

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING
THURSDAY AUGUST 2, 2018 10:00 AM
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
AGENDA**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	30	Mahoney	Legal	Executive Session for the Purpose of Receiving Legal Advice Pursuant to C.R.S. 24-6-402(b), and for the Purpose of Negotiations Pursuant to C.R.S. 24-6-402(4)e.
3.	10:30	5	Starr	Action	Reading and Approval of Summary of Motions for the July 12, 2018 Design Review Board Meeting.
4.	10:35	25	Haynes	Public Hearing, Quasi-Judicial Action	Consideration of a Minor Revisions application for Design Variations to an Address Monument at Lot 1151, 132 High Country Road.
5.	11:00	60	Starr	Initial Architecture and Site Review	Consideration of an Initial Architectural and Site Review application for a new single-family home on Lot 165 Unit 11, 210 Cortina Drive.
6.	12:00	30			Lunch
7.	12:30	45	Starr	Public Hearing, Quasi-Judicial Action	Consideration of a Design Review Final Review application for a new single-family home on lot AR-31, 125 Singletree Way.
8.	1:15	5	Haynes		Other Business
9.	1:20				Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: cd@mtnvillage.org. We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**SUMMARY OF MOTIONS
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY, JULY 12 2018**

Call to Order

Vice Chair Luke Trujillo called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:01 a.m. on Thursday, July 12, 2018 in Palmyra Conference Room at 415 Mountain Village Boulevard Mountain Village, CO 81435.

Attendance

The following Board/Alternate members were present and acting:

Keith Brown
Liz Caton (Alternate)
David Craige
Greer Garner
Dave Eckman
Luke Trujillo
Jean Vatter (Alternate)

The following Board members were absent:

Banks Brown
Phil Evans

Town Staff in attendance:

Michelle Haynes, Planning & Development Services Director
Sam Starr, Planner

Public in attendance:

Narcis Tudor	info@narcistudor.com
Steve Ciecuch	steveciecuch@gmail.com
Tommy Hein	Tommy@tommyhein.com
Matt Lynch	mattlynch@tommyhein.com
Paul Hoskinson	phoskinson@cedur.com
Ken Watt	Not Provided
Jack Wesson	Jwesson@me.com
Russ Montgomery	russme@prosetconstruction.com
Jolana Vanek	Jolanavanek@yahoo.com
Richard Thorpe	rthypno@yahoo.com
David Ballode	dballode@msn.com

Reading and Approval of Summary of Motions for the June 7, 2018 Design Review Board Meeting.

On a **Motion** made by Greer Garner and seconded by Keith Brown, the DRB voted 7-0 to approve the June 7th, 2018 Design Review Summary of Motions with the following changes:

- 1) On page 4 of the minutes, the second motion for the consideration of a conditional use permit application for the placement of a ropes course, quad jumper trampoline, and mining sluice on OS3X Active Open Space was corrected. The text now reads "On a Second Motion made by Greer Garner and seconded by Liz Caton, the DRB voted 4-0 to approve a recommendation to Town Council for a Class 4 conditional use permit application for a trampoline and mining sluice on OS3X, Active Open Space with the following conditions"
- 2) The vote to adjourn was corrected to reflect that the Design review board voted 4-0 to adjourn the June 7th, 2018 Meeting.

Consideration of a Final Review Application for a new single-family home on Lot 359, 115 Snowfield Drive.

Sam Starr presented the consideration of a Class 3 Final Review for a new single-family home on Lot 359, 115 Snowfield Drive. Narcis Tudor of Narcis Tudor Architects presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by David Craige and seconded by David Eckman, the DRB voted 7-0 to continue the Final Review application for Lot 359 to the September 6th, 2018 meeting.

Consideration of an Initial Architectural Site Review for a new single-family home on Lot 346, 527 Benchmark Drive.

Michelle Haynes presented the Initial Architectural Site Review for a new single-family home on Lot 346, 527 Benchmark Drive. Chris Hawkins of Alpine Planning LLC and Tommy Hein of Tommy Hein Architects presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by Greer Garner and seconded by David Craige, the DRB voted 7-0 to approve the Initial Architectural Site Review application with the stated variations and specific approvals for Lot 346 with the following conditions:

1. *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
2. *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
3. *Prior to issuance of a CO the owners of Lot 346 will enter in to a General Easement Encroachment Agreement with the Town of Mountain Village for the address monument in the western GE and the retaining walls along the ski access.*
4. *Pre- and post construction grades along with clear north, south, east and west elevations be submitted with their final review application so that heights can be verified consistent with the CDC.*

5. *Prior to Final Review, the applicant will provide clear elevations depicting specifics of glass fenestration, materiality, and roof elements.*
6. *Prior to Final Review, applicant will provide detailed plans for proposed retaining walls.*

Consideration of a Design Review application for converting an existing cedar shake roof to CeDUR synthetic roofing on Lot 313, 400 Benchmark Drive.

Vice chairman Luke Trujillo and member Jean Vatter left the meeting at 12:40PM

Craige chaired the meeting.

Sam Starr presented the consideration of a Design Review application for converting an existing cedar shake roof to CeDUR roofing on Lot 313, 400 Benchmark Drive.

No public comment was provided.

On a **Motion** made by Dave Eckman and seconded by Greer Garner, the DRB voted 5-0 to approve the Design Review application for converting an existing cedar shake roof to CeDUR synthetic roofing on Lot 313, 400 Benchmark Drive. There were no conditions.

Consideration of a Design Review Final Review application for a new single-family home on lot 600-BR1, 15 Trails Edge Lane.

Sam Starr presented the Consideration of a Final Design Review application for a new single-family home on Lot 600BR-1, 15 Trails Edge Lane. Jack Wesson of Jack Wesson Architects and Russ Montgomery of ProSet Construction presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by Greer Garner and seconded by Keith Brown the DRB voted 5-0 to approve the Final Design Review application with the stated variations and specific approvals for Lot 600BR-1 with the following conditions:

- 1) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.*
- 2) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 3) *Applicant submit a revised Construction Mitigation Plan to address parking of vehicles in the General Easement.*
- 4) *Telluride Fire Protection District must approve of the address identification sign prior to installation.*

Consideration of a Final Review Application for a new single-family home on Lot 359, 115 Snowfield Drive.

On a **Motion** made by Dave Eckman and seconded by Liz Caton the DRB voted 5-0 to reconsider the Final Design Review application for a new single-family home on Lot 359, 115 Snowfield Drive.

Sam Starr presented the consideration of a Class 3 Final Review for a new single-family home on Lot 359, 115 Snowfield Drive. Narcis Tudor of Narcis Tudor Architects presented on behalf of the owner.

No public comment was provided.

On a **Motion** made by Dave Eckman and seconded by Greer Garner the DRB voted 5-0 to approve the Final Design Review application with the stated variations and specific approvals for Lot 359, Snowfield Drive with the following conditions:

- 1) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 2) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 3) *Contractor/owner will enter into a license agreement with the Town for the temporary construction staging in the Rocky Road RROW.*
- 4) *Prior to issuance of a CO the owners of Lot 359 will enter in to a General Easement Encroachment/RROW Agreement with the Town of Mountain Village for the exterior parking, retaining wall and driveway abutments in the southern GE and the backing area in the Rocky Road RROW.*
- 5) *Exterior linear light source will be 1.5Watts per square foot, installed at a 45 degree channel inked back towards the house, with frosted lenses and a dimming system to achieve UBC footcandle requirements.*
- 6) *Passage of this agenda item excludes Utility and Grading Plan C1; instead, the driveway shall be in conformance with the representations made in the renderings and other packet materials. Should the applicant wish to revisit the driveway alignment, he will need to do so in a separate application.*

Consideration of an Initial Architectural Site Review for a new single-family home on Lot AR-31, 125 Singletree Ridge.

Sam Starr presented the Initial Architectural Site Review for a new single-family home on Lot AR-31, 125 Singletree Ridge. Narcis Tudor of Narcis Tudor Architects presented on behalf of the owner.

No public comment was provided.

Board member Jean Vatter returned at 1:46PM

On a **Motion** made by David Eckman and seconded by Greer Garner, the DRB voted 5-1, with Keith Brown opposing, to approve the Initial Architectural Site Review application with the stated variations and specific approvals for Lot AR-31 with the following conditions:

1. *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
2. *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
3. *Applicant shall study and refine structure to deemphasize garage element prior to Final Review*

4. *Applicant shall study and base element of the columns and provides alternate solution prior to Final Review.*
5. *Applicant shall study snowshed and adjusts the roof accordingly.*
6. *Applicant brings the stone percentage into compliance with the Community Development Code.*

Other Business

Board Member Dave Eckman left at 2:05PM

Planner Sam Starr discussed greenhouses in Mountain Village, and how the existing Community Development Code does not differentiate between personal and commercial greenhouse uses. The board unanimously agreed that staff should come back with draft code language that clarifies types of greenhouses and the permitting process for residential and commercial greenhouses.

Adjourn

On a Unanimous **Motion**, DRB voted 5-0 to adjourn the July 12th, 2018 meeting of the Mountain Village Design Review Board at 2:21 p.m.

Prepared and Submitted by,

Sam Starr
Planner
Town of Mountain Village



PLANNING & DEVELOPMENT SERVICES

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Design Review Board

FROM: Michelle Haynes, Planning and Development Services Director

FOR: DRB Meeting on August 2, 2018

DATE: July 8, 2018

RE: Consideration of a Minor Revisions application for Design Variations to an Address Monument at Lot 1151, 132 High Country Drive

APPLICATION OVERVIEW:

The applicants built an address monument different from the approved DRB address monument and would like the DRB to consider approving the address monument as built, which will require a number of design variation approvals.

PROJECT GEOGRAPHY

Legal Description: Lot 1151, Telluride Mountain Village
Address: 132 High Country
Applicant/Agent: John and Liz Raese
Owner: John and Liz Raese
Zoning: Single Family
Existing Use: Single Family
Lot Area: 0.513 acres

Adjacent Land Uses:

- **North:** Single Family
- **South:** Single Family
- **East:** Single Family
- **West:** Open Space

ATTACHMENTS

- Exhibit A: Constructed Address Monument - dimensioned
- Exhibit B: Approved Address Monument
- Exhibit C: Context pictures including neighborhood address monuments

BACKGROUND

On September 7, 2017, the Design Review Board approved extension of an existing patio and retaining wall into the General Easement, new exterior lighting of a walkway, a new address monument and a new walkway from the front entrance to the new patio on Lot 1151. The approved DRB address monument is attached as exhibit B and conforms with the CDC.

The town received a complaint regarding the constructed address monument in November 2017 with specific concern that the address monument did not conform to the CDC, its DRB approval or similar address monuments on the street.

Staff observed the constructed address monument did not conform with the approved address monument and CDC standards. See exhibit A & C.

The town has been working with the owner on this issue and other compliance issues since November of 2017 to resolve matters. The owners have elected to bring a minor revisions application to the town to allow for the constructed address monument to remain, rather than the other two alternatives which could have been to modify the existing monument to conform to the CDC or remove and replace the monument with the DRB approved address monument. Staff has elevated this application to the DRB board because the request requires a number of design variations to be considered and/or approved.

ADDRESS MONUMENT CRITERIA. Staff comments are in bold and italic.

CDC Section 17.5.13.E.4 Address Identification Sign states the following:

b. **Lettering Size and Required Height.** Lettering and numbers shall be a minimum height of six inches (6") with the bottom of the letters and numbers no less than fifty-four inches (54") from the finished grade.

The numbering is 6 inches meeting the requirement. The project name, "The Bear House," is prohibited (see below) so the height of these letters is immaterial.

c. **Maximum Height.** The maximum height is six feet (6').

The address monument is 13 feet 6 inches as built.

d. **Contrast.** Contrasting letters and numbers are allowed (i.e., black) to improve daytime visibility. Lettering shall have reflective material outline for nighttime visibility when lighting fails.

The applicants have indicated the lettering is reflective.

e. **Illumination.** The address lettering and numbers shall be illuminated with a concealed LED or other energy efficient light source that does not cause glare to motorists or surrounding properties.

The two light fixtures are downlit and directed toward the sign.

g. **Addresses Only.** Only address numbers and letters are permitted. Names, project names or slogans of any nature are prohibited on the address monument.

A project name is on the address monument, "The Bear House" which is prohibited.

ADDRESS MONUMENT DESIGN VARIATIONS REQUESTED 17.4.11.E.5.e

Design variations may be granted by the DRB so long as the criteria is also met. The criteria is listed below.

e. The following criteria shall be met for the review authority to approve a design variation:

i. The design variation is compatible with the design context of the

surrounding area:

- ii. The design variation is consistent with the town design theme;
 - iii. The strict development application of the Design Regulations(s) would prevent the applicant or owner from achieving its intended design objectives for a project;
 - iv. The design variation is the minimum necessary to allow for the achievement of the intended design objectives;
 - v. The design variation is consistent with purpose and intent of the Design Regulations;
 - vi. The design variation does not have an unreasonable negative impact on the surrounding neighborhood; The proposed design variation meets all applicable Town regulations and standards: and
 - vii. The variation supports a design interpretation that embraces nature, recalls the past, interprets our current times, and moves us into the future while respecting the design context of the neighborhood surrounding a site.
- f. Cost or inconvenience alone shall not be sufficient grounds to grant a design variation.
- g. It shall be the burden of the applicant to demonstrate that submittal material and the proposed development substantially comply with the design variation process.

If approved, the DRB would be allowing for the following design variations to the existing address monument:

- Variation to the Maximum Height of 6'
- Variation to allow a project name which is otherwise prohibited

STAFF ANALYSIS

It is within the DRB's discretion to approve design variations to the existing address monument based upon the design variation criteria listed above. The purpose of the address monument standards is both aesthetic and for fire and emergency ease of identification. Staff does not support approval of the address monument as constructed for the following reasons:

- 1) It does not conform to the address monuments on the block in height, numbering or material.
- 2) It does not conform to the address monument design approved by the DRB.

And with the following findings:

- 1) The design variation is NOT the minimum necessary to allow for the achievement of the intended design objectives.
- 2) The design variation does have an unreasonable negative impact on the surrounding neighborhood because it is out of scale and context and a neighbor complained that it was not consistent with the CDC nor the neighborhood

STAFF RECOMMENDATION

The DRB can approve, deny or recommend a modification to the request to approve design variations and allow for the existing as-built monument to remain.

- If the DRB wishes to approve but modify the existing address monument staff recommends the height be reduced to the CDC requirement of no greater than 6 feet and remove “the bear house” from the metal fabricated address identification portion of the sign.
- If the DRB choose to approve as requested, that motion is straight forward.
- If the DRB chooses to deny the application, then applicant would need to remove and construct the address monument to the approved plan approved on September 7, 2017 and cite the findings and reasons as stated in the staff memo of record.

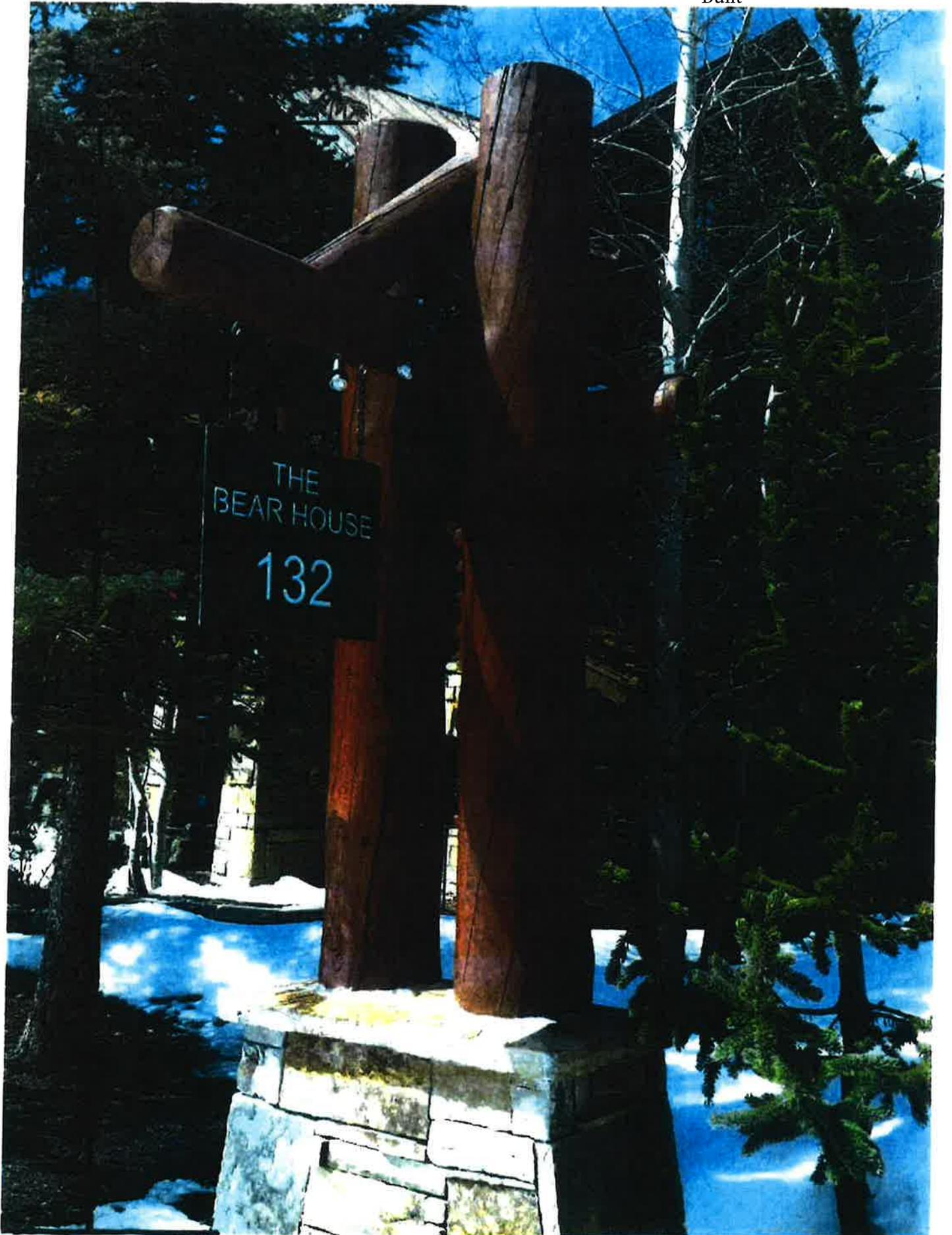
RECOMMENDED ALTERNATIVE MOTIONS

A) I move to approve or modify the minor revisions application regarding the existing address monument at 132 High Country (Lot 1151) with the following design variations as stated [or as modified] and with the findings stated in the staff memo of record dated July 8, 2018

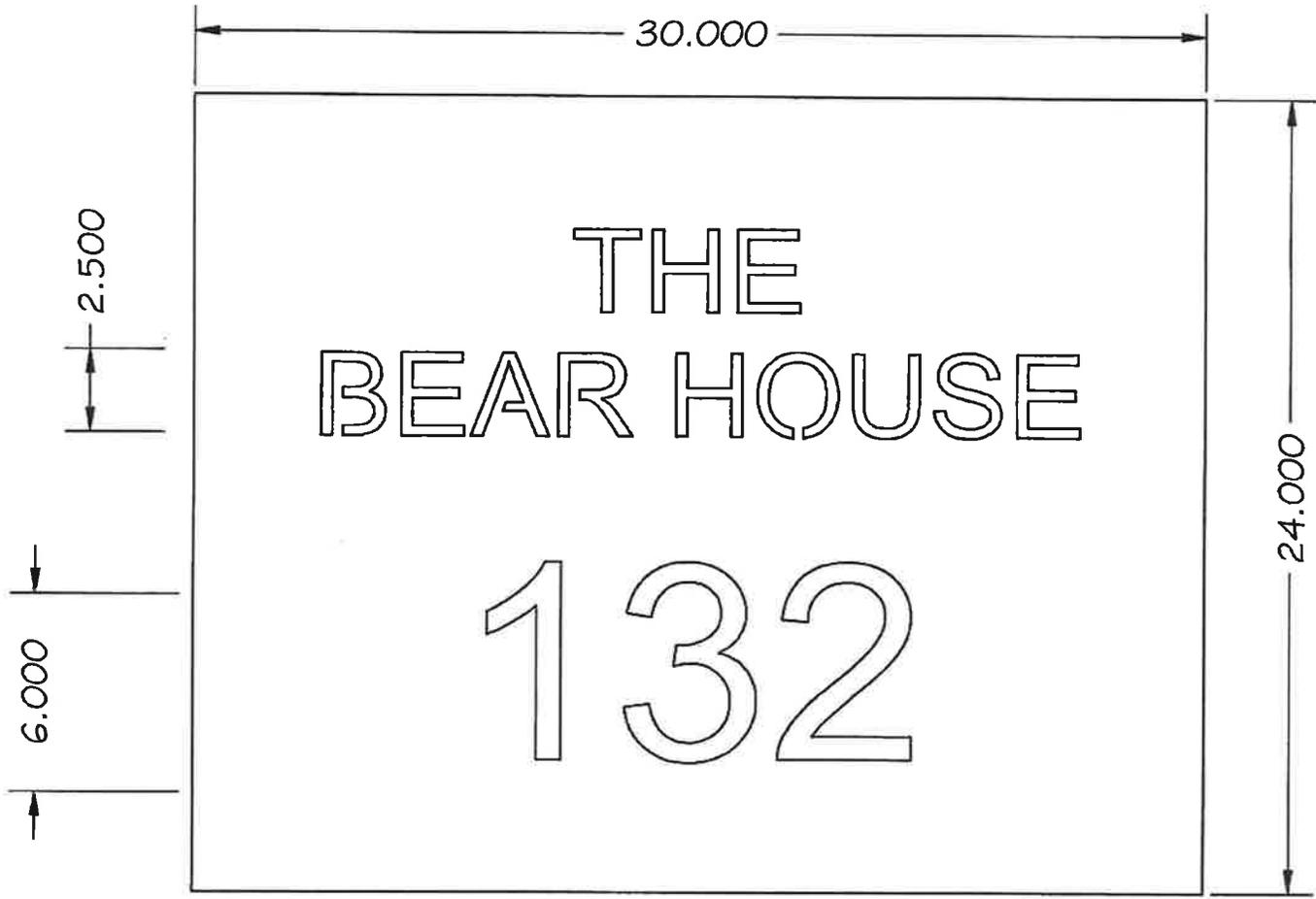
OR

B) I move to deny the minor revisions application regarding an existing address monument at 132 High County and require the owner to construct the address monument per the DRB approval rendered at the September 7, 2017 DRB hearing with the findings as stated in the staff memo of record dated July 8, 2018.

This motion is based upon evidence and testimony provided at a public hearing on August 2, 2018..



By letter it



THE
BEAR HOUSE

132

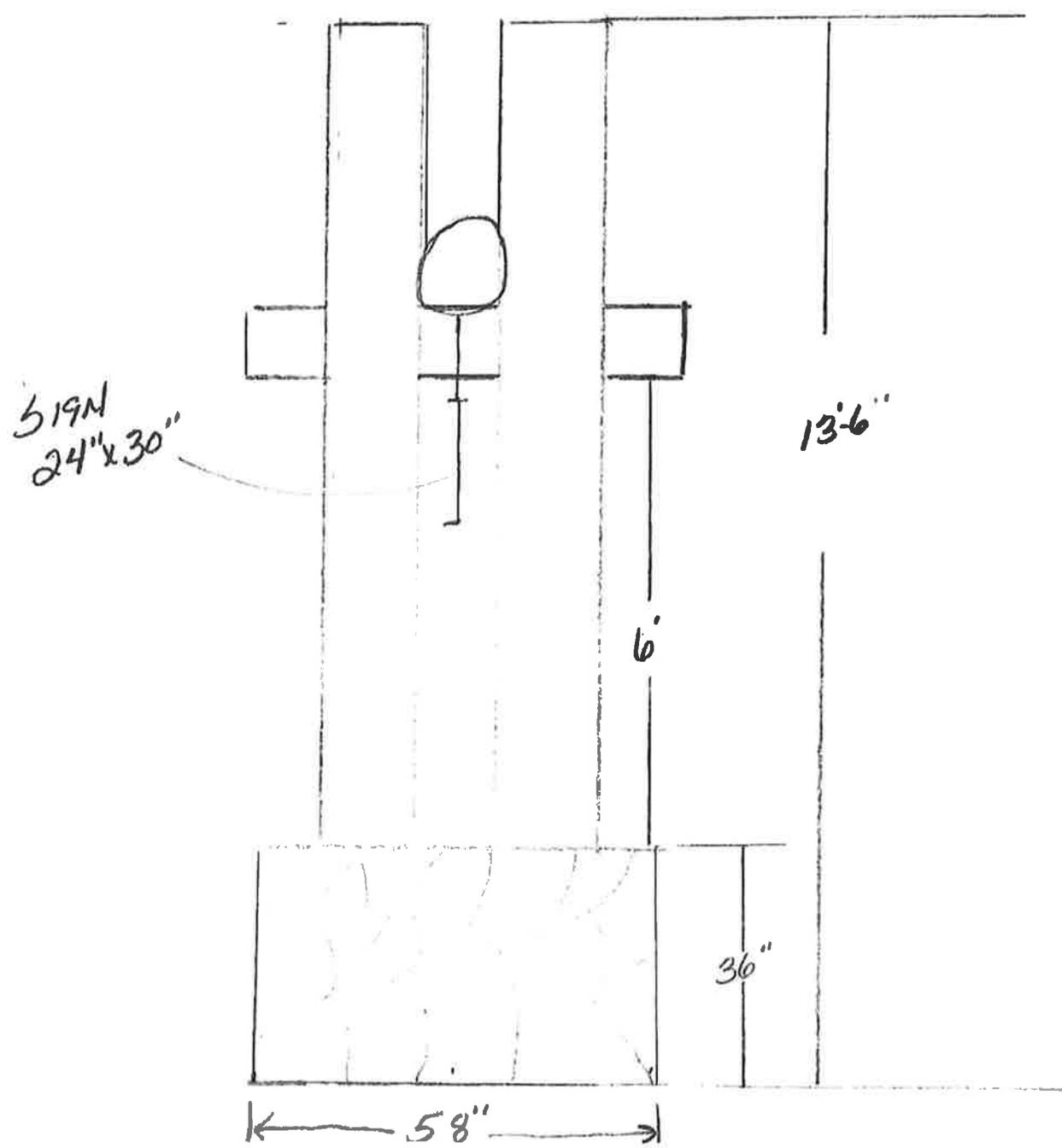
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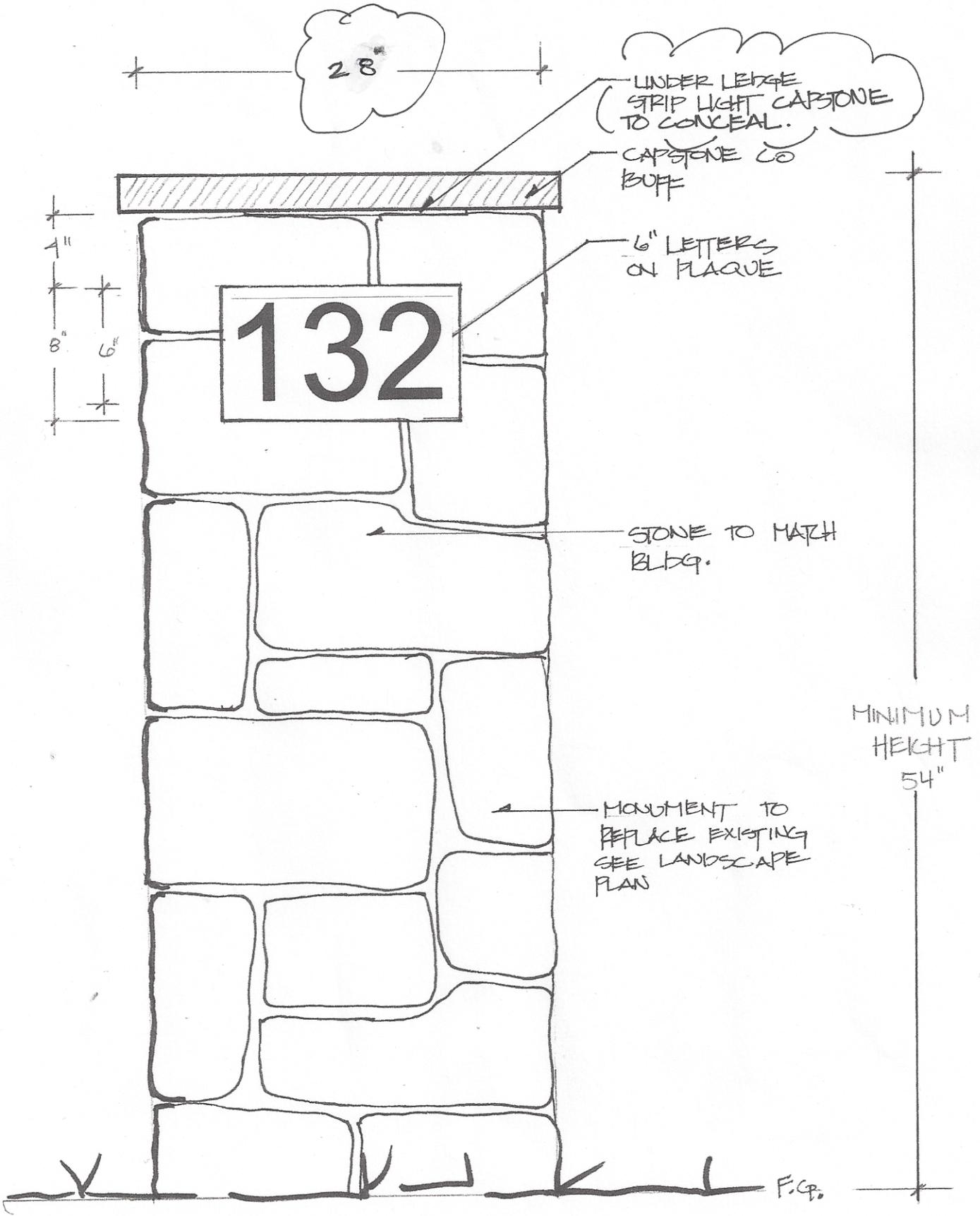
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6.000

RAESE AS BUILD



9/20/17



ADDRESS MONUMENT

1/2" = 1"





Exhibit C. North adjacent
Neighbor Address
monument



Exhibit C. Context Photo South
Neighbors Address Monuments





**PLANNING & DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Design Review Board
FROM: Sam Starr, Planner
FOR: Meeting of August 2, 2018
DATE: July 20, 2018
RE: Consideration of an Initial Architectural Site Review application for a new single-family dwelling on Lot 165 Unit 11, Cortina Drive

PROJECT GEOGRAPHY

Legal Description: Lot 165
Address: 210 Cortina Drive
Applicant/Agent: Centre Sky Architecture
Owner: Michael Talbott
Zoning: Multi-Family Zone District
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: 0.21 Acres
Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Open Space

ATTACHMENTS

- Exhibit A: Applicant Narrative
- Exhibit B: Plan Set

BACKGROUND

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Initial Architectural Site Review for the development of a single-family residence. The proposed dwelling unit is located on Cortina Drive, and consists of 4,972 livable square feet with 124 square feet of mechanical space and a 676 square foot garage. The site area consists of 0.21 acres and is characterized by a substantial slope on the western portion that has driven the design and placement of this residence.

PROJECT SUMMARY

CDC Provision	Requirement	Proposed
Maximum Building Height	35 + 5' (if gable form) maximum	37' 9"
Maximum Avg Building Height	30' + 5' (if gable form) maximum	28'
Maximum Lot Coverage	65%	48%
General Easement Setbacks		
North	16' Setback	15' 10"
South	16' Setback	16' 2"
East	16' Setback	16'
West	10' Easement	10' 7"
Roof Pitch		
Primary		2:12
Secondary		7:12
Exterior Material		
Stone	35%	35.10%
Wood	No requirement	27.60%
Windows/Doors	40% maximum for windows	21.40%
Metal Accents	No requirement	15.90%
Parking	2 enclosed	2 enclosed

17.3.12.C BUILDING HEIGHT LIMITS

The average height for the proposed design is code compliant at 28". The proposed maximum height is 37' – 9", which falls within the maximum height allowed for a single family home with a gabled roof. To verify that the finished product matches the proposed plans, staff recommends that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review approval as it is a construction condition.

17.5.5 BUILDING SITING DESIGN

Lot 165, Unit 11 is a small lot (0.21 acres) that slopes considerably from the east to the west. The topography-driven siting of the home has caused portions of the driveway to be in parts of the General Easement and the Road Right of Way. To accommodate the structural elements in the GE and RROW, the applicant will need to enter into a General Easement Encroachment Agreement for the stone walkway and driveway. Staff also recommends that a monumented land survey of the footers be provided prior to pouring concrete to determine there are no further encroachments into the GE. This condition shall also be carried over to any Final Review approval as it is a construction condition.

17.5.6 BUILDING DESIGN

Building Form and Exterior Wall Form

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation. Moreover, the materials and form align with the character of the neighborhood.

Roof Forms, Design and Materials

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines, and vertical offsets. The primary roof forms 7:12 roofs, and the secondary roofs are 2:12, both of which are gabled. 3 chimneys are also present and will require DRB deliberation on appropriateness of size and orientation, since the eastern chimney appears to encroach into the northern setback. The applicant proposes to use a rusted standing seam for the roofing material.

Exterior Wall Materials

The exterior walls consist of 35.10% stone veneer, which will be a mix of a gray quartzite plank of varying dimensions, and a 6” ashlar layup. 27.60% of the exterior materials will be an 8” vertical cedar ship lap-wood, while the remainder of the materiality will be 21.40% fenestration, and 15.90% metal accents.

17.5.7 GRADING AND DRAINAGE PLAN

The applicant has provided a grading and drainage plan for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades of 3:1 or flatter. The driveway and other fill areas will be graded with the foundation excavation. The applicant proposes to locate a portion of the driveway, and the 3 foot concrete v pan to be in the Cortina Drive road right of way.

17.5.8 PARKING REGULATIONS

The applicant shows 2 enclosed parking spaces, which is consistent with the requirements for a Single Family Common Interest Community. However, a portion of the driveway, retaining walls, and drainage pans remain in the Cortina Drive right of way. The applicant has indicated that there will be snowmelt on the driveway, but the amount will not exceed 1000 square feet.

17.5.11 UTILITIES

All shallow utilities are proposed to be run from the southern portion of the lot. Public Works requests that all utilities be field located by the contractor prior to construction.

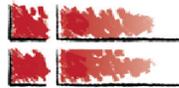
RECOMMENDATION

Staff recommends the DRB approve the Initial Architecture Site Review application with the stated variations and specific approvals for Lot 165 Unit 11 with the following conditions which shall be addressed before Final Review hearing unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.
3. Prior to issuance of a CO the owners of Lot 165 unit 11 will enter in to a General Easement Encroachment/RROW Agreement with the Town of Mountain Village for the exterior parking, retaining wall and driveway abutments in the eastern GE and the backing area in the Cortina RROW.

CENTRE SKY
ARCHITECTURE LTD

10125 RANCHO MONTECITO DRIVE
PARKER COLORADO 80138
303.840.0020
303.840.2299 F



11 LONE PEAK DR #206; BOX 161488
BIG SKY MONTANA 59716
406.995.7572
406.995.7477 F

T11 Project Narrative:

Located in Mountain Village, Lot 11 is a down sloping site off of Cortina Drive. The lot is heavily covered with aspen trees and some pine trees. Lot 11 has great southern and western sun exposure. It also has views to the San Sophia Range to the East and views to ski run to the West. Lot 11 is a ski in ski out lot and has a skier access easement on its western property boundary.

The proposed design for Lot 11 has a mountain contemporary architectural theme. Exterior materials include vertical ship lap gray siding, two stone textures with one as a stone veneer planks and the second an ashlar layup at the great room fireplace stack, black metal paneling, black window frames, and a dark graphite gray metal standing seam roofing. Public spaces of the Great Room, Kitchen, and Dining are pushed to the North side of the site to take advantage of views and passive solar gain. This is achieved through large windows and doors that open up to a patio and deck allowing for cross ventilation. The garage and master bedrooms are located on the South side of lot in order to minimize the amount of regrading. Upper level over garage includes two large bedrooms that take advantage of views to the East and West. While the lower level bedrooms, ski room, and family room face west and are accessed via a walk out patio.

We are going to be requesting a variance on maximum log coverage of 40% described in the CDC in 17.3.13. Lot 11 is small at only .21 acres and with the setbacks our buildable area is not very large. Based on the program and design requested by owners our plan is currently at 48% lot coverage. We would be requesting a variance for this issue.

Sincerely,

Jamie Daugaard, AIA, NCARB, LEED ap

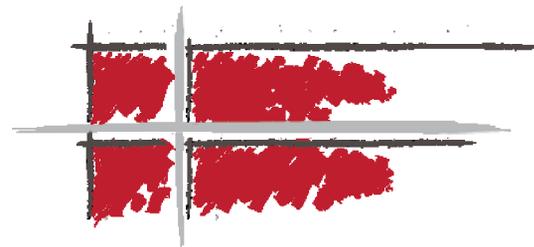
Principal Architect-Centre Sky Architecture

CORTINA LOT 11

MOUNTAIN VILLAGE, CO 81435



NOTE:
RENDERINGS MAY DIFFER FROM CONSTRUCTION PLANS.
CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.



CENTRE SKY
ARCHITECTURE LTD

ISSUE # _____



NOTE:
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CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.



CENTRE SKY
ARCHITECTURE LTD

TELLURIDE LOT 1 1

MOUNTAIN VILLAGE, COLORADO

■ CENTRE SKY ARCHITECTURE, LTD.

PROSET CONSTRUCTION ■

CENTRE SKY ARCHITECTURE, LTD.

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E-mail: sara@centresky.com
Website: www.centresky.com

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Parker, CO. 80138
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ARCHITECTURE

MICHAEL TALBOTT

13905 River Glen Ln.
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Cell: (502) 415-2280
E-mail: mtalbott1@gmail.com

CLIENT

PROSET CONSTRUCTION

1519 East Main Street
Montrose, CO 81401
Phone: (907) 626-3114
Cell: (970) 708-9336
Email: davide@prosetconstruction.com, scott@prosetmodular.com
Website: www.prosetmodular.com

GENERAL CONTRACTOR

JESSE PEKKALA STRUCTURAL ENGINEERS

P.O. BOX 688
201 West Colorado Ave. #201
Telluride, CO 81435
Phone: (970) 729-1809
Email: jesse@pekkalaeng.com

STRUCTURAL ENGINEER

LUXWEST PROPERTIES

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■ SCHEMATIC DESIGN/ INITIAL DRB SUBMITTAL

■ JUNE 28, 2018

CENTRE SKY
ARCHITECTURE, LTD.
ARCHITECTURE
&
PLANNING



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CORTINA LOT 11
MOUNTAIN VILLAGE, CO 81435

NOT FOR CONSTRUCTION



06/28/2018



Issued For	Date
* 100% S.D.	-
* Pricing #	-
* DRB Initial Review	06/28/2018
* 100% D.D.	-
* ARC Final Review	-
* 100% C.D.	-
* PHASE 2	-
* REV. #	-

Drawn By S. DAGOSTINO
Date 6/28/2018
Project # 1808.00
Phase SD
Sheet

T1-0.1
TITLE SHEET

CODE ANALYSIS

ZONING: R-1
OCCUPANCY: TYPE V NON RATED
CONSTRUCTION TYPE: REQUIRED - NFPA 13D
ALLOWABLE FLOOR AREA: REQUIRED - MOUNTAIN VILLAGE CDC.
FIRE SUPPRESSION: MOUNTAIN VILLAGE CDC.
IRRIGATION: NON RATED
BEARING & NON-BEARING EXTERIOR WALLS: NON RATED
INTERIOR BEARING WALLS: NON RATED
STRUCTURAL FRAME: NON RATED

BUILDING DEPT: STATE OF COLORADO - SAN MIGUEL COUNTY
BUILDING DEPT PHONE: (970)728-3923
CODE JURISDICTION: T.O. CONC.

2009 INTERNATIONAL RESIDENTIAL CODE
2006 INTERNATIONAL PLUMBING CODE
2009 MECHANICAL CODE
2009 FUEL GAS CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2009 NATIONAL ELECTRICAL CODE
2009 INTERNATIONAL FIRE CODE
TOWN OF MOUNTAIN VILLAGE & SAN MIGUEL COUNTY
PRESCRIPTIVE ENERGY CODE & GREEN BUILDING STANDARDS
NONE
CLASS-A ROOF CONSTRUCTION REQUIRED

ZONING DISTRICT	MINIMUM AREA	MAXIMUM LOT COVERAGE	MAXIMUM HEIGHT	PROPERTY SETBACKS		
				FRONT (ROAD)	SIDE	REAR
REQUIRED	N/A	<40%	30' AVG. MAX - 35' (+5') MAX	16 FEET	16 FEET	10 FEET
ACTUAL	N/A	48%	28' AVG. MAX - 32' (+5') MAX	COMPLIED	COMPLIED	COMPLIED

AREA ANALYSIS

DEFINITIONS:
SQUARE FOOT: As defined by ANSI Z765-2003: Livable floor area as measured from exterior dimensions including thickness of all walls, interior and exterior, excluding fireplace bump-outs, mechanical spaces, garage spaces, and unfinished basement and/or attic space.

GROSS SQUARE FOOT: Total building area as measured from exterior dimensions including thickness of all walls, interior and exterior, mechanical spaces, garage spaces, and accessible un-fished space; does NOT include crawl spaces, patios and decks.

	PROJECT SQUARE FOOTAGE			
	LOWER LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL
LIVABLE	1,846 SF	1,950 SF	1,176 SF	4,972 SF
MECHANICAL	124 SF	NA	NA	124 SF
GARAGE	NA	676 SF	NA	676 SF
TOTAL	1,970 GSF	2,626 GSF	1,176 GSF	5,772 GSF
M. BED 02 PATIO	NA	NA	248 SF	248 SF
M. BED 03 PATIO	NA	NA	213 SF	213 SF
GREAT ROOM DECK	NA	437 SF	NA	437 SF
ENTRY PATIO	NA	483 SF	NA	483 SF
LOWER LEVEL PATIO	468 SF	NA	NA	468 SF
TOTAL	468 SF	920 SF	461 SF	1,849 GSF

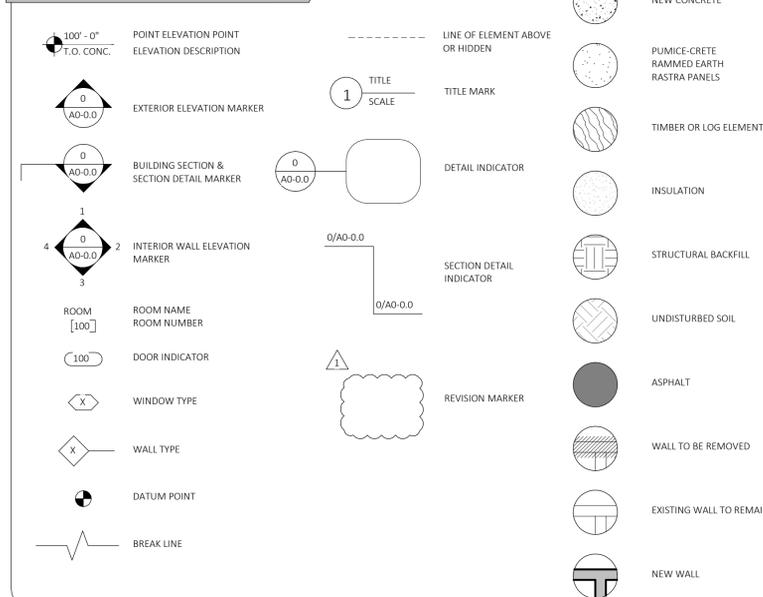
SITE INFORMATION

POWER: SAN MIGUEL POWER ASSOCIATION
1-877-864-7311
CITY: CITY
SEWER: CITY
GAS: SOURCE GAS - (970) 728-6141
MOUNTAIN VILLAGE CABLE - (970) 369 - 0555
CABLE: MOUNTAIN VILLAGE CABLE - (970) 369 - 0555
TELEPHONE SERVICE: 813
UNDERGROUND UTILITY LOCATE: TELLURIDE FIRE PROTECTION DISTRICT
FIRE DEPT: (970) 729-2411 CHIEF/INSPECTOR - J. CHEROSKE
FIRE DEPT. PHONE: (970) 729-2411 CHIEF/INSPECTOR - J. CHEROSKE
DEFENSIBLE SPACE: 30 FEET IS RECOMMENDED
GEOTECHNICAL REPORT: COPIES AVAILABLE UPON REQUEST

DESIGN CRITERIA

BASIC WIND SPEED: 90 MPH/3 SEC. GUST (VERIFY W/ STRUCTURAL ENG.)
SEISMIC DESIGN CATEGORY: "C" (VERIFY WITH STRUCTURAL ENG.)
FROST DEPTH: MINIMUM 48" BELOW FINISH GRADE
SNOW LOADS: - PSF (VERIFY W/ STRUCTURAL ENG.)
FOUNDATION STANDARD: REFER TO STRUCTURAL DRAWINGS, GENERAL NOTES & FOUNDATION DETAILS.

GRAPHIC SYMBOLS



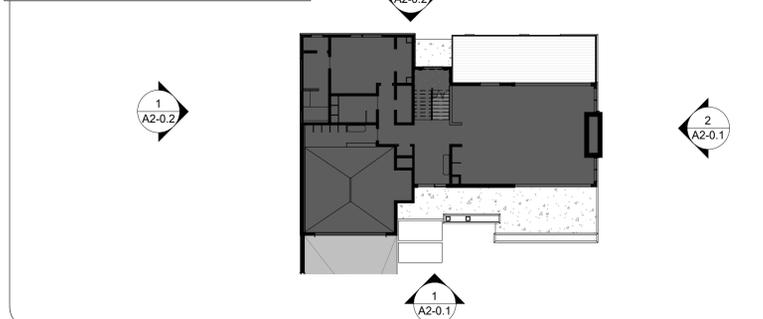
VICINITY MAP



SHEET INDEX

GENERAL	COVER
00	01 PERSPECTIVES
T1-0.1	TITLE SHEET
AD-0.0	GENERAL NOTES
AD-0.1	GENERAL NOTES
AD-0.2	MATERIAL SPECIFICATIONS
CIVIL	
CI-0.1	GRADING PLAN
AR-0.1	SITE PLAN
ARCHITECTURAL	
A1-1.0	LOWER LEVEL PLAN
A1-1.1	MAIN LEVEL PLAN
A1-1.2	UPPER LEVEL PLAN
A1-3.1	ROOF PLAN
A1-3.2	ROOF PLAN & TOPO SURVEY
A2-0.1	EXTERIOR ELEVATIONS
A2-0.2	EXTERIOR ELEVATIONS

KEY PLAN



ABBREVIATIONS

AB	anchor bolt	DWG	drawing	HT	height	PC	pumice-crete	STN	stone
ABV	above	DWR	drawer	HTG	heating	PIRE	perforate	STIFF	stiffener
AAC	autoclaved aerated concrete			HWD	hardwood	PERIM	perimeter	STO	storage
ADJ	adjacent	E	east, egress	HVAC	heat/ventilate/air condition	PL	plaster	STR	structural
AFF	above finished floor	EA	each	ID	inside diameter	PLAM	plastic laminate	SUSP	suspended
AGG	aggregate	EHD	electric hand dryer	INCL	include (d) (ing)	PLAS	plastic	SV	stacked voids
ALUM	aluminum	EJ	expansion joint	INSUL	insulate (d) (ion)	PLF	plate	T	tread
ALT	alternation	EL	electric (all)	INT	interior	PLT	plate	TB	towel bar
ARCH	architect (ural)	ELEC	electric (all)	IRC	international residential code	PNL	panel	TC	terra cotta
ASPH	asphalt	EQPM	equipment	INV	invert	PNT	paint (ed)	TEL	telephone
A/C	air conditioning	EQT	equipment	JST	joist	PSF	pounds per square foot	THK	thick (ness)
AVG	average	EWC	electric water cooler	JT	joint	PSI	pounds per square inch	TO	top of
BD	board	EXST	existing	K	knockout	PTD	paper towel dispenser	TOC	top of concrete
BLDG	building	EXH	exhaust	KIT	kitchen	PTN	partition	TOS	top of steel
BLK	block	EXT	exterior	LO	knockout	PVC	polyvinyl chloride	TOW	top of wall
BLKG	blocking			L	length, angle	PVMT	pavement	TPD	toilet paper dispenser
BN	bottom of	FC	faucet	KO	knockout			TPH	toilet paper holder
BOT	bottom	FD	floor drain	L	length, angle			TR	trash compactor
BR	bedroom	FDN	foundation	LAM	laboratory			TS	tube steel
BRG	bearing	FE	fire extinguisher	LAB	laboratory	QT	quarry tile	TV	television
BSMT	basement	FEC	fire extinguisher cabinet	LAV	lavatory			TYP	typical
BUR	built up roofing	FFE	factory finish	LB	labeled	R	riser, radius	T&G	tongue and groove
		FF	finished floor elevation	LF	lineal feet	R/A	return air		
C	channel	FIN	finish	LL	live load	RB	room	UBC	uniform building code
CB	cabinet	FLG	flashing	LF	live load	RCP	reflected ceiling plan	UE	underground electric
CB	catch basin	FLR	floor (ing)	LT	light	RD	roof drain	UL	underwriters laboratory
CG	corner guard	FLUR	flooring	LWC	lightweight concrete	RE	reference	UNO	unless noted otherwise
CTR	center	FND	feminine napkin dispenser	MAS	masonry	RF	refrigerator	VERT	vertical
CI	cast iron	FNV	feminine napkin vendor	MATL	material (s)	RG	register	VCT	vinyl composition tile
CI	control joint	FOC	face of concrete	MAX	maximum	REG	register	VR	vapor retarder
CL	ceiling	FOF	face of finish	MECH	mechanic (al)	REINF	reinforce (d) (ing)		
CG	closet	FOM	face of masonry	MECH	mechanic (al)	REQD	required		
CLR	clear (ance)	FOS	face of stud	MTL	metal	REV	revision (s), revised	W	west, wide, width
CMU	concrete masonry unit	FRMG	framing	MFR	manufacture (r)	RFG	roofing	W/	with
CMA	carbon monoxide alarm	FTC	footing	MH	manhole	RM	room	WC	water/closet
COL	column	FUG	footing	MIN	minimum	RO	rough opening	WD	wood
CONC	concrete	FTG	footing	MH	manhole	ROW	rough opening	WID	width
CONC	concrete	FTG	footing	MH	manhole	RS	rough sawn	WF	wide flange
CONST	construction	GA	gauge, gauge	MISC	miscellaneous	RUB	rubber	WG	wire glass
CONT	continuous or continue	GAL	gallon	MLD	molding, moulding	RW	refrigerator drawers	WI	wrought iron
CORR	corridor	GAL	gallon	MMB	membrane	S	south	W/O	without
CPT	carpet (ed)	GB	grab bar	MO	masonry opening	SA	smoke alarm	WP	waterproof (ing)
CLG	ceiling	GC	general contract	MOV	movable	S/A	smoke alarm	WR	warming drawer
CM	ceramic tile	GDO	garage door opener	MT	mount (ed) (ing)	SAG	suspended acoustic grid	WS	water supply
CT	clothes dryer	GI	galvanized iron	NT	not to scale	SCH	schedule	WVF	welded wire fabric
CW	clothes washer	GL	glass, glazing	N	north	SD	solid core		
		GWB	gypsum wall board	NAT	natural	SECT	section		
		GVP	galvanized gypsum	N	north	SH	sheet	∠	angle
DBL	double	GV	gypsum	NAT	natural	SHG	shelving	⊕	centerline
DBL	drinking fountain	GYP	gypsum	NT	not in contract	SIM	similar	∅	diameter
DH	double hung			NOM	nominal	SN	sink	⊥	perpendicular
DIAG	diagonal	HAS	headed anchor stud	NTS	not to scale	SPD	soap dispenser	⊔	plate
DIAM	diameter	HBB	hose bibb	OBS	obscure	SPEC	specification		
DIM	dimension (s)	HDB	hardboard	OC	on center (s)	SPKR	speaker		
DISP	dispenser	HDC	hollow core	OD	outside diameter	SQ	square		
DL	dead load	HCP	handicap (ped)	OD	outside diameter	SSK	service sink		
DN	down	HDR	header	OFD	overflow drain	SS	sanitary sewer		
DP	drain disposal	HDW	hardware	OPG	overhead	ST	steel		
DR	door	HM	hollow metal	OPH	opposite hand	STD	standard		
DS	downspout	HOR	horizontal	OPP	opposite				
DTL	detail	HP	horsepower						
DW	dish washer								

GENERAL NOTES

- ALL CONSTRUCTION INCLUDED UNDER THIS CONTRACT SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE & LOCAL CODES, STANDARDS, REGULATIONS, ORDINANCES, SPECIFICATIONS AND ANY APPLICABLE DESIGN OR ARCHITECTURAL REVIEW COMMITTEES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS APPLICABLE TO THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ON-SITE REVIEWS BY BOTH THE GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER AT THE APPROPRIATE CONSTRUCTION PHASES AS SET FORTH BY EACH SPECIALTY.
- GENERAL CONTRACTOR/CONSTRUCTION MANAGER AS WELL AS SUB-CONTRACTORS SHALL BE FAMILIAR WITH & COMPLY TO ALL PROCEDURES SET FORTH BY FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES IN THE CONSTRUCTION OF THIS PROJECT. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FURNISH ALL AFFIDAVITS, CERTIFICATES, & REPORTS THAT MAY BE REQUIRED BY ANY & ALL AGENCIES INCLUDING ANY APPLICABLE DESIGN OR ARCHITECTURAL REVIEW COMMITTEES UPON REQUEST.
- ALL CONSTRUCTION DOCUMENTS ARE BASED ON THE ACCURACY OF THE EXISTING RECORD DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER AND TRADE CONTRACTORS TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE INSTALLATION OF ANY NEW WORK OR DEMOLITION OF EXISTING CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND BETWEEN THE EXISTING CONDITION AND THE CONSTRUCTION DOCUMENTS THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- INTERRUPTION OF EXISTING UTILITIES AND SERVICES AS NECESSARY MUST BE COORDINATED WITH THE OWNER'S REPRESENTATIVE WITH A MINIMUM OF 72 HOURS PRIOR NOTICE. THESE SERVICE INTERRUPTIONS INCLUDE BUT ARE NOT LIMITED TO: WATER, POWER, SANITARY SEWER, GAS, TELEPHONE, CABLE, ETC.
- CONTRACTORS SHALL COMPLY WITH ALL CONSTRUCTION DOCUMENTS, INCLUDING OUTLINE SPECIFICATIONS. **DO NOT SCALE DRAWINGS!** FOLLOW DIMENSIONS AS PER PLANS. NOTIFY ARCHITECT OF ANY CONFLICTS.
- SPECIFICATIONS AND DRAWINGS INDICATE FINISHED STRUCTURE. BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES, AND CONDITIONS (INCLUDING SAFETY), EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS.
- CONTRACTORS AND SUB CONTRACTORS SHALL RIGIDLY ADHERE TO ALL LAWS, CODES, AND ORDINANCES WHICH APPLY TO THIS WORK. THEY SHALL NOTIFY AND RECEIVE CLARIFICATION FROM ARCHITECT IN WRITING OF ANY VARIATIONS BETWEEN CONTRACT DOCUMENTS AND GOVERNING REGULATIONS.
- PRIOR TO MATERIAL FABRICATION, SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR CONFORMANCE TO DESIGN. REFER TO NOTES BELOW ON "SHOP DRAWINGS" AS WELL AS STRUCTURAL ENGINEER'S GENERAL NOTES FOR FURTHER INFORMATION. THE CHECKING OF SHOP DRAWINGS BY THE ARCHITECT OR ENGINEER IN NO WAY RELIEVES THE CONTRACTOR OF FULL RESPONSIBILITY FOR ACCURATE COMPLETION OF THE WORK AS DRAWN AND SPECIFIED.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL WALL TYPES CONFORM TO STRUCTURAL SHEAR WALL REQUIREMENTS. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION.
- PROVIDE SCREEN WALL AT ALL EXTERIOR MECHANICAL EQUIPMENT. SCREEN WALL TO BE AT A MIN. HEIGHT OF 1'-0" ABOVE THE MECHANICAL EQUIPMENT, UNLESS NOTED OTHERWISE.
- A RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS.
- GUARDRAILS ARE REQUIRED AT ANY LOCATION HAVING A VERTICAL DROP GREATER THAN 30 INCHES AND ARE TO BE 36" MINIMUM IN HEIGHT.
- OPEN GUARDRAILS AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
- INSTALL HANDRAILS AT ALL STAIRS HAVING MORE THAN TWO RISERS, UNLESS SHOWN OTHERWISE. HANDRAILS TO BE NOT LESS THAN 34 INCHES, NOR MORE THAN 38 INCHES ABOVE NOSING OF TREADS.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 5'-0" O.C. UNLESS NOTED OTHERWISE.
- ALL CONCRETE SLABS ON GRADE TO HAVE SLIP SHEETS INSTALLED BETWEEN SLAB AND SUBGRADE.
- EVERY EFFORT IS MADE TO PROVIDE COMPLETE AND ACCURATE INFORMATION. IF THERE IS ANY CONFLICTING INFORMATION OR OMISSIONS IN THE WORKING DRAWINGS OR SUPPLEMENTAL DOCUMENTS, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECT FOR A RESOLUTION.
- PROVIDE INSULATION AS FOLLOWS IN COMPLIANCE WITH 2012 IECC, SEE TABLE 402.1.1 FOR FULL DETAILS.

CEILING	R-49 MIN.
WOOD FRAME WALL	R-20 MIN. OR R-13 CAVITY INSULATION PLUS R-5 INSULATED SHEATHING.
MASS WALL	R-15 MIN. CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME; OR IF MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL, R-19 MIN. CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
FLOOR	R-30 MIN.
BASEMENT WALL	R-15 MIN. CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME; OR IF MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL, R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
SLAB	R-10 MIN. @ 4" DEPTH, R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.
CRAWL SPACE WALL	R-10 MIN. CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.

SITE MANAGEMENT NOTES

GENERAL NOTES

- BUILDING FOOTPRINT SHALL BE LOCATED BY A CERTIFIED SURVEYOR & TO BE REVIEWED AND APPROVED BY ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTOR SHALL REMOVE ALL VEGETATION, TREES, STUMPS, DEBRIS AND EXISTING STRUCTURES, INCLUDING PAVEMENT, SIDEWALK, BUILDING FOUNDATION, ABANDONED UTILITIES AND EXISTING TOPSOIL IN ALL AREAS OF DEVELOPMENT.
- DO NOT DISTURB SITE BEYOND CONSTRUCTION LIMITS AS SET FORTH WITHIN THIS DRAWING SET.
- ALL SURFACES DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED AND OR RE-LANDSCAPED AS SET FORTH IN THE LANDSCAPING PLAN OR TO MATCH EXISTING WHERE NOT NOTED, SUCH THAT THEY BECOME INDISTINGUISHABLE FROM ADJACENT UNDISTURBED NATURAL AREAS.
- NOTICE TO ALL CONTRACTORS AND SUBCONTRACTORS: PROTECT NATURAL VEGETATION, TERRAIN, ROCKS, ETC. FROM STUCCO, PAINT, ROOFING FOAM, CONCRETE OR OTHER DAMAGE BY COVERING WITH PLASTIC OR AS REQUIRED. PROVIDE A 4'-0" HIGH BARRIER WITHIN BUILDING ENVELOPE (WHEN APPLICABLE). KEEP MATERIALS AND WORKMEN WITHIN THE FENCE TO PREVENT DAMAGE TO NATURAL TERRAIN AND VEGETATION. THE COST OF RECLAIMING OR REPAIRING ANY DAMAGE DUE TO NEGLIGENCE WILL BE AT THE CONTRACTOR'S / SUBCONTRACTOR'S EXPENSE.
- ANY AREAS EXTENDING BEYOND THE IMMEDIATE BUILDING SITE THAT ARE DISTURBED DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO, DRAINAGE FACILITIES AND UTILITY (SEWER, WATER, ELECTRIC, ETC.) TRENCHES SHALL BE RESTORED TO THEIR NATURAL STATE.
- ALL TRADES SHALL BE RESPONSIBLE TO COMPLETE SITE INVESTIGATION TO IDENTIFY SCOPE OF MATERIALS TO BE REMOVED AND NEW MATERIALS REQUIRED TO MATCH EXISTING CONSTRUCTION.
- ALL PROPERTY AND BUILDING LINES AS WELL AS ALL SPOT ELEVATIONS SUCH AS TOP OF PWD IN RELATION TO EXISTING GRADE, SHALL BE FIELD VERIFIED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- HOUSE ADDRESS MARKING: A HOUSE NUMBER SHALL BE DISPLAYED IN A PROMINENT MANNER, SO THAT IT IS REASONABLY VISIBLE TO ENABLE EMERGENCY VEHICLES TO LOCATE THE RESIDENCE.
- ALL REMAINING WALLS TO HAVE DRAIN TILE SURROUNDED BY 3/4" CRUSHED GRAVEL WRAPPED IN GEOTEXTILE BEHIND WALL AND WEEPS @ 4'-0" O.C. (TYP). REFER TO SOILS REPORT FOR FURTHER INFORMATION.
- 3'-0" NON COMBUSTIBLE SPACE AROUND HOUSE PERIMETER IS REQUIRED 30'-0" DEFENSIBLE SPACE AROUND HOUSE PERIMETER IS STRONGLY RECOMMENDED.

UTILITIES

- CONTRACTOR SHALL CONFIRM WITH EACH APPLICABLE AGENCY THAT ALL UTILITIES (SEWER, POWER, WATER, ETC.) ARE LOCATED AS SHOWN AND THAT SEWER TAP IS LOW ENOUGH TO SERVE ALL PLUMBING DRAINS.
- CONTRACTORS SHALL NOTIFY UTILITY LOCATOR A MINIMUM OF (3) WORKING DAYS PRIOR TO COMMENCING WORK TO DETERMINE HOW RESPECTIVE UTILITIES WILL BE EFFECTED BY CONSTRUCTION.
- ALL UTILITIES ARE TO BE BURIED, AND SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL ORDINANCES.
- UTILITY ROUTING AND CONDUIT TRENCH LOCATIONS SHALL CONFORM TO ALL APPLICABLE BUILDING CODES WITH REFERENCE TO HORIZONTAL AND VERTICAL SEPARATION.
- ELECTRICAL METER SHALL HAVE THE ABILITY TO BE READ REMOTELY BY POWER COMPANY.
- WATER SUPPLY LINE SHALL BE 1 1/2" OD POLYETHYLENE AND 8'-0" BELOW GRADE, UNLESS NOTED OTHERWISE.

EXCAVATION

- ANY EXCAVATION SHALL BE CONDUCTED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN GEOTECHNICAL REPORT.
- FINISH GRADE SHALL BE A MINIMUM OF 8 INCHES BELOW WOOD FRAMING AT BUILDING EXTERIOR.
- FINISH GRADE TO SLOPE AWAY FROM STRUCTURE FOR A MINIMUM DISTANCE OF 10'-0" AND AT A MINIMUM SLOPE OF 1:10 AND A MAXIMUM SLOPE OF 1:2 UNLESS NOTED OTHERWISE. - GEOTECHNICAL REPORT TO SUPERCEDE ANY FURTHER CONFLICTS.
- THERE SHALL BE AN EVEN SLOPE BETWEEN NEW GRADES. UNLESS NOTED OTHERWISE, MEET EXISTING GRADES AT A MAXIMUM SLOPE OF 1'-0" VERTICAL TO 2'-0" HORIZONTAL AND A RECOMMENDED SLOPE OF 1'-0" VERTICAL TO 10'-0" HORIZONTAL. ALL FINISHED EARTH GRADES TO BE 1" BELOW ADJACENT WALLS AND DRIVES UNLESS OTHERWISE NOTED. DITCHES TO HAVE SMOOTH CONTOURS TO FACILITATE USE OF LAWN MOWERS WHERE APPLICABLE.
- THE UNDER FLOOR GRADE SHALL BE CLEANED OF ALL VEGETATION AND ORGANIC MATERIAL. ALL WOOD FORMS USED FOR PLACING CONCRETE SHALL BE REMOVED, AND ALL CRAWL SPACES SHALL BE CLEANED OF ALL CONSTRUCTION DEBRIS BEFORE STRUCTURE IS OCCUPIED.

FIRE SUPPRESSION

- FIRE SUPPRESSION SYSTEM IS REQUIRED. SPRINKLER SYSTEM DESIGN AND LAYOUT SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO COMMENCING INSTALLATION.
- FIRE SUPPRESSION ENGINEER OF RECORD SHALL BE CONTACTED BY GENERAL CONTRACTOR TO PERFORM ON-SITE OBSERVATION VERIFYING THE INSTALLATION IS IN ACCORDANCE WITH PLANS PROVIDED.

STAGING NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL FROM ANY APPLICABLE ARCHITECTURAL REVIEW COMMITTEE FOR ALL CONSTRUCTION STAGING IN THE FIELD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL CLEARING AND EXCAVATION WITHIN EXISTING PROPERTY LINE BOUNDARIES AND GENERAL EASEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ANY REVISIONS OR ALTERATIONS TO THE CONSTRUCTION STAGING PLAN PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO INSTALL STRAW BALES IN ADDITION TO SILT FENCE AT LOCATIONS OF POTENTIAL RUN-OFF INTO WETLAND AREAS AS INDICATED ON SITE PLAN.
- ANY DAMAGE TO THE EXISTING ROADWAY, INCLUDING THE ASPHALT SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CULVERTS, AND EXISTING VEGETATION AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR TO THE SATISFACTION OF THE DEVELOPER.
- GRAVEL CONSTRUCTION ENTRANCE IS TO BE CONSTRUCTED WITH A MIN. OF 2" OF 3/4" SCREENED ROCK TO COVER ALL DRIVEWAYS, PARKING, AND LAY DOWN AREAS TO BE PLACED AT START OF CONSTRUCTION, AND A RECOMMENDATION OF A MIN. OF 8" MINUS 3" PITRUM OVER A GEOTECHNICAL SEPARATION FABRIC.
- ANY USE OF ANY FIRE HYDRANT IS PROHIBITED FOR USE BY ANY OTHER THAN THE GOVERNING FIRE DEPARTMENT.
- ALL WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT PROJECT COMPLETION. FURTHER, CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.
- GENERAL CONTRACTOR IS TO PROVIDE ONE LOCATION FOR CONCRETE TRUCK WASHOUT. CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.

G.C. SUBMITTALS TO ARCHITECT

- PROJECT SCHEDULE
- PROJECT BUDGET
- RADON MITIGATION PLAN AND DETAILS
- FIRE SUPPRESSION DESIGN AND LAYOUT, IF REQUIRED.
- A. DOCUMENTATION OF FIRE SUPPRESSION ENGINEERS SITE REVIEW
- MECHANICAL ROOM EQUIPMENT LAYOUT.
- ROOF PENETRATION PLAN.
- MATERIAL SAMPLES AND MOCKUPS AS REQUIRED - SEE MATERIAL LEGEND.
- STEEL SHOP DRAWINGS.
- TIMBER SHOP DRAWINGS.
- DOOR AND WINDOW MFR. SUBMITTALS AND SHOP DRAWINGS
- ROUGH OPENINGS WALK THROUGH REQUIRED, COORD W/ ARCH.
- PRE-MANUFACTURED TRUSS SHOP DRAWINGS, AS APPLICABLE.
- VAPOR BARRIER SPECS AND SUBMITTAL SHEETS.
- INSULATION SPECS AND SUBMITTAL SHEETS.
- BELOW SLAB INSULATION WALK THROUGH, REVIEW, & APPROVAL REQUIRED, COORD. W/ ARCH.
- MECHANICAL DESIGN AND SHOP DRAWINGS WHERE MECHANICAL DESIGN IS NOT PROVIDED AS PART OF ARCHITECTS SCOPE.
- ELECTRICAL WALK THROUGH REQUIRED, COORD W/ ARCH. ID. OWNER
- SNOW GUARD AND GUTTER SUBMITTALS AND SHOP DRAWINGS.
- DOCUMENTATION OF SITE INSPECTIONS FROM STRUCTURAL ENGINEER AND GEOTECHNICAL ENGINEER AS OUTLINED BY EACH ENTITY.
- BLOWER DOOR TEST RESULTS
- THERMAL IMAGING TEST RESULTS:
 - MICHAEL DUNPHY: michael.dunphy@jilllartpost.com, 970.209.0866
 - ALAN SENTER: silnspec@rnsn.com, 970.318.1197
- CONTRACT W/ RECYCLING COMPANY COORD. INFORMATION W/ ARCHITECT.
- OPERATIONS AND MAINTENANCE MANUAL
- 3D HOUSE SCAN BY 3D BOZEMAN, LLC. SCAN TAKEN BEFORE DRYWALL IS INSTALLED. ANOTHER OPTIONAL SCAN AFTER HOUSE IS COMPLETED.
- WEEKLY OR BI-WEEKLY CONSTRUCTION REPORTS AND PHOTOS DESCRIBING ALL WORK PERFORMED, ANY BUILDING ITEMS, AND UP COMING SCHEDULE DEADLINES.
- UNDERGROUND UTILITIES RECORD DRAWINGS.



PRO VENT DUCT COVER

EROSION CONTROL AND BMP'S

- STORM WATER DETENTION POND/S ARE REQUIRED TO MINIMIZE SEDIMENT RUNOFF. SEE SITE PLAN AND SITE DETAILS FOR FURTHER INFORMATION.
- STORM WATER DETENTION POND/S SHOULD BE LOCATED ON SITE TO MAXIMIZE THE COLLECTION OF SURFACE RUNOFF WATER, IN ADDITION TO COLLECTING ROOF DRAINS AND FOUNDATION DRAIN IF APPLICABLE.
- GENERAL CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL FENCE AND/OR SEDIMENT STOP AS INDICATED ON SITE PLAN BEFORE START OF CONSTRUCTION.
- CONTRACTORS SHALL CONDUCT THEIR WORK IN SUCH A MANNER THAT ALL SOIL, FUELS, OILS, BUTANUMINOUS MATERIALS, CHEMICALS, SANITARY SEWAGE, AND OTHER HARMFUL MATERIALS ARE CONFINED WITHIN THE PROJECT LIMITS AND PREVENTED FROM ENTERING STORM SEWERS, WATER COURSES, RIVERS, LAKES OR RESERVOIRS.
- THE CONTRACTOR SHALL PLACE A FILTER OR BARRIER COMPOSED OF STRAW, STONE, FILTER FABRIC ON DRAINAGE STRUCTURE GRATES OR OTHER APPROVED MATERIAL AROUND ALL DRAINAGE COURSES TO PREVENT SEDIMENTATION IN THESE AREAS. AFTER THE CONSTRUCTION OPERATIONS ARE COMPLETED, THE CONTRACTOR SHALL REMOVE THESE FILTERS AND CLEAN ALL THE SEDIMENT AND DEBRIS FROM THE CATCH BASINS OR OTHER DRAINAGE STRUCTURES.
- THE COST OF THIS WORK AND OTHER CONTROL MEASURES, WHICH MAY BE REQUIRED, WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE CONSIDERED INCLUDED UNDER THE SCOPE OF THIS PROJECT.
- SEE DETAIL 11/A1-0.3 FOR RECOMMENDED SEDIMENT STOP INSTALLATION
- WATER DIVERTED FROM ITS ORIGINAL DRAINAGE PATTERN SHALL BE RETURNED TO ITS ORIGINAL COURSE BEFORE LEAVING THE PROPERTY.
- INTRODUCED DRAINAGE FEATURES SHALL BE NATURAL APPEARING, DESIGNED TO EMULATE INDIGENOUS SWALES AND WASHES AND SHALL CONFORM TO ALL DRAINAGE EASEMENTS.
- A "STORM WATER POLLUTION PROTECTION PLAN" (SWPPP) AND PERMIT IS REQUIRED FOR ANY PROJECT WHICH THE AREA OF DISTURBANCE IS GREATER THAN 1 ACRE. FURTHERMORE, THE GOVERNING DEVELOPMENT MAY REQUIRE A SWPPP REGARDLESS OF SIZE OF AREA OF DISTURBANCE.

DRIVEWAY REQUIREMENTS

- ANY DRIVEWAY THAT SHALL SERVE AS A "FIRE LANE" AS INDICATED ON THE ARCHITECTURAL LOT DIAGRAM, SHEET A1-0.1, SHALL CONFORM TO THE FOLLOWING:
 - A YEAR AND DRIVEWAY SURFACE CAPABLE TO SUSTAIN ANY IMPOSED LOADS OF FIRE APPARATUS (30 TONS).
 - AN UNOBSTRUCTED DRIVABLE WIDTH OF NOT LESS THAN 16'-0" AND A MAXIMUM PAVED WIDTH OF 14'-0"
 - AN UNOBSTRUCTED HEIGHT CLEARANCE OF NOT LESS THAN 13'-6"
 - A MAXIMUM SLOPE OF 12% AT ANY STRAIGHT RUN AND RECOMMENDED MAXIMUM SLOPE OF 5% AT ANY TURN LOCATION. E. MINIMUM INSIDE TURNING RADI OF 30'-0", AND MINIMUM OUTSIDE TURNING RADI OF 50'-0"
- AN EMERGENCY VEHICLE TURNAROUND SHALL BE INSTALLED WITHIN 150' OF ANY DEAD END TO A "FIRE LANE". TURNAROUNDS SHALL BE NOT LESS THAN 20' WIDE AND NOT LESS THAN 35' IN LENGTH BEYOND THE CLEAR "FIRE LANE" WIDTH AS REQUIRED BY THE WHITEFISH FIRE DEPARTMENT FOR ANY DRIVEWAY LENGTH EXCEEDING 150'.
 - INSIDE TURNING RADI FOR ANY DRIVEWAY THAT IS NOT PART OF A "FIRE LANE" SHALL NOT BE LESS 10'.
 - DRIVEWAY SHALL HAVE A NORMAL GRADE NOT TO EXCEED 10% EXCEPT FOR THE FIRST AND LAST 20' OF DRIVEWAY WHICH IS NOT TO EXCEED 4%.
 - A MAXIMUM OF 5% GRADE IS STRONGLY RECOMMENDED AT ANY AND ALL TURNING LOCATIONS.
 - SEE DETAILS FOR DRIVEWAY SECTION DETAILS

LANDSCAPING

- LANDSCAPE CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT PRIOR TO INSTALLATION, COPIES OF REPORT AVAILABLE UPON REQUEST. RE: ARCHITECT/GENERAL CONTRACTOR/OWNER.
- REFERENCE LANDSCAPE PLAN FOR ADDITIONAL LANDSCAPE NOTES.

REMODEL - DUST CONTROL

- CONSTRUCTION PLAN IS TO BE SUBMITTED TO OWNER AND ARCHITECT BEFORE DEMOLITION OCCURS.
- ISOLATE WORK AREA AND SEAL ONES NOT IN USE WITH TAPES.
- CREATE TEMPORARY WALLS AND CORDON OFF AREAS USING A "ZIPWALL DUST BARRIER SYSTEM" OR EQUAL TO THE MANUFACTURER'S SPEC'S.
- FLOOR PAPER SHOULD BE APPLIED TO ALL AREAS OF THE CONSTRUCTION ZONE.
- DESIGNATE ONE DOORWAY INTO THE STRUCTURE AND INSTALL A "ZIPDOOR KIT" OR EQUAL IN THAT ENTRY WAY SEPARATING WORK AREA FROM THE REST OF THE HOME. IT IS RECOMMENDED TO CHOOSE AN ENTRY WAY THAT ALSO HAS A DOOR TO CLOSE TO CREATE A DOUBLE BARRIER.
- DEMO WASTE TO BE REMOVED THROUGH A DUST BARRIER PROTECTION AREA, NOT THROUGH UNPROTECTED AREAS.
- IF POSSIBLE, COMPLETELY ELIMINATE ACCESS FROM INSIDE THE NON-CONSTRUCTION AREAS TO THE CONSTRUCTION AREAS; PROVIDING OUTDOOR OR ALTERNATIVE ACCESS TO REST ROOMS, OUTSIDE BASEMENT ACCESS TO UTILITIES, ETC...
- IT IS RECOMMENDED THAT STICKY MATS BE PLACED DIRECTLY OUTSIDE OF THE ENTRANCE TO THE CONSTRUCTION ZONE IN AN ATTEMPT TO CAPTURE EXTRA DUST FROM THE EXTERIOR.
- IT IS RECOMMENDED TO USE HIGH-EFFICIENCY, HEPA-FILTERED DUST CONTROL EQUIPMENT AND CONTAINMENT BARRIERS TO HELP ISOLATE AND REMOVE PARTICLES RELEASED INTO THE AIR DURING DEMOLITION.
- ESTABLISH A NEGATIVE PRESSURE ENVIRONMENT WITH OUTDOOR AIR CIRCULATION, KEEP WINDOWS AND DOORS INSIDE THE NON-REMODELLED HOME CLOSED AT ALL TIMES.
- TURN OFF DUCT WORK-BASED HEATING AND COOLING DURING THE ENTIRE CONSTRUCTION PROCESS. IT IS RECOMMENDED TO TAPE PLASTIC BARRIER OVER THE REGISTERS AND VENTS THROUGH OUT THE HOME.
- PRO-VENT OR SIMILAR PRODUCT TO BE ADDED TO EXPOSED DUCT INTAKES IMMEDIATELY AFTER THEY ARE INSTALLED.
- IT IS RECOMMENDED TO USE A HEPA VACUUM FOR CLEANING PURPOSES, NOT SWEEPING WITH A BROOM.
- EXISTING LIGHT FIXTURES TO REMAIN WILL BE SEALED OFF WITH PLASTIC AND TAPE.
- ONCE CARPET OR WOOD FLOORING IS REMOVED, MAKE SURE PLYWOOD SUBFLOOR IS SECURELY ATTACHED TO PREVENT SQUEAKS.
- IT IS RECOMMENDED TO PERFORM AS MUCH OF THE WORK OUTSIDE AS POSSIBLE.
- IT IS RECOMMENDED THAT ALL SMOKE ALARMS BE TAPED AND COVERED AFTER INSTALL.

SHOP DRAWING NOTES

- SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL ELEMENTS REQUIRING CUSTOM FABRICATION IN ADDITION TO ANY STRUCTURAL ITEMS REQUIRED BY THE STRUCTURAL ENGINEER. CONSTRUCTION DOCUMENTS SHALL NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS.
- THE GENERAL CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND PRODUCT DATA FOR CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS PRIOR TO SUBMITTAL. ANY SHOP DRAWINGS OR PRODUCT DATA NOT REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW. ALL DIMENSIONS SHALL BE VERIFIED BY GENERAL CONTRACTOR ON SITE.
- ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM THE ORIGINAL CONTRACT DRAWINGS SHALL BE CLOUDED BY THE MANUFACTURER OR FABRICATOR. ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTING PARTIES SHALL NOT BE CONSIDERED ALLOWED AFTER THE ARCHITECT'S REVIEW, UNLESS NOTED ACCORDINGLY BY THE ARCHITECT.
- THE ARCHITECT RESERVES THE RIGHT TO ALLOW OR NOT ALLOW ANY CHANGES TO THE ORIGINAL CONTRACT DRAWINGS AT ANY TIME BEFORE OR AFTER SHOP DRAWING REVIEW.
- THE SHOP DRAWINGS DO NOT REPLACE THE ORIGINAL CONTRACT DRAWINGS. ITEMS OMITTED OR SHOWN INCORRECTLY AND WHICH ARE NOT NOTED AS ALLOWED BY THE ARCHITECT OR STRUCTURAL ENGINEER ARE NOT TO BE CONSIDERED CHANGES TO THE ORIGINAL CONTRACT DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ITEMS OMITTED OR SHOWN INCORRECTLY ARE CONSTRUCTED IN ACCORDANCE WITH THE ORIGINAL CONTRACT DRAWINGS.
- REVIEWING OF SHOP DRAWINGS IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS AND COMPLETENESS SHALL REST WITH THE CONTRACTOR.
- SHOP DRAWINGS WILL BE RETURNED FOR RE-SUBMITTAL IF MAJOR ERRORS ARE FOUND DURING REVIEW.
- ALLOW A MINIMUM OF FIVE WORKING DAYS FOR REVIEW OF SHOP DRAWINGS BY THE ARCHITECT.

CENTRE SKY

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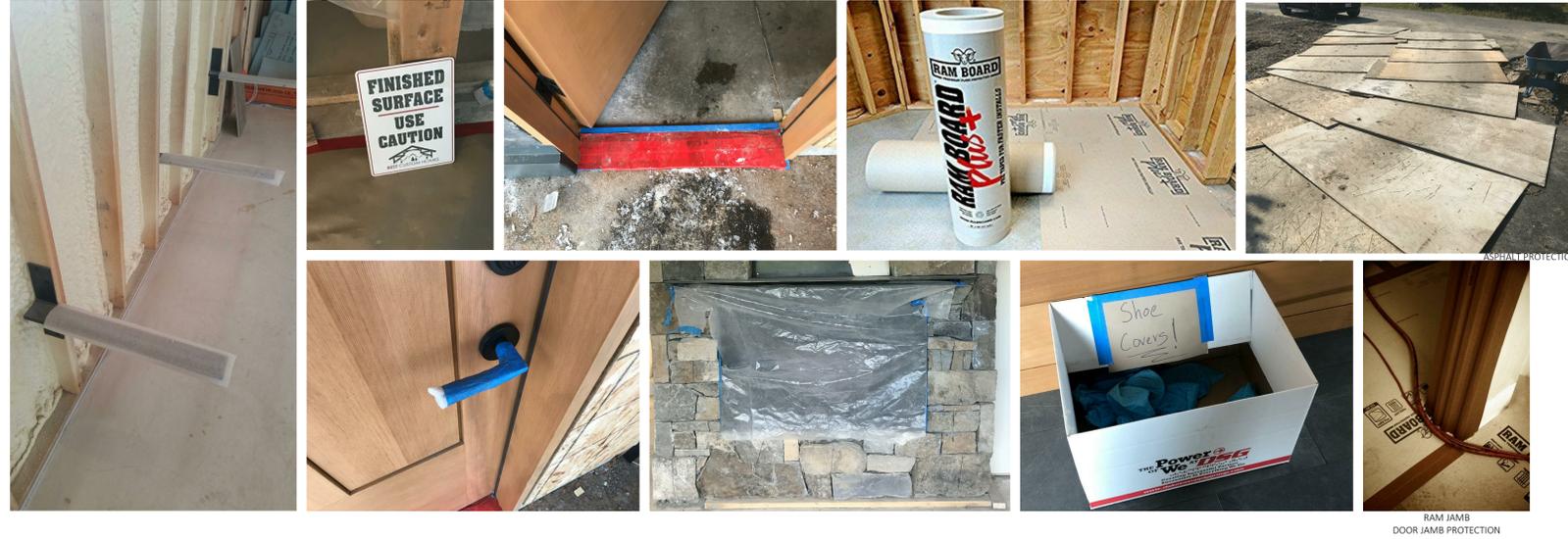
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EXPECTED PROTECTION OF FINISHES

1. PROVIDE FINAL PROTECTION AND MAINTAIN CONDITIONS THAT ENSURE INSTALLED WORK IS WITHOUT DAMAGE OR DETERIORATION AT TIME OF SUBSTANTIAL COMPLETION.
2. WHERE CONCRETE SLAB TO BE FINAL FINISH-PROTECT SLAB FROM CHIPS, MARKS, SEALANT AND DRYWALL DEBRIS, PAINT, OILS AND STAIN.
3. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, INCLUDING, BUT NOT LIMITED TO, TEMPERATURE AND RELATIVE HUMIDITY.



RAM JAMB
DOOR JAMB PROTECTION

INSULATION SPECIFICATIONS

INSULATION SCHEDULE - PROJECT SPECIFIC				
CAVITY	R - VALUE			
	MINIMUM	PROJECT SPECIFIC		
ROOFS OVER HEATED SPACES	R-49	R-51	8.5" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
EXTERIOR WALLS	R-20	R-24	4" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
INTERIOR WALLS	-	R-15	RECOMMENDED 4" BLOWN IN CELLULOSE - DAMP SPRAYED OR EQUIVALENT ROCK WOOL BATT INSULATION	
FLOORS OVER UNHEATED SPACES	R-30	R-36	6" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
FLOORS OVER HEATED SPACES	-	-	3.5" MINERAL FIBER BATT INSULATION IN FLOORS OVER HEATED SPACES FOR SOUND INSULATION	
BASEMENT WALL	R-15/19	R-19	R-19 BATT INSULATION - WHERE STUD BAY EXISTS 3.5"-2" POLYURETHANE TAPER ELSEWHERE	
CRAWL SPACE	LID	R-20	R-24	4" SPRAY POLYURETHANE INSULATION OR EQ.
	WALL	R-15/19	R-21	3.5" SPRAY POLYURETHANE
UNDER CONC. SLAB	R-10/13	R-14	2" OF DOW 'STYROFOAM BRAND SM' INSULATION	

NOTES:

1. ARCHITECT'S RECOMMENDATION FOR ALL EXTERIOR EAVES AND RAKES TO RECEIVE MIN. OF 3" BLOWN IN POLYURETHANE INSULATION UNLESS NOTED OTHERWISE.
2. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 4" SPRAY APPLIED POLYURETHANE INSULATION AT EXTERIOR WALLS WITH AN R-11 MINERAL FIBER BATT OVER TOP OF 2" SPRAY APPLIED POLYURETHANE INSULATION.
3. ARCHITECT'S RECOMMENDATION FOR BASEMENT FURRING WALLS TO RECEIVE 3.5" BLOWN IN POLYURETHANE INSULATION IN PLACE OF R-19 BATT.
4. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 2" NCFI SPRAY APPLIED POLYURETHANE INSULATION UNDER CONCRETE SLAB WITH 2" POLY-ISOCYANURATE RIGID FOAM INSULATION.
5. GENERAL CONTRACTOR TO PROVIDE COST COMPARISON FOR BLOWN-IN WET CELLULOSE PRODUCT TO REPLACE BATT INSULATION IN EXTERIOR WALLS AND FLOORS.
6. THERMAL IMAGING TEST SHALL BE PERFORMED AND REPORT SUBMITTED TO OWNER AND ARCHITECT.
7. AT A MINIMUM, ALL INTERIOR WALLS SEPARATING BEDROOMS AND/OR BATHROOMS SHALL BE INSULATED AS SPECIFIED ABOVE. IT IS STRONGLY RECOMMENDED THAT ALL INTERIOR WALLS BE INSULATED.
8. FOAM INSULATING SEALANT AT ALL WINDOWS AND DOORS.

GEOTECHNICAL REPORT NOTES

NOTES REGARDING THE GEOTECHNICAL REPORT PROVIDED HERE ARE IN NO WAY INTENDED TO SERVE AS A SUPPLEMENT TO THE GEOTECHNICAL REPORT. IT IS REQUIRED THAT THE GENERAL CONTRACTOR AS WELL AS ANY APPLICABLE SUB CONTRACTORS RECEIVE AND REVIEW THE GEOTECHNICAL REPORT.

A FULL GEOTECHNICAL ANALYSIS AND REPORT HAS BEEN PREPARED FOR THIS PROPERTY BY: TRAUTNER GEOTECH, LLC. DATED: JUNE 1, 2018 PN-55199CE

1. SURFACE & SUBSURFACE DRAINAGE SHALL CONFORM TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AS SET FORTH IN THE REFERENCED GEOTECHNICAL REPORT.
2. PROPER DRAINAGE SHOULD BE PROVIDED IN THE FINAL DESIGN AND DURING CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED OF ANY ISSUES OR CONFLICTS NOT ACCOUNTED FOR WITHIN THESE DRAWINGS OR THE REFERENCED GEOTECHNICAL REPORT.
3. SITE PREPARATION PROCEDURES AND FOUNDATION EXCAVATIONS TO BE OBSERVED BY THE GEOTECHNICAL ENGINEER TO ASSESS THAT THE ADEQUATE BEARING CONDITIONS EXIST AND THAT PLACEMENT OF ENGINEERED FILL HAS BEEN PERFORMED SATISFACTORILY. IF THE SOIL CONDITIONS ENCOUNTERED DIFFER SIGNIFICANTLY FROM THOSE PRESENTED IN THE GEOTECHNICAL REPORT, SUPPLEMENTAL RECOMMENDATIONS MAY BE REQUIRED.
4. POSITIVE DRAINAGE SHALL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED THROUGHOUT THE LIFE OF THE PROPOSED DEVELOPMENT. INFILTRATION OF WATER INTO UTILITY OR FOUNDATION EXCAVATIONS MUST BE PREVENTED DURING CONSTRUCTION.
5. STRIP AND REMOVE ANY EXISTING VEGETATION, ORGANIC TOPSOILS, DEBRIS AND ANY OTHER DELETERIOUS MATERIALS FROM THE BUILDING AREAS. THE BUILDING AREAS ARE DEFINED AS THAT AREA WITHIN THE BUILDING FOOTPRINT PLUS 5 FEET BEYOND THE PERIMETER OF THE FOOTPRINT. ALL EXPOSED SURFACES SHOULD BE FREE OF MOUNDS AND DEPRESSIONS THAT COULD PREVENT UNIFORM COMPACTION.
6. FROZEN SOILS SHOULD NOT BE USED AS FILL OR BACKFILL.
7. EXISTING SOILS REMOVED AT BUILDING FOOTPRINT EXCAVATION MAY BE REUSED IN LANDSCAPE AREAS, AS LONG AS IN ACCORDANCE OF THE REFERENCED GEOTECHNICAL REPORT.
8. ALL IMPORT FILL AND ONSITE BACKFILL SHOULD BE APPROVED BY THE GEOTECHNICAL ENGINEER. WHERE FILL IS TO BE PLACED, LOOSE OR OTHERWISE UNSUITABLE MATERIAL SHOULD BE REMOVED PRIOR TO PLACEMENT OF NEW FILL.
9. GEOTECHNICAL ENGINEER OF RECORD SHALL BE CONTACTED BY THE GENERAL CONTRACTOR AT COMPLETION OF EXCAVATION AND PRIOR TO ANY FILL BEING PLACED TO PERFORM A REVIEW OF EXCAVATION AND SUBSURFACE SOIL CONDITIONS IN COMPARISON WITH THE FINDINGS IN THE GEOTECHNICAL REPORT.

AIR CONTROL

1. PROVIDE A CONTINUOUS AIR BARRIER BEHIND TUB AND SHOWER ENCLOSURE AT ALL EXTERIOR WALLS. INSULATION TO BE INSTALLED BEFORE TUB OR SHOWER ENCLOSURE IS INSTALLED.
2. SEAMS BETWEEN SUBFLOOR AND BOTTOM PLATE TO BE SEALED WITH CAULK
3. SEAMS BETWEEN TOP PLATE, FLOOR JOISTS, AND ROOF JOISTS TO BE SEALED WITH CAULK
4. SEAMS BETWEEN KING AND TRIMMER STUDS AT WINDOWS AND DOORS TO BE SEALED WITH CAULK
5. SEAL HOLES IN ELECTRICAL BOXES LOCATED ON EXTERIOR WALLS WITH EITHER LOW EXPANSION FOAM OR USE AN AIR TIGHT BOX.
6. SILL SEAL PROVIDED BETWEEN TREATED WOOD SILL PLATES AND CONCRETE STEMS OR SLABS.

HVAC SYSTEMS

FORCED AIR HEATING SYSTEM -	-
RADIANT HEAT -	-
SECOND STAGE HEAT -	-
HEAT RECOVERY VENTILATION SYSTEM -	-
HUMIDIFIER UNIT -	-
FORCED AIR COOLING -	-
SOLAR PANELS -	-
SOLAR HOT WATER -	-
GEOTHERMAL SYSTEM -	-
WATER FILTRATION -	-
BACK UP GENERATOR -	-
WATER COP -	-
WATER SOFTENER -	-
REVERSE OSMOSIS -	-
PRELIM. RADON MITIGATION -	-
VISIBLE THERMOSTAT -	YES
REMOTE THERMOSTAT -	-

STANDARD PUNCH LIST ITEMS

GC TO REVIEW AND COMPLETE ALL STANDARD PUNCH LIST ITEMS LISTED BELOW PRIOR TO FINAL PUNCH LIST WALKTHROUGH WITH ARCHITECT.

1. BRING OPERATIONS & MAINTENANCE MANUAL - BINDER TO BE PROVIDED BY GC
2. CLEAN UP - GENERAL EXTERIOR AND INTERIOR CONSTRUCTION CLEAN UP
3. CLEAN UP CONDITION
4. REMOVE OR CLEAN UP PAINT - EXTERIOR AND INTERIOR PAINT SMEARED ON TRIM OR OTHER MATERIALS
5. PUTTY - APPLY PUTTY TO ALL INTERIOR FINISH NAIL HOLES
6. PAINT/STAIN - APPLY PAINT OR STAIN TO PUTTED NAIL HOLES OR WOOD THAT HAS BEEN CHIPPED
7. STAIN - STAIN ALL WOOD FACES IF UNFINISHED
8. SEALANT OR CAULK APPLIED WHERE APPLICABLE
9. DRYWALL MUD & PAINT
10. RECTIFY SCUFF
11. REMOVE TAPE
12. PAINT MORTISE STRIKE FLAT BLACK THROUGHOUT
13. CLEAN EXTERIOR THRESHOLDS
14. ORIENTATE PLUMBING FIXTURE HANDLES 90 DEGREES TO FLOOR OR COUNTER
15. REMOVE LIGHT DUST & MATERIAL DROPPINGS FROM FLOOR BEFORE PAD & CARPET ARE ADDED
16. WOOD FLOOR FILLER
17. CLEAN WINDOW SASH
18. CABINET DOOR BUMPERS APPLIED
19. ALL DRAWERS TO BE ADJUSTED SO THERE IS NO MOVEMENT AND NO RUBBING
20. PAINT FLOOR MECHANICAL VENTS FLAT BLACK
21. CLEAN ALL VENTS OF ANY CONSTRUCTION DEBRIS

MOISTURE CONTROL

1. SLOPE PATIO SLABS, WALKS AND DRIVEWAYS A MINIMUM OF 1/8" PER FT. AWAY FROM U.N.N., TAMP BACK FILL IN 6" LAYERS TO PREVENT SETTLING, AN SLOPE THE FINAL GRADE AWAY FROM THE FOUNDATION AT A RATE AS PRESCRIBED BY THE GEOTECHNICAL ENGINEER.
2. INSTALL PROTECTED DRAIN TILE AT FOOTINGS. PER SITE SPECIFIC GEOTECHNICAL REPORT. DISCHARGE TO OUTSIDE GRADE (DAYLIGHT) OR TO A SUMP PUMP. NO SURFACE OR ROOF DRAINAGE SHALL BE ROUTED TO ANY PART OF THE FOOTING DRAIN TILE SYSTEM.
3. DRAINS OR SUMP PUMPS IN BASEMENT AND CRAWL SPACE FLOORS TO DISCHARGE A MIN. OF 10 FT. OUTSIDE THE FOUNDATION OR INTO AN APPROVED SEWER SYSTEM. PROVIDE SEALED (GASKET) SUMP PUMP COVER IN AREAS WHERE RADON IS OF CONCERN.
4. PROVIDE CAPILARY BREAKS BENEATH CONCRETE SLABS, INCLUDING BASEMENT FLOORS.
5. DAMP-PROOF OR WATERPROOF ALL EXTERIOR SURFACES OF BELOW-GRADE FOUNDATION WALLS.
6. DIRECT ROOF WATER AWAY FROM THE STRUCTURE USING GUTTERS AND DOWNSPOUTS THAT EMPTY INTO LATERAL PIPING THAT DEPOSITS WATER ON A SLOPING FINISHED GRADE A MINIMUM OF 10 FT. FROM THE FOUNDATION. ROOFS DESIGNED WITHOUT GUTTERS ARE ACCEPTABLE IF THEY ARE DESIGNED TO DEPOSIT RAINWATER TO A GRADE-LEVEL ROCK BED WITH WATERPROOF LINER DRAIN PIPE THAT DEPOSITS WATER ON A SLOPING FINISHED GRADE, AS SPECIFIED ABOVE. WHEN LOT SPACE LIMITS OR PREVENTS REQUIRED GRADING, DIRECT ROOF WATER TO AN UNDERGROUND CATCHMENT SYSTEM (NOT CONNECTED TO THE FOUNDATION DRAIN TILE SYSTEM) THAT DEPOSITS WATER A MINIMUM OF 10FT. FROM THE FOUNDATION. RAINWATER-HARVESTING SYSTEMS MAY BE USED TO MEET THIS REQUIREMENT WHEN THEY ARE DESIGNED TO PROPERLY DRAIN OVERFLOW, MEETING DISCHARGE DISTANCE REQUIREMENTS ABOVE.
7. INSTALL MOISTURE-RESISTANT MATERIAL AND MOISTURE-PROTECTIVE SYSTEMS IN VULNERABLE AREAS TO PREVENT THE GROWTH OF MOLD. INSTALL WATER-RESISTANT HARD-SURFACE FLOORING IN KITCHENS, BATHROOMS, ENTRYWAYS, LAUNDRY AREA & UTILITY ROOMS. DO NOT INSTALL WALL-TO-WALL CARPET ADJACENT TO TOILETS AND BATHING FIXTURES.
8. INSTALL MOISTURE-RESISTANT BACKING MATERIAL (I.E., CEMENT BOARD OR THE EQUIVALENT, BUT NOT PAPER-FACED WALL BOARD) BEHIND TUB AND SHOWER ENCLOSURES.
9. INSTALL ALL CONDENSATE DISCHARGE ACCORDING TO IRC SECTION M1411.3.
10. INSULATE PIPING INSTALLED IN EXTERIOR WALLS.
11. DO NOT INSTALL CONTINUOUS VAPOR BARRIERS ON THE INTERIOR SIDE OF EXTERIOR WALLS THAT HAVE HIGH CONDENSATION POTENTIAL (E.G., BELOW-GRADE EXTERIOR WALLS IN MOST CLIMATES AND ABOVE GRADE EXTERIOR WALLS IN WARM-HUMID CLIMATES). EXAMPLE: AN INTERIOR STUD WALL ERECTED NEXT TO A BELOW-GRADE BASEMENT WALL AND INSULATED WITH MINERAL WOOL, FIBERGLASS OR CELLULOSE INSULATION SHOULD NOT HAVE FOIL-FACED PAPER, POLYETHYLENE FILM OR VINYL WALLPAPER ON ITS INTERIOR SURFACE. WATER VAPOR PASSING FROM THE DAMP EARTH THROUGH THE BELOW-GRADE CONCRETE OR CMU WALL WILL PASS EASILY THROUGH THE INSULATION MATERIALS, BUT ACCUMULATE ON MICROCLIMATE. USING MATERIALS OF 2 PERMS OF MORE ON THE INTERIOR OF THE WALLS ALLOWS IT TO DRY INTO THE BASEMENT.
12. DO NOT INSTALL BUILDING MATERIALS THAT HAVE VISIBLE SIGNS OF WATER DAMAGE OR MOLD. IN ADDITION, INTERIOR WALLS SHALL NOT BE ENCLOSED (E.G., WITH DRYWALL) IF EITHER THE FRAMING MEMBERS OR INSULATION HAS A HIGH MOISTURE CONTENT. FOR WET-APPLIED INSULATION, FOLLOW THE MANUFACTURER'S DRYING RECOMMENDATIONS. LUMBER SHOULD NOT EXCEED 18% MOISTURE CONTENT.
13. GARAGE FLOOR DRAINS ARE TO MEET DISCHARGE DISTANCE REQUIREMENTS ABOVE AND TO DRAIN INTO LANDSCAPED/PAVED HOLDING PONDS TO ALLOW WASTE WATER TO NATURALLY EVAPORATE. SEE SWPPP % EPA REQUIREMENTS.

RADON SYSTEMS

NOTE: RADON PLAN TO BE SUBMITTED, BY CONTRACTOR, TO ARCHITECT FOR REVIEW. RADON MEASURED IN PICO CURRIES PER LITER pCi/L
- 4 pCi/L = ACTION REQUIRED LEVEL
- 2 pCi/L = ACCEPTABLE LEVEL
- 2pCi/L > RADON LEVEL GOAL

RADON MITIGATION - CRAWLSPACE PASSIVE SUB-MEMBRANE DEPRESSURIZATION SYSTEM

FOUNDATION WALL - ALL CONTROL JOINTS, ISOLATION JOINTS & OTHER JOINTS SHOULD BE CALKED WITH AN ELECTROMETRIC SEALANT SUCH AS POLYURETHANE CAULK, DAMP PROOF FOUNDATION WALL AND SEAL ANY PENETRATIONS THROUGH THE WALL.

CRAWLSPACE SHEETING TO BE HIGH-DENSITY CROSS-LAMINATED POLYETHYLENE. COLOR TO BE WHITE. OVERLAY W/ EPDM RUBBERIZED FOOTING MEMBRANE AT HIGH TRAFFIC AREAS AND ALONG EXPECTED TRAFFIC ROUTES. OVERLAY SHEETS BY 12" AND SEAL SHEETING USING A 1/2" WIDE BEAD OF CAULK. WIRE BRUSH 12" ABOVE CRAWLSPACE FLOOR TO REMOVE ANY DIRT AND SECURE PLASTIC TO WALL @ 12" ABOVE CRAWLSPACE FLOOR WITH 1/2" WIDE BEAD OF CAULK.

SEAL AROUND ALL VERTICAL PENETRATIONS. SEAL FLOOR-TO-WALL JOINTS, SEAL CONTROL JOINTS.

AIR HANDLING SYSTEMS IN CRAWLSPACE TO MAINTAIN CONTINUOUS POSITIVE PRESSURE WITHIN THE DUCTWORK. THIS IS TO PREVENT RADON FROM BEING DRAWN INTO THE DUCTWORK AND THEN DISTRIBUTED THROUGHOUT THE HOUSE.

RISER PIPE TO BE SCHEDULE 40 PVC OR ABS, CONNECT TO 3 OR 4 INCH DIAMETER CORRUGATED AND PERFORATED COLLECTION PIPE 5'x4" OR A STRIP OF GEOTEXTILE DRAIN MATTING ON THE SOIL AT THE RISER LOCATION BENEATH THE PLASTIC SHEETING.

ACCESS DOORS AND OTHER OPENINGS OR PENETRATIONS BETWEEN FLOORS AND ADJOINING CRAWLSPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE SEALED TO PREVENT AIR LEAKAGE.

LABEL RISER AT ALL VISIBLE LOCATIONS SO IT IS NOT CONFUSED WITH ANY OTHER PLUMBING. LABEL PLASTIC SHEETING TO STATE THAT THE PLASTIC SHOULD NOT BE REMOVED AND, IF CUT, IT SHOULD BE PATCHED OR REPLACED. AFTER CONSTRUCTION IS COMPLETED, INSPECT THE SHEETING FOR DAMAGE AND REPAIR AS NECESSARY.

PROVIDE FOR FUTURE FAN IF NEEDED. FAN CANNOT BE INSIDE THE LIVING SPACE OR CRAWLSPACE. FANS ARE MOST OFTEN LOCATED IN ATTICS OR GARAGES (UNLESS THERE IS A LIVING SPACE ABOVE THE GARAGE.) FANS REQUIRE A 30-INCH VERTICAL RUN OF PIPE FOR INSTALLATION. FANS REQUIRE AN UNSWITCHED ELECTRICAL JUNCTION BOX.

RADON MITIGATION - PASSIVE SUB-SLAB SYSTEM

PLACE A UNIFORM LAYER OF CLEAN AGGREGATE UNDER ALL CONCRETE SLABS OF FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND AND ARE WITHIN THE WALLS OF THE LIVING SPACES. USE A MINIMUM 4" THICK LAYER 1/2" TO 3/4" IN SIZE. UNLESS GEOTECHNICAL RECOMMENDATIONS ARE MORE STRINGENT.

PLACE A 4" TEE FITTING AT THE LOCATION THE RISER WILL EXTEND THROUGH THE SLAB. CONNECT SHORT STUB, AT LEAST 8" OF 4" PVC PIPE VERTICALLY INTO THE TEE. LAY 4" PERFORATED AND CORRUGATED PIPE (MINIMUM LENGTH OF 30 FEET) IN THE GRAVEL AND CONNECT IT TO THE RADON VENT RISER TEE FITTING. AN ELBOW FITTING MAY BE USED IN PLACE OF A TEE FITTING WHEN USING ADDITIONAL PIPING IN THE GRAVEL. MAKE SURE THE CONCRETE DOES NOT PLUG UP THE PIPE DURING POUR.

PRIOR TO POURING THE SLAB OR PLACING FLOOR ASSEMBLY, LAY A MIN. 6-MIL OR 3-MIL CROSS LAMINATED POLYETHYLENE OR EQUIVALENT SHEETING MATERIAL ON TOP OF THE GAS PERMEABLE LAYER. THE SHEETING SHOULD COVER THE ENTIRE FLOOR AREA. SHEETING SHOULD FIT CLOSELY AROUND ANY PIPE, WIRE OR PENETRATIONS.

FOUNDATION WALL AND SLABS SHOULD BE CONSTRUCTED TO REDUCE POTENTIAL RADON ENTRY ROUTES. IN GENERAL OPENINGS IN WALL AND SLABS SHOULD BE MINIMIZED AND NECESSARY OPENINGS AND JOINTS SHOULD BE SEALED.

ALL CONTROL JOINTS OR OTHER JOINTS SHOULD BE SEALED WITH POLYURETHANE CAULK TO REDUCE RADON ENTRY.

LABEL RISER AT ALL VISIBLE LOCATIONS SO IT IS NOT CONFUSED WITH ANY OTHER PLUMBING. LABEL PLASTIC SHEETING TO STATE THAT THE PLASTIC SHOULD NOT BE REMOVED AND, IF CUT, IT SHOULD BE PATCHED OR REPLACED. AFTER CONSTRUCTION IS COMPLETED, INSPECT THE SHEETING FOR DAMAGE AND REPAIR AS NECESSARY.

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CORTINA LOT 11
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Drawn By Author
Date 6/28/2018
Project # 1808.00
Phase SD
Sheet

A0-0.1
GENERAL NOTES

MATERIAL SPECIFICATIONS

EXTERIOR MATERIALS LEGEND

NOTE:
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

-  **METAL ROOFING**
2" MECH. SEAM, 18" RIB SPACING
COLOR: RUSTED
MFR: TBD
-  **BALLAST ROOFING**
TPO ROOF W/RANDOM 1" TO 3" RIVER ROCK BALLAST, COLOR: DARK BRONZE
THICKNESS: 60 MIL, RHINO BOND ATTACHMENT SYSTEM
-  **VERTICAL WOOD SIDING**
1x8 VD VERTICAL SHIP LAP
COLOR: MEDIUM GREY
MFR: VINTAGE WOODS
-  **STEEL SIDING**
METAL TYPE B PATINATED STEEL SIDING PANELS, 1/8" W/EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING
PATINA: VARIED BLACK
MFR: VINTAGE WOOD
RE:
-  **STONE MASONRY VENEER**
1 1/2" THICK
STONE CURATORS: GRAY QUARTZITE PLANK
LAYUP: RE: 3 / A0-0.2
-  **STONE MASONRY**
6" THICK
STONE CURATORS: GRAY QUARTZITE
LAYUP: RE: 4 / A0-0.2

EXTERIOR MATERIAL QUANTITIES

MATERIAL	ELEVATION (SF/%)				
	NORTH	EAST	SOUTH	WEST	TOTAL
STONE	596/44.7	338/23.9	495/43.9	610/31.5	2,039/35.1
METAL	235/17.6	263/18.6	74/6.7	350/18.1	922/15.9
WOOD	337/25.3	320/22.6	512/45.4	434/22.4	1,603/27.6
FENESTRATION	165/12.4	492/34.8	464/0	542/28.0	1,245/21.4

MATERIAL TYPES

METAL TYPES:

ARCHITECTURAL & FLASHING METAL TYPES:

- METAL TYPE 'A': RUSTED METAL
- METAL TYPE 'B': HOT ROLLED STEEL COATED WITH PENETROL
- METAL TYPE 'C': BREAK METAL BY WINDOW MFR, TO MATCH WINDOW FINISH

WOOD TYPES:

- WOOD TYPE 'A': FIR BY 'VINTAGE WOODS', STAINED LIGHT BROWN
- WOOD TYPE 'B': STAINED WOOD INTERIOR TRIM, TO MATCH DOOR SLABS
- HEAVY TIMBER TYPE 'A': FIR BY 'VINTAGE WOODS', STAINED LIGHT BROWN
- GLULAM TYPE 'A': FIR BY 'VINTAGE WOODS', STAINED LIGHT BROWN

NOTE: REFERENCE STRUCTURAL DRAWINGS FOR STRUCTURAL GRADE OF TIMBER WHERE APPLICABLE

STONE TYPES:

- STONE TYPE 'A': 'GREY QUARTZITE', GROUT COLOR TO MATCH AND TO BE APPROVED BY ARCH.
- STONE TYPE 'B': BALLAST ROOF
- STONE TYPE 'C': ASHLAR COURSED
- STONE TYPE 'D': TBD

ALL SAMPLES TO BE SUBMITTED TO ARCHITECT

AT A MINIMUM THE FOLLOWING EXCESS MATERIALS TO BE RECYCLED:
CARDBOARD, DRYWALL, WOOD, METAL, COPPER, BRASS, STEEL, TIN, NEWSPAPER, AND CARDBOARD

MATERIAL BOARD



R1



R2



S1



S2



S3

PLANK LAYUP



S4

ASHLAR LAYUP



SIERRA PACIFIC
CONTEMPORARY PROFILE, CLEAR PINE INTERIOR,
CAFE ROYAL EXTERIOR



DECKING

KEBONY CHARACTER DECKING
1 1/8" x 4 3/4"

SIDING & TRIM SCHEDULE

SIDING & TRIM SCHEDULE							
STRUCTURAL EXPRESSION	WIDTH	LENGTH	MFR.	TEXTURE	COLOR	SPECIES	COMMENTS
COLUMNS	RE: PLANS	RE: PLANS	-	-	-	-	-
BEAMS	RE: PLANS	RE: PLANS	-	-	-	-	-
MISC. (KNEE BRACES, ECT...)	N/A	N/A	-	-	-	-	-
EXTERIOR HORIZONTAL SIDING	N/A	N/A	-	-	-	-	-
EXTERIOR VERTICAL SIDING	1x8 SHIPLAP	-	VINTAGE	-	MEDIUM GREY	-	-
EXTERIOR SOFFIT	1x8 SHIPLAP	-	VINTAGE	-	LIGHT BROWN	-	-
EXTERIOR TRIM (DOOR, WINDOW, CORNER)	N/A	N/A	-	-	-	-	-
FASCIA	2x8	N/A	VINTAGE	-	LIGHT BROWN	-	-
INTERIOR VERTICAL SIDING	N/A	N/A	-	-	-	-	-
INTERIOR HORIZONTAL SIDING	1x10 SHIPLAP	-	VINTAGE	-	-	-	-
INTERIOR CEILING	1x8 SHIPLAP	-	VINTAGE	-	LIGHT BROWN	-	-
GARAGE DOOR BODY	METAL TYPE B	N/A	-	-	-	-	-
GARAGE DOOR TRIM	N/A	N/A	-	-	-	-	-
STAIR TREADS	-	-	-	-	-	-	-
FLOOR TRIM	8"	N/A	-	-	-	-	-
INT. DOOR & WINDOW TRIM	1x2	-	-	-	-	-	-

- NOTE:**
- ALL CUT ENDS, MITERS, & CORNERS TO BE SEALED W/ MFR. RECOMMENDED SEALANT/STAIN
 - COORD. W/ VINTAGE WOODS FOR ADDITIONAL TOUCH UP STAIN
 - COORD. W/ VINTAGE WOODS ON TOUCH UP APPLICATIONS AND TREATMENTS

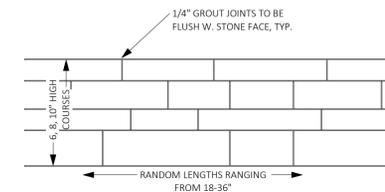
FIREPLACE SPECS

FIRE PLACE SPECIFICATIONS

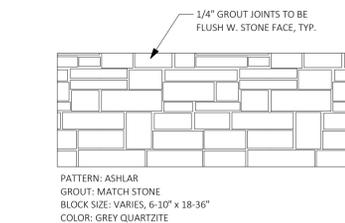
- 1 LOWER LEVEL FIREPLACE - TBD
- 2 GAS HEAT & GLO RED 60"
- 3 UPPER LEVEL FIREPLACE - TBD
- 4 EXTERIOR LINEAR BURNER BY HPC

AV SYSTEMS

ENVIRONMENTAL SECURITY	YES
WATER -	YES
LOW TEMP/FREEZE -	YES
SECURITY LIFE SAFETY & INTRUSION	YES
CO -	YES
HEAT -	YES
SMOKE -	YES
GAS -	YES
DOORS -	-
MOTION -	-
SIRENS & STROBE -	-
SPRINKLER -	YES
SEPTIC -	YES
SECURITY CAMERAS -	YES
BUILT - IN SPEAKERS -	YES
TV -	YES
GAMING SYSTEM -	YES
LIGHTING CONTROL -	YES
AUTOMATED SHADES -	YES
NETWORK / DATA SYSTEM -	YES



3 S3 STONE LAYUP DETAIL
1/2" = 1'-0"



4 S4 STONE LAYUP DETAIL
1/2" = 1'-0"

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* REV. #	-

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Date 6/28/2018
Project # 1808.00
Phase SD
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A0-0.2
MATERIAL
SPECIFICATIONS

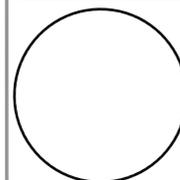


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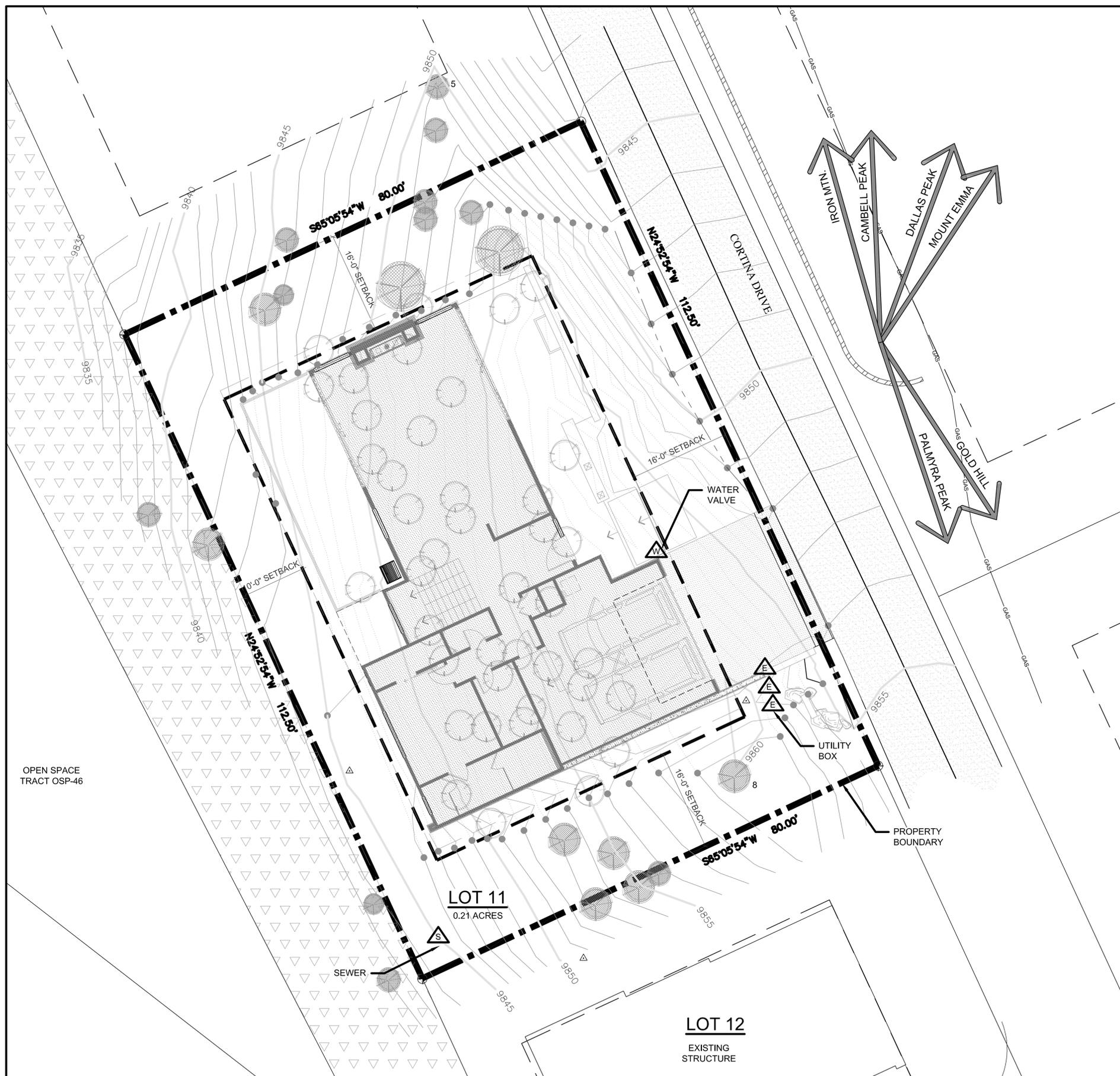


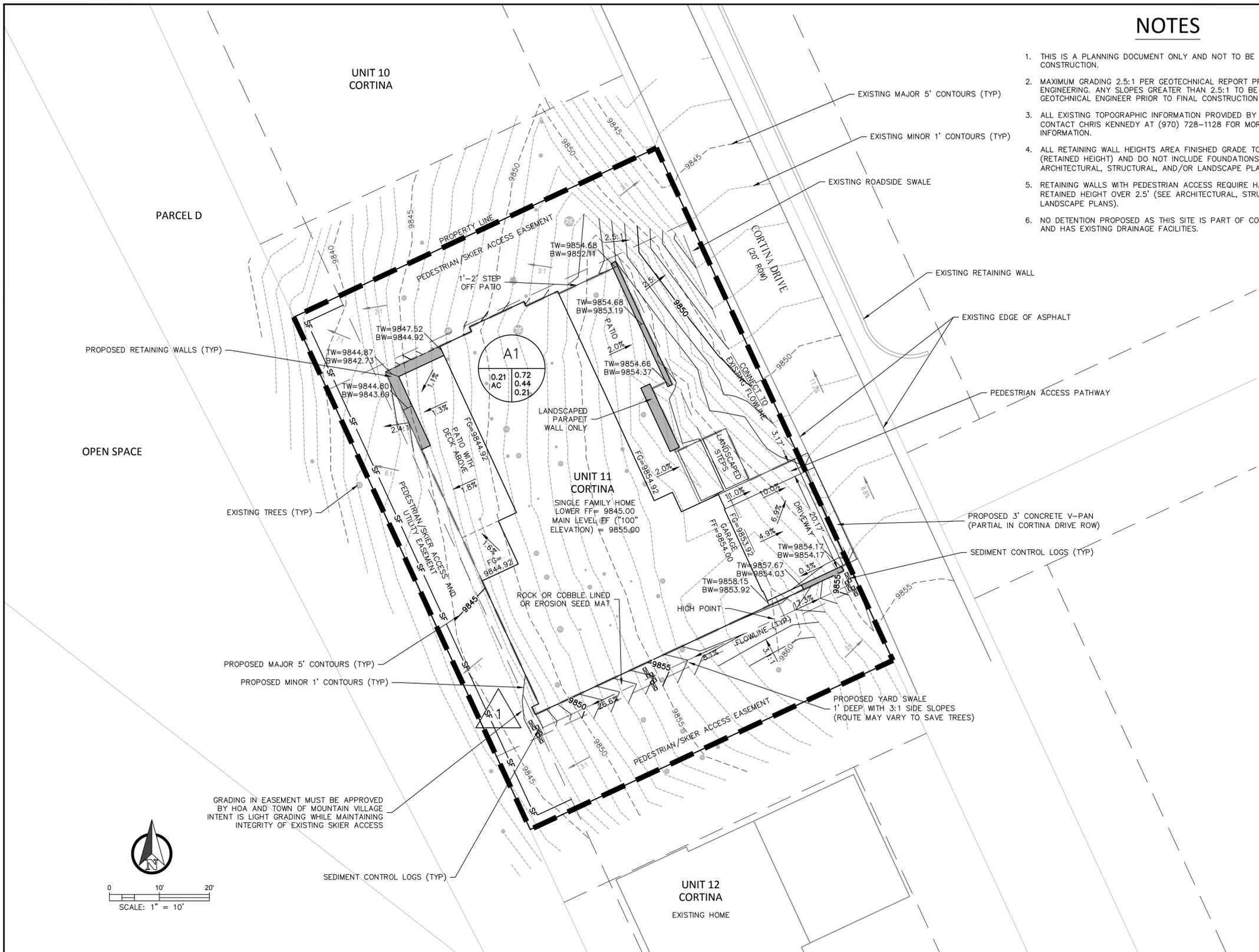
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Date	06-28-2018
Project #	1808.00
Phase	Schematic Design
Sheet	

A1-0.3

UTILITY PLAN





NOTES

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
2. MAXIMUM GRADING 2.5:1 PER GEOTECHNICAL REPORT PROVIDED BY TRAUTNER ENGINEERING. ANY SLOPES GREATER THAN 2.5:1 TO BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO FINAL CONSTRUCTION DOCUMENTS.
3. ALL EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY SAN JUAN SURVEYING. CONTACT CHRIS KENNEDY AT (970) 728-1128 FOR MORE BENCHMARK INFORMATION.
4. ALL RETAINING WALL HEIGHTS AREA FINISHED GRADE TO FINISHED GRADE (RETAINED HEIGHT) AND DO NOT INCLUDE FOUNDATIONS OR CAP (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
5. RETAINING WALLS WITH PEDESTRIAN ACCESS REQUIRE HARD RAILS FOR ALL RETAINED HEIGHT OVER 2.5' (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
6. NO DETENTION PROPOSED AS THIS SITE IS PART OF CONDOMINIUM SUBDIVISION AND HAS EXISTING DRAINAGE FACILITIES.

LEGEND

BW = BOTTOM OF WALL
 FF = FINISHED FLOOR
 FG = FINISHED GRADE
 TW = TOP OF WALL

A1 BASIN ID
 BASIN LABEL
 0.20 AC 0.71 100-YR. FLOW RATE (CFS)
 0.37 25-YR. FLOW RATE (CFS)
 0.21 HISTORIC 100-YR. FLOW RATE (CFS)
 BASIN AREA (ACRES)

2 DESIGN POINT

2.0% FLOW DIRECTION

--- IMPERVIOUS AREA BOUNDARY

--- BASIN BOUNDARY

SF SF SILT FENCE

PEDESTRIAN ACCESS
 SNOW-MELTED CONCRETE DRIVEWAY
 EOP 3.17' 20.16' 2% MIN
 ROADBASE NATURAL GROUND

TYPICAL DRIVEWAY SECTION

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
 OR
811
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

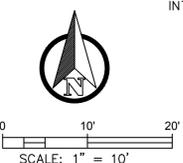


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 970-708-0326
 GREGG@ALPINELANDCONSULTING.COM

THESE DRB PRELIMINARY PLANNING DOCUMENTS WERE PREPARED BY ME AND UNDER MY DIRECT SUPERVISION ON BEHALF OF ALPINE LAND CONSULTING, LLC FOR SILVER GLADE DEVELOPMENT CO AND INCLUDES DRB PRELIMINARY PLANNING DESIGN ONLY, AND DOES NOT INCLUDE ANY OTHER PLANNING OR ENGINEERING.



GREGORY E. ANDERSON
 COLORADO PROFESSIONAL ENGINEER
 REGISTRATION NO. 35736



PRELIMINARY DRB GRADING AND DRAINAGE PLAN

NO.	REVISIONS	DATE

UNIT 11 CORTINA

DRB GRADING AND DRAINAGE PLAN

CLIENT:

SILVER GLADE DEVELOPMENT CO
 118 E MAIN ST., STE 500
 LOUISVILLE, KY 40202

DATE: JUNE 26, 2018

PROJECT #: 2018021

PROJECT MANAGER: GEA
 DRAWN BY: ADM

SHEET #:

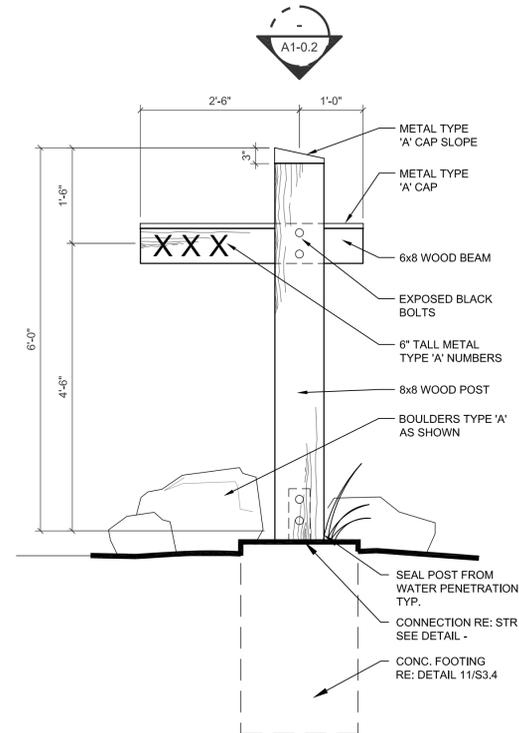
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2 ENTRY MONUMENT DETAIL
SCALE: 3/4" = 1'-0"

LEGEND	
---	DRAINAGE
---	LIMITS OF CONSTRUCTION
---	EROSION CONTROL
---	DRAINTILE
---	NEW WATER LINE
---	NEW SEWER LINE
---	NEW ELECTRICAL LINE
---	NEW PHONE LINE
---	EXISTING GRADE LINE
---	NEW GRADE LINE
---	LIMITS OF EXCAVATION
---	METAL PLANTING BORDER
---	SNOW MELT LOCATIONS
---	ASPHALT
---	CONCRETE

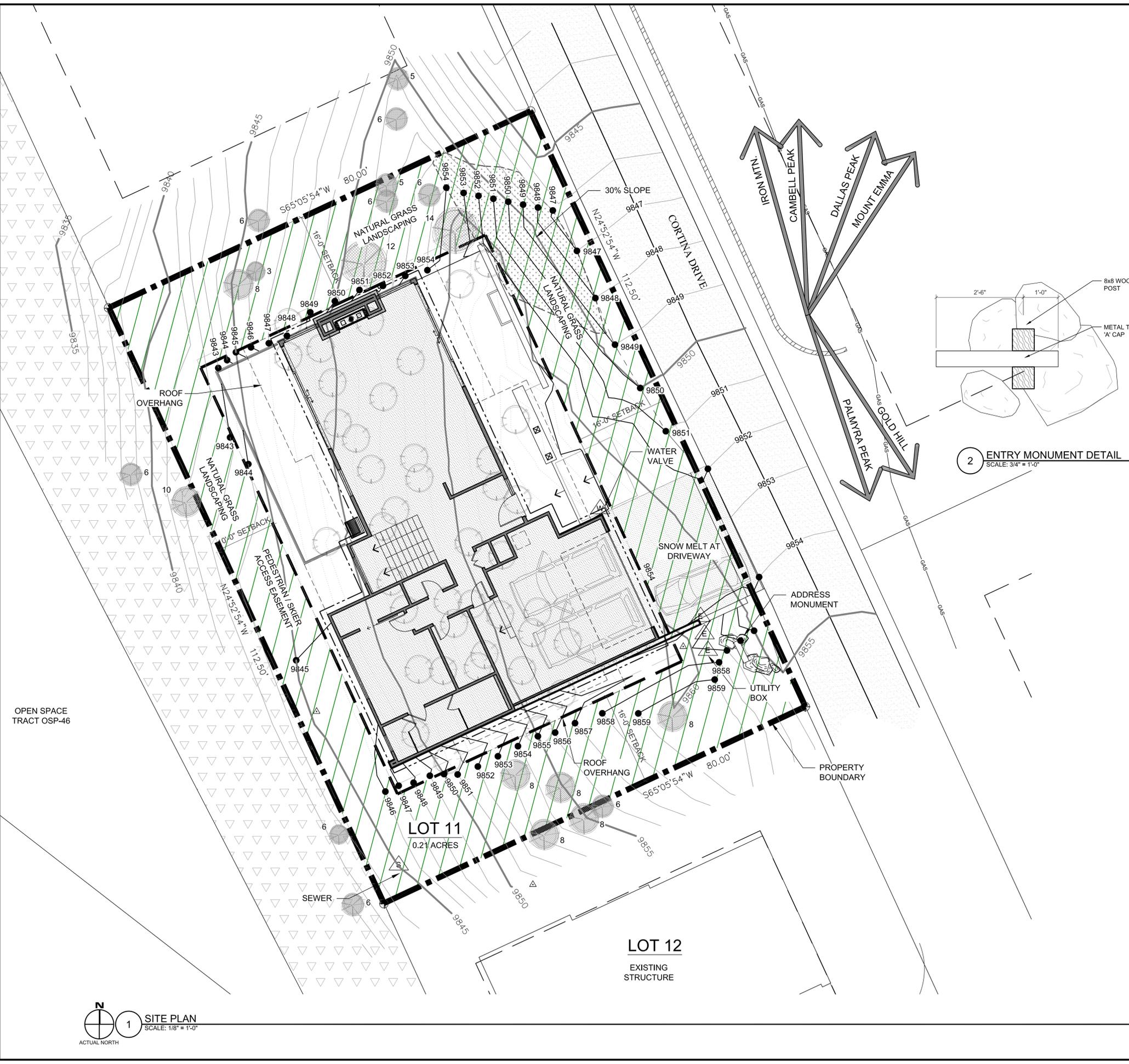
- GENERAL NOTES**
1. ALL PERIMETER FOUNDATION DRAINS TO EXIT TO DAYLIGHT
 2. STORM WATER DETENTION POND SHOULD BE LOCATED ON SITE TO MAXIMIZE THE COLLECTION OF SURFACE RUNOFF WATER IN ADDITION TO COLLECTING ROOF DRAINS AND FOUNDATION DRAIN IF APPLICABLE. ALL CONCRETE WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT PROJECT COMPLETION. CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.
 3. EXCESS SOIL FROM CONSTRUCTION TO BE RELOCATED ON SITE W/ GEOTECHNICAL ENGINEER APPROVAL.
 4. ANY DAMAGE TO THE EXISTING ROADWAY INCLUDING THE AC SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CULVERTS, EXISTING VEGETATION, AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GC TO SATISFACTION OF SPARC.
 5. ALL DRIVEWAYS, PARKING, AND LAYDOWN AREAS TO BE COVERED WITH TWO INCHES OF 3/8" SCREENED ROCK. RECOMMENDED TO DO A MINIMUM OF 8" OF 3" MINUS PITRUN OVER A GEOTECHNICAL SEPARATION FABRIC. USE OF FIRE HYDRANT IS PROHIBITED WITHIN SPANISH PEAKS.
 7. USE OF FIRE HYDRANT IS PROHIBITED WITHIN SPANISH PEAKS.

HOUSE ELEVATIONS:

T.O. CONC. @ LOWER LEVEL	90'-0" = 9845'-0"
T.O. CONC. @ GARAGE LEVEL	99'-0" = 9854'-0"
T.O. SUBFLR @ MAIN LEVEL	100'-0" = 9855'-0"

GENERAL PROJECT DETAILS:

ELEVATION @ DRIVEWAY	9853'-0"
ELEVATION @ GARAGE	9854'-0"
TOTAL ELEVATION GAIN	1'-0"
TOTAL DRIVEWAY LENGTH	20'-0"
AVERAGE SLOPE	5.0%
LOT COVERAGE	48.0%
MAX BUILDING HT.	32'-0"
AVERAGE BUILDING HT.	28'-0"



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Date 06-28-2018
Project # 1808.00
Phase Schematic Design
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A1-0.1

SITE PLAN



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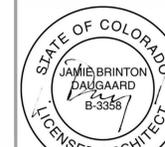
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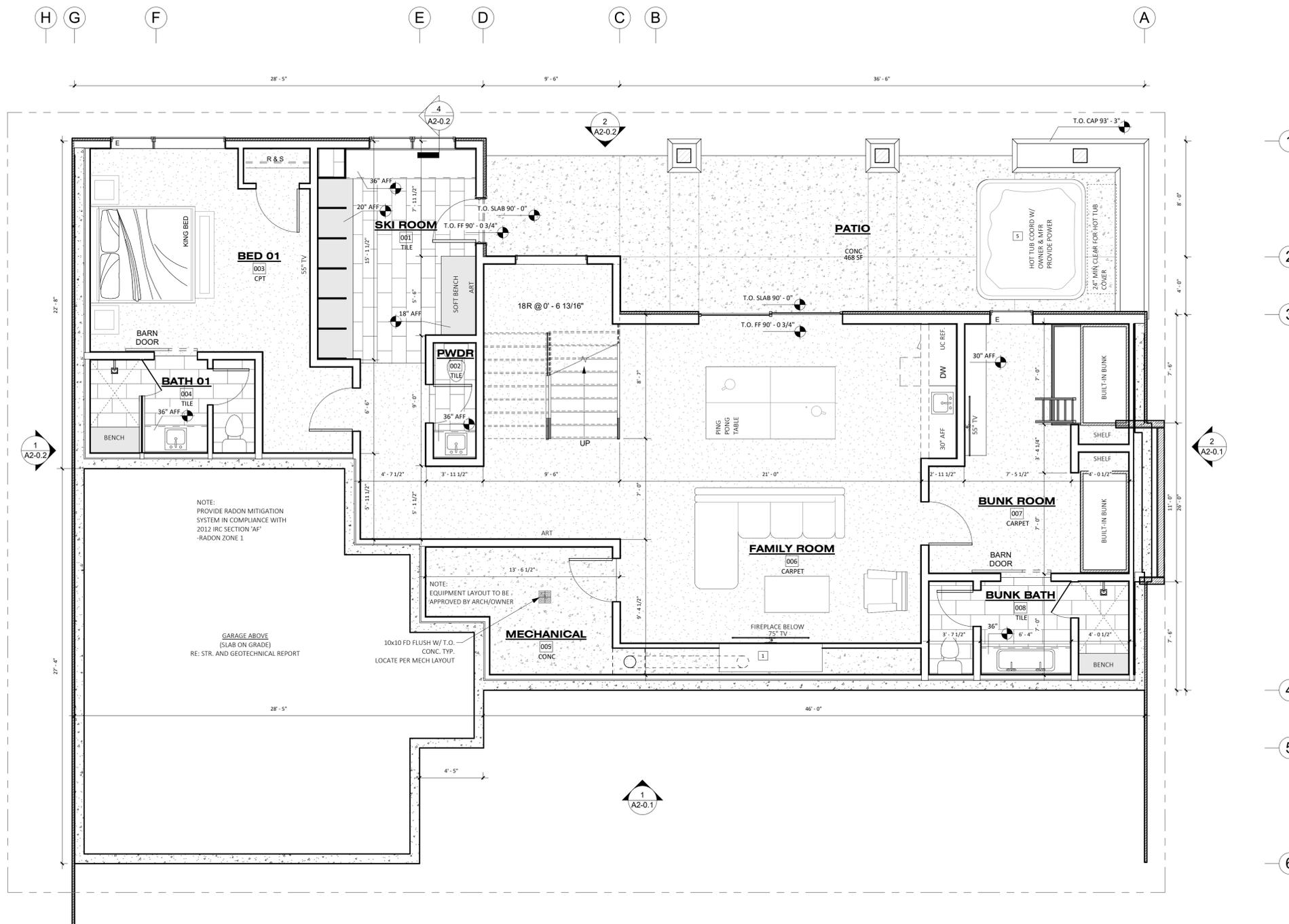


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* REV. #	-

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Date 6/28/2018
Project # 1808.00
Phase SD
Sheet

A1-1.0
LOWER LEVEL PLAN



KEY NOTE LEGEND

1	LOWER LEVEL FIREPLACE - TBD
2	GAS HEAT & GLO RED 60"
3	UPPER LEVEL FIREPLACE - TBD
4	EXTERIOR LINEAR BURNER BY HPC
5	HOT TUB TBD

PROJECT SQUARE FOOTAGE

	LOWER LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL
LIVABLE	1,846 SF	1,950 SF	1,176 SF	4,972 SF
MECHANICAL	124 SF	NA	NA	124 SF
GARAGE	NA	676 SF	NA	676 SF
TOTAL	1,970 GSF	2,626 GSF	1,176 GSF	5,772 GSF
M. BED 02 PATIO	NA	NA	248 SF	248 SF
M. BED 03 PATIO	NA	NA	213 SF	213 SF
GREAT ROOM DECK	NA	437 SF	NA	437 SF
ENTRY PATIO	NA	483 SF	NA	483 SF
LOWER LEVEL PATIO	468 SF	NA	NA	468 SF
TOTAL	468 SF	920 SF	461 SF	3,849 GSF

WALL & COLUMN LEGEND

	ARCHITECTURAL WALL
	CONVENTIONAL WOOD FRAMING - STANDARD THICKNESS 2x6 U.N.O.
	CONCRETE WALL - STANDARD THICKNESS 8" U.N.O.
	STONE MASONRY TYPE 'A' - STANDARD THICKNESS OF 1 1/2" U.N.O.
	INDICATES COLUMN. VERIFY SIZE AND TYPE WITH STRUCTURAL DRAWINGS TYP.

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FRAMING UNLESS NOTED OTHERWISE.
 - ALL WOOD-FRAMED FLOORS TO RECEIVE 1 1/2" L.W. GYPSUM CONCRETE LAYER WITH EMBEDDED RADIANT HEAT TUBING U.N.O. ALL CONC. SLAB FLOORING SHALL HAVE IMBEDDED RADIANT HEAT TUBING U.N.O., REFERENCE MECHANICAL CONTRACTOR FOR FURTHER INFORMATION.
 - CENTER ALL DOORS ABOUT WALL OR SPACE UNLESS INDICATED OTHERWISE.
 - ALL BARN DOOR OPENINGS SHALL BE GWS CASED OPENINGS AND SHALL HAVE A CLEAR OPENING 2" LESS THAT OF THE DOOR PANEL WIDTH (TYP. U.N.O.)
 - THE GENERAL CONTRACTOR AND/OR WINDOW MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR ENSURING THAT SAFETY GLASS IS PROVIDED WHERE APPLICABLE IN ACCORDANCE WITH 2012 IRC SECTION R308.4
 - RADIATION MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS. (TYP)
 - ANY AND ALL POST AND BEAM SIZES SHALL BE CROSS CHECKED WITH STRUCTURAL DRAWINGS, NOTIFY ARCHITECT OF ANY DISCREPANCIES. (TYP)
 - WATER SUPPLY (W.S.) TO BE LOCATED ON NON-VISIBLE SIDE OF TOILET (TYP)
 - MATERIAL TRANSITION TO FALL BELOW DOOR LEAF (TYP)

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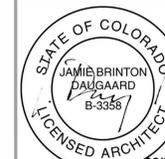
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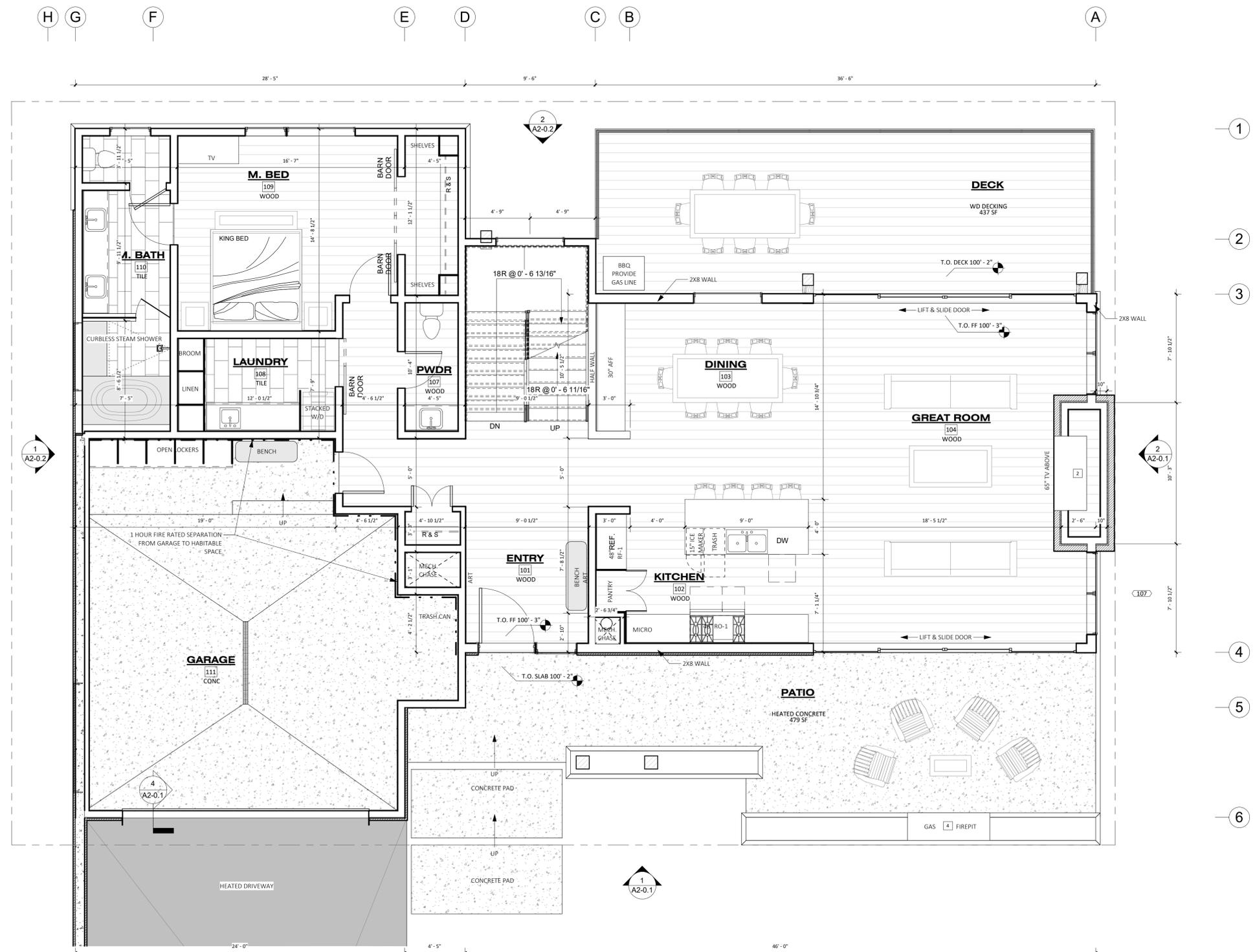
Date 6/28/2018

Project # 1808.00

Phase SD

Sheet

A1-1.1
MAIN LEVEL PLAN



1 MAIN LEVEL PLAN
1/4" = 1'-0"

KEY NOTE LEGEND

- LOWER LEVEL FIREPLACE - TBD
- GAS HEAT & GLO RED 60"
- UPPER LEVEL FIREPLACE - TBD
- EXTERIOR LINEAR BURNER BY HPC
- HOT TUB TBD

PROJECT SQUARE FOOTAGE

	LOWER LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL
LIVABLE	1,846 SF	1,950 SF	1,176 SF	4,972 SF
MECHANICAL	124 SF	NA	NA	124 SF
GARAGE	NA	676 SF	NA	676 SF
TOTAL	1,970 GSF	2,626 GSF	1,176 GSF	5,772 GSF
M. BED 02 PATIO	NA	NA	248 SF	248 SF
M. BED 03 PATIO	NA	NA	213 SF	213 SF
GREAT ROOM DECK	NA	437 SF	NA	437 SF
ENTRY PATIO	NA	483 SF	NA	483 SF
LOWER LEVEL PATIO	468 SF	NA	NA	468 SF
TOTAL	468 SF	920 SF	461 SF	1,849 GSF

WALL & COLUMN LEGEND

- ARCHITECTURAL WALL
- CONVENTIONAL WOOD FRAMING - STANDARD THICKNESS 2x6 U.N.O.
- CONCRETE WALL - STANDARD THICKNESS 8" U.N.O.
- STONE MASONRY TYPE 'A' - STANDARD THICKNESS OF 1 1/2" U.N.O.
- INDICATES COLUMN. VERIFY SIZE AND TYPE WITH STRUCTURAL DRAWINGS TYP.

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FRAMING UNLESS NOTED OTHERWISE.
 - ALL WOOD FRAMED FLOORS TO RECEIVE 1 1/2" L.W. GYPSUM CONCRETE LAYER WITH EMBEDDED RADIANT HEAT TUBING U.N.O. ALL CONC. SLAB FLOORING SHALL HAVE IMBEDDED RADIANT HEAT TUBING U.N.O., REFERENCE MECHANICAL CONTRACTOR FOR FURTHER INFORMATION. CENTER ALL DOORS ABOUT WALL OR SPACE UNLESS INDICATED OTHERWISE.
 - ALL BARN DOOR OPENINGS SHALL BE GWB CASED OPENINGS AND SHALL HAVE A CLEAR OPENING 2" LESS THAT OF THE DOOR PANEL WIDTH (TYP. U.N.O.) THE GENERAL CONTRACTOR AND/OR WINDOW MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR ENSURING THAT SAFETY GLASS IS PROVIDED WHERE APPLICABLE IN ACCORDANCE WITH 2012 IRC SECTION R308.4 RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS. (TYP)
 - ANY AND ALL POST AND BEAM SIZES SHALL BE CROSS CHECKED WITH STRUCTURAL DRAWINGS, NOTIFY ARCHITECT OF ANY DISCREPANCIES. (TYP)
 - WATER SUPPLY (W.S.) TO BE LOCATED ON NON-VISIBLE SIDE OF TOILET (TYP)
 - MATERIAL TRANSITION TO FALL BELOW DOOR LEAF (TYP)

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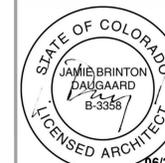
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F 303.840.2299

MONTANA:
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CORTINA LOT 11
MOUNTAIN VILLAGE, CO 81435

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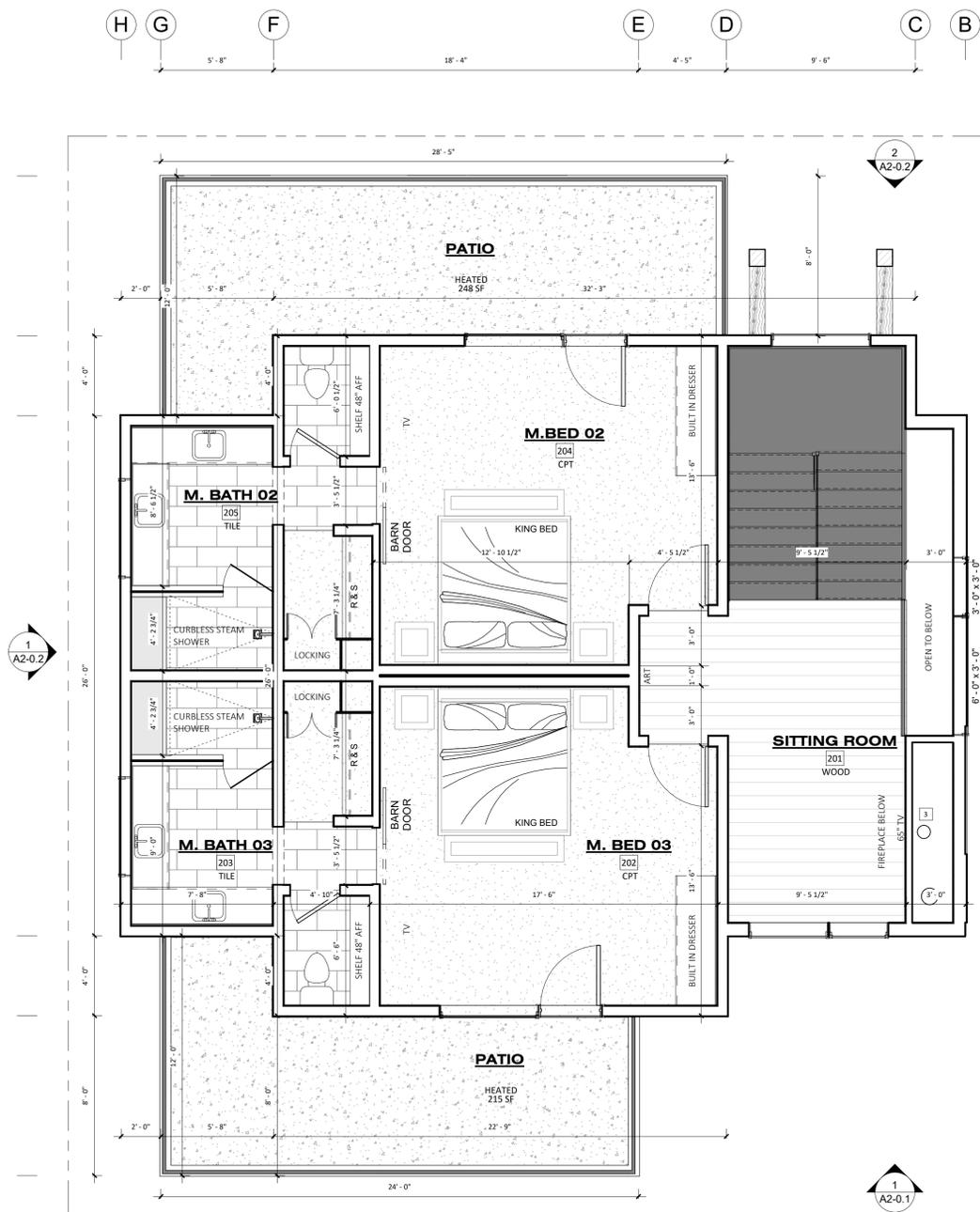


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* REV. #	-

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Project # 1808.00
Phase SD
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A1-1.2
UPPER LEVEL PLAN



	PROJECT SQUARE FOOTAGE			
	LOWER LEVEL	MAIN LEVEL	UPPER LEVEL	TOTAL
LIVABLE	1,846 SF	1,950 SF	1,176 SF	4,972 SF
MECHANICAL	124 SF	NA	NA	124 SF
GARAGE	NA	676 SF	NA	676 SF
TOTAL	1,970 GSF	2,626 GSF	1,176 GSF	5,772 GSF
M. BED 02 PATIO	NA	NA	248 SF	248 SF
M. BED 03 PATIO	NA	NA	213 SF	213 SF
GREAT ROOM DECK	NA	437 SF	NA	437 SF
ENTRY PATIO	NA	483 SF	NA	483 SF
LOWER LEVEL PATIO	468 SF	NA	NA	468 SF
TOTAL	468 SF	920 SF	461 SF	1,849 GSF

KEY NOTE LEGEND	
1	LOWER LEVEL FIREPLACE - TBD
2	GAS HEAT & GLO RED 60"
3	UPPER LEVEL FIREPLACE - TBD
4	EXTERIOR LINEAR BURNER BY HPC
5	HOT TUB TBD

WALL & COLUMN LEGEND	
	ARCHITECTURAL WALL
	CONVENTIONAL WOOD FRAMING - STANDARD THICKNESS 2x6 U.N.O.
	CONCRETE WALL - STANDARD THICKNESS 8" U.N.O.
	STONE MASONRY TYPE 'A' - STANDARD THICKNESS OF 1 1/2" U.N.O.
	INDICATES COLUMN. VERIFY SIZE AND TYPE WITH STRUCTURAL DRAWINGS TYP.

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FRAMING UNLESS NOTED OTHERWISE.
 - ALL WOOD FRAMED FLOORS TO RECEIVE 1 1/2" L.W. GYPSUM CONCRETE LAYER WITH EMBEDDED RADIANT HEAT TUBING U.N.O. ALL CONC. SLAB FLOORING SHALL HAVE IMBEDDED RADIANT HEAT TUBING U.N.O. - REFERENCE MECHANICAL CONTRACTOR FOR FURTHER INFORMATION.
 - CENTER ALL DOORS ABOUT WALL OR SPACE UNLESS INDICATED OTHERWISE.
 - ALL BARN DOOR OPENINGS SHALL BE GWB CASED OPENINGS AND SHALL HAVE A CLEAR OPENING 2" LESS THAT OF THE DOOR PANEL WIDTH (TYP, U.N.O.)
 - THE GENERAL CONTRACTOR AND/OR WINDOW MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR ENSURING THAT SAFETY GLASS IS PROVIDED WHERE APPLICABLE IN ACCORDANCE WITH 2012 IRC SECTION R308.4
 - RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS. (TYP)
 - ANY AND ALL POST AND BEAM SIZES SHALL BE CROSS CHECKED WITH STRUCTURAL DRAWINGS, NOTIFY ARCHITECT OF ANY DISCREPANCIES. (TYP)
 - WATER SUPPLY (W.S.) TO BE LOCATED ON NON-VISIBLE SIDE OF TOILET (TYP)
 - MATERIAL TRANSITION TO FALL BELOW DOOR LEAF (TYP)



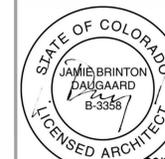
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A1-3.1
ROOF PLAN

ROOF MATERIALS LEGEND

NOTE:
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS

METAL ROOFING
2" MECH. SEAM, 18" RIB SPACING
COLOR: RUSTED
MFR: TBD

BALLAST ROOFING
TPO ROOF W/RANDOM 1" TO 3" RIVER ROCK BALLAST, COLOR: DARK BRONZE
THICKNESS: 60 MIL RHINO BOND ATTACHMENT SYSTEM

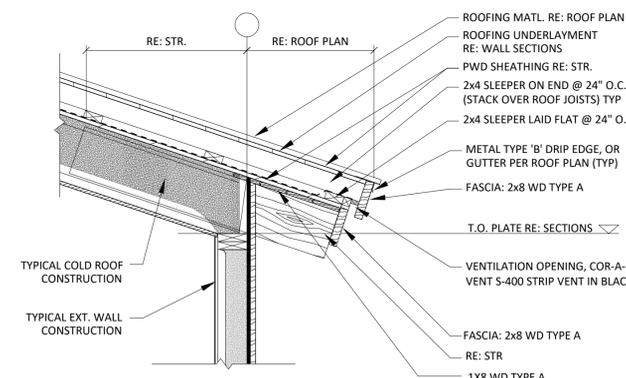
--- SNOW BREAK

● METAL TYPE A, SEAMLESS 6" SQUARE, GUTTERS W/ DOWNSPOUT AS INDICATED. PROVIDE ELEC. HEAT TAPE, TYP. PROVIDE DEBRIS SCREEN AT ALL TRANSITIONS TO DOWNSPOUT, TYP.

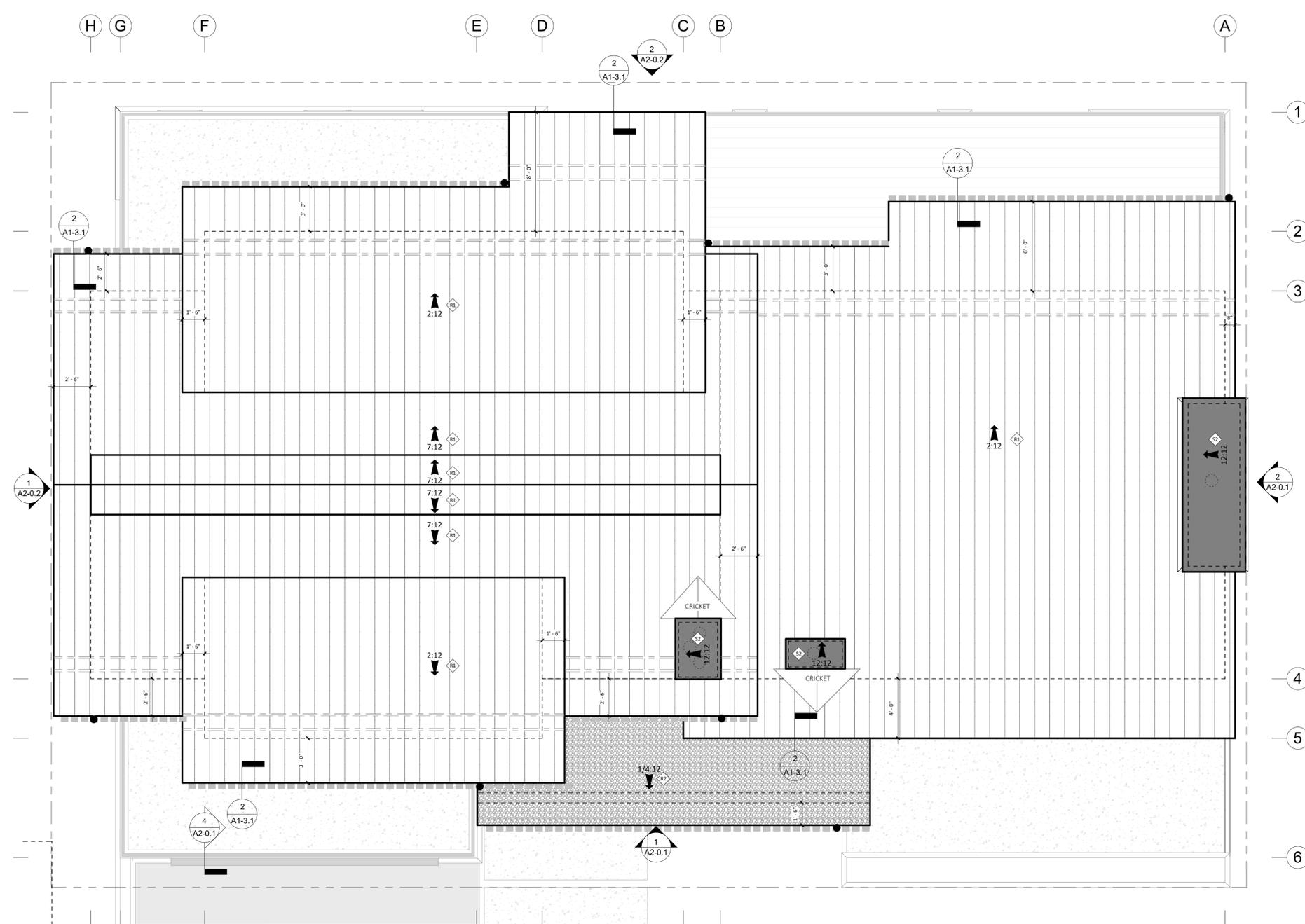
CRICKET DIMENSION TABLE

ROOF SLOPE	H
12:12	1/2 OF W
8:12	1/3 OF W
6:12	1/4 OF W
4:12	1/6 OF W
3:12	1/8 OF W

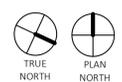
- ROOF PLAN GENERAL NOTES**
- ALL ROOFS TO ACHIEVE A CLASS 'A' FIRE RATING BY INSTALLING REQUIRED ROOFING UNDERLAYMENT AT ALL LOCATIONS WHERE PRIMARY ROOF MATERIAL DOES NOT ACHIEVE CLASS 'A' RATING GC TO VERIFY COMPLIANCE, TYP.
 - IT IS RECOMMENDED THAT ALL ROOFS RECEIVE BUILD-UP FOR VENTILATED DOUBLE COLD ROOF, COVER BASE LAYER AND TOP LAYER OF PWD WITH SINGLE LAYER OF SELF-ADHERING UNDERLAYMENT AS SPECIFIED, RE: PROJECT SPECIFICATIONS.
 - ALL RAKE AND EAVE DIMENSIONS TO BE HORIZONTAL DIMENSIONS, NOT ALONG THE PITCH.
 - COORDINATE LAYOUT OF ROOF FRAMING WITH EXPOSED RAFTERS WHERE APPLICABLE, SEE REFLECTED CEILING PLAN FOR LOCATIONS, (TYP.)
 - PROVIDE ELEC. ROUGH IN FOR HEAT TAPE IN ALL VALLEYS, RE: ELEC. FOR FURTHER DETAIL
 - VERIFY ALL GUTTER & DOWNSPOUT LOCATIONS AND TYPES WITH ARCHITECT PRIOR TO INSTALLATION.
 - LIGHTNING PROTECTION IS RECOMMENDED, REFER TO MANUFACTURER FOR LIGHTNING ROD AND GROUND ROD LOCATIONS AS IMPLEMENTED.
 - PROVIDE ELECTRICAL HEAT TAPE AT ALL HARD PIPED GUTTERS & DOWNSPOUTS (TYP.)
 - ALL ROOF PENETRATION LOCATIONS INCLUDING, BUT NOT LIMITED TO; FLUES, VENTILATION PIPES AND STACKS SHALL BE SUBMITTED TO ARCHITECT AND ROOFING MFR. FOR REVIEW. (NOTE: NOT ALL ROOF PENETRATIONS MAY BE SHOWN ON PLAN)
 - DIVERTER FLASHING SHALL BE INSTALLED WHERE A LOWER SLOPED ROOF TERMINATES AGAINST A VERTICAL WALL, CHIMNEY CHASE, OR FRAMED COLUMN.
 - FLASHING AT PLUMBING VENTS TO MATCH ROOF MATERIAL, RE: 4 / A1-3.5
- METAL ROOFS:** INSTALL SLIP SHEET AS SPECIFIED ON TOP OF SINGLE LAYER 'MIRADRI' HIGH TEMP. ICE & WATER UNDERLAYMENT. DUAL LAYER TO EXTEND 6" UP FROM BOTTOM ON LOW SLOPE ROOFS. COVER ALL PWD SHEATHING WHERE METAL ROOF IS LOCATED. LAP OVER HIPS, RIDGES, AND THROUGH VALLEYS, TYP. UNDERLAYMENT SHALL BE LAPPED 6" VERTICALLY (END OR SIDE LAP) AND 2" HORIZONTALLY (HEAD LAP).
- NOTE: ALL VALLEYS TO RECEIVE METAL TYPE 'A' W-VALLEY METAL OVER TOP SLIP SHEET AS SPECIFIED 6" EXPOSED VALLEY METAL EACH SIDE, TYP.



2 EAVE COLD ROOF W/ EXPOSED RAFTER DETAIL
3/4" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"



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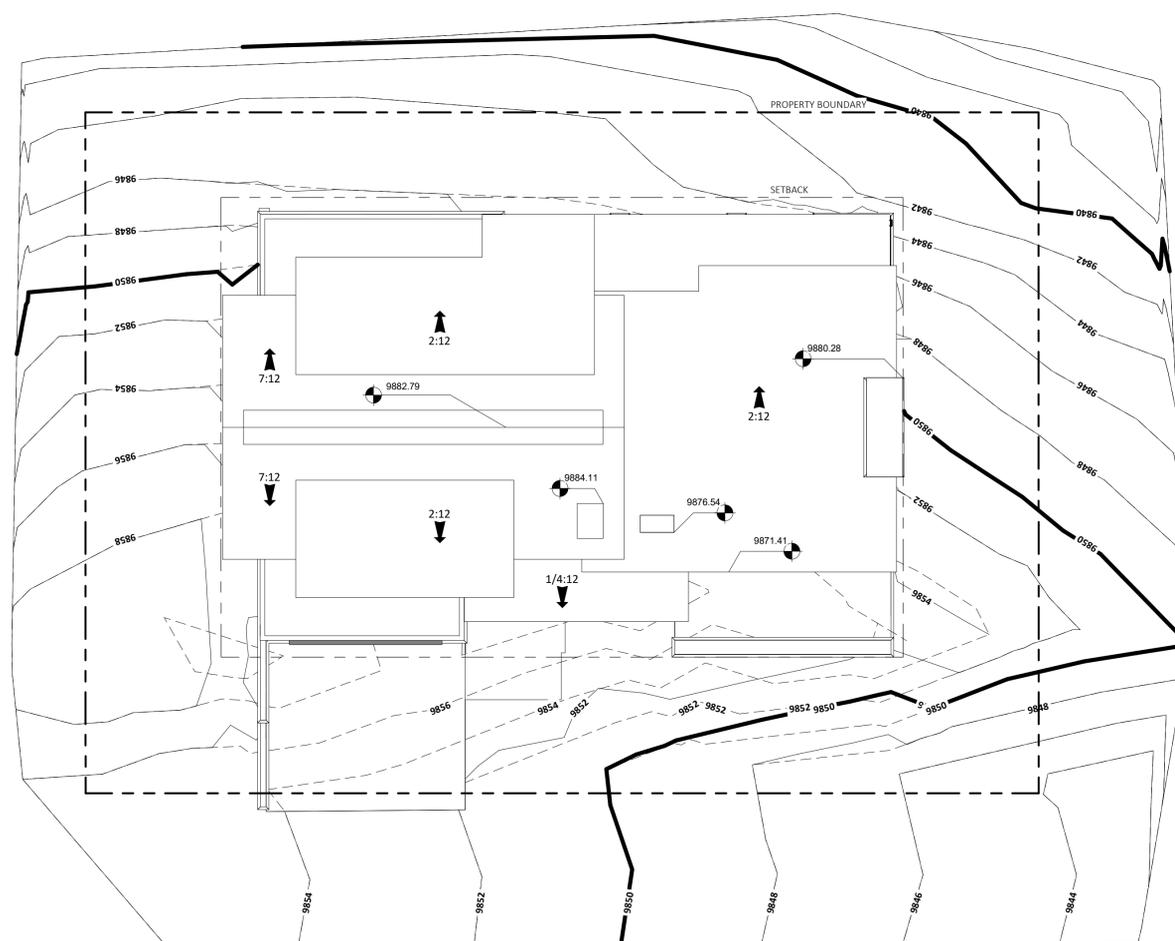
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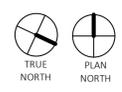
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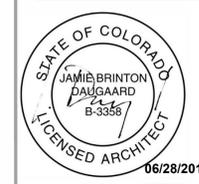


1 SITE PLAN
1" = 10'-0"



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A1-3.2
ROOF PLAN & TOPO
SURVEY

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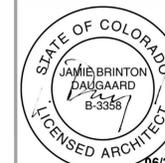
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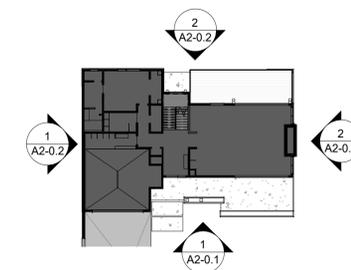
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A2-0.1

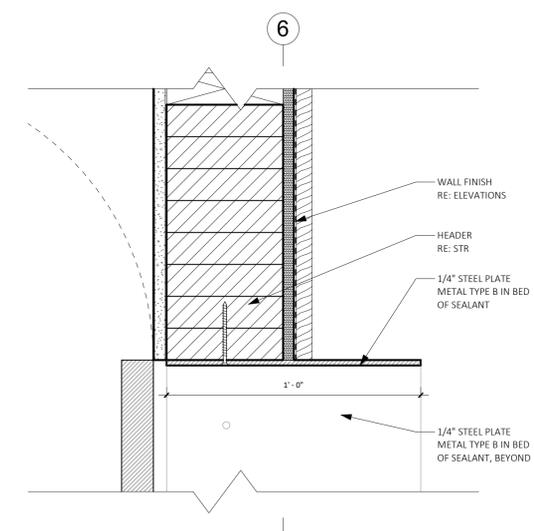
EXTERIOR
ELEVATIONS



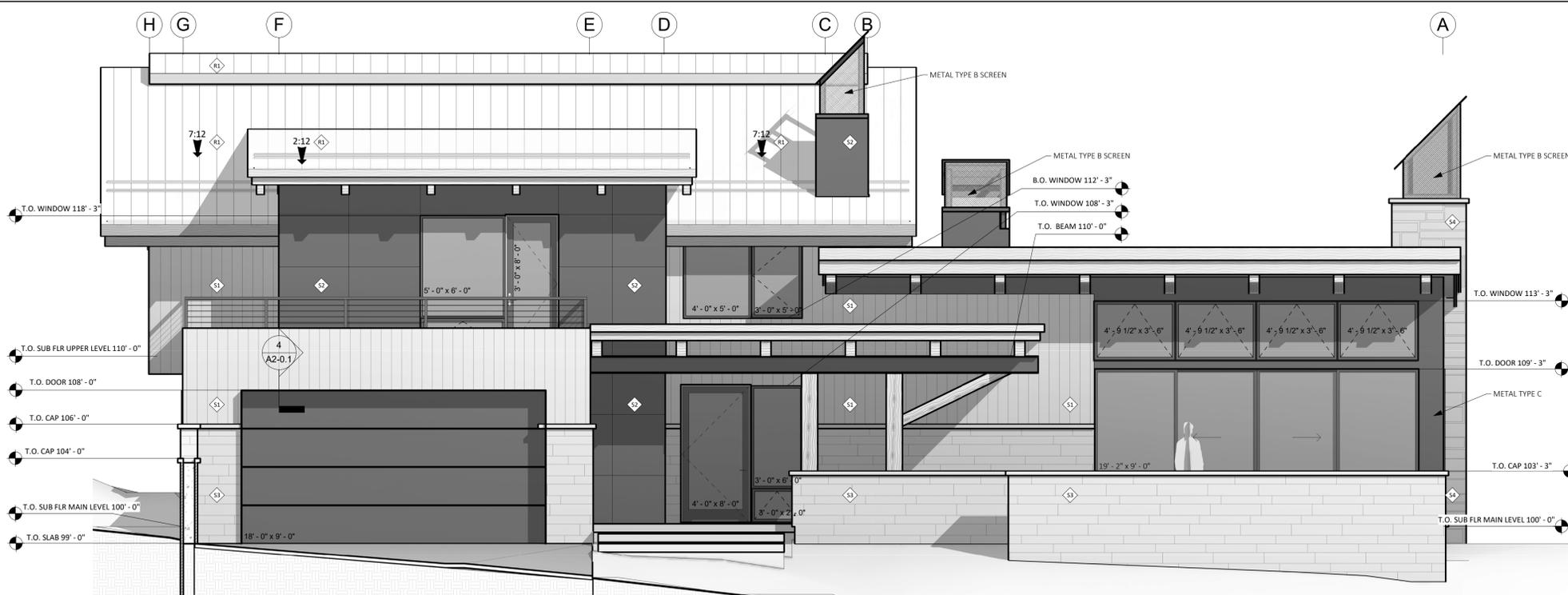
3 KEY PLAN
1" = 30'-0"

EXTERIOR MATERIALS LEGEND	
NOTE: REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.	
	METAL ROOFING 2" MECH. SEAM, 18" RIB SPACING COLOR: RUSTED MFR: TBD
	BALLAST ROOFING TPO ROOF W/RANDOM 1" TO 3" RIVER ROCK BALLAST, COLOR: DARK BRONZE THICKNESS: 60 MIL, RHINO BOND ATTACHMENT SYSTEM
	VERTICAL WOOD SIDING 1X8 WD VERTICAL SHIP LAP COLOR: MEDIUM GREY MFR: VINTAGE WOODS
	STEEL SIDING METAL TYPE B PATINATED STEEL SIDING PANELS, 1/8" W/ EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING PATINA: VARIED BLACK MFR: VINTAGE WOOD RE:
	STONE MASONRY VENEER 1 1/2" THICK STONE CURATORS: GRAY QUARTZITE PLANK LAYUP: RE: 3 / A0-0.2
	STONE MASONRY 6" THICK STONE CURATORS: GRAY QUARTZITE LAYUP: RE: 4 / A0-0.2

MATERIAL	ELEVATION (SF/%)				TOTAL
	NORTH	EAST	SOUTH	WEST	
STONE	596/44.7	338/23.9	495/43.9	610/31.5	2,039/35.1
METAL	235/17.6	263/18.6	74/6.7	350/18.1	922/15.9
WOOD	337/25.3	320/22.6	512/45.4	434/22.4	1,603/27.6
FENESTRATION	165/12.4	492/34.8	46/4.0	542/28.0	1,245/21.4



4 GARAGE DOOR JAMB
3" = 1'-0"



1 EAST
1/4" = 1'-0"



2 NORTH
1/4" = 1'-0"

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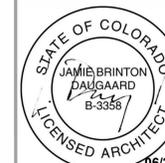
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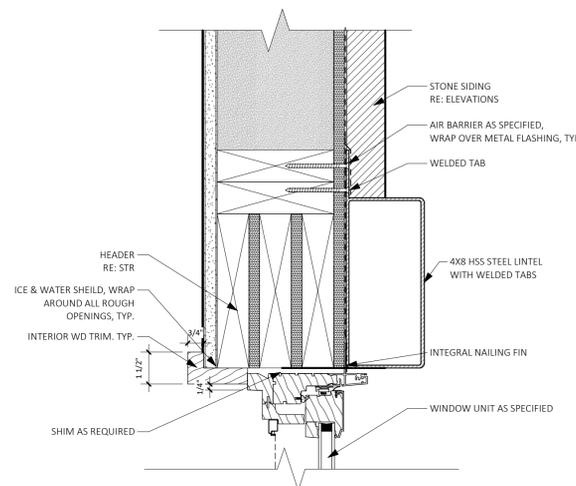
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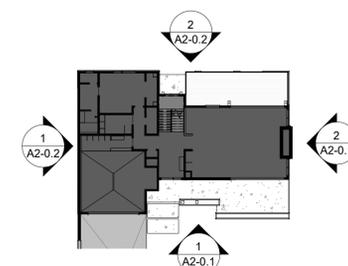
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A2-0.2

EXTERIOR
ELEVATIONS



4 TYP. WINDOW & DOOR HEAD @ STONE WALL
3" = 1'-0"



3 KEY PLAN
1" = 30'-0"



1 SOUTH
1/4" = 1'-0"



2 WEST
1/4" = 1'-0"

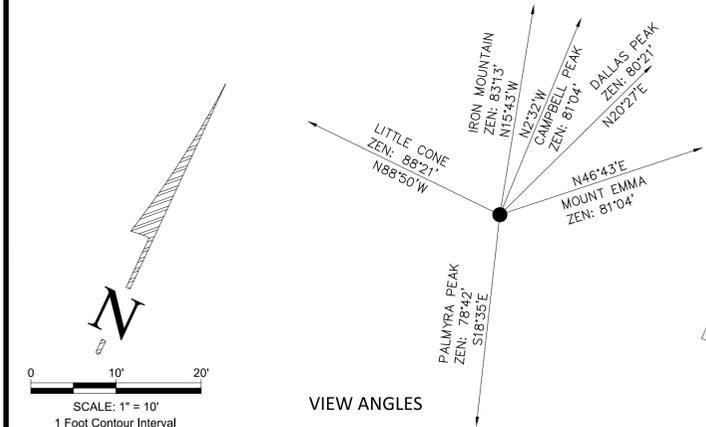
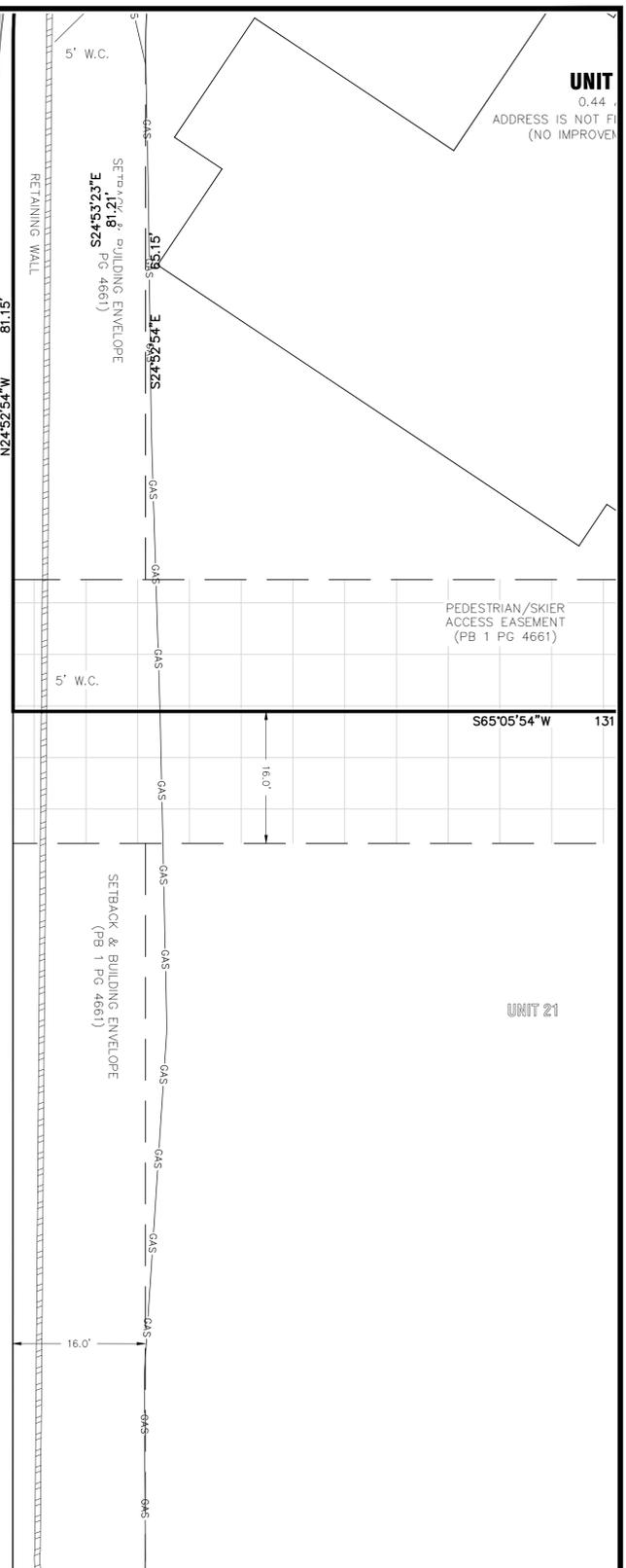
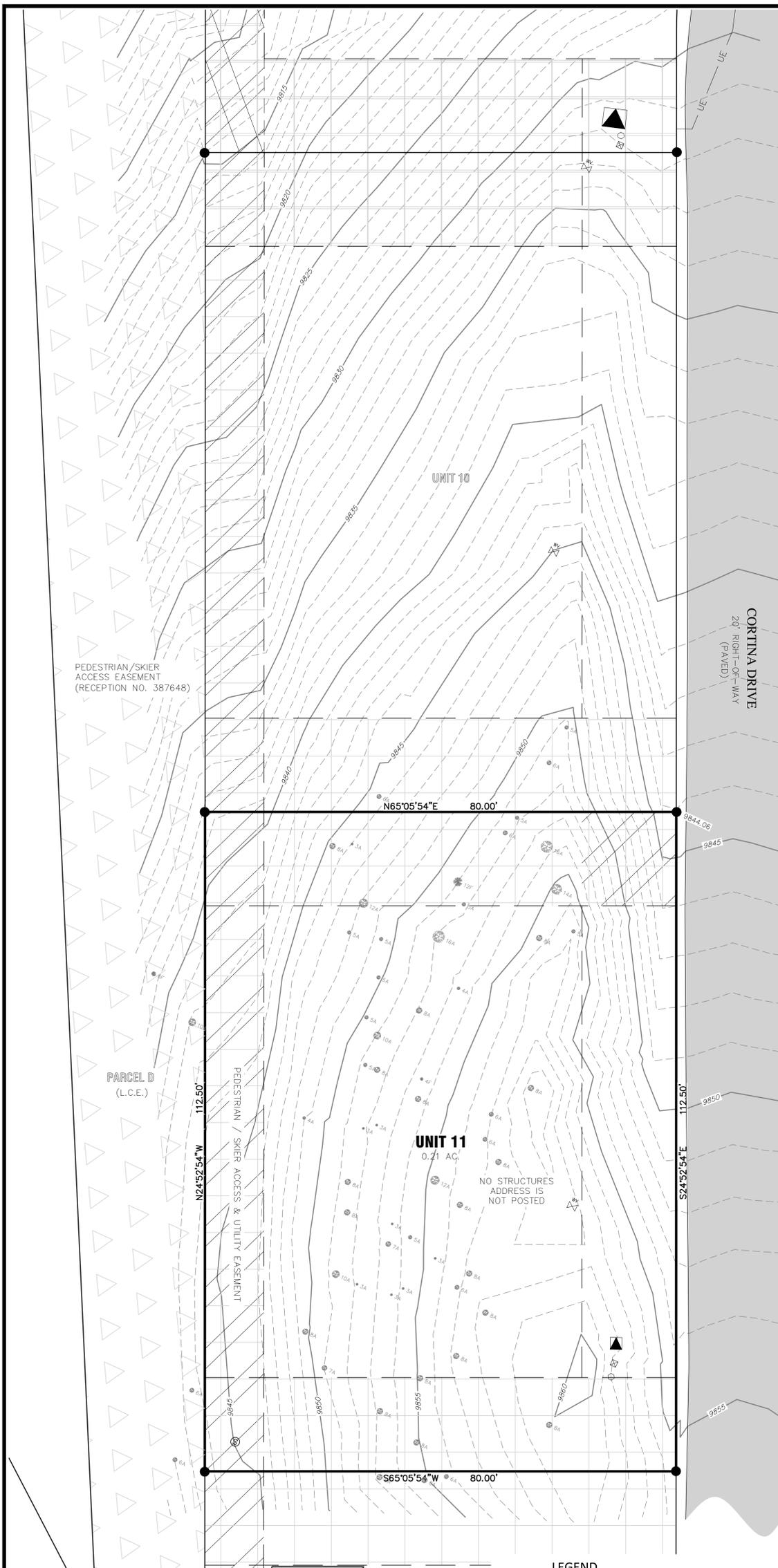
EXTERIOR MATERIALS LEGEND

NOTE:
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

- METAL ROOFING
2" MECH. SEAM, 18" RIB SPACING
COLOR: RUSTED
MFR: TBD
- BALLAST ROOFING
TPO ROOF W/RANDOM 1" TO 3" RIVER
ROCK BALLAST, COLOR: DARK BRONZE
THICKNESS: 60 MIL, RHINO BOND
ATTACHMENT SYSTEM
- VERTICAL WOOD SIDING
1X8 WD VERTICAL SHIP LAP
COLOR: MEDIUM GREY
MFR: VINTAGE WOODS
- STEEL SIDING
METAL TYPE B PATINATED STEEL SIDING PANELS,
1/8" W/EXPOSED FASTENERS, SEE ELEVATIONS FOR
SEAM SPACING
PATINA: VARIOUS BLACK
MFR: VINTAGE WOOD
RE:
- STONE MASONRY VENEER
1 1/2" THICK
STONE CURATORS: GRAY QUARTZITE PLANK
LAYOUT: RE: 3/ A0-0.2
- STONE MASONRY
6" THICK
STONE CURATORS: GRAY QUARTZITE
LAYOUT: RE: 4/ A0-0.2

EXTERIOR MATERIAL QUANTITIES

MATERIAL	ELEVATION (SF/%)				TOTAL
	NORTH	EAST	SOUTH	WEST	
STONE	596/44.7	338/23.9	495/43.9	610/31.5	2,039/35.1
METAL	235/17.6	263/18.6	74/6.7	350/18.1	922/15.9
WOOD	337/25.3	320/22.6	512/45.4	434/22.4	1,603/27.6
FENESTRATION	165/12.4	492/34.8	46/4.0	542/28.0	1,245/21.4



- LEGEND**
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
 - (L.C.E.) LIMITED COMMON ELEMENT
 - CABLE PEDESTAL
 - ⊗ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊗ CABLE PEDESTAL
 - ⚡ ELECTRIC TRANSFORMER
 - CATCH BASIN
 - ⊙ SEWER MANHOLE
 - ASPEN TREE, NUMBER INDICATES CALIPER
 - FIR TREE, NUMBER INDICATES CALIPER
 - ▨ PEDESTRIAN/SKIER ACCESS EASEMENT (PB 1 PG 4661)
 - ▨ UTILITY EASEMENT (PB 1 PG 4661)
 - UE — UNDERGROUND ELECTRIC LOCATE
 - GAS — UNDERGROUND GAS LOCATE

NOTICE:
According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

- According to Flood Insurance Rate Map 08113C0287 D Map Revised September 30, 1992, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
- Easement research from Land Title Guarantee Company, Commitment No. TLR86007988, Effective Date 03/22/2018 at 05:00 P.M.
- Vertical datum is based on the found Northeast Corner of Unit 11, an Aluminum Cap Rebar, LS 36577, having an elevation of 9844.06 feet, as depicted.
- Utility locates as shown are from previous work, were done by others and positional accuracy is not known.
- Fieldwork was performed April 05, 2018.
- Lineal Units U.S. Survey Feet

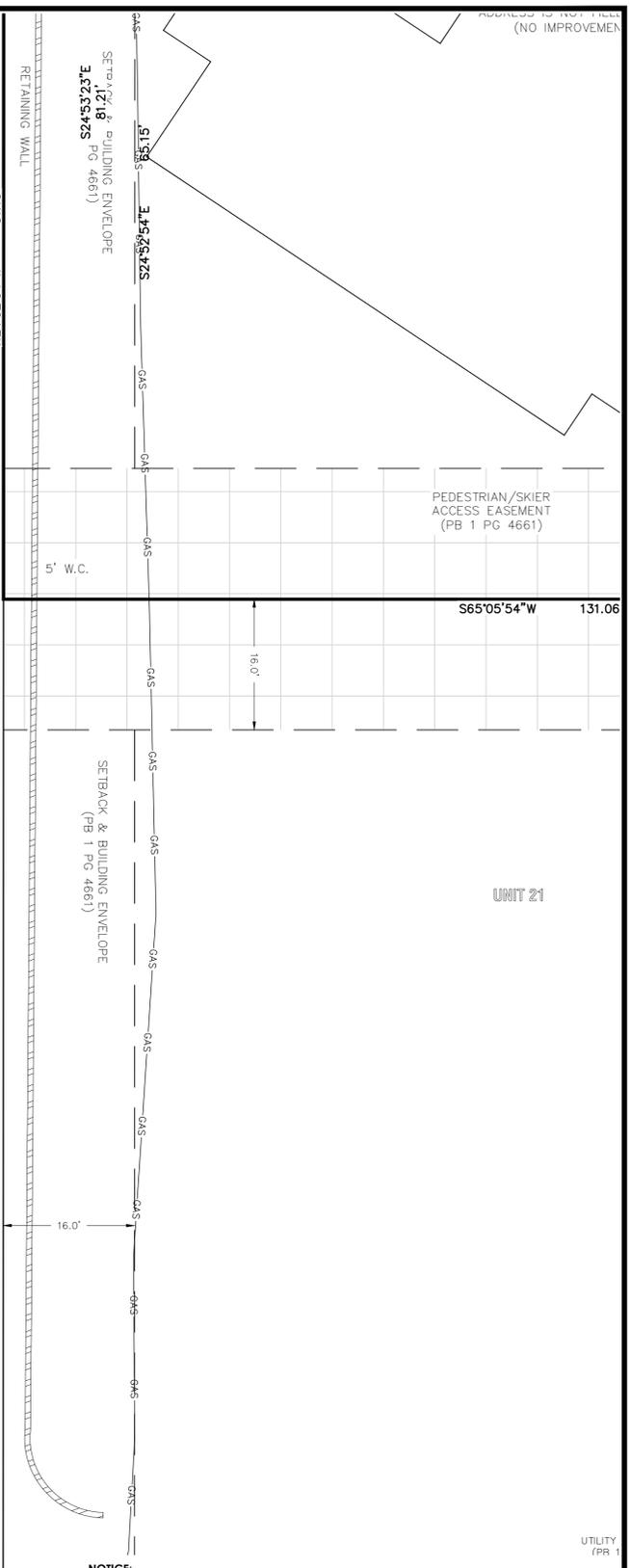
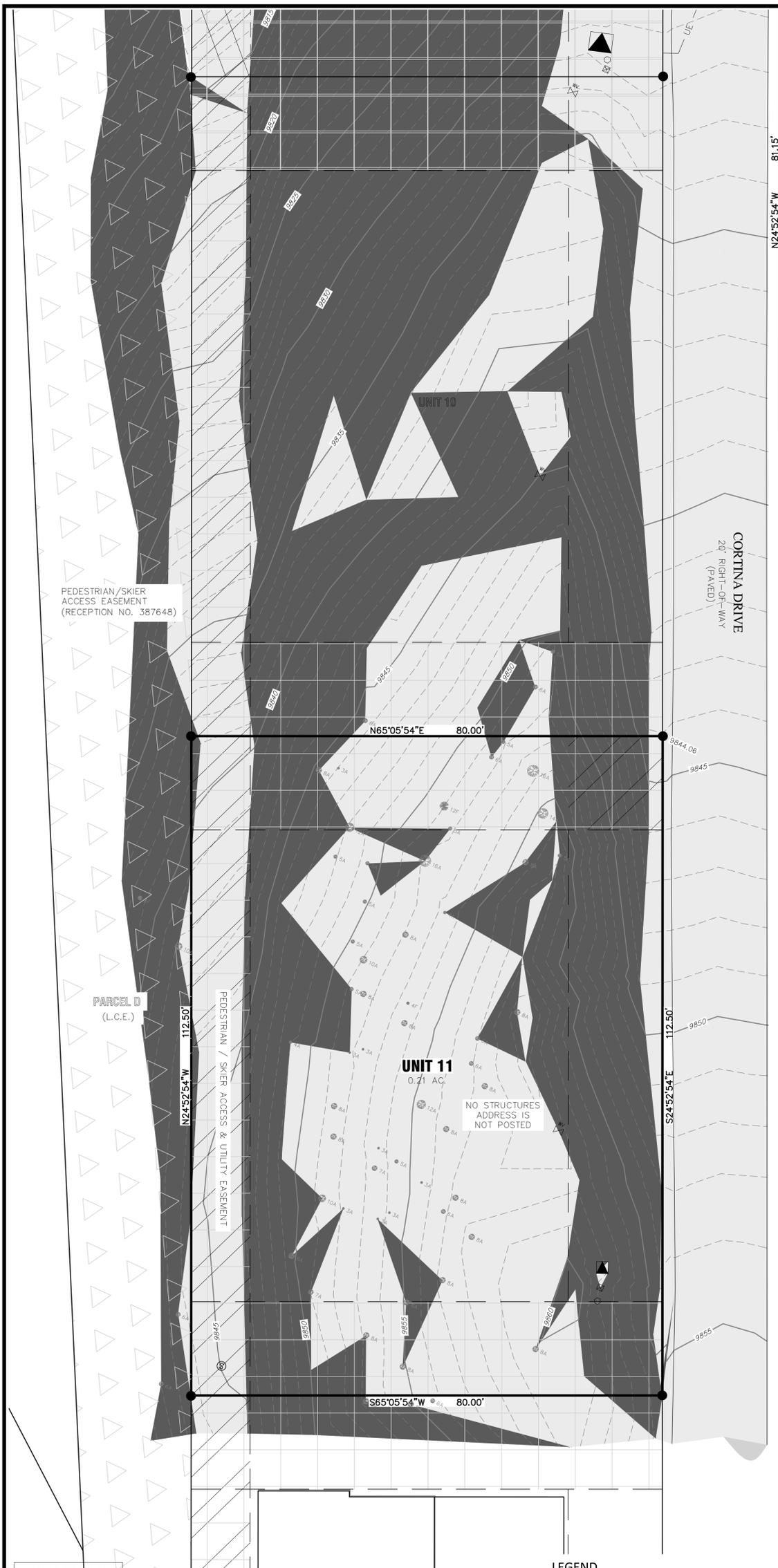
PROPERTY DESCRIPTION:
Unit 11, The Cortina Land Condominiums, according to the Condominium Declaration recorded November 30, 2004 under Reception No. 370697 and The First Amendment thereto recorded November 14, 2006 under Reception No. 388352 and The Second Amendment thereto recorded January 19, 2007 under Reception No. 389486 and The Third Amendment thereto recorded August 22, 2014 under Reception No. 434256, and notice recorded November 20, 2014 under Reception No. 435386, and rerecorded December 1, 2014 under Reception No. 435492 and The Fourth Amendment thereto recorded January 5, 2016 under Reception No. 440875 and The Fifth Amendment thereto recorded March 14, 2016 under Reception No. 441684 and The Sixth Amendment thereto recorded August 24, 2016 under Reception No. 443675 and according to the Condominium Map recorded November 30, 2004 in Plat Book 1 at page 3400 and The First Amendment to the Map of Cortina Land Condominiums recorded January 19, 2007 in Plat Book 1 at page 3803, and The Second Amendment to the Map of the Cortina Land Condominiums recorded August 22, 2014 in Plat Book 1 at page 4661.

County of San Miguel,
State of Colorado

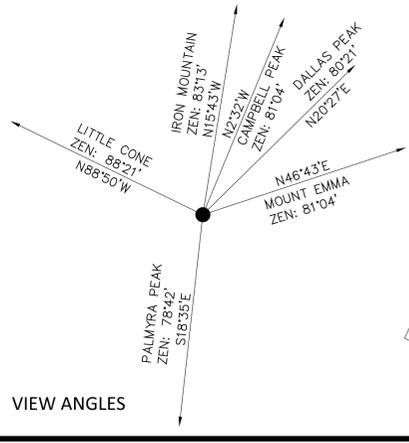
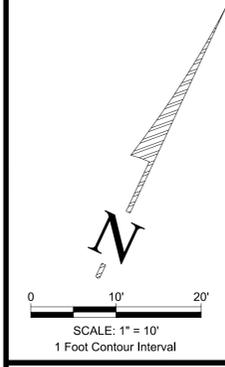
BASIS OF BEARINGS:
The Basis of Bearings for this Improvement Survey Plat was derived from the northeast line of Lot 165, according to the Plat recorded in Book 1 at page 1312, said bearing being **S 05°22'30" E**.

SURVEYOR'S CERTIFICATE:
I, Christopher R. Kennedy, of San Juan Surveying, being a Licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Improvement Survey Plat prepared for Land Title Guarantee Company, Michael Talbot and Stonegate San Joaquin Partners, LLC, a Colorado Limited Liability Company was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

Christopher R. Kennedy
Christopher R. Kennedy, P.L.S. 36577
04/12/2018



SLOPE TABLE	
MAX. SLOPE	COLOR
< 30%	[Light Gray]
≥ 30%	[Dark Gray]



- LEGEND**
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577 (L.C.E.) LIMITED COMMON ELEMENT
 - CABLE PEDESTAL
 - ⊗ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊞ CABLE PEDESTAL
 - ⚡ ELECTRIC TRANSFORMER
 - CATCH BASIN
 - ⊙ SEWER MANHOLE
 - ⊙ ASPEN TREE, NUMBER INDICATES CALIPER
 - ⊙ FIR TREE, NUMBER INDICATES CALIPER
 - [Hatched Box] PEDESTRIAN/SKIER ACCESS EASEMENT (PB 1 PG 4661)
 - [Diagonal Lines Box] UTILITY EASEMENT (PB 1 PG 4661)
 - UE — UNDERGROUND ELECTRIC LOCATE
 - GAS — UNDERGROUND GAS LOCATE

NOTICE:
According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown herein.

NOTES:

- According to Flood Insurance Rate Map 08113C0287 D Map Revised September 30, 1992, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
- Easement research from Land Title Guarantee Company, Commitment No. TLR86007988, Effective Date 03/22/2018 at 05:00 P.M.
- Vertical datum is based on the found Northeast Corner of Unit 11, an Aluminum Cap Rebar, LS 36577, having an elevation of 9844.06 feet, as depicted.
- Utility locates as shown are from previous work, were done by others and positional accuracy is not known.
- Fieldwork was performed April 05, 2018.
- Lineal Units U.S. Survey Feet

PROPERTY DESCRIPTION:
Unit 11, The Cortina Land Condominiums, according to the Condominium Declaration recorded November 30, 2004 under Reception No. 370697 and The First Amendment thereto recorded November 14, 2006 under Reception No. 388352 and The Second Amendment thereto recorded January 19, 2007 under Reception No. 389486 and The Third Amendment thereto recorded August 22, 2014, under Reception No. 434256, and notice recorded November 20, 2014 under Reception No. 435386, and rerecorded December 1, 2014 under Reception No. 435492 and The Fourth Amendment thereto recorded January 5, 2016 under Reception No. 440875 and The Fifth Amendment thereto recorded March 14, 2016 under Reception No. 441684 and The Sixth Amendment thereto recorded August 24, 2016 under Reception No. 443675 and according to the Condominium Map recorded November 30, 2004 in Plat Book 1 at page 3400 and The First Amendment to the Map of Cortina Land Condominiums recorded January 19, 2007 in Plat Book 1 at page 3803, and The Second Amendment to the Map of the Cortina Land Condominiums recorded August 22, 2014 in Plat Book 1 at page 4661.
County of San Miguel,
State of Colorado

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Christopher R. Kennedy
Christopher R. Kennedy, P.L.S. 36577
04/12/2018



**PLANNING & DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Design Review Board
FROM: Sam Starr, Planner
FOR: Meeting of August 2, 2018
DATE: July 20, 2018
RE: Consideration of an Class 3 Final Review application for a new single-family dwelling on Lot AR-31, 125 Singletree Way

PROJECT GEOGRAPHY

Legal Description: Lot AR-31
Address: 125 Singletree Way
Applicant/Agent: Narcis Tudor Architects
Owner: Bertrand and Laura Marchal
Zoning: Multi-Family Zone District
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: 0.199 Acres
Adjacent Land Uses:

- **North:** Single-Family
- **South:** Multi-Family
- **East:** Single-Family
- **West:** Multi-Family

ATTACHMENTS

- Exhibit A: Updated Applicant Narrative
- Exhibit B: Final Plan Set

BACKGROUND

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Final Review for the development of a single-family residence. The proposed dwelling unit is located on 125 Singletree Way, and consists of three (3) bedrooms and an attached two (2) car garage for a total of 3522 livable square feet. The site area consists of 0.19 acres and is characterized by a substantial slope on the western portion that has driven the design and placement of this residence.

PROJECT SUMMARY

CDC Provision	Requirement	Proposed
Maximum Building Height	35 + 5' (if gable form) maximum	35' 6"
Maximum Avg Building Height	30' + 5' (if gable form) maximum	26' 10"
Maximum Lot Coverage	Established by building envelope	30.3%
General Easement Setbacks		
North	16' General Easement	17' 8"
South	10' setback	10' 9"
East	16' General Easement	22' 8"
West	16' setback	17' 1"
Roof Pitch		
Primary		8:12
Secondary		3:12
Exterior Material		
Stone	35%	36.50 %
Wood	No requirement	33.30%
Windows/Doors	40% maximum for windows	15.70%
Metal Accents	No requirement	14.50%
Parking	2 enclosed	2 enclosed

17.3.12.C BUILDING HEIGHT LIMITS

The average height for the proposed design is code compliant at 26'-10". The proposed maximum height is 35' – 6", which is well within the maximum height allowed for a single family common interest community map. To verify that the finished product matches the proposed plans, staff recommends that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This conditions will be required to be met prior to issuance of a certificate of occupancy, as they are construction conditions.

17.5.5 BUILDING SITING DESIGN

Lot AR-31 is a small lot (0.19 acres) that slopes considerably from the east to the west. The topography-driven siting of the home has caused portions of the driveway to be in parts of the General Easement and the Road Right of Way. To accommodate the structural elements in the GE and RROW, the applicant will need to enter into a General Easement Encroachment Agreement for the stone walkway and driveway. Staff also recommends that a monumented land survey of the footers be provided prior to pouring concrete to determine there are no further encroachments into the GE.

17.5.6 BUILDING DESIGN

Building Form and Exterior Wall Form

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation. Moreover, the materials and form align with the character of the neighborhood.

Roof Forms, Design and Materials

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines, and vertical offsets. The primary roof forms 8:12 gable roofs. The secondary roof forms are low pitch (3:12). The proposed roofing material will be black standing seam metal, which no longer requires specific approval. The fascia will be the same color and material as the roof.

The applicant has updated his roofing forms to include snow fencing materials per the direction of the Design Review Board. Snow retention apparatuses are now present on the southern, eastern, and northern elevations. The material for the fencing will match the roof materials and color.

Exterior Wall Materials

Following the Initial Architectural Site Review, the applicant has updated the exterior wall materials to bring the project in compliance with stone veneer requirements. The exterior materials now consist of 36.5% stone, 33.3% 8 Inch vertical cedar wood siding, 15.7% fenestration, and 15.4% black metal accents. All are compliant with the Community Development Code.

17.5.7 GRADING AND DRAINAGE PLAN

The applicant has provided a grading and drainage plan for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades of 3:1 or flatter. The driveway and other fill areas will be graded with the foundation excavation. Driveway slope and profile meet CDC requirements.

17.5.8 PARKING REGULATIONS

The applicant shows 2 enclosed parking spaces, which is consistent with the requirements for a Single Family Common Interest Community. However, a portion of the driveway, retaining walls, and drainage pans remain in the Singletree Way right of way.

17.5.9 LANDSCAPING REGULATIONS

The proposed landscape plan shows 8 new evergreen trees, with all disturbed areas to be re-seeded per CDC guidelines. Applicant will also work with the southern neighbor to coordinate landscaping and screening efforts. All plantings will need to be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

Landscaping Type	Minimum Size
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.

All irrigation will be on a drip system, and no sprinklers or backflow prevention devices are proposed.

17.5.11 UTILITIES

All shallow utilities are proposed to be run from the southern portion of the lot. Public Works requests that all utilities be field located by the contractor prior to construction.

17.5.12 LIGHTING REGULATIONS

Applicant is proposing two (2) 68 lumen step lights, and twelve (12) 320 lumen LED sconces, all of which are located by ingress and egress points.

17.7.19 CONSTRUCTION MITIGATION

All parking for construction will be off-site while the job trailer and material storage apparatuses will be placed in the General Easement and portions of the Right of Way. Limits of disturbance and construction fencing have been set around the property line, but the Design Review Board will need to weigh in on the appropriateness of the location given the extreme geography of the site.

RECOMMENDATION

Staff recommends the DRB approve the Class 3 Final Review application with the stated variations and specific approvals for Lot AR-31 with the following conditions which shall be addressed before issuance of a certificate of occupancy unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.
3. Prior to issuance of a CO the owners of Lot AR-31 will enter in to a General Easement Encroachment/RROW Agreement with the Town of Mountain Village for the exterior parking, retaining wall and driveway abutments in the GE and the backing area in the Singletree RROW.

July 17, 2018

RE: Marchal Residence | Lot AR-31 Singletree Ridge

The Marchal residence is a single family residence located on Lot AR31. The site is accessed from Singletree Drive to the north and slopes south. The house aesthetic is a clean cross-gable clad in wood metal and stone. The main deck and general glazing concentration is oriented to the east and south for views and light. In order to keep this a two story house we have supported the south end on posts stepping down with the topography. The project uses a straight forward approach with no variance requests.

The DRB Board's comments addressed the grounding of the columns as well as bringing the stone veneer into compliance. Additionally the board asked for snow retention methods to be shown on the drawings.

In response to the conditions above, we have extended two stone walls that capture two of the main columns: the west garage column and the east main house column. These walls give the project a more contextual connection to the ground and brings the stone percentage into compliance.

Snowfences and gutters have been added to the drawings addressing the snow retention methods.

Thank you for reviewing our application and should you have any questions do not hesitate to contact me.

Best

Narcis Tudor

ARCHITECT

AR-31

07.16.2018

MOUNTAIN VILLAGE DESIGN REVIEW

submissions
02.02.2018 ARCH. BID SET
04.06.2018 HOA SUBMITTAL
05.04.2018 HOA CONDITIONS
05.22.2018 DRB 1
07.16.2018 DRB 2

GENERAL NOTES

CONTRACT DOCUMENTS:
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, GENERAL SPECIFICATIONS, AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

ORGANIZATION:
WHERE APPLICABLE, THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (I SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL AND PLUMBING DRAWINGS (M SHEETS), ELECTRICAL (E SHEETS), AND LIGHTING (LP SHEETS).

CODE COMPLIANCE:
ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

INTENT:
THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN. ALL FUNCTIONALITY AND PERFORMANCE OF THE BUILDING COMPONENTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

COORDINATION:
THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL, AND LIGHTING DRAWINGS.

PROJECT TEAM

OWNER
BERTRAND & LAURA MARCHAL

ARCHITECT
NARCIS TUDOR ARCHITECTS
201 W COLORADO AVENUE
SUITE 203
TELLURIDE . COLORADO . 81435
P. 970.708.4983
narcis@narcistudor.com

CONTRACTOR
TBD

STRUCTURAL ENGINEER
ANVIL ENGINEERING-
FABRICATION-DESIGN, LLC.
CHRIS BURNETT, P.E.
MOBIL: (970)-988-2576
EMAIL: CHRIS@ANVIL-EFD.COM
WEBSITE: WWW.ANVIL-EFD.COM

SURVEYOR
FOLEY ASSOCIATES
PO BOX 1385
125 WEST PACIFIC
SUITE B1
TELLURIDE . COLORADO . 81435
P. 970.728.6153
F. 970 728.6050
jhaskell@foleyassoc.com

CIVIL ENGINEER
UNCOMPAGRE ENGINEERING, LLC
DAVID BALLODE
P.O. BOX 3945
TELLURIDE . COLORADO . 81435
P. 970.729.0683
dbalode@msn.com

VICINITY MAP



LUC - BUILDING HEIGHT

AVERAGE BUILDING HEIGHT = 26.86'

SEE A1.3 FOR DETAILS

LUC - EXTERIOR MATERIALS

MEASURED IN SQ. FT.	TOTAL	PERCENTAGE
WOOD SIDING	1709	33.3%
METAL SIDING	748	14.5%
FENESTRATION	809	15.7%
STONE VENEER	1876	36.5%
TOTAL VERTICAL SURFACE	5142	100%

LUC - INFO

LOT #: AR-31
IMPROVEMENT TYPE: NEW CONSTRUCTION
TYPE OF UNIT: SINGLE FAMILY
SETBACKS: SEE A1.3
BUILDING HIGH POINT: 36'-0" AT CHIMNEY

LUC - SITE COVERAGE

LOT AREA - 8647.2 SQ. FT.
ALLOWABLE PER LUC - 40% = 3458.9 SQ. FT.
PROPOSED SITE COVERAGE - 2616.8 SQ. FT. (30.3%)
COMPLIANT BY - 842.1 SF (9.7%)

SHEET INDEX

A0 COVER | PROJECT INFORMATION

TOPOGRAPHIC SURVEY

A1 SITE SERIES
A1.1 SITE & LANDSCAPE PLAN
A1.2 CONSTRUCTION MITIGATION & UTILITIES
A1.3 BUILDING HEIGHT | LUC DIAGRAM

A2 PLAN SERIES
A2.0 CONCEPT FOUNDATION PLAN
A2.1A LOWER LEVEL DIM PLAN
A2.1B LOWER LEVEL FINISH PLAN
A2.2A MAIN LEVEL DIM PLAN
A2.2B MAIN LEVEL FINISH PLAN
A2.3 ROOF PLAN

A3 EXTERIOR ELEVATIONS
A3.1 NORTH AND EAST ELEVATIONS
A3.2 SOUTH AND WEST ELEVATIONS
A3.15 PERSPECTIVES
A3.16 PERSPECTIVES
A3.17 PERSPECTIVES
A3.18 PERSPECTIVES

LP LIGHTING PLANS
LP2.1 LOWER LEVEL LIGHTING PLAN
LP2.2 MAIN LEVEL LIGHTING PLAN

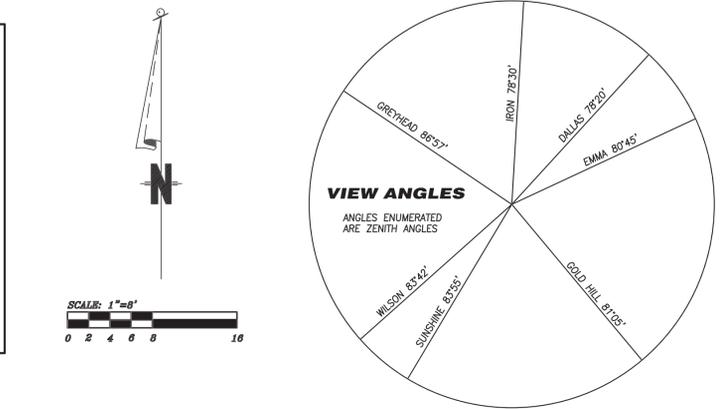
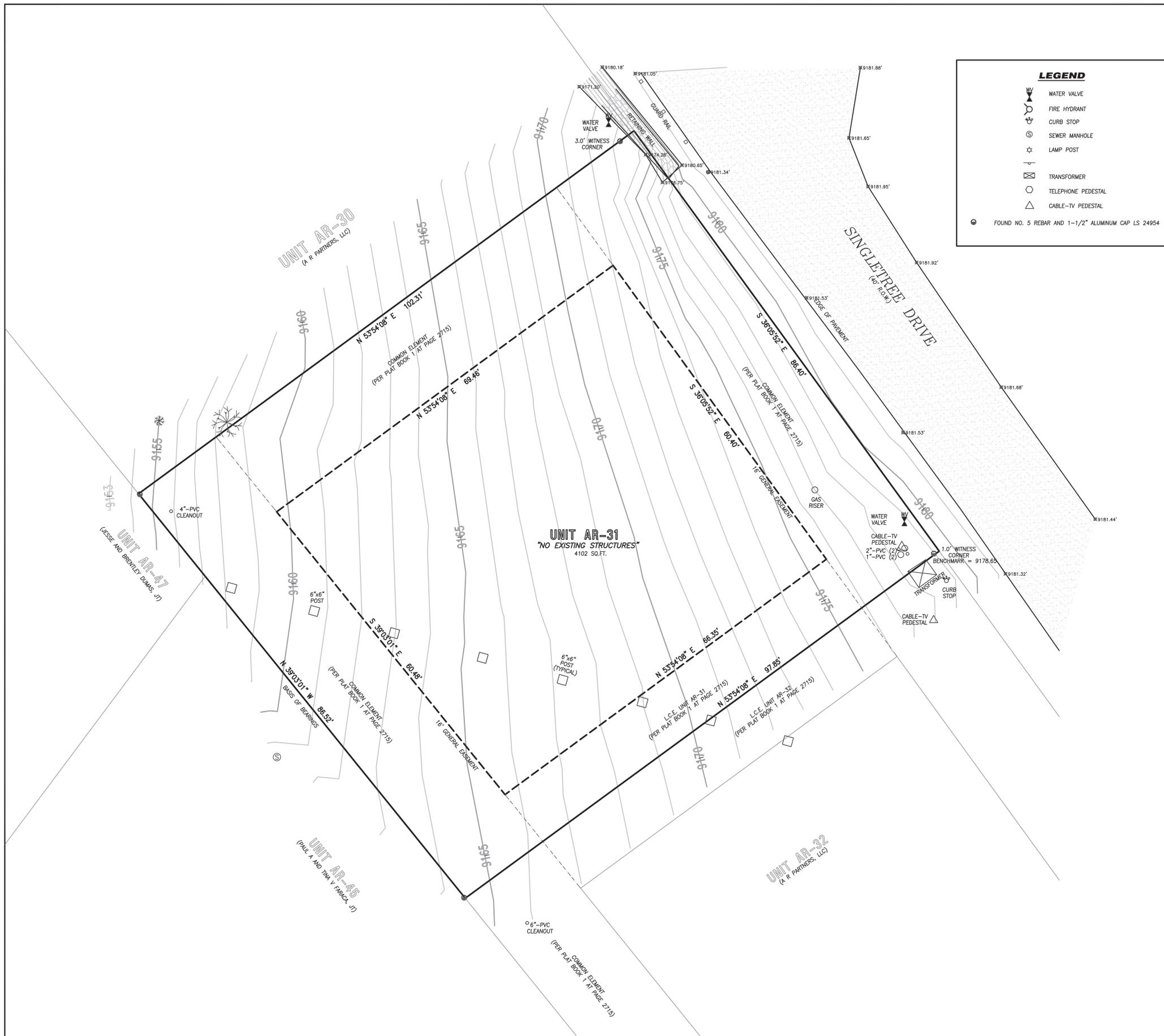
NOT FOR
CONSTRUCTION

AR31

MOUNTAIN VILLAGE
COLORADO 81435

DD
COVER
SHEET

A0



SURVEYOR CERTIFICATE:

This topographic survey of Lot AR-31, Town of Mountain Village, is hereby certified to Bertrand and Laura Marchal. This property was field surveyed on August 20, 2017 under the direct responsibility, supervision and checking of David R. Bulson of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37662 Date

PROPERTY DESCRIPTION:

UNIT AR-31, THE VILLAGE AT ADAMS RANCH, A COMMON INTEREST COMMUNITY, ACCORDING TO THE MAP RECORDED JUNE 1, 1999 IN PLAT BOOK 1 AT PAGE 2572, AND THE FIRST AMENDMENT RECORDED MAY 22, 2000 IN PLAT BOOK 1 AT PAGE 2715 AND AS DEFINED AND DESCRIBED IN THE DECLARATION RECORDED JUNE 1, 1999 UNDER RECEPTION NO. 326890, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

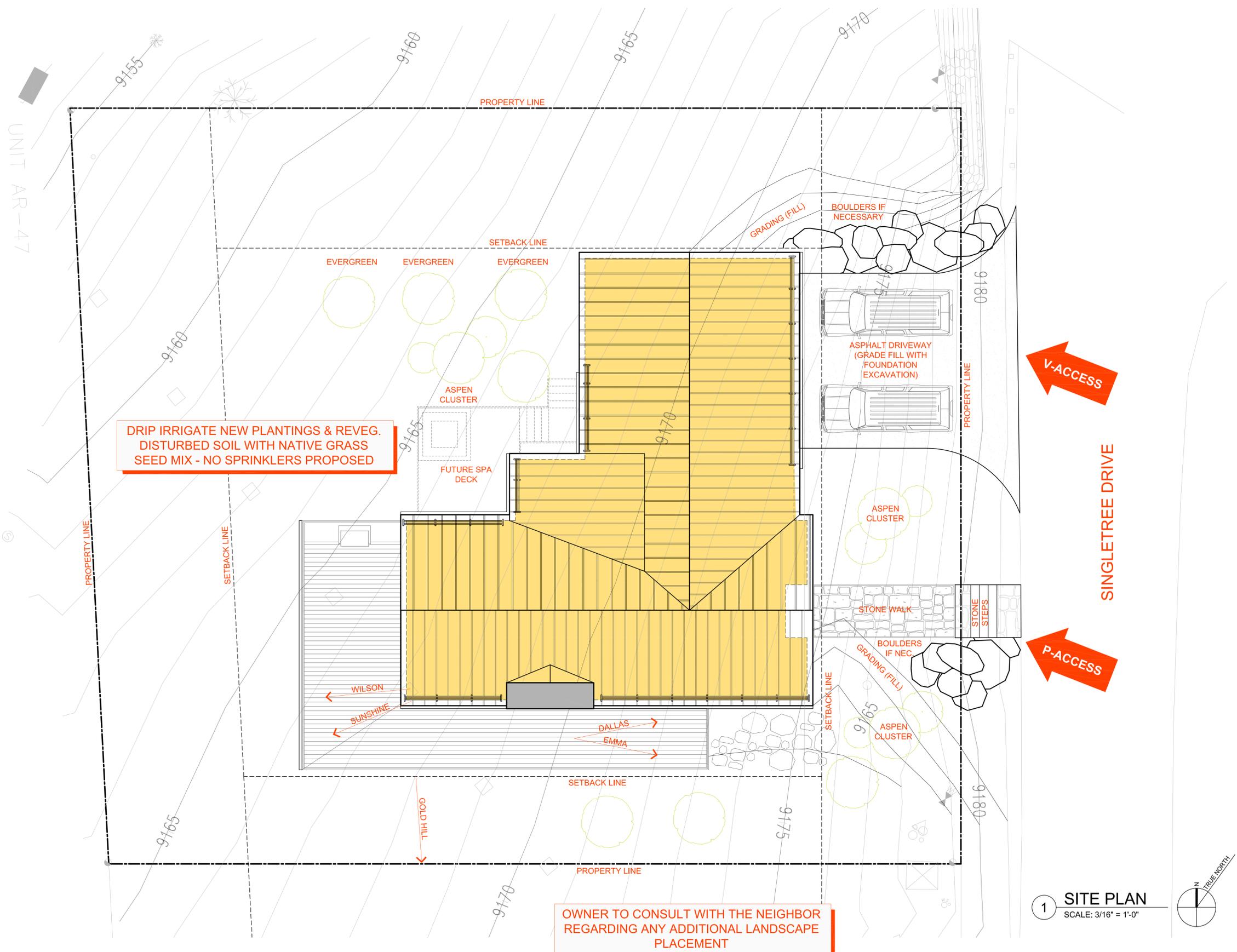
- Easement research and property description from Land Title Guarantee Company, Order Number TLR86004623, dated March 10, 2015 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 08113C0286 C, Panel Number 0286-C, dated September 30, 1988, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- Bearings for this survey based on found original monuments along the southwesterly boundary of the property as shown hereon.
- No posted address.
- Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.
- This survey is valid only if a print or electronic copy has a seal and signature of the surveyor noted within the statement above.
- Any person who knowingly removes, alters, or defaces any public land survey monument and/or boundary monument or accessory, commits a class two (2) misdemeanor pursuant to C.R.S. 18-4-508.
- The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.
- This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities.
- NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- Index contours are every 5' and intermediate contours are every 1'
- Site Benchmark is the 1' witness corner at the westernmost property corner. The elevation of the aluminum survey cap LS 24954 = 9178.65

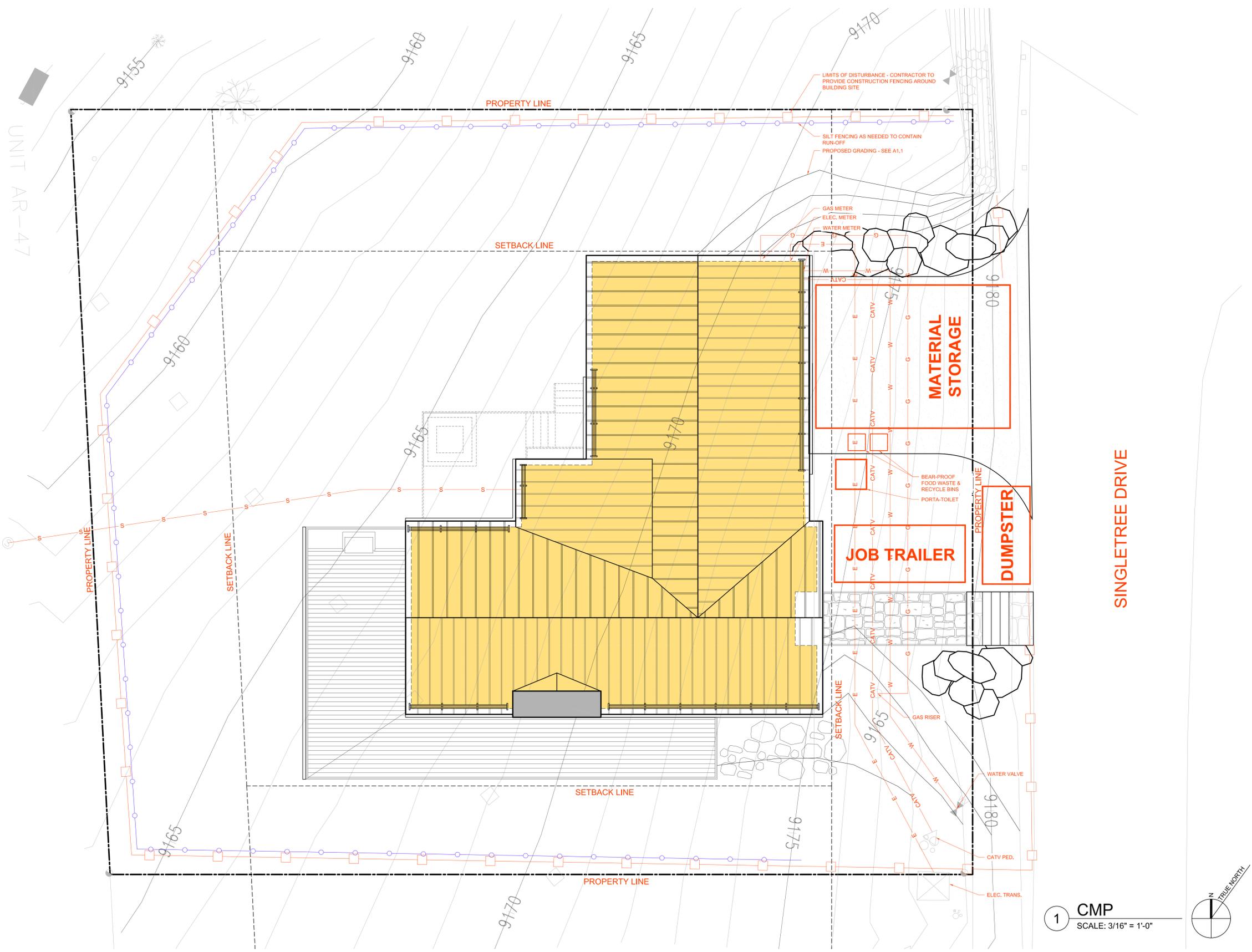
Lot AR-31, The Village at Adams Ranch,
Town of Mountain Village
located within the SW1/4 of Section 33, T.43N., R.9W., N.M.P.M., San Miguel County, Colorado.

Project Mgr:	DB	Rev.	description	date	by
Technician:	MC				
Checked by:	DB				
Start date:	8/24/17				

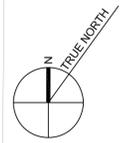


970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435





1 **CMP**
SCALE: 3/16" = 1'-0"



NARCIS TUDOR ARCHITECTS®
WWW.NARCISTUDOR.COM box 1717 telluride m. 970.708.4983

submissions
02.02.2018 ARCH. BID SET
04.06.2018 HOA SUBMITTAL
05.04.2018 HOA CONDITIONS
05.22.2018 DRB 1
07.16.2018 DRB 2

NOT FOR CONSTRUCTION

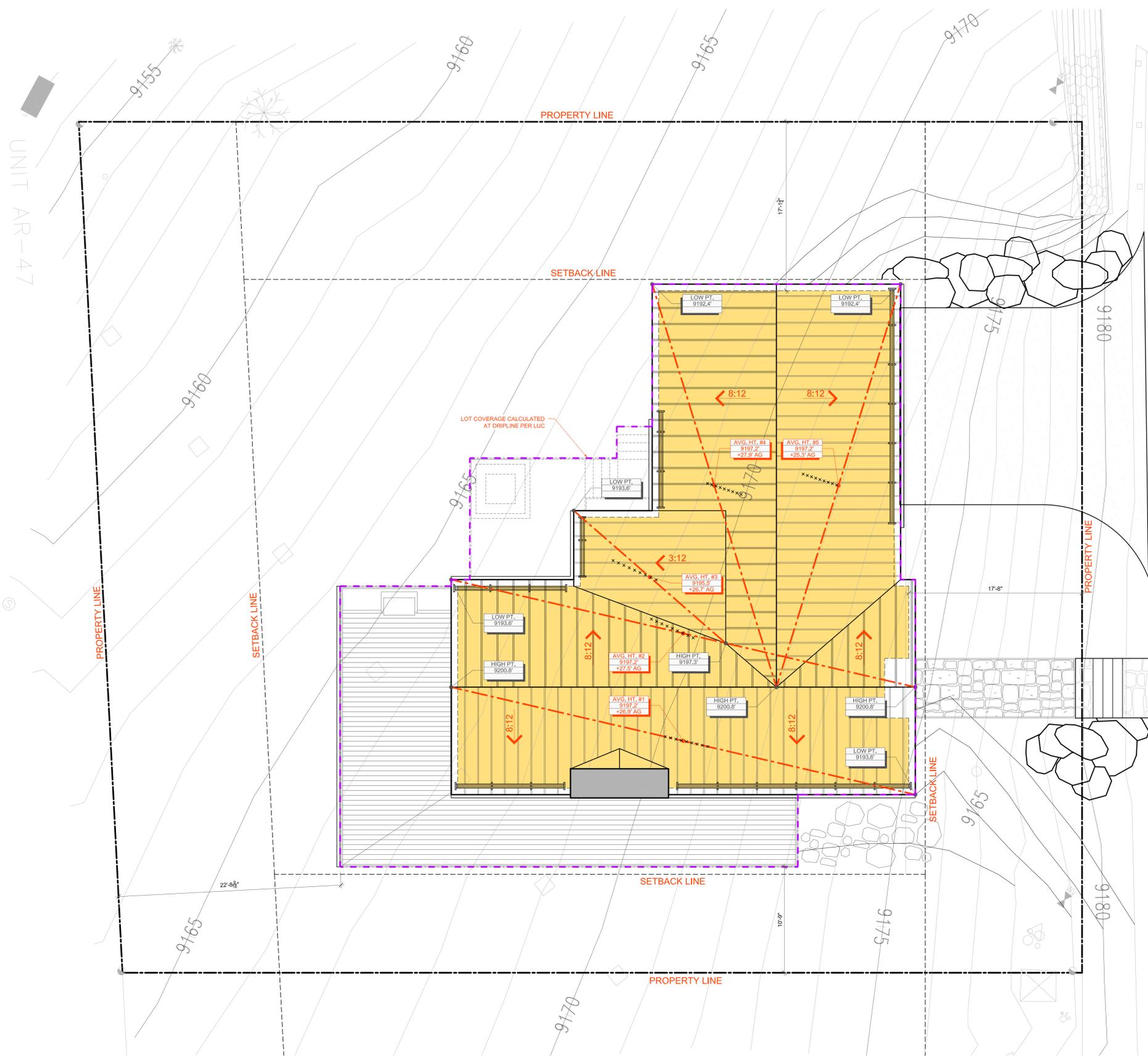
AR31

**MOUNTAIN VILLAGE
COLORADO 81435**

DD
**CONSTRUCTION
MITIGATION
PLAN**

A1.2

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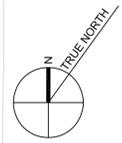


BUILDING HEIGHT SUMMARY	
AVG. HT. #1	+26.9' AG
AVG. HT. #2	+27.5' AG
AVG. HT. #3	+26.7' AG
AVG. HT. #4	+27.9' AG
AVG. HT. #5	+25.3' AG
TOTAL = 134.3'	= 26.86' AVERAGE ABOVE GRADE
5	

LOT COVERAGE SUMMARY	
MAX ALLOWABLE PER LUC:	40%
LOT SIZE:	8,647.2 SQ. FT.
SITE COVERAGE:	2,616.8 SQ. FT. (30.3%)
COMPLIANT BY	9.7%

SINGLETREE DRIVE

1 CMP
SCALE: 3/16" = 1'-0"



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submissions
02.02.2018
04.06.2018
05.04.2018
05.22.2018
07.16.2018

ARCH. BID SET
HOA SUBMITTAL
HOA CONDITIONS
DRB 1
DRB 2

NOT FOR CONSTRUCTION

AR31

MOUNTAIN VILLAGE
COLORADO 81435

DD
BUILDING HEIGHT | LUC
DIAGRAM

A1.3

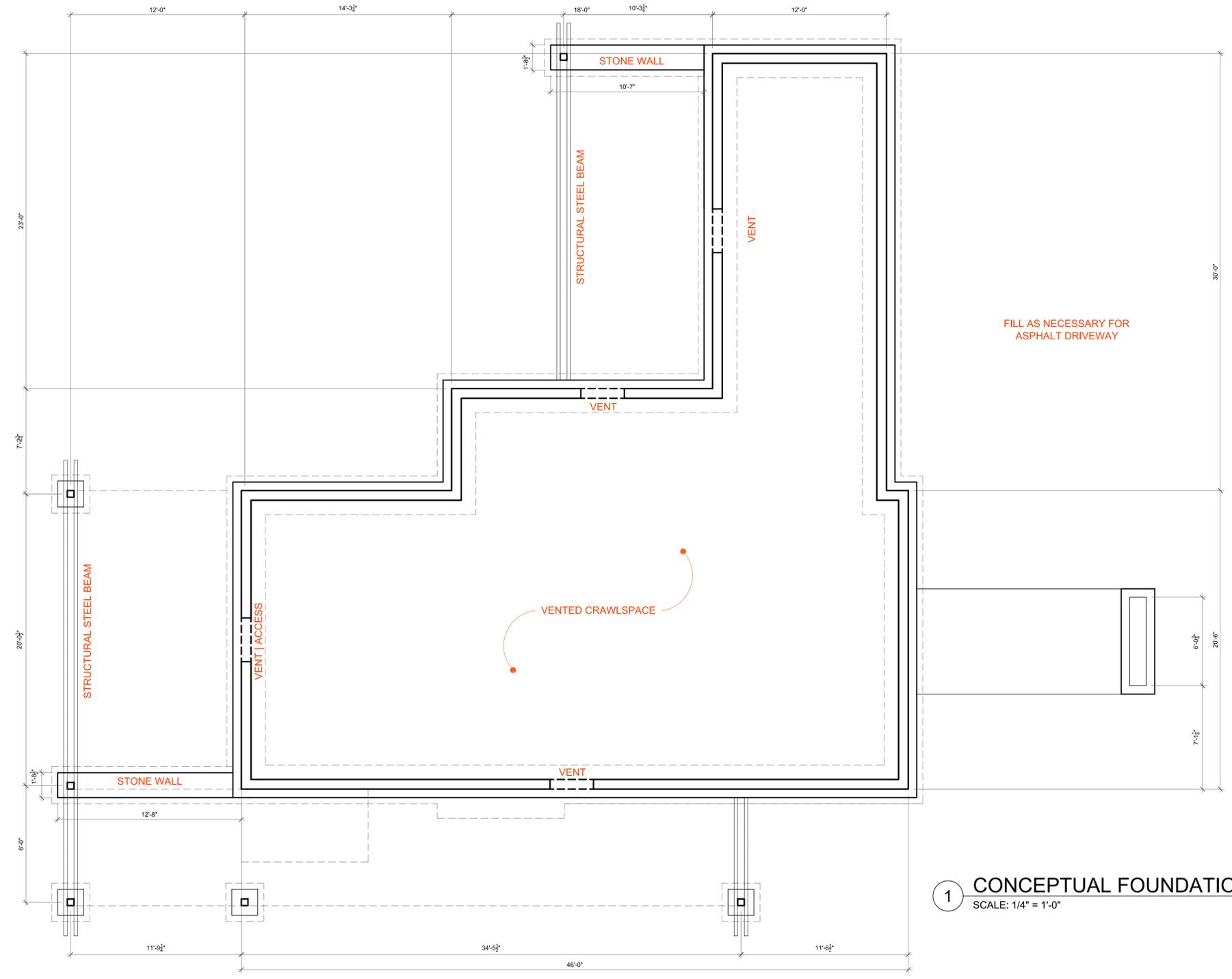
FLOOR PLAN GENERAL NOTES

- CONTRACTOR AND ALL SUBCONTRACTORS TO REVIEW "GENERAL NOTES AND SPECIFICATIONS" PRIOR TO COMMENCEMENT OF ANY WORK
- CONTRACTOR TO REVIEW AND COMPARE ALL REFERENCED AND INTERDISCIPLINARY DRAWINGS AS WELL AS EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO ANY EXECUTION OF WORK
- ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF FRAMING
- BLOCKING TO BE PROVIDED FOR ALL CABINETS AND WALL MOUNTED ACCESSORIES AS WELL AS NON-STRUCTURAL MEMBERS
- TYPE 'X' GYPSUM WALL BOARD AT ALL RATED MECHANICAL LOCATIONS AND GARAGE IF ADJACENT TO LIVING SPACE
- ALL FRAMING LAYOUTS TO FOLLOW STRUCTURAL PLANS, HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL AS NECESSARY
- REFER TO STRUCTURAL FOR STONE SUPPORTS. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE
- WHERE APPLICABLE, ALL WINDOW WELLS TO BE 36" MINIMUM CLEAR. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL ROOFS TO BE SHOVELED AT 6" OR MORE SNOW ACCUMULATION.
- ALL VALLEYS, LOW PITCHED ROOFS, GUTTERS AND DOWNSPOUTS TO BE HEATED - TYP.
- ALL WINDOW WELLS, PLANTERS AND ANY HARDSCAPE REQUIRING DRAINAGE TO BE DRAINED TO DAYLIGHT - TYP. UNO.
- PERIMETER DRAINS TO BE PROVIDED AT ALL FOOTERS - TYPICAL.
- BUILT IN CABINETS SHOWN IN PLAN FOR LAYOUT AND QUANTITATIVE PURPOSES
- FURR WALLS AS NECESSARY FOR ALIGNMENT WITH SOFFITS AND SURROUNDING WALLS, SPRING POINTS, ETC - TYP. FOR CLEAN CONDITIONS
- INTERIOR CASING TO REMAIN FULL PROFILE AROUND OPENINGS; ADJUST OPENING LOCATION AS NECESSARY AND NOTIFY ARCHITECT.
- WHERE APPLICABLE, REFER TO REFLECTED CEILING PLANS FOR TIMBER RAFTER AND TIMBER TRELIS SPACING - TYP.
- ALL INTERIOR DOORS AND OPENINGS TO BE CENTERED WITHIN THEIR RESPECTIVE SPACES TYP. UNO
- REFER TO STRUCTURALS, DETAILS & NOTES FOR CONSTRUCTION ASSEMBLIES
- REFER TO SCHEDULES AND ELEVATIONS FOR WINDOW AND EXTERIOR DOOR INFORMATION
- WHERE APPLICABLE, REFER TO MECHANICAL DIAGRAM DRAWINGS FOR EXTERIOR SNOW-MELT AREAS
- ALL FRAMING TO BE 2X4 UNO. PLUMBING WALLS TO BE 2X6 UNO. ALL FURRING AT CONCRETE WALLS TO BE FLAT FURRING (1 1/2") UNO.
- REFER TO LARGER SCALE GRAPHICS FOR SPECIFIC INFORMATION
- CLEARANCES TO PLUMBING FIXTURES TO BE 32-36" MIN. - TYP AT ALL CONDITIONS
- ALL EXTERIOR SPACES (TERRACES, PATIOS, BALCONIES, DECKS, ETC.) SHALL HAVE A MIN. FINISH FLOOR 1" BELOW INTERIOR FINISH FLOOR - TYP. AND SHALL SLOPE AWAY FROM THE BUILDING
- ALL INTERIOR FINISH FLOORS TO BE FLUSH AT EACH LEVEL - ADJUST SLAB / FRAMING AS NECESSARY
- CONTRACTOR AND ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND VERIFY WITH AS-BUILT / EXISTING CONDITIONS AS DIMENSIONS MAY VARY

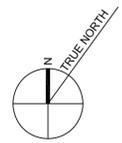
STRUCTURAL INTENT NOTE

THE REPRESENTED FOUNDATION PLAN AND ALL OTHER STRUCTURAL IMPLICATION ARE SHOWN FOR INTENT ONLY AND ARE NOT DESIGNED, SIZED OR CLAIMED TO REPRESENT STRUCTURAL INFORMATION

ALL FOOTERS TO BE PLACED MINIMUM 48" BELOW FINISH GRADE (FROST DEPTH)
TOPS OF STEM WALLS TO BE MINIMUM 12" ABOVE FINISH GRADE U.N.O.



1 CONCEPTUAL FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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submissions	ARCH. BID SET
02.02.2018	HOA SUBMITTAL
04.06.2018	HOA CONDITIONS
05.04.2018	DRB 1
05.22.2018	DRB 2
07.16.2018	

NOT FOR CONSTRUCTION

AR31

MOUNTAIN VILLAGE
COLORADO 81435

DD
CONCEPT. FOUND. PLAN

A2.0

FLOOR PLAN GENERAL NOTES

- CONTRACTOR AND ALL SUBCONTRACTORS TO REVIEW "GENERAL NOTES AND SPECIFICATIONS" PRIOR TO COMMENCEMENT OF ANY WORK
- CONTRACTOR TO REVIEW AND COMPARE ALL REFERENCED AND INTERDISCIPLINARY DRAWINGS AS WELL AS EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO ANY EXECUTION OF WORK
- ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF FRAMING
- BLOCKING TO BE PROVIDED FOR ALL CABINETS AND WALL MOUNTED ACCESSORIES AS WELL AS NON-STRUCTURAL MEMBERS
- TYPE 'X' GYPSUM WALL BOARD AT ALL RATED MECHANICAL LOCATIONS AND GARAGE IF ADJACENT TO LIVING SPACE
- ALL FRAMING LAYOUTS TO FOLLOW STRUCTURAL PLANS, HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL AS NECESSARY
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- BUILT IN CABINETRY SHOWN IN PLAN FOR LAYOUT AND QUANTITATIVE PURPOSES
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- ALL INTERIOR DOORS AND OPENINGS TO BE CENTERED WITHIN THEIR RESPECTIVE SPACES TYP. UNO
- REFER TO STRUCTURALS, DETAILS & NOTES FOR CONSTRUCTION ASSEMBLIES
- REFER TO SCHEDULES AND ELEVATIONS FOR WINDOW AND EXTERIOR DOOR INFORMATION
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- ALL INTERIOR FINISH FLOORS TO BE FLUSH AT EACH LEVEL - ADJUST SLAB / FRAMING AS NECESSARY
- CONTRACTOR AND ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND VERIFY WITH AS-BUILT / EXISTING CONDITIONS AS DIMENSIONS MAY VARY

LIGHTING NOTES

SEE LP 2.1 SHEET FOR LIGHTING LAYOUT

FIRE SAFETY NOTES

(S) - SMOKE AND CARBON MONOXIDE DETECTOR
 SMOKE AND CARBON MONOXIDE DETECTORS ARE REQUIRED IN EVERY BEDROOM, OUTSIDE EACH SLEEPING AREA, AND ON EVERY LEVEL. CARBON MONOXIDE DETECTORS REQUIRED IN EACH ROOM WITH A FUEL-BURNING APPLIANCE

EXTERIOR DOOR & WINDOW SCHEDULE

NUMBER	TYPE	WIDTH	HEIGHT	HEAD	NOTES
001	CASEMENT	3'-0"	5'-6"	8'-6"	-
002	FIXED	3'-0"	5'-6"	8'-6"	-
003	SWING	3'-0"	8'-6"	8'-6"	-
004	CASEMENT	3'-0"	5'-6"	8'-6"	-
005	CASEMENT	3'-0"	5'-6"	8'-6"	-
006	CASEMENT	3'-0"	5'-6"	8'-6"	-
007	CASEMENT	2'-0"	4'-0"	8'-6"	-
008	FIXED	2'-0"	4'-0"	8'-6"	-
009	CASEMENT	2'-0"	4'-0"	8'-6"	-
010	CASEMENT	3'-0"	5'-6"	8'-6"	-
011	TRIPLE FIXED	12'-0"	5'-6"	8'-6"	36" 72" 36" COMBINATION EAST LEAF OPERABLE
012	SLIDER	6'-0"	8'-6"	8'-6"	-
101	FIXED	2'-0"	4'-0"	8'-6"	-
102	CASEMENT	2'-0"	4'-0"	8'-6"	-
103	FIXED	2'-0"	4'-0"	8'-6"	-
104	FIXED	2'-0"	4'-0"	8'-6"	-
105	CASEMENT	2'-0"	4'-0"	8'-6"	-
106	FIXED	2'-0"	4'-0"	8'-6"	-
107	FIXED	3'-0"	5'-6"	8'-6"	-
108	CASEMENT	3'-0"	5'-6"	8'-6"	-
109	CASEMENT	3'-0"	5'-6"	8'-6"	-
110	FIXED	3'-0"	5'-6"	8'-6"	-
111	FIXED	3'-0"	5'-6"	8'-6"	-
112	FIXED	3'-0"	5'-6"	8'-6"	-
113	SLIDER	12'-0"	8'-6"	8'-6"	CENTER DOUBLE OPERABLE LEAVES VERIFY W/ ROOF FRAMING
114	FIXED	2'-0"	4'-0"	14'-0"	-
115	FIXED	3'-0"	5'-6"	8'-6"	-
116	FIXED	3'-0"	5'-6"	8'-6"	-
117	FIXED	3'-0"	5'-6"	8'-6"	-
118	CASEMENT	3'-0"	5'-6"	8'-6"	-
119	FRENCH DOOR	12'-0"	8'-6"	8'-6"	SIDE WINDOWS 3'-0" x 5'-6"
120	FIXED	3'-0"	5'-6"	8'-6"	-
121	SWING	3'-6"	8'-6"	8'-6"	FRONT DOOR
122	FIXED	2'-0"	4'-0"	14'-0"	VERIFY W/ ROOF FRAMING
123	CASEMENT	2'-0"	4'-0"	8'-6"	-

INTERIOR DOOR SCHEDULE

NUMBER	TYPE	WIDTH	HEIGHT	HEAD	NOTES
001	SWING	3'-0"	8'-6"	8'-6"	-
002	SWING	3'-0"	8'-0"±	8'-6"	45MIN. RATED
003	SWING	2'-6"	8'-0"±	8'-6"	-
004	SWING	2'-6"	8'-6"	8'-6"	-
005	SWING	2'-6"	8'-6"	8'-6"	-
006	SWING	2'-6"	8'-6"	8'-6"	-
007	SWING	2'-6"	8'-6"	8'-6"	-
008	SWING	2'-2"	8'-6"	8'-6"	-
009	SWING	2'-8"	8'-6"	8'-6"	-
010	SWING	3'-0"	8'-6"	8'-6"	-
011	SWING	2'-6"	8'-6"	8'-6"	-
101	SWING	2'-6"	8'-6"	8'-6"	-
102	BARN	3'-0"	8'-6"	8'-6"	-
103	SWING	3'-0"	8'-6"	8'-6"	45MIN. RATED
104	DOUBLE SWING	4'-0"	8'-6"	8'-6"	-



1 LOWER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 LIVABLE - 1418 SF
 MECH. - 40 SF

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submissions
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 07.16.2018
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 HOA SUBMITTAL
 HOA CONDITIONS
 DRB 1
 DRB 2

NOT FOR CONSTRUCTION

AR31
 MOUNTAIN VILLAGE
 COLORADO 81435

DD
LOWER LEVEL DIM. PLAN

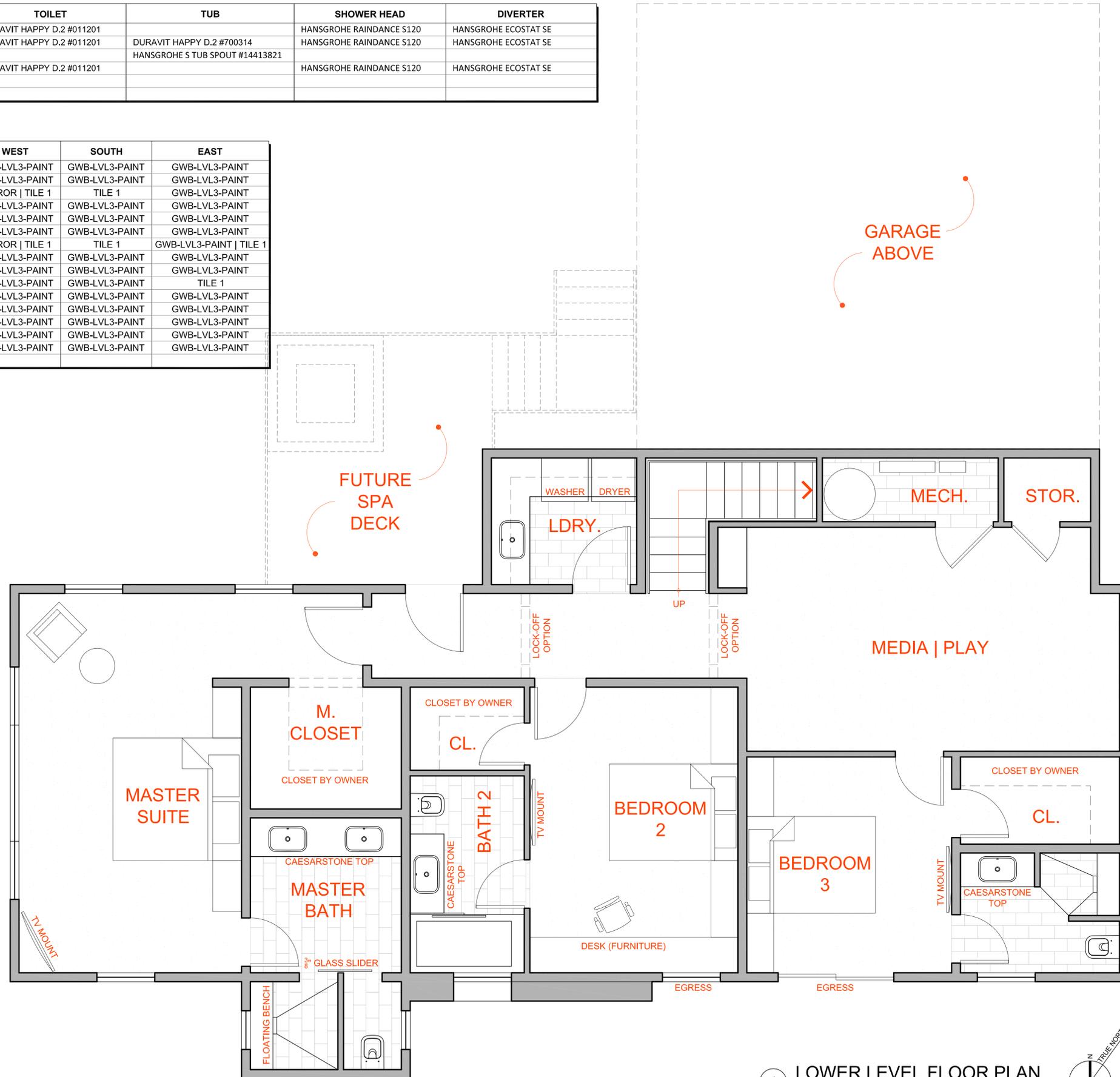
A2.1A

PLUMBING SCHEDULE - LOWER LEVEL

ROOM	SINK	SINK FAUCET	TOILET	TUB	SHOWER HEAD	DIVERTER
MASTER BATH	(2) DURAVIT HAPPY D.2 #045748	(2) HANSGROHE METRIS 100	DURAVIT HAPPY D.2 #011201		HANSGROHE RAINDANCE S120	HANSGROHE ECOSTAT SE
BATH 2	DURAVIT HAPPY D.2 #045748	HANSGROHE METRIS 100	DURAVIT HAPPY D.2 #011201	DURAVIT HAPPY D.2 #700314 HANSGROHE S TUB SPOUT #14413821	HANSGROHE RAINDANCE S120	HANSGROHE ECOSTAT SE
BATH 3	DURAVIT HAPPY D.2 #045748	HANSGROHE METRIS 100	DURAVIT HAPPY D.2 #011201		HANSGROHE RAINDANCE S120	HANSGROHE ECOSTAT SE
LAUNDRY	BLANCO B441398	KOHLERK-7505-SN				

FINISH SCHEDULE - LOWER LEVEL

ROOM	FLOOR	CEILING	NORTH	WEST	SOUTH	EAST
MASTER BEDROOM	CARPET 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
MASTER CLOSET	CARPET 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
MASTER BATH	TILE 1	GWB-LVL3-PAINT TILE 1	GWB-LVL3-PAINT	MIRROR TILE 1	TILE 1	GWB-LVL3-PAINT
HALLWAY	CARPET 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
BEDROOM 2	CARPET 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
BEDROOM 2 CLOSET	CARPET 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
BATH 2	TILE 1	GWB-LVL3-PAINT TILE 1	GWB-LVL3-PAINT	MIRROR TILE 1	TILE 1	GWB-LVL3-PAINT TILE 1
BEDROOM 3	CARPET 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
BEDROOM 3 CLOSET	CARPET 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
BATH 3	TILE 1	GWB-LVL3-PAINT TILE 1	GWB-LVL3-PAINT	MIRROR TILE 1	TILE 1	TILE 1
MEDIA PLAY	CARPET 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
LAUNDRY	TILE 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
MECHANICAL	TILE 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
STORAGE	TILE 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
STAIRS	WOOD 1	GWB-X-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT



1 LOWER LEVEL FLOOR PLAN
SCALE: NTS



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 05.22.2018 DRB 1
 07.16.2018 DRB 2

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AR31

**MOUNTAIN VILLAGE
COLORADO 81435**

DD
**LOWER LEVEL
FIN. PLAN**

A2.1B

FLOOR PLAN GENERAL NOTES

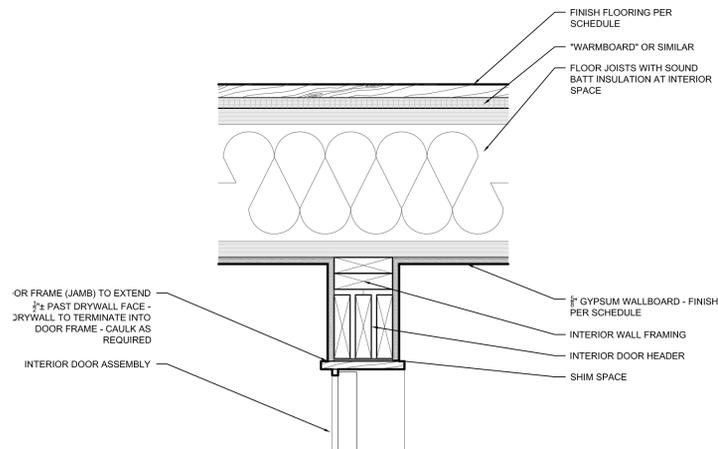
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LIGHTING NOTES

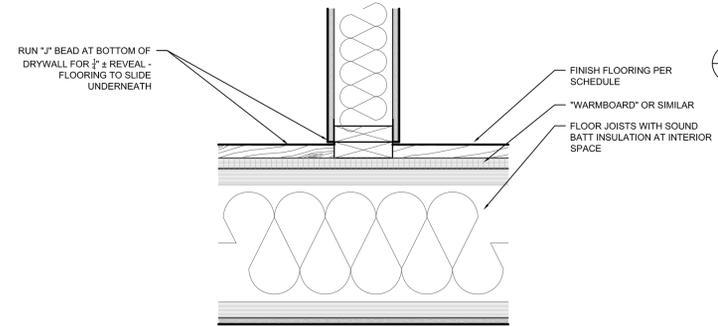
SEE LP 2.1 SHEET FOR LIGHTING LAYOUT

FIRE SAFETY NOTES

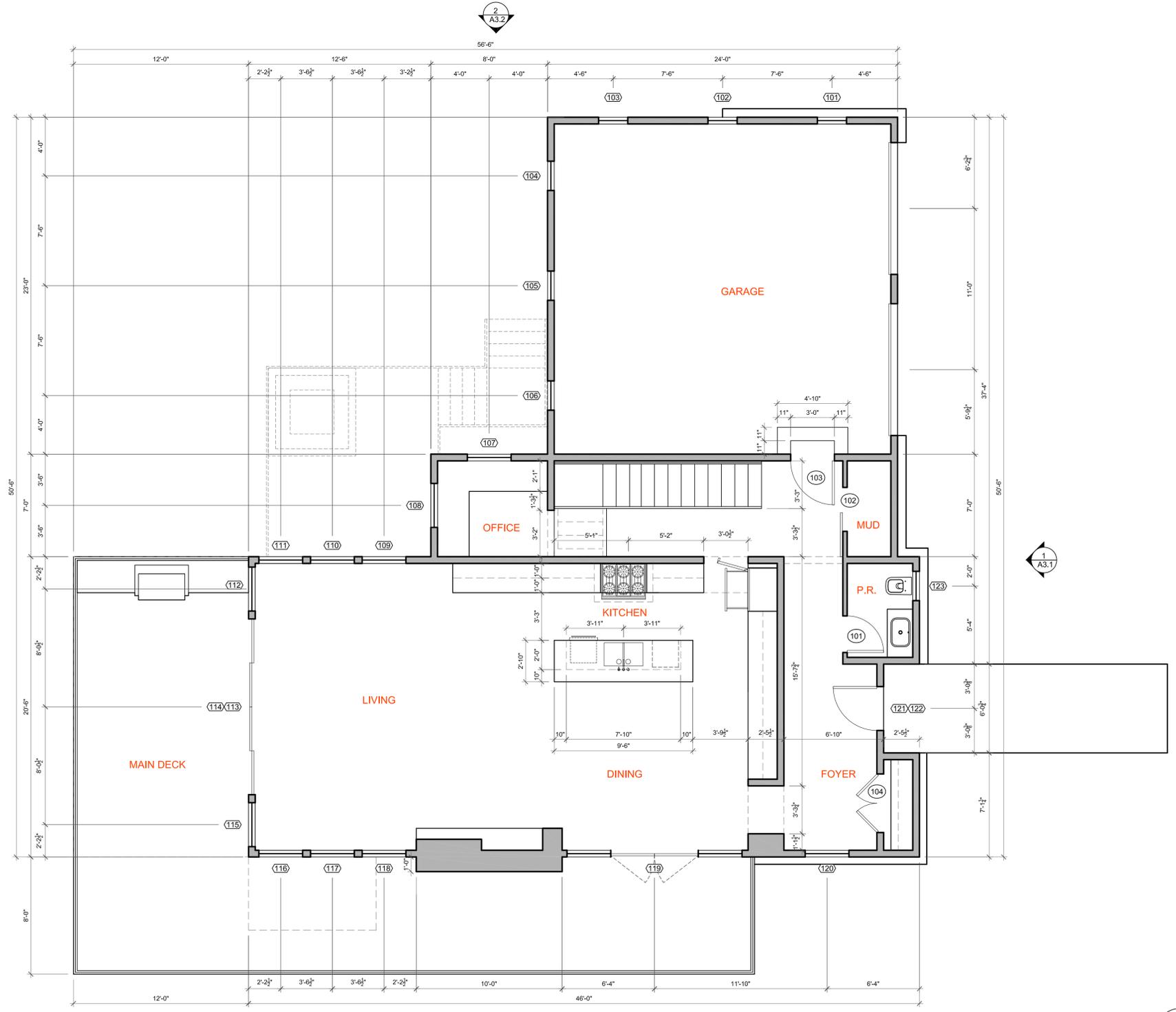
(S) - SMOKE AND CARBON MONOXIDE DETECTOR
 SMOKE AND CARBON MONOXIDE DETECTORS ARE REQUIRED IN EVERY BEDROOM, OUTSIDE EACH SLEEPING AREA, AND ON EVERY LEVEL. CARBON MONOXIDE DETECTORS REQUIRED IN EACH ROOM WITH A FUEL-BURNING APPLIANCE



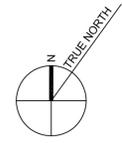
2 INTERIOR DOOR FRAME (JAMB)
 SCALE: 1 1/2" = 1'-0"



3 INTERIOR DRYWALL REVEAL
 SCALE: 1 1/2" = 1'-0"



1 MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 LIVABLE - 1152 SF
 GARAGE - 552 SF



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AR31
 MOUNTAIN VILLAGE
 COLORADO 81435

DD
MAIN LEVEL DIM. PLAN

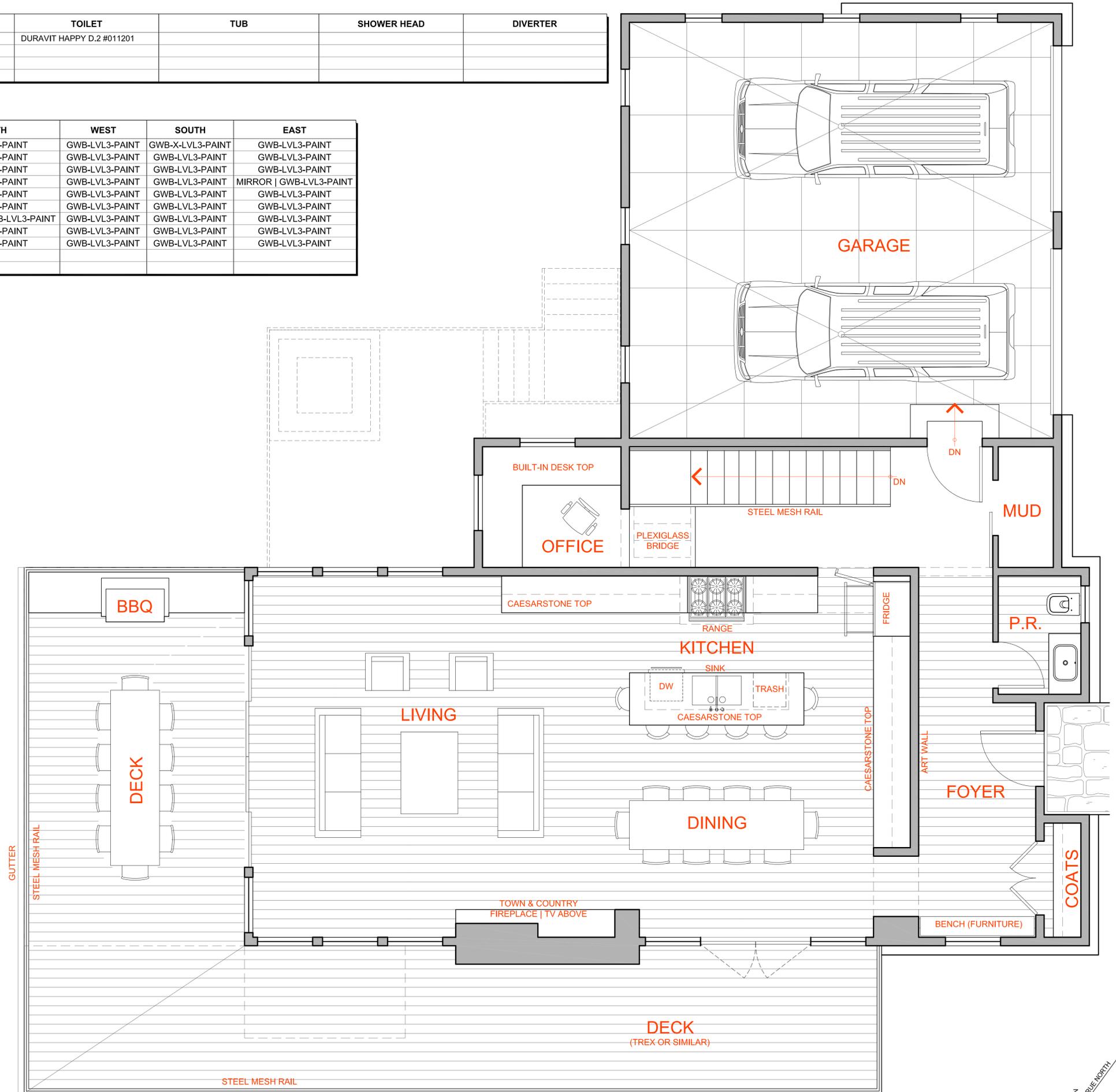
A2.2A

PLUMBING SCHEDULE - MAIN LEVEL

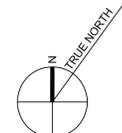
ROOM	SINK	SINK FAUCET	TOILET	TUB	SHOWER HEAD	DIVERTER
POWDER	DURAVIT HAPPY D.2 #045748	HANSGROHE METRIS 100	DURAVIT HAPPY D.2 #011201			
KITCHEN	KOHLER VAULT	HANSGROHE STEEL OPTIK TALIS				

FINISH SCHEDULE - MAIN LEVEL

ROOM	FLOOR	CEILING	NORTH	WEST	SOUTH	EAST
GARAGE	CONC 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-X-LVL3-PAINT	GWB-LVL3-PAINT
MUD	WOOD 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
OFFICE	WOOD 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
POWDER	WOOD 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	MIRROR GWB-LVL3-PAINT
FOYER	WOOD 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
COATS	WOOD 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
KITCHEN	WOOD 1	GWB-LVL3-PAINT	STAINLESS GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
DINING	WOOD 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
LIVING	WOOD 1	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT	GWB-LVL3-PAINT
DECK	CONC 1 TREX					



1 MAIN LEVEL FLOOR PLAN
SCALE: NTS



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NOT FOR CONSTRUCTION

AR31

MOUNTAIN VILLAGE
COLORADO 81435

DD
MAIN LEVEL
FIN. PLAN

A2.2B

FLOOR PLAN GENERAL NOTES

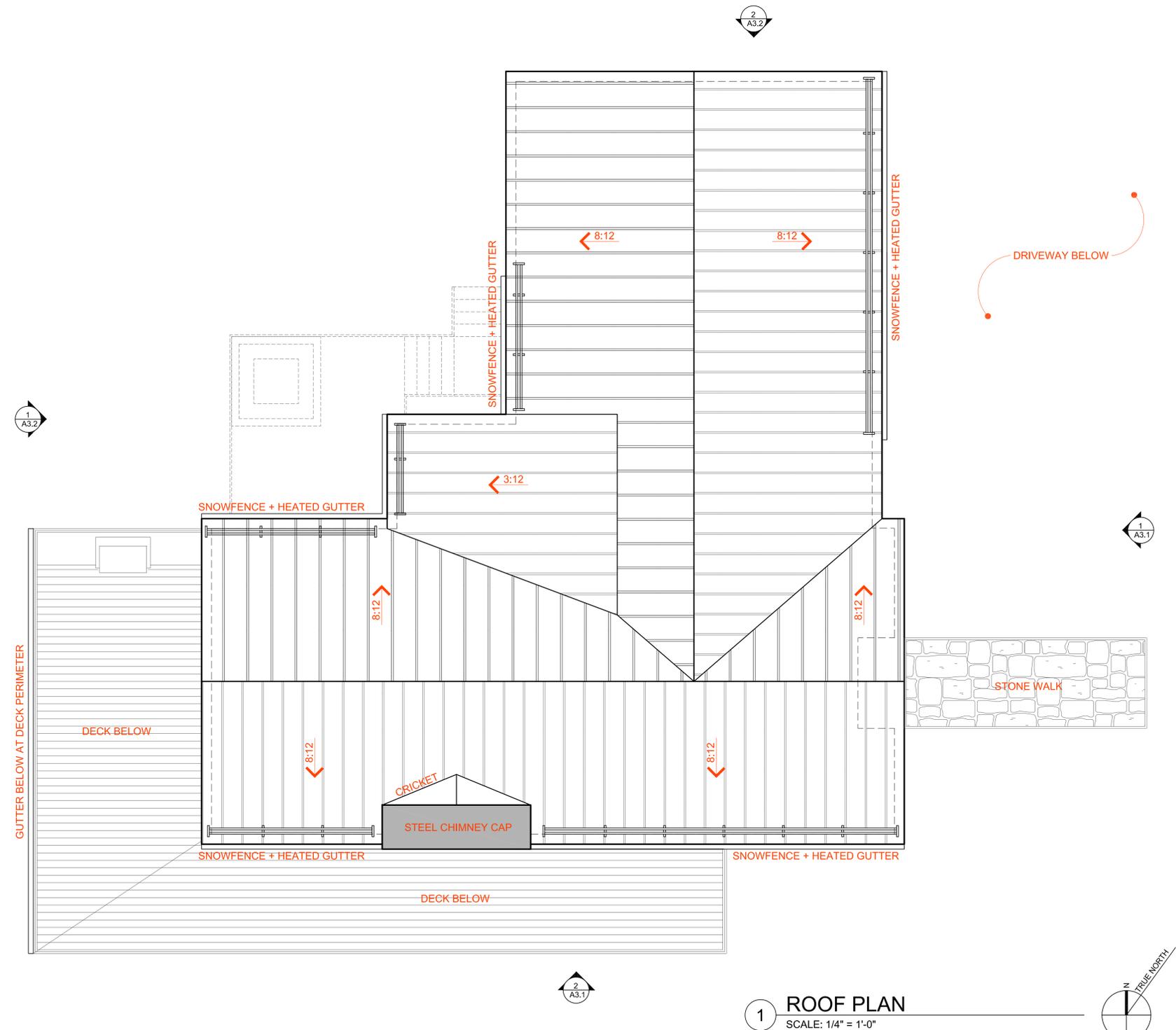
- CONTRACTOR AND ALL SUBCONTRACTORS TO REVIEW "GENERAL NOTES AND SPECIFICATIONS" PRIOR TO COMMENCEMENT OF ANY WORK
- CONTRACTOR TO REVIEW AND COMPARE ALL REFERENCED AND INTERDISCIPLINARY DRAWINGS AS WELL AS EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT PRIOR TO ANY EXECUTION OF WORK
- ALL DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF FRAMING
- BLOCKING TO BE PROVIDED FOR ALL CABINETS AND WALL MOUNTED ACCESSORIES AS WELL AS NON-STRUCTURAL MEMBERS
- TYPE 'X' GYPSUM WALL BOARD AT ALL RATED MECHANICAL LOCATIONS AND GARAGE IF ADJACENT TO LIVING SPACE
- ALL FRAMING LAYOUTS TO FOLLOW STRUCTURAL PLANS, HEADER ALL JOISTS WHICH INTERFERE WITH PLUMBING OR MECHANICAL AS NECESSARY
- REFER TO STRUCTURAL FOR STONE SUPPORTS. ALL STONE SUPPORT TO BE 6" MIN. BELOW FINISHED GRADE
- WHERE APPLICABLE, ALL WINDOW WELLS TO BE 36" MINIMUM CLEAR. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL EGRESS WINDOW OPENINGS TO BE 42" MAXIMUM FROM FINISHED FLOOR TO BOTTOM OF OPENING. THIS TAKES PRECEDENCE OVER ANY GRAPHIC REPRESENTATION IN THE DOCUMENTS.
- ALL ROOFS TO BE SHOVELED AT 6" OR MORE SNOW ACCUMULATION.
- ALL VALLEYS, LOW PITCHED ROOFS, GUTTERS AND DOWNSPOUTS TO BE HEATED - TYP.
- ALL WINDOW WELLS, PLANTERS AND ANY HARDSCAPE REQUIRING DRAINAGE TO BE DRAINED TO DAYLIGHT - TYP. UNO.
- PERIMETER DRAINS TO BE PROVIDED AT ALL FOOTERS - TYPICAL.
- BUILT IN CABINETS SHOWN IN PLAN FOR LAYOUT AND QUANTITATIVE PURPOSES
- FURR WALLS AS NECESSARY FOR ALIGNMENT WITH SOFFITS AND SURROUNDING WALLS, SPRING POINTS, ETC - TYP. FOR CLEAN CONDITIONS
- INTERIOR CASING TO REMAIN FULL PROFILE AROUND OPENINGS; ADJUST OPENING LOCATION AS NECESSARY AND NOTIFY ARCHITECT.
- WHERE APPLICABLE, REFER TO REFLECTED CEILING PLANS FOR TIMBER RAFTER AND TIMBER TRELIS SPACING - TYP.
- ALL INTERIOR DOORS AND OPENINGS TO BE CENTERED WITHIN THEIR RESPECTIVE SPACES TYP. UNO
- REFER TO STRUCTURALS, DETAILS & NOTES FOR CONSTRUCTION ASSEMBLIES
- REFER TO SCHEDULES AND ELEVATIONS FOR WINDOW AND EXTERIOR DOOR INFORMATION
- WHERE APPLICABLE, REFER TO MECHANICAL DIAGRAM DRAWINGS FOR EXTERIOR SNOW-MELT AREAS
- ALL FRAMING TO BE 2X4 UNO. PLUMBING WALLS TO BE 2X6 UNO. ALL FURRING AT CONCRETE WALLS TO BE FLAT FURRING (1 1/2") UNO.
- REFER TO LARGER SCALE GRAPHICS FOR SPECIFIC INFORMATION
- CLEARANCES TO PLUMBING FIXTURES TO BE 32-36" MIN. - TYP AT ALL CONDITIONS
- ALL EXTERIOR SPACES (TERRACES, PATIOS, BALCONIES, DECKS, ETC.) SHALL HAVE A MIN. FINISH FLOOR 1" BELOW INTERIOR FINISH FLOOR - TYP. AND SHALL SLOPE AWAY FROM THE BUILDING
- ALL INTERIOR FINISH FLOORS TO BE FLUSH AT EACH LEVEL - ADJUST SLAB / FRAMING AS NECESSARY
- CONTRACTOR AND ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND VERIFY WITH AS-BUILT / EXISTING CONDITIONS AS DIMENSIONS MAY VARY

LIGHTING NOTES

SEE LP 2.1 SHEET FOR LIGHTING LAYOUT

FIRE SAFETY NOTES

(S) - SMOKE AND CARBON MONOXIDE DETECTOR
 SMOKE AND CARBON MONOXIDE DETECTORS ARE REQUIRED IN EVERY BEDROOM, OUTSIDE EACH SLEEPING AREA, AND ON EVERY LEVEL. CARBON MONOXIDE DETECTORS REQUIRED IN EACH ROOM WITH A FUEL-BURNING APPLIANCE



1 ROOF PLAN
 SCALE: 1/4" = 1'-0"

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submissions
 02.02.2018 ARCH. BID SET
 04.06.2018 HOA SUBMITTAL
 05.04.2018 HOA CONDITIONS
 05.22.2018 DRB 1
 07.16.2018 DRB 2

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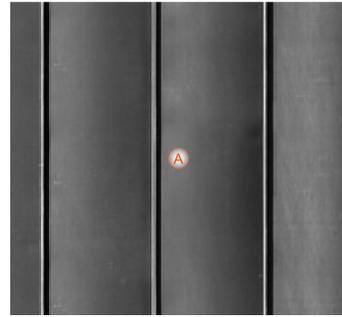
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MOUNTAIN VILLAGE
 COLORADO 81435

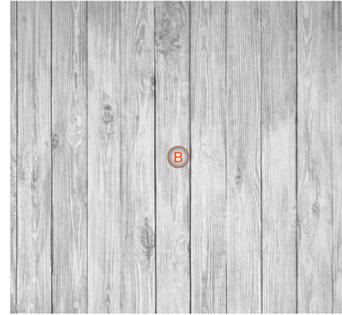
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 ROOF PLAN

A2.3

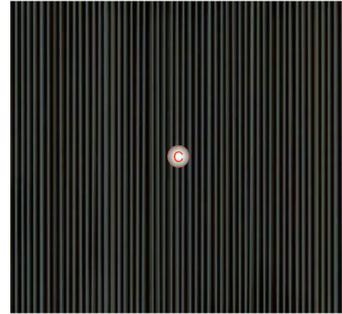
EXTERIOR MATERIALS



STANDING SEAM METAL ROOF



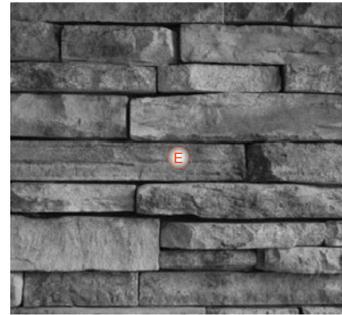
CEDAR SHIP-LAP SIDING



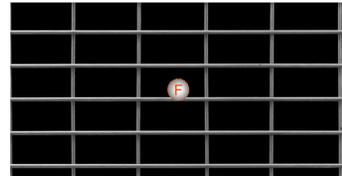
CORRUGATED METAL SIDING



CLAD DOORS + WINDOWS

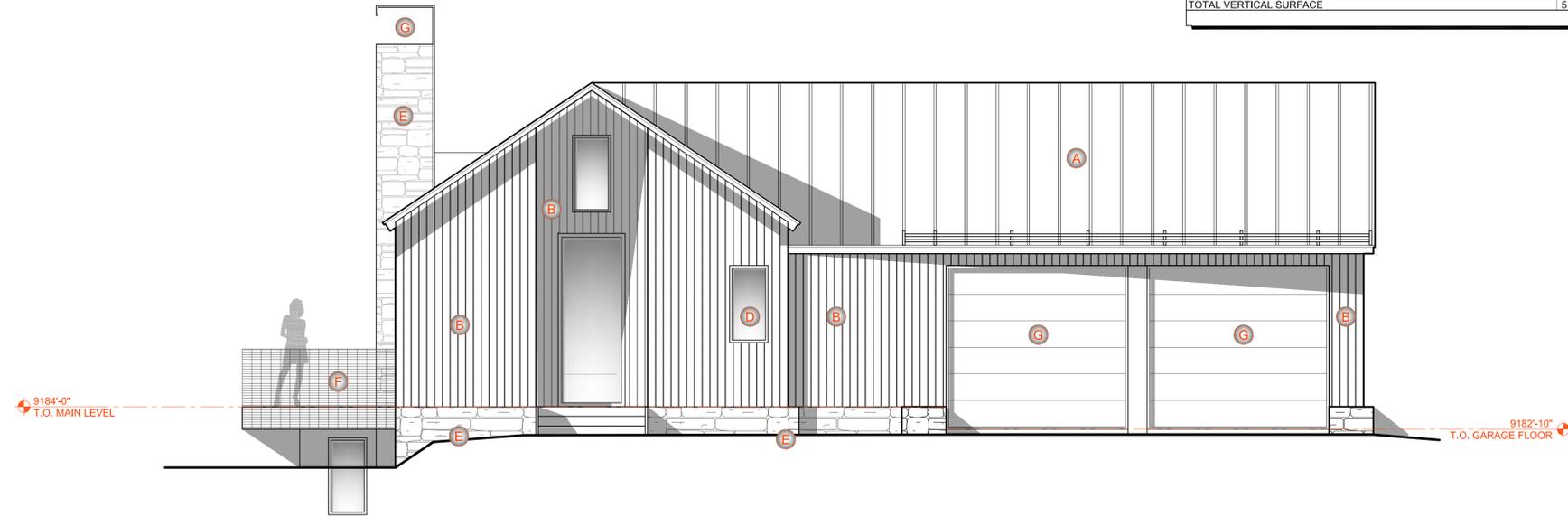


STONE VENEER

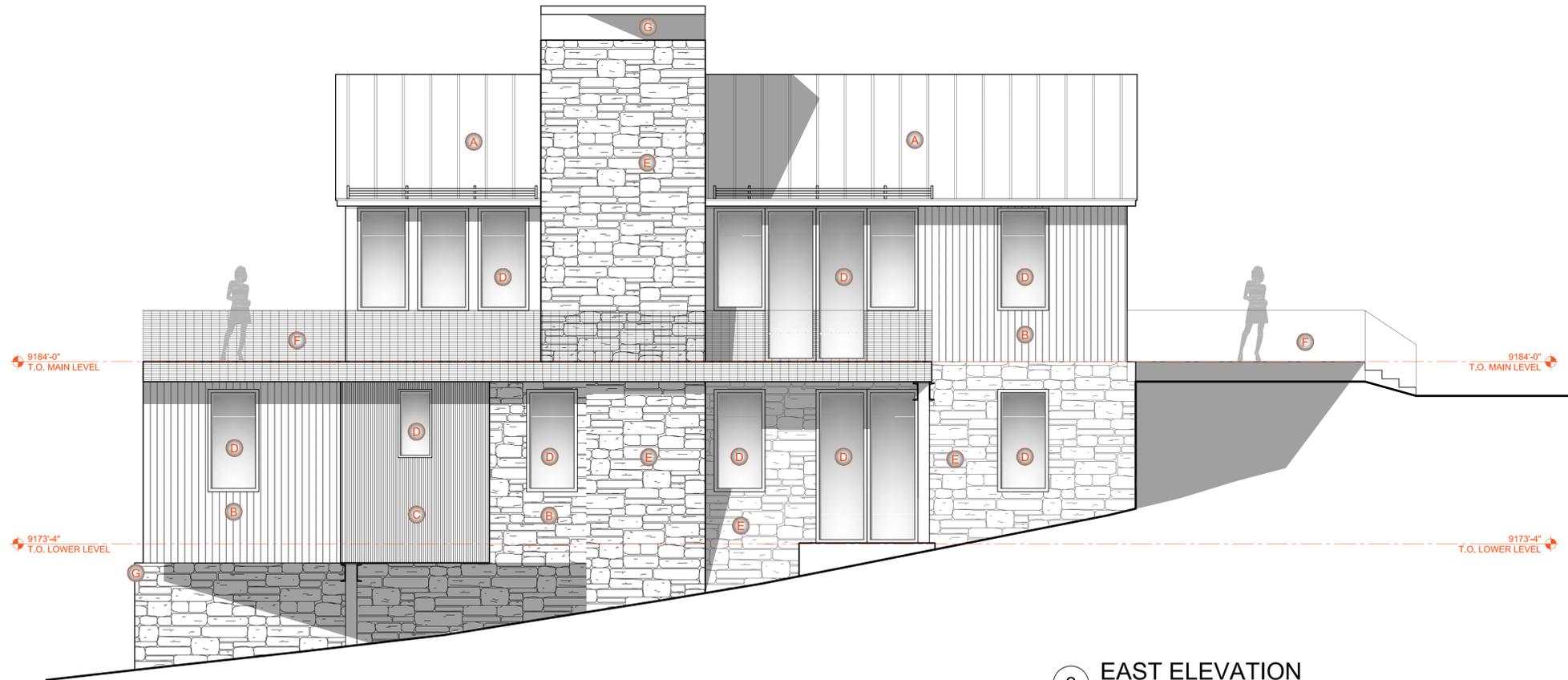


RAIL PANEL

EXTERIOR MATERIAL SUMMARY						
MEASURED IN SQ. FT.	NORTH	EAST	SOUTH	WEST	TOTAL	PERCENTAGE
WOOD SIDING	320	275	485	629	1709	33.3%
METAL SIDING	209	85	184	270	748	14.5%
FENESTRATION	55	296	288	170	809	15.7%
STONE VENEER	76	668	405	727	1876	36.5%
TOTAL VERTICAL SURFACE					5142	100%



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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HOA CONDITIONS
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DRB 2

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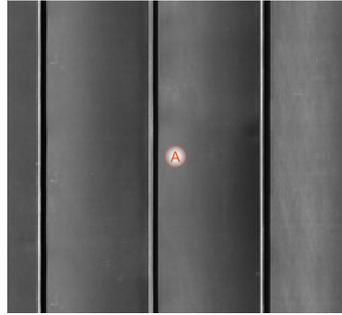
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MOUNTAIN VILLAGE
COLORADO 81435

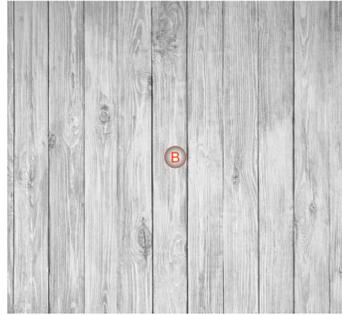
DD
EXTERIOR ELEVATIONS

A3.1

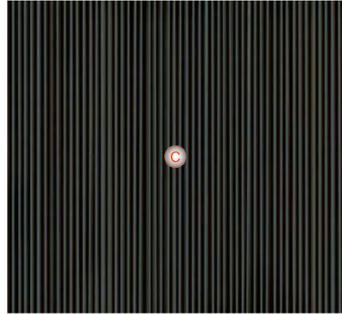
EXTERIOR MATERIALS



STANDING SEAM METAL ROOF



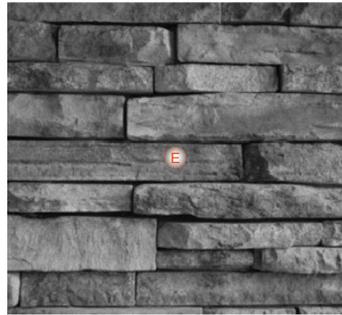
CEDAR SHIP-LAP SIDING



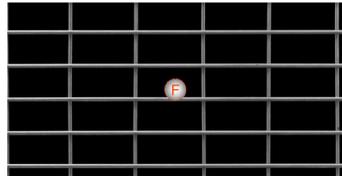
CORRUGATED METAL SIDING



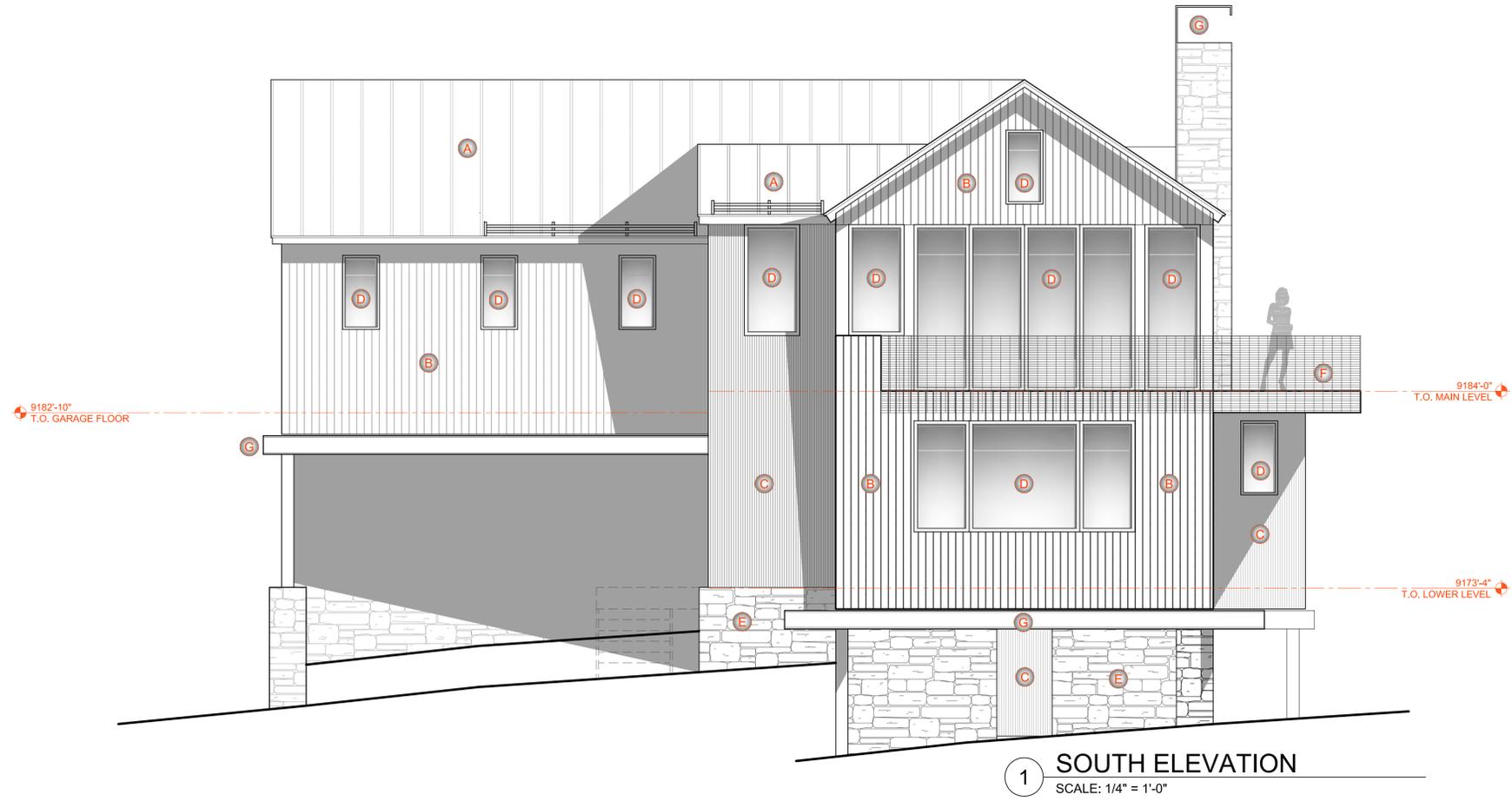
CLAD DOORS + WINDOWS



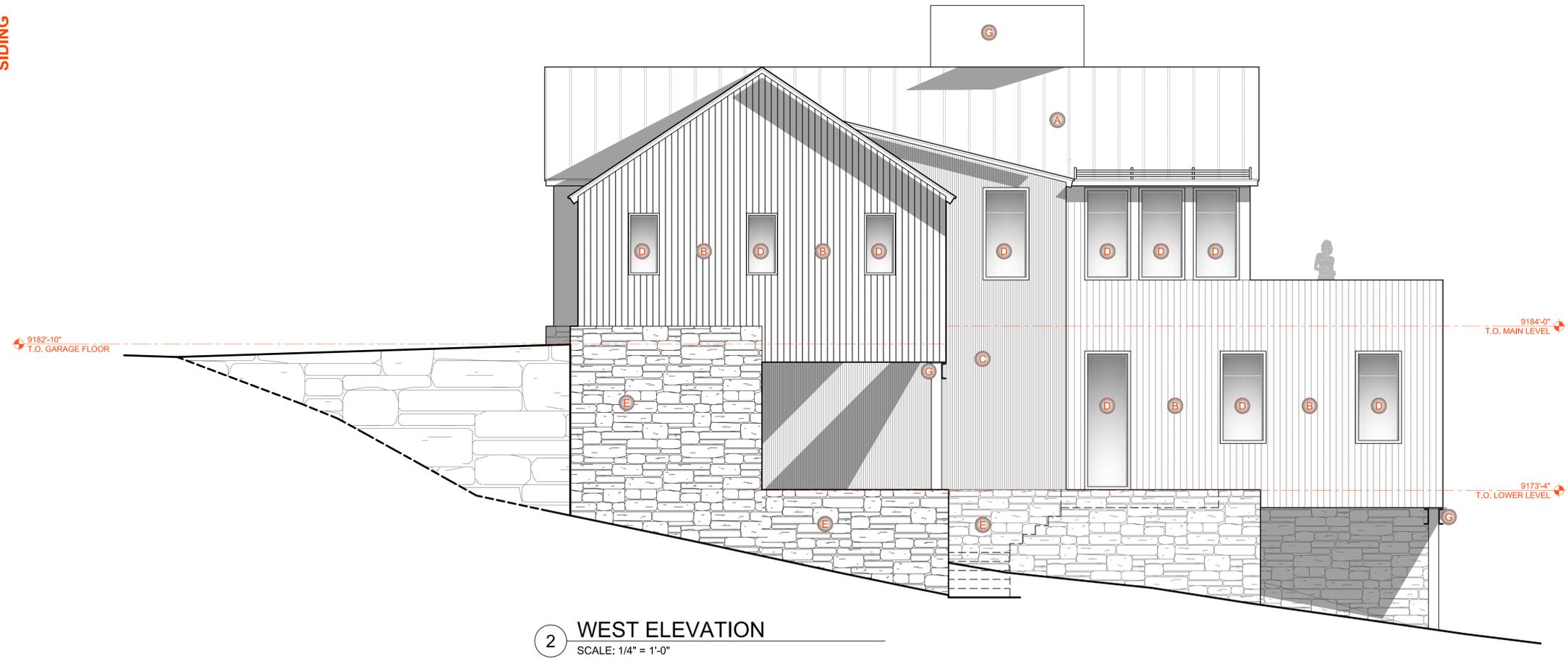
STONE VENEER



RAIL PANEL



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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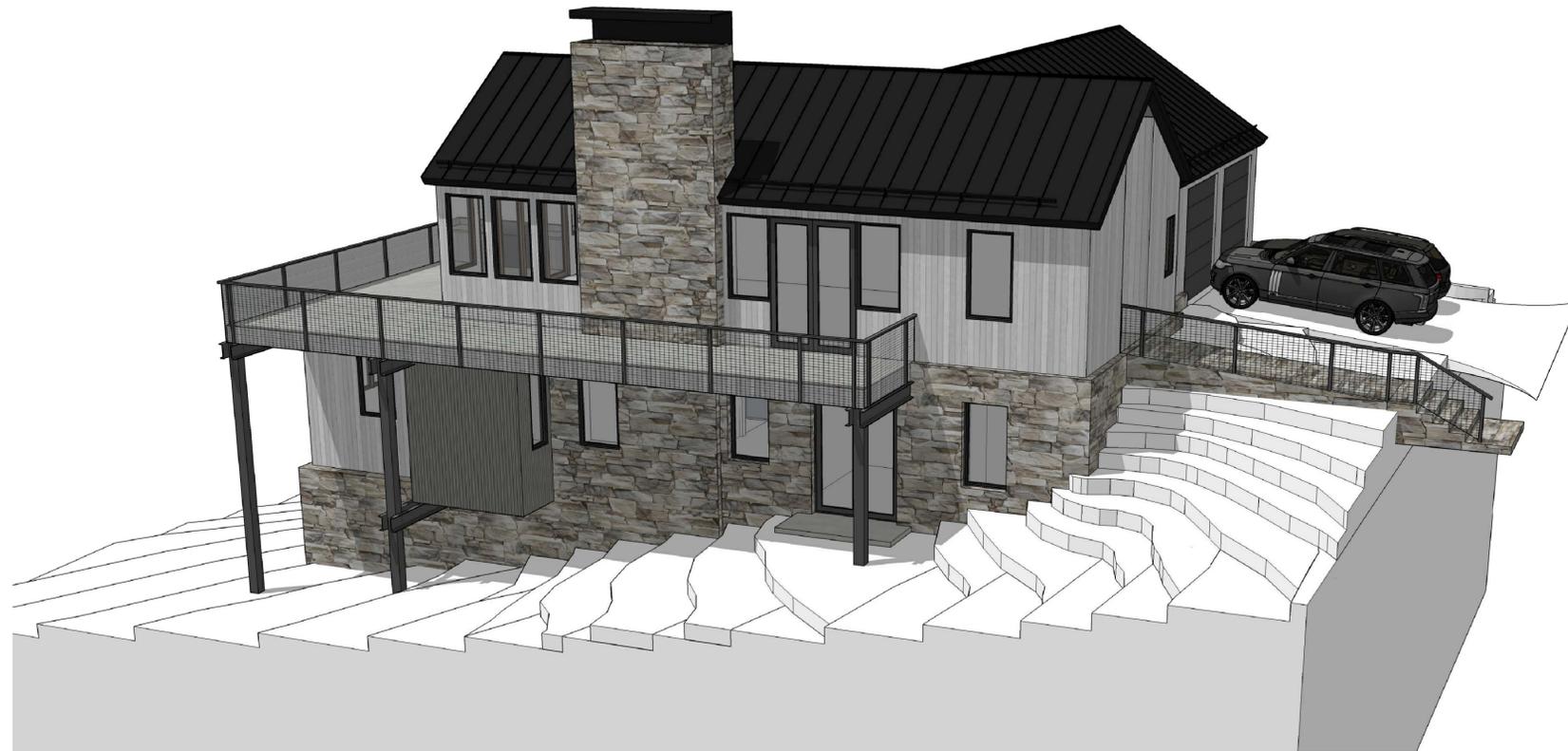
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EXTERIOR ELEVATIONS

A3.2



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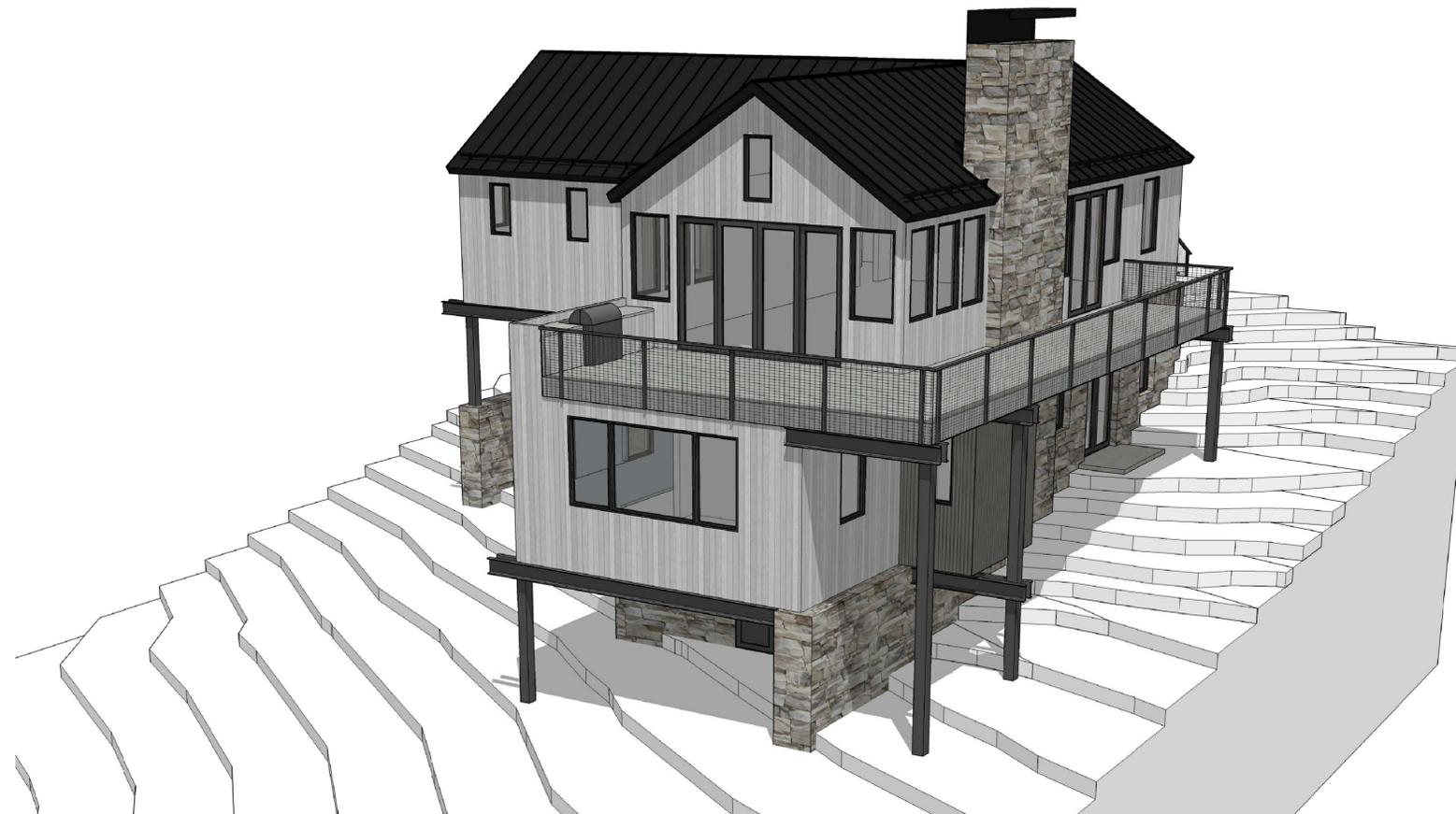
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MOUNTAIN VILLAGE
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MASSING

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HOA SUBMITTAL
HOA CONDITIONS
DRB 1
DRB 2

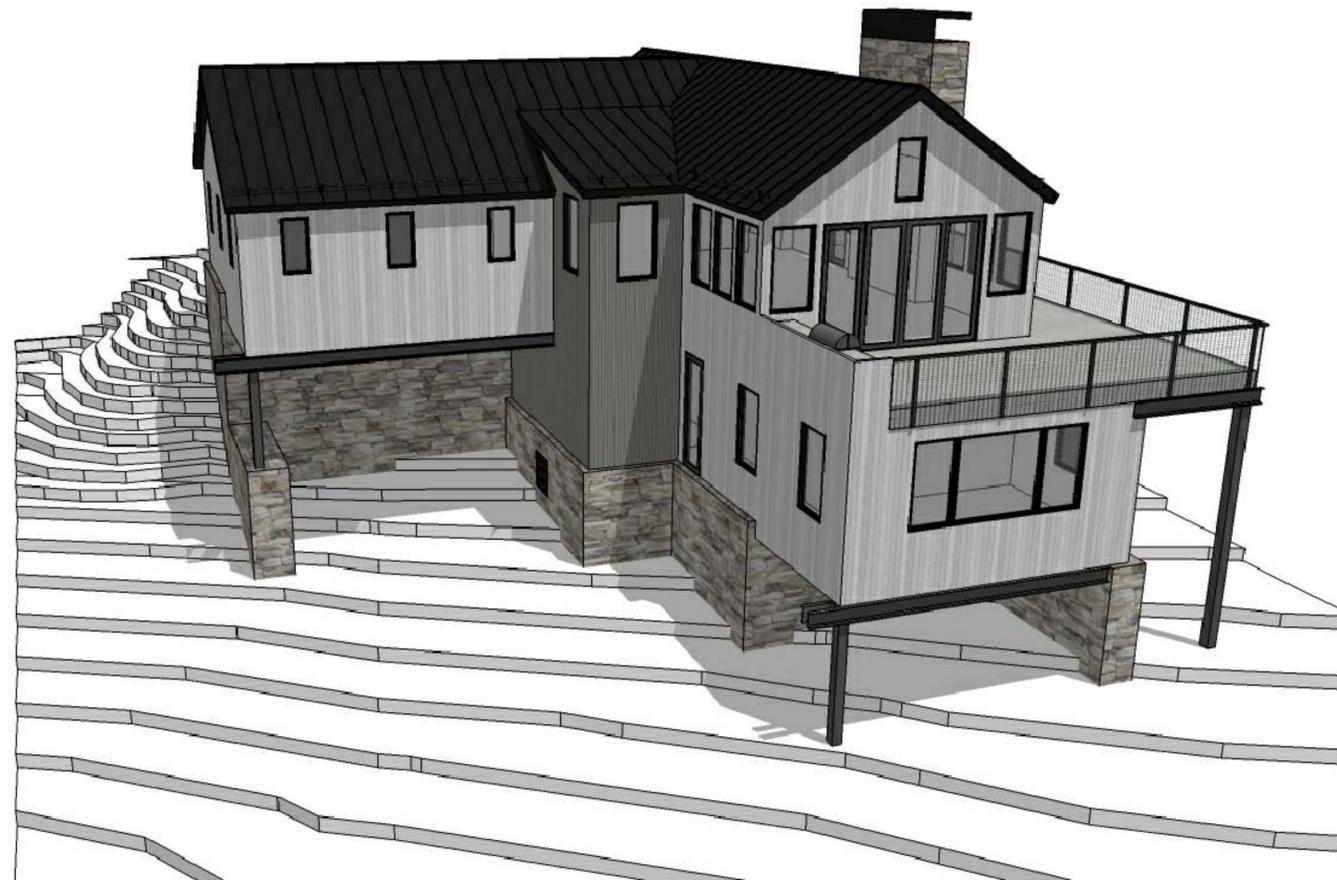
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MOUNTAIN VILLAGE
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MASSING

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**MOUNTAIN VILLAGE
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MASSING

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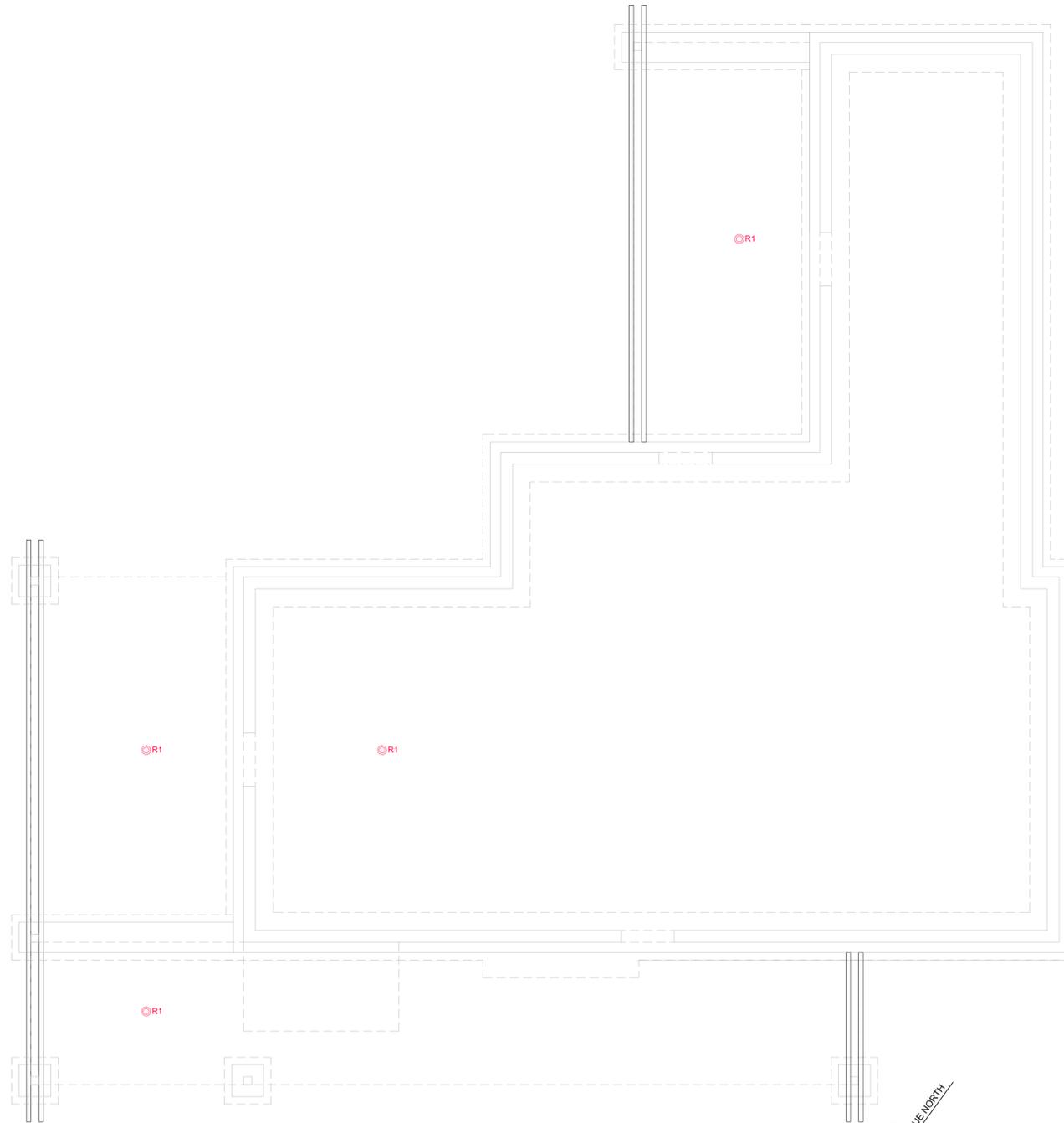
MOUNTAIN VILLAGE
COLORADO 81435

DD
MASSING

A3.18

LIGHTING SCHEDULE | LEGEND

CATEGORY						
LOWER	FIXTURE	SYMBOL	TYPE	LAMP	DESCRIPTION	SUGGESTION
	RECESSED	○R1	4" RECESSED ROUND CAN	LED	TRIM TO MATCH SURROUNDING FINISH	TBD
	RECESSED	○R1W	4" RECESSED ROUND CAN	LED	WET LOCATIONS	TBD
	SCONCE	○E1	EXTERIOR SCONCE	40 WATT MAX.	CYLINDRICAL DOWNLIGHT	TBD
	STEPLIGHT	▭ST1	RECESSED	LED		TBD
	FAN	■	EXHAUST FAN	-		TBD
	PENDANT	○D2	DECORATIVE PER CLIENT	TBD		
	CHANDELIER	□D1	DECORATIVE PER CLIENT	TBD		LOCATION DETERMINED BY PLACEMENT OF DINING ROOM TABLE
	CLOSET	▭FL1	FLOURESCENT	FLOURESCENT	SINGLE BULB AT CLOSET WJ JAMB SWITCH	
	GARAGE		FLOURESCENT	FLOURESCENT	DOUBLE BULB UTILITY FIXTURE AT GARAGE	
	TASK	—	LED STRIP	LED	LED STRIP UNDERCOUNTER TASK LIGHT	OPTION FOR PUCK LIGHTS
	CEILING FAN	⊗F1	PER CLIENT	TBD		



2 CRAWLSPACE LIGHTING PLAN
SCALE: 1/4" = 1'-0"



1 LOWER LEVEL LIGHTING PLAN
SCALE: 1/4" = 1'-0"

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HOA CONDITIONS
DRB 1
DRB 2

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MOUNTAIN VILLAGE
COLORADO 81435

DD
RCP &
LIGHTING
PLAN

LP2.1

Horizontal LED Ledge Step and Wall Light
By WAC Lighting



Product Options
Finish: Black, Bronze, White
Color Temperature: Arctic, 3000K
Voltage: 120 Volt, 277 Volt

Details
• Designed in 2018
• Material: Aluminum
• AIA compliant, Title 24 compliant
• ETL Listed Wet
• Warranty: 5 Years Functional, 2 Years Finish
• Made in China

Dimensions
120 Volt Option Fixture: Width 5", Height 3.13", Depth 1.88"
277 Volt Option Fixture: Width 5", Height 3.13", Depth 1.88"

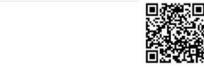
Lighting
• 3000K Option: 3.5 Watt (68 Lumens) 120 Volt Integrated LED, CR: 90 Color Temp: 3000K
• 3000K Option: 3.5 Watt (68 Lumens) 277 Volt Integrated LED, CR: 90 Color Temp: 3000K

Additional Details
Product URL:
<https://www.ylighting.com/horizontal-led-ledge-step-and-wall-light-by-wac-lighting-wacp201359.html>
Rating: ETL Listed Wet

Product ID: WACP201359

Prepared by: _____
Project: _____
Room: _____
Placement: _____
Approval: _____

Notes:
Finish: Bronze | Dimensions: 120 Volt Fixture: W 5.13", H 3.133", D 1.88"
H | Lamp: LED, 3000K



Created May 09, 2018

ST2
[Symbol] - 2 TOTAL

Skyline LED 1 Light Outdoor Wall Light
By The Great Outdoors: Mirika-Lavary



Product Options
Finish: Dark Bronze, Brushed Aluminum

Additional Details
Product URL:
<https://www.ylighting.com/skyline-led-1-light-outdoor-wall-light-by-the-great-outdoors%3A-mirika-lavary%3A150012643.html>
Rating: ETL Listed Wet

Product ID: TGOY32643

Prepared by: _____
Project: _____
Room: _____
Placement: _____
Approval: _____

Notes:
Finish: Bronze | Dimensions: 3" W x 3.5" H, 4" Extension | Backplate: 3" W x 3.5" H | Lamp: LED, 3000K

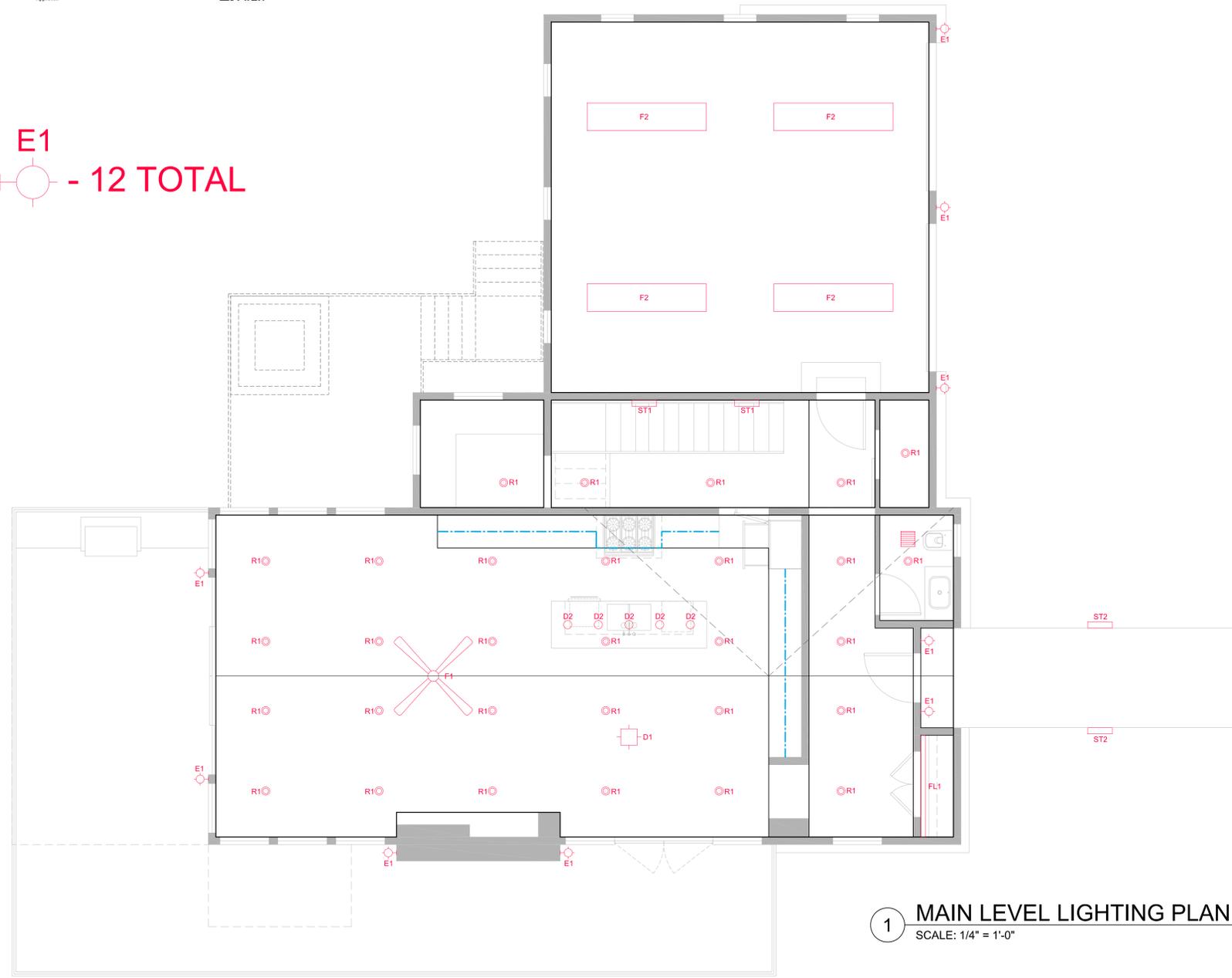


Created May 09, 2018

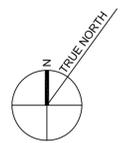
E1
[Symbol] - 12 TOTAL

LIGHTING SCHEDULE | LEGEND

CATEGORY						
MAIN	FIXTURE	SYMBOL	TYPE	LAMP	DESCRIPTION	SUGGESTION
	RECESSED	○R1	4" RECESSED ROUND CAN	LED	TRIM TO MATCH SURROUNDING FINISH	TBD
	RECESSED	○R1W	4" RECESSED ROUND CAN	LED	WET LOCATIONS	TBD
	SCONCE	○E1	EXTERIOR SCONCE	40 WATT MAX.	CYLINDRICAL DOWNLIGHT	TBD
	STEPLIGHT	[Symbol]	RECESSED	LED		TBD
	FAN	[Symbol]	EXHAUST FAN	-		TBD
	PENDANT	○D2	DECORATIVE PER CLIENT	TBD		
	CHANDELIER	[Symbol]	DECORATIVE PER CLIENT	TBD		LOCATION DETERMINED BY PLACEMENT OF DINING ROOM TABLE
	CLOSET	[Symbol]	FLOURESCENT	FLOURESCENT	SINGLE BULB AT CLOSET W/ JAMB SWITCH	
	GARAGE	[Symbol]	FLOURESCENT	FLOURESCENT	DOUBLE BULB UTILITY FIXTURE AT GARAGE	
	TASK	[Symbol]	LED STRIP	LED	LED STRIP UNDERCOUNTER TASK LIGHT	OPTION FOR PUCK LIGHTS
	CEILING FAN	[Symbol]	PER CLIENT	TBD		



1 MAIN LEVEL LIGHTING PLAN
SCALE: 1/4" = 1'-0"



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MOUNTAIN VILLAGE
COLORADO 81435

DD
RCP & LIGHTING PLAN

LP2.2

SIGN-IN SHEET

DRB Meeting

THURSDAY AUGUST 2, 2018

Please write clearly

ATTENDEE NAME (PLEASE PRINT CLEARLY)	EMAIL ADDRESS
JOHN & ELIZABETH RAESE	
Mary Brinton	mtpeaks.maryb@gmail.com
JAMIE DAUGMARD	JAMIE@CENTRUSBY.COM
CHIEF BROADY	
NAPU, Tracy	NAPUSCENTRUSBY.COM