

**TOWN OF MOUNTAIN VILLAGE
SPECIAL DESIGN REVIEW BOARD MEETING
AGENDA**

**THURSDAY DECEMBER 17, 2020 11:30 AM
MOUNTAIN VILLAGE TOWN HALL**

455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO

TO BE HELD <https://us02web.zoom.us/j/87942274914?pwd=L2ZPajYrSU5mT0xSZFlhQ3RuWldzdz09>

(see login details below)

	Time	Min.	Presenter	Type	
1.	11:30	5	Chair		Call to Order
2.	11:35	60	Miller Applicant	Work Session	Discussion regarding a Conceptual work session for Lot 165-6, 160 Cortina Drive, to develop a new Single-Family Common Interest residence, pursuant to CDC sections 17.4.6, 17.4.11, and 17.4.16.
3.	12:35		Chair		Adjourn

Topic: December 17, 2020 Special DRB Meeting
Time: Dec 17, 2020 11:30 AM Mountain Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/87942274914?pwd=L2ZPajYrSU5mT0xSZFlhQ3RuWldzdz09>

Dial by your location

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 301 715 8592 US (Washington D.C)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

Meeting ID: 879 4227 4914

Passcode: 133277

Find your local number: <https://us02web.zoom.us/u/kGNERcPBQ>

Consistent with Resolution No. 2020-0514-10 regarding virtual (electronic) meetings, written testimony shall be submitted to cd@mtnvillage.org and must be received no later than 48 hours prior to the public hearing. Oral testimony, for those wishing to testify, must register by sending an email to cd@mtnvillage.org at least one hour prior to the agendized hearing.

Please note that this Agenda is subject to change. (Times are approximate and subject to change)

455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435

Phone: (970) 369-8242

Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: cd@mtnvillage.org. We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).



TO: Mountain Village Design Review Board

FROM: John Miller, Senior Planner

FOR: Meeting of December 17, 2020

DATE: December 10, 2020

RE: Discussion regarding a Conceptual work session for Lot 165-6, 160 Cortina Drive, to develop a new Single-Family Common Interest residence and consideration of a Variance to the CDC height provisions, pursuant to CDC sections 17.4.6 and 17.4.11, and 17.4.6.

Work Session Overview

PROJECT GEOGRAPHY

Legal Description: UNIT 6 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NUM 370697

Address: 160 Cortina Drive
Applicant/Agent: Jamie Daugaard, Centre Sky Architecture
Owner: Silver Glade Development Company
Zoning: Multi-Family
Existing Use: Vacant
Proposed Use: Multi-Family
Lot Size: 0.27 Acres

Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Multi-Family

ATTACHMENTS

- Exhibit A: Application
- Exhibit B: Plan Set

Figure 1: Vicinity Map



Case Summary:

Jamie Daugaard of Centre Sky Architecture (Applicant), working on behalf of the Silver Glade Development Company (Owner), has requested a work session with the Design Review Board to discuss a proposed new Single-Family Detached Condominium to be located at Lot 165-6, 160 Cortina Drive. The applicant has provided a conceptual architectural plan for the project and as part of the proposal is requesting a variance to the CDC provisions for Maximum Building Heights and Maximum Average Building Height. The purpose of the work session is to allow the applicant and DRB to have an informal, non-binding review and discussion about the project, potential issues, and possible solutions. Staff has conducted a cursory review of the project in relation to the intent and standards of the Design Regulations of the CDC.

History and Existing Conditions: Lot 165-6 is located within the Cortina Land Condominiums (Cortina) along San Joaquin Road between the existing Cassidy Ridge and Winterleaf developments. When approved, a total of 22 Condominium Units and 3 Parcels (A, B and C) originally designated as a General Common Element of the land condos were approved by the Town. Subsequent to the creation of the common interest community, Units 18 and 19 were replatted into Unit 18R to allow for the development of a Multi-family project on Units 17, 18R, 20, and Parcel A (later identified as Unit 23). The remainder of the Lots within Cortina are designated for single-family detached homes. A large number of the Units within Cortina face topographical issues such as steep forested slopes with difficult access.

Unit 6 is entirely forested with approximately 95% of the unit over 30% slope. The proposed project consists of a 7,353 gross / 6,326 habitable square foot single-family detached condominium. Units 5 and 6 were originally accessed by a driveway easement established when Cortina was created. This easement was later modified and expanded to allow additional access for Units 7 and 8. Due to the steepness of the lot, the applicant is requesting a height variance to be discussed in more detail below. Additionally, it appears there may be design variations proposed and discussed below in which the DRB should provide comment.

Design Review:

This design review portion of the work session serves to discuss the proposal for Lot 165-6. The applicant has provided an initial design concept within the project narrative related to things such as site context and constraints, specific building designs, massing, and parking. As briefly discussed above, there are geographical constraints, namely the steepness of the lot with approximately 90% of the total area of Unit 6 over 30% grade. The applicants have indicated that the steepness of the site has driven the design of the home and has necessitated a variance to the CDC maximum and average building height provisions.

The steepness of the Unit is evident in the proposed design. From certain perspectives, the home appears to be perched on a hillside while from others it appears as a one-story home. The design theme of the home appears to fit well with existing homes within Cortina as well as with the contemporary Mountain Modern style of wood siding, metal accents, and the prominent use of stone. Generally speaking, the Mountain Village has seen an increased number of new homes requesting shed roof forms given the contemporary architectural trends, but it should be noted that the use of shed roof forms in the Mountain Village results a maximum height allowance that is 5 feet less than a home with a gabled

roof form. This decision has resulted in an increased variance request than what would have otherwise been proposed with a gabled roof design.

A prominent feature of the home is the cantilevered portion of the living space located along the eastern and northern façade. The DRB has discussed cantilevered design in the past and has had difficulty determining that these portions of the home are sufficiently grounded. This is not to say that this home does not appear to be grounded but simply a note as a point of discussion for the DRB to provide guidance to the applicant. In the case of this proposal, it appears that the applicants are proposing substantial stone-faced columns in addition to piers. The use of the columns appears to staff to make these piers seem much more grounded than they otherwise would in their absence.

Although Cortina is not subject to a General Easement, Unit 6 is subject to a 16-foot setback surrounding its perimeter, along with driveway and pedestrian/skier easements. It should be noted that there are some minor structural encroachments into these setbacks that appear to be related to the foundation and retaining walls associated with the home. The DRB will need to provide guidance on these setback encroachments and their appropriateness as the CDC will ultimately require these encroachments to receive specific approval during the design review process.

Because of the driveway easement, setbacks, and the steepness of the Unit, the applicant is proposing a design variation to the parking area design standards listed in Section 17.5.8(C). The appropriateness of this will need to be discussed in detail by the DRB.

Variance Request:

For the reasons listed above, the applicant has requested a Variance to both the Maximum Building Height requirements and the Average Building Height requirements. As proposed within the provided plans, the applicant is requesting a 21'-4" variance to the Maximum Building Height, and a 2'-10" variance to the Maximum Average Building Height. While staff does believe a variance request for Unit 6 may be appropriate, there are concerns that a 21+ foot variance is an excessive request. For example, the most recent approved variance for a SFCI home was approximately 8 feet, and the board has never reviewed a request of this magnitude in the past.

It will be very important to give clear guidance to the applicant regarding this request as the current design of the home cannot be accomplished without this request being ultimately recommended by DRB and approved by Town Council. The CDC provides criteria for approval of a Variance within the CDC which has been addressed and provided by the applicant as part of this packet. The DRB will need to determine if they agree that these criteria have been met in their entirety in order to recommend approval of a variance to Town Council.

It will be important for the DRB to determine that the scale and mass of the development as proposed, including the Variance Request as well as the Setback encroachments, and parking design variations would be appropriate as shown in these work session materials.

Additional Information:

Due to the unique access, Staff recommended that the applicant begin discussions early with the Fire Department to determine if the access to the home is adequate. As of this time, it has been conveyed to staff that the applicant has been able to satisfy the Fire Department criteria for approval. Additionally, there are several multi-family units located

within Cassidy Ridge directly below this proposed development. Staff advises the applicant to begin discussions with neighbors to ensure that the proposed development of Lots 6 and 7 is as smooth as possible.

RECOMMENDATION

A conceptual work session is a process that allows for the DRB to provide an informal, non-binding review of a conceptual development proposal. The DRB shall evaluate a proposed concept based on the applicable criteria for decision in the future. Any comments or general direction given by the DRB shall not be considered binding or represent any warranties or guarantees of approval of any kind. No formal action is taken by the DRB on conceptual work sessions.

Staff recommends the DRB review and evaluate the proposed concept plans based on the applicable criteria for decision for the future development application and provide non-binding feedback and direction to the applicant regarding the design and proposed density.

/JJM

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406.995.7572
406.995.7477 F

T6 Project Narrative:

Located in Mountain Village, Unit 6 is a down sloping site off of Cortina Drive. The lot is heavily covered with fir, spruce and aspen trees. Unit 6 has great eastern sun exposure. It also has views of Mountain Village, and various peaks to the north east. Unit 6 is a ski in ski out lot and has a skier access easement on its western property boundary.

The proposed design for Unit 6 has a mountain modern architectural theme. Exterior materials include horizontal reclaimed wood siding, an ashlar stone layup, patina metal paneling, black window frames, and a grey standing seam roof. Public spaces of the Great Room, Grand Patio, Dining, and Ski room are pushed to the Northeast side of the site to take advantage of views. The garage is located closest to Cortina to allow for minimal grading and easy access. A lower level includes bedrooms, ski room, and family room that also face north east. Due to the home's small footprint & the steepness of the lot, a third, lowest level was designed that includes a mechanical room and bunk room.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Dugaard'.

Jamie Dugaard, AIA, NCARB, LEED ap

Principal Architect-Centre Sky Architecture

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T6 Variance Criteria

- A- The strict development application of the CDC regulations would result in exceptional and undue hardship upon the property owner in the development of property lot because of special circumstances applicable to the lot such as size, shape, topography, or other extraordinary or exceptional physical conditions.
- The size, shape, topography, and other physical conditions such as the existing retaining wall & driveway on Unit 6 create extreme hardship on a very challenging site to build on. The topography on Unit 6 is exceptionally steep, especially working towards the southeast corner. Ninety-four percent of the buildable area is over 30% slope (see Exhibit A). Additionally, there is an existing 20'+ retaining wall along the south setback line that the home is required to be set back from for safety and future maintenance access. A shared driveway access takes the front setback area of the building, forcing the home to be pushed further back from the designated setback, and thus pushes the mass further downhill (See Exhibit B). The limited buildable area forces the home to be tight to the north and east property lines. The steep terrain and limited buildable area would not allow for a home with a main level to be constructed on this property without a height variance.
 - If we are held to height restrictions, the main level would need to move down 15-21 feet. This would force the current three-story home to become a two-story home. The home would also have to cut further into the hillside, decreasing natural light access & increasing excavation and structural complexities. The limited direct natural light access will create a larger usage and dependence on utilities.
- B- The variance can be granted without substantial detriment to the public health, safety, and welfare.
- A height variance has no effect on the public health, safety, and welfare.
- C- The variance can be granted without substantial impairment of the intent of the CDC
- This well-designed home responds to the topography, it will sit below the tree line, and will not impair any views of neighboring lots.
- D- Granting the Variance does not constitute a grand of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district
- Multiple height variances have been approved on neighboring lots. We expect more to be requested as Units 1-5 are developed. The steep terrain & limited buildable area will not allow for a functional home design that meets the height restrictions.
- E- Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use.
- If a variance is not granted, the home must be constructed with only a garage/entry on the entry level, and stairs down to the main common areas of the home. This would be a dysfunctional home design and would inhibit the lot from being built out.

- b. The majority of home owners require a main level. Dropping the main level down to meet height requirements would add a vertical barrier to all users.
 - c. The roof responds to the topography, with the lowest point of the roof above the lowest grade in the north east corner (see exhibit C). Anything more limiting would not allow for a reasonable main floor area that aligns the areas exceptional quality of homes. The mass of the home is also recessed on the north east corner of the home.
- F- The lot for which the variance is being granted was not created in violation of town regulations or Colorado State Statues in effect at the time the lot was created
- G- The variance is not solely based on economic hardship alone
- a. Economic hardship is not a primary issue. The variance is requested to allow for a functional home design that will be a valuable asset to the community.
- H- The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations and standards
- a. All other regulations are met

Sincerely,

A handwritten signature in black ink, appearing to read "J. Dugaard". The signature is written in a cursive, flowing style.

Jamie Dugaard, AIA, NCARB, LEED ap

Principal Architect-Centre Sky Architecture

EXHIBIT A

EXISTING GRADES IN THE SHADED AREA ARE GREATER THAN 30% SLOPE. 94% OF AREA WITHIN SETBACKS IS SHADED.

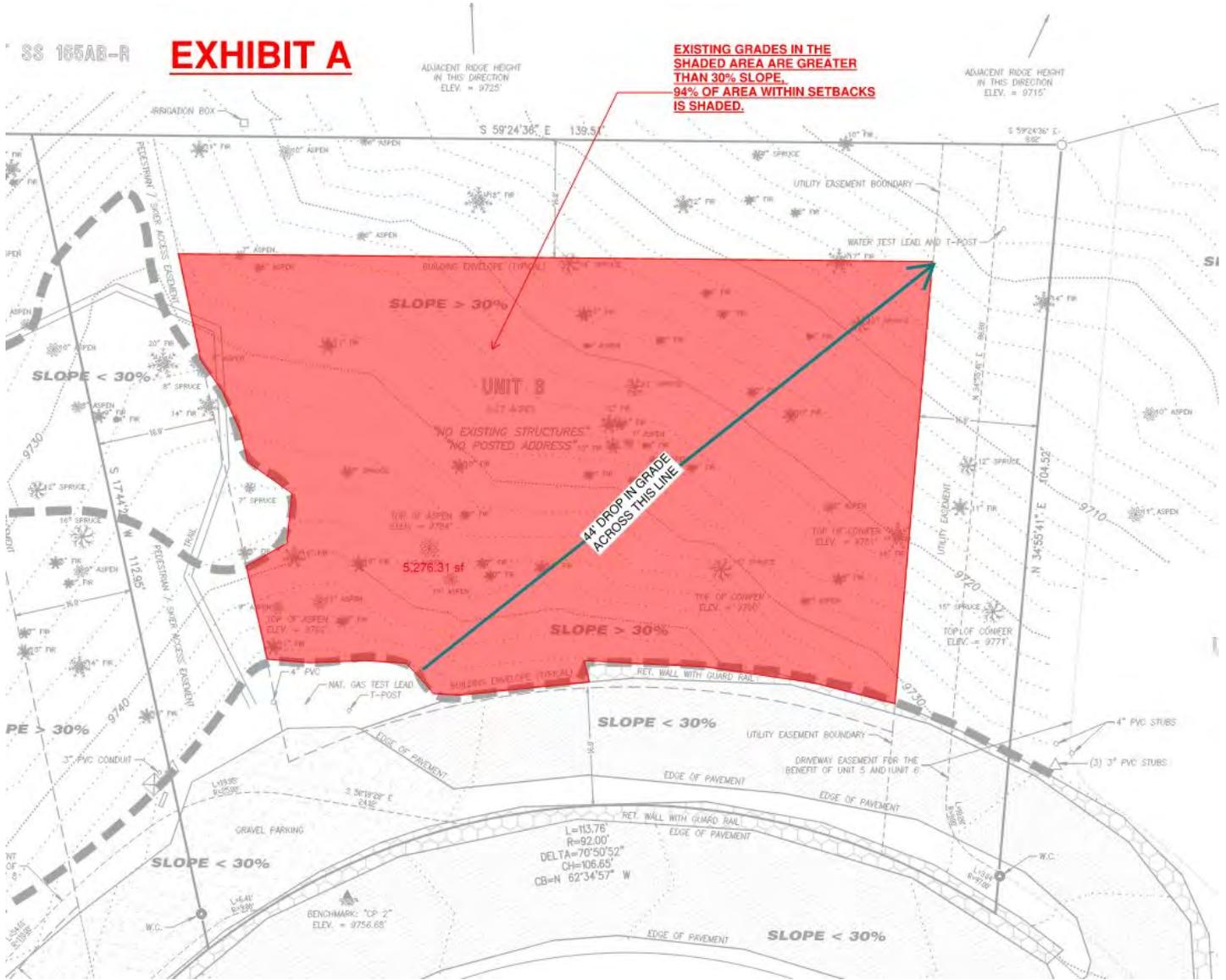


EXHIBIT B

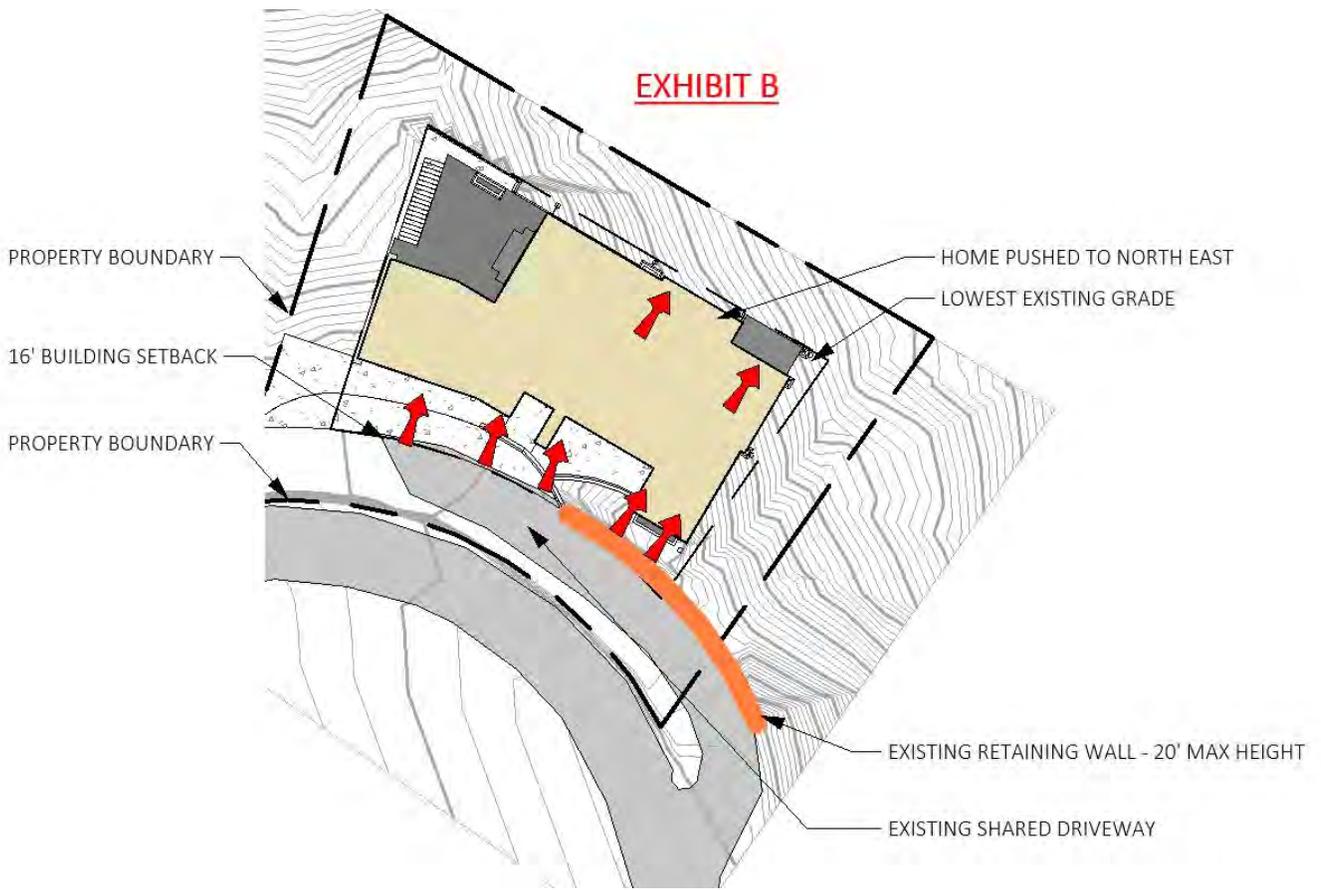
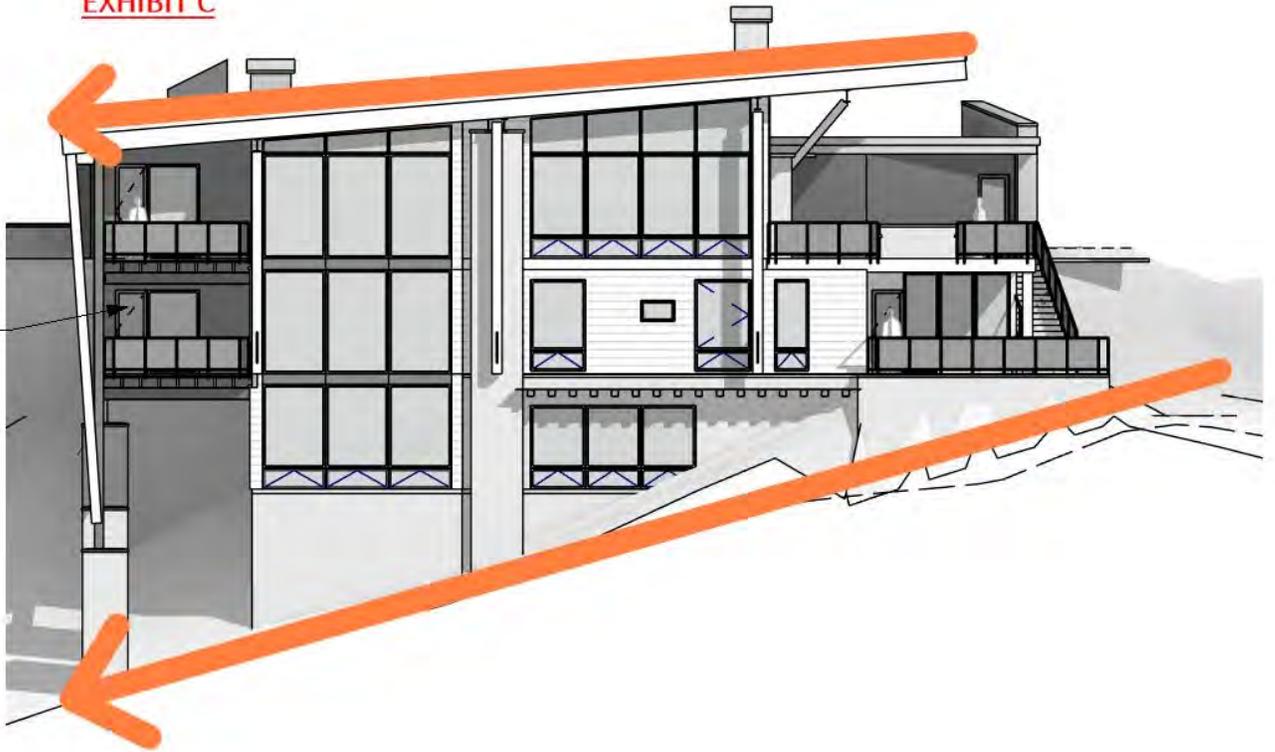


EXHIBIT C

MASS OF HOME
RECESSED ON
THIS CORNER

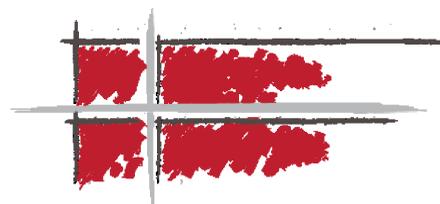


TELLURIDE #6

TELLURIDE, CO 81435



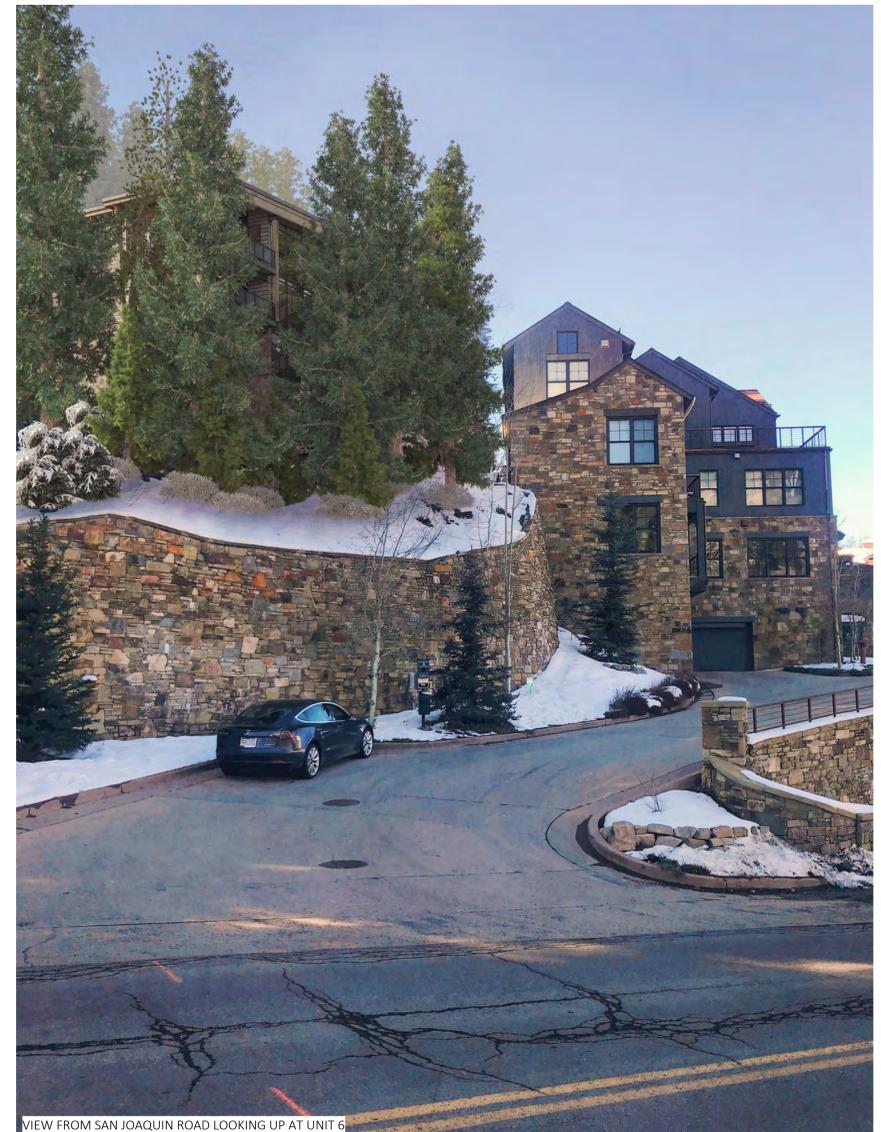
NOTE:
RENDERINGS MAY DIFFER FROM CONSTRUCTION PLANS.
CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.



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ISSUE # _____

T6



NOTE:
RENDERINGS MAY DIFFER FROM CONSTRUCTION PLANS.
CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.



TELLURIDE #6

TELLURIDE, CO 81435

CENTRE SKY ARCHITECTURE, LTD.

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ARCHITECTURE

MICHAEL TALBOTT

13905 River Glen Ln.
Prospect, KY 40059
Cell: (502) 415-2280
E-mail: mtalbott1@gmail.com

CLIENT

FINBRO CONSTRUCTION

70 Pilot Knob Lane
Telluride, CO 81435

FINBRO CONSTRUCTION

GENERAL CONTRACTOR

TRAUTNER GEOTECH

Jonathan Butler, P.E.
970-759-3113 (Cell)

95 North Henry St.,
Cortez, Colorado
970-529-2020 (Cortez)

649 Tech Center Dr.,
Durango, Colorado
970-259-5095 (Durango)

GEOTECHNICAL ENGINEER

LUX WEST PROPERTIES

Bruce McIntyre
Phone: (970) 729-0970
E-mail: brucecm@luxwest.com

CLIENT REPRESENTATIVE

ALPINE LAND CONSULTING, LLC.

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Rico, CO 81332
Phone: (970) 708-0326
E-mail: gregg@alpinelandconsulting.com
Website: alpinelandconsulting.com

CIVIL ENGINEER

LUX WEST INTERIORS

327 E Colorado Ave.
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Phone: (970) 728-8238
E-mail: barbara@luxwest.com

INTERIOR DESIGN

SCHEMATIC DESIGN/ INITIAL DRB SUBMITTAL

NOVEMBER 25, 2020

CODE ANALYSIS

ZONING:	R-1	BUILDING DEPT.:	10125 RANCHO MONTECITO DRIVE	STATE OF COLORADO - SAN MIGUEL COUNTY
OCCUPANCY:	TYPE V NON RATED	BUILDING DEPT. PHONE:	(303) 840-0020	(970) 728-3923
CONSTRUCTION TYPE:		CODE JURISDICTION:	2009 INTERNATIONAL RESIDENTIAL CODE	2009 INTERNATIONAL PLUMBING CODE
ALLOWABLE FLOOR AREA:			2009 MECHANICAL CODE	2009 FUEL GAS CODE
FIRE SUPPRESSION:	REQUIRED - NFPA 13D		2009 NATIONAL ELECTRICAL CODE	2009 NATIONAL ENERGY CONSERVATION CODE
IRRIGATION:	REQUIRED - MOUNTAIN VILLAGE CDC		2009 INTERNATIONAL FIRE CODE	2009 INTERNATIONAL FIRE CODE
BEARING & NON-BEARING EXTERIOR WALLS:	NON RATED		TOWN OF MOUNTAIN VILLAGE & SAN MIGUEL COUNTY	PRESCRIPTIVE ENERGY CODE & GREEN BUILDING STANDARDS
INTERIOR BEARING WALLS:	NON RATED	SHAFT ENCLOSURES:	NONE	CLASS-A ROOF CONSTRUCTION REQUIRED
STRUCTURAL FRAME:	NON RATED	ROOF/ROOF CEILING:		

ZONING DISTRICT	LOT COVERAGE	MAXIMUM BUILDING HEIGHT	AVERAGE BUILDING HEIGHT	PARKING SPACES
MULTI-FAMILY				
REQUIRED	< 40% OF LOT	35' - 0"	30' - 0"	2
ACTUAL	39% OF LOT	56' 4" (VARIANCE REQUESTED)	32' - 10" (VARIANCE REQUESTED)	2

AREA ANALYSIS

DEFINITIONS:	PROJECT SQUARE FOOTAGE		
SQUARE FOOT: LIVABLE FLOOR AREA AS MEASURED FROM EXTERIOR FACE OF STUD OR FACE OF CONCRETE WALL, INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES); DOES NOT INCLUDE W/REPLACE BUMP-OUTS, MECHANICAL SPACES, GARAGE SPACES, AND UNFINISHED BASEMENT AND/OR ATTIC SPACE.			
SQUARE FOOT: TOTAL BUILDING AREA AS MEASURED FROM EXTERIOR DIMENSIONS INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES), MECHANICAL SPACES, GARAGE SPACES, AND ACCESSIBLE UNFINISHED SPACE; DOES NOT INCLUDE CRAWL SPACES, PATIOS AND DECKS.			
	LEVEL	NAME	AREA
	T.O. ROCK BOTTOM	LIVING	1045 SF
	T.O. SLAB	LIVING	2833 SF
	T.O. SUB FLR	LIVING	2447 SF
	HABITABLE		6326 SF
	T.O. ROCK BOTTOM	MECH	369 SF
	T.O. SUB FLR	GARAGE	659 SF
	NON HABITABLE		1028 SF
	GROSS AREA		7353 SF

SITE INFORMATION

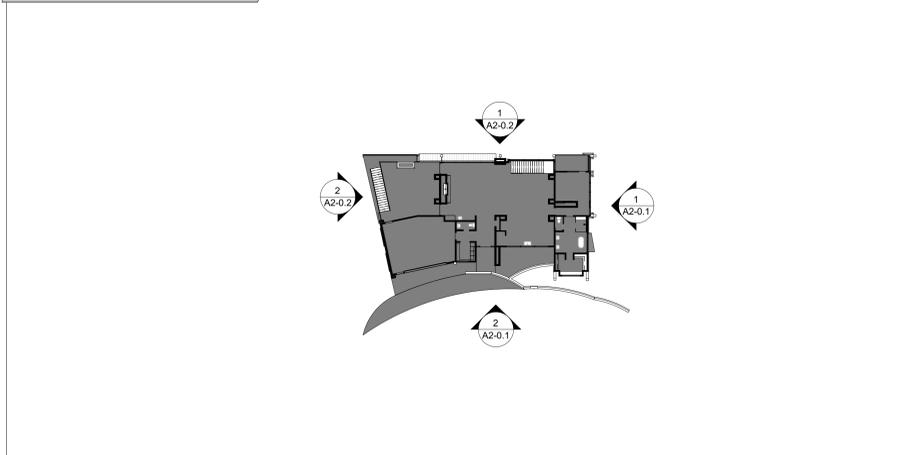
POWER:	SAN MIGUEL POWER ASSOCIATION 1-888-864-7311	BASIC WIND SPEED:	90 MPH/3 SEC. GUST (VERIFY W/ STRUCTURAL ENG.)
WATER:	CITY	SEISMIC DESIGN CATEGORY:	"C" (VERIFY WITH STRUCTURAL ENG.)
SEWER:	CITY	FROST DEPTH:	MINIMUM 48" BELOW FINISH GRADE
GAS:	SOURCE GAS - (970) 728-6141	SNOW LOADS:	PSF (VERIFY WITH STRUCTURAL ENGINEER)
TELEPHONE SERVICE:		FOUNDATION STANDARD:	GENERAL NOTES & FOUNDATION DETAILS.
UNDERGROUND UTILITY LOCATE:	811		
FIRE DEPT.:	TELLURIDE FIRE PROTECTION DISTRICT		
FIRE DEPT. PHONE:	(970) 729-2611 CHIEF / INSPECTOR - J. CHEROSKE		
DEFENSIBLE SPACE:	30 FEET IS RECOMMENDED		
GEOTECHNICAL REPORT:	TRAUTNER GEOTECH COPIES AVAILABLE UPON REQUEST		

DESIGN CRITERIA

GRAPHIC SYMBOLS

100' - 0" T.O. CONC.	POINT ELEVATION POINT ELEVATION DESCRIPTION	---	LINE OF ELEMENT ABOVE OR HIDDEN	NEW CONCRETE
0	EXTERIOR ELEVATION MARKER	1	TITLE SCALE	PUMICE-CRETE RAMMED EARTH RASTRA PANELS
0	BUILDING SECTION & SECTION DETAIL MARKER	0	DETAIL INDICATOR	TIMBER OR LOG ELEMENT
1	INTERIOR WALL ELEVATION MARKER	0/AD-0.0	SECTION DETAIL INDICATOR	INSULATION
ROOM [100]	ROOM NAME ROOM NUMBER	0/AD-0.0	REVISION MARKER	EARTH
100	DOOR INDICATOR			ASPHALT
X	WINDOW TYPE			WALL TO BE REMOVED
X	WALL TYPE			EXISTING WALL TO REMAIN
	DATUM POINT			NEW WALL
	BREAK LINE			

KEY PLAN



ABBREVIATIONS

AB	anchor bolt	DWG	drawing	HT	height	PC	pumice-crete	STN	stone
ABV	above	DWR	drawer	HTG	heating	PERF	perforate	STIFF	stiffener
AAC	autoclaved aerated concrete	E	east, egress	HW	hardwood	PERIM	perimeter	STD	storage
ADJ	adjacent	E	east, egress	HVAC	heat/ventilate/air condition	PL	plaster	STR	structural
AF	above finished floor	EA	each	ID	inside diameter	PLAM	plastic laminate	SUSP	suspended
AGG	aggregate	EHD	electric hand dryer	INCL	include (d) (ing)	PLAS	plastic	SW	stacked ovens
ALUM	aluminum	EJ	expansion joint	INSUL	insulate (d) (ion)	PLF	pounds per lineal feet	T	tread
ALT	alternate	EL	elevation	INT	interior	PLT	plate	TR	trash compactor
ARCH	architect (ural)	ELEC	electric (al)	IRC	international residential code	PNT	panel	TS	terra cotta
ASPH	asphalt	EFPM	elastomeric membrane	IRV	invert	PR	pair	TEL	telephone
A/C	air conditioning	EQ	equal	IT	interior	PSF	pounds per square foot	THK	thick (ness)
AVG	average	EQBT	equipment	JST	joist	PSI	pounds per square inch	TO	top of
BD	board	EWCC	electric water cooler	JT	joint	PTD	paper towel dispenser	TOC	top of concrete
BLDG	building	EXT	existing	KIT	kitchen	PTN	partition	TOS	top of steel
BK	block	EXT	exterior	KO	knockout	PVC	polyvinyl chloride	TOW	toilet paper dispenser
BKLG	blocking	FC	faucet	L	length, angle	PVMT	pavement	TPH	toilet paper holder
BO	bottom	FD	floor drain	L	length, angle	PWD	plywood	TR	trash compactor
BOF	bottom of foundation	FDN	foundation	LAB	laboratory	QT	quarry tile	TV	television
BR	bedroom	FE	fire extinguisher	LAM	laminated (e)	R	riser, radius	TYP	typical
BRG	bearing	REC	fire extinguisher cabinet	LAV	lavatory	R/A	return air	UBC	uniform building code
BSMT	basement	FF	factory finish	LB	pound	RB	rubber base	UE	underground electric
BUR	built up roofing	FF	factory finish	LFL	lineal feet	RC	reference	UL	underwriters laboratory
		FF	finished floor elevation	LL	live load	RD	roof drain	UNO	unless noted otherwise
		FF	finish	LT	light	REF	refrigerator	VCT	vinyl composition tile
		FF	flashing	LWC	lightweight concrete	REG	register	VERT	vertical
		FF	floor (ing)	MAS	masonry	REIN	reinforce (d) (ing)	VR	vapor retarder
		FF	fluorescent	MATL	material (s)	REQD	required	W	west, wide, width
		FF	feminine napkin dispenser	MAX	maximum	REV	revision (s), revised	W/	with
		FF	face of concrete	MCH	mechanic (al)	RM	room	WC	watercloset
		FF	face of masonry	MECH	mechanic (al)	RO	rough opening	WD	wood
		FF	face of stud	MTL	metal	ROW	right of way	WDF	wire flange
		FF	foot	MISC	miscellaneous	RS	rough sawn	WG	wire glass
		FF	framing	ML	microlam	RUB	rubber	WI	wrought iron
		FF	framing	MOLD	molding, moulding	RW	refrigerator drawers	W/D	without
		FF	framing	MMB	membrane	S	south	WP	waterproof (ing)
		FF	furniture	MO	masonry opening	SA	smoke alarm	WR	warming drawer
		FF	gauge, gauge	MWD	movable	S/A	supply air	WS	water supply
		FF	gallon	MW	microwave oven	SAG	suspended acoustic grid	WWF	welded wire fabric
		FF	grab bar	N	north	SC	solid core		
		FF	general contract	NAT	natural	SCH	schedule		
		FF	garage door opener	NIC	not in contract	SD	storm drain		
		FF	galvanized iron	NMC	nominal	SECT	section		
		FF	glass glazing	NTS	not to scale	SHT	sheet		
		FF	gypsum wall board	OBS	obscure	SHTG	sheathing		
		FF	galvanized	OC	on center (s)	SIM	similar		
		FF	gypsum	OD	outside diameter	SN	sink		
		FF	gypsum	OPG	opening	SPD	soap dispenser		
		FF	gypsum	OPP	opposite hand	SPR	specification		
		FF	gypsum		opposite	SQL	square		
		FF	gypsum		opposite	SSK	service sink		
		FF	gypsum		opposite	SS	sanitary sewer		
		FF	gypsum		opposite	ST	steel		
		FF	gypsum		opposite	STD	standard		

VICINITY MAP



SHEET INDEX

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T1-0.1
TITLE SHEET

MATERIAL SPECIFICATIONS

EXTERIOR MATERIALS LEGEND

NOTE:
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

METAL ROOFING
STANDING SEAM, 2" MECH. RIB WITH STRIATIONS & MASTIC, 16" RIB SPACING
COLOR: SLATE GREY RAW/HIDE
MFR: TBD

BALLAST ROOFING
EPDM ROOF WITH RIVER ROCK BALLAST
COLOR: GREY MIX

HORIZONTAL WOOD SIDING
2x10 RECLAIMED WOOD BOARD RAINSCREEN, HORIZONTAL WITH 1" SPACING
COLOR: VARIOUS GREY
MFR: MRL
RE: 1/ AS-1.2

STONE MASONRY VENEER
NATURAL RECTANGULAR CUT DEEP CREEK 1 1/2" VENEER LAYOUT: RE: 2/ AS-1.2

STEEL SIDING
PATINATED STEEL SIDING PANELS, 1/8" W/ EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING PATINA: VARIOUS BROWN/BLACK
MFR: TBD
RE: 3/ AS-1.2

EXTERIOR MATERIAL QUANTITIES

MATERIAL	ELEVATION (SF/%)				TOTAL
	NORTH	EAST	SOUTH	WEST	
STONE	1180/28.9	946/42.1	211/17.4	852/57.8	3,189/35.4
METAL	507/11.4	431/19	494/36.8	90/6.1	1,522/16.9
WOOD	467/11.4	434/19.3	203/25	371/25.2	1,475/16.4
FENESTRATION	1929/47.2	441/19.6	302/40.1	161/10.9	2,833/31.4

CEILING MATERIALS LEGEND

NOTE:
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIALS AND INSTALLATION REQUIREMENTS.

CEILING FINISH - PAINT
5/8" GWB TYPE "X" WITH PAINTED FINISH
REFERENCE INTERIOR FINISH SPECIFICATIONS FOR COLOR, (TYP.)

SOFFIT FINISH - WOOD
RECLAIMED WOOD BOARDS
STAIN: TBD
MFR: VINTAGE
RE:

CEILING FINISH - TILE
COORDINATE TYPE AND LAYOUT WITH ID, (TYP.)

CEILING FINISH - CELOTEX TILE
24" X 24"
RE: MFR FOR SPECIFICATIONS

ALL SAMPLES TO BE SUBMITTED TO ARCHITECT

NOTE: AFTER 54 METAL SIDING SAMPLE IS SUBMITTED AND APPROVED, RECONFORM METAL ROOF, FLASHING, GUTTER AND D.S. FINISH W/ ARCH.

MATERIAL BOARD



R1



R2



S1



S2



S3



C2



TBD

CONTEMPORARY PROFILE, CLEAR PINE INTERIOR, BLACK EXTERIOR



TIMBERS



STONE TYPE D
EXTERIOR BOULDERS

MATERIAL TYPE SCHEDULE

METAL	APPLICATION	MFR.	SPECIES/TYPE	TEXTURE	COLOR/FINISH	COMMENTS
FLASHING	BRIDGE STEEL	-	-	PRE-FINISHED	-	MATCH R1 ROOF FINISH
TYPE 'B'	EXPOSED STRUCTURAL STEEL	T.B.D.	PER STRUCTURAL	-	PAINTED	-
TYPE 'C'	DECORATIVE	T.B.D.	-	T.B.D.	PATINA	GC TO SUBMIT SAMPLES TO MATCH PROVIDED IMAGES - RAW STEEL W/ PENETROL OR SIM. COAT
TYPE 'D'	WALL PANELING	T.B.D.	-	T.B.D.	PATINA	-
WOOD						
TYPE 'A'	TIMBER BEAMS & POSTS	T.B.D.	NEW DOUGLAS FIR	WIRE BRUSHED	STAINED	-
TYPE 'B'	FASCIA	T.B.D.	CEDAR	WIRE BRUSHED	STAINED	-
TYPE 'C'	EXTERIOR TRIM	T.B.D.	CEDAR	WIRE BRUSHED	STAINED	-
TYPE 'D'	INTERIOR TRIM	T.B.D.	SPRUCE	SMOOTH	T.B.D.	-
STONE						
TYPE 'A'	PRIMARY WALL VENEER	QUARRY WORKS	DEEP CREEK	T.B.D.	T.B.D.	-
TYPE 'B'	CAP STONE	QUARRY WORKS	DEEP CREEK	T.B.D.	T.B.D.	-
TYPE 'C'	EXTERIOR PATIO FLAGSTONE	T.B.D.	T.B.D.	T.B.D.	T.B.D.	-
TYPE 'D'	EXTERIOR BOULDERS	QUARRY WORKS	DEEP CREEK	T.B.D.	T.B.D.	-

NOTE:
• ALL CUT ENDS, MITERS, & CORNERS TO BE SEALED W/ MFR RECOMMENDED SEALANT/STAIN
• COORD. W/ MFR FOR ADDITIONAL TOUCH UP STAIN
• COORD. W/ MFR ON TOUCH UP APPLICATIONS AND TREATMENTS

INSULATION SPECIFICATIONS

CAVITY	R - VALUE		REMARKS	
	MINIMUM	PROJECT SPECIFIC		
ROOFS OVER HEATED SPACES	R-49	R-51	8.5" MIN OF SPRAY APPLIED POLYURETHANE INSULATION	
EXTERIOR WALLS	R-20	R-24	4" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
INTERIOR WALLS	-	R-15	RECOMMENDED 4" BLOWN IN CELLULOSE - DAMP SPRAYED OR EQUIVALENT ROCK WOOL BATT INSULATION	
FLOORS OVER UNHEATED SPACES	R-30	R-36	6" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
FLOORS OVER HEATED SPACES	-	-	3.5" MINERAL FIBER BATT INSULATION IN FLOORS OVER HEATED SPACES FOR SOUND INSULATION	
BASEMENT WALL	R-15/19	R-19	R-19 BATT INSULATION - WHERE STUD BAY EXISTS 3.5"-2" POLYURETHANE TAPER ELSEWHERE	
CRAWL SPACE	U/D	R-20	4" SPRAY POLYURETHANE INSULATION OR EQ.	
	WALL	R-15/19	R-21	3.5" SPRAY POLYURETHANE
UNDER CONC. SLAB		R-10/13	R-14	2" OF DOW STYROFOAM BRAND SM [®] INSULATION

NOTES:
1. ARCHITECT'S RECOMMENDATION FOR ALL EXTERIOR EAVES AND RAKES TO RECEIVE MIN. OF 3" BLOWN IN POLYURETHANE INSULATION UNLESS NOTED OTHERWISE.
2. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 4" SPRAY APPLIED POLYURETHANE INSULATION AT EXTERIOR WALLS WITH AN R-11 MINERAL FIBER BATT OVER TOP OF 2" SPRAY APPLIED POLYURETHANE INSULATION.
3. ARCHITECT'S RECOMMENDATION FOR BASEMENT FURRING WALLS TO RECEIVE 3.5" BLOWN IN POLYURETHANE INSULATION IN PLACE OF R-19 BATT.
4. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 2" NCP SPRAY APPLIED POLYURETHANE INSULATION UNDER CONCRETE SLAB WITH 2" POLY-ISOCYANURATE RIGID FOAM INSULATION.
5. GENERAL CONTRACTOR TO PROVIDE COST COMPARISONS FOR BLOWN-IN WET CELLULOSE PRODUCT TO REPLACE BATT INSULATION IN EXTERIOR WALLS AND FLOORS.
6. THERMAL IMAGING TEST SHALL BE PERFORMED AND REPORT SUBMITTED TO OWNER AND ARCHITECT.
7. AT A MINIMUM, ALL INTERIOR WALLS SEPARATING BEDROOMS AND/OR BATHROOMS SHALL BE INSULATED AS SPECIFIED ABOVE. IT IS STRONGLY RECOMMENDED THAT ALL INTERIOR WALLS BE INSULATED.
8. FOAM INSULATING SEALANT AT ALL WINDOWS AND DOORS.
9. INSULATION REQUIRED AT ALL HEADERS UNLESS HEADER FILLS CAVITY

AV SYSTEMS

ENVIRONMENTAL SECURITY	YES
WATER - LOW TEMP/PREFREEZE -	YES
WATER COP - HUMIDITY -	YES
SECURITY LIFE SAFETY & INTRUSION	YES
CO - HEAT -	YES
SMOKE - GAS -	YES
DOORS - MOTION -	-
SIRENS & STROBE - SPRINKLER - SEPTIC ALARM -	YES
ACCESS CONTROL - SECURITY CAMERAS -	YES
HOME AUTOMATION - BUILT-IN SPEAKERS - TV/DISPLAYS - GAMING SYSTEM -	YES
THEATER/MEDIA RM - EXTERIOR AUDIO/VIDEO LIGHTING CONTROL - AUTOMATED SHADES -	YES
CEILING INTEGRATED - WALL INTEGRATED - SURFACE MOUNT - NETWORK / DATA SYSTEM -	YES
GARAGE DOOR AUTOMATIC CLOSE TIMER -	YES

HVAC SYSTEMS

FORCED AIR HEATING SYSTEM -	-
RADIANT HEAT - HEAT RECOVERY VENTILATION SYSTEM -	-
SOLAR HOT WATER - HUMIDIFIER UNIT - FORCED AIR COOLING - VISIBLE THERMOSTAT - REMOTE THERMOSTAT -	-
SOLAR PANELS -	-
SOLAR HOT WATER - GEOTHERMAL SYSTEM -	-
WATER FILTRATION - WATER COP - WATER SOFTENER - REVERSE OSMOSIS -	-
OXYGEN -	-
BACK UP GENERATOR - T.B.D. - BACK UP BATTERY -	-
ACTIVE RADON MITIGATION - PROPANE - SNOW MELT -	YES

PLUMBING SPEC.

TOILET	HEATED WALL MOUNTED SELF-CLEANING BIDET	YES/NO
FURNACE	HUMIDIFIER (IF REQ. BY OWNER)	-
CRAWLSPACE EXHAUST FAN	PROPANE DETECTION SYSTEM	-
GARAGE EXHAUST FAN	BATHROOM EXHAUST FANS	-
BACKUP BATTERY	RADON EXHAUST FANS (IF REQ. BY RADON TEST)	-
KITCHEN EXHAUST FAN	KITCHEN MAKE UP AIR SYSTEM	-
GARAGE UNIT HEATER	WATER HEATER	-
DOMESTIC HOT WATER RECIRCULATION PUMP	ENERGY RECOVERY VENTILATOR	-

MECH. CHECKLIST

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A0-0.2
MATERIAL SPECIFICATIONS



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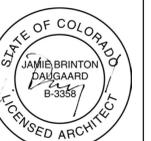
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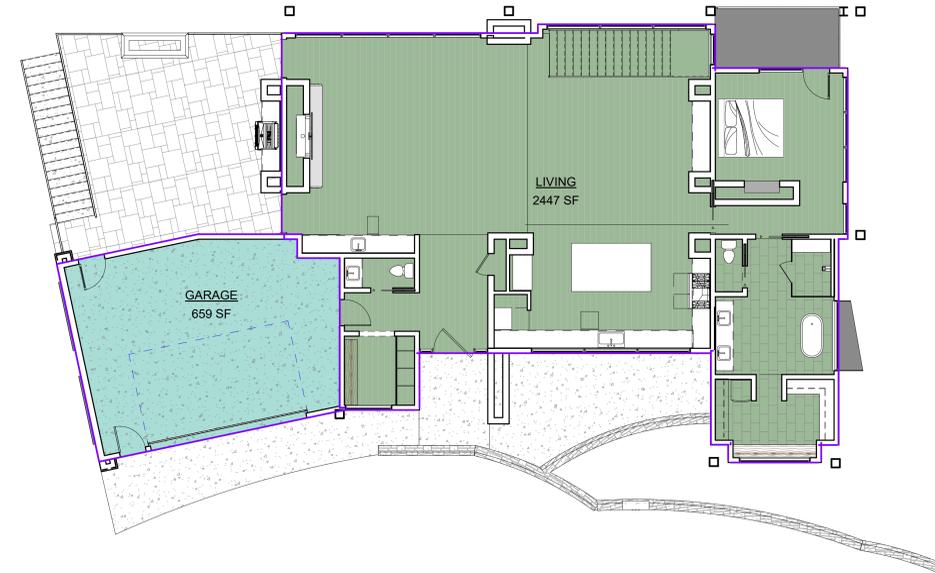
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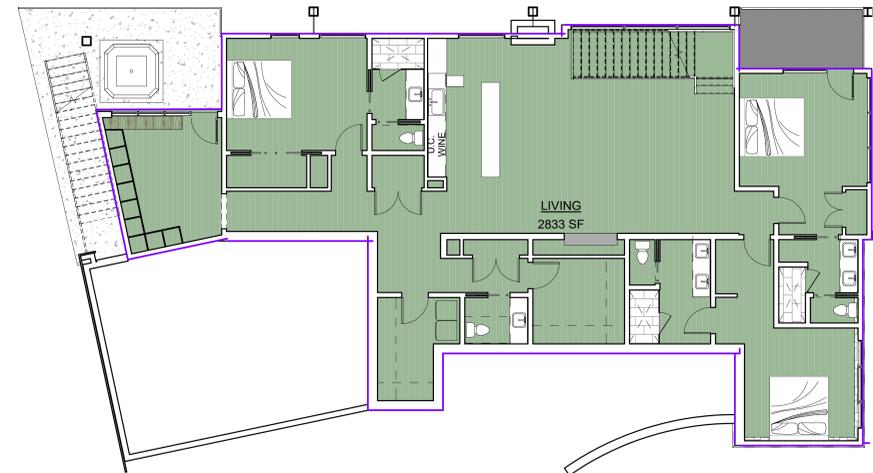
A0-0.3
AREA PLANS



2 T.O. SUB FLR
1/8" = 1'-0"



4 T.O. ROCK BOTTOM
1/8" = 1'-0"



3 T.O. SLAB
1/8" = 1'-0"

AREA ANALYSIS

DEFINITIONS:
SQUARE FOOT: LIVABLE FLOOR AREA AS MEASURED FROM EXTERIOR FACE OF STUD OR FACE OF CONCRETE WALL, INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES); DOES NOT INCLUDE FIREPLACE BUMP-OUTS, MECHANICAL SPACES, GARAGE SPACES, AND UNFINISHED BASEMENT AND/OR ATTIC SPACE.
GROSS SQUARE FOOT: TOTAL BUILDING AREA AS MEASURED FROM EXTERIOR DIMENSIONS INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES), MECHANICAL SPACES, GARAGE SPACES, AND ACCESSIBLE UNFINISHED SPACE; DOES NOT INCLUDE CRAWL SPACES, PATIOS AND DECKS.

PROJECT SQUARE FOOTAGE		
LEVEL	NAME	AREA
T.O. ROCK BOTTOM	LIVING	1045 SF
T.O. SLAB	LIVING	2833 SF
T.O. SUB FLR	LIVING	2447 SF
HABITABLE		6326 SF
T.O. ROCK BOTTOM	MECH	369 SF
T.O. SUB FLR	GARAGE	659 SF
NON HABITABLE		1028 SF
GROSS AREA		7353 SF



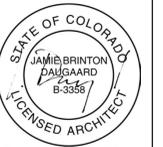
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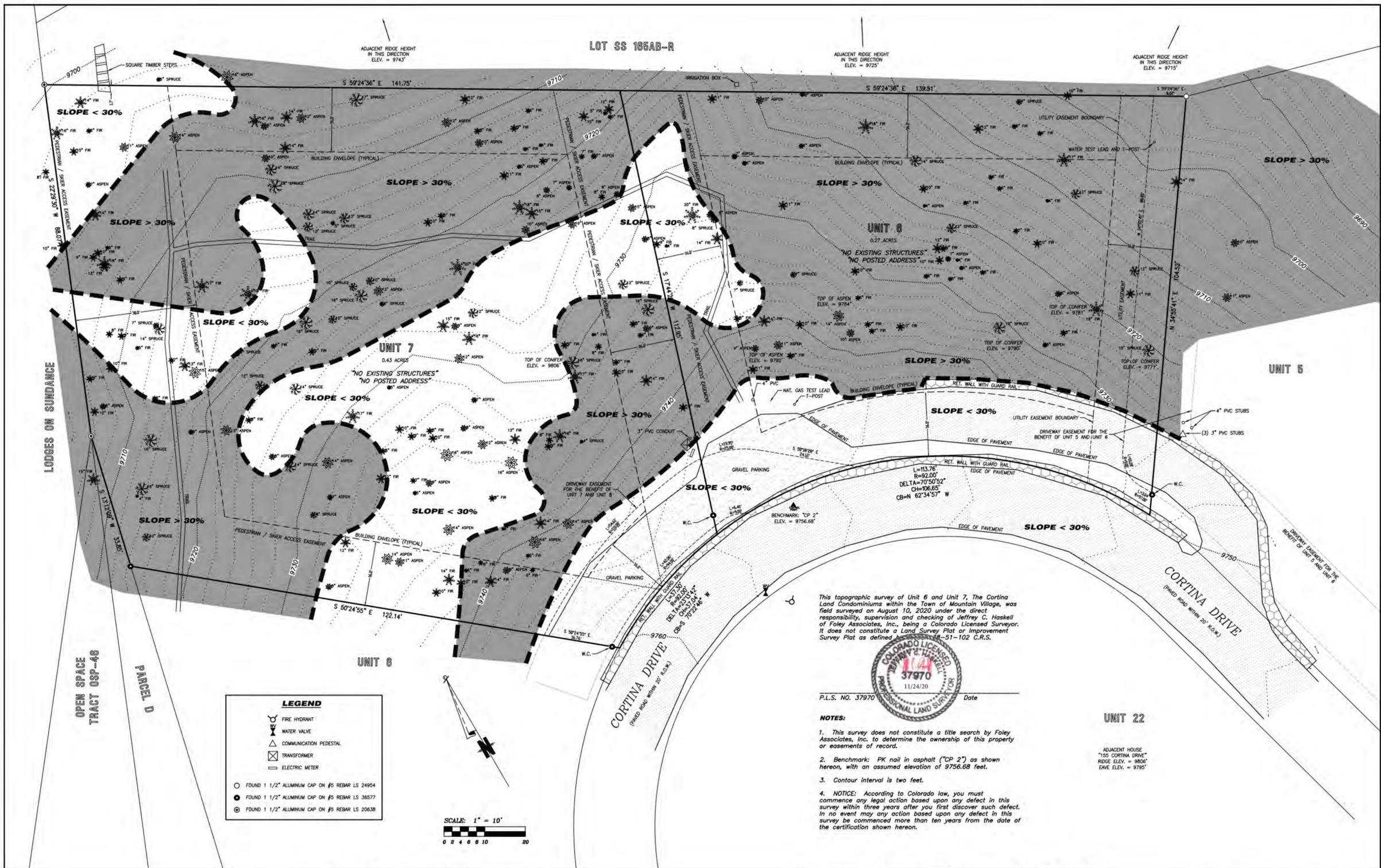
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C1-0.0
SURVEY



This topographic survey of Unit 6 and Unit 7, The Cortina Land Condominiums within the Town of Mountain Village, was field surveyed on August 10, 2020 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined in Sections 51-102 C.R.S.

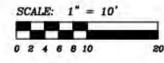


P.L.S. NO. 37970 Date

- NOTES:**
- This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
 - Benchmark: PK nail in asphalt ("CP 2") as shown hereon, with an assumed elevation of 9756.68 feet.
 - Contour interval is two feet.
 - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LEGEND

	FIRE HYDRANT
	WATER VALVE
	COMMUNICATION PEDESTAL
	TRANSFORMER
	ELECTRIC METER
	FOUND 1/2" ALUMINUM CAP ON #5 REBAR LS 24954
	FOUND 1/2" ALUMINUM CAP ON #5 REBAR LS 36577
	FOUND 1/2" ALUMINUM CAP ON #5 REBAR LS 20638



TOPOGRAPHIC SURVEY
Unit 6 and Unit 7, The Cortina Land Condominiums, Town of Mountain Village
Located within Section 3, T. 42 N., R. 9 W., N.M.P.M., San Miguel County, Colorado

Project Mgr:	JH
Technician:	FO
Checked by:	PC
Start date:	08 / 2020



970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Drawing path: d:\2025 Topo 08-20.dwg Sheet 1 of 1 Project #: 2025

NOTES

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
2. MAXIMUM GRADING 2.5:1. ANY SLOPES GREATER THAN 2.5:1 ARE SHOWN AS THEY HAVE TO CONNECT INTO EXISTING STEEPER SLOPES AND TO BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO FINAL CONSTRUCTION DOCUMENTS.
3. ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FOLEY ASSOCIATES INC. DATED 08/2020 WITH A BENCHMARK BEING PK NAIL IN ASPHALT ('CP 2') WITH ASSUMED ELEVATION OF 9756.68 FEET. CONTACT JEFF HASKELL AT (970) 728-6153 FOR MORE BENCHMARK INFORMATION.
4. ALL RETAINING WALL HEIGHTS AREA FINISHED GRADE TO FINISHED GRADE (RETAINED HEIGHT) AND DO NOT INCLUDE FOUNDATIONS OR CAPS.
5. RETAINING WALLS WITH PEDESTRIAN ACCESS REQUIRE HARD RAILS FOR ALL RETAINED HEIGHT OVER 2.5' (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
6. NO DETENTION PROPOSED AS THIS SITE IS PART OF CONDOMINIUM SUBDIVISION AND HAS EXISTING DRAINAGE FACILITIES.

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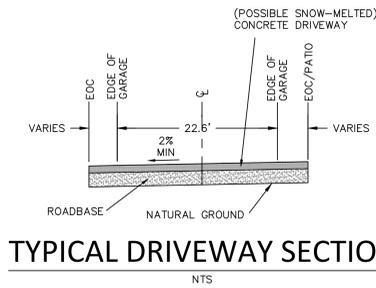
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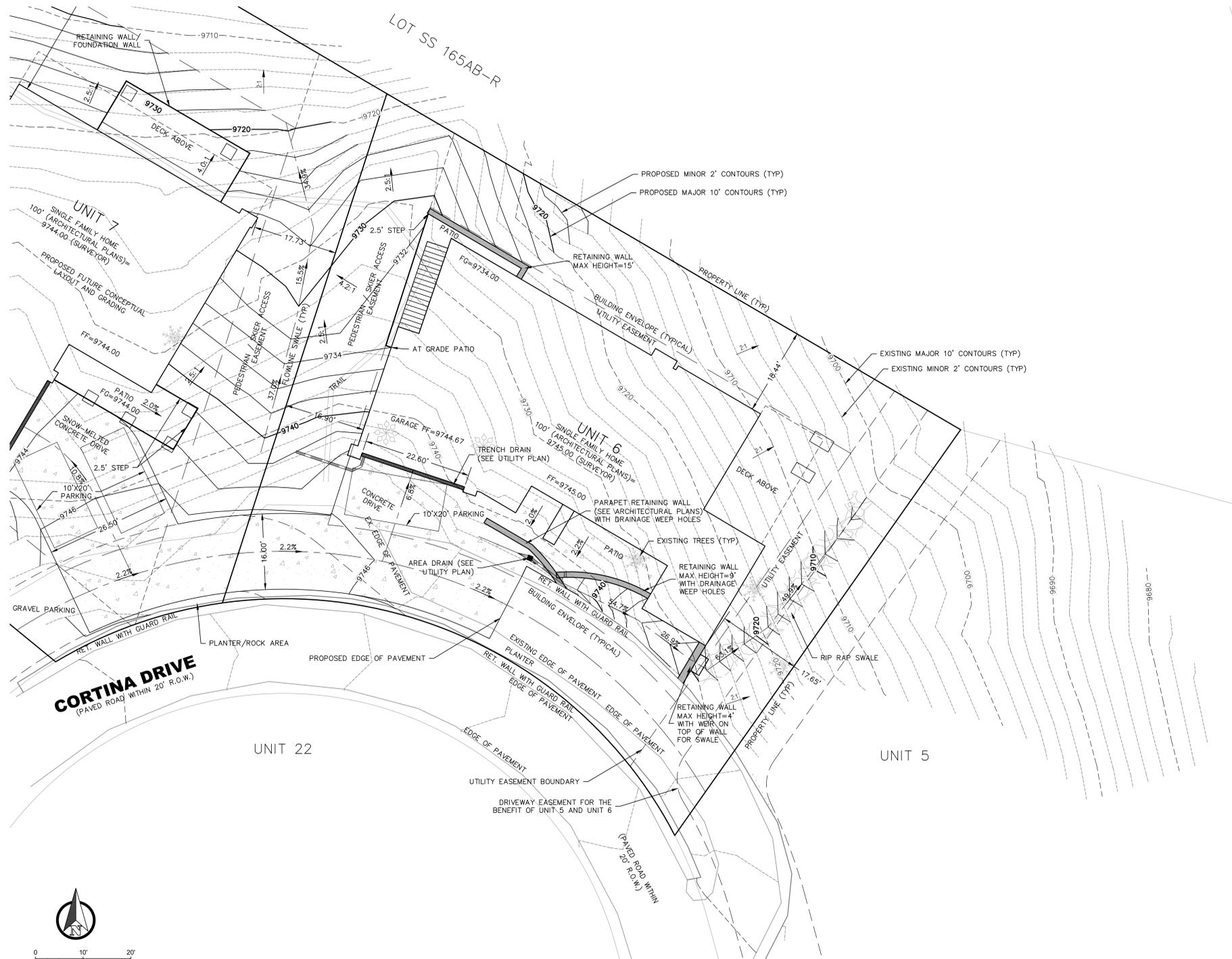
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TYPICAL DRIVEWAY SECTION



PRELIMINARY DRB GRADING PLAN

**FOR DRB ONLY AND NOT
FOR CONSTRUCTION**

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

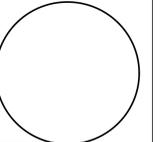
THESE PRELIMINARY PLANNING DRB DOCUMENTS
WERE PREPARED BY ME AND UNDER MY DIRECT
SUPERVISION ON BEHALF OF ALPINE LAND
CONSULTING, LLC FOR SILVER GLADE DEVELOPMENT
COMPANY AND INCLUDES PRELIMINARY DRB
PLANNING DESIGN ONLY, AND DOES NOT INCLUDE
ANY OTHER PLANNING OR ENGINEERING.



GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

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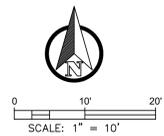
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C1-0.1
DRB GRADING





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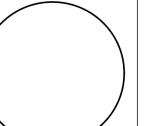
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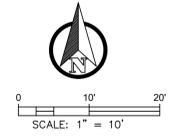
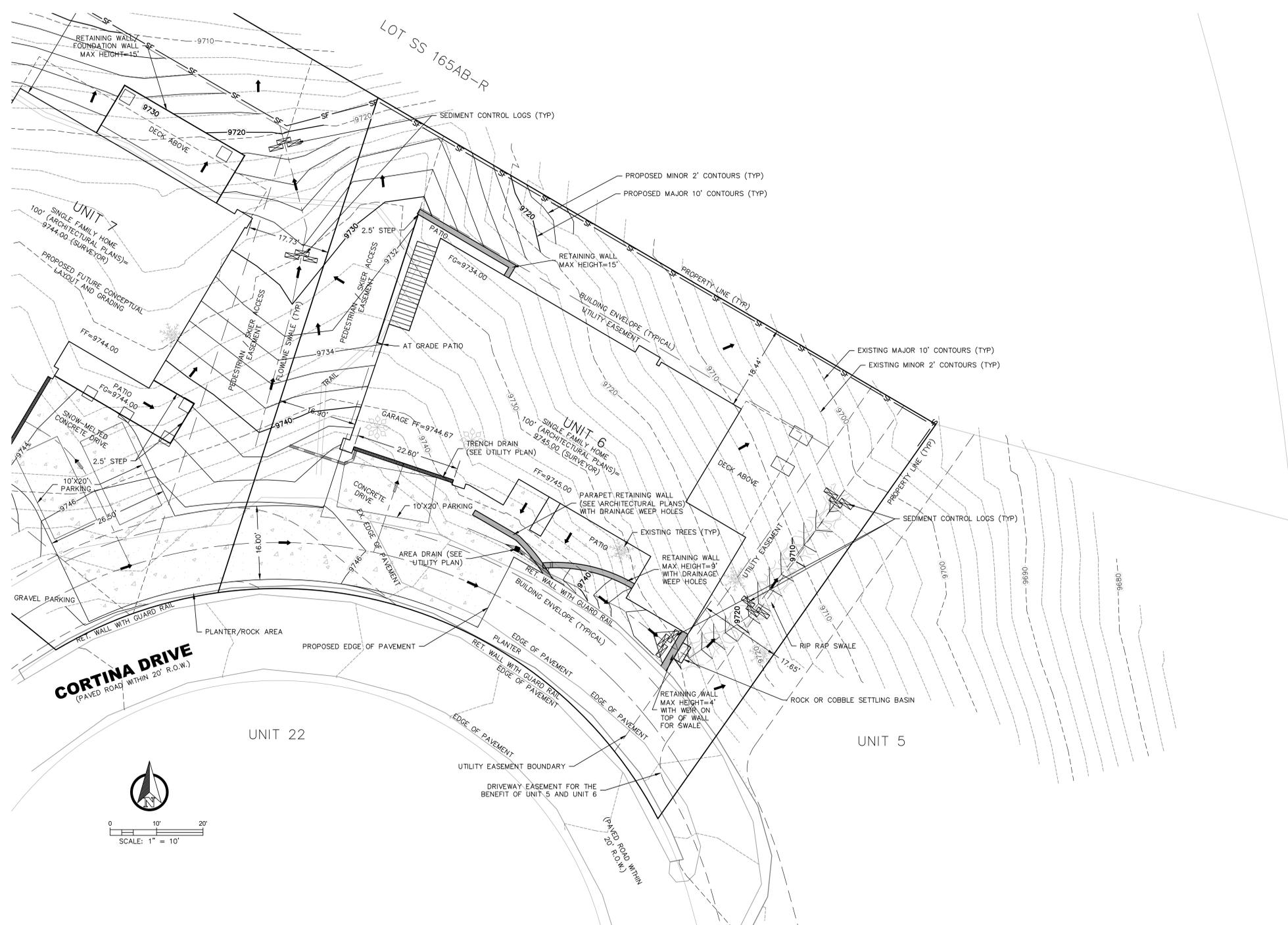
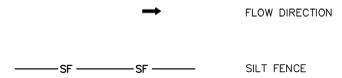
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DRB DRAINAGE

NOTES

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2. MAXIMUM GRADING 2.5:1. ANY SLOPES GREATER THAN 2.5:1 ARE SHOWN AS THEY HAVE TO CONNECT INTO EXISTING STEEPER SLOPES AND TO BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO FINAL CONSTRUCTION DOCUMENTS.
3. ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FOLEY ASSOCIATES INC. DATED 08/2020 WITH A BENCHMARK BEING PK NAIL IN ASPHALT ("CP 2") WITH ASSUMED ELEVATION OF 9756.68 FEET. CONTACT JEFF HASKELL AT (970) 728-6153 FOR MORE BENCHMARK INFORMATION.
4. ALL RETAINING WALL HEIGHTS AREA FINISHED GRADE TO FINISHED GRADE (RETAINED HEIGHT) AND DO NOT INCLUDE FOUNDATIONS OR CAP (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
5. RETAINING WALLS WITH PEDESTRIAN ACCESS REQUIRE HARD RAILS FOR ALL RETAINED HEIGHT OVER 2.5' (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
6. NO DETENTION PROPOSED AS THIS SITE IS PART OF CONDOMINIUM SUBDIVISION AND HAS EXISTING DRAINAGE FACILITIES.

LEGEND



PRELIMINARY DRB DRAINAGE AND EROSION CONTROL PLAN

FOR DRB ONLY AND NOT
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1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

THESE PRELIMINARY PLANNING DRB DOCUMENTS
WERE PREPARED BY ME AND UNDER MY DIRECT
SUPERVISION ON BEHALF OF ALPINE LAND
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COMPANY AND INCLUDES PRELIMINARY DRB
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GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736



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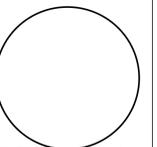
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C1-0.3

DRB UTILITY

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3. ALL UTILITY LOCATES TO BE PERFORMED PRIOR TO FINAL DESIGN. IT IS RECOMMEND THAT THE SEWER TAP IS PLOT HOLED PRIOR TO FINAL DESIGN IN ORDER TO DETERMINE IF THE SEWER REQUIRES A PUMP IN THE MECHANICAL ROOM.

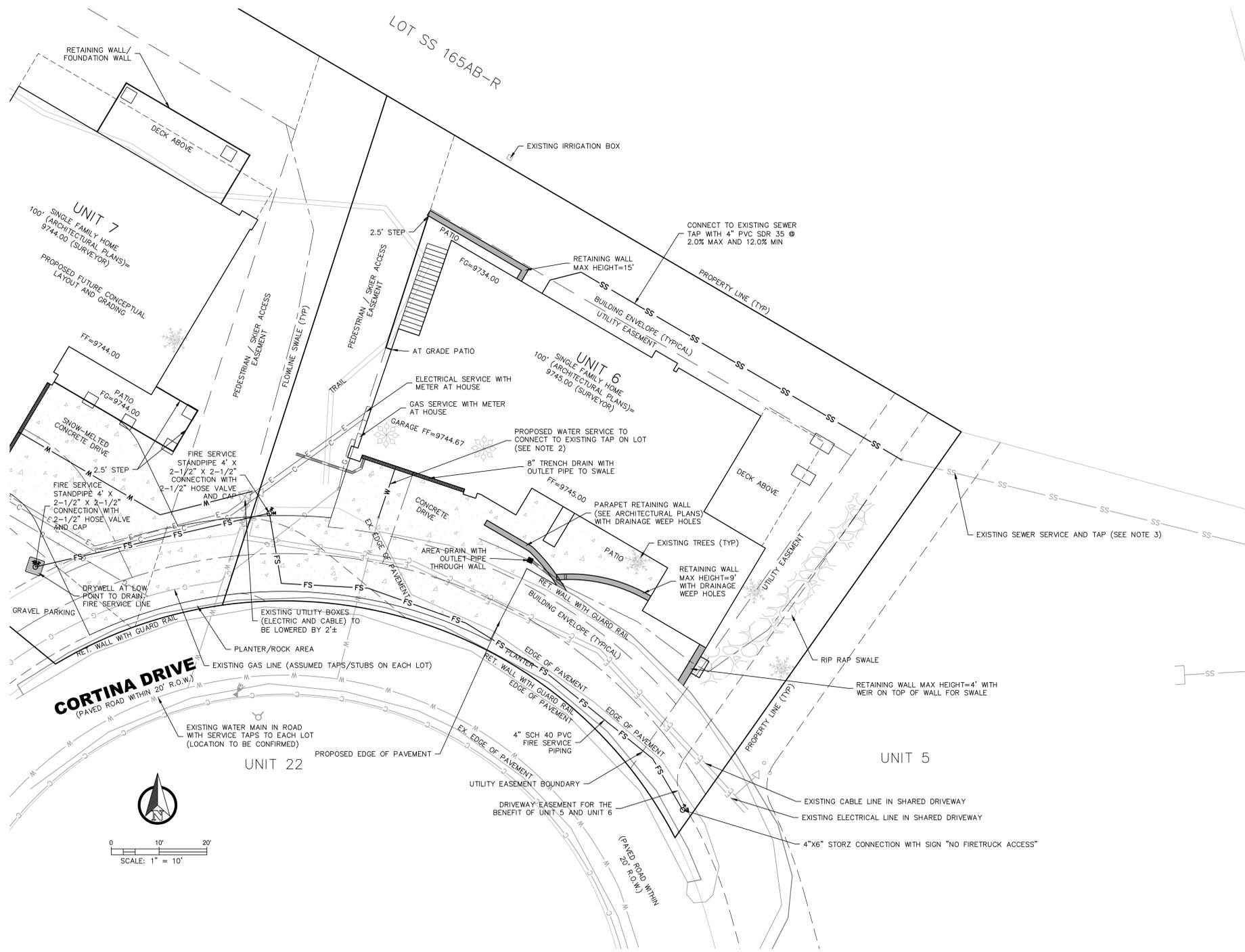
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PRELIMINARY DRB UTILITY PLAN



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A1-0.1
ARCHITECTURAL
SITE PLAN



LEGEND

-----	DRAINAGE	[Hatched Box]	SNOW MELT LOCATIONS
-----	LIMITS OF CONSTRUCTION	[White Box]	ASPHALT
~~~~~	EROSION CONTROL	[Dotted Box]	CONCRETE
-----	NEW GRADE LINE	[Cross-hatched Box]	SNOW STORAGE
-----	PREVIOUS GRADE LINE	-----	DRAINTILE
W-----	NEW WATER LINE		
S-----	NEW SEWER LINE		
UE-----UE	NEW ELECTRICAL LINE		

**STRUCTURAL ELEVATIONS**

T.O. SLAB @ ROCK BOTTOM	78'-0" = 9723'
T.O. SLAB @ LOWER LEVEL	89'-0" = 9734'
T.O. SLAB @ GARAGE	89'-8" = 9744'-8"
T.O. SUBFLOOR @ MAIN LEVEL	100'-0" = 9745'

- GENERAL NOTES**
- SEE CIVIL PLANS FOR GRADING & ADDITIONAL SITE DETAILS.
  - ALL PERIMETER FOUNDATION DRAINS TO EXIT TO DAYLIGHT.
  - ALL CONCRETE WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT PROJECT COMPLETION. CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.
  - EXCESS SOIL FROM CONSTRUCTION TO BE RELOCATED ON SITE W/ GEOTECHNICAL ENGINEER APPROVAL.
  - ANY DAMAGE TO THE EXISTING ROADWAY, INCLUDING THE AS SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CURBS, AND EXISTING VEGETATION AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR.

2 ARCHITECTURAL SITE PLAN  
 1" = 10'-0"



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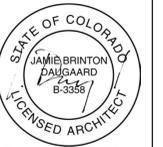
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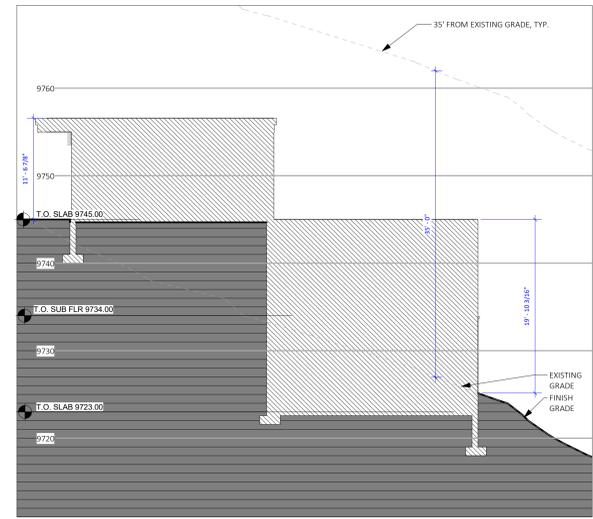
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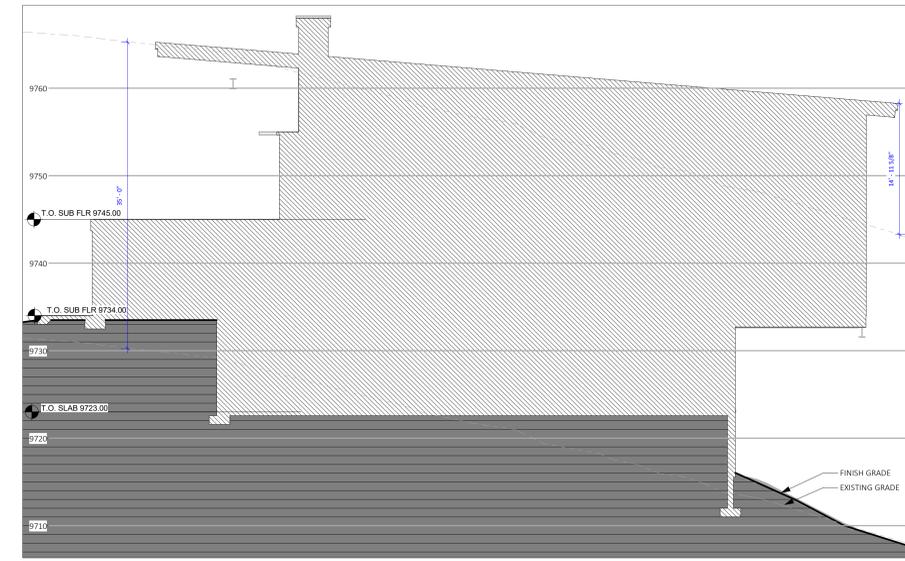
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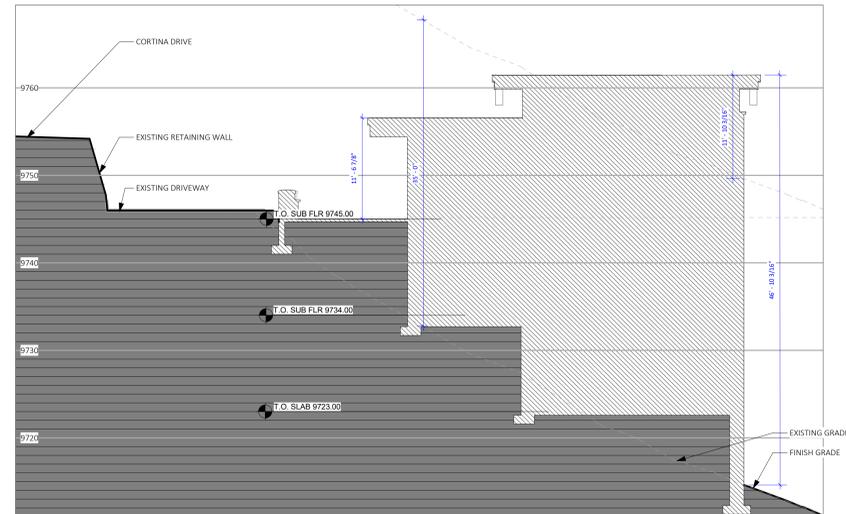
**A1-0.2**  
 SITE SECTIONS



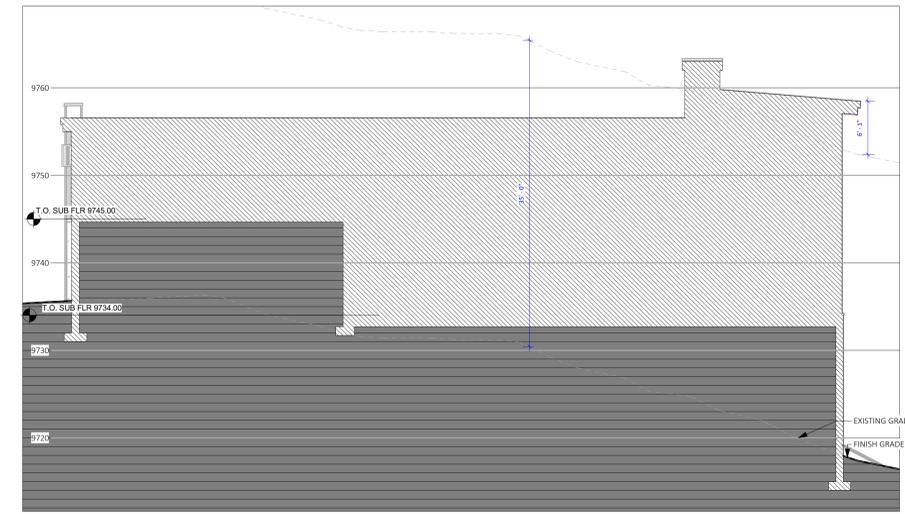
1 N/S WESTERN SITE SECTION  
 1/8" = 1'-0"



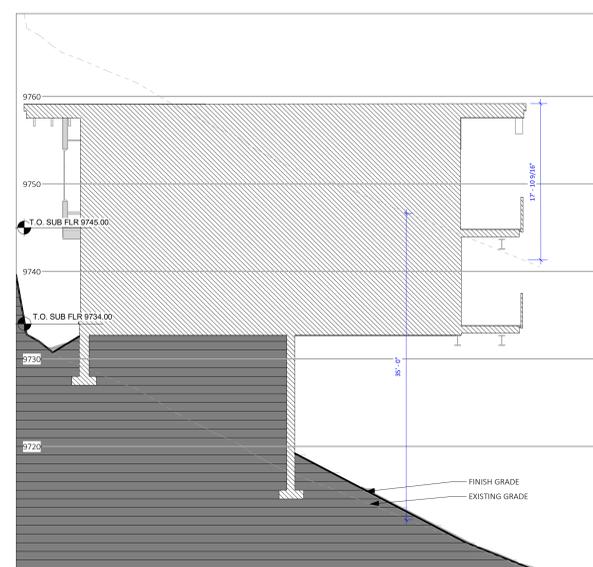
2 E/W NORTHERN SITE SECTION  
 1/8" = 1'-0"



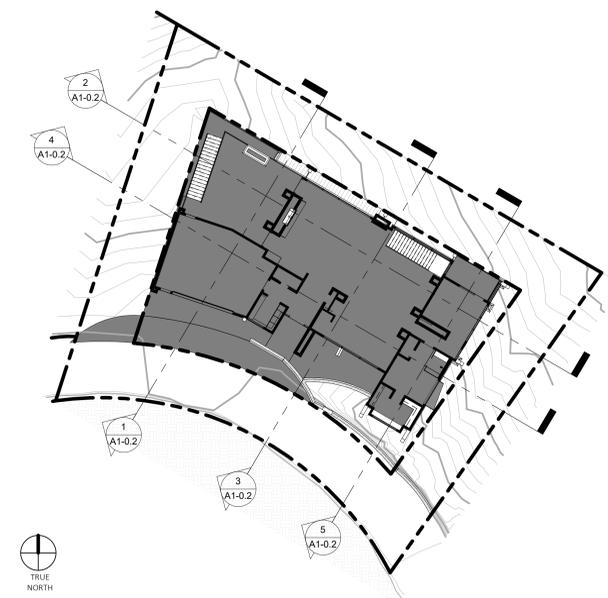
3 N/S CENTRAL SITE SECTION  
 1/8" = 1'-0"



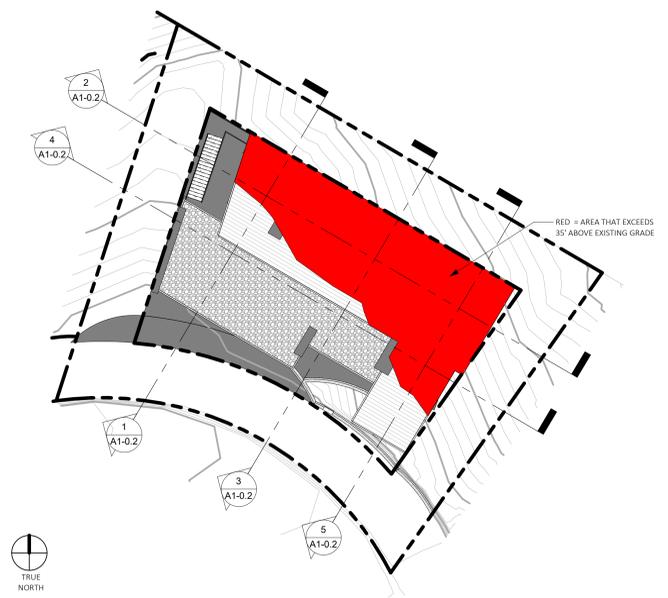
4 E/W SOUTHERN SITE SECTION  
 1/8" = 1'-0"



5 N/S EASTERN SITE SECTION  
 1/8" = 1'-0"



6 KEY PLAN  
 1" = 20'-0"



7 KEY PLAN  
 1" = 20'-0"



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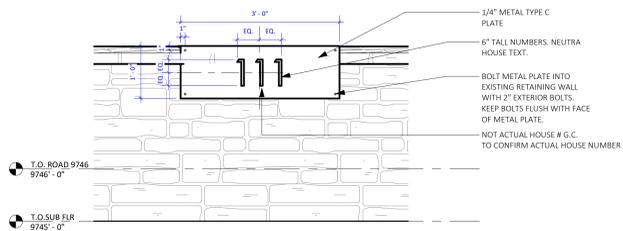
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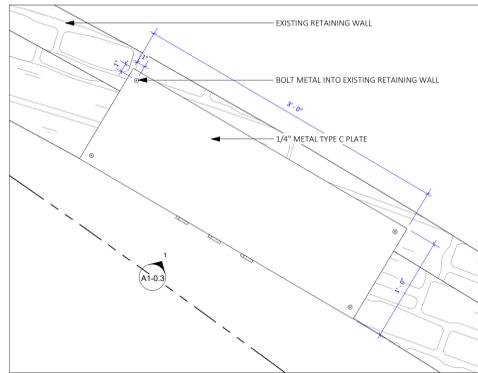
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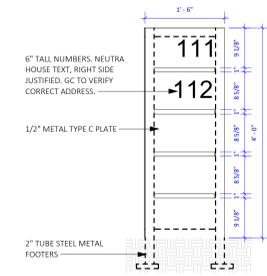
NEUTRA HOUSE ALUMINUM NUMBERS, BOTH SIDES, 6" TALL



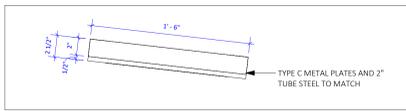
**1 ADDRESS MONUMENT - ELEVATION DETAIL**  
3/4" = 1'-0"



**2 ADDRESS MONUMENT PLAN**  
1 1/2" = 1'-0"



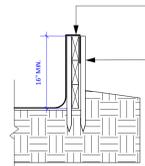
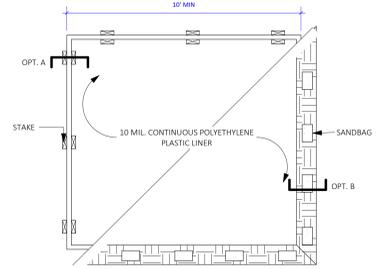
**3 DOUBLE ADDRESS MONUMENT - ELEVATION**  
3/4" = 1'-0"



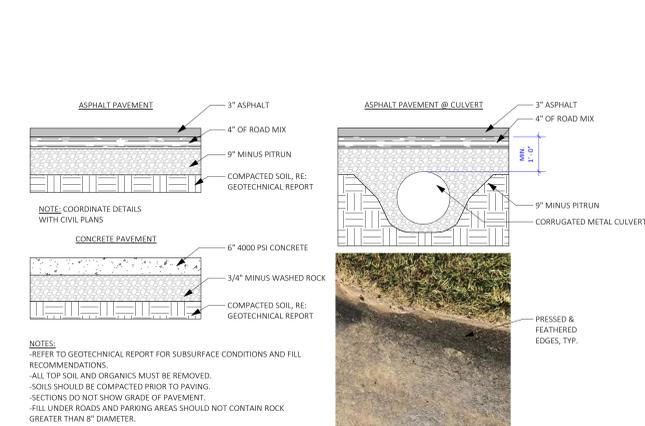
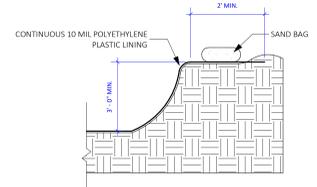
**4 ADDRESS MONUMENT PLAN**  
1 1/2" = 1'-0"

**CONCRETE WASHOUT AREA NOTES**

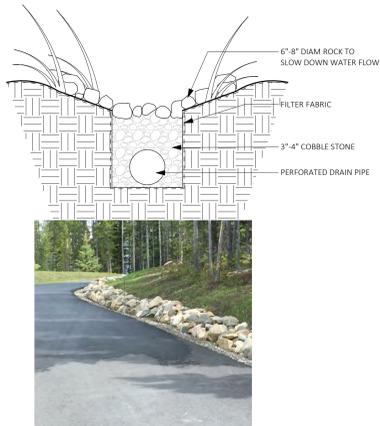
- Temporary concrete washout facilities shall be located a minimum of 50 ft from sensitive areas including storm drain inlets, open drainage facilities, and watercourses.
- Concrete washout within the roadside ditches is strictly prohibited.
- Washout of concrete trucks shall be performed in designated areas only.
- Once concrete wastes are washed into the designated area and allowed to harden, the concrete should be broken up, removed, and disposed of per applicable soil waste regulations. Dispose of hardened concrete on a regular basis.
- Materials used to construct temporary concrete washout facilities shall be removed from the site of the work and disposed of or recycled.
- Holes, depressions or other ground disturbance caused by the removal of the temporary concrete washout facilities shall be backfilled, repaired, and stabilized to prevent erosion.



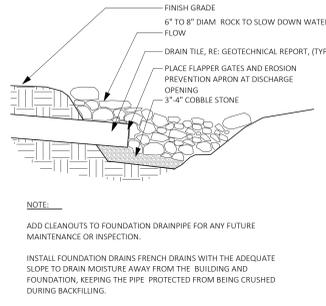
**5 CONCRETE WASHOUT AREA**  
3/4" = 1'-0"



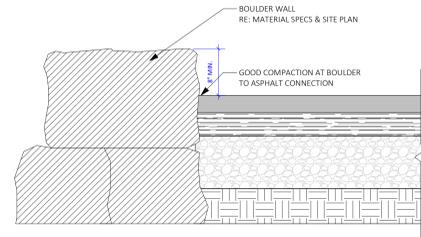
**6 SITE PAVING DETAILS**  
1/2" = 1'-0"



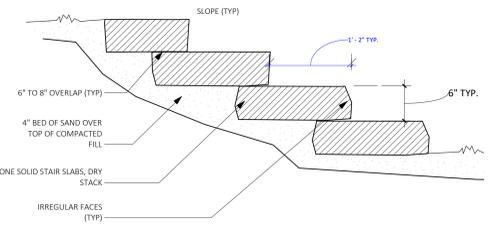
**7 DRAINAGE SWALE**  
1" = 1'-0"



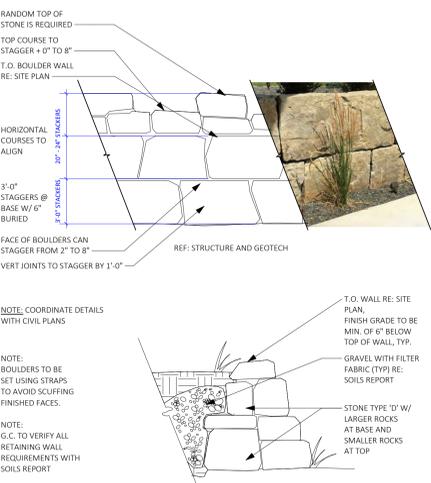
**8 DRAIN TILE RUNOUT DETAIL**  
1/4" = 1'-0"



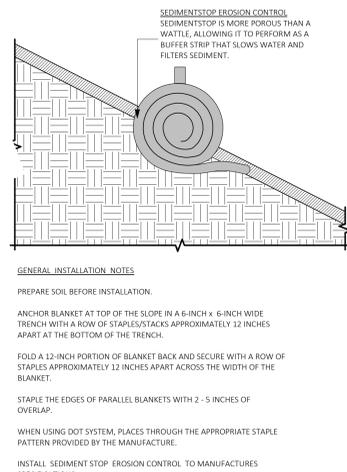
**9 DRIVEWAY CURB DETAIL**  
1" = 1'-0"



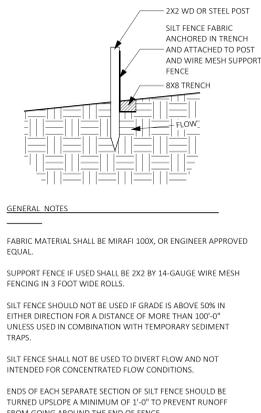
**10 SITE STEPS DETAIL**  
1" = 1'-0"



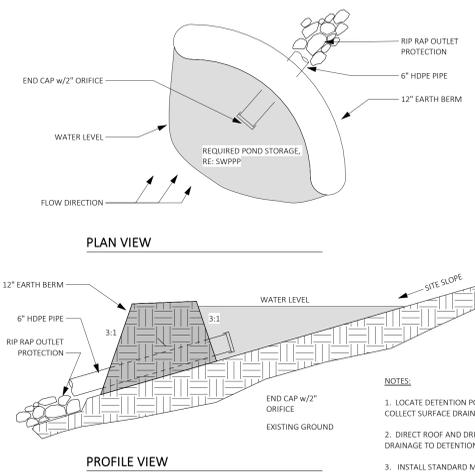
**11 TYPICAL BOULDER WALL DETAIL**  
1/2" = 1'-0"



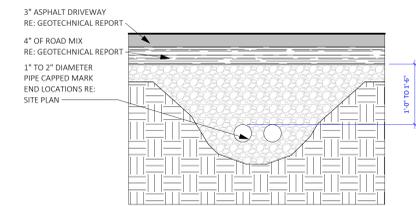
**12 EROSION CONTROL DETAIL**  
1/4" = 1'-0"



**13 SILT FENCE DETAIL**  
1/4" = 1'-0"



**14 RETENTION POND**  
1/2" = 1'-0"



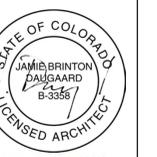
**15 CONDUIT/PIPE DETAIL**  
3/4" = 1'-0"



**16 SAND @ PROPANE TANKS**  
3/4" = 1'-0"

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A1-0.3  
SITE DETAILS





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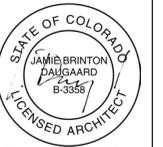
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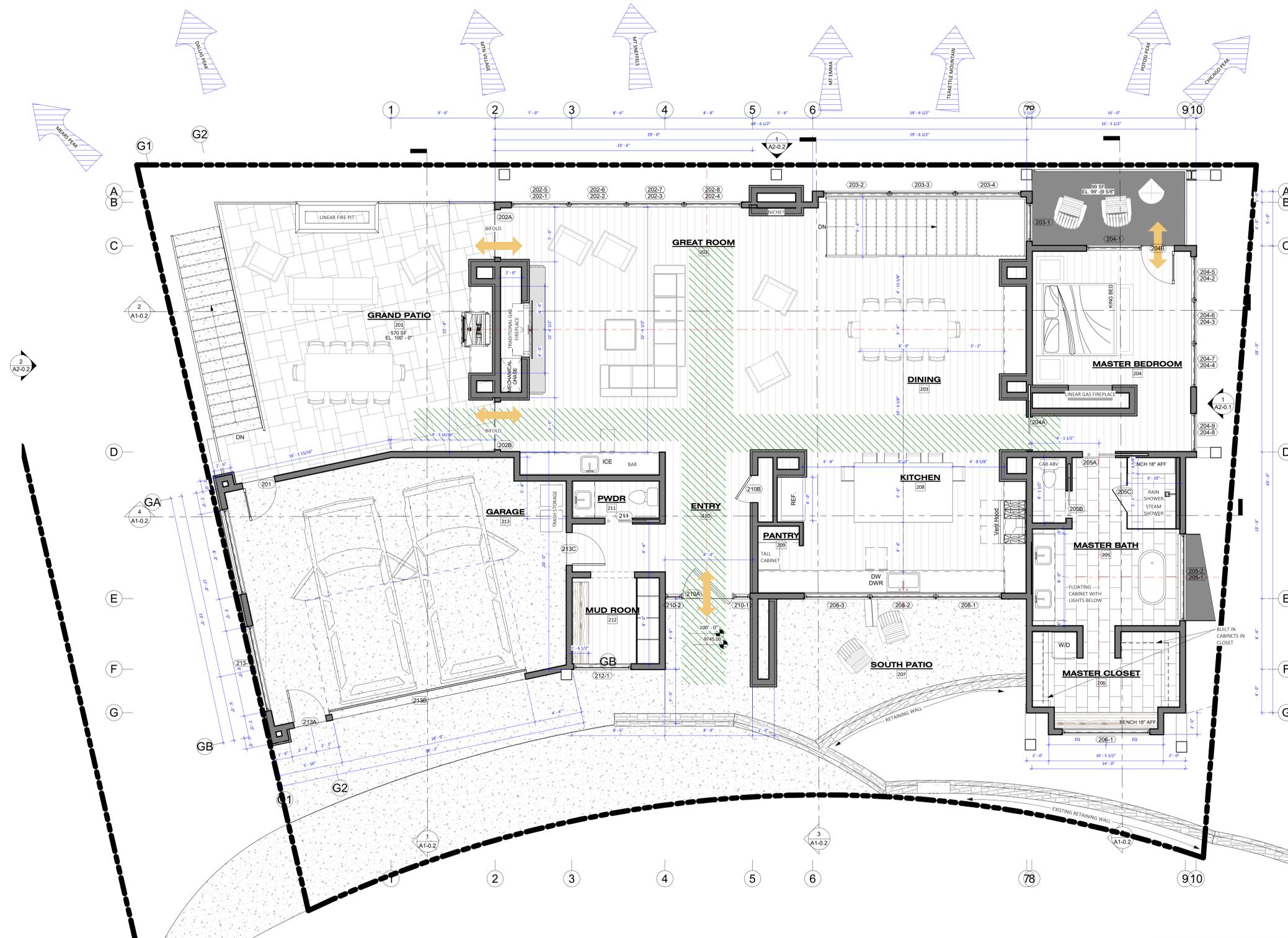
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**A1-1.1**  
MAIN LEVEL PLAN



**1** MAIN LEVEL PLAN  
1/4" = 1'-0"

LEVEL	NAME	AREA
T.O. ROCK BOTTOM	LIVING	1045 SF
T.O. SLAB	LIVING	2833 SF
T.O. SUB FLR	LIVING	2447 SF
HABITABLE		6326 SF
T.O. ROCK BOTTOM	MECH	369 SF
T.O. SUB FLR	GARAGE	659 SF
NON HABITABLE		1028 SF
GROSS AREA		7353 SF

FLOOR PLAN LEGEND	
	CENTERLINE
	AUTOMATIC BLIND: SHEER
	AUTOMATIC BLIND: BLACK OUT
	ACCENT DRAPE
	ARCHITECTURAL WALL
	CONVENTIONAL WOOD FRAMING - STANDARD THICKNESS 2x6 U.N.O.
	CONCRETE WALL - STANDARD THICKNESS 8" U.N.O.
	STONE MASONRY - STANDARD THICKNESS OF 1 1/2" U.N.O.
	INDICATES COLUMN VERIFY SIZE AND TYPE WITH STRUCTURAL DRAWINGS TYP.
	SNOW SHED

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FRAMING UNLESS NOTED OTHERWISE.
  - ALL WOOD FRAMED FLOORS TO RECEIVE 1 1/2" L.W. GYPSUM CONCRETE LAYER WITH EMBEDDED RADIANT HEAT TUBING U.N.O. ALL CONC. SLAB FLOORING SHALL HAVE IMBEDDED RADIANT HEAT TUBING U.N.O. - REFERENCE MECHANICAL CONTRACTOR FOR FURTHER INFORMATION.
  - CENTER ALL DOORS ABOUT WALL OR SPACE UNLESS INDICATED OTHERWISE.
  - ALL BARN DOOR OPENINGS SHALL BE GIBB CASED OPENINGS AND SHALL HAVE A CLEAR OPENING 2" LESS THAN OF THE DOOR PANEL WIDTH (TYP. U.N.O.)
  - THE GENERAL CONTRACTOR AND/OR WINDOW MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR ENSURING THAT SAFETY GLASS IS PROVIDED WHERE APPLICABLE IN ACCORDANCE WITH 2012 IRC SECTION R808.4
  - RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS. (TYP)
  - ANY AND ALL POST AND BEAM SIZES SHALL BE CROSS CHECKED WITH STRUCTURAL DRAWINGS, NOTIFY ARCHITECT OF ANY DISCREPANCIES. (TYP)
  - WATER SUPPLY (W.S.) TO BE LOCATED ON NON-VISIBLE SIDE OF TOILET (TYP)
  - MATERIAL TRANSITION TO FALL BELOW DOOR LEAF (TYP)
  - STAR WALLS SHALL BE FRAMED WITH LVL'S
  - ANY WALL SUPPORTING FLOATING SHELVING SHALL BE FRAMED WITH LVL'S
  - HOT TUB COORD. WITH OWNER ON MFR, SIZE, MECH ACCESS, COVER LOCATION WHEN OPEN AND CONFIRM SIZE OF RECESSED OPENING.



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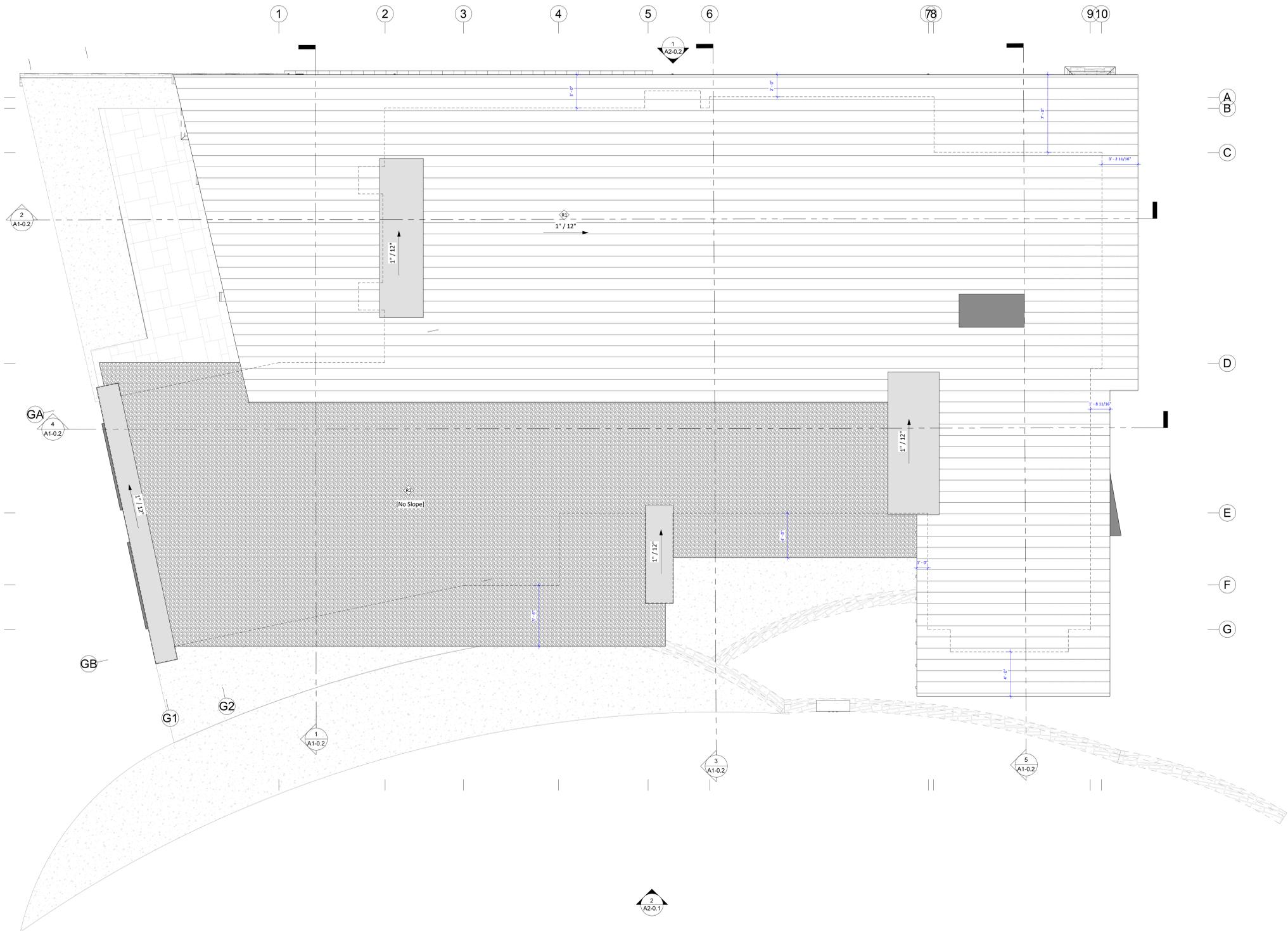
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**A1-3.1**  
 ROOF PLAN



**CRICKET DIMENSION TABLE**

ROOF SLOPE	H
12 : 12	1/2 OF W
8 : 12	3/8 OF W
6 : 12	3/4 OF W
4 : 12	3/8 OF W
3 : 12	1/8 OF W

**ROOF PLAN LEGEND**

**NOTE:**  
 REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS

**METAL ROOFING**  
 STANDING SEAM, 2" MECH. RIB WITH STRIATIONS & MASTIC, 16" RIB SPACING  
 COLOR: SLATE GREY RAWHIDE  
 MFR: TBD

**BALLAST ROOFING**  
 TPO ROOF WITH RIVER ROCK BALLAST  
 COLOR: GREY MIX

● METAL TYPE A, SEAMLESS 6" SQUARE, DARK BRONZE, GUTTERS W/ DOWNSPOUT AS INDICATED, PROVIDE ELEC. HEAT TAPE, TYP.  
 ○ PROVIDE DEBRIS SCREEN AT ALL TRANSITIONS TO DOWNSPOUT, TYP.

— FASCIA TYPE A, RE: ROOF DETAILS  
 — FASCIA TYPE B, RE: ROOF DETAILS

SNOW SHED LOCATION

**ROOF PLAN GENERAL NOTES**

- ALL ROOFS TO ACHIEVE A CLASS 'A' FIRE RATING BY INSTALLING REQUIRED ROOFING UNDERLAYMENT AT ALL LOCATIONS WHERE PRIMARY ROOF MATERIAL DOES NOT ACHIEVE CLASS 'A' RATING GC TO VERIFY COMPLIANCE, TYP.
- ALL RAKE AND EAVE DIMENSIONS TO BE HORIZONTAL DIMENSIONS, NOT ALONG THE PITCH.
- COORDINATE LAYOUT OF ROOF FRAMING WITH EXPOSED RAFTERS WHERE APPLICABLE, SEE REFLECTED CEILING PLAN FOR LOCATIONS, (TYP.)
- PROVIDE ELEC. ROUGH IN FOR HEAT TAPE IN ALL VALLEYS, RE: ELEC. FOR FURTHER DETAIL.
- VERIFY ALL GUTTER & DOWNSPOUT LOCATIONS AND TYPES WITH ARCHITECT PRIOR TO INSTALLATION.
- LIGHTNING PROTECTION IS RECOMMENDED, REFER TO MANUFACTURER FOR LIGHTNING ROD AND GROUND ROD LOCATIONS AS IMPLEMENTED.
- PROVIDE ELECTRICAL HEAT TAPE AT ALL HARD PIPED GUTTERS & DOWNSPOUTS (TYP.)
- ALL ROOF PENETRATION LOCATIONS INCLUDING, BUT NOT LIMITED TO; FLUES, VENTILATION PIPES AND STACKS SHALL BE SUBMITTED TO ARCHITECT AND ROOFING MFR. FOR REVIEW. (NOTE: NOT ALL ROOF PENETRATIONS MAY BE SHOWN ON PLAN)
- DIVERTER FLASHING SHALL BE INSTALLED WHERE A LOWER SLOPED ROOF TERMINATES AGAINST A VERTICAL WALL, CHIMNEY CHASE, OR FRAMED COLUMN.
- FLASHING AT PLUMBING VENTS TO MATCH ROOF MATERIAL, RE:
- GENERAL CONTRACTOR TO COORDINATE ALL SUBS THAT WILL PERFORM WORK ON OR MANIPULATE WORK OF THE ROOF. ANY CUTTING, PATCHING, DRILLING, SCREW PENETRATION AND PROTECTION NEED TO BE COORDINATED WITH THE ROOFER. 6/ A1-3.4

**METAL ROOFS:** INSTALL SLIP SHEET AS SPECIFIED ON TOP OF SINGLE LAYER 'MIRADRI' HIGH TEMP. ICE & WATER UNDERLAYMENT. DUAL LAYER TO EXTEND 6" UP FROM BOTTOM ON LOW SLOPE ROOFS. COVER ALL PWD SHEATHING WHERE METAL ROOF IS LOCATED. LAP OVER HIP, RIDGES, AND THROUGH VALLEYS, TYP. UNDERLAYMENT SHALL BE LAPPED 6" VERTICALLY (END OR SIDE LAP) AND 2" HORIZONTALLY (HEAD LAP).

**SHINGLE ROOFS:** INSTALL SINGLE LAYER OF SLOPESHIELD OVER 'MIRADRI' ICE & WATER UNDERLAYMENT OR EQ. TO COVER ALL PWD SHEATHING WHERE SHINGLE ROOFS ARE LOCATED. LAP OVER HIP, RIDGES, AND THROUGH VALLEYS, TYP. UNDERLAYMENT SHALL BE LAPPED 6" VERTICALLY (END OR SIDE LAP) AND 2" HORIZONTALLY (HEAD LAP). INSTALL SINGLE LAYER OF 5/8 MIN. FELT PAPER AT EVERY COARSE SHINGLE COARSE, TYP.

ALL HIP AND RIDGES TO RECEIVE 'PROTECTO WRAP' HIP AND RIDGE SEAL AS SPECIFIED, TYP.

**NOTE:** ALL VALLEYS TO RECEIVE METAL TYPE 'A' W-VALLEY METAL OVER TOP SLIP SHEET AS SPECIFIED 6" EXPOSED VALLEY METAL EACH SIDE, TYP.



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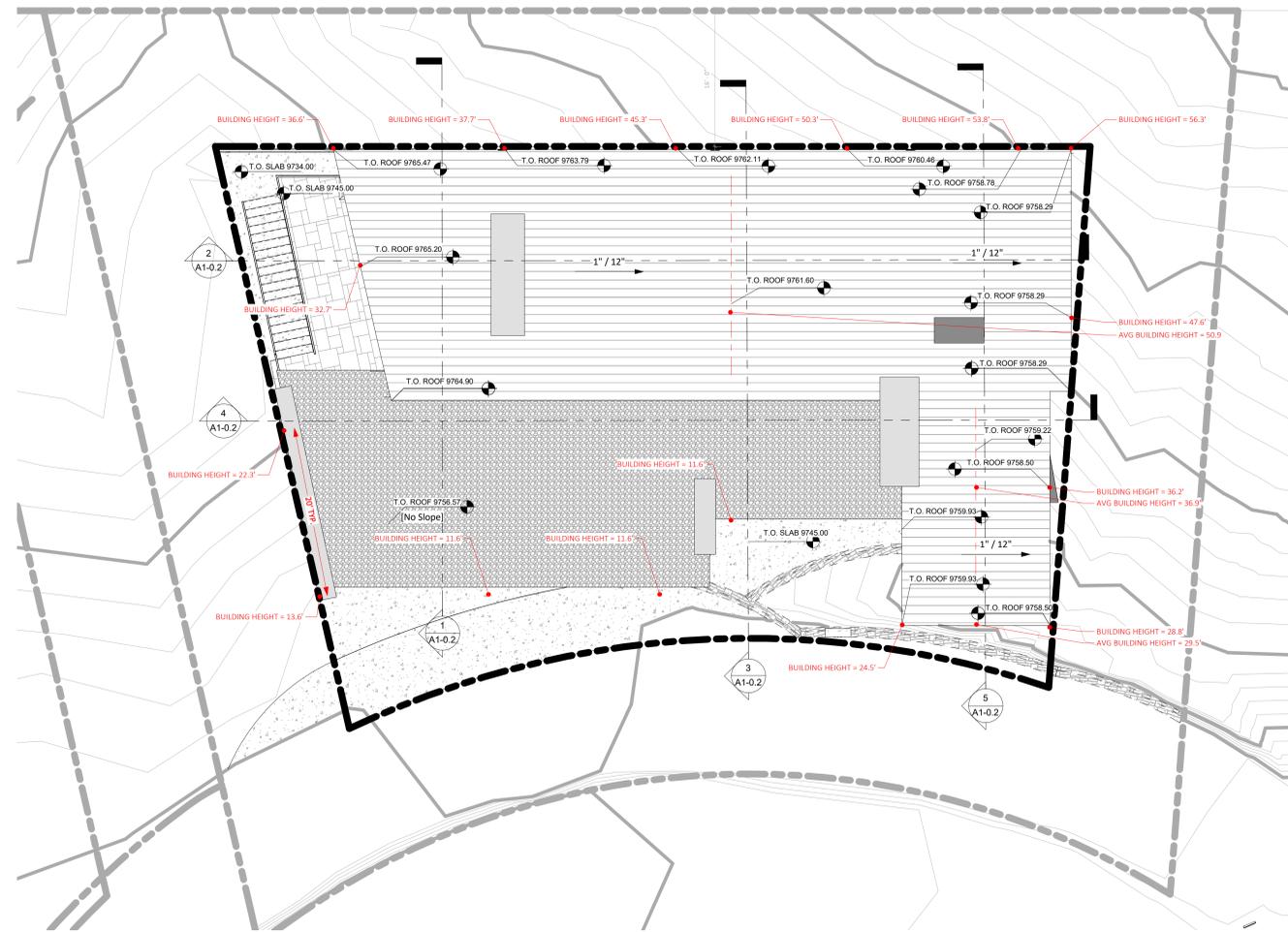


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A1-3.2

ROOF PLAN & TOPO  
SURVEY



1 ROOF PLAN  
1/8" = 1'-0"

**LOT COVERAGE - MOUNTAIN VILLAGE DEFINITION**

LOT COVERAGE: THE CALCULATION OF THE TOTAL HORIZONTAL AREA OF ANY BUILDING, CARPORT, PORTE-COCHERE, OR ARCADE AND SHALL ALSO INCLUDE WALKWAYS, ROOF OVERHANGS, EAVES, EXTERIOR STAIRS, DECKS, COVERED PORCH, TERRACES AND PATIOS. SUCH HORIZONTAL MEASUREMENT SHALL BE FROM THE BUILDING DRIP LINES AND FROM THE EXTERIOR SURFACE OF THE TOTAL WALL ASSEMBLY, WHICHEVER IS MORE RESTRICTIVE.

LOT COVERAGE = 4,738 SF  
LOT SIZE = 11,972 SF  
LOT COVERAGE = 39.5%

MAXIMUM LOT COVERAGE ALLOWED = 40%

**AVERAGE ROOF HEIGHT - MOUNTAIN VILLAGE DEFINITION**

MAXIMUM AVERAGE HEIGHT SHALL BE MEASURED FROM THE FINISHED GRADE TO A POINT ON THE ROOF PLANE MIDWAY BETWEEN THE EAVE & THE RIDGE.  
ON COMPLEX BUILDINGS WITH MULTIPLE HEIGHTS AND/OR BUILDINGS WITH MULTIPLE HEIGHTS ON SLOPING SITES, THE MAXIMUM AVERAGE HEIGHT SHALL BE DETERMINED BY TAKING THE AVERAGE OF HEIGHTS AT EQUAL INTERVALS AROUND THE PERIMETER OF A BUILDING. THOSE INTERVALS SHALL BE NO MORE THAN 20 FEET.

AVERAGE BUILDING HEIGHTS AT 20' MAX INTERVALS:  
13.6 + 22.3 + 32.7 + 36.6 + 37.7 + 45.3 + 50.3 + 53.8 + 56.3 + 50.9 + 36.9 + 29.5 + 24.5 + 11.6 + 11.6 + 11.6 = 529.2 / 16 = 32.9

AVERAGE BUILDING HEIGHT = 32.8'

**MAX BUILDING HEIGHT - MOUNTAIN VILLAGE DEFINITION**

BUILDING HEIGHT SHALL BE MEASURED VERTICALLY AT A RIGHT ANGLE TO THE HORIZON LINE FROM ANY POINT ON A PROPOSED OR EXISTING ROOF OR EAVE (INCLUDING BUT NOT LIMITED TO THE ROOFING MEMBRANE) TO THE NATURAL GRADE OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, LOCATED DIRECTLY BELOW SAID POINT OF THE ROOF OR EAVES.

MAX BUILDING HEIGHT = 56.33' (VARIANCE REQUESTED)

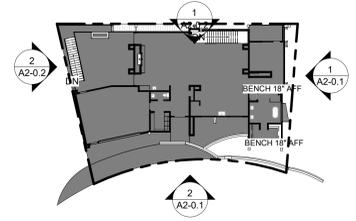


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**3** KEY PLAN  
 1" = 30'-0"

**EXTERIOR MATERIALS LEGEND**

NOTE:  
 REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

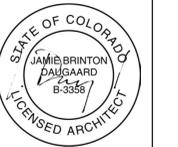
- METAL ROOFING**  
 STANDING SEAM, 2" MECH. RIB WITH STRIPATIONS & MASTIC, 16" RIB SPACING  
 COLOR: SLATE GREY RAWHIDE  
 MFR: TBD
- BALLAST ROOFING**  
 EPDM ROOF WITH RIVER ROCK BALLAST  
 COLOR: GREY MIX
- HORIZONTAL WOOD SIDING**  
 2X10 RECLAIMED WOOD BOARD RAINSCREEN, HORIZONTAL WITH 1" SPACING  
 COLOR: VARIED GREY  
 MFR: MRL  
 RE: 1/ AS-1.2
- STONE MASONRY VENEER**  
 NATURAL RECTANGULAR CUT DEEP CREEK 1 1/2" VENEER  
 LAYOUT: RE: 2/ AS-1.2
- STEEL SIDING**  
 PATINATED STEEL SIDING PANELS, 1/8" W/EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING  
 PATINA: VARIED BROWN/BLACK  
 MFR: TBD  
 RE: 3/ AS-1.2

**EXTERIOR MATERIAL QUANTITIES**

MATERIAL	ELEVATION (SF/%)				TOTAL
	NORTH	EAST	SOUTH	WEST	
STONE	1180/28.9	946/42.1	211/17.4	852/57.8	3,189/35.4
METAL	507/12.4	431/19	494/16.8	90/6.1	1,522/16.9
WOOD	467/11.4	434/19.3	203/25	371/25.2	1,475/16.4
FENESTRATION	1929/47.2	441/19.6	302/40.1	161/10.9	2,833/31.4

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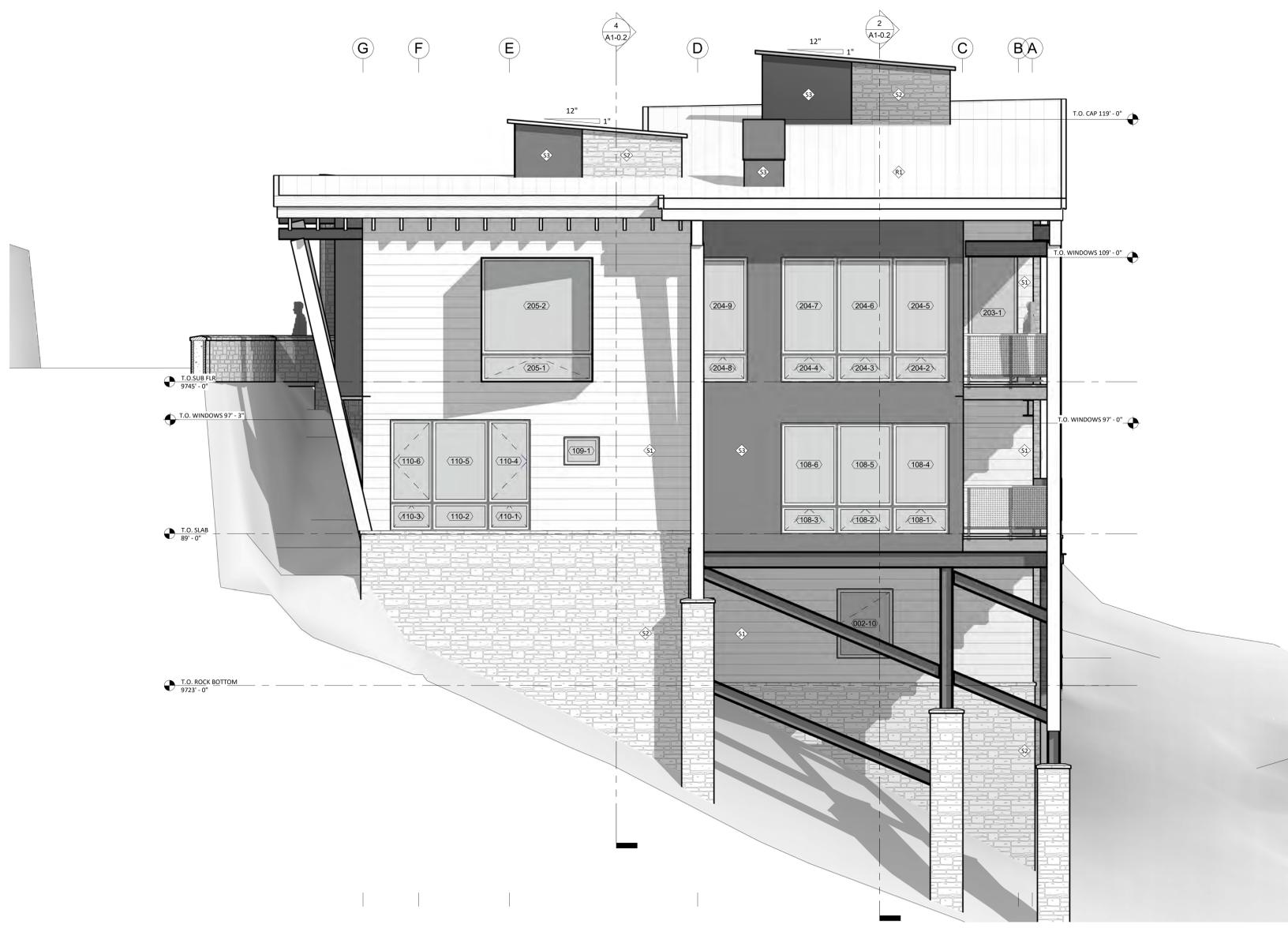
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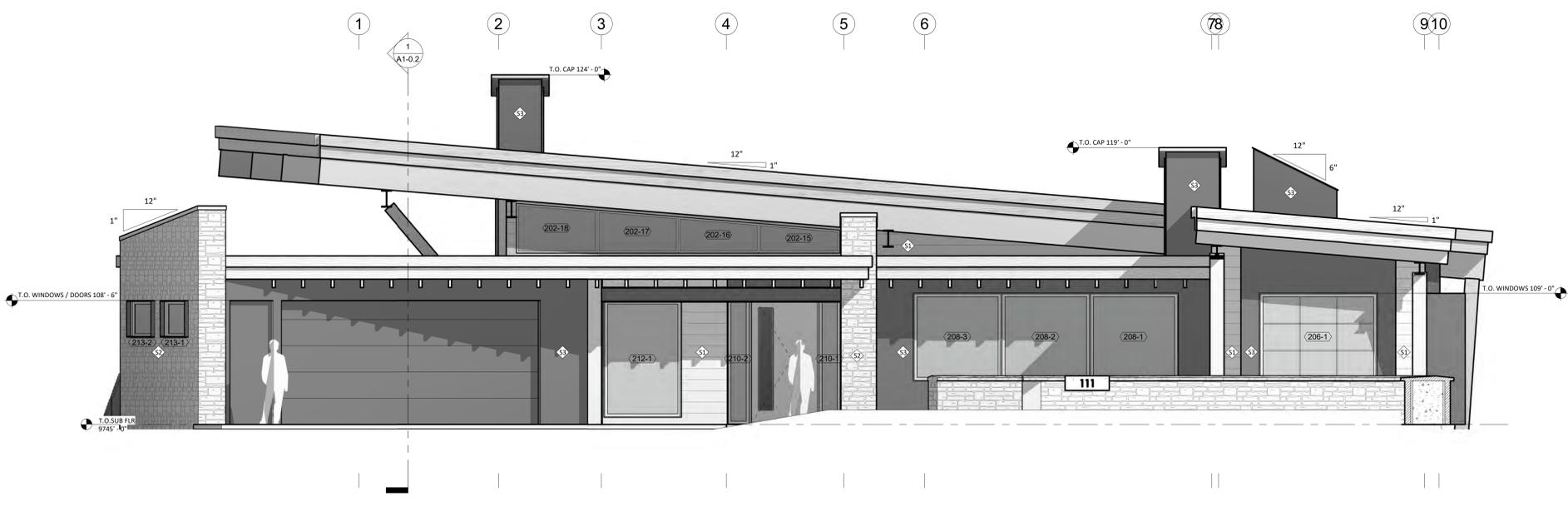
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**A2-0.1**  
 EXTERIOR ELEVATIONS



**1** EAST  
 1/4" = 1'-0"



**2** SOUTH  
 1/4" = 1'-0"

# CENTRE SKY

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&  
PLANNING

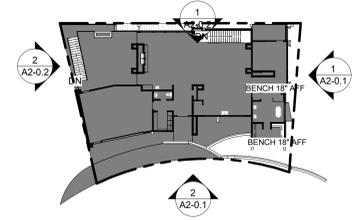


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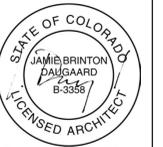
3 KEY PLAN  
1" = 30'-0"

EXTERIOR MATERIALS LEGEND	
<b>NOTE:</b> REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.	
	<b>METAL ROOFING</b> STANDING SEAM, 2" MECH. RIB WITH STRUTS & MASTIC, 16" RIB SPACING COLOR: SLATE GREY RAWHIDE MFR: TBD
	<b>BALLAST ROOFING</b> EPDM ROOF WITH RIVER ROCK BALLAST COLOR: GREY MIX
	<b>HORIZONTAL WOOD SIDING</b> 2x10 RECLAIMED WOOD BOARD RAINSCREEN, HORIZONTAL WITH 3" SPACING COLOR: VARIED GREY MFR: MRL RE: 1/A5-1.2
	<b>STONE MASONRY VENEER</b> NATURAL RECTANGULAR CUT DEEP CREEK 1 1/2" VENEER LAYOUT RE: 2/A5-1.2
	<b>STEEL SIDING</b> PATINATED STEEL SIDING PANELS, 1/8" W/EXPOSED FASTENERS, SEE ELEVATIONS FOR SEAM SPACING PATINA: VARIED BROWN/BLACK MFR: TBD RE: 3/A5-1.2

EXTERIOR MATERIAL QUANTITIES					
MATERIAL	ELEVATION (SF/%)				
	NORTH	EAST	SOUTH	WEST	TOTAL
STONE	1380/28.9	946/42.1	211/17.4	852/57.8	3,189/35.4
METAL	507/12.4	431/19	494/16.8	90/6.1	1,522/16.9
WOOD	467/11.4	434/19.3	203/25	371/25.2	1,475/16.4
FENESTRATION	1929/47.2	441/19.6	302/40.1	161/10.9	2,833/31.4

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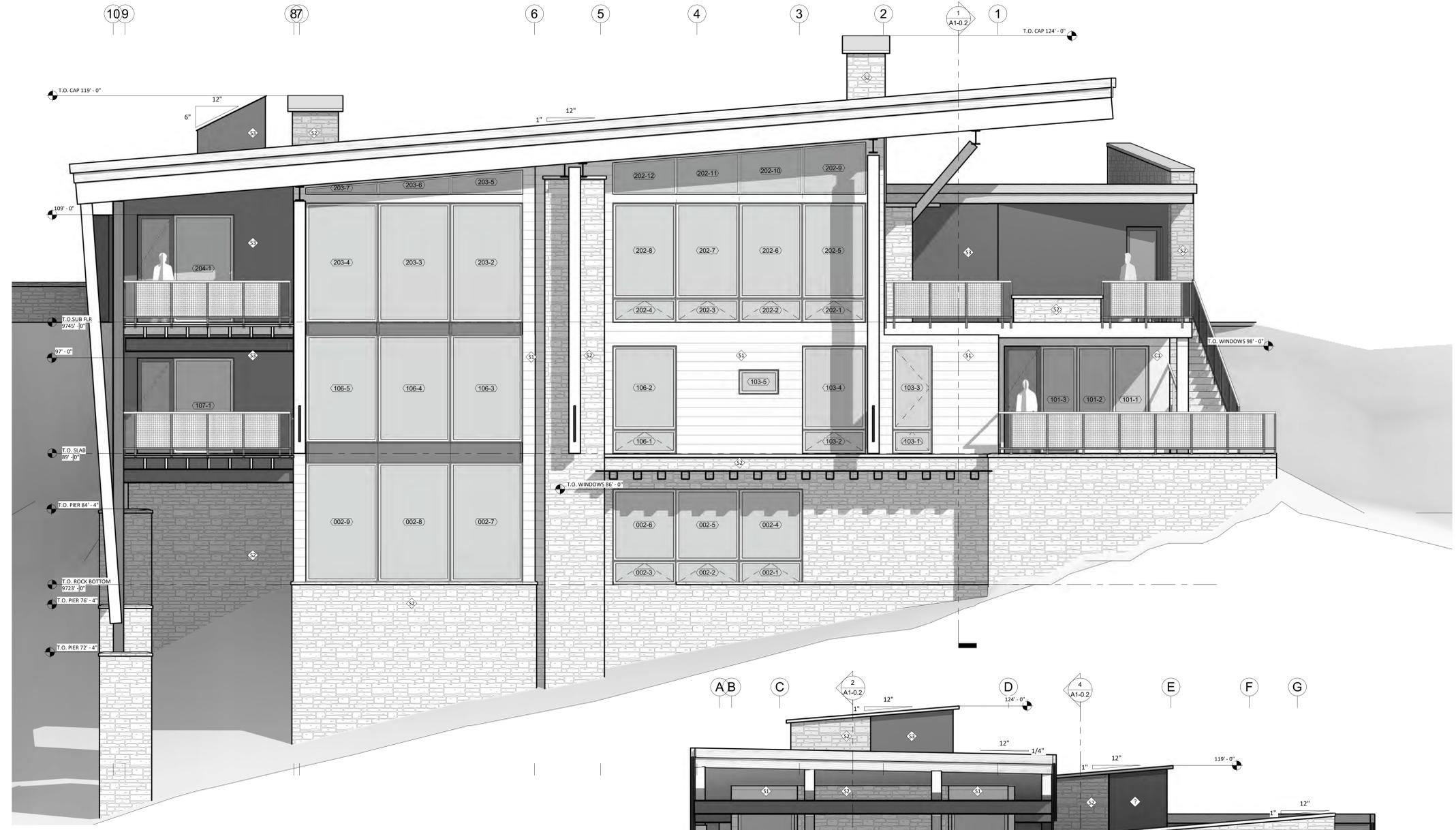
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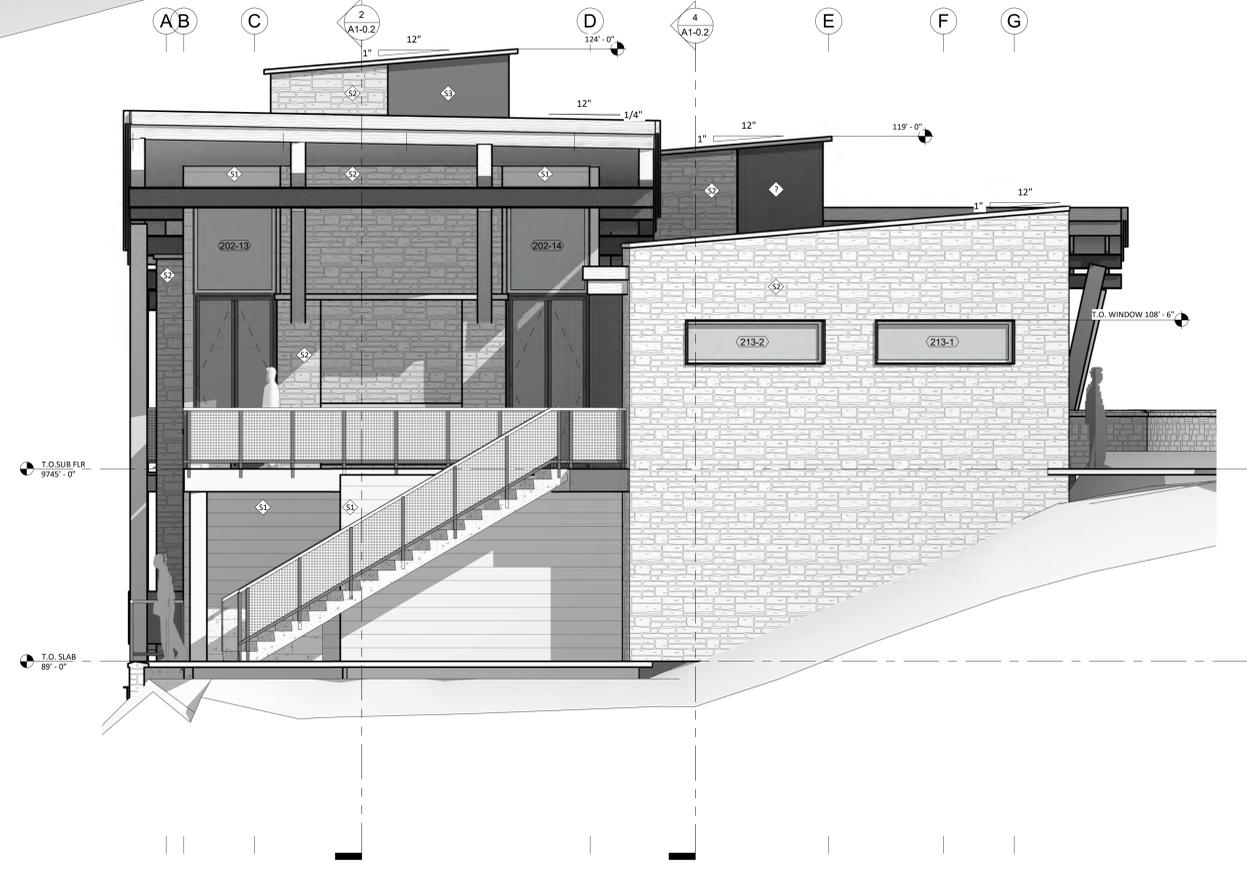
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A2-0.2  
EXTERIOR  
ELEVATIONS



1 NORTH  
1/4" = 1'-0"



2 WEST  
1/4" = 1'-0"



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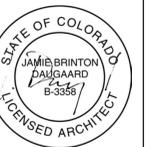
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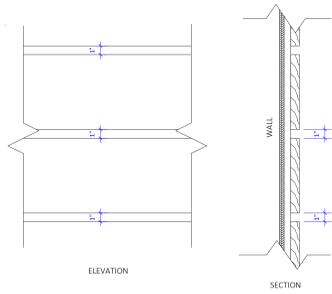
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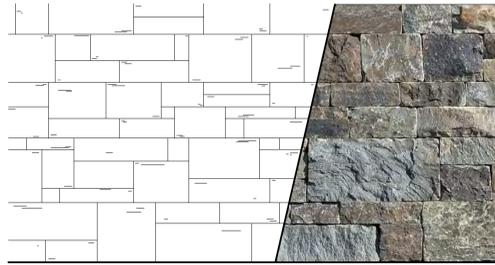
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A5-1.2  
EXTERIOR DETAILS

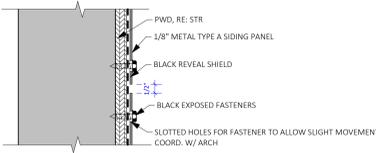


1 SQUARE EDGE PROFILE  
1 1/2" = 1'-0"

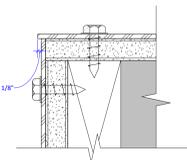


DEEP CREEK LAYUP

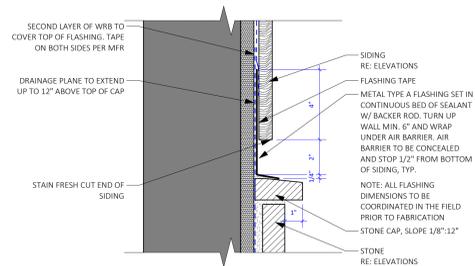
2 STONE LAYUP DETAIL - DEEP CREEK  
3/4" = 1'-0"



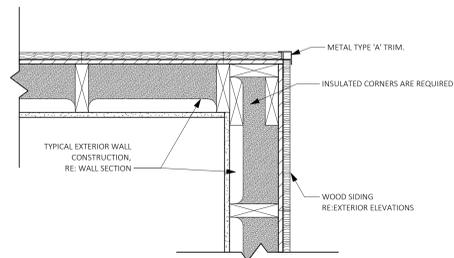
3 STEEL SIDING DETAIL  
3" = 1'-0"



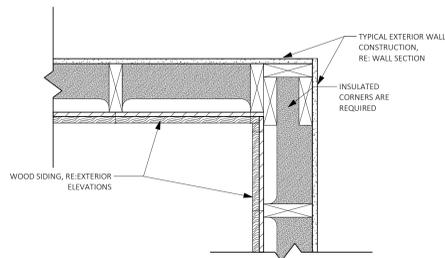
4 STEEL CORNER DETAIL TYP.  
6" = 1'-0"



5 TYP. STONE SILL DETAIL  
3" = 1'-0"



6 EXT O/S CORNER DETAIL @ WD SIDING  
1 1/2" = 1'-0"



7 EXT I/S CORNER @ WOOD SIDING  
1 1/2" = 1'-0"



FRONTIER PAVER PATIO LAYUP

8 PATIO LAYUP - FRONTIER  
3/4" = 1'-0"



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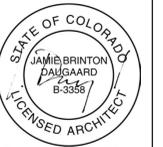
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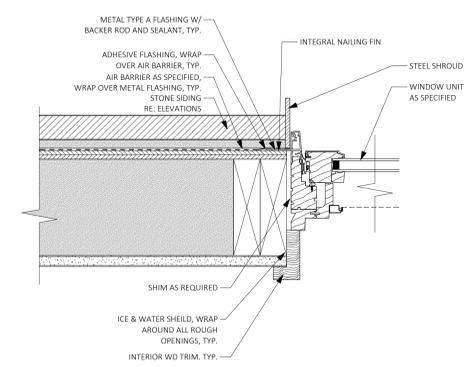
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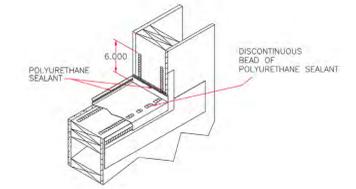
**A6-1.2**  
WINDOW  
SCHEDULE

WINDOW #	SIZE		ELEVATION	OPERATION	MFR	PROFILE	FINISH		FRAME DETAIL # /A6-1.3			TRIM TYPE		HARDWARE		GLASS TYPE	REMARKS
	WIDTH	HEIGHT					INTERIOR	EXTERIOR	HEAD	JAMB	SILL	INTERIOR	EXTERIOR	SET	FINISH		
002-1	5'-3"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
002-2	5'-3"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
002-3	5'-3"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
002-4	5'-3"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
002-5	5'-3"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
002-6	5'-3"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
002-7	6'-0"	10'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
002-8	6'-0"	10'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
002-9	6'-0"	10'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
002-10	4'-0"	5'-0"		CASEMENT			CLEAR PINE	BLACK								IG Low E II with Argon	
101-1	3'-0"	9'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
101-2	3'-0"	9'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
101-3	3'-0"	9'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
103-1	3'-3"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
103-2	5'-3"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
103-3	3'-3"	7'-0"		CASEMENT			CLEAR PINE	BLACK								IG Low E II with Argon	
103-4	5'-3"	7'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
103-5	3'-3"	2'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
106-1	5'-3"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
106-2	5'-3"	7'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
106-3	6'-0"	9'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
106-4	6'-0"	9'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
106-5	6'-0"	9'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
107-1	5'-0"	8'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
108-1	4'-0"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
108-2	4'-0"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
108-3	4'-0"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
108-4	4'-0"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
108-5	4'-0"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
108-6	4'-0"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
109-1	2'-6"	2'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
110-1	3'-0"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
110-2	4'-0"	2'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
110-3	3'-0"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
110-4	3'-0"	6'-0"		CASEMENT			CLEAR PINE	BLACK								IG Low E II with Argon	
110-5	4'-0"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
110-6	3'-0"	6'-0"		CASEMENT			CLEAR PINE	BLACK								IG Low E II with Argon	
202-1	5'-3"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
202-2	5'-3"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
202-3	5'-3"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
202-4	5'-3"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
202-5	5'-3"	8'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
202-6	5'-3"	8'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
202-7	5'-3"	8'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
202-8	5'-3"	8'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
202-9	5'-3"	4'-4 1/4"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
202-10	5'-3"	3'-10 3/4"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
202-11	5'-3"	3'-5 1/2"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
202-12	5'-3"	3'-0 1/2"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
202-13	4'-8"	5'-6"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
202-14	4'-8"	5'-6"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
202-15	5'-6"	2'-0"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
202-16	5'-6"	2'-5 1/2"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
202-17	5'-6"	2'-11"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
202-18	5'-6"	3'-4 1/2"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
203-1	3'-6"	10'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
203-2	6'-0"	10'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
203-3	6'-0"	10'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
203-4	6'-0"	10'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
203-5	6'-0"	2'-0"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
203-6	6'-0"	1'-5 3/4"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
203-7	6'-0"	0'-6"		FIXED TRAP.			CLEAR PINE	BLACK								IG Low E II with Argon	
204-1	5'-0"	9'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
204-2	4'-0"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
204-3	4'-0"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
204-4	4'-0"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
204-5	4'-0"	7'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
204-6	4'-0"	7'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
204-7	4'-0"	7'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
204-8	3'-6"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
204-9	3'-6"	7'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
205-1	8'-0"	2'-0"		AWNING			CLEAR PINE	BLACK								IG Low E II with Argon	
205-2	8'-0"	7'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
206-1	8'-0"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
208-1	6'-0"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
208-2	6'-0"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
208-3	6'-0"	6'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
210-1	1'-6"	9'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
210-2	1'-6"	9'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
212-1	5'-3"	8'-0"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
213-1	8'-0"	2'-6"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	
213-2	8'-0"	2'-6"		FIXED			CLEAR PINE	BLACK								IG Low E II with Argon	

Grand total: 82



1 TYP WINDOW JAMB @ STONE SIDING  
3" = 1'-0"



6 TYP. WINDOW SEALANT @ B.O. WINDOW  
1" = 1'-0"

- WINDOW GENERAL NOTES**
- REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR DIRECTION OF OPERABLE WINDOW SWING.
  - REFER TO PLANS & EXTERIOR ELEVATIONS FOR EGRESS WINDOW LOCATIONS.
  - WINDOW MANUFACTURER TO VERIFY THAT ALL EGRESS WINDOWS MEET EGRESS REQUIREMENTS IN ACCORDANCE TP 2012, INC. AND ADVISE ARCHITECT OF ANY CONFLICTS.
  - REFERENCE WINDOW SCHEDULE FOR ALL MILLED UNITS.
  - REFERENCE WINDOW ELEVATIONS FOR ALL TRAPAZOID UNITS.
  - WINDOW SUPPLIER TO PROVIDE FINAL SHOP DRAWINGS AND LIST TO ARCHITECT FOR REVIEW PRIOR TO PLACING ORDER.
  - ALL WINDOW ELEVATIONS ARE EXTERIOR ELEVATIONS.
  - GENERAL CONTRACTOR TO INSPECT ALL GLASS AND FRAMES FOR DEFECTS PRIOR TO INSTALL.
  - REFER TO FINISH SCHEDULE FOR SPECIFIC STAIN & PAINT FINISHES.



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P 303.840.0020

**MONTANA:**  
P.O. BOX 161488  
11 LONE PEAK DR., UNIT 206  
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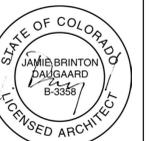
**UTAH:**  
1960 SIDEWINDER DR., #101  
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TELLURIDE #6  
TELLURIDE, CO 81435

NOT FOR  
CONSTRUCTION



Issued For	Date
• 100% S.D.	11/25/2020
• Pricing #	-
• ARC Sketch Review	11/25/2020
• 100% D.D.	-
• ARC Final Review	-
• 100% C.D.	-
• REV. #	-

Drawn By S. D'AGOSTINO  
Date 11/25/2020  
Project # 2021.00  
Phase SD  
Sheet

**A6-2.1**  
DOOR ELEVATIONS  
& SCHEDULE

DOOR #	DOOR													REMARKS					
	SIZE			ELEVATION TYPE	SWING	MATERIAL	MFR	FINISH	INT/EXT	FRAME DETAIL #/A6-2.2			TRIM TYPE		HARDWARE				
	W	H	T							HEA	JAMB	SILL	EXT.		INT.	FUNCTION	STYLE	FINISH	
001A	3'-0"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
002A	2'-6"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
003A	4'-0"	8'-0"	0'-1 3/4"		BARN				INT										
003B	2'-6"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
003C	2'-6"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
003D	2'-6"	8'-0"	0'-0 3/8"		RE: PLAN				INT										
004A	2'-6"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
101A	3'-0"	9'-0"	0'-2 1/4"		RE: PLAN				EXT										
103A	3'-0"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
103B	3'-6"	8'-0"	0'-1 3/8"		POCKET				INT										
104A	2'-6"	8'-0"	0'-1 3/8"		POCKET				INT										
104B	2'-6"	7'-0"	0'-0 3/8"		RE: PLAN				INT										
104C	2'-6"	8'-0"	0'-1 3/8"		POCKET				INT										
105A	5'-4"	8'-0"	0'-2"		DOUBLE				INT										
107A	3'-0"	8'-0"	0'-2 1/4"		RE: PLAN				EXT										
108A	3'-0"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
108B	4'-0"	8'-0"	0'-2"		DOUBLE				INT										
109A	2'-6"	8'-0"	0'-1 3/8"		POCKET				INT										
109B	2'-6"	7'-0"	0'-0 3/8"		RE: PLAN				INT										
109C	2'-6"	8'-0"	0'-1 3/8"		POCKET				INT										
110A	3'-0"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
111A	3'-0"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
111B	2'-6"	7'-0"	0'-0 3/8"		RE: PLAN				INT										
111C	2'-6"	8'-0"	0'-1 3/8"		POCKET				INT										
112A	3'-0"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
113A	5'-4"	8'-0"	0'-2"		DOUBLE				INT										
114A	2'-6"	8'-0"	0'-1 3/8"		POCKET				INT										
115A	3'-0"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
201	3'-0"	8'-0"	0'-2 1/4"		RE: PLAN				EXT										
202A	4'-3 5/8"	9'-10 7/8"	0'-2 1/4"		BI-FOLD				EXT										
202B	4'-3 5/8"	9'-10 7/8"	0'-2 1/4"		BI-FOLD				EXT										
204A	3'-0"	8'-0"	0'-1 3/8"		POCKET				INT										
204B	3'-0"	9'-0"	0'-2 1/4"		RE: PLAN				EXT										
205A	3'-0"	8'-0"	0'-1 3/8"		POCKET				INT										
205B	2'-6"	8'-0"	0'-1 3/8"		POCKET				INT										
205C	2'-6"	8'-0"	0'-0 3/8"		RE: PLAN				INT										
210A	4'-6"	9'-0"	0'-2 1/4"		PIVOT				EXT										
210B	2'-6"	8'-0"	0'-1 3/4"		RE: PLAN				INT										
211	2'-6"	8'-0"	0'-1 3/8"		POCKET				INT										
213A	3'-0"	8'-6"	0'-1 3/4"		RE: PLAN				EXT										
213B	18'-0"	8'-6"	0'-1 3/4"		GARAGE				EXT										
213C	3'-0"	8'-0"	0'-1 3/4"		RE: PLAN				INT										

Grand total: 42

- DOOR SCHEDULE NOTES:**
- ALL BARN DOOR SLABS TO BE 2" WIDER THAN FINISHED OPENING
  - PROVIDE TRACKS AT BOTTOM OF ALL BARN DOORS
  - ALL W/D DOORS SHALL BE ENGINEERED LAMINATED DOORS U.N.O. GC TO COORDINATE JAMB WIDTHS ACCORDING TO VARYING WALL WIDTH, SEE FLOOR PLAN FOR WALL TYPES AND WIDTHS
  - A. GC TO COORDINATE JAMB WIDTHS WITH INTERIOR SHEAR WALL LOCATIONS (IF APPLICABLE) - SEE STR FOR SHEAR WALL LOCATIONS
  - VERIFY FINISHES WITH ARCH/OWNER AND ID
  - VERIFY PRIVACY LOCKS ON BEDROOMS AND BATHROOMS W/ OWNER
  - VERIFY ALL DOOR SWINGS WITH OWNER/ARCH PRIOR TO PRODUCTION
  - FOR ALL DOORS AT STRIKE PLATE LOCATION, PAINT EXPOSED JAMB AND ANY EXPOSED FRAMING BEHIND STRIKE PLATE BLACK, TYP. RECESSED AREAS ON EXTERIOR DOORS TO HAVE BEVELED EDGES
  - SLOT ON HEAD OF SCREWS TO ALIGN VERTICALLY ON DOOR HARDWARE
  - ALL EXTERIOR DOORS TO RECEIVE APPROPRIATE WEATHER STRIPPING
  - NEOPRENE DOOR SHIMS SHALL BE USED SIMILAR TO THE PRODUCT BY 'ENDURA'
  - DOOR CORNER SEALS TO BE INSTALLED ON ALL EXTERIOR HINGED DOORS, COLOR TO MATCH WEATHERSTRIPPING
  - ALL GARAGE DOORS TO HAVE AUTOMATIC CLOSE
  - WEDGES ON ALL HINGED EXTERIOR DOORS ON STRIKE SIDE
  - ALL EXTERIOR HINGED OR PIVOT DOORS TO RECEIVE CORNER SEALS



M-D BUILDING PRODUCTS FOAM VINYL CORNER WEATHERSEALS FOR DOORS 1-3/4" X 0.131" COLOR ALWAYS BLACK