



TO: Mountain Village Design Review Board
FROM: Amy Ward, Planner
FOR: Design Review Board Public Hearing; May 6, 2021
DATE: April 26, 2021
RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 628-H, 116 Double Eagle Way

APPLICATION OVERVIEW: New Single-Family Home on Lot 628-H

PROJECT GEOGRAPHY

Legal Description: LOT 628-H, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE FINAL REPLAT OF LOTS 628, 635 AND 636, FILING 4, AND LOT 641, FILING 9, AND A PORTION OF THE OPEN SPACE, RECORDED AUGUST 21, 1991 IN PLAT BOOK 1 AT PAGE 1159, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 116 Double Eagle Way

Applicant/Agent: Michael Carrier, Alpenglow Design

Owner: EDWARD D.W. SPARROW AND CYNTHIA ANNE SPARROW

Zoning: Single-family

Existing Use: Vacant

Proposed Use: Single-family

Lot Size: .376 acres

Adjacent Land Uses:

- **North:** Single-family
- **South:** Open Space
- **East:** Open Space
- **West:** Single-family

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

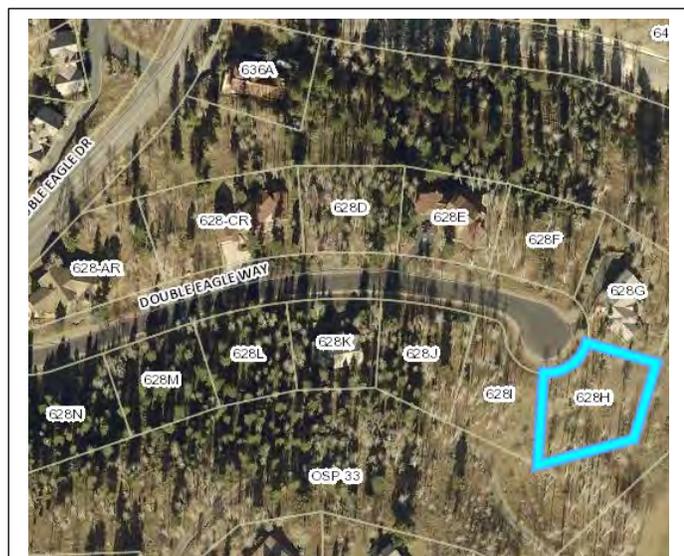


Figure 1: Vicinity Map

Case Summary: Michael Carrier of Alpenglow Design, Applicant for Lot 628-H is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot 628-H, 116 Double Eagle Way. The Lot is approximately 0.376 acres and is zoned Single-family. The overall square footage of the home is approximately 6,701 gross square feet and provides 2 interior parking spaces within the proposed garage and 2 exterior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	34'8"
Maximum Avg. Building Height	35' (gable) Maximum	13.7"
Maximum Lot Coverage	40% (6551.2 s.f.)	21.3% (3493 s.f.)
General Easement Setbacks	No encroachment	Parking
Roof Pitch		
Primary		10:12
Secondary		8:12, various
Exterior Material		
Stone	35% minimum	30%
Windows/Doors	40% maximum	22%
Parking	2 enclosed / 2 exterior	2/2

Design Variations:

1. **Road and Driveway Standards**
2. **Exterior Materials**

Design Review Board Specific Approval:

1. **Parking in the GE**

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a primary gabled roof form with secondary shed projections. Homes with a primary gabled roof form are granted a maximum building height of 40 feet. The maximum average height must be at or below 35 feet for homes with a primary gable roof forms. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined that the primary roof form for this home is a gable and therefore granted a maximum height of 40 feet. The applicant has indicated a maximum height of 34' 8", which meets the max height allowable per the CDC. The applicant has provided an

average height of 13.7' however staff believes this is an error and estimates the average height at just over 19'. The applicant should revise the drawings to clearly indicate average height and should include a parallel plane analysis demonstrating overall height compliance for final review.

17.3.14: General Easement Setbacks

Lot 628-H is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Additionally Lot 628-H is burdened by a building setback easement area that runs from the northeast lot corner to the southwest lot corner. "This building setback easement area is for the purpose of preserving the building setback easement area as an open and undeveloped area; consequently, no improvements other than subsurface utilities, golf cart accessways and landscaping... may be constructed"

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway as shown currently takes access from Double Eagle Way and crosses the General Easement to the homesite.*
- *Utilities: Existing utility pedestals are located in the road right of way, and the sewer access is within the GE. The GE will need to be crossed on both the North and West GE's, accessing utilities within Double Eagle Way.*
- *Landscaping: While not documented at this point, Staff is anticipating that there may be some landscaping within the GE. This detail should be addressed and updated prior to Final Architecture Review (FAR).*

The proposal also includes a GE encroachment that requires specific DRB approval:

- *Parking: The proposed surface parking location is within the front GE.*
- *Entry Paths: There are two entry paths to the home that partially cross the front GE.*

To grant a specific approval for parking in the GE, DRB members need to determine whether the following conditions have been met:

1. *The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot;*
2. *The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams;*
3. *No unreasonable negative impacts result to the surrounding properties;*
4. *The general easement setback or other setback will be revegetated and landscaped in a natural state;*

5. *The Public Works Department has approved the permanent above-grade and below-grade improvements;*
6. *The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town; and*
7. *Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts.*

Staff is generally comfortable with the approval of parking in the GE due to the constraints of the lot, however it should be noted that the civil drawings show the proposed parking as overlapping the GE and the road right of way. In no instance is parking in the road right of way allowed per the CDC so regardless of whether DRB grants approval of the GE encroachment, the parking needs to be re-designed prior to final to remove any portion of parking from the road right of way.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed home features more traditional roof forms often seen in alpine design. Trestle wood siding, rough cedar soffit and fascia and timber accents will give the home a bit of rustic mountain feel, which will help it fit in with some of the older log homes in the neighborhood. The steel rails, dark grey standing seam roof and black clad contemporary profile windows will give the home some modern flair that is more in line with some of the newer homes being proposed throughout the village more recently.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Lot 628-H slopes down gently to the south away from Double Eagle Way and the home is sited so that the flattest part of the lot is utilized for the front entry. The home does step down slightly with the lot, and the use of shed roofs as connectors between the primary roof forms emphasizes this sloping to the south. Due to the additional building setback area to the rear of the lot, the applicant has done well at providing a pretty subdued home. Wood and stone used extensively as exterior materials will also help the home blend in with the natural landscape. Staff finds that the home should blend well into the existing landform.

17.5.6: Building Design

Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. The home will be grounded with stone veneer at much of the base, however it should be noted that the applicant has proposed 30% stone cladding where they are required to have 35% stone cladding per the CDC. If DRB finds this percentage of stone appropriate than a design variation should be granted. In addition, the wood siding is proposed to reach grade level in some areas. Staff has

concerns about the longevity of any wood finish in contact with potential snow loads in our high alpine environment and would recommend that these areas be modified to include a more durable material such as steel or stone.

Window and door trim are proposed as black-clad windows, and a full window and door schedule has been provided. The appropriate recess of doors and windows in areas with stone veneer has been noted on the plans, however, the applicant has not provided a detail of the recess at the garage doors and this should be done prior to final. The proposed roofing material is a dark gray standing seam product, and the fascia of the home is rough cedar. The CDC allows for Black and Grey standing seam roofing materials and this appears to meet that requirement. It should be noted that the applicant has not shown snow fencing on the roof plan, and this should be added in areas where snowfall is a potential hazard..

The applicant has not proposed any snowmelt at this time.

17.5.7: Grading and Drainage Design

Staff: The applicant has proposed minimal grading/site disturbance and there appears to be positive drainage away from the home. The applicant has not included finished slopes on the grading plan, these should be added prior to final so that we can assure compliance with CDC regulations. In addition, there is an existing mulch path on the SE corner of the lot that will likely be damaged during construction, staff recommends that the applicant plan to restore this path to pre-construction conditions.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family homes to provide two interior and two exterior parking spaces. The applicant has shown two interior spaces and two exterior spaces. Currently, the exterior parking is shown mostly within the GE on the site plan, however, in the civil drawings it is shown half in the GE and half in the road right of way. The CDC expressly prohibits any parking in the road right of way. The applicant will need to coordinate his drawings so that the site plan and civil drawings are in agreement and bring the parking outside of the road right of way at a bare minimum. If the parking is provided as shown on the site plan within the GE, DRB would still need to grant specific approval for the GE encroachment.

17.5.9: Landscaping Regulations

The applicant has not yet provided a landscaping plan, this is not required until final review.

17.5.11: Utilities

Staff: The civil plans do show utility connections and prior to issuance of a building permit, the applicant shall work with the Public Works Director and all other utilities to verify all locations for connections.

17.5.12: Lighting Regulations

Staff: The applicant has provided a preliminary exterior lighting plan with fixture specifications. However, no key was provided to correlate the fixtures to the marked locations. The recessed light (fixture b) indicated appears to exceed the maximum lumens allowable. Fixture a appears to meet the regulations of the CDC. No photometric study was provided, but is required due to the square footage of the home. This plan shall be revised to address all CDC regulations prior to FAR.

17.5.13: Sign Regulations

Staff: The address marker is located within the road right of way to the west of the driveway. This location is appropriate due to the distance between edge of paved surface and the lot line. A right of way encroachment agreement will be required. Not enough information is provided to understand whether the dimensions of the monument meet those required by the CDC. The numbers are indicated as black steel, but need to have a reflective coating applied in case of power outage. LED lighting is indicated, however is shown as back-lit. Prior to FAR the applicant shall revise the address monument to meet all requirements of the CDC.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant has not submitted a fire mitigation plan. This needs to be submitted prior to final review and will be reviewed by the Town Forrester

17.6.6: Roads and Driveway Standards

Staff: The driveway grade is 2.6% which meets the grade requirements of the CDC. There is a notation of a small area of 10% grade, staff believes this is probably just the slope of the v-pan, but will ask that this is clarified by the applicant. The driveway width appears to be 19', though this dimensions should be called out on the plan. As drawn, the applicant is proposing the two exterior parking spots in the hammerhead of the drive (as previously discussed in this memo, the location within the GE and/or road right of way needs to be clarified). With cars parked in this area, the drive no longer has a path for turn around when backing out of the garage. If DRB finds this parking layout approvable, then they would need to allow a design variation to the road and driveway standards for the lack of back out space.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include fireplaces and that they are to run on natural gas.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan has not yet been provided and is not required until final review.

Staff Recommendation: Staff recommends the DRB approve the Initial Architecture and Site Review for Lot 628-H, 116 Double Eagle Way, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 628-H, based on the evidence provided within the Staff Report of record dated April 26, 2021, with the following design variations and specific approvals:

Design variations:

- 1) Road and Driveway Standards

2) Exterior Materials

DRB Specific Approval:

1) GE Encroachment for Parking

And, with the following conditions:

- 1) Prior to final review the applicant shall provide an updated existing conditions survey that provides all of the information required on the design review application.
- 2) Prior to final review, the applicant shall revise the parking to remove it entirely from the road right of way and assure consistency between the civil drawings and the site plan.
- 3) Prior to final review, the applicant shall revise the address monument to ensure compliance with all regulations of the CDC.
- 4) Prior to final review, the applicant shall revise the lighting plan to demonstrate that all fixtures meet the lighting requirements of the CDC and shall provide a photometric study.
- 5) Prior to final review, applicant shall revise the roof plan to include snow fencing.
- 6) Prior to final review the applicant shall revise the drawings to clearly demonstrate average height compliance and provide a parallel plane analysis to further illustrate height compliance.
- 7) Prior to final review, the applicant shall provide finish slopes on the grading plan.
- 8) Prior to final review, the applicant shall revise exterior materials to replace areas of wood siding where it meets the grade with a more durable material option.
- 9) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 10) Prior to issuance of a CO, a GE encroachment agreement will be entered into with the town to capture all GE encroachments.
- 11) Prior to issuance of a CO, a road right of way encroachment agreement will be entered into with the town to capture all road right of way encroachments.
- 12) Prior to issuance of CO, all disturbances in the GE caused by construction will be re-graded and re-vegetated to its pre-disturbed condition
- 13) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 14) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 15) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 16) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

17) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



PROJECT NARRATIVE

LOT 628-H TELLURIDE MOUNTAIN VILLAGE

THE PROPOSED RESIDENCE LOCATED AT LOT 628-H IS COMPOSED OF A RESPECTFUL DESIGN ON A CHALLENGING LOT. THE SITE IS CURRENTLY A MIXTURE OF ASPEN AND SPRUCE FOREST WITH GENEROUS NATURAL OPENINGS. ONE SUCH OPENING IS WHERE THE PROPOSED PROJECT WOULD BE SITED. SOLAR GAIN, MOUNTAIN VIEWS AND A DESIGN WITHIN THE GRADES HAVE BEEN THE DRIVING PRINCIPLES OF THE PROJECT ALONG WITH RESPECTING NEIGHBORING VIEWS AND THE NATURAL LANDSCAPE.

THE RESIDENCE IS MODEST IN SIZE GIVEN THE SITE SETBACKS AND A LARGE REAR EASEMENT. THE ROOF LINES ARE A MIXTURE OF GABLES AND SHED ROOFS THAT EFFECTIVELY SHED SNOW AND MIMIC THE SURROUNDING TOPOGRAPHY.

THE EXTERIOR MATERIALS ARE COMPOSED OF RUSTIC YET REFINED WOOD SIDING, BRONZE STEEL ROOFING AND CLASSIC TELLURIDE STONE. DETAILING AROUND THE MAIN DOORS, GARAGE AND OUTER DECKS PROVIDE A CONTEMPORARY THEME THAT BALANCES THE RUSTIC NATURE OF THE FORM.

FENESTRATIONS ARE A MIX OF CLASSICAL DIVIDED LIGHTS AND LARGE CONTEMPORARY UNITS WITH A GRID DESIGN. LARGE PANES OF GLASS FACE SOUTH AND EAST AWAY FROM NEIGHBORING RESIDENCES AND PROVIDE FOR PRIVACY AND PASSIVE SOLAR GAIN.

THE SLOPING NATURE OF THE LOT WILL ALLOW FOR MUCH OF THE LOT TO BE UNDISTURBED AND HIDE THE RESIDENCE FROM THE GOLF COURSE BELOW.

RESIDENCE AT LOT 628-H TELLURIDE MOUNTAIN VILLAGE, COLORADO

DRB SET 02/22/2021

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1 FRONT PERSPECTIVE

ARCHITECT/DESIGNER:

ALPENGLow DESIGN IN CONJUNCTION WITH **BERCOVITZ DESIGN**

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(970)560-0888

RON BERCOVITZ, AIA
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(970)728-4555

CIVIL ENGINEER:

UNCOMPAGRE ENGINEERING

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PO BOX 3945
TELLURIDE, CO 81435
(970)729-0683

SURVEYOR:

FOLEY ASSOCIATES, INC.

JEFF HASKELL
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TELLURIDE, CO 81435
(970) 728-6153

GENERAL CONTRACTOR:

ASHER CUSTOM HOMES

RYAN VOEGELI
110 W. 11TH ST.
DURANGO, CO 81301
(970)759-7488



2 REAR PERSPECTIVE



3 SIDE PERSPECTIVE

PROJECT SUMMARY:

- LOT SIZE:
 - .076 AC OR 16,378 SF
- LOT COVERAGE:
 - 3493 SF/16,378 SF = 21.3%
- ZONING:
 - SINGLE FAMILY RESIDENTIAL
- MAX BUILDING HEIGHT:
 - 34.66 FT
- AVERAGE BUILDING HEIGHT:
 - 13.70 FT
- PARKING:
 - INSIDE: 2 SPACES
 - OUTSIDE: 2 SPACES

AREA SUMMARY

TYPE	AREA (SF)
LIVING AREA- UPPER LEVEL	2859 SF
LIVING AREA- LOWER LEVEL	1691 SF
GARAGE	626 SF
COVERED PORCH- FRONT	70 SF
REAR DECK- MAIN	378 SF
REAR DECK- OFFICE/BEDROOM 1	83 SF
CRAWL SPACE 1	710 SF
CRAWL SPACE 2	154 SF
MECHANICAL	130 SF
TOTAL	6701 SF

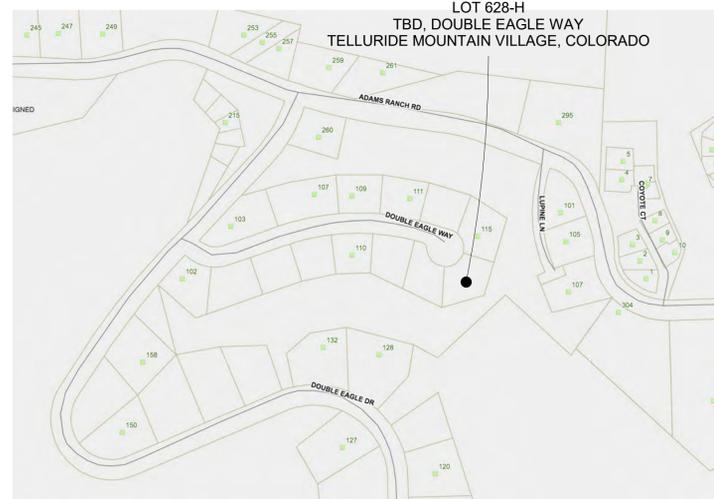
DRB SET FOR APPROVAL

LOT 628-H
TBD. DOUBLE EAGLE WAY
MOUNTAIN VILLAGE, CO

ABBREVIATIONS			
A.B.	ANCHOR BOLT	F.A.	FIRE ALARM
A.C.T.	ACOUSTICAL CEILING TILE	F.D.	FLOOR DRAIN
AFF	ABOVE FINISH FLOOR	F.F.	FINISH FLOOR
ALT.	ALTERNATE	FIN	FINISH
APPR.	APPROXIMATE	FLR	FLOOR
ARCH	ARCHITECTURAL	F.O.B.	FACE OF BRICK
BD	BOARD	F.O.C.	FACE OF CONCRETE
BLDG	BUILDING	FP	FRONT FACE
BLK	BLOCK	FT	FOOT / FEET
BLKG	BLOCKING	FTG	FOOTING
BM	BENCH MARK	FURR.	FURRING
B.O.	BOTTOM OF	GA	GALVANIZED
B.TM	BOTTOM	GC	GENERAL CONTRACTOR
BTWN	BETWEEN	GL	GLASS
B.W.	BOTH WAYS	GLB	GLU-LAM BEAM
C.J.	CONTROL JOINT	GYP	GYP-SUM
C.L.	CENTER LINE	H.B.	HOSE BIBB
CLOS.	CLOSET	H.C.	HANDICAPPED
CLG	CEILING	HD	HEAD
CLKG	CEILING	HW	HORIZONTAL
CLR	CLEAR	HT	HEIGHT
CMU	CONCRETE MASONRY UNIT	ID.	INSIDE DIAMETER
CONC	CONCRETE	INSUL	INSULATION
CONN	CONNECTION	INT	INTERIOR
CONSTR	CONSTRUCTION	LAM.	LAMINATE
CONT	CONTINUOUS	LAV	LAVATORY
C.T.	CERAMIC TILE	LDRY	LAUNDRY
DET/DTL	DETAIL	MAX	MAXIMUM
DIA.	DIAMETER	MCH	MECHANICAL
DIAG	DIAGONAL	MAN	MANUFACTURER
DM	DIMENSION	MIN	MINIMUM
DN	DOWN	MISC	MISCELLANEOUS
DS	DOWNSPOUT	MTL	METAL
DW	DISHWASHER	NIC	NOT IN CONTRACT
DWG/DWGS	DRAWING / DRAWINGS	NTS	NOT TO SCALE
EA	EACH	O.C.	ON CENTER
E.A.	EXPANSION JOINT	O.D.	OUTSIDE DIAMETER
E.I.	EXTENSION INSULATION	OH	OVERHEAD
E.F.S.	EXTENSION FINISH SYSTEM	OPP.	OPPOSITE
ELEV	ELEVATION		
ELEC	ELECTRICAL		
ENCL.	ENCLOSURE		
EQ	EQUAL		
EQUIP	EQUIPMENT		
EXT	EXTERIOR		
EXIST	EXISTING		
E.W.	EACH WAY		
EXP	EXPANSION		
EXT	EXTERIOR		

DRAWING TITLE KEY	GRAPHIC SYMBOLS LEGEND
<p>DRAWING G #</p> <p>VIEW TITLE</p> <p>DRAWING SCALE</p> <p>DETAIL, SECTION, OR ELEVATION VIEW</p> <p>CROSS REFERENCE KEY</p> <p>WALL SECTION MARKER</p> <p>SECTION # SHEET #</p> <p>BUILDING SECTION MARKER</p> <p>SECTION # SHEET #</p> <p>DETAIL MARKER</p> <p>DETAIL # SHEET #</p> <p>PLAN VIEW</p>	<p>STUD WALL - NEW</p> <p>CONCRETE WALL - NEW</p> <p>STONE VENEER</p> <p>CONCRETE MASONRY UNIT</p> <p>GRAV</p> <p>EL</p> <p>MET</p> <p>AL</p> <p>RIGID</p> <p>INSULATION</p> <p>SPRAY FOAM</p> <p>INSULATION</p> <p>BATT INSULATION / BLOWN - IN</p> <p>WOOD - IN</p> <p>ROUGH WOOD - FINISH</p> <p>EARTH</p> <p>H</p> <p>DOOR TAG</p> <p>WINDOW TAG</p> <p>ELEVATION TARGET</p> <p>GRIDLINE</p>

VICINITY MAP



PROJECT LOCATION:

LOT 628-H
TBD. DOUBLE EAGLE WAY
TELLURIDE MOUNTAIN VILLAGE, COLORADO

SHEET LIST

SHEET NUMBER	SHEET NAME
A0.0A	COVER SHEET
A0.0B	AERIAL VIEWS
C1	CIVIL ENGINEERING WITH GENERAL NOTES
C2	SITE GRADING WITH DRIVEWAY PROFILE
C3	UTILITY PLAN
A0.1	SITE PLAN
A1.0	FLOOR PLANS
A1.1	ROOF PLAN
A2.0	ENLARGED PLANS
A3.0	ELEVATIONS
A3.1	EXTERIOR MATERIAL PALETTE
A3.2	ENTRY MONUMENT
A3.3	SIDING AND HEIGHT CALCULATIONS
A4.0	BUILDING SECTIONS
E1	ELECTRICAL - PLANS AND ELEVATIONS

ISSUE RECORD

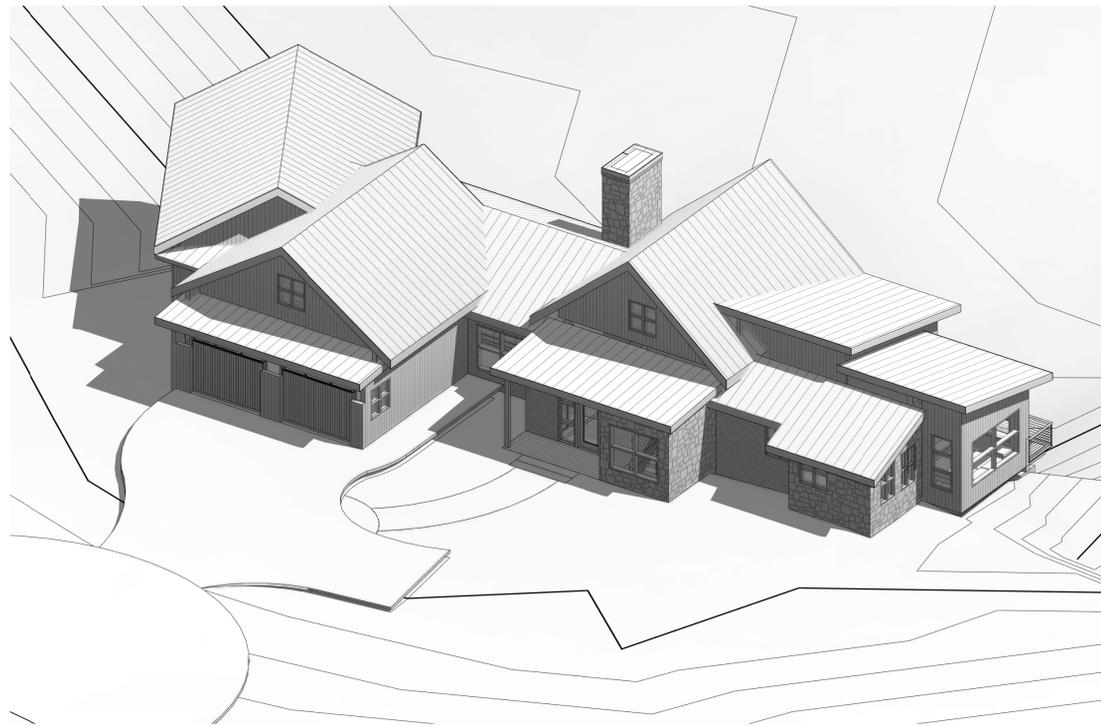
No.	Description	Date
01		
02		
03		
04		
05		
06		
07		
08		
09		

Project number 03/05/21
Date 03/05/21
Drawn by GH
Checked by MC

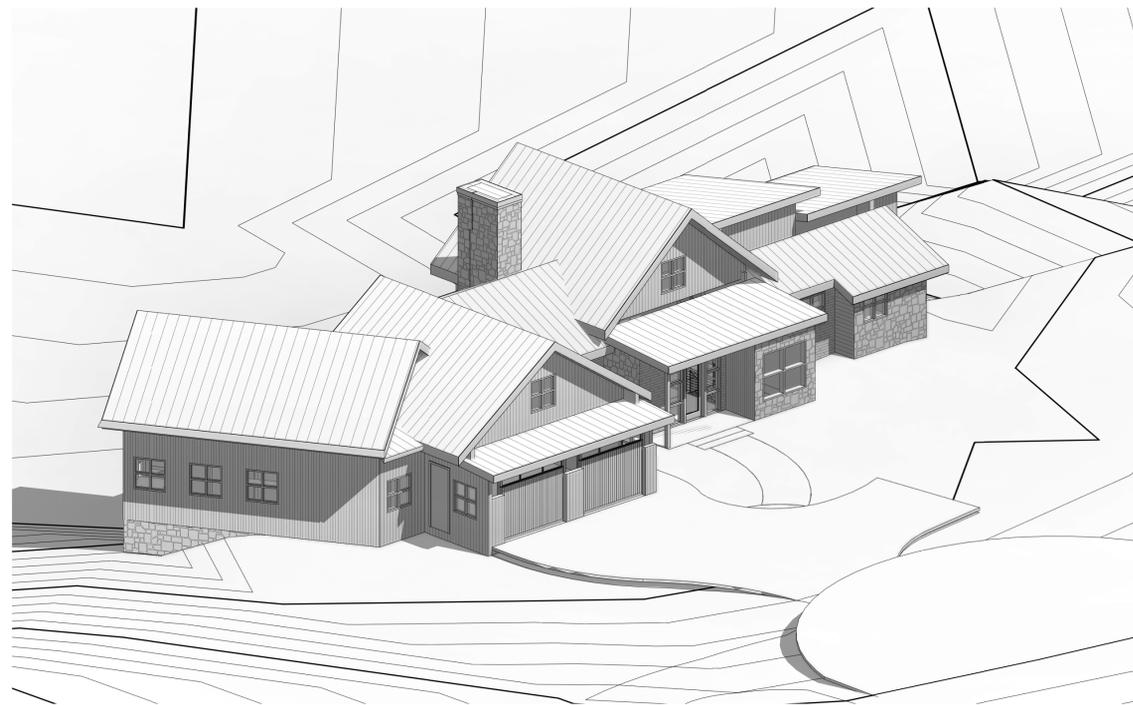
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COVER SHEET

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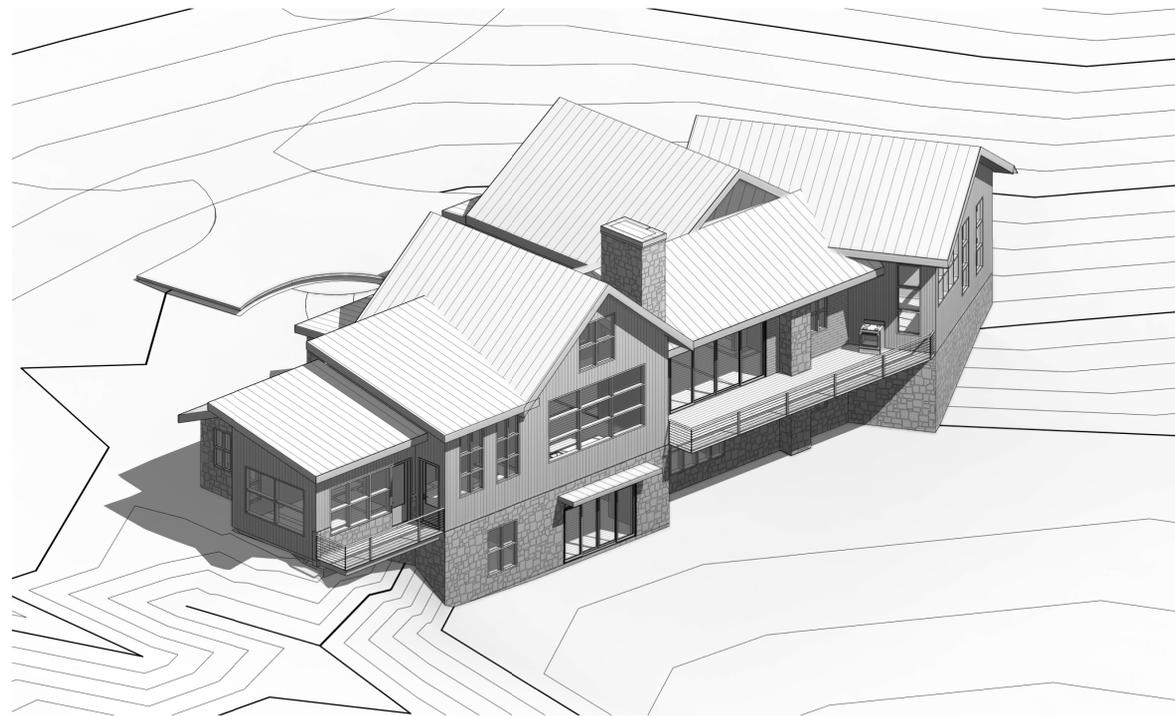
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① AERIAL VIEW- WEST



③ AERIAL VIEW- NORTH



② AERIAL VIEW- SOUTH

DRB SET FOR
APPROVAL

LOT 628-H
TBD. DOUBLE EAGLE WAY
MOUNTAIN VILLAGE, CO

ISSUE RECORD

No.	Description	Date
01		
02		
03		
04		
05		
06		
07		
08		
09		

Project number	Project Number
Date	03/05/21
Drawn by	GH
Checked by	MC

A0.0B
AERIAL VIEWS

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB 1 SUBMITTAL 2021-03-05

Lot 628-H
Double Eagle Way
Mtn. Village, CO

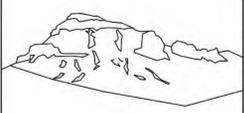
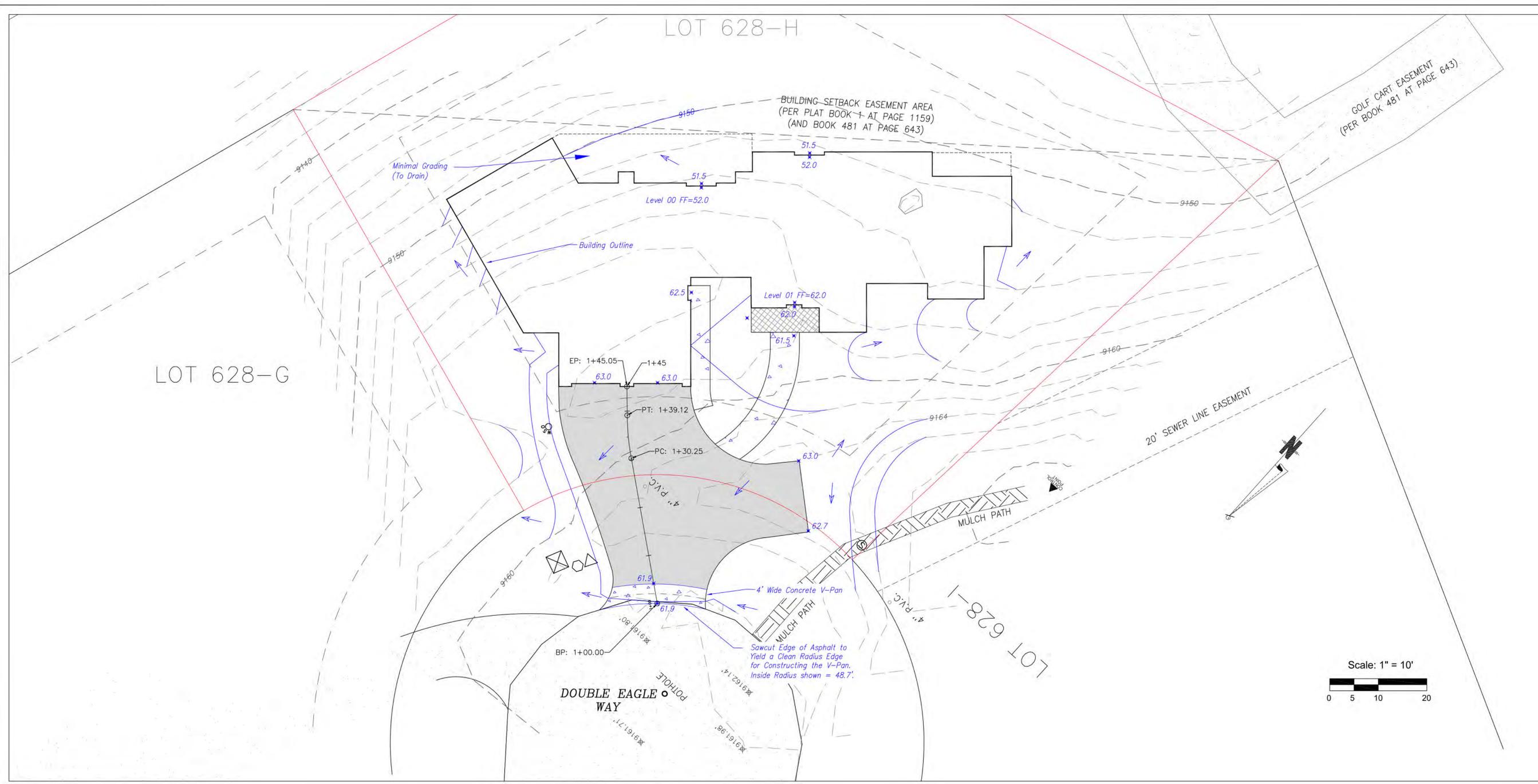


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Civil
Engineering

General Notes

C1



**Uncompahgre
Engineering, LLC**

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
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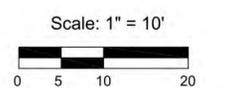
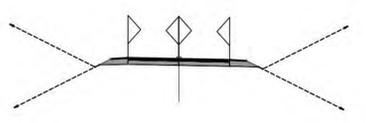
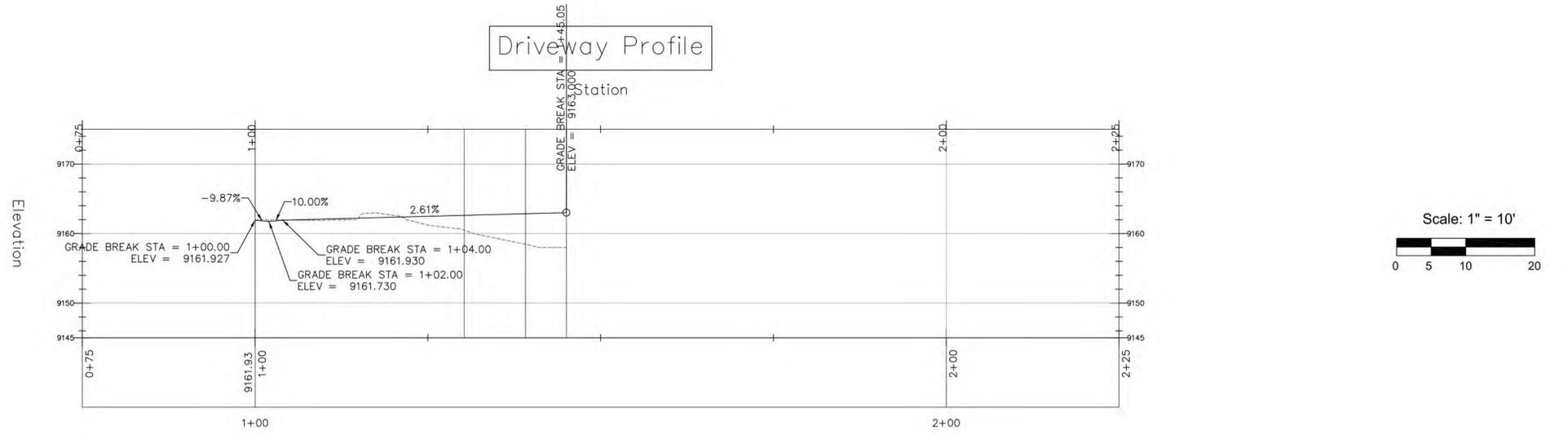
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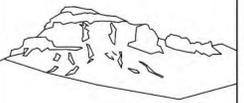


CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
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Site
Grading
with
Driveway
Profile

C2





Uncompahgre
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Telluride, CO 81435
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SUBMISSIONS:

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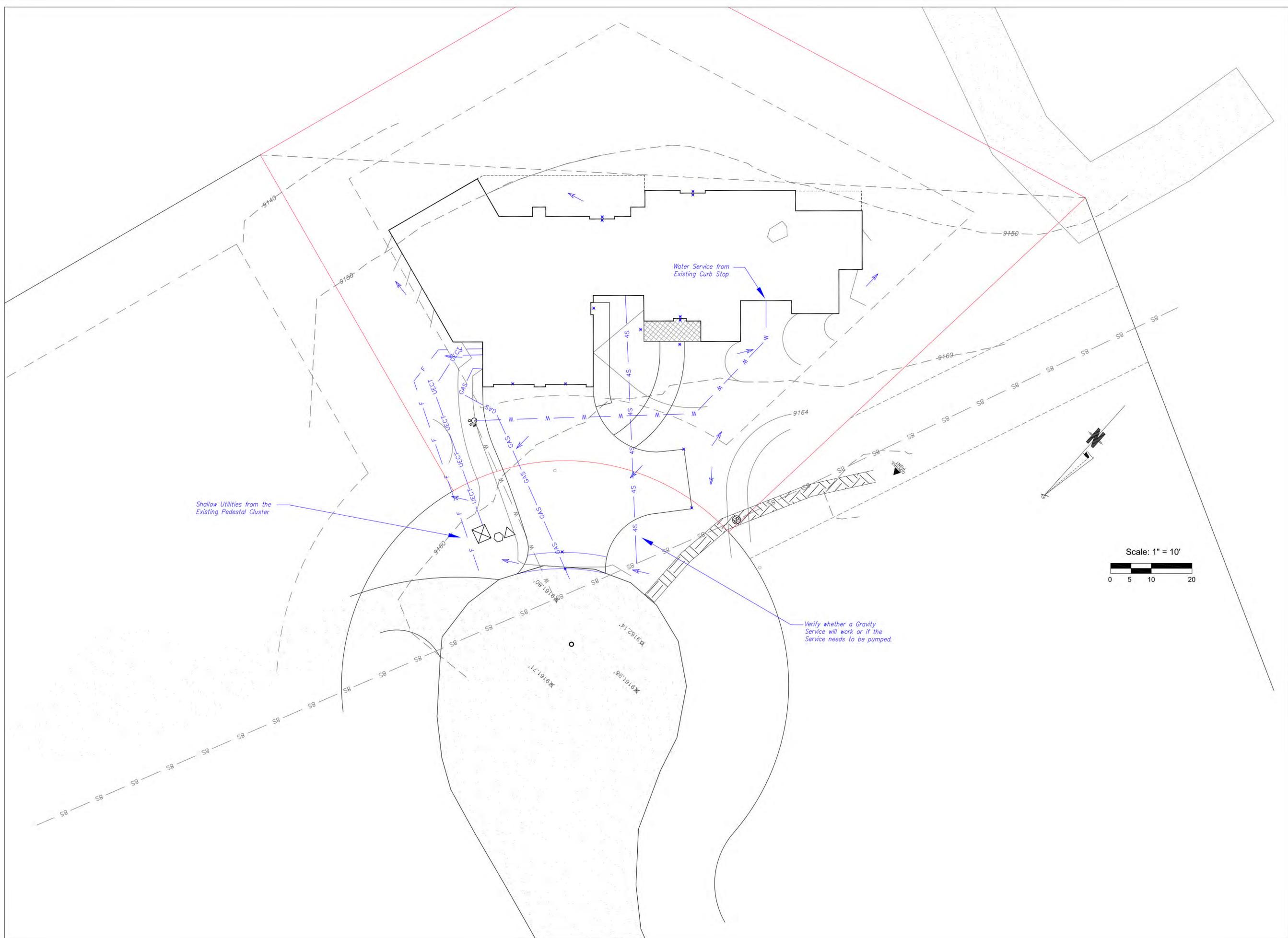
Lot 628-H
Double Eagle Way
Mtn. Village, CO



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Utility
Plan

C3



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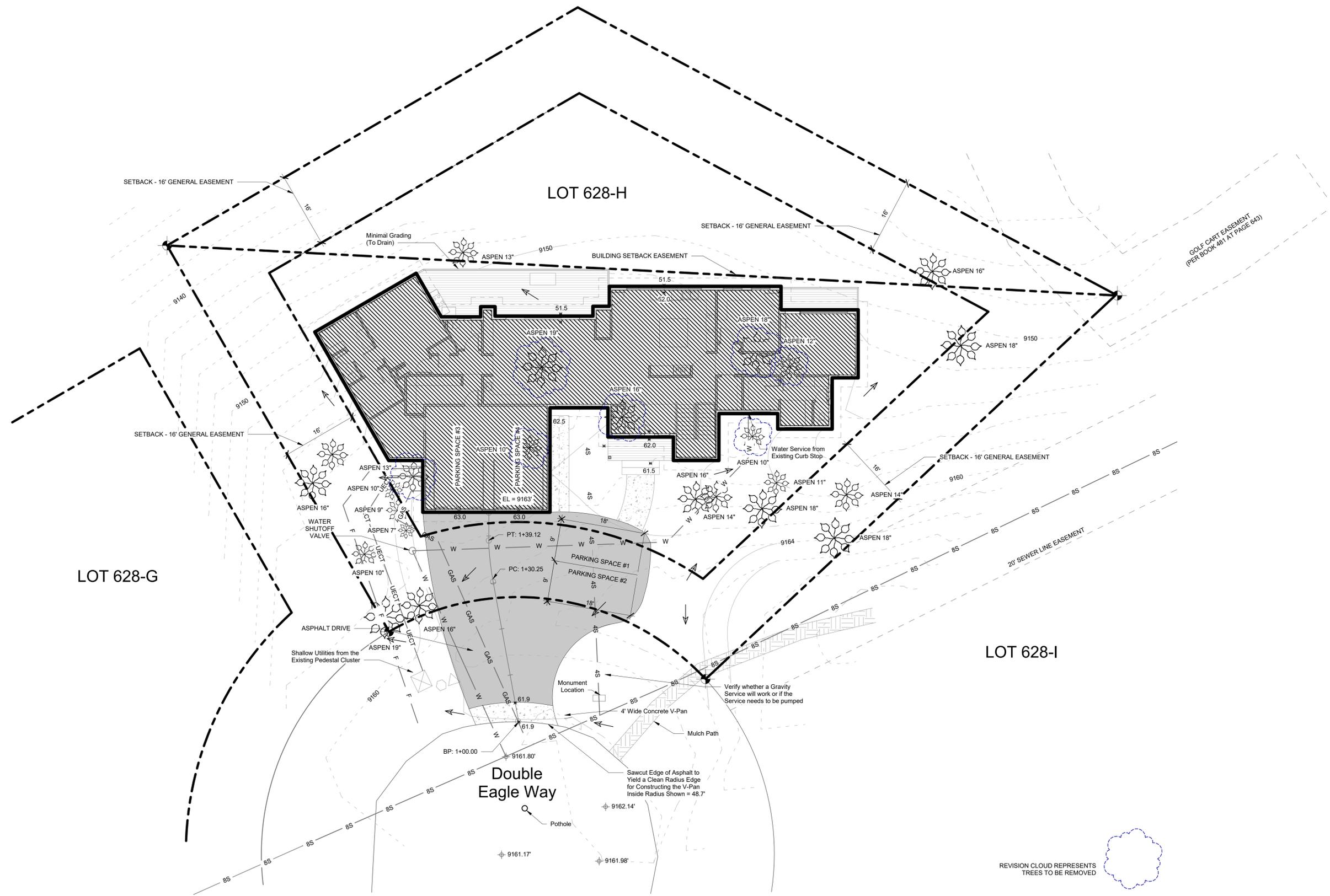
LOT 628-H
TBD. DOUBLE EAGLE WAY
MOUNTAIN VILLAGE, CO

ISSUE RECORD

No.	Description	Date
01		
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Project number	Project Number
Date	03/05/21
Drawn by	GH
Checked by	MC

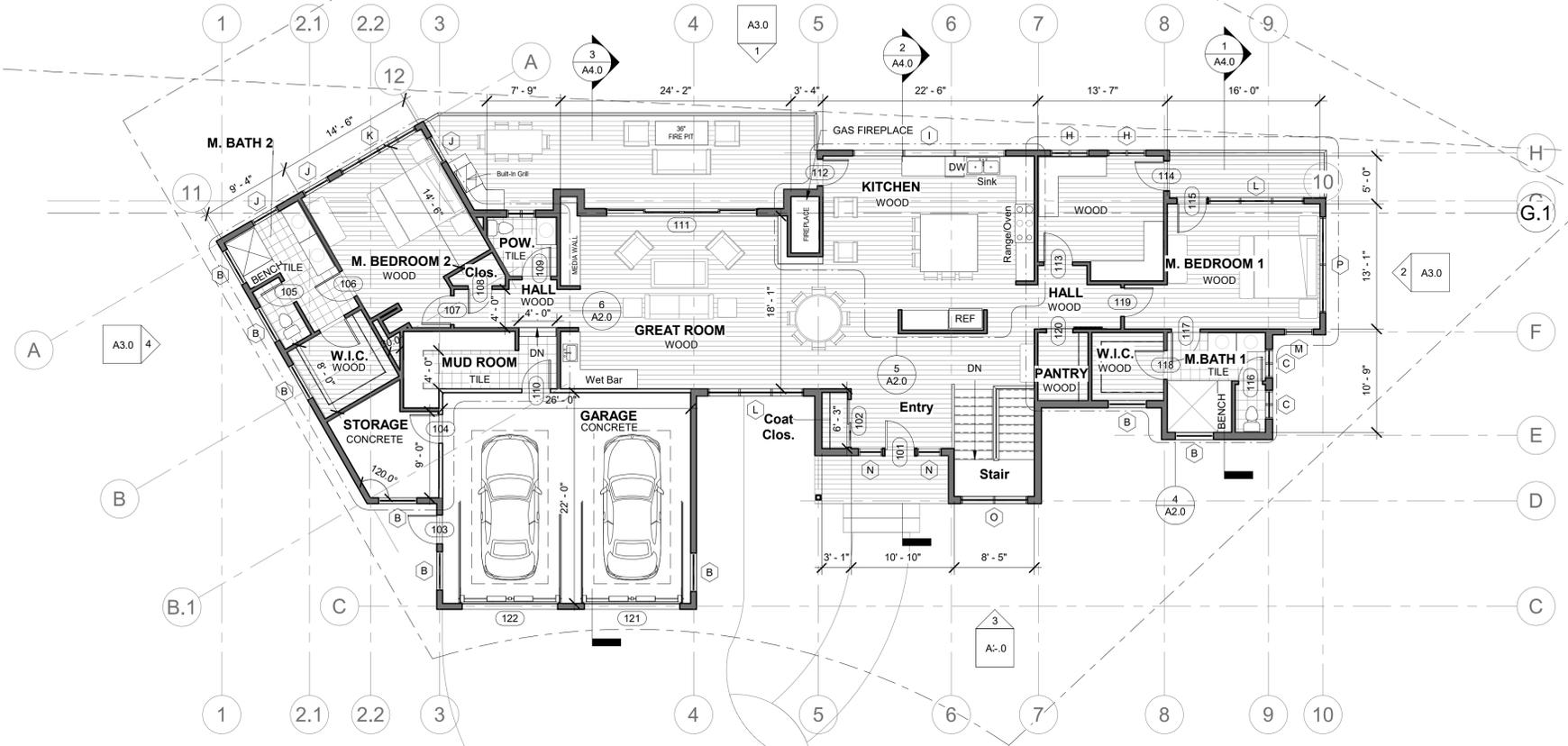
A0.1
SITE PLAN



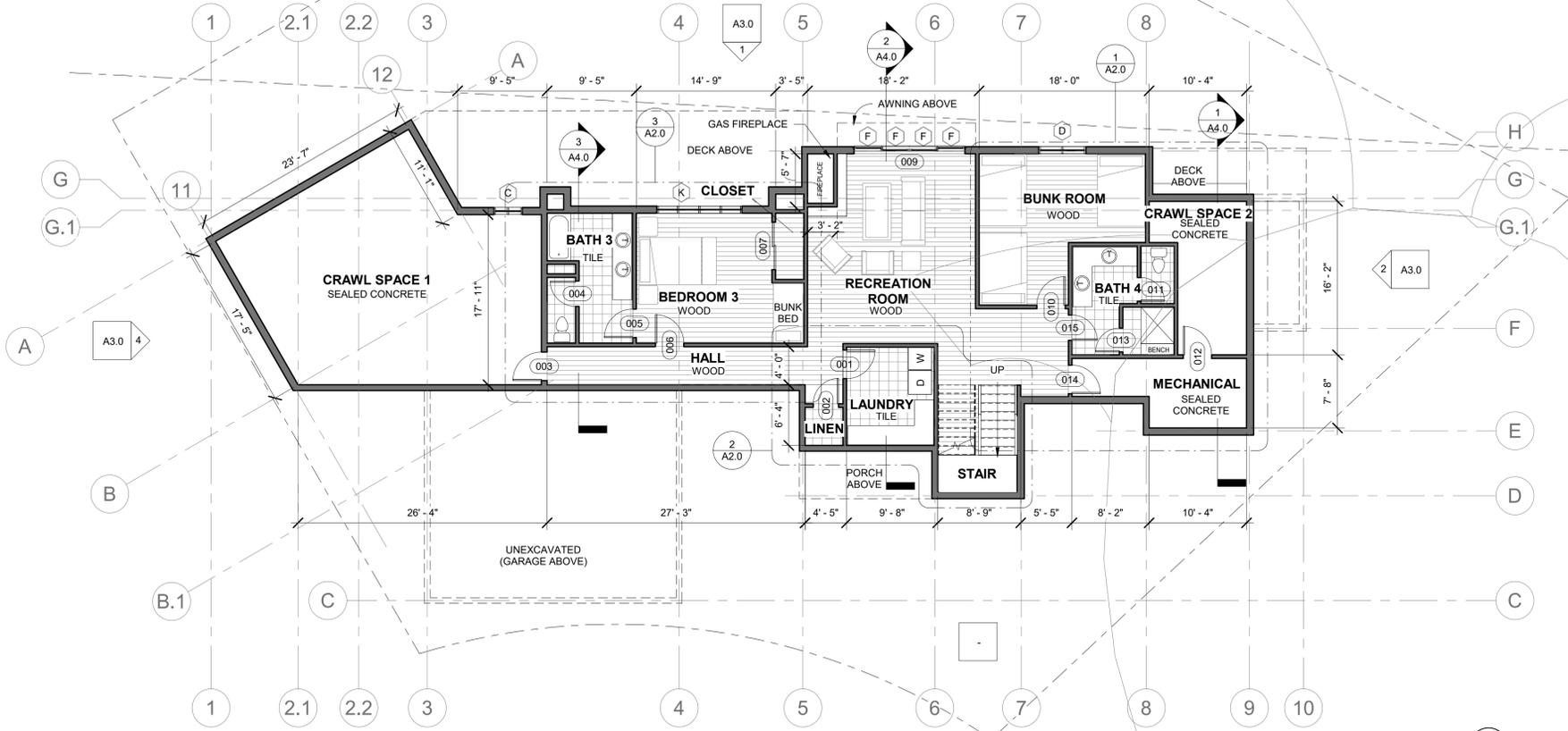
1 SITE PLAN
1" = 10'-0"



Door Schedule			
Door Number	Width	Height	Finish
			Comments
001	3' - 0"	8' - 0"	KOLBE VISTA LUXE
002	2' - 8"	8' - 0"	KOLBE VISTA LUXE
003	3' - 0"	8' - 0"	KOLBE VISTA LUXE
004	2' - 8"	8' - 0"	KOLBE VISTA LUXE
005	3' - 0"	8' - 0"	KOLBE VISTA LUXE
006	3' - 0"	8' - 0"	KOLBE VISTA LUXE
007	5' - 0"	6' - 8"	KOLBE VISTA LUXE
009	11' - 9"	6' - 10"	KOLBE VISTA LUXE
010	3' - 0"	8' - 0"	KOLBE VISTA LUXE
011	2' - 6"	8' - 0"	KOLBE VISTA LUXE
012	3' - 0"	8' - 0"	KOLBE VISTA LUXE
013	2' - 6"	8' - 0"	KOLBE VISTA LUXE
014	3' - 0"	8' - 0"	KOLBE VISTA LUXE
015	2' - 8"	8' - 0"	KOLBE VISTA LUXE
101	3' - 0"	8' - 0"	KOLBE VISTA LUXE
102	5' - 0"	7' - 0"	KOLBE VISTA LUXE
103	3' - 0"	8' - 0"	KOLBE VISTA LUXE
104	3' - 0"	8' - 0"	KOLBE VISTA LUXE
105	2' - 6"	8' - 0"	KOLBE VISTA LUXE
106	3' - 0"	8' - 0"	KOLBE VISTA LUXE
107	3' - 0"	8' - 0"	KOLBE VISTA LUXE
108	2' - 6"	8' - 0"	KOLBE VISTA LUXE
109	3' - 0"	8' - 0"	KOLBE VISTA LUXE
110	3' - 0"	8' - 0"	KOLBE VISTA LUXE
111	15' - 9"	7' - 11 1/2"	KOLBE VISTA LUXE
112	2' - 8"	8' - 0"	KOLBE VISTA LUXE
113	3' - 0"	8' - 0"	KOLBE VISTA LUXE
114	3' - 0"	7' - 11"	KOLBE VISTA LUXE
115	3' - 0"	7' - 11"	KOLBE VISTA LUXE
116	2' - 6"	8' - 0"	KOLBE VISTA LUXE
117	3' - 0"	8' - 0"	KOLBE VISTA LUXE
118	3' - 0"	8' - 0"	KOLBE VISTA LUXE
119	3' - 0"	8' - 0"	KOLBE VISTA LUXE
120	0' - 0"	0' - 0"	KOLBE VISTA LUXE
121	10' - 0"	8' - 6"	KOLBE VISTA LUXE
122	10' - 0"	8' - 6"	KOLBE VISTA LUXE
140	3' - 0"	6' - 8"	KOLBE VISTA LUXE



2 UPPER LEVEL FLOOR
1/8" = 1'-0"



1 LOWER LEVEL FLOOR
1/8" = 1'-0"

Window Schedule					
Type Mark	Count	Rough Opening Width	Height	Head Height	Comments
B	8	4' - 0"	4' - 0"	8' - 0"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
C	4	3' - 0"	5' - 0"		KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
D	1	5' - 0"	6' - 0"	8' - 1"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
E	1	6' - 0"	6' - 0"	19' - 6"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
F	4	2' - 11 1/4"	1' - 3"	8' - 1"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
G	4	4' - 0"	2' - 0"		KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
H	2	4' - 0"	8' - 0"	11' - 6"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
I	1	16' - 0"	8' - 0"	21' - 6"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
J	3	3' - 0"	9' - 0"		KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
K	2	9' - 0"	6' - 0"		KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
L	2	10' - 0"	6' - 0"		KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
M	1	3' - 0"	7' - 0"	9' - 0"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
N	2	2' - 6"	8' - 0"	8' - 0"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
O	1	7' - 0"	6' - 0"	8' - 0"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
P	1	10' - 0"	6' - 0"	8' - 1 3/4"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES
V	2	4' - 0"	4' - 0"	17' - 6"	KOLBE VISTA LUXE WOOD CLAD W/ SIMULATED DIVIDED LITES

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TBD. DOUBLE EAGLE WAY
MOUNTAIN VILLAGE, CO

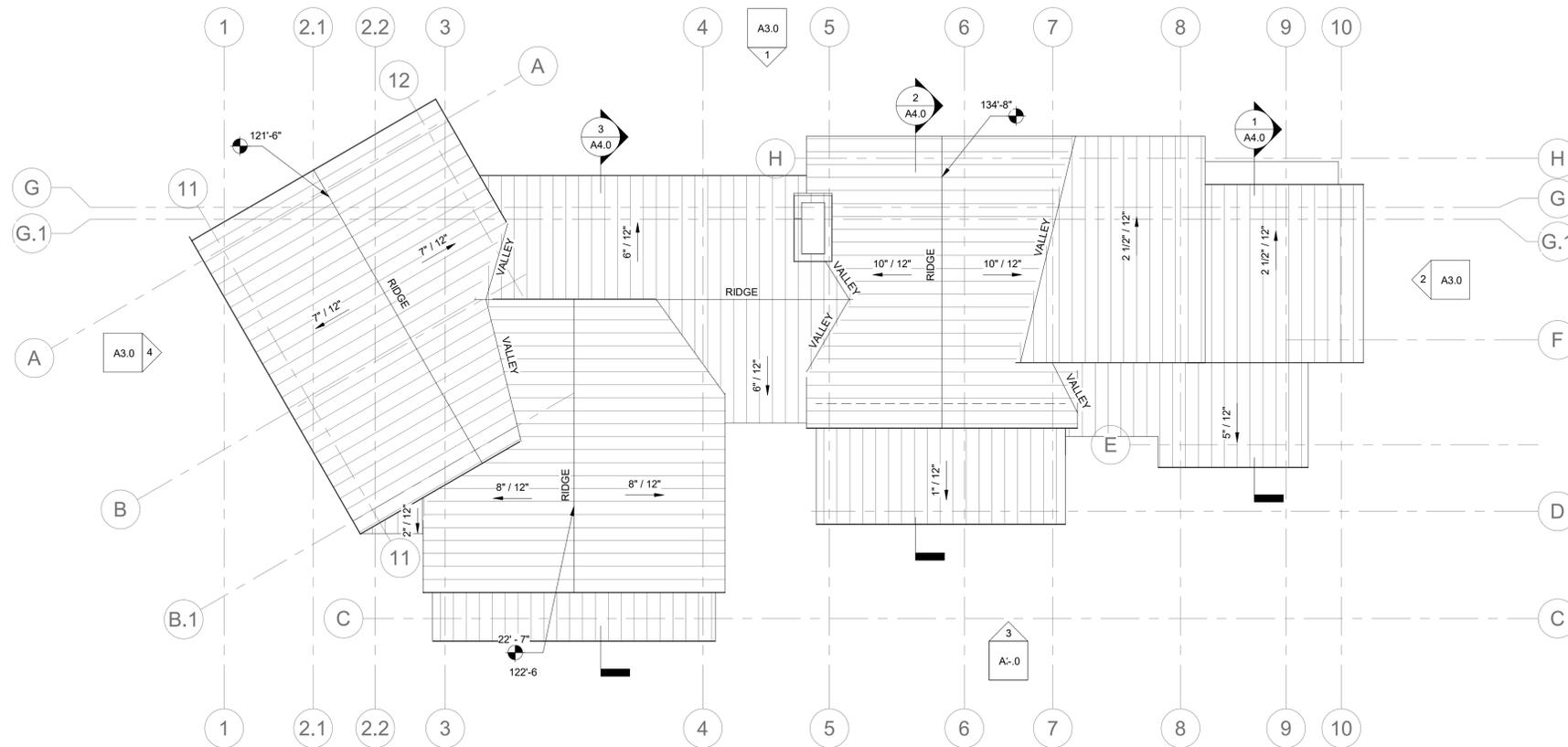
ISSUE RECORD		
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A1.0
FLOOR PLANS

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1 ROOF PLAN
1/8" = 1'-0"

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MOUNTAIN VILLAGE, CO

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Project number Project Number
Date 03/05/21
Drawn by EM
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A1.1
ROOF PLAN

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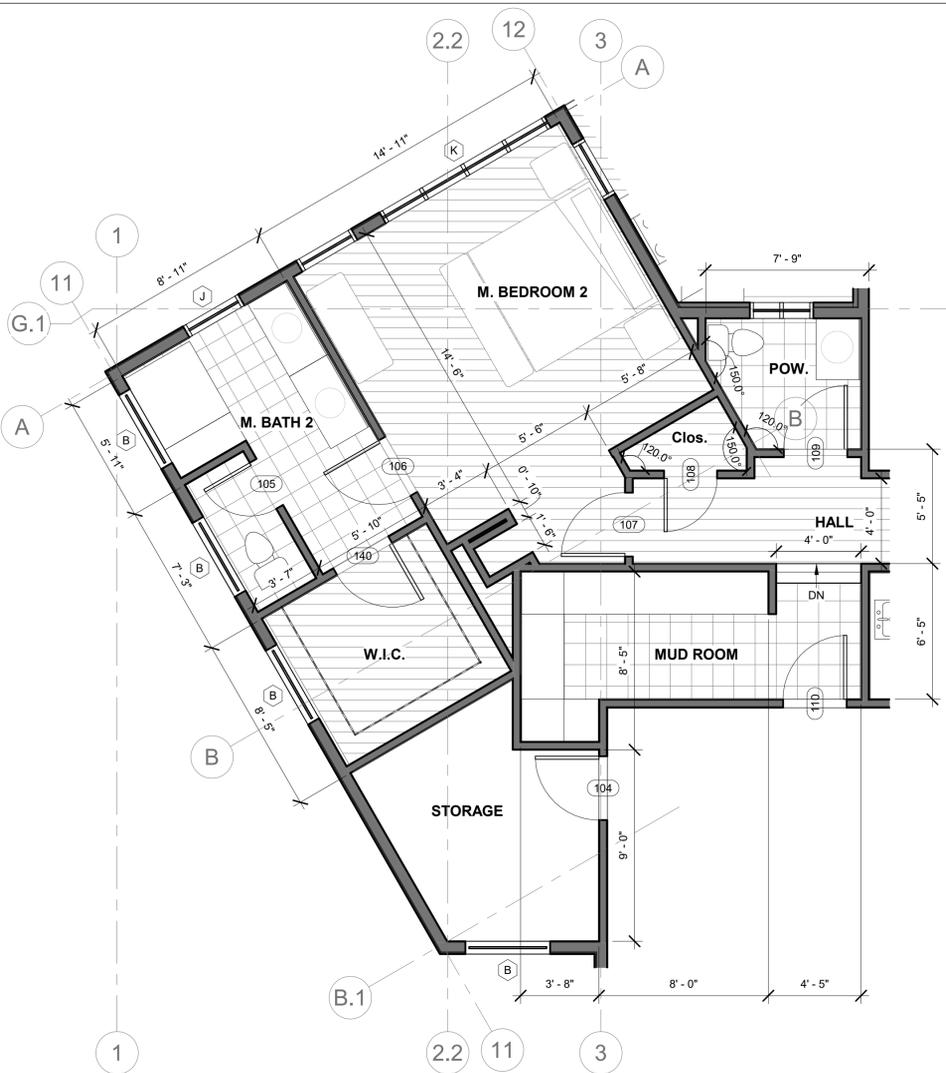
TBD. DOUBLE EAGLE WAY
MOUNTAIN VILLAGE, CO

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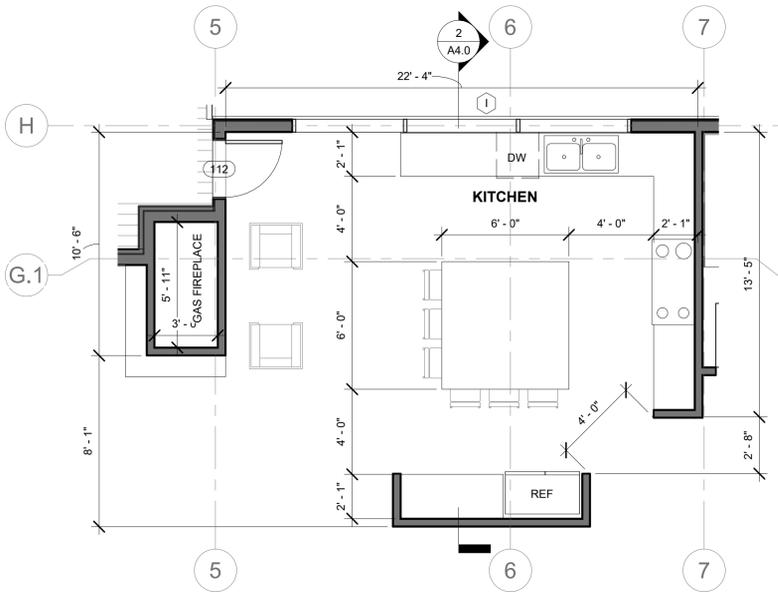
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Project number	Project Number
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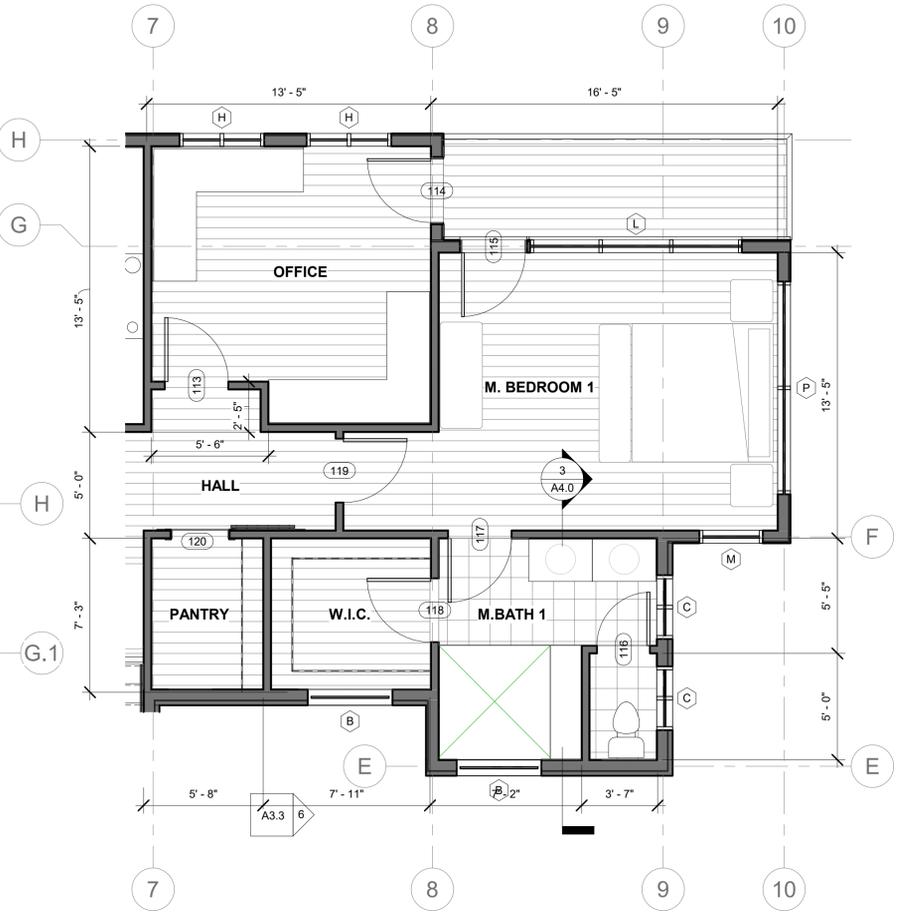
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ENLARGED PLANS



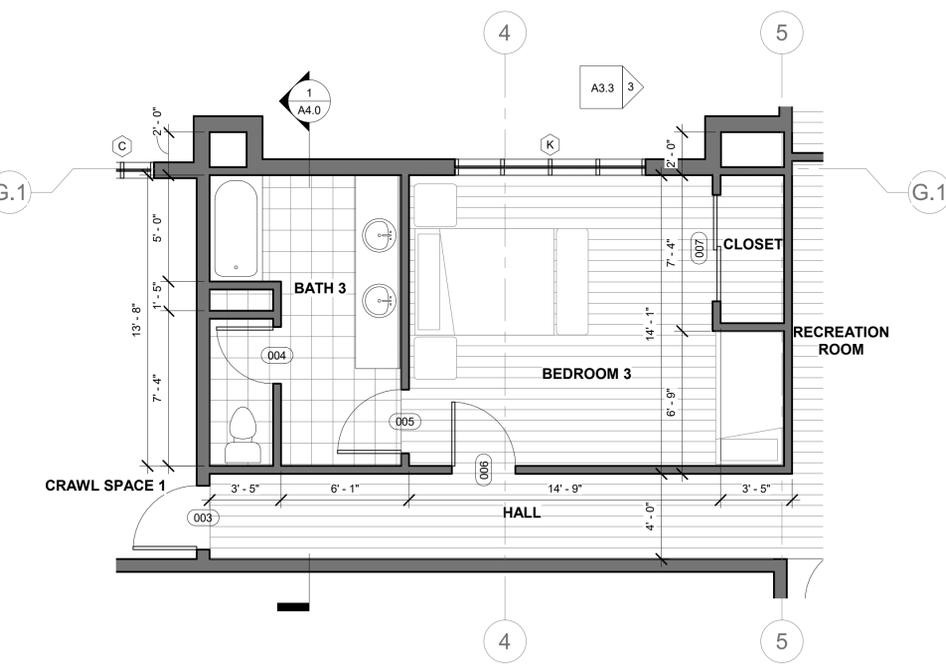
6 MASTER BEDROOM 2 AREA
1/4" = 1'-0"



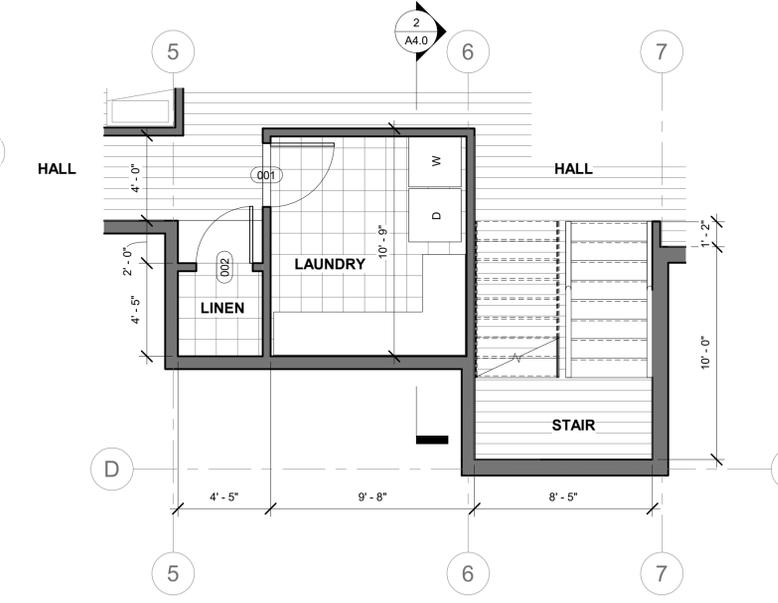
5 ENLARGED PLAN- KITCHEN
1/4" = 1'-0"



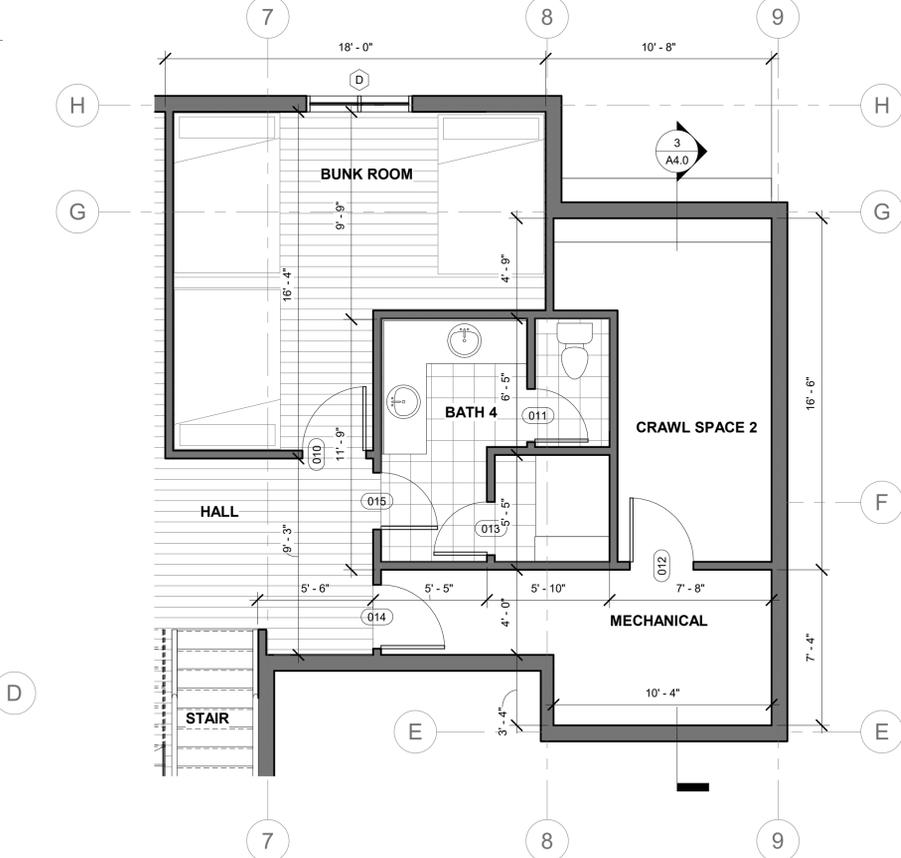
4 MASTER BEDROOM 1 AREA
1/4" = 1'-0"



3 BATHROOM 3 AND BATH 3
1/4" = 1'-0"



2 LAUNDRY ROOM AREA
1/4" = 1'-0"



1 BUNK ROOM AREA
1/4" = 1'-0"

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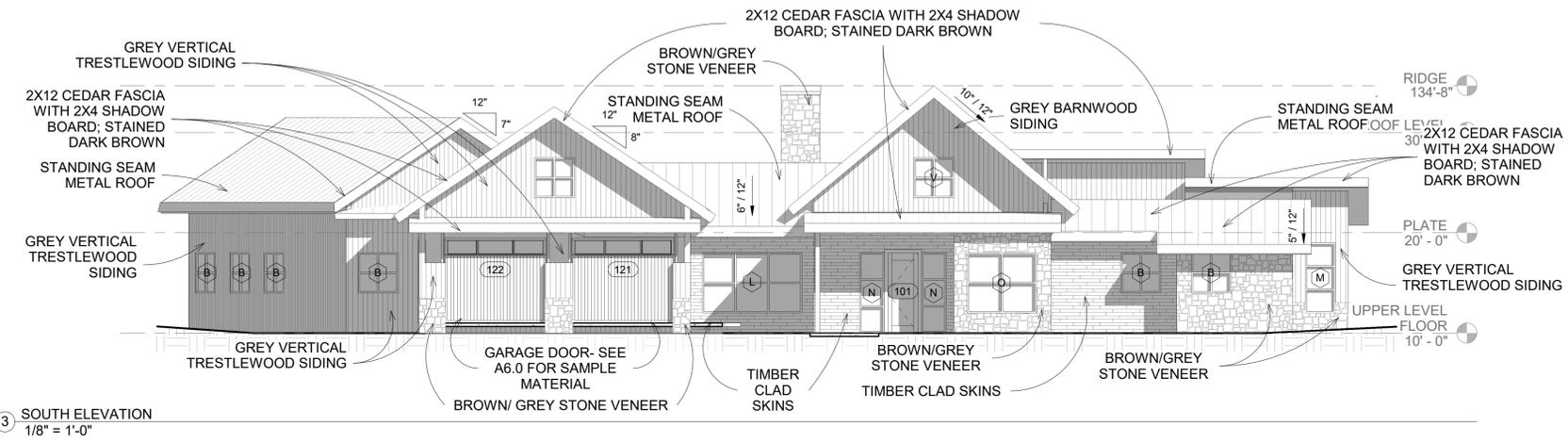
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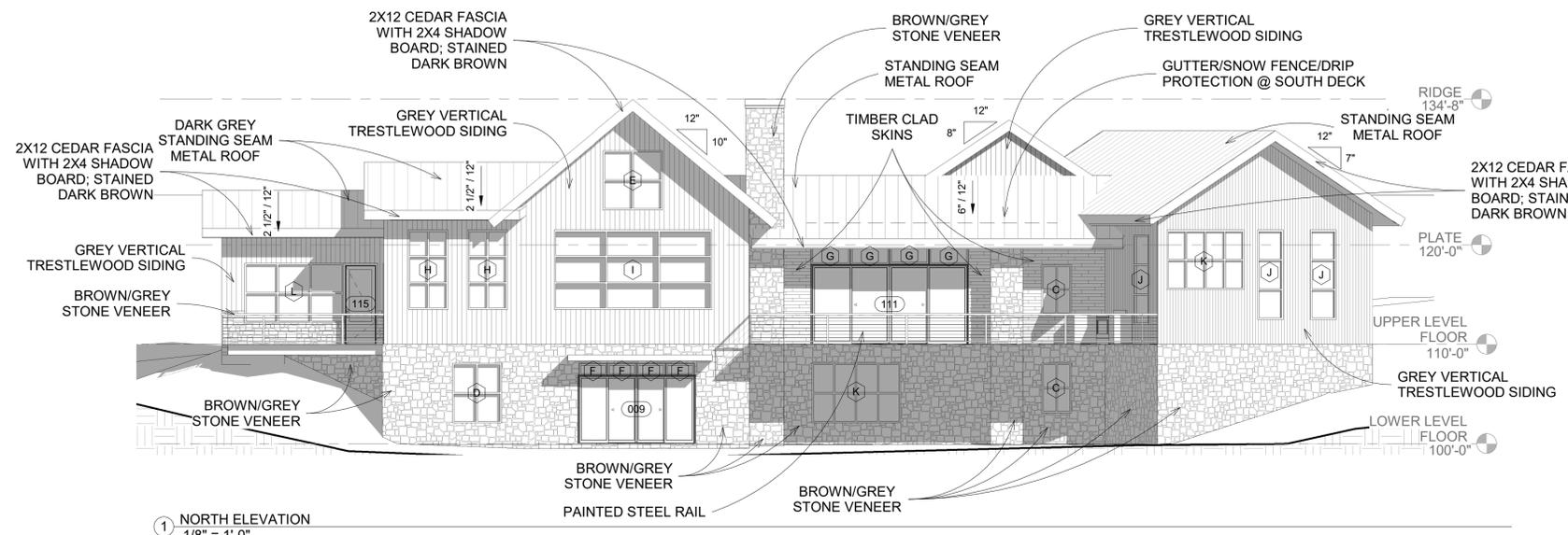
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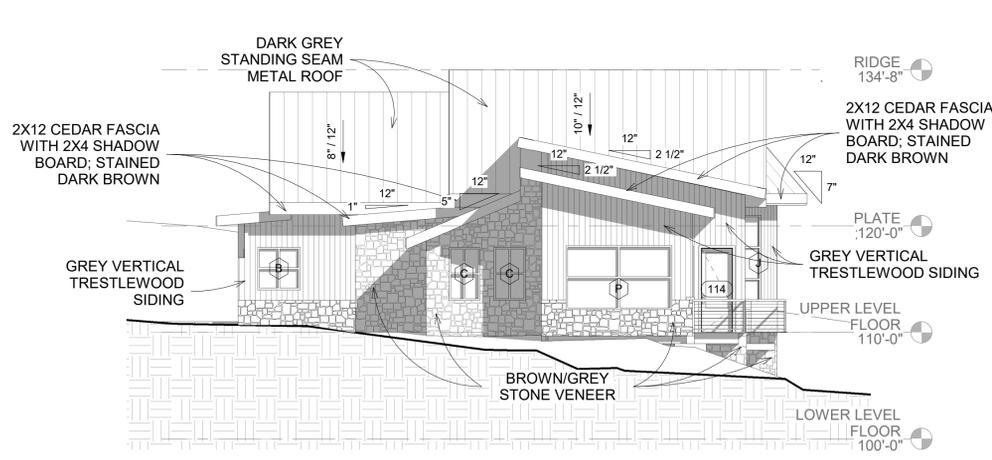
A3.0
ELEVATIONS



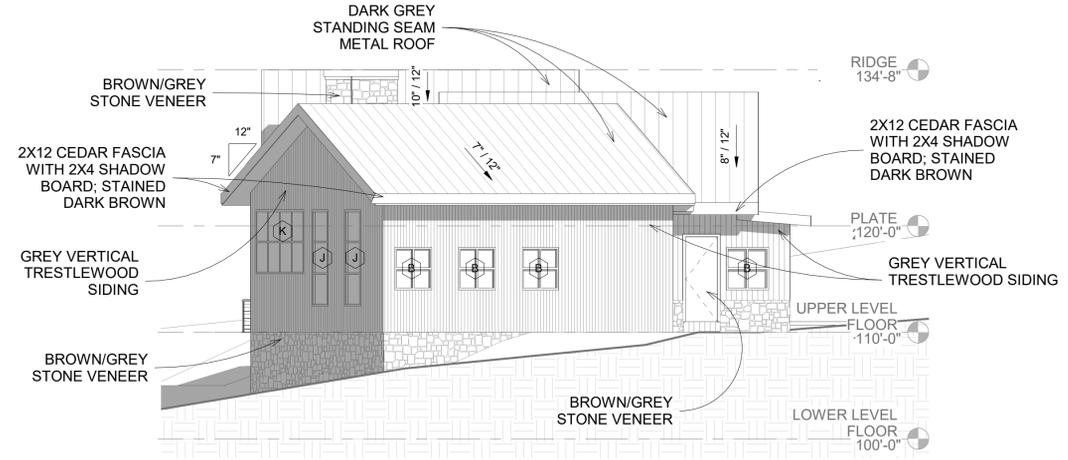
3 SOUTH ELEVATION
1/8" = 1'-0"



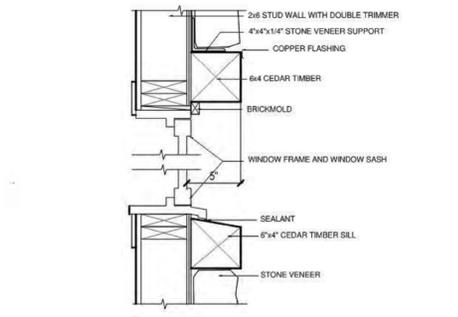
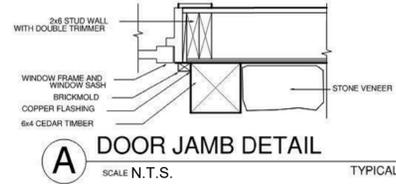
1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"



B WINDOW HEAD/SILL DETAIL
SCALE N.T.S. TYPICAL

BUILDING MATERIAL PALETTE



**DARK GREY
STANDING SEAM METAL ROOF**



**KOLBE VISTA LUXE
WINDOW**



**TRESTLEWOOD SIDING
BUILDING EXAMPLE**



KOLBE VISTA LUXE DOOR



COMPOSITE DECKING EXAMPLE



PAINTED STEEL RAILING



**TRESTLEWOOD SIDING
BUILDING EXAMPLE**



TYPICAL SLIDER DOOR



**TYPICAL WINDOW AND
TIMBER SKIN EXAMPLE**



**ROUGH CEDAR
SOFFIT AND PORCH LIDS**



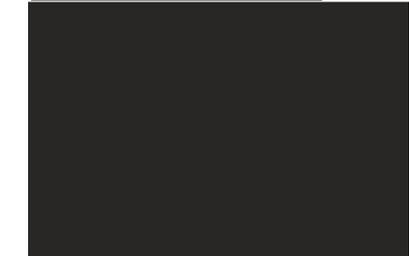
STONE



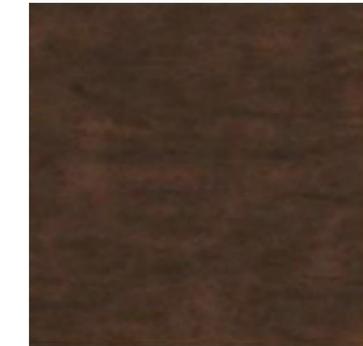
TRESTLEWOOD SIDING



**ALUMINUM
WINDOW CLADDING**



TIMBER ACCENT



**ROUGH CEDAR
FASCIA/SHADOWBOARD**



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LOT 628-H
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MOUNTAIN VILLAGE, CO

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Drawn by	Author
Checked by	Checker

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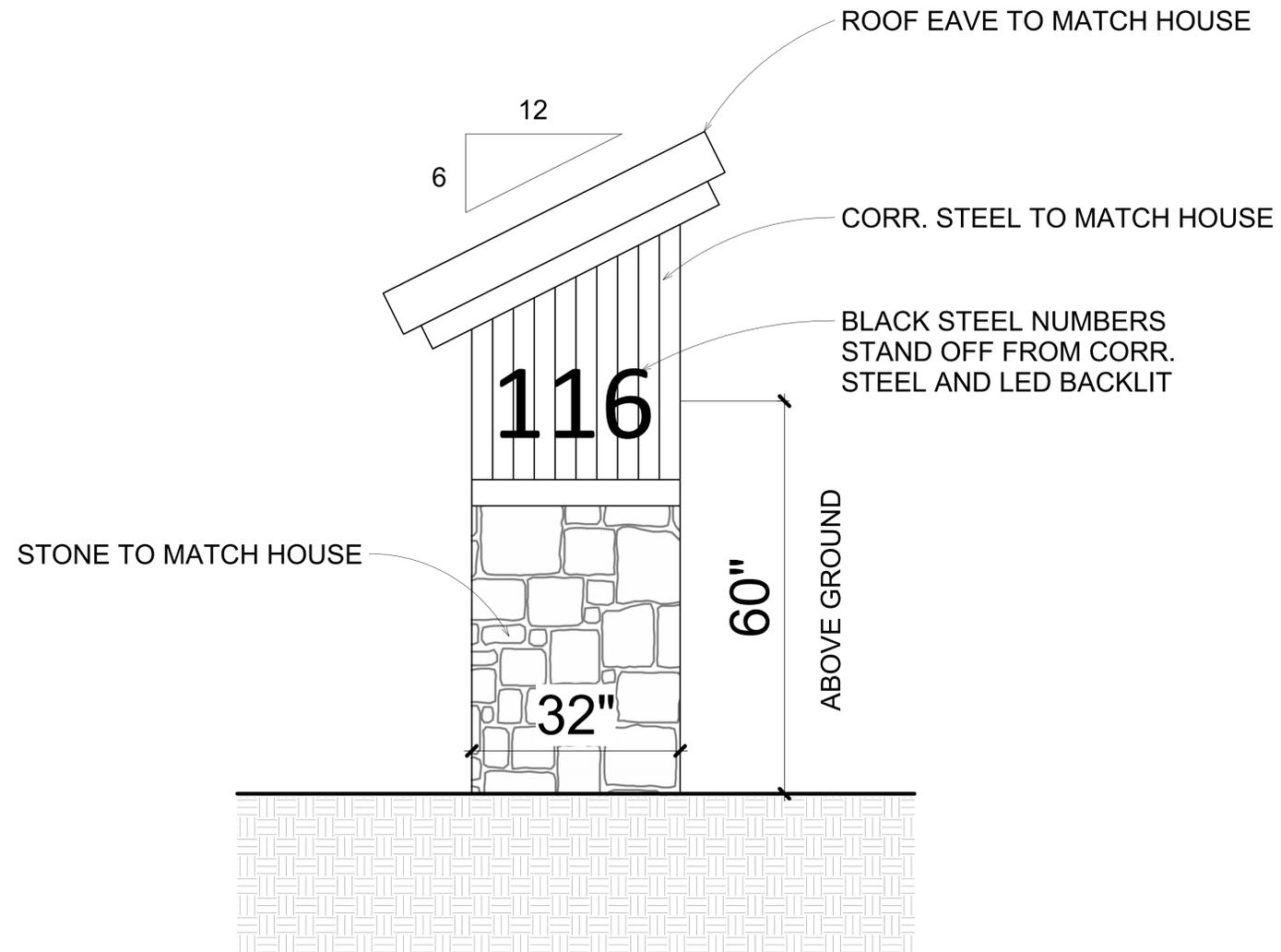
LOT 628-H
TBD. DOUBLE EAGLE WAY
MOUNTAIN VILLAGE, CO

ISSUE RECORD

No.	Description	Date
01		
02		
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05		
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07		
08		
09		

Project number	Project Number
Date	03/05/21
Drawn by	GH
Checked by	MC

A3.2
ENTRY MONUMENT



① ENTRY MONUMENT
1" = 1'-0"

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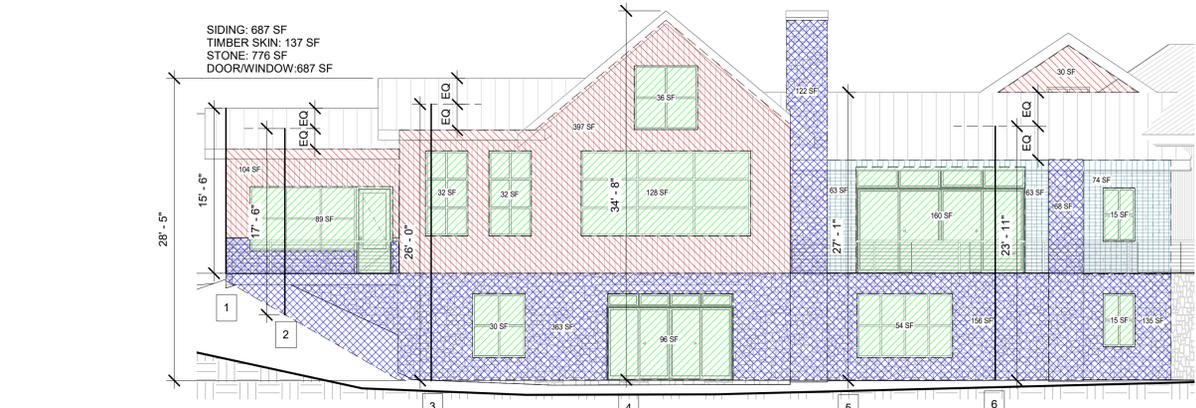
LOT 628-H
TBD. DOUBLE EAGLE WAY
MOUNTAIN VILLAGE, CO

ISSUE RECORD

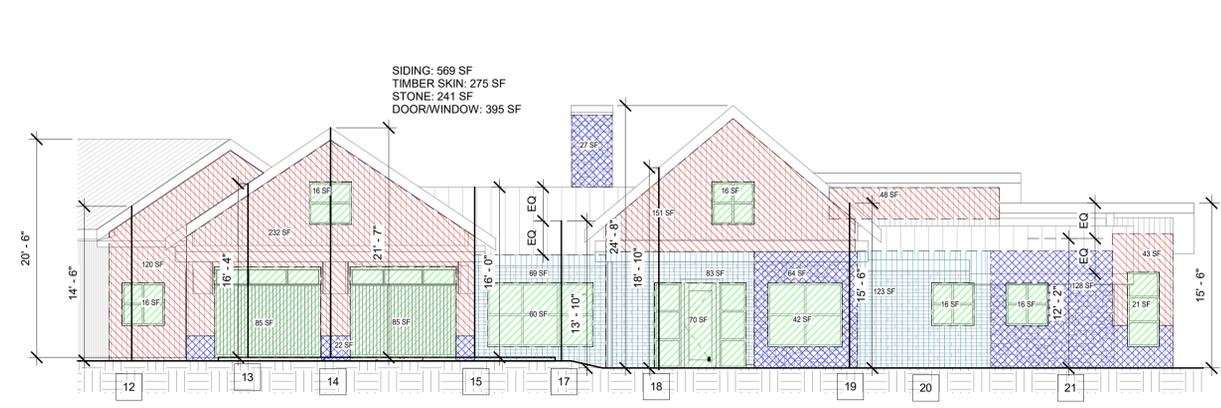
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Project number	Project Number
Date	03/05/21
Drawn by	EM
Checked by	MC

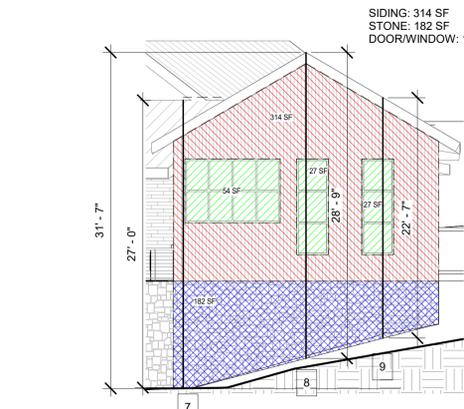
A3.3
SIDING AND HEIGHT CALCULATIONS



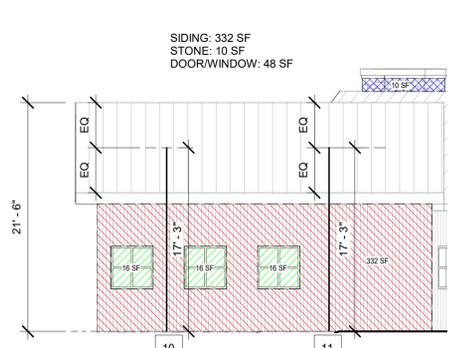
1 SIDING CALC A
1/8" = 1'-0"



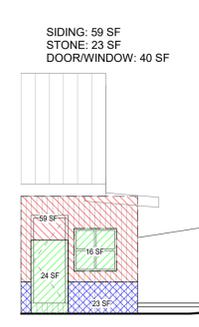
5 SIDING CALC C
1/8" = 1'-0"



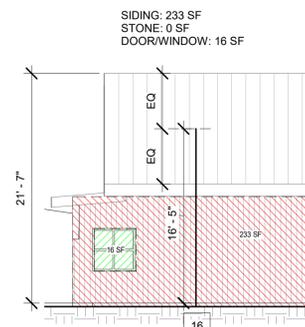
12 SIDING CALC E
1/8" = 1'-0"



11 SIDING CALC D
1/8" = 1'-0"



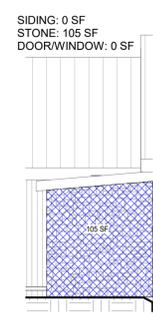
10 SIDING CALC C.5
1/8" = 1'-0"



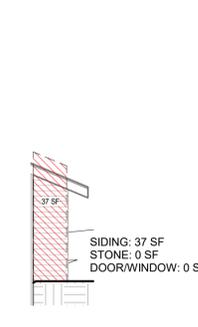
9 SIDING CALC C.4
1/8" = 1'-0"



8 SIDING CALC C.3
1/8" = 1'-0"



7 SIDING CALC C.2
1/8" = 1'-0"



6 SIDING CALC C.1
1/8" = 1'-0"

LEGEND:

- SIDING: [Pattern]
- TIMBER SKIN: [Pattern]
- STONE: [Pattern]
- DOOR/WINDOW: [Pattern]

SIDING CALCULATIONS

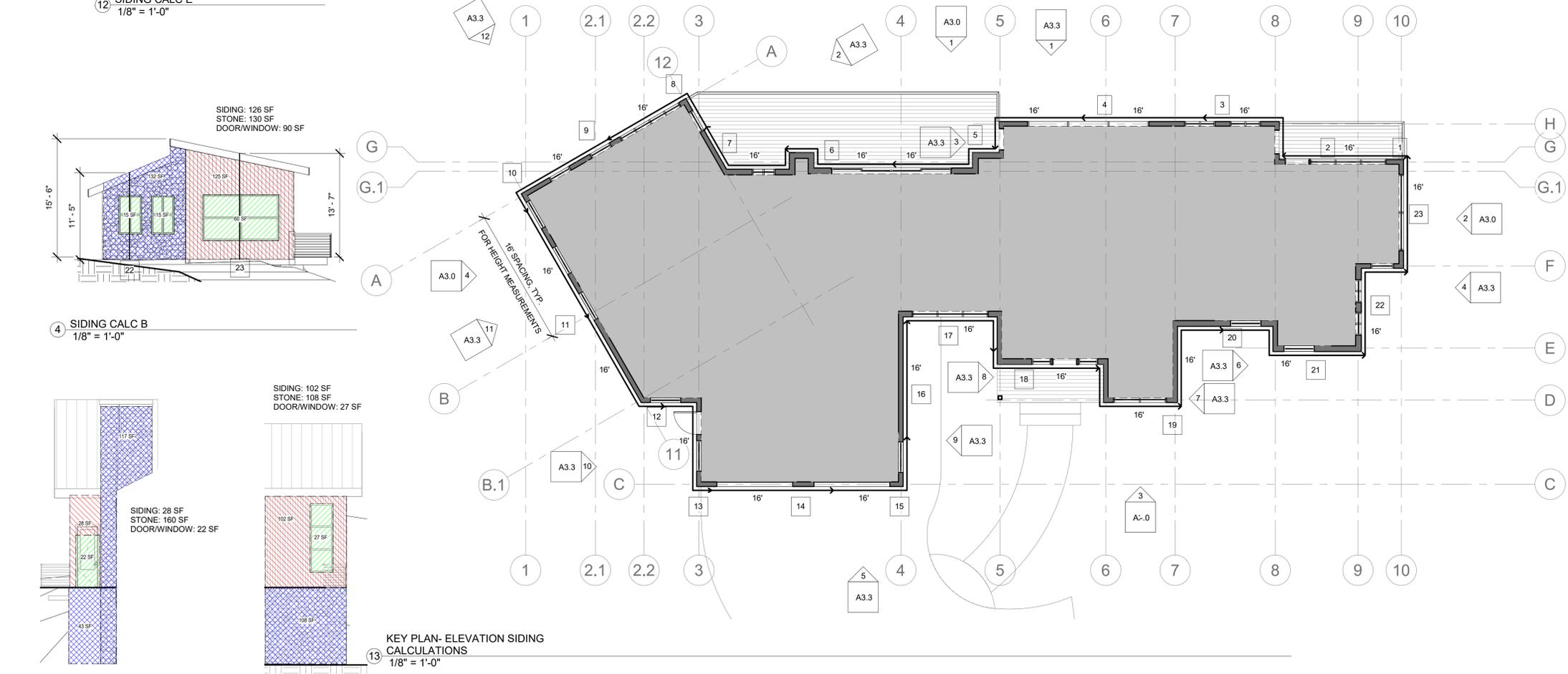
SIDING:	2,539 SF
TIMBER SKIN:	412 SF
STONE:	1,988 SF
WINDOW/DOOR OPENINGS:	1,333 SF
TOTAL:	6,089 SF
PERCENTAGE OF STONE:	30.0%

MAXIMUM HEIGHT CALCULATION

RIDGE HEIGHT:	9696.67'
LOWEST PRE-CONSTRUCTION GRADE:	9662.0
ALLOWABLE HEIGHT = 34'-8"	

AVERAGE HEIGHT CALCULATION

1	15'-6"
2	17'-6"
3	26'-0"
4	34'-8"
5	27'-1"
6	23'-11"
7	27'-0"
8	28'-9"
9	22'-7"
10	17'-3"
11	17'-3"
12	14'-6"
13	16'-4"
14	21'-7"
15	16'-0"
16	16'-5"
17	13'-10"
18	8'-10"
19	15'-6"
20	18'-4"
21	13'-3"
22	13'-3"
23	13'-7"
TOTAL=	438.42
AVERAGE HEIGHT = 13.70'	



3 SIDING CALC A.2
1/8" = 1'-0"

2 SIDING CALC A.1
1/8" = 1'-0"

13

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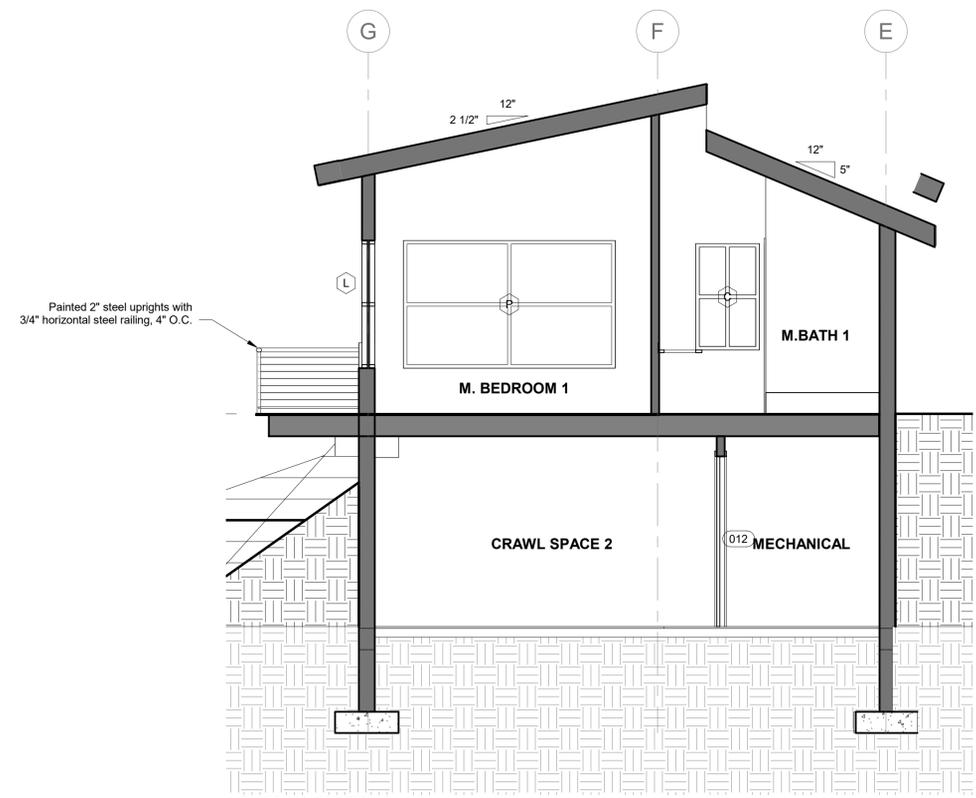
LOT 628-H
TBD. DOUBLE EAGLE WAY
MOUNTAIN VILLAGE, CO

ISSUE RECORD

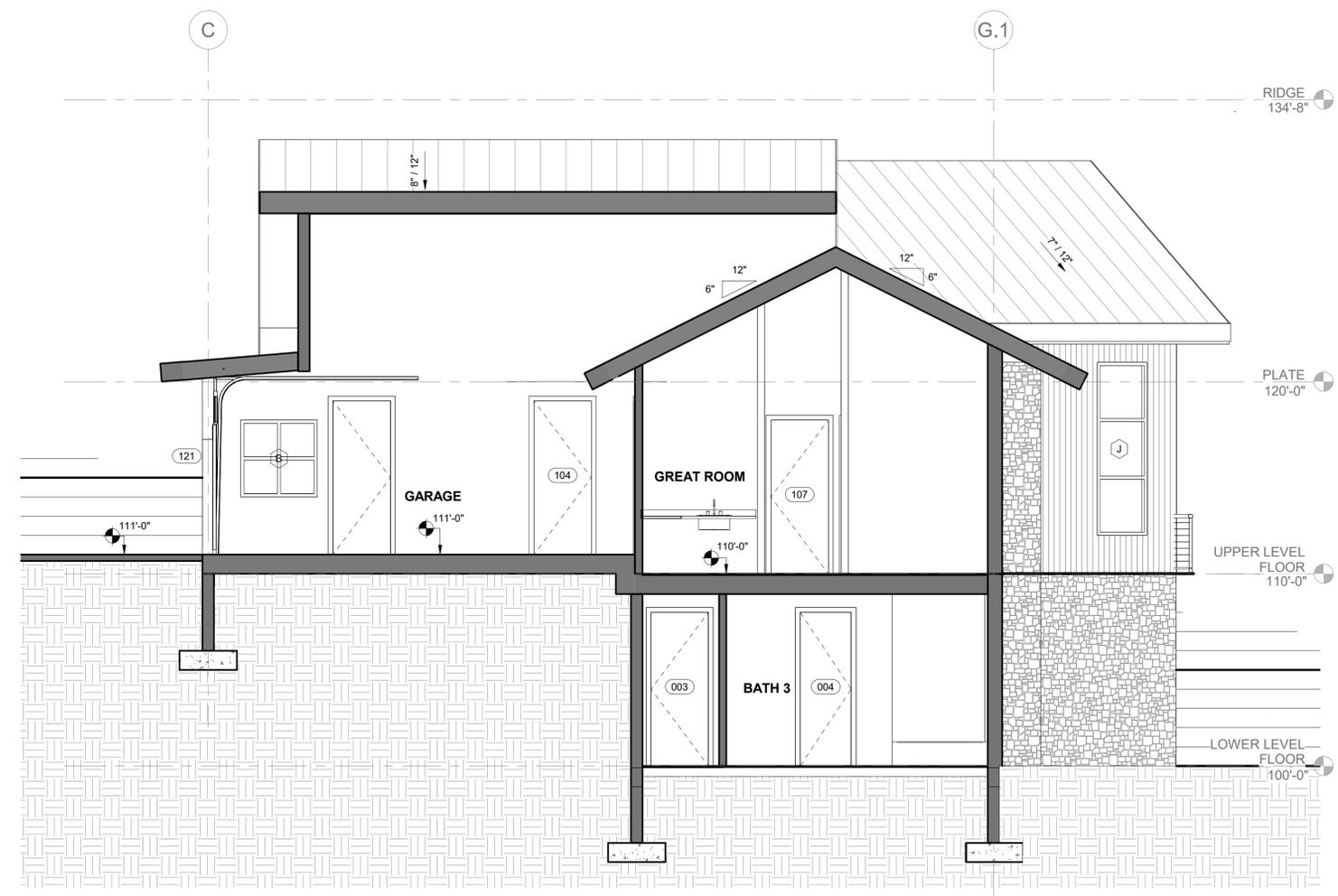
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Project number Project Number
Date 03/05/21
Drawn by EM
Checked by MC

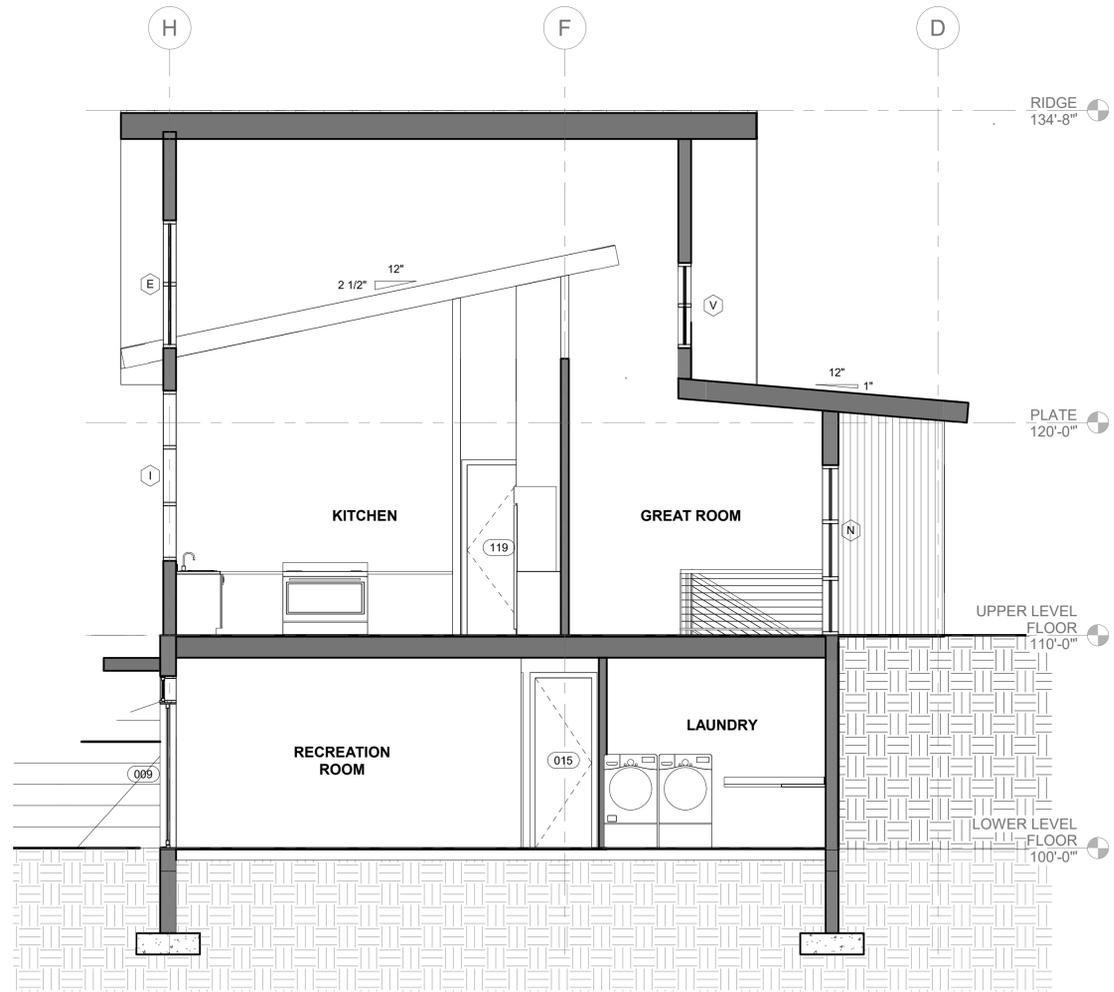
A4.0
BUILDING SECTIONS



3 BUILDING SECTION 3
1/4" = 1'-0"



1 BUILDING SECTION 1
1/4" = 1'-0"



2 BUILDING SECTION 2
1/4" = 1'-0"

JUNO
 Project:
 Fixture Type:
 Location:
 Contact/Phone:

4" IC AND TC 1000 LUMEN INTERNALLY ADJUSTABLE LED DOWNLIGHT NEW CONSTRUCTION
 IC4AL, TC4AL (10LM) RECESSED HOUSING
ANGLE CUT TRIMS

PRODUCT DESCRIPTION
 From glowing to dimmed, the Juno is a new construction housing with integral internally adjustable light engine. Double well, shallow housing design allows for easy installation. TC4AL series for use in recessed ceiling applications. IC4AL series for use in drop ceiling applications. Fully sealed housing stops infiltration and condensation of air, making lighting and cooling costs without the use of additional gaskets. LED housing is designed to provide 50,000 hours of life. 5 year limited warranty on LED components.

ENVIRONMENTALLY FRIENDLY ENERGY EFFICIENT
 • No lead or mercury, RoHS compliant
 • Comparable light output to incandescent

PRODUCT SPECIFICATIONS
LED Light Engine: LED core, enclosed in total aluminum sliding feedback integrated directly with housing provides superior heat transfer to ensure long life of LED. • Adjustable light engine mounts down for 18" beam spread. • LED core is protected by a 3-step MacAdam ellipse to ensure color uniformity. • 2700K, 3000K, 3500K, or 4000K color temperatures available. • 4°C CR minimum.

Optics: Three field interchangeable, TR optics available in 18", 30" or 42" beam spread. • Adjustable beam spread from 18" to 42" beam spread. • 18" and 30" beam spread optics are available in 18" and 30" beam spread. • 42" beam spread optics are available in 42" beam spread. • 18" and 30" beam spread optics are available in 18" and 30" beam spread. • 42" beam spread optics are available in 42" beam spread.

LED Housing: Choice of dedicated 120 volt (120) driver or optional 120/277 volt AC at 50/60Hz. • Power factor > 0.9 @ 120V input. • 120V only driver is compatible with the use of most accessories. • Magnetic low voltage and electronic low voltage will not dim. • Temperature range: -40°C to 50°C. • Housing is made of die-cast aluminum. • Housing is made of die-cast aluminum. • Housing is made of die-cast aluminum.

Life: Rated for 50,000 hours of 70% lumen maintenance.

Labels: IC4AL is ENERGY STAR certified. • IC4AL is certified by UL for safety and performance. • IC4AL is certified by UL for safety and performance. • IC4AL is certified by UL for safety and performance.

Testing: All items are based on published industry practices. Field performance may differ from laboratory performance. Specifications subject to change without notice.

HOUSING FEATURES
 Housing: IC4AL designed for use in recessed ceiling or non-recessed ceiling. • TC4AL designed for use in recessed ceiling. • Aluminum housing is available for use in recessed ceiling. • Housing is made of die-cast aluminum. • Housing is made of die-cast aluminum. • Housing is made of die-cast aluminum.

Mounting Frame: Recessed ceiling applications. • Mounting frame is made of die-cast aluminum. • Mounting frame is made of die-cast aluminum. • Mounting frame is made of die-cast aluminum.

Real Nail Bar Hangers: Recessed ceiling applications. • Real nail bar hangers are made of die-cast aluminum. • Real nail bar hangers are made of die-cast aluminum. • Real nail bar hangers are made of die-cast aluminum.

Standard: ETL & cETL listed, Wet Location, IP65

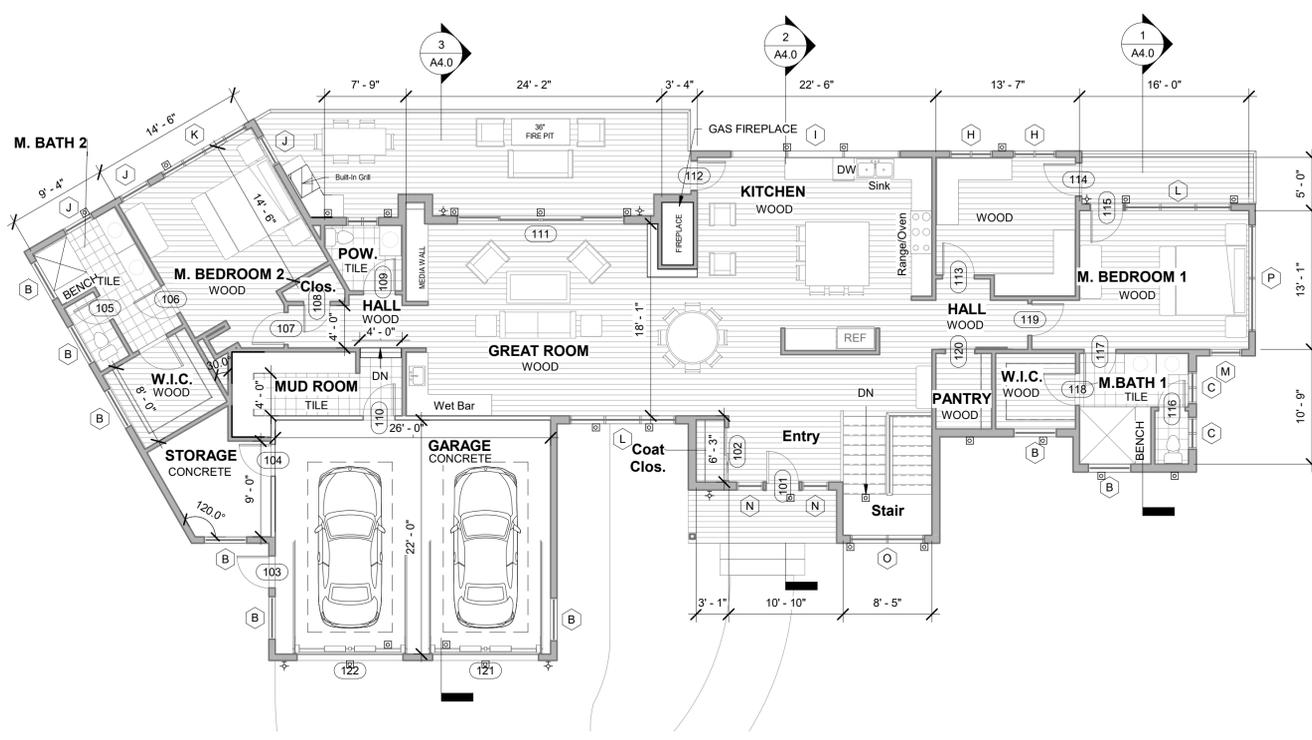
Acuity Brands 10001 W. Wolf Road, Dayton, OH 45424 • Phone: 1-800-705-9279 • Fax: 937-233-7929 • www.acuitybrands.com

4" IC AND TC 1000 LUMEN INTERNALLY ADJUSTABLE LED DOWNLIGHT NEW CONSTRUCTION
 IC4AL, TC4AL (10LM) RECESSED HOUSING
ANGLE CUT TRIMS

ORDERING INFORMATION Housing and trim can be ordered together or separate, but always ship together.

Series	Lumen	Color Temperature	CR	Dimensions	Voltage	Driver	Trim	Part No.
IC4AL	1000	2700K	4	4" x 4"	120V	IC4AL	ORB	1000-2700-4-ORB
IC4AL	1000	3000K	4	4" x 4"	120V	IC4AL	ORB	1000-3000-4-ORB
IC4AL	1000	3500K	4	4" x 4"	120V	IC4AL	ORB	1000-3500-4-ORB
IC4AL	1000	4000K	4	4" x 4"	120V	IC4AL	ORB	1000-4000-4-ORB

Acuity Brands 10001 W. Wolf Road, Dayton, OH 45424 • Phone: 1-800-705-9279 • Fax: 937-233-7929 • www.acuitybrands.com



1 Electrical Plan - Upper Level
 1/8" = 1'-0"

EXTERIOR LIGHT FIXTURE SCHEDULE						
MARK	TYPE	MANUF.	MODEL	LAMP	WATT	TRIM/NOTES
A	SCONCE	PANDORA	WS-W30509	LED	TBD	ORB
B	4" RECESSED CAN	JUNO	TC4AL	LED	TBD	47L WHZBRZ

PANDORA Exterior Sconce
 WS-W30507 / WS-W30509 / WS-W30511

MODERN FORMS

Fixture Type:
 Catalog Number:
 Project:
 Location:

PRODUCT DESCRIPTION
 A popular understated design updated with a sleek black finish, Pandora brings sculptural sophistication and high-powered energy efficient LEDs to your overall lighting scheme, whether you mount it inside or out. With its tapered, minimalist form and two points of illumination, you'll never regret opening this box.

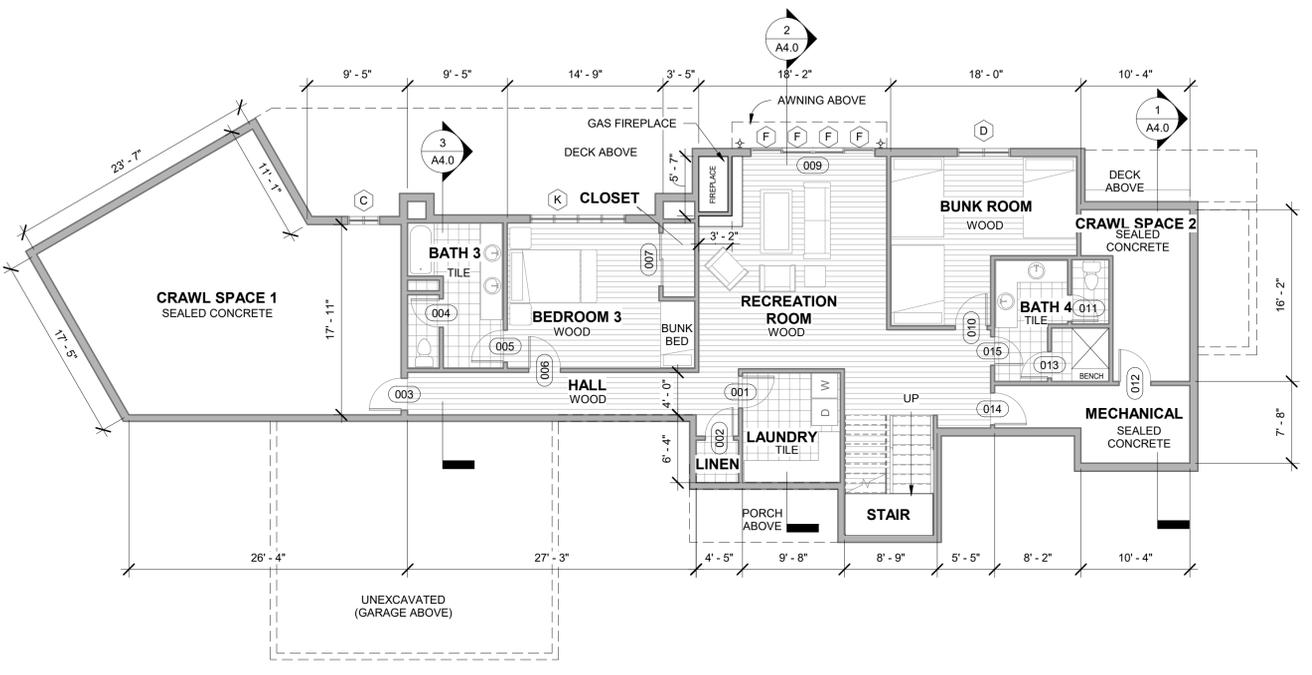
FEATURES
 • Up and down illumination
 • No transformer or driver needed
 • Color Temperature: 3000K
 • Dimmer: 0-10V
 • CR: 85
 • Rated Life: 50,000 hours

ORDER NUMBER

Model	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W30507	20W	120V	2400	2400	ORB
WS-W30509	20W	120V	2400	2400	BK
WS-W30511	20W	120V	2400	2400	ORB

Example: WS-W30509-ORB

modernforms.com
 Phone: 800-828-2585
 Headquarters/Exterior Distribution Center
 4400 Park Drive
 Fort Washington, NY 11804
 Central Distribution Center
 1400 Distribution Ct.
 Little Springs, GA 30122
 Western Distribution Center
 1700 Avenue 400
 Ontario, CA 91764



2 Electrical Plan - Lower Level
 1/8" = 1'-0"

ASHER
 CUSTOM HOMES
 TIMELESS DESIGN & FINE CRAFTSMANSHIP

110 W. 11th STREET
 DURANGO, CO 81301
 (970) 259-1095
 FAX (970) 375-9092
 WWW.ASHERCUSTOMHOMES.COM

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DRB SET FOR APPROVAL

LOT 628-H
 TBD, DOUBLE EAGLE WAY
 MOUNTAIN VILLAGE, CO

ISSUE RECORD

No.	Description	Date
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Project number: _____ Project Number: _____
 Date: _____ Date: 03/05/21
 Drawn by: _____ Author: _____
 Checked by: _____ Checker: _____

E1
 ELECTRICAL - PLANS AND ELEVATIONS



TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Address: Lot 628-H
Mountain Village, CO 81435

Architect: Alpenglow Design/Bercovitz Design

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The address monument shall be minimum 4'6" from grade to the bottom of the address numbers. Address numbers shall be 6" in height, reflective coated or outlined with a reflective coating.



AGENDA ITEM 10
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Senior Planner

FOR: Design Review Board Public Hearing; May 6, 2021

DATE: April 27, 2021

RE: Consideration of a Design Review: Initial Architecture and Site Review for a new Single-Family home on Lot 165 - Unit 7, 170 Cortina Drive, pursuant to CDC Section 17.4.11.

Project Overview

PROJECT GEOGRAPHY

Legal Description: UNIT 7 CORTINA LAND CONDOMINIUMS ACC TO THE MAP OF THE CORTINA LAND CONDOMINIUMS A COLORADO COMMON INTEREST COMMUNITY LOT 165 TOWN OF MOUNTAIN VILLAGE REC NOV 30 2004 PL 1 PG 3400 THRU 3401 AND ALSO ACC TO THE DECLARATION REC NOV 30 2004 AT REC NO 370697

Address: 170 Cortina Drive
Applicant/Agent: Jamie Daugaard, Centre Sky Architecture
Owner: Silver Glade Development Company
Zoning: Multi-Family
Existing Use: Vacant
Proposed Use: Detached Condominium
Lot Size: 0.42 Acres

Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Multi-Family

ATTACHMENTS

- Exhibit A: Application
- Exhibit B: Plan Set
- Exhibit C: Staff Referral Comments



Figure 1: Vicinity Map

Case Summary: Jamie Daugaard of Centre Sky Architecture (Applicant), working on behalf of the Silver Glade Development Company (Owner), is requesting the Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family detached condominium at Lot 165, Unit 7 – 170 Cortina Drive. The Lot is approximately 0.42 acres and is zoned Multi-Family (Detached Condominium) with the overall square footage of the home being approximately 7,962 gross square feet. The applicant has provided all the required materials for the IASR for the proposed home.

History and Existing Conditions: Lot 165-7 is located within the Cortina Land Condominiums (Cortina) along San Joaquin Road between the existing Cassidy Ridge and Winterleaf developments. When approved, a total of 22 Condominium Units and 3 Parcels (A, B, and C) originally designated as a General Common Element of the land condos were approved by the Town. Subsequent to the creation of the common interest community, Units 18 and 19 were replatted into Unit 18R to allow for the development of a Multi-family project. This replat also affected Units 17R, 18R, 20, and Parcel A (later identified as Unit 23). The remainder of the Lots within Cortina are designated for single-family detached homes. A large number of the Units within Cortina face topographical issues such as steep forested slopes with difficult access.

Unit 7 is entirely forested and contains slopes over 30%. Units 5 and 6 were originally accessed by a driveway easement established when Cortina was created. This easement was later modified and expanded to allow additional access for Units 7 and 8. The units at Cortina do not have General Easements, but they do have established building envelopes and in some cases pedestrian/skier easements.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable)	39.79'
Maximum Avg. Building Height	35' (gable)	33.12'
Maximum Lot Coverage	40% Maximum	32.6%
General Easement Setbacks	16 Foot Setback (No GE)	See Section 17.3.14 Below
Roof Pitch		
Primary		5½:12
Secondary		6:12, 1:12, 2:12
Exterior Material**		
Stone	35% minimum	37%
Windows/Doors	40% maximum	28%
Parking	2 spaces	2

Design Review Board Specific Approval:

- 1) Setback Encroachment

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a mixture of primary gabled roof forms and is limited by a maximum building height of 40 feet. The maximum average height must be at or below 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Based on the heights provided as part of the submittal documents, the maximum building height as proposed is 39.79 feet from the highest ridge to the grade below and the maximum average building height is shown at 33.12 feet. As part of the height analysis, the applicant has provided a parallel plane analysis demonstrating that no portion of the home penetrates the 40-foot parallel slope height allowance for gabled roof forms. The design does well in its incorporation of stepped massing as the topography of the site slopes down to the north and west. If the DRB concurs with the staff's height analysis, then there shall be a condition of approval that shall require a height survey to occur prior to framing inspections in order to demonstrate compliance with maximum heights.

17.3.14: General Easement Setbacks

Lot 165 Unit 7 does not have a General Easement and is instead burdened by a sixteen (16) foot setback that surrounds its building envelope. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Driveways, Ski Access, Utilities, Address Monuments, and Fire Mitigation.

Staff: The proposal includes setback encroachments that fall into the above category of permitted setback development activity including the following:

- *Driveway: The front setback of the lot is encumbered by a driveway easement for Units 7 and 8. A small portion of Unit 7's setback does contain a portion of the driveway to be exclusively used by Unit 7.*
- *Utilities: Utilities will be required to cross the front setback area due to existing locations of Sewer, Water, and Shallow Utilities located in Cortina Drive as shown on the Utility Plan. It should be noted that the existing cable and electric boxes will be required to be lowered approximately 2 feet.*
- *Fire Mitigation: The applicant will be required to provide tree removal for fire mitigation in the Setback. This will be discussed in more detail within the environmental standards section below.*

In addition to the above, the proposal also includes setback encroachments that do not fall into the above category of permitted setback development activity:

- *Drainage: On page C1-01, the civil drawings show a small portion of a trench drain that crosses the setback area. It appears that this encroachment is below grade.*

- *Landscaping: Due to the steepness of the lot, the applicant has proposed some grading to occur within the setbacks surrounding the home. Although not currently shown, staff is anticipating additional landscaping to occur in the setback areas which will assumably require irrigation to also be located within the setbacks.*

It should be noted that regardless of the encroachment, the DRB can waive the GE setback or other setbacks and allow for prohibited activities if it is determined that the applicant has demonstrated hardship and mitigated off-site impacts. Any home with foundation walls within 5' of the GE or setback will require a footer survey prior to pouring concrete to ensure there are no additional encroachments into the setback area.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The CDC provides design theme characteristics that attempt to link existing and new architecture throughout the Mountain Village. The home at Unit 7 can be categorized as a contemporary mountain modern design, incorporating gabled roof forms, and stepped architectural massing with traditional materials such as stone, metal, wood, and timber accents. The applicant appears to address compliance with these provisions through the building's location, mature tree preservation, building materials, and overall form.

It appears based on the applicant's submittal that the material palette for the project blends well with both the surrounding Cortina community, as well as the overall modern mountain vernacular.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: Lot 165, Unit 7 is 0.42-acres and slopes from a high point along Cortina Drive down to a benched area towards the middle of the unit before beginning to slope steeply towards Lot SS 165AB-R (Cassidy Ridge). As shown in the attached survey work, a large portion of the unit consists of slopes greater than 30%, and in order to develop the site, it appears impossible to not disturb some of these areas. With that, staff believes that the applicant has located the home in what appears to be the most logical location of the site – the flat bench area outside of these steep slopes. The stepped massing of the home along with existing mature landscaping help to blend the home into the existing landforms and vegetation as required by the CDC.

17.5.6: Building Design

Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. In order to accomplish this, the

applicant is proposing a horizontal rectangular cut 2" Winsor Stone Veneer that generally surrounds the foundation of the home. Metal and Timber accents link the strong stone base vertically with the gabled roof forms in a way that complement the home well. The design calls for horizontal 2x10" shiplap wood siding with a driftwood color similar to the stone in the renderings, but that contrasts with the metal and roof elements of the home.

A prominent feature of the home is the outdoor living spaces to the rear of the Unit on both the main floor and upper levels. These spaces allow the occupants to enjoy views to the north but do not appear to overpower the form of the home. It will be important that the lighting in these areas when presented at a future hearing allows for realistic use of this outdoor space but does not overpower adjacent properties through light trespass.

The home's exterior palette as shown in the materials sheet of the submission appears to blend well, providing some contrast between the stone, metal, and wood. The garage door material has not been specified in the plan set but appears in the renderings to be light panels with a dark base and frame. Prior to final, the applicant shall provide additional details on the garage door materials. The applicant is proposing a zinc standing seam roof which is a permitted roof type in the CDC.

The applicant's plans have references to snowmelt, but specific areas have not been delineated. It is anticipated that this home will have exterior snowmelt and prior to the final review, the applicant shall revise these plans to detail areas of exterior snowmelt and the associated square footages.

17.5.7: Grading and Drainage Design

Staff: The applicant has provided a grading and drainage plan provided by Alpine Land Consulting, LLC. The proposal provides positive drainage for the residence as well as delineating disturbed areas including the driveway and areas surrounding the home. As required by the CDC, all disturbed areas are to have final grades of 2:1 or less, and these criteria appear to be met. Due to the steepness of the site, most areas surrounding the home will be disturbed and require grading. On-Page C1-01, the plans demonstrate this, but also show grading to occur off-site at Unit 6. This shall be revised to demonstrate that the construction of Unit 7 does not encroach on the Unit 6 property boundaries. In areas where drainage swales are created to direct run-off, erosion-control blankets shall be used to slow the velocity of run-off, decrease erosion and promote quick revegetation.

17.5.8: Parking Regulations

Staff: The CDC requires all detached condominium developments to provide two parking spaces. The applicant is currently showing two exterior spaces on their plan which are not required as part of the CDC. Staff requests that this be revised and that exterior parking be removed from the Plans which would eliminate any required tandem parking request.

17.5.9: Landscaping Regulations

The applicant has provided not provided a landscaping plan at this time but will be required to provide this information prior to final review. As such, this plan shall address the Forestry provisions of the CDC concerning Wildfire Mitigation Zones. Landscaping at Unit 7 will be important as there will be a balance necessary between providing fire protection and maintaining existing mature landscaping to screen any adjacent uses. Staff recommends working with the Town Forester on this component of the Landscaping and Fire Mitigation Plans.

17.5.11: Utilities

Staff: All utilities are currently located within proximity to the home. The applicant shall work with the Public Works Director before the final review to verify the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research.

17.5.12: Lighting Regulations

Staff: The applicant has not provided a lighting plan at this time but will be required to do so prior to submittal for final review. This shall include locations, cut sheets, and photometric studies of the exterior fixtures.

17.5.13: Sign Regulations

Staff: The applicant has provided some schematics for the address monument but the following items should be updated prior to final review.

- 1. Dimensions – add dimensions for the heights of the monument and numbering from adjacent finished grade. The monument shall be no larger than 6 feet, and the bottom of the numbers shall be at least 54” from the ground.*
- 2. The numbering must be downlit. Staff does not believe a cutout number meets this criterion.*

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: Staff is requesting that the applicant works with the Town Forester to better understand the fire mitigation on this site. Staff does not recommend waiving the requirements for mitigation but understands the sensitivity of the site as it relates to view impacts.

Steep Slopes: Due to the unique location and topography of the site, staff believes that the applicant has worked to provide logical siting for the residence. Due to the extent of slopes over 30%, the design of the house at the top of the property is logical. The grading plan minimizes disturbance to steep slope areas by retaining walls. A Colorado PE has designed the civil plans for the development of the Site.

17.6.6: Roads and Driveway Standards

Staff: Because of the location of the home and the nature of the shared drive for Units 6, 7, and 8 – the actual driveway area for Unit 7 is quite small. It would be helpful to better understand the grades of this driveway prior to final review. The widths as proposed meet the requirements of the CDC. It does not appear that there are any retaining walls associated with the driveway based on the grading plans provided.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include fireplaces and these are gas burning fixtures as required.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The applicant has not submitted a Construction Mitigation Plan as part of the IASR. Although not required for initial, there are a number of staff concerns at the site as it relates to construction mitigation for Unit 7 and the adjacent homes in Cortina. Any future CMP should be addressed in phases as the initial site work will prohibit things like parking and staging from occurring on Unit 7. The contractor will be instructed to fence the site and any soil and or trees not to be removed will need to be protected throughout the project.

PROPOSED MOTIONS

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Staff Recommendation: Staff recommends the DRB approve the Initial Architectural and Site Review for Lot 165, Unit 7, 170 Cortina Drive.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new detached condominium located at Lots 165, Unit 7 based on the evidence provided within the Staff Report of record dated April 27, 2021, with the following Specific Approvals:

Design Review Board Specific Approvals:

- 1) Setback Encroachments as documented within this Memo.

And with the following conditions:

- 1) Prior to the Final Architecture Review, the applicant shall provide details on the garage door materials.
- 2) Prior to the Final Architecture Review, the applicant shall demonstrate all exterior areas of snowmelt.
- 3) Prior to the Final Architecture Review, the applicant shall demonstrate that all pedestrian areas and decks are shielded from snow with roof fencing.
- 4) Prior to the Final Architecture Review, the applicant shall update the Civil Grading Plans as documented in this memo, to include a profile view of driveway grade.
- 5) Prior to the Final Architecture Review, the applicant shall update the proposed address monument as documented in this memo.
- 6) Prior to the Final Architecture Review, the applicant shall coordinate with the Town Forester on the Landscaping and Fire Mitigation Plan.
- 7) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 8) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 9) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 10) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.

- 11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 12) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials

/jjm

CENTRE SKY
ARCHITECTURE LTD

10125 RANCHO MONTECITO DRIVE
PARKER COLORADO 80138
303.840.0020
303.840.2299 F



11 LONE PEAK DR #206; BOX 161488
BIG SKY MONTANA 59716
406.995.7572
406.995.7477 F

T7 Project Narrative:

Located in Mountain Village, Unit 7 is a down sloping site off of Cortina Drive. The lot is accessed through a driveway easement across unit 6. The lot is heavily covered with fir, spruce and aspen trees. Unit 7 has views of Mountain Village, and various peaks to the north/north east. Unit 7 is a ski in ski out lot.

The proposed mountain modern design for Unit 7 will be finished with an exterior material palette that includes horizontal grey wood siding, a linear stone layup, zinc metal paneling, black window frames, and a grey zinc standing seam roof. Public spaces of the Great Room and Grand Patio are pushed to the North side of the site to take advantage of views. The Great Room, Grand Patio, Dining room, and Lower patio are oriented to enjoy the summer sunset views to the west. The ski room is located on the lowest level, providing ski in, ski out access to the west. The garage is located closest to Cortina to allow for a functional access to the home. A lower level includes bedrooms, ski room, and family room that opens to the west & overlooks the lower level patio. An upper level master suite takes advantage of the higher viewpoint with a large expanse of glazing that provides endless views to the north.

Sincerely,

A handwritten signature in black ink that reads "J. Dugaard". The signature is fluid and cursive, with a long horizontal stroke at the end.

Jamie Dugaard, AIA, NCARB, LEED ap

Principal Architect-Centre Sky Architecture

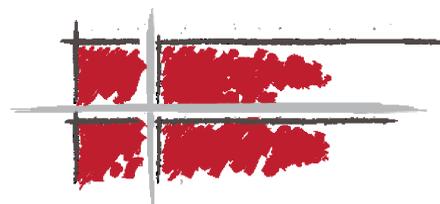
TELLURIDE #7

MOUNTAIN VILLAGE, CO 81435



T7

NOTE:
RENDERINGS MAY DIFFER FROM CONSTRUCTION PLANS.
CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.



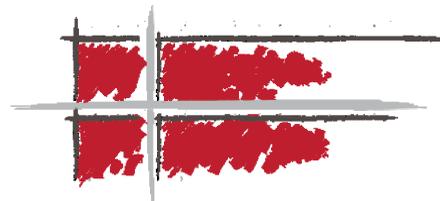
CENTRE SKY
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ISSUE # _____



T7

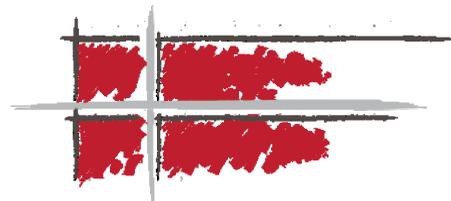
NOTE:
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NOTE:
RENDERINGS MAY DIFFER FROM CONSTRUCTION PLANS.
CONSTRUCTION PLANS ARE DEEMED TO BE ACCURATE.



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TELLURIDE #7

MOUNTAIN VILLAGE, CO 81435

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ARCHITECTURE, LTD.
ARCHITECTURE
&
PLANNING

FINBRO CONSTRUCTION

CENTRE SKY ARCHITECTURE, LTD.

CENTRE SKY ARCHITECTURE, LTD.

11 Lone Peak Dr. #206
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Big Sky, MT. 59716
Phone: (406) 995-7572 Fax: (406) 995-7477
E-mail: sara@centresky.com
Website: www.centresky.com

10125 Rancho Montecito Drive
Parker, CO. 80138
Phone: (303) 840-0020 Fax: (303) 840-2299

ARCHITECTURE

MICHAEL TALBOTT

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Cell: (502) 415-2280
E-mail: mtalbott1@gmail.com

CLIENT

FINBRO CONSTRUCTION

70 Pilot Knob Lane
Telluride, CO 81435

GENERAL
CONTRACTOR

KL&A

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Carbondale, CO 81623
Phone: (970) 927-5174
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STRUCTURAL
ENGINEER

LUX WEST PROPERTIES

Bruce McIntyre
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E-mail: brucecm@luxwest.com

CLIENT
REPRESENTATIVE

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Phone: (970) 708-0326
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Website: alpinelandconsulting.com

CIVIL ENGINEER

TRAUTNER GEOTECH

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Cortez, CO
Jonathan Butler, P.E.
Mobile: (970) 759-3113

GEOTECHNICAL
ENGINEER

LUX WEST INTERIORS

327 E Colorado Ave.
P.O. Box 1552
Telluride, CO 81435
Phone: (970) 728-8238
E-mail: barbara@luxwest.com

INTERIOR
DESIGN

INITIAL DRB SUBMITTAL

APRIL 6, 2021

CODE ANALYSIS

ZONING: R-1
OCCUPANCY: TYPE V NON RATED
CONSTRUCTION TYPE: ALLOWABLE FLOOR AREA
FIRE SUPPRESSION: REQUIRED - NFPA 13D
IRRIGATION: RECOMMENDED
BEARING & NON-BEARING EXTERIOR WALLS: NON RATED
INTERIOR BEARING WALLS: NON RATED
STRUCTURAL FRAME: NON RATED

BUILDING DEPT. PHONE: 10125 Rancho Montecito Drive Parker, CO. 80138
CODE JURISDICTION: 10125 Rancho Montecito Drive Parker, CO. 80138
STATE OF COLORADO - SAN MIGUEL COUNTY (970)728-3923
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 FUEL GAS CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2020 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL FIRE CODE
TOWN OF MOUNTAIN VILLAGE & SAN MIGUEL COUNTY PRESCRIPTIVE ENERGY CODE & GREEN BUILDING STANDARDS

SHAFT ENCLOSURES: NONE
ROOF/ROOF CEILING: CLASS A ROOF CONSTRUCTION REQUIRED

ZONING DISTRICT	LOT COVERAGE	MAXIMUM BUILDING HEIGHT	AVERAGE BUILDING HEIGHT	PARKING SPACES
REQUIRED	< 60% OF LOT	40' - 0" (GABLE)	35' - 0" (GABLE)	2
ACTUAL	32.6%	39.78'	33.12' (GABLE)	2

AREA ANALYSIS

DEFINITIONS:
SQUARE FOOT: LIVABLE FLOOR AREA AS MEASURED FROM EXTERIOR FACE OF STUD OR FACE OF CONCRETE WALL, INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES); DOES NOT INCLUDE INTERFACE BUMP-OUTS, MECHANICAL SPACES, GARAGE SPACES, AND UNFINISHED BASEMENT AND/OR ATTIC SPACE.

GROSS SQUARE FOOT: TOTAL BUILDING AREA AS MEASURED FROM EXTERIOR DIMENSIONS INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES), MECHANICAL SPACES, GARAGE SPACES, AND ACCESSIBLE UNFINISHED SPACE; DOES NOT INCLUDE CRAWL SPACES, PATIOS AND DECKS.

PROJECT SQUARE FOOTAGE		EXTERIOR SQUARE FOOTAGE	
NAME	AREA	NAME	AREA
LOWER LEVEL	3191.5 SF	LOWER LEVEL PATIO	1441.4 SF
MAIN LEVEL	2612.1 SF	ENTRY PATIO	154.7 SF
UPPER LEVEL	1139.9 SF	MAIN LEVEL PATIO	1139.5 SF
HABITABLE	6943.4 SF	MECHANICAL	381.8 SF
		GARAGE	637.0 SF
		NON HABITABLE	1018.8 SF
		GROSS SQUARE FOOT	7962.2 SF

SITE INFORMATION

POWER: SAN MIGUEL POWER ASSOCIATION
1-888-864-7311
CITY: CITY
SOURCE GAS: (970) 728-6141

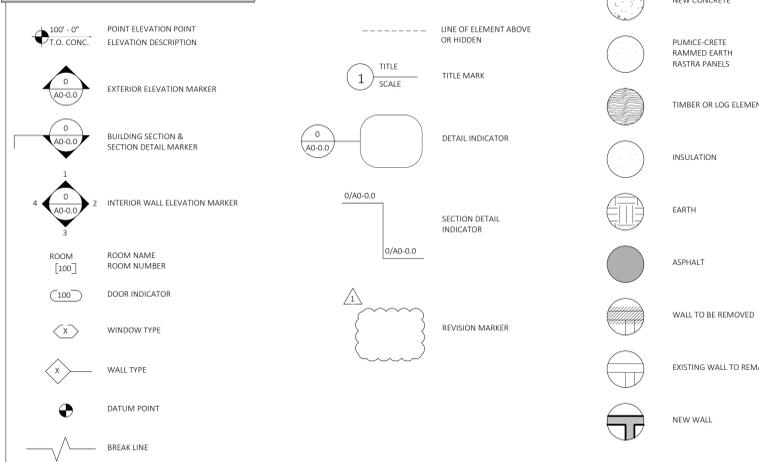
WATER: -
SEWER: -
GAS: -
TELEPHONE SERVICE: -
UNDERGROUND UTILITY LOCATE: 811
FIRE DEPT: TELLURIDE FIRE PROTECTION DISTRICT (970) 729-2611 CHIEF / INSPECTOR - J. CHEROSKE
FIRE DEPT. PHONE: 30 FEET IS RECOMMENDED
DEFENSIBLE SPACE: -

GEOTECHNICAL REPORT: TRAUTNER GEOTECH
COPIES AVAILABLE UPON REQUEST

DESIGN CRITERIA

BASIC WIND SPEED: 115 MPH 3 SEC. GUST - EXPOSURE C (VERIFY W/ STRUCTURAL ENG.)
SEISMIC DESIGN CATEGORY: "D" (VERIFY WITH STRUCTURAL ENG.)
FROST DEPTH: MINIMUM 48" BELOW FINISH GRADE
SNOW LOADS: ROOF: 145 PSF
GROUND: 180 PSF
(VERIFY WITH STRUCTURAL ENGINEER)
FOUNDATION STANDARD: REFER TO STRUCTURAL DRAWINGS, GENERAL NOTES & FOUNDATION DETAILS.

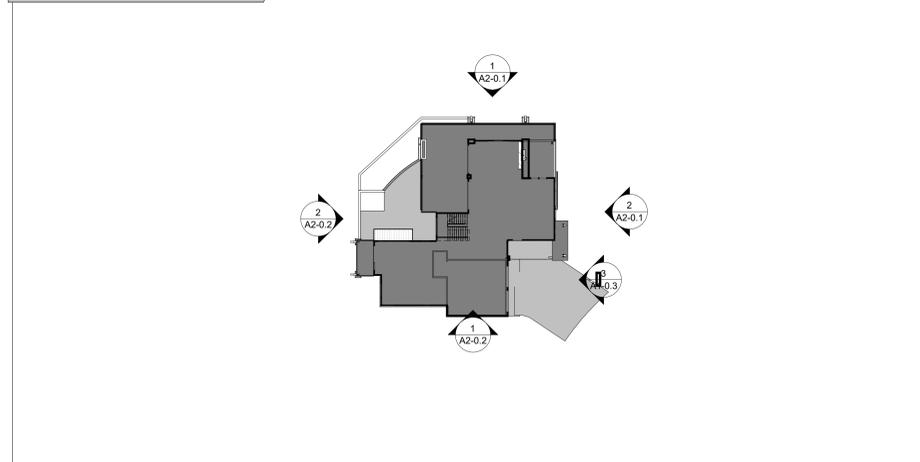
GRAPHIC SYMBOLS



ABBREVIATIONS

AB	anchor bolt	DWG	drawing	HT	height	PC	pumice-crete	STN	stone
ABV	above	DWR	drawer	HTG	heating	PERF	perforate	STIFF	stiffener
AAC	autoclaved aerated concrete	E	east, egress	HWD	hardwood	PERIM	perimeter	STD	storage
ADJ	adjacent	EA	each	HVAC	heat/ventilate/air condition	PL	plaster	STR	structural
AF	above finished floor	EAD	electric hand dryer	ID	inside diameter	PLAM	plastic laminate	SUSP	suspended
AGG	aggregate	EJ	expansion joint	INCL	include (d) (ing)	PLAS	plastic	SUSP	stacked ovens
ALUM	aluminum	EL	elevation	INSUL	insulate (d) (ion)	PLF	pounds per lineal feet	T	tread
ALT	alternate	ELEC	electric (al)	INT	interior	PLT	plate	TR	terra cotta
ARCH	architect (ural)	ELEM	elastomeric membrane	IRC	international residential code	PNT	panel (ed)	TEL	telephone
ASPH	asphalt	EQ	equal	IRV	invert	PR	pair	TO	top of
A/C	air conditioning	EQBT	equipment	JST	joist	PSF	pounds per square foot	TOC	top of concrete
AVG	average	EWAC	electric water cooler	JT	joint	PSI	pounds per square inch	TOS	top of steel
BD	board	EXIST	existing	KIT	kitchen	PTD	paper towel dispenser	TOW	top of wall
BLDG	building	EXT	exterior	KO	knockout	PTN	partition	TPD	toilet paper dispenser
BK	block	FC	faucet	L	length, angle	PVC	polyvinyl chloride	TR	trash compactor
BLKG	blocking	FD	floor drain	LAB	laboratory	PVT	pavement	TV	television
BO	bottom	FE	fire extinguisher	LAM	laminated (e)	PVM	plywood	TS	typical
BOF	bottom	FEC	fire extinguisher cabinet	LAV	lavatory	PWD	plywood	T&G	tone and groove
BR	bedroom	FF	factory finish	LB	pound	Q	quarry tile	TV	television
BRG	bearing	FFC	finished floor elevation	LF	lineal feet	QT	quarry tile	TR	trash compactor
BSMT	basement	FIN	finish	LL	live load	R	riser, radius	UBC	uniform building code
BUR	built up roofing	FLR	floor (ing)	LT	light	R/A	return air	UE	underground electric
		FLR	fluorescent	LWC	lightweight concrete	RB	rubber base	UL	underwriters laboratory
		FND	feminine napkin dispenser	MAS	masonry	RC	refrigerator	UNO	unless noted otherwise
		FNV	feminine napkin vendor	MATL	material (s)	RG	range	VCT	vinyl composition tile
		FOC	face of concrete	MAX	maximum	REG	register	VERT	vertical
		FOF	face of finish	MECH	mechanic (al)	REIN	reinforce (d) (ing)	VR	vapor retarder
		FOS	face of stud	MECH	mechanic (al)	REQD	required	W	west, wide, width
		FRM	framing	MTL	metal	REV	revision (s), revised	W/	with
		FRMG	framing	MFR	manufacture (r)	RFG	roofing	WC	watercloset
		FTG	fastening	MH	manhole	RM	room	WD	wood
		FUT	future	MIN	minimum	RO	rough opening	WID	window
		GAL	gauge, gauge	MISC	miscellaneous	RS	rough sawn	WF	wide flange
		GIB	gib	MISC	miscellaneous	RUB	rubber	WG	wire glass
		GIN	gypsum wall board	MISC	miscellaneous	RWB	refrigerator drawers	WI	wrought iron
		GYP	gypsum	MISC	miscellaneous	RV	refrigerator drawers	W/D	without
		HAS	headed anchor stud	MISC	miscellaneous	S	south	WP	waterproof (ing)
		HB	hose bibb	MISC	miscellaneous	SA	smoke alarm	WR	warming drawer
		HBD	hardboard	MISC	miscellaneous	S/A	supply air	WS	water supply
		HCP	handicap (ped)	MISC	miscellaneous	SAG	suspended acoustic grid	WWF	welded wire fabric
		HDR	header	MISC	miscellaneous	SC	solid core		
		HDW	hardware	MISC	miscellaneous	SCH	schedule		
		HDM	hollow metal	MISC	miscellaneous	SD	storm drain		
		HOR	horizontal	MISC	miscellaneous	SECT	section		
		HP	horsepower	MISC	miscellaneous	SHT	sheet		
				MISC	miscellaneous	SHT	sheathing		
				MISC	miscellaneous	SIM	similar		
				MISC	miscellaneous	SN	sink		
				MISC	miscellaneous	SPD	soap dispenser		
				MISC	miscellaneous	SPEC	specification		
				MISC	miscellaneous	SPR	speaker		
				MISC	miscellaneous	SQ	square		
				MISC	miscellaneous	SS	service sink		
				MISC	miscellaneous	ST	steel		
				MISC	miscellaneous	STD	standard		

KEY PLAN



VICINITY MAP

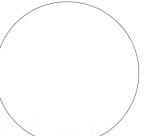


SHEET INDEX

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TELLURIDE #7
MOUNTAIN VILLAGE, CO 81435

NOT FOR
CONSTRUCTION



Issued For	Date
100% S.D.	03/19/2021
Pricing #	-
ARC Sketch Review	04/06/2021
100% D.D.	-
ARC Final Review	-
100% C.D.	-
REV. #	-

Drawn By S. D'AGOSTINO
Date 04/06/2021
Project # 2021.00
Phase DD
Sheet

A0-0.0
TITLE SHEET

MATERIAL SPECIFICATIONS

EXTERIOR MATERIALS LEGEND

NOTE: REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

	ZINC ROOFING STANDING SEAM, 2" MECH. RIB COLOR: QUARTZ - ZINC NOTE: ON SLOPES < 1/2"=12 MECH FASTENED
	HORIZONTAL WOOD SIDING 2x10 WD HORIZONTAL SHIP LAP COLOR: DRIFTWOOD MFR: VINTAGE WOODS RE:
	STONE MASONRY VENEER 2" RECTANGULAR CUT COLOR: WINDSOR MFR: QUARRY WORKS RE:
	METAL SIDING ZINC PANELS COLOR: QUARTZ ZINC MFR: TBD RE:

CEILING MATERIALS LEGEND

NOTE: REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIALS AND INSTALLATION REQUIREMENTS

	CEILING FINISH - PAINT 5/8" GWB TYPE 'X' WITH PAINTED FINISH REFERENCE INTERIOR FINISH SPECIFICATIONS FOR COLOR, (TYP.)
	SOFFIT FINISH - WOOD 1x8 WIRE BRUSHED SPRUCE T & G STAIN: DRIFTWOOD MFR: VINTAGE WOODS RE:
	CEILING FINISH - TILE COORDINATE TYPE AND LAYOUT WITH ID, (TYP.)
	CEILING FINISH - PAINT 5/8" WATER RESISTANT GYPSUM WALL BOARD REFERENCE INTERIOR FINISH SPECIFICATIONS FOR COLOR, (TYP.)

EXTERIOR MATERIAL QUANTITIES

MATERIAL	ELEVATION (SF/%)				TOTAL
	NORTH	EAST	SOUTH	WEST	
STONE	924/34	714/39	634/35	1174/38	3,446/37
METAL	520/19	257/14	267/15	387/13	1,431/15
WOOD	345/13	320/17	712/39	541/18	1,918/20
FENESTRATION	930/34	540/30	202/11	927/31	2,599/28

ALL SAMPLES TO BE SUBMITTED TO ARCHITECT FOR FINAL APPROVAL

MATERIAL BOARD



R1

WOOD TYPE A
TIMBER BEAMS & POSTS



S1



S2



C2

WINDOWS

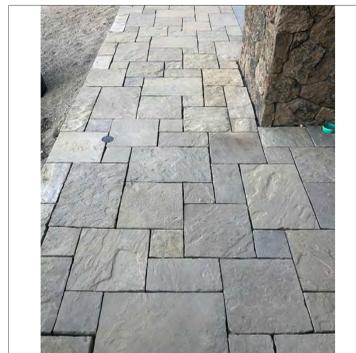
RE: WINDOW SCHEDULE FOR SUPPLIER & DETAILS



WOOD TYPE B
FASCIA

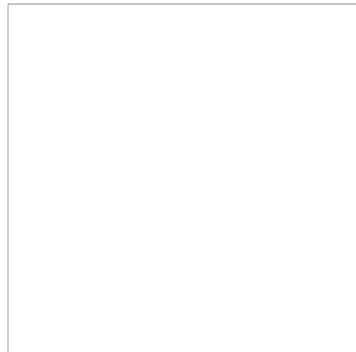


S3



STONE TYPE C

EXTERIOR PATIO FLAGSTONE



STONE TYPE D

EXTERIOR BOULDERS

MATERIAL TYPE SCHEDULE

SCHEDULE	MATERIAL	APPLICATION	MFR.	SPECIES/TYPE	TEXTURE	COLOR/FINISH	COMMENTS
TYPE 'A'	FLASHING	T.B.D.	-	-	-	MATCH #1	-
TYPE 'B'	EXPOSED STRUCTURAL STEEL	T.B.D.	-	PER STRUCTURAL	-	PAINTED BLACK	-
TYPE 'C'	DECORATIVE	T.B.D.	-	-	-	PAINTED BLACK	-
TYPE 'D'	WALL PANELING	T.B.D.	-	ZINC	-	QUARTZ ZINC	-
WOOD							
TYPE 'A'	TIMBER BEAMS & POSTS	VINTAGE WOODS	NEW DOUGLAS FIR	WIRE BRUSHED	LIGHT TOBACCO BROWN	-	UPPER FASCIA TO BE METAL TYPE A
TYPE 'B'	FASCIA	VINTAGE WOODS	CEDAR	WIRE BRUSHED	LIGHT TOBACCO BROWN	-	EXTERIOR TRIM TO BE METAL TYPE A
TYPE 'C'	EXTERIOR TRIM	-	-	-	-	-	-
TYPE 'D'	INTERIOR TRIM	T.B.D.	SPRUCE	SMOOTH	T.B.D.	-	-
STONE							
TYPE 'A'	PRIMARY WALL VENEER	QUARRY WORKS	WINDSOR	-	-	GREY	-
TYPE 'B'	CAP STONE	QUARRY WORKS	WINDSOR	-	-	GREY	-
TYPE 'C'	EXTERIOR PATIO FLAGSTONE	QUARRY WORKS	FRONTIER	-	-	TANS	-
TYPE 'D'	EXTERIOR BOULDERS	QUARRY WORKS	WINDSOR	-	-	GREY	-

NOTE: ALL CUT ENDS, MITERS, & CORNERS TO BE SEALED W/ MFR RECOMMENDED SEALANT/STAIN
 • COORD. W/ MFR FOR ADDITIONAL TOUCH UP STAIN
 • COORD. W/ MFR ON TOUCH UP APPLICATIONS AND TREATMENTS

INSULATION SPECIFICATIONS

INSULATION SCHEDULE - PROJECT SPECIFIC				
CAVITY	R - VALUE		PROJECT SPECIFIC	
	MINIMUM	PROJECT SPECIFIC		
ROOFS OVER HEATED SPACES	R-49	R-51	8.5" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
EXTERIOR WALLS	R-20	R-24	4" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
INTERIOR WALLS	-	R-15	RECOMMENDED 4" BLOWN IN CELLULOSE - DAMP SPRAYED OR EQUIVALENT ROCK WOOL BATT INSULATION	
FLOORS OVER UNHEATED SPACES	R-30	R-36	6" MIN. OF SPRAY APPLIED POLYURETHANE INSULATION	
FLOORS OVER HEATED SPACES	-	-	3.5" MINERAL FIBER BATT INSULATION IN FLOORS OVER HEATED SPACES FOR SOUND INSULATION	
BASEMENT WALL	R-15/19	R-19	R-19 BATT INSULATION - WHERE STUD BAY EXISTS 3.5"-2" POLYURETHANE TAPER ELSEWHERE	
CRAWL SPACE	LID	R-20	R-24	4" SPRAY POLYURETHANE INSULATION OR EQ.
	WALL	R-15/19	R-21	3.5" SPRAY POLYURETHANE
UNDER CONC. SLAB	R-10/13	R-14	2" OF DOW 'STYROFOAM BRAND SM' INSULATION	
EXTERIOR RAKES & EAVES	-	R-18	ALL EXTERIOR EAVES AND RAKES TO RECEIVE MIN. OF 3" (MEASURED FROM EXT SIDE OF STUD WALL) BLOWN IN POLYURETHANE INSULATION UNLESS NOTED OTHERWISE.	

NOTES:
 1. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 4" SPRAY APPLIED POLYURETHANE INSULATION AT EXTERIOR WALLS WITH AN R-11 MINERAL FIBER BATT OVER TOP OF 2" SPRAY APPLIED POLYURETHANE INSULATION.
 2. ARCHITECTS RECOMMENDATION FOR BASEMENT FURRING WALLS TO RECEIVE 3.5" BLOWN IN POLYURETHANE INSULATION IN PLACE OF R-19 BATT.
 3. DEDUCT ALTERNATE AS APPROVED BY ARCHITECT TO REPLACE 2" NCI SPRAY APPLIED POLYURETHANE INSULATION UNDER CONCRETE SLAB WITH 2" POLY-ISOCYANURATE RIGID FOAM INSULATION.
 4. GENERAL CONTRACTOR TO PROVIDE COST COMPARISON FOR BLOWN-IN WET CELLULOSE PRODUCT TO REPLACE BATT INSULATION IN EXTERIOR WALLS AND FLOORS.
 5. THERMAL IMAGING TEST SHALL BE PERFORMED AND REPORT SUBMITTED TO OWNER AND ARCHITECT.
 6. AT A MINIMUM, ALL INTERIOR WALLS SEPARATING BEDROOMS AND/OR BATHROOMS SHALL BE INSULATED AS SPECIFIED ABOVE. IT IS STRONGLY RECOMMENDED THAT ALL INTERIOR WALLS BE INSULATED.
 7. FOAM INSULATING SEALANT AT ALL WINDOWS AND DOORS.
 8. INSULATION REQUIRED AT ALL HEADERS UNLESS HEADER FILLS CAVITY

AV SYSTEMS

ENVIRONMENTAL SECURITY	YES
WATER - LOW TEMP/FREEZE - WATER COP -	YES
SECURITY LIFE SAFETY & INTRUSION	YES
CO - HEAT - SMOKE - GAS -	YES
DOORS - MOTION - SIRENS & STROBE -	YES
SEPTIC ALARM -	YES
ACCESS CONTROL - SECURITY CAMERAS - HOME AUTOMATION - BUILT - IN SPEAKERS - TV/DISPLAYS - GAMING SYSTEM - THEATER/MEDIA RM - EXTERIOR AUDIO/VIDEO - LIGHTING CONTROL - AUTOMATED SHADES -	YES
CEILING INTEGRATED - WALL INTEGRATED - SURFACE MOUNT -	YES
NETWORK / DATA SYSTEM -	YES
GARAGE DOOR AUTOMATIC CLOSE TIMER -	YES

MECH. SYSTEMS

FORCED AIR HEATING SYSTEM - RADIANT HEAT - IN GARAGE	-
HEAT RECOVERY VENTILATION SYSTEM - HUMIDIFIER UNIT	-
FORCED AIR COOLING - VISIBLE THERMOSTAT - REMOTE THERMOSTAT -	-
WATER FILTRATION - WATER SOFTENER - REVERSE OSMOSIS -	-
OXYGEN - BACK UP POWER - BATTERY GENERATOR	-
ACTIVE RADON MITIGATION - PROPANE - SNOW MELT -	YES
CRAWLSPACE EXHAUST FAN - PROPANE DETECTION SYSTEM - GARAGE EXHAUST FAN - BATHROOM EXHAUST FANS - KITCHEN MAKE UP AIR SYSTEM - GARAGE UNIT HEATER - DOMESTIC HOT WATER RECIRCULATION PUMP -	-
TOILET	HEATED WALL MOUNTED SEAT CLEANING BIDET
	YES/NO

ELECTRICAL SPEC.

AUTOMATED LIGHTING SYSTEM	YES/NO
MOTION ACTIVATED LIGHTS	YES/NO
CLOSETS	YES/NO
PANTRY	YES/NO
ART LIGHTING	YES/NO
STAIR TREAD LIGHTING	YES/NO
CEILING FANS	YES/NO
CAR POWER CHARGING STATION	YES/NO
OUTLETS ABOVE FIREPLACE MANTELS	YES/NO
GENERATOR	YES/NO
CONFIRM EXT ELEC. OUTLET LOCATIONS	YES/NO
OUTLET STRIP BELOW CABINETS	YES
SMOKE DETECTOR	YES/NO
CARBON MONOXIDE DETECTOR	YES
TOILET REQUIRED POWER	YES/NO
BIDET	YES/NO
HEAT	YES/NO
HEATED TOWEL RACKS	YES/NO
EXT HEAT LAMPS	YES/NO
AUTOMATED WINDOW COVERINGS	YES/NO
BURIED CONDUIT BELOW DRIVEWAY	YES/NO
SOLAR LIGHT AT ADDRESS MONUMENT	YES/NO
BOOT DRYER	YES/NO
HOT TUB	YES/NO
USB PORTS	YES/NO
OUTLETS IN VANITY DRAWER	YES/NO
LIT MIRROR	YES/NO
FLOOR OUTLETS	YES/NO
BATTERY STORAGE	YES/NO
MOTORIZED WINDOWS	YES/NO

APPLIANCE SPEC.

COOK TOP	GAS	YES/NO
ELECTRIC	YES/NO	
NUMBER OF BURNERS	-	
RANGE	YES/NO	
DROP-IN	YES/NO	
FREESTANDING	YES/NO	
GAS	YES/NO	
ELECTRIC	YES/NO	
DUAL FUEL	YES/NO	
NUMBER OF BURNERS	-	
ADDITIONAL WALL OVEN	YES/NO	
SINGLE	YES/NO	
DOUBLE	YES/NO	
OVEN/MICROWAVE COMBO	YES/NO	
GAS	YES/NO	
ELECTRIC	YES/NO	
MANUFACTURER	-	
MICROWAVE OVEN	YES/NO	
FREESTANDING	YES/NO	
ABOVE	YES/NO	
BELOW	YES/NO	
WALL OVER UNIT	YES/NO	
MANUFACTURER	-	
DISHWASHER	YES/NO	
MANUFACTURER	-	
REFRIGERATOR/FREEZER	YES/NO	
SIDE BY SIDE DOORS	YES/NO	
ONE DOOR WITH FREEZER INT.	YES/NO	
TOP FREEZER	YES/NO	
BOTTOM FREEZER	YES/NO	
FREESTANDING	YES/NO	
BUILT INTO CABINET	YES/NO	
FRONT PANEL	-	
MANUFACTURER	-	
BEVERAGE CENTER/DRAWER	YES/NO	
ICE MAKER	YES/NO	
WARMING DRAWER	YES/NO	
TRASH COMPACTOR	YES/NO	
BAR MINI FRIDGE	YES/NO	
FREESTANDING	YES/NO	
BUILT INTO CABINET	YES/NO	
FRONT PANEL	-	
MANUFACTURER	-	
BAR ICE MAKER	YES/NO	
UNDER COUNTER	YES/NO	
OVER COUNTER	YES/NO	
FRONT PANEL	-	
MANUFACTURER	-	
BAR WINE CHILLER	YES/NO	
FREESTANDING	YES/NO	
BUILT INTO CABINET	YES/NO	
FRONT PANEL	-	
MANUFACTURER	-	
OUTDOOR BBQ	YES/NO	
GAS	YES/NO	
CHARCOAL	YES/NO	
FREESTANDING	YES/NO	
BUILT IN	YES/NO	
SIDE RANGES	YES/NO	
MANUFACTURER	YES/NO	
OUTDOOR MINI FRIDGE	YES/NO	
FREESTANDING	YES/NO	
BUILT INTO CABINET	YES/NO	
FRONT PANEL	-	
MANUFACTURER	-	
FRONT LOADER CLOTHES WASHER/DRYER	YES/NO	
MANUFACTURER	-	
TOP LOADER CLOTHES WASHER/DRYER	YES/NO	
MANUFACTURER	-	
MASTER LAUNDRY	YES/NO	
STACKED WASHER/DRYER	YES/NO	
OTHER APPLIANCES	-	

SUSTAINABLE SPEC.

PHOTO VOLTIC	YES/NO
SOLAR HOT WATER	YES/NO
WIND TURBINES	YES/NO
GEOTHERMAL	YES/NO
WASTE DIVERSION	YES/NO
LOW VOC INTERIOR PAINT	YES
BLOWER DOOR TEST	YES

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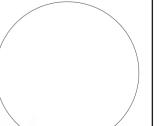
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A0-0.2
MATERIAL SPECIFICATIONS



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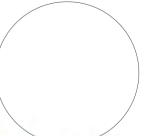
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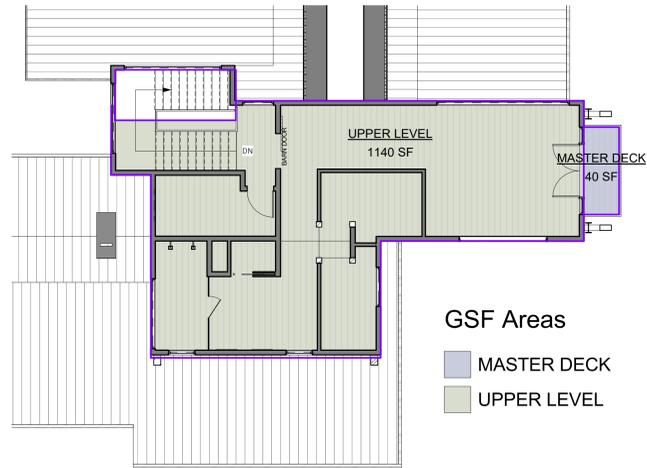
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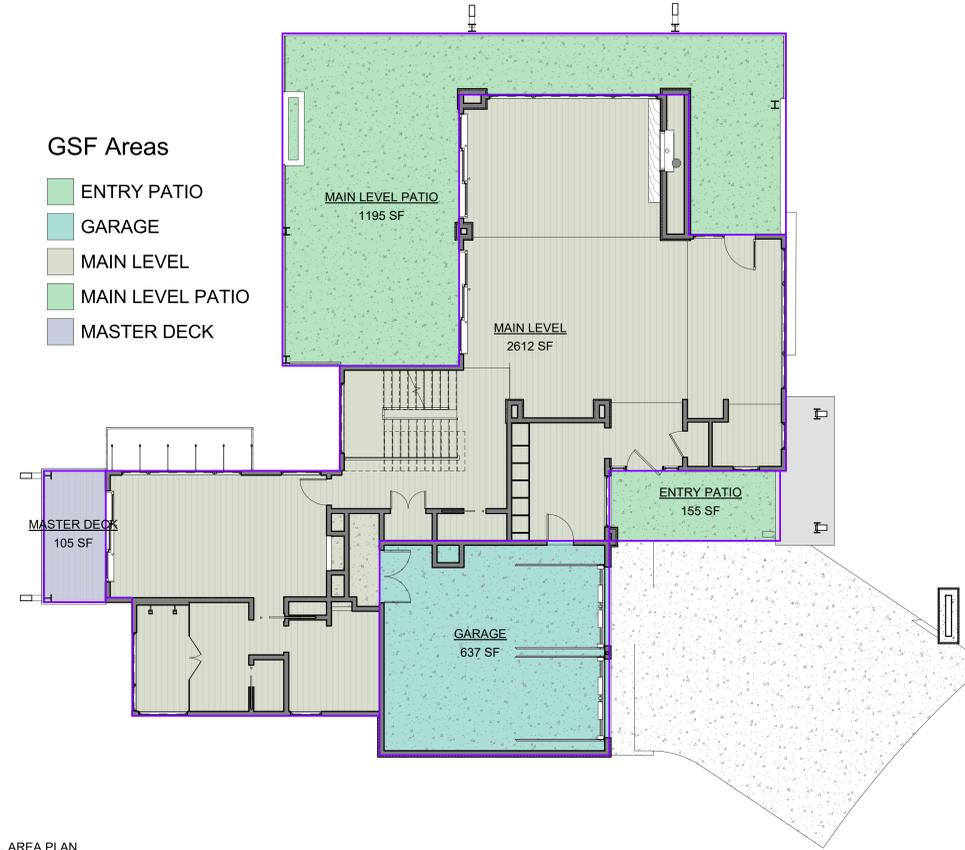
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A0-0.3
AREA PLANS



1 UPPER LEVEL AREA PLAN
1/8" = 1'-0"



2 MAIN LEVEL AREA PLAN
1/8" = 1'-0"



3 LOWER LEVEL AREA PLAN
1/8" = 1'-0"

AREA ANALYSIS

DEFINITIONS:

SQUARE FOOT: LIVABLE FLOOR AREA AS MEASURED FROM EXTERIOR FACE OF STUD OR FACE OF CONCRETE WALL, INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES); DOES NOT INCLUDE FIREPLACE BUMP-OUTS, MECHANICAL SPACES, GARAGE SPACES, AND UNFINISHED BASEMENT AND/OR ATTIC SPACE.

GROSS SQUARE FOOT: TOTAL BUILDING AREA AS MEASURED FROM EXTERIOR DIMENSIONS INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES), MECHANICAL SPACES, GARAGE SPACES, AND ACCESSIBLE UNFINISHED SPACE; DOES NOT INCLUDE CRAWL SPACES, PATIOS AND DECKS.

PROJECT SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL	3191.5 SF
MAIN LEVEL	2612.1 SF
UPPER LEVEL	1139.9 SF
HABITABLE	6943.4 SF
MECHANICAL	381.8 SF
GARAGE	637.0 SF
NON HABITABLE	1018.8 SF
GROSS SQUARE FOOT	7962.2 SF

EXTERIOR SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL PATIO	1441.4 SF
ENTRY PATIO	154.7 SF
MAIN LEVEL PATIO	1195.5 SF
MASTER DECK	105.0 SF
MASTER DECK	40.0 SF
TOTAL EXTERIOR	2936.6 SF



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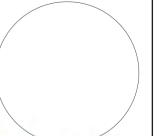
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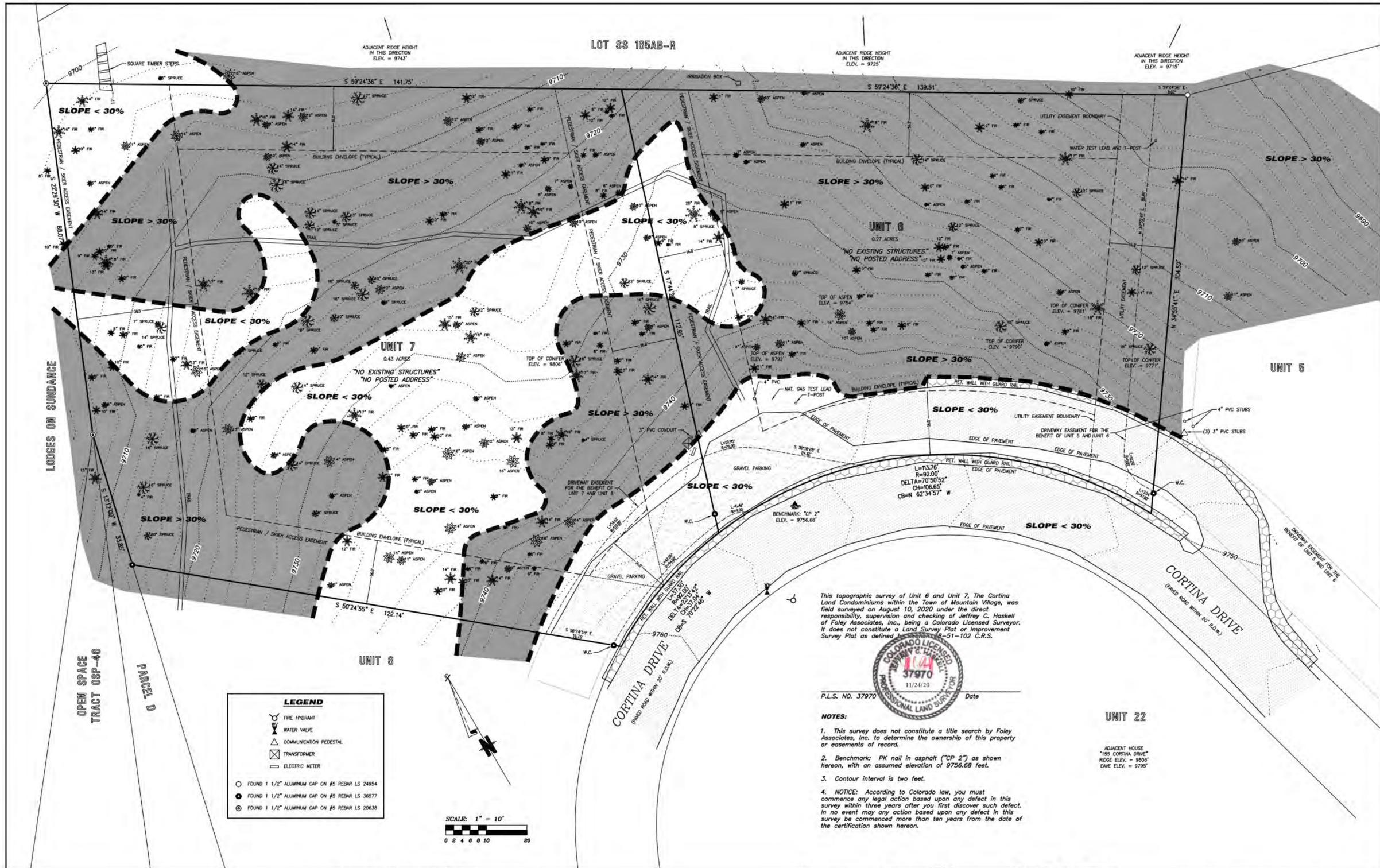
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C1-0.0
SURVEY



This topographic survey of Unit 6 and Unit 7, The Cortina Land Condominiums within the Town of Mountain Village, was field surveyed on August 10, 2020 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined in §§ 17-51-102 C.R.S.



P.L.S. NO. 37970 Date

- NOTES:**
- This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.
 - Benchmark: PK nail in asphalt ("CP 2") as shown hereon, with an assumed elevation of 9756.68 feet.
 - Contour interval is two feet.
 - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

TOPOGRAPHIC SURVEY
Unit 6 and Unit 7, The Cortina Land Condominiums, Town of Mountain Village
Located within Section 3, T. 42 N., R. 9 W., N.M.P.M., San Miguel County, Colorado

Project Mgr.	JH	Date	By
Technician	FO		
Technician			
Checked by	OC		
Start date	08 / 2020		



970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Sheet 1 of 1 Project #: 2021.00



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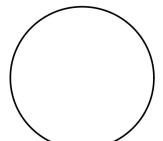
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 P.O. BOX 234
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 970-708-0326
 GREGOR@ALPINELANDCONSULTING.COM
 ALC PROJECT # 2020059

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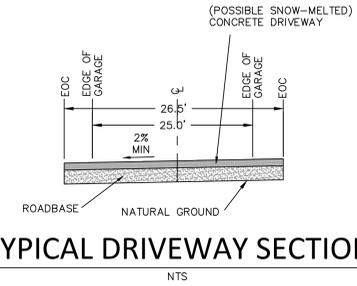
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C1-0.1
DRB GRADING

NOTES

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3. ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY FOLEY ASSOCIATES INC. DATED 08/2020 WITH A BENCHMARK BEING PK NAIL IN ASPHALT ("CP 2") WITH ASSUMED ELEVATION OF 9756.68 FEET. CONTACT JEFF HASKELL AT (970) 728-6153 FOR MORE BENCHMARK INFORMATION.
4. ALL RETAINING WALL HEIGHTS AREA FINISHED GRADE TO FINISHED GRADE (RETAINED HEIGHT) AND DO NOT INCLUDE FOUNDATIONS OR CAPS.
5. RETAINING WALLS WITH PEDESTRIAN ACCESS REQUIRE HARD RAILS FOR ALL RETAINED HEIGHT OVER 2.5' (SEE ARCHITECTURAL, STRUCTURAL, AND/OR LANDSCAPE PLANS).
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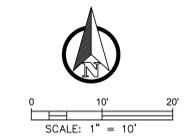
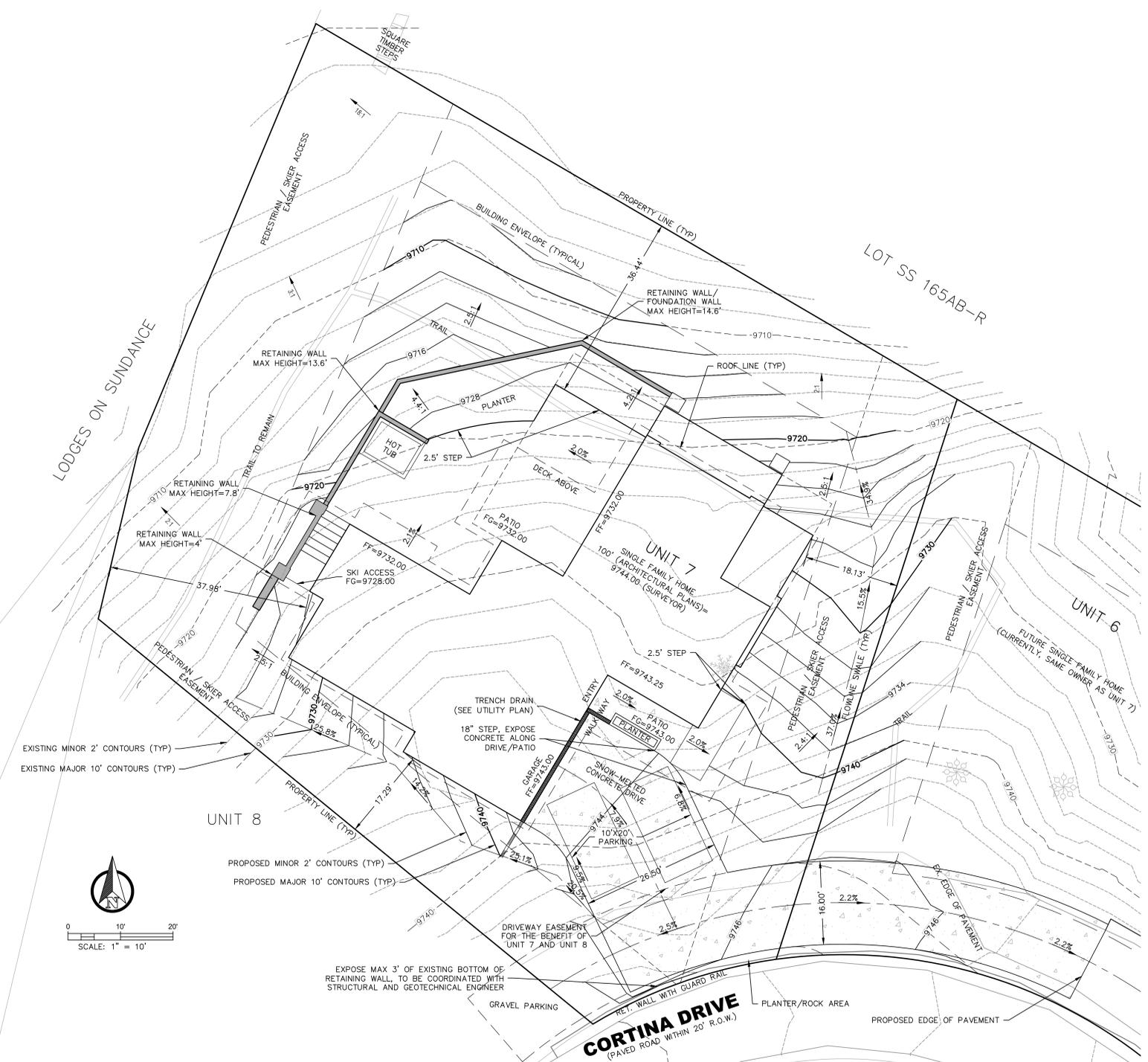
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GREGORY E. ANDERSON
 COLORADO PROFESSIONAL ENGINEER
 REGISTRATION NO. 35736



EXPOSE MAX 3' OF EXISTING BOTTOM OF
 RETAINING WALL, TO BE COORDINATED WITH
 STRUCTURAL AND GEOTECHNICAL ENGINEER

CORTINA DRIVE
 (PAVED ROAD WITHIN 20' R.O.W.)



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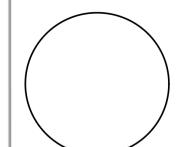
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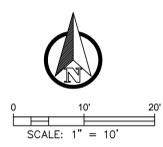
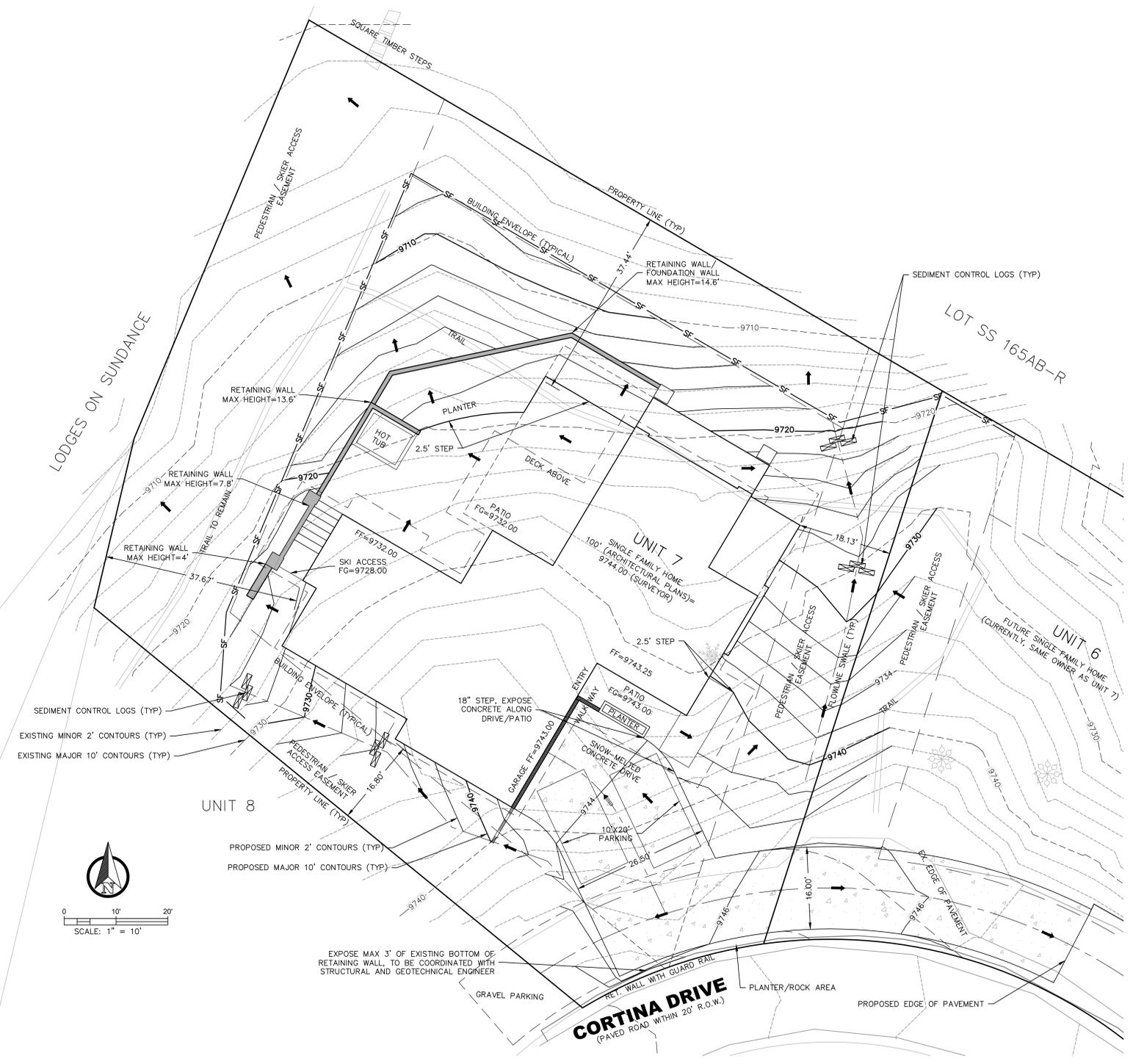
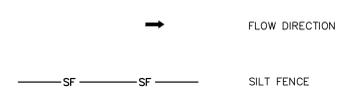
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C1-0.2
 DRB DRAINAGE

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LEGEND



PRELIMINARY DRB DRAINAGE AND EROSION CONTROL PLAN

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GREGORY E. ANDERSON
 COLORADO PROFESSIONAL ENGINEER
 REGISTRATION NO. 35736

CENTRE SKY
ARCHITECTURE, LTD.
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PLANNING

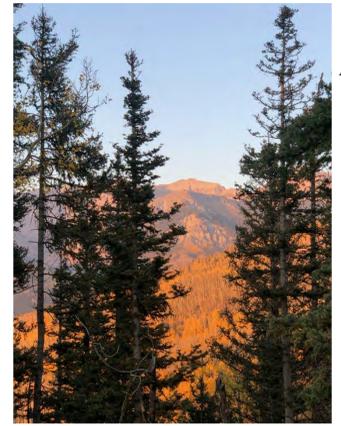


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DR. PARKER, COLORADO 80138
P 303.840.0020

MONTANA:
P.O. BOX 161488
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BIG SKY, MONTANA 59716
P 406.995.7572

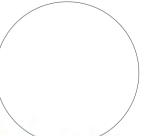
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TELLURIDE #7
MOUNTAIN VILLAGE, CO 81435

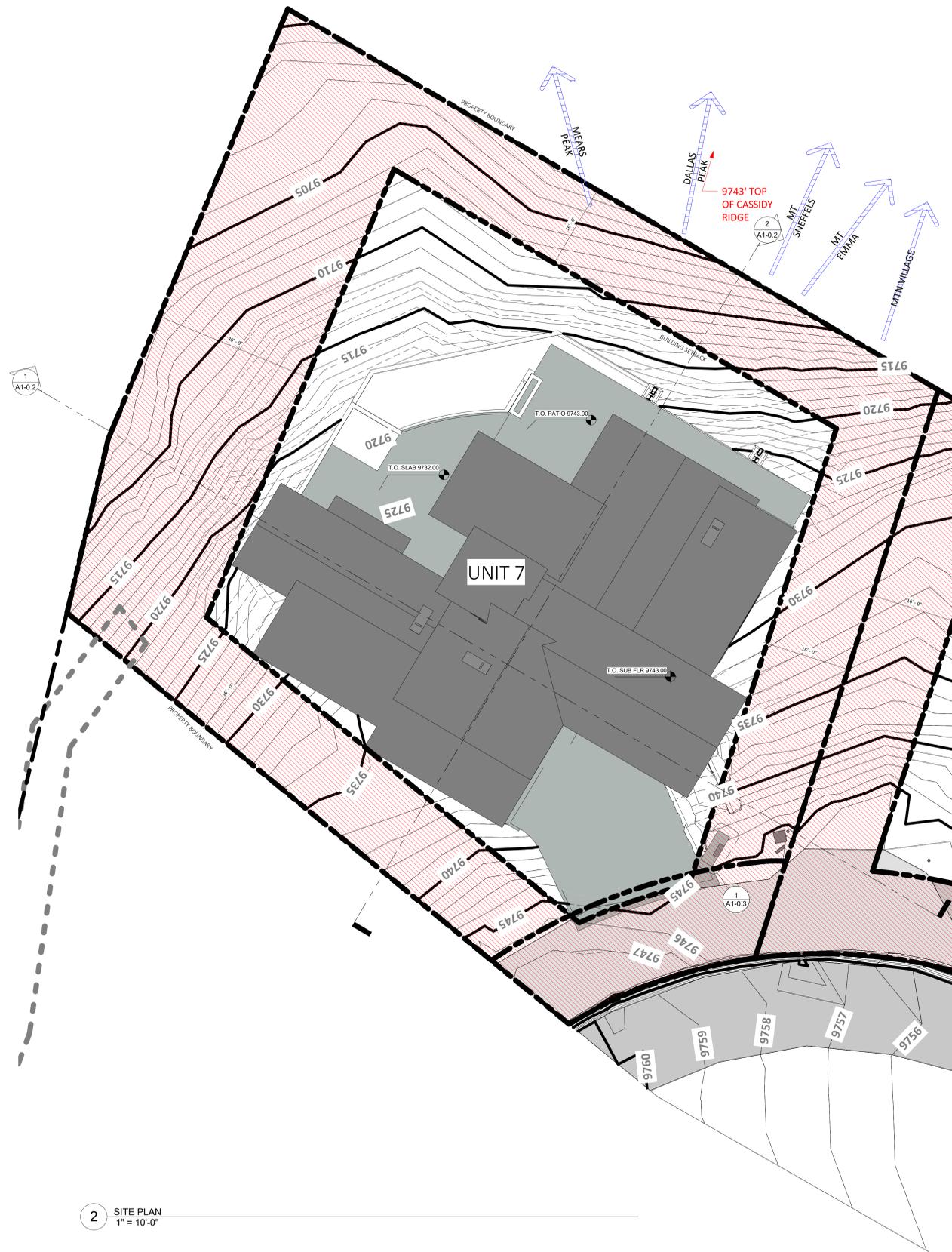
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A1-0.0
ARCHITECTURAL
SITE PLAN



SITE PLAN LEGEND

-----	DRAINAGE	[Hatched Box]	SNOW MELT LOCATIONS
-----	LIMITS OF CONSTRUCTION	[White Box]	ASPHALT
~~~~~	EROSION CONTROL	[Dotted Box]	CONCRETE
-----	NEW GRADE LINE	[Cross-hatched Box]	SNOW STORAGE
-----	PREVIOUS GRADE LINE	[Diagonal-hatched Box]	SNOW SHED
W-W-W-W-W	NEW WATER LINE	-----	DRAINTILE
G-G-G-G-G	NEW GAS LINE		
S-S-S-S-S	NEW SEWER LINE		
E-E-E-E-E	NEW ELECTRICAL LINE		

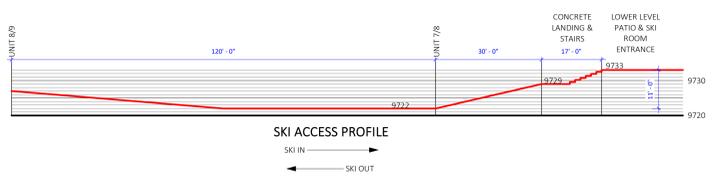
**STRUCTURAL ELEVATIONS**

T.O. SLAB @ LOWER LEVEL	89'-0" = 9732'
T.O. SLAB @ GARAGE	100'-0" = 9743'
T.O. SUBFLOR @ MAIN LEVEL	100'-0" = 9743'
T.O. SUBFLOR @ UPPER LEVEL	112'-0" = 9755'

- NOTES:**
- SEE CIVIL PLANS FOR GRADING AND ADDITIONAL SITE DETAILS
  - ALL PERIMETER FOUNDATION DRAINS TO EXIT TO DAYLIGHT
  - STORM WATER DETENTION POND SHOULD BE LOCATED ON SITE TO MAXIMIZE THE COLLECTION OF SURFACE RUNOFF WATER, IN ADDITION TO COLLECTING ROOF DRAINS AND FOUNDATION DRAIN IF APPLICABLE
  - ALL CONCRETE WASTE SHALL BE CONTAINED ON SITE AND PROPERLY DISPOSED OF AT PROJECT COMPLETION. CONCRETE WASHOUT WITHIN THE ROADSIDE DITCHES IS STRICTLY PROHIBITED.
  - EXCESS SOIL FROM CONSTRUCTION TO BE RELOCATED ON SITE W/ GEOTECHNICAL ENGINEER APPROVAL.
  - ANY DAMAGE TO THE EXISTING ROADWAY, INCLUDING THE AC SURFACE, SHOULDER GRAVEL, ROADSIDE DITCH, EXISTING CULVERTS, AND EXISTING VEGETATION AND EROSION CONTROL MEASURES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR
  - ALL DRIVEWAYS, PARKING, AND LAYDOWN AREAS ARE COVERED WITH AT LEAST TWO INCHES OR 3/4" SCREENED ROCK. RECOMMENDED TO DO A MINIMUM OF 8" OF 3" MINUS PITRUM OVER A GEOTECHNICAL SEPARATION FABRIC.
  - ALL CONNECTIONS TO WATER SYSTEM SHOULD HAVE PRESSURE REDUCING VALVES INSTALLED ON BOTH THE DOMESTIC AND FIRE SUPPLY LINES.



**2** SITE PLAN  
1" = 10'-0"



**1** SKI ACCESS SECTION  
1" = 20'-0"



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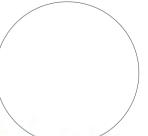
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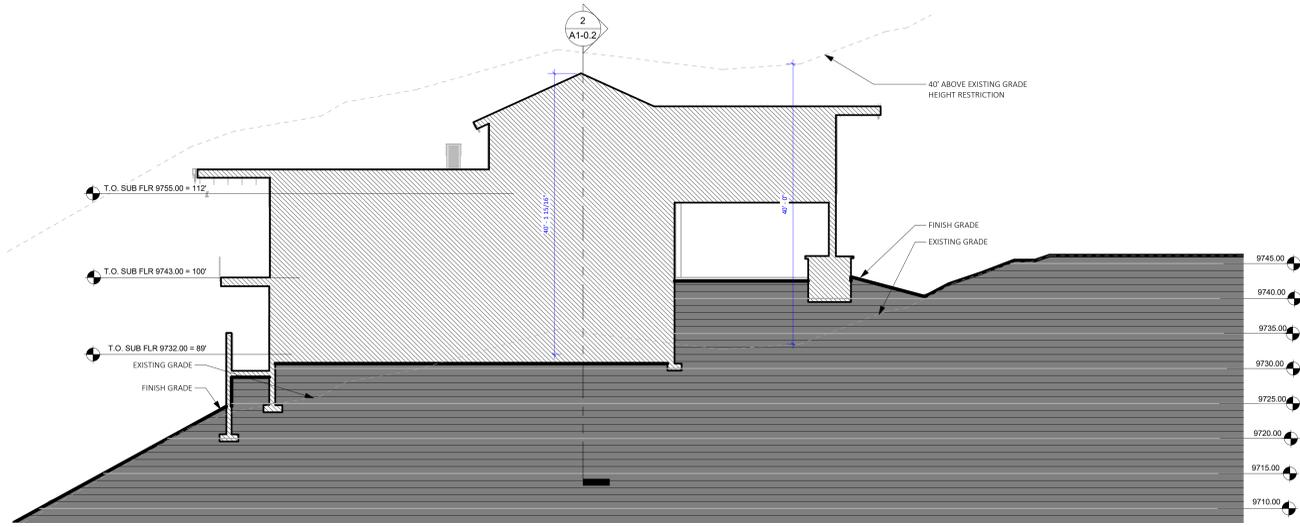
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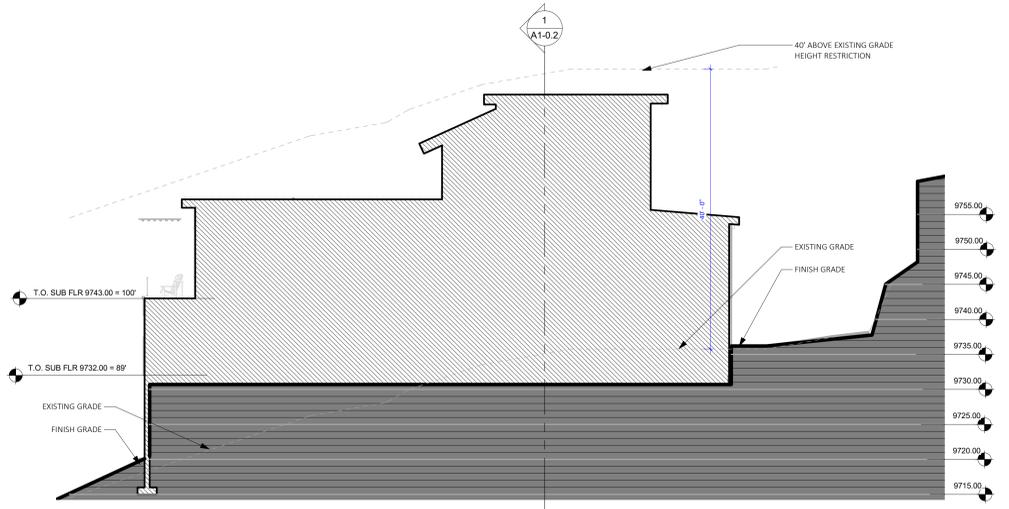
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A1-0.2  
ARCHITECTURAL  
HEIGHT STUDIES



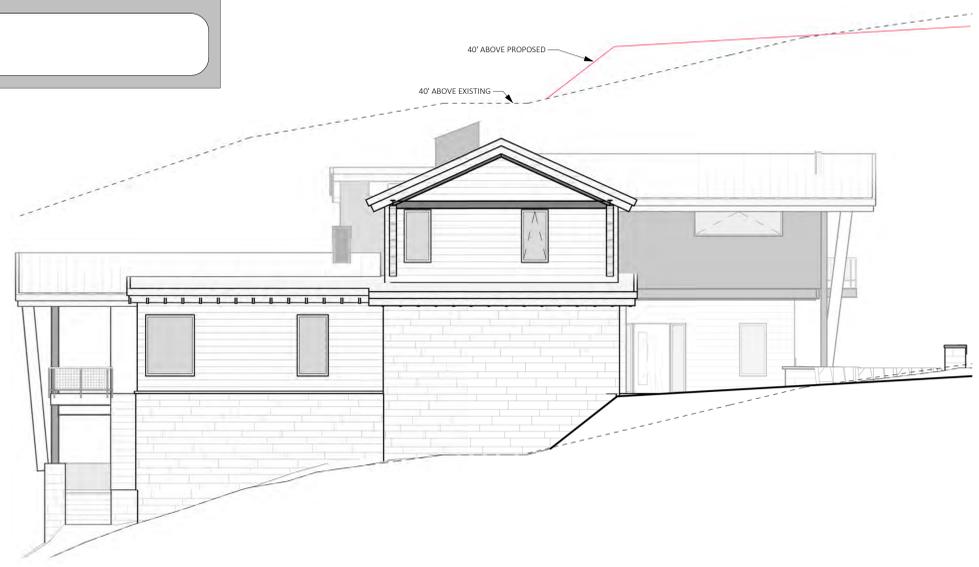
1 SITE SECTION 1  
1" = 10'-0"



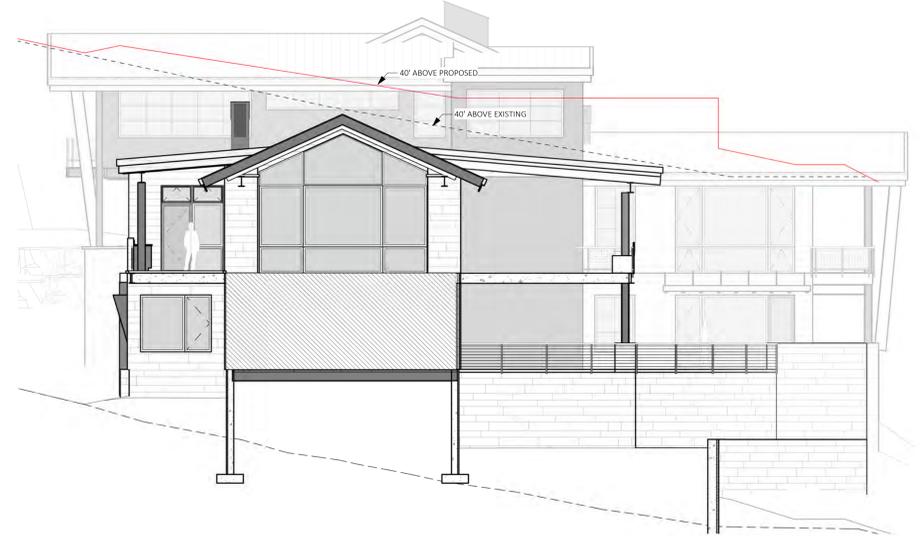
2 SITE SECTION 2  
1" = 10'-0"

STRUCTURAL ELEVATIONS

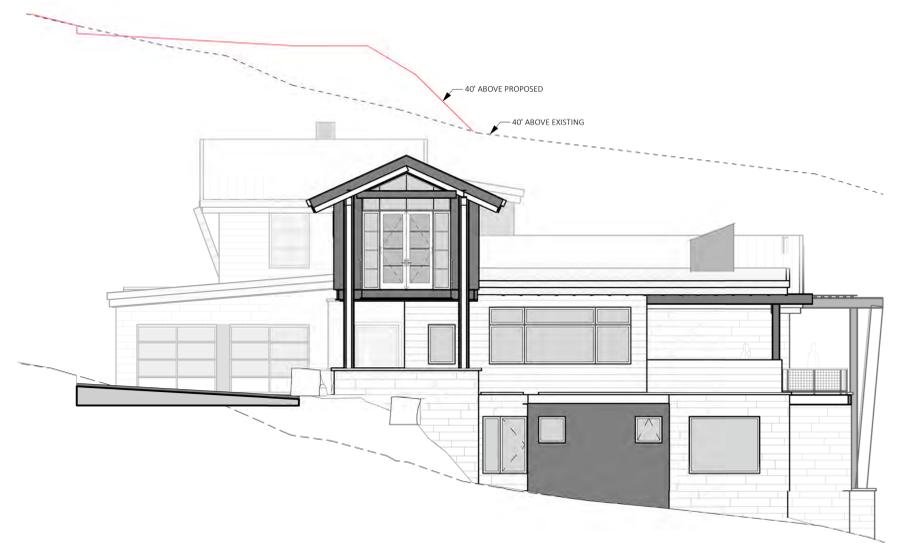
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T.O. SLAB @ GARAGE	100'-0" = 9743'
T.O. SUBFLOOR @ MAIN LEVEL	100'-0" = 9743'
T.O. SUBFLOOR @ UPPER LEVEL	112'-0" = 9755'



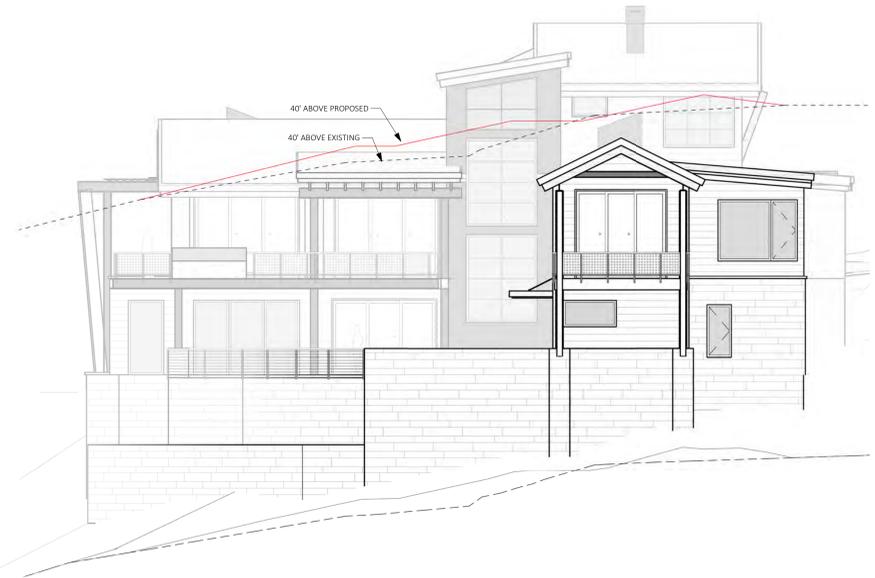
5 SOUTH ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"



4 EAST ELEVATION  
1/8" = 1'-0"



6 WEST ELEVATION  
1/8" = 1'-0"



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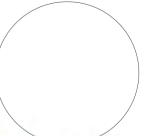
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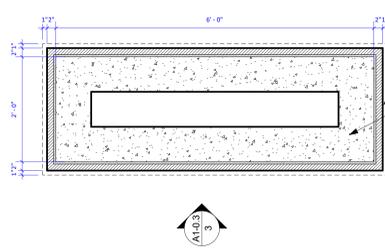
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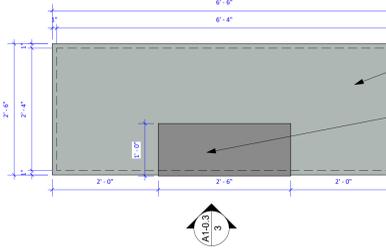
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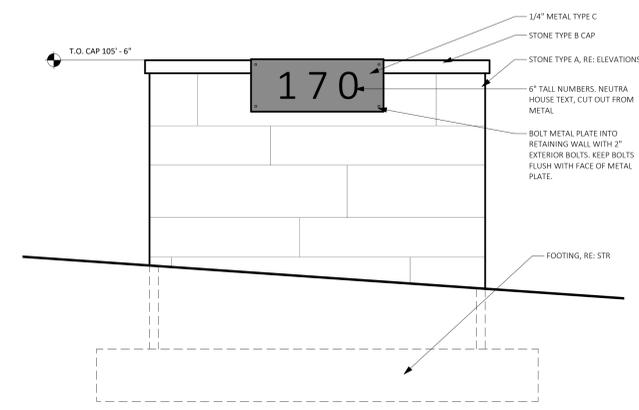
**A1-0.3**  
ARCHITECTURAL  
SITE DETAILS



1 ADDRESS MONUMENT PLAN  
3/4" = 1'-0"



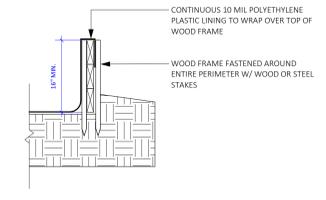
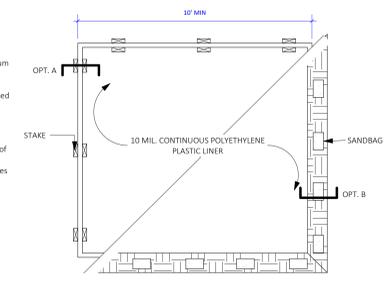
2 ADDRESS MONUMENT PLAN  
3/4" = 1'-0"



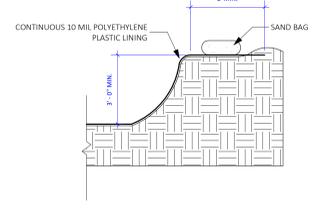
3 ADDRESS MONUMENT  
3/4" = 1'-0"

CONCRETE WASHOUT AREA NOTES:

1. Temporary concrete washout facilities shall be located a minimum of 50 ft from sensitive areas including storm drain inlets, open drainage facilities, and watercourses.
2. Concrete washout within the roadside ditches is strictly prohibited.
3. Washout of concrete trucks shall be performed in designated areas only.
4. Once concrete wastes are washed into the designated area and allowed to harden, the concrete should be broken up, removed, and disposed of per applicable solid waste regulations. Dispose of hardened concrete on a regular basis.
5. Materials used to construct temporary concrete washout facilities shall be removed from the site of the work and disposed of or recycled.
6. Holes, depressions or other ground disturbance caused by the removal of the temporary concrete washout facilities shall be backfilled, repaired, and stabilized to prevent erosion.

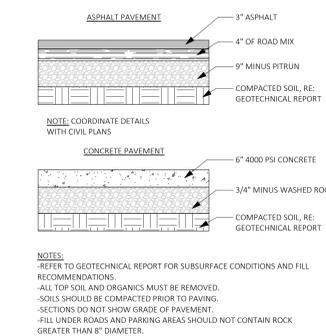


OPTION 'A'  
ABOVE GRADE W/ WOOD PLANKS

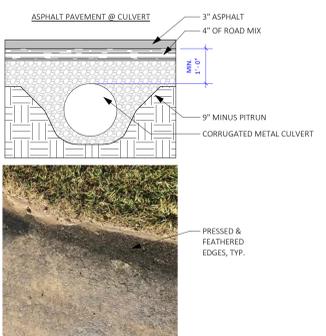


OPTION 'B'  
BELOW GRADE

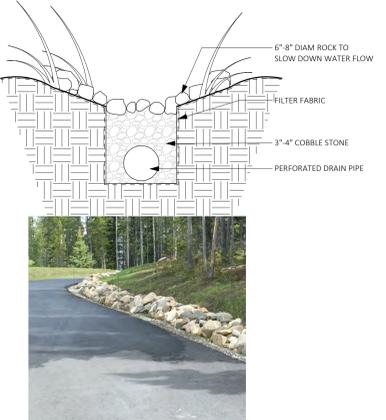
4 CONCRETE WASHOUT AREA  
3/4" = 1'-0"



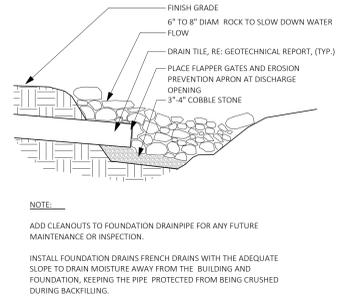
5 SITE PAVING DETAILS  
1/2" = 1'-0"



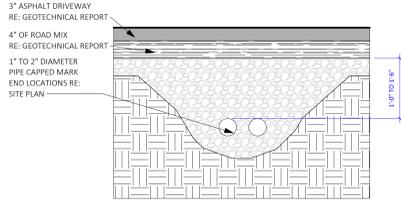
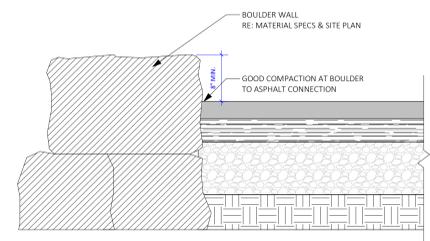
6 DRAINAGE SWALE  
1" = 1'-0"



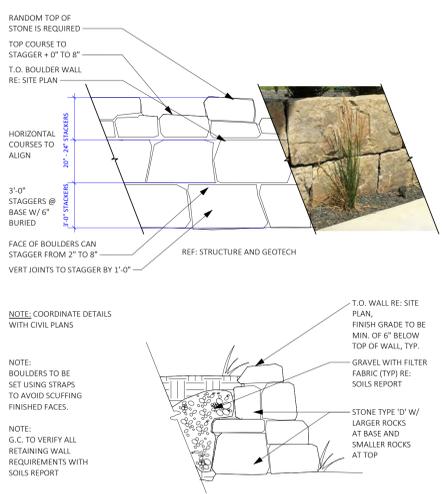
7 DRAIN TILE RUNOUT DETAIL  
1/4" = 1'-0"



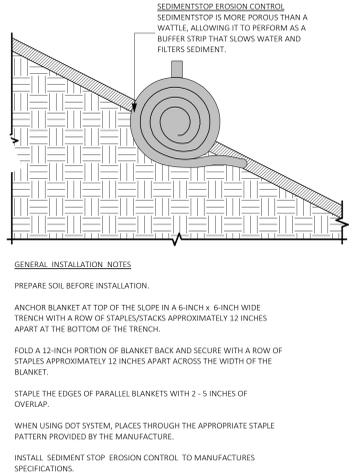
8 DRIVEWAY CURB DETAIL  
1" = 1'-0"



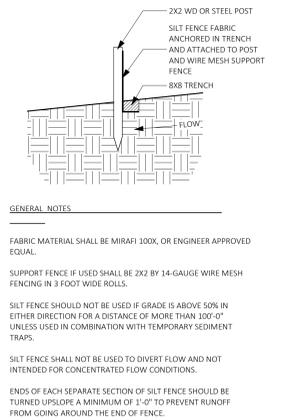
14 CONDUIT/PIPE DETAIL  
3/4" = 1'-0"



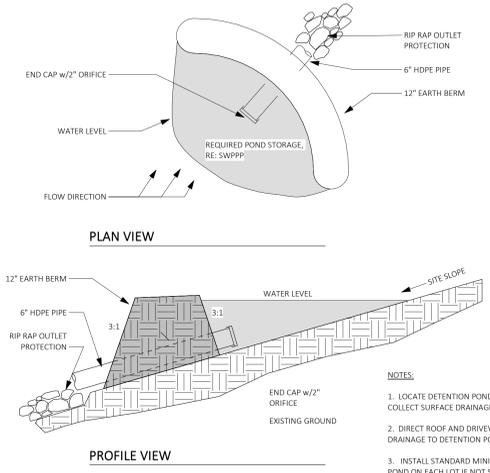
10 TYPICAL BOULDER WALL DETAIL  
1/2" = 1'-0"



11 EROSION CONTROL DETAIL  
1/4" = 1'-0"



12 SILT FENCE DETAIL  
1/4" = 1'-0"



13 RETENTION POND  
1/2" = 1'-0"



15 SAND @ PROPANE TANKS  
3/4" = 1'-0"



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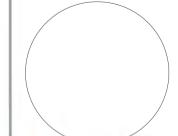
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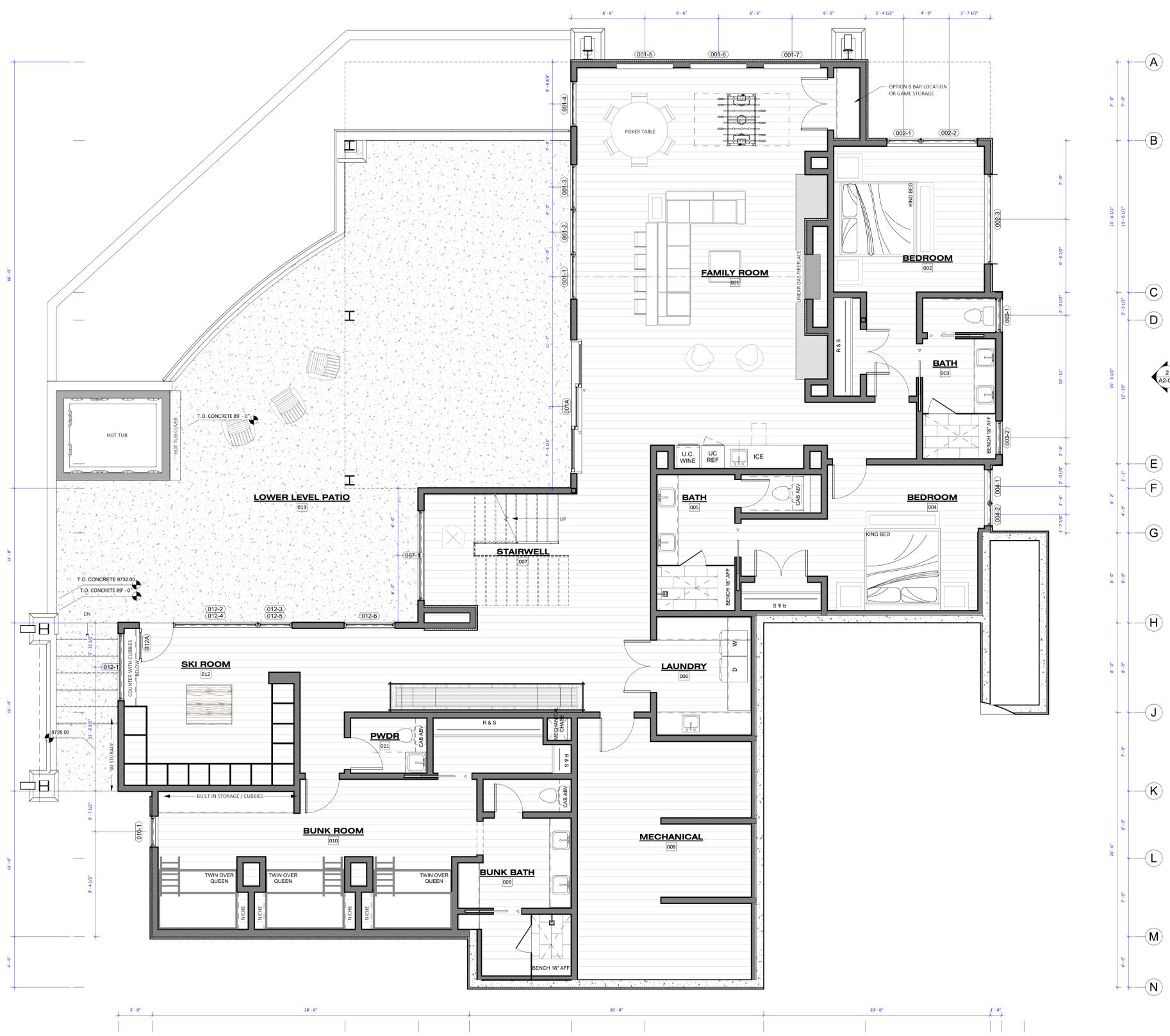
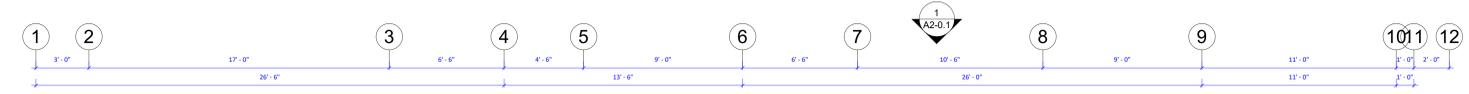
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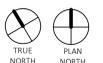
**A1-1.0**  
 LOWER LEVEL PLAN



PROJECT SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL	3191.5 SF
MAIN LEVEL	2621.1 SF
UPPER LEVEL	1139.9 SF
HABITABLE	6943.4 SF
MECHANICAL	381.8 SF
GARAGE	637.0 SF
NON HABITABLE	1018.8 SF
GROSS SQUARE FOOT	7962.2 SF

EXTERIOR SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL PATIO	1441.4 SF
ENTRY PATIO	154.7 SF
MAIN LEVEL PATIO	1195.5 SF
MASTER DECK	105.0 SF
MASTER DECK	40.0 SF
TOTAL EXTERIOR	2936.6 SF

**1** LOWER LEVEL PLAN  
 1/4" = 1'-0"





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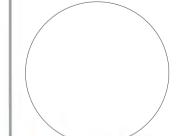
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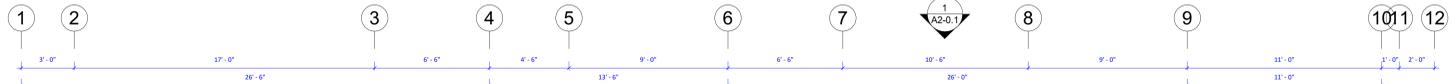
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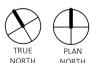
**A1-1.1**  
 MAIN LEVEL PLAN



PROJECT SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL	3191.5 SF
MAIN LEVEL	2612.1 SF
UPPER LEVEL	1139.9 SF
HABITABLE	6943.4 SF
MECHANICAL	381.8 SF
GARAGE	637.0 SF
NON HABITABLE	1018.8 SF
GROSS SQUARE FOOT	7962.2 SF

EXTERIOR SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL PATIO	1441.4 SF
ENTRY PATIO	154.7 SF
MAIN LEVEL PATIO	1135.5 SF
MASTER DECK	105.0 SF
MASTER DECK	40.0 SF
TOTAL EXTERIOR	2936.6 SF

**1 MAIN LEVEL PLAN**  
 1/4" = 1'-0"





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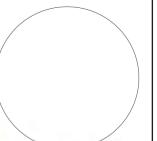
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**A1-1.2**  
UPPER LEVEL PLAN

1 2 3 4 5 6 7 8 9 1011 12  
 3'-0" 17'-0" 6'-0" 4'-0" 9'-0" 6'-0" 10'-0" 9'-0" 11'-0" 1'-0" 2'-0"

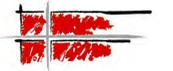


PROJECT SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL	9191.5 SF
MAIN LEVEL	2612.1 SF
UPPER LEVEL	1139.9 SF
HABITABLE	6943.4 SF
MECHANICAL	581.8 SF
GARAGE	637.0 SF
NON HABITABLE	1018.8 SF
GROSS SQUARE FOOT	7862.2 SF

EXTERIOR SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL PATIO	1441.4 SF
ENTRY PATIO	154.7 SF
MAIN LEVEL PATIO	1199.5 SF
MASTER DECK	105.0 SF
MASTER DECK	40.0 SF
TOTAL EXTERIOR	2936.6 SF



1 UPPER LEVEL PLAN  
1/4" = 1'-0"



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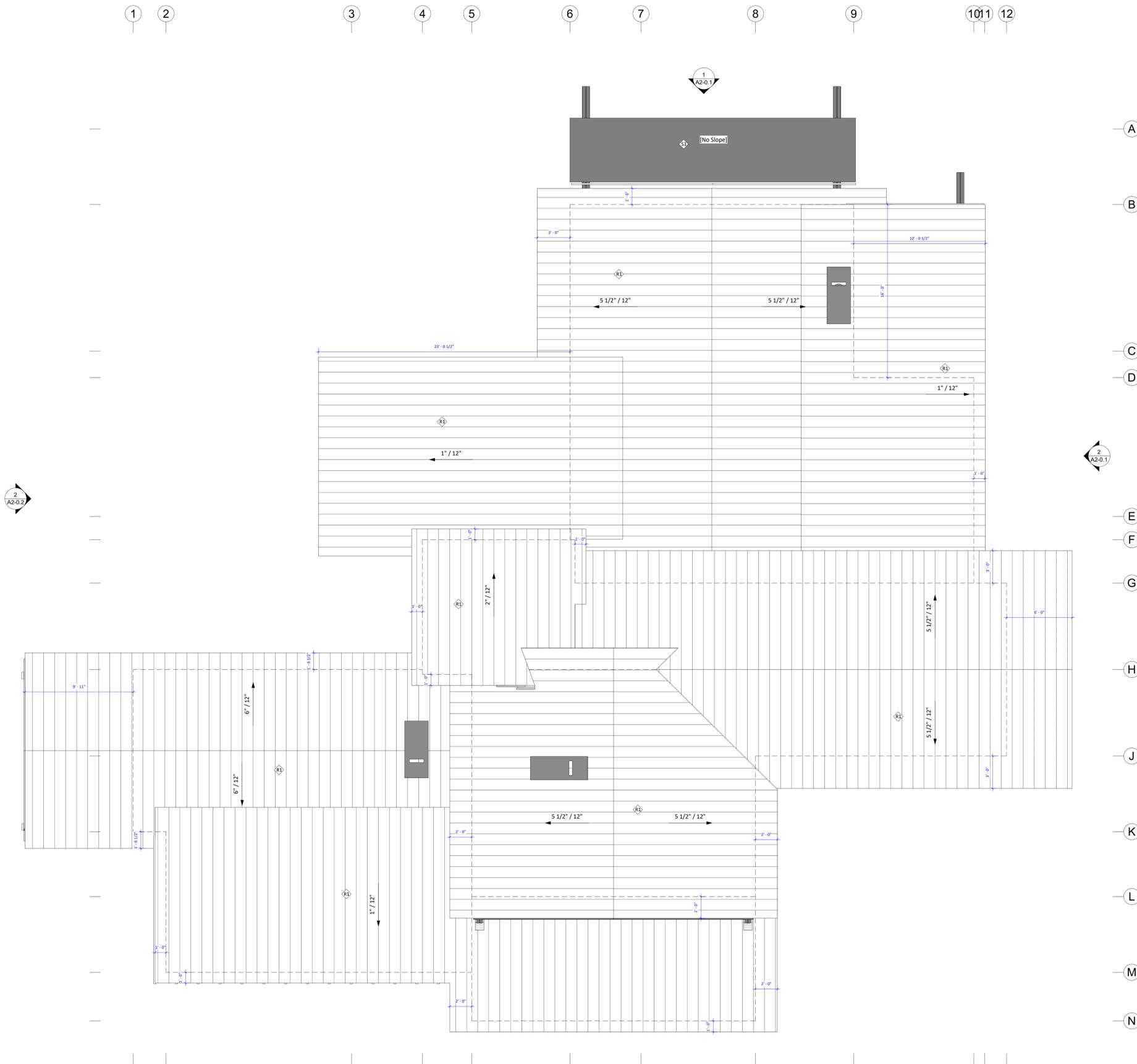
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**A1-3.1**  
ROOF PLAN



CRICKET DIMENSION TABLE	
ROOF SLOPE	H
12 : 12	1/2 OF W
8 : 12	3/4 OF W
6 : 12	1 1/4 OF W
4 : 12	1 3/4 OF W
3 : 12	1 7/8 OF W

**ROOF PLAN LEGEND**

**NOTE:**  
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

**SHAKE ROOFING**  
COMPOSITE SHAKE SHINGLE  
COLOR: WALDEN  
MFR: GORIR, RE: A1-3.6  
LAYOUT: STANDARD FIELD LAYOUT, RE: 2/A1-3.4

**METAL ROOFING**  
STANDING SEAM, 2" MECH. RIB W/ STRIATIONS & MASTIC, 18" RIB SPACING  
COLOR: DARK BRONZE  
MFR: BRIDGER STEEL

**BALLAST ROOFING**  
EPDM ROOF W/RANDOM 1" TO 3" RIVER ROCK BALLAST, COLOR: DARK BRONZE  
THICKNESS: 60 MIL, RHINO BOND ATTACHMENT SYSTEM

● METAL TYPE A, SEAMLESS 6" SQUARE, DARK BRONZE, GUTTERS W/ DOWNSPOUT AS INDICATED. PROVIDE ELEC. HEAT TAPE, TYP.  
■ PROVIDE DEBRIS SCREEN AT ALL TRANSITIONS TO DOWNSPOUT, TYP.

— FASCIA TYPE A, RE: ROOF DETAILS  
— FASCIA TYPE B, RE: ROOF DETAILS

■ SNOW SHED LOCATION

**ROOF PLAN GENERAL NOTES**

- ALL ROOFS TO ACHIEVE A CLASS 'A' FIRE RATING BY INSTALLING REQUIRED ROOFING UNDERLAYMENT AT ALL LOCATIONS WHERE PRIMARY ROOF MATERIAL DOES NOT ACHIEVE CLASS 'A' RATING. GC TO VERIFY COMPLIANCE, TYP.
- IT IS RECOMMENDED THAT ALL ROOFS RECEIVE BUILD-UP FOR VENTILATED DOUBLE COLD ROOF, COVER BASE LAYER AND TOP LAYER OF PWD WITH SINGLE LAYER OF SELF-ADHERING UNDERLAYMENT AS SPECIFIED, RE: PROJECT SPECIFICATIONS.
- ALL RAKE AND EAVE DIMENSIONS TO BE HORIZONTAL DIMENSIONS, NOT ALONG THE PITCH.
- COORDINATE LAYOUT OF ROOF FRAMING WITH EXPOSED RAFTERS WHERE APPLICABLE, SEE REFLECTED CEILING PLAN FOR LOCATIONS, (TYP).
- PROVIDE ELEC. ROUGH IN FOR HEAT TAPE IN ALL VALLEYS, RE: ELEC. FOR FURTHER DETAIL.
- VERIFY ALL GUTTER & DOWNSPOUT LOCATIONS AND TYPES WITH ARCHITECT PRIOR TO INSTALLATION.
- LIGHTNING PROTECTION IS RECOMMENDED, REFER TO MANUFACTURER FOR LIGHTNING ROD AND GROUND ROD LOCATIONS AS IMPLEMENTED.
- PROVIDE ELECTRICAL HEAT TAPE AT ALL HARD PIPED GUTTERS & DOWNSPOUTS (TYP).
- ALL ROOF PENETRATION LOCATIONS INCLUDING, BUT NOT LIMITED TO: FUELS, VENTILATION PIPES AND STACKS SHALL BE SUBMITTED TO ARCHITECT AND ROOFING MFR, FOR REVIEW. (NOTE: NOT ALL ROOF PENETRATIONS MAY BE SHOWN ON PLAN)
- DIVERTER FLASHING SHALL BE INSTALLED WHERE A LOWER SLOPED ROOF TERMINATES AGAINST A VERTICAL WALL, CHIMNEY CHASE, OR FRAMED COLUMN.
- FLASHING AT PLUMBING VENTS TO MATCH ROOF MATERIAL, RE: A1-3.4
- GENERAL CONTRACTOR TO COORDINATE ALL SUBS THAT WILL PERFORM WORK ON OR MANIPULATE WORK OF THE ROOF. ANY CUTTING, PATCHING, DRILLING, SCREW PENETRATION AND PROTECTION NEED TO BE COORDINATED WITH THE ROOFER.

**METAL ROOFS:** INSTALL SLIP SHEET AS SPECIFIED ON TOP OF SINGLE LAYER 'MIRADRI' HIGH TEMP. ICE & WATER UNDERLAYMENT. DUAL LAYER TO EXTEND 6" UP FROM BOTTOM ON LOW SLOPE ROOFS. COVER ALL PWD SHEATHING WHERE METAL ROOF IS LOCATED. LAP OVER HIPS, RIDGES, AND THROUGH VALLEYS, TYP. UNDERLAYMENT SHALL BE LAPPED 6" VERTICALLY (END OR SIDE LAP) AND 2" HORIZONTALLY (HEAD LAP).

**SHINGLE ROOFS:** INSTALL SINGLE LAYER OF SLOPESHIELD OVER 'MIRADRI' ICE & WATER UNDERLAYMENT OR E.C. TO COVER ALL PWD SHEATHING WHERE SHINGLE ROOFS ARE LOCATED. LAP OVER HIPS, RIDGES, AND THROUGH VALLEYS, TYP. UNDERLAYMENT SHALL BE LAPPED 6" VERTICALLY (END OR SIDE LAP) AND 2" HORIZONTALLY (HEAD LAP). INSTALL SINGLE LAYER OF 15# MIN. FELT PAPER AT EVERY COARSE SHINGLE COARSE, TYP.

ALL HIPS AND RIDGES TO RECEIVE 'PROTECTO WRAP' HIP AND RIDGE SEAL AS SPECIFIED, TYP.

**NOTE:** ALL VALLEYS TO RECEIVE METAL TYPE 'A' W-VALLEY METAL OVER TOP SLIP SHEET AS SPECIFIED 6" EXPOSED VALLEY METAL EACH SIDE, TYP.





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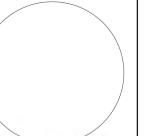
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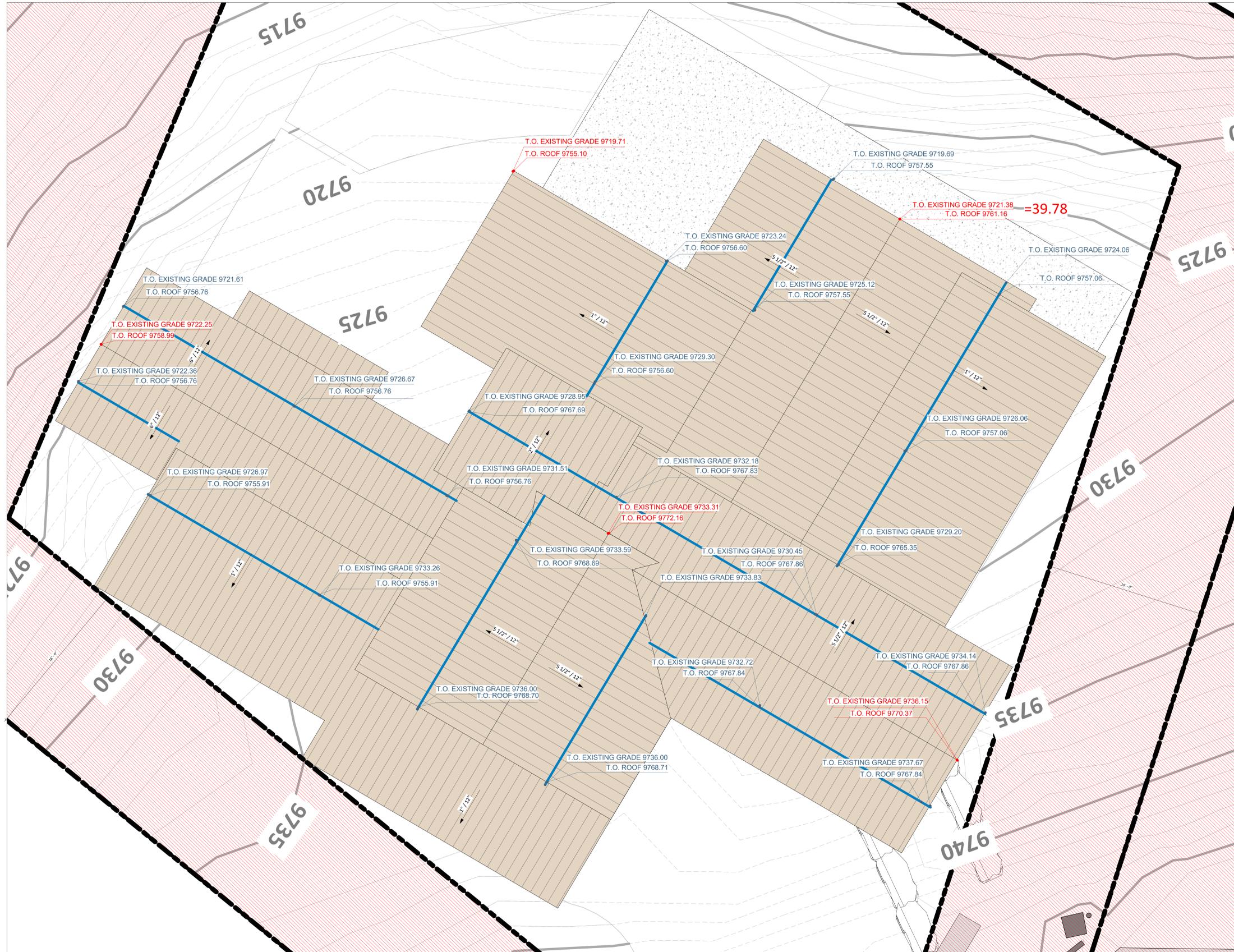
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**A1-3.2**  
 ROOF PLAN & TOPO  
 SURVEY



1 ROOF PLAN  
 1/4" = 1'-0"  
 TRUE NORTH

**LOT COVERAGE - MOUNTAIN VILLAGE DEFINITION**

LOT COVERAGE: THE CALCULATION OF THE TOTAL HORIZONTAL AREA OF ANY BUILDING, CARPORT, PORTE-COCHERE, OR ARCADE AND SHALL ALSO INCLUDE WALKWAYS, ROOF OVERHANGS, EAVES, EXTERIOR STAIRS, DECKS, COVERED PORCH, TERRACES AND PATIOS. SUCH HORIZONTAL MEASUREMENT SHALL BE FROM THE BUILDING DRIP LINES AND FROM THE EXTERIOR SURFACE OF THE TOTAL WALL ASSEMBLY, WHICHEVER IS MORE RESTRICTIVE.

LOT COVERAGE = 6,106 SF  
 LOT SIZE = 18,731 SF  
 LOT COVERAGE = 32.6%

MAXIMUM LOT COVERAGE ALLOWED = 65%

**AVERAGE ROOF HEIGHT - MOUNTAIN VILLAGE DEFINITION**

MAXIMUM AVERAGE HEIGHT SHALL BE MEASURED FROM THE FINISHED GRADE TO A POINT ON THE ROOF PLANE MIDWAY BETWEEN THE EAVE & THE RIDGE.  
 ON COMPLEX BUILDINGS WITH MULTIPLE HEIGHTS AND/OR BUILDINGS WITH MULTIPLE HEIGHTS ON SLOPING SITES, THE MAXIMUM AVERAGE HEIGHT SHALL BE DETERMINED BY TAKING THE AVERAGE OF HEIGHTS AT EQUAL INTERVALS AROUND THE PERIMETER OF A BUILDING. THOSE INTERVALS SHALL BE NO MORE THAN 20 FEET.

AVERAGE BUILDING HEIGHT = 33.12'

**MAX BUILDING HEIGHT - MOUNTAIN VILLAGE DEFINITION**

BUILDING HEIGHT SHALL BE MEASURED VERTICALLY AT A RIGHT ANGLE TO THE HORIZON LINE FROM ANY POINT ON A PROPOSED OR EXISTING ROOF OR EAVE INCLUDING BUT NOT LIMITED TO THE ROOFING MEMBRANE TO THE NATURAL GRADE OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, LOCATED DIRECTLY BELOW SAID POINT OF THE ROOF OR EAVES.

MAX BUILDING HEIGHT = 39.78'

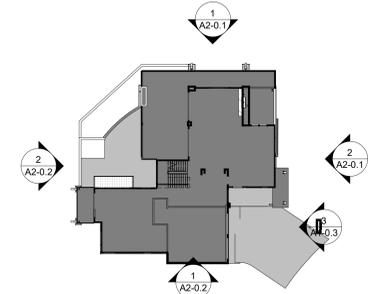


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3 KEY PLAN  
1" = 30'-0"



1 NORTH ELEVATION  
1/4" = 1'-0"

**EXTERIOR MATERIALS LEGEND**

NOTE:  
REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

- ZINC ROOFING  
STANDING SEAM, 2" MECH. RIB  
COLOR: QUARTZ-ZINC  
NOTE: ON SLOPES $\le 1/2^{\circ}$ 1/2" MECH FASTENED
- HORIZONTAL WOOD SIDING  
2x10 WD HORIZONTAL SHIP LAP  
COLOR: DRIFTWOOD  
MFR: VINTAGE WOODS  
RE:
- STONE MASONRY VENEER  
2" RECTANGULAR CUT  
COLOR: WINDSOR  
MFR: QUARRY WORKS  
RE:
- METAL SIDING  
ZINC PANELS  
COLOR: QUARTZ-ZINC  
MFR: TBD  
RE:

**EXTERIOR MATERIAL QUANTITIES**

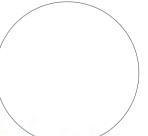
MATERIAL	ELEVATION (SF/%)				TOTAL
	NORTH	EAST	SOUTH	WEST	
STONE	924/34	714/39	634/35	1174/38	3,446/37
METAL	520/19	257/14	267/15	387/13	1,431/15
WOOD	345/13	320/17	712/39	541/18	1,918/20
FENESTRATION	930/34	540/30	202/11	927/31	2,599/28



2 EAST ELEVATION  
1/4" = 1'-0"

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A2-0.1  
EXTERIOR  
ELEVATIONS



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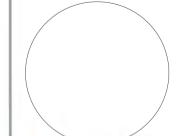
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**A2-0.2**  
 EXTERIOR  
 ELEVATIONS

**EXTERIOR MATERIALS LEGEND**

NOTE:  
 REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION ON MATERIAL TYPES AND INSTALLATION REQUIREMENTS.

	ZINC ROOFING STANDING SEAM, 2" MECH. RIB COLOR: QUARTZ - ZINC NOTE: ON SLOPES < 1:12 - 1:12 MECH FASTENED
	HORIZONTAL WOOD SIDING 2x2x10 W/O HORIZONTAL SHIP LAP COLOR: DRIFTWOOD MFR: VINTAGE WOODS RE:
	STONE MASONRY VENEER 2" RECTANGULAR CUT COLOR: WINDSOR MFR: QUARRY WORKS RE:
	METAL SIDING ZINC PANELS COLOR: QUARTZ ZINC MFR: TBD RE:

**EXTERIOR MATERIAL QUANTITIES**

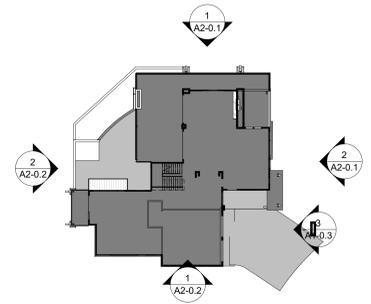
MATERIAL	ELEVATION (SF/%)				TOTAL
	NORTH	EAST	SOUTH	WEST	
STONE	924/34	714/39	634/35	1174/38	3,446/37
METAL	520/19	257/14	267/15	387/13	1,431/15
WOOD	345/13	320/17	712/39	541/18	1,918/20
FENESTRATION	930/34	540/30	202/11	927/31	2,599/38



1 SOUTH ELEVATION  
 1/4" = 1'-0"



2 WEST ELEVATION  
 1/4" = 1'-0"



3 KEY PLAN  
 1" = 30'-0"



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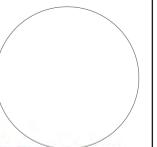
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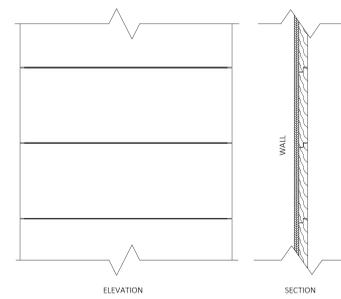
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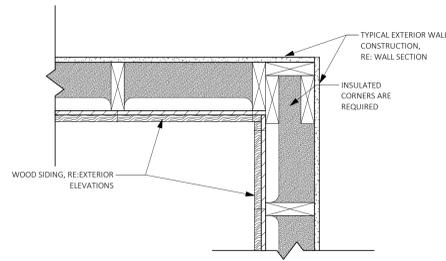
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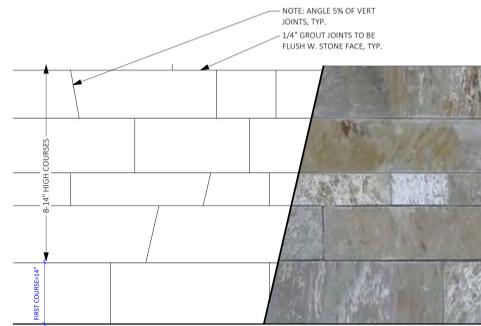
**A5-1.2**  
 EXTERIOR DETAILS



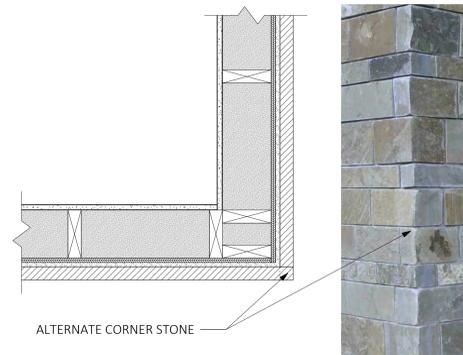
**1 SHIP LAP PROFILES**  
 1 1/2" = 1'-0"



**2 EXT I/S CORNER @ WOOD SIDING**  
 1 1/2" = 1'-0"



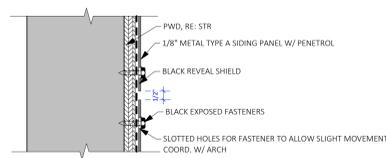
**3 STONE LAYUP DETAIL**  
 3/4" = 1'-0"



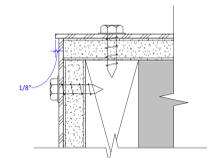
**4 EXT CORNER @ STONE VENEER STACKED**  
 1 1/2" = 1'-0"



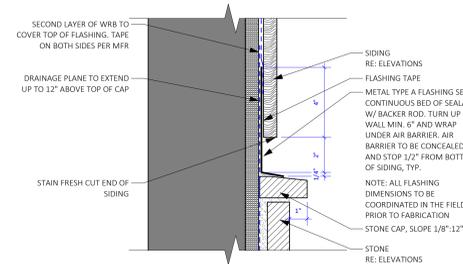
**5 PATIO LAYUP**  
 3/4" = 1'-0"



**6 STEEL SIDING DETAIL**  
 3" = 1'-0"



**7 STEEL CORNER DETAIL TYP.**  
 6" = 1'-0"



**8 TYP. STONE SILL DETAIL**  
 3" = 1'-0"



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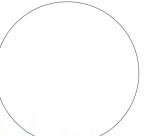
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**A6-1.2**  
WINDOW & DOOR  
SCHEDULE

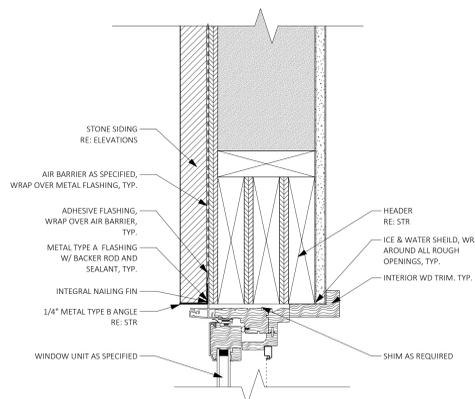
DOOR #	DOOR		
	W	H	T
T.O. SLAB			
001A	11'-10 15/16"	8'-6"	0'-2 3/4"
012A	3'-0"	8'-6"	0'-2 1/4"
T.O. SUB FLR			
101A	11'-10 15/16"	10'-0"	0'-2 3/4"
102A	3'-6"	8'-0"	0'-2 1/4"
103A	11'-10 15/16"	10'-0"	0'-2 3/4"
105A	4'-0"	8'-0"	0'-2 1/4"
110A	9'-0"	8'-0"	0'-2 1/8"
110B	9'-0"	8'-0"	0'-2 1/8"
112A	10'-4 15/16"	10'-0"	0'-2 3/4"
T.O. SUB FLR UPPER			
202A	6'-0"	9'-0"	0'-1 3/8"

- DOOR GENERAL NOTES**
- ALL BARN DOOR SLABS TO BE 2" WIDER THAN FINISHED OPENING
  - PROVIDE TRACKS AT BOTTOM OF ALL BARN DOORS
  - ALL WD DOORS SHALL BE ENGINEERED LAMINATED DOORS U.N.O.
  - GC TO COORDINATE JAMB WIDTHS ACCORDING TO VARYING WALL WIDTH. SEE FLOOR PLAN FOR WALL TYPES AND WIDTHS.
    - A. GC TO COORDINATE JAMB WIDTHS WITH INTERIOR SHEAR WALL LOCATIONS (IF APPLICABLE) - SEE STR FOR SHEAR WALL LOCATIONS
  - VERIFY FINISHES WITH ARCH/OWNER AND ID
  - VERIFY PRIVACY LOCKS ON BEDROOMS AND BATHROOMS W/ OWNER
  - VERIFY ALL DOOR SWINGS WITH OWNER/ARCH PRIOR TO PRODUCTION
  - FOR ALL DOORS AT STRIKE PLATE LOCATION, PAINT EXPOSED JAMB AND ANY EXPOSED FRAMING BEHIND STRIKE PLATE BLACK, TYP.
  - RECESSED AREAS ON EXTERIOR DOORS TO HAVE BEVELLED EDGES
  - SLOT ON HEAD OF SCREWS TO ALIGN VERTICALLY ON DOOR HARDWARE
  - ALL EXTERIOR DOORS TO RECEIVE APPROPRIATE WEATHER STRIPPING
  - NEOPRENE DOOR SHIMS SHALL BE USED SIMILAR TO THE PRODUCT BY 'ENDURA'
  - DOOR CORNER SEALS TO BE INSTALLED ON ALL EXTERIOR HINGED DOORS, COLOR TO MATCH WEATHERSTRIPPING
  - ALL GARAGE DOORS TO HAVE AUTOMATIC CLOSE
  - WEDGES ON ALL HINGED EXTERIOR DOORS ON STRIKE SIDE
  - ALL EXTERIOR HINGED OR PIVOT DOORS TO RECEIVE CORNER SEALS

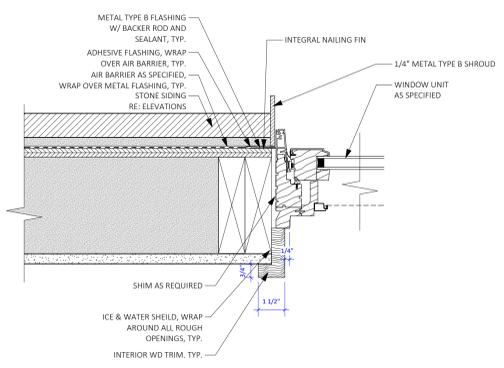
WINDOW #	WINDOW		OPERATION
	WIDTH	HEIGHT	
T.O. SLAB			
010-1	2'-9"	6'-0"	CASEMENT
012-2	7'-6"	6'-6"	FIXED
012-4	7'-6"	2'-0"	FIXED
002-2	5'-0"	6'-6"	FIXED
012-1	6'-0"	3'-0"	FIXED
002-3	8'-0"	6'-6"	FIXED
002-1	3'-0"	6'-6"	CASEMENT
001-5	5'-0"	3'-0"	FIXED
001-7	5'-0"	3'-0"	FIXED
001-6	5'-0"	3'-0"	FIXED
001-4	4'-0"	8'-6"	FIXED
003-1	3'-0"	3'-0"	AWNING
003-2	3'-0"	3'-0"	FIXED
004-1	3'-0"	6'-6"	CASEMENT
004-2	2'-0"	6'-6"	FIXED
001-3	4'-0"	8'-6"	FIXED
001-2	4'-0"	8'-6"	FIXED
001-1	4'-0"	8'-6"	FIXED
012-6	4'-6"	6'-6"	FIXED
012-3	3'-0"	6'-6"	CASEMENT
012-5	3'-0"	2'-0"	AWNING
T.O. SUB FLR			
112-3	3'-0"	7'-0"	CASEMENT
112-2	7'-6"	7'-0"	FIXED
112-5	7'-6"	3'-0"	FIXED
112-6	3'-0"	3'-0"	AWNING
007-1	8'-0"	10'-0"	FIXED
102-1	5'-10"	6'-0"	FIXED
101-6	5'-0"	3'-0"	FIXED
101-4	5'-0"	3'-0"	FIXED
101-5	9'-0"	3'-0"	FIXED
101-8	9'-0"	8'-0"	FIXED TRAP.
101-3	5'-0"	7'-0"	FIXED
101-1	5'-0"	7'-0"	FIXED
101-2	9'-0"	7'-0"	FIXED
102-4	3'-6"	2'-0"	AWNING
102-3	3'-6"	2'-0"	AWNING
102-2	3'-6"	3'-0"	FIXED
102-1	3'-6"	5'-0"	FIXED
114-1	5'-6"	7'-0"	FIXED
113-1	3'-6"	7'-0"	FIXED
105-1	1'-8 5/8"	8'-0"	FIXED
105-2	1'-8 5/8"	8'-0"	FIXED
114-3	6'-0"	7'-0"	FIXED
104-1	3'-0"	4'-6"	FIXED
102-7	4'-0"	4'-6"	FIXED
102-10	4'-0"	2'-0"	FIXED
102-6	8'-0"	4'-6"	FIXED
102-9	8'-0"	2'-0"	FIXED
102-5	4'-0"	4'-6"	FIXED
102-8	4'-0"	2'-0"	FIXED
007-2	8'-0"	10'-0"	FIXED
112-7	4'-6"	7'-6"	FIXED
114-2	3'-0"	7'-0"	CASEMENT
112-1	3'-0"	7'-0"	CASEMENT
112-4	3'-0"	3'-0"	AWNING
104-2	3'-0"	6'-0"	FIXED
T.O. SUB FLR UPPER			
101-9	5'-0"	3'-10 1/2"	FIXED TRAP.
101-7	5'-0"	3'-10 1/2"	FIXED TRAP.
201-1	4'-0"	2'-0"	AWNING
206-3	8'-0"	6'-0"	FIXED
007-4	11'-0"	5'-6"	FIXED
206-1	3'-0"	6'-0"	AWNING
206-2	3'-0"	6'-0"	FIXED
202-6	10'-0"	3'-0"	AWNING
205-1	4'-6"	6'-6"	FIXED
202-4	2'-0"	9'-0"	FIXED
202-3	2'-0"	9'-0"	FIXED
1390	10'-0"	6'-7 1/2"	FIXED TRAP.
007-5	3'-6"	5'-6"	FIXED
202-2	15'-0"	5'-6"	FIXED
202-1	15'-0"	2'-4"	FIXED
007-3	8'-0"	6'-0"	FIXED TRAP.

- WINDOW GENERAL NOTES**
- REFER TO EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR DIRECTION OF OPERABLE WINDOW SWING.
  - REFER TO PLANS & EXTERIOR ELEVATIONS FOR EGRESS WINDOW LOCATIONS
  - WINDOW MANUFACTURER TO VERIFY THAT ALL EGRESS WINDOWS MEET EGRESS REQUIREMENTS IN ACCORDANCE TP 2012 IRC AND ADVISE ARCHITECT OF ANY CONFLICTS
  - REFERENCE WINDOW SCHEDULE FOR ALL MULLED UNITS
  - REFERENCE WINDOW ELEVATIONS FOR ALL TRAPAZOID UNITS
  - WINDOW SUPPLIER TO PROVIDE FINAL SHOP DRAWINGS AND LIST TO ARCHITECT FOR REVIEW PRIOR TO PLACING ORDER.
  - ALL WINDOW ELEVATIONS ARE EXTERIOR ELEVATIONS
  - GENERAL CONTRACTOR TO INSPECT ALL GLASS AND FRAMES FOR DEFECTS PRIOR TO INSTALL.
  - REFER TO FINISH SCHEDULE FOR SPECIFIC STAIN & PAINT FINISHES

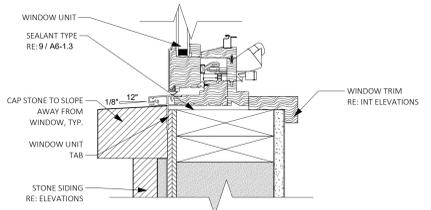
**SIERRA PACIFIC URBAN**  
ALTERNATE: GLO, OR JELDWEN  
DOUBLE PANE. (SPACERS BLACK)



1 TYP WINDOW HEAD @ STONE SIDING  
3" = 1'-0"



2 TYP WINDOW JAMB @ STONE SIDING  
3" = 1'-0"



3 TYP WINDOW SILL @ STONE SIDING  
3" = 1'-0"

Review comments by TOMV staff forester, Michael Otto

New Single Family home located at Lot 163RC, 105 Prospect Creek.

[https://townofmountainvillage.com/site/assets/files/34871/163rc_website_and_referral_packet.pdf](https://townofmountainvillage.com/site/assets/files/34871/163rc_website_and_referral_packet.pdf)

Diversity of planting clause is not met. 8 bristlecone pine of 35 trees = 22-23%.

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New Multi-Family Condo Building located at Lot 30, 98 Aspen Ridge.

[https://townofmountainvillage.com/site/assets/files/34830/lot_30_dr_and_dtrz_referral_packet.pdf](https://townofmountainvillage.com/site/assets/files/34830/lot_30_dr_and_dtrz_referral_packet.pdf)

A landscaping plan is not provided. Landscaping will be addressed in detail as part of the second design review.

A wildfire mitigation plan has not yet been provided. Because of the size of construction related to the size of the lot, zone 1 designation would extend onto adjacent open space.

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Single Family Home located at Lot 165-7, 170 Cortina Drive.

[https://townofmountainvillage.com/site/assets/files/34872/lot_165-7_website_and_referral_packet.pdf](https://townofmountainvillage.com/site/assets/files/34872/lot_165-7_website_and_referral_packet.pdf)

Wildfire mitigation plan and landscape plan are not included.

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Single Family Home located at Lot 325, 430 Benchmark Drive.

[https://townofmountainvillage.com/site/assets/files/34873/lot_325_website_and_referral_packet.pdf](https://townofmountainvillage.com/site/assets/files/34873/lot_325_website_and_referral_packet.pdf)

A landscape plan is not yet provided. It will be submitted with the Final Architecture Review plan. Because the primary goal of the landscape plan is to retain as much existing vegetation as possible, I would recommend exempting live Aspen removal from Zone 1 requirements.



# TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

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Address: 165-7, 170 Cortina Drive  
Mountain Village, CO 81435

Architect: Centre Sky Architecture, LTD.

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The address numbers shall be minimum 4'6" from grade to the bottom of the numbers. Address numbers shall be 6" in height, reflective coated or outlined with a reflective coating.
- 3) TFPD recommends the installation of a Knox Box for access during emergency situations.

## John A. Miller

---

**From:** Finn KJome  
**Sent:** Monday, April 19, 2021 9:37 AM  
**To:** John A. Miller  
**Subject:** RE: Lot 165-7, 170 Cortina Drive Referral Packet for May 6 DRB

Hi John,  
No issues looks good.  
Finn

---

**From:** John A. Miller <JohnMiller@mtnvillage.org>  
**Sent:** Friday, April 16, 2021 1:40 PM  
**To:** Finn KJome <FKJome@mtnvillage.org>; Steven LeHane <SLeHane@mtnvillage.org>; Jim Loebe <JLoebe@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; jeremy@smpa.com; brien.gardner@blackhillscorp.com; kirby.bryant@centurylink.com; Scott Heidergott <sheidergott@telluridefire.com>; Mike Otto <MOtto@mtnvillage.org>  
**Cc:** JD Wise <JWise@mtnvillage.org>  
**Subject:** Lot 165-7, 170 Cortina Drive Referral Packet for May 6 DRB

Good Afternoon All –

Please find the following referral for a Single Family Home located at Lot 165-7, 170 Cortina Drive. This item will be heard by the DRB at the May 6 hearing.

1. New Single-Family Home, 170 Cortina Dr: [https://townofmountainvillage.com/site/assets/files/34872/lot_165-7_website_and_referral_packet.pdf](https://townofmountainvillage.com/site/assets/files/34872/lot_165-7_website_and_referral_packet.pdf)

Please let me know if there are any questions or concerns.

Best,  
J

John A Miller III  
Senior Planner  
Planning & Development Services  
Town of Mountain Village  
455 Mountain Village Blvd, Suite A  
Mountain Village, CO 81435  
O :: 970.369.8203  
C :: 970.417.1789





AGENDA ITEM 11  
**PLANNING & DEVELOPMENT SERVICE**  
**PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Mountain Village Design Review Board

**FROM:** John Miller, Senior Planner

**FOR:** Design Review Board Public Hearing; May 6, 2021

**DATE:** April 27, 2021

**RE:** Consideration of a Design Review: Initial Architecture and Site Review for a new Single-Family home on 163RC, 105 Prospect Creek, pursuant to CDC Section 17.4.11.

## Project Overview

### PROJECT GEOGRAPHY

**Legal Description:** LOT 163 RC TELLURIDE MOUNTAIN VILLAGE FILING 31 A REPLAT OF LOT 163R AND A PART OF SAN JOAQUIN RD AND PART OF TRACT OSP 48 PLAT OF TRACT OSP 48 AND OSP 50 TELLURIDE MOUNTAIN VILLAGE A PART OF SEC 3 T42N R9W NMPM COUNTY OF SAN MIGUEL COLORADO ACC TO PLAT BK 1 PG 3164 AND 3165 JUN 23 2003 AND RES AT 358643 REZONE DENSITY TRANSFER TRAIL AGREEMENT AND CONSERVATION EASEMENT

**Address:** 105 Prospect Creek Dr.  
**Applicant/Agent:** Jake Wright, Turkel Designs  
**Owner:** Damon and Aldona Spiegel  
**Zoning:** Single-Family  
**Existing Use:** Vacant  
**Proposed Use:** Single-Family  
**Lot Size:** 0.82 Acres

#### **Adjacent Land Uses:**

- **North:** Open Space
- **South:** Single-Family
- **East:** Open Space
- **West:** Open Space

### ATTACHMENTS

- Exhibit A: Application
- Exhibit B: Plan Set
- Exhibit C: Public / Referral Comments



*Figure 1: Vicinity Map*

**Case Summary:** Jake Wright of Turkel Designs (Applicant), working on behalf of Damon and Aldona Spiegel (Owner), is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot 163RC, 105 Prospect Creek Drive. The Lot is approximately 0.82 acres and is zoned Single-Family. The overall square footage of the home is approximately 5,279 gross square feet. It should be noted that Lot 163RC does contain delineated wetlands and the development of the site should take into careful consideration how to avoid impacts to this area. Otherwise, outside of the wetland, the site has been largely cleared of vegetation and the focus of the development of the Lot is within this area.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by Italicized Text.***

*Table 1*

<b><u>CDC Provision</u></b>	<b><u>Requirement</u></b>	<b><u>Proposed</u></b>
Maximum Building Height	35' (shed) Maximum	24'-5"
Maximum Avg. Building Height	30' (shed) Maximum	21'-3"
Maximum Lot Coverage	40% Maximum	31.8%
General Easement Setbacks	16' GE	Landscaping Encroachment
Roof Pitch		
Primary		1:12
Secondary		1/4:12
Exterior Material**		
Stone	35% minimum	38.4%
Windows/Doors	40% maximum	36.6%
Parking	2 enclosed / 2 surface	2/2

**Design Review Board Design Variations:**

*17.5.6: Building Design: Roof Material*

**Design Review Board Specific Approvals:**

GE Encroachment – Landscaping

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design is largely based on a shed/flat roof form with other minor shed projections. Homes with a primary shed roof form are granted a maximum building height of 35 feet. The maximum average height must be at or below 30 feet for shed roof forms. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: As part of this application, the applicant has provided both a Maximum Building Height and Average Building Height analysis. Based on the heights provided, the maximum building height is 24'-5" from the highest ridge to the grade below. The maximum*

average height is 21'-3". Both of these heights comply with the CDC requirements. Additionally, the applicant has provided a parallel plane analysis demonstrating that no portion of roof forms penetrates the 35-foot parallel slope height allowance. It should be noted that the parallel plane projection does not appear to provide existing and proposed grades. The most restrictive grade is the lesser of the existing and proposed grades. With that, the heights still appear to meet CDC requirements but prior to submittal for Final Architectural Review (FAR), the applicant shall revise Page A3-10 to A3-40 per these comments.

#### **17.3.14: General Easement Setbacks**

Lot 163RC is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

*Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:*

- *Driveway: The access for Lot 163RC is unique in that there is an existing wooden bridge and retaining wall that pre-exists this development proposal. The wooden bridge – because it serves as the driveway for the Lot is a permissible encroachment.*
- *Address Monument: The address monument appears to be located directly adjacent to the bridge described above.*
- *Utilities: The shallow utility connections are currently located on the site along with the sewer, but the water service is located within the ROW of Prospect Creek Drive and will require crossing the GE of Lot 163RC. The proposed locations are conceptual at this time, but generally speaking, only the front GE will be disturbed with the water connection.*
- *Landscaping: The proposed landscaping is within the GE surrounding the home. While natural landscaping is permitted, any associated irrigation or hardscaping must be approved by the DRB and any approved encroachments within the GE must be memorialized in a GE Encroachment Agreement.*

*The only encroachment in the GE that is not permitted by the CDC is the above-described landscaping improvements that do not fall into the natural category. These will require the DRB to determine their appropriateness. If not, then the applicant shall revise the plans to remove non-permitted GE encroachments.*

## **Chapter 17.5: DESIGN REGULATIONS**

### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to

evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: The proposed home at Lot 163RC is very modern in form compared to other homes in the Mountain Village, although flat roofs have become more common recently. While low slope shed and flat roof forms have not been a traditional high alpine architectural design, advances in technology and engineering have allowed for flat roof forms to be designed in a way that does appear to function in high snow areas that have been historically limited to steeper sloped roofs. The materials palette for the project appears to contrast well between the light hemlock siding, Telluride Montblanc stone base, metal accents, and the darker roof. The form of the building itself is unique in that its horizontally linear which is logical given the narrowness of the Lot, but the form appears to be augmented nicely through the vertical stone elements that project upwards as seen from different elevations within the plan set.*

#### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into the existing landforms and vegetation.

*Staff: Lot 163RC and the proposed building siting appear to be largely driven by the shape of the lot, the delineated wetland area, and an existing conservation easement that generally is approximately co-linear to the delineated wetland. From historic aerial imagery, it appears the site was largely cleared of vegetation prior to 2008, but staff is unsure at this time why the Lot was cleared absent a development proposal.*

*With the constraints listed above in mind, the applicant has been successful in limiting any impacts to the General Easement surrounding the home with the exception of some minor landscaping and hardscaping. The topography of the site is rather flat, but due to its location in the prospect creek drainage, the lot sits below the surrounding lots. The height of the project is quite subdued and appears to blend well into the topography of the site. The large trees that are currently remaining on the site have been identified to be protected and incorporated into the design of the landscaping. Overall, given the pre-disturbed nature of the site staff believes that the applicant has met the requirement that the development blend into the existing landforms and vegetation.*

#### **17.5.6: Building Design**

*Staff: The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation. To accomplish this, the applicant is proposing a Telluride Montblanc stone in a thin veneer pattern. At nearly 40%, staff does believe that the stone foundation of the home as proposed accomplishes this standard. As noted above, the vertical projections of stone help to complement the geometry and horizontal nature of the home. The wood cladding is proposed as a 1x6" T&G thermally modified hemlock that appears to be pre-finished in a light stain, and the proposed soffit and fascia material is a cocoa finish wood trim that contrasts nicely with the siding and roof materials. At 36% glazing, there could be some issues related to energy efficiency, but staff does not take issue with the proposed design given that the home is able to meet HERS. Based on the plans provided, the applicant is meeting all materials requirements for Stone and Glazing. It should be noted that there are small portions of the home that are cantilevered and overhand the stone base, but staff does not feel that this minor overhang detracts from the home's being grounded.*

*Window and door trim are proposed as a painted aluminum bronze finish, but more detail should be provided in the form of door and garage door schedules before FAR. Any*

*windows and or doors located within stone must be recessed per the CDC and it appears that the applicant has provided this detail in the plans.*

*Given the low slope and flat roofs, the applicant has proposed an EPDM roof membrane which is described on edpmroofs.org as “an extremely durable synthetic rubber roofing membrane (ethylene propylene diene terpolymer) widely used in low-slope buildings in the United States and worldwide. Its two primary ingredients, ethylene and propylene, are derived from oil and natural gas. EPDM is available in both black and white, and is sold a broad variety of widths, ranging from 7.5 feet to fifty feet, and in two thicknesses, 45 and 60 mils. EPDM can be installed either fully adhered, mechanically attached or ballasted, with the seams of the roofing system sealed with liquid adhesives or specially formulated tape”.*

*The DRB has been hesitant in the past to grant approvals for membrane roof materials but has been generally comfortable with ballasted roof systems that overlay the membrane with another material. Staff is recommending that the low slope roof with slopes of 1:12 be modified to a metal or synthetic Class A Roof Material, and the flat areas of the roof are treated with a ballasted material to disguise the EPDM roof. The DRB should discuss this in more detail to determine its appropriateness.*

*The applicant has not proposed any snowmelt at this time, but staff is anticipating some snowmelt in exterior areas of the home. Prior to FAR, the applicant shall revise these plans to detail areas of exterior snowmelt and the associated square footages.*

#### **17.5.7: Grading and Drainage Design**

*Staff: Given the generally flat nature of the site, staff’s main concerns at Lot 163RC are related to the delineated wetland area to the south of the home. The applicant has provided a grading plan in accordance with the CDC requirements, but additional information should be provided before final to address the following concerns:*

- 1. Finished Grade / Final Slope Calculations – the grading plan should be revised to better demonstrate areas of grading to occur around the home, along with the proposed finished slope calculations of any disturbed area.*
- 2. Drainage information should be provided to demonstrate that the home is providing positive drainage away from the home and away from wetland areas on the Lot.*

#### **17.5.8: Parking Regulations**

*Staff: The CDC requires all single-family developments to provide two interior and two surface parking spaces. The applicant is currently meeting this requirement.*

#### **17.5.9: Landscaping Regulations**

*The applicant has provided a landscaping plan for initial review. This plan demonstrates planting locations, revegetation notes, and other general requirements. Prior to FAR, the plan shall be revised to include irrigation locations in order to better determine the extent of the GE Encroachments as well as provide specific revegetation notes for the native seed mix specified in the CDC. Generally speaking, staff does not believe this plan meets the requirements of the CDC for fire-resistant species. Additional information to be provided below in the Fire Mitigation provisions of this report.*

#### **17.5.11: Utilities**

*Staff: All utilities are currently located within the Prospect Creek ROW or Lot 163RC and will only require connections to the home. The applicant shall work with the Public Works*

*Director before the final review to determine the specific locations of the connections for the home as these locations are conceptual only.*

#### **17.5.12: Lighting Regulations**

*Staff: The applicant has provided a preliminary lighting plan and it appears that the proposed locations and fixture types meet the requirements of the CDC. Generally speaking, the lighting appears to be subdued and generally provided in areas required by the CDC and building code. The lighting as proposed for the address monument should be modified from a backlit design to a down-lit design before final review and due to the size of the home, a photometric study will also be required.*

#### **17.5.13: Sign Regulations**

*Staff: The applicant has provided architectural details for the address monument and it does appear to meet the requirements of the CDC except for the backlit lighting discussed above.*

### **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

#### **17.6.1: Environmental Regulations**

*Staff: Fire Mitigation and Forestry Management: The applicants have provided a fire mitigation plan but Staff does have concerns with the large amount of vegetative screening that has been included within the dripline of the home and outside of Zone 1. Staff recommends revising the fire mitigation plan to better demonstrate the intent of these provisions in a way that allows for screening but also provides fire protection.*

*Steep Slopes: The building site does not contain steep slopes.*

*Wetland Regulations: Lot 163RC does contain a wetland that was delineated October of 2020. Given the delineation does not encroach on the proposed design of the home, the main focus will be ensuring that these wetlands are not inadvertently disturbed as part of the construction. This will require fencing, both construction, silt fencing, and potentially silt wattles to ensure that no sediment enters the wetland area and that it is not disturbed in any way.*

#### **17.6.6: Roads and Driveway Standards**

*Staff: The civil plans provided indicate that the driveway widths do meet the requirements of the code at 12 feet in width with two-foot shoulders. The driveway grade is demonstrated on page C1-10, and the majority of the driveway is 4-5% grade.*

#### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: The applicant has indicated that the proposed home does include fireplaces and they have been identified as natural gas devices. Prior to Final Review, these plans should be revised to explicitly state that the exterior firepit to the rear of the Lot is also natural gas burning.*

### **Chapter 17.7: BUILDING REGULATIONS**

#### **17.7.19: Construction Mitigation**

*Staff: The applicant has submitted a construction mitigation plan for this project. Based on the location and topography of the Lot, staff believes that the proposed CMP is logical and meets the requirements of the CDC as shown. Some temporary parking may be required on Prospect Creek Drive but given the flatness of the site and the existing access bridge, the majority of the parking should be able to be accommodated on the site throughout the project. Any areas of the GE that are disturbed during construction are required to be returned to their pre-disturbed condition prior to issuance of a CO.*

**Staff Recommendation:** Staff recommends the DRB approve the Initial Architectural and Site Review for Lot 163RC, 105 Prospect Creek Drive.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

**Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot 163RC, 105 Prospect Creek Drive, based on the evidence provided within the Staff Report of record dated April 27, 2021, with the following and Design Variations and Specific Approvals:

**Design Review Board Design Variations:**

*17.5.6: Building Design: Roof Material*

**Design Review Board Specific Approvals:**

GE Encroachment – Landscaping

And, with the following conditions:

- 1) Prior to submittal for Final Architectural Review, the applicant shall revise pages A3-10 to A3-40 so that the parallel plane analysis demonstrates both existing and finished grade projections for the 35-foot height allowance.
- 2) Prior to submittal for Final Architectural Review, the applicant shall revise the roof plan and materials per the comments of this Staff Memo of record.
- 3) Prior to submittal for Final Architectural Review, the applicant shall revise the Civil Grading plan so that the finished grade is more clearly identified, and in a way that also demonstrates final slope and positive drainage away from the home.
- 4) Prior to submittal for a Final Architectural Review, the applicant shall provide a full door and garage door schedule.
- 5) Prior to submittal for a Final Architectural Review, the applicant shall demonstrate areas of the proposed snowmelt.
- 6) Prior to submittal for a Final Architectural Review, the applicant shall revise the landscaping plan to include irrigation location details to determine the extent of the GE encroachments. Additionally, the applicant shall revise the landscaping plan based on referral comments from the Town Forester.
- 7) Prior to submittal for a Final Architectural Review, the applicant shall revise the address monument design and lighting plan so that the address monument numbering is down lit per the requirements of the CDC.
- 8) Prior to the submittal for a Final Architectural Review, the applicant shall provide additional lighting plan details such as a photometric study.
- 9) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 10) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

- 11) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 12) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 13) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 14) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials

/jjm

Town of Mountain Village Planning and Development Services  
455 Mountain Village Blvd.  
Suite A  
Mountain Village, CO 81435

March 10, 2021

To the members of the Design Review Board,

We respectfully submit the following proposal for a single-family residence of approximately 5,300 square feet to be located on Lot 163R-C for Initial Architecture and Site Review.

Lot 163R-C is an undeveloped and relatively level lot that is substantially clear and open. The lot is long and narrow, and dimensionally constrained in the east-west direction. The perimeter of the site is wooded, with a clearing towards an existing trail towards the northeast corner of the site. The General Easement was partially cleared of trees at an unknown previous point.

There is one immediately adjacent developed residential property towards the south (Lot 163R-A). Lot 163R-C shares a property line with Lot 163 R-A for approximately 10 feet at the southwest corner of the lot. Two other adjacent lots (163R-B and OSP48-B) remain undeveloped.

There are wetlands along the western side of the site that have been defined according to several overlaid boundary lines, mapped at different points over time. These boundary lines are indicated on a survey prepared by Foley Associates, Inc., dated October 29, 2020, included in this submission. There is an existing wetlands delineation line from an amendment to the final plat of lot 163, filing 31 (Telluride Mountain Village). The wetlands boundaries have been staked in the field twice by Chris Hazen of the Terra Firm, Inc., in September 2006 and again in October 2020 due to the time frame elapsed since the initial staking. All wetlands will be protected during construction with appropriate sediment and erosion control measures.

Additionally, there is a Conservation Easement (per Reception No. 329471) towards the southwest corner of the site. It has been indicated by Planning and Development Services that the Conservation Easement may have been redefined based on more current surveying – this is pending confirmation. We are deferring to the boundary in the current survey at the moment.

Entry to the site is via an existing bridge over a small creek. The connection from Prospect Creek Drive to the bridge is located in the General Easement. The orientation of the bridge is such that an extrapolated driveway necessarily impedes on the General Easement for approximately 100 feet along the southeast corner of the site. We are not proposing modifications to the orientation of the existing bridge and would request relief from the General Easement setback requirements where the proposed driveway impedes at the 100 foot length along the southeast portion of the site.

The current owner submitted a previous proposal for a single-family residence to the Design Review Board in 2017, which was approved on August 3, 2017. At that time, a site plan with a driveway substantially impeding on the General Easement was approved, with the condition that the owners enter into a revocable General Easement encroachment agreement. In the current site design, we have endeavored to keep the driveway and any grading entirely out of the General Easement, with a turn around driveway configuration that has been fitted within the General Easement setback lines on the east and west. The turn around is also configured to preserve an existing stand of trees at the south-central portion of the site.

Due to the east-west dimensional constraints of the site, we are requesting relief from the Fire Protection Turn Around Standards as indicated in Appendix 17-1 of the Community Development Code. None of the indicated turn arounds will fit dimensionally on the site.

The project landscape architect, Beth Moeller Bailis of Caribou Designs, has prepared a separate narrative included in this submission regarding proposals to locate some landscape elements in the General Easement, with a further explanation of requests for relief from the General Easement requirements based on the unusual constraints of the site.

We believe that the proposed architectural design substantially conforms to the letter and intent of the Community Development Code. The aesthetic impact of the project on the community will be minimal, and is mitigated by the relative isolation of the site. The site is surrounded by trees along the majority of the perimeter of the lot, which visually isolates the property from the surrounding neighborhood. The single immediately adjacent developed residential property (Lot 163R-A) is approximately 300 feet distant from the proposed site of the house, with substantial tree cover separating the two properties. Additionally, the house is sited approximately 200 feet from Prospect Creek Drive, and is screened by a stand of existing trees, so the visibility of the house from the public road will be limited.

The proposal is for a two-story house, and thus the project will be substantially under the height limit of 35 feet for a pitched roof, per CDC Section 17.3.12. The roofline will be screened by trees on all sides, and at no point will the roof height exceed the height of the surrounding tree line.

Per the design requirements in CDC Section 17.5.6, the proposal features a composition of flat (low-slope) and sloped roofs at variable heights, breaking up the overall mass and creating visual interest on all elevations. Due to the low pitch of the roofs, we request relief from the roof material requirements, due to the limited visibility of the roof from ground level. The roof material proposed is an EPDM membrane in a gray color that is intended to recede into the shadows of the tree canopy if viewed from above.

The design features substantial stone walls at the base on all elevations, which are punctuated by several double-height pier-like elements, including two chimneys. The intended overall effect is to “ground” the house to the site with the visual weight of the stone mass, per the CDC requirements, particularly when viewed from the entry. The stone mass on the entry side will be counterbalanced by wider double-height expanses of glass at the living spaces towards the north end. To mitigate the aesthetic impact of the reduction in stone at the living space elevations, to the extent possible these spaces have been oriented away from the more visually prominent entry side of the house.

The proposed material palette is limited to organic and hand-crafted materials, including stone and horizontal wood siding in a natural finish and accents in grays and earth tones. Overall, we believe the proposal is complimentary to the Alpine design theme of the town in regards to building form and materiality, and has been designed to blend into its surroundings and to minimize the aesthetic impact of any variances from the CDC.

Thank you again for the opportunity to submit this project for your review.

Sincerely,

Jake Wright  
Partner  
Turkel Design, LLC

CARIBOU DESIGN ASSOCIATES  
Landscape Architecture and Planning

Spiegel Residence  
Lot 163-RC  
Landscape Narrative

Lot 163-RC by nature presents a couple of significant design challenges for building siting, access and driveway layout, and the related landscape. The most obvious challenge lies in the shape of the lot. Long and narrow with the access point located at the south end of the longer axis, the lot demands a narrow building footprint. The greater site issue however is the wetlands which take up a considerable area of the lot. Additionally these wetlands are located along the longer axis forcing an even narrower siting for the building. These two site issues present a genuine hardship for building siting and access.

In order to access lot 163-RC from Prospect Creek Drive and accommodate the wetlands a bridge was built at some point previously and currently marks the beginning of the property's driveway. This bridge was placed partially in the eastern general easement. For this reason, a portion of our driveway was forced into the GE to meet the bridge. From there, the proposed driveway design successfully maneuvers out of the GE the remainder of the distance to the home. As is allowed within the CDC in cases of hardship, the applicant is seeking DRB permission for this small piece of driveway to exist within the general easement.

The second design accommodation in response to the narrowed building siting is the placement of some landscape elements in the general easement. The primary outdoor living and recreation spaces are located on the eastern side. The applicant is seeking permission to place a small patio near the southeastern corner of the home that would sit within the general easement. The adjacent property opposite this general easement is designated open space. For this reason, it seems an appropriate request to expand some of the livable landscape area into this general easement as it would not impede into a 'setback' area between two residential properties impacting another homeowner.

The applicant requests the design review board to consider these hardships while reviewing.



Beth Bailis  
Landscape Architect  
Caribou Design

PO box 3855 Telluride, Colorado 81435  
(970)-708-1232 CaribouDesign@gmail.com



**VICINITY MAP**



**PROJECT INFORMATION**

**ZONING INFORMATION:**

Zone: Single-Family (SF)  
 Lot: 163R-C  
 Tax Area: 108  
 Lot Area: 0.82 acres (35,719.2 sf)  
 Lot Coverage Allowable: 40%  
 Setbacks: 16'-0" general easement (all lot boundaries)  
 Maximum Building Height: 16'-0" general easement (all lot boundaries)  
 Maximum Average Building Height: 40'-0" (35'-0" + 5'-0" gable ridge, CDC 17.3.12 Table 3-3, Footnote 1)  
 Parking Required: 2 enclosed spaces in garage and 2 surface parking spaces (CDC 17.5.8 Table 5-2)  
 Sprinklers: Per CDC 17.7.11, B., 15., an automatic residential fire sprinkler system will be installed (finished habitable space exceeds 3600 square feet)

**AREA:**

Garage: 642 sf  
 Main Floor: 2,582 sf  
 Upper Floor: 2,055 sf  
**Total: 5,279 sf**

**LOT COVERAGE:**

House: 4,712 sf  
 Terraces and Walkways: 1,326 sf  
 Driveway: 5,325 sf  
**Total: 11,363 sf**  
**Lot Coverage: 31.8% (40% maximum)**

**PROJECT TEAM**

**Owner**

Damon and Aldona Spiegel  
 2727 Barbara Lane  
 Houston, TX 77005

damon@spiegel1.com  
 832-877-3369

**Architect**

Turkel Design  
 840 Summer Street, #104  
 Boston, MA 02127

Contact:  
 Paul Dahlke  
 paul@turkeldesign.com  
 617-868-1867 x 116

**Architect of Record**

Elton + Hampton Architects  
 103 Terrace St  
 Roxbury, MA 02120

Contact:  
 Bruce Hampton,  
 AIA, LEED AP  
 bruce@eltonhamptonarchitects.com  
 617-708-1071

**Landscape Architect**

Caribou Design  
 Associates  
 PO Box 3855  
 Telluride, CO 81435

Contact:  
 Beth Moeller Bailis  
 cariboudesign@gmail.com  
 970-708-1232

**Surveyor**

Foley Associates, Inc.  
 PO Box 1385  
 125 W. Pacific, Suite B-1  
 Telluride, CO 81435

Contact:  
 Jeff Haskell  
 jhaskell@foleyassoc.com  
 970-728-6153

**Civil Engineer**

Telluride Engineering  
 PO Box 405  
 Telluride, CO 81435

Contact:  
 Jack Gardner, P.E.  
 jgardner.pe@gmail.com  
 970-728-5440

**SHEET INDEX**

- G1-10 Cover Sheet
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- V1-10 Survey
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- C1-20 Utility Plan
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- A5-10 Material Calculations
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- A7-10 Axons
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- A9-10 Exterior Finish Details

**TURKEL**

617.868.1867  
 TURKELDESIGN.COM

**SPIEGEL RESIDENCE**  
 105 PROSPECT CREEK DRIVE  
 MOUNTAIN VILLAGE, CO 81435

CLIENT HAS REVIEWED AND APPROVED THESE PLANS (SIGN EACH SHEET)

DATE

CLIENT SIGNATURE

DRAWING CREATED

Design Review

Number	Date
1	03/09/21

1	03/09/21
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Cover Sheet

drawing number  
 G1-10

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## GENERAL NOTES

### Contract Documents:

Contract documents consist of the agreement, general conditions, specifications, detail book and drawings, which are cooperative and continuous. Work indicated or reasonably implied in any one of the documents shall be supplied as though fully covered in all. Any discrepancies between the parts shall be reported to the architect prior to the commencement of work. These drawings are part of the contract documents for this project. These drawings are the graphic illustration of the work to be accomplished. All dimensions noted take precedence over scaled dimensions. Dimensions notes with "N.T.S." denotes not to scale.

### Organization:

The drawings follow a logical, interdisciplinary format: architectural drawings (A sheets), civil drawings (C sheets), structural (S Sheets), mechanical and plumbing (M sheets), electrical (E sheets) and lighting (LTG sheets).

### Code Compliance:

All work, materials and assemblies shall comply with applicable state and local codes, ordinances and regulations. The contractor, Subcontractors and journeymen of the appropriate trades shall perform work to the highest standards of craftsmanship and in accordance with AIA Document A201 - Section 3. The building inspector shall be notified by the contractor when there is need of inspection as required by the international building code or any local code or ordinance.

### Applicable Codes:

International Building Code (2018)  
National Electrical Code (2020)  
International Fuel Gas Code (2018)  
International Energy Conservation Code (2018)  
International Existing Building Code (2018)  
International Fire Code (2018)  
International Mechanical Code (2018)  
International Plumbing Code (2018)  
International Residential Code (2018)

With amendments as indicated in Sections 17.7.10 through 17.7.19 in Title 17 of Town of Mountain Village Municipal Code, amended August 20, 2020.

### Intent:

These documents are intended to include all labor, materials, equipment and services required to complete the work described herein.

### Coordination:

The contractor shall carefully study and compare the documents, verify actual conditions and report any discrepancies, errors or omissions to the architect in a timely manner. The architect shall clarify or provide reasonable additional information required for successful execution. The contractor shall verify and coordinate all openings through floors, ceilings and walls with all architectural, interior, structural, mechanical and plumbing, electrical and lighting drawings. Contractor will assume responsibility of items requiring coordination and resolution during the bidding process.

### Substitutions:

Any materials proposed for substitution of those specified or the called-out-by-trade-name in these documents shall be presented to the architect for review. The contractor shall submit samples when required by the architect and such samples shall be reviewed by the architect before the work is performed. Work must conform to the reviewed samples. Any work which does not conform shall be removed and replaced with work which conforms at the contractor's expense. Subcontractors shall submit requests for review through the general contractor when work is let through him or her. Required verification and submittals to be made in adequate time as not to delay work in progress.

### Shop Drawings:

Shop drawings shall be submitted to the architect for his or her review where called for anywhere in these documents. Review shall be made by the architect before work is begun, and work shall conform to the reviewed shop drawings, subject to replacement as required in paragraph "substitutions" above.

### Safety & Protection of Work:

The contractor shall be responsible for the safety and care of adjacent properties during construction for compliance with Federal and state O.S.H.A. Regulations, and for the protection of all work until it is delivered completed to the owner.

# TURKEL

617.868.1867  
TURKELDESIGN.COM

SPIEGEL RESIDENCE

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1	03/09/21
---	----------



General  
Notes

drawing number  
G1-20

WETLANDS FLAGGING AS DETERMINED BY CHRIS HAZEN IN SEPT., 2006 AND LOCATED BY FOLEY ASSOC. ON 9-21-06

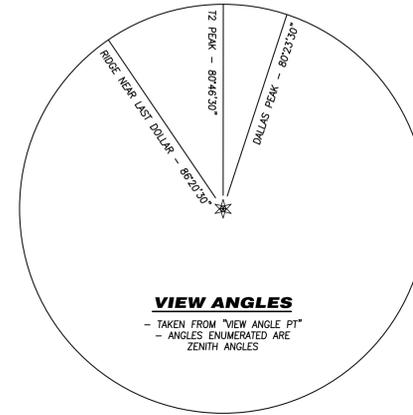
WETLANDS FLAGGING AS DETERMINED BY CHRIS HAZEN IN OCT., 2020 AND LOCATED BY FOLEY ASSOC. ON 10-27-20

WETLANDS AS DELINEATED ON AMENDMENT TO THE FINAL PLAT OF LOT 163, FILING 31, TELLURIDE MOUNTAIN VILLAGE

WETLANDS FLAGGING AS DETERMINED BY CHRIS HAZEN IN SEPT., 2006 AND LOCATED BY FOLEY ASSOC. ON 9-21-06

WETLANDS FLAGGING AS DETERMINED BY CHRIS HAZEN IN OCT., 2020 AND LOCATED BY FOLEY ASSOC. ON 10-27-20

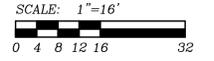
WETLANDS AS DELINEATED ON AMENDMENT TO THE FINAL PLAT OF LOT 163, FILING 31, TELLURIDE MOUNTAIN VILLAGE



**VIEW ANGLES**  
- TAKEN FROM "VIEW ANGLE PT"  
- ANGLES ENUMERATED ARE ZENITH ANGLES

**LEGEND**

	WATER VALVE
	SEWER MANHOLE
	FOUND 1-1/2" ALUMINUM CAP ON #5 REBAR, L.S. 24954
	FOUND 1-1/2" ALUMINUM CAP ON #5 REBAR, L.S. 24966
	FOUND STEEL PIN WITH NO CAP



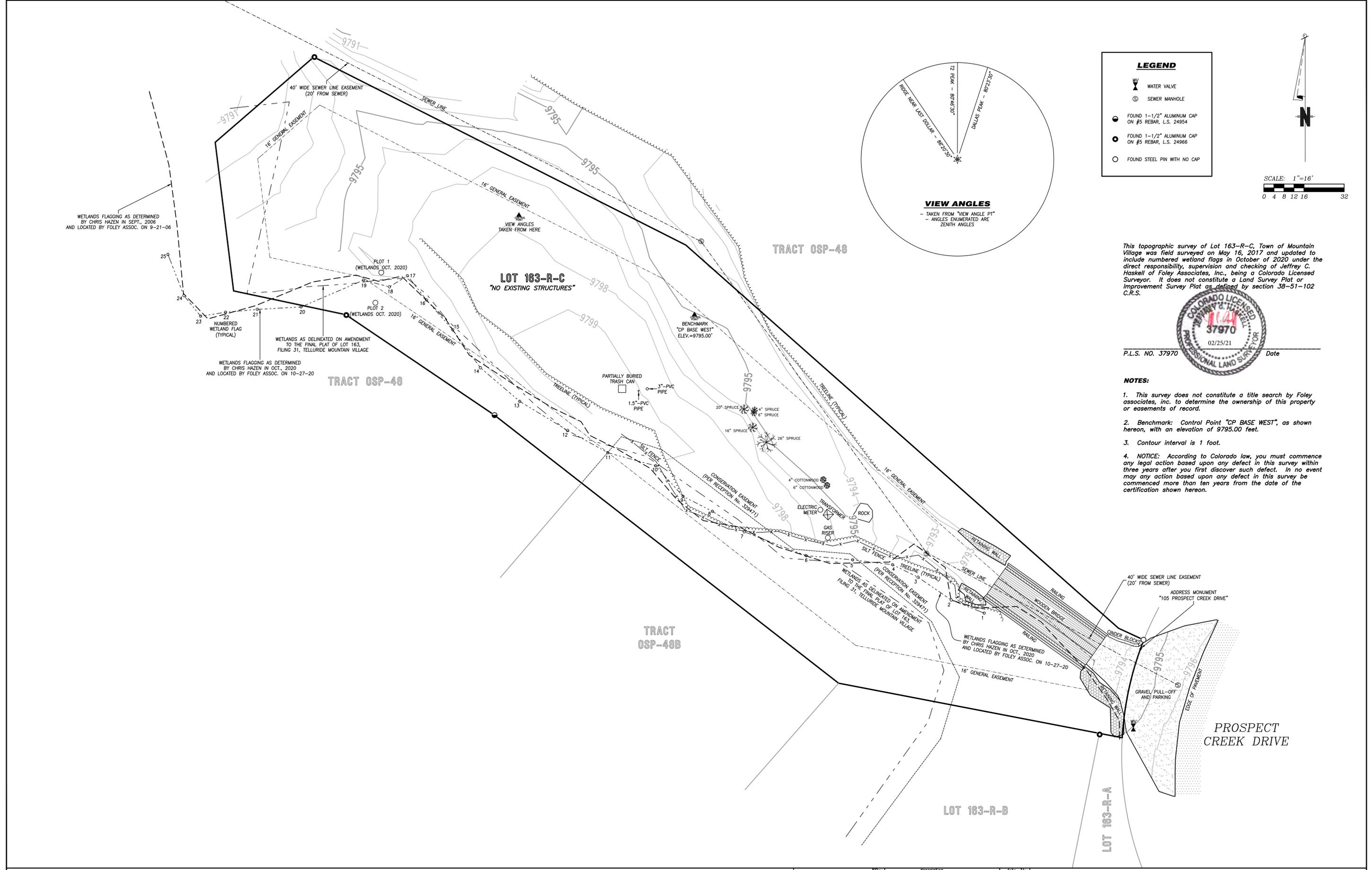
This topographic survey of Lot 163-R-C, Town of Mountain Village was field surveyed on May 16, 2017 and updated to include numbered wetland flags in October of 2020 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 _____ Date

**NOTES:**

1. This survey does not constitute a title search by Foley associates, inc. to determine the ownership of this property or easements of record.
2. Benchmark: Control Point "CP BASE WEST", as shown hereon, with an elevation of 9795.00 feet.
3. Contour interval is 1 foot.
4. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



**Topographic Survey**  
Lot 163-R-C, Telluride Mountain Village, Filing 31,  
San Miguel County, Colorado.

Project Mgr:	JH
Technician:	MC
Checked by:	KV/NW
Start date:	05/16/2017



970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

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DRAWN BY:  
Sherab Kloppenburg  
sherab@sk4designs.com

ARCHITECT OF RECORD:  
TURKLEL  
617 868 1867  
TURKLEDESIGNS.COM

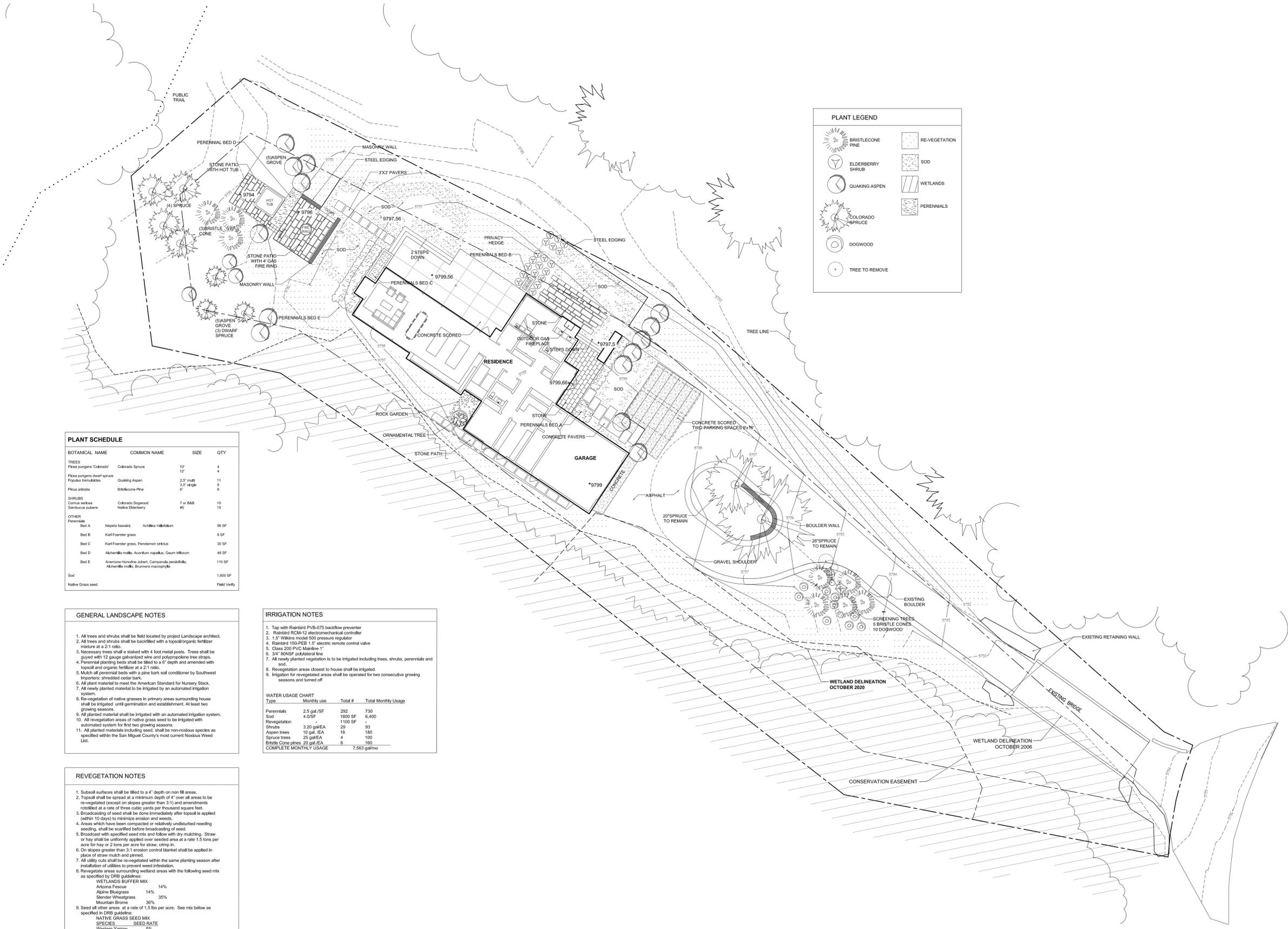
# SPIEGEL RESIDENCE

Lot 163 RC  
Mountain Village

THIS IS PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION  
**ISSUE DATE:**  
MARCH 08 2021

REVISION:  
**DATE:**  
MARCH 08 2021

LANDSCAPE PLAN  
L1-10



**PLANT LEGEND**

	BRISTLECONE PINE		RE-VEGETATION
	ELDERBERRY SHRUB		SOD
	QUAKING ASPEN		WETLANDS
	COLORADO SPRUCE		PERENNIALS
	DOGWOOD		
	TREE TO REMOVE		

**PLANT SCHEDULE**

BOTANICAL NAME	COMMON NAME	SIZE	QTY
<b>TREES</b>			
<i>Picea sitchensis</i> 'Colorado'	Colorado Spruce	10'	4
<i>Picea pungens</i> dwarf spruce		12'	4
<i>Populus tremuloides</i>	Quaking Aspen	2.5' multi	11
<i>Pinus aristata</i>	Bristlecone Pine	3/8' single	8
<b>SHRUBS</b>			
<i>Comus arvensis</i>	Colorado Dogwood	7 or 8AS	10
<i>Sambucus pubens</i>	Native Elderberry	RS	19
<b>OTHER</b>			
<b>Perennials</b>			
Bed A	<i>Nepeta haworthii</i> , <i>Achillea millefolium</i>		96 SF
Bed B	<i>Karl Foerster grass</i>		8 SF
Bed C	<i>Karl Foerster grass</i> , <i>Penstemon strictus</i>		30 SF
Bed D	<i>Alchemilla mollis</i> , <i>Aconitum napellus</i> , <i>Geum triflorum</i>		48 SF
Bed E	<i>Anemone Honorine Jobert</i> , <i>Campanula persicifolia</i> , <i>Alchemilla mollis</i> , <i>Brunnera macrophylla</i>		110 SF
Sod			1,600 SF
Native Grass seed			Feldi Verity

- GENERAL LANDSCAPE NOTES**
- All trees and shrubs shall be field located by project Landscape architect.
  - All trees and shrubs shall be backfilled with a topsoil/organic fertilizer mixture at a 2:1 ratio.
  - Necessary trees shall be staked with 4 foot metal posts. Trees shall be girdled with 1/2 gauge galvanized wire and polypropylene tree straps.
  - Perennial planting beds shall be tilled to a 6" depth and amended with topsoil and organic fertilizer at a 2:1 ratio.
  - Mulch all perennial beds with a pine bark soil conditioner by Southwest Importers; shredded cedar bark.
  - All plant material to meet the American Standard for Nursery Stock.
  - All newly planted material to be irrigated by an automated irrigation system.
  - Re-vegetation of native grasses in primary areas surrounding house shall be irrigated until germination and establishment. At least two growing seasons.
  - All planted material shall be irrigated with an automated irrigation system.
  - All revegetation areas of native grass seed to be irrigated with automated system for first two growing seasons.
  - All planted materials including seed, shall be non-noxious species as specified within the San Miguel County's most current Noxious Weed List.

**IRRIGATION NOTES**

- Tap with Rainbird PVB-075 backflow preventer
- Rainbird RCM-12 electromechanical controller
- 1.5" Wilma model 700 pressure regulator
- Rainbird 150-PEB 1.5" electric remote control valve
- Class 200 PVC Mainline 1"
- 3/4" BONSF polybutene line
- All newly planted vegetation is to be irrigated including trees, shrubs, perennials and sod.
- Revegetation areas closest to house shall be irrigated.
- Irrigation for revegetated areas shall be operated for two consecutive growing seasons and turned off

**WATER USAGE CHART**

Type	Monthly use	Total #	Total Monthly Usage
Perennials	2.5 gal./SF	292	730
Sod	4.0 SF	1600 SF	6,400
Revegetation		1100 SF	
Shrubs	3.20 gal/EA	29	93
Aspen trees	10 gal./EA	16	160
Spruce trees	25 gal/EA	4	100
Bristle Cone pines	20 gal/EA	8	160
<b>COMPLETE MONTHLY USAGE</b>			<b>7,563 gal/mo</b>

- REVEGETATION NOTES**
- Subsoil surfaces shall be tilled to a 4" depth on non fill areas.
  - Topsoil shall be spread at a minimum depth of 4" over all areas to be re-vegetated (except on slopes greater than 3:1) and amendments rototilled at a rate of three cubic yards per thousand square feet.
  - Broadcasting of seed shall be done immediately after topsoil is applied (within 10 days) to minimize erosion and weeds.
  - Areas which have been compacted or relatively undisturbed needing seeding, shall be scarified before broadcasting of seed.
  - Broadcast with specified seed mix and follow with dry mulching. Straw or hay shall be uniformly applied over seeded area at a rate of 1.5 tons per acre for hay or 2 tons per acre for straw, clump in.
  - On slopes greater than 3:1 erosion control blanket shall be applied in place of straw mulch and pinned.
  - All utility cuts shall be re-vegetated within the same planting season after installation of utilities to prevent weed infestation.
  - Revegetate areas surrounding wetland areas with the following seed mix as specified by DRB guidelines:  
**WETLANDS BUFFER MIX**  
Arizona Fescue 14%  
Alpine Bluegrass 14%  
Slender Wheatgrass 35%  
Mountain Brome 30%  
9. Seed all other areas at a rate of 1.5 lbs per acre. See mix below as specified in DRB guidelines:  
**NATIVE GRASS SEED MIX**  
**SPECIES SEED RATE**  
Western Yarrow 5%  
Tall Fescue 10%  
Arizona Fescue 5%  
Hard Fescue 5%  
Creeping Red Fescue 10%  
Alpine Bluegrass 15%  
Canada Bluegrass 10%  
Perennial Ryegrass 15%  
Slender Wheatgrass 10%

**LANDSCAPE PLAN**  
SCALE: 1/16"=1'-0"



DRAWN BY:  
 Sherab Kloppenburg  
 sherab@sk4designs.com

ARCHITECT OF RECORD:  
 TURKLEL  
 617 868 1867  
 TURKLEDESIGNS.COM

**SPIEGEL RESIDENCE**  
 Lot 163 RC  
 Mountain Village

THIS IS PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

**ISSUE DATE:**

MARCH 08 2021

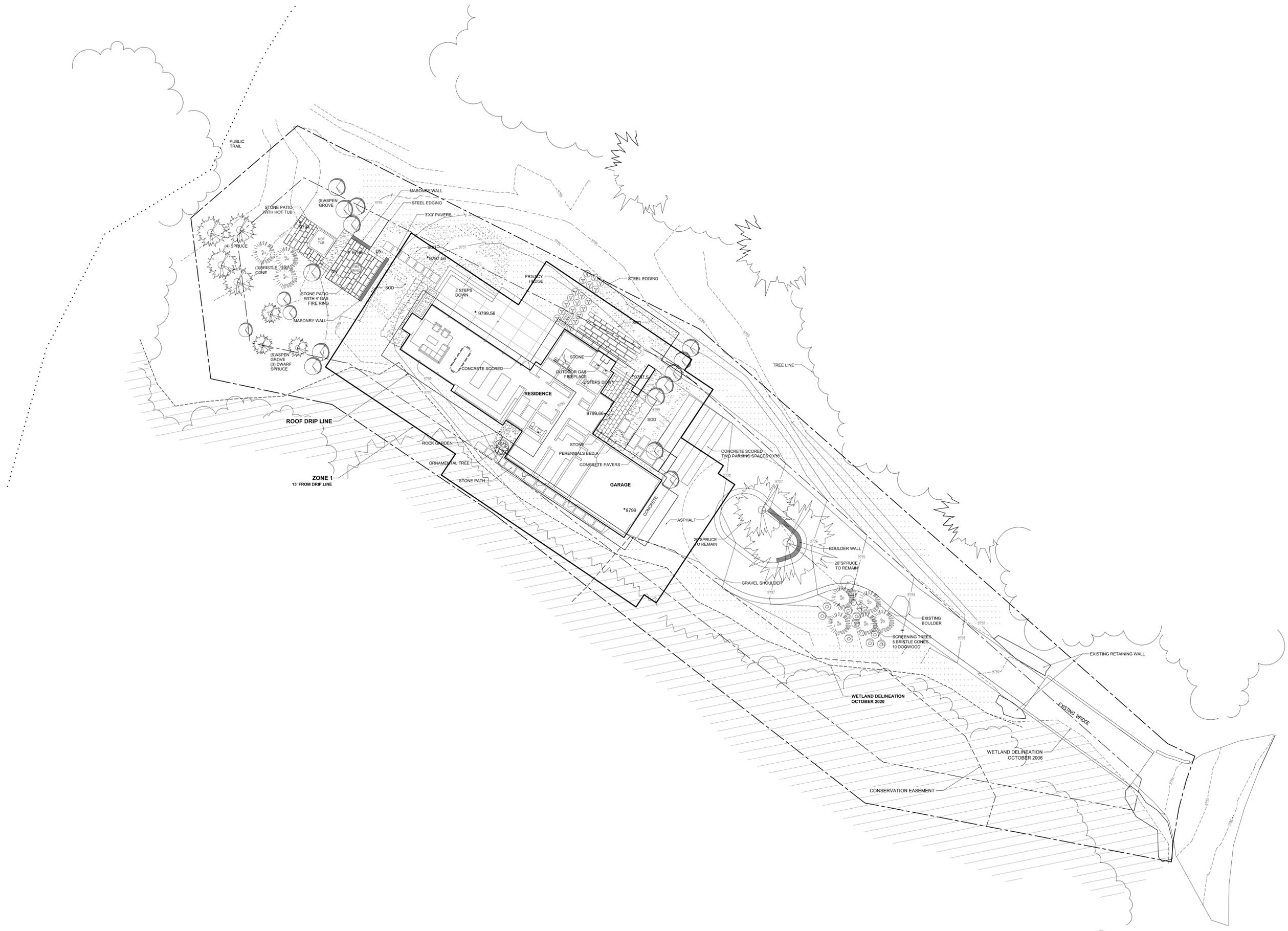
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**REVISION:**

**DATE:**

MARCH 08 2021

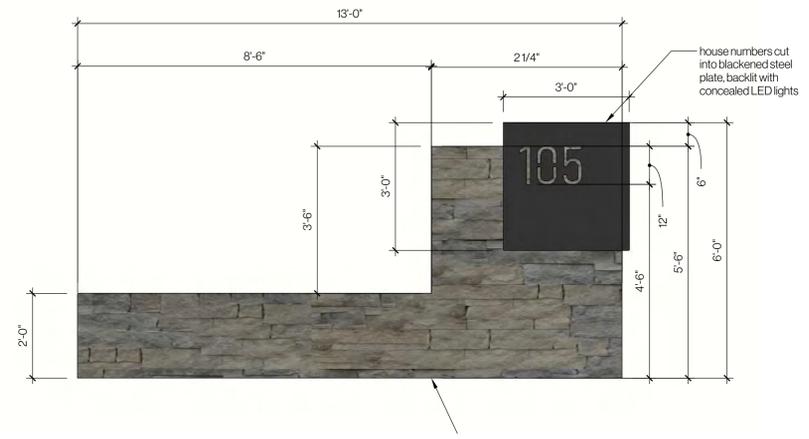
FIRE  
 MITIGATION  
  
**L1-20**



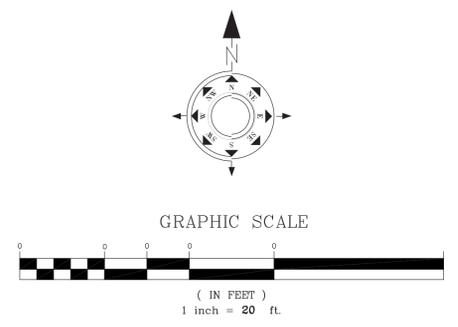
**FIRE MITIGATION**  
 SCALE: 1/16" = 1'-0"  


Revision Schedule	
Number	Date
1	03.03.21

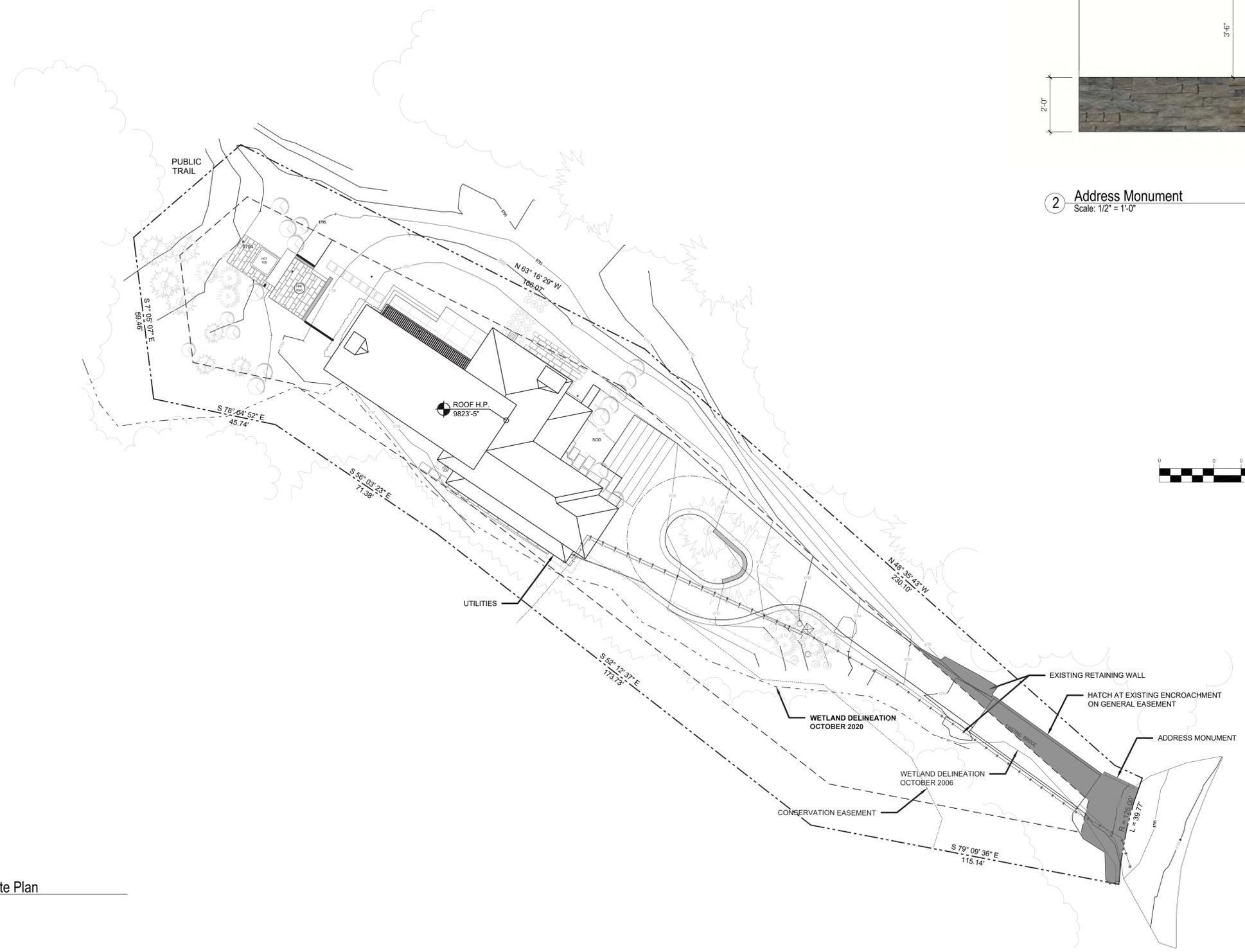
ARCHITECT



2 Address Monument  
Scale: 1/2" = 1'-0"



1 Architectural Site Plan  
Scale: 1" = 20'-0"



DRAWING CREATED  
08/25/20

Revision Schedule	
Number	Date
1	03.03.21



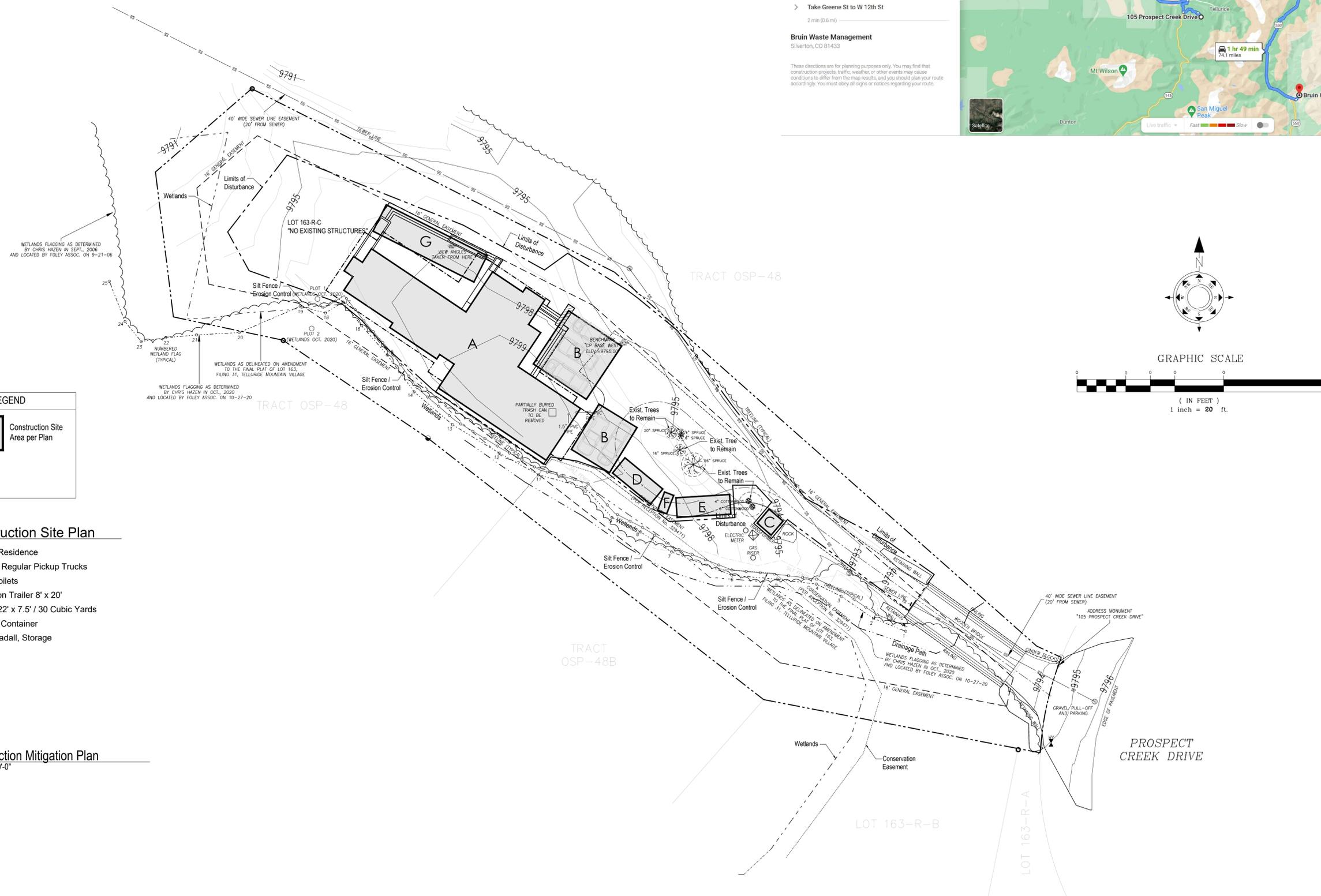
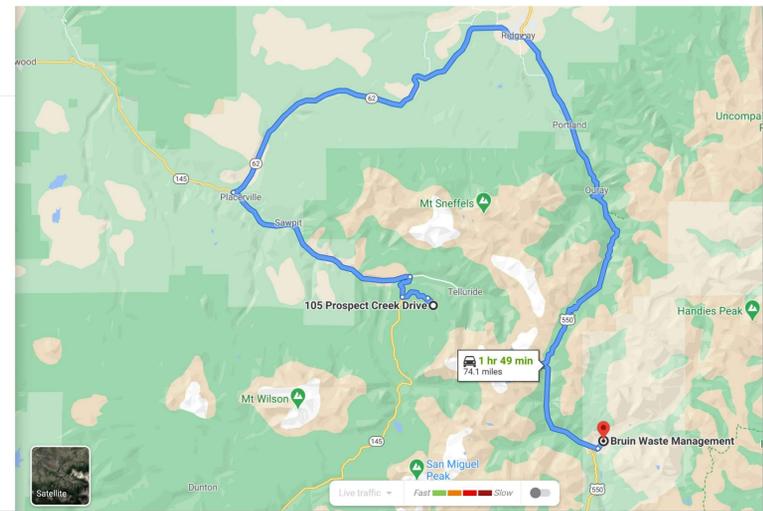
**Construction Waste Hauling Route**

1 hr 49 min (74.1 miles)  
via CO-62 E/State Hwy 62 and US-550 S  
Fastest route, the usual traffic

- 105 Prospect Creek Dr**  
Mountain Village, CO 81435
- > Follow San Joaquin Rd and Mountain Village Blvd to CO-145 N  
8 min (2.9 mi)
  - > Take CO-62 E/State Hwy 62 and US-550 S to Co Rd 2 In Silverton  
1 hr 41 min (70.6 mi)
  - > Take Greene St to W 12th St  
2 min (0.6 mi)

**Bruin Waste Management**  
Silverton, CO 81433

These directions are for planning purposes only. You may find that construction projects, traffic, weather, or other events may cause conditions to differ from the map results, and you should plan your route accordingly. You must obey all signs or notices regarding your route.



**LEGEND**

Construction Site Area per Plan

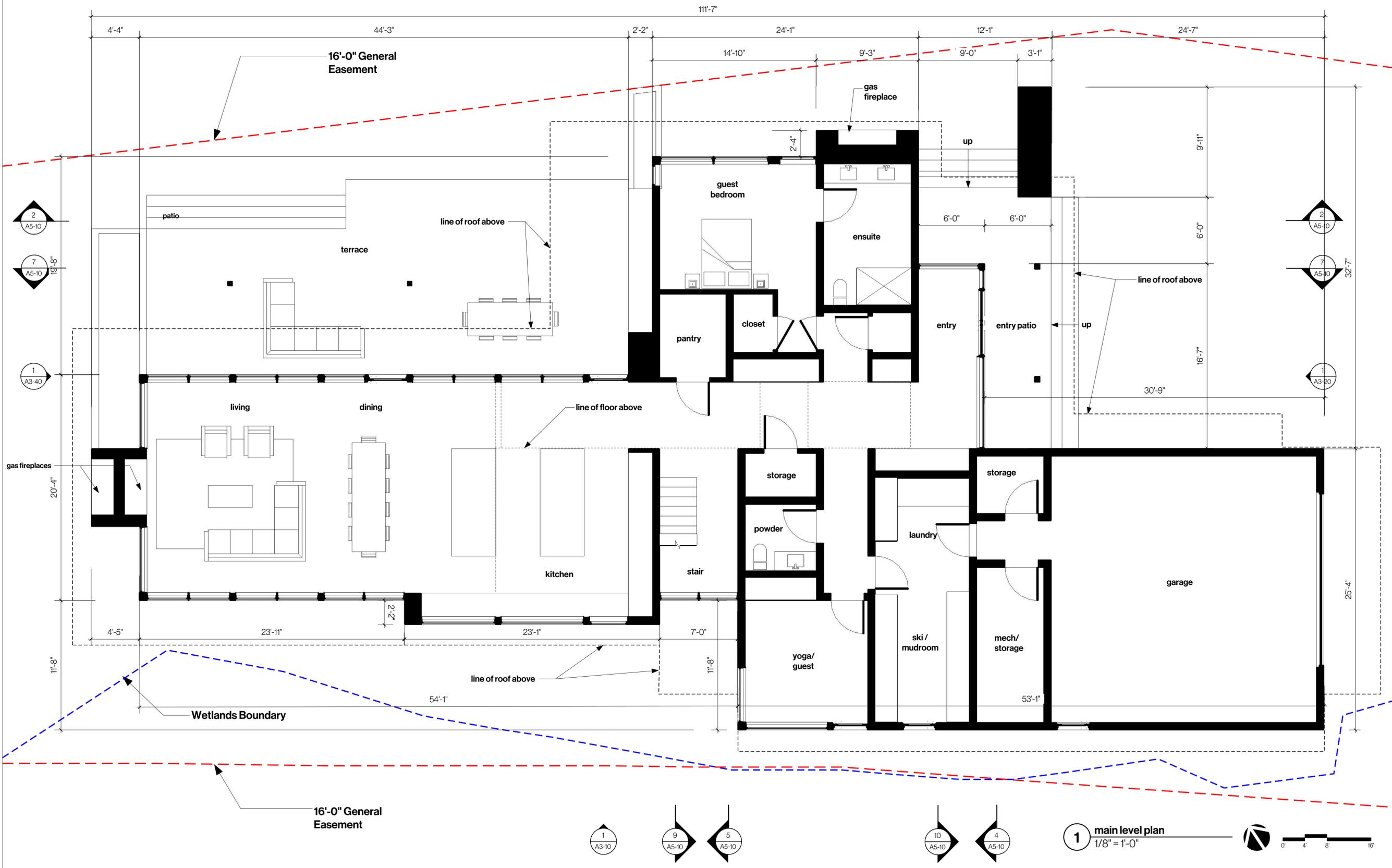
**Construction Site Plan**

- A. Proposed Residence
- B. Parking / 5 Regular Pickup Trucks
- C. Portable Toilets
- D. Construction Trailer 8' x 20'
- E. Dumpster 22' x 7.5' / 30 Cubic Yards
- F. Bear Proof Container
- G. Forklift, Gradall, Storage

**1 Construction Mitigation Plan**  
Scale: 1" = 20'-0"

COURTESY OF TURKEL DESIGN, 1170 A11, DUPURE RECREATION

**NOTE:**  
The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R 313.3 or NFPA13D. (R313, 12.21A17 (d)). The residence shall be fully protected with an approved household fire warning system as defined by NFPA Standard 72.



CLIENT HAS REVIEWED AND APPROVED THESE PLANS (SIGN EACH SHEET)

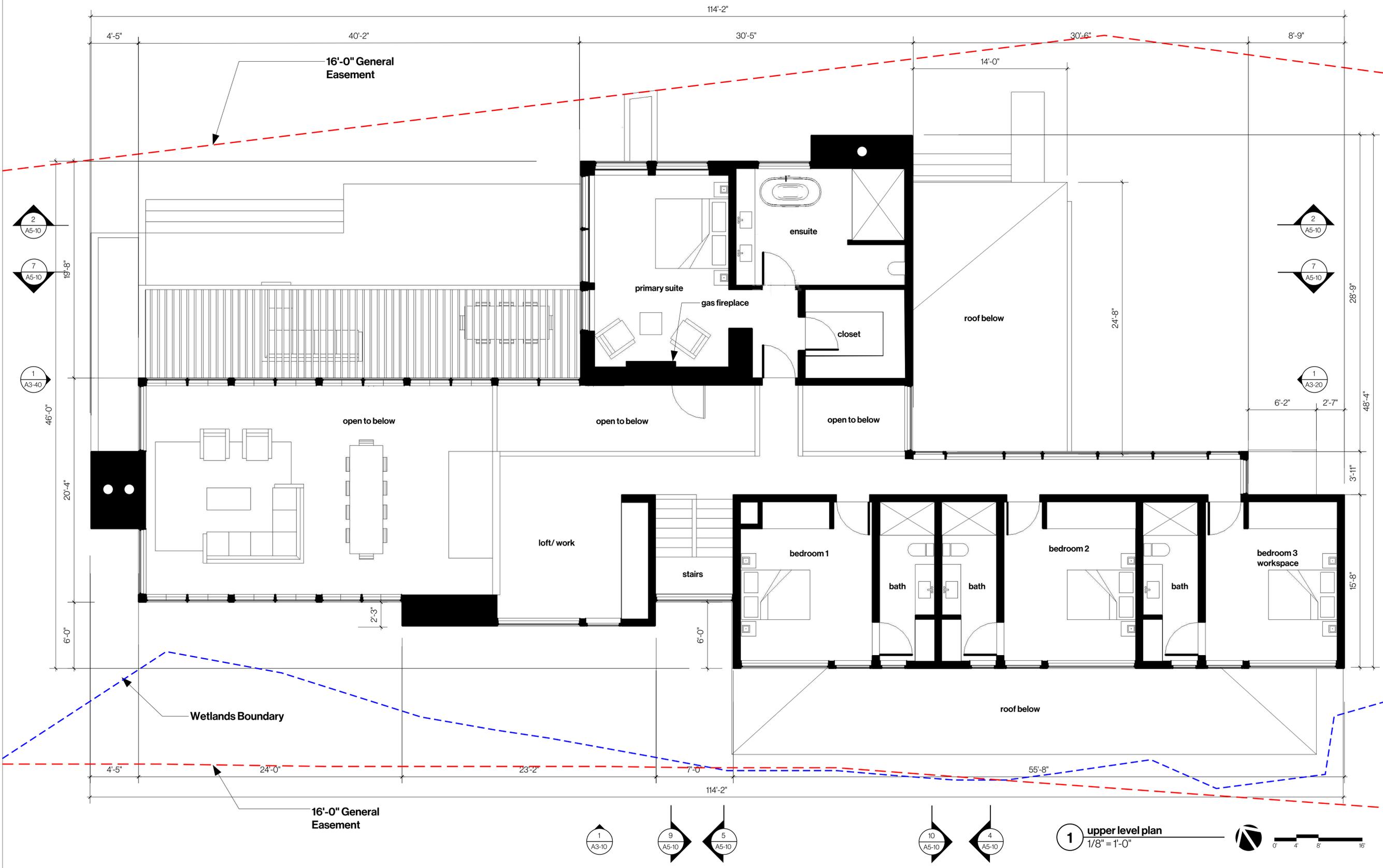
DRAWING CREATED  
02/26/21

Design Review	
Number	Date
1	02/26/21



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CLIENT SIGNATURE _____ DATE _____  
1/8" = 1'-0"

DRAWING CREATED  
02/26/21

Design Review	
Number	Date
1	02/26/21

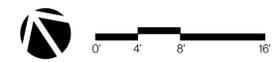


Upper Level Plan

drawing number  
A2-20

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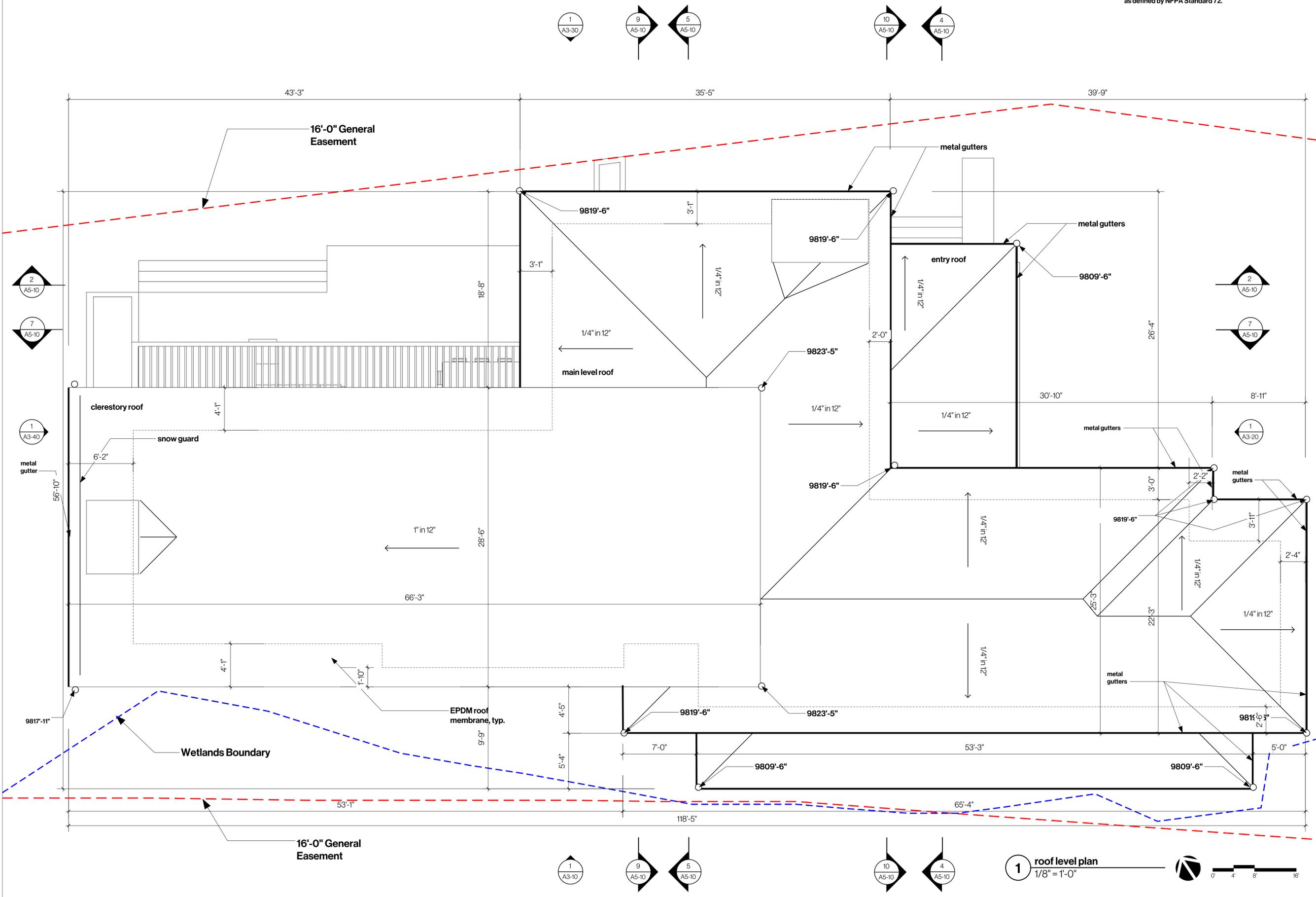
**1** upper level plan  
1/8" = 1'-0"



Design Review	
Number	Date
1	02/26/21



NOTE:  
The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R 313.3 or NFPA13D. (R313, 12.21A17 (d)). The residence shall be fully protected with an approved household fire warning system as defined by NFPA Standard 72.



1 roof level plan  
1/8" = 1'-0"



**wood cladding:**  
1 x 6 tongue and groove thermally modified hemlock, prefinished



**stone cladding:**  
telluride stone "mont blanc" (thin stone veneer) - 2/4" to 1 1/2" thickness



**window cladding:**  
aluminum, bronze powder-coat finish



**steel structure:**  
painted bronze finish



**trim 1:**  
painted bronze finish



**trim 2:**  
painted cocoa finish



**beams:**  
edge-matched glulam beams, clear finish



**roof membrane:**  
epdm

**Average Height Calculations**

Measurement 1	23'-1"
Measurement 2	22'-2"
Measurement 3	22'-3"
Measurement 4	21'-3"
Measurement 5	20'-1"
Measurement 6	20'-1"
Measurement 7	20'-1"
Total	148'-0"
<b>Average</b>	<b>21'-2"</b>

40'-0" height limit = maximum building height  
limit for gable, hip, gambrel or similar pitched roof

35'-0" height limit = maximum building height



**1 southwest elevation**  
1/4" = 1'-0"



**TURKEL**

617.868.1867  
TURKELDESIGN.COM

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105 PROSPECT CREEK DRIVE  
MOUNTAIN VILLAGE, CO 81435

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DATE

CLIENT SIGNATURE  
1/4" = 1'-0"

DRAWING CREATED  
03/09/21

Design Review

Number Date

1 03/09/21



Elevation

drawing number  
A3-10

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**wood cladding:**  
1 x 6 tongue and groove thermally modified hemlock, prefinished



**stone cladding:**  
telluride stone "mont blanc" (thin stone veneer) - 2/4" to 1 1/2" thickness



**window cladding:**  
aluminum, bronze powder-coat finish



**steel structure:**  
painted bronze finish



**trim 1:**  
painted bronze finish



**trim 2:**  
painted cocoa finish



**beams:**  
edge-matched glulam beams, clear finish



**roof membrane:**  
epdm

**Average Height Calculations**

Measurement 1	10'-1"
Measurement 2	24'-0"
Measurement 3	25'-0"
Measurement 4	25'-0"
Total	84'-1"
<b>Average</b>	<b>21'-0"</b>

40'-0" height limit = maximum building height  
limit for gable, hip, gambrel or similar pitched roof

35'-0" height limit = maximum building height



**1** southeast elevation  
1/4" = 1'-0"



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**SPIEGEL RESIDENCE**  
105 PROSPECT CREEK DRIVE  
MOUNTAIN VILLAGE, CO 81435

CLIENT HAS REVIEWED AND APPROVED THESE PLANS (SIGN EACH SHEET)

DATE

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1/4" = 1'-0"

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03/09/21

Design Review

Number Date

1 03/09/21



Elevation

drawing number  
A3-20

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**wood cladding:**  
1 x 6 tongue and groove thermally modified hemlock, prefinished



**stone cladding:**  
telluride stone "mont blanc" (thin stone veneer) - 2/4" to 1 1/2" thickness



**window cladding:**  
aluminum, bronze powder-coat finish



**steel structure:**  
painted bronze finish



**trim 1:**  
painted bronze finish



**trim 2:**  
painted cocoa finish



**beams:**  
edge-matched glulam beams, clear finish



**roof membrane:**  
epdm

**Average Height Calculations**

Measurement 1	24'-6"
Measurement 2	25'-0"
Measurement 3	25'-0"
Measurement 4	11'-1"
Total	85'-7"
<b>Average</b>	<b>21'-5"</b>

40'-0" height limit = maximum building height limit for gable, hip, gambrel or similar pitched roof

35'-0" height limit = maximum building height



**1 northwest elevation**  
1/4" = 1'-0"



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Elevation

drawing number  
A3-40

**Average Height Calculations: Southwest Elevation**

Measurement 1	23'-1"
Measurement 2	22'-2"
Measurement 3	22'-3"
Measurement 4	21'-3"
Measurement 5	20'-1"
Measurement 6	20'-1"
Measurement 7	20'-1"
Total	148'-0"
<b>Average</b>	<b>21'-2"</b>

**Average Height Calculations Totals**

Southwest Elevation	21'-2"
Southeast Elevation	21'-0"
Northeast Elevation	21'-6"
Northwest Elevation	21'-5"
Total	85'-1"
<b>Average</b>	<b>21'-3"</b>

**Average Height Calculations: Southeast Elevation**

Measurement 1	10'-1"
Measurement 2	24'-0"
Measurement 3	25'-0"
Measurement 4	25'-0"
Total	84'-1"
<b>Average</b>	<b>21'-0"</b>

**Average Height Calculations: Northeast Elevation**

Measurement 1	20'-1"
Measurement 2	20'-1"
Measurement 3	21'-1"
Measurement 4	22'-7"
Measurement 5	22'-3"
Measurement 6	22'-3"
Measurement 7	23'-0"
Total	151'-4"
<b>Average</b>	<b>21'-6"</b>

**Average Height Calculations: Northwest Elevation**

Measurement 1	24'-6"
Measurement 2	25'-0"
Measurement 3	25'-0"
Measurement 4	11'-1"
Total	85'-7"
<b>Average</b>	<b>21'-5"</b>

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1/4" = 1'-0"

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1	03/09/21

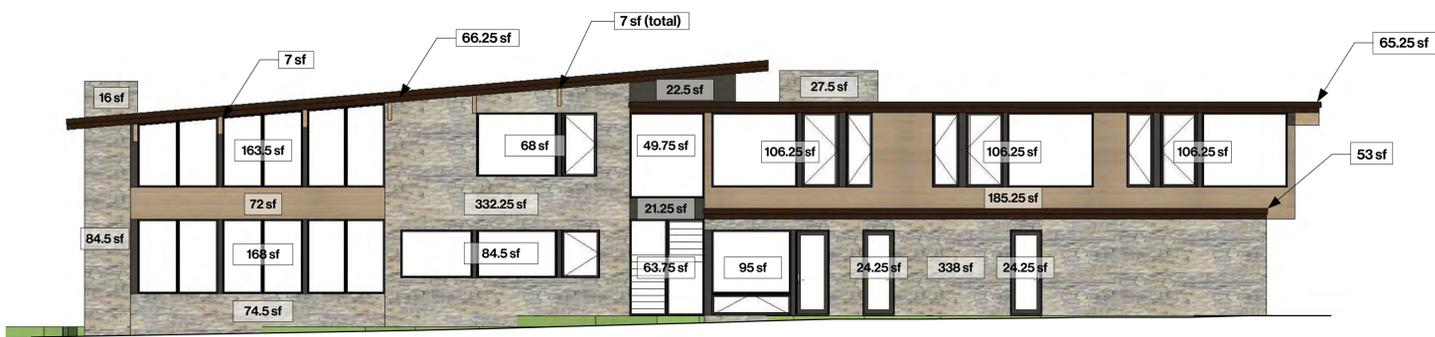


Av. Ht Calc

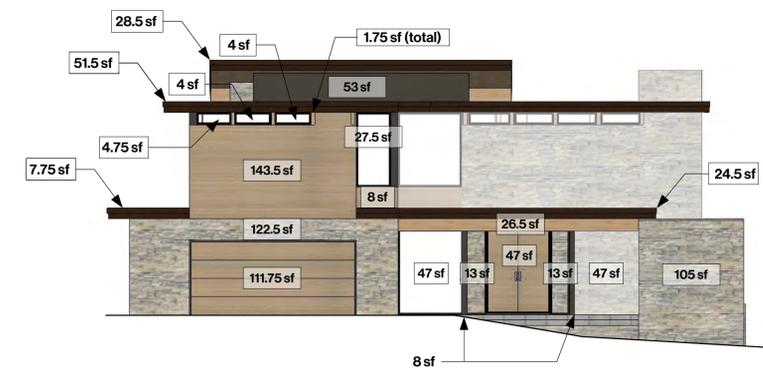
drawing number  
A4 - 10

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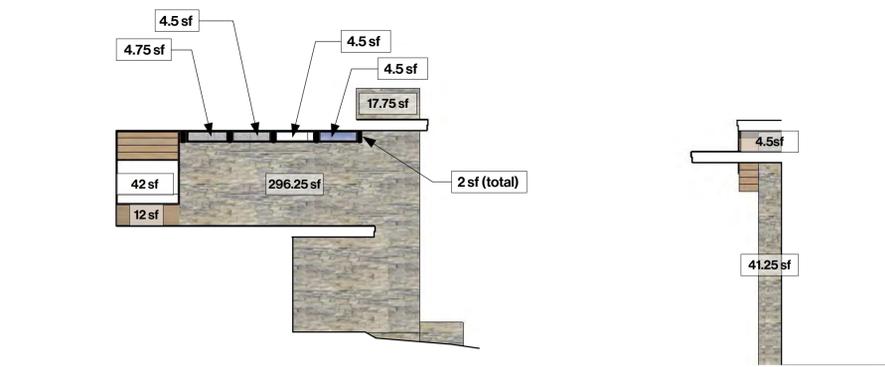
Material Calculations											Totals	Percentage
1. Southwest Elevation	2. Section A	3. Southeast Elevation	4. Section B	5. Section C	6. Northeast Elevation	7. Section D	8. Northwest Elevation	9. Section E	10. Section F			
Stone: 872.75 sf	Stone: 26 sf	Stone: 227.5 sf	Stone: 314.25 sf	Stone: 45.75 sf	Stone: 428.5 sf	Stone: 322.25 sf	Stone: 280.5 sf	Stone: 239 sf	Stone: 98 sf	Stone: 2,854.5 sf	38.4%	
Wood: 257.25 sf		Wood: 310.25 sf	Wood: 12 sf		Wood: 174.25 sf	Wood: 142.75 sf	Wood: 40 sf	Wood: 142.75 sf	Wood: 1,079.25 sf	14.5%		
Glass: 1,059.75 sf		Glass: 113.25 sf	Glass: 60.25 sf		Glass: 935.5 sf	Glass: 214 sf	Glass: 165.5 sf	Glass: 170 sf	Glass: 2,718.25 sf	36.6%		
Wood Trim: 228.25 sf		Wood Trim: 165.25 sf	Beams: 2 sf		Wood Trim: 146.75 sf	Wood Trim: 39.75 sf	Wood Trim: 28.25 sf	Wood Trim: 45 sf	Wood Trim: 653.25 sf	8.8%		
Beams: 7 sf		Beams: 28.25 sf			Beams: 10 sf	Beams: 3 sf	Beams: 4.5 sf		Beams: 54.75 sf	0.7%		
		Steel: 8 sf			Steel: 48 sf		Steel: 11.5 sf		Steel: 67.5 sf	0.9%		
									<b>Total: 7,427.5 sf</b>			



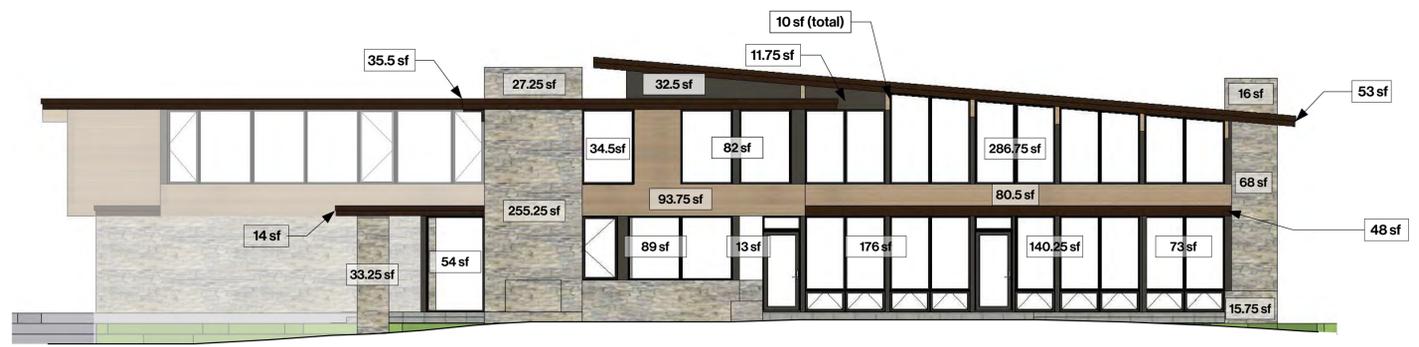
**1 southwest elevation**  
1/8" = 1'-0"



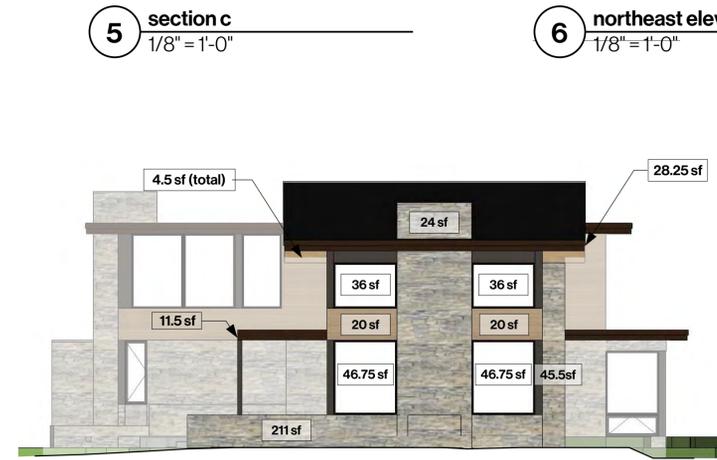
**2 section a**  
1/8" = 1'-0"



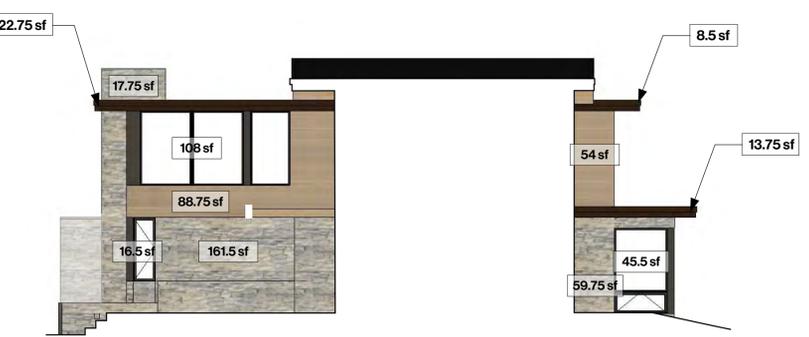
**4 section b**  
1/8" = 1'-0"



**6 northeast elevation**  
1/8" = 1'-0"



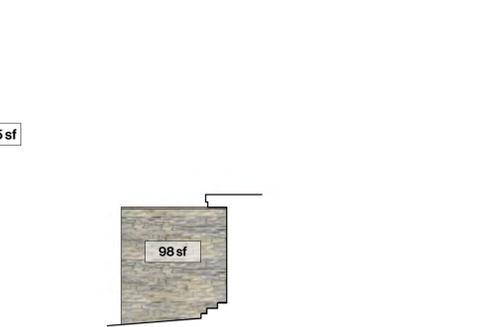
**8 northwest elevation**  
1/8" = 1'-0"



**9 section e**  
1/8" = 1'-0"



**7 section d**  
1/8" = 1'-0"



**10 section f**  
1/8" = 1'-0"

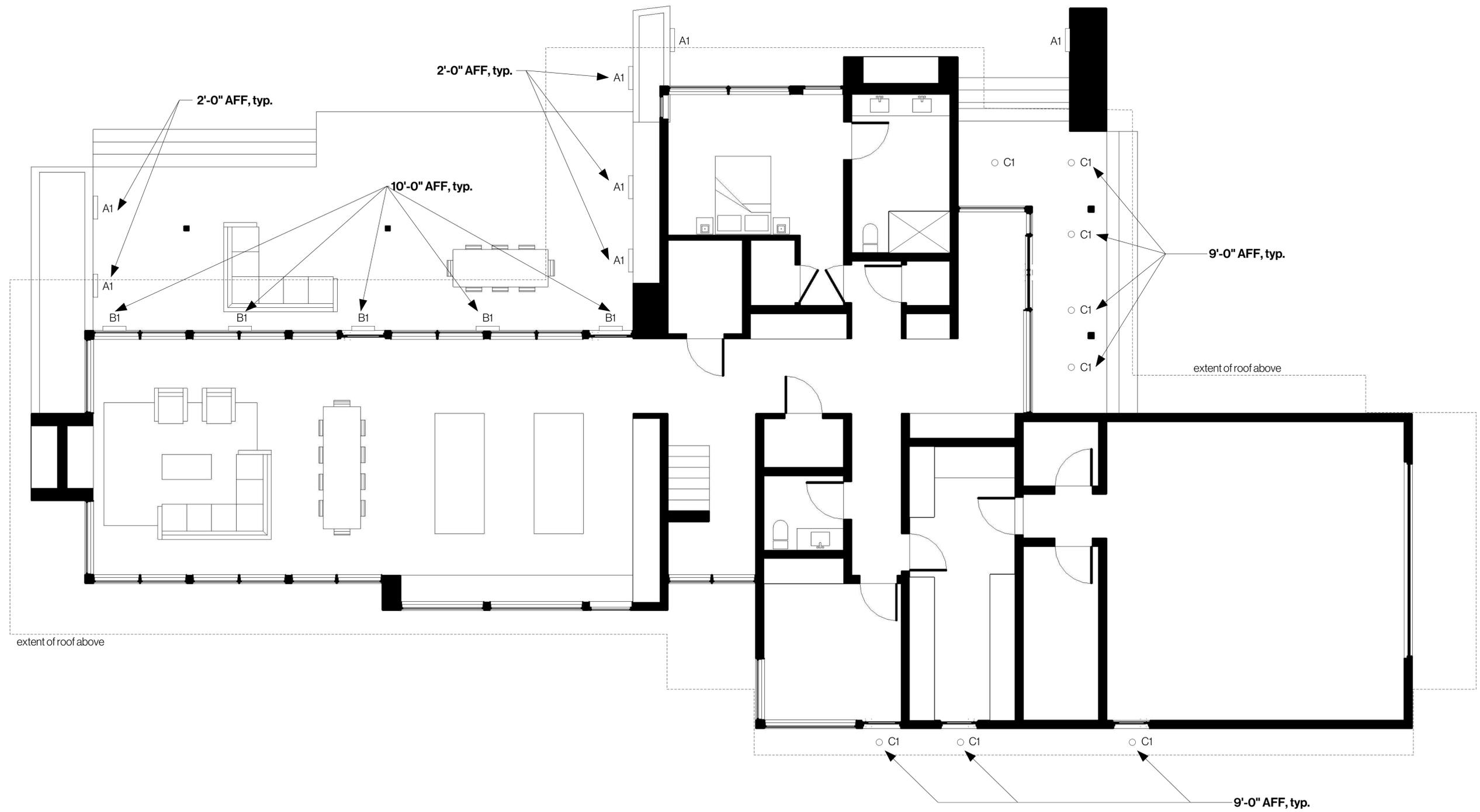


Design Review	
Number	Date
1	03/09/21



**LIGHTING SCHEDULE**

Mark	Type	Manufacturer	Model	Model Number	Finish	Lamp	Temperature	Wattage	Lumens
A1	Step	Kuzco	Sonic	ER3003-BK	Black	LED	3000K	3W	250
B1	Sconce	Modern Forms	Square	WS-W38608-BK	Black	LED	3000K	11W	391
C1	Recessed In-Ceiling	aspectLED	Ultra-Thin	AL-RL-UTR-4-N-WW-BK	Black	LED	3000K	6W	670



**1 main level plan**  
1/4" = 1'-0"  
0 4 8 16



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**SPIEGEL RESIDENCE**  
105 PROSPECT CREEK DRIVE  
MOUNTAIN VILLAGE, CO 81435

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Axons

drawing number  
A7-10

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**WINDOW SCHEDULE**

Level	Mark	Type	Width	Height	Cladding Material	Finish	Glass Type
Main	1-01	Garage Door	16'-0"	7'-0"	Aluminum	Bronze	N/A
Main	1-02	Fixed	8'-5 5/8"	9'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-03	Double Door	6'-0"	9'-0"	Wood	Clear	N/A
Main	1-04	Fixed	1'-10"	9'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-05	Fixed	5'-6"	9'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-06	Casement	3'-4"	6'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-07	Fixed	5'-0"	6'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-08	Fixed	4'-10 1/2"	6'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-09	Casement	2'-1"	6'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-10	Door	3'-6"	7'-6"	Aluminum	Bronze	IG Low E II with Argon
Main	1-10A	Transom	3'-6"	1'-6"	Aluminum	Bronze	IG Low E II with Argon
Main	1-11	Fixed	3'-9 1/2"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-11A	Awning	3'-9 1/2"	2'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-12	Fixed	6'-9"	4'-6"	Aluminum	Bronze	IG Low E II with Argon
Main	1-13	Casement	3'-7"	4'-6"	Aluminum	Bronze	IG Low E II with Argon
Main	1-14	Fixed	3'-6 1/2"	9'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-15	Fixed	5'-0"	6'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-15A	Awning	5'-0"	2'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-16	Fixed	7'-6"	6'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-16A	Awning	7'-6"	2'-0"	Aluminum	Bronze	IG Low E II with Argon
Main	1-17	Door	3'-0"	8'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-01	Fixed	3'-4"	1'-2"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-02	Casement	3'-0"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-03	Fixed	5'-0"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-04	Casement	3'-6"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-05	Fixed	3'-3"	7'-0"	Aluminum	Bronze	IG Low E II with Argon

Level	Mark	Type	Width	Height	Cladding Material	Finish	Glass Type
Upper	2-06	Fixed	6'-0"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-07	Fixed	3'-10"	1'-4"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-08	Fixed	4'-10 1/2"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-09	Fixed	4'-10 1/2"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-10	Fixed	4'-10 1/2"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-11	Fixed	4'-10 1/2"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-12	Fixed	4'-10 1/2"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-13	Casement	3'-9"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-15	Fixed	3'-9 1/2"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-16	Fixed	3'-9 1/2"	8'-7"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-17	Fixed	3'-9 1/2"	8'-3 1/2"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-18	Fixed	3'-9 1/2"	7'-11"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-19	Fixed	3'-9 1/2"	7'-7 1/2"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-20	Fixed	3'-9 1/2"	7'-3"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-21	Fixed	3'-9 1/2"	6'-11 1/2"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-22	Fixed	3'-9 1/2"	6'-7"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-23	Fixed	3'-9 1/2"	6'-3 1/2"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-24	Fixed	6'-0"	4'-9 1/2"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-25	Fixed	7'-7"	6'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-26	Casement	3'-4"	6'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-27	Fixed	7'-1"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-28	Fixed	8'-1"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-29	Casement	3'-6"	7'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-29A	Fixed	3'-6"	2'-0"	Aluminum	Bronze	IG Low E II with Argon
Upper	2-30	Casement	2'-6"	7'-0"	Aluminum	Bronze	IG Low E II with Argon

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105 PROSPECT CREEK DRIVE  
MOUNTAIN VILLAGE, CO 81435

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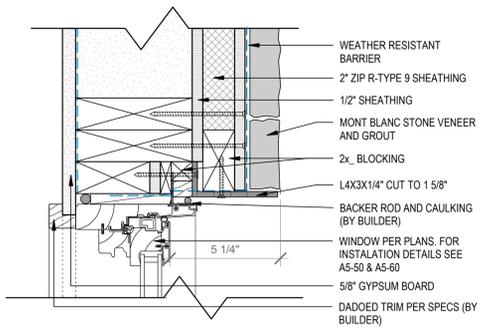
Design Review

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1	02/26/21

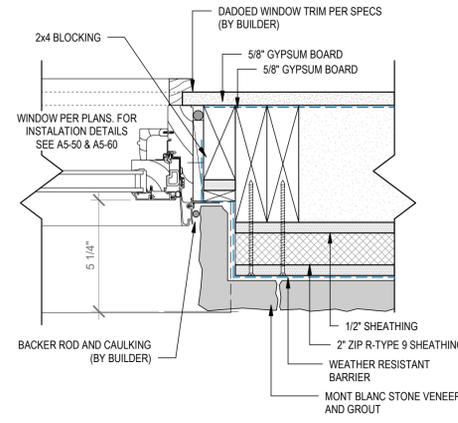


Window Schedule

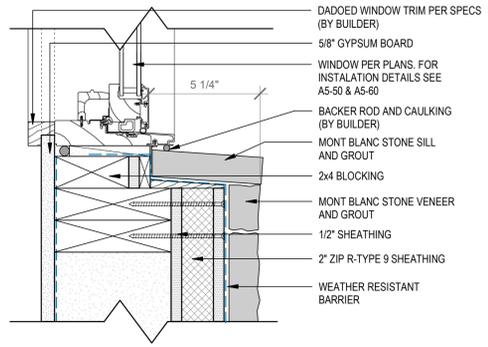
drawing number  
A8-10



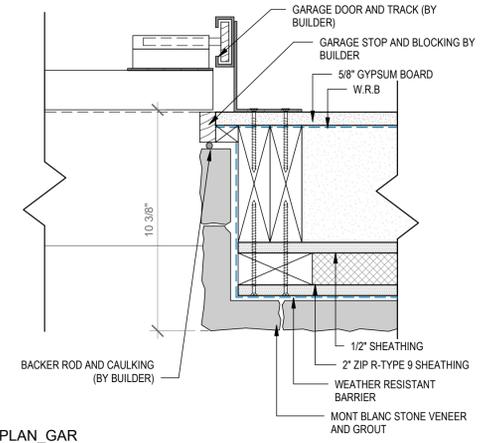
1 PLAN_WINDOW-STONE-WINDOW HEAD INSULATION  
3" = 1'-0"



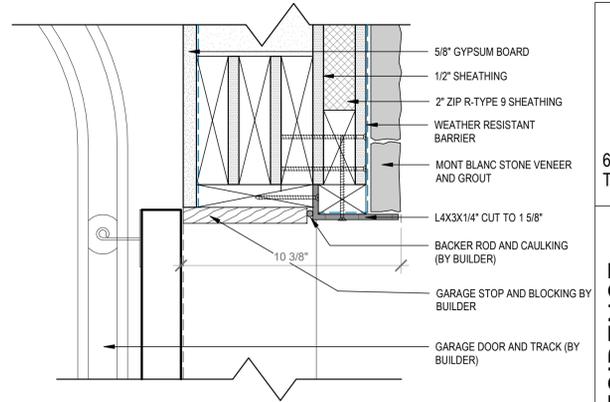
2 PLAN_WINDOW-STONE-WINDOW JAMB INSULATION  
3" = 1'-0"



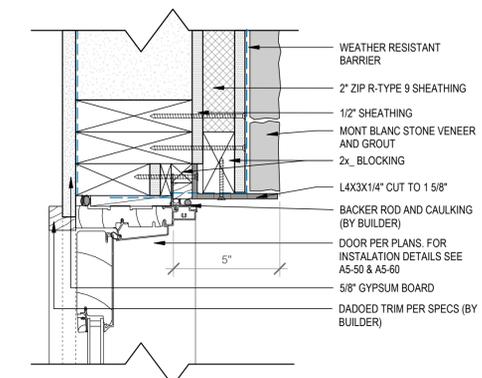
3 PLAN_WINDOW-STONE-WINDOW SILL INSULATION  
3" = 1'-0"



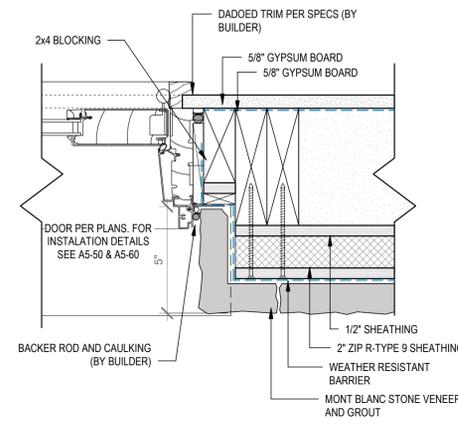
4 PLAN_GAR DOOR-STONE-JAMB INSULATION  
3" = 1'-0"



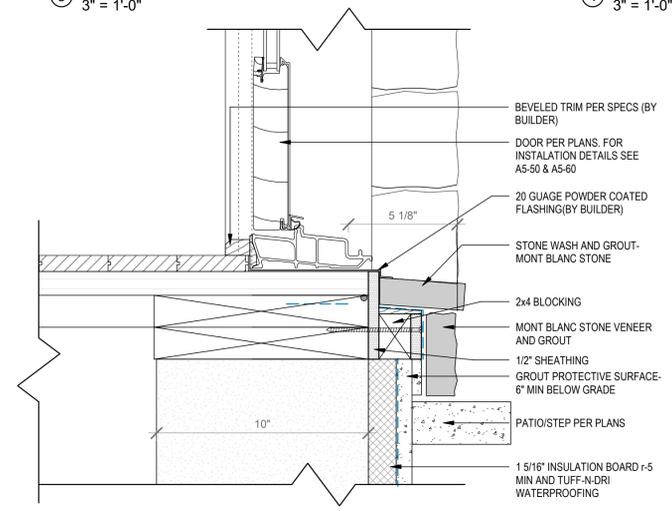
5 PLAN_GAR DOOR-STONE-HEAD INSULATION  
3" = 1'-0"



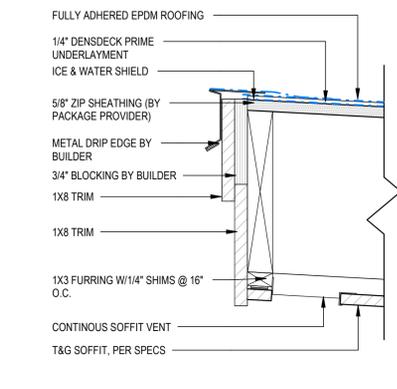
6 PLAN_DOOR-STONE-WINDOW HEAD INSULATION  
3" = 1'-0"



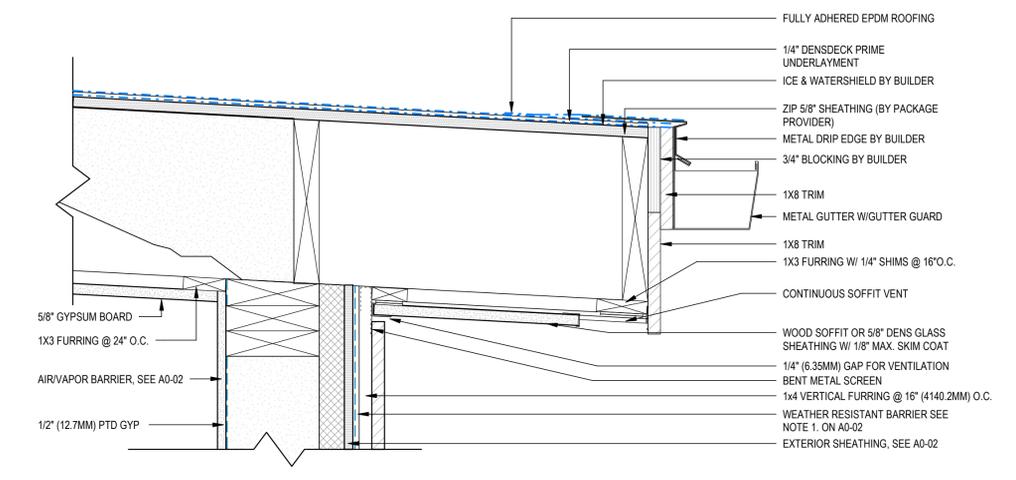
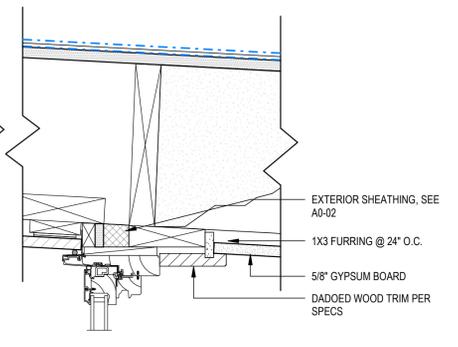
7 PLAN_DOOR-STONE-WINDOW JAMB INSULATION  
3" = 1'-0"



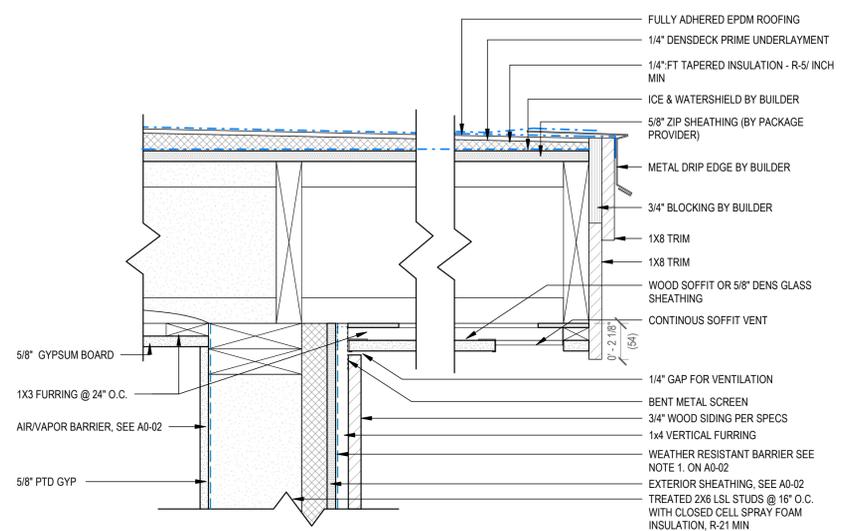
8 PLAN_DOOR-STONE-SILL INSULATION  
3" = 1'-0"



9 SECTION_HIGH SIDE EAVE  
1 : 5



10 SECTION_LOW SIDE EAVE  
1 : 5



11 SECTION_OVERHANG W/STUCCO SOFFIT  
1 : 5

**NOTE:**

Per CDC Section 17.7.12, C., 7., c., a HERS rating of 60 or lower will be achieved, and per the Smart Building Program objectives, effort to lower the HERS rating to the extent possible will be made.

Per CDC Section 17.7.12, C., 7., l., wall assemblies will be designed so that headers will be insulated full open depth, and framed corners will be insulated.



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SCALE

DRAWING CREATED N/A

Revision Schedule	
Number	Date
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**EXTERIOR FINISH DETAILS**

DRAWING NUMBER  
**A9-10**

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## 4.75" Ultra-Thin Recessed In-ceiling Light - 6 Watt (45 Watt Equivalent)

**MODEL: AL-RL-UTR-4**

### DESCRIPTION

aspectLED's Ultra-Thin series of recessed lights are bright, energy efficient, attractively styled, and designed to fit into the tightest of spaces, making them perfect for virtually any residential or commercial application.

At under 1" tall, these recessed can lights can fit into tight spaces that a traditional recessed can light can't, such as ceilings with ductwork/piping/obstructions, hot-roof ceilings with limited vertical clearance, and tight soffits.

This 6 Watt light puts out the equivalent brightness to a standard incandescent 45 Watt light.

### CERTIFICATIONS



### PHYSICAL DIMENSIONS + SPECIFICATIONS

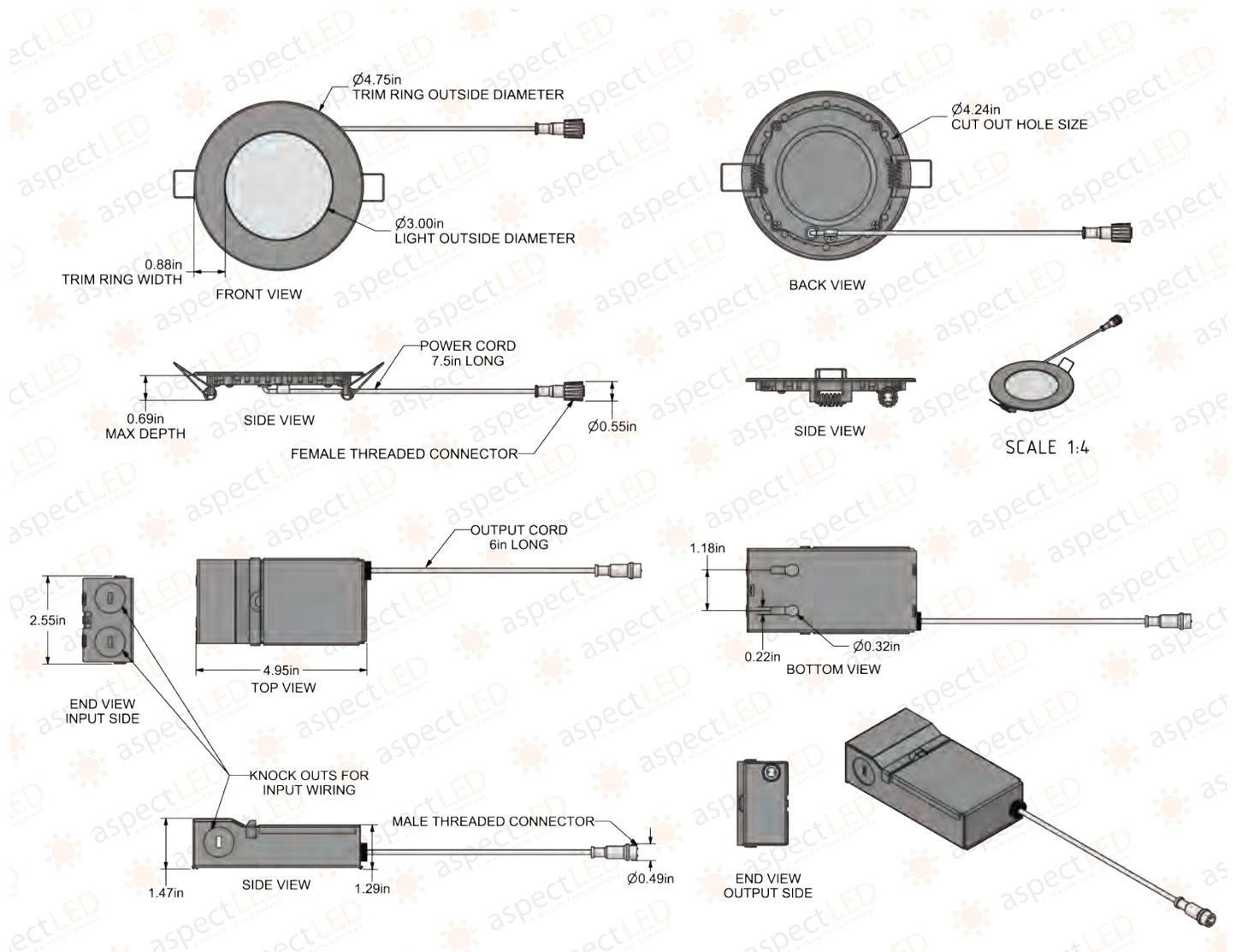
<b>Light Fixture Dimensions</b>	4-3/4" (121mm) diameter, 11/16" (18mm) tall
<b>Light Trim Dimensions</b>	7/8" (22mm) wide
<b>Interior Lens Dimensions</b>	3" (78mm) diameter
<b>External LED Driver Dimensions</b>	2-9/16" (65mm) Wide, 4-15/16" (126mm) Long, 1-1/2" (37mm) tall
<b>Cut-Out Hole Size</b>	4-1/4" (105mm) diameter
<b>LED Driver Input Voltage</b>	120VAC
<b>Dimmable</b>	Available in dimmable and non-dimmable
<b>Nominal Power Consumption</b>	6 Watts
<b>Max Luminous Flux of LED Array</b>	Up to 670 Lumens (may vary based on LED color choice)
<b>Beam Angle</b>	120 Degrees
<b>Equivalency</b>	45 Watts Incandescent/Halogen
<b>LED Type</b>	High power SMD 2835 LEDs
<b>Housing Color</b>	White; Optional powder coated Satin Nickel, Dark Bronze, Brass, or Black
<b>Fixture Material</b>	Die Cast Aluminum Housing
<b>Weight</b>	0.8 lbs
<b>Estimated Lifespan</b>	Up to 50,000 hours
<b>Warranty</b>	3 Years
<b>IC Rated</b>	IC Rated for direct contact with insulation
<b>Suitable Uses</b>	Dry, Damp or Wet Locations
<b>Standards/Certifications</b>	UL Listed, cUL Listed, RoHS

For general information purposes only. Specifications, dimensions and construction subject to change without notice.

# 4.75" Ultra-Thin Recessed In-ceiling Light - 6 Watt (45 Watt Equivalent)

**MODEL: AL-RL-UTR-4**

## DIMENSIONS



## SKU BUILDER

Model Number

AL-RL-UTR-4

Dimmable

—

Dimmable - D  
Non-dimmable - N

LED Color

—

Warm White - WW  
Neutral White - NW  
DayWhite - DW

Trim Color

—

White - [Leave Blank]  
Satin Nickel - SN  
Dark Bronze - DB  
Brass - BS  
Black - BK

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# 4.75" Ultra-Thin Recessed In-ceiling Light - 6 Watt (45 Watt Equivalent)

MODEL: AL-RL-UTR-4

## ACCESSORIES

- Rough-In Plate/Bracket for Ultra-Thin Recessed LED Light**  
SKU: AL-RL-RP-U4
  
- Extension Cable for Recessed LED Light**  
SKU: AL-RL-EXT
  
- Foam Gasket for Ultra-Thin Recessed LED Lights (1 Gasket)**  
SKU: AL-RL-UT-GSK1-4
  
- Eaton TAL06P1 Dimmer Switch**  
SKU: AL-CTLR-DIMSW-TAL06P1
  
- Lutron Skylark SELV-300P Dimmer Switch**  
SKU: AL-CTLR-DIMSW-SELV300P

## PHOTOMETRICS

*Neutral white tested. Light output may vary by color temperature.

Beam Dia at 50% CBCP (inches)	Field Dia at 10% CBCP (inches)	Foot-candles at center beam	Lux at center beam	Distance from fixture
29.0"	71.0"	34.7	373.5	2ft
45.0"	102.0"	14.8	159.3	3ft
58.0"	148.0"	8.2	88.3	4ft
74.0"	184.0"	5.3	57.5	5ft
100.0"	243.0"	3.7	39.8	6ft
133.33"	326.0"	2.2	23.7	8ft

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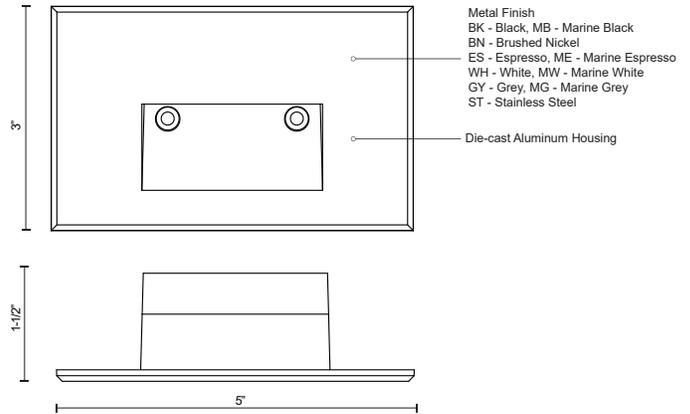
**SONIC  
ER3003  
STEP LIGHTS**

PROJECT



**DESCRIPTION**

A horizontal rectangle-shaped recessed light in matte black, white powder, or brushed nickel finish. The optically designed light control of Sonic's die cast Aluminum housing fully conceals the source. Ideal for step or courtesy light use. This fixture is rated for outdoor use but there is no reason it cannot be utilized indoors too. Fits into a single gang box.



**SPECIFICATION DETAILS**

* For custom options, consult factory for details.

<b>Fixture Dimensions</b>	W5" x H3" x E1-1/2"
<b>Light Source</b>	LED
<b>Wattage</b>	3W
<b>Total Lumens</b>	250lm
<b>Delivered Lumens</b>	BK-26lm; BN-24lm; WH-76lm;
<b>Voltage</b>	120V
<b>Color Temperature</b>	3000K
<b>CRI (Ra)</b>	>90
<b>Optional Color Temps</b>	2700K - 5000K Available, Minimum Order Quantities Apply
<b>LED Rated Life</b>	50,000 hours
<b>Dimming</b>	100% - 10%, ELV Dimmer (Not Included)
<b>Diffuser Details</b>	Glass diffuser
<b>Location</b>	Wet
<b>Warranty</b>	5 Years
<b>ADA Compliant</b>	Yes

**KUZCO**

19054 28TH AVENUE  
SURREY - BC V3Z 6M3  
CANADA

WWW.KUZCOLIGHTING.COM

COMMENT



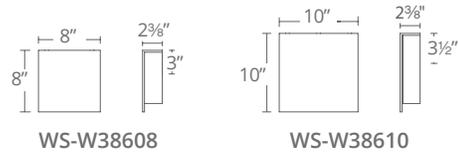


**Fixture Type:** _____

**Catalog Number:** _____

**Project:** _____

**Location:** _____



**PRODUCT DESCRIPTION**

Four equal sides and a stream of light. Square artfully provides geometry to wall surfaces in the daytime when mounted in multiples while providing safe illumination of pathways and dramatic visual intrigue in the evening. Perfect for wall grazing surfaces.

**SPECIFICATIONS**

**Construction:** Aluminum

**Light Source:** High output LED

**Finish:** Black (BK), Bronze (BZ), Titanium (TT)

**Standards:** ETL & cETL Wet Location listed, CEC Title 24 Compliant, ADA Compliant, IP65, Dark Sky friendly

**FEATURES**

- Weather-resistant powder coat
- No transformer or driver needed
- Dimmer: ELV
- Rated Life: 50,000 hours
- Color temp: 3000K
- 277V options available
- CRI: 90

**ORDER NUMBER**

Model	Width	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W38608	8"	11W	120V	391	373	BK <i>Black</i>
WS-W38610	10"	18W		700	630	BZ <i>Bronze</i>
						TT <i>Titanium</i>

Example: WS-W38608-BZ

For 277V special order, add an "F" before the finish: WS-W38608F-BZ



View of Lot 163R-C from Prospect Creek Drive at entry bridge



View from Lot 163R-C entry towards the northwest



View towards the northwest from the center of Lot 163R-C



View towards entry from center of Lot 163R-C



Typical view of perimeter vegetation at Lot 163R-C



View towards existing clearing at the northeast corner Lot 163R-C

Review comments by TOMV staff forester, Michael Otto

New Single Family home located at Lot 163RC, 105 Prospect Creek.

[https://townofmountainvillage.com/site/assets/files/34871/163rc_website_and_referral_packet.pdf](https://townofmountainvillage.com/site/assets/files/34871/163rc_website_and_referral_packet.pdf)

Diversity of planting clause is not met. 8 bristlecone pine of 35 trees = 22-23%.

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New Multi-Family Condo Building located at Lot 30, 98 Aspen Ridge.

[https://townofmountainvillage.com/site/assets/files/34830/lot_30_dr_and_dtrz_referral_packet.pdf](https://townofmountainvillage.com/site/assets/files/34830/lot_30_dr_and_dtrz_referral_packet.pdf)

A landscaping plan is not provided. Landscaping will be addressed in detail as part of the second design review.

A wildfire mitigation plan has not yet been provided. Because of the size of construction related to the size of the lot, zone 1 designation would extend onto adjacent open space.

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Single Family Home located at Lot 165-7, 170 Cortina Drive.

[https://townofmountainvillage.com/site/assets/files/34872/lot_165-7_website_and_referral_packet.pdf](https://townofmountainvillage.com/site/assets/files/34872/lot_165-7_website_and_referral_packet.pdf)

Wildfire mitigation plan and landscape plan are not included.

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Single Family Home located at Lot 325, 430 Benchmark Drive.

[https://townofmountainvillage.com/site/assets/files/34873/lot_325_website_and_referral_packet.pdf](https://townofmountainvillage.com/site/assets/files/34873/lot_325_website_and_referral_packet.pdf)

A landscape plan is not yet provided. It will be submitted with the Final Architecture Review plan. Because the primary goal of the landscape plan is to retain as much existing vegetation as possible, I would recommend exempting live Aspen removal from Zone 1 requirements.



# TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

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Address: Lot 163R-C Spiegel Residence  
Mountain Village, CO 81435

Architect: Turkel Design

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) A Fire Department connection (standpipe) shall be installed from the street side of the bridge to the structure. The installation of the standpipe is due to the bridge not rated to a 20 ton load limit any point, as well as no fire apparatus turn around within 150' on the driveway from the street. Standpipe – 2.5" wye inlet 2.5" wye outlet with 1.5" reducer and meets NFPA 14.
- 3) A sign with reflective 6" stroke letters that reads NO FIRE DEPARTMENT ACCESS shall be installed at the street side of the property.
- 4) The address monument numbers shall be reflective coated or outlined with a reflective coating.
- 5) TFPD recommends the installation of a Knox Box for access during emergency situations.

## John A. Miller

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**From:** Finn KJome  
**Sent:** Monday, April 19, 2021 9:13 AM  
**To:** John A. Miller  
**Subject:** RE: Lot 163RC, 105 Prospect Creek Referral Packet for May 6 DRB

Hi John,

It appears that this project will block access down the sewer line. I don't have enough information but do see a retaining wall called out. Please confirm the Town has access to maintain the sewer mainline. I don't see a sewer line called out on the utility plan.

Finn

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**From:** John A. Miller <JohnMiller@mtnvillage.org>  
**Sent:** Friday, April 16, 2021 1:28 PM  
**To:** Finn KJome <FKJome@mtnvillage.org>; Steven LeHane <SLeHane@mtnvillage.org>; Jim Loebe <JLoebe@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; jeremy@smpa.com; brien.gardner@blackhillscorp.com; kirby.bryant@centurylink.com; Scott Heidergott <sheidergott@telluridefire.com>; Mike Otto <MOtto@mtnvillage.org>  
**Cc:** JD Wise <JWise@mtnvillage.org>  
**Subject:** Lot 163RC, 105 Prospect Creek Referral Packet for May 6 DRB

Good Afternoon All –

Please find the following referral for a New Single Family home located at Lot 163RC, 105 Prospect Creek. This item will be heard by the DRB at the May 6 hearing.

1. New Single Family Home at 105 Prospect  
Creek: [https://townofmountainvillage.com/site/assets/files/34871/163rc_website_and_referral_packet.pdf](https://townofmountainvillage.com/site/assets/files/34871/163rc_website_and_referral_packet.pdf)

Please let me know if there are any questions or concerns.

Best,

J

John A Miller III  
Senior Planner  
Planning & Development Services  
Town of Mountain Village  
455 Mountain Village Blvd, Suite A  
Mountain Village, CO 81435  
O :: 970.369.8203  
C :: 970.417.1789