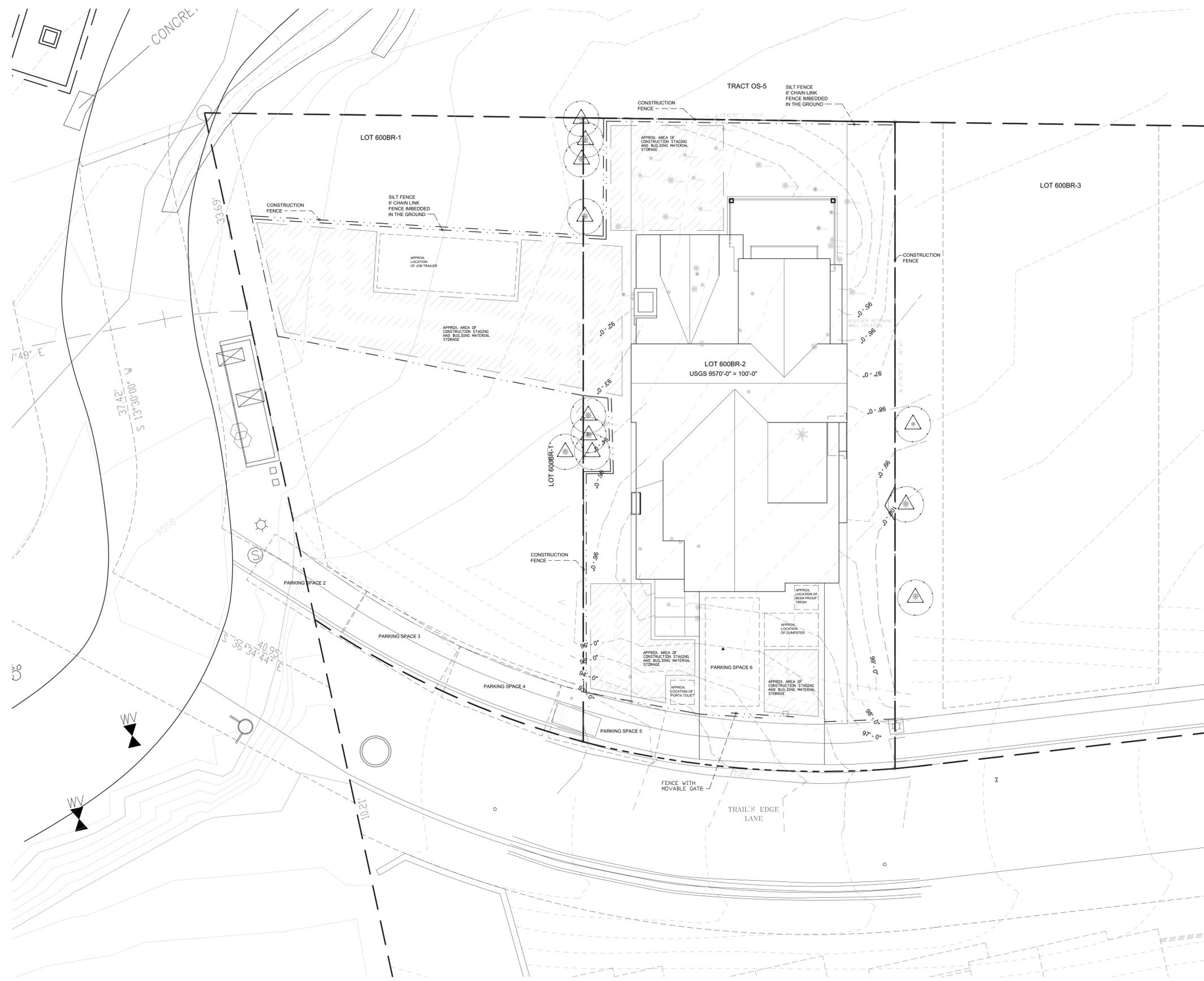
**Topographic Survey**  
Lot 600BR-2, Town of Mountain Village, San Miguel County, Colorado

Project No.:	3800000
Topographer:	MC
Technician:	
Checked by:	
Start date:	03/01/2013

**FOLEY ASSOCIATES, INC.**  
ENGINEERING PLANNING SURVEYING

970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435



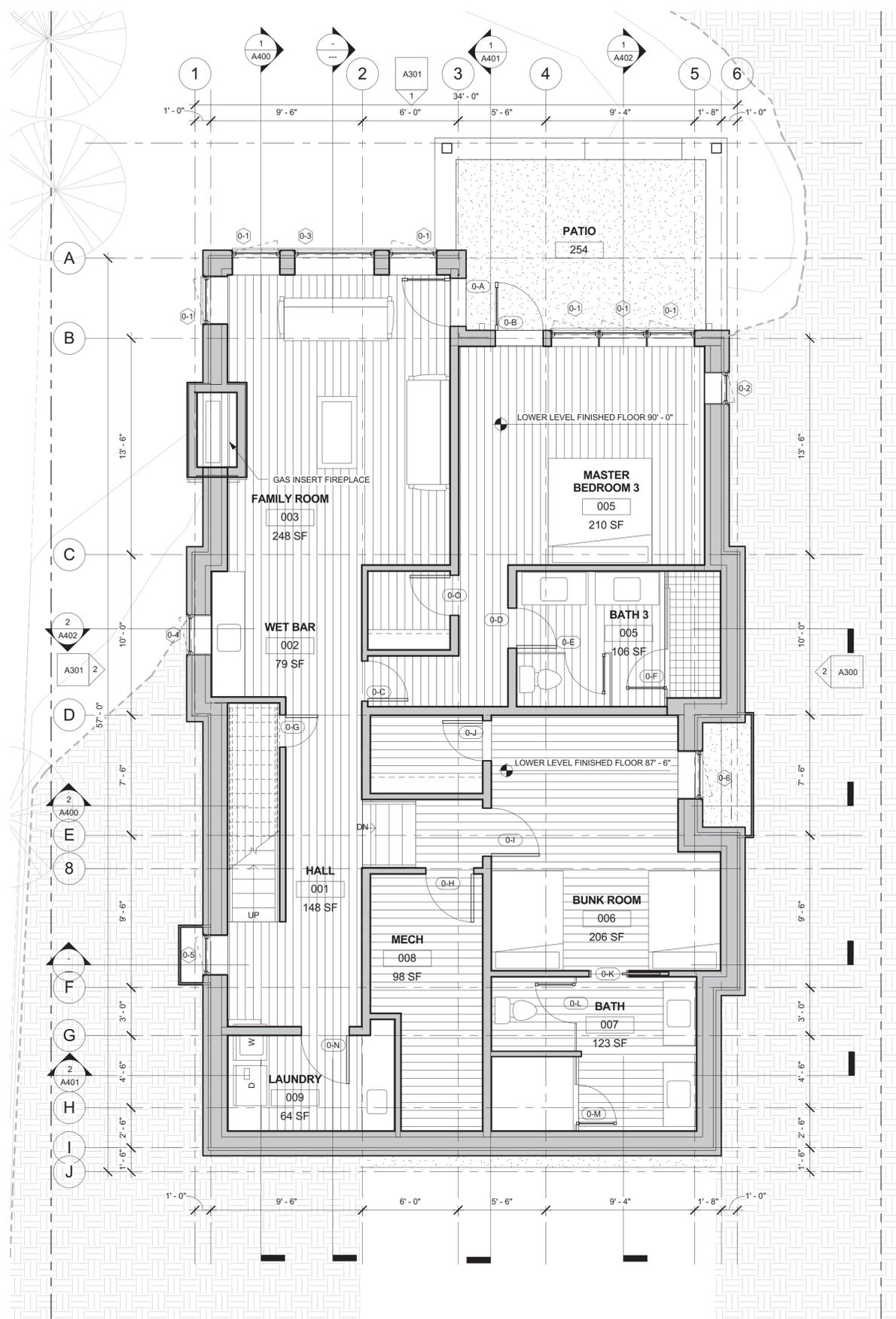


ALL ADJACENT TREES TO THE PROPERTY LINE +3" DIA. BEYOND PROPERTY LINES SHALL BE PROTECTED BY PLYWOOD SHIELD AND WRAPPED # DRIP LINE W/ MESH FABRIC AND POSTS. ALL +5" DIA. CONIFERS SHALL BE PROTECTED, AND ASPEN SAPPLINGS AVOIDED.

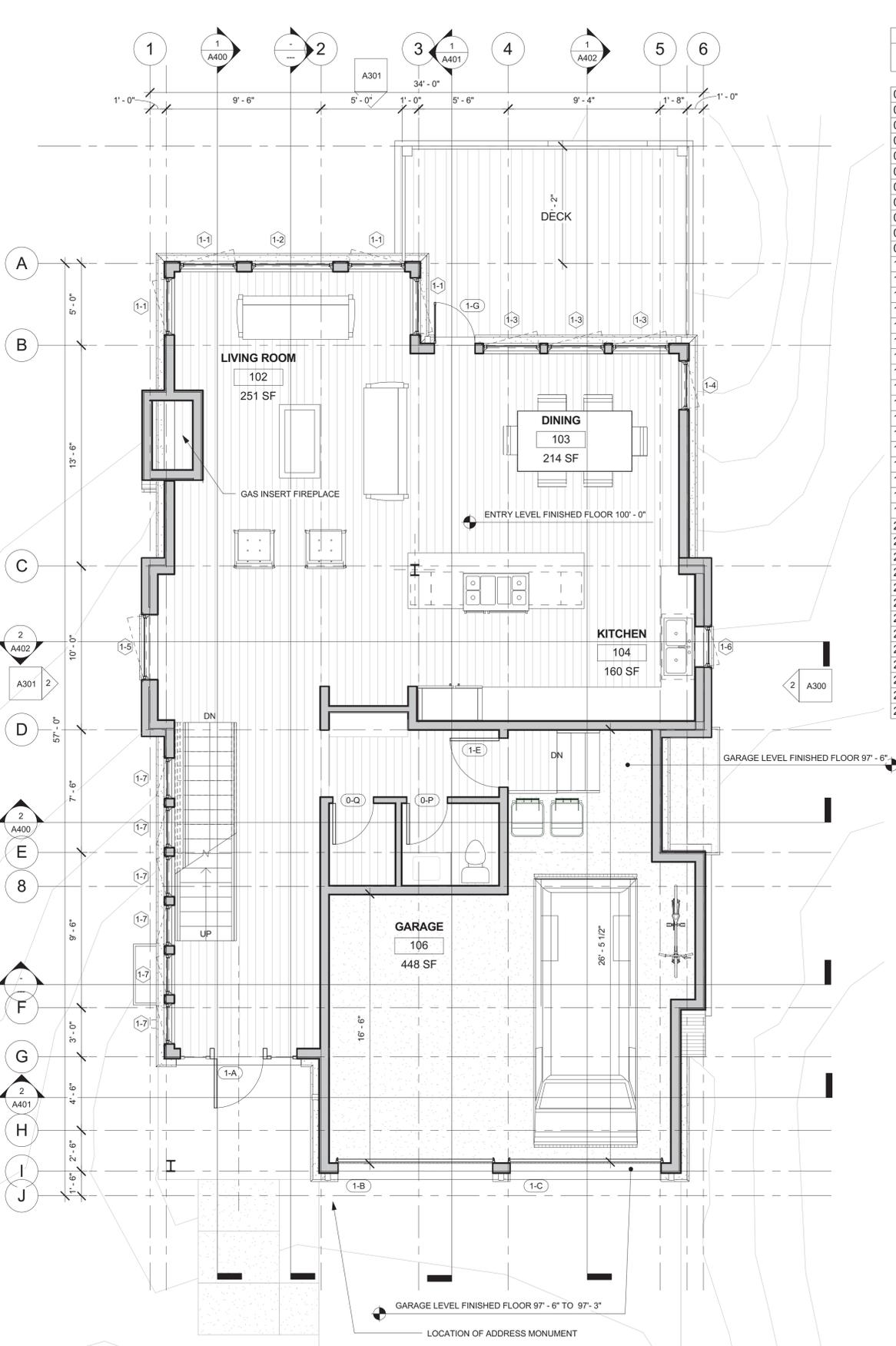
CONSTRUCTION STAGING PLAN  
SCALE: 1/8" = 1'-0"



		<b>JACK WESSON</b> <b>ARCHITECTS INC.</b> 333 WEST COLORADO AVENUE TELLURIDE, COLORADO 81435 TEL: 970.728.9755 FAX: 970.728.9724 jack@wessonarch.com www.jackwessonarchitects.com
PROJECT NAME: <b>TRAIL'S EDGE 2</b> MOUNTAIN VILLAGE, COLORADO 81435		SHEET DESCRIPTION: <b>SITE PLANS</b>
SHEET NUMBER: <b>A-101</b>		PROJECT MANAGER: DRAWN BY: REVIEWED BY: © 2008 JWA



2 A201 BASEMENT  
1/4" = 1'-0"



1 A202 ENTRY LEVEL  
1/4" = 1'-0"

Window Schedule			
Type Mark	Nominal Height	Nominal Width	Window Type
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-2	2'-0"	2'-0"	Clad Ultimate Casement
0-3	5'-0"	5'-0"	Clad Ultimate Casement
0-4	3'-0"	2'-6"	Clad Ultimate Casement
0-5	5'-0"	2'-6"	Clad Ultimate Casement
0-6	5'-6"	3'-0"	Clad Ultimate Casement
1-1	8'-6"	3'-6"	Clad Ultimate Casement
1-1	8'-6"	3'-6"	Clad Ultimate Casement
1-1	8'-6"	3'-6"	Clad Ultimate Casement
1-1	8'-6"	3'-6"	Clad Ultimate Casement
1-2	8'-6"	5'-0"	Clad Ultimate Awning
1-3	5'-6"	3'-6"	Clad Ultimate Casement
1-3	5'-6"	3'-6"	Clad Ultimate Casement
1-3	5'-6"	3'-6"	Clad Ultimate Casement
1-4	5'-6"	3'-0"	Clad Ultimate Casement
1-5	5'-0"	4'-0"	Clad Ultimate Casement
1-6	4'-8"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
2-1	4'-6"	5'-0"	Clad Ultimate Awning
2-2	1'-6"	2'-6"	Clad Ultimate Casement
2-2	1'-6"	2'-6"	Clad Ultimate Casement
2-3	3'-6"	3'-6"	Clad Ultimate Awning
2-4	7'-0"	4'-0"	Clad Ultimate Awning
2-5	5'-6"	2'-6"	Clad Ultimate Casement
2-6	8'-0"	4'-0"	Clad Ultimate Awning
2-6	8'-0"	4'-0"	Clad Ultimate Awning
2-7	7'-6"	3'-9"	Clad Ultimate Awning
2-8	2'-6"	2'-6"	Clad Ultimate Awning
2-8	2'-6"	2'-6"	Clad Ultimate Awning
2-8	2'-6"	2'-6"	Clad Ultimate Awning



**JACK WESSON**  
ARCHITECTS INC.

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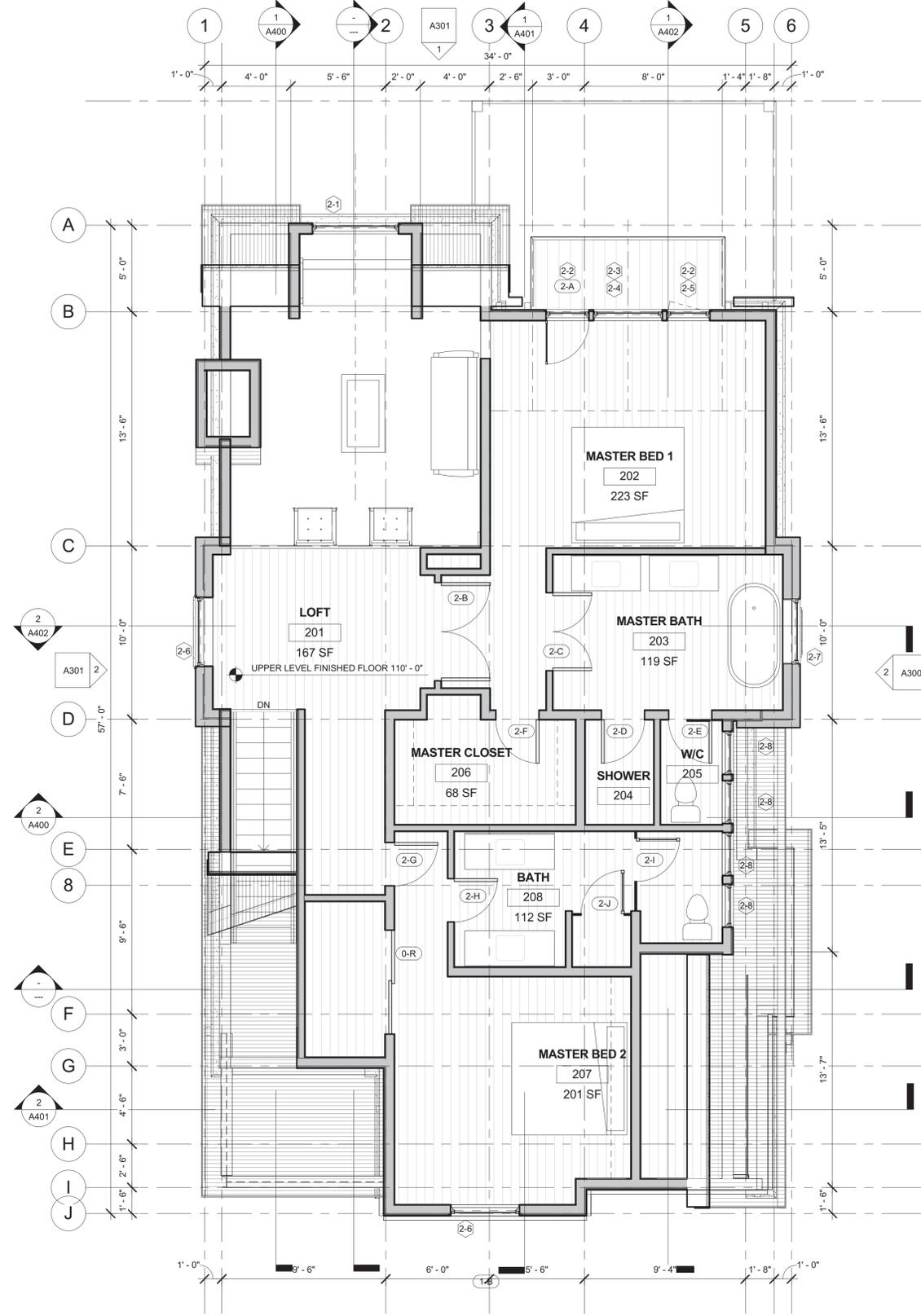
PROJECT NAME:  
**TRAILS EDGE 2**  
LOT 900BR-2  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**FLOOR PLANS**

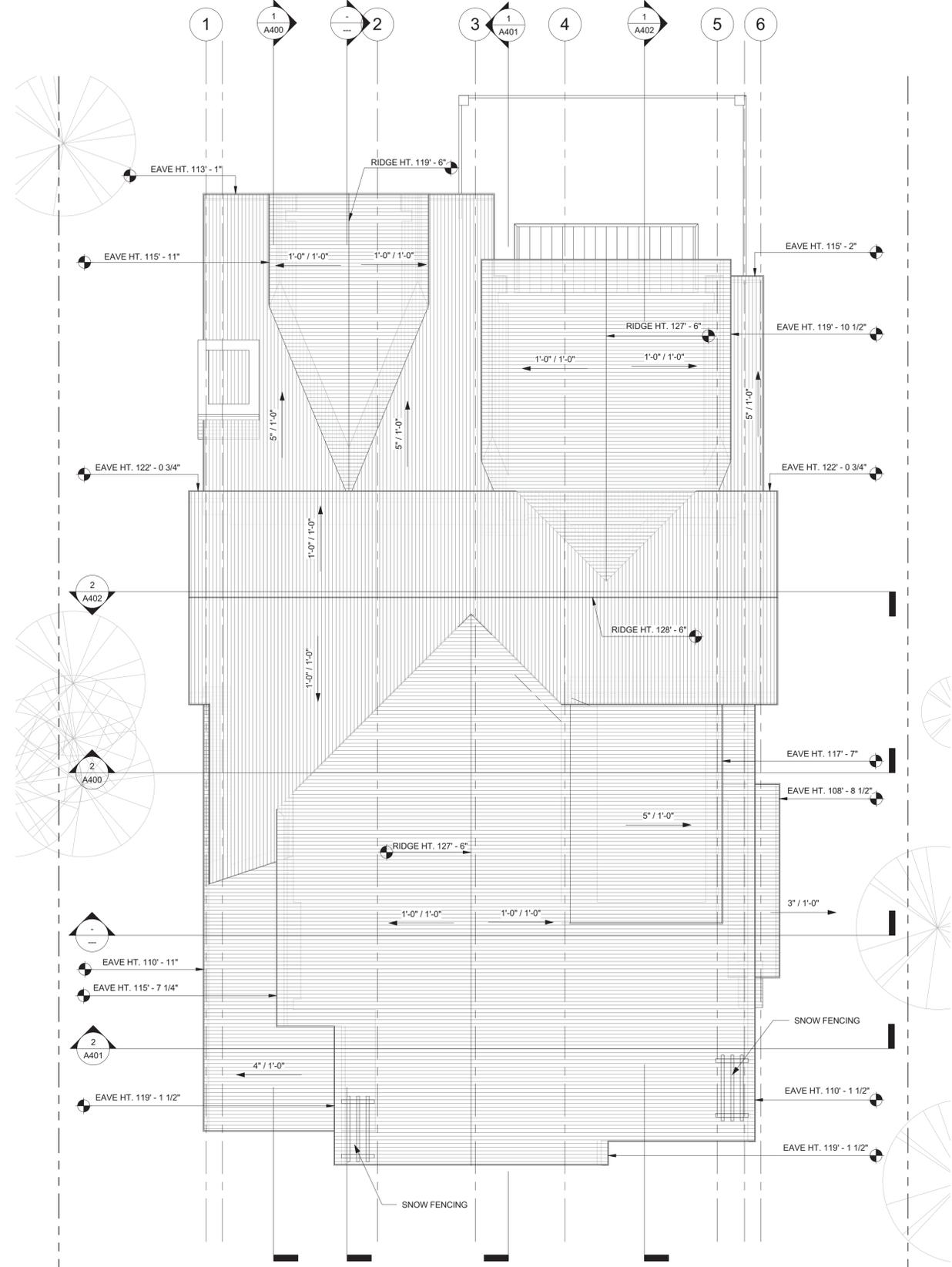
MARK	REV DATE	DESCRIPTION
11-11-15		REVISIONS
11-6-15		REVIT DRAWINGS
11-2-15		REVIT DRAWINGS

PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
2006 JWR

SHEET NUMBER:  
**A201**



1 A203 UPPER LEVEL  
1/4" = 1'-0"



2 A204 ROOF PLAN  
1/4" = 1'-0"

Door Schedule			
Mark	Width	Height	Head Height
0-A	3'-0"	8'-0"	8'-0"
0-B	3'-0"	8'-0"	8'-0"
0-C	2'-6"	8'-0"	8'-0"
0-D	2'-6"	8'-0"	8'-0"
0-E	2'-6"	8'-0"	8'-0"
0-F	2'-6"	8'-0"	8'-0"
0-G	2'-0"	8'-0"	8'-0"
0-H	3'-0"	8'-0"	8'-0"
0-I	3'-0"	8'-0"	8'-0"
0-J	2'-6"	8'-0"	8'-0"
0-K	2'-6"	8'-0"	8'-0"
0-L	2'-6"	8'-0"	8'-0"
0-M	2'-6"	8'-0"	8'-0"
0-N	3'-0"	8'-0"	8'-0"
0-O	2'-6"	8'-0"	8'-0"
0-P	2'-6"	8'-0"	8'-0"
0-Q	2'-6"	8'-0"	8'-0"
0-R	6'-0"	7'-0"	7'-0"
1-A	3'-0"	9'-6"	9'-6"
1-B	9'-6"	10'-0"	10'-0"
1-C	9'-3 11/32"	10'-0"	10'-0"
1-E	3'-0"	8'-0"	8'-0"
1-G	2'-6"	8'-0"	8'-0"
2-A	2'-6"	8'-0"	8'-0"
2-B	5'-8"	7'-0"	7'-0"
2-C	4'-6"	8'-0"	8'-0"
2-D	2'-6"	8'-0"	8'-0"
2-E	2'-6"	8'-0"	8'-0"
2-F	2'-6"	8'-0"	8'-0"
2-G	2'-6"	8'-0"	8'-0"
2-H	2'-6"	8'-0"	8'-0"
2-I	2'-6"	8'-0"	8'-0"
2-J	2'-6"	8'-0"	8'-0"



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jack@wessonarch.com  
www.jackwessonarchitects.com

PROJECT NAME:  
**TRAILS EDGE 2**  
LOT 900BR-2  
MOUNTAIN VILLAGE, COLORADO 81435

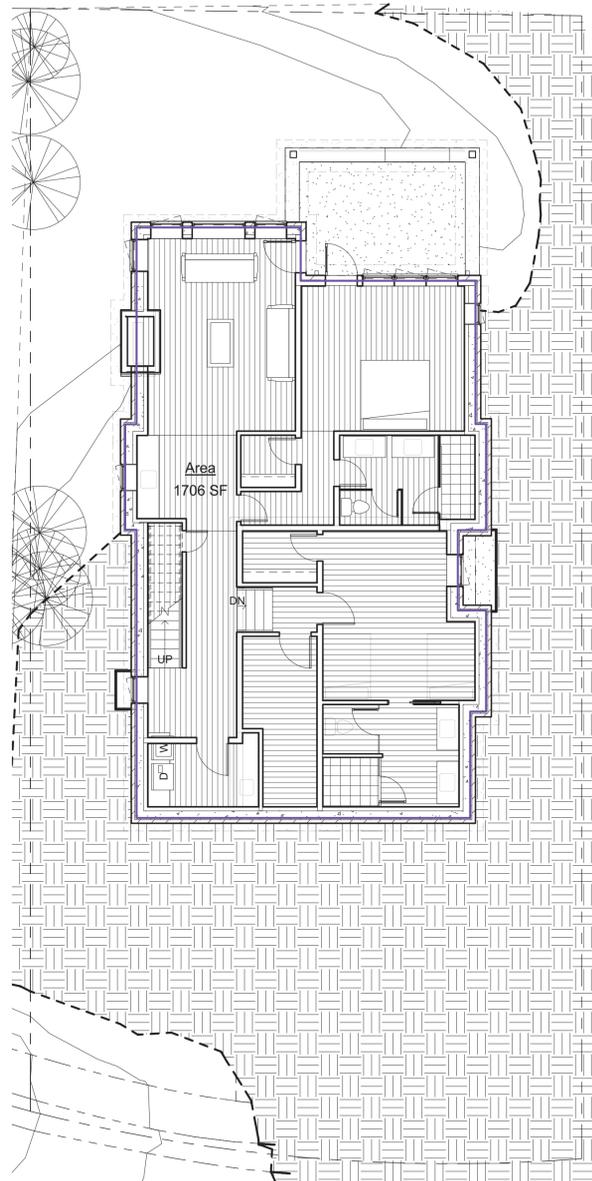
SHEET DESCRIPTION:  
**FLOOR AND ROOF  
PLAN**

SHEET NUMBER:  
**A203**

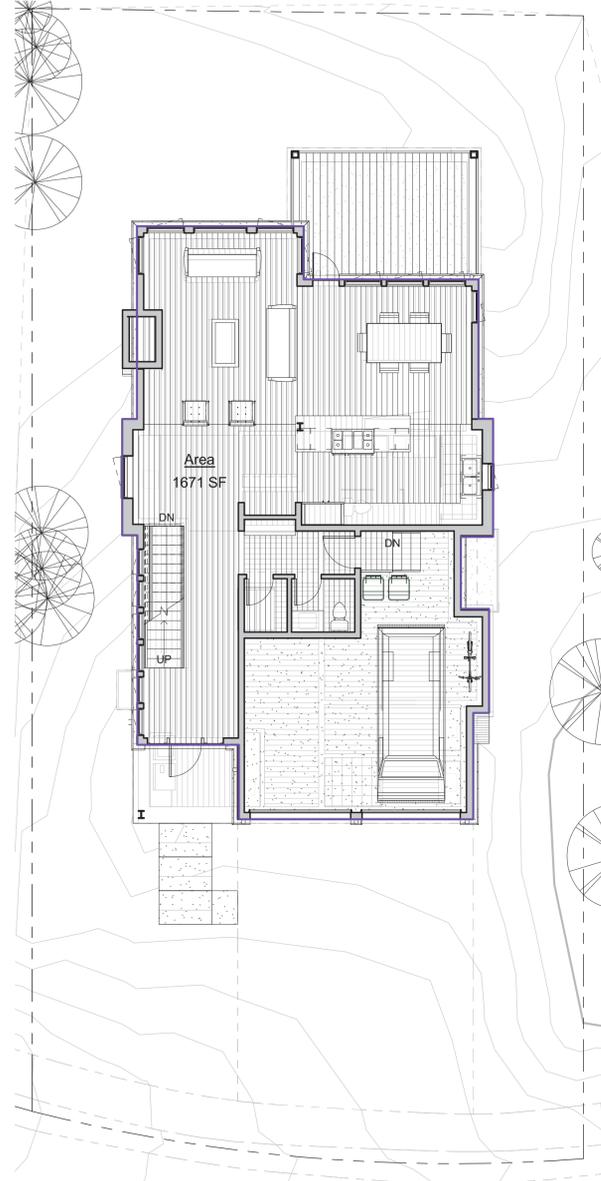
MARK	REV. DATE	DESCRIPTION
11-11-15		REVISIONS
11-6-15		REVIT DRAWINGS
11-2-15		REVIT DRAWINGS

PROJECT NAME:  
PROJECT  
MANAGER:  
DRAWN BY:  
REVIEWED BY:  
206 JWR

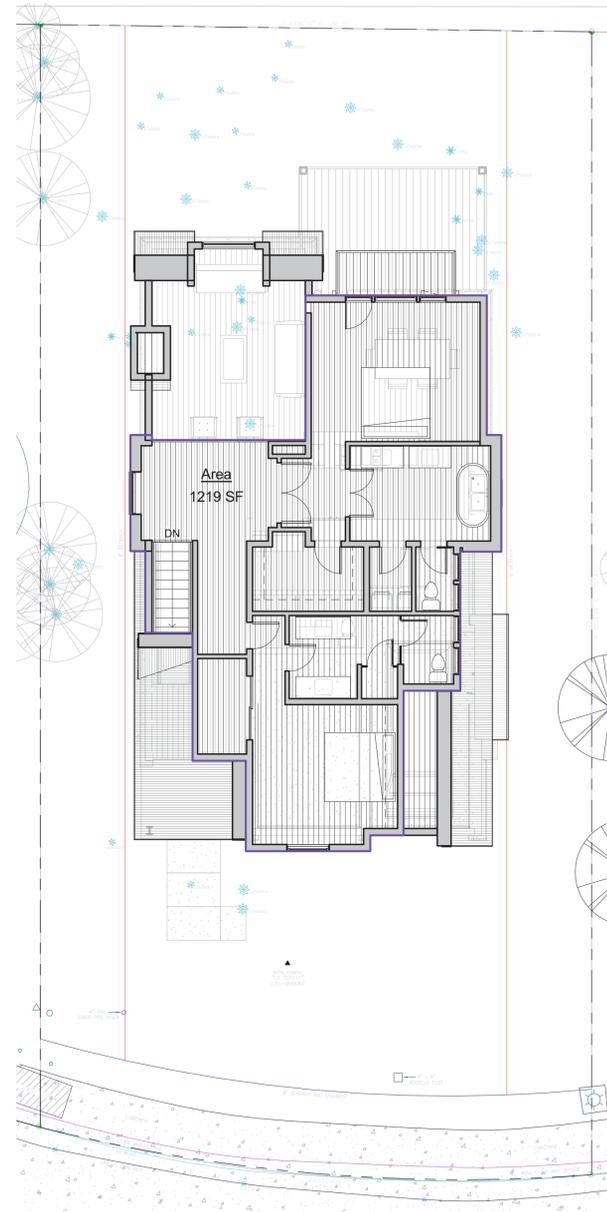
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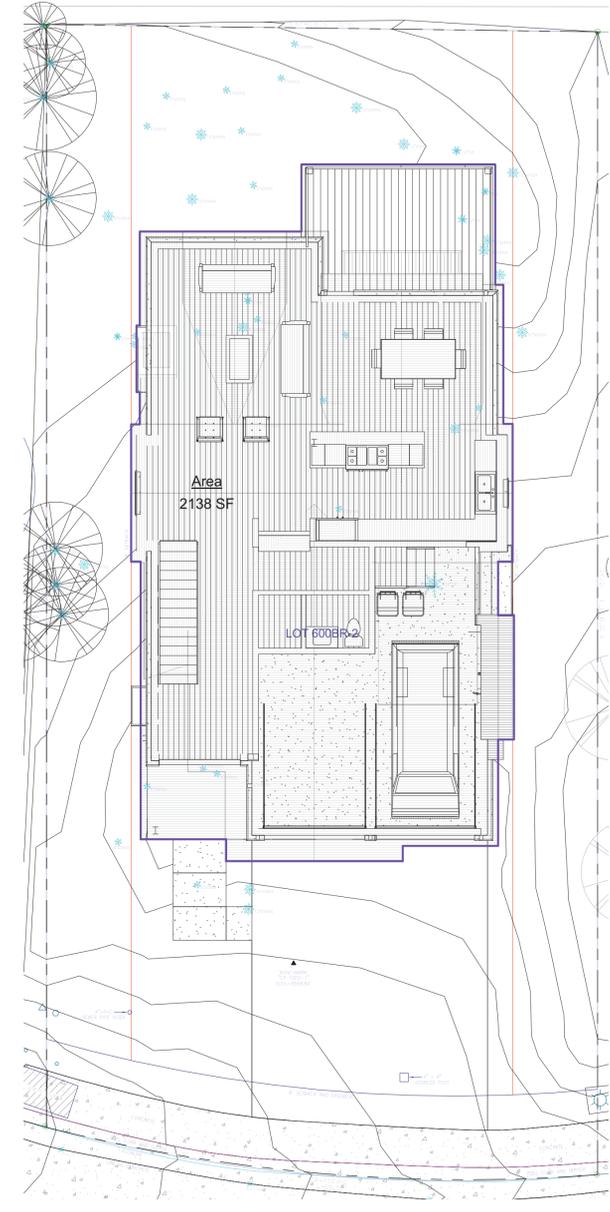
① A201 BASEMENT  
1/8" = 1'-0"



② A202 ENTRY LEVEL  
1/8" = 1'-0"



③ A203 UPPER LEVEL  
1/8" = 1'-0"



④ A204 ROOF PLAN  
1/8" = 1'-0"

BASEMENT LEVEL: 1706 SF  
 ENTRY LEVEL: 1671 SF  
 UPPER LEVEL: 1219 SF  
**TOTAL: 4,586 SF**  
 \*\*\*SQUARE FOOTAGE REQUIRES  
 A FIRE SPRINKLER SYSTEM\*\*\*

TOTAL LOT AREA: 5,567 SF  
 ALLOWABLE SITE COVERAGE (40%):  
 2,227 sf.  
 BUILDING FOOTPRINT : 2,138 SF.



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 970.728.9724  
 jack@wessonarch.com  
 www.jackwessonarchitects.com

MARK	REV DATE	DESCRIPTION

PROJECT NAME:  
 PROJECT  
 MANAGER:  
 DRAWN BY:  
 REVIEWED BY:  
 2006 JWR

PROJECT NAME:  
**TRAILS EDGE 2**  
 LOT 900BR-2  
 MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**GROSS BUILDING AREA**

SHEET NUMBER:  
**A210**





② WEST ELEVATION  
1/4" = 1'-0"



① NORTH ELEVATION  
1/4" = 1'-0"



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PROJECT NAME:  
**TRAILS EDGE 2**  
LOT 900BR-2  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**ELEVATIONS**

SHEET NUMBER:  
**A301**

MARK	REV. DATE	DESCRIPTION
11-11-15		REVISIONS
11-6-15		REVIT DRAWINGS
11-2-15		REVIT DRAWINGS

PROJECT NAME:  
PROJECT  
MANAGER:  
DRAWN BY:  
REVIEWED BY:  
2006 JWR



SOUTH ELEVATION MATERIAL STUDY

SCALE: 1/4" = 1'-0"

RIDGE HT 5  
128' - 6"

RIDGE HT 6  
127' - 6"

A203 UPPER LEVEL  
110' - 0"

A202 ENTRY LEVEL  
100' - 0"

ENTRY LOWER  
97' - 6"

A201 BASEMENT  
90' - 0"

BASEMENT LOWER  
87' - 6"



SOUTH ELEVATION MATERIAL STUDY

SCALE: 1/4" = 1'-0"

RIDGE HT 5  
128' - 6"

RIDGE HT 6  
127' - 6"

A203 UPPER LEVEL  
110' - 0"

A202 ENTRY LEVEL  
100' - 0"

ENTRY LOWER  
97' - 6"

A201 BASEMENT  
90' - 0"

BASEMENT LOWER  
87' - 6"

Elevation	Stone	Wood	Glass	Accent	Total
South	182.92	168.37	96.13	378.21	825.63
East	526.98	336.64	117.04	177.07	1157.73
North	350.33	280.72	322.91	70.27	1024.23
West	581.54	300.73	166.48	327.09	1375.84
Total	1641.77	1086.46	702.56	952.64	4383.43
Percent	37.45%	24.79%	16.03%	21.73%	100.00%



SOUTH ELEVATION MATERIAL STUDY

SCALE: 1/4" = 1'-0"

RIDGE HT 5  
128' - 6"

RIDGE HT 6  
127' - 6"

A203 UPPER LEVEL  
110' - 0"

A202 ENTRY LEVEL  
100' - 0"

ENTRY LOWER  
97' - 6"

A201 BASEMENT  
90' - 0"

BASEMENT LOWER  
87' - 6"



SOUTH ELEVATION MATERIAL STUDY

SCALE: 1/4" = 1'-0"

RIDGE HT 5  
128' - 6"

RIDGE HT 6  
127' - 6"

A203 UPPER LEVEL  
110' - 0"

A202 ENTRY LEVEL  
100' - 0"

ENTRY LOWER  
97' - 6"

A201 BASEMENT  
90' - 0"

BASEMENT LOWER  
87' - 6"

AVERAGE ROOF HEIGHT = 25' 9 1/2"



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jack@wessonarch.com  
www.jackwessonarchitects.com

MARK	REV. DATE	DESCRIPTION
	11-10-15	REMOVED GARAGE MAIN DOOR
	10-27-15	CRS APPLICATION REVISED
	10-21-15	CRS APPLICATION

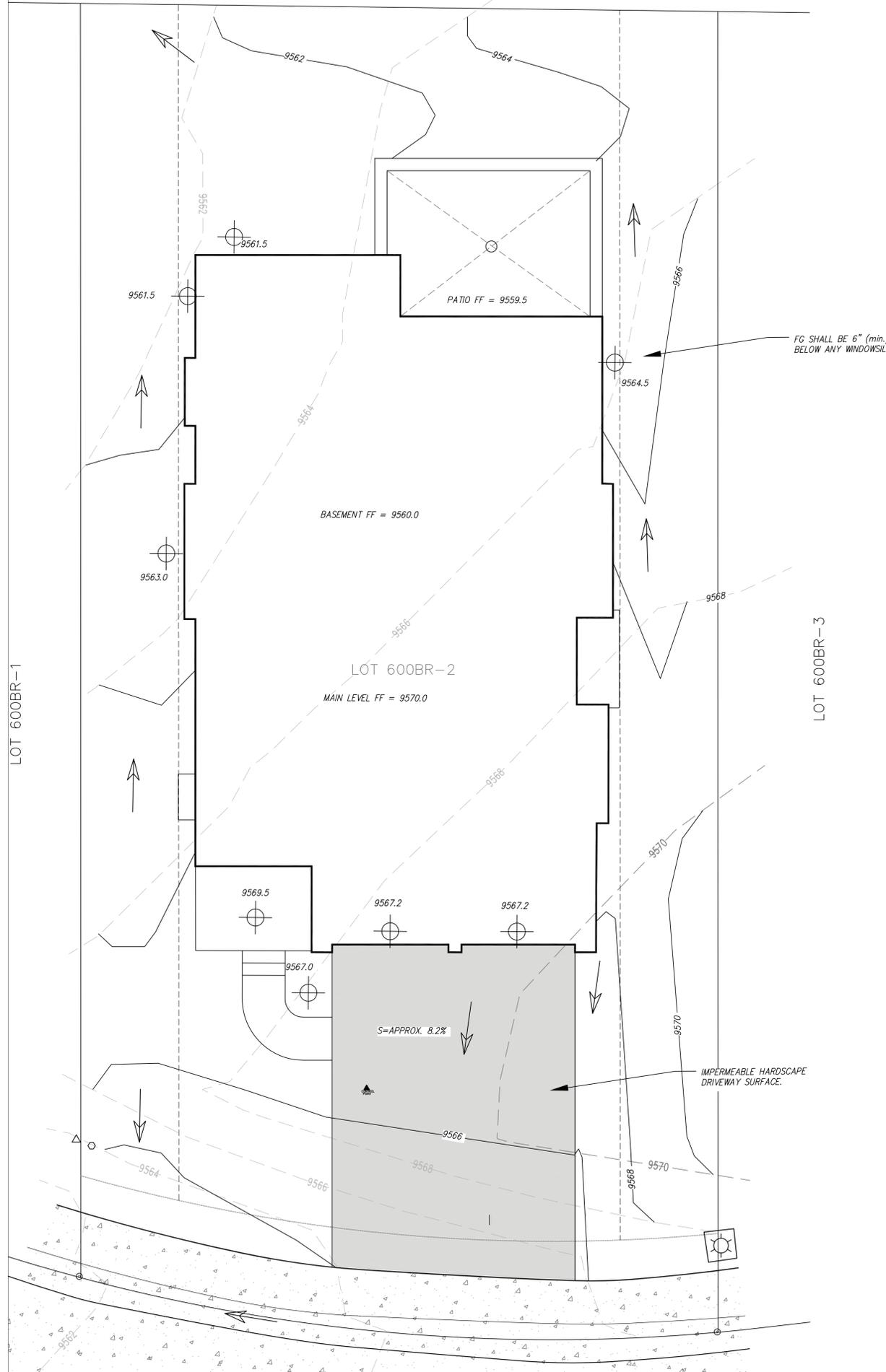
PROJECT NAME:  
**TRAIL'S EDGE 2**  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**MATERIAL AND HGT. CALCS.**

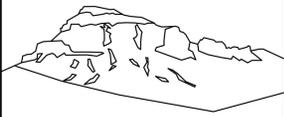
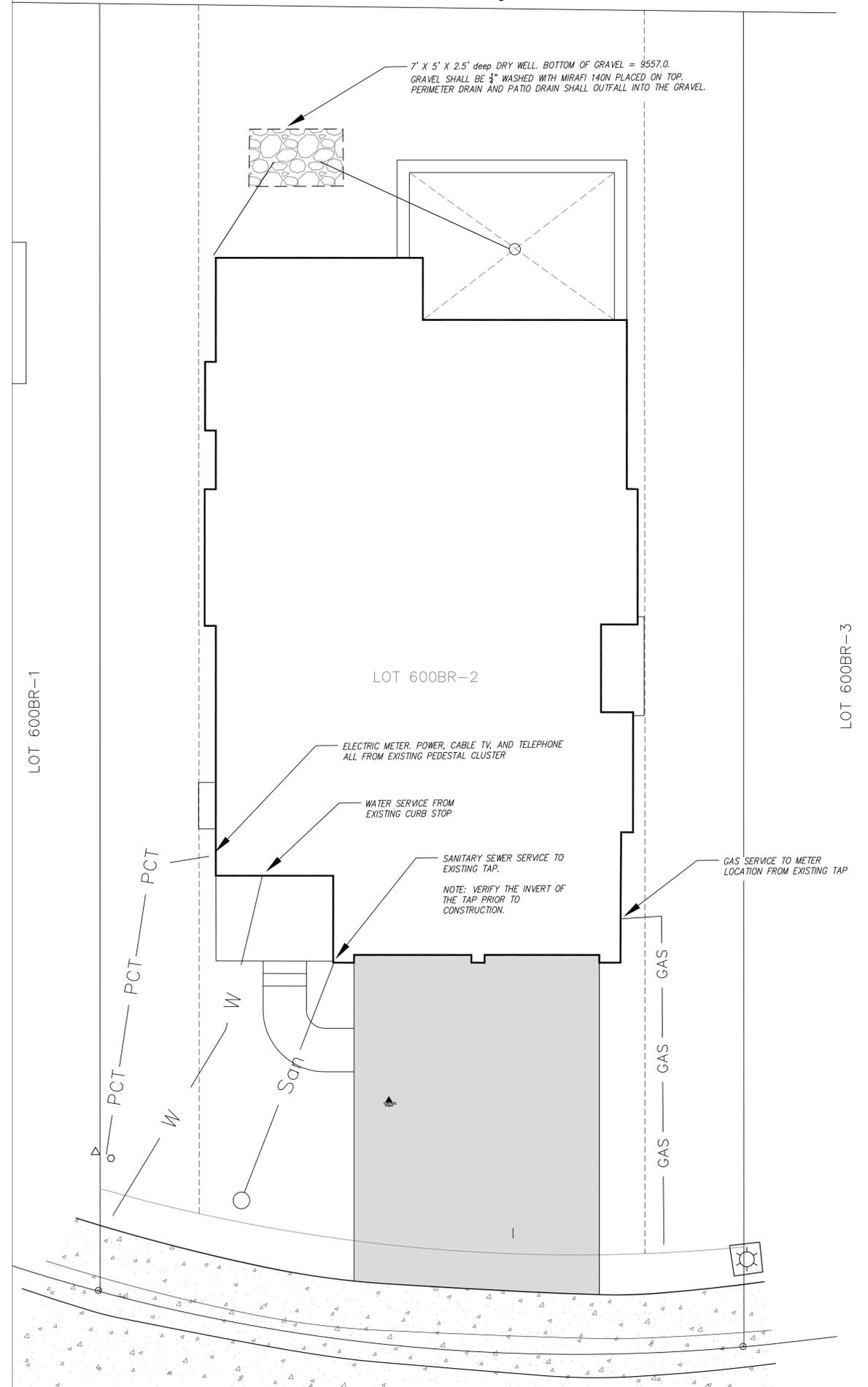
SHEET NUMBER:  
**A-305**

PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
© 2008 JWA

### Grading and Drainage Plan



### Utility Plan



**Uncompahgre Engineering, LLC**

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**  
SUBMITTAL 2015-10-21  
SIDE SETBACK CHANGES 2015-11-19

**Lot 2  
Trail's Edge  
Mtn. Village, CO**



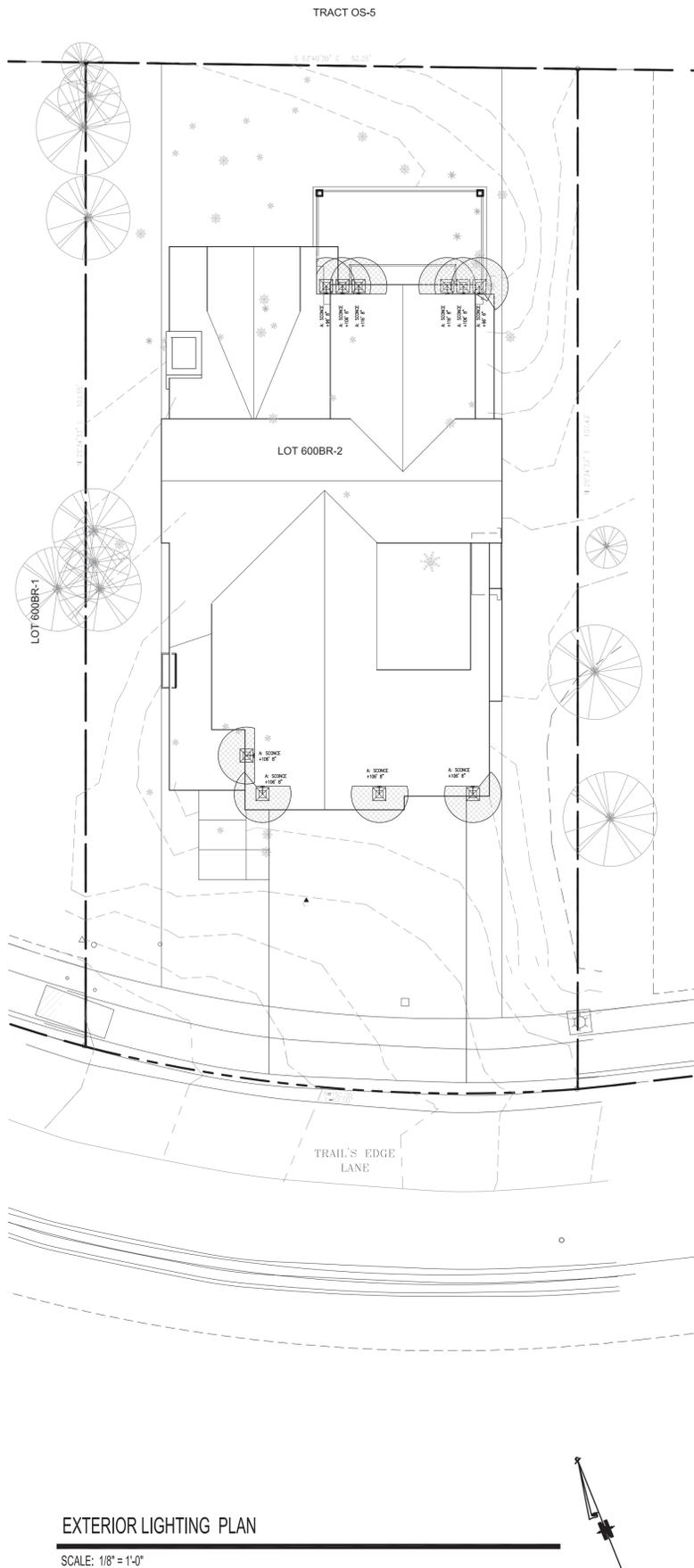
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

**Grading,  
Drainage,  
and  
Utility  
Plan**

**C1**

**LIGHTING LEGEND**

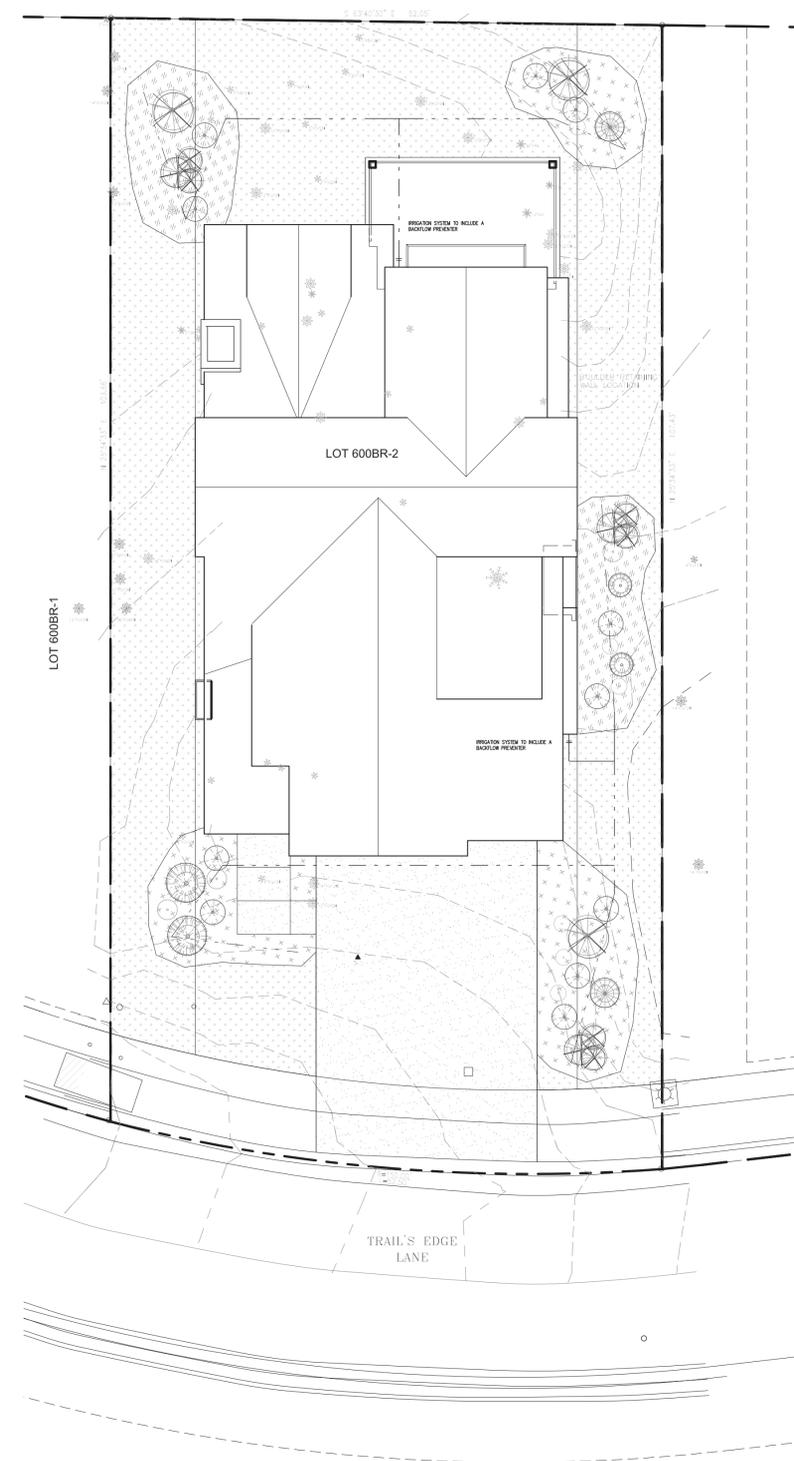
A (11) -EXTERIOR SCONCE HUBBARDTON FORGE  
 BASE ITEM NUMBER: 307920  
 BRONZE FINISH (-05) WITH STAINLESS STEEL MESH TUBE (ZK219)



**EXTERIOR LIGHTING PLAN**

SCALE: 1/8" = 1'-0"

TRACT OS-5



**LANDSCAPE AND IRRIGATION PLAN**

SCALE: 1/8" = 1'-0"

**LEGEND:**

- - - - - EXISTING CONTOUR (2 FOOT)
- - - - - EXISTING CONTOUR (10 FOOT)
- - - - - NEW CONTOUR (2 FOOT)
- - - - - NEW CONTOUR (10 FOOT)
- - - - - SEWER LINE
- - - - - WATER LINE
- - - - - ELECTRIC LINE
- - - - - CABLE LINE
- - - - - PHONE LINE
- - - - - GAS LINE

**LEGEND:**

- ⊗ 6A EXISTING ASPEN TREE (SIZE)
- ⊗ 8S EXISTING SPRUCE TREE (SIZE)
- ⊗ 10F EXISTING FIR TREE (SIZE)
- ⊗ 6A EXISTING ASPEN TREE (SIZE) TO BE REMOVED
- ⊗ 8S EXISTING SPRUCE TREE (SIZE) TO BE REMOVED
- ⊗ 10F EXISTING FIR TREE (SIZE) TO BE REMOVED
- ⊗ NEW 3" CAL. ASPEN 3
- ⊗ NEW 2 1/2" CAL. / MULTI STEM ASPEN 3
- ⊗ NEW SPRUCE TREE (8' HEIGHT MINIMUM HT.) 2
- ⊗ NEW BRISTLECONE PINE 2
- ⊗ NEW MUGO PINE 2
- ⊗ NEW 4 GAL. POTENTILLA 7
- ⊗ NEW 5 GAL. MONTGOMERY SPRUCE 3
- ⊗ NEW DOGWOOD SHRUB 11

- ⊗ NATIVE REVEGETATION SEED MIX. SEE LIST FOR COMPOSITION APPROX. 5150 SF.
- PERENNIALS AND GROUND COVER**
- ⊗ 1 COLUMBINE, SHOOTING STAR, INDIAN PAINTBRUSH, YARROW, BLUEBELL APPROX. 775 SF.
- ⊗ 2 RUSSIAN SAGE, YELLOW ROSE, DAYLILY, DELPHINIUM, BLEEDING HEART, CINQUEFOIL APPROX. 290 SF.

**WATER USAGE CHART:**

TYPE	TOTAL #	AVERAGE MONTHLY USAGE	TOTAL MONTHLY USAGE
ASPEN	6	10 GAL. EACH	60 GAL./MD.
SPRUCE/BRISTLECONE/MUGO	6	10 GAL. EACH	60 GAL./MD.
5 GAL. POTENTILLA	7	2 GAL. EACH	14 GAL./MD.
5 GAL. SHRUB	3	2 GAL. EACH	6 GAL./MD.
DOGWOOD SHRUB	11	2 GAL. EACH	22 GAL./MD.
<b>TOTAL MONTHLY USAGE</b>			<b>162 GAL./MD.</b>

\*NOTE: INSTALL RAIN SHUT-OFF DEVICE AS REQ'D BY SECTION 9-210

**IRRIGATION LEGEND:**

- ⊕ HOSE BIB
- SUPPLY LINE
- 1" DRIP SYSTEM LINE

**LIGHTING LEGEND:**

- ⊕ EXTERIOR PENDANT - 25 WATT BULB MAX.
- ⊕ EXTERIOR WALL SCONCE - 25 WATT BULB MAX.

**GENERAL NOTES:**

1. SOIL PREPARATION SPECIFICATIONS. SOIL IN REVEG. AREA WILL BE AMENDED WITH HYPERMICAL.
2. THIS LANDSCAPE PLAN COMPLES WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOxious WEEDS.
3. THE PROPERTY OWNER GUARANTEES ALL PLANT MATERIALS FOR TWO YEARS.
4. ALL TREES AND SHRUBS SHALL BE BACKFILLED WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 4" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS, SHREDED CEDAR BARK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARDS FOR NURSERY STOCK. PLANTING DETAILS FOR ROOT SYSTEMS, SOIL PREPARATION, SEEDING, MULCHING AND FERTILIZATION TECHNIQUES SHALL BE IN ACCORDANCE WITH GUIDELINES SET FORTH BY THE ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO.
8. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.

NOTE: REVEGETATION IS WILL BE NATIVE MIX

- 5% WESTERN YARROW
- 10% TALL FESCUE
- 5% ARIZONA FESCUE
- 5% HARD FESCUE
- 10% CREEPING RED FESCUE
- 15% ALPINE BLUEGRASS
- 10% CANADA BLUEGRASS
- 15% PERENNIAL RYEGRASS
- 10% SLENDER WHEATGRASS
- 15% MOUNTAIN BROME

**REVEGETATION AND EROSION CONTROL NOTES:**

1. SURFACE SURFACES SHALL BE TILLED TO A 4" DEPTH ON NON-FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE RE-VEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS BOTH-TILLED AT A RATE OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
4. NEWLY SEEDING AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRIC-MULCH AND EROSION-CONTROL NETTING.
5. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDING AREA AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW COMPOST.
7. EROSION-CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2, AND IN DRAINAGE SWALES.
8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.
9. ROAD AND DRIVEWAY SHALL BE RE-VEGETATED WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-VEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDSCAPER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.
10. EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OR RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.
11. IN AREAS THAT ARE TO BE RE-VEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SOIL SURFACES SHALL BE REWORKED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. RUNNING SLOPE EQUIPMENT ACROSS THE FACE OF A SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED.

**QUANTITY**

- 3
- 3
- 2
- 2
- 2
- 7
- 3
- 11

DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY FROM THE HOUSE AS REQUIRED BY TOWN'S ADDITIVE BUILDING CODES.

THE PROJECT SHALL COMPLY WITH THE TOWN'S FIRE MITIGATION STANDARDS.

THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.



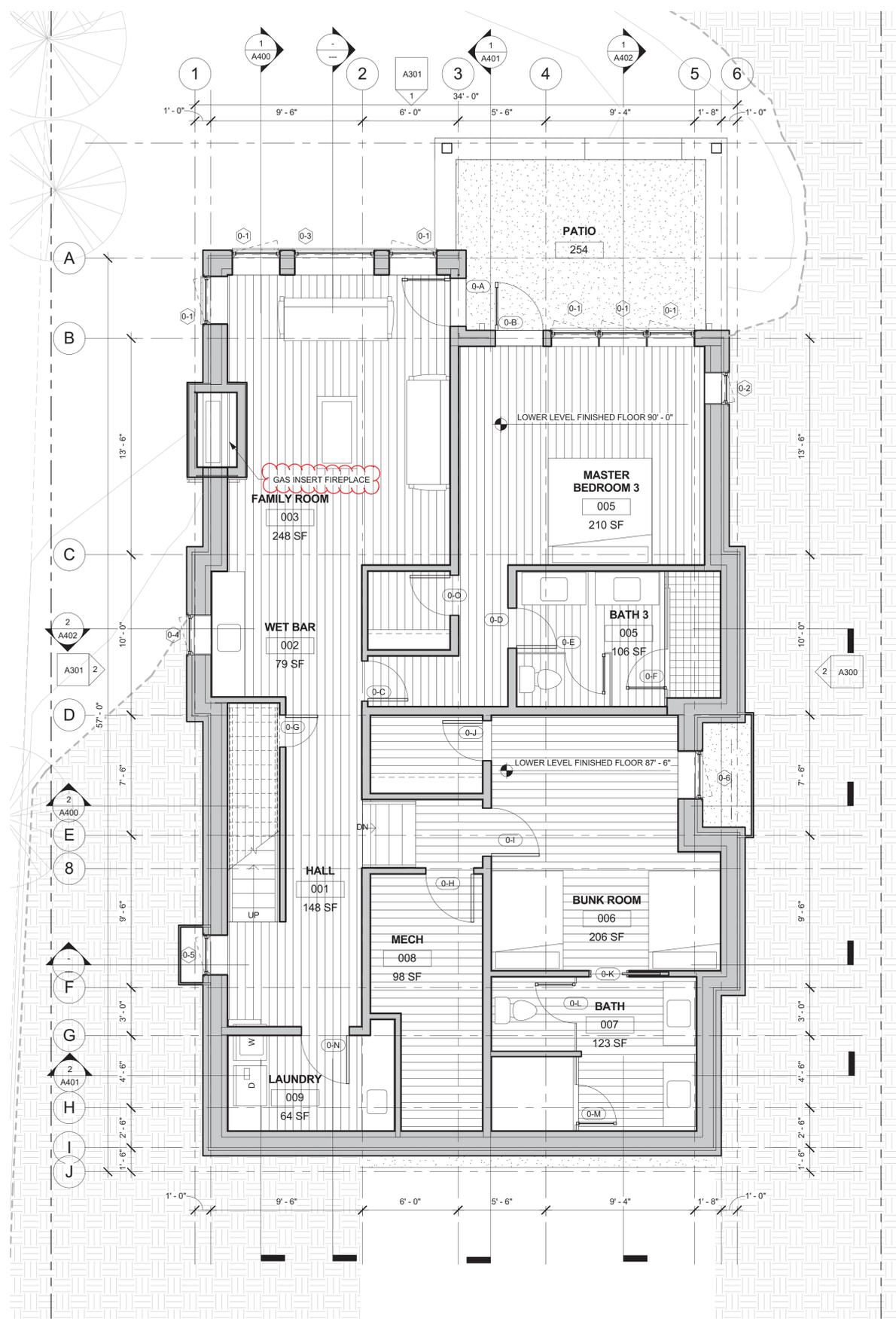
**JACK WESSON**  
**ARCHITECTS INC.**  
 333 WEST COLORADO AVENUE  
 TELLURIDE, COLORADO 81435  
 TEL: 970.728.9755  
 FAX: 970.728.9724  
 jack@wessonarch.com  
 www.jackwessonarchitects.com

MARK	REV. DATE	DESCRIPTION
11-10-15	REMOVED GARAGE MAIN DOOR	
10-27-15	DRS APPLICATION REVISED	
10-21-15	DRS APPLICATION	

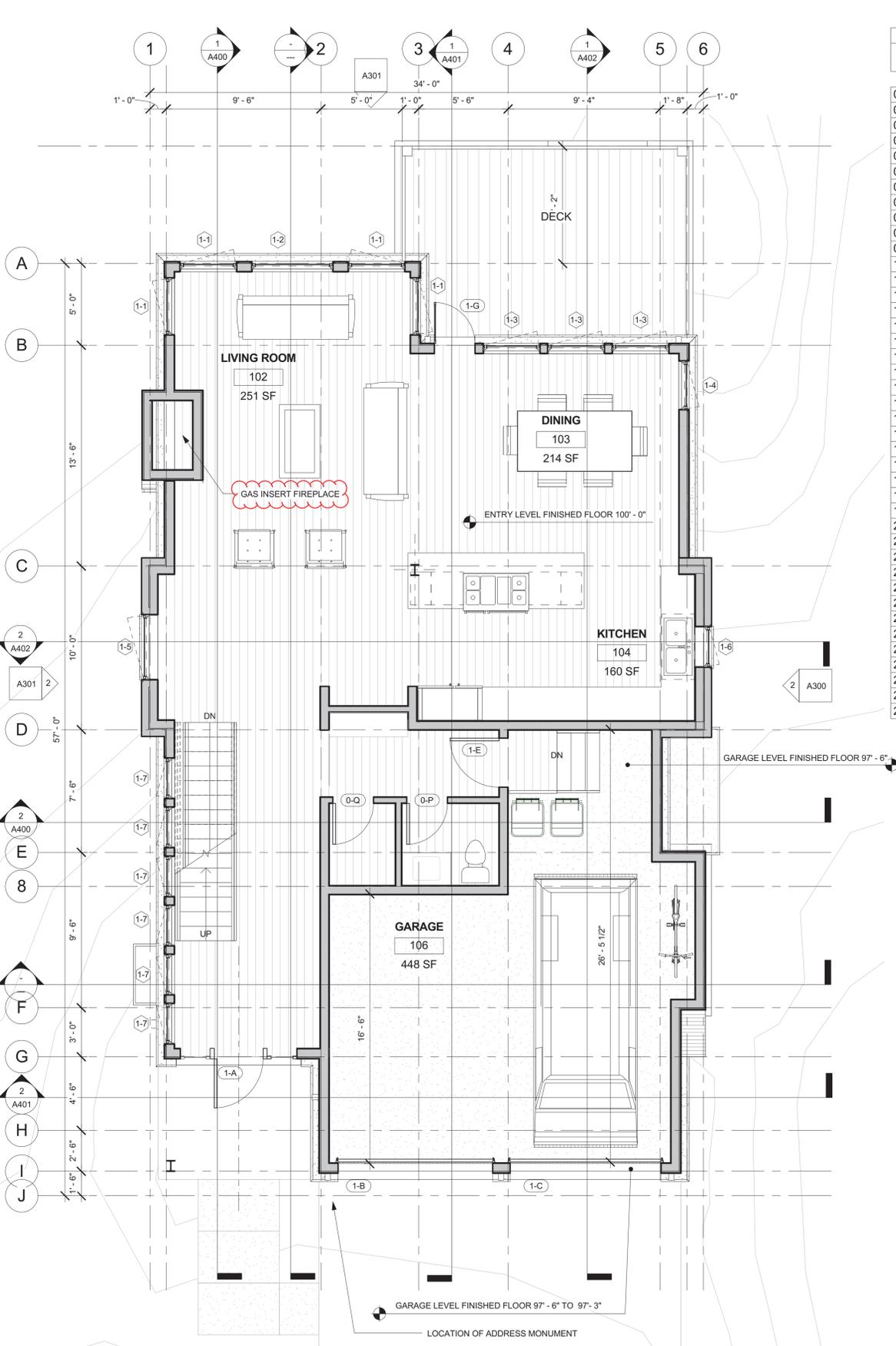
PROJECT NAME:  
**TRAIL'S EDGE 2**  
 MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**SITE PLANS**

SHEET NUMBER:  
**A-102**



2 A201 BASEMENT  
1/4" = 1'-0"



1 A202 ENTRY LEVEL  
1/4" = 1'-0"

Window Schedule			
Type Mark	Nominal Height	Nominal Width	Window Type
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-1	5'-0"	3'-0"	Clad Ultimate Casement
0-2	2'-0"	2'-0"	Clad Ultimate Casement
0-3	5'-0"	5'-0"	Clad Ultimate Casement
0-4	3'-0"	2'-6"	Clad Ultimate Casement
0-5	5'-0"	2'-6"	Clad Ultimate Casement
0-6	5'-6"	3'-0"	Clad Ultimate Casement
1-1	8'-6"	3'-6"	Clad Ultimate Casement
1-1	8'-6"	3'-6"	Clad Ultimate Casement
1-1	8'-6"	3'-6"	Clad Ultimate Casement
1-1	8'-6"	3'-6"	Clad Ultimate Casement
1-2	8'-6"	5'-0"	Clad Ultimate Awning
1-3	5'-6"	3'-6"	Clad Ultimate Casement
1-3	5'-6"	3'-6"	Clad Ultimate Casement
1-3	5'-6"	3'-6"	Clad Ultimate Casement
1-4	5'-6"	3'-0"	Clad Ultimate Casement
1-5	5'-0"	4'-0"	Clad Ultimate Casement
1-6	4'-8"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
1-7	7'-0"	2'-6"	Clad Ultimate Casement
2-1	4'-6"	5'-0"	Clad Ultimate Awning
2-2	1'-6"	2'-6"	Clad Ultimate Casement
2-2	1'-6"	2'-6"	Clad Ultimate Casement
2-3	3'-6"	3'-6"	Clad Ultimate Awning
2-4	7'-0"	4'-0"	Clad Ultimate Awning
2-5	5'-6"	2'-6"	Clad Ultimate Casement
2-6	8'-0"	4'-0"	Clad Ultimate Awning
2-6	8'-0"	4'-0"	Clad Ultimate Awning
2-7	7'-6"	3'-9"	Clad Ultimate Awning
2-8	2'-6"	2'-6"	Clad Ultimate Awning
2-8	2'-6"	2'-6"	Clad Ultimate Awning
2-8	2'-6"	2'-6"	Clad Ultimate Awning



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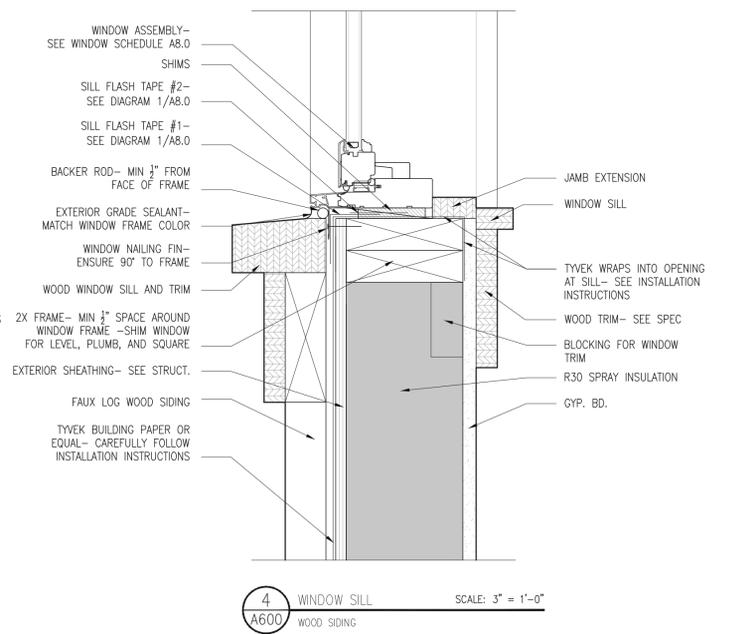
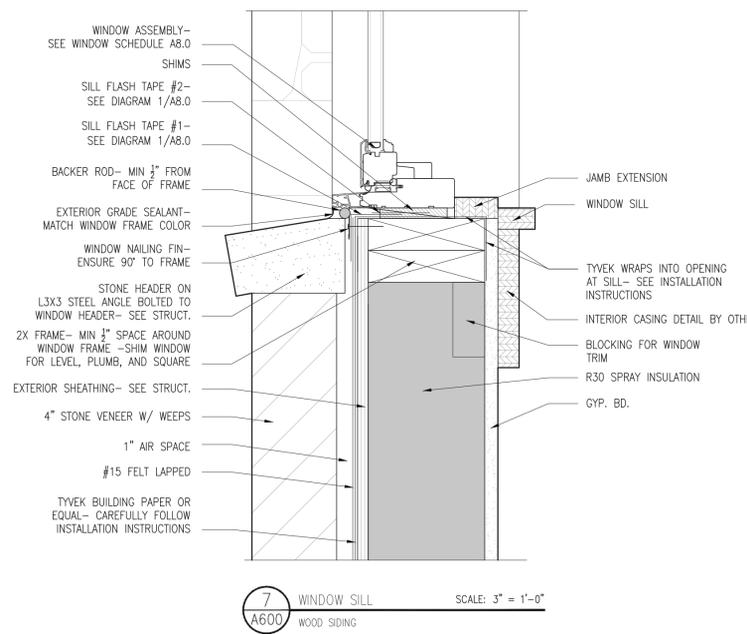
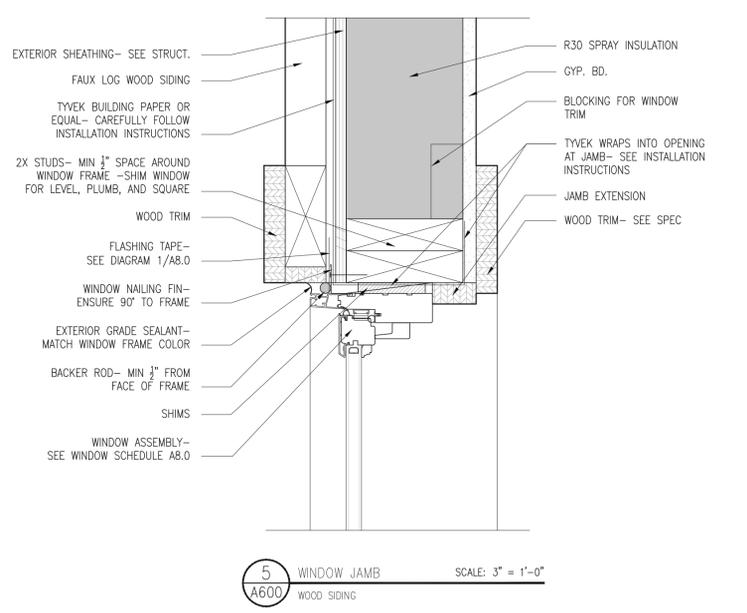
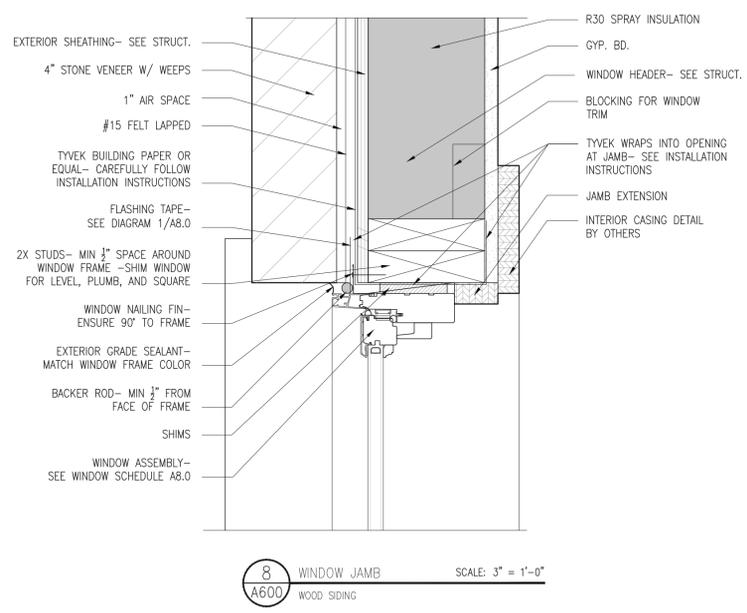
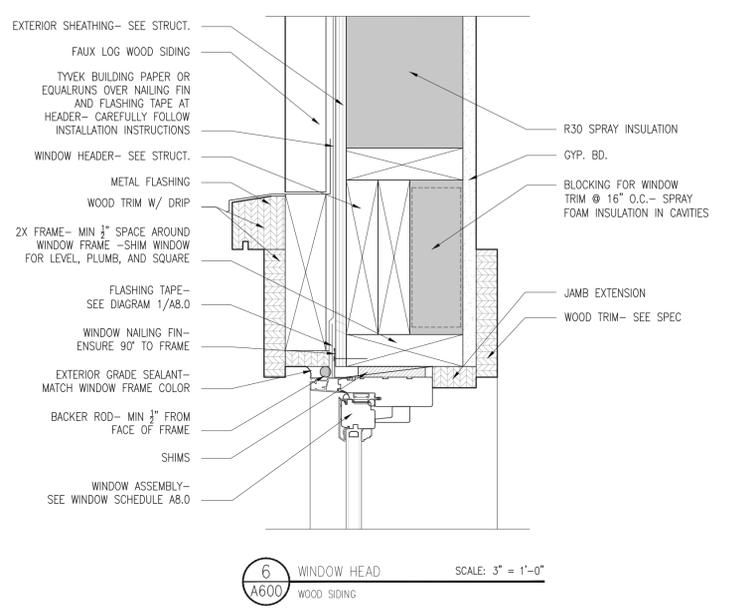
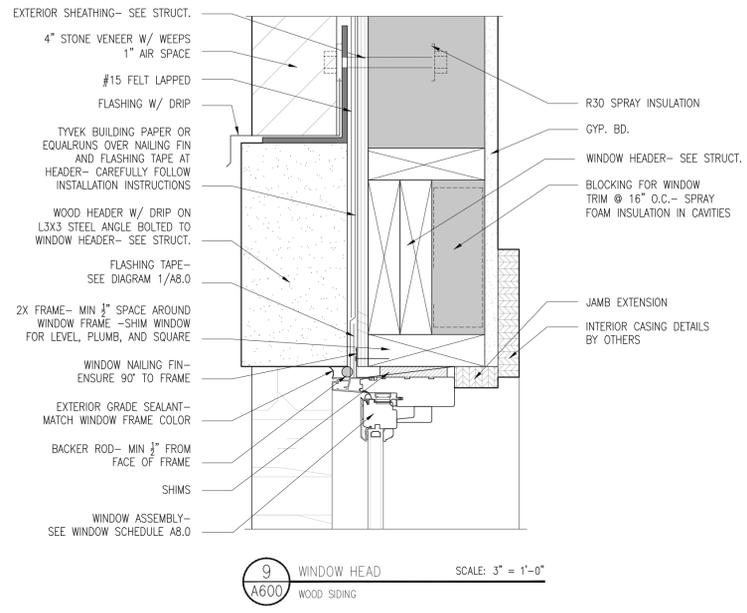
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LOT 900BR-2  
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION:  
**FLOOR PLANS**

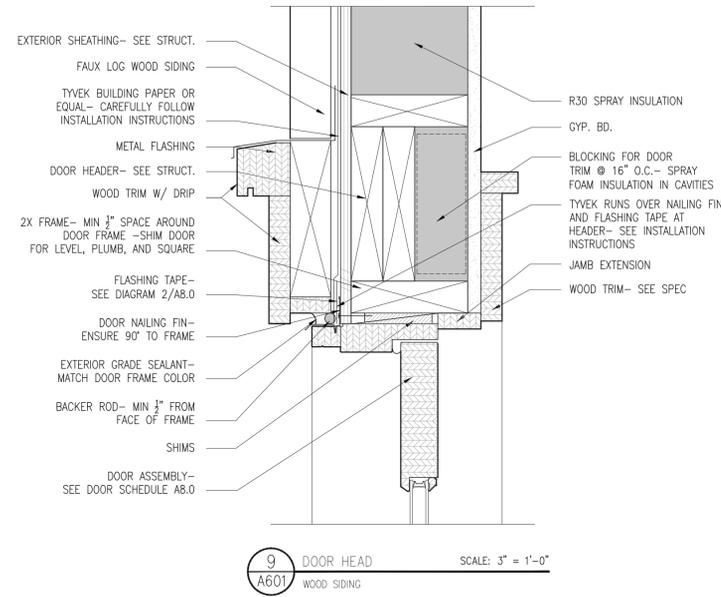
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11-11-15		REVISIONS
11-6-15		REVIT DRAWINGS
11-2-15		REVIT DRAWINGS

PROJECT NAME:  
PROJECT  
MANAGER:  
DRAWN BY:  
REVIEWED BY:  
2006 JWR

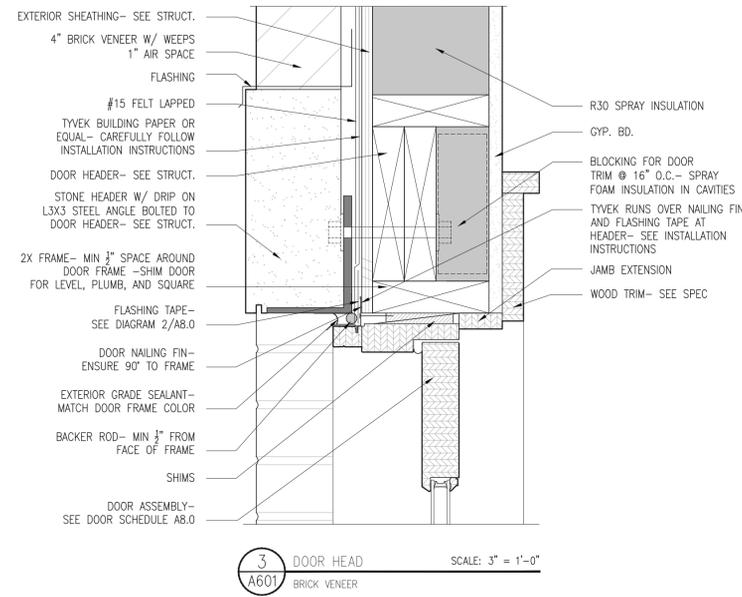
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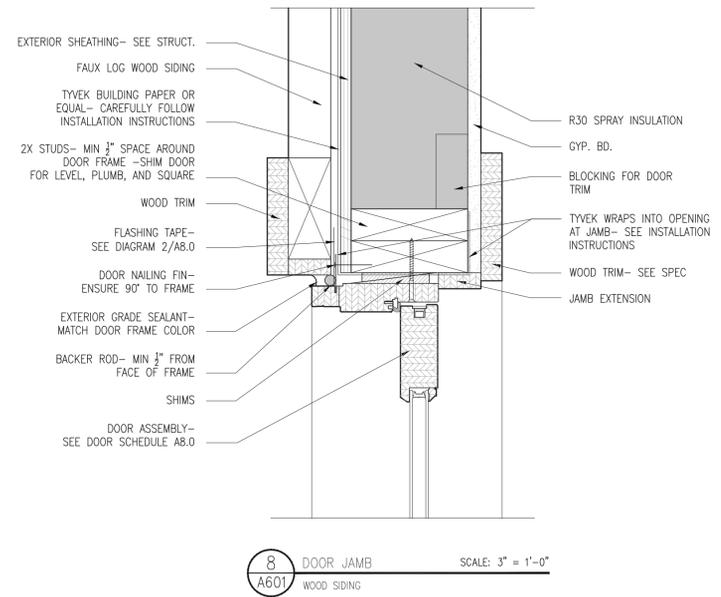
		<b>JACK WESSON ARCHITECTS INC.</b> 333 WEST COLORADO AVENUE TELLURIDE, COLORADO 81455 TEL: 970.728.9755 FAX: 970.728.9724 jwa@wessonarch.com www.jackwessonarchitects.com	
		PROJECT NAME: <b>LOT 2</b> 600R-2 TRAILS EDGE MOUNTAIN VILLAGE, COLORADO 81455 SHEET DESCRIPTION: <b>DETAILS</b> SHEET NUMBER: <b>A-600</b>	
10/21/15 MARK REV. DATE PROJECT MANAGER DRAWN BY REVIEWED BY © 2008 JWA	DRB APPLICATION DESCRIPTION		



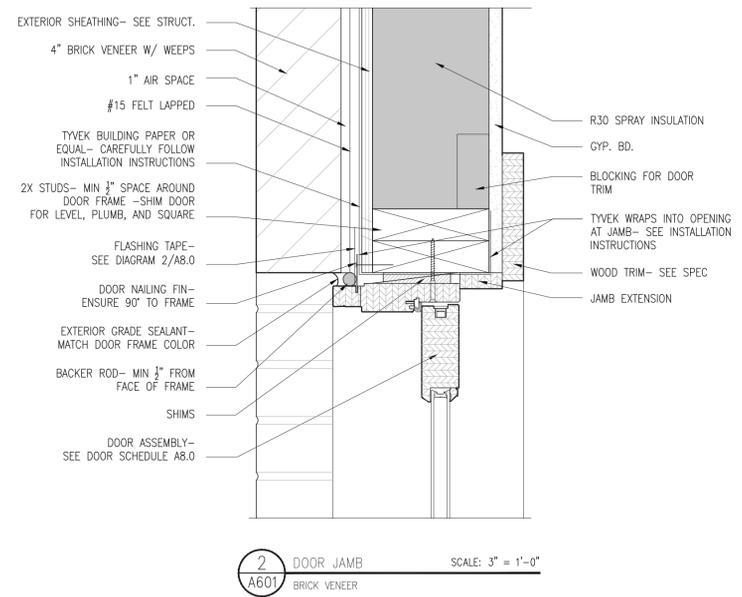
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A601 WOOD SIDING



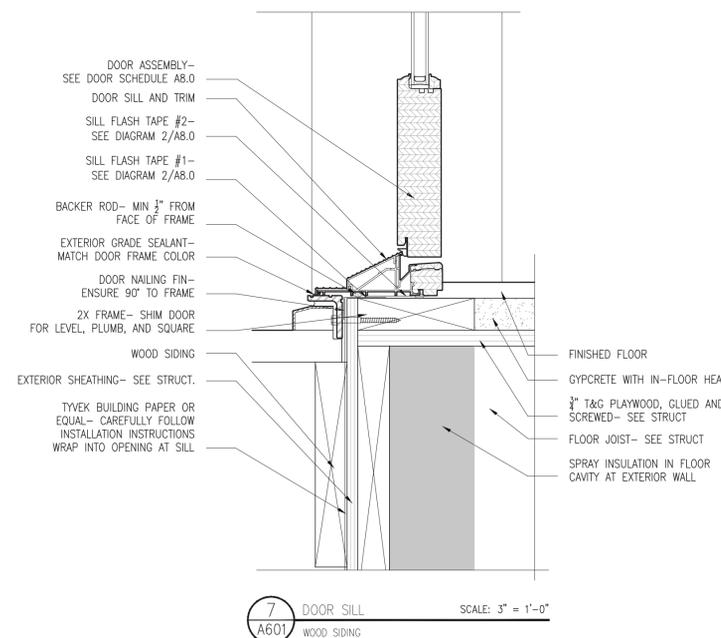
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A601 BRICK VENEER



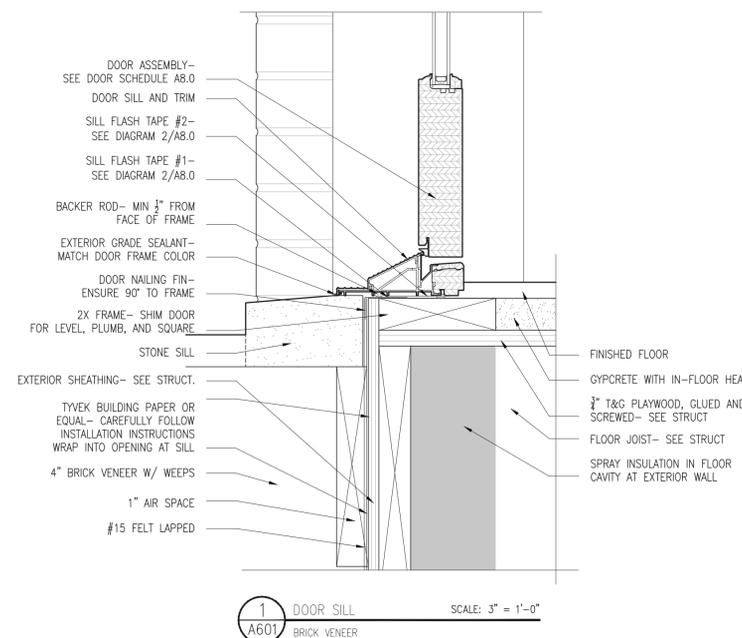
8 DOOR JAMB SCALE: 3" = 1'-0"  
A601 WOOD SIDING



2 DOOR JAMB SCALE: 3" = 1'-0"  
A601 BRICK VENEER



7 DOOR SILL SCALE: 3" = 1'-0"  
A601 WOOD SIDING

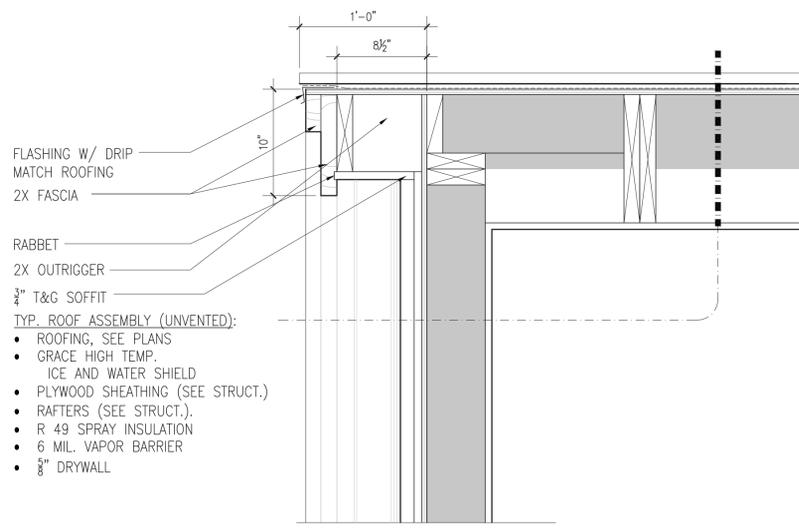


1 DOOR SILL SCALE: 3" = 1'-0"  
A601 BRICK VENEER

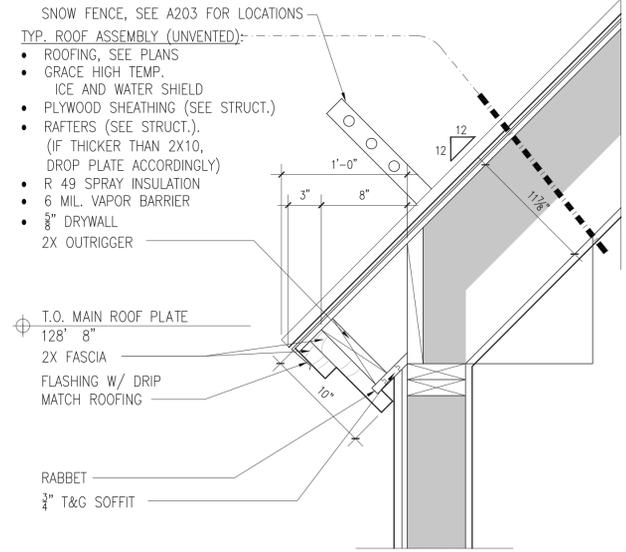


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333 WEST COLORADO AVENUE  
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TEL: 970.728.9755  
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jwk@jwessonarch.com  
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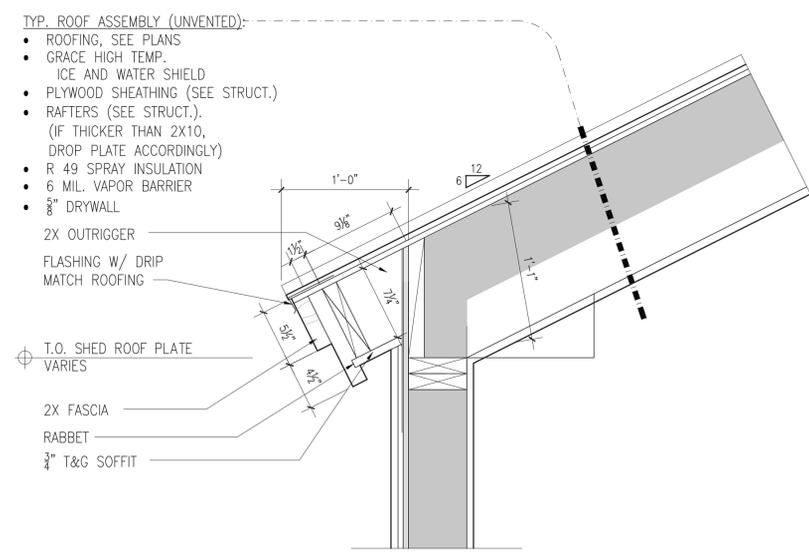
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PROJECT MANAGER: [blank]					
DRAWN BY: [blank]					
REVIEWED BY: [blank]					
SHEET NUMBER: A-601					



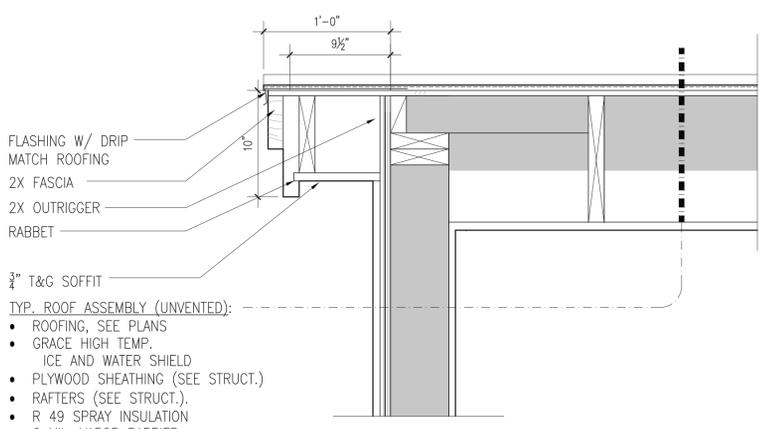
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A605 MAIN ROOF



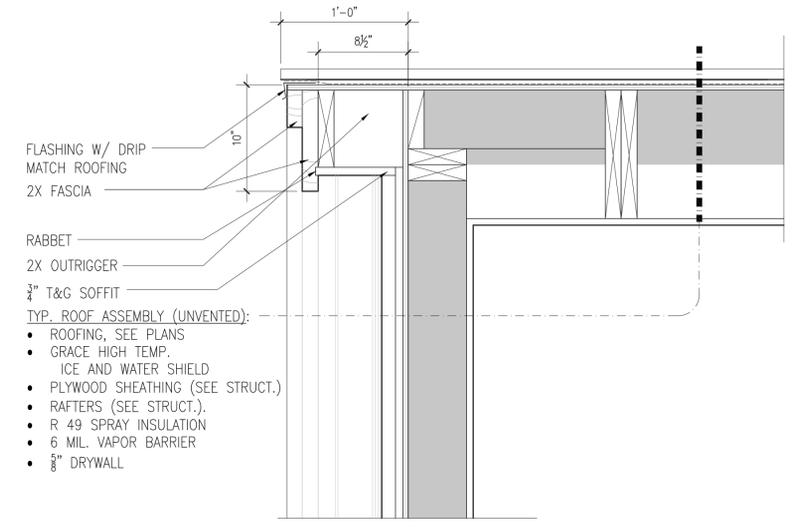
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A605 MAIN ROOF



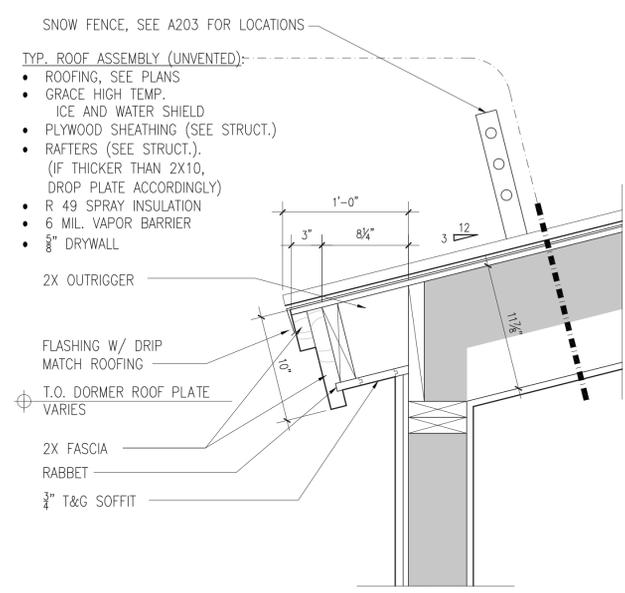
3 EAVE DETAIL SCALE: 1 1/2" = 1'-0"  
A605 SHED ROOF



4 RAKE DETAIL SCALE: 1 1/2" = 1'-0"  
A605 SHED ROOF



5 RAKE DETAIL SCALE: 1 1/2" = 1'-0"  
A605 GABLE DORMER ROOF



6 EAVE DETAIL SCALE: 1 1/2" = 1'-0"  
A605 SHED ROOF OVER POWDER

	<b>JACK WESSON</b> ARCHITECTS INC. 333 WEST COLORADO AVENUE TELLURIDE, COLORADO 81435 TEL: 970.728.9755 FAX: 970.728.9724 jack@wessonarch.com www.jackwessonarchitects.com
	PROJECT NAME: <b>LOT 2</b> 600R-2 TRAILS EDGE MOUNTAIN VILLAGE, COLORADO 81435
SHEET DESCRIPTION: <b>DETAILS</b>	SHEET NUMBER: <b>A-600</b>
10/21/15 DRB APPLICATION MARK REV. DATE DESCRIPTION PROJECT MANAGER: DRAWN BY: REVIEWED BY: © 2008 JWA	

## Lot 600BR-2 DRB Application

### Exterior Lighting Cut Sheet

#### Hubbardton Forge 307920-18 Steel Contemporary Airis Wall Sconce

Sends light in a downward direction as well as providing a general ambient light for your room - Hand made nature of this product makes no two fixtures identical - Lamping Technology: Bulb Base - GU10: A bi pin socket used mostly with 120/230-volt MR16 Halogen Bulb. The GU10 has a pin spread of 10 mm a twist and lock function. - Compatible Bulb Types: GU10 Bulb base uses primarily a Halogen bulb but is also available as Fluorescent, LED, and Xenon / Krypton. - Specifications: Number of Bulbs: 1 Bulb Base: GU10 Bulb Type: Halogen - Watts Per Bulb: 35 Wattage: 35 Height: 24.3" Width: 5" Depth: 5.2" Extension: 5.2" UL Listed: Yes - UL Rating: Wet Location - Compliance: UL Listed - Indicates whether a product meets standards and compliance guidelines set by Underwriters Laboratories. This listing determines what types of rooms or environments a product can be used in safely. - This includes products used outdoors and near the coast. - Celebrating 40 years in business, Hubbardton Forge has been serving their customers by manufacturing unique pieces of lighting for years. Experience the difference today!



## LICENSE AGREEMENT

### LICENSE AGREEMENT FOR TEMPORARY CONSTRUCTION ACCESS AND STAGING BY AND BETWEEN ANH DANG and DAVID GROSSHANS, AND THE BCW PROPERTIES, LLC A PENNSYLVANIA CORPORATIO

This LICENSE AGREEMENT FOR TEMPORARY CONSTRUCTION ACCESS AND CONSTRUCTION STAGING (this "License Agreement" or this "Agreement") is entered into this 21st day of November 2015 by and between Anh Dang and David Grosshans ("Owners"), the owners of Lot 600BR-1, Trails Edge at Double Cabins, Mountain Village, CO, ("the Property") and; BCW Properties, LLC, a Pennsylvania corporation, acting by and through its duly authorized manager, David Schiltz ("BCW").

#### RECITALS

WHEREAS, the Owner is the owner of the Property; and

WHEREAS, BCW is constructing a single family home on the adjacent Lot 2 in Trails Edge at Double Cabins; and

WHEREAS, the Owner desires to provide BCW with access to and temporary use of Owner property, by way of a license agreement for purposes of staging of a construction trailer, construction equipment, delivery and temporary storage of construction materials, subject to the terms and limitations set forth herein.

NOW, THEREFORE, the parties to this License Agreement, in consideration of the sum of One and 00/100 Dollars (\$1.00), paid by BCW to the Owner upon the mutual execution and delivery of this Agreement, plus other valuable consideration, the receipt and sufficiency of which is hereby acknowledged, and in consideration of the covenants BCW expresses herein, agree as follows:

#### I. GRANT OF LICENSE AND CONSIDERATION

The Owner hereby grants to BCW, its employees, contractors, and subcontractors (collectively "BCW and Agents") responsible for construction or restoration or any related activity as described herein the license, privilege and permission ("the License") to access and use during the term set forth below, that portion of the Owner's property outlined in red on the Map attached hereto as Exhibit A and incorporated herein by reference ("Construction Staging Area"). The license shall be for the limited purpose of accessing the construction site, for use as a construction staging area, for delivery of construction materials, subject to the terms and limitations set forth below.

In consideration for this license, BCW shall pay Owner \$400.00 per month on the first of each month commencing November 1, 2015 until this License is terminated. The last payment shall be prorated as of the termination date.

This License Agreement shall cease and be terminated at such time as the Restorations have been accepted by the Owner in writing, or sooner if terminated pursuant to Section VIII. of this License Agreement.

#### II. TERM

The term of this Agreement shall be for not more than fourteen (14) months, beginning as of the date first set forth above, and concluding when the Restorations, as defined hereinafter, have been accepted by the Owner. If this License is terminated during the winter, Owner shall allow BCW to enter the property to complete the Restorations in the following spring.

## LICENSE AGREEMENT

### III. DESIGNATION OF PARTIES' REPRESENTATIVES

The Owners shall represent themselves with respect to this Agreement. BCW designates Bruce MacIntire, as its duly authorized representative to act on BCW's behalf with respect to this Agreement. The Parties may designate a different representative so long as the party notifies the other.

### IV. NO REPRESENTATIONS BY OWNER

BCW represents that the Owner has made no representations with respect to the property or its condition, and that BCW is not relying on any representations of the Owner or the Owner's agents with respect to the use or condition of the property. This License grants BCW the privilege and permission to use the property depicted in Exhibit A in its present condition "as is" without any warranties and subject to the conditions set forth herein.

### V. RESONSIBILITIES OF BCW

- A. BCW agrees to design and construct, at its sole expense, the "Construction Staging Area" and "Restorations." The Construction Staging Area and Restorations shown in Exhibit "A" shall be constructed according to plans and specifications approved by the DRB prior to commencing construction activity.
- B. BCW shall, at its sole cost and expense, install and maintain in good condition a fence around the perimeter of the construction staging area. The Construction Staging Area, including the fence, shall be located within the buildable setbacks of Lot 1. The fence shall be installed pursuant to a plan, approved by the Mountain Village Design Review Board.
- C. BCW agrees to maintain the Construction Staging Area in good condition at all times keeping it free of trash and other debris, and to maintain the Property in a neat and orderly condition.
- D. BCW Agents shall access the Construction Staging Area from its Lot 2. The construction trailer shall be brought into and removed from the Property from the Lot 1 western boundary. This is intended to minimize impact.
- E. BCW agrees to comply with all Mountain Village ordinances and other rules and regulations regarding permits and approvals related to construction of the Construction Staging Area and Restorations.
- F. BCW and Agents shall employ appropriate means and methods to protect existing trees in the Construction Staging Area from damage. In the event a tree(s) is damaged or dies as result of BCW and Agents' use, BCW agrees to replace the tree with a similar tree at Owner's request.
- G. BCW shall have the right to deposit tools, implements, and other materials in the Construction Staging Area and utilize construction, automotive and other equipment thereon when necessary for the purpose of constructing the home on Lot 2.
- H. BCW's prime contractor, Bridger Construction Services, shall procure and maintain in full force and effect for the duration of this Agreement, liability and property damage insurance with a minimum of \$1,000,000 (one million dollars) bodily injury, and \$1,000,000 (one million dollars) property damage for each occurrence, and \$2,000,000 (two million dollars) comprehensive general liability insurance. BCW shall provide a current copy of its policy or policies of insurance, or a Certificate of Insurance evidencing same, to the Owner prior to exercising their rights and duties under this Agreement. The Owner shall be named as an additional insured on all policies required by this License Agreement.

## LICENSE AGREEMENT

- I. BCW shall require its contractor(s) who are responsible for constructing the Construction Staging Area and Restorations to procure and maintain statutory limits of workers' compensation insurance coverage, motor vehicle liability insurance, and a minimum of \$1,000,000 (one million dollars) employer's liability insurance for the duration of this Agreement.
- J. BCW and Agents shall take all necessary precautions to prevent sloughing or erosion in the Construction Staging Area. If such sloughing or erosion occurs, including any displacement of the land as a result of BCW's use of the Construction Staging Area, its construction, deliveries to the construction site or by overloading the ground, BCW shall promptly restore the premises, to the satisfaction of the Owner.
- K. BCW agrees that neither BCW nor any of its agents, contractors, subcontractors, engineers, or employees shall perform any drilling, digging or perforating the ground, or remove or ~~destroy any trees with a 3" or greater trunk diameter within the Construction Staging Area~~ without first obtaining Owner's prior consent.
- L. BCW shall save and hold harmless, protect and indemnify Owner from and against any and all liabilities, obligations, damages, penalties, claims of any kinds, causes of action, costs, charges and expenses, including attorney's fees and expenses of agents, which may be imposed upon or incurred or served against Owner, its elected officials, employees or agents by reason of any occurrence or accident arising out of BCW and Agents' use of the Construction Staging Area.
- M. BCW shall vacate the Construction Staging Area and perfect the Restorations in accordance with Section VI as soon as its general contractor has installed and completed BCW's construction project such that the Construction Staging Area is no longer needed. The Construction Staging Area will be timely vacated and Restoration timely perfected so as to vacate the License herein as soon as practicable. BCW agrees after completion of the construction or at the termination of the agreement, BCW will, at its expense, restore the ground, to the Owner's satisfaction within a reasonable time frame, and recognizing that the Construction Staging Area is intended to be a future construction site. Owner agrees that the Restorations are best performed after the winter season.

### VI. RESTORATIONS

- A. BCW shall reseed and water regularly the Construction Staging Area until such time as an acceptable stand of vegetation has been taken root. BCW and Agents' reseedling shall comply with the seed specifications established by the Mountain Village. The intent of the Restoration is to make the property look as if no construction had taken place on Lot 1.
- B. The Owner retains the right to inspect BCW's restoration efforts, and to require reasonable additional mitigation to achieve the objective of paragraph A, above.

### VII. PROJECT COSTS AND RESPONSIBILITIES

All costs of the Construction Staging Area and Restorations shall be the sole responsibility of BCW.

### VIII. TERMINATION

- A. If any party fails to properly fulfill its obligations under this Agreement in a timely manner, or if any party violates any of the provisions of this Agreement, the non-breaching party shall notify the other party in writing of the specific violations of this Agreement. The breaching party shall have fourteen (14) days from receipt of this notice in which to cure any such violation. If the violation cannot be reasonably cured within said 14-day period, and the breaching party has diligently pursued such remedy as shall be reasonably necessary to cure

## LICENSE AGREEMENT

violation, then the parties may agree in writing to an extension of the period in which the violation must be cured.

- B. If, however, the breaching party has not cured any such violation as specified in the written notice or any extension within the time provided, then the non-breaching party, at its sole option, shall have the right to terminate this Agreement. This termination shall be made by sending written or emailed "Notice of Termination" to the breaching party. This Notice of Termination shall be effective for all purposes when deposited in the US Mail, or when emailed.
- C. If BCW defaults under this Agreement, upon depositing the Notice of Termination with the US Mail or by sending an email of such notice as specified above, the Owner may assume control and possession of the Construction Staging Area and BCW and Agents shall vacate it immediately and commence the Restorations.
- D. The Owner reserves the right to immediately terminate this Agreement in the event of an emergency.

### IX. MISCELLANEOUS PROVISIONS

- A. This Agreement constitutes the entire agreement between the parties relating to the subject matter of this Agreement. Any previous agreement, assertion, statement, understanding, or other commitment before the date of this Agreement, whether written or oral, shall have no force or effect upon the terms and conditions of this Agreement, except as otherwise provided for and acknowledged. Notwithstanding the foregoing sentence, nothing in this Agreement shall be construed or interpreted in such a way as to vacate or amend any certain preexisting underlying agreements by and between the Owner and BCW, all of which certain preexisting underlying agreements are and shall remain fully performable by the parties, subject to their terms and conditions. No agreement, assertion, statement, understanding, or other commitment during the term of this Agreement, or after the term of this Agreement, shall have any legal force or effect upon the terms and conditions of this Agreement unless properly executed in writing by the parties.
- B. This Agreement is made, and shall be construed and interpreted under by the laws of the State of Colorado, and venue for any suit concerning this Agreement shall rest in San Miguel County Court.
- C. Regardless of the actual drafter of this Agreement, this Agreement shall, in the event of any dispute over its meaning or application, be interpreted fairly and reasonably, and neither more strongly for nor against the parties to this Agreement.
- D. All official communications and notices required to be made under this Agreement shall be deemed made if sent postage prepaid or via email to the parties at the addresses listed below, unless otherwise specified in this Agreement:

If to the Owner: Anh Dang and David Grosshans  
3631 Aberdeen Way  
Houston TX 77025  
[aqorama@gmail.com](mailto:aqorama@gmail.com) and to [dgrossha@mdanderson.org](mailto:dgrossha@mdanderson.org)

If to BCW: David Schiltz  
1260 Old Woods Road  
West Chester, PA 19382  
[dschiltz5@gmail.com](mailto:dschiltz5@gmail.com) and to [bridgeroffice@gmail.com](mailto:bridgeroffice@gmail.com)

# LICENSE AGREEMENT

E. The Owner and BCW respectively, bind themselves, their successors in interest, assigns and legal representatives to this Agreement. BCW shall not assign or transfer any interest in this Agreement without the prior written consent of the Owner.

## X. SEVERABILITY

If the final judgment of a court of competent jurisdiction invalidates any part of this Agreement, then the remaining parts of this Agreement shall remain in full effect.

## XI. WAIVER

If at any time the Owner, its successors or assigns, fails to enforce this Agreement, whether or not any violations of it are known, such failure shall not constitute a waiver or estoppel of the right to enforce it.

**THIS AGREEMENT** is made to be effective on the date first written above.

### Agreed by OWNER

By  David Grosshans  
David Grosshans

Date 10/30/2015

### Agreed by BCW LLC

By  David Schiltz  
David Schiltz, Manager

Date 10/30/2015

# LICENSE AGREEMENT

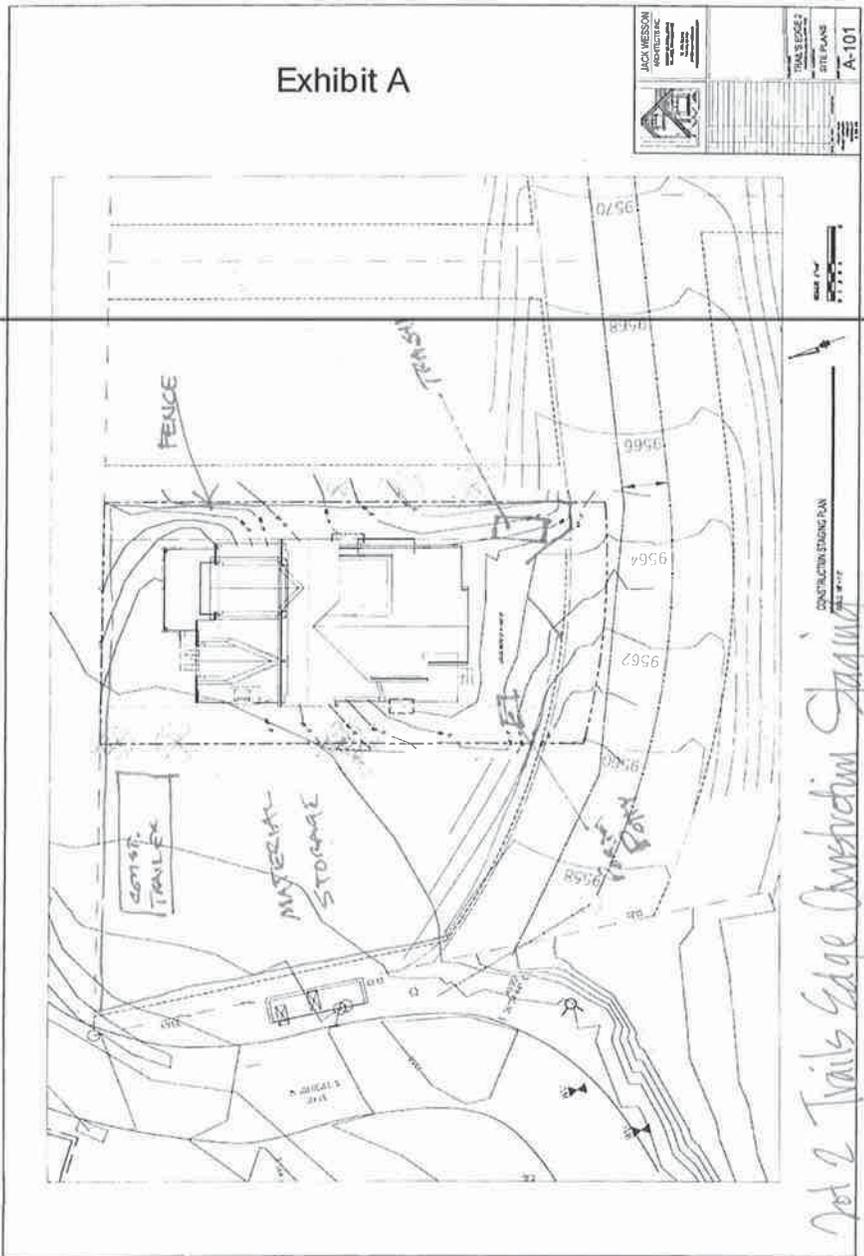


EXHIBIT A

[DS]

[DC]



**COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

---

**TO:** Design Review Board

**FROM:** Glen Van Nimwegen, AICP  
Director of Planning and Development Services

**FOR:** Meeting of December 3, 2015

**DATE:** November 23, 2015

**RE:** Update on the Village Court Site Improvements

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**PROJECT GEOGRAPHY**

**Application Overview:** The purpose of this agenda item is to update the Design Review Board about proposed site improvements to the Village Court Apartments.

**Legal Description:** Lots 1001 and 1005  
**Address:** 415 Mountain Village Boulevard  
**Applicant/Agent:** Staff  
**Owner:** Town of Mountain Village  
**Zoning:** Multi Unit Zone District  
**Existing Use:** Village Court Apartments (VCA)  
**Lot Size:** 11.12 acres

**Adjacent Land Uses:**

- **North:** Open Space
- **South:** Single-Family
- **East:** Open Space
- **West:** Open Space

**ATTACHMENTS**

- Exhibit A: Bike Shed Plan
- Exhibit B: BBQ Shed Plan
- Exhibit C: Deck Plan
- Exhibit D: VCA Shed (previous approval)

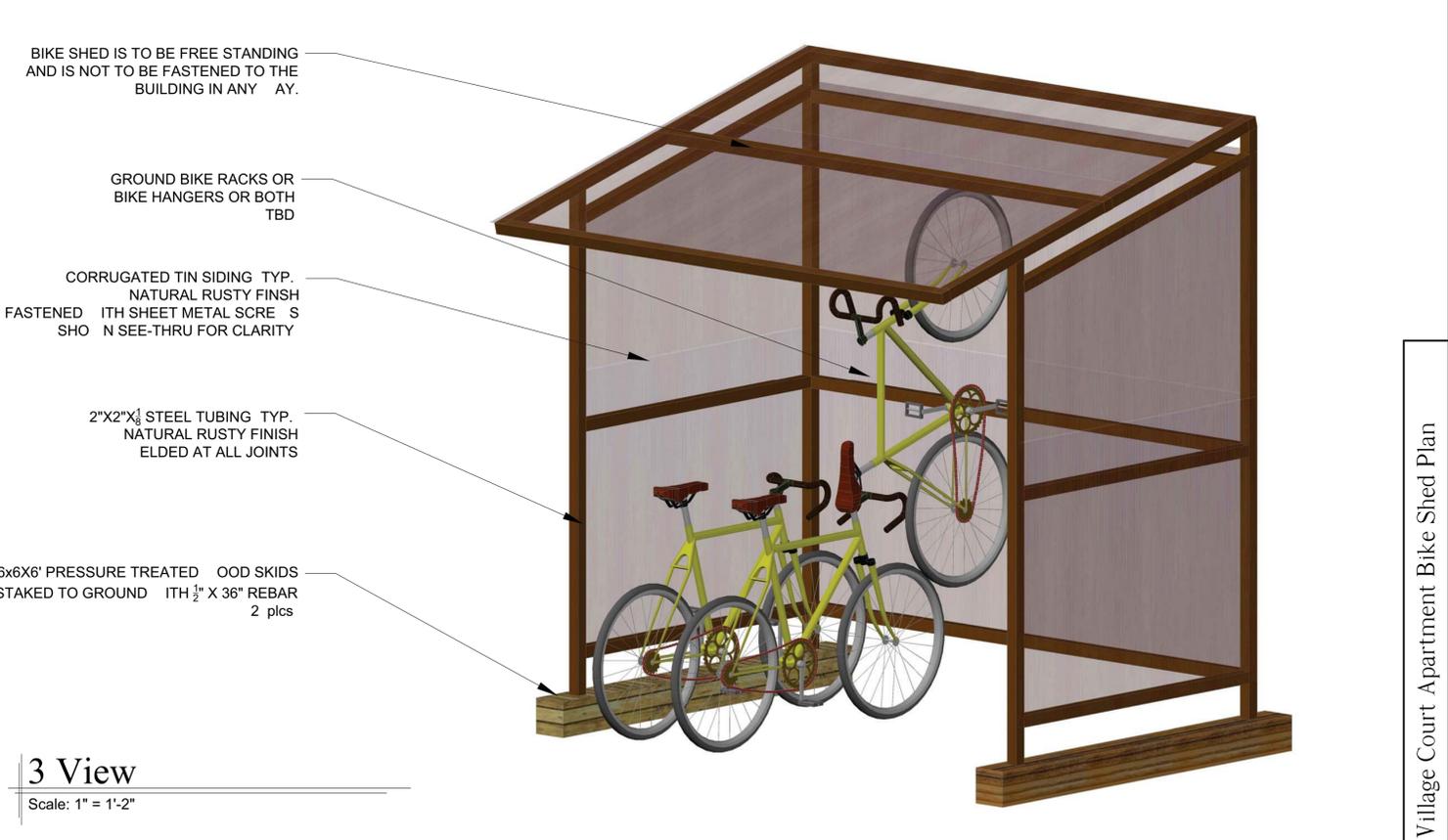
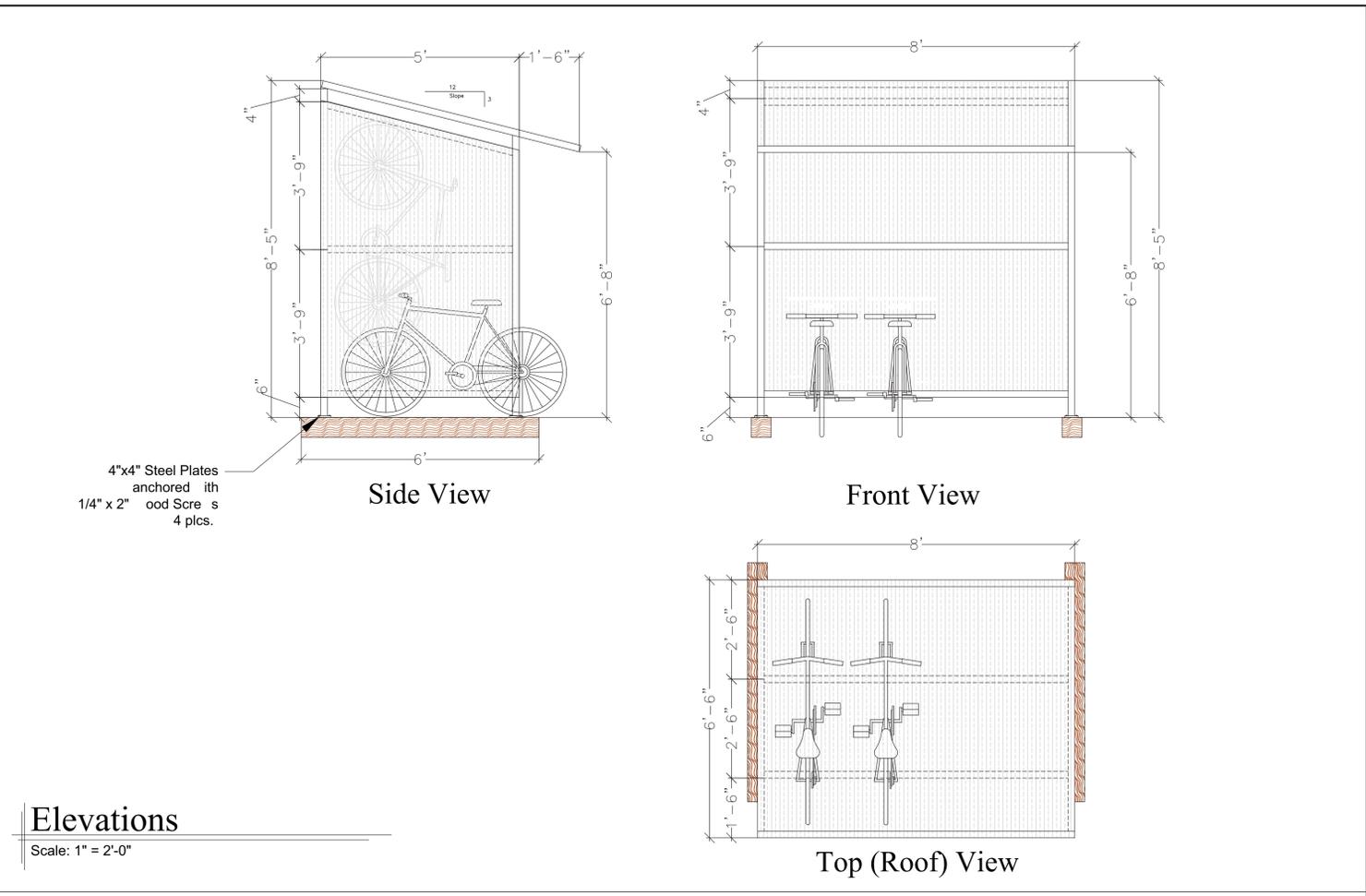
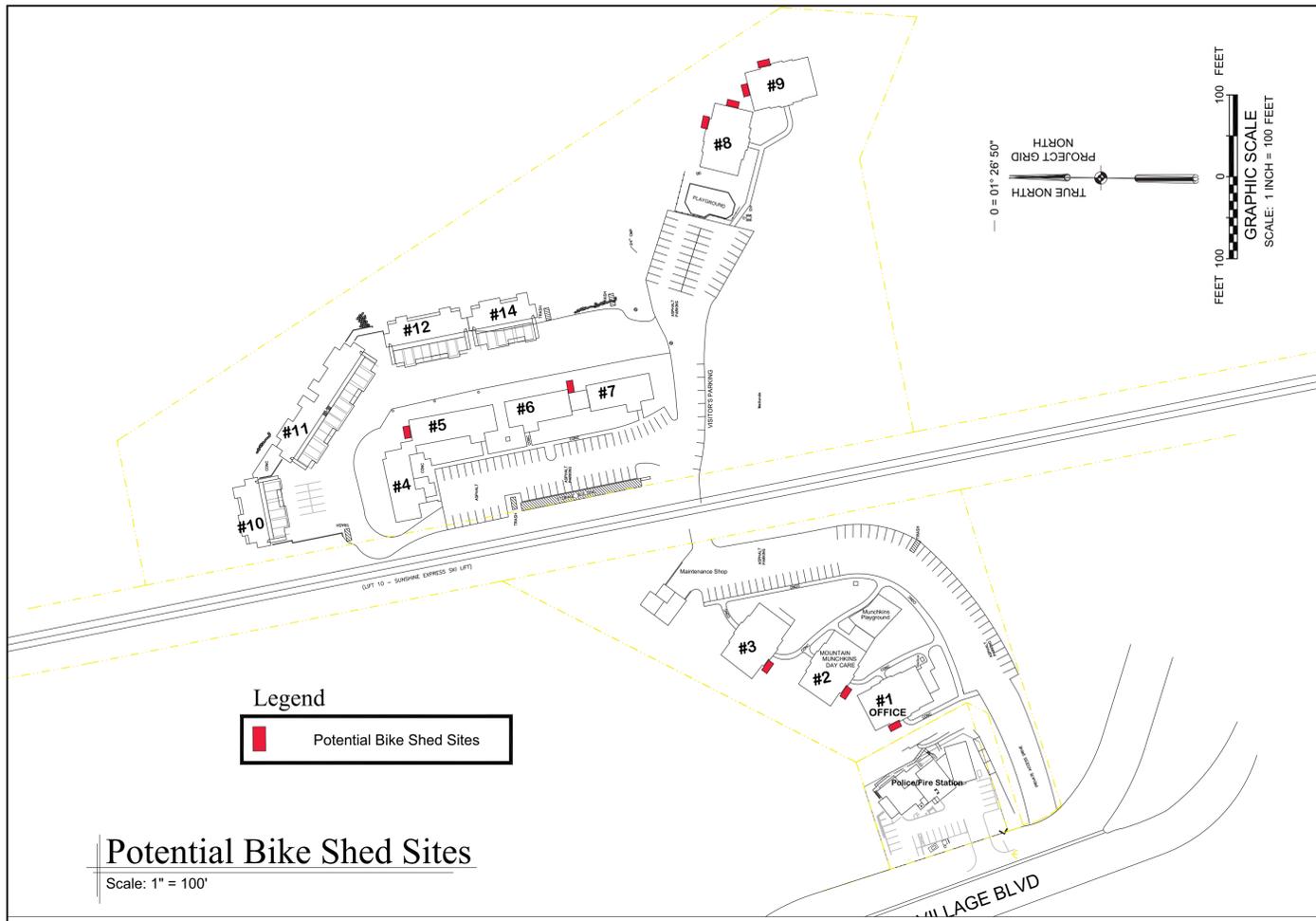
**BACKGROUND**

Last April the Board approved the VCA Shed, which was an activity room for the residents of the apartments, but was to be available to all residents of Mountain Village. During the budget process for 2016 staff reconsidered the project due to its construction cost, operating expense, safety inspection and discussion with some residents about other amenities. The inspection by our insurance provider identified concerns about the safe use and storage of individual propane bbq's and the storage of bicycles in the stairwells.

Therefore, the budget was changed to eliminate the VCA Shed, in favor of the site amenities that are attached. The bike and bbq sheds were a direct result of our insurance inspection, and

the outdoor decks came about from a request from residents to create an outdoor space to enjoy the summer months.

The new additions are not of a complexity to require Board approval. However, staff wanted to update the board on the change, and we would appreciate your ideas and input.



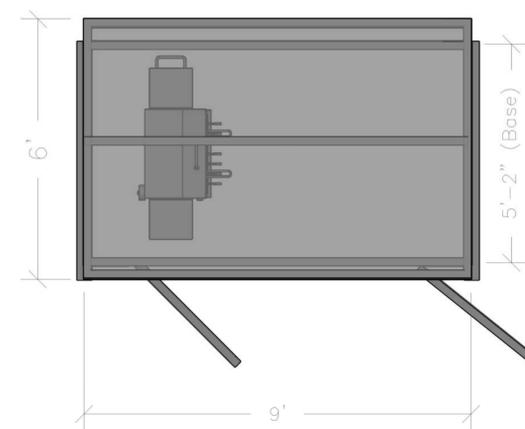
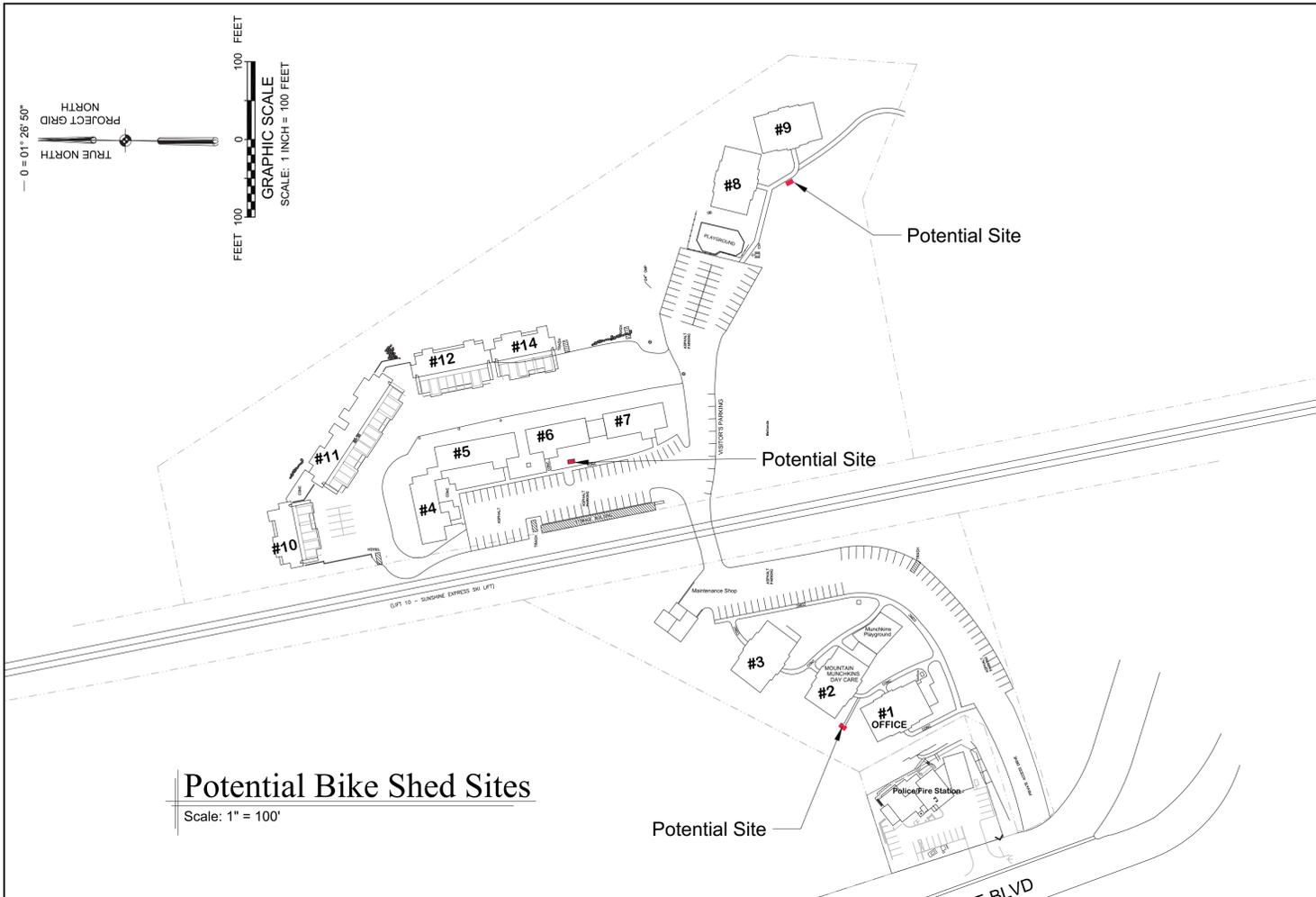
REVISION	DATE	DESCRIPTION	BY	CHK'D

**MOUNTAIN VILLAGE**  
Town of Mountain Village  
Geographical Information System  
& CAD Design Office  
411 Mountain Village Blvd, Mountain Village, CO 81435  
Ph. 970-728-5946 Fax 970-728-6027

**Village Court Apartments Bike Shed Plan**  
Town of Mountain Village, CO

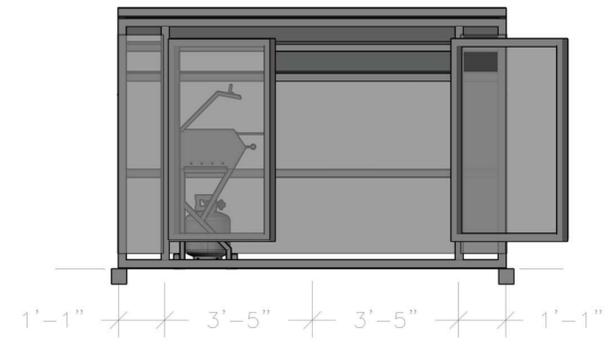
SCALE: As noted	JOB NO:	DATE: 10-22-15
SHEET NO:	1 of 1	

Village Court Apartment Bike Shed Plan

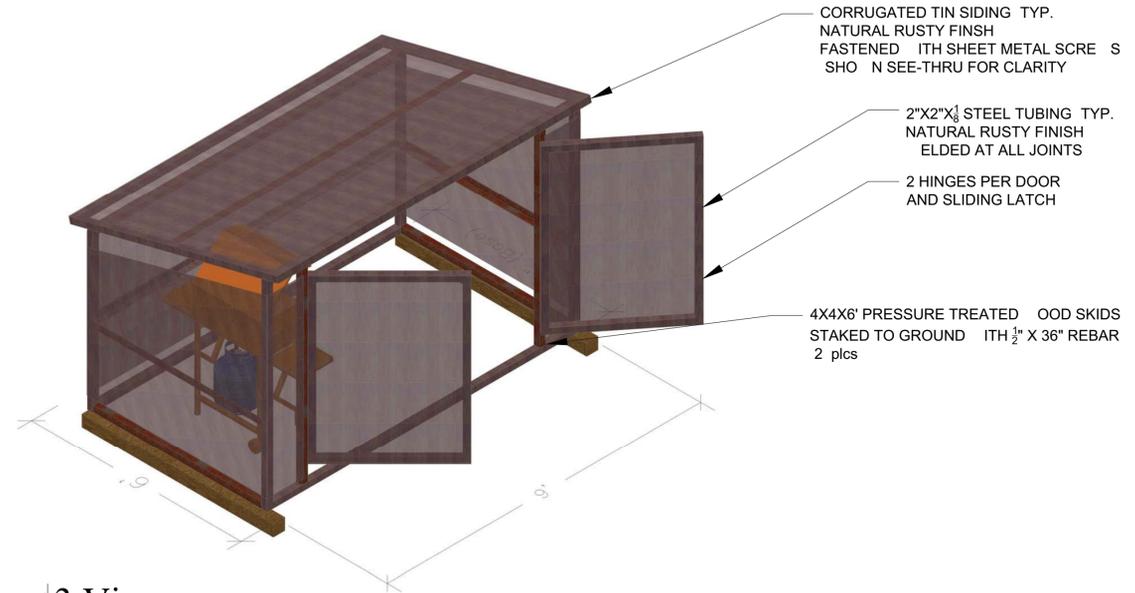
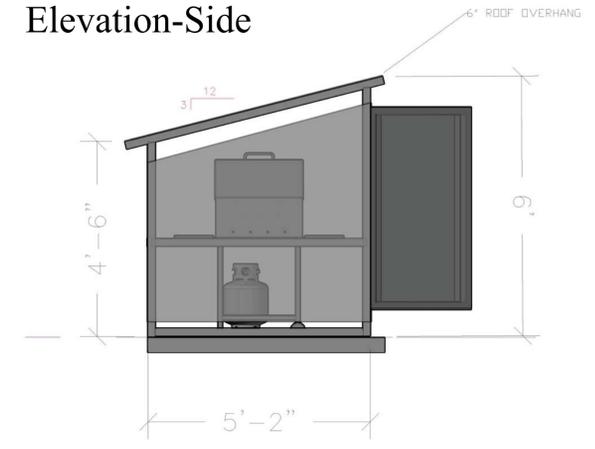


NOTE: ALL BBQ SHEDS SHALL BE LOCATED NO LESS THAN 10' FROM THE NEAREST STRUCTURE AS RECOMMENDED BY THE FIRE DEPARTMENT.

**Elevation- Front**



**Elevation-Side**



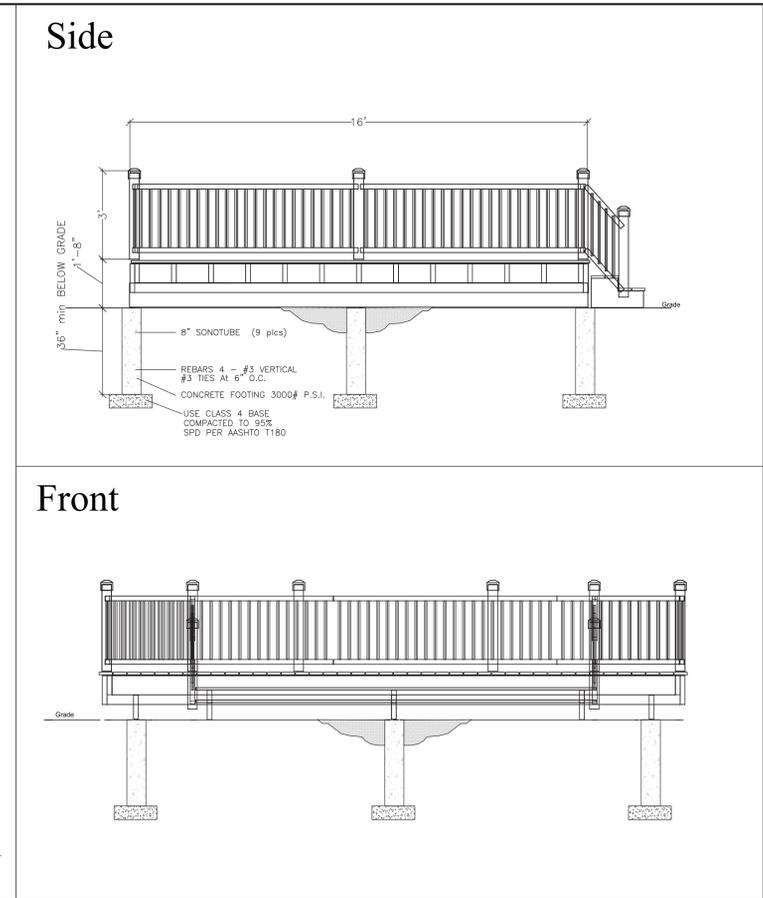
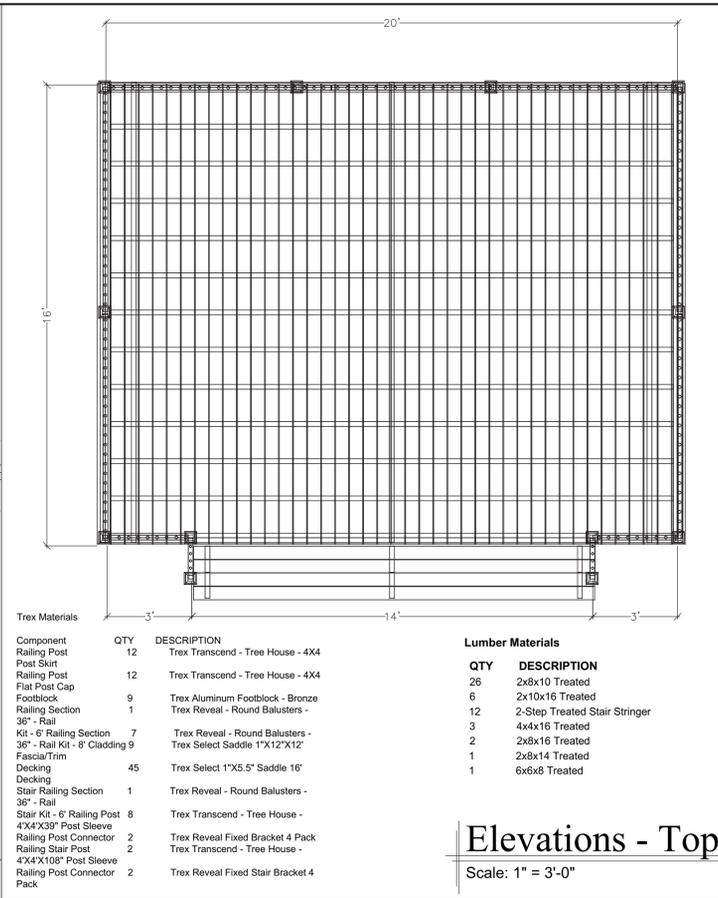
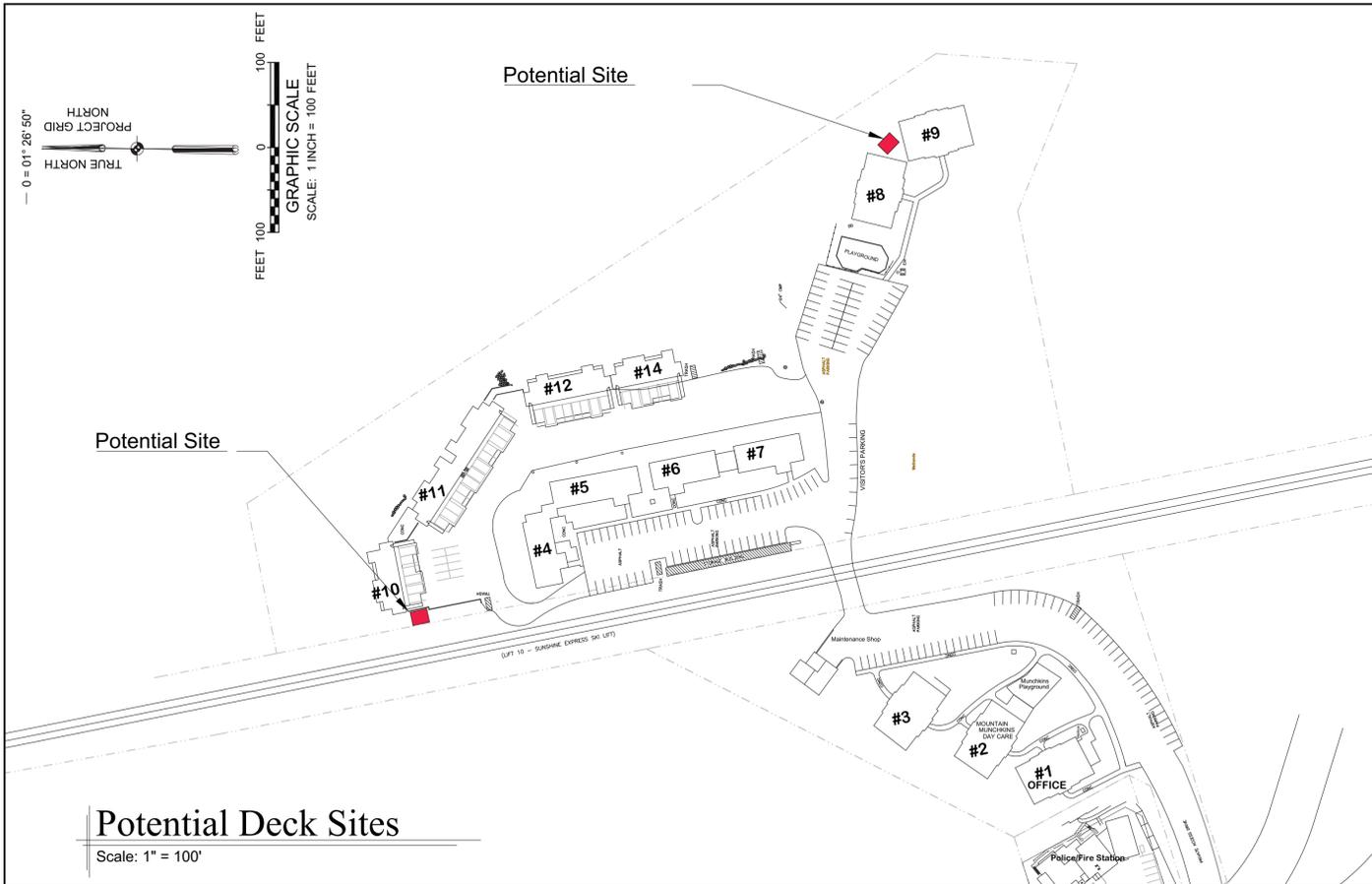
DRAWN BY: RBC DESIGNED BY:  CHECKED BY:	<b>Disclaimer</b> This information is a product of the Mountain Village Geographical Information Systems (GIS) Department and is intended for the display of relative positions and locations only. Users of this information hereby recognize, acknowledge and agree that it is not a guaranteed accurate, legal or surveyed representation of land. Users assume all risk and responsibility for any and all direct and indirect damages, including consequential damages, that may flow from the use of this information. Users further recognize, acknowledge and agree that the Mountain Village GIS Department has not made any representations, warranties, or guarantees of any kind that this information is survey accurate or fit to be used or relied upon for any particular purpose.	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHD</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISION	DATE	DESCRIPTION	BY	CHD					
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Town of Mountain Village  
 Geographical Information System  
 & CAD Design Office  
 411 Mountain Village Blvd, Mountain Village, CO 81435  
 Ph. 970-728-5946 Fax 970-728-6027

**Village Court Apartments BBQ Shed Plan**  
SITE PLAN

SCALE: AS NOTED	JOB NO: 11-18-15	DATE: 1-18-15
SHEET NO: 1 of 1		

Village Court Apartment Site Plan



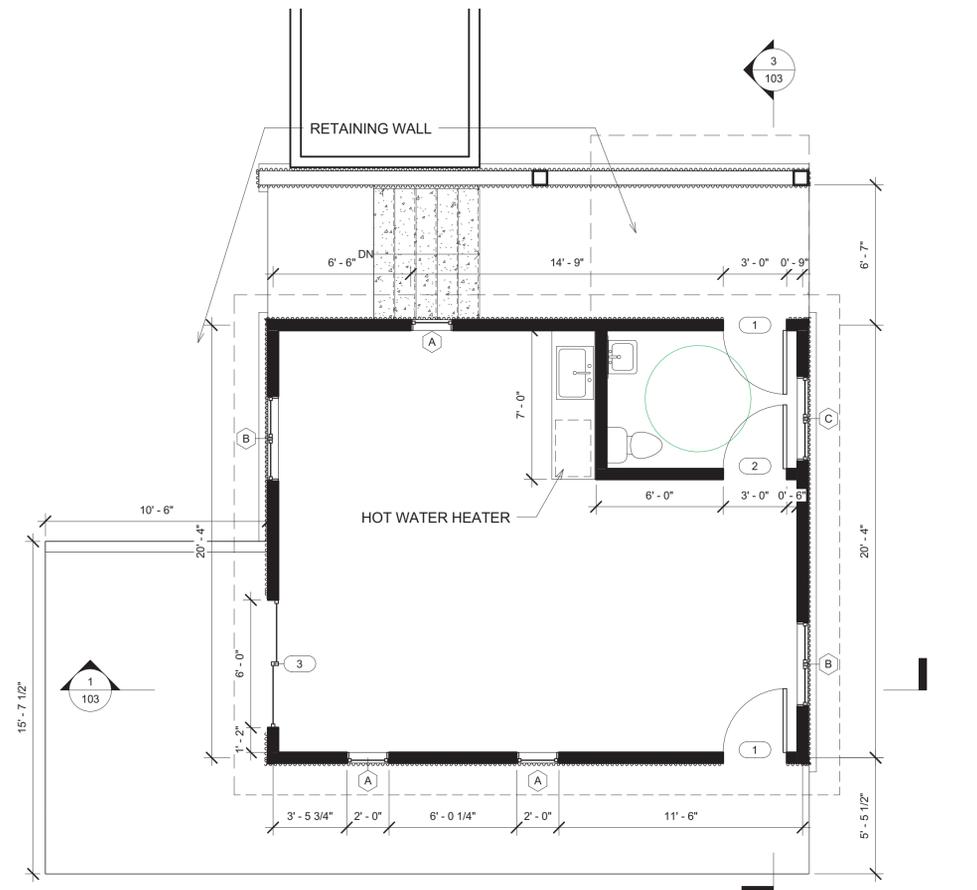
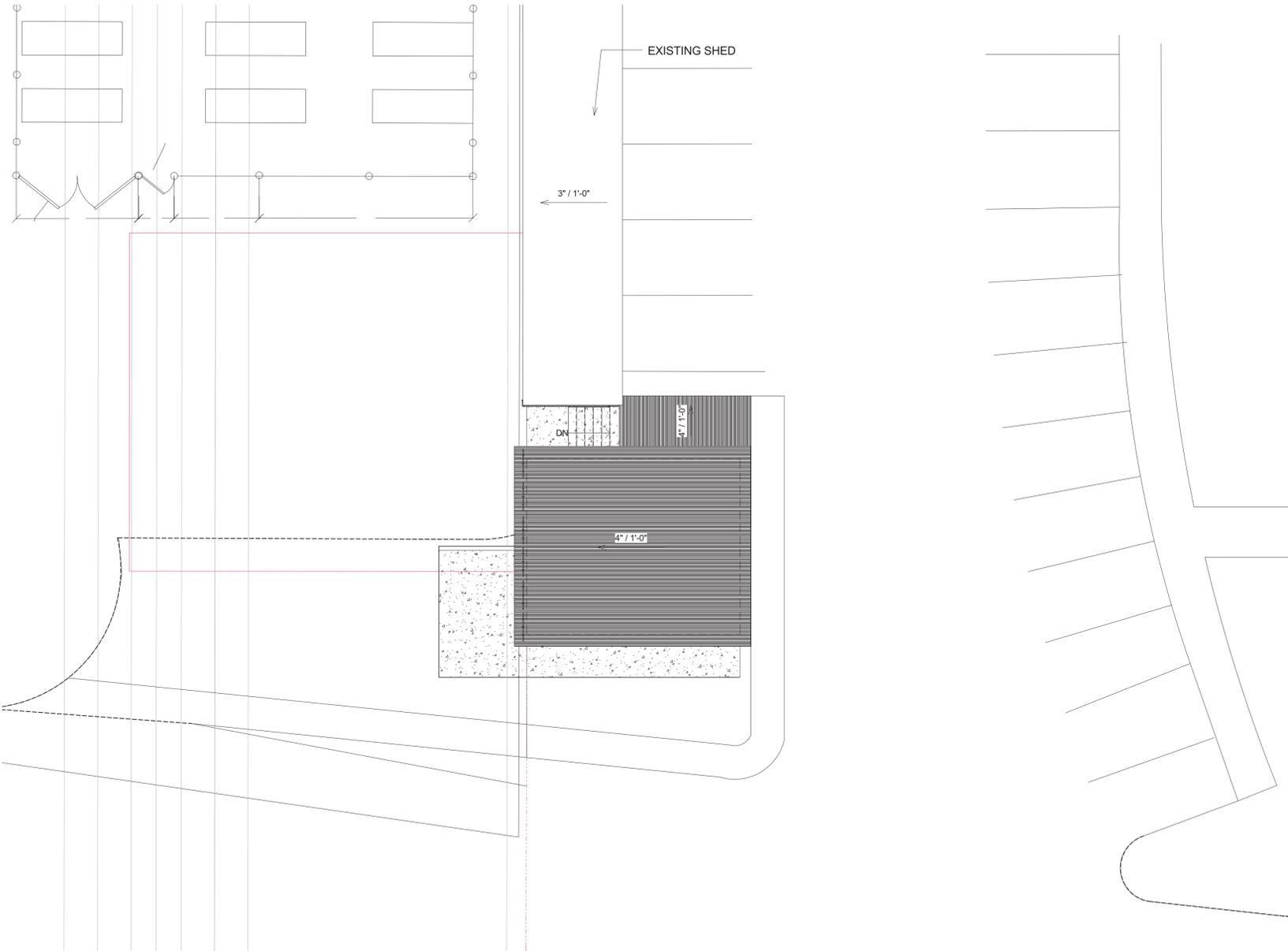
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# Village Court Apartments Deck Plan

Site Plan

SCALE: As noted  
JOB NO: 11-18-15  
DATE: 1-18-15  
SHEET NO: 1 of 1



② Level 1  
1/4" = 1'-0"

① Roof & SITE  
1/8" = 1'-0"

Door Schedule								
Type Mark	Count	Manufacturer	Model	Width	Height	Comments	Description	Family
1	1			3' - 0"	6' - 8"			Single-Glass 3
2	1			3' - 0"	6' - 8"			Single-Flush
1	1			3' - 0"	6' - 8"			Single-Glass 3
6	1			6' - 0"	7' - 0"			Sliding-2 panel

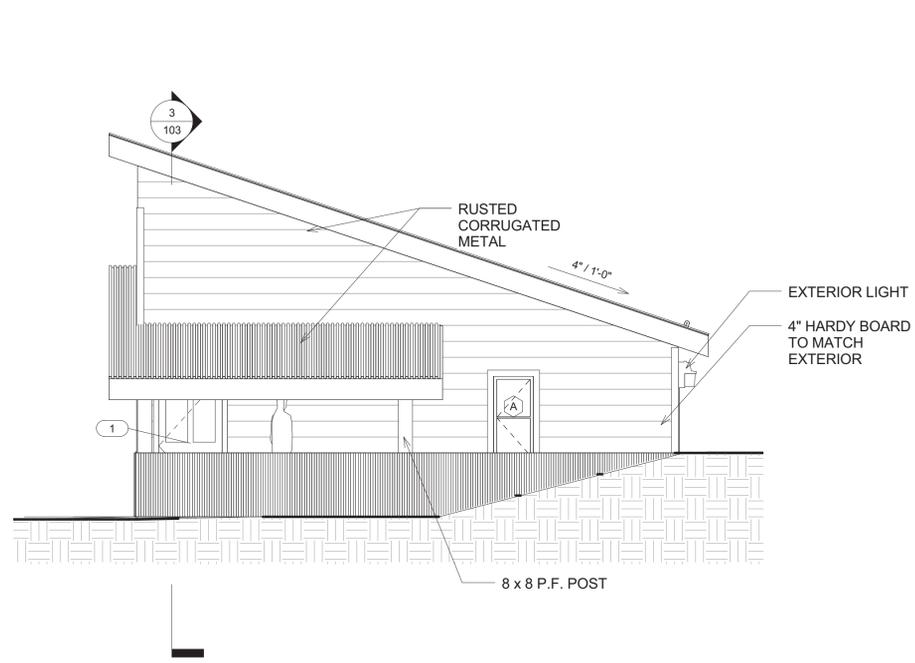
Window Schedule								
Type Mark	Count	Family	Description	Manufacturer	Model	Height	Width	Comments
A	1	Casement 2	Divided with Trim.0001			4' - 0"	2' - 0"	
A	1	Casement 2	Divided with Trim.0001			4' - 0"	2' - 0"	
B	1	Casement Dbl	with Trim			4' - 0"	4' - 0"	
A	1	Casement 2	Divided with Trim.0001			4' - 0"	2' - 0"	
B	1	Casement Dbl	with Trim			4' - 0"	4' - 0"	
C	1	Fixed with Trim				5' - 6"	4' - 0"	
C	1	Casement Dbl	with Trim			4' - 0"	4' - 0"	

VCA Shed

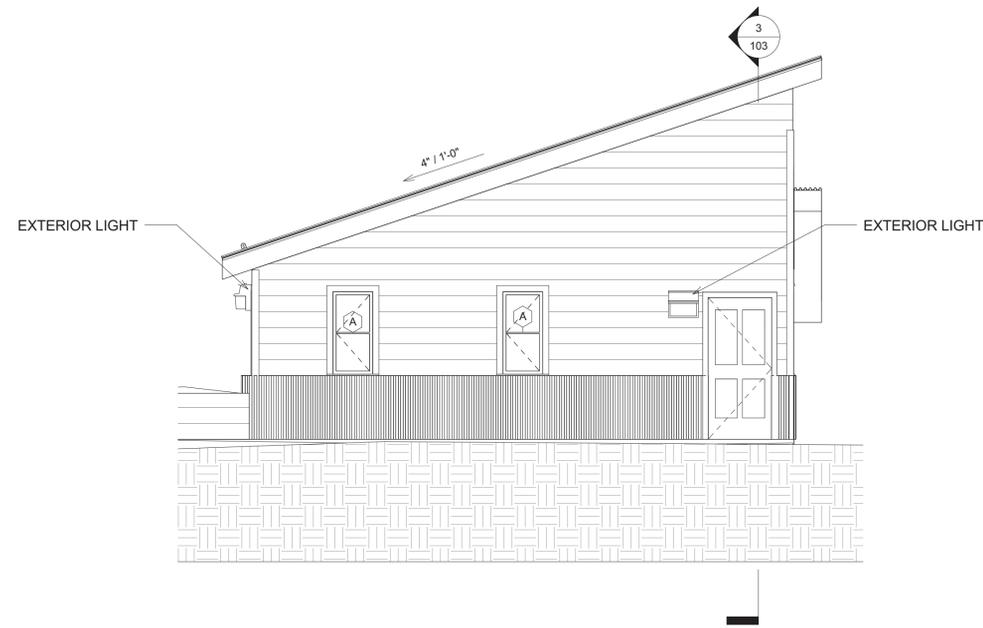
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Project Number

SITE PLAN

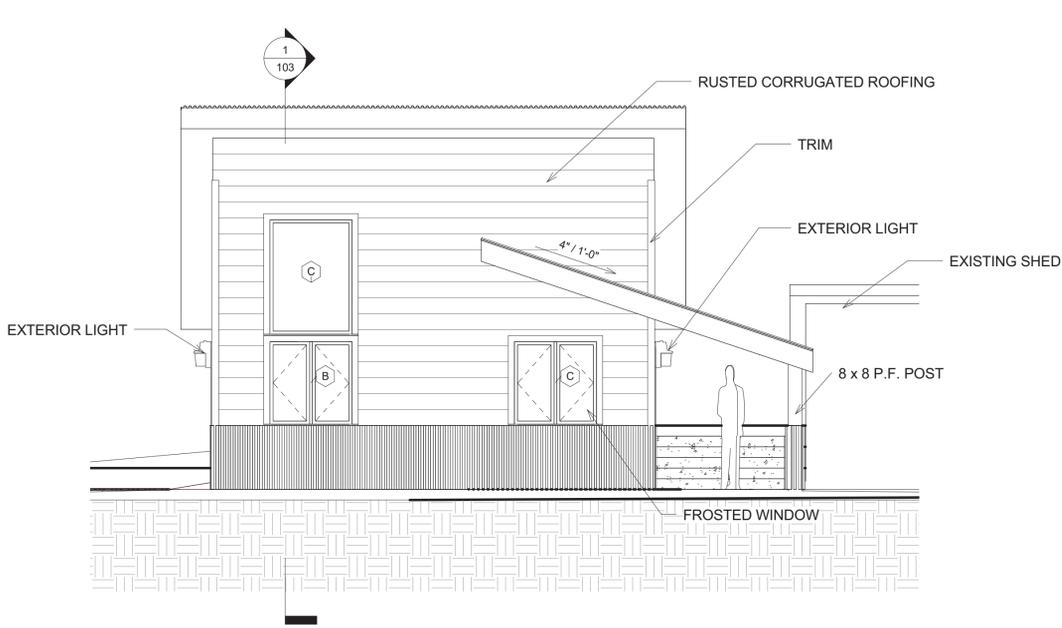
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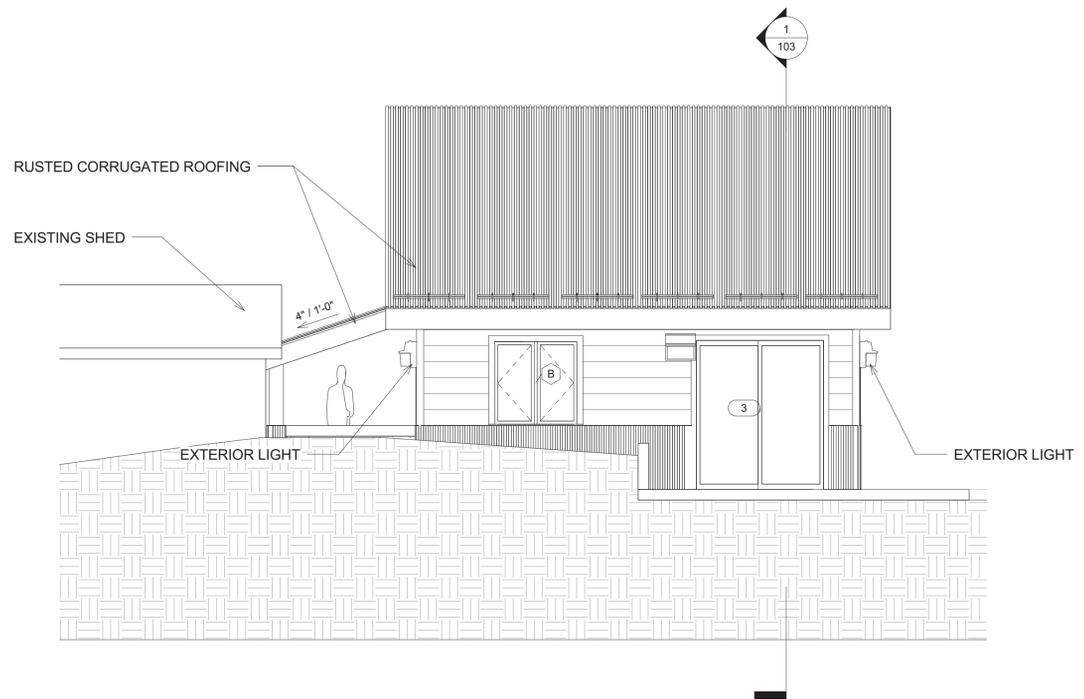
① North  
 1/4" = 1'-0"



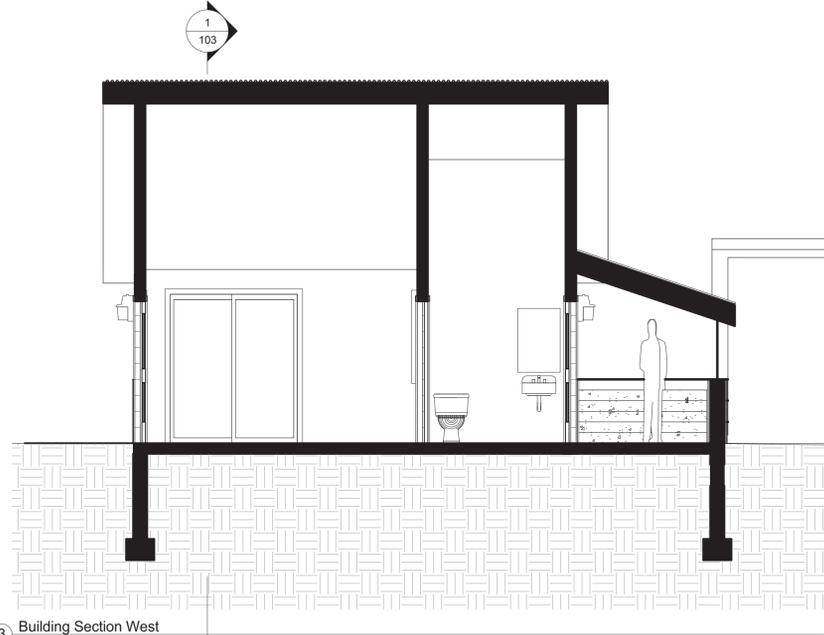
② South  
 1/4" = 1'-0"



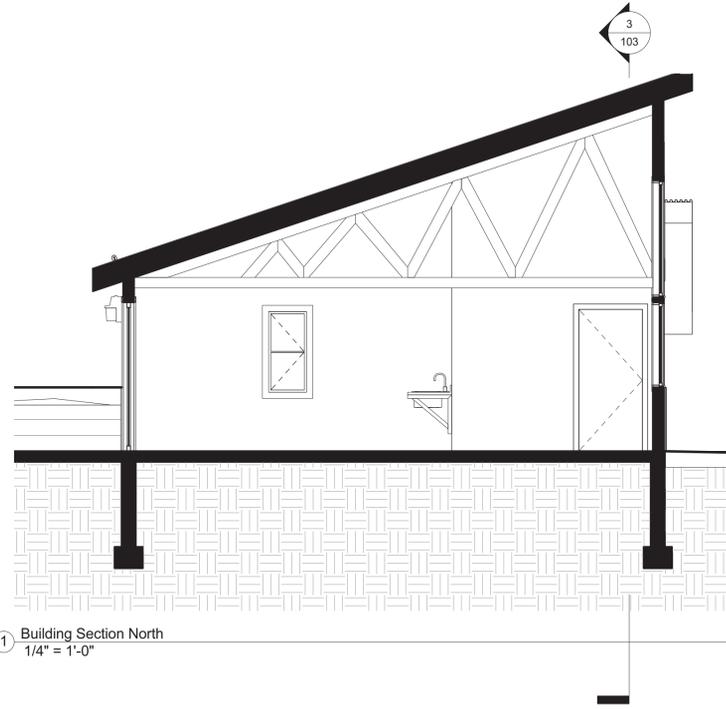
③ East  
 1/4" = 1'-0"



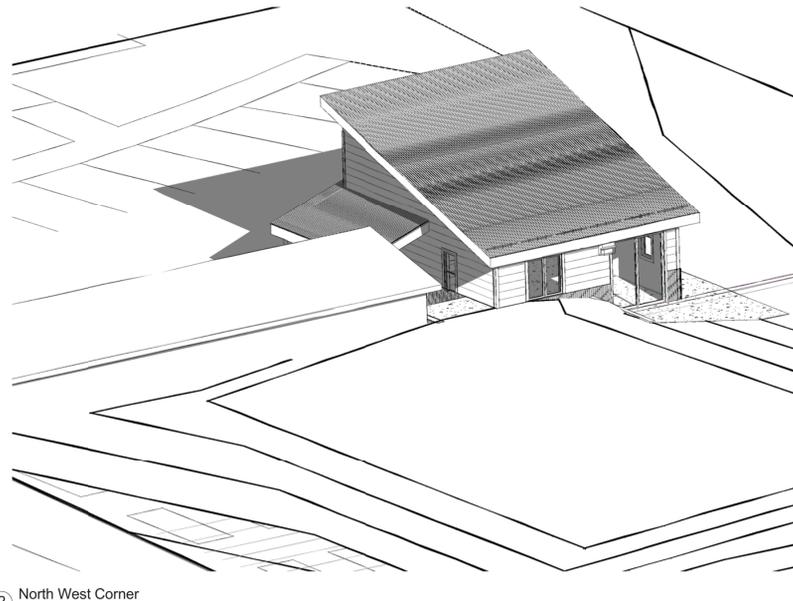
④ West  
 1/4" = 1'-0"



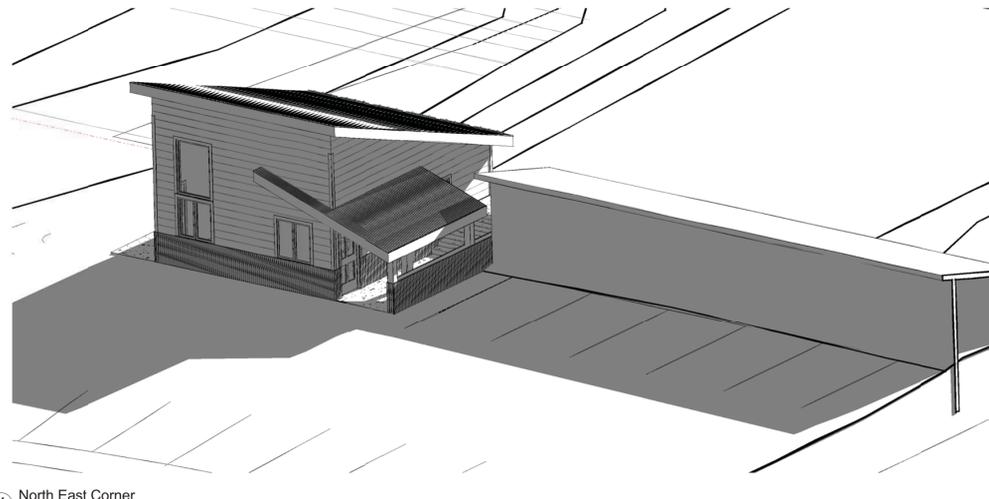
③ Building Section West  
 1/4" = 1'-0"



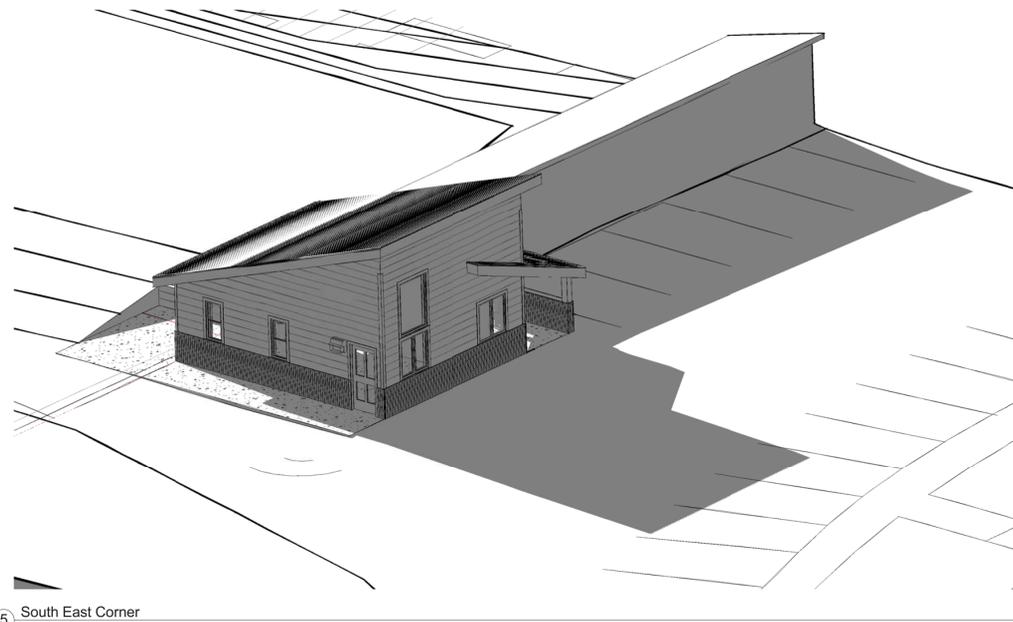
① Building Section North  
 1/4" = 1'-0"



② North West Corner



④ North East Corner



⑤ South East Corner

# SIGN-IN SHEET

DRB Meeting

Thursday, December 3, 2015

Please write clearly

ATTENDEE NAME  (PLEASE <b>PRINT</b> CLEARLY)	ADDRESS
ADAM SIZOK	PO Box 1618 81435
JACK WESSON	POB 2091 T-RIDE
Jean Vallee	
RUSS MONTGOMERY	



