

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING
AGENDA**

THURSDAY MARCH 4, 2021 10:00 AM

MOUNTAIN VILLAGE TOWN HALL

455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO

TO BE HELD <https://us02web.zoom.us/j/85849135361?pwd=NzZaY0Z6M2I4VHR2aHZuOEpnNbG0rQT09>

(see login details below)

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	5	Ward	Action	Reading and Approval of the February 4, 2021 Regular Meeting and the February 11, 2021 Special Meeting Design Review Board Meeting Minutes.
3.	10:05	30	Haynes	Action/ Recommendation	Interview New Applicants for Design Review Board open seats with recommendation to Town Council
4.	10:35	5	Miller Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architectural Review for a new Single-Family residence on Lot 165, Unit 6, 160 Cortina Drive, pursuant to CDC section 17.4.11. A motion to continue will be considered before the public hearing is opened.
5.	10:40	5	Miller Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architectural Review for a new Single-Family residence on Lot 424, 121 Touchdown Drive, pursuant to CDC section 17.4.11. A motion to continue will be considered before the public hearing is opened. This item was continued from the 11.5.2020 and the 1.7.2021 hearing.
6.	10:45	5	Miller Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architectural Review for a new Detached Condominium Residence on Lot 161D-1, Unit 17, 8 Tunnel Lane (The Ridge), pursuant to CDC section 17.4.11. A motion to continue will be considered before the public hearing is opened.
7.	10:50	30	Miller Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single-Family residence on Lot BC513E, 104 Lawson Overlook, pursuant to CDC section 17.4.11.
8.	11:20	30	Ward Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new single-family residence on Lot 729R-5, 91 Pennington Place, pursuant to CDC Section 17.4.11.
9.	11:50	45	Miller Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a new Detached Condominium Residence on Lot 161D-1, Unit 19, 1 La Sal Lane (The Ridge), pursuant to CDC section 17.4.11.

Please note that this Agenda is subject to change. (Times are approximate and subject to change)

455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435

Phone: (970) 369-8242

Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: cd@mtnvillage.org. We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**DESIGN REVIEW BOARD MEETING
AGENDA FOR MARCH 4, 2021**

10.	12:35	30	Chair		LUNCH (Recess)
11.	1:05	45	Ward Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a new single-family residence on Lot 167R-3, 162 San Joaquin Rd., Unit 3, pursuant to CDC Section 17.4.11.
12.	1:50	45	Miller Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a new single-family residence on Lot 434, 142 Touchdown Drive pursuant to CDC Section 17.4.11.
13.	2:35		Chair		Adjourn

Topic: March 4, 2021 Regular DRB Meeting
Time: Mar 4, 2021 10:00 AM Mountain Time (US and Canada)

Join Zoom Meeting
<https://us02web.zoom.us/j/85849135361?pwd=NzZaY0Z6M2I4VHR2aHZuOEpnNbG0rQT09>

Meeting ID: 858 4913 5361
Passcode: 667487

Dial by your location
+1 346 248 7799 US (Houston)
+1 669 900 9128 US (San Jose)
+1 253 215 8782 US (Tacoma)
+1 312 626 6799 US (Chicago)
+1 646 558 8656 US (New York)
+1 301 715 8592 US (Washington DC)

Consistent with Resolution No. 2020-0514-10 regarding virtual (electronic) meetings, written testimony shall be submitted to cd@mtnvillage.org and must be received no later than 48 hours prior to the public hearing. Oral testimony, for those wishing to testify, must register by sending an email to cd@mtnvillage.org at least one hour prior to the agenda hearing.

Please note that this Agenda is subject to change. (Times are approximate and subject to change)
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435
Phone: (970) 369-8242 Fax: (970) 728-4342

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**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY FEBRUARY 4, 2021**

Call to Order

Chairman Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:00 AM on FEBRUARY 4, 2021, held remotely via ZOOM:
<https://us02web.zoom.us/j/81006771769?pwd=Y3lJUjc3Ym43dU1yRU1KMGIUdm1SZz09>

Attendance

The following Board members were present and acting:

Banks Brown
David Craige
Greer Garner
Cath Jett
David Craige
David Eckman
Liz Caton
Ellen Kramer (1nd alternate)

The following Board members were absent:

Scott Bennett (2nd alternate)
Adam Miller

Town Staff in attendance:

Michelle Haynes, Planning & Development Services Director
John Miller, Senior Planner
Amy Ward, Planner

Public in attendance:

Lorrie Denesik
Ricky Denesik
Charles Harris
Dan Caton

APPROVAL OF MINUTES

On a **MOTION** by Garner **SECONDED** by Kramer, the DRB approved the minutes from the Special Meeting dated December 17, 2020 and the the regular meeting minutes dated January 7, 2021.

Item 3. Consideration of a Design Review: Initial Architecture and Site Review for a new Single-Family residence on Lot BC513E, 104 Lawson Overlook, pursuant to CDC section 17.4.11. This Item was continued from 01.07.2021.

John Miller presented on behalf of staff
Jack Wesson, architect, presented as applicant

Public Comment: None

On a **MOTION** by Craig and **SECONDED** by Garner the DRB voted unanimously to to approve the Initial Architectural and Site Review for a new single-family home located at Lot BC513E, based on the evidence provided within the Staff Memo of record dated January 22, 2021, with the following Design Variations and Specific Approvals:

1. Design Review Board Design Variations: Parking Regulations
2. Design Review Board Specific Approvals: Parking in the General Easement Road and Driveway Standards

And, with the following conditions:

1. Prior to submittal for Final Architectural Review, the applicant shall revise the site plan to specifically document the setbacks of the home to the property lines as well as any slopes over 30%.
2. Prior to submittal for Final Architectural Review, the applicant will revise the civil engineering plan set to driveway widths and retaining wall locations/heights to determine the full extent of encroachments into the GE.
3. Areas disturbed within the General Easement utilized during construction shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy.
4. Prior to submittal for the Final Architectural Review, two exterior parking spaces must be demonstrated on the site to meet the parking requirements.
5. Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
6. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
7. Prior to issuance of a CO, the property owner will enter into a Road Right of Way and General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the road right of way and general easement encroachments approved.
8. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height (consistent with CDC Section 17.3.12.C.)
9. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
10. Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
11. All areas of glazing to be specified as non-reflective material.

Item 4. Consideration of a Design Review: Initial Architecture and Site Review for a new Single-Family residence on Lot 165, Unit 6, 160 Cortina Drive, pursuant to CDC section 17.4.11. Concurrent review and recommendation to Town Council regarding a variance request for Building Height and Average Building Height pursuant to CDC section 17.4.16.

John Miller presented on behalf of staff

Jamie Dugaard and Sara D'Agostino presented as the applicant

Public comment: One letter was received from the Lodges on Sundance HOA and was included in the packet

On a **MOTION** by Craige and **SECONDED** by Jett the DRB voted unanimously to continue the Initial Architectural and Site Review for a new single-family detached condominium located at Lot 165, Unit 6, to the regular DRB meeting March 4, 2021 based on the evidence provided within the Staff Memo of record dated January 22, 2021.

On a **MOTION** by Craige and **SECONDED** by Jett the previous motion was withdrawn and it was moved to continue the Initial Architectural and Site Review for a new single-family detached condominium located at Lot 165, Unit 6, and the recommendation to council regarding a height variance to a special meeting on at 10 am, Thursday March 11.

Item 5. Consideration of a Design Review: Initial Architecture and Site Review for a new single-family residence on Lot 729R-5, 91 Pennington Place, pursuant to CDC section 17.4.11.

Amy Ward presented on behalf of staff

Peter Lundeen, architect, presented as the applicant

Public comment: 1 public comment was included in DRB packet and 4 public comments were shared via email before the meeting

On a **MOTION** by Garner and **SECONDED** by Caton, the DRB voted unanimously to approve the Initial Architectural and Site Review for a new single-family home located at Lot 729R-5, based on the evidence provided within the Staff Report of record dated January 22, 2021, with the following Design Variations and Specific Approvals:

1. Metal Fascia;
2. Parking in the General Easement
3. Driveway Grade over 8%

And, with the following conditions:

1. Prior to the submittal for a Final Architectural Review, the applicant shall provide a landscape plan and a fire mitigation plan.
2. Prior to the submittal for a Final Architectural Review, the applicant shall provide an exterior lighting plan to include specific fixture cut sheets, dimmer switch details, and a photometric study of the Lot demonstrating compliance with the CDC lighting standards.
3. Prior to the submittal for a Final Architectural Review, the applicant shall provide a construction mitigation plan.
4. Prior to the submittal for a Final Architectural Review, the applicant shall update the materials board with specific finish choices.
5. Prior to the submittal for a Final Architectural Review, the applicant shall update window and door specifications to include finish and profile, and shall call out a recess depth for all doors and windows set into stone siding.
6. Prior to the submittal for a Final Architectural Review, the applicant shall revise the address monument to include integrated lighting.
7. Prior to the submittal for a Final Architectural Review, the applicant shall revise the retaining walls on the south side of the autocourt to meet all CDC guidelines.
8. Prior to the issuance of a building permit, a new wetlands delineation is required.
9. Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.

10. Prior to the issuance of a building permit, the applicant shall obtain an easement from TSG to access the sewer line to the west of the home, or submit a revised utility plan to the public works director that provides access from Pennington Place.
11. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
12. Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
13. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
14. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
15. Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

Item 6. RECESS from 1:20 pm to 1:42 pm

David Craige takes over as chair, Banks Brown left the meeting partway through Item 7

Item 7. Consideration of a Design Review: Initial Architecture and Site Review for a new Detached Condominium Residence on Lot 161D-1, Unit 17, 8 Tunnel Lane (The Ridge), pursuant to CDC section 17.4.11.

John Miller presented on behalf of staff

Chris Hawkins, architect, and Sarah Tiedeken, and Chandler ? presented as the applicant

Public comment: none

On a **MOTION** by Garner and **SECONDED** by Eckman the DRB voted unanimously to approve the Initial Architectural and Site Review for a new single-family detached condominium located at Lot 161D-1 Unit 17, based on the evidence provided within the Staff Memo of record dated January 23, 2021, with the following design variations:

1. Cementious panel material;

And, the following conditions:

1. Prior to submittal for Final Architectural Review, the applicant will revise the civil engineering plan set to driveway widths and retaining wall locations/heights.
2. Prior to submittal for a Final Architectural Review, the applicant shall provide design and location details for the address monument, to include lighting details and any civil revisions for shallow utilities associated with the monument.
3. Prior to the submittal for a Final Architectural Review, the applicant shall revise the lighting plan per the comments in this report.
4. Prior to the submittal for a Final Architectural Review, the applicant shall revise the landscaping plan per the comments in this report.

5. Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
6. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
7. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
8. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the common open-space.
9. Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

Item 8. A review and recommendation to Town Council regarding a Rezone and Density Transfer to rezone Blue Mesa Lodge (Lot 42B), Unit 23A from one (1) Efficiency Lodge zoning designation unit to one (1) Lodge zoning designation unit pursuant to CDC Sections 17.4.9 and 17.4.10

John Miller presented on behalf of staff
Keith Brown presents as applicant

Public comment: none

On a **MOTION** by Garner and **SECONDED** by Kramer the DRB voted seven in favor one opposed (Eckman- for reason of disagreeing with the interpretation of a wall) to recommend the Town Council approve the rezone and density transfer application for Lot 42B, Blue Mesa Lodge Unit 23-A to rezone from an efficiency lodge zoning designation to lodge zoning designation with the following findings and conditions; These recommendations are based on the following findings and conditions as noted in the staff report of record dated January 20, 2021:

Findings:

1. At the time the requisite required density of .25 person equivalents is acquired, the applicant will meet the density required to execute a rezone from efficiency lodge to lodge zoning designation.
2. At the time the modifications to the unit, including the installation of the partition wall as shown, are complete, the applicant will meet the required definition of a Lodge Unit per the CDC. A 2/3 partition wall meets the definition of creating two rooms consistent with the definition of a lodge zoning designation unit.
3. Blue Mesa Lodge is not identified in the Comprehensive Plan for redevelopment.

Conditions:

1. The applicant should work with the Blue Mesa HOA to update the declarations to recognize Unit 23-A as one Lodge unit.
2. The Lot list shall be updated to reflect the rezone from one efficiency lodge unit to one lodge unit. 6

3. The applicant shall demonstrate the required requisite density has been acquired prior to recording the associated ordinance rezoning Unit 23-A from efficiency lodge to lodge unit.
4. The applicant shall obtain a building permit and complete the proposed modifications prior to recording the associated ordinance rezoning Unit 23-A from efficiency lodge to lodge unit.

This motion is based on the evidence and testimony provided at a public hearing held on February 4, 2021, with notice of such hearing as required by the Community Development Code.

Item 9. A review and recommendation to Town Council regarding a Rezone and Density Transfer to rezone Blue Mesa Lodge (Lot 42B), Unit 23B from one (1) Efficiency Lodge zoning designation unit to one (1) Lodge zoning designation unit pursuant to CDC Sections 17.4.9 and 17.4.10

John Miller presented on behalf of staff

Keith Brown presented as applicant

Public comment: none

On a **MOTION** by Garner and **SECONDED** by Jett the DRB voted 7-1 (Eckman) opposes to recommend the Town Council approve the rezone and density transfer application for Lot 42B, Blue Mesa Lodge Unit 23-B to rezone from an efficiency lodge zoning designation to lodge zoning designation with the following findings and conditions.

Findings:

1. At the time the requisite required density of .25 person equivalents is acquired, the applicant will meet the density required to execute a rezone from efficiency lodge to lodge zoning designation.
2. At the time the modifications to the unit, including the installation of the partition wall as shown, are complete, the applicant will meet the required definition of a Lodge Unit per the CDC. A 2/3 partition wall is adequate to interpret that the unit consists of two rooms, comporting with the definition of a lodge zoning designation unit.
3. Blue Mesa Lodge is not identified in the Comprehensive Plan for redevelopment.

Conditions:

1. The applicant should work with the Blue Mesa HOA to update the declarations to recognize Unit 23-B as one Lodge unit.
2. The Lot list shall be updated to reflect the rezone from one efficiency lodge unit to one lodge unit.
3. The applicant shall demonstrate the required requisite density has been acquired prior to recording the associated ordinance rezoning Unit 23-B from efficiency lodge to lodge unit.
4. The applicant shall obtain a building permit and complete the proposed modifications prior to recording the associated ordinance rezoning Unit 23-B from efficiency lodge to lodge unit.

This motion is based on the evidence and testimony provided at a public hearing held on February 4, 2021, with notice of such hearing as required by the Community Development Code.

Item 10. Review and Recommendation to Town Council regarding a Density Transfer and Rezone located at Lot 60RA, 650 Mountain Village Blvd #C, to rezone La Chamonix Unit C from one (1) Efficiency Lodge Zoning Designation to one (1) Lodge Zoning Designation pursuant to CDC Sections 17.4.9 and 17.4.10. This item was continued from 3.26.2020, 5.7.2020, 6.4.2020, 7.2.2020, 8.6.2020, 9.3.2020, 10.1.2020, 11.5.2020, 12.3.2020.

John Miller presented on behalf of staff

Nicole Pieterse presented as applicant

Public comment: none

On a **MOTION** by Eckman and **SECONDED** by Jett the DRB voted unanimously to recommend the Town Council approve the rezone and density transfer application for Lot 60RA, La Chamonix Unit C to rezone the subject unit from one (1) efficiency lodge zoning designations to one (1) Lodge zoning designation with the following findings and conditions as noted in the staff report of record dated January 25, 2021, and with the following findings:

Findings:

1. At the time the requisite required density of .25 person equivalents is acquired, the applicant will meet the density required to execute a rezone from efficiency lodge to lodge zoning designation. 5
2. La Chamonix is not identified in the Comprehensive Plan for redevelopment.

Conditions:

1. The applicant should work with the La Chamonix HOA to update the declarations to recognize Unit C as one Lodge unit.
2. The Lot list shall be updated to reflect the rezone from one efficiency lodge unit to one lodge unit.
3. The applicant shall demonstrate the required requisite density has been acquired prior to recording the associated ordinance rezoning Lot 60RA Unit C from efficiency lodge to lodge unit.

This motion is based on the evidence and testimony provided at a public hearing held on February 4, 2020 with notice of such hearing as required by the Community Development Code.

Item 11. Discussion of List of Design Review Board Members whose terms are up in April 2021 and request for letters of interest/resumes.

ADJOURN

MOTION to adjourn by unanimous consent, the Design Review Board voted to adjourn the February 4, 2021 meeting at 3:07 pm.

Prepared and Submitted by,

Amy Ward
Planner

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY FEBRUARY 11, 2021**

Call to Order

Chairman Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 1:00 PM on FEBRUARY 11, 2021, held remotely via ZOOM:
<https://us02web.zoom.us/j/88366686903?pwd=cVVJN0lPalhNVUt0M3NVdmI3SkFkUT09>

Attendance

The following Board members were present and acting:

Banks Brown
David Craige
Greer Garner
Cath Jett
David Craige
Liz Caton
Adam Miller

Ellen Kramer (1nd alternate)
Scott Bennett (2nd alternate)

The following Board members were absent:

David Eckman

Town Staff in attendance:

Michelle Haynes, Planning & Development Services Director
Amy Ward, Planner
Andrea Bryan, representing Garfield Hecht in lieu of Paul Wisor

Public in attendance:

Bruce MacIntire
Keith Hampton, Manager Cassidy Ridge HOA

Item 2. Consideration of a Design Review: Initial Architecture and Site Review for a new Single-Family residence on Lot 165, Unit 6, 160 Cortina Drive, pursuant to CDC section 17.4.11. Concurrent review and recommendation to Town Council regarding a variance request for Building Height and Average Building Height pursuant to CDC section 17.4.16. Continued from February 4, 2021 DRB Meeting

Michelle Haynes presented on behalf of staff
Jamie Daugaard, architect, presented as applicant

Public Comment: 5 Letters in opposition from neighboring property owners were received. Keith Hampton, Manager Cassidy Ridge HOA spoke against the height variance.

Motion to recommend denial of Variance Request:

On a **MOTION** by **Craige** and seconded by **Jett** the DRB voted unanimously to recommend denial of the resolution approving a variance to increase the maximum building height to approximately 50 feet and nine inches (50'-9") and the Average Maximum Building Height to 31 feet 6 inches (31'-6") for Lot 165, Unit 6, based on the evidence provided within the Staff Memo of record dated February 11, 2021.

On a **MOTION** by **Craige** and seconded by **Jett** the DRB voted unanimously to continue the Initial Architectural and Site Review for a new single-family detached condominium located at Lot 165, Unit 6, to March 25, 2021 based on the evidence provided within the Staff Memo of record dated February 11, 2021.

ADJOURN

MOTION to adjourn by unanimous consent, the Design Review Board voted to adjourn the February 11, 2021 meeting at 2:22 pm.

Prepared and Submitted by,

Amy Ward
Planner

Sample DRB Interview Questions

1. What interests you about serving on the DRB?
2. Are you familiar with the TMV DRB and the review process?
3. Do you have any experience serving on a similar board?
4. What qualities do you feel are important for a DRB member to possess?
5. What important qualities do you believe you will bring to the DRB?
6. Do you see yourself having potential conflicts of interest?
7. Are you able to commit the necessary time to the DRB?

From: [Scott Bennett](#)
To: [Jane Marinoff](#)
Subject: Mountain Village DRB
Date: Monday, February 8, 2021 2:16:27 PM

Jane,

Please accept this email as a letter of intent and resume in continuing as a member of the Mountain Village Design Review Board. I have been an Alternate member of Mountain Village Design Review Board for the last year. It has been challenging with zoom, however very interesting. I have lived in Telluride for going on 53 years and am a 4th generation Telluride native. I have been involved in construction, development and real estate sales since the mid-eighties when Mountain Village started. I served on the Aldasoro DRB for 8 years. I recently retired from the Telluride Fire Department after 23 years of service, the last 5 as Chief. I am a new member of San Miguel County Search and Rescue. I have a background in design and graduated from Fort Lewis college with an Art major and Engineering minor. I will continue to promote the design regulations to uphold property values and review applications on the merit of each project with the consideration of neighboring property interests as well.

Thank You for your consideration,

Scott Bennett
Broker Associate
Telluride Real Estate Brokers
(970) 728-6667 Office
(970) 729-1666 Cell
scott@telluride-home.com
www.telluriderealestatebrokers.com
Retired Chief, Telluride Volunteer Fire Department
2017 Community Realtor of the Year
2005 Community Realtor of the Year

Dr. Greer T. Garner

253 Adams Ranch Road
Telluride, Colorado 81435
(970) 708-0154 cell
garnerdr64@gmail.com

February 15, 2021

Mountain Village Town Council
Town of Mountain Village, Colorado

Dear Mountain Village Town Council,

I am sending this letter to express my interest in remaining on the Design Review Board.

My husband and I have lived full time in Mountain Village for the past twenty years. As such I have witnessed the changes and challenges Mountain Village has experienced over the years, especially in regards to economic vitality and sustainability. How best to keep pace with other resorts yet retain our own unique identity is a constant thread that draws upon the skills of Mountain Village leaders and citizens. As a DRB member I believe it is important to insure design regulations reflect the changing times and our attractive environmental surroundings as well as the desires of homeowners, both current and new.

Having participated on the DRB both as chair and board member for many years as well as being a Comprehensive Plan Task Force Advisory Member assisting in the formulation of the 2011 Comprehensive Plan, I believe my experience and background can continue to be of help as Mountain Village grows and thrives.

Thank you for your consideration

Sincerely,
Greer Garner

Greer Garner, PhD

253 Adams Ranch Road
Telluride, Colorado 81435
(970) 708-0154 cell
garnerdr64@gmail.com

Education:

BA, Magna cum laude, Psychology
MA, Counseling Psychology
PhD, Counseling Psychology

Work History:

Co-owned and managed three wine tasting shops in Dallas, Ft. Worth Texas area

Counseling Internship at Salesmanship Club Family Counseling Center, Dallas, TX

University of Texas Southwest Medical Center/ VA Hospital post doctoral position, Dallas, TX

Counseling Practice, Telluride, CO

Volunteer History:

American Women's Club, Germany: President

Telluride Women's Network: President

The San Miguel Resource Center: Board Member,
Clinical Consultant

Mountain Village Design Review Board: Chair; Board
Member;
Task Force Advisory
Member, 2011
Comprehensive Plan

Angel Baskets: Board Member

Awards:

Telluride Citizen of the Year Award
Domestic Violence Service Award Professional of the Year

Citizen of the Year Award

Planning & Development Services
Town of Mountain Village
455 Mountain Village Blvd., Suite A
Mountain Village, CO 81435

5 February 2021

Dear Members:

For the past two years I have been serving as an Alternate Board Member on the Town of Mountain Village Design Review Board. At this time, I request to move from a DRB Alternate Board Member into the vacant two-year Regular Board Member position when the new term begins.

As the only architect on the DRB, I feel that I have brought important insights and a unique perspective to the projects that have come before us. I have a keen attention to detail and a broad understanding of the salient issues. In addition, having had more than 30 years of experience as a LEED Certified Architect in California, I have navigated between client goals and the complex realities of municipality design review boards. I also have had extensive experience presenting to review boards and resubmitting projects after incorporating DRB comments, while also remaining sensitive to client desires.

These skills have served me well during the discussions and deliberations on the DRB and helped me to be an effective member these past two years. The DRB has been both a challenging and rewarding experience. As an Alternate, I viewed my role as seriously as a regular Board Member. I would like now to continue on in the new roll of Regular two-year Board Member.

Thank you for your consideration.

Sincerely,

Ellen Kramer, Architect
LEED, A.P.
Erkramer14@gmail.com
415.517.3968

Jane Marinoff

From: Elizabeth Caton <liz.caton@gmail.com>
Sent: Friday, February 12, 2021 11:10 AM
To: Jane Marinoff
Subject: DRB board position

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Jane:

This note is to confirm my interest in continuing as a member of the Design Review Board.

A copy of my resume is attached.

Many thanks,

Liz Caton

ELIZABETH CATON
226 ADAMS RANCH ROAD
MOUNTAIN VILLAGE, CO 81435
HOME: 970-728-2947
CELL: 949-494-1303
LIZ.CATON@GMAIL.COM

OVERVIEW

Member of Design Review Board since June 2016.

Twenty-year management of real estate partnership.
Certificate in Interior Design, specializing in Kitchen and Bath design.

Eighteen year's experience as retail buyer for children's clothing for major department and specialty children's stores. Eleven year's experience as financial manager for interior design and general contracting firms.

EXPERIENCE

1972-1978 Bullocks Department Store, Los Angeles, CA
1978-1980 John A. Brown, Oklahoma City, OK
1980-1985 Broadway Department Stores, Los Angeles, CA
1995-1990 Abigail's Children's Boutique, Wellesley, MA
1993-2000 Ruth Soforenko Associates, Palo Alto, CA
2004-2005 Nationwide Floor & Window Coverings, West Orange, NJ
2005-2007 The Goldsmith Company, Mountain Lakes, NJ

OTHER ACTIVITIES

Volunteer for Telluride Adaptive Sports Program during ski season.
Membership chair and secretary for Telluride Women's Network.
Past volunteer for San Miguel Resource Center.
President Emeritus of Web of Benefit, a non-profit organization providing financial aid to survivors of domestic violence.
Past finance chair for Web of Benefit

EDUCATION

Pitzer College, Claremont, CA – B.A. Literature
Canada College, Redwood City, CA – Certificate in Interior Design

Jane Marinoff

From: Seltz, Steve <steve.seltz@siemens.com>
Sent: Thursday, February 11, 2021 9:56 AM
To: Jane Marinoff
Subject: Design Review Board Open Seats Application
Attachments: SPS Bio 402016.pptx

Jane - attached please find my most recent bio, in support of my application for one of the open seats on the Mountain Village Design Review Board.

My wife Judi and I built our 'second home' in the Village in 2004-05, and over the years we – and our three children – have spent significant time in residence. For the past three years, this has now become our primary legal abode, and we have been full-time here since last Spring. As we both approach retirement in the next couple years, we intend to be more-or-less 100% in residence.

We had planned to sell our current home (108 Gold Hill Court) and to build on a lot we owned on AJ Drive. During the planning and design phase of that project, we became intimately familiar with the workings of the DRB. Ultimately, we decided not to proceed with our construction plans, sold the lot, and are now renovating our existing residence. We appreciated the DRB process, however, which we felt was thorough, thoughtful, and fair.

Given that familiarity with DRB activities, and our commitment to be spending the majority of our time going forward here in Telluride, I would welcome the opportunity to contribute/give back to the community in some way. I feel that participation in Design Review Board doings would be a meaningful step in that direction.

Please consider my application for one of the open seats on the DRB.

Steve

Steven P. Seltz

VP Compensation & Benefits - Americas

Global Head C&B Strategy & Policies

SIEMENS CORPORATION

Email:

Work: steve.seltz@siemens.com

Personal: steveseltz@msn.com

Mobile: +1-201-859-9599

Steven P. Seltz

VP of Compensation and Benefits–Americas and Head of Global C&B Strategies

SIEMENS



Steve is the VP of Compensation and Benefits–Americas and Head of Global C&B Strategies for Siemens Corporation.

Prior to joining Siemens, Steve had more than twenty years of corporate and consulting experience in design and implementation of compensation, benefits, and Human Resource programs. In various roles, Steve has managed and administered employee compensation and benefits, equity, executive compensation, change management/communications, and HRIT programs.

Steve's previous position prior to Siemens was in PricewaterhouseCoopers' HR Effectiveness practice. He also served as Vice President Global Compensation for Lucent Technologies, where he was responsible for overall global compensation strategy, program design and management. Earlier in his career, Steve held positions with Mercer Consulting, Brown-Forman, Arinc Inc., and Mobil Oil in various domestic and international locations.

Steve holds an MBA from the Wharton School at the University of Pennsylvania, a BA from Vassar College, and is a Certified Compensation Professional. He is a faculty member of WorldatWork, a past member of the Board of Directors of that organization, and currently serves on its' Global Advisory Board.

Steve is a frequent domestic and international lecturer. He is a co-author of *Linking Pay to Performance: Designing a Merit Pay Program*, a course/training material for WorldatWork, and *Globalization of the C&B Function*, an employer's guide to global compensation and benefits.

Jane Marinoff

From: Jim Austin <jim@jh-austin.com>
Sent: Thursday, February 18, 2021 4:13 PM
To: Jane Marinoff
Subject: Re: MOUNTAIN VILLAGE'S DESIGN REVIEW BOARD Open Seat Application

Dear Jane:

Thank you for your email and I enjoyed speaking with you. Per your note, I would make the commitment to attend meetings as outlined in CDC 17.2.3.

However, as I mentioned on the phone, I am lecturing (virtually) at the University of Pennsylvania (Wharton) from 10-11am Mountain Time on 3/4--just when you might be wanting to interview candidates. If there is any flexibility, please let me know as I would be available the rest of the day for a call or zoom meeting. If this is just not possible--which I understand--then I hope you will consider me for future DRB openings.

Again, thanks for your time and consideration.
--Jim

On Thu, Feb 18, 2021 at 9:19 AM Jane Marinoff <JMarinoff@mtnvillage.org> wrote:

Dear Mr. Austin, thank you for your interest to serve on the DRB board.

I have attached the Town of Mountain Village Community Development Code (CDC) please review Section 17.2.3 outlining the duties and responsibilities of a DRB member. The DRB will interview all first-time applicants at the DRB meeting on March 4, 2021 and then provide a recommendation to the Town Council. Please be prepared for an informal interview VIA ZOOM and indicate your ability to meet the specified time commitment as outlined in CDC 17.2.3 F. The Design Review Board generally meets on the first Thursday of each month at 10 am with the exception of the April meeting which has been rescheduled as shown on the attached 2021 DRB Meeting Schedule.

Jane Marinoff

Administrative Assistant

Planning & Development Services

Town of Mountain Village
455 Mountain Village Blvd. Suite A

Mountain Village, CO 81435
O :: 970.369.8242 CELL: 970.708.4326

F :: 970.728.4342

I am currently working remotely and monitoring emails/voicemails during regular business hours.

for immediate assistance email: cd@mtnvillage.org, or 970.708.4326

Letter of Intent to Join the Mountain Village Design Review Board, 2021

Jim Austin, 125 Adams Way, Mountain Village

I hope to be considered for one of the upcoming five vacant Design Review Board (DRB) seats for the following reasons:

- Long-time visitor/new resident: I first came to Telluride in the mid-1980's, spending most winter holidays with my wife's family in their Ski Ranches' home (Dr. and Mrs. George Conger). My wife and I are now building a home for our family in Mountain Village (125 Adams Way) and hope to make this our permanent address.
- Planning/Education/Corporate Background: I obtained a joint Masters in Public Affairs (MPA) and a Masters in Urban and Regional Planning (MURP) from Princeton. Today, I am an Adjunct Assistant Professor, Brown University, School of Professional Studies, where I teach Leadership and Marketing. I am also a Consultant/Lecturer at the Aresty Institute of Executive Education, Wharton (University of Pennsylvania), where I lead seminars on strategic planning, decision-making and execution. Prior to that, I was VP Strategic Development at Baxter Healthcare, a large pharmaceutical and medical device company, focusing on new, global growth opportunities, constantly balancing past initiatives against new, transformative investments.
- Love of the Outdoors: As the Town of MV Home Rule Charter (HRC) Preamble states, "...our Charter should provide measures which safeguard our citizens' life-style, protect the beauty of our natural surroundings, and encourage the recreational nature of our town."¹

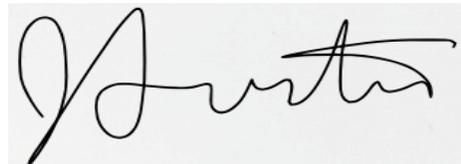
¹ Amended 6/28/05

While I am an ardent skier, tennis player, golfer and hiker, I am also aware of the challenges in meeting the HRC's goals...not just today, but in the years to come. More fundamentally, how should the Town balance the desires of current residents with those of new entrants, visitors, and the natural environment?

- Past Volunteer Efforts: I was chairman of the Strategic Leadership Forum, a board member of the National Kidney Foundation of Illinois, a member of the Board of Directors for the University Club of Chicago, treasurer of LaSalle Language Academy, and a member of the Admissions Committee for the Latin School of Chicago. In all these efforts, I tried to listen first, discuss second for it is only in bringing out different perspectives are the best decisions made.

In summary, I would welcome the opportunities and challenges to participate with other DRB members in maintaining and evolving the aesthetic bounty of this wonderful place. For more detail on my background, please visit my website: www.jh-austin.com

Thank you for your consideration.

A handwritten signature in black ink, appearing to read "Austin", is centered on the page. The signature is written in a cursive style with a large initial 'A'.

Jim Austin

JH Austin Associates, Inc.

jim@jh-austin.com

www.jh-austin.com

312-388-2750



Jim Austin, a former senior executive at Baxter Healthcare, combines business strategy and organizational development theory with extensive industry experience. Jim is a lecturer/consultant at the Aresty Institute of Executive Education, Wharton Business School, where he tailors senior-level seminars for a number of leading entities including SIFMA, Boston Scientific, Coca-Cola, Lincoln Financial, GE, GlaxoSmithKline and Hitachi. Specifically, he leads seminars at Wharton on:

- Finding New Growth Opportunities
- Building a Vision
- Execution and Driving Change
- Improving Strategic Decision-Making
- Scenario Planning and Strategic Agility.

In 2013, Brown University appointed Jim a Senior Lecturer of Healthcare Leadership. He is currently Adjunct Assistant Professor of Health Services, Policy and Practice where he heads a graduate Leadership & Management course. From 1996 through 2016, Jim was a Business Management Professor at the Lake Forest Graduate School of Management where he received the “Most Distinguished Corporate Education Faculty Member” (2009-10) and the “Learning Excellence” (2015) awards. From 2013-2016, he was an Adjunct Faculty in the Department of Health Systems Management, College of Health Sciences, Rush University, where he taught a graduate seminar on Healthcare Ethics. Jim’s book, Transformative Planning: How Your Healthcare Organization Can Strategize for an Uncertain Future (Health Administration Press, 2018), helps healthcare leaders drive transformational change.

From 2005–2016, Jim worked at Decision Strategies International, leaving as a Senior Principal. There, he directed numerous projects including scenarios of the future for a medical devices firm, R&D priorities for a major consumer products company, a strategic plan for the American College of Radiology, scenarios of the future for the League of Southeastern Credit Unions, and a new vision and strategic priorities for the national and IL Boards of Volunteers of America (VOA). He now heads his own firm, JH Austin Associates, Inc. (www.jh-austin.com).

Prior to joining Decision Strategies, Jim spent 12 years at Baxter Healthcare, the last four as vice president of strategy development for the Renal Division. At Baxter, Jim identified new business opportunities, facilitated annual strategy planning processes, and worked with senior management on organizational development for this rapidly growing, nearly \$2B Division. Before that, Jim was assistant to the president for ANCHOR HMO, a subsidiary of Rush Medical Center, Chicago. Prior to his move to Chicago, Jim worked as a consultant for Arthur D. Little, Inc., where he led several large-scale planning, business development, and strategic positioning studies. Between college and graduate school, he spent four years as an economist/planning officer in the Ministry of Finance, Botswana.

Jim holds a BA in economics and politics from Yale University. He was a Special Student at the Massachusetts Institute of Technology in the Urban Studies Department; he received a joint Master of Public Affairs (MPA) and Master of Urban and Regional Planning (MURP) from the Woodrow Wilson School, Princeton University. Previously, Jim was chairman of the Strategic Leadership Forum, a board member of the National Kidney Foundation of Illinois, member of the Board of Directors for the University Club of Chicago, treasurer of LaSalle Language Academy, and member of the Admissions Committee for the Latin School of Chicago.



2/19/2021

**Mountain Village Design Review Board
Letter of Interest**

Dear Mountain Village Design Review Board,

This serves as my letter of interest in joining the Mountain Village Design Review board as an Alternate Seat. I am a local Architect who has been practicing in the region through various firms as well as my own since 2001. I am familiar with the CDC, Design Guidelines and Design Review Process in the town of Mountain Village and feel my past experience as an applicant and working relationships with town staff would provide a solid asset to the board. I have watched the Design Guidelines evolve in a positive manner over the years and wish to help continue that effort.

Thanks for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Shane R. Jordan", with a long horizontal flourish extending to the right.

Shane R. Jordan,
Registered Architect, NCARB
Jordan Architects, LLC

Shane R. Jordan

970.708.7050
PO Box 1143
544 Society Drive, Telluride, CO 81435

shanejds9@gmail.com
jordan-architects.com

Professional Licensed Architect, State of Colorado

Experience *Owner / Architect*
Jordan Architects, LLC
Telluride, CO
2001-Present

Project Architect
Sante Architects
Telluride, CO
2013-2020

Project Architect
Bercovitz Design
Telluride, CO
2002-2013

Designer
Studio Frank
Telluride, CO
2001-2002

Community Service *Lawson Hill Board of Directors, 2017 - present*
Lawson Hill Design Review Board, 2004 – present
Habitat for Humanity of Telluride, Board Member, 2010 - 2014

Education *Bachelor of Architecture*
Kansas State University, College of Architecture Planning & Design
Manhattan, KS
Class of 2000

Jane Marinoff

From: Kendra A Wilcox <kendraskitchen52@gmail.com>
Sent: Friday, February 19, 2021 2:48 PM
To: Jane Marinoff
Subject: Letter of Intent/Mtn Village's Design Review Board

Greetings Administration;

Please consider me, Kendra A. Wilcox, as a member of the Design Board for the Town of Mt. Village.

My residency began in Telluride in 1987 to establish Kendra's Kitchen Natural Foods, Inc., www.KendrasKitchen.com, and was a caretaker of one of the first restored homes 34 years ago.

I then served as personal Chef to Ralph & Ricky Lauren and was offered a career relocation to NYC/Polo corporation for design.

I have been employed at the Village Table Restaurant for the past 3 years which I have thoroughly enjoyed and plan to stay on a part time basis. An implementation of a composting, water conservation & recycling system throughout the Mt. Village restaurants would be advantageous for the Community and Market on the Plaza, Mt. Village's Farmer's Market.

Being a TEAM member and visionary; I can contribute to the design board. After graduating from Boston University's CBS program with knowledge of the telecommunication era, I did a market analysis & growth plans of Colorado ski towns and I chose Telluride as my home. 1996 was a real estate purchase of my condo in the sunny Meadows of Mt. Village at the Outlaws condominiums. I have watched and admired the growth of Mt. Village & The Telluride Ski Resort and grateful for All.

Thank you for your consideration and for resume please visit www.KendrasKitchen.com, testimonial and resume link.

Sincerely,
Kendra A. Wilcox
970.708.7759
kendraskitchen52@gmail.com



AGENDA ITEM 4
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Senior Planner

FOR: Regular Meeting; March 4, 2021

DATE: February 23, 2021

RE: Consideration of a Design Review: Final Architectural Review for a new Single-Family residence on Lot 165, Unit 6, 160 Cortina Drive, pursuant to CDC section 17.4.11.

BACKGROUND: The applicant for Agenda Item 4 has requested that their item be continued until the March 25, 2021 regular Design Review Board meeting. The memo is being provided not to open the public hearing but solely for the purpose of Town Council providing a motion to continue to the March meeting date.

RECOMMENDED MOTION: I move to continue, the consideration of a Final Architectural Design Review for a new Single-Family residence on Lot 165, Unit 6, 160 Cortina Drive to the [insert date certain] Design Review Board meeting.

/JJM



AGENDA ITEM 5
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Senior Planner

FOR: Regular Meeting; March 4, 2021

DATE: February 23, 2021

RE: Consideration of a Design Review: Final Architectural Review for a Class 3 Addition to an existing Single-Family residence on Lot 424, 121 Touchdown Drive, pursuant to CDC section 17.4.11.

BACKGROUND: The applicant for Agenda Item 5 has requested that their item be continued until the March 25, 2021 regular Design Review Board meeting. The memo is being provided not to open the public hearing but solely for the purpose of Town Council providing a motion to continue to the March meeting date.

RECOMMENDED MOTION: I move to continue, the consideration of a Final Architectural Design Review for a class 3 addition to an existing Single-Family residence on Lot 424, 121 Touchdown Drive to the [insert date certain] Design Review Board meeting.

/JJM



AGENDA ITEM 6
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Senior Planner

FOR: Regular Meeting; March 4, 2021

DATE: February 23, 2021

RE: Consideration of a Design Review: Initial Architecture and Site Review for a new Detached Condominium Residence on Lot 161D-1, Unit 17, 8 Tunnel Lane (The Ridge), pursuant to CDC section 17.4.11.

BACKGROUND: The applicant for Agenda Item 6 has requested that their item be continued until the March 25, 2021 regular Design Review Board meeting. The memo is being provided not to open the public hearing but solely for the purpose of Town Council providing a motion to continue to the March meeting date.

RECOMMENDED MOTION: I move to continue, the consideration of a Final Architectural Design Review for a new Single-Family residence on Lot 161D-1, Unit 17 to the [insert date certain] Design Review Board meeting.

/JJM



TO: Mountain Village Design Review Board
FROM: John Miller, Senior Planner
FOR: Design Review Board Public Hearing; March 4, 2021
DATE: February 19, 2021
RE: Staff Memo – Final Architectural Review, Lot BC513E

APPLICATION OVERVIEW:

PROJECT GEOGRAPHY

Legal Description: LOT BC513AR TOWN OF MOUNTAIN VILLAGE ACC TO A REPLAT OF LOTS BC110 BC513A 615 1C 615 2CR 615 3AR TRACT 21AR TRACT OSP 21 TRACTS OS 615A B AND C AND OLD HIGHWAY RD LOCATED WITHIN N1 2S1 2 OF SEC 33 T43N R9W NMPM SAN MIGUEL COUNTY CO

Address: 104 Lawson Overlook
Applicant/Agent: Adam Birck, Jack Wesson Architects, Inc.
Owner: Lorrie Denesik
Zoning: Single-Family
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: 0.597 Acres

Adjacent Land Uses:

- **North:** Open Space
- **South:** Single-Family
- **East:** Multi-Family
- **West:** Single-Family

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff Comments



Figure 1: Vicinity Map

Case Summary: Adam Birk of Jack Wesson Architects, Inc. is requesting Design Review Board (DRB) approval of the Final Architecture Review (FAR) Application for a new single-family home on Lot BC513E, 104 Lawson Overlook. The Lot is approximately 0.597 acres and is zoned Single-Family with an approximate gross square footage of 4,546 sq. ft. The applicant has provided revised plans for final review based on the comments and conditions listed at the initial review. The supplemented narrative addresses these specific changes for ease of DRB review.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. **Please note that Staff comments will be indicated by *Italicized Text*.**

Table 1

CDC Provision	Requirement	Proposed
Maximum Building Height	35' (shed) / 40' (gable) Maximum	35' – 0"
Maximum Avg. Building Height	30' (shed) / 35' (gable) Maximum	27' – 0 ½"
Maximum Lot Coverage	40% Maximum	11.4%
General Easement Setbacks	16 Foot General Easement	Does not comply – see notes
Roof Pitch		
Primary		12:12
Secondary		Multiple
Exterior Material**		
Stone	35% minimum	38.19%
Windows/Doors	40% maximum	14.53%
Parking	2 enclosed / 2 exterior	2/2

Design Variations:

- 1. Road and Driveway Standards - Grade**

Design Review Board Specific Approvals:

- 1. General Easement Encroachments**
- 2. Tandem Parking**

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates both Gabled and Shed roof forms which are granted different height allowances in the CDC. Gabled roof forms are granted a maximum building height of 40 feet with shed roof forms limited to 35 feet. The maximum average height must be at or below 30 feet for shed roof forms and 35 feet for gable roof forms. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: As part of this application, the applicant has provided both a Maximum Building Height and Average Building Height calculation on pages A300 – A302 and shown above in Table 1. Since the January hearing, the applicant has revised the plans to demonstrate

the most restrictive grade in their parallel slope analysis and it appears that a very small portion of the roof is within the 35-foot plane on the east elevation of the home. It should be noted that this home – given the primary gabled roof forms is allowed a 40-foot maximum building height, and the proposed design is well within that allowance.

17.3.14: General Easement Setbacks

Lot BC513E is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. In addition to the GE, there is a 20-foot Trail and Utility Easement along the northern portion of the lot containing an existing foot and bike trail.

The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The driveway is designed to cross a portion of the southern GE. Additionally, retaining walls associated with the driveway and parking area are also located within the GE. Because of the slope required for the driveway, this area will require a large amount of fill. At the January hearing, the DRB generally provided feedback that these GE encroachments for the retaining walls associated with the driveway were preferable to pushing the home further down the lot to the north given the site complexities.*
- *Address Monument: The address monument has also been shown in the southern GE. Based on the location of the sign, it appears that it would be readily visible from Town ROW and will provide an adequate area for snow plowing and storage.*
- *Utilities: Utilities will be required to cross all GEs except for the eastern GE due to existing locations of Sewer, Water, and Shallow Utilities.*

The proposal also includes GE encroachments that do not fall into the above category of permitted GE development activity:

- *Parking: The proposed exterior parking as currently shown is located within the southern General Easement.*
- *Walkway: The home is accessed from the driveway along a walkway to the front door. Nearly all of this walkway is within the southern GE.*

Staff: The DRB will need to determine if the parking, walkway, and retaining walls are appropriate. If they determine it is not appropriate, the applicant shall revise the plan accordingly. The CDC permits the DRB to waive the general easement setbacks for prohibited activities if it determines that there is a hardship such as steep slopes and there are no unreasonable negative impacts to surrounding properties. Additionally, it should be noted that by keeping the driveway and walkway within the southern GE, there may be potential to preserve more landscaping to the north of the home which would help to screen the home from the valley floor.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The home can be categorized as a mountain modern design featuring a primary gabled roof with secondary shed roofs projecting off the primary roof form with perpendicular gables appearing to break up the roof lines. The design of this home is very traditional in nature and overall, it does a good job of incorporating the Mountain Village vernacular and strong design theme – expressed through the strong material palette of vertical barn wood, metal, and stone. The home is sized at approximately 4,500 gross square feet, and the mass of the home varies largely from each elevation perspective. For example, as seen from Lawson Overlook the home appears as a 2-story structure. As the perspective is shifted to the downhill sides of the home, the mass appears much large given the steepness of the site. While the home does incorporate large areas of stone on the façade, this element may increase the visual massing of the downhill areas of a home in a way that the DRB may want to minimize or otherwise break up.

It appears based on the applicant's submittal that the material palette for the project blends well with both the surrounding community, as well as the overall modern mountain vernacular. The material sample photos provided as part of the application demonstrate this contrast between the light tan stone, oil rubbed panels, and vertical barn wood. The materials are discussed below in more detail as it relates to the ridgeline lot requirements of Section 17.5.16.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: The topography of the site along with existing constraints presented by the utility and trail easement have driven the siting of this home. Due to these items, it appears that the siting is logical, and any further push north would create additional site disturbances that may endanger the existing trail or otherwise not be necessary. Additionally, the siting of the home allows the applicant to maintain the existing vegetation of the Lot in a way to limit its visual prominence on the ridge. Because of these reasons, staff does not recommend relocating the home and rather would suggest granting of the encroachments into the GE as described above.

17.5.6: Building Design

Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. In order to accomplish this, the applicant is proposing a stone veneer surrounding the home consisting of a random arrangement of what appears to be Telluride gold stone. As discussed above, certain elevations contain large amounts of stone veneer that present a large structural vertical massing, but it does appear to be broken up through the use of fenestration and undulating stone heights.

The home's exterior palette appears to contrast and blend well. The CDC allows for rusted metal standing seam roofing materials and this appears to meet that requirement. The garage door is plated with oil rubbed metal panels similar to other areas of the home. Since the January meeting, the color of the wood has been darkened in order to better blend with the hillside and vegetation.

The applicant has proposed 1000 square feet of snowmelt which is shown on page A105. As a note, any amount of snowmelt over 1000 square feet requires energy offsets.

17.5.7: Grading and Drainage Design

Staff: The applicant has provided a grading and drainage plan as it relates to access for the driveway and to areas surrounding the home that may require grading. It appears that the grading plan meets the requirements of the CDC and overall, the home has positive drainage as required. As noted above, grading has been proposed within the GE associated with the driveway.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family developments to provide two interior and two exterior parking spaces. The applicant has shown a total of 2 interior spaces on Page A202 but has not provided for the exterior spaces within the plan set. Based on the Construction Mitigation Plan, it appears that there is room for 2 exterior parking spaces within the Southern GE but the DRB will need to determine if this is appropriate per the comments discussed above related to GE encroachments. The CDC also requires that all parking spaces have direct access from the road as well as requiring that garages designed to have cars backing out have a minimum of twenty-five feet of backup space. For single-family review, the DRB may allow for tandem parking spaces as the two surface spaces for lots smaller than 0.75 acres where non-tandem parking is no feasible due to unique site conditions such as steep slopes, and may waive the two surface spaces for smaller lots when tandem is not feasible.

The DRB will need to grant specific approval for the use of the GE for parking, and specific approval of tandem parking.

17.5.9: Landscaping Regulations

The applicant has provided a landscaping plan to include planting notes, revegetation notes, and other general requirements. It appears that the landscaping plan meets the requirements of the CDC. It will be extremely important that any home design maintain as much existing vegetation on the north and east of the home as to ensure visual impacts from the valley floor are mitigated to all extent possible. It appears that the revised plan has addressed this concern with many more trees preserved to the north of the home.

17.5.11: Utilities

Staff: All utilities are currently located within proximity to the home. The applicant shall work with the Public Works Director before the final review to verify the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research. The sewer line may need to cross the pedestrian trail and this should be coordinated with the Town's Recreation Department prior to any installation.

17.5.12: Lighting Regulations

Staff: The applicant has provided a lighting plan demonstrating the locations and types of fixtures. The applicants have revised their lighting plan to remove the majority of the

fixtures on the north side of the home, including the in-rail lighting which has been entirely removed since the Initial Review.

It should be noted the applicant has provided a photometric study of the home as required and that all fixtures proposed otherwise meet the illumination standards of the CDC. Cut sheets have been provided with the exception of the LED strip light proposed for the address monument.

17.5.13: Sign Regulations

Staff: The applicant has provided details on the address monument but did not provide a cutsheet for the method of illumination. Otherwise, the monument meets the requirements of the CDC and staff believes the method of illumination can be addressed as a condition of approval.

17.5.16: Ridgeline Lots

The CDC identifies Lot BC513E as a ridgeline lot and as such provides additional design restrictions. These provisions intend to require the home to maintain visual subordination to the natural landscape along the ridge. In order to accomplish this, the code requires the following:

1. *All structures shall have varied facades to reduce the apparent mass.*
Staff: The mass of the home has been discussed in detail within this memo, especially as it relates to the north elevation. Although the height of the home presents some massing issues, the deck areas, stone and fenestration do appear to vary this mass. Additionally, the applicant has reduced the percentage of glazing on the north side of the home and added metal accents which could further provide a varied façade. The DRB should determine if the façade has been varied enough in order to meet this requirement.
2. *To the extent practical, foundations shall be stepped down the hillsides to minimize cut, fill and vegetation removal.*
Staff: Because of the steepness of the lot and the restrictions presented by the existing Meadows Trail, the applicant was not able to utilize the full site in a way that would allow a traditional stepped foundation. It does appear that the applicant has tried to step the massing of the home as it travels down the slope – which may be a byproduct of the height requirements of the CDC.
3. *Building and roofing materials and colors shall blend with the hillside.*
Staff: The applicant has revised the materials to include a darker wood siding that appears to be more in compliance with this standard. Additionally, the large amounts of glazing along the north elevation have been slightly reduced in order to address previous issues related to visibility from the valley floor, especially at night.
4. *Colors and textures shall be used that are found naturally in the hillside.*
Staff: See above comments related to the color of the proposed materials.
5. *Reflective materials, such as mirrored glass or polished metals, shall not be used.*
Staff: If the DRB determines that the design of the home is appropriate, then any approval should condition that all glass on the home be non-mirrored glass. The applicant will also need to demonstrate that the oil rubbed metal is not reflective.

6. *To the extent practical, no exterior lights shall be installed on the east side of buildings. Any required exterior lighting shall be shielded, recessed, or reflected so that no lighting is oriented towards the east side of the building.*

Staff: The applicant has modified their lighting plan in a way that has minimized lighting along the east and north facades of the home. Staff believes that this criteria is now being met based on the revisions.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: Due to the location of the site, staff is requesting that the fire mitigation requirements be waived except for the Zone 1 area. This will allow for additional vegetative screening to be maintained to mitigate visual impacts from the valley floor.

17.6.6: Roads and Driveway Standards

Staff: Although not shown on the plans explicitly, the driveway as shown meets the CDC standards with a total drive width of approximately 20 feet. The CDC requires a minimum 12-foot driveway for this project. This information should be specifically called out on Page C2 of the plans prior to the final review. The maximum grade of the driveway appears to be approximately 9% in the transitional area which is allowed by the CDC. The driveway appears to slightly exceed the grade for garage entrances, which will require a variation to be issued by the DRB, the Fire Marshall and Public Works Director. Due to the steepness of the driveway, the applicant is proposing snowmelt for the entirety of the drive.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include fireplaces, and these are gas burning fixtures as required. The vents for these gas fireplaces are located on the rear of the home.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has submitted a CMP as part of this application. Staff supports the proposal with the note that any areas of the General Easement to be utilized shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy. Currently, some parking has been shown in the Lawson Overlook ROW and it will be important for the applicant to begin conversations with the HOA and neighbors early in the process to mitigate any negative impacts. Since Initial Review, the applicants have revised their construction fencing to reduce the overall area and limit impacts to the pedestrail trail.

Staff Recommendation: Staff recommends the DRB consider this request in relation to the CDC provisions listed above and particularly in Section 17.5.16: Ridgeline Lots to determine if the home is substantially complying with these provisions. If it's determined that the home does comply with these provisions, then staff recommends approval of the FAR.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion for Approval:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architecture Review for a new single-family home located at Lot BC513E, based on the evidence provided within the Staff Report of record dated February 19, 2021, with the following Design Variations and Specific Approvals:

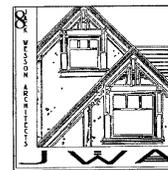
Design Review Board Design Variations:
Road and Driveway Standards

Design Review Board Specific Approvals:
General Easement Encroachments
Tandem Parking

And, with the following conditions:

- 1) The use of mirrored glass is prohibited per the Ridgeline Lot provisions of the CDC.
- 2) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 3) Prior to the issuance of a building permit, the applicant shall provide final design and lighting details for the address monument.
- 4) Areas disturbed within the General Easement utilized during construction shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy.
- 5) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 6) Prior to issuance of a CO, the property owner will enter into a Road Right of Way and General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the road right of way and general easement encroachments approved.
- 7) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height (consistent with CDC Section 17.3.12.C.)
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

/jjm



NARRATIVE

2-19-21

To: Community Development Department
Design Review Board
Mountain Village, CO

From: Adam Birck
Jack Wesson Architects, Inc.
P.O. Box 2051
Telluride, CO 81435
(970) 519.1551
jwesson@me.com.com
adam.birck@gmail.com

Re: Conditions to Design Review Submission for a Single Family Residence
Lot BC513E, Mountain Village

1) Prior to submittal for Final Architectural Review, the applicant shall revise the site plan to specifically document the setbacks of the home to the property lines as well as any slopes over 30%.

ADDED TO SITE PLAN

2) Prior to submittal for Final Architectural Review, the applicant will revise the civil engineering plan set to driveway widths and retaining wall locations/heights to determine the full extent of encroachments into the GE.

REVISED ON CIVIL AND ARCHITECTURAL DRAWINGS

3) Areas disturbed within the General Easement utilized during construction shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy.

NOTE ADDED TO COVER SHEET

4) Prior to submittal for the Final Architectural Review, two exterior parking spaces must be demonstrated on the site to meet the parking requirements.

ADDED TO SITE PLAN AND ENTRY LEVEL PLAN

5) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.

NOTE ADDED TO COVER SHEET- DB VERIFYING

6) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

NOTE ADDED TO COVER SHEET

7) Prior to issuance of a CO, the property owner will enter into a Road Right of Way and General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the road right of way and general easement encroachments approved.

NOTE ADDED TO COVER SHEET

8) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height (consistent with CDC Section 17.3.12.C.)

NOTE ADDED TO COVER SHEET

9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

NOTE ADDED TO COVER SHEET

10) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

NOTE ADDED TO COVER SHEET

11. Add note that the glazing will not have a reflective surface.

NOTE ADDED TO ELEVATION SHEETS

CORRECTED LIGHTING PLANS- REMOVED OLD NOTE AND ADDED NOTE DESCRIBING ADDRESS MONUMENT LIGHTING

DIMENSIONED PARKING SPACES

REMOVED BOULDER RETINING WALL

REMOVED UTILITIES FROM ARCHITECTURAL DRAWINGS

CORRECTED CONSTRUCTION FENCING NOTE

Sincerely,
Adam Birck



DESIGN REVIEW PROCESS APPLICATION

PLANNING & DEVELOPMENT SERVICES
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435
970-728-1392
970-728-4342 Fax
cd@mtnvillage.org

DESIGN REVIEW PROCESS APPLICATION			
APPLICANT INFORMATION			
Name: Jack Wesson Architects inc.		E-mail Address: jwesson@me.com	
Mailing Address: POB 2051		Phone: 970.519.1551	
City: Telluride	State: CO	Zip Code: 81435	
Mountain Village Business License Number: 001939			
PROPERTY INFORMATION			
Physical Address: TBD Lawson Overlook		Acreage: .597 acres	
Zone District: Residential	Zoning Designations: Single Family Residential	Density Assigned to the Lot or Site: 4 people- 1 sf residence	
Legal Description: Lot BC 513 E			
Existing Land Uses: Vacant			
Proposed Land Uses: single family			
OWNER INFORMATION			
Property Owner: Lorrie Denisik		E-mail Address: lorrie@residetelluride.com	
Mailing Address: POB 3352		Phone: 970.729.1783	
City: Telluride	State: CO	Zip Code: 81435	
DESCRIPTION OF REQUEST			

BUILDING SUMMARY	
SITE PERMIT NUMBER:	-
BUILDING PERMIT NUMBER:	-
PROJECT ADDRESS:	LAWSON OVERLOOK
BLOCK:	-
LOT:	BC 513 E
LOT AREA:	26,000 SQ. FT.
ZONING DISTRICT:	SINGLE FAMILY
PROPOSED USE:	RESIDENTIAL
NUMBER OF STORIES:	2
NUMBER OF SUB-LEVELS:	1

CODE SUMMARY	
BUILDING CODE:	INTERNATIONAL RESIDENTIAL CODE (2012) INTERNATIONAL ELECTRICAL CODE (2012) INTERNATIONAL FIRE CODE (2012) INTERNATIONAL MECHANICAL CODE (2012) INTERNATIONAL PLUMBING CODE (2012)
ENERGY CODE:	NATIONAL ENERGY CODE (2017)
TYPE OF CONSTRUCTION:	TYPE 5-B
OCCUPANCY:	R-3
BUILDING AREA:	3,876 SF LIVING 4,546 TOTAL ***FIRE SPRINKLERS REQUIRED***
	130 LB GROUND SNOW LOAD, 90 MPH EXPOSURE C WIND, FROST DEPTH 48"

ABBREVIATIONS & SYMBOLS	
WALL, BUILDING OR MISCELLANEOUS SECTION NO. DRAWING NO.	
INTERIOR ELEVATION NO. SHEET NO.	
ROOM NAME ROOM NO.	
DOOR NO.	
ELEVATION WINDOW NO.	
FRAME WALL	
BRICK/STONE VENEER	
SPOT ELEVATION	
ROOF SLOPE	

A.B.	AS BUILT / ANCHOR BOLT	MAX.	MAXIMUM
A.C.T.	ACOUSTICAL CEILING TILE	MECH.	MECHANICAL
ADJ.	ADJUSTABLE	MFG.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	M.H.	MANHOLE
ALT.	ALTERNATE	MIN.	MINIMUM
ALUM.	ALUMINIUM	MISC.	MISCELLANEOUS
BD.	BOARD	M.L. / ML	MICRO-LAM
BLDG.	BUILDING	M.L.R./MB	MICRO-LAM BEAM.
BOT.	BOTTOM	N.I.C.	NOT IN CONTRACT
BYND.	BEYOND	NO.	NUMBER
C.A.T.V.	CABLE TELEVISION LINE	N.T.S.	NOT TO SCALE
C.J.	CONTROL JOINT	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	O.P.	OUTSIDE DIAMETER
COL.	COLUMN	OPNG.	OPENING
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS	PERF.	PERFORATED
CTR.	CENTER	P.L.	PROPERTY LINE
DET.	DETAIL	P.LAM.	PLASTIC LAMINATE
DIAG.	DIAGONAL ELECTRIC LINE	POL.	POLISHED
EA.	EACH	PR.	PAIR
E.J.	EXPANSION JOINT	PTD.	PAINTED
EQ.	EQUAL	REQD.	REQUIRED
EXP. JT.	EXPANSION JOINT	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
FIN.FL/F.F.	FINISHED FLOOR	SCHED.	SCHEDULE
FIN. GR.	FINISH GRADE FLOOR	SHT.	SHEET
F.S.P.	FIRE STAND PIPE	SIM.	SIMILAR
F.V.	FIELD VERIFY	SPEC.	SPECIFICATION
GA.	GAUGE	SQ. FT.	SQUARE FEET
GALV.	GALVANIZED	SQ. IN.	SQUARE INCHES
GBX.	GYP SUM BOARD TYPEX	STD.	STANDARD
GL.	GLASS	STL.	STEEL
GB.	GYP SUM WALL BOARD	TC.	TOP OF CURB.
H.C.	HOLLOW CORE	T & G.	TONGUE & GROOVE
H.M.	HOLLOW METAL	T.O.C.	TOP OF CONCRETE
HORIZ.	HORIZONTAL	T.O.S.	TOP OF SLAB
HVAC.	HEATING VENTILATION	TYP.	TYPICAL
I.D.	INSIDE DIAMETER	T.	TELEPHONE LINE
IN.	INCH / INCHES	U.B.C.	UNIFORM BUILDING CODE
INSUL.	INSULATION	U.N.O.	UNLESS NOTED OTHERWISE
JT.	JOINT	VERT.	VERTICAL
LAM.	LAMINATED	V.I.F.	VERIFY IN FIELD
LAV.	LAVATORY	WD.	WOOD

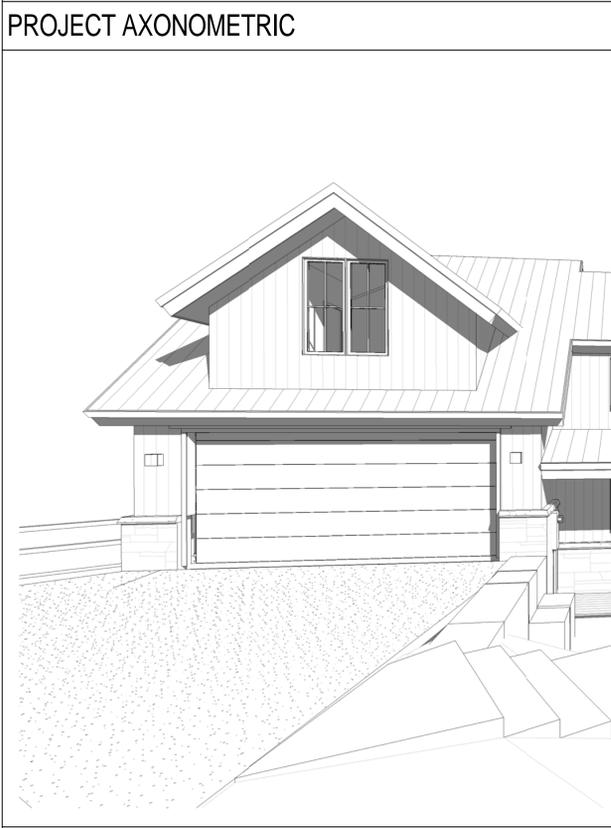
GENERAL NOTES	
GN01- CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.	
GN02- MATERIALS AND ASSEMBLIES: ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, O.S.H.A. REQUIREMENTS, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUB-CONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.	
GN03- CONTRACTOR TO REVIEW GEO-TECHNICAL REPORT FOR BUILDING SYSTEM RECOMMENDATIONS. SHOULD UNEXPECTED SITE CONDITIONS ARISE DURING EXCAVATION, THE ARCHITECT AND GEO-TECHNICAL ENGINEER SHALL BE NOTIFIED FOR A SITE EVALUATION OF EXISTING CONDITIONS.	
GN04- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH THE FLOORS, CEILING AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS.	
GN05- ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE GENERAL CONTRACTOR AND HIS/HER SUBCONTRACTORS. THEY SHALL BE ONE AND THE SAME.	
GN06- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS AND THE CERTIFICATE OF OCCUPANCY.	
GN07- THE CONTRACTOR SHALL COMPILE AND SUBMIT AS REQUIRED TO MANUFACTURERS AND OWNER ALL MATERIAL, FIXTURE AND APPLIANCE WARRANTIES.	
GN08- THE JOBSITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS. THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOB SITE.	
GN09- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT AND THE PROTECTION OF NEIGHBORING PROPERTIES.	
GN10- THE CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.	
GN11- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL NECESSARY ACCESS PANELS IN ALL PARTITIONS, FLOORS, CEILING, AND WALLS AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED FLUSH TO SURFACE WITH NO TRIM.	
GN12- FOR THIS PROJECT, DATUM 100.00' IS SET AT FINISH FLOOR, MAIN LEVEL OF THE UNIT.	
GN13- DATUM ELEVATIONS ARE GIVEN TO TOP OF FINISH FLOOR. ALL OTHER FINISH MATERIALS ARE ADDED TO THESE GIVEN ELEVATIONS UNLESS OTHERWISE NOTED.	
GN14- DO NOT OBTAIN DIMENSIONS BY SCALING DRAWINGS - USE WRITTEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE PROJECT ARCHITECT BEFORE THE COMMENCEMENT OF WORK.	
GN15- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TAKEN TO THE FOLLOWING IN ORDER OF PRIORITY: A. GRID LINES B. FLOOR LINES C. WORK POINTS D. STRUCTURAL STEEL E. FACE OF STUD F. FACE OF CONCRETE G. FACE OF FINISH	

DRAWING INDEX	
ARCHITECTURAL	
A000	PROJECT DATA, DRAWING INDEX, PROJECT DIRECTORY SURVEY
A100	SITE PLAN
A101	CONSTRUCTION STAGING PLAN
A102	FIRE MITIGATION PLAN
A103	LANDSCAPE & IRRIGATION PLAN
A104	EXTERIOR LIGHTING PLAN
A105	SNOW MELT PLAN
A200	BASEMENT PLAN
A201	ENTRY LEVEL PLAN
A202	UPPER LEVEL PLAN
A203	ROOF PLAN
A210	AREA ANALYSIS
A300	ELEVATION
A301	ELEVATION
A302	ELEVATIONS
A310	MATERIAL CALCS
A600	ROOF EAVE/FASCIA DETAILS
A601	WINDOW DETAILS
A602	EXTERIOR DOOR DETAILS

PROJECT AXONOMETRIC	
GN16- UNLESS OTHERWISE NOTED, DIMENSIONS ARE ASSUMED TO BE: A. PLUMB B. LEVEL C. SQUARE E. PARALLEL F. TO ESTABLISHED AXES OR BASELINES AS ESTABLISHED BY DIMENSIONAL OR ANGULAR NOTATIONS	
GN17- ALL GLASS MUST CONFORM TO CODE REQUIREMENTS FOR SAFETY GLAZING.	
GN18- MATERIALS, WHERE REQUIRED, ARE TO HAVE AN UL LABEL IN AN INCONSPICUOUS BUT VISIBLE LOCATION.	
GN19- SIZES, DIMENSIONS, LOCATIONS, AND DETAILS OF PLANTERS, TREE GATES, CONCRETE FINISH, TILE PATTERNS, GRADING, SITE LIGHTING, ETC., ASSOCIATED WITH LANDSCAPE ARE SHOWN ON LANDSCAPE DRAWINGS.	
GN20- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF UTILITY LINES, AGGREGATE BASES, SPOT ELEVATIONS ETC., ASSOCIATED WITH CIVIL ARE SHOWN ON THE CIVIL DRAWINGS.	
GN21- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF STRUCTURAL MEMBERS, BEAMS, SLABS, WALLS, OPENINGS, ETC., ARE SHOWN ON STRUCTURAL DRAWINGS.	
GN22- SIZES, DIMENSIONS, LOCATIONS AND DETAIL OF REGISTERS, DUCTS, EQUIPMENT, WALL OPENINGS, LOUVERS, ACCESS HATCHES, EQUIPMENT CURBS, VENTS, ETC., ASSOCIATED WITH HEATING VENTILATING AND AIR CONDITIONING ARE CONTAINED ON THE MECHANICAL DRAWINGS. COORDINATE LOCATION OF REGISTERS WITH ARCHITECTURAL REFLECTED CEILING PLAN.	
SITE PLAN GENERAL NOTES SPGN01- CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS WITH EACH UTILITY AGENCY PRIOR TO EXCAVATION.	
SPGN02- CONTRACTOR TO VERIFY ALL FLOOR ELEVATIONS PRIOR TO EXCAVATION.	
SPGN03- CONTRACTOR TO PROTECT ALL TREES ON PROPERTY & ADJACENT PROPERTIES THAT EXTEND OVER PROPERTY LINE.	
SPGN04- THE PROJECT SHALL COMPLY WITH THE TOWNS FIRE MITIGATION STANDARDS	
SPGN05- THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.	
DRB notes: -Areas disturbed within the General Easement utilized during construction shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy. -Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points. -Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products. -Prior to issuance of a CO, the property owner will enter into a Road Right of Way and General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the road right of way and general easement encroachments approved.	

PROJECT DIRECTORY	
OWNER/CONTRACTOR RICKY DENESIK RICKY@ULTRABUILDERSLLC.COM 970-729-1221	CIVIL ENGINEER DAVID BALLODE UNCOMPANHGRE ENGINEERING, LLC P.O. BOX 3945 TELLURIDE, CO 81435 T 970-729-0693 dbalode@msn.com
ARCHITECT JACK WESSON ARCHITECTS, INC. PO BOX 457 TELLURIDE, CO 81435 T 970.728.9755 jwesson@me.com adam.birk@gmail.com	STRUCTURAL ENGINEER COLORADO STRUCTURAL, INC. MIKE ARBANEY P.E. T 970.349.5922 mike@coloradostructural.com
SURVEY INFORMATION SAN JUAN SURVEYING CHRIS KENNEDY 102 SOCIETY DRIVE TELLURIDE, CO 81435 T 970.728-1128 office@sanjuansurveying.com	

VICINITY MAP	



2-19-21	DRB CONDITIONS
1-25-21	DRB FINAL
11-30-20	DRB PACKAGE
11-7-20	35' HEIGHT LIMIT
10-6-20	DRB PACKAGE
9-21-20	DRB DRAFT 1
9-9-20	SD: PROGRESS SET
7-29-20	SD: SITE, GRADE
5-28-20	DESIGN DRAWINGS
MARK	REV. DATE
DESCRIPTION	
PROJECT NAME	
PROJECT MANAGER	
DRAWN BY	
REVIEWED BY	
DATE	

JACK WESSON ARCHITECTS INC. TELLURIDE, COLORADO 81435 TEL: 970.728.9755 FAX: 970.728.9754 jack@wessonarch.com www.jackwessonarchitects.com	
PROJECT NAME: LOT BC513E MOUNTAIN VILLAGE, COLORADO 81435	SHEET DESCRIPTION: COVER SHEET
SHEET NUMBER: A000	

TRACT 513

PROPERTY DESCRIPTION:

LOT BC513E, TOWN OF MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOTS BC110, BC513A, 615-1C, 615-2CR, 615-3AR, TRACTS 21-ARR, OSP-21, OS-615A, OS-615B, OS-615C AND OLD HIGHWAY ROAD, TOWN OF MOUNTAIN VILLAGE, COLORADO, ACCORDING TO THE PLAT RECORDED JUNE 07, 2000 IN PLAT BOOK 1 AT PAGE 2729.

COUNTY OF SAN MIGUEL,
STATE OF COLORADO.

SURVEYOR'S CERTIFICATE:

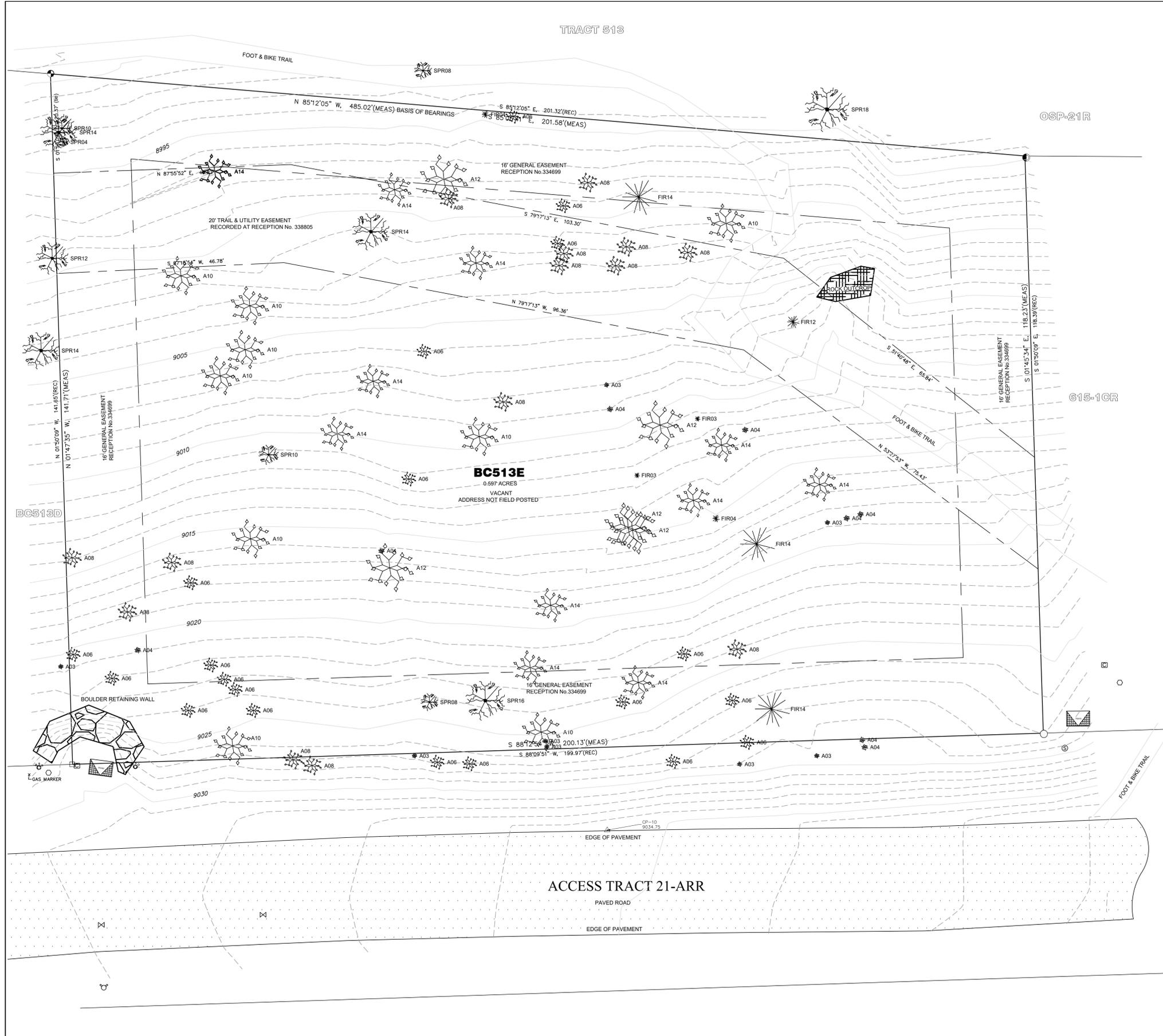
I, Thomas A. Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot BC513E, Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.



Thomas A. Clark PLS. 38014

NOTES:

1. Field work was performed IN September 2019.
2. Elevation datum for this survey are based on "CP 10" benchmark at the South side of of lot BC513E that elevation being 9034.75.
3. This survey is valid only if a printed or electronic copy has a seal and signature of the surveyor noted within the statement above.
4. NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any deficit in this survey be commenced more than ten years from the date of the certification shown hereon.



LEGEND:

- PAVED ROADWAY
- SET #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 38014
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 24954
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 37662
- FOUND #5 REBAR WITH NO CAP
- TRANSFORMER
- TELEPHONE PEDESTAL
- SEWER MAN HOLE
- COMMUNICATIONS BOX
- WATER VALVE

SCALE: 1" = 10'
CONTOUR INTERVAL=1'



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

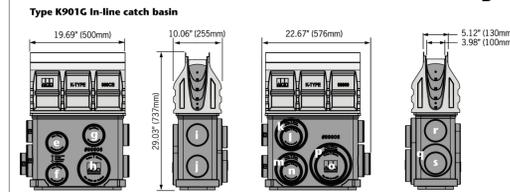
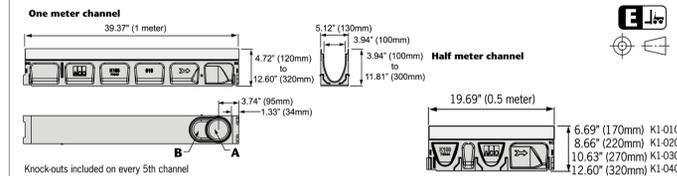
23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.

ACO DRAIN
KlassikDrain - K100 Galvanized steel edge rail channel system



Outlet	Product	Outlet size (Sch. 40)	Invert Depth	GPM	CFS	End Cap
a	Bottom outlet - K00	4" round	3.94'	108	0.24	
a	Bottom outlet - K40	4" round	11.81'	187	0.42	
b	Bottom outlet - K00	6" oval	3.94'	177	0.39	
b	Bottom outlet - K40	6" oval	11.81'	306	0.68	
c	End outlet - K20	4" round	7.87'	132	0.29	
c	End outlet - K40	4" round	11.81'	171	0.38	
d	K1-308-6 6" outlet cap	6" oval	9.84'	233	0.52	
e	K1-408-6 6" outlet cap	6" oval	11.81'	264	0.59	
f	Type K1-901G	4" round	19.30'	226	0.50	
g	Type K1-901G	4" round	25.77'	265	0.59	
h	Type K1-901G	4" round	25.30'	263	0.59	
i	Type K1-901G	4" round	18.56'	222	0.49	
j	Type K1-901G	6" round	25.85'	386	1.30	
k	Type K1-901G	4" round	26.43'	269	0.60	
l	Type K1-901G	4" round	19.36'	227	0.51	
m	Type K1-901G	6" round	27.30'	604	1.35	
n	Type K1-901G	6" round	19.99'	505	1.12	
o	Type K1-901G	6" round	26.43'	593	1.32	
p	Type K1-901G	8" round	27.30'	1051	2.34	
q	Type K1-901G	4" round	27.17'	273	0.61	
r	Type K1-901G	4" round	20.68'	235	0.52	
s	Type K1-901G	4" round	18.99'	224	0.50	
t	Type K1-901G	6" round	27.17'	602	1.34	

Note: These are the pipe flow rates at the specified outlet. NOT channel flow rates. Catch basin flow rates are without trash bucket - using trash bucket reduces flow.

April 2018

www.ACOdrain.us



ACO Specification Information

ACO DRAIN
Type 478Q Longitudinal ductile iron grate (ADA)

- Product Features**
- Certified to EN 1433 Load Class E - 135,000 lbs - 2,788 psi
 - Uses 'QuickLok' boltless locking system
 - Suitable for use with K100, KS100, H100-8, H100-10, H100K-8, H100K-S, and NW100 channels
 - Manufactured from ductile iron to ASTM A 536-84 - Grade 65-45-12
 - E-coated for improved resistance against rust
 - Complies with ADA - American Disabilities Act of 1990 Section 4.5.4
 - Bicycle Tire Penetration Resistant to AS 3996 - 2006



Specifications

General
The surface drainage system shall be ACO Drain K100, KS100, H100-8, H100-10, H100K-8, H100K-S, and NW100 channels* complete with ACO Type 478Q longitudinal ductile iron grate with 'QuickLok' locking as manufactured by ACO, Inc. or similar approved.

Materials
The covers shall be manufactured from ductile iron and have minimum properties as follows:

- Independently certified to meet Load Class E to EN 1433 - 135,000 lbs - 2,788 psi
- Ductile iron to ASTM A 536-84 - Grade 65-45-12
- Intake area of 22.5 sq. in. (145.16 cm²) per half meter of grate

The overall width of 4.85" (123mm) and overall length of 19.69' (500mm). Slots measure at a maximum of 0.28" (7mm).

Installation
The trench drain system and grates shall be installed in accordance with the manufacturer's installation instructions and recommendations.

ACO Specification Information

April 2018

www.ACOdrain.us



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2020-10-13
SUBMITTAL 2021-02-18
Rev. 1 2021-02-22

Lot BC513E
Lawson Overlook
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2020-10-13
SUBMITTAL	2020-02-18
Rev. 1	2020-02-22

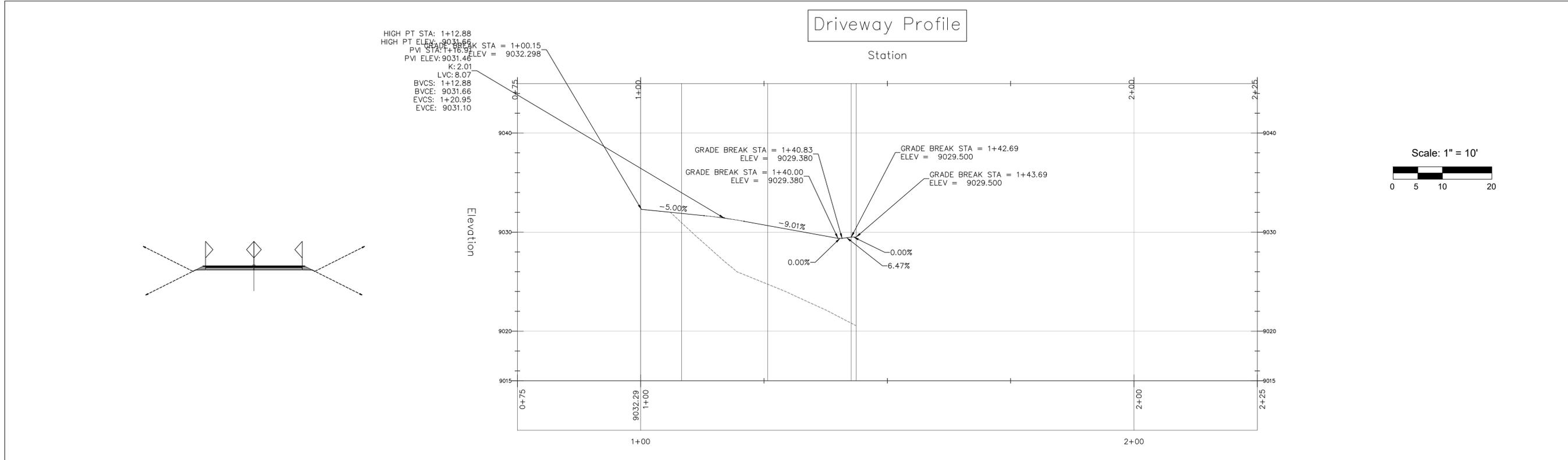
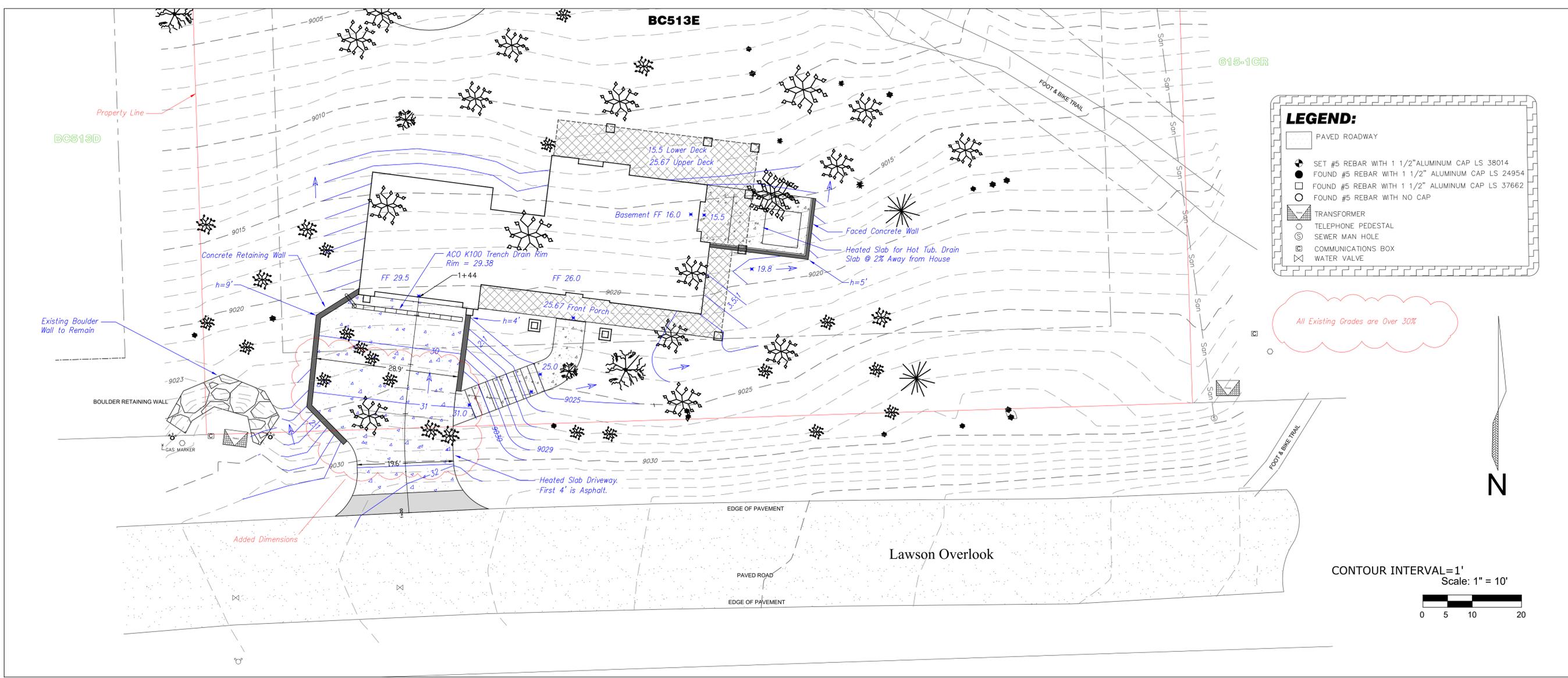
Lot BC513E
Lawson Overlook
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading Plan
and
Driveway Profile

C2.1





Uncompahgre Engineering, LLC

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Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2020-10-13
SUBMITTAL 2021-02-18

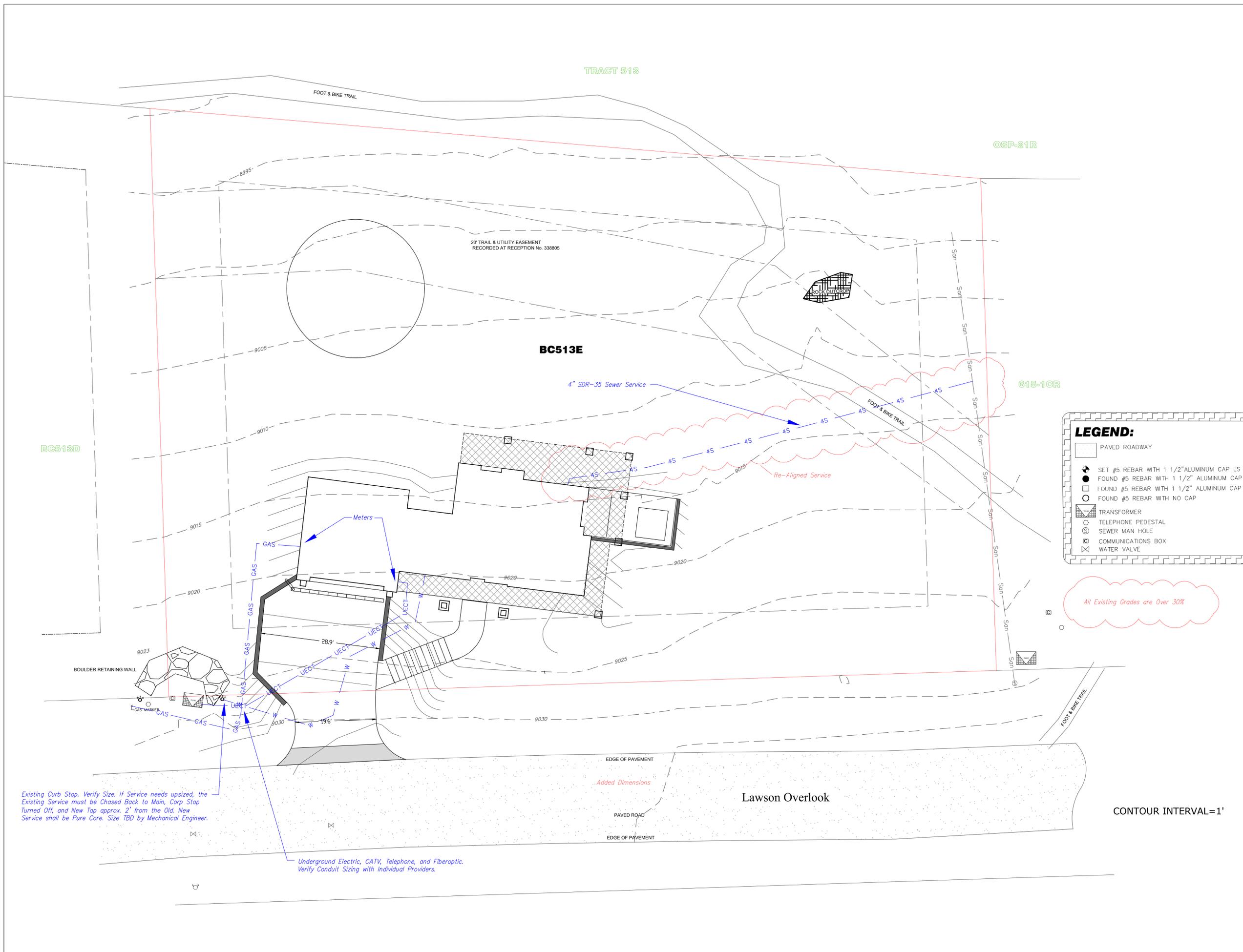
Lot BC513E
Lawson Overlook
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3



LEGEND:

- PAVED ROADWAY
- SET #5 REBAR WITH 1 1/2" ALUMINUM CAP LS.
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP
- FOUND #5 REBAR WITH NO CAP
- TRANSFORMER
- TELEPHONE PEDESTAL
- SEWER MAN HOLE
- COMMUNICATIONS BOX
- WATER VALVE

All Existing Grades are Over 30%

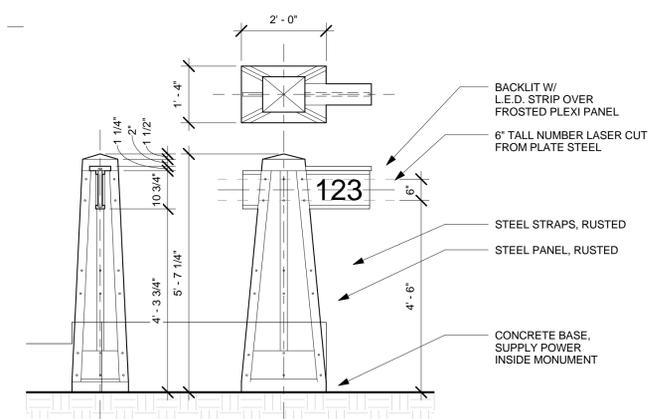
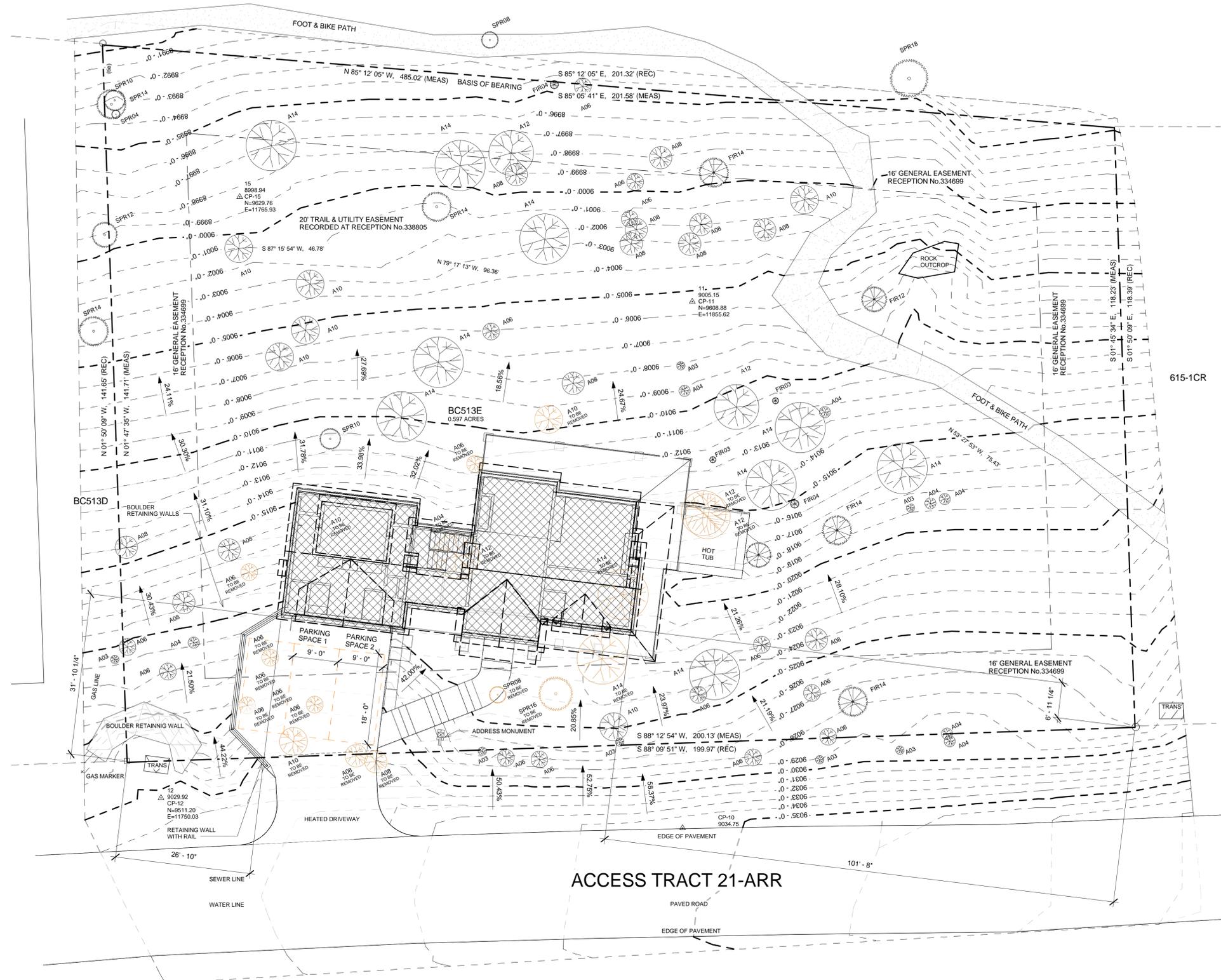
Existing Curb Stop. Verify Size. If Service needs upsized, the Existing Service must be Chased Back to Main, Corp Stop Turned Off, and New Tap approx. 2' from the Old. New Service shall be Pure Core. Size TBD by Mechanical Engineer.

Underground Electric, CATV, Telephone, and Fiberoptic. Verify Conduit Sizing with Individual Providers.

EDGE OF PAVEMENT
PAVED ROAD
EDGE OF PAVEMENT

Lawson Overlook

CONTOUR INTERVAL=1'

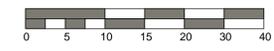


② ADDRESS MONUMENT
1/2" = 1'-0"

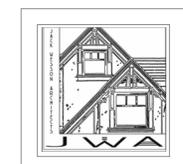
- EXISTING FIR TREE, SEE PLAN FOR SIZE
- EXISTING SPRUCE TREE, SEE PLAN FOR SIZE
- EXISTING ASPEN TREE, SEE PLAN FOR SIZE
- EXISTING FIR TREE TO BE REMOVED, SEE PLAN FOR SIZE
- EXISTING SPRUCE TREE TO BE REMOVED, SEE PLAN FOR SIZE
- EXISTING ASPEN TREE TO BE REMOVED, SEE PLAN FOR SIZE

REVISED TREE REMOVAL PER VILLAGE WAIVER

① A100-SITE
3/32" = 1'-0"



***SQUARE FOOTAGE REQUIRES
A FIRE SPRINKLER SYSTEM***



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2-19-21	DRB CONDITIONS
1-25-21	DRB FINAL
11-30-20	DRB PACKAGE
11-7-20	35' HEIGHT LIMIT
10-6-20	DRB PACKAGE
9-21-20	DRB DRAFT 1
9-9-20	SD: PROGRESS SET
7-29-20	SD: SITE, GRADE
5-28-20	DESIGN DRAWINGS

PROJECT NAME:
LOT BC513E
MOUNTAIN VILLAGE, COLORADO 81415

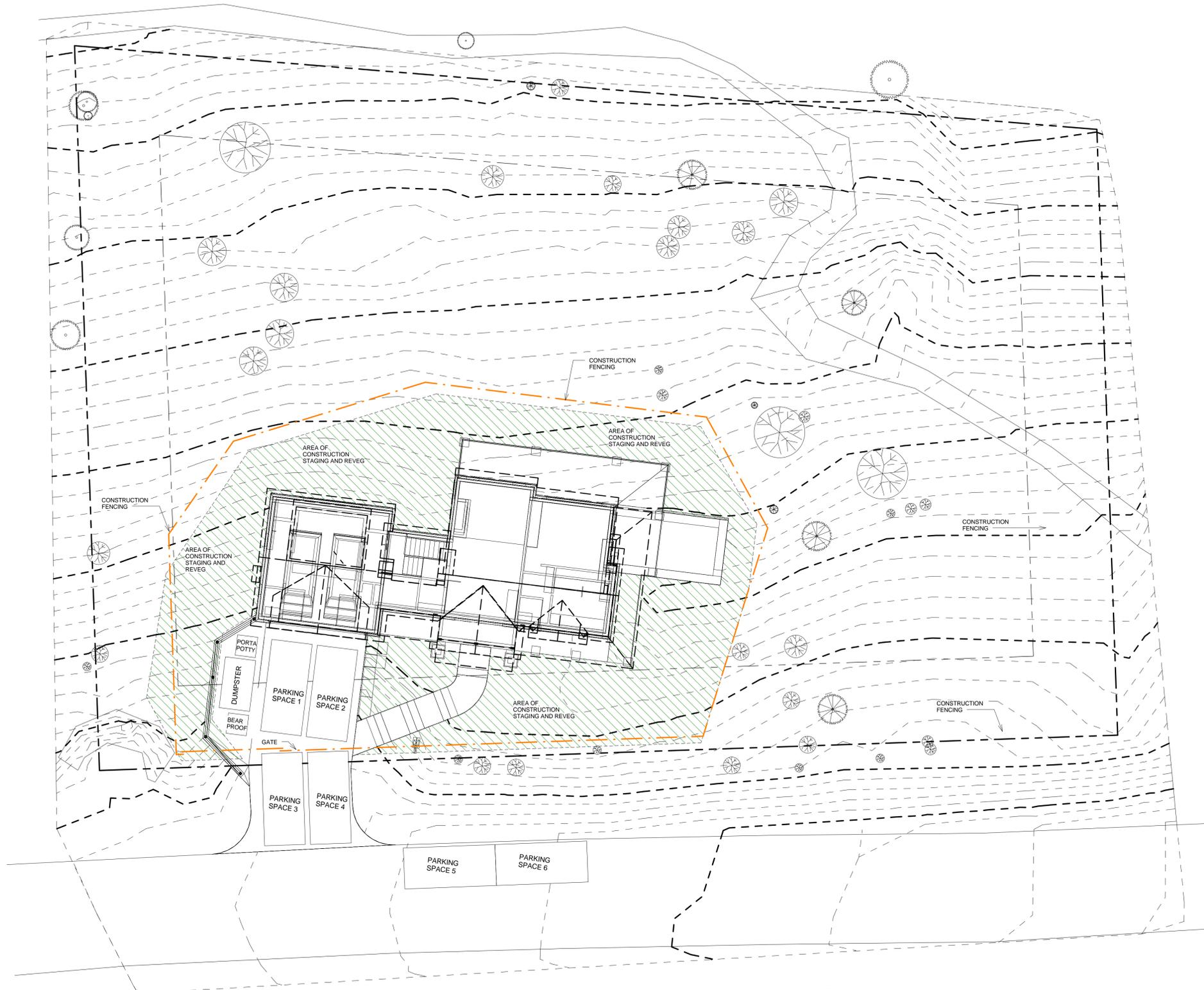
SHEET DESCRIPTION:
SITE PLAN

SHEET NUMBER:
A100

MARK	REV	DATE	DESCRIPTION

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
DATE: 02/20/24

Printed Regular

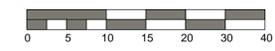


REVISED AREA OF CONSTRUCTION STAGING PER TREE REMOVAL REVISIONS

NOTE: ADDITIONAL TREE CLEARING WILL BE DONE IN ACCORDANCE WITH THE MOUNTAIN VILLAGE LAND USE ORDINANCE FIRE MITIGATION REQUIREMENTS

SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM

1 A101-CONSTRUCTION STAGING PLAN
3/32" = 1'-0"



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2-19-21	DRB CONDITIONS	
1-25-21	DRB FINAL	
11-30-20	DRB PACKAGE	
11-7-20	35' HEIGHT LIMIT	
10-6-20	DRB PACKAGE	
9-21-20	DRB DRAFT 1	
9-9-20	SD: PROGRESS SET	
7-29-20	SD: SITE, GRADE	
5-28-20	DESIGN DRAWINGS	
MARK	REV. DATE	DESCRIPTION

PROJECT NAME: LOT BC513E
MOUNTAIN VILLAGE, COLORADO 81435

SHEET DESCRIPTION: CONSTRUCTION STAGING PLAN

SHEET NUMBER: A101

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
DATE: 10/20/2024

GENERAL NOTES:

1. SOIL PREPARATION SPECIFICATIONS: SOIL IN REVEG. AREA WILL BE AUGMENTED WITH HYDROMULCH.
2. THIS LANDSCAPE PLAN COMPLIES WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
3. THE PROPERTY OWNER GUARANTEES ALL PLANT MATERIALS FOR TWO YEAR.
4. ALL TREES AND SHRUBS SHALL BE BACKFILLED WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO
6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK. PLANTING DETAILS FOR ROOT SYSTEMS, SOIL PREPARATION, SEEDING, MULCHING, AND FERTILIZATION TECHNIQUES SHALL BE IN ACCORDANCE WITH GUIDELINES SET FORTH BY THE ASSOCIATED LANDSCAPE CONTRACTORS OR COLORADO.
8. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.

REVEGETATION AND EROSION CONTROL NOTES:

1. SUBSOIL SURFACES SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE RE-VEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
4. NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION-CONTROL NETTING.
5. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
7. EROSION-CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2, AND IN DRAINAGE SWALES.
8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.
9. ROAD AND DRIVEWAY SHALL BE RE-VEGETATED WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-VEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.
10. EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OR RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.
11. IN AREAS THAT ARE TO BE RE-VEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPE SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED).

DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY FROM THE HOUSE AS REQUIRED BY TOWN'S ADOPTIVE BUILDING CODES

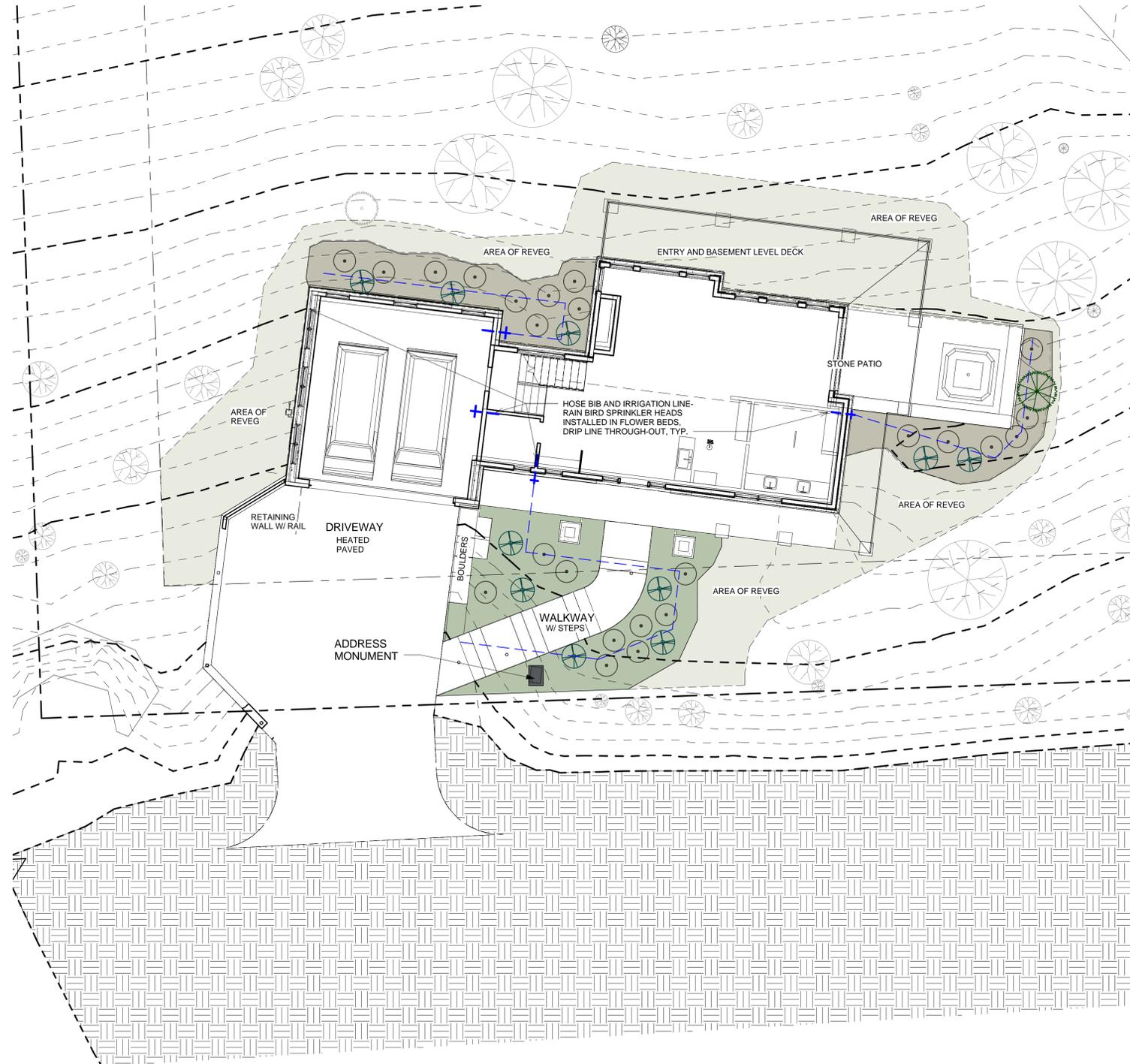
THE PROJECT SHALL COMPLY WITH THE TOWNS FIRE MITIGATION STANDARDS

THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

WATER USAGE CHART:

POTENTILLA	30 @ 2 gal.	= 60 gal.
DOGWOOD	14 @ 2 gal.	= 28 gal.
FIR TREE	1 @ 10 gal.	= 10 gal.
TOTAL =		98 gal.

***NOTE: INSTALL RAIN SHUT-OFF DEVICE AS REQ'D BY SECTION 9-210**



REVISED LANDSCAPING PER NEW TREE REMOVAL PLAN, ADDED (1) FIR TREE

- EXISTING FIR TREE, SEE PLAN FOR SIZE
- EXISTING SPRUCE TREE, SEE PLAN FOR SIZE
- EXISTING ASPEN TREE, SEE PLAN FOR SIZE
- NEW FIR TREE
- (11) 5 GAL. DOGWOOD SHRUBS
- (26) 5 GAL. POTENTILLA

- LANDSCAPE ZONE 1: COLUMBINE, SHOOTING STAR, INDIAN PAINTBRUSH, YARROW, BLUEBELL APPROX. 860 SF.
- LANDSCAPE ZONE 2: RUSSIAN SAGE, YELLOW ROSE, DAYLILY, DELPHINIUM, BLEEDING HEART, CINQUEFOIL APPROX 300 SF.
- NOTE: REVEGETATION IS WILL BE NATIVE MIX
5% WESTERN YARROW
10% TALL FESCUE
5% ARIZONA FESCUE
5% HARD FESCUE
10% CREEPING RED FESCUE
15% ALPINE BLUEGRASS
10% CANADA BLUEGRASS
15% PERENNIAL RYEGRASS
10% SLENDER WHEATGRASS
15% MOUNTAIN BROME
APPROX. 1530 SF



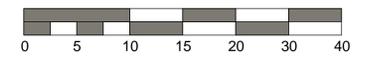
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jack@wessonarch.com
www.jackwessonarchitects.com

2-19-21	DRB CONDITIONS	
1-25-21	DRB FINAL	
11-30-20	DRB PACKAGE	
11-7-20	35' HEIGHT LIMIT	
10-6-20	DRB PACKAGE	
9-21-20	DRB DRAFT 1	
9-9-20	SD - PROGRESS SET	
7-29-20	SD: SITE, GRADE	
5-28-20	DESIGN DRAWINGS	
MARK	REV. DATE	DESCRIPTION
PROJECT NAME	LOT BC513E	
PROJECT MANAGER	MOUNTAIN VILLAGE, COLORADO 81435	
DRAWN BY	SHEET DESCRIPTION	
REVIEWED BY	LANDSCAPE PLAN	
DATE	SHEET NUMBER	
10/20/2024	A103	

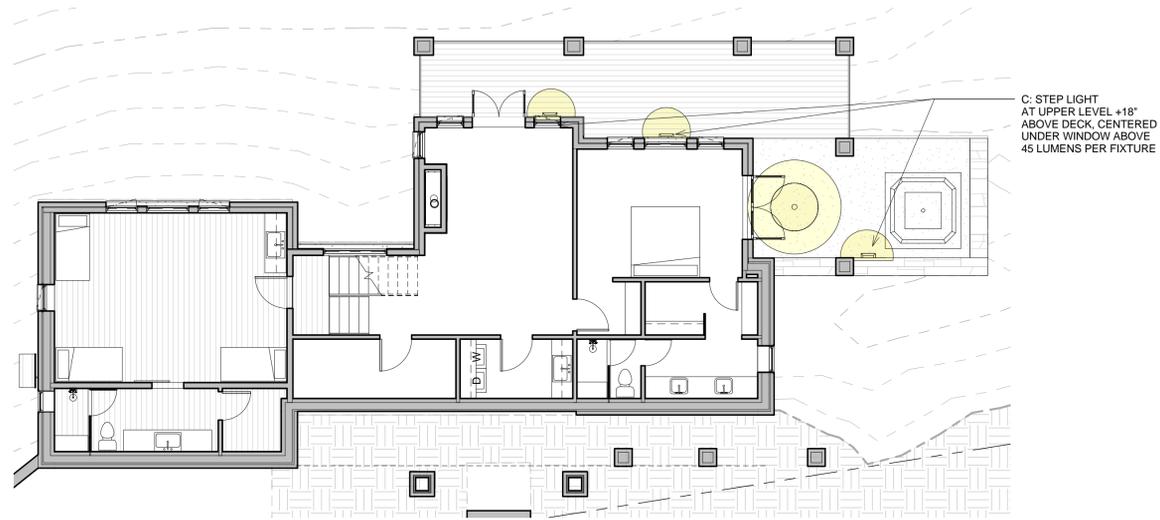
PROJECT NAME: LOT BC513E
MOUNTAIN VILLAGE, COLORADO 81435
SHEET DESCRIPTION: LANDSCAPE PLAN
SHEET NUMBER: A103

1 A103-LANDSCAPE AND IRRIGATION PLAN
1/8" = 1'-0"

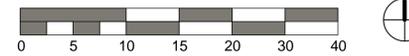


SHOULD THE STATE OF THE GENERAL EASEMENTS BE DISTURBED DURING CONSTRUCTION, THE APPLICANT MUST REVEGETATE THE AREA TO ITS PRIOR CONDITION USING THE NATIVE SEED MIX.

*****SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM*****



1
A104- BASEMENT EXTERIOR LIGHTING PLAN
1/8" = 1'-0"



C: STEP LIGHT
AT UPPER LEVEL +18"
ABOVE DECK, CENTERED
UNDER WINDOW ABOVE
45 LUMENS PER FIXTURE

ALL LIGHTING TO BE ON A DIMMER MANAGEMENT SYSTEM



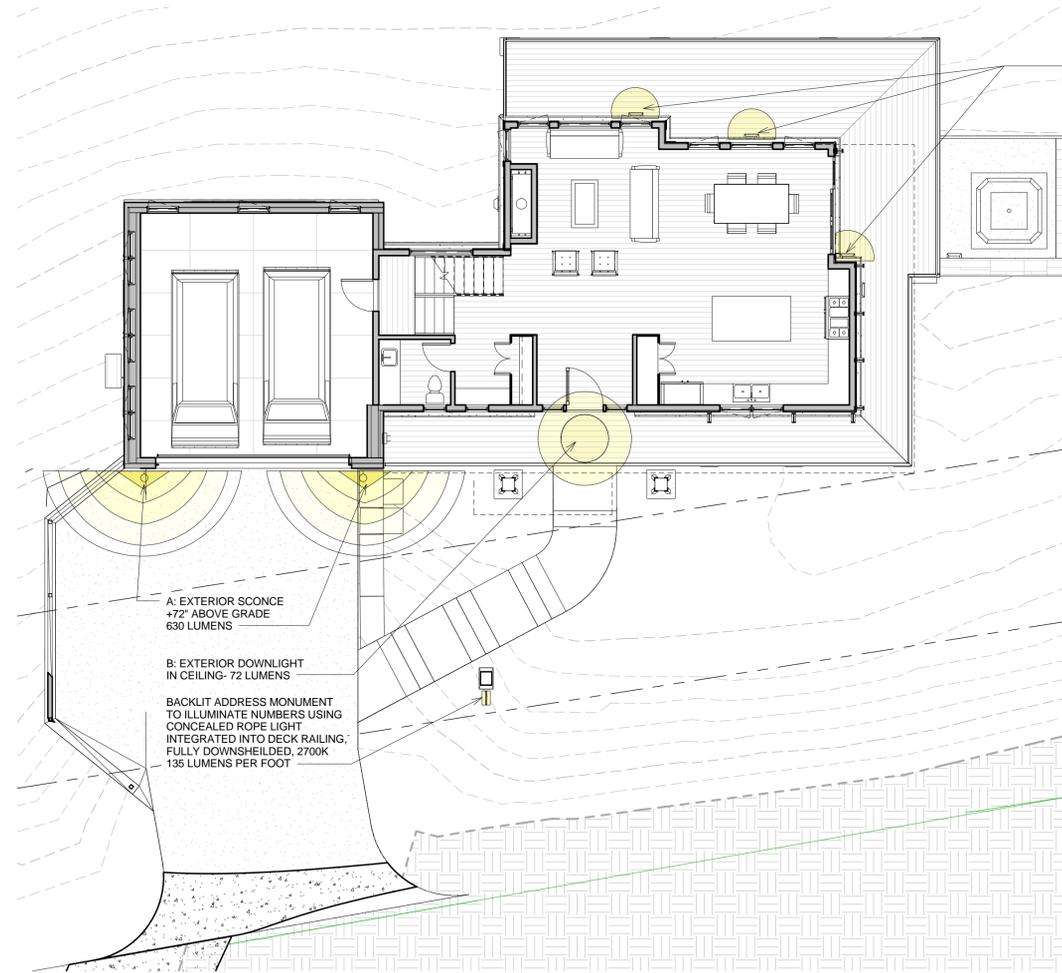
A: EXTERIOR SCONCE: 10" Square Exterior LED Outdoor Sconce by MODERN FORMS WS-W38610
630 lumens per fixture = 55.85 footcandles - see cut sheet



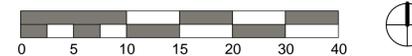
B: SMALL EXTERIOR DOWNLIGHT: aspectLED 2.25" LED Recessed Light
210 lumen max per fixture = 19.8 footcandles- see cut sheet



C: EXTERIOR STEP LIGHT: Louver Brick by WAC
45 lumens per fixture = 4.18 footcandles - see cut sheet



2
A104- ENTRY LEVEL EXTERIOR LIGHTING PLAN
1/8" = 1'-0"



C: STEP LIGHT
AT UPPER LEVEL +18"
ABOVE DECK, CENTERED
UNDER WINDOW ABOVE
45 LUMENS PER FIXTURE

A: EXTERIOR SCONCE
+72" ABOVE GRADE
630 LUMENS

B: EXTERIOR DOWNLIGHT
IN CEILING- 72 LUMENS

BACKLIT ADDRESS MONUMENT
TO ILLUMINATE NUMBERS USING
CONCEALED ROPE LIGHT
INTEGRATED INTO DECK RAILING,
FULLY DOWNSHIELDED, 2700K
135 LUMENS PER FOOT

3



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ARCHITECTS INC.

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FAX: 970.728.9754
jack@wessonarch.com
www.jackwessonarchitects.com

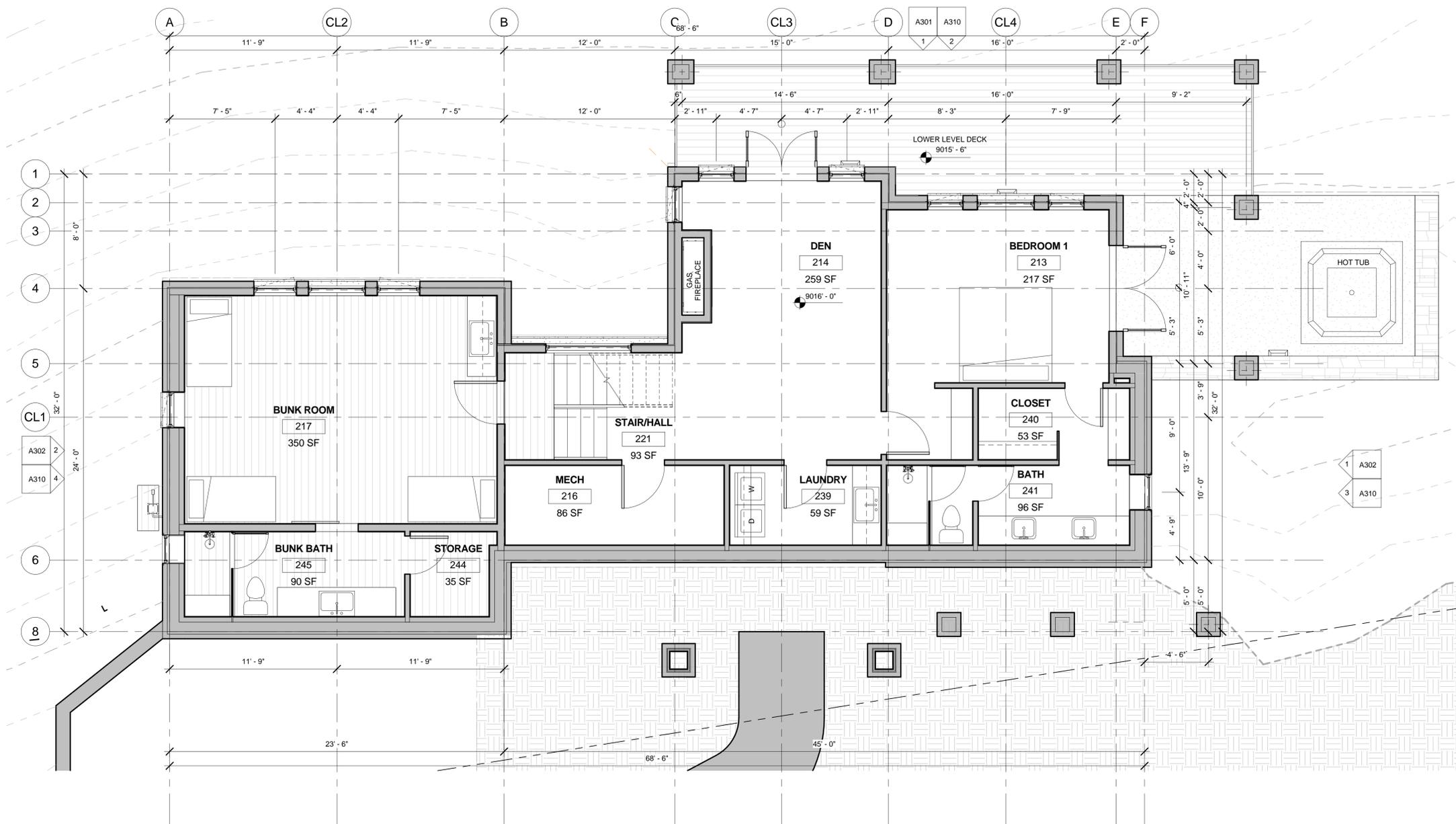
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2-19-21	DRB CONDITIONS	
1-25-21	DRB FINAL	
11-30-20	DRB PACKAGE	
11-7-20	35' HEIGHT LIMIT	
10-6-20	DRB PACKAGE	
9-21-20	DRB DRAFT 1	
9-9-20	SD: PROGRESS SET	
7-29-20	SD: SITE, GRADE	
5-28-20	DESIGN DRAWINGS	

PROJECT NAME:
LOT BC513E
MOUNTAIN VILLAGE, COLORADO 81435

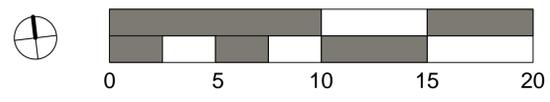
SHEET DESCRIPTION:
EXTERIOR LIGHTING PLAN

SHEET NUMBER:
A104

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
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2 A201 BASEMENT
1/4" = 1'-0"



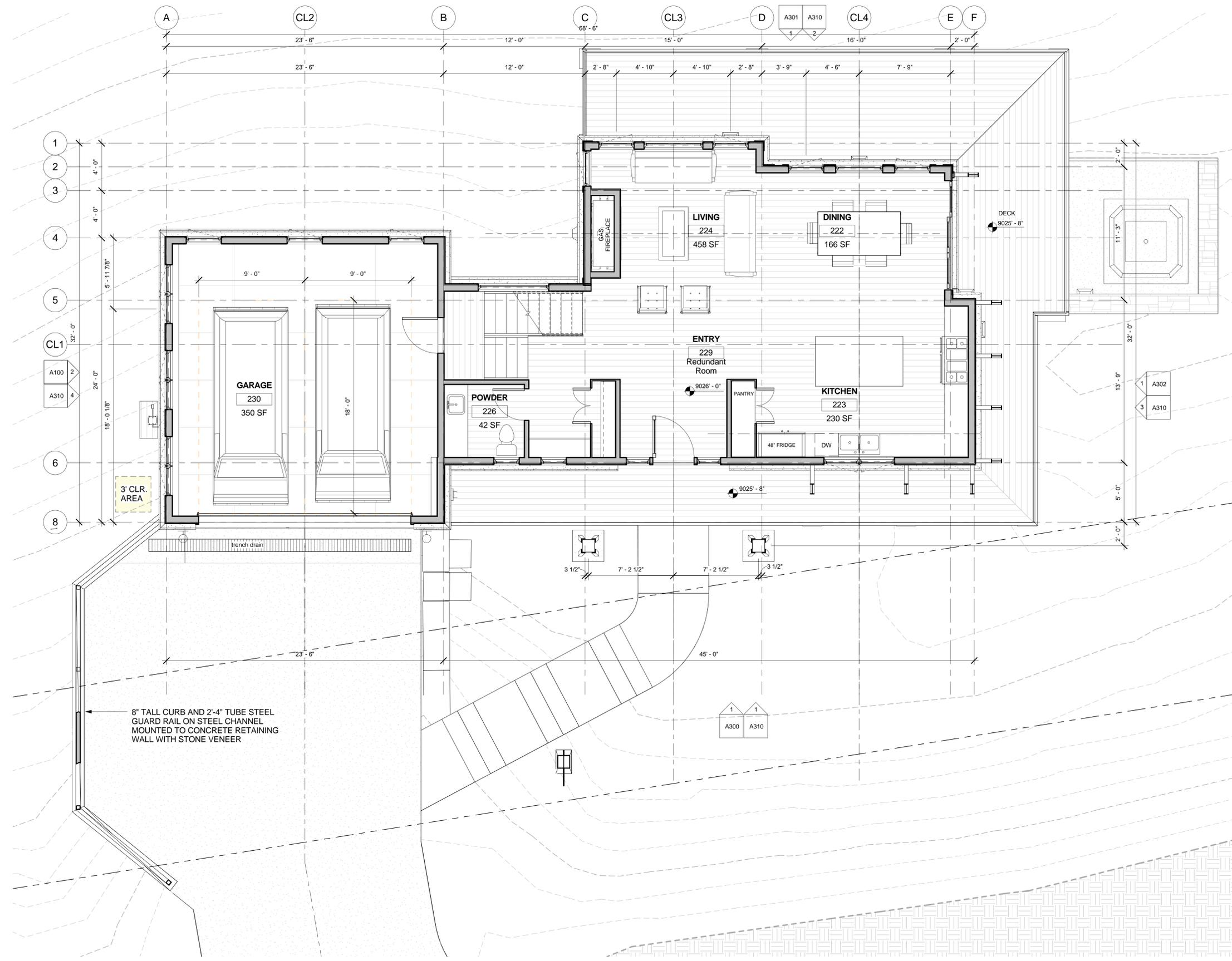
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FAX: 970.728.9754
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2-19-21	DRB CONDITIONS
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9-21-20	DRB DRAFT 1
9-9-20	SD: PROGRESS SET
7-29-20	SD: SITE, GRADE
5-28-20	DESIGN DRAWINGS

PROJECT NAME:
LOT BC513E
MOUNTAIN VILLAGE, COLORADO 81435
SHEET DESCRIPTION:
BASEMENT PLAN

MARK	REV. DATE	DESCRIPTION

SHEET NUMBER:
A201

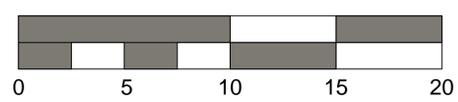


3' CLR. AREA

8" TALL CURB AND 2'-4" TUBE STEEL GUARD RAIL ON STEEL CHANNEL MOUNTED TO CONCRETE RETAINING WALL WITH STONE VENEER

9032' - 6 1/2"

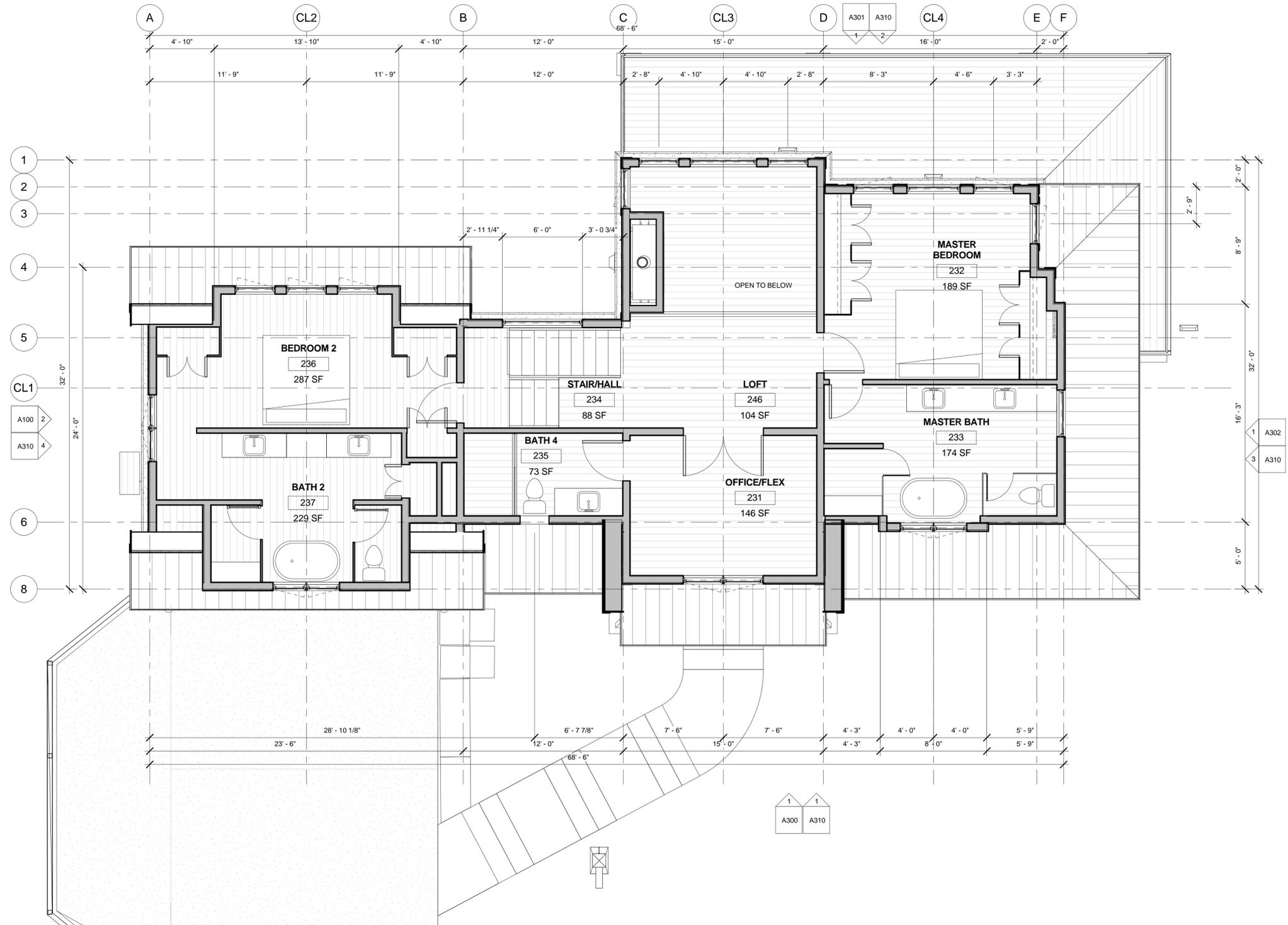
1 A202 ENTRY LEVEL
1/4" = 1'-0"



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2-19-21	DRB CONDITIONS	
1-25-21	DRB FINAL	
11-30-20	DRB PACKAGE	
11-7-20	35' HEIGHT LIMIT	
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9-21-20	DRB DRAFT 1	
9-9-20	SD: PROGRESS SET	
7-29-20	SD: SITE, GRADE	
5-28-20	DESIGN DRAWINGS	
MARK	REV. DATE	DESCRIPTION
PROJECT NAME	MOUNTAIN VILLAGE, COLORADO #1435	
PROJECT MANAGER	JACK WESSON	
DRAWN BY	JACK WESSON	
REVIEWED BY	JACK WESSON	
DATE	07/20/2024	

PROJECT NAME: LOT BC513E
SHEET DESCRIPTION: ENTRY LEVEL PLAN
SHEET NUMBER: A202



1 A203 UPPER LEVEL
1/4" = 1'-0"

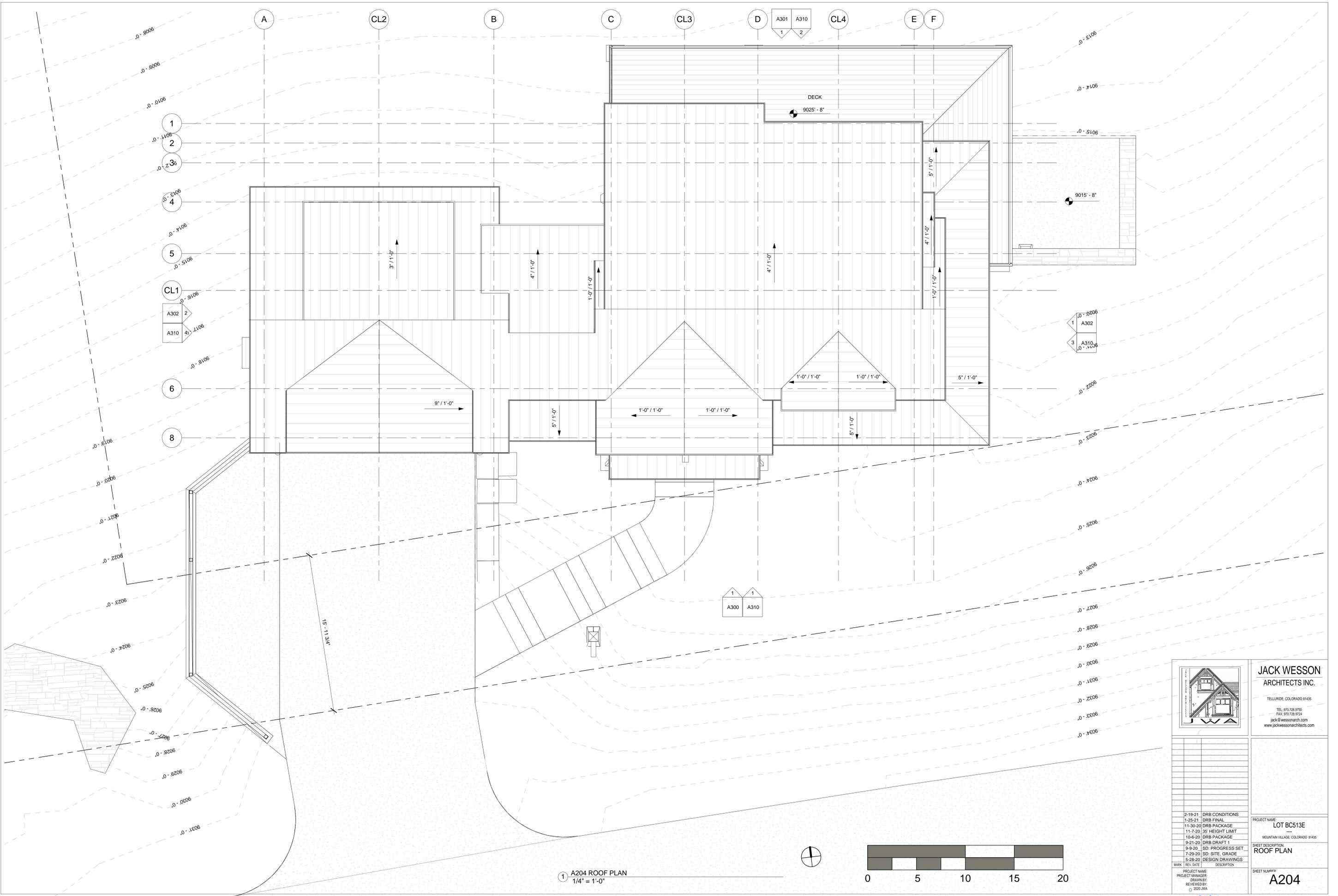


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MARK	REV. DATE	DESCRIPTION
1	2-19-21	DRB CONDITIONS
2	1-25-21	DRB FINAL
3	11-30-20	DRB PACKAGE
4	11-7-20	35' HEIGHT LIMIT
5	10-6-20	DRB PACKAGE
6	9-21-20	DRB DRAFT 1
7	9-9-20	SD: PROGRESS SET
8	7-29-20	SD: SITE, GRADE
9	5-28-20	DESIGN DRAWINGS

PROJECT NAME:
LOT BC513E
MOUNTAIN VILLAGE, COLORADO 81435
SHEET DESCRIPTION:
UPPER LEVEL PLAN
SHEET NUMBER:
A203

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
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1
2
3
4

CL1

A302
A310

5
6
7
8

A301
A310

CL4

E
F

A300
A310

A302
A310

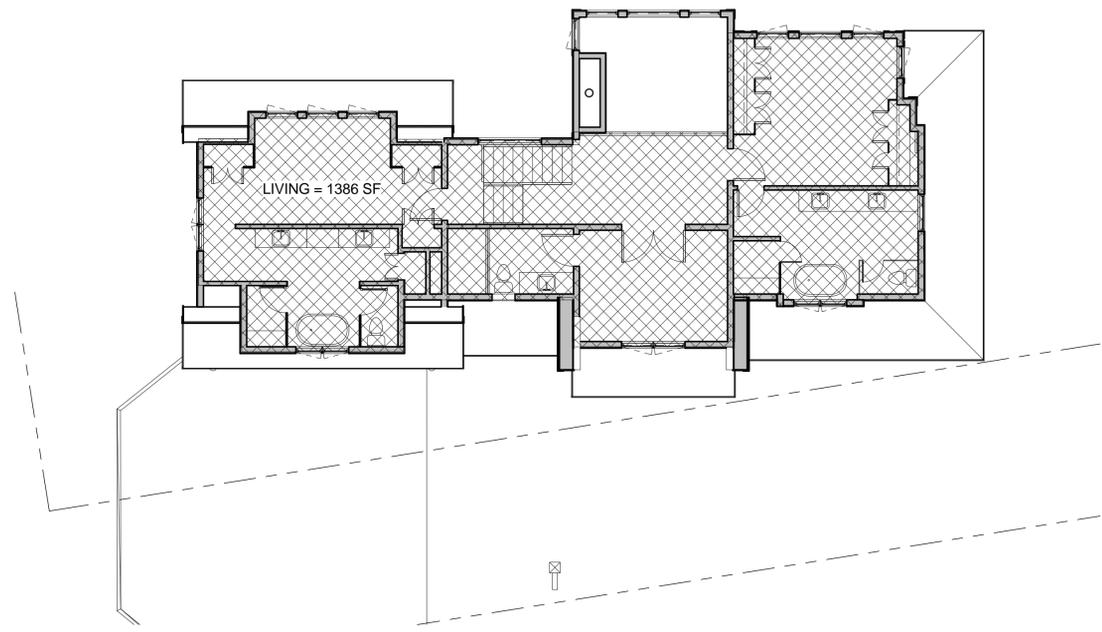
1 A204 ROOF PLAN
1/4" = 1'-0"



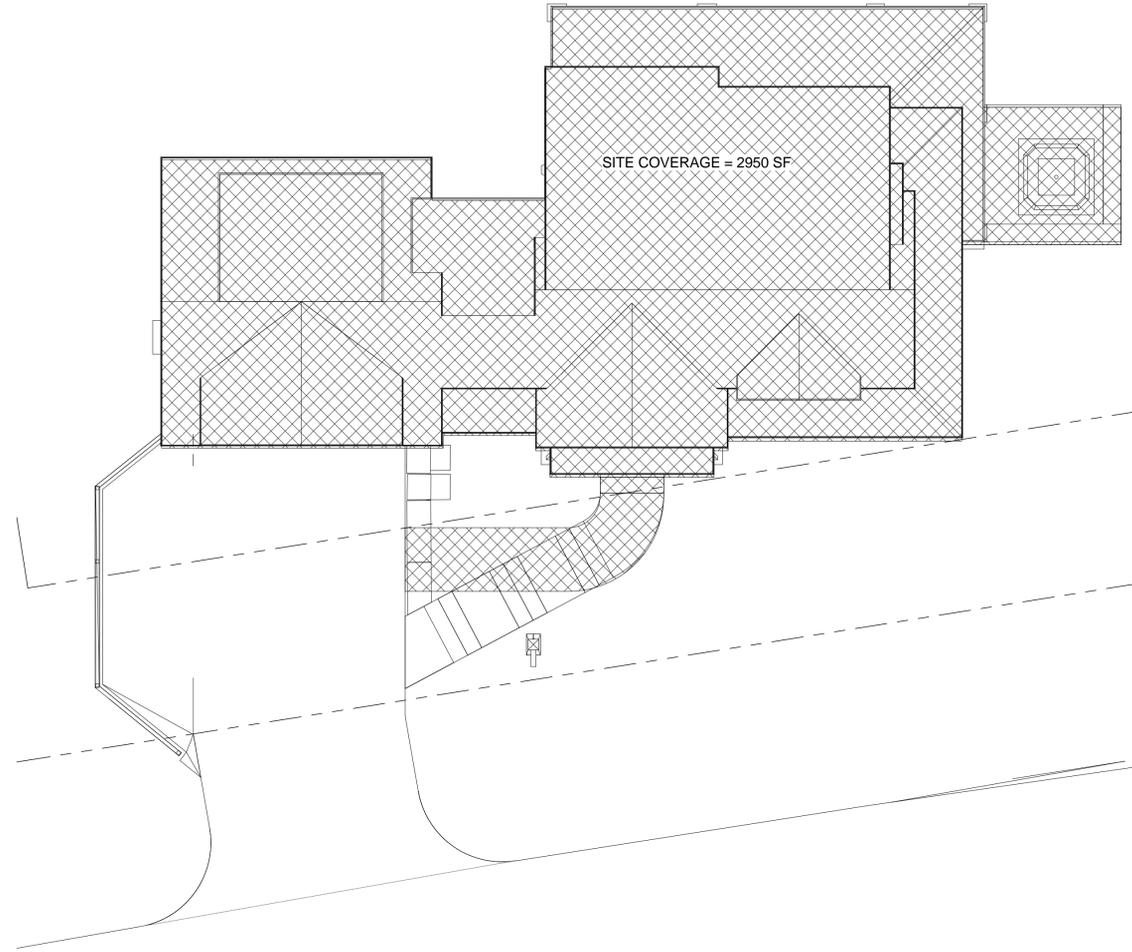
JACK WESSON
ARCHITECTS INC.
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TEL: 970.728.9755
FAX: 970.728.9754
jack@wessonarch.com
www.jackwessonarchitects.com

MARK	REV. DATE	DESCRIPTION
	2-19-21	DRB CONDITIONS
	1-25-21	DRB FINAL
	11-30-20	DRB PACKAGE
	11-7-20	35' HEIGHT LIMIT
	10-6-20	DRB PACKAGE
	9-21-20	DRB DRAFT 1
	9-9-20	SD: PROGRESS SET
	7-29-20	SD: SITE, GRADE
	5-28-20	DESIGN DRAWINGS

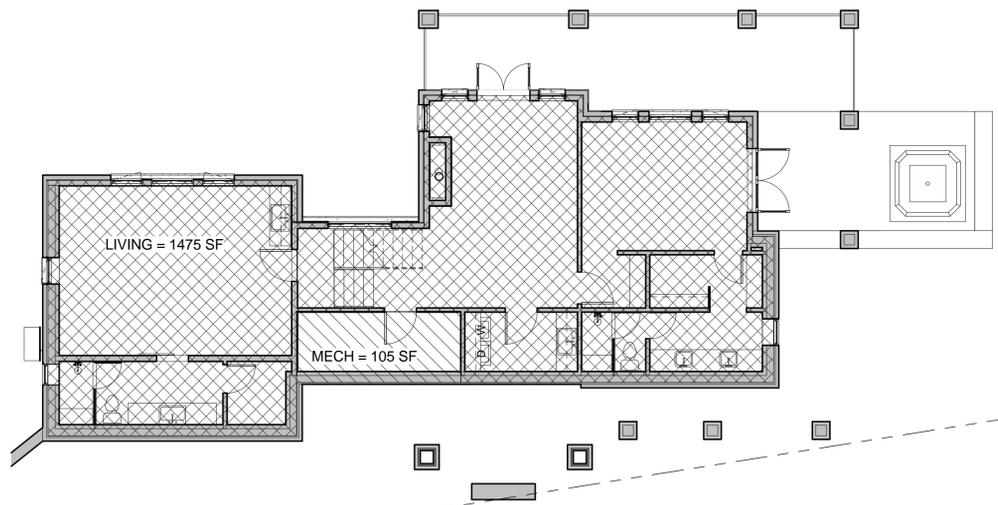
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MOUNTAIN VILLAGE, COLORADO 81415
SHEET DESCRIPTION:
ROOF PLAN
SHEET NUMBER:
A204



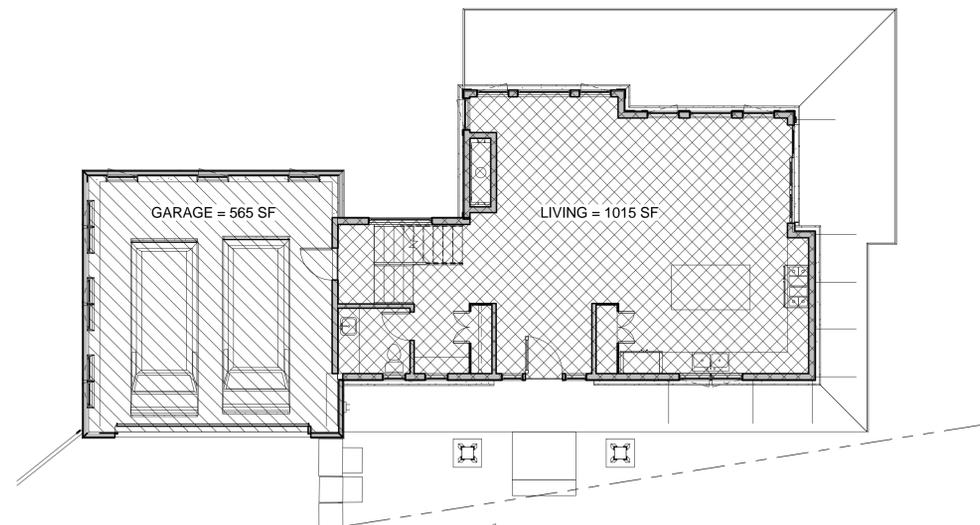
3 AREA PLAN 3 UPPER LEVEL
1/8" = 1'-0"



4 AREA PLAN 4 SITE COVERAGE
1/8" = 1'-0"



1 AREA PLAN 1 BASEMENT
1/8" = 1'-0"



2 AREA PLAN 2 ENTRY LEVEL
1/8" = 1'-0"

BUILDING FOOTPRINT : 2950 SF
TOTAL LOT AREA: 26,000 SF
SITE COVERAGE: 11.3 %

BASEMENT LEVEL:
LIVING = 1475 SF
MECH = 105 SF

ENTRY LEVEL:
LIVING = 1015 SF
GARAGE = 565 SF

UPPER LEVEL:
LIVING = 1386 SF

TOTAL LIVING = 3876 SF

TOTAL GROSS = 4546 SF



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2-19-21	DRB CONDITIONS
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11-17-20	35' HEIGHT LIMIT
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9-21-20	DRB DRAFT 1
9-9-20	SD: PROGRESS SET
7-29-20	SD: SITE, GRADE
5-28-20	DESIGN DRAWINGS

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
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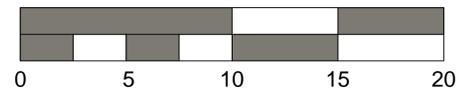
PROJECT NAME:
LOT BC513E

MOUNTAIN VILLAGE, COLORADO 81435
SHEET DESCRIPTION:
GROSS BUILDING AREA

SHEET NUMBER:
A210



1 2 NORTH ELEVATION
1/4" = 1'-0"



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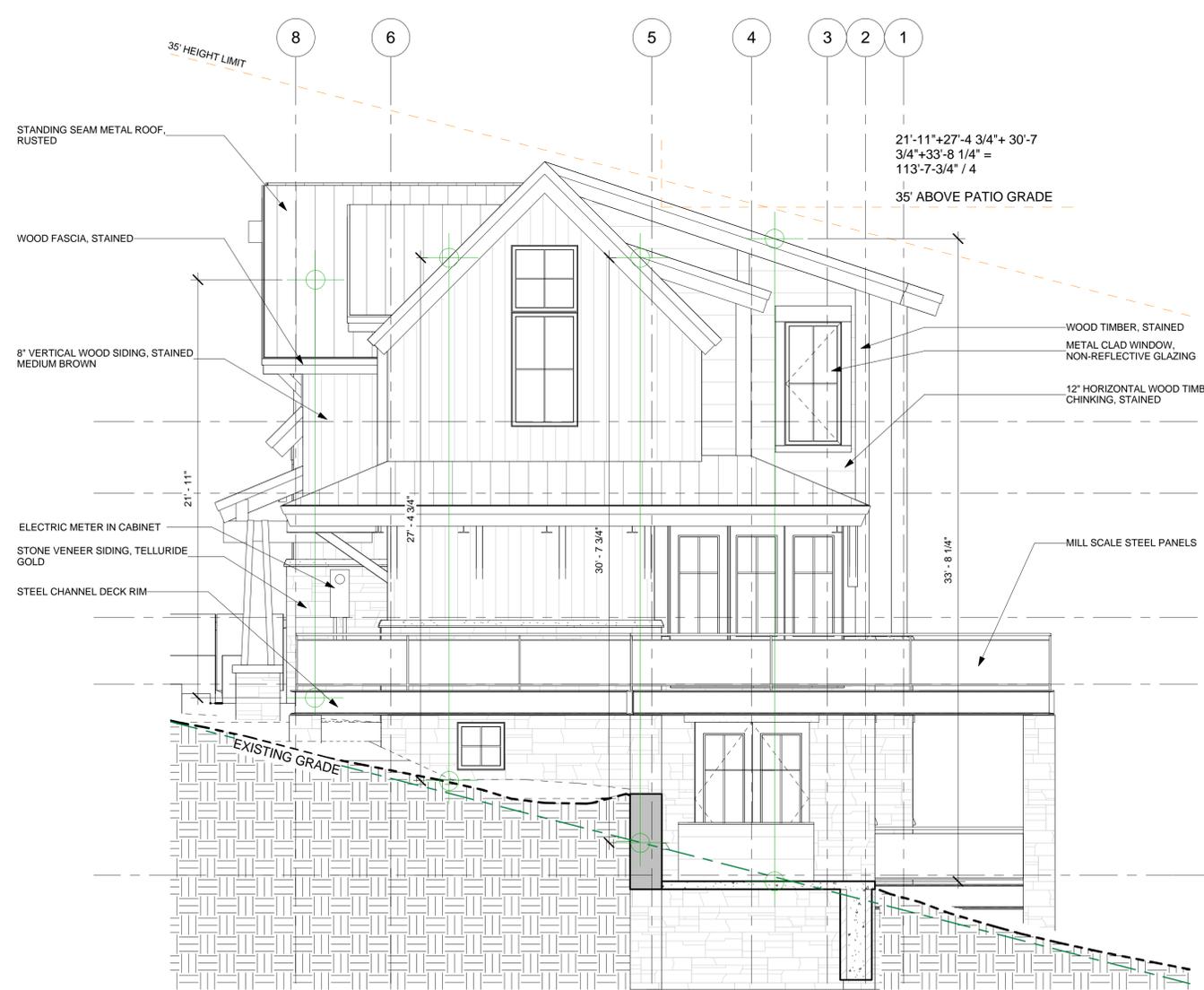
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1-25-21		DRB FINAL
11-30-20		DRB PACKAGE
11-7-20		35' HEIGHT LIMIT
10-6-20		DRB PACKAGE
9-21-20		DRB DRAFT 1
9-9-20		SD: PROGRESS SET
7-29-20		SD: SITE, GRADE
5-28-20		DESIGN DRAWINGS

PROJECT NAME:
LOT BC513E

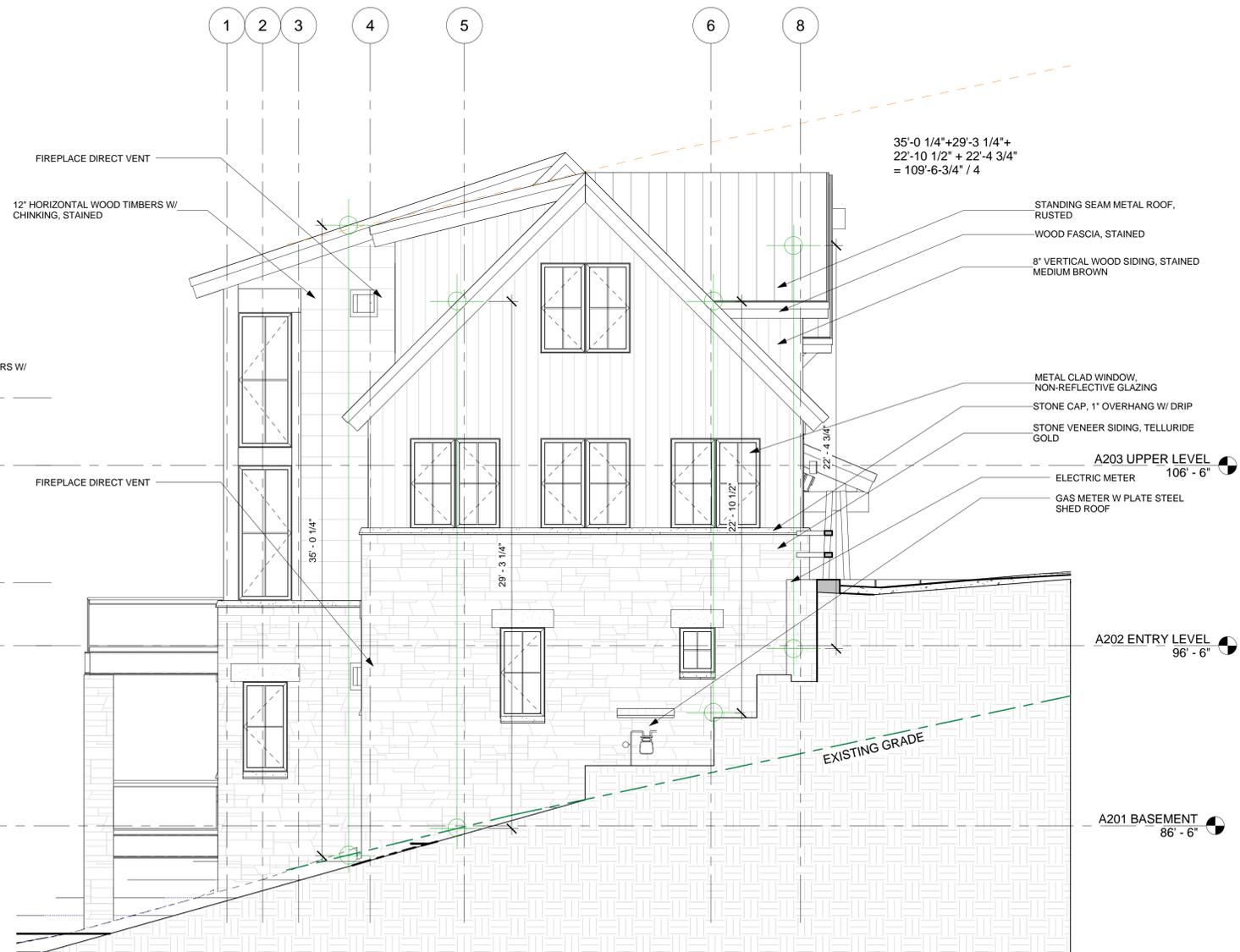
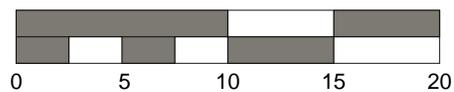
MOUNTAIN VILLAGE, COLORADO 81435
SHEET DESCRIPTION:
ELEVATIONS

SHEET NUMBER:
A301

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
C. JOE JARA



① 3 EAST ELEVATION
1/4" = 1'-0"



② 4 WEST ELEVATION
1/4" = 1'-0"

AVERAGE BUILDING HEIGHT CALC:
 (6) SOUTH 122'-10"
 (4) EAST 113'-7 3/4"
 (5) NORTH 167'-7"
 (4) WEST 109'-6 3/4"
 513'-7 1/2'/19= 27'-0 1/2" (30' max)



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2-19-21	DRB CONDITIONS
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9-21-20	DRB DRAFT 1
9-9-20	SD: PROGRESS SET
7-29-20	SD: SITE, GRADE
5-28-20	DESIGN DRAWINGS

PROJECT NAME:
LOT BC513E
 MOUNTAIN VILLAGE, COLORADO 81435
 SHEET DESCRIPTION:
ELEVATIONS
 SHEET NUMBER:
A302

MARK	REV. DATE	DESCRIPTION

WEST ELEVATION 2
 STONE = 540 SF
 WOOD = 420 SF
 GLAZING = 95 SF
 ACCENT = 45 SF



6 MATERIAL CALC WEST 2
 1/8" = 1'-0"

WEST ELEVATION
 STONE = 500 SF
 WOOD = 295 SF
 GLAZING = 120 SF
 ACCENT = 64 SF



4 MATERIAL CALC 4 WEST ELEVATION
 1/8" = 1'-0"

NORTH ELEVATION
 STONE = 1264 SF
 WOOD = 542 SF
 GLAZING = 630 SF
 ACCENT = 446 SF



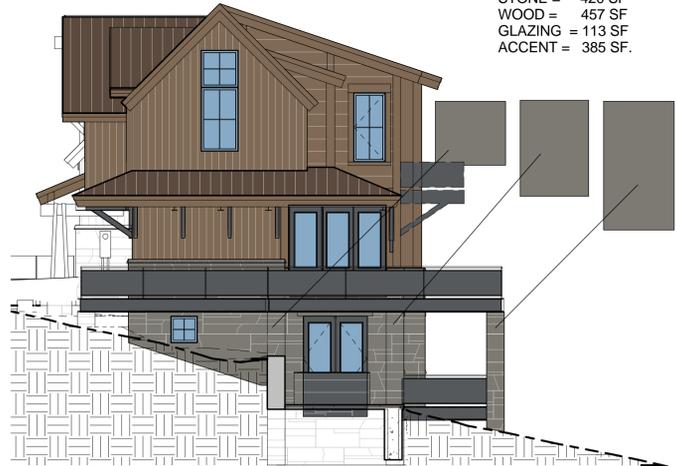
2 MATERIAL CALC 2 NORTH ELEVATION
 1/8" = 1'-0"

EAST ELEVATION 2
 STONE = 105 SF
 WOOD = 140 SF
 GLAZING = 0 SF
 ACCENT = 0 SF



5 MATERIAL CALC EAST 2
 1/8" = 1'-0"

EAST ELEVATION
 STONE = 420 SF
 WOOD = 457 SF
 GLAZING = 113 SF
 ACCENT = 385 SF



3 MATERIAL CALC 3 EAST ELEVATION
 1/8" = 1'-0"

SOUTH ELEVATION
 STONE = 215 SF
 WOOD = 700 SF
 GLAZING = 200 SF
 ACCENT = 230 SF



1 MATERIAL CALC 1 SOUTH ELEVATION
 1/8" = 1'-0"

BC513E- Material Calculations								
Elevation	South	East 1	East 2	North	West 1	West 2	Total	Percent
Stone	215	420	105	1264	500	540	3044	38.19%
Wood	700	457	140	542	295	420	2554	32.04%
Fenestration	200	113	0	630	120	95	1158	14.53%
Accent	230	385	45	446	64	45	1215	15.24%
Total	1345	1375	290	2882	979	1100	7971	



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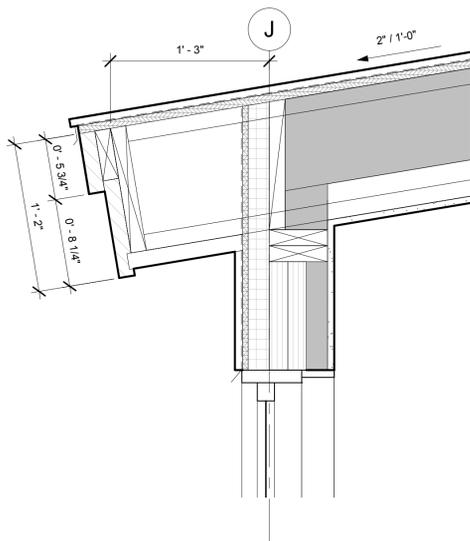
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 FAX: 970.728.9754
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2-19-21 DRB CONDITIONS
 1-25-21 DRB FINAL
 11-30-20 DRB PACKAGE
 11-7-20 35' HEIGHT LIMIT
 10-6-20 DRB PACKAGE
 9-21-20 DRB DRAFT 1
 9-9-20 SD: PROGRESS SET
 7-29-20 SD: SITE, GRADE
 5-28-20 DESIGN DRAWINGS

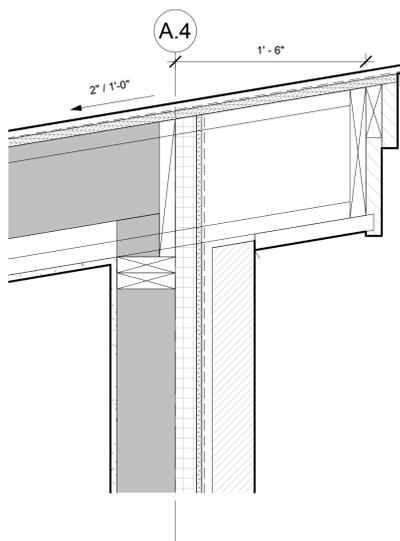
PROJECT NAME: LOT BC513E
 PROJECT MANAGER: MOUNTAIN VILLAGE, COLORADO 81435
 DRAWN BY: JACK WESSON
 REVIEWED BY: JACK WESSON
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PROJECT NAME: LOT BC513E
 MOUNTAIN VILLAGE, COLORADO 81435
 SHEET DESCRIPTION: MATERIAL CALCS

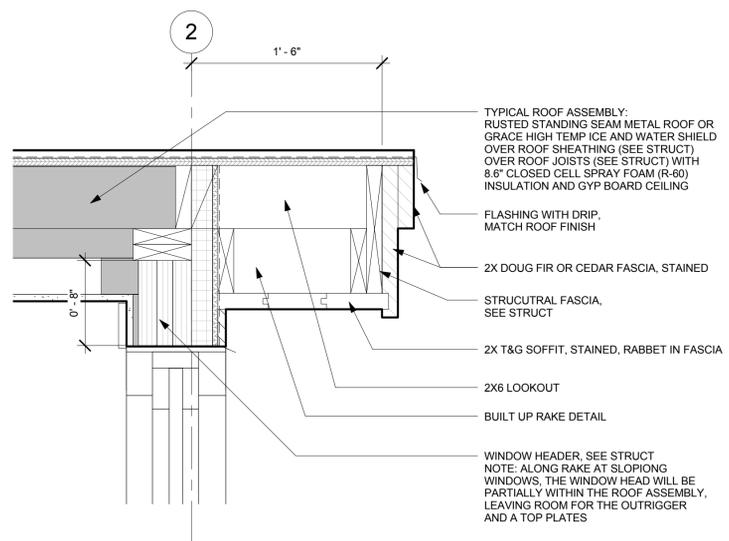
SHEET NUMBER: A310



3 DETAIL- ROOF EAVE LOWER
1 1/2" = 1'-0"



2 DETAIL- ROOF EAVE UPPER
1 1/2" = 1'-0"



1 DETAIL- ROOF RAKE
1 1/2" = 1'-0"

- TYPICAL ROOF ASSEMBLY:
RUSTED STANDING SEAM METAL ROOF OR
GRACE HIGH TEMP ICE AND WATER SHIELD
OVER ROOF SHEATHING (SEE STRUCT)
OVER ROOF JOISTS (SEE STRUCT) WITH
8.6" CLOSED CELL SPRAY FOAM (R-60)
INSULATION AND GYP BOARD CEILING
- FLASHING WITH DRIP,
MATCH ROOF FINISH
- 2X DOUG FIR OR CEDAR FASCIA, STAINED
- STRUCTURAL FASCIA,
SEE STRUCT
- 2X T&G SOFFIT, STAINED, RABBET IN FASCIA
- 2X6 LOOKOUT
- BUILT UP RAKE DETAIL
- WINDOW HEADER. SEE STRUCT
NOTE: ALONG RAKE AT SLOPING
WINDOWS, THE WINDOW HEAD WILL BE
PARTIALLY WITHIN THE ROOF ASSEMBLY,
LEAVING ROOM FOR THE OUTRIGGER
AND A TOP PLATES

TYPICAL ROOF DETAILS



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jwesson@jwai.com
www.jackwessonarchitects.com

NOT FOR CONSTRUCTION

MARK	REV	DATE	DESCRIPTION

PROJECT NAME: BC 105
MOUNTAIN VILLAGE
COLORADO 81435

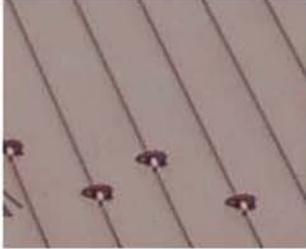
SHEET DESCRIPTION:
ROOF DETAILS

SHEET NUMBER:
A600

MARK	REV	DATE	DESCRIPTION

PROJECT NAME:
PROJECT
MANAGER:
DRAWN BY:
REVIEWED BY:
2006 JWA

LOT BC513E, MOUNTAIN VILLAGE, CO MATERIAL SAMPLE PHOTOS



RUSTED STANDING SEAM METAL ROOF



8" VERTICAL BARN WOOD SIDING , MEDIUM BROWN



OIL RUBBED METAL PANELS



STONE VENEER

SQUARE Exterior Sconces

WS-W38608 / WS-W38610

MODERN FORMS

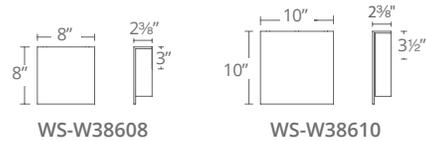


Fixture Type: _____

Catalog Number: _____

Project: _____

Location: _____



PRODUCT DESCRIPTION

Four equal sides and a stream of light. Square artfully provides geometry to wall surfaces in the daytime when mounted in multiples while providing safe illumination of pathways and dramatic visual intrigue in the evening. Perfect for wall grazing surfaces.

SPECIFICATIONS

Construction: Aluminum

Light Source: High output LED

Finish: Black (BK), Bronze (BZ), Titanium (TT)

Standards: ETL & cETL Wet Location listed, CEC Title 24 Compliant, ADA Compliant, IP65, Dark Sky friendly

FEATURES

- Weather-resistant powder coat
- No transformer or driver needed
- Dimmer: ELV
- Rated Life: 50,000 hours
- Color temp: 3000K
- 277V options available
- CRI: 90

ORDER NUMBER

Model	Width	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W38608	8"	11W	120V	391	373	BK <i>Black</i>
WS-W38610	10"	18W	120V	700	630	BZ <i>Bronze</i>
						TT <i>Titanium</i>

Example: WS-W38608-BZ

For 277V special order, add an "F" before the finish: WS-W38608F-BZ

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Fax (800) 526.2585

Headquarters/Eastern Distribution Center
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Port Washington, NY 11050

Central Distribution Center
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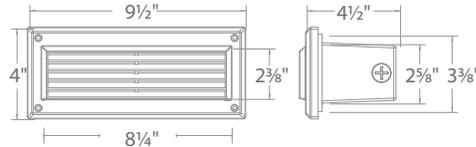
Fixture Type:

E: EXT. STEP LIGHT

Catalog Number:

Project:

Location:



PRODUCT DESCRIPTION

Die cast aluminum factory sealed housings with patent pending design for a water and dust proofing. IP66 rated outdoor brick light

FEATURES

- IP66 and ETL & cETL Wet Location Listed
- ADA Compliant
- Factory-Sealed LED Light Engine
- Die-Cast Aluminum Construction (K-Alloy)
- 120V Direct Wire - No Driver Needed
- Glare controlling die casted aluminum louver.

SPECIFICATIONS

Construction: Die-cast aluminum (K-Alloy)

Power: Line Voltage input (120V), 50/60Hz

CRI: 90

Dimming: 100% - 10% with Electronic Low Voltage (ELV) dimmer

Finish: Architectural Bronze, Black, Graphite and White

Standards: IP66, ADA, ETL & cETL Wet Location Listed

Rated Life: 80,000 hours

Operating Temperature: -40°C to 50°C (-40°F to 122°F)

ORDER NUMBER

		Power	Max Delivered Lumens	Color Temp	Finish
WL-5205-30	Louwer	5.5W	45	3000K	ABZ Architectural Bronze ABK Architectural Black AGH Architectural Graphite AWT Architectural White

Example: **WL-5205-30-AWT**

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Phone (516) 515.5000 • Fax (516) 515.5050

Western Distribution Center
1750 Archibald Avenue • Ontario, CA 91760
Phone (800) 526.2588 • Fax (800) 526.2585

John A. Miller

From: Jim Boeckel <jim@telluridefire.com>
Sent: Wednesday, December 23, 2020 10:33 AM
To: John A. Miller
Subject: Re: Class 3 Referral - New SF Home @ Lot BC513E Lawson Overlook

John,

After review of the plans for this project I (we) have the following comments;

1. Residence shall have a fire sprinkler system installed due to being in excess of 3600 sqft.
2. Fire sprinkler system shall be monitored
3. Plans for the address monument need to be submitted for review and approval.

If you have any questions please contact me.

On Tue, Dec 22, 2020 at 4:12 PM John A. Miller <JohnMiller@mtnvillage.org> wrote:

Afternoon everyone,

Wanted to send over this referral for Lot 513E at Lawson Overlook – new single family home approximately 4,500 sq ft.

Loebe - The meadows trail has been preserved but we will need to coordinate potential closures during construction in the future if the design is approved.

Here is the link: https://townofmountainvillage.com/site/assets/files/34319/packet_for_website_updated.pdf

Sorry for the delay I had to get some plans updated.

Thanks all,

J

John A Miller III, CFM

Senior Planner

Planning & Development Services



AGENDA ITEM 8
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: Amy Ward, Planner
FOR: Design Review Board Public Hearing; March 4, 2021
DATE: February 23, 2021
RE: Staff Memo – Final Architecture and Site Review (FAR) 729R-5, 91 Pennington Place

APPLICATION OVERVIEW: New Single-Family Home on Lot 729R-5

PROJECT GEOGRAPHY

Legal Description: LOT 729R-5, MOUNTAIN VILLAGE, ACCORDING TO TO THE PLAT OF LOTS 726R-1, 729R-1, 729R-2, 729R-3, 729R-4, 729R-5, 729R-6 & 729R-7 REPLAT, REZONE AND DENSITY TRANSFER, A REPLAT OF LOTS 726R, 729R AND TRACT 727R, MOUNTAIN VILLAGE, COLORADO, RECORDED JANUARY 23, 2001 IN PLAT BOOK 1 AT PAGE 2850, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 91 Pennington Place
Applicant/Agent: Peter Lundeen, FUSE Architecture & Interiors
Owner: John & Lisa Baccich
Zoning: Single-Family
Existing Use: Vacant Lot
Proposed Use: Single-Family
Lot Size: .769 acres
Adjacent Land Uses:

- **North:** Single Family
- **South:** Single-Family
- **East:** Single-Family
- **West:** Open Space

ATTACHMENTS

Exhibit A: Architectural Plan Set
Exhibit B: Staff/Public Comment

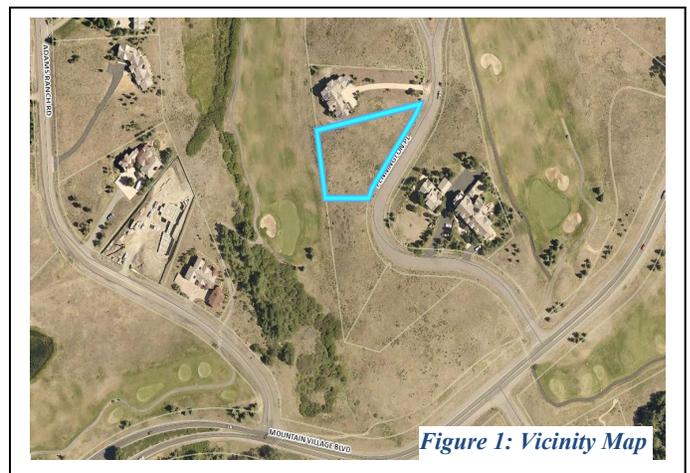


Figure 1: Vicinity Map

Case Summary: Peter Lundeen of FUSE Architecture & Interior, Applicant for Lot 729R-5 is requesting Design Review Board (DRB) approval of a Final Architectural Review

(FAR) Application for a new single-family home on Lot 729R-5, 91 Pennington Place. The Lot is approximately .769 acres and is zoned Single-Family. The overall square footage of the home is approximately 4,543 gross square feet and provides 2 interior parking spaces within the proposed garage and 2 exterior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) / 40' (gable) Maximum	34'3"
Maximum Avg. Building Height	30' (shed) / 35' (gable) Maximum	24.43'
Maximum Lot Coverage	40% Maximum (s.f.)	15.9%
General Easement Setbacks	No encroachment	Parking*
Roof Pitch		
Primary		2:12
Secondary		3:12
Exterior Material		
Stone	35% minimum	36.15%
Windows/Doors	40% maximum	21.58%
Parking	2 enclosed / 2 exterior	2/2*

Design Variations:

1. ***Driveway over 8%***

Design Review Board Specific Approvals:

1. ***Partial Metal Fascia***
2. ***Parking in the general easement****
3. ***Board form concrete***

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates Shed roof forms which are limited to 35 feet. The maximum average height must be at or below 30 feet for shed roof forms. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Average height is 24' - 4" which is under the max average height of 35'. The max height is 34' - 4 1/8" which is just under the allowable max height of 35'.

17.3.14: General Easement Setbacks

Lot 729R-5 is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access,

Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway and Address Monument: The driveway crosses the GE generally perpendicularly and minimizes disturbance. The address monument is located within the GE and will require a GE encroachment agreement.*
- *Utilities: Gas, Water, Cable, Electric and Phone are already located within Pennington Place and will require crossing the GE to the home. Within the Pennington Place right of way there is also sewer connections, but due to topography, the applicant is proposing to access the sewer main to the West of the property on OS-28. This connection may require that the applicant work with Telluride Ski and Golf in order to obtain access if there is not currently legal access for this connection. In addition, the water connection indicated is in the GE in front of the adjoining lot.*

Staff: The proposal also includes a GE encroachment that does not fall into the aforementioned category and will require DRB approval. A portion of one exterior parking space is in the SE General Easement. The CDC allows for parking to be located within the GE in specific cases where the DRB waives the General Easement Setback based on criteria listed in the CDC.

The applicant has indicated that the parking area within the GE has been designed as such in order to limit grading and disturbances in order to preserve natural features on the lot such as wetlands and steep slopes.

At the Initial Hearing, the DRB expressed general agreement that the parking encroachment is appropriate given the restrictions of the lot due to the delineated wetland areas.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The applicant has designed the home in a way that utilizes the topography of the site, allowing the home to step down the lot gently. The design of the home is reminiscent of a mining structure and appears to fit well with the overall regional influences and vernacular of the Mountain Village.

The applicant has updated his design to add steel plate siding as a material where the wood siding was originally proposed to meet the patio/ground areas. This grounds the home and better protects the siding material from snow and water damage.

Another area where the applicant has made changes to better ground the home is at the deck posts. The posts have been enlarged from 6" x 6" to 8" x 8" and the concrete bases were enlarged from 12" x 12" to 18" x 18". They are proposing board form concrete as a material. Staff feels that the larger scale of the deck posts helps ground the deck to the site better. However, staff does question whether the use of board form concrete as a material for the bases fits within the overall materials palette. If the board form concrete were utilized in other areas of the home, it would tie in to the design theme, but with just the deck bases in this material it seems a bit at odds with the rest of the design. Viewed from afar, staff questions whether board form concrete will appear any different than the originally proposed concrete bases. Utilizing stone or steel panel siding might be an alternative that better grounds the design.

The applicant has designed the home with multiple roof planes breaking up each elevation. Additionally, the proposed material palette for the home utilizes a stone, steel and stained wood mix similar to what we have seen in many other recent applications. The horizontal stone arrangements and square metal panels appear to compliment the vertical wood panelling in a way that not only contrasts but provides grounding. Overall it appears that the design is visually appealing and would fit within the existing Mountain Village Design Theme.

Responding to comments from IASR, the applicant has also made some changes to the garage design and has re-designed to garage doors to include more detail to create visual interest. The horizontal wood siding at the corner has been replaced with metal plate siding. Additionally, they are proposing a landscape screen of trees which will minimize the view and overall massing of the garage from the street.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Limitations imposed on the site due to the existence of wetlands reduces the siting possibilities for the proposed home, but the applicant has made a genuine attempt to blend the home into the existing landforms by stepping it down the site along a slight ridgeline that runs from the southeast to the northwest corner of the lot. There is no significant existing vegetation on the site aside from native grass. The proposed landscaping will make a nice transition from the new home onto the undisturbed areas of the lot as well as provide some screening of the home from the road.

17.5.6: Building Design

Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. The building form follows the natural slope of the lot. The low garage form steps up to the home's highest point and the rest of the structure gradually steps down from there. Overall, the home looks fairly balanced and grounded, and the addition of steel plate siding where the grade meets any wood siding helps to cement this groundedness as well as provide some protection from potential snow damage as mentioned previously.

Another element to the design that varies from the rest of the home and therefore stands out is the 3 story glass atrium on the northeast elevation. The applicant is still well within the guidelines for allowable fenestration, but staff wanted to point out this feature for DRB to discuss if necessary.

Based on the plans provided, the applicant is meeting all materials requirements for Stone and Glazing. Overall, the contrast of the wood, steel and stone appears to complement the design. DRB needs to decide whether the proposed board from concrete at the deck post is an acceptable material.

The applicant has included a complete window and door schedule. The recess depth of all doors and windows in stone areas meets the CDC requirements. Windows are black clad aluminum. The proposed roofing material is a traditional charcoal grey standing seam product. The fascia of the home will be half metal and half wood stained to match the siding. According to the CDC, the use of metal fascia is a specific approval and the DRB will need to grant this approval as part of this application. The CDC allows for black and grey standing seam roofing materials and this appears to meet that requirement.

17.5.7: Grading and Drainage Design

Staff: The applicant has attempted to reduce cut and fill on the site by placing the home close to Pennington Place in order to utilize natural grade as much as possible for the autocourt. There will be some retainage necessary on the SW side of the drive, which is the side furthest from the wetlands, reducing its potential impact. The drainage design creates positive drainage away from the home. For most of the lot they have left the natural grade of the site intact and all proposed grade changes meet the CDC requirements.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family developments to provide two interior and two exterior parking spaces. The applicant has shown a total of 2 interior spaces and 2 exterior spaces that meet the required sizes of 9' x 18'. The parking space on the SE side of the garage is partially in the 16' GE. The northeast corner of the property has two wetland areas. Allowing for a buffer between the home and the wetlands pushes the home site onto the SW portion of the lot. The SE corner of the garage is close to the 16' GE, and a portion of one of the exterior parking spaces encroaches into the GE slightly (19%). Members of DRB will have to decide whether the restrictions of the site warrant this encroachment. Otherwise, the parking regulations have been met, there is sufficient back out space from the garage and each parking space is accessible without having to move another car.

17.5.9: Landscaping Regulations

*The applicant has provided a landscaping plan with sufficient detail to include irrigation notes, revegetation notes, and other general requirements. There is a varied mix of trees including spruce, aspen, maple, birch and dogwood. Applicant shall verify that the birch species planted is *Betula papyrifera*, paper birch, which has been naturalized to the rocky mountains, and that it can survive in our climate zone. Additionally, before building permit application the applicant shall verify that all plantings meet the size regulations in the landscape code.*

The proposed location for the new plantings will do a good job of screening both the garage and the autocourt from Pennington Place. The plantings on the southeast corner of the lot are within the general easement and irrigation is indicated, the revocable encroachment agreement will have to include the irrigation equipment.

The applicant has submitted a fire mitigation plan that meets the Forestry provisions of the CDC.

17.5.11: Utilities

Staff: Utilities are currently located within the Pennington Place roadway and OS 28. They will only require connections to the home. The applicant shall work with the Public Works Director and TSG (for sewer) before building permit to determine the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research.

17.5.12: Lighting Regulations

Staff: The applicant has provided an exterior lighting plan, with fixture specifications and a photometric study. The specified sconces at the front door (LT 01) don't appear to be full cut off. It should be noted that fixture LT 07, the can lighting on the Living Deck, Kitchen Deck and Covered Patio, can reach a max luminosity of 925 which is above the max lumens of 850 allowed by code. Currently, these fixtures are shown to be on a dimmer switch but the DRB should determine if these fixtures are appropriate. LT 05 is LED strip lighting proposed at both the front entry covered porch and recessed into the garage door that appears to be somewhat architectural as it washes the porch roof and garage door surfaces. DRB will need to determine the appropriateness of this lighting and if it does not find architectural lighting appropriate, then the applicant should revise on the lighting plan. If DRB does find this lighting appropriate, then a specific approval should be added to the motion.

17.5.13: Sign Regulations

Staff: The address marker is located in the GE on the north side of the driveway. It uses materials that match the home, and the indicated heights and lettering meet CDC guidelines. Lighting is indicated as required per the CDC. Numbers will be reflective and presented on a grey metal background.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: A more detailed plan has been provided. All of the planting proposed is within Zone 1, but the zone 1 boundary has been pushed out from the treeline as required. Generally, lots in this area have been able to waive some requirements of the provisions in order to provide landscaping, recognizing that the area is at lower risk than other higher fuel areas in the Mountain Village.

Steep Slopes: The building site has a steep slope on the south end of the lot. The retainage for the autocourt overlaps this area slightly. There is another small area of steep slope just south of the wetlands along the road. In order to mitigate slope impacts the applicant has designed the project to retain portions of this steep slope area.

Wetlands: There are two wetlands on the northeast corner of the property. The wetlands need to be re-delineated, of which the applicant is aware. This re-delineation can't happen until after snowmelt in the spring. There is the potential that some redesign might need to occur if there is a large change in the wetland delineation. Additionally, the utilities are located close to one of these wetlands and it is possible that horizontal boring might be required to access these utilities per the delineation.

17.6.6: Roads and Driveway Standards

Staff: The driveway as shown meets the CDC standards with 12 feet width and 2-foot shoulders on each side. The maximum grade of the driveway appears to be approximately 12% and overall, it ranges from 5-12% grade. Because of the 12% grade, the home will be required to be sprinkled. A driveway profile has been added to clarify the overall grade.

The retaining walls on the south side of the autocourt have been altered to meet the requirements of the CDC with no retainage walls over 5.'

A portion of the driveway is shown at 12%, the CDC requires specific approval by the DRB for grades over 8%.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include fireplaces and that they are to run on gas.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan shows required material staging, dumpster, bear-proof trash receptacles, parking and a port a toilet. The construction fencing is generally out of the GE, except for on the south and east side of the lot. Due to site constraints it would be difficult not to encroach in the GE with construction disturbance, so the applicant shall be required to revegetate any disturbance to the GE to pre-construction standards. Also, all of the parking shown on the CMP will not be available until the retainage is completed, therefore the applicant will likely have to apply for roadside parking until sufficient parking is available on the lot. No crane is indicated on the CMP, if it is determined that one is required, the applicant shall work with town staff to make sure the crane swing doesn't impede the roadway.

Additionally, the wetlands on the NE corner of the property warrant a comprehensive protection strategy, drainage plans indicate silt fence and sediment control logs, however it will be important to make sure that the proposed controls offer enough protection. The addition of more sediment control logs is advised.

Staff Recommendation: Staff recommends the DRB approve the Final Architectural Review for Lot 729R-5, 91 Pennington Place based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architectural Review for a new single-family home located at Lot 729R-5, based on the evidence provided within the Staff Report of record dated February 23, 2021, with the following Design Variations and Specific Approvals:

Design Variations:

- 1) Driveway Grade over 8%;

Design Board Specific Approvals:

- 1) Metal Fascia;
- 2) Parking in the General Easement;
- 3) Board form concrete;

And, with the following conditions:

- 1) Prior to the issuance of a building permit, the applicant will resubmit a landscape plan to staff demonstrating that the species and overall plant sizes meet the requirements of the CDC.
- 2) Prior to the issuance of a building permit, the applicant will revise the lighting plan for review by staff and one DRB member with all lighting fixtures compliant with the CDC Lighting Regulations.
- 3) Prior to the issuance of a building permit, a new wetlands delineation is required.
- 4) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Prior to the issuance of a building permit, the applicant shall obtain an easement from TSG to access the sewer line to the west of the home, or submit a revised utility plan to the public works director that provides access from Pennington Place.
- 6) Prior to issuance of CO, all disturbances in the GE caused by construction will be re-graded and re-vegetated to pre-construction standards.
- 7) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 8) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 10) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 11) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

/aw

GENERAL NOTES

- THE CONTRACT DOCUMENTS INCLUDE THE CONTRACTUAL AGREEMENT, THE DRAWINGS, & THE PROJECT MANUAL (SPECIFICATIONS, SUPPLEMENTAL DRAWINGS, ADDENDA & PRODUCT CUT SHEETS).
- ALL REQUIRED WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE CONTRACTOR INCLUDE THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS; THEY SHALL BE ONE AND THE SAME.
- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS, & THE CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE CONFORMANCE OF ALL WORK TO ANY AND ALL APPLICABLE BUILDING CODES (INCLUDING PLUMBING AND ELECTRICAL). ANY DISCREPANCIES OR NONCONFORMING ITEMS FOUND IN THE DRAWINGS MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- IMMEDIATELY FOLLOWING THE AWARDING OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE. ANY AND ALL CHANGES OR SUBMITTALS AFFECTING CONSTRUCTION COST OR SCHEDULE SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. ANY DISCREPANCIES OR NONCONFORMING ITEMS FOUND IN THE DRAWINGS MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING TO THE ARCHITECT ALL SHOP DRAWINGS AND FINISH MATERIAL SAMPLES ALLOWING ADEQUATE TIME FOR REVIEW, APPROVAL OR CORRECTIONS SO AS NOT TO ADVERSELY AFFECT THE CONSTRUCTION SCHEDULE.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PERFORMED BY THE VARIOUS SUB-CONTRACTORS, AND SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, WALLS AND CEILINGS WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL & ELECTRICAL DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT, THE PROTECTION OF NEIGHBORING PROPERTIES, AND THE COMPLIANCE TO ALL O.S.H.A. REQUIREMENTS.
- THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS. THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOBSITE.
- THE DRAWINGS SHOULD NOT BE SCALED. IF A DIMENSION CAN'T BE DETERMINED THE CONTRACTOR SHALL PROMPTLY CONTACT THE ARCHITECT FOR VERIFICATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT INSTALLATION METHODS CONFORM TO ALL BUILDING CODE REQUIREMENTS. THE MATERIALS SPECIFIED ARE INTENDED TO MEET CODE REQUIREMENTS. ANY DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND CODE REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE SPECIFIED WORK.
- ELECTRICAL SERVICE, WIRING, ETC. SHALL COMPLY WITH APPLICABLE ELECTRICAL CODES.
- PLUMBING SHALL COMPLY WITH APPLICABLE PLUMBING CODES.
- ALL MATERIALS PROVIDED SHALL CONFORM TO ALL LOCAL, CITY AND/OR COUNTY FIRE REGULATIONS, CERTIFICATES, OR APPROVED FIRE RETARDANT PROCESSING FLAME SPREAD RATINGS, ETC. SHALL BE OBTAINED WITHOUT SPECIFIC REQUEST AND SUBMITTED TO THE ARCHITECT.
- THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY. WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. WHEN A CONFLICT OCCURS, THE SPECIFICATIONS SHALL HAVE PRECEDENCE.
- NO SUBSTITUTIONS OF SPECIFIED MATERIALS SHALL BE PERMITTED WITHOUT FIRST SUBMITTING SPECIFICATIONS, SAMPLES, AND COST IMPACT FOR ARCHITECT'S APPROVAL.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES ON THE PROJECT. ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- AT THE TIME OF BID SUBMITTAL, THE CONTRACTOR SHALL ADVISE THE ARCHITECT (IN WRITING) OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE, OUT OF THE BUDGET OR WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ROUGH PLUMBING AND FINAL HOOK-UP FOR ALL SPECIFIED FIXTURES AND APPLIANCES, AND SHALL SUPPLY ALL SUCH FIXTURES AND APPLIANCES, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL NECESSARY ACCESS PANELS (IN PARTITIONS, FLOORS, OR CEILINGS) AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED FLUSH WITH THE SURFACE IN WHICH THEY ARE INSTALLED WITH NO EXPOSED TRIM.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL BLOCKING AND SUPPORTS IN PARTITIONS AND CEILINGS AS REQUIRED FOR INSTALLATION OF SPECIFIED EQUIPMENT, ACCESSORIES, CABINETS, FINISH MATERIALS, AND FIRE BLOCKING (SEE BELOW).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY UTILITIES (POWER, LIGHTING, WATER) TO THE JOB SITE FOR USE BY ALL CONSTRUCTION TRADES, INCLUDING THOSE NOT A SUBCONTRACTOR TO THE GENERAL CONTRACTOR. CONTRACTOR TO PURCHASE WIND OR SOLAR RENEWABLE POWER SOURCES WHEN AVAILABLE.
- FOR WALLS SEPARATING GARAGE AND LIVING SPACE, PROVIDE (1) LAYER 5/8" TYPE 'X' GIB ON EACH SIDE OF STUDS. FOR CEILING/FLOORS SEPARATING GARAGE AND LIVING SPACE, PROVIDE (2) LAYERS 5/8" TYPE 'X' GIB AT CEILING. FOR CEILING OF STORAGE AREA BELOW STAIRS, PROVIDE (2) LAYERS 5/8" TYPE 'X' GIB AT CEILING.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL MATERIAL TAKE-OFFS DONE BY SUB-CONTRACTORS.

GENERAL FIREBLOCKING NOTES

- FIRE BLOCKS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: (CONTRACTOR SHALL VERIFY WITH CURRENT CODES)
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT CEILING AND FLOOR LEVELS.
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS THAT AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS.
 - AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.



VICINITY MAP



GRAPHIC SYMBOLS LEGEND

DRAWING NO.	BUILDING SECTION TAG	WINDOW MARK	DETAIL SHEET
SHEET NO.	INTERIOR ELEVATION TAG	DOOR MARK	DETAIL REFERENCE OR TAG
TO SUBFLOOR	REVISION AND A.S.I. NUMBER	ELEVATION DATUM	ROOM NUMBER
CMU CUT IN PLAN/SECTION	STONE CUT IN PLAN/SECTION	CONCRETE	MORTAR/TEXTURED BED

PROJECT INFORMATION

LEGAL DESCRIPTION:
 91 PENNINGTON PLACE
 LOT 729 R-5
 MOUNTAIN VILLAGE, CO 81435

BLDG. OCCUPANCY: RESIDENTIAL = R-3
CONSTRUCTION: VB

DESCRIPTION:
 3 STORY SINGLE FAMILY RESIDENCE

MAIN LEVEL = 1,509.0 SF
 LOWER LEVEL = 1,723.7 SF (143.3 sf mech incl.)
 UPPER LEVEL = 661.2 SF
 TOTAL LIVING = 3,893.9 SF + 649 SF GARAGE = 4,542.9 SF GROSS BUILDING

DECKS = 660 SF
 PATIOS = 851 SF
 DECKS = 222 SF

SHEET INDEX

A1-0	TITLE SHEET
A2-1	SITE SURVEY WITH SLOPES
A2-2	SITE PLAN
A2-3	FIRE MITIGATION PLAN
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LS-1	LANDSCAPE PLAN
LS-2	IRRIGATION PLAN
1 of 3	DRB GRADING PLAN
2 of 3	DRB DRAINAGE & EROSION CONTROL PLAN
3 of 3	DRB UTILITY PLAN
A3-1	MAIN LEVEL FLOOR PLAN
A3-2	LOWER LEVEL FLOOR PLAN
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A3-4	ROOF PLAN
A4-1,2,3	EXTERIOR ELEVATIONS
A4-4,5	EXTERIOR ELEVATIONS - MAX AVE. HT. CALCS
A4-6,7,8	EXTERIOR ELEVATIONS - MATERIAL CALCS
A4-9,10	EXTERIOR 3D MODEL VIEWS
A10-1	LOW LEV EXTERIOR ELECT/LIGHT PLAN
A10-2	MAIN LEV EXTERIOR ELECT/LIGHT PLAN
A10-3	UP LEV EXTERIOR ELECT/LIGHT PLAN
A10-4	LOW LEV LIGHT PHOTOMETRIC PLAN
A10-5	MAIN LEV LIGHT PHOTOMETRIC PLAN
A10-6	UP LEV LIGHT PHOTOMETRIC PLAN

ISSUE DATES

REVIEW SET	12-22-2020
REVIEW SET	2-16-2021

PROJECT TEAM

SURVEYOR	CIVIL ENGINEER	MECHANICAL ENGINEER	STRUCTURAL ENGINEER	GENERAL CONTRACTOR
SAN JUAN SURVEYING 1600 SOCIETY DRIVE TELLURIDE, CO 81435	ALPINE LAND CONSULTING P.O. BOX 234 RICO, CO 81332	T.B.D.	T.B.D.	ALLISON CONSTRUCTION 1075 SHERMAN ST. #20 P.O. BOX 498 RIDGWAY, CO 81432
(970) 728-1128	(970) 708-0326	-	-	(970) 626-5143 OFFICE

FOR REVIEW ONLY NOT FOR CONSTRUCTION

DATE: FEBRUARY 16, 2021
 ISSUED FOR: REVIEW SET

SHEET NUMBER: A1-0
 TITLESHEET

PROJECT: #2008

LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

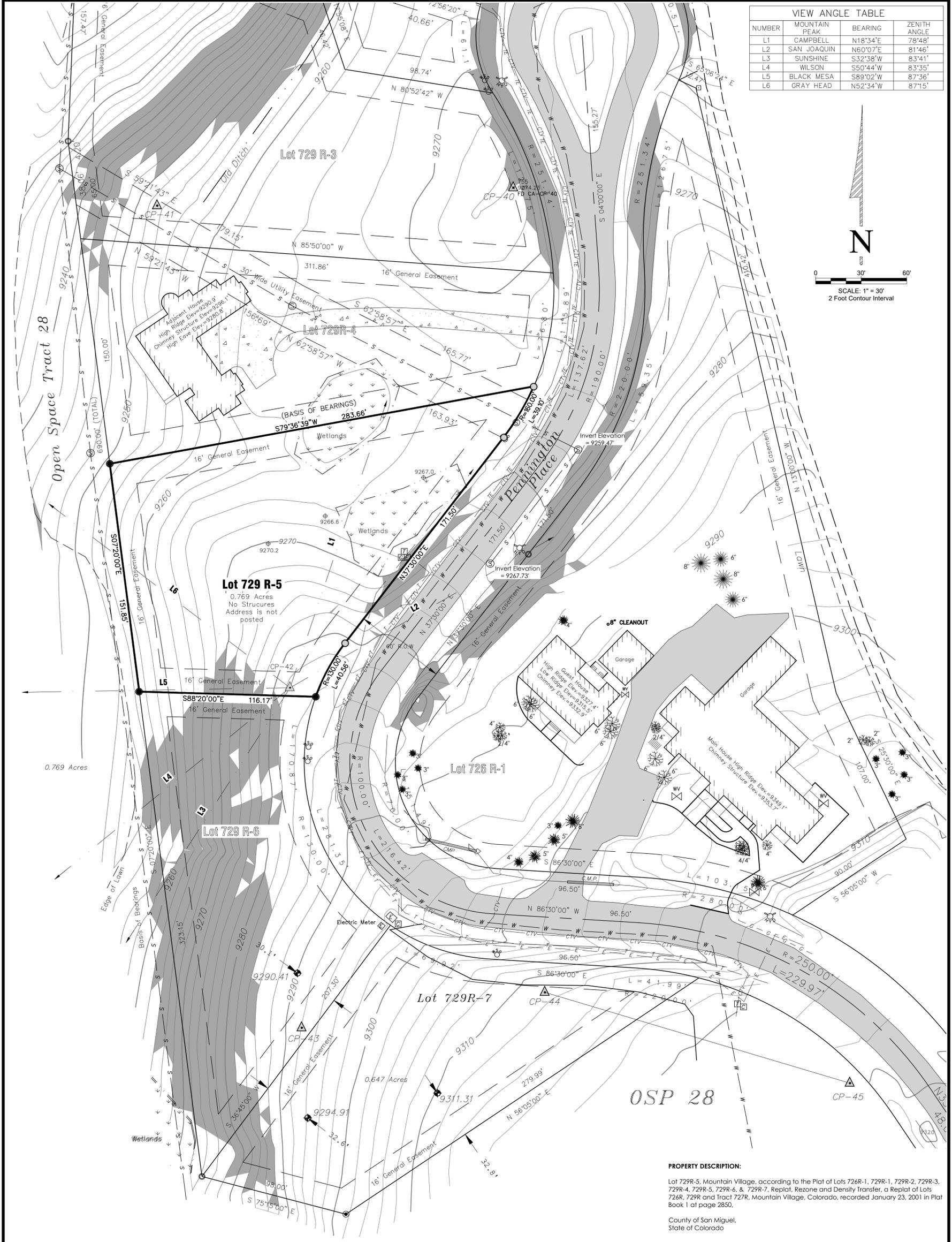
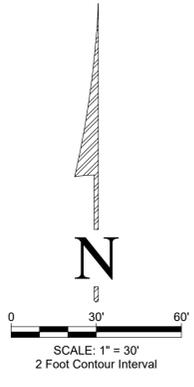
BACCICH RESIDENCE

REVISIONS:

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VIEW ANGLE TABLE			
NUMBER	MOUNTAIN PEAK	BEARING	ZENITH ANGLE
L1	CAMPBELL	N18°34'E	78°48'
L2	SAN JOAQUIN	N60°07'E	81°46'
L3	SUNSHINE	S32°38'W	83°41'
L4	WILSON	S50°44'W	83°35'
L5	BLACK MESA	S89°02'W	87°36'
L6	GRAY HEAD	N52°34'W	87°15'



0.769 Acres

0.647 Acres

LEGEND

- Found #5 Rebar & 1 1/2" Cap marked Foley L5 24954
- Found Rebar & Cap marked San Juan Surveying L5 28652
- ⊗ Water Valve
- ⊠ Cable Television Pedestal
- ⊡ Telephone Pedestal
- ⊞ Electric Pedestal
- ⊕ Curb Stop
- ⊙ Control Point for View Angle
- ⊛ Fire Hydrant
- ⊚ Sanitary Sewer Manhole
- ⊙ Spruce Tree
- ⊙ Aspen Tree
- ⊙ Fir Tree
- ⊙ Spot Elevation
- E — E — Electric Line
- CTV — CTV — Cable Television Line
- T — T — Telephone Line
- TE — TE — Telephone & Electric Line
- S — S — Sewer Line
- W — W — Water Line
- ▨ Slopes greater than 2%

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

1. According to Flood Insurance Rate Map 08113C0400 C dated September 30, 1992, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
2. Easement research from Land Title Guarantee Company, Commitment No. TLR86010347, Effective Date 08/07/2020 at 05:00 PM.
3. Ownership was researched from the county GIS and is for informational purposes only.
4. Utility locates were done by others and located during prior work. No positional accuracy is warranted, order current utility locates prior to excavation.
5. Wetland locations per Plat Book 1 at page 2850
6. Lineal Units U.S. Survey Feet

PROPERTY DESCRIPTION:

Lot 729R-5, Mountain Village, according to the Plat of Lots 726R-1, 729R-1, 729R-2, 729R-3, 729R-4, 729R-5, 729R-6, & 729R-7, Replat, Rezone and Density Transfer, a Replat of Lots 726R, 729R and Tract 727R, Mountain Village, Colorado, recorded January 23, 2001 in Plat Book 1 at page 2850.

County of San Miguel,
State of Colorado

BASIS OF BEARINGS:

The Basis of Bearings for this Improvement Survey Plat was derived from the south line of Lot 729R-5, according to the Plat recorded in Plat Book 1 at page 2850, said bearing being N 79°36'39" E, both being found monuments as depicted on this plat.

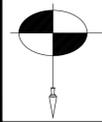
SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, of San Juan Surveying, being a Licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Improvement Survey Plat prepared for Land Title Guarantee Company, John Baccich and Lisa Baccich, and Sheila M. Timm Revocable Trust was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

Christopher R. Kennedy
Christopher R. Kennedy, P.L.S. 36572
08/17/2020

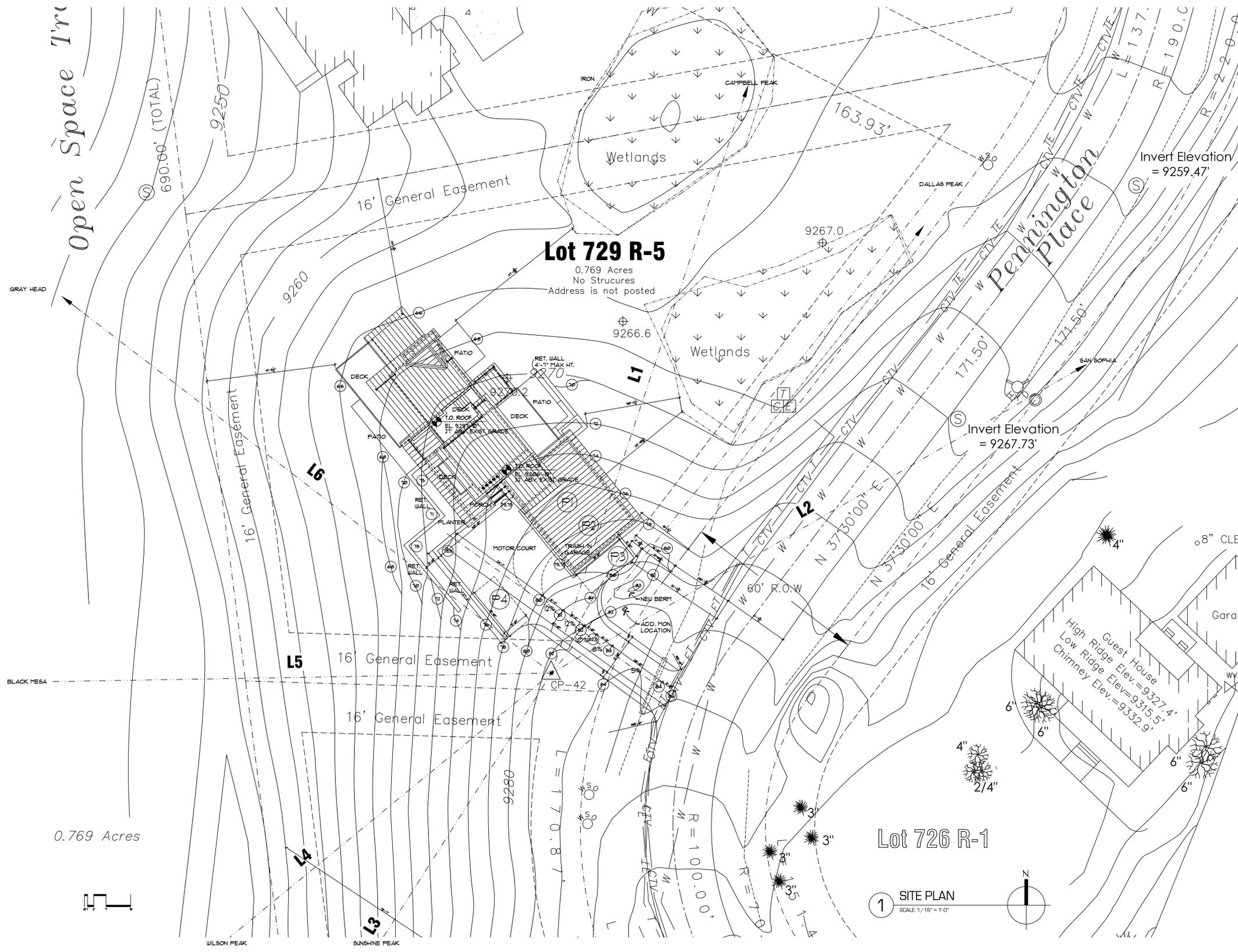


IMPROVEMENT SURVEY PLAT LOT 729R-5, MOUNTAIN VILLAGE



SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728-1128 (970) 728-9201 fax
office@sanjuansurveying.net

DATE:	08/17/2020
JOB:	00065
DRAWN BY:	ESS
CHECKED BY:	CRK
REVISION DATES:	
SHEET:	1 OF 1



Open Space Tr

0.769 Acres

Lot 729 R-5
0.769 Acres
No Structures
Address is not posted

Invert Elevation
= 9259.47'

Invert Elevation
= 9267.73'

SITE LEGEND

- EXISTING CONTOUR
- REVISED CONTOUR
- CONTOUR INTERVALS 2 FEET
- GAS LINE
- ELECTRIC, CABLE, AND TELEPHONE LINES
- WATER LINE
- SANITARY SEWER LINE
- LINE OF DRAINAGE SWALE
- TREE TO BE REMOVED
- PARKING SPACE
- EXTERIOR LIGHTING
- GAS VALVE
- WATER VALVE
- CABLE TELEVISION PEDESTAL
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- CURB STOP
- CONTROL POINT
- FIRE HYDRANT
- SANITARY SEWER MANHOLE

- GENERAL NOTES**
- SURVEY INFORMATION PROVIDED BY: SAN JUAN SURVEYING 107 SOCIETY DRIVE TELLURIDE, COLORADO 81435 (970) 728-1128
 - CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS WITH EACH UTILITY AGENCY. ALL UTILITY TRENCHES TO AVOID DISTURBING EXISTING TREES.
 - THE CONTRACTOR SHALL VERIFY BUILDING LOCATION AND FLOOR ELEVATIONS WITH THE OWNER AND ARCHITECT PRIOR TO EXCAVATION.

Lot 729 R-5
91 Pennington Place

Lot size 0.769 acre

Zone District Single family
Zoning Designations Single family

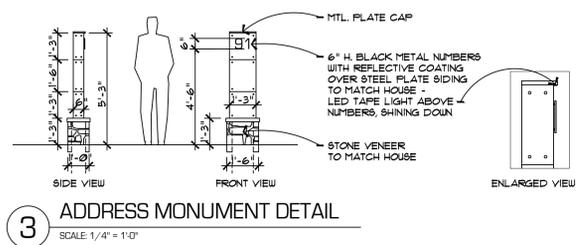
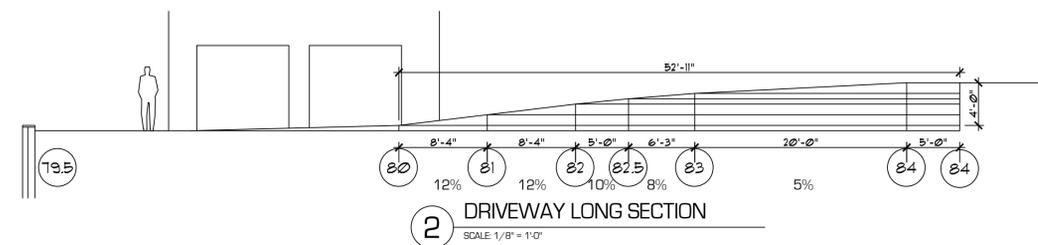
Floor Area	Lower Level	Mechanical	Main Level	Garage	Upper Level
	1580.4	143.3	1509	649	661.2
	3750.6		792.3	4542.9 gross sq. ft.	

Lot Coverage

- 5,357.8 sq. ft. footprint
- 0.769 acres
- 43,560 sq. ft. per acre
- 33,497.64 sq. ft. lot size
- 16.0% lot coverage

Max Build. Height 34'-8 1/8"
Ave. Bldg. Height 24'-5 3/16"

Parking 2 inside
Required & provided 2 outside



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REVISIONS:

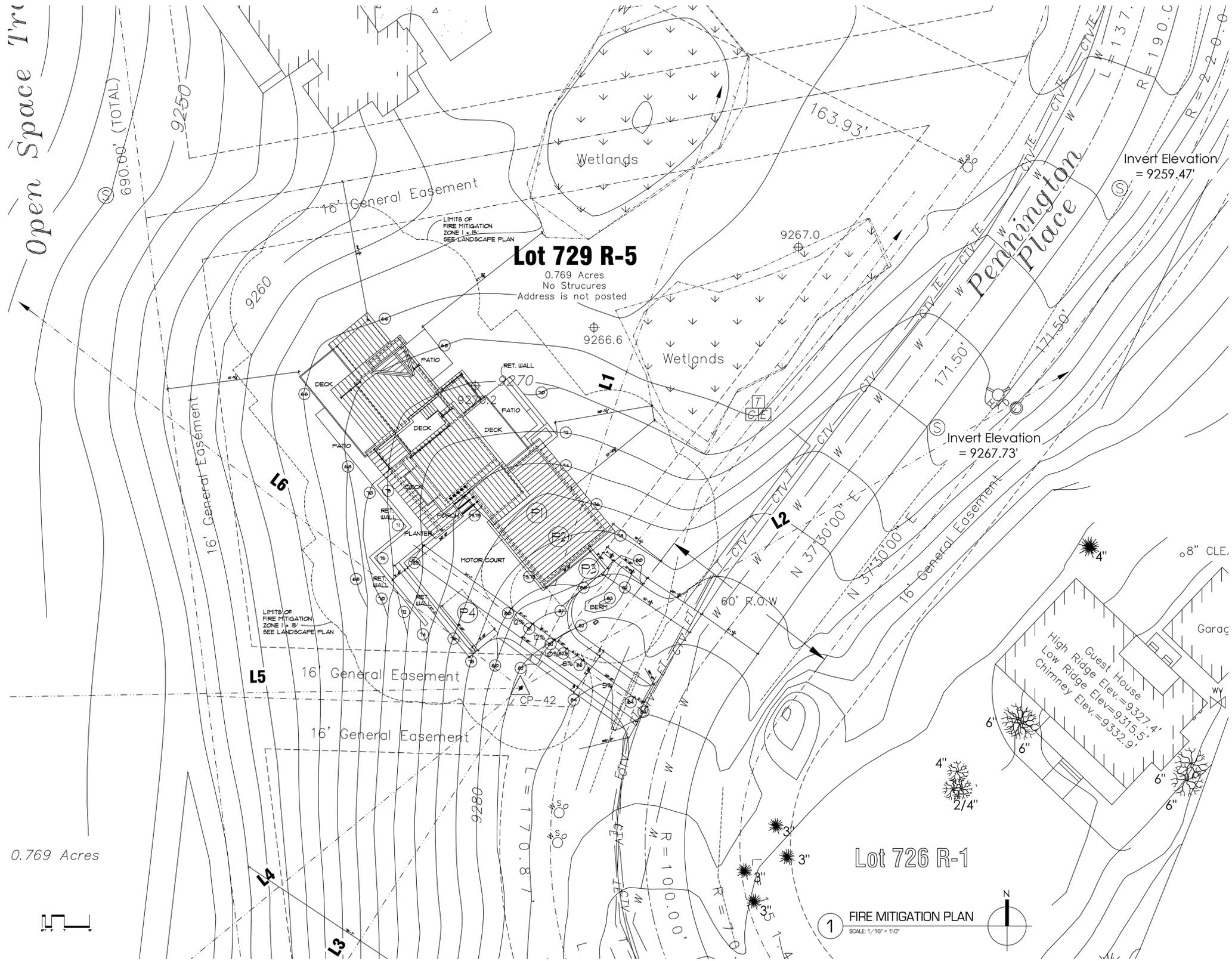
PROJECT: **BACCICH RESIDENCE**

DATE: FEBRUARY 16, 2021
ISSUED FOR: REVIEW SET

LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

SHEET NUMBER: **A2-1**
SITE PLAN

220 East Colorado Ave., Suite 218 P.O.Box 3934 Telluride CO 81435. Office: 970-728-0841
FUSE architecture + interior



0.769 Acres

Open Space Tr

Lot 729 R-5

0.769 Acres
No Structures
Address is not posted

1 FIRE MITIGATION PLAN
SCALE 1/16" = 1'-0"

SITE LEGEND

	EXISTING CONTOUR
	REVISED CONTOUR
CONTOUR INTERVALS 2 FEET	
	GAS LINE
	ELECTRIC, CABLE, AND TELEPHONE LINES
	WATER LINE
	SANITARY SEWER LINE
	LINE OF DRAINAGE SWALE
	TREE TO BE REMOVED
	PARKING SPACE
	EXTERIOR LIGHTING
	GAS VALVE
	WATER VALVE
	CABLE TELEVISION PEDESTAL
	TELEPHONE PEDESTAL
	ELECTRIC PEDESTAL
	CURB STOP
	CONTROL POINT
	FIRE HYDRANT
	SANITARY SEWER MANHOLE

GENERAL NOTES

1. SURVEY INFORMATION PROVIDED BY:
SAN JUAN SURVEYING
107 SOCIETY DRIVE
TELLURIDE, COLORADO 81435
(970) 728-1125

FOR REVIEW ONLY NOT FOR CONSTRUCTION

DATE: FEBRUARY 16, 2021
ISSUED FOR: REVIEW SET

PROJECT: #2008

BACCICH RESIDENCE

REVISIONS:

SHEET NUMBER: A2-2
FIRE MITIGATION PLAN

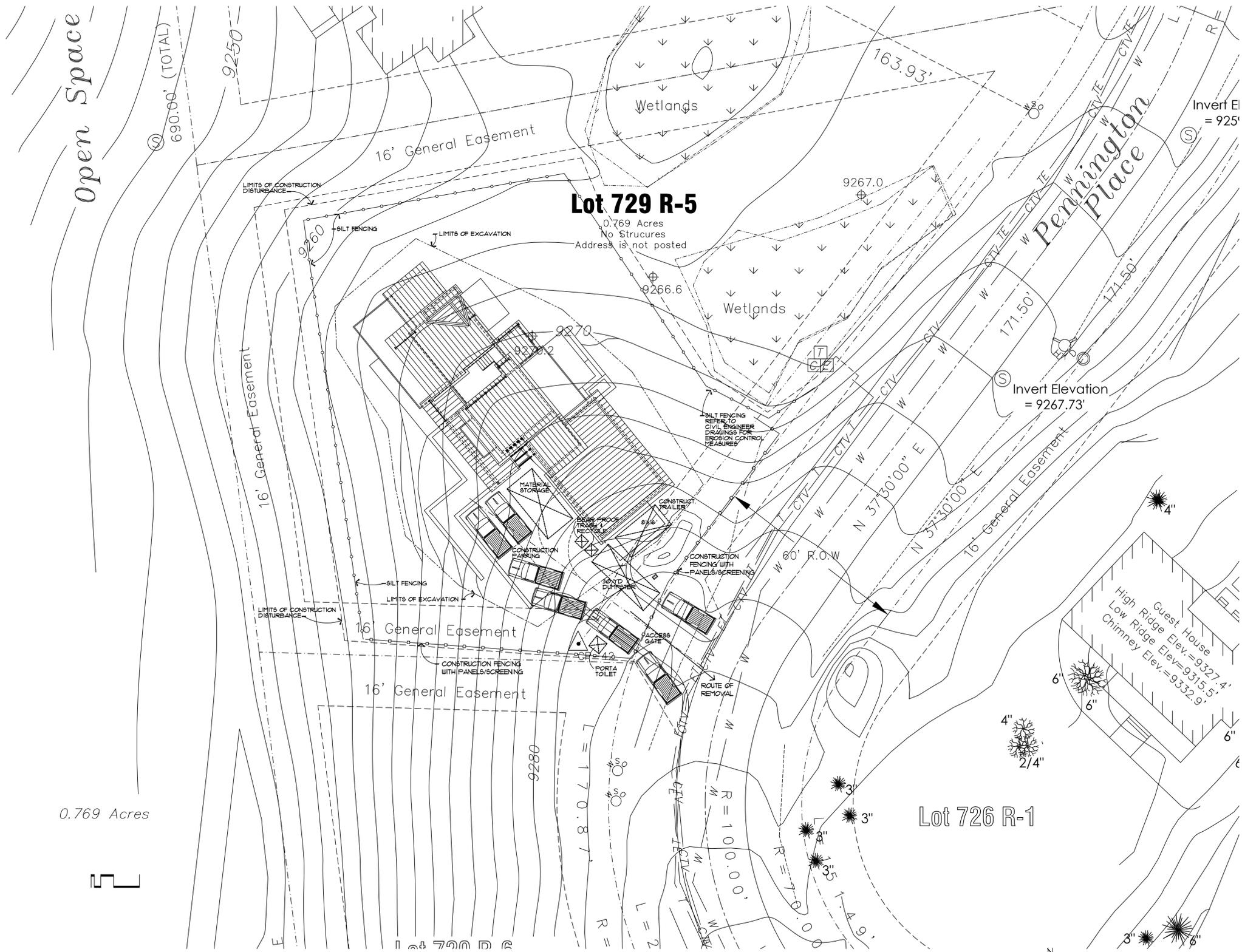
LOCATION: LOT 729 R-5

91 PENNINGTON PLACE

MOUNTAIN VILLAGE

SAN MIGUEL COUNTY





STAGING LEGEND

---	LIMITS OF CONSTRUCTION DISTURBANCE
- - - -	LIMITS OF EXCAVATION
○ ○ ○ ○	CONSTRUCTION FENCING WITH PANELS/SCREENING
○ ○ ○ ○	SILT FENCE
□ □ □ □	STRAW/HAY BALES

SITE LEGEND

—	EXISTING CONTOUR
②	REVISED CONTOUR CONTOUR INTERVALS 2 FEET
— G — G — G —	GAS LINE
— E — E — E —	ELECTRIC, CABLE, AND TELEPHONE LINES
— W — W — W —	WATER LINE
— S — S — S —	SANITARY SEWER LINE
- - - -	LINE OF DRAINAGE SWALE
○	TREE TO BE REMOVED
Ⓟ	PARKING SPACE
⊕	EXTERIOR LIGHTING
⊕ G	GAS VALVE
⊕ W	WATER VALVE
⊕ E	CABLE TELEVISION PEDESTAL
⊕ T	TELEPHONE PEDESTAL
⊕	ELECTRIC PEDESTAL
⊕	CURB STOP
⊕	CONTROL POINT
⊕	FIRE HYDRANT
⊕	SANITARY SEWER MANHOLE

- NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL FROM T.M.V. BLDG. DEPT. FOR ALL CONSTRUCTION STAGING IN THE FIELD PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL CLEARING AND EXCAVATION WITHIN EXISTING PROPERTY LINE BOUNDARIES AND GENERAL EASEMENTS.
 3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ANY REVISIONS OR ALTERATIONS TO THE CONSTRUCTION MITIGATION PLAN PRIOR TO CONSTRUCTION.
 4. PROVIDE SILT FENCING AND HAYBALES AS REQUIRED FOR TEMPORARY EROSION CONTROL AT ALL LOCATIONS DOWN SLOPE FROM THE AREA OF DISTURBANCE AND EXCAVATION. SEE CIVIL ENGINEERING DRAWINGS.
 5. ALL PAINT, STAIN, THINNERS, AND RELATED MATERIALS SHALL BE DISPOSED OF IN A PROPER MANNER AND IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL GUIDELINES REGARDING HAZARDOUS MATERIALS AND HAZARDOUS WASTE. AT NO TIME WILL ANY WASTES BE ALLOWED TO BE POURED OR SPILLED ONTO OR INTO THE SOIL, TRASH CONTAINERS OR ANY OTHER NON-SPECIFIC DEVICE/CONTAINER. ONLY CLEARLY MARKED FIRE PROOF DRUMS OR BUCKETS WILL BE ACCEPTABLE CONTAINERS.

1 CONSTRUCTION MITIGATION PLAN
SCALE: 1/16" = 1'0"

FOR REVIEW ONLY NOT FOR CONSTRUCTION

DATE: FEBRUARY 16, 2021
ISSUED FOR: REVIEW SET

SHEET NUMBER: A2-3
STAGING PLAN

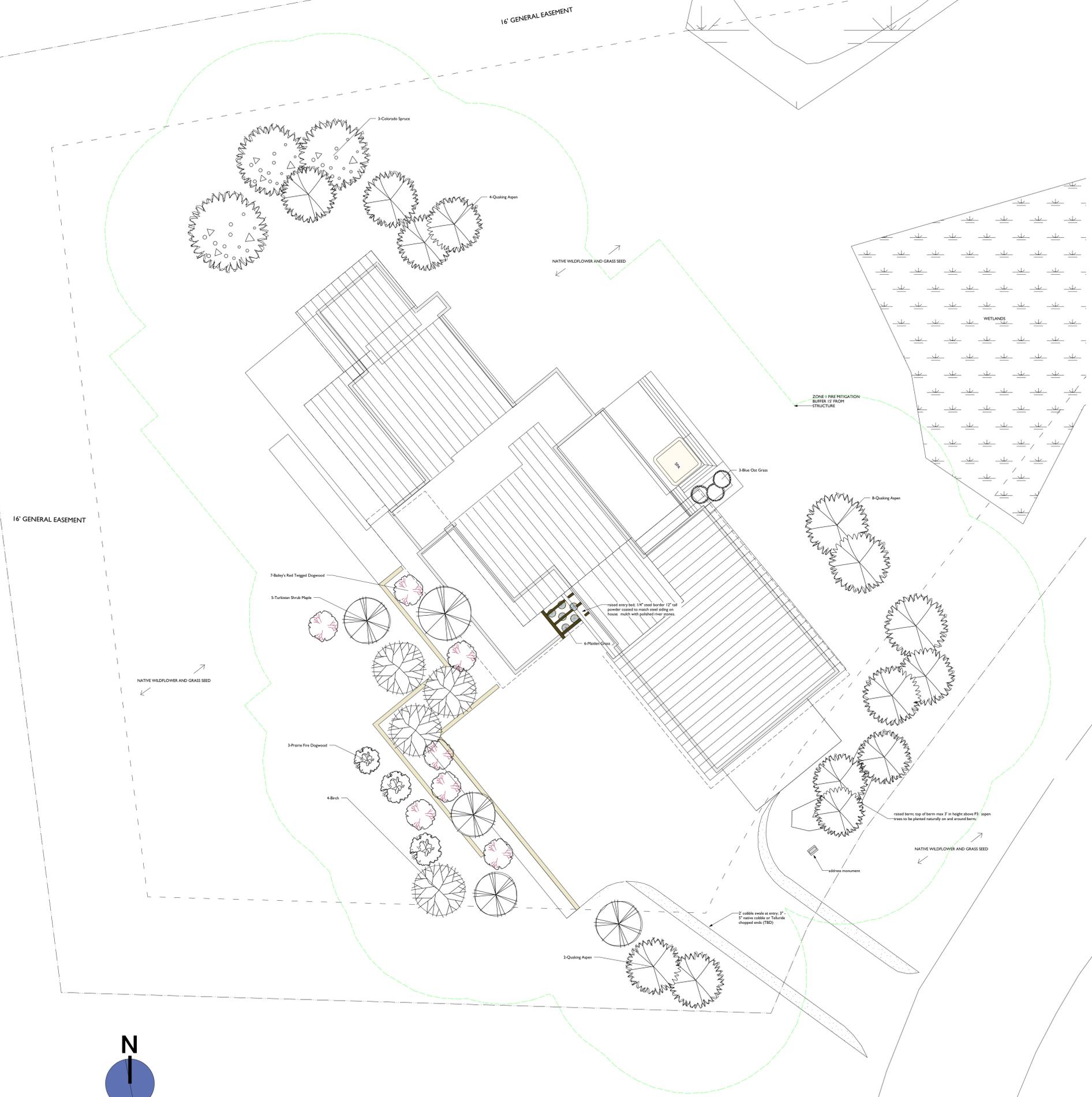
PROJECT: BACCICH RESIDENCE

LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

REVISIONS:

COPYRIGHT 2021





1 Conceptual Landscape Plan
Scale: 1/8" = 1'-0"

Image	ID	Qty	Latin Name	Common Name	Scheduled Size
	Acgi	5	Acer ginnala	Turkistan Shrub Maple	B&B CLUMP
	Betula	4	Betula sp.	Birch	
	Coal	3	Cornus alba 'Prairie Fire'	Prairie Fire Dogwood	5 GALLON
	Cose	7	Cornus sericea 'Bailey'	Bailey's Red Twigged Dogwood	
	Hese	3	Helictotrichon sempervirens	Blue Oat Grass	5 GALLON
	Misi	6	Miscanthus sinensis	Maiden Grass	5 GALLON
	Pipu	3	Picea pungens	Colorado Spruce	B&B 6' 12" TALL WITH 60% TALLER THAN 10'
	Potr	14	Populus tremuloides	Quaking Aspen	---

REVEGETATION AND PLANTING NOTES

- BROADCASTING OF SEED SHALL BE DONE WITHIN TEN DAYS AFTER TOPSOIL HAS BEEN APPLIED TO MINIMIZE EROSION AND WEED ESTABLISHMENT.
- A MINIMUM OF 4" - 6" OF SCREENED NATIVE TOPSOIL TO BE SPREAD BY GENERAL CONTRACTOR BEFORE SEEDING. ALL CONSTRUCTION TRASH TO BE REMOVED FROM SITE BEFORE TOPSOIL IS SPREAD.
- SOIL SURFACE TO BE ADEQUATELY TREATED WITH COMPOST EXTRACT BEFORE TOPSOIL IS SPREAD TO ESTABLISH HEALTHY BIOLOGY ONTO ALL COMPACTED AREAS DISTURBED FROM CONSTRUCTION. LANDSCAPE DESIGNER TO SOURCE EXTRACT.
- SLOPES THAT ARE 3:1 OR GREATER SHALL BE NETTED WITH NON-NYLON 100% BIO AND PHOTO DEGRADABLE CERTIFIED WEED FREE STRAW BLANKETS SUCH AS AEC PREMIER STRAW DOUBLE OR SINGLE NET FIBRENET.
- SEED ALL DISTURBED AREAS WITH THE FOLLOWING APPROVED MOUNTAIN VILLAGE SEED MIX AT A RATE OF 10 PLS POUNDS PER 1,000 SF:

- western yarrow 5%
- tall fescue 10%
- arizona fescue 5%
- hard fescue 5%
- creeping red fescue 5%
- alpine bluegrass 15%
- canada bluegrass 10%
- perennial rye grass 15%
- slender wheatgrass 10%
- mountain brome 15%

IN SHADIER AREAS SOME SPECIES MAY BE SUBSTITUTED FOR MORE SHADE TOLERANT SPECIES SUCH AS DESCHAMPSIA CAESPITOSA, KOELERIA MACRANTHA, AND SIMILAR.

- THE FOLLOWING NATIVE WILDFLOWER SEED MAY BE ADDED TO GRASS SEED MIX AT A RATE OF 5 PLS LBS TO 1,000 SF IN THE APPROPRIATE AREAS TO BE DECIDED BY LANDSCAPE DESIGNER:

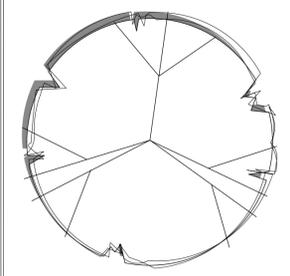
- Achillea millefolium
- Artemisia frigida
- Antennaria parviflora
- Gaillardia aristata
- Iris missouriensis
- Penstemon strictus

- LANDOWNER TO MAINTAIN PROPER WEED CONTROL ESPECIALLY DURING THE EARLY PHASES OF REVEGETATION TO PREVENT NOXIOUS WEED INFESTATION. PLAN ON INTENSIVE CONTROL FOR THE FIRST THREE YEARS AND MODERATE CONTROL THEREAFTER. DO NOT LET INVASIVE WEEDS GO TO SEED.
- LANDSCAPE PLAN TO COMPLY WITH SECTION 17.5.9(g) OF THE CDC LANDSCAPE DESIGN REGULATION REGARDING NOXIOUS WEEDS.
- PHASING OF LANDSCAPING TO COMPLY WITH APPROPRIATE WATERING REGULATIONS IN PLACE AT THE TIME OF PLANTING. ADDITIONAL WATERING BEYOND RESTRICTIONS MAY BE REQUESTED TO ENCOURAGE ROOT HAIR GROWTH.
- ALL TREES, SHRUBS, AND REVEG TO BE NATIVE TO THE APPROPRIATE LIFE ZONE AND MICRO CLIMATE OF THE SITE.
- ALL TREES TO BE FENCED WITH 6' WELDED WIRE AND THREE T-POSTS GUYED TO EACH TREE OR ALTERNATIVELY CAN BE FENCED AS GROUPINGS.
- ANY NEW EVERGREENS TO BE PLANTED INSIDE OF ZONES 1 AND 2 TO MAINTAIN A CROWN DISTANCE OF 10'.
- DECIDUOUS SHRUBS AND TREES PLANTED IN ZONE 1 TO BE FIREWISE SPECIES (PER CSJ EXTENSION FIREWISE PLANT MATERIALS 6.305). ASPENS IN ZONE 1 TO BE PLANTED IN CLUSTERS FOR BETTER AESTHETICS AS WELL AS TO ALLOW TREES TO DEFEND THEMSELVES AGAINST WIND.
- ALL NEW TREES AND SHRUBS TO BE MULCHED WITH A PRE COMPOSTED COTTON BURR MULCH SUCH AS BACK TO EARTH COTTON BURR MULCH OR SIMILAR. WOOD CHIPS OR BARK NUGGETS ARE NOT ALLOWED.
- TREES AND SHRUBS TO BE PLANTED WITH 75% NATIVE SOIL, 25% ORGANIC COMPOST, AND ECTOMYCORRHIZAL FUNGI INOCULANT TO BE SOURCED BY LANDSCAPE DESIGNER.
- ALL SEED TO BE BROADCAST WITH AN ENDOMYCORRHIZAL FUNGI INOCULANT TO BE SOURCED BY LANDSCAPE DESIGNER.

GENERAL NOTES

- LOCATIONS OF PLANTINGS ON THIS PLAN ARE CONCEPTUAL. ALL TREES AND SHRUBS TO BE FIELD LOCATED BY LANDSCAPE DESIGNER AT TIME OF PLANTING.
- TREES TO BE STAKED FOR THREE FULL GROWING SEASONS AND THEN STAKES TO BE REMOVED FOR THE HEALTH OF THE TREES. WELDED WIRE FENCE PROTECTION TO REMAIN.
- BOULDERS, IF TO BE ADDED TO THE LANDSCAPE TO BE SELECTED AND FIELD LOCATED BY THE LANDSCAPE DESIGNER.

Baccich Residence
Lot 729 R-5
91 Pennington Place
Telluride, CO



Drawn By: JM
REV. DATE:
Project #
Phase
Sheet

Grassroots Landscape Design, LLC
970.729.1657
grassrootstelluride@gmail.com

LS - 1
Drawn By: jm
DATE: 2.17.21

GRASSROOTS
LANDSCAPE DESIGN, LLC

IRRIGATION NOTES:

1. An approved RPZ backflow assembly will be installed inside mech room with appropriately sized drain by certified plumbing contractor
2. Irrigation mainline will be SCH 40 PVC and be buried 8-10" below final grade.
3. Irrigation lateral lines will be polyethylene 200psi rated pipe.
4. A appropriately sized master valve will be located directly after irrigation water line exits house.
5. Mainline will extend around property (approximately shown)
6. Valve boxes will be buried flush to grade
7. Rainbird or Hunter brand 1" irrigation valves will be installed.
8. Drip zone valves installed are 1" Rainbird Xerigation Control Zone Kits with pressure regulation and 200 mesh filters.
9. Direct burial electrical communication wire to each valve box will be installed with extra communication feeds for future expansion.
10. All spray zones labeled below are Hunter Pro Spray 6" to 12" popup heads with MP Rotator nozzles
11. All newly planted trees and shrubs will be drip irrigated with Rainbird or Hunter brand emission on their own specific zone valves.
12. Smart Irrigation technology controller will be installed with WiFi capabilities. No onsite weather station required.
13. Any additional planting/seeding areas that extend beyond this plan may require additional zone valves.

SCHEDULE

ID	Qty	Latin Name	Common Name	Scheduled Size
Acgi	5	Acer ginnala	Turkistan Shrub Maple	B&B CLUMP
Betula	4	Betula sp.	Birch	
Coal	3	Cornus alba 'Prairie Fire'	Prairie Fire Dogwood	5 GALLON
Cose	7	Cornus sericea 'Bailey'	Bailey's Red Twigged Dogwood	
Hese	3	Helictotrichon sempervirens	Blue Oat Grass	5 GALLON
Misi	6	Miscanthus sinensis	Maiden Grass	5 GALLON
Pipu	3	Picea pungens	Colorado Spruce	B&B 6' 12" TALL WITH 60% TALLER THAN 10'
Potr	14	Populus tremuloides	Quaking Aspen	---

REVEGETATION AND PLANTING NOTES

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2. A MINIMUM OF 4" - 6" OF SCREENED NATIVE TOPSOIL TO BE SPREAD BY GENERAL CONTRACTOR BEFORE SEEDING. ALL CONSTRUCTION TRASH TO BE REMOVED FROM SITE BEFORE TOPSOIL IS SPREAD.
3. SOIL SURFACE TO BE ADEQUATELY TREATED WITH COMPOST EXTRACT BEFORE TOPSOIL IS SPREAD TO ESTABLISH HEALTHY BIOLOGY ONTO ALL COMPACTED AREAS DISTURBED FROM CONSTRUCTION. LANDSCAPE DESIGNER TO SOURCE EXTRACT.
4. SLOPES THAT ARE 3:1 OR GREATER SHALL BE NETTED WITH NON-NYLON 100% BIO AND PHOTO DEGRADABLE CERTIFIED WEED FREE STRAW BLANKETS SUCH AS AEC PREMIER STRAW DOUBLE OR SINGLE NET FIBRENET.
5. SEED ALL DISTURBED AREAS WITH THE FOLLOWING APPROVED MOUNTAIN VILLAGE SEED MIX AT A RATE OF 10 PLS POUNDS PER 1,000 SF:

- western yarrow 5%
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- arizona fescue 5%
- hard fescue 5%
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- alpine bluegrass 15%
- canada bluegrass 10%
- perennial rye grass 15%
- slender wheatgrass 10%
- mountain brome 15%

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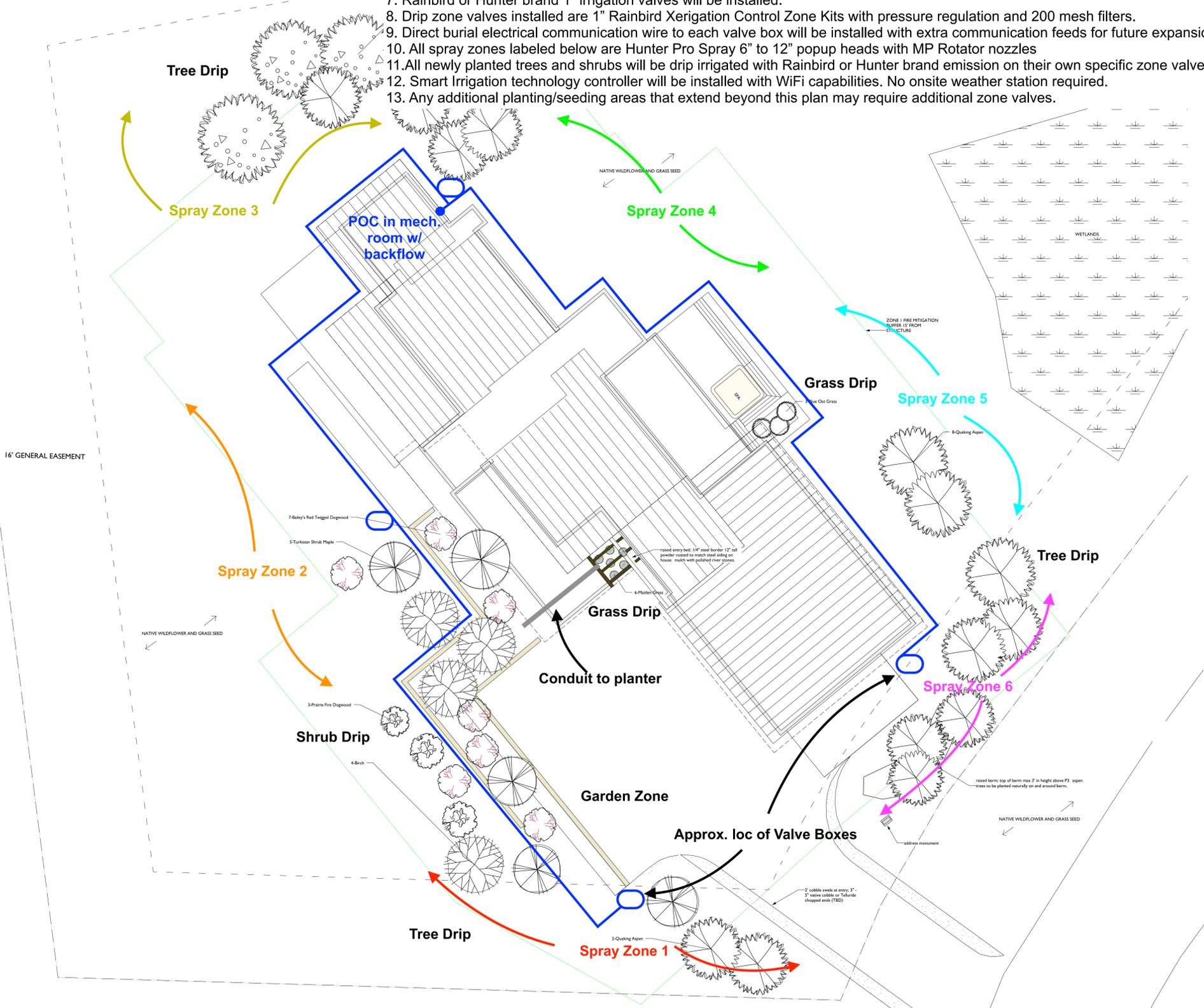
6. THE FOLLOWING NATIVE WILDFLOWER SEED MAY BE ADDED TO GRASS SEED MIX AT A RATE OF 5 PLS LBS TO 1,000 SF IN THE APPROPRIATE AREAS TO BE DECIDED BY LANDSCAPE DESIGNER:

- Achillea millefolium
- Artemisia frigida
- Antennaria parviflora
- Gaillardia aristata
- Iris missouriensis
- Penstemon strictus

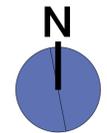
7. LANDOWNER TO MAINTAIN PROPER WEED CONTROL ESPECIALLY DURING THE EARLY PHASES OF REVEGETATION TO PREVENT NOXIOUS WEED INFESTATION. PLAN ON INTENSIVE CONTROL FOR THE FIRST THREE YEARS AND MODERATE CONTROL THEREAFTER. DO NOT LET INVASIVE WEEDS GO TO SEED.
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12. ANY NEW EVERGREENS TO BE PLANTED INSIDE OF ZONES 1 AND 2 TO MAINTAIN A CROWN DISTANCE OF 10'.
13. DECIDUOUS SHRUBS AND TREES PLANTED IN ZONE 1 TO BE FIREWISE SPECIES (PER CSJ EXTENSION FIREWISE PLANT MATERIALS 6.305). ASPENS IN ZONE 1 TO BE PLANTED IN CLUSTERS FOR BETTER AESTHETICS AS WELL AS TO ALLOW TREES TO DEFEND THEMSELVES AGAINST WIND.
14. ALL NEW TREES AND SHRUBS TO BE MULCHED WITH A PRE COMPOSTED COTTON BURR MULCH SUCH AS BACK TO EARTH COTTON BURR MULCH OR SIMILAR. WOOD CHIPS OR BARK NUGGETS ARE NOT ALLOWED.
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GENERAL NOTES

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2. TREES TO BE STAKED FOR THREE FULL GROWING SEASONS AND THEN STAKES TO BE REMOVED FOR THE HEALTH OF THE TREES. WELDED WIRE FENCE PROTECTION TO REMAIN.
3. BOULDERS, IF TO BE ADDED TO THE LANDSCAPE TO BE SELECTED AND FIELD LOCATED BY THE LANDSCAPE DESIGNER.

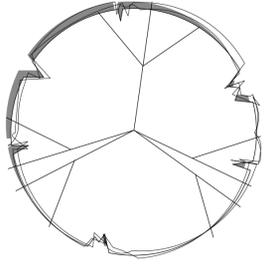


16' GENERAL EASEMENT



Irrigation Plan
Scale: 1/8" = 1'-0"

Baccich Residence
Lot 729 R-5
91 Pennington Place
Telluride, CO



Drawn By: JM
REV. DATE:
Project #
Phase
Sheet

Grassroots Landscape Design, LLC
970.729.1657
grassrootstelluride@gmail.com

LS-2
Drawn By: jm
DATE: 2.11.21



Lot 729 R-3

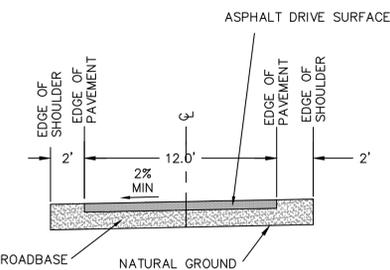
Lot 729R-4

Lot 729 R-5

Lot 729 R-6

NOTES

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
2. ALL EXISTING BOUNDARY, UTILITY, AND TOPOGRAPHIC INFORMATION PROVIDED BY SAN JUAN SURVEYING INC ON ISP OF LOT 729-R5 DATED 8/17/2020. CONTACT CHRIS KENNEDY AT (970) 728-1128 FOR MORE BENCHMARK INFORMATION. SOME OF THE UTILITY SERVICES LOCATIONS SHOWN ON THIS PLAN ARE FROM MAPPING AS-BUILT INFORMATION ONLY AND NOT CONFIRMED.
3. MAXIMUM SLOPE GRADING TO BE 3(HORIZONTAL):1(VERTICAL).
4. ALL RETAINING WALL HEIGHTS AREA FINISHED GRADE TO FINISHED GRADE (RETAINED HEIGHT) AND DO NOT INCLUDE FOUNDATIONS OR CAPS.
5. RETAINING WALLS WITH PEDESTRIAN ACCESS REQUIRE HARD RAILS FOR ALL RETAINED HEIGHT AT OR OVER 2.5' (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).



TYPICAL DRIVEWAY SECTION

NTS

FOR DRB ONLY AND NOT FOR CONSTRUCTION

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

ALPINE LAND CONSULTING, LLC
P.O. BOX 234
RICO, COLORADO 81552
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

LOT 729 R5 MOUNTAIN VILLAGE
DRB GRADING PLAN

CLIENT:
JOHN AND LISA BACCICH
4347 DUVAL DR
JACKSONVILLE BEACH, FL 32250

DATE: FEBRUARY 15, 2021
PROJECT #: 2020042
PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #:
1 OF 3

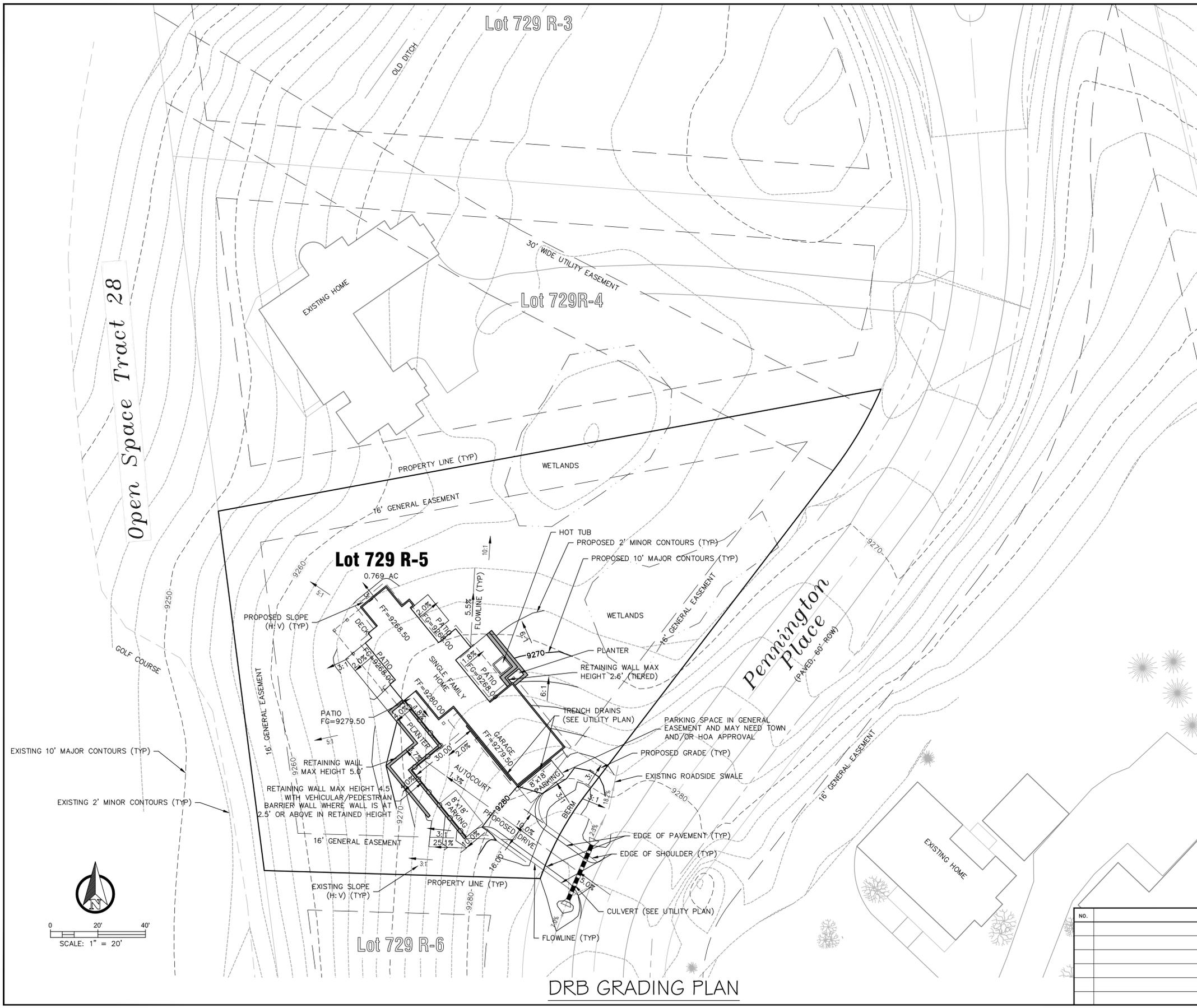
THESE DRB PLANNING DOCUMENTS WERE PREPARED BY ME AND UNDER MY DIRECT SUPERVISION ON BEHALF OF ALPINE LAND CONSULTING, LLC FOR JOHN AND LISA BACCICH AND INCLUDES PRELIMINARY DRB PLANNING DESIGN ONLY, AND DOES NOT INCLUDE ANY OTHER PLANNING OR ENGINEERING.



GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

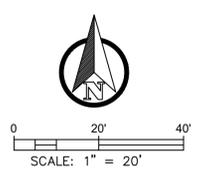
NO.	REVISIONS	DATE

DRB GRADING PLAN



Open Space Tract 28

EXISTING 10' MAJOR CONTOURS (TYP)
EXISTING 2' MINOR CONTOURS (TYP)



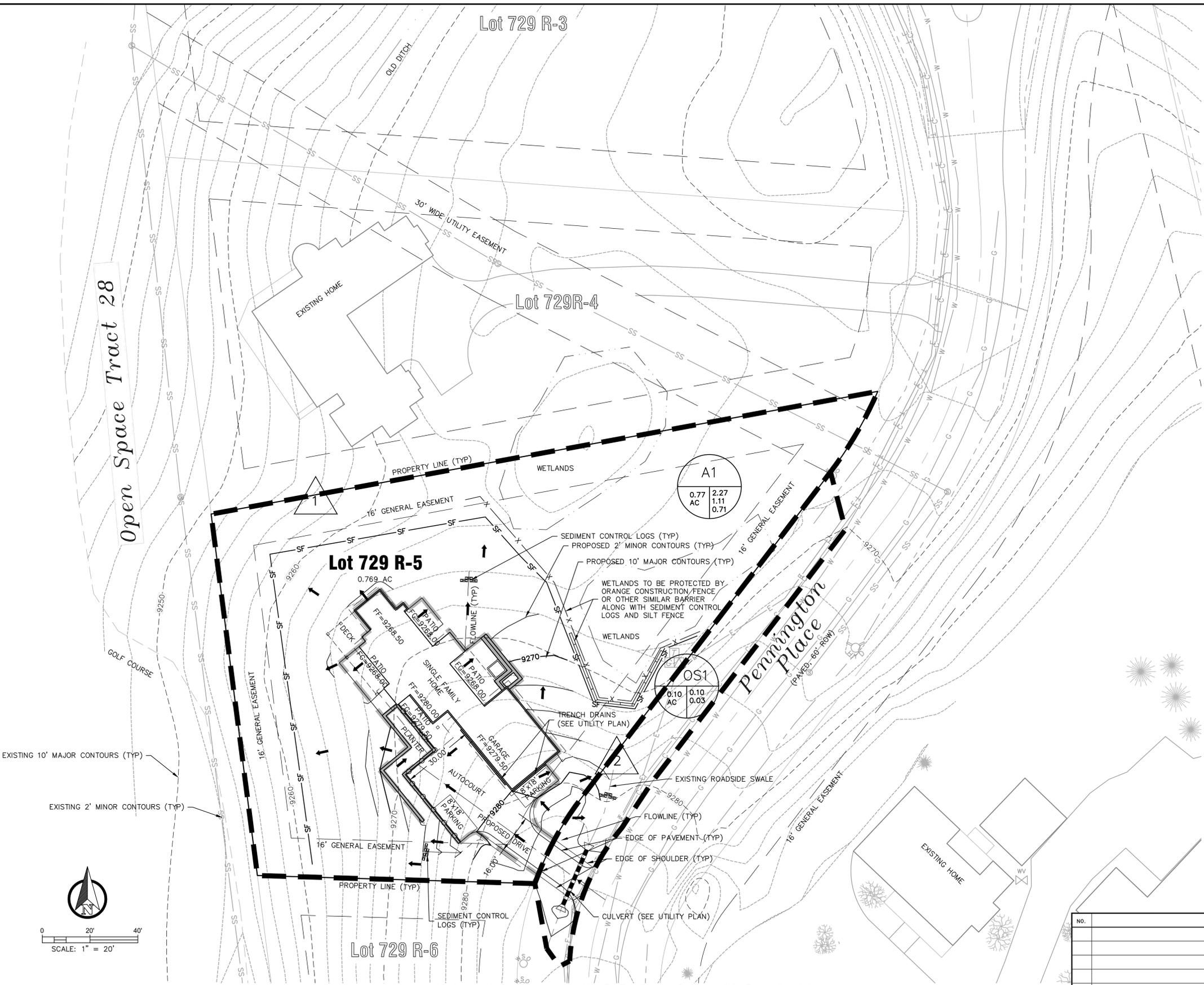
Lot 729 R-3

Lot 729R-4

Lot 729 R-5

Lot 729 R-6

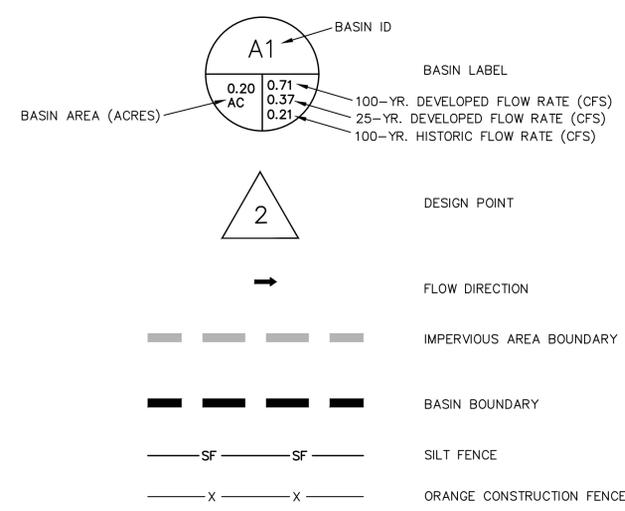
Open Space Tract 28



NOTES

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
2. ALL EXISTING BOUNDARY, UTILITY, AND TOPOGRAPHIC INFORMATION PROVIDED BY SAN JUAN SURVEYING INC ON ISP OF LOT 729-R5 DATED 8/17/2020. CONTACT CHRIS KENNEDY AT (970) 728-1128 FOR MORE BENCHMARK INFORMATION. SOME OF THE UTILITY SERVICES LOCATIONS SHOWN ON THIS PLAN ARE FROM MAPPING AS-BUILT INFORMATION ONLY AND NOT CONFIRMED.
3. MAXIMUM SLOPE GRADING TO BE 3(HORIZONTAL):1(VERTICAL).
4. ALL RETAINING WALL HEIGHTS AREA FINISHED GRADE TO FINISHED GRADE (RETAINED HEIGHT) AND DO NOT INCLUDE FOUNDATIONS OR CAPS.
5. RETAINING WALLS WITH PEDESTRIAN ACCESS REQUIRE HARD RAILS FOR ALL RETAINED HEIGHT AT OR OVER 2.5' (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
6. NO DETENTION IS PLANNED FOR THIS SITE AT THIS TIME.

LEGEND



FOR DRB ONLY AND NOT FOR CONSTRUCTION

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

ALPINE LAND CONSULTING, LLC
P.O. BOX 234
RICO, COLORADO 81552
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

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GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

LOT 729 R5 MOUNTAIN VILLAGE
DRB DRAINAGE AND EROSION CONTROL PLAN

CLIENT:
JOHN AND LISA BACCICH
4347 DUVAL DR
JACKSONVILLE BEACH, FL 32250

DATE: FEBRUARY 15, 2021

PROJECT #: 2020042

PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #:

2 OF 3

NO.	REVISIONS	DATE

DRB DRAINAGE AND EROSION CONTROL PLAN

Lot 729 R-3

NOTES

1. THIS IS A PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION.
2. ALL EXISTING BOUNDARY, UTILITY, AND TOPOGRAPHIC INFORMATION PROVIDED BY SAN JUAN SURVEYING INC ON ISP OF LOT 729-R5 DATED 8/17/2020. CONTACT CHRIS KENNEDY AT (970) 728-1128 FOR MORE BENCHMARK INFORMATION. SOME OF THE UTILITY SERVICES LOCATIONS SHOWN ON THIS PLAN ARE FROM MAPPING AS-BUILT INFORMATION ONLY AND NOT CONFIRMED.
3. ALL UTILITY LOCATES TO BE PERFORMED PRIOR TO FINAL DESIGN. IT IS RECOMMEND THAT THE SEWER TAP IS POT HOLED PRIOR TO FINAL DESIGN IN ORDER TO DETERMINE IF THE SEWER REQUIRES A PUMP IN THE MECHANICAL ROOM.
4. UTILITY TRENCHES TO STAY OUT OF DESIGNATED WETLANDS (SEE CONSTRUCTION AND SILT FENCE LOCATIONS ON SHEET 2).
5. ALL UTILITIES AND STORM DRAINS TO BE ROUTED AROUND PROPOSED TREES AS NEEDED.

Open Space Tract 28

EXISTING SEWER MANHOLE

OLD DITCH

EXISTING HOME

Lot 729R-4

EXISTING SEWER MAIN

EXISTING SEWER MANHOLE

PROPERTY LINE (TYP)

WETLANDS

Lot 729 R-5

0.769 AC

PROPOSED TELEPHONE SERVICE

PROPOSED CABLE SERVICE

PROPOSED ELECTRIC SERVICE WITH METER AT HOUSE

NO TRENCHING OR TRENCH SPOILS TO BE WITHIN WETLAND LIMITS, WETLANDS TO BE PROTECTED BY EROSION CONTROL MEASURES AND ORANGE CONSTRUCTION FENCE (SEE SHEET 2)

Pennington Place
(PAVED 60' ROW)

WATER SHUT OFF

EXISTING SEWER MANHOLE

FOR DRB ONLY AND NOT FOR CONSTRUCTION

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



PROPOSED SANITARY SEWER SERVICE (MAY NEED TS&G COMPANY APPROVAL FOR SANITARY SEWER CONNECTION)

GOLF COURSE

16' GENERAL EASEMENT

SINGLE FAMILY HOME

WETLANDS

PROPOSED ELECTRIC SERVICE WITH METER AT HOUSE

EXISTING FIRE HYDRANT

EXISTING SEWER MANHOLE

EXISTING CABLE, ELECTRIC, AND TELEPHONE PEDESTALS/BOXES (SEE NOTE 4)

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GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

8" TRENCH DRAINS WITH OUTLET PIPES

PROPOSED GAS SERVICE LINE WITH METER AT THE HOUSE (TO BE ROUTED THROUGH PROPOSED TREES AS NEEDED)

PROPOSED WATER SERVICE

16' GENERAL EASEMENT

APPROXIMATE LOCATION OF EXISTING GAS LINE

PROPOSED 18" CMP CULVERT

WATER SHUT OFF

PROPERTY LINE (TYP)

EXISTING HOME



SCALE: 1" = 20'

DRB UTILITY PLAN

LOT 729 R5
MOUNTAIN VILLAGE
DRB UTILITY PLAN

CLIENT:
JOHN AND LISA BACCICH
4347 DUVAL DR
JACKSONVILLE BEACH, FL 32250

DATE: FEBRUARY 15, 2021

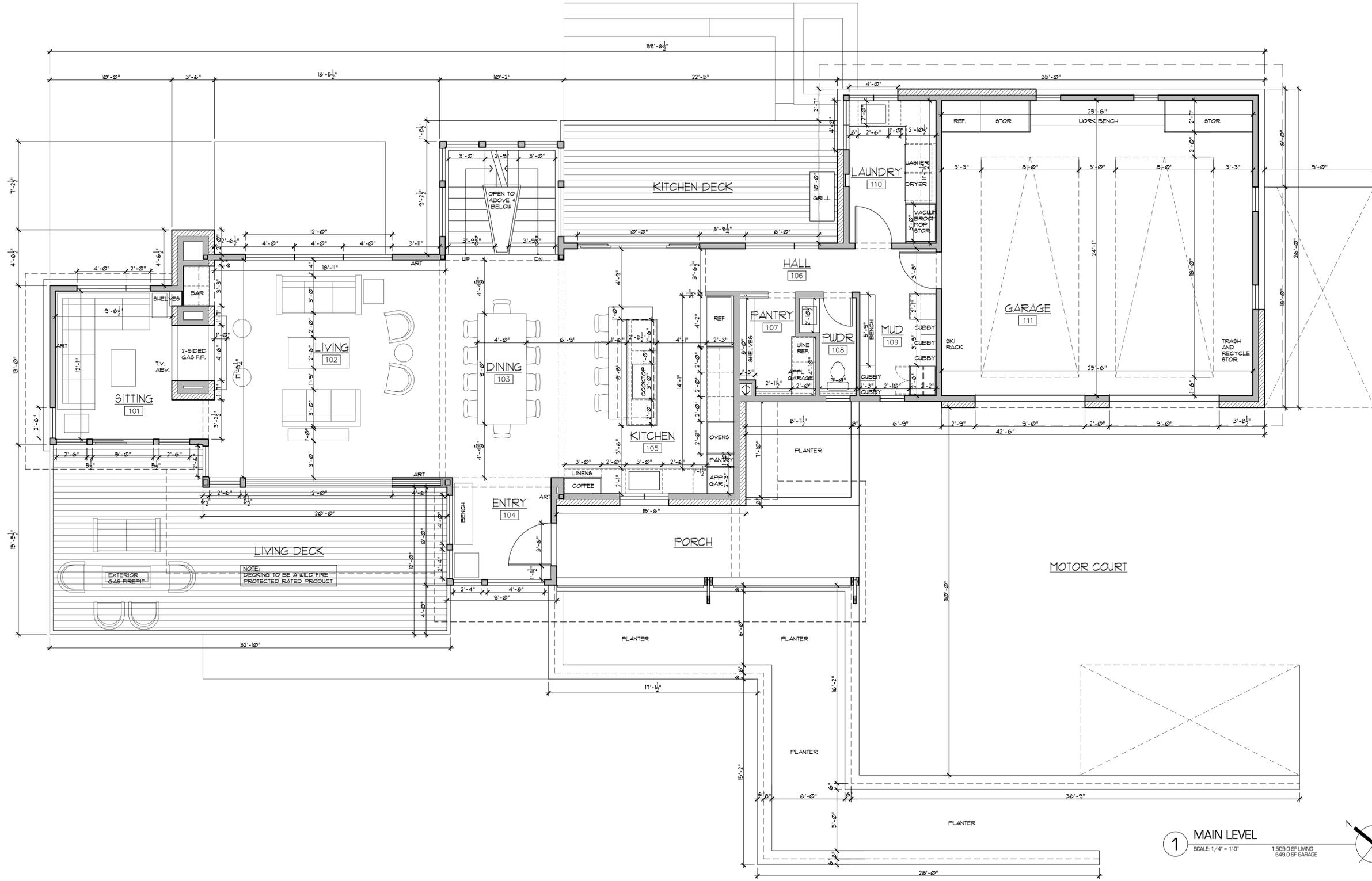
PROJECT #: 2020042

PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #:

3 OF 3

NO.	REVISIONS	DATE



1 MAIN LEVEL
SCALE: 1/4" = 1'-0"

1,509.0 SF LIVING
649.0 SF GARAGE

1,509.0 SF LIVING MAIN
1,723.7 SF LIVING LOWER
661.2 SF LIVING UPPER
3,893.9 SF LIVING TOTAL
649.0 SF GARAGE
4,542.9 SF GROSS TOTAL



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ISSUED FOR: REVIEW SET

PROJECT: #2008

BACCICH RESIDENCE

REVISIONS:

SHEET NUMBER: A3-1
FLOOR PLAN

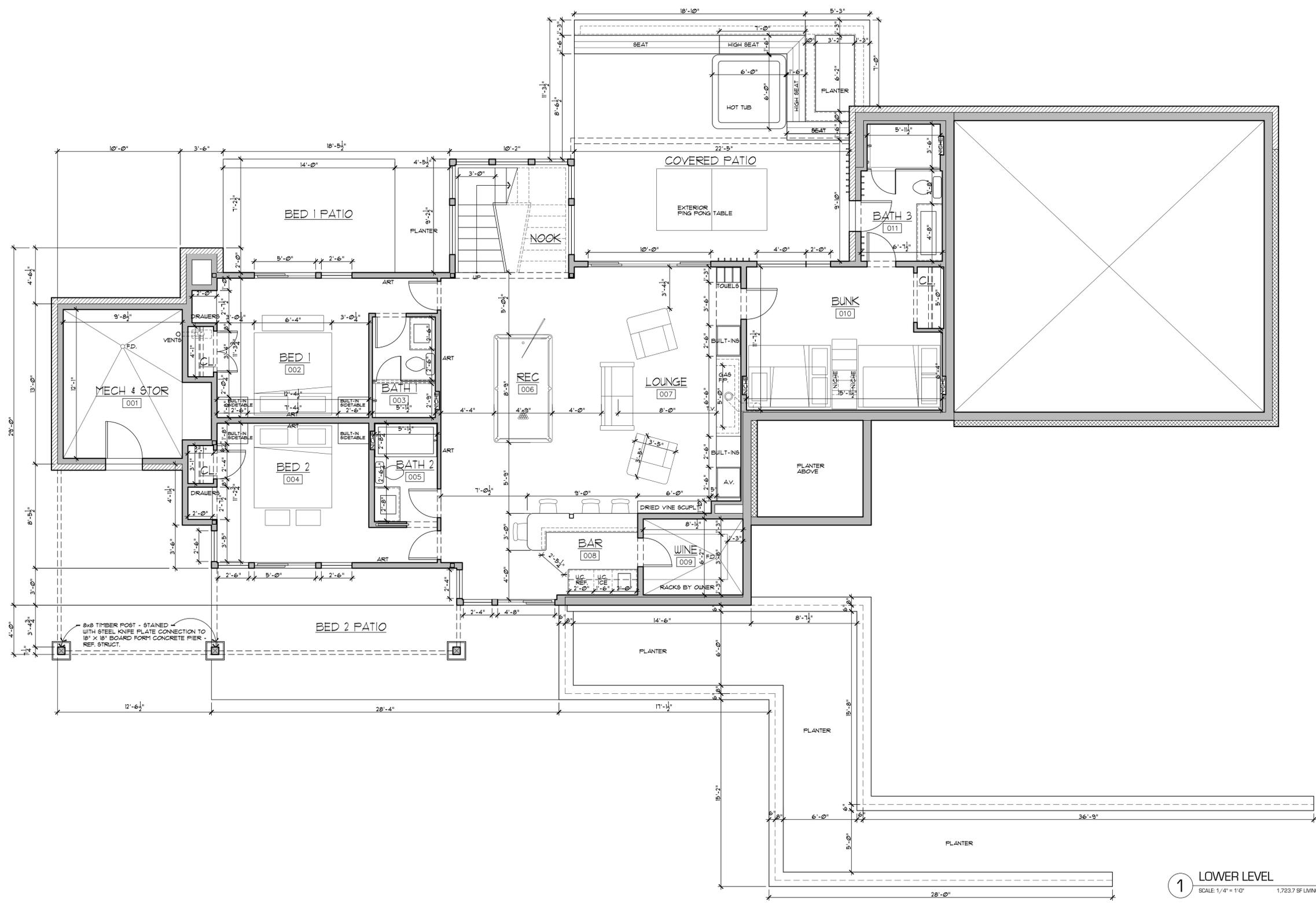
LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

FUSE architecture + interior

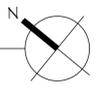
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1 LOWER LEVEL
 SCALE: 1/4" = 1'-0" 1,723.7 SF LIVING



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DATE: FEBRUARY 16, 2021
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SHEET NUMBER: A3-2
 FLOOR PLAN

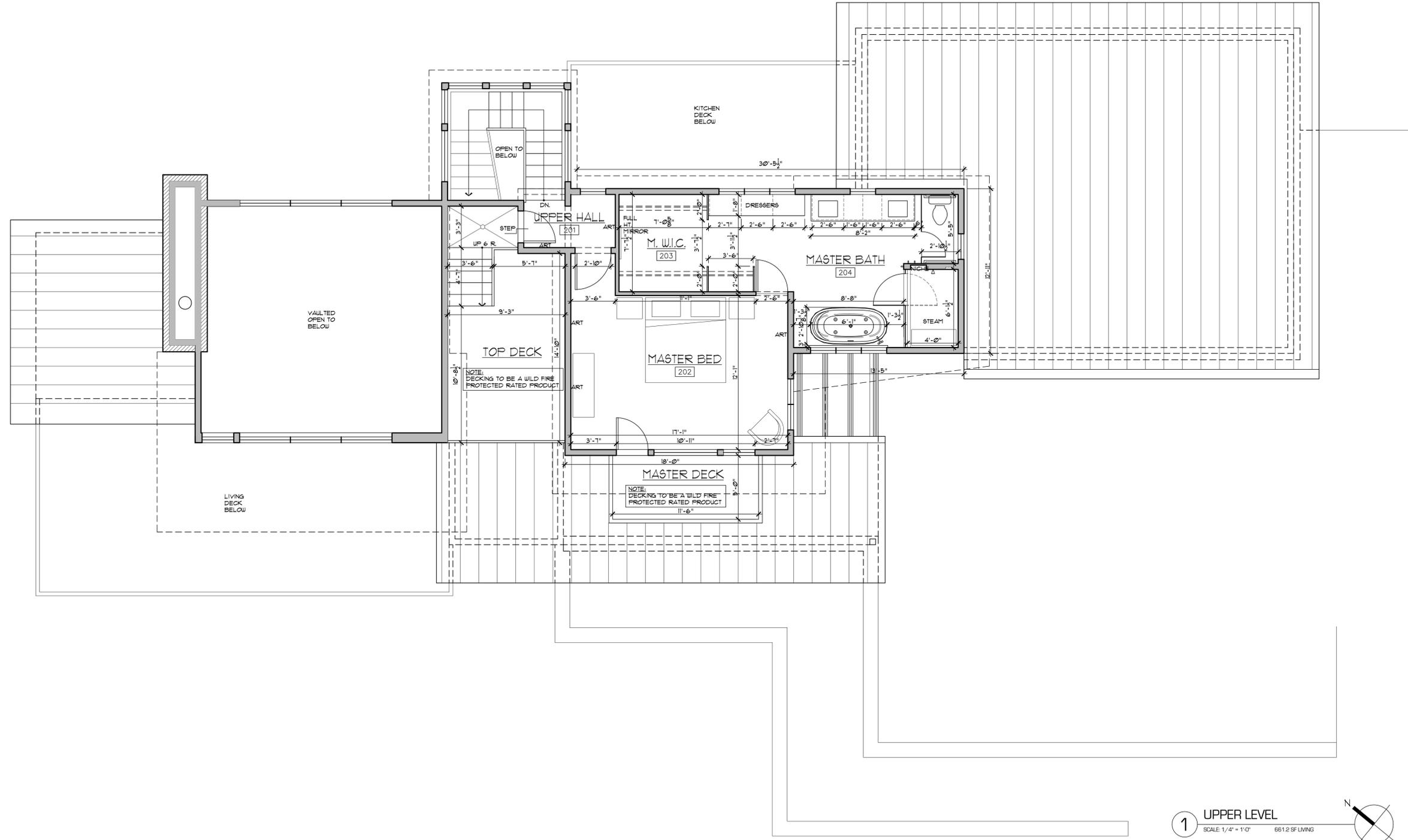
PROJECT: BACCICH RESIDENCE

LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

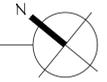
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1 UPPER LEVEL
 SCALE 1/4" = 1'-0" 661.2 SF LIVING



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PROJECT: #2008

BACCICH RESIDENCE

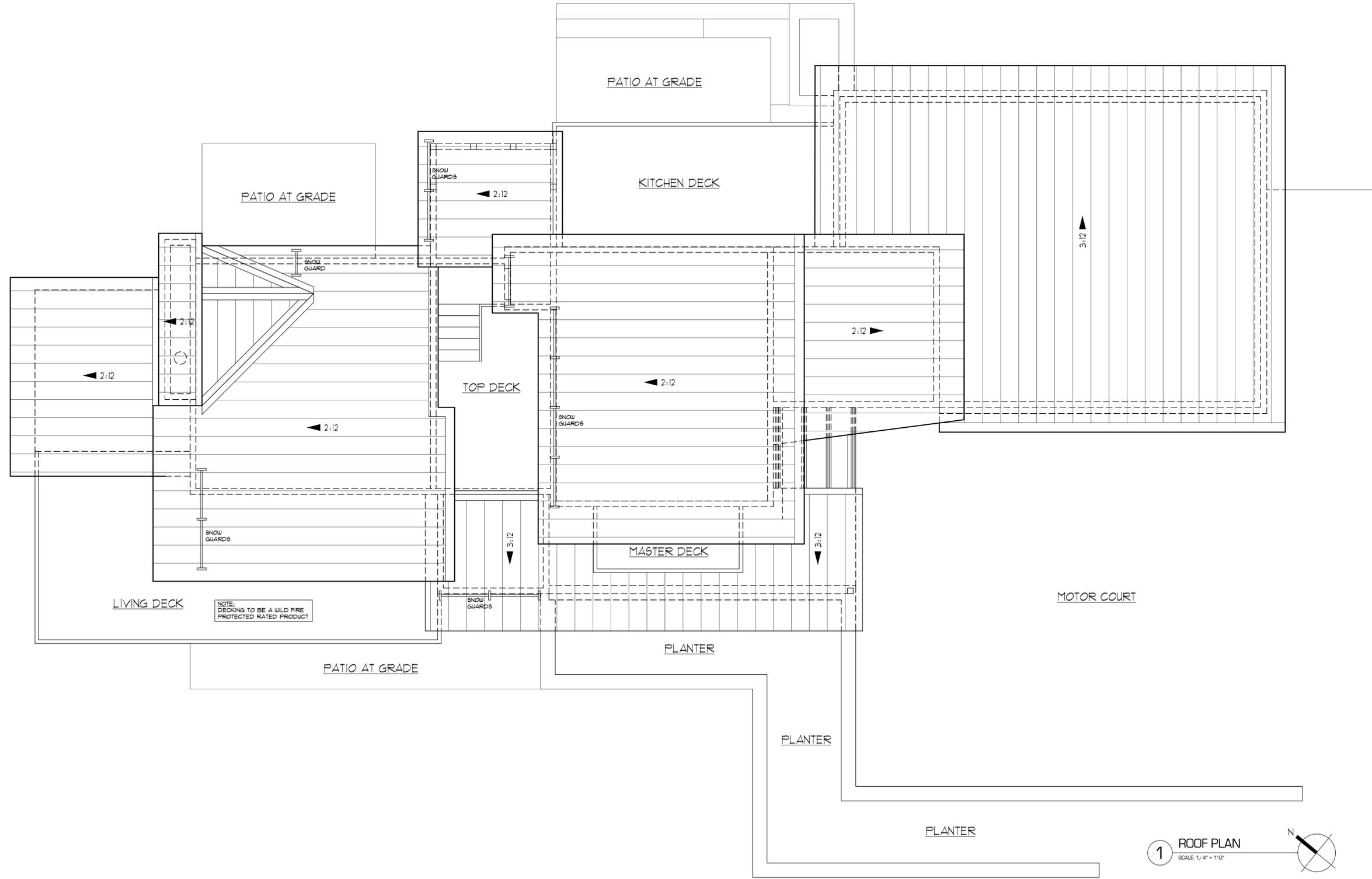
SHEET NUMBER: **A3-3**
 FLOOR PLAN

LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

REVISIONS:

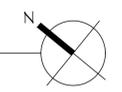
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NOTE:
DECKING TO BE A WILD FIRE
PROTECTED RATED PRODUCT

1 ROOF PLAN
SCALE: 1/4" = 1'0"



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ISSUED FOR:
FEBRUARY 16, 2021
REVIEW SET

PROJECT:
#2008

PROJECT:
BACCICH RESIDENCE

REVISIONS:

SHEET NUMBER:
A3-4
ROOF PLAN

LOCATION:
LOT 729 R-5

91 PENNINGTON PLACE
MOUNTAIN VILLAGE

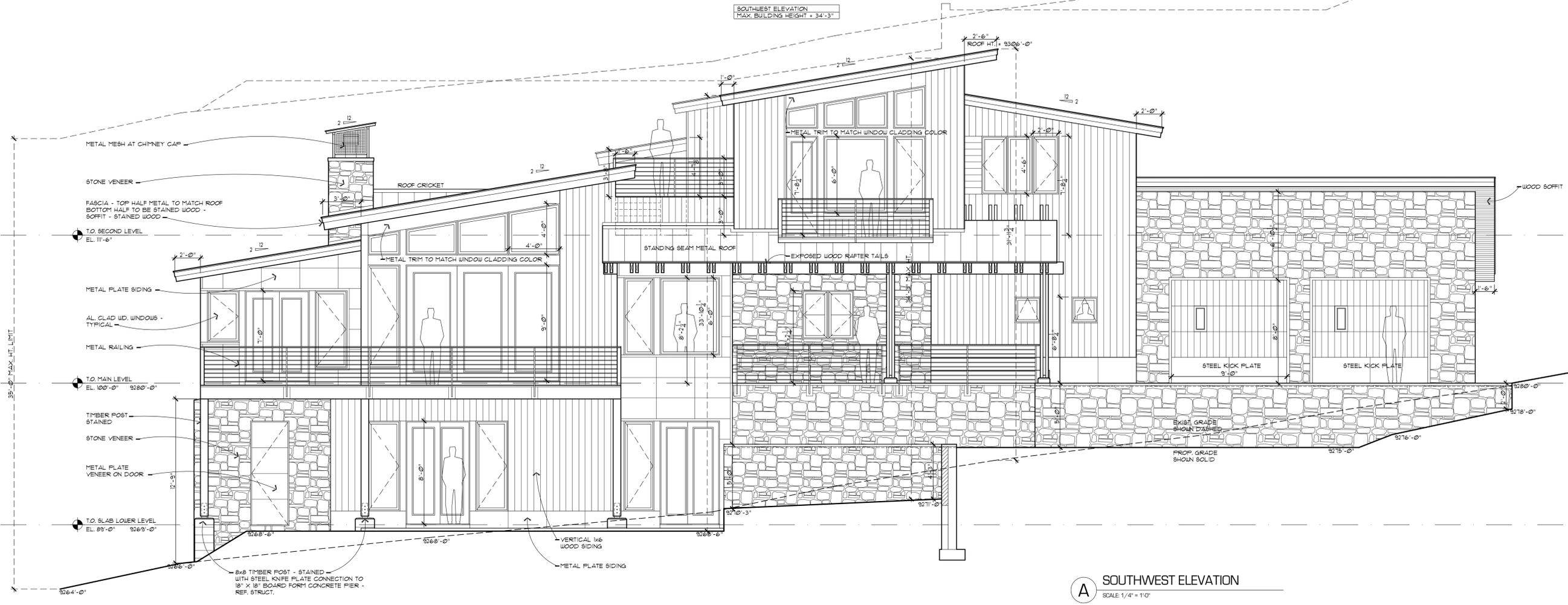
SAN MIGUEL COUNTY

FUSE architecture + interior

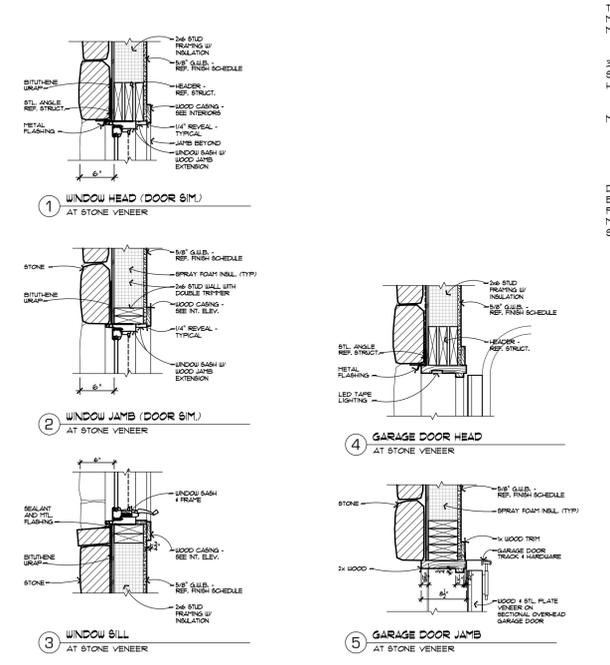
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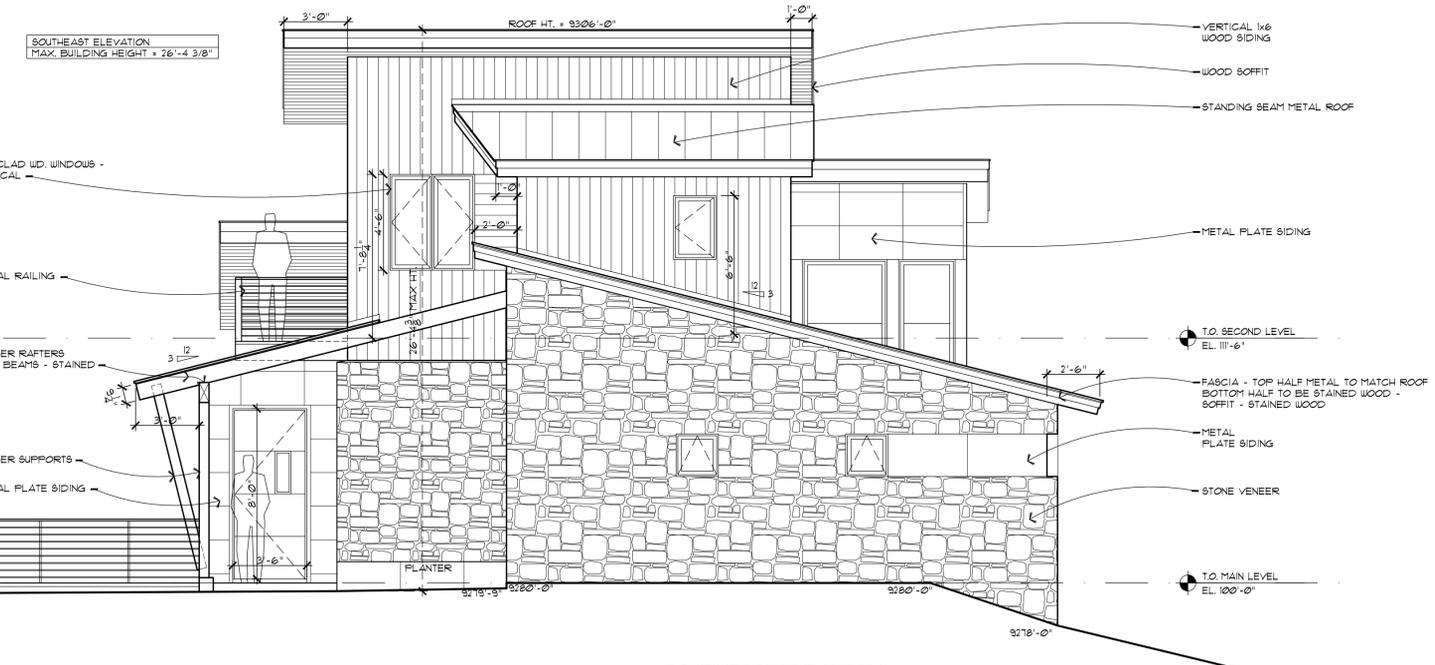




A SOUTHWEST ELEVATION
SCALE 1/4" = 1'-0"



C RAILING DETAIL
SCALE 3/4" = 1'-0"



B SOUTHEAST ELEVATION
SCALE 1/4" = 1'-0"

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DATE: FEBRUARY 16, 2021
ISSUED FOR: REVIEW SET

PROJECT: #2008

REVISIONS:

SHEET NUMBER: A4-1
EXTERIOR ELEVATIONS

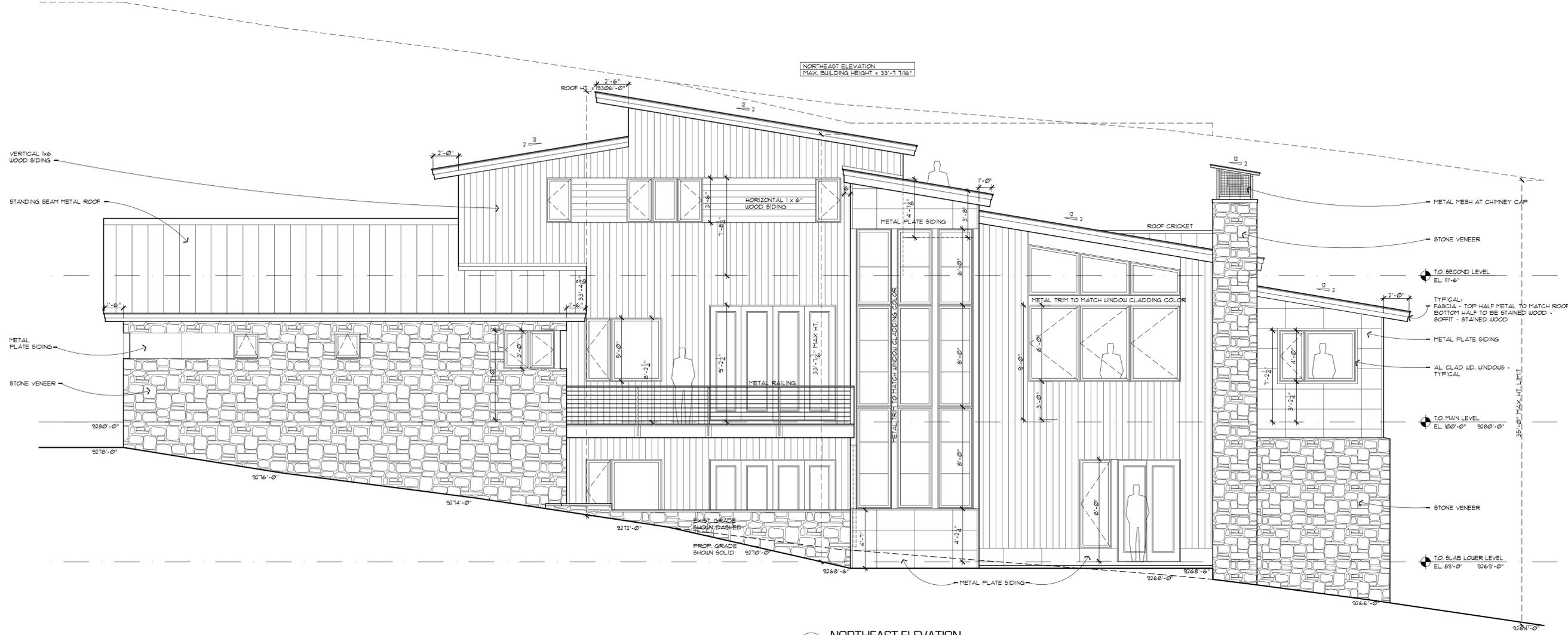
LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

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A NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

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DATE: FEBRUARY 16, 2021
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PROJECT: #2008

SHEET NUMBER: A4-2
EXTERIOR ELEVATIONS

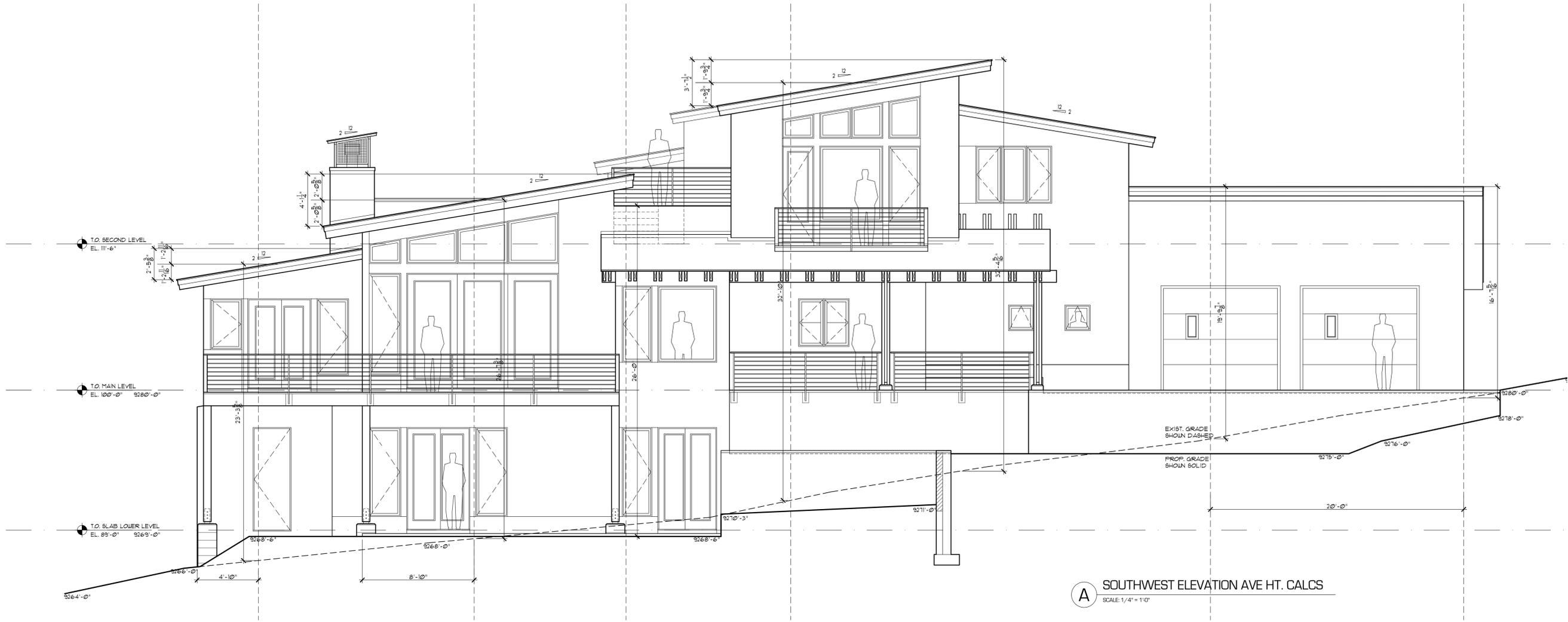
LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

PROJECT: BACCICH RESIDENCE

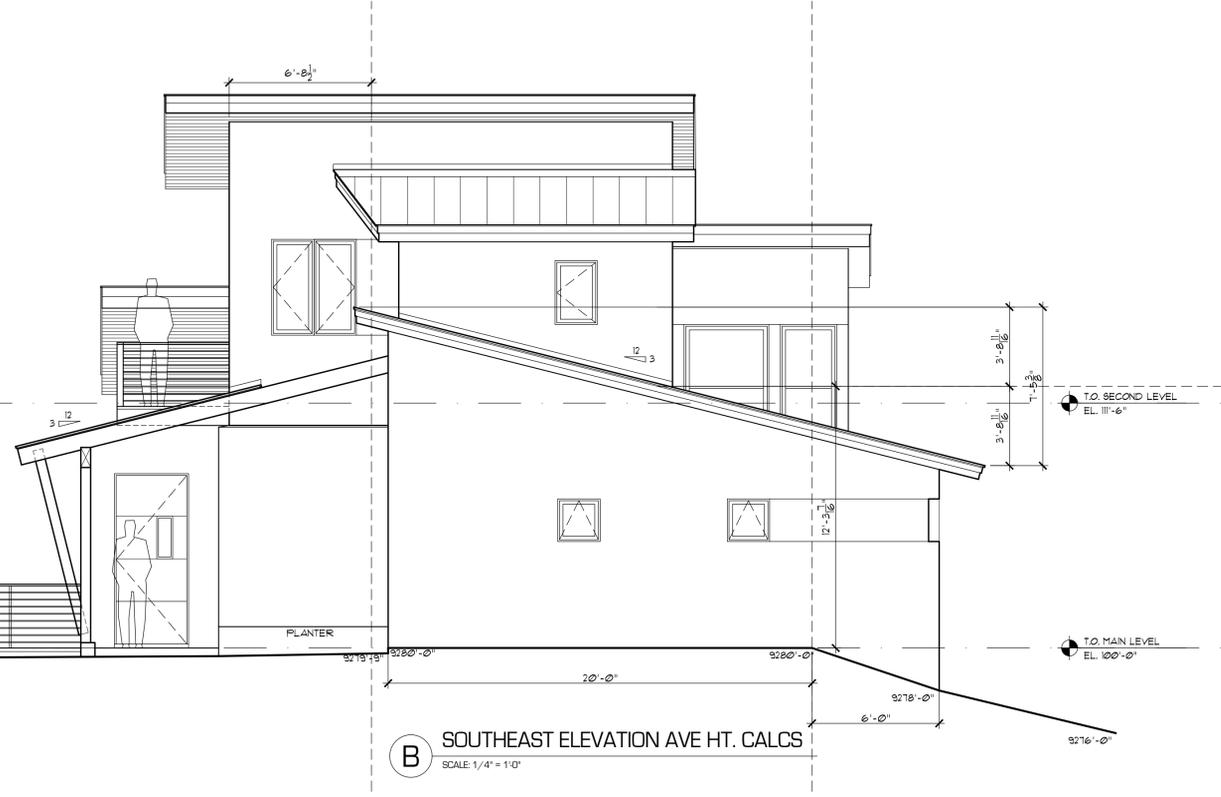
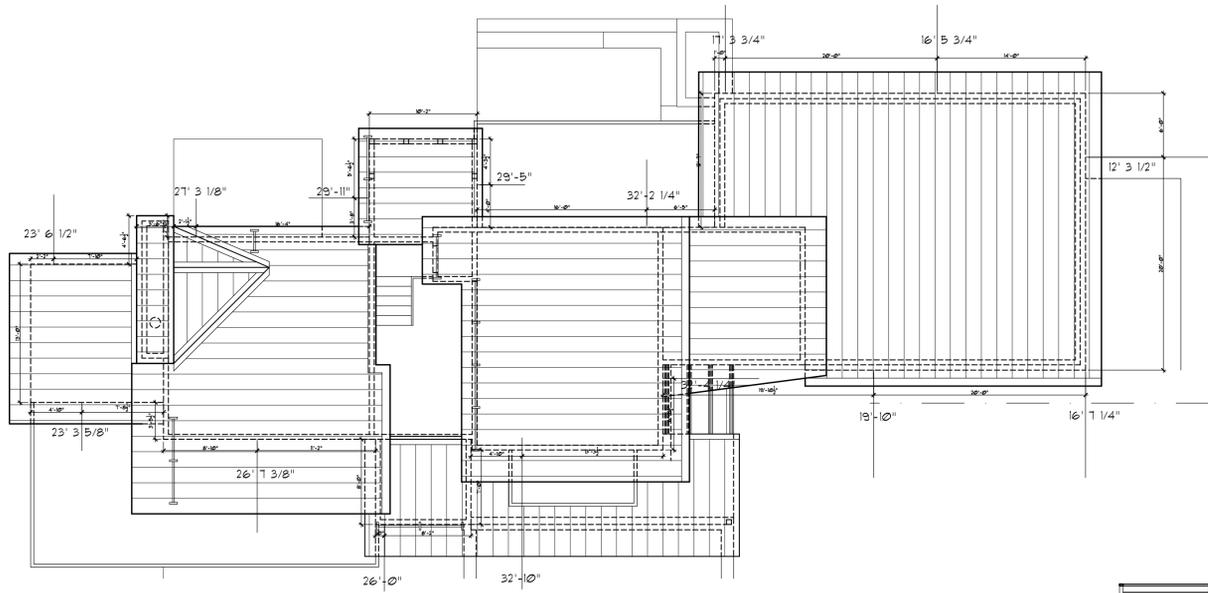
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A SOUTHWEST ELEVATION AVE HT. CALCS
SCALE: 1/4" = 1'-0"



B SOUTHEAST ELEVATION AVE HT. CALCS
SCALE: 1/4" = 1'-0"

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PROJECT: #2008

BACCICH RESIDENCE

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LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

SHEET NUMBER: A4-4
EXTERIOR ELEVATIONS





REVISIONS:

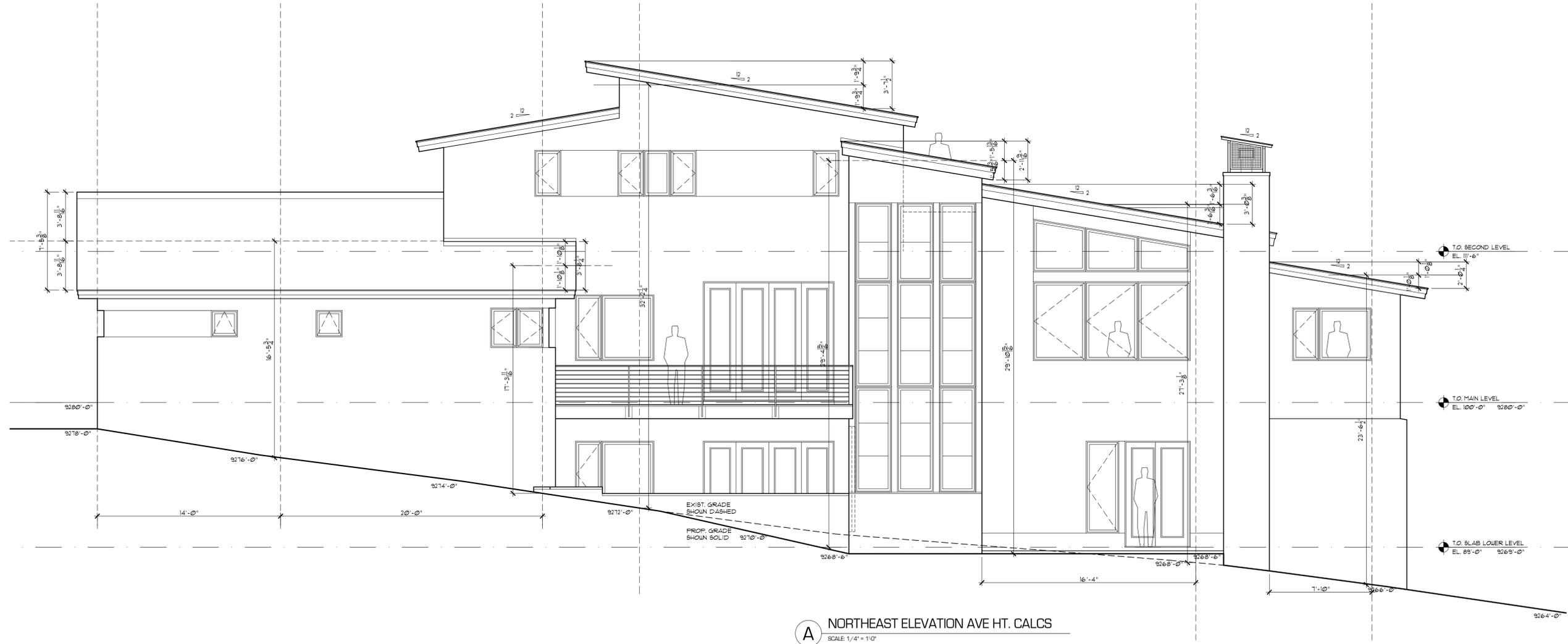
BACCICH RESIDENCE

PROJECT: #2008
 LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

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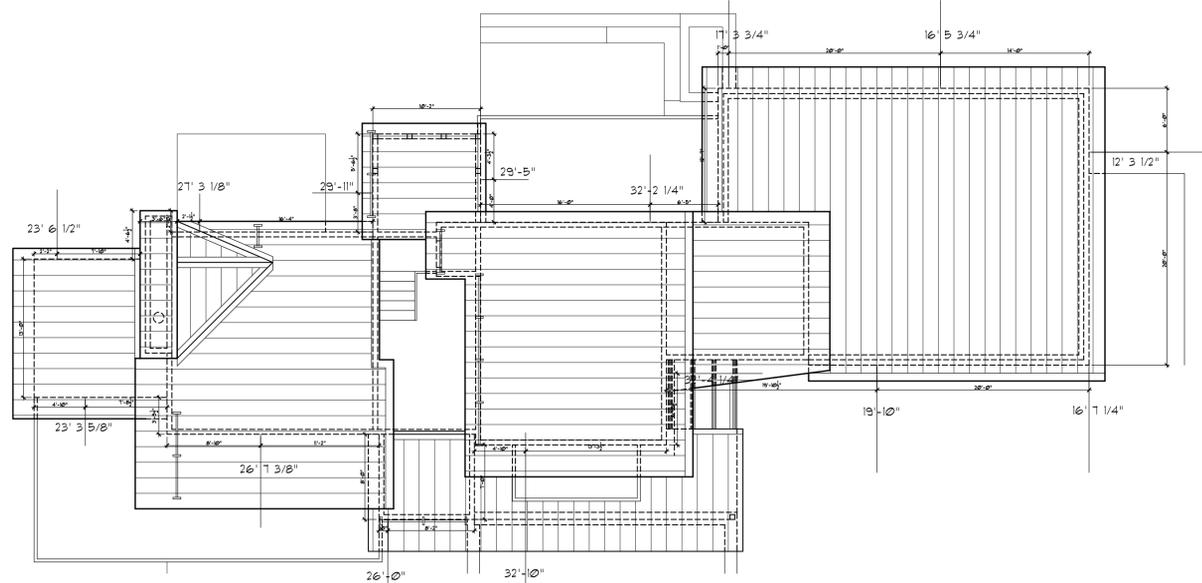
DATE: FEBRUARY 16, 2021
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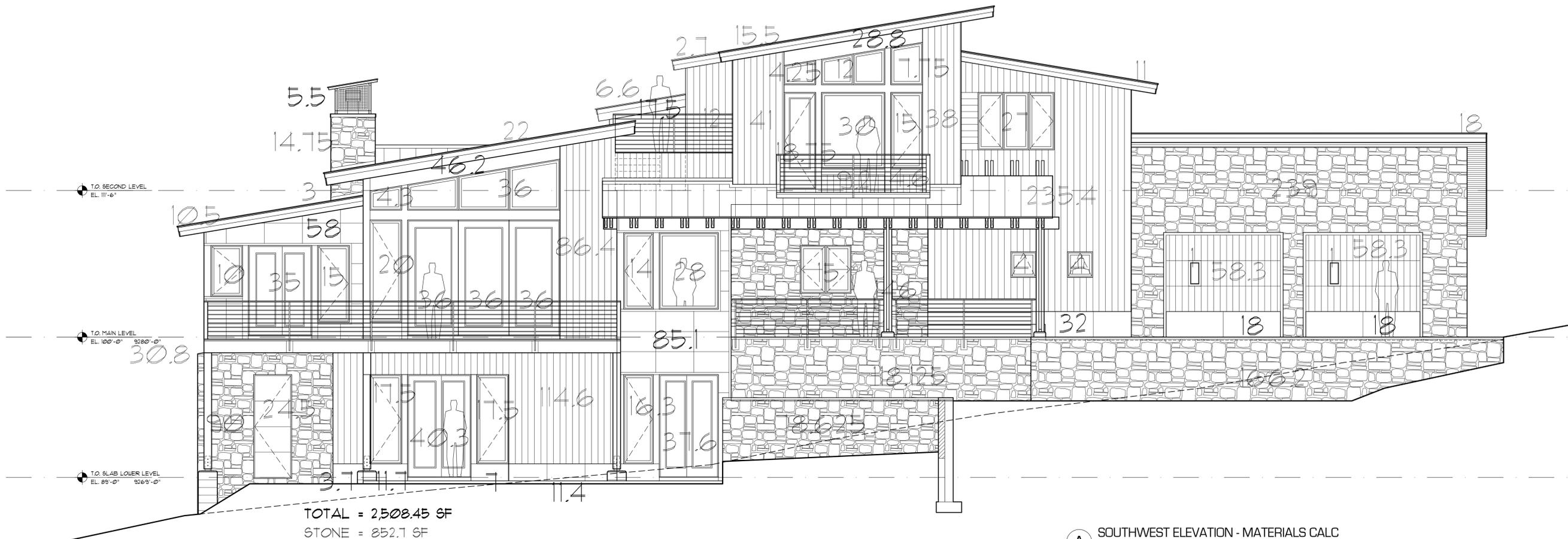
SHEET NUMBER: **A4-5**
 EXTERIOR ELEVATIONS



A NORTHEAST ELEVATION AVE HT. CALCS
 SCALE 1/4" = 1'-0"

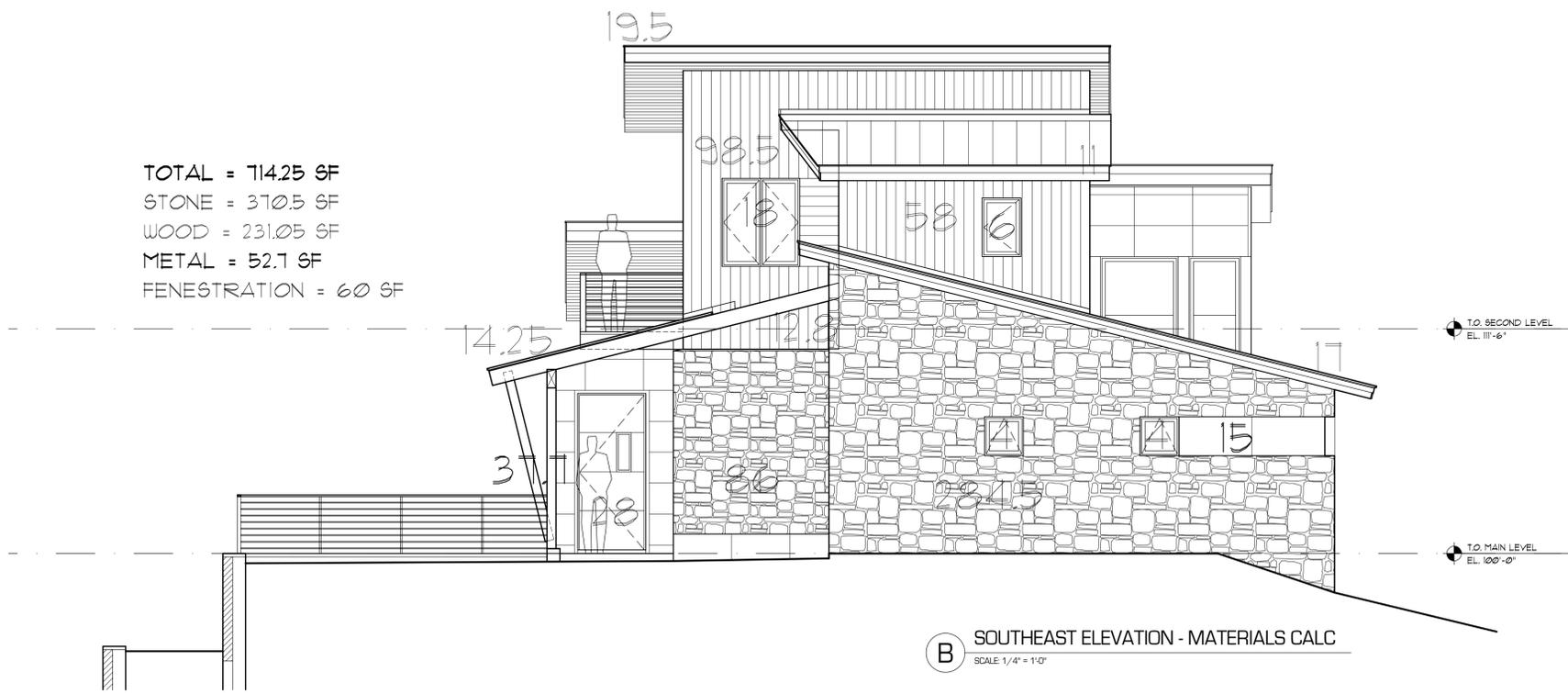
Ave Roof Height	feet	inches	inch in feet	total in feet
16'-7 1/4"	16	7.25	0.60	16.60
12'-3 1/2"	12	3.5	0.29	12.29
16'-5 3/4"	16	5.75	0.48	16.48
17'-3 3/4"	17	3.75	0.31	17.31
32'-2 1/4"	32	2.25	0.19	32.19
29'-5"	29	5	0.42	29.42
29'-11"	29	11	0.92	29.92
27'-3 1/8"	27	3.125	0.26	27.26
23'-6 1/2"	23	6.5	0.54	23.54
23'-3 5/8"	23	3.625	0.30	23.30
26'-7 3/8"	26	7.375	0.61	26.61
26'-0"	26	0	0.00	26.00
32'-10"	32	10	0.83	32.83
32'-4 1/4"	32	4.25	0.35	32.35
19'-10"	19	10	0.83	19.83
24'-4 13/16"			ave height	365.95 24.40





TOTAL = 2508.45 SF
 STONE = 852.1 SF
 WOOD = 149.1 SF
 METAL = 342.9 SF
 FENESTRATION = 563.15 SF

A SOUTHWEST ELEVATION - MATERIALS CALC
 SCALE 1/4" = 1'-0"



TOTAL = 714.25 SF
 STONE = 370.5 SF
 WOOD = 231.05 SF
 METAL = 52.7 SF
 FENESTRATION = 60 SF

B SOUTHEAST ELEVATION - MATERIALS CALC
 SCALE 1/4" = 1'-0"

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DATE: FEBRUARY 16, 2021
 ISSUED FOR: REVIEW SET

PROJECT: #2008

SHEET NUMBER: A4-6
 EXTERIOR ELEVATIONS

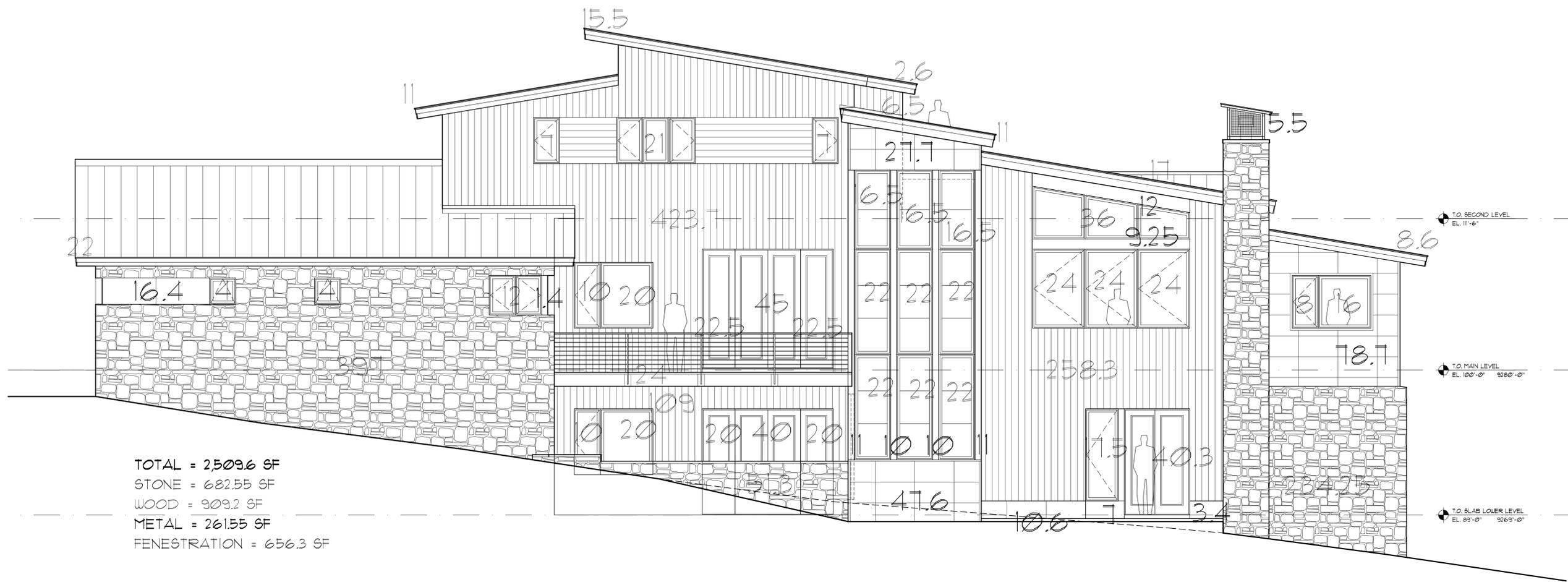
LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

PROJECT: BACCICH RESIDENCE

REVISIONS:

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TOTAL = 2,509.6 SF
 STONE = 682.55 SF
 WOOD = 909.2 SF
 METAL = 261.55 SF
 FENESTRATION = 656.3 SF

A NORTHEAST ELEVATION - MATERIAL CALCS
 SCALE: 1/4" = 1'-0"

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DATE: FEBRUARY 16, 2021
ISSUED FOR: REVIEW SET

PROJECT: #2008

SHEET NUMBER: A4-7
EXTERIOR ELEVATIONS

LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

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ELEVATION MATERIALS CALCS

OVERALL TOTAL = 7,111.65 SF
 STONE = 2,740.3 SF 38.5%
 WOOD = 2,163.2 SF 30.4%
 METAL = 1,088.35 SF 15.4%
 FENESTRATION = 1,125.8 SF 15.7%

S.W. ELEV TOTAL = 2,508.45 SF
 STONE = 852.1 SF
 WOOD = 749.1 SF
 METAL = 342.9 SF
 FENESTRATION = 563.15 SF

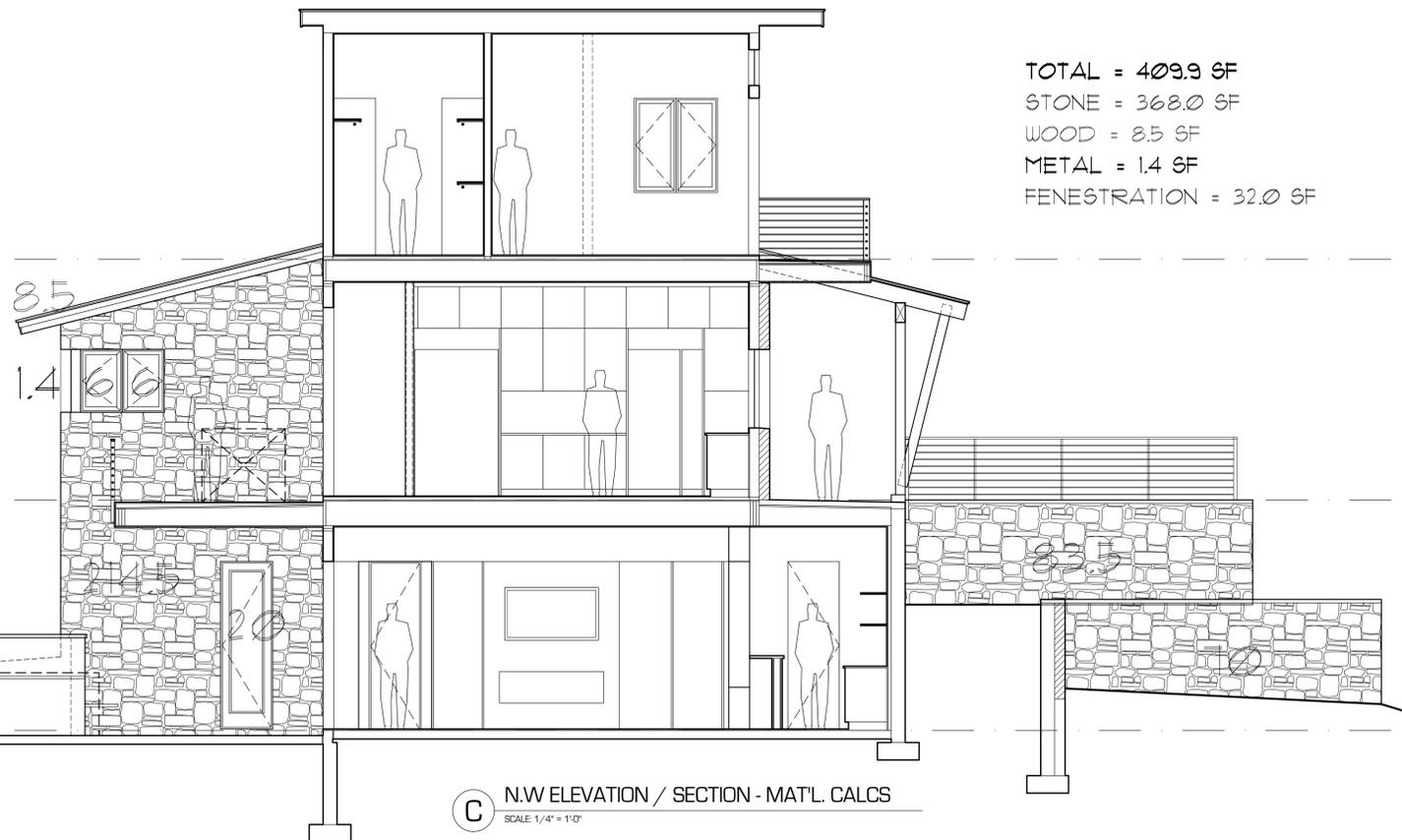
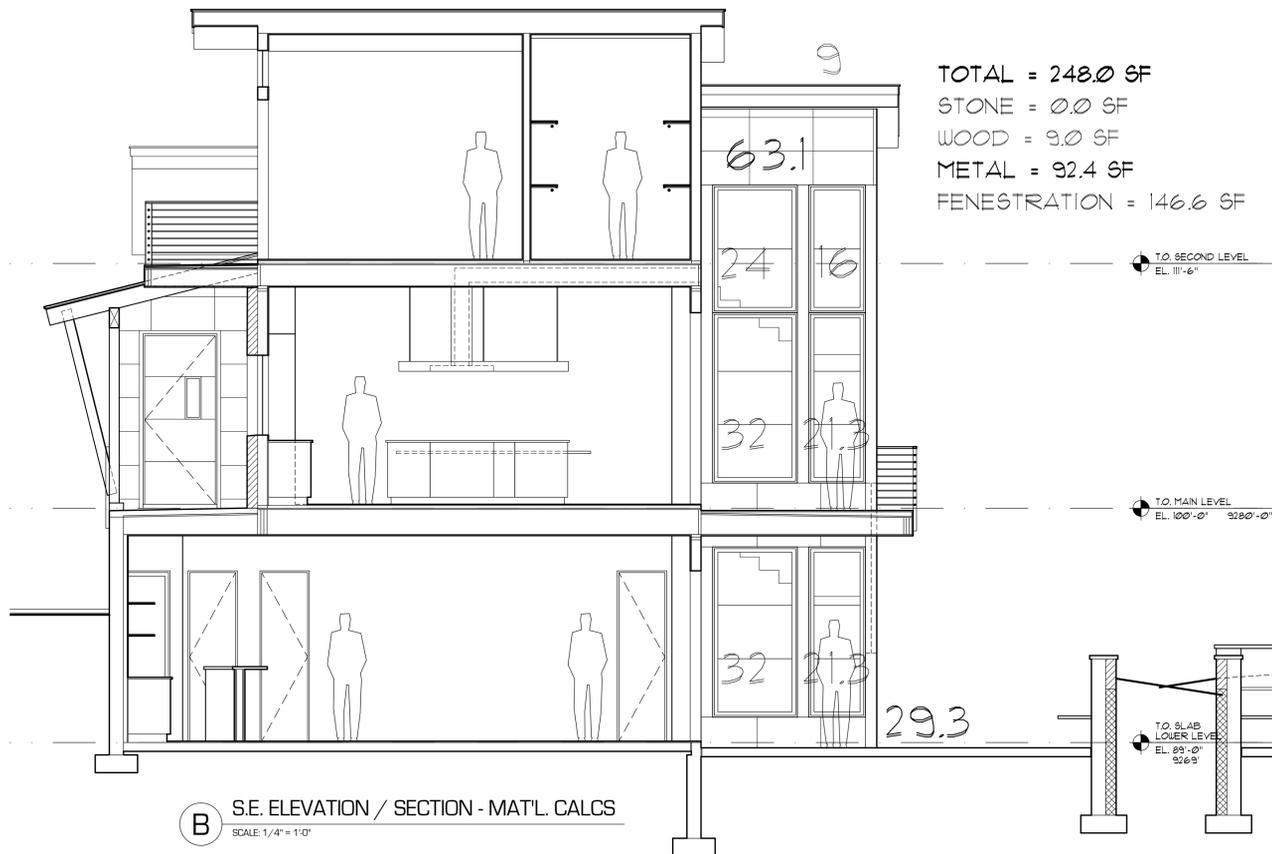
S.E. ELEV TOTAL = 714.25 SF
 STONE = 370.5 SF
 WOOD = 231.05 SF
 METAL = 52.1 SF
 FENESTRATION = 60 SF

N.E. ELEV TOTAL = 2,509.6 SF
 STONE = 682.55 SF
 WOOD = 909.2 SF
 METAL = 261.55 SF
 FENESTRATION = 656.3 SF

N.W. ELEV TOTAL = 1,321.45 SF
 STONE = 466.55 SF
 WOOD = 256.35 SF
 METAL = 337.4 SF
 FENESTRATION = 267.15 SF

N.W. ELEV/SECTION TOTAL = 409.9 SF
 STONE = 368.0 SF
 WOOD = 8.5 SF
 METAL = 1.4 SF
 FENESTRATION = 32.0 SF

S.E. ELEV/SECTION TOTAL = 248.0 SF
 STONE = 0.0 SF
 WOOD = 9.0 SF
 METAL = 92.4 SF
 FENESTRATION = 146.6 SF



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BACCICH RESIDENCE

PROJECT: #2008

DATE: FEBRUARY 16, 2021
ISSUED FOR: REVIEW SET

SHEET NUMBER: A4-8

LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

EXTERIOR ELEVATIONS

FUSE architecture + interior

220 East Colorado Ave., Suite 218 P.O.Box 3984 Telluride CO 81435. Office: 970-728-0841

FOR REVIEW ONLY NOT FOR CONSTRUCTION



A WEST SIDE FROM ABOVE
SCALE: N.T.S.



B SOUTH SIDE FROM ABOVE
SCALE: N.T.S.



C EAST SIDE FROM ABOVE
SCALE: N.T.S.



D NORTH SIDE FROM ABOVE
SCALE: N.T.S.

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PROJECT: #2008

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SHEET NUMBER: **A4-9**
3D VIEWS

LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

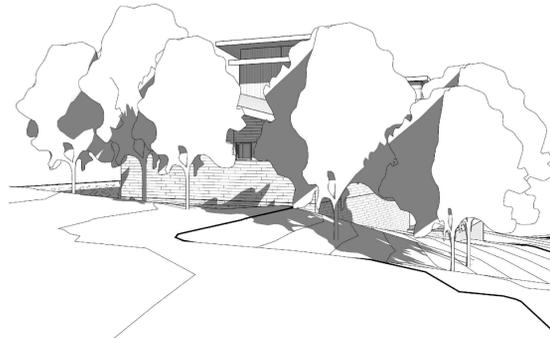




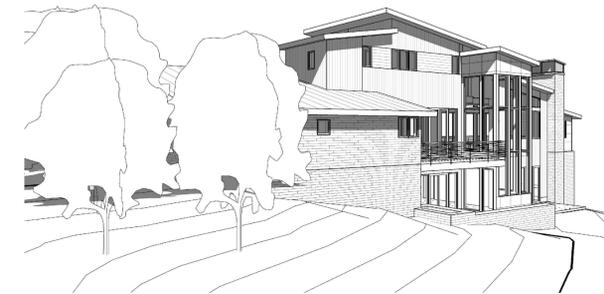
A SOUTH STREET VIEW
SCALE: N.T.S.



B SOUTH DRIVE VIEW
SCALE: N.T.S.



C SOUTH STREET VIEW
SCALE: N.T.S.



D SOUTHEAST STREET VIEW
SCALE: N.T.S.



E SOUTHEAST VIEW
SCALE: N.T.S.



F EAST VIEW
SCALE: N.T.S.



G NORTHEAST VIEW
SCALE: N.T.S.



H NORTH VIEW
SCALE: N.T.S.



J NORTHWEST VIEW
SCALE: N.T.S.



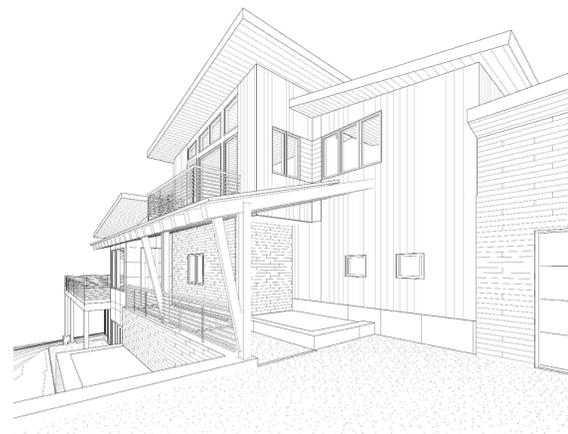
K NORTHWEST VIEW
SCALE: N.T.S.



L WEST VIEW
SCALE: N.T.S.



M SOUTHWEST VIEW
SCALE: N.T.S.



N ENTRY VIEW 1
SCALE: N.T.S.



P ENTRY VIEW 2
SCALE: N.T.S.

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DATE: FEBRUARY 16, 2021
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PROJECT: #2008

SHEET NUMBER: A4-10
3D VIEWS

LOCATION: LOT 729 R-5

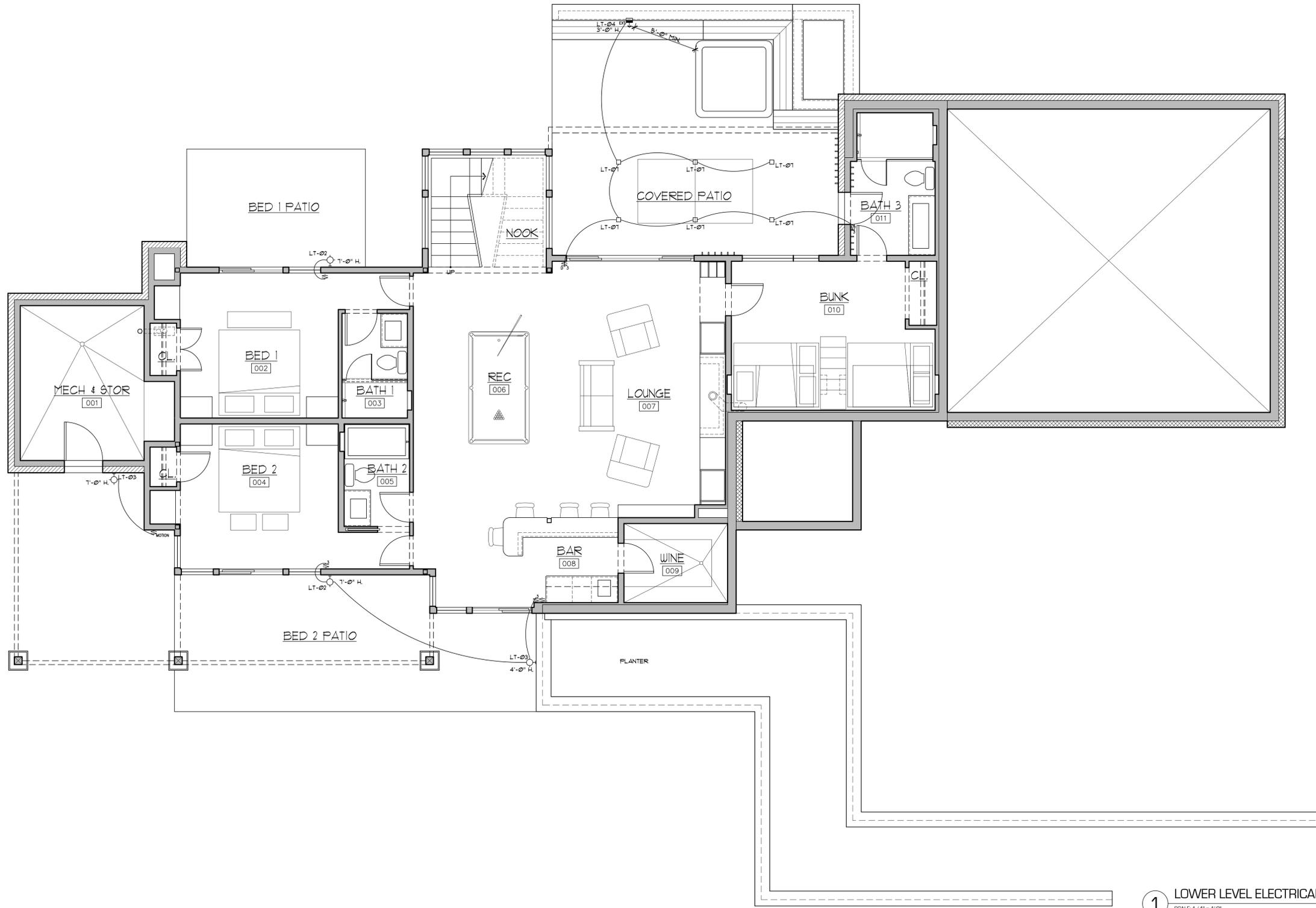
BACCICH RESIDENCE

91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

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REVISIONS:





1 LOWER LEVEL ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

SYMBOLS LEGEND			
⊕	110V. DUPLEX RECEPTACLE	⬇	RECESSED STEP/PATH LIGHT
⊕ _C	110V. DUPLEX RECEPTACLE VER. HT. ABOVE COUNTER	⬆	CEILING MOUNTED DIRECTIONAL ART LIGHT
⊕ _{GI}	110V. DUPLEX RECEPTACLE GROUND FAULT INTERRUPT	□	RECESSED DOWNLIGHT
⊕ _{WP}	110V. DUPLEX RECEPTACLE WATERPROOF	○	RECESSED DOWNLIGHT - VAPOR PROOF
⊕ _{TS}	110V. DUPLEX RECEPTACLE TOP SWITCH CONTROLLED	⊙	FIXTURE - CEILING MOUNTED (EXT. - EXTERIOR SPEC. REQ'D.)
⊕ ₂₂₀	220 V. RECEPTACLE	⊙	FIXTURE - CLG. MTD. PENDANT
⊕	110V. DUPLEX RECEPTACLE FLUSH FLOOR MOUNTED	⊙	FIXTURE - WALL MOUNTED (VERIFY HEIGHT - TYPICAL)
⊕	110V. DUPLEX RECEPTACLE CEILING MOUNTED	⊙	WALL WASH / SCONCE
		⊙	UPLIGHTING - WALL MTD.
		⊙	RECESSED DOWNLIGHT
		⊙	RECESSED DOWNLIGHT - VAPOR PROOF
		⊙	FIXTURE - CEILING MOUNTED (EXT. - EXTERIOR SPEC. REQ'D.)
		⊙	FIXTURE - CLG. MTD. PENDANT
		⊙	FIXTURE - WALL MOUNTED (VERIFY HEIGHT - TYPICAL)
		⊙	WALL WASH / SCONCE
		⊙	UPLIGHTING - WALL MTD.
		⊙	STRIP OR COVE LIGHTING
		⊙	SWING ARM SCONCE
		⊙	BOLLARD LIGHTS
		⊙	FLUORESCENT FIXTURE (VERIFY SIZE)
		⊙	SMOKE DETECTOR
		⊙	EXHAUST FAN - SEE SPEC
		⊙	GARBAGE DISPOSAL
		⊙	DOOR CHIME
		⊙	JETTED BATHTUB PUMP - VERIFY LOCATION
		⊙	ELECTRIC METER
		⊙	MAIN ELECTRICAL PANEL
		⊙	CEILING SPEAKER - RECESSED
		⊙	WALL SPEAKER - RECESSED U.N.O.
		⊙	CEILING FAN
		⊙	TELEPHONE OUTLET
		⊙	TV OUTLET
		⊙	FUTURE-PROOF (2) COAXIAL (VCR/CABLE) OUTLET (2) FIBER OPTIC (2) CAT-5 (PHONE/COMPUTER)
		⊙	SWITCH @ DOOR
		⊙	SINGLE POLE SWITCH
		⊙	THREE WAY SINGLE POLE SWITCH
		⊙	FOUR WAY SINGLE POLE SWITCH
		⊙	MOTION SENSOR SWITCH

- ELECTRICAL NOTES:**
- PRIOR TO ANY WORK BEING PERFORMED UNDER THIS DIVISION CONTRACTOR TO EXAMINE ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS AND IF ANY DISCREPANCIES OCCUR BETWEEN THEM AND THE ELECTRICAL DRAWINGS AND SPECIFICATIONS REPORT TO ARCHITECT TO OBTAIN DIRECTION.
 - CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS WITH EQUIPMENT AND APPLIANCE SPECIFICATIONS THROUGHOUT.
 - CONTRACTOR TO COORDINATE OUTLET LOCATIONS AT ALL CMU AND CONCRETE WALLS.
 - ELECTRICAL CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL ELECTRICAL SWITCHES, OUTLETS AND FIXTURES WITH OWNER, CONTRACTOR AND ARCHITECT.
 - CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL SMOKE DETECTORS WITH OWNER, CONTRACTOR AND ARCHITECT.
 - ELECTRICAL CONTRACTOR TO PROVIDE OUTLETS AT ALL LOCATIONS TO STANDARDS SET FORTH AND WITHIN COMPLETE ACCORDANCE WITH ALL GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE WORK INCLUDING LOCAL UTILITIES AND IN ACCORDANCE WITH THE FIRE UNDERWRITERS REQUIREMENTS. FIELD VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
 - TYPICAL SWITCH HEIGHT AT 42" AFF. (UNØ)
 - TYPICAL SWITCH HEIGHT AT 36" AFF AT BED LOCATIONS (UNØ)

FOR REVIEW ONLY NOT FOR CONSTRUCTION

DATE: FEBRUARY 16, 2021
ISSUED FOR: REVIEW SET

PROJECT: #2008

BACCICH RESIDENCE

REVISIONS:

SHEET NUMBER: A10-1
ELECTRICAL PLAN

LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

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REVISIONS:

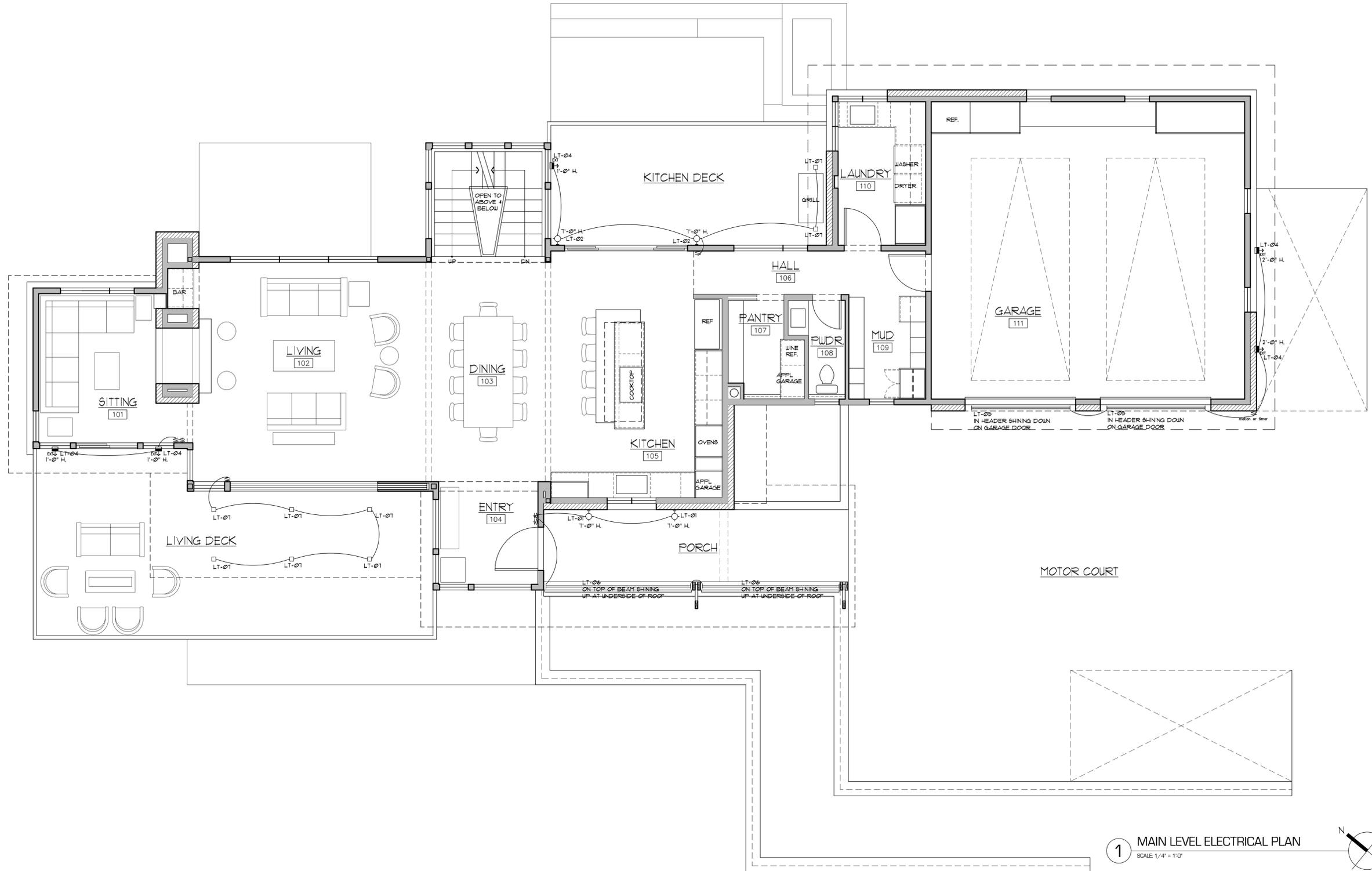
BACCICH RESIDENCE

PROJECT: #2008

DATE: FEBRUARY 16, 2021
ISSUED FOR: REVIEW SET

LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

SHEET NUMBER: A10-2
ELECTRICAL PLAN

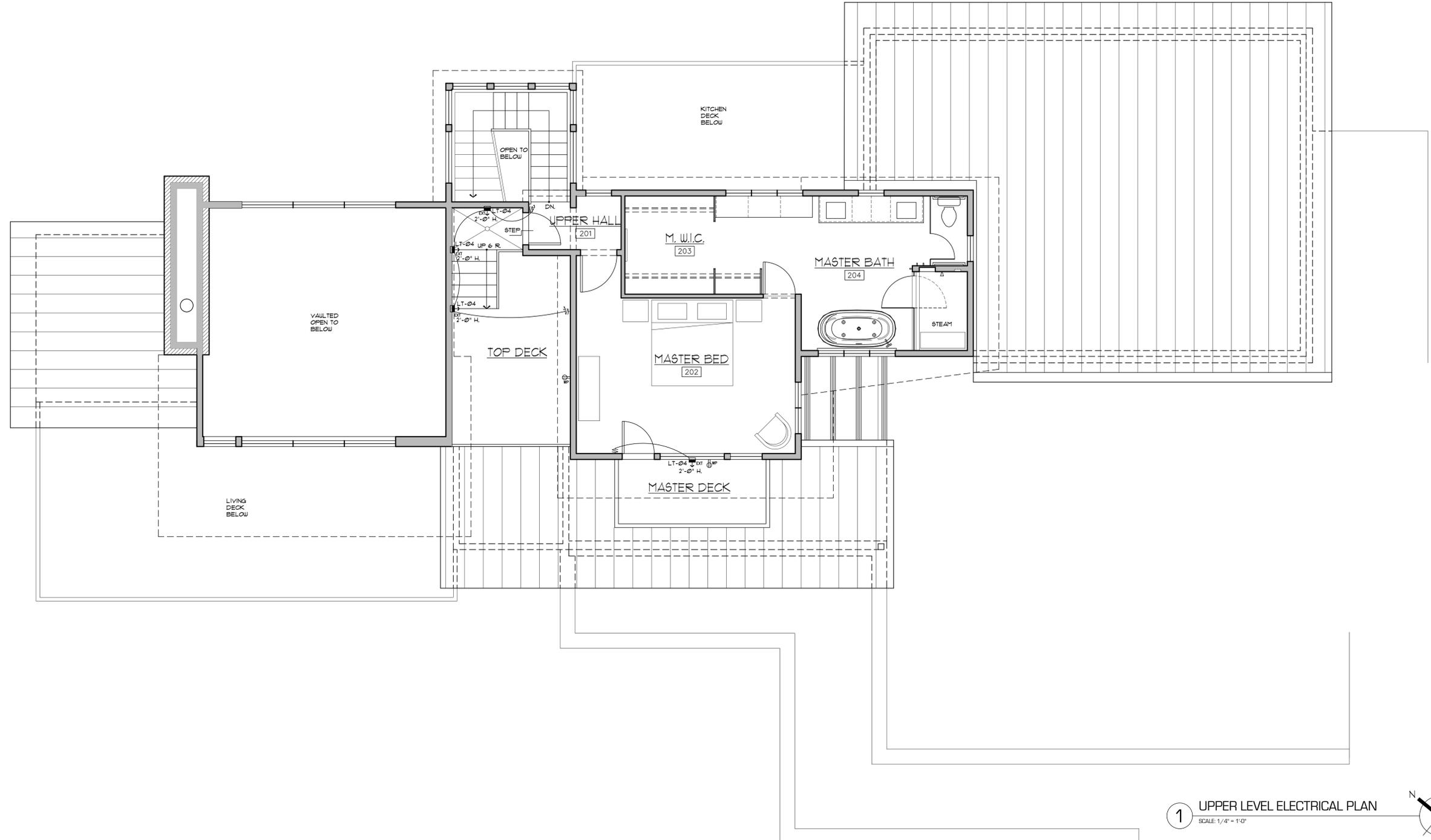


1 MAIN LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

SYMBOLS LEGEND			
⊕	110V. DUPLEX RECEPTACLE	▬	RECESSED STEP/PATH LIGHT
⊕ _{HT}	110V. DUPLEX RECEPTACLE VERT. HT. ABOVE COUNTER	⊕	STRIP OR COVE LIGHTING
⊕ _{GI}	110V. DUPLEX RECEPTACLE GROUND FAULT INTERRUPT	⊕	SWING ARM SCONCE
⊕ _{WP}	110V. DUPLEX RECEPTACLE WATERPROOF	●	BOLLARD LIGHTS
⊕ _{TS}	110V. DUPLEX RECEPTACLE TOP SWITCH CONTROLLED	⊕	FLUORESCENT FIXTURE (VERIFY SIZE)
⊕ ₂₂₀	220 V. RECEPTACLE	⊕	SWITCH @ DOOR
⊕	110V. DUPLEX RECEPTACLE FLUSH FLOOR MOUNTED	⊕	SINGLE POLE SWITCH
⊕	110V. DUPLEX RECEPTACLE CEILING MOUNTED	⊕	THREE WAY SINGLE POLE SWITCH
		⊕	FOUR WAY SINGLE POLE SWITCH
		⊕	MOTION SENSOR SWITCH
⊕	RECESSED DOWNLIGHT	⊕	CEILING MOUNTED DIRECTIONAL ART LIGHT
⊕ _{VP}	RECESSED DOWNLIGHT - VAPOR PROOF	⊕	FIXTURE - CEILING MOUNTED (EXT. + EXTERIOR SPEC. REQ'D.)
⊕	FIXTURE - CLG. MTD. PENDANT	⊕	FIXTURE - WALL MOUNTED (VERIFY HEIGHT - TYPICAL)
⊕	FIXTURE - WALL MOUNTED (VERIFY HEIGHT - TYPICAL)	⊕	WALL WASH / SCONCE
⊕	UPLIGHTING - WALL MTD.		

- ELECTRICAL NOTES:**
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 - CONTRACTOR SHALL COORDINATE WALK-THROUGH TO VERIFY LOCATION OF ALL SMOKE DETECTORS WITH OWNER, CONTRACTOR AND ARCHITECT.
 - TYPICAL SWITCH HEIGHT AT 42" AFF. (UNØ) TYPICAL SWITCH HEIGHT AT 36" AFF AT BED LOCATIONS (UNØ).

FOR REVIEW ONLY NOT FOR CONSTRUCTION



1 UPPER LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

SYMBOLS LEGEND			
⊕	10V. DUPLEX RECEPTACLE	▬	RECESSED STEP/PATH LIGHT
⊕ _C	10V. DUPLEX RECEPTACLE VER. HT. ABOVE COUNTER	⊕	CEILING MOUNTED DIRECTIONAL ART LIGHT
⊕ _{GR}	10V. DUPLEX RECEPTACLE GROUND FAULT INTERRUPT	□	RECESSED DOWNLIGHT
⊕ _{WP}	10V. DUPLEX RECEPTACLE WATERPROOF	○	RECESSED DOWNLIGHT - VAPOR PROOF
⊕ _{TS}	10V. DUPLEX RECEPTACLE TOP SWITCH CONTROLLED	⊕	FIXTURE - CEILING MOUNTED (EXT. + EXTERIOR SPEC. REQ'D.)
⊕ ₂₂₀	220 V. RECEPTACLE	⊕	FIXTURE - CLG. MTD. PENDANT
⊕	10V. DUPLEX RECEPTACLE FLUSH FLOOR MOUNTED	⊕	FIXTURE - WALL MOUNTED (VERIFY HEIGHT - TYPICAL)
⊕	10V. DUPLEX RECEPTACLE CEILING MOUNTED	⊕	WALL WASH / SCONCE
		⊕	UPLIGHTING - WALL MTD.
		⊕	STRIP OR COVE LIGHTING
		⊕	SWING ARM SCONCE
		●	BOLLARD LIGHTS
		▭	FLUORESCENT FIXTURE (VERIFY SIZE)
		⊕	SWITCH @ DOOR
		⊕	SINGLE POLE SWITCH
		⊕	THREE WAY SINGLE POLE SWITCH
		⊕	FOUR WAY SINGLE POLE SWITCH
		⊕	MOTION SENSOR SWITCH
⊕	SMOKE DETECTOR	⊕	CEILING FAN
⊕	EXHAUST FAN - SEE SPEC	⊕	TELEPHONE OUTLET
⊕	GARBAGE DISPOSAL	⊕	TV OUTLET
⊕	DOOR CHIME	⊕	FUTURE-PROOF (2) COAXIAL (VCR/CABLE) OUTLET (2) FIBER OPTIC (2) CAT-5 (PHONE/COMPUTER)
⊕	JETTED BATHTUB PUMP - VERIFY LOCATION	⊕	ELECTRIC METER
⊕	MAIN ELECTRICAL PANEL	⊕	CEILING SPEAKER - RECESSED
⊕	CEILING SPEAKER - RECESSED	⊕	WALL SPEAKER - RECESSED U.N.O.

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FOR REVIEW ONLY NOT FOR CONSTRUCTION

DATE: FEBRUARY 16, 2021
ISSUED FOR: REVIEW SET

PROJECT: #2008

PROJECT: BACCICH RESIDENCE

REVISIONS:

SHEET NUMBER: A10-3
ELECTRICAL PLAN

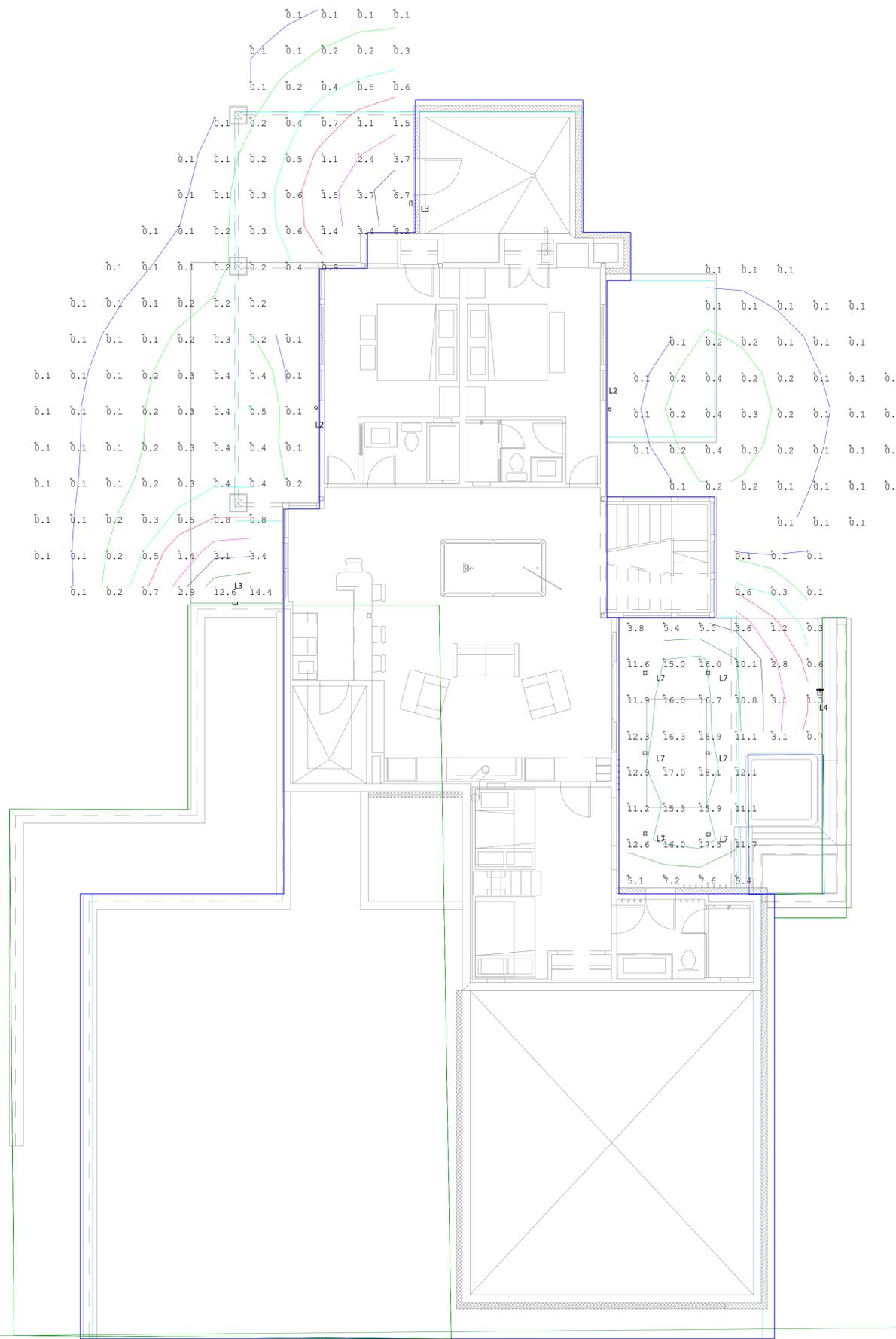
LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

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Luminaire Schedule					
Symbol	Qty	Label	Total Lamp Lumens	LLF	Tag
○	2	L_WS-W13718	275	0.750	L2
□	1	4011-30SS A011416	22.646	0.750	L4
□	6	102171228CHI-097 GB EN35-LO93	N.A.	0.668	L7
□	2	102171228CHI-032 GB 7000WSFIT	N.A.	1.000	L3

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bedroom Patio_1	Illuminance	Fc	0.15	0.4	0.1	1.50	4.00
Lower Level Entry	Illuminance	Fc	0.82	14.4	0.1	8.20	144.00
Lower Level Hot Tub	Illuminance	Fc	8.57	18.1	0.1	85.70	181.00



FOR REVIEW ONLY NOT FOR CONSTRUCTION

DATE: FEBRUARY 17, 2021
ISSUED FOR: REVIEW SET

SHEET NUMBER: A10-4
LEVEL 0 - EXT LIGHTING CALC

PROJECT: #2008

LOCATION: LOT 729 R-5 91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

PROJECT: BACCICH RESIDENCE

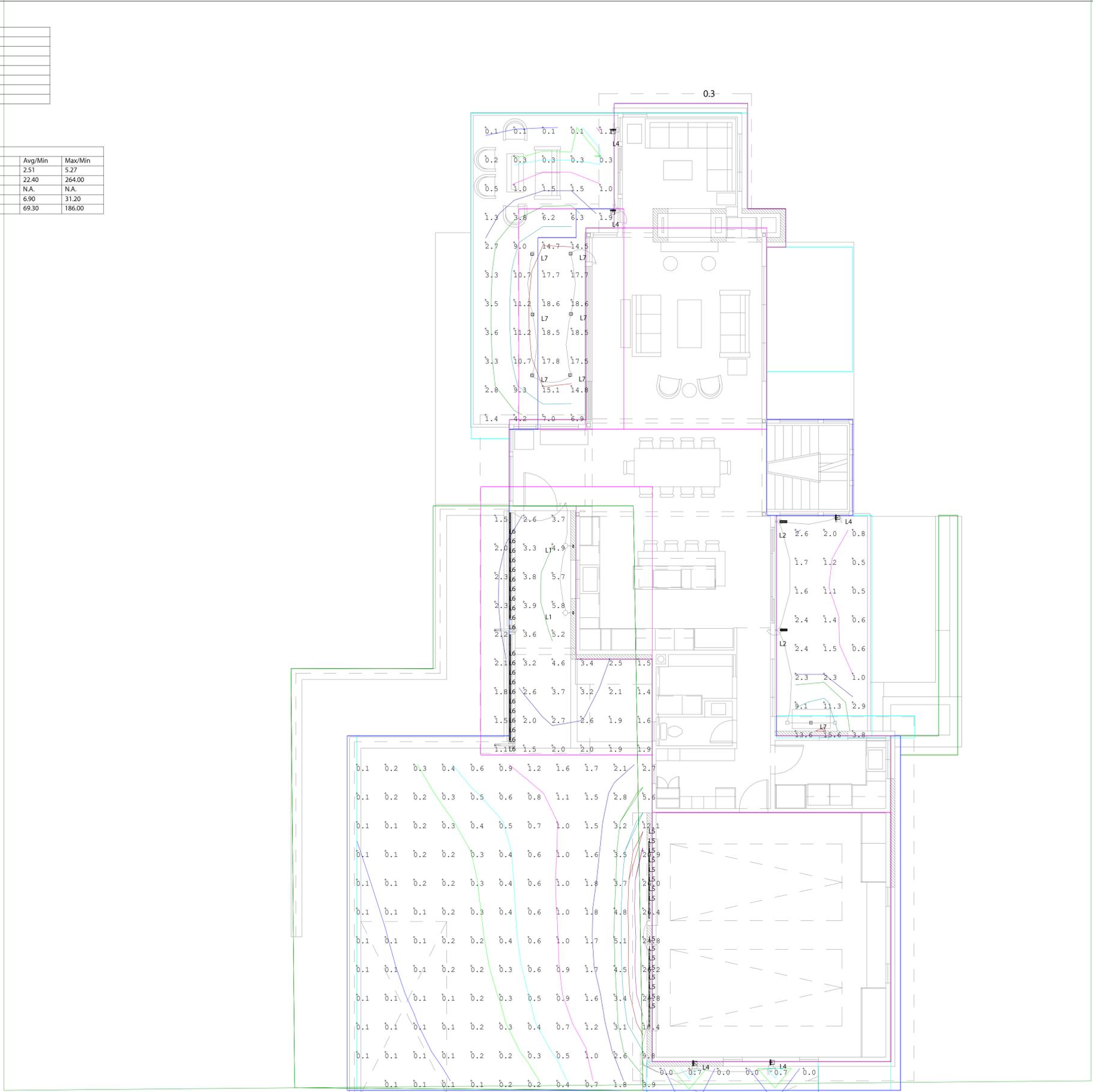
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REVISIONS:



Symbol	Qty	Label	Total Lamp Lumens	LLF	Tag
○	2	L WS-W13718	275	0.750	L2
□	5	4011-30SS A011416	22,646	0.750	L4
□	2	IES-WS-W1718-(O2003495)	790	0.750	L1
□	16	VERS-04-SW-3_0-30-DRY-GZR-ST	294	0.750	L5
□	22	VERS-05-SW-3_0-30-DRY-40D-ST	271	0.750	L6
□	7	102171228CHI-097 GB EN35-LO93	N.A.	0.668	L7

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Main Level Entry	illuminance	Fc	2.76	5.8	1.1	2.51	5.27
Main Level Garage	illuminance	Fc	2.24	26.4	0.1	22.40	264.00
Main Level Garage Side Entry	illuminance	Fc	0.09	0.7	0.0	N.A.	N.A.
Main Level Kitchen Deck	illuminance	Fc	3.45	15.6	0.5	6.90	31.20
Main Level Living Deck	illuminance	Fc	6.93	18.6	0.1	69.30	186.00



FOR REVIEW ONLY NOT FOR CONSTRUCTION

DATE: FEBRUARY 17, 2021
ISSUED FOR: REVIEW SET

SHEET NUMBER: A10-5
LEVEL 1 - EXT LIGHTING CALC

PROJECT: #2008

LOCATION: LOT 729 R-5

BACCICH RESIDENCE

91 PENNINGTON PLACE MOUNTAIN VILLAGE SAN MIGUEL COUNTY

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REVISIONS:



NARRATIVE

To: Mountain Village Design Review Board
Re: Lot 729 R-5 Final Plan DRB Submittal
Date: February 17, 2021

Project Description:

This project is a new single-family residence of approximately 4,500 gross square feet on three floors that is proposed to step down the site along a slight ridgeline that runs from the southeast to the northwest corner of the lot.

There are two areas of wetlands that are delineated on the northeast corner of the property. The delineation is over 6 years old and the Owner has been in contact with a wetland engineer to re-survey the wetlands. Unfortunately, this will not be able to occur until the spring and it will be accomplished as soon as weather and vegetation growth allows. These wetlands are located downhill to the north and northeast of the house site. The proposed lower level retaining wall is the closest part of the house to the wetlands and that distance is 30'-11 1/4" at its closest. The civil drawings specify drainage and erosion control methods to protect these wetlands.

The proposed access drive and motor court are located at the southeast corner of the lot which is the highest part of the lot. The two-car garage is proposed to be located between Pennington Place and the house in order to provide privacy and protection from the road. The motor court is south and west of the garage in order to provide for optimal sun exposure for snow melt. One exterior parking space is to be located in the motor court area. The second exterior parking space is proposed to be located on the southeast end of the garage.

We are requesting that this exterior, surface parking space be partially located within the 16' general easement. Only 19.1% of the 9'x18' parking space will be in the general easement and one corner of the space will extend a maximum of 4'-0" in to the general easement. This closest corner of the parking space will then be approximately 33'-0" from the edge of the road. This location for the parking space allows the project to keep the parking space as close to existing natural grade as possible to reduce retaining walls and further disturbance of the site. Also, the opposite end of the house on the furthest northwest side is located at the edge of an existing shallow grade slope. If the house shifted further to the northwest then the end of the house would be pushed out past this edge to a steeper part of the lot and the house would significantly grow in height and cause further disruption to the lot. We are wanting to keep the house and garage as high up on the lot as we can to avoid this steeper section of the lot on the northwest corner. We hope that you agree with what we are proposing.

Note: This was approved in the Initial Review so we have kept this design.

We have added a small berm between this parking space, the drive and the road and we are also proposing planting groupings of trees in this same area in order to screen this parking space from view.

The proposed massing of the house and the rooflines step up the lot similar to the slope of the lot. The low-pitched shed roofs echo the slope of the lot. The views are primarily to the southwest and the northeast and the house and windows open up to these two sides. The exterior materials are to be a blend of greys with light yellow, golds and browns. The roof is proposed to be standing seam metal roofing with a light charcoal color. There will be stone veneer, wood siding and accents of large metal shingle siding.

Changes to the drawings based on comments from the Design Review Board at the Initial Review meeting are the following:

- 1.) Revised exterior materials at lower level patios to pull wood siding up and introduce 12" of steel plate siding adjacent to the patios/ground.
- 2.) Revised corner accent at garage to be metal plate siding instead of horizontal wood siding. This will coordinate with the address monument which is proposed to be stone veneer and metal plate.
- 3.) Revised the deck posts to be larger from 6 x 6 to 8 x 8. Enlarged the concrete post bases to be larger as well from 12" x 12" to 18" x 18". These will be board-form concrete. We feel that these larger elements effectively ground the deck to the ground.
- 4.) At the garage, more detailing has been given to the garage doors to provide more visual interest to this mass. We are also proposing trees on either side of the driveway in order to help screen the garage mass/form from the street.
- 5.) We have revised the retaining walls around the motor court to be no taller than 5'-0".
- 6.) We have updated Civil Engineering drawings to reflect the misc minor changes around the house.
- 7.) The drawings now include a landscape plan, an irrigation plan, a fire mitigation plan noting the extents of Zone 1 (15'-0"), a construction mitigation plan and lighting plans and information.

Thanks for your thoughtful consideration of this proposal.

Regards,

Peter B. Lundeen,
Architect



View of Lot from Mountain Village Blvd.



View of Lot from golf course



View of Lot from Pennington Place – Looking North



View of Lot from Pennington Place – Looking West

Lot 729 R-5 Materials - Sample Board



Lot 729 R-5 Materials - Stone



Stone Veneer blend between these two images

Lot 729 R-5 Materials – Wood Siding



Stained Wood siding similar to these images



Lot 729 R-5 Materials – Metal Plate Siding



Steel Plate Metal Siding

Lot 729 R-5 Materials – Metal Roofing



Standing Seam Metal Roofing – Charcoal Grey

Standard Colors



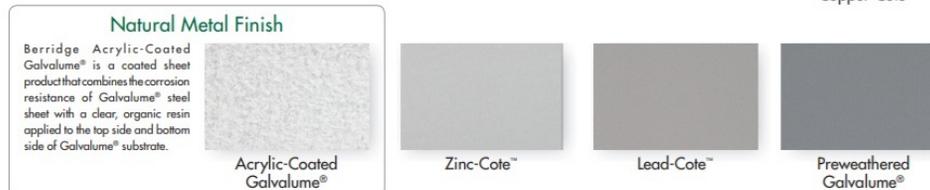
Premium Colors

Berridge premium colors require a nominal surcharge.



Metallic Colors

Berridge metallic colors are premium finishes which require a nominal surcharge.



Please consult the BMC Technical department at Technical@Berridge.com for LEED and Energy Star compliance information. Due to limitations in the printing process, please request actual color chips for accurate color viewing.



Lot 729 R-5 Materials - Fascia



Fascia – Metal and Wood

Lot 729 R-5 Materials - Metal Railing



Metal Railing

Lot 729 R-5 Materials – Deck Posts and Bases



8 x 8 timber posts – stained
board form concrete piers 18" x 18"

(Images show idea but show 6 x 6 posts on 12" x 12" piers)



TimberTech AZEK Decking



Discover the decking that is revolutionizing designer outdoor living spaces. Bring stylish sophistication and premium performance to backyards everywhere. Made from the most advanced material technology in both the cap and core, TimberTech AZEK Decking is the most resistant to the elements, stays cooler on sunny days, and offers up to 40% better slip resistance.



Multi-Width Decking

NARROW. STANDARD. WIDE.

NEW wide width decking is available in the Harvest Collection. Also, narrow and wide width options still available for the Vintage Collection®



MAX Decking

STRONG AND STURDY

NEW Harvest MAX and Vintage MAX 2x6 boards are 1.5" thick for 24" on center installation.



Vintage Collection®



Make every outdoor living space a unique masterpiece with our most complex, multi-color board variegation. This sophisticated collection features the most natural colors with a low-gloss, wire-brushed finish. Every board in this collection meets criteria for a **Class A on the Flame Spread Index**.



COASTLINE® ENGLISH WALNUT™ WEATHERED TEAK™



MAHOGANY DARK HICKORY CYPRESS®



PROFILE OPTIONS



PRODUCT DESCRIPTION	AZEK Item Number		
	12'	16'	20'
VINTAGE COLLECTION®			
1 x 4 Square Shoulder Coastline	ADB13512CS	ADB13516CS	ADB13520CS
1 x 6 Square Shoulder Coastline	—	ADB15516CS	ADB15520CS
NEW! 2 x 6 Square Shoulder Coastline MAX	ADB25512CS	ADB25516CS	ADB25520CS
1 x 6 Grooved Coastline	AGB15512CS	AGB15516CS	AGB15520CS
1 x 8 Square Shoulder Coastline	ADB172512CS	ADB172516CS	ADB172520CS
1 x 4 Square Shoulder English Walnut	ADB13512EW	ADB13516EW	ADB13520EW
1 x 6 Square Shoulder English Walnut	—	ADB15516EW	ADB15520EW
1 x 6 Grooved English Walnut	AGB15512EW	AGB15516EW	AGB15520EW
1 x 8 Square Shoulder English Walnut	ADB172512EW	ADB172516EW	ADB172520EW
1 x 4 Square Shoulder Weathered Teak	ADB13512WT	ADB13516WT	ADB13520WT
1 x 6 Square Shoulder Weathered Teak	—	ADB15516WT	ADB15520WT
1 x 6 Grooved Weathered Teak	AGB15512WT	AGB15516WT	AGB15520WT
1 x 8 Square Shoulder Weathered Teak	ADB172512WT	ADB172516WT	ADB172520WT
1 x 4 Square Shoulder Mahogany	ADB13512MH	ADB13516MH	ADB13520MH
1 x 6 Square Shoulder Mahogany	—	ADB15516MH	ADB15520MH
1 x 6 Grooved Mahogany	AGB15512MH	AGB15516MH	AGB15520MH
1 x 8 Square Shoulder Mahogany	ADB172512MH	ADB172516MH	ADB172520MH
1 x 4 Square Shoulder Cypress	ADB13512CY	ADB13516CY	ADB13520CY
1 x 6 Square Shoulder Cypress	—	ADB15516CY	ADB15520CY
1 x 6 Grooved Cypress	AGB15512CY	AGB15516CY	AGB15520CY
1 x 8 Square Shoulder Cypress	ADB172512CY	ADB172516CY	ADB172520CY
1 x 4 Square Shoulder Dark Hickory	ADB13512DH	ADB13516DH	ADB13520DH
1 x 6 Square Shoulder Dark Hickory	—	ADB15516DH	ADB15520DH
1 x 6 Grooved Dark Hickory	AGB15512DH	AGB15516DH	AGB15520DH
1 x 8 Square Shoulder Dark Hickory	ADB172512DH	ADB172516DH	ADB172520DH
VINTAGE FASCIA			
12" Fascia Mahogany	ADR5117512MH	—	—
12" Fascia Cypress	ADR5117512CY	—	—
12" Fascia Dark Hickory	ADR5117512DH	—	—
12" Fascia Coastline	ADR5117512CS	—	—
12" Fascia English Walnut	ADR5117512EW	—	—
12" Fascia Weathered Teak	ADR5117512WT	—	—

COLORS

WOOD TYPES

Choose the wood species that best complements your project's interior.



PREFINISHED PINE INTERIOR COLORS

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



ALUMINUM-CLAD EXTERIOR COLORS

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁸



Custom colors are also available.

ADDED SECURITY

INSYNCTIVE® TECHNOLOGY

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors are compatible with major security panel systems. For more information, go to connectpella.com.

¹ Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

² Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at installpella.com/warranties or contact Pella Customer Service.

³ Performance ratings vary based on product configuration.

⁴ Color-matched to your product's interior and exterior color.

⁵ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

⁶ Flush multi-slide handle is a Pella exclusive design.

⁷ Flush multi-slide handle is not available in Antique Brass, Champagne or Polished Nickel.

⁸ EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

Pella® Architect Series® Contemporary WOOD



Modern wood windows and patio doors featuring smart styling and clean sightlines

Interior



Exterior



- SLEEK DESIGNS AND EXPANSIVE GLASS**
 Achieve that sophisticated style you are looking for with our industry-leading contemporary design. A narrow frame and sash provide more expansive glass and an unobstructed view.
- ENHANCED STYLE OPTIONS**
 Meet your unique project specifications with extensive size options, square grille widths, finishes, wood types and glass options.
- EXPANSIVE CUSTOM CAPABILITIES**
 Work with Pella's dedicated, custom design teams to bring your project vision to life with custom sizes, configurations and installation solutions.
- AUTHENTIC LOOK OF TRUE DIVIDED LIGHT**
 Pella's Integral Light Technology® grilles use the industry's only foam spacer to create the most authentic look of true divided light, by casting a more realistic shadow.
- INTERIOR FINISH OPTIONS**
 From light to dark to modern gray, Pella Architect Series Contemporary wood windows and patio doors are available in an array of on-trend colors. Pine interiors are available in four paints, 11 stains or primed and ready-to-paint.
- MINIMALIST HARDWARE AND MODERN FINISHES**
 Choose from Pella's exclusively designed hardware to complement the other modern fixtures in the home.
- OPTIONAL INTEGRATED SECURITY SENSORS**
 Thoughtfully designed to live discreetly in the frame, wireless sensors with Pella Insynctive® technology maintain aesthetics without voiding the warranty. Sensors compatible with major security panels and home automation systems.
- ENERGY STAR® CERTIFIED¹**
 You don't have to sacrifice performance for design. Pella Architect Series Contemporary products are the most modern windows and doors available with options to meet or exceed ENERGY STAR® in all 50 states.¹
- LONG-LASTING DURABILITY**
 Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.
- THE BEST LIMITED LIFETIME WARRANTY²**
 Pella Architect Series Contemporary products are covered by the best limited lifetime warranty for wood windows and patio doors in the industry.²
- TESTING BEYOND REQUIREMENTS**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

AVAILABLE IN THESE WINDOW & PATIO DOOR STYLES:



Fixed and special shape windows also available.

^{1,2} See back cover for disclosures.

PRODUCT SPECIFICATIONS

WINDOW & PATIO DOOR STYLES	MIN. WIDTH	MIN. HEIGHT	MAX. WIDTH	MAX. HEIGHT	PERFORMANCE CLASS AND GRADE	PERFORMANCE VALUES			FRAME / INSTALL
						U-FACTOR	SHGC	STC	
AWNING	17"	17"	59"	73"	LC30-LC50	0.25-0.30	0.19-0.50	25-31	Block Frame
CASEMENT	17"	17"	35"	73"	LC30-LC50	0.25-0.30	0.19-0.50	25-31	
FIXED CASEMENT	17"	17"	59"	73"	LC30-LC50	0.25-0.30	0.19-0.50	25-31	
IN-SWING HINGED PATIO DOOR (SINGLE)	24"	48"	48"	119-½"	LC40-LC55	0.25-0.29	0.14-0.40	31-32	
IN-SWING HINGED PATIO DOOR (DOUBLE)	48"	79-½"	96"	119-½"	LC40-LC55	0.25-0.29	0.14-0.40	31-32	
OUT-SWING HINGED PATIO DOOR (SINGLE)	24"	48"	48"	119-½"	LC40-LC70	0.25-0.30	0.14-0.39	30-36	
OUT-SWING HINGED PATIO DOOR (DOUBLE)	48"	48"	96"	119-½"	LC40-LC70	0.25-0.30	0.14-0.39	30-36	
SLIDING PATIO DOOR (O)	30-¾"	74"	60-¾"	119-½"	LC30-LC70	0.25-0.31	0.18-0.51	-	
SLIDING PATIO DOOR (OX, XO)	59-¼"	74"	119-½"	119-½"	LC30-LC70	0.25-0.31	0.18-0.51	29-35	
SLIDING PATIO DOOR (OXO)	90"	74"	180"	119-½"	LC30-LC70	0.25-0.31	0.18-0.51	-	
SLIDING PATIO DOOR (OXXO)	116-⅞"	74"	236-⅞"	119-½"	LC30-LC70	0.25-0.31	0.18-0.51	-	
MULTI-SLIDE PATIO DOOR	41-⅞"	50-½"	713-⅝"	119-½"	R15-LC25 ³	0.30-0.36	0.15-0.46	-	For more info visit PellaADM.com
BIFOLD PATIO DOOR	31-¾"	51-½"	312"	119-½"	R15-R25 ³	0.26-0.44	0.13-0.45	-	

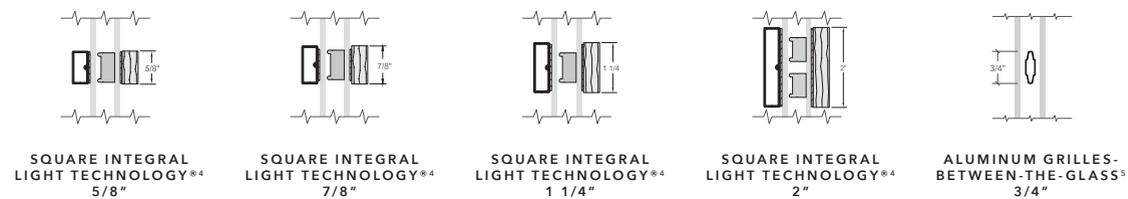
WINDOW SIZES AVAILABLE IN 1/8" INCREMENTS

Special sizes available. For more information regarding performance, visit installpella.com/performance. Visit PellaADM.com for specific sizes and glazings tested and for more information regarding frame and installation types.

GRILLES

GRILLES

Choose the look of true divided light or make cleaning easier by selecting grilles-between-the-glass.



^{3,4,5} See back cover for disclosures.

WINDOW HARDWARE

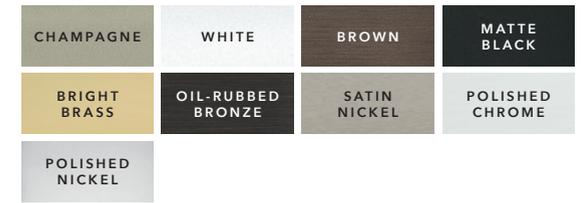
MODERN COLLECTION

Achieve the ultimate contemporary look with exclusive hardware designed by Pella.



FOLD-AWAY CRANK Saldo

FINISHES:



PATIO DOOR HARDWARE

MODERN COLLECTION

Select modern hardware created in collaboration with Baldwin[®] to achieve the ultimate contemporary look with sleek finishes.

BALDWIN



HINGED & BIFOLD PATIO DOOR HANDLE Spiere



SLIDING & MULTI-SLIDE PATIO DOOR HANDLE Plazo



MULTI-SLIDE PATIO DOOR HANDLE^{6,7}

FINISHES:



CLASSIC COLLECTION

Choose timeless pieces, created in collaboration with Baldwin Hardware, for a look that will never go out of style.

BALDWIN



HINGED & BIFOLD PATIO DOOR HANDLE Locus | Virago

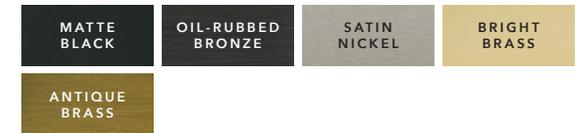


SLIDING & MULTI-SLIDE PATIO DOOR HANDLE Ambrose



MULTI-SLIDE PATIO DOOR HANDLE^{6,7}

FINISHES:



RUSTIC COLLECTION

Stand out with bold looks, created in collaboration with Baldwin hardware, to obtain an utterly unique aesthetic.

BALDWIN



HINGED PATIO DOOR HANDLES Rustiek | Gusto



SLIDING PATIO DOOR HANDLE Notus

FINISHES:



ESSENTIAL COLLECTION

Elevate your style and transform your home with elegant selections.



HINGED & BIFOLD PATIO DOOR HANDLE



SLIDING PATIO DOOR HANDLE



MULTI-SLIDE PATIO DOOR HANDLE^{6,7}

FINISHES:



^{6,7} See back cover for disclosures.

CONTEMPORARY

Seals tight and locks easily.

Architect Series® casement windows feature the SureLock® System that reaches out to pull the window sash against the weatherstripping to form a tight seal against drafts, making them more energy-efficient. Plus, Pella's patented Unison Lock System secures casement and awning windows in two places with a single, easy-to-reach handle.



Lasting beauty.

EnduraGuard® wood protection offers advanced protection against the effects of moisture, decay, stains from mold and mildew – as well as termite damage. This proven immersion-treatment method will help ensure that Pella® wood windows and patio doors look and perform beautifully for years.



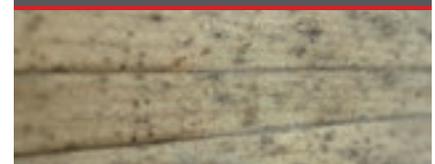
Pella EnduraGuard wood protection.



Pella's casement window after 7 months of exposure to moisture.*



Competitor's pressure-treated wood.



Stain mold present after 7 months of field-testing a competitor's pressure-treated wood.*



The confidence of added protection.

Pella products are backed by some of the strongest warranties in the business. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

*For testing purposes, the seal between the bottom rail and the glass was compromised in both casement units tested.

ALUMINUM-CLAD EXTERIORS

Pella's low-maintenance EnduraClad® exterior finish resists fading, so your windows and patio doors stay looking great for years. Take this beauty and durability one step further with Pella EnduraClad Plus² protective finish that provides exceptional weatherability.

Plus, Pella offers virtually unlimited custom color options for a unique look.



White



Classic
White



Vanilla
Cream



Poplar
White



Almond



Sand Dune



Honeysuckle



Tan



Fossil



Putty



Portobello



Deep Olive



Auburn
Brown



French
Roast



Brown



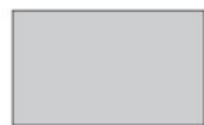
Summer
Sage



Hemlock



Hartford
Green



Morning
Sky Gray



Eldridge
Gray



Iron Ore



Black



Naval



Stormy
Blue



Real Red



Brick Red



Cranberry

wood window and patio door DESIGN GUIDE

TRADITIONAL
CONTEMPORARY

GRILLES

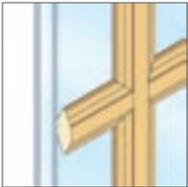
Choose the look of true divided light or grilles-between-the-glass that make cleaning the glass easier.



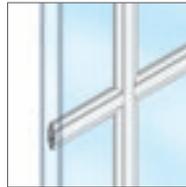
Ogee Integral Light Technology[®] Grilles
2", 1-1/4" or 7/8"



Square Integral Light Technology Grilles
7/8"



Roomside Removable Grilles
2", 1-1/4", 3/4"



Aluminum Grilles-Between-the-Glass
3/4"



Optional interior grille colors with exterior color that matches the EnduraClad[®] color you choose.

ADDED PROTECTION

For additional window fall protection, our Window Opening Control Device (WOCD) is available with optional factory application.⁴ Allowing the window to only open a few inches, the WOCD sits discreetly on the window and is easy to operate.

¹ Available on a custom basis. For more information on wood type availability, contact your local Pella sales representative.

² EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

³ Only available with matching interior and exterior colors.

⁴ Factory-applied WOCD may not be available on all products. See your local Pella sales representative for availability.

GLASS

INSULSHIELD[®] LOW-E GLASS COLLECTION



Advanced Low-E insulating double-pane glass with argon ¹	•	•
AdvancedComfort Low-E insulating double-pane glass with argon ¹	•	•
NaturalSun Low-E insulating double-pane glass with argon ¹	•	•
SunDefense™ Low-E insulating double-pane glass with argon ¹	•	•
Low-E insulating triple-pane glass with argon or krypton ²	•	-

ADDITIONAL GLASS OPTIONS

HurricaneShield [®] products with impact-resistant glass ³	•	•
Laminated (non-impact-resistant) ³ , tinted ^{1,3} or obscure ^{1,3} glass also available on select products	•	•
STC-improved double-pane sound glass ²	•	•

¹ Optional high-altitude InsulShield Low-E glass is available with argon in select products.

² Available on select products only. See your local Pella sales representative for availability.

³ Available with Low-E insulating glass with argon on select products.

INTERIORS

WOOD TYPES

Mahogany, Douglas Fir, Pine, White Oak [†] , Cherry [†] , Red Oak [†] , Maple [†]	•	•
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INTERIOR FINISHES

Unfinished	•	•
Primed, ready-to-paint (Pine)	•	•
Prefinished stain or paint (Pine)	•	•

[†] Available on a custom basis. For more information on wood type availability, contact your local Pella sales representative.

EXTERIORS

EXTERIOR FINISHES

Aluminum-clad with EnduraClad [®] protective finish	•	•
Aluminum-clad with EnduraClad Plus [®] protective finish	•	•
Primed, ready-to-finish (Mahogany or Pine)	•	•
Unfinished (Mahogany)	•	•

EXTERIOR TRIM

EnduraClad factory-applied trim	•	•
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LOW-MAINTENANCE ENDURA CLAD EXTERIORS

27 standard colors	•	•
Virtually unlimited Custom colors	•	•

[†] EnduraClad Plus is not available in all colors. See your local Pella sales representative for availability.

HARDWARE

HARDWARE STYLE COLLECTIONS

Classic	•	-
Modern	-	•
Rustic	•	-
Essential	•	-

HARDWARE FINISHES*

Champagne, White, Brown, Matte Black, Bright Brass, Satin Nickel or Oil-Rubbed Bronze	•	•
Antique Brass	•	-
Distressed Bronze or Distressed Nickel	•	-
Polished Chrome or Polished Nickel	-	•

* Hardware finish availability may vary by style.

GRILLES

Integral Light Technology [®] grilles (wood roomside and EnduraClad or wood exterior with nonglare spacer between)	•	•
Aluminum grilles-between-the-glass	•	•
Roomside removable grilles	•	-

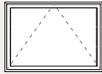
SCREENS*

Vivid View [®] high-transparency screen (windows only)	•	•
InView™ flat screen	•	•
Rolscreen [®] soft-closing retractable screen (casement windows and sliding patio doors only)	•	-
Self-closing top-hung screen door (sliding patio doors only)	•	•

* ⚠ WARNING: Screen will not stop child or pet from falling out of window or door. Keep child or pet away from open window or door.

(•) Full offering (-) Partial offering

Because we're always working to further refine our products and develop new ones, specifications may change without notice. Actual products may vary slightly from illustrations and photos. See your local Pella sales representative for specific details and options available.



PRODUCT SELECTION GUIDE

Size and Performance Data

Sound Transmission Class / OITC



Awning

	Clad	Wood
SIZES		
Standard vent/fixed sizes	●	●
Special sizes available	●	●
PERFORMANCE 1		
Meets or Exceeds AAMA/WDMA Ratings	CW40 - CW50 Hallmark Certified	CW40 - CW50 Hallmark Certified
Air Infiltration (cfm/ft ² of frame @ 1.57 psf wind pressure)	0.05	0.05
Water Resistance	7.5 psf	7.5 psf
Design Pressure	50 psf	50 psf
HurricaneShield® Products with Impact-Resistant Glass	CW75 Hallmark Certified	-
OTHER PERFORMANCE CRITERIA		
Forced Entry Resistance Level (Minimum Security Grade) ₂	10	10

Large Awning

	Clad	Wood
SIZES		
Standard Vent Sizes	●	●
Special Sizes Available	●	●
PERFORMANCE 1		
Meets or Exceeds AAMA/WDMA Ratings	LC40 Hallmark Certified	CW40 Hallmark Certified
Air Infiltration (cfm/ft ² of frame @ 1.57 psf wind pressure)	0.05	0.05
Water Resistance	7.5 psf	7.5 psf
Design Pressure	40 psf	40 psf
OTHER PERFORMANCE CRITERIA		
Forced Entry Resistance Level (Minimum Security Grade) ₂	10	10
Operating Force (lb) Initiate Motion / Maintain Motion (of Hallmark tested size and glazing) ₄	15/6	15/6

SOUND TRANSMISSION CLASS / OUTDOOR-INDOOR TRANSMISSION CLASS

Product	Frame Size Tested ₃	Glazing System				STC Rating	OITC Rating
		Overall Glazing Thickness	Exterior Glass Thickness	Interior Glass Thickness	Third Pane Thickness		
ARCHITECT SERIES TRADITIONAL CLAD WINDOW	VENT WITH INTEGRAL GRILLES						
	53" x 29"	11/16"	2.5mm	2.5mm	-	27	24
	VENT WITH REMOVABLE OR NO GRILLES						
	53" x 29"	11/16"	2.5mm	2.5mm	-	27	23
	59" x 23"	11/16"	3mm	5mm	-	33	27
	59" x 23"	11/16"	3mm	6.0mm PVB	-	33	28
	FIXED WITH INTEGRAL GRILLES						
	47" x 59"	11/16"	3mm	3mm	-	30	27
	FIXED WITH REMOVABLE OR NO GRILLES						
	47" x 59"	11/16"	3mm	3mm	-	29	24
47" x 59"	11/16"	3mm	5mm	-	32	27	
47" x 59"	11/16"	3mm	6.0mm PVB	-	32	28	
ARCHITECT SERIES TRADITIONAL CLAD WINDOW WITH HURRICANESHIELD IMPACT-RESISTANT GLASS	VENT WITH REMOVABLE OR NO GRILLES						
	59" x 23"	11/16"	3mm	7.6mm PVB	-	35	30
	53" x 29"	1"	5mm	10.1mm SGP	-	35	30
	53" x 29"	1"	5mm	10.1mm PVB	-	34	30
	FIXED WITH REMOVABLE OR NO GRILLES						
	47" x 59"	11/16"	3mm	7.6mm PVB	-	33	29
	53" x 53"	1"	5mm	10.1mm SGP	-	35	30
47" x 59"	1"	5mm	10.1mm PVB	-	33	30	

(-) = Not Available

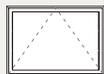
(1) Maximum performance for single unit when glazed with the appropriate glass thickness. See Design Data pages in this section for specific product performance class and grade values. Values shown are for standard and special sizes; Custom sizes may not have the same values. Contact your local sales representative for complete information.

(2) The higher the level, the greater the product's ability to resist forced entry.

(3) ASTM E 1425 defines standard sizes for acoustical testing. Ratings achieved at that size are representative of all sizes of the same configuration.

(4) Glazing configurations may result in higher operational forces.

NOTE: Performance with additional options may not be the same as Standard and Special size units. Please contact your local Pella representative for complete information.



PRODUCT SELECTION GUIDE

Features and Options



Standard	OPTIONS / UPGRADES
GLAZING	
Glazing Type	
Dual-Pane Insulating Glass	Triple-Pane Insulating Glass
Insulated Glass Options/Low-E Types	
Advanced Low-E	SunDefense™ Low-E
	AdvancedComfort Low-E
	NaturalSun Low-E
	Clear (no Low-E coating)
Additional Glass Options	
Annealed Glass	Tempered Glass
	Obscure Glass ₁
	Low-E Tinted Glass (Bronze, Gray and Green)
	Non-Impact Laminated Dual-Pane Insulating Glass
	HurricaneShield® Products with Impact-Resistant Glass (Laminated Dual-Pane Insulating Glass)
Gas Fill/High Altitude	
Argon	Krypton ₂
	High altitude
	High Altitude with Argon ₃
WOOD TYPES	
Pine	Mahogany, Douglas Fir
EXTERIOR	
EnduraClad® protective finish	EnduraClad Plus protective finish
	Factory Primed Pine wood exterior
	Unfinished Mahogany wood exterior
Cladding Colors₁	
27 Standard colors	Custom Colors
INTERIOR	
Unfinished Wood	Factory primed ₄ , Factory prefinished paint ₄ , Factory prefinished stain
HARDWARE	
Hardware Finish	
Champagne, White, Brown or Matte Black	Bright Brass, Satin Nickel, Oil-Rubbed Bronze, Antique Brass, Distressed Bronze, Distressed Nickel
Sash Locks	
SureLock® System, Unison Lock System ₅	–
Hinging	
Awning–Stainless Steel	–
Large Awning–Wash Hinge	–
Impact-Resistant–Wash Hinge	–
GRILLES	
Integral Light Technology® Grilles	
–	Traditional, Prairie, Top Row, Cross, New England, Victorian, Simulated French, Custom
Roomside Removable Grilles	
–	Traditional, Prairie, Top Row, Cross, New England, Victorian, Custom
Grilles-Between-the-Glass	
–	Traditional, Prairie, Top Row ₁ , Cross or Custom-Equally Divided
SCREENS	
–	InView™ screens, Vivid View® screens

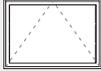
(1) Contact your local Pella sales representative for current designs and color options.

(2) Only available with Triple-Pane glazing, not available with high altitude glazing.

(3) Available with Low-E argon-insulated glass only.

(4) Not available on Mahogany and Douglas Fir interiors.

(5) Unit height determines availability.



GLAZING PERFORMANCE - TOTAL UNIT

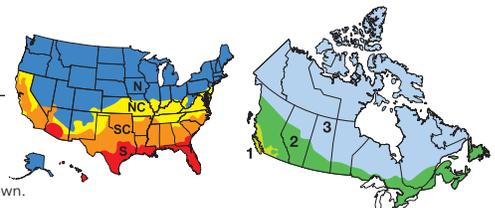
Aluminum-Clad Exterior
Vent Awning and Large Awning

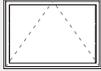


Glazing Thickness	Type of Glazing	NFRC Certified Product #	Glass (mm)		Gap Fill	Performance Values 1				Shaded Areas Meet ENERGY STAR® Performance Criteria in Zones Shown										
			Ext.	Int.		U-Factor	SHGC	VLT	CR	U. S.				Canada 2						
										Zone				ER	Zone					
										N	NC	SC	S				1	2	3	
VENT UNITS																				
11/16"	Clear IG	PEL-N-30-13234-00001	3	3	air	0.45	0.53	0.56	44											
	with grilles-between-the-glass	PEL-N-30-13431-00001				0.44	0.49	0.51	44											
	with integral grilles	PEL-N-30-13438-00001				0.44	0.49	0.51	44											
11/16"	Advanced Low-E IG	PEL-N-30-13229-00002	3	3	argon	0.28	0.26	0.48	61											
	with grilles-between-the-glass	PEL-N-30-13423-00002				0.28	0.23	0.43	61											
	with integral grilles	PEL-N-30-13426-00002				0.29	0.23	0.43	61											
11/16"	SunDefense™ Low-E IG	PEL-N-30-13230-00002	3	3	argon	0.28	0.19	0.44	61											
	with grilles-between-the-glass	PEL-N-30-13424-00002				0.28	0.18	0.40	61											
	with integral grilles	PEL-N-30-13427-00002				0.28	0.18	0.40	61											
11/16"	AdvancedComfort Low-E IG	PEL-N-30-13233-00001	3	3	argon	0.25	0.25	0.47	47											
	with grilles-between-the-glass	PEL-N-30-13430-00001				0.25	0.23	0.42	47											
	with integral grilles	PEL-N-30-13437-00001				0.27	0.23	0.42	47											
11/16"	NaturalSun Low-E IG	PEL-N-30-13231-00002	3	3	argon	0.29	0.47	0.54	61											
	with grilles-between-the-glass	PEL-N-30-13425-00002				0.29	0.43	0.49	60											
	with integral grilles	PEL-N-30-13428-00002				0.29	0.43	0.49	60											
TINTED GLAZING																				
11/16"	Bronze Advanced Low-E IG	PEL-N-30-13271-00001	5	3	argon	0.29	0.23	0.31	59											
	with grilles-between-the-glass	PEL-N-30-13507-00001				0.30	0.21	0.28	59											
	with integral grilles	PEL-N-30-13513-00001				0.30	0.21	0.28	59											
11/16"	Gray Advanced Low-E IG	PEL-N-30-13272-00001	5	3	argon	0.29	0.21	0.26	59											
	with grilles-between-the-glass	PEL-N-30-13508-00001				0.30	0.19	0.24	59											
	with integral grilles	PEL-N-30-13514-00001				0.30	0.19	0.24	59											
11/16"	Green Advanced Low-E IG	PEL-N-30-13273-00001	5	3	argon	0.29	0.26	0.42	59											
	with grilles-between-the-glass	PEL-N-30-13509-00001				0.30	0.24	0.38	59											
	with integral grilles	PEL-N-30-13515-00001				0.30	0.24	0.38	59											
HIGH ALTITUDE GLAZING																				
11/16"	Advanced Low-E IG	PEL-N-30-13235-00001	3	3	air	0.32	0.26	0.48	55											
	with grilles-between-the-glass	PEL-N-30-13432-00001				0.32	0.24	0.43	55											
	with integral grilles	PEL-N-30-13439-00001				0.32	0.24	0.43	55											
11/16"	SunDefense Low-E IG	PEL-N-30-13236-00001	3	3	air	0.31	0.20	0.44	56											
	with grilles-between-the-glass	PEL-N-30-13433-00001				0.32	0.18	0.40	56											
	with integral grilles	PEL-N-30-13440-00001				0.32	0.18	0.40	56											
11/16"	AdvancedComfort Low-E IG	PEL-N-30-13238-00001	3	3	air	0.28	0.25	0.47	43											
	with grilles-between-the-glass	PEL-N-30-13435-00001				0.28	0.23	0.42	43											
	with integral grilles	PEL-N-30-13442-00001				0.29	0.23	0.42	43											
11/16"	NaturalSun Low-E IG	PEL-N-30-13237-00001	3	3	air	0.32	0.47	0.54	55											
	with grilles-between-the-glass	PEL-N-30-13434-00001				0.33	0.43	0.49	55											
	with integral grilles	PEL-N-30-13441-00001				0.33	0.43	0.49	55											

R-Value = 1/U-Factor
 SHGC = Solar Heat Gain Coefficient
 VLT % = Visible Light Transmission
 CR = Condensation Resistance
 ER = Canadian Energy Rating

(1) Glazing performance values are calculated for Pine using NFRC 100, NFRC 200 and NFRC 500. Thermal performance of other wood species may vary. ENERGY STAR® values are updated to 2016 (Version 6) criteria.
 (2) The values shown are based on Canada's updated ENERGY STAR® 2015 initiative.
 Based on unit size, some products will use 2.5 mm glass that will have equivalent or improved performance from what is shown.
 See the Product Performance section for more detailed information or visit www.energystar.gov for Energy Star guidelines.





DESIGN DATA

Wood and Aluminum-Clad Exteriors
Standard Awning



VENT AND FIXED UNITS

Unit	Vent Area Ft ²	Visible Glass Ft ²	Standard Glass Thickness (mm)				Performance Class & Grade ¹
			Dual-Pane Glazing		Triple-Pane Glazing		
			Annealed	Tempered	Annealed or Tempered		
1717v	0.8	0.9	2.5	3	3	CW50	
2121v	1.5	1.6	2.5	3	3	CW50	
2323v	2.0	2.1	2.5	3	3	CW50	
2525v	2.5	2.6	2.5	3	3	CW50	
2929v	3.6	3.8	2.5	3	3	CW50	
3217	1.8	2.1	2.5	3	3	CW50	
3221	2.6	2.8	2.5	3	3	CW50	
3223	3.0	3.1	2.5	3	3	CW50	
3225	3.3	3.5	2.5	3	3	CW50	
3229	4.1	4.2	2.5	3	3	CW50	
3517	2.0	2.3	2.5	3	3	CW50	
3521	2.9	3.1	2.5	3	3	CW50	
3523	3.3	3.5	2.5	3	3	CW50	
3525	3.7	3.9	2.5	3	3	CW50	
3529	4.5	4.7	2.5	3	3	CW50	
4117	2.4	2.8	2.5	3	3	CW50	
4121	3.4	3.7	2.5	3	3	CW50	
4123	3.9	4.2	2.5	3	3	CW50	
4125	4.4	4.7	2.5	3	3	CW50	
4129	5.4	5.7	2.5	3	3	CW50	
4717	2.8	3.2	2.5	3	3	CW50	
4721	4.0	4.4	2.5	3	3	CW50	
4723	4.6	4.9	2.5	3	3	CW50	
4725	5.2	5.5	2.5	3	3	CW50	
4729	6.3	6.7	2.5	3	3	CW50	
5317	3.3	3.7	2.5	3	3	CW50	
5321	4.6	5.0	2.5	3	3	CW50	
5323	5.3	5.7	2.5	3	3	CW50	
5325	5.9	6.3	2.5	3	3	CW50	
5329	7.3	7.6	2.5	3	3	CW50	
5917F	--	4.2	2.5	3	3	CW50	
5921F	--	5.6	2.5	3	3	CW50	
5923F	--	6.4	2.5	3	3	CW45/CW50	
5925F	--	7.1	2.5	3	3	CW45/CW50	
5929F	--	8.6	2.5	3	3	CW45/CW50	

FIXED UNITS

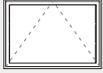
Unit	Visible Glass Ft ²	Standard Glass Thickness (mm)				Performance Class & Grade ¹
		Dual-Pane Glazing		Triple-Pane Glazing		
		Annealed	Tempered	Annealed	Tempered	
3235	5.3	2.5	3	3	3	CW50
3241	6.4	2.5	3	3	3	CW50
3247	7.5	2.5	3	3	3	CW50
3253	8.6	2.5	3	3	3	CW50
3259	9.7	2.5	3	3	3	CW45/CW50
3265	10.8	3	3	3	3	CW50
3271	11.9	3	3	3	3	CW45/CW50
3273	12.3	3	3	3	3	CW45/CW50
3535	5.9	2.5	3	3	3	CW50
3541	7.2	2.5	3	3	3	CW50
3547	8.4	2.5	3	3	3	CW50
3553	9.6	2.5	3	3	3	CW45/CW50
3559	10.8	3	3	3	3	CW50
3565	12.0	3	3	3	3	CW50
3571	13.3	3	3	3	3	CW45/CW50
3573	13.7	3	3	3	3	CW45/CW50
4135	7.2	2.5	3	3	3	CW50
4141	8.6	2.5	3	3	3	CW50
4147	10.1	3	3	3	3	CW50
4153	11.6	3	3	3	3	CW50
4159	13.0	3	3	3	3	CW50
4165	14.5	3	3	3	3	CW50
4171	16.0	3	3	3	3	CW45/CW50
4173	16.5	3	3	3	3	CW45/CW50
4735	8.4	2.5	3	3	3	CW50
4741	10.1	3	3	3	3	CW50
4747	11.8	3	3	3	3	CW50
4753	13.5	3	3	3	3	CW50
4759	15.3	3	3	3	3	CW50
4765	17.0	3	3	3	3	CW45/CW50
4771	18.7	4	4	4	4	CW50
4773	19.3	4	4	4	4	CW50
5335	9.6	2.5	3	3	3	CW45/CW50
5341	11.6	3	3	3	3	CW50
5347	13.5	3	3	3	3	CW50
5353	15.5	3	4	3	4	CW45/CW50
5359	17.5	3	4	3	4	CW40/CW50
5365	19.4	4	4	4	4	CW50
5371	21.4	4	4	4	4	CW50
5373	22.1	4	4	4	4	CW50
5929	8.6	2.5	3	3	3	CW45/CW50
5935	10.8	3	3	3	3	CW50
5941	13.0	3	3	3	3	CW50
5947	15.3	3	3	3	3	CW50
5953	17.5	3	4	3	4	CW40/CW50
5959	19.7	4	4	4	4	CW50
5965	21.9	4	4	4	4	CW50
5971	24.1	4	4	4	4	CW45/CW50
5973	24.9	4	4	4	4	CW45/CW50

Miscellaneous Formulas

VISIBLE GLASS	Width = Frame - 5-3/4"
	Height = Frame - 5-3/4"
ACTUAL GLASS	Width = Frame - 4-3/8"
	Height = Frame - 4-3/8"

V = Vent Only
F = Fixed Units only
(-) = Not Applicable

(1) Maximum performance when glazed with the appropriate glass thickness. Second value, where shown, requires tempered glass.



DESIGN DATA

Wood and Aluminum-Clad Exteriors
Large Awning



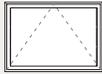
VENT AND FIXED UNITS

Unit	Vent Area Ft ²	Visible Glass Ft ²	Standard Glass Thickness (mm)		Performance Class & Grade ¹
			Annealed	Tempered	
3535	2.0	5.9	2.5	3	LC40
3541	2.2	7.2	2.5	3	LC40
3547	2.4	8.4	2.5	3	LC40
3553	2.6	9.6	2.5	3	LC40
3559	2.8	10.8	3	3	LC40
4135	2.2	7.2	2.5	3	LC40
4141	2.4	8.6	2.5	3	LC40
4147	2.6	10.1	3	3	LC40
4153	2.8	11.6	3	3	LC40
4159	3.0	13	3	3	LC40
4735	2.4	8.4	2.5	3	LC40
4741	2.6	10.1	3	3	LC40
4747	2.8	11.8	3	3	LC40
4753	3.0	13.5	3	3	LC40
4759	3.2	15.3	3	3	LC40
5335	2.6	9.6	2.5	3	LC40
5341	2.8	11.6	3	3	LC40
5347	3.0	13.5	3	3	LC40
5353	3.2	15.5	3	4	LC40
5359	3.3	17.5	3	4	LC40
5935	2.8	10.8	3	3	LC40
5941	3.0	13	3	3	LC40
5947	3.2	15.3	3	3	LC40
5953	3.3	17.5	3	4	LC40
5959	3.5	19.7	4	4	LC40

Miscellaneous Formulas

VISIBLE GLASS	Width = Frame - 5-3/4" Height = Frame - 5-3/4"
ACTUAL GLASS	Width = Frame - 4-3/8" Height = Frame - 4-3/8"

(1) Maximum performance when glazed with appropriate glass thickness.



DETAILED PRODUCT DESCRIPTIONS

Aluminum-Clad Awning and Large Awning



FRAME

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [clear pine] [mahogany] [douglas fir] [Impact-Resistant: [clear pine] [mahogany]].
- Exterior surfaces are clad with aluminum.
- Components are assembled with screws, staples and concealed corner locks.
- Overall frame depth is 5" (127mm) for a wall depth of 3-11/16" (94mm).
- Optional factory-applied jamb extensions available between 4-9/16" (116mm) and 7-3/16" (183mm) wall depths.
- Optional factory-installed fold-out installation fins with flexible fin corners.
- Optional factory-applied EnduraClad® exterior trim.

SASH

- Select softwood, immersion treated with Pella's EnduraGuard wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are: [clear pine] [mahogany] [douglas fir] [Impact-Resistant: [clear pine] [mahogany]].
- Exterior surfaces are clad with aluminum and sealed.
- Corners mortised and tenoned, glued and secured with metal fasteners.
- Sash thickness is [1-13/16" (46mm) for 11/16"] [2-1/8" (54mm) for 1"] glazing.
- Sash exterior and interior profile is ogee.

WEATHERSTRIPPING

- Dual weatherstripping.
 - Continuous, flexible santoprene material in dual durometer design with welded corners, compressed between frame and sash for positive seal on all four sides.
 - Secondary thermoplastic vulcanizate (TPV) leaf-type weatherstrip between edge of sash and frame.

GLAZING SYSTEM 1

- Quality float glass complying with ASTM C 1036.
- Custom and high altitude glazing available.
- Silicone-glazed 11/16" dual-seal insulating glass [[annealed] [tempered]] [[clear] [[Advanced Low-E] [SunDefense™ Low-E] [NaturalSun Low-E] [AdvancedComfort Low-E] with argon]] [[bronze] [gray] [green] Advanced Low-E with argon]].
 - or -
- Silicone-glazed 1" triple-pane, dual-seal insulating glass [[annealed] [tempered]] [[Advanced Low-E] [SunDefense™ Low-E] [NaturalSun Low-E] with [argon] [krypton]]
 - or -
- Impact-Resistant
 - Silicone-glazed 1" dual-seal impact-resistant insulating glass₁ [PVB] [SGP]. [[tempered] [annealed]] exterior light is [[multi-layer Low-E] [clear] [bronze] [gray] [green]]. Laminated clear interior light.
 - or -
 - Silicone-glazed 11/16" dual-seal impact-resistant insulating glass₁ [PVB]. [[tempered] [annealed]] exterior light is [[multi-layer Low-E] [clear]]. Laminated [clear] interior light, or [[tempered] [annealed]] exterior light is [[multi-layer Low-E]]. Laminated [[bronze] [gray] [green]] interior light.

EXTERIOR

- Aluminum-clad exteriors shall be finished with EnduraClad® protective finish, in a multi-step, baked-on finish.
 - Color is [Standard] [custom]₂.
 - or -
- Aluminum-clad exteriors shall be finished with EnduraClad Plus protective finish with 70% fluoropolymer resin in a multi-step, baked-on finish.
 - Color is [Standard] [custom]₂.

INTERIOR

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [factory prefinished [paint] [stain] ₁].

HARDWARE

- Roto operator assembly
 - Steel worm gear sash operator with hardened gears.
 - Operator base is zinc die cast with painted finish.
 - Operator linkage is stainless steel.
 - Exposed fasteners are stainless steel.
 - Hardware will exceed 1,000 hours salt spray exposure per ASTM B 117.
 - Hinge slide and hinge arms are [Awning: Stainless steel] [Large Awning: wash hinge] [Impact-Resistant: wash hinge].
- All vent units are available with operator located on the [Awning: left or right side as viewed from the exterior] [Large Awning or Impact-Resistant: bottom center of the unit].
- SureLock® System—A single handle locking system operates positive-acting arms that reach out and pull the sash into a locked position: [Awning: one operating lock installed on units with frame widths 29" and less, two unison operating locks installed on units with frame widths over 29"] [Large Awning: one operating lock installed on units with frame heights 41" and less, two unison operating locks installed on units with frame height over 41"].
- Style of hardware is [Standard integrated fold-away crank and standard lock handle with [baked enamel [Champagne] [White] [Brown] [Matte Black]] [bright brass] [satin nickel] [oil-rubbed bronze] hardware finish] [Antiek fold-away crank and Antiek lock handle with [baked enamel [Champagne] [White] [Brown] [Matte Black]] [Bright Brass] [Satin Nickel] [Oil-rubbed Bronze] [Antique Brass] [Distressed Bronze] [Distressed Nickel] hardware finish].

OPTIONAL PRODUCTS

Grilles

- Integral Light Technology® grilles
 - Interior grilles are [5/8"] [7/8"] [1-1/4"] [2"] ogee profile that are solid [Pine] [mahogany] [douglas fir]. Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [paint] [stain]₁].
 - Exterior grilles are [5/8" putty glaze profile] [7/8" [putty glaze] [ogee] profile] [1-1/4" [putty glaze] [ogee] profile] [2" ogee profile] that are extruded aluminum.
 - Patterns are [Traditional] [Prairie] [Top Row] [Cross] [New England] [Victorian] [Simulated French (fixed units only)].
 - Insulating glass contains non-glare spacer between the panes of glass.
 - Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with non-glare spacer.
 - or -
- Grilles-Between-the-Glass₃
 - Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass (exterior air-space on triple-pane insulating glass).
 - Patterns are [Traditional] [Prairie] [Cross] [Top Row] [Custom - Equally Divided].
 - Interior color is [White] [Black] [Tan₄] [Brown₄] [Putty₄] [Ivory] [Brickstone] [Harvest] [Cordovan].
 - Exterior colors₅ is [Standard]₂.
 - or -
- Roomsie Removable Grilles
 - [[3/4"] [1-1/4"] [2"] Regular] [[1-1/4"] [2"] Colonial] profile, with [Traditional] [Prairie]] patterns that are removable solid pine wood bars steel-pinned at joints and fitted to sash with steel clips and tacks.
 - Interior [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [paint] [stain] ₂].
 - Exterior [unfinished, ready for site finishing] [factory primed] [factory prefinished, finish color matched to exterior cladding]₅.

Screens

- InView™ screens
 - Vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in aluminum frame fitted to inside of window, supplied complete with all necessary hardware.
 - Screen frame finish is [baked enamel [Champagne] [White] [Brown] [Black]] [Wrapped in wood veneer, finished to match interior finish].
 - or -
- Vivid View® screens
 - PVDF 21/17 mesh, minimum 78 percent light transmissive screen, set in aluminum frame fitted to inside of window, supplied complete with all necessary hardware.
 - Screen frame finish is [baked enamel [Champagne] [White] [Brown] [Black]] [Wrapped in wood veneer, finished to match interior finish].

Hardware

- Optional factory applied limited opening hardware available for vent units in stainless steel; nominal 3" opening.

(1) Insulating glass with argon is Low-E coated (except high altitude). All other insulating glass (including high altitude Low-E) is air-filled.

(2) Contact your local Pella sales representative for current color options.

(3) Available on units glazed with Low-E insulated glass with argon, clear insulated glass and obscure insulated glass.

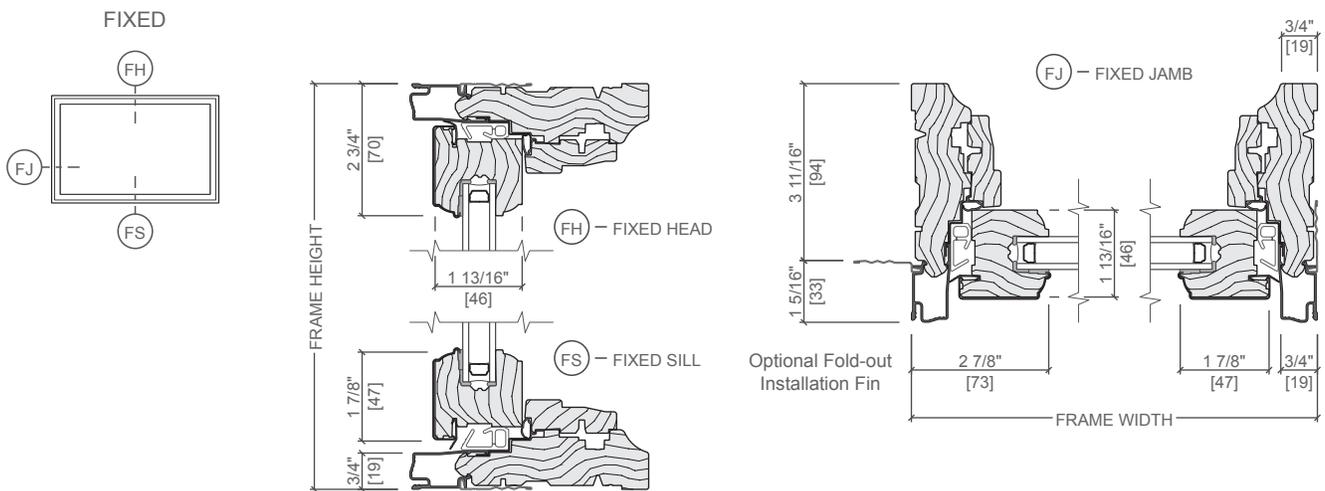
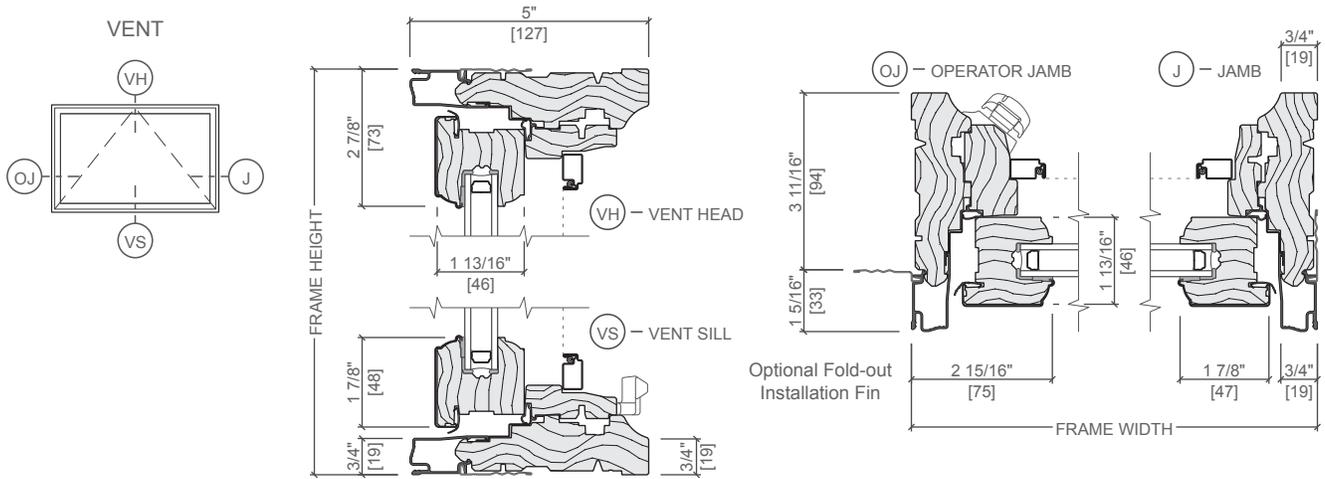
(4) Tan, Brown or Putty Interior GBG colors are available in single-tone (Brown/Brown, Tan/Tan or Putty/Putty). Other interior colors are also available with tan or brown exterior.

(5) Appearance of exterior grille color will vary depending on Low-E coating on glass.

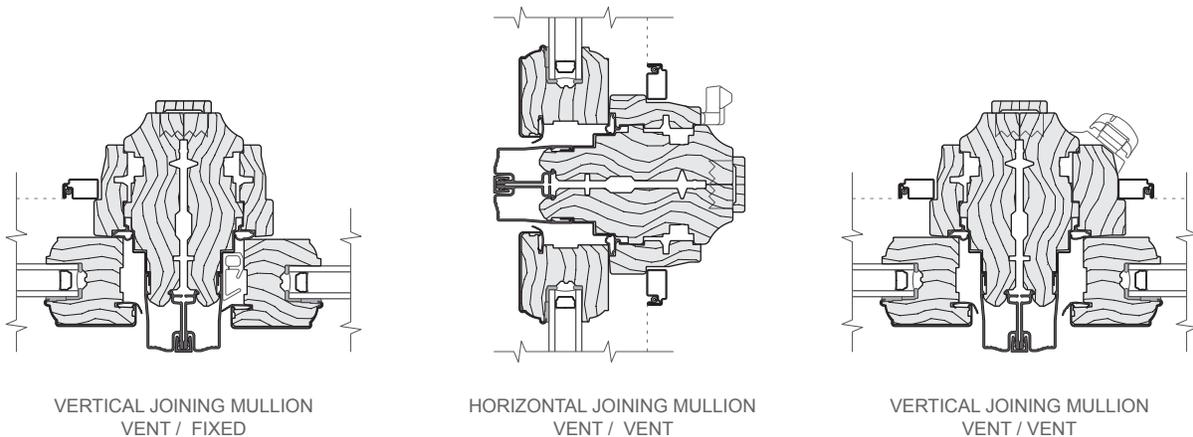


UNIT SECTIONS

Aluminum-Clad Exterior



TYPICAL JOINING MULLIONS



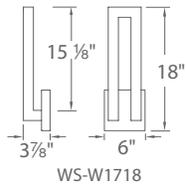
Scale 3" = 1' 0"

All dimensions are approximate.

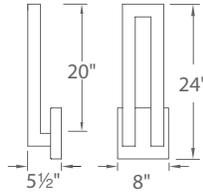
See www.PellaADM.com for mullion limitations and reinforcing requirements.

FORQ – model: WS-W17

LED Exterior Sconce



WS-W1718



WS-W1724

LT-01 BACCICH RESIDENCE
 FORQ OUTDOOR SCONCE - 18" X 6"
 COLOR: GRAPHITE
 MOUNT INVERTED
 LED 3000K
 WS-W1718-22W-GH

Loc'n: Front Entry Porch (2)



PRODUCT DESCRIPTION

Tall and austere. A simple form presents from the wall behind it while enhancing the sense of space by drawing the eye to the wall. Rated for interior and exterior applications.

FEATURES

- ADA compliant, low profile design
- ETL & cETL wet location listed, IP 65 rated
- Aluminum construction
- Full range dimming when used with compatible dimmers*
- Transformer located in canopy
- 277V option available (special order)
- Replaceable LED modules
- 60,000 hour rated life
- Color Temp: 3000K
- CRI: 90

SPECIFICATIONS

Construction: Aluminum

Light Source: High output LED.

Finish: Black (BK), Bronze (BZ), Graphite (GH), White (WT)

Standards: ETL & cETL wet location listed IP 65. ADA compliant.

ORDER NUMBER

Model	Height	Watt	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W1718	18"	22W	120V	1876	790	BK Black
WS-W1724	24"	33W		1546	1443	BZ Bronze
						GH Graphite
						WT White

Example: **WS-W1718-GH**

For 277V special order, add an "F" before the finish: **WS-W1718F-GH**

modernforms.com
 Phone (800) 526.2588
 Fax (800) 526.2585

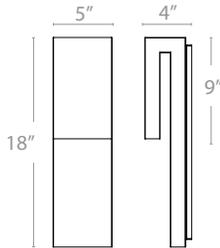
Headquarters/Eastern Distribution Center
 44 Harbor Park Drive
 Port Washington, NY 11050

Central Distribution Center
 1600 Distribution Ct
 Lithia Springs, GA 30122

Western Distribution Center
 1750 Archibald Avenue
 Ontario, CA 91760



DOUBLE DOWN – model: WS-W137
LED Exterior Sconce



LT-02 BACCICH RESIDENCE
DOUBLE DOWN OUTDOOR SCONCE
18" X 5"
COLOR: GRAPHITE
LED 3000K
WS-W13718-GH

Loc'n: Kitchen Deck (2)
Lower Level (2)



PRODUCT DESCRIPTION

Parlay your bet with this winning hand. The dual down light sconce delivers layered lighting from an architectural style with twin down lights emanating from different levels for a tiered effect. Designed in a unique format, this sconce makes a welcoming entry light or intriguing sconce in contemporary residential and commercial indoor/outdoor settings. ADA compliant. Dark Sky friendly.

FEATURES

- ETL & cETL Wet location listed, IP65 rated
- ADA compliant, low profile design
- Aluminium construction
- Dark Sky friendly when mounted in downward orientation
- Driver located inside fixture
- Universal driver (120V-220V-277V)
- Full range dimming when used with compatible dimmers*
- 50,000 hour rated life
- Color Temp: 3000K
- CRI: 90

SPECIFICATIONS

Construction: Aluminum

Light Source: High output LED.

Finish: Black (BK), Graphite (GH)

Standards: ETL & cETL wet location listed IP 65. ADA compliant.

ORDER NUMBER

	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W13718	11W	120V-277V	300	275	GH Graphite BK Black

Example: **WS-W13718-GH**

modernforms.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

PITCH SINGLE WALL SCONCE

An architectural profile reminiscent of beautifully classic roof lines delivers significant light output in this modern LED wall sconce suitable for both indoor and outdoor applications. The Pitch Single's die-cast metal body houses powerful LED light sources that create visual appeal as light cascades down along a wall.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

Can be mounted for up lighting or down lighting

SPECIFICATIONS

DELIVERED LUMENS	822.6
WATTS	26.2
VOLTAGE	120V, 277V
DIMMING	ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Downlight or Uplight
CCT	2700K, 3000K
CRI	80+
COLOR BINNING	3 Step
BUG RATING	B1-U0-G0
DARK SKY	Compliant (Downlight)
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 Years
WEIGHT	1.2 lbs.

* Visit techlighting.com for specific warranty limitations and details.

LT-03 BACCICH
RESIDENCE
COLOR:
CHARCOAL
700WSPIT-S-H-
LED830

(2) lower level



PITCH SINGLE
shown in black



PITCH SINGLE
shown in bronze



PITCH SINGLE
shown in charcoal

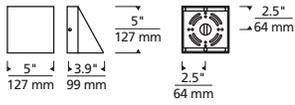


PITCH SINGLE
shown in silver

ORDERING INFORMATION

PRODUCT	SIZE	FINISH	LAMP
700WSPIT	S SINGLE	B BLACK	-LED827 LED 80 CRI, 2700K 120V
		Z BRONZE	-LED827277 LED 80 CRI, 2700K 277V
		H CHARCOAL	-LED830 LED 80 CRI, 3000K 120V
		I SILVER	-LED830277 LED 80 CRI, 3000K 277V

PITCH SINGLE WALL SCONCE



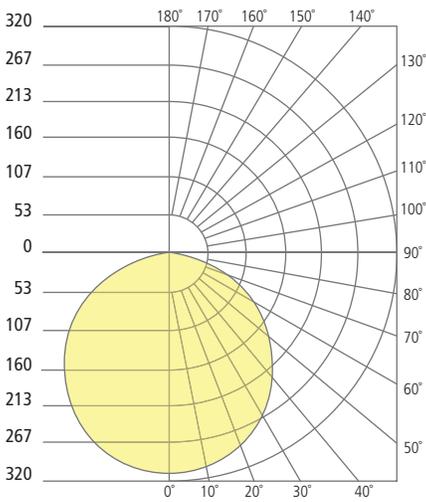
Pitch Single

PHOTOMETRICS*

*For latest photometrics, please visit www.techlighting.com/OUTDOOR

PITCH SINGLE

Total Lumen Output: 822.6
 Total Power: 26.2
 Luminaire Efficacy: 31.4
 Color Temp: 3000K
 CRI: 80+
 BUG Rating: B1-U0-G0



PROJECT INFO

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

NOTES



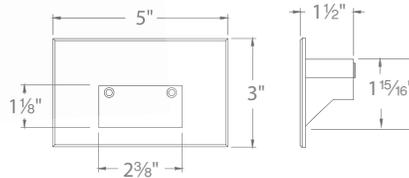
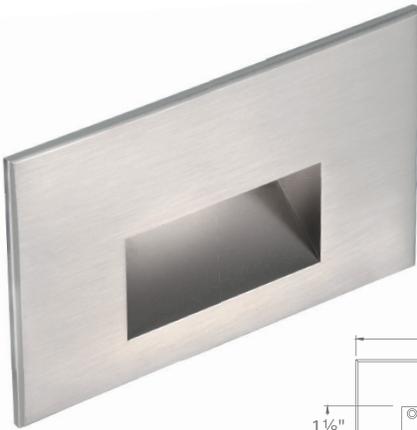
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RECTANGLE STEP LIGHTS 12V

4011

WAC

LANDSCAPE LIGHTING



Fixture Type:

LT-04

Catalog Number:

Project:

Baccich Residence

Location:

Side of Garage (2)

Hot Tub Patio (1)

Kitchen Deck (1)

Master Bed Deck (1)

Top Deck (3)

PRODUCT DESCRIPTION

Horizontal rectangle step light designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- IP66 rated, Protected against high-pressure water jets
- Conveniently adapts into existing 12V system
- Invisible hardware
- Maintains constant lumen output against voltage drop
- UL 1838 Listed

SPECIFICATIONS

- Input:** 9-15VAC (Transformer is required)
Power: 2W / 3.1VA
CRI: 90
Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H. Includes bracket for J-Box mount.
Rated Life: 60,000 hours

ORDERING NUMBER

		Color Temp	CRI	Finish	Lumens	
4011	12V	27	2700K	90	BBR Bronze on Brass	17
					BK Black on Aluminum	17
					BZ Bronze on Aluminum	17
					WT White on Aluminum	38
	30	3000K	90	BBR Bronze on Brass	17	
				BK Black on Aluminum	17	
				BZ Bronze on Aluminum	17	
				WT White on Aluminum	38	
				SS Cast Stainless Steel	23	
	AM	Amber	-	BBR Bronze on Brass	11	
				BK Black on Aluminum	11	
				BZ Bronze on Aluminum	11	
WT White on Aluminum				23		
				SS Cast Stainless Steel	14	

4011-_____

Example: **4011-30BK**

wacighting.com
 Phone (800) 526.2588
 Fax (800) 526.2585

Headquarters/Eastern Distribution Center
 44 Harbor Park Drive
 Port Washington, NY 11050

Central Distribution Center
 1600 Distribution Ct
 Lithia Springs, GA 30122

Western Distribution Center
 1750 Archibald Avenue
 Ontario, CA 91760

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Magnetic Transformers

Stainless Steel, 12-15V output, IP65 rated, UL 1838 listed
See transformer spec sheet for details and its accessories



9075-TRN-SS
75W Max

9150-TRN-SS
150W Max

9300-TRN-SS
300W Max

9600-TRN-SS
600W Max

TESTED MAGNETIC LOW VOLTAGE (MLV) DIMMERS

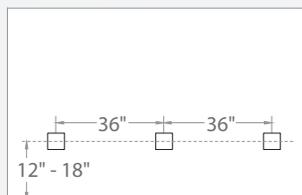
Luminaire	Dimmer					
	Manufacturer	Family	Model	Power Rating	Range*	Note
4011	Lutron	Diva	DVLV-600	600W	23% - 100%	
		Skylark	SLV-600P	600W	17% - 100%	Best performance
		Skylark	S-10P	1000W		Not recommended

*Low end of this range is determined by output current which may not directly translate to the perceived light output

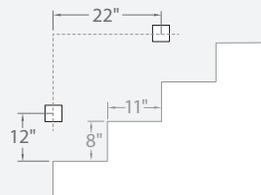
WAC Lighting fixtures are compatible with a variety of dimmers. For your convenience we have included a compatibility chart showing dimmers which have been tested with our products. The recommended list below is based upon testing conducted in a lab, and the results can vary in certain field applications due to a number of factors. Exclusion from the list does not imply incompatibility, just that it has not been tested by WAC Lighting. Please reference the dimmer manufacturer's instructions for installation, or contact a WAC lighting professional at 800-526-2588.

Spacing Recommendations for Optimal Light Distribution

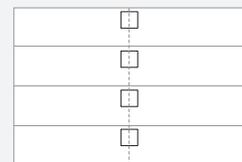
Corridors / Hallways



Stairs - Wall Mount



Stairs - Step Mount



Mount in center of stair as close to the upper tread as possible. For best results use one light per step for steps narrower than 5 feet

waclighting.com
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Fax (800) 526.2585

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44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

LED Strip light at Garage



SW24/3.0

STRIP: Static White

TYPE L5



One step one bin static white LED strip with 300 lm/ft @ 3000K provides an even, consistent color. This energy-efficient 24-volt, 3.0-watt/foot strip features 6 diodes per 1" cut point and is available in CCTs of 2000K, 2200K, 2400K, 2700K, 3000K, 3500K, and 4000K. Choose your connection type from bare wire, barrel connectors, or not soldered, and dry, damp, wet, or encapsulated finishes. CCTs 2200K and greater meet or exceed Title 24 and JA8. Pair with an aluminum extrusion to create a custom fixture.

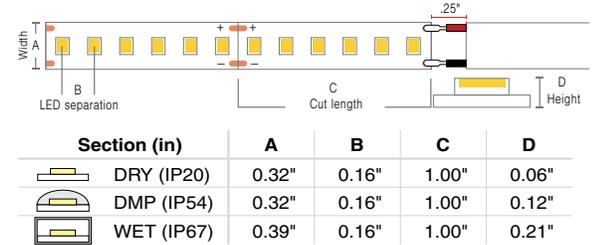
The SW24/3.0 strip is Quick Ship eligible in CCT's of 2400K, 2700K, 3000K, and 3500K and is available in full reels or custom cut lengths.

Technical Information [Calculated L70 = 70000 hours]

Tested with SW24/3.0-DRY

CCT	Lumen/ft	Luminous Efficacy	CRI Ra	CRI R9	TM30 Rf	TM30 Rg
● 2000K	255	82 Lm/W	93	60	89	103
● 2200K	254	81 Lm/W	96	91	93	100
● 2400K	245	78 Lm/W	94	98	93	103
● 2700K	287	92 Lm/W	97	95	94	101
● 3000K	300	96 Lm/W	98	96	93	101
● 3500K	317	102 Lm/W	98	97	92	100
○ 4000K	300	96 Lm/W	96	89	90	100

Dimensions



Part Number Builder

V/Watts	Rated	CCT - Lumens/CRI	Connector/ Wire In	Connector/ Wire Out	Wire Color	Wire Type	Illuminated Length (in)
SW24/3.0							
Voltage: 24 VDC Wattage: 3.0 W/ft							1" increments Matches EXT length ordered
	DRY (IP20)	20 - 2000K 255/93 22 - 2200K 254/96 24 - 2400K 245/94 27 - 2700K 287/97 30 - 3000K 300/98 35 - 3500K 317/98 40 - 4000K 300/96	BW BRL CLS CON6 CON24	CLS BW BRL CON6 CON24	WH BK N/A	CL2 CL2P N/A	1"-384" OR MATCH
	DMP (IP54)	24 - 2400K ***/** 27 - 2700K 244/99 30 - 3000K 252/98 35 - 3500K 249/95 40 - 4000K 270/96	BW BRL CON6 CON24	CLS BW BRL CON6 CON24	WH BK N/A	CL2 CL2P N/A	1"-180" OR MATCH
	ENC (IP67)	20 - 2000K ***/** 22 - 2200K ***/** 24 - 2400K 227/95 27 - 2700K 230/95 30 - 3000K 242/95 35 - 3500K 262/96 40 - 4000K 275/96	BW BRL	CLS BW BRL	WH BK N/A	CL2 CL2P N/A	MATCH
	WET (IP67)	20 - 2000K ***/** 22 - 2200K ***/** 24 - 2400K 227/95 27 - 2700K 230/95 30 - 3000K 242/95 35 - 3500K 262/96 40 - 4000K 275/96	BW BRL	CLS BW BRL	WH BK N/A	CL2 CL2P N/A	1"-360" OR MATCH

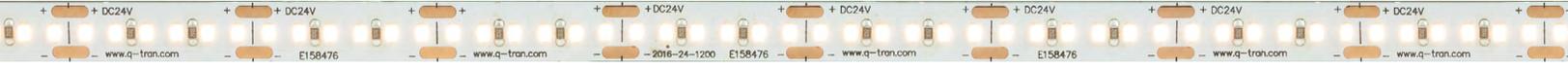
- If selecting **BRL**, select **N/A** for wire color and type
- BW** comes in standard 24"- request custom length (Max 120") by writing it in inches next to "BW" in the order code box (ex. BW48)
- Wire orientation for **MATCH** will be dictated by extrusion Feed In/Feed Out selection
 - Connector/Wire In or Out not needed to specify product. Standard configuration is BW for Wire In and CLS for Wire out
- If ordering an encapsulated extrusion, **ENC** (Encapsulated in Extrusion) must be chosen for your strip.
 - ENC RATED STRIP ARE NOT FIELD CUTTABLE
- CL2** wire is standard non-plenum wire, **CL2P** wire is plenum rated

- 5 year warranty
- Field modifications must comply with Q-Tran's installation methods otherwise warranty is null & void
- All data has +/- 5% tolerance
- UL Listed
- Suitable for installation in the storage area of a clothes closet when assembled as a fixture at Q-Tran facility (Not applicable for encapsulation)
- Title 24 - JA8-2016 Strips: DRY, DMP, and WET rated, 2200K and above



SW24/3.0

STRIP: Static White



Compatible Extrusions

	SLIM	WIDE	ROND	VEGA	TORQ	TRE3	LALO	TALO
DRY	✓	✓	✓	✓	✓	✓	✓	✓
DMP	✓	✓	✓	✓	✓	✓	✓	✓
ENC					✓		✓	✓
WET	✓ No Lens	✓			✓	✓	✓	✓

	ARKA	TELA	VEVE	FLUR	EMBD	LATO	MDIN
DRY	✓	✓	✓	✓	✓	✓	✓
DMP	✓	✓	✓	✓	✓	✓	✓
ENC				✓	✓	✓	
WET	✓	✓	✓	✓	✓	✓	

Connector/Wire – In/Out

BW Bare Wire 24"	BRL Barrel 6"	CON6 Connector 6"	CON24 Connector 24"	CLS Not soldered
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Compatible Power Supplies

See website for additional power supply options

QZ 	iQ-PH-80 	QTM-DC 	QTM-DC+CAP 	QTM-eLED
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Compatible Accessories

SNP-LEAD DRY only 22 - 20 AWG	SNP-INLINE DRY only 22 - 20 AWG	Q-mini-J
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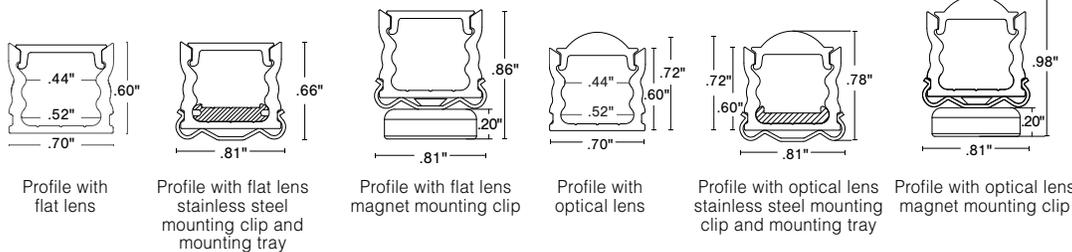


Our most popular LED extrusion, the TORQ, is ideal for surface mounted or recessed installations. Pair the TORQ with an optional mounting tray for a 60-degree or 70-degree beam angle. The TORQ is available in satin, black, and bronze finishes, with clear, frosted, polar, diffused, and optical lens options, or the TORQ can be encapsulated in clear or translucent. Combine TORQ with WhiteOptics to increase light output between 5-52%.

Finish

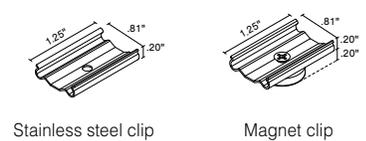


Dimensions

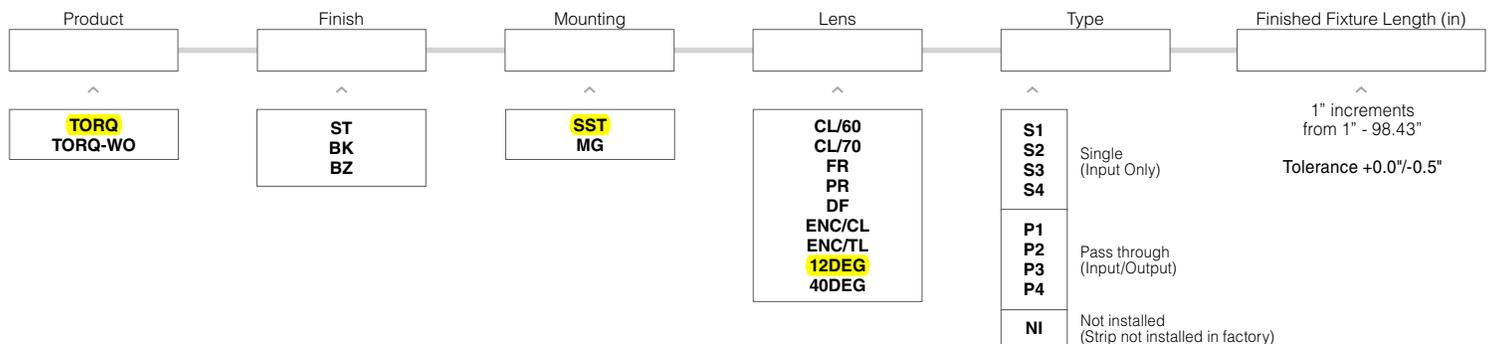


Mounting

2 clips provided for 4' or less; 4 clips provided for greater than 4'



Part Number Builder



1 If selecting WhiteOptics option, select TORQ-WO for Product

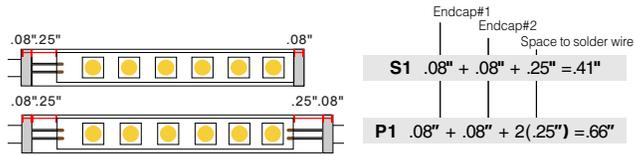
- Field modifications must comply with Q-Tran's installation methods otherwise warranty is null & void
- UL Listed when assembled with STRIP LEDs at Q-Tran
- Suitable for installation in the storage area of a clothes closet when assembled as a fixture at Q-Tran facility (Not applicable for encapsulation or LED strips exceeding 4W/ft)
- Surface mount
- Two different cut off angles: CL/60 and CL/70
- Two encapsulation options: clear and translucent
- Metallic end caps with white interior



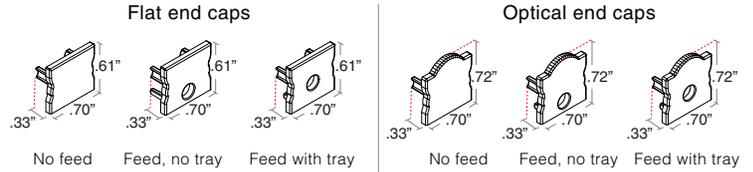
Compatible Strips

	STATIC WHITE (SW)	STATIC WHITE INDIVIDUALLY ADDRESSABLE (SW-IA)	STATIC WHITE STOCKING DISTRIBUTOR (SD-SW)	STATIC WHITE HIGH EFFICACY (SW-HE)	STATIC WHITE HIGH EFFICACY PLUS (SW-HE+)	DYNAMIC WHITE (DW)	DYNAMIC WHITE HIGH EFFICACY (DW-HE)	STATIC COLOR (SC)	RGB	RGBW	RGBW HIGH EFFICACY (RGBW-HE)
	1.5W/ft 3.0W/ft 4.0W/ft 5.0W/ft 6.0W/ft	5.0W/ft	2.0W/ft 4.0W/ft 6.0W/ft	1.5W/ft 3.0W/ft 6.0W/ft 9.0W/ft	3.0W/ft 6.0W/ft	6.0W/ft	3.0W/ft 5.0W/ft 8.0W/ft	5.0W/ft	6.0W/ft	6.0W/ft	4.0W/ft 8.0W/ft
DRY	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓
DMP	✓ <small>Not compatible with 6.0</small>			✓ <small>Not compatible with 9.0</small>		✓	✓ <small>Not compatible with 8.0</small>	✓	✓		✓ <small>Not compatible with 8.0</small>
ENC	✓ <small>Not compatible with 6.0</small>			✓ <small>Not compatible with 9.0</small>		✓	✓ <small>Not compatible with 8.0</small>	✓	✓		✓ <small>Not compatible with 8.0</small>
WET	✓ <small>Not compatible with 6.0</small>		✓ <small>Not compatible with 6.0</small>					✓			

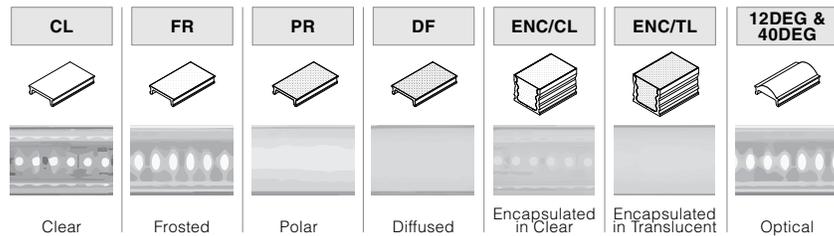
Length (in) Add to nominal LED length for fixture length



End Caps



Lens with LED visibility



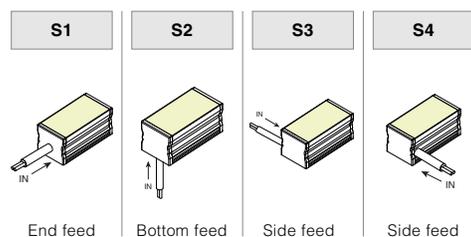
WhiteOptics Photometrics

[Calculated L70(6k) - 70000 hours] Tested with SW24/5.0-DRY-30

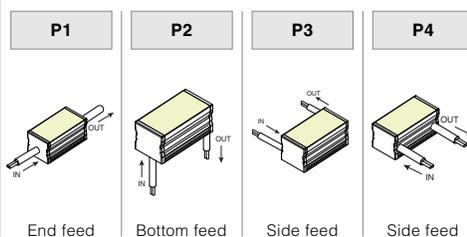
	TORQ LM/FT		TORQ-WO LM/FT		TORQ-WO Lumen Increase	
	Satin	Black/Bronze	Satin	Black/Bronze	Satin	Black/Bronze
Clear	346	277	365	350	5%	26%
Frosted	298	235	326	315	9%	34%
Polar	281	208	312	291	11%	40%
Diffused	245	168	270	256	10%	52%

Type

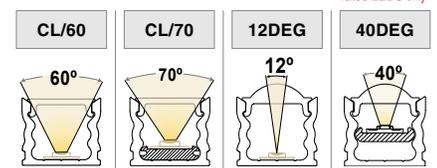
SINGLE (Input only)



PASS THROUGH (Input/Output)



Cut Off



DRY and DMP rated LEDs only

LED
Strip
light at
Entry
Porch
Roof



SW24/3.0

STRIP: Static White

TYPE L6



One step one bin static white LED strip with 300 lm/ft @ 3000K provides an even, consistent color. This energy-efficient 24-volt, 3.0-watt/foot strip features 6 diodes per 1" cut point and is available in CCTs of 2000K, 2200K, 2400K, 2700K, 3000K, 3500K, and 4000K. Choose your connection type from bare wire, barrel connectors, or not soldered, and dry, damp, wet, or encapsulated finishes. CCTs 2200K and greater meet or exceed Title 24 and JA8. Pair with an aluminum extrusion to create a custom fixture.

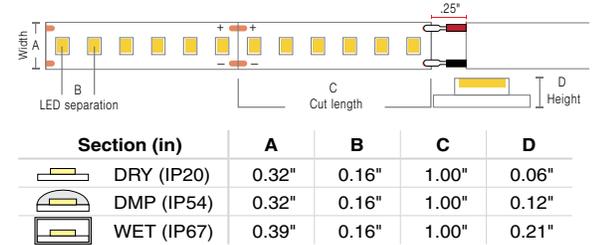
The SW24/3.0 strip is Quick Ship eligible in CCT's of 2400K, 2700K, 3000K, and 3500K and is available in full reels or custom cut lengths.

Technical Information [Calculated L70 = 70000 hours]

Tested with SW24/3.0-DRY

CCT	Lumen/ft	Luminous Efficacy	CRI Ra	CRI R9	TM30 Rf	TM30 Rg
● 2000K	255	82 Lm/W	93	60	89	103
● 2200K	254	81 Lm/W	96	91	93	100
● 2400K	245	78 Lm/W	94	98	93	103
● 2700K	287	92 Lm/W	97	95	94	101
● 3000K	300	96 Lm/W	98	96	93	101
● 3500K	317	102 Lm/W	98	97	92	100
○ 4000K	300	96 Lm/W	96	89	90	100

Dimensions



Part Number Builder

V/Watts	Rated	CCT - Lumens/CRI	Connector/ Wire In	Connector/ Wire Out	Wire Color	Wire Type	Illuminated Length (in)
SW24/3.0							
Voltage: 24 VDC Wattage: 3.0 W/ft							1" increments Matches EXT length ordered
	DRY (IP20)	20 - 2000K 255/93 22 - 2200K 254/96 24 - 2400K 245/94 27 - 2700K 287/97 30 - 3000K 300/98 35 - 3500K 317/98 40 - 4000K 300/96	BW BRL CLS CON6 CON24	CLS BW BRL CON6 CON24	WH BK N/A	CL2 CL2P N/A	1"-384" OR MATCH
	DMP (IP54)	24 - 2400K ***/** 27 - 2700K 244/99 30 - 3000K 252/98 35 - 3500K 249/95 40 - 4000K 270/96	BW BRL CON6 CON24	CLS BW BRL CON6 CON24	WH BK N/A	CL2 CL2P N/A	1"-180" OR MATCH
	ENC (IP67)	20 - 2000K ***/** 22 - 2200K ***/** 24 - 2400K 227/95 27 - 2700K 230/95 30 - 3000K 242/95 35 - 3500K 262/96 40 - 4000K 275/96	BW BRL	CLS BW BRL	WH BK N/A	CL2 CL2P N/A	MATCH
	WET (IP67)	20 - 2000K ***/** 22 - 2200K ***/** 24 - 2400K 227/95 27 - 2700K 230/95 30 - 3000K 242/95 35 - 3500K 262/96 40 - 4000K 275/96	BW BRL	CLS BW BRL	WH BK N/A	CL2 CL2P N/A	1"-360" OR MATCH

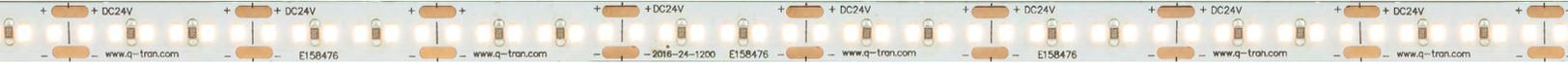
- If selecting **BRL**, select **N/A** for wire color and type
- BW** comes in standard 24"- request custom length (Max 120") by writing it in inches next to "BW" in the order code box (ex. BW48)
- Wire orientation for **MATCH** will be dictated by extrusion Feed In/Feed Out selection
 - Connector/Wire In or Out not needed to specify product. Standard configuration is BW for Wire In and CLS for Wire out
- If ordering an encapsulated extrusion, **ENC** (Encapsulated in Extrusion) must be chosen for your strip.
 - ENC RATED STRIP ARE NOT FIELD CUTTABLE
- CL2** wire is standard non-plenum wire, **CL2P** wire is plenum rated

- 5 year warranty
- Field modifications must comply with Q-Tran's installation methods otherwise warranty is null & void
- All data has +/- 5% tolerance
- UL Listed
- Suitable for installation in the storage area of a clothes closet when assembled as a fixture at Q-Tran facility (Not applicable for encapsulation)
- Title 24 - JA8-2016 Strips: DRY, DMP, and WET rated, 2200K and above



SW24/3.0

STRIP: Static White



Compatible Extrusions

	SLIM	WIDE	ROND	VEGA	TORQ	TRE3	LALO	TALO
DRY	✓	✓	✓	✓	✓	✓	✓	✓
DMP	✓	✓	✓	✓	✓	✓	✓	✓
ENC					✓		✓	✓
WET	✓ No Lens	✓			✓	✓	✓	✓

	ARKA	TELA	VEVE	FLUR	EMBD	LATO	MDIN
DRY	✓	✓	✓	✓	✓	✓	✓
DMP	✓	✓	✓	✓	✓	✓	✓
ENC				✓	✓	✓	
WET	✓	✓	✓	✓	✓	✓	

Connector/Wire – In/Out

BW Bare Wire 24"	BRL Barrel 6"	CON6 Connector 6"	CON24 Connector 24"	CLS Not soldered
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Compatible Power Supplies

See website for additional power supply options

QZ 	iQ-PH-80 	QTM-DC 	QTM-DC+CAP 	QTM-eLED
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Compatible Accessories

SNP-LEAD DRY only 22 - 20 AWG	SNP-INLINE DRY only 22 - 20 AWG	Q-mini-J
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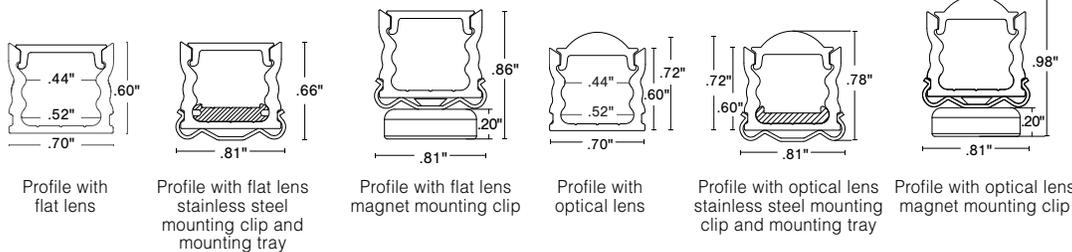


Our most popular LED extrusion, the TORQ, is ideal for surface mounted or recessed installations. Pair the TORQ with an optional mounting tray for a 60-degree or 70-degree beam angle. The TORQ is available in satin, black, and bronze finishes, with clear, frosted, polar, diffused, and optical lens options, or the TORQ can be encapsulated in clear or translucent. Combine TORQ with WhiteOptics to increase light output between 5-52%.

Finish

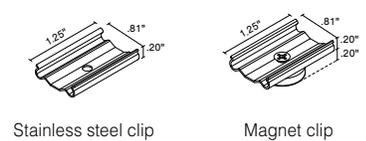


Dimensions

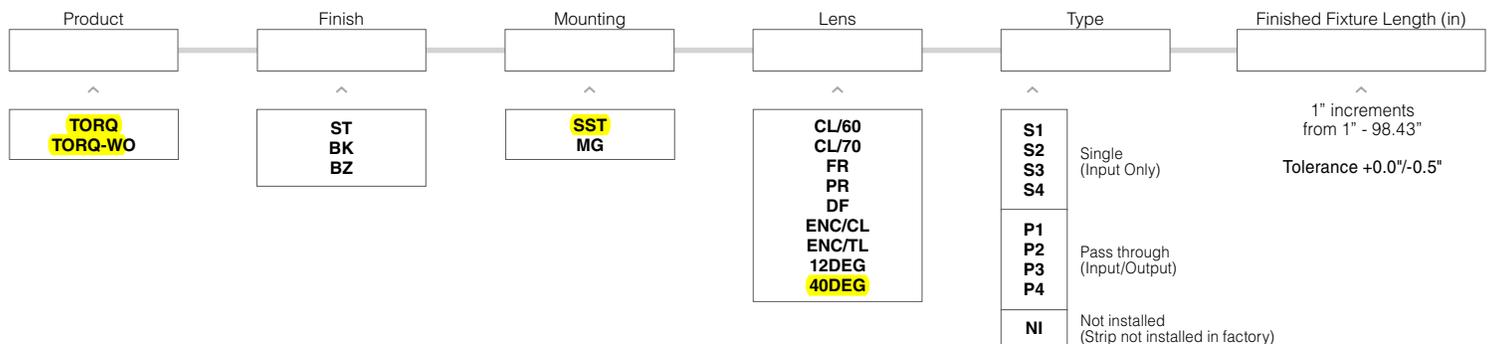


Mounting

2 clips provided for 4' or less; 4 clips provided for greater than 4'



Part Number Builder



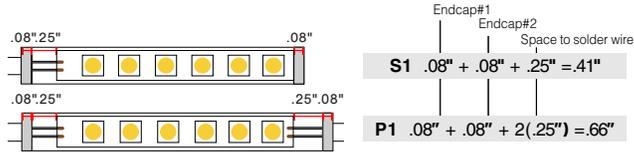
1 If selecting WhiteOptics option, select TORQ-WO for Product

- Field modifications must comply with Q-Tran's installation methods otherwise warranty is null & void
- UL Listed when assembled with STRIP LEDs at Q-Tran
- Suitable for installation in the storage area of a clothes closet when assembled as a fixture at Q-Tran facility (Not applicable for encapsulation or LED strips exceeding 4W/ft)
- Surface mount
- Two different cut off angles: CL/60 and CL/70
- Two encapsulation options: clear and translucent
- Metallic end caps with white interior

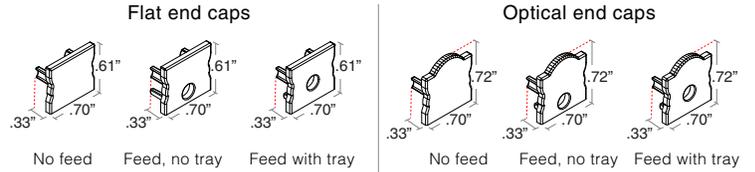
Compatible Strips

	STATIC WHITE (SW)	STATIC WHITE INDIVIDUALLY ADDRESSABLE (SW-IA)	STATIC WHITE STOCKING DISTRIBUTOR (SD-SW)	STATIC WHITE HIGH EFFICACY (SW-HE)	STATIC WHITE HIGH EFFICACY PLUS (SW-HE+)	DYNAMIC WHITE (DW)	DYNAMIC WHITE HIGH EFFICACY (DW-HE)	STATIC COLOR (SC)	RGB	RGBW	RGBW HIGH EFFICACY (RGBW-HE)
	1.5W/ft 3.0W/ft 4.0W/ft 5.0W/ft 6.0W/ft	5.0W/ft	2.0W/ft 4.0W/ft 6.0W/ft	1.5W/ft 3.0W/ft 6.0W/ft 9.0W/ft	3.0W/ft 6.0W/ft	6.0W/ft	3.0W/ft 5.0W/ft 8.0W/ft	5.0W/ft	6.0W/ft	6.0W/ft	4.0W/ft 8.0W/ft
DRY	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓
DMP	✓ <small>Not compatible with 6.0</small>			✓ <small>Not compatible with 9.0</small>		✓	✓ <small>Not compatible with 8.0</small>	✓	✓		✓ <small>Not compatible with 8.0</small>
ENC	✓ <small>Not compatible with 6.0</small>			✓ <small>Not compatible with 9.0</small>		✓	✓ <small>Not compatible with 8.0</small>	✓	✓		✓ <small>Not compatible with 8.0</small>
WET	✓ <small>Not compatible with 6.0</small>		✓ <small>Not compatible with 6.0</small>					✓			

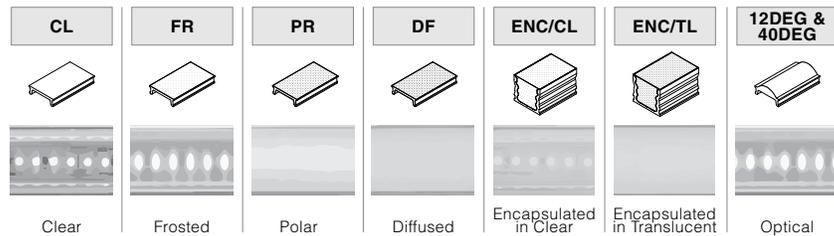
Length (in) Add to nominal LED length for fixture length



End Caps



Lens with LED visibility



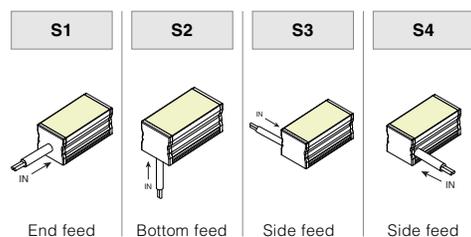
WhiteOptics Photometrics

[Calculated L70(6k) - 70000 hours] Tested with SW24/5.0-DRY-30

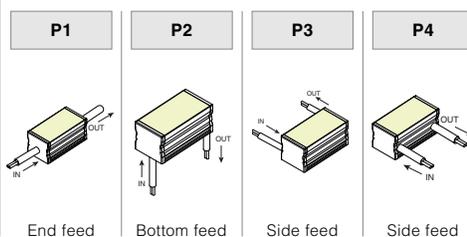
	TORQ LM/FT		TORQ-WO LM/FT		TORQ-WO Lumen Increase	
	Satin	Black/Bronze	Satin	Black/Bronze	Satin	Black/Bronze
Clear	346	277	365	350	5%	26%
Frosted	298	235	326	315	9%	34%
Polar	281	208	312	291	11%	40%
Diffused	245	168	270	256	10%	52%

Type

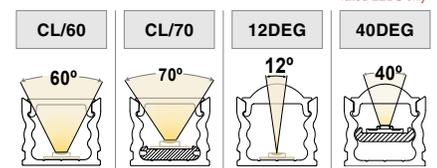
SINGLE (Input only)



PASS THROUGH (Input/Output)



Cut Off



DRY and DMP rated LEDs only

ENTRA 3" LED

ADJUSTABLE DOWNLIGHT & WALL WASH

TYPE L7

TECH LIGHTING

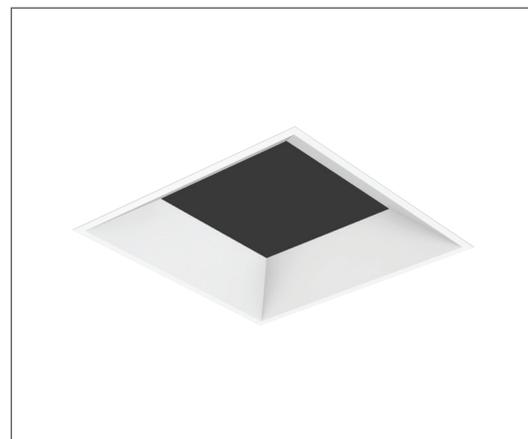
LED 5 YEAR WARRANTY

The ELEMENT Entra 3" adjustable LED downlight offers a cost-effective alternative to meet residential and commercial specifications on budget-sensitive projects. Custom engineered for high performance and reliability, ELEMENT Entra is easy to configure with a complete feature set that offers flexibility without an overwhelming list of options. Entra LED modules are available in High or Low Output, with 4 color temperatures and include 20°, 40° and 65° interchangeable optics with hot-aiming (30° tilt; 359° rotation). Flanged or flangeless (includes mud plate), round or square, flat or beveled die-cast trims in Silver and a paintable White finish. Remodel installation also available with same performance and trim options.

- Hot-aiming (30° tilt; 359° rotation)
- Flanged or Flangeless Ceiling Appearance
- 20°, 40° and 65° interchangeable optics (all included)
- Accepts 2 optical controls
- Warm Color Dimming 3000K-1800K
- 3-step color binning

SPECIFICATIONS

	HIGH OUTPUT	LOW OUTPUT	WARM DIM	
			HIGH	LOW
DELIVERED LUMENS	1311	980	925	715
WATTS	18	12	18	12
EFFICACY	73	82	49	59
CRI	90			
CBCP (AT 3000K)	20° - 4994			
	40° - 2544			
	65° - 1091			
CCT OPTIONS	2700K, 3000K, 3500K, 4000K, Warm Color Dimming (3000K - 1800K)			
COLOR CONSISTENCY	3-Step			
VOLTAGE	Universal 120V - 277V			
DIMMING*	TRIAC, ELV or 0-10V (all standard, down to 5%)			
POWER SUPPLY	Constant current driver with +.9 power factor and >87% efficiency			
OPTICS	20°, 40°, 65° (all included)			
ADJUSTABILITY	0-30° tilt, 359° rotation			
CEILING APPEARANCE	Flanged or Flangeless (Both accommodate 1/2" to 1 ceiling thickness)			
CEILING APERTURE	4" ceiling cutout			
HOUSING	IC Airtight, Chicago Plenum. IC suitable up to R60 spray foam insulation.			
CONSTRUCTION	Housing: Heavy gauge cold rolled steel Trims: Die cast aluminum			
FINISH	Housing: Black powder coat Trims: Silver, White (paintable)			
GENERAL LISTING	ETL listed. Damp listed. Shower version Wet listed. Energy Star.			
CALIFORNIA TITLE 24	Registered CEC Appliance Database. Can be used to comply with CEC 2019 Title 24 part 6 (JA8-2016, JA8-2019).			
LED LIFETIME	L70: 50,000 hours			
WARRANTY**	5 years			



shown in flangeless bevel square

*See techlighting.com for dimmer compatibility.
 **Visit techlighting.com for specific warranty limitations and details.
 Accepts two optical controls and an optional trim-mounted lens.
 Data in chart reflect 3000K/90 CRI values unless noted.

ENTRA 3" LED

ADJUSTABLE DOWNLIGHT & WALL WASH

GRIDS

HOUSING

PRODUCT SERIES	LAMP	CRI	TEMPERATURE	BEAM	FUNCTION	HOUSING RATING
EN3R ENTRA 3" ROUND	-LH HIGH OUTPUT	9 90 CRI	27 2700K	A 20° - 40° - 65°**	A ADJUSTABLE	I IC AIRTIGHT
EN3S ENTRA 3" SQUARE	-LO LOW OUTPUT		30 3000K 35 3500K 40 4000K WD WARM DIM (3000K - 1800K)			C CHICAGO PLENUM
	-	9		A	A	

INCLUDES AN LED DRIVER WITH UNIVERSAL INPUT 120V - 277V, DIMMABLE BY TRIAC, ELV OR 0-10V CONTROLS.
HOUSING SHIPS WITH PLASTER-PLATE FOR USE ON FLANGELESS INSTALLATION, DO NOT USE PLATE FOR FLANGED INSTALLS.
TRIMS ARE REQUIRED AND MUST BE ORDERED SEPARATELY.

*ADJUST TO 30° TILT FOR WALL WASH APPLICATION.

**LED MODULE SHIPS WITH 40° OPTIC INSTALLED. INCLUDES 20° AND 65° OPTICS AS WELL.

TRIM

PRODUCT SERIES	CEILING APPEARANCE	STYLE	APERTURE	FINISH
EN3R ENTRA 3" ROUND	L FLANGELESS	B BEVEL	-O NO LENS	S SILVER*
EN3S ENTRA 3" SQUARE	F FLANGED UP TO 0.75" CEILING THICKNESS	F FLAT	-H SHOWER (SANDBLASTED LENS)*	W WHITE
	F1 FLANGED 0.75" - 1" CEILING THICKNESS†	W WALL WASH	-S SHOWER (SOLITE LENSED)*	
			-W WALL WASH (LENSED)**	
			-	

*SHOWER (SANDBLASTED LENS OR SOLITE LENSED) APERTURE (-H AND -S) REQUIRES BEVEL TRIM (B). SOLITE LENSED (-S) IS NOT AVAILABLE IN SILVER.

**WALL WASH STYLE TRIM (W) CAN ONLY BE USED WITH WALL WASH LENSED APERTURE (-W).

†NEW CONSTRUCTION ADJUSTABLE HOUSING ONLY.

LENSES/LOUVERS*

ITEM	DESCRIPTION
140MR16SF	ENTRA SOLITE ROUND LENS
140MR16SB	ENTRA SANDBLASTED LENS
140MR16LL	ENTRA LINEAR SPREAD LENS
140MR16DF	ENTRA DIFFUSER SPREAD LENS
140MR16GL	ENTRA CLEAR LENS
700A02-BK	ENTRA EGGCRATE LOUVER

*LENSES/LOUVERS MOUNTED TO LAMP ASSEMBLY ONLY (MAX 2).

PROJECT INFO

FIXTURE TYPE & QUANTITY	JOB NAME & INFO	NOTES

TECH LIGHTING
VISUAL COMFORT & Co.

7400 Linder Avenue, Skokie, Illinois 60077

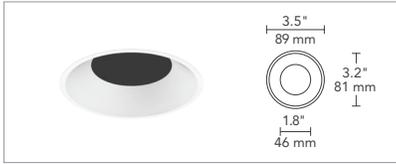
T 847.410.4400 F 847.410.4500



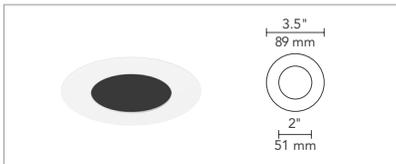
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TRIMS

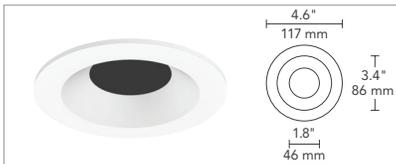
ROUND



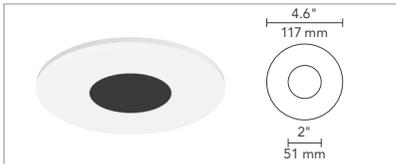
FLANGELESS BEVEL



FLANGELESS FLAT

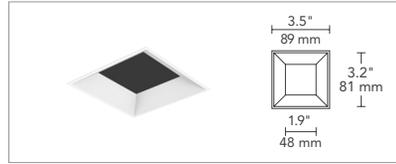


FLANGED BEVEL

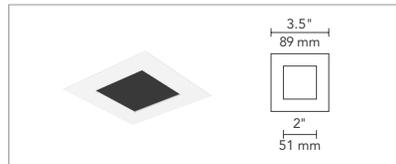


FLANGED FLAT

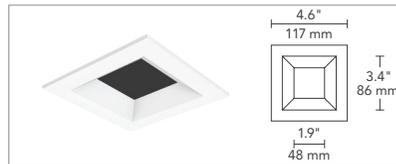
SQUARE



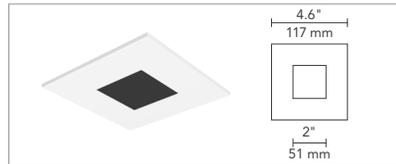
FLANGELESS BEVEL



FLANGELESS FLAT



FLANGED BEVEL



FLANGED FLAT

WALL WASH



FLANGELESS WALL WASH



FLANGED WALL WASH



FLANGELESS WALL WASH



FLANGED WALL WASH

FINISH



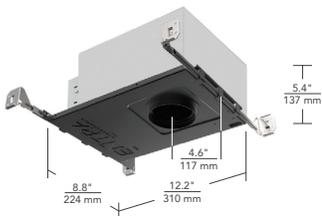
SILVER



WHITE
(PAINTABLE)

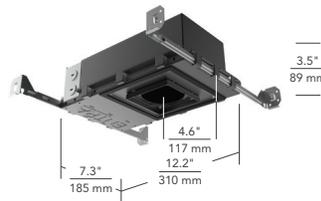
3" HOUSING

HIGH OUTPUT

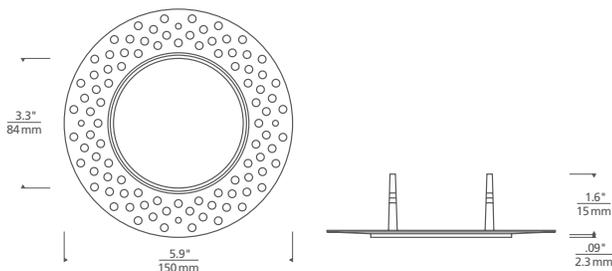


IC AIRTIGHT/CHICAGO PLENUM

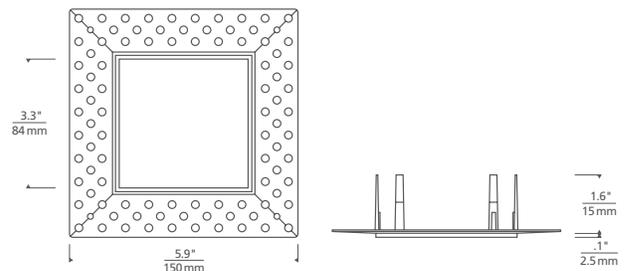
LOW OUTPUT



IC AIRTIGHT/CHICAGO PLENUM



*SHIPS WITH MUD/PLASTER PLATE FOR FLANGELESS INSTALLATION



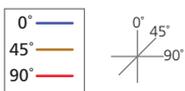
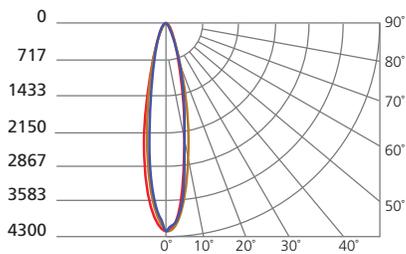
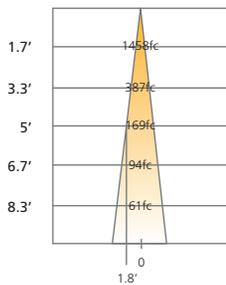
*SHIPS WITH MUD/PLASTER PLATE FOR FLANGELESS INSTALLATION

PHOTOMETRICS: 3" ENTRA LED

DESCRIPTION: 3" LED Module
20° Beam - 0° Tilt, 3000K
MODEL: ENTRA Adjustable 20° Low Output

INPUT POWER (WATTS): 11.9
INPUT POWER FACTOR: 0.98
ABSOLUTE LUMINOUS FLUX (LUMENS): 950
LUMEN EFFICACY (LUMENS PER WATT): 80

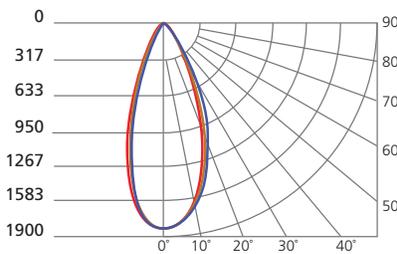
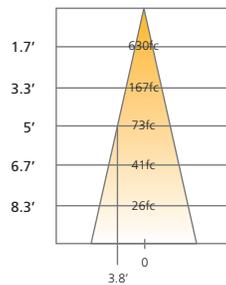
ANGLE	0°	45°	90°
0°	4213	4213	4213
5°	3746	3797	3620
10°	2524	2562	2359
15°	1429	1454	1292
20°	770	786	670
25°	435	439	358
30°	252	251	192
35°	132	136	99
40°	65	71	51
45°	30	38	24
50°	11	20	9
55°	5	9	4
60°	2	3	2
65°	1	1	1
70°	0	1	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0



DESCRIPTION: 3" LED Module
40° Beam - 0° Tilt, 3000K
MODEL: ENTRA Adjustable 40° Low Output

INPUT POWER (WATTS): 11.9
INPUT POWER FACTOR: 0.98
ABSOLUTE LUMINOUS FLUX (LUMENS): 979
LUMEN EFFICACY (LUMENS PER WATT): 82

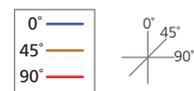
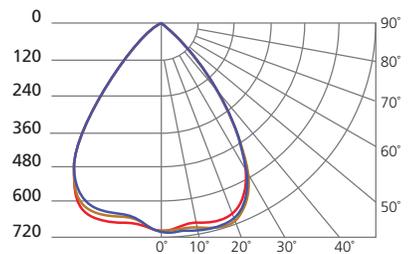
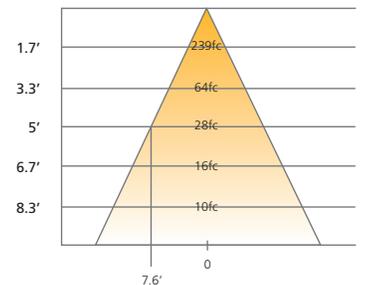
ANGLE	0°	45°	90°
0°	1822	1822	1822
5°	1771	1762	1770
10°	1624	1614	1588
15°	1413	1375	1289
20°	1130	1050	916
25°	795	700	562
30°	486	422	323
35°	267	242	175
40°	120	131	81
45°	49	65	33
50°	21	29	14
55°	10	10	7
60°	3	4	2
65°	0	2	0
70°	0	0	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0



DESCRIPTION: 3" LED Module
65° Beam - 0° Tilt, 3000K
MODEL: ENTRA Adjustable 65° Low Output

INPUT POWER (WATTS): 11.9
INPUT POWER FACTOR: 0.98
ABSOLUTE LUMINOUS FLUX (LUMENS): 1022
LUMEN EFFICACY (LUMENS PER WATT): 86

ANGLE	0°	45°	90°
0°	691	691	691
5°	701	691	680
10°	703	696	677
15°	708	707	686
20°	698	706	683
25°	658	667	647
30°	568	580	563
35°	436	449	436
40°	275	296	285
45°	145	161	150
50°	68	72	67
55°	28	30	28
60°	3	13	5
65°	0	3	0
70°	0	0	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0

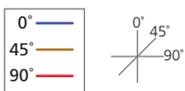
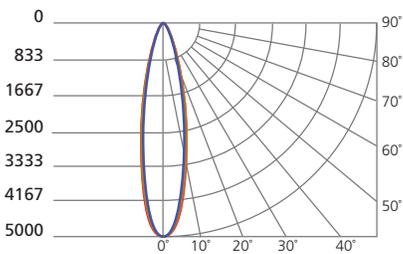
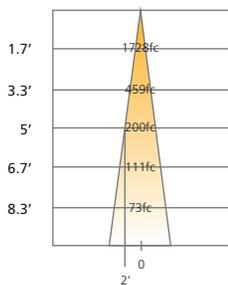


PHOTOMETRICS: 3" ENTRA LED

DESCRIPTION: 3" LED Module
20° Beam - 0° Tilt, 3000K
MODEL: ENTRA Adjustable 20° High Output

INPUT POWER (WATTS): 18.3
INPUT POWER FACTOR: 0.99
ABSOLUTE LUMINOUS FLUX (LUMENS): 1311.9
LUMEN EFFICACY (LUMENS PER WATT): 71.4

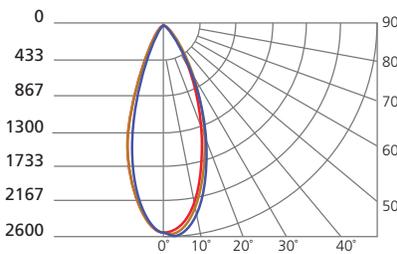
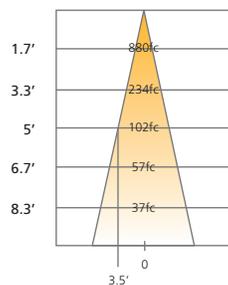
ANGLE	0°	45°	90°
0°	4994	4994	4994
5°	4241	4230	4370
10°	2808	2800	2940
15°	1686	1670	1736
20°	981	677	982
25°	570	564	546
30°	315	314	291
35°	176	178	161
40°	99	102	93
45°	56	60	53
50°	30	36	28
55°	17	20	16
60°	8	10	8
65°	2	5	1
70°	1	1	1
75°	1	1	1
80°	0	0	0
85°	0	0	0
90°	0	0	0



DESCRIPTION: 3" LED Module
40° Beam - 0° Tilt, 3000K
MODEL: ENTRA Adjustable 40° High Output

INPUT POWER (WATTS): 18.3
INPUT POWER FACTOR: 0.99
ABSOLUTE LUMINOUS FLUX (LUMENS): 1306.1
LUMEN EFFICACY (LUMENS PER WATT): 71.1

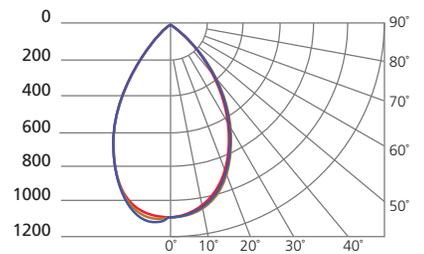
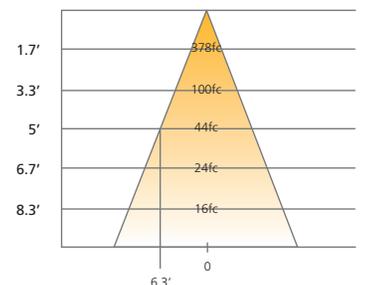
ANGLE	0°	45°	90°
0°	2544	2544	2544
5°	2550	2468	2426
10°	2299	2200	2134
15°	1893	1795	1711
20°	1406	1312	1217
25°	908	840	763
30°	528	492	440
35°	294	283	248
40°	155	163	136
45°	83	93	72
50°	46	52	40
55°	25	28	22
60°	10	15	8
65°	1	6	1
70°	1	1	1
75°	0	0	1
80°	0	0	0
85°	0	0	0
90°	0	0	0



DESCRIPTION: 3" LED Module
65° Beam - 0° Tilt, 3000K
MODEL: ENTRA Adjustable 65° High Output

INPUT POWER (WATTS): 18.3
INPUT POWER FACTOR: 0.99
ABSOLUTE LUMINOUS FLUX (LUMENS): 1255
LUMEN EFFICACY (LUMENS PER WATT): 68.4

ANGLE	0°	45°	90°
0°	1091	1091	1091
5°	1076	1070	1086
10°	1036	1039	1058
15°	982	985	995
20°	910	907	899
25°	811	803	774
30°	682	674	624
35°	537	525	460
40°	373	366	302
45°	234	226	179
50°	134	126	100
55°	68	65	50
60°	14	34	8
65°	1	7	1
70°	0	1	1
75°	0	1	1
80°	0	0	0
85°	0	0	0
90°	0	0	0



BACCICH RESIDENCE - LOT 729 R5
WINDOW SCHEDULE

19 FEBRUARY, 2021

WNDW	WNDW MARK	WIDTH	HEIGHT	TYPE	MANUF	CAT. #	GLAZING	REMARKS
001	1C	2'-6"	7'-0"	CASEMENT	TBD	TBD	LOW-E	WILL NEED CLAD PIECE BETWEEN WNDW & DR & AT CORNER
002	2C	2'-6"	7'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE BETWEEN WINDOW AND DOOR
003	3C	2'-4"	7'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & DR & AT CORNER
004	4C	2'-6"	4'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & DR & AT CORNER
005	5C	2'-6"	6'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE BETWEEN WINDOW AND DOOR
006	6C	2'-6"	8'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & DR & AT CORNER
007	7F	2'-6"	1'-6" - 1'-11"	FIXED	-	-	"	TRAPEZOID - SLOPED TOP
008	8F	4'-0"	2'-0" - 2'-8"	FIXED	-	-	"	TRAPEZOID - SLOPED TOP - MULL W/ 8,9,10 - COORD WIDTHS
009	9F	4'-0"	2'-8" - 3'-4"	FIXED	-	-	"	TRAPEZOID - SLOPED TOP - MULL W/ 8,9,10 - W DOOR BELOW
010	10F	4'-0"	3'-4" - 4'-0"	FIXED	-	-	"	TRAPEZOID - SLOPED TOP - MULL W/ 8,9,10
011	11C	2'-4"	6'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
012	12F	4'-8"	6'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WINDOW AND WINDOW
013	13C	(2) 2'-0"	3'-9"	CASEMENT	-	-	"	MULL WINDOWS TOGETHER
014	14A	2'-0"	2'-0"	AWNING	-	-	"	
015	15A	2'-0"	2'-0"	AWNING	-	-	"	
016	16F	5'-0"	6'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WINDOW AND DOOR
017	17C	2'-6"	6'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE BETWEEN WINDOW AND WINDOW
018	18F	2'-6"	1'-6" - 1'-11"	FIXED	-	-	"	TRAPEZOID - SLOPED TOP - COORD WIDTH WITH DOOR BELOW
019	19F	(2) 2'-6"	2'-0" - 2'-10"	FIXED	-	-	"	TRAPEZOID - SLOPED TOP - MULL (2) WINDOWS TOGETHER
020	20F	2'-6"	SEE REMARKS	FIXED	-	-	"	TRAPEZOID - SLOPED TOP - HEIGHTS 2'-10 13/16" TO 3'-3 13/16"
021	21C	2'-0"	4'-6"	CASEMENT	-	-	"	MULL WINDOWS 21,22,23 TOGETHER
022	22F	2'-0"	4'-6"	FIXED	-	-	"	MULL WINDOWS 21,22,23 TOGETHER
023	23C	2'-0"	4'-6"	CASEMENT	-	-	"	MULL WINDOWS 21,22,23 TOGETHER
024	24A	2'-0"	2'-0"	AWNING	-	-	"	
025	25A	2'-0"	2'-0"	AWNING	-	-	"	
026	26C	(2) 2'-0"	4'-6"	CASEMENT	-	-	"	MULL (2) WINDOWS TOGETHER
027	27C	2'-0"	3'-0"	CASEMENT	-	-	"	
028	28A	2'-0"	2'-0"	AWNING	-	-	"	
029	29A	2'-0"	2'-0"	AWNING	-	-	"	
030	30C	(2) 2'-0"	3'-0"	CASEMENT	-	-	"	MULL (2) WINDOWS TOGETHER
031	31C	2'-0"	5'-0"	CASEMENT	-	-	"	MULL WINDOWS 31, 32 TOGETHER
032	32F	4'-0"	5'-0"	FIXED	-	-	"	MULL WINDOWS 31, 32 TOGETHER
033	33C	2'-0"	5'-0"	CASEMENT	-	-	"	MULL WINDOWS 33, 34 TOGETHER
034	34C	4'-0"	5'-0"	FIXED	-	-	"	MULL WINDOWS 33, 34 TOGETHER
035	35C	2'-0"	3'-6"	CASEMENT	-	-	"	
036	36C	2'-0"	3'-6"	CASEMENT	-	-	"	MULL WINDOWS 36, 37, 38 TOGETHER
037	37F	2'-0"	3'-6"	FIXED	-	-	"	MULL WINDOWS 36, 37, 38 TOGETHER
038	38C	2'-0"	3'-6"	CASEMENT	-	-	"	MULL WINDOWS 36, 37, 38 TOGETHER
039	39C	2'-0"	3'-6"	CASEMENT	-	-	"	
040	40F	2'-8"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
041	41F	2'-8"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW
042	42F	2'-8"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
043	43F	2'-8"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
044	44F	2'-8"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW
045	45F	2'-8"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER

WNDW	WNDW MARK	WIDTH	HEIGHT	TYPE	MANUF	CAT. #	GLAZING	REMARKS
046	46F	2'-8"	6'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
047	47F	2'-8"	6'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW
048	48F	2'-8"	6'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
049	49C	2'-6"	7'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE BETWEEN WINDOW AND DOOR
050	50C	4'-0"	6'-0"	CASEMENT	-	-	"	MULL WINDOWS 50, 51, 52 TOGETHER
051	51C	4'-0"	6'-0"	CASEMENT	-	-	"	MULL WINDOWS 50, 51, 52 TOGETHER
052	52C	4'-0"	6'-0"	CASEMENT	-	-	"	MULL WINDOWS 50, 51, 52 TOGETHER
053	53F	4'-0"	4'-0" - 3'-4"	FIXED	-	-	"	TRAPEZOID - SLOPED TOP - MULL (3) WINDOWS TOGETHER
054	54F	4'-0"	3'-4" - 2'-8"	FIXED	-	-	"	TRAPEZOID - SLOPED TOP - MULL (3) WINDOWS TOGETHER
055	55F	4'-0"	2'-8" - 2'-0"	FIXED	-	-	"	TRAPEZOID - SLOPED TOP - MULL (3) WINDOWS TOGETHER
056	56C	2'-0"	4'-0"	CASEMENT	-	-	"	MULL WINDOWS 56, 57 TOGETHER
057	57F	4'-0"	4'-0"	FIXED	-	-	"	MULL WINDOWS 56, 57 TOGETHER
058	58F	2'-8"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
059	59F	4'-0"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW
060	60F	2'-8"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
061	61F	4'-0"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW
062	62F	2'-8"	6'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
063	63F	4'-0"	6'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW
064	64C	2'-6"	7'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE AT CORNER
065	65C	2'-4"	7'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE AT CORNER
066	66C	2'-6"	4'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE AT CORNER
067	67C	2'-6"	8'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE AT CORNER
068	68F	4'-0"	6'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW
069	69C	2'-4"	6'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE AT CORNER
070	70F	4'-0"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW
071	71F	2'-8"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
072	72F	4'-0"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW
073	73F	2'-8"	8'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
074	74F	4'-0"	6'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW
075	75F	2'-8"	6'-0"	FIXED	-	-	"	WILL NEED CLAD PIECE BETWEEN WNDW & WNDW & AT CORNER
076	76C	(2) 2'-0"	3'-0"	CASEMENT	-	-	"	WILL NEED CLAD PIECE AT CORNER

NOTES:

1. APPROVED WINDOW MANUFACTURERS ARE WINDSOR, WEATHERSHIELD, PELLA AND MARVIN.
2. VERIFY HARDWARE WITH ARCHITECT/OWNER.
3. REFER TO NOTES ON DRAWINGS FOR FURTHER CLARIFICATIONS.
4. VERIFY WINDOW COLOR AND INTERIOR FINISH WITH SCHEDULE AND ARCHITECT/OWNER.
5. CONTRACTOR TO VERIFY ALL ROUGH OPENING DIMENSIONS, QUANTITIES & EGRESS WINDOW REQUIREMENTS.
6. REFER TO ELEVATIONS FOR CASEMENT HANDING.
7. CONTRACTOR TO VERIFY TEMPERED GLAZING REQUIREMENTS.

**BACCICH RESIDENCE - LOT 729 R-5
DOOR SCHEDULE**

19 FEBRUARY, 2021

NO.	RM. NAME	PANEL WIDTH	HEIGHT	THK.	TYPE	MATERIAL	FINISH	HARDWR.	REMARKS
101	MECH ROOM	3'-0"	8'-0"	1 3/4"	E	METAL	VENEER	TBD	STL. PLATE VENEER
102	BED 2	5'-0"	8'-0"	1 3/4"	A	AL. CLAD	CLAD	SLIDING	EXTERIOR SLIDING DOOR
103	REC ROOM BAR	4'-8"	8'-0"	1 3/4"	A	AL. CLAD	CLAD	SLIDING	EXTERIOR SLIDING DOOR
104	BATH 3	2'-6"	8'-0"	1 3/4"	E	AL. CLAD	CLAD	PRIVACY	EXTERIOR SWING DOOR WITH FROSTED GLASS
105	LOUNGE	10'-0"	8'-0"	1 3/4"	F	AL. CLAD	CLAD	SLIDING	EXTERIOR SLIDING DOOR
106	BED 1	5'-0"	8'-0"	1 3/4"	A	AL. CLAD	CLAD	SLIDING	EXTERIOR SLIDING DOOR
201	SITTING ROOM	5'-0"	7'-0"	1 3/4"	A	AL. CLAD	CLAD	SLIDING	EXTERIOR SLIDING DOOR
202	LIVING ROOM	12'-0"	9'-0"	1 3/4"	B	AL. CLAD	CLAD	SLIDING	EXTERIOR SLIDING DOOR INTO WALL POCKET
203	ENTRY	3'-6"	8'-0"	1 3/4"	C	WOOD	VENEER	ENTRY	WOOD SIDING AND STL. PLATE VENEER
204	GARAGE	9'-0"	8'-0"	1 3/4"	D	WOOD	VENEER	GARAGE	WOOD SIDING AND STL. PLATE VENEER
205	GARAGE	9'-0"	8'-0"	1 3/4"	D	WOOD	VENEER	GARAGE	WOOD SIDING AND STL. PLATE VENEER
206	KITCHEN	10'-0"	9'-0"	1 3/4"	F	AL. CLAD	CLAD	SLIDING	EXTERIOR SLIDING DOOR
301	MASTER BED	2'-6"	7'-6"	1 3/4"	E	AL. CLAD	CLAD	PRIVACY	EXTERIOR SWING DOOR WITH GLASS
302	UPPER HALL TO TOP DECK	2'-6"	7'-6"	1 3/4"	E	AL. CLAD	CLAD	PRIVACY	EXTERIOR SWING DOOR WITH GLASS

- NOTE:
1. REFER TO SPECIFICATIONS FOR HARDWARE DESCRIPTIONS
 2. REFER TO NOTES ON DRAWINGS, ELEVATION TYPES SHEET AND SPECIFICATION FOR FURTHER CLARIFICATIONS.
 3. CONTRACTOR TO VERIFY ALL ROUGH OPENING DIMENSIONS.



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments:

729R-5, 91 Pennington Place

Jim Boeckel - Due to the residence being in excess of 3600 square feet the residence is required to have a fire sprinkler system installed. The fire sprinkler system is required to be monitored.

Finn Kjome - They will just need to field verify the utility when they decide to build.

Lot 729 R-5 / 91 Pennington PL.

Henry Haizlip Henry@grinderhaizlip.com

I have reviewed the documents at great length and I am most happy with the design of the house. I cannot support the requested variation for parking in the general easement. I have explained to the Architect and owners, in person, that our neighborhood is on the radar for more development. The remaining lots present problems in size and shape and I cannot support a variance that sets a precedent for other zoning requests which may negatively affect our current neighbors sight lines and views.

Sincerely, Henry and Sarah Haizlip

100 Pennington Pl. #5

Cell: 901 832-0267

Dear Design Review Board,

I am writing regarding the proposed development plans for 91 Pennington Place, Mountain Village. I am against the requested variation to the CDC regarding the parking space/easement. There will be many challenges to the lots on Pennington. Let's hope we can work on these together.

Arline Baker
100 Pennington Place, #2
Mountain Village, CO
arlineb2014@gmail.com
720-606-9845

To MV Planning and Development,

I am writing in response to a letter I received from FUSE Architecture concerning Initial Architectural and Site Review for #91 Pennington Place.

We are directly across the street at 104 Pennington Place #6.

Specifically, I would like to address the requests for Variations to the CDC.

1. Surface parking space to be in the general easement between Pennington Place and the proposed house.

My family and I are opposed to this request. Parking in that location will be directly in our line of site for the western views from the front of our house and property. I ask that that "variation" be denied. Others in our HOA (Eagles View Reserve) feel the same way.

2. Roof Fascia- part metal and part wood

I don't have a problem with metal roofs, as long as the material is NOT reflective or shiny. We have owned other properties where the neighbor's metal roof's reflection was nearly blinding when the sun hit it.

Finally, although not mentioned in the letter we received, I hope that any structure will be within the height restrictions for the community.

I will be working Feb 4 and will not be able to attend the DRB Hearing (by Zoom). I hope this letter conveys my family's concerns adequately.

I would appreciate some reply that this note was sent to the correct email.

Thanks,

Greg Keck, MD
432/770-3799
k1keck@aol.com

From davidw@swproperties.com

2/3/2021

Dear Sirs

I am writing to protest the proposed home being built at the above address. I am one of the owners at 100 Pennington Place, across the street from the proposed house. Mountain Village has setbacks for a reason. Those should not be infringed upon under any circumstances. There is plenty of room on the lot to build the proposed home without the need for a variance. If any variance is considered, please require additional landscaping to shield the parking area from the road and the neighbors. Also, I ask that no shiny roof material be used on the house, thank you.

David Wolfswinkel

Broker, Southwest Properties, Inc.

Broker, Hitching Post Land Co.

3850 E. Baseline Rd. Suite 123

Mesa Az. 85206

480-969-8000- Office

602-377-2368- cell

Received from jeffbuie@gmail.com 2/3/21

I am against approval because of the parking space in the general easement, this would set a bad precedent.
Jeff Buie