

## NARRATIVE

10.25.21

To: Community Development Department  
Design Review Board  
Mountain Village, CO

From: Jack Wesson  
Jack Wesson Architects, Inc.  
110 S. Pine #100  
P.O. Box 2051  
Telluride, CO 81435  
(970) 519.1551  
jwesson@me.com.com

Re: Design Review Submission Narrative for a Single Family Residence  
Lot BR600-11, 22 Trails Edge, Mountain Village

This single family residence is proposed to be built on lot BR600-11 (lot size .34 acres). The interior gross heated area is approximately 4314 s.f., 100 s.f. of mechanical and 500 s.f. of gross garage area. The design esthetic is a rustic, mining vernacular in material and massing components as required by the Trails Edge Design covenants. The exterior materials incorporate stained wood siding and timbers, stone and mill-scale steel finish railings and rusted metal roofing (as required). Roof forms are traditional gable forms also compliant with the Trails Edge design requirements. The project is compliant with the Mountain Village Land Use Ordinance; the massing is within the maximum height limit (23'-0 1/2" ave. and 38'-0" max.) and the site coverage (3733/14942) is only 25.3%.

No variances are requested. All Fireplaces will be natural gas.

The exterior materials meet the surface area criteria:

stone veneer	38.84% (exceeds 35%)
fenestration	21.22%
wood	26.76%
metal accent	13.17%

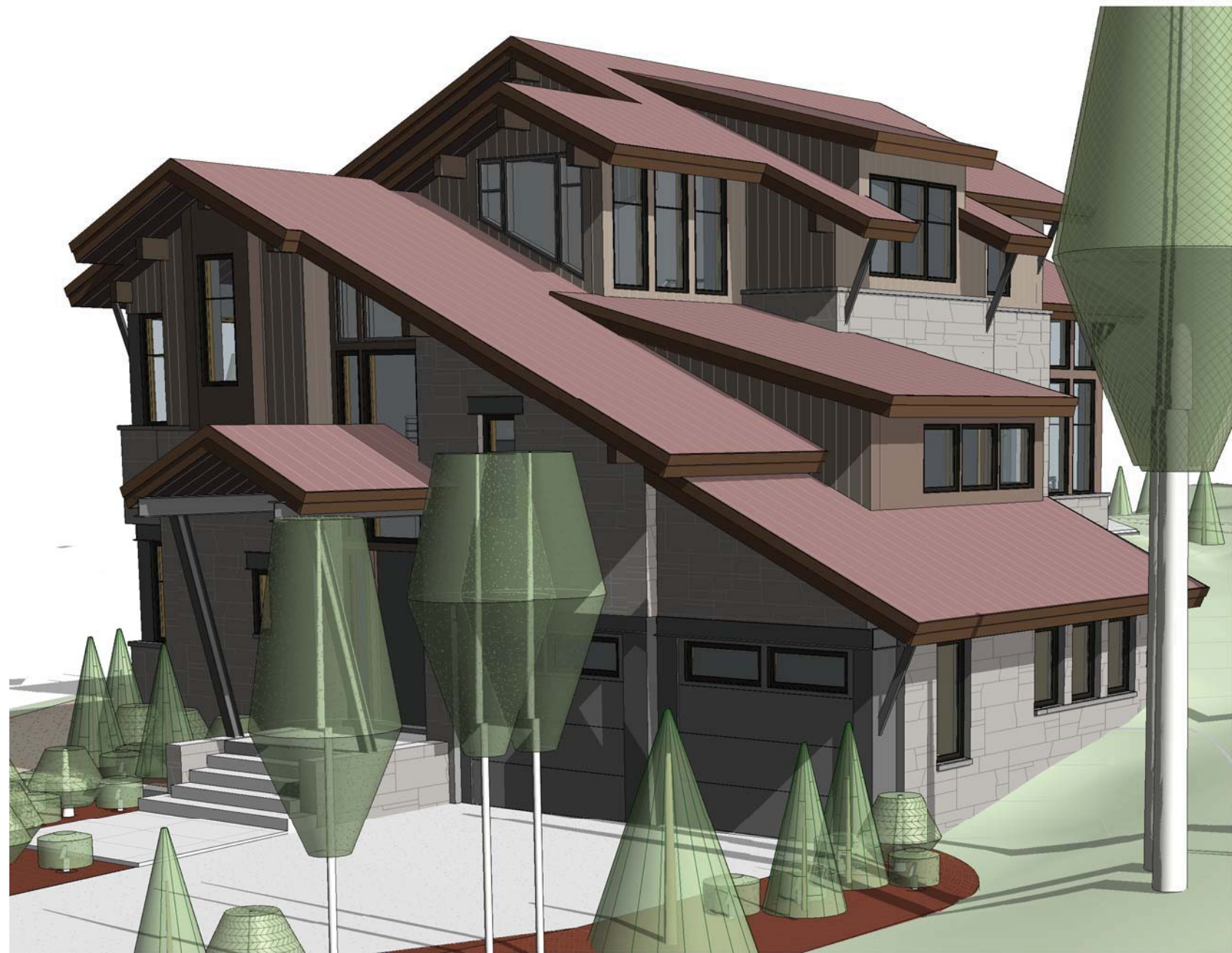
Lot Area:	14942 s.f. mol. (.34 acres)
Site Coverage:	3733 s.f. or 25.3%
Floor Area Living:	4314 s.f. plus 100 s.f. mechanical
Floor Area Garage	500 s.f.
Ave. Ht.	23'-0 1/2" (30' max. ave. allowed)
Max. Ht.	38'-0" (40' max. allowed)

Sincerely,  
Jack Wesson

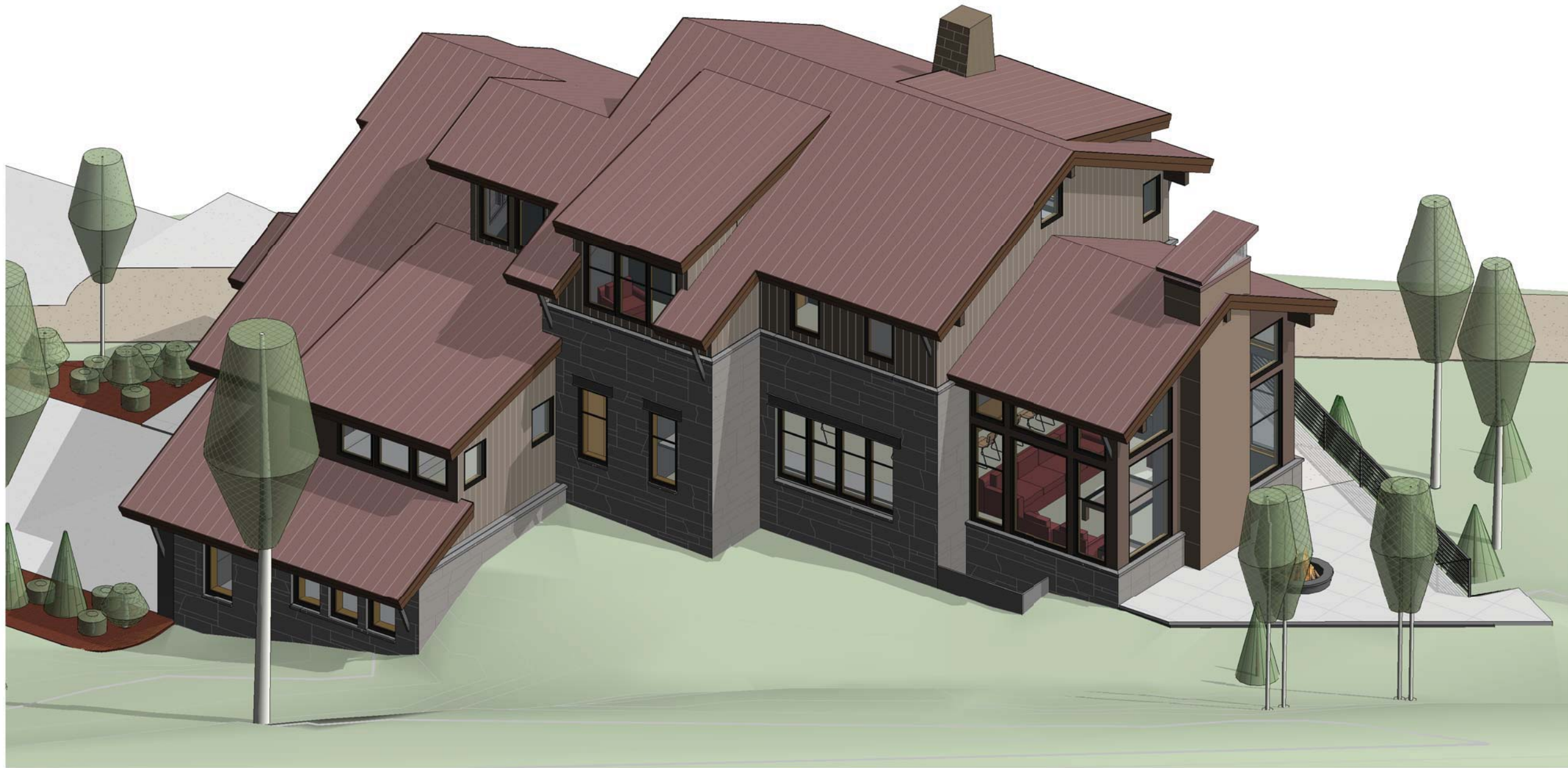




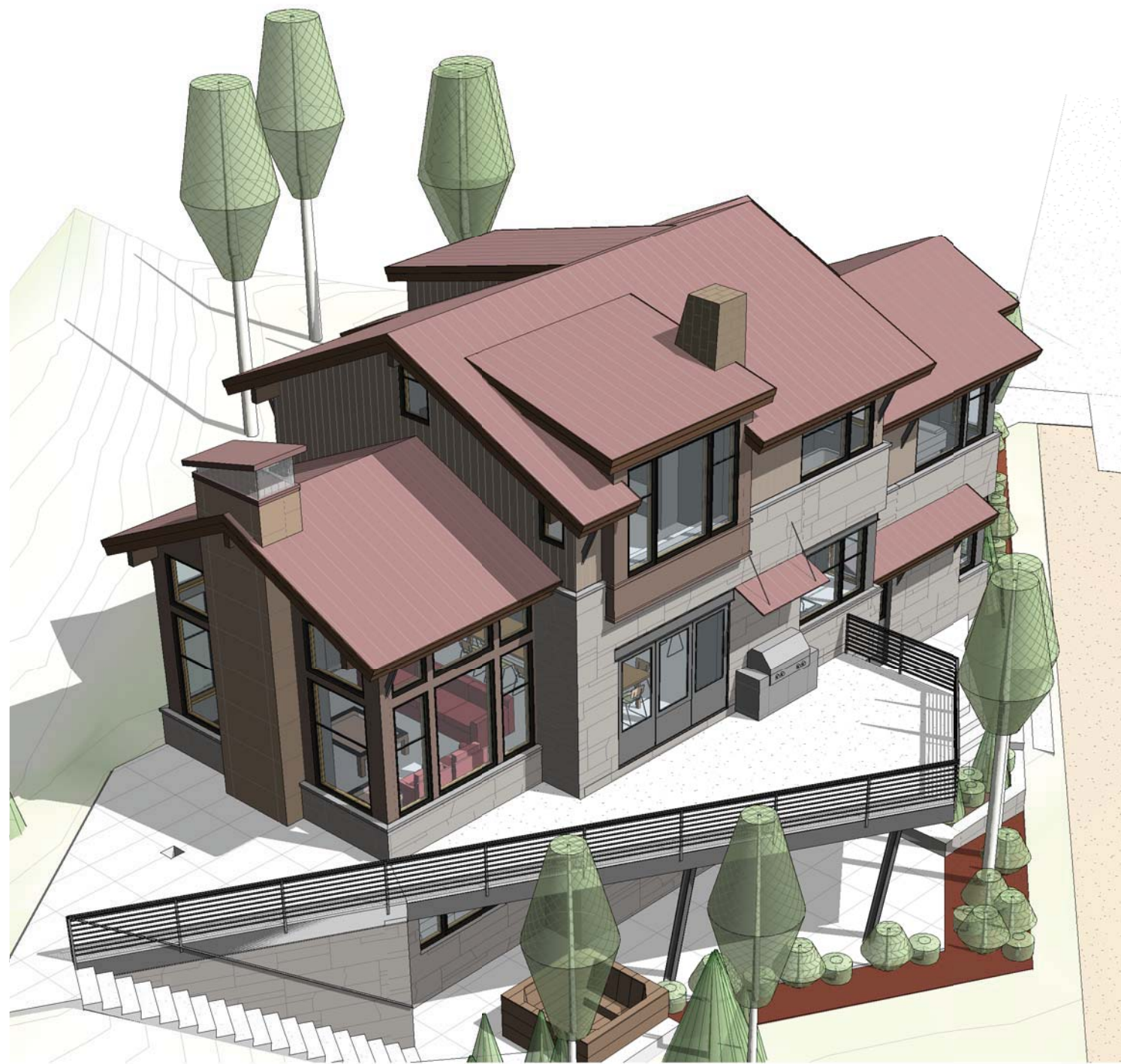




③ 3D View 3



④ 3D view 4B



① 3D View 1



② 3D View 2

NOT FOR CONSTRUCTION



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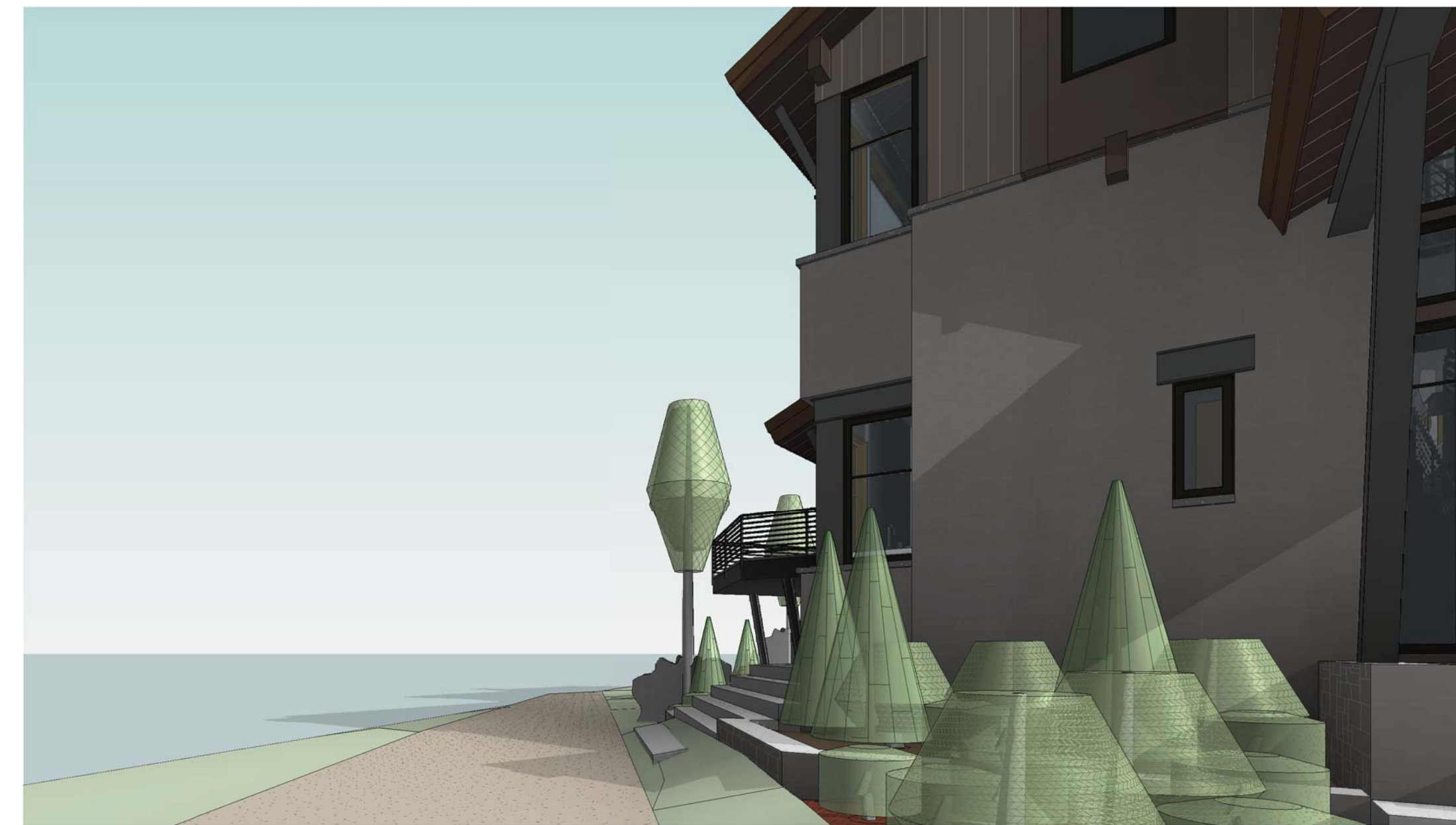
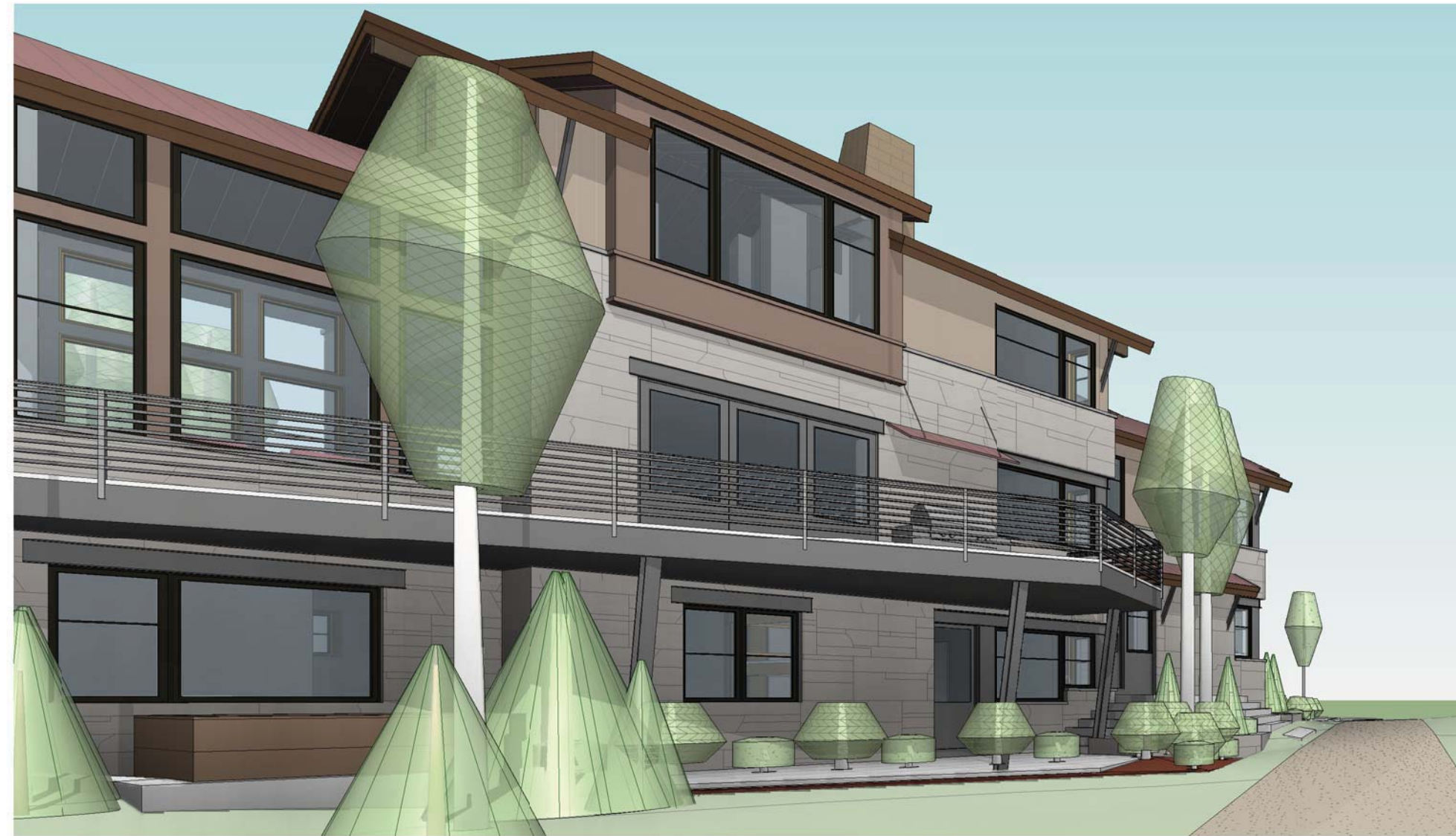
10-27-2021	DRB PACKAGE	
10-4-2021	HOA NOTES	
8-19-2021	DRIVEWAY REV	
7-22-2021	DRB 1	
1-29-2021	REVIT 3D	
MARK	REV. DATE	DESCRIPTION
PROJECT NAME: PROJECT MANAGER: DRAWN BY: REVIEWED BY: RJD JWA		

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

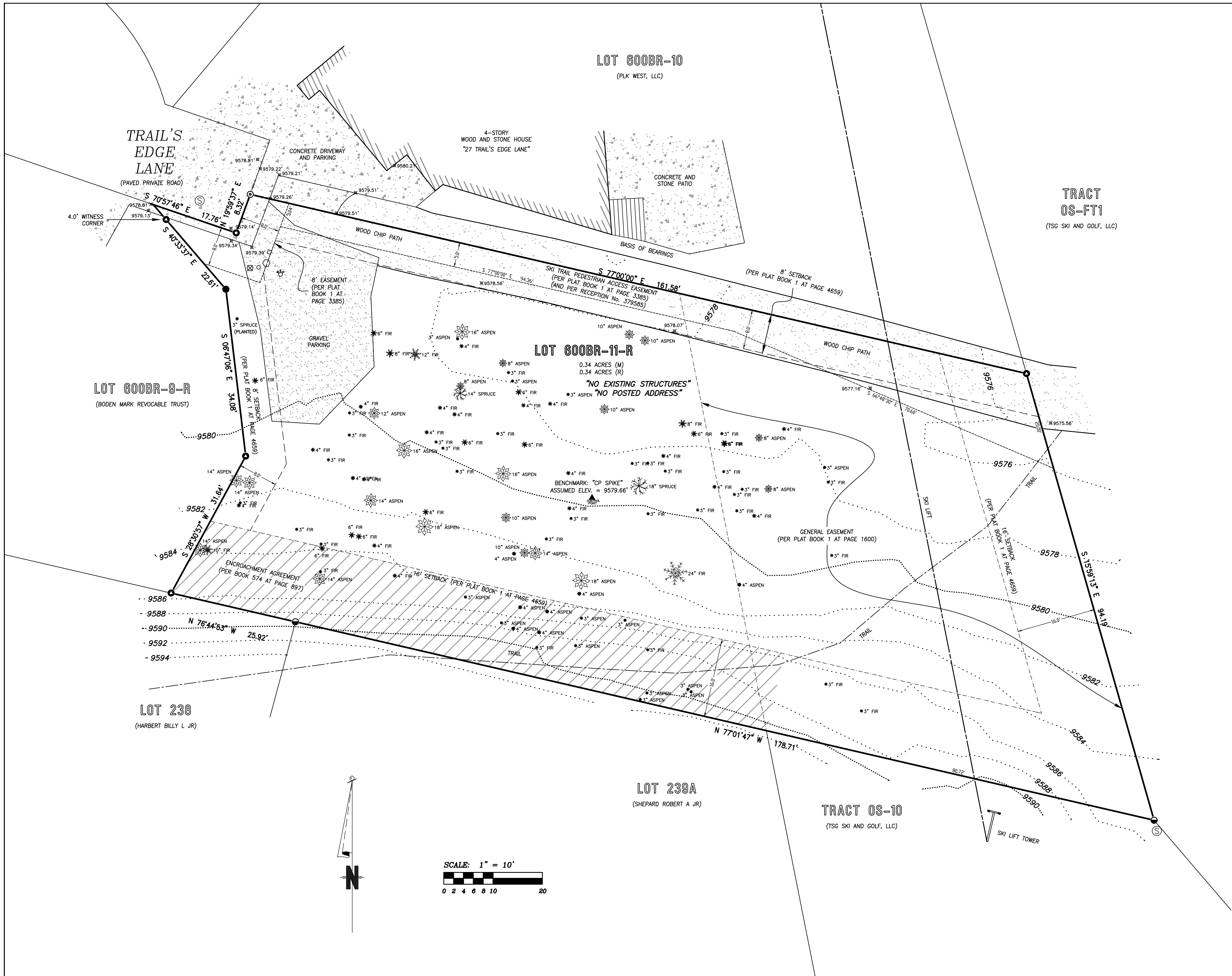
SHEET DESCRIPTION  
3D

SHEET NUMBER  
3D1

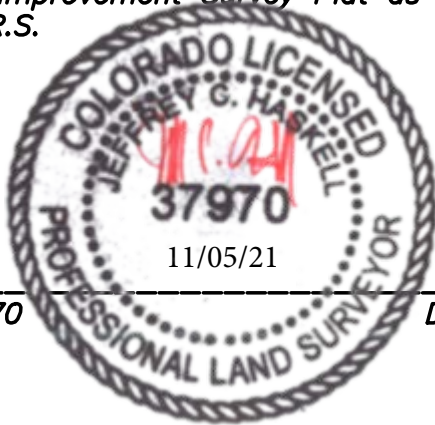


[illegible]





This topographic survey of Lot 600BR-11-R, Telluride Mountain Village, Filing 36 was field surveyed on November 20, 2020 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

- NOTES:**
- Easement research and property description from Land Title Guarantee Company, Order Number TLR86010348, dated August 06, 2020 at 5:00 P.M.
  - Benchmark: Control point "CP SPIKE", as shown hereon, with an assumed elevation of 9579.66' feet.
  - Contour interval is two feet.
  - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**LEGEND**

- SPOT ELEVATION
- CURB STOP
- SEWER MANHOLE
- TELEPHONE PEDESTAL
- GAS RISER
- 4"-PVC PIPE
- 4"x4" LOT POST MARKER
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 36577
- FOUND 3/4" BRASS TAG, L.S. 24966
- FOUND 1-1/2" ALUMINUM CAP ON 18" x 5/8" REBAR, L.S. 37970
- FOUND 3/4" BRASS TAG, L.S. 37970

TOPOGRAPHIC SURVEY  
Lot 600BR-11-R, Trail's Edge at Double Cabins, Town of Mountain Village  
Located within the NW 1/4 of Section 3, T.42N, R.9W, N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH	Rev.		description	date	by
Technician:	FO					
Technician:						
Checked by:	DS					
Start date:	11 / 2020					



970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Drawing path: dwg/13035 Topo 11-20.dwg Sheet1 of 1 Project #: 13035



(PLK WEST, LLC)

(PAVED PRIVATE ROAD)

### CONCRETE DRIVEWAY AND PARKING

4-STORY  
WOOD AND STONE HOUSE  
"27 TRAIL'S EDGE LANE"

## CONCRETE AND STONE PATIO

(TSG SKI AND GOLF, LLC)

(BODEN MARK REVOCABLE TRUST)

0.34 ACRES (M)  
0.34 ACRES (R)

(HARBERT BILLY L JR)

(SHEPARD ROBERT A JR)

(TSG SKI AND GOLF, LLC)

SPOT ELEVATION

SPRUCE TREE TO BE REMOVED

SPRUCE TREE TO REMAIN

FIR TREE TO BE REMOVED

FIR TREE TO REMAIN

APSEN TREE TO BE REMOVED

APSEN TREE TO REMAIN

CURB STOP

SEWER MANHOLE

TELEPHONE PEDESTAL

## GAS RISER

4"-PVC PIPE

4" X 4" LOT POST MARKER

FOUND 1-1/2" ALUMINUM CAP  
ON 5/8" REBAR, L.S. 20632

FOUND 1-1/2" ALUMINUM CAP  
ON 5/8" REBAR, L.S. 36577

FOUND 3/4" BRASS TAG,  
L.S. 24966

FOUND 1-1/2" ALUMINUM CAP  
ON 18" x 5/8" REBAR, L.S. 37970

FOUND 3/4" BRASS TAG,  
L.S. 37970

# DOUBLE CABINS SKI RUN

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ackwessonarchitects.com

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

## SITE PLAN

EET NUMBER:  
**A100**

**\*\*\*SQUARE FOOTAGE REQUIRES  
A FIRE SPRINKLER SYSTEM\*\*\***

1 SITE PLAN  
1/8" = 1'-0"

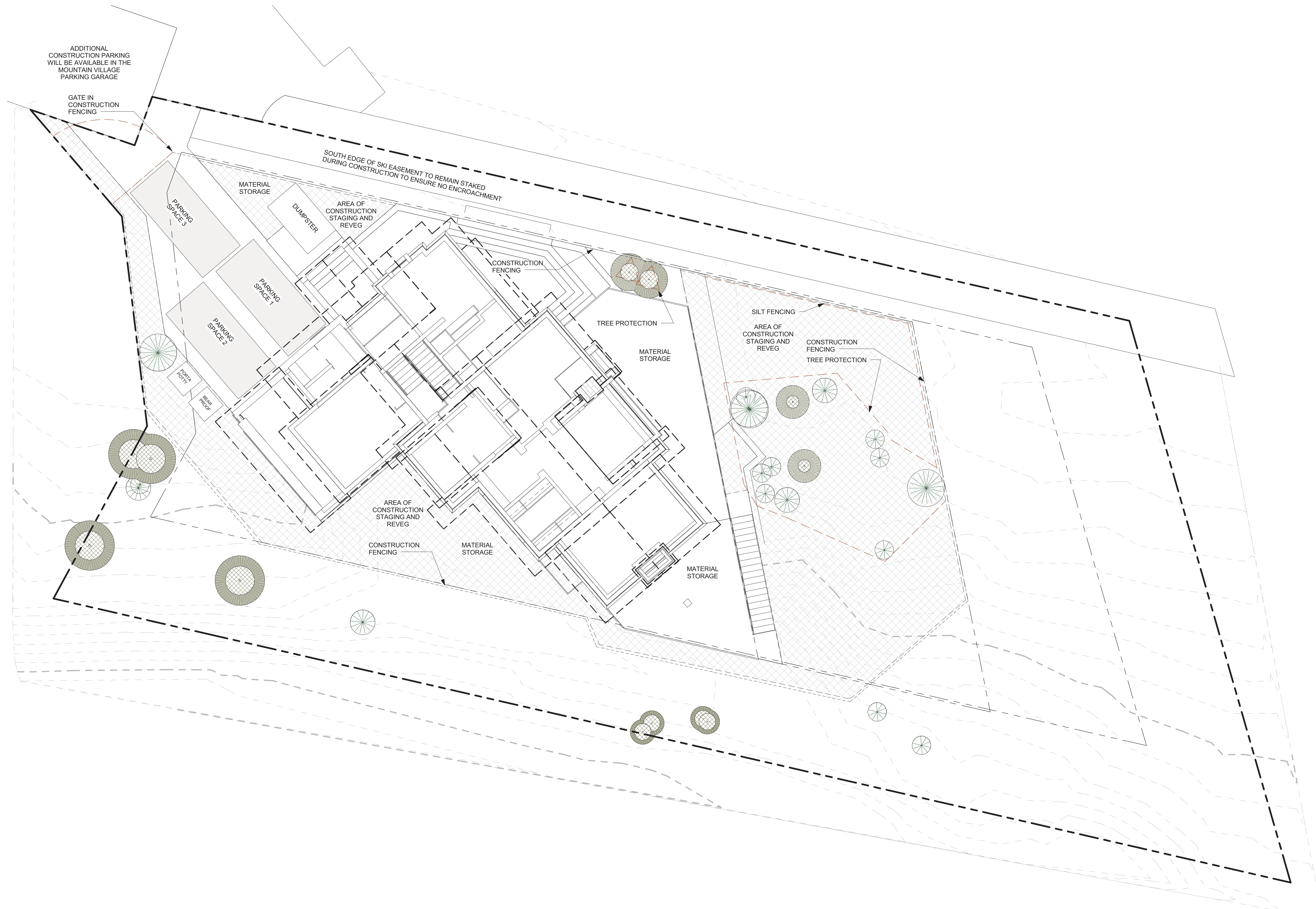


	10-27-2021	DRB PACKAGE
	10-4-2021	HOA NOTES
	8-19-2021	DRIVEWAY REV
	7-22-2021	DRB 1
	1-29-2021	REVIT 3D

MARK	REV. DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		

PrairieRegular





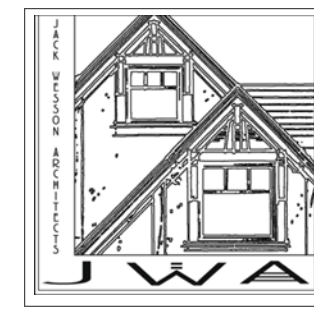
1 SITE PLAN- CONSTRUCTION STAGING  
1/8" = 1'-0"



ADDITIONAL CONSTRUCTION PARKING WILL BE AVAILABLE  
IN THE MOUNTAIN VILLAGE PARKING GARAGE

\*\*\*NOTE: ADDITIONAL TREE CLEARING WILL BE DONE IN ACCORDANCE WITH THE  
MOUNTAIN VILLAGE LAND USE ORDINANCE FIRE MITIGATION REQUIREMENTS\*\*\*

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MARK	REV	DATE	DESCRIPTION
	11-2-21		TREE REMOVAL REVISION
	10-19-21		HOA FINAL APPROVAL
	8-13-21		CONSTRUCTION STAGING
	8-23-21		CRIB SET 1
	7-19-21		HOA SET 1
	4-21-21		SITE PLAN PROGRESS
	3-25-21		AREA CALCUS
	3-15-21		DRAWING SET
	2-22-21		SITE PLANNING

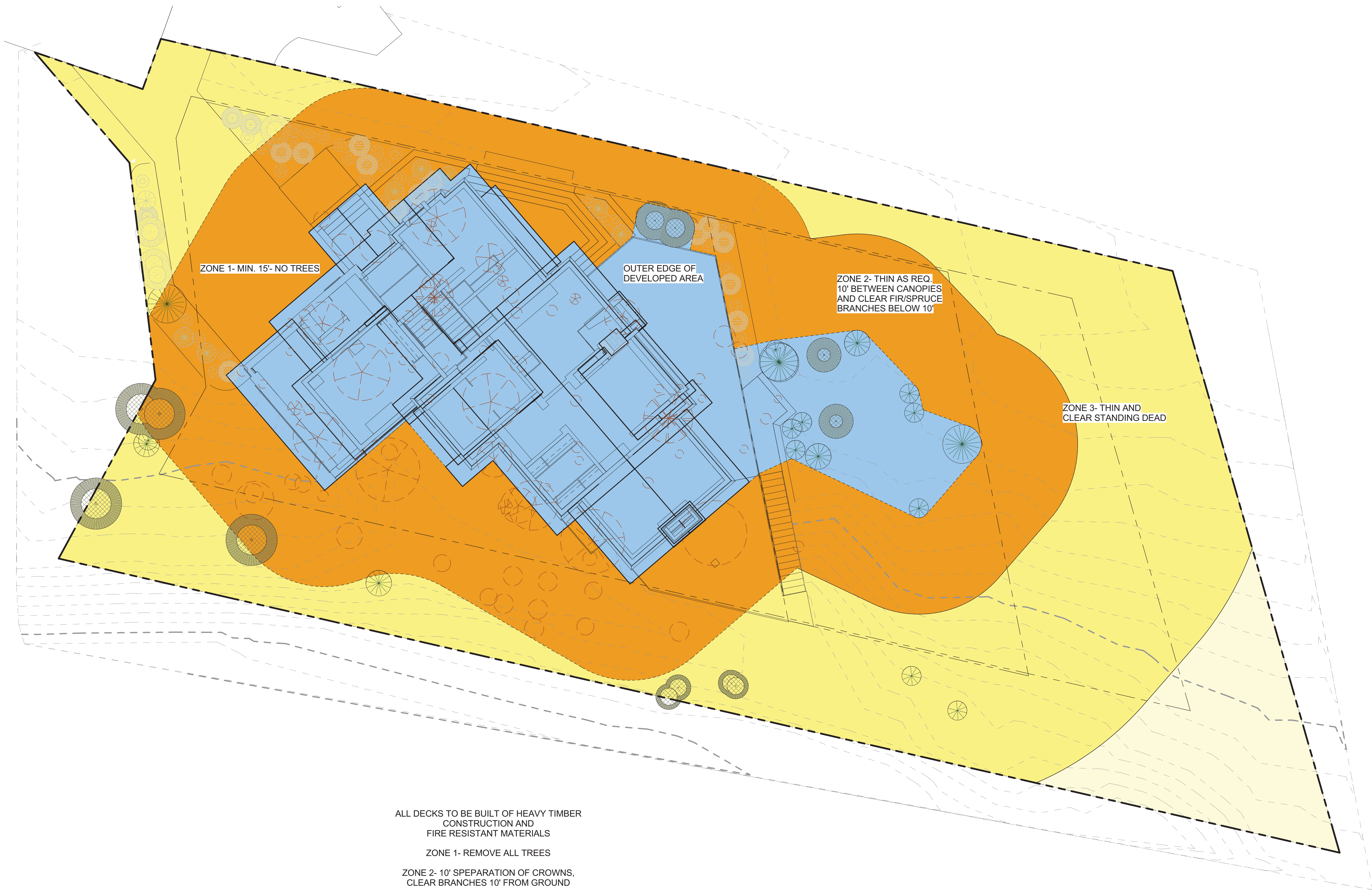
PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
JWA

PROJECT NAME:  
LOT 600BR-11-R  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
CONSTRUCTION  
STAGING PLAN

SHEET NUMBER:  
**A101**





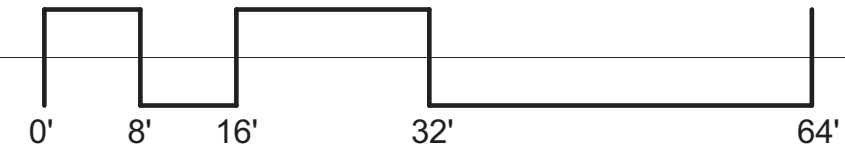
ALL DECKS TO BE BUILT OF HEAVY TIMBER  
CONSTRUCTION AND  
FIRE RESISTANT MATERIALS

ZONE 1- REMOVE ALL TREES


ZONE 2- 10' SPEPARATION OF CROWNS,  
CLEAR BRANCHES 10' FROM GROUND

ZONE 3- THIN AND CLEAR STANDING DEAD

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED  
ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH  
HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS,  
SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE,  
HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT  
MATERIALS SUCH AS THOSE LISTED AS WUI (WILDLAND  
URBAN INTERFACE CODE) APPROVED PRODUCTS.



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11-2-21	TREE REMOVAL REVISION	
10-19-21	HOA FINAL APPROVAL	
8-13-21	CONSTRUCTION STAGING	
8-23-21	CRIB set 1	
7-19-21	HOA set 1	
4-21-21	SITE PLAN PROGRESS	
3-25-21	AREA CALCUS	
3-16-21	DRAW'T SET	
2-22-21	SITE PLANNING	
MARK	REV. DATE	DESCRIPTION

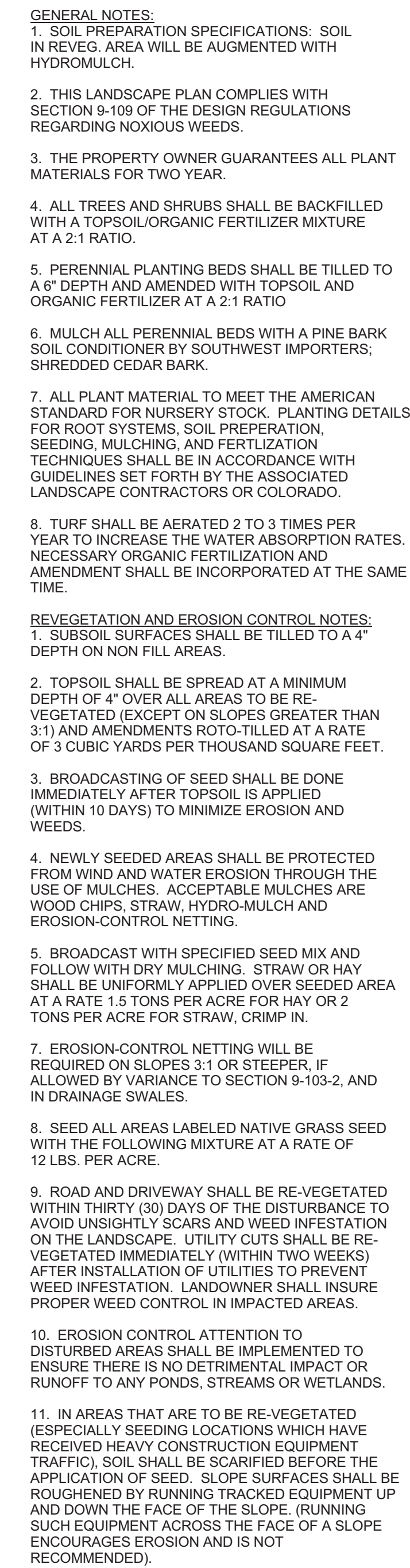
PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
JW

LOT 600BR-11-R  
MOUNTAIN VILLAGE  
COLO. 81435

SHEET DESCRIPTION:  
FIRE MITIGATION  
PLAN

SHEET NUMBER:  
A102





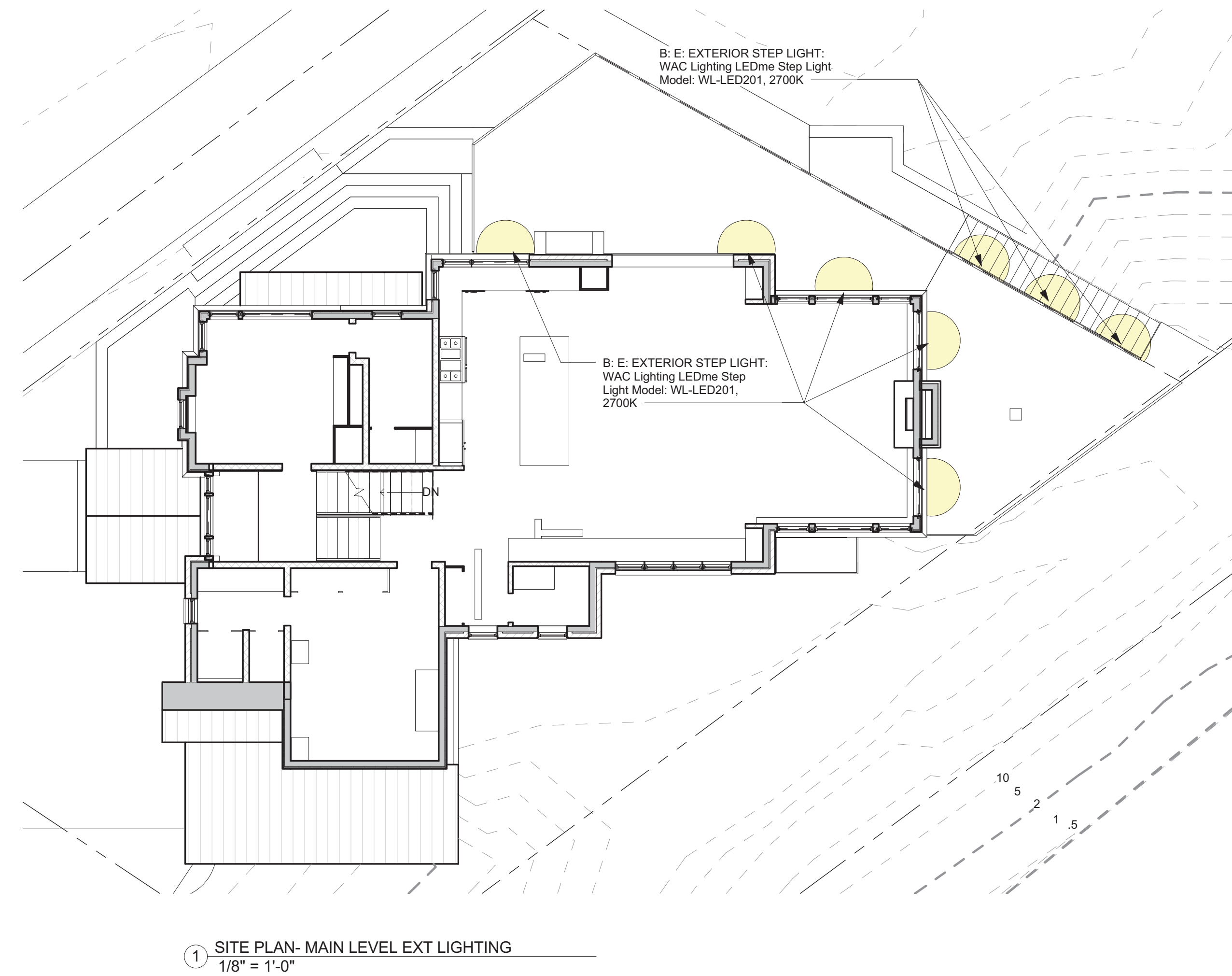
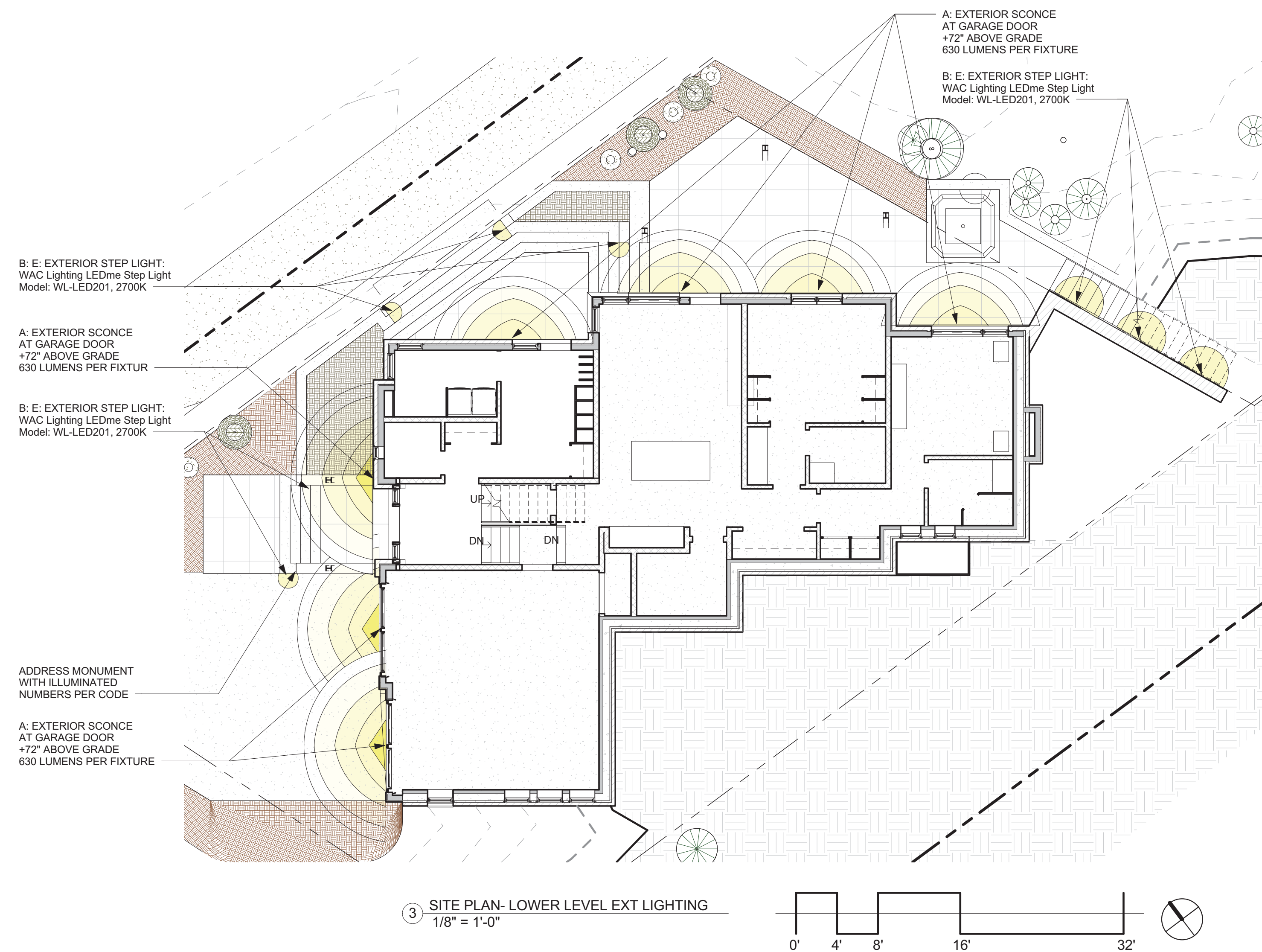
THE PROJECT SHALL COMPLY WITH THE ADOPTED  
TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE  
ENERGY CODE AND GREEN BUILDING STANDARD

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SHEET NUMBER  
**A103**

NOTE: REVEGETATION IS WILL  
BE NATIVE MIX  
5% WESTERN YARROW  
10% TALL FESCUE  
5% ARIZONA FESCUE  
5% HARD FESCUE  
10% CREEPING RED FESCUE  
15% ALPINE BLUEGRASS  
10% CANADA BLUEGRASS  
15% PERENNIAL RYEGRASS  
10% SLENDER WHEATGRASS  
15% MOUNTAIN BROME  
APPROX. 5000 SF





\*\*\*ALL LIGHTING TO BE ON A DIMMER MANAGEMENT SYSTEM\*\*\*



B: E: EXTERIOR STEP LIGHT: WAC Lighting LEDme Step Light Model: WL-LED201, 2700K

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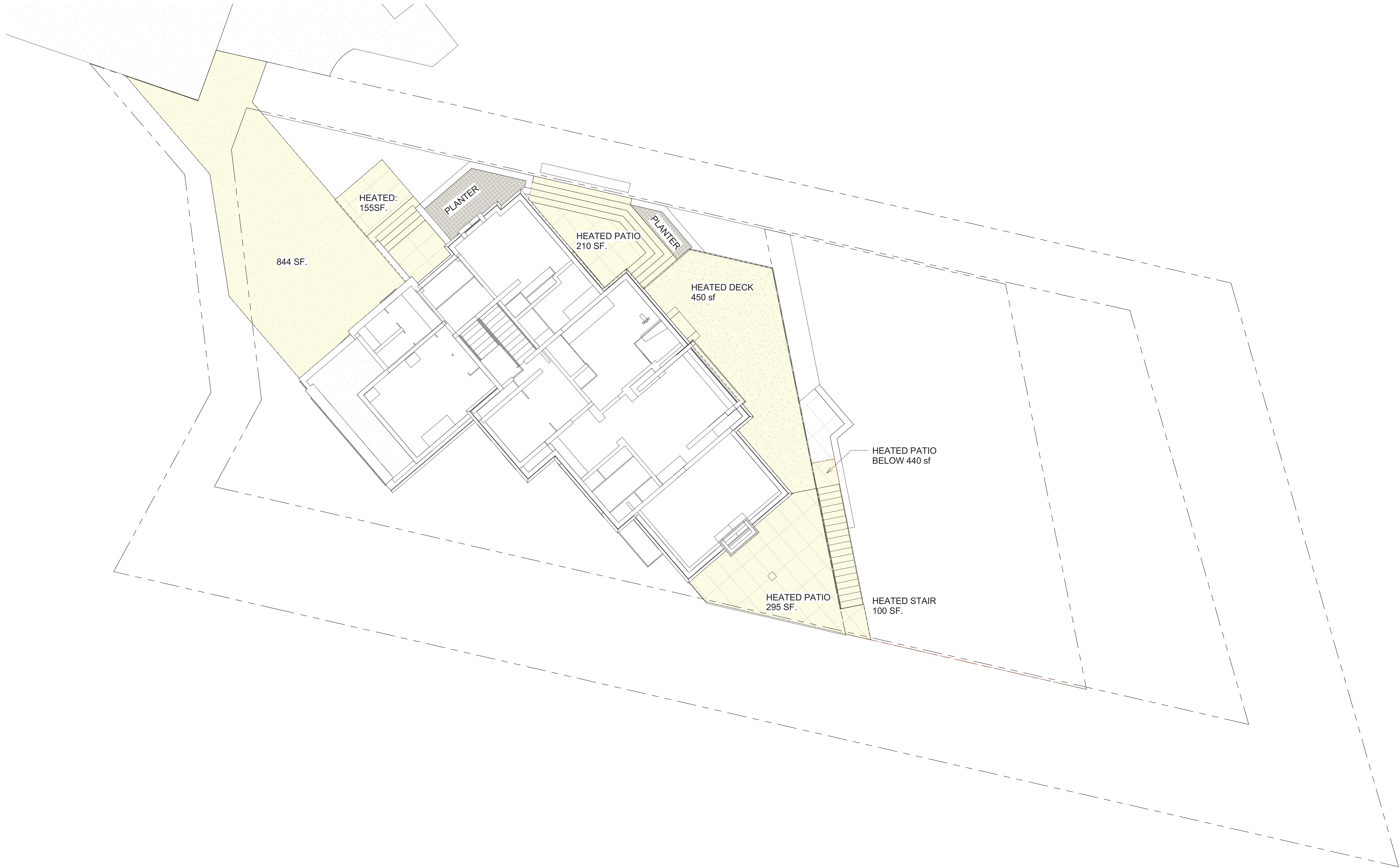
**JACK WESSON**  
ARCHITECTS INC.

**SHEET DESCRIPTION:**  
**EXTERIOR LIGHTING**  
**PLAN**

EET NUMBER:  
**A104**


	11-2-21	TREE REMOVAL REVISION
	10-19-21	HOA FINAL APPROVAL
	9-13-21	CONSTRUCTION STAGING
	8-23-21	DRB set 1
	7-19-21	HOA set 1
	4-21-21	SITE PLAN PROGRESS
	3-25-21	AREA CALC'S
	3-16-21	DRAFT SET
	2-22-21	SITE PLANNING
MARK	REV DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		
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1 SITE PLAN- SNOW MELT PLAN  
1/8" = 1'-0"

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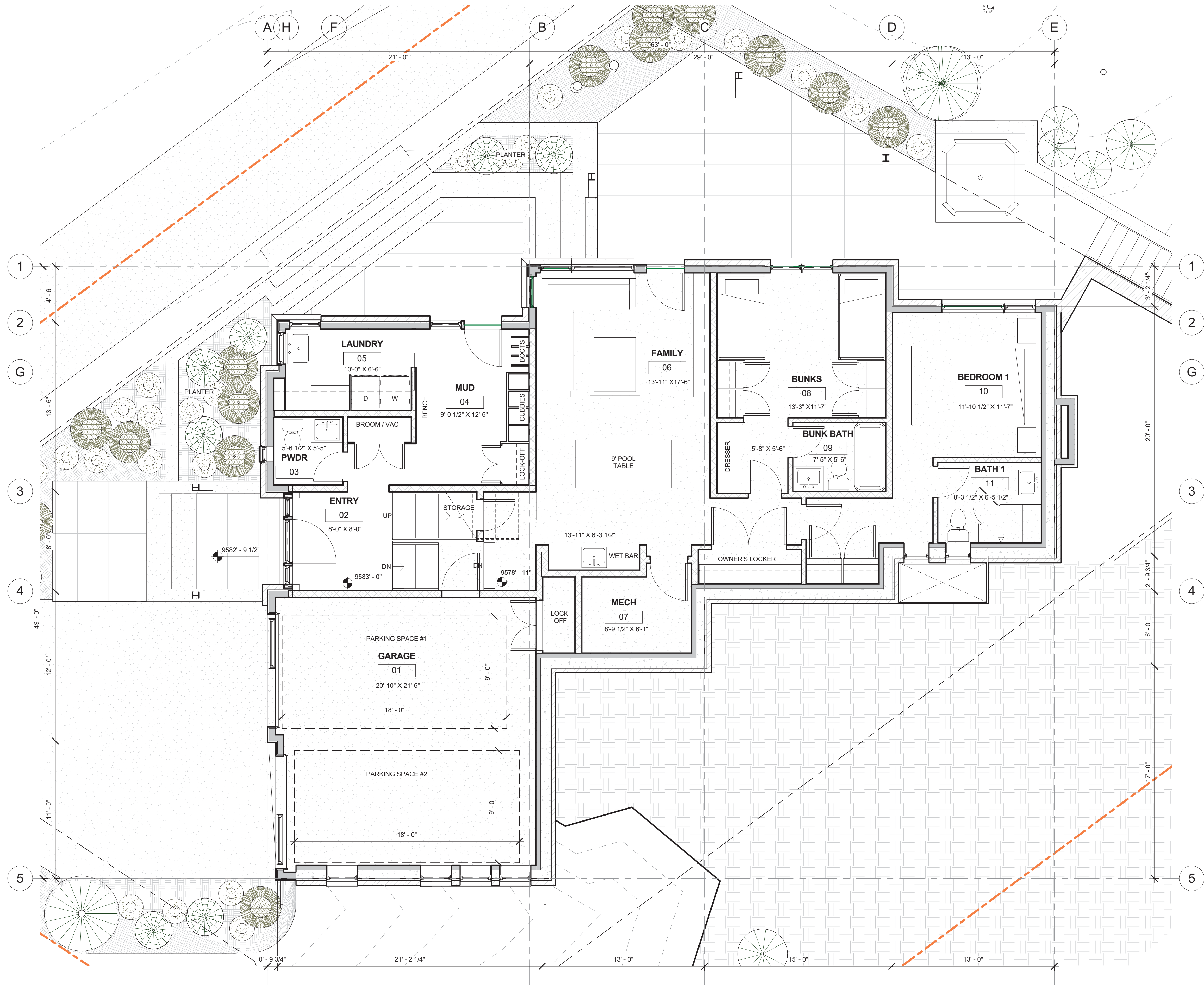
11-2-21	TREE REMOVAL REVISION	
10-19-21	HOA FINAL APPROVAL	
9-13-21	CONSTRUCTION STAGING	
8-23-21	DRB set 1	
7-19-21	HOA set 1	
4-21-21	SITE PLAN PROGRESS	
3-25-21	AREA CALCUS	
3-16-21	DRAW'T SET	
2-22-21	SITE PLANNING	
MARK	REV. DATE	DESCRIPTION
PROJECT NAME: PROJECT MANAGER: DRAWN BY: REVIEWED BY: JWA		

PROJECT NAME:  
LOT 600BR-11-R  
MOUNTAIN VILLAGE  
COLORADO 81435

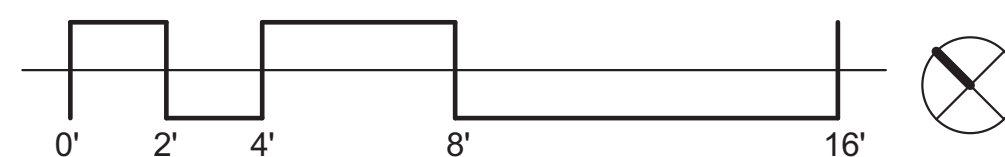
SHEET DESCRIPTION:  
SNOW MELT PLAN

SHEET NUMBER:  
A105





1 FRAMING PLAN- LEVEL 1  
1/4" = 1'-0"



CONSISTENT WITH TOWN BUILDING CODES,  
UNENCLOSED ACCESSORY STRUCTURES  
ATTACHED TO BUILDINGS WITH HABITABLE  
SPACES AND PROJECTIONS, SUCH AS DECKS,  
SHALL BE CONSTRUCTED AS EITHER NON-  
COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR  
GRADE IGNITION RESISTANT MATERIALS SUCH AS  
THOSE LISTED AS WUC (WILDLAND URBAN  
INTERFACE CODE) APPROVED PRODUCTS.

\*\*\*SQUARE FOOTAGE REQUIRES  
A FIRE SPRINKLER SYSTEM\*\*\*

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MARK	REV	DATE	DESCRIPTION
	1	10-27-2021	10RB PACKAGE
	2	10-4-2021	HDA NOTES
	3	8-19-2021	DRIVEWAY REV
	4	7-23-2021	DRB 1
	5	1-29-2021	REVIT 3D

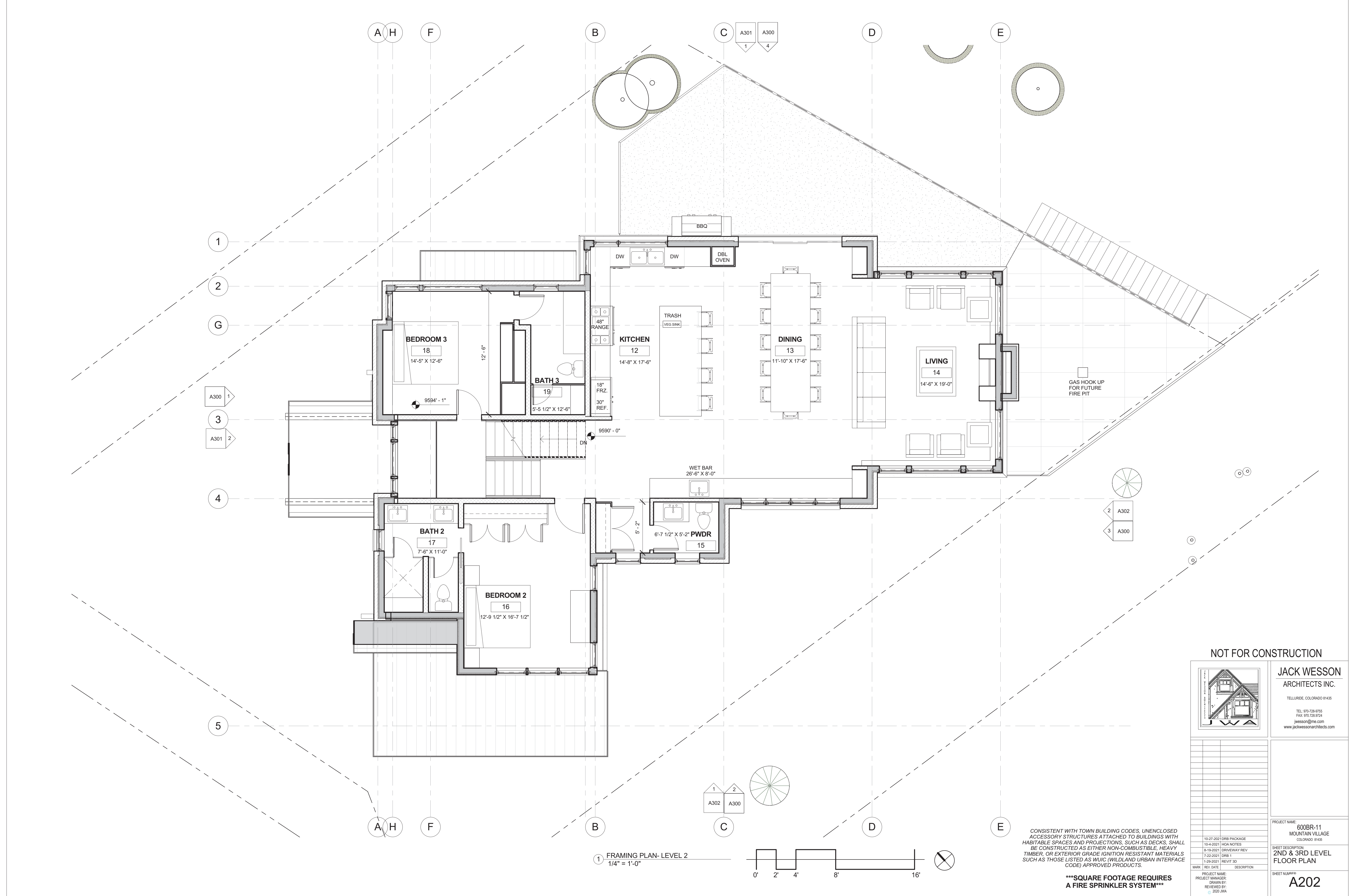
PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
R20 JWA

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
1ST LEVEL FLOOR  
PLAN

SHEET NUMBER:  
A201





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www.jackwessonarchitects.com

PROJECT NAME: 600BR-11 MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION: 2ND & 3RD LEVEL FLOOR PLAN

SHEET NUMBER: A202

MARK	REV	DATE	DESCRIPTION
1	10-27-2021	DRB PACKAGE	
2	10-4-2021	HDA NOTES	
3	8-19-2021	DRIVEWAY REV	
4	7-23-2021	DRB 1	
5	1-29-2021	REVIT 3D	

PROJECT NAME: 600BR-11 MOUNTAIN VILLAGE  
PROJECT MANAGER: JWA  
DRAWN BY: JWA  
REVIEWED BY: JWA

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUI (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

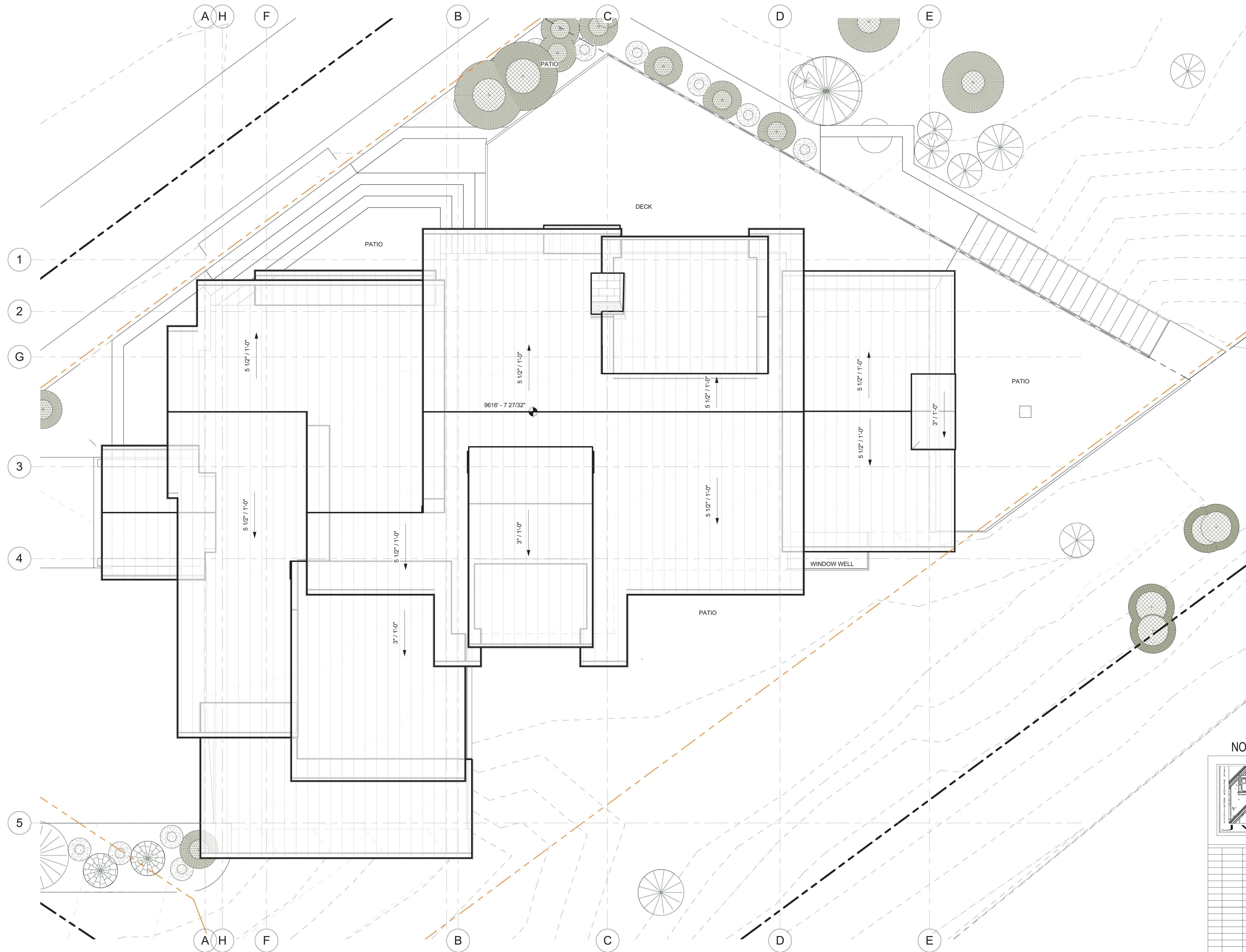
\*\*\*SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM\*\*\*

PrattRegular










1 ROOF  
1/4" = 1'-0"

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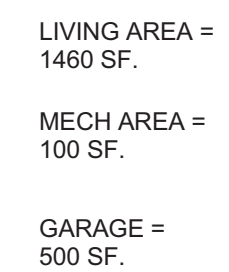
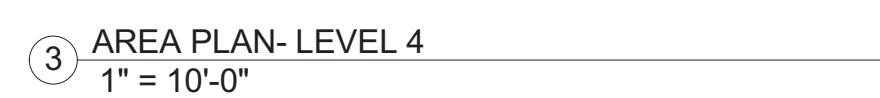
10-27-2021	DRB PACKAGE	
10-4-2021	HDA NOTES	
8-19-2021	DRIVEWAY REV	
7-22-2021	DRB 1	
1-29-2021	REVIT 3D	
MARK	REV DATE	DESCRIPTION
PROJECT NAME: 600BR-11 MOUNTAIN VILLAGE		
PROJECT MANAGER: JWA		
DRAWN BY: JWA		
REVIEWED BY: JWA		
PRAIRIE REGULAR		

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
ROOF PLAN

SHEET NUMBER:  
A204





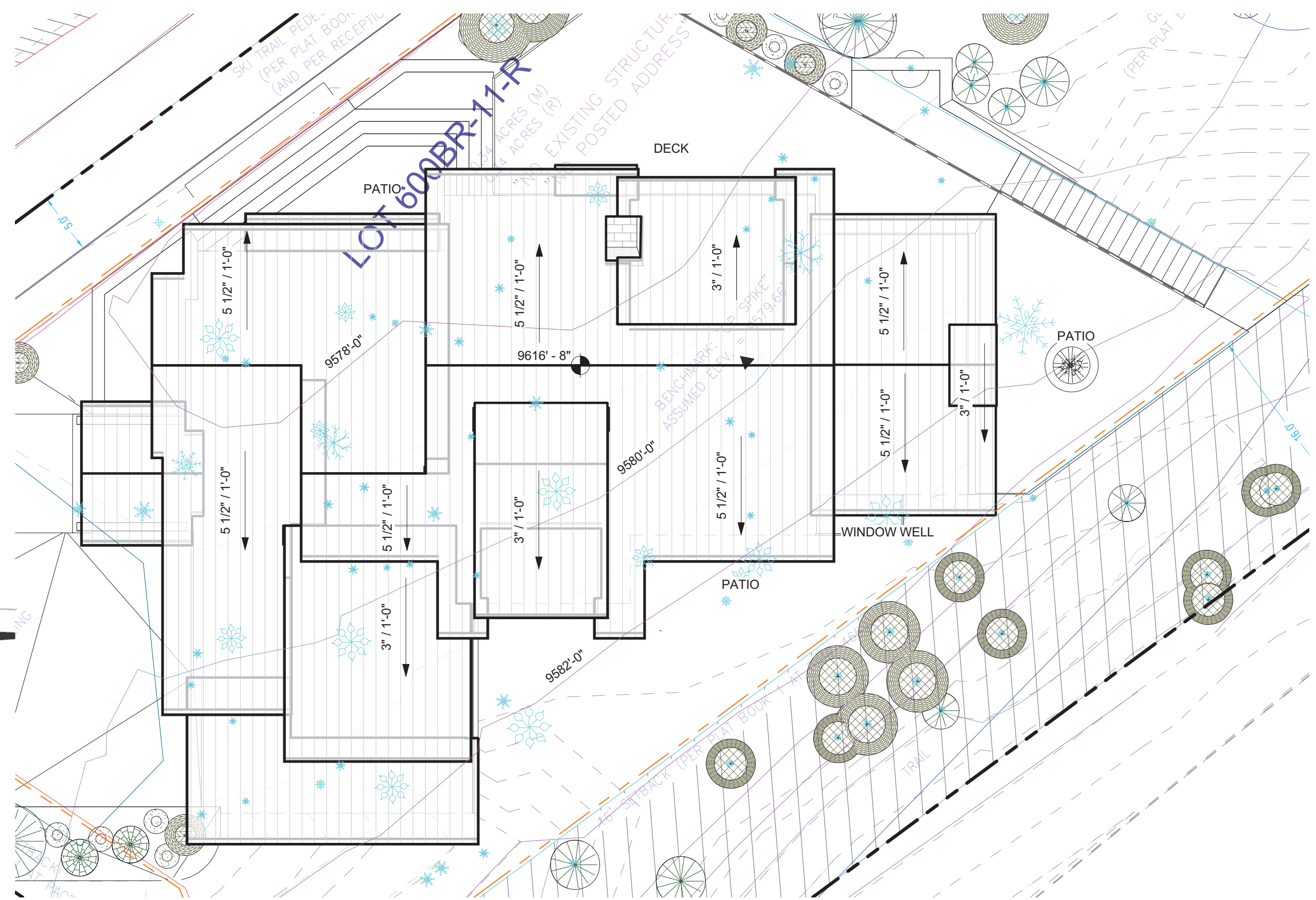
	11-2-21	TREE REMOVAL REVISION
	10-19-21	HOA FINAL APPROVAL
	9-13-21	CONSTRUCTION STAGING
	8-23-21	DRB set 1
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	4-21-21	SITE PLAN PROGRESS
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	3-16-21	DRAFT SET
	2-22-21	SITE PLANNING
MARK	REV. DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		
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**\*\*\*SQUARE FOOTAGE REQUIRES  
A FIRE SPRINKLER SYSTEM\*\*\***

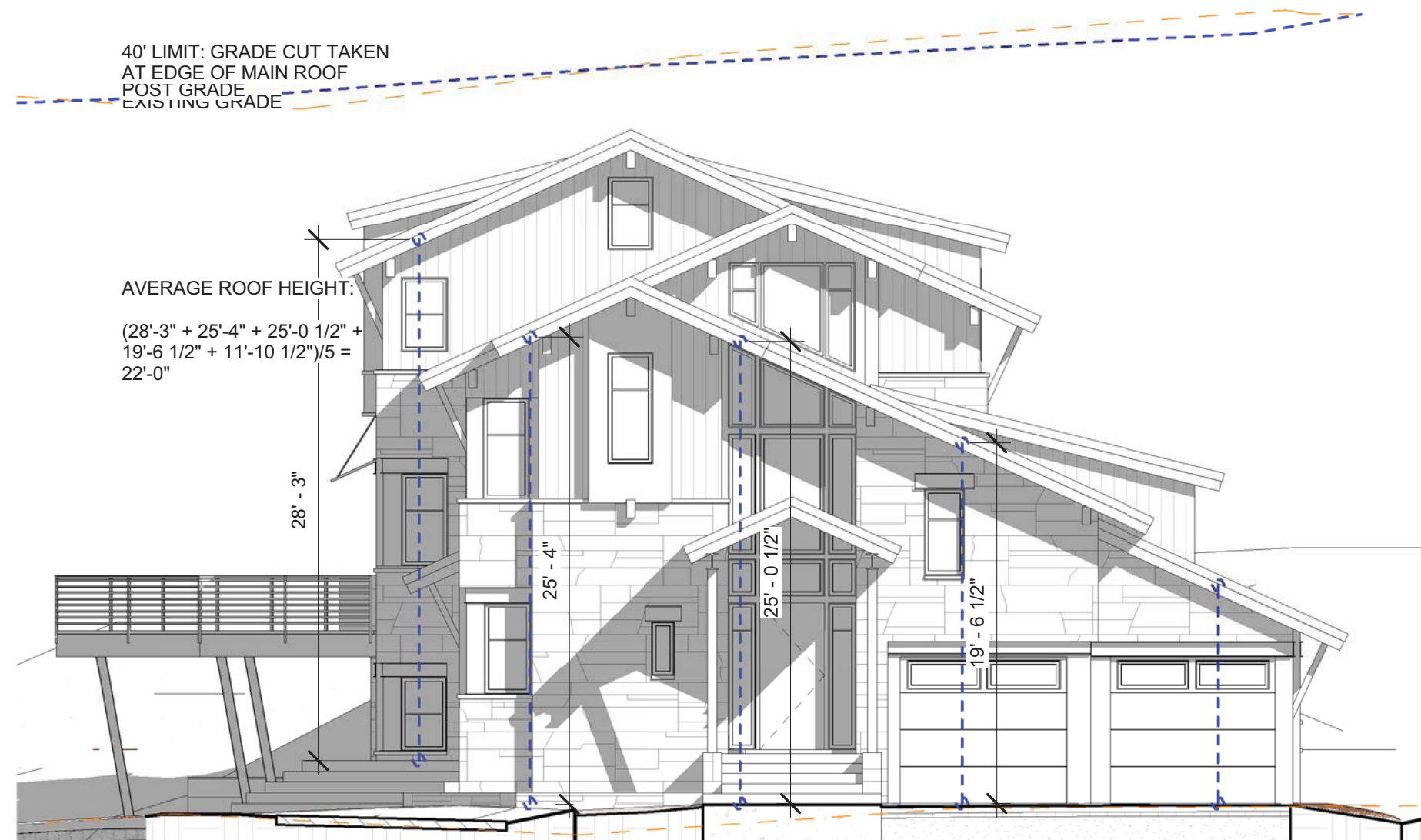




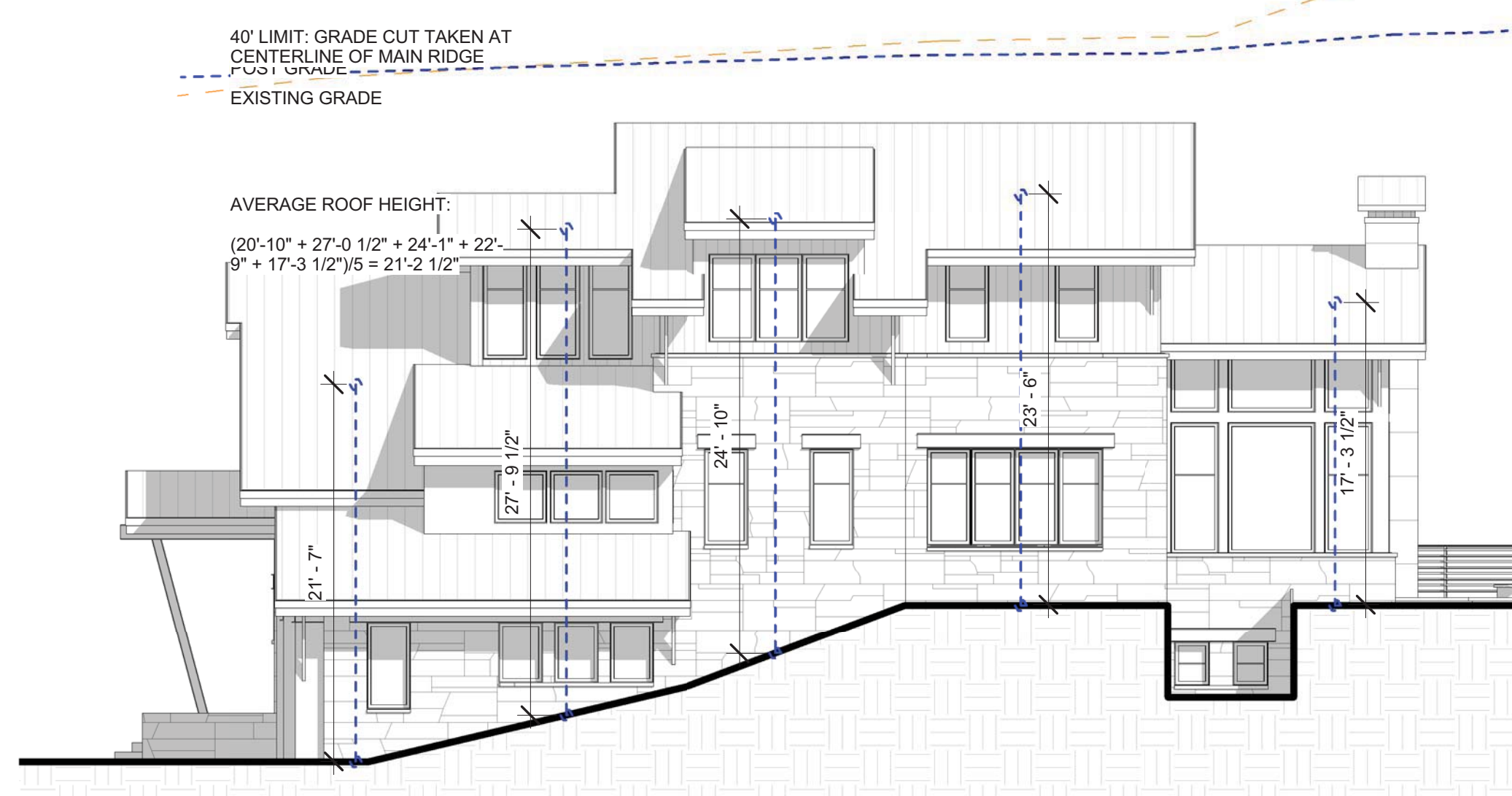
5 40' SHELL HEIGHT CALC



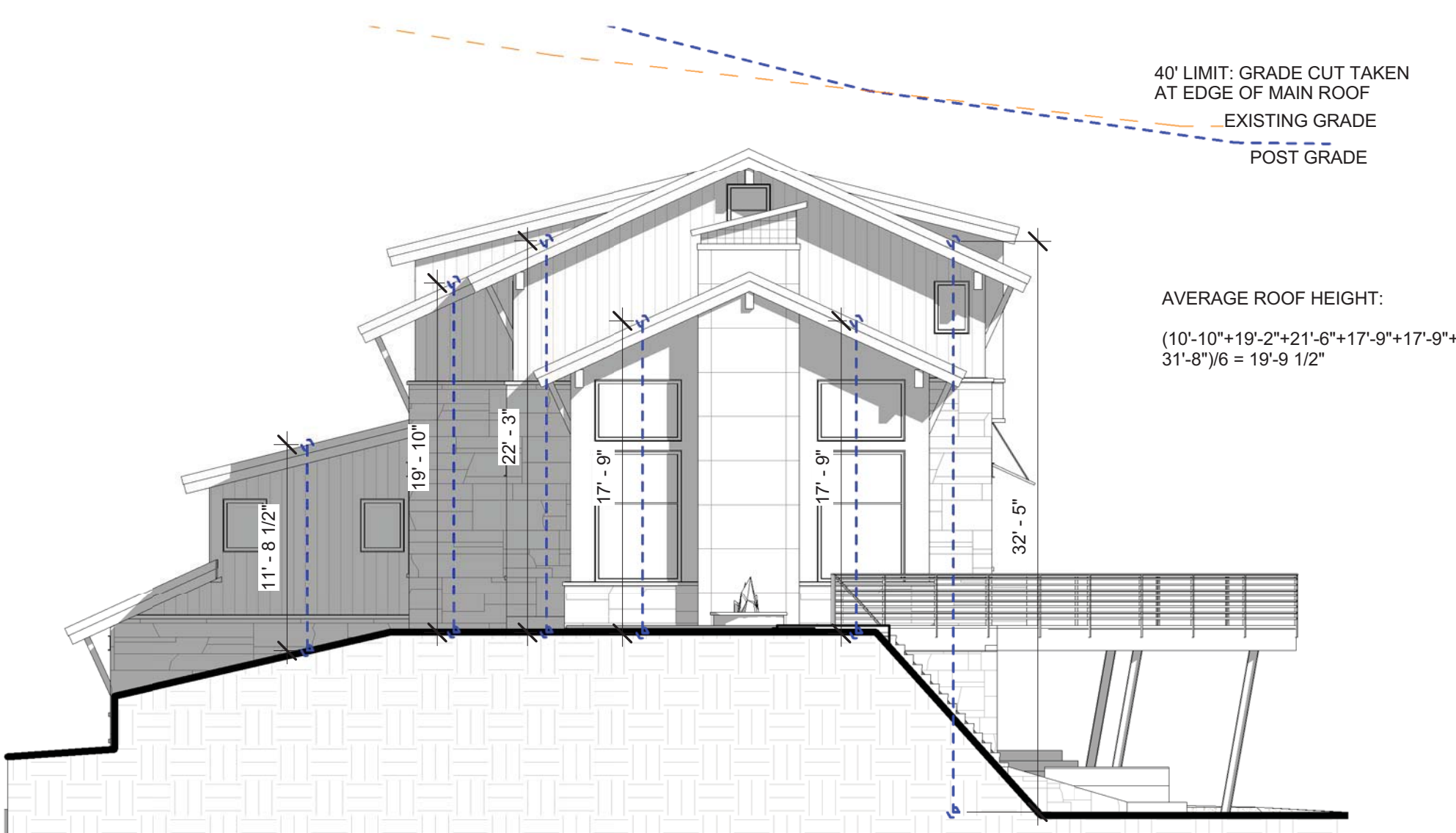
6 ROOF with survey  
1/8" = 1'-0"



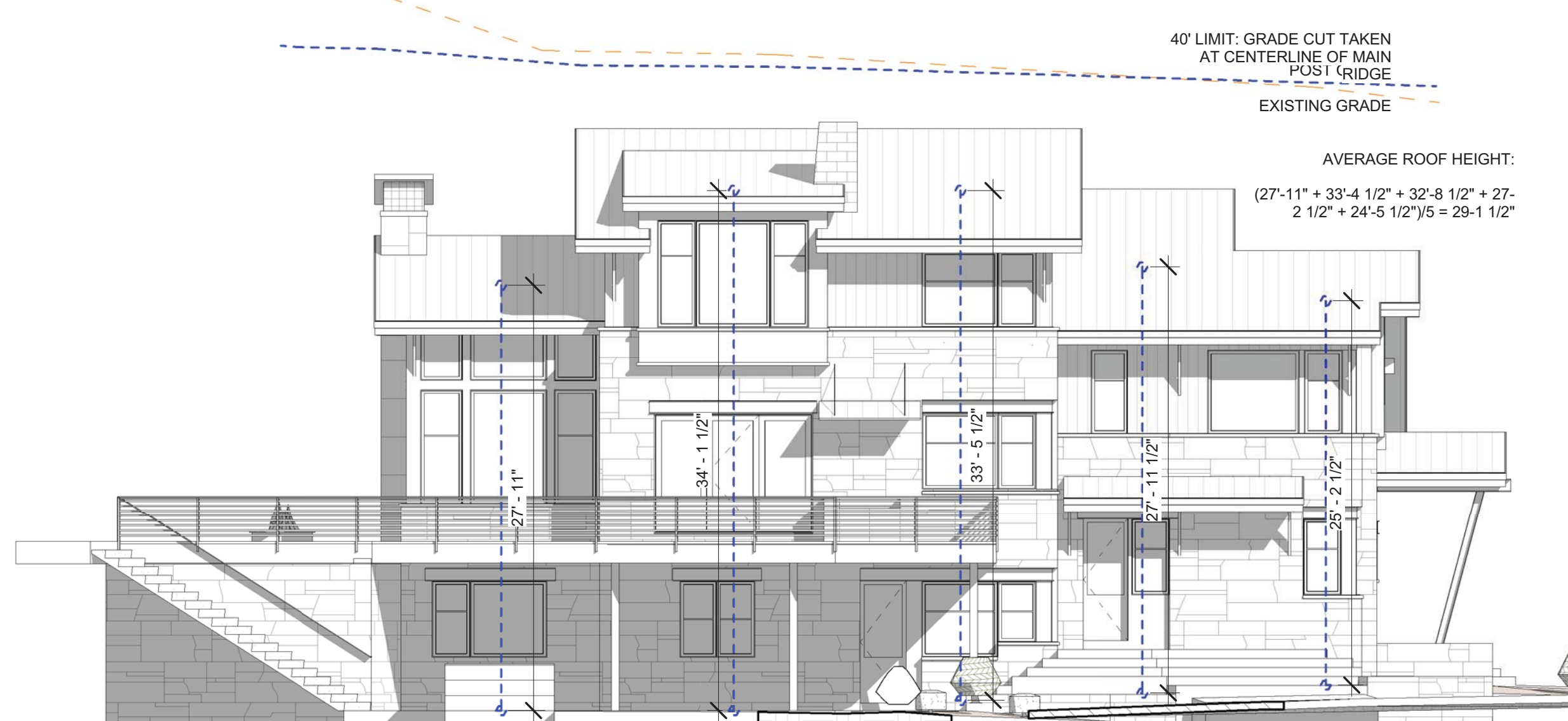
1 HEIGHT CALC- WEST- FRONT  
1/8" = 1'-0"



2 HEIGHT CALC- SOUTH  
1/8" = 1'-0"



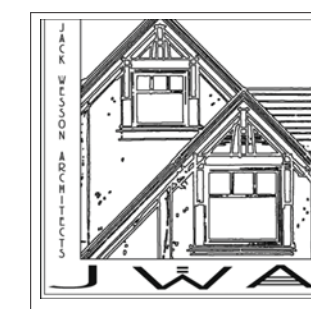
3 HEIGHT CALC- EAST  
1/8" = 1'-0"



4 HEIGHT CALC- NORTH  
1/8" = 1'-0"

AVERAGE ROOF HEIGHT CALCULATION  
NORTH ELEVATION:  
 $(27'-11" + 33'-4 \frac{1}{2}" + 32'-8 \frac{1}{2}" + 27'-2 \frac{1}{2}" + 24'-5 \frac{1}{2}")/5 = 29'-1 \frac{1}{2}"$   
WEST ELEVATION:  
 $(28'-3" + 25'-4" + 25'-0 \frac{1}{2}" + 19'-6 \frac{1}{2}" + 11'-10 \frac{1}{2}")/5 = 22'-0"$   
SOUTH ELEVATION:  
 $(20'-10" + 27'-0 \frac{1}{2}" + 24'-1" + 22'-9" + 17'-3 \frac{1}{2}")/5 = 21'-2 \frac{1}{2}"$   
EAST ELEVATION:  
 $(10'-10" + 19'-2" + 21'-6" + 17'-9" + 17'-9" + 31'-8")/6 = 19'-9 \frac{1}{2}"$   
TOTAL AVERAGE =  
 $(29'-1 \frac{1}{2}" + 22'-0" + 21'-2 \frac{1}{2}" + 19'-9 \frac{1}{2}")/4 = 23'-0 \frac{1}{2}"$

NOT FOR CONSTRUCTION



JACK WESSON  
ARCHITECTS INC.

TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

MARK	REV	DATE	DESCRIPTION
10-27-2021	DRB	PACKAGE	
10-4-2021	HOA	NOTES	
8-19-2021	DRIVEWAY	REV	
7-23-2021	DRB	1	
1-29-2021	REVIT	3D	

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

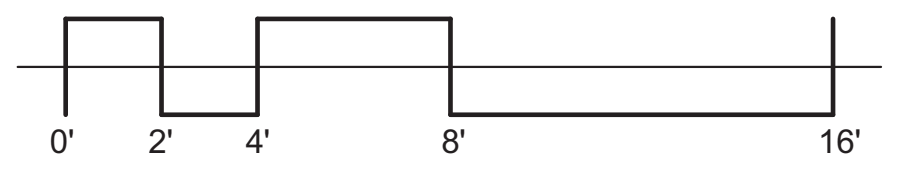
SHEET DESCRIPTION:  
HEIGHT CALCUS

SHEET NUMBER:  
A300

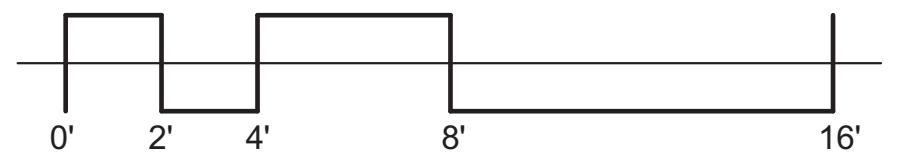




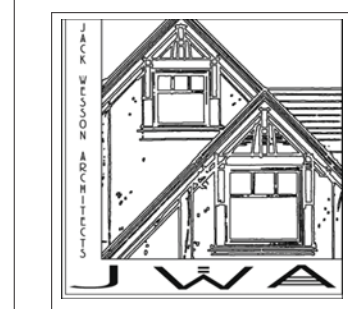
① NORTH  
1/4" = 1'-0"



② WEST-FRONT  
1/4" = 1'-0"



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MARK	REV	DATE	DESCRIPTION
	1	10-27-2021	10RB PACKAGE
	2	10-4-2021	HOA NOTES
	3	8-19-2021	DRIVEWAY REV
	4	7-23-2021	DRB 1
	5	1-29-2021	REVIT 3D

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

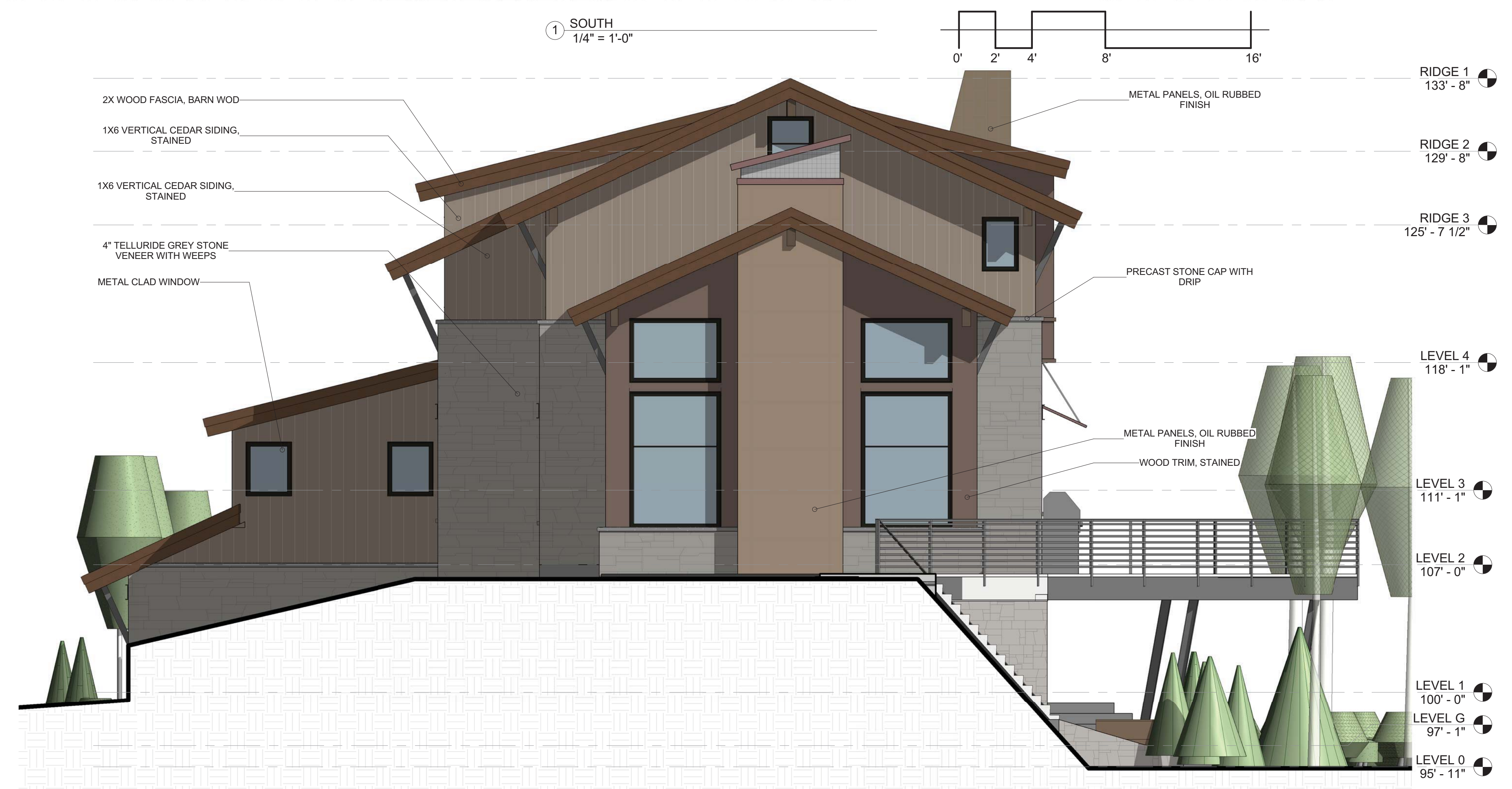
SHEET DESCRIPTION:  
ELEVATIONS

SHEET NUMBER:  
A301





① SOUTH  
1/4" = 1'-0"



② EAST  
1/4" = 1'-0"

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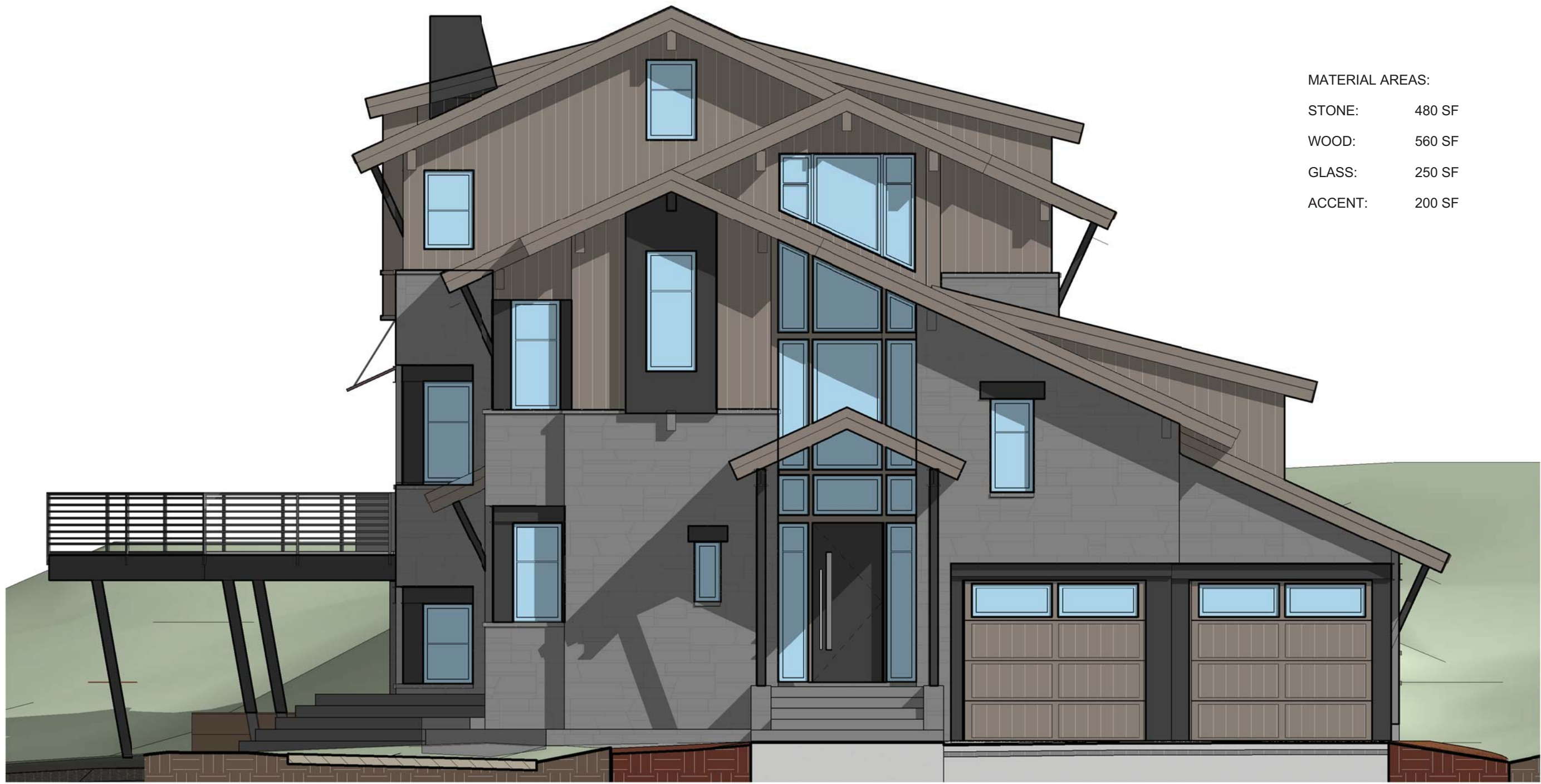
10-27-2021	DRB PACKAGE	
10-4-2021	HOA NOTES	
8-19-2021	DRIVEWAY REV	
7-23-2021	DRB 1	
1-29-2021	REVIT 3D	
MARK	REV DATE	DESCRIPTION
PROJECT NAME: PROJECT MANAGER: DRAWN BY: REVIEWED BY: RJD, JWA		

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
ELEVATIONS

SHEET NUMBER:  
A302





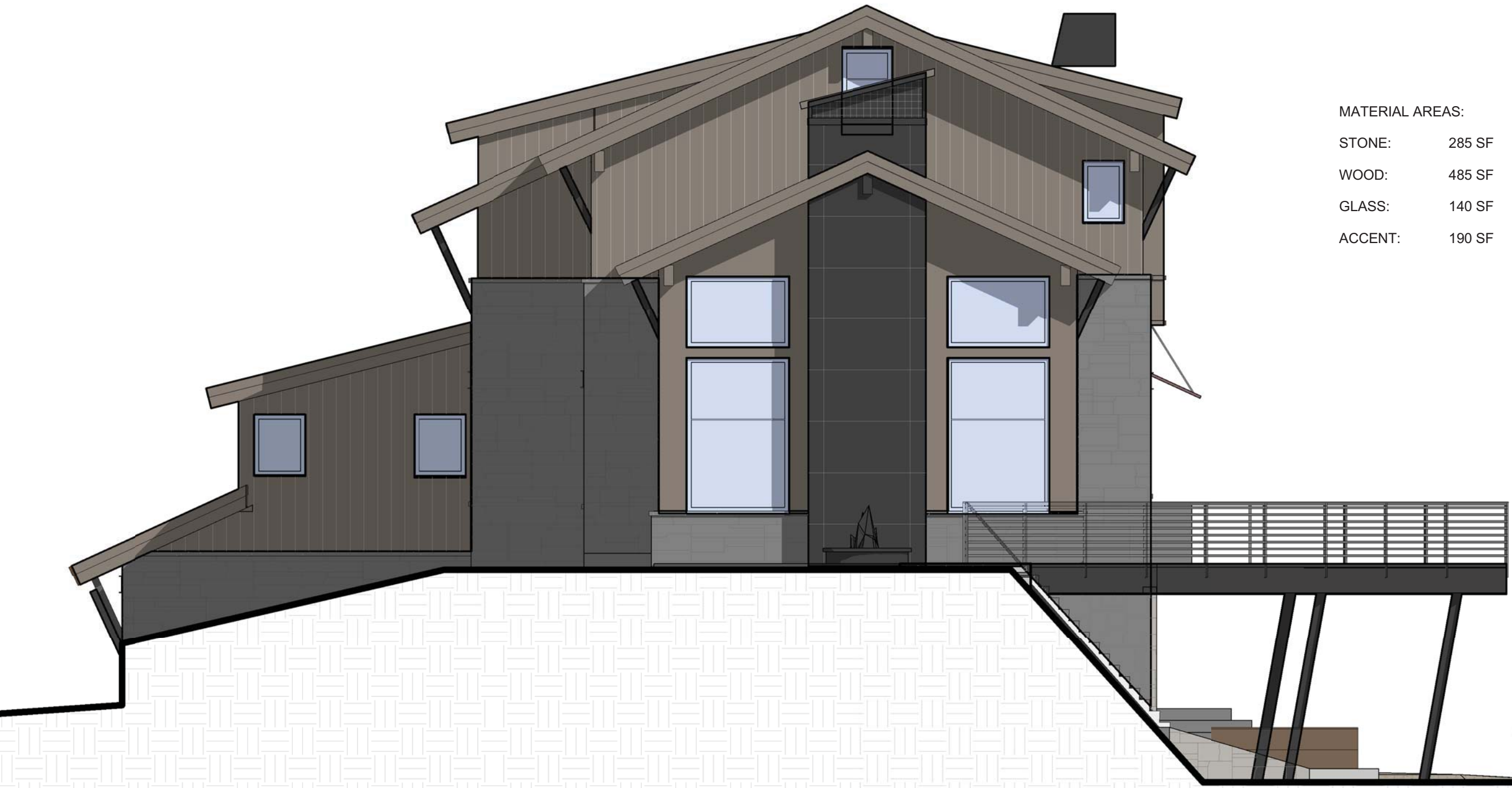
MATERIAL AREAS:  
STONE: 480 SF  
WOOD: 560 SF  
GLASS: 250 SF  
ACCENT: 200 SF



MATERIAL AREAS:  
STONE: 515 SF  
WOOD: 270 SF  
GLASS: 375 SF  
ACCENT: 80 SF

③ AREA- WEST- FRONT  
3/16" = 1'-0"

④ AREA- SOUTH  
3/16" = 1'-0"



MATERIAL AREAS:  
STONE: 285 SF  
WOOD: 485 SF  
GLASS: 140 SF  
ACCENT: 190 SF




MATERIAL AREAS:  
STONE: 1035 SF  
WOOD: 280 SF  
GLASS: 500 SF  
ACCENT: 315 SF

① AREA- EAST  
3/16" = 1'-0"

② AREA- NORTH  
3/16" = 1'-0"

TE11- Material Calculations						
Elevation	WEST	SOUTH	EAST	NORTH	Total	Percent
Stone	480	515	285	1035	2315	38.84%
Wood	560	270	485	280	1595	26.76%
Fenestration	250	375	140	500	1265	21.22%
Accent	200	80	190	315	785	13.17%
Total	1490	1240	1100	2130	5960	

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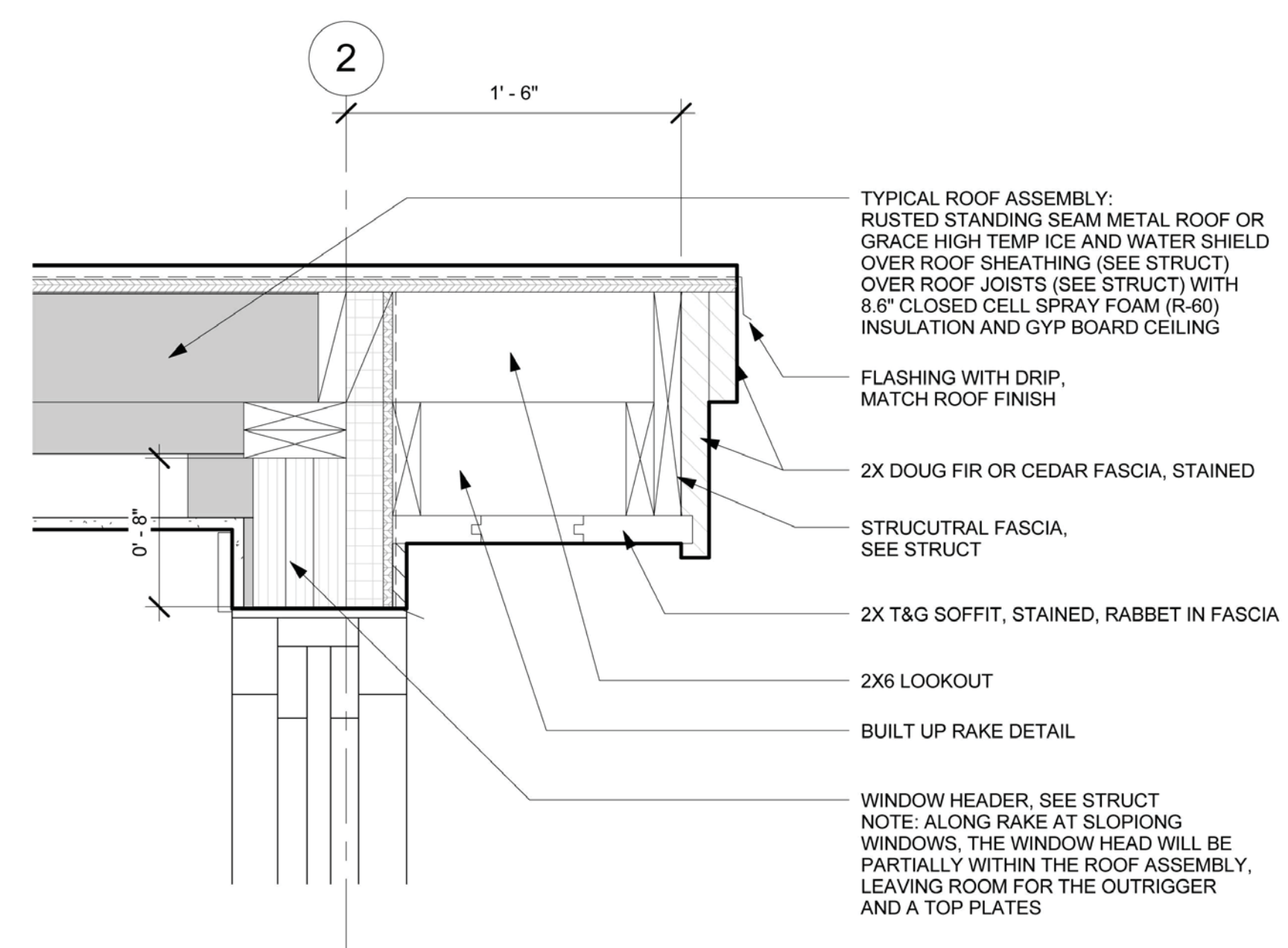
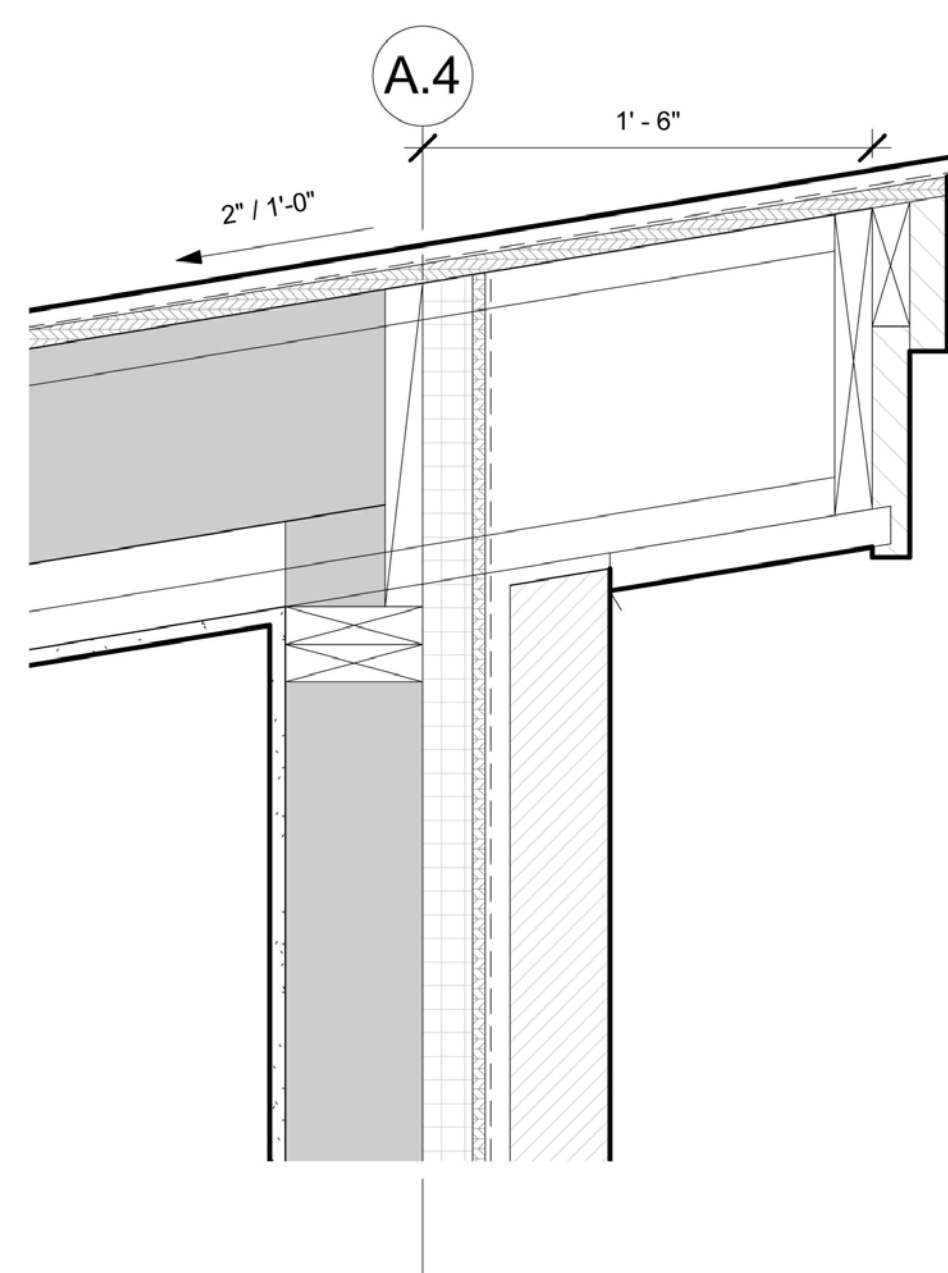
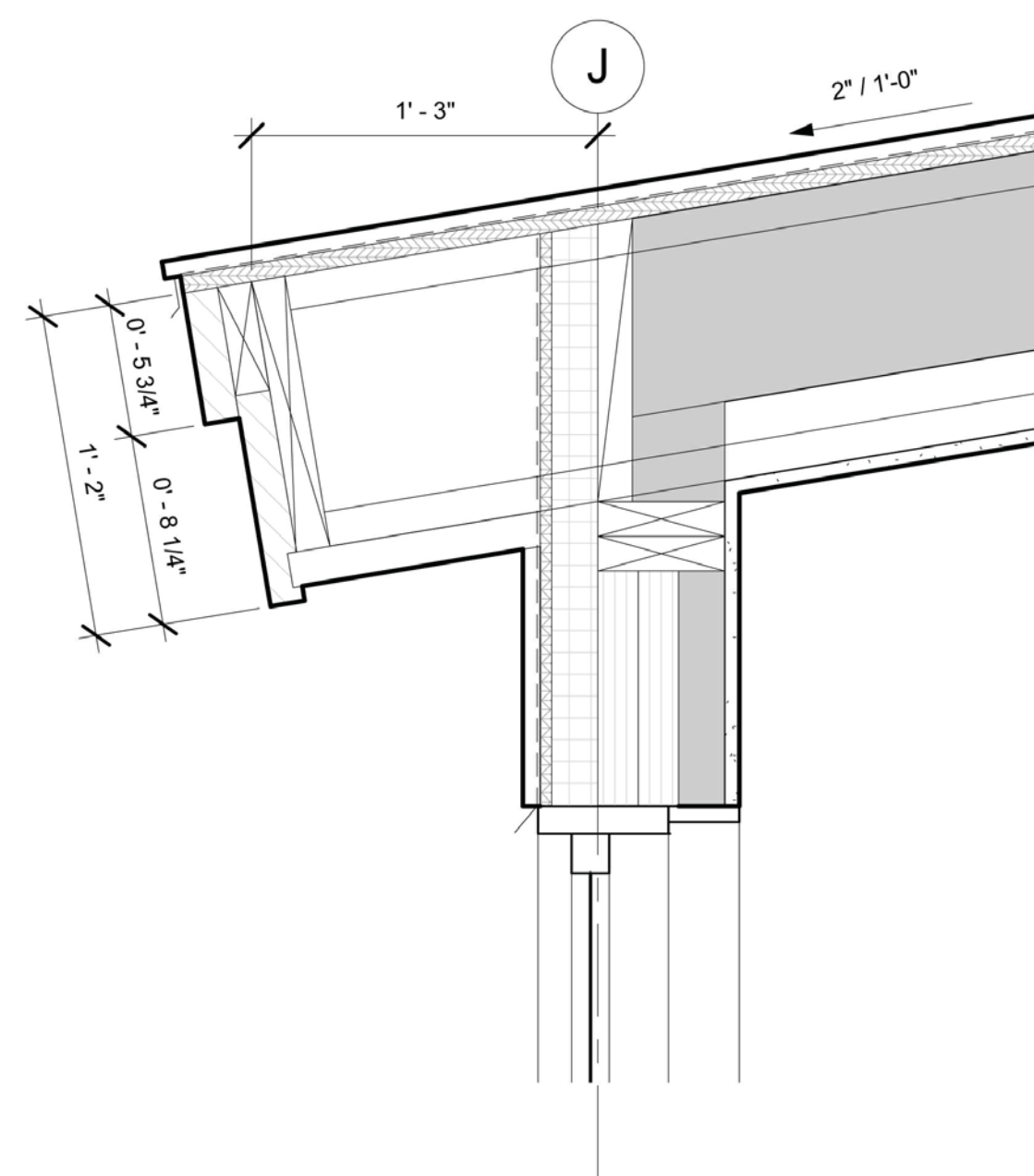
10-27-2021	DRB PACKAGE	
10-4-2021	HOA NOTES	
8-19-2021	DRIVEWAY REV	
7-22-2021	DRB 1	
1-29-2021	REVIT 3D	
MARK	REV DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLO. 81435

SHEET DESCRIPTION:  
MATERIAL CALCS

SHEET NUMBER:  
A305





# NOT FOR CONSTRUCTION

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81405

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870.728.8724

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- 11-2-21 THREE REMOVAL REVISION
- 10-19-21 HOA FINAL APPROVAL
- 9-13-21 CONSTRUCTION STAGING
- 8-23-21 DRB set 1
- 7-19-21 HOA set 1
- 4-21-21 SITE PLAN PROGRESS
- 3-26-21 AREA CALCUS
- 3-16-21 DRAFT SET
- 2-22-21 SITE PLANNING

MARK REV DATE DESCRIPTION

PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
2017 WWA

PROJECT NAME:

LOT 600BR-11-R  
MOUNTAIN VILLAGE  
COLORADO 81418

SHEET DESCRIPTION:

ROOF DETAILS

SHEET NUMBER:

A600

DrawingsOnline.com



## LEDme® Step Light

Vertical rectangle LEDme® Step Light with Anti-microbial powder coat paint proven to restrain a wide range of bacteria, coliform, mold, fungus, algae, and yeast. . Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters. Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

- Direct wiring, no driver needed
- Title 24 JA8 - 2016 Compliant (120V only)
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- Up to 200 fixtures can be connected in parallel
- Replaceable LED module
- 5 year WAC Lighting product warranty

Model #		Color	Finish
<b>WL-LED201</b>	120V	<b>27</b> 2700K <b>30</b> 3000K <b>AM</b> Amber (610nm)	<b>WT</b> White

WL-LED201 - - WT

Example: **WL-LED201-30-WT**  
For 277V, add \*F\* before the CCT: **WL-LED201F-30-WT**

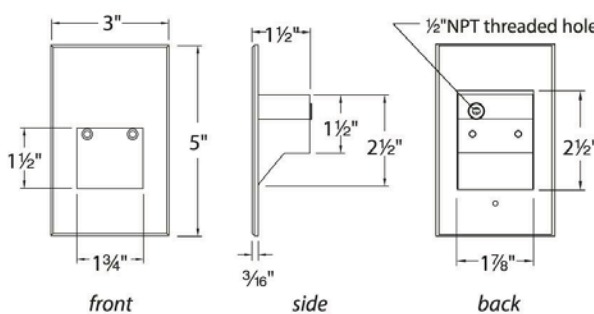
## Responsible Lighting®

Fixture Type:

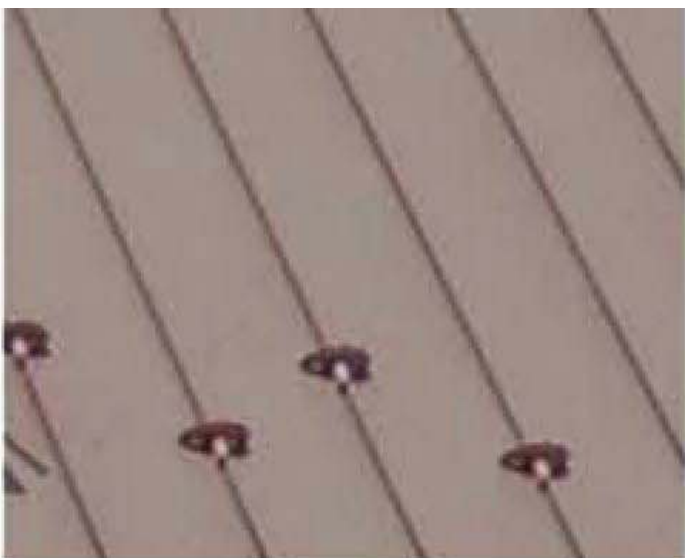
Catalog Number:

Project:

Location:



<b>Construction:</b>	Die-cast aluminum.
<b>Power:</b>	Direct wiring, no remote driver needed.
<b>Input:</b>	120V 50/60Hz (277V special order/3000K, Amber (AM))
<b>Light Source:</b>	HV-AC High Power LED, CR-90 Optical color lenses. Total power consumption of 3.5W
<b>Mounting:</b>	Fits into 2" x 4" x Box with minimum inside dimensions of 3 1/2" x 2 1/2" x 2 1/4" Includes bracket for P-Box mount.
<b>Dimming:</b>	Dim to 10% with ELV dimmer (120V only). Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-100, Lutron Vetrici VTELV-300P, Lutron Vetrici DVELV-300P, Lutron Skylark SVELV-300P, Lutron Maestro MAELV-600
<b>Standards:</b>	IP66, UL & cUL Listed for wet locations, Title 24 Compliant (120V only)



## RUSTED STANDING SEAM METAL ROOF



8" VERTICAL WOOD SIDING STAINED  
MEDIUM BROWN



OIL RUBBED METAL PANELS,  
SEE ELEVATION FOR PATTERN



TELLURIDE GREY STONE VENEER

NOT FOR CONSTRUCTION



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www.jackwessonarchitects.com

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

**SHEET DESCRIPTION:**  
**MATERIAL SAMPLES  
AND CUT SHEETS**

SHEET NUMBER

A900



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

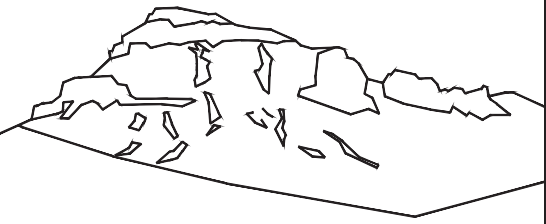
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-07-23

Lot 600BR-11-R  
Trails Edge  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

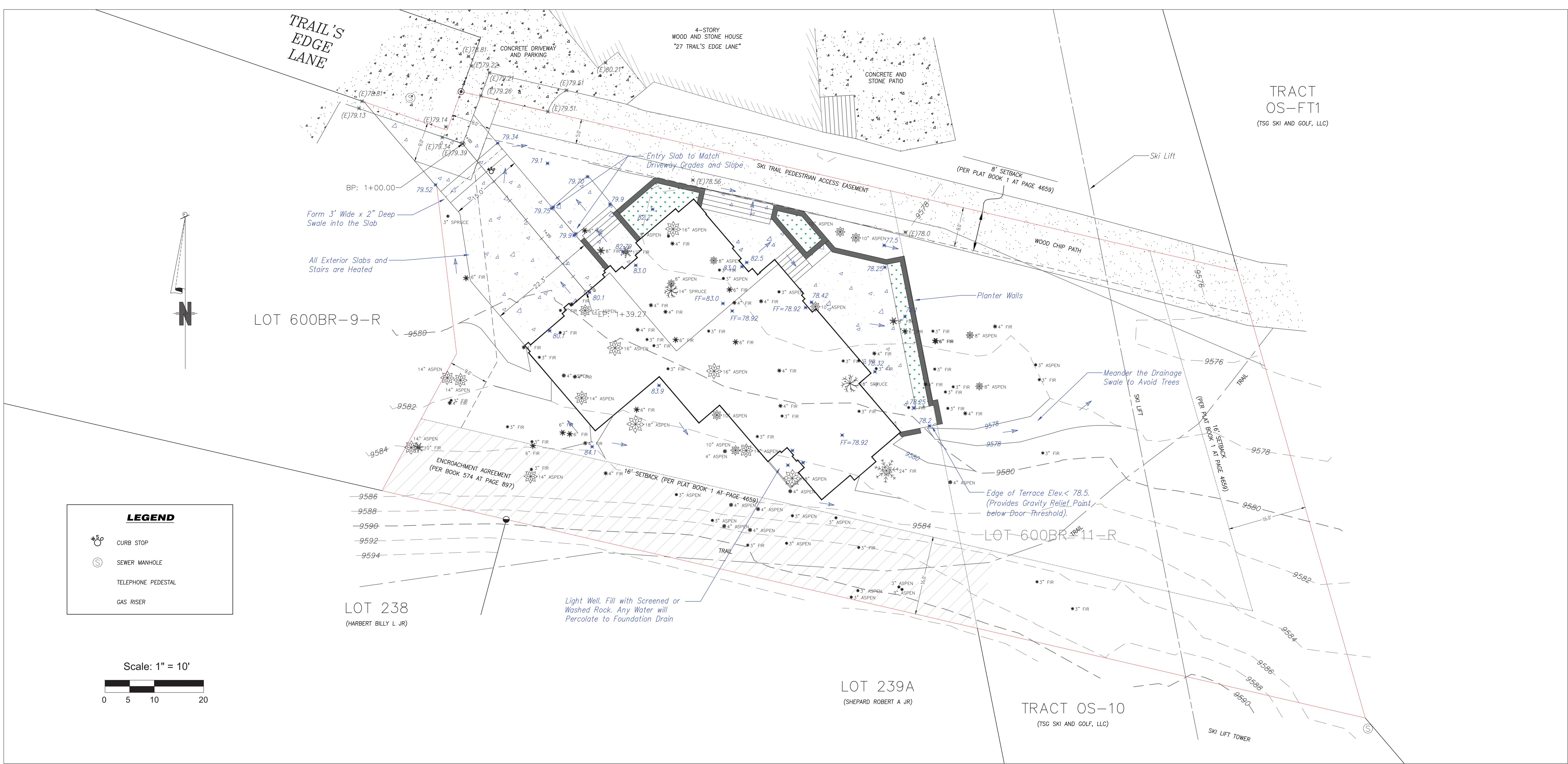
Notes

C1









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P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
SUBMITTAL 2021-07-23

Lot 600BR-11-R  
Trails Edge  
Mtn. Village, CO



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DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading  
and Drainage  
  
with  
  
Driveway  
Profile  
  
Trees Displayed

C2.2

