

Town of Mountain Village Planning and Development Services Review

CHECK LIST

To be submitted prior to any meeting for which consideration of any application is to be scheduled.

General

The following general requirements have been submitted within this application:

☐

Summary of Unit(s)

Type of Unit	Number of Units
Single Family Unit	<input style="width: 100%;" type="text"/>
Detached Condo	<input style="width: 100%;" type="text"/>
Accessory Dwelling	<input style="width: 100%;" type="text"/>

☐

Summary of Square Footage

Calculated in "Livable Area". Space in a structure for living, sleeping, eating, cooking, to include bathrooms, toilet compartments, closets, and halls as measured from exterior wall to exterior wall. Storage areas, utility areas, garages and similar areas are not considered.

Type of Unit	Total Square Footage
Single Family Unit	<input style="width: 100%;" type="text"/>
Accessory Dwelling	<input style="width: 100%;" type="text"/>
% of Accessory to Single Family	<input style="width: 100%;" type="text"/>
Total	<input style="width: 100%;" type="text"/>

☐

Wood Burning Device Permit

If a wood burning fireplace is proposed, a copy of the Wood Burning Device Permit must be included with this application.

Proof of Ownership (Reference for Item 3)

Please submit complete copies of the following stamped by an architect or engineer licensed in the state of Colorado, except the model, along with a completed application form, completed checklist, and appropriate fees. Within the checklist below, please place a checkmark beside the information submitted, and indicate where the information can be found (i.e. Plan A.1) If not applicable (N/A) is entered in a box, please explain:

☐

Application Form, Development Checklist and Fees.

☐ Proof of ownership of subject property. Demonstration of ownership shall be constituted by current written proof of who or what entity holds title to all the land(s) depicted on any plat or plan filed with the County, with the minimum proof of ownership consisting of certification by a title company authorized to conduct business in the State of Colorado. The certification shall be issued not more than thirty (30) days prior to the date of submittal of the application. If the land is owned by a third-party, corporation or similar legal entity designating an individual or entity to act in the Corporation's or similar legal entity's behalf, a proof of agency shall be required and consist of a Corporate Resolution, or similar legal document, designating the individual or entity to act as agent. The application must be signed by the property owner or an officer of the Corporation or legal entity.

☐ Vicinity Map: A Vicinity Map indicating the location of the subject property and other properties within four hundred feet (400') or one hundred fifty feet (150') if located within the Village Core.

Existing Conditions Plan (Reference for Item 8)

☐ **Survey:** A topographic survey stamped by a surveyor licensed within the State at a **minimum scale of one-inch equals twenty feet (1"=20')**. The survey should be representative of existing conditions of the site and shall have minimum contour intervals of no greater than two-feet (2').

- ☒ Existing trees or groups of trees having trunks with diameters of four inches (4") or more at one foot (1') above natural grade.
- ☒ Rock outcroppings.
- ☒ Wetlands.
- ☒ Other significant natural features
- ☒ Slopes of thirty percent (30%) or more shall be specifically identified.
- ☒ Footprint of all existing structures.
- ☒ The survey shall include ties to an established vertical datum (to be obtained from the department of planning and design review), property lines showing distances and basis of bearing, and all easements and setbacks.
- ☒ Easements and setbacks.
- ☒ Locations of all utilities, including existing sources and proposed service lines from sources to the structures.

Proposed Development Plan (Reference for Item 9)

☐ **Site Plan:** A site plan, drawn at a minimum scale of one inch to twenty feet (1"=20') (unless otherwise approved by staff).

- ☒ Existing and proposed building footprints and all other structures, including decks, patios, canopies, walls, hot tubs, pools, etc.
- ☒ Showing existing and finished grades at two-foot (2') contours.
- ☒ Rock outcroppings and other significant features
- ☐ Locations of landscaped areas.
- ☒ Service areas and storage areas.
- ☒ Pedestrian walks, driveways with proposed grades, parking spaces.
- ☒ Address monument location.
- ☒ All retaining structures.
- ☒ Existing and proposed elevations of the top of roof ridges.
- ☒ Locations of ingress and egress, and the directions of traffic flow into and out of as well as within parking and loading areas, the location of loading berth(s) (where applicable), and areas for turning and maneuvering vehicles.

☐

Grading and Drainage Plan: A grading and drainage plan at a minimum scale of one inch equals twenty feet (1"=20') (unless otherwise approved by staff).

- ☒ Showing existing and finished grades at two-foot (2') contours.
- ☒ Areas proposed for cuts or fill, and projections of the volumes of materials.
- ☒ Proposed Erosion and Sediment Control features including drainage swales.
- ☒ Any proposed slopes greater than 3:1.
- ☒ Locations of any existing natural surface drainage patterns.
- ☒ All proposed building footprints and other structures including decks, patios, walls, hot tubs, pools and retaining structures.
- ☒ A clear and detailed demonstration of the existing drainage on the subject property and the proposed drainage after development.
- ☒ Multi-Family, Mixed-use or Commercial projects are required to submit a drainage study prepared by a Colorado Professional Engineer with storm-water calculations for a 25-year storm event.

☐

Phasing Plan: A phasing plan is required for any development that will not complete the entire proposed project in one phase. A complete master site plan, grading plan, utility plan, landscape plan, and parking plan for the entire project must be submitted which clearly indicates what will be completed in each phase in its entirety.

Lighting Plan: An outdoor lighting plan, drawn at a minimum scale of one inch equals twenty feet (1"=20') (unless otherwise approved by staff). In addition to locating this information graphically on a plan, the applicant shall provide the information on the application form and provide manufacturer's cut-sheets for the DRB file.

- ☐ Location, height above grade, type of illumination (such as incandescent, halogen, etc.)
- ☐ Source lumens.
- ☐ Luminous area for each light source which is proposed.

Architectural Requirements

The following statements, representative elevations and details have been submitted within this application:

Statement of Building Height

	Proposed	Required By Zone
Maximum Height Limit	<input type="text"/>	<input type="text"/>
Maximum Average Height	<input type="text"/>	<input type="text"/>

Architectural Feature(s) which exceeds Maximum Height Limit
Requires specific DRB approval

Statement of Stone Area and Stone Area Calculations

Exterior wall material percentages

Percentage of stone	<input type="text"/>
Percentage of stucco	<input type="text"/>
Percentage of wood	<input type="text"/>
Percentage of accent material	<input type="text"/>
Percentage of fenestration	<input type="text"/>

North Elevation

Total sq. ft. of exterior wall	<input type="text"/>	
Total sq. ft. of stone		<input type="text"/>
Total sq. ft. of stucco		<input type="text"/>
Total sq. ft. of wood		<input type="text"/>
Total sq. ft. of accent material		<input type="text"/>
Total sq. ft. of fenestration		<input type="text"/>

East Elevation

Total sq. ft. of exterior wall	<input type="text"/>	
Total sq. ft. of stone		<input type="text"/>
Total sq. ft. of stucco		<input type="text"/>
Total sq. ft. of wood		<input type="text"/>
Total sq. ft. of accent material		<input type="text"/>
Total sq. ft. of fenestration		<input type="text"/>

South Elevation

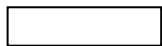
Total sq. ft. of exterior wall	
Total sq. ft. of stone	
Total sq. ft. of stucco	
Total sq. ft. of wood	
Total sq. ft. of accent material	
Total sq. ft. of fenestration	

West Elevation

Total sq. ft. of exterior wall	
Total sq. ft. of stone	
Total sq. ft. of stucco	
Total sq. ft. of wood	
Total sq. ft. of accent material	
Total sq. ft. of fenestration	

Total Building

Total sq. ft. of exterior wall	
Total sq. ft. of stone	
Total sq. ft. of stucco	
Total sq. ft. of wood	
Total sq. ft. of accent material	
Total sq. ft. of fenestration	



Architectural Plans: Architectural plans drawn at a minimum scale of 1/8" = 1' (unless otherwise approved by staff).

- ☒ Floor plans labeled and dimensioned and drawn in sufficient detail.
- ☒ All elevations of proposed structures.
- ☒ Existing and finished grades a minimum of five (5) feet out from the building or to the property line.
- ☒ Building height.
- ☒ Roof forms and pitch (primary and secondary).
- ☒ Location and type of all doors and windows.
- ☒ Details of recess of windows and doors within stucco or stone walls.
- ☒ Exterior surfacing materials.
- ☒ Snow and ice shed prevention devices.
- ☒ Exterior lighting detail.
- ☒ Colored rendering or two-colored elevations.
- ☒ Statement of building height and elevations supporting the calculations.
- ☒ Statement of stone area and stone calculations and elevations supporting the calculations.

- ☒ Scale model illustrating building mass and proportion in relationship to development on adjacent parcels, existing vegetation and site contours.
- ☒ Color and material sample board. (to include windows, doors and exterior lighting.) Provide photos, brochures and cut sheets.
- ☒ Address monument design to include lighting.

☐

Landscape Plan: A detailed landscape plan at a minimum scale of one inch equals twenty feet (1"=20') (unless otherwise approved by staff), with two foot contours.

- ☐ Showing existing and proposed grading.
- ☐ Existing vegetation.
- ☐ Limits of tree removal, locations of all new tree plantings.
- ☐ Ground cover.
- ☐ Revegetation and proposed treatments.
- ☐ Plant schedule identifying all plant material by type (scientific nomenclature, quantity and size).
- ☐ Seeding (type, varieties, mixes, rates).
- ☐ Soil preparation specifications.
- ☐ Turf areas.
- ☐ Special landscape features.
- ☐ Retaining structures, to include type of wall, grades, elevations of top and bottom of wall every twenty (20') feet, footings and facing materials.
- ☐ Irrigation Schedule demonstrating the type and size of all pipes, heads, valves and controllers; Location and description of connection to plumbing; and, Location of water sensors.

☐

Construction Staging Plan: A construction staging plan, drawn at a minimum scale of one inch equals twenty feet (1"=20') (unless otherwise approved by staff).

- ☐ The limits of construction activity.
- ☐ Limits of excavation.
- ☐ Limits of tree removal.
- ☐ Identification of trees to remain within the limits of construction.
- ☐ Location of construction fencing and detail of methods to protect the remaining trees and any other vegetation.
- ☐ Location of building material storage areas, cut and slash storage and route of removal.

- ☐ Construction parking (location and amount).
- ☐ Locations of portable washrooms.
- ☐ Construction trailer (location and size).
- ☐ Location of a trash container and route of removal.
- ☐ Bear-proof container for all food waste.
- ☐ **A detailed construction staging manual, if determined to be necessary by DRB at Initial Architectural Site Review, containing all information requested by the DRB at Initial Architectural Site review.**

☐ n) **Photographs:** Photographs of the subject site from the access road or tract, and if applicable, from any adjacent golf course and/or ski run, and any specific features of the site which may impact or be impacted by the proposed project.

☐ o) Any additional material or information as deemed necessary by the Planning Department for proper review of the application. If applicable, please list this information that has been submitted.

Engineered Infrastructure Plan (Referenced for Item 10)

- ☐ Signed Landscape, Paving and Construction Staging Agreement
- ☐ Wetlands Consultant Report (if required)
- ☐ Soils Investigation and Foundation Recommendations
- ☐ A utility plan, drawn at a minimum scale of one inch equals twenty feet (1"=20') (unless otherwise approved by staff).

Design Variation (Referenced for Item 12)

The following area requested Variance to the Community Development Code (CDC) for DRB consideration (such consideration may require the final approval of the Town Council of the Town of Mountain Village).

Please submit appropriate Variance application and checklist along with this application.

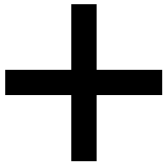
<input type="checkbox"/>	Section:	Requirement:	Variance Request:

I hereby certify that all information contained within this application and all plans required as a part of this Final Plan Application are accurate.



Owner/Owner Agent

Date



October 22, 2021

Project Number: 20.055

Project Address: 190 Cortina Dr. Unit 9 Mountain Village, CO 81435

Client Name: Jeffrey W. Metz Revocable Trust

Initial Architecture Review - Narrative

We are extremely excited to present our proposal for 190 Cortina Dr. Unit 9 on behalf of the owners, Jeffrey and Jennifer Metz. They are seeking to improve the lot with new construction single family residence. The 5 bedroom, 6.5 bath home will contain 5,195 square feet of livable area on three floors. In addition to the indoor space, a variety of decks provide outdoor living space at all levels.

The home's two-car garage and motor court will be accessed directly off Cortina drive.

The unique shape of the site influenced the massing of the home. Two distinct orientations of the building masses were necessary to accommodate the varying angles. The design utilizes a gable roof as the building's primary roofline, and a central stair element with a shed roof provides circulation to all floors. The rooflines are fully compliant with the maximum and average height restrictions of the Village Development code

The exterior materials are to be a combination of black standing seam metal roof, "white buff" stone, wood siding, charcoal metal panel and a darker grey stone at the base & retaining walls.

We look forward to receiving your feedback on the proposed plans and thank you for your consideration.

Sincerely,

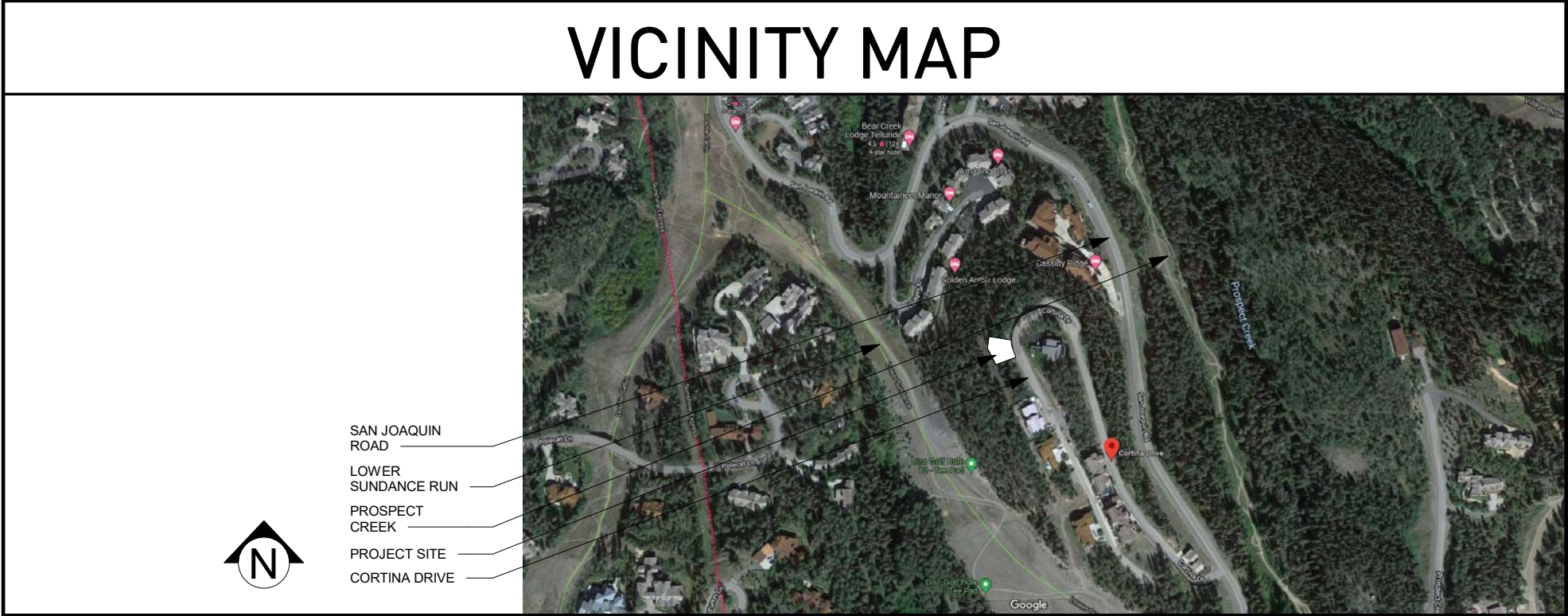
Ramiel Kenoun AIA
SPACE Architects + Planners
312.829.6666 x 104

CORTINA LOT 9

190 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435

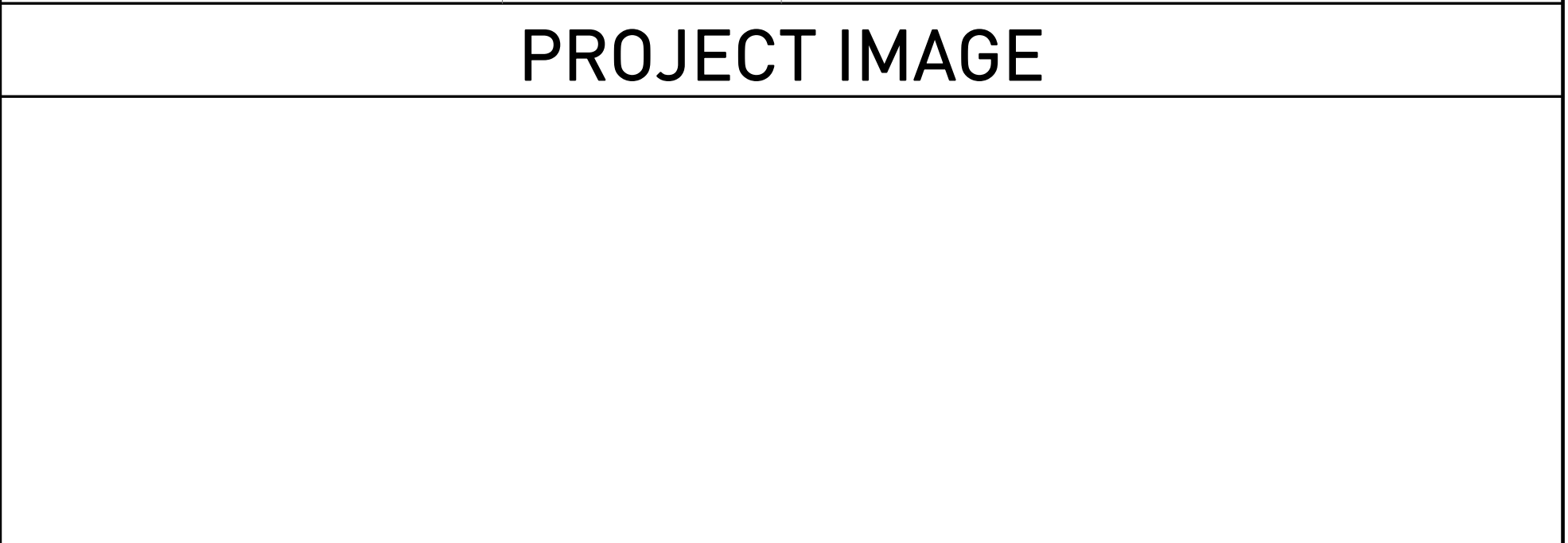
PROJECT TEAM	
ARCHITECT:	SPACE ARCHITECTS + PLANNERS RAMIEL KENOUN - ARCHITECT OF RECORD 2149 N. TALMAN AVE., CHICAGO, IL 60647 312.829.6666
CIVIL ENGINEER:	UNCOMPAGRE ENGINEERING, LLC DAVID BALLODE - ENGINEER OF RECORD P.O. BOX 3945 TELLURIDE, CO 81435 970.729.0683
STRUCTURAL ENGINEER:	SP ENGINEERS JEFF PRIBYL - ENGINEER OF RECORD 134 N. LASALLE DR. SUITE 1930 CHICAGO, IL 60602 312.332.2800
MEP ENGINEER:	CARTLAND KRAUS ENGINEERING LTD. JOHN CARTLAND - ENGINEER OF RECORD 760 TESLER RD. LAKE ZURICH, IL 60047 847.719.1708
LIGHTING:	DAVID CRAIGE LIGHTING DESIGN DAVID CRAIGE 138 E. COLORADO AVE. TELLURIDE, CO 81435 970.729.1403
GENERAL CONTRACTOR:	TBD
OWNER:	JEFFERY W. METZ REVOCABLE TRUST JEFF METZ 924 S. CATHRINE, LA GRANGE, IL 60525 708.878.9135

PROJECT SCOPE	
ISSUED FOR:	
REVIEW/BID	DRB REVIEW
PERMIT	AMENDED PERMIT
CONSTRUCTION	
WORK TO INCLUDE:	
ARCHITECTURAL	ACCESSIBILITY
ELECTRICAL	ENVIRONMENTAL
FIRE PREVENTION	
LANDSCAPING	PLUMBING
REFRIGERATION	STRUCTURAL
VENTILATION	



PROJECT DATA AND CODES	
PARCEL ZONING	SINGLE-FAMILY COMMON INTEREST COMMUNITY ZONE DISTRICT
SPECIAL USE/P.D.	-
TOTAL SITE AREA	8977.00 SF
LOT COVERAGE	REQUIRED: < 65.0% ACTUAL: 38.0%
MAX. BUILDING HEIGHT	40.0' (GABLE)
AVG. BUILDING HEIGHT	35.0' (GABLE)
PARKING SPACES	2
FRONT YARD SETBACK	16'-0"
SIDE YARD SETBACK	16'-0" SKI ACCESS EASEMENT
REAR YARD SETBACK	16'-0" SKI ACCESS EASEMENT

AREA ANALYSIS	
PROJECT SQUARE FOOTAGE	EXTERIOR SQUARE FOOTAGE
LOWER LEVEL	2423 SF
MAIN LEVEL	1555 SF
UPPER LEVEL	1217 SF
HABITABLE	5195 SF
MECHANICAL	97 SF
GARAGE	552 SF
NON HABITABLE	649 SF
GROSS AREA	5844 SF



DRAWING INDEX			
SHEET #	CONTENTS:	SHEET #	CONTENTS:
A0.00	PROJECT DATA		
A0.10	SITE PLAN		
-	SURVEY IMPROVEMENT PLAT		
-	TOPOGRAPHIC SURVEY		
A0.11	ZONING HEIGHTS		
A0.12	ZONING HEIGHTS		
A0.30	SCHEDULES & DETAILS		
A1.00	LOWER LEVEL FLOOR PLAN		
A1.01	MAIN LEVEL FLOOR PLAN		
A1.02	UPPER LEVEL FLOOR PLAN		
A1.03	ROOF PLAN		
A2.00	BUILDING ELEVATIONS		
A2.01	BUILDING ELEVATIONS		
A2.02	BUILDING ELEVATIONS		
A2.03	BUILDING ELEVATIONS		
A2.10	BUILDING HEIGHT DIAGRAMS		
A2.11	BUILDING HEIGHT DIAGRAMS		
A2.12	BUILDING HEIGHT DIAGRAMS		
A2.13	WALL AREA DIAGRAM		
A2.14	WALL AREA DIAGRAM		
A6.00	BUILDING RENDERINGS		
C1	NOTES		
C2	SITE PLAN AND DRIVEWAY PROFILE		
C3	UTILITY PLAN		
C4	CONSTRUCTION MITIGATION PLAN		

SYMBOLS LEGEND			
	NORTH ARROW		ELEVATION CHANGE
	INTERIOR ELEVATION IDENTIFIER		PARTITION TAG
	DRAWING MARKER		DOOR TAG
	ELEVATION MARKER		WINDOW TAG
	BLDG. SECTION MARKER		KEY NOTE TAG
	WORK POINT / LEVEL MARKER		EQUIPMENT TAG
	FINISHED ELEVATION MARKER		REVISION TAG

PRELIMINARY NOT FOR
CONSTRUCTION



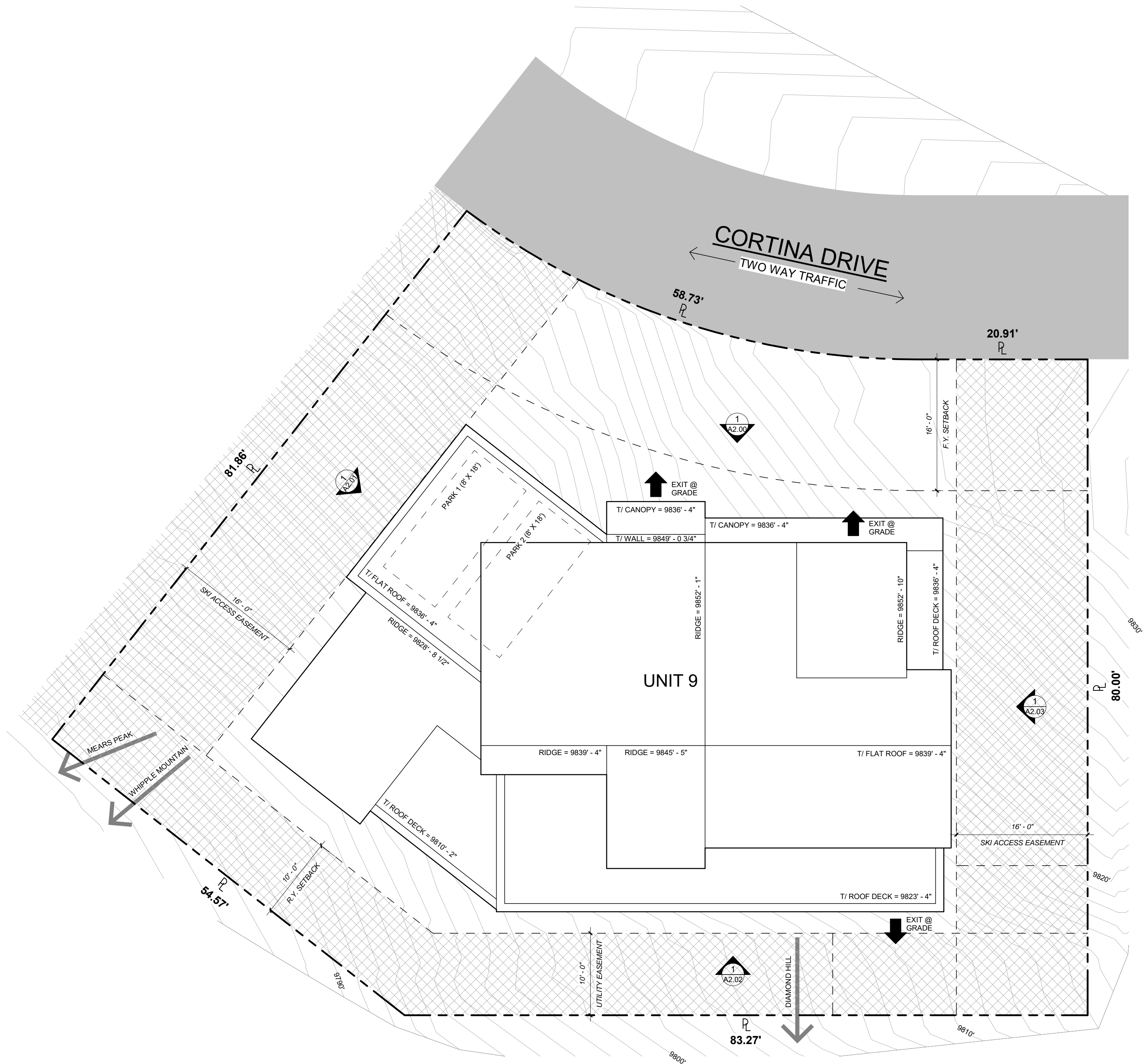
VIEW LOOKING NORTHWEST



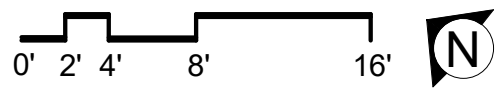
VIEW LOOKING WEST



VIEW LOOKING SOUTHEAST



1 SITE PLAN
SCALE : 1/8" = 1'-0"



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2149 N. TALMAN AVENUE
CHICAGO, IL 60647
312 829 6666
www.spacearchplan.com

PROJECT NAME:
CORTINA LOT 9

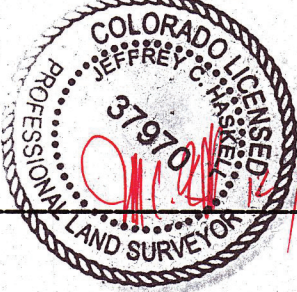
PROJECT ADDRESS:
190 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435

PROJECT INFO	ISSUE	CERTIFICATION	SHEET TITLE	SHEET #
PROJECT NO. 20.055	10.22.2021 DRB INITIAL REVIEW		SITE PLAN	A0.10
PROJECT TEAM RAMIEL KENOUN TESS SEKALIAS SARAH REINDL JEN POTOCZAK				

IMPROVEMENT LOCATION CERTIFICATE:

I hereby certify that this Improvement Location Certificate was prepared for Land Title Guarantee Company, that it is not a land survey plat or improvement survey plat, that it is not to be relied upon for the establishment of fence, building, or other improvement lines.

I further certify that the improvements on the below described parcel on this date, December 01, 2015, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.



Jeffrey C. Haskell P.L.S. 37970

LEGAL DESCRIPTION:

UNIT 9, THE CORTINA LAND CONDOMINIUMS, ACCORDING TO THE CONDOMINIUM DECLARATION RECORDED NOVEMBER 30, 2004 UNDER RECEPTION NO. 370697 AND THE FIRST AMENDMENT THERETO RECORDED NOVEMBER 14, 2006 UNDER RECEPTION NO. 388332 AND THE SECOND AMENDMENT THERETO RECORDED JANUARY 19, 2007 UNDER RECEPTION NO. 389686 AND THE THIRD AMENDMENT THERETO RECORDED AUGUST 22, 2014 UNDER RECEPTION NO. 434256, AND NOTICE RECORDED NOVEMBER 20, 2014 UNDER RECEPTION NO. 435386, AND RERECORDED DECEMBER 1, 2014 UNDER RECEPTION NO. 435492 AND ACCORDING TO THE CONDOMINIUM MAP RECORDED NOVEMBER 30, 2004 IN PLAT BOOK 1 AT PAGE 3400 AND THE FIRST AMENDMENT TO THE MAP OF CORTINA LAND CONDOMINIUMS RECORDED JANUARY 19, 2007 IN PLAT BOOK 1 AT PAGE 3803 AND THE SECOND AMENDMENT TO THE MAP OF CORINA LAND CONDOMINIUMS RECORDED AUGUST 22, 2014 IN PLAT BOOK 1 AT PAGE 4661,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and legal description from Land Title Guarantee Company, Order No. 86005356, dated November 05, 2015 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Maps dated September 30, 1988, this parcel is not within the 100-year flood plain.
- No posted address.

NOTICE:

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LEGEND

○ FOUND #5 REBAR & 1-1/2" ALUMINUM CAP, L.S. 36577

--- INDICATES SETBACK LINE AND AREA OF BUILDING ENVELOPE

[Pattern] INDICATES SKIER ACCESS AND FACILITY EASEMENT

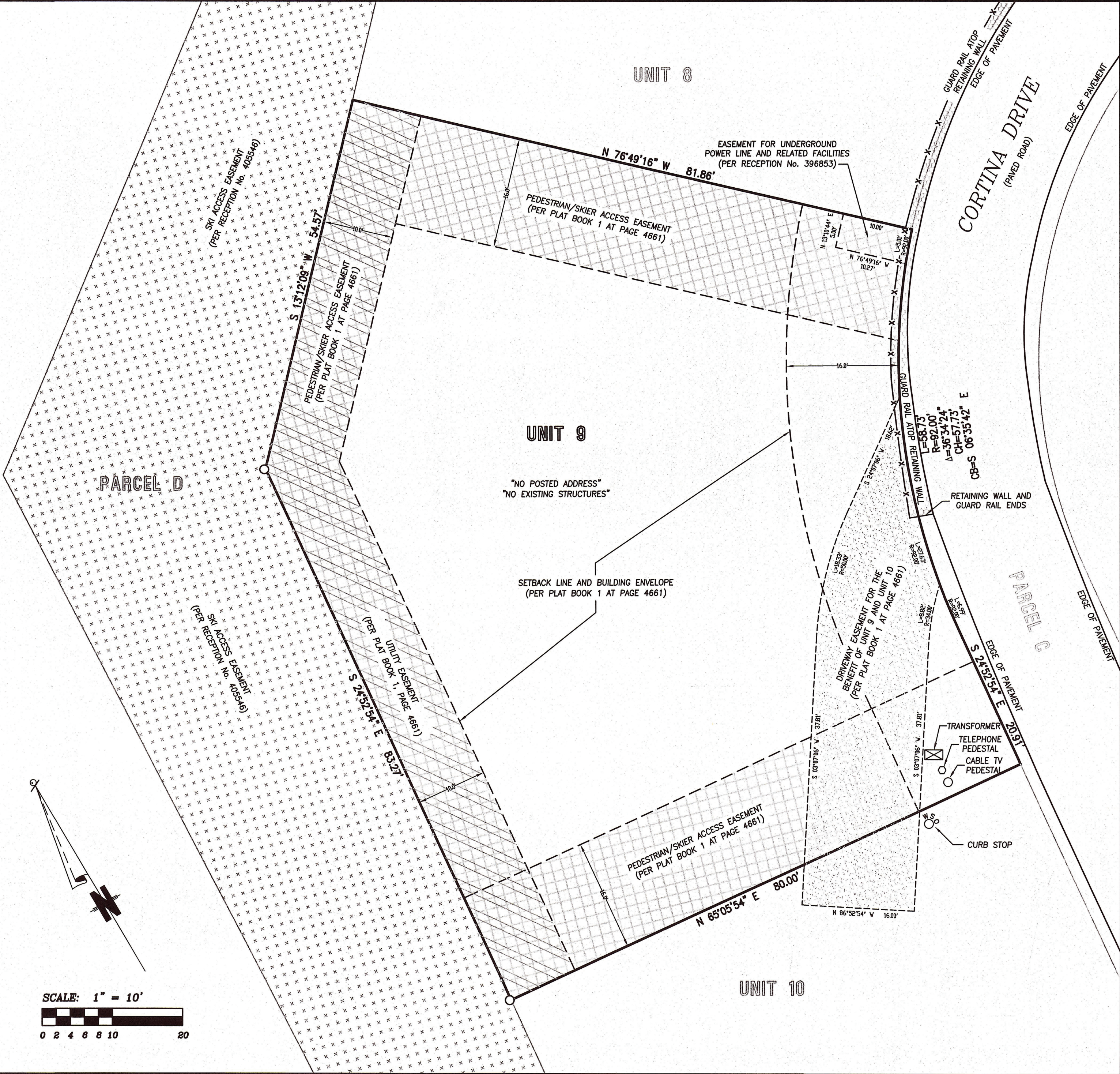
[Pattern] INDICATES PEDESTRIAN/SKIER ACCESS EASEMENT

[Pattern] INDICATES UTILITY EASEMENT

[Pattern] INDICATES DRIVEWAY EASEMENT

SCALE: 1" = 10'

0 2 4 6 8 10 20

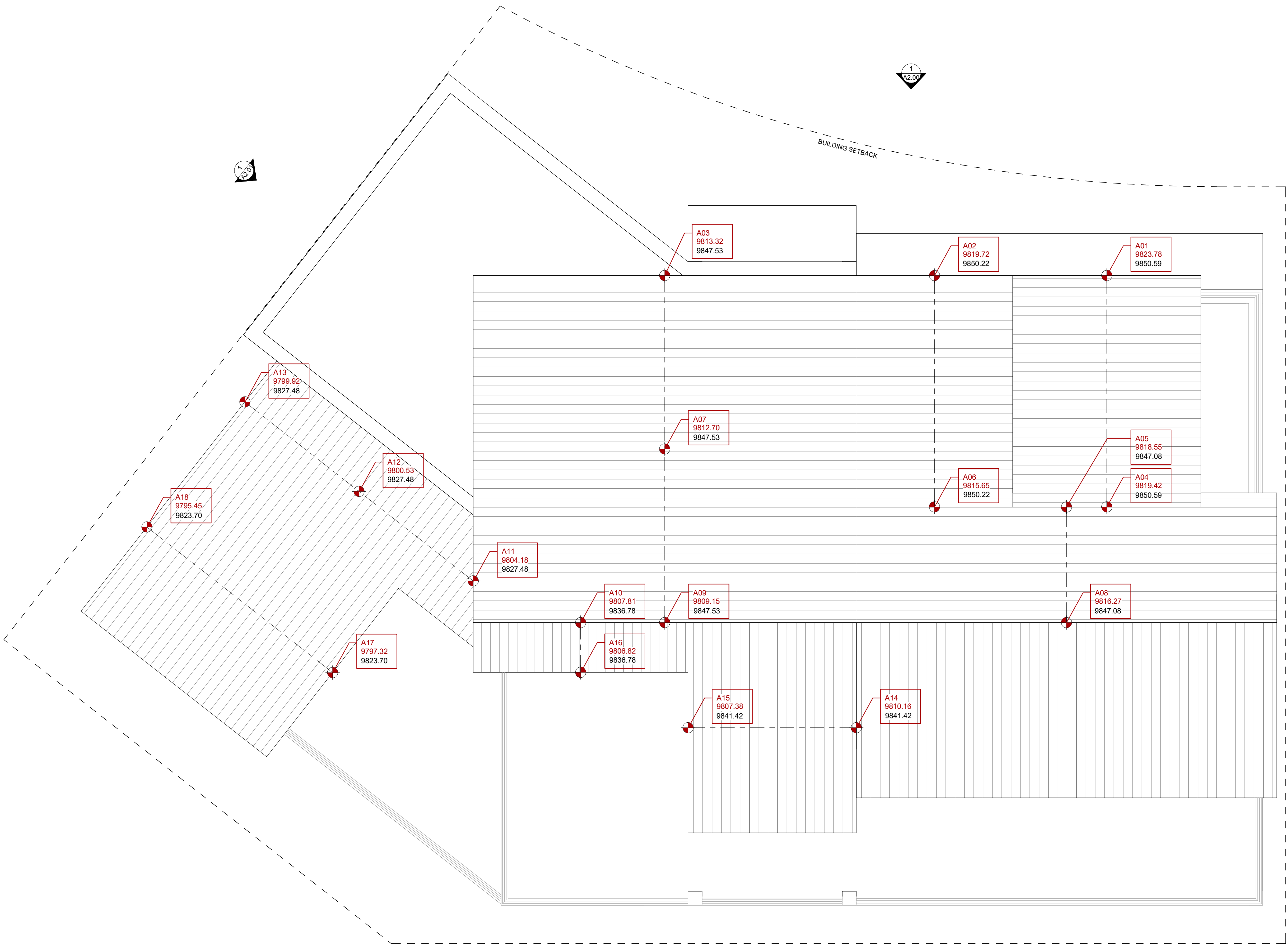


Improvement Location Certificate

Unit 9, The Cortina Land Condominiums

Project Mgr: JH	FOLEY ASSOCIATES, INC. ENGINEERING PLANNING SURVEYING	970-728-6153 970-728-6050 fax	
Technician: FO		PO Box 1385	
Technician:		125 W. Pacific Ave., Suite B-1	
Checked by:		Telluride, Colorado, 81435	
Start date: 12/2/2015	Drawing path: dwg\03117 ILC 12-15 (unt 9).dwg	Sheet1 of 1	Project #: 15040

PRELIMINARY NOT FOR
CONSTRUCTION



ROOF POINT	ROOF POINT ELEVATION	MOST RESTRICTIVE GRADE BELOW	NG = NATURAL GRADE PG = PROPOSED GRADE	ROOF HEIGHT ABOVE MOST RESTRICTIVE GRADE
A01	9850.59	9823.78	NG	26.81
A02	9850.22	9819.72	NG	30.50
A03	9847.53	9813.32	NG	34.21
A04	9850.59	9819.42	NG	31.17
A05	9847.08	9818.55	NG	28.53
A06	9850.22	9815.65	NG	34.57
A07	9847.53	9812.70	NG	34.83
A08	9847.08	9816.27	NG	30.81
A09	9847.53	9809.15	NG	38.38
A10	9836.78	9807.81	NG	28.97
A11	9827.48	9804.18	NG	23.30
A12	9827.48	9800.53	NG	26.95
A13	9827.48	9799.92	NG	27.56
A14	9841.42	9810.16	NG	31.26
A15	9841.42	9807.38	NG	34.04
A16	9836.78	9806.82	NG	29.96
A17	9823.70	9797.32	NG	26.38
A18	9823.70	9795.45	NG	28.25
AVERAGE HEIGHT				30.36
MAX. AVERAGE HEIGHT				35.00
COMPLIANT BY				4.64

1 ROOF AVERAGE HEIGHT
SCALE : 1/4" = 1'-0"
0' 2' 4' 8' 16'

SPACE

ARCHITECTS + PLANNERS

2149 N. TALMAN AVENUE
CHICAGO, IL 60647
312 829 6666
www.spacearchplan.com

PROJECT NAME:
CORTINA LOT 9

PROJECT ADDRESS:
190 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435

PROJECT INFO

PROJECT NO.
20 055

PROJECT TEAM
RAMIEL KENOUN
TESS SEKALIAS
SARAH REINDL
JEN POTOCZAK

ISSUE

10.22.2021 DRB INITIAL REVIEW

CERTIFICATION

COLORADO LICENSED
RAMIEL KENOUN
406566
ARCHITECT

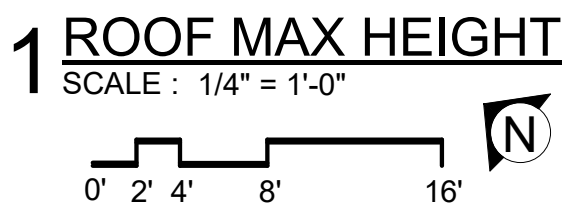
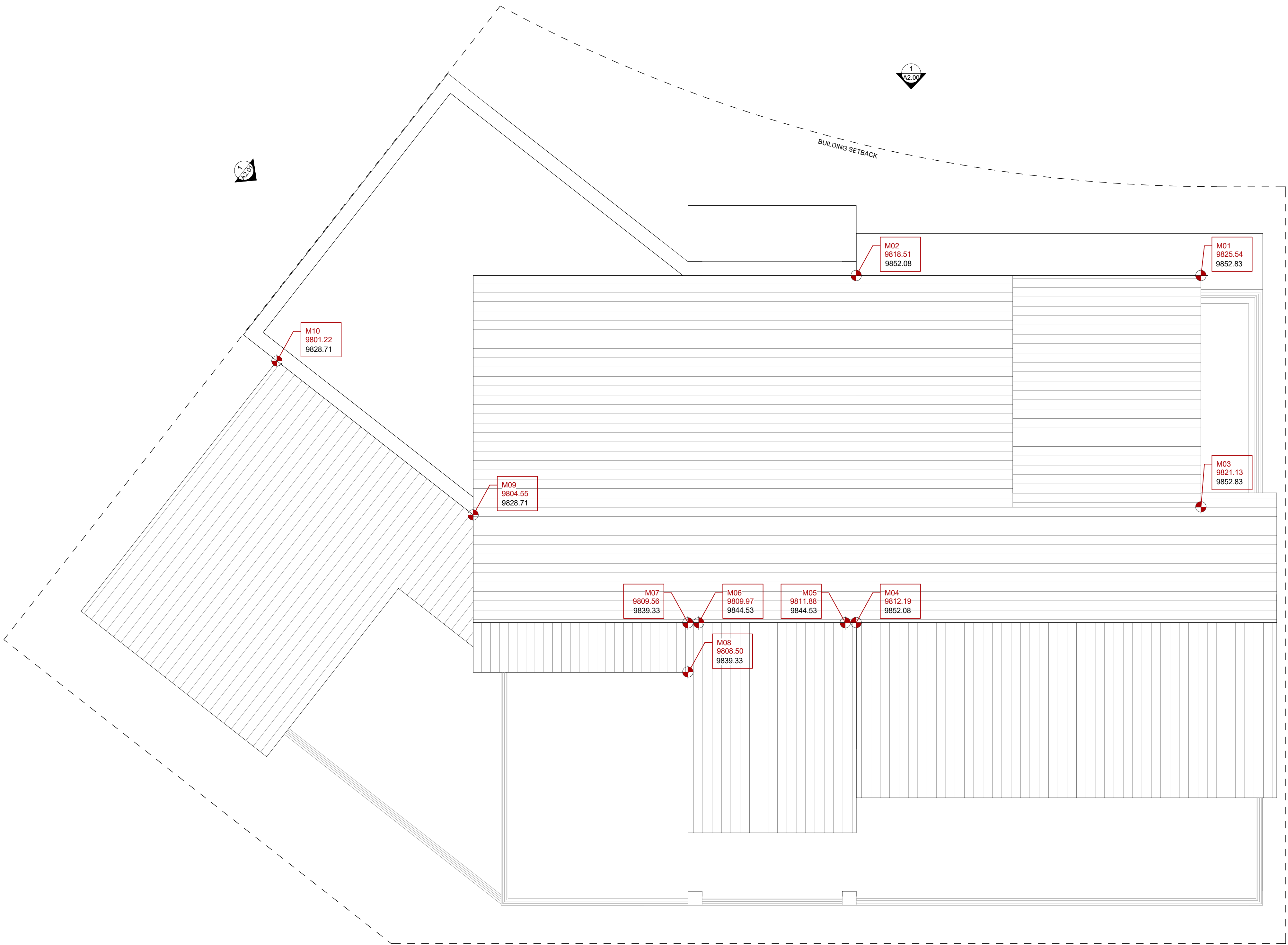
SHEET TITLE

ZONING HEIGHTS

SHEET #

A0.11

PRELIMINARY NOT FOR
CONSTRUCTION



ROOF POINT	ROOF POINT ELEVATION	NATURAL GRADE ELEVATION BELOW	ROOF HEIGHT ABOVE NATURAL GRADE	PROPOSED GRADE ELEVATION BELOW	ROOF HEIGHT ABOVE FINISH GRADE
M01	9852.83	9825.54	27.29	9825.54	27.29
M02	9852.08	9818.51	33.57	9818.51	33.57
M03	9852.83	9821.13	31.70	9821.13	31.70
M04	9852.08	9812.19	39.89	9812.19	39.89
M05	9844.53	9811.88	32.65	9811.88	32.65
M06	9844.53	9809.97	34.56	9809.97	34.56
M07	9839.33	9809.56	29.77	9809.56	29.77
M08	9839.33	9808.50	30.83	9808.50	30.83
M09	9828.71	9804.55	24.16	9804.55	24.16
M10	9828.71	9801.22	27.49	9801.22	27.49

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PROJECT NAME:
CORTINA LOT 9

PROJECT ADDRESS:
190 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435

PROJECT INFO

PROJECT NO.
20 055

PROJECT TEAM
RAMIEL KENOUN
TESS SEKALIAS
SARAH REINDL
JEN POTOCZAK

ISSUE

10.22.2021 DRB INITIAL REVIEW

CERTIFICATION

COLORADO LICENSED
RAMIEL KENOUN
406566
ARCHITECT

SHEET TITLE

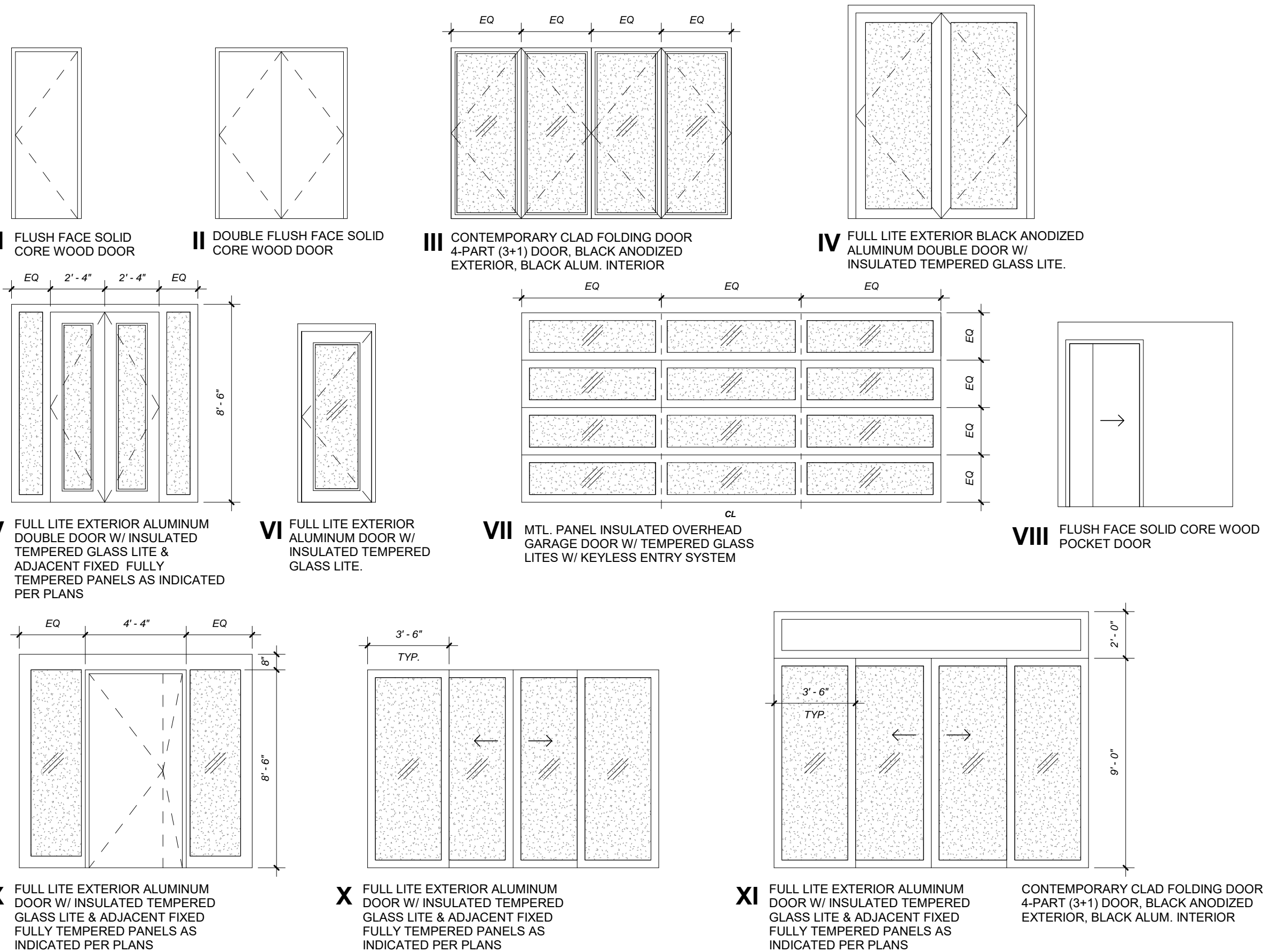
ZONING HEIGHTS

SHEET #

A0.12

DOOR SCHEDULE																	
DOOR					FRAME		HARDWARE						REMARKS				
DOOR NUMBER	WIDTH	HEIGHT	THICKNESS	TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	U.L. LABEL	ENTRY	PASSAGE	PRIVACY					DUMMY
1	10' - 0"	9' - 2"	1 3/4"	IX	AL/G	ADZ	AL	ADZ	-	•						•	PIVOT ENTRY DOOR
2	3' - 6"	7' - 0"	1 3/4"	VI	AL/G	ADZ	AL	ADZ	-	•							KITCHEN ENTRY DOOR
3	8' - 0"	9' - 2"	1 3/4"	IV	AL/G	ADZ	AL	ADZ	-	•							PATIO ENTRY DOUBLE DOOR
4	3' - 4"	7' - 4"	1 3/4"	VI	AL/G	ADZ	AL	ADZ	-	•							PATIO ENTRY DOOR
5	8' - 0"	8' - 6"	1 3/4"	V	AL/G	ADZ	AL	ADZ	-	•							PATIO ENTRY DOUBLE DOOR
6	3' - 4"	9' - 0"	1 3/4"	VI	AL/G	GAL	AL	GAL	-	•							SKI ROOM ENTRY DOOR
7	15' - 6"	9' - 0"	1 3/4"	III	AL/G	ADZ	AL	ADZ	-	•							LOWER PATIO NANA WALL
8	13' - 6"	11' - 0"	1 3/4"	XI	AL/G	ADZ	AL	ADZ	-	•							SLIDING PATIO DOOR
9	12' - 6"	8' - 6"	1 3/4"	X	AL/G	ADZ	AL	ADZ	-	•							SLIDING PATIO DOOR
10	15' - 6"	8' - 0"	1 3/4"	VII	AL/G	ADZ	AL	ADZ	-							•	GARAGE DOOR
11	3' - 0"	7' - 0"	1 3/4"	I	WD	PT	WD	PT	-		•						
12	2' - 6"	7' - 0"	1 3/4"	I	WD	PT	WD	PT	-		•						
13	2' - 6"	7' - 0"	1 3/4"	I	WD	PT	WD	PT	-			•					
14	5' - 0"	7' - 0"	1 3/4"	II	WD	PT	WD	PT	-		•						
15	2' - 4"	7' - 0"	1 1/2"	VIII	WD	PT	WD	PT	-			•					
16	2' - 0"	7' - 0"	1 3/4"	I	WD	PT	WD	PT	-			•					
17	2' - 4"	7' - 0"	1 3/4"	I	WD	PT	WD	PT	-			•					

ABBREVIATIONS: WD - WOOD / PT - PAINT / AL - ALUMINUM / ALG - ALUMINUM AND GLAZING / ADZ - ANODIZED / MTL - METAL



INDICATES FULLY TEMPERED SAFETY GLAZING. NOTE IN ADDITION TO SAFETY GLAZING IN DOORS AND WINDOWS BELOW, ALL STOREFRONTS SHALL BE FULLY TEMPERED SAFETY GLAZING

- DOOR NOTES:**
- ALL DOORS USED IN CONNECTION W/ EXITS SHALL BE SO ARRANGED AS TO BE READILY OPENED WITHOUT A KEY IN THE DIRECTION OF EGRESS
 - VERIFY ALL DOOR WIDTHS & HEIGHTS IN FIELD PRIOR TO ORDERING
 - PROVIDE ROLLER CATCH OR MAGNETIC CATCH AT DUMMY TRIM
 - ALL HINGES & HANDLES TO BE SELECTED BY INTERIOR DESIGN / OWNER
 - ALL DOORS & HARDWARE TO BE SELECTED BY INTERIOR DESIGNER / OWNER & REVIEWED BY ARCHITECT PRIOR TO PURCHASE BY CONTRACTOR, U.N.O.
 - CONTRACTOR TO PURCHASE ALL DOORS, U.N.O.
 - ALL DOOR FRAMES MUST BE FIRE LISTED TO MATCH THE FIRE RATING OF THE DOOR

1 DOOR TYPES

SCALE : NTS

WINDOW SCHEDULE									
MARK	WIDTH	HEIGHT	TYPE	CLEAR	FROSTED	OPAQUE	TEMPERED	COMMENTS	
A	3' - 3"	2' - 6"	FIXED	•					
B	3' - 6"	2' - 6"	FIXED	•					
C	1' - 6"	5' - 8"	FIXED	•			•		
D	3' - 4"	2' - 2"	AWNING	•					
E	3' - 0"	5' - 8"	CASEMENT	•					
F	3' - 0"	2' - 10"	FIXED	•			•		
G	2' - 8"	4' - 3"	CASEMENT	•					
H	4' - 0"	2' - 0"	FIXED	•					
J	3' - 4"	2' - 10"	FIXED	•					

- WINDOW NOTES:**
- CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES IN THE FIELD PRIOR TO ORDERING
 - ARCHITECT TO REVIEW AND APPROVE WINDOW SPECIFICATIONS PRIOR TO GC PLACING ORDER

DOOR & WINDOW GLASS REQUIREMENTS:

- PROVIDE SAFETY GLAZING UNDER THE FOLLOWING CONDITIONS:
 - ALL DOORS / SKYLIGHTS / SHOWER DOORS
 - ALL WINDOWS WHICH OCCUR AT BATHTUBS OR SHOWERS
 - ALL SIDELIGHTS WITHIN 24" ARC OF A DOOR
- FOR ALL WINDOWS OTHER THAN SIDELIGHTS WITHIN 18" OF THE FLOOR, SAFETY GLASS IS REQUIRED IF ALL OF THE FOLLOWING CONDITIONS EXIST:
 - GLASS AREA IS 9 SF OR MORE
 - BOTTOM EDGE OF GLASS IS LESS THAN 18" ABOVE FLOOR
 - TOP EDGE OF GLASS IS MORE THAN 36" ABOVE FLOOR
- WHERE THE FLOOR OR WALKING SURFACE IS FURTHER THAN 36" HORIZONTALLY FROM THE GLASS, SAFETY GLASS IS NOT REQUIRED.
- WHERE SAFETY GLASS IS REQUIRED AND DOUBLE GLAZING IS SPECIFIED, BOTH THE PANES MUST BE SAFETY GLASS IF WITHIN 25 FEET OF THE GRADE. IF ABOVE 25 FEET, ONLY THE INNER PANE NEEDS TO BE SAFETY GLASS.
- ALL GUARDRAILS WITH GLAZING PER 2406.4.4

2 WINDOW TYPES

SCALE : NTS

CUSTOM WINDOW SCHEDULE							
MARK	UNIT WIDTH	UNIT HEIGHT	TYPE	GLASS TYPE			REMARKS
				CLEAR	FROSTED	OPAQUE	
CA	12' - 6"	4' - 5 1/2"	I	•		•	FULLY TEMPERED, LOW-E GLAZED ALUMINUM STOREFRONT IN ANODIZED BLACK FINISH
CB	10' - 4"	VARIABLE	II	•		•	FULLY TEMPERED, LOW-E GLAZED ALUMINUM STOREFRONT IN ANODIZED BLACK FINISH
CC	10' - 0"	10' - 4"	III	•		•	FULLY TEMPERED, LOW-E GLAZED ALUMINUM STOREFRONT IN ANODIZED BLACK FINISH
CD	10' - 4"	8' - 6"	IV	•		•	FULLY TEMPERED, LOW-E GLAZED ALUMINUM STOREFRONT IN ANODIZED BLACK FINISH
CE	10' - 0"	13' - 2"	V	•		•	FULLY TEMPERED, LOW-E GLAZED ALUMINUM STOREFRONT IN ANODIZED BLACK FINISH
CF	10' - 2"	14' - 10"	VI	•		•	FULLY TEMPERED, LOW-E GLAZED ALUMINUM STOREFRONT IN ANODIZED BLACK FINISH
CG	5' - 0"	14' - 10"	VII	•		•	FULLY TEMPERED, LOW-E GLAZED ALUMINUM STOREFRONT IN ANODIZED BLACK FINISH
CH	10' - 0"	11' - 4"	VIII	•		•	FULLY TEMPERED, LOW-E GLAZED ALUMINUM STOREFRONT IN ANODIZED BLACK FINISH

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PROJECT INFO

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20.055
PROJECT TEAM
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TESS SEKALIAS
SARAH REINDL
JEN POTOCZAK

ISSUE

10.22.2021 DRB INITIAL REVIEW

CERTIFICATION



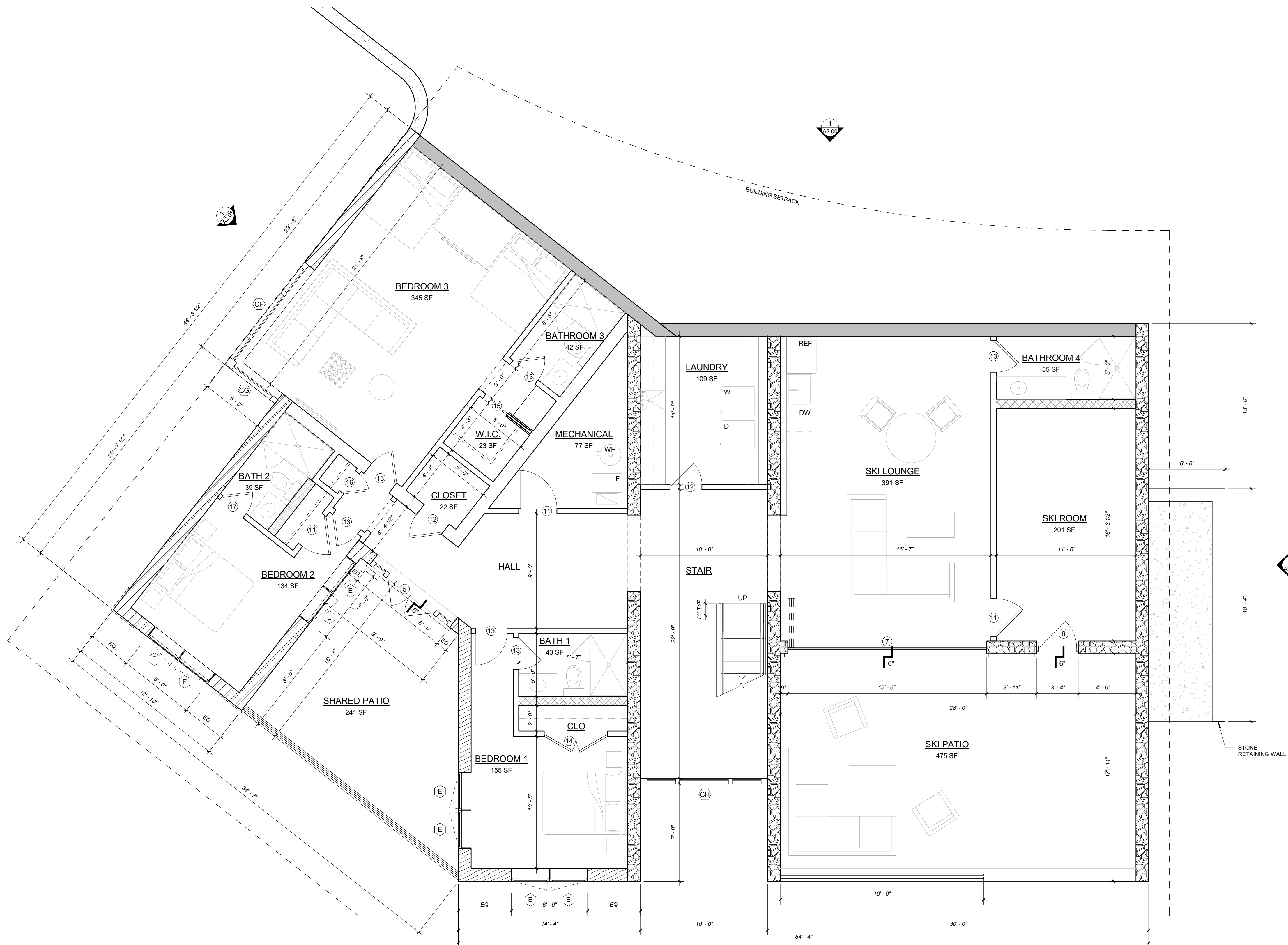
SHEET TITLE

SCHEDULES &
DETAILS

SHEET

A0.30

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EXTERIOR SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL SHARED PATIO	241 SF
LOWER LEVEL SKI PATIO	475 SF
MAIN LEVEL DECK	652 SF
MAIN LEVEL FRONT PORCH	127 SF
UPPER LEVEL DECK	71 SF
TOTAL AREA	1566 SF

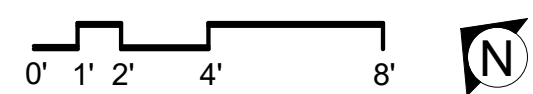
PROJECT SQUARE FOOTAGE		
LEVEL	USE	AREA
LOWER LEVEL	LIVING	2423 SF
MAIN LEVEL	LIVING	1555 SF
UPPER LEVEL	LIVING	1217 SF
HABITABLE		5195 SF
LOWER LEVEL	MECH	97 SF
MAIN LEVEL	GARAGE	552 SF
NON HABITABLE		649 SF
GROSS AREA		5844 SF

WALL TYPE LEGEND

	MASONRY WALL (LIGHT STONE)
	COMPOSITE WOOD FRAME WALL
	METAL PANEL FRAME WALL
	MASONRY WALL (DARK STONE)
	2X WOOD STUD INTERIOR WALL
	2X WOOD STUD CHASE WALL
	WALLS BELOW GRADE

1 LOWER LEVEL FLOOR PLAN

SCALE : 1/4" = 1'-0"



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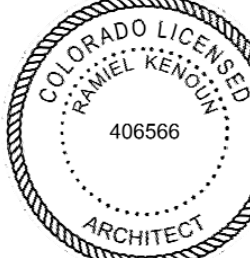
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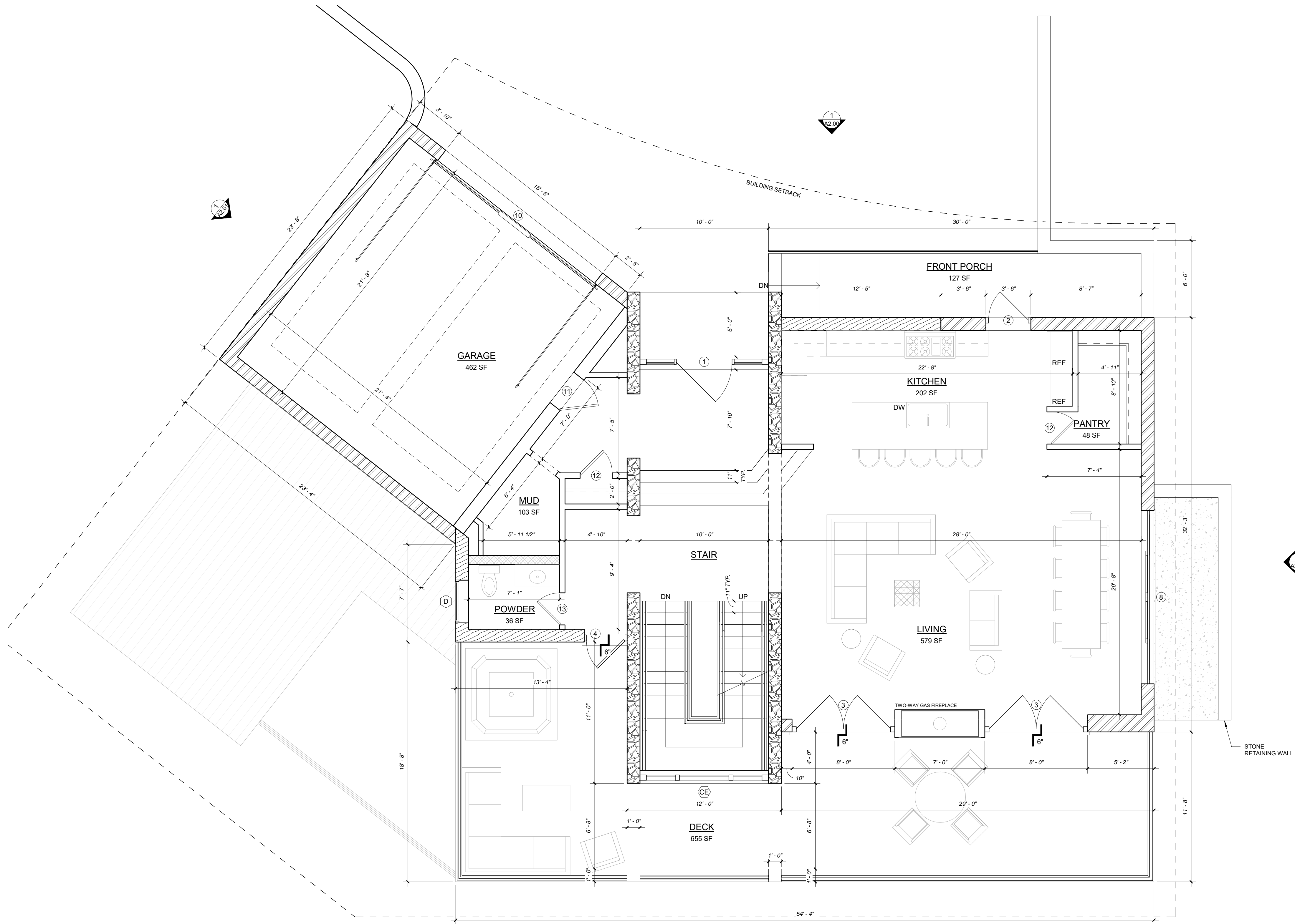
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LOWER LEVEL FLOOR PLAN

SHEET

A1.00

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EXTERIOR SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL SHARED PATIO	241 SF
LOWER LEVEL SKI PATIO	475 SF
MAIN LEVEL DECK	652 SF
MAIN LEVEL FRONT PORCH	127 SF
UPPER LEVEL DECK	71 SF
TOTAL AREA	1566 SF

PROJECT SQUARE FOOTAGE		
LEVEL	USE	AREA
LOWER LEVEL	LIVING	2423 SF
MAIN LEVEL	LIVING	1555 SF
UPPER LEVEL	LIVING	1217 SF
HABITABLE		5195 SF
LOWER LEVEL	MECH	97 SF
MAIN LEVEL	GARAGE	552 SF
NON HABITABLE		649 SF
GROSS AREA		5844 SF

WALL TYPE LEGEND	
	MASONRY WALL (LIGHT STONE)
	COMPOSITE WOOD FRAME WALL
	METAL PANEL FRAME WALL
	MASONRY WALL (DARK STONE)
	2X WOOD STUD INTERIOR WALL
	2X WOOD STUD CHASE WALL
	WALLS BELOW GRADE

1 MAIN LEVEL FLOOR PLAN

SCALE : 1/4" = 1'-0"



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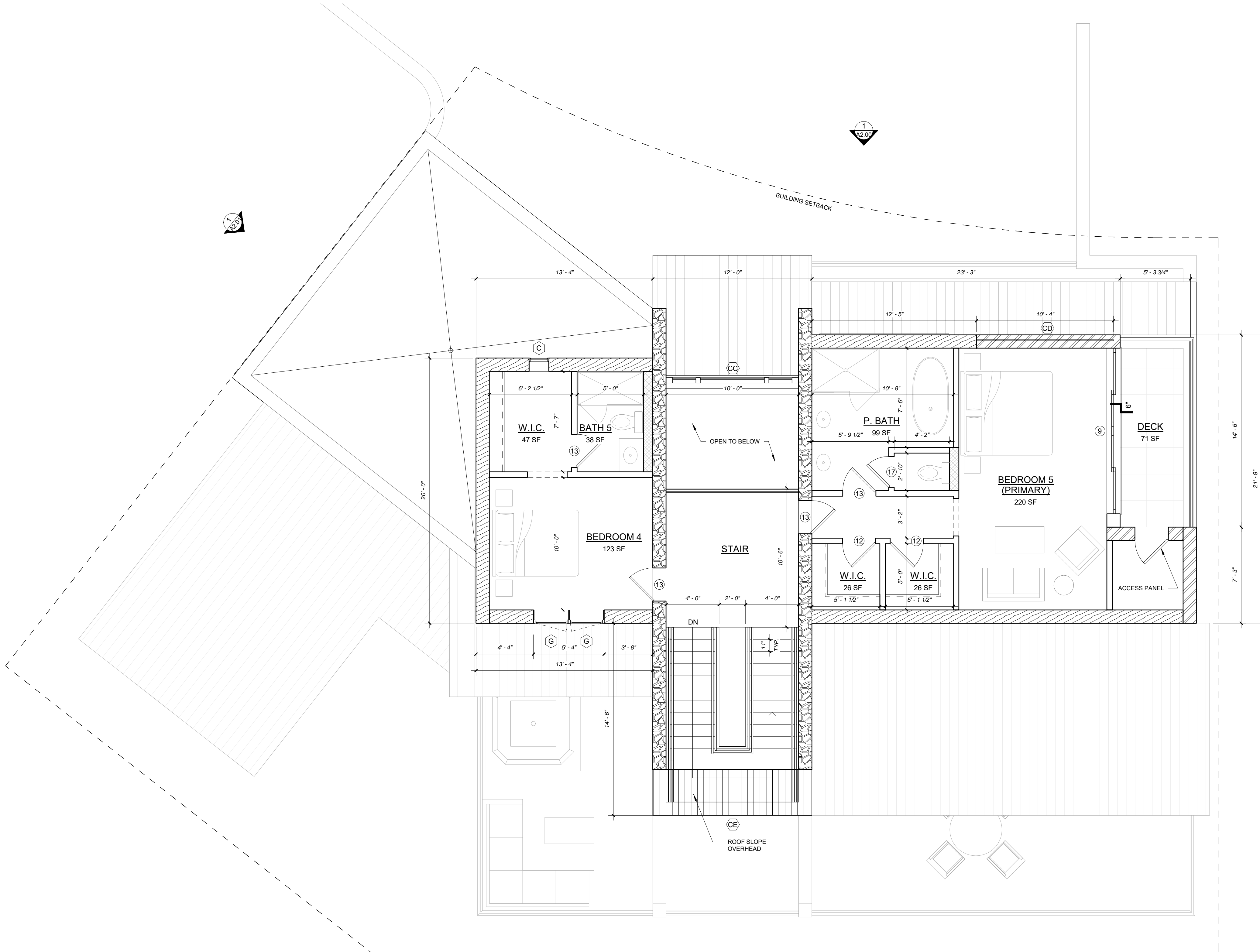
SHEET TITLE

**MAIN LEVEL
FLOOR PLAN**

SHEET

A1.01








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EXTERIOR SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL SHARED PATIO	241 SF
LOWER LEVEL SKI PATIO	475 SF
MAIN LEVEL DECK	652 SF
MAIN LEVEL FRONT PORCH	127 SF
UPPER LEVEL DECK	71 SF
TOTAL AREA	1566 SF

PROJECT SQUARE FOOTAGE		
LEVEL	USE	AREA
LOWER LEVEL	LIVING	2423 SF
MAIN LEVEL	LIVING	1555 SF
UPPER LEVEL	LIVING	1217 SF
HABITABLE		5195 SF
LOWER LEVEL	MECH	97 SF
MAIN LEVEL	GARAGE	552 SF
NON HABITABLE		649 SF
GROSS AREA		5844 SF

WALL TYPE LEGEND

	MASONRY WALL (LIGHT STONE)
	COMPOSITE WOOD FRAME WALL
	METAL PANEL FRAME WALL
	MASONRY WALL (DARK STONE)
	2X WOOD STUD INTERIOR WALL
	2X WOOD STUD CHASE WALL
	WALLS BELOW GRADE

1 UPPER LEVEL FLOOR PLAN

SCALE : 1/4" = 1'-0"



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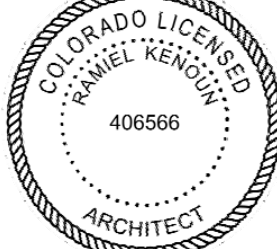
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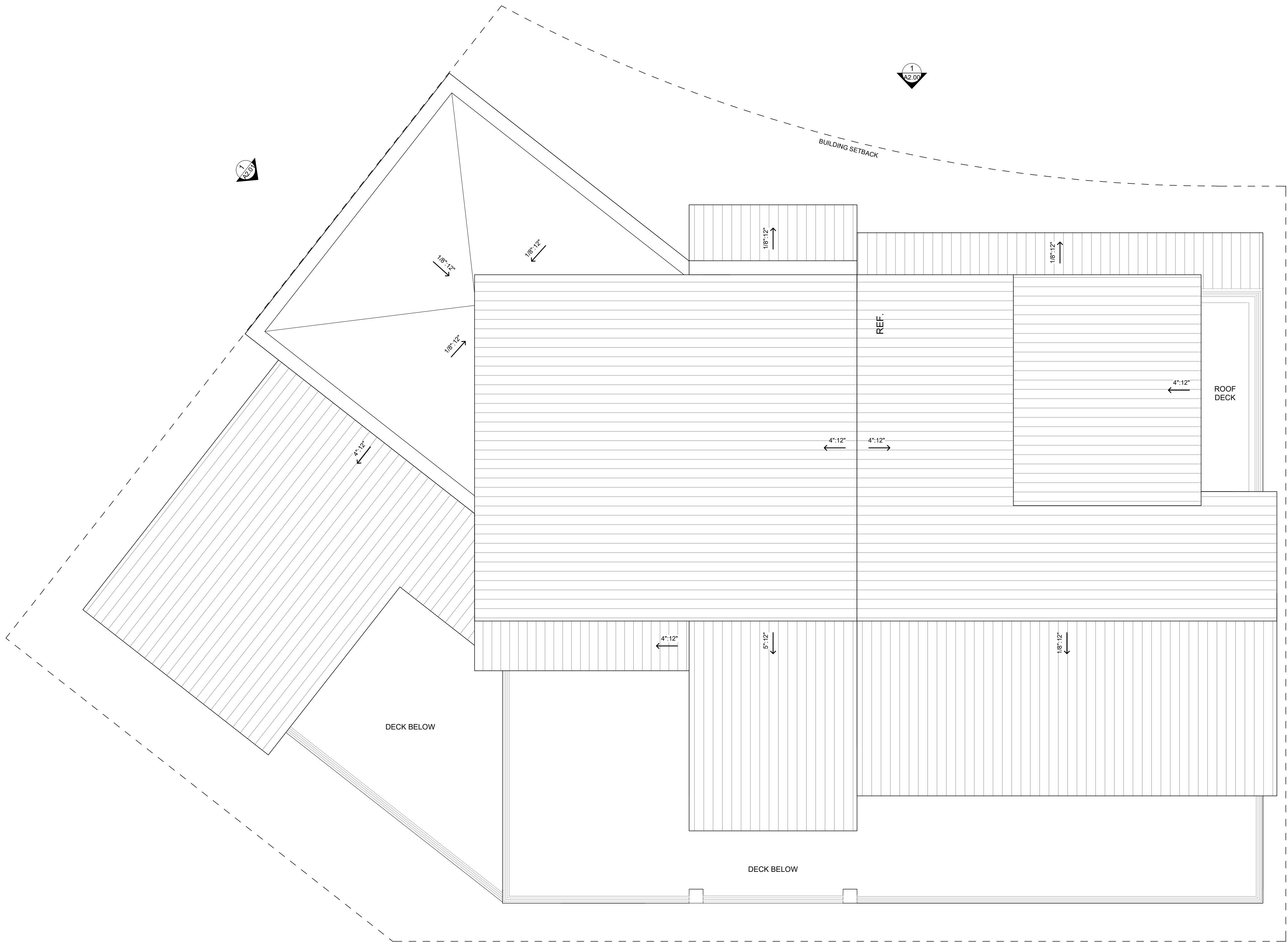
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UPPER LEVEL FLOOR PLAN

SHEET :

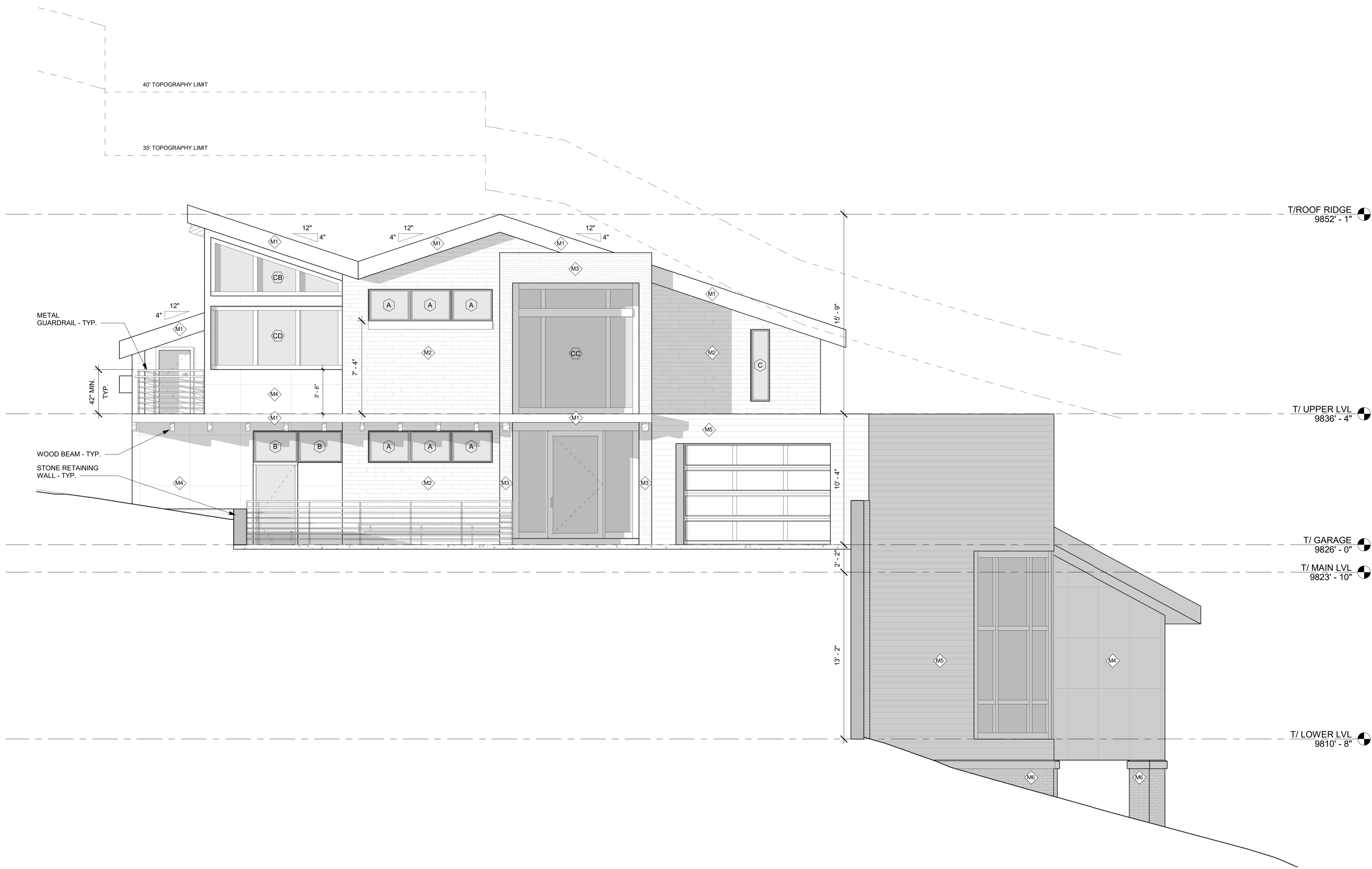
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1 ROOF PLAN
SCALE : 1/4" = 1'-0"

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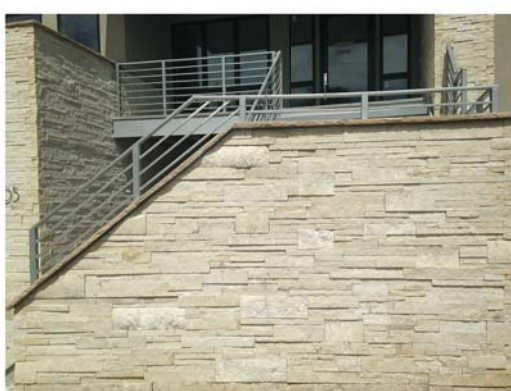
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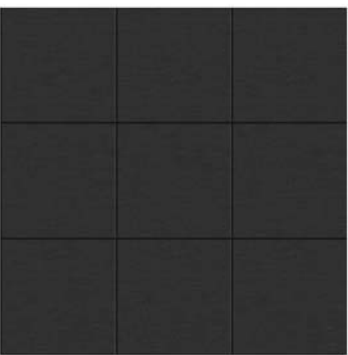
M1 - ROOFING / SIDING - STNDING SEAM 16" O.C.



M2 - WOOD SIDING



M3 - MASONRY - WHITE BUFF



M4 - METAL PANEL SIDING - FLAT LOOK



M5 - METAL PANEL SIDING - FLAT LOOK



M6 - STONE MASONRY - COLOR TBD



M7 - STEEL ACCENTS - COLOR TBD

ELEVATION MATERIAL LEGEND

- | | | |
|--|----|---|
| | M1 | STANDING METAL SEAM ROOFING
16" RIB SPACING WITH 2" MECHANICAL SEAM
COLOR: TBD |
| | M2 | HORIZONTAL CLADDING
WOOD SIDING
COLOR: TBD |
| | M3 | STONE MASONRY
TELLURIDE STONE COMPANY
COLOR: WHITE BUFF |
| | M4 | METAL PANEL SIDING
FLAT LOOK METAL
COLOR: TBD |
| | M5 | METAL PANEL SIDING
FLAT LOOK METAL
COLOR: TBD |
| | M6 | STONE MASONRY
TO BE DETERMINED
COLOR: TBD |
| | M7 | STEEL ACCENT
BRAKE METAL
COLOR: TBD |

1 EAST ELEVATION
SCALE : 1/4" = 1'-0"
0' 1' 2' 4' 8'

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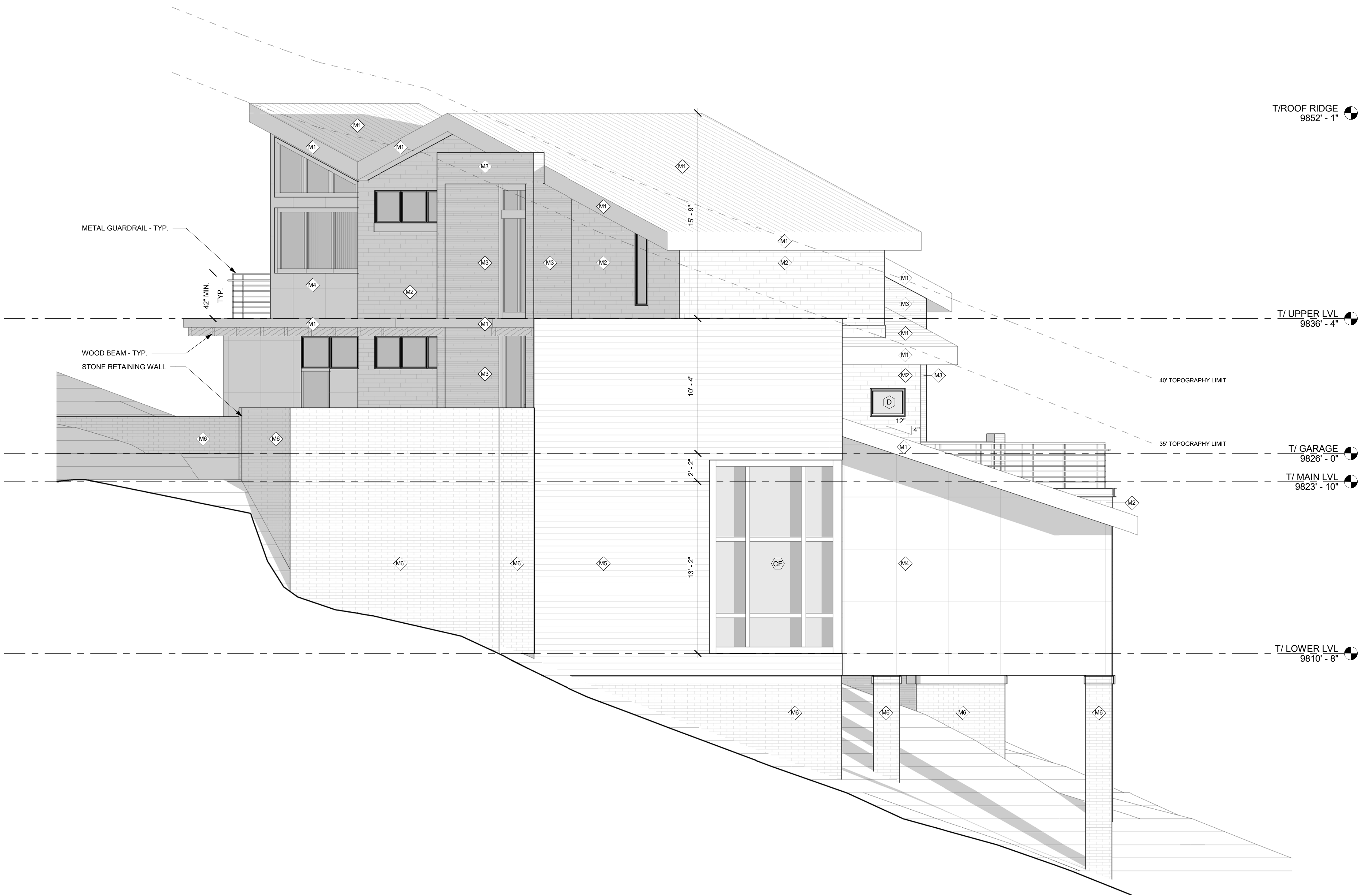
SHEET TITLE

**BUILDING
ELEVATIONS**

SHEET #

A2.00

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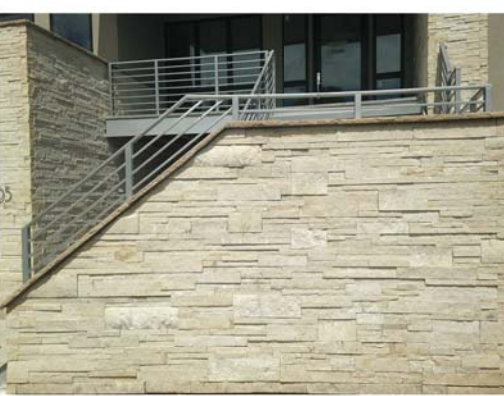
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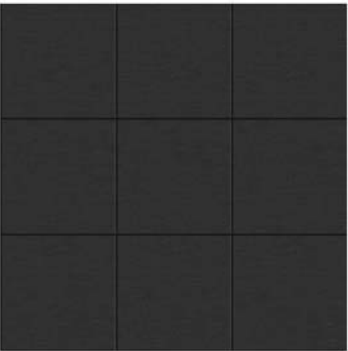
M1 - ROOFING / SIDING - STNDING SEAM 16" O.C.



M2 - WOOD SIDING



M3 - MASONRY - WHITE BUFF



M4 - METAL PANEL SIDING - FLAT LOOK



M5 - METAL PANEL SIDING - FLAT LOOK



M6 - STONE MASONRY - COLOR TBD



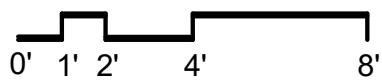
M7 - STEEL ACCENTS - COLOR TBD

ELEVATION MATERIAL LEGEND

- | | | |
|--|----|--|
| | M1 | STANDING METAL SEAM ROOFING
16" RIB SPACING WITH 2" MECHANICAL SEAM
COLOR: TBD |
| | M2 | HORIZONTAL CLADDING
WOOD SIDING
COLOR: TBD |
| | M3 | STONE MASONRY
TELLURIDE STONE COMPANY
COLOR: WHITE BUFF |
| | M4 | METAL PANEL SIDING
FLAT LOOK METAL
COLOR: TBD |
| | M5 | METAL PANEL SIDING
FLAT LOOK METAL
COLOR: TBD |
| | M6 | STONE MASONRY
TO BE DETERMINED
COLOR: TBD |
| | M7 | STEEL ACCENT
BRAKE METAL
COLOR: TBD |

1 NORTH ELEVATION

SCALE : 1/4" = 1'-0"



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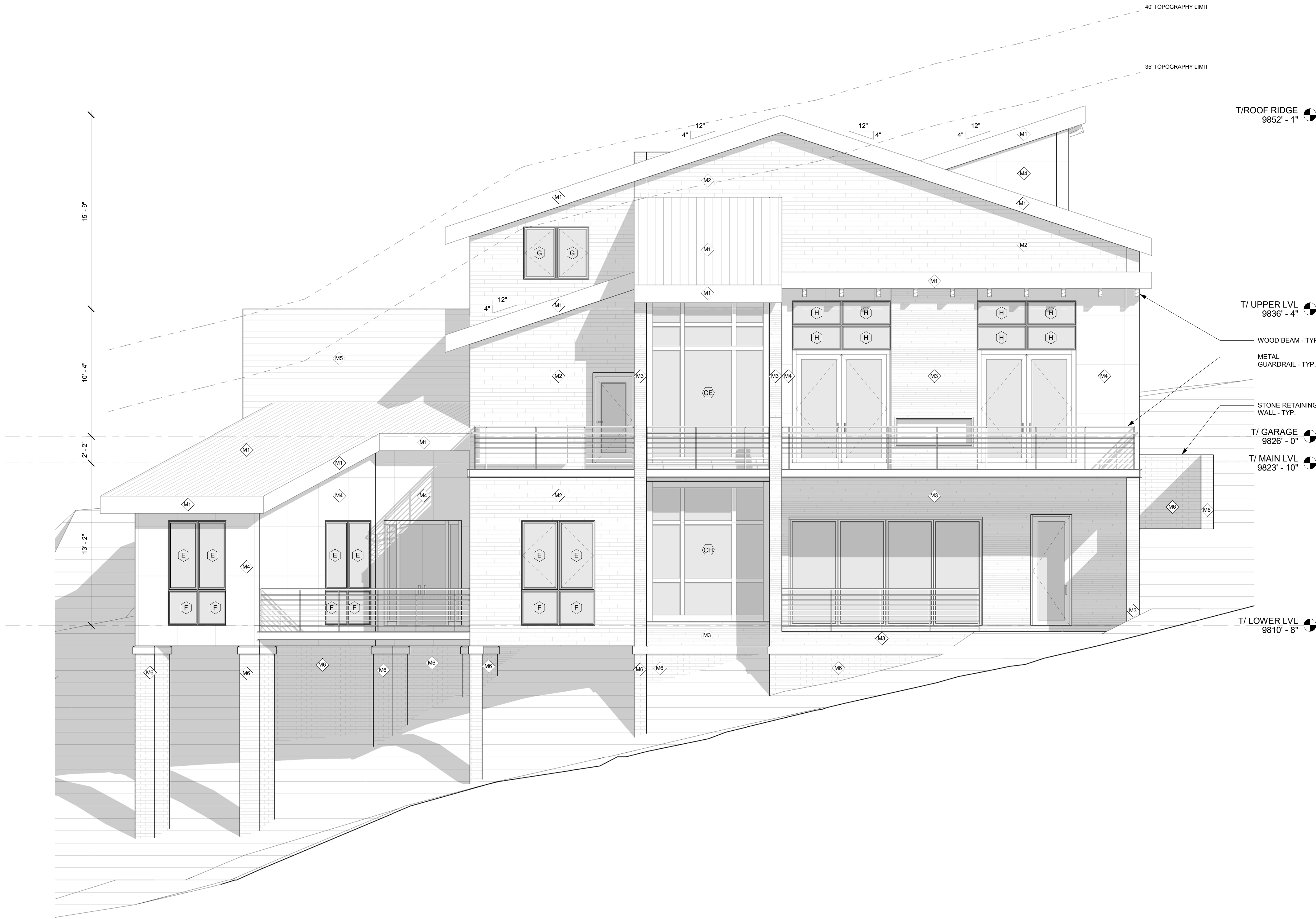


SHEET TITLE

BUILDING
ELEVATIONS

SHEET #

A2.01



1 WEST ELEVATION
SCALE : 1/4" = 1'-0"
0' 1' 2' 4' 8'

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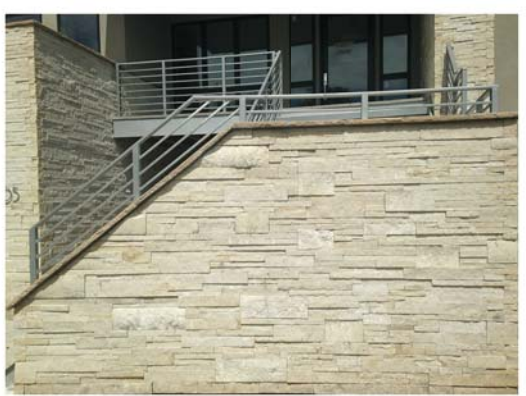
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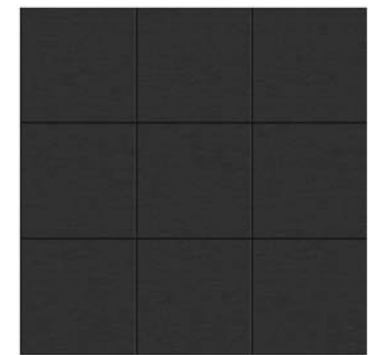
M1 - ROOFING / SIDING - STNDING SEAM 16" O.C.



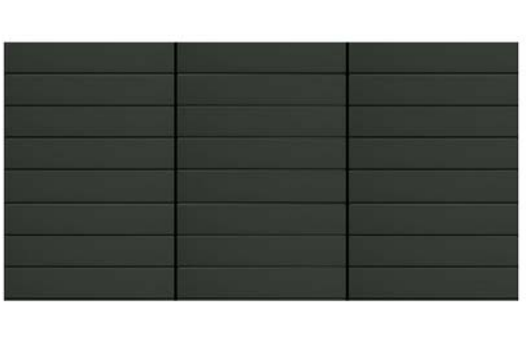
M2 - WOOD SIDING



M3 - MASONRY - WHITE BUFF



M4 - METAL PANEL SIDING - FLAT LOOK



M5 - METAL PANEL SIDING - FLAT LOOK



M6 - STONE MASONRY - COLOR TBD



M7 - STEEL ACCENTS - COLOR TBD

ELEVATION MATERIAL LEGEND

	M1	STANDING METAL SEAM ROOFING 16" RIB SPACING WITH 2" MECHANICAL SEAM COLOR: TBD
	M2	HORIZONTAL CLADDING WOOD SIDING COLOR: TBD
	M3	STONE MASONRY TELLURIDE STONE COMPANY COLOR: WHITE BUFF
	M4	METAL PANEL SIDING FLAT LOOK METAL COLOR: TBD
	M5	METAL PANEL SIDING FLAT LOOK METAL COLOR: TBD
	M6	STONE MASONRY TO BE DETERMINED COLOR: TBD
	M7	STEEL ACCENT BRAKE METAL COLOR: TBD

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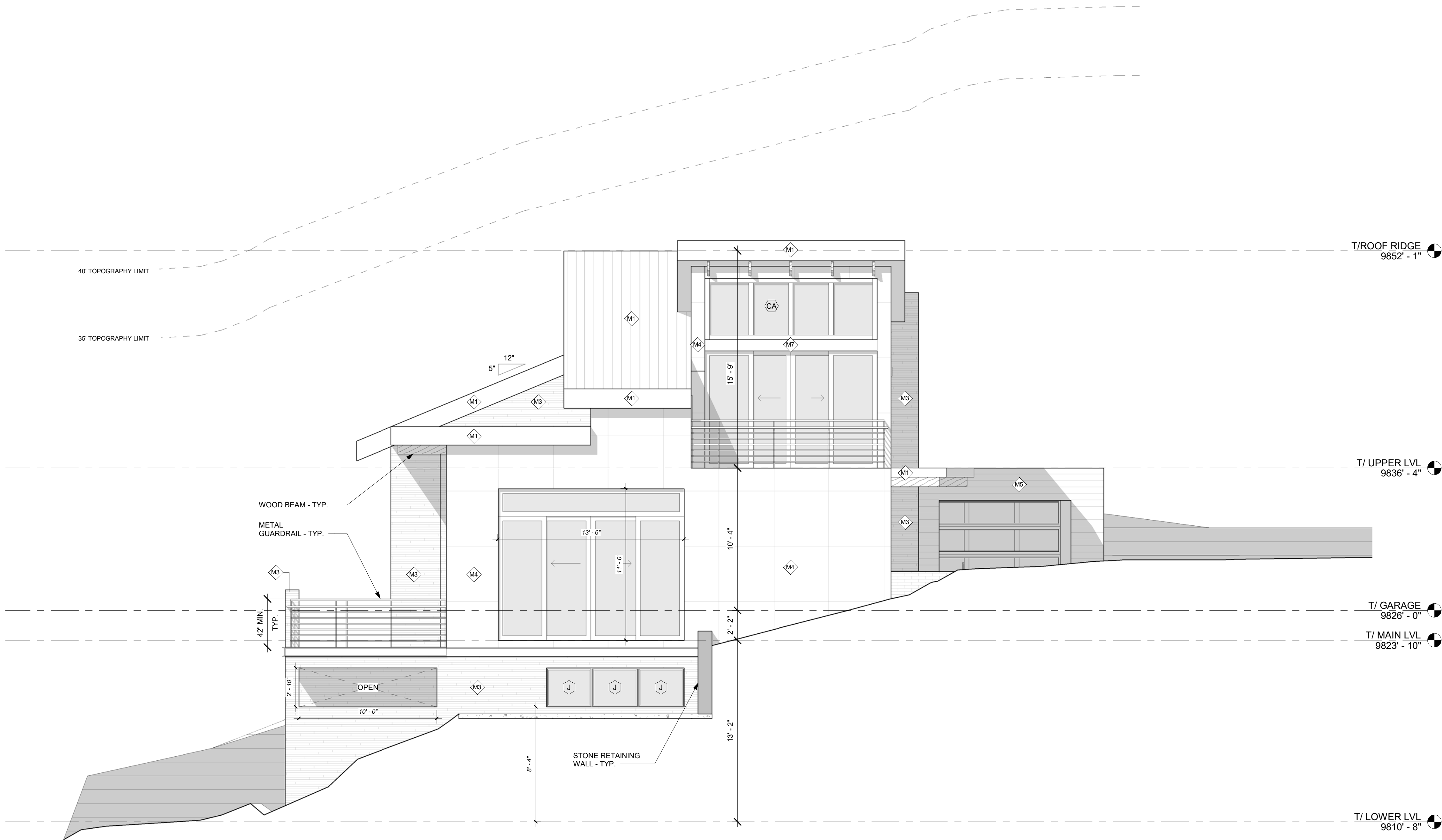
SHEET TITLE

**BUILDING
ELEVATIONS**

SHEET #

A2.02

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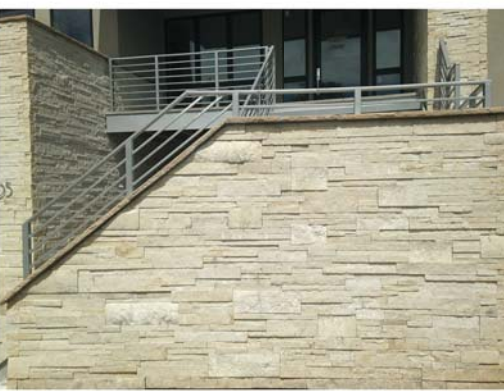
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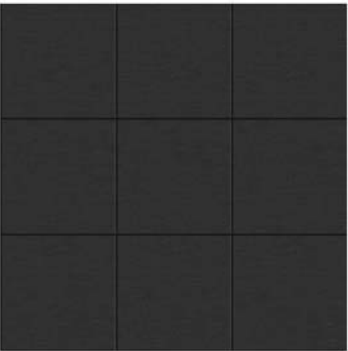
M1 - ROOFING / SIDING - STNDING SEAM 16" O.C.



M2 - WOOD SIDING



M3 - MASONRY - WHITE BUFF



M4 - METAL PANEL SIDING - FLAT LOOK



M5 - METAL PANEL SIDING - FLAT LOOK



M6 - STONE MASONRY - COLOR TBD



M7 - STEEL ACCENTS - COLOR TBD

ELEVATION MATERIAL LEGEND

- STANDING METAL SEAM ROOFING**
16" RIB SPACING WITH 2" MECHANICAL SEAM
COLOR: TBD
- HORIZONTAL CLADDING**
WOOD SIDING
COLOR: TBD
- STONE MASONRY**
TELLURIDE STONE COMPANY
COLOR: WHITE BUFF
- METAL PANEL SIDING**
FLAT LOOK METAL
COLOR: TBD
- METAL PANEL SIDING**
FLAT LOOK METAL
COLOR: TBD
- STONE MASONRY**
TO BE DETERMINED
COLOR: TBD
- STEEL ACCENT**
BRAKE METAL
COLOR: TBD

1 SOUTH ELEVATION
SCALE : 1/4" = 1'-0"
0' 1' 2' 4' 8'

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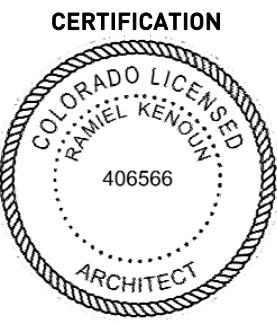
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312 829 6666
www.spacearchplan.com

PROJECT NAME:
CORTINA LOT 9

PROJECT ADDRESS:
190 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435

PROJECT INFO	ISSUE
PROJECT NO. 20 055	10.22.2021 DRB INITIAL REVIEW
PROJECT TEAM RAMIEL KENOUN TESS SEKALIAS SARAH REINDL JEN POTOCZAK	

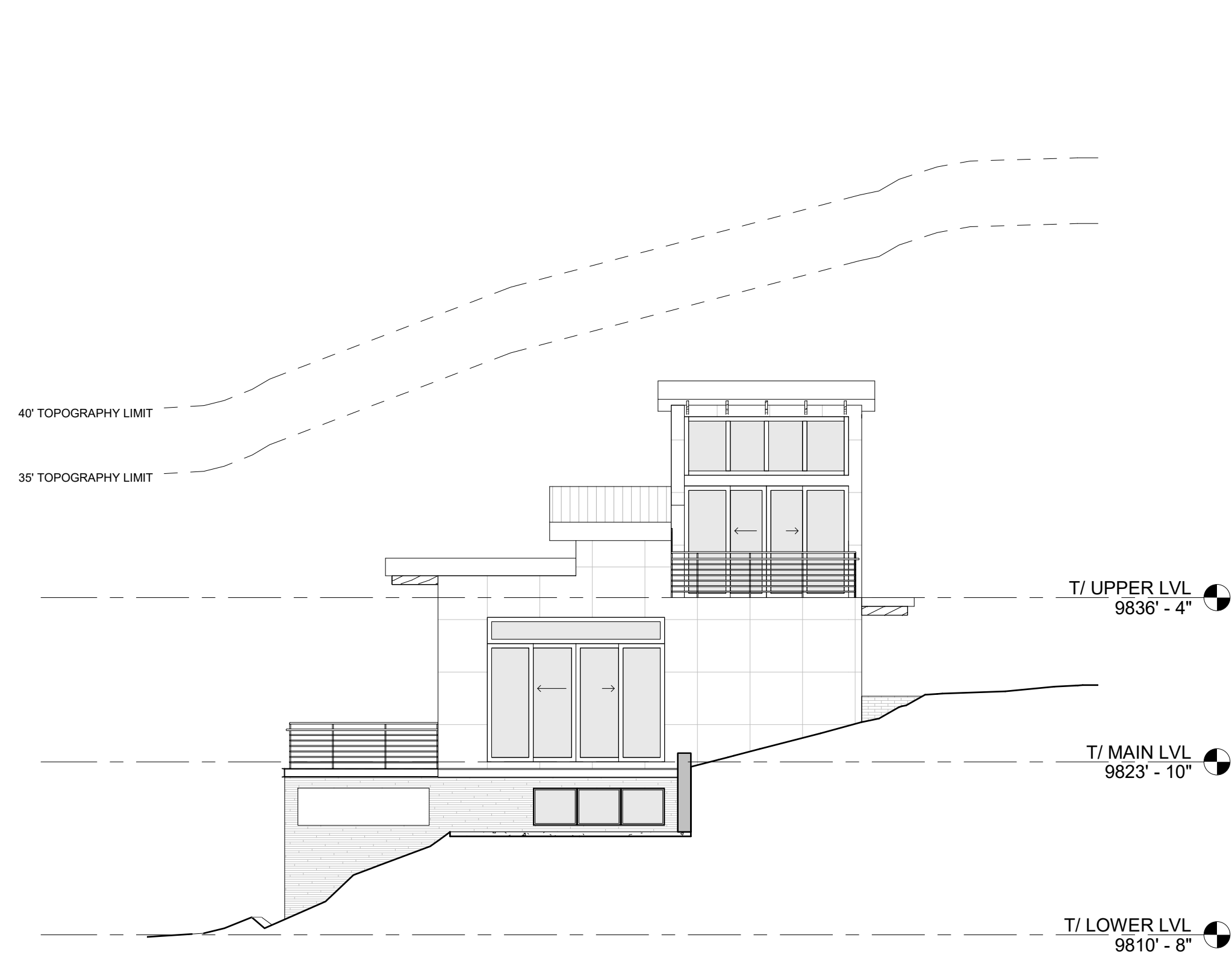


SHEET TITLE
**BUILDING
ELEVATIONS**

SHEET #

A2.03

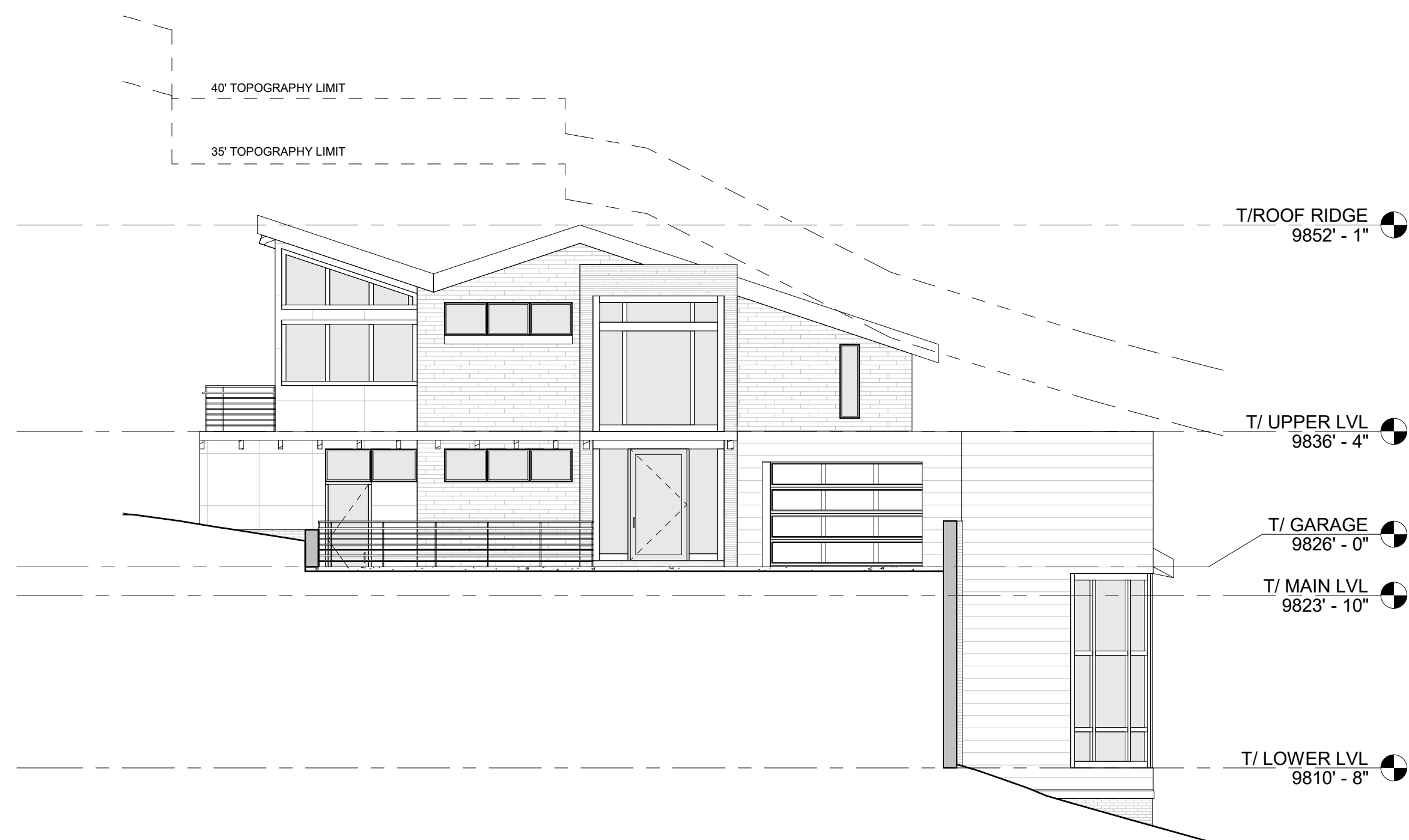
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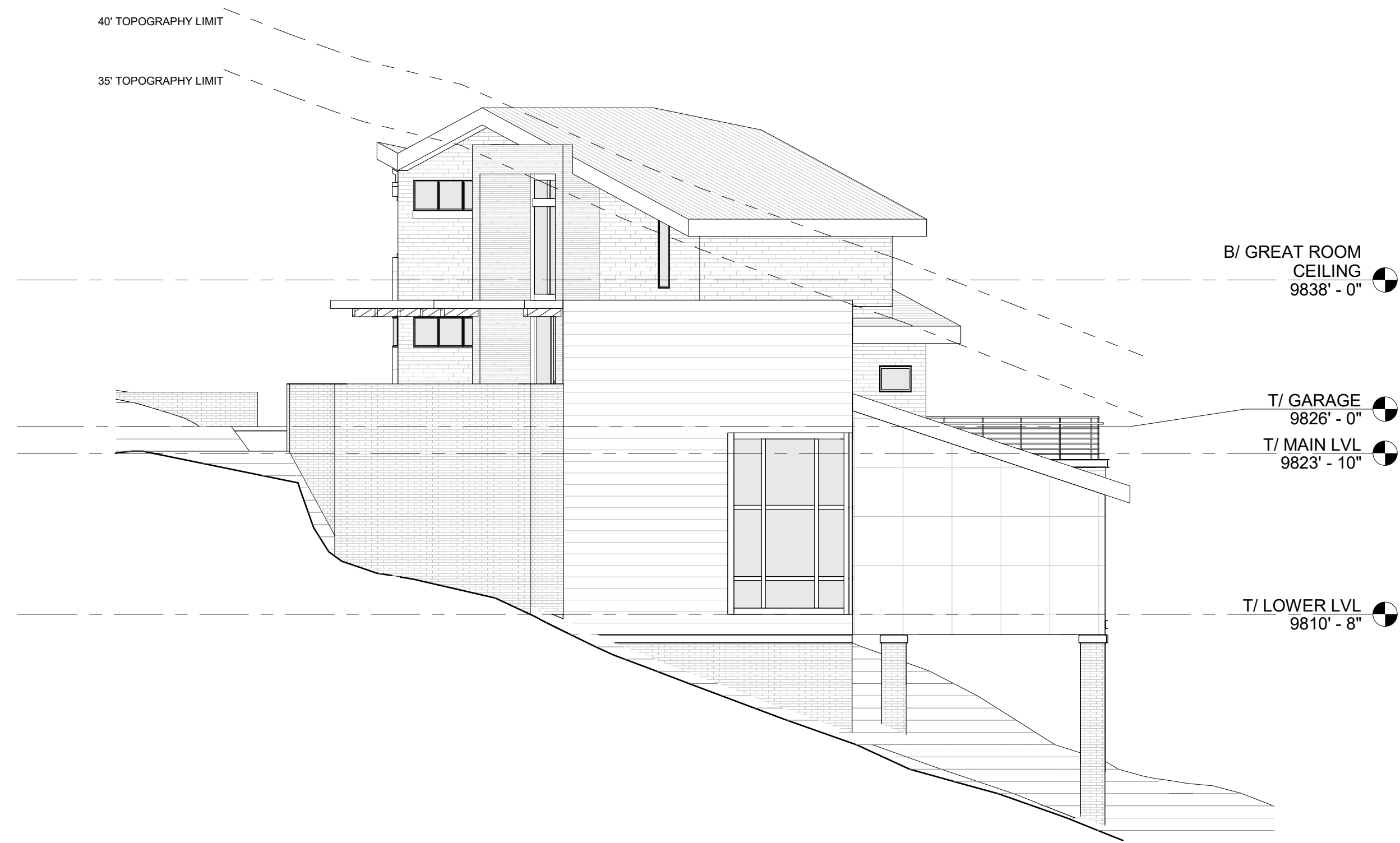
3 SOUTH ELEVATION HEIGHT LIMITATIONS
SCALE : 1/8" = 1'-0"



4 WEST ELEVATION HEIGHT LIMITATIONS
SCALE : 1/8" = 1'-0"



1 EAST ELEVATION HEIGHT LIMITATIONS
SCALE : 1/8" = 1'-0"



2 NORTH ELEVATION HEIGHT LIMITATIONS
SCALE : 1/8" = 1'-0"

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190 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435

PROJECT INFO

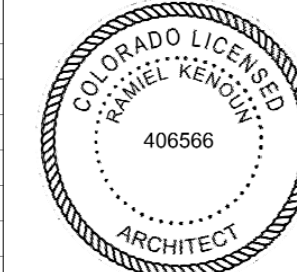
PROJECT NO.
20 055

PROJECT TEAM
RAMIEL KENOUN
TESS SEKALIAS
SARAH REINDL
JEN POTOCZAK

ISSUE

10.22.2021 DRB INITIAL REVIEW

CERTIFICATION



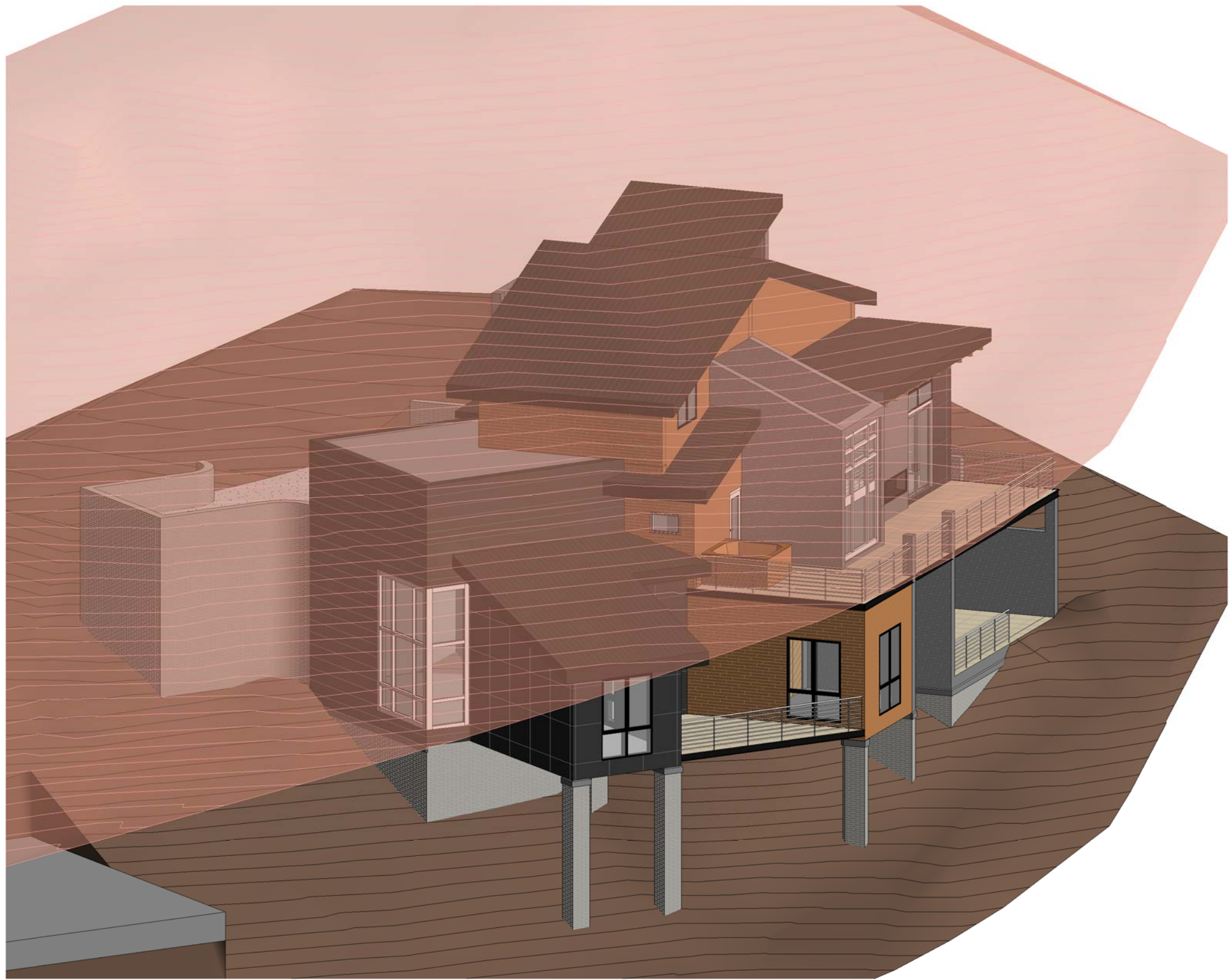
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BUILDING HEIGHT
DIAGRAMS

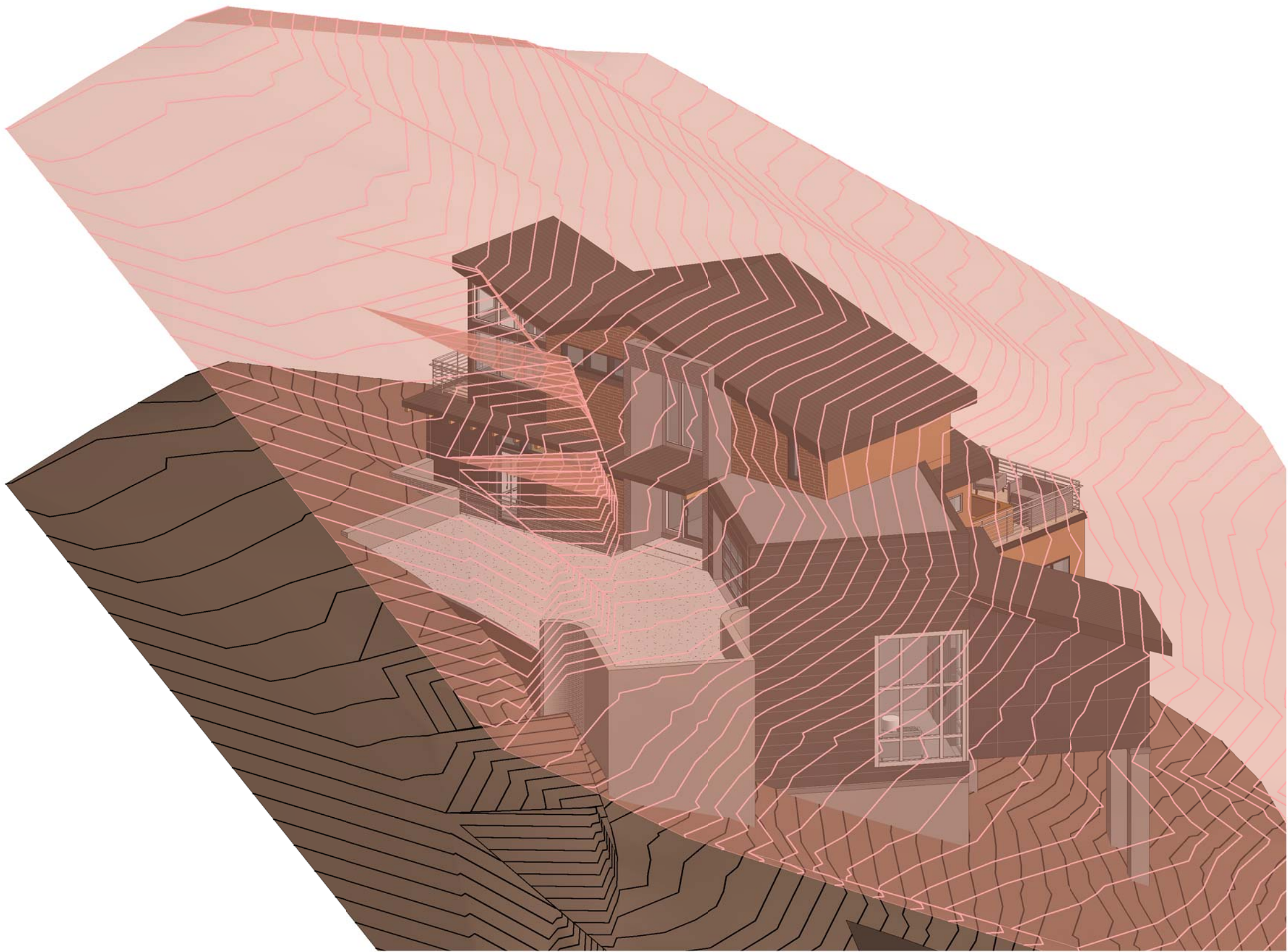
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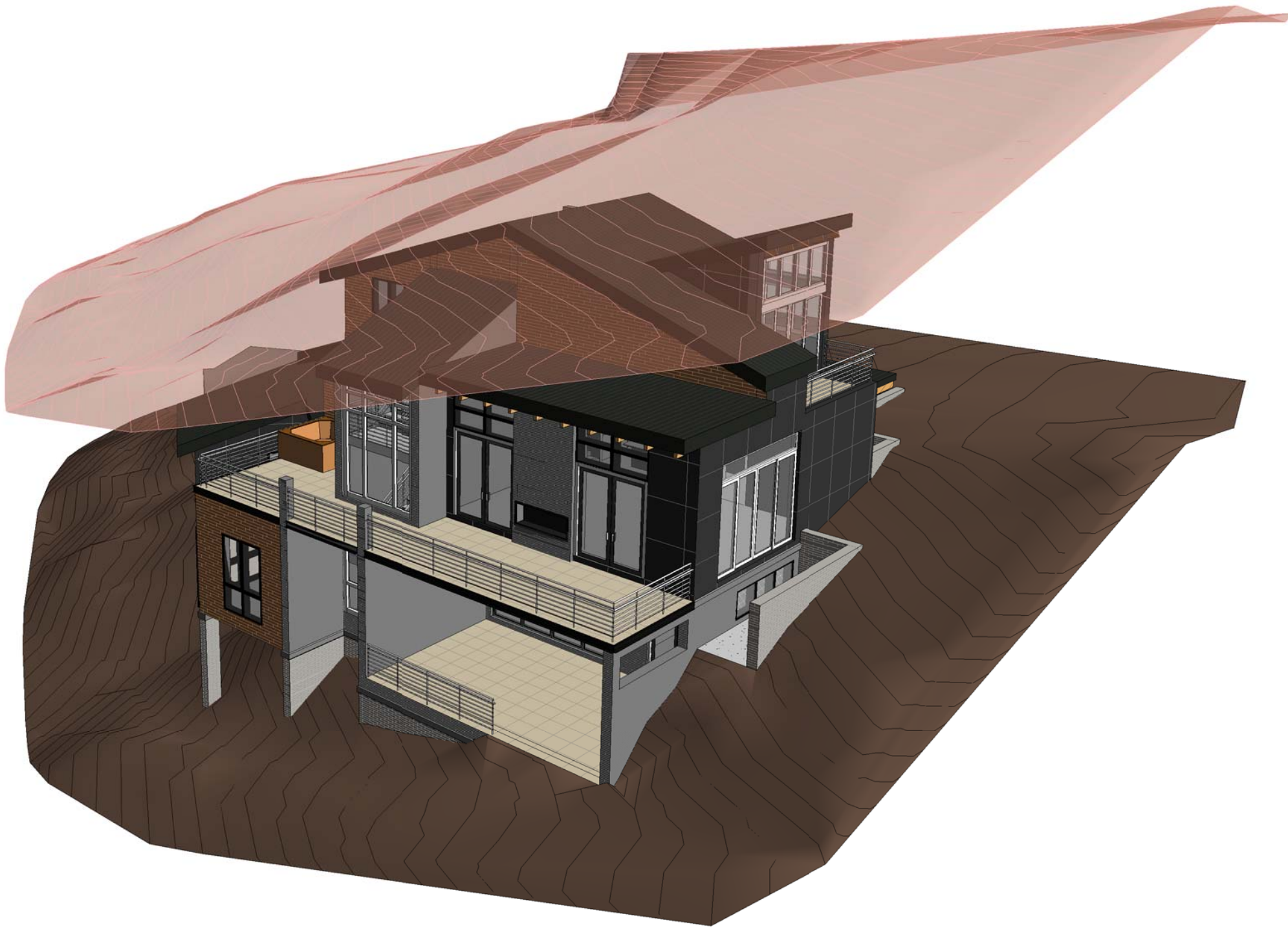
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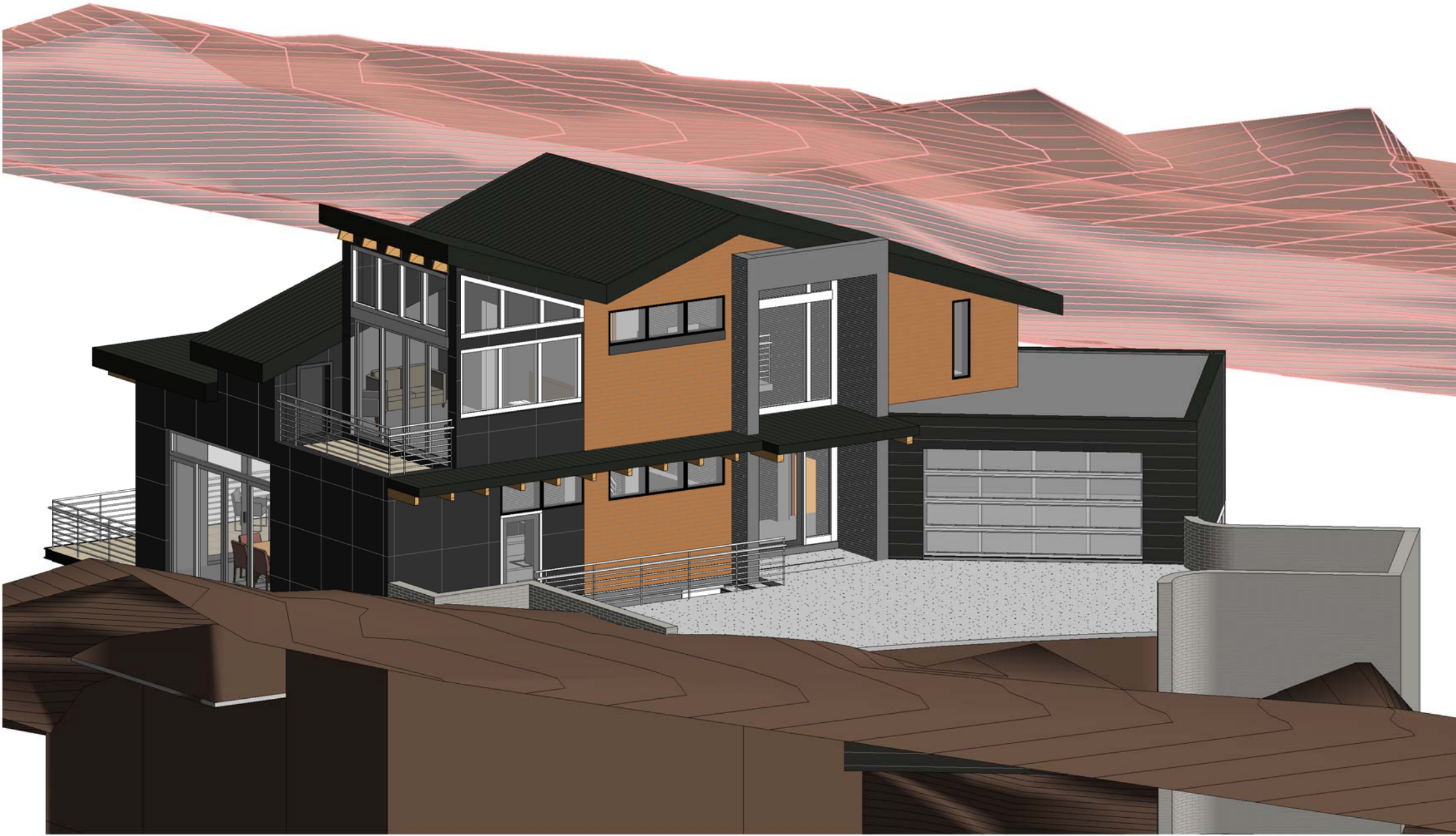
3 3D HEIGHT DIAGRAM - 40'-0" LINE
SCALE :



4 3D HEIGHT DIAGRAM - 40'-0" LINE
SCALE :



1 3D HEIGHT DIAGRAM - 40'-0" LINE
SCALE :



2 3D HEIGHT DIAGRAM - 40'-0" LINE
SCALE :

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ARCHITECTS + PLANNERS

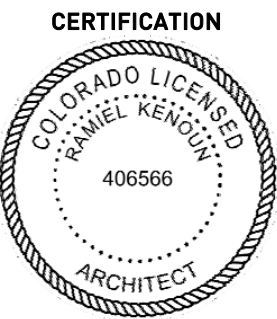
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PROJECT TEAM RAMIEL KENOUN TESS SEKALIAS SARAH REINDL JEN POTOCZAK	

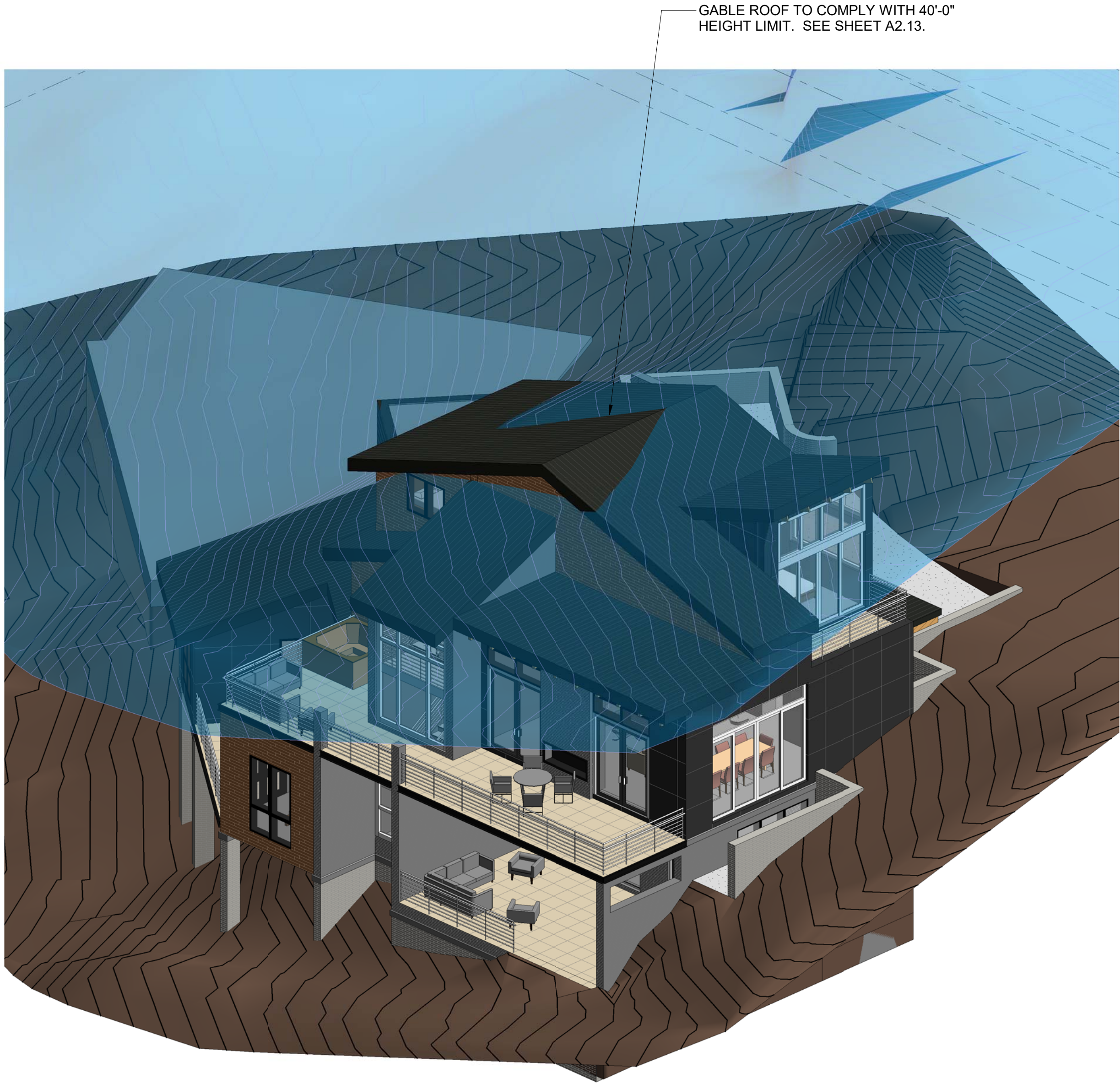


SHEET TITLE
**BUILDING HEIGHT
DIAGRAMS**

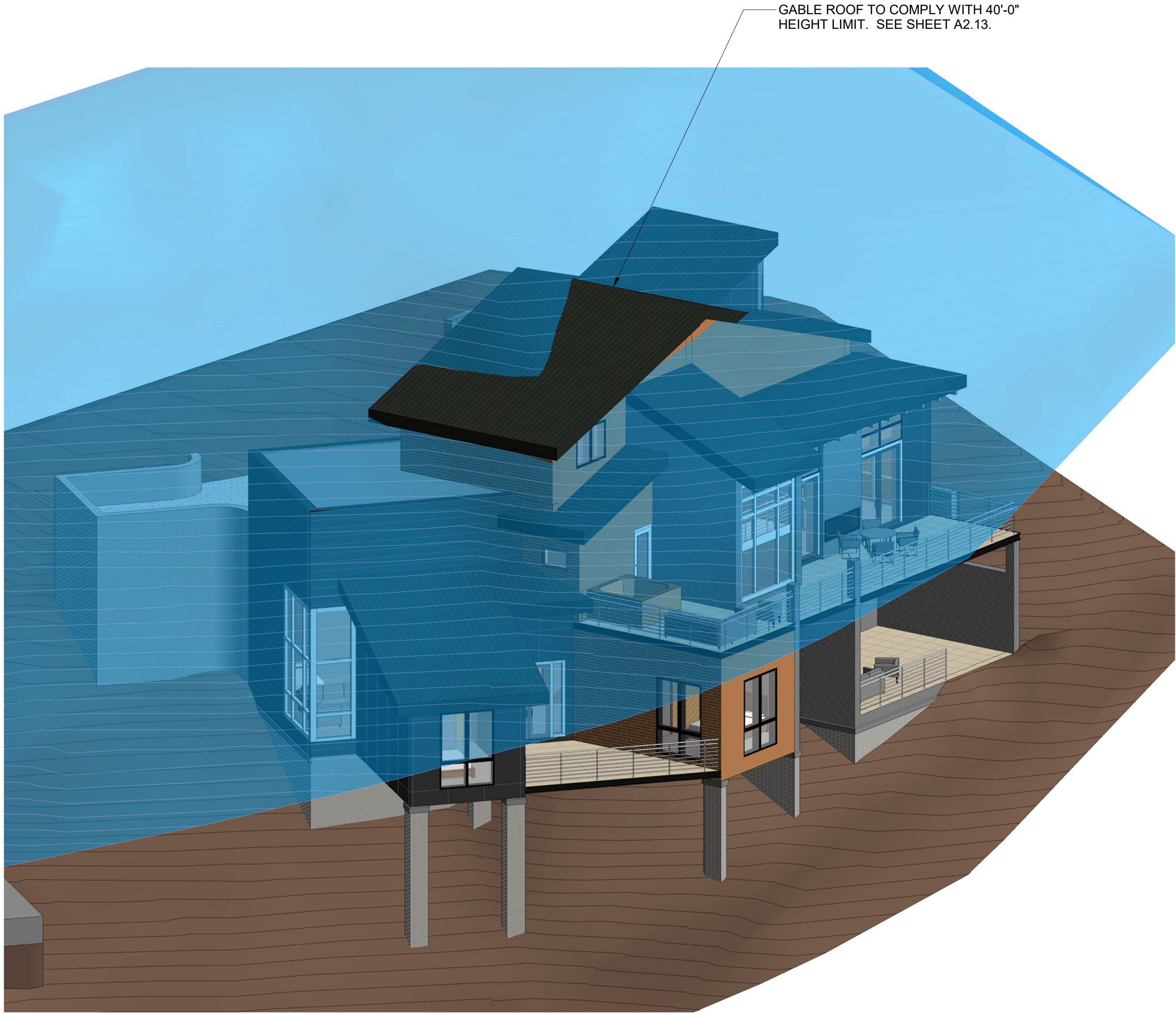
SHEET #

A2.11

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CONSTRUCTION

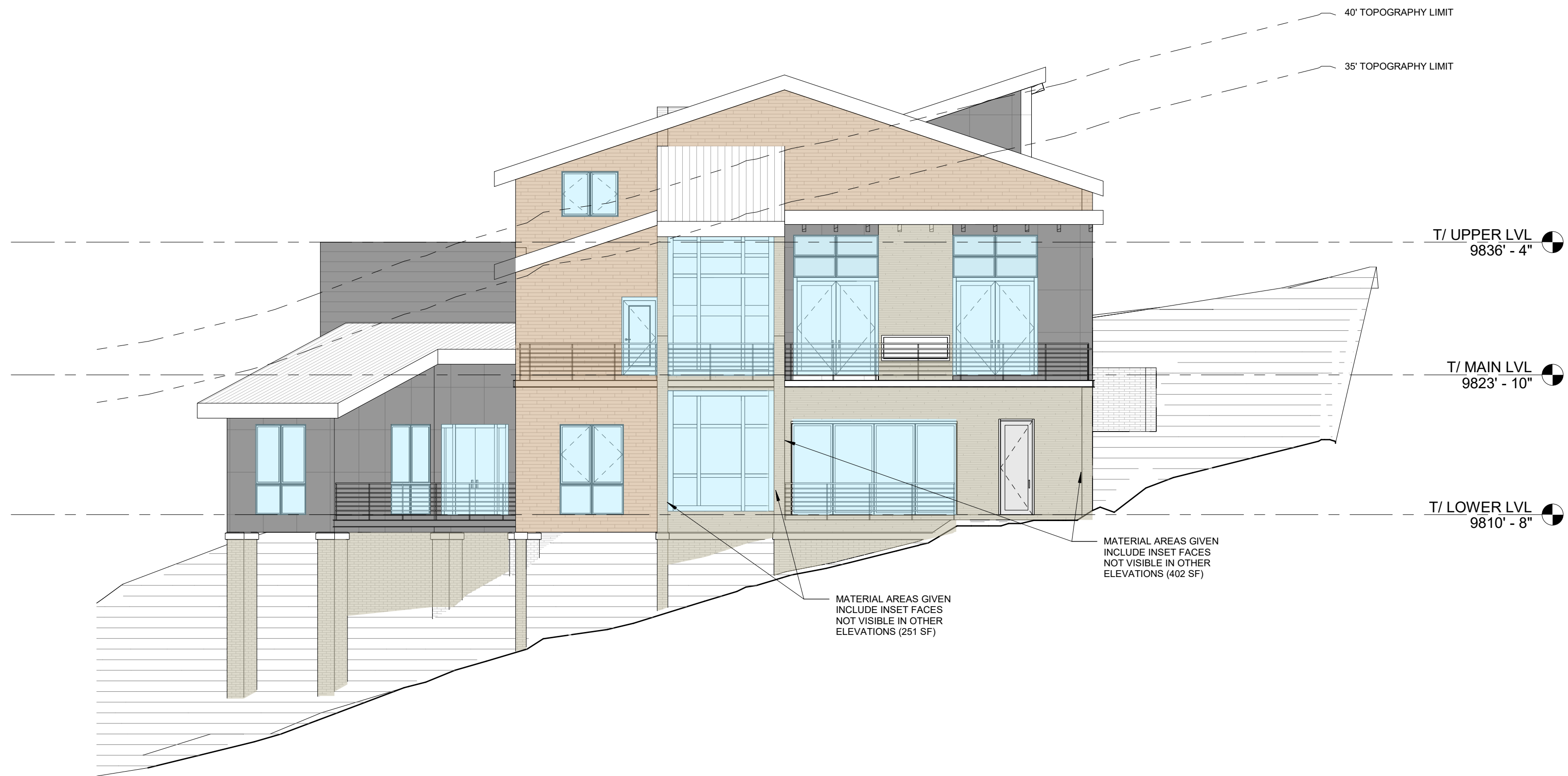


1 3D HEIGHT DIAGRAM - 35'-0" LINE
SCALE : NTS

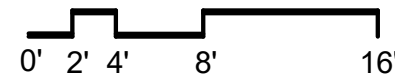


2 3D HEIGHT DIAGRAM - 35'-0" LINE
SCALE : NTS

PRELIMINARY NOT FOR CONSTRUCTION

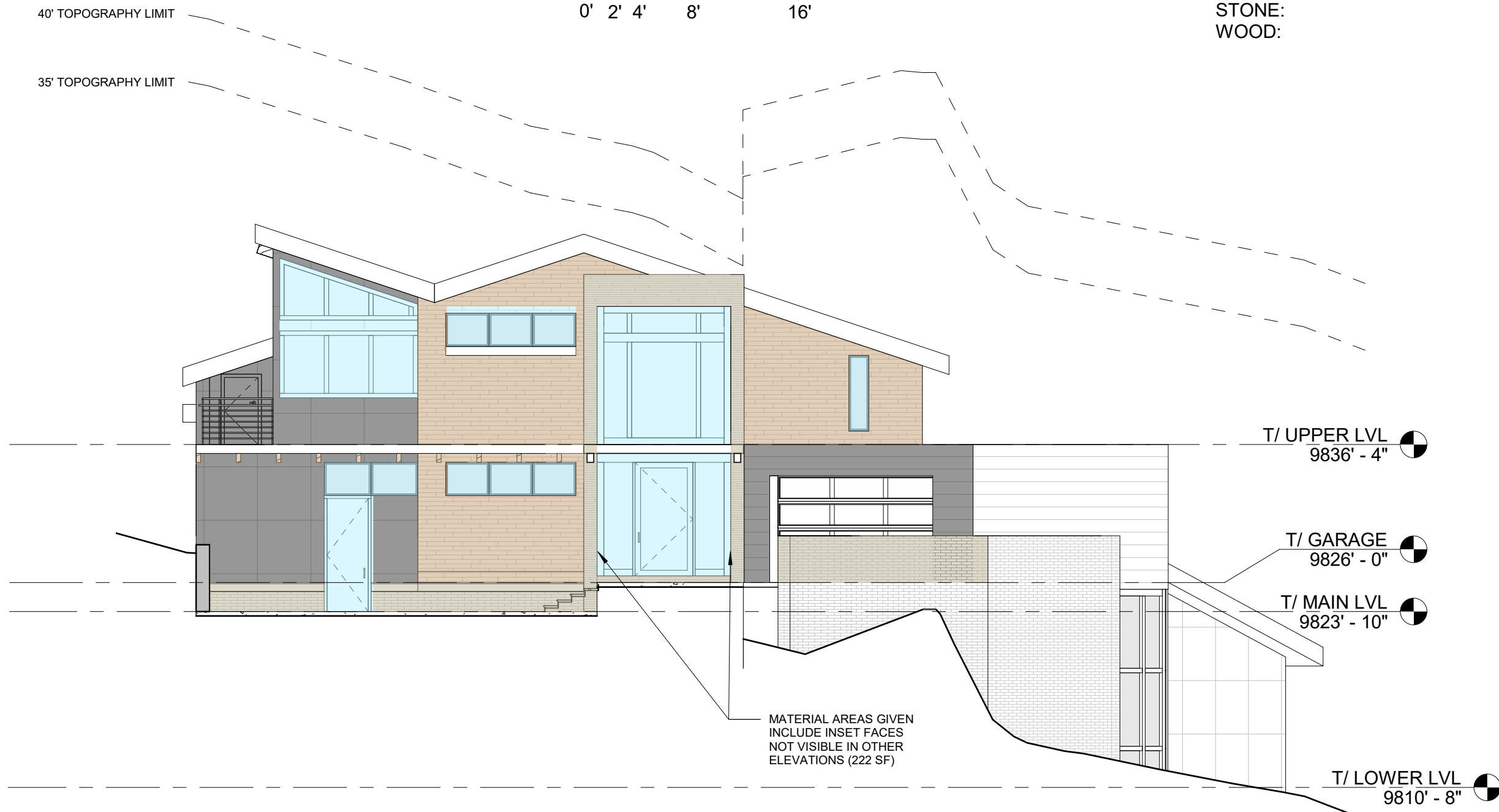


3 WEST ELEV. - WALL MATERIAL AREA
SCALE : 1/8" = 1'-0"

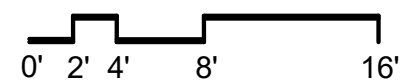


WALL AREA BY MATERIAL

GLAZING:	936 SF
METAL PANEL:	653 SF
STONE:	1706 SF
WOOD:	584 SF

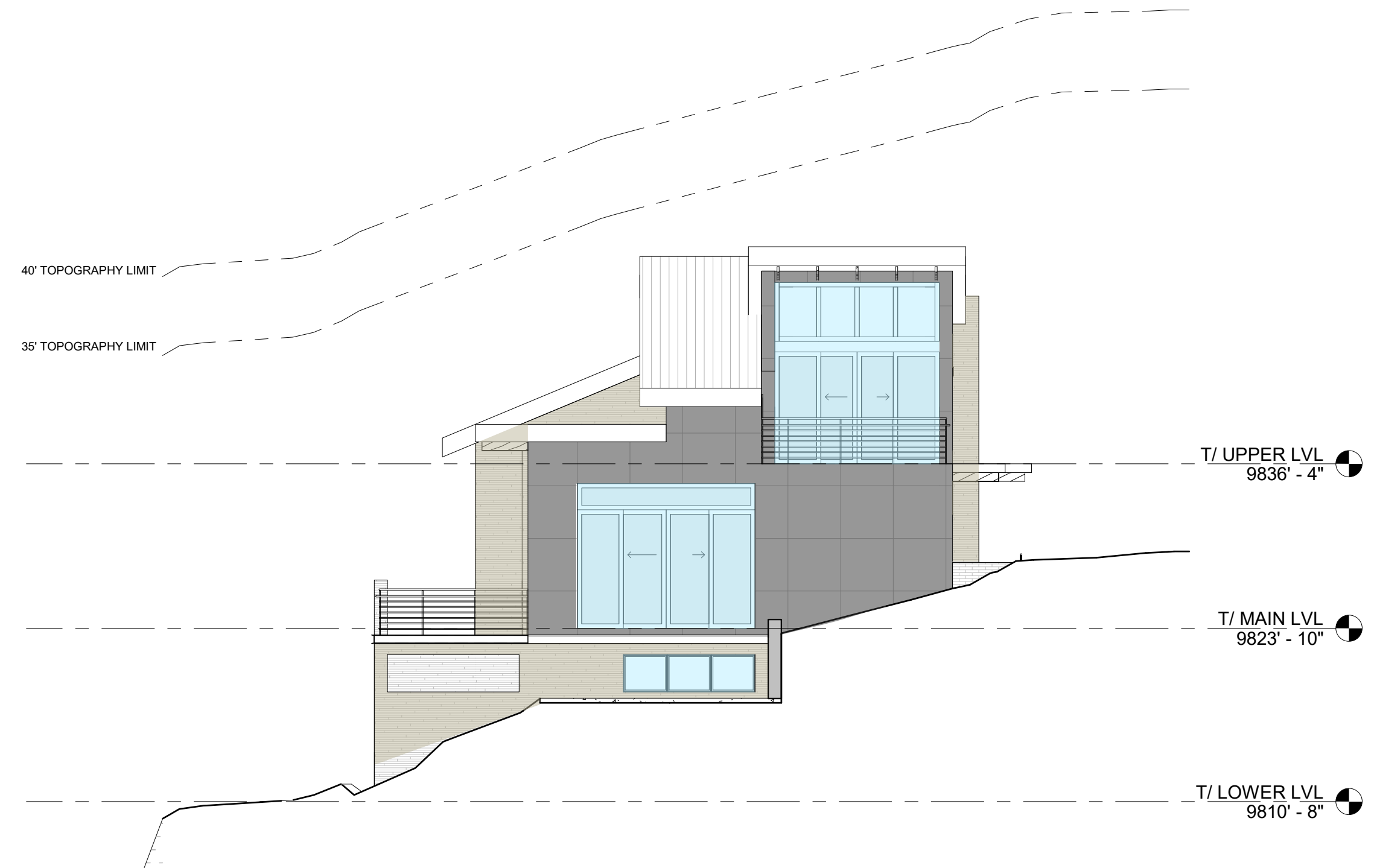


1 EAST ELEV. - WALL MATERIAL AREA
SCALE : 1/8" = 1'-0"

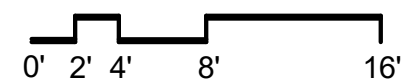


WALL AREA BY MATERIAL

GLAZING:	387 SF
METAL PANEL:	295 SF
STONE:	410 SF
WOOD:	318 SF



2 SOUTH ELEV. - WALL MATERIAL AREA
SCALE : 1/8" = 1'-0"



WALL AREA BY MATERIAL

GLAZING:	349 SF
METAL PANEL:	336 SF
STONE:	222 SF

WALL AREA SUMMARY

WOOD SIDING:	15.3%
STONE:	36.5%
METAL PANEL SIDING:	25.3%
GLAZING:	22.9%

WALL MATERIAL LEGEND

- M2 - WOOD SIDING
- M3 & M6 - STONE MASONRY
- M5 - METAL PANEL SIDING - FLAT LOOK
- GLAZING

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PROJECT NAME:
CORTINA LOT 9

PROJECT ADDRESS:
190 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435

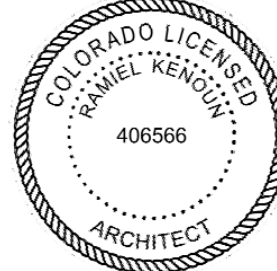
PROJECT INFO

PROJECT NO.
20.055
PROJECT TEAM
RAMIEL KENOUN
TESS SEKALIAS
SARAH REINDL
JEN POTOCZAK

ISSUE

10.22.2021 DRB INITIAL REVIEW

CERTIFICATION



SHEET TITLE

WALL AREA
DIAGRAMS

SHEET #

A2.13

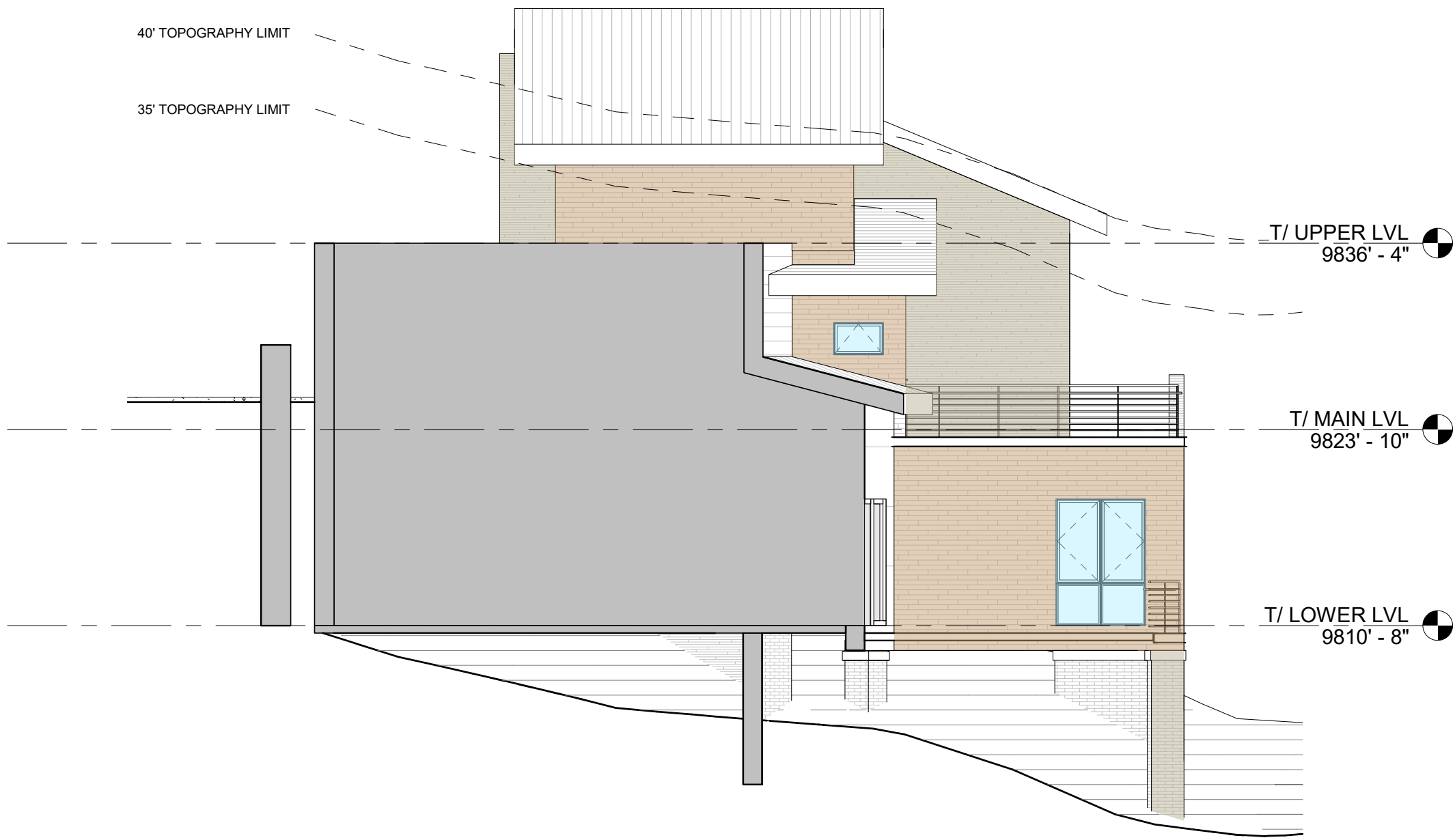
PRELIMINARY NOT FOR
CONSTRUCTION

WALL AREA SUMMARY

WOOD SIDING:	15.3%
STONE:	36.5%
METAL PANEL SIDING:	25.3%
GLAZING:	22.9%

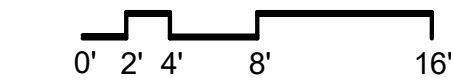
WALL MATERIAL LEGEND

- M2 - WOOD SIDING
- M3 & M6 - STONE MASONRY
- M5 - METAL PANEL SIDING - FLAT LOOK
- GLAZING



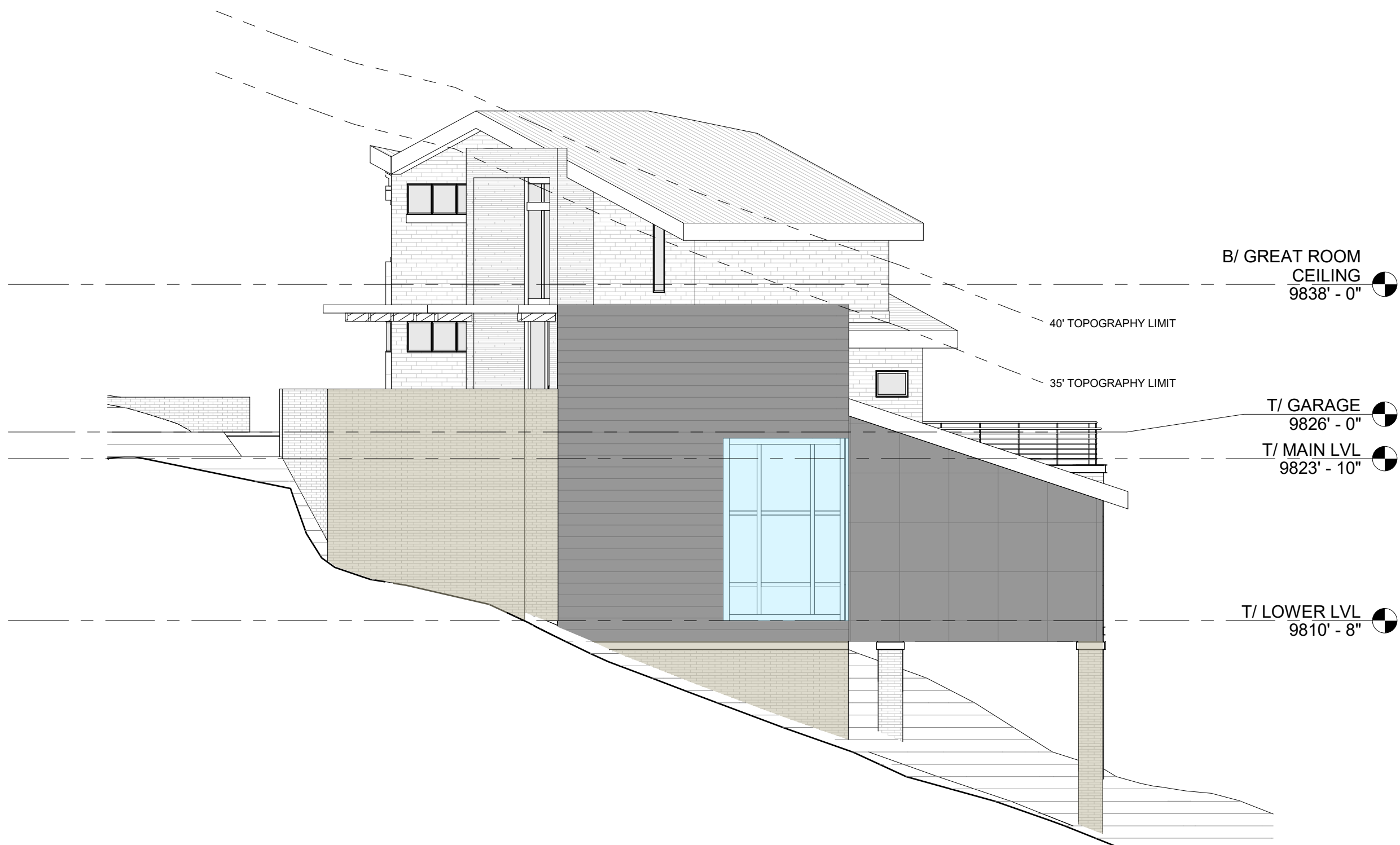
1 NORTH ELEV. 1 - WALL MATERIAL AREA

SCALE : 1/8" = 1'-0"



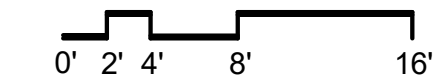
WALL AREA BY MATERIAL

GLAZING:	59 SF
STONE:	232 SF
WOOD:	358 SF



2 NORTH ELEV. 2 - WALL MATERIAL AREA

SCALE : 1/8" = 1'-0"



WALL AREA BY MATERIAL

GLAZING:	150 SF
METAL PANEL:	801 SF
STONE:	430 SF

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PROJECT NAME:
CORTINA LOT 9

PROJECT ADDRESS:
190 CORTINA DRIVE, MOUNTAIN VILLAGE, CO 81435

PROJECT INFO

PROJECT NO.
20 055

PROJECT TEAM
RAMIEL KENOUN
TESS SEKALIAS
SARAH REINDL
JEN POTOCZAK

ISSUE

10.22.2021 DRB INITIAL REVIEW

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SHEET TITLE

WALL AREA
DIAGRAMS

SHEET #

A2.14

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CONSTRUCTION



1 FRONT RENDERING
SCALE : NTS



2 AERIAL RENDERING
SCALE : NTS

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% STANDARD PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) STANDARD PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

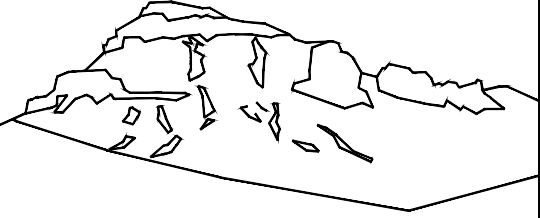
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



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Engineering, LLC

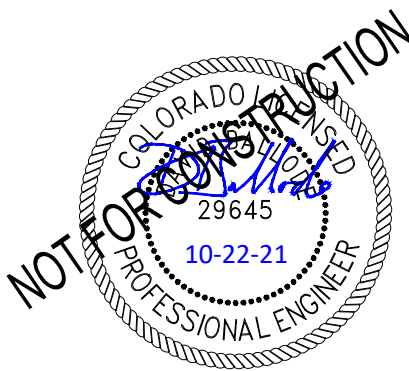
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Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL

2021-10-22

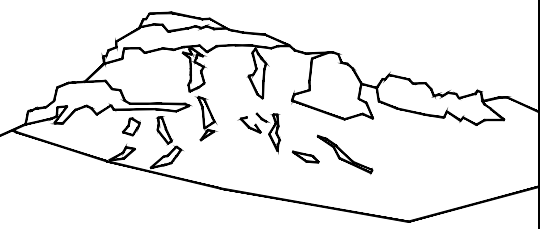
Lot 9
Cortina
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



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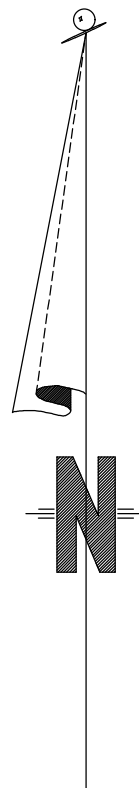
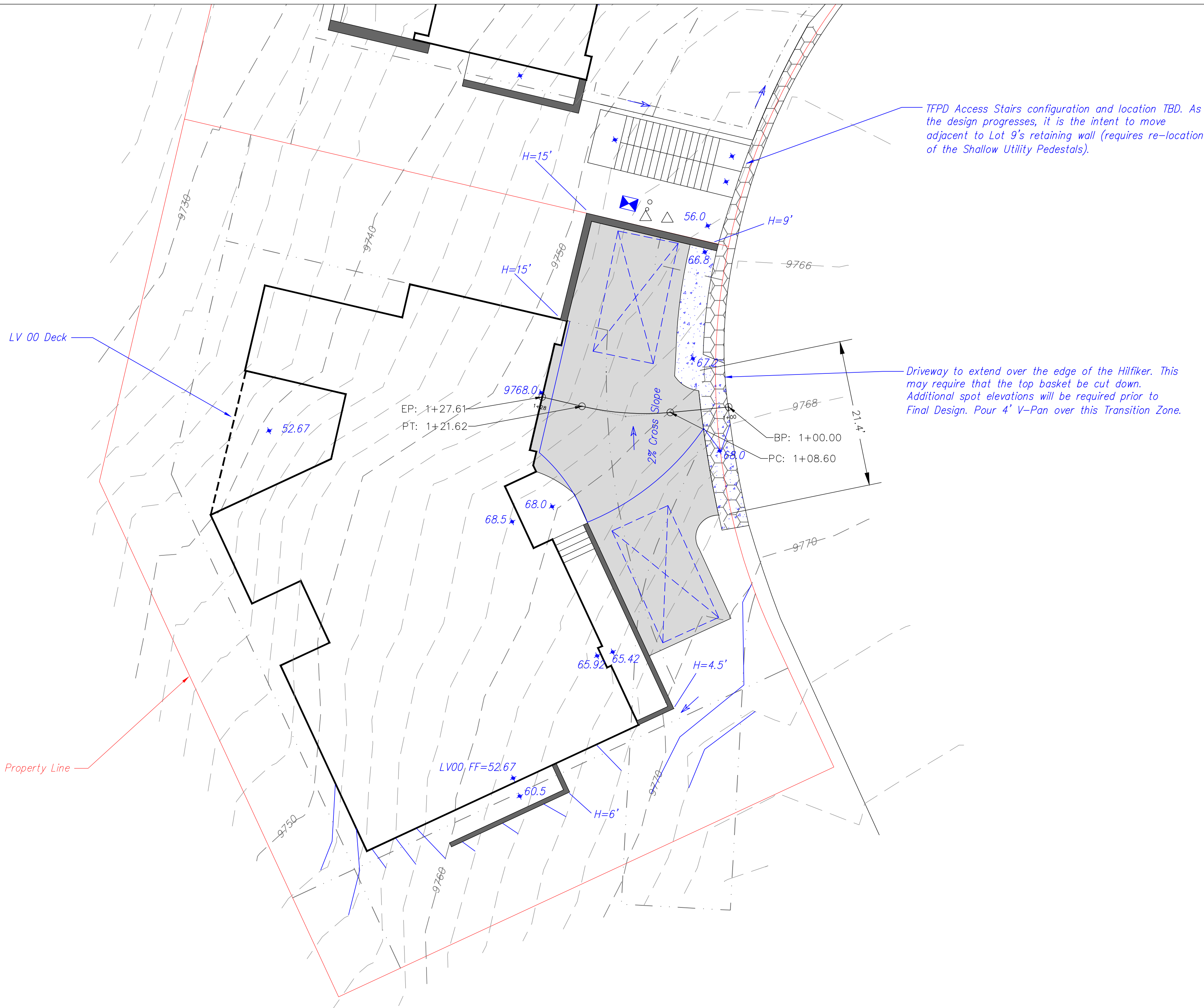
Lot 9
Cortina
Mtn. Village, CO



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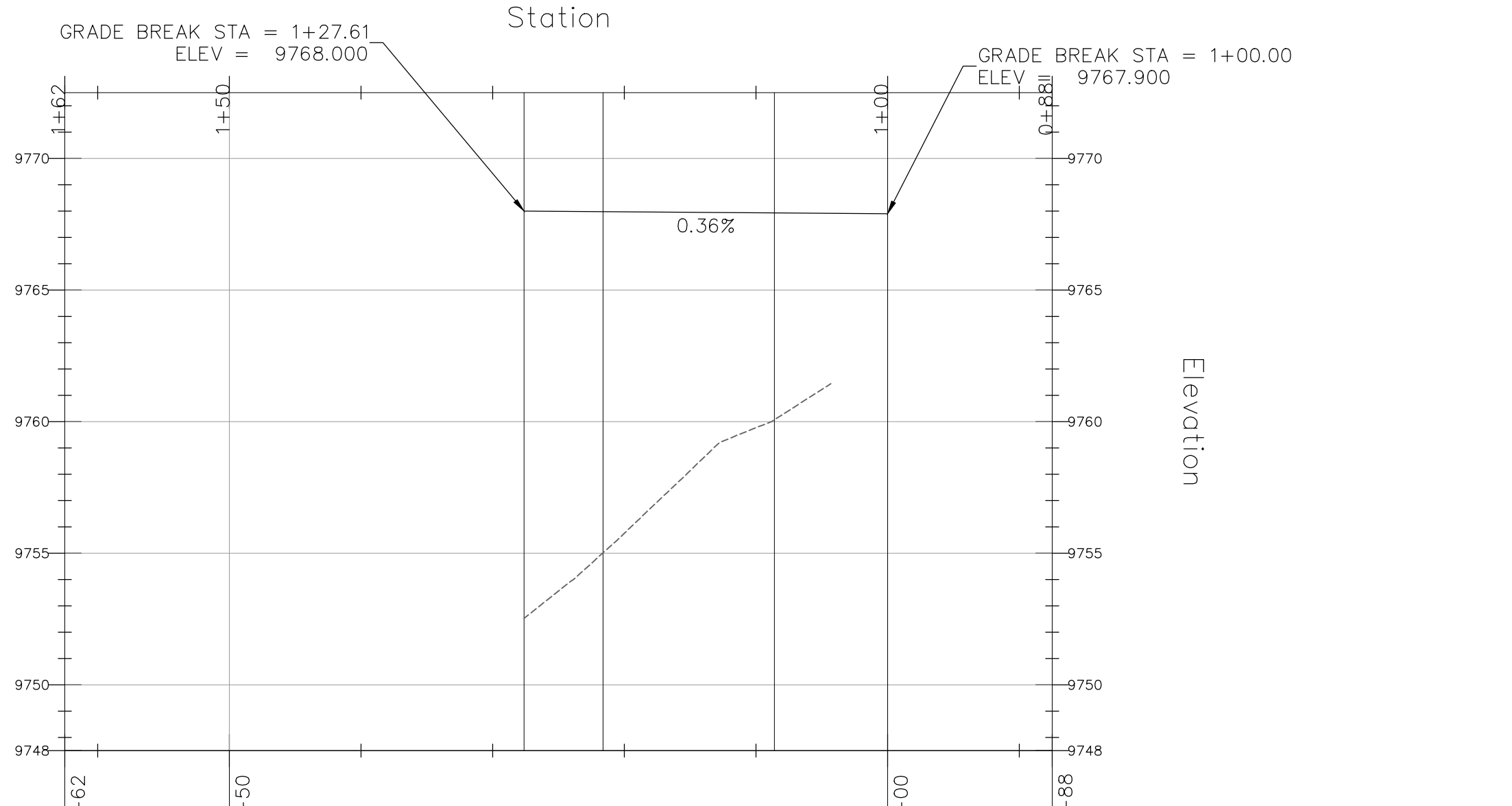
Site Plan
and
Driveway
Profile

C2

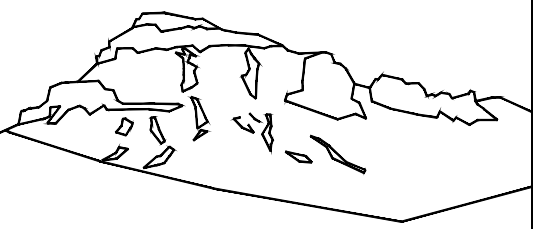


Scale: 1" = 10'

Lot 9 Driveway Profile



Scale: 1" = 10'



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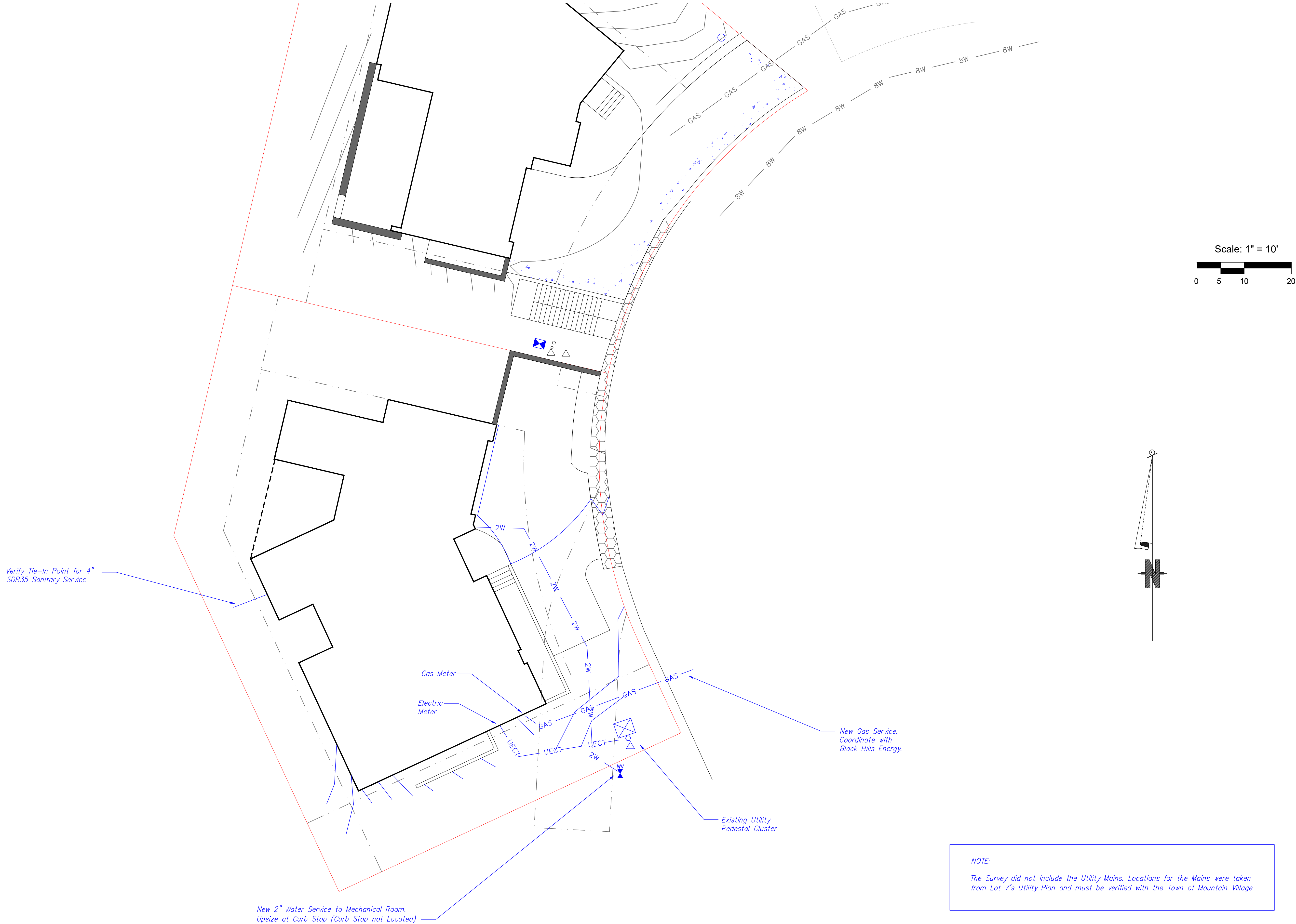
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Mtn. Village, CO

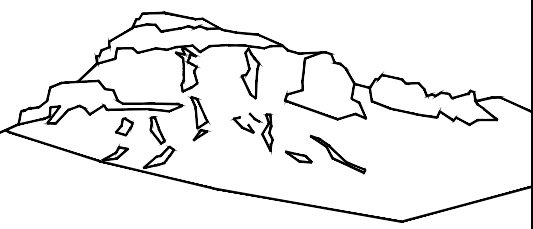


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Utility
Plan

C3





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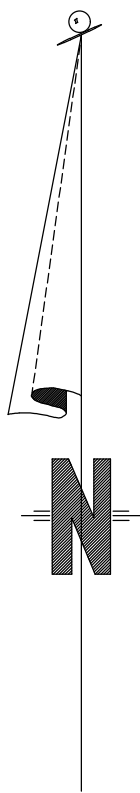
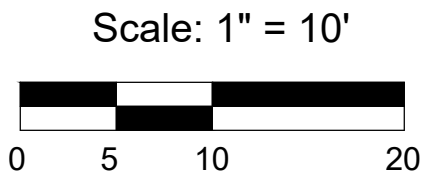
Lot 9
Cortina
Mtn. Village, CO



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Construction
Mitigation
Plan

C4



6' Chain Link Fence Panels
with Green Screening

On-Site Construction Parking

Construction Dumpster

Bear Proof Poly-Cart

Port-a-John Toilet

Contractor Shall Display Sign with Name and Phone
Number of a 24/7/365 Emergency Contact.

Open and Close Panels at
Access at the Beginning and
End of Each Work Day

Construction Material Lay-Down Area

Install Silt Fence on the downhill side of disturbance.
Maintain throughout job. No surface water will be
allowed to discharge the site without being directed
through a silt fence or straw wattle.

The Contractor may Modify this Plan, but the New
Plan must be Coordinated and Approved by the Town
of Mountain Village.

No Stationary Crane is being contemplated at this time.

There is not much room for On-Site Construction Parking. Details
will need to be worked out with the Town of Mountain Village.