



To: Mountain Village Design Review Board and Planning Staff
Date: 10/05/2021

Thank you so much for reviewing our application for Lot 7 Stonegate Drive. We are excited about the coming project and have outlined compliance below. The house is a two and a half story residence with a total of 4,285SQ FT livable area and a 584 SQ FT garage.

17.3.12 Building Height Limits- The total height of the highest roof ridge is 32'-3"' as shown on A3.0 Detail 3_North Elevation. The allowable offset of 40' for gable roofs is shown on each elevation for reference.

17.3.13 Maximum Lot Coverage- The Gross Area of the Lot is 15,289.62 SQ FT. Our proposed lot coverage is 3,952 SQ FT which equates to 25.8%. Allowable is 40% making our proposal 14.2% below the allowable coverage.

17.3.14 General Easements Setbacks- The lot has a 16' General Easement/Setback line offset from the property line. Our proposed setbacks are 16'-7 1/4" from the Western property line, 37'-10" from the Northern property line, 16'-10 3/4" from the Eastern property line and 31'-1 1/2" from the Southern property line.

17.3.21 Deviation from Zoning and Land Use Regulations- Due to the step nature of the lot and the house having to abut the road we are forced into shorter driveway out to our access drive. We have accommodated a hammerhead turnaround that is shared between all lots on the access road but we do not have enough room for the two exterior parking spaces in addition to the garage. We are requesting to eliminate the (2) exterior parking spaces outside of the garage on the site. Parking is limited but we do have approx. 15'-10" on our "garage bridge" to accommodate cars on a temporary basis.

17.5.4 Town Design Theme

Our proposed design is Mountain Modern in intent and nature. The siding will be a combination of stained wood to match the

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Mountain Village design aesthetic with exposed timber and mill scale steel accents. The mid level of the project will be wrapped in bonderized metal shingle and bonderized corrugated siding. Stone surrounds the entire base of the house and clearly differentiates foundation from wall plane. This grounds the house into the topography of the site and allows for a mix of materials and compliance with the exterior stone requirement. The garage doors will be herringbone wood with windows above. The roofs will be a combination of corrugated metal and standing seam metal. Please see sheet A3.3 for exterior material sheet with all finishes and intended colors called out.

17.5.5 Building Siting Design- The house is located on a steep lot that is downhill from the existing access road. The step nature of the lot dictates a horizontal configuration that steps down the slope. The East/West long axis of the lot provides the access to the garage, entry door and living/dining level.

17.5.6 Building Design- Our design is a simple configuration of gable roofs that step down the slope side following the natural topography of the site. We have not created any complicated roof forms or valleys that will require maintenance. This is an elegant composition of forms and elevations that fit in well with the Town of Mountain Village and similar step lot designs.

17.5.7 Grading and Drainage Design- Please see the Civil Sheets in the set C1-C4. David Ballode with Uncompahgre Engineering has created our drainage and grading plan. You will note that we are staying appropriately away from the existing retaining wall that currently supports the existing road. We are providing drainage around the base of the house between the existing wall and the new foundation with a swale routed to the East and West easement areas.

17.5.8 Parking Regulations- The house has a compliant two car garage. There is an existing hammerhead to the East of the house that spans both Lot 7 and Lot 8. See above 17.3.21 for our request to eliminate the (2) on site exterior parking spaces. Due to the step nature of the lot and the narrow access road we cannot accommodate the two exterior parking spaces.

17.5.9 Landscape Regulations- Please see sheet A1.3. The landscape area outside of Zone 1 is very limited. There are several existing aspen and spruce that we would like to keep on site. Within Zone 1 on the step slope landscaping will be mostly grasses and the one planter area located to the North of the lower viewing deck. The intent is to re-seed and re-vegetate with Telski Wildflower Grass Seed Mix with a combination of Native Grass Seed mix and a Wetlands Buffer mix. See the description of the grass mix on our landscape plan for details of the mix design.

17.5.10 Trash, Recycling and General Storage Areas- Trash Cans will be located in the trash/mech room at the front of the lot adjacent to the entry and taken out to the curb on a weekly basis. All storage will be contained within the house.

17.5.11 Utilities- See sheet C3 for all utility locations on the site and existing electrical, water, gas and sewer lines. The intent is to have all utility connections come into the house at the road side mechanical room where it will be distributed within the house.

17.5.12 Lighting Regulations- Please see sheet A1.4 for our exterior lighting plan. Each fixture is dark sky compliant and simple and minimal on the house. There are (3) sconce lights at the garage, (2) step lights at entry, (1) sconce at entry, (4) baluster lights at living room deck, (4) step lights at upper living room deck, (3) recessed cans at the guest bedroom deck, (4) step lights on the guest bedroom deck, (2) step lights at the ski room deck, (1) sconce at the hot tub lower deck, and (3) step lights at the lower hot tub deck.

Please let me know any questions and we really appreciate your time in reviewing our drawings and application.

Dylan Henderson
CO Lic#: ARC.0402941
970.708.4795



Stonegate - Lot 7
Mountain Village
Telluride, CO

SALT



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Mountain Village
Telluride, CO

SALT



Stonegate - Lot 7
Mountain Village
Telluride, CO

SALT

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PROJECT TEAM

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STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
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No.	Description	Date
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Lot 7

STONEGATE

Cover Sheet & Plan Set
Information

Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 0.0

Scale: As indicated

EXTERIOR MATERIALS



BLACK CLAD WINDOWS AND DOORS



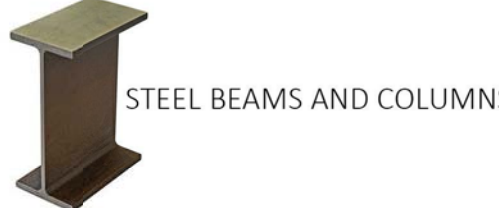
EXTERIOR TIMBERS AT ROOFLINE AND TRUSS



TELLURIDE GOLD ASHLAR PATTERN STONE



EXTERIOR DECK RAIL - COLOR TBD



STEEL BEAMS AND COLUMNS



GARAGE DOORS



VERTICAL STAINED CEDAR SIDING



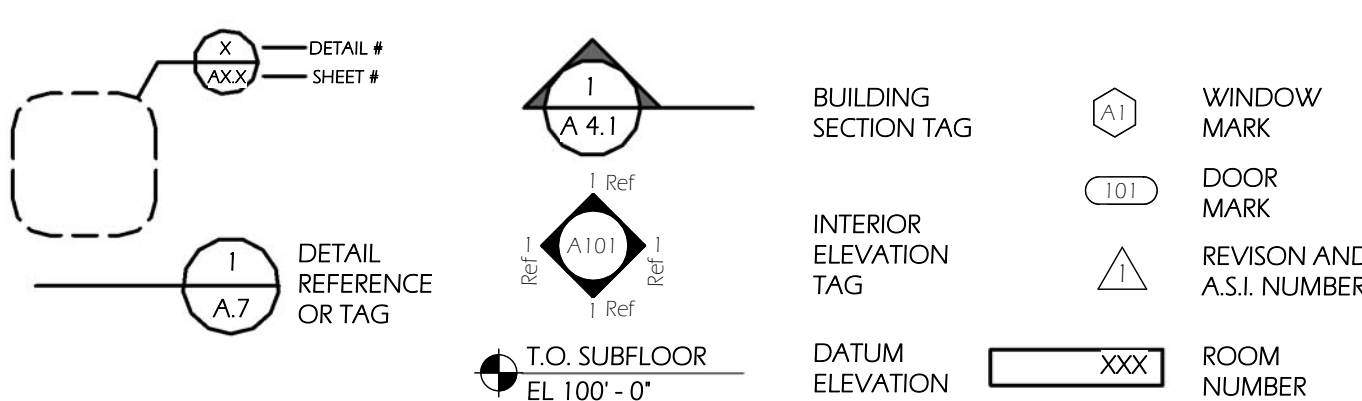
LOT 7 STONEGATE MATERIAL BOARD

BONDERIZED METAL SHINGLE SIDING



BONDERIZED CORRUGATED SIDING

GRAPHIC SYMBOLS LEGEND



VICINITY MAP - Town of Mountain Village



PROJECT SITE

EXISTING SITE IMAGES



PROJECT SITE

VIEW NORTH



VIEW SOUTH

SHEET LIST

Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date
A 0.0	Cover Sheet & Plan Set Information	10/08/2021		
A 0.1	Building Perspectives	10/08/2021		
A 1.1	Survey	10/08/2021		
A 1.2	Site Plan	10/08/2021		
A 1.3	Landscape	10/08/2021		
A 1.4	Exterior Lighting Plan	10/08/2021		
A 2.1	Entry Level Floor Plan	10/08/2021		
A 2.2	Master Level & Ski Level Floor Plan	10/08/2021		
A 2.3	Roof Plan	10/08/2021		
A 3.0	Average Height & Exterior Material Compliance	10/08/2021		
A 3.1	Elevations	10/08/2021		
A 3.2	Elevations	10/08/2021		
A 3.3	Exterior Materials Board	10/11/21		
A 8.1	Door & Window Schedule	10/08/2021		
C1	Notes	08/11/2021		
C2	Grading & Drainage Plan	08/11/2021		
C3	Utilities	08/11/2021		
C4	Construction Mitigation Plan	08/11/2021		

SITE ANALYSIS

Zoning - Single Family
Gross Lot Area = 15,289.62 SQ.FT. = 0.12 Acres
Max Lot Coverage Allowed = 40%
Lot Coverage Proposed = 2,546 SQ. FT.= 16.7%
Max Height Allowed = 40'
Max Height Proposed = 39.4'
Max Average Height Allowed = 30'
Max Average Height Proposed = 23.4'
Parking Req. - 2 Parking Space Required
- 2 Covered Provided

SCOPE OF WORK

PROPOSAL TO CONSTRUCT A 4,285 SQ FT SINGLE FAMILY HOME WITH AN ATTACHED 584.33 SQ FT GARAGE AT THE ENTRY LEVEL ON A 15,289.62 SQ FT LOT. THE HOME TO CONTAIN 3 BEDROOMS, 1 BUNK ROOM, 1 MEDIA ROOM, 4 1/2 BATHS AND 1 SKI/MUD ROOM. THREE LOWER DECKS (341 SQ FT, 67 SQ FT, 151 SQ FT) AND 397 SQ FT LOWER PATIO TO BE INCLUDED IN THE APPLICATION. A 462 SQ FT ENTRY BRIDGE AND DRIVEWAY BRIDGE TO BE INCLUDED TO BE USED FOR ACCESS OVER THE EXISTING RETAINING WALL. TOTAL SITE COVERAGE IS 3,952 SQ FT (ALLOWABLE = 6,115.9 SQ FT)

GENERAL NOTES & BEST MANAGEMENT PRACTICES:

GENERAL NOTES

CONTRACT DOCUMENTS:
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

ORGANIZATION:

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (I10 SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL AND PLUMBING DRAWINGS (M & P SHEETS), & ELECTRICAL (E SHEETS). THESE DRAWINGS ARE ORGANIZED BY BUILDING UNIT.

CODE COMPLIANCE:

ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL, AND LIGHTING DRAWINGS.

SHOWER COMPARTMENT WALLS:

SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL.

WALL AND CEILING FINISHES:

INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES:
- CLASS A: FLAME SPREAD 0-25; SMOKE-DEVELOPED 0-450.
- CLASS B: FLAME SPREAD 26-75; SMOKE-DEVELOPED 0-450.
- CLASS C: FLAME SPREAD 76-200; SMOKE-DEVELOPED 0-450.

ALL INTERIOR FINISH MATERIALS OTHER THAN TEXTILES SHALL HAVE A CLASS C RATING.

(TEXTILE WALL COVERINGS SHALL HAVE A CLASS A FLAME SPREAD INDEX IN ACCORDANCE WITH ASTM E 84 AND BE PROTECTED BY AUTOMATIC SPRINKLERS.)

SEE RCP SERIES FOR CEILING, SOFFIT, BEAM AND COFFER HEIGHTS.

ABBREVIATIONS USED IN SET:

A.F.F. -Above Finish Flooring
U.N.O. -Unless Noted Otherwise
T.O. -Top Of
T.O.F.F. -Top Of Finish Flooring
T.B.D. -To Be Determined / To Be Designed
(E) -Existing



1 Perspective 1



4 Perspective 4



5 Perspective at Street



2 Perspective 2



3 Perspective 3



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STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

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Lot 7

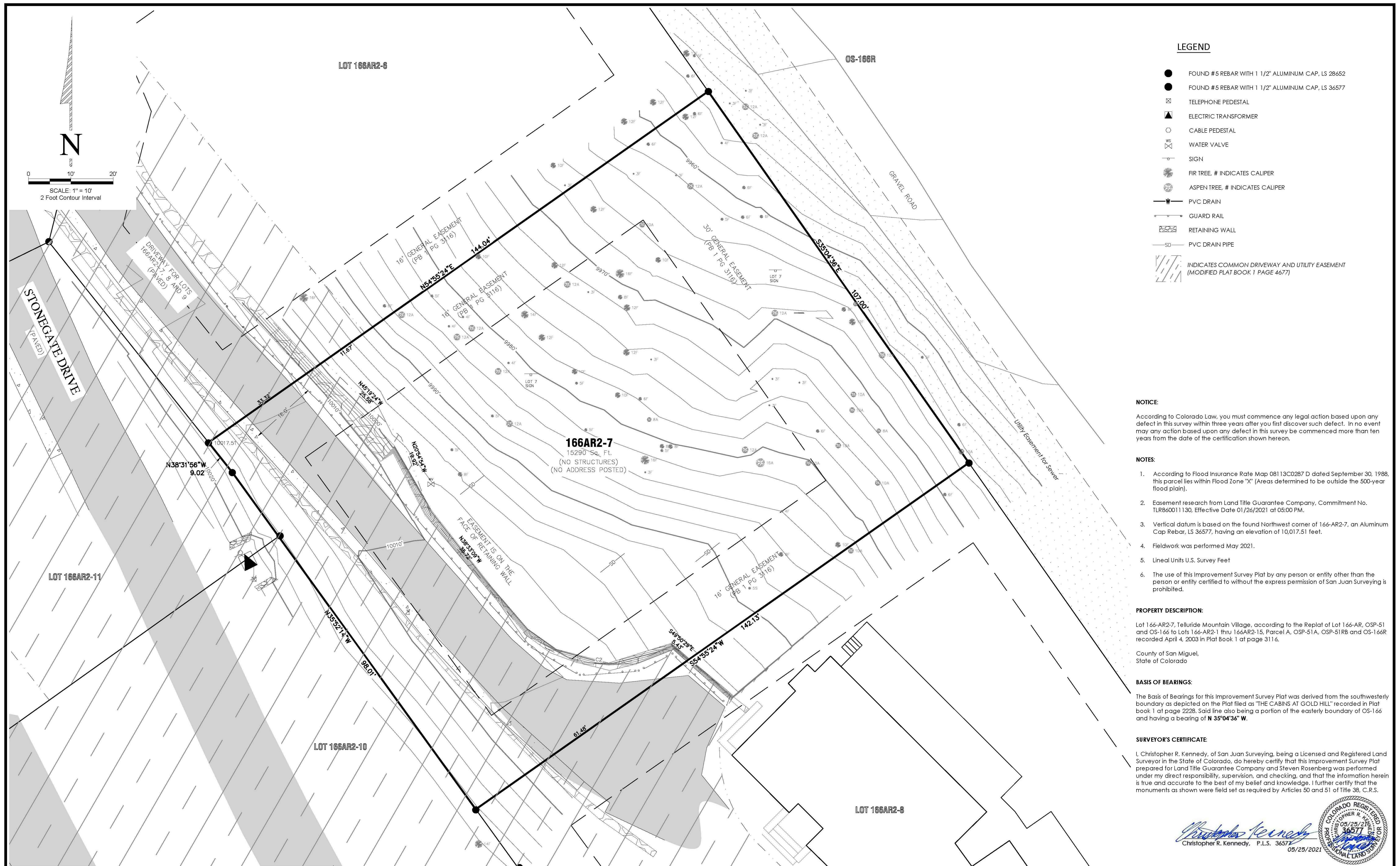
STONEGATE

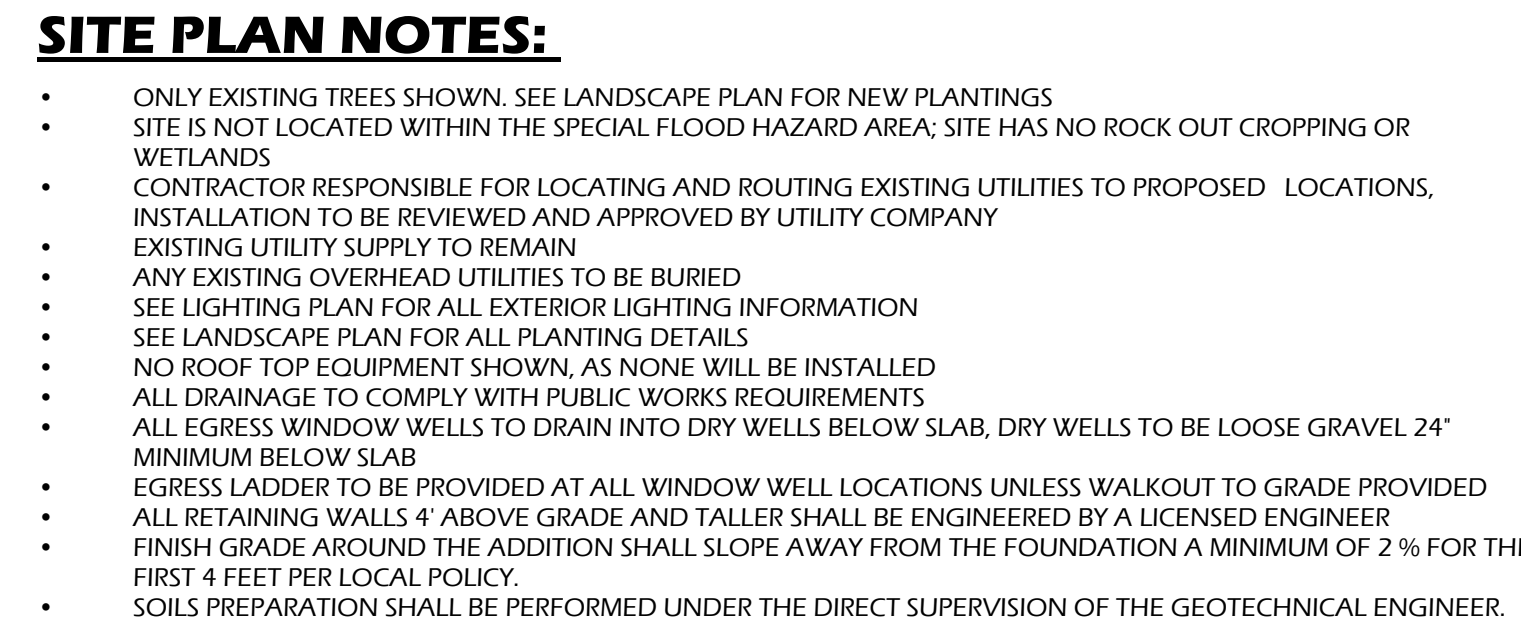
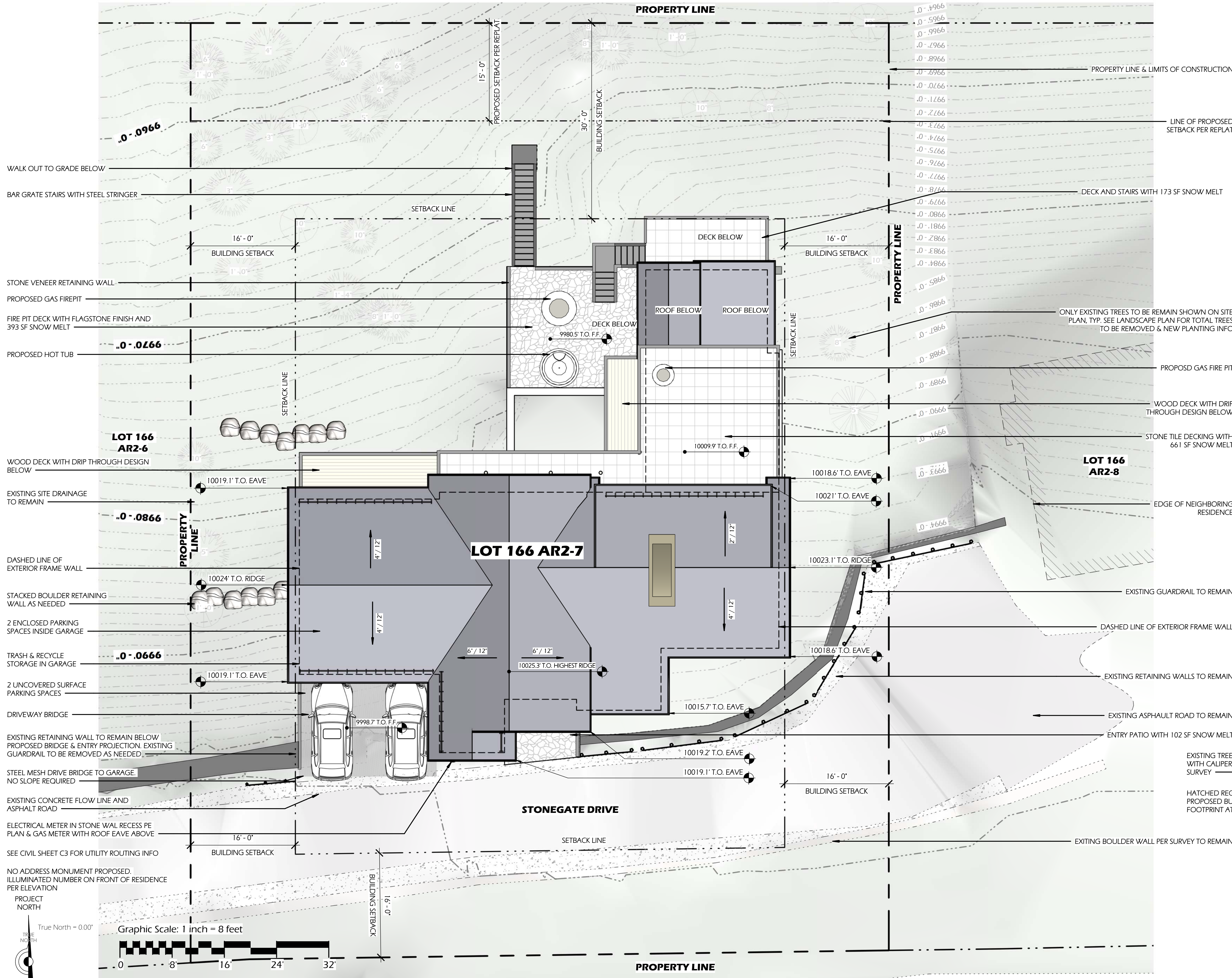
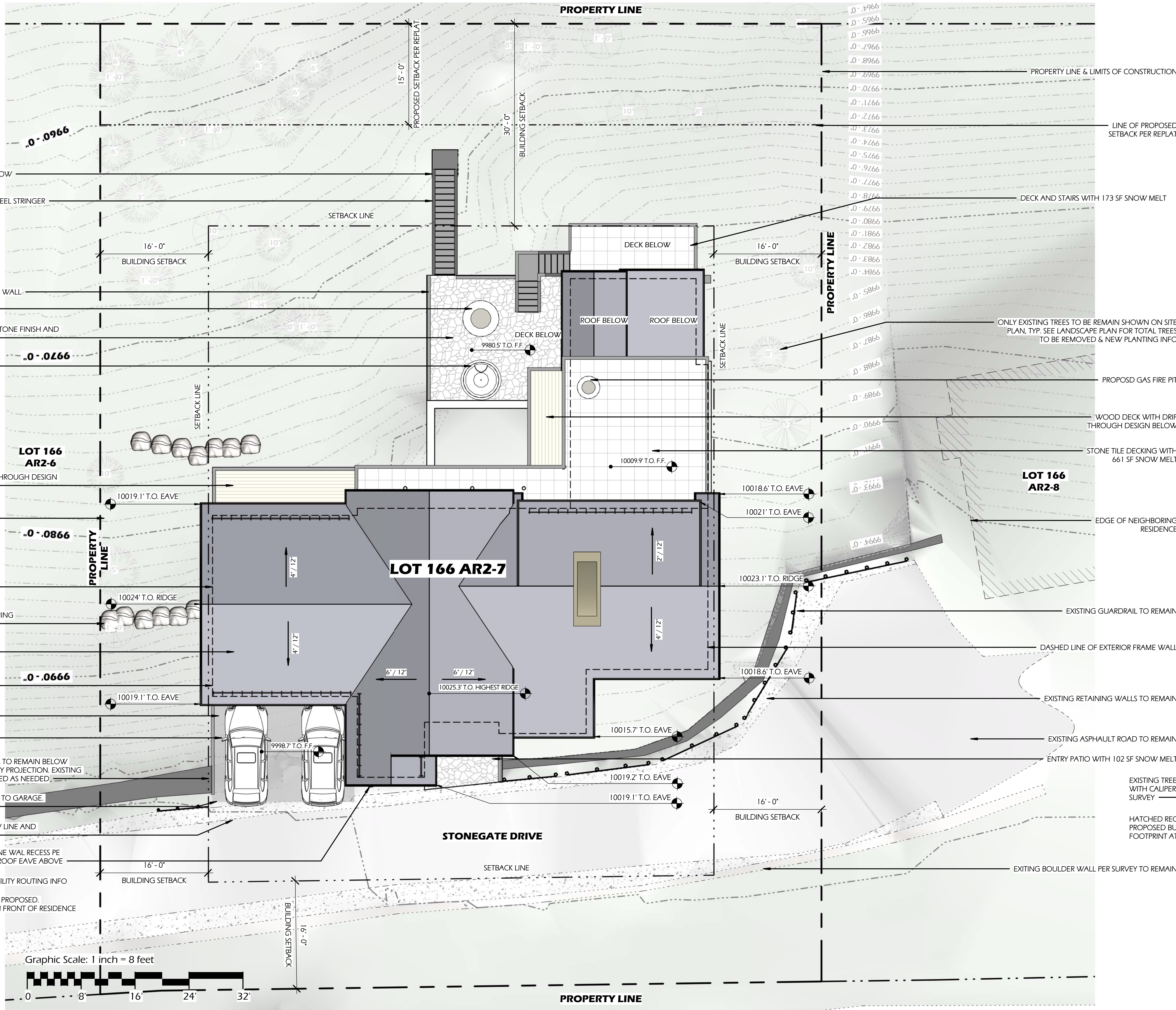
Building Perspectives

Date: 10/08/2021
Drawn by: DH / BF
Checked by: DH / BF




A 0.1

Scale:

















SNOW MELT TOTALS	
393	FIRE PIT DECK
173	SKI LEVEL DECK & STAIRS
661	ENTRY LEVEL DECK
102	ENTRY PATIO

PLANTING SYMBOLS	
	EXISTING PLANTING TO REMAIN (SYMBOL SHOWN GRAYTONE)
	EXISTING PLANTING TO BE REMOVED (SYMBOL SHOWN GRAYTONE WITH DASHED LINES)
	NEW/PROPOSED PLANTING (SYMBOL SHOWN BLACK WITH COLORED FILL)

LINE TYPES LEGEND

	SEWER
	WATER VALVE
	EXISTING MAJOR CONTOUR
	NEW CONTOUR
	GRADE ELEVATION TAG
	PROPERTY LINE
	EASEMENT / SETBACK
	OVERHEAD ELECTRICAL
	OVERHEAD CABLE
	GAS LINE
	SEWER LINE
	WATER LINE

PROJECT TEAM

PROPERTY OWNER _____

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13520 Hesby Street
Sherman Oaks, CA 91423

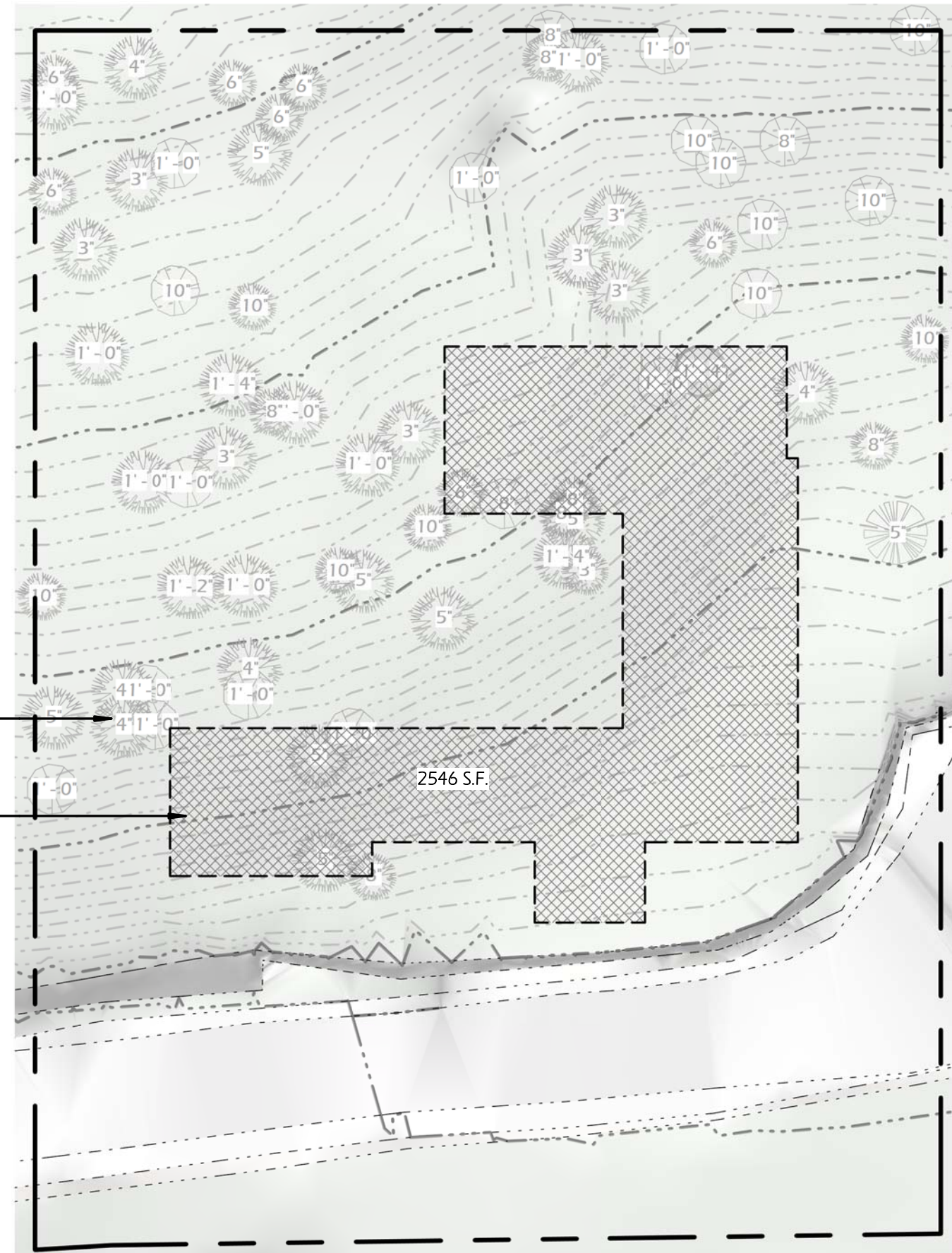
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STRUCTURAL ENG.

[illegible]



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Lot 7

STONEGATE

Landscape

Date: 10/08/2021
Drawn by: DH / BF
Checked by: DH / BF

A 1.3

Scale: As indicated

LANDSCAPE NOTES:

REVEGETATION NOTES

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED [EXCEPT ON SLOPES GREATER THAN 3:1] AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN TEN DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED, OR ARE RELATIVELY UNDISTURBED, NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW-UP WITH DRY MULCHING.
- STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY AND 2 TONS PER ACRE FOR STRAW, CRIMP IN.
- ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED AS REVEG/RESEED WITH TELSKI WILDFLOWER GRASS AND SEED MIX OF A RATE AS FOLLOWS:

Native Grass Seed Mix.

i. Seeding with the native grass seed mix or the wetland buffer mix, if applicable, is required in all disturbed areas on the perimeter of the building site and at utility and road cuts.

(a) Native Grass Seed Mix (General Revegetation)

- Western Yarrow 5%
 - Tall Fescue 10%
 - Arizona Fescue 5%
 - Hard Fescue 5%
 - Creeping Red Fescue 10%
 - Alpine Bluegrass 15%
 - Canada Bluegrass 10%
 - Perennial Ryegrass 15%
 - Slender Wheatgrass 10%
 - Mountain Brome 15%
- (b) Wetlands Buffer Mix
To be planted within twenty feet (20') of wetland areas
- Arizona Fescue 14%
 - Alpine Bluegrass 14%
 - Slender Wheatgrass 35%
 - Mountain Brome 36%

LANDSCAPE GENERAL NOTES

- ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT.
- ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STAKED WITH 4 FOOT METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER, SHREDDED BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTED MATERIALS SHALL BE A NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY NOXIOUS WEED LIST. LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
- ALL NEW PLANTED ASPEN TREES TO BE MULTI-STEM TREES.

IRRIGATION

- T TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER
- RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER
- 1 1/2" WILKINS MODEL 500 PRESSURE REGULATOR
- RAINBIRD 150 ELECTRIC REMOTE CONTROL VALVE
- 1" CLASS 200 PVC MAINLINE
- 1" NSF POLYLATERAL LINE
- WATER SENSOR
- RAINBIRD POP-UP DRIP LINE
- TREES AND SHRUBS TO BE DRIP ONLY-DRIP ZONES TO BE SHUT OFF (2) FULL GROWING SEASONS AFTER PLANT ESTABLISHMENT
- TEMPORARY IRRIGATION OF REVEGETATED AREAS - LONG TERM WATERING TO BE ASSESSED TOT AUTHORITY

Planting - Existing To Remain

Type Mark	Type Comments	Count	Phase Created	Phase Demolished
	4 in Caliper	6	New Construction	None
ASPEN	8 in Caliper	2	Existing	None
ASPEN	10 in Caliper	3	Existing	None
ASPEN	12 in Caliper	3	Existing	None
FIR	3 in Caliper	2	Existing	None
FIR	4 in Caliper	1	Existing	None
FIR	5 in Caliper	2	Existing	None
FIR	6 in Caliper	5	Existing	None
FIR	8 in Caliper	3	Existing	None
FIR	10 in Caliper	3	Existing	None
FIR	12 in Caliper	4	Existing	None
FIR	16 in Caliper	1	Existing	None
SPRUCE	4 in Caliper	4	New Construction	None
SPRUCE	5 in Caliper	1	Existing	None
		40		

Planting - Existing To Be Removed

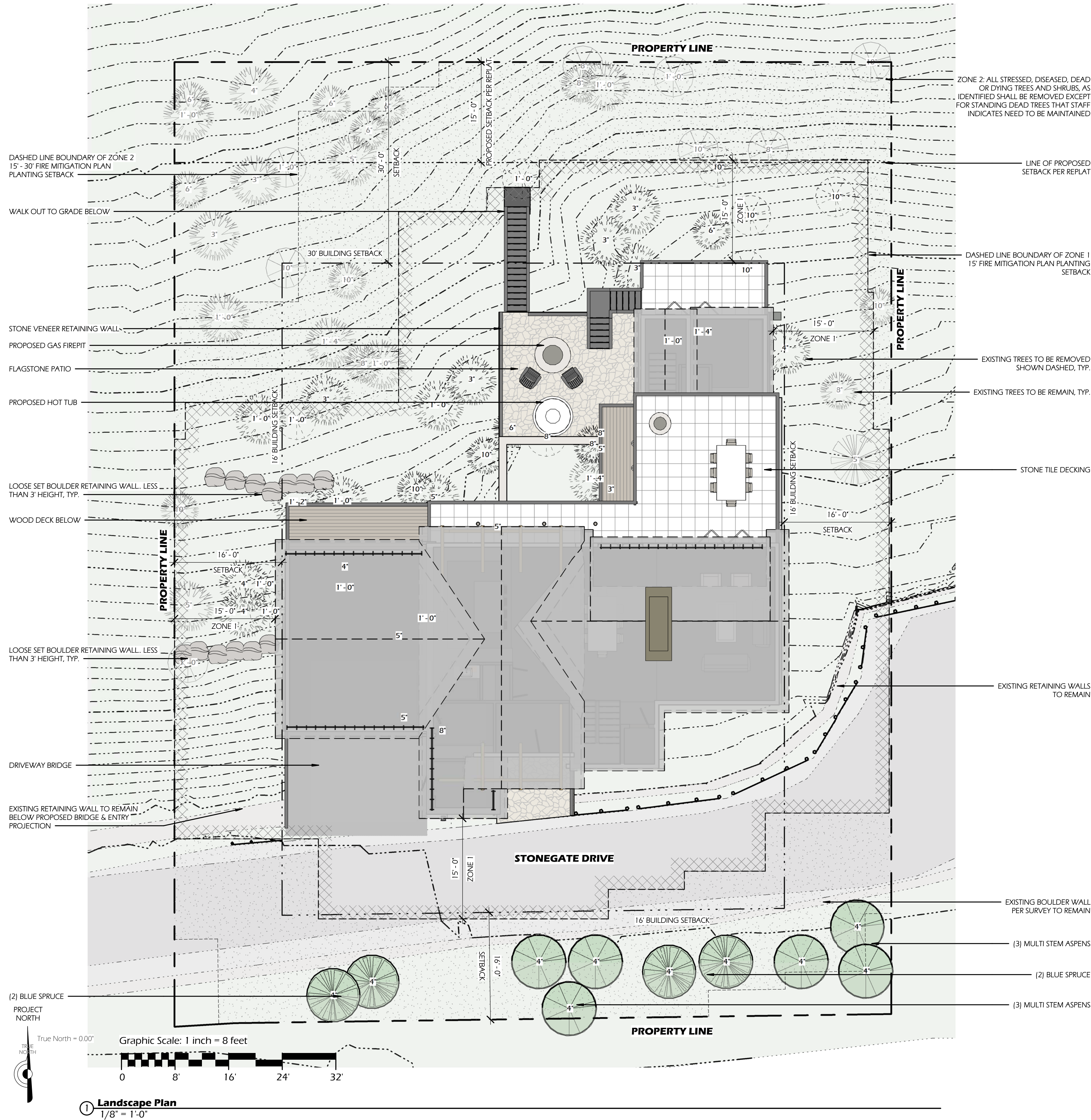
Type Mark	Type Comments	Count	Phase Created	Phase Demolished
ASPEN	8 in Caliper	1	Existing	New Construction
ASPEN	10 in Caliper	4	Existing	New Construction
ASPEN	12 in Caliper	7	Existing	New Construction
ASPEN	16 in Caliper	1	Existing	New Construction
FIR	3 in Caliper	6	Existing	New Construction
FIR	4 in Caliper	4	Existing	New Construction
FIR	5 in Caliper	5	Existing	New Construction
FIR	6 in Caliper	2	Existing	New Construction
FIR	8 in Caliper	3	Existing	New Construction
FIR	10 in Caliper	2	Existing	New Construction
FIR	12 in Caliper	3	Existing	New Construction
FIR	14 in Caliper	1	Existing	New Construction
FIR	16 in Caliper	1	Existing	New Construction
		40		

Planting - New Proposed

Type Mark	Type Comments	Count	Phase Created	Phase Demolished
	4 in Caliper	6	New Construction	None
SPRUCE	4 in Caliper	4	New Construction	None
		10		

Planting - Symbols Legend

- EXISTING PLANTING TO REMAIN (SYMBOL SHOWN GRAYTONE)
- EXISTING PLANTING TO BE REMOVED (SYMBOL SHOWN GRAYTONE WITH DASHED LINES)
- NEW PROPOSED PLANTING (SYMBOL SHOWN BLACK WITH COLORED FILL)
- ASPEN WITH CALIPER SIZE SHOWN
NOTE: PLANTINGS ARE LABELED WITH CALIPER SIZE. REFER TO SURVEY & SITE PLAN SHEETS FOR EXISTING TREE SIZE INFORMATION
- SPRUCE
- DWARF EVERGREEN
- HATCHED AREA OF REVEG / RESEED



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Lot 7

STONEGATE

Exterior Lighting Plan

Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 1.4

Scale: As indicated



1 Lighting Perspective 1



3 Lighting Perspective 3



5 Lighting Perspective 5

TYPE: A	
• ILLUM TYPE:	LED
• SOURCE LUMENS:	300
• TEMP:	3000K
• CRI:	90
• BEAM VIEW ANGLE:	90
FIXTURE HEIGHTS VARY	
• LUMINOUS AREA AT 8'-0" AFF:	27.42 LUX
• SPREAD (M):	4.89m
• COVERAGE AREA (M2):	18.7m²
• LUMINOUS AREA AT 7'-6" AFF:	31.19LUX
• SPREAD (M):	4.57m
• COVERAGE AREA (M2):	16.4m²
• LUMINOUS AREA AT 5'-3" AFF:	63.66LUX
• SPREAD (M):	3.20m
• COVERAGE AREA (M2):	8.04m²

Alume AWL.61 Wall Sconce

Simple and refined are the best ways to describe the Alume AWL.61 Wall Sconce by LumenArt. The Opal Acrylic lenses pair well with the variety of models and finishes this fixture has to offer. Suitable for indoor and outdoor use.

- Details:**
- Material: Aluminum
 - Shade Material: Frosted White Opal Glass
 - Dimmable when used with a ELV or TRIAC or 0-10V Dimmer (Not Included)
 - ETL Listed Wet
 - 1 Light Option Fixture: Width 9", Height 4.75", Depth 1.62"
 - 1 DOWN light
 - 1W LED

TYPE: B	
• ILLUM TYPE:	LED
• SOURCE LUMENS:	300
• TEMP:	3000K
• CRI:	80
• LUMINOUS AREA AT 9'-6" AFF:	19.44 LUX
• SPREAD (M):	5.79m
• COVERAGE AREA (M2):	26.3m²
• BEAM VIEW ANGLE:	90

Hinkley - Kore Bronze Square Dark Sky LED Outdoor Wall Light

Simple and refined are the best ways to describe the Alume AWL.61 Wall Sconce by LumenArt. The Opal Acrylic lenses pair well with the variety of models and finishes this fixture has to offer. Suitable for indoor and outdoor use.

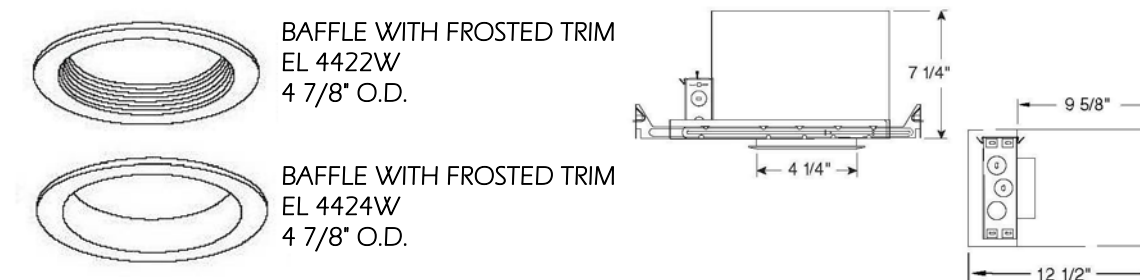
- Details:**
- 7 1/2" high x 5 1/4" wide. Extends 4" from the wall. Backplate is 5 1/4" wide. Weights 2 lbs.
 - Built-in dimmable 5 watt LED module
 - Kore square cylinder ADA compliant
 - dark sky compliant energy-efficient
 - Bronze finished aluminum construction with Etched glass lens.

TYPE: C	
• ILLUM TYPE:	LED
• SOURCE LUMENS:	660
• TEMP:	3000K
• CRI:	80
• BEAM VIEW ANGLE:	38
• LUMINOUS AREA AT 9'-6" AFF:	42.77 LUX
• SPREAD (M):	5.79m
• COVERAGE AREA (M2):	26.3m²

ELKO: ELD44ICA 4" LED New Construction IC Airtight Housing

Lamp: 13W LED module, 350mA DC
Driver: 120V AC, 0.14A high quality driver Dimmable with most incandescent and electronic dimmers.
Trim Ring: Polycarbonate trim ring designed to conceal ceiling cutout.
ELD44ICA: 3000°K, 660 lm
Note: Battery backup driver available upon request.

- Housing includes LED module and driver unit.
- Double wall construction, for use in insulated ceilings.
- 7 1/4" height allows for use in 2 x 8 construction.
- Adjustable housing accommodates up to 1 1/4" ceiling thickness.
- Advanced heat sink design for best heat dissipation to maintain maximum LED module life.
- Over 660 lumens effective light output (with baffle trim).
- High CRI (>80), warm white (3000°K), high lumen maintenance.
- Housing meets restricted air flow requirement (per ASTM E-289).
- CA Title 24 compliant.
- Meets ENERGY STAR requirements.
- Trims sold separately.

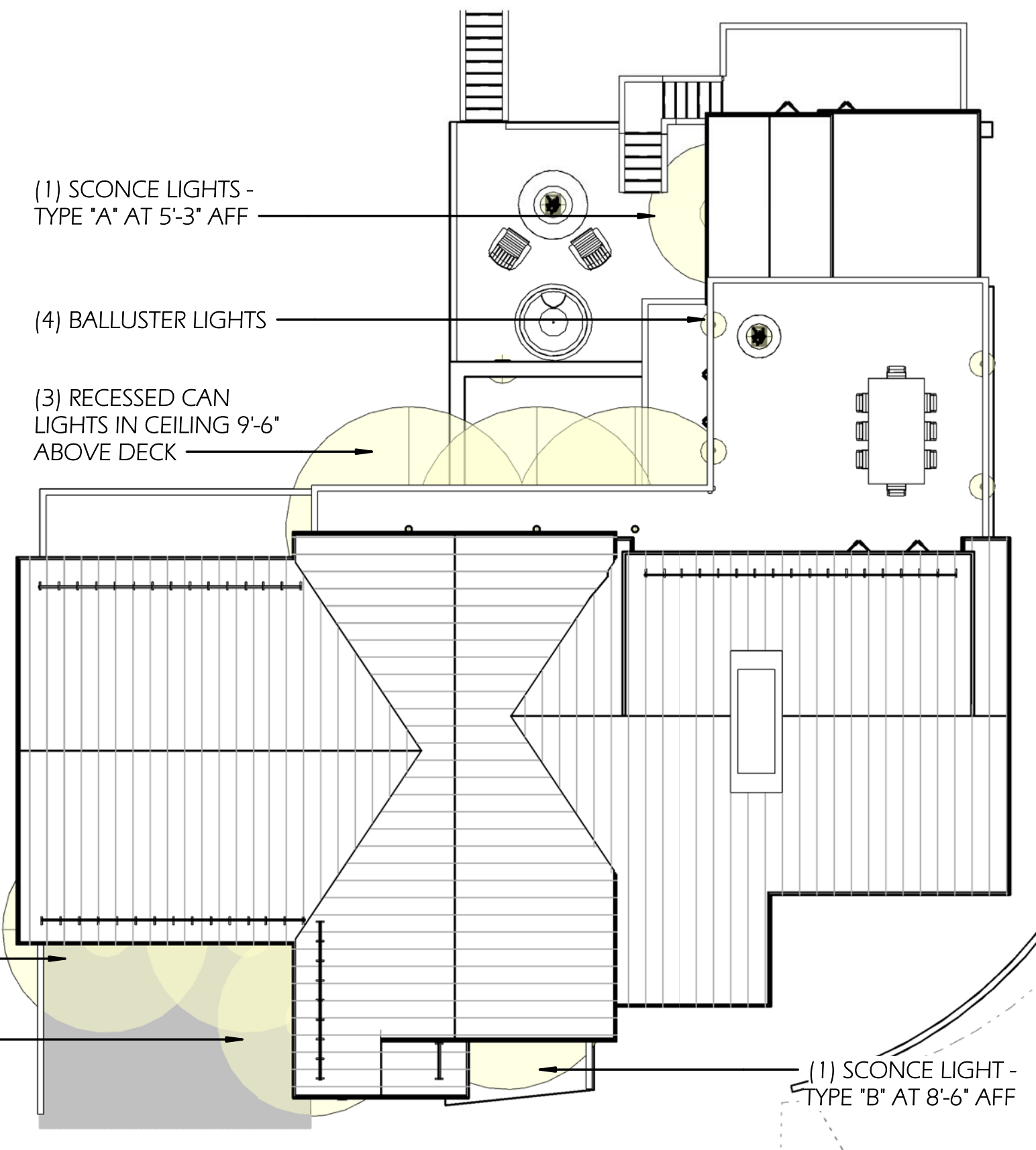
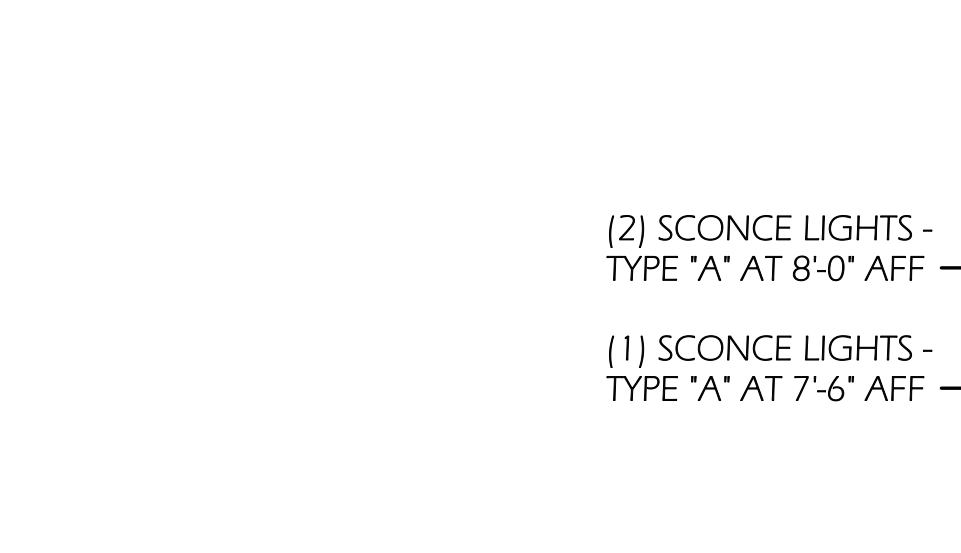


2 Lighting Perspective 2



4 Lighting Perspective 4

Type Mark	Type Comments	Count	Description
	Sconce	7	
TYPE A	Sconce	2	
TYPE C	Recessed Can Light	3	
TYPE D	Balluster Light	4	
TYPE E	Side Wall Step Light	11	
		27	



6 Lighting Key Plan

1" = 10'-0"

TYPE: D	
• ILLUM TYPE:	LED
• SOURCE LUMENS:	150
• TEMP:	2700K
• CRI:	90
• LUMINOUS AREA AT 10" AFF:	1.263LUX
• SPREAD (M):	0.508m
• COVERAGE AREA (M2):	0.254m²
• BEAM VIEW ANGLE:	90

Hardy Island Matte Bronze Landscape Deck Sconce

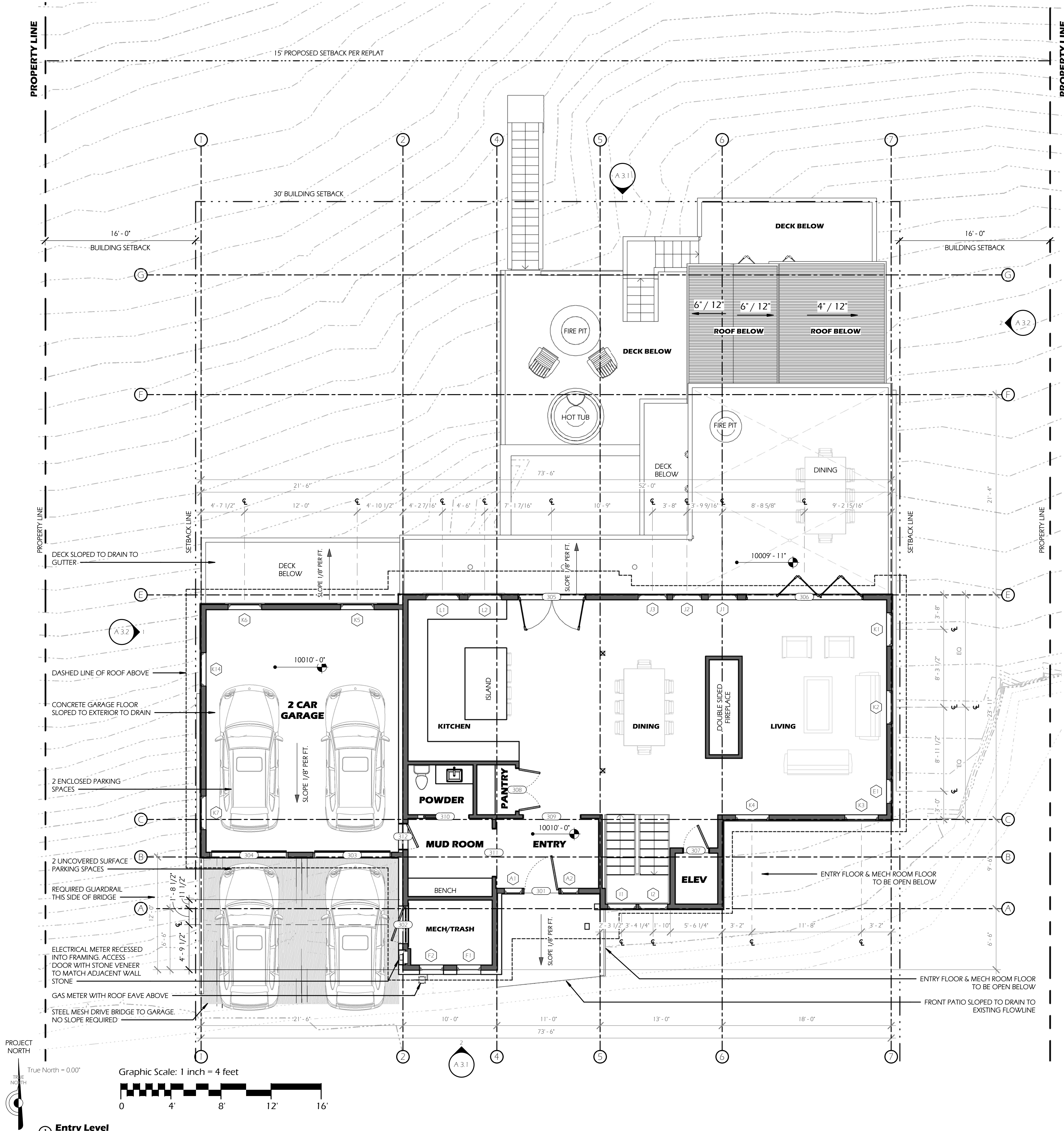
Hinkley 16801MZ-LL - Hardy Island products are impeccably designed to defy the harshest environments. The Hardy Island Collection, named for the ruggedly beautiful island off the coast of British Columbia, defies the harshest environments in style with landscape lighting that features fully enclosed lamps and a rich weathered brass finish that will mature naturally over time.

- DETAILS:**
- SKU: 16801MZ-LED
 - Safety Rating: C-US Wet Rated
 - Material: Cast Brass
 - Finish: Matte Bronze
 - Category: Deck/Step Lighting
 - Dimensions and Weight:
Length: 2.00 in.
Width: 3.50 in.
Height: 3.50 in.
Extension/Depth: 2.00 in.
Weight: 1.10 lb.

TYPE: E	
• ILLUM TYPE:	LED
• SOURCE LUMENS:	68
• TEMP:	2700K
• CRI:	90
• LUMINOUS AREA AT 1'-6" AFF:	397.7 LUX
• SPREAD (M):	0.61m
• COVERAGE AREA (M2):	0.292m²
• BEAM VIEW ANGLE:	90

WL-LED100 Step And Wall Light

Construction: Die-cast corrosion resistant aluminum alloy
Low profile, flush to wall aesthetics with no visible hardware
Balanced lighting, free of shadows with minimum glare

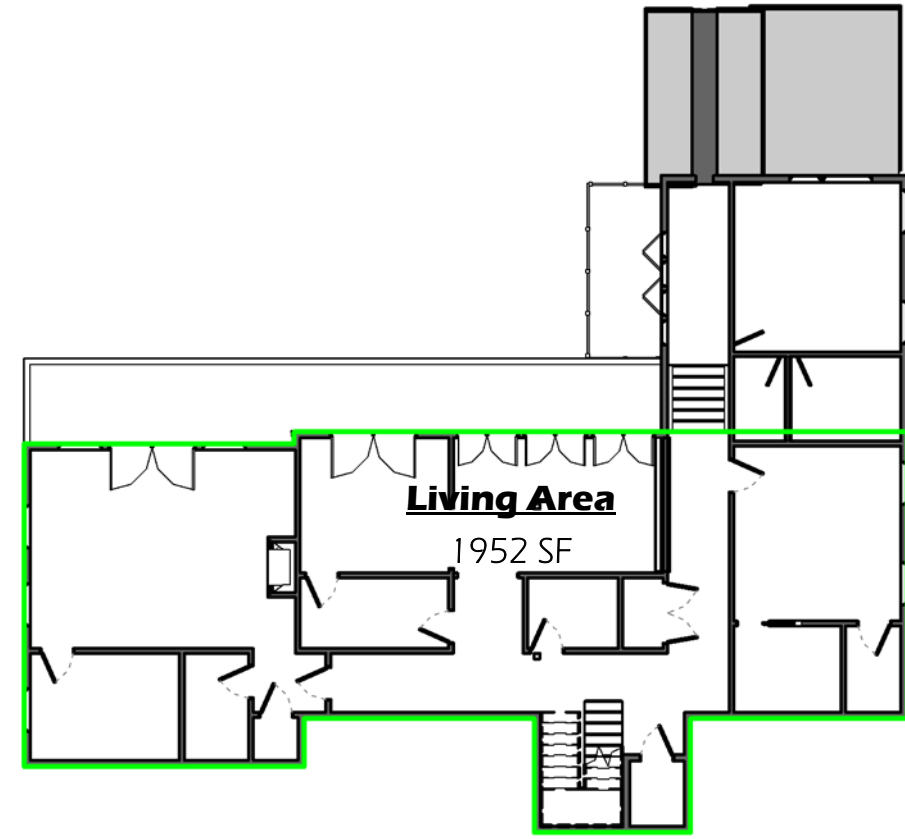
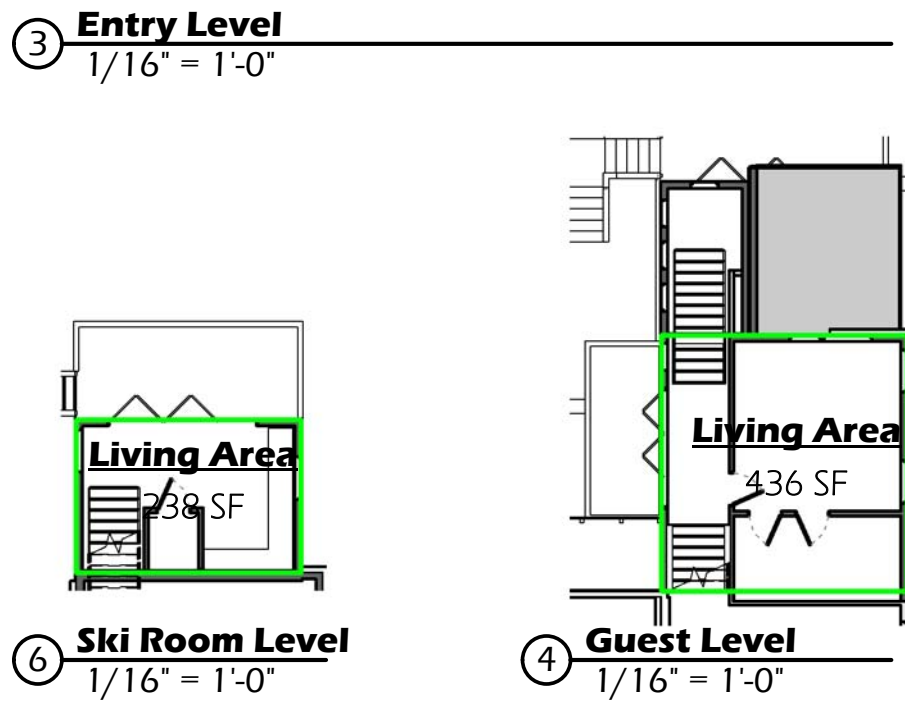
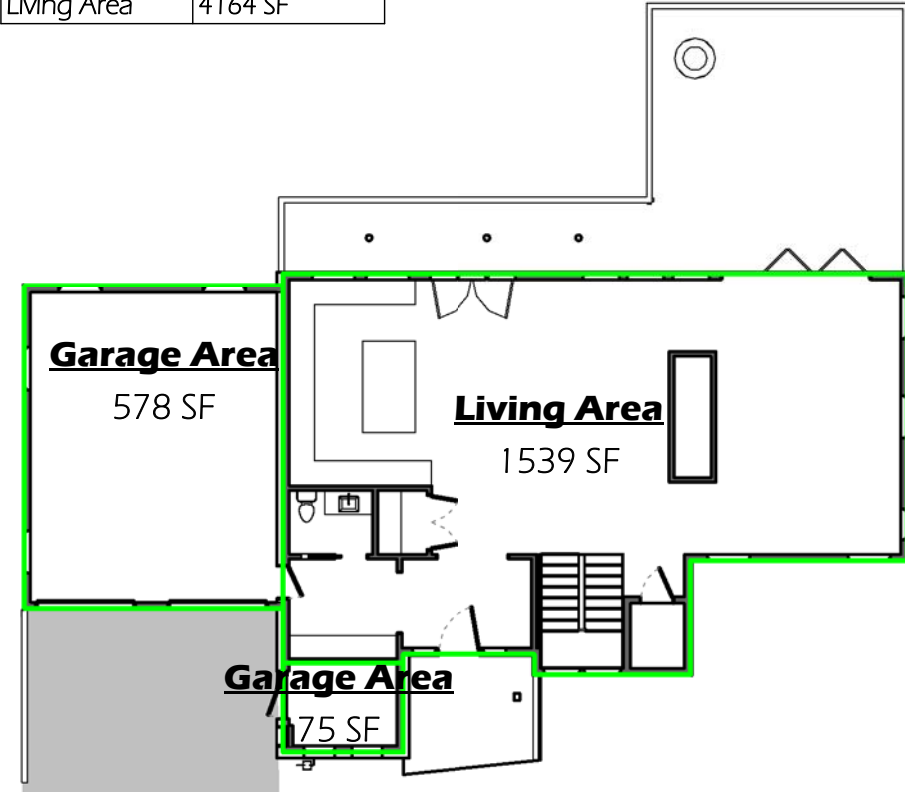


FRAMING NOTES:

- DO NOT SCALE DIMENSIONS FROM PLANS. ANY MISSING OR UNCLEAR DIMENSIONS ARE TO BE CONFIRMED WITH THE ARCHITECTS.
- FRAMING PLANS DIMENSIONS SHOWN TO FACE OF STUD OR OBJECTS CENTER, TYPICALLY U.N.O.
- SOUND BATT INSULATION AT ALL INTERIOR WALLS & FLOOR, TYP.
- SEE A5 SERIES FOR STAIR DETAILS.
- SEE A7 FOR ALL ASSEMBLY DETAILS.
- ALL FURRING ON CONCRETE WALLS SHOWN @ 2" DEEP, U.N.O.
- ALL EXTERIOR FLOORS TO BE 1" BELOW ADJACENT INTERIOR FINISH FLOOR ELEVATION
- ALL EXTERIOR SLABS AND SURFACES TO BE SLOPED TO DRAIN PER PLANS
- ALL EGRESS WINDOW WELLS TO DRAIN INTO DRY WELLS BELOW SLAB, DRY WELLS TO BE LOOSE GRAVEL 24" MINIMUM BELOW SLAB
- EGRESS LADDER TO BE PROVIDED AT ALL WINDOW WELL LOCATIONS
- LADDER OR RUNGS ARE TO HAVE AN INSIDE WIDTH OF NOT LESS THAN 12", SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. THE LADDER OR STEPS SHALL NOT ENCRoACH INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL BY MORE THAN 6" AND SHALL NOT BE OBSTRUCTED BY THE EGRESS WINDOW.
- SAFETY GLAZING TO BE PROVIDED AS REQUIRED BY LOCAL CODES, (R308.4), REFER TO A8.1 FOR SPECIFIC WINDOWS & DOORS LOCATIONS THAT REQUIRE SAFETY GLAZING

Area Schedule		
Area	Comments	Level
238 SF	Living Area	Ski Room Level
436 SF	Living Area	Guest Level
1952 SF	Living Area	Master Level
652 SF	Garage Area	Entry Level
1539 SF	Living Area	Entry Level

Living Area 4164 SF



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SANTA BARBARA, CA
701 ANACAPASTREET 805.729.4276

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SURVEYOR

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Telluride, CO 81435
Office: 970.728.1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

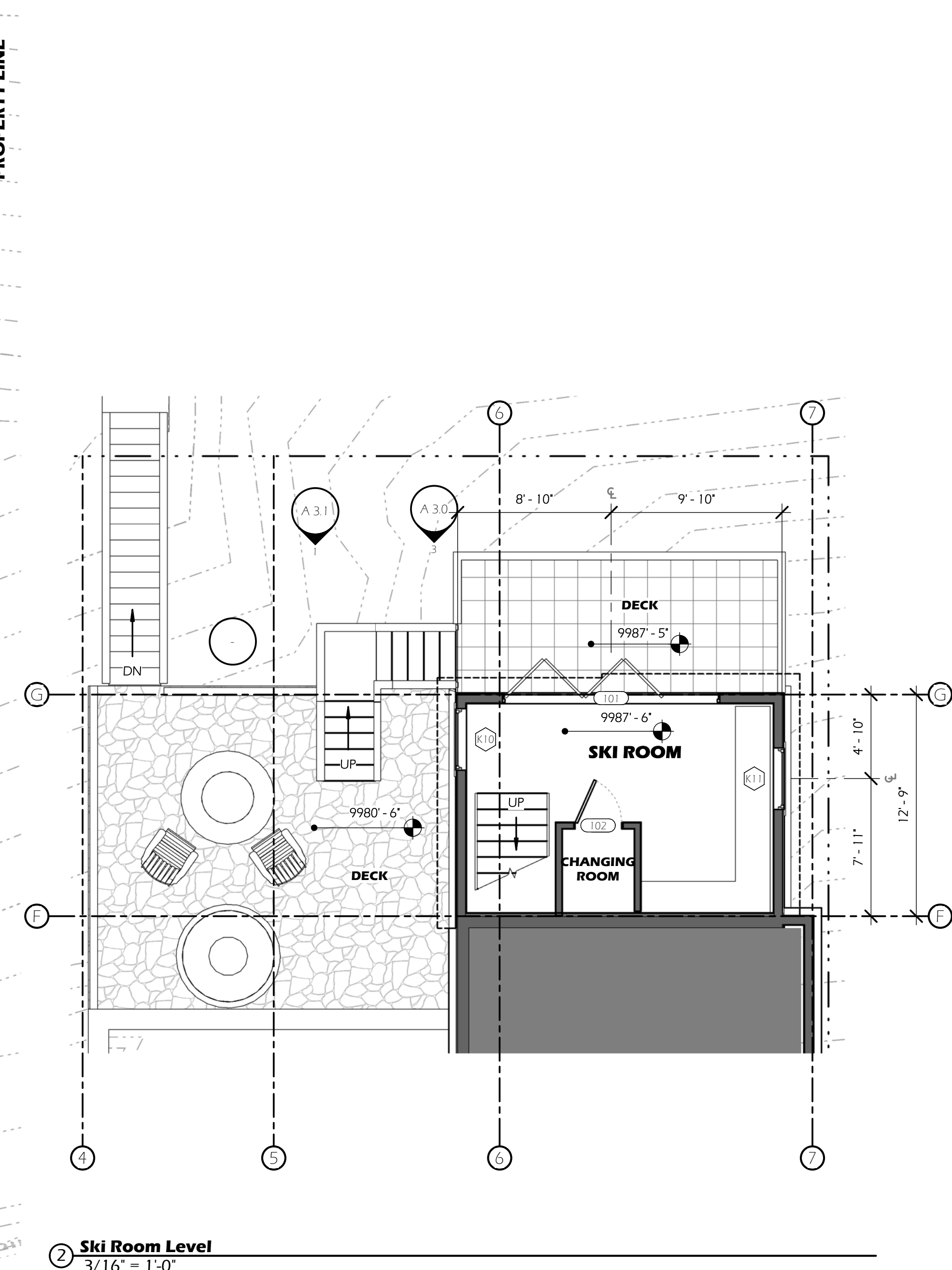
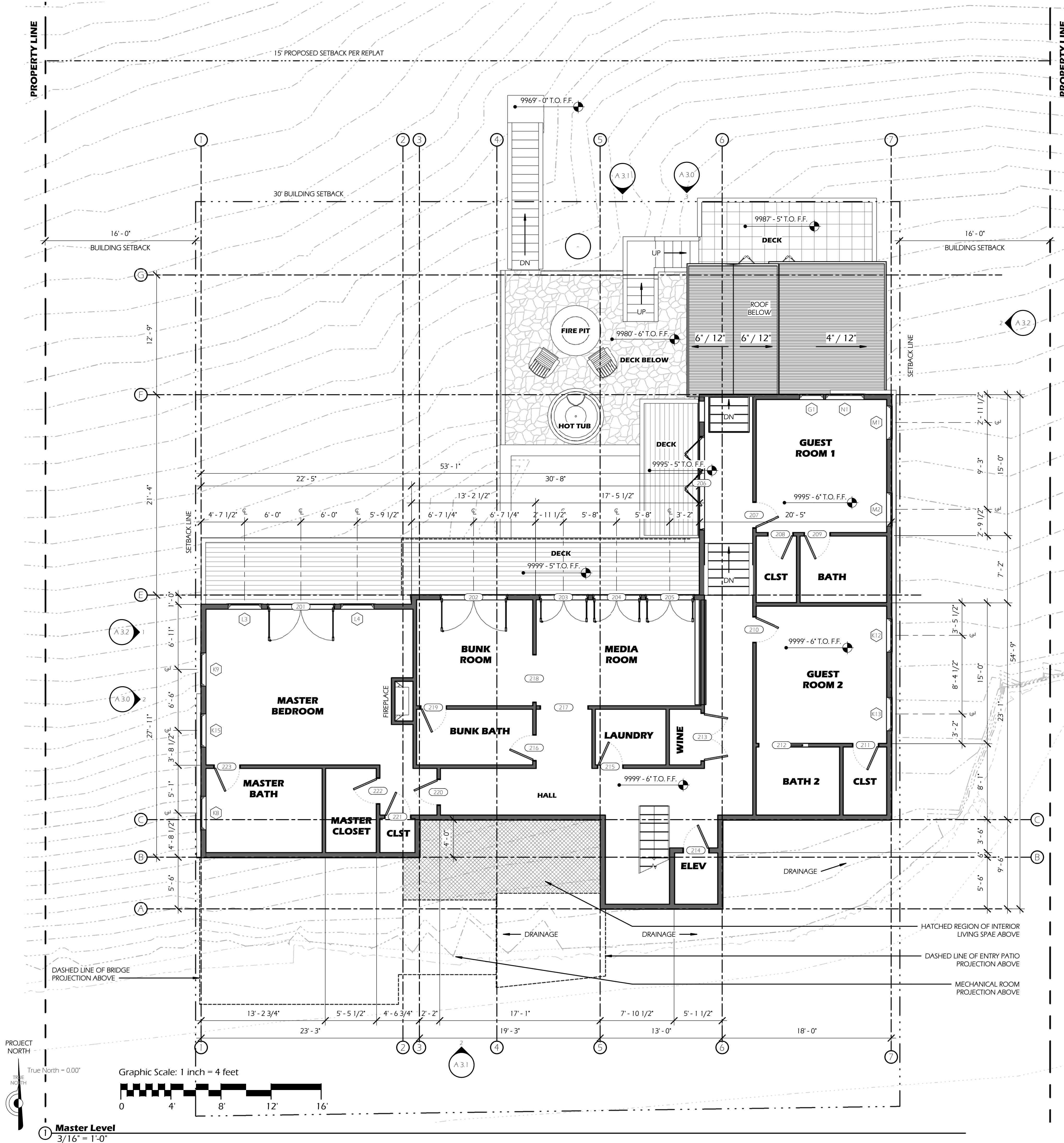
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No.	Description	Date
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Lot 7
STONEGATE
Entry Level Floor Plan

Date: 10/08/2021
Drawn by: DH / BF
Checked by: DH / BF

A 2.1
Scale: As indicated



SALT

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MECHANICAL ENG.

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PROJECT ZONING

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IRC Occ. Class R-3

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Lot 7

STONEGATE

Master Level & Ski Level Floor Plan

Date: 10/08/2021

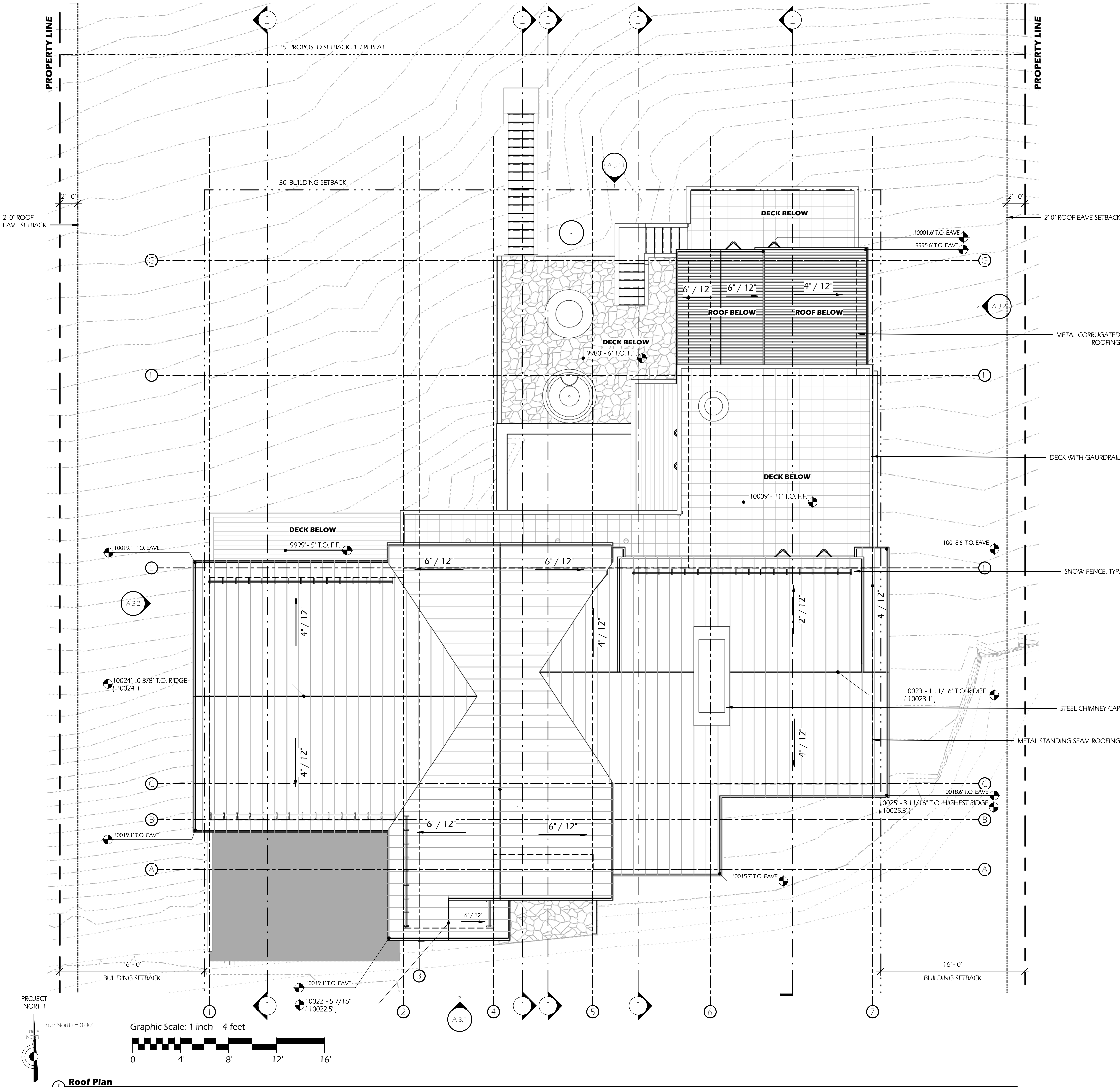
Drawn by: DH / BF

Checked by: DH / BF

A 2.2

Scale: 3/16" = 1'-0"

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ROOF PLAN NOTES:

- SOUND BATT INSULATION AT ALL INTERIOR WALLS & FLOOR, TYP.
- SEE A5 SERIES FOR STAIR DETAILS
- SEE A7 FOR ALL ASSEMBLY DETAILS
- ALL FURRING ON CONCRETE WALLS SHOWN @ 2" U.N.O.
- ALL EXTERIOR FLOORS TO BE 1" BELOW ADJACENT INTERIOR FINISH FLOOR ELEVATION
- ALL SOFFITS & RIDGES TO BE FULLY SEALED PER DETAILS
- SAFETY GLAZING TO BE PROVIDED AS REQUIRED BY LOCAL CODES, (R308.4) REFER TO A8.1 FOR SPECIFIC WINDOWS
- 6 DOORS LOCATIONS THAT REQUIRE SAFETY GLAZING
- EAVE OUTLOOK DIMENSIONS SHOWN ON BUILDING SECTIONS



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Telluride, CO 81435
Office: 970.728-1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

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Lot 7

STONEGATE

Roof Plan

Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 2.3

Scale: As indicated

PROJECT TEAM

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MECHANICAL ENG.

PROJECT DESCRIPTION

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Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

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Lot 7

STONEGATE

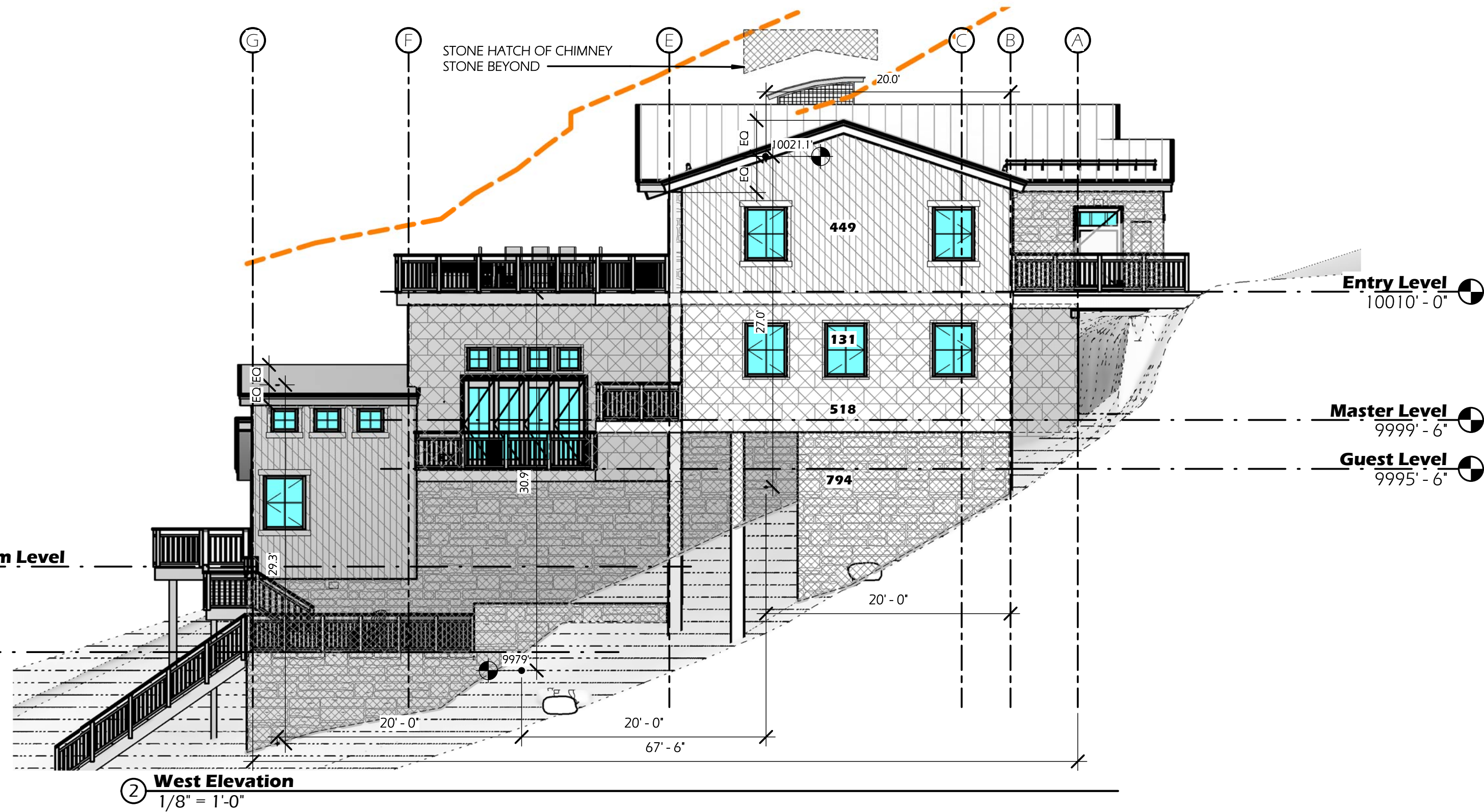
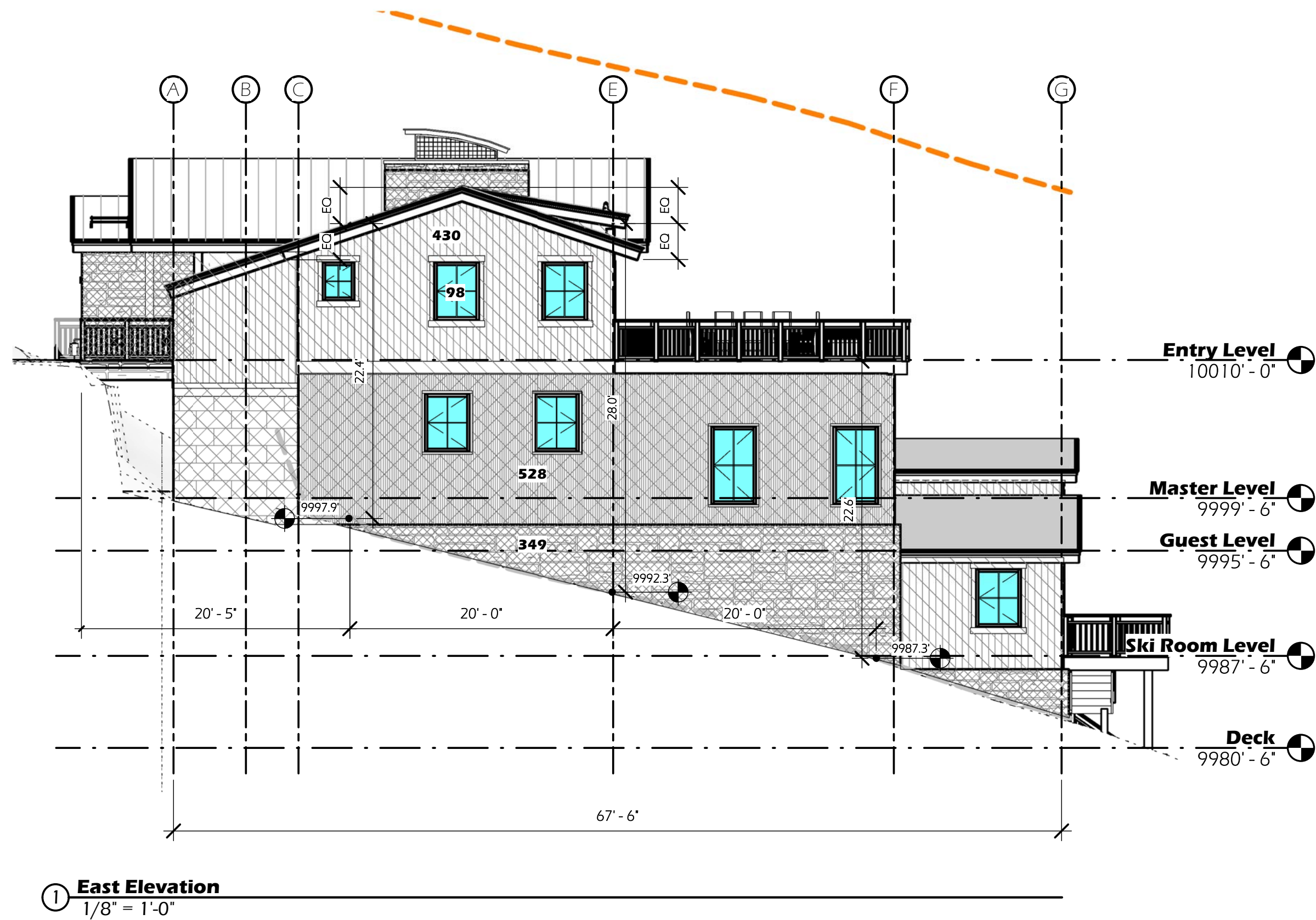
Average Height &
Exterior Material
Compliance

Date:	10/08/2021
Drawn by:	DH / BF
Checked by:	DH / BF

A 3.0

Scale: As indicated

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MATERIAL CALCULATIONS

EXTERIOR WALL MATERIAL PERCENTAGES

PERCENTAGE OF STONE: 35%
PERCENTAGE OF STUCCO: 0%
PERCENTAGE OF WOOD: 29%
PERCENTAGE OF ACCENT MATERIAL: 24%
PERCENTAGE OF FENESTRATION: 12%

TOTAL BUILDING

TOTAL SQ. FT. OF EXTERIOR WALL: 6,402
TOTAL SQ. FT. OF STONE: 2,226
TOTAL SQ. FT. OF STUCCO: 0
TOTAL SQ. FT. OF WOOD: 1,830
TOTAL SQ. FT. OF ACCENT MATERIAL: 1,518
TOTAL SQ. FT. OF FENESTRATION: 828

NORTH ELEVATION

TOTAL SQ. FT. OF EXTERIOR WALL : 2,493
TOTAL SQ. FT. OF STONE : 975
TOTAL SQ. FT. OF STUCCO : 0
TOTAL SQ. FT. OF WOOD : 629
TOTAL SQ. FT. OF ACCENT MATERIAL: 417
TOTAL SQ. FT. OF FENESTRATION : 472

EAST ELEVATION

TOTAL SQ. FT. OF EXTERIOR WALL : 1,405
TOTAL SQ. FT. OF STONE : 349
TOTAL SQ. FT. OF STUCCO : 0
TOTAL SQ. FT. OF WOOD : 430
TOTAL SQ. FT. OF ACCENT MATERIAL: 528
TOTAL SQ. FT. OF FENESTRATION : 98

SOUTH ELEVATION

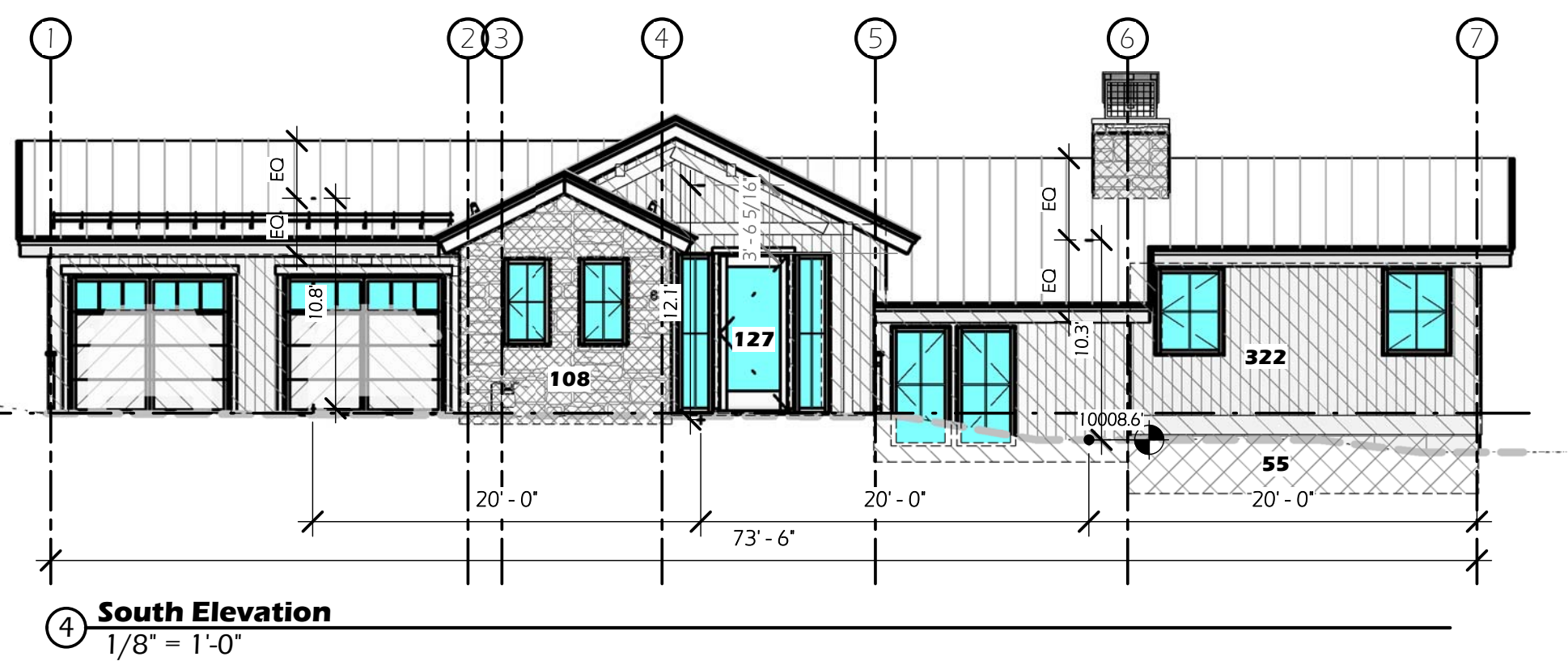
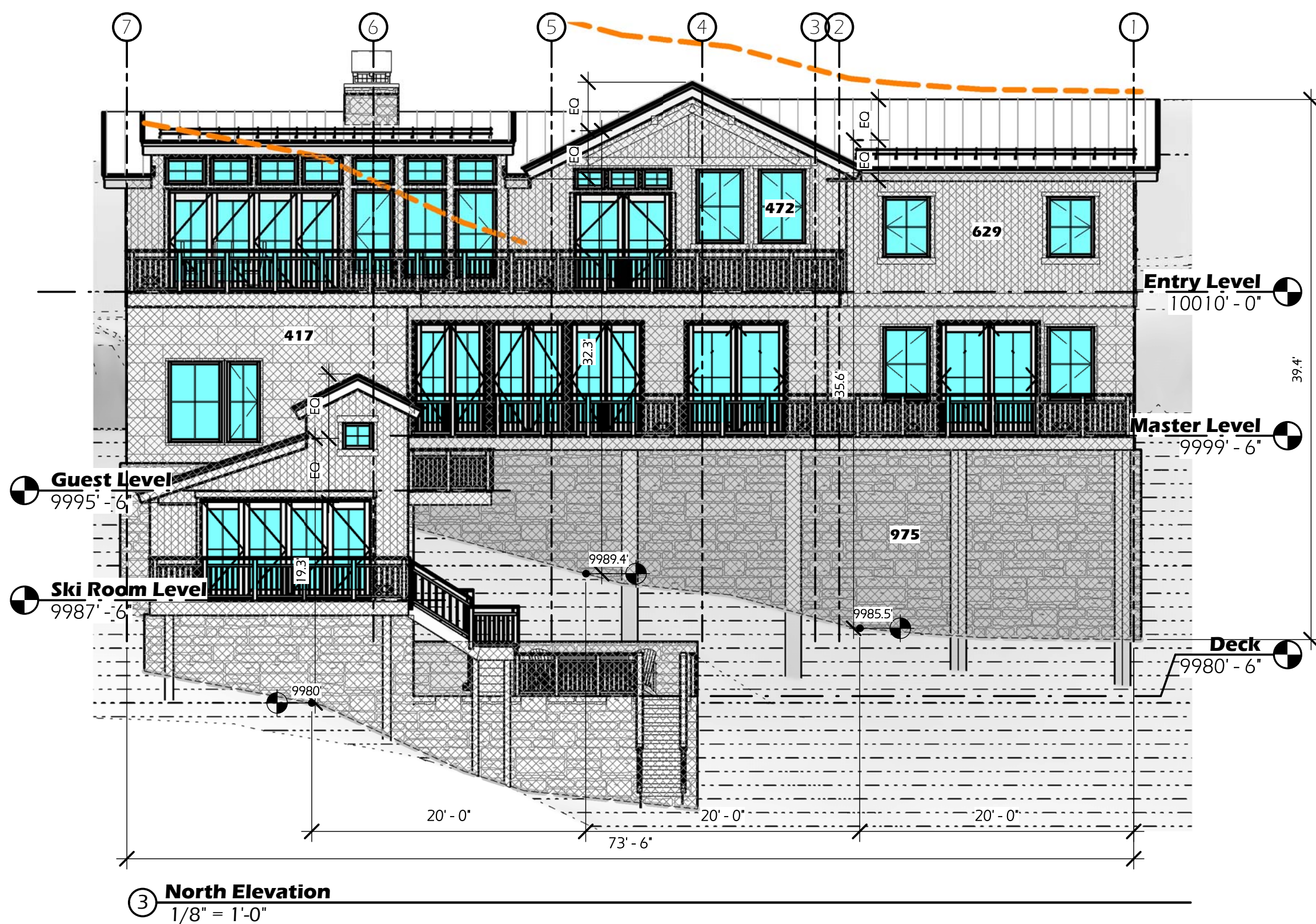
TOTAL SQ. FT. OF EXTERIOR WALL : 612
TOTAL SQ. FT. OF STONE : 108
TOTAL SQ. FT. OF STUCCO : 0
TOTAL SQ. FT. OF WOOD : 322
TOTAL SQ. FT. OF ACCENT MATERIAL: 55
TOTAL SQ. FT. OF FENESTRATION : 127

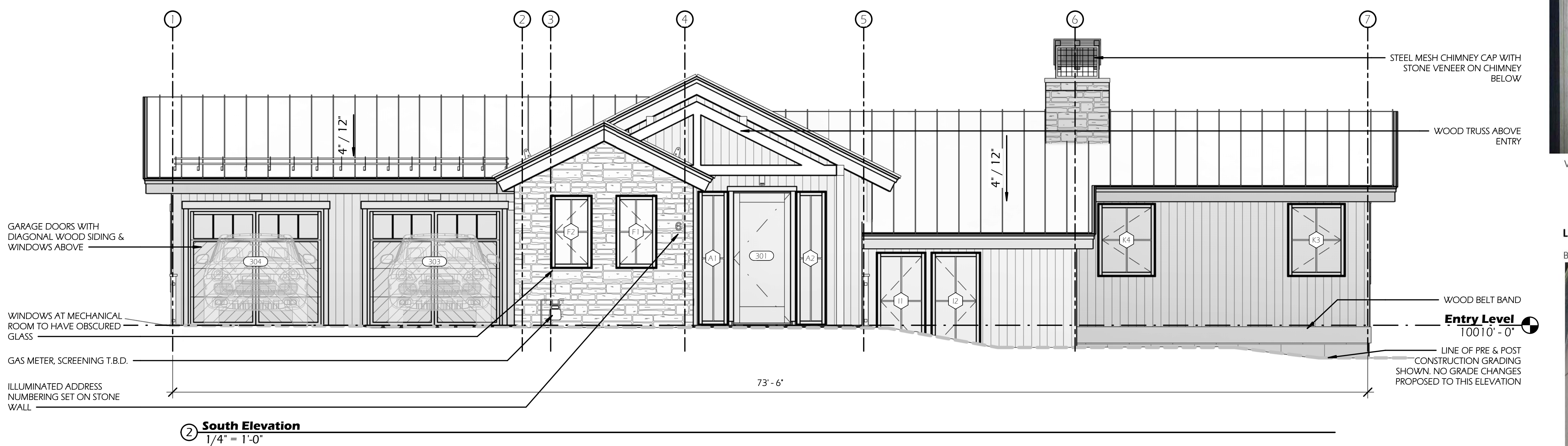
WEST ELEVATION

TOTAL SQ. FT. OF EXTERIOR WALL : 1,892
TOTAL SQ. FT. OF STONE : 794
TOTAL SQ. FT. OF STUCCO : 0
TOTAL SQ. FT. OF WOOD : 449
TOTAL SQ. FT. OF ACCENT MAT. : 518
TOTAL SQ. FT. OF FENESTRATION : 131

HEIGHT AVERAGE CALCULATIONS

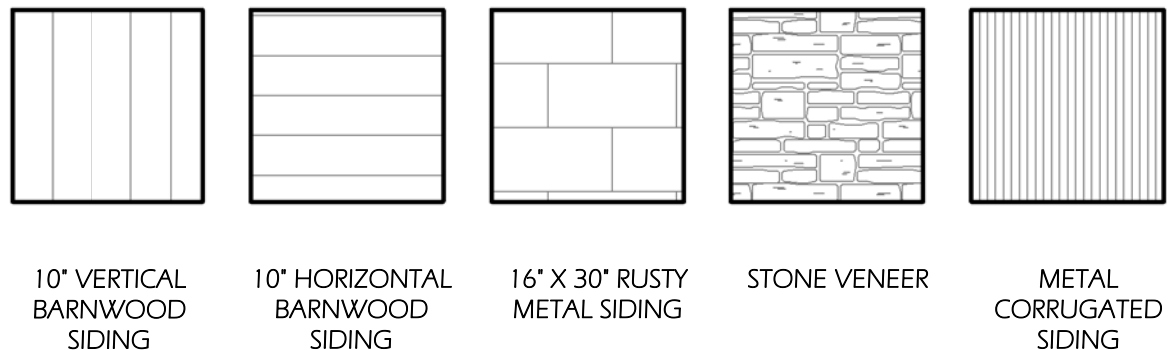
22.4' + 28.0' + 22.6' + 29.3' + 30.9' + 27.0' + 10.3' + 19.3' + 32.3' + 35.6' = 280.6' (280.6' / 12) = 23.4 FT
AVERAGE HEIGHT





EXTERIOR ELEVATION NOTES:

- ALL MECHANICAL VENTING TO BE PAINTED TO MATCH ADJACENT MATERIALS TO CONCEAL VENTS AS APPROPRIATE
- ALL WINDOWS & DOORS TO HAVE ALUMINUM CLAD EXTERIORS U.N.O.
- ALL WINDOW & DOOR SDL BARS SHOWN ARE TO BE INTEGRAL & NOT REMOVABLE
- NO ROOF TOP EQUIPMENT SHOWN AS NONE WILL BE INSTALLED
- SEE A8.1 WINDOW & DOOR SCHEDULE FOR HEADER HEIGHTS
- SEE A4 SERIES - BUILDING SECTIONS FOR DETAIL LOCATIONS
- DASHED LINES REPRESENT WINDOW & DOOR OPERATIONS
- LABELS SHOWN ON NEW WINDOWS AND DOORS ONLY, UNLABELED WINDOWS & DOORS ARE EXISTING TO REMAIN
- USE GRADES SHOWN AS GUIDES ONLY. FINAL SITE GRADES TO HAVE POSITIVE DRAINAGE AWAY FOR BUILDING AT ALL SIDES, WITH REQUIRED MINIMUM 6" CONCRETE FOUNDATION EXPOSED. PROVIDE GRAVEL/ TRENCH DRAINAGE AS NEEDED.



Exterior Materials

1/4" = 1'-0"



BLACK CLAD WINDOWS AND DOORS



EXTERIOR TIMBERS AT ROOFLINE AND TRUSS



VERTICAL STAINED CEDAR SIDING



TELLURIDE GOLD ASHLAR PATTERN STONE



EXTERIOR DECK RAIL- COLOR TBD

LOT 7 STONEGATE MATERIAL BOARD

BONDERIZED METAL SHING.E SIDING BONDERIZED CORRUGATED SIDING



STEEL BEAMS AND COLUMNS

GARAGE DOORS



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SANTA BARBARA, CA
701 ANACAPA STREET 805.729.4276

PROJECT TEAM

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e-mail: dylan@saltarchitect.com

SURVEYOR

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Office: 970.728.1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
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No.	Description	Date
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Lot 7

STONEGATE

Elevations

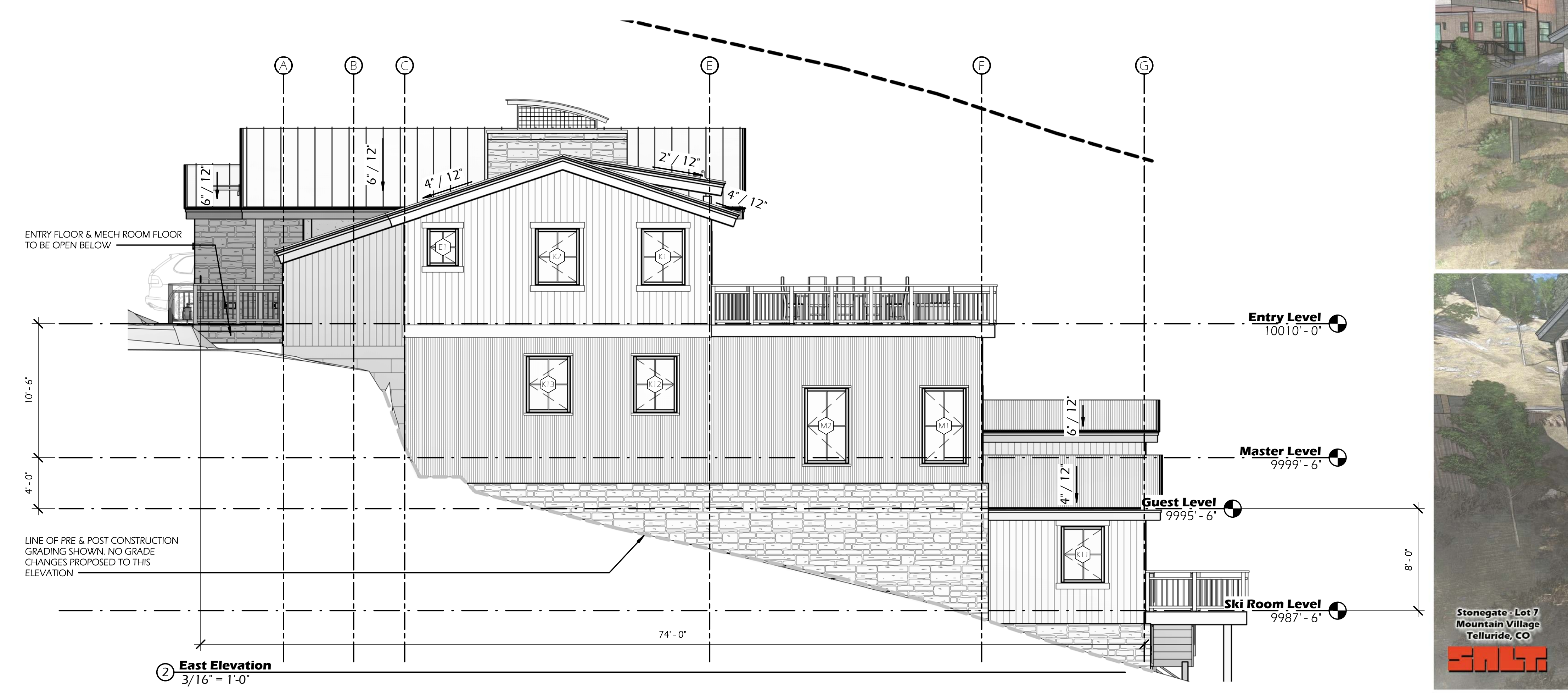
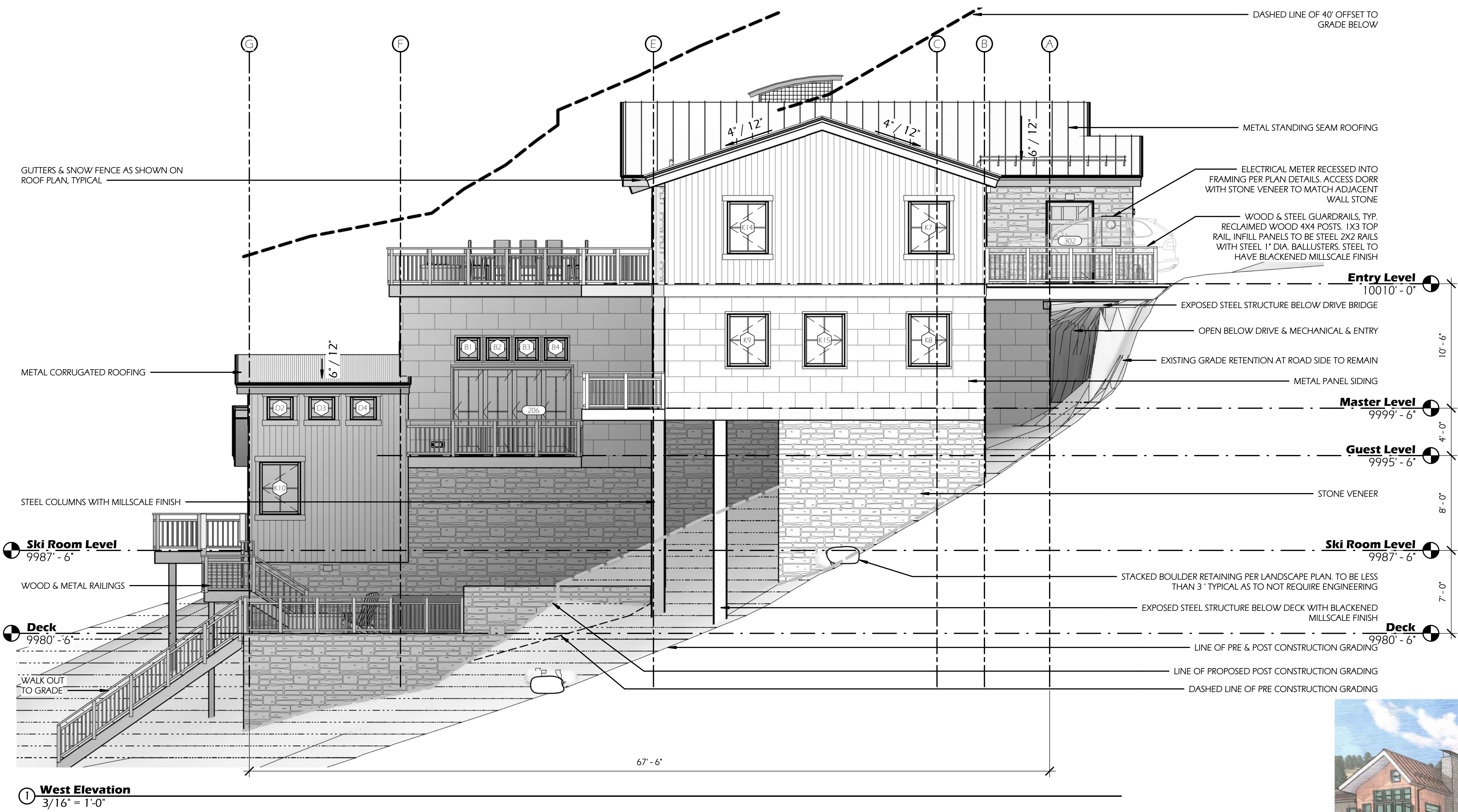
Date: 10/08/2021

Drawn by: DH / BF

Checked by: DH / BF

A 3.1

Scale: As indicated



EXTERIOR ELEVATION NOTES:

- ALL MECHANICAL VENTING TO BE PAINTED TO MATCH ADJACENT MATERIALS TO CONCEAL VENTS AS APPROPRIATE
- ALL WINDOWS & DOORS TO HAVE ALUMINUM CLAD EXTERIORS U.N.O.
- ALL WINDOW & DOOR SDL BARS SHOWN ARE TO BE INTEGRAL & NOT REMOVABLE
- NO ROOF TOP EQUIPMENT SHOWN AS NONE WILL BE INSTALLED
- SEE A8.1 WINDOW & DOOR SCHEDULE FOR HEADER HEIGHTS
- SEE A4 SERIES - BUILDING SECTIONS FOR DETAIL LOCATIONS
- DASHED LINES REPRESENT WINDOW & DOOR OPERATIONS
- LABELS SHOWN ON NEW WINDOWS AND DOORS ONLY, UNLABELED WINDOWS & DOORS ARE EXISTING TO REMAIN
- USE GRADES SHOWN AS GUIDES ONLY. FINAL SITE GRADES TO HAVE POSITIVE DRAINAGE AWAY FOR BUILDING AT ALL SIDES, WITH REQUIRED MINIMUM 6' CONCRETE FOUNDATION EXPOSED. PROVIDE GRAVEL/ TRENCH DRAINAGE AS NEEDED.



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IRC Occ. Class R-3

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Lot 7
STONEGATE
Elevations

Date: 10/08/2021
Drawn by: DH / BF
Checked by: DH / BF

A 3.2
Scale: As indicated



BLACK CLAD WINDOWS AND DOORS



EXTERIOR TIMBERS AT ROOFLINE AND TRUSS



TELLURIDE GOLD ASHLAR PATTERN STONE



VERTICAL STAINED CEDAR SIDING



EXTERIOR DECK RAIL- COLOR TBD

LOT 7 STONEGATE MATERIAL BOARD

BONDERIZED METAL SHINGLE SIDING BONDERIZED CORRUGATED SIDING



STEEL BEAMS AND COLUMNS

GARAGE DOORS



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102 Society Drive
Telluride, CO 81435
Office: 970-728-1128

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

4 Level - 4 Bedroom, 4 Full Bath, 1 Powder Bath

PROJECT ZONING

Zoning District - Single Family Residence - 2018
IRC Occ. Class R-3

PROJECT LEGAL DESCRIPTION

Lot 166AR2-7 Stonegate
6 Stonegate Drive
Town of Mountain Village, CO 81435

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
4		
5		
6		
7		
8		
9		
10		

No.	Description	Date
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Lot 7

STONEGATE

Exterior Materials Board

Date:	10/11/21
Drawn by:	DH / BF
Checked by:	DH / BF

A 3.3

Scale:

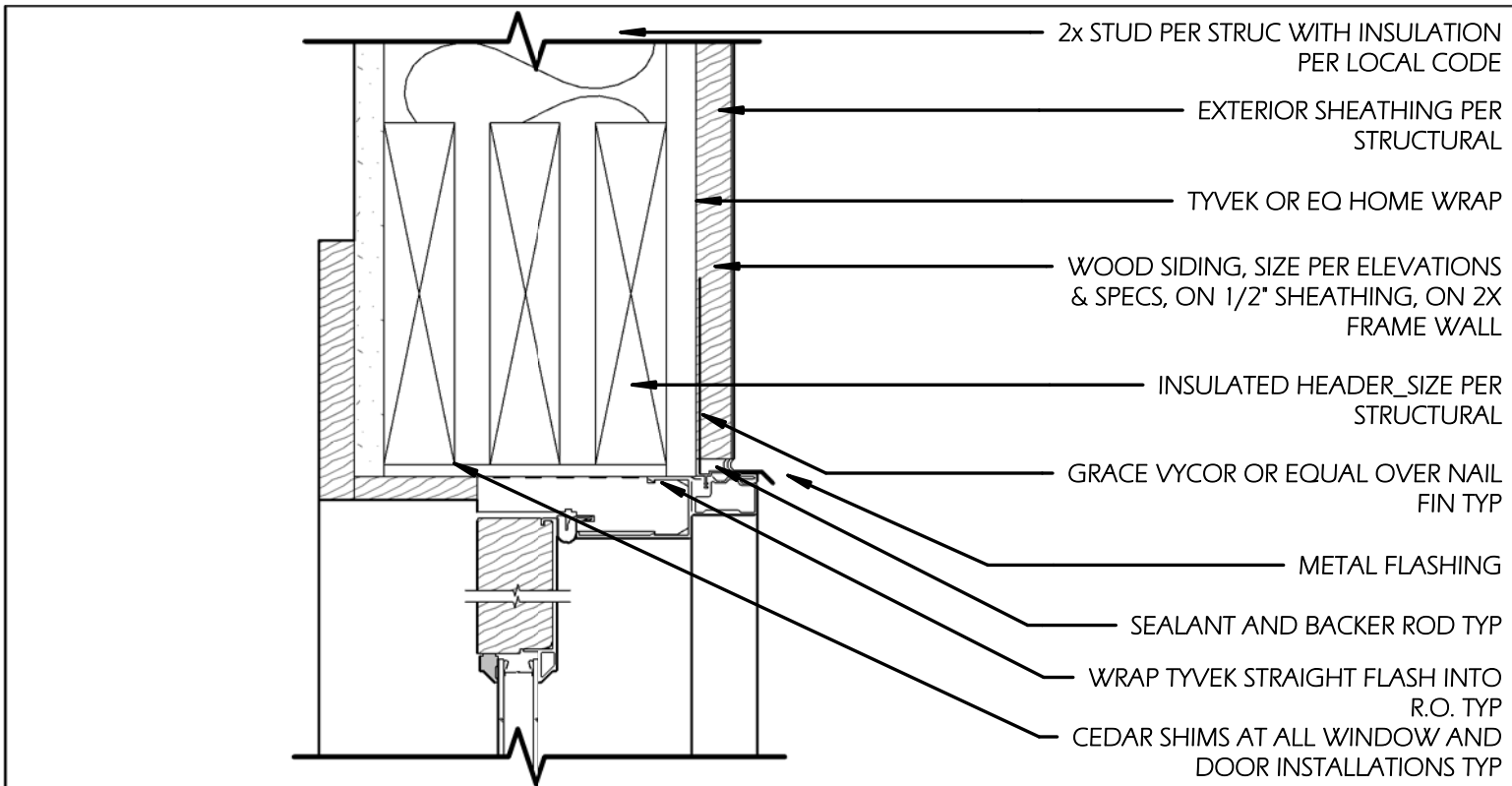
Door Schedule									
ID Mark	Level	Height	Width	Head Height	Sill Height	Comments	Operation	Type Comments	
101	Ski Room Level	7'-6"	12'-6"	7'-6"	0"		Fold N Stack w Single Swing Panel	Quad 2/3 Lite Panel Fold N Stack w Single Operable Panel	
102	Ski Room Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
201	Master Level	8'-0"	7'-0"	8'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel	
202	Master Level	8'-0"	7'-0"	8'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel	
203	Master Level	8'-0"	5'-0"	8'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel	
204	Master Level	8'-0"	5'-0"	8'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel	
205	Master Level	8'-0"	5'-0"	8'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel	
206	Guest Level	7'-6"	10'-0"	7'-6"	0"		Fold N Stack w Single Swing Panel	Quad 2/3 Lite Panel Fold N Stack w Single Operable Panel	
207	Guest Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
208	Guest Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
209	Guest Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
210	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
211	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
212	Master Level	7'-0"	2'-7 1/4"	7'-0"	0"		Pocket Slider - See Plan	Typical Interior Full Lite Panel	
213	Master Level	7'-0"	5'-0"	7'-0"	0"		Double French - Swing Per Plan	Double Typical Interior 3 Panel	
214	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
215	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
216	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
217	Master Level	7'-0"	5'-0"	7'-0"	0"		Open - No Panel	Cased Opening	
218	Master Level	7'-0"	5'-0"	7'-0"	0"		Open - No Panel	Cased Opening	
219	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
220	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
221	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
222	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
223	Master Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
301	Entry Level	8'-0"	3'-6"	8'-0"	0"		Inswing Single French	Exterior Aluminum Clad Full Lite Panel	
302	Entry Level	7'-0"	4'-0"	7'-0"	0"		Outswing Single French	Exterior Aluminum Clad 2/3 Lite Panel	
303	Entry Level	7'-0"	8'-0"	7'-0"	0"		Overhead Track	Garage Door	
304	Entry Level	7'-0"	8'-0"	7'-0"	0"		Overhead Track	Garage Door	
305	Entry Level	7'-0"	7'-0"	7'-0"	0"		Inswing Double French	Exterior Aluminum Clad Double Full Lite Panel	
306	Entry Level	7'-6"	12'-6"	7'-6"	0"		Fold N Stack w Single Swing Panel	Quad 2/3 Lite Panel Fold N Stack w Single Operable Panel	
307	Entry Level	7'-0"	2'-8"	7'-0"	0"		Single French - Swing Per Plan	Typical Interior Flush Panel	
308	Entry Level	7'-0"	4'-6"	7'-0"	0"		Double French - Swing Per Plan	Double Typical Interior 3 Panel	
309	Entry Level	7'-0"	6'-0"	7'-0"	0"		Open - No Panel	Cased Opening	
310	Entry Level	7'-0"	2'-8"	7'-0"	0"		Pocket Slider - See Plan	Typical Interior Flush Panel	
311	Entry Level	7'-0"	5'-0"	7'-0"	0"		Open - No Panel	Cased Opening	
312	Entry Level	7'-0"	2'-8"	7'-0"	0"		Hinged - See Plan	Millwork Panel	

Window Schedule							
ID Mark	Level	Width	Height	Head Height	Sill Height	Type Comments	Operation
A1	Entry Level	1'-10"	8'-3"	8'-3"	0"	Casement - 1 Wide	Casement
A2	Entry Level	1'-10"	8'-3"	8'-3"	0"	Casement - 1 Wide	Casement
B1	Guest Level	2'-0"	2'-0"	10'-0"	8'-0"	Casement - 1 Wide	Casement
B2	Guest Level	2'-0"	2'-0"	10'-0"	8'-0"	Casement - 1 Wide	Casement
B3	Guest Level	2'-0"	2'-0"	10'-0"	8'-0"	Casement - 1 Wide	Casement
B4	Guest Level	2'-0"	2'-0"	10'-0"	8'-0"	Casement - 1 Wide	Casement
C1	Entry Level	2'-3"	1'-6"	9'-0"	7'-6"	Casement - 1 Wide	Casement
C2	Entry Level	2'-3"	1'-6"	9'-0"	7'-6"	Casement - 1 Wide	Casement
C3	Entry Level	2'-3"	1'-6"	9'-0"	7'-6"	Casement - 1 Wide	Casement
D1	Ski Room Level	2'-3"	2'-0"	13'-0"	11'-0"	Casement - 1 Wide	Casement
D2	Ski Room Level	2'-3"	2'-0"	13'-0"	11'-0"	Casement - 1 Wide	Casement
D3	Ski Room Level	2'-3"	2'-0"	13'-0"	11'-0"	Casement - 1 Wide	Casement
D4	Ski Room Level	2'-3"	2'-0"	13'-0"	11'-0"	Casement - 1 Wide	Casement
E1	Entry Level	2'-6"	3'-0"	7'-6"	4'-6"	Casement - 1 Wide	Casement
F1	Entry Level	2'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
F2	Entry Level	2'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
G1	Guest Level	2'-6"	6'-0"	9'-6"	3'-6"	Casement - 1 Wide	Casement
H1	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H2	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H3	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H4	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H5	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H6	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
H7	Entry Level	3'-0"	2'-0"	9'-10"	7'-10"	Casement - 1 Wide	Casement
I1	Entry Level	3'-0"	6'-0"	4'-6"	-1'-6"	Casement - 1 Wide	Casement
I2	Entry Level	3'-0"	6'-0"	4'-6"	-1'-6"	Casement - 1 Wide	Casement

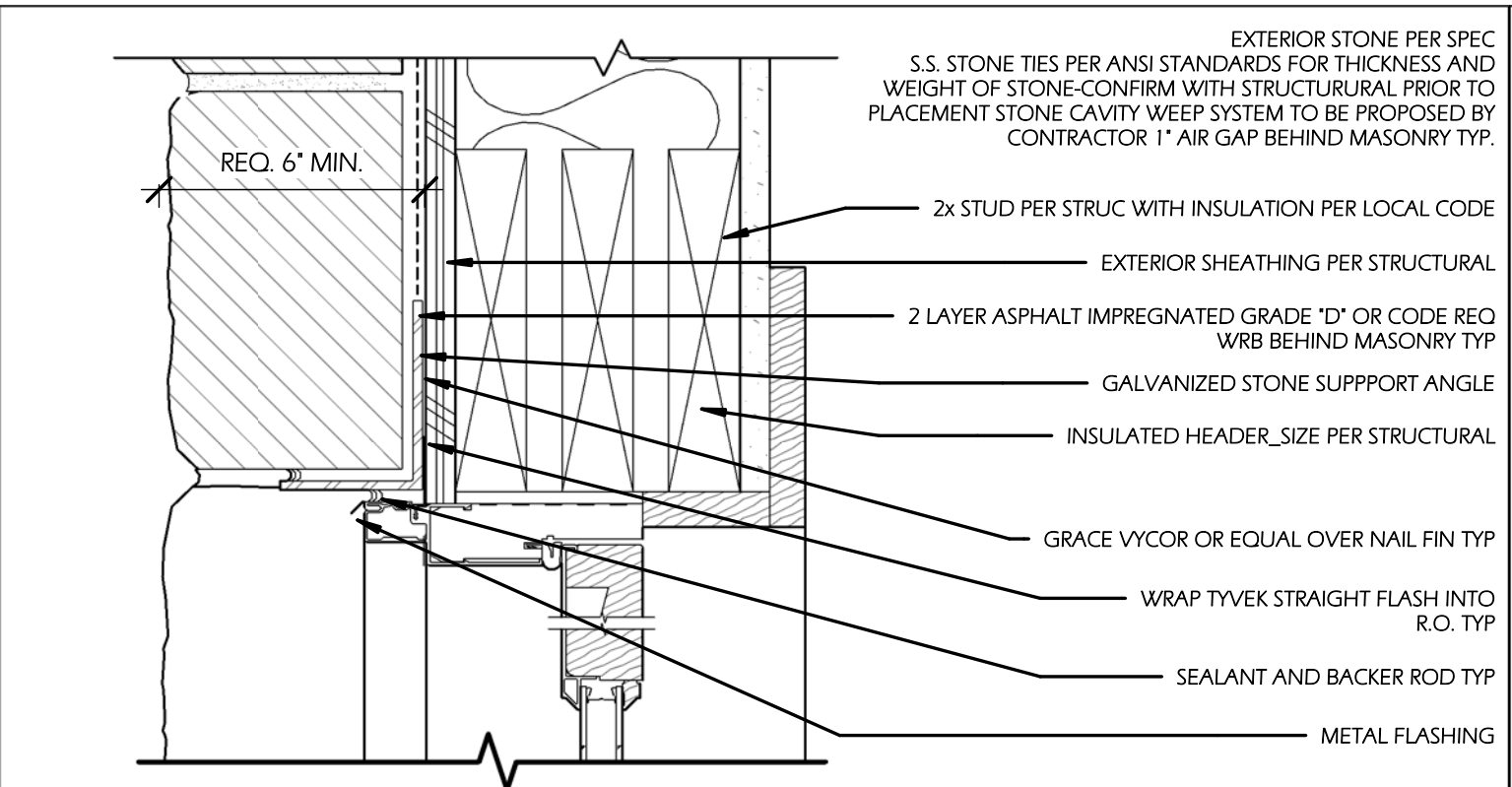
Window Schedule							
ID Mark	Level	Width	Height	Head Height	Sill Height	Type Comments	Operation
J1	Entry Level	3'-0"	6'-6"	7'-6"	1'-0"	Casement - 1 Wide	Casement
J2	Entry Level	3'-0"	6'-6"	7'-6"	1'-0"	Casement - 1 Wide	Casement
J3	Entry Level	3'-0"	6'-6"	7'-6"	1'-0"	Casement - 1 Wide	Casement
K1	Entry Level	3'-6"	4'-6"	7'-6"	3'-0"	Casement - 1 Wide	Casement
K2	Entry Level	3'-6"	4'-6"	7'-6"	3'-0"	Casement - 1 Wide	Casement
K3	Entry Level	3'-6"	4'-6"	7'-6"	3'-0"	Casement - 1 Wide	Casement
K4	Entry Level	3'-6"	4'-6"	7'-6"	3'-0"	Casement - 1 Wide	Casement
K5	Entry Level	3'-6"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement
K6	Entry Level	3'-6"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement
K7	Entry Level	3'-6"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement
K8	Master Level	3'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
K9	Master Level	3'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
K10	Ski Room Level	3'-6"	4'-6"	7'-6"	3'-0"	Casement - 1 Wide	Casement
K11	Ski Room Level	3'-6"	4'-6"	6'-8"	2'-2"	Casement - 1 Wide	Casement
K12	Master Level	3'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
K13	Master Level	3'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
K14	Entry Level	3'-6"	4'-6"	7'-0"	2'-6"	Casement - 1 Wide	Casement
K15	Master Level	3'-6"	4'-6"	8'-0"	3'-6"	Casement - 1 Wide	Casement
L1	Entry Level	3'-6"	5'-6"	9'-0"	3'-6"	Casement - 1 Wide	Casement
L2	Entry Level	3'-6"	5'-6"	9'-0"	3'-6"	Casement - 1 Wide	Casement
L3	Master Level	3'-6"	5'-6"	8'-0"	2'-6"	Casement - 1 Wide	Casement
L4	Master Level	3'-6"	5'-6"	8'-0"	2'-6"	Casement - 1 Wide	Casement
M1	Guest Level	3'-6"	6'-0"	9'-6"	3'-6"	Casement - 1 Wide	Casement
M2	Guest Level	3'-6"	6'-0"	9'-6"	3'-6"	Casement - 1 Wide	Casement
N1	Guest Level	4'-0"	6'-0"	9'-6"	3'-6"	Casement - 1 Wide	Casement

DOOR & WINDOW NOTES:

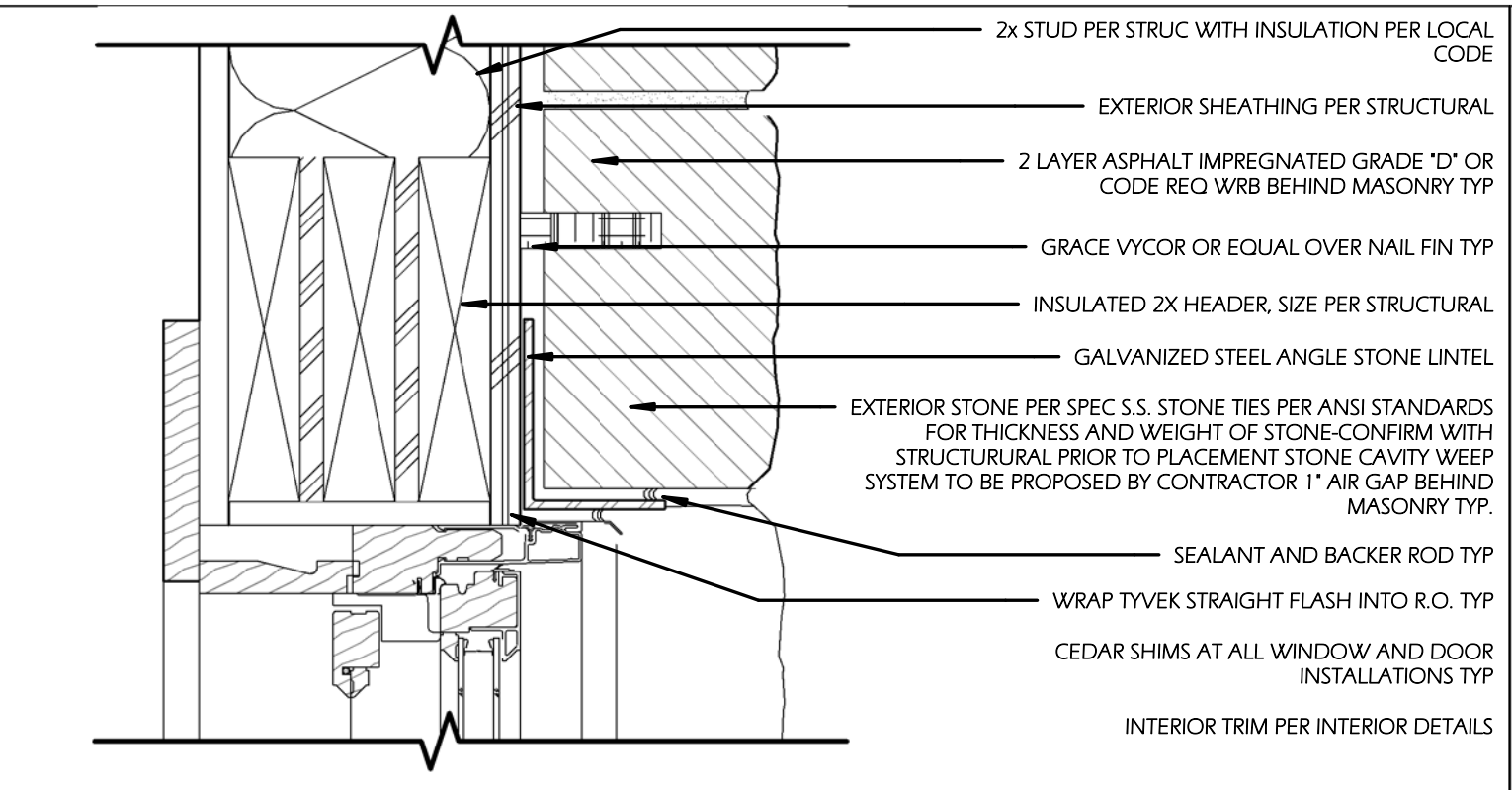
- HEAD HEIGHTS LISTED IN WINDOW SCHEDULE REFERENCE T.O. WINDOW FRAME. BUILDER TO ADD R.O. PER WINDOW MANUFACTURER RECOMMENDATIONS AND ADJUST HEADER HEIGHTS ACCORDINGLY
- ALL WINDOWS & DOORS TO HAVE ALUMINUM CLAD EXTERIOR & ARE TO BE INSTALLED PER MANU. INSTRUCTIONS
- NAIL FINIS & PENETRATIONS TO BE WRAPPED WITH GRACE ICE & WATER SHIELD OR EQUAL



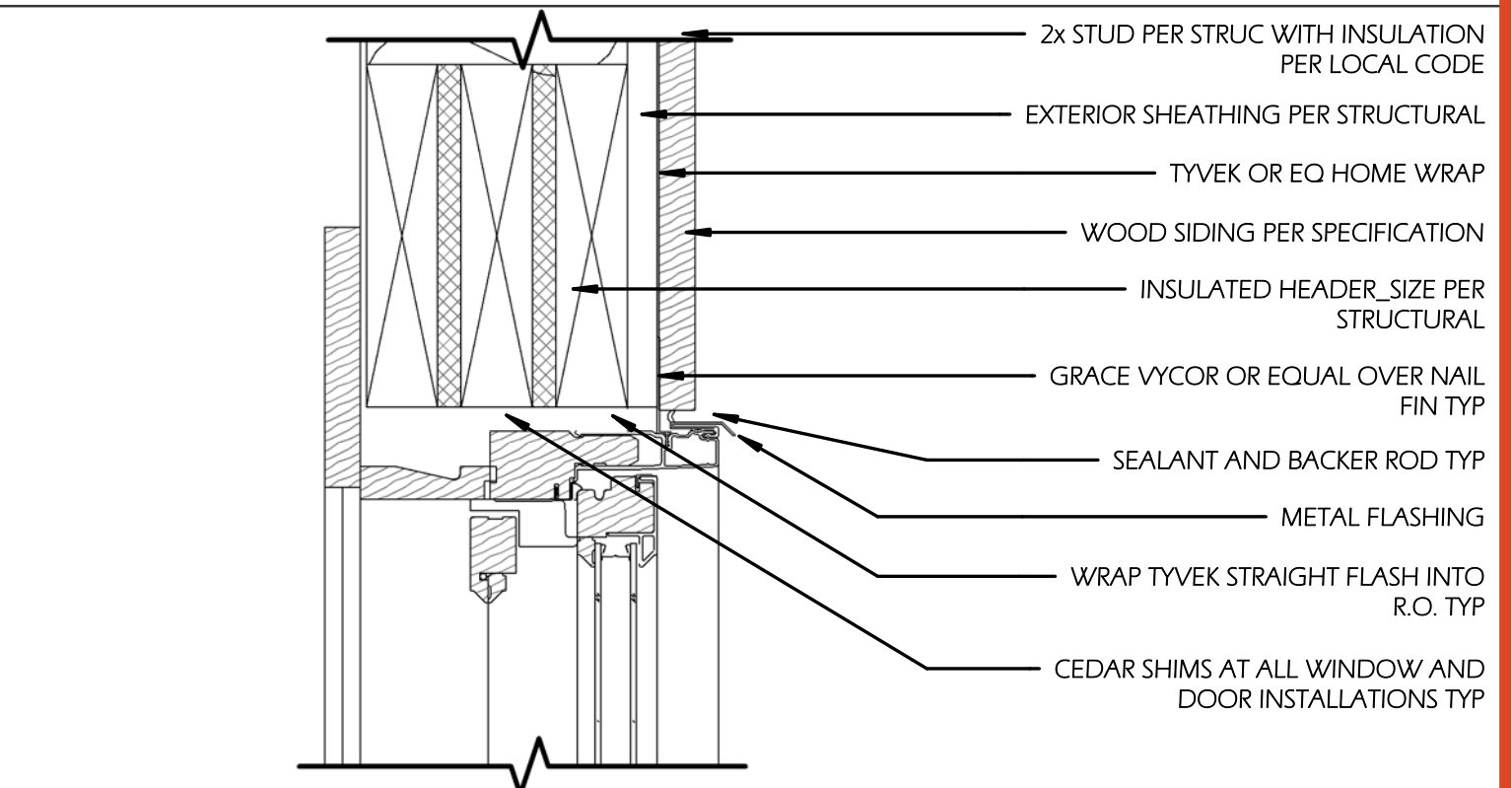
1 Door Head at Wood Siding
3" = 1'-0"



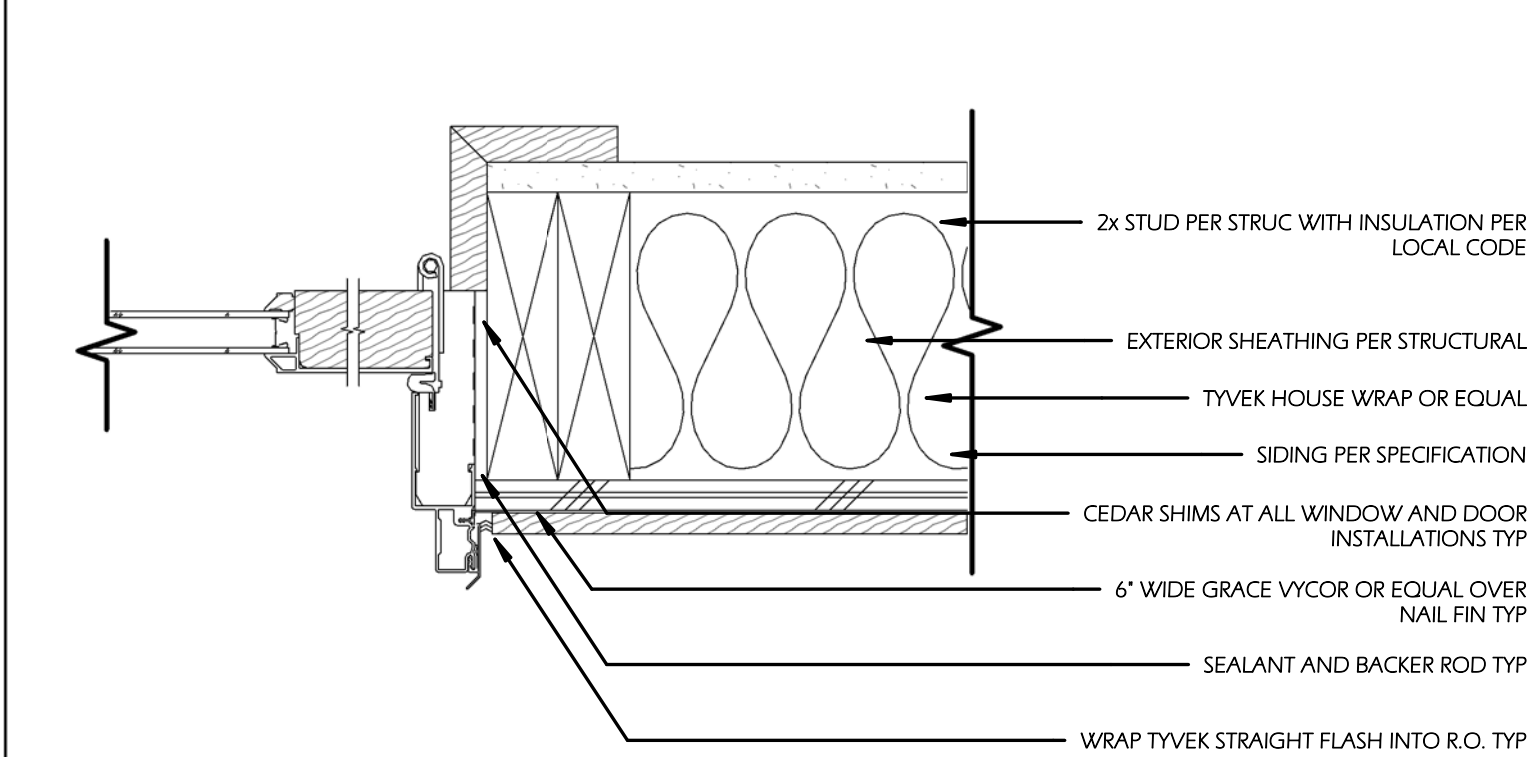
2 Door Head at Stone Veneer
3" = 1'-0"



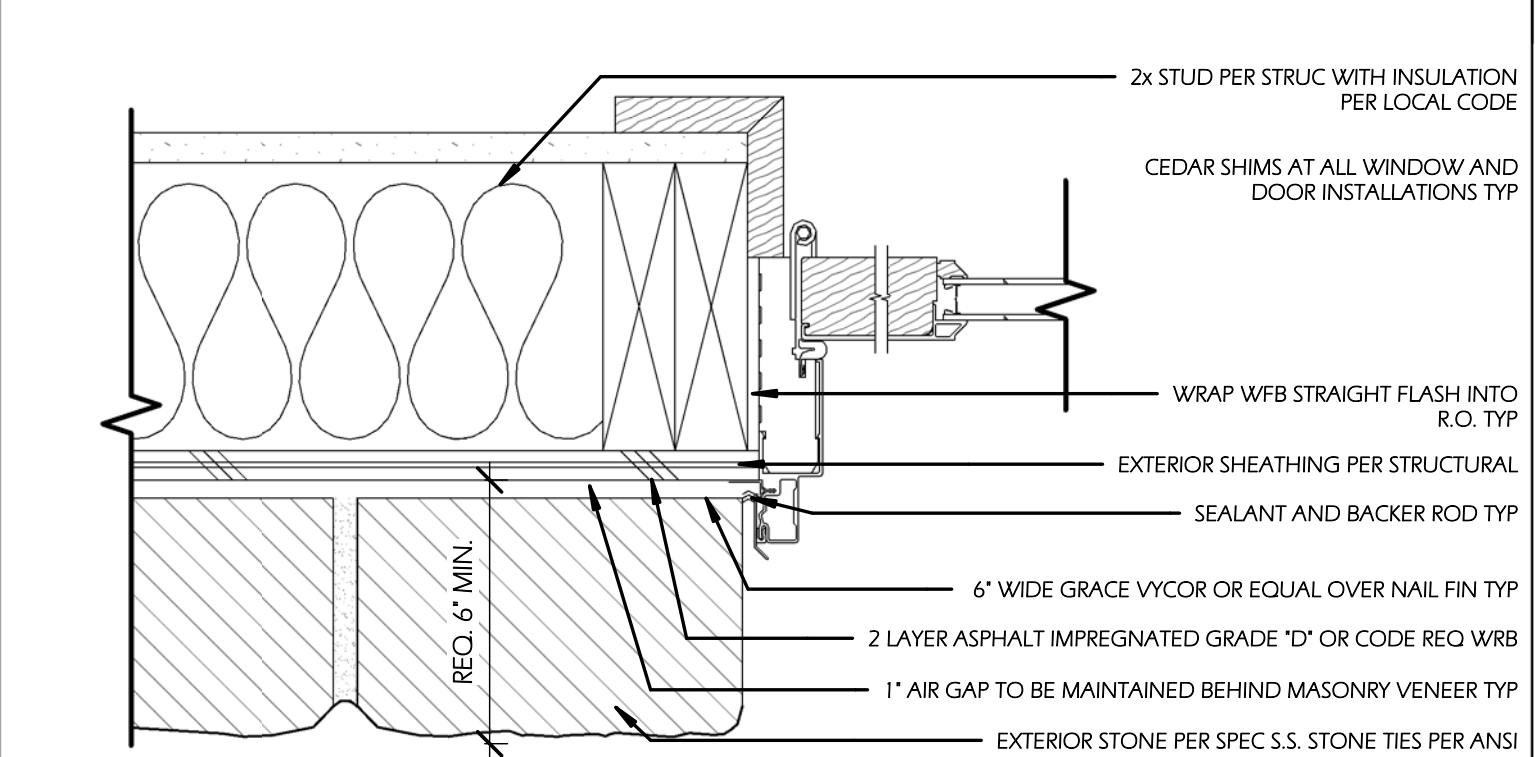
3 Window Head at Stone Veneer
3" = 1'-0"



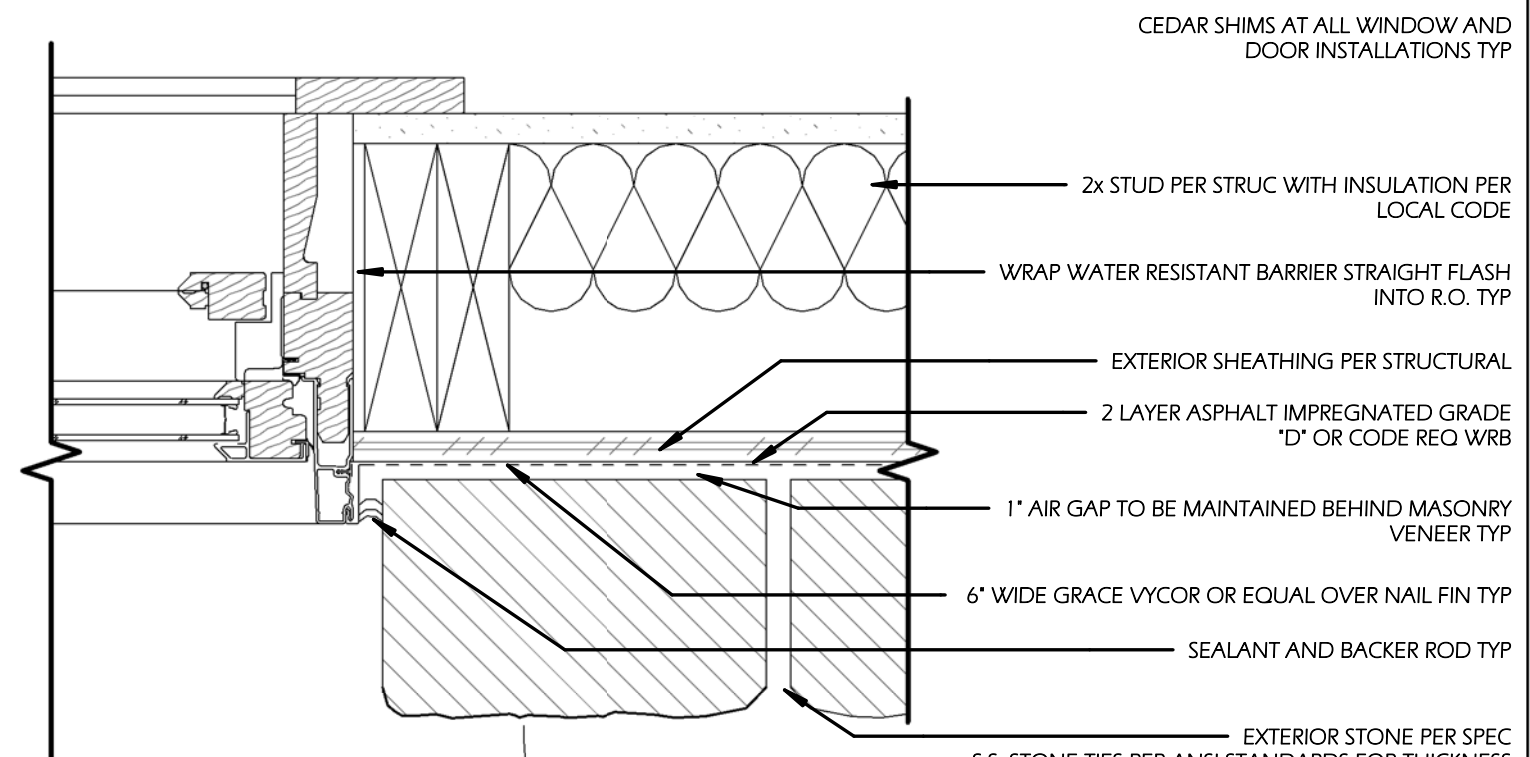
4 Window Head at Wood Siding
3" = 1'-0"



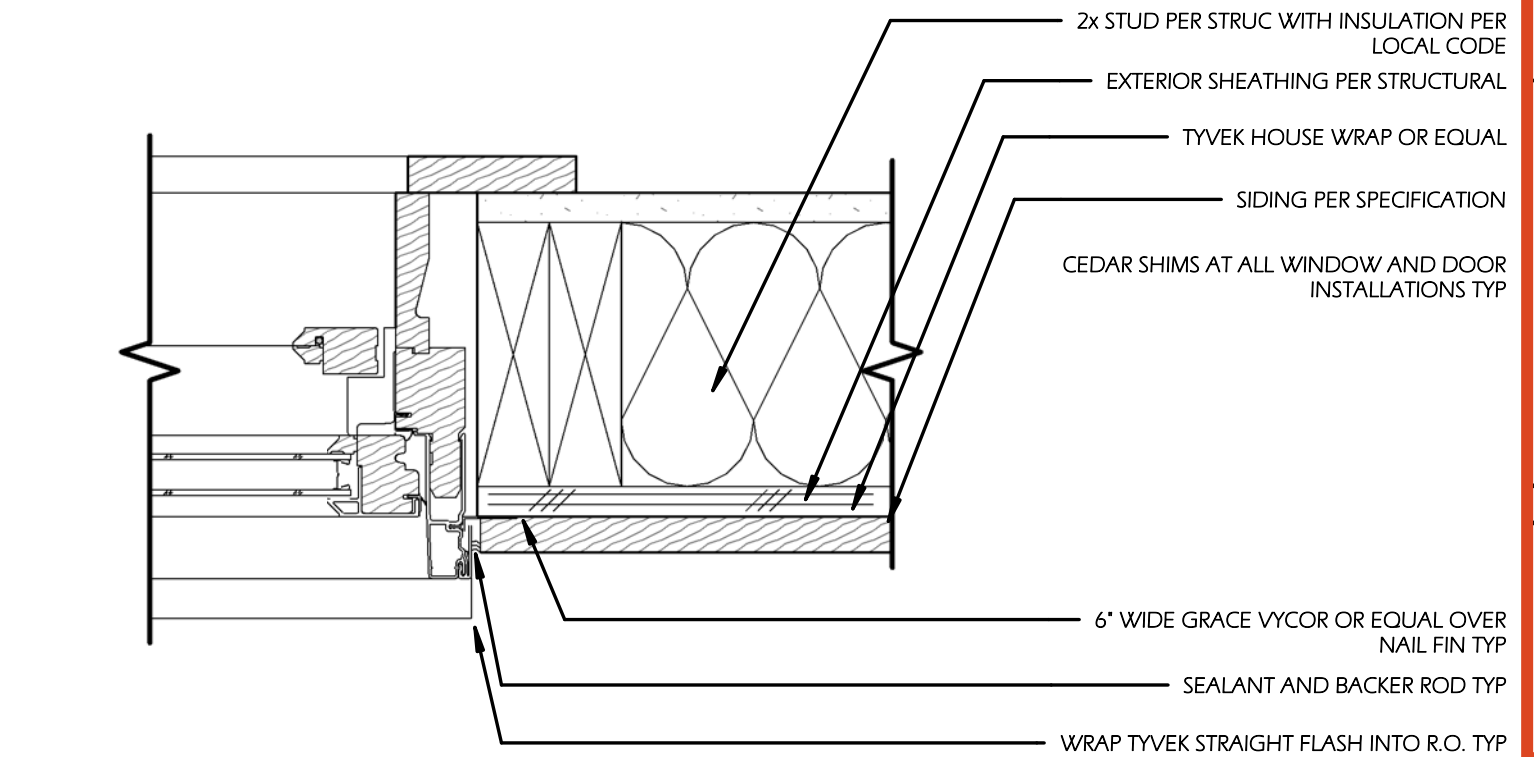
5 Door Jamb at Wood Siding
3" = 1'-0"



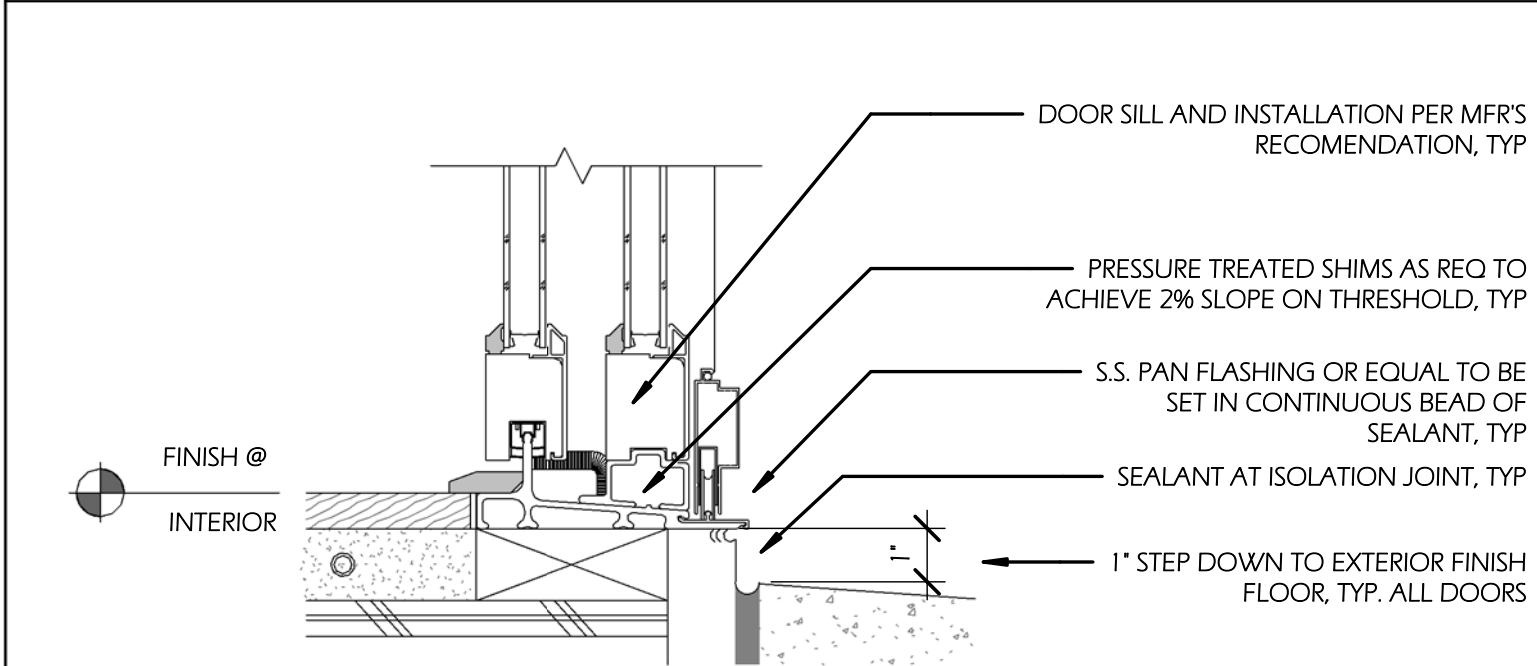
6 Door Jamb at Stone Veneer
3" = 1'-0"



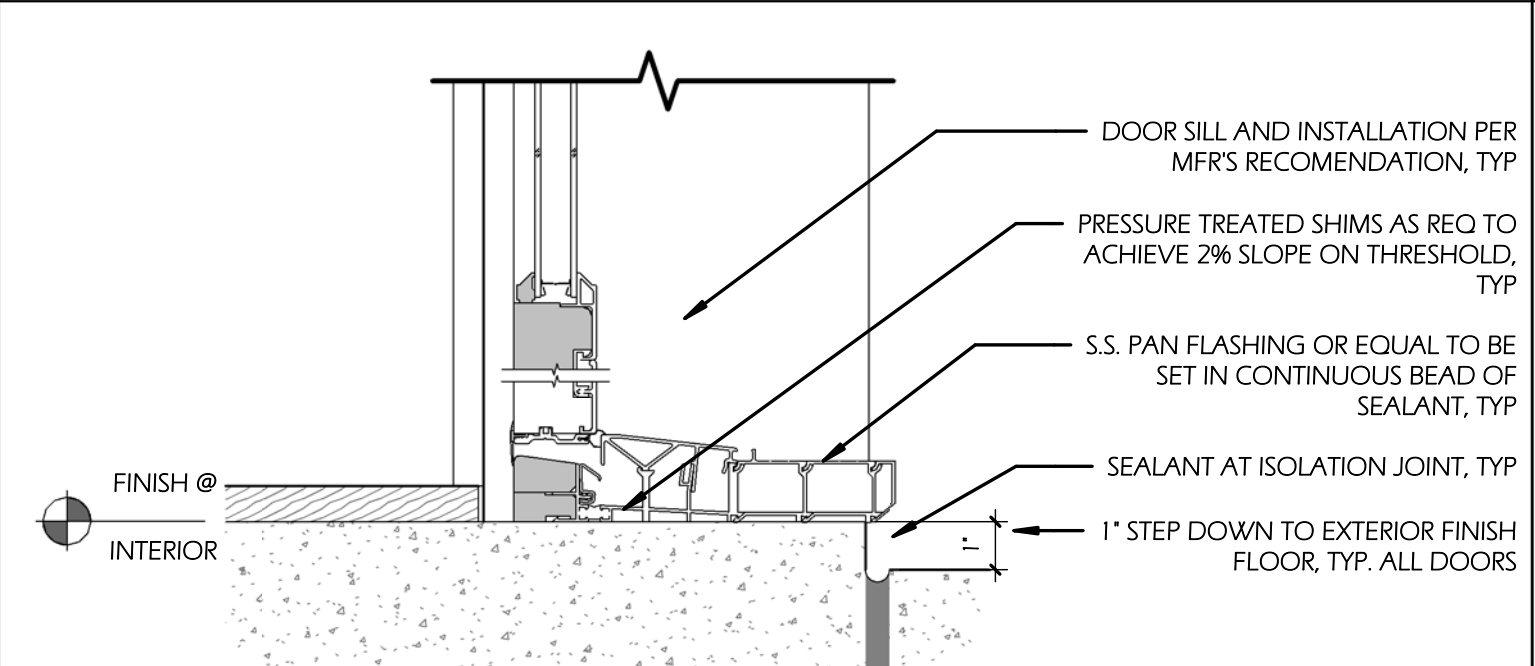
7 Window Jamb at Stone Veneer
3" = 1'-0"



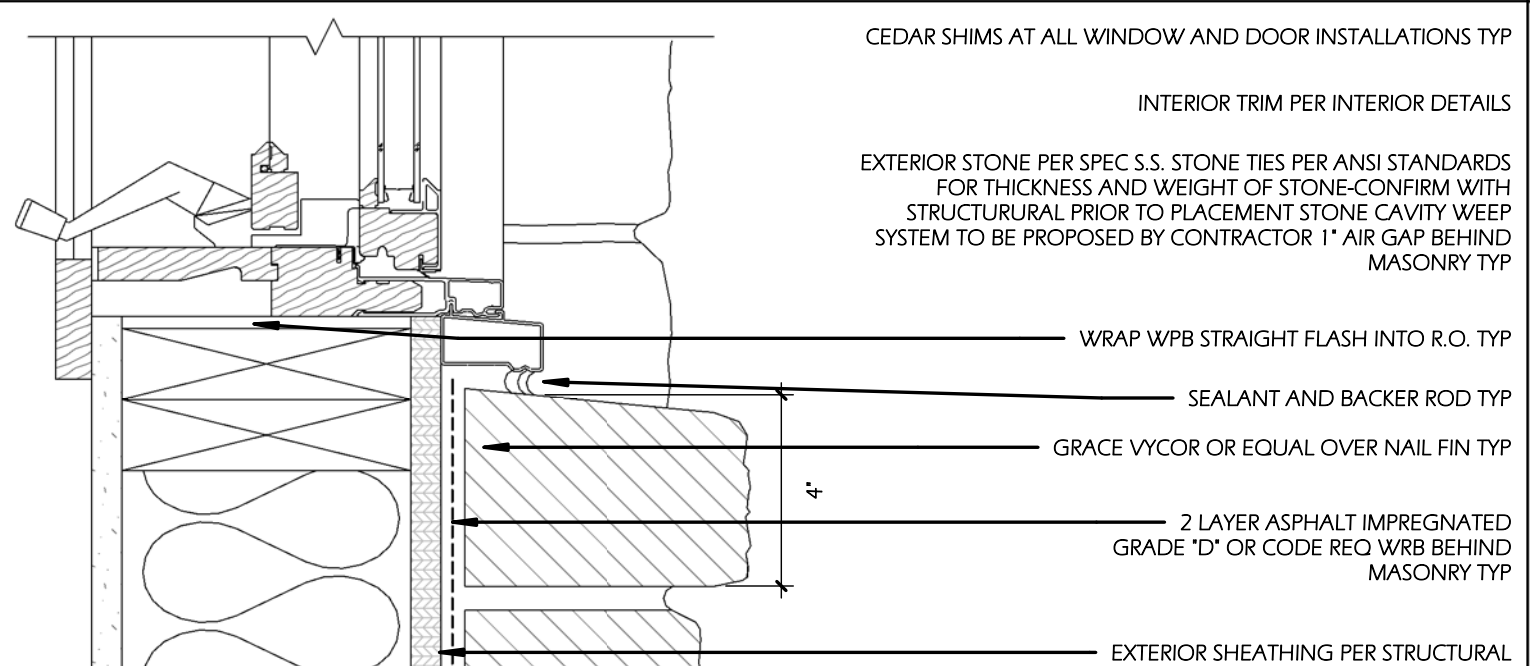
8 Window Jamb at Wood Siding
3" = 1'-0"



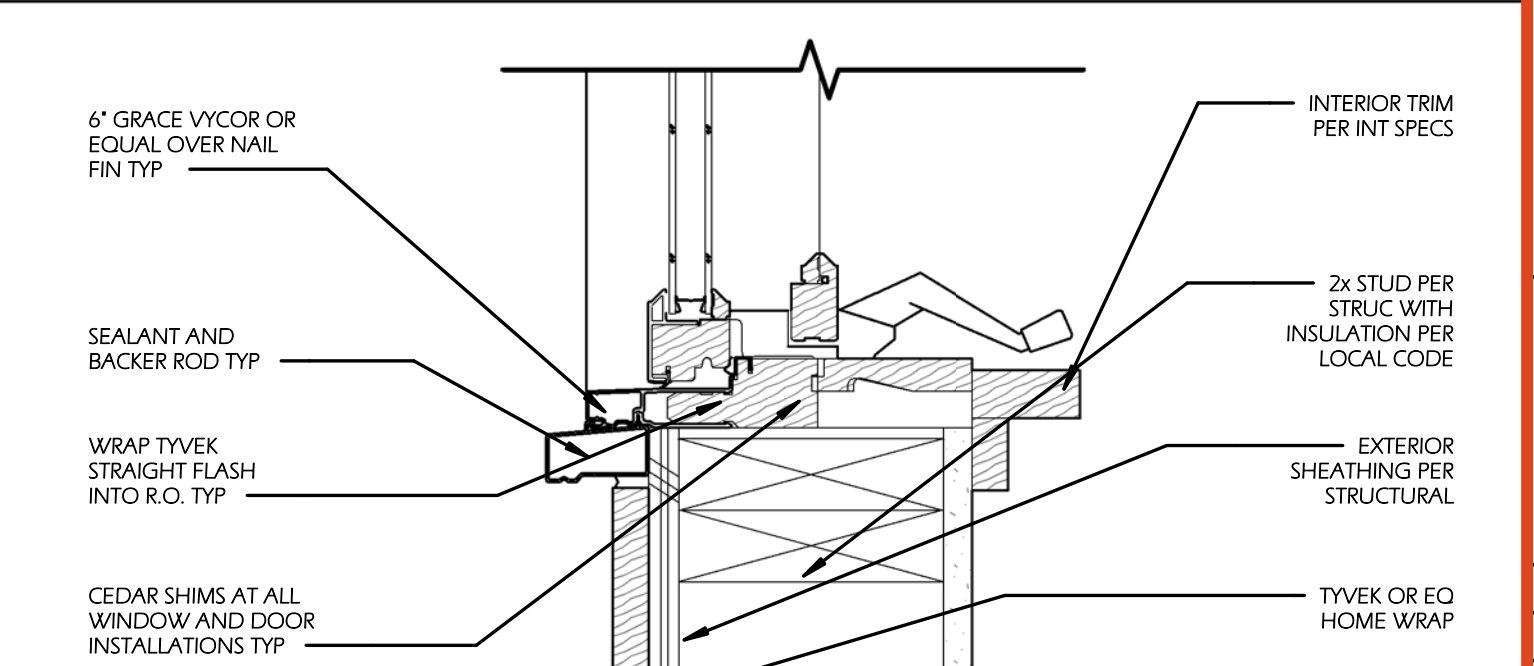
9 Door Sill At Wood Floor w/ Radiant Heat
3" = 1'-0"



10 Door Sill At Concrete Slab
3" = 1'-0"



11 Window Sill at Stone Veneer
3" = 1'-0"



12 Window Sill at Wood Siding
3" = 1'-0"

SALT

SALT ARCHITECTURE
SANTA BARBARA, CA
701 ANACAPASTREET 805.729.4276

PROJECT TEAM

PROPERTY OWNER

ARCHITECT

SURVEYOR

STRUCTURAL ENG.

MECHANICAL ENG.

PROJECT DESCRIPTION

PROJECT ZONING

PROJECT LEGAL DESCRIPTION

No.	Drawing Set Description	Issued Date
1	IASR Review	10/08/2021
2		
3		
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10		

No.	Description	Date

Lot 7

STONEGATE

Door & Window Schedule

Date: 10/08/2021
Drawn by: DH / BF
Checked by: DH / BF

A 8.1

Scale: As Indicated

COPYRIGHT 2021 10/11/2021 6:26:22 PM

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

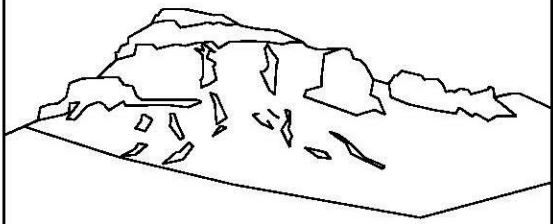
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2021-08-11

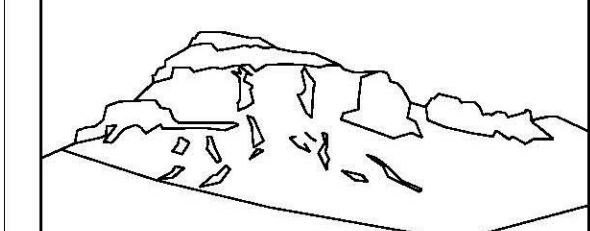
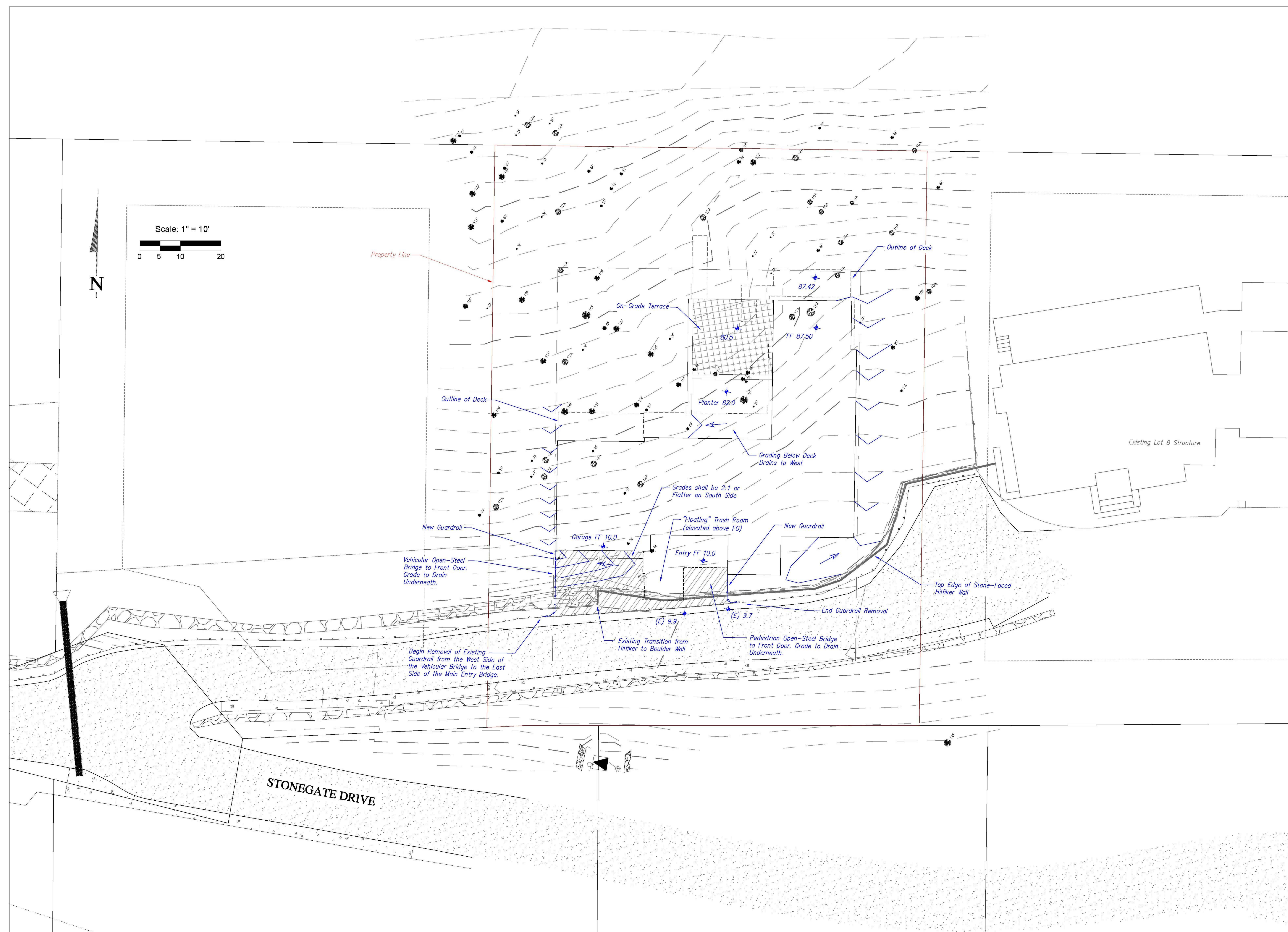
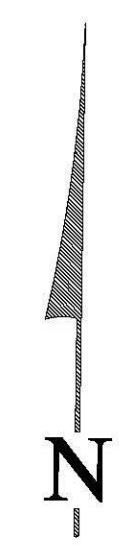
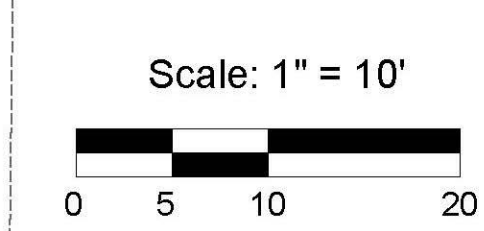
Lot 7 Stonegate
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2021-08-11

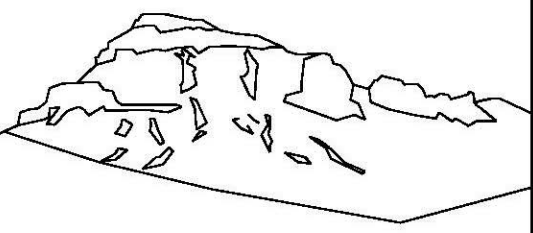
Lot 7 Stonegate
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage
Plan

C2



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2021-08-11

Lot 7 Stonegate
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3

Existing sewer main (approximate location)

The plumbing plan was not available at the time of this drawing. If it is necessary to have more than one sewer service outfall from the building, we the services together within the property so that there is only one tap on the main.

Existing Curb Stop

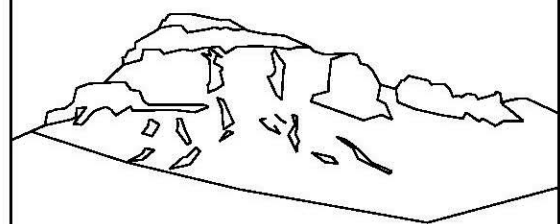
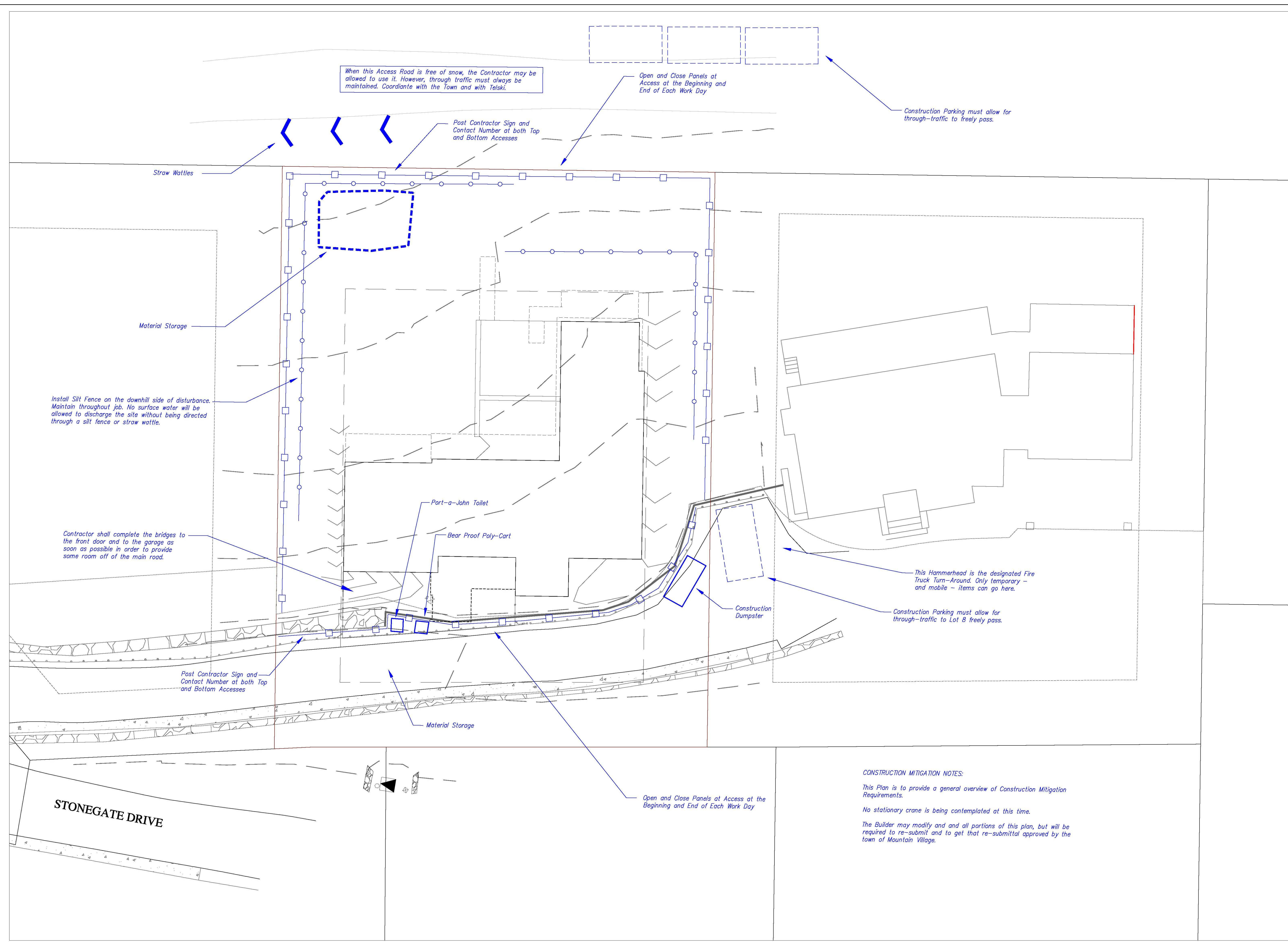
Re-located Curb Stop

The existing water service is below the floating mechanical room. The service must be exposed at the base of the Hilfiker wall and turned to the west in order to re-locate the curb stop to the west of the driveway grate.

Gas Main was not located. Verify location and service requirements with Black Hills Energy.

Underground Electric/CATV/Telephone from existing pedestal cluster. These utilities must be coordinated with the Utility Providers. In particular, SMPA does not allow more than 360 degrees in bends and this requirement will prove to be difficult.

STONEGATE DRIVE



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2021-08-11

Lot 7 Stonegate
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction
Mitigation
Plan

C4

CONSTRUCTION MITIGATION NOTES:

This Plan is to provide a general overview of Construction Mitigation Requirements.

No stationary crane is being contemplated at this time.

The Builder may modify and all portions of this plan, but will be required to re-submit and to get that re-submittal approved by the town of Mountain Village.