

**TOWN OF MOUNTAIN VILLAGE  
REGULAR DESIGN REVIEW BOARD MEETING  
THURSDAY OCTOBER 4, 2018 10:00 AM  
2nd FLOOR CONFERENCE ROOM, MOUNTAIN VILLAGE TOWN HALL  
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO  
AGENDA**

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	5	Starr	Action	Reading and Approval of Summary of Motions for the September 6, 2018 Design Review Board Meeting.
3.	10:05	45	Starr	Public Hearing, Quasi-Judicial Action	Consideration of a Design Review Final Review application for a new single-family home on Lot AR-49, 116 Adams Way
4.	10:50	45	Haynes	Public Hearing, Quasi-Judicial Action	Consideration of a minor revisions application to a landscape plan for Lot 1151, 132 High Country Drive
5.	11:35	30			LUNCH
6.	12:05	60	Starr	Initial Architecture and Site Review	Consideration of an Initial Architectural Site Review application for a new single-family home on Lot 649R-8, 8 Boulders Way.
7.	1:05	5	Haynes	Discussion	Other Business
8.	1:10				Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)  
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435  
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: [cd@mtnvillage.org](mailto:cd@mtnvillage.org). We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**SUMMARY OF MOTIONS  
TOWN OF MOUNTAIN VILLAGE  
DESIGN REVIEW BOARD MEETING  
THURSDAY, SEPTEMBER 6<sup>th</sup> 2018**

**Call to Order**

Chairman Banks Brown called the meeting of the Design Review Board of the Town of Mountain Village to order at 10:03 a.m. on Thursday, September 9, 2018 in the Palmyra Conference Room at 415 Mountain Village Boulevard Mountain Village, CO 81435.

**Attendance**

**The following Board members were present and acting:**

Banks Brown  
Phil Evans  
Greer Garner  
Liz Caton (Alternate)  
David Craige  
Keith Brown  
Jean Vatter (Alternate)  
Dave Eckman

**The following Board members were absent:**

Luke Trujillo

**Town Staff in attendance:**

Michelle Haynes, Planning & Development Services Director  
Sam Starr, Planner

**Public in attendance:**

Matt Steen	mh44steen@gmail.com
Robert Stenhammer	rstenhammer@telski.com
Heidi Lauterbach	lauterbach.heidi@gmail.com
Michael Lauterbach	Not Provided
Sara D'Agostino	sara@centresky.com

**Reading and Approval of Summaries of Motions for the August 2, 2018 Design Review Board Meetings.**

On a **Motion** made by Phil Evans and seconded by David Craige, the DRB voted 7-0 to approve the August 2<sup>nd</sup>, 2018 Summary of Motions, with the following changes:

- 1) A correction was made on page 2 to reflect that “Raese” is the correct spelling of the last name for the applicants, John and Liz Raese, who applied for a design variation to an address monument at Lot 1151, 132 High Country Road.

**Consideration of a Design Review Initial Architectural and Site Review application for a new single-family home on Lot AR-49, 116 Adams Way.**

Planner Sam Starr presented the consideration of an Initial Architectural and Site Review application for a new single-family home on lot AR-49, 116 Adams Way. Michael and Heidi Lauterbach represented themselves in this matter.

No public comment was provided.

On a **Motion** made by Keith Brown and seconded by Phil Evans, the DRB voted 7-0 to approve the consideration of an Initial Architectural and Site Review application for a new single-family home on Lot AR-49, 116 Adams Way with the following conditions:

- 1) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 2) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 3) *The owners of Lot AR-49 will enter in to a General Easement Encroachment Agreement with the Town of Mountain Village for the address monument and portions of driveway in the northern portion of the General Easement.*
- 4) *Applicant provide staff with an appropriate fire mitigation plan prior to Final Review.*
- 5) *The Design Review Board finds the applicants materials to be compliant but ask the applicant to produce more variety to address monochromatic elements, specifically as it relates to corrugated metal.*

**Consideration of a Final Review application for a new single-family home on Lot 165-11, 210 Cortina Drive.**

Planner Sam Starr presented the consideration of the Final Review application for a new single-family home on lot 165-11 210 Cortina Drive. Sara D’Agostino of Centre Sky Architecture presented on behalf of the applicant.

No public comment was provided.

On a **Motion** made by Phil Evans and seconded by David Craige, the DRB voted 7-0 to approve the Final Review application for a new single-family home on lot 165-11, 210 Cortina Drive with the following conditions:

- 1) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.*

*This condition shall be carried over to any Final Review Approval as it is a construction condition.*

- 2) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.*
- 3) *The owners of Lot 165-11 will enter in to a General Easement Encroachment Agreement with the Town of Mountain Village for the exterior parking, retaining wall, and driveway abutments in the eastern General Easement*
- 4) *Applicant will provide an updated address identification sign demonstrating the presence of a downlit concealed, LED light.*
- 5) *Exterior lighting plan be revised as discussed during DRB deliberation, which includes:*
  - I. *Removing two exterior S1 sconces by the front door.*
  - II. *Removing the RE recessed can adjacent to the front door.*
  - III. *Removing the S3 exterior sconce on the Master Bedroom Deck.*
  - IV. *Changing the RE can on the dining room deck to an S1 Sconce.*
  - V. *Placing all exterior lights on a monitored system for control.*

### **Other Business**

Planning and Development Services Director Michelle Haynes provided an update on the VCA roof coating project, and showed images highlighting the finished result with the tile coating. Haynes also mentioned that the Planning and Development Services Department has hired John Miller as a Senior Planner. The remainder of the time reserved for other business was spent discussing logistics for a design review board home tour to review building trends and new approvals.

### **Adjourn**

On a **Motion** made by Phil Evans and Seconded by Banks Brown, the Design Review Board voted 7-0 to adjourn the September 6<sup>th</sup>, 2018 meeting of the Mountain Village Design Review Board at 12:03 p.m.

Prepared and Submitted by,

Sam Starr  
Planner  
Town of Mountain Village



**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Design Review Board  
**FROM:** Sam Starr, Planner  
**FOR:** Meeting of October 4, 2018  
**DATE:** September 27, 2018  
**RE:** Consideration of an Final Review application for a new single-family residence on Lot AR-49, 116 Adams Way

**PROJECT GEOGRAPHY**

**Legal Description:** Lot AR-49  
**Address:** 116 Adams Way  
**Applicant/Agent:** Michael Lauterbach/MJL Companies  
**Owner:** Heidi Lauterbach  
**Zoning:** Multi-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 0.15 Acres  
**Adjacent Land Uses:**

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Open Space

**ATTACHMENTS**

- Exhibit A: Revised Applicant Narrative
- Exhibit B: Plan Set

**BACKGROUND**

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Final Review for the development of a single-family residence. The proposed dwelling unit is located on 116 Adams Way and consists of 2149 livable square feet with 863 square feet of mechanical and garage space. The site area consists of 0.15 acres and is characterized by a substantial slope on the southern portion that has driven the design and placement of this residence. The Design Review Board approved of the Initial Architectural Site Review Application with the five (5) conditions reflected in the September 6, 2018 DRB Minutes.

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	35 + 5' (if gable form) maximum	33' 4"
Maximum Avg Building Height	30' + 5' (if gable form) maximum	28'
Maximum Lot Coverage	65%	39%
General Easement Setbacks		
North	16' Setback	26'
South	16' Setback	40'
East	16' Setback	16'
West	10' Easement	48'
Roof Pitch		
Primary		2:12
Secondary		2:12
Exterior Material		
Stone	35%	35.00%
Wood	No requirement	35.80%
Windows/Doors	40% maximum for windows	17.00%
Metal Accents	No requirement	12.20%
Parking	2 enclosed	2 enclosed

**17.3.12.C BUILDING HEIGHT LIMITS**

The average height for the proposed design is code compliant at 28'. The maximum height is 33' – 4", which falls within the maximum height allowed for a single-family home with a gabled roof. To verify that the finished product matches the proposed plans, staff recommends that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review approval as it is a construction condition.

**17.5.5 BUILDING SITING DESIGN**

Lot AR-49 is a small lot (0.15 acres) with slopes from the southern to northern portion of the site. The topography-driven siting of the home has caused portions of the driveway and the address identification sign to be in parts of the General Easement. To accommodate the structural elements in the GE, the applicant will need to enter into a General Easement Encroachment Agreement for the address monument and driveway. Staff also recommends that a monumented land survey of the footers be provided prior to pouring concrete to determine there are no further encroachments into the GE. This condition shall also be carried over to any Final Review approval as it is a construction condition.

**17.5.6 BUILDING DESIGN**

**Building Form and Exterior Wall Form**

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation. Moreover, the materials and form align with the character of the neighborhood.

In accordance with board input from the September 6, 2018 Design Review Board Meeting, the applicant has submitted two 3D models which reflect a difference in the amount of steel featured in the building materials. Specifically, the applicant has given two alternatives with garage door materials that include either a steel panel door, or a wood siding door. The DRB will need to weigh in on the appropriateness of the materials for each alternative.

**Roof Forms, Design and Materials**

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines, and vertical offsets. The primary roof is an offset gable with a 2:12 pitch. The secondary roof is also a 2:12 pitch. No chimneys were proposed at the time of submittal. The proposed roof material is a rusted, corrugated Corten steel.

**Exterior Wall Materials**

The exterior walls consist of 35.00% stone veneer, which will be a mixture of 4” and 8” tall Colorado Buff stone. 35.00% of the exterior materials will be 10” vertical cedar wood, while the remainder of the materiality will be 17.00% sierra pacific window fenestration with copper clad trim, and 12.20% metal accents.

**17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades of 3:1 or flatter. The driveway and other fill areas will be graded with the foundation excavation. Applicant proposes placing a series of boulders for retainage in the southern portion to ease the naturally occurring slope. A swale is also shown to assist in positive flow away from the residence.

**17.5.8 PARKING REGULATIONS**

The applicant shows 2 enclosed parking spaces, which is consistent with the requirements for a Single Family Common Interest Community. The applicant has indicated they will not be using snowmelt for the 928 square foot driveway, or for the 242 square feet of deck.

**17.5.9 LANDSCAPING REGULATIONS**

The original landscape plan showed 5 Malus ‘Spring Snow’ and 3 Colorado Spruce trees to be planted along with the preservation of existing aspen and spruce on site. The applicant has since revised their landscape plan to conform with town wildfire mitigation and defensible space codes. Three (3) additional trees have also been added to the east side of the property to screen from existing neighbors. All plantings will need to be in compliance with Table 5-4 of the CDC:

Table 5-4, Minimum Plant Size Requirements

Landscaping Type	Minimum Size
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.
Shrubs	5 gallon or larger massing of smaller shrubs

A formal irrigation plan has been submitted that shows a drip system, rainfall, sensor and a backflow prevention device.

**17.5.11 UTILITIES**

The water connection will be placed in the northern portion of the lot under the driveway, while sewer connections will be east of the building, and all phone cable and electric will be on the

southwest portion of the lot. Public Works requests that all utilities be field located by the contractor prior to construction.

#### **17.5.12 LIGHTING REGULATIONS**

Applicant proposes four (4) exterior lights, all in code-compliant locations. The applicant proposes to use a Whatley 6 1/4" High Black LED Outdoor Wall Light, with an LED light source. Specification sheets for this model indicate that the total quantity of visible light may be up to 1150 Lumens. The board will need to weigh in on the appropriateness of the light bulb used. The placement of lighting is code compliant, and the locations include: decks, exterior egress areas, and the entryway

#### **17.5.13.E.4 ADDRESS IDENTIFICATION SIGNS**

Applicant proposes a standalone address monument using 8" C Channel Black Steel. Numbers are a compliant in terms of size, and reflectivity. The numbers will be downlit from a 6 3/4 " solar address lamp with three (3) LED Bulbs.

#### **17.7.19 CONSTRUCTION MITIGATION**

All construction staging is within the lot boundaries. However, the construction staging plan does show construction parking and backfill disturbance in the General Easements. Staff finds this disturbance is minimal and will not adversely affect the surrounding properties. The configuration is necessary given the size and slope constraints of the site. Staff recommends a condition of approval include reseeding the general easement to its natural state a requirement of its temporary use for construction staging.

### **RECOMMENDATION**

Staff recommends the DRB approve the Final Review application for Lot AR-49, 116 Adams Way with the following conditions which shall be addressed before issuance of a building permit unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no encroachments into the GE.
3. Owners of Lot AR-49 will enter into a revocable General Easement Encroachment Agreement for the address monument and driveway in the northern portion of the General Easement.
4. Reseed per CDC requirements to its natural state the portion of the general easement used for construction staging.

LOT AR-49  
TELLURIDE MOUNTAIN VILLAGE  
**NARRATIVES**  
SEPTEMBER 17, 2018

EXTERIOR

Upon completion of the initial Design Review Board meeting, we have focused our attention on the Board member's concerns. In response to the Board's concern regarding the monochromatic appearance of the building elevations, it is our intention to proceed with the CRCQ rusted roof which will over time achieve a dark brown appearance. It is our further intention to install vertical ribbed but non-rusting corrugated steel siding which will immediately exhibit a dull black or gun metal appearance. The steel panels on the garage door would match the color of the vertical ribbed siding but they will be flat panels.

We have also enclosed a picture of a garage door which exhibits an R value of either 10 or 17 depending on which core is purchased and displays digitally imaged authentic woodgrains. We think the woodgrain door is both attractive and quite functional due to the R value and would like to use it instead of the door with the steel panels. The garage door originally proposed with the steel panels has no R value.

In response to the Board's concerns, we have changed the exterior light fixture to an LED compliant fixture.

In response to a valid opinion pertaining to the arrangement of rock on the north and east elevations, we have rearranged the rock elevations to appear more visually pleasing while maintaining the 35% coverage.

LANDSCAPING

Provisionally, we have responded to the Board's concerns and added three aspens to our east side landscaping. Our overriding concern to adding additional trees is snow storage availability. A guardrail exists on the other side of the street which will prevent driveway snow accumulations from being transferred to the opposite side of the street thus the snow from our driveway and parking spaces must be stored on our site and additional trees will complicate and limit that storage.

FIRE MITIGATION

Our licensed landscape architect has further reviewed the fire mitigation requirements and fire zone setbacks and made changes where necessary to our landscape plan. During his review, he found that numerous existing trees which we would like to preserve actually encroach on Zones where they are disallowed or discouraged. Consequently, he has identified those trees on his landscape plan and is presuming the Board will provide us with a determination as to their survival. With Board approval, it is our intention to protect and preserve the trees to be retained as shown on the landscape plan as they provide a sound and privacy buffer from the surrounding road. We intend to accomplish all of the required tasks which correspond to the various Fire Mitigation Zones identified on our landscape plan.

49 Eldorado Stone



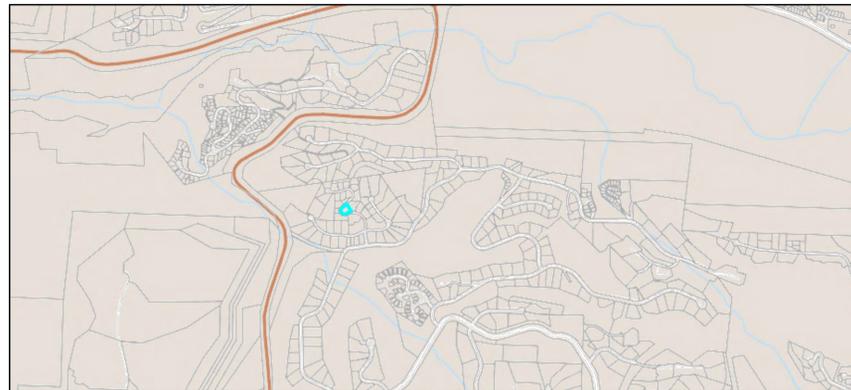


MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

# LS 2 RESIDENCE

## LOT AR - 49, 116 ADAMS WAY, TELLURIDE MOUNTAIN VILLAGE TELLURIDE, COLORADO 81435

VICINITY MAP



SITE AND BUILDING ANALYSIS

ZONING - RESIDENTIAL  
 LOT SIZE - .15 ACRES = 6482 SQ. FT.  
 MAXIMUM HEIGHT = 35'-0"  
 PROPOSED BUILDING FOOTPRINT - 1,656.97 SQ. FT.  
 DRIVEWAY AREA - 928.96 SQ. FT.  
 ROOF AREA - 2,144.50 SQ. FT.  
 GROUND SNOW LOAD: = 130 LBS  
 WIND SPEED: = 90 MPH  
 SEISMIC DESIGN CATEGORY C  
 FROST DEPTH 48"  
 WINTER DESIGN TEMPERATURE -15 F

LEGAL DESCRIPTION:  
 PARCEL # 456533314148

UNIT AR-49, 116 ADAMS WAY  
 THE VILLAGE AT ADAMS RANCH  
 TOWN OF MOUNTAIN VILLAGE  
 SAN MIGUEL COUNTY, COLORADO

LOT OWNER:  
 WILLIAM SPICER  
 5133 E. 18TH AVE.  
 DENVER COLORADO 80220  
 headstaple@aol.com

RESIDENTIAL IMPROVEMENTS OWNER:  
 HEIDI LAUTERBACH & MATT STEEN  
 P.O. BOX 2978  
 TELLURIDE COLORADO 81435  
 lauterbach.heidi@gmail.com

ARCHITECT:  
 STEVEN JAMES RIDEN AIA ARCHITECT PC  
 115 G STREET SALIDA, CO. 81201  
 970-389-0150  
 steve@riden1.com

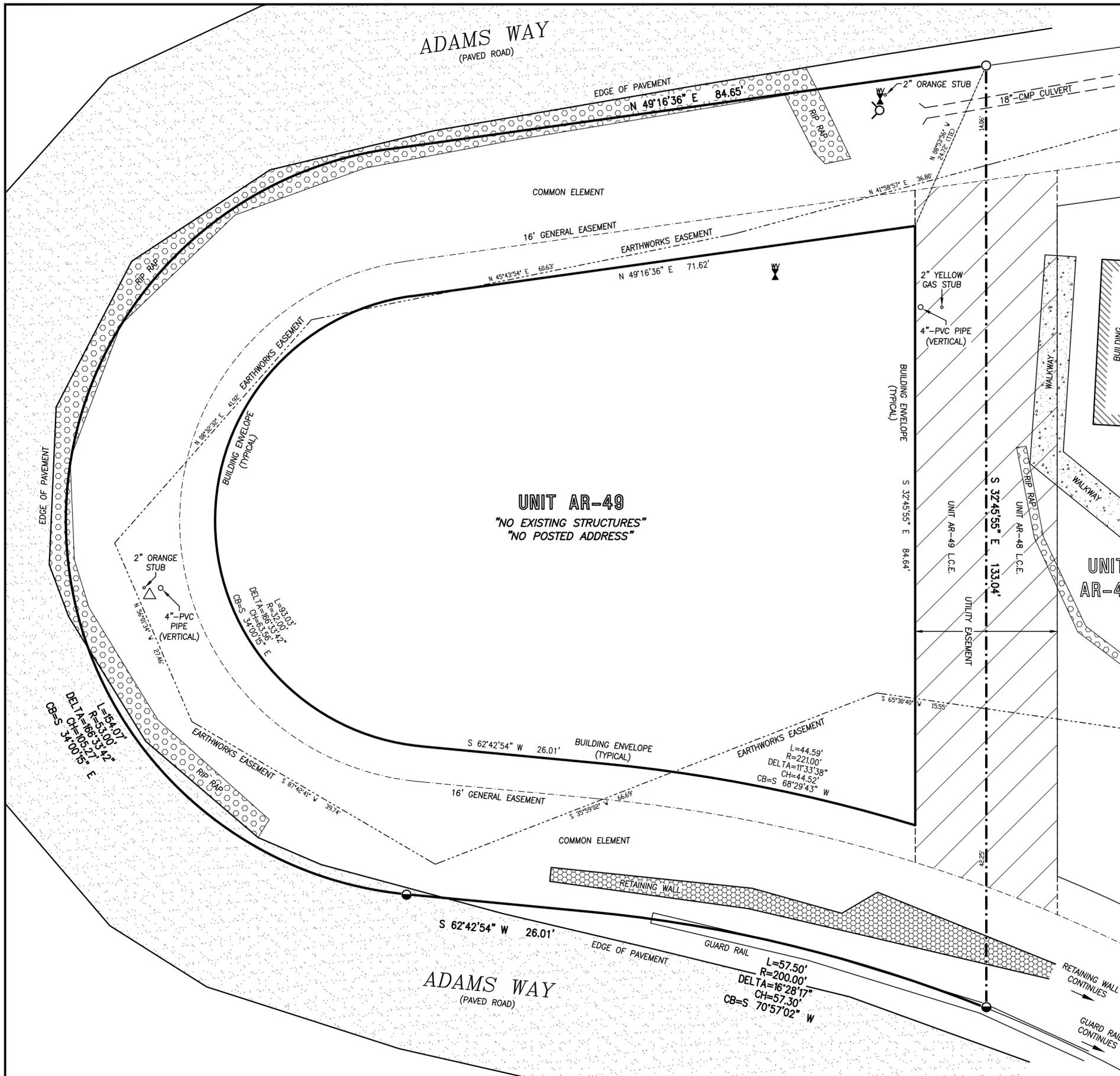
CONSTRUCTION MANAGER:  
 MJL DEVELOPMENT INC  
 P.O. BOX 5026 EDWARDS, CO. 81632  
 970-471-1670  
 mjlausterbach5026@gmail.com

STRUCTURAL ENGINEER:  
 EWING ENGINEERING INC.  
 P.O. BOX 2526  
 VAIL, COLORADO 81658  
 970-949-5153  
 ewing-vail@comcast.net

SURVEYOR:  
 FOLEY ASSOCIATES, INC.  
 125 W. PACIFIC, SUITE B-1  
 TELLURIDE, COLORADO 81435  
 970-728-6153 970-728-6050 fax

TABLE OF CONTENTS DRB JULY 24, 2018

- COVER PAGE
- TOPOGRAPHIC SURVEY
- SD1 SITE DEVELOPMENT AND UTILITY PLAN
- L1 LANDSCAPE DEVELOPMENT PLAN
- CMP CONSTRUCTION MANAGEMENT PLAN
- A1 LOWER LEVEL FLOOR PLAN
- A2 MAIN LEVEL FLOOR PLAN
- A3 ROOF PLAN
- A4 BUILDING ELEVATIONS
- A5 BUILDING SECTIONS
- E1 EXTERIOR LIGHTING PLAN
- DT1 ARCHITECTURAL DETAILS



**LEGEND**

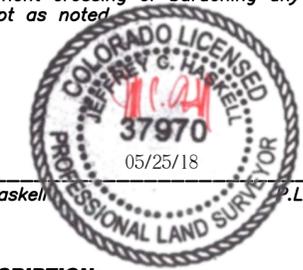
- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- CABLE-TV PEDESTAL
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 24954
- FOUND No. 5 REBAR, NO CAP

SCALE: 1" = 10'

**IMPROVEMENT LOCATION CERTIFICATE:**

I hereby certify that this Improvement Location Certificate was prepared for Land Title Guarantee Company, that it is not a land survey plat or improvement survey plat, that it is not to be relied upon for the establishment of fence, building, or other improvement lines.

I further certify that the improvements on the below described parcel on this date May 23, 2018, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.



Jeffrey C. Haskell P.L.S. 37970

**LEGAL DESCRIPTION:**

UNIT AR-49, TIMBER RIDGE AT MOUNTAIN VILLAGE (FORMERLY THE VILLAGE AT ADAMS RANCH), A COMMON INTEREST COMMUNITY, ACCORDING TO THE PLAT RECORDED MAY 22, 2000 IN PLAT BOOK 1 AT PAGE 2715, AND AS DEFINED AND DESCRIBED IN THE DECLARATION RECORDED JUNE 1, 1999 UNDER RECEPTION NO. 326890, AND AS AMENDED IN INSTRUMENT RECORDED JUNE 9, 2000 UNDER RECEPTION NO. 334770, AND AS AMENDED IN INSTRUMENT RECORDED SEPTEMBER 13, 2001 UNDER RECEPTION NO. 343817, AND AS AMENDED IN INSTRUMENT RECORDED OCTOBER 27, 2005 UNDER RECEPTION NO. 379100, AND AS AMENDED IN INSTRUMENT RECORDED AUGUST 14, 2013 UNDER RECEPTION NO. 429339, AND AS AMENDED IN INSTRUMENT RECORDED AUGUST 28, 2017 UNDER RECEPTION NO. 449950,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**NOTES:**

1. Easement research and legal description from Land Title Guarantee Company, Order No. TLR86008100, dated May 17, 2018 at 5:00 P.M.
2. According to FEMA Flood Insurance Rate Maps dated September 30, 1988, this parcel is not within the 100-year flood plain.
3. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**Improvement Location Certificate**  
 Unit AR-49, Timber Ridge at Mountain Village,  
 San Miguel County, Colorado.

Project Mgr:	JH
Technician:	MC
Checked by:	KV/DS
Start date:	05/23/2018



970-728-6153 970-728-6050 fax  
 PO Box 1385  
 125 W. Pacific Ave., Suite B-1  
 Telluride, Colorado, 81435

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334326

REPLAT

ADAMS RANCH PARTNERS LLC

TO

VILLAGE AT ADAMS RANCH 1ST AMEND

**SURVEYOR'S CERTIFICATE**

I, J. David Foley, being a Registered Land Surveyor in the State of Colorado, do hereby certify that this map and survey of FIRST AMENDMENT TO THE COMMON OWNERSHIP COMMUNITY MAP FOR THE VILLAGE AT ADAMS RANCH (1) was made under my direct supervision, responsibility and checking (1) is true and accurate to the best of my knowledge and belief (1) is clear and legible (1) (2) contains all the information required by C.R.S. 38-33-209.

Dated this 25th day of April, 2000



J. David Foley

**NOTES**

- 1. The following abbreviations are defined for this Common Interest Community Map: C.E. Common Element L.C.E. Limited Common Element
- 2. Easement research from the Telluride Mountain Title Company, Order No. 99100031-1 dated November 16, 1999 at 245 A.M.
- 3. BASIS OF BEARINGS. The bearing along the southerly boundary of Filing 33 from the SW1/4 corner of Section 33 to the SW1/4 corner of Sections 32 and 33 assumed as the record bearing of N 82°32'11" W according to the plat of Telluride Mountain Village, Filing 33 recorded in Plat Book 1 at page 1787.
- 4. According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- 5. The Owners of Units AR-31 and AR-32 are not required to contribute to costs and expenses associated with the ownership, use and repair of Adams Way.
- 6. The Units depicted hereon will require no further setbacks as that requirement is being fulfilled within and over the LCE's and the 16' General Easements shown on each Unit. The area of a Unit is deemed to be a building envelope.
- 7. Maximum allowable height on Units AR-45 and AR-47 to be no greater than 10 feet below the maximum height allowed by the Mountain Village Land Use Ordinance, unless approved by the Owners of Units AR-31 and AR-32.
- 8. Building Envelope is that area on a lot within which all building improvements must be located. Building improvements include, but are not limited to, excavations, buildings, decks, patios, roof overhangs, play areas, swimming pools, tennis courts, and enclosed parking areas. Driveways and exterior parking shall be reviewed by the DRB on an individual basis to determine location in relationship to the designated Building Envelope. Site topography, tree clearing, adjacent properties, etc., shall be considered by the DRB in regard to driveway and exterior parking locations.
- 9. 16' General easement and utility easements shown hereon shall benefit the Telluride Mountain Village Metro District and The Village at Adams Ranch Homeowner's Association.
- 10. For Units AR-37, AR-39, AR-40, AR-41, AR-45 and Units AR-47 through AR-50 inclusive, the maximum building footprint is not to exceed 2800 square feet and the maximum total residential building square footage is not to exceed 4500 square feet per each building envelope.
- 11. Plat notes 6, 8, 9 and 10 were placed upon this Plat at the request of the Town of Mountain Village. Plat notes 3 and 7 were placed upon this Plat at the request of Adams Ranch Partners, LLC pursuant to conditions the real estate contract for purchase of Units AR-31 and AR-32.

**OWNERSHIP CERTIFICATE**

KNOW ALL PERSONS BY THESE PRESENTS that Adams Ranch Partners, LLC, a Colorado limited liability company, being the Declarant of THE VILLAGE AT ADAMS RANCH, has reconfigured unit boundaries and common elements and has created new units and new common elements as shown on this plat and as set forth in the Amendment to the Declaration of Covenants, Conditions, and Restrictions for THE VILLAGE AT ADAMS RANCH recorded at Reception No. \_\_\_\_\_

IN WITNESS WHEREOF, the Declarant hereby executes this Certificate on this 25th day of April, 2000.

DECLARANT: Adams Ranch Partners, LLC, a Colorado limited liability company

By: Eric Garcia

**ACKNOWLEDGEMENT**

STATE OF Colorado ) ss  
COUNTY OF San Miguel

The foregoing was subscribed and sworn to me before this 25th day of May, 2000, by

Witness my hand and official seal. My commission expires May 6, 2004

John L. Christensen  
Notary Public



**NEW LEGAL DESCRIPTION OF THE VILLAGE AT ADAMS RANCH, A COMMON INTEREST OWNERSHIP COMMUNITY**

Lot C-1, Adams Ranch at the Town of Mountain Village, according to the plat filed in the office of the Clerk and Recorder in Plat Book 1 at page 2488,

AND

Lot C-2R and Adams Way, Replat of Adams Ranch at the Town of Mountain Village, according to the plat filed in the office of the Clerk and Recorder in Plat Book 1 at pages \_\_\_\_\_ County of San Miguel, State of Colorado.

**LEGAL DESCRIPTION OF NEW AREA TO BE ADDED TO THE VILLAGE AT ADAMS RANCH, A COMMON INTEREST OWNERSHIP COMMUNITY**

A portion of Lot C-2R and Adams Way, Replat of Adams Ranch at Town of Mountain Village, according to the plat recorded in the office of the Clerk and Recorder in Plat Book 1 at pages \_\_\_\_\_ further described as follows: Beginning at the northeast corner of said Lot C-2R; Thence S 14°26'34" W, 121.18 feet along the easterly boundary of said Lot C-2R; Thence S 05°32'17" E, 249.71 feet along the easterly boundary of said Lot C-2R; Thence S 82°43'22" W, 20.01 feet; Thence S 69°34'42" W, 89.18 feet; Thence S 70°33'37" W, 88.08 feet; Thence S 44°02'33" W, 16.30 feet; Thence S 52.46 feet along a tangential curve concave to the northwest with a radius of 200.00 feet and a delta angle of 15°01'44"; Thence S 59°04'16" W, 41.45 feet; Thence S 18°47'08" W, 29.04 feet; Thence 67.03 feet along a non-tangential curve concave to the south with a radius of 45.00 feet, a delta angle of 82°20'22" a chord which bears S 64°06'55" W for a chord distance of 61.00 feet; Thence N 90°00'00" W, 73.43 feet to the westerly boundary of said Lot C-2R; Thence W 01°30'00" E, 293.49 feet along the westerly boundary of said Lot C-2R; Thence 41.28 feet along a non-tangential curve concave to the north with a radius of 290.00 feet, a delta angle of 08°09'05"; a chord which bears N 89°19'45" W for a chord distance of 41.22 feet along the southerly boundary of said Lot C-2R; Thence S 22°35'54" W, 202.53 feet along the boundary of said Lot C-2R; Thence N 52°31'03" 210.00 feet along the boundary of said Lot C-2R; Thence N 27°01'20" E, 249.50 feet along the westerly boundary of said Lot C-2R; Thence N 81°38'59" E, 585.53 feet to the Point of Beginning. Town of Mountain Village, County of San Miguel, State of Colorado.

**SECURITY INTEREST HOLDER'S CONSENT**

The undersigned Lane Star Bank, as a beneficiary of a deed of trust which constitutes a lien upon the Declarant's property, recorded at Reception No. \_\_\_\_\_ in the San Miguel County Clerk and Recorder's real property records, hereby consents to this map.

Name: \_\_\_\_\_  
Date: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Title: \_\_\_\_\_

State of Colorado ) ss  
County of San Miguel  
Filed for record in \_\_\_\_\_  
and duly recorded in Plat Book \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_  
GAY CAPPIS  
County Clerk & Recorder  
By \_\_\_\_\_ Deputy  
Fees: \$30.00

**ACKNOWLEDGEMENT**

State of \_\_\_\_\_ ) ss  
County of \_\_\_\_\_

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. by \_\_\_\_\_ of Lane Star Bank.

My commission expires \_\_\_\_\_  
Witness my hand and seal.

Notary Public

**SECURITY INTEREST HOLDER'S CONSENT**

The undersigned WestStar Bank, as a beneficiary of a deed of trust which constitutes a lien upon the Declarant's property, recorded at Reception No. \_\_\_\_\_ in the San Miguel County Clerk and Recorder's real property records, hereby consents to this map.

Name: \_\_\_\_\_  
Date: \_\_\_\_\_  
Address: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Title: \_\_\_\_\_

**ACKNOWLEDGEMENT**

State of \_\_\_\_\_ ) ss  
County of \_\_\_\_\_

The foregoing signature was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. by \_\_\_\_\_ of WestStar Bank.

My commission expires \_\_\_\_\_  
Witness my hand and seal.

Notary Public

**RECORDER'S CERTIFICATE**

This map was filed for record in the office of the County Clerk and Recorder of San Miguel County on the \_\_\_\_\_ day of \_\_\_\_\_, 2000, at Reception No. 334326 Time 9:16 AM.

San Miguel County Clerk



PAGE 2715

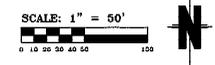
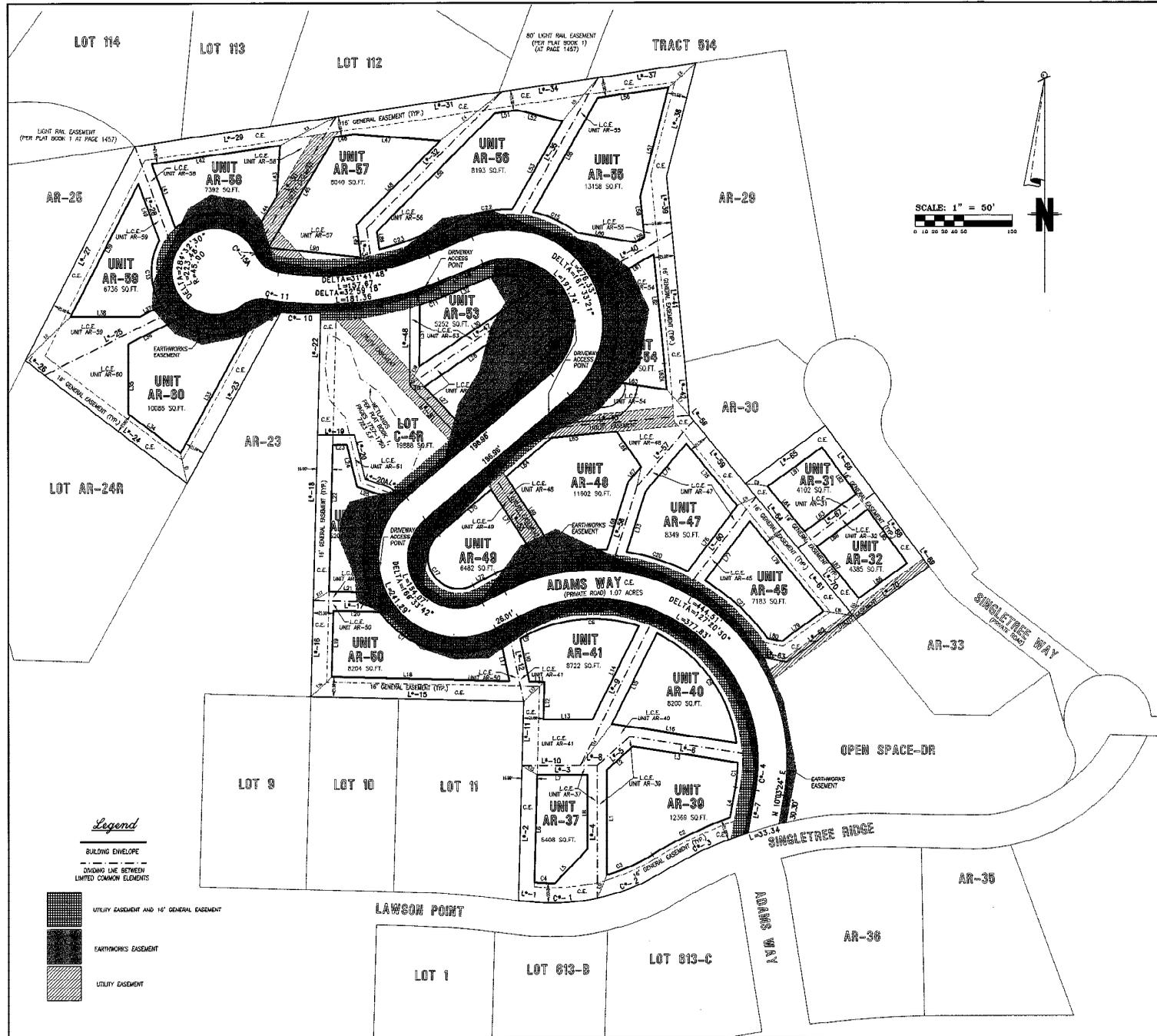
FIRST AMENDMENT TO THE COMMON OWNERSHIP COMMUNITY PLAT FOR THE VILLAGE AT ADAMS RANCH A COMMON INTEREST OWNERSHIP COMMUNITY LOCATED ON LOTS C-2AR, C-2BR, C-2CR AND ADAMS WAY, REPLAT OF ADAMS RANCH AT TOWN OF MOUNTAIN VILLAGE

Project No.	Sheet	Description	Date
1	2715	PLAT	05/22/00
2	2716	PLAT	05/22/00



970-728-8153 970-728-6050 fax  
P.O. BOX 1565  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Drawing path: K:\025\8130\Phase-2\cb02-14-00 Sheet 1 of 2 Project #: 80130



LINE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	109.87	S80°00'14"E	L58	45.01	S09°20'17"E	L121	218.76	S26°46'54"W
L2	39.86	S46°11'17"E	L59	19.81	S62°28'47"E	L122	189.85	S62°21'03"W
L3	103.69	S70°24'47"E	L60	59.92	S07°18'17"E	L123	144.69	S87°19'17"W
L4	52.47	S10°24'24"W	L61	53.18	S06°29'48"E	L124	24.97	S62°41'03"W
L5	48.81	S43°43'34"W	L62	114.45	S25°21'17"E	L125	248.98	S77°10'20"E
L6	113.32	N01°30'07"E	L63	79.89	S19°27'11"E	L126	179.29	N00°00'11"W
L7	52.05	S82°28'48"W	L64	69.87	S08°21'24"W	L127	210.04	N01°20'29"E
L8	72.06	S07°02'47"E	L65	67.89	S07°18'17"E	L128	144.69	S87°19'17"W
L9	83.39	S85°45'43"E	L66	44.82	S34°28'02"W	L129	199.12	S44°42'46"E
L10	45.84	N11°33'27"W	L67	70.70	S07°18'17"E	L130	134.80	N07°30'17"W
L11	15.72	S72°12'17"W	L68	74.05	N17°18'51"E	L131	100.00	N81°38'54"E
L12	39.57	N01°30'07"E	L69	94.83	S32°43'59"E	L132	181.45	S22°21'17"E
L13	50.54	S00°00'00"W	L70	71.88	S07°18'17"E	L133	68.06	S67°41'03"W
L14	105.54	S20°20'13"W	L71	54.84	S32°43'59"E	L134	100.00	N81°38'54"E
L15	103.34	S20°20'13"W	L72	26.81	S02°42'24"W	L135	121.18	S17°28'34"W
L16	130.29	S01°24'47"E	L73	66.11	N17°18'51"E	L136	68.06	S67°41'03"W
L17	40.41	S11°32'27"W	L74	68.07	S07°18'17"E	L137	68.06	S67°41'03"W
L18	181.72	N08°39'11"W	L75	63.38	S04°28'02"W	L138	134.80	N07°30'17"W
L19	69.03	N01°30'07"E	L76	83.38	S04°28'02"W	L139	68.06	S67°41'03"W
L20	48.09	N08°34'46"W	L77	65.01	S32°24'47"E	L140	85.48	S04°28'02"W
L21	41.86	N02°44'20"W	L78	77.15	S32°24'47"E	L141	166.25	S07°18'17"E
L22	152.55	N01°30'07"E	L79	120.53	S32°24'47"E	L142	55.19	S77°10'20"E
L23	14.92	S00°00'00"W	L80	52.54	S03°54'17"W	L143	5.87	S78°25'17"E
L24	45.14	S17°21'47"E	L81	12.52	S17°21'47"E	L144	46.29	S07°18'17"E
L25	31.26	S17°21'47"E	L82	66.44	S07°18'17"E	L145	102.00	S07°18'17"E
L26	180.45	N08°02'17"E	L83	69.48	S32°24'47"E	L146	85.48	S07°18'17"E
L27	53.14	S42°28'02"E	L84	69.48	S32°24'47"E	L147	85.48	S07°18'17"E
L28	13.71	S72°10'20"E	L85	69.48	S32°24'47"E	L148	85.48	S07°18'17"E
L29	83.33	S49°18'37"W	L86	69.48	S32°24'47"E	L149	85.48	S07°18'17"E
L30	119.20	S07°18'17"E	L87	68.24	S07°18'17"E	L150	85.48	S07°18'17"E
L31	64.24	S07°18'17"E	L88	68.24	S07°18'17"E	L151	85.48	S07°18'17"E
L32	48.36	S07°18'17"E	L89	68.24	S07°18'17"E	L152	85.48	S07°18'17"E
L33	152.79	S07°18'17"E	L90	68.24	S07°18'17"E	L153	85.48	S07°18'17"E
L34	47.89	S02°31'03"W	L91	68.24	S07°18'17"E	L154	85.48	S07°18'17"E
L35	72.21	S00°00'00"W	L92	68.24	S07°18'17"E	L155	85.48	S07°18'17"E
L36	33.89	S02°31'03"W	L93	68.24	S07°18'17"E	L156	85.48	S07°18'17"E
L37	24.88	S47°10'20"W	L94	68.24	S07°18'17"E	L157	85.48	S07°18'17"E
L38	71.89	N00°00'11"W	L95	68.24	S07°18'17"E	L158	85.48	S07°18'17"E
L39	154.76	S27°21'20"E	L96	68.24	S07°18'17"E	L159	85.48	S07°18'17"E
L40	82.86	S20°20'13"W	L97	68.24	S07°18'17"E	L160	85.48	S07°18'17"E
L41	70.92	S20°20'13"W	L98	68.24	S07°18'17"E	L161	85.48	S07°18'17"E
L42	134.10	N01°30'07"E	L99	68.24	S07°18'17"E	L162	85.48	S07°18'17"E
L43	85.32	S00°00'00"W	L100	68.24	S07°18'17"E	L163	85.48	S07°18'17"E
L44	40.27	S32°24'47"E	L101	68.24	S07°18'17"E	L164	85.48	S07°18'17"E
L45	133.74	S32°24'47"E	L102	68.24	S07°18'17"E	L165	85.48	S07°18'17"E
L46	19.85	N01°30'07"E	L103	68.24	S07°18'17"E	L166	85.48	S07°18'17"E
L47	88.87	S82°21'43"E	L104	68.24	S07°18'17"E	L167	85.48	S07°18'17"E
L48	122.88	S44°42'46"E	L105	68.24	S07°18'17"E	L168	85.48	S07°18'17"E
L49	25.18	N07°30'17"W	L106	68.24	S07°18'17"E	L169	85.48	S07°18'17"E
L50	172.52	N44°48'48"E	L107	68.24	S07°18'17"E	L170	85.48	S07°18'17"E
L51	29.66	N07°30'17"W	L108	68.24	S07°18'17"E	L171	85.48	S07°18'17"E
L52	48.96	S77°19'57"E	L109	68.24	S07°18'17"E	L172	85.48	S07°18'17"E
L53	186.73	N09°29'13"E	L110	68.24	S07°18'17"E	L173	85.48	S07°18'17"E
L54	81.99	N02°31'03"W	L111	68.24	S07°18'17"E	L174	85.48	S07°18'17"E
L55	88.12	N59°20'42"E	L112	68.24	S07°18'17"E	L175	85.48	S07°18'17"E
L56	37.94	N49°04'17"E	L113	68.24	S07°18'17"E	L176	85.48	S07°18'17"E
L57	35.38	S45°20'27"E	L114	68.24	S07°18'17"E	L177	85.48	S07°18'17"E
L58	23.33	N62°41'27"W	L115	68.24	S07°18'17"E	L178	85.48	S07°18'17"E
L59	21.80	N62°41'27"W	L116	68.24	S07°18'17"E	L179	85.48	S07°18'17"E
L60	36.80	S82°21'43"E	L117	68.24	S07°18'17"E	L180	85.48	S07°18'17"E
L61	18.36	S27°21'20"E	L118	68.24	S07°18'17"E	L181	85.48	S07°18'17"E
L62	29.32	S07°18'17"E	L119	68.24	S07°18'17"E	L182	85.48	S07°18'17"E
L63	29.32	S07°18'17"E	L120	68.24	S07°18'17"E	L183	85.48	S07°18'17"E
L64	18.85	S42°28'02"E	L121	68.24	S07°18'17"E	L184	85.48	S07°18'17"E
L65	29.72	S42°28'02"E	L122	68.24	S07°18'17"E	L185	85.48	S07°18'17"E
L66	114.60	S42°28'02"E	L123	68.24	S07°18'17"E	L186	85.48	S07°18'17"E
L67	18.88	S92°21'17"E	L124	68.24	S07°18'17"E	L187	85.48	S07°18'17"E
L68	21.44	S02°14'48"W	L125	68.24	S07°18'17"E	L188	85.48	S07°18'17"E
L69	15.40	N82°21'28"W	L126	68.24	S07°18'17"E	L189	85.48	S07°18'17"E

BUILDING ENVELOPE DEC		CURVE TABLE	
LINE	LENGTH	Radius	Chord
C1	166.99	8787.07	28.45
C2	433.50	1127.96	68.25
C3	64.89	1891.28	61.53
C4	186.50	1891.28	21.39
C5	88.12	1529.24	148.16
C6	37.94	1490.22	118.77
C7	35.38	817.21	141.20
C8	85.33	617.28	106.13
C9	48.96	507.13	70.89
C10	36.80	1020.31	56.32
C11	18.36	527.95	27.89
C12	29.32	302.20	23.42
C13	29.32	302.20	23.42
C14	63.77	337.81	83.03
C15	18.85	249.79	61.63
C16	29.72	542.46	108.29
C17	114.60	1020.31	56.32
C18	21.44	1123.38	44.39
C19	15.40	1342.44	33.34
C20	291.00	88.24	66.89
C21	221.00	2268.31	88.68
C22	115.00	2274.23	50.59
C23	59.00	842.30	44.82
C24	217.50	1837.39	70.71
C25	217.50	1837.39	70.71
C26	412.50	1837.39	68.90
C27	170.00	1714.77	30.31
C28	170.00	8092.43	133.03
C29	170.00	8092.43	148.40
C30	83.00	8710.06	120.70
C31	83.00	8710.06	107.89
C32	280.00	1000.00	41.26
C33	315.00	874.47	29.72
C34	32.00		

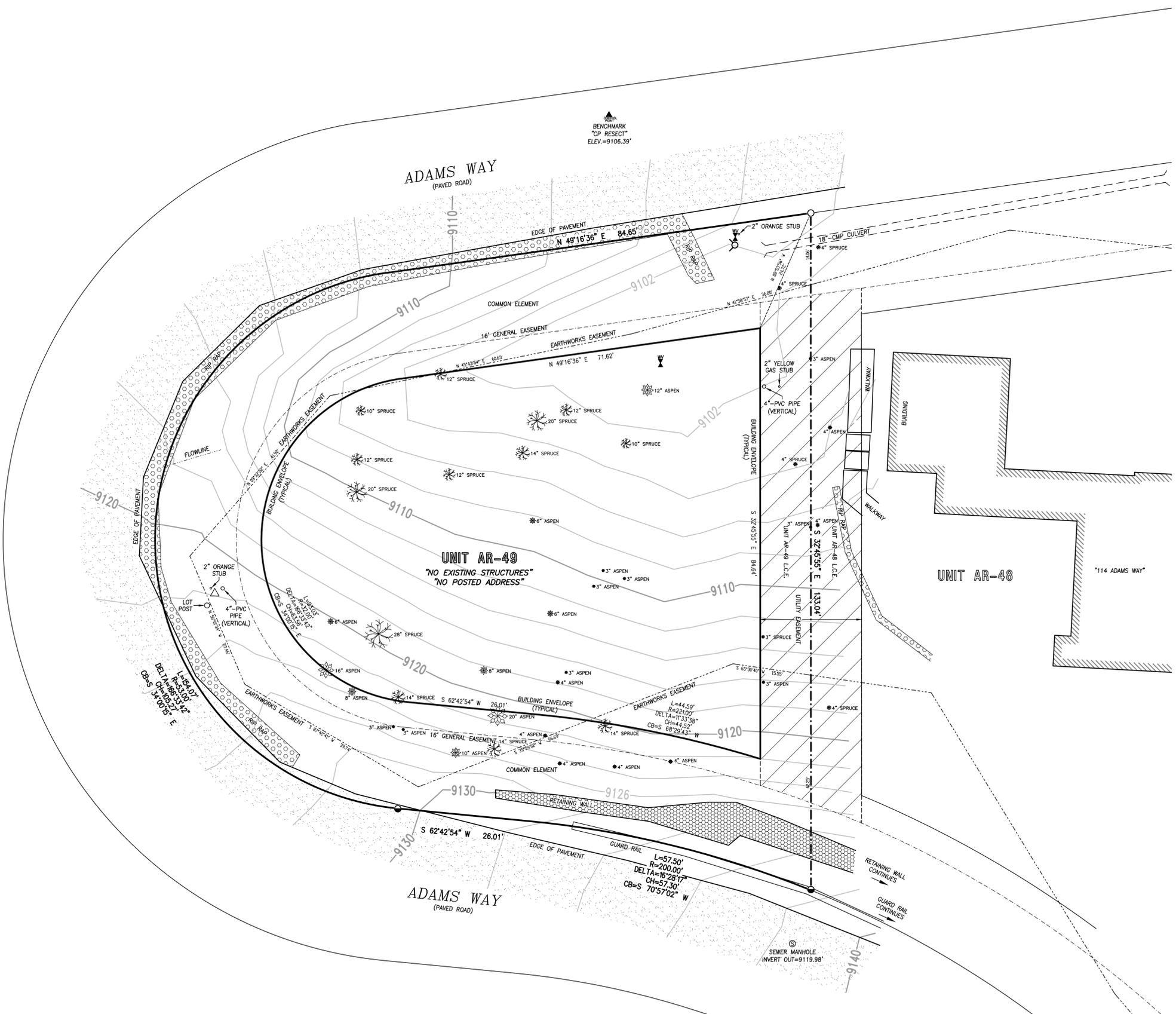
SEWER MANHOLE  
INVERT IN=9075.41'

BENCHMARK  
"CP RESECT"  
ELEV.=9106.39'

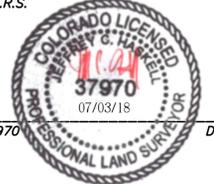
**LEGEND**

- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ SEWER MANHOLE
- △ CABLE-TV PEDESTAL
- FOUND 1-1/2" ALUMINUM CAP ON NO. 5 REBAR, L.S. 24954
- FOUND NO. 5 REBAR, NO CAP

SCALE: 1" = 10'



This topographic survey of Unit AR-49, The Village at Adams Ranch, Town of Mountain Village, was field surveyed on May 25, 2018 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 \_\_\_\_\_ Date

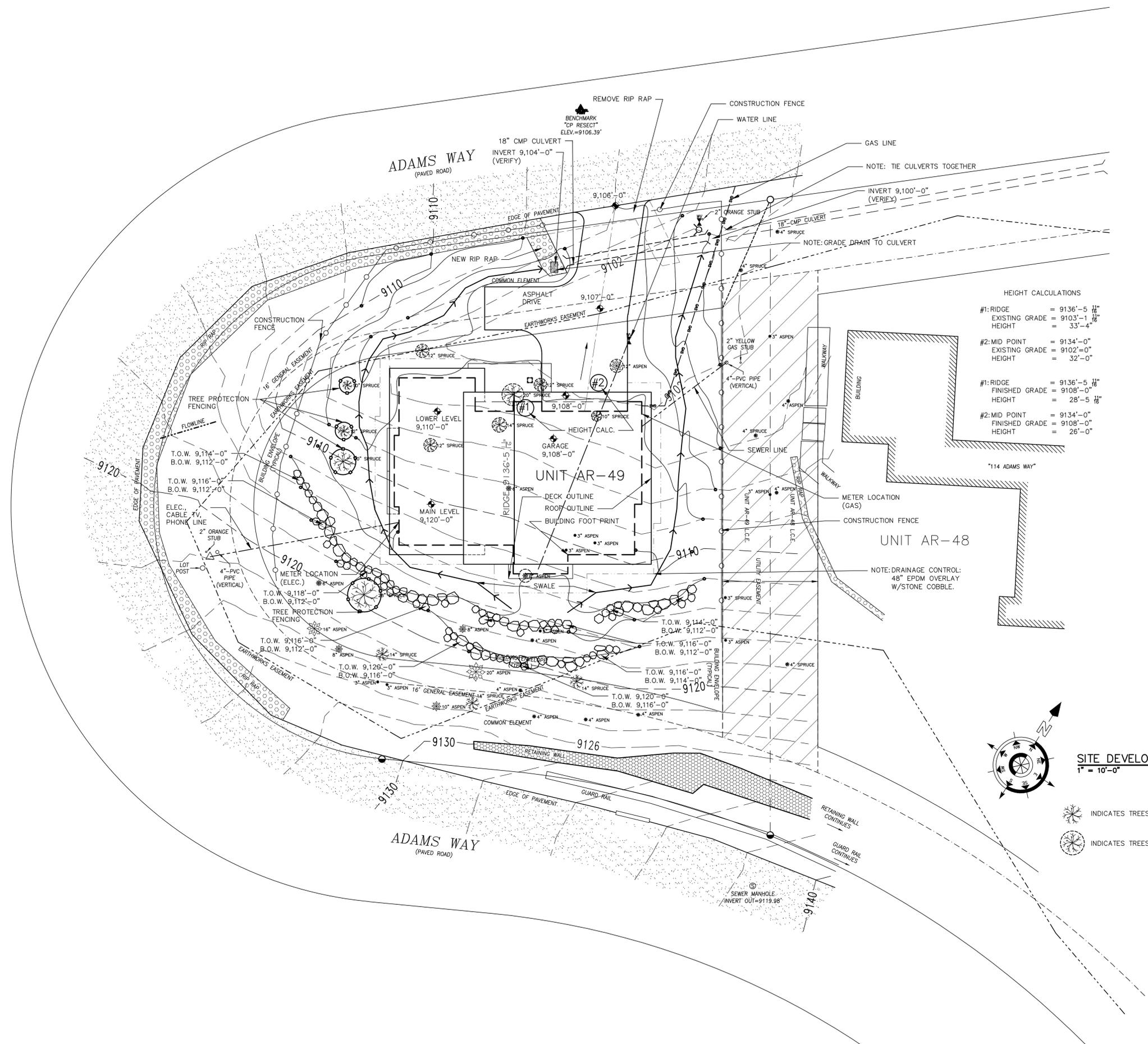
- NOTES:**
- This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
  - Benchmark: Control point "CP RESECT", as shown hereon, with an elevation of 9106.39 feet.
  - Contour interval is two feet.
  - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**Topographic Survey**  
Unit AR-49, The Village at Adams Ranch, Town of Mountain Village,  
San Miguel County, Colorado.

Project Mgr:	JH	Rev.	description	date	by
Technician:	MC				
Checked by:	KV/DS				
Start date:	05/25/2018				



970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435



**LEGEND**

- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- CABLE-TV PEDESTAL
- 
- FOUND No. 5 REBAR, NO CAP

**HEIGHT CALCULATIONS**

#1: RIDGE	= 9136'-5 <sup>11</sup> / <sub>16</sub> "
EXISTING GRADE	= 9103'-1 <sup>11</sup> / <sub>16</sub> "
HEIGHT	= 33'-4"
#2: MID POINT	= 9134'-0"
EXISTING GRADE	= 9102'-0"
HEIGHT	= 32'-0"
#1: RIDGE	= 9136'-5 <sup>11</sup> / <sub>16</sub> "
FINISHED GRADE	= 9108'-0"
HEIGHT	= 28'-5 <sup>11</sup> / <sub>16</sub> "
#2: MID POINT	= 9134'-0"
FINISHED GRADE	= 9108'-0"
HEIGHT	= 26'-0"



**SITE DEVELOPMENT AND UTILITY PLAN**  
1" = 10'-0"

- INDICATES TREES TO REMAIN
- INDICATES TREES TO BE REMOVED



STEVEN JAMES RIDEN  
ARCHITECT  
115 G STREET, SALIDA COLORADO 81201 970-389-0150  
MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

**LS2 RESIDENCE**  
LOT AR-49 116 ADAMS WAY  
TELLURIDE MOUNTAIN VILLAGE

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THE CONTRACTOR SHALL THOROUGHLY INSPECT AND SURVEY EXISTING FIELD CONDITIONS TO VERIFY THAT THOSE SHOWN REFLECT WORK ON THE DRAWINGS. THE CONTRACTOR SHALL REPORT ANY VARIATIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING.

JOB NUMBER:	18-4
DRAWN BY:	TH
DATE:	JULY 24, 2018
ROLE:	HOA
REVISION DATE:	INITIAL



Albert N. Ewing  
 Colorado P.E. 15862  
 P.O. Box 2526  
 Vail, Colorado 81658  
 ewing-vail@comcast.net

**LEGEND**

- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- CABLE-TV PEDESTAL
- 
- FOUND No. 5 REBAR, NO CAP



STEVEN JAMES RIDEN  
 ARCHITECT  
 115 G STREET, SALIDA COLORADO 81201 970-389-0150  
 MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

**LS2 RESIDENCE**  
 LOT AR-49 116 ADAMS WAY  
 TELLURIDE MOUNTAIN VILLAGE

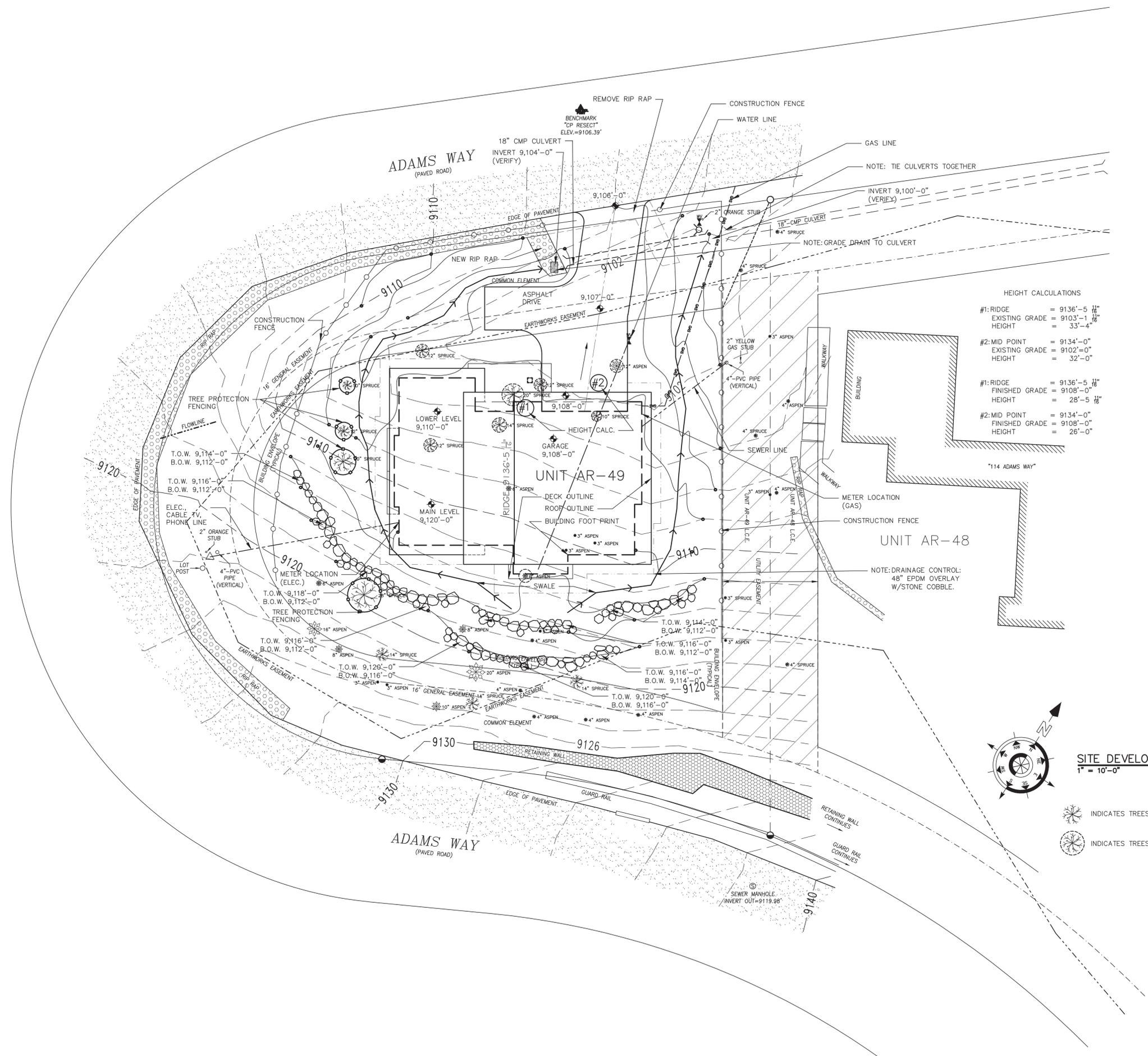
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PROJECT NUMBER	18-4
DRAWN BY	TH
DATE	JULY 24, 2018
ROLE	HOA
REVISION DATE	INITIAL

**SD1**



**SITE DEVELOPMENT, DRAINAGE AND UTILITY PLAN**  
 1" = 10'-0"

- INDICATES TREES TO REMAIN
- INDICATES TREES TO BE REMOVED

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	3	PICEA PUNGENS	COLORADO SPRUCE	10' HT.
	5	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CALIFER
	3	POPULUS TREMULOIDES	QUAKING ASPEN	2" CALIFER
		REVEGETATE ALL DISTURBED AREAS WITH NATIVE GRASS & WILDFLOWER SEED MIX		

GRAPHIC LEGEND

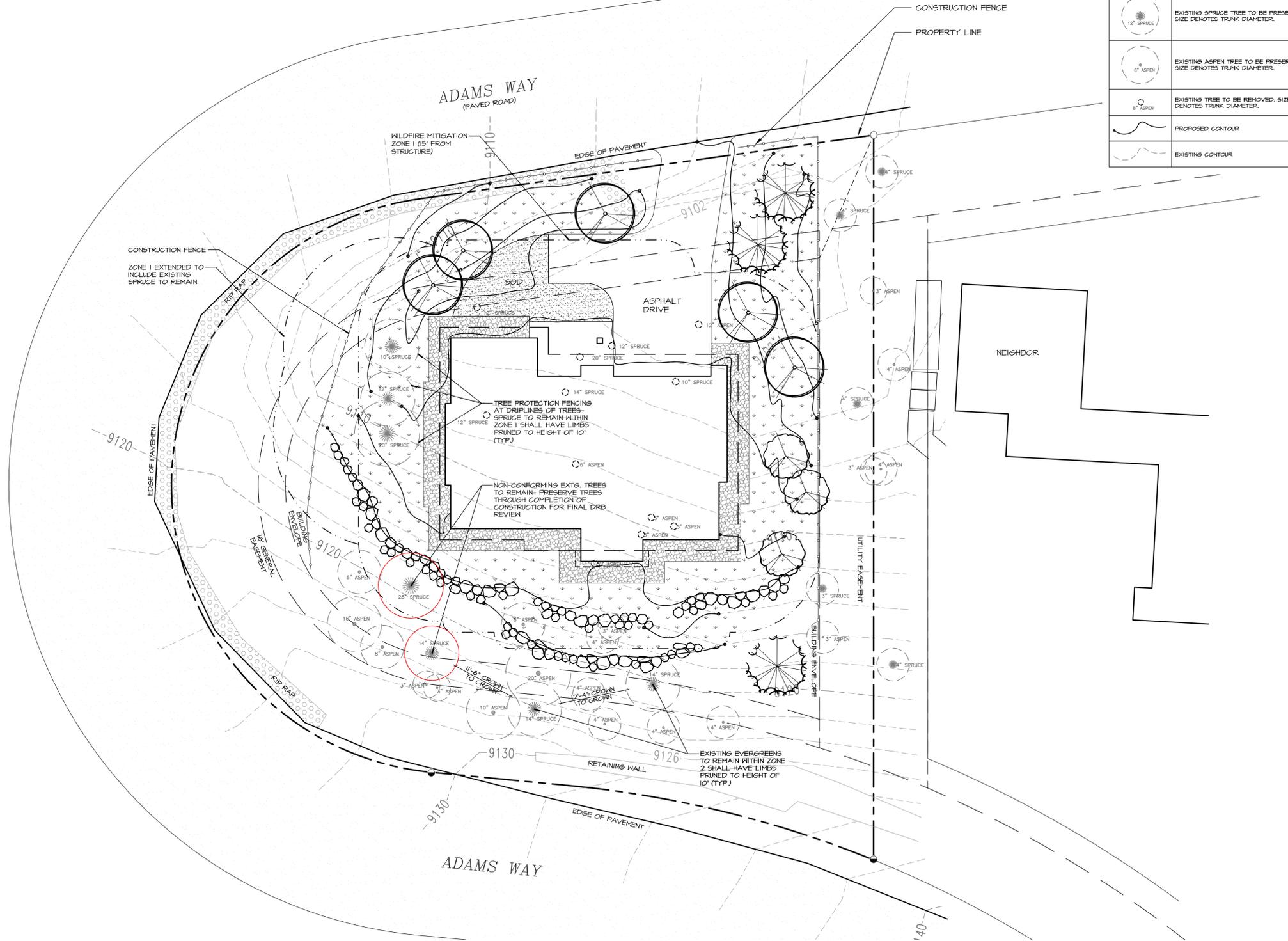
SYMBOL	DESCRIPTION
	EXISTING SPRUCE TREE TO BE PRESERVED. SIZE DENOTES TRUNK DIAMETER.
	EXISTING ASPEN TREE TO BE PRESERVED. SIZE DENOTES TRUNK DIAMETER.
	EXISTING TREE TO BE REMOVED. SIZE DENOTES TRUNK DIAMETER.
	PROPOSED CONTOUR
	EXISTING CONTOUR

PLANTING NOTES & SPECIFICATIONS:

- THE PLANTING PLAN IS DIAGRAMMATIC. ALL PLANT LOCATIONS ARE APPROXIMATE. QUANTITIES SHOWN ON THE PLANTING LEGEND ARE APPROXIMATE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED WITHIN THE LEGEND(S).
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF THE DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN.
- LANDSCAPE CONTRACTOR SHALL APPLY A CONTACT HERBICIDE, WHERE NEEDS ARE PRESENT, PER MANUFACTURER'S SPECIFICATIONS PRIOR TO COMMENCEMENT OF ANY PLANTING OR IRRIGATION WORK. NEEDS SHALL BE ALLOWED TO COMPLETELY DIE BACK, INCLUDING THE ROOTS BEFORE BEGINNING WORK.
- PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES & PESTS.
- ALL CONTAINERIZED PLANTS NEED TO BE TO EDGE OF CONTAINER & HOLD ROOT BALL TOGETHER.
- PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL.
- ALL PLANT MATERIAL SHALL BE PLACED IN PITS HAVING A MINIMUM DIAMETER OF 150 PERCENT OF THE PLANTS TOTAL ROOT BALL OR CONTAINER VOLUME.
- ALL TREES SHALL HAVE THE ROOT CROWN PLANTED 2" ABOVE THE SURROUNDING FINISHED GRADE. ALL SHRUBS SHALL HAVE THE ROOT CROWN PLANTED 1" ABOVE THE SURROUNDING FINISHED GRADE.
- ALL TREES SHALL HAVE ALL THINE OR OTHER BINDING MATERIAL REMOVED AROUND CROWN OF TRUNK. ALL TREES SHALL HAVE BURLAP AND BINDING MATERIALS PULLED BACK FROM A MINIMUM OF THE TOP ONE THIRD OF THE ROOT BALL PRIOR TO BACKFILLING.
- EVERGREEN TREES 14" IN HEIGHT AND ALL DECIDUOUS TREES ARE TO BE STAKED WITH 5 FOOT STEEL "T" STAKES AND GUYED WITH 12 GAUGE GALVANIZED WIRE AND 1/2 INCH WIDE GREEN NYLON TREE STRAPS. STAKES ARE TO BE REMOVED 3 YEARS FROM DATE OF INSTALLATION UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- ALL EVERGREEN AND DECIDUOUS TREES SHALL BE PROVIDED WITH AN "EARTHEN SAUCER" AT ITS BASE. SAUCERS ARE TO BE CONSTRUCTED HAVING A MINIMUM SHALL OW DEPTH OF FOUR (4) INCHES. SAUCERS SHALL BE INSTALLED ON DOWNHILL SIDE ONLY WHEN PLANTINGS OCCUR ON A HILLSIDE.
- ALL NEWLY PLANTED TREES SHALL BE FERTILIZED AT THE TIME OF PLANTING WITH BIOSOL MIX, ALL-PURPOSE FERTILIZER PER MANUFACTURER'S SPECIFICATIONS. FERTILIZER TO BE MIXED IN WITH BACKFILL.
- ALL SOO AREAS SHALL BE SEPARATED FROM ADJACENT PLANTING BEDS WITH EDGING. EDGING SHALL BE 1/2" X 4" BLACK STEEL ROLL TOP TACKED IN PLACE WITH THREE 12 INCH EDGING PINS SPACED EVENLY PER 10' SECTION OF EDGING. OVERLAP EDGING BY 1/4" & SECURE OVERLAPPING SECTIONS WITH 2 PINS. EDGING SHALL NOT PROTRUDE ABOVE SURROUNDING FINISHED GRADE BY MORE THAN 1/4".
- ALL PLANTING SHALL BE COMPLETED DURING THE NORMAL GROWING SEASON; NO PLANTING SHOULD OCCUR DURING INCLEMENT OR FREEZING WEATHER.
- LANDSCAPE CONTRACTOR SHALL SUPPLY AND DISTRIBUTE COMPOST TO THE SITE. THE TOPSOIL AND COMPOST ARE TO BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE PRIOR TO DELIVERY. TILL 6" TOPSOIL & 2" COMPOST, AND TOP DRESS WITH 1" COMPOST FOR ALL PERENNIAL BEDS. SPREAD TOPSOIL TO A DEPTH OF 3" TO ESTABLISH ALL TURF AREAS & TREE PLANTINGS. A DEPTH OF 1" FOR ALL DISTURBED AREAS TO RECEIVE NATIVE REVEGETATION AND FOR THE AMENDED BACKFILL OF ALL NEW TREES. SCARIFY EXISTING SOIL SURFACE PRIOR TO THE ADDITION OF TOPSOIL TO FORM AN AEROSIVE BOND. FOR FINISH GRADING SOIL SURFACE SHOULD BE A LOOSE MOIST SURFACE. PLANTING SHOULD OCCUR WITHIN 10 DAYS OF SURFACE PREPARATION.
- PREPARATION OF NATIVE GRASS AREAS WILL INCLUDE THE FOLLOWING:
  - LOOSEN SOIL TO A MINIMUM OF 4" DEPTH. REMOVE STONES OVER 2" IN DIAMETER, STICKS, ROOTS, RUBBISH, AND EXTRANEOUS MATTER.
  - DISTRIBUTE 1" OF TOPSOIL TO BE CULTIVATED INTO NATIVE SOIL.
  - GRASS AREAS TO A SMOOTH FREE DRAINING SURFACE WITH A LOOSE, MODERATELY COARSE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
  - ONE APPLICATION OF A 20-10-10 PHOSPHATE FERTILIZER, 10-46-0, SHALL BE BROADCAST PRIOR TO SEEDING AT A RATE OF 8 LBS. PER 1000 SF.
- ALL DISTURBED AREAS TO BE REVEGETATED WITH NATIVE GRASS SEED MIX SOON WITH THE FOLLOWING MIX AT A RATE OF 1 LB. PER 1000 SF.
  - 10% SLENDER WHEATGRASS
  - 20% MOUNTAIN BROME
  - 5% GREEN NEEDLEGRASS
  - 15% THICKSPIKE WHEATGRASS
  - 10% ROCKY MOUNTAIN FESCUE
  - 5% BLUE GRAMA
  - 5% INDIAN RICE GRASS
  - 5% SANDBERG BLUEGRASS
  - 5% BOTTLEBRUSH SQUIRRELTAIL
- MULCH ALL SEED SOHN AREAS WITH 1" - 2" OF CERTIFIED WEED FREE STRAW OR HAY. ALL STRAW AREAS ARE TO BE TACKIFIED WITH APPROVED ORGANIC TACKIFIER AT THE RATE OF 120 LBS. / ACRE, OR HYDROMULCH.
- ALL SEED SOHN AREAS ARE TO BE LIGHTLY RAKED 1/4" INTO THE SOIL AND IRRIGATED.
- LANDSCAPE CONTRACTOR SHALL SUBMIT THE COMPANY'S WRITTEN DOCUMENT REGARDING ITS POLICY ON PLANT GUARANTEE AND REPLACEMENT TO THE OWNER. EACH GUARANTEE SHALL CONFORM TO THE MINIMUM STANDARD OF REPLACING ALL MATERIAL, INCLUDING LABOR, DUE TO THE SIGNIFICANT DEATH OF A PLANT FOR A PERIOD OF ONE-YEAR FOLLOWING THE PLANT'S INSTALLATION. NURSERY STOCK IS NOT GUARANTEED AGAINST FLOOD, OWNER NEGLIGENCE, VEHICLES OR LAWN MOWER DAMAGE, STORM DAMAGE, THEFT OR ANIMAL DAMAGE (DOGS, CATS, OR WILDLIFE).
- CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF EXISTING LANDSCAPED AREA DAMAGE INCURRED IS TO BE REPAIRED AT THE CONTRACTOR'S COST.
- TURF FOOD 10-5-5 OR 14-5-5 ORGANIC FERTILIZER (RICH LAMN' BRAND OR EQUIVALENT) SHALL BE APPLIED TO ALL NEW SEEDED AREAS PER MANUFACTURER'S SPECIFICATIONS.

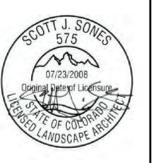
IRRIGATION NOTES & SPECIFICATIONS:

- AUTOMATIC DRIP IRRIGATION SHALL BE PROVIDED AT ALL NEW TREES AND SHRUBS. AUTOMATIC 6" POP-UP SPRAY HEADS OR ROTORS SHALL BE PROVIDED FOR LAWN AREAS. ALL OVERHEAD IRRIGATION HEADS SHALL BE SPACED ON CENTER PER THEIR COVERAGE RADIUS TO PROVIDE EVEN AND EFFICIENT WATERING.
- TEMPORARY ABOVE GROUND AUTOMATIC IRRIGATION ROTOR OR SPRAY TYPE IRRIGATION HEADS SHALL BE PROVIDED AT ALL OTHER DISTURBED AREAS THAT ARE TO BE REVEGETATED AND SHALL BE REMOVED BY THE LANDSCAPE CONTRACTOR 2 YEARS AFTER PROJECT COMPLETION.
- FLUSH DIRT AND DEBRIS FROM PIPING BEFORE INSTALLING SPRINKLERS AND OTHER DEVICES.
- A LOW VOLTAGE SYSTEM MANUFACTURED EXPRESSLY FOR CONTROL OF AUTOMATIC CIRCUIT VALVES OF AN IRRIGATION SYSTEM SHALL BE INSTALLED. SYSTEM SHALL INCLUDE AN ADJUSTABLE 24 HOUR TIME CLOCK WHICH WILL ALLOW FOR AUTOMATIC SEMI-AUTOMATIC OR MANUAL OPERATION CIRCUIT CONTROL WHICH ALLOWS FOR MANUAL OR AUTOMATIC OPERATION PROGRAMMABLE CAPABILITIES THAT ALLOW FOR INDEPENDENT WATERING SCHEDULES PER ZONE, AND RAIN SENSOR. THE SYSTEM SHALL INCLUDE A PRESSURE REGULATOR AND BACKFLOW PREVENTOR DEVICE WITH 20 GPM AT 60 PSI AT A 1" POINT OF CONNECTION. NOTIFY LANDSCAPE ARCHITECT IF THE REQUIRED FLOW CANNOT BE MET.
- PROVIDE 4" PVC SLEEVING BELOW ALL HARDSCAPE TO ADJACENT PLANTING AREAS.
- MAINLINE IS TO BE BURIED 12"-18" BELOW FINISHED GRADE. LATERAL PIPES SHALL BE BURIED 8"-12" BELOW FINISHED GRADE IN LANDSCAPED AREAS AND A MINIMUM OF 2" BELOW FINISHED GRADE IN NATIVE/DISTURBED AREAS. ALL PIPE TRENCHES SHALL BE FREE OF ROCKS AND DEBRIS PRIOR TO PIPE INSTALLATION. BACKFILL TRENCHES WITH SOIL THAT IS FREE OF ROCKS AND DEBRIS.
- INSTALL ALL DRIP IRRIGATION LINES PER MANUFACTURER SPECIFICATIONS.
- VALVE BOX LOCATIONS ARE TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR IS TO PROVIDE OWNER WITH AS-BUILT IRRIGATION PLANS THAT INCLUDE APPROXIMATE MAINLINE ROUTING AND VALVE BOX LOCATIONS.
- THE FOLLOWING IRRIGATION TESTS AND INSPECTIONS SHALL BE COMPLETED BY THE CONTRACTOR:
  - LEAK TEST: AFTER INSTALLATION CHARGE SYSTEM AND TEST FOR LEAKS. REPAIR LEAKS AND RETEST UNTIL NO LEAKS EXIST.
  - OPERATIONAL TEST: AFTER ELECTRICAL CIRCUITRY HAS BEEN ENERGIZED, OPERATE CONTROLLERS AND AUTOMATIC CONTROL VALVES TO CONFIRM PROPER SYSTEM OPERATION.
  - TEST AND ADJUST CONTROLS AND SAFETIES: REPLACE DAMAGED AND MALFUNCTIONING CONTROLS AND EQUIPMENT.
- CONTRACTOR IS TO PROVIDE START UP AND BLOW-OUT SERVICES FOR IRRIGATION SYSTEM FOR THE FIRST SEASON IT IS INSTALLED.
- EXTENT OF IRRIGATION AT REVEGETATED AREAS IS TO COVER LIMITS OF DISTURBANCE. VERIFY LIMITS OF DISTURBANCE ON SITE AND ADJUST ACCORDINGLY. INFORM LANDSCAPE ARCHITECT IF ADDITIONAL IRRIGATION IS REQUIRED.



**Adams Ranch Residence**  
 Unit AR-49, The Village at Adams Ranch  
 Town of Mountain Village, San Miguel County, Colorado

Title:  
 DRB Planting Plan



Scale:  
 1" = 10'

Sheet:  
**L1**

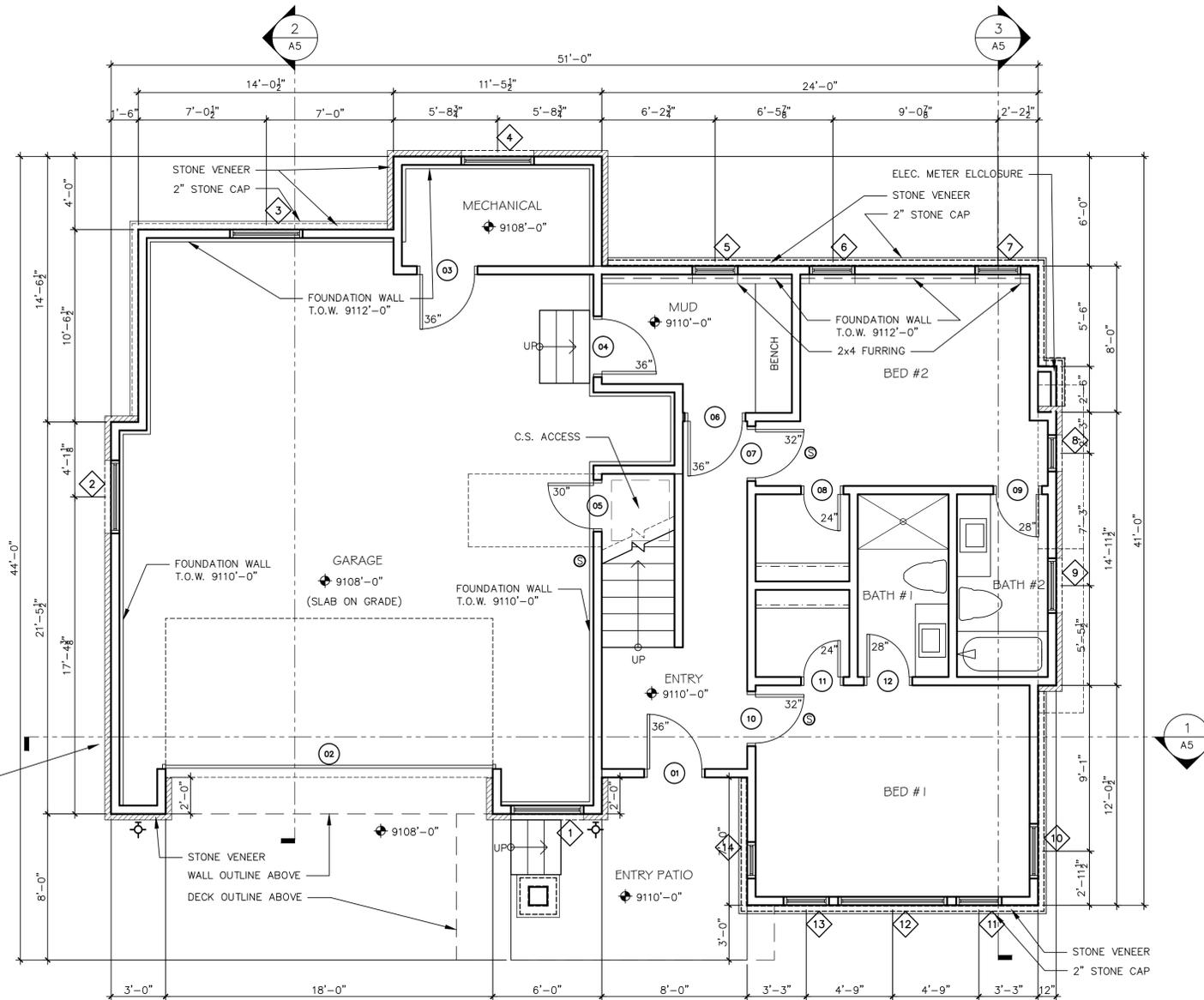
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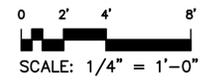
LOWER LEVEL DOOR SCHEDULE					
MARK	DOOR SIZE		Style	FIRE RATING LABEL	NOTES
	WD	HGT			
1	3'-0"	7'-6"	Hinged - Single	--	--
2	18'-0"	8'-0"	Overhead - Sectional	--	--
3	3'-0"	7'-6"	Hinged - Single	20 MIN.	W/closer
4	3'-0"	7'-6"	Hinged - Single	20 MIN.	W/closer
5	2'-6"	4'-0"	Hinged - Single	--	To crawl space access
6	3'-0"	7'-6"	Hinged - Single	--	--
7	2'-8"	7'-6"	Hinged - Single	--	--
8	2'-0"	7'-6"	Hinged - Single	--	--
9	2'-4"	7'-6"	Hinged - Single	--	--
10	2'-8"	7'-6"	Hinged - Single	--	--
11	2'-0"	7'-6"	Hinged - Single	--	--
12	2'-4"	7'-6"	Hinged - Single	--	--

LOWER LEVEL WINDOW SCHEDULE					
MARK	SIZE		Style	Sill Height	NOTES
	WIDTH	HEIGHT			
1	4'-0"	2'-0"	Awning	6'-0"	--
2	4'-0"	2'-6"	Awning	6'-6"	--
3	4'-0"	2'-6"	Awning	6'-6"	--
4	4'-0"	2'-6"	Awning	6'-6"	--
5	2'-6"	4'-0"	Casement	3'-6"	--
6	2'-6"	4'-0"	Casement	3'-6"	--
7	2'-6"	4'-0"	Casement	3'-6"	--
8	2'-0"	4'-0"	Picture	3'-6"	--
9	3'-0"	3'-6"	Casement	4'-0"	--
10	3'-0"	4'-0"	Casement	3'-6"	--
11	2'-6"	4'-0"	Casement	3'-6"	--
12	6'-0"	4'-0"	Picture	3'-6"	--
13	2'-6"	4'-0"	Casement	3'-6"	--
14	2'-0"	4'-0"	Casement	3'-6"	--



LOWER LEVEL FLOOR PLAN  
1/4" = 1'-0"

LOWER LEVEL = 793.95 SQ. FT.  
GARAGE/MECH. = 863.02 SQ. FT.  
FOOT PRINT = 1656.97 SQ. FT.



- ⊕ EXTERIOR LIGHTING - VERIFY W/OWNER/ARCHITECT
- ⊕ EXTERIOR WALL SCONCE
- ⊕ CEILING, OVERHEAD FIXTURE
- ⊕ SMOKE DETECTOR/CARBON MONOXIDE-SILHOUETTE LOW-PROFILE SMOKE ALARM O.A.E.



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TELLURIDE MOUNTAIN VILLAGE

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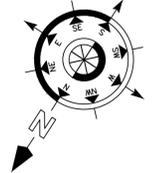
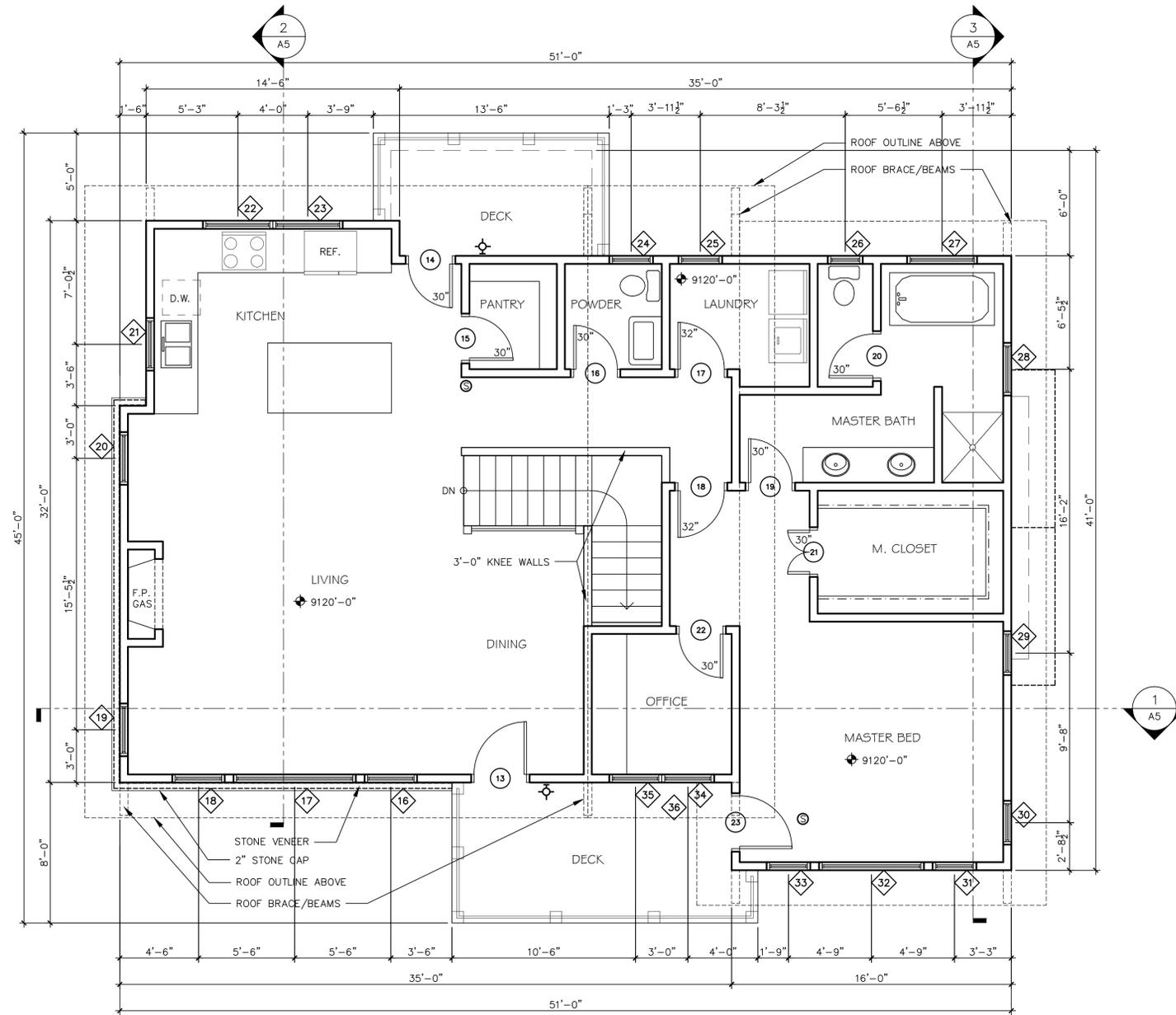
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THE CONTRACTOR SHALL THOROUGHLY INSPECT AND SURVEY EXISTING FIELD CONDITIONS TO VERIFY THAT THOSE SHOWN REFLECT WORK ON THE DRAWINGS. THE CONTRACTOR SHALL REPORT ANY VARIATIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING.

JOB NUMBER	18-4
DRAWN BY	TH
DATE	JULY 24, 2018
ROLE	HOA
REVISION DATE	INITIAL

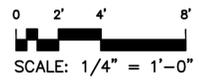
MAIN LEVEL DOOR SCHEDULE					
MARK	DOOR SIZE		Style	FIRE RATING LABEL	NOTES
	WD	HGT			
13	3'-0"	7'-6"	Hinged - Single - Full Lite	--	--
14	2'-6"	7'-6"	Hinged - Single - Full Lite	--	--
15	2'-6"	7'-6"	Hinged - Single	--	--
16	2'-8"	7'-6"	Hinged - Single	--	--
17	2'-8"	7'-6"	Hinged - Single	--	--
18	2'-8"	7'-6"	Hinged - Single	--	--
19	2'-6"	7'-6"	Hinged - Single	--	--
20	2'-6"	7'-6"	Hinged - Single	--	--
21	2'-6"	7'-6"	Hinged - Double	--	--
22	2'-8"	7'-6"	Hinged - Single	--	--
23	3'-0"	7'-6"	Hinged - Single - Full Lite	--	--

MAIN LEVEL WINDOW SCHEDULE					
MARK	SIZE		Style	Sill Height	NOTES
	WIDTH	HEIGHT			
16	3'-0"	7'-0"	Casement	3'-0"	--
17	7'-0"	7'-0"	Picture	3'-0"	--
18	3'-0"	7'-0"	Casement	3'-0"	--
19	3'-0"	5'-0"	Casement	3'-0"	--
20	3'-0"	5'-0"	Casement	3'-0"	--
21	3'-0"	4'-0"	Casement	3'-6"	--
22	4'-0"	2'-6"	Picture	7'-6"	--
23	4'-0"	2'-6"	Picture	7'-6"	--
24	2'-6"	4'-0"	Casement	3'-6"	--
25	2'-6"	4'-0"	Casement	3'-6"	--
26	2'-0"	3'-6"	Casement	4'-0"	--
27	4'-0"	4'-0"	Picture	3'-6"	--
28	3'-0"	4'-0"	Casement	3'-6"	--
29	2'-6"	4'-0"	Casement	3'-6"	--
30	2'-6"	4'-0"	Casement	3'-6"	--
31	2'-6"	4'-6"	Casement	3'-6"	--
32	6'-0"	4'-6"	Picture	3'-6"	--
33	2'-8"	4'-6"	Casement	3'-6"	--
34	3'-0"	4'-6"	Casement	3'-6"	--
35	3'-0"	4'-6"	Casement	3'-6"	--
36	6'-0"	2'-0"	Picture	8'-0"	--



MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0"

MAIN LEVEL = 1626.18 SQ. FT.  
MAIN LEVEL DECKS = 224 SQ. FT.



- EXTERIOR LIGHTING - VERIFY W/OWNER/ARCHITECT
- ⊕ EXTERIOR WALL SCONCE
- ⊕ CEILING, OVERHEAD FIXTURE
- ⊕ SMOKE DETECTOR/CARBON MONOXIDE-SILHOUETTE LOW-PROFILE SMOKE ALARM O.A.E.



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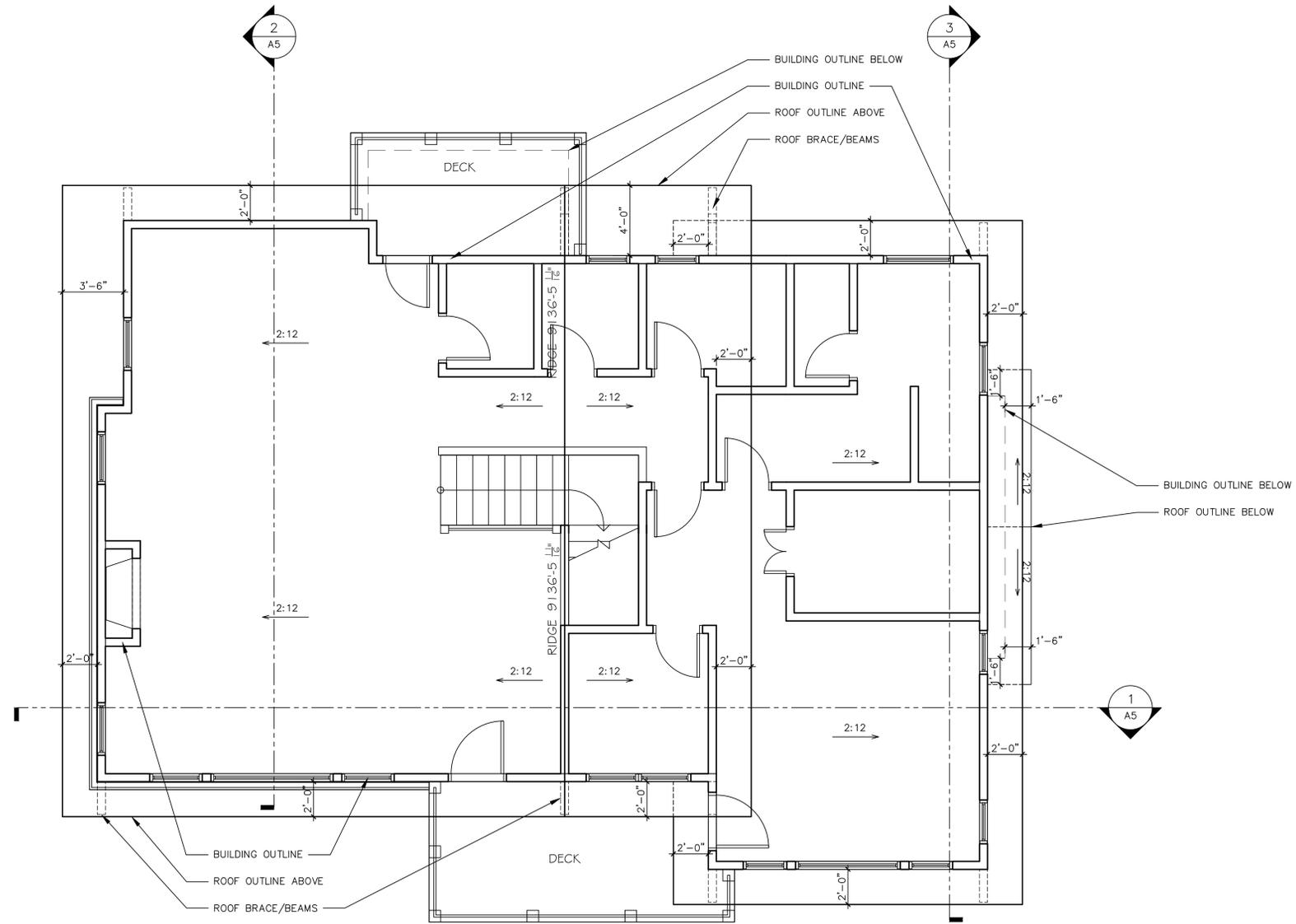
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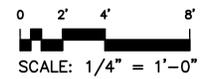
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JOB NUMBER:	18-4
DRAWN BY:	TH
DATE:	JULY 24, 2018
ROLE:	HOA
REVISION DATE:	INITIAL



**ROOF PLAN**  
1/4" = 1'-0"

NOTE: ROOF AREA = 2,144.5 SQ. FT.



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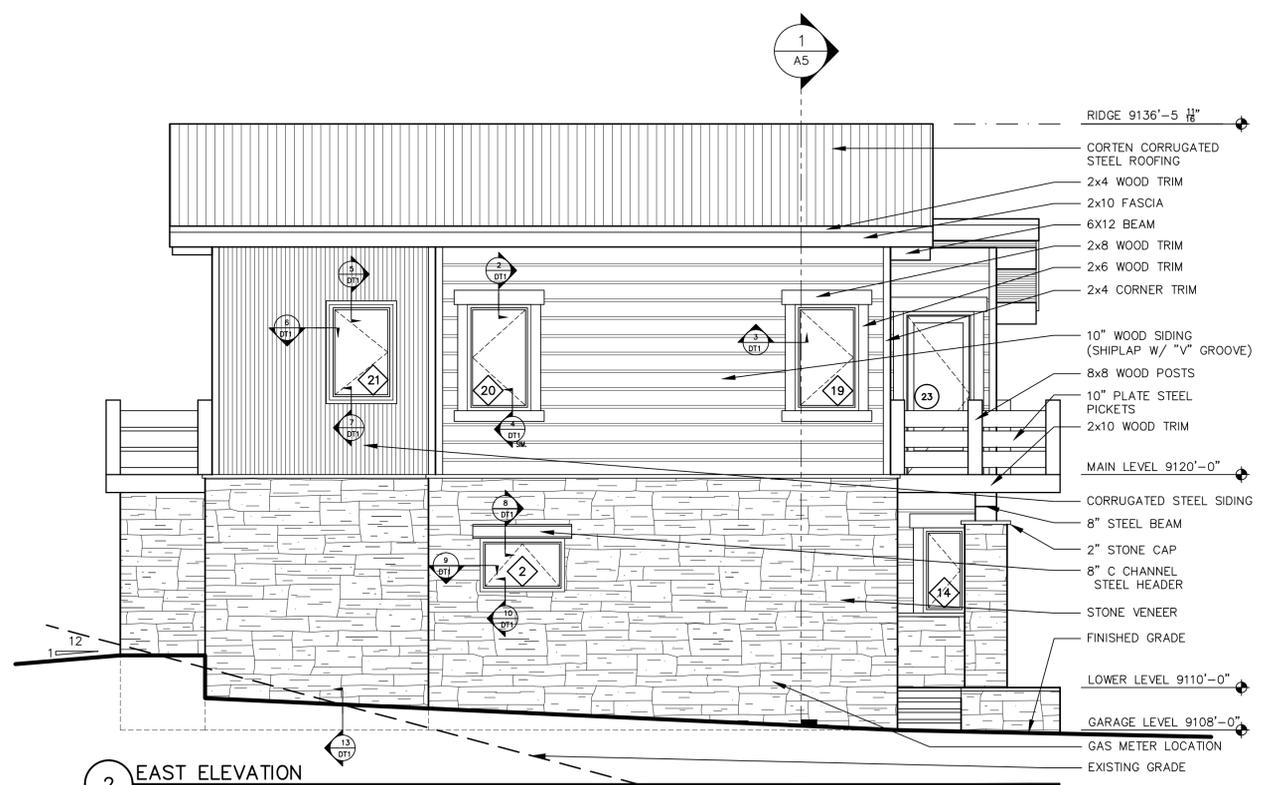
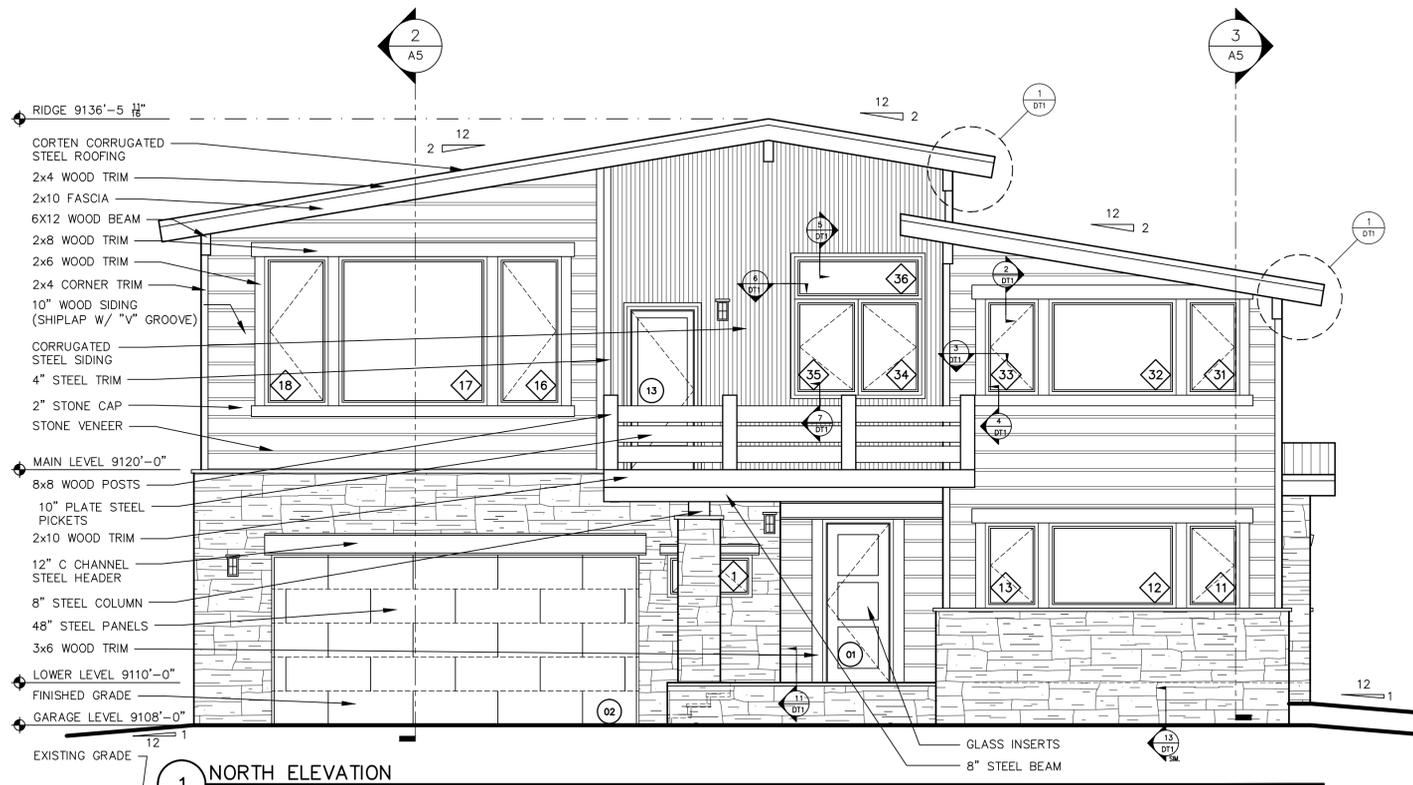
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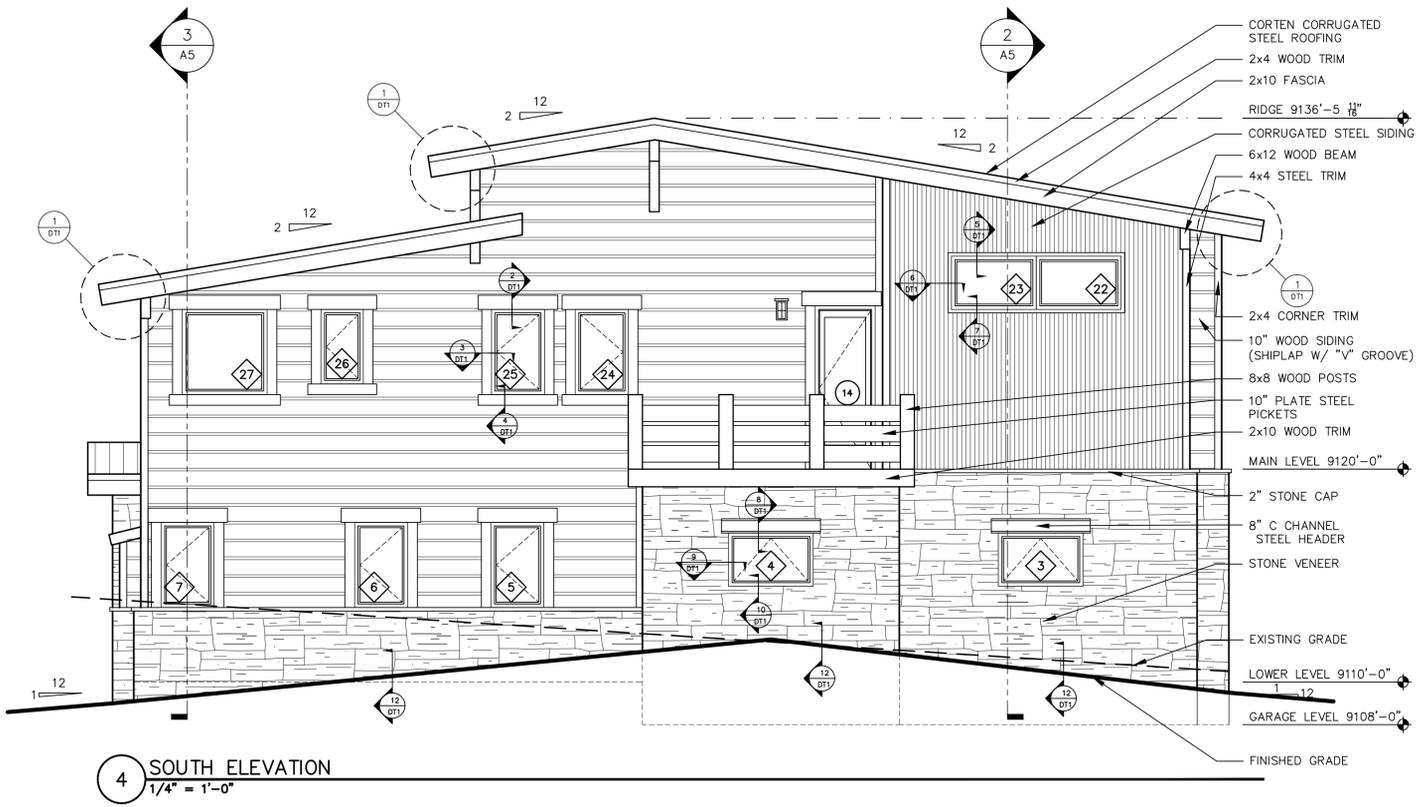
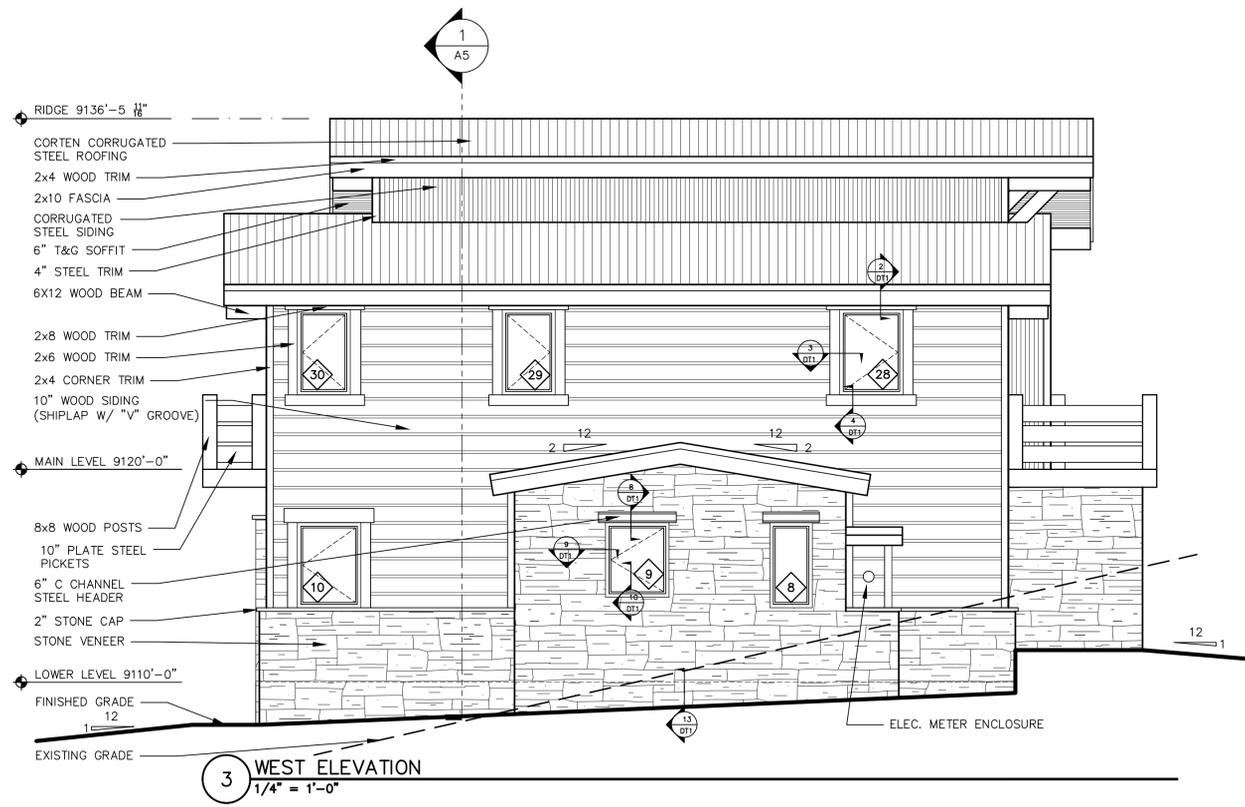
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MATERIAL CALCULATIONS

	NORTH	EAST	WEST	SOUTH	TOTAL
ELEVATION SQ. FT. :	1278.72	883.43	825.84	1147.07	= 4135.06 SQ. FT.
STONE :	326.14	452.92	322.05	346.84	= 1447.95 SQ. FT. = 35.0 %
WOOD SIDING :	357.86	256.17	362.83	505.14	= 1482.00 SQ. FT. = 35.8 %
STEEL SIDING :	173.72	95.38	78.46	160.64	= 508.20 SQ. FT. = 12.2 %
WINDOWS & DOORS :	421.26	87.05	62.50	134.72	= 705.53 SQ. FT. = 17 %



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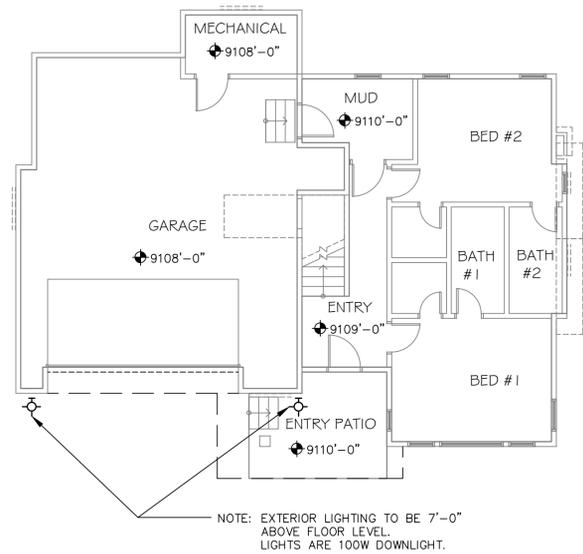
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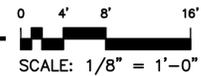
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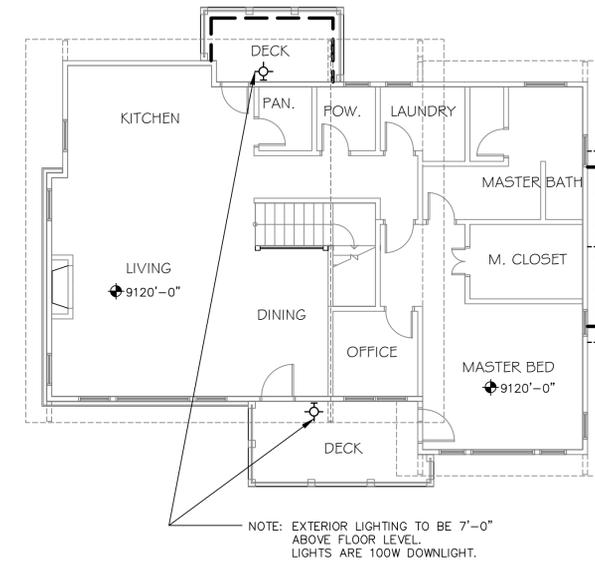
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DATE: JULY 24, 2018  
ROLE: HOA  
REVISION DATE: 1 SEPT. 10, 2018  
INITIAL: TH



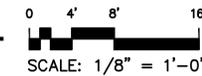
**LOWER LEVEL EXTERIOR LIGHTING**  
1/8" = 1'-0"



- EXTERIOR LIGHTING
- ⊕ EXTERIOR WALL SCONCE
  - ⊕ CEILING, OVERHEAD FIXTURE



**MAIN LEVEL EXTERIOR LIGHTING**  
1/8" = 1'-0"



- EXTERIOR LIGHTING
- ⊕ EXTERIOR WALL SCONCE
  - ⊕ CEILING, OVERHEAD FIXTURE



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JOB NUMBER	18-4
DRAWN BY	TH
DATE	JULY 24, 2018
ROLE	HOA
#	REVISION DATE
	INITIAL

**LOT AR49**  
**Exterior Lighting Plan**

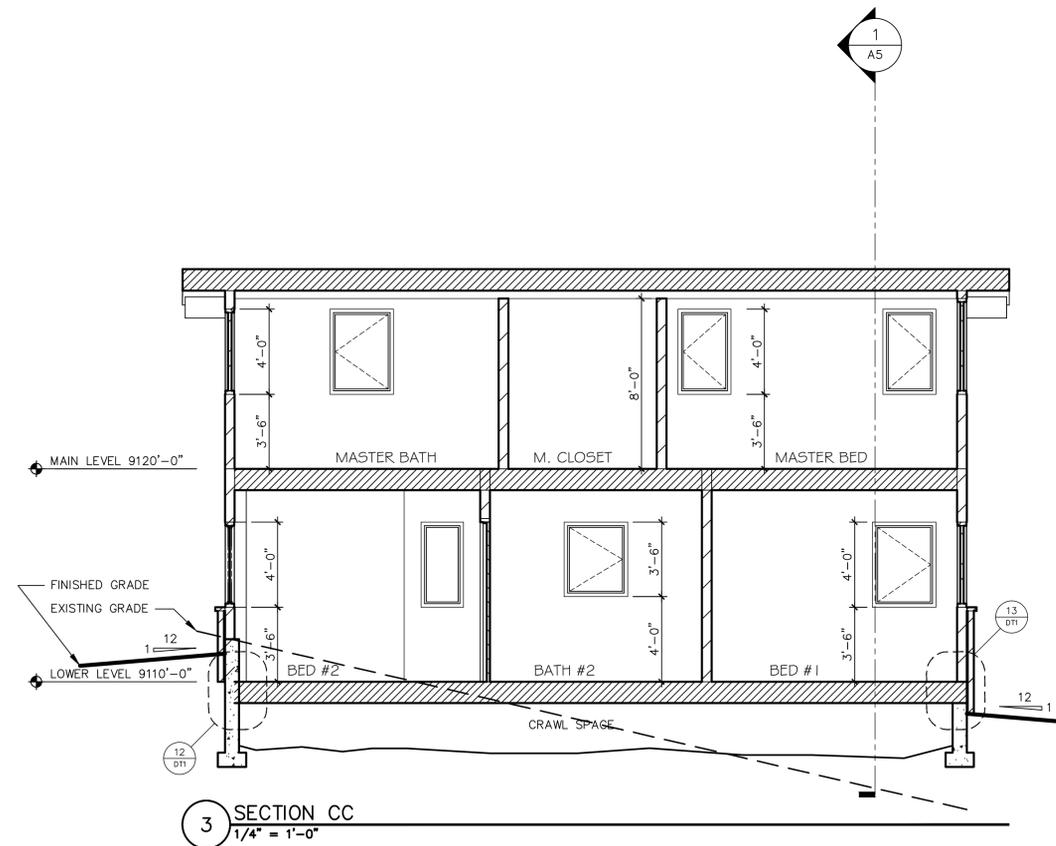
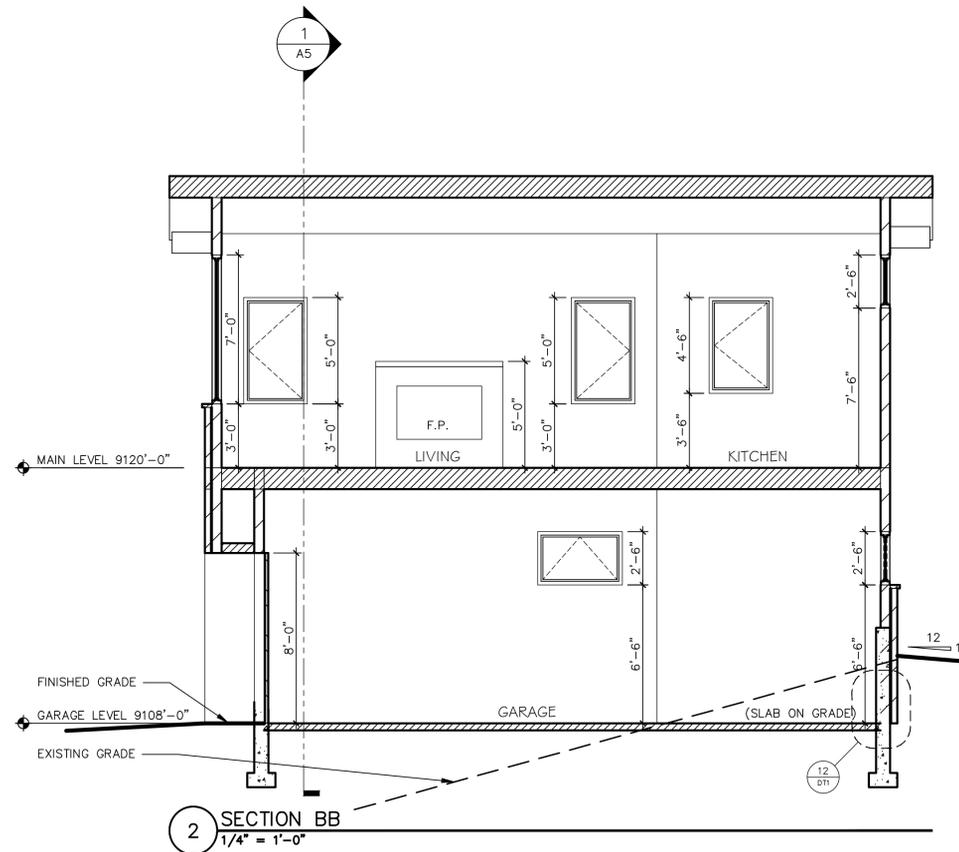
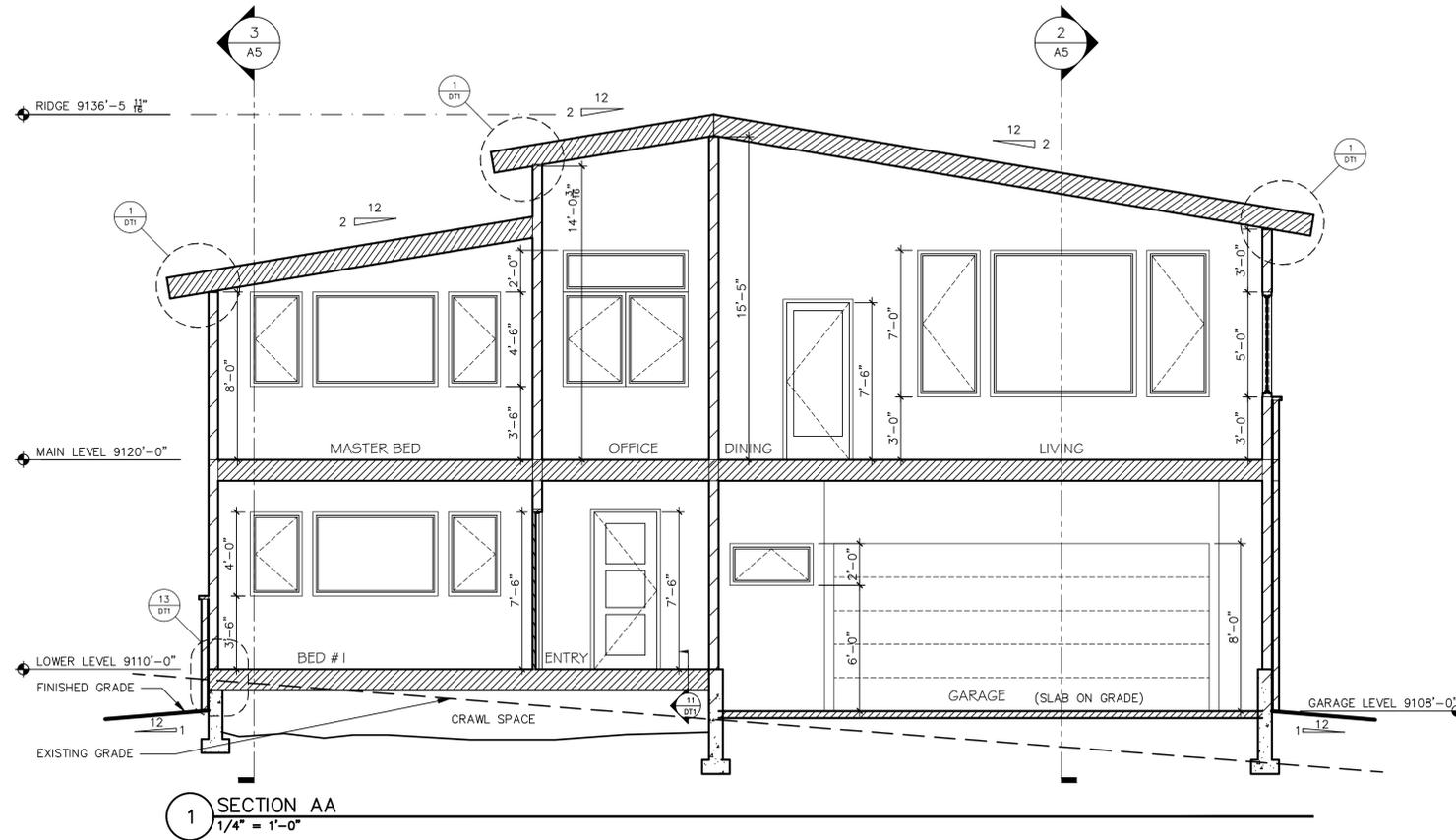
Lights to be used on the exterior of the house:  
Whatley 6 1/4" High Black LED Outdoor Wall Light

Featuring a black steel finish, this charming Whatley energy-efficient LED outdoor wall light from John Timberland® functions as a traditional detail wherever it is used. The decorative design evokes a classic quality.

- 8 1/4" wide x 6 1/4" high. Extends 9" from the wall. Weighs 1.87 lbs.
- Backplate is 6" high x 4 1/2" wide. Shade only is 8 1/4" wide, 8 1/4" deep.
- Built-in, non-dimmable 13 watt LED module. 3000K. 80 CRI. 1150 lumens, comparable to a 75 watt incandescent bulb.
- An energy-efficient, modern LED outdoor wall light from John Timberland®.
- Black finish, steel construction; metal shade.

Images of light:





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MEMBER OF AMERICAN INSTITUTE OF ARCHITECTS

LS2 RESIDENCE  
LOT AR-49 116 ADAMS WAY  
TELLURIDE MOUNTAIN VILLAGE

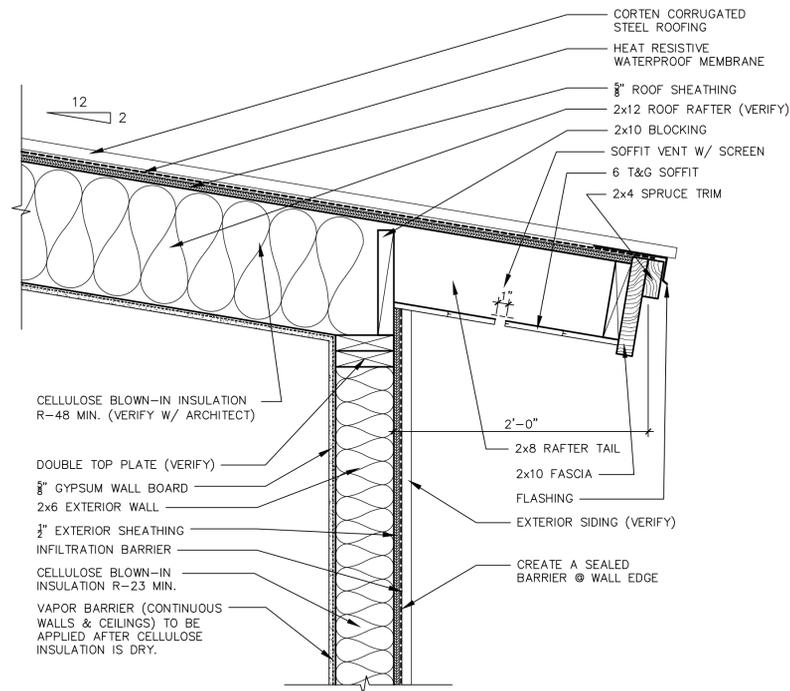
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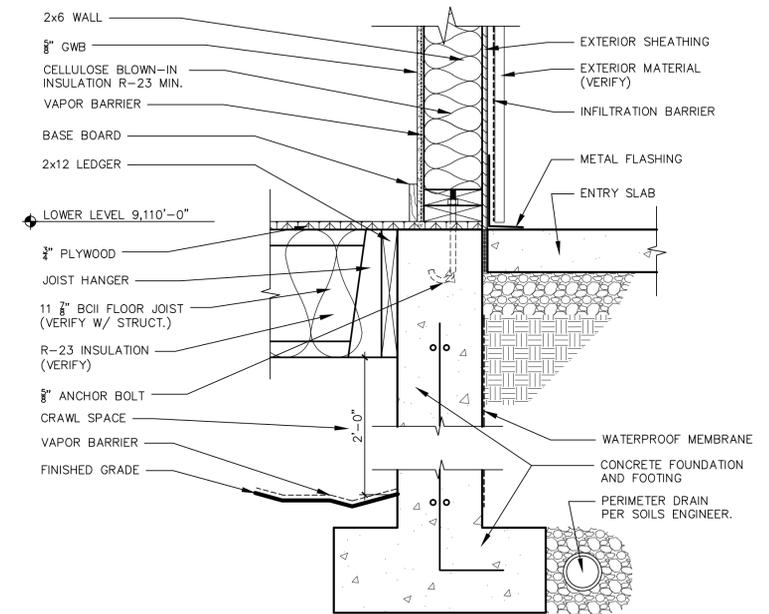
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ROLE: HOA

REVISION DATE: INITIAL

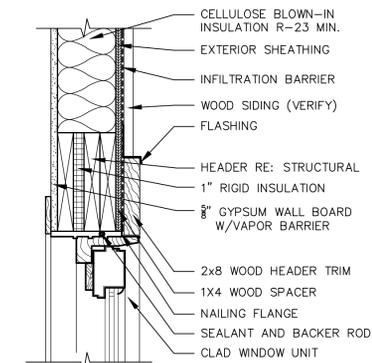


1 ROOF EAVE DETAIL  
1 1/2" = 1'-0"

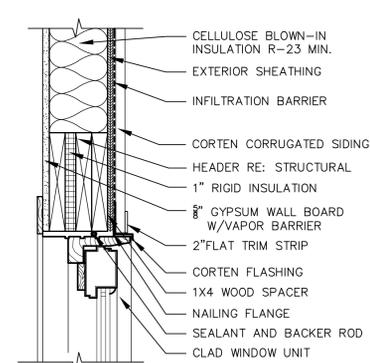


11 EXTERIOR WALL @ ENTRY  
1 1/2" = 1'-0"

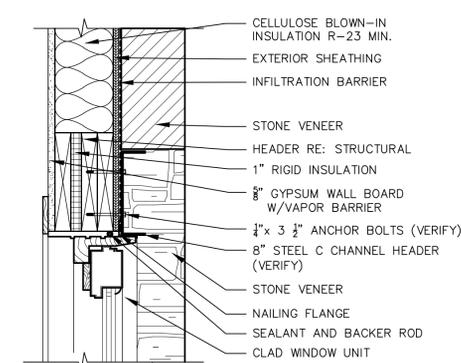
NOTE: @ SIM. STONE VENEER, & NO SLAB



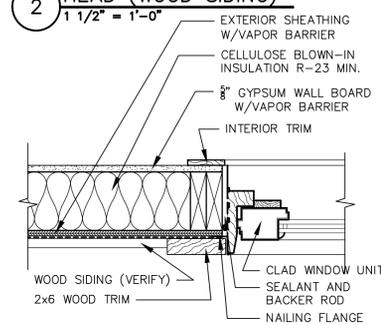
2 HEAD (WOOD SIDING)  
1 1/2" = 1'-0"



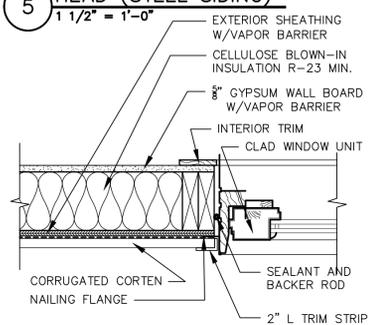
5 HEAD (STEEL SIDING)  
1 1/2" = 1'-0"



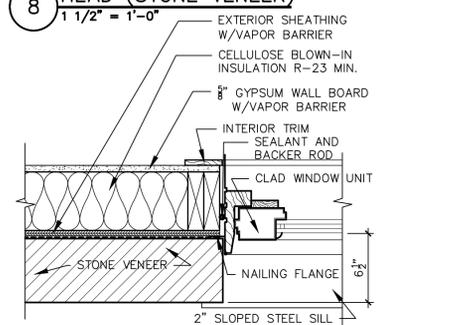
8 HEAD (STONE VENEER)  
1 1/2" = 1'-0"



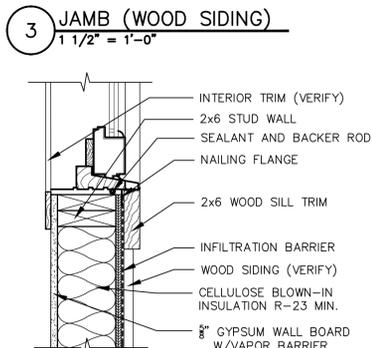
3 JAMB (WOOD SIDING)  
1 1/2" = 1'-0"



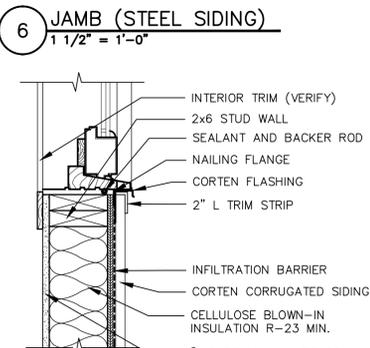
6 JAMB (STEEL SIDING)  
1 1/2" = 1'-0"



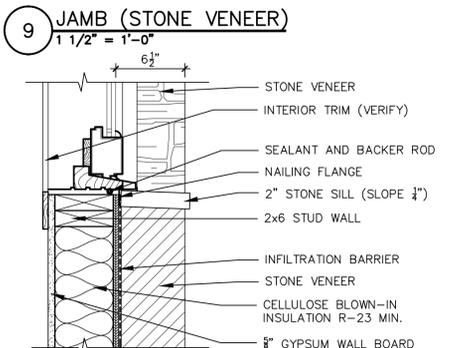
9 JAMB (STONE VENEER)  
1 1/2" = 1'-0"



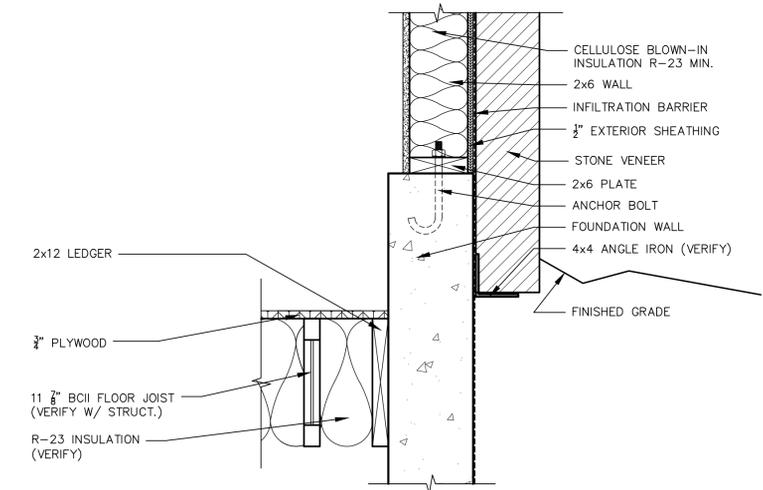
4 SILL (WOOD SIDING)  
1 1/2" = 1'-0"



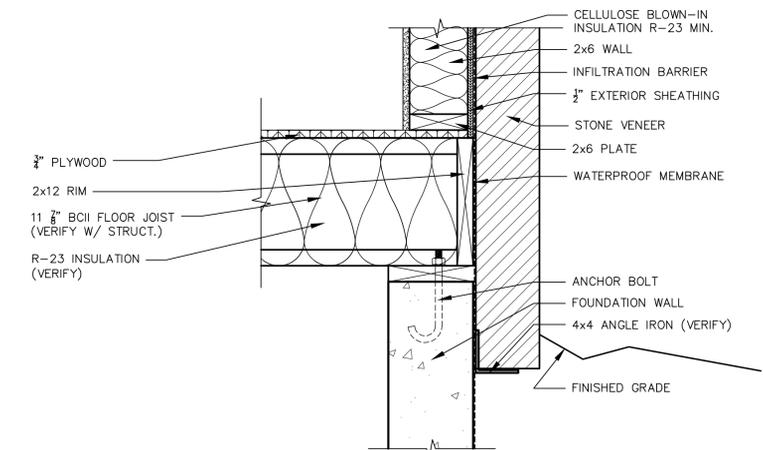
7 SILL (STEEL SIDING)  
1 1/2" = 1'-0"



10 SILL (STONE VENEER)  
1 1/2" = 1'-0"



12 EXTERIOR WALL @ BACK  
1 1/2" = 1'-0"



13 EXTERIOR WALL @ SIDE  
1 1/2" = 1'-0"



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JOB NUMBER: 18-4  
DRAWN BY: TH  
DATE: JULY 24, 2018  
ROLE: HOA

**LEGEND**

-  WATER VALVE
-  FIRE HYDRANT
-  SEWER MANHOLE
-  CABLE-TV PEDESTAL
-  FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 24954
-  FOUND No. 5 REBAR, NO CAP



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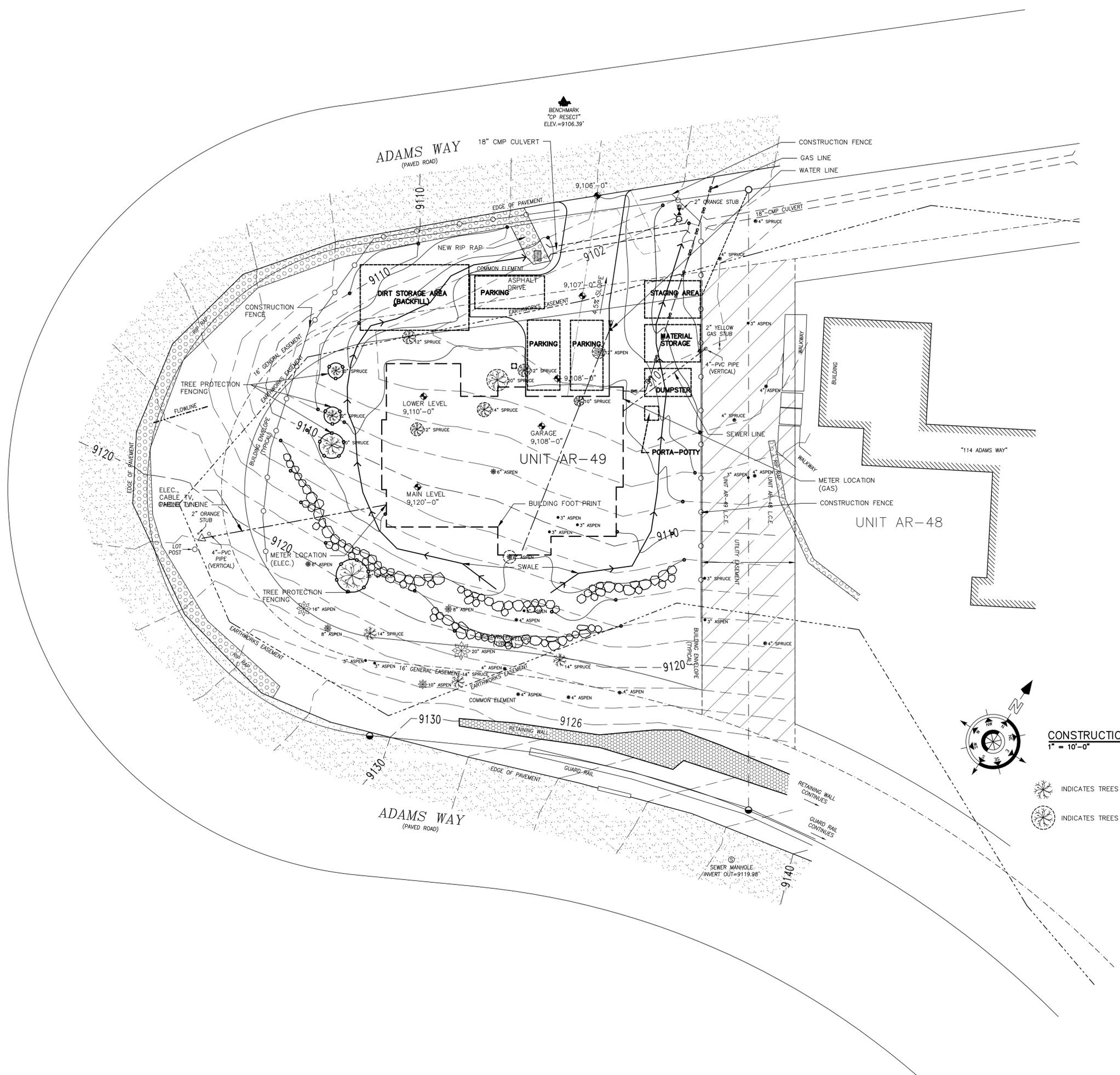
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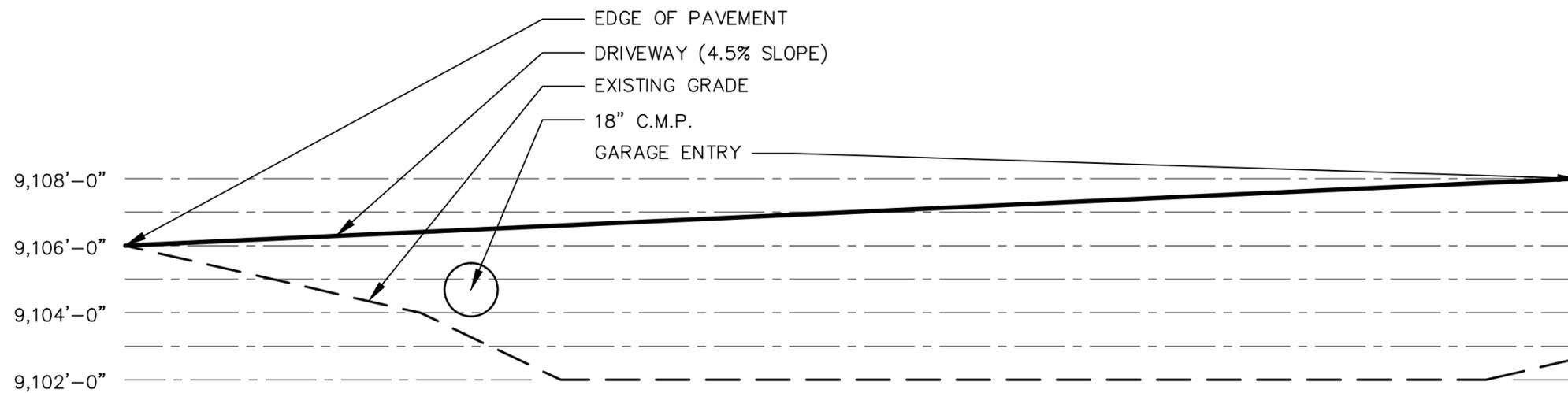
JOB NUMBER:	18-4
DRAWN BY:	TH
DATE:	JULY 24, 2018
ROLE:	HOA
REVISION DATE:	INITIAL

**CMP**



**CONSTRUCTION MANAGEMENT PLAN**  
1" = 10'-0"

-  INDICATES TREES TO REMAIN
-  INDICATES TREES TO BE REMOVED



1 DRIVEWAY SECTION  
 1/4" = 1'-0"



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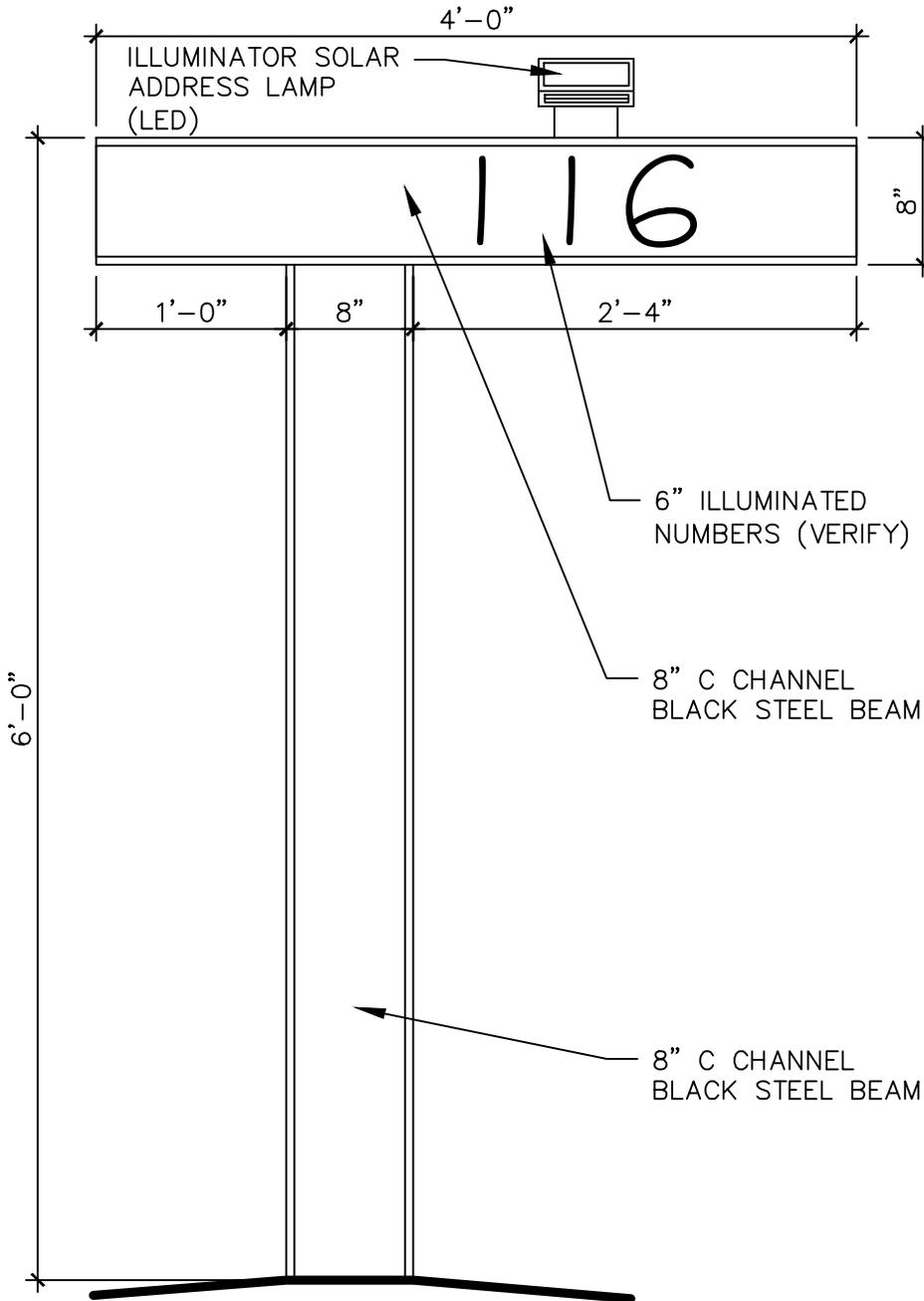
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JOB NUMBER	18-4
DRAWN BY	TH
DATE	SEPTEMBER 2, 2018
BY	HOA
REVISION DATE	INITIAL



**ADDRESS MONUMENT**

1" = 1'-0"



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DATE: 10-4
SCALE: 1/4" = 1'-0"
DATE: AUGUST 15, 2018
DATE: HOA
DATE: SEPT. 11, 2018

**AR 49 Address Monument  
Illuminator Solar Address Lamp (LED)**

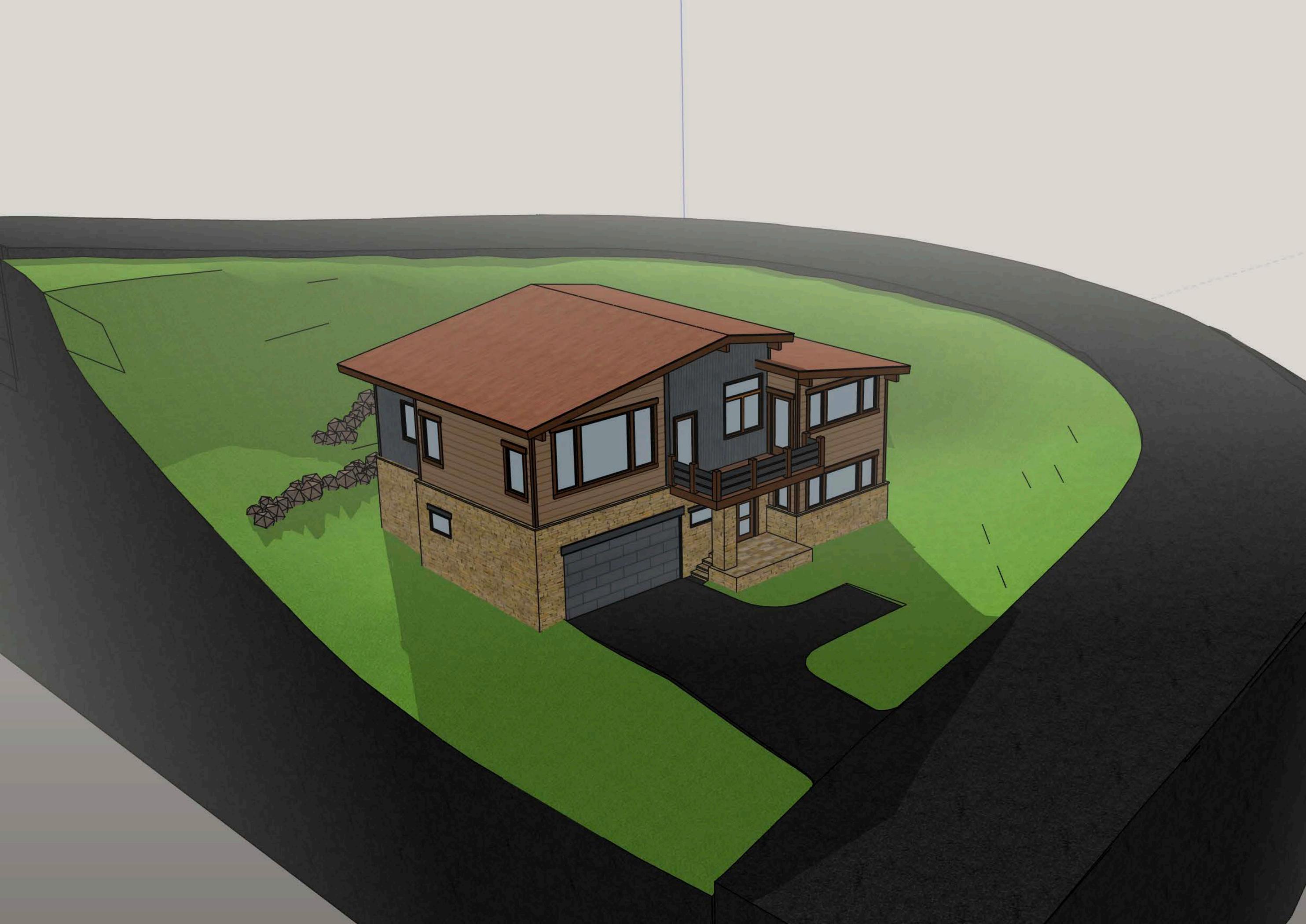
Illuminator Solar 6.75 in. Solar Address Lamp with 3 Led Bulbs

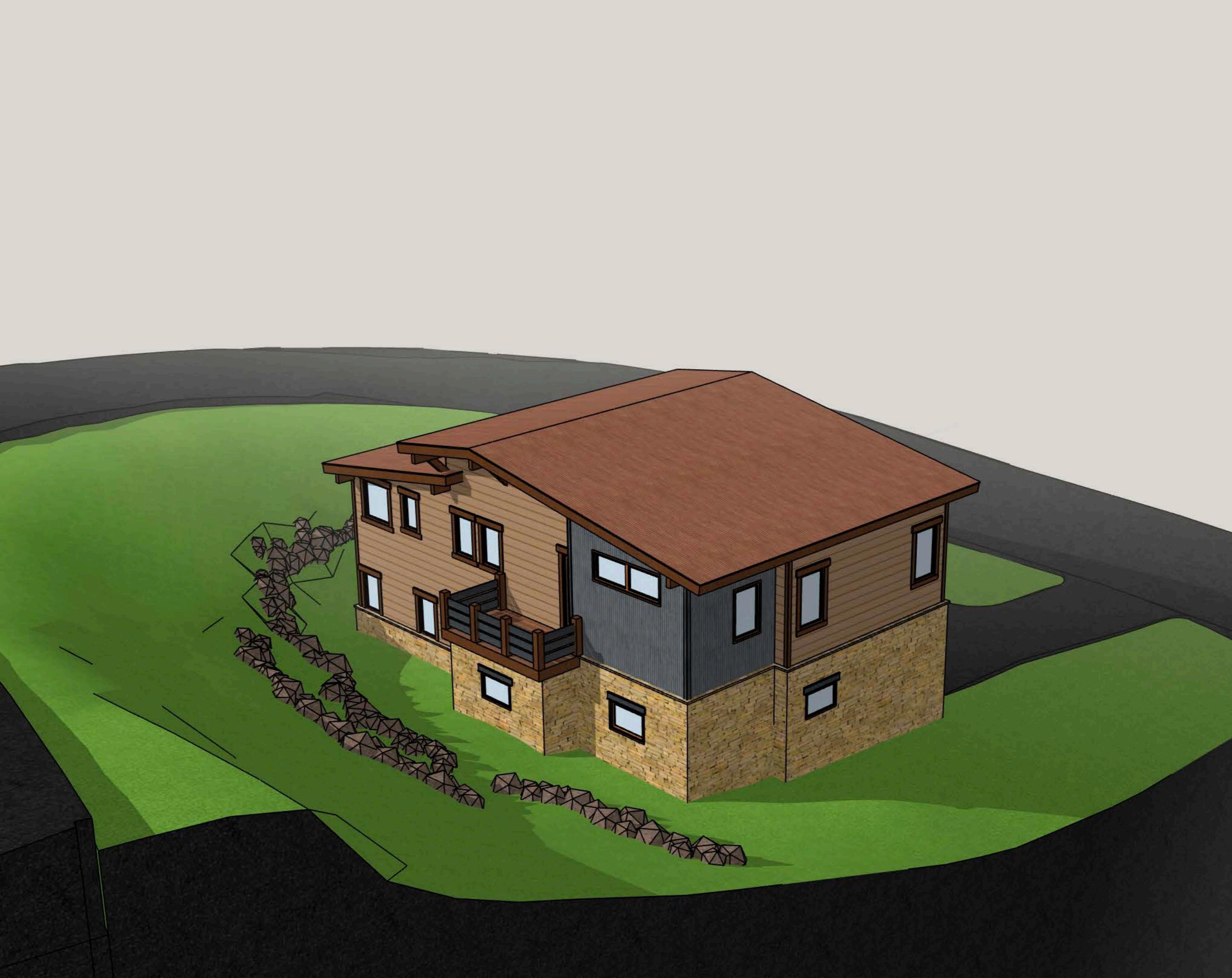
Whitehall's Solar Lamp illuminates a home's address plaque or entryway. The high-quality solar cells will allow this lamp to shine brightly up to 14 hours. This lamp automatically turns on at dusk and off with dawn.

- Provides up to 14 hours of light
- Automatically turns on at dusk and off at dawn
- Extra-long-live batteries are included
- Easy to mount
- Solar-powered
- High quality solar cells
- Covers up to a four to five foot area



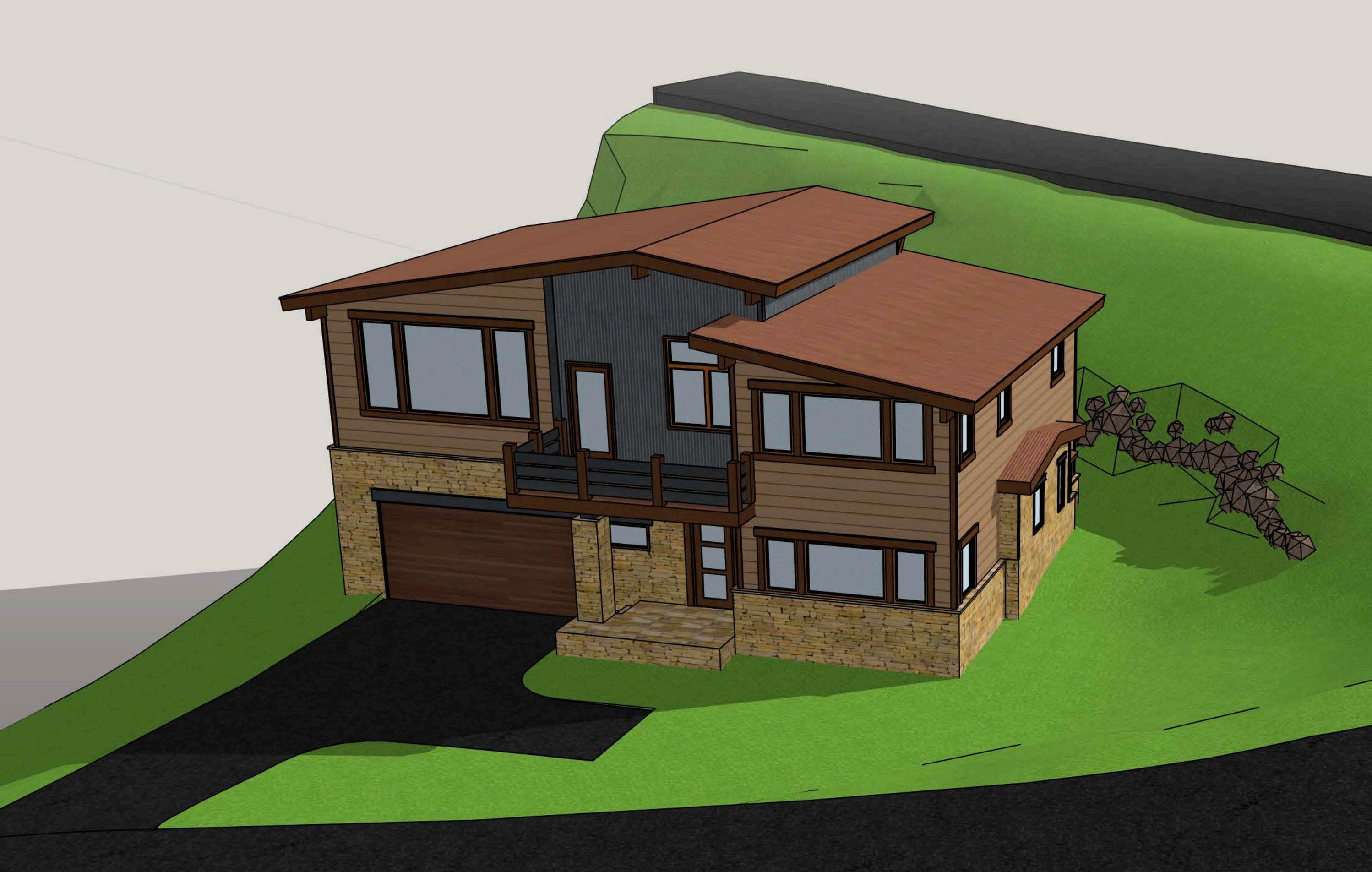














**PLANNING & DEVELOPMENT SERVICES**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

---

**TO:** Design Review Board

**FROM:** Michelle Haynes, Planning and Development Services Director

**FOR:** DRB Meeting on October 4, 2018

**DATE:** September 24, 2018

**RE:** Consideration of a Minor Revisions application to an approved landscape plan at Lot 1151, 132 High Country Drive

---

**APPLICATION OVERVIEW:**

The town and owner entered into a Compliance Plan Agreement (Compliance Plan) on August 20, 2018 so that the owners will bring the improvements to the property absent town approvals, into compliance with the Community Development Code (CDC). This application one of the requirements of the Compliance Plan. The landscape plan approved on September 7, 2017 by the DRB had been modified and the owners must seek DRB approval through this application to the revised landscape plan. Staff has also identified general easement encroachments for your consideration.

**PROJECT GEOGRAPHY**

**Legal Description:** Lot 1151, Telluride Mountain Village  
**Address:** 132 High Country  
**Applicant/Agent:** John and Liz Raese  
**Owner:** John and Liz Raese  
**Zoning:** Single Family  
**Existing Use:** Single Family  
**Lot Area:** 0.513 acres

**Adjacent Land Uses:**

- **North:** Single Family
- **South:** Single Family
- **East:** Single Family
- **West:** Open Space

**ATTACHMENTS**

- Exhibit A: Vicinity Map
- Exhibit B: Narrative
- Exhibit C: DRB Approved Landscape plan dated September 7, 2017
- Exhibit D: Ortho Model Image
- Exhibit E: Ortho Overlay Image with DRB approved overlay from September 7, 2017
- Exhibit F: Orth Overlay Image with ILC overlay
- Exhibit G: Revised landscape plan dated 9.21.18, Landscapes by Lance
- Exhibit H: Revised landscape plan with irrigation plan notes, Landscapes by Lance dated 8.30.17

- Exhibit I: General Easement Encroachment Agreement Patio Rec. No. 454123
- Exhibit J: Improvement Location Certificate (ILC) dated 8.23.18
- Exhibit K: Improvement Location Certificate (ILC) dated 7.17.17 before patio constructed

**BACKGROUND**

On September 7, 2017, the Design Review Board approved an extension of an existing patio and retaining wall into the General Easement, new exterior lighting of a walkway, a new address monument and a new walkway from the front entrance to the new patio on Lot 1151. Pursuant to the Compliance Plan the applicants have constructed the address monument per the 2017 approval (to be completed by September 30<sup>th</sup>). The patio and exterior lighting per constructed per plan. The applicants revised the landscape plan which is before you today for review.

Between September 7, 2017 and today the owners took a series of actions which affected the resulting landscape plan including the following activities:

- replaced and improved drainage from the north to the east of the property as shown on the ILC and to be described by the applicant. A drain pipe is located in the east general easement and cobble used above the drain pipe to assist with water infiltration on the property.
- relocated a gas utility box and upsized a gas line.
- re-asphalted the driveway wider than originally approved, a portion of the asphalt driveway is located in the west general easement.
- replaced sod with cobble rock.
- removed irrigation systems and controls.
- removed and planted trees.
- placed drainage elements into both the east and west general easements.

Pursuant to the Compliance Plan a combination of the existing non-approved conditions and proposed landscape modifications are before you for review.

**PROPOSED MINOR REVISIONS APPLICATION**

Exhibit C illustrates the DRB approved landscape from 9.7.17. Exhibit E shows the existing conditions with the DRB approved Landscape plan from 9.7.17 as an overlay. Exhibit D and F are helpful drone imagery overlays showing the existing conditions. Exhibit G & H illustrates a combination of the existing conditions requested to be approved, clarifications and modifications requested. Exhibit J illustrates improvements in the general easements to be considered.

Apparent modifications to the landscape plan:

- The cobble rock show around the perimeter of the landscape plan see exhibit C. Exhibit B shows where the cobble has been placed, and exhibit C shows the extent of the cobble desired.
- Revegetate disturbed areas to the north that were excavated for the drainage with town approved seed and straw. To be kept in a natural state.
- Driveway asphalt extends into the east general easement.
- Perennial bed and rock garden to the south and adjacent to the house to be replaced with cobble rock and 1-gallon perennials.
- New flagstone patio area to the southwest of the building. See plan note 5 that this also improves positive drainage in this area.
- Existing cobble to the south to be replaced with sheep fescue lawn with irrigation.

- Bristlecone Pines planted to act as a vegetative screen to the southwest from the ski run access road. Four additional bristlecone pines are being requested.
- Work within and along the right of way including cobble, revegetate and regrading consistent with public works director direction.
- Remove excess cobble from culvert to allow for proper use.

**ADDITIONAL GENERAL EASEMENT ENCROACHMENTS**

- A retaining wall in the west general easement
- riprap and cobble improvements affecting each general easement
- A request to plant 6' – 8' bristlecone pines in the southern general easement
- Asphalt and a drain pipe in the east general easement

The public works director had no issue with the general easement encroachments that are existing.

**LANDSCAPE STANDARDS AND REGULATIONS -staff comments are in bold and italic**  
**17.5.9 LANDSCAPING REGULATIONS**

**A. Purpose and Intent.** The Landscaping Regulations are intended to:

1. Provide adequate and appropriate plant materials on a project site to enhance the relationship of the project to its site and context;
2. Preserve existing significant trees and existing vegetation on a site to the extent practicable;
3. Conserve water by requiring landscaping plans to be based on a “permaculture” concept with a holistic approach to landscape design integrating the local geography and site ecology with the design and installation of landscaping;
4. Utilize native species in landscape design so that native species continue to dominate the town’s high alpine environment; and
5. Mitigate the impacts of site development with landscape designs that will buffer the development from abutting properties and from the public way to the extent practical.

**Practical Lawn and Planting Bed Areas.** Formal lawn and planting bed areas consume more water than the natural landscape since such areas often have non-native plant species. Therefore, formal lawn and planting bed areas shall be proportional to the home and the lot.

- a. All disturbed areas shall be replanted with a native grass seed mix.
- b. Undisturbed areas shall be left and maintained in a natural state.
- c. All areas to be revegetated with native grass seed mix may be irrigated until the grass is established, but no more than one (1) full growing season with any such extra irrigation installed on a separate zone that will be permanently shut off after successful revegetation.

**Table 5-3, Irrigation System Design**

<b>Landscape Type</b>	<b>Required Irrigation System Design and Operation</b>
Trees and Shrubs	<ol style="list-style-type: none"> <li>1. Drip only.</li> <li>2. Shut drip zones off two (2) full growing seasons after plant establishment.</li> </ol>
Lawn Area/Turf	<ol style="list-style-type: none"> <li>1. Spray heads.</li> <li>2. Separate site zone required.</li> </ol>
Perennials and garden planting beds	<ol style="list-style-type: none"> <li>1. Spray heads.</li> <li>2. Use soaker hose, low volume mist and/or emitters equipped with adjustable nozzles to limit over/under watering within a specific zone.</li> </ol>

<b>Landscape Type</b>	<b>Required Irrigation System Design and Operation</b>
Revegetation	<ol style="list-style-type: none"> <li>1. Rotors (Review authority may require temporary irrigation and prohibit long-term watering of revegetated areas)</li> </ol>
All Landscaping Types	<ol style="list-style-type: none"> <li>1. Irrigation control equipment shall include an automatic irrigation controller having program flexibility such as repeat cycles and multiple program capabilities. Automatic irrigation controllers shall have battery backup to retain the irrigation programs.</li> <li>2. June through September, irrigation shall occur before 9 a.m. and after 7 p.m. unless otherwise limited by a Town law or policy.</li> <li>3. Separate water meter installed at irrigation system control area, branched off of water service line to the home.</li> <li>4. Tap and pressure reduction valve locations and plan notes describing the type of backflow prevention device shall be used.</li> <li>5. Sprinklers and rotors shall be installed so as to minimize overspray onto paved surfaces, structures and non-vegetated areas and minimize run-off of irrigation water.             <ol style="list-style-type: none"> <li>a. Sprinkler spacing shall not exceed fifty-five percent (55%) of the sprinkler's diameter of coverage.</li> </ol> </li> <li>6. Plants with similar water requirements shall be irrigated on the same zone.</li> <li>7. To the extent practical, pop-up sprinklers and rotors will not be mixed in the same zone.</li> <li>8. A rain sensing shutoff device shall be installed to avoid irrigation during periods of sufficient rainfall. Said equipment shall consist of an automatic sensing device or switch that will override the irrigation cycle of the system when adequate rainfall has occurred. It must be place where it is exposed to unobstructed natural rainfall.</li> <li>9. Irrigation plans shall show sprinkler spacing and diameter of coverage.</li> </ol>

***The applicant has provided an irrigation plan for the front of the building (south)***

**Minimum Plant Size Requirements**

**Table 5-4, Minimum Plant Size Requirements**

<b>Landscaping Type</b>	<b>Minimum Size</b>
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.
Shrubs	5 gallon or larger massing of smaller shrubs

***The applicant is asking for a variation to the minimum plan size requirements for the additional request of bristlecone pine tree plantings.***

**Native Grass Seed Mix**

***The CDC prescribes the reseed mix required for reseed on a property. See conditions of approval below for the specific seed mix.***

**CONSISTENCY WITH THE REGULATIONS**

Primary walkways adjacent to buildings shall be constructed of surface materials that are rich and interesting, using materials such as flagstone, sandstone, granite cobbles, brick or concrete pavers.

***The revised landscape plan is consistent with the above regulation.***

**Diversity of Tree Plantings.** At least forty (40) percent of the trees on a landscaping plan shall be trees not typically found in landscaping in the town, such as lodgepole pine, limber pine, white bark pine, ponderosa pine, bristlecone pine and pinyon pine provided such trees fit within the life zone and a site’s micro climate.

***The primary tree planted is bristlecone pine. The only variation requested is to the existing grouping of bristlecone pine which are less than 8’ high and used for screening. The requested new bristlecone pines are also requested to be less than 8’ high for screening and ornamental use.***

Trees shall be planted in large natural groupings or groves.

***This was done for the purposes of screening the property from the adjacent TSG access road to the ski run.***

**VARIATIONS REQUESTED**

The cluster of bristlecone pines planted on the south and western portion of the property did not meet the CDC requirements related to a minimum of 8’ of height and planted with the intention of being ornamental and for screening. The owner also requests that additional bristlecone pines not meet the minimum height standards so that similarly they can act as ornamental and as for screening from the access road and ski run.

**STAFF ANALYSIS**

The applicant is addressing the most visible portions of the landscape plan which is from the street by replacing portions of existing cobble with sheep fescue lawn and irrigation. This will soften and improve the existing landscape plan from the street. The landscape plan

recommends sheep fescue because it is heat and drought tolerant along with standing up to harsh conditions. Although cobble is shown to remain adjacent to the house and to the south which is the entrance, the applicants also indicate softening the area with 1-gallon perennials.

The applicant planted a cluster of bristlecone pines on the southwest, these trees do not meet the height requirements of the code from 8'-10'; however, the owner's intent was to utilize the bristlecone pine as ornamental and to immediately screen portions of their property from the access road and ski run adjacent to their property. Additional tree screening is requested with this application.

The applicants have increased the amount of outdoor living space with approval and intends to create more patio and flagstone areas with this plan which also serve to facilitate drainage away from the building.

Understanding that the irrigation was removed from the property, irrigation and controls will be reinstalled in the front yard of the building. The reseed requirement in the rear of the building is allowed to have intermittent irrigation but otherwise once established will not need irrigation and is not intended to be irrigated. The CDC otherwise requires an owner to understand the obligation to maintain approved landscaping including the replacement of any dead or damaged landscaping in the meantime.

The applicant can better explain the need for cobble on each side of the property which is atypical from the prior landscape plan. Cobble is also shown to the south (front) of the property with spot 1-gallon perennials to soften.

The DRB should determine whether the additional general easement encroachments listed on page 2 are approved and staff will work with the applicant to amend the general easement agreements accordingly. Those general easement encroachments are the following:

- A retaining wall in the west general easement
- riprap and cobble improvements affecting each general easement
- A request to plant 6' – 8' bristlecone pines in the southern general easement
- Asphalt and a drain pipe in the east general easement

Staff recommend the DRB discuss timing to execute a revised landscape plan with the applicant. As we are heading into October, staff recommends a condition of approval if any improvement cannot practically be completed yet this fall the Compliance Plan can be amended to consider additional and specific timing to complete.

### **STAFF RECOMMENDATION**

*I move to approve the minor revisions application to the DRB approved landscape plan dated 9.7.17 at 132 High Country (Lot 1151) with the following variations, conditions and findings stated in the staff memo of record dated September 24, 2018:*

*Variation:*

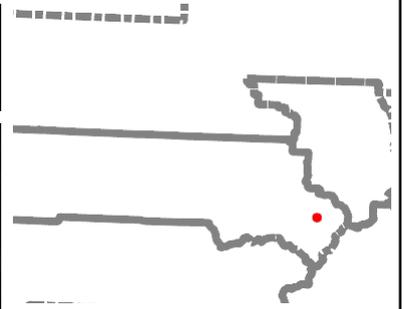
- *To allow the additional requested bristlecone pines to be less than 8' in height, along with allowing the proposed additional grouping of bristlecone pines to be less than 8' in height,*

*Conditions:*

1. *Consistent with the compliance plan, a drainage professional must certify the drainage improvements were engineered, will not adversely affect town property and adequately address the drainage issues occurring onsite. Consistent with 17.5.7. Grading and Drainage Design.*
2. *The drainage professional must verify with the public works director that surface drainage patterns are consistent with the existing road and drainage swale, grades and culvert crossings per 17.5.7.H.*
3. *The developer or the developer's successors in interest shall be responsible for maintaining the Town-approved landscaping plan and for the replacement of any dead or damaged landscaping unless a subsequent, modified landscaping plan is submitted by the owner for review and action by the review authority in accordance with the requirements of the CDC.*
4. *Reseed mix shall be as follows and straw used to mulch new plantings*  
***Native Grass Seed Mix (General Revegetation)***  
*Western Yarrow 5%*  
*Tall Fescue 10%*  
*Arizona Fescue 5%*  
*Hard Fescue 5%*  
*Creeping Red Fescue 10%*  
*Alpine Bluegrass 15%*  
*Canada Bluegrass 10%*  
*Perennial Ryegrass 15%*  
*Slender Wheatgrass 10%*  
*Mountain Brome 15%*
5. *Amend existing general easement agreements to approve the additional encroachments:*
  - a. *A retaining wall in the west general easement*
  - b. *Riprap and cobble improvements affecting each general easement*
  - c. *A request to plant bristlecone pines in the southern general easement*
  - d. *Asphalt and a drain pipe in the east general easement*
6. *Amend the existing Compliance Plan, if needed, to allow for successful execution of the revised landscape plan with achievable and specific timeframes for full completion.*

*This motion is based upon evidence and testimony provided at a public hearing on October 4, 2018.*

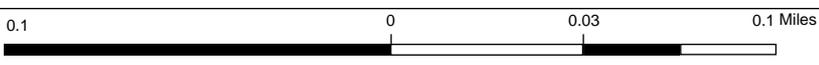
# Lot 1151 Vicinity Map



**Legend**

- Lot Numbers
- Parcel Boundaries
- Roads
- County Boundaries

Map Generated  
9/20/18 4:42 PM



1: 1,875

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION  
www.sanmiguelcountyco.gov

**Notes**

Lot 1151 Minor Revision, Landscape Plan  
Date: 9/21/18

## Narrative for Lot 1151 Landscape Revisions

The owners of lot 1151 would like the Board to consider the attached application for an updated Landscape plan. This application is in response to the requirements of the Compliance Plan entered into between the Owners and TMV dated August 20, 2018.

### *Site Drainage:*

Lot 1151 is situated immediately adjacent to the Double Cabin ski trail. The Owners wish to ensure proper drainage for melting of compacted snow from Double Cabin. For clarification, there have been no material changes in site drainage. The owners replaced a plugged 4" drain line running from the north patio extending to the drainage swale along the east side of the driveway. Flow lines of existing drainage swales will be cleaned up and cobble lined. Consistent with the terms of the Compliance Plan, a licensed civil engineer will review and certify site grading and drainage are consistent with CDC requirements.

### *Drawing Sheets:*

Four drawings sheets are included with this application:

- Sheet-1: Proposed revisions to previously approved landscape plan
- Sheet-2: Orthographic photo of existing conditions over previously approved plan
- Sheet-3: Previously approved Landscape plan by Carribou Design dated 8-30-17
- Sheet-4: Foley Improvements Location Certificate dated 8-23-18

### *Plan Notes:*

1. Clean up cobble and regrade 7' shoulder along High Country Road.
2. Reestablish flow line of bar ditch, remove cobble blocking either end of culvert.
3. Ok to line bar ditch with cobble (per Finn Kjome).
4. Remove cobble areas outside of curved walk to front door and flagstone patio to the west of entry.
5. Reset flag from gas meter outwards to reestablish positive drainage away from house using polymer sand (to prevent future infiltration and settling). Should have minimum of 1/4" per foot slope away from house.
6. Trace sprinkler water line from where it exits foundation wall on the west side of the house to see if it can be exposed someplace outside the concrete/flagstone west patio. Ditto for valve control wiring.
7. Layout minimal sprinkler system for 590 sf lawn, drip for new trees, small perennial bed by front entry and vicinity of entry monument. Include zone(s) for temporary irrigation of reveg areas.

8. Prep soil and seed Sheep Fescue drought tolerant low-maintenance grass +/- 590 sf in the same general area shown as sod on approved landscape plan.
9. Remaining area outside perimeter of entry walk and sw patio to be reveged with Native grass mix.
10. Reuse portion of cobble for a drainage swale running from the existing cobble swale at the NW corner of the flagstone patio around the north side of the house connecting to the cobble swale on the east side of the driveway.
11. Prep soil and reveg with native grass disturbed area around new cobble drainage swale.
12. Owners are interested in planting some larger trees on the berm between their property and Double Cabin Ski run. They will require DRB approval to plant trees in the GE.









SCALE: 1" = 10'

**LEGEND**

- WV WATER VALVE
- FH FIRE HYDRANT
- CS CURB STOP
- ST SEWER TAP
- TR TRANSFORMER
- TP TELEPHONE PEDESTAL
- CTV CABLE-TV PEDESTAL
- PL PATIO LIGHT
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 36577
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 24954
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 20632

**ENCROACHMENTS LEGEND**

- GENERAL EASEMENT ENCROACHMENT (PER RECEPTION No. 339644)
- GENERAL EASEMENT ENCROACHMENT (PER RECEPTION No. 364727)

**IMPROVEMENT LOCATION CERTIFICATE:**

I hereby certify that this Improvement Location Certificate was prepared for Land Title Guarantee Company, that it is not a Land Survey Plat or Improvement Survey Plat, that it is not to be relied upon for the establishment of fence, building, or other improvement lines.

I further certify that the improvements on the below described parcel on this date August 23, 2018, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

Jeffrey C. Haskell P.L.S. 37970

**LEGAL DESCRIPTION:**

LOT 1151, TELLURIDE MOUNTAIN VILLAGE, FILING 30, ACCORDING TO THE PLAT OF FILING 30, SAN JOAQUIN VILLAGE, TELLURIDE MOUNTAIN VILLAGE RECORDED MARCH 23, 1993 IN PLAT BOOK 1 AT PAGE 1463, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**NOTES:**

- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86008344, dated August 09, 2018 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Maps dated September 30, 1988, this parcel is not within the 100-year flood plain.

**NOTICE:**

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**Improvement Location Certificate**  
 Lot 1151, Town of Mountain Village,  
 San Miguel County, Colorado.

Project Mgr:	JH
Technician:	MC
Checked by:	KV
Start date:	08/23/2018

**FOLEY ASSOCIATES, INC.**  
 ENGINEERING - PLANNING - SURVEYING  
 Drawing path: dwg\98091 ILC 08-18.dwg

970-728-6153 970-728-6050 fax  
 P.O. BOX 1385  
 125 W. PACIFIC, SUITE B-1  
 TELLURIDE, COLORADO 81435

Sheet1 of 1 Project #: 98091

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455 Mountain Village Boulevard • Mountain Village, CO 81435 • Phone 970-369-8242 • Fax 970-728-4342

## GENERAL EASEMENT ENCROACHMENT AGREEMENT

The Town of Mountain Village (Town) hereby grant the Owners, John and Elizabeth Raese, encroachments into the southern and eastern General Easements for a retaining wall and a portion of a new flagstone patio that was approved by the DRB at the September 7, 2017 meeting and shown on Exhibit A on Lot 1151, located at 132 High Country in Mountain Village.

Development within the General Easement shall be performed at the Owner's sole risk and expense. Should the Town require the General Easement for any purpose deemed necessary in its/their sole and absolute discretion, including but not limited to, those uses set forth in Community Development Code, the Town reserves the right to interrupt Owner's use on the General Easement. Any costs associated with reestablishing Owner's use of the General Easement shall be the sole responsibility of the Owner.

Owner hereby agrees to indemnify and hold harmless the Town from any and all liability for loss, injury, damage or otherwise (including reasonable attorney's fees) arising out of or in any way either directly or indirectly resulting from the allowed encroachment and the use associated therewith.

Executed on this 16<sup>th</sup> day of July, 2018

Town of Mountain Village

By: *Laila Benitez*  
Laila Benitez, Mayor, Town of Mountain Village

Approved as to form:

*[Signature]*  
James Mahoney, Assistant Town Attorney

Attest:

*[Signature]*  
Jackie Kenefick, Town Clerk

By: *[Signature]*  
John and Elizabeth Raese, Owners  
*[Signature]*  
Elizabeth Raese



## **Town of Mountain Village General Easement Encroachment Agreement**

As an authorized representative of the Town of Mountain Village, Public Works Department, I have reviewed the Site Plan for Lot 1151, 132 High Country and have determined we do not currently use nor do we, at this time, have plans to use the affected portion of the western General Easement as depicted in Exhibit A and have no objection (from a standpoint with regards to Utilities) to granting the Owner of Lot 1151, 132 High Country and/or assigns permission for encroachments into the western General Easement, as shown attached hereto, that allows for a retaining wall and a portion of a flagstone patio.

Town of Mountain Village, a municipal corporation and  
Political subdivision of the State of Colorado:

Approved by:   
Finn Kjome, Public Works Director Town of  
Mountain Village

Date: 7/3/18

TRACT OSP-45R

LOT 1151



SCALE:  
1" = 10'

S 19°31'36" W 211.10'

16' GENERAL EASEMENT

RETAINING WALL

SECOND FLOOR DECK

STEPS

RETAINING WALL

NEW FLAGSTONE PATIO

PATIO

2-STORY HOUSE  
"132 HIGH COUNTRY ROAD"

06" SPRUCE

04" SPRUCE

04" ASPEN

FLOWLINE

NEW FLAGSTONE PATIO

03" ASPEN

06" SPRUCE

**LEGEND**

☆ NEW 6" PATIO LIGHT

 GENERAL EASEMENT ENCROACHMENT  
(PER RECEPTION No. 335644)

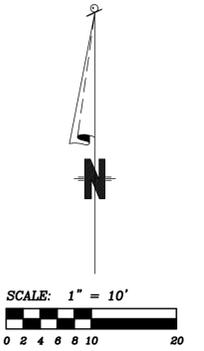
**FOLEY**  
ASSOCIATES, INC.  
ENGINEERING - PLANNING - SURVEYING  
100 N. 10th St. Suite 101  
Minneapolis, MN 55401  
612.338.1111

EXHIBIT

Client:

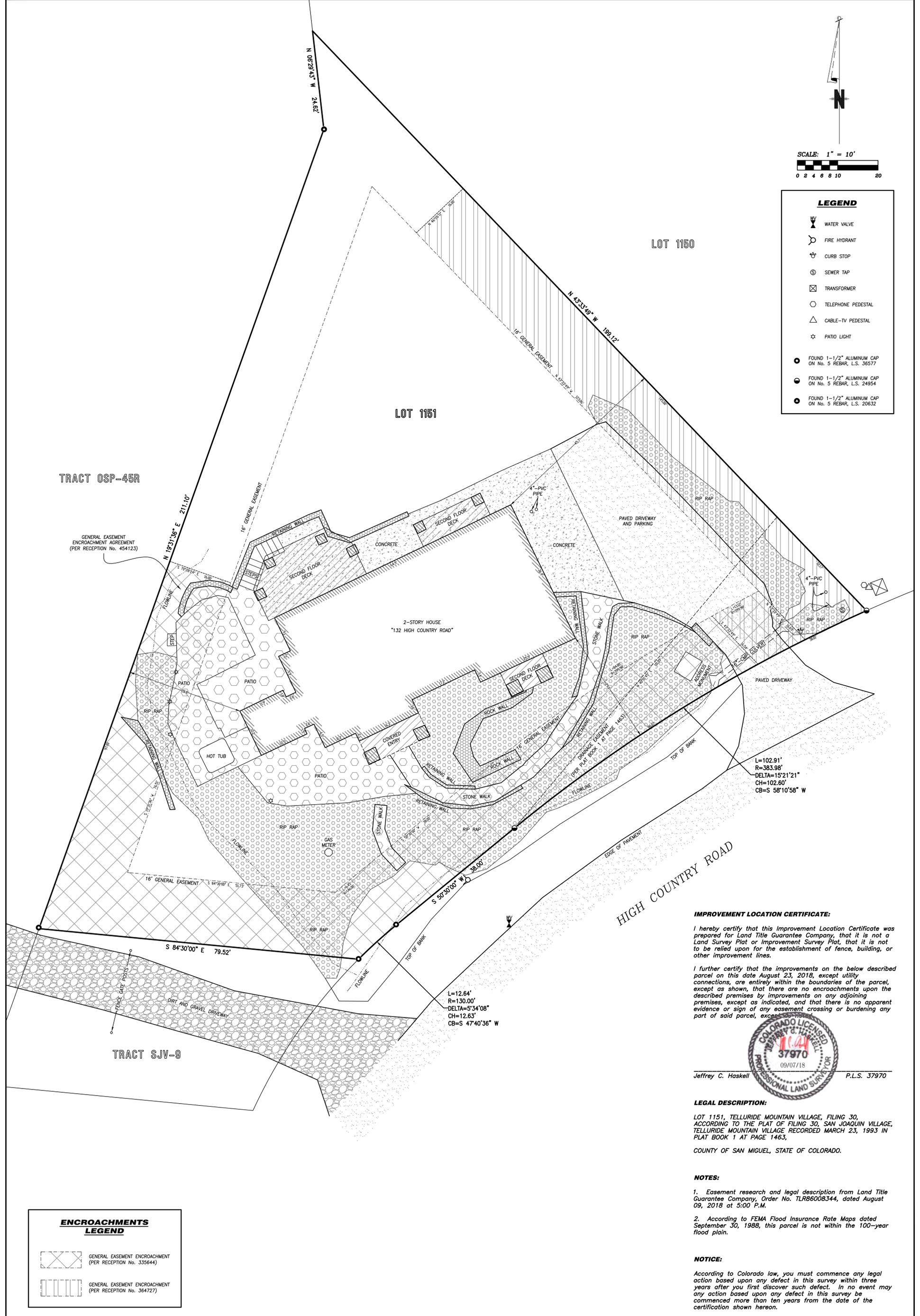
Contact:

Project No.	08
Drawn by	FD
Checked by	
Start date	
Proj. info.	10/12/08 08-01-18
Sheet No.	1
Project #	0808



**LEGEND**

- WATER VALVE
- FIRE HYDRANT
- CURB STOP
- SEWER TAP
- TRANSFORMER
- TELEPHONE PEDESTAL
- CABLE-TV PEDESTAL
- PATIO LIGHT
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 36577
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 24954
- FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 20632



TRACT OSP-45R

LOT 1150

LOT 1151

2-STORY HOUSE  
"132 HIGH COUNTRY ROAD"

HIGH COUNTRY ROAD

TRACT SJV-9

**IMPROVEMENT LOCATION CERTIFICATE:**

I hereby certify that this Improvement Location Certificate was prepared for Land Title Guarantee Company, that it is not a Land Survey Plat or Improvement Survey Plat, that it is not to be relied upon for the establishment of fence, building, or other improvement lines.

I further certify that the improvements on the below described parcel on this date August 23, 2018, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as shown.



Jeffrey C. Haskell P.L.S. 37970

**LEGAL DESCRIPTION:**

LOT 1151, TELLURIDE MOUNTAIN VILLAGE, FILING 30, ACCORDING TO THE PLAT OF FILING 30, SAN JOAQUIN VILLAGE, TELLURIDE MOUNTAIN VILLAGE RECORDED MARCH 23, 1993 IN PLAT BOOK 1 AT PAGE 1463, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**NOTES:**

- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86008344, dated August 09, 2018 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Maps dated September 30, 1988, this parcel is not within the 100-year flood plain.

**NOTICE:**

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**ENCROACHMENTS LEGEND**

- GENERAL EASEMENT ENCROACHMENT (PER RECEPTION No. 335644)
- GENERAL EASEMENT ENCROACHMENT (PER RECEPTION No. 364727)

**Improvement Location Certificate**  
Lot 1151, Town of Mountain Village,  
San Miguel County, Colorado.

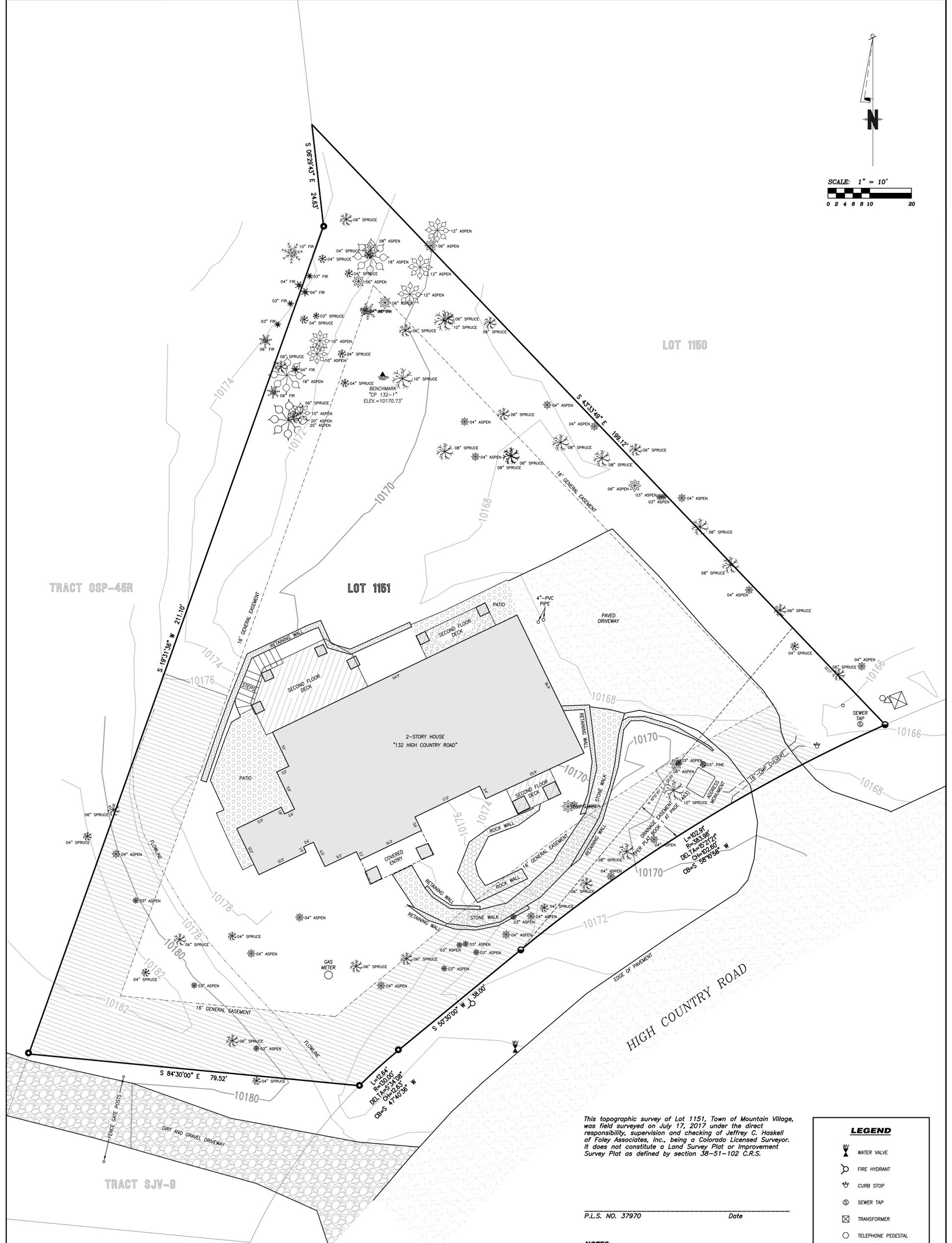
Project Mgr:	JH
Technician:	MC
Checked by:	KV
Start date:	08/23/2018



970-728-6153 970-728-6050 Fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435



SCALE: 1" = 10'  
 0 2 4 6 8 10 20



This topographic survey of Lot 1151, Town of Mountain Village, was field surveyed on July 17, 2017 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37970 \_\_\_\_\_ Date \_\_\_\_\_

- NOTES:**
- This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
  - Benchmark: Control point "CP 132-1", as shown hereon, with an elevation of 10170.73 feet
  - Contour interval is two feet.
  - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LEGEND	
	WATER VALVE
	FIRE HYDRANT
	CURB STOP
	SEWER TAP
	TRANSFORMER
	TELEPHONE PEDESTAL
	CABLE-TV PEDESTAL
	FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 36577
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	FOUND 1-1/2" ALUMINUM CAP ON No. 5 REBAR, L.S. 20632
	GENERAL EASEMENT ENCROACHMENT (PER RECEPTION No. 335644)

**Topographic Survey**  
 Lot 1151, Town of Mountain Village,  
 San Miguel County, Colorado.

Project Mgr:	JH
Technician:	MC
Checked by:	
Start date:	07/17/2017



970-728-6153 970-728-6050 Fax  
 P.O. BOX 1385  
 125 W. PACIFIC, SUITE B-1  
 TELLURIDE, COLORADO 81435

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**PLANNING & DEVELOPMENT SERVICES DEPARTMENT  
PLANNING DIVISION**

455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Design Review Board  
**FROM:** Sam Starr, Planner  
**FOR:** Meeting of October 4, 2018  
**DATE:** September 27, 2018  
**RE:** Consideration of an Initial Architectural Site Review application for a new single-family dwelling on Lot 649R Unit 8, 8 Boulders Way

**PROJECT GEOGRAPHY**

**Legal Description:** Lot 649R-8  
**Address:** 8 Boulders Way  
**Applicant/Agent:** Shift Architects  
**Owner:** Adam and Nancy Miller  
**Zoning:** Multi-Family Zone District  
**Existing Use:** Vacant Lot  
**Proposed Use:** Single-Family  
**Lot Size:** 0.075 Acres  
**Adjacent Land Uses:**

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Open Space

**ATTACHMENTS**

- Exhibit A: Applicant Narrative
- Exhibit B: Plan Set

**BACKGROUND**

In accordance with 17.4.3 of the Community Development Code (CDC), the applicant has applied for a Class 3 Initial Architectural Site Review for the development of a single-family residence. The proposed dwelling unit is located on Boulders Way and consists of 2,524 livable square feet with an 897 square foot garage. The site area consists of 0.075 acres and is a flat lot that matches most other lots in the Boulders development. There was a previous submittal for this property in 2004 but the project was never constructed. Applicants will be constructing a deed-restricted unit at this location.

**PROJECT SUMMARY**

<b>CDC Provision</b>	<b>Requirement</b>	<b>Proposed</b>
Maximum Building Height	35 + 5' (if gable form) maximum	38' 6.5"
Maximum Avg Building Height	30' + 5' (if gable form) maximum	33' 4.25"
Maximum Lot Coverage	65%	41%
<b>General Easement Setbacks</b>		
North	5' Setback	4' 8"
South	5' Setback	4' 4.5"
East	10' Setback	10' 4"
West	5' Setback	5' 1"
<b>Roof Pitch</b>		
Primary		8:12
Secondary		3:12
<b>Exterior Material</b>		
Stone	35%	38.75%
Wood	No requirement	52.38%
Windows/Doors	40% maximum for windows	8.87%
Metal Accents	No requirement	N/A
Parking	2 spaces per unit	1 enclosed 1 exterior

**17.3.12.C BUILDING HEIGHT LIMITS**

The average height for the proposed design is code compliant at 33' 4.25". The proposed maximum height is 38' 6.5", which falls within the maximum height allowed for a single family home with a gabled roof. To verify that the finished product matches the proposed plans, staff recommends that a monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review approval as it is a construction condition.

**17.5.5 BUILDING SITING DESIGN**

Lot 649R, Unit 8 is a small, 0.075 acre lot that slopes slightly upward on the western area of the parcel. In its current state, there is no vegetation or difficult terrain that requires consideration for siting; the only constraint for the design is the lot size. The applicant has proposed to place a portion of the home in the northern and southern setbacks. The driveway will also encroach into the western setback. The condominium map and declarations recorded on January 2003 are clear that: "no portion of any building, including but not limited to living garage and storage areas, overhangs and decks may encroach into any setback". Accordingly, staff recommends that the applicant revise the siting before Final Review to remove any encroachment into the Boulders setbacks. Staff also recommends that a monumented land survey of the footers be provided prior to pouring concrete to determine the accuracy of the building placement. This condition shall also be carried over to any Final Review approval as it is a construction condition.

**17.5.6 BUILDING DESIGN**

**Building Form and Exterior Wall Form**

The proposed building form and exterior wall form portray a mass that is thick and strong, with a heavy, thick grounded foundation. Moreover, the materials and form align with the character of the neighborhood.

**Roof Forms, Design and Materials**

The CDC states that the roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines, and vertical offsets. The primary roof form is an 8:12 offset gable roof, and the secondary roofs are 3:12 shed roofs. Applicant proposes to use a rusted standing seam for the roofing material. No chimneys were present on the submittal at the time of staff review.

**Exterior Wall Materials**

The exterior walls consist of 38.75% stone veneer, which will be a mix of a gray quartzite of varying dimensions, and 52.38% 8” vertical wood siding with matching fascia. The remainder of the building materials will consist of fenestration.

**17.5.7 GRADING AND DRAINAGE PLAN**

The applicant has provided a grading and drainage plan prepared by Telluride Engineering, LLC for the proposed development. Positive drainage away from the structures has been provided with all disturbed areas and to have final grades which will match existing grades on the property.

**17.5.8 PARKING REGULATIONS**

The applicant shows one (1) enclosed and one (1) exterior parking space, which is consistent with the requirements for a Single Family Common Interest Community. The applicant has not indicated that there will be snowmelt on the driveway.

**17.5.9 LANDSCAPING REGULATIONS**

The applicant has submitted a landscape plan that shows 8 new Aspen and 11 new indigenous shrubs. All plantings will need to be in compliance with Table 5-4 of the CDC: Table 5-4, Minimum Plant Size Requirements

<b>Landscaping Type</b>	<b>Minimum Size</b>
Deciduous Trees –Single Stem	3 inches caliper diameter at breast height (“dbh”)
Deciduous Trees – Multi-stem	2.5 inches dbh
Evergreen Trees –Single-family lots	8 to 10 feet in height, with 30% 10 feet or larger.
Evergreen Trees – Multi-family lots	8 to 12 feet in height, with 30% 12 feet or larger.

No irrigation plan has been submitted. Town staff have determined that a wildfire mitigation plan is not required for this lot, given the size and location of this property.

**17.5.11 UTILITIES**

All shallow utilities are proposed to be run from the eastern portion of the lot from Boulders Way. Public Works requests that all utilities be field located by the contractor prior to construction.

**17.5.12 LIGHTING REGULATIONS**

Applicant proposes 6 exterior lights. The placement of lighting is code compliant, and the locations include: decks, exterior egress areas, and the entryway. The proposed fixture is a ARIA dark sky sconce, in buckeye bronze color. The Design Review Board will need to deliberate on the appropriateness of bulb and lighting capacity.

### **17.7.19 CONSTRUCTION MITIGATION**

All construction staging is within the lot boundaries, and the fencing is on the setback line. However, the construction staging plan does show construction parking and disturbance in the setbacks and Boulders Way Right of Way. Staff finds this disturbance is necessary given the size constraints of the site but recommends that the architect and applicant work with neighborhood members to address further concerns.

### **RECOMMENDATION**

Staff recommends the DRB approve the Initial Architecture Site Review application with the stated variations and specific approvals for Lot 649R Unit 8 with the following conditions which shall be addressed before Final Review hearing unless otherwise noted:

1. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. This condition shall be carried over to any Final Review Approval as it is a construction condition.
2. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no encroachments into the GE. This condition shall be carried over to any Final Review Approval as it is a construction condition.
3. Applicant revise the home design prior to Final Review in a manner that removes any encroachments into the setbacks.
4. Applicant revise the construction mitigation plan to include a detailed parking schedule for additional contractors and workers.

Date: August 30, 2018  
By: Kristine Perpar, Architect

Property address:

Unit 8 Boulders  
Lot 649R  
Telluride, CO 81435

**Sent to:** MV DRB

**Re:** Development of a Single Family Residence

Dear Mountain Village Design Review Board,

The proposed home for Unit 8; Lot 649R is was designed for sensitivity of the restricted site, neighbors and the existing topography.

Unit 8 is currently vacant of structures and trees. The building site is essentially flat with a slight slope at the west end.

Exterior elevations, plans and roof are simple in form. Main roof is a gable with an 8:12 pitch with shed roofs to the north at 3:12 pitch. Exterior materials; stone, metal and wood accents were selected for their sensitivity to the environment and for durability.

The proposed landscape plan is simple. Aspen trees to be planted on the north and east side of the structure with perennial gardens around the entry.

Sincerely,



Kristine Perpar

## GENERAL NOTES

### CONTRACT DOCUMENTS:

CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE.

### ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

### CODE COMPLIANCE:

ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS, AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

### INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

### COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

### SUBSTITUTIONS:

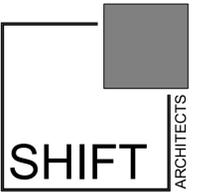
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

### SHOP DRAWINGS:

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

### SAFETY & PROTECTION OF WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
8.29.18  
DRB SUBMITTAL

## PROJECT CODE INFORMATION

ZONING	TOWN OF MOUNTAIN VILLAGE; RESIDENTIAL
BUILDING CODE	IRC 2012
DESCRIPTION	MULTI STORY SINGLE FAMILY RESIDENTIAL

## PROJECT CDC INFORMATION

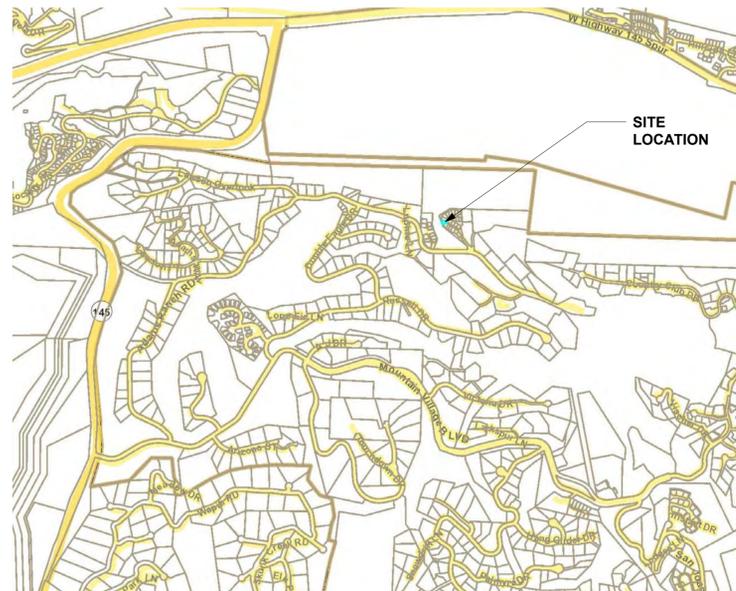
TYPE OF UNIT	SINGLE FAMILY HOME
TOTAL BUILDING GROSS AREA	3421.9 SF
LIVING	2524.6 SF (L1 - 447.2, L2 - 1223.5, L3 - 853.9)
DECK	190.4 SF (L1 - 32, L2 - 158.4)
GARAGE	897.3 SF
LOT SIZE	3278.7 SF
LOT COVERAGE	1344.5 SF (41% COVERED)
MAX BUILDING HEIGHT	37'-6 1/2"
AVERAGE HEIGHT	32'-4 1/4"
PARKING REQUIRED	2 SPOTS

## SHEET INDEX

### ARCHITECTURAL

A0.0	COVER SHEET
A1.0	SURVEY
A1.1	SITE PLAN
A1.2	LANDSCAPE PLAN
A1.3	CONSTRUCTION MITIGATION PLAN
A3.1	FLOOR PLANS
A3.2	FLOOR PLANS
A3.3	FLOOR PLANS
A3.4	ROOF PLAN
A4.1	ELEVATIONS
A4.2	ELEVATIONS
A4.3	ELEVATION RENDERED
A5.1	SECTIONS
A5.2	SECTIONS
A8.1	DOOR & WINDOW SCHEDULES
LTG1.1	LIGHTING PLANS

## VICINITY MAP



## PROJECT TEAM

### OWNER:

ADAM & NANCY MILLER  
PO BOX 2474  
TELLURIDE, CO 81435  
P. 970.389.8053

### SURVEYOR:

FOLEY ASSOCIATES INC.  
125 W PACIFIC AVE STE. B-1  
TELLURIDE, CO 81435  
P. 970.728.6153  
F. 970.728.6050

### ARCHITECT:

SHIFT ARCHITECTS  
100 WEST COLORADO STE. 211  
TELLURIDE, CO 81435  
P. 970.275.0263  
kristine@shift-architects.com

### GENERAL CONTRACTOR:

ADAM MILLER CONSTRUCTION  
PO BOX 2474  
TELLURIDE, CO 81435  
P. 970.389.8053

### STRUCTURAL:

TELLURIDE ENGINEERING  
JACK GARDNER  
PO BOX 4045  
TELLURIDE, CO 81435  
P. 970.728.5440  
jgpe@wildblue.net

MILLER RESIDENCE

BOULDERS #6, LOT 649R  
MOUNTAIN VILLAGE, CO 81435

COVER SHEET

SHEET NUMBER

A0.0



**LEGEND**

- FOUND 1-1/2" ALUMINUM CAP ON #5 REBAR, L.S. 24954

North arrow pointing up.

SCALE: 1"=4'

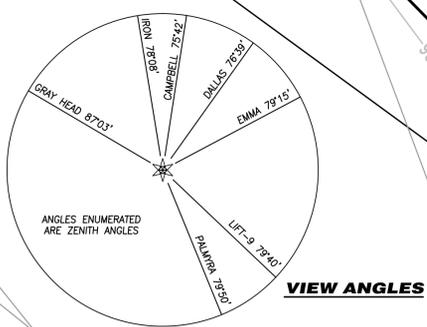
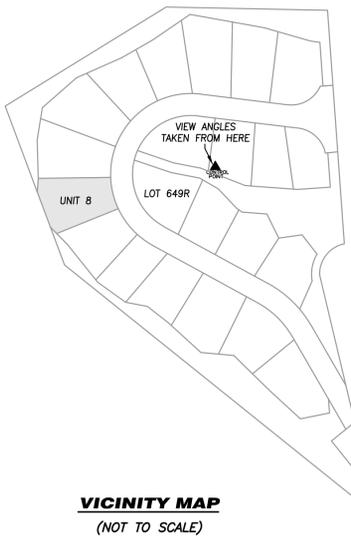
Graphic scale bar from 0 to 8 feet.

This topographic survey of Lot 8, The Boulders, was field surveyed on April 08, 2014 and updated on August 29, 2018 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

- NOTES:**
- This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
  - Benchmark: Property corner "FOUND 24954", as shown hereon, with an assumed elevation of 9083.00 feet.
  - Contour interval is one foot.
  - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



**Topographic Survey**  
**Lot 8, The Boulders, Town of Mountain Village, San Miguel County, Colorado.**

Project Mgr:	JH
Technician:	MC
Checked by:	
Start date:	08/18

**FOLEY ASSOCIATES, INC.**  
ENGINEERING · PLANNING · SURVEYING

970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

**MILLER RESIDENCE**

BOULDERS #6, LOT 649R

SITE PLAN

SHEET NUMBER

TRACT OSP-22

**1 SITE PLAN**  
 1/4" = 1'-0"







**GENERAL NOTES:**

1. ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
2. ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
3. NECESSARY TREES SHALL BE STAKED WITH 4' METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

**NOXIOUS WEEDS:**

1. ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

**LANDSCAPE MAINTENANCE NOTES:**

1. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
2. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
3. ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
4. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

**REVEGETATION NOTES:**

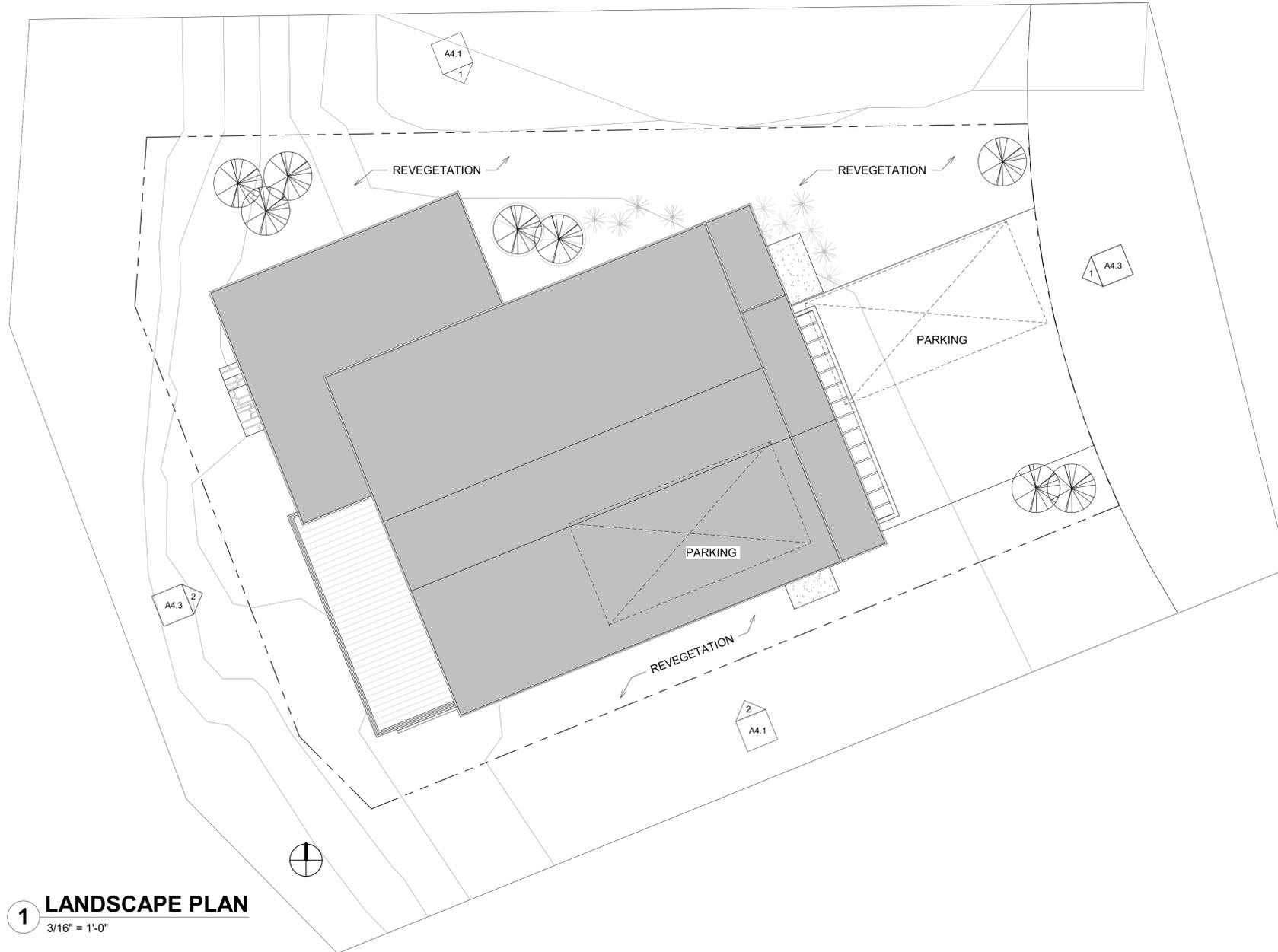
1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
4. AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
5. BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
6. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
7. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

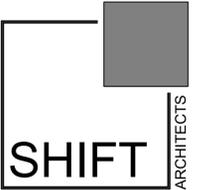
**LANDSCAPE LEGEND**

	CONCRETE PAVERS		INDIGENOUS SHRUBS
	FENCE		PROPOSED ASPEN TREE
	FENCE; WOOD		EXISTING ASPEN TREE TO BE REMOVED
	METAL GATE TO MATCH FENCE		EXISTING EVERGREEN TREE TO REMAIN
	METAL PLANTING BED WALL		EXISTING EVERGREEN TREE TO BE REMOVED
	REVEGETATE W/ NATIVE GRASS		
	DISTURBED AREAS		
	MULCH LANDSCAPE BEDDING		
	PERENNIAL BEDDING		
	FLAGSTONE		
	STONE PAVER		
	SNOW MELT AREAS		

**NOTE:**  
ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.



**1 LANDSCAPE PLAN**  
3/16" = 1'-0"



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www.shift-architects.com

DATE:  
8.29.18  
DRB SUBMITTAL

MILLER RESIDENCE

BOULDERS #6, LOT 648R

LANDSCAPE PLAN

©shift architects

SHEET NUMBER



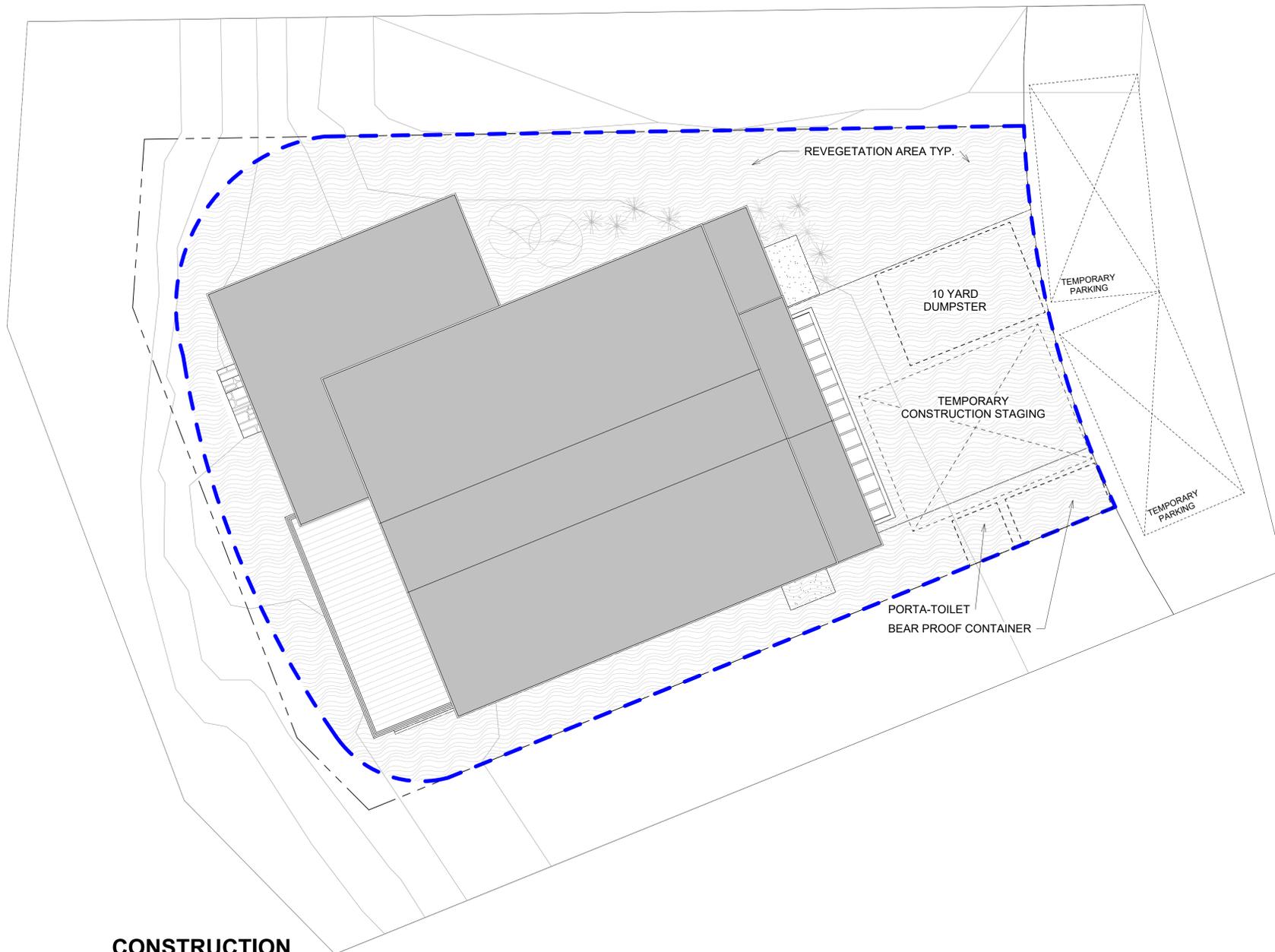
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A1.2

### CONSTRUCTION MITIGATION LEGEND

	LIMITS OF CONSTRUCTION		EXISTING ASPEN TREE TO REMAIN
	TEMPORARY PARKING		EXISTING EVERGREEN TREE TO REMAIN
	REVEGETATION AREAS		
	CONSTRUCTION FENCING		
	UTILITY / SEWAGE TRENCH		
	DRAINAGE PATH		

1. ALL DEVELOPMENT SHALL COMPLY WITH CDC CONSTRUCTION MITIGATION REGULATIONS.
2. COORDINATE LOCATION OF PORTA TOILET, TRASH, RECYCLE, MATERIAL STORAGE AND PARKING WITH THE TOWN OF MOUNTAIN VILLAGE.
3. ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.



**1 CONSTRUCTION MITIGATION PLAN**  
 3/16" = 1'-0"



**MILLER RESIDENCE**

BOULDERS #6, LOT 648R

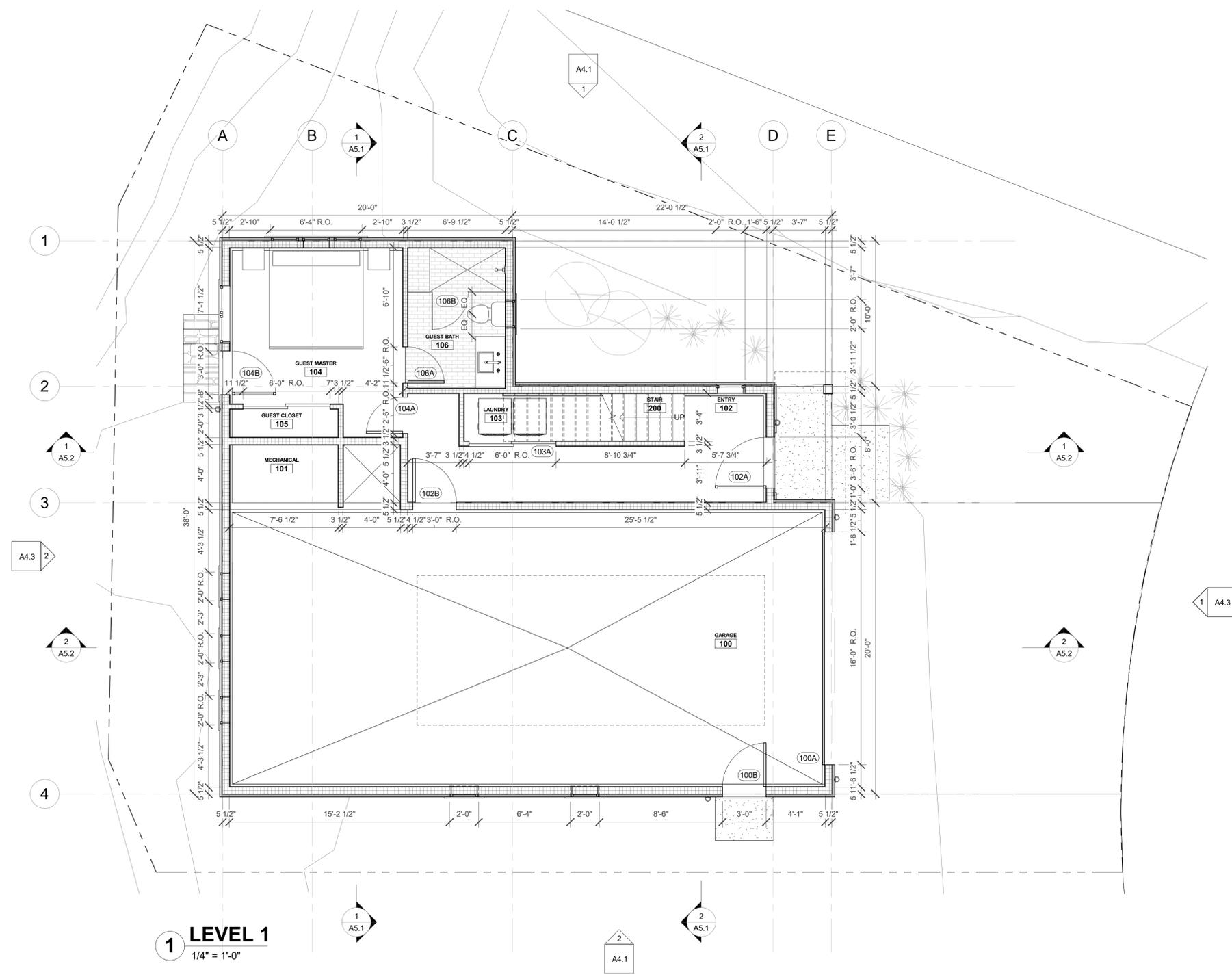
CONSTRUCTION MITIGATION PLAN

©shift architects

SHEET NUMBER

**A1.3**

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**1 LEVEL 1**  
1/4" = 1'-0"

**GENERAL FLOOR PLAN NOTES:**  
All window and door location in the existing historical house to be revisited upon removal of drywall.  
**Dimensions:**  
All dimensions are to structure (stud, concrete, etc).  
Any discrepancies revealed upon demolition are to be brought to the attention of the architect.

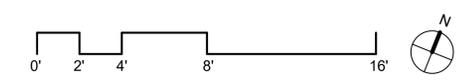
**MILLER RESIDENCE**

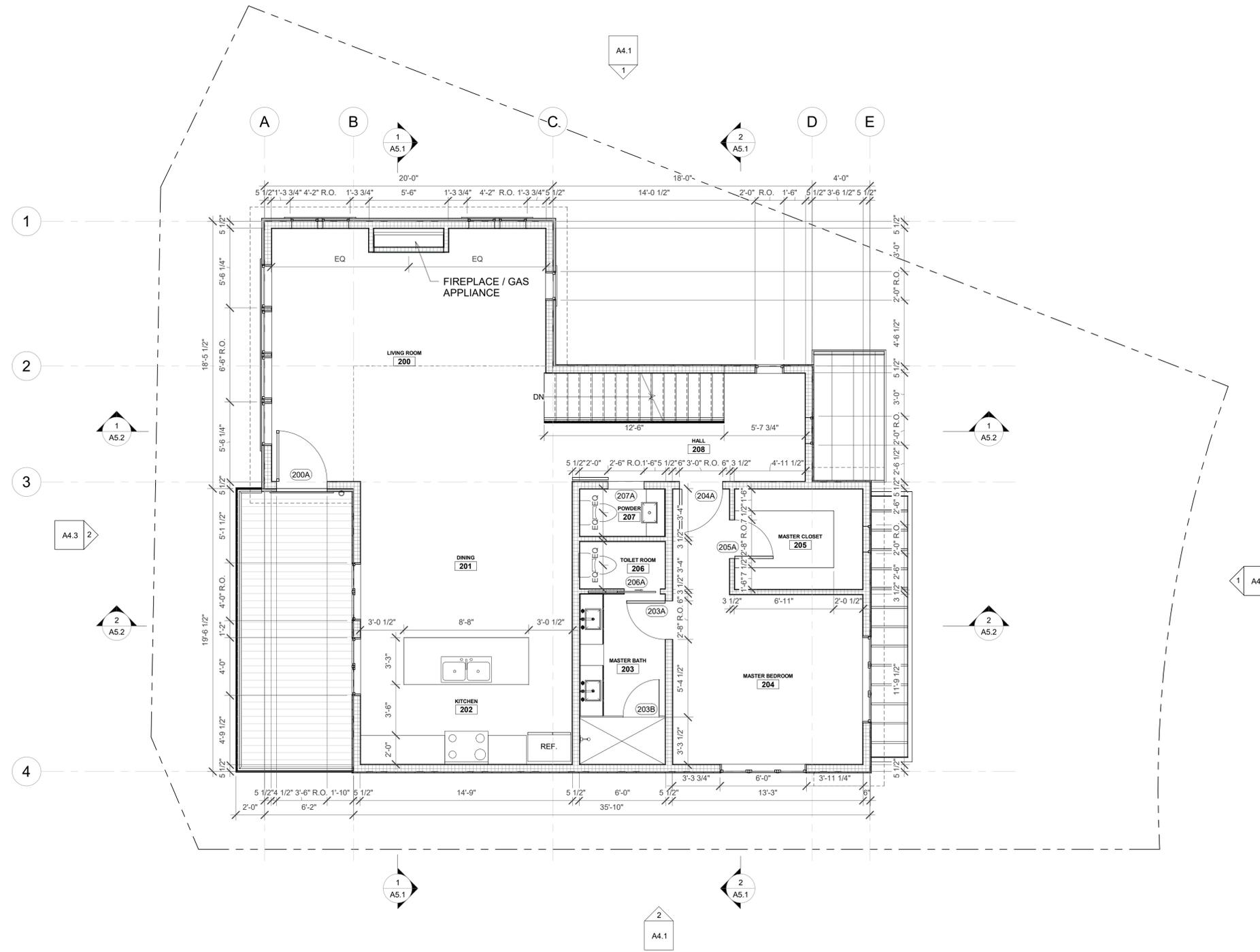
BOULDERS #6, LOT 649R

FLOOR PLANS

SHEET NUMBER

**A3.1**





**1 LEVEL 2**  
 1/4" = 1'-0"

**MILLER RESIDENCE**

BOULDERS #6, LOT 648R

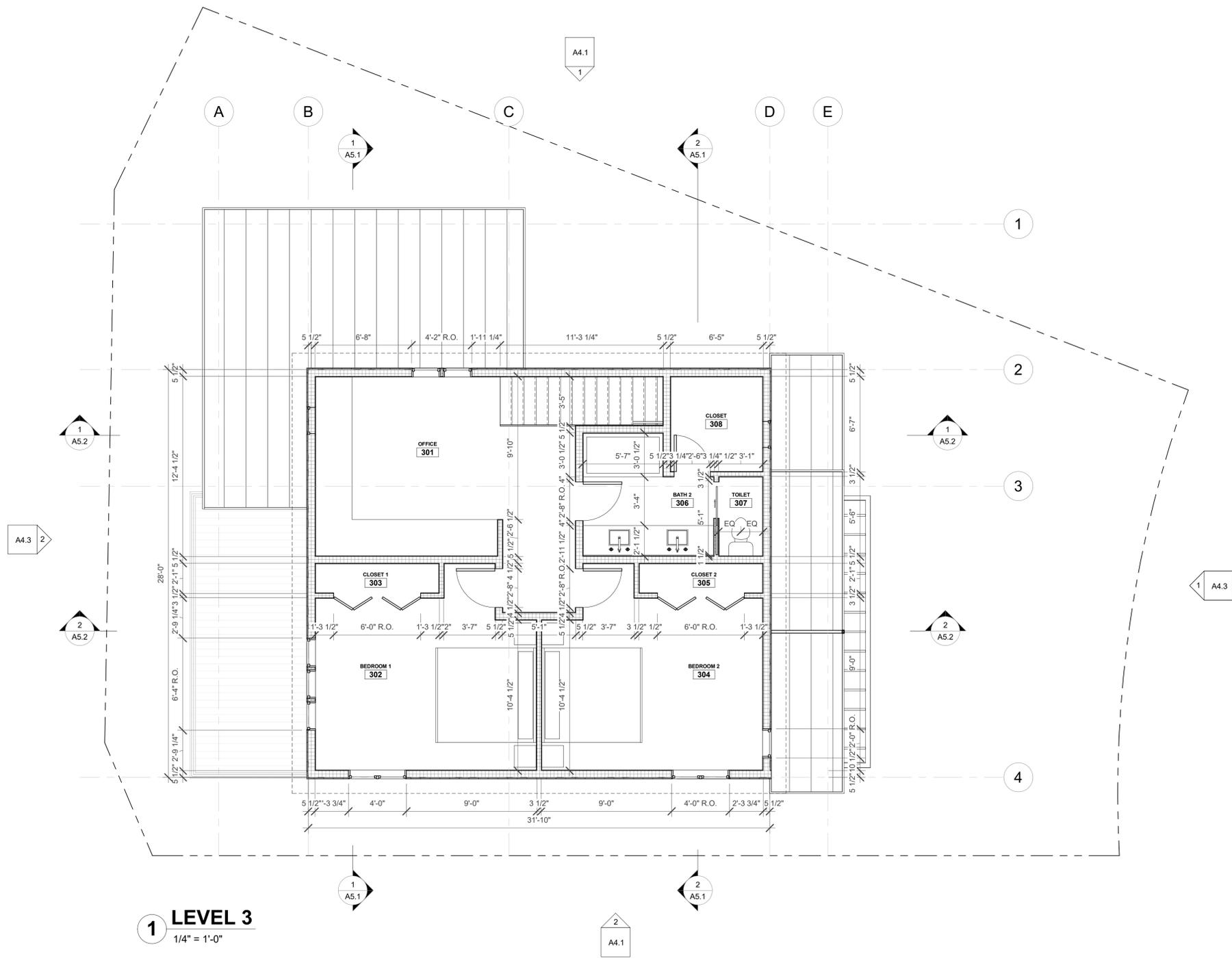
FLOOR PLANS

©shift architects

SHEET NUMBER

**A3.2**





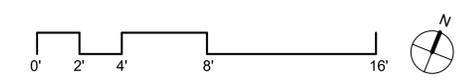
**MILLER RESIDENCE**

BOULDERS #6, LOT 649R

FLOOR PLANS

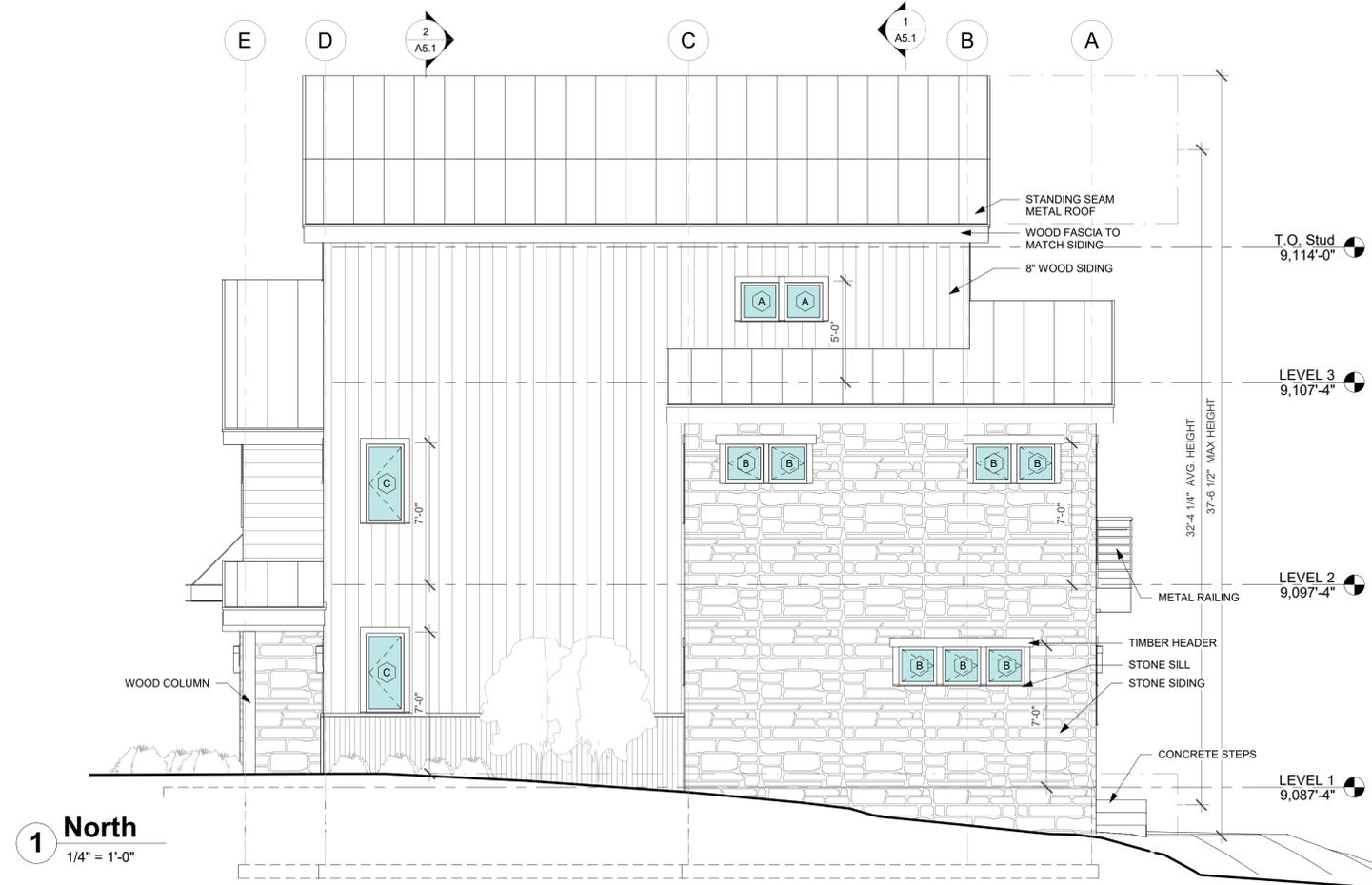
SHEET NUMBER

**A3.3**



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**1 North**  
1/4" = 1'-0"

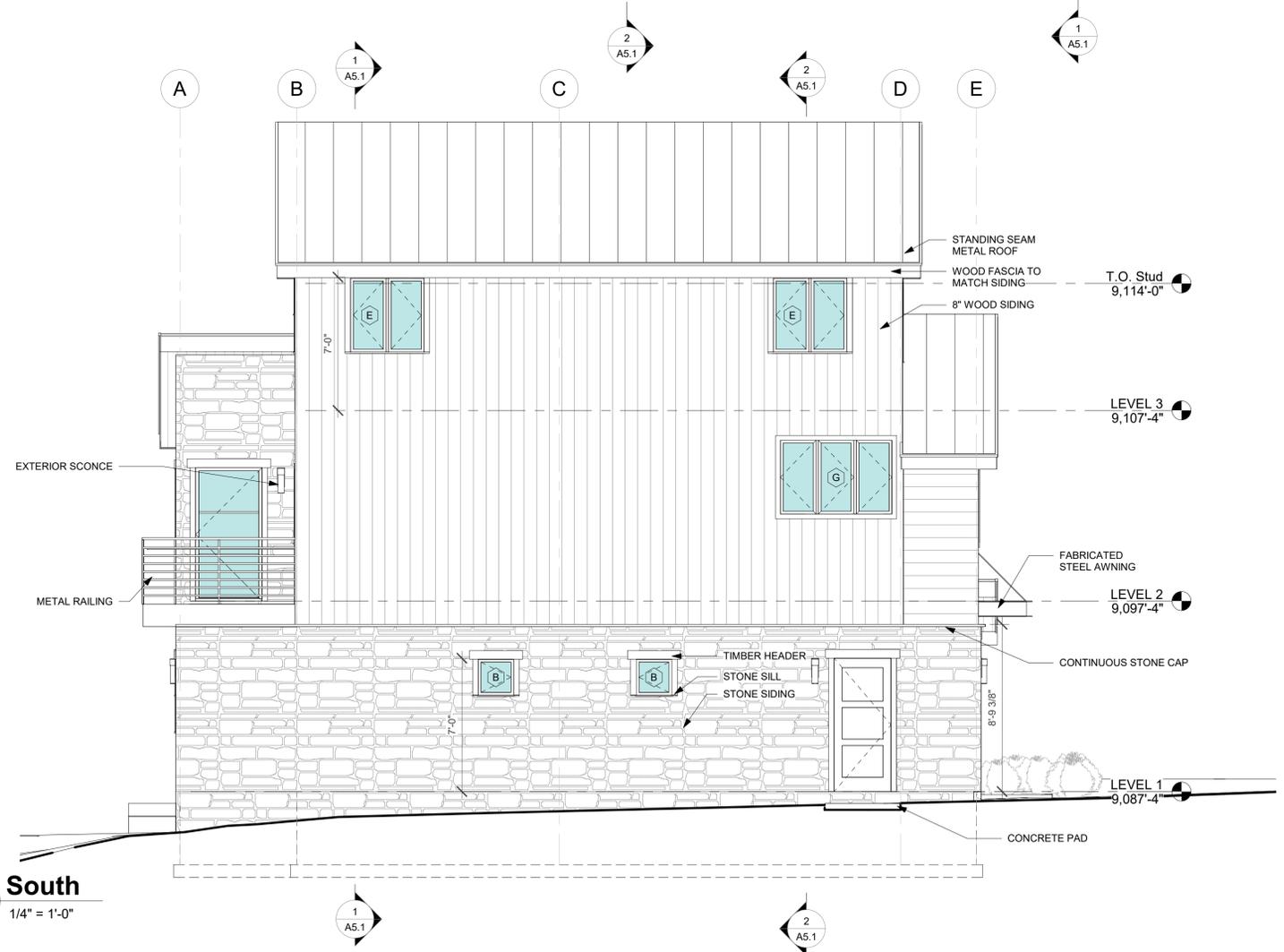
**GENERAL ELEVATION NOTES:**

All window and door location in the existing historical house to be revisited upon removal of drywall. A meeting to be scheduled with HARC to determined historical locations.

**Existing Siding:**  
All existing siding to be preserved. Repair deteriorated siding by patching or piecing in where necessary.

**Window Trim:**  
First Repair; if necessary replace all exterior window trim to match historical window trim.

**Framing:**  
Sister existing framing and brace where necessary



**2 South**  
1/4" = 1'-0"

**MATERIAL CALCULATIONS**

Elevation	Stone	Wood	Glass	Total
WEST	515.49	391.86	165.36	1072.71
SOUTH	444.41	602.59	73.2	1120.2
NORTH	400.7	595.97	48.91	1045.58
EAST	231.75	561.94	77.15	870.84
<b>Total</b>	<b>1592.35</b>	<b>2152.36</b>	<b>364.62</b>	<b>4109.33</b>
<b>Percentage</b>	<b>38.75%</b>	<b>52.38%</b>	<b>8.87%</b>	<b>100.00%</b>

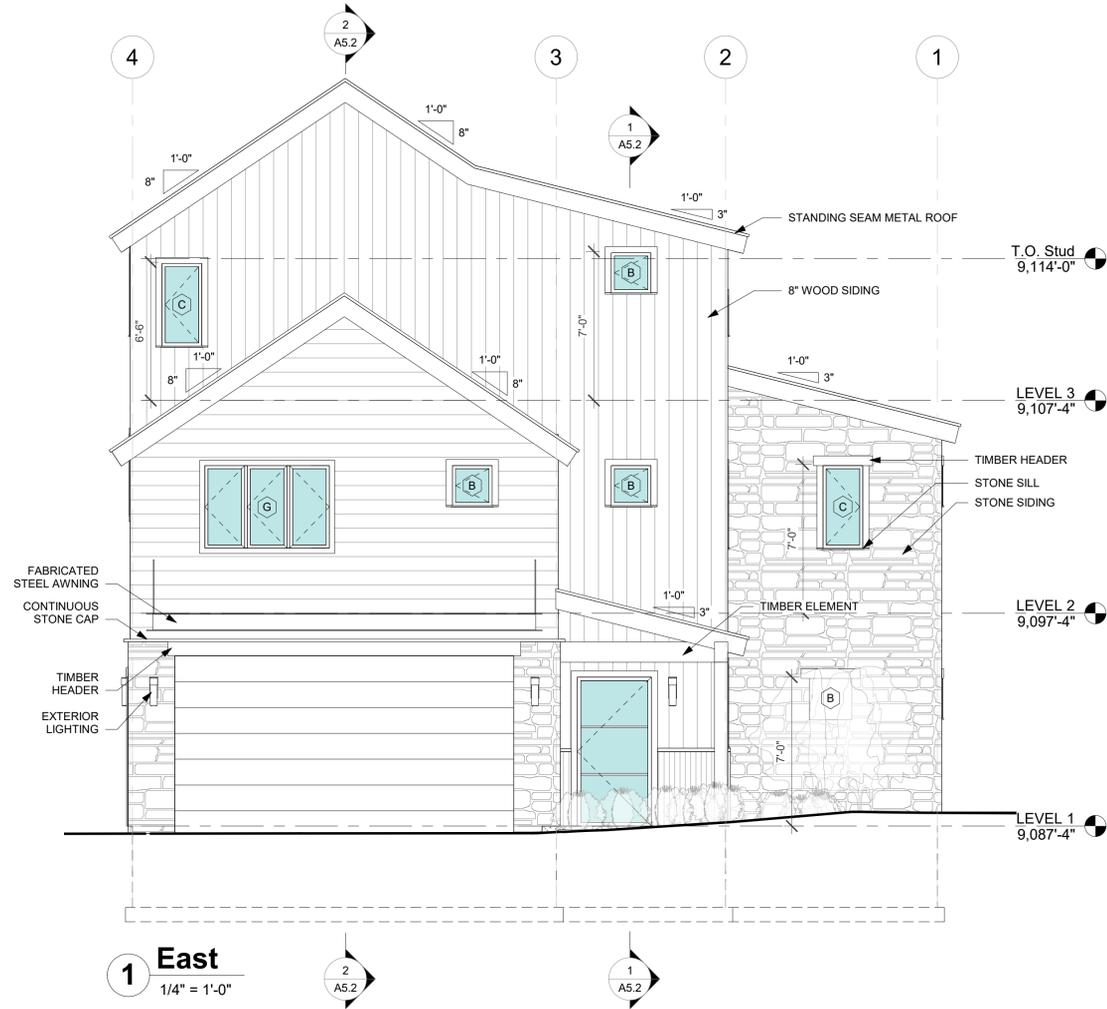
**MILLER RESIDENCE**

BOULDERS #6, LOT 649R

**ELEVATIONS**

SHEET NUMBER

**A4.1**



**1 East**  
 1/4" = 1'-0"



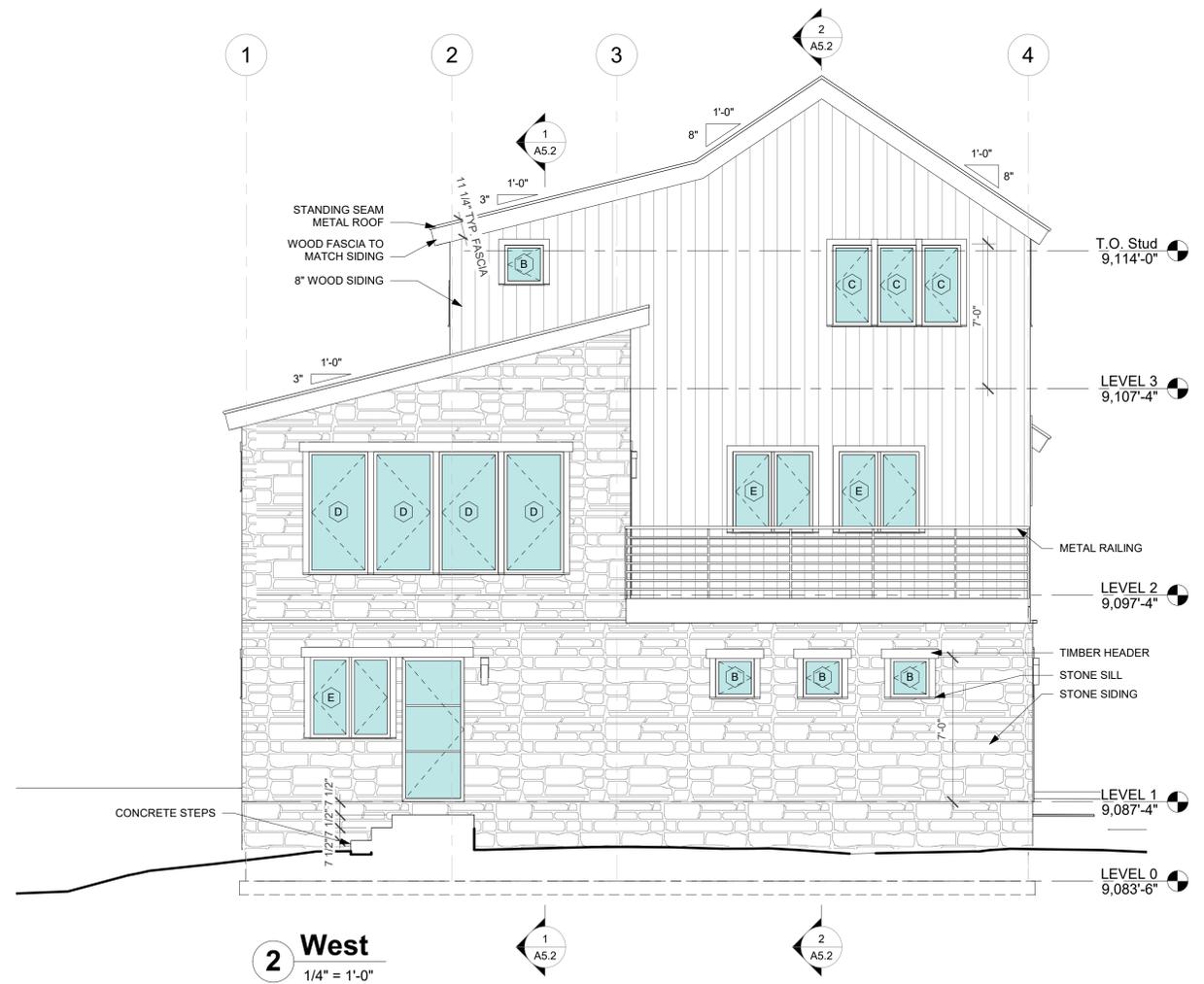
STONE VENEER



RUSTED STANDING SEAM



WOOD SIDING



**2 West**  
 1/4" = 1'-0"

**MILLER RESIDENCE**

BOULDERS #6, LOT 649R

ELEVATIONS

SHEET NUMBER

**A4.2**

MILLER RESIDENCE

BOULDERS #6, LOT 649R

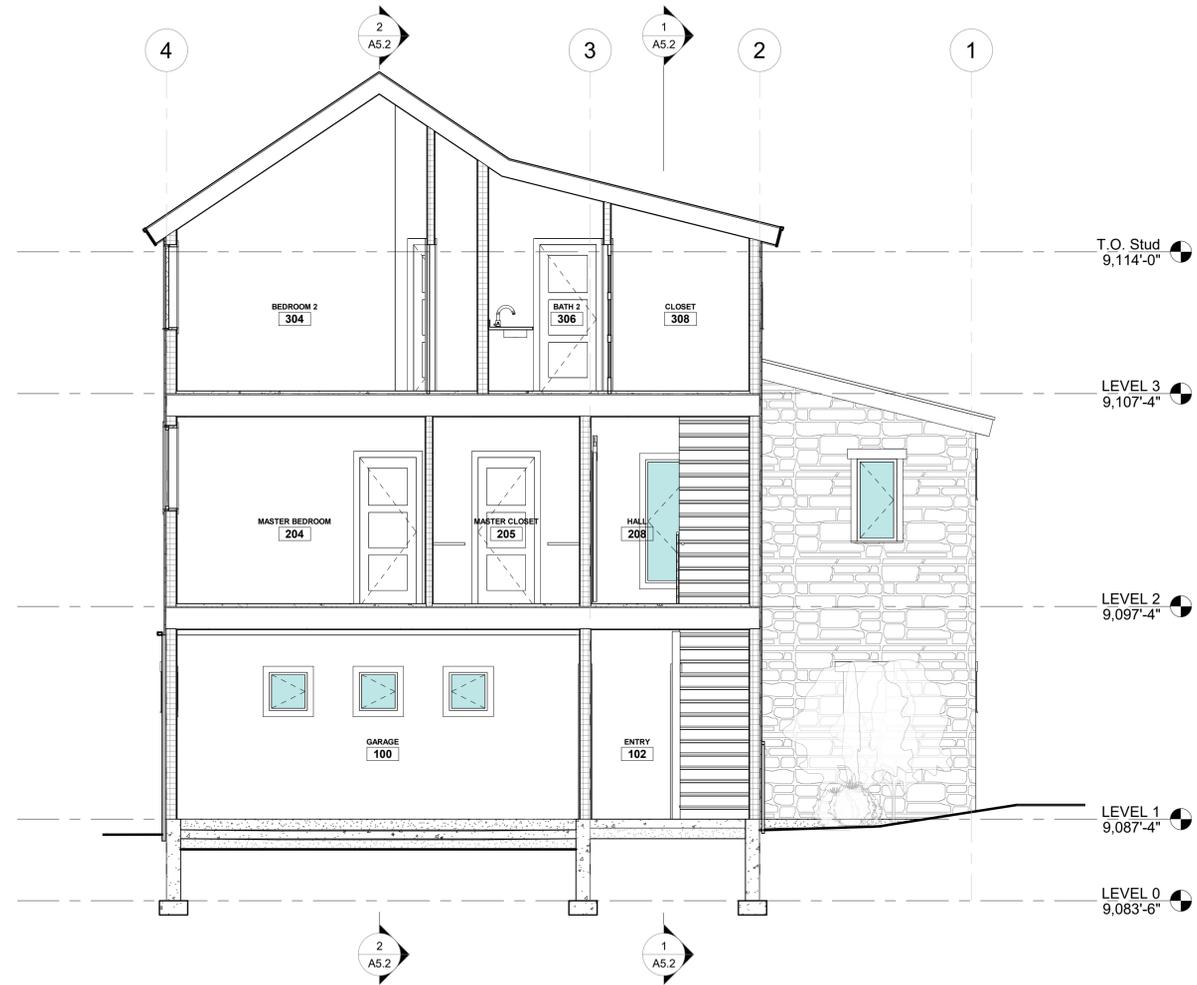
SECTIONS

SHEET NUMBER

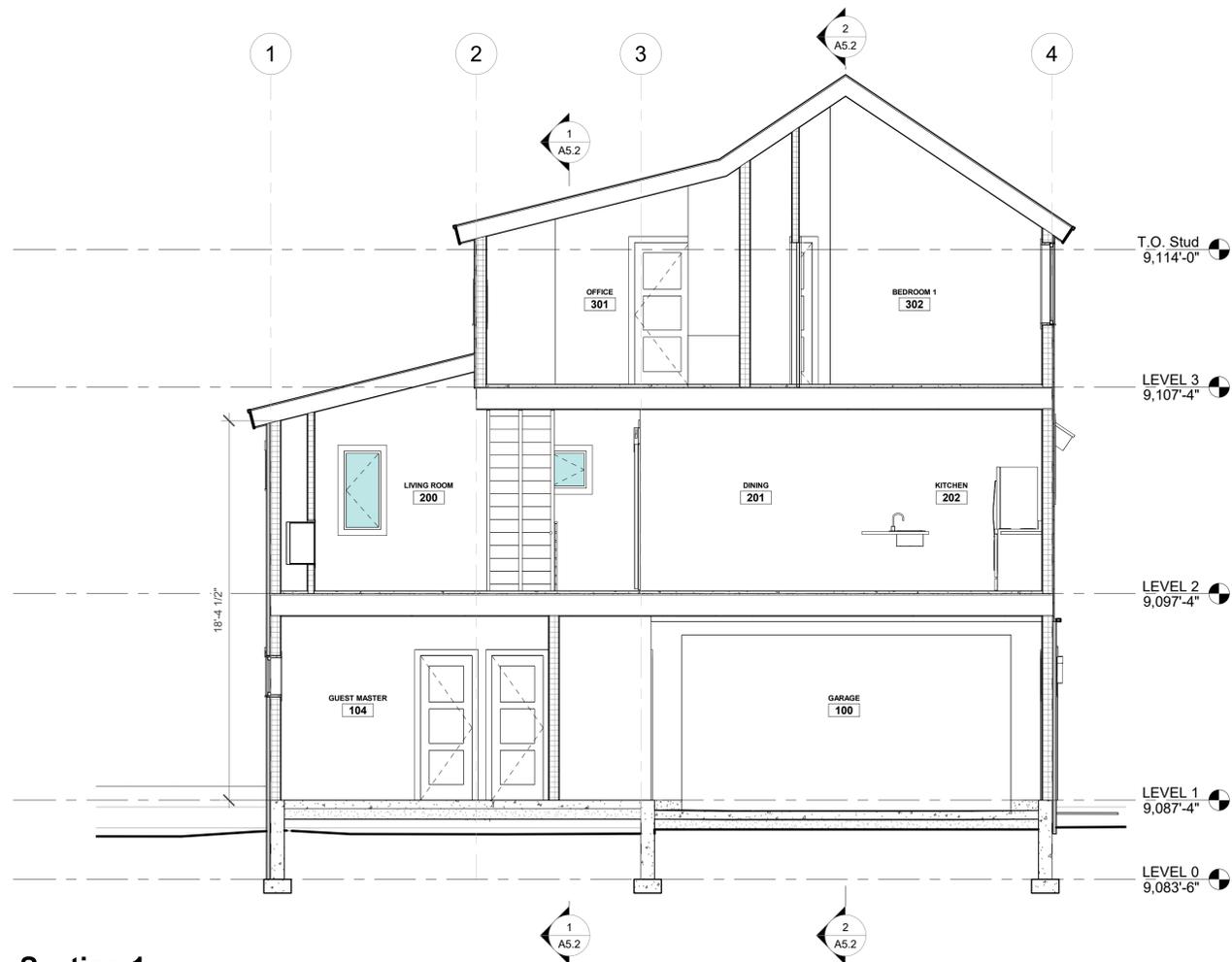
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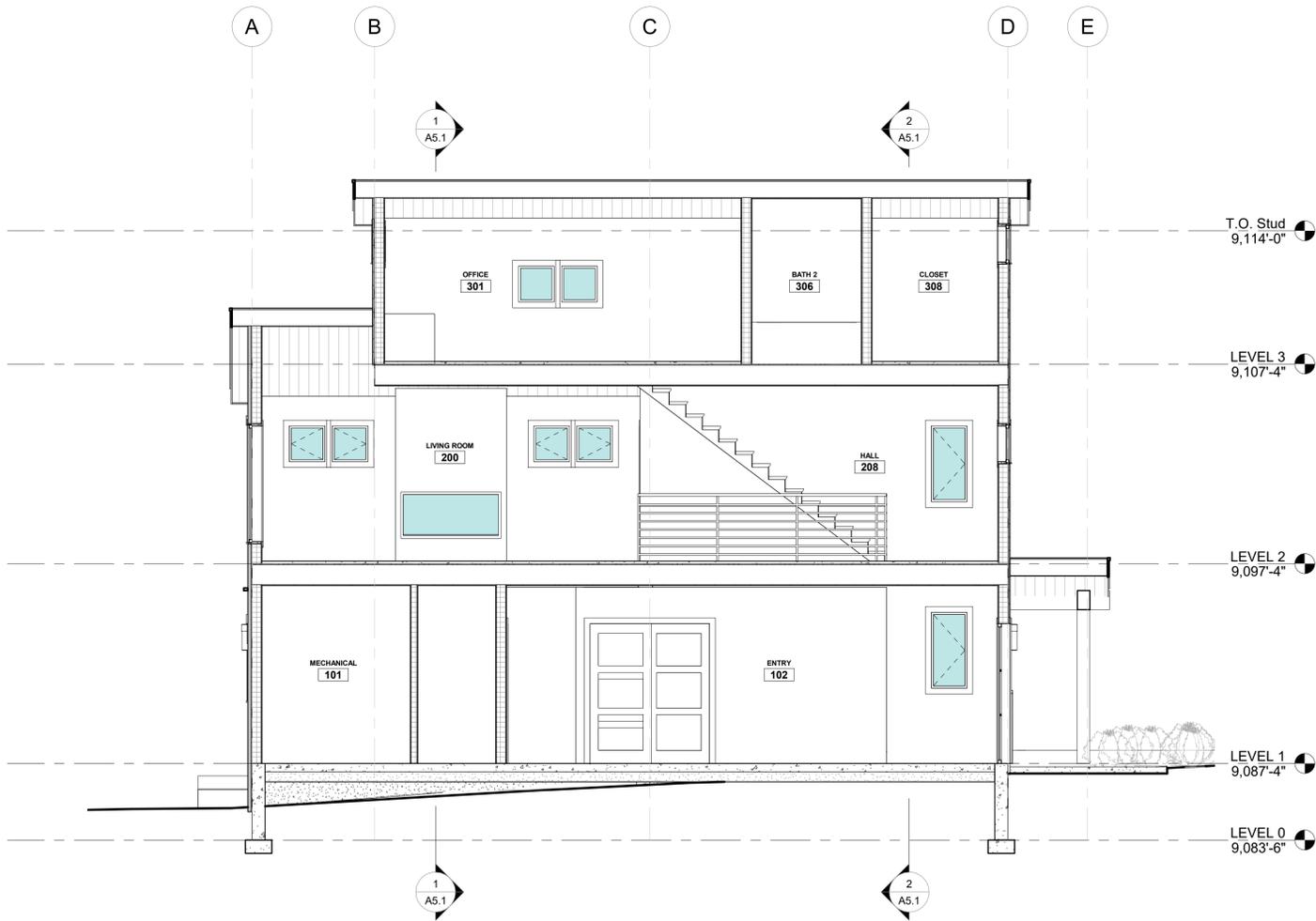
©shift architects



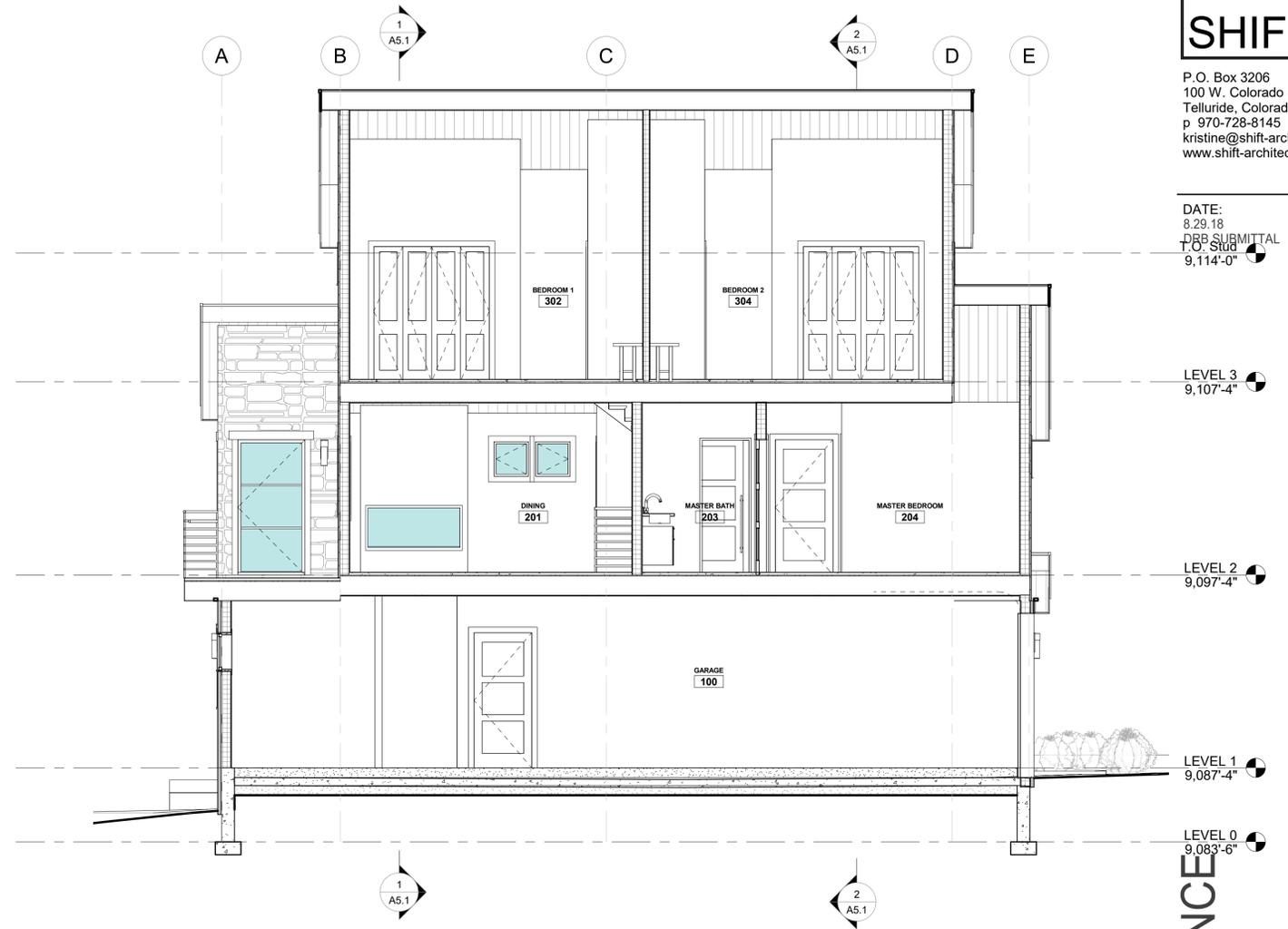
**2 Section 2**  
 1/4" = 1'-0"



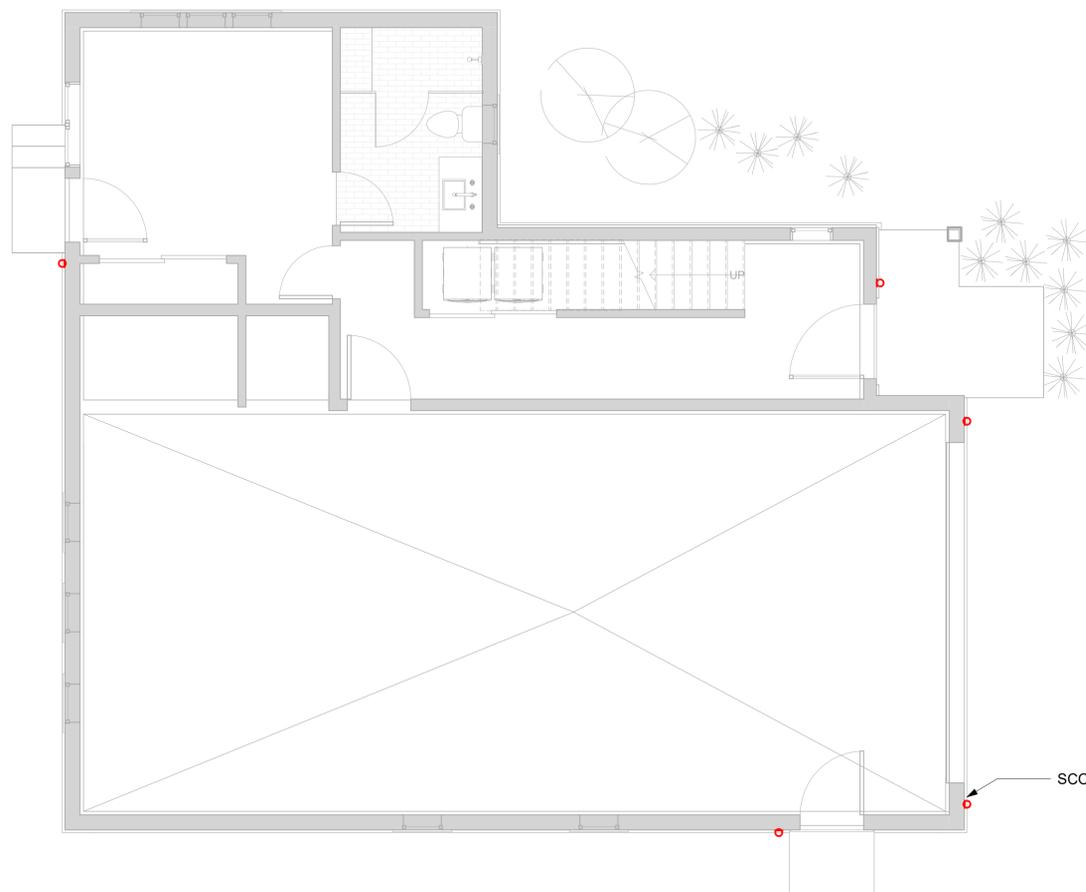
**1 Section 1**  
 1/4" = 1'-0"



**1 Section 3**  
 1/4" = 1'-0"



**2 Section 4**  
 1/4" = 1'-0"



**FIXTURE A:**  
EXTERIOR DARK SKY SCONCE, TYPICAL

<b>ARIA 2300KZ-GU24</b>	
BUCKEYE BRONZE	
MATERIAL	ALUMINUM
GLASS	STAINLESS STEEL MESH SHADE
WIDTH	5.0"
HEIGHT	14.0"
EXTENSION	6.8"
TTO	5.0"
BACKPLATE HEIGHT	8.3"
BACKPLATE WIDTH	4.5"
BULB	ONE 26W GU24 (2700 K)
VOLTAGE	120V
UPC	640665230079

SCONCE, FIXTURE A TYP

**1** Exterior Lighting Plan Level 1  
1/4" = 1'-0"



SCONCE, FIXTURE A TYP

**2** Exterior Lighting Plan Level 2  
1/4" = 1'-0"



To: DRB

10-4-2018

From #19 Boulders Way  
Re: Boulders #8 - new project

Dear DRB members,

We have reviewed the plans + staging plan. From our past experience with numerous homes in our neighborhood being built in the past we are concerned about staging.

2 cars, foundation + all materials to all fit on that small is quasi-unrealistic.

Where are all the vehicles that come with construction mill park?

Thank you

Jolana Vaneck + Richard Thope  
Boulders #19

LOT AR-49  
116 ADAMS WAY  
TELLURIDE MOUNTAIN VILLAGE  
AUGUST 1, 2018

1 X 10 V GROOVE SPRUCE  
SHIPLAP SIDING

FLAT BLACK  
EPOXY PAINTED  
CORROGATED STEEL

GREEN COLORED STEEL  
ROOFING & SIDING

WINDOW CLADDING  
CLASSIC COPPER  
SIERRA PACIFIC WINDOWS

DECK & ROOF FLASHING  
METAL SALES  
COPPER PENNY

GARAGE DOOR & DECK PICKET  
STEEL  
RECLA METALS VINTAGE SKIN

ROUGH-CUT FIR BEAMS  
AND TRIM

