

architect

Town of Mountain Village Sketch Design Review
Freeman Residence – Lot 22 The Ridge
11-5-21

The building site is located within the Ridge Development (161D-1 parcel) near the top of the gondola. The home is designed to be a single family detached condominium home on three levels in a traditional alpine vernacular with contemporary references and details. The site is accessible via snow melted electric cart paths only, or via the ski slopes. The home is designed to blend with the surrounding ski area and other homes and respects the natural topography and landscape. The home will have shallow sloping shed roof lines often seen in alpine architecture. It will be built with materials proven to last in a high alpine environment. The primary building forms have been designed to have strong architectural lines and heed the building height restrictions and all of the design regulations.

We are requesting a small rotation in the building envelope to shift out of steeper topography and maximize sun and view angles. The building envelope will not change in size. The rotation will occur around the existing northwest corner of the building envelope.

The driveway/cart path to the site is planned to be connected to the existing HOA snow melted road system. The new HOA road/driveway extension will be approximately 210' long and 10' wide. (2100sf). The residence will require 620 sf of the allowable 1000sf of exterior snowmelt, therefore the bottom 320sf of the access drive can be melted by the residence/cart court area.

The site design includes an outdoor firepit area outside of the building envelope, on Open Space, and is allowable per the regulations. The firepit is half in the envelope and half out of the envelope, approximately 10' outside of the envelope.

Additionally, we would like to request a variance from the requirement of putting up a story pole and light on the site due to the long distance away from the ridge line and the fact that the site is located approximately 160' below the ridge.

FREEMAN RESIDENCE
THE RIDGE LOT 22

TOWN OF MOUNTAIN VILLAGE
TELLURIDE, COLORADO



MECHINICAL: BIGHORN CONSULTING ENGINEERS, CO.
M. BLAINE BUCK - Project Manager
Phone: 970.241.8709
Email: blaine@bighorneng.com
386 INDIAN RD.
GRAND JUNCTION, CO 81501

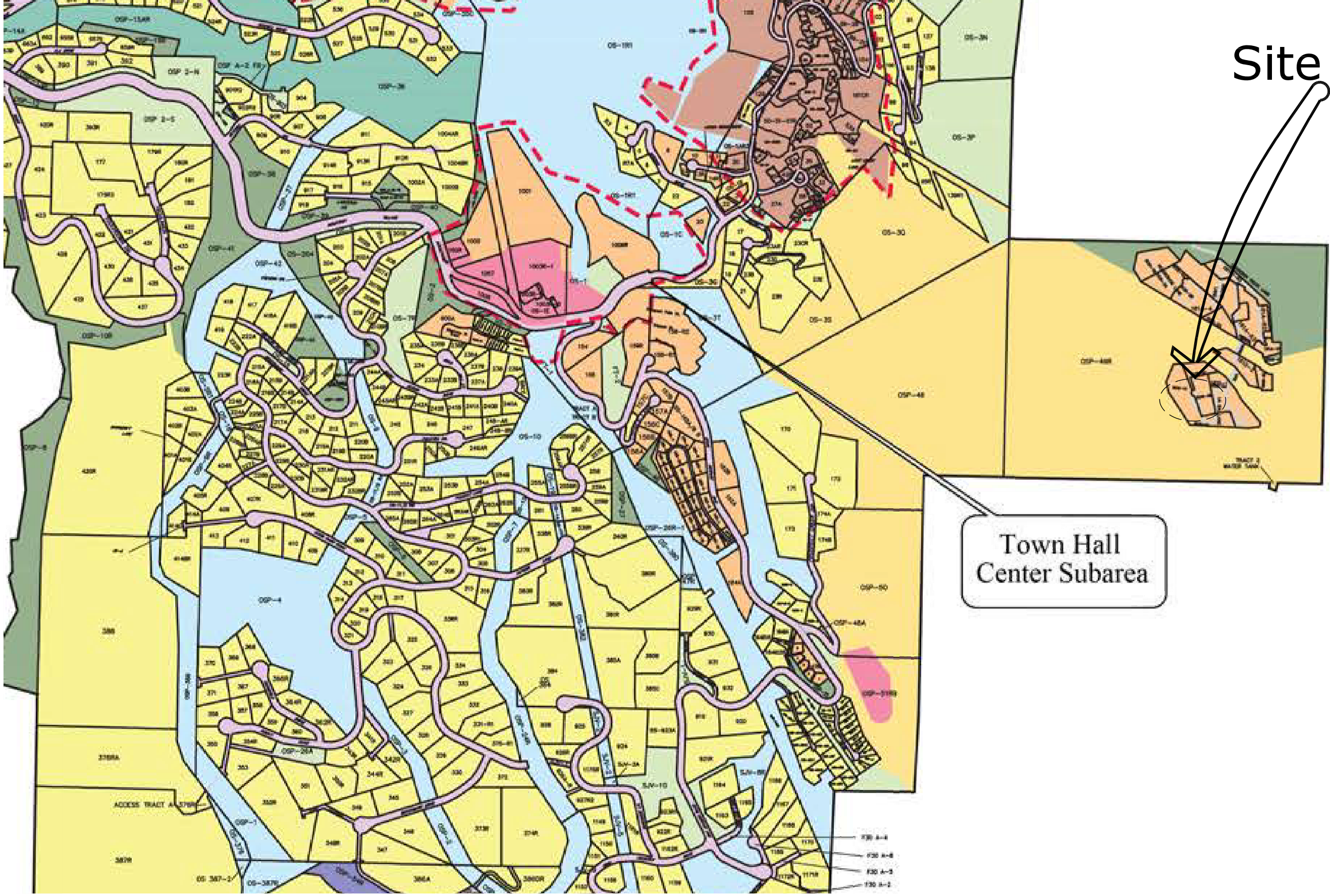
PROJECT TEAM:
OWNER: JAMES & LISA FREEMAN
1135 Heights Blvd.
Houston, TX 77008
713.651.9684
jfreeman@zflawfirm.com
ARCHITECT: MORTON ARCHITECTS INC.
STEVE MORTON - PRINCIPAL
221 S. PINE ST.
P.O. BOX 3561
TELLURIDE, CO 81435
970.708.2246
smorton@mortonarchitects.com

STRUCTURAL: ALPINE EDGE ENGINEERING
Matt Hepp, PE
Alpine Edge Engineering
970-318-1469

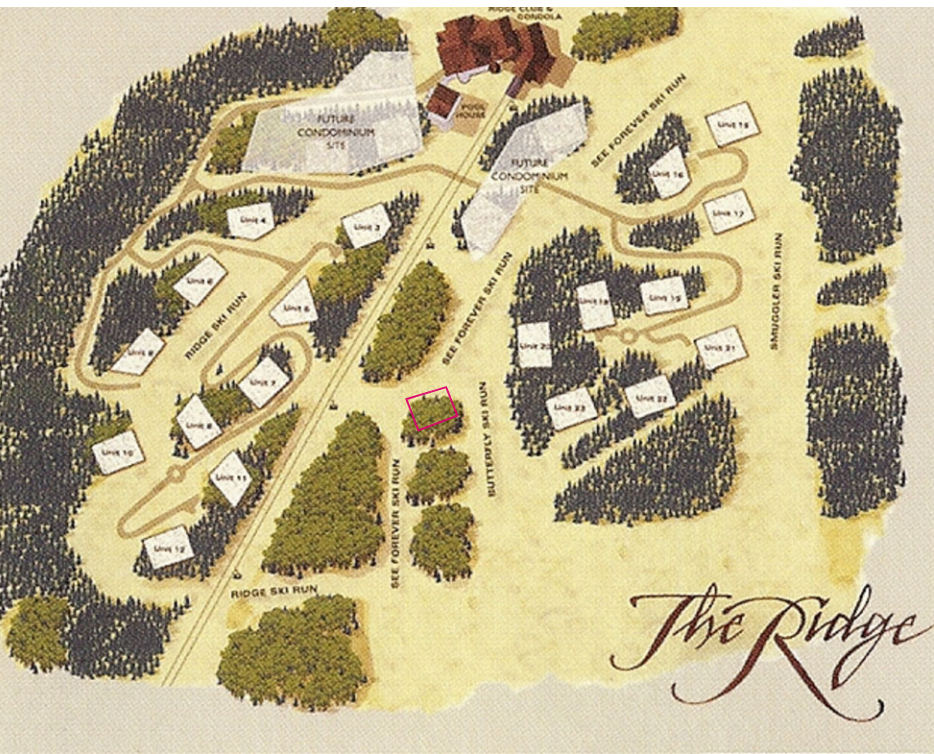
INTERIOR DESIGN: LINDA EYLES
713.520.7426
info@lindaeylesdesign.com

LIGHTING DESIGN: LUMINOSITY
Craig Spring | IALD | IES | LC | LEED AP
www.luminosityald.com
P 970.729.8892
618 Mtn Vlg Blvd, Ste 203A, Mtn Vlg, CO 81435

CONTRACTOR: NW PARTNERS
DOUG GURLEA - Project Manager
Phone: 970.389.4101
Email: DOUG@NWPARTNERS.NET
69 MARKSBERRY WAY
BRECKENRIDGE, CO. 80424



VICINITY MAP



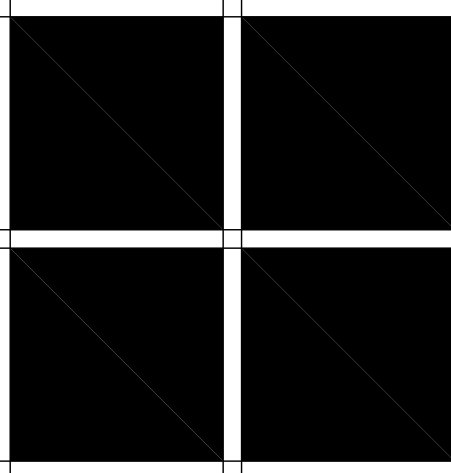
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Table with 2 columns: Category and Area. Rows include Project Summary (11.5.21), Lower Living (2,406 S.F.), Main Living (2,675 S.F.), Upper Living (725 S.F.), Total Living (5,806 S.F.), Garage (333 S.F.), Total Buildable (6,139 S.F.), Lower Level Patio (1000 S.F.), Main Level Decks (1000 S.F.), Total Ext. Surface (2000 S.F.), and Total Cart Court (620 S.F.).

Lot 161-D1 TMV Lot 22
RIDGELINE LOT AREAS
Maximum ht. 45'
Maximum avg. ht. 30'
Parking req. 1 space offsite

DRB SKETCH SUBMITTAL SET
11-5-21
preliminary-not for construction



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Table with 2 columns: Issue Log and File Name. Rows include Sketch DRB, 11-5-21, and File Name.

FREEMAN RESIDENCE

THE RIDGE LOT 22

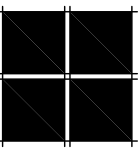
TOWN OF MOUNTAIN VILLAGE
TELLURIDE, COLORADO



DRB SKETCH SUBMITTAL SET

11-5-21


preliminary-not for construction

**MORTON**
architects
inc.


221 S. PINE ST. PO BOX 3561 TELLURIDE, CO. 81435
(970) 708-2246

FREEMAN RESIDENCE
Lot 22-The Ridge, Town of Mountain Village, CO. 81435


RENDERINGS


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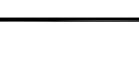
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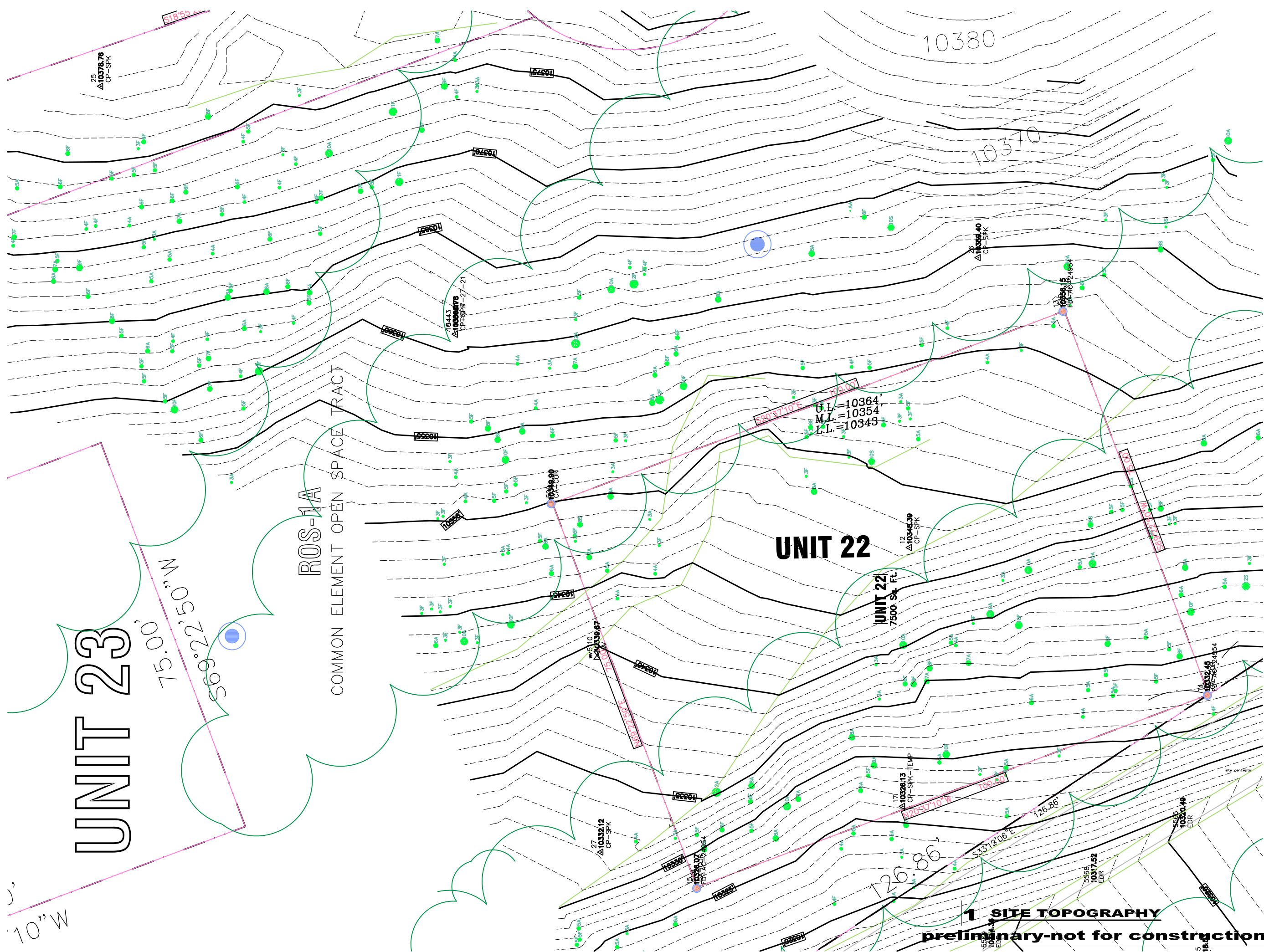
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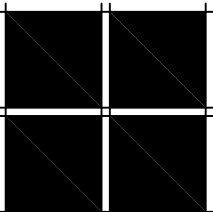
UNIT 23

UNIT 22

ROS-1A

COMMON ELEMENT OPEN SPACE TRACT

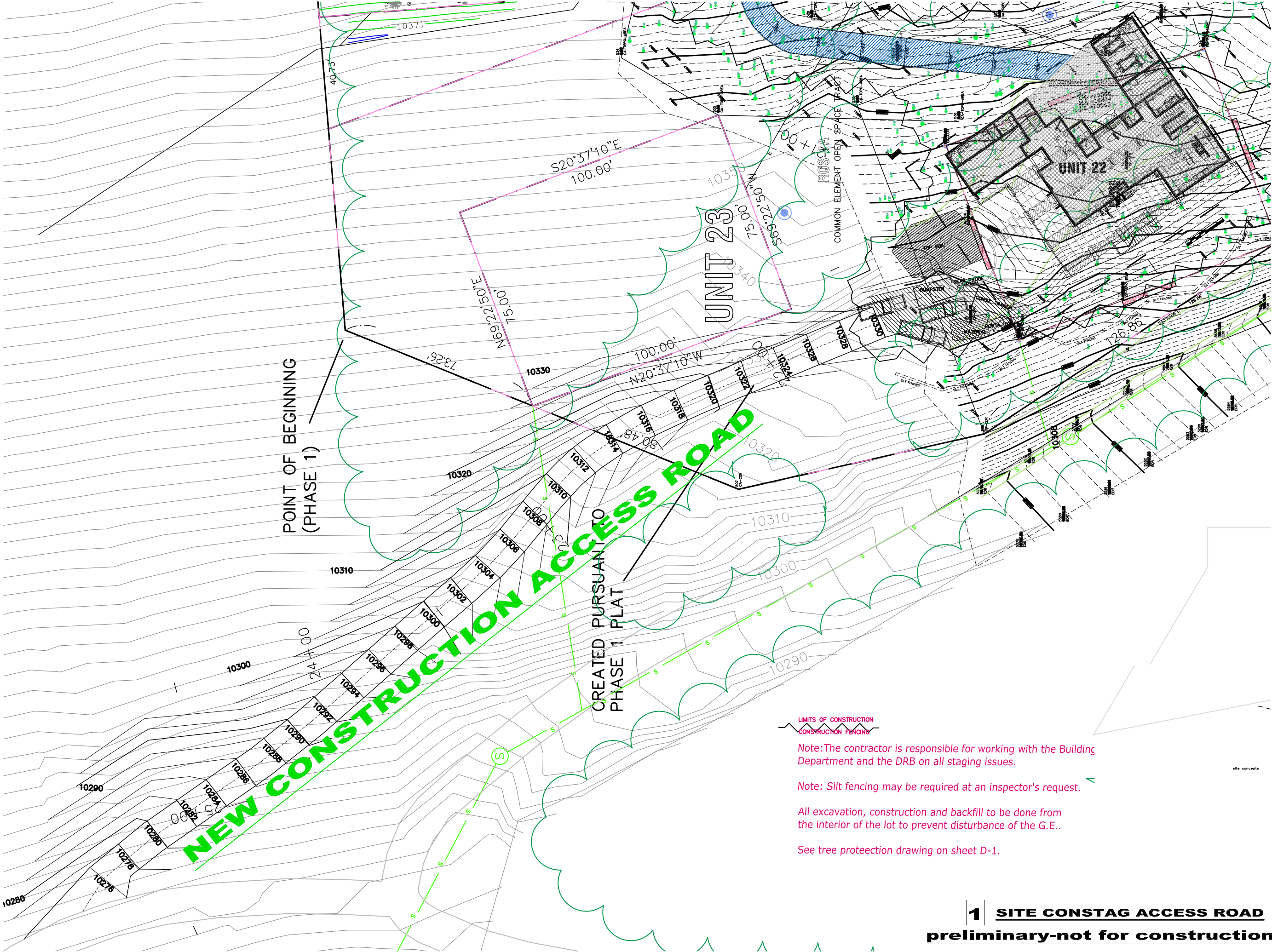
1 SITE TOPOGRAPHY
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ISSUE LOG	
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POINT OF BEGINNING
(PHASE 1)

CREATED PURSUANT TO
PHASE 1 PLAT

NEW CONSTRUCTION ACCESS ROAD

UNIT 23

UNIT 22

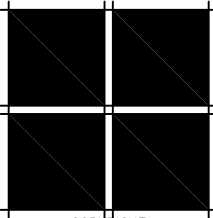
LIMITS OF CONSTRUCTION
CONSTRUCTION FENCING

Note: The contractor is responsible for working with the Building Department and the DRB on all staging issues.

Note: Silt fencing may be required at an inspector's request.

All excavation, construction and backfill to be done from the interior of the lot to prevent disturbance of the G.E..

See tree protection drawing on sheet D-1.



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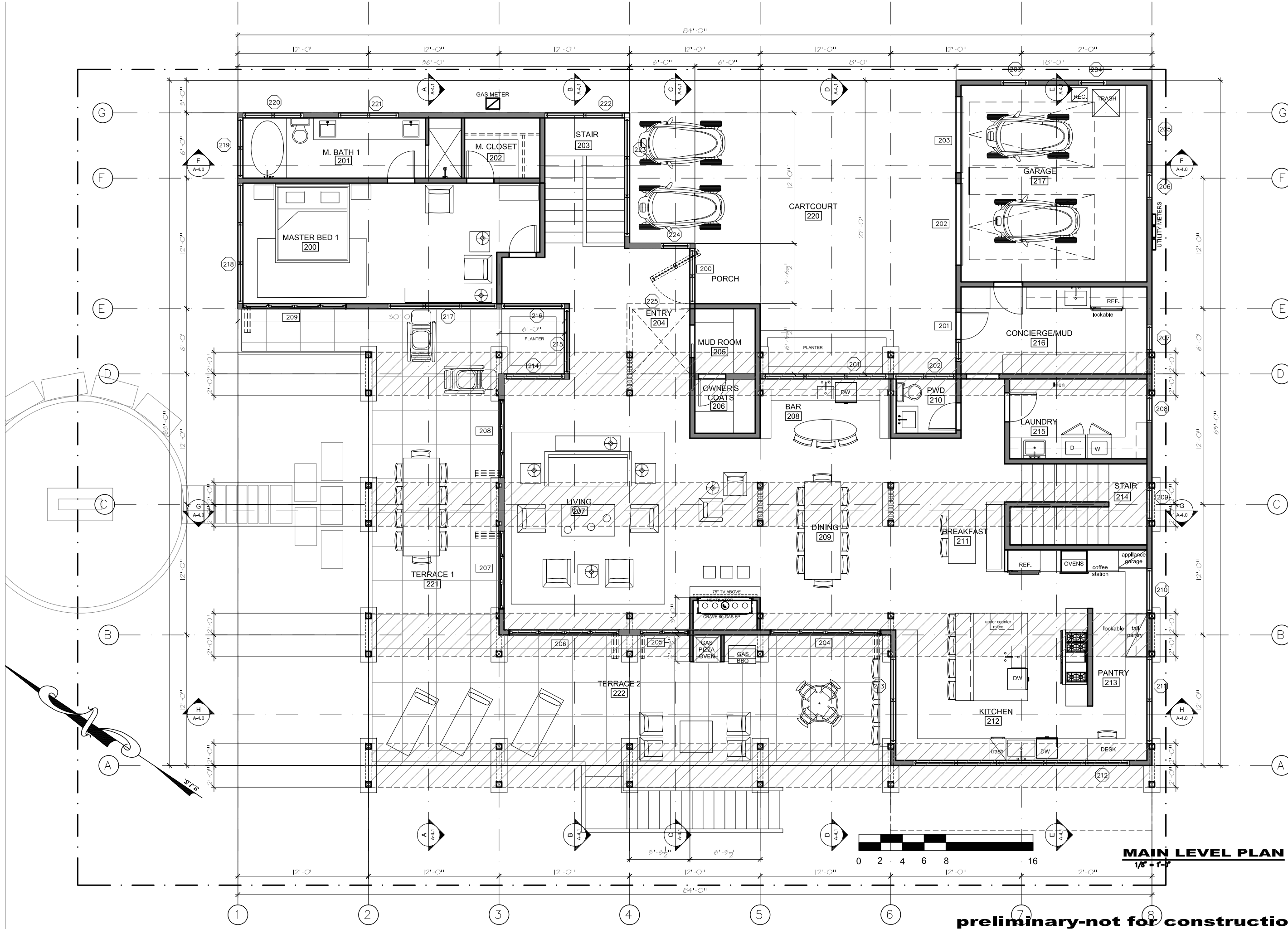
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SCALE
1/32" = 1'-0"

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A-1.2

OF SHEETS



MAIN LEVEL PLAN
1/8" = 1'-0"

preliminary-not for construction

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architects inc.
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FREEMAN RESIDENCE
Lot 22-The Ridge, Town of Mountain Village, CO. 81435
FLOOR PLANS

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ISSUE LOG

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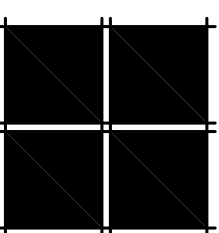
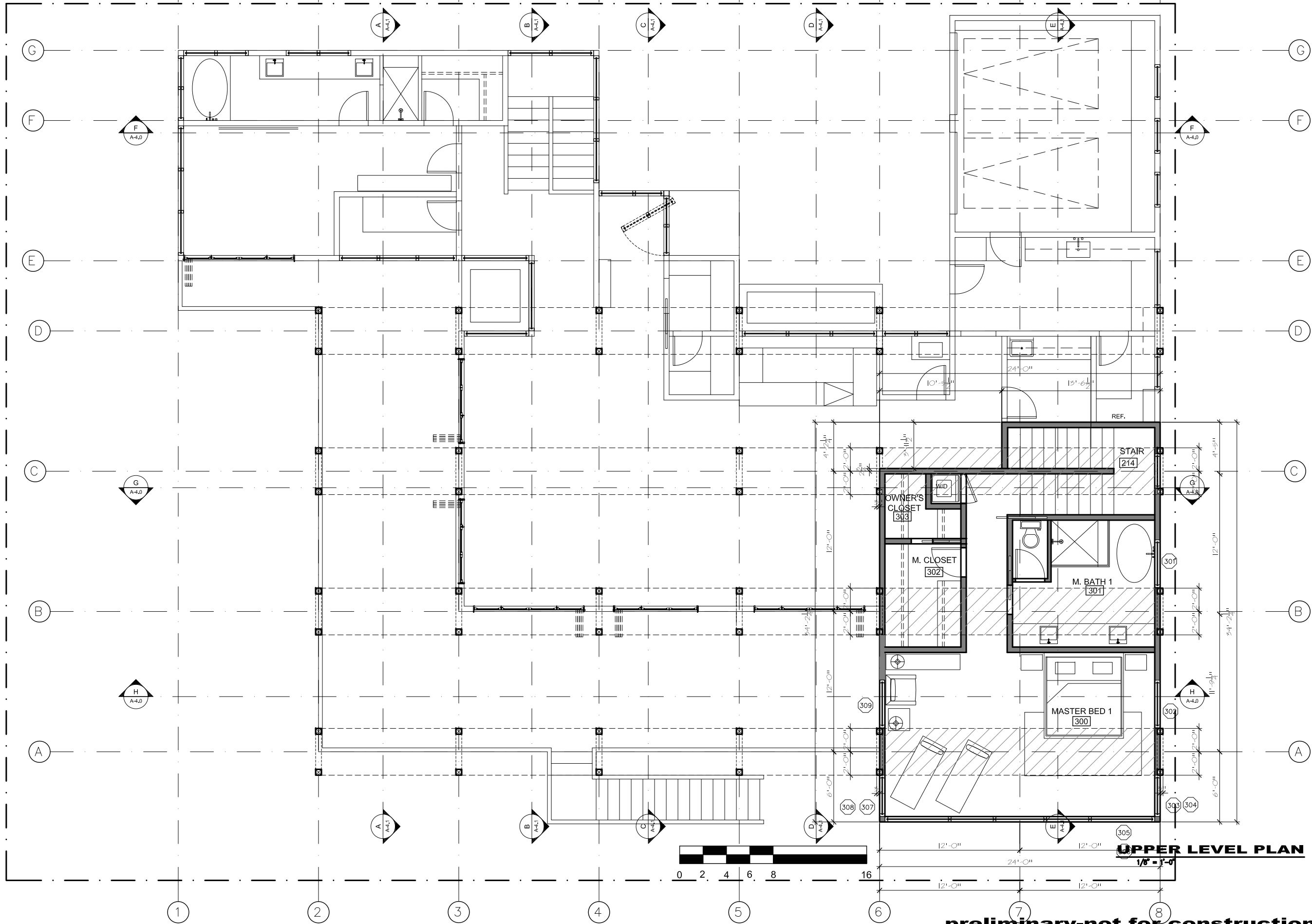
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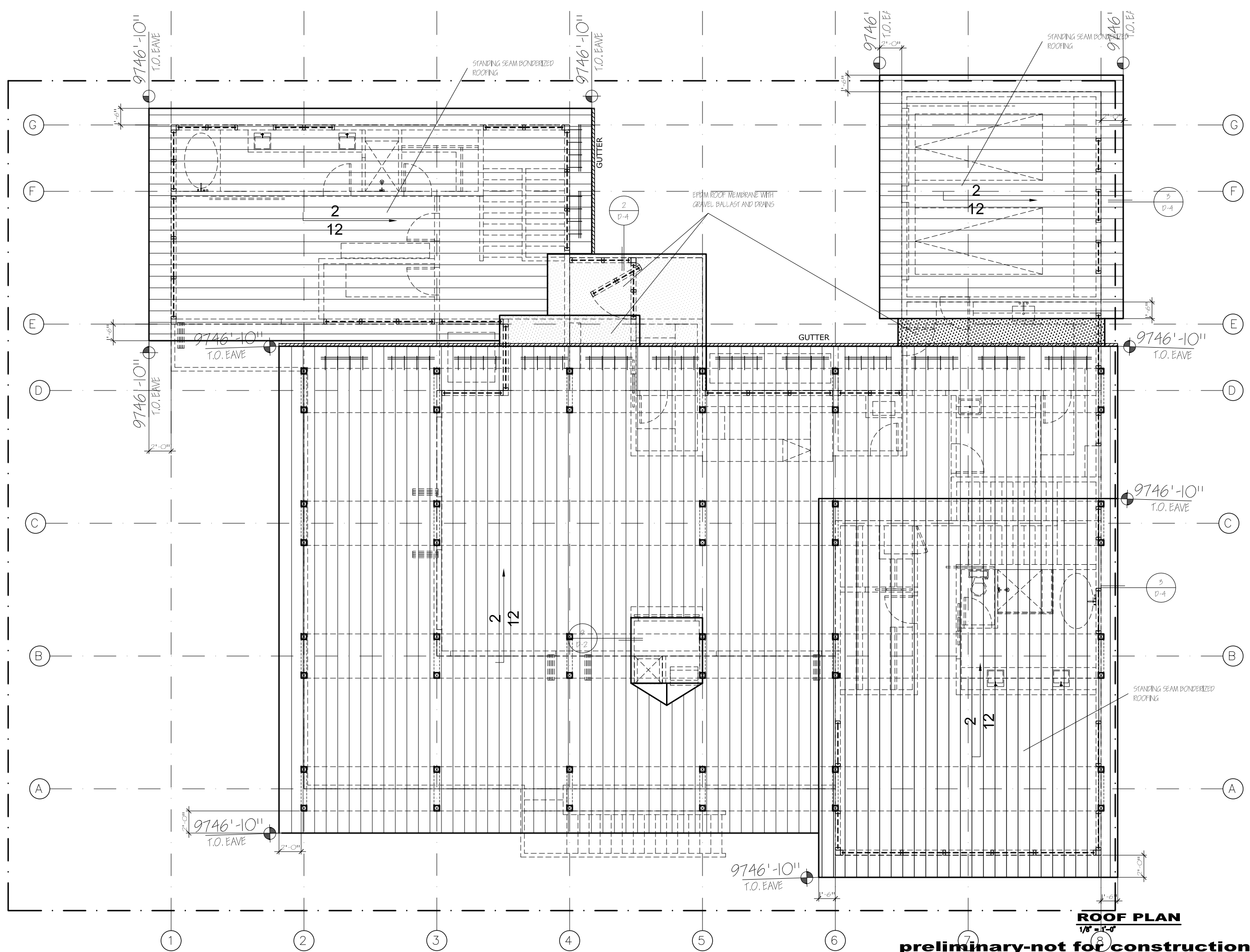
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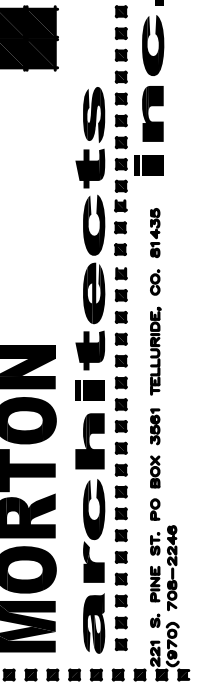


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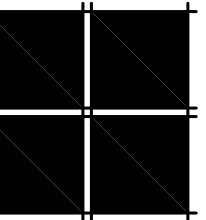


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FLOOR PLANS



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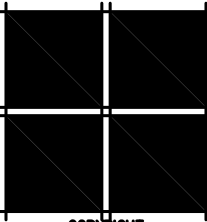
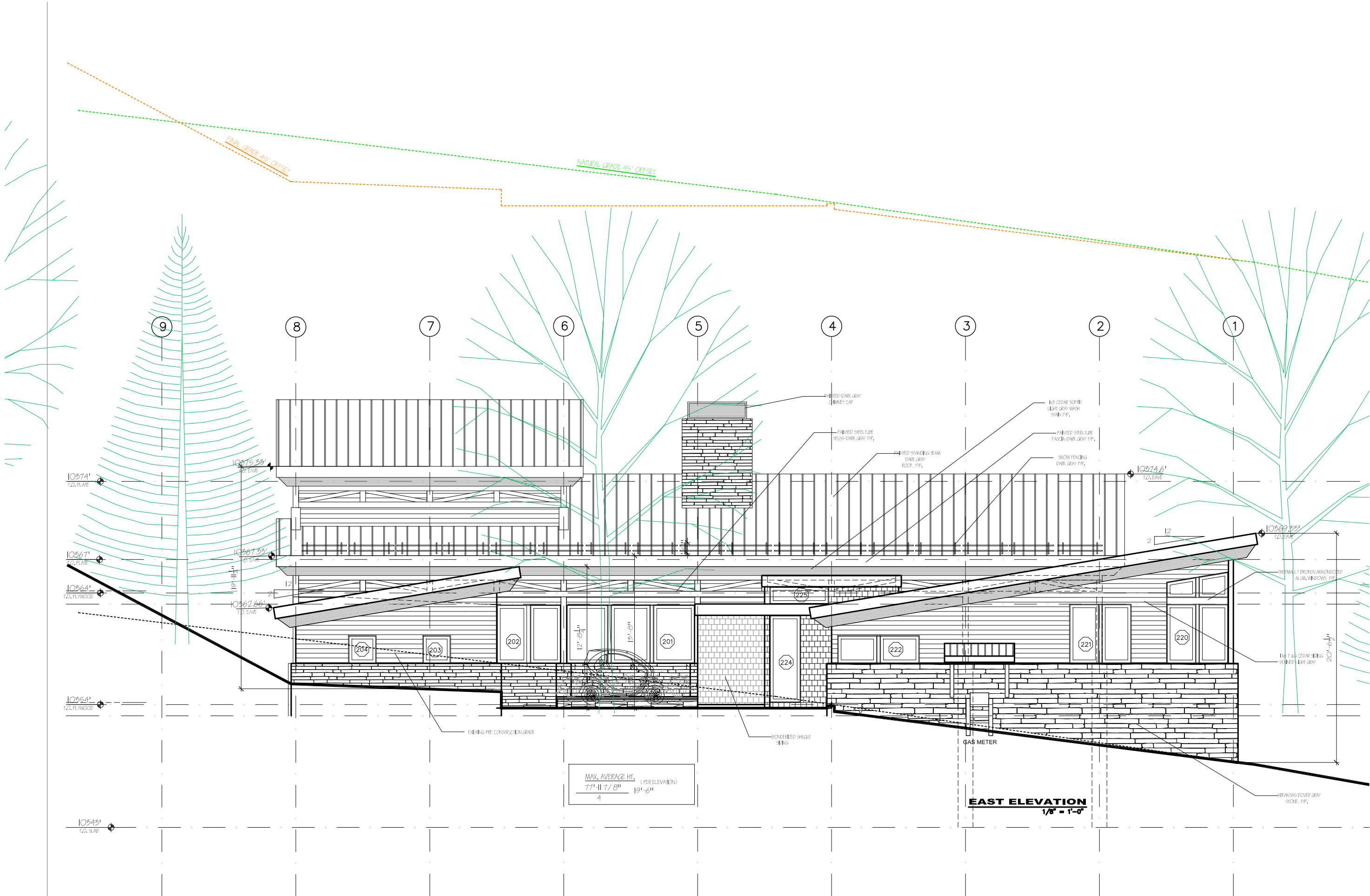
SCALE

1'-0"

SHEET

A-2.3

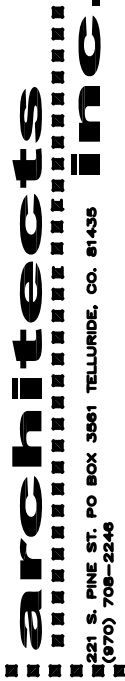
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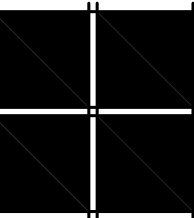
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FREEMAN RESIDENCE
Lot 22-The Ridge, Town of Mountain Village, CO. 81435

ELEVATIONS



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RB SKETCH SUBMITTAL	11-5-21
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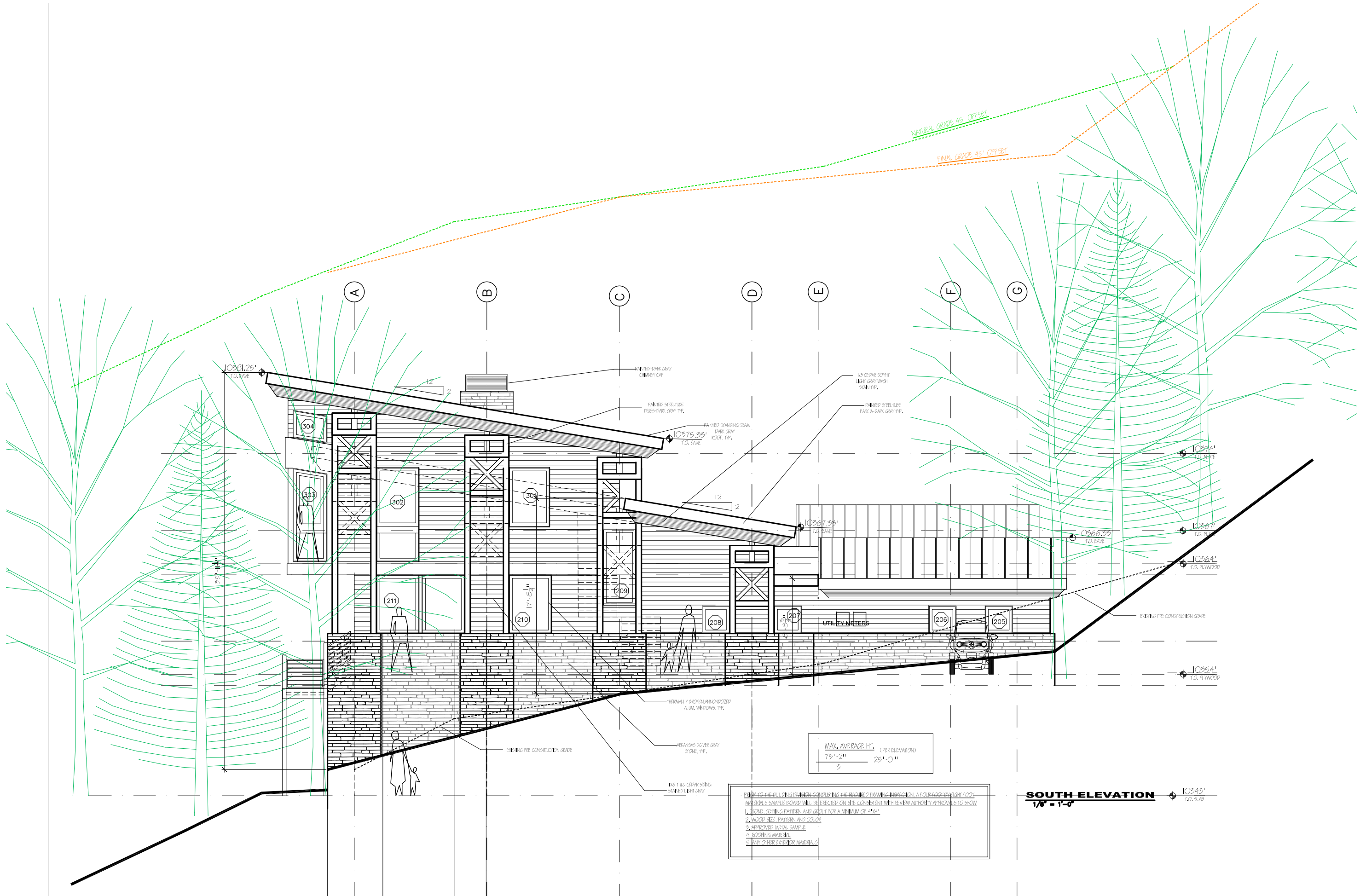
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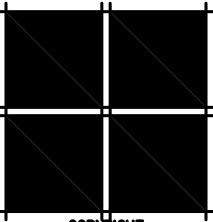
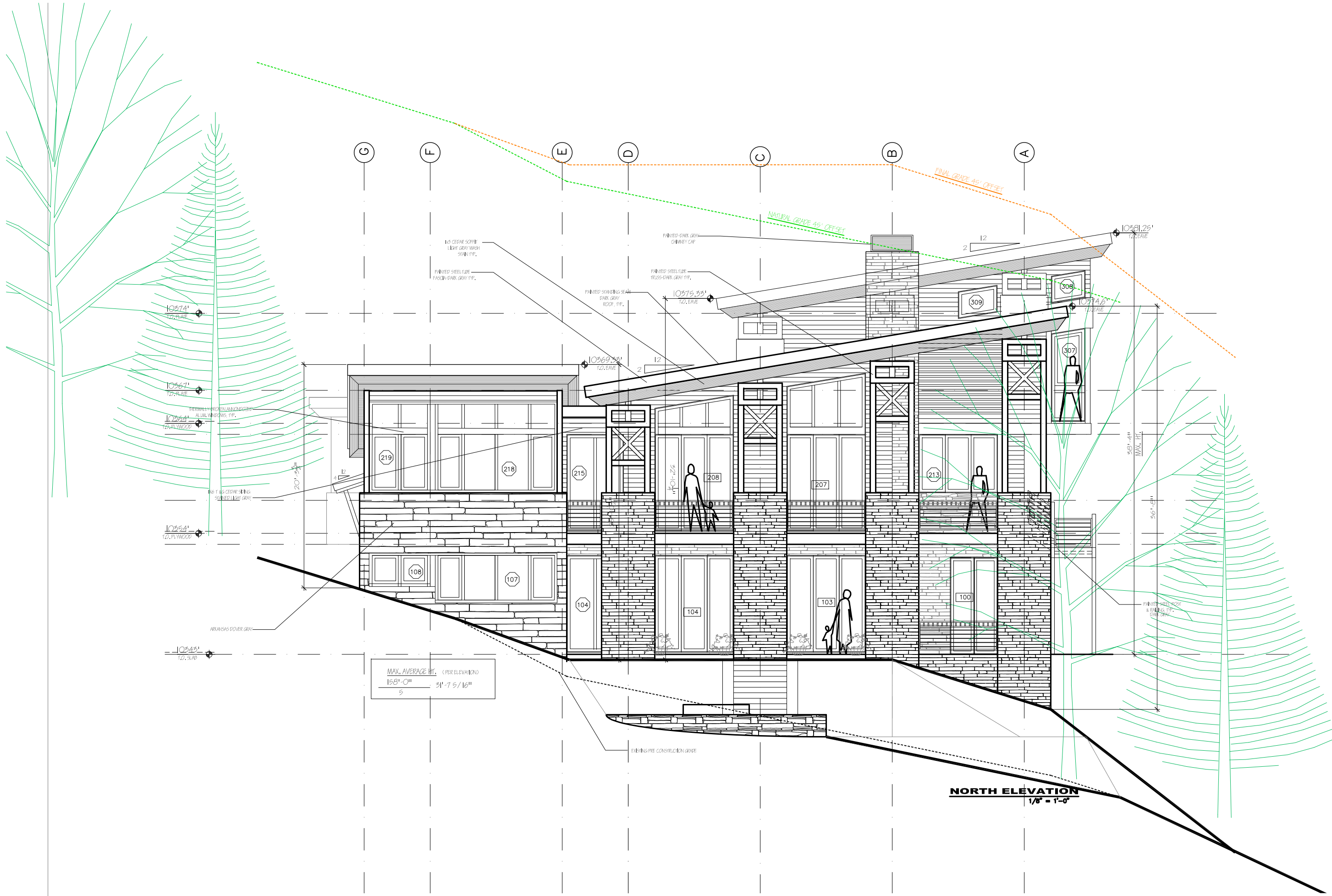
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SHEETS

preliminary-not for construction

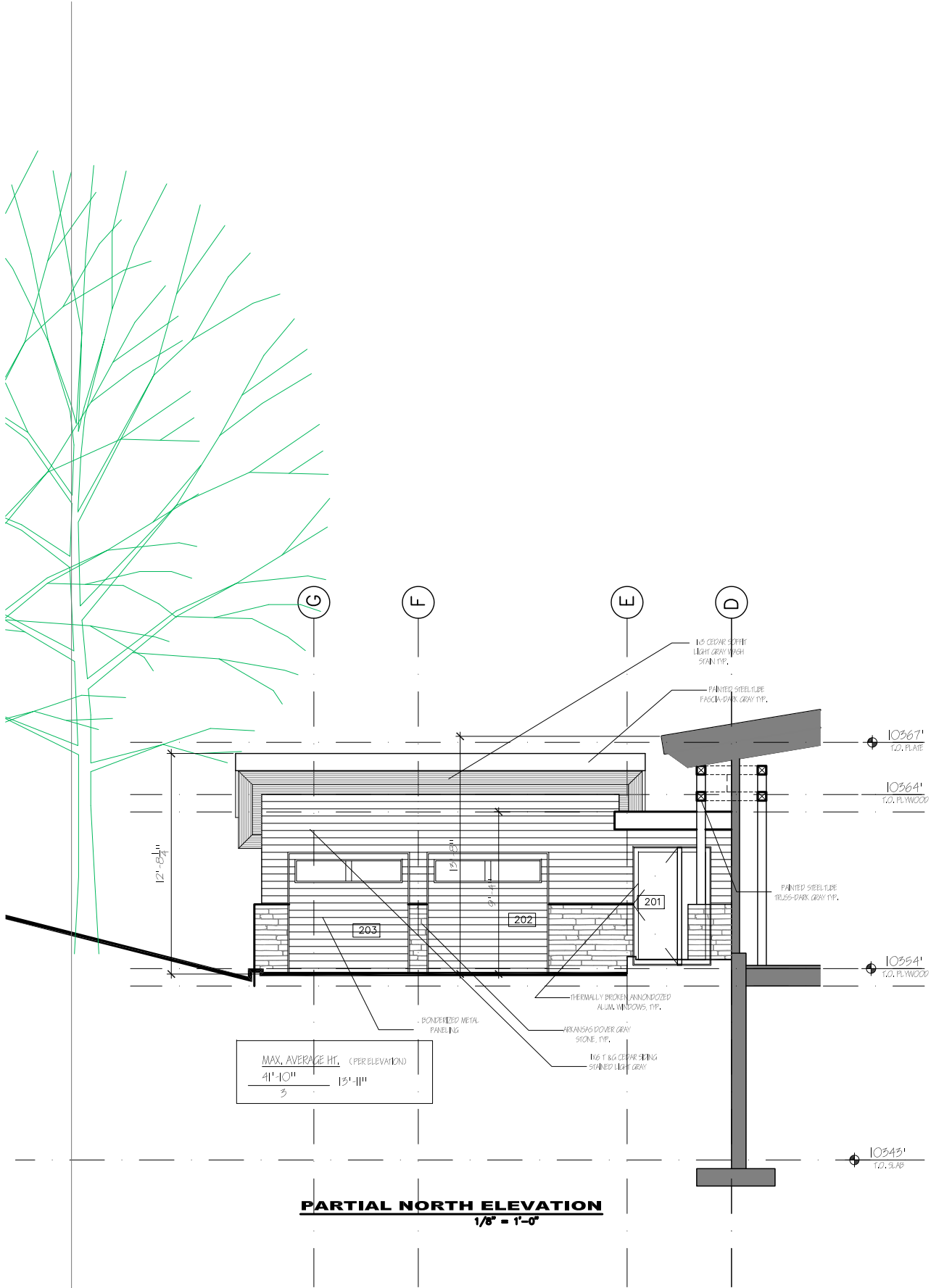




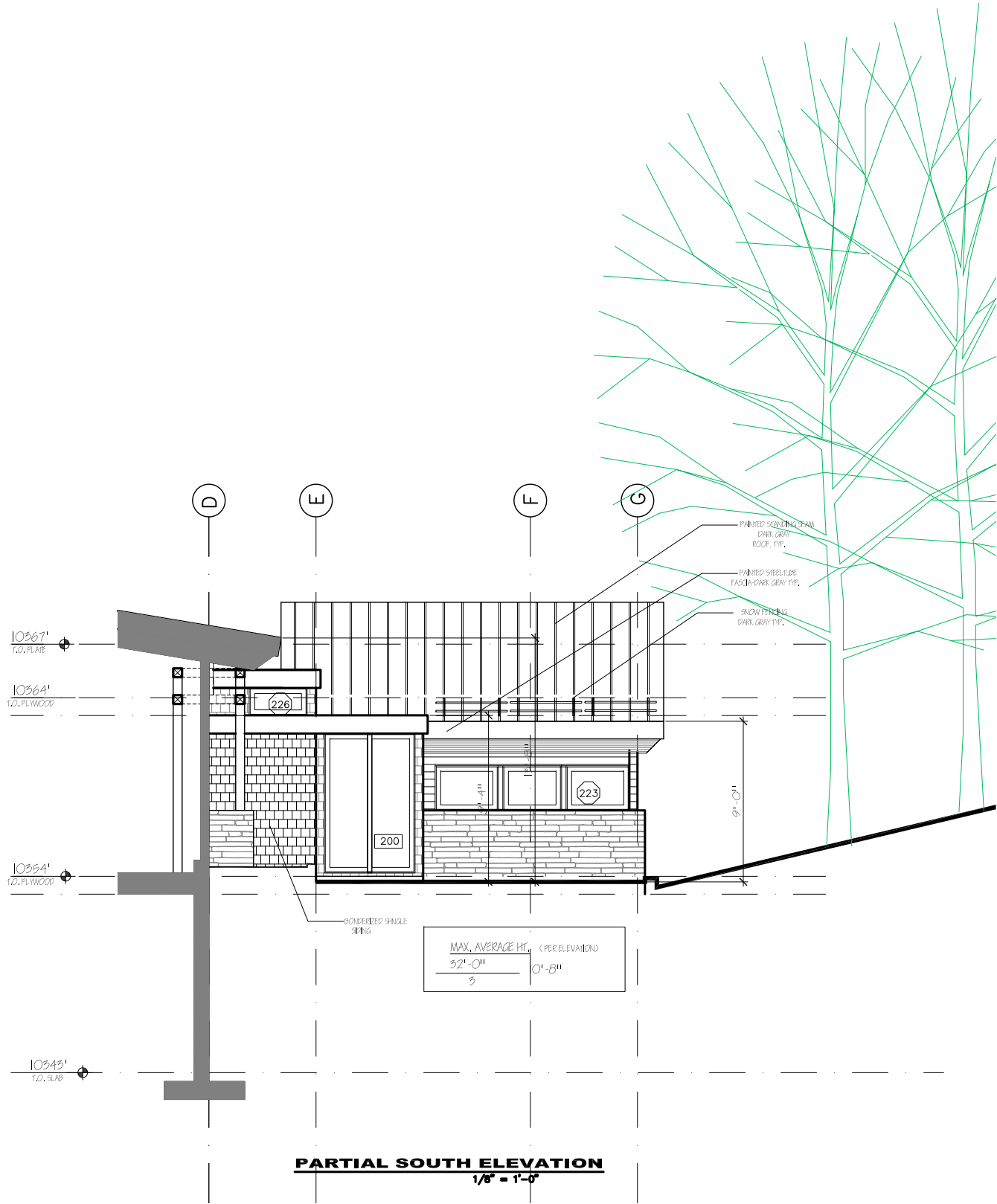
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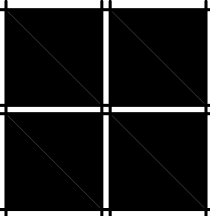
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PARTIAL NORTH ELEVATION
1/8" = 1'-0"



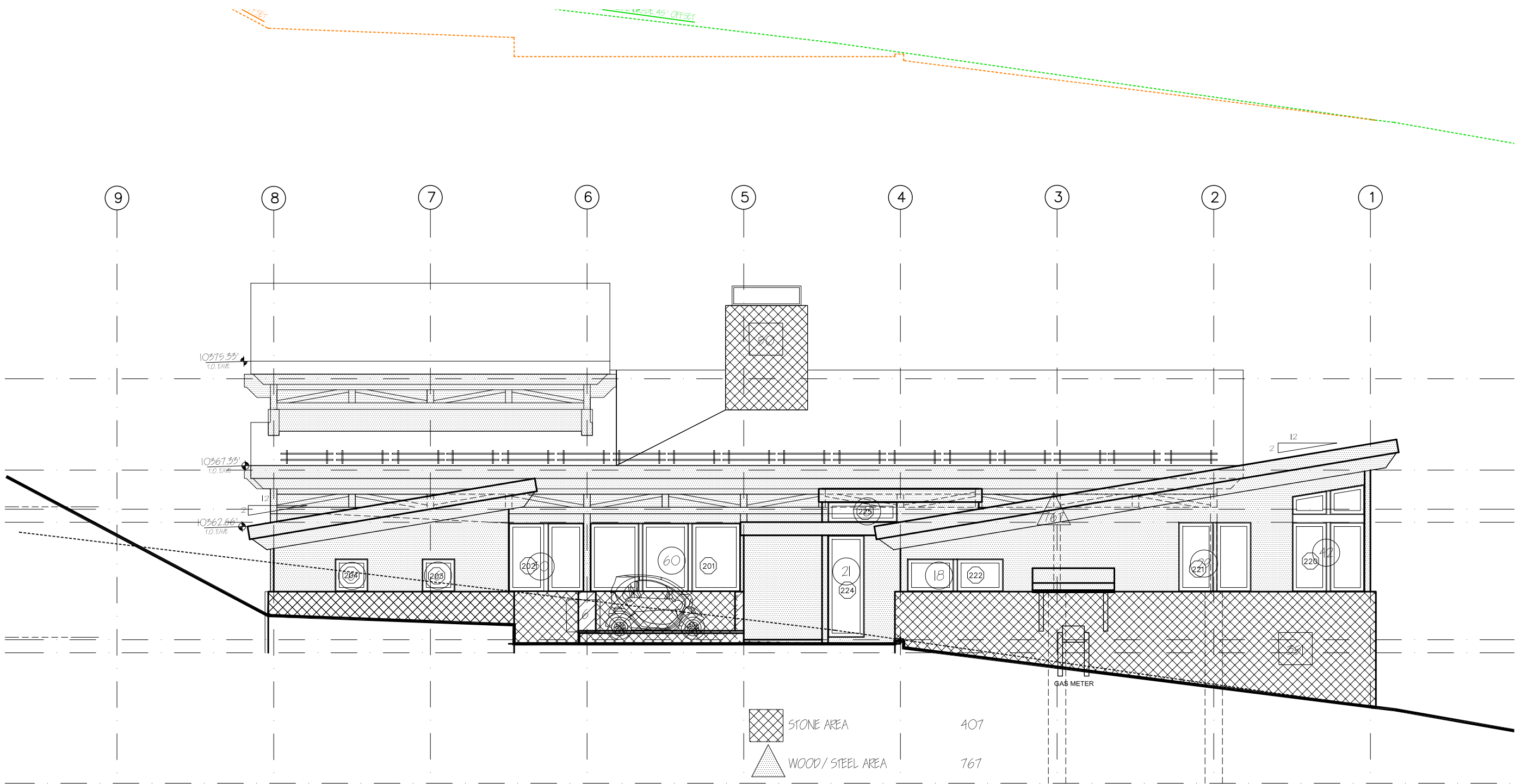
PARTIAL SOUTH ELEVATION
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







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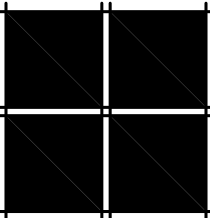
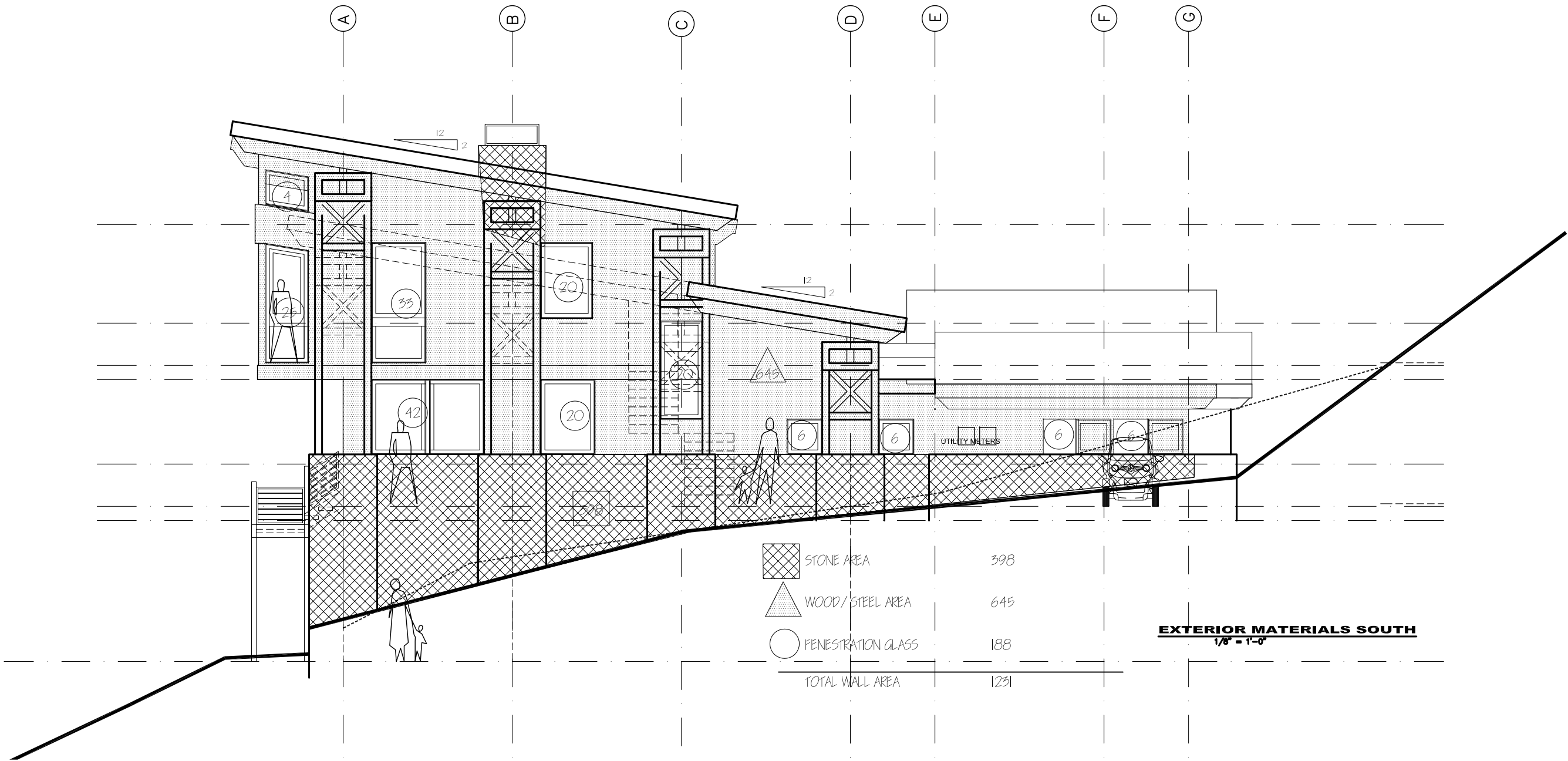
TOTAL PROJECT AREAS			
	STONE AREA	3168	38.3%
	WOOD/STEEL AREA	2747	33.2%
	FENESTRATION GLASS	2356	28.5%
TOTAL WALL AREA		8271	100%

	STONE AREA	407
	WOOD/STEEL AREA	167
	FENESTRATION GLASS	220
TOTAL WALL AREA		1394

EXTERIOR MATERIALS EAST
1/8" = 1'-0"

preliminary-not for construction

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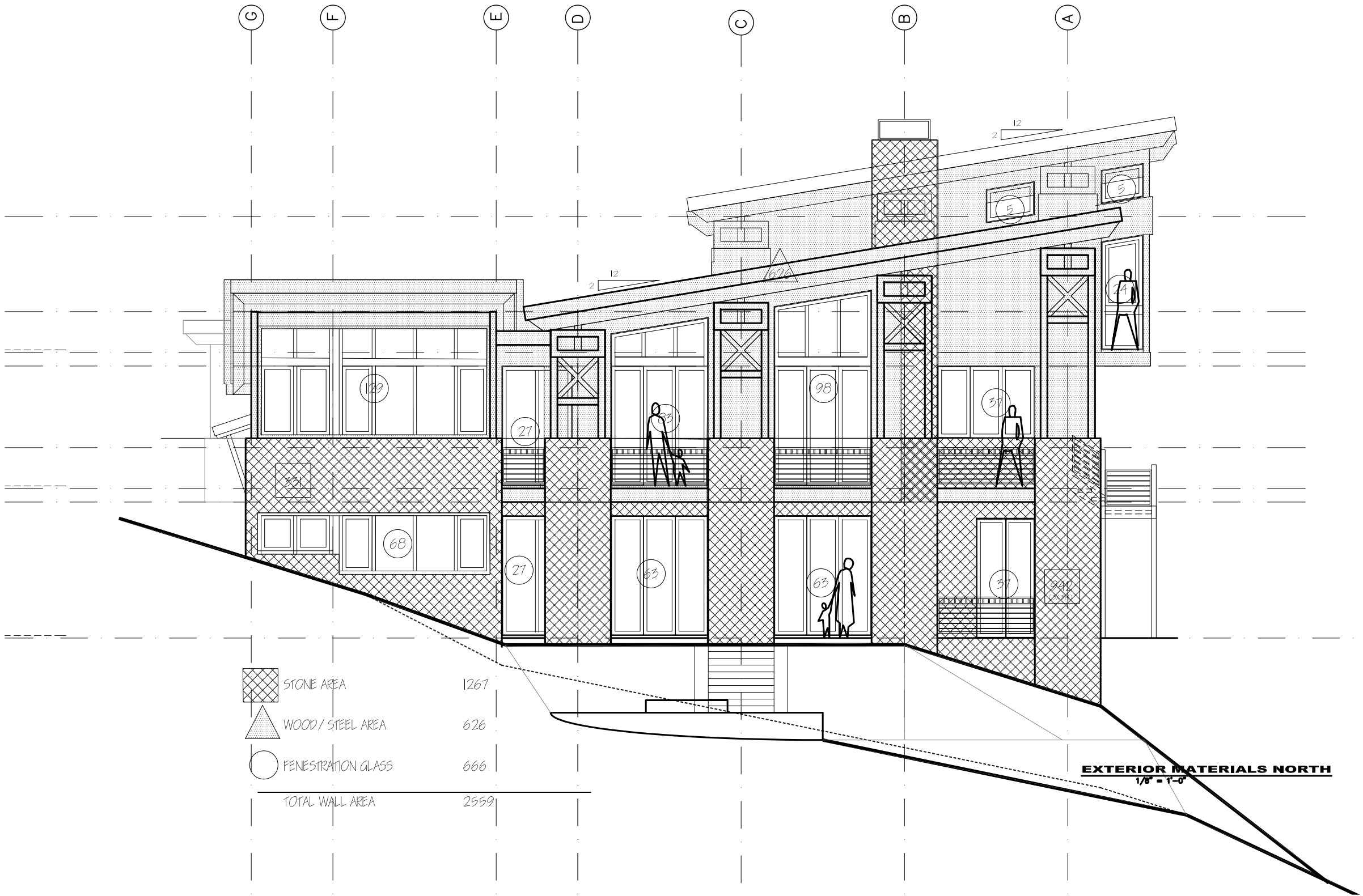
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DRB SKETCH SUBMITTAL	11-5-21

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SCALE 1/8" = 1'-0"
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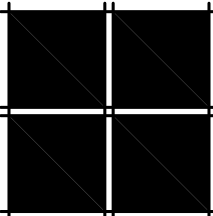
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DRB SKETCH SUBMITTAL	11-5-21
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	STONE AREA	1267
	WOOD/ STEEL AREA	626
	PENESTRATION GLASS	666
TOTAL WALL AREA		2559

EXTERIOR MATERIALS NORTH
1/8" = 1'-0"

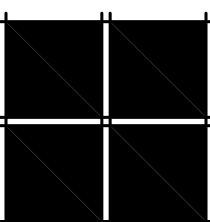
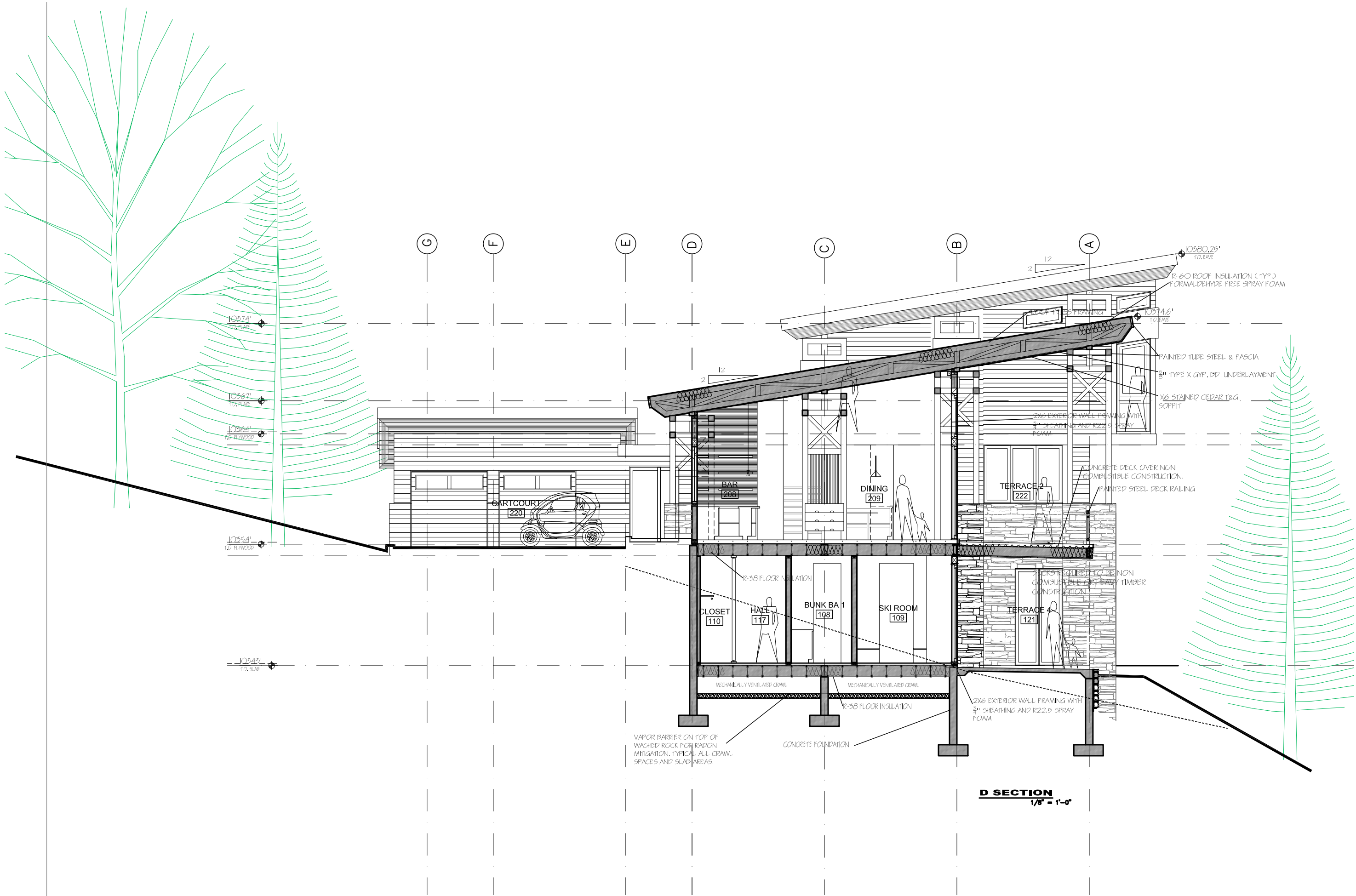
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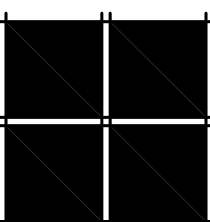
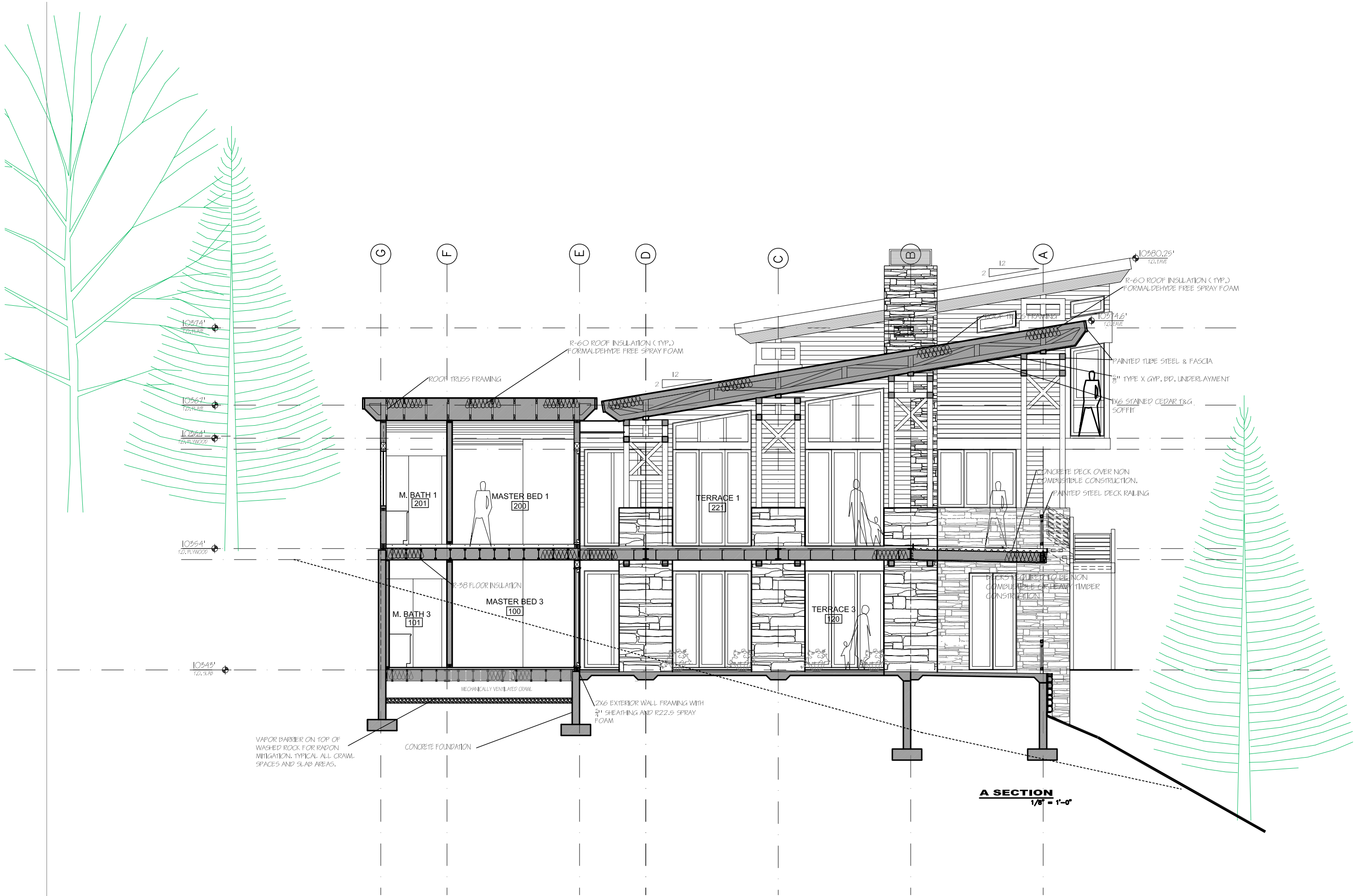
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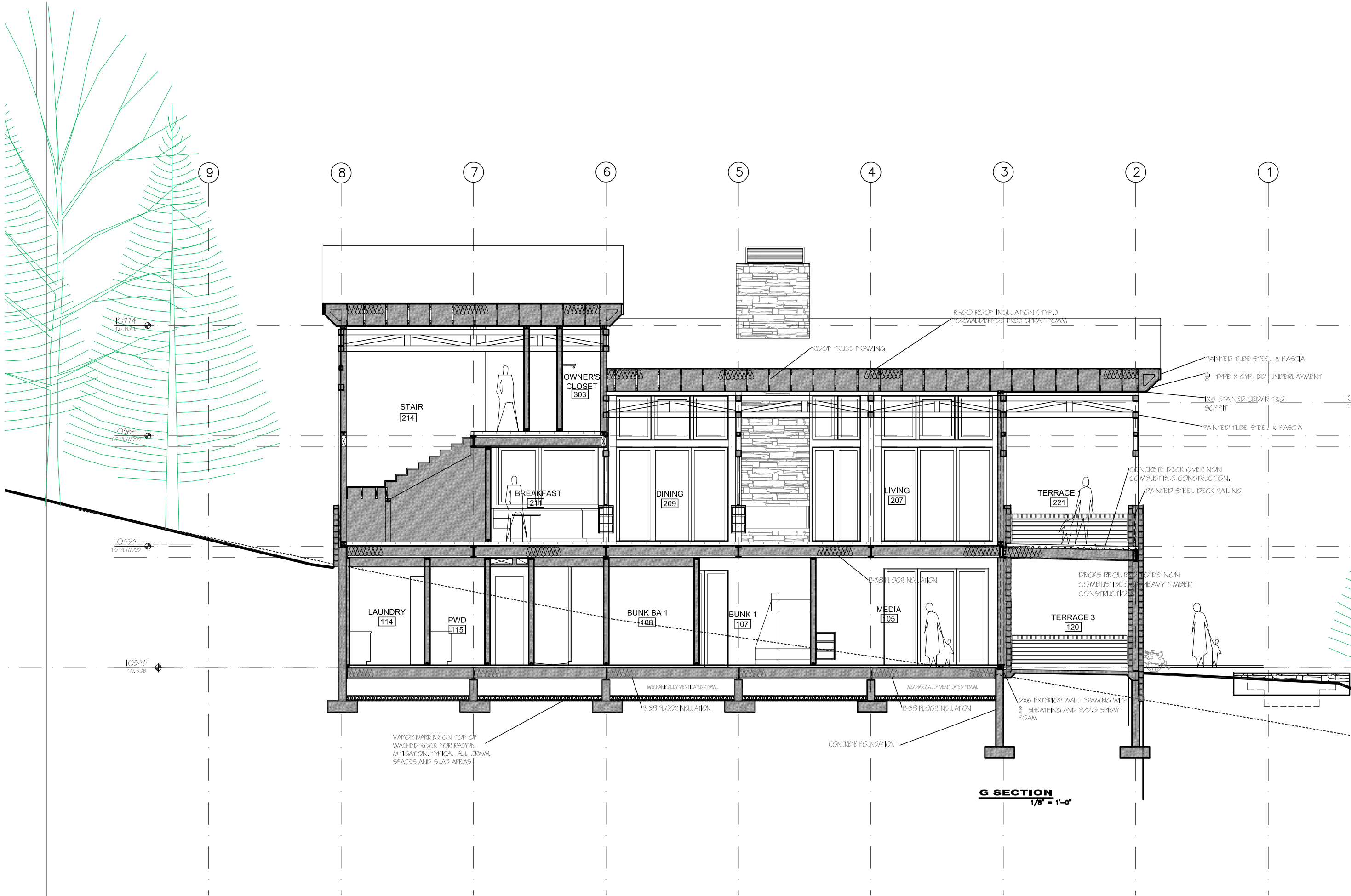
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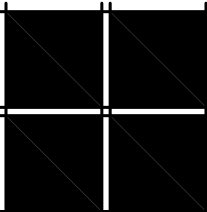
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SHEET

A-4.1



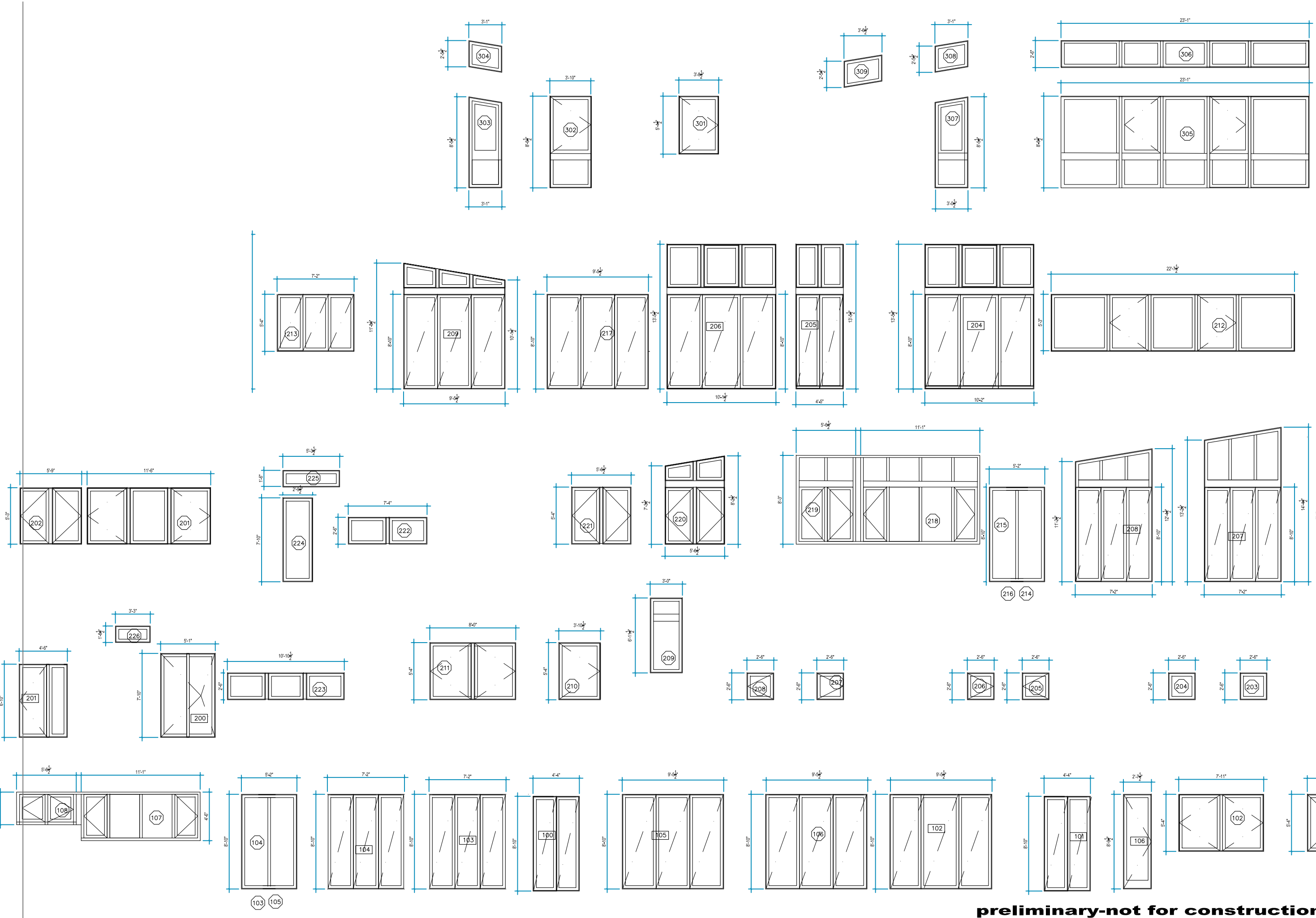
G SECTION
1/8" = 1'-0"



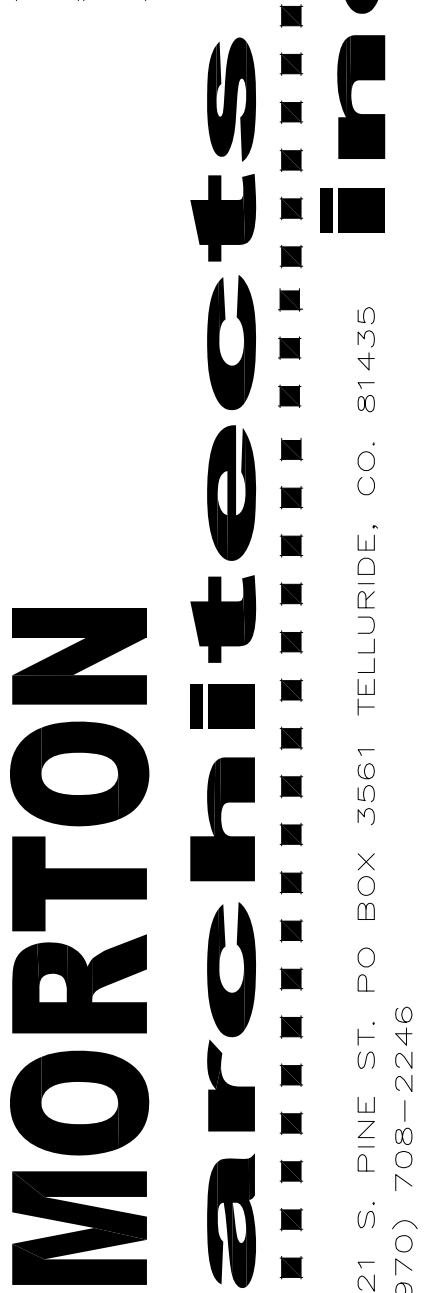
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ISSUE LOG	
DRB SKETCH SUBMITTAL	11-5-21

FILE NAME
JOB NUMBER XXX
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SHEET

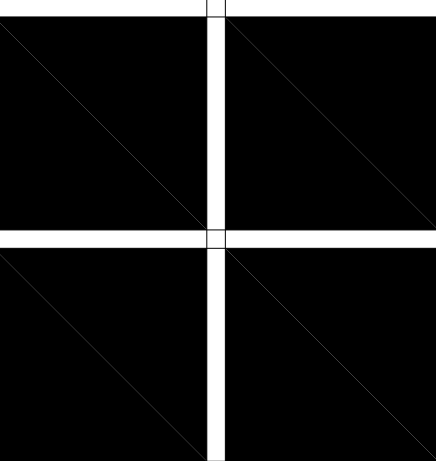


preliminary-not for construction



FREEMAN RESIDENCE
Lot 22-The Ridge, Town of Mountain Village, CO. 81435

DETAILS



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ISSUE LOG

FILE NAME

JOB NUMBER

XXX

DRAWN BY

SM

SCALE
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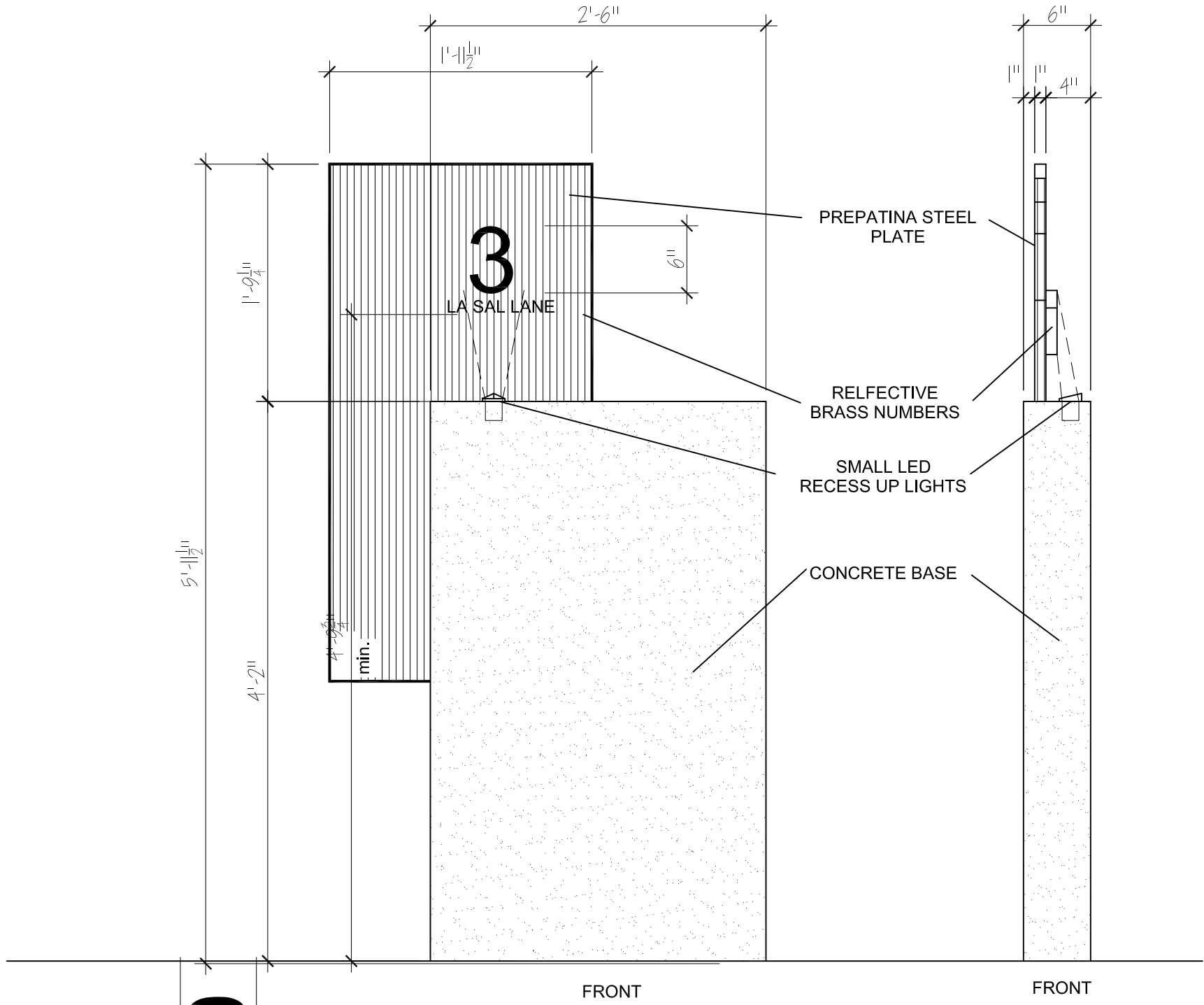
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P

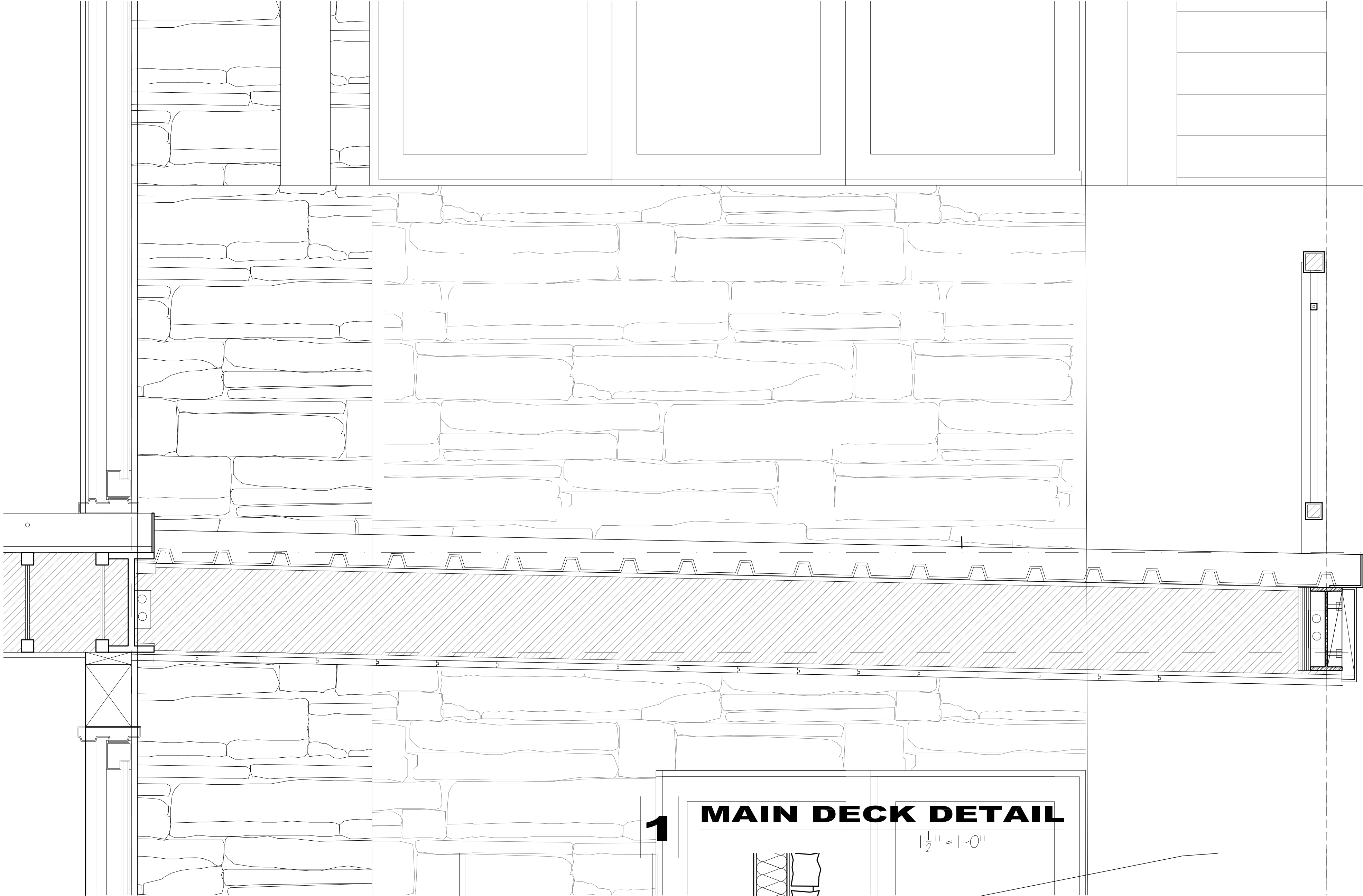
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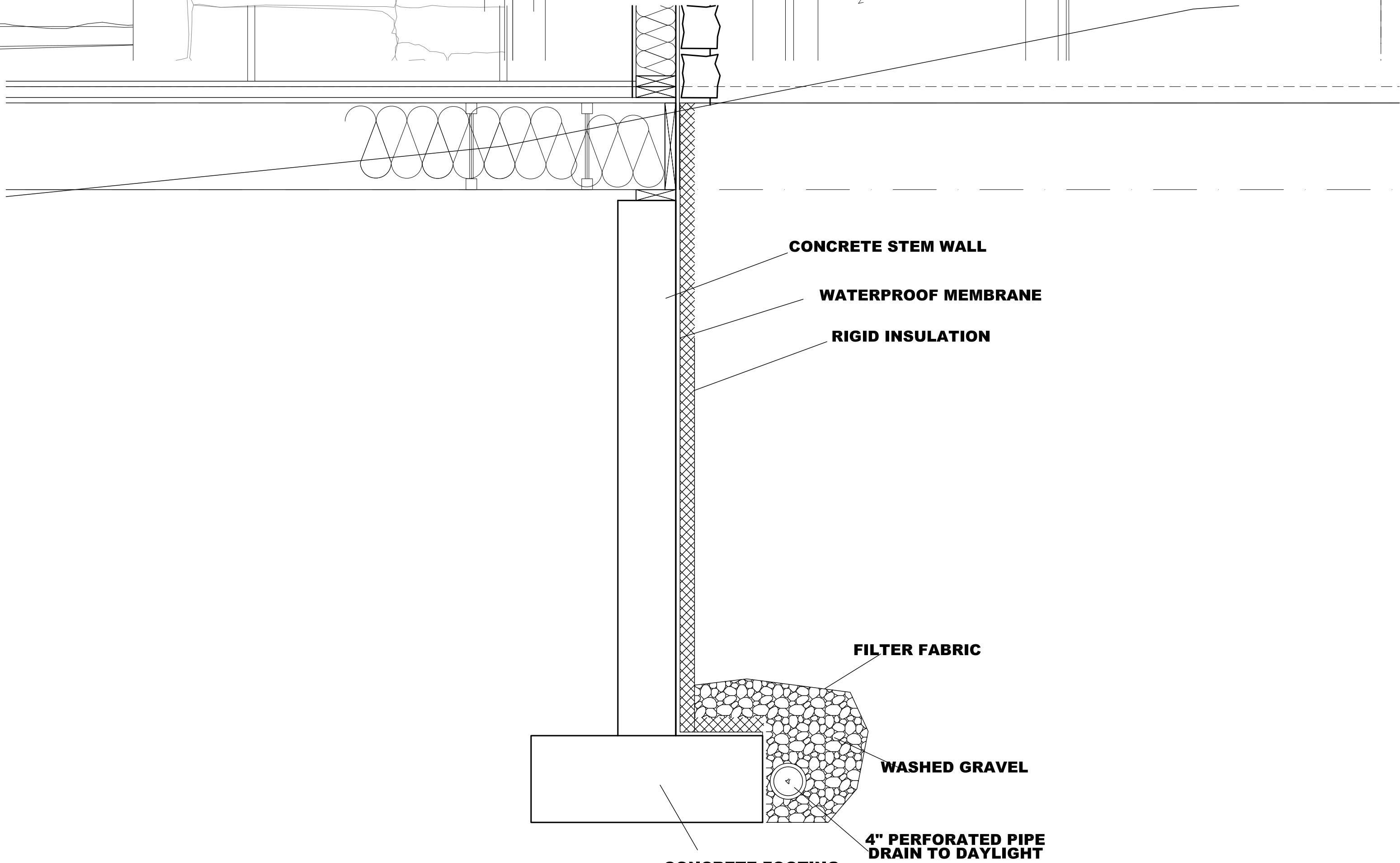
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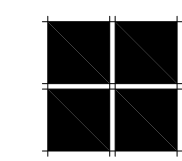
3 ADDRESS MONUMENT



1 MAIN DECK DETAIL



4 TYPICAL FOOTING DETAIL

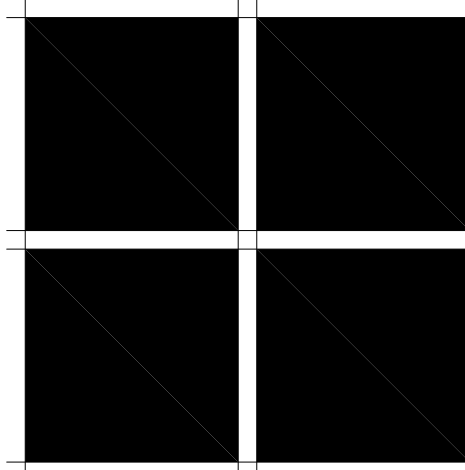


FREEMAN RESIDENCE **MORTON**
Lot 22-The Ridge, Town of Mountain Village, CO. 81435

architects inc.

221 S. PINE ST., PO BOX 3561 TELLURIDE, CO. 81435
(970) 708-2246

DETAILS



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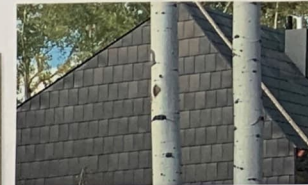
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BID SET	4-19-21
Final DRB rev	6-1-21

FILE NAME
JOB NUMBER XXX
DRAWN BY SM
SCALE 1" = 1'-0"
SHEET

D-3
OF SHEETS

TRUSSES/
WINDWS/ACCENTS

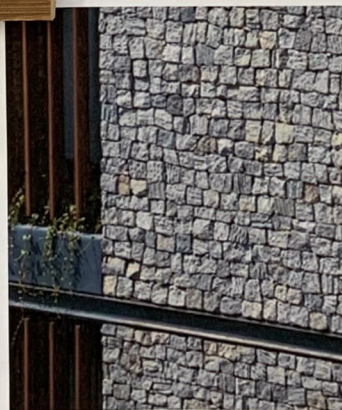
STEEL ROOF FASCIA
ALUMINUM ANODIZED
WINDOWS
STEEL TRUSS & DECK RAIL
POWDER COATED GRAY



ROOFING & METAL
SHINGLE SIDING
BONDERIZED SHEET METAL



CEDAR SIDING
HORIZONTAL 1X6 WIRE BRUSH
CHANNEL GROOVE-STAINED



STONE VENEER
ARKANSAS DOVER GRAY
ARKANSAS DARK DOVER GRAY
BLOCKY-TUMBLED
TIGHT GROUT JOINTS

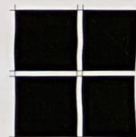


NORTH/EAST VIEW



NORTH/WEST VIEW

preliminary-not for construction



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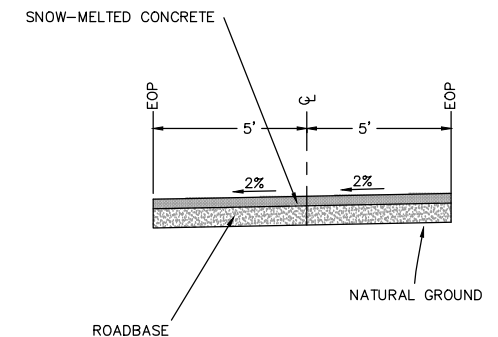
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DATE	11-18-21
DESCRIPTION	
FILE NAME	
JOB NUMBER	XXX
DRAWN BY	SM
SCALE	
SHEET	A-M
SHEETS	1

ROS-1A
COMMON ELEMENT
OPEN SPACE TRACT
G.C.E.

LEGEND

FF = FINISHED FLOOR
FG = FINISHED GRADE
2.0% → PROPOSED GRADE
2.5:1 → PROPOSED SLOPE

1. THIS IS A SKETCH PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION
2. MAXIMUM GRADING 2.5:1 (HORIZONTAL:VERTICAL). TO BE CONFIRMED BY GEOTECHNICAL REPORT.
3. ALL EXISTING TOPOGRAPHIC INFORMATION FROM SAN JUAN SURVEYING, "TOPOGRAPHIC SURVEY UNIT 22, THE RIDGE AT TELLURIDE", DATED 08/23/21.
4. SEE DRB DRAINAGE AND EROSION CONTROL PLAN FOR ALL PROPOSED EROSION CONTROL
5. EXISTING GRADES FOR AREA OF DRIVEWAY AND TO THE LIMITS OF GRADING ON THE NORTH TO BE CONFIRMED BY SURVEYOR PRIOR TO PREPARING FINAL CIVIL CONSTRUCTION PLANS.
6. ALL RETAINING WALLS WITH PEDESTRIAN ACCESS AND OVER 30" (2.5') MUST HAVE HANDRAIL AS PART OF CONSTRUCTION PLANS.
7. EXISTING CONCRETE ACCESS PATH HAS A SIX INCH CURB ON EAST SIDE WITH NO GUTTER.
8. ALL RETAINING WALLS MAX HEIGHT ARE RETAINED HEIGHT ONLY AND DO NOT INCLUDE ANY FOUNDATIONS OR CAPS.



TYPICAL DRIVEWAY CONCRETE SECTION WITH SNOWMELT

N.T.S.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

**THIS PLAN IS FOR
CLIENT REVIEW
ONLY AND NOT FOR
CONSTRUCTION**

THESE SKETCH PLANNING DOCUMENTS WERE
PREPARED BY ME AND UNDER MY DIRECT
SUPERVISION ON BEHALF OF ALPINE LAND
CONSULTING, LLC FOR TOHELLURIDE LLC AND
INCLUDES SKETCH PLANNING DESIGN ONLY, AND
DOES NOT INCLUDE ANY OTHER PLANNING OR
ENGINEERING.

**THIS PLAN HAS
BEEN REDUCED TO
APPROXIMATELY
HALF SCALE
(11"X17")**

GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736



ALPINE LAND
CONSULTING, LLC

P.O. BOX 234
RICO, COLORADO 81332
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

UNIT 22 THE RIDGE
MOUNTAIN VILLAGE

SKETCH GRADING PLAN

CLIENT:

TOHELLURIDE LLC
C/O ZABEL FREEMAN
1135 HEIGHTS BLVD
HOUSTON, TX 77008

DATE: NOVEMBER 4, 2021

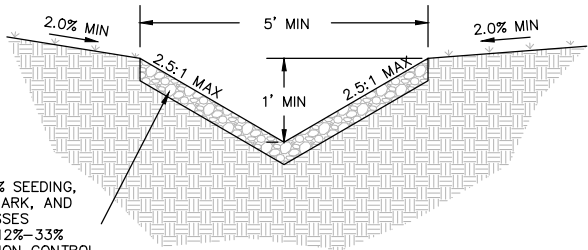
PROJECT #: 2021037

PROJECT MANAGER:	GEA
DRAWN BY:	ADM

SHEET #:

1 OF 3

[illegible]

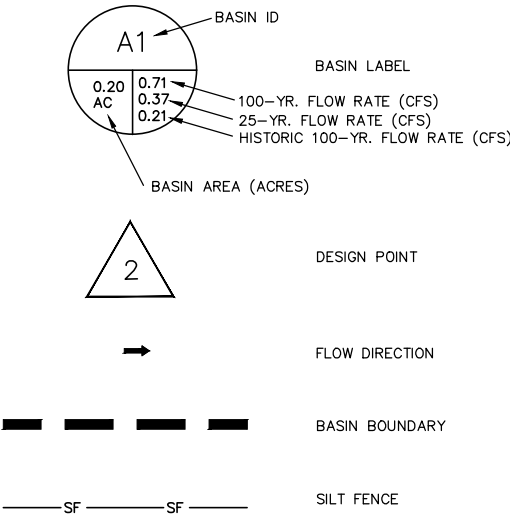


- RECOMMENDED
- SLOPES UP TO 12% SEEDING, MULCHES, ROCK, BARK, AND ORNAMENTAL GRASSES
 - SLOPES BETWEEN 12%-33% COBBLES OR EROSION CONTROL MAT
 - SLOPES BETWEEN 33%-50% TYPE VL RIP-RAP ($D_{50}=6"$)

TYPICAL YARD SWALE SECTION

N.T.S.

LEGEND:



NOTES:

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4. SEE DRB DRAINAGE AND EROSION CONTROL PLAN FOR ALL PROPOSED EROSION CONTROL
5. EXISTING CONCRETE ACCESS PATH HAS A SIX INCH CURB ON EAST SIDE WITH NO GUTTER.
6. FOR SLOPE STABILITY SAFETY THERE IS NO DETENTION PROPOSED FOR THIS RIDGE LOT SO AS NOT TO COMPROMISED THE EXISTING SLOPE BY INTRODUCTION OF SURFACE WATER INTO THE GROUND BY EXCESSIVE PERCOLATION OR DRY WELL APPLICATIONS.



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OR
811
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**THIS PLAN HAS
BEEN REDUCED TO
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GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

**ALPINE LAND
CONSULTING, LLC**
P.O. BOX 234
RICO, COLORADO 81332
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

**UNIT 22 THE RIDGE
MOUNTAIN VILLAGE**

SKETCH DRAINAGE AND
EROSION CONTROL PLAN

CLIENT:
TOHELLURIDE LLC
C/O ZABEL FREEMAN
1135 HEIGHTS BLVD
HOUSTON, TX 77008

DATE: NOVEMBER 4, 2021

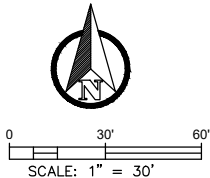
PROJECT #: 2021037

PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #:

2 OF 3

NO.	REVISIONS	DATE



SKETCH DRAINAGE AND EROSION CONTROL PLAN

1. THIS IS A SKETCH PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION
2. EXISTING UTILITY INFORMATION FROM SAN JUAN SURVEYING, "TOPOGRAPHIC SURVEY UNIT 22, THE RIDGE AT TELLURIDE", DATED 08/23/21 AND THE TOWN OF MOUNTAIN VILLAGE. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND TO BE CONFIRMED PRIOR TO FINAL DESIGN
3. CABLE AND TELEPHONE SERVICE TO FOLLOW ELECTRICAL SERVICE
4. A MINIMUM OF 10' SEPARATION REQUIRED BETWEEN SANITARY AND WATER LINES



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GREGORY E. ANDERSON
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REGISTRATION NO. 35736

[illegible]

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SKETCH UTILITY PLAN

TOHELLURIDE LLC
C/O ZABEL FREEMAN
1135 HEIGHTS BLVD
HOUSTON, TX 77008

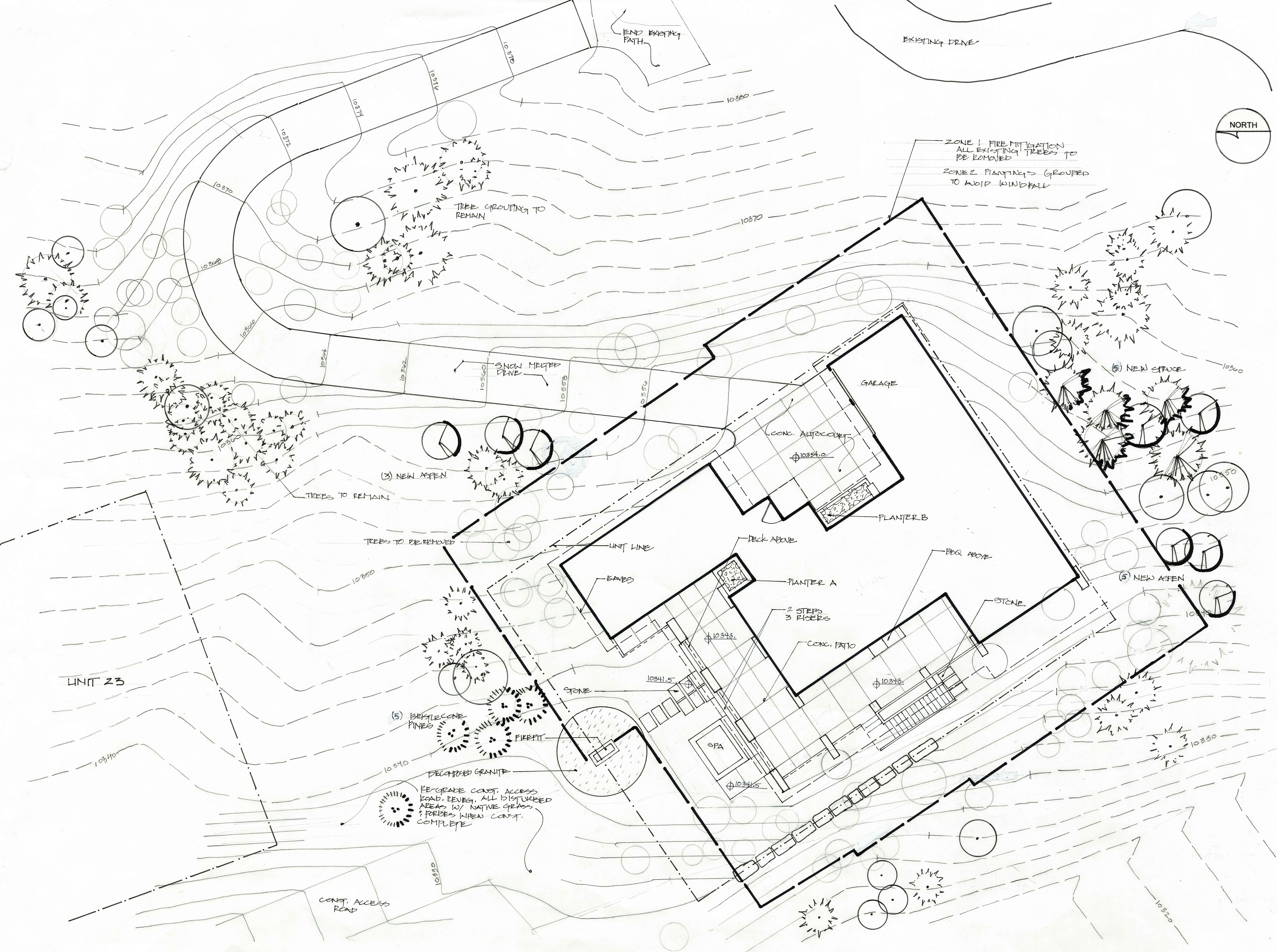
DATE: NOVEMBER 4, 2021

PROJECT #: 2021037

PROJECT MANAGER:	GEA
DRAWN BY:	ADM

SHEET #:

3 OF 3



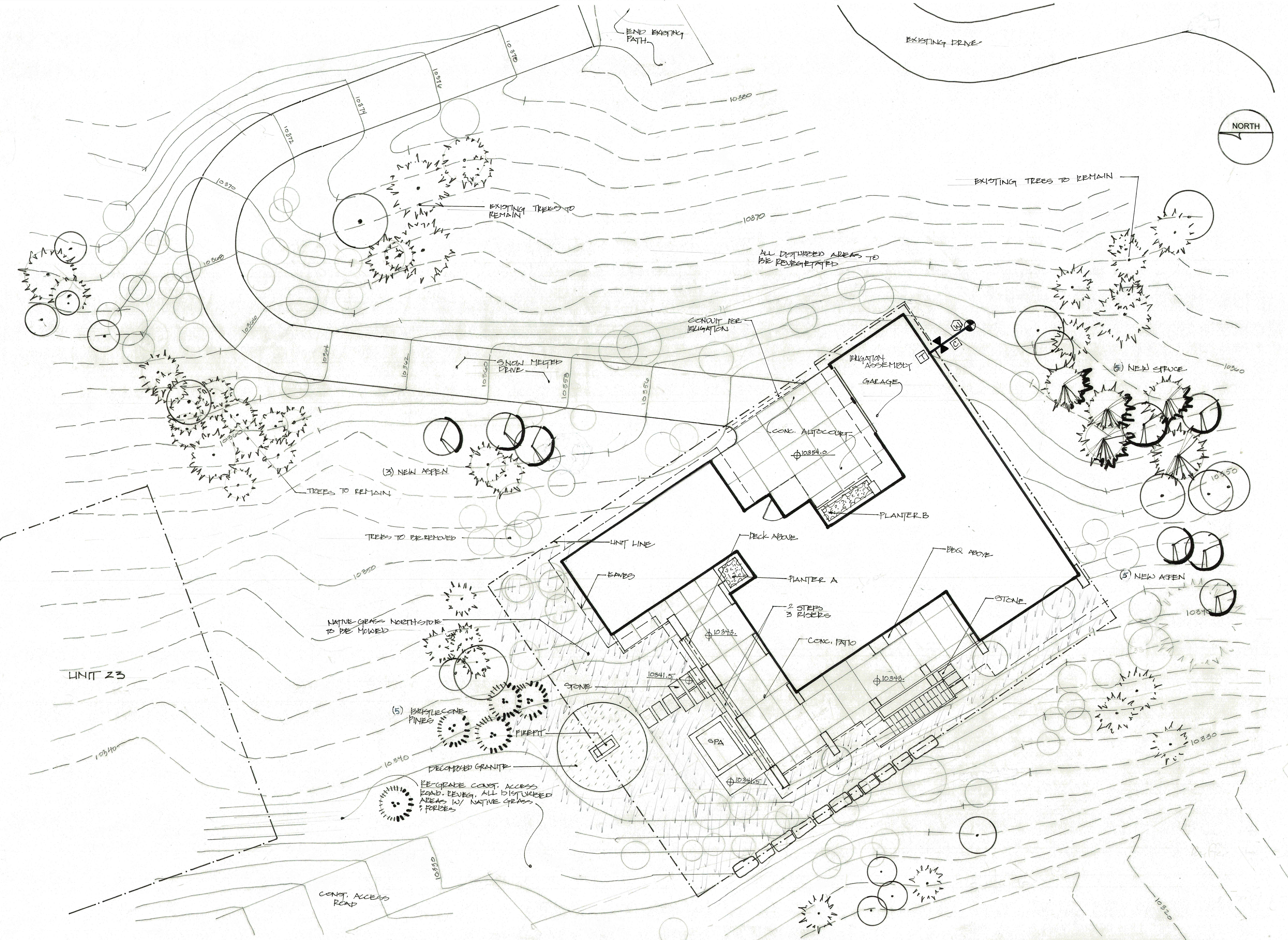
FREEMAN RESIDENCE
Unit 22 The Ridge
Telluride Mountain Village

Submittal: DRB Sketch Plan
Date: 11.4.21

SCALE 1/8" = 1'

SHEET
L2

LANDSCAPE/
FIRE MITIGATION



FREEMAN RESIDENCE
Unit 22 The Ridge
Telluride Mountain Village

Submittal: DRB Sketch Plan
Date: 11.4.21

SCALE 1/8" = 1'

FREEMAN RESIDENCE UNIT 22 THE RIDGE

PLANT SCHEDULE			
COMMON NAME	BOTANICAL NAME	SIZE	QTY
Populus tremuloides	Quaking Aspen,	2.5" cal.	8
Picea pungens	Colorado spruce	10'	3
		12'	2
Pinus aristata	Bristlecone Pine	6'	5
Karl Foerster	Feather Grass	#5	8
Perennials Bed A	Brunerra, Fern, Aconitum napelese	32 SF	
Perennial Bed B	Anemone sylvestris, Ladys Mantle	25 SF	
Native Grass seed	Mountain village native grass mix	Field verify	

GENERAL LANDSCAPE NOTES

1. All trees and shrubs shall be field located by project Landscape architect.
2. All trees and shrubs shall be backfilled with a topsoil/organic fertilizer mixture at a 2:1 ratio.
3. Necessary trees shall e staked with 4 foot metal posts. Trees shall be guyed with 12 gauge galvanized wire and polypropolene tree straps.
4. Perennial planting beds shall be tilled to a 6" depth and amended with topsoil and organic fertilizer at a 2:1 ratio.
5. Mulch all perennial beds with a pine bark soil conditioner by Southwest Importers; shredded cedar bark.
6. All plant material to meet the American Standard for Nursery Stock.
7. All newly planted material to be irrigated by an automated irrigation system.
8. Re-vegetation of native grasses in primary areas surrounding house shall be irrigated until germination and establishment. At least two growing seasons.
9. All planted material shall be irrigated with an automated irrigation system.
10. All revegetation areas of native grass seed to be irrigated with automated system for first two growing seasons.
11. All planted materials including seed, shall be non-noxious species as specified within the San Miguel County's most current Noxious Weed List.

REVEGETATION NOTES

1. Subsoil surfaces shall be tilled to a 4" depth on non fill areas.
2. Topsoil shall be spread at a minimum depth of 4" over all areas to be re-vegetated (except on slopes greater than 3:1) and amendments rototilled at a rate of three cubic yards per thousand square feet.
3. Broadcasting of seed shall be done immediately after topsoil is applied (within 10 days) to minimize erosion and weeds.
4. Areas which have been compacted or relatively undisturbed needing seeding, shall be scarified before broadcasting of seed.
5. Broadcast with specified seed mix and follow with dry mulching. Straw or hay shall be uniformly applied over seeded area at a rate 1.5 tons per acre for hay or 2 tons per acre for straw, crimp in.
6. On slopes greater than 3:1 erosion control blanket shall be applied in place of straw mulch and pinned.
7. All utility cuts shall be re-vegetated within the same planting season after installation of utilities to prevent weed infestation.
8. Seed all other areas at a rate of 1.5 lbs per acre. See mix below as specified in DRB guideline:

NATIVE GRASS SEED MIX

<u>SPECIES</u>	<u>SEED RATE</u>
Western Yarrow	5%
Tall Fescue	10%
Arizona Fescue	5%
Hard Fescue	5%
Creeping Red Fescue	10%
Alpine Bluegrass	15%
Canada Bluegrass	10%
Perennial Ryegrass	15%
Slender Wheatgrass	10%

IRRIGATION NOTES

1. Tap with rainbird PVB-075 backflow preventer
2. Rainbird RCM-12 electromechanical controller
3. 1.5" Wilkins model 500 pressure regulator
4. Rainbird 150-PEB 1.5" electric remote control valve
5. Class 200 PVC Mainline 1"
6. 3/4" 80NSF polylateral line
7. All newly planted vegetation is to be irrigated including trees, shrubs, perennials and sod.
8. Revegetation areas closest to house shall be irrigated.
9. Irrigation for revegetated areas shall be operated for two consecutive growing seasons and turned off

IRRIGATION SCHEDULE

<u>ZONE</u>	<u>LOCATION</u>	<u>HEAD</u>	<u>GPM</u>
1	Aspen trees	drip emitters	-
2	Spruce and Pine trees	drip emitters	-
3	Perennial planters	pop up sprays	24
4	Shrubs East	drip emitters	-
5	Revegetation	rotor heads	temporary

WATER USAGE CHART

<u>Type</u>	<u>Monthly use</u>	<u>Total #</u>	<u>Total Monthly Usage</u>
Perennials	2.5 gal./SF	57 SF	143
Revegetation	-	-	-
Shrubs	3.20 gal/EA	8	26
Aspen trees	10 gal. /EA	8	80
Colorado Spruce	25 gal. /EA	5	125
Pinus aristata	20 gal./EA	5	100
COMPLETE MONTHLY USAGE			474 gal/MO

NOTES

- 1

LINEAR LED TO INSTALL ON TOP OF BEAM TO GAZE LIGHT UP WOOD CEILING. SEE LIGHTING DETAIL L2.0-X.
- 2

LED STEP LIGHT FIXTURE TO INSTALL 12" ABOVE CENTER OF TREAD. SEE LIGHTING DETAIL L2.0-X.
- 3

LED FIXTURE TO INSTALL ABOVE HEADER AIMED BACK, PROVIDE JAMB SWITCH OR OCCUPANCY SENSOR.
- 4

LINEAR LED LIGHTING TO BE INSTALLED AT TOP OF BENCH. SEE LIGHTING DETAIL L2.0-X.
- 5

LINEAR LED LIGHTING TO BE INSTALLED AT TOE KICK. SEE LIGHTING DETAIL L2.0-X.
- 6

LINEAR LED TO BE INSTALLED AT HEADER AND CONCEALED BY TRIM PIECE. SEE LIGHTING DETAIL L2.0-X.
- 7

LINEAR LED TO BE INSTALLED RUNNING VERTICALLY CONCEALED BY TRIM PIECE. SEE LIGHTING DETAIL L2.0-X.
- 8

LINEAR LED LIGHTING TO BE INSTALLED ABOVE GARAGE DOOR TO GRAZE LIGHTING DOWN DOOR. SEE LIGHTING DETAIL L2.0-XX.
- 9

LINEAR LED LIGHTING TO BE INSTALLED TUCKED UP BEHIND CABINET. SEE LIGHTING DETAIL L2.0-XX.
- 10

LINEAR LED LIGHTING TO BE INSTALLED IN ROUTERED CHANNEL 3" FROM THE FRONT OF THE SHELF. SEE LIGHTING DETAIL L2.0-XX
- 11

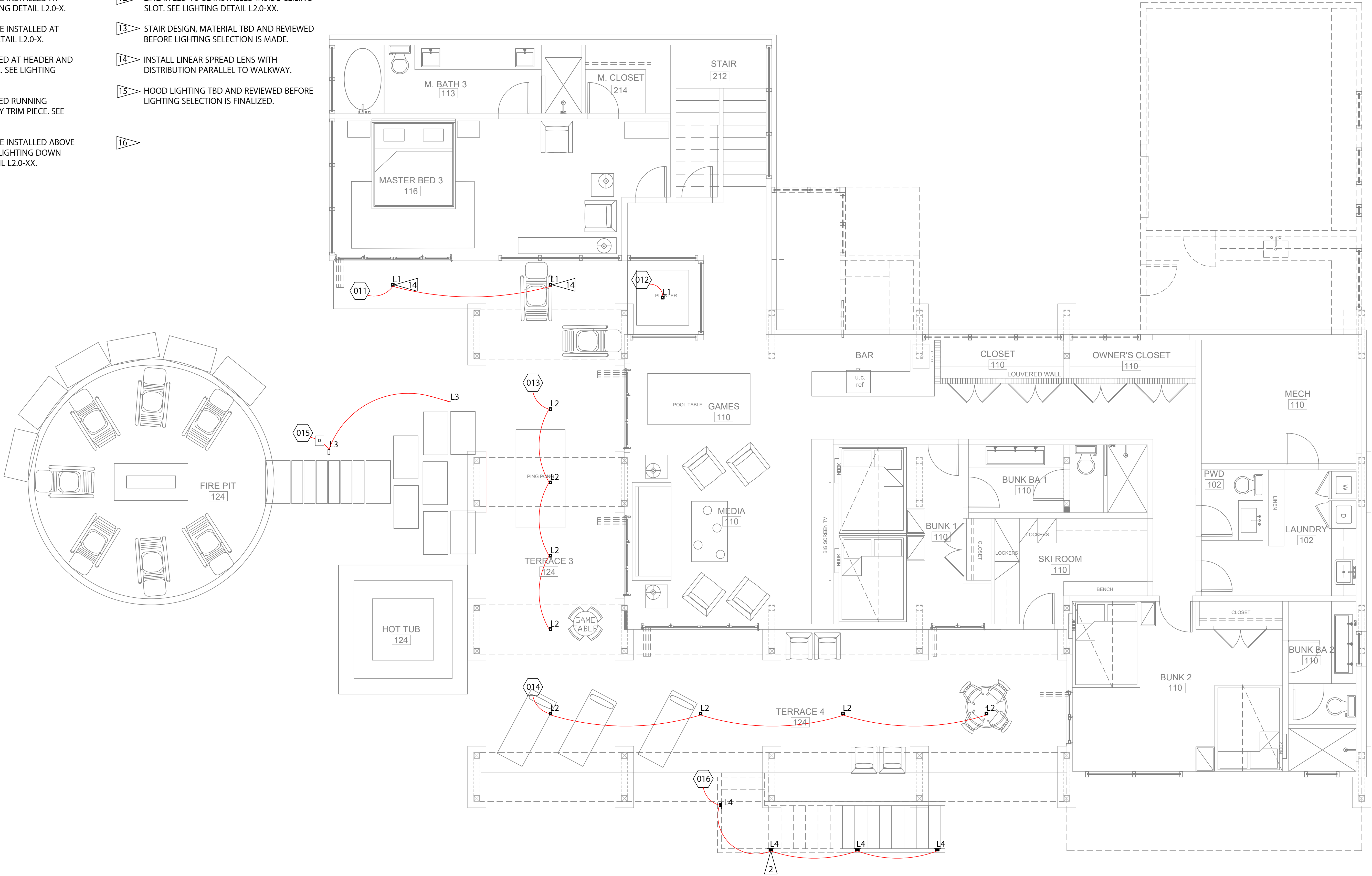
LINEAR LED TO BE INSTALLED INSIDE CEILING SLOT. SEE LIGHTING DETAIL L2.0-XX.
- 12

LINEAR LED TO BE INSTALLED INSIDE CEILING SLOT. SEE LIGHTING DETAIL L2.0-XX.
- 13

STAIR DESIGN, MATERIAL TBD AND REVIEWED BEFORE LIGHTING SELECTION IS MADE.
- 14

INSTALL LINEAR SPREAD LENS WITH DISTRIBUTION PARALLEL TO WALKWAY.
- 15

HOOD LIGHTING TBD AND REVIEWED BEFORE LIGHTING SELECTION IS FINALIZED.
- 16



1 LOWER LEVEL - EXTERIOR LIGHTING PLAN
1/4" = 1'-0"

618 Mtn Vlg Blvd, Ste 203A
PO Box 3610
Telluride, CO 81435
P 970.729.8892
www.luminosityald.com

CONSULTANTS

Architect

MORTON ARCHITECTS
221 S. Pine St.
PO Box 3561
Telluride, CO 81435
970.708.2246

Interior Architect

LINDA EYLES DESIGN
786 Arlington St.
Houston, TX 77007
713.520.7455

Landscape Architect

TBD

General Contractor

TBD

Electrical Contractor

TBD

REVISIONS

DATE	DESCRIPTION
11.05.2021	DRB SUBMISSION

PROJECT

FREEMAN RESIDENCE
THE RIDGE LOT 22
MOUNTAIN VILLAGE, CO

SITE ORIENTATION

DRAWING TITLE

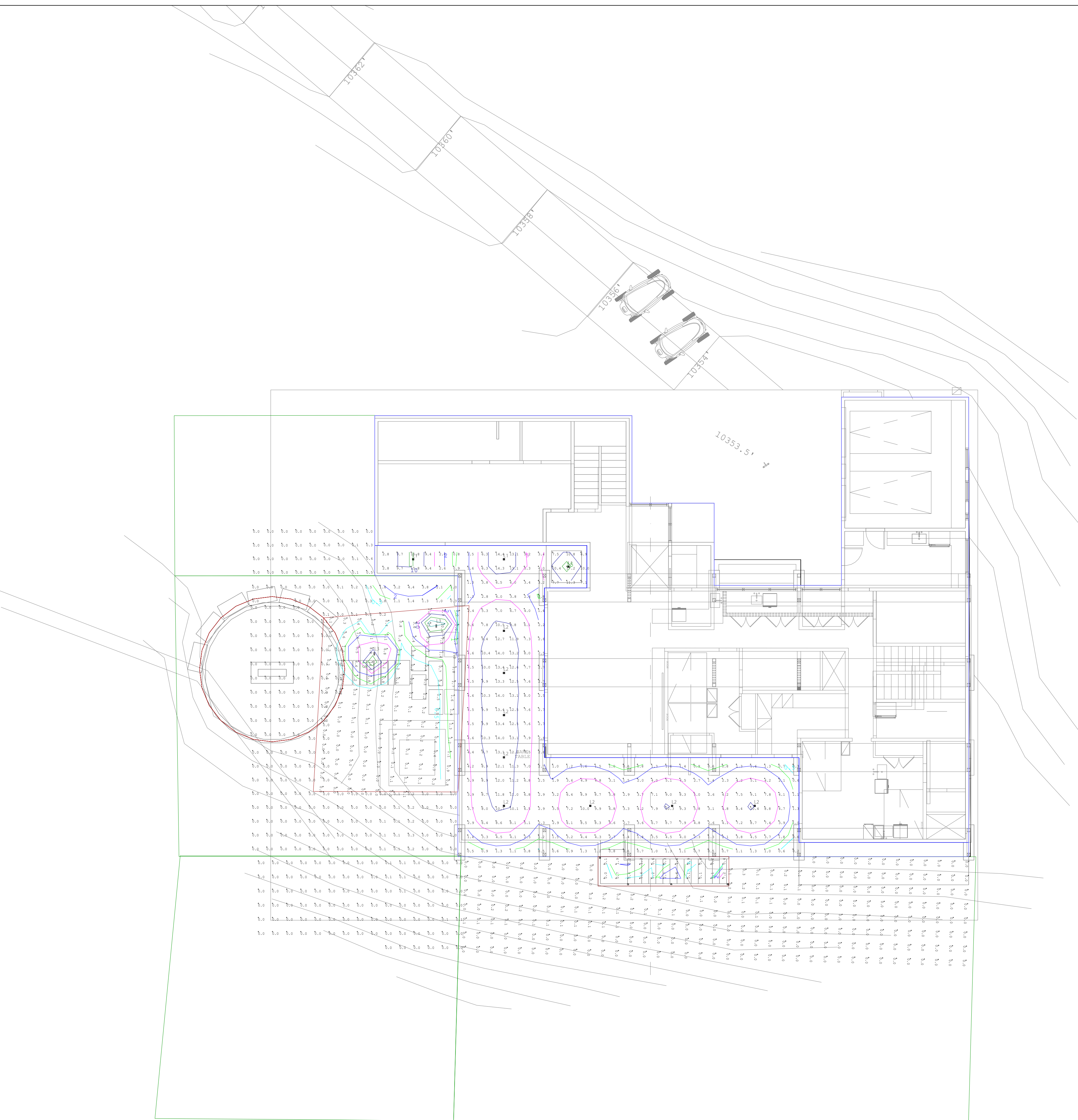
LOWER LEVEL EXTERIOR
LIGHTING PLAN

DRAWING ISSUE

ISSUE: DRB SUBMISSION
DATE: 05 NOVEMBER 2021
DRAWING: ARCH D - 24 X 36
SCALE: AS NOTED ON DRAWING
JOB #: NA
DRAWN BY: AC
CHECKED BY: CS

DRAWING NO.

L0.1



Luminaire Schedule					
Symbol	Qty	Label	Total Lamp Lumens	LLF	Description
	8	2in Ext Downlight 40deg	930	0.574	E2SL-LO83040A - Dimmed to 70% minimum to meet DRB and MV Lighting Standards
	3	2in Ext Downlight 20deg	930	0.574	E2SL-LO83020A - Dimmed to 70% minimum to meet DRB and MV Lighting Standards
	2	18in Stru Outdoor Pathway Light	693.1	0.440	700CASTR930180412S - Dimmed to 44% minimum to meet DRB and MV Lighting Standards
	4	12V 4in Step Light	36	0.700	HNL511 RECT WLST LED 30K MVOLT

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	5.48	17.2	0.2	27.40	86.00
Firepit_stairs_Firepit_stal	1.29	23.6	0.0	N/A	N/A
Firepit_Top	0.00	0.1	0.0	N/A	N/A
Grade 1_Grade 1	0.20	4.4	0.0	N/A	N/A
Grade 12_Grade 12	0.03	0.5	0.0	N/A	N/A
Grade 13_Grade 13	0.01	0.1	0.0	N/A	N/A
Grade 2_Planar	0.04	0.5	0.0	N/A	N/A
Stairs_Stairs	1.15	7.2	0.0	N/A	N/A

1 LOWER LEVEL - EXTERIOR LIGHTING CALC
1/8" = 1'-0"

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PO Box 3610
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P 970.729.8892
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LINDA EYLES DESIGN
738 Arlington St.
Houston, TX 77007
713.520.7435

Landscape Architect

TBD

General Contractor

TBD

Electrical Contractor

TBD

REVISIONS

Δ	DATE	DESCRIPTION
Δ	11.05.2021	DRB SUBMISSION

PROJECT

FREEMAN RESIDENCE
THE RIDGE LOT 22
MOUNTAIN VILLAGE, CO

SITE ORIENTATION

DRAWING TITLE

LOWER LEVEL
EXTERIOR LIGHTING
CALC

DRAWING ISSUE

ISSUE: DRB SUBMISSION
DATE: 05 NOVEMBER 2021
DRAWING: ARCH D - 24 X 36
SCALE: AS NOTED ON DRAWING
JOB #: NA
DRAWN BY: AC
CHECKED BY: CS

DRAWING NO.

L0.1C

NOTES

- 1

LINEAR LED TO INSTALL ON TOP OF BEAM TO GAZE LIGHT UP WOOD CEILING. SEE LIGHTING DETAIL L2.0-X.
- 2

LED STEP LIGHT FIXTURE TO INSTALL 12" ABOVE CENTER OF TREAD. SEE LIGHTING DETAIL L2.0-X.
- 3

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LINEAR LED LIGHTING TO BE INSTALLED AT TOE KICK. SEE LIGHTING DETAIL L2.0-X.
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LINEAR LED TO BE INSTALLED AT HEADER AND CONCEALED BY TRIM PIECE. SEE LIGHTING DETAIL L2.0-X.
- 7

LINEAR LED TO BE INSTALLED RUNNING VERTICALLY CONCEALED BY TRIM PIECE. SEE LIGHTING DETAIL L2.0-X.
- 8

LINEAR LED LIGHTING TO BE INSTALLED ABOVE GARAGE DOOR TO GRAZE LIGHTING DOWN DOOR. SEE LIGHTING DETAIL L2.0-XX.
- 9

LINEAR LED LIGHTING TO BE INSTALLED TUCKED UP BEHIND CABINET. SEE LIGHTING DETAIL L2.0-XX.
- 10

LINEAR LED LIGHTING TO BE INSTALLED IN ROUTERED CHANNEL 3" FROM THE FRONT OF THE SHELF. SEE LIGHTING DETAIL L2.0-XX
- 11

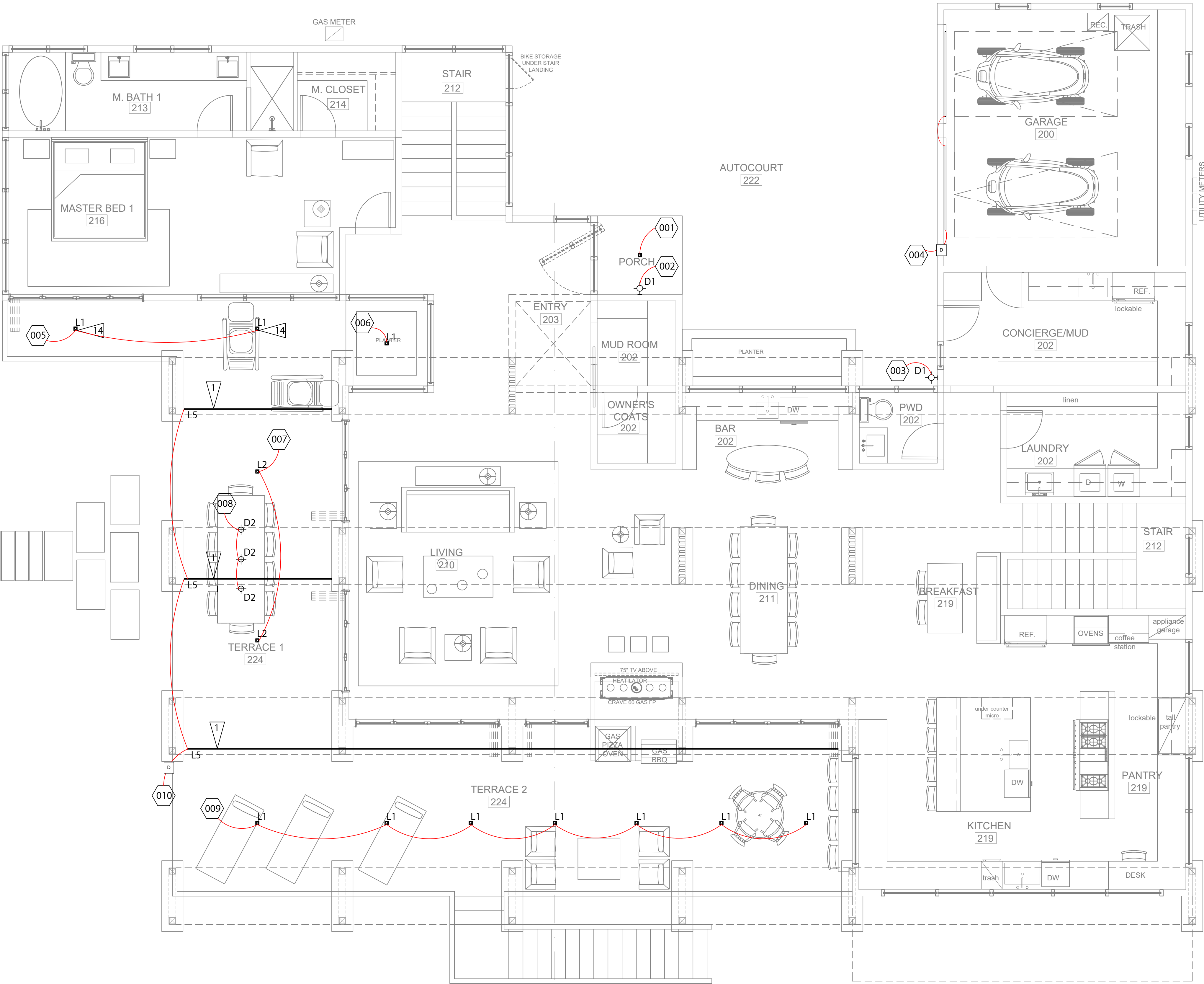
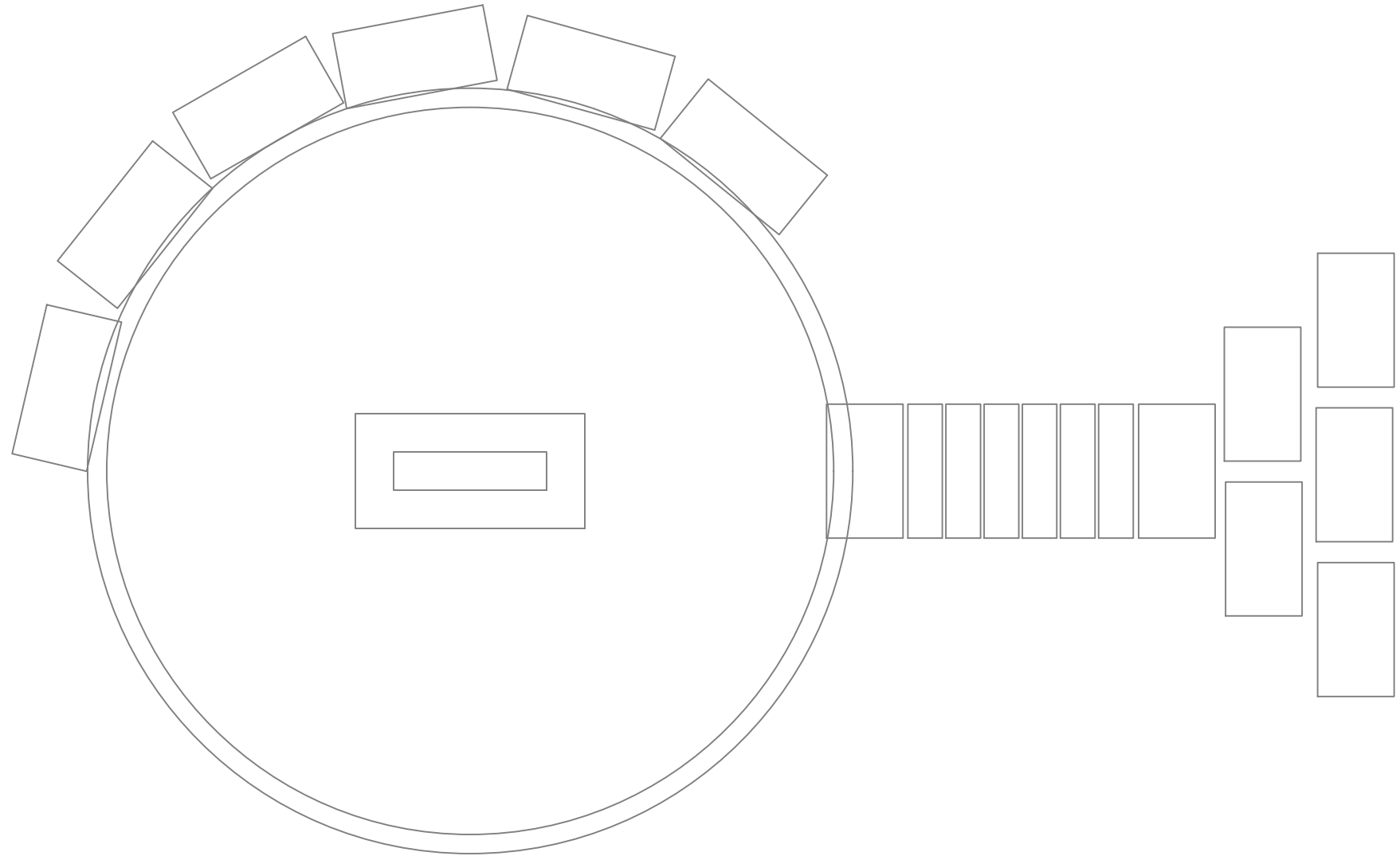
LINEAR LED TO BE INSTALLED INSIDE CEILING SLOT. SEE LIGHTING DETAIL L2.0-XX.
- 12

LINEAR LED TO BE INSTALLED INSIDE CEILING SLOT. SEE LIGHTING DETAIL L2.0-XX.
- 13

STAIR DESIGN, MATERIAL TBD AND REVIEWED BEFORE LIGHTING SELECTION IS MADE.
- 14

INSTALL LINEAR SPREAD LENS WITH DISTRIBUTION PARALLEL TO WALKWAY.
- 15

HOOD LIGHTING TBD AND REVIEWED BEFORE LIGHTING SELECTION IS FINALIZED.
- 16



1 MAIN LEVEL - EXTERIOR LIGHTING PLAN
1/4" = 1'-0"

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Landscape Architect
TBD

General Contractor
TBD

Electrical Contractor
TBD

REVISIONS

DATE	DESCRIPTION
11.05.2021	DRB SUBMISSION

PROJECT

FREEMAN RESIDENCE
THE RIDGE LOT 22
MOUNTAIN VILLAGE, CO

SITE ORIENTATION

DRAWING TITLE

MAIN LEVEL EXTERIOR
LIGHTING PLAN

DRAWING ISSUE

ISSUE:	DRB SUBMISSION
DATE:	05 NOVEMBER 2021
DRAWING:	ARCH D - 24 X 36
SCALE:	AS NOTED ON DRAWING
JOB #:	NA
DRAWN BY:	AC
CHECKED BY:	CS

DRAWING NO.

L0.2

CONSULTANTS

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11.05.2021	DRB SUBMISSION

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FREEMAN RESIDENCE
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MOUNTAIN VILLAGE, CO

SITE ORIENTATION

DRAWING TITLE

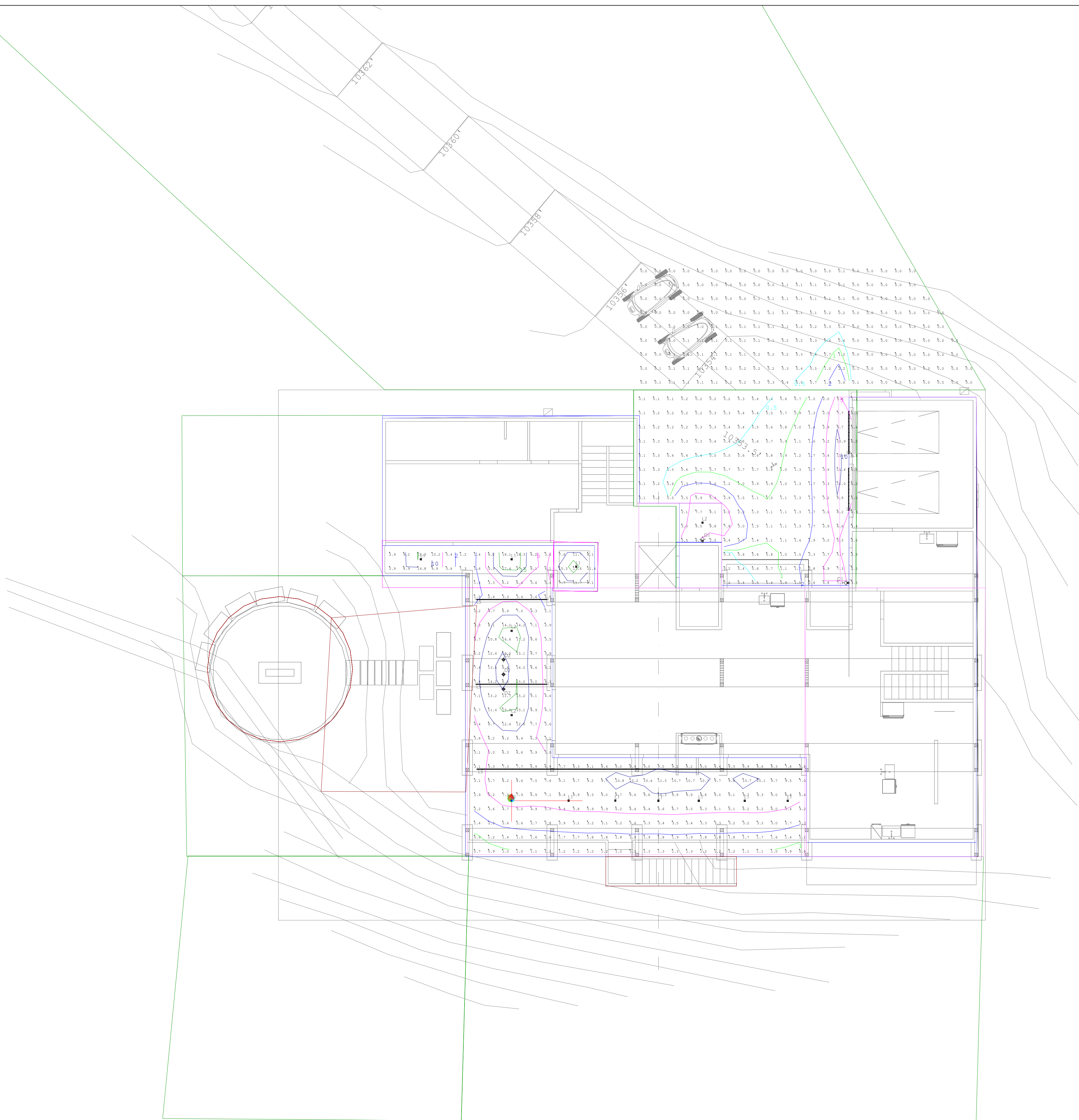
MAIN LEVEL
EXTERIOR LIGHTING
CALC

DRAWING ISSUE

ISSUE: DRB SUBMISSION
DATE: 05 NOVEMBER 2021
DRAWING: ARCH D - 24 X 36
SCALE: AS NOTED ON DRAWING
JOB #: NA
DRAWN BY: AC
CHECKED BY: CS

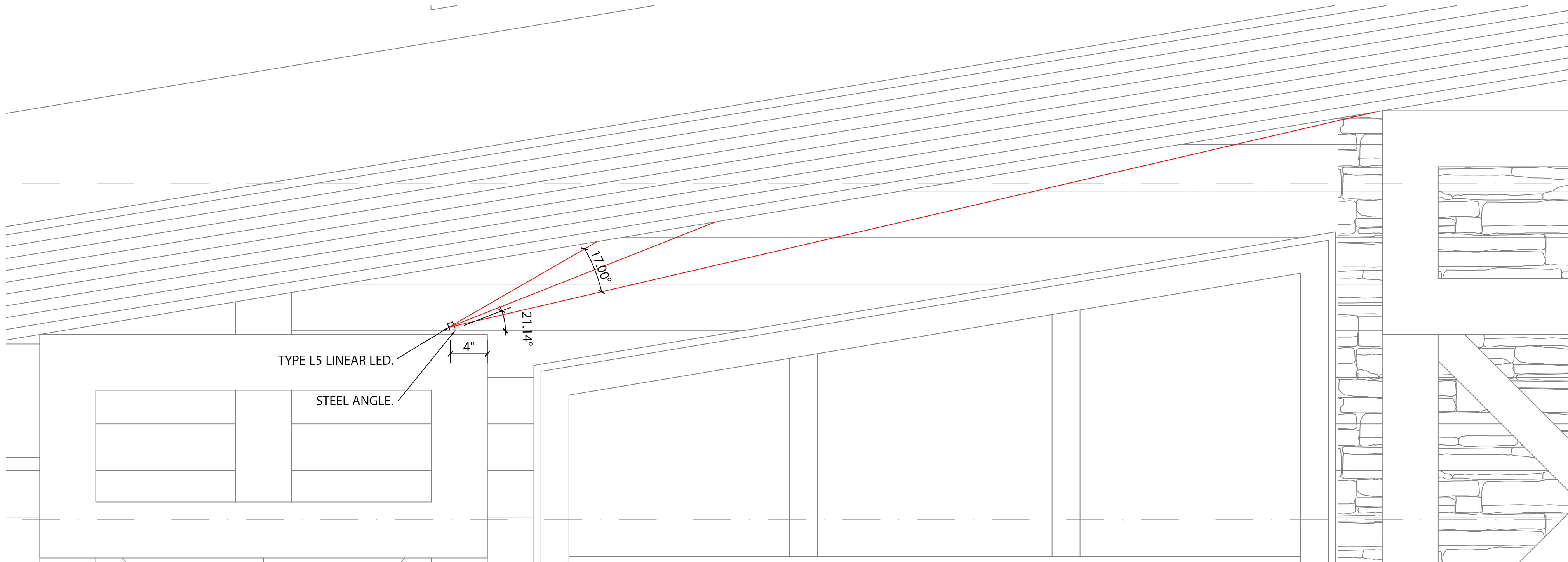
DRAWING NO.

L0.2C



Symbol	Qty	Label	Total Lamp Lumens	LLF	Description
□	4	2in Ext Downlight 40deg	990	0.574	E2SL-LO83040AM - Dimmed to 70% minimum to meet DRB and MV Lighting Standards
□	14	2in Ext Downlight 20deg	990	0.574	E2SL-LO83020AM - Dimmed to 70% minimum to meet DRB and MV Lighting Standards
□	2	Decorative Darksky Sconce	391.1	0.700	700CWSPHISC-LED830
○	3	Outdoor Solid Cylinder Pendant	545.24	0.700	PD-WV36V10
□		Linear Wet Location LED 17deg	1500ft	0.399	LL25W-3.0-30-DRY-STD-17-ST
□		Linear Wet Location LED Graze	225ft	0.266	LL25W-1.5-30-DRY-STD-17-ST

Label	CalcType	Avg	Max
Deck	Illuminance	6.27	18.3
Ground entry_1_Planar	Illuminance	0.12	3.6
Ground entry_Top	Illuminance	2.18	11.4



① EXTERIOR/INTERIOR BEAMS - UPLIGHTING DETAIL
1 1/2" = 1'-0"

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REVISIONS

△	DATE	DESCRIPTION
△	11.05.2021	DRB SUBMISSION

PROJECT

FREEMAN RESIDENCE
THE RIDGE LOT 22
MOUNTAIN VILLAGE, CO

SITE ORIENTATION

DRAWING TITLE

LIGHTING DETAILS

DRAWING ISSUE

ISSUE:	DRB SUBMISSION
DATE:	05 NOVEMBER 2021
DRAWING:	ARCH D - 24 X 36
SCALE:	AS NOTED ON DRAWING
JOB #:	NA
DRAWN BY:	AC
CHECKED BY:	CS

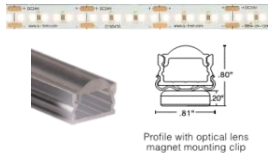
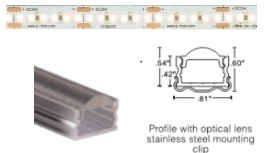


DRAWING NO.

L2.0

FREEMAN RESIDENCE | EXTERIOR LIGHTING SCHEDULE | REVISION 1

FXDT TYPE	IMAGE	DESCRIPTION	MANUFACTURER	MODEL	CATALOG NO	LAMP	LENGTH (FT.)	VOLTAGE	DIMMING	REMOTE / INTEGRAL POWER SUPPLY	ENERGY (W)	ENERGY (W/FT)	FINISH / IP RATING	DIMENSIONS	ACCESSORIES	Dimming Levels	NOTES	LOCATION
L1		2" Adjustable Recessed Downlight	Element	Element 2" LED	Housing: E2S WC LO927 20 A I Trim: E2S L F H TBD	2700K, 930 Lumens, 12 Watts, 90+ CRI		120V-277V	Triac	Integral Power Supply	12.0		TBD / Wet Location	Housing: 10"W X 12"L X 5.25"T Trim: 2.5"W		Dimmed to 70% minimum to meet DRB and MV Lighting Standards	Use 20 degree beam spread optic. White (to be painted onsite, color tbc), Flangeless, Wood Ceiling, Flat Trim, Confirm depth of ceiling before ordering product.	Exterior Recessed Downlights
L2		2" Adjustable Recessed Downlight	Element	Element 2" LED	Housing: E2S WC LO927 40 A I Trim: E2S L F H TBD	2700K, 930 Lumens, 12 Watts, 90+ CRI		120V-277V	Triac	Integral Power Supply	12.0		TBD / Wet Location	Housing: 10"W X 12"L X 5.25"T Trim: 2.5"W		Dimmed to 70% minimum to meet DRB and MV Lighting Standards	Use 40 degree beam spread optic. White (to be painted onsite, color tbc), Flangeless, Wood Ceiling, Flat Trim, Confirm depth of ceiling before ordering product.	Exterior Recessed Downlights
L3		LED Path Light	Tech	Strut Pathway	700OASTR 927 18 D B 12 S (ST if stake mounting kit is needed) + 700OT150T	2700K, 693.1 Lumens, 15 Watts, 90+ CRI		12v	MLV	Remote Power Supply - Location wet rated	15.0		Black / Wet Location	1.5"W X 6.5"L X 18"T + 4" sq base		Dimmed to 44% minimum to meet DRB and MV Lighting Standards	Bolt mounting in concrete standard. ST stake mounting kit available if needed. 150 Watt Stainless Steel outdoor rated transformer	Exterior Path Lighting
L4		Exterior Step Light	Aquity	Pathfinder Step Light 11	HNLS11 RECT MVOLT ST 27K ZT MIN5 WL TBD	2700K, 3W, 36 Lumens		120V	ELV	Line Voltage	3.9W		TBD / Wet Location	2.5"W X 4.6"T X 3.5"D			Finish TBD	Exterior Stair Step Light

FREEMAN RESIDENCE | EXTERIOR LIGHTING SCHEDULE | REVISION 1

FXLT TYPE	IMAGE	DESCRIPTION	MANUFACTURER	MODEL	CATALOG NO	LAMP	LENGTH (FT.)	VOLTAGE	DIMMING	REMOTE / INTEGRAL POWER SUPPLY	ENERGY (W)	ENERGY (W/FT)	FINISH / IP RATING	DIMENSIONS	ACCESSORIES	Dimming Levels	NOTES	LOCATION
L5		1.5W Static White LED Linear	Qtran	LALO 17 Deg / SW24/1.5	Extrusion: LALO BK SST 17DEG XX XX + LEDs: SW24/1.5 WET 27 XX	2700K, 150 Lumens/ft, 1.5 Watts/ft, 96 CRI		24VDC	MLV	Remote Power Supply		1.5	Black / Wet Location	0.81"W X 0.80"T with magnet clip	Connectors: Provide PS to tape, jumper cables and end caps as required.		Lalo Extrusion, 17 Degree Beam Spread + Magnet Clip	Exterior LED Linear Graze Lighting - wood ceiling
L6		3.0W Static White LED Linear	Qtran	LALO 17 Deg / SW24/3.0	Extrusion: LALO BK MG 17DEG XX XX + LEDs: SW24/3.0 WET 27 XX	2700K, 225 Lumens/ft, 3.0 Watts/ft, 96 CRI		24VDC	MLV	Remote Power Supply		3.0	Black / Wet Location	0.81"W X 0.60"T with Stainless steel clip	Connectors: Provide PS to tape, jumper cables and end caps as required.		Lalo Extrusion, 17 Degree Beam Spread + Stainless Steel Clip	Exterior LED Linear Graze Lighting - Garage Door Graze
D1		Exterior Dark-Sky LED Decorative Sconce	Tech	Peak Wall Sconce		Warm Dimming 3000-2200K 391.1 Lumens, 14.5W		120V	ELV	Integral Power Supply		14.5	Bronze / IP65	5"W X 13"T X 4.3"D				Exterior Dark-Sky Decorative Sconce
D2		Cylinder Pendant	WAC	Caliber	PD-W36610 2700K TBD	2700K, 508 Lumens, 12W, 90 CRI		120V	ELV @ 10%	Integral Power Supply		12.0	TBD / IP44 Location	2.8675"W X 10"T + Stem Length				Exterior Dark-Sky Decorative Pendant