

NAPLES
2059 Tamiami Trail East
NAPLES, FL 34112
(239) 331.7092

PALM BEACH
211 SEAVIEW AVENUE
PALM BEACH, FL 33480
(561) 401-1866

FORT MYERS
1408 BAYVIEW COURT
FORT MYERS, FL 33901
(239) 919-0786

GREENVILLE
816 SOUTH MAINSTREET
SUITE 100
GREENVILLE, SC 29601
(864) 603-3260

CHARLESTON
60 BROAD STREET
CHARLESTON, SC 29401
(843) 203-6028

HIGHLANDS
537 MAIN STREET
HIGHLANDS, NC 28741
(828) 482-5280

ASPEN
400 EAST HYMAN AVENUE
SUITE C-101
ASPEN, CO 81611
(970) 710-2813

DEVELOPMENT NARRATIVE FOR 113 HIGHLANDS WAY:

We are excited to present this class 3 Development Application for a new single family residence on lot 117 in the Town of Mountain Village and have outlined compliance below. The site had a previous home on it that burnt down, and the old home has been entirely removed though some rock landscape walls, a rock water feature, and a gazebo remain. The new home is a one story structure with a walk out basement and a total of 5,567 sqft of finished space and an additional 2,522 sqft of garage, mechanical, and covered outdoor living space which falls within the typical home sizes seen in Mountain Village.

17.3.3 USE SCHEDULE: The 3.235 acre lot is in a single family zone district "SF" and a new single family home is a permitted use in this district per Table 3-1. The owners would also like to renovate the existing 490 square foot gazebo in the rear yard which is also a permitted accessory use per the same table.

17.3.12 BUILDING HEIGHT LIMITS: The existing pre construction grade was disturbed by the previous development and TMV staff confirmed that we could use the grade as it exists now as "natural grade". On all elevations though, the finished grade is more restrictive than the "natural grade". The home has multiple roof heights on a sloping site so the parallel plane method has been utilized. The tallest roof height from finished grade on any elevation is 32'-9" and happens on the West Elevation on sheet A4.2. Our maximum average height as calculated in the table on sheet A3.1 is 20ft. We are 2'-3" below the maximum allowable height limit and 10ft below the maximum average roof height limit.

17.3.13 MAXIMUM LOT COVERAGE: The gross area of the lot is 140,917 sqft (3.235 Acres) and our lot coverage is 6,112 for the main house and 834 sqft for the gazebo for a total of 6,946 sqft which is only 5%, well below the allowable 30% threshold.

17.3.14 GENERAL EASEMENT SETBACKS: The lot has a 16ft general easement/setback offset from the property line. Our proposed setbacks are +100ft from the Eastern property line, +99ft from the Southern property line, +190ft from the Western property line, and +77ft from the Northern property line. The eave of the existing gazebo is currently 12'-4.5" from the Northern property line and encroaching into that easement. The renovation we are proposing, which replaces the roof structure to coordinate with the design of the house, lowers the overall height of the roof 4'-8" but does encroach further into the easement and is 8ft off the Northern property line. The portion of the roof that does encroach is 16'-6" above the grade below and will not require any existing trees to be removed. Since we are lowering the roof and the lot is heavily wooded to the North, we believe the additional encroachment will not have any negative impacts to the surrounding properties or interfere with any activity within the easement and are

respectfully asking the DRB to waive the general easement for this one item. The homeowners are aware they will need to enter into an encroachment agreement with TMV and are ready and willing to do so.

17.5.4 TOWN DESIGN THEME: Our proposed design is Mountain Modern and is sited where few if any trees will need to be removed. The siding will be a mixture of stained wood and stone with exposed timber and black steel beams. Where the home meets the ground, stone and plate steel have been designed to ground the forms and withstand the elements. The garage doors will be black steel plate. Please see sheet A6 for the exterior material finishes and colors.

17.5.5 BUILDING SITING DESIGN: The new home is sited in a similar location to the previous home and therefore minimizes disturbance to any surrounding vegetation while maximizing the views of the mountains to the North. The driveway will also utilize the same access as the previous drive and requires minimal regrading. There are no wetlands on the lot.

17.5.6 BUILDING DESIGN: The massing is composed of multiple shed roof forms that intersect to create no valleys for snow to accumulate. The forms step down with the topography and from the center of the home to the perimeter of the home to create an elegant massing composition. Windows and doors in stone forms have been set back in the wall plane per 17.5.6 A2 and H7. The quantity of stone and glazing have also been provided on sheet A4 and fall within the allowable amounts.

17.5.7 GRADING AND DRAINAGE DESIGN: The proposed site grading is designed to blend into the existing site grading only deviates from existing to tie in or transition to the proposed structure. Existing drainage patterns for the site will not change under the new site grading. Gary Roe with Summit AE has completed the Civil Design for the site.

17.5.8 PARKING REGULATIONS: (3) enclosed parking spaces have been provided along with (2) surface parking spaces.

17.5.9 LANDSCAPE REGULATIONS: The landscape design goal is to enhance the natural richness and setting of the site. The landscape materials consist of a mixture of species including aspen, amur maple, blue spruce and Colorado spruce along with a good diversity of understory and ground covers to enhance and blend the site with the natural surroundings. The project's goal is to further blend the zone of construction influence with the surrounding by utilizing a mixture of native grass seed and wildflower seed mixes. Corey Hallam completed the Landscape Design for the site.

17.5.10 TRASH, RECYCLING, AND GENERAL STORAGE AREAS: Trash and Recycling will be kept in the garage and brought out to the curb on a weekly basis. All storage will be maintained inside the house.

17.5.11 UTILITIES: All utilities including gas, power, water, & sewer will be coming in on the NE side of the house on the South wall of the Master bath and will be routed down into the mechanical room and distributed from there.

17.5.12 LIGHTING REGULATIONS: Please see sheet A2 for our preliminary lighting plan. Each fixture will be dark sky compliant. The lights provide code required life safety and low spread lighting only.

Thank you for your time in reviewing our drawing and application and please let me know if you have any questions.

Steven Jallad
239.776.5398

October 25, 2021

Justin Stratman
Artisan Builders
PO Box 2024,
Ridgway, CO 81432

RE: Lot 177/113 Highlands Way, Town of Mountain Village

Justin,

At your request, I have reviewed Lot 177 and the general area surrounding the building site for the presence of wetlands or topography that could support wetland plant communities. Field conditions were observed on October 7, 2021, prior to snowfall, however most herbaceous species had passed through senescence and many plants had stopped growing for the season. The observations presented here are caveated by the timing of the review, but generally speaking Lot 177 does not contain any wetland areas. The following photos and comments represent the information collected on October 7th.



Photo 1 View to the north upon entering Lot 177 where the prior driveway was located. A remnant rock wall can be seen to the right side of the driveway and the conifer behind the wall represents historic grade on the landscape as the tree is older than the development of the Mountain Village. Location was previously developed with a home that was razed following a fire. No evidence of the previous structure exists other than the hardscape features shown in the photos and the gazebo shown in Photo 2.



Photo 2 North end of the previous homesite – gazebo can be seen in the background. No wetlands are located on the previous homesite location, near the gazebo or the historic driveway alignment.



Photo 3 Rock steps and planters extend down slope on the west side of the previous homesite. Areas below steps are shown in Photos 4 and 5.



Photo 4 View to the south east on bench below historic homesite. No evidence of flowing water exists on this bench. Plants in the background of this photo should be reviewed in the spring to determine their species and indicator status. It is unlikely that they are wetland species, however, confirmation of status is advisable.



Photo 5 View to the northwest from same photopoint as photo 4 (below the rock stairwell – Photo 3) with a small golf chipping green in the background. No wetland areas were observed in this vicinity.



Photo 6 View from private roadway off Highlands Way down toward existing water taps. This area should be reviewed in the spring for dominant plant species to confirm that the herbaceous understory below the aspen is not composed on plants that are indicators of wetland habitat prior to any work connecting waterlines to a new home.

In summary, no obvious wetland areas were observed on Lot 177. The knoll where the previous homesite was located is devoid of any plants that would indicate wetlands, as are the areas extending toward the gazebo on the north and the stairs/planters on the west, and the driveway alignment on the south east side of the lot. Areas adjacent to the described non-wetland areas have plant communities that could not be identified due to the timing of the field review – these areas include the southern end of the bench below the rock stairwell/planters and the swale where the two water taps are located. These two zones should be examined in June 2022 to confirm that they are not seasonally saturated and to identify the dominant plant species growing in these sites.

If you have any questions feel free to contact me via email at chrishazen@gmail.com.

Respectfully,


Chris Hazen, Principal
The Terra Firm, Inc.

Lot 177 Design Review Process

Application Plan Set

Initial Submittal: 10.29.2021

Table of Contents:

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Architecture Set- pg. 3-15

Civil Set - pg. 16-24

Landscape Set - pg. 25-26

Lot 177 Design Review Process

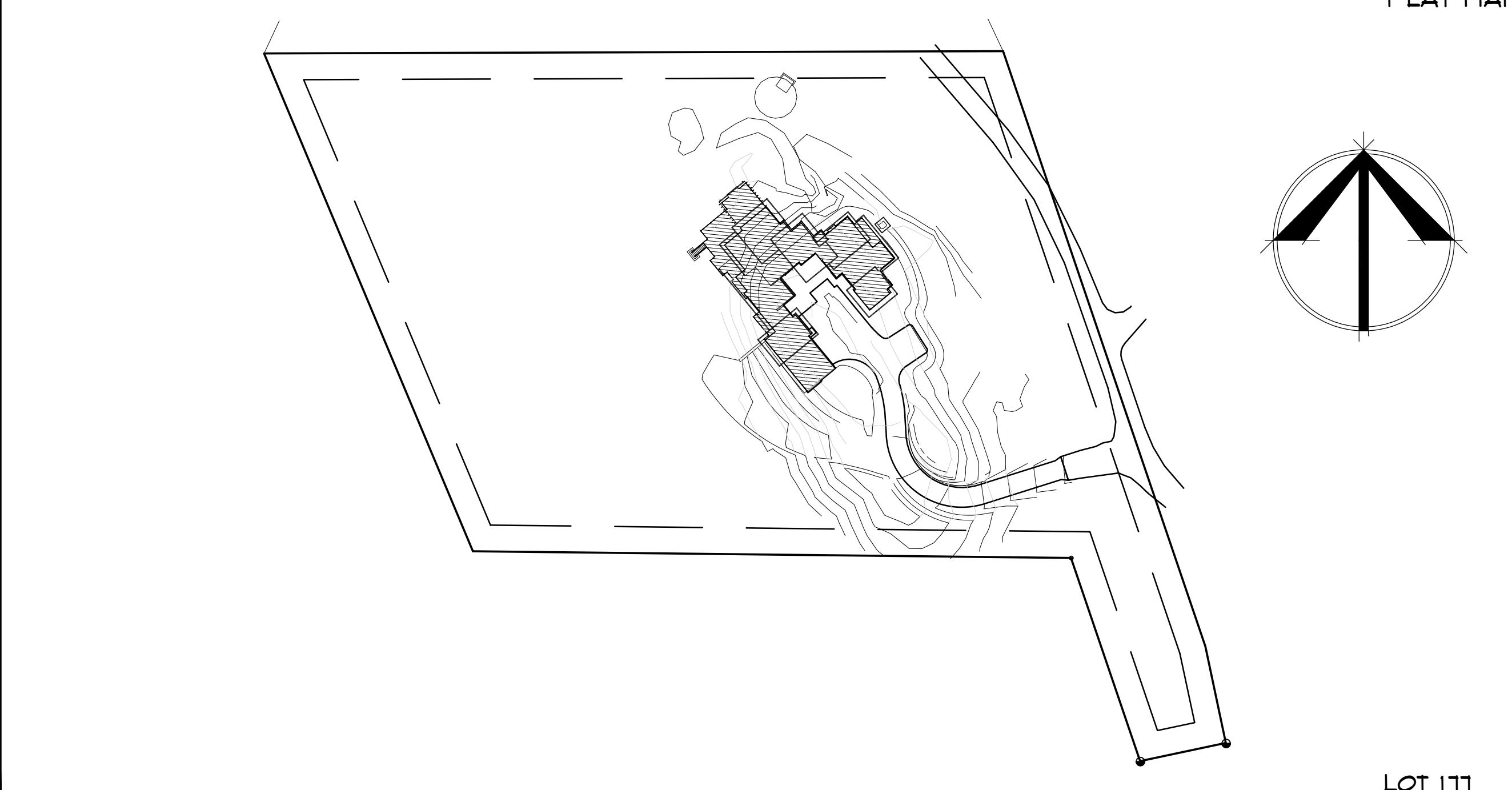
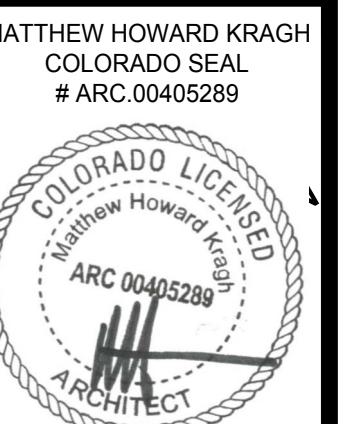
Application 3D Model Link:

3D Model Viewer Download:

<https://www.sketchup.com/products/sketchup-viewer>

3D Model Link:

<https://www.dropbox.com/s/1hqr2l9aa6trecw/113%20Highlands%20Way10%20-%202023.skp?dl=0>



LOT 111



LEGAL DESCRIPTION

LOT 111, TOWN OF MOUNTAIN VILLAGE,
LOCATED WITHIN THE NE 1/4 OF SECTION 4, T.42N., R.9W., N.M.P.M.,
COUNTY OF SAN MIGUEL, STATE OF COLORADO.

BUILDING ELEVATIONS

T.O. MAIN FLOOR SHEATHING = 9524.0' NAVD
T.O. GARAGE SLAB AT DOOR = 9522.5' NAVD
T.O. LOWER FLOOR SLAB = 9512.0' NAVD

PROJECT DATA

LOT INFO	LOT 111	
LOT NAME	LOT 111	
ZONING	SINGLE FAMILY RESIDENTIAL	
LOT SIZE	100%	= 3.325 ACRES = 144,831 SF
MAX LOT COVERAGE	40%	= 1.33 ACRES = 57,335 SF
LOT COVERAGE	3.9%	= 0.13 ACRES = 5,692 SF
BUILDING INFO		
DESCRIPTION	1.0 STORY W/ WALKOUT BASEMENT	
BUILDING HEIGHT	ALLOWED	ACTUAL
MAXIMUM	35'	28'
AVERAGE	30'	20'
PARKING SPACES	REQUIRED	ACTUAL
ENCLOSED	2	3
SURFACE	2	2

DRAWING SHEET INDEX

SHEET #A0	COVER SHEET
SHEET #A0.1	EXISTING CONDITIONS
SHEET #A1	SITE PLAN
SHEET #A2	FIRST FLOOR PLAN
SHEET #A2.1	BASEMENT PLAN
SHEET #A3	ROOF PLAN
SHEET #A3.1	HEIGHT ANALYSIS
SHEET #A4	ELEVATIONS
SHEET #A4.1	ELEVATIONS
SHEET #A4.2	ELEVATIONS
SHEET #A4.3	ELEVATIONS
SHEET #A5	GAZEBO & ADDRESS MONUMENT MATERIALS BOARD
SHEET #A6	

A-0

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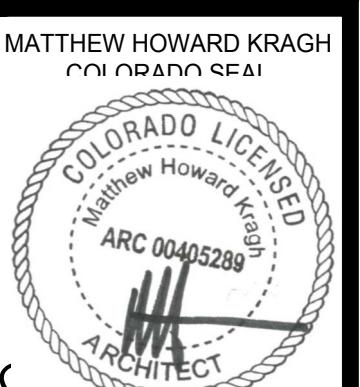
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CONSULTANT:

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MOUNTAIN VILLAGE, CO. 81435

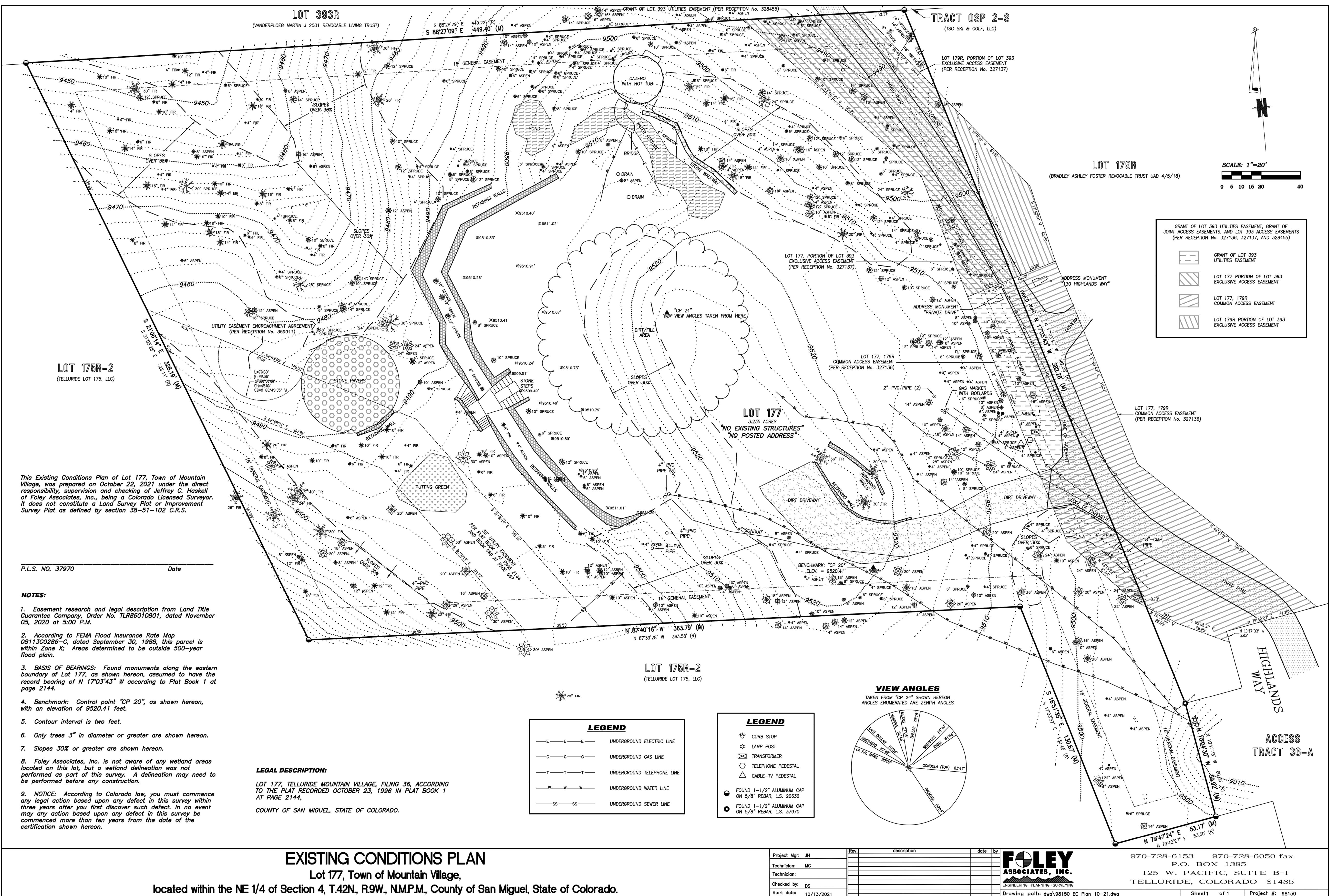


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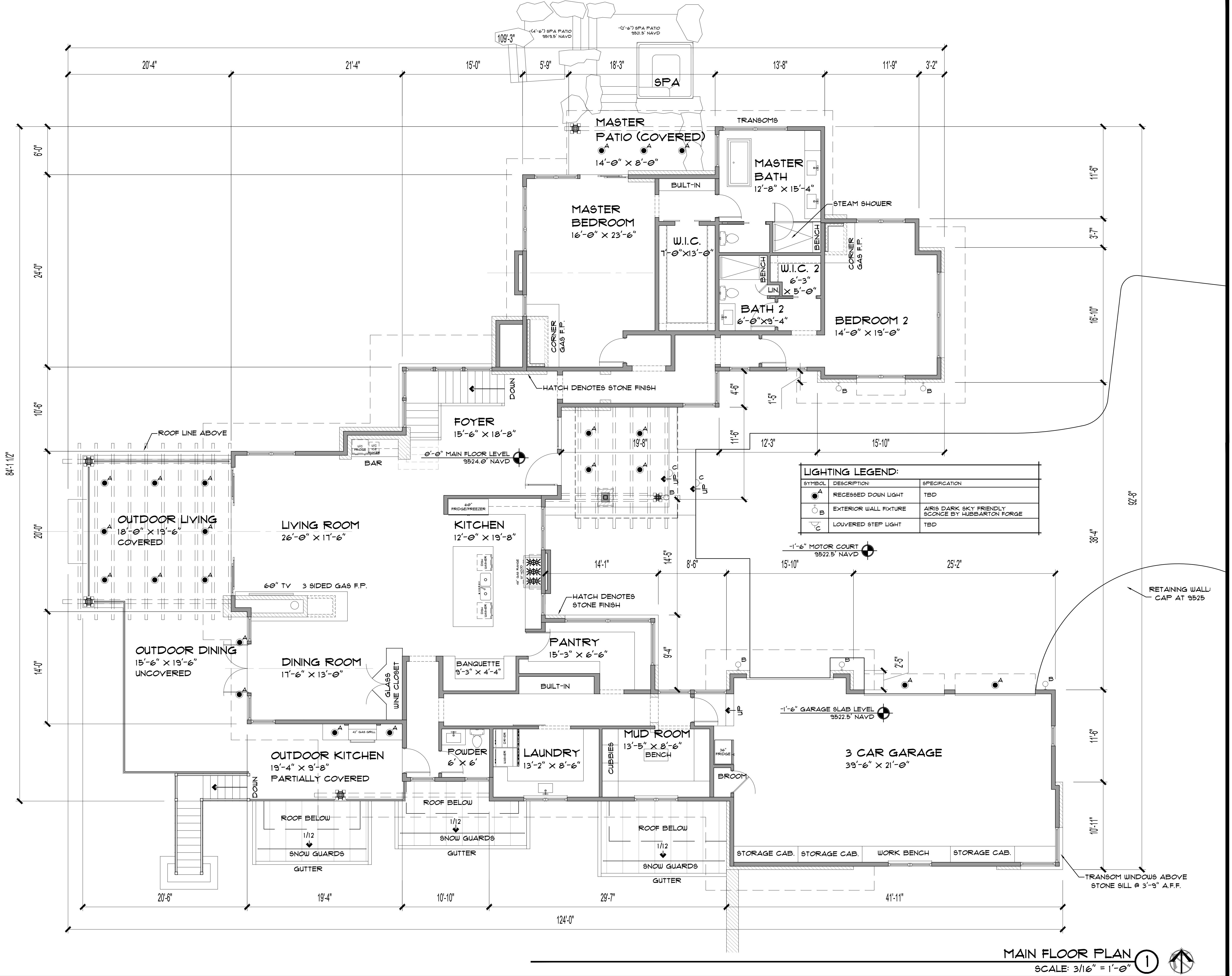
EXISTING CONDITIONS PLAN

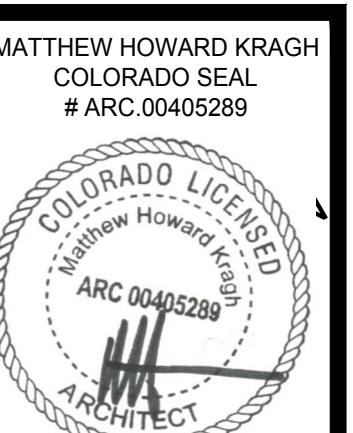
**Lot 177, Town of Mountain Village,
located within the NE 1/4 of Section 4, T.42N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.**

Project Mgr: JH	Rev.	description	date	by	 FOLEY ASSOCIATES, INC. ENGINEERING • PLANNING • SURVEYING	970-728-6153 970-728-6050 fax P.O. BOX 1385 125 W. PACIFIC, SUITE B-1 TELLURIDE, COLORADO 81435	
Technician: MC							
Technician:							
Checked by: DS							
Start date: 10/13/2021					Drawing path: dwa\98150_FC_Plan_10-21.dwg	Sheet 1 of 1	Project #: 98150

EXISTING CONDITIONS PLAN

SCALE: N.T.S. 1



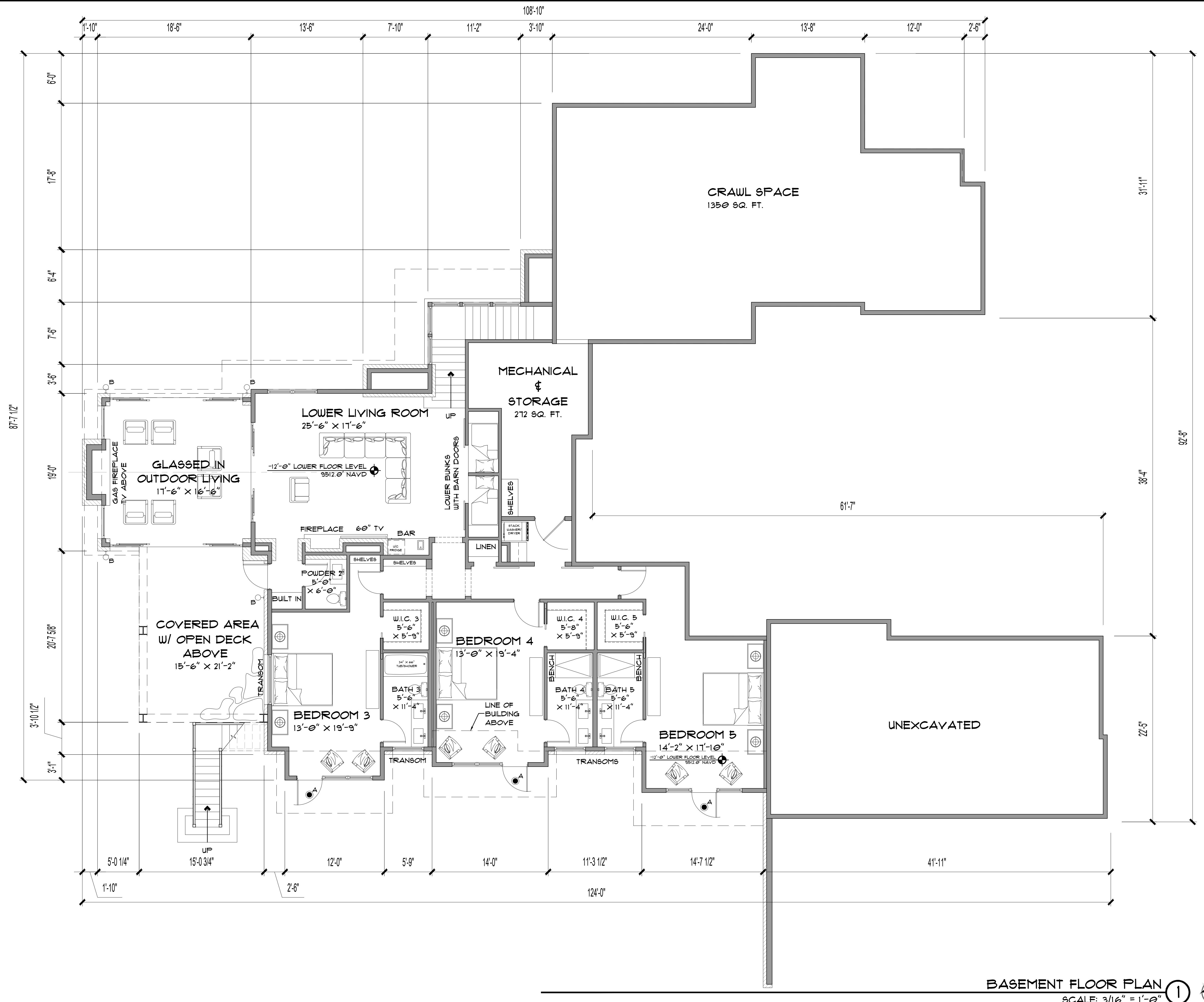


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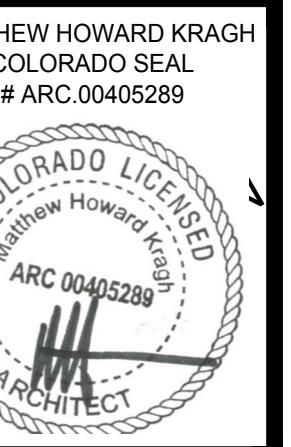
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A-3



ROOF PLAN
SCALE: 3/16" = 1'-0" 1



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COMMUNITY DEVELOPMENT CODE SECTION 113.11 - BUILDING HEIGHT

B. METHOD FOR MEASURING BUILDING HEIGHT

BUILDING HEIGHT SHALL BE MEASURED VERTICALLY AT A RIGHT ANGLE TO THE HORIZON LINE FROM ANY POINT ON A PROPOSED OR EXISTING ROOF OR EAVE (INCLUDING BUT NOT LIMITED TO THE ROOFING MEMBRANE) TO THE NATURAL GRADE OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, LOCATED DIRECTLY BELOW SAID POINT OF THE ROOF OR EAVES.

1. IF THE EXISTING PRE-CONSTRUCTION GRADE HAS BEEN DISTURBED PRIOR TO DEVELOPMENT, THE DIRECTOR OF COMMUNITY DEVELOPMENT MAY ESTABLISH THE NATURAL GRADE.
2. IF THE PLANNING DIVISION DETERMINES THAT THERE ARE MINOR IRREGULARITIES IN THE NATURAL GRADE, THESE AREAS SHALL NOT BE USED IN DETERMINING COMPLIANCE WITH THE BUILDING HEIGHT LIMITATION SET FORTH HEREIN, AND THE SURROUNDING TYPICAL NATURAL GRADE SHALL BE USED.
3. WINDOW WELLS AND SIMILAR BUILDING APPURTENANCES INSTALLED BELOW GRADE THAT EXTEND OUT FIVE (5) FEET OR LESS (AS MEASURED FROM THE OUTSIDE OF RETAINING WALL) SHALL NOT BE COUNTED AS THE FINISHED GRADE FOR THE PURPOSES OF CALCULATING BUILDING HEIGHT IF SUCH FEATURES DO NOT ADD TO THE PERCEIVED HEIGHT OF A BUILDING.

C. MAXIMUM AVERAGE HEIGHT

1. MAXIMUM AVERAGE HEIGHT SHALL BE MEASURED FROM THE FINISHED GRADE TO A POINT ON THE ROOF FLANE MIDWAY BETWEEN THE EAVE AND RIDGE.

2. ON COMPLEX BUILDINGS WITH MULTIPLE HEIGHTS AND/OR BUILDINGS WITH MULTIPLE HEIGHTS ON SLOPING SITES, THE MAXIMUM AVERAGE HEIGHT SHALL BE DETERMINED BY TAKING THE AVERAGE OF HEIGHTS AT EQUAL INTERVALS AROUND THE PERIMETER OF A BUILDING. THOSE INTERVALS SHALL BE NO MORE THAN TWENTY (20) FEET. WHEN MULTIPLE ROOFS OCCUR WITHIN ANY INTERVAL, THE HEIGHT FOR THAT INTERVAL SHALL BE MEASURED FROM THE FINISHED GRADE OR NATURAL GRADE (WHICHEVER IS MOST RESTRICTIVE) TO A POINT ON THE HIGHEST PRIMARY ROOF MIDWAY BETWEEN THE EAVE AND THE RIDGE*. FOR PURPOSES OF DETERMINING THE MAXIMUM AVERAGE HEIGHT ON COMPLEX BUILDINGS, A ROOF SHALL HAVE A HORIZONTAL PROJECTION OF AT LEAST TEN (10) FEET. THIS DEFINITION DOES NOT INTEND TO ALLOW STRATEGIES TO CIRCUMVENT THE INTENTION OF THE MAXIMUM AVERAGE HEIGHT LIMITATION THROUGH SUCH RELATIONSHIPS AS HIGH-RISE STRUCTURES SURROUNDED BY LOW SECONDARY ROOFS.**

113 HIGHLANDS WAY HEIGHT ANALYSIS NOTES:

DUE TO THE COMPLEX NATURE OF THIS HOME'S ROOF FORMS, AND IN KEEPING WITH THE INTENTION OF THE MAXIMUM AVERAGE HEIGHT CALCULATION METHOD:

- * ALL PARAPETS SHADeD GREY ARE COUNTED TOWARDS THE AVERAGE HEIGHT.
- ** SLOPED ROOFS ARE ASSIGNED POINTS AT THE CENTER OF THE PITCH AT 20' INTERVALS ALONG THE LENGTH OF THAT ROOF.

AVERAGE BUILDING HEIGHT CALCULATION

TAG NUMBER	MOST RESTRICTIVE GRADE	HEIGHT
1	9524 N (NEW)	9.0'
2	9522.5 N	11.5'
3	9522.5 N	15.3'
4	9217 N	17.5'
5	9217 N	17.75'
6	9512 N	24.75'
7	9511.5 N	23'
8	9512 N	26'
9	9511.5 N	26.5'
10	9511.5 N	23.3'
11	9511.5 N	23.3'
12	9511.5 N	31.6'
13	9516 E	27'
14	9518 E	28'
15	9520 E	26'
16	9523.5 N	22.5'
17	9520 E	19'
18	9520 N	19'
19	9522 E	12.5'
20	9522 N	13'
21	9522 E	16.25'
22	9522 E	16.25'
23	9522.5 N	13.3'
24	9522.5 N	17.75'
25	9522.5 N	14.25'
26	9522.5 N	11.25'
AVERAGE HEIGHT		20 FT
MAX. AVG. HEIGHT ALLOWABLE		30 FT
MARGIN OF COMPLIANCE		10 FT

LIGHT HATCH DENOTES
EXISTING TOPO TO BE
REMOVED

HEIGHT LIMIT ANALYSIS

SCALE: 3/16" = 1'-0"

1

A-3.1



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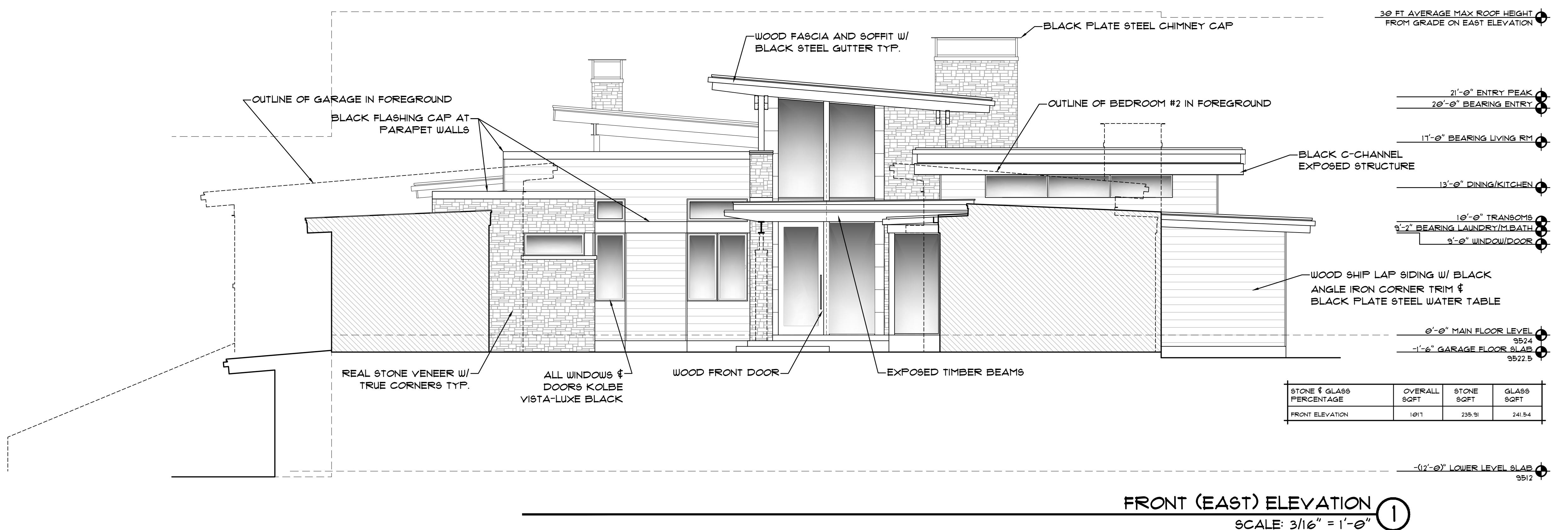
A circular seal with a rope-like outer border. The words "COLORADO LICENSED" are arched along the top inner edge, and "ARCHITECT" are arched along the bottom inner edge. In the center, it says "Matthew Howard Kragh" above "ARC 00405289". At the bottom, there is a signature that appears to be "MHW". A small checkmark is in the bottom right corner.

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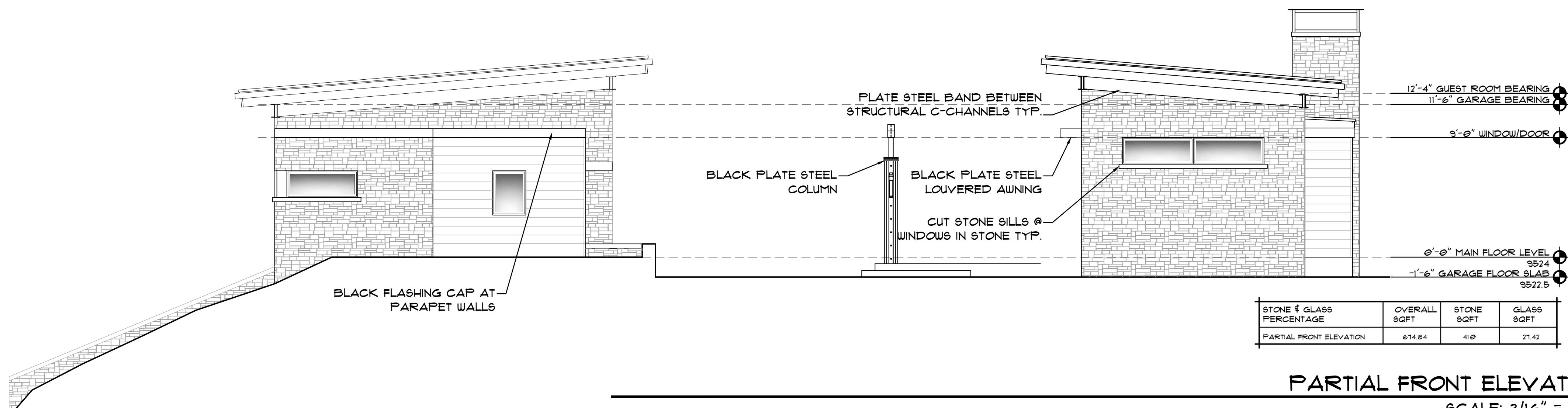


FRONT (EAST) ELEVATION

SCALE: $3/16'' = 1'-0''$

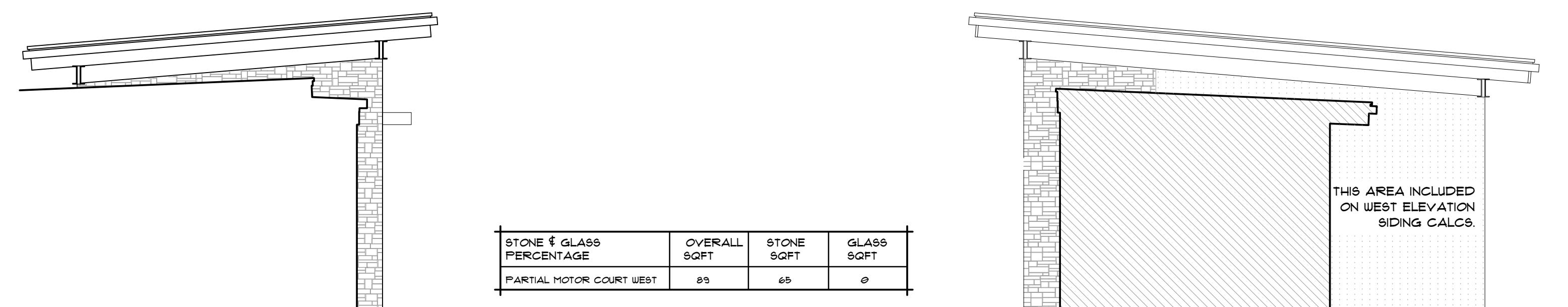
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SCALE: $3/16'' = 1'-0''$



PARTIAL FRONT ELEVATION 2

SCALE: $3/16'' = 1'-0''$



PARTIAL MOTOR COURT (WEST) ELEVATION 3

SCALE: $3/16'' = 1'-0''$

STONE & GLASS PERCENTAGES SUMMARY TABLE			
ELEVATION	OVERALL SQFT	STONE SQFT	GLASS SQFT
FRONT ELEVATION	1011	235.91	241.54
PARTIAL FRONT ELEVATION	674.84	410	21.42
PARTIAL MOTOR COURT SOUTH	831.76	281.34	221.8
PARTIAL MOTOR COURT NORTH	796	286.07	104
PARTIAL MOTOR COURT WEST	89	65	0
WEST ELEVATION	2168	813	603.9
PARTIAL WEST ELEVATION	228	129.79	65.15
NORTH ELEVATION	2083.08	701.96	498.76
SOUTH ELEVATION	2328.1	680	381
TOTAL SQUARE FEET	10215.18	3615.07	2155.51
PERCENTAGE TOTAL	100%	35%	21%



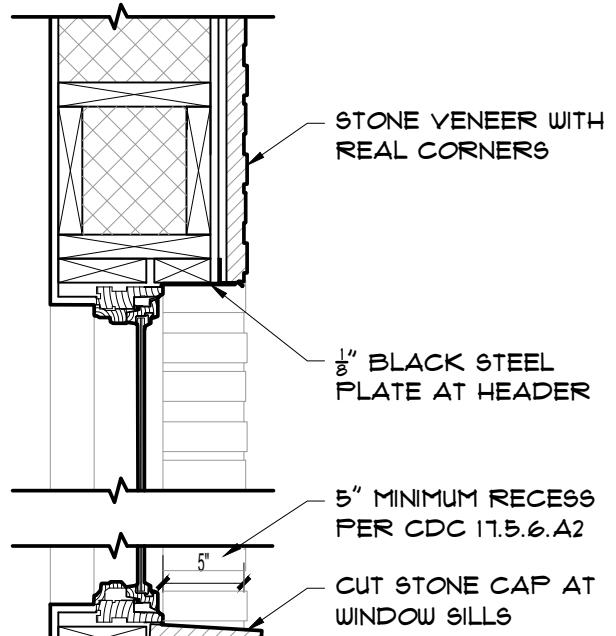
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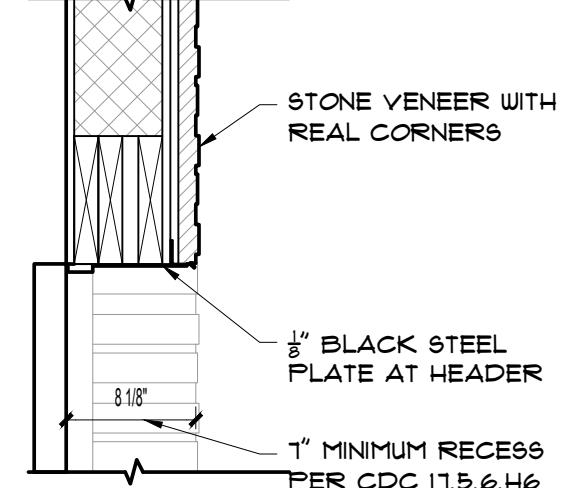
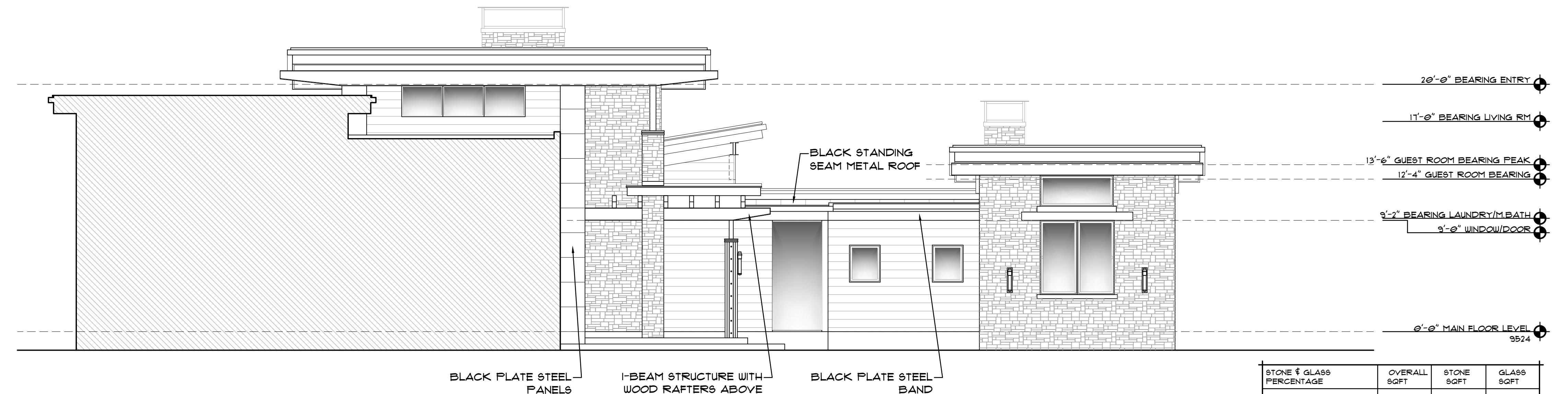
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30 FT AVERAGE MAX HEIGHT FROM
GRADE AT MOTORCOURT



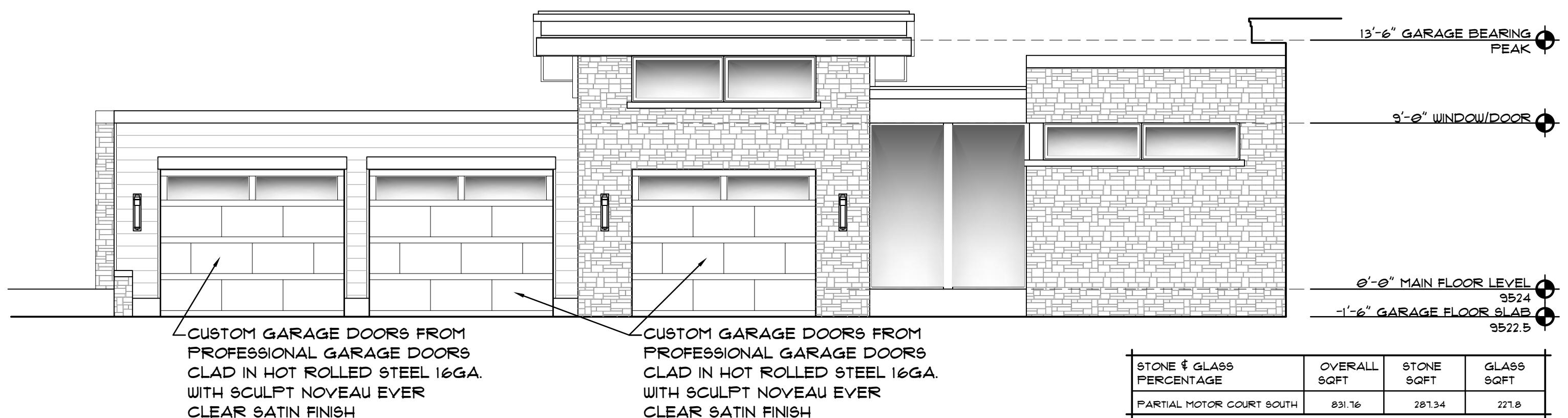
RECESSED WINDOW DETAIL (3)

SCALE: 1" = 1'-0"



RECESSED GARAGE DOOR DETAIL (4)

SCALE: 1" = 1'-0"

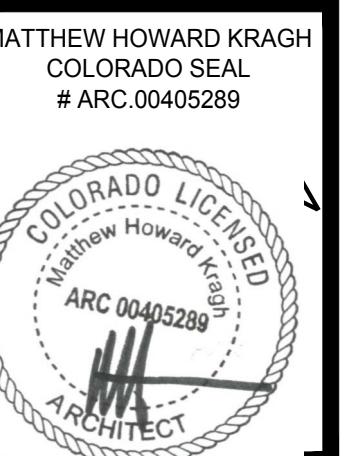


PARAPET CAP FLASHING DETAIL (5)

SCALE: 1" = 1'-0"

PARTIAL MOTOR COURT SOUTH (2)

SCALE: 3/16" = 1'-0"

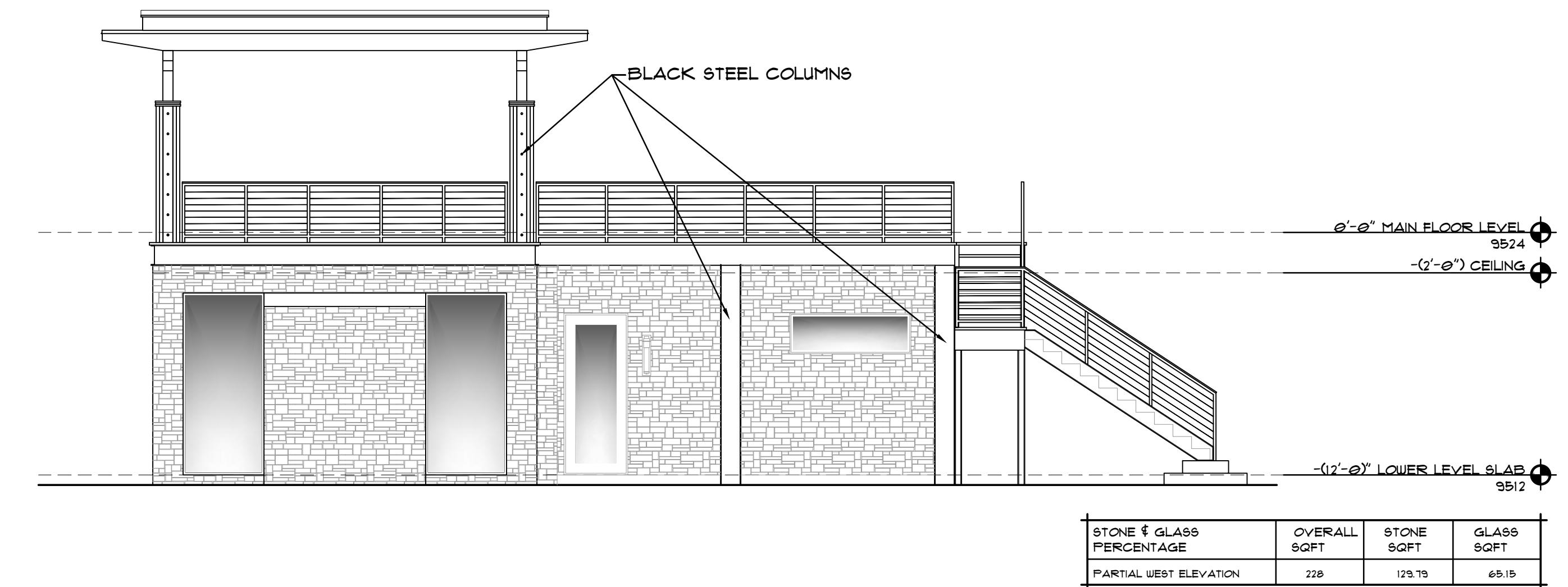
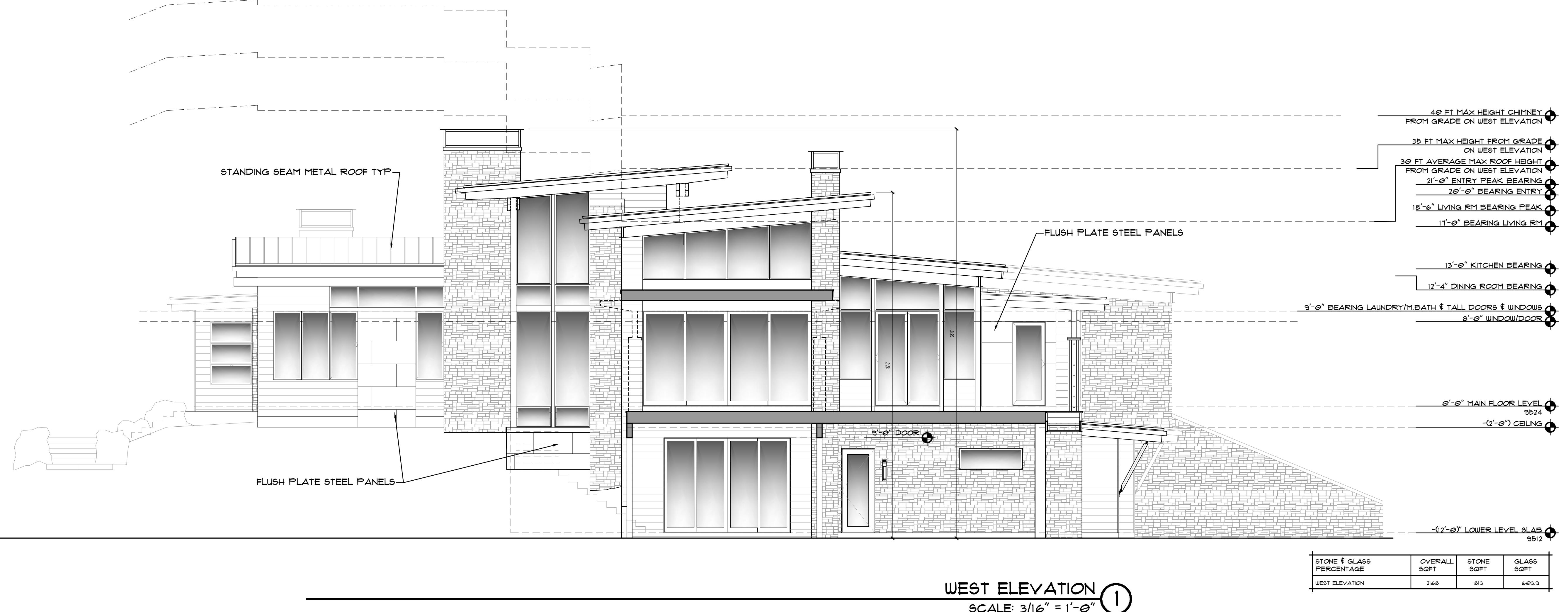


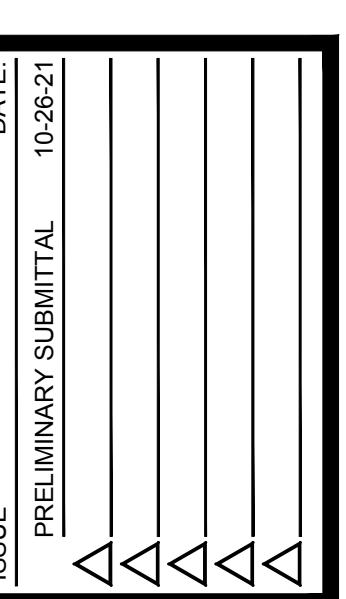
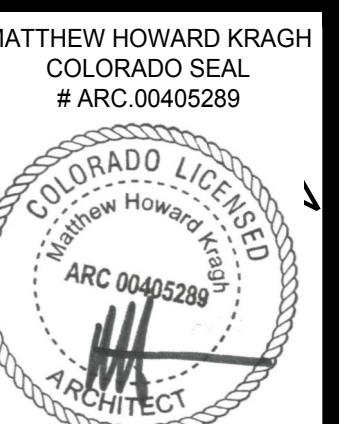
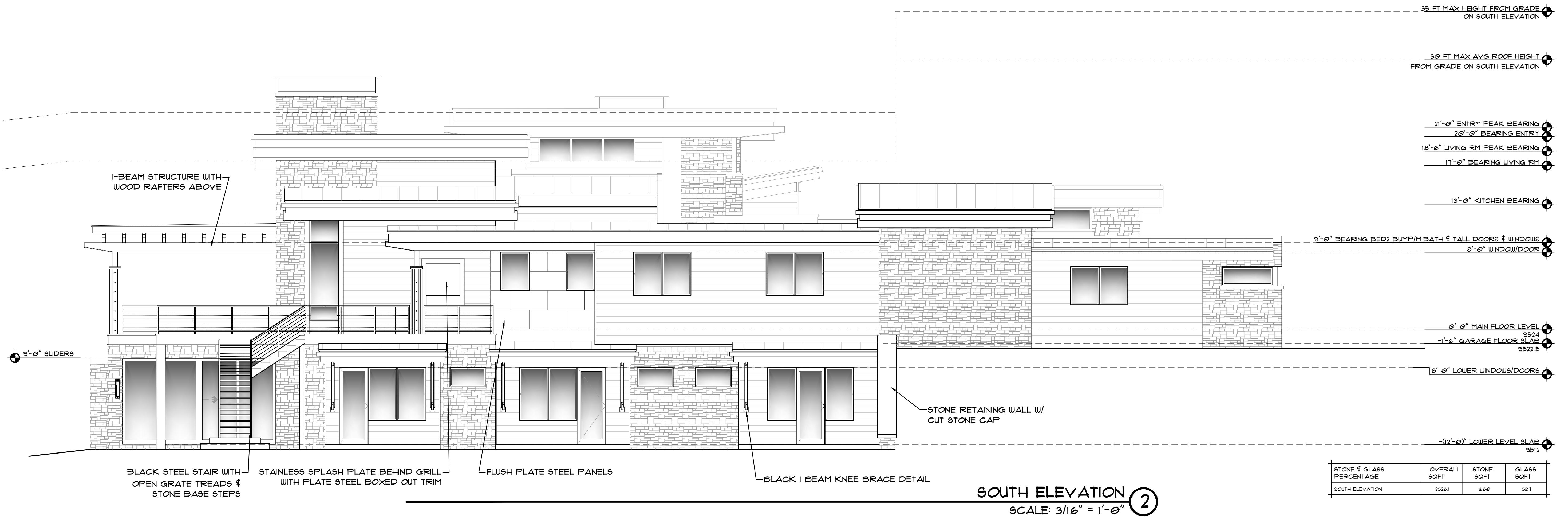
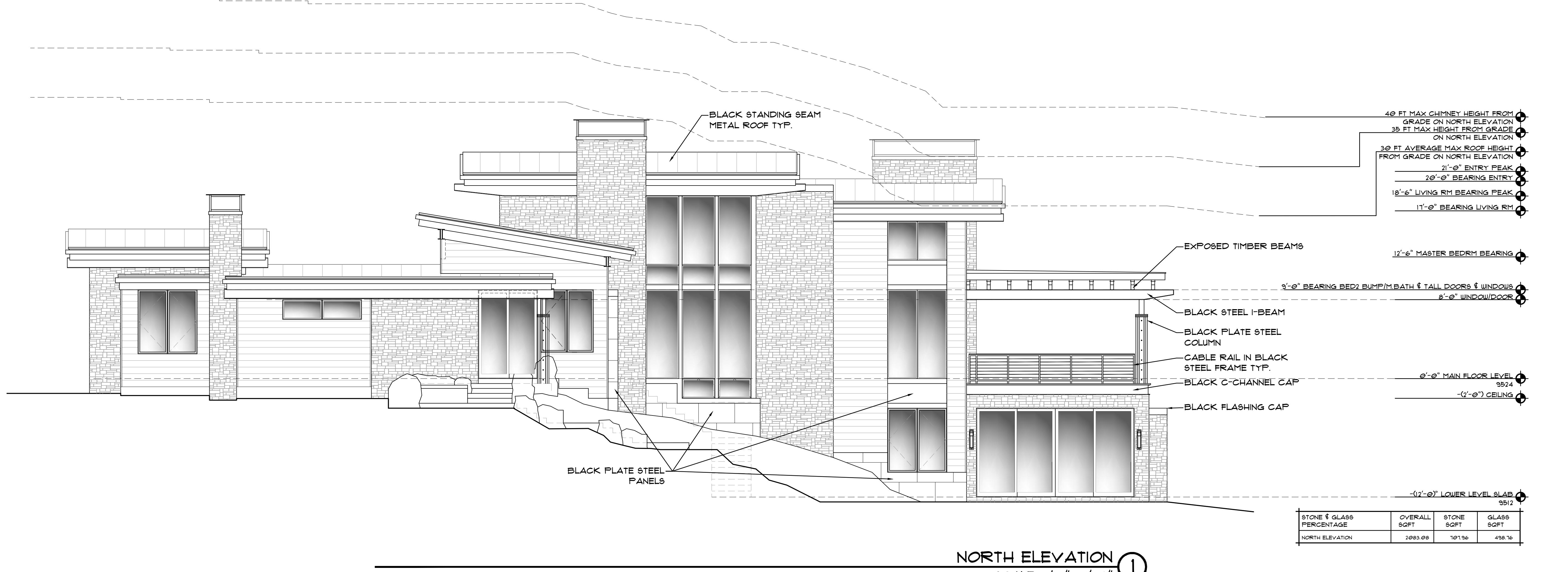
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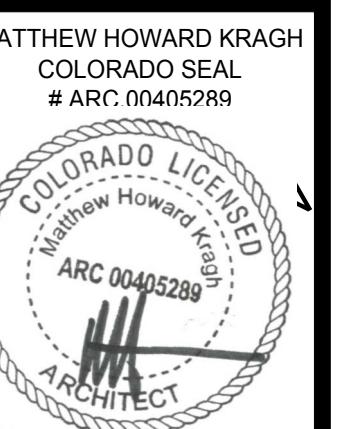




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PR NO: 21155

A-4.3

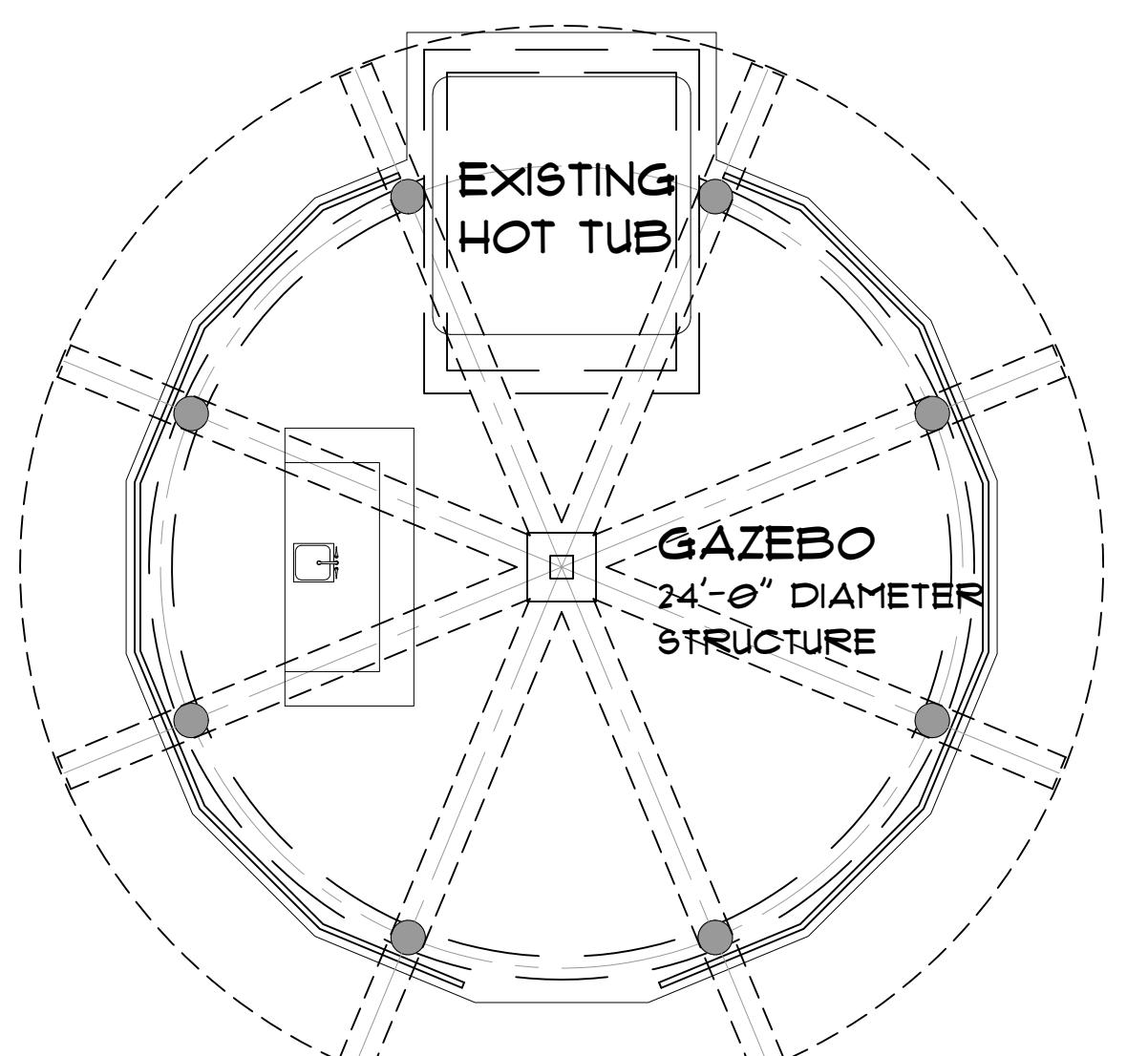


DATE:	10-26-21
ISSUE:	PRELIMINARY SUBMITTAL
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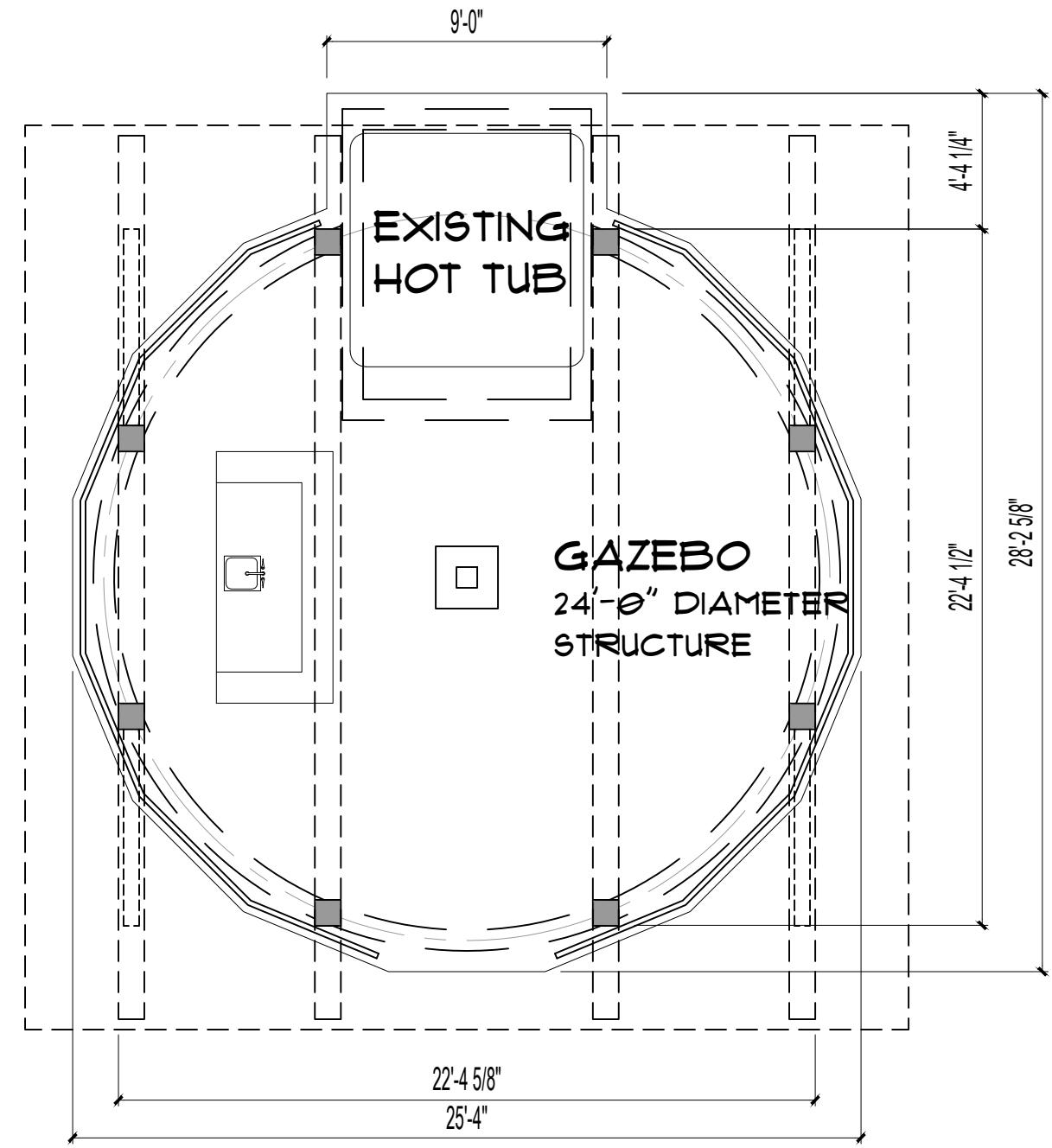
DRAWN BY: MN
CHECKED BY: SJ

PHASE: DD
PR NO: 21155

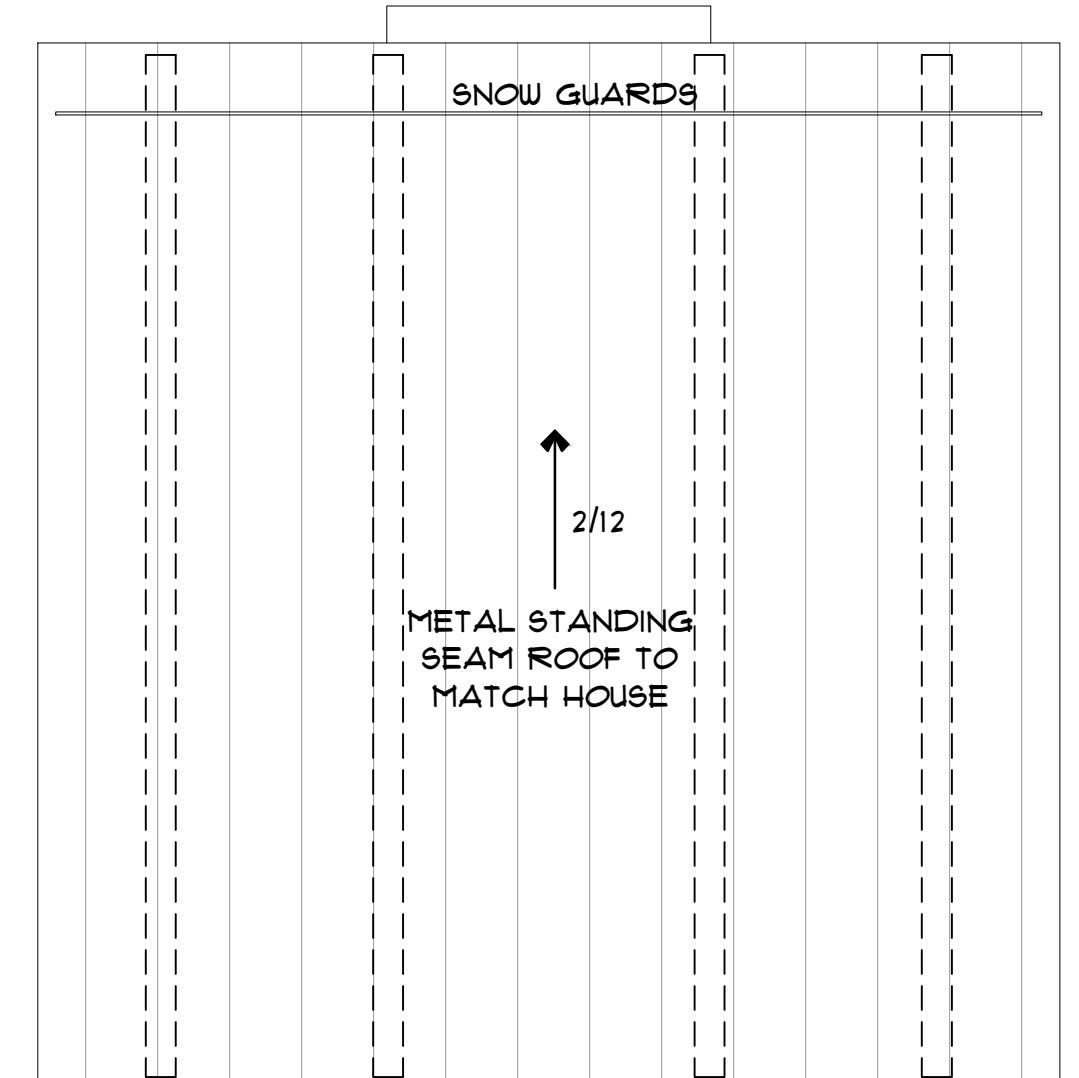
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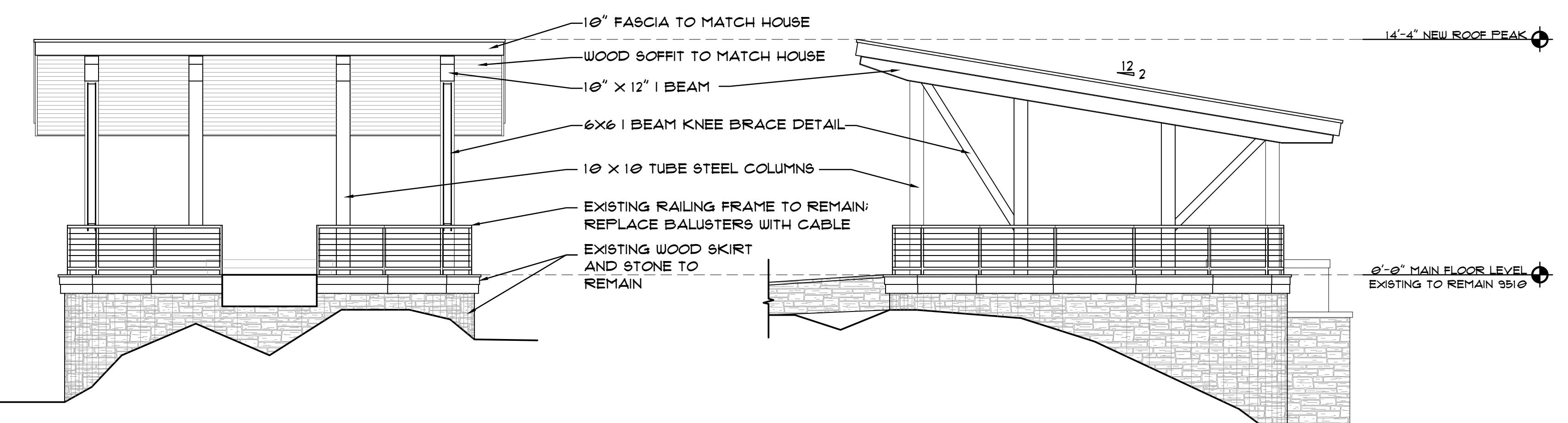
EXISTING GAZEBO PLAN ①
SCALE: 3/16" = 1'-0"



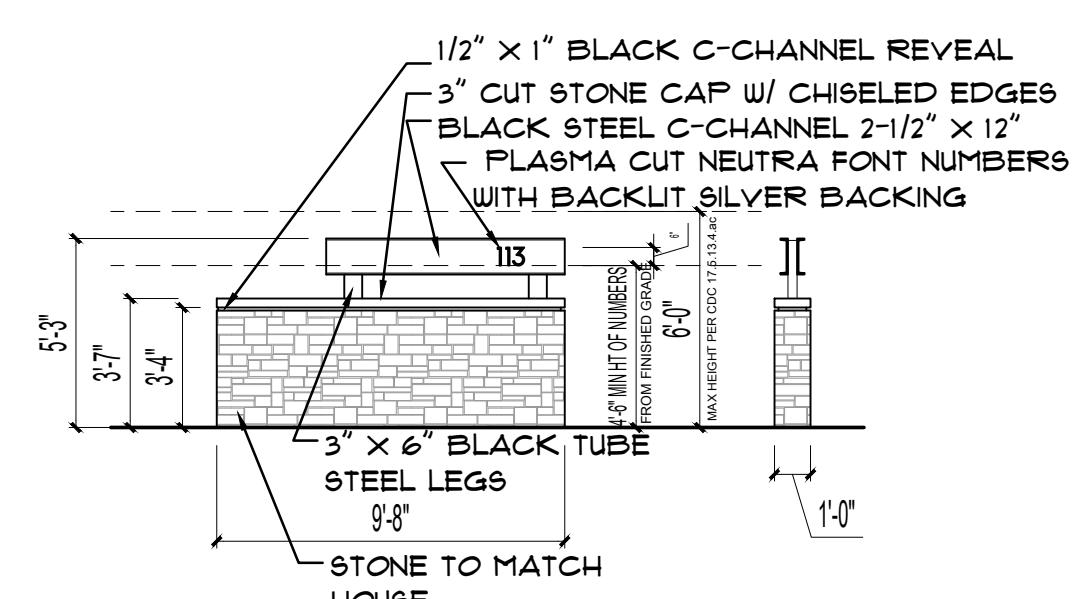
PROPOSED GAZEBO PLAN ②
SCALE: 3/16" = 1'-0"



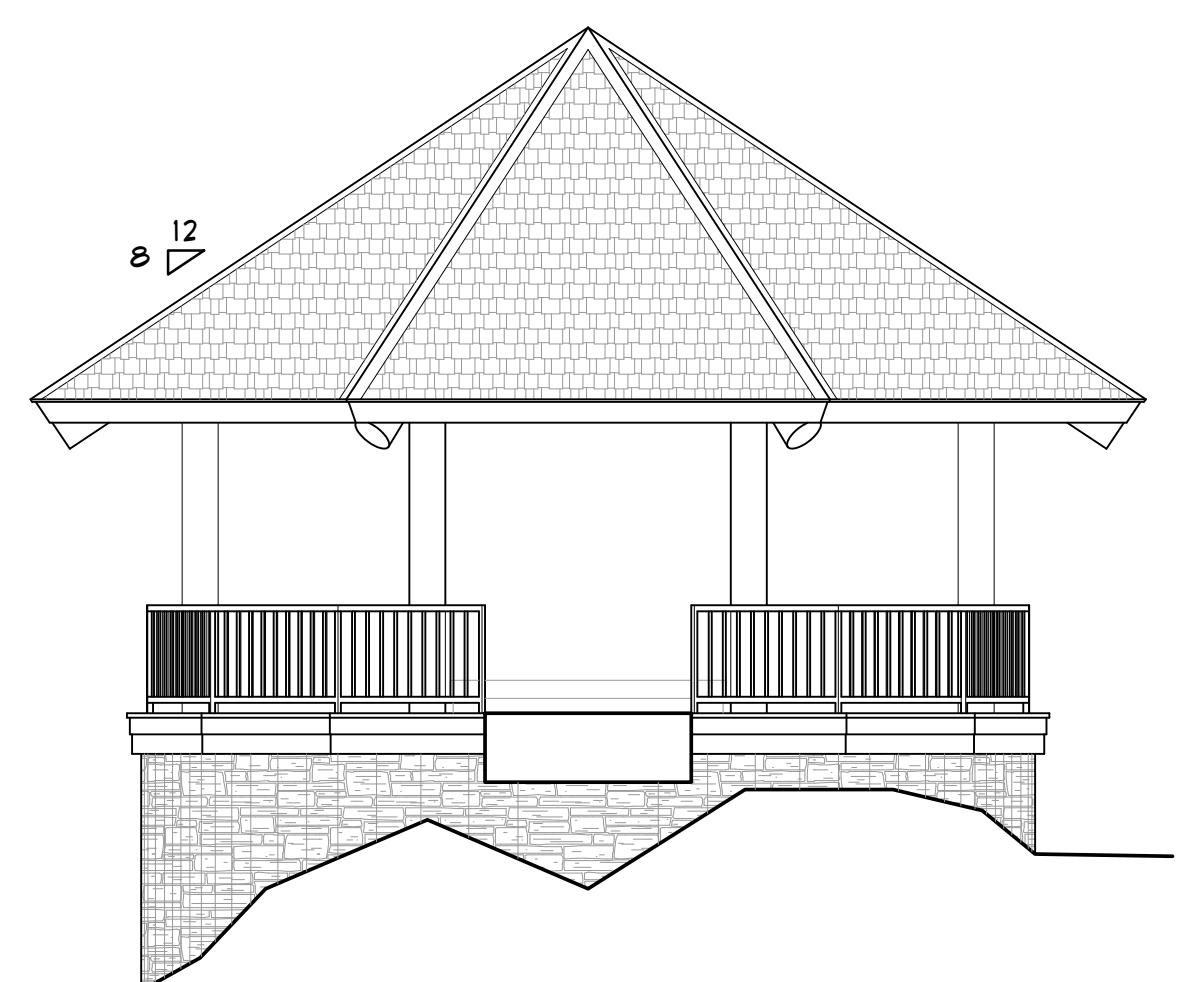
PROPOSED GAZEBO ROOF PLAN ③
SCALE: 3/16" = 1'-0"



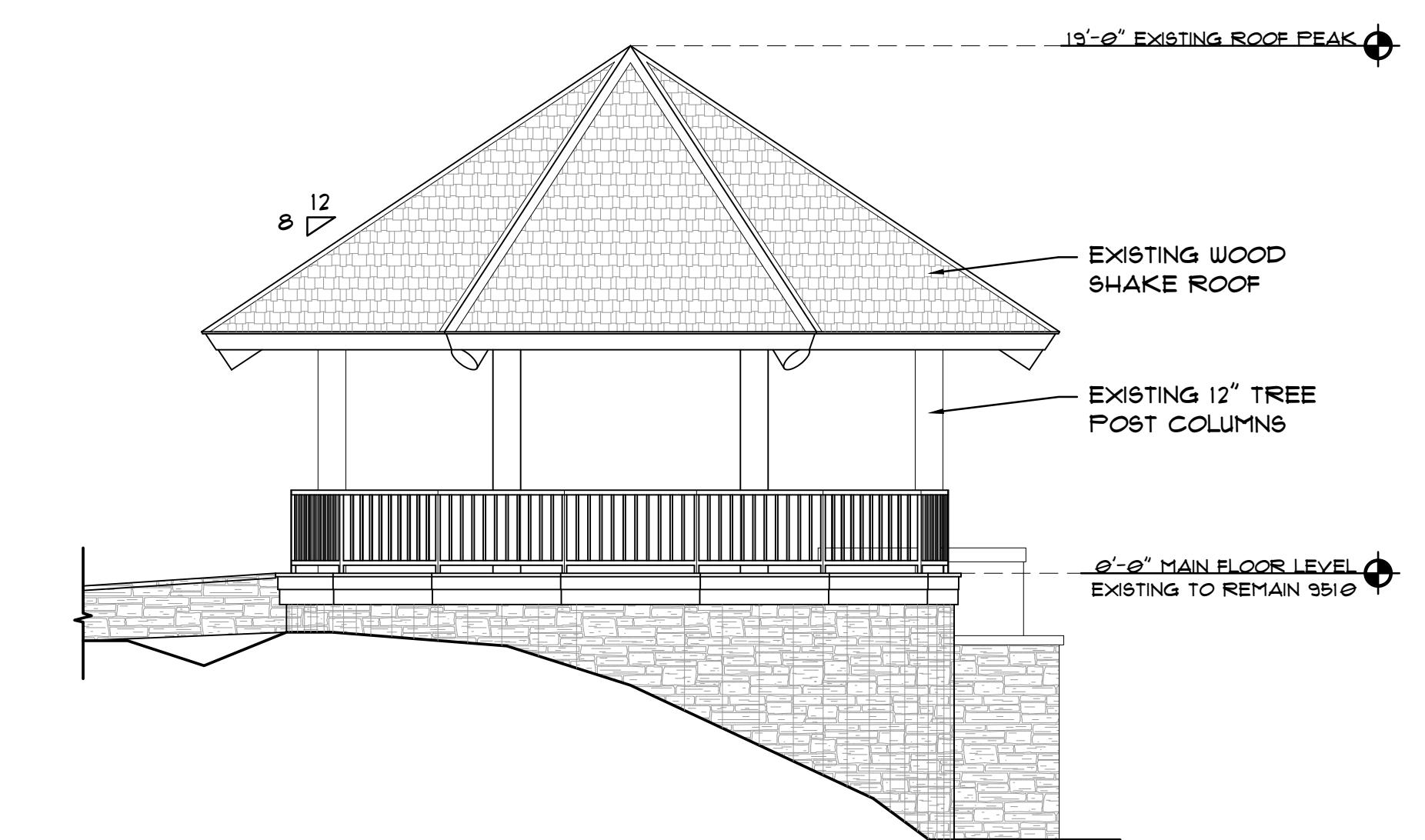
PROPOSED GAZEBO SOUTH ELEVATION ④
SCALE: 3/16" = 1'-0"



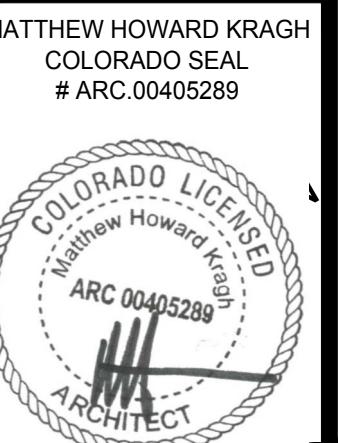
MONUMENT PLAN ⑧
SCALE: 3/16" = 1'-0"



EXISTING GAZEBO SOUTH ELEVATION ⑥
SCALE: 3/16" = 1'-0"



EXISTING GAZEBO EAST ELEVATION ⑦
SCALE: 3/16" = 1'-0"



DATE:	10-26-21
PRELIMINARY SUBMITTAL	△◀◀◀◀◀
ISSUE	

DRAWN BY: MN
CHECKED BY: SJ

PHASE: DD
PR NO: 21155

A-6

Lot 177 Materials Board

A: Hot Rolled Steel Cladding

Finished with Sculpt Noveau Ever Clear
16ga. "Matte"

B: Metal Roof

Mechanically seamed 2" Standing Seam
from Western States Metal Roofing
24ga. 16" width PVDF "Matte Black 106"

C: Windows and Doors

VistaLuxe Collection
from Kolbe
"Coal Black"

D: Wood cladding

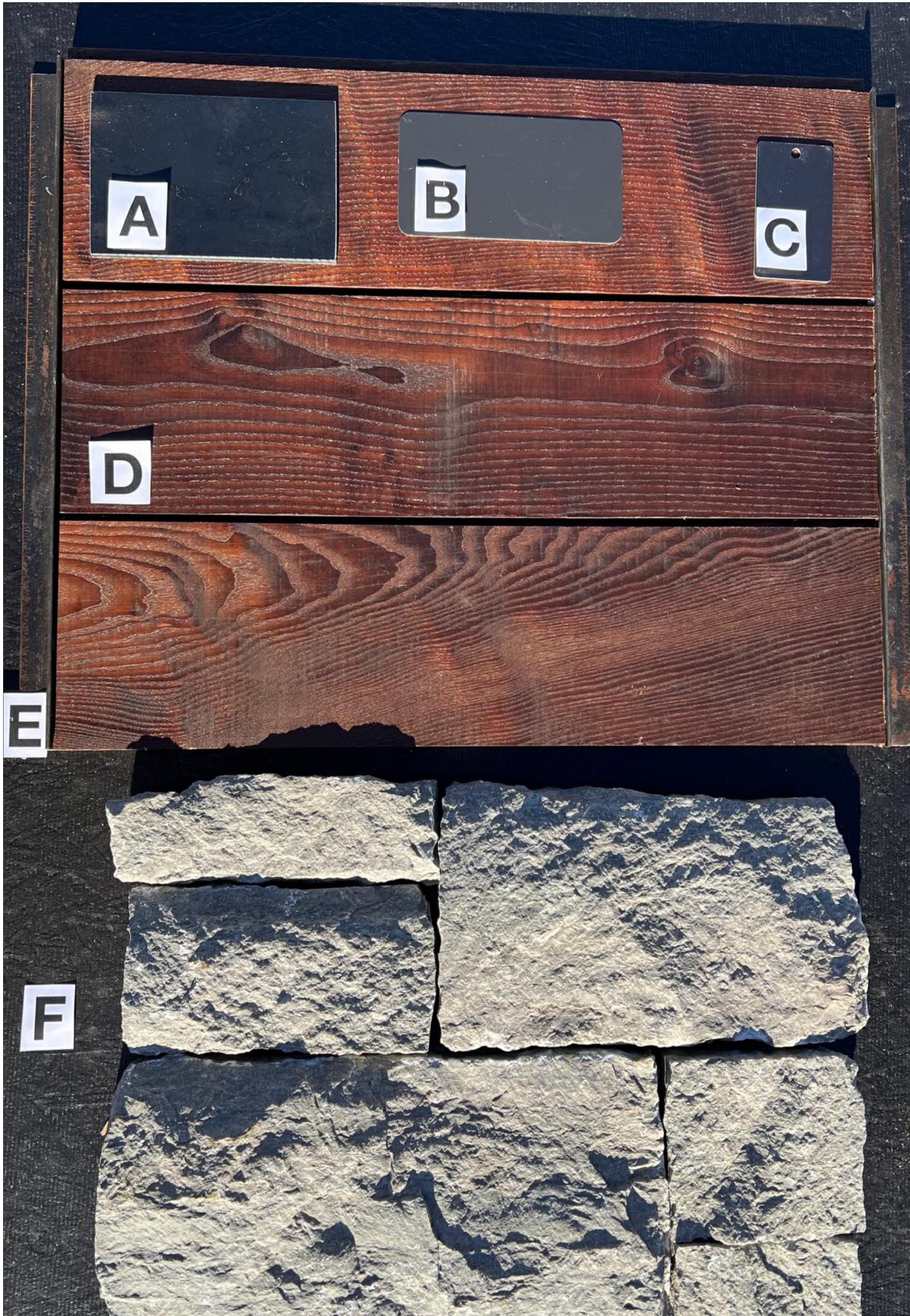
White Ash Cladding 1x6 C20 T/G
from Thermory
Oiled with Cutek Extreme

E: Steel Angle

Finished with Sculpt Noveau Ever Clear
"Matte"

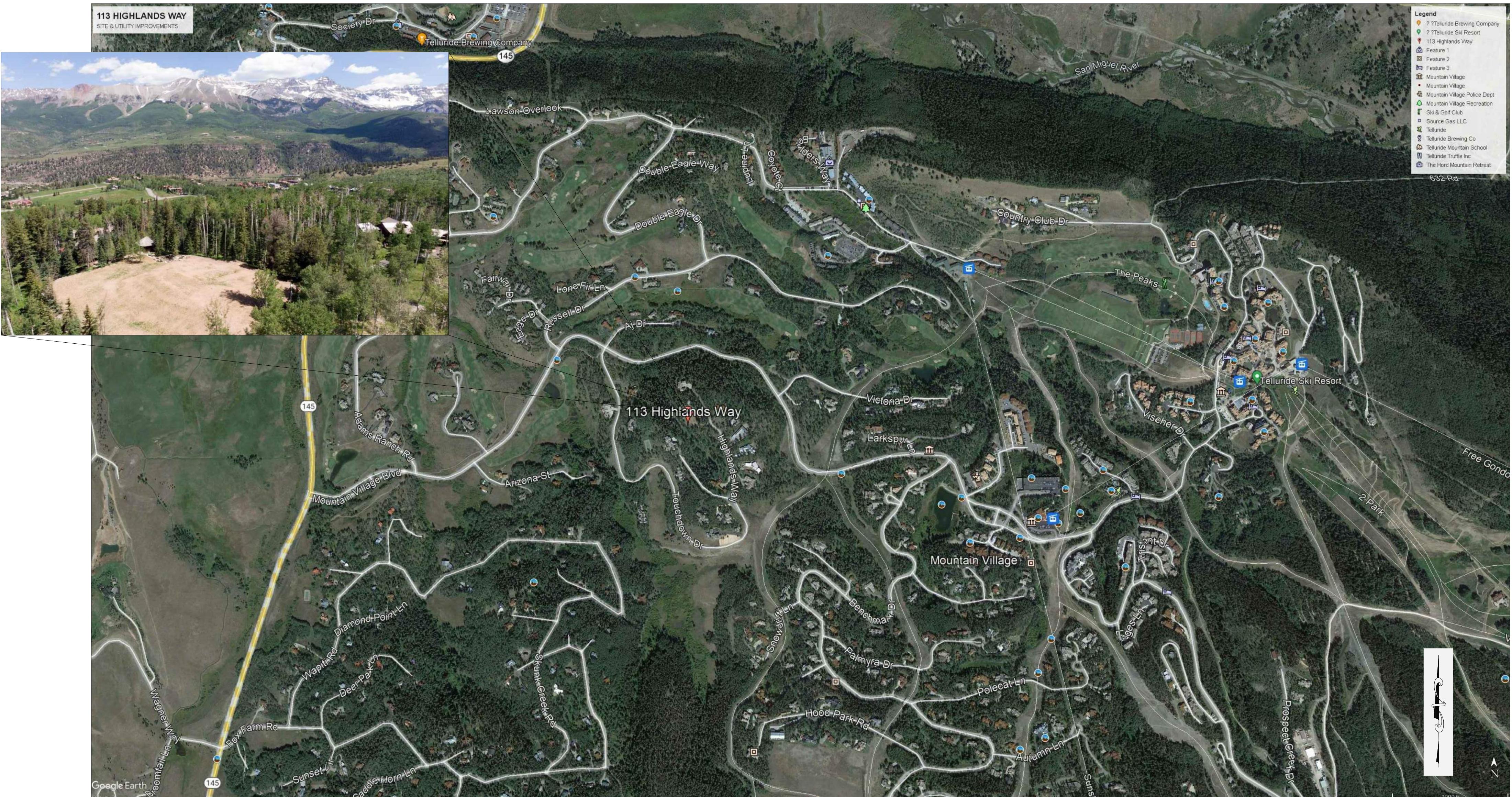
F: Stone Veneer

Blue River Granite
from Centurion Stone



113 HIGHLANDS WAY

MOUNTAIN VILLAGE, CO SITE & UTILITIES IMPROVEMENTS OCTOBER 2021



SHEET INDEX:

- C0.1 COVER SHEET & VICINITY MAP
- C0.2 NOTES & IMPROVEMENT SURVEY
- C1.1 OVERALL SITE PLAN
- C1.2 UTILITY COMPOSITE PLAN
- C1.3 DRIVEWAY GRADING & EROSION CONTROL PLAN
- C1.4 DRIVEWAY PLAN & PROFILE
- C1.5 DRIVEWAY SECTIONS & GRADING DETAILS
- C1.6 OVERALL SITE GRADING & EROSION CONTROL PLAN
- C2.1 DETAILS & NOTES



PROJ. # 21128
DESIGNED BY BMB | GMR
DRAWN BY GMR
DATE 10/03/21
DRAWING NUMBER C0.1

113 HIGHLANDS WAY
MOUNTAIN VILLAGE, CO
COVER SHEET &
VICINITY MAP



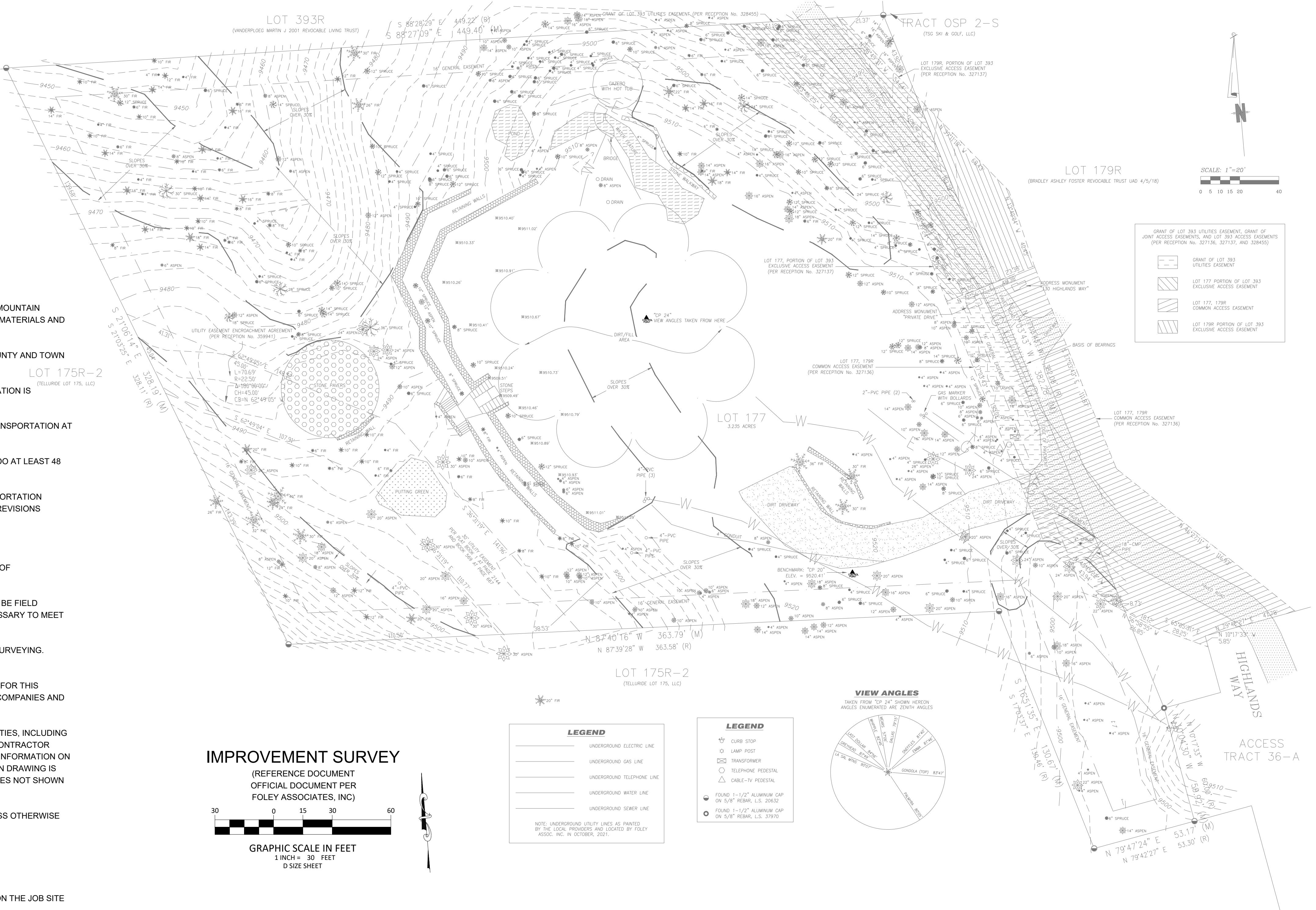
Baldwin Engineering, LLC
Moving Mountains.

SUMMIT AE
203 DESERT VANISH COURT
GRAND JUNCTION, CO 81507
970.270.0855

Brian Brey
02.06.2021

113 HIGHLANDS WAY MOUNTAIN VILLAGE, CO NOTES & IMPROVEMENT SURVEY

PROJ.# 21128
DESIGNED BY BMB | GMR
DRAWN BY GMR
DATE 10/03/21
DRAWING NUMBER C0.2



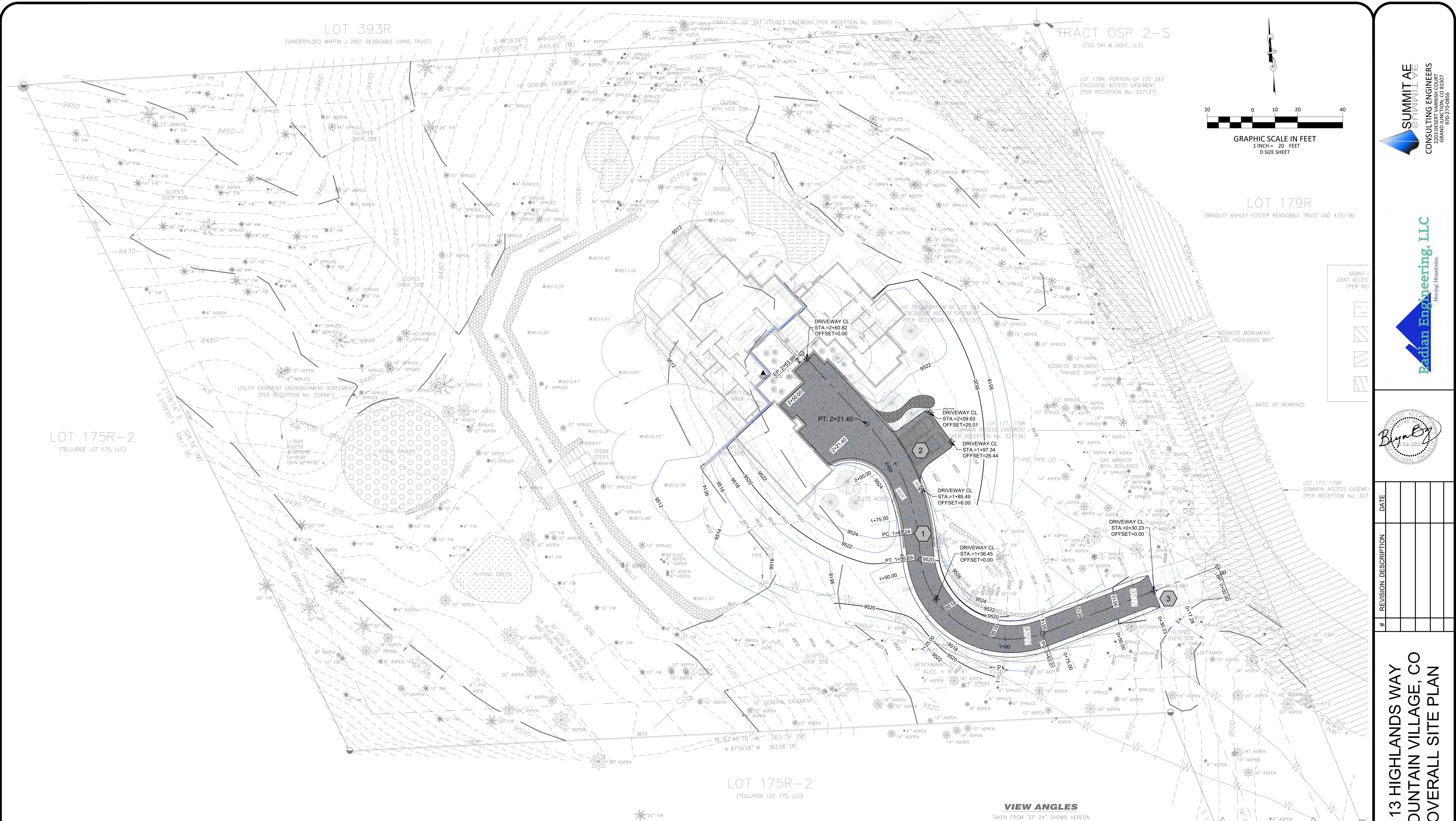
AREA OF DISTURBANCE:

0.53 ACRES: AREA OF DISTURBANCE
IMPERVIOUS: 0.08 ACRES EXIST / 0.25 ACRES PROP
1,871 CY CUT / 493 CY FILL

DRIVEWAY GRADE:

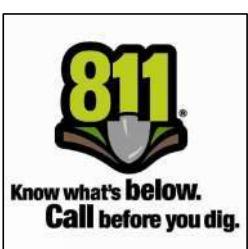
12% MAXIMUM TANGENTS
08% MAXIMUM CURVE RADIUS: >250'





113 HIGHLANDS WAY MOUNTAIN VILLAGE, CO OVERALL SITE PLAN

OJ.# 21128
SIGNED BY BMB | GMR
DRAWN BY GMR
DATE 10/03/21
DRAWING NUMBER
C1.1





CONSULTING ENGINEERS
2203 DESERT VARNISH COURT
GRAND JUNCTION, CO 81507
970-270-0856

PLAN TAG NOTES

- 1** CONNECT TO EXISTING SANITARY SEWER SERVICE.
 - 2** CONNECT TO EXISTING WATER.
 - 3** CONNECT TO EXISTING UNDERGROUND ELECTRIC.
 - 4** CONNECT TO EXISTING GAS LINE. ADDRESS MONUMENT
"PRIVATE DRIVE"
 - 5** CONNECT TO EXISTING TELE | CABLE.

**1577 PORTION OF LOT 393
EXCLUSIVE ACCESS EASEMENT —
ER RECEPTION No. 327137)**

This architectural site plan details the layout of Lot 177, which includes several buildings, a dirt fill area, and a dirt driveway. Key features include:

- Utilities and Easements:** The plan shows a 16' general easement at the bottom. Utility notes indicate the presence of 4" PVC pipes, 4" conduits, and 4" conduits. A benchmark is marked with elevation 9.
- View Angles:** View angles are taken from a control point labeled "CP 24".
- Topography:** The plan shows slopes over 30% and a dirt fill area.
- Lot Information:** Lot 177 is 3.235 acres.
- Buildings:** Various buildings are shown, including one labeled "ONE EPS".
- Driveway:** A dirt driveway leads to the property.
- Other Labels:** Labels include "RETTING WALLS", "DIRT FILL AREA", "DIRT DRIVeway", and "VIEW ANGLES TAKEN FROM HERE".

REMARK: "CP
EV = 9520

UTILITY NOTES

1. EXISTING UTILITY LOCATIONS PER FIELD SURVEY.
 2. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER(S) AND CITY INSPECTION TO ENSURE UTILITY EXTENSIONS ARE INSTALLED PER LOCAL CODES AND SPECIFICATIONS.
 3. CONTRACTOR TO VERIFY EXISTING SANITARY SEWER SERVICE INVERT ELEVATION PRIOR TO INSTALLATION OF SERVICE EXTENSION.
 4. CONTRACTOR TO VERIFY MINIMUM COVER OVER EXISTING AND PROPOSED WATER LINE POST DRIVEWAY GRADING.
 5. UTILITY EXTENSIONS SHOWN ARE APPROXIMATE: FINAL UTILITY ROUTING TO BE DETERMINED BY CONTRACTOR AND UTILITY PROVIDER.
 6. MATCH ALL EXISTING PIPE AND MATERIAL SIZES UNLESS DIRECTED BY UTILITY PROVIDER.
 7. CONTRACTOR TO LOCATE HORIZONTALLY AND VERTICALLY ALL SUBSURFACE PIPES, CONDUITS AND CABLES RELATED TO PRE-EXISTING SYSTEMS AND PROTECT IN PLACE

LEGEND

This site plan diagram includes a legend on the left and a graphic scale bar on the right.

Legend:

- CO**: SANITARY SEWER CLEAN OUT
- G**: GAS METER LOCATION
- E**: ELECTRIC PANELS
- T**: TELEPHONE PEDESTAL
- WV**: WATER VALVE

Proposed Services:

- SS**: PROPOSED SANITARY SEWER SERVICE
- W**: PROPOSED WATER LINE
- E**: PROPOSED UNDERGROUND ELECTRIC
- T**: PROPOSED TELE | CABLE
- G**: PROPOSED GAS LINE

Graphic Scale Bar:

20 0 10

GRAPHIC SCALE IN FEET
1 INCH = 20 FEET
D SIZE SHEET

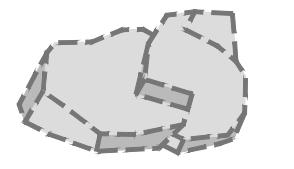
PROJ.#	21128
DESIGNED BY	BMB GMR
DRAWN BY	GMR
DATE	10/03/21
DRAWING NUMBER	
C1.2	



Structural BMP's/Erosion Control Legend

REFERENCE INSTALLATION DETAILS SHEET C1.4

VTC		Vehicle Tracking Pad A gravel pad, located at the points of vehicular ingress and egress on a construction site, to reduce the mud transported onto roads and paved areas. Use 3" screened rock, 12" thick. Pad dimensions of 12'x50'.
SF		Silt Fence A temporary barrier constructed of posts, filter fabric and sometimes a wire support fence, placed across or near the toe of a slope or in a minor drainage way to intercept and detain sediment and decrease flow velocities from drainage areas of limited size; applicable where sheet and rill or small concentrated flows may be a problem.
RS		Rock Sock A temporary sediment barrier composed of high strength tubular twine netting filled with densely packed coconut fibers. Diameters range from 12" to 20" and standard lengths of 10'.
PM		Permanent Mulching Revegetation Use of hydroseeded wood chips, stone, bark, etc., to cover the finished graded surfaces after construction activities. Part of the final landscaping including drainage ways, swales, etc. Used with permanent planting.
SM		Stockpile Management Temporary storage of construction materials managed to minimize erosion and sediment transport. Daily stabilization methods to be implemented as to stabilize stockpile materials.
SCL		Sediment Control Log Sediment control logs act as perimeter soil loss control. Logs shall be installed prior to any upgradient land-disturbing activities.
SSA		Stabilized Staging Area(s) Stabilized Staging Area(s) provide a site adequate structurally stabilized area. Stabilization shall be stabilized prior to any operations on the site.

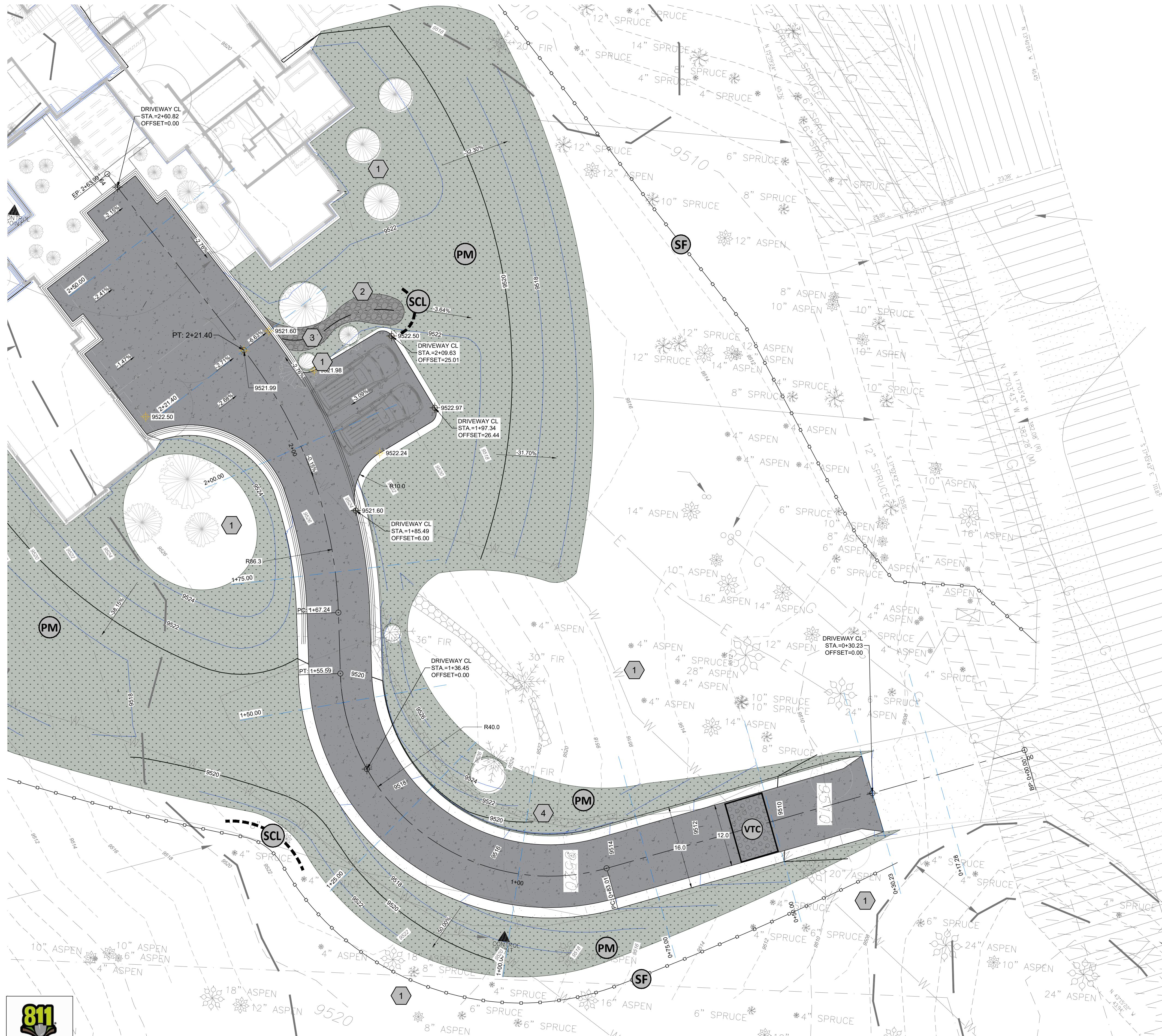
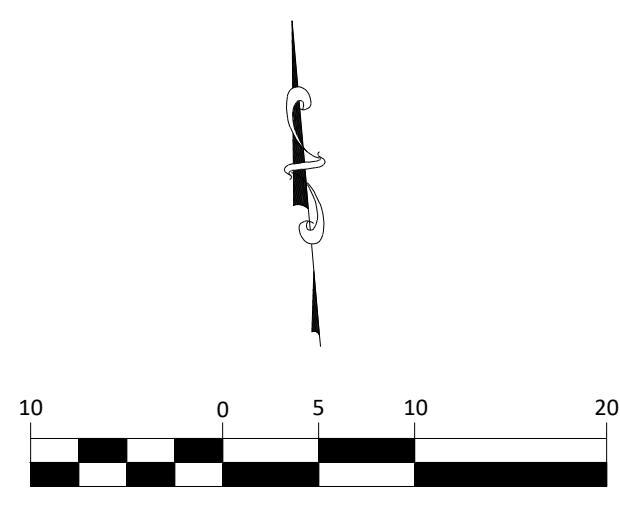


Existing on-site boulders to be implemented as retaining mass.

PLAN TAG NOTES

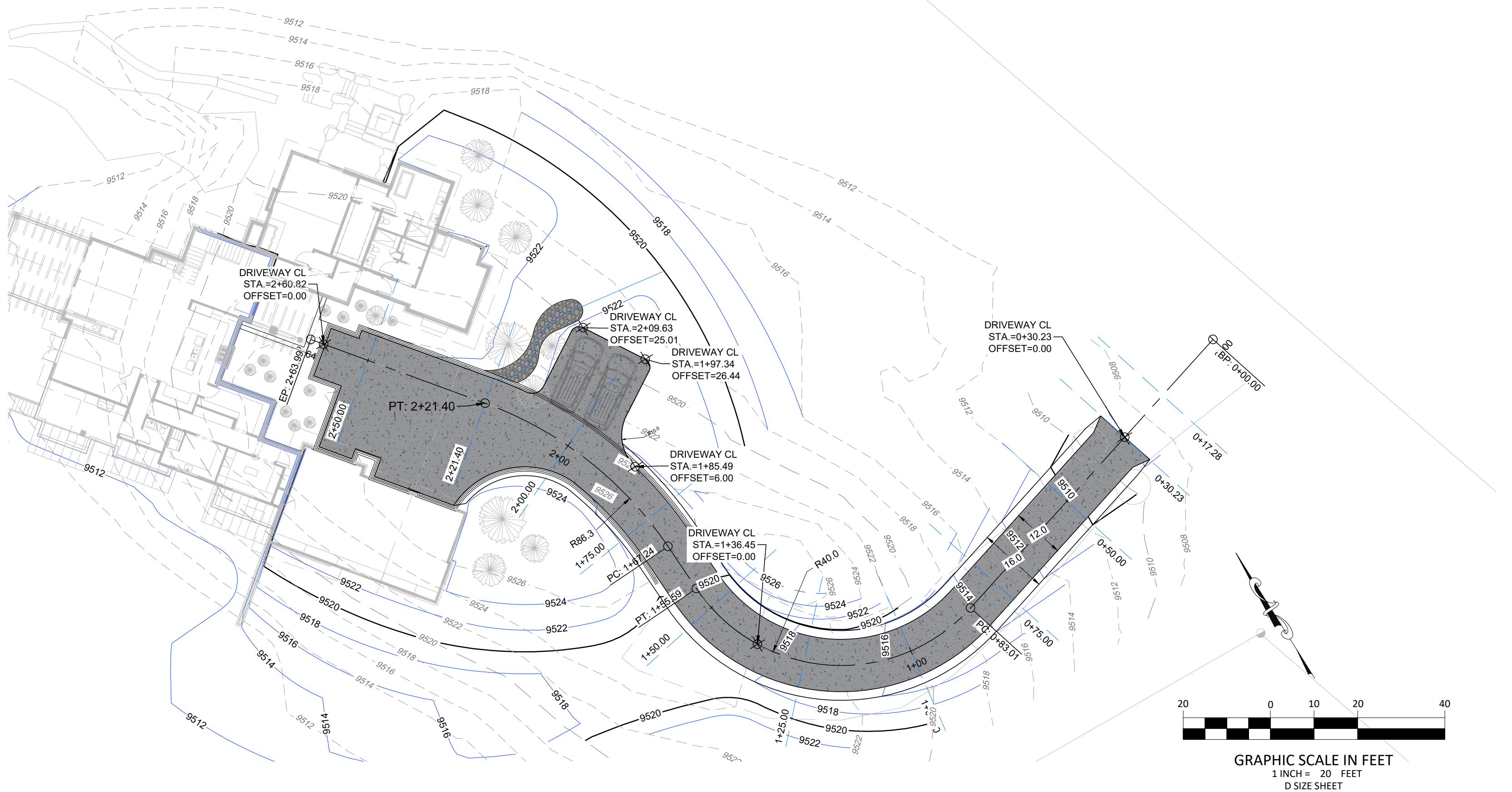
- 1** PRESERVE & PROTECT EXISTING TREES AND VEGETATION.
- 2** PLACE D-50 RIP RAP.
- 3** CONSTRUCT DRAINAGE SWALE.
- 4** RE-WORK EXISTING RETAINING WALL PER PROPOSED DRIVEWAY.

- - - EXITING 10' CONTOUR
 - - - EXITING 2' CONTOUR
 - - - PROPOSED 10' CONTOUR
 - - - PROPOSED 2' CONTOUR
 - - - PROPOSED FLOW LINE

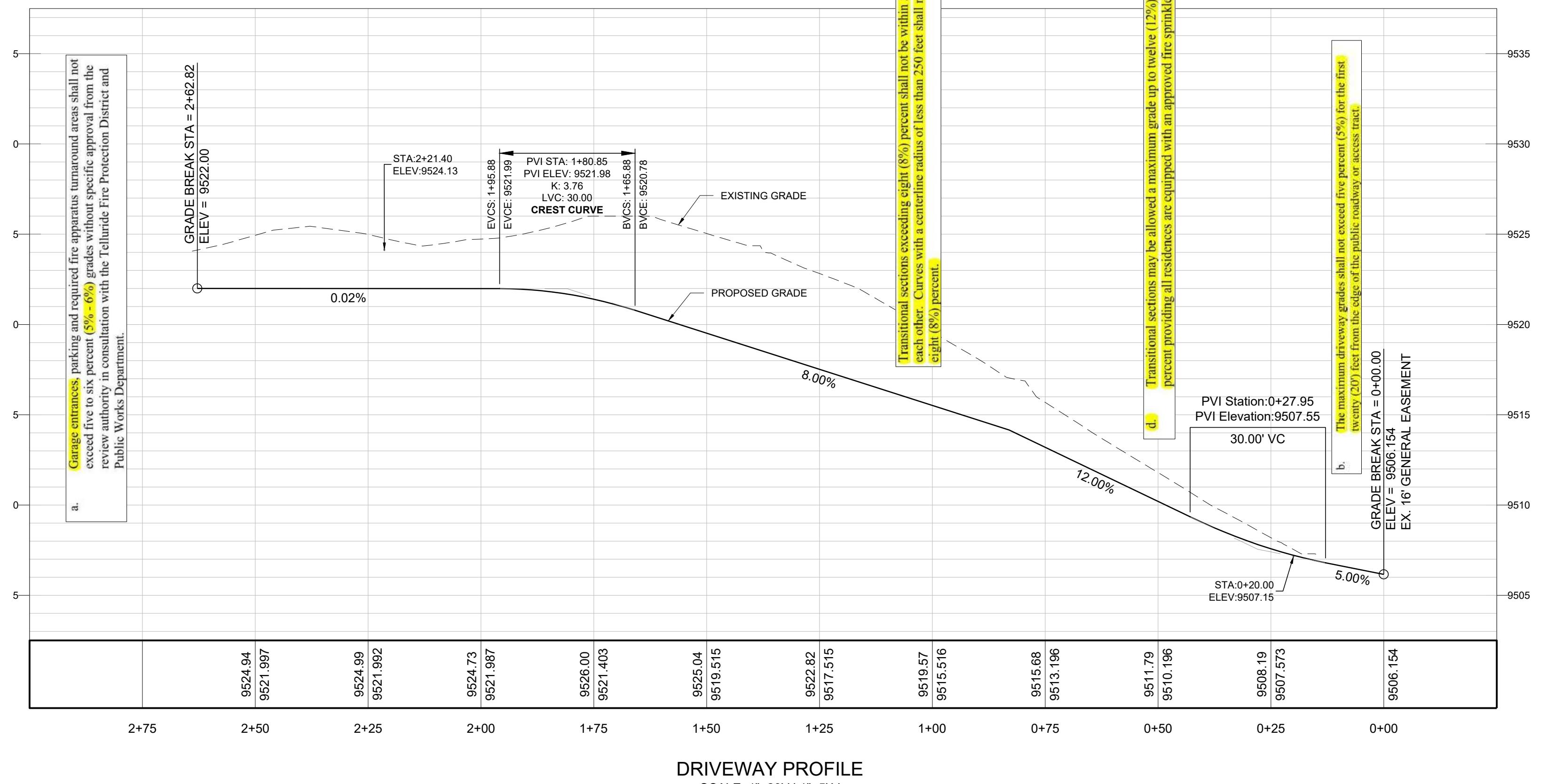


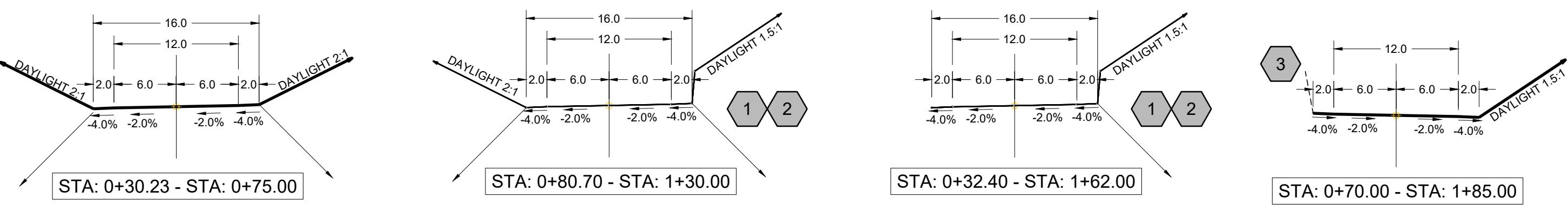
113 HIGHLANDS WAY MOUNTAIN VILLAGE, CO DRIVEWAY PLAN & PROFILE

PROJ.#	21128
DESIGNED BY	BMB GMR
DRAWN BY	GMR
DATE	10/03/21
DRAWING NUMBER	C1.4

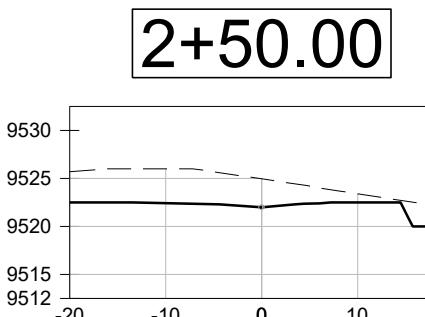
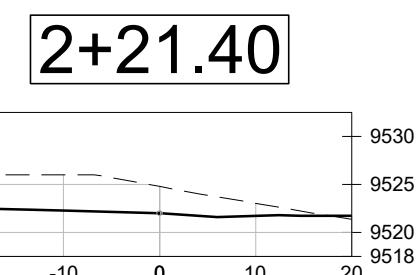
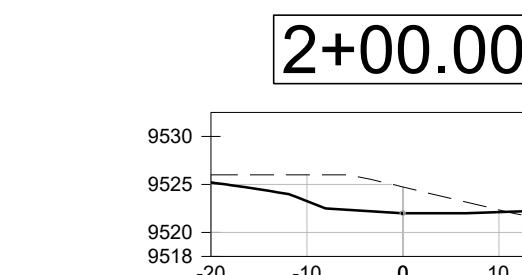
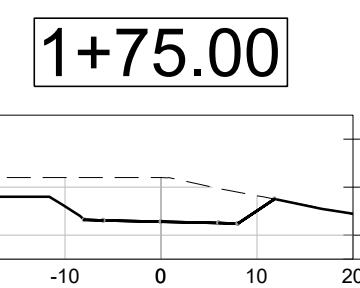
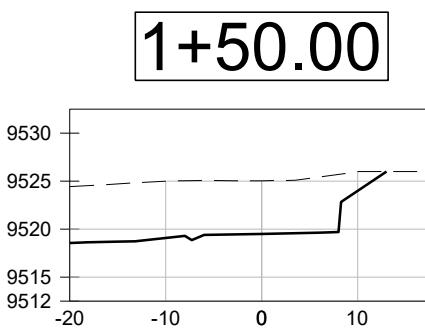
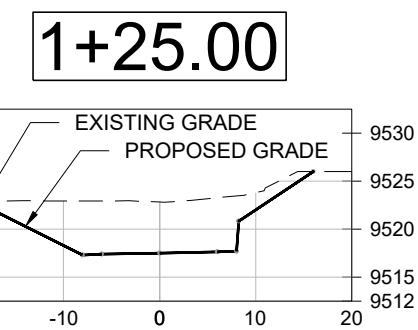
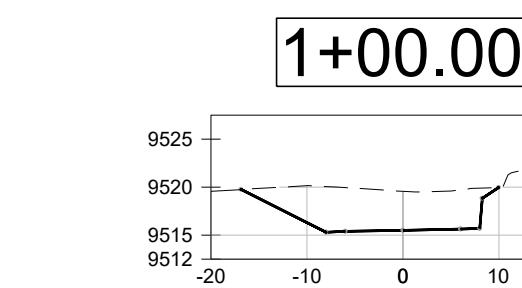
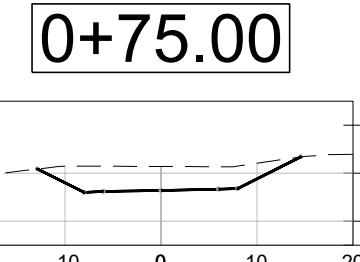
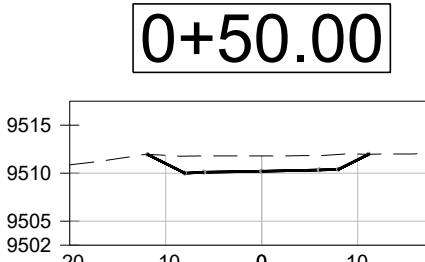
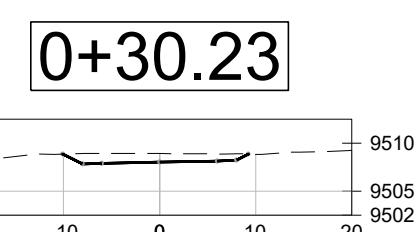
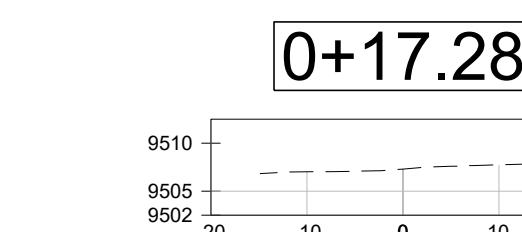


DRIVEWAY CL





DRIVEWAY SECTION TYPES N.T.S.



DRIVEWAY SECTIONS

SCALE: 1"=20' H & V

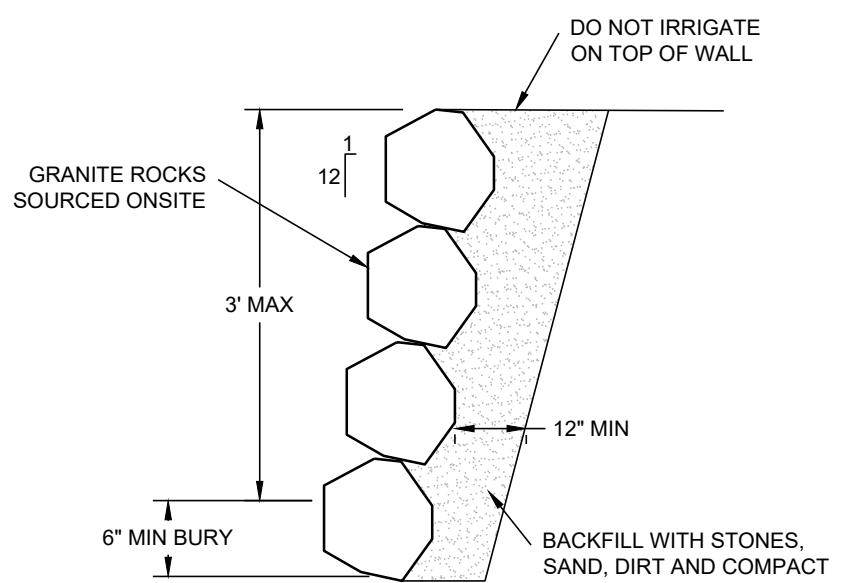
DRIVEWAY SECTION NOTES

6" CONCRETE OVER 6" CLASS 6 ABC OVER 12" RECOMPACTED SOILS.

GAPS IN STATIONS REPRESENT TRANSITION ZONES BETWEEN SECTION TYPES.

SCARIFY EXISTING GROUND BENEATH DRIVEWAY SURFACE

NOTE: IF DRIVEWAY FILL IS NEEDED, NATIVE, SCREENED MATERIAL WHICH PASSES THE NUMBER 40 SIEVE MAY BE USED. THE FILL SHALL BE COMPAKTED TO 95% STANDARD PROCTOR.



**3' DRY STACKED STONE
RETAINING WALL (DSSRW)**

NOT TO SCALE

PLAN TAG NOTES

- 1** RE-WORK EXISTING RETAINING WALL.
- 2** CONSTRUCT NEW RETAINING WALL PER DETAIL THIS SHEET.
- 3** RETAINING WALL PER ARCHITECTURAL PLAN.

113 HIGHLANDS WAY
MOUNTAIN VILLAGE, CO
DRIVEWAY SECTIONS &
GRADING DETAILS

PROJ.# 21128

DESIGNED BY BMB | GMR

DRAWN BY GMR

DATE 10/03/21

DRAWING NUMBER

C1.5



Know what's below.
Call before you dig.

Structural BMP's/Erosion Control Legend

REFERENCE INSTALLATION DETAILS SHEET C1.4



CONSULTING ENGINEERS
203 DESERT VARNISH COURT
GRAND JUNCTION, CO 81507



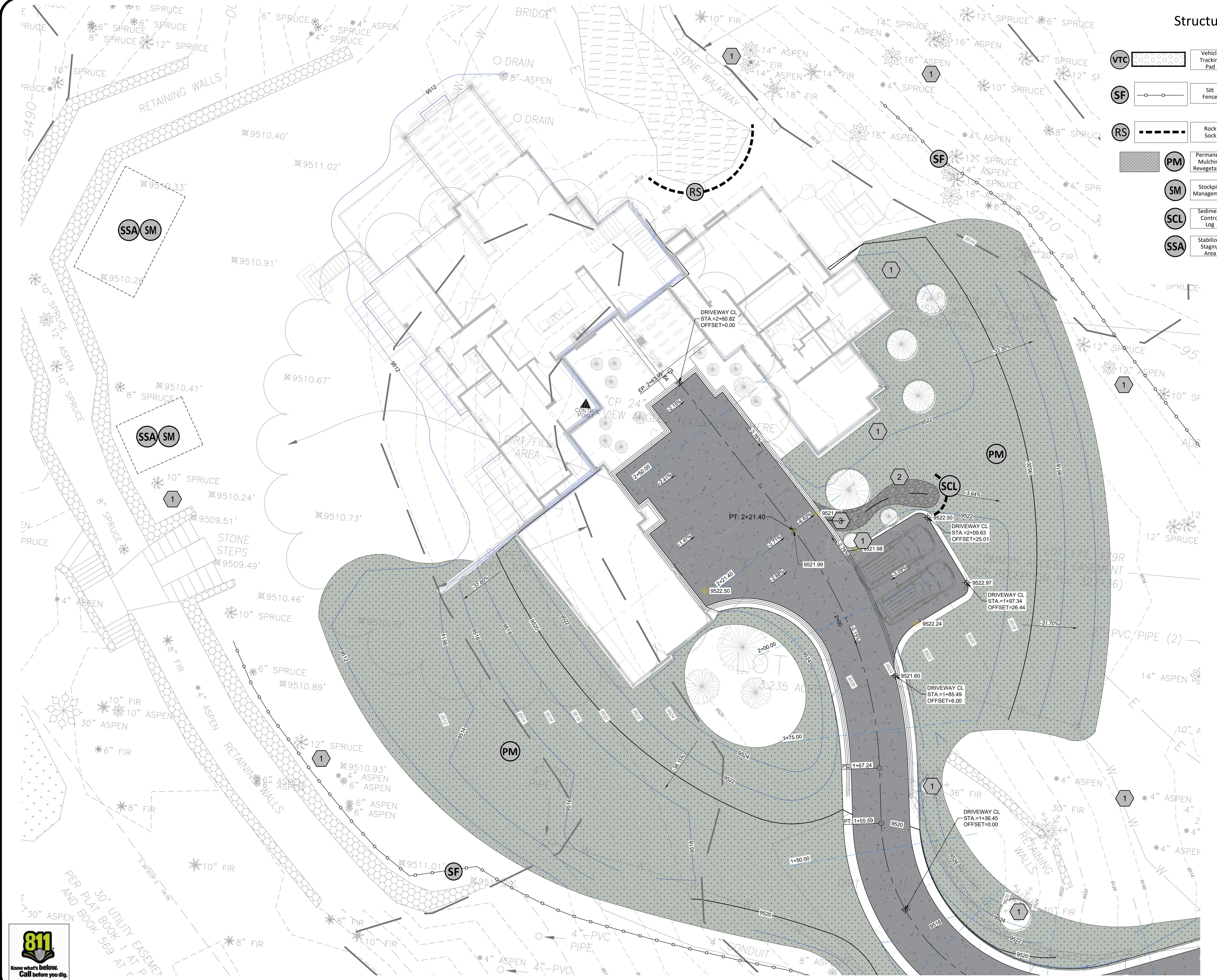
A handwritten signature "Brynn Boyd" is written over a circular stamp. The stamp contains the text "COLORADO", "BRYNN BOYD", "JULY 2010", "448534", "10.26.2021", and "MINEER".

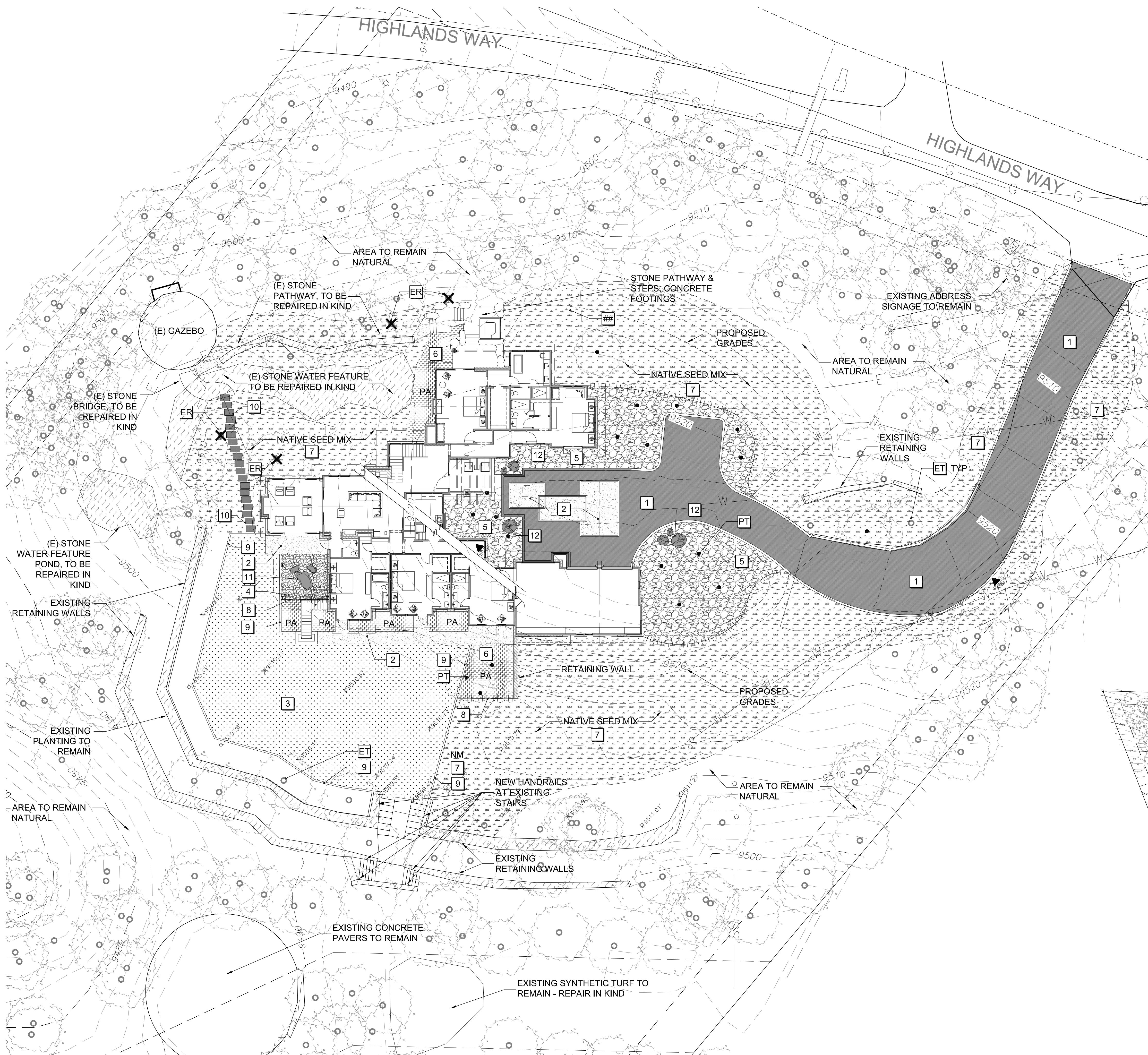
**113 HIGHLANDS WAY
MOUNTAIN VILLAGE, CO
OVERALL SITE GRADING &
EROSION CONTROL PLAN**

113 HIGHLANDS WAY MOUNTAIN VILLAGE, CO OVERALL SITE GRADING & EARTHWORK CONSTRUCTION PLAN

PROJ.# 21128
DESIGNED BY BMB | G
DRAWN BY GMR
DATE 10/03/21
DRAWING NUMBER
C1.6

C1.6





1 LANDSCAPE MATERIAL PLAN

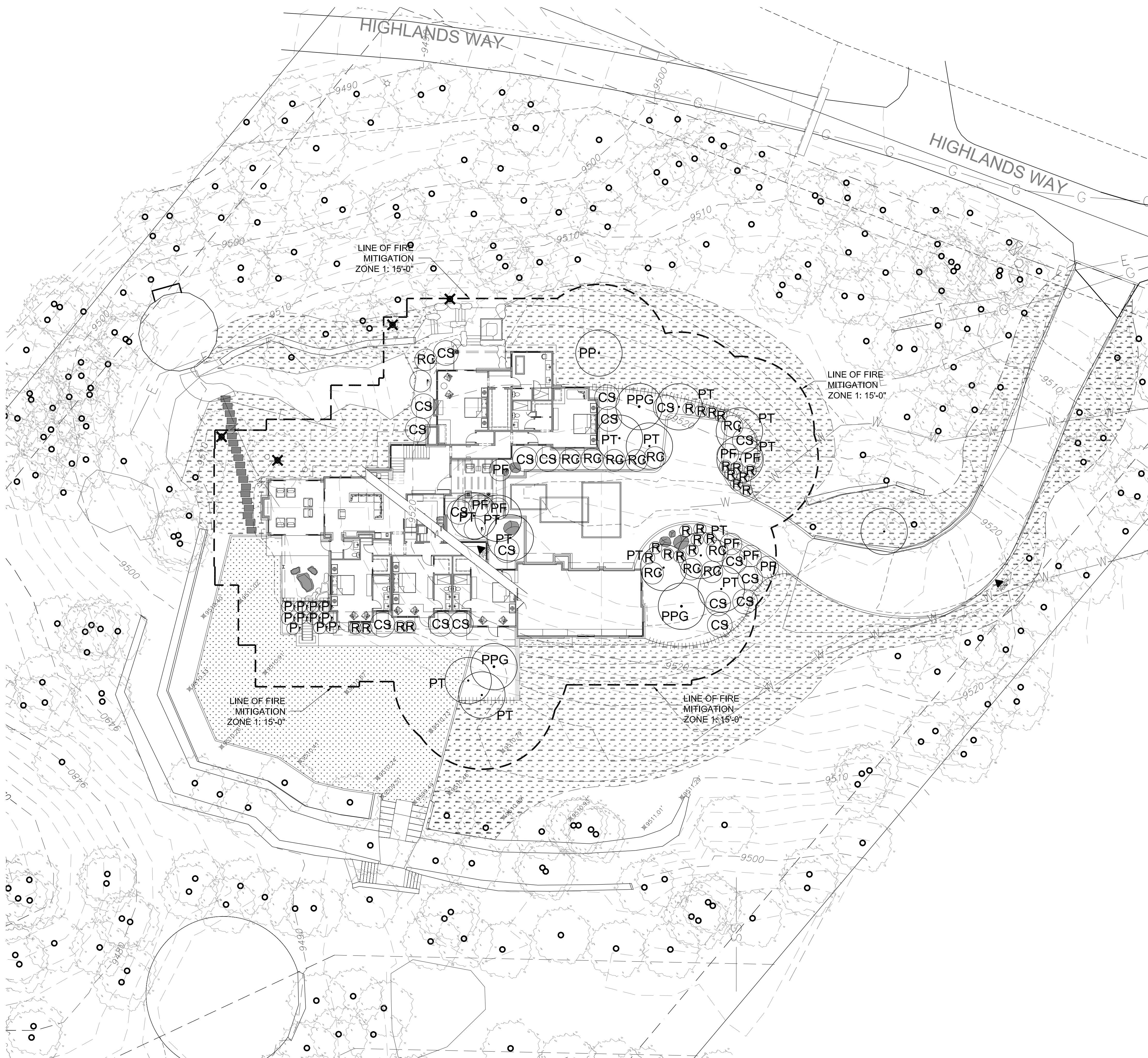
MATERIAL LEGEND		
KEY	SYMBOL	DESCRIPTION
1	[Solid Gray Box]	ENTRY DRIVE - CONCRETE ASPHALT PAVING WITH AGGREGATE BASE
2	[Hatched Box]	NATURAL STONE PAVING W/ CONCRETE BASE
3	[Dotted Box]	TURF LAWN - SOD TURF WITH OVERHEAD SPRAY IRRIGATION SYSTEM
4	[Cross-hatched Box]	3/8" PATHWAY FINES - WEED BARRIER FABRIC IS TO BE PLACED BELOW ALL AREAS
5	[RC]	RIVER COBBLE - VARIABLE SIZED RIVER COBBLE PLANTING GROUND COVER
6	[PA]	PLANTING AREA - GROUND COVERS, GRASSES & SHRUBS. INDIVIDUAL PLANS ARE TO BE SERVICED WITH DRIP IRRIGATION EMMITTERS & BUBBLERS. SEE PLANTING PLANS
7	[NM]	NATIVE SEED MIX TO REPAIR DISTURBED AREAS FROM CONSTRUCTION ACTIVITIES. SEE PLANTING PLANS FOR MIX DESIGN
8	[Dashed Line]	4" DEEP ALUMINUM OR APPROVED EQUAL EDGE CONSTRAINT WITH 8" MIN STAKES AT PLANTING AREAS & LAWNS
9	[Line]	6" CONCRETE MOW BAND
10	[Grey Box]	2"-4" THICK GREY RECTANGULAR STONE PAVER, SET ON 1-2" OF COMPACTED SAND OR BASE ROCK
11	[Rock Shape]	BOULDER ARRANGEMENT
12	[Rock Shape]	RIVER ROCK BOULDER
ET	[Tree with X]	EXISTING TREE - PROTECT IN PLACE. IF IRRIGATION LINES OCCUR UNDER THE DRIPLINE OF THE TREE, TRENCHING IS TO BE HAND DUG.
ER	[Tree with X]	EXISTING TREE TO BE REMOVED QTY: 4
PT	[Tree with Circle]	PROPOSED TREE - SEE PLANTING PLAN

2 SITE PLAN



1/16"=1'-0" NORTH

1/64"=1'-0" NORTH



PLANTING LEGEND				
TREES				
KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
AG	ACER TATARICUM GINNALA 'FLAME'	AMUR MAPLE	1	24" BOX
PP	PICEA PUNGENS	COLORADO SPRUCE	1	24" BOX
PPG	PICEA PUNGENS GLAUCA	BLUE SPRUCE	3	24" BOX
PT	POPULUS TREMULOIDES	QUAKING ASPEN	13	24" BOX
SHRUBS				
KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
CS	CORNUS SERICEA	RED DOGWOOD	19	5 GAL
J	JUNIPERUS COMMUNIS	COMMON COMMON JUNIPER	14	5 GAL
PF	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	8	5 GAL
P	PTERIDIUM AQUILINUM	BRACKEN FERN	11	5 GAL
RC	RIBES CEREUM	WAX CURRANT	13	5 GAL
R	ROSA WOODSII	WOODS' ROSE	24	5 GAL
GROUND COVERS				
KEY	SYMBOL	DESCRIPTION		
	[dotted pattern]	TURF LAWN - SOD TURF WITH OVERHEAD SPRAY IRRIGATION SYSTEM		
	[solid pattern]	PLANTING AREA - SEED MIX: WESTERN YARROW 5% TALL FESCUE 10%, ARIZONA FESCUE 5%, HARD FESCUE 5%, CREEPING RED FESCUE 10%, ALPINE BLUEGRASS 15%, CANADA BLUEGRASS 10%, PERENNIAL RYEGRASS 15%, SLENDER WHEATGRASS 10%, MOUNTAIN BROME 15%		

GENERAL LANDSCAPE NOTES:

1. ALL PLANTING AREAS ARE TO RECEIVE IRRIGATION IN ACCORDANCE WITH THE COMMUNITY DEVELOPMENT CODE PER TITLE 17 OF TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE
2. ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT.
3. ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
4. NECESSARY TREES SHALL BE STAKED WITH 4 FOOT METAL POSTS. TREES SHALL BE GUED WITH 12 GAUGE
5. GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
6. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC
7. FERTILIZER AT A 2:1 RATIO.
8. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES. MULCH ALL PERENNIAL BEDS WITH A PINE
9. BARK SOIL CONDITIONER: SHREDDED BARK.
10. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
11. ALL PLANTED MATERIALS SHALL BE A NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY
12. NOXIOUS WEED LIST: LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH SECTION 9-109 OF
13. THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
14. ALL NEW PLANTED ASPEN TREES TO BE MULTI-STEM TREES.

REVEGETATION NOTES:

1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN TEN DAYS) TO MINIMIZE EROSION AND WEEDS.
4. AREAS WHICH HAVE BEEN COMPACTED, OR ARE RELATIVELY UNDISTURBED, NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
5. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING.
6. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY AND 2 TONS PER ACRE FOR STRAW, CRIMP IN.
7. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
8. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.

FIRE MITIGATION NOTES:

ZONE 1:

1. ALL SLASH AND FLAMMABLE VEGETATION SHALL BE REMOVED FROM ZONE 1.
2. ALL TREES AND SHRUBS LOCATED WITHIN ZONE 1 SHALL BE REMOVED.

ZONE 2:

1. DOMINANT AND CODOMINANT LIVE TREES WITH A DBH OF FOUR INCHES (4") OR GREATER SHALL BE SPACED WITH A TEN FOOT (10') CROWN-TO-CROWN SEPARATION. ALL LADDER FUELS AND SLASH SHALL BE REMOVED FROM THE TEN FOOT (10') CROWN-TO-CROWN SEPARATION AREA.
2. ALL STRESSED, DISEASED, DEAD OR DYING TREES AND SHRUBS, AS IDENTIFIED BY STAFF, SHALL BE REMOVED EXCEPT FOR STANDING DEAD TREES THAT STAFF INDICATES NEED TO BE MAINTAINED SINCE STANDING DEAD TREES PROVIDE IMPORTANT WILDLIFE HABITAT.
3. SHRUBS OVER FIVE FEET (5') TALL SHALL HAVE AN AVERAGE SPACING OF TEN FEET (10') FROM SHRUB-TO-SHRUB.
4. TREES REMAINING WITHIN ZONE 2 SHALL HAVE BRANCHES PRUNED TO A HEIGHT OF TEN FEET (10'), BUT NOTWITHSTANDING SAID HEIGHT REQUIREMENT, BRANCHES NEED NOT BE PRUNED TO MORE THAN ONE-THIRD (1/3) OF THE TREE HEIGHT WITH THE FOLLOWING EXCEPTIONS:
 - ASPEN TREES
 - ISOLATED SPRUCE AND FIR TREES.

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