

NARRATIVE

10.25.21

- To: Community Development Department Design Review Board Mountain Village, CO
- From: Jack Wesson Jack Wesson Architects, Inc. 110 S. Pine #100 P.O. Box 2051 Telluride, CO 81435 (970) 519.1551 jwesson@me.com.com
- Re: Design Review Submission Narrative for a Single Family Residence Lot BR600-11, 22 Trails Edge, Mountain Village

This single family residence is proposed to be built on lot BR600-11 (lot size .34 acres). The interior gross heated area is approximately 4314 s.f., 100 s.f. of mechanical and 500 s.f. of gross garage area. The design esthetic is a rustic, mining vernacular in material and massing components as required by the Trails Edge Design covenants. The exterior materials incorporate stained wood siding and timbers, stone and mill-scale steel finish railings and rusted metal roofing (as required). Roof forms are traditional gable forms also compliant with the Trails Edge design requirements. The project is compliant with the Mountain Village Land Use Ordinance; the massing is within the maximum height limit (23'-0 1/2" ave. and 38-0"' max.) and the site coverage (3733/14942) is only 25.3%.

No variances are requested. All Fireplaces will be natural gas.

The exterior materials meet the surface area criteria:

stone veneer	38.84% (exceeds 35%)
fenestration	21.22%
wood	26.76%
metal accent	13.17%
Lot Area:	14942 s.f. mol. (.34 acres)
Site Coverage:	3733 s.f. or 25.3%
Floor Area Living:	4314 s.f. plus 100 s.f. mechanical
Floor Area Garage	500 s.f.
Ave. Ht.	23'-0 1/2" (30' max. ave. allowed)
Max. Ht.	38'-0" (40' max. allowed)

Sincerely, Jack Wesson

	BUILDING SUMMA	RY	CODE SUMMARY
	RMIT NUMBER: G PERMIT NUMBER:	-	BUILDING CODE: INTERNATIONAL RESIDENTIAL CODE (2012) INTERNATIONAL ELECTRICAL CODE (2012)
PROJECT BLOCK:	T ADDRESS:	TBD TRAIL'S EDGE	INTERNATIONAL FIRE CODE (2012) INTERNATIONAL MECHANICAL CODE (2012)
LOT:		600BR-11-R	INTERNATIONAL PLUMBING CODE (2012)
	A: DISTRICT:	14,942 SQ. FT.	ENERGY CODE: NATIONAL ENERGY CODE (2017) TYPE OF CONSTRUCTION: TYPE 5-B
PROPOS		SINGLE FAMILY RESIDENTIAL	OCCUPANCY: R-3
	OF STORIES:	3	BUILDING AREA: 4,314 SF LIVING 4,914 TOTAL
NUMBER	OF SUB-LEVELS:	1	***FIRE SPRINKLERS REQUIRED 130 LB GROUND SNOW LOAD, 90 MPH EXPOSURE C WIND,
٨R	BREVIATIONS & S		FROST DEPTH 48" GENERAL NOTES
	L, BUILDING OR		
MISC SEC DRA	CELLANEOUS TION NO. WING NO.	1 A4.0	GN01- CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES
ELE	VATION NO. ET NO.	A-7.0	BETWEEN THE PARTS SHALL BE REPORTED TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
ROC	DM NAME DM NO.	KITCHEN 206	GN02- MATERIALS AND ASSEMBLIES: ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, O.S.H.A. REQUIREMENTS, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUB-CONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST
	DR NO.	(117)	STANDARDS OF CRAFTSMANSHIP.
WIN FRA	VATION DOW NO. ME WALL	S1	GN03- CONTRACTOR TO REVIEW GEO-TECHNICAL REPORT FOR BUILDING SYSTEM RECOMMENDATIONS. SHOULD UNEXPECTED SITE CONDITIONS ARISE DURING EXCAVATION, THE ARCHITECT AND GEO-TECHNICAL ENGINEER SHALL BE NOTIFIED FOR A SITE EVALUATION OF EXISTING
BRIC	CK/STONE VENEER		CONDITIONS. GN04- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE
	OT ELEVATION OF SLOPE		DOCUMENTS, VERIFY THE ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL
A.B.	AS BUILT / ANCHOR BOLT	10	EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH THE FLOORS, CEILING AND WALLS WITH ALL
A.C.T.	ACOUSTICAL CEILING TILE	MAX. MAXIMUM MECH. MECHANICAL	ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS.
ADJ. A.F.F.	ADJUSTABLE ABOVE FINISH FLOOR	MFG. MANUFACTURER M.H. MANHOLE	
ALT.	ALTERNATE	MIN. MINIMUM	GN05- ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE
ALUM.	ALUMINIUM	MISC. MISCELLANEOUS	"CONTRACTOR" INCLUDE GENERAL CONTRACTOR AND HIS/HER SUBCONTRACTORS. THEY SHALL BE ONE AND THE SAME.
BD. BLDG.	BOARD BUILDING	M.L. / ML MICRO-LAM M.L.R./MB MICRO-LAM BEAM.	
BOT.	BOTTOM	N.I.C. NOT IN CONTRACT	GN06- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS AND THE CERTIFICATE OF
BYND. C.A.T.V.	BEYOND CABLE TELEVISION LINE	NO. NUMBER N.T.S. NOT TO SCALE	OCCUPANCY.
C.J.	CONTROL JOINT	O.C. ON CENTER	GN07- THE CONTRACTOR SHALL COMPILE AND SUBMIT AS REQUIRED TO
C.M.U. COL.	CONCRETE MASONRY UNIT	O.P. OUTSIDE DIAMETER OPNG. OPENING	MANUFACTURERS AND OWNER ALL MATERIAL, FIXTURE AND APPLIANCE WARRANTIES.
CONC.	CONCRETE	OPP. OPPOSITE	GN08- THE JOBSITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY
CONT.	CONTINUOUS	PERF. PERFORATED	MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS.
CTR. DET.	CENTER DETAIL	P.L. PROPERTY LINE P.LAM. PLASTIC LAMINATE	THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOB SITE.
DIAG.	DIAGONAL ELECTRIC LINE	POL. POLISHED	GN09- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT AND THE PROTECTION
EA. E.J.	EACH EXPANSION JOINT	PR. PAIR	OF NEIGHBORING PROPERTIES.
E.J. EQ.	EQUAL	PTD. PAINTED REQ'D. REQUIRED	GN10- THE CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT
EXP. JT.	EXPANSION JOINT	RM. ROOM	MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.
EXT. FIN.FL/F.F.	EXTERIOR FINISHED FLOOR	R.O. ROUGH OPENING	GN11- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL
FIN. GR.	FINISHED FLOOR	SCHED. SCHEDULE SHT. SHEET	NECESSARY ACCESS PANELS IN ALL PARTITIONS, FLOORS, CEILING, AND
F.S.P.	FIRE STAND PIPE	SIM. SIMILAR	WALLS AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED
F.V.	FIELD VERIFY	SPEC. SPECIFICATION	FLUSH TO SURFACE WITH NO TRIM.
GA. GALV.	GAUGE GALVANIZED	SQ. FT. SQUARE FEET SQ. IN. SQUARE INCHES	GN12- FOR THIS PROJECT, DATUM 100.00' IS SET AT FINISH FLOOR, MAIN
GBX.	GYPSUM BOARD TYPEX	STD. STANDARD	LEVEL OF THE UNIT. GN13- DATUM ELEVATIONS ARE GIVEN TO TOP OF FINISH FLOOR. ALL
GL. GB.	GLASS GYPSUM WALL BOARD	STL. STEEL	OTHER FINISH MATERIALS ARE ADDED TO THESE GIVEN ELEVATIONS
H.C.	HOLLOW CORE	TC. TOP OF CURB. T & G. TONGUE & GROOVE	UNLESS OTHERWISE NOTED.
H.M.	HOLLOW METAL	T.O.C. TOP OF CONCRETE	GN14- DO NOT OBTAIN DIMENSIONS BY SCALING DRAWINGS - USE WRITTEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS
HORIZ.		T.O.S. TOP OF SLAB	AND ANY DISCREPANCY SHALL BE REPORTED TO THE PROJECT
HVAC. I.D.	HEATING VENTILATION INSIDE DIAMETER	TYP. TYPICAL T. TELEPHONE LINE	ARCHITECT BEFORE THE COMMENCEMENT OF WORK.
IN.	INCH / INCHES	U.B.C. UNIFORM BUILDING CODE	GN15- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TAKEN TO THE
INSUL.	INSULATION JOINT	U.N.O. UNLESS NOTED OTHERWISE	FOLLOWING IN ORDER OF PRIORITY:
LAM.	LAMINATED	VERT. VERTICAL V.I.F. VERIFY IN FIELD	A. GRID LINES
LAV.	LAVATORY	WD. WOOD	B. FLOOR LINES C. WORK POINTS D. STRUCTURAL STEEL E. FACE OF STUD
			F. FACE OF STUD F. FACE OF CONCRETE G. FACE OF FINISH

DDE (2012) DE (2012)	
2)	
DDE (2012)	

DE (2017)

DTAL QUIRED*** ND,

GN16- UNLESS OTHERWISE NOTED, DIMENSIONS ARE ASSUMED TO BE: A. PLUMB B. LEVEL C. SQUARE E. PARALLEL F. TO ESTABLISHED AXES OR BASELINES AS ESTABLISHED BY DIMENSIONAL OR ANGULAR NOTATIONS GN17- ALL GLASS MUST CONFORM TO CODE REQUIREMENTS FOR SAFETY GLAZING. GN18- MATERIALS, WHERE REQUIRED, ARE TO HAVE AN UL LABEL IN AN INCONSPICUOUS BUT VISIBLE LOCATION. GN19- SIZES, DIMENSIONS, LOCATIONS, AND DETAILS OF PLANTERS,

TREE GATES, CONCRETE FINISH, TILE PATTERNS, GRADING, SITE LIGHTING, ETC., ASSOCIATED WITH LANDSCAPE ARE SHOWN ON LANDSCAPE DRAWINGS.

GN20- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF UTILITY LINES, AGGREGATE BASES, SPOT ELEVATIONS ETC., ASSOCIATED WITH CIVIL ARE SHOWN ON THE CIVIL DRAWINGS.

GN21- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF STRUCTURAL MEMBERS, BEAMS, SLABS, WALLS, OPENINGS, ETC., ARE SHOWN ON STRUCTURAL DRAWINGS.

GN22- SIZES, DIMENSIONS, LOCATIONS AND DETAIL OF REGISTERS, DUCTS, EQUIPMENT, WALL OPENINGS, LOUVERS, ACCESS HATCHES, EQUIPMENT CURBS, VENTS, ETC., ASSOCIATED WITH HEATING VENTILATING AND AIR CONDITIONING ARE CONTAINED ON THE MECHANICAL DRAWINGS. COORDINATE LOCATION OF REGISTERS WITH ARCHITECTURAL REFLECTED CEILING PLAN.

SITE PLAN GENERAL NOTES SPGN01- CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS WITH EACH UTILITY AGENCY PRIOR TO EXCAVATION.

SPGN02- CONTRACTOR TO VERIFY ALL FLOOR ELEVATIONS PRIOR TO EXCAVATION.

SPGN03- CONTRACTOR TO PROTECT ALL TREES ON PROPERTY & ADJACENT PROPERTIES THAT EXTEND OVER PROPERTY LINE.

SPGN04- THE PROJECT SHALL COMPLY WITH THE TOWNS FIRE MITIGATION STANDARDS

SPGN05- THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

DRB notes:

-Areas disturbed within the General Easement utilized during construction shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy.

-Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.

-Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either noncombustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

-Prior to issuance of a CO, the property owner will enter into a Road Right of Way and General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the road right of way and general easement encroachments approved.

-A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height (consistent with CDC Section 17.3.12.C.)

-A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

-Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

Stone: setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4')

Wood that is stained in the approved color(s)

Any approved metal exterior material

Roofing material(s)

Any other approved exterior materials

-All areas of glazing to be specified as non-reflective material.

DRAWING INDEX

ARCHITECTURAL A000 PROJECT DATA DRAWING INDEX

A000	PROJECT DATA, DRAWING INDEX,	CT
	PROJECT DIRECTORY SURVEY	C2
A100	SITE PLAN	
A101	CONSTRUCTION STAGING PLAN	C3
A102	FIRE MITIGATION PLAN	
A103	LANDSCAPE & IRRIGATION PLANS	
A104	EXTERIOR LIGHTING PLAN	
A105	SNOW MELT PLAN	
A201	ENTRY LEVEL PLAN	
A201 A202	2ND AND 3RD LEVEL FRAMING PLANS	
A202	4TH LEVEL FRAMING PLAN	
A203 A204	ROOF FRAMING PLAN	
A205	AREA ANALYSIS	
/ 1200		
A300	HEIGHT CALCS	
A301	ELEVATIONS	
A302	ELEVATIONS	
A305	MATERIAL CALCS	
A600	DETAILS	
A601	WINDOW DETAILS	
A602	EXTERIOR DOOR DETAILS	

A900 MATERIAL SAMPLE PHOTOS AND CUT SHEETS

PROJECT AXONOMETRIC



PROJECT DIRECTORY

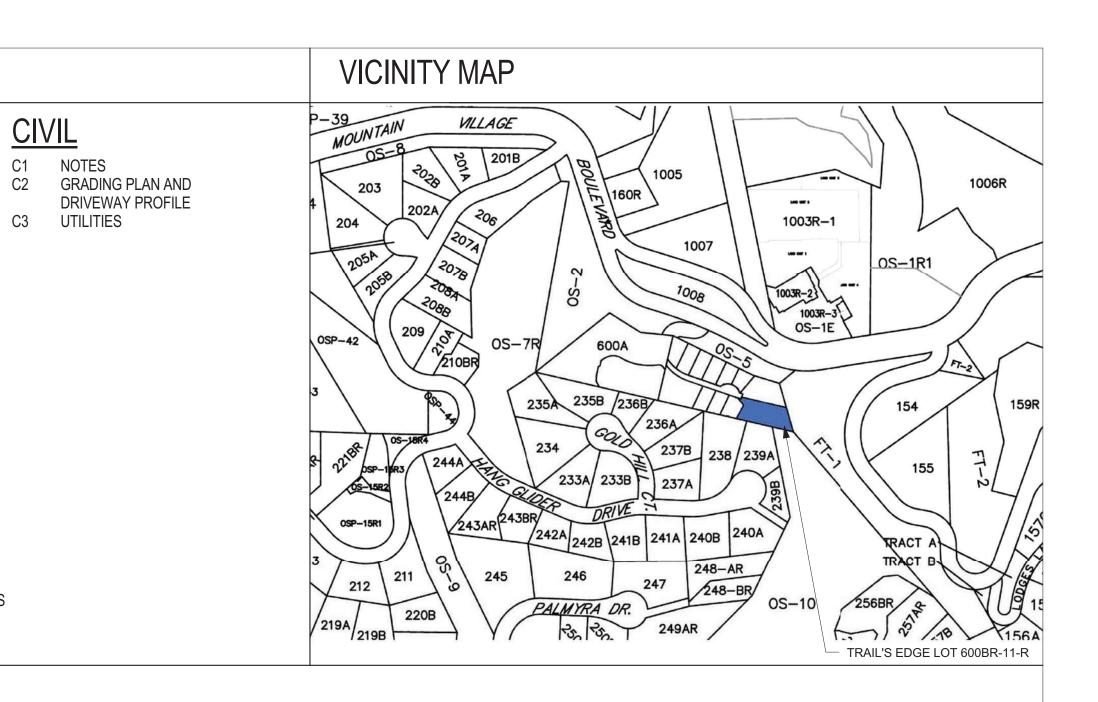
OWNER/CONTRACTOR

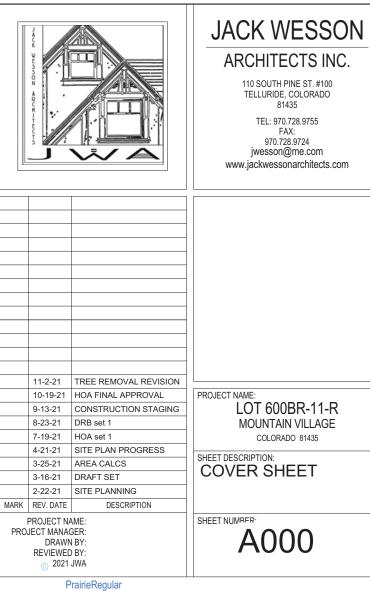
ARCHITECT

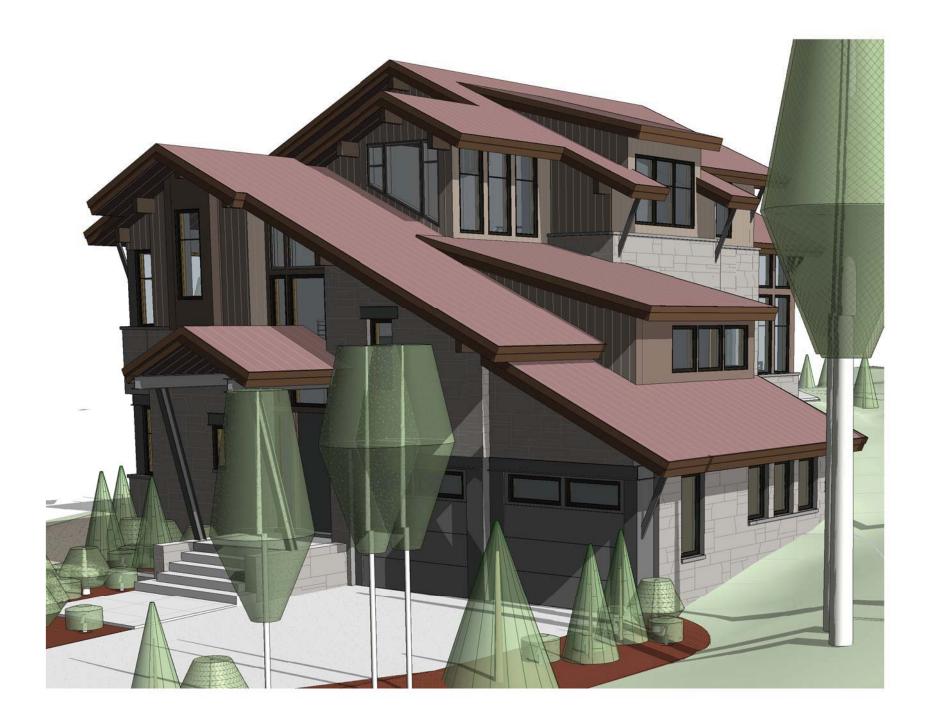
JACK WESSON ARCHITECTS, INC. PO BOX 457 TELLURIDE, CO 81435 T 970.728.9755 jwesson@me.com adam.birck@gmail.com STRUCTURAL ENGINEER

SURVEY INFORMATION FOLEY ASSOCIATES, INC. Jeff Haskell, PLS President, Foley Associates Inc. 970.728.6153 • jhaskell@foleyassoc.com 125 W. Pacific Ave., Telluride, CO

CIVIL ENGINEER DAVID BALLODE UNCOMPAHGRE ENGINEERING, LLC P.O. BOX 3945 TELLURIDE, CO 81435 T 970-729-0683 dballode@msn.com







(3) 3D View 3

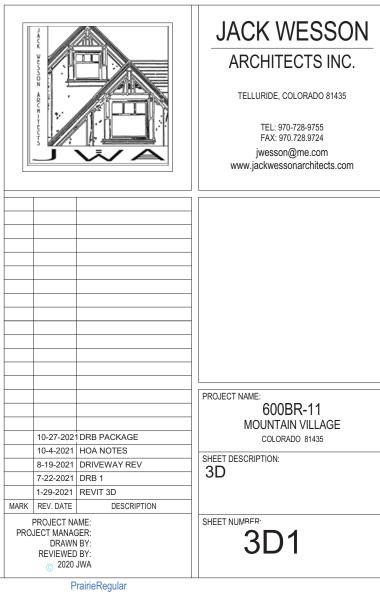




(4) 3D view 4B



2 3D View 2





6 3D View 10

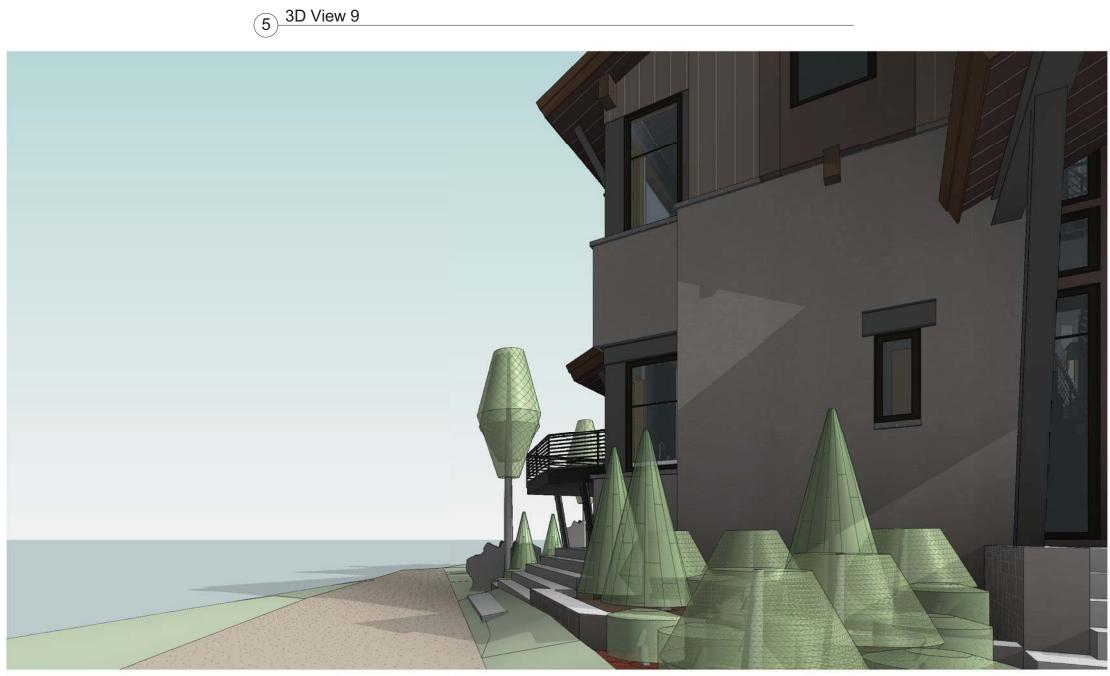


4 3D View 8



2 3D View 6

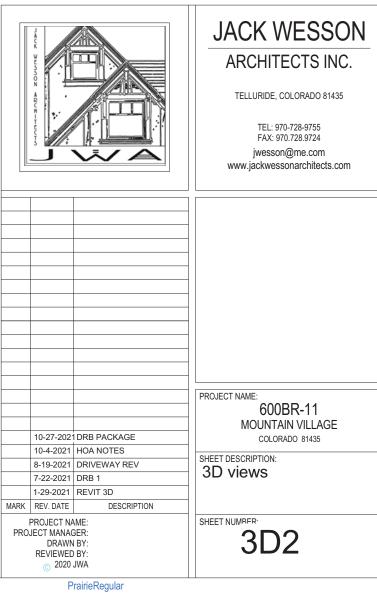


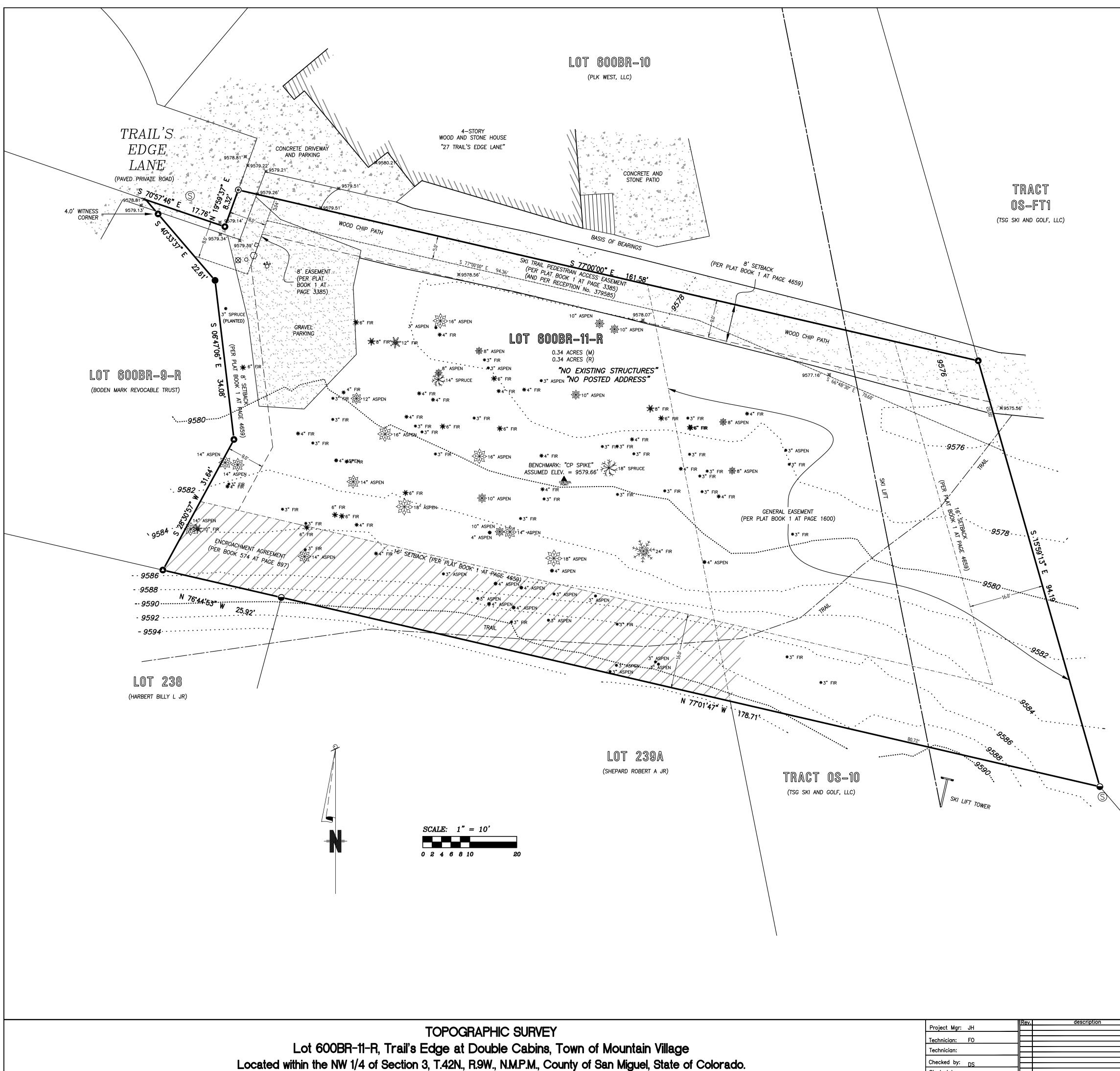


7 3D View 15









		Rev.	description
	Project Mgr: JH		
/EY			
	Technician: FO		
a Taur of Mauria Villaga			
ns, Town of Mountain Village	Technician:		
County of Con Migual Choice of Colorado	Checked by: _{DS}		
County of San Miguel, State of Colorado.	billetined by: DS		
	Start date: <u>11 / 2020</u>		
	11 / 2020		

Mountain Village, Filing 36 was field surveyed on November 20, 2020 under the direct responsibility, supervision and
checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land
Survey Plat or Improvement <u>Survey</u> Plat as defined by section
38–51–102 C.R.S.
S-QADO LICA DA
C. H. NOW
37970
NA SI
11/05/21
P.L.S. NO. 37970 Date
ON AND SUL
LAND ST
Vinoss

This topographic survey of Lot 600BR-11-R, Telluride

NOTES:

1. Easement research and property description from Land Title Guarantee Company, Order Number TLR86010348, dated August 06, 2020 at 5:00 P.M.

2. Benchmark: Control point "CP SPIKE", as shown hereon, with an assumed elevation of 9579.66' feet.

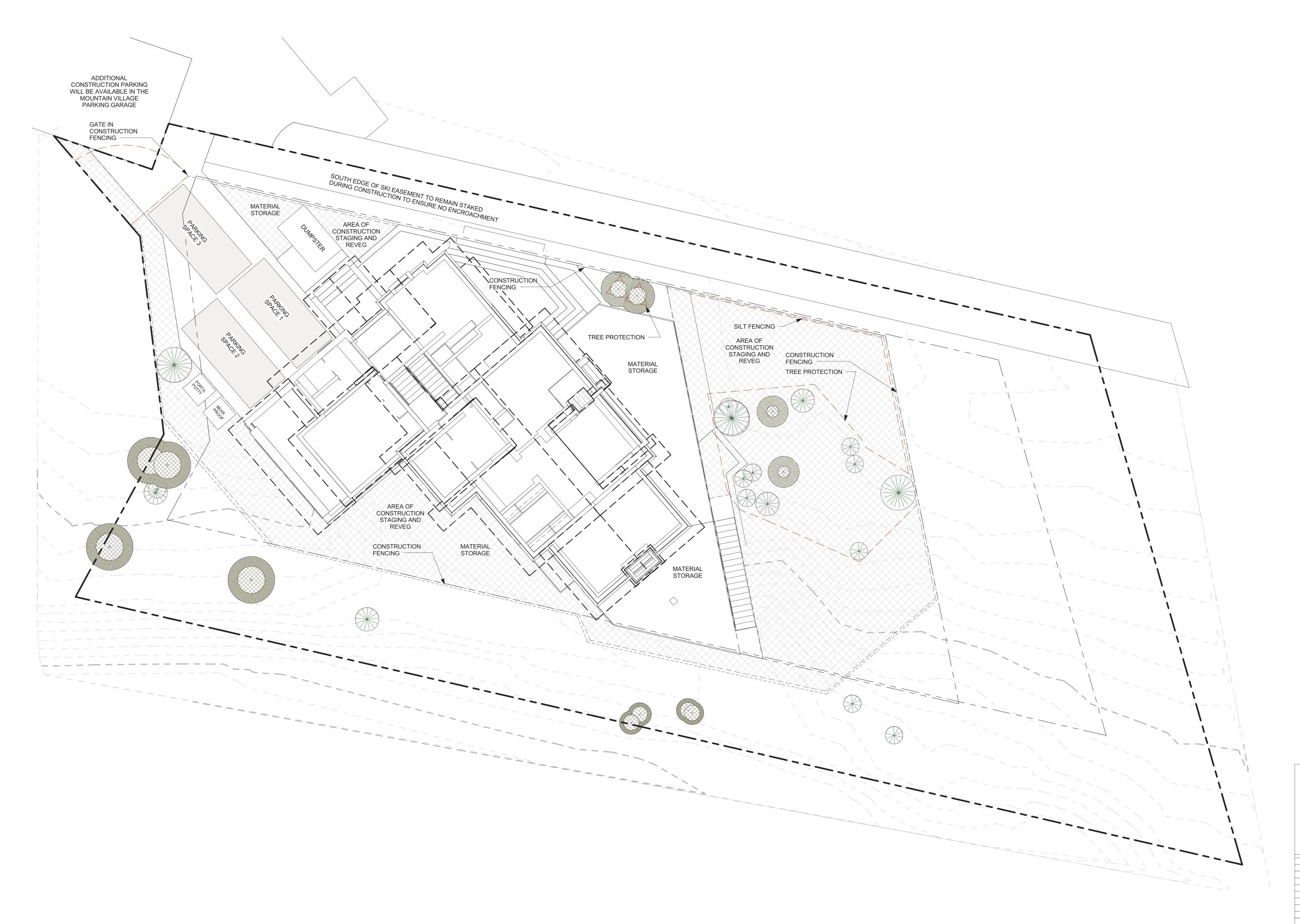
3. Contour interval is two feet.

4. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

	LEGEND
⊠9575.56'	SPOT ELEVATION
# <u>S</u> o	CURB STOP
S	SEWER MANHOLE
\bigcirc	TELEPHONE PEDESTAL
\boxtimes	GAS RISER
0	4"-PVC PIPE
	4"x4" LOT POST MARKER
Ð	FOUND 1–1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
0	FOUND 1–1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 36577
۲	FOUND 3/4" BRASS TAG, L.S. 24966
●	FOUND 1–1/2" ALUMINUM CAP ON 18" x 5/8" REBAR, L.S. 37970
0	FOUND 3/4" BRASS TAG, L.S. 37970

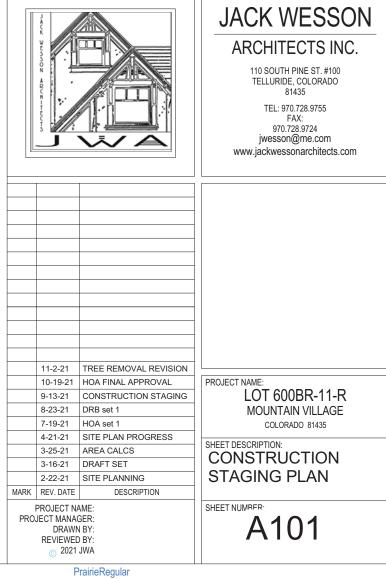






ADDITIONAL CONSTRUCTION PARKING WILL BE AVAILABLE IN THE MOUNTAIN VILLAGE PARKING GARAGE

NOTE: ADDITIONAL TREE CLEARING WILL BE DONE IN ACCORDANCE WITH THE MOUNTAIN VILLAGE LAND USE ORDINANCE FIRE MITIGATION REQUIREMENTS





ZONE 3- THIN AND CLEAR STANDING DEAD

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

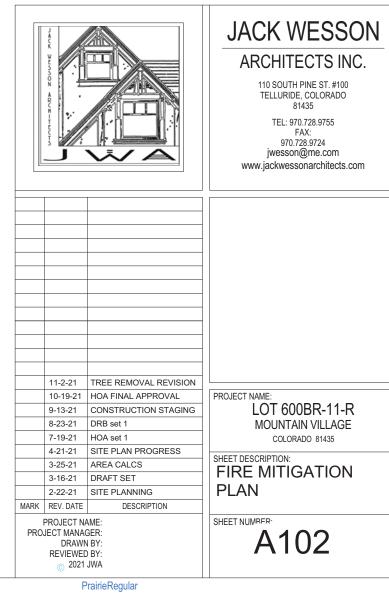
8' 16'

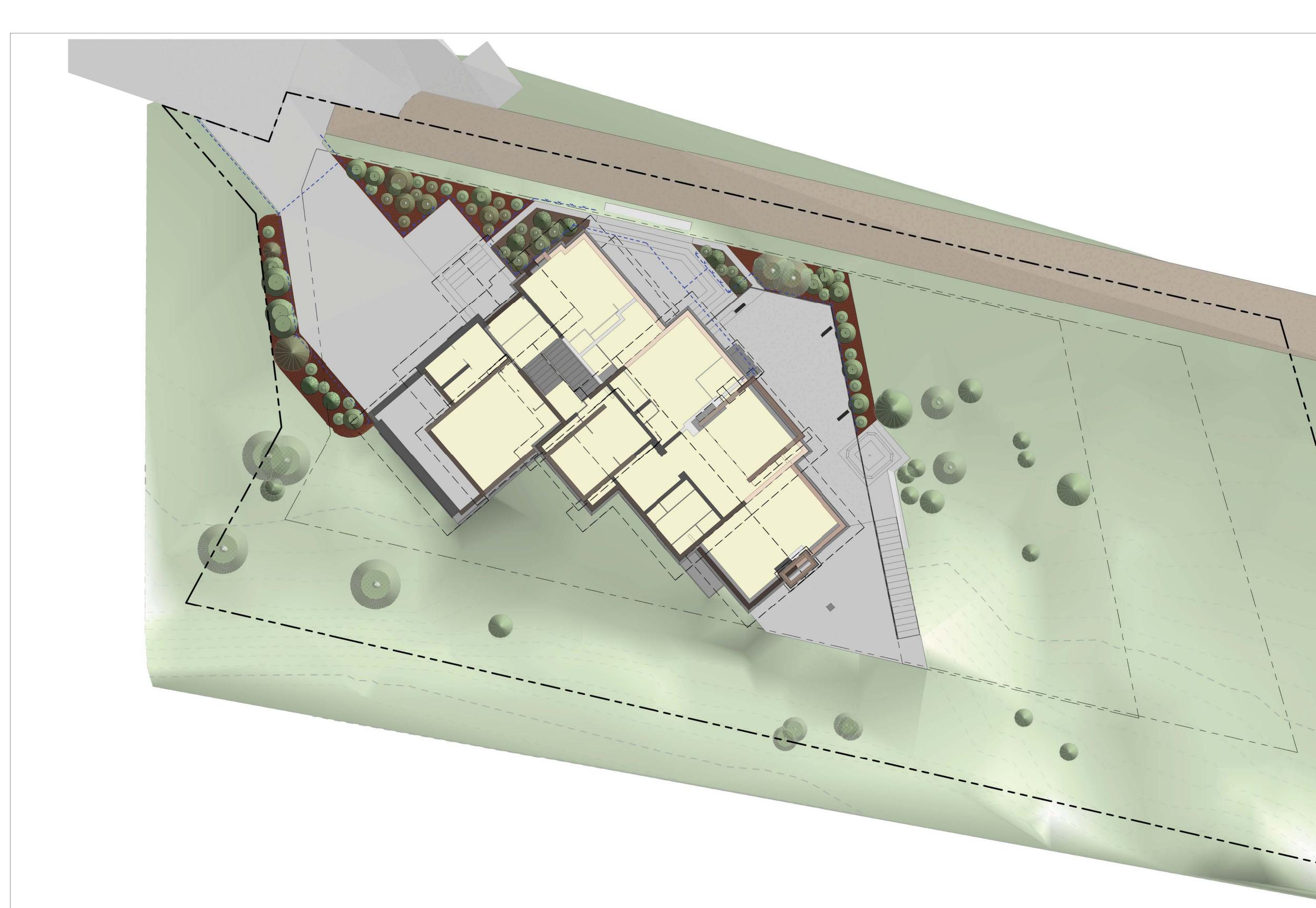
32'

0'



64'





SHOULD THE STATE OF THE GENERAL EASEMENTS BE DISTURBED DURING CONSTRUCTION, THE APPLICANT MUST REVEGETATE THE AREA TO ITS PRIOR CONDITION USING THE NATIVE SEED MIX.

WATER USAGE CHART: ASPEN 6 @ 10 gal. = 60 gal. SPRUCE 9 @ 10 gal. = 90 gal. POTENTELLA 41 @ 2 gal. = 82 gal. DOGWOOD 19 @ 2 gal. = 38 gal. 270 gal. TOTAL =

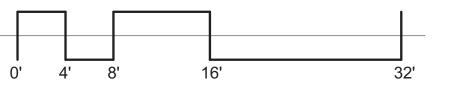
*NOTE: INSTALL RAIN SHUT-OFF DEVICE AS **REQ'D BY SECTION 9-210**

INSTALL BACKFLOW PREVENTERS



/ 1/4" = 1'-0"

1 SITE PLAN- LANDSCAPE AND IRRIGATION PLAN 1/8" = 1'-0"



GENERAL NOTES: 1. SOIL PREPARATION SPECIFICATIONS: SOIL IN REVEG. AREA WILL BE AUGMENTED WITH HYDROMULCH.

2. THIS LANDSCAPE PLAN COMPLIES WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.

3. THE PROPERTY OWNER GUARANTEES ALL PLANT MATERIALS FOR TWO YEAR.

4. ALL TREES AND SHRUBS SHALL BE BACKFILLED WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.

5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO

6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.

7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK. PLANTING DETAILS FOR ROOT SYSTEMS, SOIL PREPERATION, SEEDING, MULCHING, AND FERTLIZATION TECHNIQUES SHALL BE IN ACCORDANCE WITH GUIDELINES SET FORTH BY THE ASSOCIATED LANDSCAPE CONTRACTORS OR COLORADO.

8. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME

REVEGETATION AND EROSION CONTROL NOTES: 1. SUBSOIL SURFACES SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.

2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE RE-VEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTO-TILLED AT A RATE OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.

3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.

4. NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION-CONTROL NETTING.

5. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.

7. EROSION-CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2, AND IN DRAINAGE SWALES.

8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

9. ROAD AND DRIVEWAY SHALL BE RE-VEGETATED WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-VEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.

10. EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OR RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.

11. IN AREAS THAT ARE TO BE RE-VEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPE SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED).

DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY FROM THE HOUSE AS REQUIRED BY TOWN'S ADOPTIVE BUILDING CODES

THE PROJECT SHALL COMPLY WITH TTHE TOWNS FIRE MITIGATION STANDARDS

THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

NOT FOR CONSTRUCTION

<image/>			
10-19-21 HOA FINAL APPROVAL 9-13-21 CONSTRUCTION STAGING 8-23-21 DRB set 1 7-19-21 HOA set 1 4-21-21 SITE PLAN PROGRESS 3-25-21 AREA CALCS 3-16-21 DRAFT SET 2-22-21 SITE PLANNING NRK REV.DATE PROJECT NAME: PROJECT NAME: DRAWN BY: REVIEWED BY: © 2021 JWA	100000		ARCHITECTS INC. 110 SOUTH PINE ST. #100 TELLURIDE, COLORADO 81435 TEL: 970.728.9755 FAX: 970.728.9724 jwesson@me.com
10-19-21 HOA FINAL APPROVAL 9-13-21 CONSTRUCTION STAGING 8-23-21 DRB set 1 7-19-21 HOA set 1 4-21-21 SITE PLAN PROGRESS 3-25-21 AREA CALCS 3-16-21 DRAFT SET 2-22-21 SITE PLANNING NRK REV.DATE PROJECT NAME: PROJECT NAME: DRAWN BY: REVIEWED BY: © 2021 JWA			
PROJECT MANAGER: DRAWN BY: REVIEWED BY: © 2021 JWA	10-19-21 9-13-21 8-23-21 7-19-21 4-21-21 3-25-21 3-16-21 2-22-21 RKK REV. DATE	HOA FINAL APPROVAL CONSTRUCTION STAGING DRB set 1 HOA set 1 SITE PLAN PROGRESS AREA CALCS DRAFT SET SITE PLANNING DESCRIPTION	LOT 600BR-11-R MOUNTAIN VILLAGE COLORADO 81435 SHEET DESCRIPTION: LANDSCAPE & IRRIGATION PLAN
	PROJECT MANA DRAWI REVIEWEI © 2021	GER: N BY: D BY:	

(19) 5 GAL. DOGWOOD

(41) 5 GAL. POTENTILLA

(9) NEW SPRUCE TREE (1-8') (1-10') MINIMUM HEIGHT

(6) NEW 3" CAL. APSEN OR 2 1/2" CA. MULTI-STEM



LANDSCAPE ZONE 2: RUSSIAN SAGE, YELLOW ROSE, DAYLILY, DELPHINIUM, BLEEDING HEART, CINQUEFOIL APPROX 175 SF.

NOTE: REVEGETATION IS WILL BE NATIVE MIX 5% WESTERN YARROW 10% TALL FESCUE 5% ARIZONA FESCUE 5% HARD FESCUE 10% CREEPING RED FESCUE 15% ALPINE BLUEGRASS 10% CANADA BLUEGRASS 15% PERENNIAL RYEGRASS 10% SLENDER WHEATGRASS 15% MOUNTAIN BROME APPROX. 5000 SF



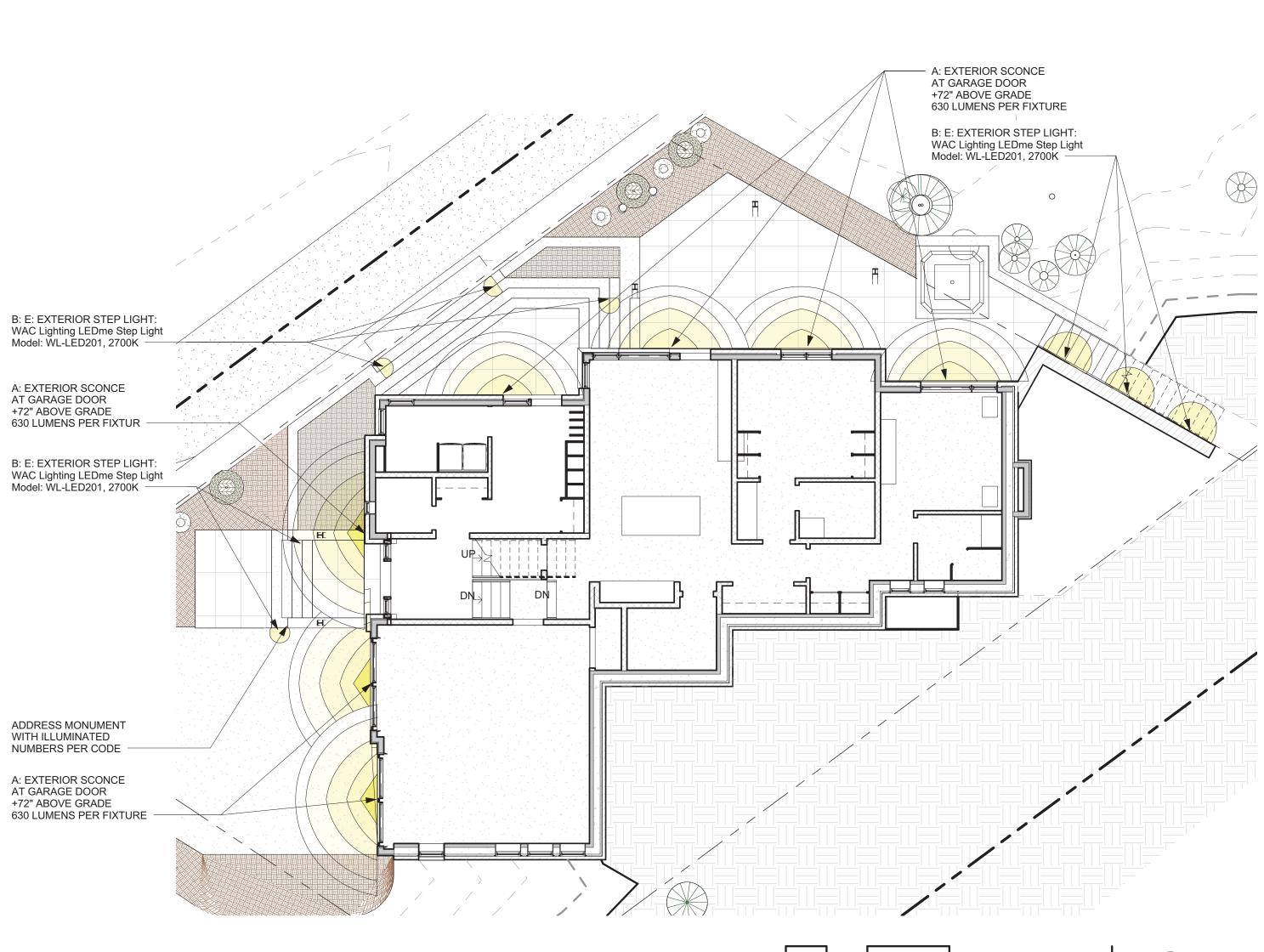




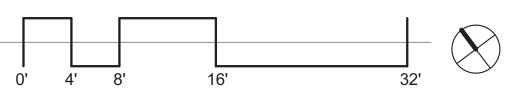


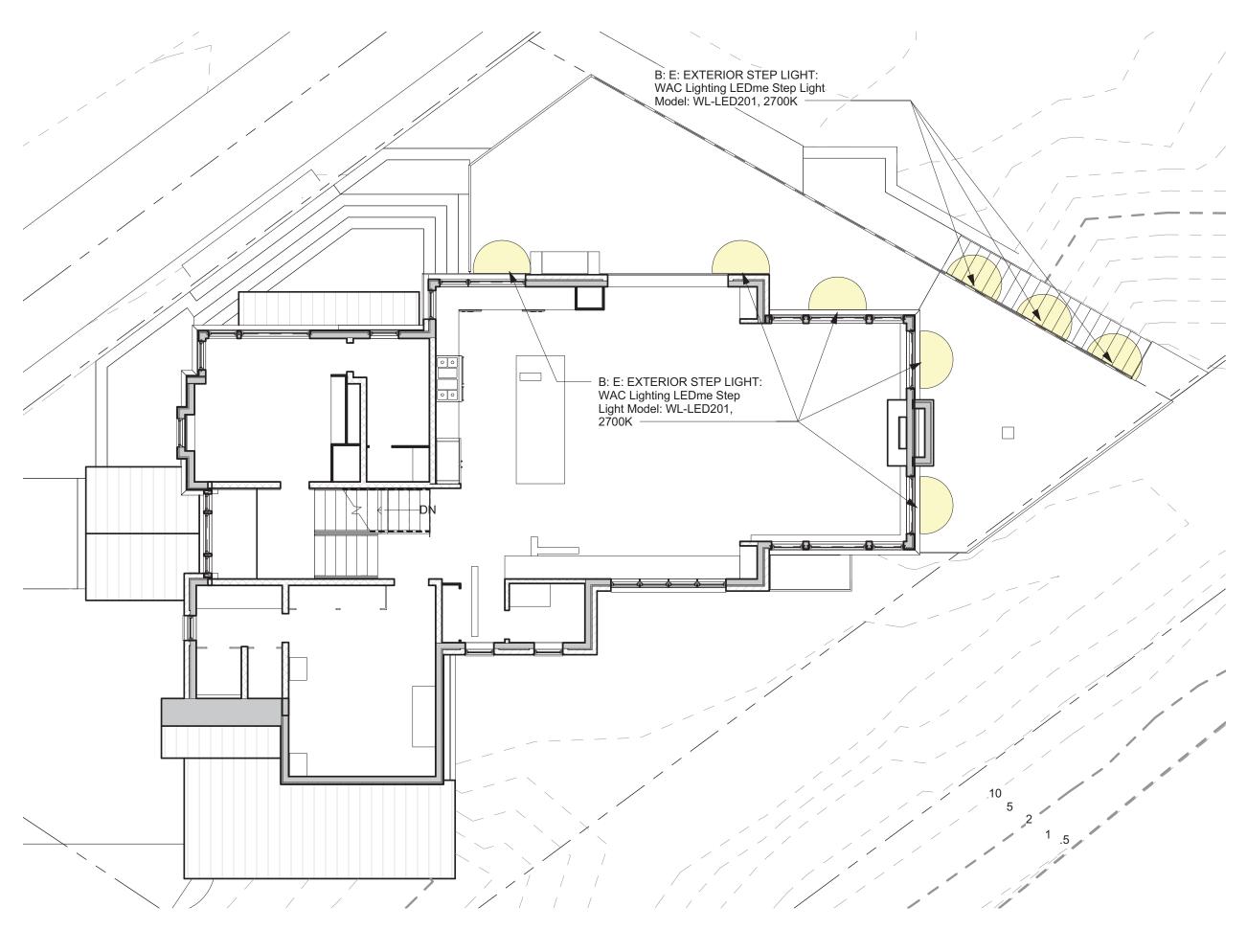


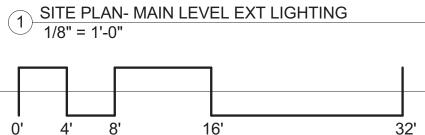
APPROX. 875 SF.



3 SITE PLAN- LOWER LEVEL EXT LIGHTING 1/8" = 1'-0"







ALL LIGHTING TO BE ON A DIMMER MANAGEMENT SYSTEM

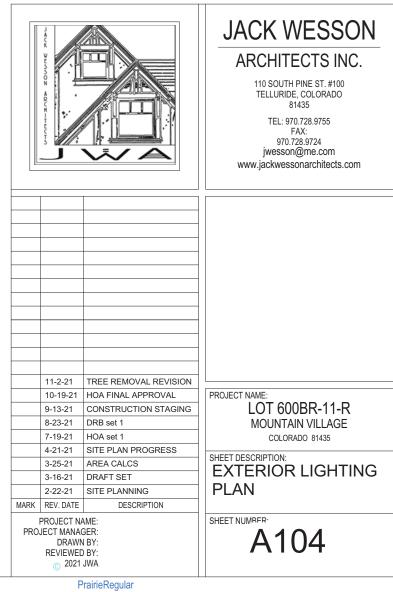


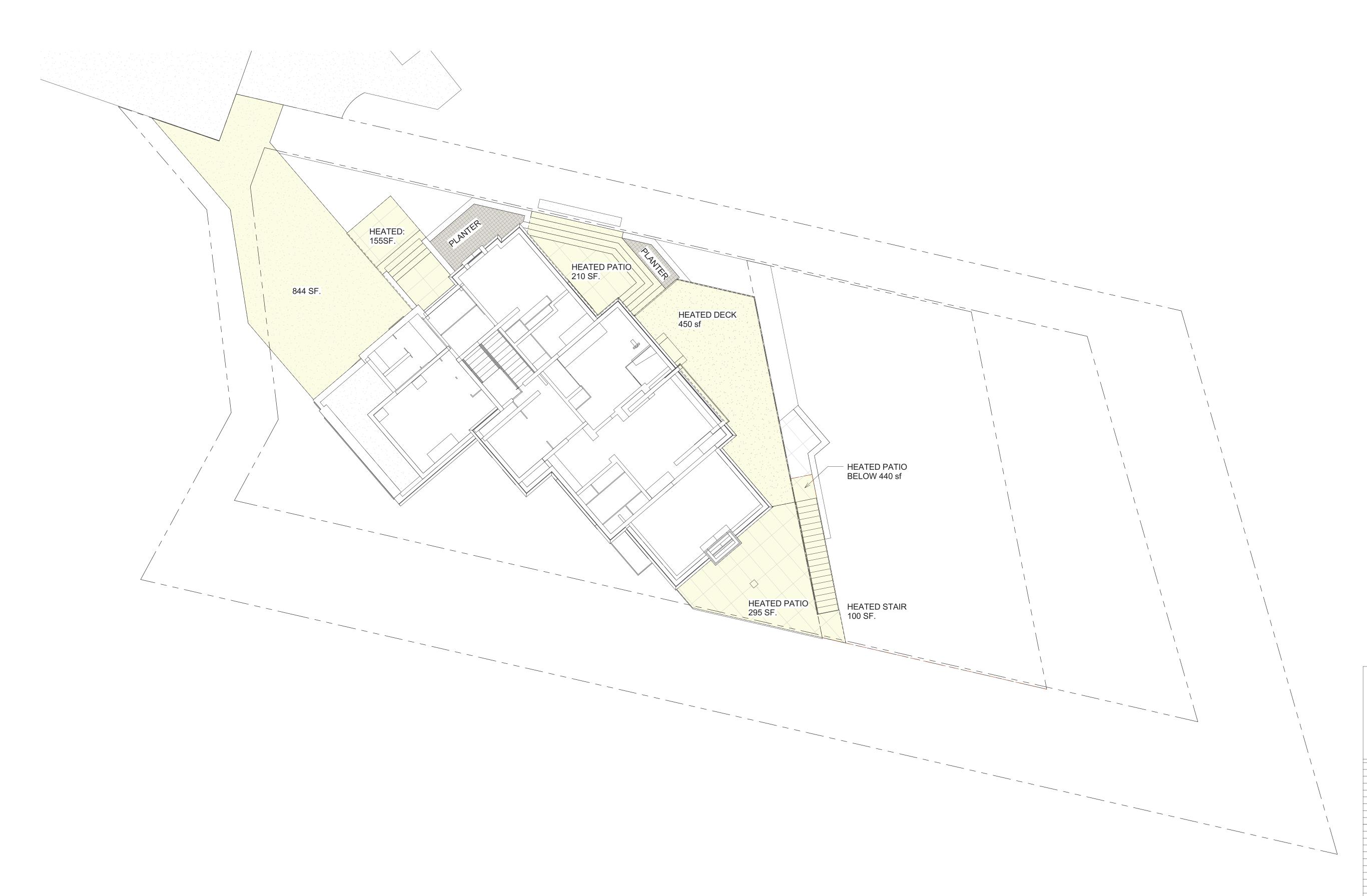


A: EXTERIOR SCONCE: 10" Square Exterior LED Outdoor Sconce by MODERN FORMS WS-W38610 630 lumens per fixture = 55.85 footcandles - see cut sheet

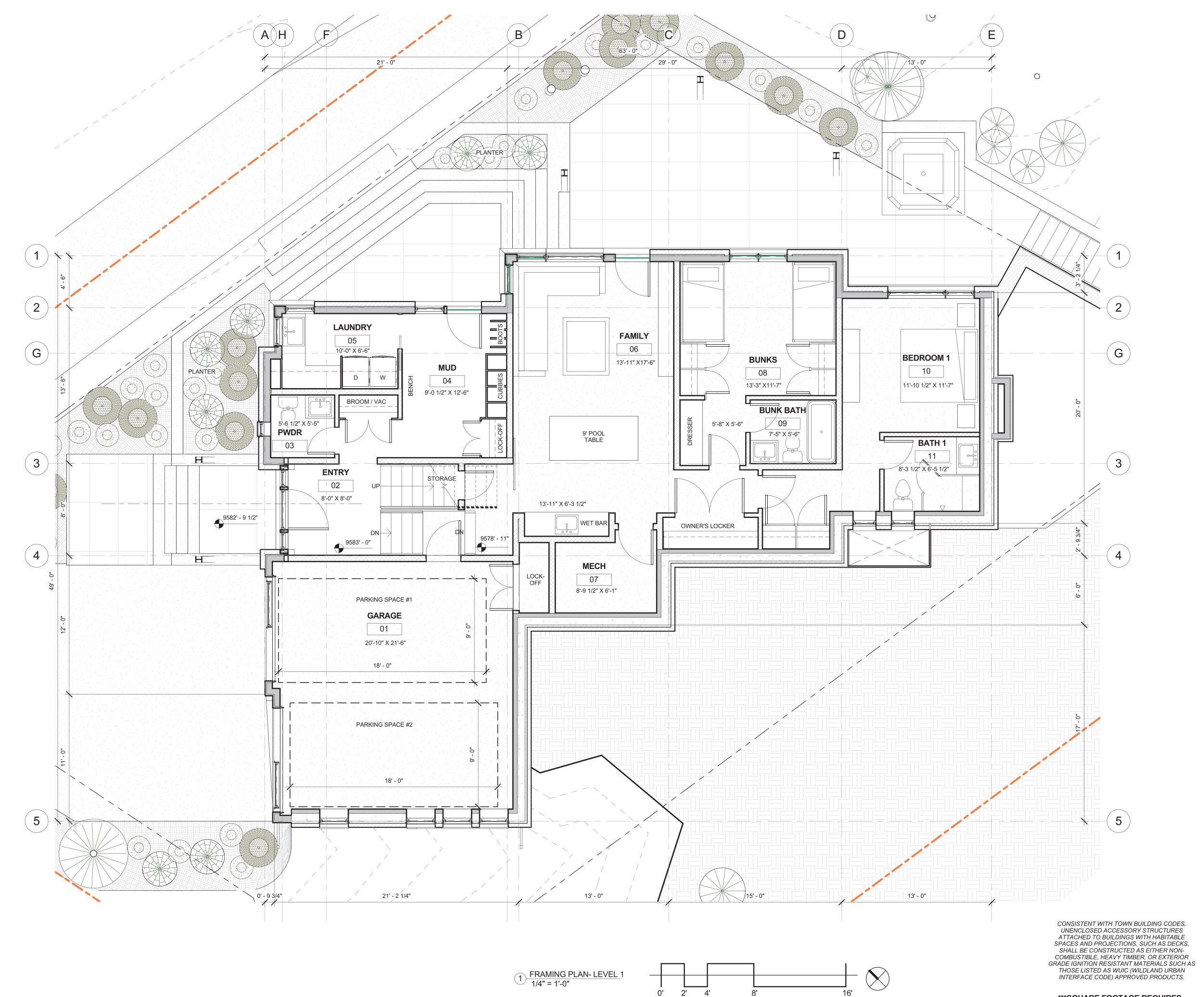
B: E: EXTERIOR STEP LIGHT: WAC Lighting LEDme Step Light Model: WL-LED201, 2700K





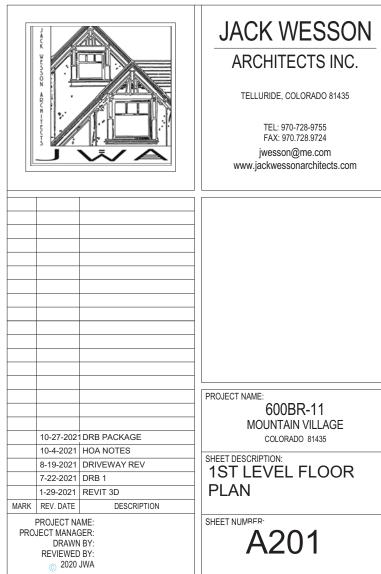




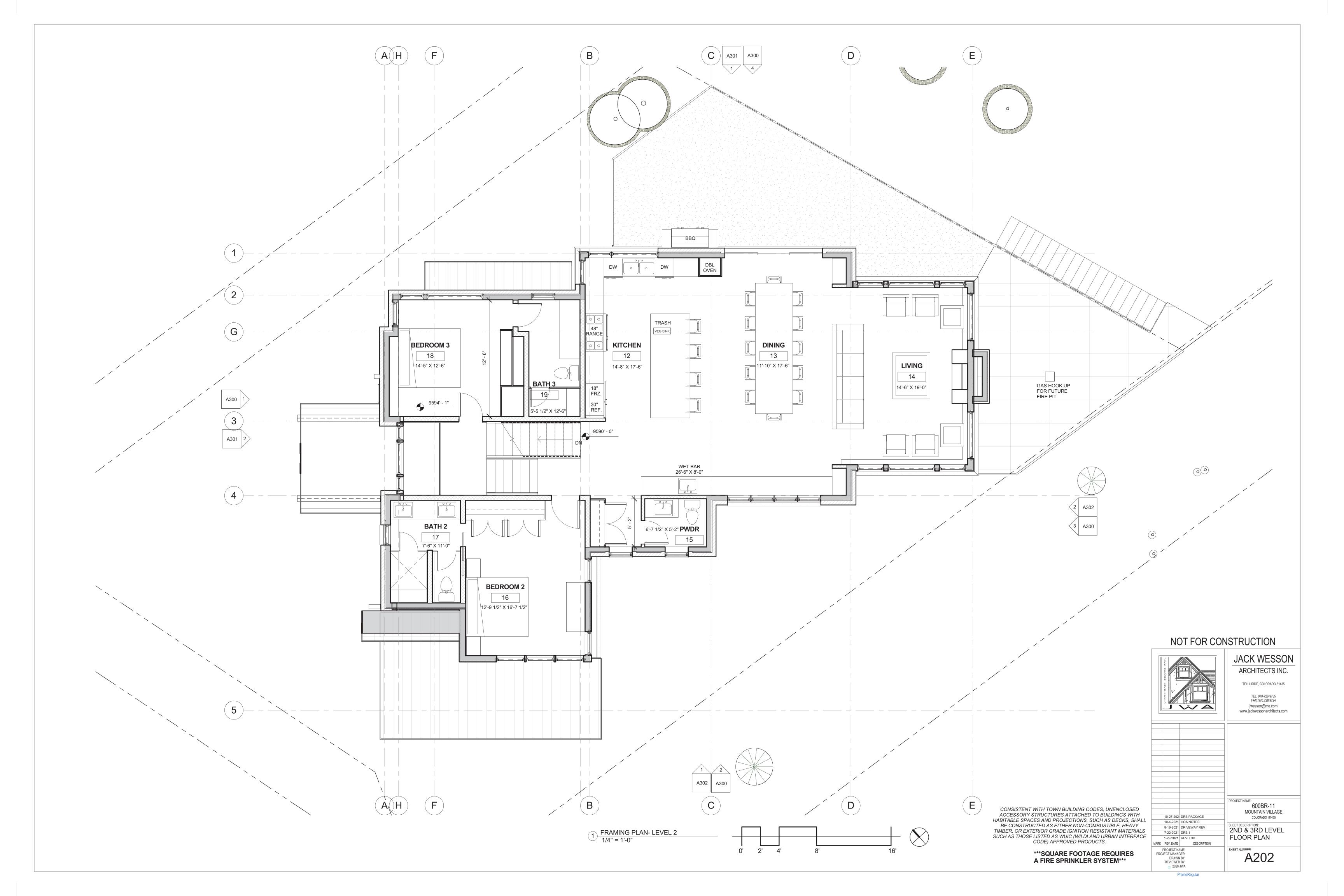


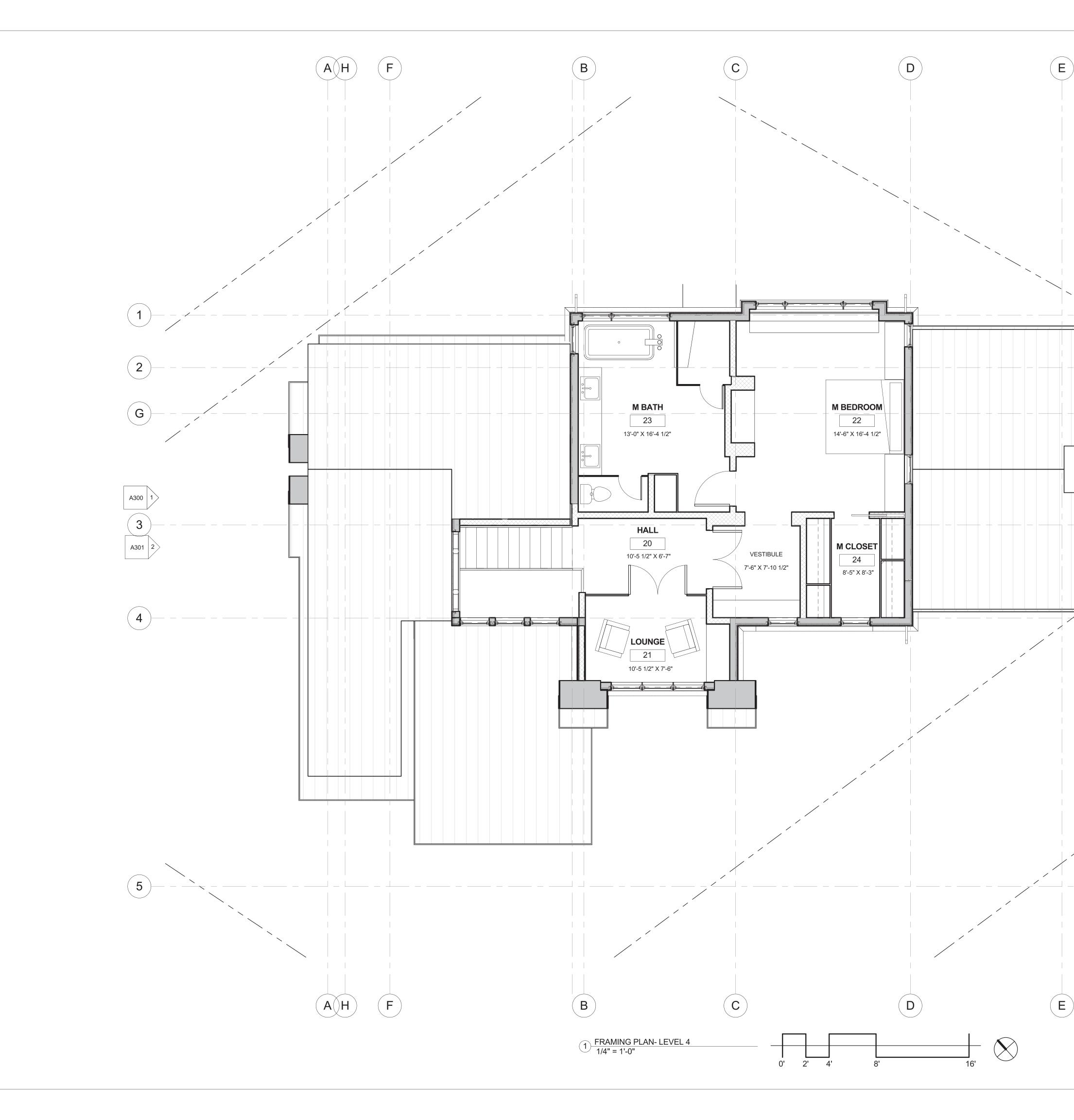
SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM

SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM NOT FOR CONSTRUCTION

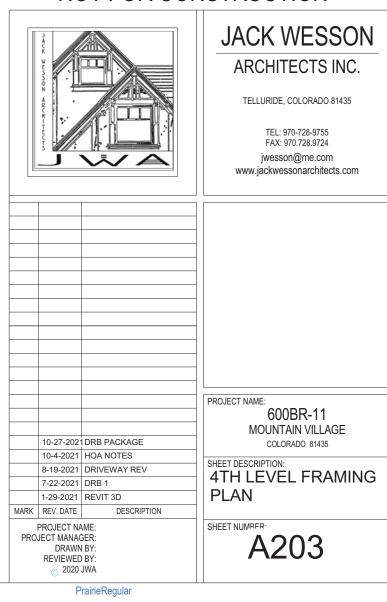


PrairieRegular



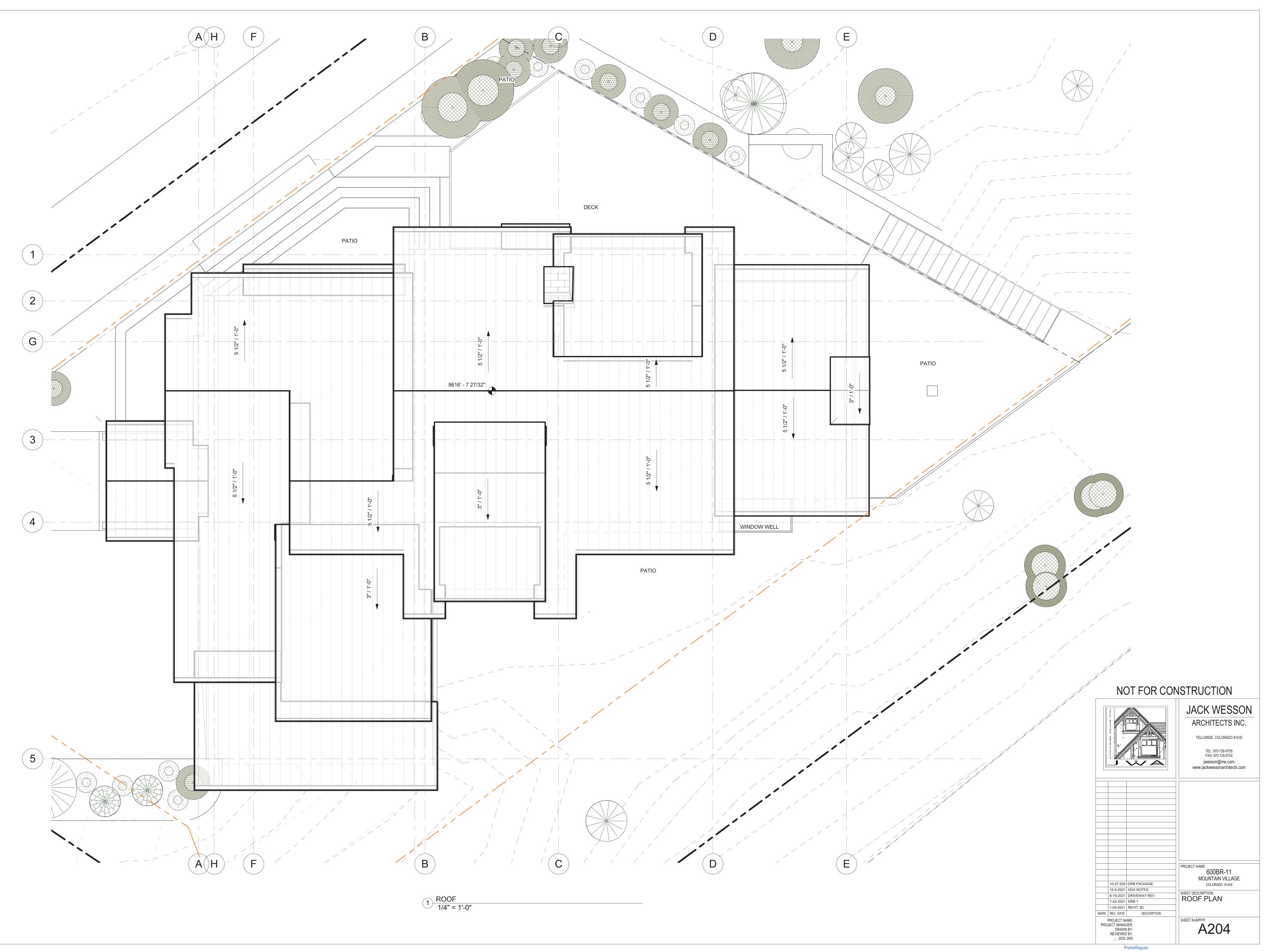


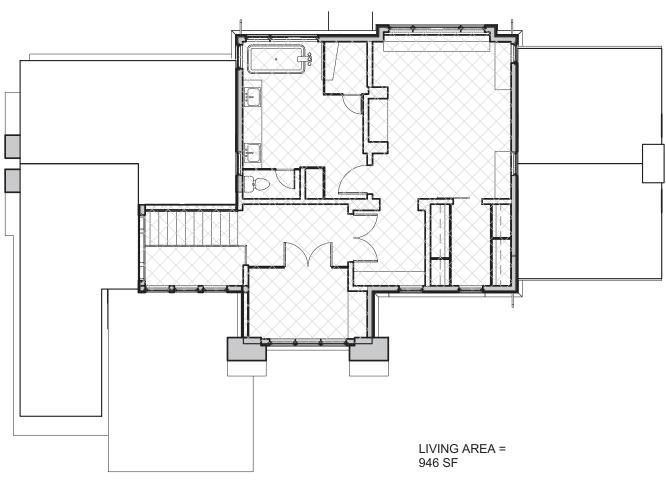
NOT FOR CONSTRUCTION



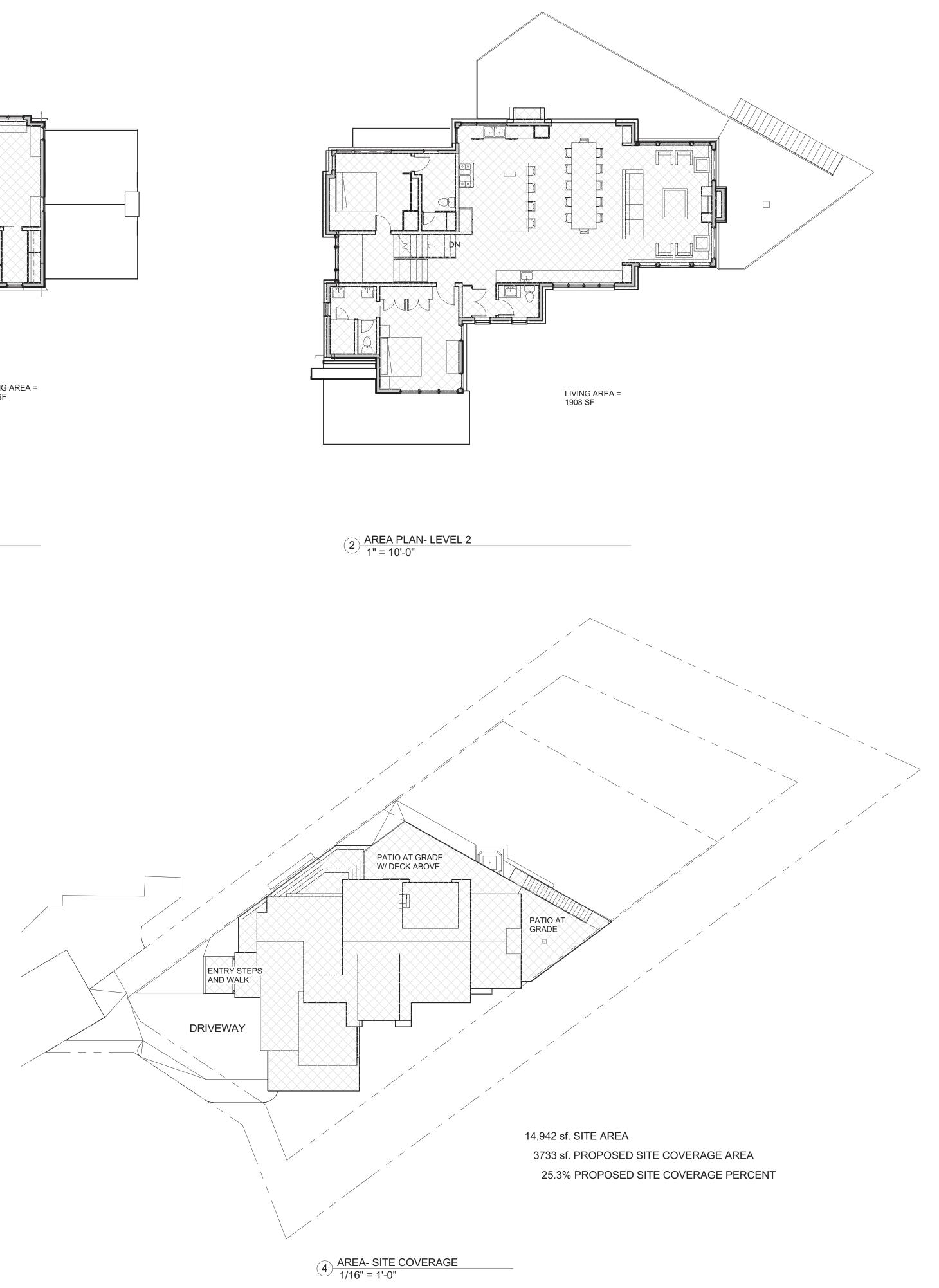
SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.





3 AREA PLAN- LEVEL 4 1" = 10'-0"



SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM

AREA ANALYSIS:

SITE AREA = 0.34 acres

ALLOW. SITE COVER. (40%) = PRO. SITE COVER. (25.3%) =

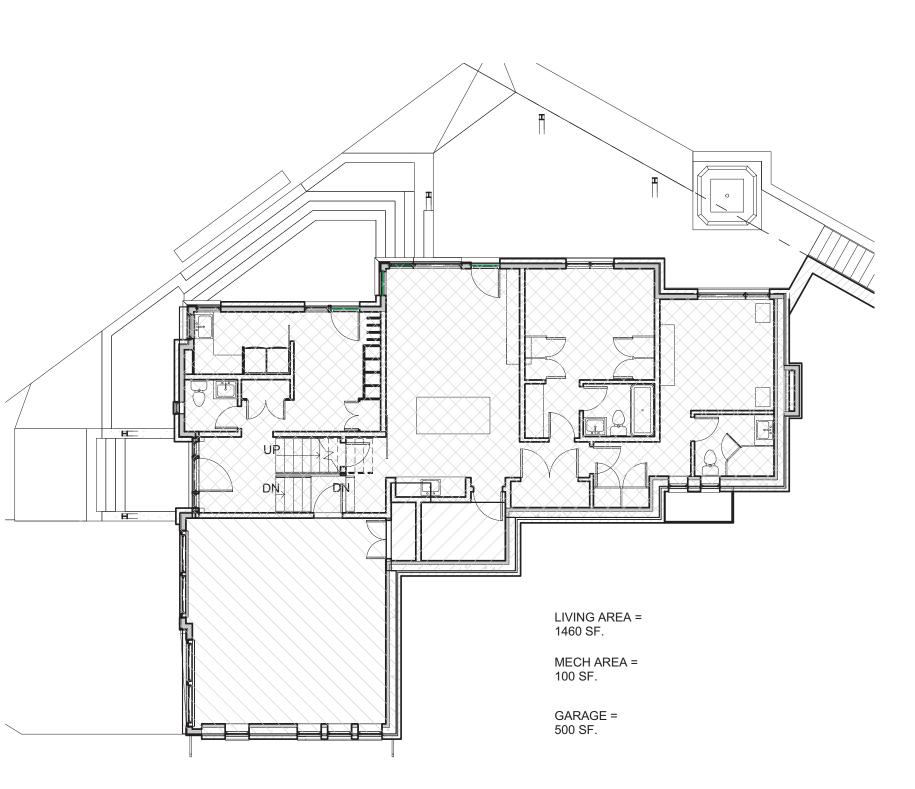
GROSS AREA (TO FACE OF ST 1ST LVL LIVING = MECH = GARAGE = sf.	RUCTURE): 1460 sf. 100 sf. 500
2ND + 3RD LVL LIVING =	1908 sf
4TH LVL LIVING=	946 sf.
TOTAL LIVING = TOTAL GROSS = sf.	4,314 sf. 4,914

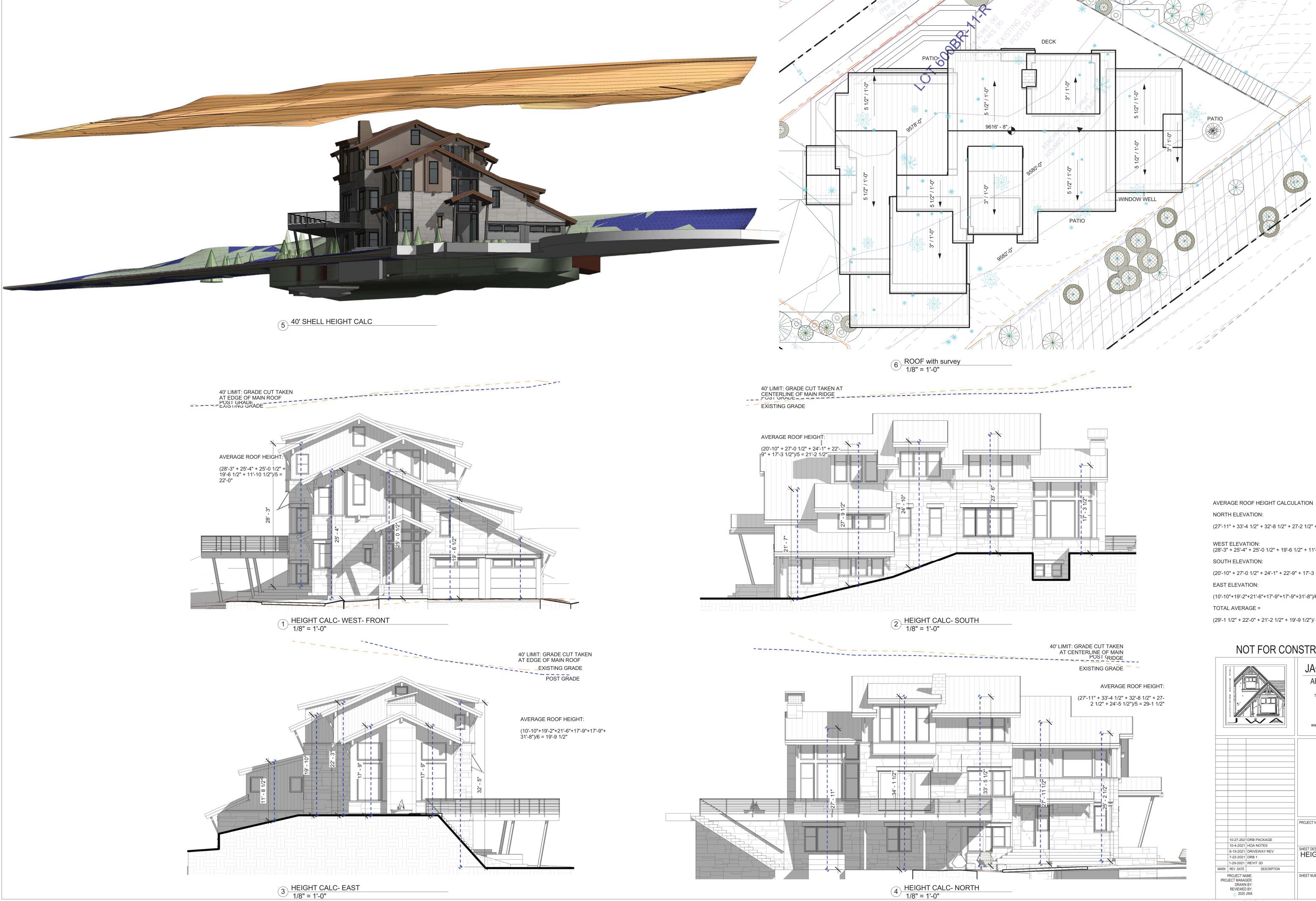
14,942 sf.

5,977 sf. 3,775 sf.

NOT FOR CONSTRUCTION				
	JACK WESSON			
	ARCHITECTS INC. 110 SOUTH PINE ST. #100 TELLURIDE, COLORADO 81435 TEL: 970.728.9755 FAX: 970.728.9724 jwesson@me.com www.jackwessonarchitects.com			
11-2-21 TREE REMOVAL REVISION 10-19-21 HOA FINAL APPROVAL 9-13-21 CONSTRUCTION STAGING 8-23-21 DRB set 1 7-19-21 HOA set 1 4-21-21 SITE PLAN PROGRESS 3-25-21 AREA CALCS	PROJECT NAME: LOT 600BR-11-R MOUNTAIN VILLAGE COLORADO 81435 SHEET DESCRIPTION:			
3-16-21 DRAFT SET 2-22-21 SITE PLANNING MARK REV. DATE PROJECT NAME: PROJECT MAME: DRAWN BY:	AREA ANALYSIS			
DRAWN BY: REVIEWED BY: © 2021 JWA	AZUJ			

PrairieRegular







PrairieRegular

(29'-1 1/2" + 22'-0" + 21'-2 1/2" + 19'-9 1/2")/ 4 = **23'-0 1/2**"

(10'-10"+19'-2"+21'-6"+17'-9"+17'-9"+31'-8")/6 = **19'-9 1/2"**

(20'-10" + 27'-0 1/2" + 24'-1" + 22'-9" + 17'-3 1/2")/5 = **21'-2 1/2**"

(28'-3" + 25'-4" + 25'-0 1/2" + 19'-6 1/2" + 11'-10 1/2")/5 = **22'-0**"

(27'-11" + 33'-4 1/2" + 32'-8 1/2" + 27-2 1/2" + 24'-5 1/2")/5 = **29-1 1/2**"





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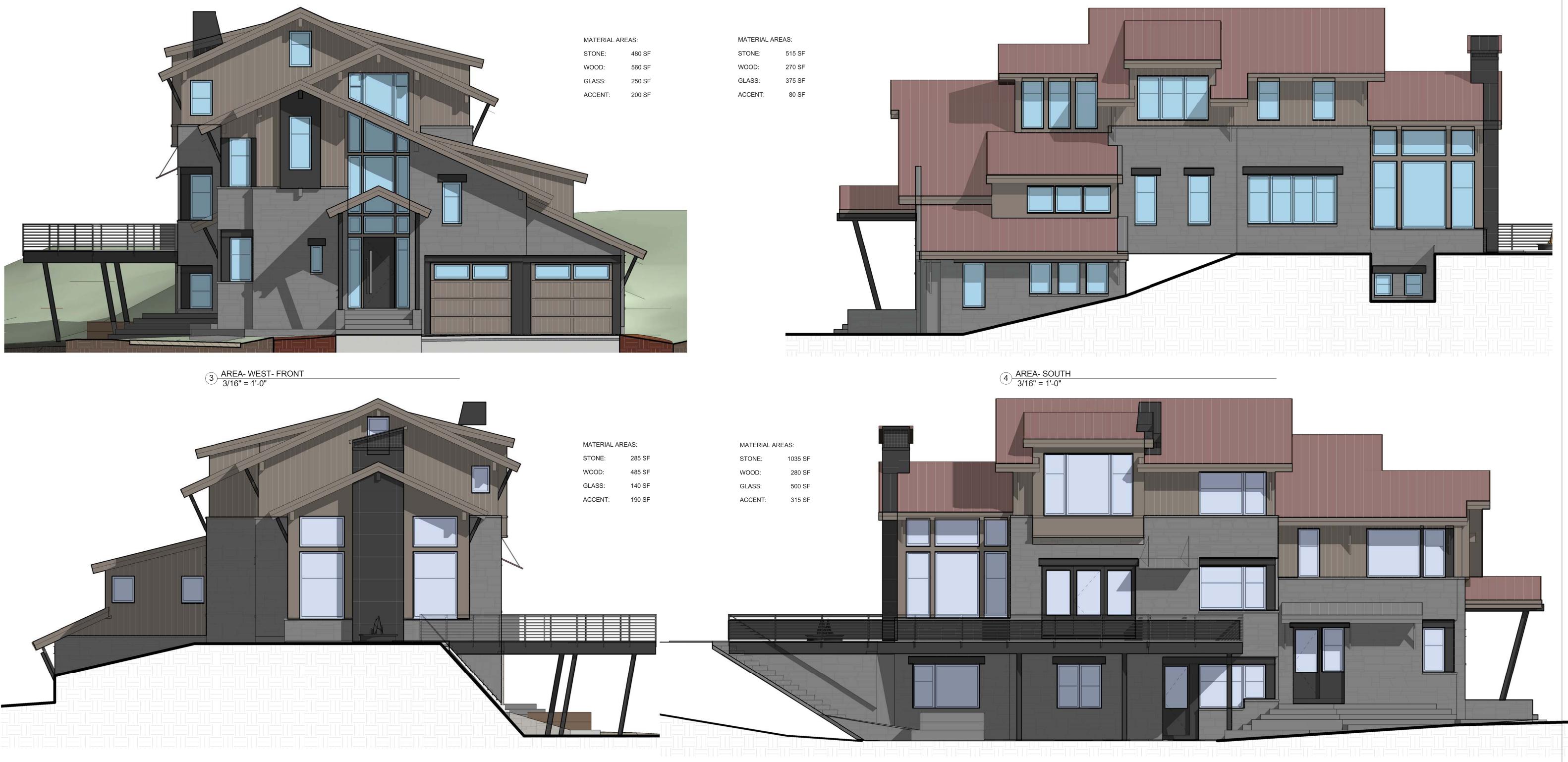
COLORADO 81435











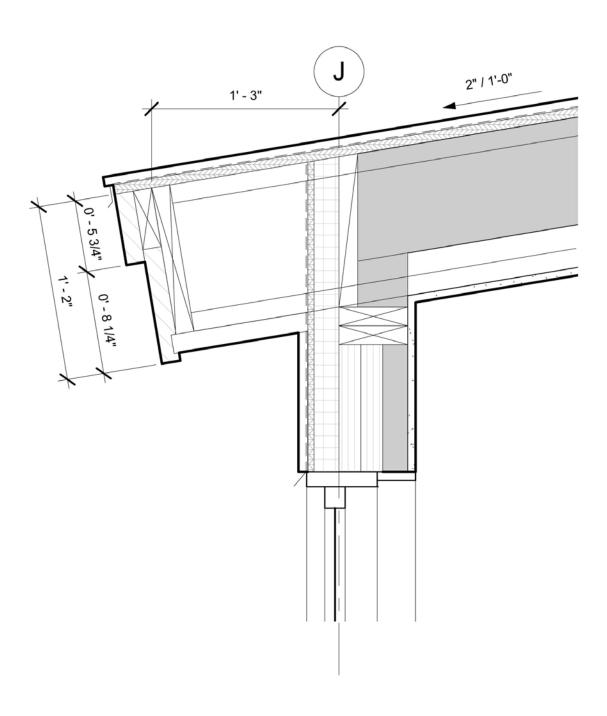
1 AREA- EAST 3/16" = 1'-0"

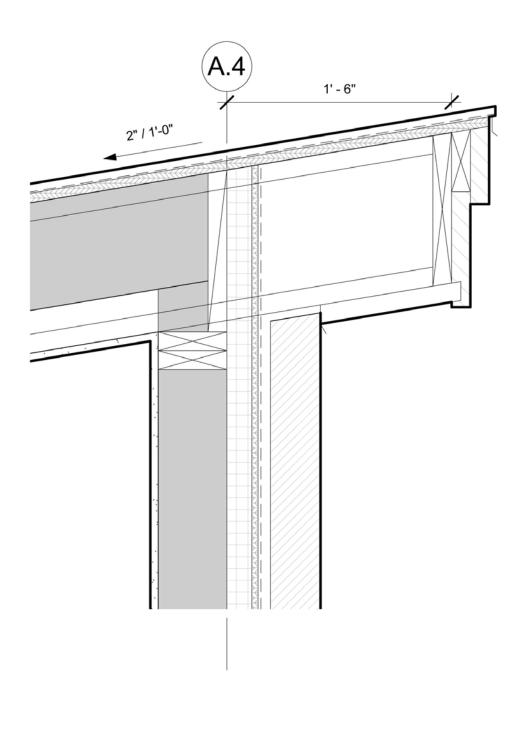
2 AREA- NORTH 3/16" = 1'-0"

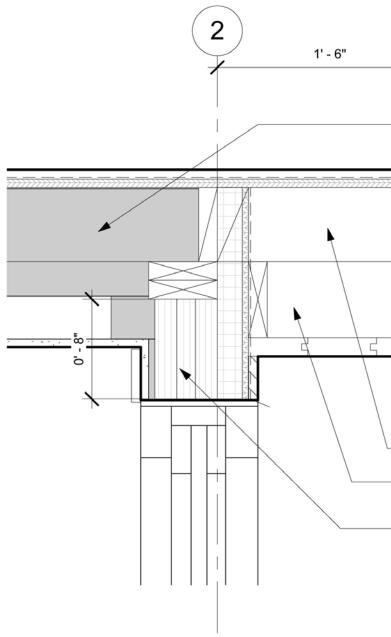
TE11- Material Calculations						
Elevation	WEST	SOUTH	EAST	NORTH	Total	Percent
Stone	480	515	285	1035	2315	38.84%
Wood	560	270	485	280	1595	26.76%
Fenestration	250	375	140	500	1265	21.22%
Accent	200	80	190	315	785	13.17%
Total	1490	1240	1100	2130	5960	

NOT	FOR	CON	IST	RU	CT	ION	

			JACK WESSON ARCHITECTS INC. TELLURIDE, COLORADO 81435 TEL: 970-728-9755 FAX: 970.728.9724 jwesson@me.com www.jackwessonarchitects.com
10-4-20 8-19-20	2021 DRB PACKAGE 2021 HOA NOTES 2021 DRIVEWAY RE 2021 DRB 1		PROJECT NAME: 600BR-11 MOUNTAIN VILLAGE COLORADO 81435 SHEET DESCRIPTION: MATERIAL CALCS
1-29-20 MARK REV. DA PROJEC PROJECT MA DRJ REVIEN	021 REVIT 3D ATE DESCRI T NAME:	PTION	SHEET NUMBER A305
	PrairieRegular		







1 DETAIL- ROOF RAKE 1 1/2" = 1'-0"

2 DETAIL- ROOF EAVE UPPER 1 1/2" = 1'-0"

TYPICAL ROOF ASSEMBLY:
 RUSTED STANDING SEAM METAL ROOF OR
 GRACE HIGH TEMP ICE AND WATER SHIELD
 OVER ROOF SHEATHING (SEE STRUCT)
 OVER ROOF JOISTS (SEE STRUCT) WITH
 8.6" CLOSED CELL SPRAY FOAM (R-60)
 INSULATION AND GYP BOARD CEILING

 FLASHING WITH DRIP, MATCH ROOF FINISH

2X DOUG FIR OR CEDAR FASCIA, STAINED

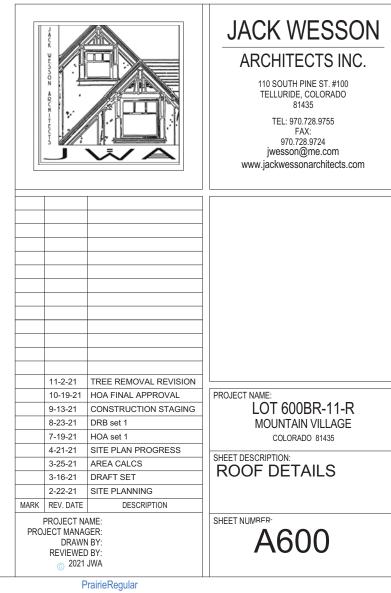
 STRUCUTRAL FASCIA, SEE STRUCT

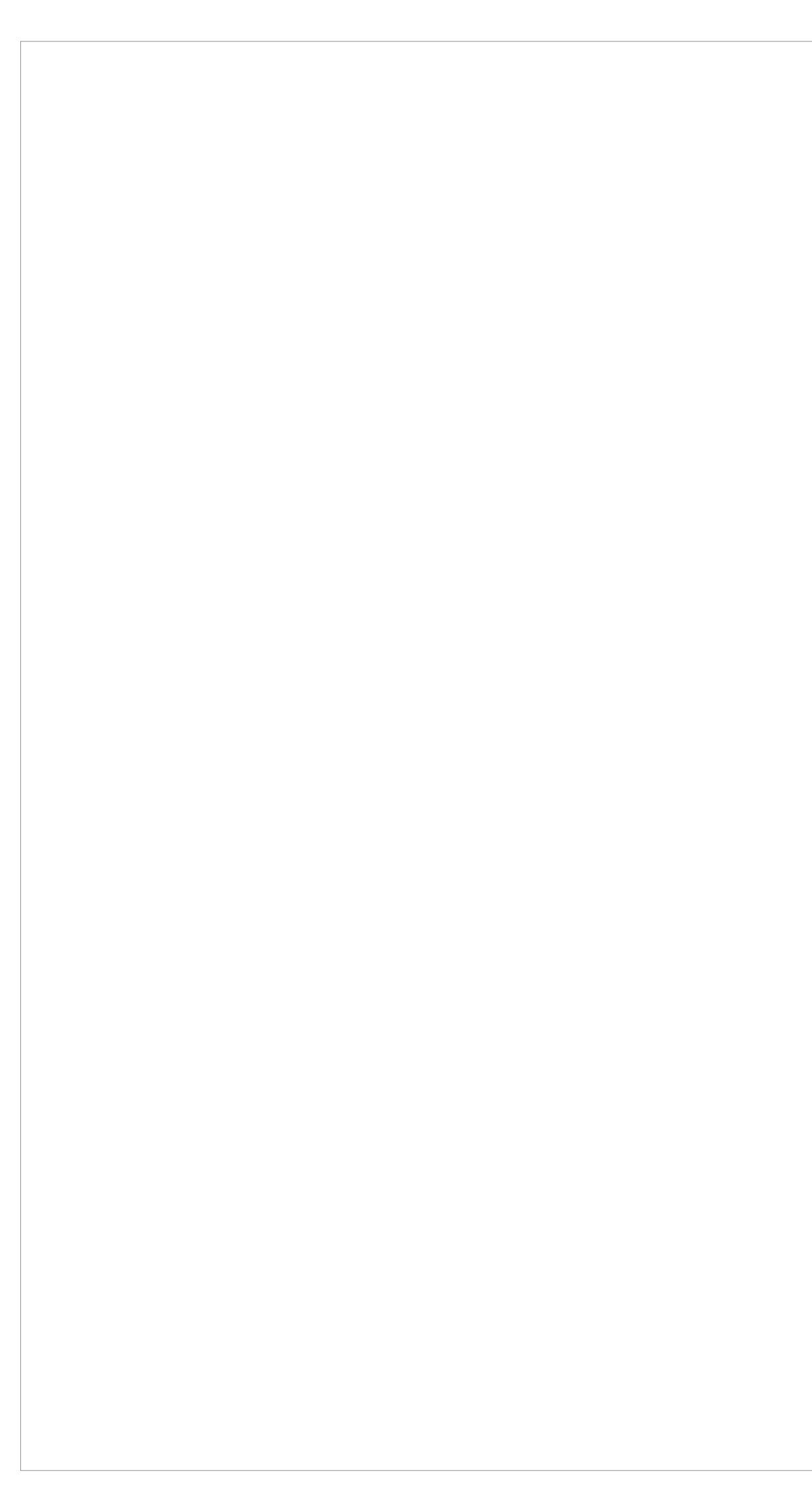
2X T&G SOFFIT, STAINED, RABBET IN FASCIA

2X6 LOOKOUT

- BUILT UP RAKE DETAIL

WINDOW HEADER, SEE STRUCT
 NOTE: ALONG RAKE AT SLOPIONG
 WINDOWS, THE WINDOW HEAD WILL BE
 PARTIALLY WITHIN THE ROOF ASSEMBLY,
 LEAVING ROOM FOR THE OUTRIGGER
 AND A TOP PLATES





Model: WL-LED201

LEDme[®] Step Light



PRODUCT DESCRIPTION

Vertical rectangle LEDme® Step Light with Anti-microbial powder coat paint proven to restrain a wide range of bacteria, coliform, mold, fungus, algae, and yeast. . Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters. Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Direct wiring, no driver needed
- Title 24 JA8 2016 Compliant (120V only) Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- Up to 200 fixtures can be connected in parallel Replaceable LED module
- 5 year WAC Lighting product warranty

ORDER NUMBER

Model #		Color			Finish		
WL-LED201	120V	30	2700K 3000K Amber	(610nm)	wт	White	
WL-LED	0201]-		– v	/Т		

Example: WL-LED201-30-WT For 277V, add "F" before the CCT: WL-LED201F-30-WT

	ghting.com	Headquarters/Eastern Distribution Center	Central Distribution Center	Western Distribution Center		
	e (800) 526.2588	44 Harbor Park Drive	1600 Distribution Ct	1750 Archibald Avenue		
	(800) 526.2585	Port Washington, NY 11050	Lithia Springs, GA 30122	Ontario, CA 91760		
WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JAN 2019						

HUBBARDTON FORGE.

PRODUCT SPECIFICATIONS



OPTIONS

FINISH	ACCENT
Coastal Black - 10	Black - 10
Coastal Natural Iron - 20	Natural Iron - 20
Coastal Gold - 70	Coastal Gold - 70
Coastal Mahogany - 73	Coastal Mahogany - 73
Coastal Bronze - 75	Coastal Bronze - 75
Coastal Dark Smoke - 77	Coastal Dark Smoke - 77
Coastal Burnished Steel - 78	Coastal Burnished Steel - 78

SPECIFICATIONS

Vertical Mounting Height

Packed Weight Shipping (DIM) Weight

Stratum Dark Sky Friendly LED Outdoor Sconce Base Item #: 302630 Configured Item #: 302630-1005 302630-LED-10-78

ADA compliant Contemporary aluminum direct wire LED exterior was sconce. Choose a finish for the upper LED housing and an accent for the textured plate. Designed and built to Dark Sky standards. Handcrafted to order by skilled artisans in Vermont, USA

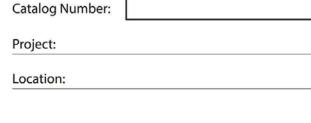
Lifetime Limited Warranty when installed in residential settir
Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental

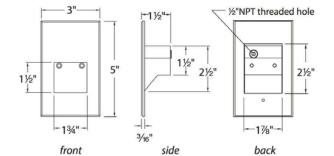
conditions. Dimensions 7.40" 9.50" 3.70" 4.70 lbs Height Width Projection Product Weight

5.00″ 9.00 lbs 17.00 lbs

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SPECIFICATIONS

Sconce

Base Item #302630

FINISH Coastal Black - 10

LAMPING LED

LAMPING

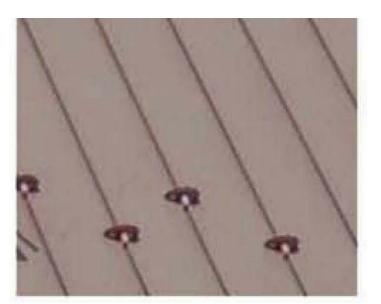
LED

Configured Item #302630-1005 302630-LED-10-78

Construction: Die-cast aluminum.				
Power:	Direct wiring, no remote driver needed.			
Input:	120V 50/60Hz (277V special order/3000K, Amber (AM)			
Light Source	: HV-AC High Power LED, CRI: 90 Optional color lenses. Total power consumption of 3.5W			
Mounting:	Fits into $2'' \times 4''$ J-Box with minimum inside dimensions of $3''L \times 2''W \times 2''H$ Includes bracket for J-Box mount.			
Dimming:	Dim to 10% with ELV dimmer (120V only). Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vietri VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600			
Standards:	IP66, UL $\&$ cUL Listed for wet locations, Title 24 Compliant (120V only)			

ACCENT Coastal Burnished Steel - 78

Stratum Dark Sky Friendly LED Outdoor



RUSTED STANDING SEAM METAL ROOF



8" VERTICAL WOOD SIDING STAINED MEDIUM BROWN



OIL RUBBED METAL PANELS. SEE ELEVATION FOR PATTERN



TELLURIDE GREY STONE VENEER

NOT FOR CONSTRUCTION TEL: 970-728-9755 FAX: 970.728.9724 jwesson@me.com L VV A _____

vall for	LED Lamping Dedicated LED: 15 watt CCT: 3000k CRI: 90 Input: 120 - 277V 50/60Hz Dimming: ELV, 0-10 Delivered Lumens: 500 LED Source Lumens: 975 IES Files Available: N
ting	Location Rating Outdoor Wet
	Safety Rating UL, CUL listed



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE: SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE NATURAL GAS: BLACK HILLS ENERGY POWER: SAN MIGUEL POWER TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIRIEMENTS. REFER TO THE SITE—SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY—DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON—STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.

