

Date: November 5, 2021  
By: Kristine Perpar, Architect

Property address:

TBD Lawson Point; Lot ARC613-C  
Telluride, CO 81435

**Sent to:** MV DRB

**Re:** Development of a Single Family Residence

Dear Mountain Village Design Review Board,

The proposed home for Lot ARC613-C; Big Vanilla was designed to capture the views from the house, sensitivity to the site and neighbors and the existing topography.

Lot ARC613-C is currently vacant of structures with a small aspen grove of in the north east corner.

The driveway is situated to the north of the proposed structure, we are requesting a variance for a 4' high boulder wall and v-pan in the 8' set back to the west of the driveway.

We are also requesting a variance on the required parking spaces. We have two enclosed parking spaces and are asking the DRB to waive the 2 surface parking spaces due to the unique and limited space of this site.

Exterior elevations, plans and roof are simple in form. Roofs consist of a 12:12 gabled with 6:12 and 4:12 sheds. Exterior materials; stone, metal and wood accents were selected for their sensitivity to the environment, neighboring properties and for durability.

The proposed landscape plan is simple with revegetation plan and elevated terraces and planters.

Sincerely,



Kristine Perpar



GENERAL NOTES

**CONTRACT DOCUMENTS:**  
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPENCIES BETWEEN THE PARTS CHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE.

**ORGANIZATION:**  
THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

**CODE COMPLIANCE:**  
ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS, AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

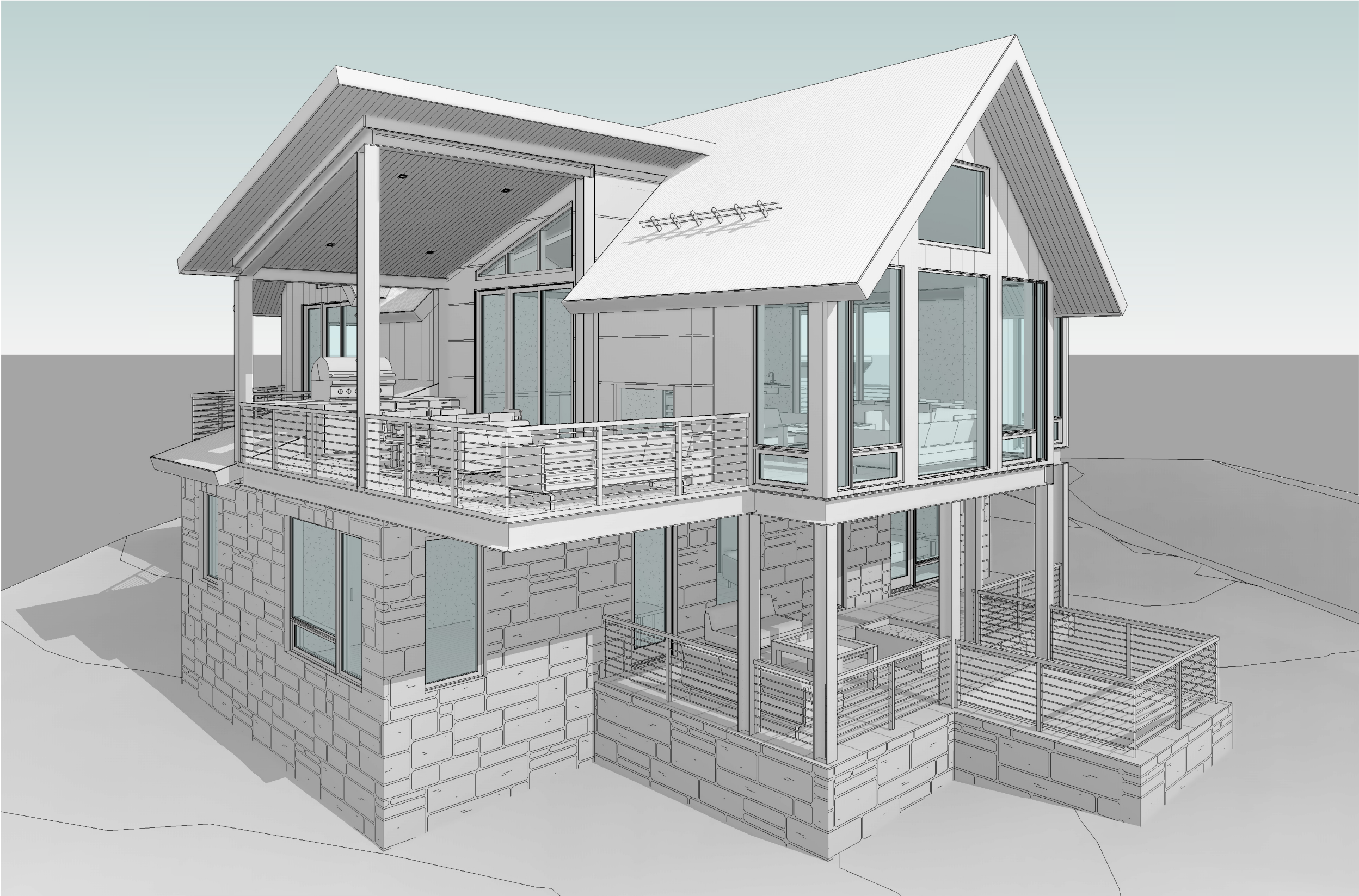
**INTENT:**  
THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

**COORDINATION:**  
THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPENCIES, ERRORS OR OMMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

**SUBSTITUTIONS:**  
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

**SHOP DRAWINGS:**  
SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

**SAFETY & PROTECTION OF WORK:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



SHIFT

ARCHITECTS

P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
11.04.21  
PRELIMINARY  
DRB

PROJECT INFORMATION

ZONING	TOWN OF MOUNTAIN VILLAGE; SINGLE FAMILY
BUILDING CODE	IRC 2018
DESCRIPTION	2 STORY SINGLE FAMILY DWELLING
SCOPE	NEW 2 STORY WOOD FRAMED SINGLE FAMILY DWELLING W/ ATTACHED 2 CAR GARAGE, GROUND LEVEL COV'D DECKS & HOT TUB, 2ND STY DECKS COV'D AND UNCOVERED.

SITE DATA

SITE:	11,933.91 S.F. / .27 ACRES	PARKING ENCLOSED	2 SPACES PROVIDED
GROUND LEVEL:	2,671		
COV'D DECKS:	614	BUILDING HEIGHT ALLOWABLE	35'
2ND FLOOR:	1,466	BUILDING HEIGHT PROPOSED	<35'
2ND FLOOR COV'D DECKS:	183		
2ND FLOOR DECKS:	237		
ROOF COVERAGE:	4,001		
ALLOWABLE COVERAGE:	4,733.5 (40.0%)		
PROPOSED COVERAGE:	4,001 (33.5%)		

SHEET INDEX

GENERAL	
G1.1	COVER SHEET
CIVIL	
0	SURVEY
C1	GENERAL NOTES
C2	SITE GRADING & DRAINAGE PLAN
C3	UTILITY PLAN
C4	CONSTRUCTION MITIGATION PLAN
ARCHITECTURAL	
A1.1	SITE PLAN
A1.2	LANDSCAPE
A2.1	PROPOSED FLOOR PLANS
A2.2	PROPOSED FLOOR PLANS
A2.3	ROOF PLAN
A3.1	PROPOSED ELEVATIONS
A3.2	PROPOSED ELEVATIONS
A3.3	PROPOSED ELEVATIONS
A3.4	ELEVATION HEIGHT CALCS
A3.5	ELEVATION HEIGHT CALCS
A6.1	PERSPECTIVES
A6.2	PERSPECTIVES
A8.1	WINDOW SCHEDULE
A8.2	DOOR SCHEDULE
E1.1	1ST FL EXTERIOR LIGHTING PLANS
E1.2	2ND FL EXTERIOR LIGHTING PLANS

VICINITY MAP



PROJECT TEAM

**OWNER:**  
  
BIG VANILLA LLC  
PO BOX 837  
OPHIR, CO 81426

**ARCHITECT:**  
  
SHIFT ARCHITECTS  
100 W COLORADO STE. 211  
TELLURIDE, CO 81435  
P. 970.275.0263  
kristine@shift-architects.com

**GENERAL CONTRACTOR:**  
  
TBD

**STRUCTURAL:**  
  
TBD

BIG VANILLA

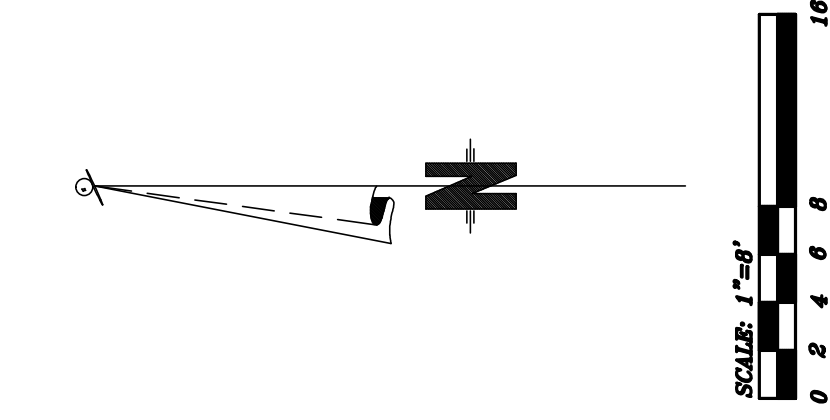
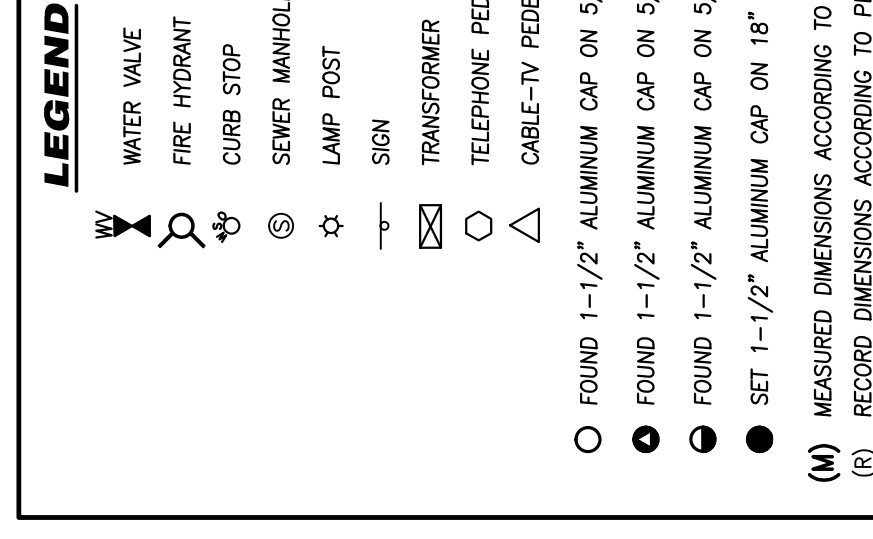
LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

COVER SHEET

SHEET NUMBER

G1.1





*This Existing Conditions Plan of Lot AR 613-C1, Town of Mountain Village, was prepared on July 08, 2017 and updated on June 17, 2021 and September 15, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a new plat or improvement. Survey Plat as drawn on page 51-102 C.R.S.*



P.L.S. NO. 37970

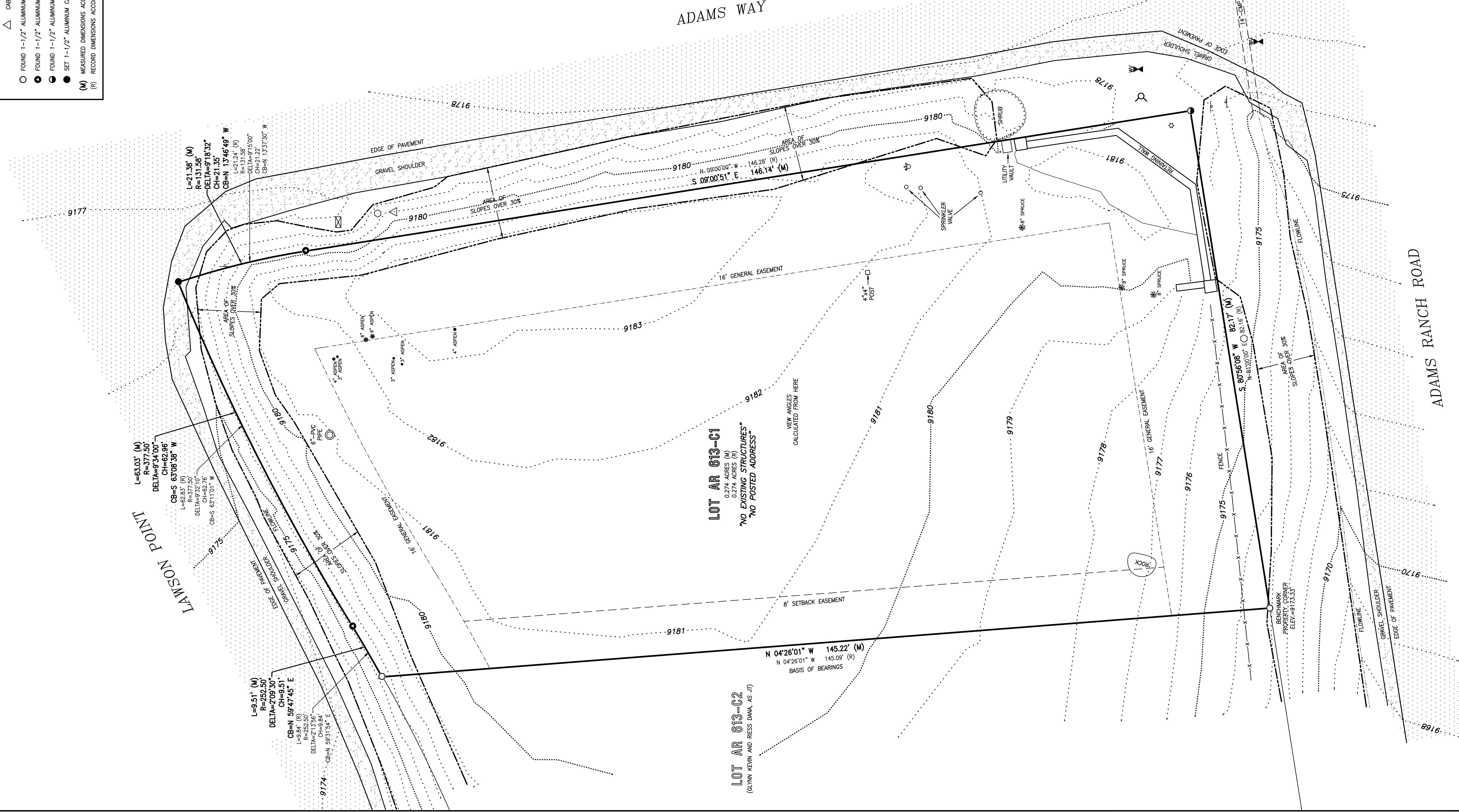
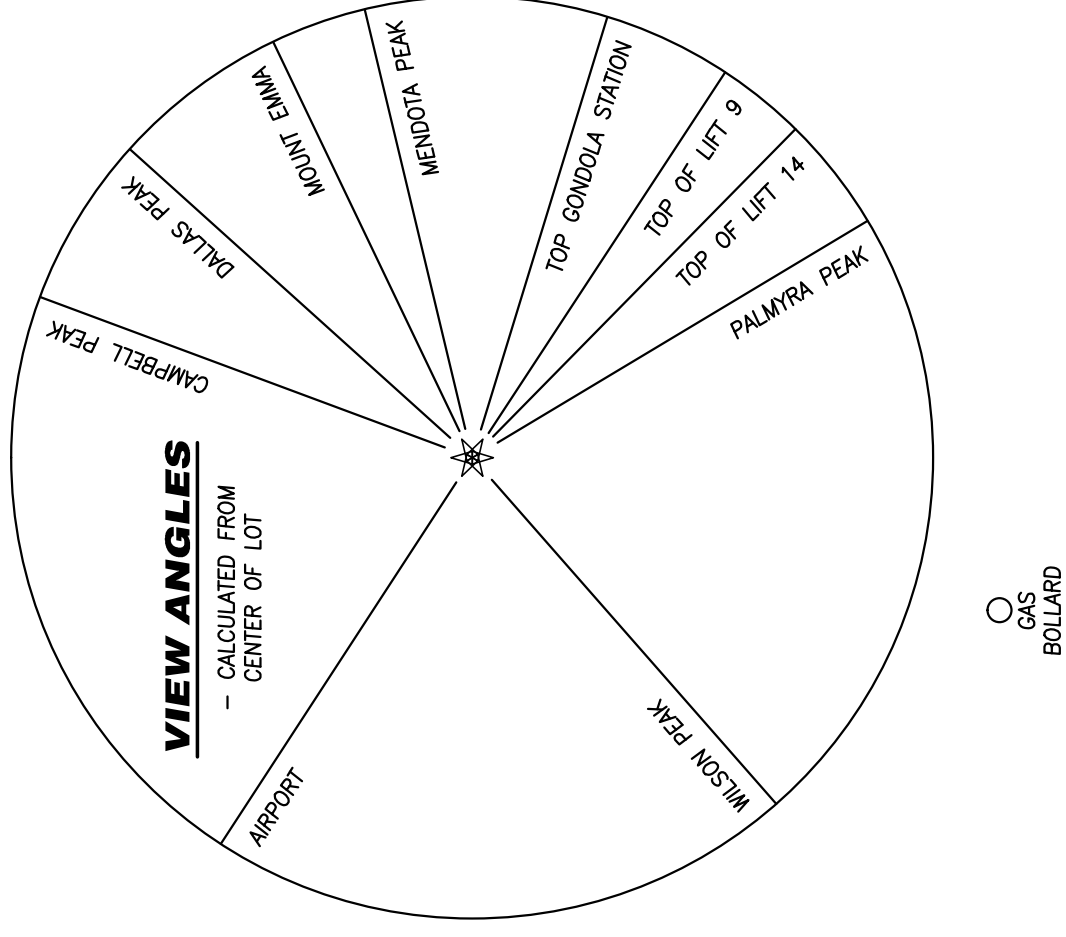
**LEGAL DESCRIPTION:**

LOT AR 613-C1, TOWN OF MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT AR 613-C RECORDED AND ACCORDING TO 2006 IN PLAT BOOK 1 AT PAGE 3786, AND 2007 IN PLAT BOOK 1 AT PAGE 2573, THE COMMUNITY PLAY/MAP AMENDMENT FOR THE ADAMS RANCH COMMUNITY RECORDED JUNE 1, 1999 IN PLAT BOOK 1 AT PAGE 2573;

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**NOTES:**

1. Easement research and legal description from Land Title Guarantee Company, Order No. TLR6011195, Policy No. OX86011195-3611689, dated March 04, 2021 at 5:00 P.M.
2. BASIS OF BEARING: Found monuments along the western boundary of Lot AR 613-C-1, as shown hereon, assumed to have the record bearing of N 04°22'01" W according to Plat Book 1 at page 3786.
3. BENCHMARK: The monument at the southwest property corner, as shown hereon, with an elevation of 9171.333 feet.
4. Contour interval is one foot.
5. Only trees 3" or greater in diameter were located during this survey.
6. Slopes greater than 30% have been shown hereon.
7. Underground utility locates were not performed as part of this survey. Utility locates will be performed by respective providers before any construction.
8. Foley Associates, Inc. is not aware of any known wetland areas located on this lot, but a wetland delineation was not performed. A wetland delineation should be performed before any construction, or the Owner should confirm with the Town of Mountain Village that one is not required.
9. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



ADAMS RANCH ROAD

Rev.	description	date	by
	Project Mgr: JH		
	Technician: MC		
	Technician:		
	Checked by: DS		
	Start date: 09/15/2021		

**Existing Conditions Plan**  
 Lot AR 613-C1, Town of Mountain Village,  
 located within the SW 1/4 of Section 33, T.43N, R.9W, N.M.P.M., County of San Miguel, State of Colorado.

**FLEY**  
**ASSOCIATES, INC.**  
ENGINEERING • PLANNING • SURVEYING

970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Drawing path: dwg\02133 EC Plan 09-21.dwg



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

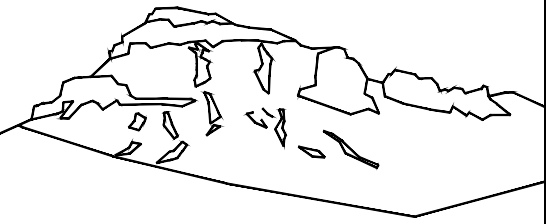
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).



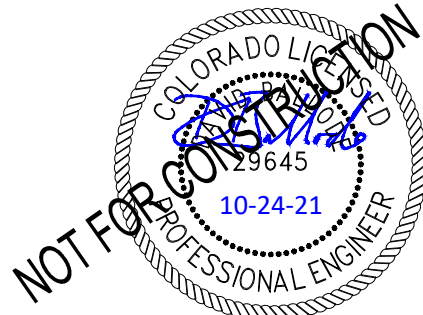
Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2021-10-24

Lot AR613  
Lawson Point  
Mtn. Village, CO

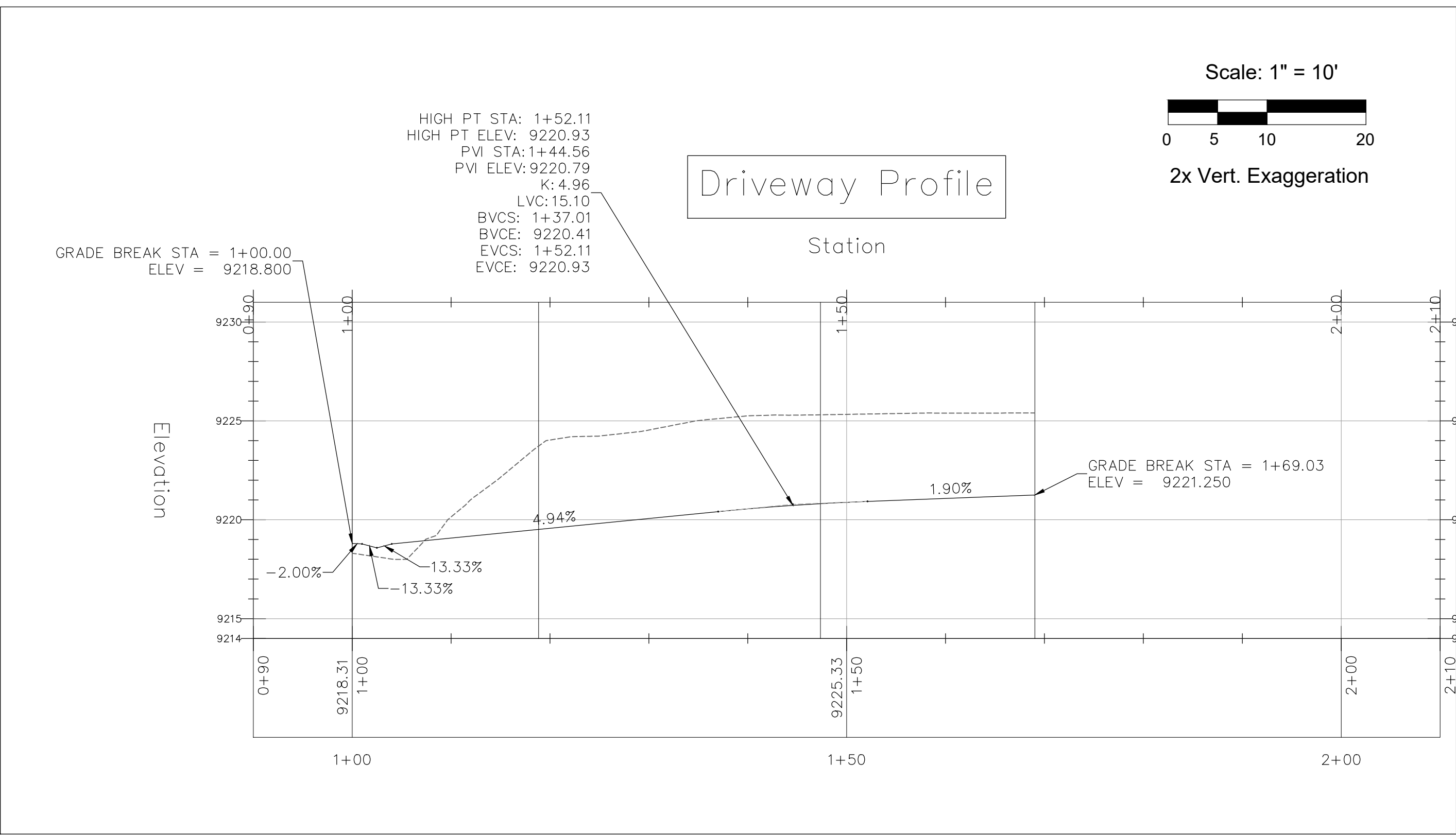
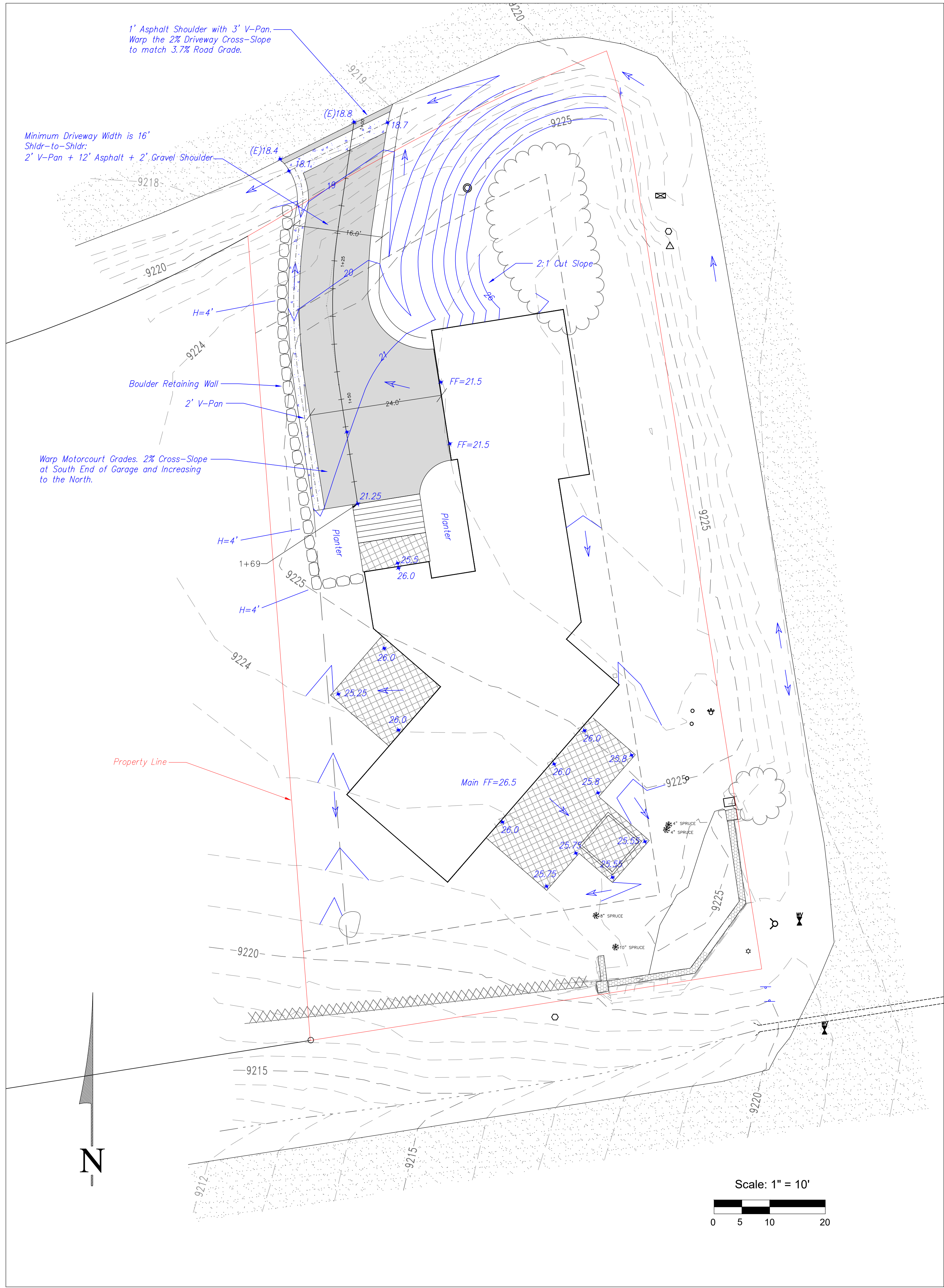


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1





**Uncompahgre Engineering, LLC**

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**

DRB SUBMITTAL 2021-10-24

Lot AR613  
Lawson Point  
Mtn. Village, CO

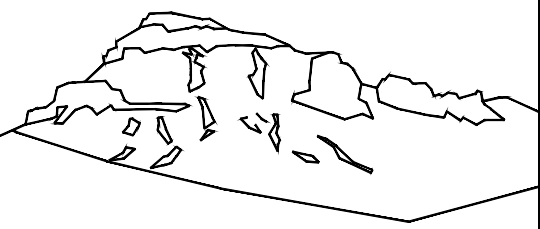
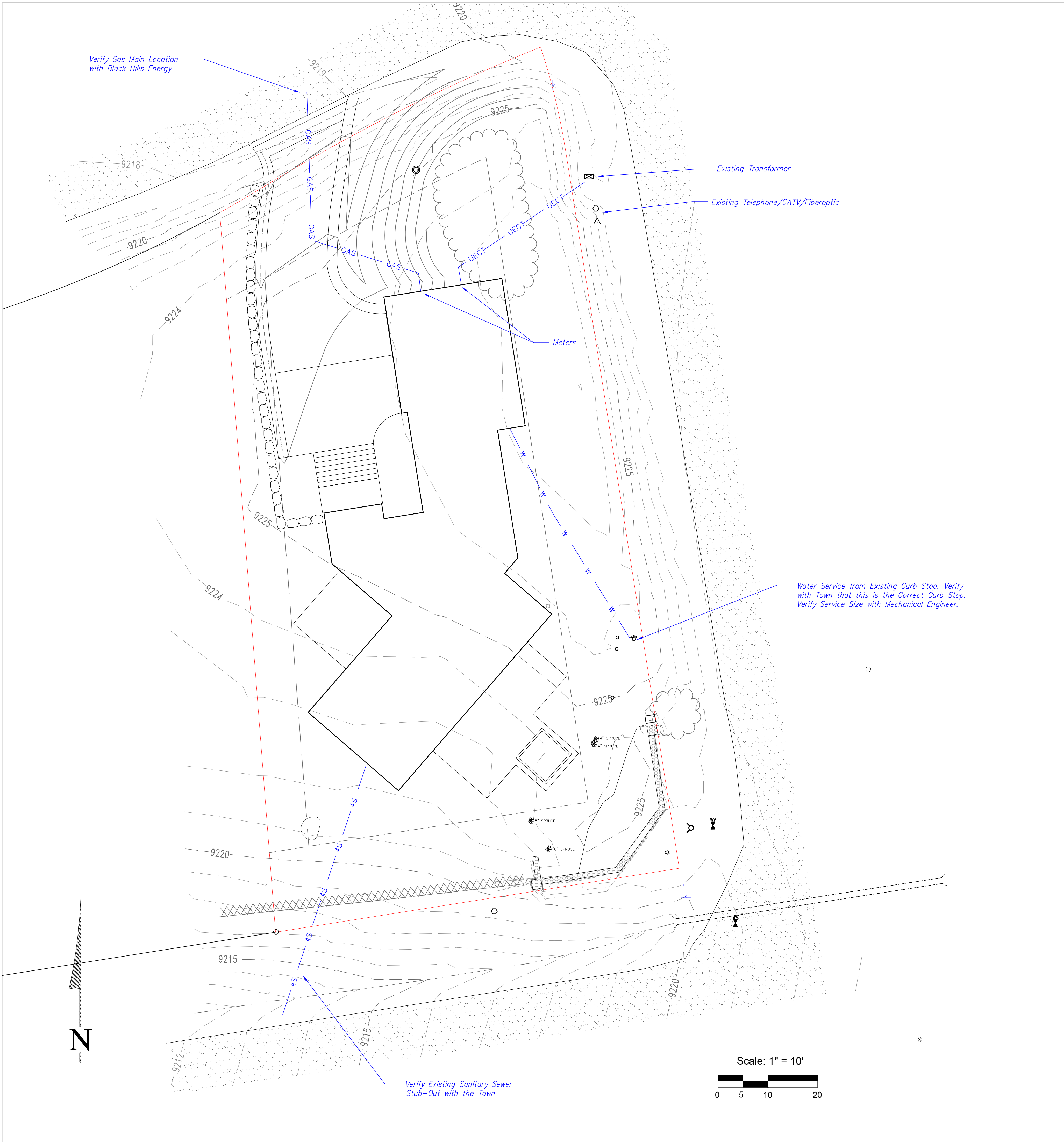
NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading  
with  
Driveway Profile

**C2**



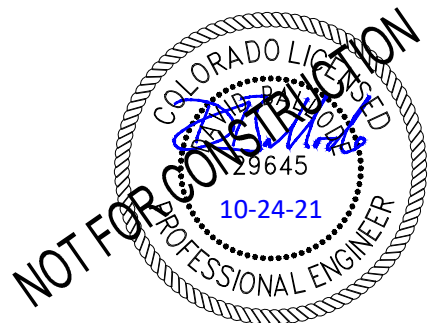


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Lawson Point  
Mtn. Village, CO

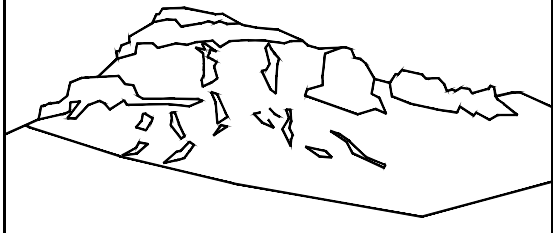
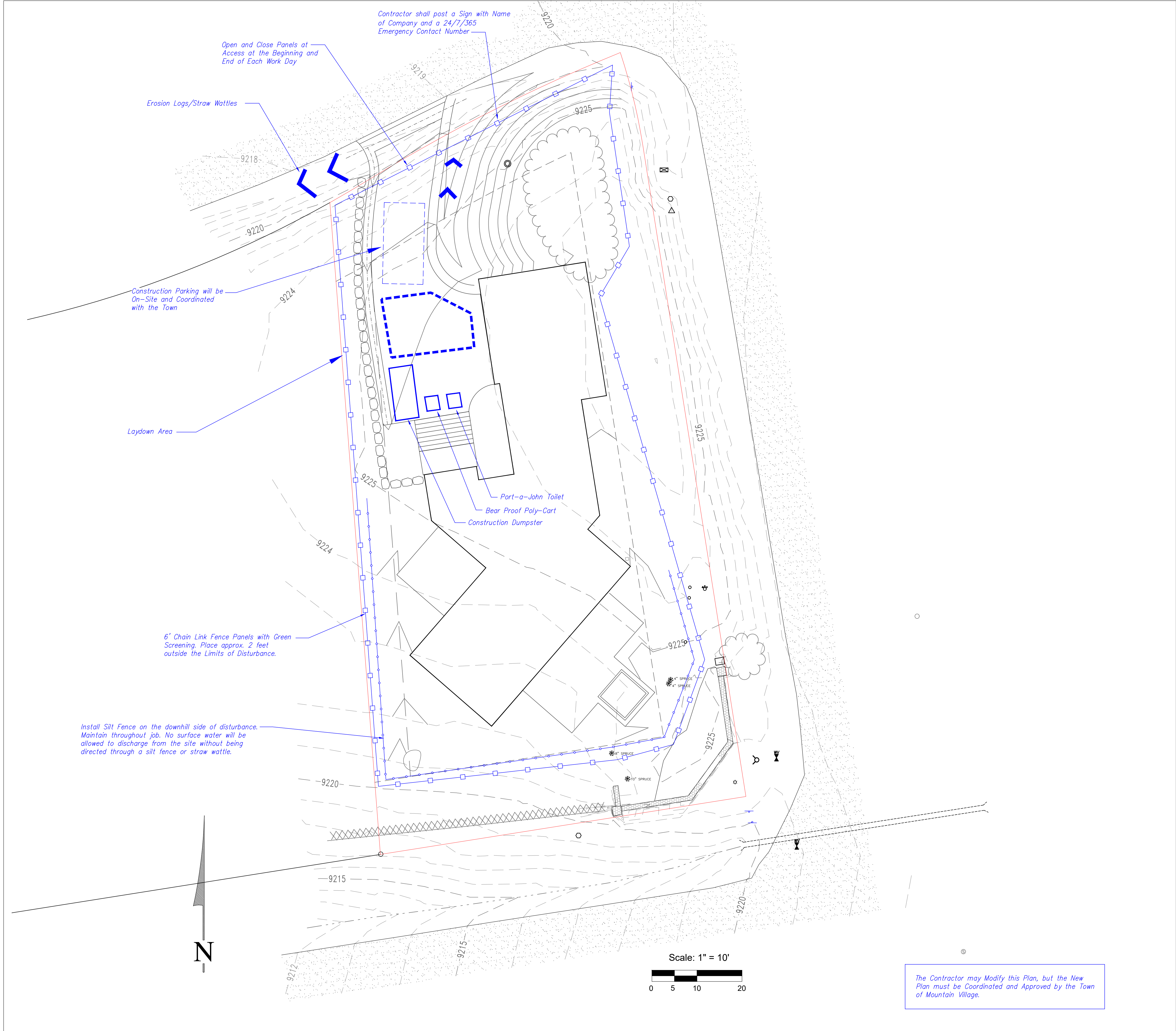


CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3



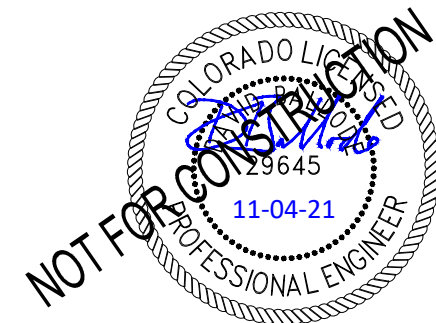


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Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
DRB SUBMITTAL 2021-10-24  
Revised Fence and Note 2021-11-04

Lot AR613  
Lawson Point  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction  
Mitigation

C4





SITE DATA		
AREA	SQ.FT.	%
SITE	11,933.91	100.00
GROUND LEVEL	2,671.00	22.38
COVD DECKS (1ST...	614.00	5.14
2ND FLOOR	1,466.00	12.28
COVD DECKS (2ND...	183.00	1.53
2ND FLOOR DECKS	237.00	1.98
TOTAL ROOF COVG	4,001.00	33.52
ALLOWABLE COVG	4,733.56	40.00
PROPOSED COVG	4,001.00	33.52
AS PER MV CDC 17.3.13		

SHIFT

ARCHITECTS

P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
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DATE:  
11.04.21 PRELIMINARY DRB

Revision Schedule		
Number	Date	Revision Description

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

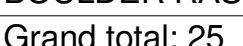
SITE PLAN

SHEET NUMBER

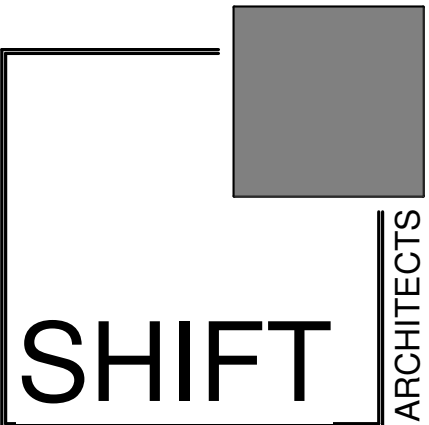
A1.1

©shift architects









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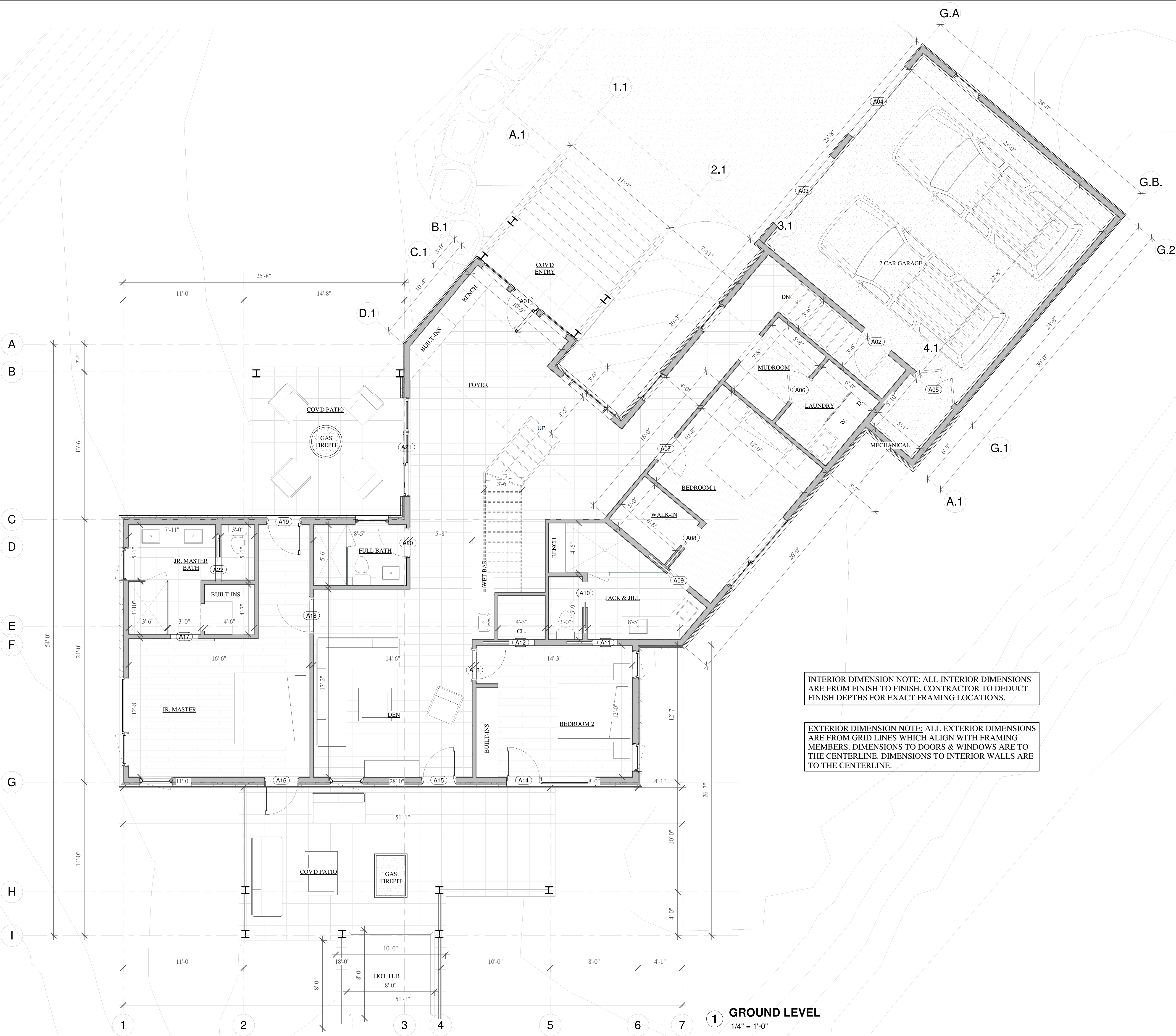
PROPOSED FLOOR  
PLANS

SHEET NUMBER

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architects

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A2.1



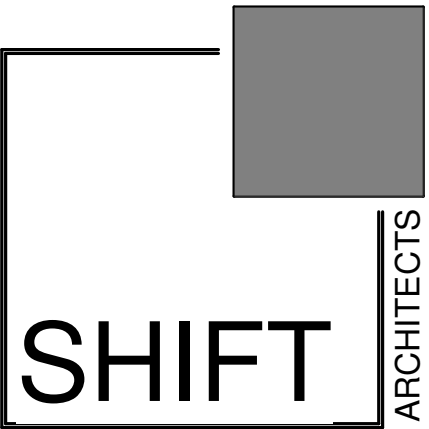
INTERIOR DIMENSION NOTE: ALL INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH. CONTRACTOR TO DEDUCT FINISH DEPTHS FOR EXACT FRAMING LOCATIONS.

EXTERIOR DIMENSION NOTE: ALL EXTERIOR DIMENSIONS ARE FROM GRID LINES WHICH ALIGN WITH FRAMING MEMBERS. DIMENSIONS TO DOORS & WINDOWS ARE TO THE CENTERLINE. DIMENSIONS TO INTERIOR WALLS ARE TO THE CENTERLINE.

1 GROUND LEVEL

1/4" = 1'-0"





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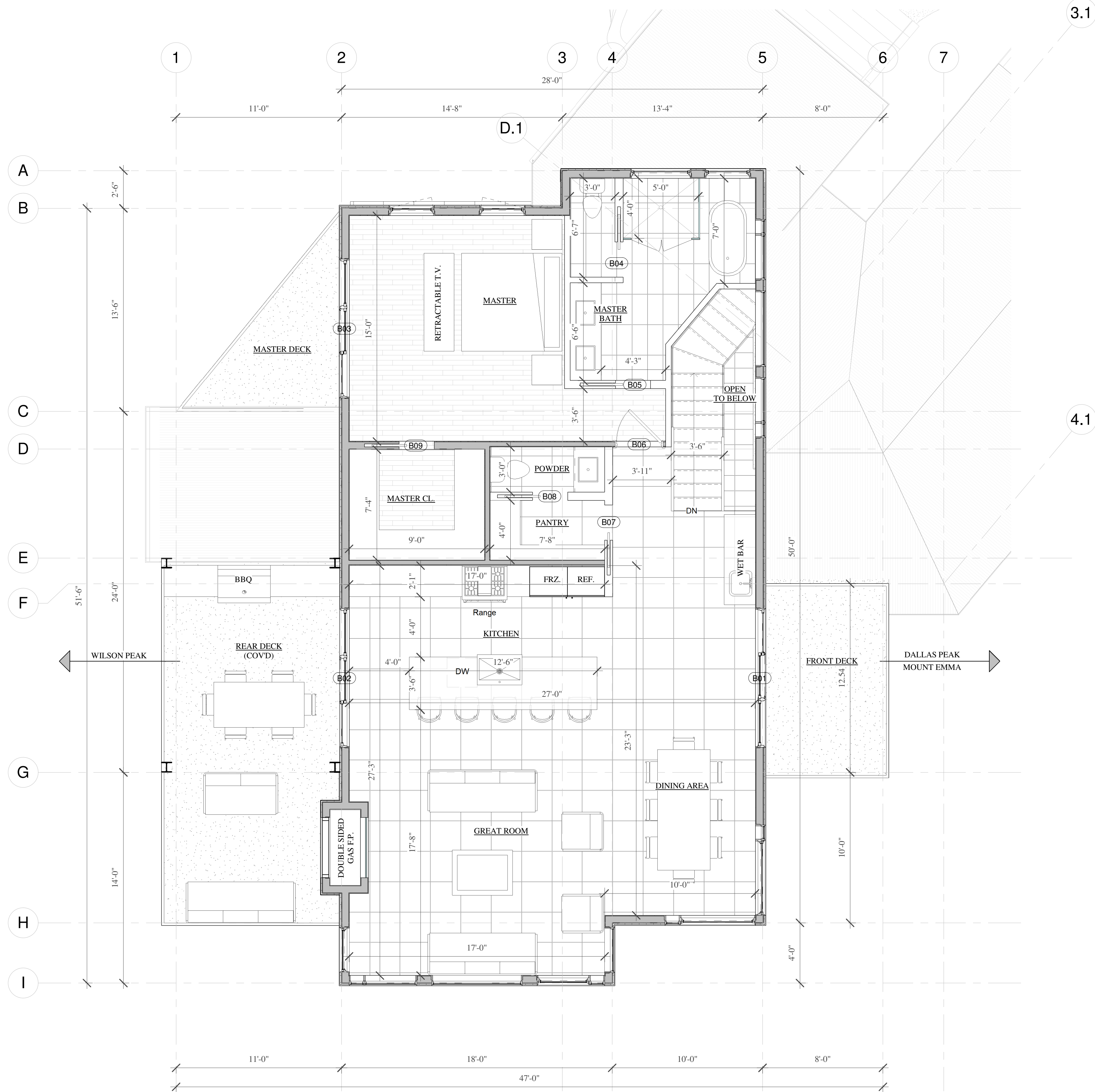
PROPOSED FLOOR  
PLANS

SHEET NUMBER



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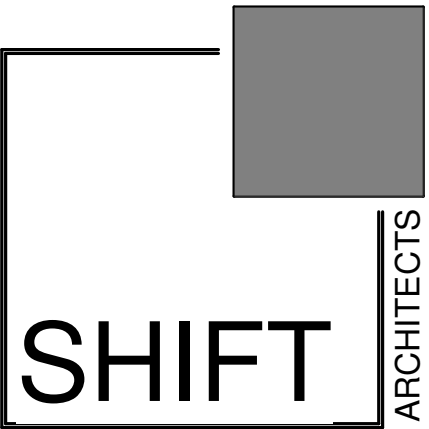


INTERIOR DIMENSION NOTE: ALL INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH. CONTRACTOR TO DEDUCT FINISH DEPTHS FOR EXACT FRAMING LOCATIONS.

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1 2ND FLOOR  
1/4" = 1'-0"





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kristine@shift-architects.com  
www.shift-architects.com

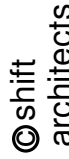
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11.04.21 PRELIMINARY DRB

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

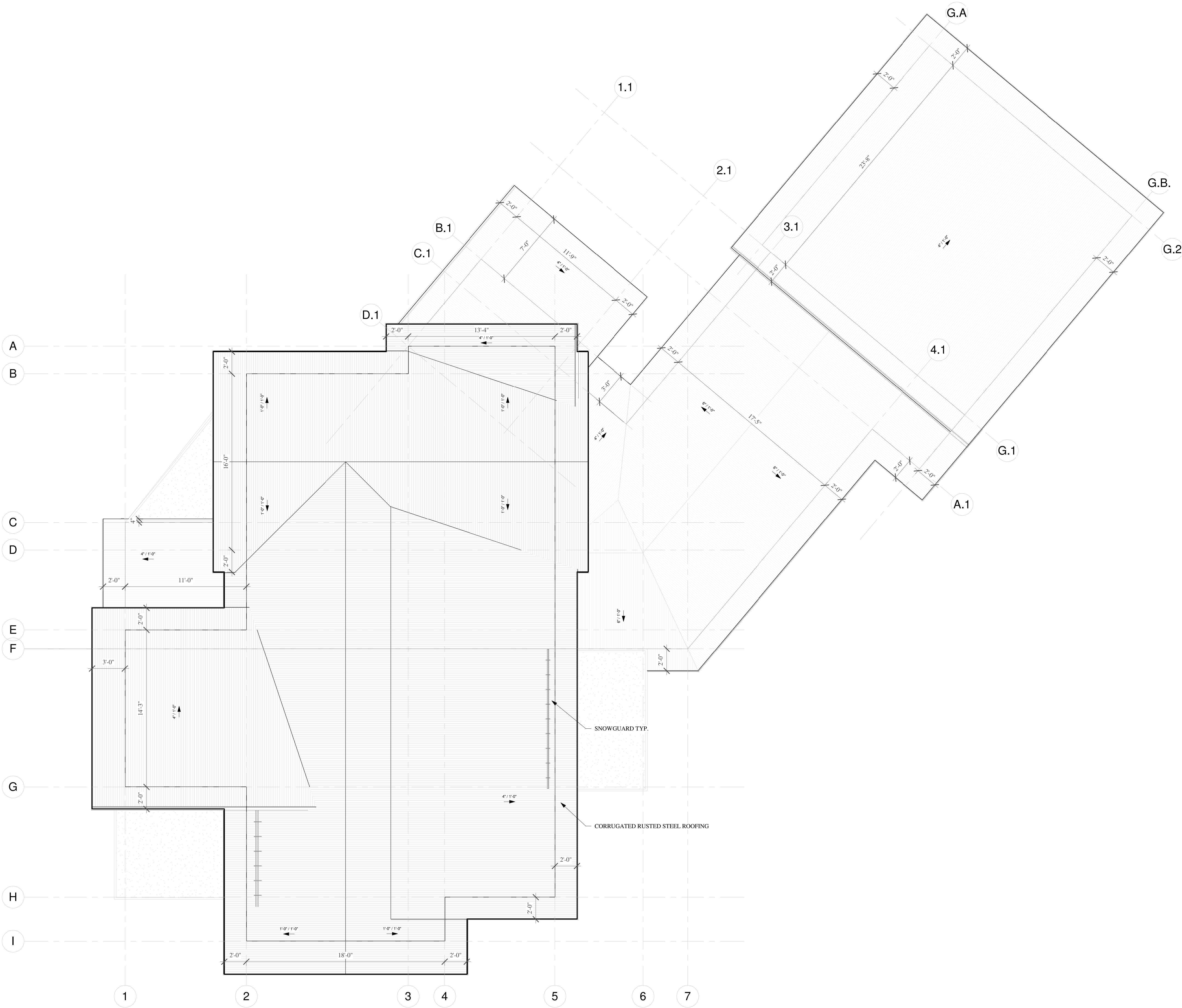
ROOF PLAN

SHEET NUMBER



11/5/2021 10:22:23 AM

A2.3



1 ROOF PLAN  
1/4" = 1'-0"





TELLURIDE AIRPORT STONE



GRAY BARN WOOD



RUSTED HORIZONTAL STEEL SIDING



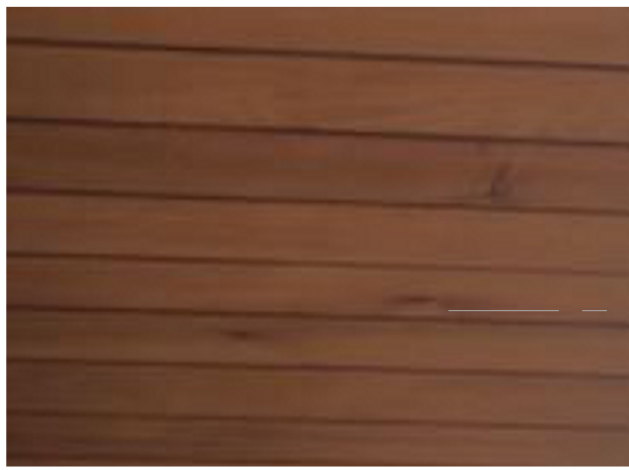
BRONZE WINDOWS



RUSTED STEEL CORRUGATED ROOFING



12X24 PAVERS  
1ST FL PATIOS



CEDAR T&G SOFFIT

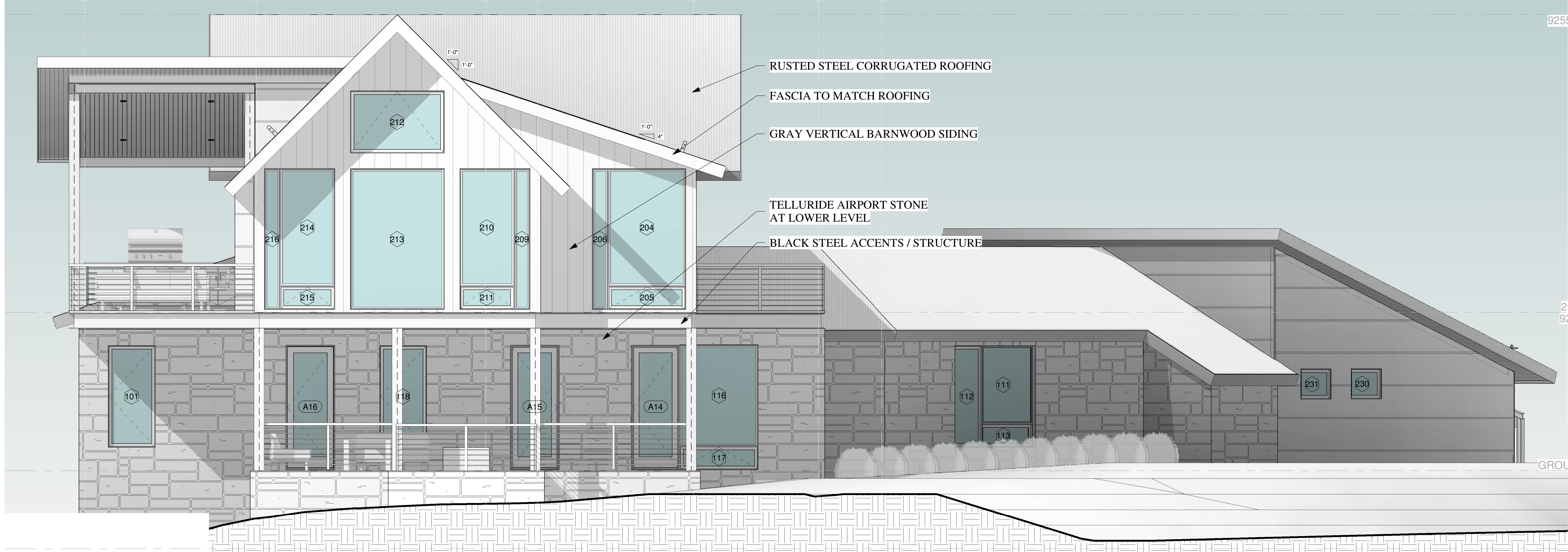


HORIZONTAL STEEL SIDING

RUSTED STEEL FASCIA

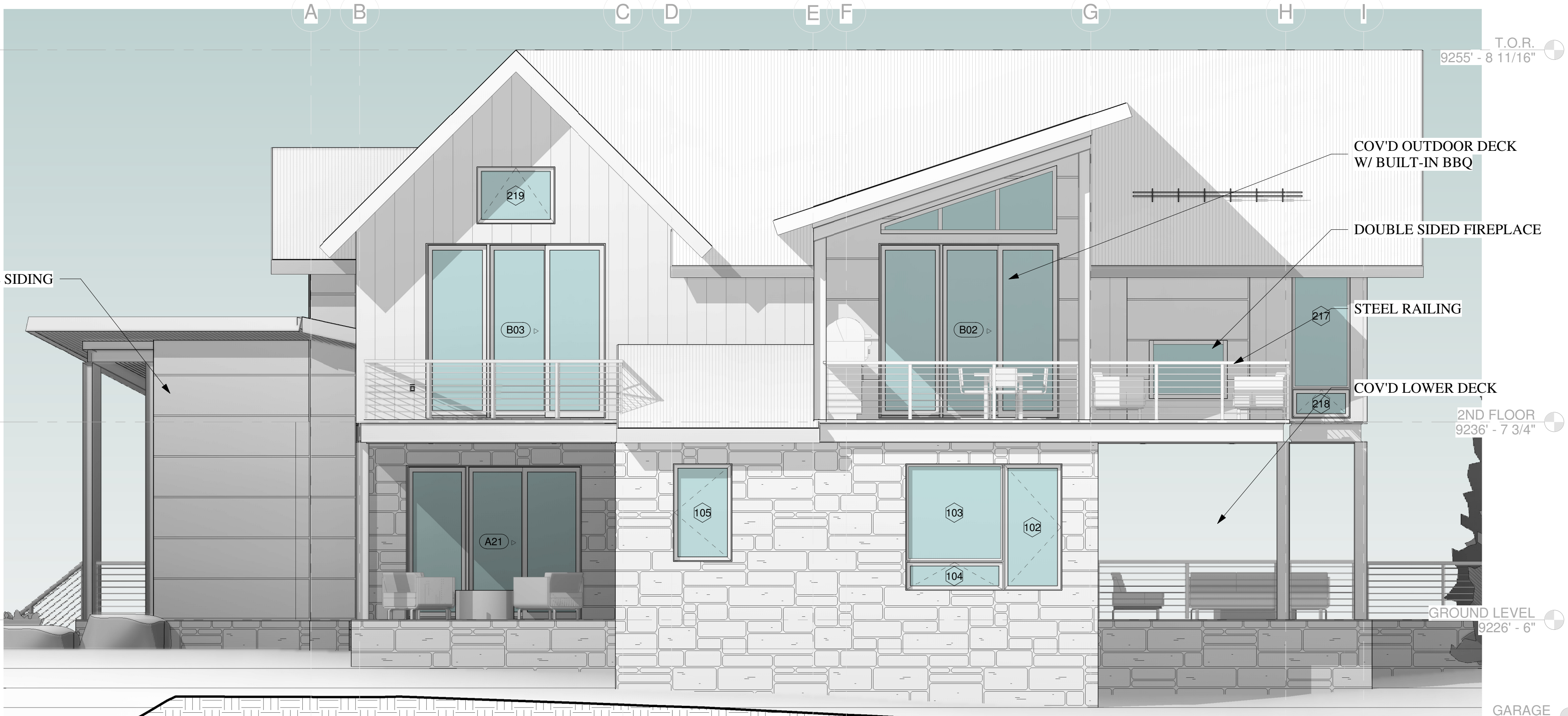


POLISHED CONCRETE  
2ND FLOOR DECKS

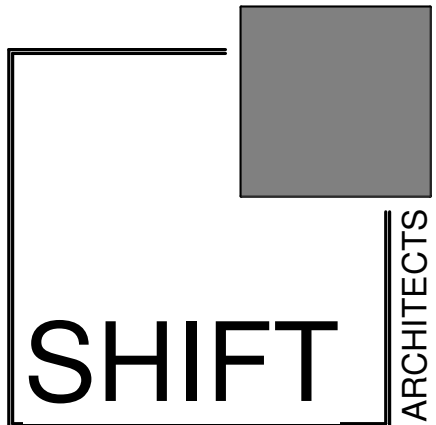


1 PROPOSED SOUTH EAST  
1/4" = 1'-0"

ELEVATION	MATERIAL (S.F.)					TOTALS
	STONE	WOOD SIDING	STEEL SIDING	GLAZING	OPAQUE DOORS	
SOUTH EAST	443.29	160.61	13.42	285.65	0	902.97
SOUTH WEST	420.47	181.67	113.86	275.1	0	991.10
NORTH WEST	272.55	93.96	79.56	67.57	0	513.64
WEST	155.88	0	308.93	50.6	128.0	643.41
NORTH	26.74	0	241.51	96.11	24.0	388.36
EAST	197.32	0	299.02	69.8	0	566.14
SOUTH	50.86	0	145.39	0	0	196.25
NORTH EAST	134.34	281.71	0	226.82	0	642.87
TOTALS	1,701.45	717.95	1201.69	1,071.65	152.00	4,844.74
PERCENTAGE	35.11%	14.81%	24.80%	22.11%	3.13%	100%



2 PROPOSED SOUTH WEST  
1/4" = 1'-0"



P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
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BIG VANILLA

PROPOSED  
ELEVATIONS

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A3.1

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G.2

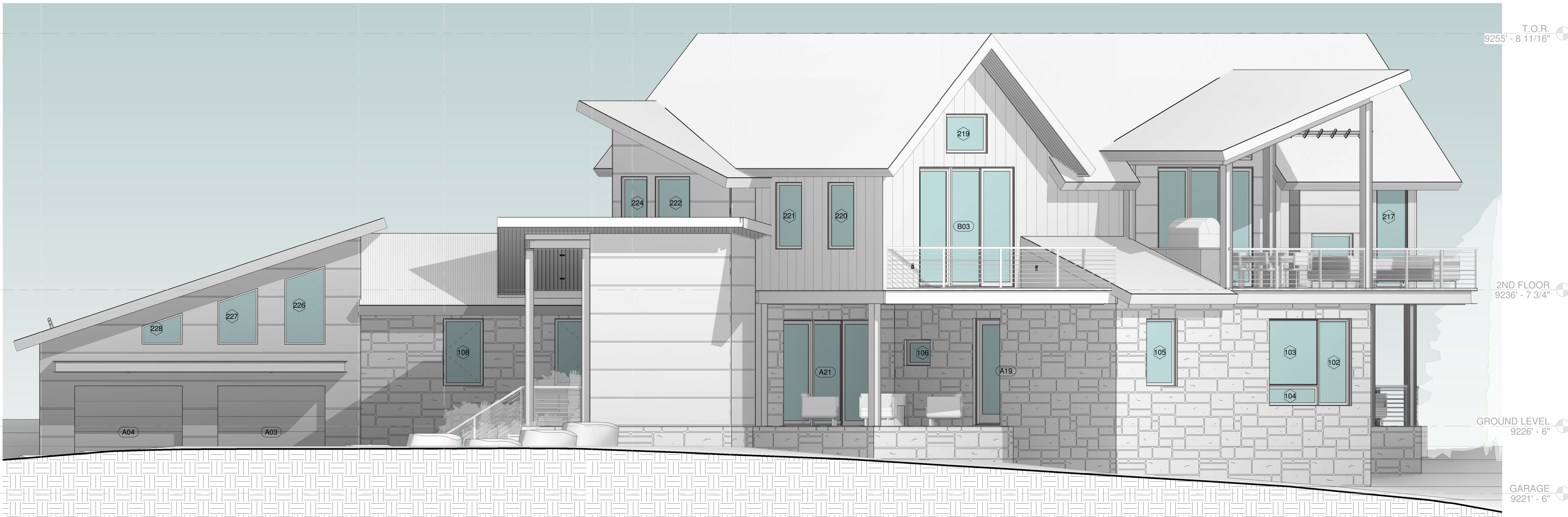
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A.1

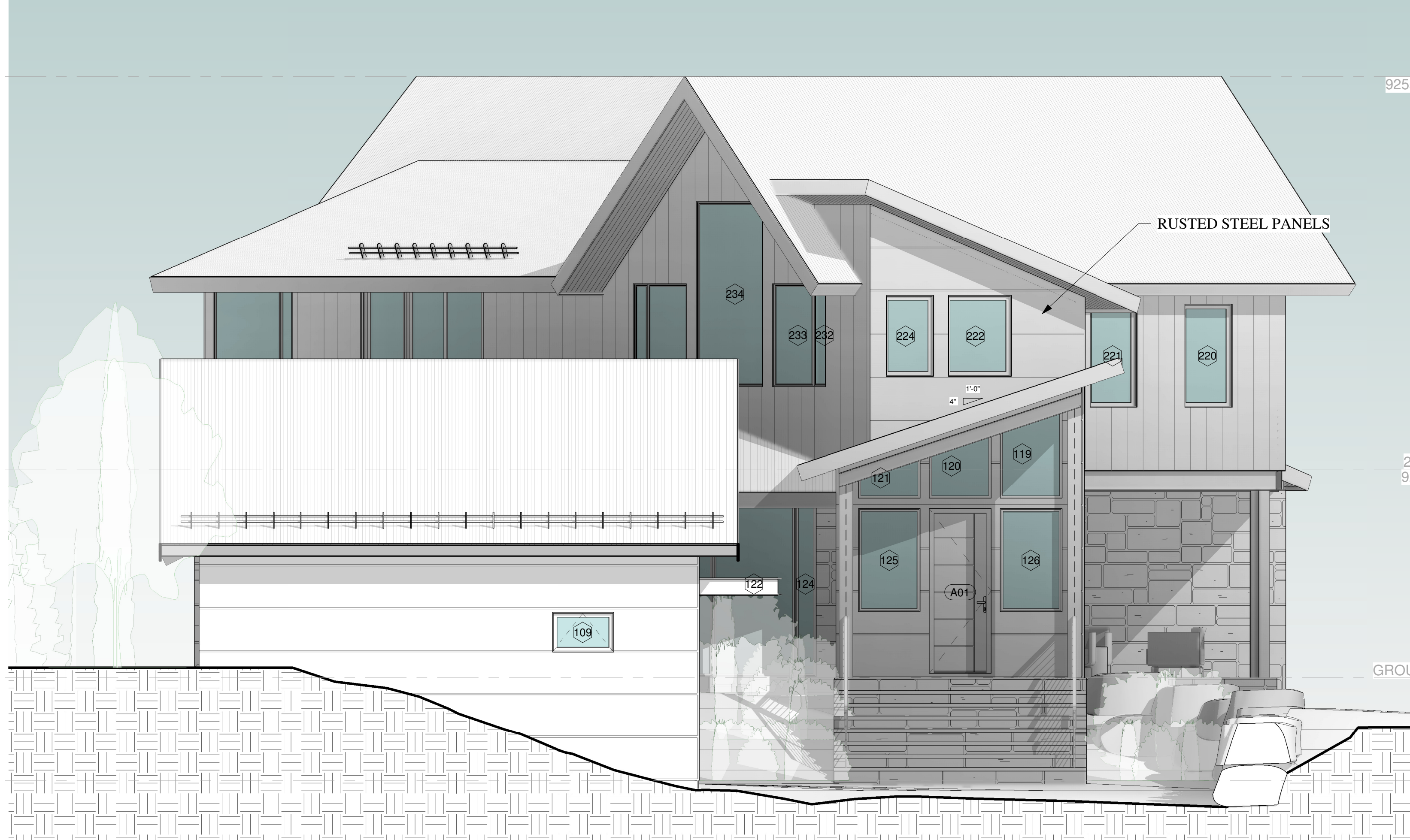
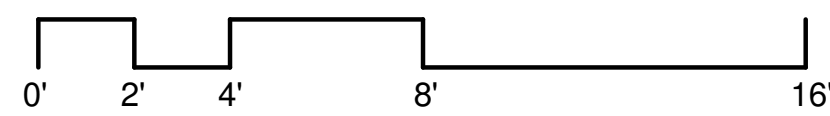
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C.1

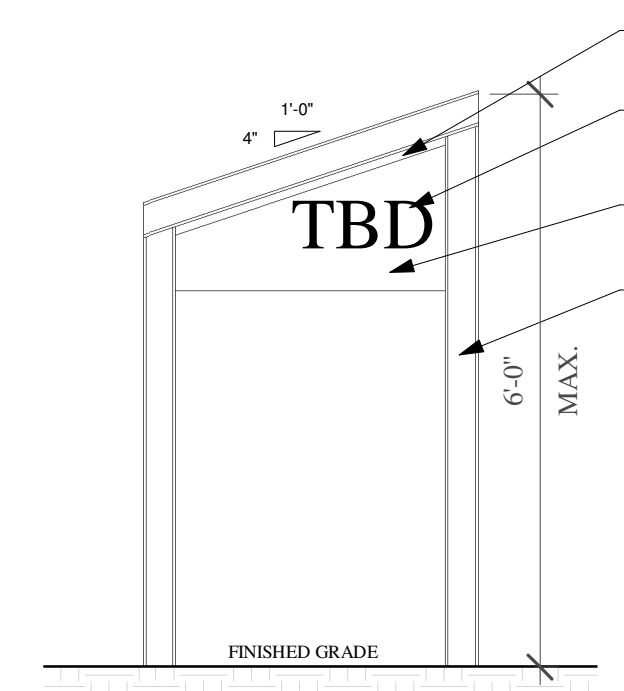
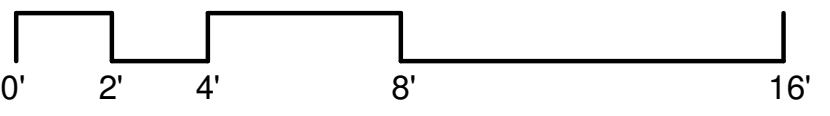
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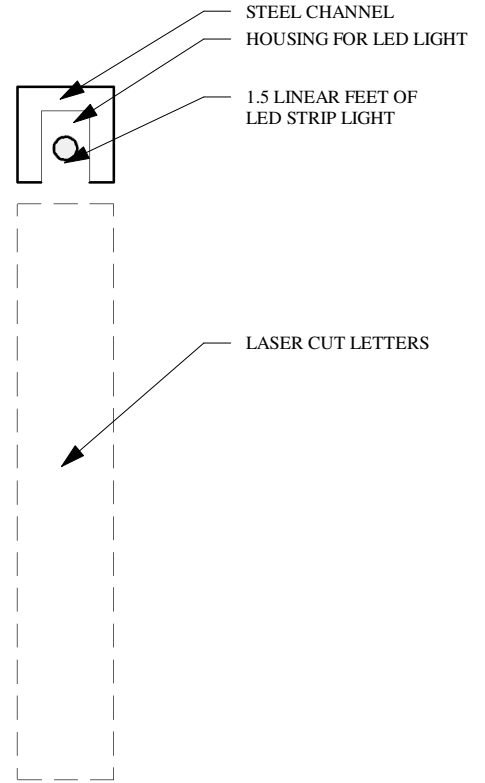
1 PROPOSED WEST  
1/4" = 1'-0"



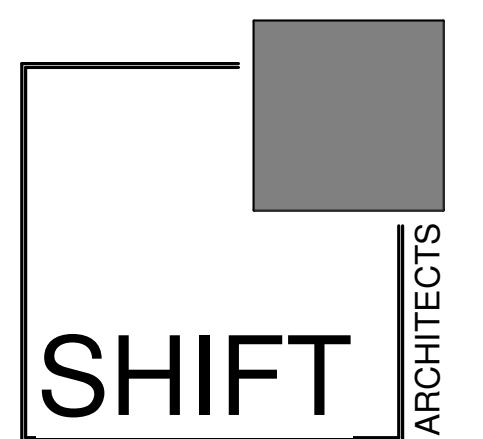
2 PROPOSED NORTH  
1/4" = 1'-0"



3 ADDRESS MOUNUMENT  
1/2" = 1'-0"



4 RECESSED LED MONUMENT LIGHT DETAIL  
6" = 1'-0"



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Telluride, Colorado 81435  
p 970-728-8145  
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MOUNTAIN VILLAGE, CO 81435

PROPOSED  
ELEVATIONS

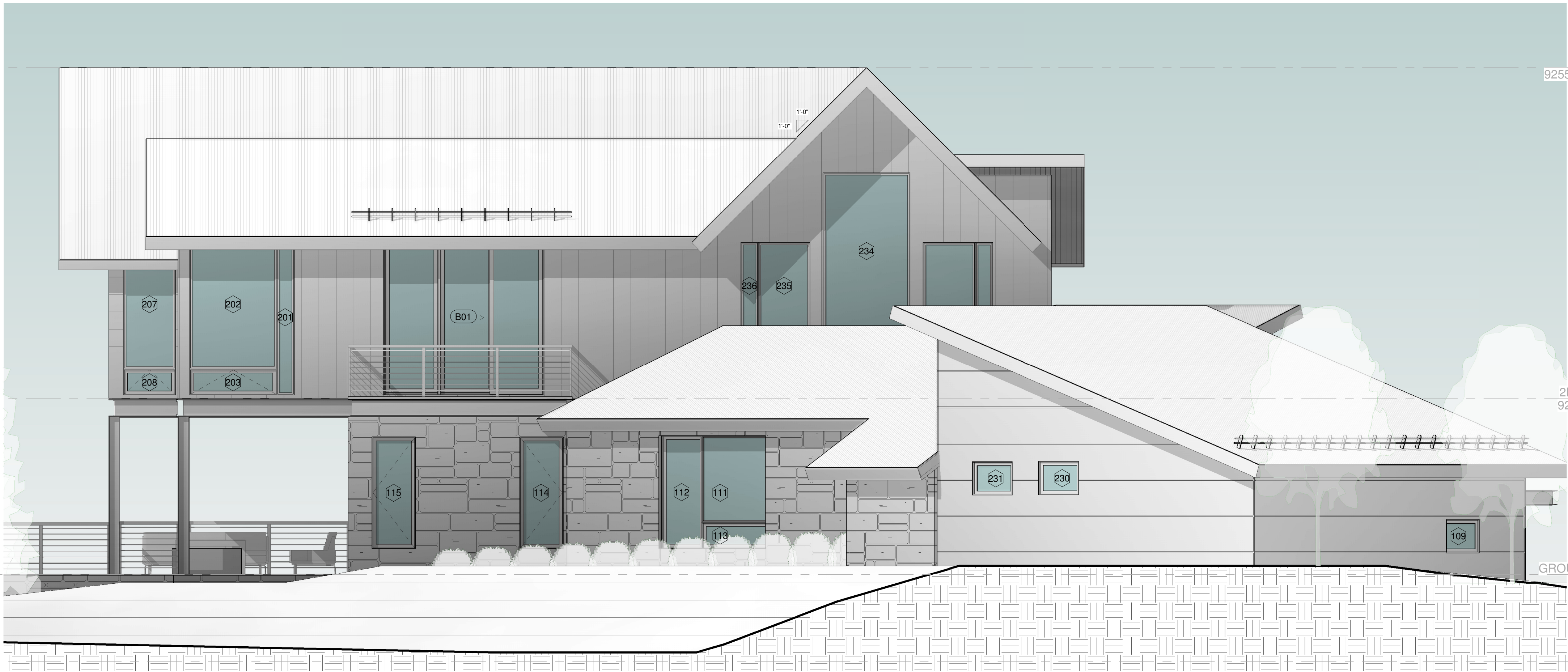
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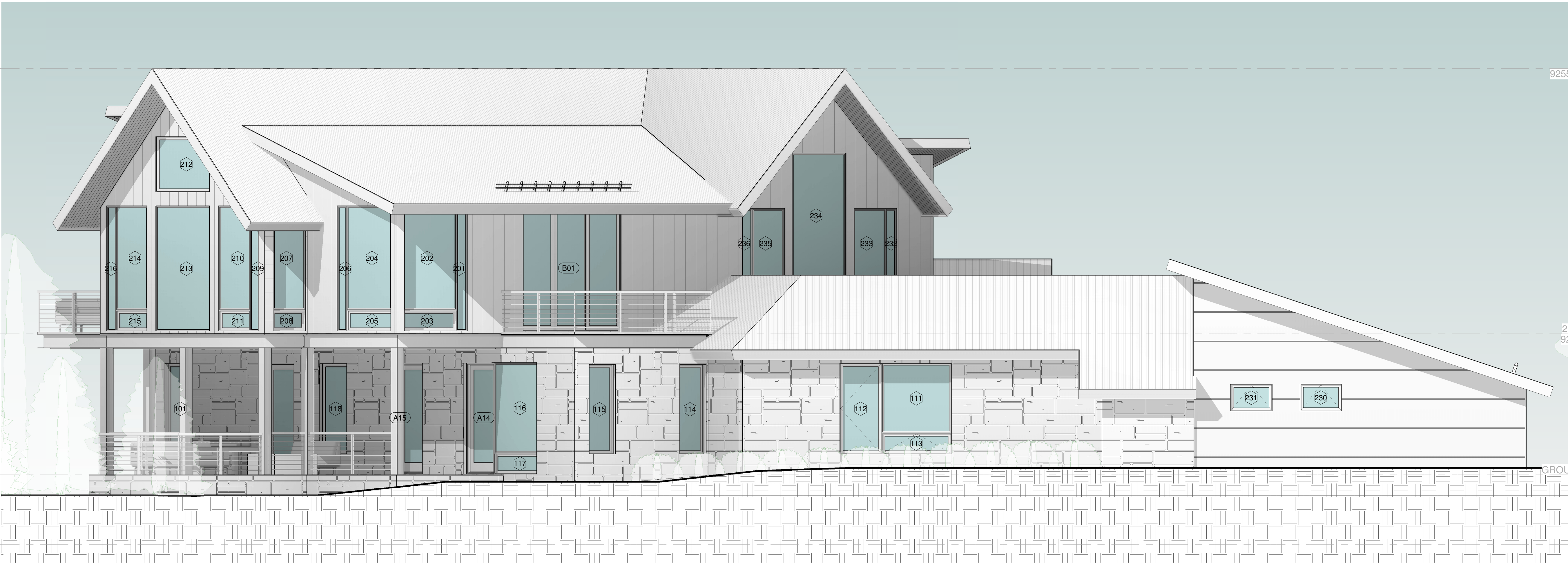
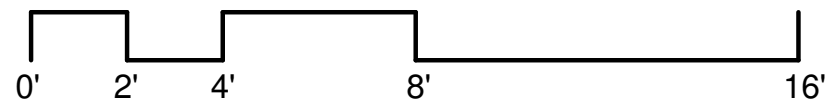
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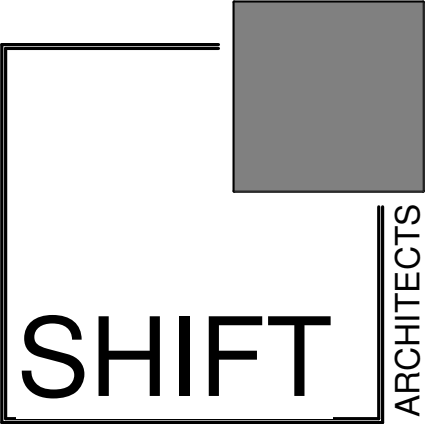
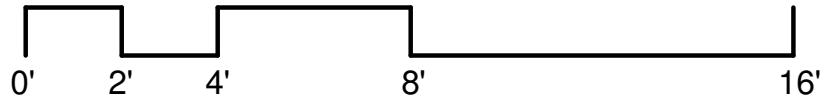




1 PROPOSED NORTH EAST  
1/4" = 1'-0"



2 PROPOSED EAST  
1/4" = 1'-0"



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100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
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BIG VANILLA

LOT ARC-163  
MOUNTAIN VILLAGE, CO 81435

PROPOSED  
ELEVATIONS

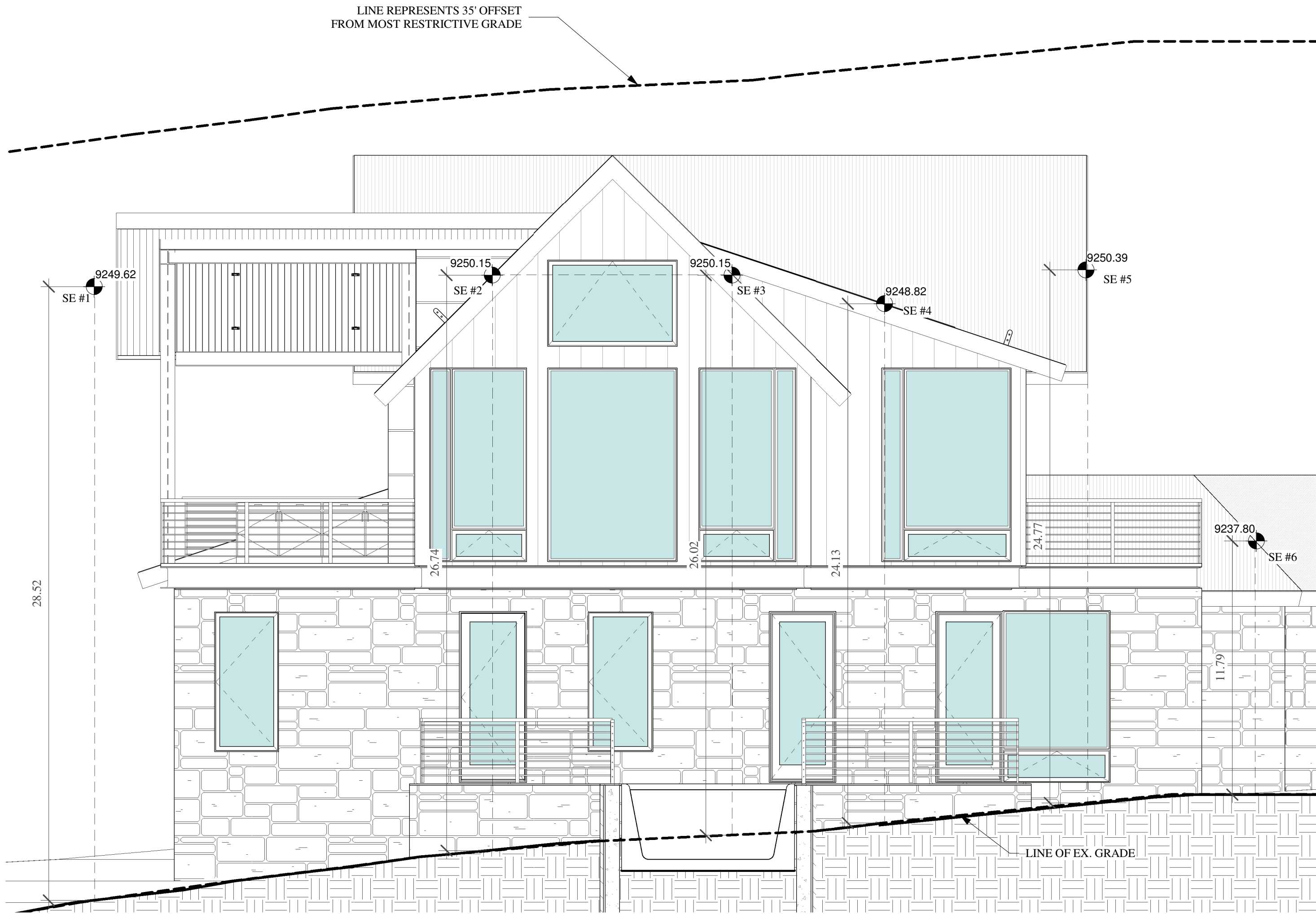
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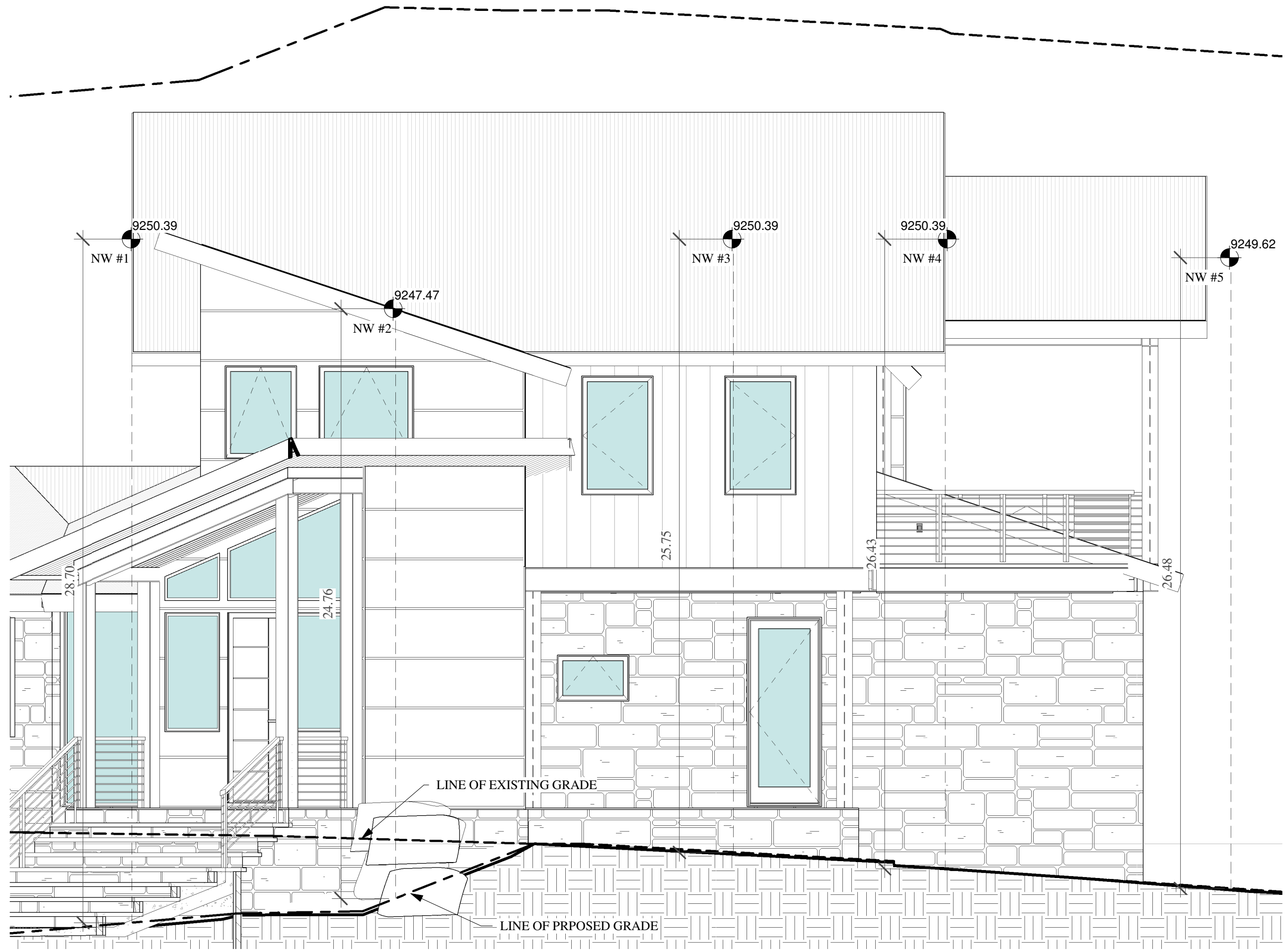
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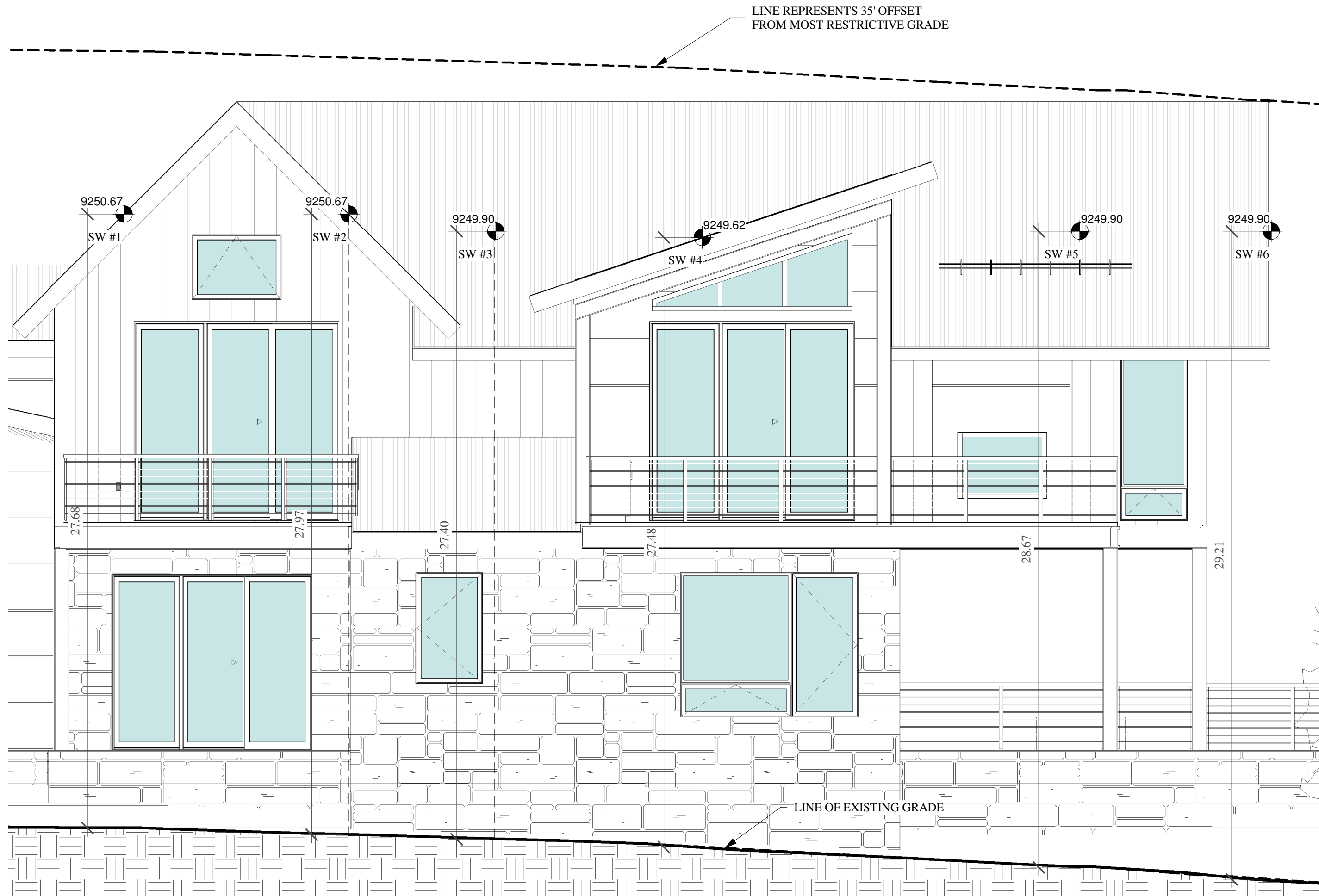




1 SOUTH EAST HEIGHT CALCS  
1/4" = 1'-0"



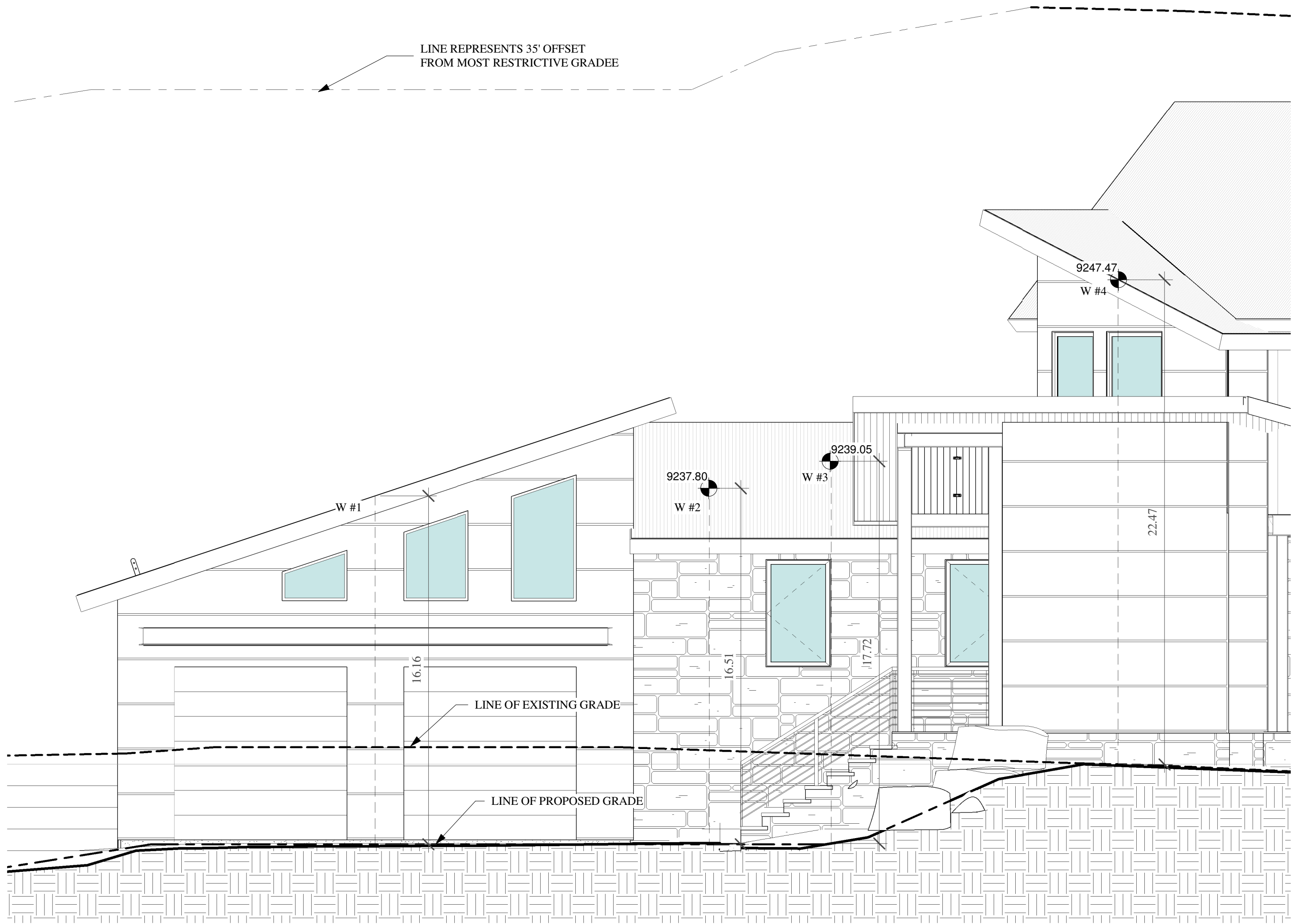
2 NORTH WEST HEIGHT CALCS  
1/4" = 1'-0"



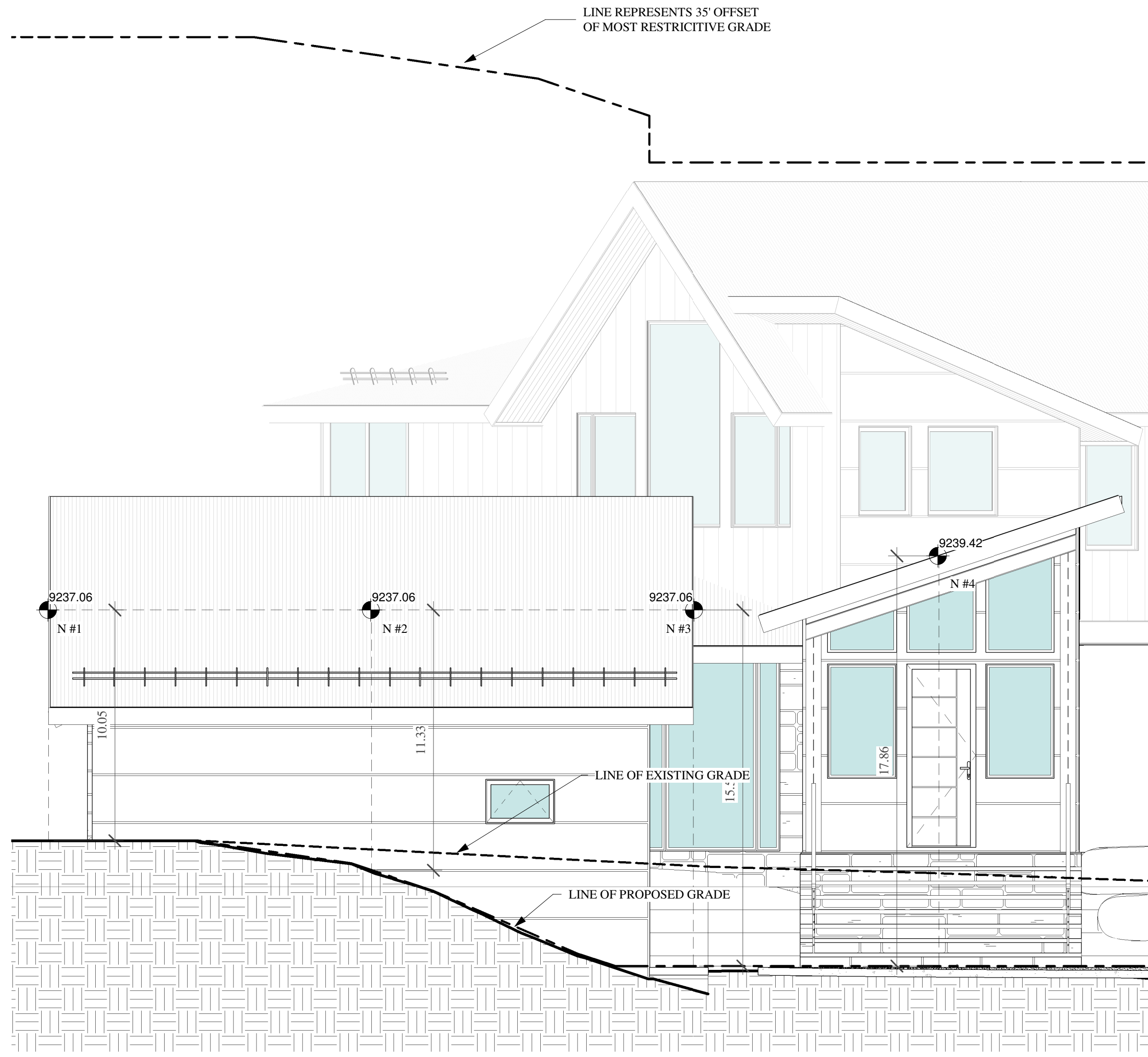
3 SOUTH WEST HEIGHT CALCS  
1/4" = 1'-0"

AVERAGE HEIGHT CALCULATION	
POINT	HEIGHT
SE #1	28.52
SE #2	26.74
SE #3	26.02
SE #4	24.13
SE #5	24.77
SE #6	11.79
SOUTH EAST AVG.	23.66'
SW #1	27.68
SW #2	27.97
SW #3	27.40
SW #4	27.48
SW #5	28.67
SW #6	29.21
SOUTH WEST AVG.	28.06
NW #1	28.70
NW #1	24.76
NW #1	25.75
NW #1	26.43
NW #1	26.48
NORTH WEST AVG.	26.42
W #1	16.16
W #2	16.51
W #3	17.72
W #4	22.47
WEST AVG.	18.21
N #1	10.05
N #2	11.33
N #3	15.51
N #4	17.86
NORTH AVG.	13.68
E #1	23.90
E #2	11.02
E #3	10.80
E #4	9.40
E #5	10.45
EAST AVG.	13.11
TOTAL AVG.	20.52
AS PER SEC 17.3.11	



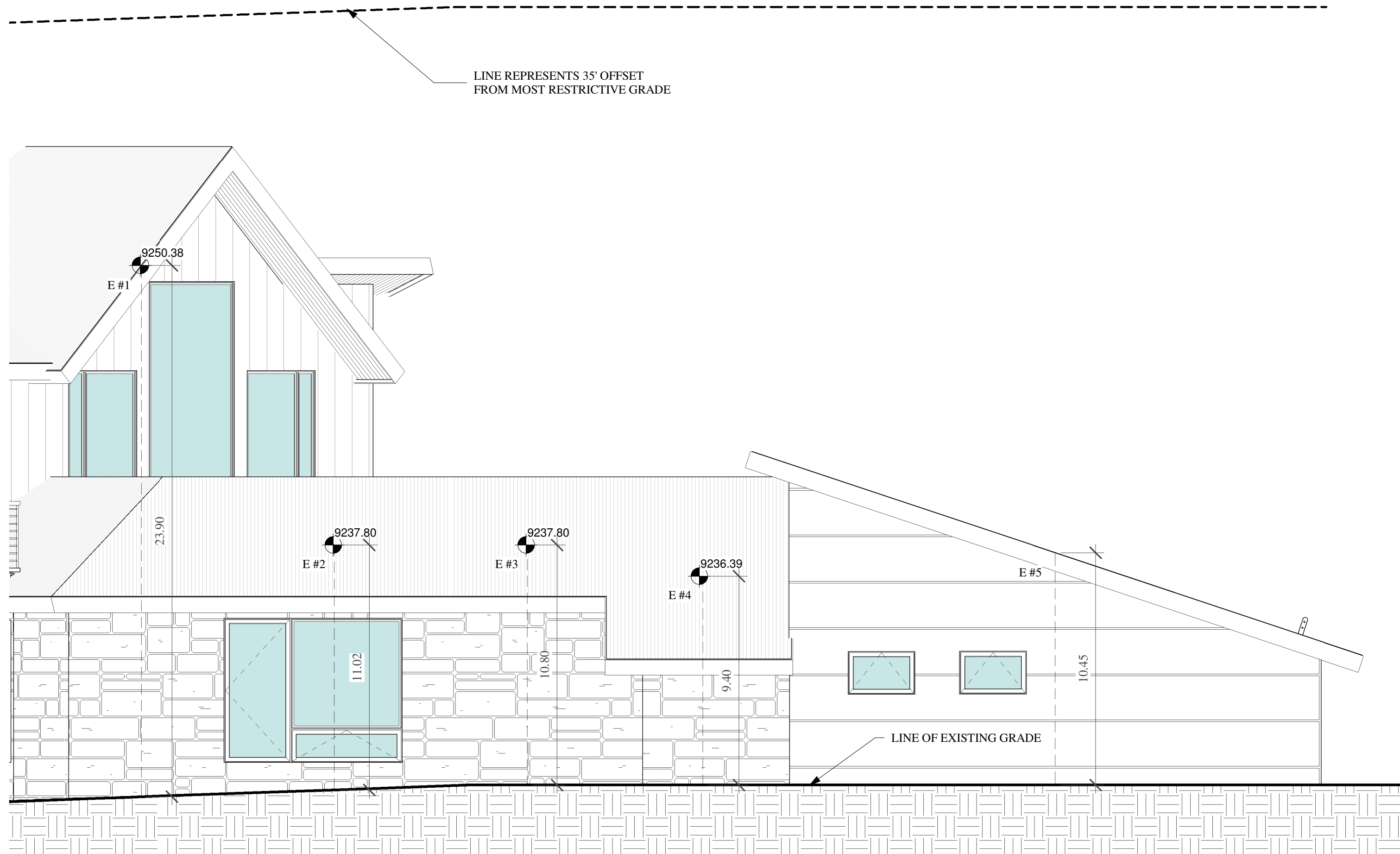


1 WEST HEIGHT CALCS  
1/4" = 1'-0"



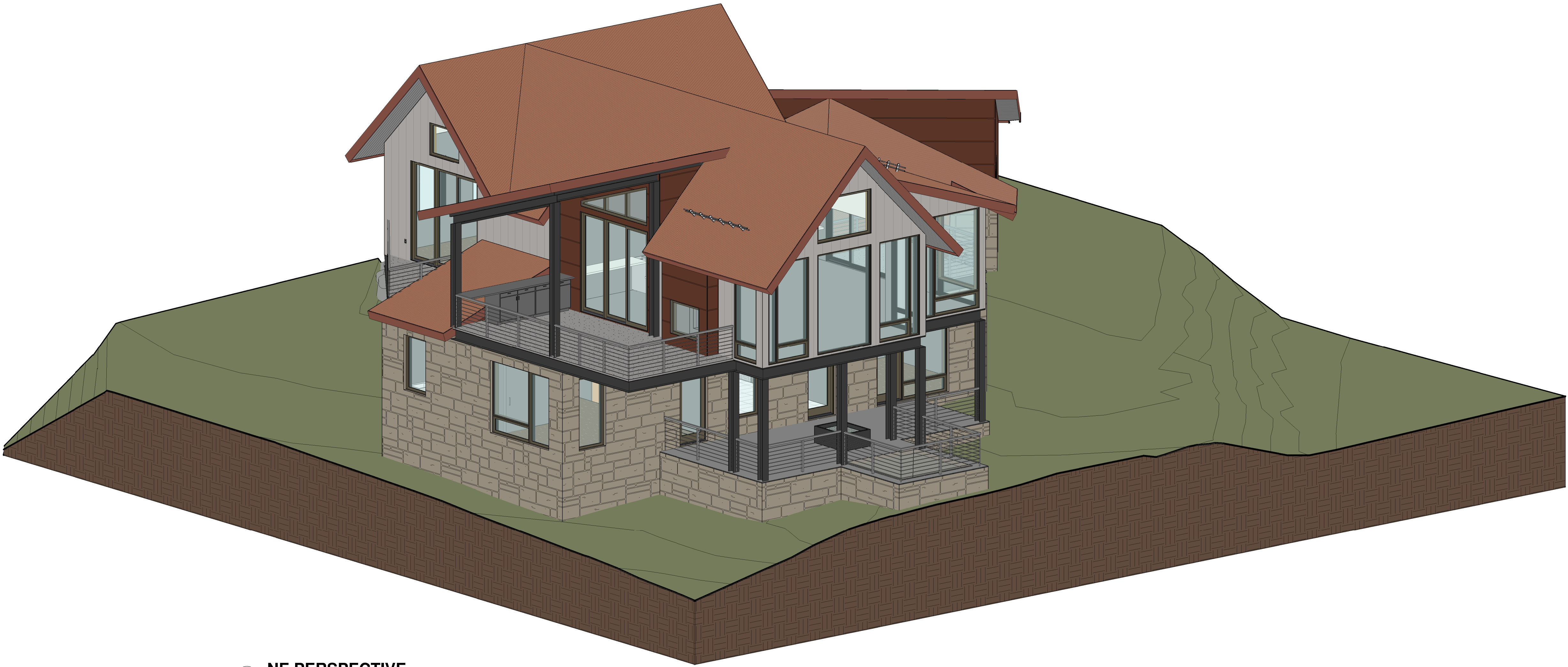
2 NORTH HEIGHT CALCS  
1/4" = 1'-0"

LINE OF EXISTING GRADE  
LINE OF PROPOSED GRADE



3 EAST HEIGHT CALCS  
1/4" = 1'-0"

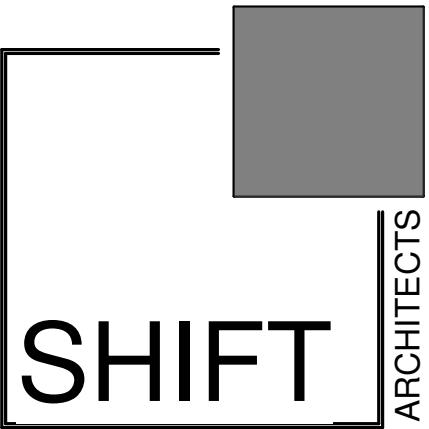




1 NE PERSPECTIVE



2 NW PERSPECTIVE



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100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
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BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

PERSPECTIVES

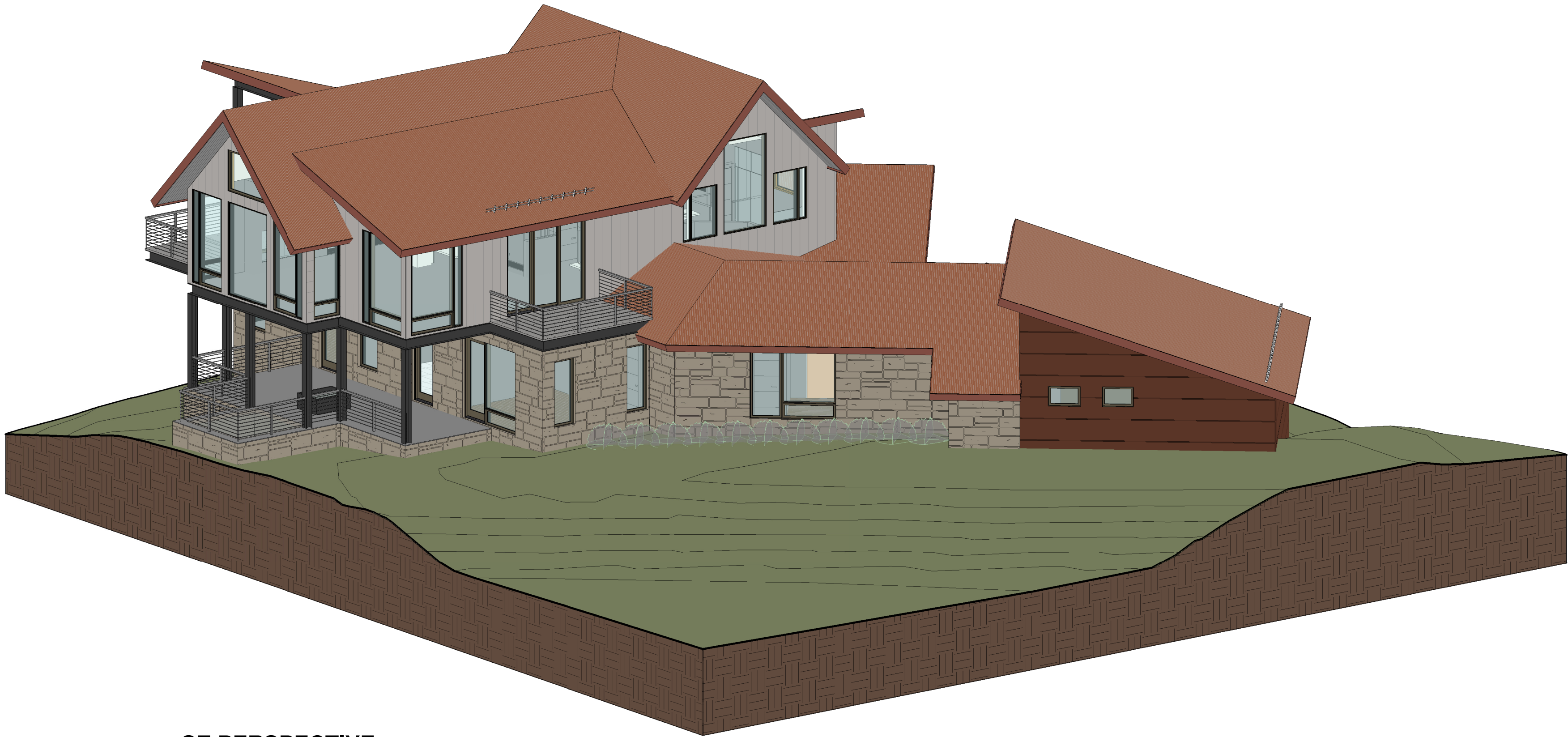
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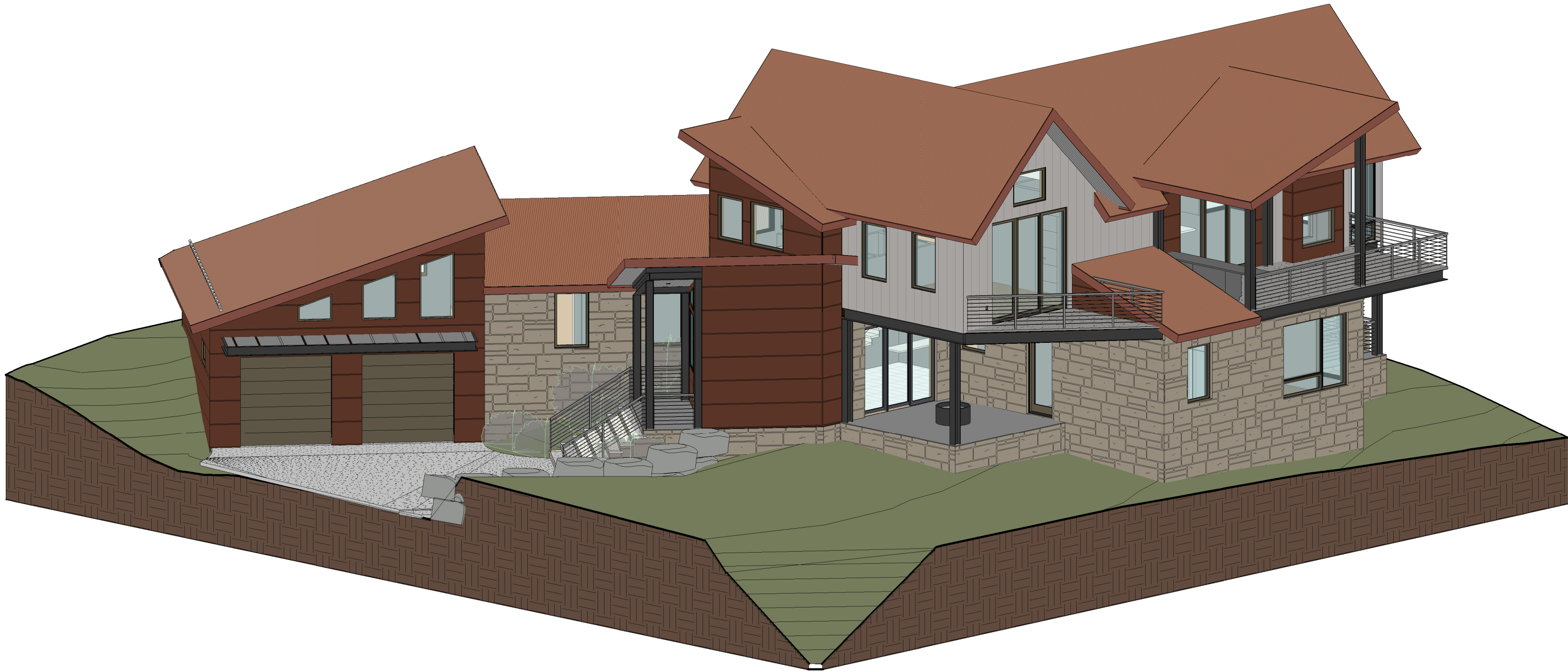
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A6.1





1 SE PERSPECTIVE



2 SW PERSPECTIVE

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PERSPECTIVES

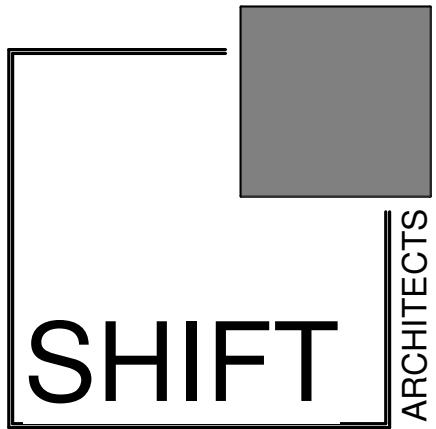
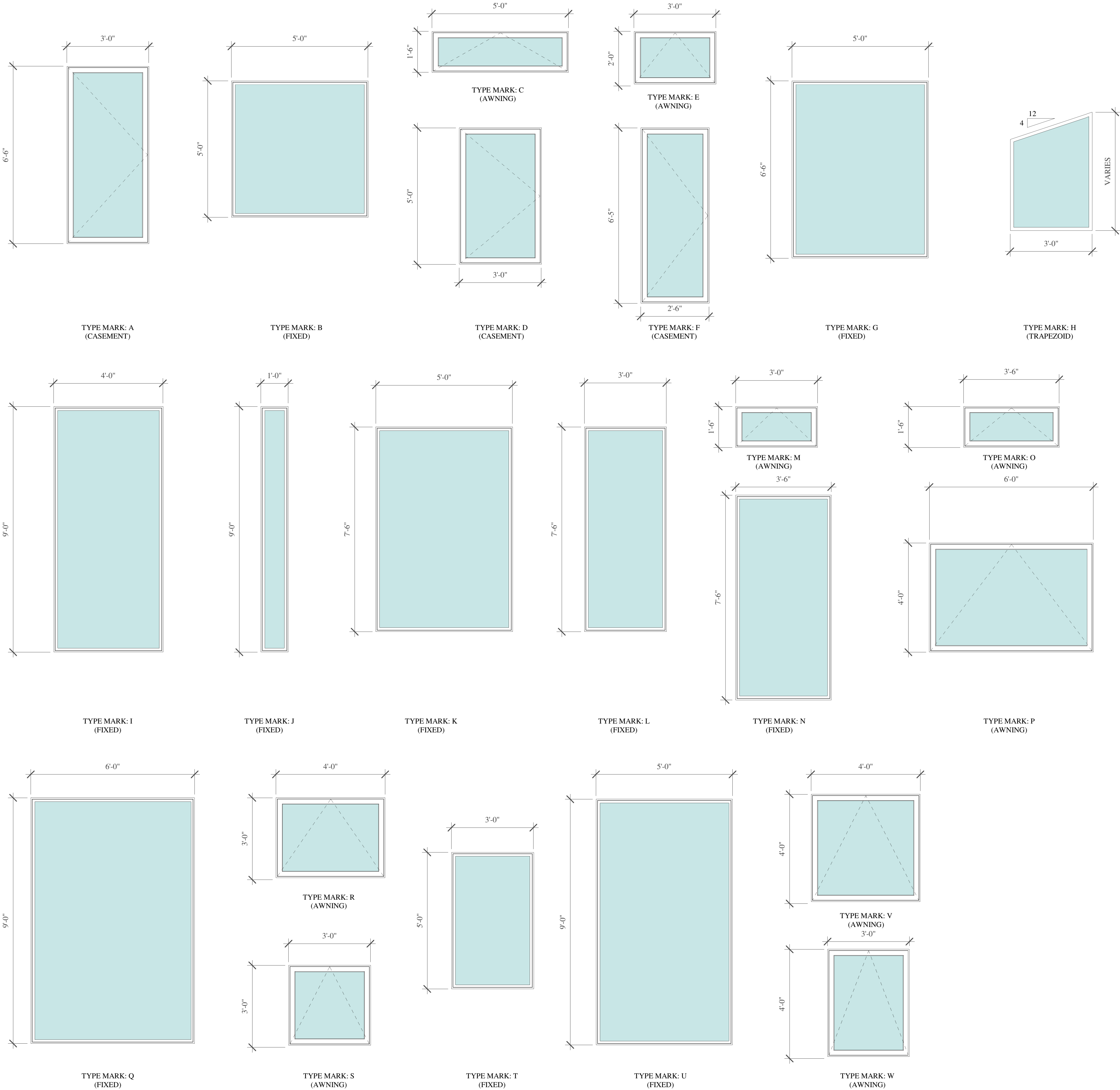
SHEET NUMBER



WINDOW SCHEDULE				
Family	Type	Mark	Type Mark	Comments
CASEMENT	3-0 X 6-6	101	A	
CASEMENT	3-0 X 6-6	102	A	
FIXED	5-0 X 5-0	103	B	
AWNING	5-0 X 1-6	104	C	
CASEMENT	3-0 X 5-0	105	D	
AWNING	3-0 X 2-0	106	E	
CASEMENT	3-0 X 5-0	107	D	
CASEMENT	3-0 X 5-0	108	D	
AWNING	3-0 X 2-0	109	E	
FIXED	5-0 X 5-0	111	B	
CASEMENT	3-0 X 6-6	112	A	
AWNING	5-0 X 1-6	113	C	
CASEMENT	2-6 X 6-6	114	F	
CASEMENT	2-6 X 6-6	115	F	
FIXED	5-0 X 6-6	116	G	
AWNING	5-0 X 1-6	117	C	
CASEMENT	3-0 X 6-6	118	A	
FIXED TRAPEZOID	3-0 X 4-4 (4 PITCH)	119	H	
FIXED TRAPEZOID	3-0 X 3-2 (4 PITCH)	120	H	
FIXED TRAPEZOID	3-0 X 2-0 (4 PITCH)	121	H	
FIXED	4-0 X 9-0	122	I	
FIXED	1-0 X 9-0	123	J	
FIXED	1-0 X 9-0	124	J	
FIXED	3-0 X 5-0	125	T	
FIXED	3-0 X 5-0	126	T	
FIXED	1-0 X 9-0	201	J	
FIXED	5-0 X 7-6	202	K	
AWNING	5-0 X 1-6	203	C	
FIXED	5-0 X 7-6	204	K	
AWNING	5-0 X 1-6	205	C	
FIXED	1-0 X 9-0	206	J	
FIXED	3-0 X 7-6	207	L	
AWNING	3-0 X 1-6	208	M	
FIXED	1-0 X 9-0	209	J	
FIXED	3-6 X 7-6	210	N	
AWNING	3-6 X 1-6	211	O	
AWNING	6-0 X 4-0	212	P	
FIXED	6-0 X 9-0	213	Q	
FIXED	3-6 X 7-6	214	N	
AWNING	3-6 X 1-6	215	O	
FIXED	1-0 X 9-0	216	J	
FIXED	3-0 X 7-6	217	L	
AWNING	3-0 X 1-6	218	M	
AWNING	4-0 X 3-0	219	R	
CASEMENT	3-0 X 5-0	220	D	
CASEMENT	3-0 X 5-0	221	D	
AWNING	4-0 X 4-0	222	V	
AWNING	3-0 X 4-0	224	121	
FIXED TRAPEZOID	3-0 X 5-10 (4 PITCH)	226	H	
FIXED TRAPEZOID	3-0 X 4-2 (4 PITCH)	227	H	
FIXED TRAPEZOID	3-0 X 2-4 (4 PITCH)	228	H	
AWNING	3-0 X 2-0	230	E	
AWNING	3-0 X 2-0	231	E	
FIXED	1-0 X 5-0	232	S	
FIXED	3-0 X 5-0	233	T	
FIXED	5-0 X 9-0	234	U	
FIXED	3-0 X 5-0	235	T	
FIXED	1-0 X 5-0	236	S	

WINDOW NOTES:

1. WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. SEE ELEVATIONS FOR WINDOW MULLION PATTERN.
3. WINDOW HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
4. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
5. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
6. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
7. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.



P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

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BIG VANILLA

LOT ARC-163  
MOUNTAIN VILLAGE, CO 81435

WINDOW  
SCHEDULE

SHEET NUMBER

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A8.1



DOOR SCHEDULE						
Family	Mark	Type	Width	Height	Hardware	Note
ENTRY DOOR	A01	3-0 X 8-0	3' - 0"	8' - 0"		
SINGLE FLUSH	A02	3-0 X 7-0	3' - 0"	7' - 0"		
OVERHEAD GARAGE DOOR	A03	8-0 X 8-0	8' - 0"	8' - 0"		
OVERHEAD GARAGE DOOR	A04	8-0 X 8-0	8' - 0"	8' - 0"		
Door-Double-Flush_Panel	A05	4-6 X 7-0	4' - 6"	7' - 0"		
SINGLE FLUSH	A06	2-8 X 7-0	2' - 8"	7' - 0"		
SINGLE FLUSH	A07	2-6 X 6-8	2' - 6"	6' - 8"		
Single-Pocket-Panel	A08	2-4 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	A09	2-6 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	A10	2-4 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	A11	2-6 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	A12	2-6 X 7-0	2' - 4"	7' - 0"		
SINGLE FLUSH	A13	2-8 X 7-0	2' - 8"	7' - 0"		
SINGLE GLASS INSWING	A14	3-0 X 8-0	3' - 1 7/16"	7' - 11 1/2"		
SINGLE GLASS INSWING	A15	3-0 X 8-0	3' - 1 7/16"	7' - 11 1/2"		
SINGLE GLASS OUTSWING	A16	3-0 X 8-0	3' - 1 7/16"	7' - 11 1/2"		
Barn Door	A17	2-6 X 7-0	2' - 6"	7' - 0"		
SINGLE FLUSH	A18	3-0 X 7-0	3' - 0"	7' - 0"		
SINGLE GLASS INSWING	A19	3-0 X 8-0	3' - 1 7/16"	7' - 11 1/2"		
SINGLE FLUSH	A20	2-6 X 6-8	2' - 6"	6' - 8"		
THREE PANEL SLIDING	A21	9-0 X 8-0	9' - 0"	7' - 11"		
Single-Pocket-Panel	A22	2-0 X 7-0	2' - 0"	7' - 0"		
THREE PANEL SLIDING	B01	9-0 X 9-0	9' - 2 3/4"	8' - 11 1/2"		
THREE PANEL SLIDING	B02	9-0 X 9-0	9' - 2 3/4"	8' - 11 1/2"		
THREE PANEL SLIDING	B03	9-0 X 9-0	9' - 2 3/4"	8' - 11 1/2"		
Single-Pocket-Panel	B04	2-4 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	B05	2-6 X 7-0	2' - 4"	7' - 0"		
SINGLE FLUSH	B06	3-0 X 7-0	3' - 0"	7' - 0"		
Single-Pocket-Panel	B07	2-6 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	B08	2-6 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	B09	2-6 X 7-0	2' - 4"	7' - 0"		

DOOR NOTES:

1.

2.

3.

4.

5.

6.

NEW EXTERIOR DOORS TO BE 2/3 LITE PER GS#34.

DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

SEE ELEVATIONS FOR DOOR MULLION PATTERN.

DOOR HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.

DOOR & WINDOW MANUFACTURER: LOEWEN OR EQUAL

VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

SHIFT

ARCHITECTS

P.O. Box 3206

100 W. Colorado Suite 211

Telluride, Colorado 81435

p 970-728-8145

kristine@shift-architects.com

www.shift-architects.com

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BIG VANILLA

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MOUNTAIN VILLAGE, CO 81435

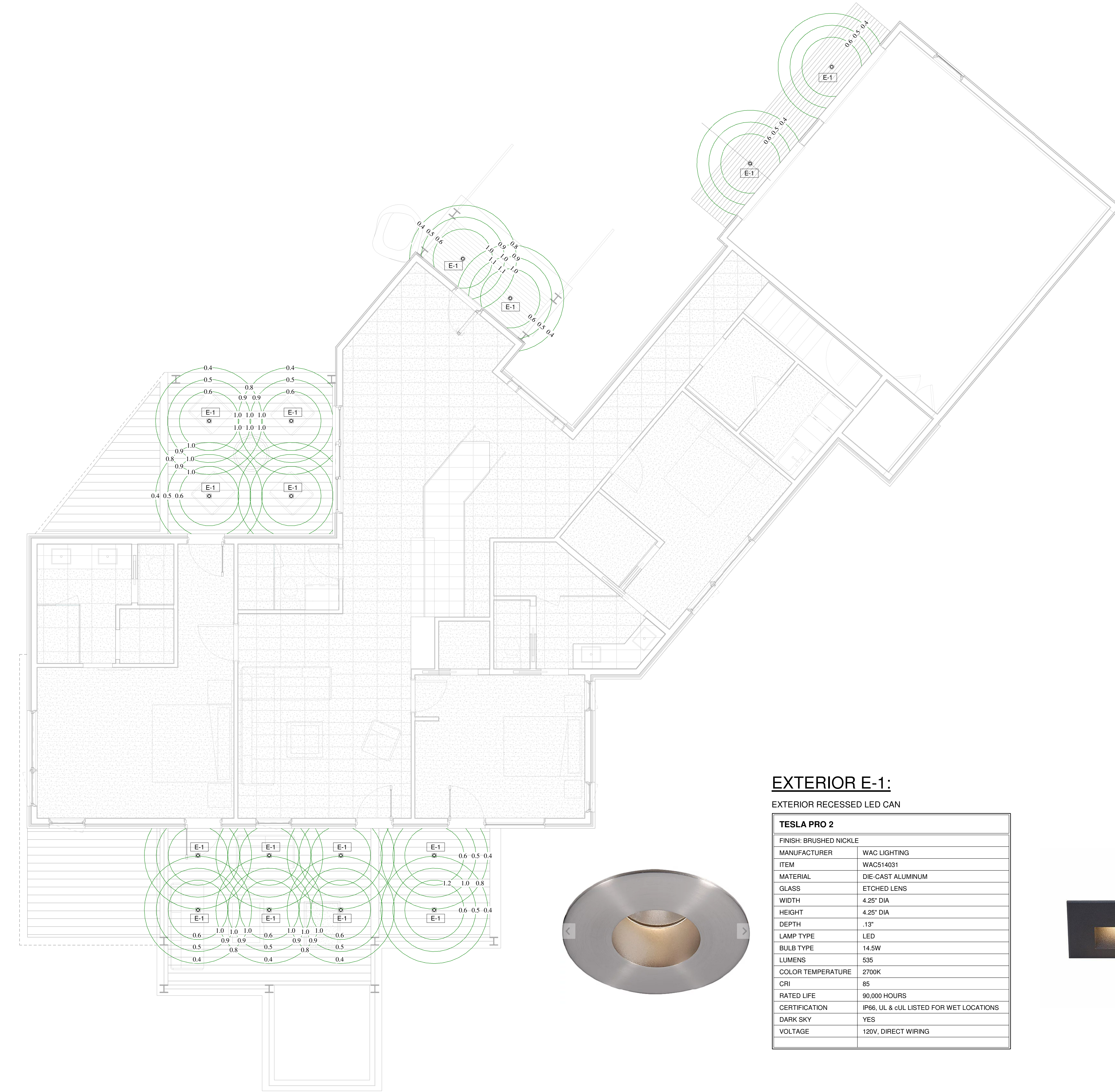
DOOR SCHEDULE

SHEET NUMBER

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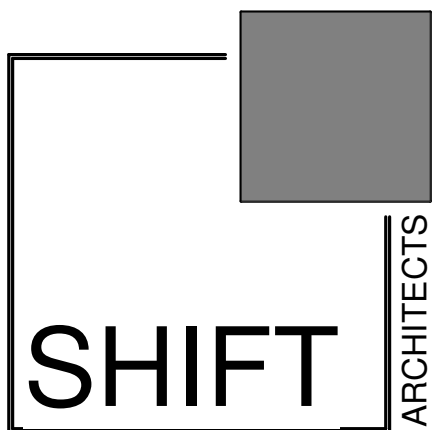
A8.2





### LIGHTING NOTES:

1. FIELD VERIFY ALL LIGHTING LOCATIONS.
2. TYPICAL LIGHTING LOCATION AT STAIRS:  
(1 EA) PER LANDING  
(2 EA) PER RUN
3. CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
4. ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
5. LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
6. PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
7. MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
8. EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.



P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
11.04.21 PRELIMINARY DRB

Revision Schedule		
Number	Date	Revision Description

### EXTERIOR E-3:

LED STRIP LIGHTING	
MEGALUX HD	
FINISH: WARM WHITE	
MANUFACTURER	RIBON STAR
ITEM	RL-DX-MGL-WW-10
MATERIAL	TAPE
GLASS	N/A
LENGTH	1.5'
LAMP TYPE	LED
LUMENS	1317 / FT
COLOR TEMPERATURE	3000K
RATED LIFE	50,000 HRS
CERTIFICATION	CE, RoHS, ETL LISTED
DARK SKY	YES
VOLTAGE	24 VDC

### EXTERIOR E-1:

EXTERIOR RECESSED LED CAN

TESLA PRO 2	
FINISH: BRUSHED NICKLE	
MANUFACTURER	WAC LIGHTING
ITEM	WACS14031
MATERIAL	DIE-CAST ALUMINUM
GLASS	ETCHED LENS
WIDTH	4.25" DIA
HEIGHT	4.25" DIA
DEPTH	.13"
LAMP TYPE	LED
BULB TYPE	14.5W
LUMENS	535
COLOR TEMPERATURE	2700K
CRI	85
RATED LIFE	90,000 HOURS
CERTIFICATION	IP66, UL & cUL LISTED FOR WET LOCATIONS
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING



### EXTERIOR E-2:

EXTERIOR STEP AND WALL LIGHT

WL-LED 100	
FINISH: BLACK	
MANUFACTURER	WAC LIGHTING
ITEM	WL-LED100-C-BK
MATERIAL	DIE-CAST ALUMINUM
GLASS	ETCHED LENS
WIDTH	5"
HEIGHT	3"
DEPTH	.13"
LAMP TYPE	LED
BULB TYPE	3.9W
LUMENS	31
COLOR TEMPERATURE	3000K
CRI	83
RATED LIFE	40,000 HOURS
CERTIFICATION	IP66, UL & cUL LISTED FOR WET LOCATIONS
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING



BK- Black Finish

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

1ST FL EXTERIOR  
LIGHTING PLANS

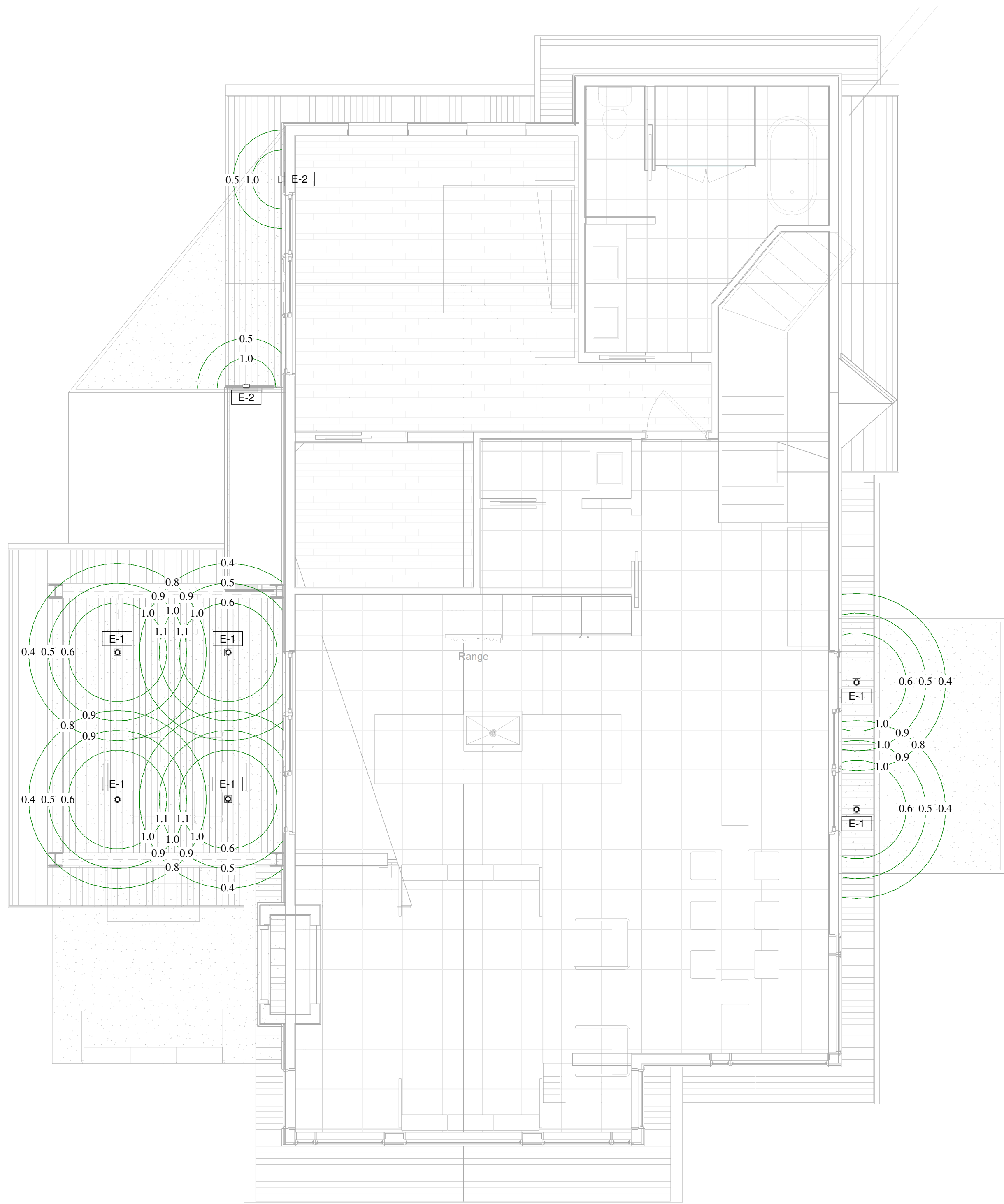
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1 2ND FL EXTERIOR LIGHTING PLAN  
1/4" = 1'-0"

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

2ND FL EXTERIOR  
LIGHTING PLANS

SHEET NUMBER