

SUMMIT AE  
CONSULTING ENGINEERS  
2203 EAST MAIN STREET  
GRIFFIN, CO 81607  
970-270-0856

Radian Engineering, LLC  
Mountain Villages

2024

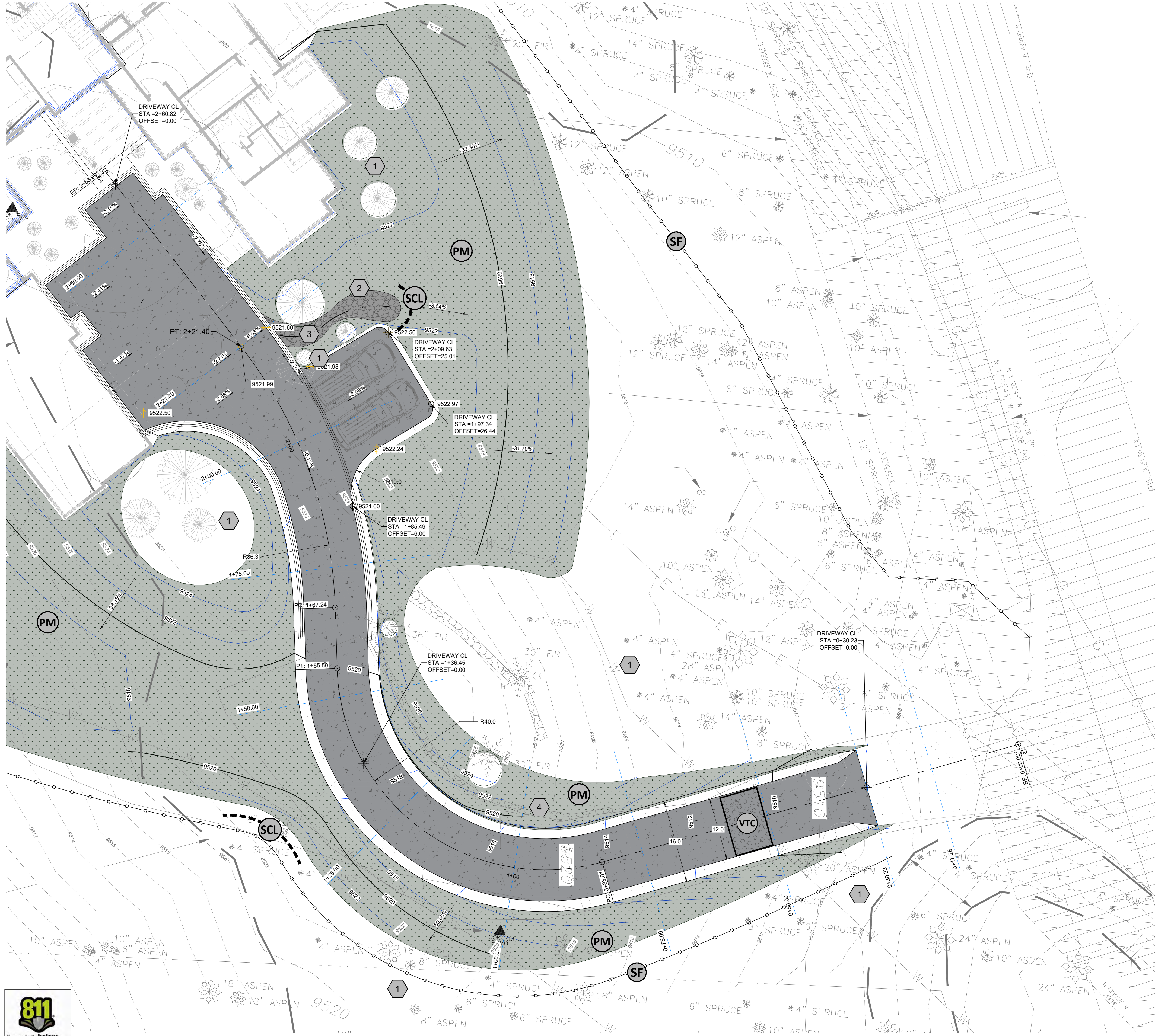
113 HIGHLANDS WAY  
MOUNTAIN VILLAGE, CO  
OVERALL SITE PLAN

PROJ.# 21128  
DESIGNED BY BMB | GMR  
DRAWN BY GMR  
DATE 10/03/24  
DRAWING NUMBER  
C1.1



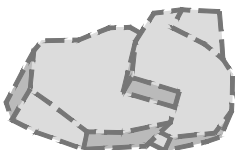






Structural BMP's/Erosion Control Legend  
REFERENCE INSTALLATION DETAILS SHEET C1.4

	Vehicle Tracking Pad	A gravel pad, located at the points of vehicular ingress and egress on a construction site, to reduce the mud transported onto roads and paved areas. Use 3" screened rock, 12" thick. Pad dimensions of 12'X50'.
	Silt Fence	A temporary barrier constructed of posts, filter fabric and sometimes a wire support fence, placed across or near the toe of a slope or in a minor drainage way to intercept and detain sediment and decrease flow velocities from drainage areas of limited size; applicable where sheet and rill or small concentrated flows may be a problem.
	Rock Sock	A temporary sediment barrier composed of high strength tubular twine netting filled with densely packed coconut fibers. Diameters range from 12" to 20" and standard lengths of 10'
	Permanent Mulching/Revegetation	Use of hydroseed wood chips, stone, bark, etc., to cover the finished graded surfaces after construction activities. Part of the final landscaping including drainage ways, swales, etc. Used with permanent planting.
	Stockpile Management	Temporary storage of construction materials managed to minimize erosion and sediment transport. Daily stabilization methods to be implemented as to stabilize stockpile materials.
	Sediment Control Log	Sediment control logs act as perimeter soil loss control. Logs shall be installed prior to any upgradient land-disturbing activities.
	Stabilized Staging Area	Stabilized Staging Area(s) provide a site adequate structurally stabilized area. Stabilization shall be stabilized prior to any operations on the site.

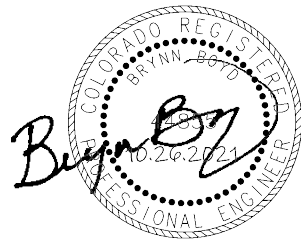
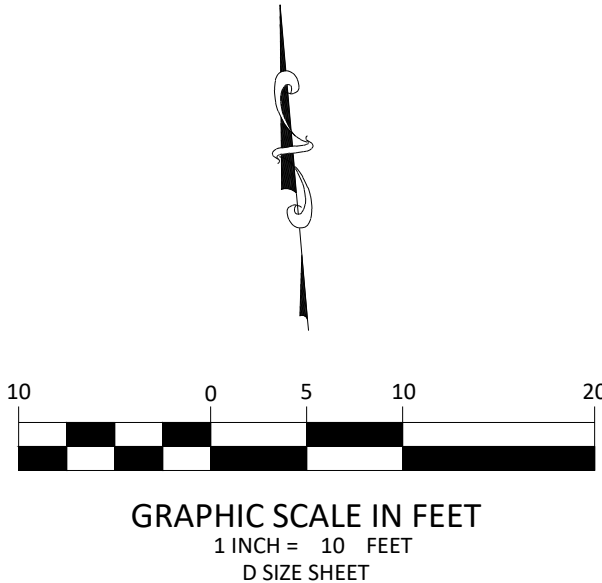


Existing on-site boulders to be implemented as retaining mass.

PLAN TAG NOTES

- 1 PRESERVE & PROTECT EXISTING TREES AND VEGETATION.
- 2 PLACE D-50 RIP RAP.
- 3 CONSTRUCT DRAINAGE SWALE.
- 4 RE-WORK EXISTING RETAINING WALL PER PROPOSED DRIVEWAY.

- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED FLOW LINE



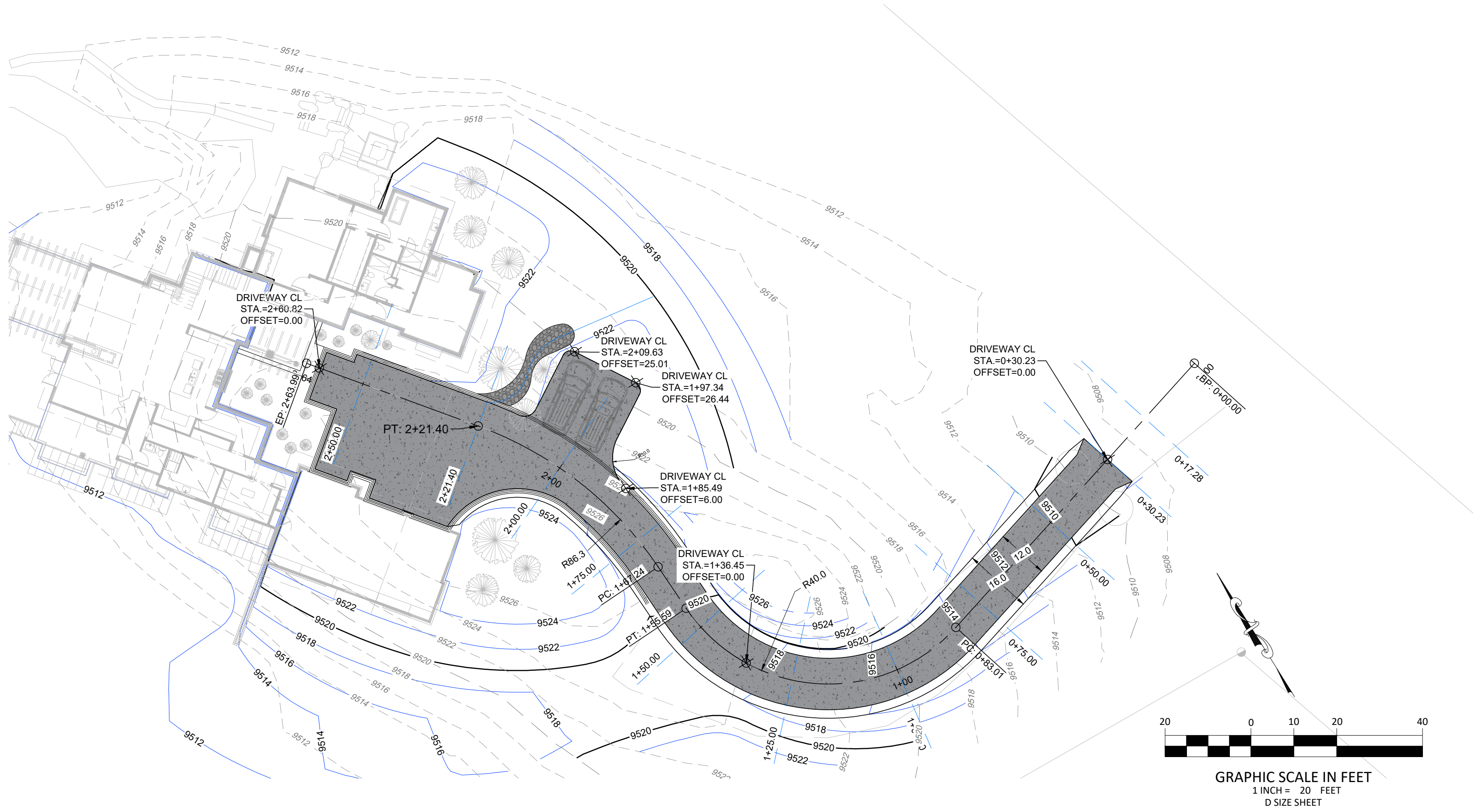
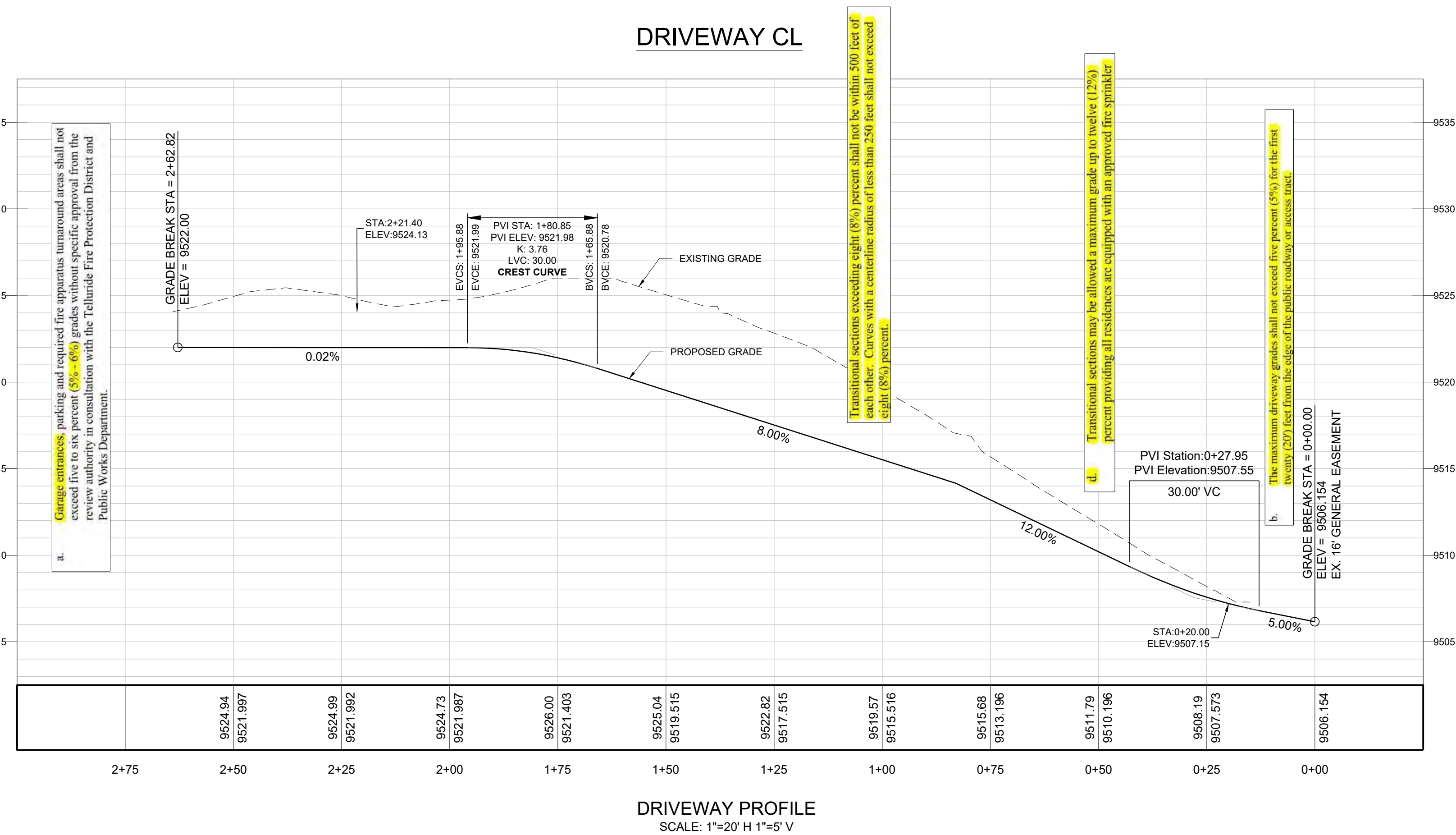
#	REVISION	DESCRIPTION	DATE

113 HIGHLANDS WAY  
MOUNTAIN VILLAGE, CO  
DRIVEWAY GRADING &  
EROSION CONTROL PLAN

PROJ.# 21128  
DESIGNED BY BMB | GMR  
DRAWN BY GMR  
DATE 10/03/21  
DRAWING NUMBER

C1.3



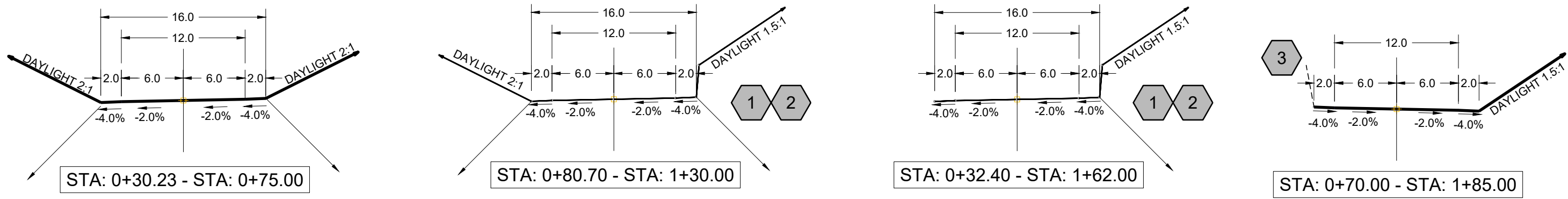


#	REVISION	DESCRIPTION	DATE

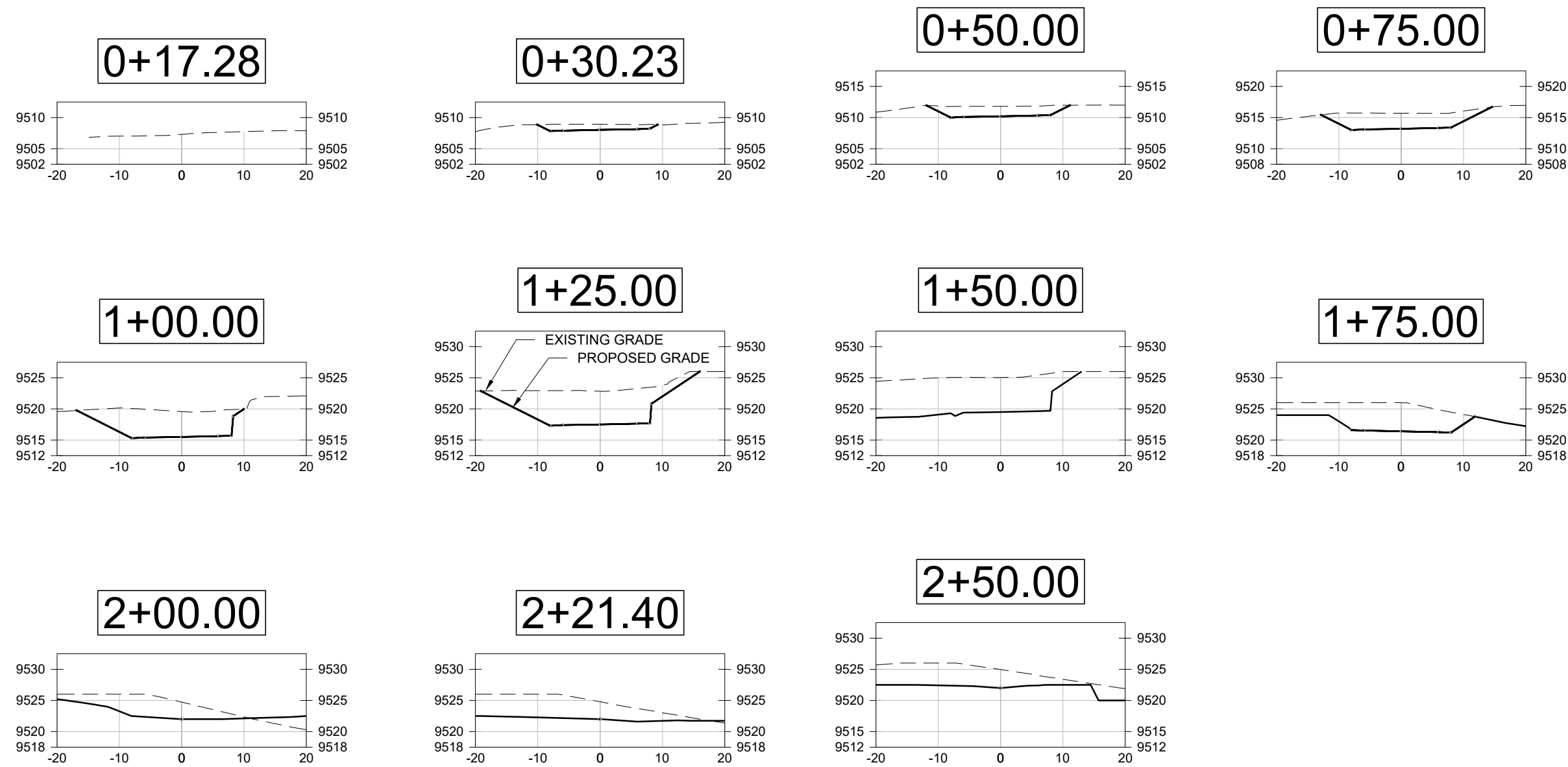
**113 HIGHLANDS WAY  
MOUNTAIN VILLAGE, CO  
DRIVEWAY PLAN & PROFILE**

PROJ.#	21128
DESIGNED BY	BMB   GMR
DRAWN BY	GMR
DATE	10/03/21
DRAWING NUMBER	C1.4





DRIVEWAY SECTION TYPES  
N.T.S.



DRIVEWAY SECTIONS  
SCALE: 1"=20' H & V

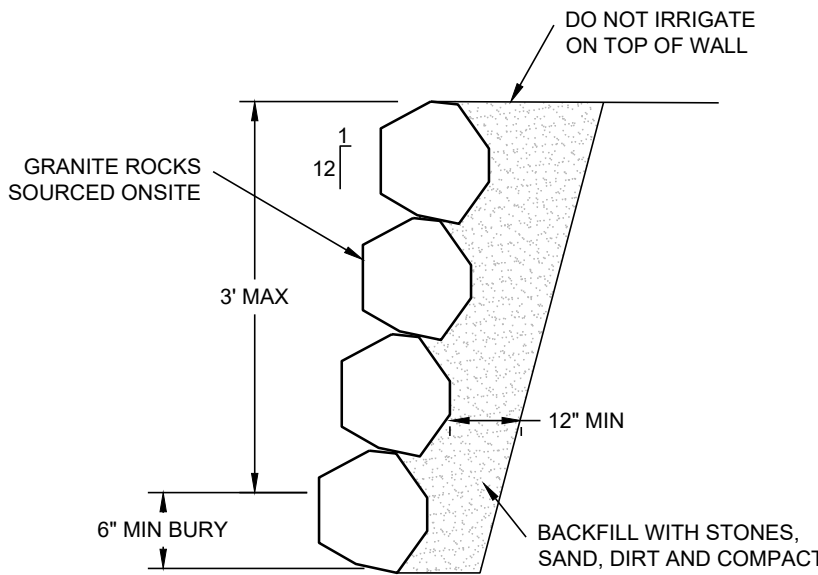
DRIVEWAY SECTION NOTES

6" CONCRETE OVER 6" CLASS 6 ABC OVER 12" RECOMPACTED SOILS.

GAPS IN STATIONS REPRESENT TRANSITION ZONES BETWEEN SECTION TYPES.

SCARIFY EXISTING GROUND BENEATH DRIVEWAY SURFACE

NOTE: IF DRIVEWAY FILL IS NEEDED, NATIVE, SCREENED MATERIAL WHICH PASSES THE NUMBER 40 SIEVE MAY BE USED. THE FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR.



3' DRY STACKED STONE  
RETAINING WALL (DSSRW)  
NOT TO SCALE

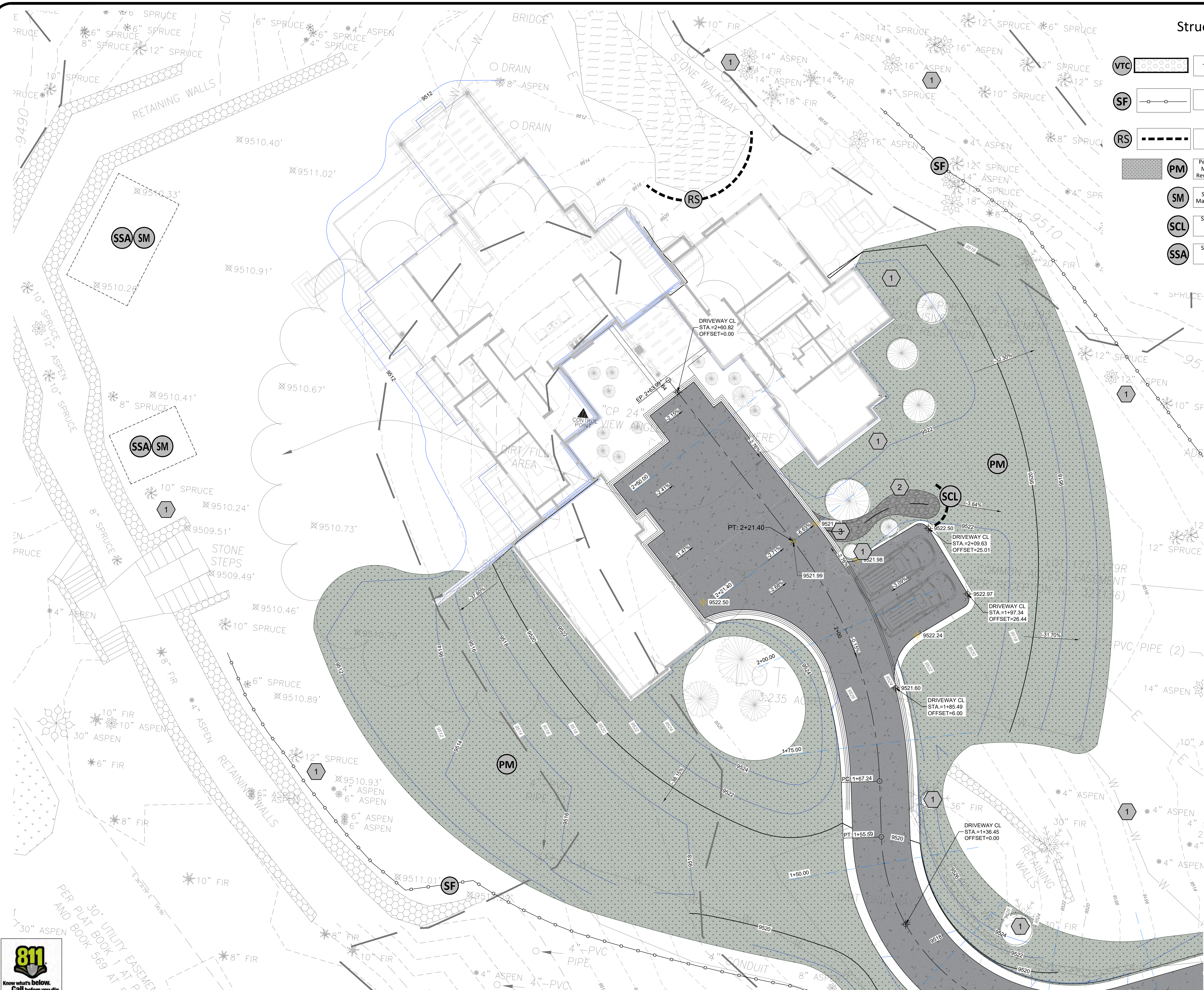
PLAN TAG NOTES

- 1 RE-WORK EXISTING RETAINING WALL.
- 2 CONSTRUCT NEW RETAINING WALL PER DETAIL THIS SHEET.
- 3 RETAINING WALL PER ARCHITECTURAL PLAN .

#	REVISION	DESCRIPTION	DATE

113 HIGHLANDS WAY  
MOUNTAIN VILLAGE, CO  
DRIVEWAY SECTIONS &  
GRADING DETAILS

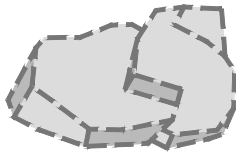




Structural BMP's/Erosion Control Legend

REFERENCE INSTALLATION DETAILS SHEET C1.4

	VTC	Vehicle Tracking Pad	A gravel pad, located at the points of vehicular ingress and egress on a construction site, to reduce the mud transported onto roads and paved areas. Use 3" screened rock, 12" thick. Pad dimensions of 12'x50'.
	SF	Silt Fence	A temporary barrier constructed of posts, filter fabric and sometimes a wire support fence, placed across or near the toe of a slope or in a minor drainage way to intercept and detain sediment and decrease flow velocities from drainage areas of limited size; applicable where sheet and rill or small concentrated flows may be a problem.
	RS	Rock Sock	A temporary sediment barrier composed of high strength tubular twine netting filled with densely packed coconut fibers. Diameters range from 12" to 20" and standard lengths of 10'.
	PM	Permanent Mulching/Revegetation	Use of hydroseed wood chips, stone, bark, etc., to cover the finished graded surfaces after construction activities. Part of the final landscaping including drainage ways, swales, etc. Used with permanent planting.
	SM	Stockpile Management	Temporary storage of construction materials managed to minimize erosion and sediment transport. Daily stabilization methods to be implemented as to stabilize stockpile materials.
	SCL	Sediment Control Log	Sediment control logs act as perimeter soil loss control. Logs shall be installed prior to any upgradient land-disturbing activities.
	SSA	Stabilized Staging Area	Stabilized Staging Area(s) provide a site adequate structurally stabilized area. Stabilization shall be stabilized prior to any operations on the site.

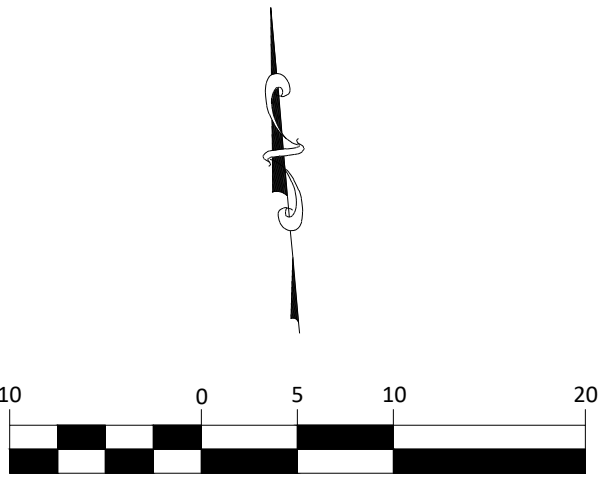


Existing on-site boulders to be implemented as retaining mass.

PLAN TAG NOTES

- 1 PRESERVE & PROTECT EXISTING TREES AND VEGETATION.
- 2 PLACE D-50 RIP RAP.
- 3 CONSTRUCT DRAINAGE SWALE.

- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED FLOW LINE



GRAPHIC SCALE IN FEET  
1" = 10' FEET  
D SIZE SHEET



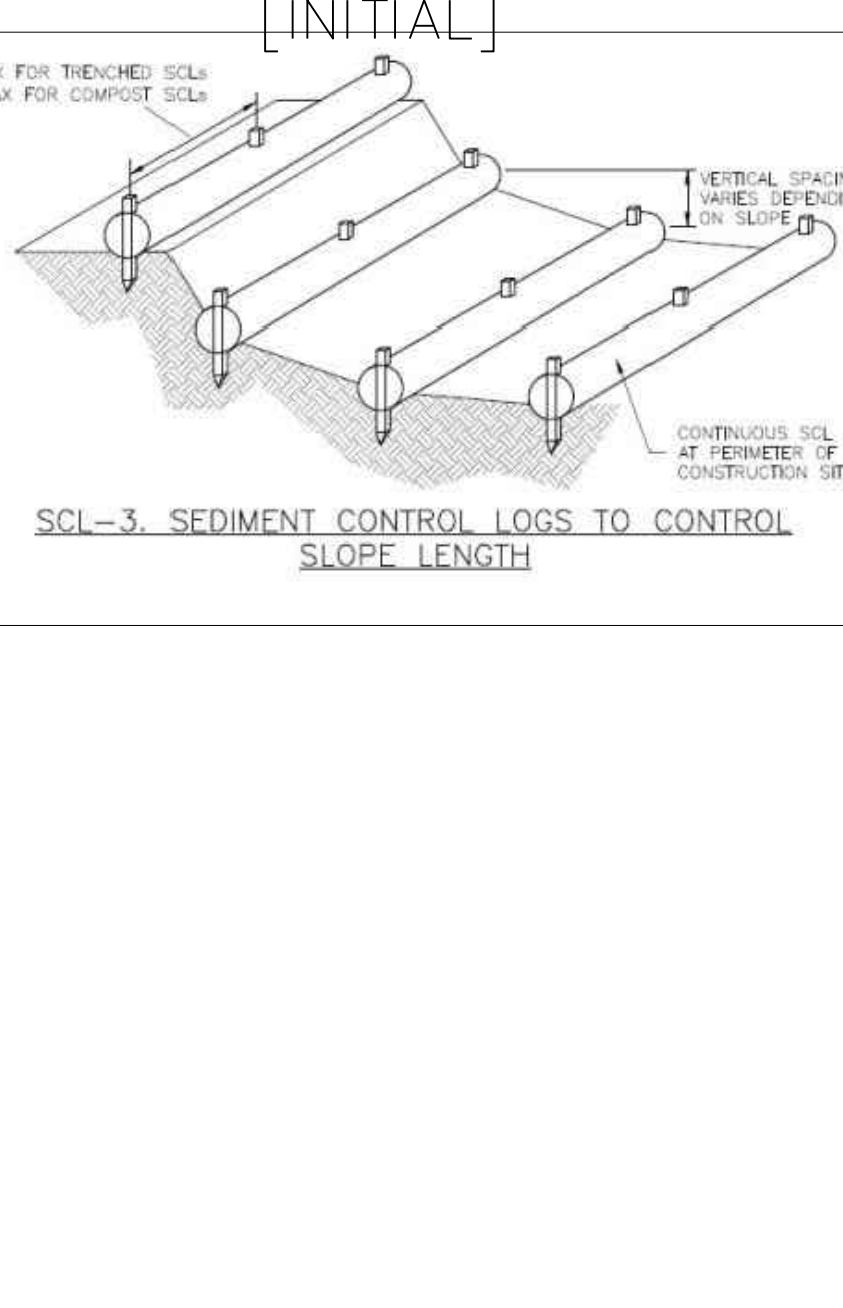
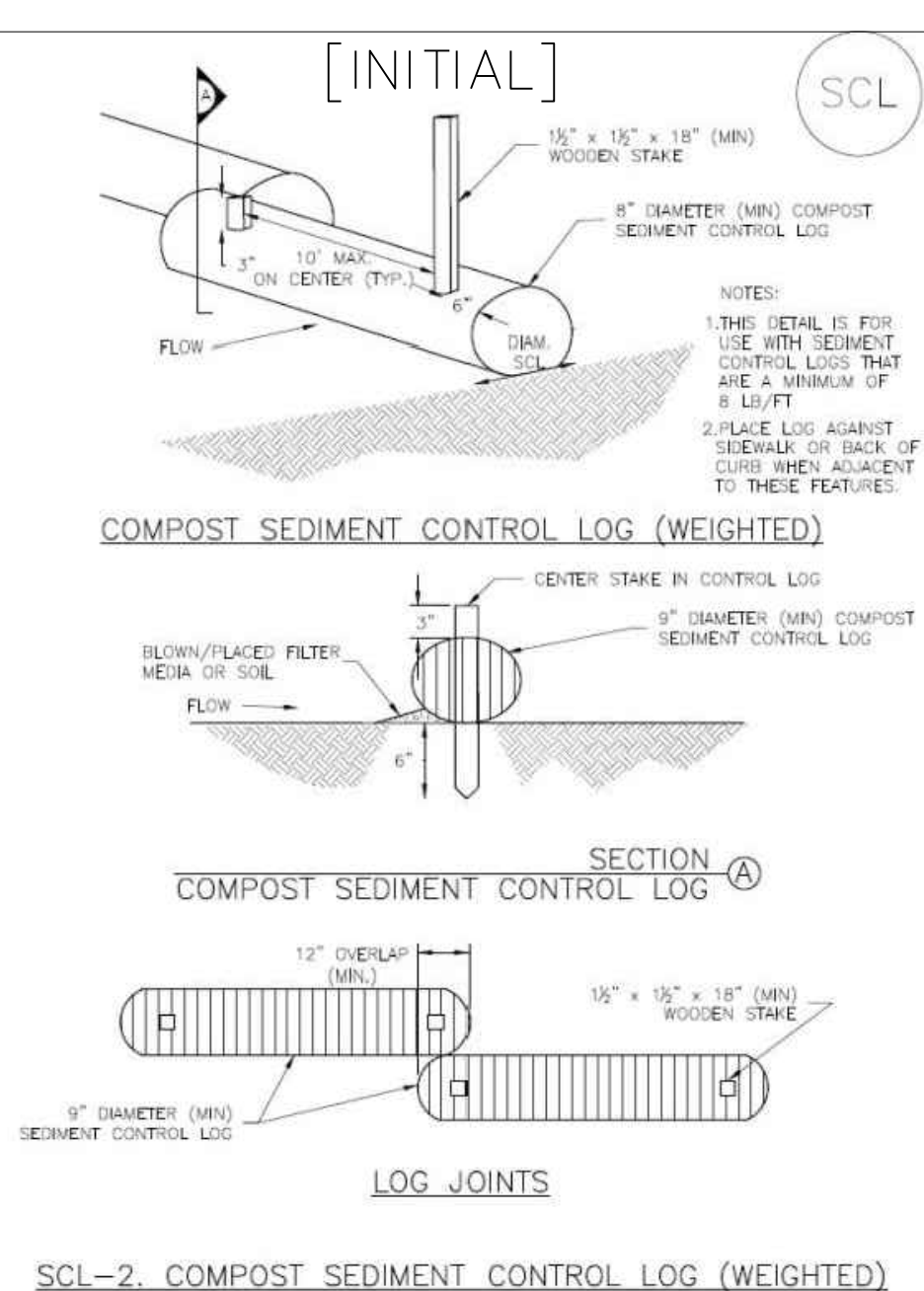
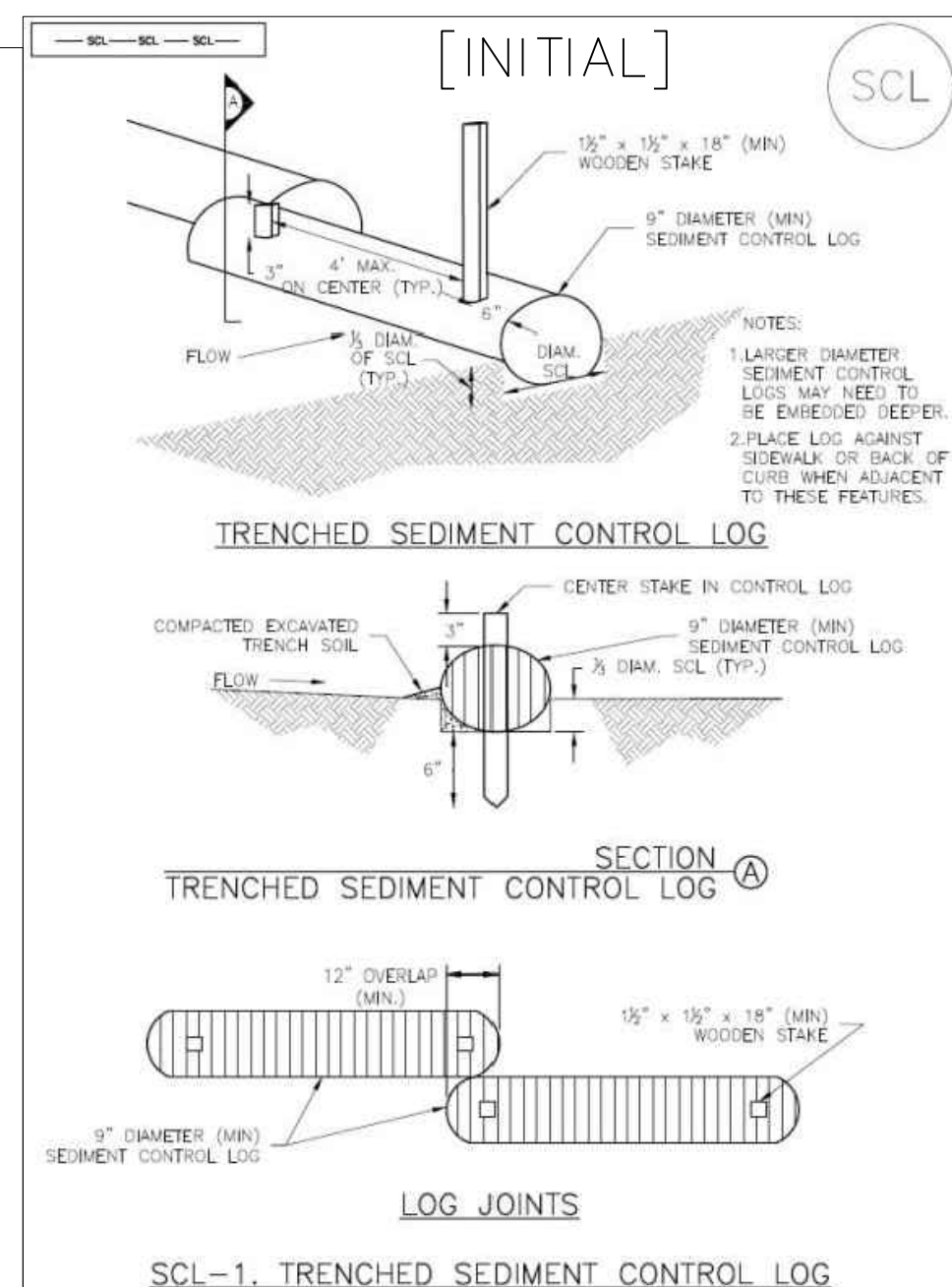
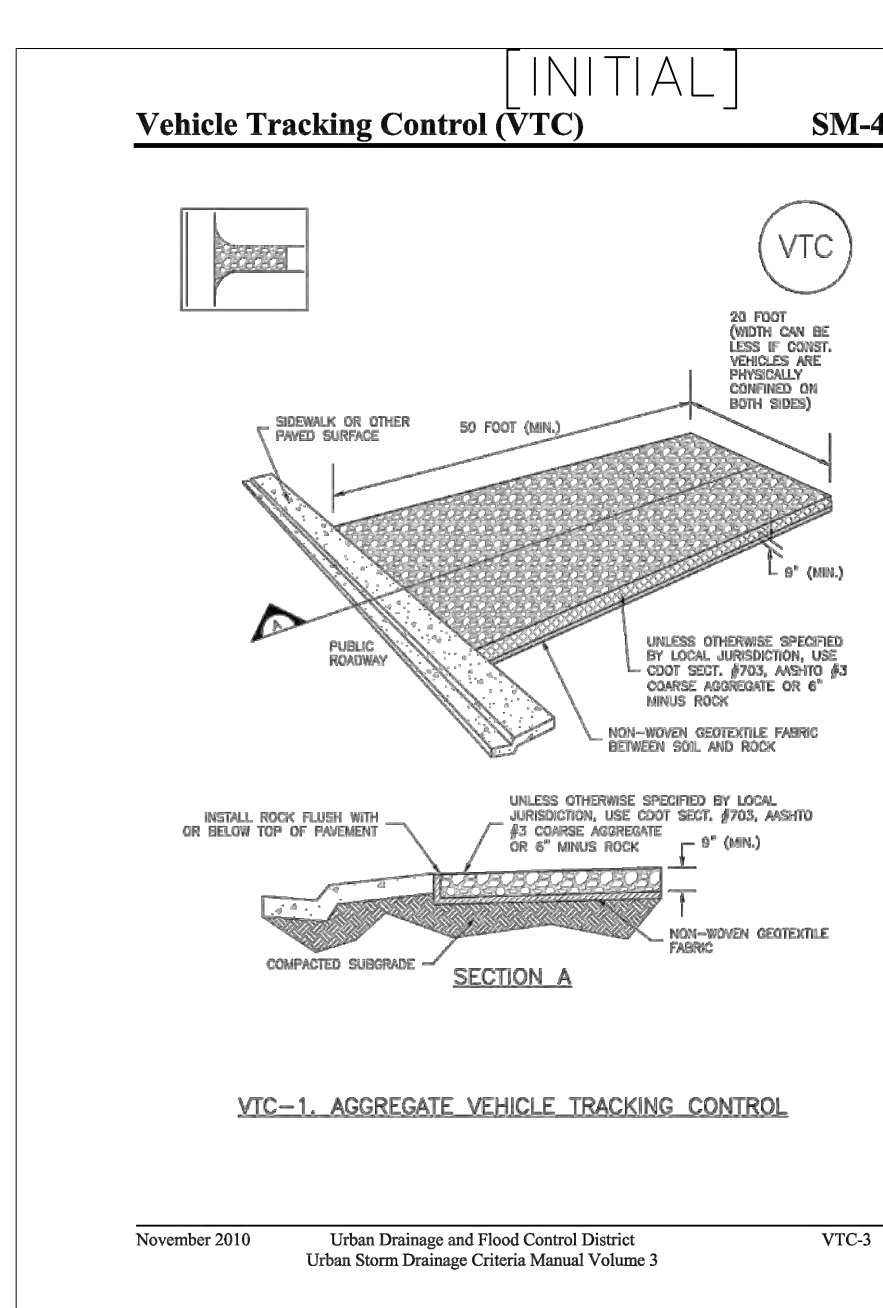
#	REVISION DESCRIPTION	DATE

113 HIGHLANDS WAY  
MOUNTAIN VILLAGE, CO  
OVERALL SITE GRADING &  
EROSION CONTROL PLAN

PROJ.# 21128  
DESIGNED BY BMB | GMR  
DRAWN BY GMR  
DATE 10/03/21  
DRAWING NUMBER

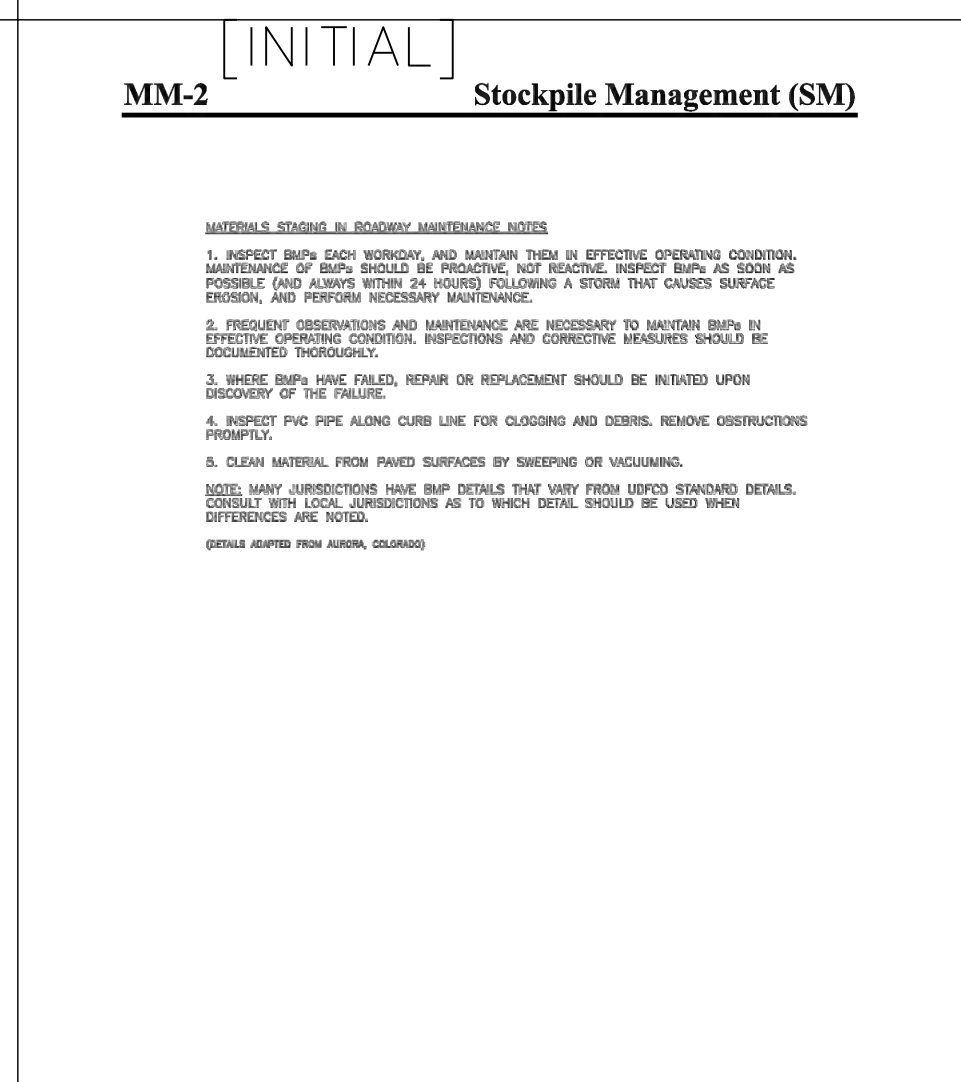
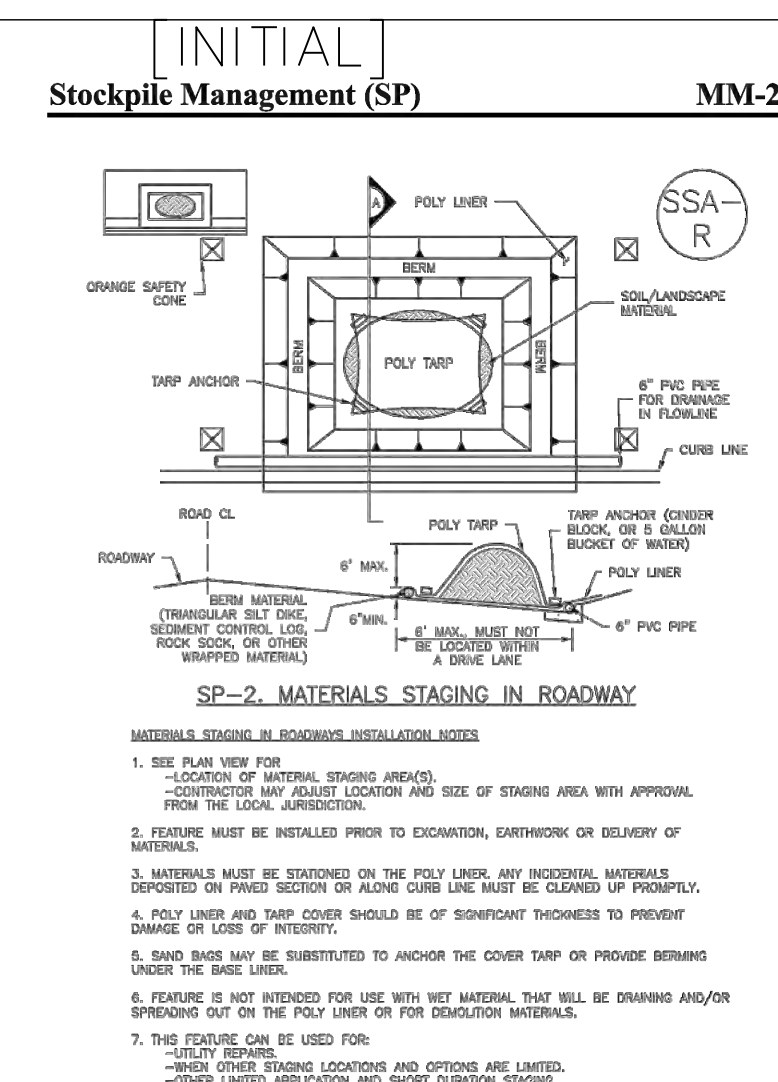
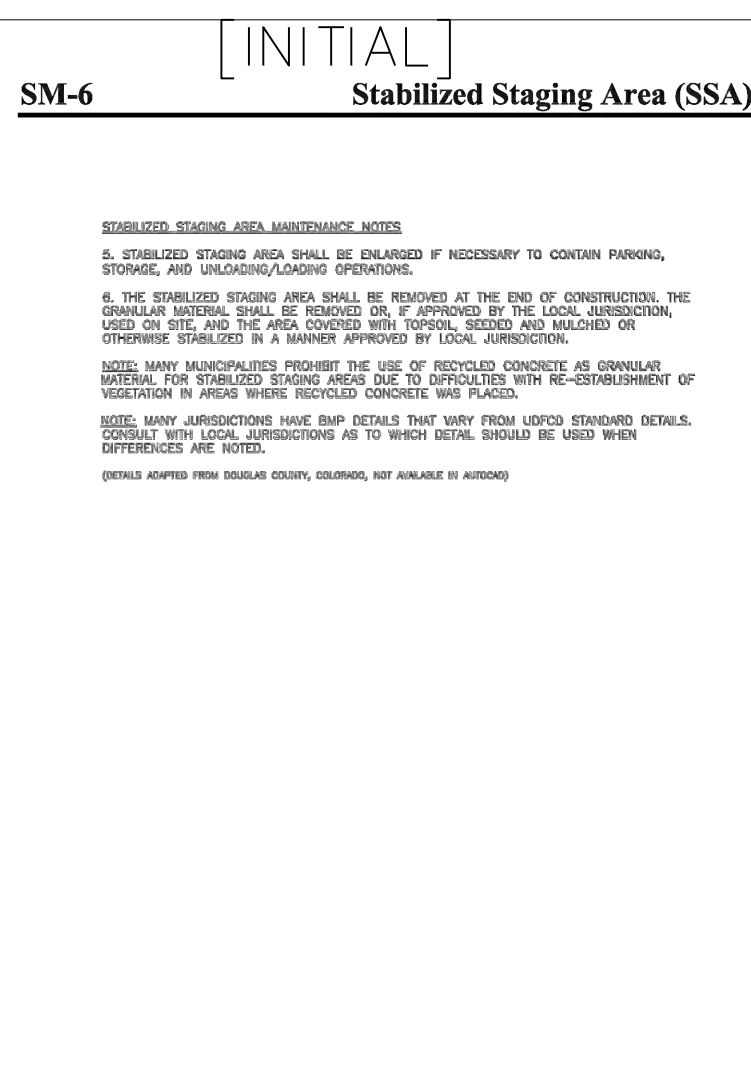
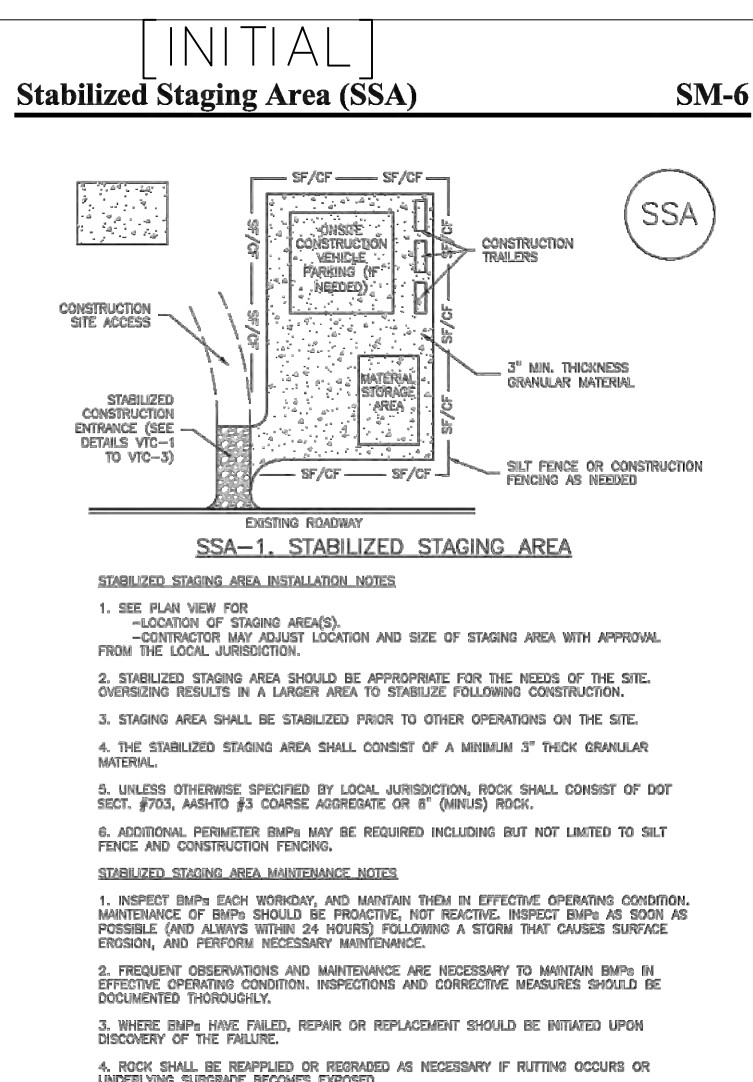
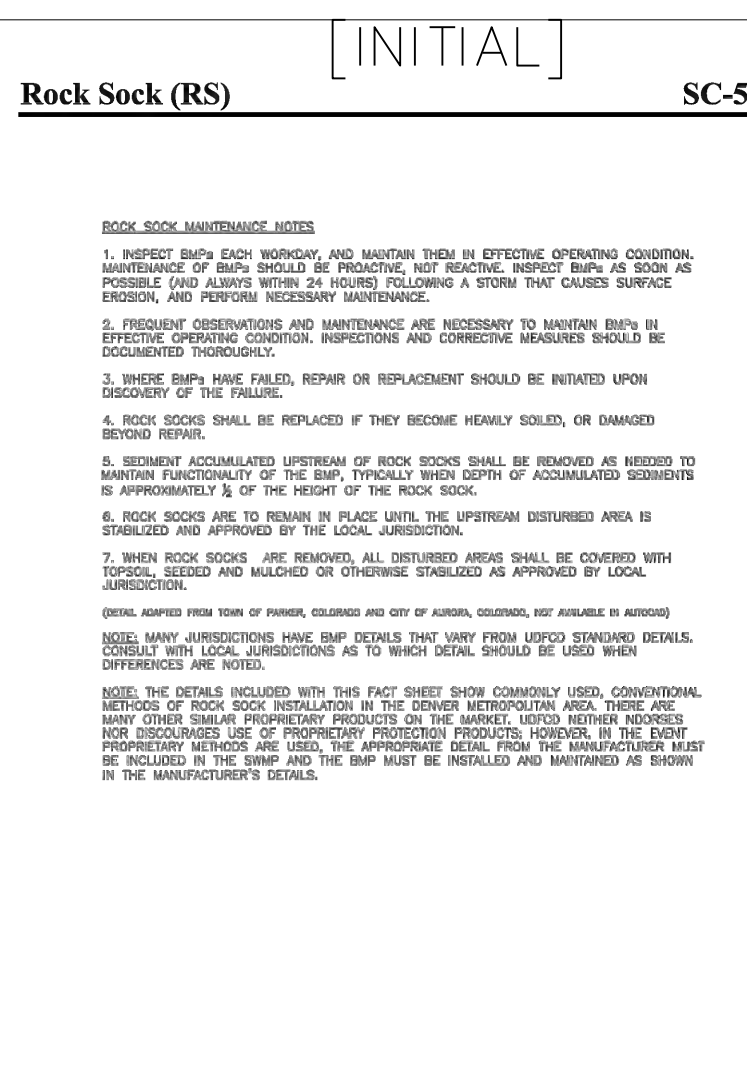
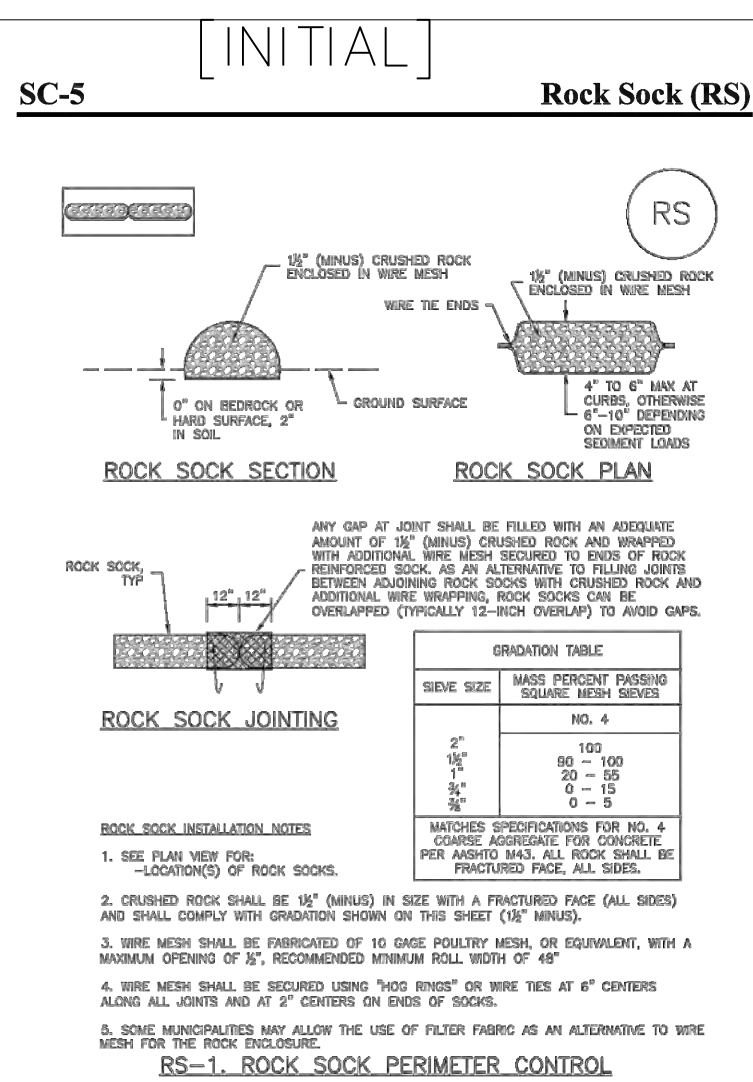
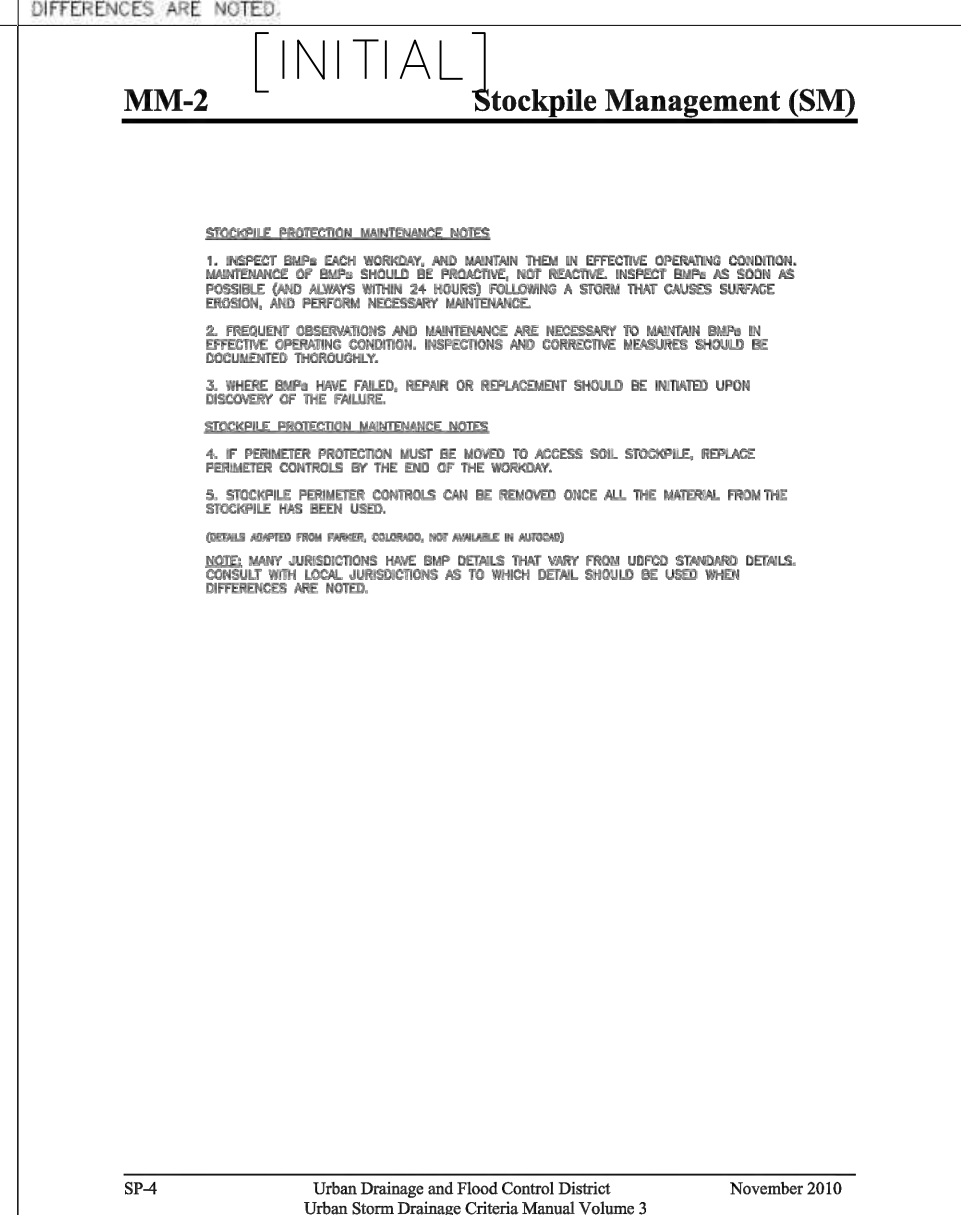
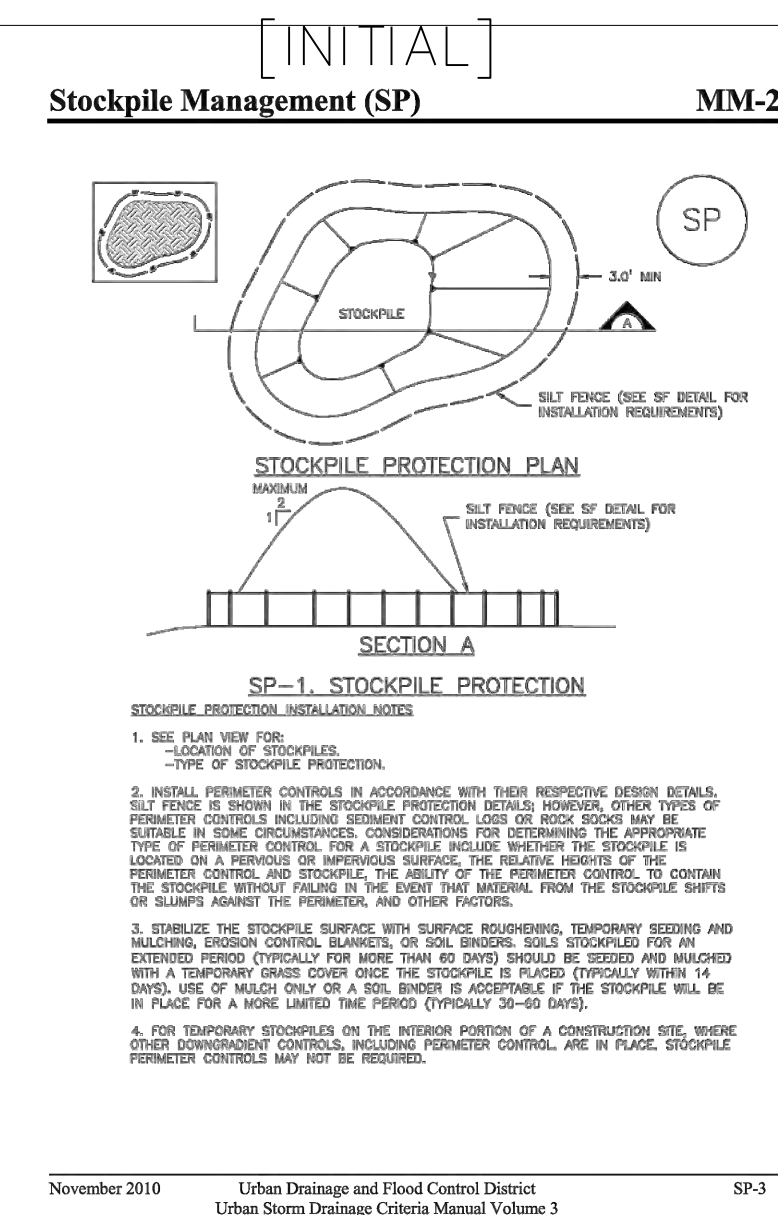
C1.6



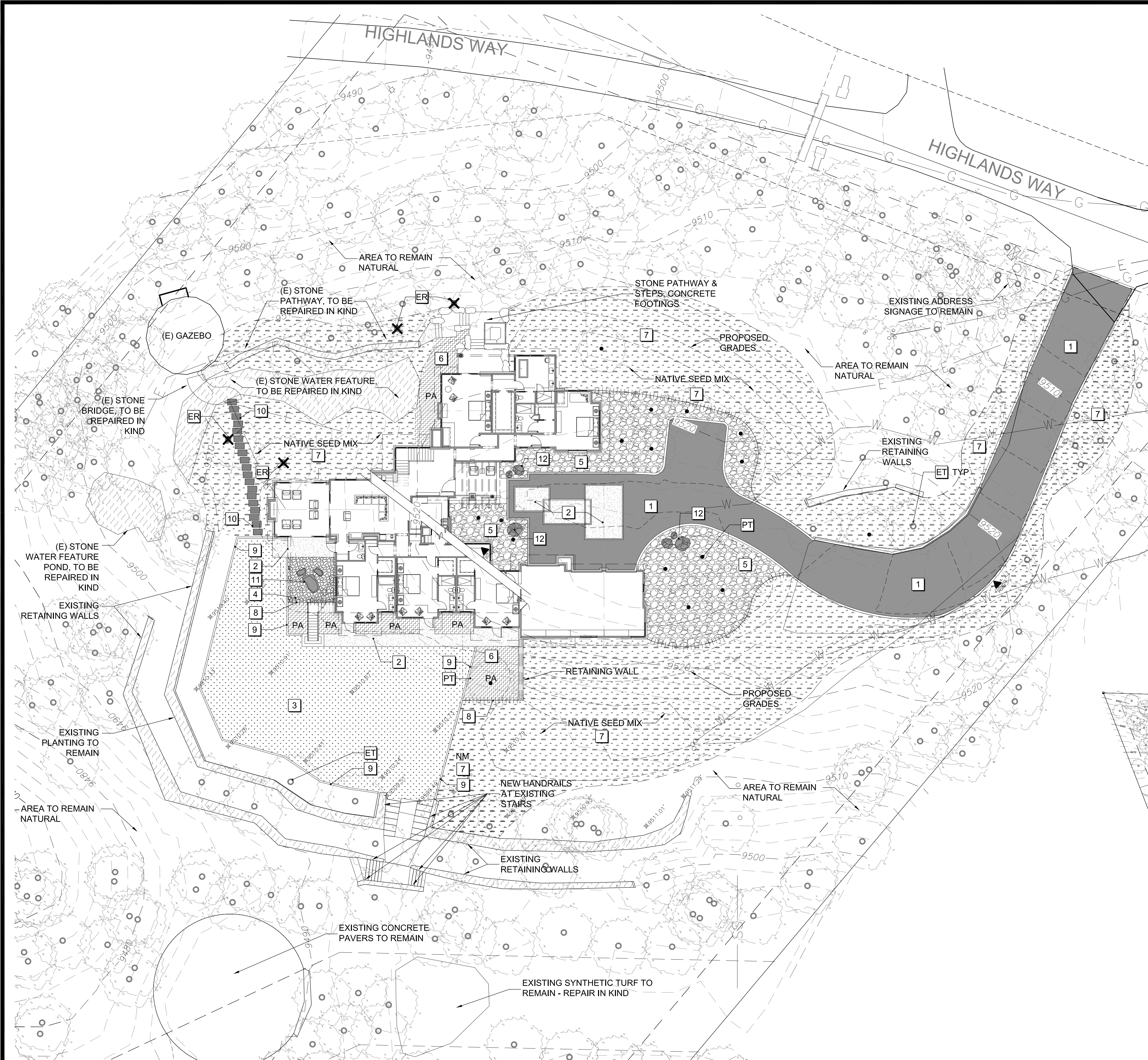


[ FINAL ]		
CONIFER SEED MIX:		
<u>SPECIES</u>	<u>VARIETY</u>	<u>% OF MIX</u>
ARIZONA FESCUE	REDONDO	20
WESTERN WHEATGRASS	ROSANA	15
BIG BLUEGRASS	SHERMAN	15
SHEEP FESCUE	COVAR	15
BLUE GRAMA	LOVINGTON	15
SLENDER WHEATGRASS	SAN LUIS	10
MOUNTAIN HOME	BROMAR	10
TOTAL:		100

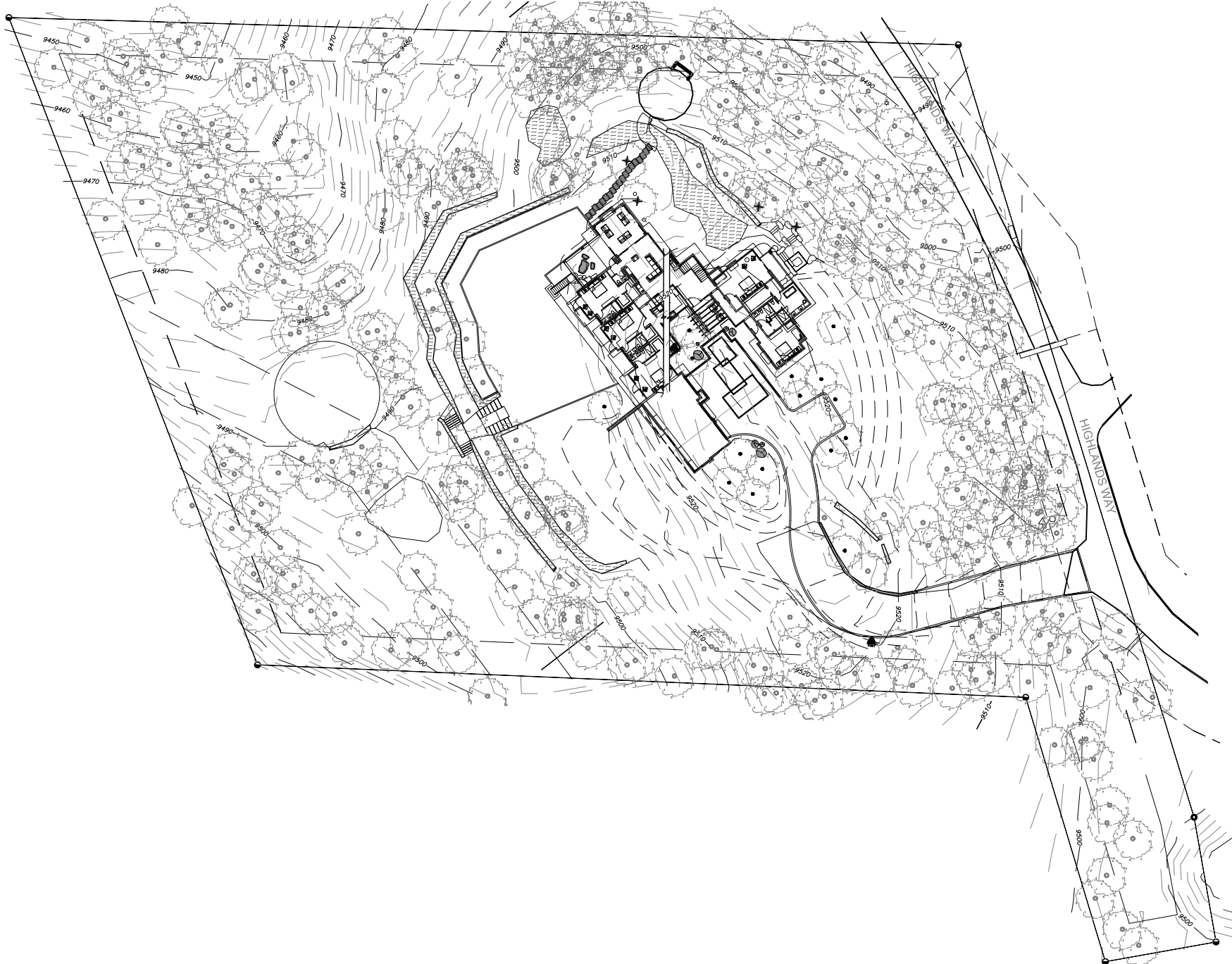
PLS LBS/ACRE (DRILLED PLANTING)	PLS LBS/ACRE (BROADCAST)
0.9	1.8
2.4	4.8
0.5	1.0
0.7	1.4
0.5	1.0
1.1	2.2
1.9	3.8
8.0 LBS/ACRE	16.0 LBS/ACRE







MATERIAL LEGEND		
KEY	SYMBOL	DESCRIPTION
1		ENTRY DRIVE - CONCRETE ASPHALT PAVING WITH AGGREGATE BASE
2		NATURAL STONE PAVING W/ CONCRETE BASE
3		TURF LAWN - SOD TURF WITH OVERHEAD SPRAY IRRIGATION SYSTEM
4		3/8" PATHWAY FINES - WEED BARRIER FABRIC IS TO BE PLACED BELOW ALL AREAS
5		RIVER COBBLE - VARIABLE SIZED RIVER COBBLE PLANTING GROUND COVER
6		PLANTING AREA - GROUND COVERS, GRASSES & SHRUBS. INDIVIDUAL PLANS ARE TO BE SERVICED WITH DRIP IRRIGATION EMITTERS & BUBBLERS. SEE PLANTING PLANS
7		NATIVE SEED MIX TO REPAIR DISTURBED AREAS FORM CONSTRUCTION ACTIVITIES. SEE PLANTING PLANS FOR MIX DESIGN
8		4" DEEP ALUMINUM OR APPROVED EQUAL EDGE CONSTRAINT WITH 8" MIN STAKES AT PLANTING AREAS & LAWNS
9		6" CONCRETE MOW BAND
10		2"x4" THICK GREY RECTANGULAR STONE PAVER, SET ON 1-2" OF COMPACTED SAND OR BASE ROCK
11		BOULDER ARRANGEMENT
12		RIVER ROCK BOULDER
ET		EXISTING TREE - PROTECT IN PLACE. IF IRRIGATION LINES OCCUR UNDER THE DRIPLINE OF THE TREE, TRENCHING IS TO BE HAND DUG.
ER		EXISTING TREE TO BE REMOVED
PT		PROPOSED TREE - SEE PLANTING PLAN



1 LANDSCAPE MATERIAL PLAN

1/16"=1'-0" NORTH

2 SITE PLAN

1/64"=1'-0" NORTH

THE DRAWING AND DESIGN WITHIN THIS HARD COPY OR DIGITAL FILE IS THE PROPERTY AND CREATION OF MHK ARCHITECTURE & PLANNING AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF MHK ARCHITECTURE & PLANNING. © 2021

CONSULTANT:

HICKS RESIDENCE  
ARTISAN BUILDERS  
113 HIGHLANDS WAY  
MOUNTAIN VILLAGE, CO. 81435

MATTHEW HOWARD KRAGH  
COLORADO SEAL  
# ARC.00405289

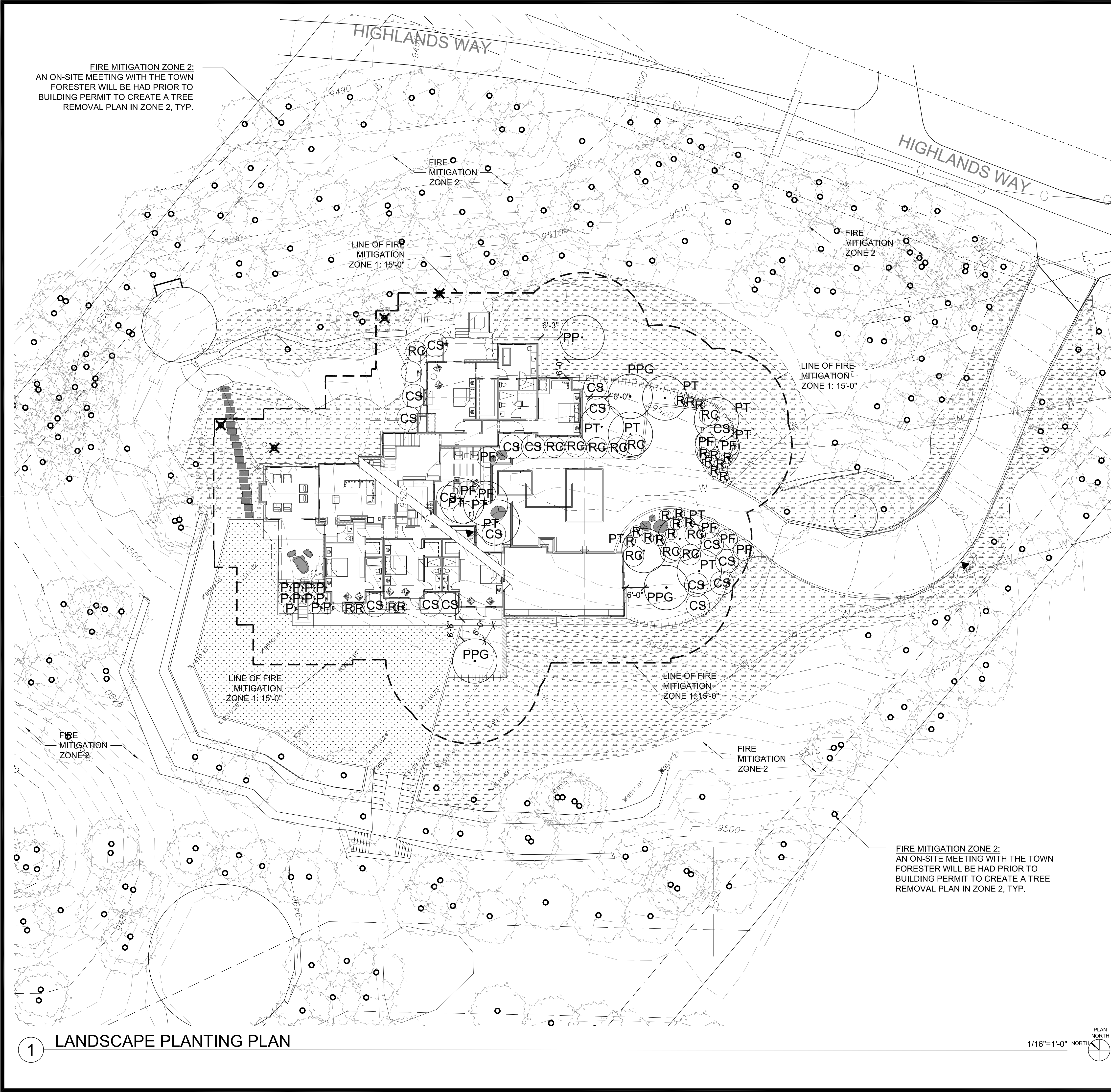
NOT FOR  
CONSTRUCTION

DATE:	10-27-21
ISSUE:	10-27-21
PLANING SUBMITTAL	01-21-22
PLANING SUBMITTAL	
PLANING SUBMITTAL	
PLANING SUBMITTAL	

DRAWN BY:  
CHECKED BY:

PHASE: DD  
PR NO: 21155





PLANTING LEGEND

TREES				
KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
AG	ACER TATARICUM GINNALA 'FLAME'	AMUR MAPLE	1	24" BOX
PP	PICEA PUNGENS	COLORADO SPRUCE	1	24" BOX
PPG	PICEA PUNGENS GLAUCA	BLUE SPRUCE	3	24" BOX
PT	POPULUS TREMULOIDES	QUAKING ASPEN	11	24" BOX

SHRUBS				
KEY	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
CS	CORNUS SERICEA	RED DOGWOOD	18	5 GAL
J	JUNIPERUS COMMIS	COMMON COMMON JUNIPER	14	5 GAL
PF	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	8	5 GAL
P	PTERIDIUM AQUILINUM	BRAKEN FERN	11	5 GAL
RC	RIBES CEREUM	WAX CURRANT	13	5 GAL
R	ROSA WOODSII	WOODS' ROSE	23	5 GAL

GROUND COVERS		
KEY	SYMBOL	DESCRIPTION
		TURF LAWN - SOD TURF WITH OVERHEAD SPRAY IRRIGATION SYSTEM
		PLANTING AREA - SEED MIX: WESTERN YARROW 5%, TALL FESCUE 10%, ARIZONA FESCUE 5%, HARD FESCUE 5%, CREEPING RED FESCUE 10%, ALPINE BLUEGRASS 15%, CANADA BLUEGRASS 10%, PERENNIAL RYEGRASS 15%, SLENDER WHEATGRASS 10%, MOUNTAIN BROME 15%

- GENERAL LANDSCAPE NOTES:
- ALL PLANTING AREAS ARE TO RECEIVE IRRIGATION IN ACCORDANCE WITH THE COMMUNITY DEVELOPMENT CODE PER TITLE 17 OF TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE.
  - ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY PROJECT ARCHITECT.
  - ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
  - NECESSARY TREES SHALL BE STAKED WITH 4 FOOT METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
  - PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC.
  - FERTILIZER AT A 2:1 RATIO.
  - SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES. MULCH ALL PERENNIAL BEDS WITH A PINE.
  - BARK SOIL CONDITIONER; SHREDDED BARK.
  - ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
  - ALL PLANTED MATERIALS SHALL BE A NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY.
  - NOXIOUS WEED LIST. LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH SECTION 9-109 OF
  - THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
  - ALL NEW PLANTED ASPEN TREES TO BE MULTI-STEM TREES.

- REVEGETATION NOTES:
- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
  - TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REVEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
  - BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN TEN DAYS) TO MINIMIZE EROSION AND WEEDS.
  - AREAS WHICH HAVE BEEN COMPACTED, OR ARE RELATIVELY UNDISTURBED, NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
  - BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING.
  - STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY AND 2 TONS PER ACRE FOR STRAW, CRIMP IN.
  - ON SLOPES GREATER THAT 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
  - ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.

- FIRE MITIGATION NOTES:
- ZONE 1:
- ALL SLASH AND FLAMMABLE VEGETATION SHALL BE REMOVED FROM ZONE 1.
  - ALL TREES AND SHRUBS LOCATED WITHIN ZONE 1 SHALL BE REMOVED.
- ZONE 2:
- DOMINANT AND CODOMINANT LIVE TREES WITH A DBH OF FOUR INCHES (4") OR GREATER SHALL BE SPACED WITH A TEN FOOT (10') CROWN-TO-CROWN SEPARATION. ALL LADDER FUELS AND SLASH SHALL BE REMOVED FROM THE TEN FOOT (10') CROWN-TO-CROWN SEPARATION AREA.
  - ALL STRESSED, DISEASED, DEAD OR DYING TREES AND SHRUBS, AS IDENTIFIED BY STAFF, SHALL BE REMOVED EXCEPT FOR STANDING DEAD TREES THAT STAFF INDICATES NEED TO BE MAINTAINED SINCE STANDING DEAD TREES PROVIDE IMPORTANT WILDLIFE HABITAT.
  - SHRUBS OVER FIVE FEET (5') TALL SHALL HAVE AN AVERAGE SPACING OF TEN FEET (10') FROM SHRUB-TO-SHRUB.
  - TREES REMAINING WITHIN ZONE 2 SHALL HAVE BRANCHES PRUNED TO A HEIGHT OF TEN FEET (10'), BUT NOTWITHSTANDING SAID HEIGHT REQUIREMENT, BRANCHES NEED NOT BE PRUNED TO MORE THAN ONE-THIRD (1/3) OF THE TREE HEIGHT WITH THE FOLLOWING EXCEPTIONS:
    - ASPEN TREES
    - ISOLATED SPRUCE AND FIR TREES.

MHK

ARCHITECTURE & PLANNING

400 EAST HYMAN AVE.  
SUITE C-101  
ASPEN, CO 81611  
PHONE: (970) 710-2813  
WWW.MHKAP.COM

THE DRAWING AND DESIGN WITHIN THIS HARD COPY OR DIGITAL FILE IS THE PROPERTY AND CREATION OF MKH ARCHITECTURE & PLANNING AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF MKH ARCHITECTURE & PLANNING. © 2021

CONSULTANT:

HICKS RESIDENCE  
ARTISAN BUILDERS  
113 HIGHLANDS WAY  
MOUNTAIN VILLAGE, CO. 81435

MATTHEW HOWARD KRAUGH  
COLORADO SEAL  
# ARC.00405289

NOT FOR CONSTRUCTION

DATE:  
10-27-21  
01-21-22

ISSUE:  
PLANNING SUBMITTAL  
PLANNING SUBMITTAL

DRAWN BY:  
CHECKED BY:

PHASE: DD  
PR NO: 21155

L-2





AGENDA ITEM 6  
**PLANNING & DEVELOPMENT SERVICE**  
**PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Mountain Village Design Review Board

**FROM:** Amy Ward, Senior Planner

**FOR:** Design Review Board Public Hearing; February 3, 2022

**DATE:** January 24, 2022

**RE:** Staff Memo – Initial Architecture and Site Review (IASR) Lot 600BR-11R,  
22 Trails Edge Lane

## APPLICATION OVERVIEW: New Single-Family Home on Lot 600BR-11R

### **PROJECT GEOGRAPHY**

**Legal Description:** LOT 600BR-11-R, TRAIL'S EDGE AT DOUBLE CABINS, ACCORDING TO THE PLAT RECORDED NOVEMBER 11, 2004 IN PLAT BOOK 1 AT PAGE 3385 AND ACCORDING TO THE LOT LINE ADJUSTMENTS FOR LOTS 600BR-9 & 600BR-11, TRAIL'S EDGE AT DOUBLE CABINS RECORDED JULY 25, 2014 IN PLAT BOOK 1 AT PAGE 4659, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**Address:** 22 Trail's Edge Lane

**Applicant/Agent:** Jack Wesson, Jack Wesson Architects Inc.

**Owner:** Trey and Tina Mosbach Revocable Trust

**Zoning:** Single Family

**Existing Use:** Vacant

**Proposed Use:** Single Family

**Lot Size:** .34 acres

**Adjacent Land Uses:**

- **North:** Single Family
- **South:** Single Family
- **East:** Open Space
- **West:** Single Family



*Figure 1: Vicinity Map*

### **ATTACHMENTS**

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comm



**Case Summary:** Jack Wesson of Jack Wesson Architects is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single family home on Lot 600BR-11R, 22 Trail's Edge Lane. The Lot is approximately .34 acres and is zoned single family. The overall square footage of the home is approximately 4,914 gross square feet, with 4,314 livable square feet, and provides 2 interior parking spaces within the proposed garage and 2 exterior spaces.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. **Please note that Staff comments will be indicated by *Italicized Text*.**

*Table 1*

<b><u>CDC Provision</u></b>	<b><u>Requirement</u></b>	<b><u>Proposed</u></b>
<b>Maximum Building Height</b>	40' (gable) Maximum	38'
<b>Maximum Avg. Building Height</b>	35' (gable) Maximum	23' ½"
<b>Maximum Lot Coverage</b>	40% (5,976 s.f.)	25% (3733 s.f.)
<b>General Easement Encroachments</b>	None	Grading, hardscaping, landscaping
<b>Setback Encroachments</b>	None	Grading, parking, landscaping
<b>Roof Pitch</b>		
Primary		5.5:12
Secondary		3:12
<b>Exterior Material</b>		
Stone	35% minimum	38.84%
Windows/Doors	40% maximum	21.22%
<b>Parking</b>	2 interior/2 exterior spaces	2/2

**Design Variations:**

1. Landscaping – Diversity of Species

**DRB Specific Approval:**

1. Tandem parking
2. Setback encroachments – Grading, parking and landscaping
3. GE Encroachments – Grading and landscaping

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of shed roof forms. Homes with a primary shed roof form are granted a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.



*Staff: Staff has determined that the primary roof form for this home is a gable and therefore granted a maximum height of 40 feet. The applicant has calculated a max height of 38' and a max average height of 23' ½", which would meet the requirements for both max and max average height. The plan set demonstrates height compliance with a parallel plane analysis that shows both existing and proposed grade, however these grade lines don't seem to accurately represent the grade below. The applicant should revise these drawings prior to final review to prove compliance with all height regulations.*

#### **17.3.14: General Easement Setbacks**

Lot 600BR-11R is burdened by a sixteen (16) foot setback to the east and south and an 8' setback to the north and west. There is also an additional approximately 80' GE to the east that overlays the 16' setback area. This GE is primarily as a buffer for the ski lift (Lift 10) that runs from north to south across the Lot. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Driveways, Ski Access, Utilities, Address Monuments, and Fire Mitigation.

*Staff: It should be noted that the both the 16' setback and the 80' GE are to the benefit of Telski. The 8' setback areas are to the benefit of the HOA. The beneficiaries of the setback/GE areas need to authorize any encroachments in addition to DRB approval. The proposal includes setback encroachments that fall into the above category of CDC permitted setback development activity including the following:*

- *Driveway: A portion of the driveway is within the setback area on the NW corner of the lot.*
- *Utilities: Some utilities were noted on the site plan in the NW corner of the lot, however a complete utilities plan was not provided. It is assumed that utilities would cross the setback area to the home.*
- *Ski Access: There is an existing ski access in the setback area to the north of the home.*

*In addition to the above, the proposal also includes setback/GE encroachments that do not fall into the above category of permitted Setback/GE development and would require DRB specific approval:*

- *Grading is shown in the eastern GE as well as the western setback, this appears to be the minimum necessary to create positive drainage away from the house.*
- *Planters, Patio and Stairs – the civil drawings show a planter, patio and stairs that encroach into the eastern GE. Staff is not recommending approval of these encroachments at this time (see Telski comments attached).*
- *Hot Tub – the landscape plan shows a hot tub that encroaches into the eastern GE. Staff is not recommending approval of this encroachment at this time (see Telski comments attached).*
- *Parking – a portion of a parking space encroaches into the NW setback area.*
- *Landscaping – there is additional planting shown in the south and west setback area and the east GE area.*



*It should be noted that regardless of the encroachment, the DRB can waive the GE setback or other setbacks and allow for prohibited activities if it is determined that the applicant has demonstrated hardship and mitigated off-site impacts. Any home with foundation walls within 5' of the GE or setback will require a footer survey prior to pouring concrete to ensure there are no additional encroachments into the setback area.*

## **Chapter 17.5: DESIGN REGULATIONS**

### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: The primarily stone and stained wood exterior of this home give the exterior a typical alpine feel, while small accents of structural steel and steel cladding contemporize the form a bit. The front entry of the home presents with multiple gable roof forms that are somewhat reminiscent of a tiny traditional alpine village. Staff feels that this home will fit well within the existing neighborhood and is meeting the overall elements of the Town design theme.*

### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into the existing landforms and vegetation.

*Staff: The rooflines generally step up from the entrance and edge of road to the max roof height and then back down towards the side of the home facing the ski run. A large portion of the east side of this lot intersects with the ski run under lift 10 so there aren't many trees here for lift safety reasons, which might make the home seem a bit more visible than it would otherwise appear on a naturally vegetated lot, but staff feels it is generally meeting these requirements.*

### **17.5.6: Building Design**

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

*Staff: With over 38% stone cladding this home has a distinctly grounded feel. The large elevated deck on the NE side of the home takes away from that groundedness a bit, however the angled structural support columns lead the eye back towards the foundation of the home and help counteract the elevated feel of the deck. Windows that show as punched out of the stone surface, with a large reveal will also help to portray walls with the desired heavy, thick massing. The applicant should include a detail of this window recess prior to final to ensure that the requirements of the CDC are being met.*

### **17.5.7: Grading and Drainage Design**

*Staff: There is grading shown in both the eastern GE and the western setback area. This appears to be the minimum necessary to create positive drainage away from the house. If DRB finds this encroachment tolerable than a specific approval should be granted.*



#### **17.5.8: Parking Regulations**

*Staff: The applicant has shown two interior and two exterior parking spaces on their plan. The exterior spaces are shown in a tandem format. A portion of one of these spaces also encroaches into a setback area. Both of these concessions require DRB specific approval. The lot is .34 acres, within the allowable size for the tandem parking variation. Given that the eastern third of the lot is encumbered by a GE, staff believes that this variation is supportable. If DRB agrees, then a specific approval should be granted.*

#### **17.5.9: Landscaping Regulations**

*The applicant has included a preliminary landscaping plan. The plan focuses most of the planting along the driveway and between the home and the ski access trail to the north. The diversity of species clause is not being met. The species of spruce tree to be planted has not been identified, this should be updated prior to final review. It should be noted that there are proposed new plantings within the southern setback and eastern GE that would need to be approved by Telski, and likely an encroachment between the homeowner and Telski would need to be entered into. Staff recommends approving a design variation to the landscaping regulations for the diversity of species.*

#### **17.5.11: Utilities**

*Staff: a utility plan was not provided and should be prior to final review.*

#### **17.5.12: Lighting Regulations**

*Staff: The lighting plan consist of two types of fixtures, a wall mounted sconce and a step light. A photometric study was provided. The plan appears to be meeting the lighting regulations of the CDC, however full cut sheets should be provided for each fixture to verify compliance.*

#### **17.5.13: Sign Regulations**

*Staff: An address monument detail was not included and should be provided prior to final review.*

### **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

#### **17.6.1: Environmental Regulations**

*Staff: Fire Mitigation and Forestry Management: The applicant appears to be meeting al fire mitigation requirements. They have not indicated which trees in Zone 2 are to be removed, and should work with the Town Forrester prior to building permit to designate specific trees for removal.*

#### **17.6.6: Roads and Driveway Standards**

*Staff: The driveway is shown at 15' wide with a consistent grade of 1.93%. It is unclear whether there is truly a 25' back-up space from both bays of the garage, but otherwise appears to be meeting all of the road and driveway standards.*

#### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: There is a gas hook-up for a future fire pit on the deck. There appear to be two fireplaces inside the home (living room and master bedroom) however neither indicates a fuel source. This should be clarified before final review.*

### **Chapter 17.7: BUILDING REGULATIONS**

#### **17.7.19: Construction Mitigation**

*Staff: The construction mitigation plan shows required material staging, dumpster, bear-proof trash receptacles, and a port a toilet. The plan includes 3 parking spaces. There is*



*construction fencing encircling the entirety of the site and appropriate silt fencing indicated. Tree protection is indicated. The area of construction staging to the east of the home is a GE area still to the benefit of Telski, the applicant will need to obtain permissions from Telski for this use. Additionally, because the construction fencing extends into the 35' ski lift airspace, it would need to be removed or relocated prior to the operation of the lift in winter. It should be noted that all disturbances in GE and setback areas will need to be revegetated per Town code.*

**Staff Recommendation:** Staff recommends the DRB approve the Initial Architectural and Site Review for Lot 600BR-11R, 22 Trails Edge Lane, based on the findings and CDC requirements listed in the staff memo of record.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

**Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot 600BR-11R, based on the evidence provided within the Staff Report of record dated January 24, 2022, with the following design variations and DRB specific approvals:

**Design Variations:**

1. Landscaping – Diversity of Species

**DRB Specific Approval:**

1. Tandem parking
2. Setback encroachments – Grading, parking and landscaping
3. GE Encroachments – Grading and landscaping

And, with the following conditions:

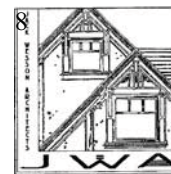
1. Prior to final review, the applicant shall revise the parallel plane diagrams to accurately represent both existing and proposed grade and to better demonstrate compliance with all building height regulations.
2. Prior to final review, the applicant shall provide detail drawings showing the required reveal for doors and windows set in stone.
3. Prior to final review the applicant shall submit a utility plan.
4. Prior to final review the applicant shall revise the landscape plan to indicate spruce species.
5. Prior to the final submittal, the applicant shall pull the hot tub, patio and stairs out of the general easement per Telski's comments.
6. Prior to final review the applicant shall provide full size cut sheets for all lighting fixtures.
7. Prior to final review the applicant shall provide an address monument detail and location.
8. Prior to final review the applicant shall indicate fuel source for all fireplace devices.
9. Prior to building permit the applicant shall provide proof of approval and/or an encroachment agreement for any new plantings proposed in the setback/GE areas that are to the benefit of Telski.



10. Prior to building permit the applicant shall work with the Town Forrester to identify trees for removal in the Zone 2 fire mitigation area.
11. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
12. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
13. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
14. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
15. It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw





## NARRATIVE

10.25.21

To: Community Development Department  
Design Review Board  
Mountain Village, CO

From: Jack Wesson  
Jack Wesson Architects, Inc.  
110 S. Pine #100  
P.O. Box 2051  
Telluride, CO 81435  
(970) 519.1551  
jwesson@me.com.com

Re: Design Review Submission Narrative for a Single Family Residence  
Lot BR600-11, 22 Trails Edge, Mountain Village

This single family residence is proposed to be built on lot BR600-11 (lot size .34 acres). The interior gross heated area is approximately 4314 s.f., 100 s.f. of mechanical and 500 s.f. of gross garage area. The design esthetic is a rustic, mining vernacular in material and massing components as required by the Trails Edge Design covenants. The exterior materials incorporate stained wood siding and timbers, stone and mill-scale steel finish railings and rusted metal roofing (as required). Roof forms are traditional gable forms also compliant with the Trails Edge design requirements. The project is compliant with the Mountain Village Land Use Ordinance; the massing is within the maximum height limit (23'-0 1/2" ave. and 38'-0" max.) and the site coverage (3733/14942) is only 25.3%.

No variances are requested. All Fireplaces will be natural gas.


The exterior materials meet the surface area criteria:

stone veneer	38.84% (exceeds 35%)
fenestration	21.22%
wood	26.76%
metal accent	13.17%

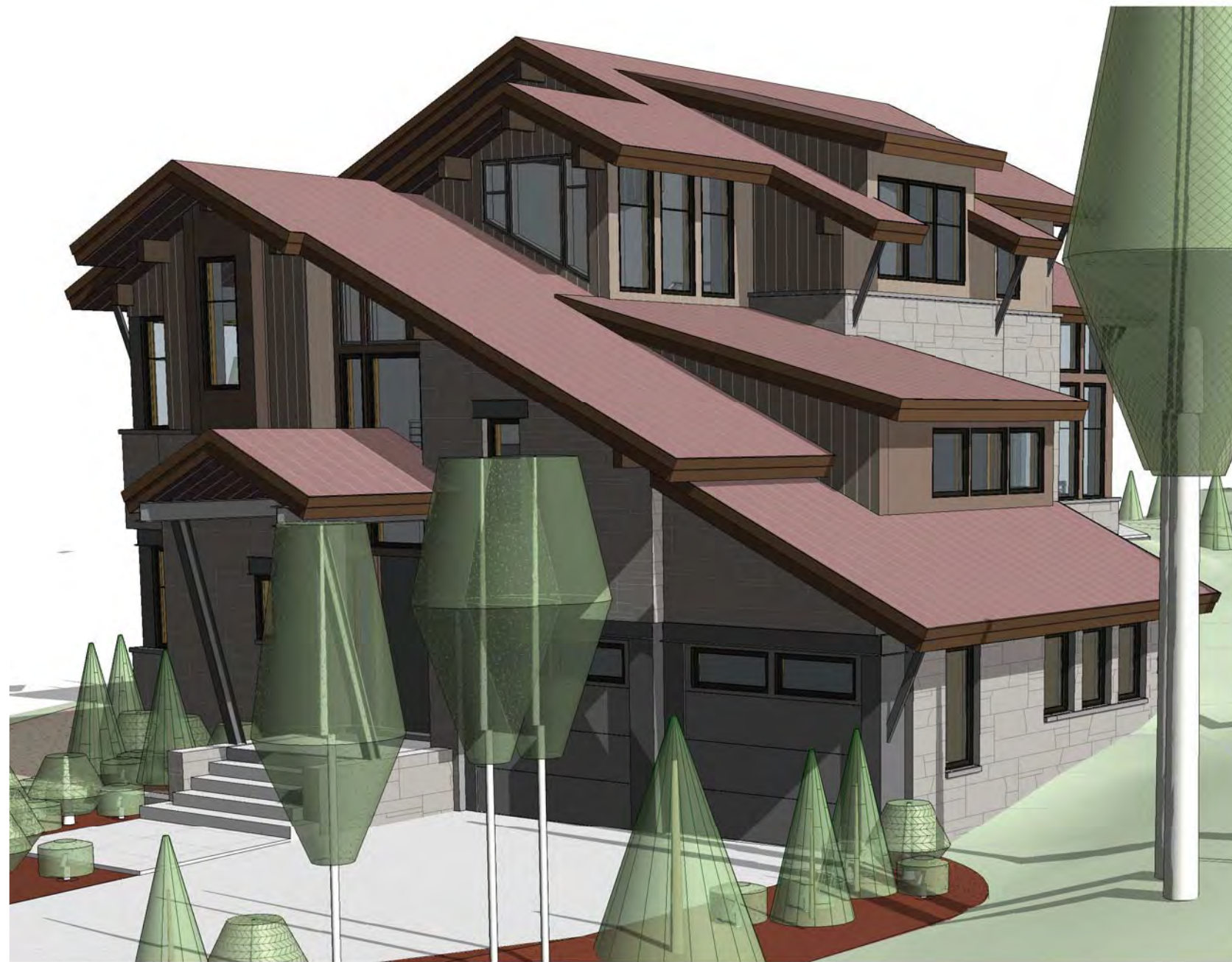
Lot Area:	14942 s.f. mol. (.34 acres)
Site Coverage:	3733 s.f. or 25.3%
Floor Area Living:	4314 s.f. plus 100 s.f. mechanical
Floor Area Garage	500 s.f.
Ave. Ht.	23'-0 1/2" (30' max. ave. allowed)
Max. Ht.	38'-0" (40' max. allowed)

Sincerely,  
Jack Wesson



BUILDING SUMMARY				CODE SUMMARY				DRAWING INDEX				VICINITY MAP			
SITE PERMIT NUMBER: -				BUILDING CODE: INTERNATIONAL RESIDENTIAL CODE (2012) INTERNATIONAL ELECTRICAL CODE (2012) INTERNATIONAL FIRE CODE (2012) INTERNATIONAL MECHANICAL CODE (2012) INTERNATIONAL PLUMBING CODE (2012)				<b>ARCHITECTURAL</b> A000 PROJECT DATA, DRAWING INDEX, PROJECT DIRECTORY SURVEY A100 SITE PLAN A101 CONSTRUCTION STAGING PLAN A102 FIRE MITIGATION PLAN A103 LANDSCAPE & IRRIGATION PLANS A104 EXTERIOR LIGHTING PLAN A105 SNOW MELT PLAN  A201 ENTRY LEVEL PLAN A202 2ND AND 3RD LEVEL FRAMING PLANS A203 4TH LEVEL FRAMING PLAN A204 ROOF FRAMING PLAN A205 AREA ANALYSIS  A300 HEIGHT CALCS A301 ELEVATIONS A302 ELEVATIONS A305 MATERIAL CALCS  A600 DETAILS A601 WINDOW DETAILS A602 EXTERIOR DOOR DETAILS  A900 MATERIAL SAMPLE PHOTOS AND CUT SHEETS				<b>CIVIL</b> C1 NOTES C2 GRADING PLAN AND DRIVEWAY PROFILE C3 UTILITIES			
BUILDING PERMIT NUMBER: -															
PROJECT ADDRESS: TBD TRAIL'S EDGE															
BLOCK: -															
LOT: 600BR-11-R															
LOT AREA: 14,942 SQ. FT.				ENERGY CODE: NATIONAL ENERGY CODE (2017)				GN16- UNLESS OTHERWISE NOTED, DIMENSIONS ARE ASSUMED TO BE:  A. PLUMB B. LEVEL C. SQUARE E. PARALLEL F. TO ESTABLISHED AXES OR BASELINES AS ESTABLISHED BY DIMENSIONAL OR ANGULAR NOTATIONS  GN17- ALL GLASS MUST CONFORM TO CODE REQUIREMENTS FOR SAFETY GLAZING.  GN18- MATERIALS, WHERE REQUIRED, ARE TO HAVE AN UL LABEL IN AN INCONSPICUOUS BUT VISIBLE LOCATION.  GN19- SIZES, DIMENSIONS, LOCATIONS, AND DETAILS OF PLANTERS, TREE GATES, CONCRETE FINISH, TILE PATTERNS, GRADING, SITE LIGHTING, ETC., ASSOCIATED WITH LANDSCAPE ARE SHOWN ON LANDSCAPE DRAWINGS.  GN20- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF UTILITY LINES, AGGREGATE BASES, SPOT ELEVATIONS ETC., ASSOCIATED WITH CIVIL ARE SHOWN ON THE CIVIL DRAWINGS.  GN21- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF STRUCTURAL MEMBERS, BEAMS, SLABS, WALLS, OPENINGS, ETC., ARE SHOWN ON STRUCTURAL DRAWINGS.  GN22- SIZES, DIMENSIONS, LOCATIONS AND DETAIL OF REGISTERS, DUCTS, EQUIPMENT, WALL OPENINGS, LOUVERS, ACCESS HATCHES, EQUIPMENT CURBS, VENTS, ETC., ASSOCIATED WITH HEATING VENTILATING AND AIR CONDITIONING ARE CONTAINED ON THE MECHANICAL DRAWINGS. COORDINATE LOCATION OF REGISTERS WITH ARCHITECTURAL REFLECTED CEILING PLAN.  SITE PLAN GENERAL NOTES SPGN01- CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS WITH EACH UTILITY AGENCY PRIOR TO EXCAVATION.  SPGN02- CONTRACTOR TO VERIFY ALL FLOOR ELEVATIONS PRIOR TO EXCAVATION.  SPGN03- CONTRACTOR TO PROTECT ALL TREES ON PROPERTY & ADJACENT PROPERTIES THAT EXTEND OVER PROPERTY LINE.  SPGN04- THE PROJECT SHALL COMPLY WITH THE TOWNS FIRE MITIGATION STANDARDS  SPGN05- THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.							
ZONING DISTRICT: SINGLE FAMILY				TYPE OF CONSTRUCTION: TYPE 5-B											
PROPOSED USE: RESIDENTIAL				OCCUPANCY: R-3											
NUMBER OF STORIES: 3				BUILDING AREA: 4,314 SF LIVING 4,914 TOTAL											
NUMBER OF SUB-LEVELS: 1				***FIRE SPRINKLERS REQUIRED***											
				130 LB GROUND SNOW LOAD, 90 MPH EXPOSURE C WIND, FROST DEPTH 48"											
ABBREVIATIONS & SYMBOLS				GENERAL NOTES				PROJECT AXONOMETRIC							
WALL, BUILDING OR MISCELLANEOUS SECTION NO. DRAWING NO.				GN01- CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.  GN02- MATERIALS AND ASSEMBLIES: ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, O.S.H.A. REQUIREMENTS, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUB-CONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.  GN03- CONTRACTOR TO REVIEW GEO-TECHNICAL REPORT FOR BUILDING SYSTEM RECOMMENDATIONS. SHOULD UNEXPECTED SITE CONDITIONS ARISE DURING EXCAVATION, THE ARCHITECT AND GEO-TECHNICAL ENGINEER SHALL BE NOTIFIED FOR A SITE EVALUATION OF EXISTING CONDITIONS.  GN04- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH THE FLOORS, CEILING AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS.  GN05- ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE GENERAL CONTRACTOR AND HIS/HER SUBCONTRACTORS. THEY SHALL BE ONE AND THE SAME.  GN06- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS AND THE CERTIFICATE OF OCCUPANCY.  GN07- THE CONTRACTOR SHALL COMPILE AND SUBMIT AS REQUIRED TO MANUFACTURERS AND OWNER ALL MATERIAL, FIXTURE AND APPLIANCE WARRANTIES.  GN08- THE JOBSITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS. THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOB SITE.  GN09- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT AND THE PROTECTION OF NEIGHBORING PROPERTIES.  GN10- THE CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.  GN11- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL NECESSARY ACCESS PANELS IN ALL PARTITIONS, FLOORS, CEILING, AND WALLS AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED FLUSH TO SURFACE WITH NO TRIM.  GN12- FOR THIS PROJECT, DATUM 100.00' IS SET AT FINISH FLOOR, MAIN LEVEL OF THE UNIT. GN13- DATUM ELEVATIONS ARE GIVEN TO TOP OF FINISH FLOOR. ALL OTHER FINISH MATERIALS ARE ADDED TO THESE GIVEN ELEVATIONS UNLESS OTHERWISE NOTED.  GN14- DO NOT OBTAIN DIMENSIONS BY SCALING DRAWINGS - USE WRITTEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE PROJECT ARCHITECT BEFORE THE COMMENCEMENT OF WORK.  GN15- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TAKEN TO THE FOLLOWING IN ORDER OF PRIORITY:  A. GRID LINES B. FLOOR LINES C. WORK POINTS D. STRUCTURAL STEEL E. FACE OF STUD F. FACE OF CONCRETE G. FACE OF FINISH											
INTERIOR ELEVATION NO. SHEET NO.															
ROOM NAME ROOM NO.															
DOOR NO.															
ELEVATION WINDOW NO.															
FRAME WALL															
BRICK/STONE VENEER															
SPOT ELEVATION															
ROOF SLOPE															
A.B.	AS BUILT / ANCHOR BOLT	MAX.	MAXIMUM												
A.C.T.	ACOUSTICAL CEILING TILE	MECH.	MECHANICAL												
ADJ.	ADJUSTABLE	MFG.	MANUFACTURER												
A.F.F.	ABOVE FINISH FLOOR	M.H.	MANHOLE												
ALT.	ALTERNATE	MIN.	MINIMUM												
ALUM.	ALUMINIUM	MISC.	MISCELLANEOUS												
BD.	BOARD	M.L. / ML	MICRO-LAM												
BLDG.	BUILDING	M.L.R./MB	MICRO-LAM BEAM.												
BOT.	BOTTOM	N.I.C.	NOT IN CONTRACT												
BYND.	BEYOND	NO.	NUMBER												
C.A.T.V.	CABLE TELEVISION LINE	N.T.S.	NOT TO SCALE												
C.J.	CONTROL JOINT	O.C.	ON CENTER												
C.M.U.	CONCRETE MASONRY UNIT	O.P.	OUTSIDE DIAMETER												
COL.	COLUMN	OPNG.	OPENING												
CONC.	CONCRETE	OPP.	OPPOSITE												
CONT.	CONTINUOUS	PERF.	PERFORATED												
CTR.	CENTER	P.L.	PROPERTY LINE												
DET.	DETAIL	P.LAM.	PLASTIC LAMINATE												
DIAG.	DIAGONAL ELECTRIC LINE	POL.	POLISHED												
EA.	EACH	PR.	PAIR												
E.J.	EXPANSION JOINT	PTD.	PAINTED												
EQ.	EQUAL	REQ'D.	REQUIRED												
EXP. JT.	EXPANSION JOINT	RM.	ROOM												
EXT.	EXTERIOR	R.O.	ROUGH OPENING												
FIN.FL/F.F.	FINISHED FLOOR	SCHED.	SCHEDULE												
FIN. GR.	FINISH GRADE FLOOR	SHT.	SHEET												
F.S.P.	FIRE STAND PIPE	SIM.	SIMILAR												
F.V.	FIELD VERIFY	SPEC.	SPECIFICATION												
GA.	GAUGE	SQ. FT.	SQUARE FEET												
GALV.	GALVANIZED	SQ. IN.	SQUARE INCHES												
GBX.	GYP SUM BOARD TYPEX	STD.	STANDARD												
GL.	GLASS	STL.	STEEL												
GB.	GYP SUM WALL BOARD	TC.	TOP OF CURB.												
H.C.	HOLLOW CORE	T & G.	TONGUE & GROOVE												
H.M.	HOLLOW METAL	T.O.C.	TOP OF CONCRETE												
HORIZ.	HORIZONTAL	T.O.S.	TOP OF SLAB												
HVAC.	HEATING VENTILATION	TYP.	TYPICAL												
I.D.	INSIDE DIAMETER	T.	TELEPHONE LINE												
IN.	INCH / INCHES	U.B.C.	UNIFORM BUILDING CODE												
INSUL.	INSULATION	U.N.O.	UNLESS NOTED OTHERWISE												
JT.	JOINT	VERT.	VERTICAL												
LAM.	LAMINATED	V.I.F.	VERIFY IN FIELD												
LAV.	LAVATORY	WD.	WOOD												



[illegible]

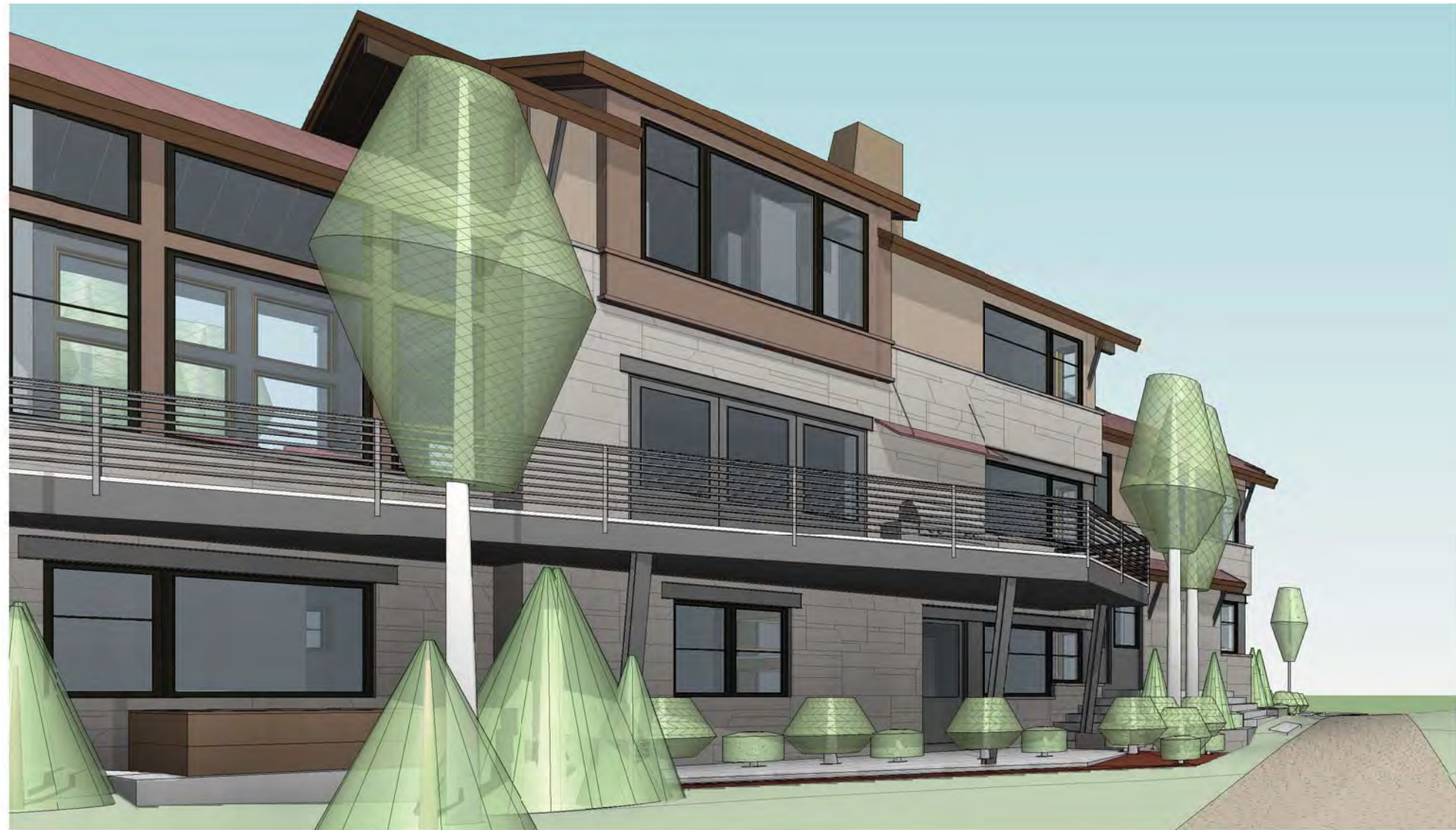




⑥ 3D View 10



⑤ 3D View 9



④ 3D View 8



⑦ 3D View 15



② 3D View 6



① 3D View 5

NOT FOR CONSTRUCTION



**JACK WESSON**  
ARCHITECTS INC.

TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

10-27-2021	DRB PACKAGE
10-4-2021	HOA NOTES
8-19-2021	DRIVEWAY REV
7-23-2021	DRB 1
1-29-2021	REVIT 3D

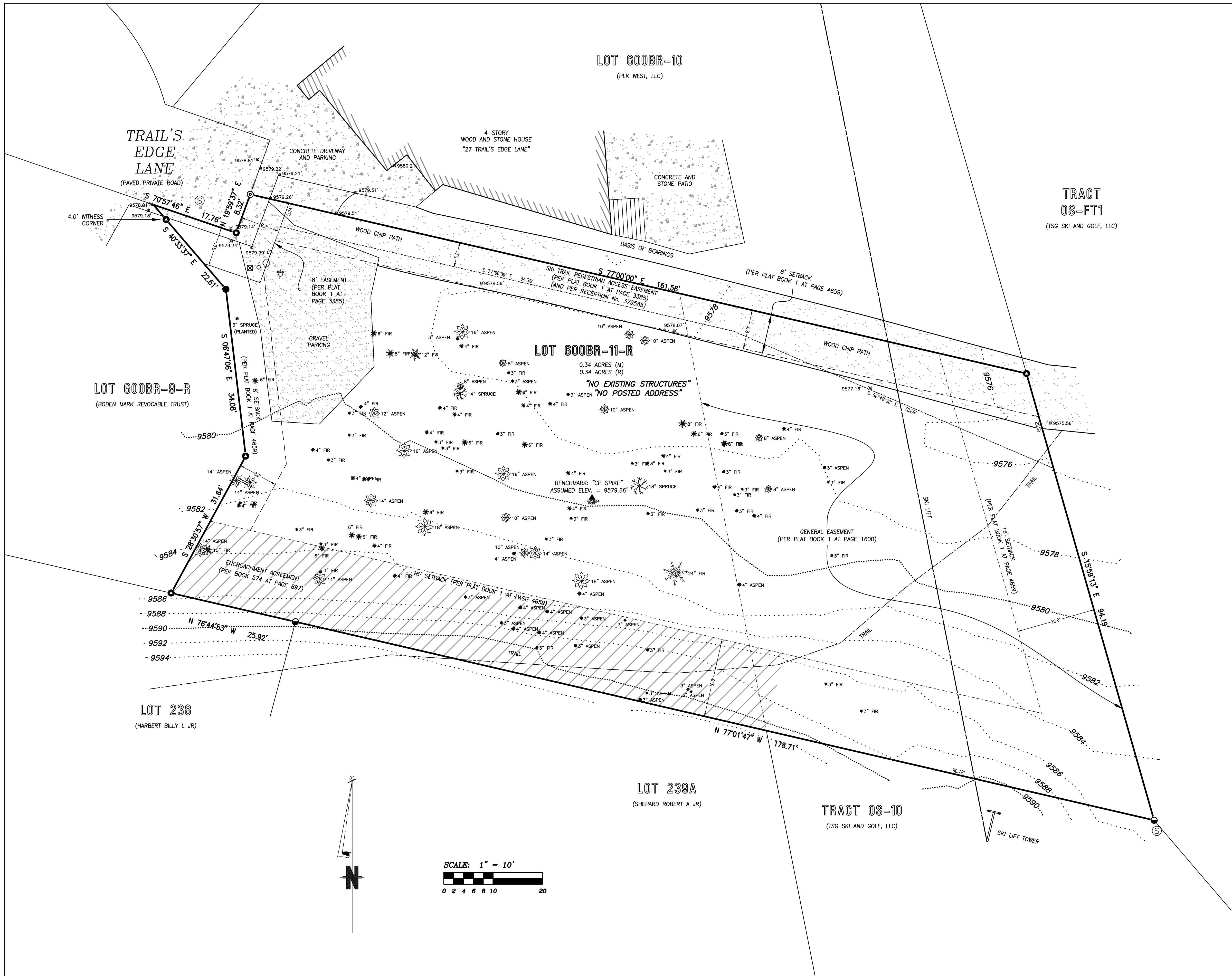
PROJECT NAME:	600BR-11
PROJECT MANAGER:	MOUNTAIN VILLAGE
DRAWN BY:	COLORADO 81435
REVIEWED BY:	
DATE:	

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

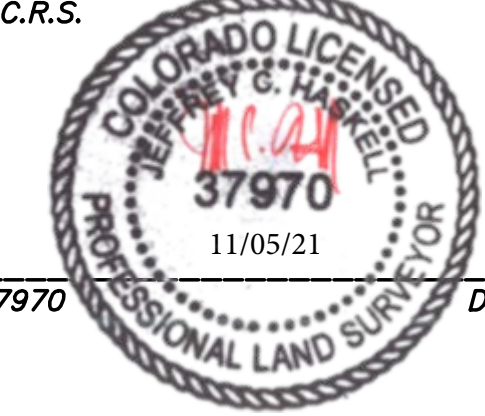
SHEET DESCRIPTION:  
3D views

SHEET NUMBER:  
**3D2**





This topographic survey of Lot 600BR-11-R, Telluride Mountain Village, Filing 36 was field surveyed on November 20, 2020 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

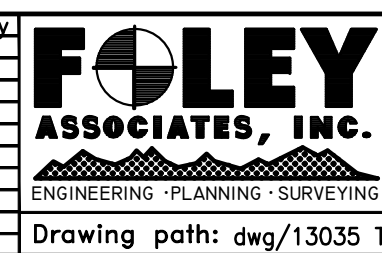
- NOTES:**
- Easement research and property description from Land Title Guarantee Company, Order Number TLR86010348, dated August 06, 2020 at 5:00 P.M.
  - Benchmark: Control point "CP SPIKE", as shown hereon, with an assumed elevation of 9579.66' feet.
  - Contour interval is two feet.
  - NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LEGEND	
⊗ 9575.56'	SPOT ELEVATION
⊙	CURB STOP
⊙	SEWER MANHOLE
⬡	TELEPHONE PEDESTAL
⊗	GAS RISER
○	4"-PVC PIPE
⬢	4"x4" LOT POST MARKER
●	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
●	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 36577
⊙	FOUND 3/4" BRASS TAG, L.S. 24966
●	FOUND 1-1/2" ALUMINUM CAP ON 18" x 5/8" REBAR, L.S. 37970
⊙	FOUND 3/4" BRASS TAG, L.S. 37970

TOPOGRAPHIC SURVEY  
Lot 600BR-11-R, Trail's Edge at Double Cabins, Town of Mountain Village  
Located within the NW 1/4 of Section 3, T.42N, R.9W, N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH
Technician:	FO
Checked by:	DS
Start date:	11 / 2020

Rev.	description	date	by



970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Drawing path: dwg/13035 Topo 11-20.dwg Sheet1 of 1 Project #: 13035



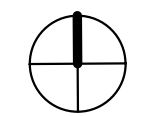


- LEGEND**
- SPRUCES TREE TO BE REMOVED
- SPRUCES TREE TO REMAIN
- FIR TREE TO BE REMOVED
- FIR TREE TO REMAIN
- APSEN TREE TO BE REMOVED
- APSEN TREE TO REMAIN

- LEGEND**
- SPOT ELEVATION
- CURB STOP
- SEWER MANHOLE
- TELEPHONE PEDESTAL
- GAS RISER
- 4" PVC PIPE
- 4" X 4" LOT POST MARKER
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 36577
- FOUND 3/4" BRASS TAG, L.S. 24966
- FOUND 1-1/2" ALUMINUM CAP ON 18" X 5/8" REBAR, L.S. 37970
- FOUND 3/4" BRASS TAG, L.S. 37970

DOUBLE CABINS SKI RUN

1 SITE PLAN  
1/8" = 1'-0"



\*\*\*SQUARE FOOTAGE REQUIRES  
A FIRE SPRINKLER SYSTEM\*\*\*

NOT FOR CONSTRUCTION

**JACK WESSON**  
ARCHITECTS INC.

TELLURIDE, COLORADO 81435

TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

PROJECT NAME: 600BR-11 MOUNTAIN VILLAGE COLORADO 81435

SHEET DESCRIPTION: SITE PLAN

SHEET NUMBER: A100

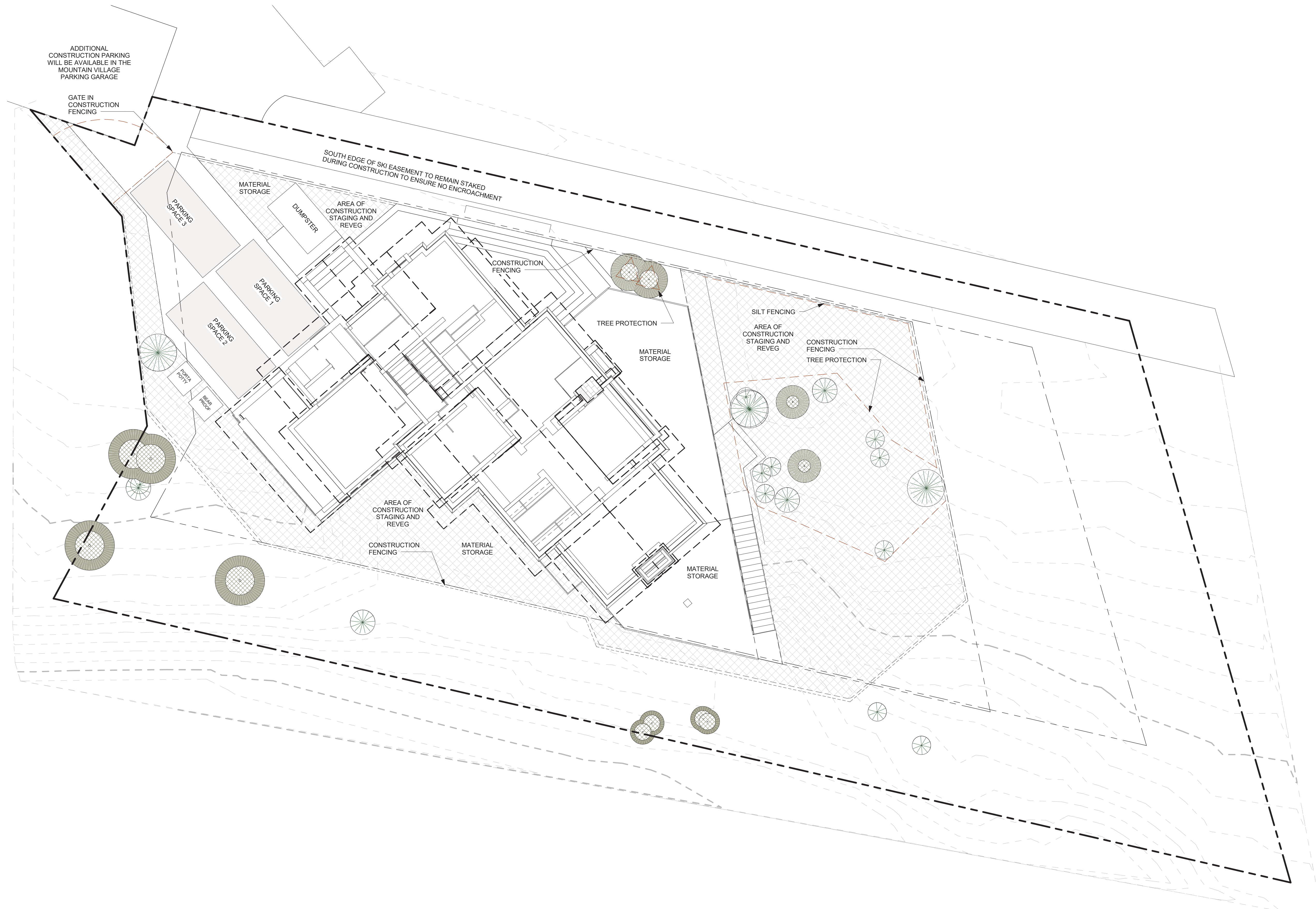
MARK	REV	DATE	DESCRIPTION
	1	1-21-2022	DRB SITE PLAN
	2	10-27-2021	DRB PACKAGE
	3	10-4-2021	HOA NOTES
	4	8-19-2021	DRIVEWAY REV
	5	7-23-2021	DRB 1
	6	1-29-2021	REVIT 3D

PROJECT NAME: 600BR-11 MOUNTAIN VILLAGE COLORADO 81435

SHEET DESCRIPTION: SITE PLAN

SHEET NUMBER: A100





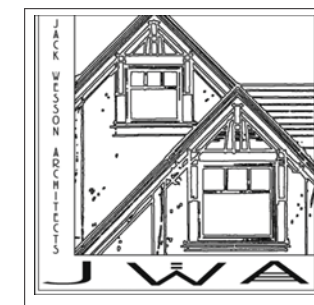
1 SITE PLAN- CONSTRUCTION STAGING  
1/8" = 1'-0"



ADDITIONAL CONSTRUCTION PARKING WILL BE AVAILABLE IN THE MOUNTAIN VILLAGE PARKING GARAGE

\*\*\*NOTE: ADDITIONAL TREE CLEARING WILL BE DONE IN ACCORDANCE WITH THE MOUNTAIN VILLAGE LAND USE ORDINANCE FIRE MITIGATION REQUIREMENTS\*\*\*

NOT FOR CONSTRUCTION



**JACK WESSON**  
ARCHITECTS INC.

110 SOUTH PINE ST. #100  
TELLURIDE, COLORADO  
81435  
TEL: 970.728.6755  
FAX:  
970.728.9724  
jwesson@me.com  
www.jackwessonarchitects.com

	11-2-21	TREE REMOVAL REVISION
	10-19-21	HOA FINAL APPROVAL
	9-13-21	CONSTRUCTION STAGING
	8-23-21	DRB set 1
	7-19-21	HOA set 1
	4-21-21	SITE PLAN PROGRESS
	3-25-21	AREA CALCS
	3-16-21	DRAFT SET
	2-22-21	SITE PLANNING
MARK	REV. DATE	DESCRIPTION

PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
2021 JWA

PROJECT NAME:  
LOT 600BR-11-R  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
CONSTRUCTION  
STAGING PLAN

SHEET NUMBER:  
**A101**





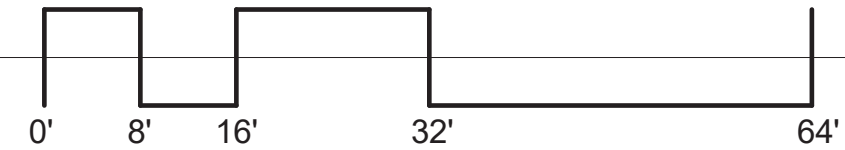
ALL DECKS TO BE BUILT OF HEAVY TIMBER  
CONSTRUCTION AND  
FIRE RESISTANT MATERIALS

ZONE 1- REMOVE ALL TREES

ZONE 2- 10' SPEPARATION OF CROWNS,  
CLEAR BRANCHES 10' FROM GROUND

ZONE 3- THIN AND CLEAR STANDING DEAD

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED  
ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH  
HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS,  
SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE,  
HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT  
MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND  
URBAN INTERFACE CODE) APPROVED PRODUCTS.



NOT FOR CONSTRUCTION



JACK WESSON

ARCHITECTS INC.

110 SOUTH PINE ST. #100  
TELLURIDE, COLORADO  
81435  
TEL: 970.728.6755  
FAX:  
970.728.9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

11-2-21	TREE REMOVAL REVISION	
10-19-21	HOA FINAL APPROVAL	
8-13-21	CONSTRUCTION STAGING	
8-23-21	CRIB set 1	
7-19-21	HOA set 1	
4-21-21	SITE PLAN PROGRESS	
3-25-21	AREA CALCUS	
3-16-21	DRAW'T SET	
2-22-21	SITE PLANNING	
MARK	REV. DATE	DESCRIPTION

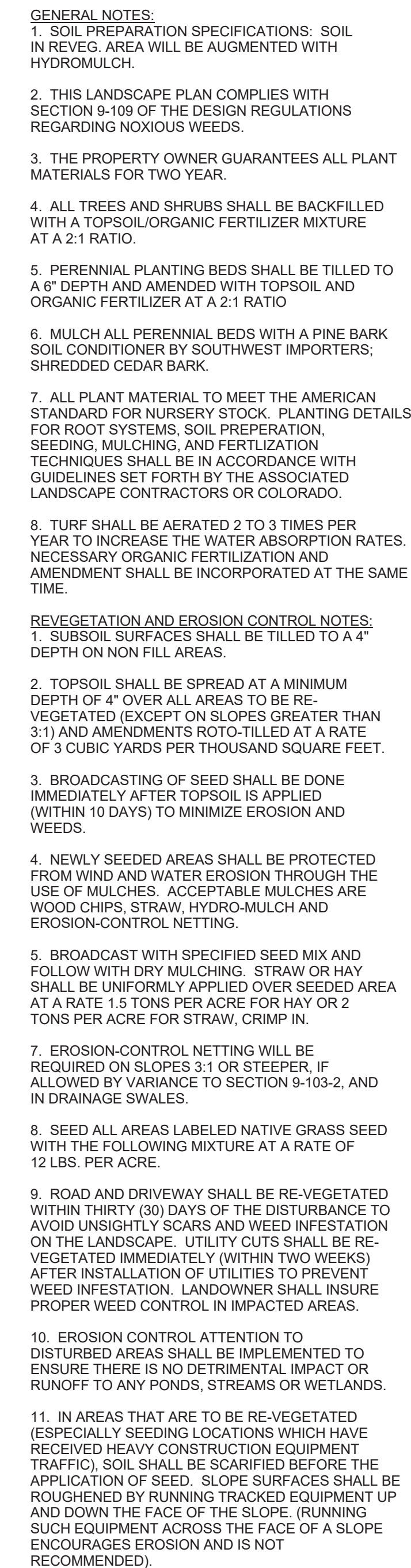
PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
202 JWA

PROJECT NAME:  
LOT 600BR-11-R  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
FIRE MITIGATION  
PLAN

SHEET NUMBER:  
A102





THE PROJECT SHALL COMPLY WITH THE ADOPTED  
TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE  
ENERGY CODE AND GREEN BUILDING STANDARD

[illegible]

 (19) 5 GAL. DOGWOOD SHRUBS

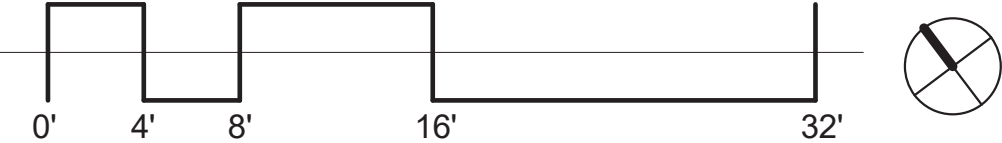
 (41) 5 GAL. POTENTILLA

 (9) NEW SPRUCE TREE  
(1-8") (1-10") MINIMUM HEIGHT

 (6) NEW 3" CAL. APSEN OR  
2 1/2" CA. MULTI-STEM

NOTE: REVEGETATION IS WILL  
BE NATIVE MIX  
5% WESTERN YARROW  
10% TALL FESCUE  
5% ARIZONA FESCUE  
5% HARD FESCUE  
10% CREEPING RED FESCUE  
15% ALPINE BLUEGRASS  
10% CANADA BLUEGRASS  
15% PERENNIAL RYEGRASS  
10% SLENDER WHEATGRASS  
15% MOUNTAIN BROME  
APPROX. 5000 SF



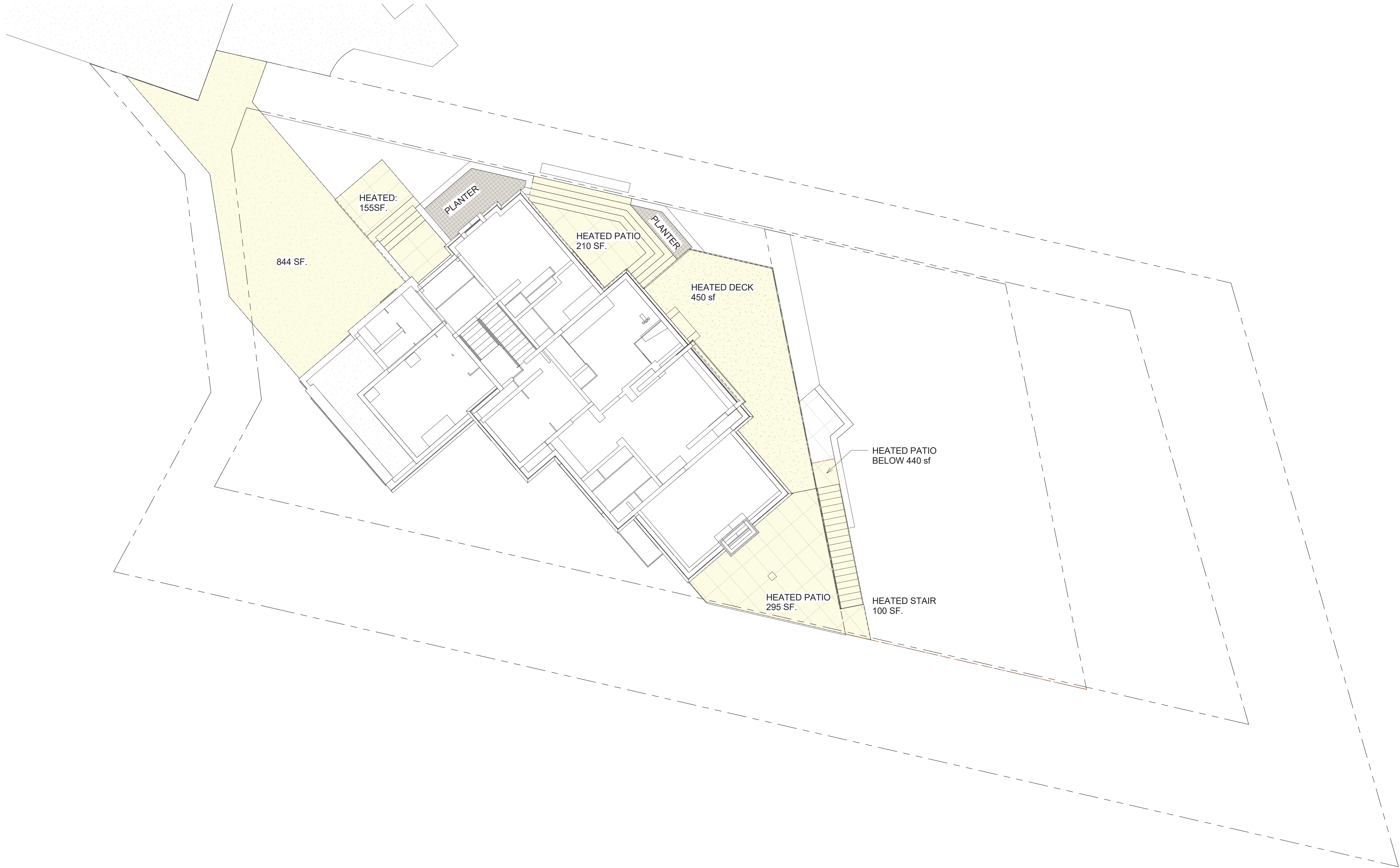


B: E: EXTERIOR STEP LIGHT: WAC Lighting LEDme Step Light Model: WL-LED201, 2700K

110 SOUTH PINE ST. #100  
TELLURIDE, COLORADO  
81435  
TEL: 970.728.9755  
FAX:  
970.728.9724  
jwesson@me.com  
www.jackwessonarchitects.com


[illegible]





1 SITE PLAN- SNOW MELT PLAN  
1/8" = 1'-0"

NOT FOR CONSTRUCTION



JACK WESSON

ARCHITECTS INC.

110 SOUTH PINE ST. #100  
TELLURIDE, COLORADO  
81435  
TEL: 970.728.6755  
FAX:  
970.728.9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

11-2-21	TREE REMOVAL REVISION	
10-19-21	HOA FINAL APPROVAL	
8-13-21	CONSTRUCTION STAGING	
8-23-21	DRB set 1	
7-19-21	HOA set 1	
4-21-21	SITE PLAN PROGRESS	
3-25-21	AREA CALCUS	
3-16-21	DRAW'T SET	
2-22-21	SITE PLANNING	
MARK	REV. DATE	DESCRIPTION
PROJECT NAME: PROJECT MANAGER: DRAWN BY: REVIEWED BY: JWA		

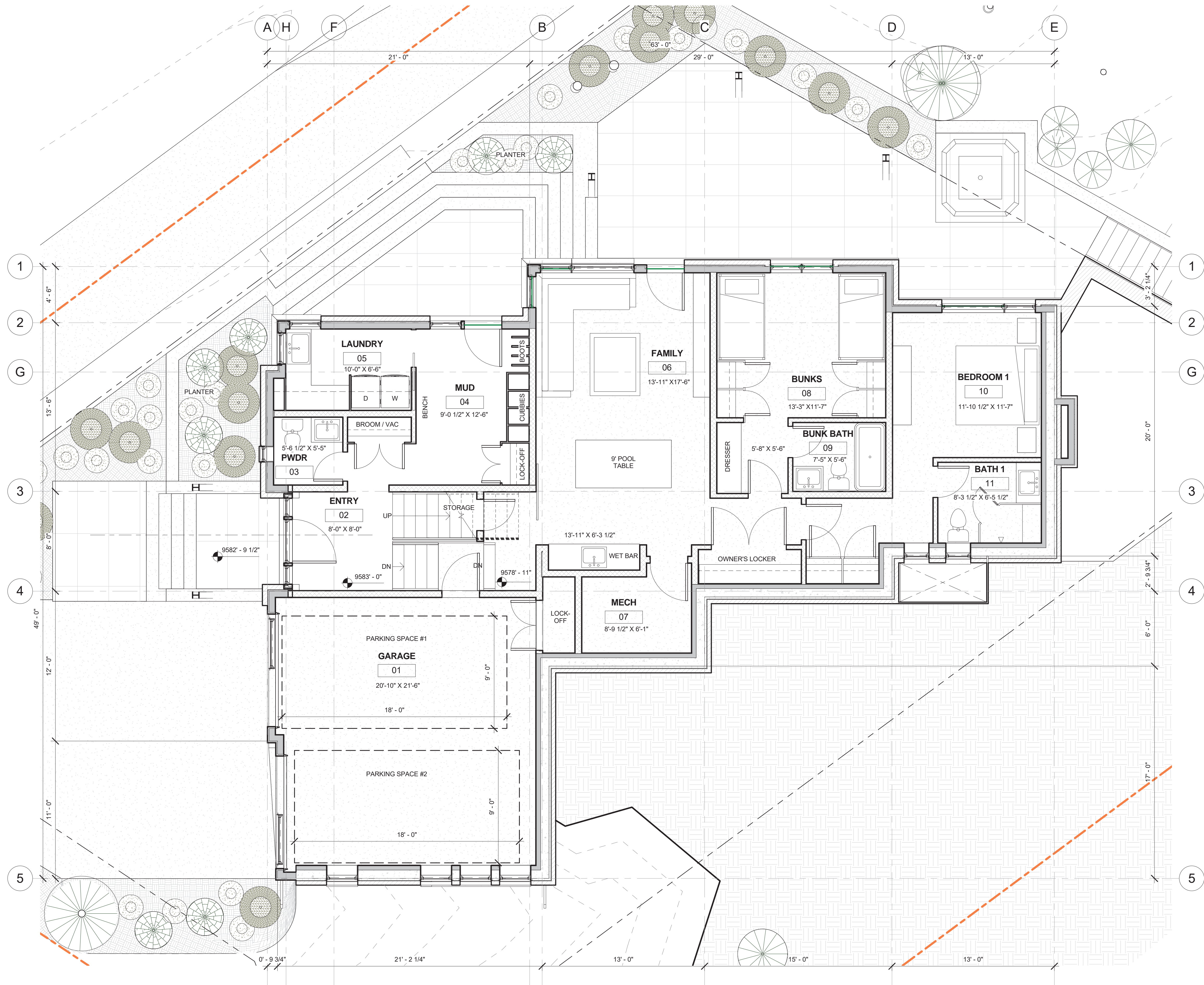
PROJECT NAME:  
LOT 600BR-11-R  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
SNOW MELT PLAN

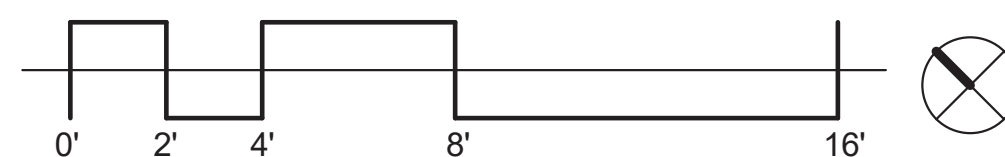
SHEET NUMBER:  
A105

PrattRegular





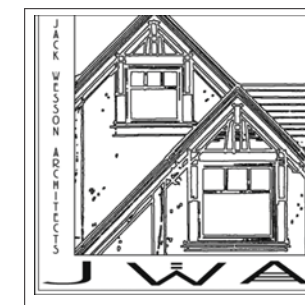
1 FRAMING PLAN- LEVEL 1  
1/4" = 1'-0"



CONSISTENT WITH TOWN BUILDING CODES,  
UNENCLOSED ACCESSORY STRUCTURES  
ATTACHED TO BUILDINGS WITH HABITABLE  
SPACES AND PROJECTIONS, SUCH AS DECKS,  
SHALL BE CONSTRUCTED AS EITHER NON-  
COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR  
GRADE IGNITION RESISTANT MATERIALS SUCH AS  
THOSE LISTED AS WUC (WILDLAND URBAN  
INTERFACE CODE) APPROVED PRODUCTS.

\*\*\*SQUARE FOOTAGE REQUIRES  
A FIRE SPRINKLER SYSTEM\*\*\*

\*\*\*SQUARE FOOTAGE REQUIRES  
A FIRE SPRINKLER SYSTEM\*\*\*  
NOT FOR CONSTRUCTION



JACK WESSON  
ARCHITECTS INC.

TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

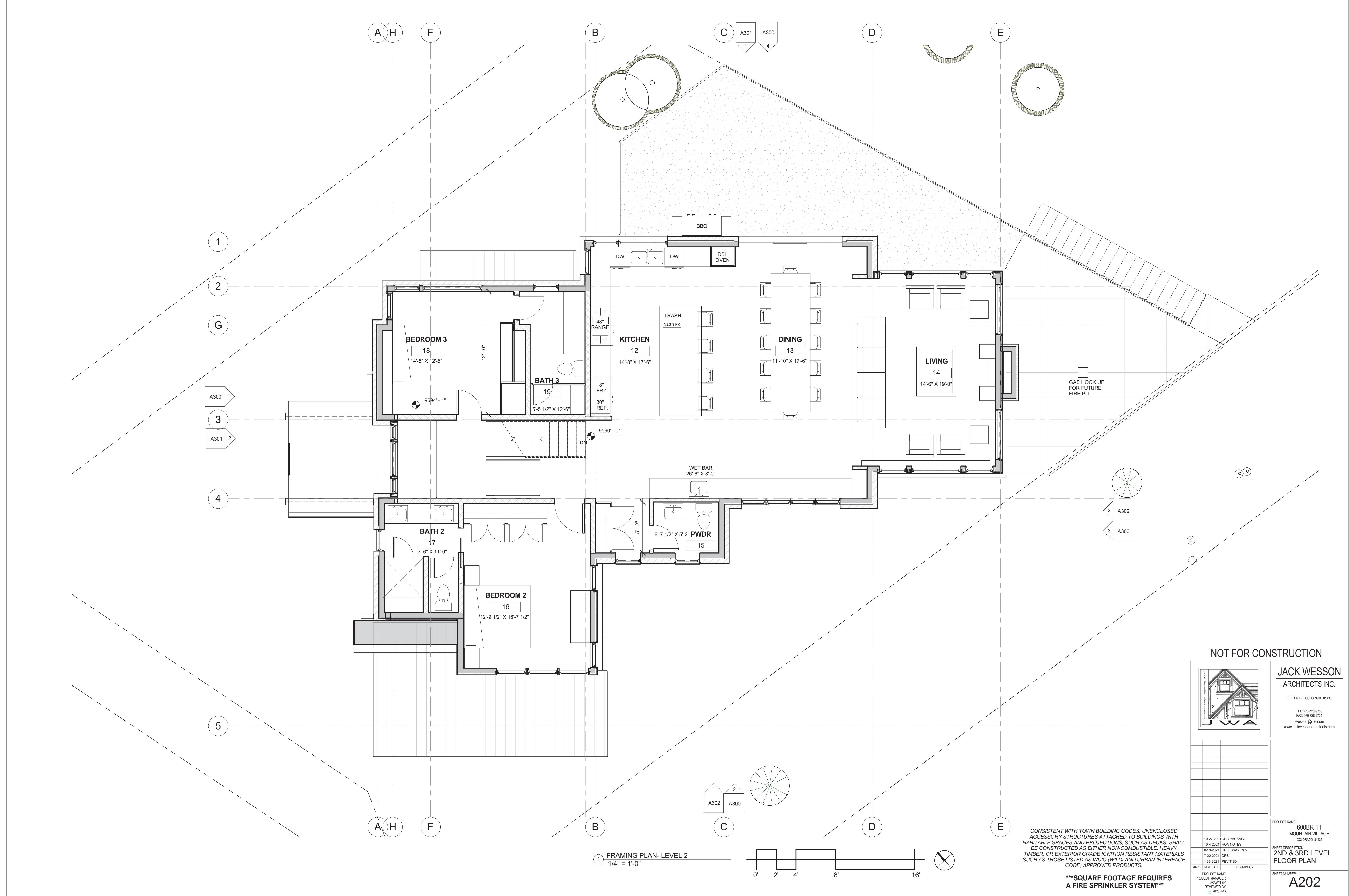
MARK	REV	DATE	DESCRIPTION
	1	10-27-2021	10RB PACKAGE
	2	10-4-2021	HDA NOTES
	3	8-19-2021	DRIVEWAY REV
	4	7-23-2021	DRB 1
	5	1-29-2021	REVIT 3D

PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
2021 JWA


PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435  
SHEET DESCRIPTION:  
1ST LEVEL FLOOR  
PLAN

SHEET NUMBER:  
A201





NOT FOR CONSTRUCTION



**JACK WESSON**  
ARCHITECTS INC.  
TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

MARK	REV	DATE	DESCRIPTION
	1	10-27-2021	DRB PACKAGE
	2	10-4-2021	HOA NOTES
	3	8-19-2021	DRIVEWAY REV
	4	7-23-2021	DRB 1
	5	1-29-2021	REVIT 3D

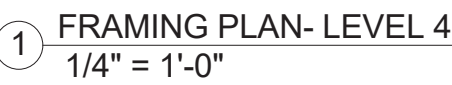
PROJECT NAME: 600BR-11 MOUNTAIN VILLAGE  
PROJECT MANAGER: COLOADO 81435  
DRAWN BY: JWA  
REVIEWED BY: JWA

PROJECT NAME: 600BR-11 MOUNTAIN VILLAGE  
SHEET DESCRIPTION: 2ND & 3RD LEVEL FLOOR PLAN  
SHEET NUMBER: A202

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

\*\*\*SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM\*\*\*



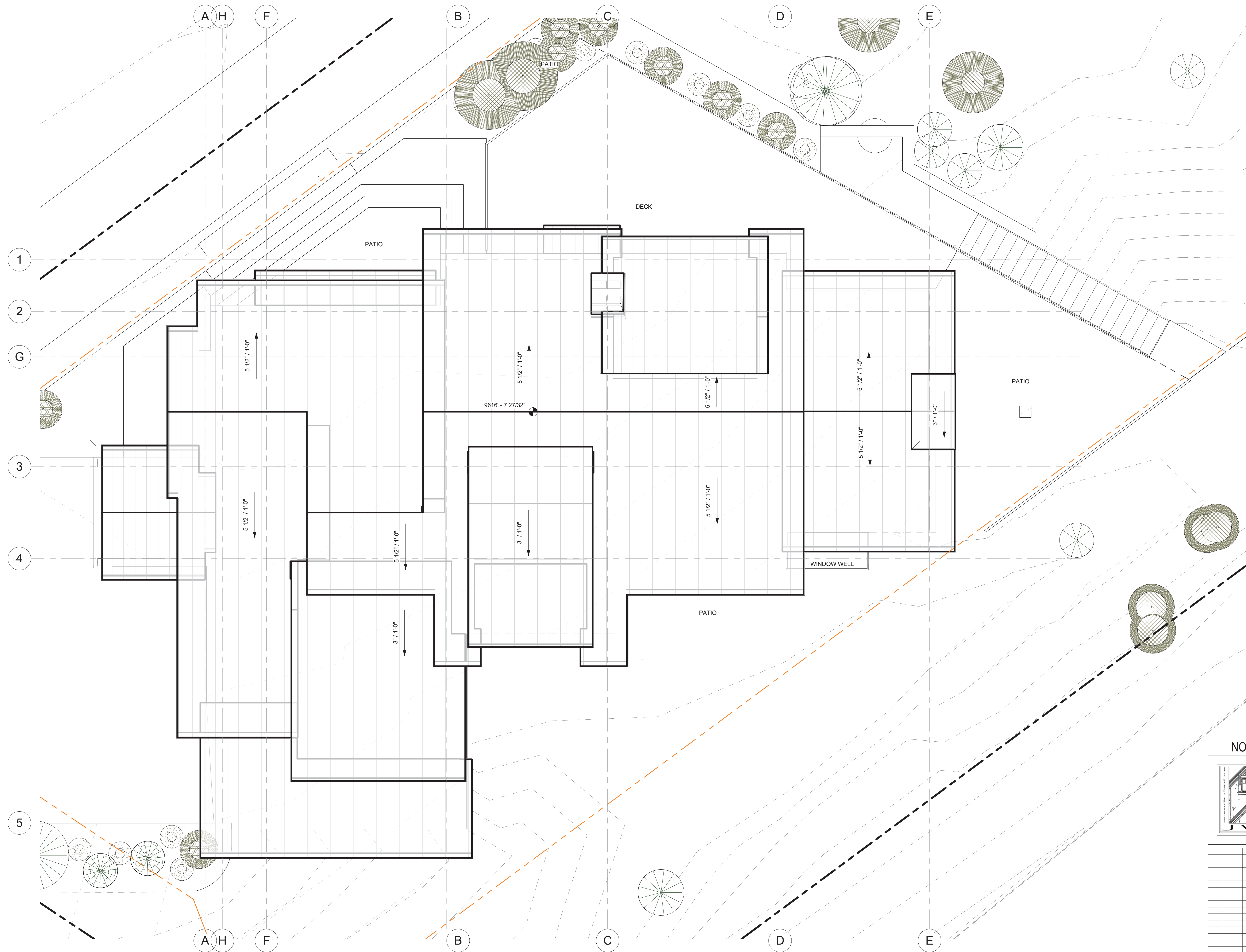


CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.




	10-27-2021	DRB PACKAGE
	10-4-2021	HOA NOTES
	8-19-2021	DRIVEWAY REV
	7-22-2021	DRB 1
	1-29-2021	REVIT 3D
MARK	REV. DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		
2020 JWA		





1 ROOF  
1/4" = 1'-0"

NOT FOR CONSTRUCTION



JACK WESSON  
ARCHITECTS INC.

TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

10-27-2021	DRB PACKAGE	
10-4-2021	HDA NOTES	
8-19-2021	DRIVEWAY REV	
7-23-2021	DRB 1	
1-29-2021	REVIT 3D	
MARK	REV DATE	DESCRIPTION
PROJECT NAME: PROJECT MANAGER: DRAWN BY: REVIEWED BY: RJD:JWA		

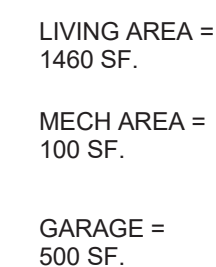
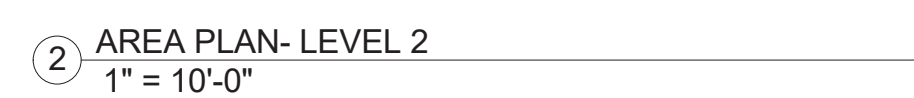
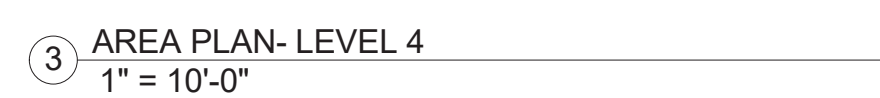
PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
ROOF PLAN

SHEET NUMBER:  
A204

PraineRegular





**\*\*\*SQUARE FOOTAGE REQUIRES  
A FIRE SPRINKLER SYSTEM\*\*\***

# NOT FOR CONSTRUCTION

## JACK WESSON ARCHITECTS INC.

110 SOUTH PINE ST. #100  
TELLURIDE, COLORADO  
81405

TEL. 970.728.9755  
FAX:  
870.728.8724

jwesson@jwa.com  
www.jackwessonarchitects.com

- 11-2-21 THREE REMOVAL REVISION
- 10-19-21 HOA FINAL APPROVAL
- 9-13-21 CONSTRUCTION STAGING
- 8-23-21 DRB set 1
- 7-19-21 HOA set 1
- 4-21-21 SITE PLAN PROGRESS
- 3-26-21 AREA CALCUS
- 3-16-21 DRAFT SET
- 2-22-21 SITE PLANNING

MARK REV DATE DESCRIPTION

PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
© 2017 JWA

PROJECT NAME:

LOT 600BR-11-R  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:

AREA ANALYSIS

SHEET NUMBER:

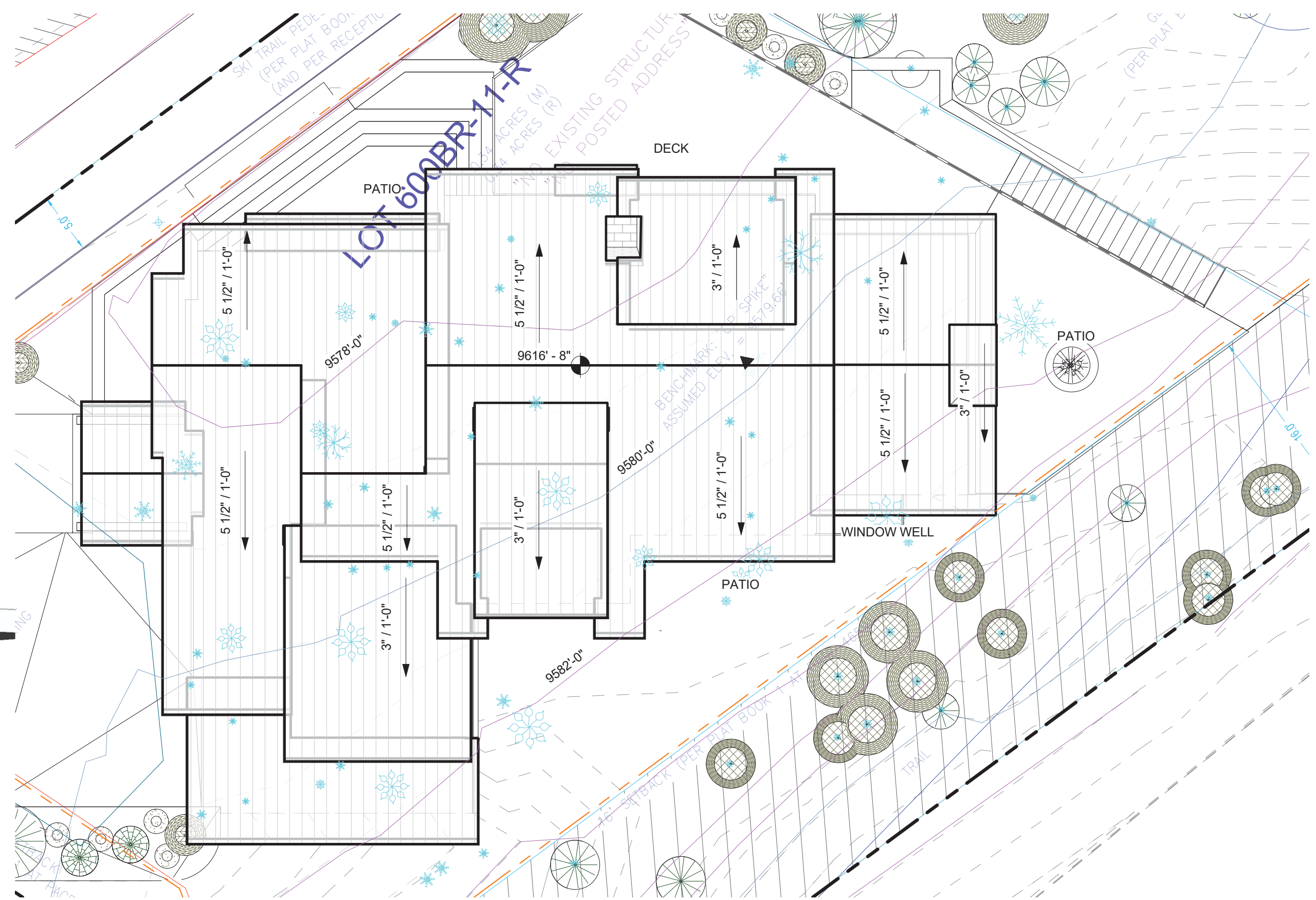
A205

Drawings by JWA

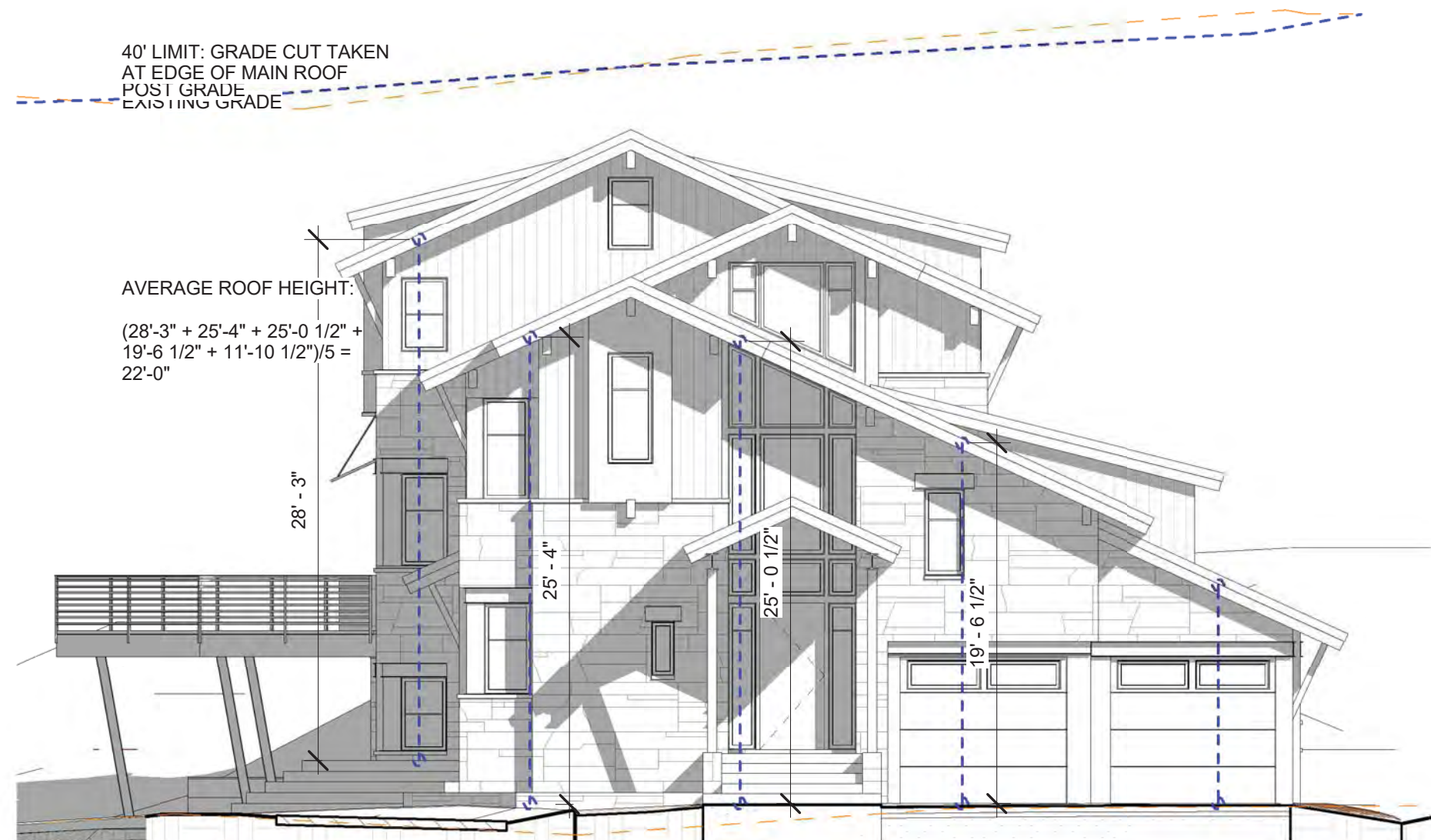




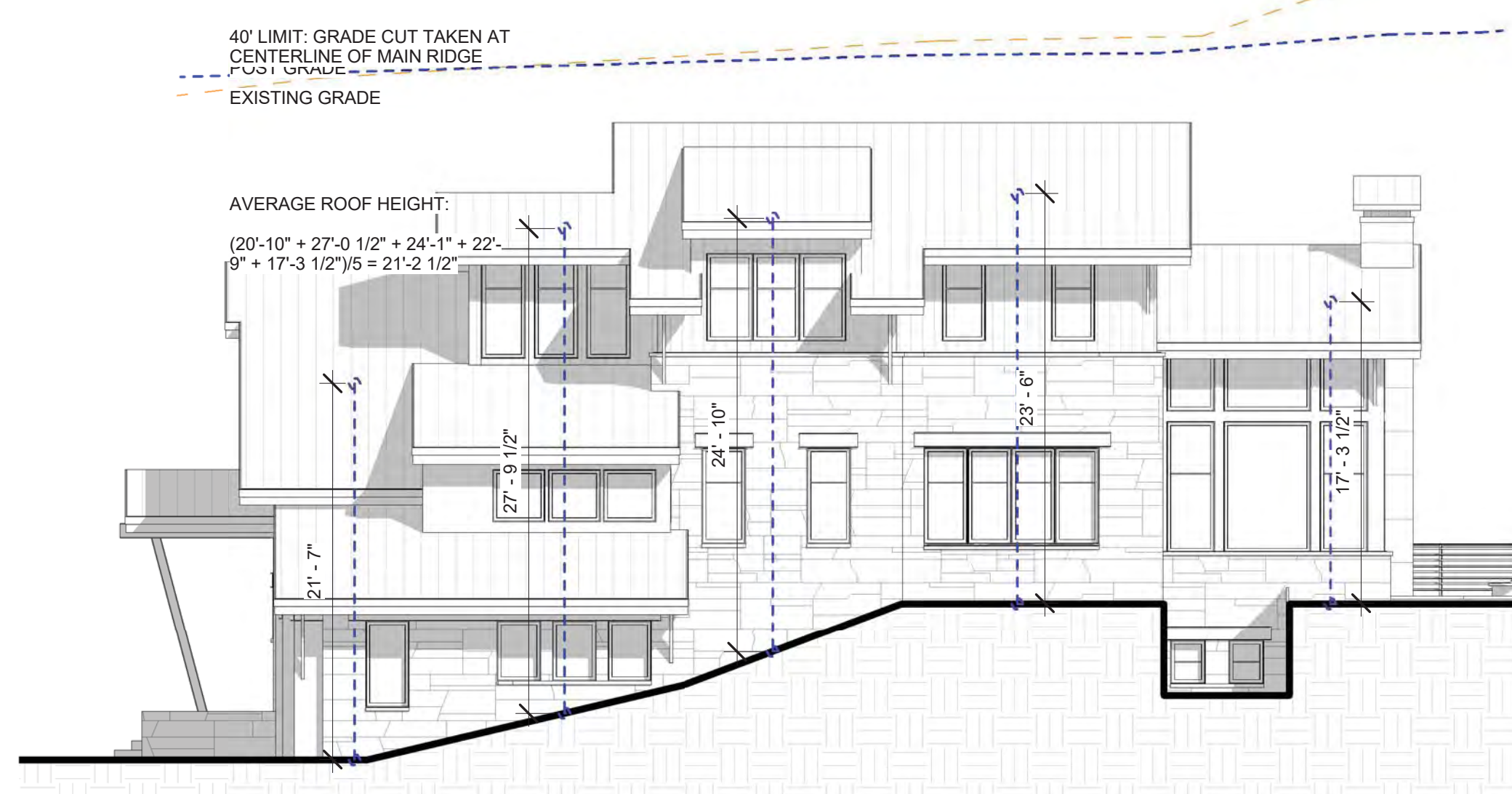
5 40' SHELL HEIGHT CALC



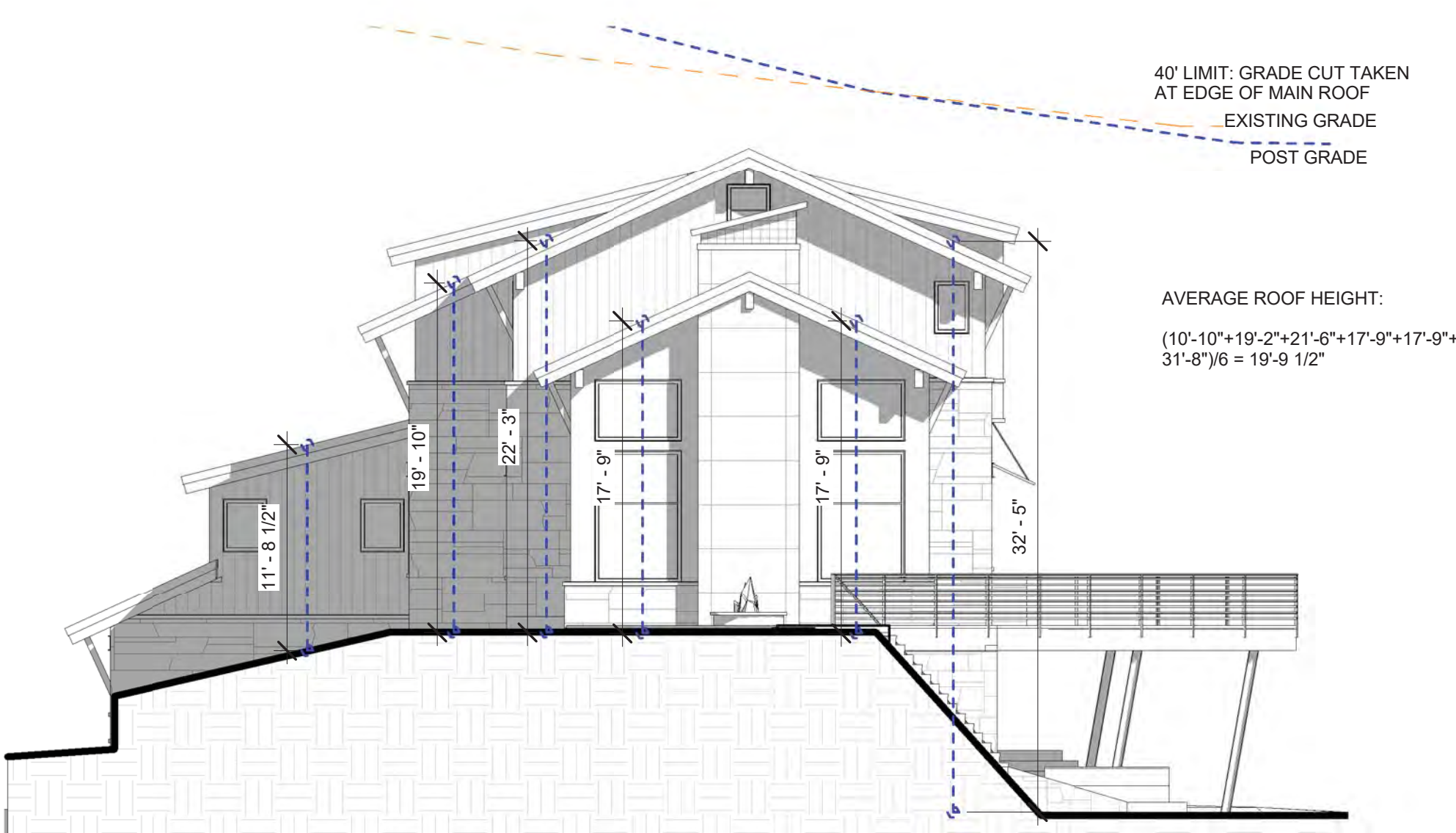
6 ROOF with survey  
1/8" = 1'-0"



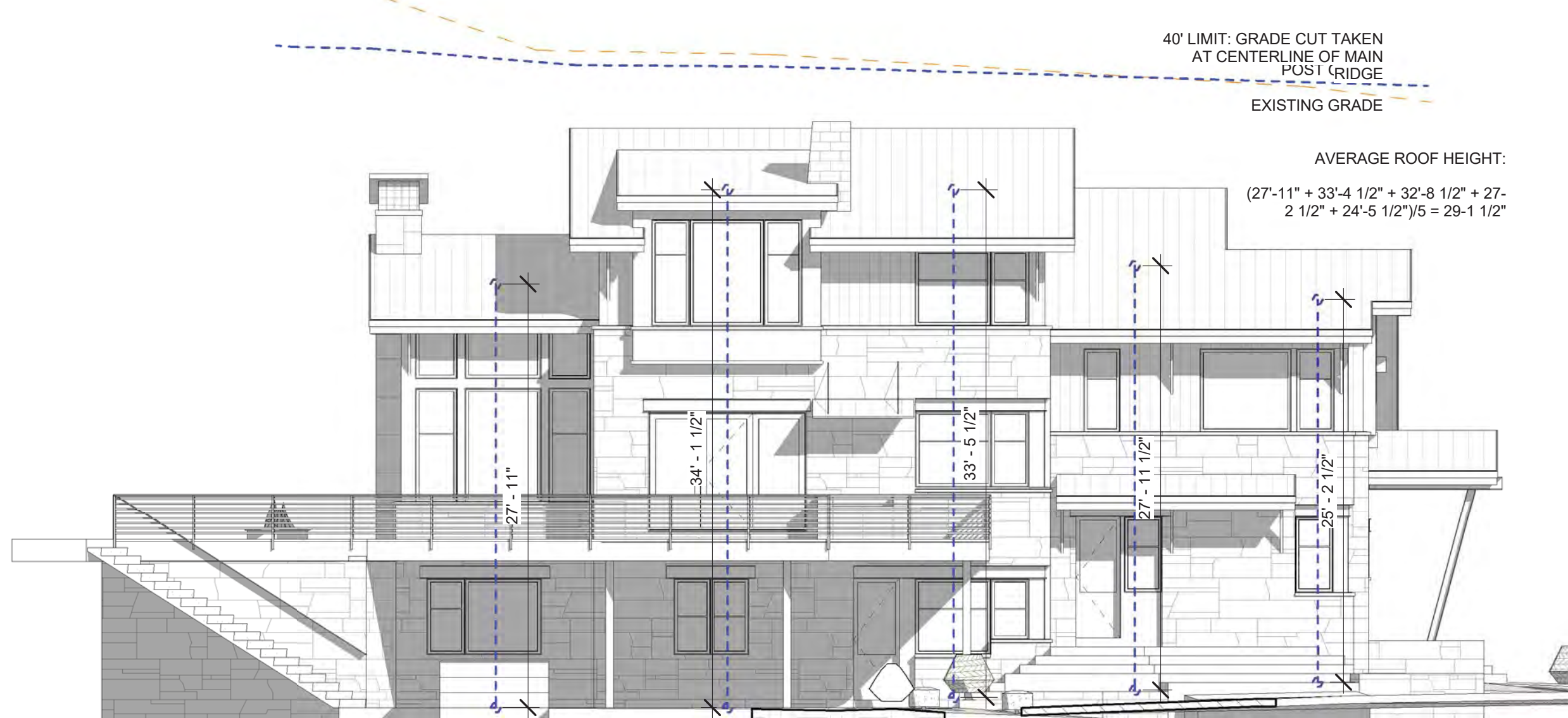
1 HEIGHT CALC- WEST- FRONT  
1/8" = 1'-0"



2 HEIGHT CALC- SOUTH  
1/8" = 1'-0"



3 HEIGHT CALC- EAST  
1/8" = 1'-0"



4 HEIGHT CALC- NORTH  
1/8" = 1'-0"

AVERAGE ROOF HEIGHT CALCULATION  
NORTH ELEVATION:  
 $(27'-11" + 33'-4 \frac{1}{2}" + 32'-8 \frac{1}{2}" + 27'-2 \frac{1}{2}" + 24'-5 \frac{1}{2}")/5 = 29'-1 \frac{1}{2}"$   
WEST ELEVATION:  
 $(28'-3" + 25'-4" + 25'-0 \frac{1}{2}" + 19'-6 \frac{1}{2}" + 11'-10 \frac{1}{2}")/5 = 22'-0"$   
SOUTH ELEVATION:  
 $(20'-10" + 27'-0 \frac{1}{2}" + 24'-1" + 22'-9" + 17'-3 \frac{1}{2}")/5 = 21'-2 \frac{1}{2}"$   
EAST ELEVATION:  
 $(10'-10" + 19'-2" + 21'-6" + 17'-9" + 17'-9" + 31'-8")/6 = 19'-9 \frac{1}{2}"$   
TOTAL AVERAGE =  
 $(29'-1 \frac{1}{2}" + 22'-0" + 21'-2 \frac{1}{2}" + 19'-9 \frac{1}{2}")/4 = 23'-0 \frac{1}{2}"$

NOT FOR CONSTRUCTION



JACK WESSON  
ARCHITECTS INC.

TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

MARK	REV	DATE	DESCRIPTION
10-27-2021	DRB	PACKAGE	
10-4-2021	HOA	NOTES	
8-19-2021	DRIVEWAY	REV	
7-23-2021	DRB	1	
1-29-2021	REVIT	3D	

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

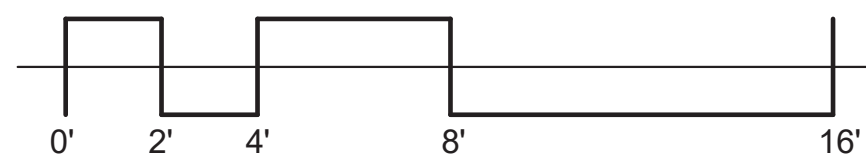
SHEET DESCRIPTION:  
HEIGHT CALCUS

SHEET NUMBER:  
A300

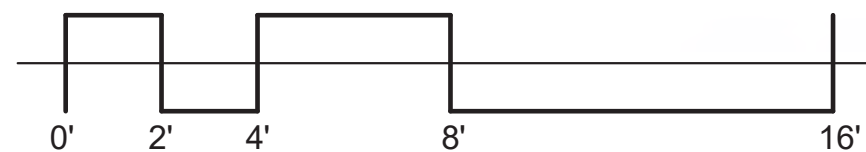




① NORTH  
1/4" = 1'-0"



② WEST-FRONT  
1/4" = 1'-0"



NOT FOR CONSTRUCTION



JACK WESSON  
ARCHITECTS INC.

TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

MARK	REV	DATE	DESCRIPTION
	1	10-27-2021	10RB PACKAGE
	2	10-4-2021	HOA NOTES
	3	8-19-2021	DRIVEWAY REV
	4	7-23-2021	DRB 1
	5	1-29-2021	REVIT 3D

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

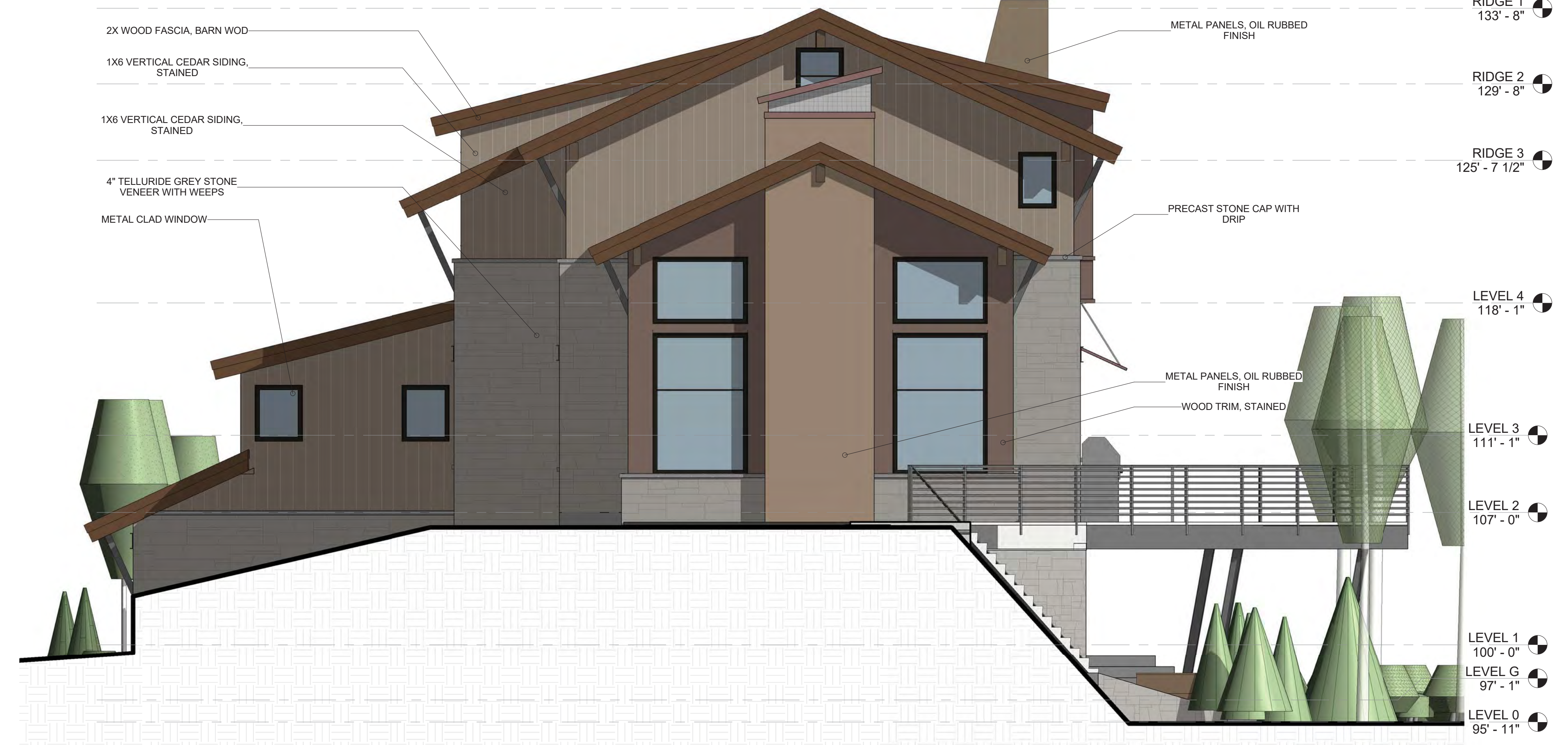
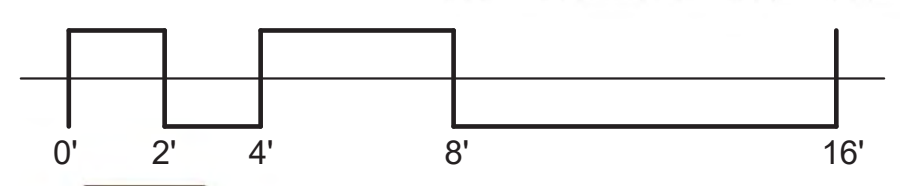
SHEET DESCRIPTION:  
ELEVATIONS

SHEET NUMBER:  
A301

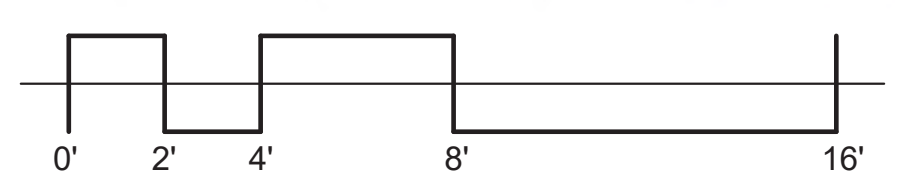




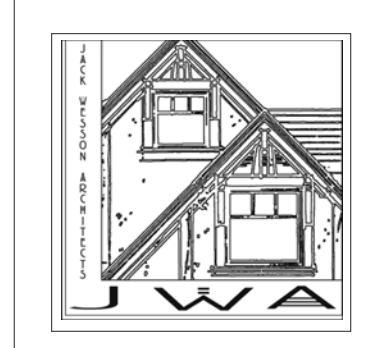
1 SOUTH  
1/4" = 1'-0"



2 EAST  
1/4" = 1'-0"



NOT FOR CONSTRUCTION



**JACK WESSON**  
ARCHITECTS INC.

TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

MARK	REV	DATE	DESCRIPTION
	1	10-27-2021	DRB PACKAGE
	2	10-4-2021	HOA NOTES
	3	8-19-2021	DRIVEWAY REV
	4	7-23-2021	DRB 1
	5	1-29-2021	REVIT 3D
PROJECT NAME: 600BR-11 MOUNTAIN VILLAGE			
PROJECT MANAGER: COL. ORADO 81435			
DRAWN BY:			
REVIEWED BY:			
PRAIRIE REGULAR			

PROJECT NAME: 600BR-11 MOUNTAIN VILLAGE  
COL. ORADO 81435  
SHEET DESCRIPTION: ELEVATIONS  
SHEET NUMBER: A302





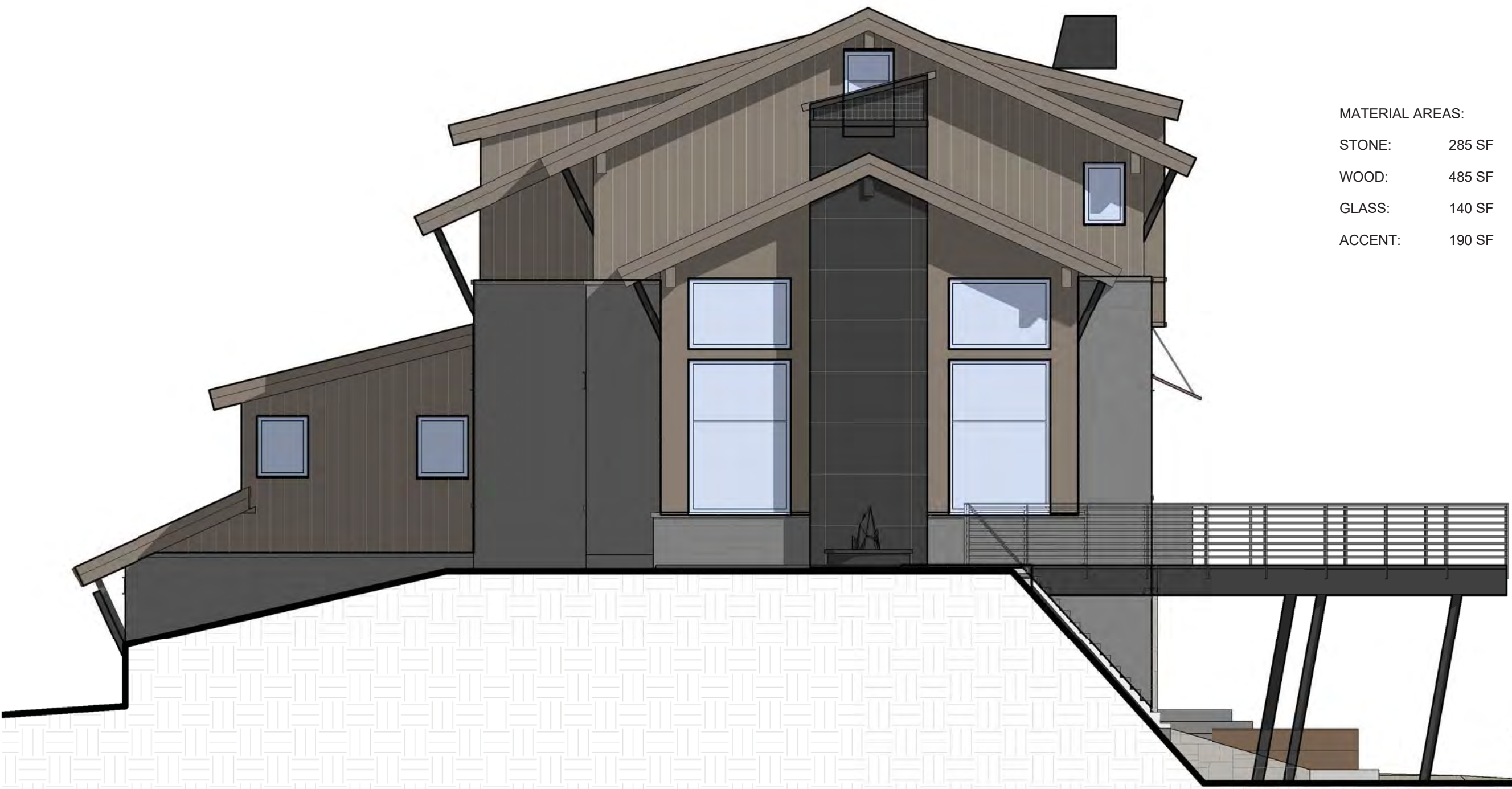
MATERIAL AREAS:  
STONE: 480 SF  
WOOD: 560 SF  
GLASS: 250 SF  
ACCENT: 200 SF



MATERIAL AREAS:  
STONE: 515 SF  
WOOD: 270 SF  
GLASS: 375 SF  
ACCENT: 80 SF

③ AREA- WEST- FRONT  
3/16" = 1'-0"

④ AREA- SOUTH  
3/16" = 1'-0"



MATERIAL AREAS:  
STONE: 285 SF  
WOOD: 485 SF  
GLASS: 140 SF  
ACCENT: 190 SF




MATERIAL AREAS:  
STONE: 1035 SF  
WOOD: 280 SF  
GLASS: 500 SF  
ACCENT: 315 SF

① AREA- EAST  
3/16" = 1'-0"

② AREA- NORTH  
3/16" = 1'-0"

TE11- Material Calculations						
Elevation	WEST	SOUTH	EAST	NORTH	Total	Percent
Stone	480	515	285	1035	2315	38.84%
Wood	560	270	485	280	1595	26.76%
Fenestration	250	375	140	500	1265	21.22%
Accent	200	80	190	315	785	13.17%
Total	1490	1240	1100	2130	5960	

NOT FOR CONSTRUCTION



JACK WESSON  
ARCHITECTS INC.  
TELLURIDE, COLORADO 81435  
TEL: 970-728-8755  
FAX: 970-728-9724  
jwesson@jwa.com  
www.jackwessonarchitects.com

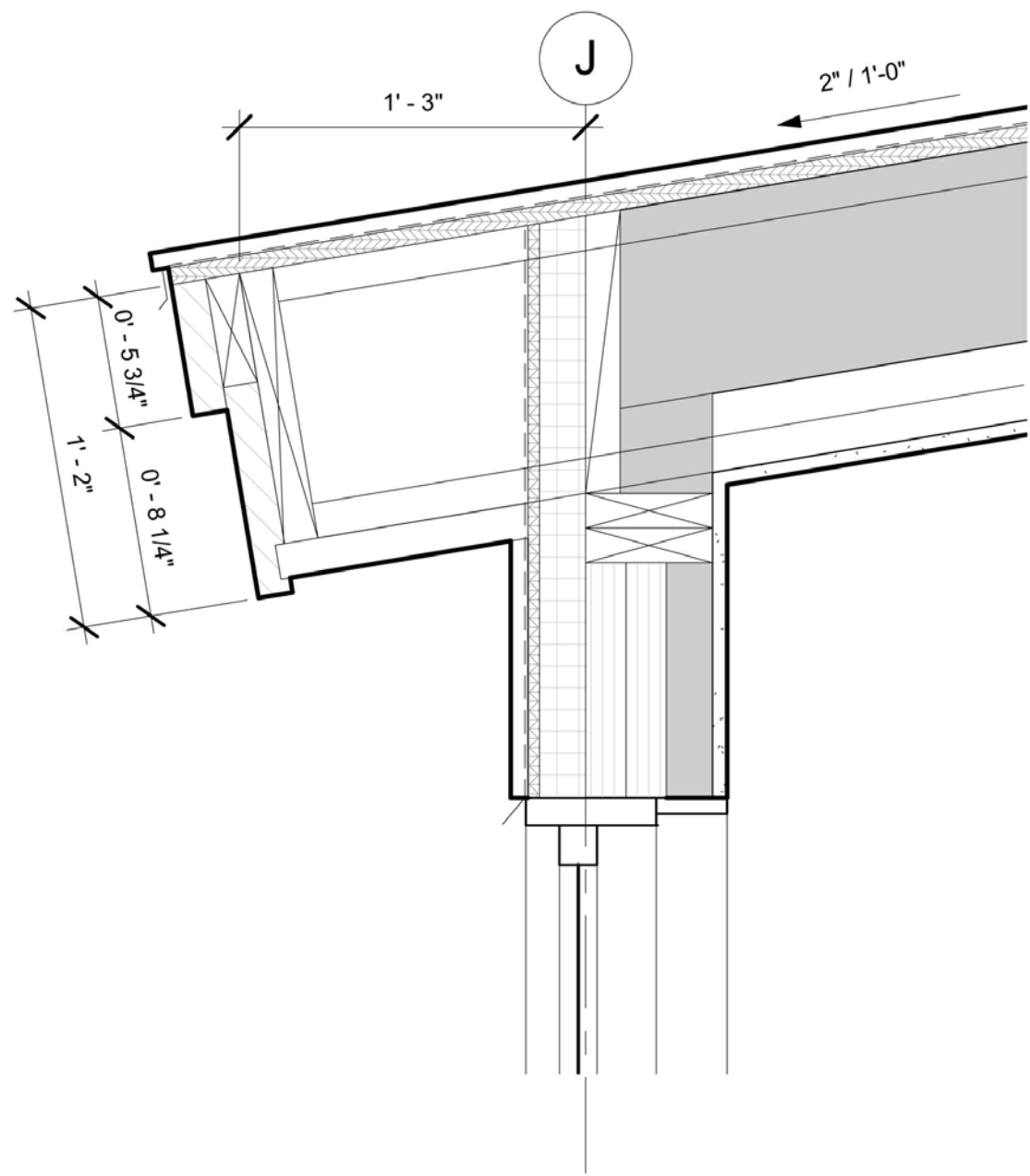
10-27-2021	DRB PACKAGE	
10-4-2021	HOA NOTES	
8-19-2021	DRIVEWAY REV	
7-22-2021	DRB 1	
1-29-2021	REVIT 3D	
MARK	REV DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

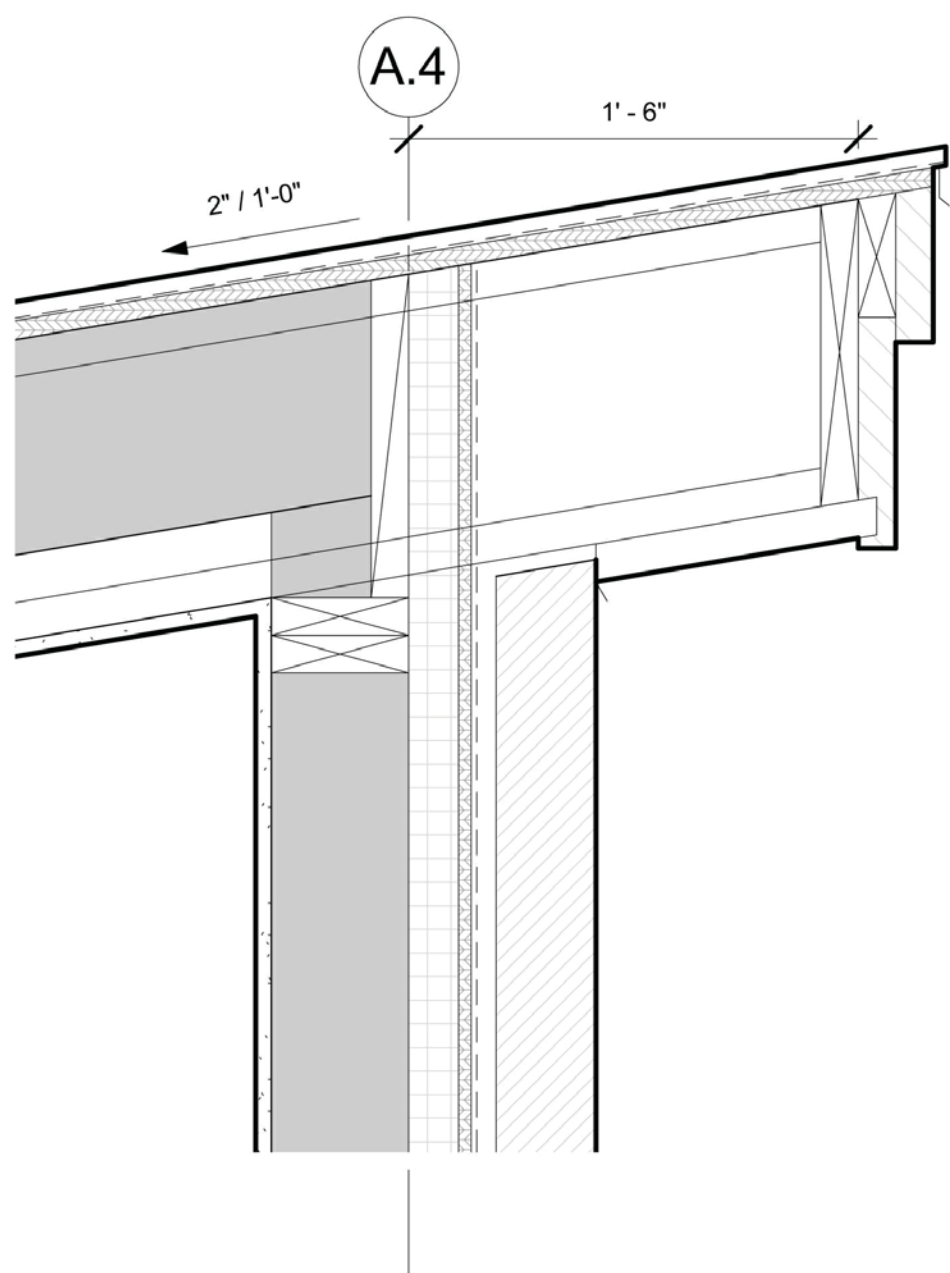
SHEET DESCRIPTION:  
MATERIAL CALCS

SHEET NUMBER:  
A305

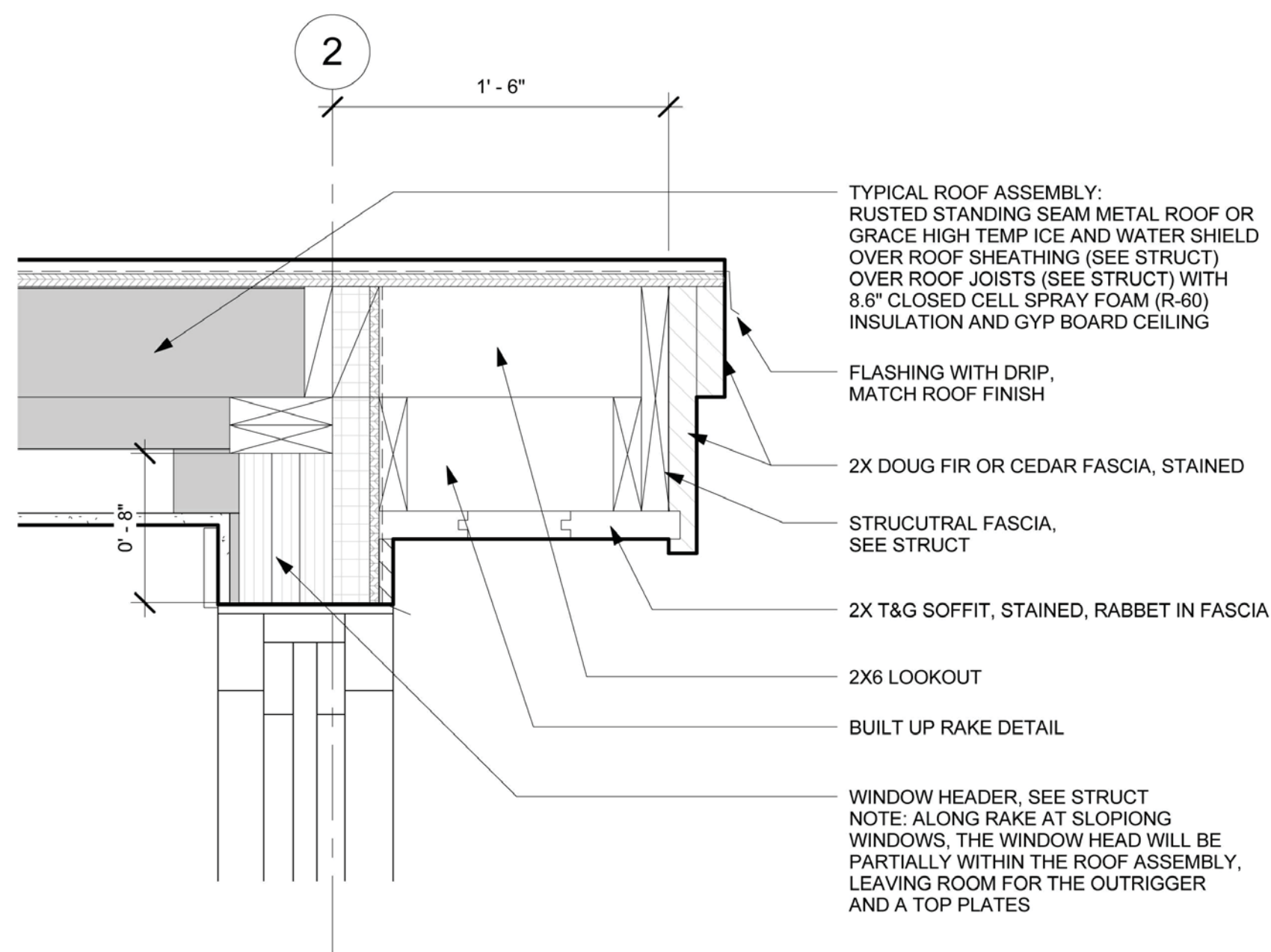




③ DETAIL- ROOF EAVE LOWER  
1 1/2" = 1'-0"




② DETAIL- ROOF EAVE UPPER  
1 1/2" = 1'-0"



① DETAIL- ROOF RAKE  
1 1/2" = 1'-0"

NOT FOR CONSTRUCTION



JACK WESSON  
ARCHITECTS INC.

110 SOUTH PINE ST. #100  
TELLURIDE, COLORADO  
81435  
TEL: 970.728.8755  
FAX:  
970.728.8724  
jwesson@me.com  
www.jackwessonarchitects.com

11-2-21	TREE REMOVAL REVISION
10-19-21	HOA FINAL APPROVAL
8-13-21	CONSTRUCTION STAGING
8-23-21	DRIB set 1
7-19-21	HOA set 1
4-21-21	SITE PLAN PROGRESS
3-25-21	AREA CALCUS
3-16-21	DRAW'T SET
2-22-21	SITE PLANNING

PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:  
202 JWA

PROJECT NAME:  
LOT 600BR-11-R  
MOUNTAIN VILLAGE  
COLORADO 81435

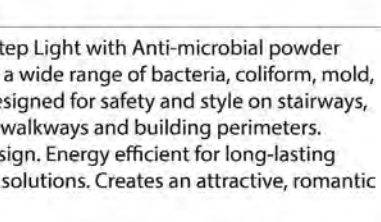
SHEET DESCRIPTION:  
ROOF DETAILS

SHEET NUMBER:  
A600

PraineRegular



## LEDme® Step Light



Vertical rectangle LEDme® Step Light with Anti-microbial powder coat paint proven to restrain a wide range of bacteria, coliform, mold, fungus, algae, and yeast. . Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters. Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

- Direct wiring, no driver needed
- Title 24 JA8 - 2016 Compliant (120V only)
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- Up to 200 fixtures can be connected in parallel
- Replaceable LED module
- 5 year WAC Lighting product warranty

Model #	Color	Finish
<b>WL-LED201</b> 120V	<b>27</b> 2700K	<b>WT</b> White
	<b>30</b> 3000K	
	<b>AM</b> Amber (610nm)	

Example: **WL-LED201-30-WT**

For 277V, add "F" before the CCT: **WL-LED201F-30-WT**

## Responsible Lighting®

[illegible][illegible]

---



<b>Construction:</b>	Die-cast aluminum.
<b>Power:</b>	Direct wiring, no remote driver needed.
<b>Input:</b>	120V 50/60Hz (277V special order)/3000K, Amber (AM)
<b>Light Source:</b>	HV-AC High Power LED, CRI: 90 Optical power consumption of 3.5W
<b>Mounting:</b>	Fits into 2" x 4" J-Box with minimum inside dimensions of 3 1/8" x 2 7/8" (includes bracket for J-Box mount).
<b>Dimming:</b>	Dim to 10% with ELV dimmer (120V only). Approved dimmers: Lutron Nova+ NTELV-300 & NTELV-600, Lutron Vitec VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600
<b>Standards:</b>	IP66, UL & cUL Listed for wet locations, LULU D24 Compliant (120V only)



ARCHITECTS INC

TELLURIDE, COLORADO 81435

TEL: 970.728.9755  
FAX: 970.728.9724  
jwesson@me.com  
www.jackwessonarchitects.co

PROJECT NAME:  
600BR-11  
MOUNTAIN VILLAGE  
COLORADO 81435

SHEET DESCRIPTION:  
MATERIAL SAMPLES  
AND CUT SHEETS

SHEET NUMBER

A900

1000

PrairieRegular



## PRODUCT SPECIFICATIONS

Base Item #302630  
Configured Item #302630-1005  
302630-LED-10-78

**ACCENT**  
Coastal Burnished Steel - 78

FINISH	ACCENT	LAMPING
Coastal Black - 10	Black - 10	LED
Coastal Natural Iron - 20	Natural Iron - 20	
Coastal Gold - 70	Coastal Gold - 70	
Coastal Mahogany - 73	Coastal Mahogany - 73	
Coastal Bronze - 76	Coastal Bronze - 76	
Coastal Dark Smoke - 77	Coastal Dark Smoke - 77	
Coastal Burnished Steel - 78	Coastal Burnished Steel - 78	

<p><b>Stratum Dark Sky Friendly LED Outdoor Sconce</b></p> <p>Base Item #: 302630</p> <p>Configured Item #: 302630-1005</p> <p>302630-LED-10-78</p> <p>ADA compliant Contemporary aluminum direct wire LED exterior wall sconce. Choose a finish for the upper LED housing and an accent for the textured plate. Designed and built to Dark Sky standards.</p> <ul style="list-style-type: none"> <li>Handcrafted to order by skilled artisans in Vermont, USA</li> <li>Lifetime Limited Warranty when installed in residential setting</li> <li>Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.</li> </ul>	<p><b>LED Lamping Dedicated</b></p> <p>LED: 15 watt</p> <p>CCT: 3000K</p> <p>CRI: 90</p> <p>Input: 120 - 277V 50/60Hz</p> <p>Dimming: ELY: 0-10</p> <p>Delivered Lumens: 500</p> <p>LED Source Lumens: 975</p> <p>IES Files Available: N</p> <p><b>Location Rating</b></p> <p>Outdoor Wet</p> <p><b>Safety Rating</b></p>
---	---

Height	7.40"
Width	9.50"
Projection	3.70"
Product Weight	4.70 lbs
Vertical Mounting Height	5.00"
Packed Weight	9.00 lbs
Shipping (DIM) Weight	17.00 lbs

Copyright © 2021 Hubbardton Forge. All Rights Reserved. 800-826-4766 | <https://www.hubbardtonforge.com>

PROJECT NAME:

PROJECT NAME:  
PROJECT MANAGER:  
DRAWN BY:  
REVIEWED BY:

© 2020 JWA



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

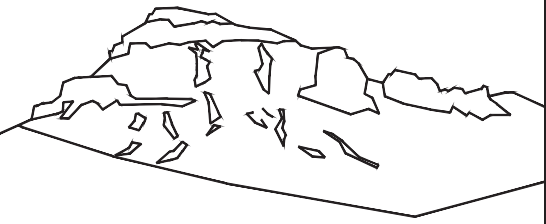
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

SUBMITTAL 2021-07-23

Lot 600BR-11-R  
Trails Edge  
Mtn. Village, CO

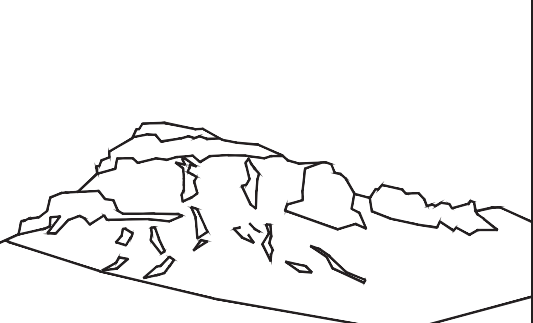
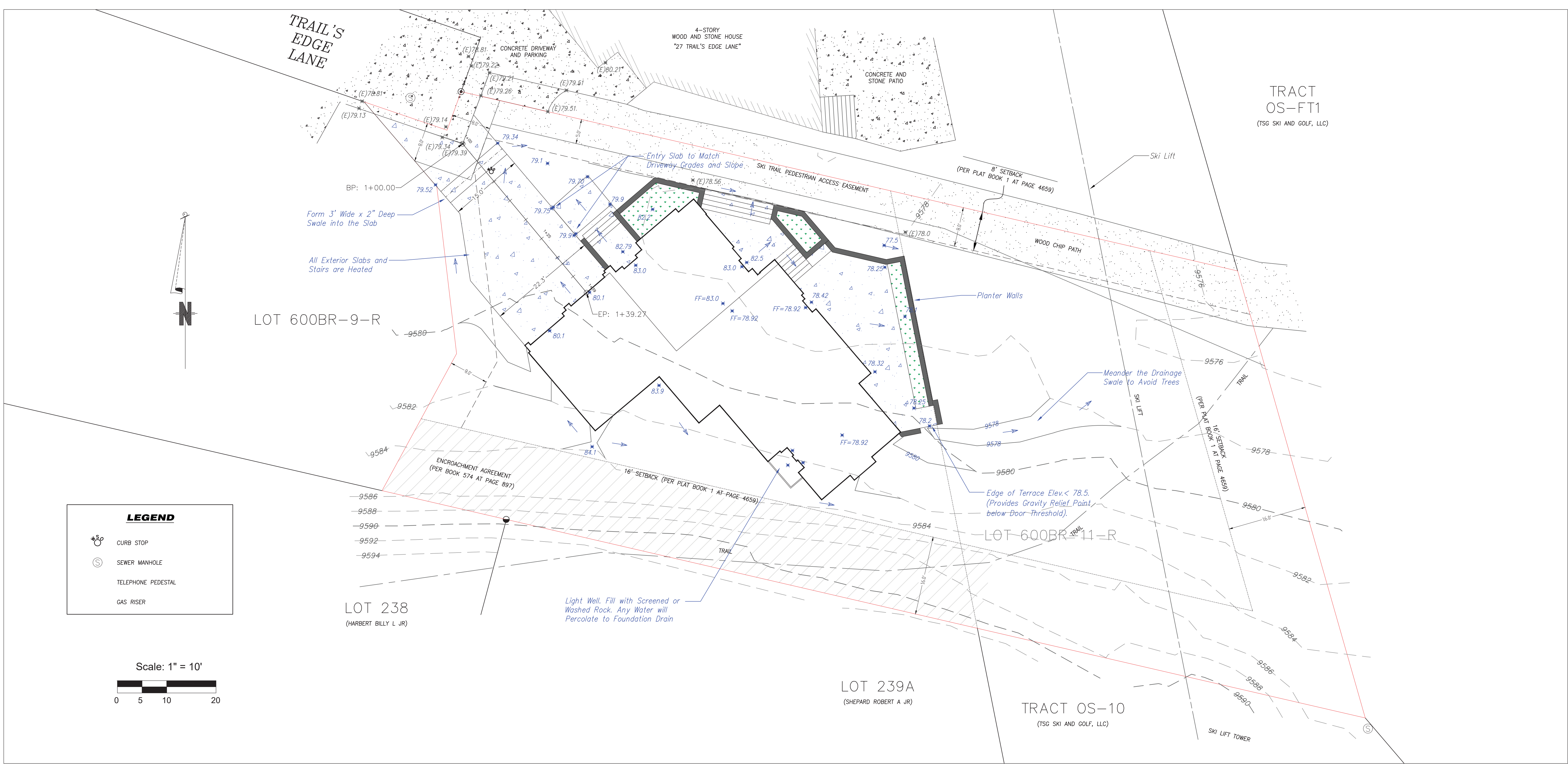


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1





Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
SUBMITTAL 2021-07-23

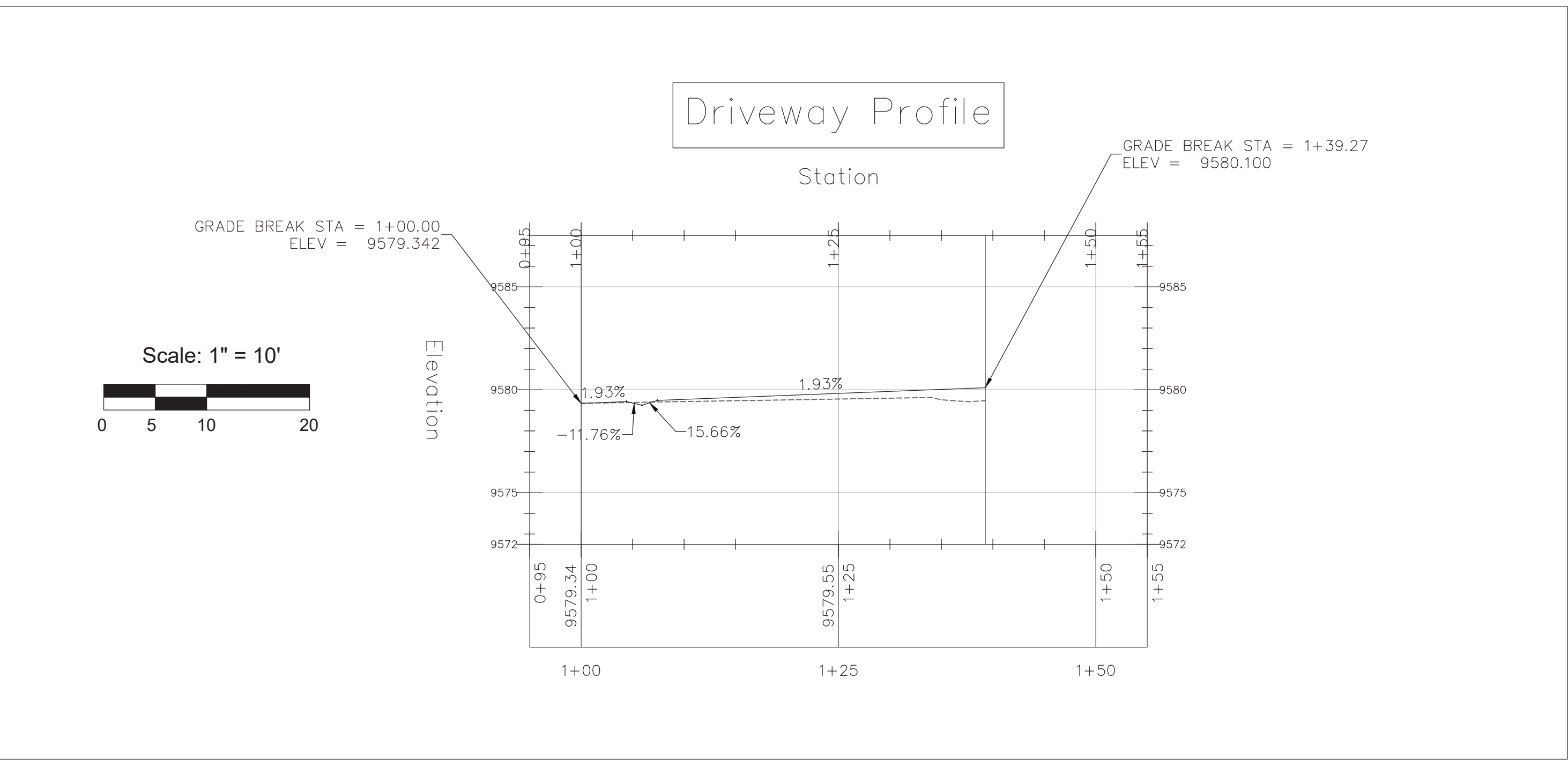
Lot 600BR-11-R  
Trails Edge  
Mtn. Village, CO



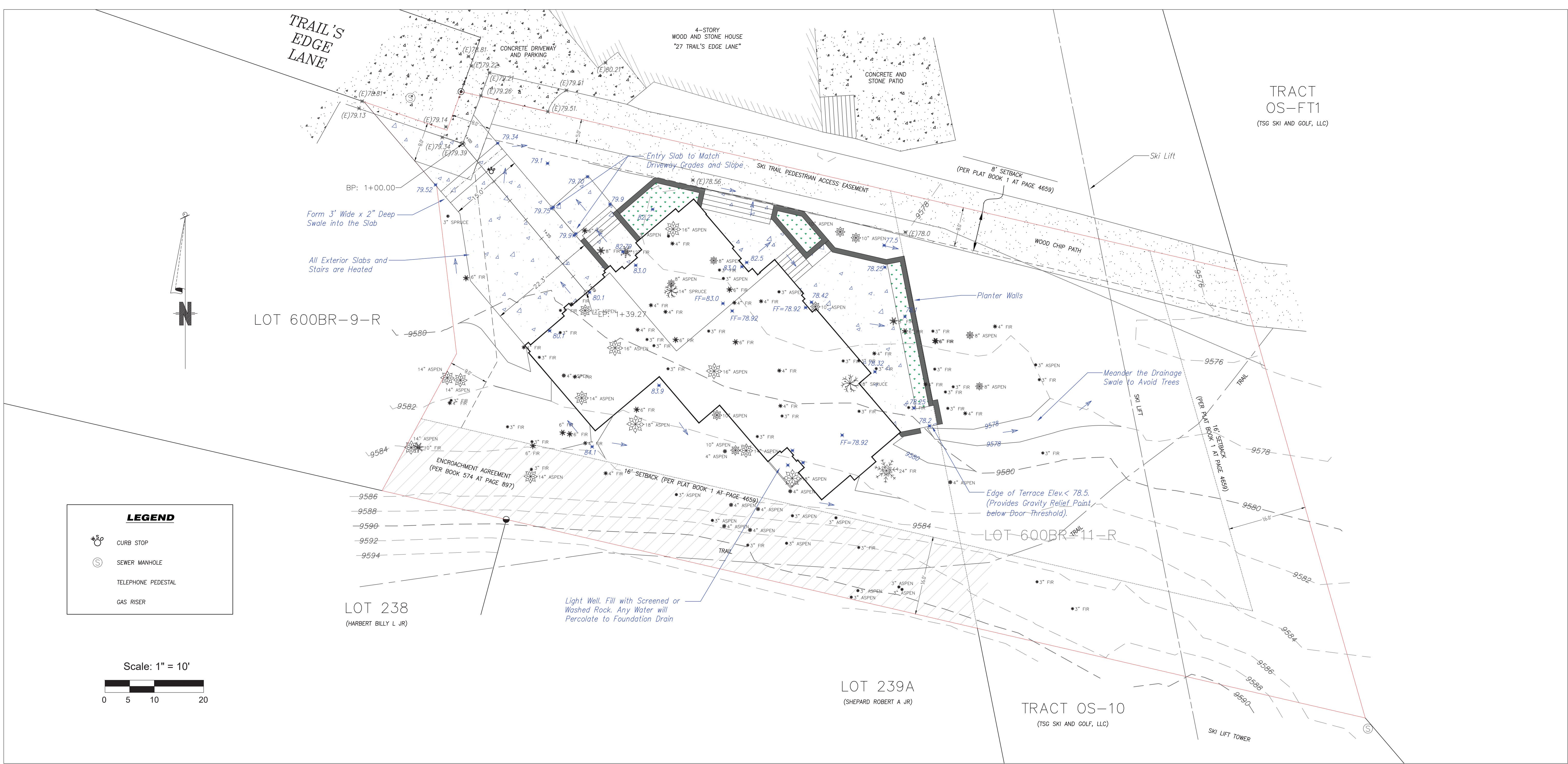
CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading  
and Drainage  
  
with  
  
Driveway  
Profile  
  
Trees Displayed

C2.1







Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
SUBMITTAL 2021-07-23

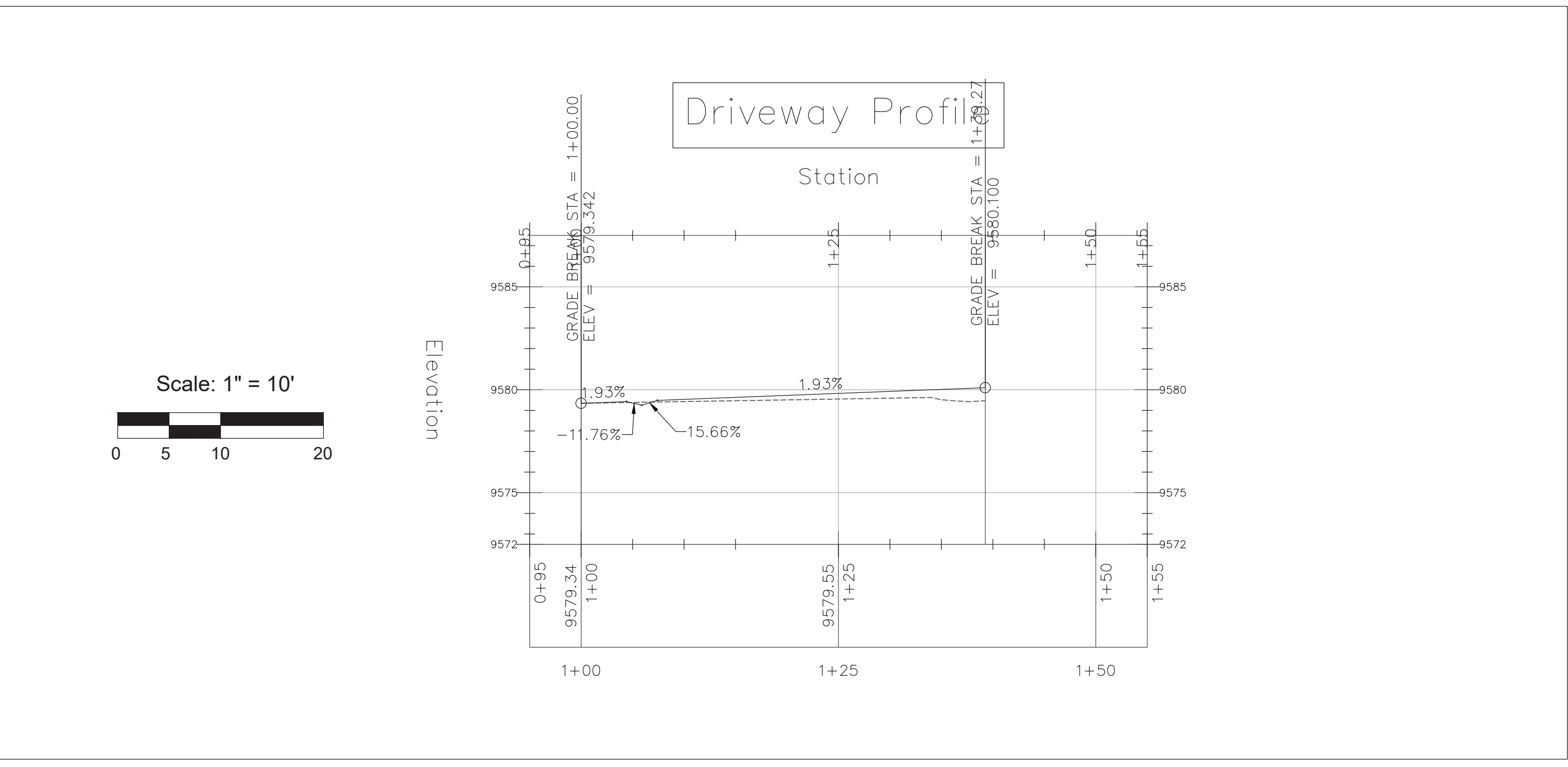
Lot 600BR-11-R  
Trails Edge  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading  
and Drainage  
  
with  
  
Driveway  
Profile  
  
Trees Displayed

C2.2





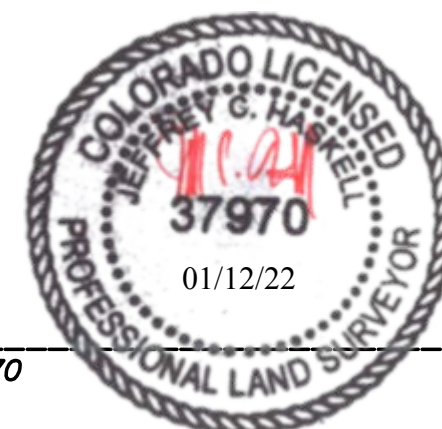
TRAIL'S  
EDGE  
LANE  
(PAVED PRIVATE ROAD)

LOT 600BR-10  
(PLK WEST, LLC)

4-STORY  
WOOD AND STONE HOUSE  
"27 TRAIL'S EDGE LANE"

**SURVEYOR'S STATEMENT:**

This Existing Conditions Plan of Lot 600BR-11-R, Trail's Edge at Double Cabins, Town of Mountain Village, was prepared on November 10, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

**LEGAL DESCRIPTION:**

LOT 600BR-11-R, TRAIL'S EDGE AT DOUBLE CABINS, ACCORDING TO THE PLAT RECORDED NOVEMBER 11, 2004 IN PLAT BOOK 1 AT PAGE 3385 AND ACCORDING TO THE LOT LINE ADJUSTMENT FOR LOTS 600BR-9 & 600BR-11, TRAIL'S EDGE AT DOUBLE CABINS RECORDED JULY 25, 2014 IN PLAT BOOK 1 AT PAGE 4659,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**NOTES:**

- Easement research and property description from Land Title Guarantee Company, Order Number TLR86010348, dated August 06, 2020 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 080166, Panel Number 0287 D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- BASIS OF BEARINGS: Found monuments along the northern boundary of Lot 600BR-11-R, as shown hereon, assumed to have the record bearing of S 77°00'00" E according to Plat Book 1 at page 4659.
- Benchmark: Control point "CP SPIKE", as shown hereon, with an assumed elevation of 9579.66' feet.
- Contour interval is two feet.
- Only trees 3" or greater in diameter were located as part of this survey.
- Slopes 30% or greater are shown hereon.
- Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
- Foley Associates, Inc. is not aware of any wetlands located on this lot, but a wetland delineation was not performed as part of this survey.
- NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

LOT 600BR-9-R  
(BODEN MARK REVOCABLE TRUST)

LOT 600BR-11-R  
0.34 ACRES (M)  
0.34 ACRES (R)

"NO EXISTING STRUCTURES"  
"NO POSTED ADDRESS"

DOUBLE CABINS SKI RUN

TRACT  
OS-FT1  
(TSG SKI AND GOLF, LLC)

TRACT OS-10  
(TSG SKI AND GOLF, LLC)

LOT 238  
(HARBERT BILLY L JR)

LOT 239A  
(SHEPARD ROBERT A JR)

**LEGEND**

- SPOT ELEVATION
- CURB STOP
- SEWER MANHOLE
- TELEPHONE PEDESTAL
- GAS RISER
- 4"-PVC PIPE
- 4"x4" LOT POST MARKER
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 36577
- FOUND 3/4" BRASS TAG, L.S. 24966
- FOUND 1-1/2" ALUMINUM CAP ON 16" x 5/8" REBAR, L.S. 37970
- SET 3/4" BRASS TAG, L.S. 37970
- (M) MEASURED DIMENSIONS ACCORDING TO THIS SURVEY
- (R) RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 4659

SCALE: 1" = 10'

**EXISTING CONDITIONS PLAN**

Lot 600BR-11-R, Trail's Edge at Double Cabins, Town of Mountain Village,  
located within the NW 1/4 of Section 3, T.42N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH	Rev.	description	date	by
Technician:	FO				
Checked by:					
Start date:	11 / 2021				



970-728-6153 970-728-6050 fax  
P.O. BOX 13885  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Drawing path: dwg/13035 ECP 11-21.dwg

Sheet1 of 1 Project #: 13035



Review comments by TOMV staff forester, Michael Otto for a new single family home at lot 600BR-11

<C:\Users\Adam\Documents\00-WORK\425 W Pacific\drawings\TE11 10-18-21.pdf>  
 [\(townofmountainvillage.com\)](http://townofmountainvillage.com)

Diversity of tree plantings of 40% is not met. Spruce species is not defined.

The wildfire mitigation plan does not define which trees are to be removed from zone 2. The Town of Mountain Village staff forester can assist with planning zone 2 thinning prescription that will meet crown-spacing requirements.

Scott Pittinger, Telski - TSG is not currently amenable to requesting a variance for the applicant's proposed improvements. All structures and improvements within the 35' GE require a variance, regardless of grade. A variance is granted, or not, at the behest of the Board and as mentioned can only be requested by the Lift Owner.

Please let us know if you need anything further from TSG for your comments to the applicant. We are open to further discussions with the applicant and TMV. It is our aim to take a neighborly approach to all adjacent property owners, but have yet to receive any direct communication from the applicant.





# TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

---

Date: 01/03/2022

Address: Lot 600BR-11, 22 Trails Edge  
Mountain Village, CO 81435

TFPD approves the proposal with the following conditions:

- 1) The structure is over 3,600 sq ft and shall require a monitored sprinkler system.
- 2) The width of the driveway shall meet the code of 16' total width. 12' shall be a hard surface with the shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 3) The address monument shall be a minimum of 4'6" from grade to the bottom of the address numbers. Address numbers shall be 6" in height, reflective coated, or outlined with a reflective coating.
- 4) TFPD recommends the installation of a Knox Box for emergency entry into the structure.



**From:** [Mayer, Mike](#)  
**To:** [Amy Ward](#)  
**Subject:** proposed development of lot 600 BR-11-R  
**Date:** Sunday, January 23, 2022 4:25:08 PM

---

Dear DRB-

We live full time at 109 Hang Glider and use the trail just uphill of this lot to egress from our house to the ski run. The trail is lightly shown in the plans on the south side of the lot, just uphill of Elkstone and Trails Edge.

We would just like the DRB to consider ensuring the new home design and its landscaping still allows for access to that trail for those of us that use it from Gold Hill Court and Hang Glider Drive. Based on the plans, it looks like this should all be ok, but wanted to voice our concern.

The home design itself looks very nice.

Thank you for your work for the community.

All the best

Mike and Merry Mayer  
109 Hang Glider

**Michael G. Mayer, CFA, CFE** [Download vCard](#)  
Vice President



Charles River Associates  
One South Wacker Drive  
34<sup>th</sup> Floor  
Chicago, IL 60606

This electronic message and its attachments contain information from the consulting firm of Charles River Associates that may be confidential or privileged. If you are not the intended recipient we ask that you notify us immediately via reply e-mail and delete or destroy this message and any copies of it. Thank you for your cooperation.

+1-312-377-9228 direct  
+1-312-909-4750 mobile  
+1-312-357-1001 fax  
[mmayer@crai.com](mailto:mmayer@crai.com)

[www.crai.com](http://www.crai.com)





AGENDA ITEM 8  
**PLANNING & DEVELOPMENT SERVICE**  
**PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Mountain Village Design Review Board

**FROM:** Amy Ward, Senior Planner

**FOR:** Design Review Board Public Hearing; February 3, 2022

**DATE:** January 24, 2022

**RE:** Staff Memo – Initial Architecture and Site Review (IASR) Lot 161D-1 Unit 22

## APPLICATION OVERVIEW:

### **PROJECT GEOGRAPHY**

**Legal Description:** UNIT 22 THE RIDGE AT TELLURIDE, ACCORDING TO THE PLANNED COMMUNITY PLAT OF THE RIDGE AT TELLURIDE RECORDED APRIL 5, 2004 IN PLAT BOOK 1 AT PAGE 3262 AND AS DEFINED AND DESCRIBED IN THE DECLARATION RECORDED APRIL 5, 2004 UNDER RECEPTION NO. 365201, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**Address:** 4 La Salle Lane  
**Applicant/Agent:** Steve Morton, Morton Architects  
**Owner:** Tohelluride LLC  
**Zoning:** Multi-Family  
**Existing Use:** Vacant Lot  
**Proposed Use:** Detached Condominium  
**Lot Size:** 7,500 square feet

#### **Adjacent Land Uses:**

- **North:** Multi-Family
- **South:** Multi-Family
- **East:** Multi-Family
- **West:** Open space

### **ATTACHMENTS**

Exhibit A: Architectural Plan Set  
Exhibit B: Staff/Referral Comments  
Exhibit C: County Referral Comments and Town of Telluride Comments



*Figure 1: Vicinity Map*



**Case Summary:** Steve Morton of Morton Architects (Applicant), on the behalf of Tohelluride LLC (Owner) is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family detached condominium located at Lot 161D-1, Unit 22, 4 La Salle Lane. The Lot is 7,500 square feet and is zoned Multi-Family. The proposal includes a detached condo with the approximate gross square footage of 6,139 square feet, with 5,806 livable s.f. Because of the home's location near the top of Coonskin Ridge, additional development regulations must be addressed in addition to the general Design Review Standards – specifically, CDC Section 17.5.16: Ridgeline Lots.

#### County and Town Settlement Agreement

In 1999 the Town and County entered into a settlement agreement that addressed a number of county issues and controls including the operations of the gondola, the Ridgeline Covenant, the final Mountain Village development plan, wetland regulations, and deed restricted housing. This unit is subject to the Ridgeline Covenant, the regulations associated are noted above as outlined in the CDC. Pursuant to the settlement agreement and the Ridgeline Covenant, the Town of Mountain Village sends development application referrals to San Miguel County and the Town of Telluride should the properties be referenced in the Ridgeline Covenant. There is also an associated story pole requirement again required both by the CDC and the Ridgeline Covenant. What is within the DRB's purview are the provisions outlined in the CDC. The Town does not enforce the provisions of the Settlement Agreement although we adhere to the courtesy notice provisions as outlined in the settlement agreement.

#### Story Pole Requirement

Due to the location of the home as it relates to the Ridgeline Covenant, and the geographical ridge elevation, the applicant has requested the Community Development Director waive the story pole requirement. This request is at the Director's discretion per the CDC. This request is also consistent with the Lot 161D-1 Unit 15 waiver approval which occurred in 2016 and Unit 17's waiver approval which occurred in 2021.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

*Table 1*

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
<b>Maximum Building Height</b>	45' (ridge allowance)	38' 4"
<b>Maximum Average Height</b>	30' (ridge allowance)	25' 11"
<b>Maximum Lot Coverage</b>	Not applicable to Ridge	
<b>General Easement Setbacks</b>	No GE	
<b>Roof Pitch</b>		
Primary		2:12
Secondary		2:12
<b>Exterior Material**</b>		
Stone	35% minimum	38.3%
Fenestration/ Glass	40% maximum	28.5%
<b>Parking</b>	1	1*

\*Additional information has been provided below regarding parking at the Ridge.

#### **DRB Specific Approval:**

1. Metal Fascia



2. Landscaping in the GCE
3. Architectural Lighting (if approved)

**Design Variations:**

1. Landscaping – diversity of species

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates mostly Gabled roof forms with one lower shed roof projecting outward. Because of development agreements memorialized in the CDC, the Unit 17 is classified as a ridge lot, and with that it is granted a different height allowance than other detached condominiums in the Mountain Village. The unit is subject in this case to a 45-foot height limit from finished grade.

*Staff: As part of this application, a Maximum Building Height of 38' 4" and Average Building Height calculation of 25' 11" has been provided, the applicant has also demonstrated height compliance with a parallel plane projection. It appears this project is meeting all height requirements of the CDC.*

**17.3.14: General Easement Setbacks**

Lot 161D-1, Unit 17 is not burdened by any General Easements or Setbacks. The development documents specify that each unit on Lot 161D-1 is permitted to utilize the full 7,500 square feet allocated. The applicant is proposing a slight revision to the orientation of the building Unit. If the design review is approved as proposed, the revision to the building Unit will be handled as a staff level minor subdivision as an amendment to the condominium map prior to building permit.

**Chapter 17.5: DESIGN REGULATIONS**

**17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: The massing and form of the proposed home at Unit 22 is contemporary, with shallow shed roof forms, while the materials are a mix of more contemporary metal accents and more traditional wood and stone cladding. The steel trestles that support the covered deck area are reminiscent of railroad tresses common in the area and tie the proposed home to the history of the railroad as it relates to mountain towns in the area.*

*It appears based on the applicant's submittal that the material palette for the project blends well with both the surrounding community, as well as the overall modern mountain vernacular. The materials are discussed below in more detail as it relates to the ridgeline lot requirements of Section 17.5.16.*



#### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into the existing landforms and vegetation.

*Staff: The home is sized at approximately 6,100 gross square feet, which is in line with other home sizes along the ridge. As viewed from the top of coonskin ridge looking downhill the home does feel like it has been built into the hillside in a way that reduces its overall mass, however from the other side, the home will appear much larger. The predominant glazing on this elevation is broken up fairly well with no significant areas of unbroken glass, however staff does have some concerns about the visual impacts of interior lighting penetrating the glazing.*

*As briefly mentioned above, these lots essentially function as footprint lots and allow for full development of the allocated 7,500 square feet. With that, the location of the homes building envelope is tied to the subdivision documents and the location of the specific units within Lot 161D-1. It does appear that the home has attempted some visual subordination by incorporating the design of the home into the hillside. Due to the steep slopes, vegetation, and location – it will be difficult to blend all future development of the homesites into the existing landforms entirely. With that being said, staff believes this project to be accomplishing this standard.*

#### **17.5.6: Building Design**

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

*Staff: The stone cladding at over 38% gives this home a grounded feel. Adding to this heavy grounded form, the large scale stone columns used to support the upper level deck transfer this groundedness to the rest of the building form. Staff feels this criteria is being met.*

*Overall, the material palette blends the contemporary and more traditional cladding that we see in in the Mountain Village. Blocky stone in a cool gray tone will contrast with the warm wooden cedar siding. The roof is a standing seam metal in dark gray as is the fascia. Metal fascia is a DRB specific approval, and if DRB agrees with this material a specific approval should be granted. There are structural steel elements that add variety. There is a small area of bonderized metal shingle shown in the partial south elevation on A3.4,. Staff was not able to identify any other areas of the home where this material is proposed. If that is the case DRB should discuss whether another material that is used elsewhere on the home might be more appropriate.*

*The applicant has indicated 620 s.f. of snowmelt in the autocourt which is under the 1000 square feet allowed without penalty per the CDC.*

#### **17.5.7: Grading and Drainage Design**

*Staff: The applicant has provided a conceptual grading and drainage plan as it relates to access, and grading required for areas surrounding the home. Generally speaking, grading is focused mostly on the creation of the access road to the building site and the autocourt area. There are two retaining walls shown to hold grade away from the autocourt area, these are stepped to avoid any walls over the allowable 4' per the CDC. There is some additional grading on the SE and SW sides of the home to keep positive drainage away from the building. The NW side of the home has some proposed grading to create a landscaped firepit area. Half of the proposed firepit extends beyond the boundary of Unit 17, however according to the condo declarations, landscaping is allowed in the GCE as*



*long as it is approved by DRB and the HOA. As the application was approved by the HOA, it is assumed that they approve of the proposed landscape element. If DRB finds this landscaping approval appropriate than a specific approval should be granted.*

#### **17.5.8: Parking Regulations**

*Pursuant to Resolution No. 2003-0610-10 and the Lot 161CR settlement agreement the parking requirement for this property is one parking space to be satisfied either by a parking reservation agreement at Lot 161CR when the parking garage is finally developed or a parking payment in lieu to the Town of Mountain Village. The applicant should verify whether this parking reservation agreement has been executed.*

#### **17.5.9: Landscaping Regulations**

*The applicant has provided a preliminary landscaping plan that includes the addition of bristlecone pine, spruce and aspen for a total of 18 new trees. It also indicates two planter boxes with perennial beds. Though the diversity of species is not being met, the Town Forester recommends waiving this requirement for this project. If DRB agrees, than a design variation should be granted.*

#### **17.5.11: Utilities**

*Staff: All utilities are currently located within proximity to the home. The applicant shall work with the Public Works Director before the final review to verify the specific locations of the connections for the home. The plan set shows the proposed connections and the locations of the proposed utilities based on field research.*

#### **17.5.12: Lighting Regulations**

*Staff: The applicant has provided a lighting plan and photometric study. Both of the recessed can fixtures as well as the path lighting fixture (fixtures L1, L2 and L3) have lumen output that exceed the max allowable per the CDC. The applicant has specified that the fixtures will be placed on a dimmer system to cap their output. The deck on the NW side of the home has LED strip lighting installed that will wash the underside of the roof deck (see detail at L2.0). DRB should discuss whether this detail should be considered architectural and if so and it is found to be approvable than a specific approval should be granted. It should be noted that this deck area faces the mountain village side. It will be important to provide very subdued lighting given the visibility of the home from the Mountain Village Core, and DRB should consider whether this lighting is appropriate in this location. Additionally, the Ridge Settlement agreement has additional lighting requirements for any lighting fixtures that face east towards the valley floor. The proposed lighting does not include any fixtures that would contradict these requirements.*

#### **17.5.13: Sign Regulations**

*Staff: The applicant has not provided details on the address monument / location. Prior to final review, the applicant shall provide a full address monument design to include location and method of illumination.*

#### **17.5.16: Ridgeline Lots**

*The CDC identifies Lot 161D-1 as a part of the Ridge Area and as such provides additional design restrictions. As previously described, the intent of these standards is to memorialize the restrictions in the development agreement. These provisions attempt to require the home to maintain visual subordination to the natural landscape along the ridge.*

*In order to accomplish this, the code requires the following:*



1. All improvements are subject to a ridgeline covenant with San Miguel County as recorded at reception number 329093. The Town does not enforce the ridgeline covenant, with enforcement solely administered by San Miguel County.

*Staff: The improvements appear to be aligned with the ridgeline covenant as discussed above within this memo. The Town of Mountain Village does not enforce this covenant but provided this application and all materials to both San Miguel County and the Town of Telluride in order for those agencies to provide comment on the proposed application.*

2. The building height on Lot 161A-1R shall not exceed 35 feet (35') along the ridgeline of such building.

*Staff: Not applicable. Subject unit is within Lot 161D-1.*

3. Building height on other ridge area lots shall not exceed the lesser of:
  - a. The height of forty-five feet (45'); or
  - b. The maximum height allowed to the view plane limitation set forth in section 4 below.

*Staff: The applicant is meeting these criteria with the proposed design. Because this lot is not within an identified view plane, it is limited by a height of 45 feet.*

4. Except for the existing building on Lot 161A-1R and gondola facilities, the development of ridgeline area lots shall be designed to ensure that no lighting or any part of any building or structure extends into the view plane as shown on the Coonskin View Plane drawing recorded at reception number 328113.

*Staff: Not applicable. Subject unit is not located within any view plane identified on the Coonskin View Plane.*

5. New development in the ridgeline area, excluding the existing building on Lot 161A-1R and gondola facilities, shall require (a) the erection of a story pole to reflect the maximum height of the proposed development where such development will extend closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window. The applicant for development shall provide written notice of the story pole erection to San Miguel County and the Town of Telluride.

*Staff: The Town of Mountain Village has waived this request due to the location of the site in relation to the Coonskin View Plane survey and the geographical ridge. SMC as a courtesy has agreed to this waiver request. The applicant has provided the following within their attached narrative "the story pole requirement should be waived due to the long distance away from the ridge line and the fact that the site is located approximately 160' below the ridge."*

6. To the extent practical, no exterior lights shall be installed on the east side of buildings. Any required exterior lighting shall be shielded, recessed, or reflected so that no lighting is oriented towards the east side of the building.

*Staff: This item has been addressed above within the Lighting Standards.*



7. No solid fuel burning device shall be allowed in the building on Lot 161A-1R.

*Staff: All fireplaces at the home are required to be natural gas burning fixtures, including the exterior firepit.*

8. For all new development, or substantial modifications to existing development, a courtesy referral shall be provided to San Miguel County and the Town of Telluride consistent with the Referral and Review Process outlined in the Development Review Procedures. The Town is not bound by any referral comments from either jurisdiction.

*Staff: A courtesy referral was provided to both the Town of Telluride and San Miguel County on November 10, 2021.*

## **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

### **17.6.1: Environmental Regulations**

*Staff: Fire Mitigation and Forestry Management: The Town Forester has deemed that the applicant is meeting all fire mitigation requirements.*

*Steep Slopes: The building site does contain steep slopes but due to the nature of the predetermined location of the Unit –the steep slopes are impractical to avoid.*

### **17.6.6: Roads and Driveway Standards**

*Staff: The typical road and driveway standards do not apply to the ridge given its unique location and access. The driveway is rather steep – 14%, but it is proposed as snowmelted. Staff would like to get some assurance from the applicant that a golfcart can handle these conditions, especially since the steepest grade of the driveway spans a rather tight curve. The autocourt where it meets the garage is 5.9% in grade which is comparable to our general driveway standards.*

### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: The applicant has indicated that the proposed home does include fireplaces, and these are gas burning fixtures as required.*

## **Chapter 17.7: BUILDING REGULATIONS**

### **17.7.19: Construction Mitigation**

*Staff: The construction mitigation plan includes tree protection for trees to be saved; laydown/storage areas; parking areas; crane location and swing radius; portable toilet location; construction trailer location; dumpster and bear-proof trash can locations. The drainage and erosion control plan included with the civil drawings include appropriate erosion control and water quality protection measures including silt fencing and sediment control logs. It is unclear whether perimeter fencing with attached green screening has been included, this should be clarified prior to final review. There is a temporary access road that will be created for the use of construction vehicles, it is indicated that this will be revegetated at the end of the project. It will be important for staff to ensure this revegetation happens in a way that will be successful.*

**Staff Recommendation:** Staff recommends the DRB consider this request in relation to the CDC provisions listed above and particularly in Section 17.5.16: Ridgeline Lots to determine if the home is substantially complying with these provisions. If it's determined that the home does comply with these provisions, then staff recommends approval of the IASR.



***Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.***

**Proposed Motion for Approval:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family detached condominium located at Lot 161D-1 Unit 22, based on the evidence provided within the Staff Memo of record dated January 24, 2022, with the following specific approvals and DRB Specific Approvals:

1. Metal Fascia
2. Landscaping in the GCE
3. Architectural Lighting (if approved)

Design variations:

1. Landscaping – diversity of species

And, with the following conditions:

- 1) Prior to submittal for Final Architectural Review, the applicant will revise the construction mitigation plan to include perimeter fencing.
- 2) Prior to submittal for a Final Architectural Review, the applicant shall provide design and location details for the address monument, to include lighting details.
- 3) Prior to Final Review the applicant should provide documentation regarding the parking reservation agreement with 161-CR.
- 4) Prior to issuance of a building permit the applicant must provide the town with an executed copy of the Addendum to Reservation and Escrow Agreement for parking.
- 5) Prior to final review the applicant shall provide additional details of a golf carts ability to handle a 14% grade.
- 6) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 7) Prior to the issuance of a building permit the applicant shall finalize the minor subdivision process altering the Unit 22 location on the condominium map, and record a new condo map with San Miguel County.
- 8) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 10) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the common open-space.
- 11) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:



- a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
- 12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



# architect

**Town of Mountain Village Sketch Design Review**  
**Freeman Residence – Lot 22 The Ridge**  
**11-5-21**

The building site is located within the Ridge Development (161D-1 parcel) near the top of the gondola. The home is designed to be a single family detached condominium home on three levels in a traditional alpine vernacular with contemporary references and details. The site is accessible via snow melted electric cart paths only, or via the ski slopes. The home is designed to blend with the surrounding ski area and other homes and respects the natural topography and landscape. The home will have shallow sloping shed roof lines often seen in alpine architecture. It will be built with materials proven to last in a high alpine environment. The primary building forms have been designed to have strong architectural lines and heed the building height restrictions and all of the design regulations.

We are requesting a small rotation in the building envelope to shift out of steeper topography and maximize sun and view angles. The building envelope will not change in size. The rotation will occur around the existing northwest corner of the building envelope.

The driveway/cart path to the site is planned to be connected to the existing HOA snow melted road system. The new HOA road/driveway extension will be approximately 210' long and 10' wide. (2100sf). The residence will require 620 sf of the allowable 1000sf of exterior snowmelt, therefore the bottom 320sf of the access drive can be melted by the residence/cart court area.

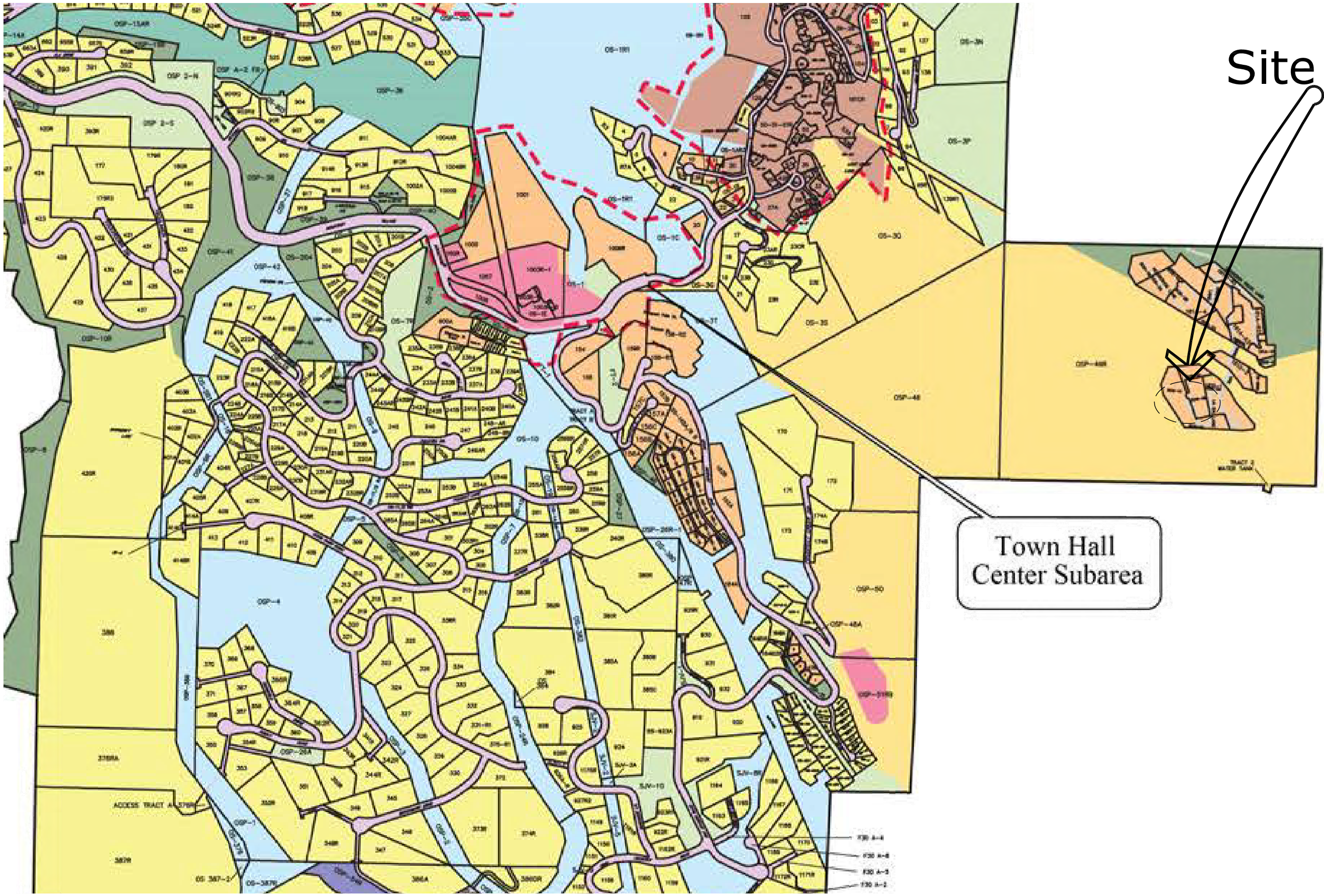
The site design includes an outdoor firepit area outside of the building envelope, on Open Space, and is allowable per the regulations. The firepit is half in the envelope and half out of the envelope, approximately 10' outside of the envelope.

Additionally, we would like to request a variance from the requirement of putting up a story pole and light on the site due to the long distance away from the ridge line and the fact that the site is located approximately 160' below the ridge.

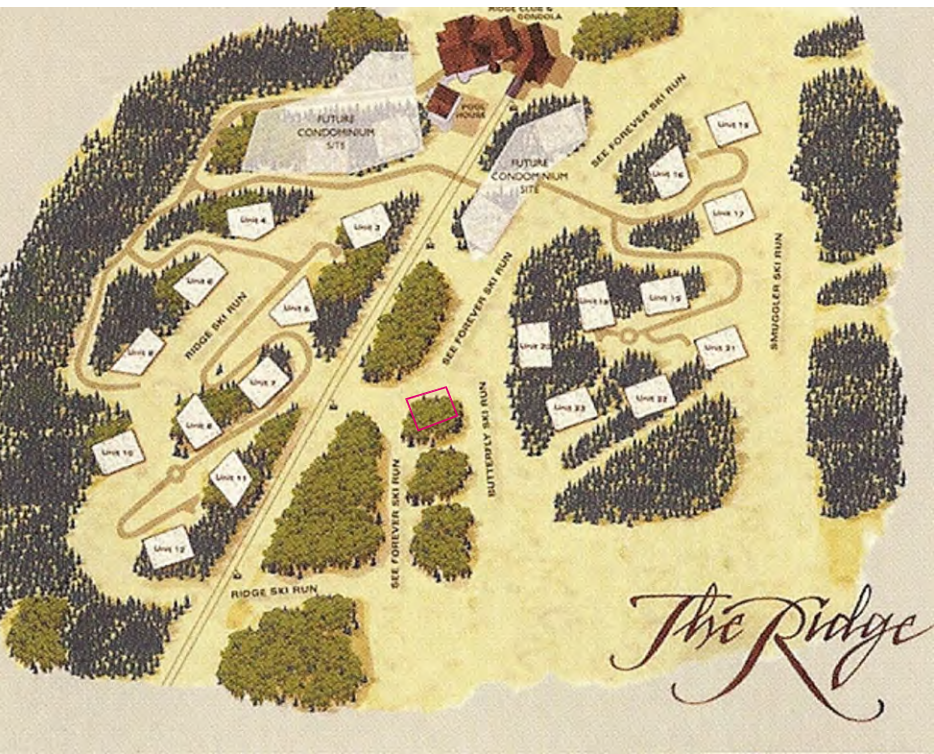


FREEMAN RESIDENCE
THE RIDGE LOT 22

TOWN OF MOUNTAIN VILLAGE
TELLURIDE, COLORADO



VICINITY MAP



INDEX

- AC COVER SHEET
ACs 3D COLORED RENDERINGS
A-0 LAND SURVEY
SURVEYOR PLAT
SURVEYOR TOPOGRAPHY
C-1 GRADING PLAN TBD
C-2 DRAINAGE PLAN TBD
C-3 UTILITY PLAN TBD
A-1.0 SITE PLAN
A-1.2 SITE CONSTRUCTION STAGING PLAN
A-1.2B SITE CONSTRUCTION ACCESS PLAN
A-1.3 SITE ROOF PLAN
A-1.4 SITE SNOWMELT PLAN
A-2.0 LOWER LEVEL FLOOR PLAN
A-2.1 MAIN LEVEL FLOOR PLAN
A-2.2 UPPER LEVEL FLOOR PLAN
A-2.4 ROOF PLAN
A-3.0 EXTERIOR ELEVATIONS
A-3.1 EXTERIOR ELEVATIONS
A-3.2 EXTERIOR ELEVATIONS
A-3.3 EXTERIOR ELEVATIONS
A-3.4 EXTERIOR ELEVATIONS PARTIAL
A-3.5m EXTERIOR MATERIAL CALC.S
A-3.6m EXTERIOR MATERIAL CALC.S
A-3.7m EXTERIOR MATERIAL CALC.S
A-3.8m EXTERIOR MATERIAL CALC.S
A-4.0 BUILDING SECTIONS
A-4.1 BUILDING SECTIONS
A-4.2 BUILDING SECTIONS
A-6.0 DOOR AND WINDOW SCHEDULES
D-1 DETAILS
D-3 DETAILS
A-M EXTERIOR MATERIALS SAMPLE BOARD
L-1.0 LANDSCAPE/IRRIGATION PLAN
L-2.0 FIRE MITIGATION PLAN
L0.1 LOWER LEVEL LIGHTING PLAN
L0.1c LOWER LEVEL LIGHTING CALC.S
L0.2 MAIN LEVEL LIGHTING PLAN
L0.2c MAIN LEVEL LIGHTING CALC.S
L0.2 LIGHTING DETAIL

Table with 2 columns: Category and Area. Rows include: PROJECT SUMMARY - 11.5.21, SINGLE FAMILY DWELLING UNIT - LOT 22, LOWER LIVING, MAIN LIVING, UPPER LIVING, TOTAL LIVING, GARAGE, TOTAL BUILDABLE, LOWER LEVEL PATIO, MAIN LEVEL DECKS, TOTAL EXT. SURFACE, TOTAL CART COURT.

Lot 161-D1 TMV Lot 22
RIDGELINE LOT AREAS
Maximum ht. 45'
Maximum avg. ht. 30'
Parking req. 1 space offsite

PROJECT TEAM:

OWNER: JAMES & LISA FREEMAN
1135 Heights Blvd.
Houston, TX 77008
713.651.9684
jfreeman@zflawfirm.com
ARCHITECT: MORTON ARCHITECTS INC.
STEVE MORTON - PRINCIPAL
221 S. PINE ST.
P.O. BOX 3561
TELLURIDE, CO 81435
970.708.2246
smorton@mortonarchitects.com

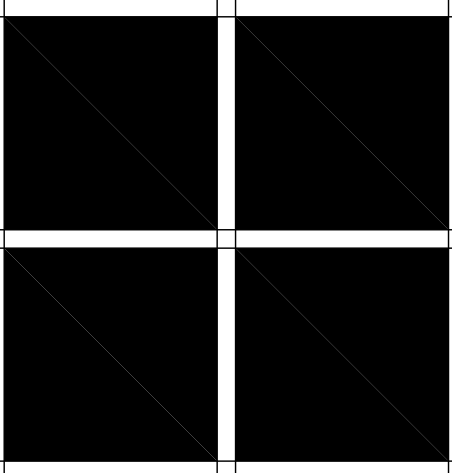
STRUCTURAL: ALPINE EDGE ENGINEERING
Matt Hepp, PE
Alpine Edge Engineering
970-318-1469

INTERIOR DESIGN: LINDA EYLES
713.520.7426
info@lindaeylesdesign.com

LIGHTING DESIGN: LUMINOSITY
Craig Spring | IALD | IES | LC | LEED AP
www.luminosityald.com
P 970.729.8892
618 Mtn Vlg Blvd, Ste 203A, Mtn Vlg, CO 81435

CONTRACTOR: NW PARTNERS
DOUG GURLEA - Project Manager
Phone: 970.389.4101
Email: DOUG@NWPARTNERS.NET
69 MARKSBERRY WAY
BRECKENRIDGE, CO. 80424

MECHINICAL: BIGHORN CONSULTING ENGINEERS, CO.
M. BLAINE BUCK - Project Manager
Phone: 970.241.8709
Email: blaine@bighorneng.com
386 INDIAN RD.
GRAND JUNCTION, CO 81501



COPYRIGHT
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission.
Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

Table with 2 columns: Category and Value. Rows include: ISSUE LOG, SKETCH DRB, 11-5-21, FILE NAME, JOB NUMBER, XXX, DRAWN BY, SM, SCALE, SHEET.



# FREEMAN RESIDENCE

## THE RIDGE LOT 22

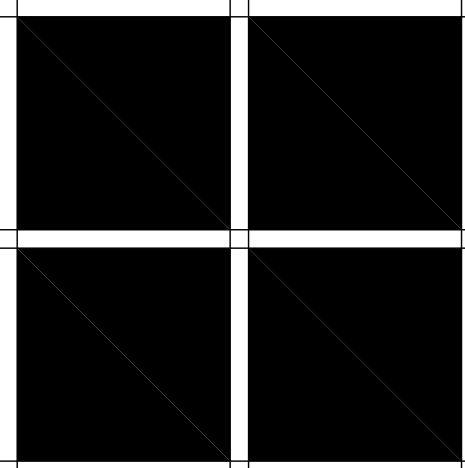
TOWN OF MOUNTAIN VILLAGE  
TELLURIDE, COLORADO



DRB SKETCH SUBMITTAL SET

11-5-21

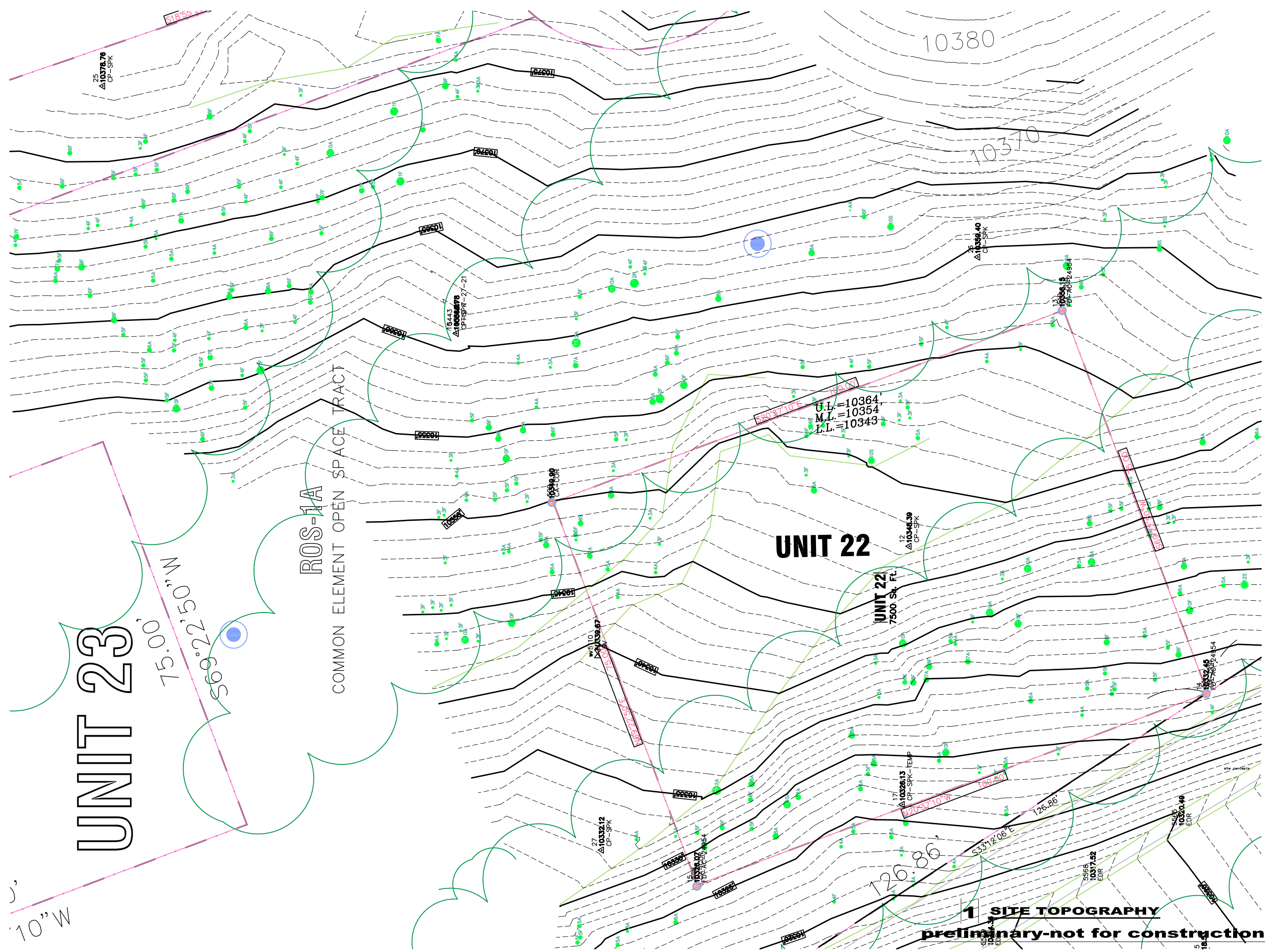
preliminary-not for construction



**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

ISSUE LOG	
SKETCH DRB	11-5-21
FILE NAME	
JOB NUMBER	XXX
DRAWN BY	SM
SCALE	
SHEET	



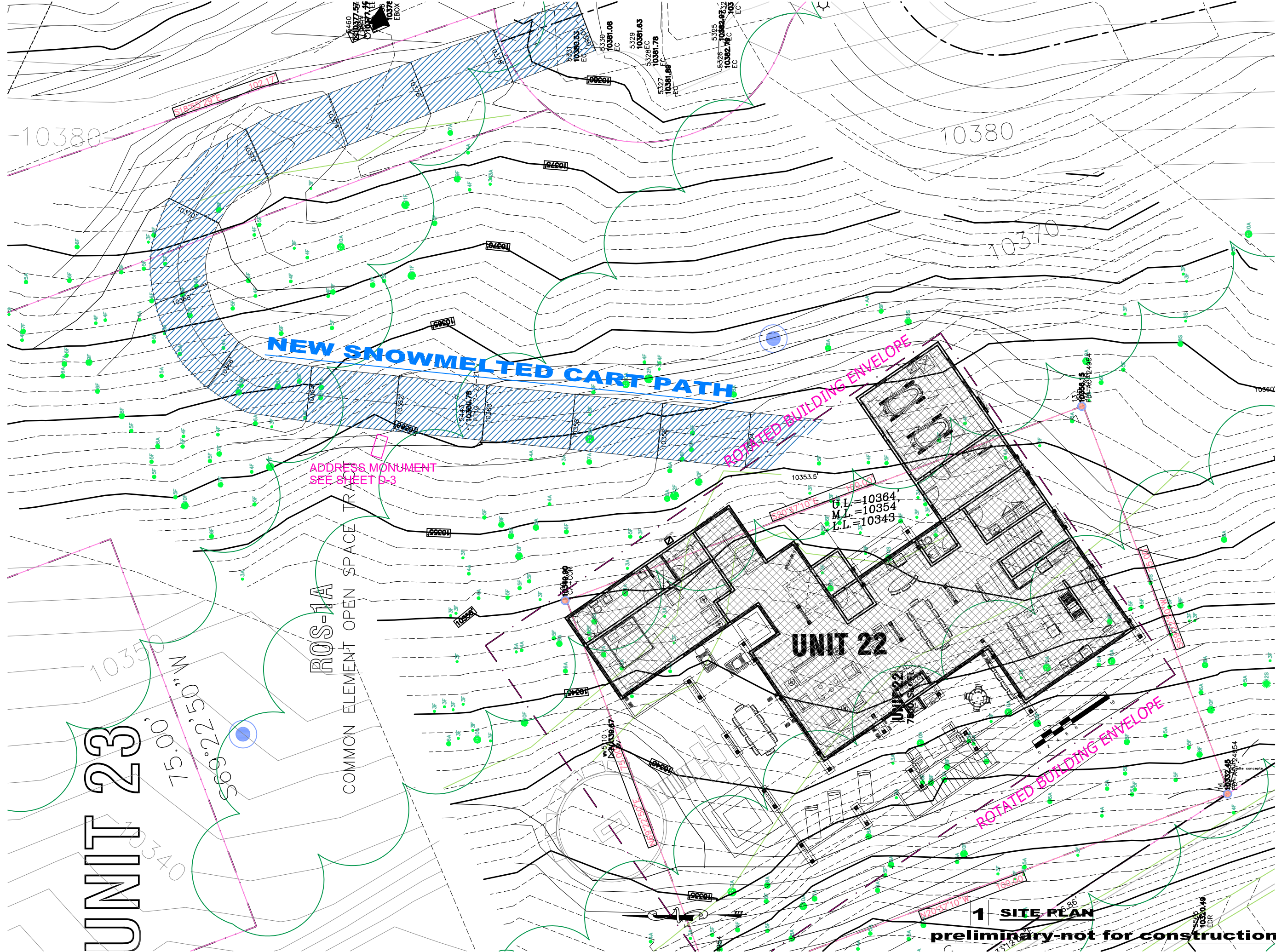


100









UNIT 23

75.00' 50" W

569'22'50" W

ROS-1A

COMMON ELEMENT OPEN SPACE TRACT

ADDRESS MONUMENT  
SEE SHEET D-3

UNIT 22

U.L.=10364'  
M.L.=10354'  
L.L.=10343'

ROTATED BUILDING ENVELOPE

ROTATED BUILDING ENVELOPE

NEW SNOWMELTED CART PATH

1 SITE PLAN

preliminary-not for construction

**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

**ISSUE LOG**

FILE NAME
JOB NUMBER
XXX
DRAWN BY
SM
SCALE
1/16" = 1'-0"
SHEET
A-1.0

**A-1.0**

**SHEETS**

**FREEMAN RESIDENCE: MORTON architects inc.**

Lot 22-The Ridge, Town of Mountain Village, CO. 81435

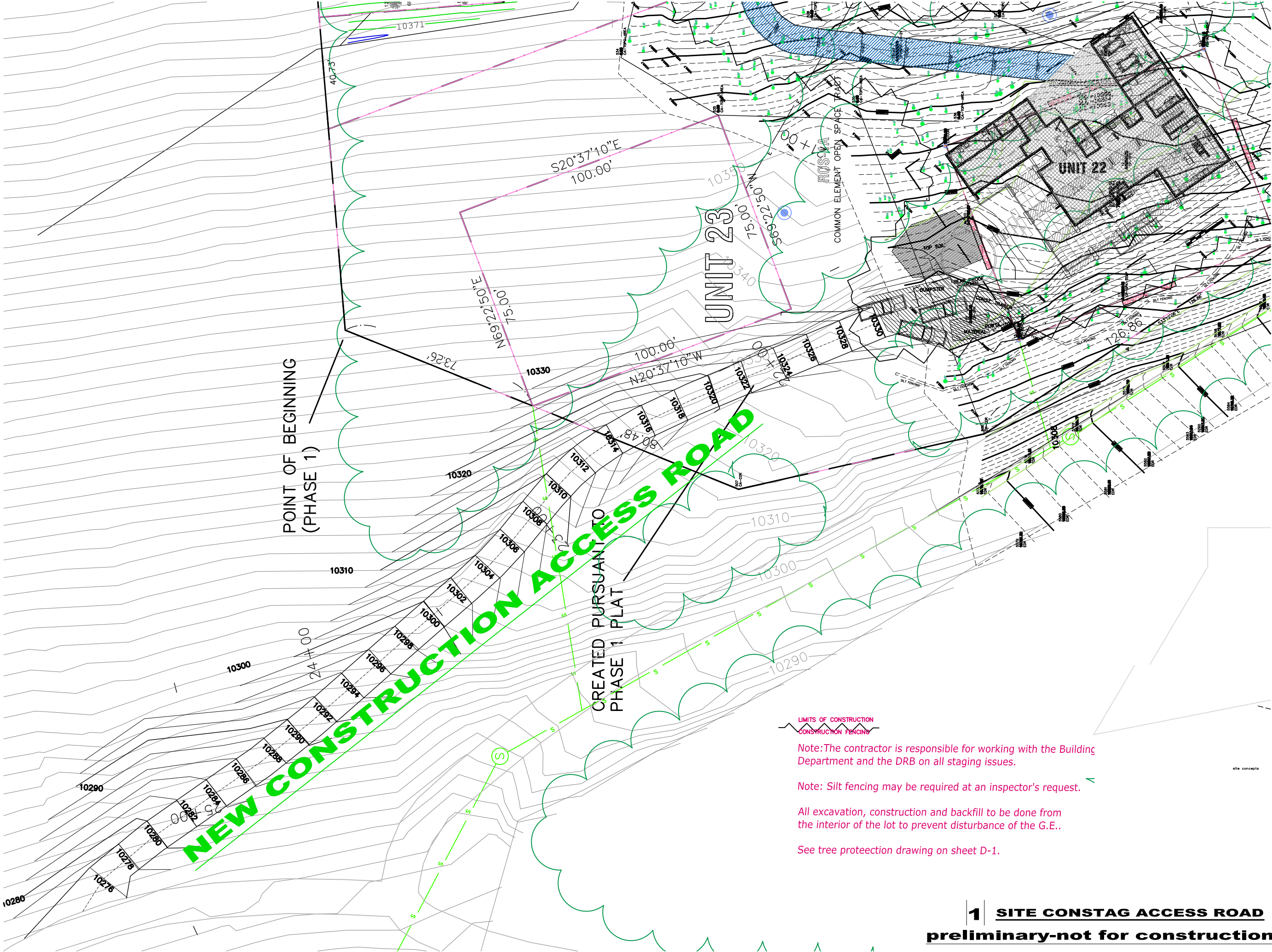
**SITE PLAN**

221 S. PINE ST. PO BOX 3561 TELLURIDE, CO. 81435  
(970) 708-2246









LIMITS OF CONSTRUCTION  
CONSTRUCTION FENCING

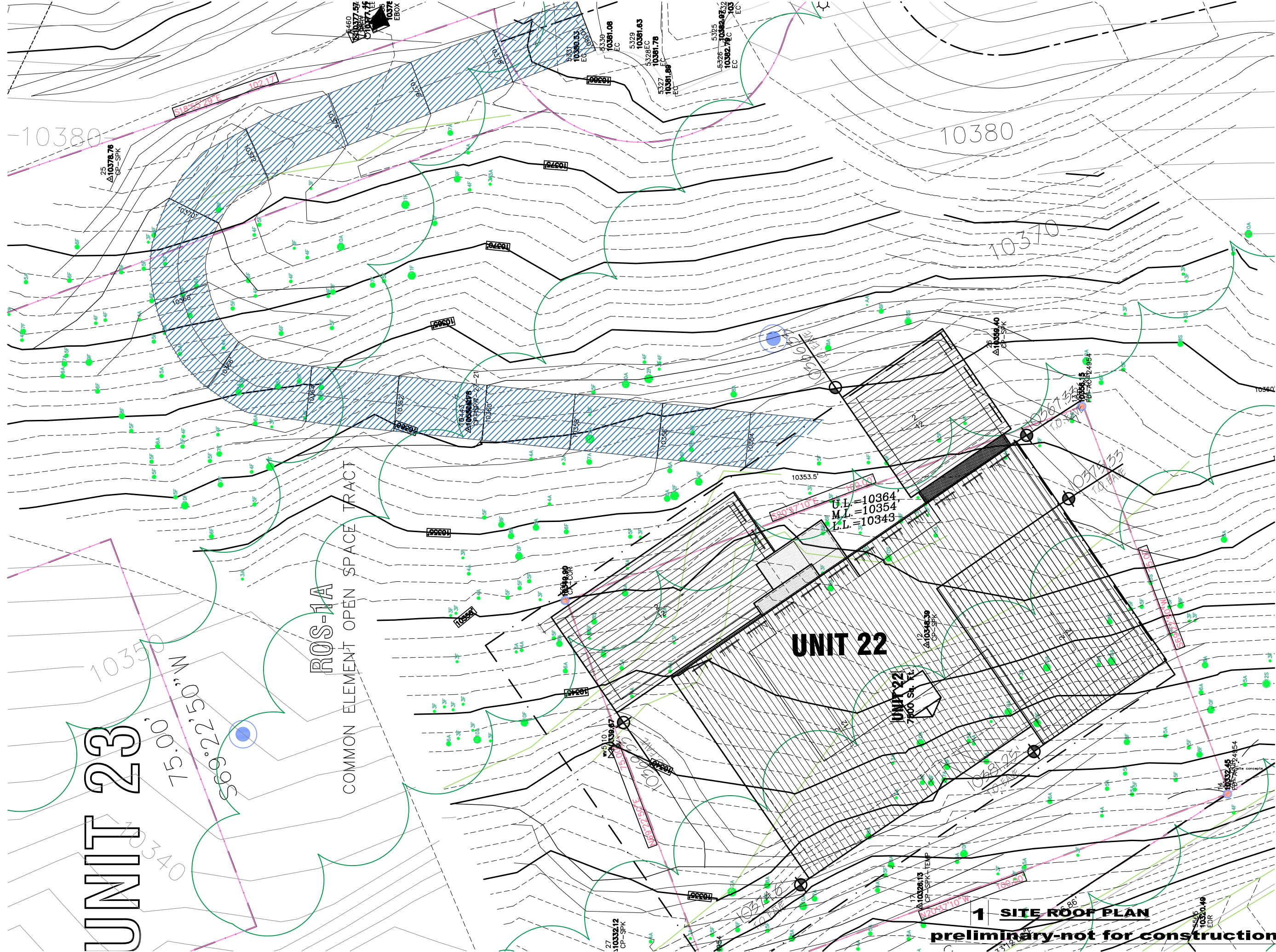
Note: The contractor is responsible for working with the Building Department and the DRB on all staging issues.

Note: Silt fencing may be required at an inspector's request.

All excavation, construction and backfill to be done from the interior of the lot to prevent disturbance of the G.E..

See tree protection drawing on sheet D-1.





UNIT 23

75.00' 569°22'50\"/>

RQS-1A

COMMON ELEMENT OPEN SPACE TRACT

UNIT 22

UNIT 22  
7600 Sq. Ft.

U.L.=10364'  
M.L.=10354'  
L.L.=10343'

1 SITE ROOF PLAN

preliminary-not for construction

**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

**ISSUE LOG**

8-2-21

**FILE NAME**

**JOB NUMBER**  
XXX

**DRAWN BY**  
SM

**SCALE**  
1/16" = 1'-0"

**SHEET**

**A-1.3**

**SHEETS**

**MORTON architects inc.**  
221 S. PINE ST. PO BOX 3561 TELLURIDE, CO. 81435  
(970) 708-2246

**FREEMAN RESIDENCE**

Lot 22-The Ridge, Town of Mountain Village, CO. 81435

**SITE ROOF PLAN**



UNIT 23

75.00' 50" W

569'22'50" W

RQS-1A

COMMON ELEMENT OPEN SPACE TRACT

NEW HOA SNOWMELTED CART PATH

SNOWMELTED CART COURT 620 SF

UNIT 22

1 SITE SNOWMELT PLAN

preliminary-not for construction

**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

**ISSUE LOG**

FILE NAME

JOB NUMBER

XXX

DRAWN BY

SM

SCALE

1/16" = 1'-0"

SHEET

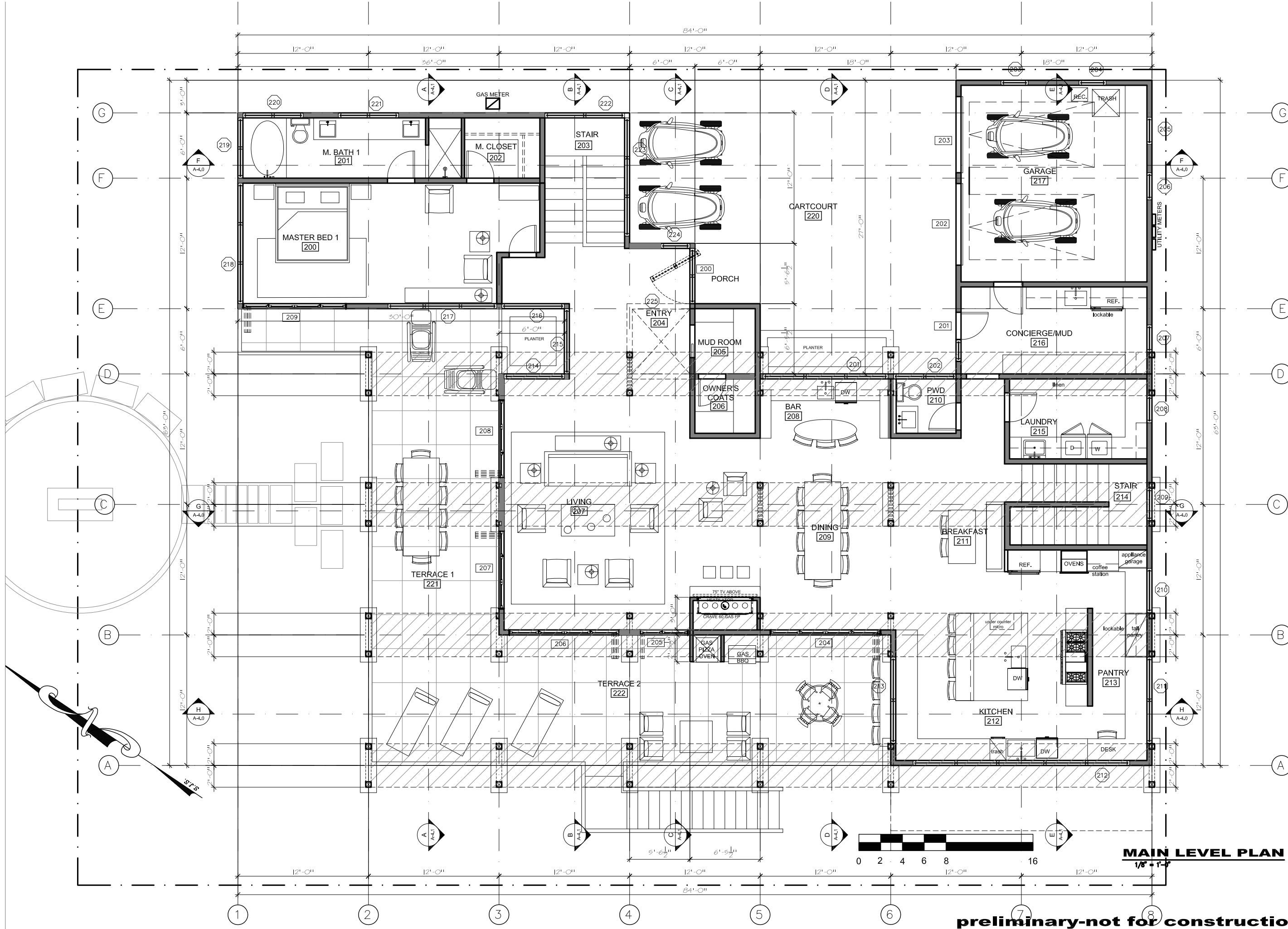
A-1.4

OF SHEETS

**FREEMAN RESIDENCE**  
Lot 22-The Ridge, Town of Mountain Village, CO. 81435  
**SITE SNOWMELT PLAN**

**MORTON architects inc.**  
221 S. PINE ST. PO BOX 3561 TELLURIDE, CO. 81435  
(970) 708-2246





MAIN LEVEL PLAN  
1/8" = 1'-0"

preliminary-not for construction

**MORTON**  
architects inc.

221 S. PINE ST. PO BOX 3561 TELLURIDE, CO. 81435  
(970) 708-2246

**FREEMAN RESIDENCE**  
Lot 22-The Ridge, Town of Mountain Village, CO. 81435

**FLOOR PLANS**

**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

**ISSUE LOG**

DRG	SKETCH	SUBMITTAL	DATE
11-5-21			

**FILE NAME**

**JOB NUMBER**  
XXX

**DRAWN BY**  
SM

**SCALE**  
1/8" = 1'-0"

**SHEET**  
A-2.0

**SHEETS**





## ISSUE LOG

**JOB NUMBER**

XXX

\_\_\_\_\_  
DRAWN BY

SM

---

SCALE  
1/8" = 1'-0"

---

SHEET

101

## A-2.1

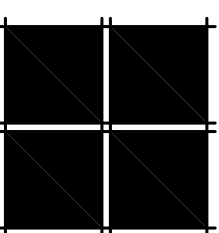
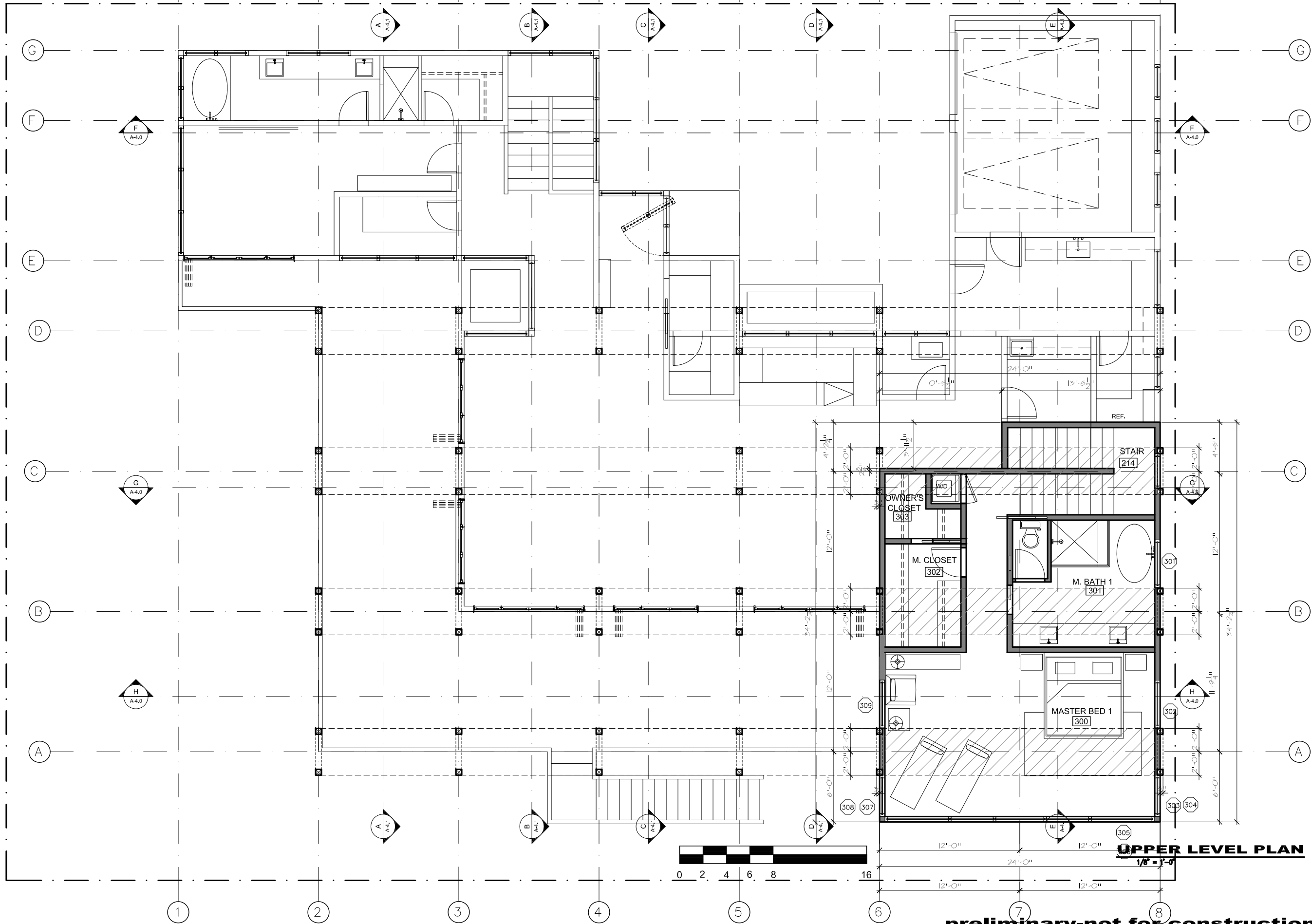
\_\_\_\_\_

Downloaded from <http://ajph.org/> on November 10, 2014

OF SHEETS

\_\_\_\_\_

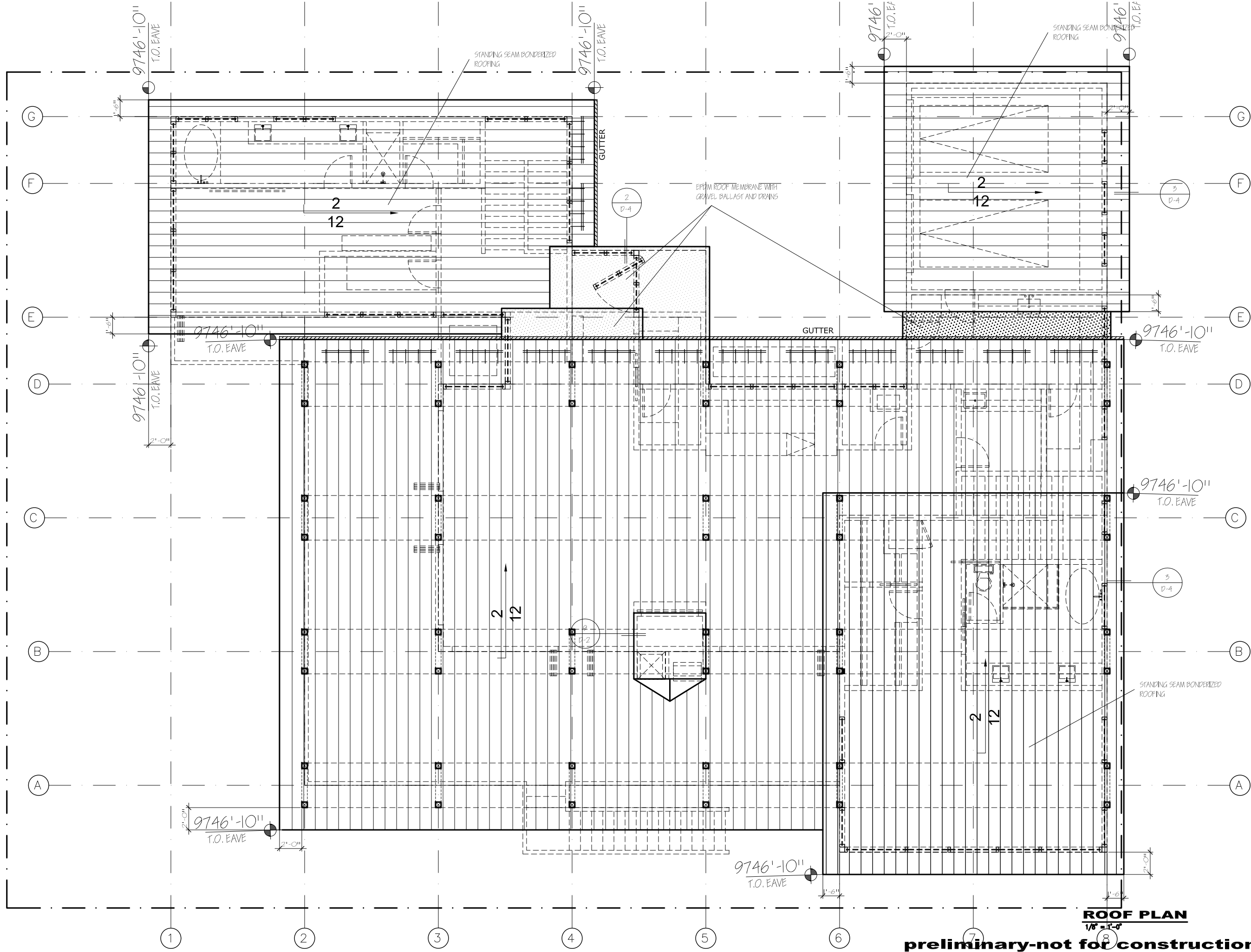




ISSUE LOG	
DRS SKETCH SUBMITTAL	11-5-21

FILE NAME	
JOB NUMBER	
XXX	
DRAWN BY	
SM	
SCALE	
1/8" = 1'-0"	
SHEET	





**ROOF PLAN**

1/8" = 1'-0"

**preliminary-not for construction**

**MORTON**  
**architects inc.**

**FREEMAN RESIDENCE**  
Lot 22-The Ridge, Town of Mountain Village, CO. 81435

**FLOOR PLANS**



**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

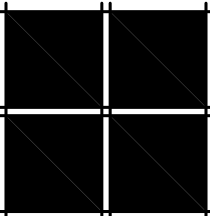
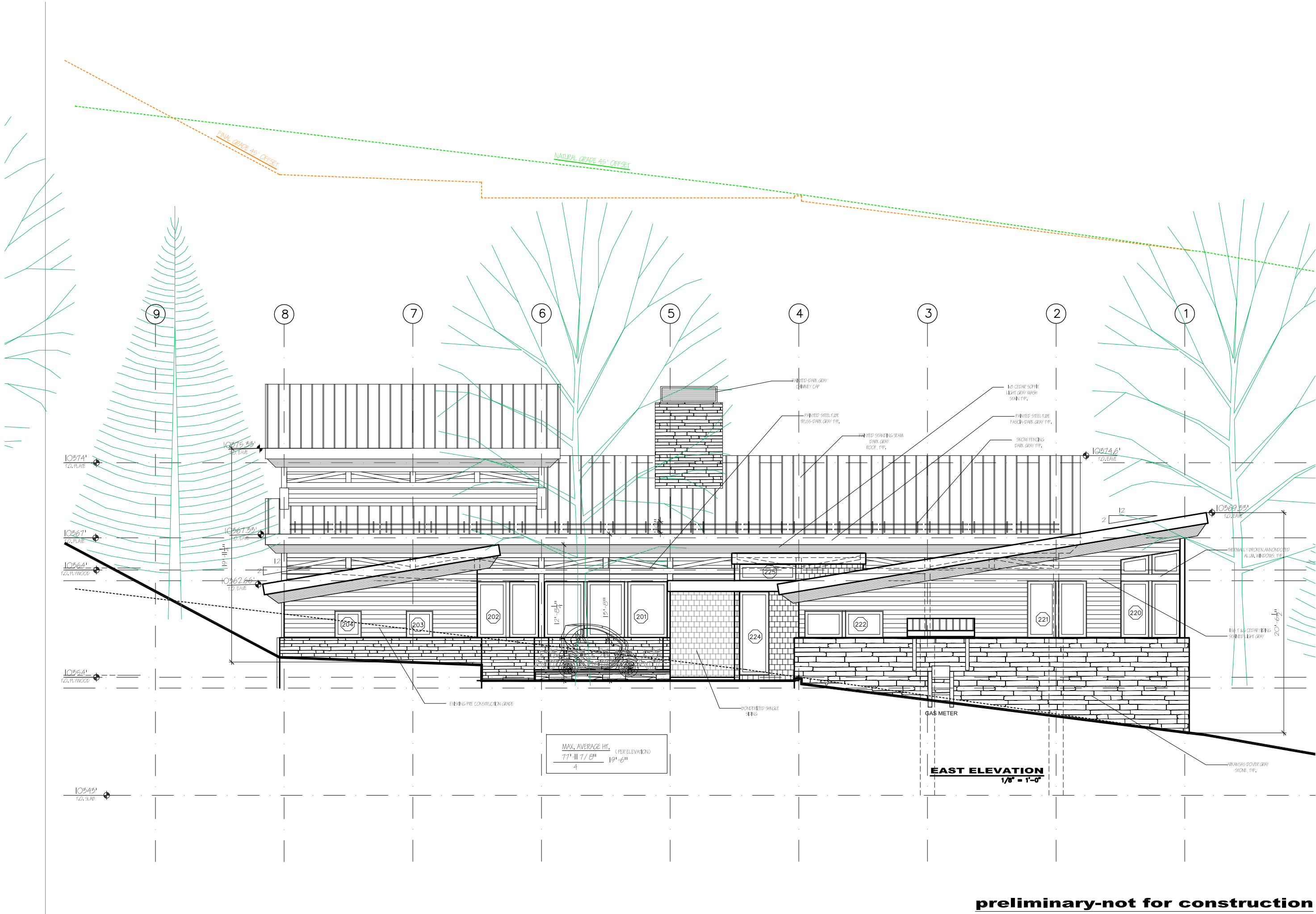
ISSUE LOG	
DRG SKETCH SUBMITTAL	11-5-21

FILE NAME
JOB NUMBER
XXX
DRAWN BY
SM
SCALE
1/8" = 1'-0"
SHEET

**A-2.3**

OF SHEETS





**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

ISSUE LOG	
DRB SKETCH SUBMITTAL	11-5-21

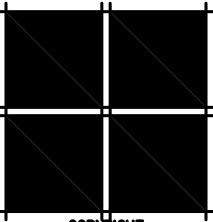
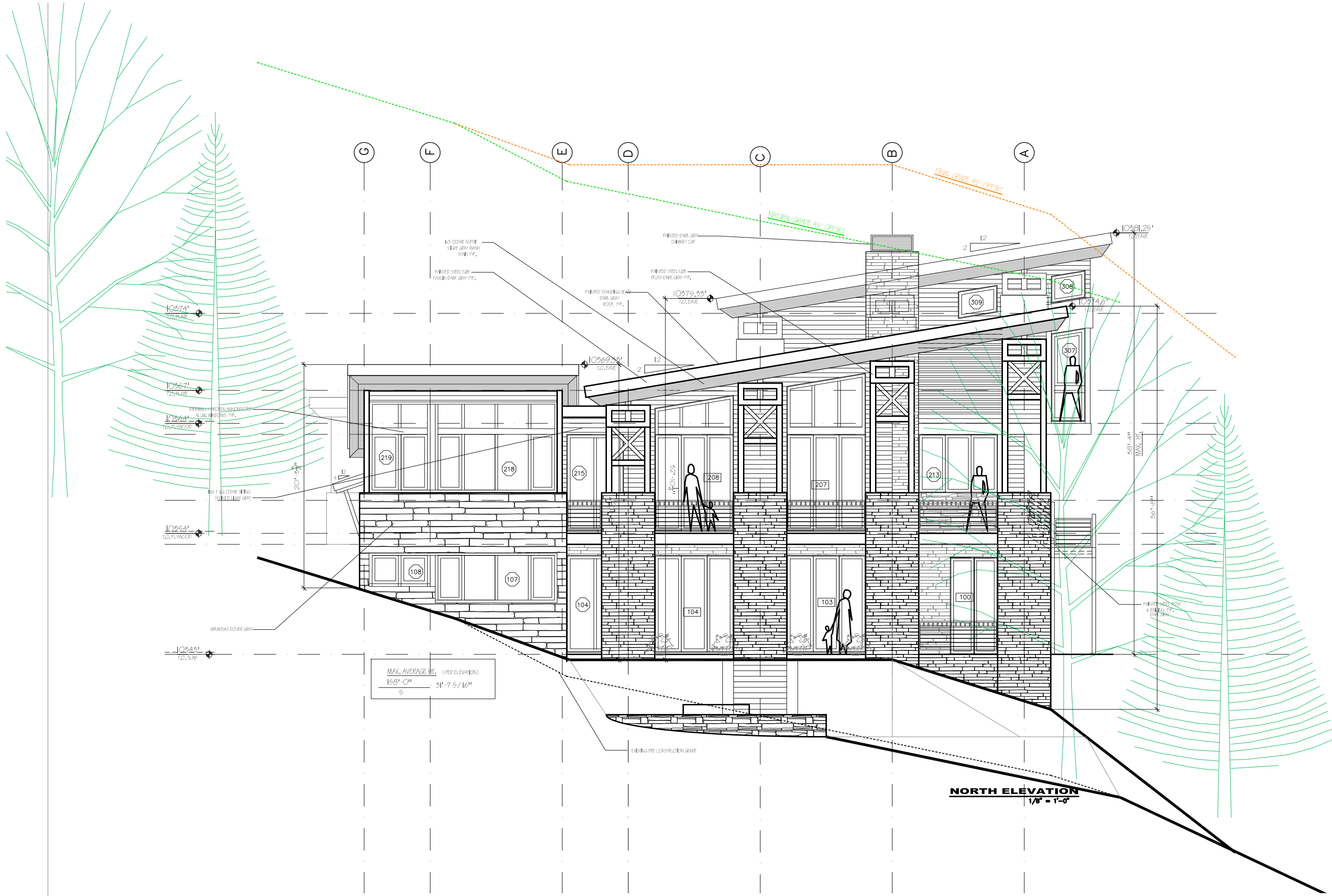
FILE NAME	
JOB NUMBER	XXX
DRAWN BY	SM
SCALE	1/8" = 1'-0"
SHEET	

**A-3.0**







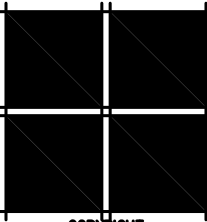
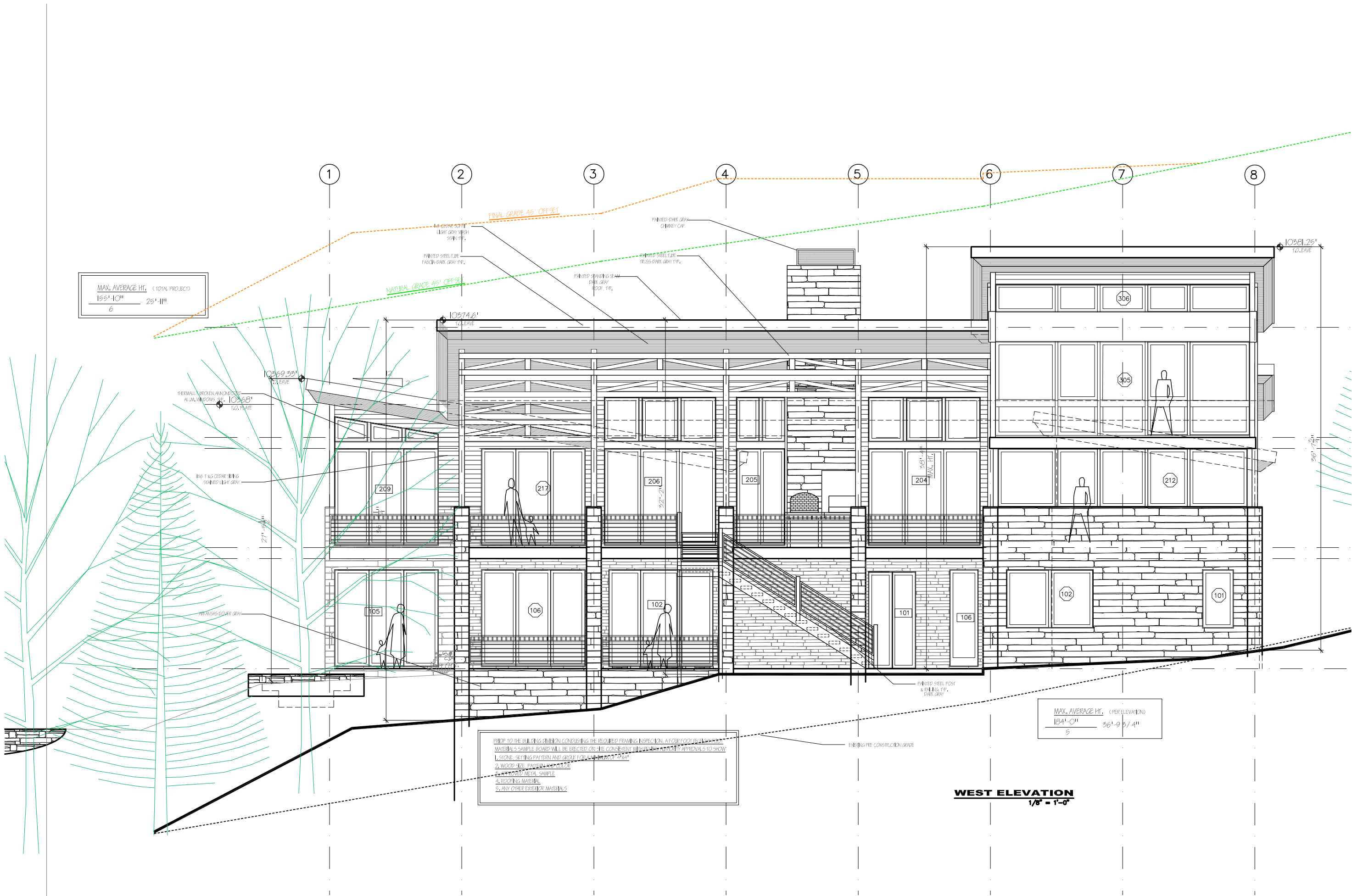


**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

ISSUE LOG	
DRB SKETCH SUBMITTAL	11-5-21

FILE NAME
JOB NUMBER XXX
DRAWN BY SM
SCALE 1/8" = 1'-0"
SHEET





**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

**ISSUE LOG**

DRB SKETCH SUBMITTAL 11-5-21

FILE NAME

JOB NUMBER  
XXX

DRAWN BY  
SM

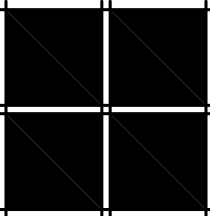
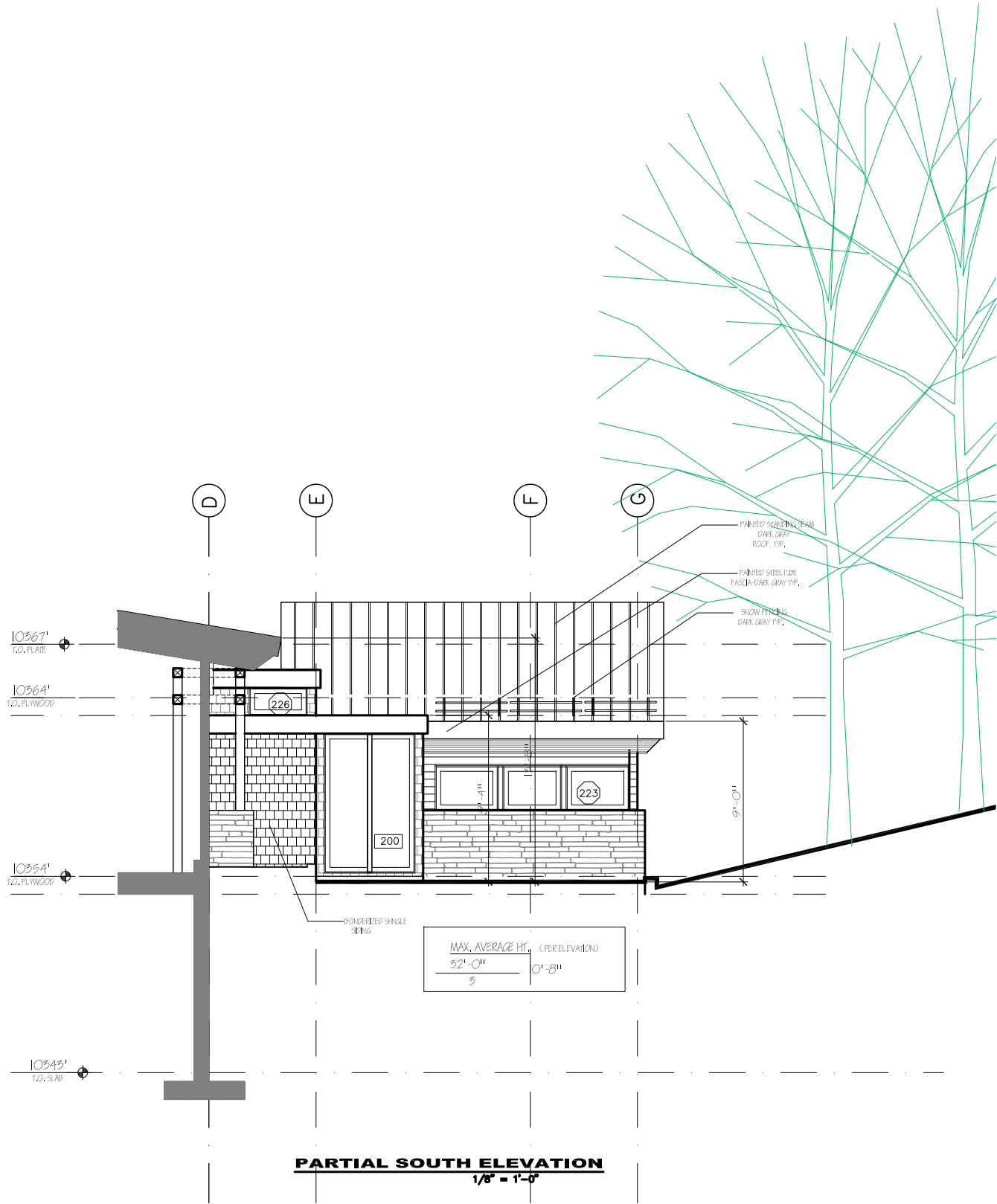
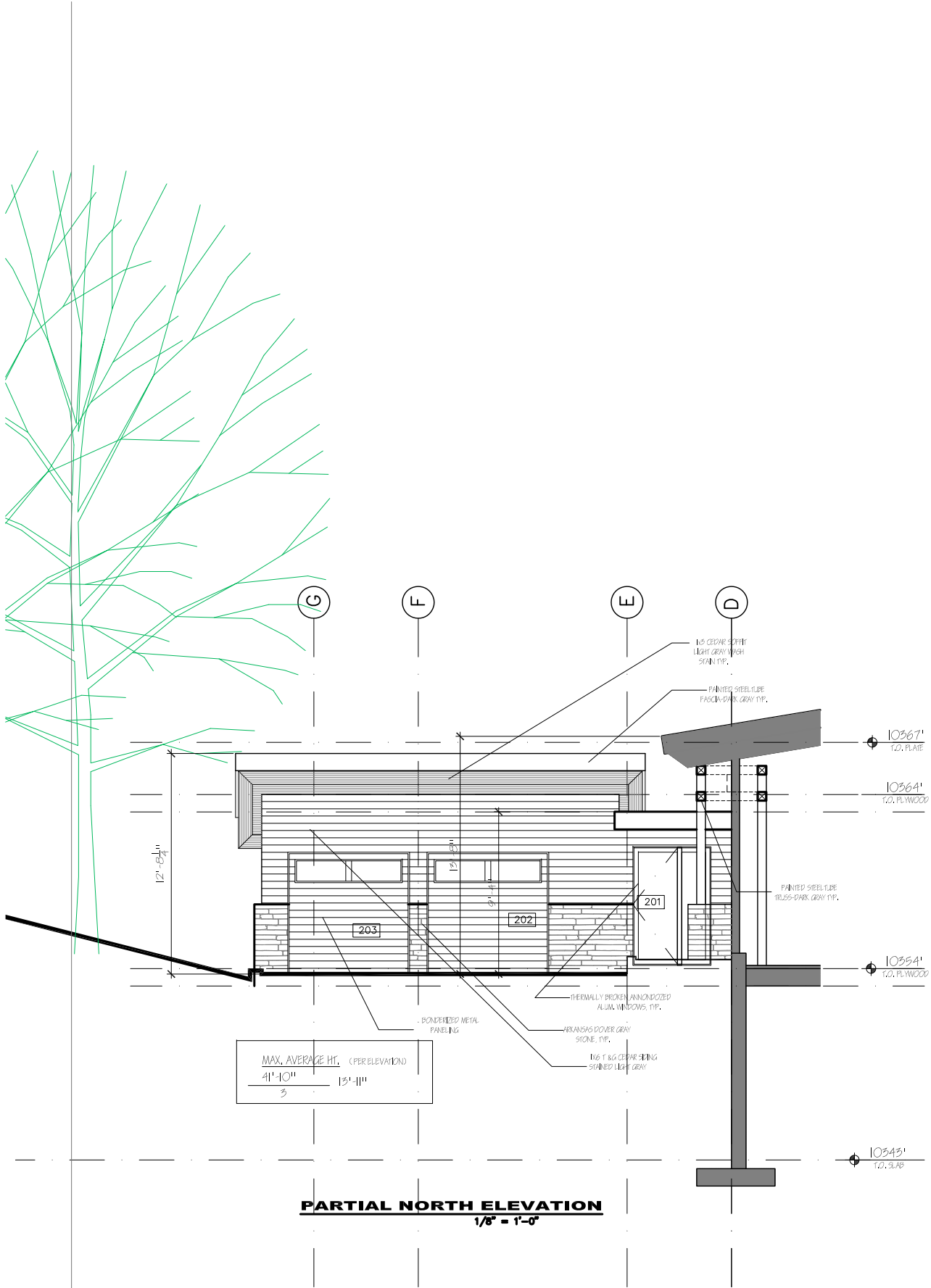
SCALE  
1/8" = 1'-0"

SHEET

A-3.3

OF SHEETS

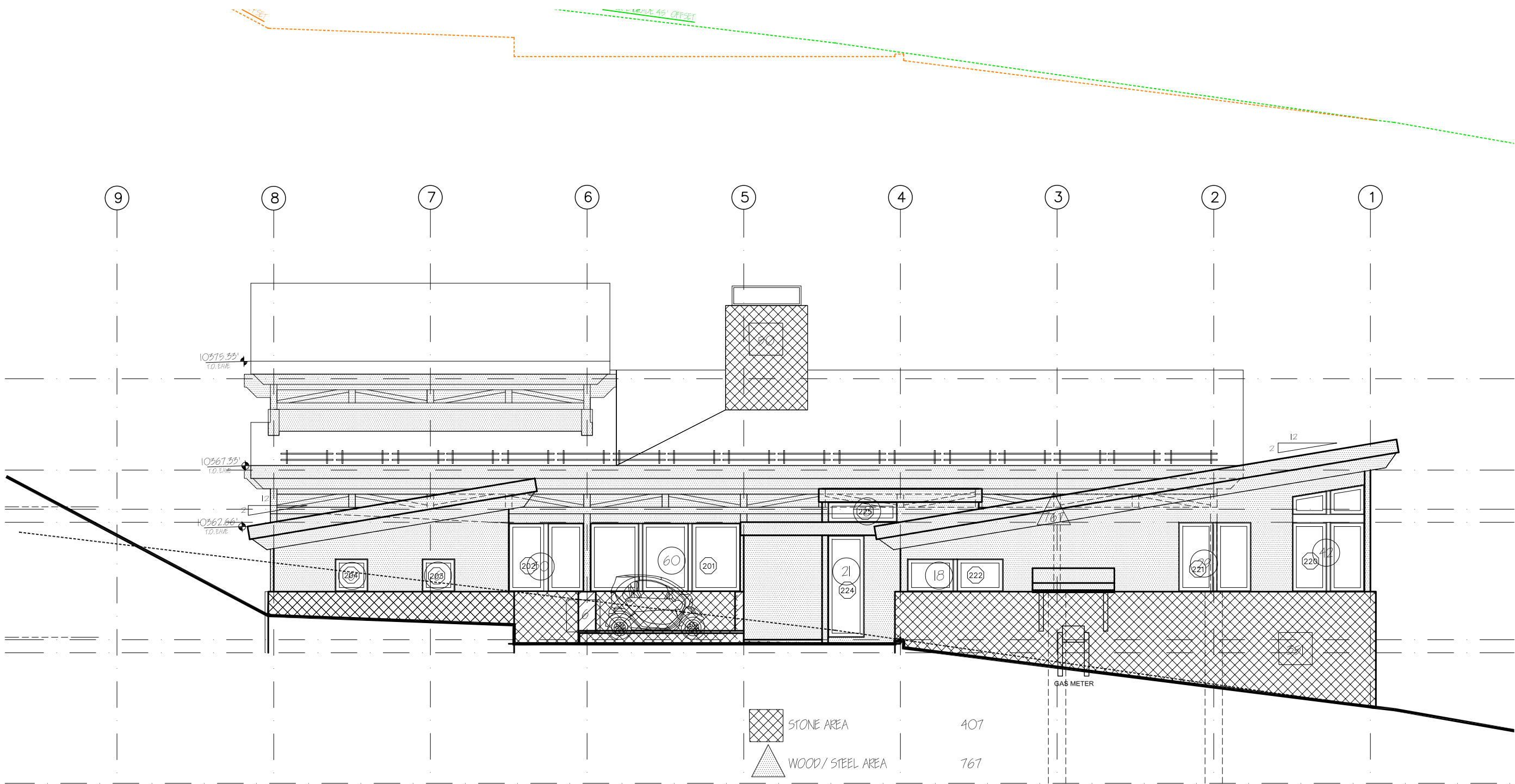










**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

ISSUE LOG	
DRB SKETCH SUBMITTAL	11-5-21
FILE NAME	
JOB NUMBER	
XXX	
DRAWN BY	
SM	
SCALE	
1/8" = 1'-0"	
SHEET	



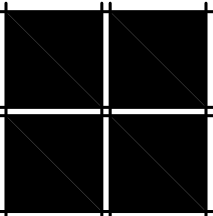


TOTAL PROJECT AREAS			
	STONE AREA	3168	38.3%
	WOOD/STEEL AREA	2747	33.2%
	FENESTRATION GLASS	2356	28.5%
TOTAL WALL AREA		8271	100%

	STONE AREA	407
	WOOD/STEEL AREA	167
	FENESTRATION GLASS	220
TOTAL WALL AREA		1394

**EXTERIOR MATERIALS EAST**  
1/8" = 1'-0"

**preliminary-not for construction**

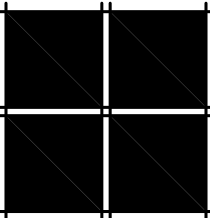
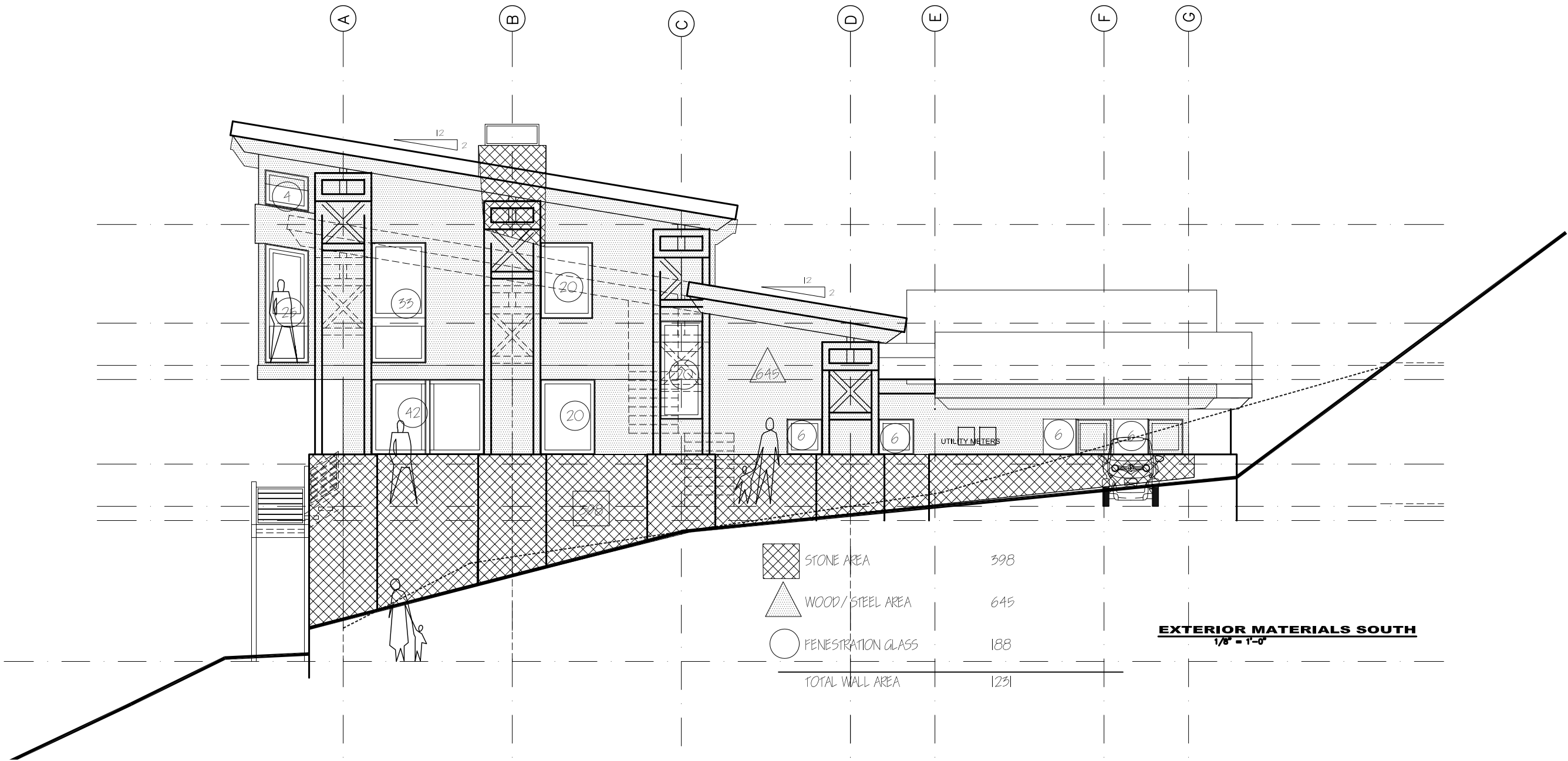


**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

ISSUE LOG	
DRB SKETCH SUBMITTAL	11-5-21

FILE NAME
JOB NUMBER XXX
DRAWN BY SM
SCALE 1/8" = 1'-0"
SHEET





**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

ISSUE LOG	
DRB SKETCH SUBMITTAL	11-5-21

FILE NAME
JOB NUMBER XXX
DRAWN BY SM
SCALE 1/8" = 1'-0"
SHEET





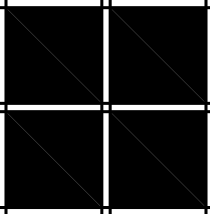




	STONE AREA	1267
	WOOD/ STEEL AREA	626
	PENESTRATION GLASS	666
TOTAL WALL AREA		2559

EXTERIOR MATERIALS NORTH  
1/8" = 1'-0"

preliminary-not for construction

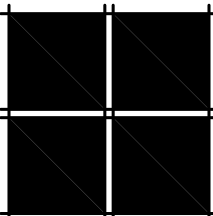
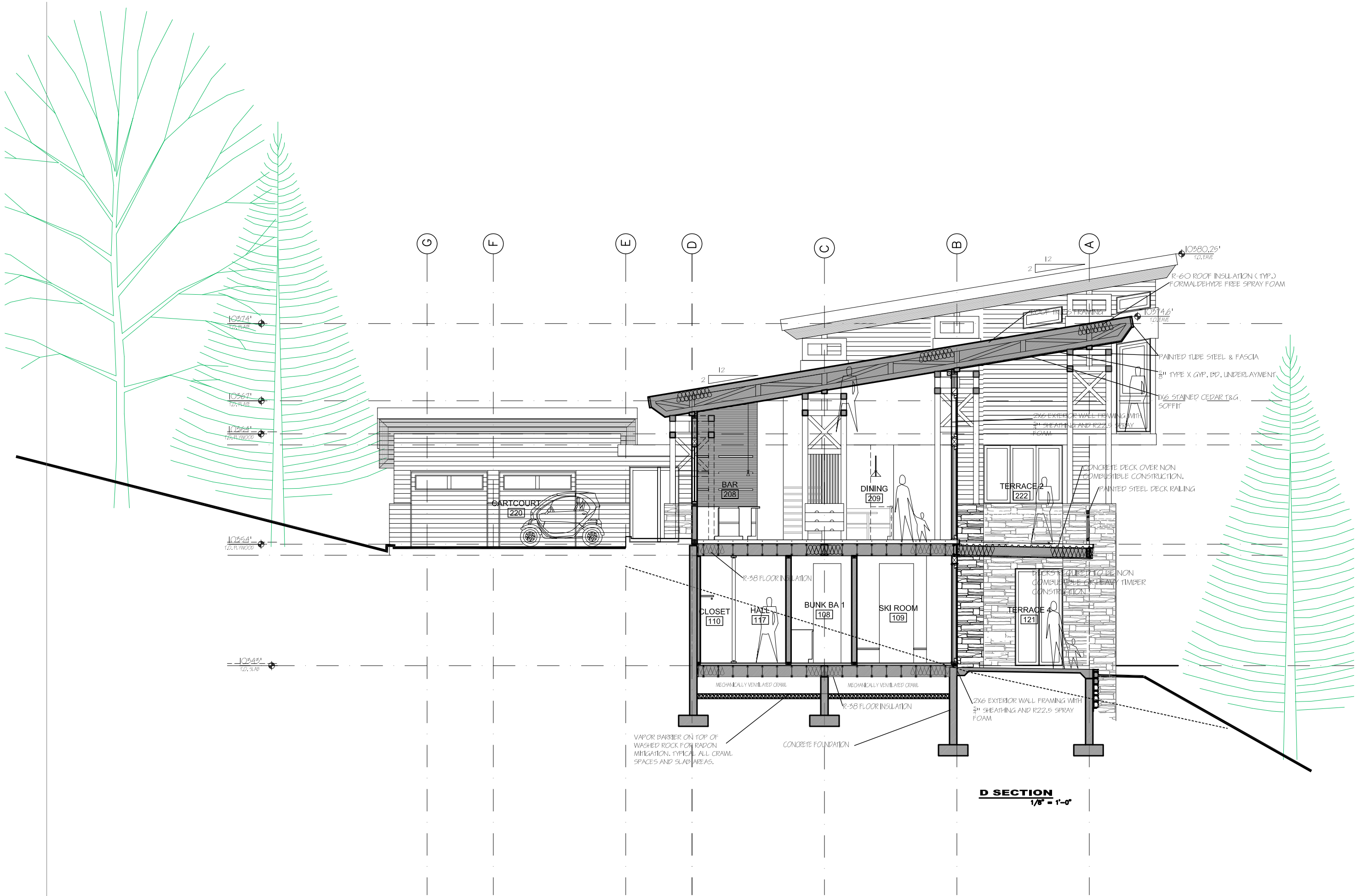


**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

ISSUE LOG	
DRB SKETCH SUBMITTAL	11-5-21

FILE NAME
JOB NUMBER XXX
DRAWN BY SM
SCALE 1/8" = 1'-0"
SHEET





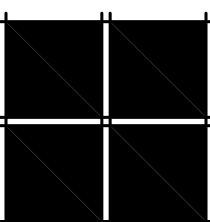
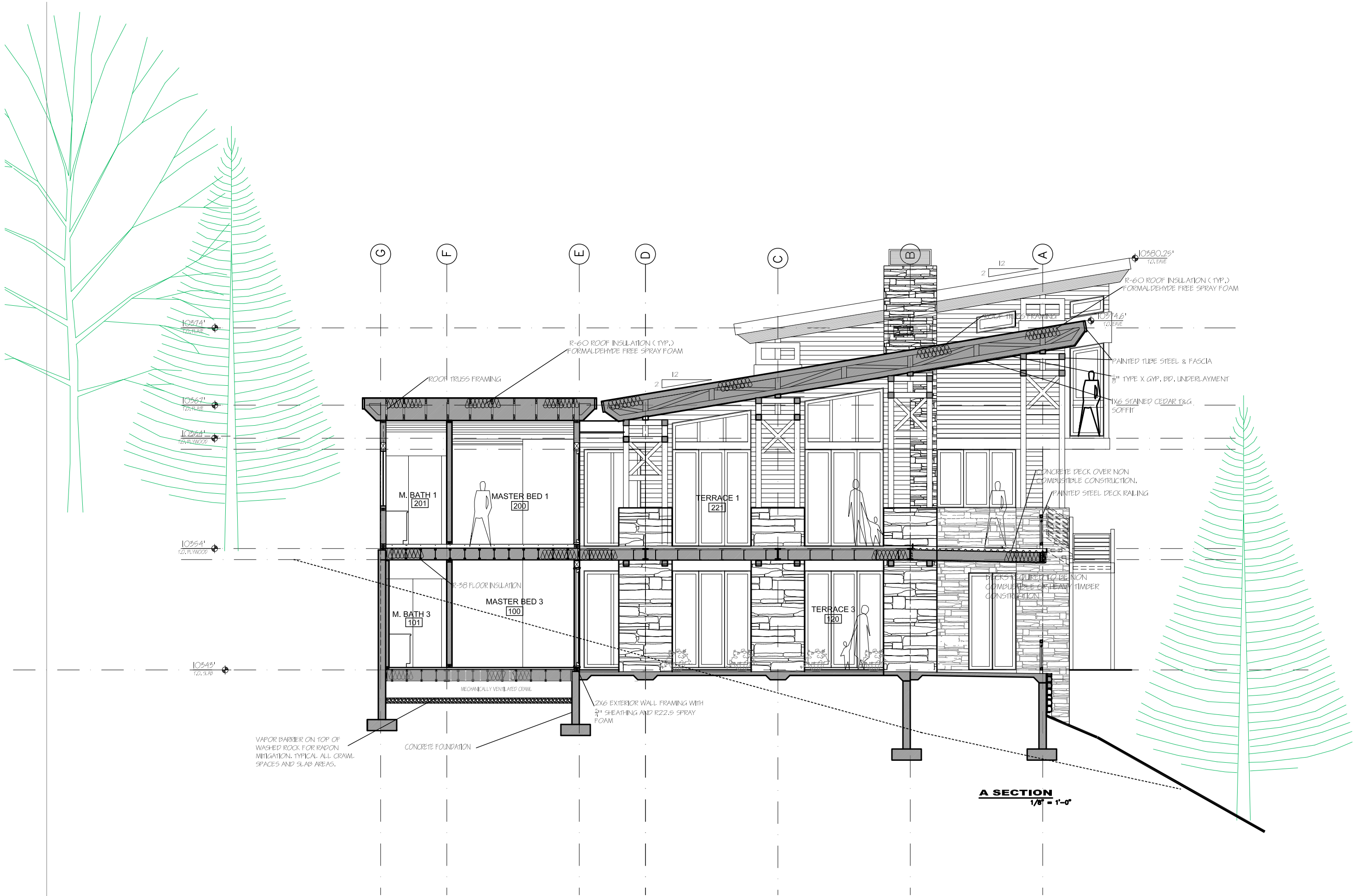
**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

ISSUE LOG	
DRB SKETCH SUBMITTAL	11-5-21

FILE NAME
JOB NUMBER
XXX
DRAWN BY
SM
SCALE
1/8" = 1'-0"
SHEET

**A-4.0**





**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

**ISSUE LOG**

DRB SKETCH SUBMITTAL 11-5-21

FILE NAME

JOB NUMBER  
XXX

DRAWN BY  
SM

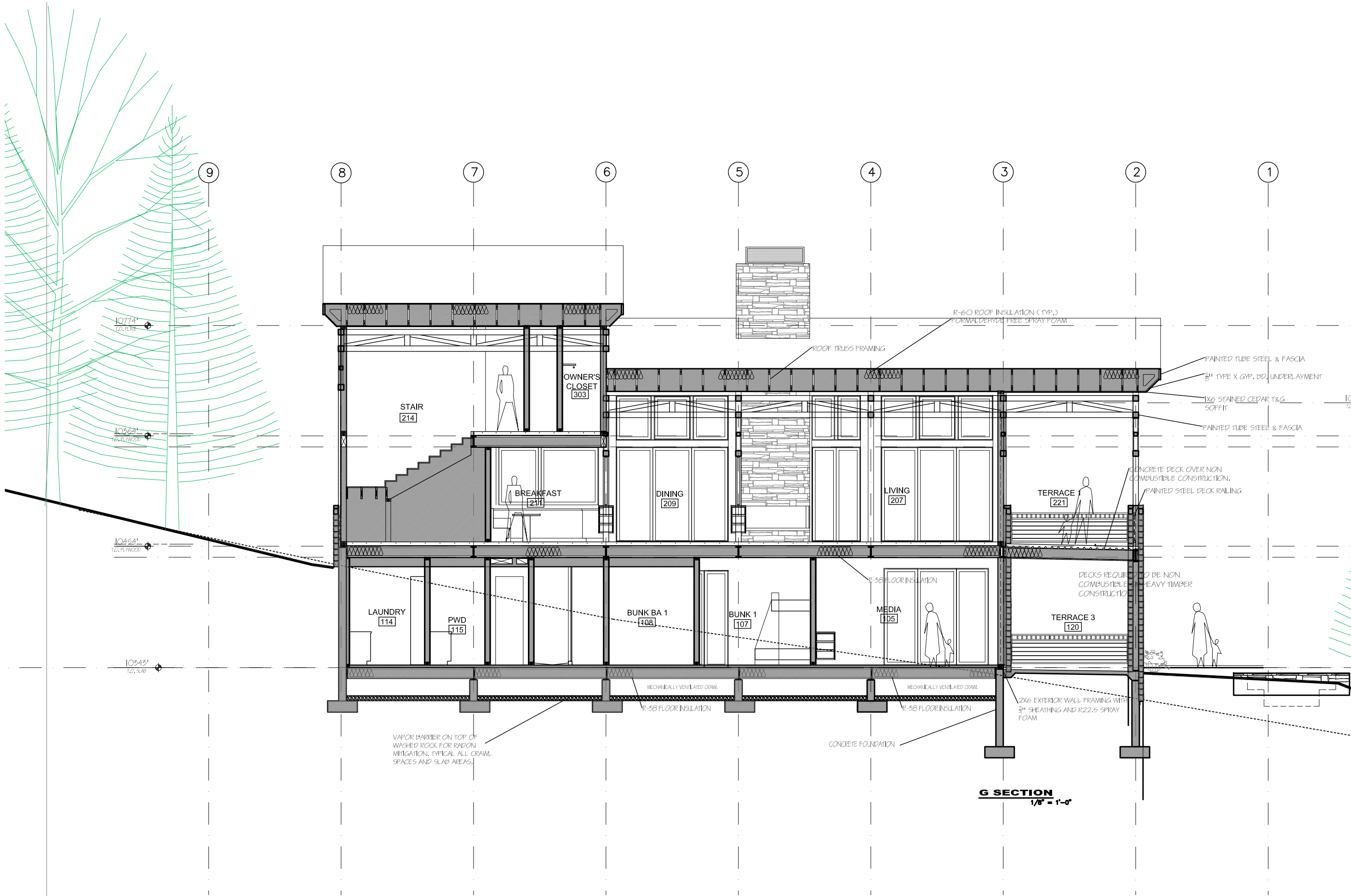
SCALE  
1/8" = 1'-0"

SHEET

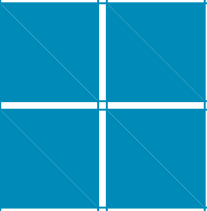
A-4.1

OF SHEETS









**COPYRIGHT**  
All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

**ISSUE LOG**

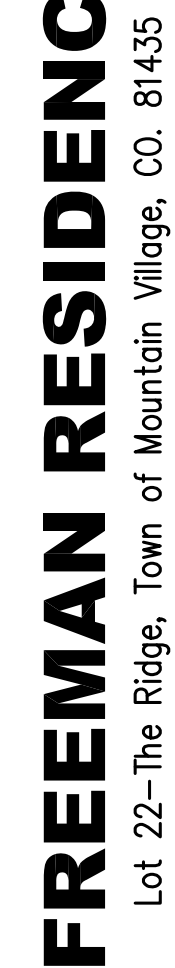
--

--

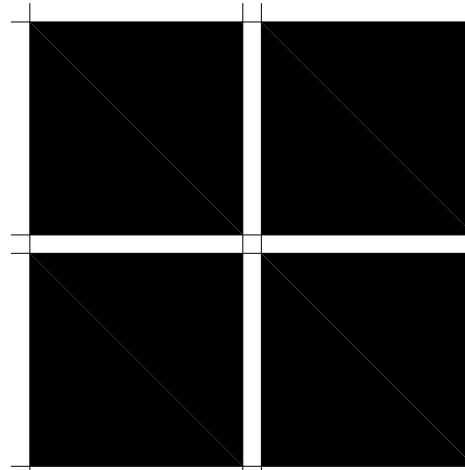
FILE NAME
JOB NUMBER
XXX
DRAWN BY
SM
1/4" = 1'-0"
SHEET







## DETAILS



COPYRIGHT

All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

## ISSUE LOG

FILE NAME

JOB NUMBER

DRAWN BY

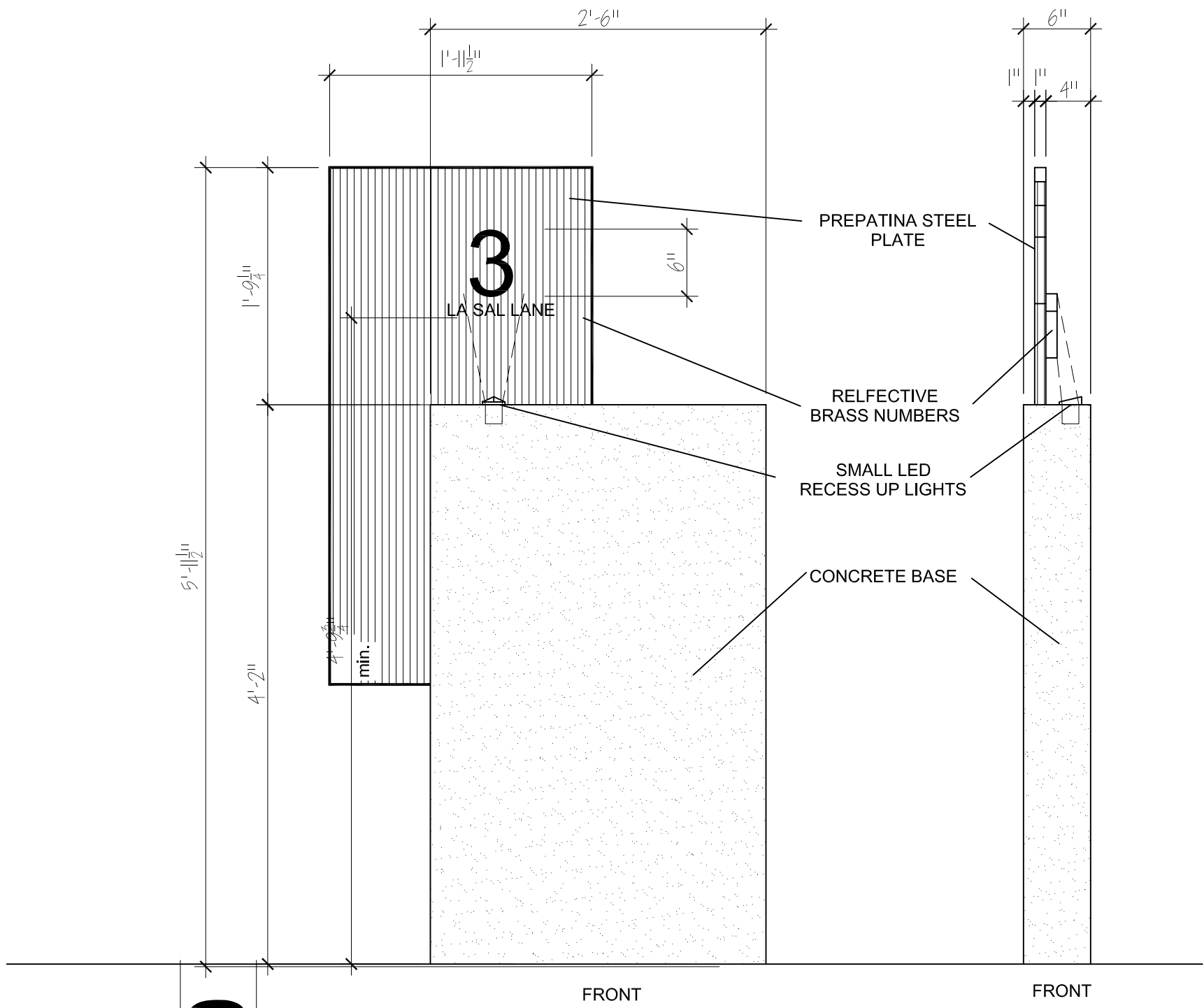
SCALE

SHEET

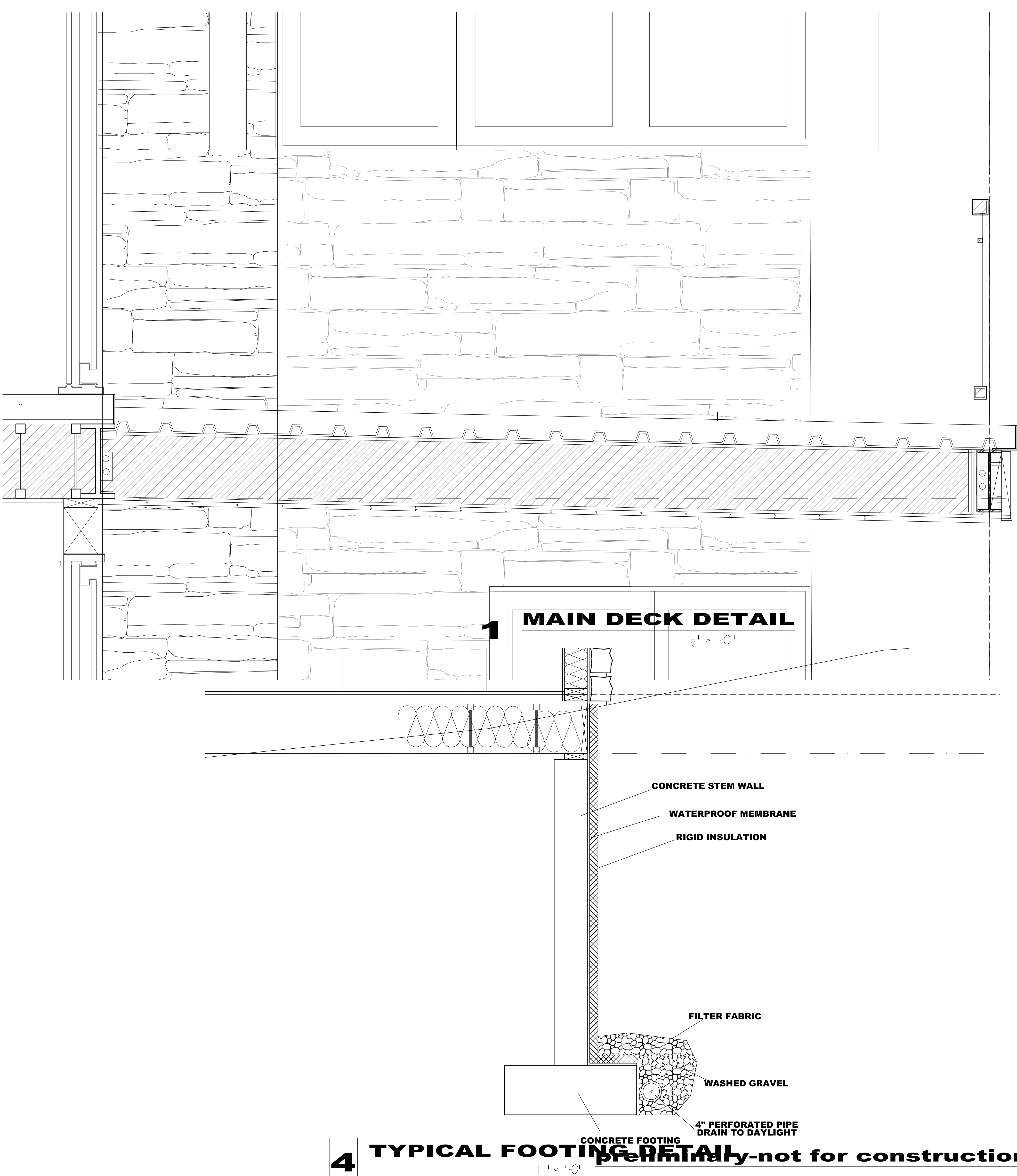
**D-1**

OF SHEETS





**3 ADDRESS MONUMENT**



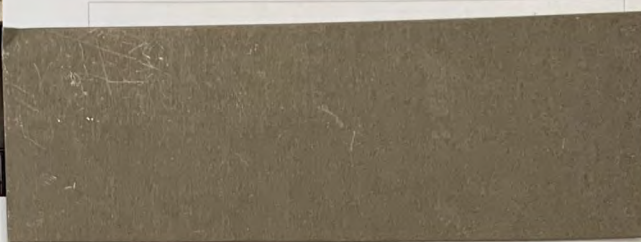
**1 MAIN DECK DETAIL**

**4 TYPICAL FOOTING DETAIL**



## TRUSSES/ WNDWS/ACCENTS

STEEL ROOF FASCIA  
ALUMINUM ANODIZED  
WINDOWS  
STEEL TRUSS & DECK RAIL  
POWDER COATED GRAY



ROOFING & METAL  
SHINGLE SIDING  
BONDERIZED SHEET METAL



CEDAR SIDING  
HORIZONTAL 1X6 WIRE BRUSH  
CHANNEL GROOVE-STAINED



STONE VENEER  
ARKANSAS DOVER GRAY  
ARKANSAS DARK DOVER GRAY  
BLOCKY-TUMBLED  
TIGHT GROUT JOINTS



NORTH/EAST VIEW



NORTH/WEST VIEW

preliminary-not for construction



### COPYRIGHT

All design, ideas, arrangements, plans, indicated by lines, drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional discrepancies shall be brought to the attention of the Architect prior to the commencement of the work.

### ISSUE LOG

DATE	DESCRIPTION
08/11/2020	11-18-21

### FILE NAME

### JOB NUMBER

XXX

### DRAWN BY

SM

### SCALE

### SHEET

A-M



ROS-1A  
COMMON ELEMENT  
OPEN SPACE TRACT  
G.C.E.

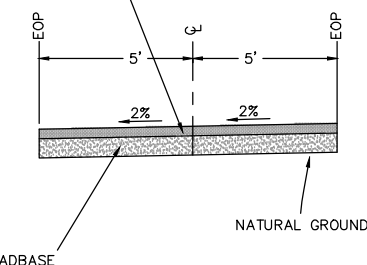
## LEGEND

FF = FINISHED FLOOR  
FG = FINISHED GRADE  
2.0% PROPOSED GRADE  
2.5:1 PROPOSED SLOPE

NOTES:

1. THIS IS A SKETCH PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION
2. MAXIMUM GRADING 2.5:1 (HORIZONTAL:VERTICAL). TO BE CONFIRMED BY GEOTECHNICAL REPORT.
3. ALL EXISTING TOPOGRAPHIC INFORMATION FROM SAN JUAN SURVEYING, "TOPOGRAPHIC SURVEY UNIT 22, THE RIDGE AT TELLURIDE", DATED 08/23/21.
4. SEE DRB DRAINAGE AND EROSION CONTROL PLAN FOR ALL PROPOSED EROSION CONTROL
5. EXISTING GRADES FOR AREA OF DRIVEWAY AND TO THE LIMITS OF GRADING ON THE NORTH TO BE CONFIRMED BY SURVEYOR PRIOR TO PREPARING FINAL CIVIL CONSTRUCTION PLANS.
6. ALL RETAINING WALLS WITH PEDESTRIAN ACCESS AND OVER 30" (2.5') MUST HAVE HANDRAIL AS PART OF CONSTRUCTION PLANS.
7. EXISTING CONCRETE ACCESS PATH HAS A SIX INCH CURB ON EAST SIDE WITH NO GUTTER.
8. ALL RETAINING WALLS MAX HEIGHT ARE RETAINED HEIGHT ONLY AND DO NOT INCLUDE ANY FOUNDATIONS OR CAPS.

SNOW-MELTED CONCRETE



### **TYPICAL DRIVEWAY CONCRETE SECTION WITH SNOWMELT**

N.T.S.

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**1-800-922-1987**  
OR  
**811**  
CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES

**THIS PLAN IS FOR  
CLIENT REVIEW  
ONLY AND NOT FOR  
CONSTRUCTION**

THESE SKETCH PLANNING DOCUMENTS WERE PREPARED BY ME AND UNDER MY DIRECT SUPERVISION ON BEHALF OF ALPINE LAND CONSULTING, LLC FOR TOHELLURIDE LLC AND INCLUDES SKETCH PLANNING DESIGN ONLY, AND DOES NOT INCLUDE ANY OTHER PLANNING OR ENGINEERING.

**THIS PLAN HAS  
BEEN REDUCED TO  
APPROXIMATELY  
HALF SCALE  
(11"X17")**

GREGORY E. ANDERSON  
COLORADO PROFESSIONAL ENGINEER  
REGISTRATION NO. 35736



ALPINE LAND  
CONSULTING, LLC

P.O. BOX 234  
RICO, COLORADO 81332  
970-708-0326  
GREGG@ALPINELANDCONSULTING.COM

UNIT 22 THE RIDGE  
MOUNTAIN VILLAGE

SKETCH GRADING PLAN

CLIENT:

TOHELLURIDE LLC  
C/O ZABEL FREEMAN  
1135 HEIGHTS BLVD  
HOUSTON, TX 77008

DATE: NOVEMBER 4, 2021

PROJECT #: 2021037

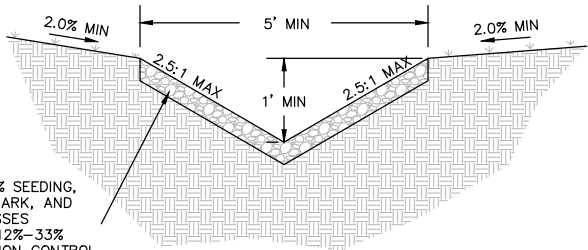
PROJECT MANAGER:	GEA
DRAWN BY:	ADM

SHEET #:

1 OF 3





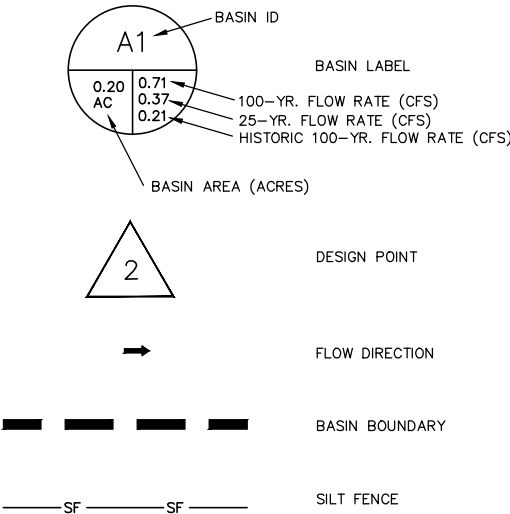


- RECOMMENDED
- SLOPES UP TO 12% SEEDING, MULCHES, ROCK, BARK, AND ORNAMENTAL GRASSES
  - SLOPES BETWEEN 12%-33% COBBLES OR EROSION CONTROL MAT
  - SLOPES BETWEEN 33%-50% TYPE VL RIP-RAP ( $D_{50}=6"$ )

TYPICAL YARD SWALE SECTION

N.T.S.

LEGEND:



NOTES:

1. THIS IS A SKETCH PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION
2. MAXIMUM GRADING 2.5:1 (HORIZONTAL:VERTICAL). TO BE CONFIRMED BY GEOTECHNICAL REPORT.
3. ALL EXISTING TOPOGRAPHIC INFORMATION FROM SAN JUAN SURVEYING, "TOPOGRAPHIC SURVEY UNIT 22, THE RIDGE AT TELLURIDE", DATED 08/23/21.
4. SEE DRB DRAINAGE AND EROSION CONTROL PLAN FOR ALL PROPOSED EROSION CONTROL
5. EXISTING CONCRETE ACCESS PATH HAS A SIX INCH CURB ON EAST SIDE WITH NO GUTTER.
6. FOR SLOPE STABILITY SAFETY THERE IS NO DETENTION PROPOSED FOR THIS RIDGE LOT SO AS NOT TO COMPROMISED THE EXISTING SLOPE BY INTRODUCTION OF SURFACE WATER INTO THE GROUND BY EXCESSIVE PERCOLATION OR DRY WELL APPLICATIONS.



SKETCH DRAINAGE AND EROSION CONTROL PLAN

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
**1-800-922-1987**  
OR  
**811**  
CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

**THIS PLAN IS FOR  
CLIENT REVIEW  
ONLY AND NOT FOR  
CONSTRUCTION**

THESE SKETCH PLANNING DOCUMENTS WERE  
PREPARED BY ME AND UNDER MY DIRECT  
SUPERVISION ON BEHALF OF ALPINE LAND  
CONSULTING, LLC FOR TOHELLURIDE LLC AND  
INCLUDES SKETCH PLANNING DESIGN ONLY, AND  
DOES NOT INCLUDE ANY OTHER PLANNING OR  
ENGINEERING.

**THIS PLAN HAS  
BEEN REDUCED TO  
APPROXIMATELY  
HALF SCALE  
(11"X17")**

GREGORY E. ANDERSON  
COLORADO PROFESSIONAL ENGINEER  
REGISTRATION NO. 35736

ALPINE LAND  
CONSULTING, LLC  
P.O. BOX 234  
RICO, COLORADO 81332  
970-708-0326  
GREGG@ALPINELANDCONSULTING.COM

UNIT 22 THE RIDGE  
MOUNTAIN VILLAGE  
SKETCH DRAINAGE AND  
EROSION CONTROL PLAN

CLIENT:  
TOHELLURIDE LLC  
C/O ZABEL FREEMAN  
1135 HEIGHTS BLVD  
HOUSTON, TX 77008

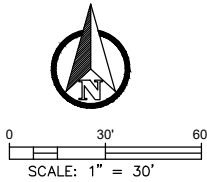
DATE: NOVEMBER 4, 2021

PROJECT #: 2021037

PROJECT MANAGER: GEA  
DRAWN BY: ADM

SHEET #:

NO.	REVISIONS	DATE





1. THIS IS A SKETCH PLANNING DOCUMENT ONLY AND NOT TO BE USED FOR CONSTRUCTION
2. EXISTING UTILITY INFORMATION FROM SAN JUAN SURVEYING, "TOPOGRAPHIC SURVEY UNIT 22, THE RIDGE AT TELLURIDE", DATED 08/23/21 AND THE TOWN OF MOUNTAIN VILLAGE. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND TO BE CONFIRMED PRIOR TO FINAL DESIGN
3. CABLE AND TELEPHONE SERVICE TO FOLLOW ELECTRICAL SERVICE
4. A MINIMUM OF 10' SEPARATION REQUIRED BETWEEN SANITARY AND WATER LINES



**THIS PLAN IS FOR  
CLIENT REVIEW  
ONLY AND NOT FOR  
CONSTRUCTION**

THESE SKETCH PLANNING DOCUMENTS WERE  
PREPARED BY ME AND UNDER MY DIRECT  
SUPERVISION ON BEHALF OF ALPINE LAND  
CONSULTING, LLC FOR TOHELLURIDE LLC AND  
INCLUDES SKETCH PLANNING DESIGN ONLY, AND  
DOES NOT INCLUDE ANY OTHER PLANNING OR  
ENGINEERING.

**THIS PLAN HAS  
BEEN REDUCED TO  
APPROXIMATELY  
HALF SCALE  
(11"X17")**

GREGORY E. ANDERSON  
COLORADO PROFESSIONAL ENGINEER  
REGISTRATION NO. 35736

[illegible]

ALPINE LAND  
CONSULTING, LLC

P.O. BOX 234  
RICO, COLORADO 81332  
970-708-0326  
GREGG@ALPINELANDCONSULTING.COM

UNIT 22 THE RIDGE  
MOUNTAIN VILLAGE

SKETCH UTILITY PLAN

CLIENT:

TOHELLURIDE LLC  
C/O ZABEL FREEMAN  
1135 HEIGHTS BLVD  
HOUSTON, TX 77008

DATE: NOVEMBER 4, 2021

PROJECT #: 2021037

PROJECT MANAGER:	GEA
DRAWN BY:	ADM

SHEET #:

3 OF 3



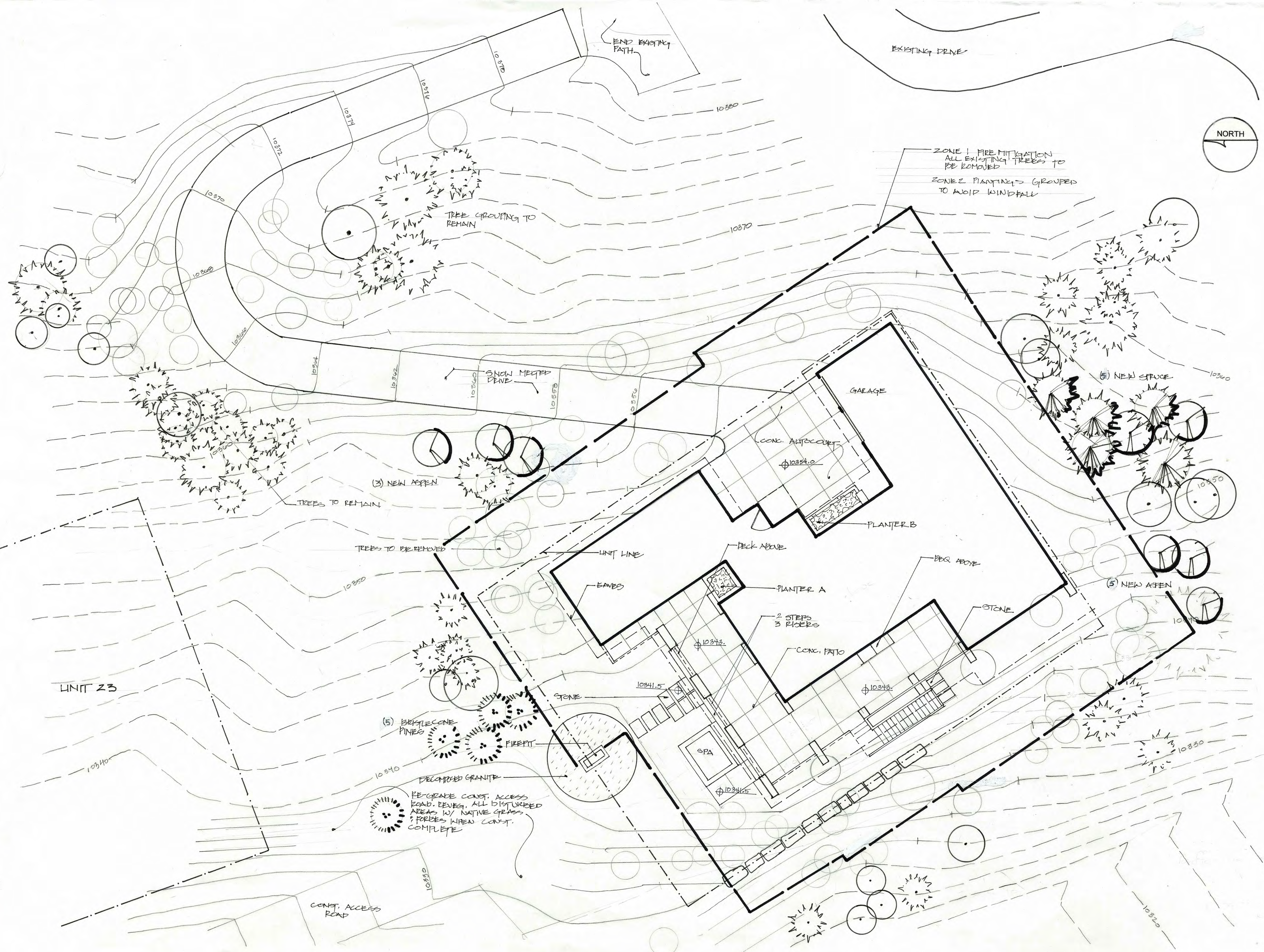
**FREEMAN RESIDENCE**  
Unit 22 The Ridge  
Telluride Mountain Village

Submittal: DRB Sketch Plan  
Date: 11.4.21

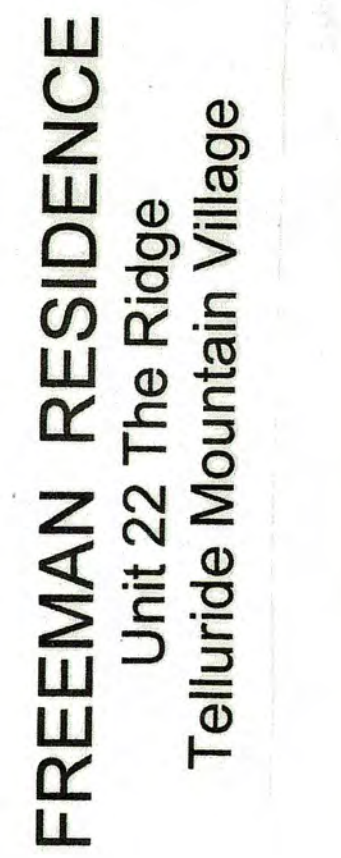
SCALE 1/8" = 1'

**SHEET**  
**L2**

LANDSCAPE/  
FIRE MITIGATION

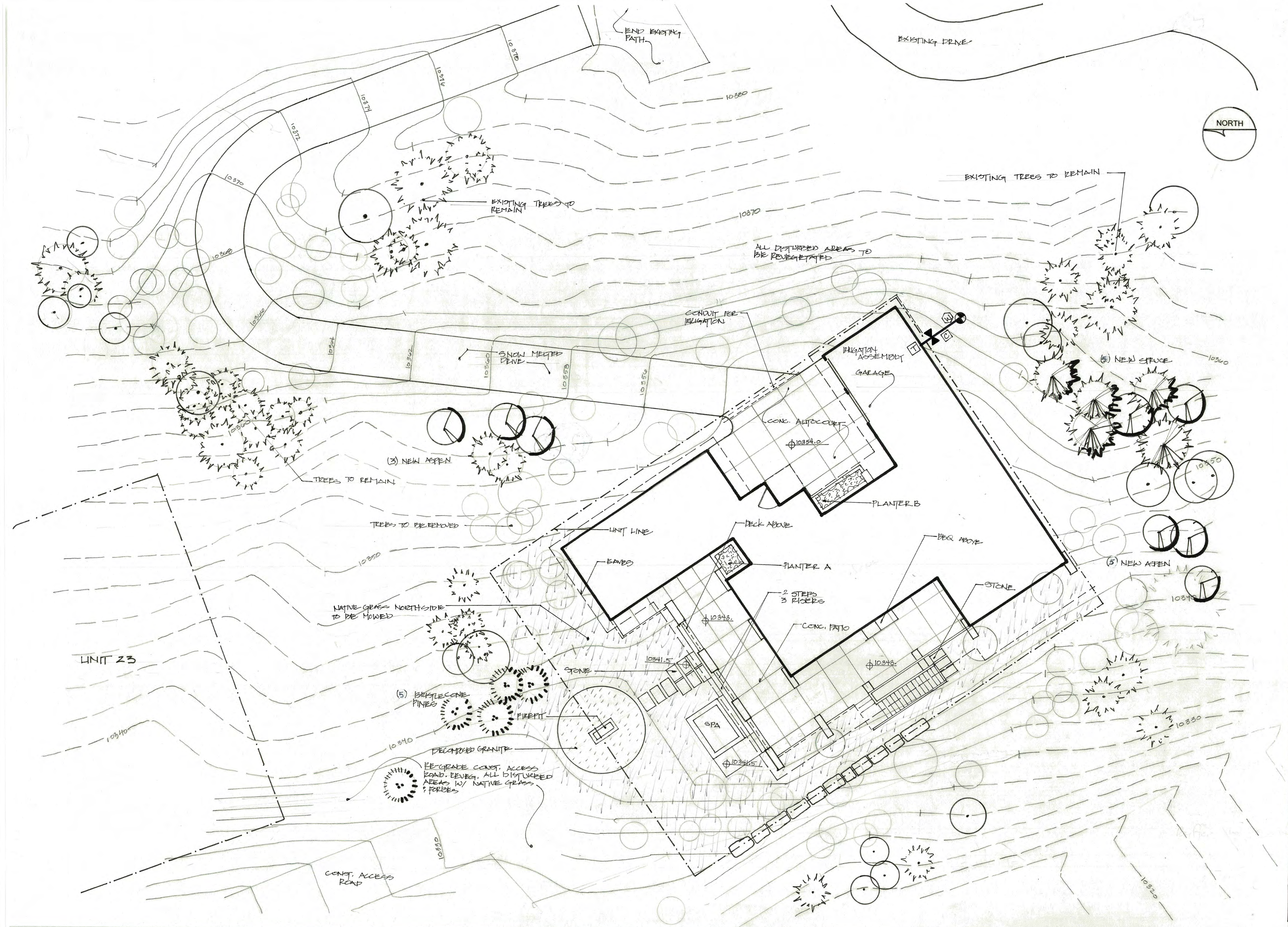






ate: 11.4.21

**SHEET**  
**L1**

LANDSCAPE/  
IRRIGATION PLAN



## FREEMAN RESIDENCE UNIT 22 THE RIDGE

PLANT SCHEDULE			
COMMON NAME	BOTANICAL NAME	SIZE	QTY
Populus tremuloides	Quaking Aspen,	2.5" cal.	8
Picea pungens	Colorado spruce	10'	3
		12'	2
Pinus aristata	Bristlecone Pine	6'	5
Karl Foerster	Feather Grass	#5	8
Perennials Bed A	Brunerra, Fern, Aconitum napelese	32 SF	
Perennial Bed B	Anemone sylvestris, Ladys Mantle	25 SF	
Native Grass seed	Mountain village native grass mix	Field verify	

### GENERAL LANDSCAPE NOTES

1. All trees and shrubs shall be field located by project Landscape architect.
2. All trees and shrubs shall be backfilled with a topsoil/organic fertilizer mixture at a 2:1 ratio.
3. Necessary trees shall e staked with 4 foot metal posts. Trees shall be guyed with 12 gauge galvanized wire and polypropolene tree straps.
4. Perennial planting beds shall be tilled to a 6" depth and amended with topsoil and organic fertilizer at a 2:1 ratio.
5. Mulch all perennial beds with a pine bark soil conditioner by Southwest Importers; shredded cedar bark.
6. All plant material to meet the American Standard for Nursery Stock.
7. All newly planted material to be irrigated by an automated irrigation system.
8. Re-vegetation of native grasses in primary areas surrounding house shall be irrigated until germination and establishment. At least two growing seasons.
9. All planted material shall be irrigated with an automated irrigation system.
10. All revegetation areas of native grass seed to be irrigated with automated system for first two growing seasons.
11. All planted materials including seed, shall be non-noxious species as specified within the San Miguel County's most current Noxious Weed List.



## **REVEGETATION NOTES**

1. Subsoil surfaces shall be tilled to a 4" depth on non fill areas.
2. Topsoil shall be spread at a minimum depth of 4" over all areas to be re-vegetated (except on slopes greater than 3:1) and amendments rototilled at a rate of three cubic yards per thousand square feet.
3. Broadcasting of seed shall be done immediately after topsoil is applied (within 10 days) to minimize erosion and weeds.
4. Areas which have been compacted or relatively undisturbed needing seeding, shall be scarified before broadcasting of seed.
5. Broadcast with specified seed mix and follow with dry mulching. Straw or hay shall be uniformly applied over seeded area at a rate 1.5 tons per acre for hay or 2 tons per acre for straw, crimp in.
6. On slopes greater than 3:1 erosion control blanket shall be applied in place of straw mulch and pinned.
7. All utility cuts shall be re-vegetated within the same planting season after installation of utilities to prevent weed infestation.
8. Seed all other areas at a rate of 1.5 lbs per acre. See mix below as specified in DRB guideline:

### **NATIVE GRASS SEED MIX**

<b><u>SPECIES</u></b>	<b><u>SEED RATE</u></b>
Western Yarrow	5%
Tall Fescue	10%
Arizona Fescue	5%
Hard Fescue	5%
Creeping Red Fescue	10%
Alpine Bluegrass	15%
Canada Bluegrass	10%
Perennial Ryegrass	15%
Slender Wheatgrass	10%

## **IRRIGATION NOTES**

1. Tap with rainbird PVB-075 backflow preventer
2. Rainbird RCM-12 electromechanical controller
3. 1.5" Wilkins model 500 pressure regulator
4. Rainbird 150-PEB 1.5" electric remote control valve
5. Class 200 PVC Mainline 1"
6. 3/4" 80NSF polylateral line
7. All newly planted vegetation is to be irrigated including trees, shrubs, perennials and sod.
8. Revegetation areas closest to house shall be irrigated.
9. Irrigation for revegetated areas shall be operated for two consecutive growing seasons and turned off



**IRRIGATION SCHEDULE**

<b>ZONE</b>	<b>LOCATION</b>	<b>HEAD</b>	<b>GPM</b>
1	Aspen trees	drip emitters	-
2	Spruce and Pine trees	drip emitters	-
3	Perennial planters	pop up sprays	24
4	Shrubs East	drip emitters	-
5	Revegetation	rotor heads	temporary

**WATER USAGE CHART**

<b>Type</b>	<b>Monthly use</b>	<b>Total #</b>	<b>Total Monthly Usage</b>
Perennials	2.5 gal./SF	57 SF	143
Revegetation	-	-	-
Shrubs	3.20 gal/EA	8	26
Aspen trees	10 gal. /EA	8	80
Colorado Spruce	25 gal. /EA	5	125
Pinus aristata	20 gal./EA	5	100
<b>COMPLETE MONTHLY USAGE</b>			<b>474 gal/MO</b>



- 1 LINEAR LED TO INSTALL ON TOP OF BEAM TO GAZE LIGHT UP WOOD CEILING. SEE LIGHTING DETAIL L2.0-X.
- 2 LED STEP LIGHT FIXTURE TO INSTALL 12" ABOVE CENTER OF TREAD. SEE LIGHTING DETAIL L2.0-X.
- 3 LED FIXTURE TO INSTALL ABOVE HEADER AIMED BACK, PROVIDE JAMB SWITCH OR OCCUPANCY SENSOR.
- 4 LINEAR LED LIGHTING TO BE INSTALLED AT TOP OF BENCH. SEE LIGHTING DETAIL L2.0-X.
- 5 LINEAR LED LIGHTING TO BE INSTALLED AT TOE KICK. SEE LIGHTING DETAIL L2.0-X.
- 6 LINEAR LED TO BE INSTALLED AT HEADER AND CONCEALED BY TRIM PIECE. SEE LIGHTING DETAIL L2.0-X.
- 7 LINEAR LED TO BE INSTALLED RUNNING VERTICALLY CONCEALED BY TRIM PIECE. SEE LIGHTING DETAIL L2.0-X.
- 8 LINEAR LED LIGHTING TO BE INSTALLED ABOVE GARAGE DOOR TO GAZE LIGHTING DOWN DOOR. SEE LIGHTING DETAIL L2.0-XX.

- 9 LINEAR LED LIGHTING TO BE INSTALLED TUCKED UP BEHIND CABINET. SEE LIGHTING DETAIL L2.0-XX.
- 10 LINEAR LED LIGHTING TO BE INSTALLED IN ROUTERED CHANNEL "3" FROM THE FRONT OF THE SHELF. SEE LIGHTING DETAIL L2.0-XX
- 11 LINEAR LED TO BE INSTALLED INSIDE CEILING SLOT. SEE LIGHTING DETAIL L2.0-XX.
- 12 LINEAR LED TO BE INSTALLED INSIDE CEILING SLOT. SEE LIGHTING DETAIL L2.0-XX.
- 13 STAIR DESIGN, MATERIAL TBD AND REVIEWED BEFORE LIGHTING SELECTION IS MADE.
- 14 INSTALL LINEAR SPREAD LENS WITH DISTRIBUTION PARALLEL TO WALKWAY.
- 15 HOOD LIGHTING TBD AND REVIEWED BEFORE LIGHTING SELECTION IS FINALIZED.



# L0.1



618 Mtn Vlg Blvd, Ste 203A  
PO Box 3610  
Telluride, CO 81435  
P 970.729.8892  
www.luminosityald.com

CONSULTANTS

Architect  
MORTON ARCHITECTS  
221 S. Pine St.  
PO Box 3661  
Telluride, CO 81435  
970.708.2246

Interior Architect  
LINDA EYLES DESIGN  
786 Arlington St.  
Houston, TX 77007  
713.520.7435

Landscape Architect  
TBD

General Contractor  
TBD

Electrical Contractor  
TBD

REVISIONS

△	DATE	DESCRIPTION
△	11.05.2021	DRB SUBMISSION

PROJECT  
FREEMAN RESIDENCE  
THE RIDGE LOT 22  
MOUNTAIN VILLAGE, CO

SITE ORIENTATION

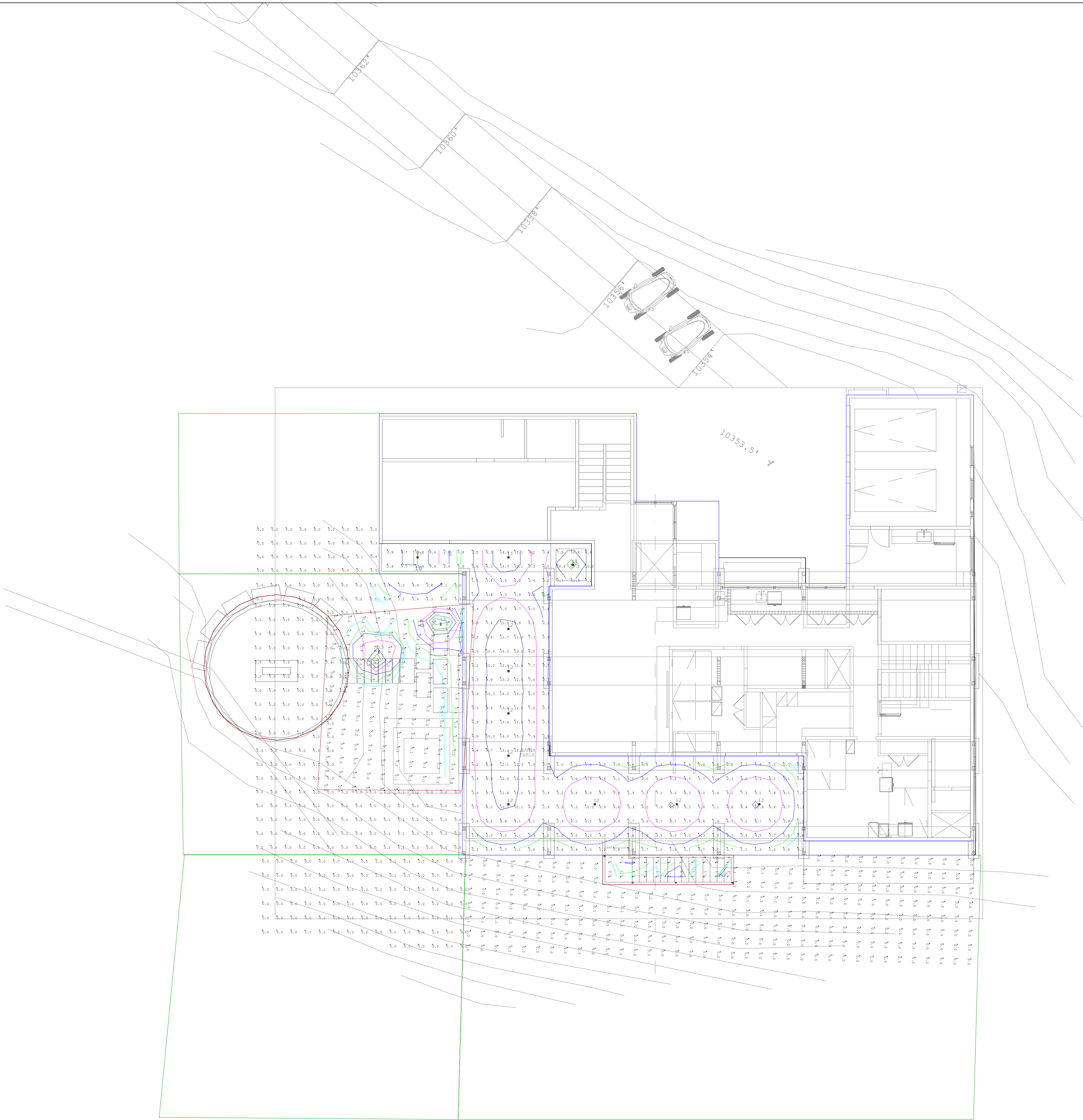
DRAWING TITLE  
LOWER LEVEL  
EXTERIOR LIGHTING  
CALC

DRAWING ISSUE

ISSUE: DRB SUBMISSION  
DATE: 05 NOVEMBER 2021  
DRAWING: ARCH D - 24 X 36  
SCALE: AS NOTED ON DRAWING  
JOB #: NA  
DRAWN BY: AC  
CHECKED BY: CS

DRAWING NO.

L0.1C



Luminaire Schedule					
Symbol	Qty	Label	Total Lamp Lumens	LLF	Description
□	8	2in Ext Downlight 40deg	930	0.574	E2SL-LO8303040 - Dimmed to 70% minimum to meet DRB and MV Lighting Standards
□	3	2in Ext Downlight 20deg	930	0.574	E2SL-LO8303040 - Dimmed to 70% minimum to meet DRB and MV Lighting Standards
□	2	18in Stru Outdoor Pathway Light	693.1	0.440	700CASTR930180412S - Dimmed to 44% minimum to meet DRB and MV Lighting Standards
□	4	12V 4in Step Light	36	0.700	HNL511 RECT WLST LED 30K MVOLT

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	5.48	17.2	0.2	27.40	86.00
Firepit_stair_Firepit_stal	1.29	23.6	0.0	N/A	N/A
Firepit_Top	0.00	0.1	0.0	N/A	N/A
Grade 1_Grade 1	0.20	4.4	0.0	N/A	N/A
Grade 12_Grade 12	0.03	0.5	0.0	N/A	N/A
Grade 13_Grade 13	0.01	0.1	0.0	N/A	N/A
Grade 2_Planar	0.04	0.5	0.0	N/A	N/A
Stair_Stair	1.15	7.2	0.0	N/A	N/A



NOTES

- 1

LINEAR LED TO INSTALL ON TOP OF BEAM TO GAZE LIGHT UP WOOD CEILING. SEE LIGHTING DETAIL L2.0-X.
- 2

LED STEP LIGHT FIXTURE TO INSTALL 12" ABOVE CENTER OF TREAD. SEE LIGHTING DETAIL L2.0-X.
- 3

LED FIXTURE TO INSTALL ABOVE HEADER AIMED BACK, PROVIDE JAMB SWITCH OR OCCUPANCY SENSOR.
- 4

LINEAR LED LIGHTING TO BE INSTALLED AT TOP OF BENCH. SEE LIGHTING DETAIL L2.0-X.
- 5

LINEAR LED LIGHTING TO BE INSTALLED AT TOE KICK. SEE LIGHTING DETAIL L2.0-X.
- 6

LINEAR LED TO BE INSTALLED AT HEADER AND CONCEALED BY TRIM PIECE. SEE LIGHTING DETAIL L2.0-X.
- 7

LINEAR LED TO BE INSTALLED RUNNING VERTICALLY CONCEALED BY TRIM PIECE. SEE LIGHTING DETAIL L2.0-X.
- 8

LINEAR LED LIGHTING TO BE INSTALLED ABOVE GARAGE DOOR TO GRAZE LIGHTING DOWN DOOR. SEE LIGHTING DETAIL L2.0-XX.
- 9

LINEAR LED LIGHTING TO BE INSTALLED TUCKED UP BEHIND CABINET. SEE LIGHTING DETAIL L2.0-XX.
- 10

LINEAR LED LIGHTING TO BE INSTALLED IN ROUTERED CHANNEL 3" FROM THE FRONT OF THE SHELF. SEE LIGHTING DETAIL L2.0-XX
- 11

LINEAR LED TO BE INSTALLED INSIDE CEILING SLOT. SEE LIGHTING DETAIL L2.0-XX.
- 12

LINEAR LED TO BE INSTALLED INSIDE CEILING SLOT. SEE LIGHTING DETAIL L2.0-XX.
- 13

STAIR DESIGN, MATERIAL TBD AND REVIEWED BEFORE LIGHTING SELECTION IS MADE.
- 14

INSTALL LINEAR SPREAD LENS WITH DISTRIBUTION PARALLEL TO WALKWAY.
- 15

HOOD LIGHTING TBD AND REVIEWED BEFORE LIGHTING SELECTION IS FINALIZED.
- 16

618 Mtn Vlg Blvd, Ste 203A  
PO Box 3610  
Telluride, CO 81435  
P 970.729.8892  
www.luminosityald.com

CONSULTANTS

Architect  
MORTON ARCHITECTS  
221 S. Pine St.  
PO Box 3561  
Telluride, CO 81435  
970.708.2246

Interior Architect  
LINDA EYLES DESIGN  
736 Arlington St.  
Houston, TX 77007  
713.520.7455

Landscape Architect  
TBD

General Contractor  
TBD

Electrical Contractor  
TBD

REVISIONS

Δ	DATE	DESCRIPTION
Δ	11.05.2021	DRB SUBMISSION

PROJECT  
FREEMAN RESIDENCE  
THE RIDGE LOT 22  
MOUNTAIN VILLAGE, CO

SITE ORIENTATION

DRAWING TITLE  
MAIN LEVEL EXTERIOR  
LIGHTING PLAN

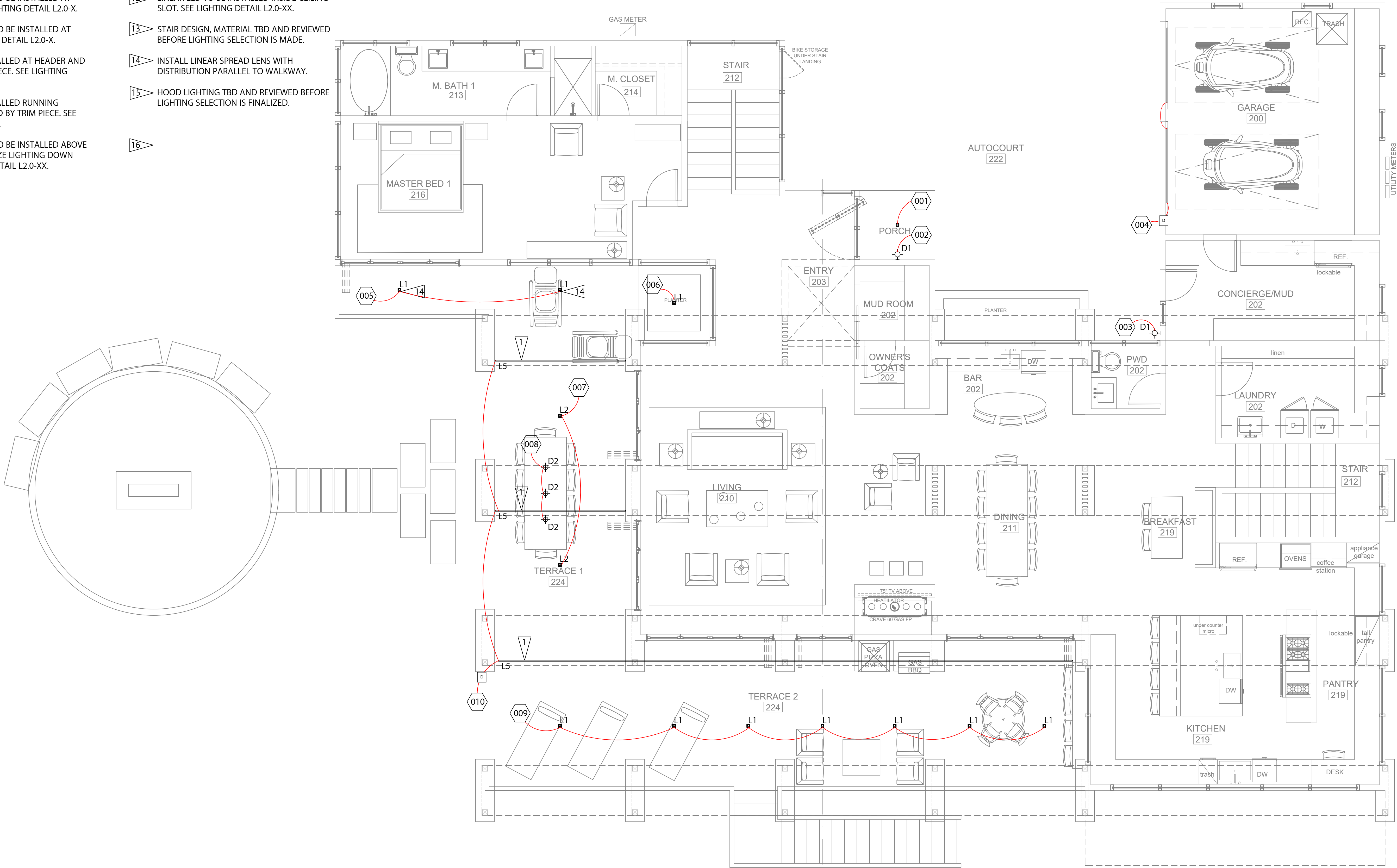
DRAWING ISSUE

ISSUE: DRB SUBMISSION  
DATE: 05 NOVEMBER 2021  
DRAWING: ARCH D - 24 X 36  
SCALE: AS NOTED ON DRAWING  
JOB #: NA  
DRAWN BY: AC  
CHECKED BY: CS

DRAWING NO.

L0.2

1 MAIN LEVEL - EXTERIOR LIGHTING PLAN  
1/4" = 1'-0"





CONSULTANTS

**Architect**  
MORTON ARCHITECTS  
221 S. Pine St.  
PO Box 3561  
Telluride, CO 81435  
970.708.2246

**Interior Architect**  
LINDA EVLES DESIGN  
736 Arlington St.  
Houston, TX 77007  
713.520.7455

**Landscape Architect**  
TBD

**General Contractor**  
TBD

**Electrical Contractor**  
TBD

REVISIONS

DATE	DESCRIPTION
11.05.2021	DRB SUBMISSION

PROJECT  
FREEMAN RESIDENCE  
THE RIDGE LOT 22  
MOUNTAIN VILLAGE, CO

SITE ORIENTATION

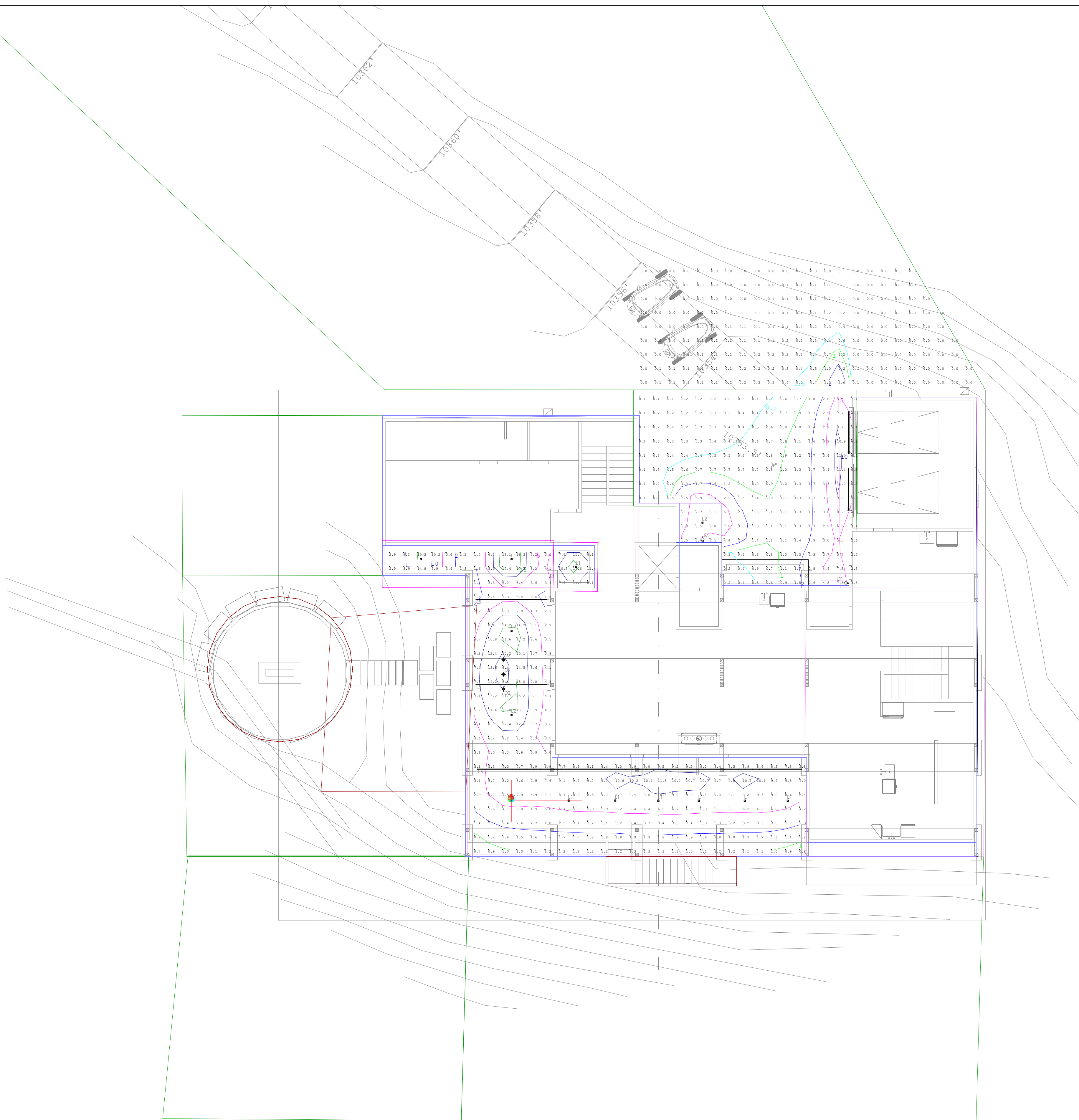
DRAWING TITLE  
MAIN LEVEL  
EXTERIOR LIGHTING  
CALC

DRAWING ISSUE

ISSUE: DRB SUBMISSION  
DATE: 05 NOVEMBER 2021  
DRAWING: ARCH D - 24 X 36  
SCALE: AS NOTED ON DRAWING  
JOB #: NA  
DRAWN BY: AC  
CHECKED BY: CS

DRAWING NO.

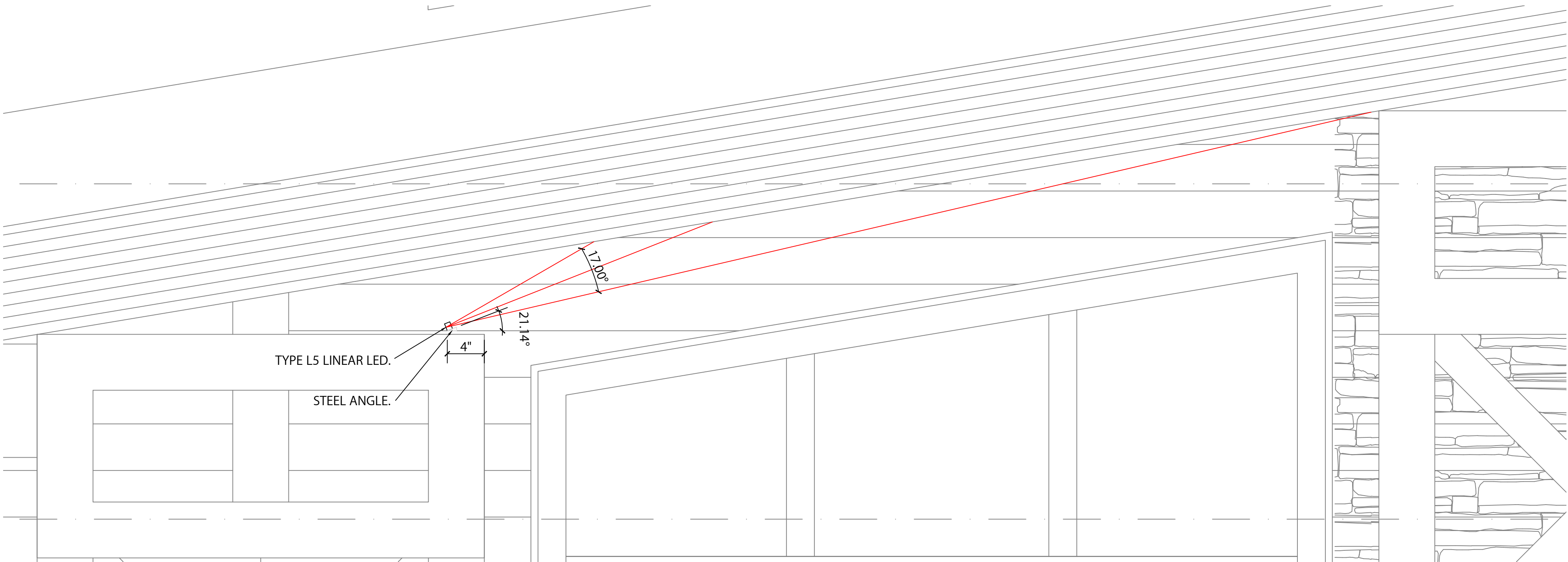
L0.2C



Symbol	Qty	Label	Total Lamp Lumens	LLF	Description
□	4	2in Ext Downlight 40deg	930	0.574	E2SL-LO8030AM - Dimmed to 70% minimum to meet DRB and MV Lighting Standards
□	14	2in Ext Downlight 20deg	930	0.574	E2SL-LO8030AM - Dimmed to 70% minimum to meet DRB and MV Lighting Standards
□	2	Decorative Darksky Sconce	391.1	0.700	700CWSPHISC-LED830
○	3	Outdoor Solid Cylinder Pendant	545.24	0.700	PD-W36610
□		Linear Wet Location LED 17deg	1500ft	0.399	LL25W-3.0-30-DRY-STD-17-ST
□		Linear Wet Location LED Graze	225ft	0.266	LL25W-1.5-30-DRY-STD-17-ST

Calculation Summary	CalcType	Avg	Max
Deck	Illuminance	6.27	18.3
Ground entry_1_Planar	Illuminance	0.12	3.6
Ground entry_Top	Illuminance	2.18	11.4





① EXTERIOR/INTERIOR BEAMS - UPLIGHTING DETAIL  
1 1/2" = 1'-0"

CONSULTANTS

Architect  
MORTON ARCHITECTS  
221 S. Pine St.  
PO Box 3561  
Telluride, CO 81435  
970.708.2246

Interior Architect  
LINDA EYLES DESIGN  
786 Arlington St.  
Houston, TX 77007  
713.520.7455

Landscape Architect  
TBD

General Contractor  
TBD

Electrical Contractor  
TBD

REVISIONS

Δ	DATE	DESCRIPTION
Δ	11.05.2021	DRB SUBMISSION

PROJECT

FREEMAN RESIDENCE  
THE RIDGE LOT 22  
MOUNTAIN VILLAGE, CO

SITE ORIENTATION

DRAWING TITLE

LIGHTING DETAILS

DRAWING ISSUE

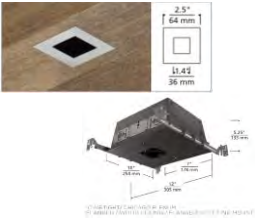
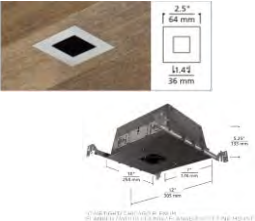

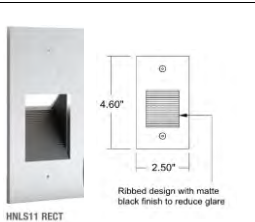
ISSUE:	DRB SUBMISSION
DATE:	05 NOVEMBER 2021
DRAWING:	ARCH D - 24 X 36
SCALE:	AS NOTED ON DRAWING
JOB #:	NA
DRAWN BY:	AC
CHECKED BY:	CS

DRAWING NO.

L2.0

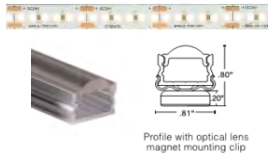





FREEMAN RESIDENCE | EXTERIOR LIGHTING SCHEDULE | REVISION 1

FIXT TYPE	IMAGE	DESCRIPTION	MANUFACTURER	MODEL	CATALOG NO	LAMP	LENGTH (FT.)	VOLTAGE	DIMMING	REMOTE / INTEGRAL POWER SUPPLY	ENERGY (W)	ENERGY (W/FT)	FINISH / IP RATING	DIMENSIONS	ACCESSORIES	Dimming Levels	NOTES	LOCATION
L1		2" Adjustable Recessed Downlight	Element	Element 2" LED	Housing: E2S WC LO927 20 A I Trim: E2S L F H TBD	2700K, 930 Lumens, 12 Watts, 90+ CRI		120V-277V	Triac	Integral Power Supply	12.0		TBD / Wet Location	Housing: 10"W X 12"L X 5.25"T Trim: 2.5"W		Dimmed to 70% minimum to meet DRB and MV Lighting Standards	Use 20 degree beam spread optic.  White (to be painted onsite, color tbc), Flangeless, Wood Ceiling, Flat Trim, Confirm depth of ceiling before ordering product.	Exterior Recessed Downlights
L2		2" Adjustable Recessed Downlight	Element	Element 2" LED	Housing: E2S WC LO927 40 A I Trim: E2S L F H TBD	2700K, 930 Lumens, 12 Watts, 90+ CRI		120V-277V	Triac	Integral Power Supply	12.0		TBD / Wet Location	Housing: 10"W X 12"L X 5.25"T Trim: 2.5"W		Dimmed to 70% minimum to meet DRB and MV Lighting Standards	Use 40 degree beam spread optic.  White (to be painted onsite, color tbc), Flangeless, Wood Ceiling, Flat Trim, Confirm depth of ceiling before ordering product.	Exterior Recessed Downlights
L3		LED Path Light	Tech	Strut Pathway	7000ASTR 927 18 D B 12 S (ST if stake mounting kit is needed) + 7000T150T	2700K, 693.1 Lumens, 15 Watts, 90+ CRI		12v	MLV	Remote Power Supply - Location wet rated	15.0		Black / Wet Location	1.5"W X 6.5"L X 18"T + 4" sq base		Dimmed to 44% minimum to meet DRB and MV Lighting Standards	Bolt mounting in concrete standard. ST stake mounting kit available if needed. 150 Watt Stainless Steel outdoor rated transformer	Exterior Path Lighting
L4		Exterior Step Light	Aquity	Pathfinder Step Light 11	HNLS11 RECT MVOLT ST 27K ZT MIN5 WL TBD	2700K, 3W, 36 Lumens		120V	ELV	Line Voltage	3.9W		TBD / Wet Location	2.5"W X 4.6"T X 3.5"D			Finish TBD	Exterior Stair Step Light



FREEMAN RESIDENCE | EXTERIOR LIGHTING SCHEDULE | REVISION 1

FIXT TYPE	IMAGE	DESCRIPTION	MANUFACTURER	MODEL	CATALOG NO	LAMP	LENGTH (FT.)	VOLTAGE	DIMMING	REMOTE / INTEGRAL POWER SUPPLY	ENERGY (W)	ENERGY (W/FT)	FINISH / IP RATING	DIMENSIONS	ACCESSORIES	Dimming Levels	NOTES	LOCATION
L5		1.5W Static White LED Linear	Qtran	LALO 17 Deg / SW24/1.5	Extrusion: LALO BK SST 17DEG XX XX + LEDs: SW24/1.5 WET 27 XX	2700K, 150 Lumens/ft, 1.5 Watts/ft, 96 CRI		24VDC	MLV	Remote Power Supply		1.5	Black / Wet Location	0.81"W X 0.80"D with magnet clip	Connectors: Provide PS to tape, jumper cables and end caps as required.		Lalo Extrusion, 17 Degree Beam Spread + Magnet Clip	Exterior LED Linear Graze Lighting - wood ceiling
L6		3.0W Static White LED Linear	Qtran	LALO 17 Deg / SW24/3.0	Extrusion: LALO BK MG 17DEG XX XX + LEDs: SW24/3.0 WET 27 XX	2700K, 225 Lumens/ft, 3.0 Watts/ft, 96 CRI		24VDC	MLV	Remote Power Supply		3.0	Black / Wet Location	0.81"W X 0.80"D with Stainless steel clip	Connectors: Provide PS to tape, jumper cables and end caps as required.		Lalo Extrusion, 17 Degree Beam Spread + Stainless Steel Clip	Exterior LED Linear Graze Lighting - Garage Door Graze
D1		Exterior Dark-Sky LED Decorative Sconce	Tech	Peak Wall Sconce		Warm Dimming 3000-2200K 391.1 Lumens, 14.5W		120V	ELV	Integral Power Supply		14.5	Bronze / IP65	5"W X 13"T X 4.3"D				Exterior Dark-Sky Decorative Sconce
D2		Cylinder Pendant	WAC	Caliber	PD-W36610 2700K TBD	2700K, 508 Lumens, 12W, 90 CRI		120V	ELV @ 10%	Integral Power Supply		12.0	TBD / IP44 Location	2.8675"W X 10"T + Stem Length				Exterior Dark-Sky Decorative Pendant





## EXHIBIT B

### DEVELOPMENT REFERRAL FORM

Planning & Development Services  
Planning Division  
455 Mountain Village Blvd. Ste. A  
Mountain Village, CO 81435  
(970) 728-1392

#### Referral Agency Comments Lot 161D1, 4 La Salle Lane:

Jim Loebe - No issues from transit or rec. Thank you.

Hi Amy,  
Looks like a solid plan. No issues from Public Works.  
Finn



## EXHIBIT C



### PLANNING DEPARTMENT

KAYE SIMONSON, PLANNING DIRECTOR

November 29, 2021

Amy Ward, Planner  
Town of Mountain Village  
By email: [award@mtnvillage.org](mailto:award@mtnvillage.org)

Re: Unit 22, Lot 161 D-1 Story Pole Waiver

Dear Amy,

San Miguel County staff has reviewed the request for a waiver from the story pole requirement for Unit 22 located at Lot 161D-1, which is subject to the County Settlement Agreement and Ridgeline Covenant. While the information provided in the application does not contain the level of detail provided for Lot 12, a comparison of the view studies completed for Lot 12 to Lot 22, which is located farther back from the ridge at approximately the same elevation, shows that the proposed structure will not be visible from the Eider Creek and Hillside area. Provided the proposed residence is ultimately approved and built as presented, San Miguel County has no objections to the proposed height variance. If you have any questions, please let me know.

Sincerely,

Kaye Simonson, AICP  
Planning Director

cc: Amy Markwell, County Attorney





AGENDA ITEM 9  
**PLANNING & DEVELOPMENT SERVICE**  
**PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Mountain Village Design Review Board

**FROM:** Amy Ward, Senior Planner

**FOR:** Design Review Board Public Hearing; February 3, 2022

**DATE:** January 26, 2022

**RE:** Staff Memo – Final Architecture Review (FAR) Lot 138, 100 Granite Ridge Drive pursuant to CDC Section 17.4.11

### APPLICATION OVERVIEW: New Single-Family Home on Lot 138

#### **PROJECT GEOGRAPHY**

**Legal Description:** LOT 138, TELLURIDE MOUNTAIN VILLAGE, FILING 1, ACCORDING TO THE PLAT RECORDED MARCH 9, 1984 IN PLAT BOOK 1 AT PAGE 476, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**Address:** 100 Granite Ridge

**Applicant/Agent:** Narcis Tudor, Narcis Tudor Architects

**Owner:** VIKRANT BHATIA AND YASMIN BHATIA

**Zoning:** Single-Family

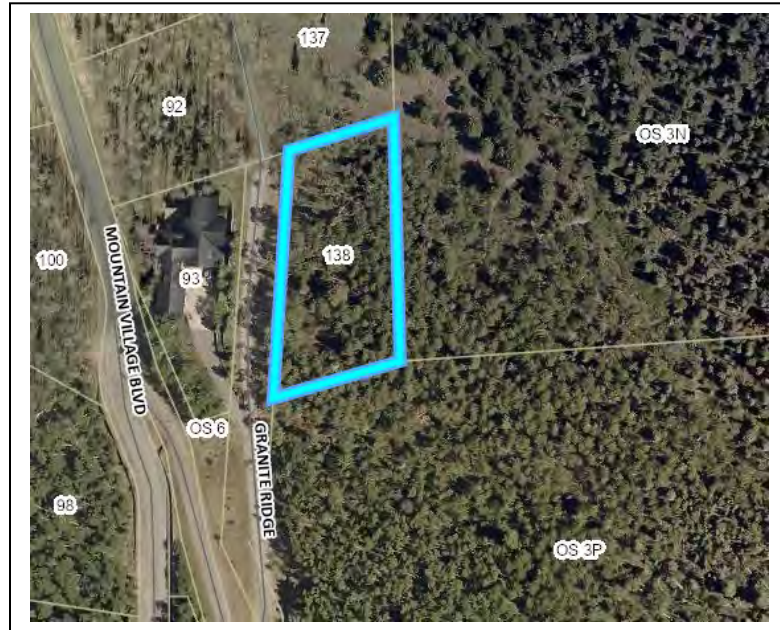
**Existing Use:** Vacant

**Proposed Use:** Single-Family

**Lot Size:** .88 acres

**Adjacent Land Uses:**

- **North:** Single-family
- **South:** Open space
- **East:** Open space
- **West:** Single-family



*Figure 1: Vicinity Map*

#### **ATTACHMENTS**

Exhibit A: Architectural Plan Set

**Case Summary:** Narcis Tudor of Narcis Tudor Architects is requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) Application for a new single-family home on Lot 138, 100 Granite Ridge. This item was seen at the January 6, 2022 DRB meeting for Initial Review as well as a Recommendation to Town Council for a height variance for 5' over the allowable maximum height. DRB recommended approval of the height variance, and Town Council approved this height variance at its January 20, 2022



regular meeting. At the same Town Council meeting, council approved a minor subdivision to vacate a portion of the GE as well as a road right of way encroachment.

The Lot is approximately .88 acres and is zoned Single-family. The overall square footage of the home is approximately 8,905 gross square feet, with 7,925 livable square feet, and provides 2 interior parking spaces within the proposed garage and 2 exterior spaces.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<b><u>CDC Provision</u></b>	<b><u>Requirement</u></b>	<b><u>Proposed</u></b>
<b>Maximum Building Height</b>	35' (shed) Maximum	40' 0"
<b>Maximum Avg. Building Height</b>	30' (shed) Maximum	22'2"
<b>Maximum Lot Coverage</b>	40% (15,333 s.f.)	29.6% (11,366 s.f.)
<b>General Easement Setbacks</b>	No encroachment	**No GE encroachment, Road right of way encroachment
<b>Roof Pitch</b>		
Primary		1:12
Secondary		1:12
<b>Exterior Material</b>		
Stone	35% minimum	36.6%
Windows/Doors	40% maximum	22.2%
<b>Parking</b>	2 interior/2 exterior	2/2

**\*\*Pending minor subdivision to vacate GE on western side of property**

#### **Design Variations:**

- 1) Landscaping – diversity of species

#### **DRB Specific Approvals:**

- 1) Metal fascia

*Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated December 27, 2021.*

## **Chapter 17.3: ZONING AND LAND USE REGULATIONS**

### **17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of shed roof forms. Homes with a primary shed roof form are granted a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest



point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: Staff has determined that the primary roof form for this home is a shed and therefore granted a maximum height of 35 feet. The applicant has calculated a max height of 40' 0" and a max average height of 22' 2". The applicant is meeting the max average height requirement but exceeds the max height allowable by 5' and has been given a variance by Town Council.*

#### **17.3.14: General Easement Setbacks**

Lot 138 is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

*Staff: The applicant has applied for and was granted a minor subdivision that vacates the GE on the west side of the lot. This eliminates any encroachment by the two stone bars on the south side of the home.*

*He also applied for and was granted a right-of-way encroachment for the driveway and the associated retaining walls.*

*There are no other encroachments proposed for this home.*

### **Chapter 17.5: DESIGN REGULATIONS**

#### **17.5.4: Town Design Theme**

*Staff: Criteria met.*

#### **17.5.5: Building Siting Design**

*Staff: Criteria met*

#### **17.5.6: Building Design**

*Staff: Criteria met. The applicant has clarified proposed materials and indicated that the fascia will be metal and the soffit will be cedar. The metal fascia requires a DRB specific approval.*

#### **17.5.7: Grading and Drainage Design**

*Staff: At Initial Review, additional information from the applicant regarding the surface of the graded area underneath the floating parts of the home was requested. The applicant has indicated that this will be revegetated with native grass. Staff still has some concerns about the deeper areas under the structure where there will be no daylight and no vegetation will grow. Water will flow under the structure. Some consideration should be given to making sure soil/silt runoff is not a problem.*

#### **17.5.8: Parking Regulations**

*Staff: Criteria met.*

#### **17.5.9: Landscaping Regulations**

*The applicant is proposing only some juniper planting at the front of the home due to the steep nature and protruding rock band. The rear of the lot is mature forest. The Town*



*Forester has recommended a design variation for landscaping – diversity of species and DRB approved this at Initial Review.*

*A detail of the proposed reading pad has been provided. The pad will cause minimal site disturbance, simply an Ipe deck with some site rocks and small boulders to anchor it.*

#### **17.5.11: Utilities**

*Staff: Criteria met.*

#### **17.5.12: Lighting Regulations**

*Staff: A lighting plan with photometric study was provided. Fixture E1 – the wall sconce, appears to exceed the max allowable lumens. Fixture E3 – the pendant, says it has a luminosity of over 4000 lumens, staff assumes that this is an error. If the applicant wants to keep the wall sconce as specified, then the system would have to be placed on a capped dimmer system. Fixture E4 is a LED strip light that is used at the glass railings. Staff has concerns that this would illuminate the glass rail as if the rail itself were a light fixture. The photometric study shows no light projection from these fixtures, staff does not believe this to be an accurate portrayal of the lighting at the rails. DRB should discuss whether this type of a lighting would be appropriate. Staff is recommending that the applicant revise the lighting plan for staff and one member of DRB to review prior to building permit.*

#### **17.5.13: Sign Regulations**

*Staff: The applicant has revised the address monument detail and is now meeting the requirements of the CDC.*

### **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

#### **17.6.1: Environmental Regulations**

*Staff: Criteria met.*

#### **17.6.6: Roads and Driveway Standards**

*Staff: Criteria met.*

#### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: Criteria met. All fire places are indicated to run on natural gas.*

### **Chapter 17.7: BUILDING REGULATIONS**

#### **17.7.19: Construction Mitigation**

*Staff: The construction mitigation has been revised to show how they will stage on the building platform once constructed. The applicant will likely still need to work with the town for roadside parking permits until the driveway is created but otherwise the CMP seems sufficient.*

**Staff Recommendation:** Staff recommends the DRB approve the Final Architectural Review for Lot 138, 100 Granite Ridge, based on the findings and CDC requirements listed in the staff memo of record.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

#### **Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.



I move to approve the Final Architectural Review for a new single-family home located at Lot 138, based on the evidence provided within the Staff Report of record dated January 26, 2022, with the following design variations and DRB specific approvals:

Design Variations:

- 1) Landscaping – diversity of species

DRB Specific approvals:

- 1) Metal fascia

And, with the following conditions:

- 1) Prior to building permit the applicant will provide a revised lighting plan for staff and one DRB member to review.
- 2) Prior to a building permit the applicant will record the plat showing the vacation of the western GE with the County.
- 3) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the right of way.
- 4) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 5) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 6) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 7) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
- 8) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw





# BHATIA RESIDENCE

138 GRANITE RIDGE - DRB FINAL

**NARCIS TUDOR ARCHITECTS©** NARCISTUDOR.COM . 970.708.4983 . BOX 1717 TELLURIDE 81435

all graphic material contained in these documents is copyrighted and cannot be used without written permission





GENERAL NOTES

CONTRACT DOCUMENTS:  
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, GENERAL SPECIFICATIONS, AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED.

ORGANIZATION:  
WHERE APPLICABLE, THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT:  
ARCHITECTURAL DRAWINGS (A SHEETS), INTERIOR DRAWINGS (I SHEETS), STRUCTURAL DRAWINGS (S SHEETS), MECHANICAL AND PLUMBING DRAWINGS (M SHEETS), ELECTRICAL (E SHEETS), AND LIGHTING (LP SHEETS).

CODE COMPLIANCE:  
ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

INTENT:  
THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN. ALL FUNCTIONALITY AND PERFORMANCE OF THE BUILDING COMPONENTS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

COORDINATION:  
THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS, AND REPORT ANY DISCREPANCIES, ERRORS, OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL, AND LIGHTING DRAWINGS.

VARIANCES | REQUESTS

1. 40' MAXIMUM HEIGHT FOR SHED ROOF
2. REQUEST FOR PARTIAL USE OF 16' WEST EASEMENT FOR HOUSE | SITE SUPPORT

JANUARY 6, 2022 DRB CONDITIONS

- 1) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL LABEL THE ELEVATIONS TO INDICATE MATERIAL CHOICE FOR ALL CLADDING, SOFFIT AND FASCIA - **SEE SHEET A3.1**
- 2) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL REVISE THE LANDSCAPING PLAN TO PROVIDE DETAIL REGARDING THE PROPOSED "READING PAD." - **SEE SHEET A1.1B**
- 3) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL REVISE THE ADDRESS MONUMENT PLAN TO INCLUDE A DOWNLIT LIGHTING SPECIFICATION FOR THE ADDRESS MONUMENT, AND TO INDICATE THE NUMERALS WILL BE COATED WITH A REFLECTIVE SURFACE. - **SEE SHEET A1.1B**
- 4) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL SPECIFY THE FUEL SOURCE FOR ALL SOLID FUEL BURNING DEVICES. - **SEE A2 SHEET SERIES - NATURAL GAS**
- 5) PRIOR TO FINAL REVIEW, THE APPLICANT SHALL REVISE THE CONSTRUCTION MITIGATION PLAN TO ADDRESS THE CONCERNS ADDRESSED IN THE STAFF MEMO DATED DECEMBER 27, 2021. - **SEE SHEET C4**
- 6) PRIOR TO FINAL REVIEW THE APPLICANT SHALL CLARIFY WHAT THE FINISHED SURFACE OF THE RE- GRADED AREA UNDERNEATH THE HOME WILL BE. - **SEE SHEET A1.1 - NATIVE GRASSES | GENERAL REVEGETATION**
- 7) PRIOR TO FINAL REVIEW THE APPLICANT WILL OBTAIN APPROVAL FROM TOWN COUNCIL FOR THE PROPOSED HEIGHT VARIANCE.
- 8) PRIOR TO FINAL REVIEW THE APPLICANT WILL OBTAIN APPROVAL FROM TOWN COUNCIL FOR THE VACATION OF THE WESTERN GE.
- 9) PRIOR TO FINAL REVIEW THE APPLICANT WILL OBTAIN APPROVAL FROM TOWN COUNCIL FOR THE RIGHT OF WAY ENCROACHMENT.
- 10) PRIOR TO A BUILDING PERMIT THE APPLICANT WILL RECORD THE PLAT SHOWING THE VACATION OF THE WESTERN GE WITH THE COUNTY.
- 11) PRIOR TO CERTIFICATE OF OCCUPANCY THE APPLICANT WILL ENTER INTO A LICENSING AGREEMENT WITH THE TOWN FOR ANY APPROVED ENCROACHMENTS IN THE RIGHT OF WAY.
- 12) CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.
- 13) A MONUMENTED LAND SURVEY OF THE FOOTERS WILL BE PROVIDED PRIOR TO POURING CONCRETE TO DETERMINE THERE ARE NO ADDITIONAL ENCROACHMENTS INTO THE GE.
- 14) A MONUMENTED LAND SURVEY SHALL BE PREPARED BY A COLORADO PUBLIC LAND SURVEYOR TO ESTABLISH THE MAXIMUM BUILDING HEIGHT AND THE MAXIMUM AVERAGE BUILDING HEIGHT.
- 15) PRIOR TO THE BUILDING DIVISION CONDUCTING THE REQUIRED FRAMING INSPECTION, A FOUR-FOOT (4') BY EIGHT-FOOT (8') MATERIALS BOARD WILL BE ERECTED ON SITE CONSISTENT WITH THE REVIEW AUTHORITY APPROVAL TO SHOW:

a. THE STONE, SETTING PATTERN AND ANY GROUTING WITH THE MINIMUM SIZE OF FOUR FEET (4') BY FOUR FEET (4');  
b. WOOD THAT IS STAINED IN THE APPROVED COLOR(S);  
c. ANY APPROVED METAL EXTERIOR MATERIAL;  
d. ROOFING MATERIAL(S); AND  
e. ANY OTHER APPROVED EXTERIOR MATERIALS
- 16) IT IS INCUMBENT UPON AN OWNER TO UNDERSTAND WHETHER ABOVE GRADE UTILITIES AND TOWN INFRASTRUCTURE (FIRE HYDRANTS, ELECTRIC UTILITY BOXES) WHETHER PLACED IN THE RIGHT OF WAY OR GENERAL EASEMENT, ARE PLACED IN AN AREA THAT MAY ENCUMBER ACCESS TO THEIR LOT. RELOCATION OF SUCH ABOVE GRADE INFRASTRUCTURE APPURTENANCES WILL OCCUR AT THE OWNER'S SOLE EXPENSE AND IN COORDINATION WITH THE APPROPRIATE ENTITY (FIRE DEPARTMENT, SMPA, TOWN OF MOUNTAIN VILLAGE) SO THAT THE RELOCATED POSITION IS SATISFACTORY.

PROJECT TEAM

OWNER

VIK + YASMIN BHATIA

ARCHITECT

**NARCIS TUDOR ARCHITECTS**  
201 W COLORADO AVENUE  
SUITE 203  
TELLURIDE . COLORADO . 81435  
P. 970.708.4983  
[narcis@narcistudor.com](mailto:narcis@narcistudor.com)

CONTRACTOR

**KOENIG CONSTRUCTION SERVICES**  
P.O. BOX 3138  
TELLURIDE . COLORADO . 81435  
P. 970.369.1263  
F. 970.369.1263  
[jeff@koenigconstructionservices.com](mailto:jeff@koenigconstructionservices.com)

STRUCTURAL ENGINEER

**COLORADO STRUCTURAL, INC.**  
**MIKE ARBANEY**  
P.O. BOX 2544  
315 BELLVIEW, UNIT F  
CRESTED BUTTE, CO 81224  
P. 970. 349.5922  
F. 970. 349.5926

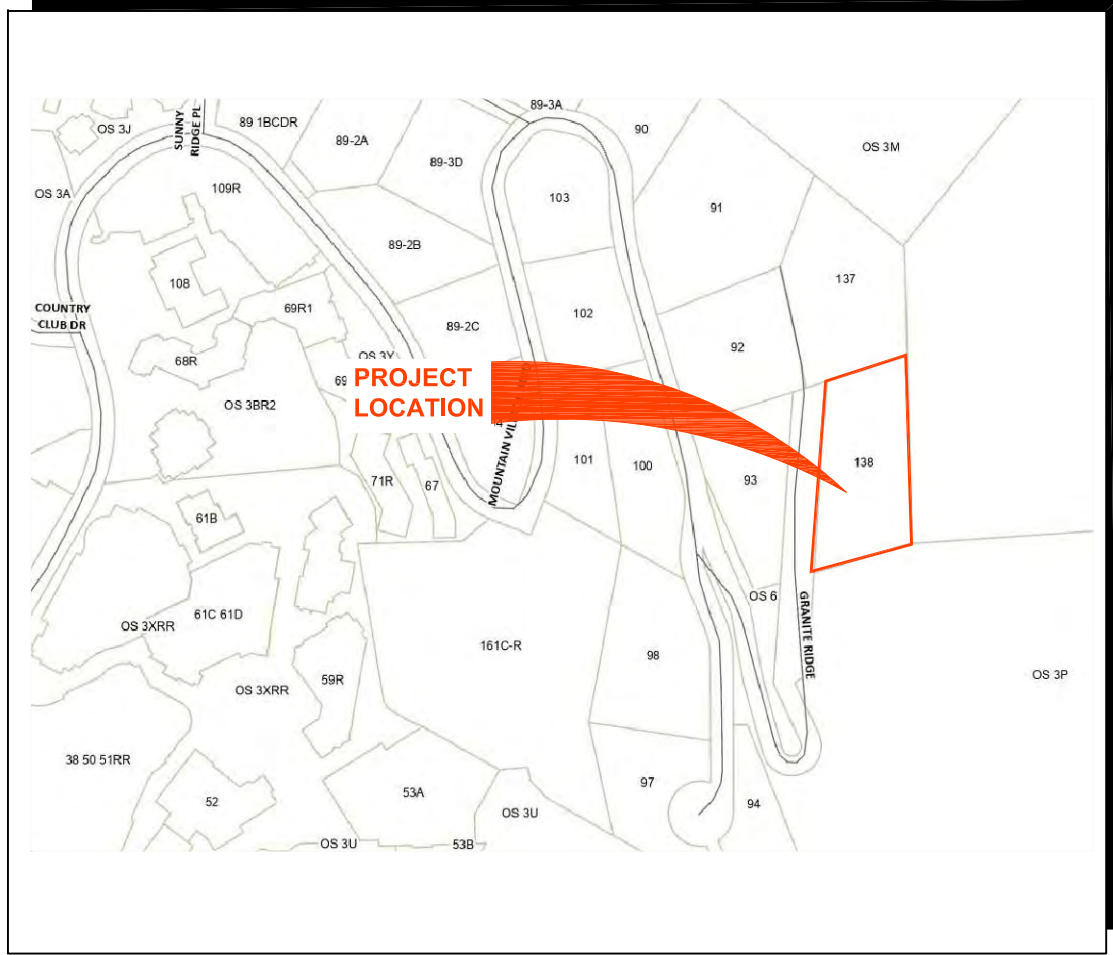
SURVEYOR

**FOLEY ASSOCIATES**  
**JEFF HASKELL**  
PO BOX 1385  
TELLURIDE . COLORADO . 81435  
P. 970.728.6153  
[jhaskell@foleyassoc.com](mailto:jhaskell@foleyassoc.com)

CIVIL ENGINEER

**UNCOMPAGHRE ENGINEERING, LLC**  
**DAVID BALLODE**  
P.O. BOX 3945  
TELLURIDE . COLORADO . 81435  
P. 970.729.0683  
[dballode@msn.com](mailto:dballode@msn.com)

VICINITY MAP



SHEET INDEX

A0	COVER   PROJECT INFORMATION
TOPOGRAPHIC SURVEY REPLAT AMENDMENT	
C1	CIVIL SERIES
C1	CIVIL NOTES
C2.1	SITE GRADING W/O TREES
C2.2	SITE GRADING W/ TREES
C3	UTILITIES
C4	CONSTRUCTION MITIGATION
A1	SITE SERIES
A1.0	GEOLOGICAL SITE CONDITIONS
A1.1	OVERALL SITE   ROOF PLAN
A1.1B	LANDSCAPE   FIRE MITIGATION
A1.2	SITE DETAILS
	BUILDING HEIGHT DIAGRAM
A2	PLAN SERIES
A2.1	FLOOR PLANS
A2.2	FLOOR PLANS
A3	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS   MATERIALS
A3.5	PERSPECTIVES
A3.6	PERSPECTIVES
A3.7	PERSPECTIVES
A3.8	PERSPECTIVES
L2	EXTERIOR LIGHTING
L2.1	EXTERIOR LIGHTING SPEC   PLANS
L2.2	EXTERIOR LIGHTING PLANS

LUC - SITE COVERAGE

LOT AREA - 0.88 AC | 38,332.8 SQ. FT.  
ALLOWABLE PER LUC - 40% = 15,333.12 SQ. FT.

PROPOSED SITE COVERAGE - 11,366.15 SQ. FT. (29.6%)  
COMPLIANT BY - 3,966.97 SF (10.4%)

LUC - INFO

LOT #: 138 GRANITE RIDGE  
IMPROVEMENT TYPE: NEW CONSTRUCTION  
TYPE OF UNIT: SINGLE FAMILY  
SETBACKS: SEE A1.1  
BUILDING HIGH POINT: 40.0'  
BUILDING AVERAGE: 22.1'  
GROSS FLOOR AREA: 9454.0 SF  
DECKS | PATIOS: 2461.15 SF

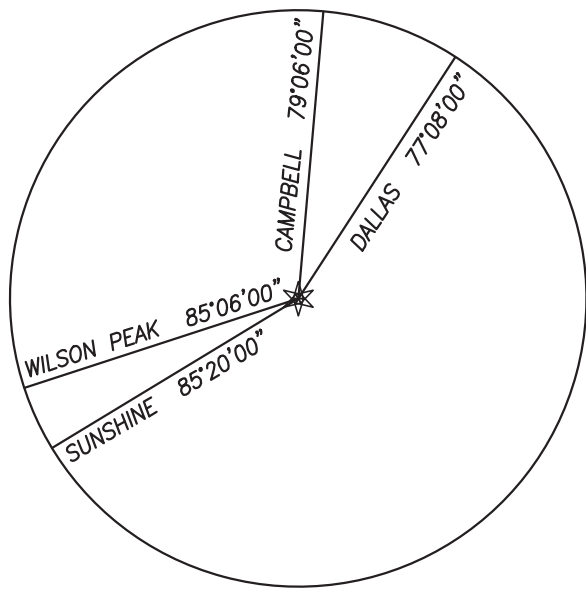
LUC - EXTERIOR MATERIALS

MEASURED IN SQ. FT.	TOTAL	PERCENTAGE
METAL SIDING	2853	25.3%
STONE VENEER	4142	36.8%
WOOD SIDING	1650	14.7%
FENESTRATION	2614	23.2%
TOTAL VERTICAL SURFACE	11259	100.0%



### VIEW ANGLES

AS OBSERVED FROM THE  
NW CORNER OF LOT 138.  
ANGLES ENUMERATED ARE  
ZENITH ANGLES.



FIRE HYDRANT

VIEW ANGLES  
TAKEN FROM HERE

LOT 137

(O'DEA TELLURIDE, LLC)

N 74°07'34" E 128.23' (M) N 74°00'00" E 127.98' (R)

LOT 138

0.88 ACRES (M)

0.88 ACRES (R)

"NO EXISTING STRUCTURES"  
"NO POSTED ADDRESS"

SCALE: 1"=20'

0 5 10 15 20 40

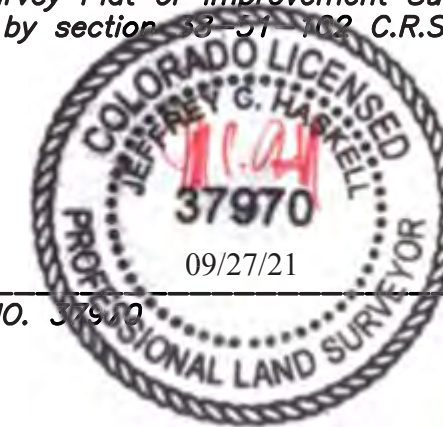
TRACT OS-3N  
(TSG SKI & GOLF, LLC)

### LEGEND

- SPOT ELEVATION (TYP.)
- FOUND 1-1/2" ALUMINUM CAP  
ON 5/8" REBAR, L.S. 20632
- (M) MEASURED DIMENSIONS  
ACCORDING TO THIS SURVEY
- (R) RECORD DIMENSIONS ACCORDING  
TO PLAT BOOK 1 AT PAGE 476

### SURVEYOR'S STATEMENT:

This Existing Conditions Plan of Lot 138, Town of Mountain Village, was prepared on May 20, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-57, 102 C.R.S.



P.L.S. NO. 37970

Date

### PROPERTY DESCRIPTION:

LOT 138, TELLURIDE MOUNTAIN VILLAGE, FILING 1,  
ACCORDING TO THE PLAT RECORDED MARCH 9, 1984 IN  
PLAT BOOK 1 AT PAGE 476,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

### NOTES:

- Easement research and property description from Land Title Guarantee Company, Order Number TLR66010763, dated October 28, 2020 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 08113C0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- BASIS OF BEARINGS: Found monuments along the western boundary of Lot 138, as shown hereon, assumed to have the record bearing of N 05°16'57" E according to Plat Book 1 at page 476.
- Benchmark: Control Point "CP 503", as shown hereon, with an elevation of 9755.41'.
- Contour interval is two feet.
- All slopes are 30% or greater on Lot 138 as shown hereon.
- There are no known underground utilities located on lot 138. Utility locates should be performed by respective providers before any construction.
- There are no known wetlands located on Lot 138. It is recommended that the owner confirm with the Town of Mountain Village.
- NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

## Existing Conditions Plan

Lot 138, Town of Mountain Village,

located within the SE 1/4 of Section 34, T.43N, R.9W, and the NE 1/4 of Section 3, T.42N, R.9W, N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr: JH

Technician: FO

Technician:

Checked by:

Start date: 05 / 2021



Drawing path: dwg\94055 EC Plan 10-20.dwg

970-728-6153 970-728-6050 fax

PO Box 1385

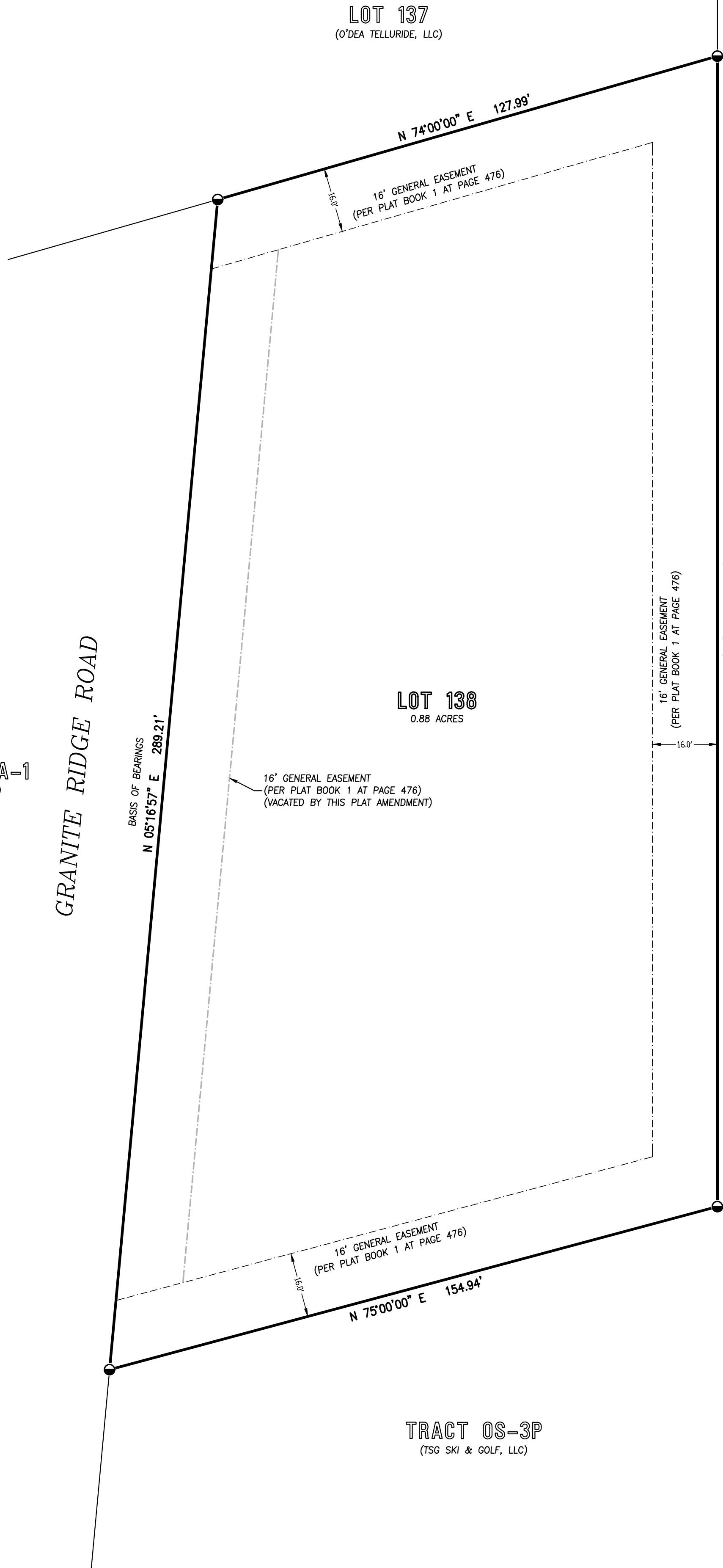
125 W. Pacific Ave., Suite B-1

Telluride, Colorado, 81435

Sheet1 of 1

Project #: 94055



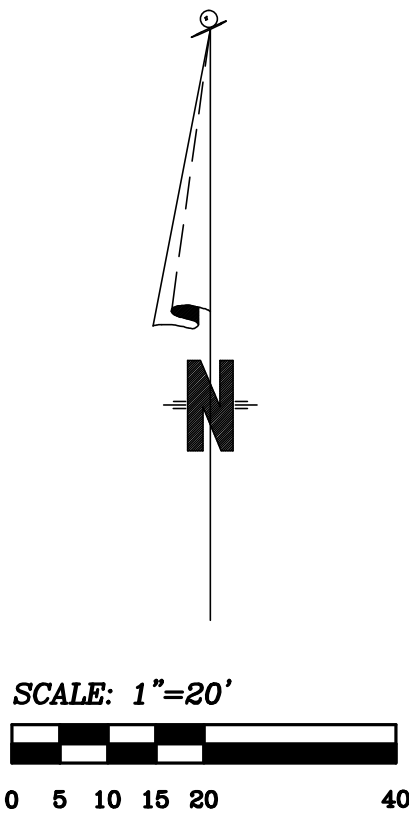


TRACT OS-3N  
(TSG SKI & GOLF, LLC)

LOT 138  
0.88 ACRES

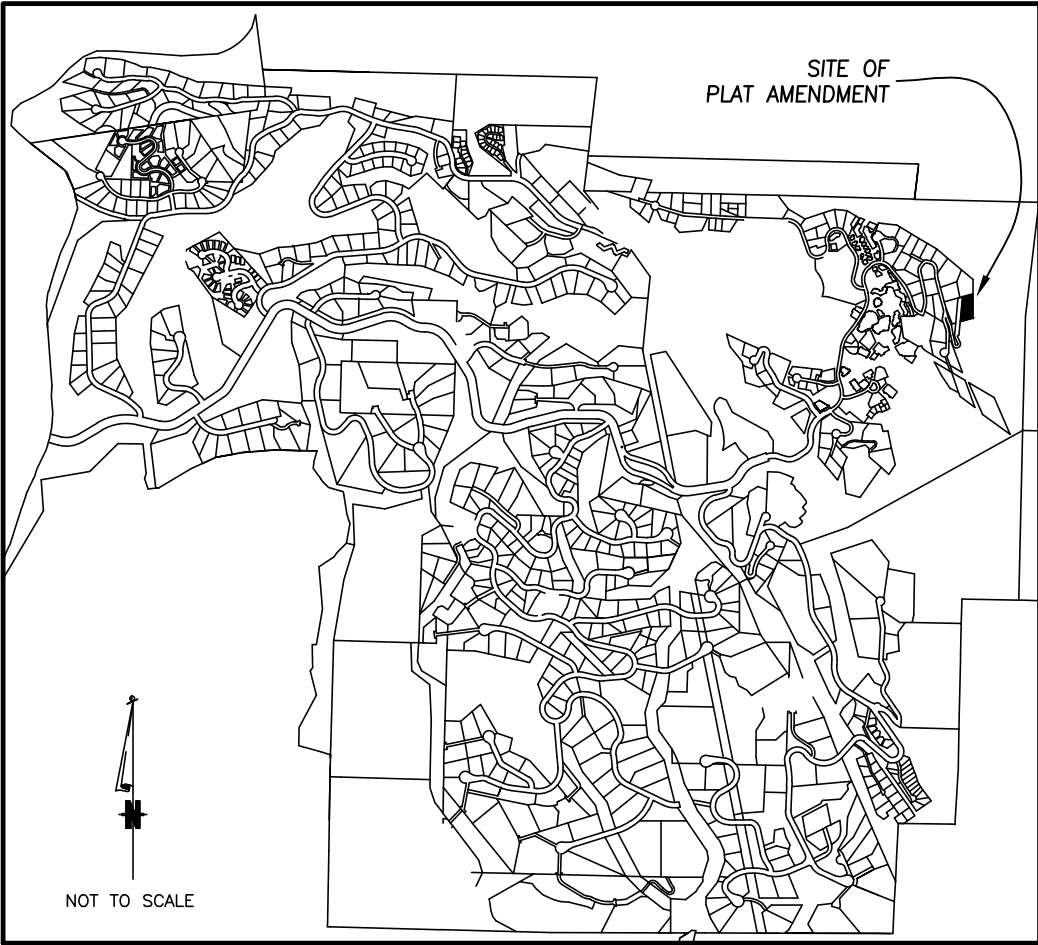
TRACT A-1  
(50' R.O.W.)

TRACT OS-3P  
(TSG SKI & GOLF, LLC)



**LEGEND**

FOUND 1-1/2" ALUMINUM CAP  
ON 5/8" REBAR, L.S. 20632



TOWN OF MOUNTAIN VILLAGE  
VICINITY MAP

CERTIFICATE OF OWNERSHIP:

KNOW ALL PERSONS BY THESE PRESENTS that VIKRANT BHATIA AND YASMIN BHATIA, being the owners in fee simple of Lot 138, Town of Mountain Village, according to the plat recorded March 09, 1984 in Plat Book 1 at page 476, County of San Miguel, State of Colorado, hereby makes an Amendment to the Final Plat of said real property in accordance with the Insubstantial Plat Amendment shown hereon.

OWNERS:

By: \_\_\_\_\_  
Vikrant Bhatia

By: \_\_\_\_\_  
Yasmin Bhatia

ACKNOWLEDGMENT:

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ )ss

The foregoing signature was acknowledged before me this  
of \_\_\_\_\_ day \_\_\_\_\_, 2021 A.D. by Vikrant Bhatia.

My commission expires \_\_\_\_\_  
Witness my hand and seal.

Notary Public

ACKNOWLEDGMENT:

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ )ss

The foregoing signature was acknowledged before me this  
of \_\_\_\_\_ day \_\_\_\_\_, 2021 A.D. by Yasmin Bhatia.

My commission expires \_\_\_\_\_  
Witness my hand and seal.

Notary Public

TOWN OF MOUNTAIN VILLAGE APPROVAL:

I, \_\_\_\_\_, as mayor of the Town of Mountain Village, Colorado, do hereby certify that this Plat Amendment has been approved by the Town Council in the same resolution that has authorized and directed us to execute this document.

By: \_\_\_\_\_  
Mayor, Town of Mountain Village, Colorado

ACKNOWLEDGMENT:

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ )ss

The foregoing signature was acknowledged before me this  
day of \_\_\_\_\_, 2021 A.D. by  
Village, Colorado.

My commission expires \_\_\_\_\_  
Witness my hand and seal.

Notary Public

16' GENERAL EASEMENT VACATION:

The undersigned being the beneficiaries of record of those portions of land labeled as 16 foot General Easement (G.E.) has established on the property as shown hereon by the Plat of record filed in the Office of the Clerk and Recorder of San Miguel County do hereby vacate and relinquish that portion of said easement as shown vacated on this plat.

Town of Mountain Village

By: \_\_\_\_\_  
Mayor, \_\_\_\_\_ Date

By: \_\_\_\_\_  
Town Manager, \_\_\_\_\_ Date

TOWN OF MOUNTAIN VILLAGE APPROVAL:

I, Michelle Haynes, as Planning and Development Services Director of the Town of Mountain Village do hereby certify that this Plat Amendment has been approved by the Town of Mountain Village Planning and Development Services pursuant to the Community Development Code as a staff subdivision.

Michelle Haynes, \_\_\_\_\_ Date  
Planning and Development Services Director

SURVEYOR'S CERTIFICATE:

I, Jeffrey C. Haskell of Foley Associates, Inc., a Professional Land Surveyor licensed under the laws of the State of Colorado, do hereby certify that LOT 138, TOWN OF MOUNTAIN VILLAGE, AN INSUBSTANTIAL PLAT AMENDMENT, shown hereon has been prepared under my direct responsibility, supervision and checking. This survey complies with applicable provisions of Title 38, Article 51, C.R.S. to the best of my knowledge and belief.

IN WITNESS WHEREOF, I here unto affix my hand and official seal this \_\_\_\_ day of \_\_\_\_\_, A.D. 2021.

P.L.S. 37970 \_\_\_\_\_ Date

NOTES:

- Approval of this plan may create a vested property right pursuant to Article 68 of Title 24, C.R.S., as amended.
- Easement research and property description from Land Title Guarantee Company, Order Number TLR86010763, dated October 28, 2020 at 5:00 P.M.
- BASIS OF BEARINGS: Found monuments along the western boundary of Lot 138, as shown hereon, assumed to have the record bearing of N 05°16'57" E according to Plat Book 1 at page 476.
- The purpose of this Insubstantial Plat Amendment is to vacate the western 16' General Easement as shown hereon.
- Notice is hereby given that the area included in the Plat Amendment described herein is subject to the regulations of the Land Use Ordinance, of the Town of Mountain Village, March, 2005 as amended.
- NOTES OF CLARIFICATION:
  - The Configuration of the following lots, tracts, and right-of-way have been modified by this Plat Amendment:  
Lot 138
  - The following lots have been created by this Plat Amendment:  
None
  - The following lots have been deleted by this Plat Amendment:  
None
- LINEAL UNITS: Distances shown hereon are measured in U.S. Survey Feet.
- NOTICE: According to Colorado law you, must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

TREASURER'S CERTIFICATE:

I, the undersigned, Treasurer of the County of San Miguel, do hereby certify that according to the records of the San Miguel County Treasurer there are no liens against the subdivision or any part thereof for unpaid state, county, municipal or local taxes or special assessments due and payable, in accordance with Land Use Code Section 3-101.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
San Miguel County Treasurer

TITLE INSURANCE COMPANY CERTIFICATE:

Land Title Guarantee Company does hereby certify that we have examined the title to the lands herein shown on this Plat Amendment and that the title to this land is in the name of VIKRANT BHATIA AND YASMIN BHATIA, and is free of all encumbrances, liens, taxes, and special assessments except as follows:

\_\_\_\_\_  
Title Insurance Company Representative

RECORDER'S CERTIFICATE:

This Plat Amendment was filed for record in the Office of the San Miguel County Clerk and Recorder on this \_\_\_\_\_ day of \_\_\_\_\_, 2021, at  
Plat Book \_\_\_\_\_,  
Page \_\_\_\_\_,  
Reception No. \_\_\_\_\_,  
Time \_\_\_\_\_.

\_\_\_\_\_  
San Miguel County Clerk

Lot 138, Town of Mountain Village,  
An Insubstantial Plat Amendment to Lot 138, Town of Mountain Village,  
located within the SE 1/4 of Section 34, T.43N., and the NE 1/4 of Section 3, T.42N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH	Rev.	description	date	by
Technician:	MC				
Checked by:					
Start date:	11/08/2021				



970-728-6153 970-728-6050 fax  
P.O. BOX 1385  
125 W. PACIFIC, SUITE B-1  
TELLURIDE, COLORADO 81435

Drawing path: dwg\94055 Insub Plat Amend 11-21.dwg Sheet 1 of 1 Project #: 94055



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

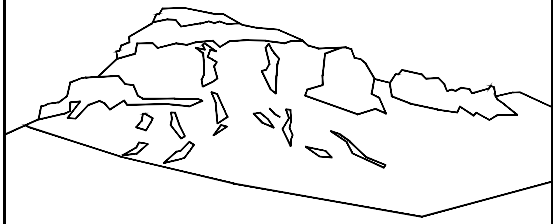
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL NEW UNDERGROUND PIPE SHALL BE BEDDED TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO A CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2021-10-18

Bhatia Residence  
Lot 138  
Granite Ridge Rd.  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1

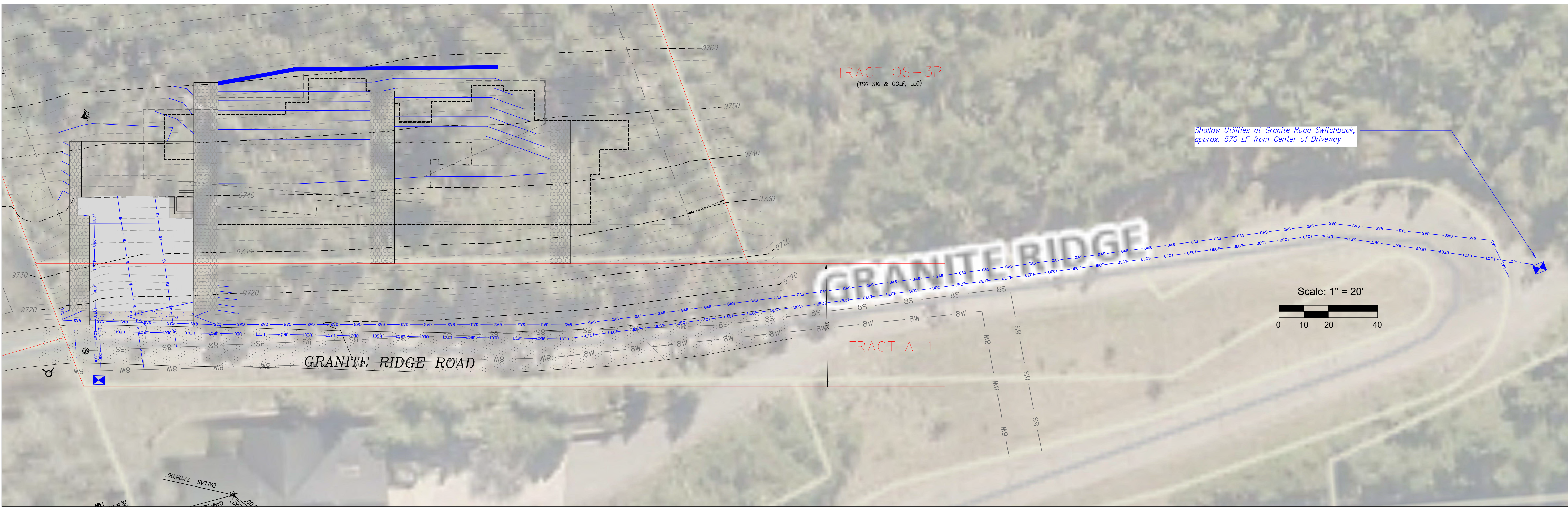




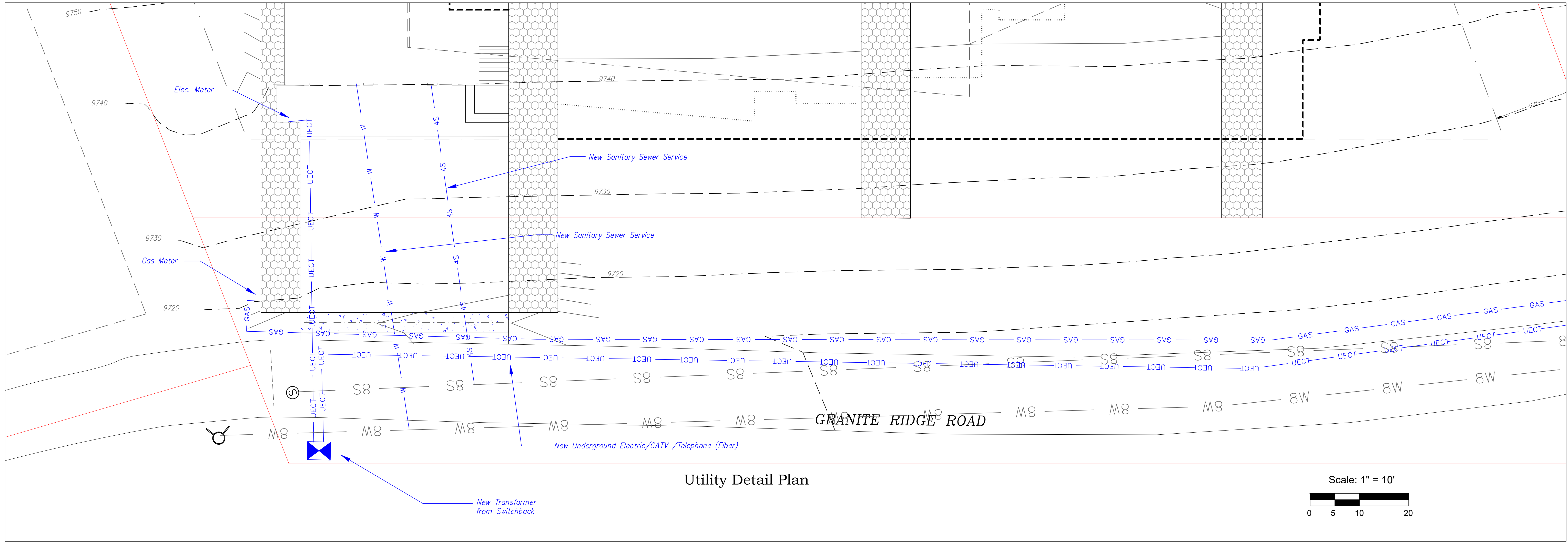




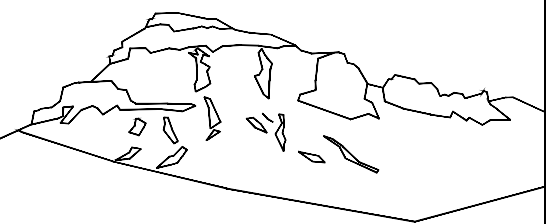




Utility Vicinity Plan



Utility Detail Plan

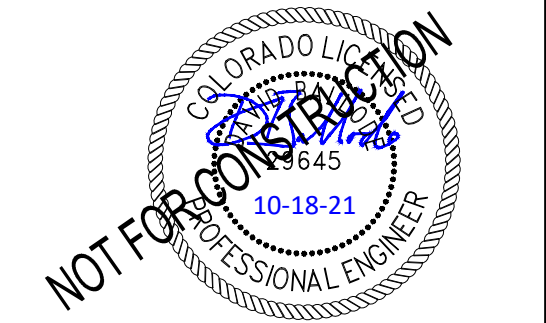


Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
DRB SUBMITTAL 2021-10-18

Bhatia Residence  
Lot 138  
Granite Ridge Rd.  
Mtn. Village, CO

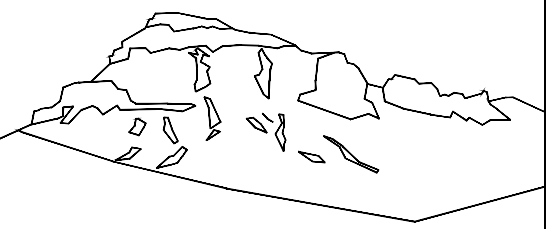
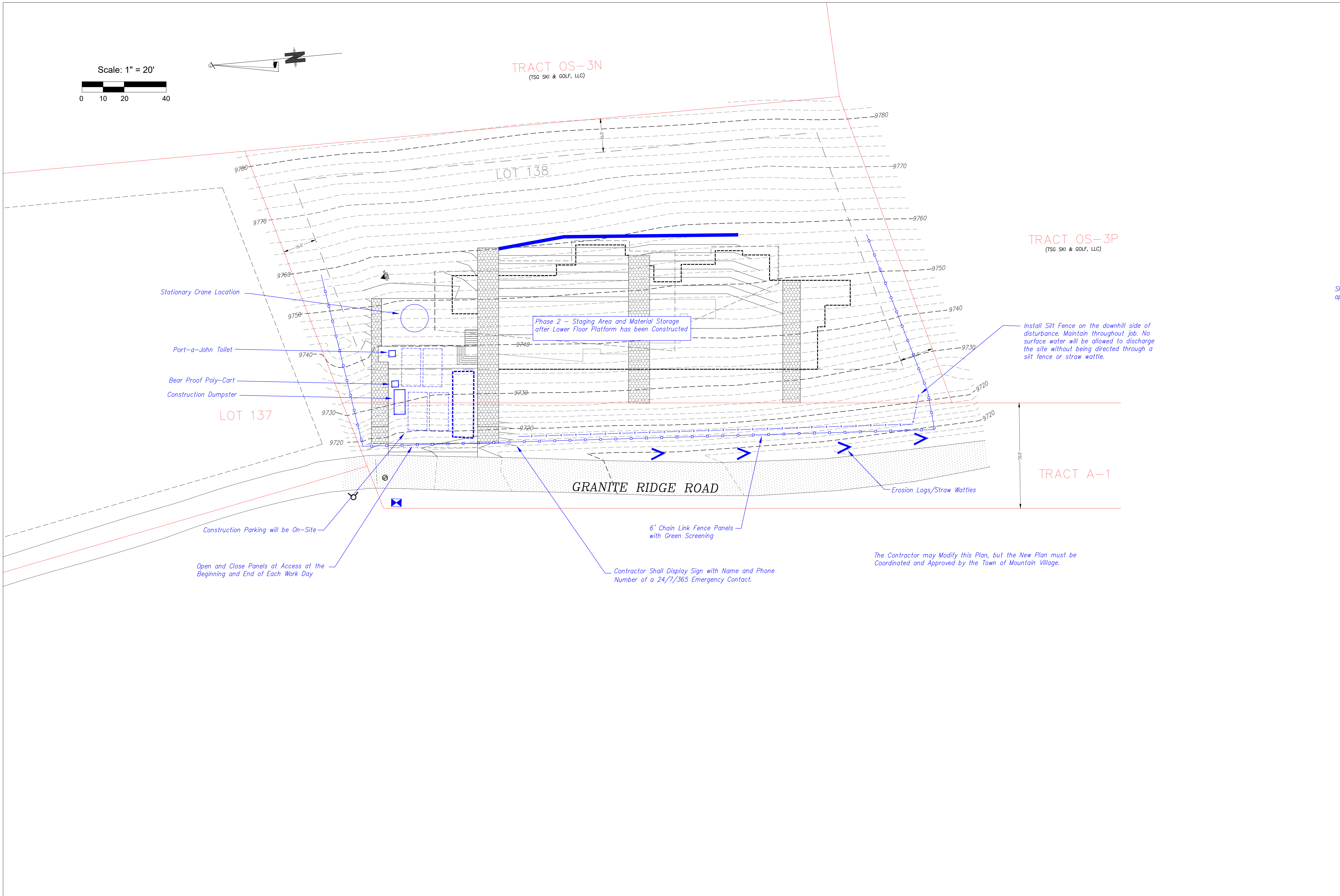


CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utility Plan

C3





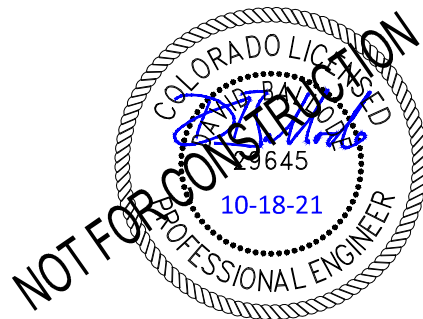
Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL	2021-10-18
Add'l CM Notes	2022-01-19

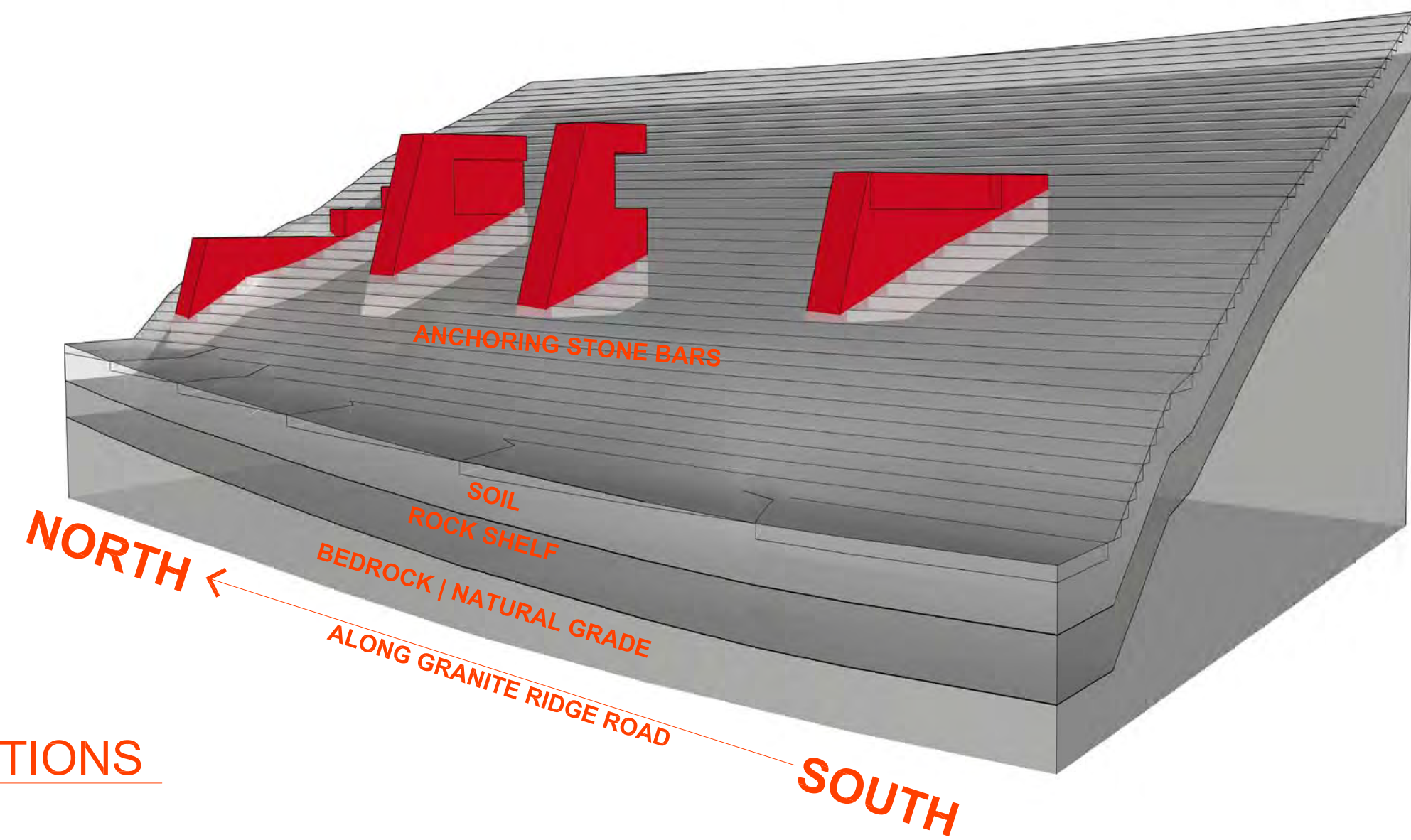
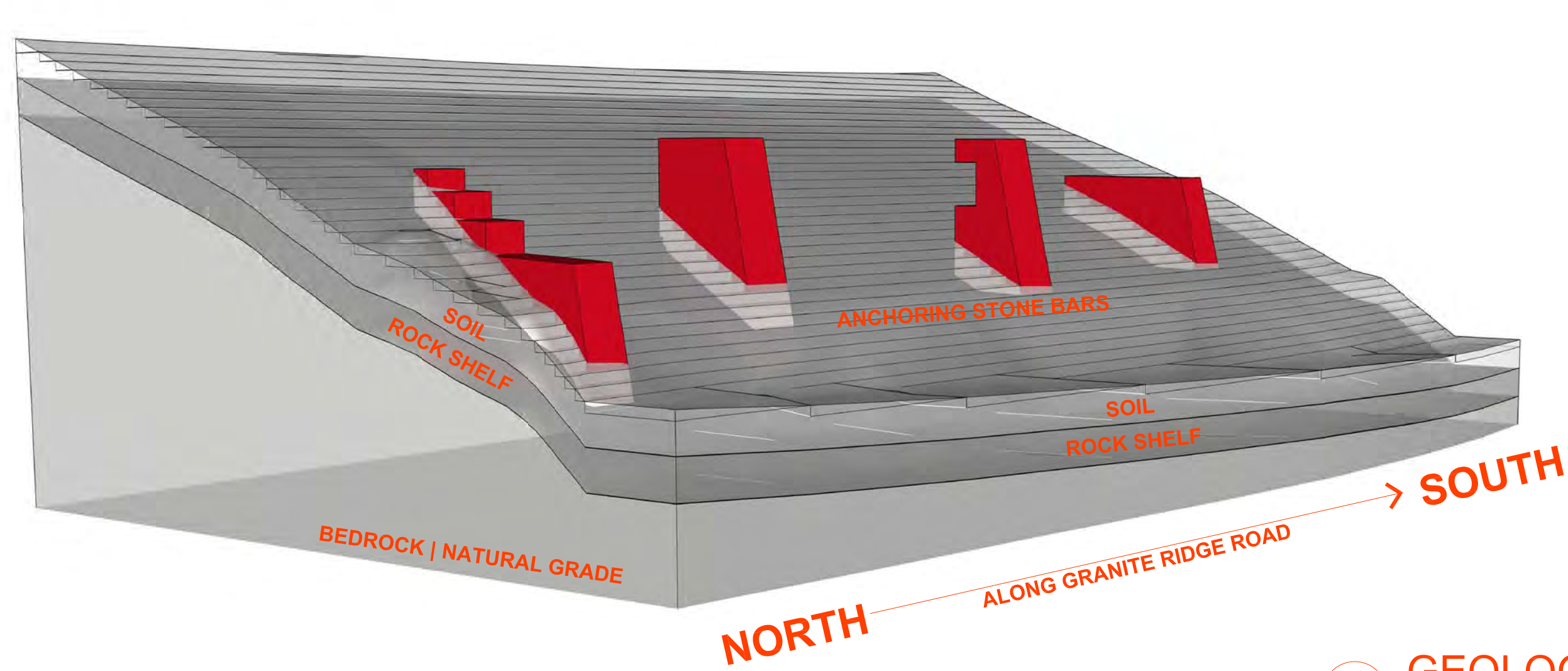
Bhatia Residence  
Lot 138  
Granite Ridge Rd.  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction  
Mitigation  
Plan





1 GEOLOGICAL SITE CONDITIONS  
SCALE: NTS

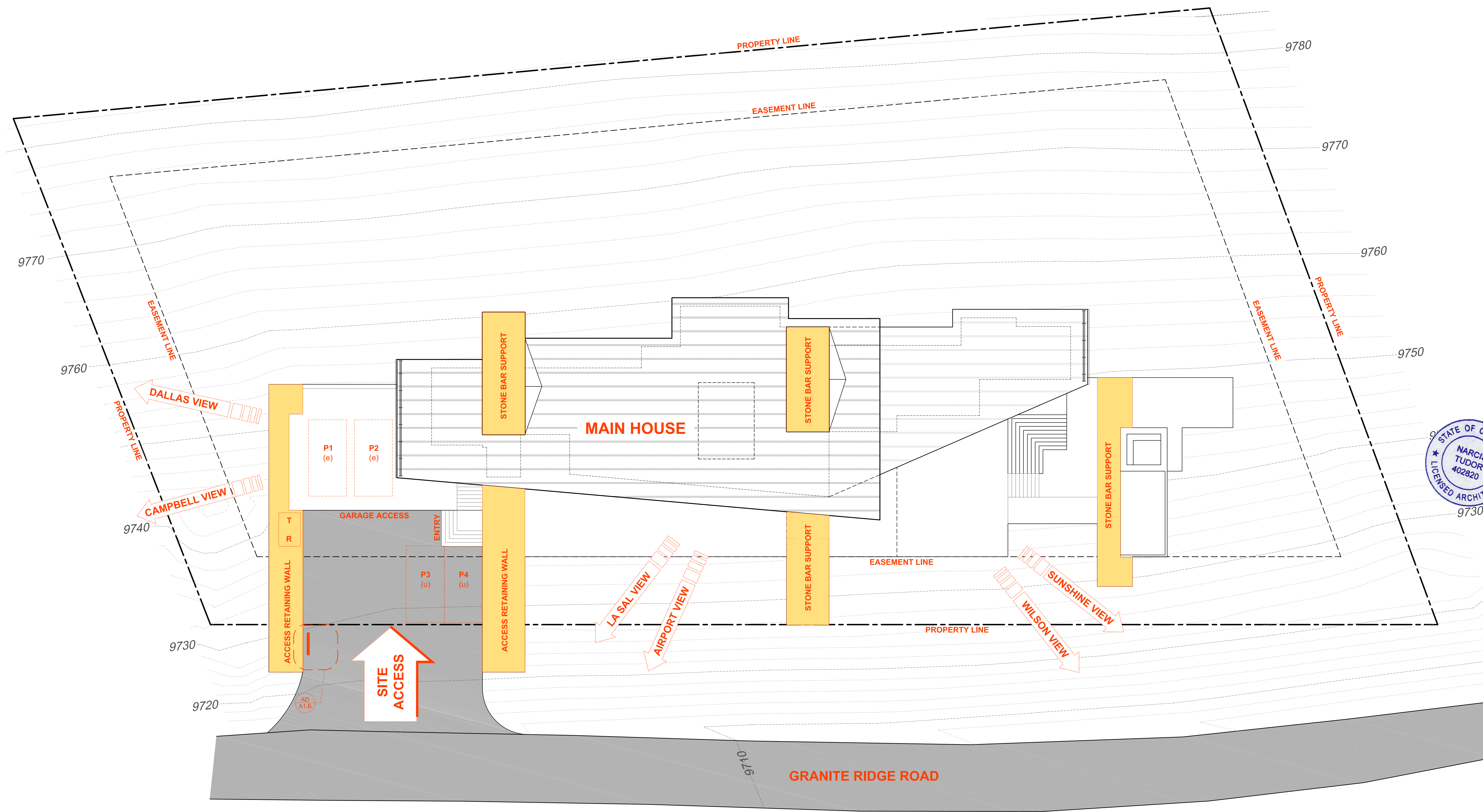
SITE PHOTOS



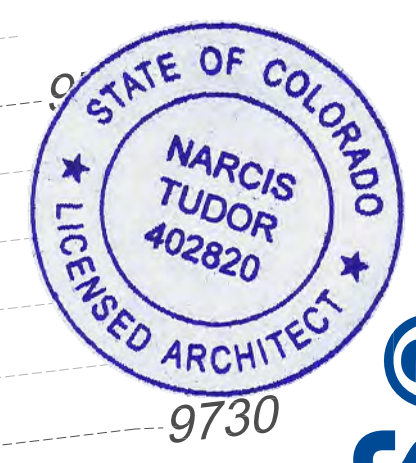
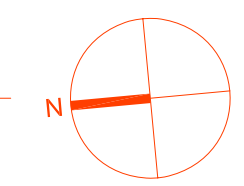
NORTH —————> SOUTH  
ALONG GRANITE RIDGE ROAD







1 OVERALL SITE PLAN  
SCALE: 3/32" = 1'-0"





LANDSCAPE KEY



- EXISTING TREES  
TO BE REMOVED - 94 TOTAL



- EXISTING EVERGREEN TREES  
TO REMAIN - 30 TOTAL



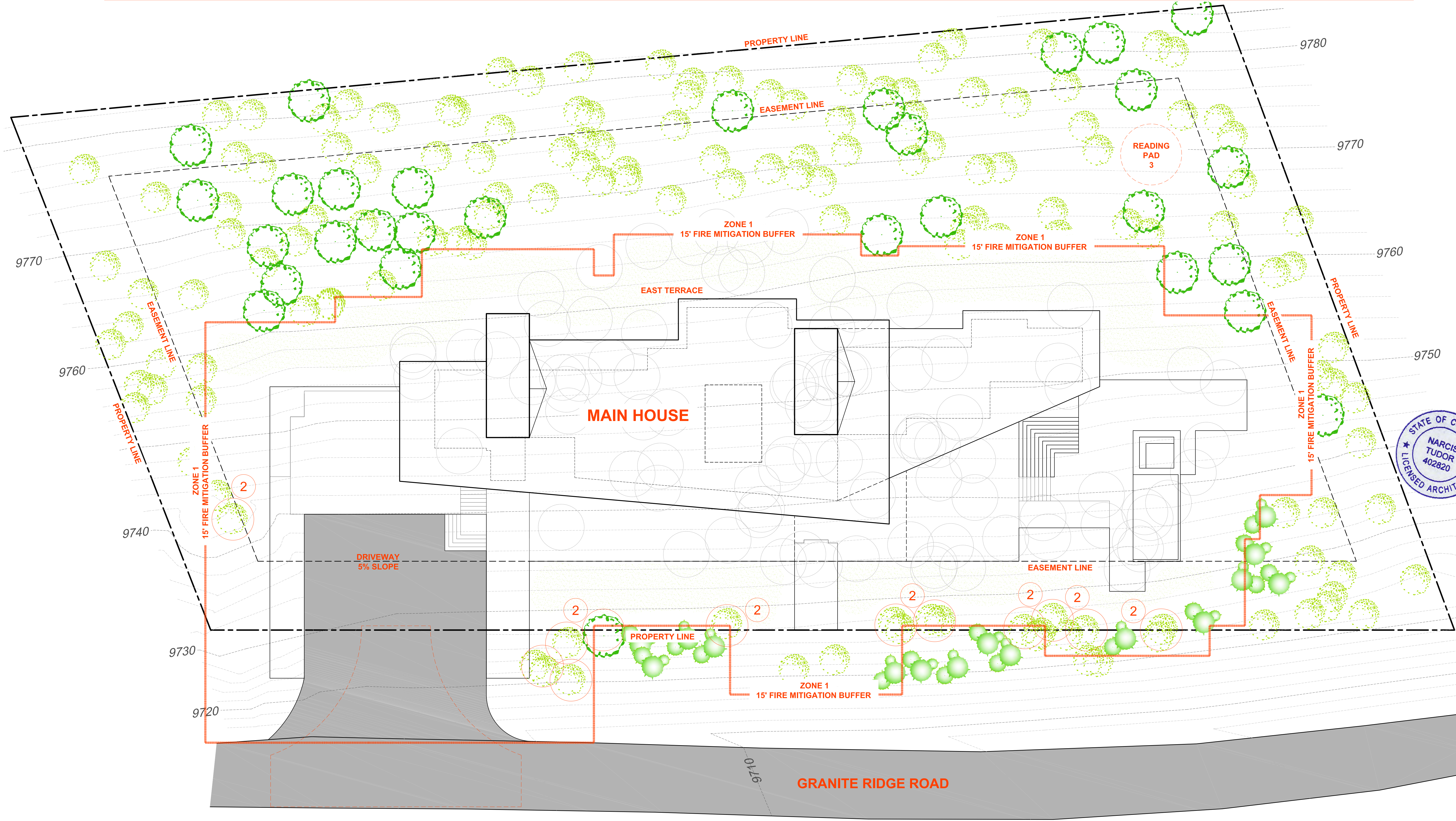
- EXISTING ASPEN TREES  
TO REMAIN - 146 TOTAL



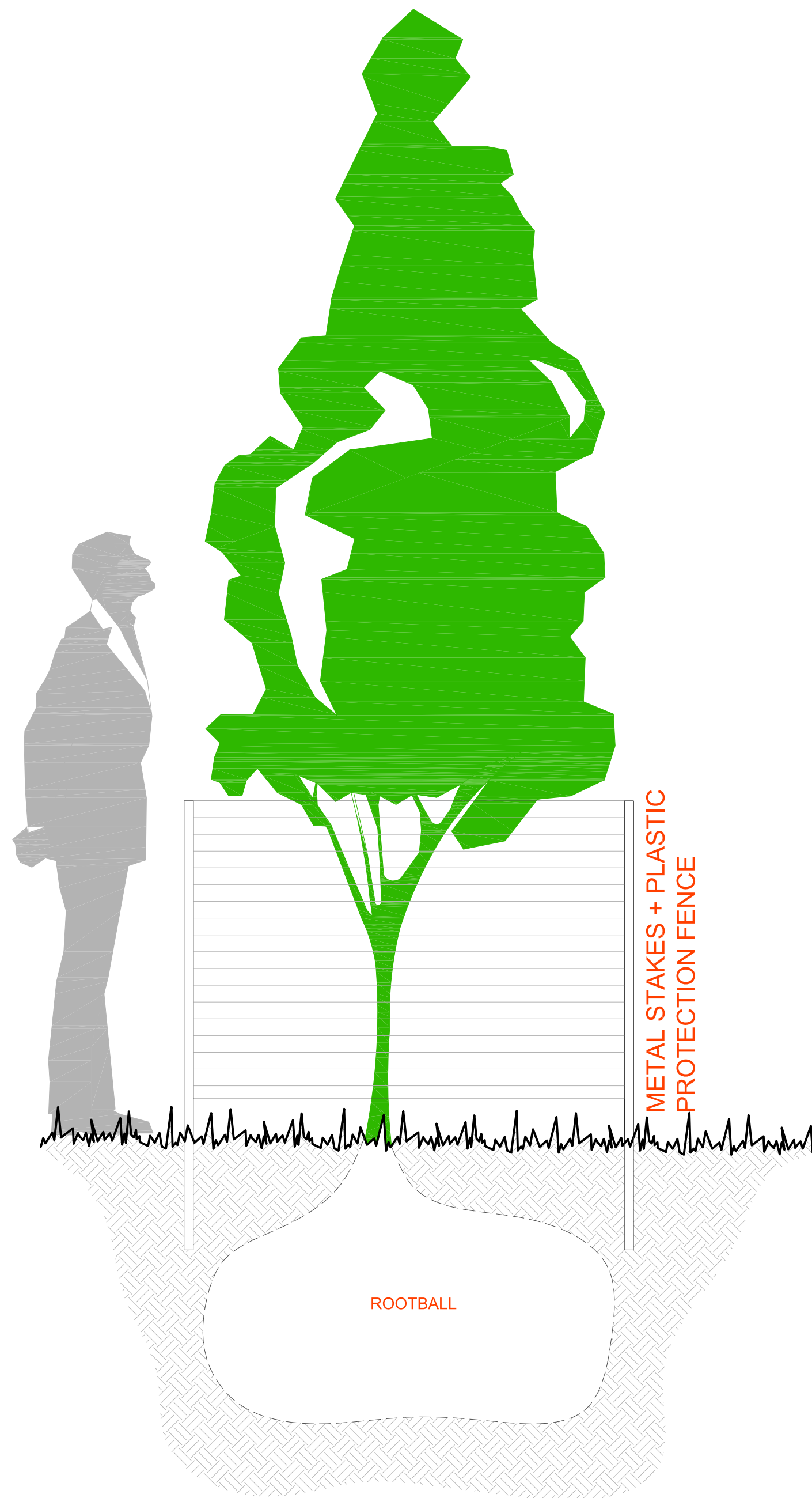
- NEW COMMON JUNIPER - 15 TOTAL



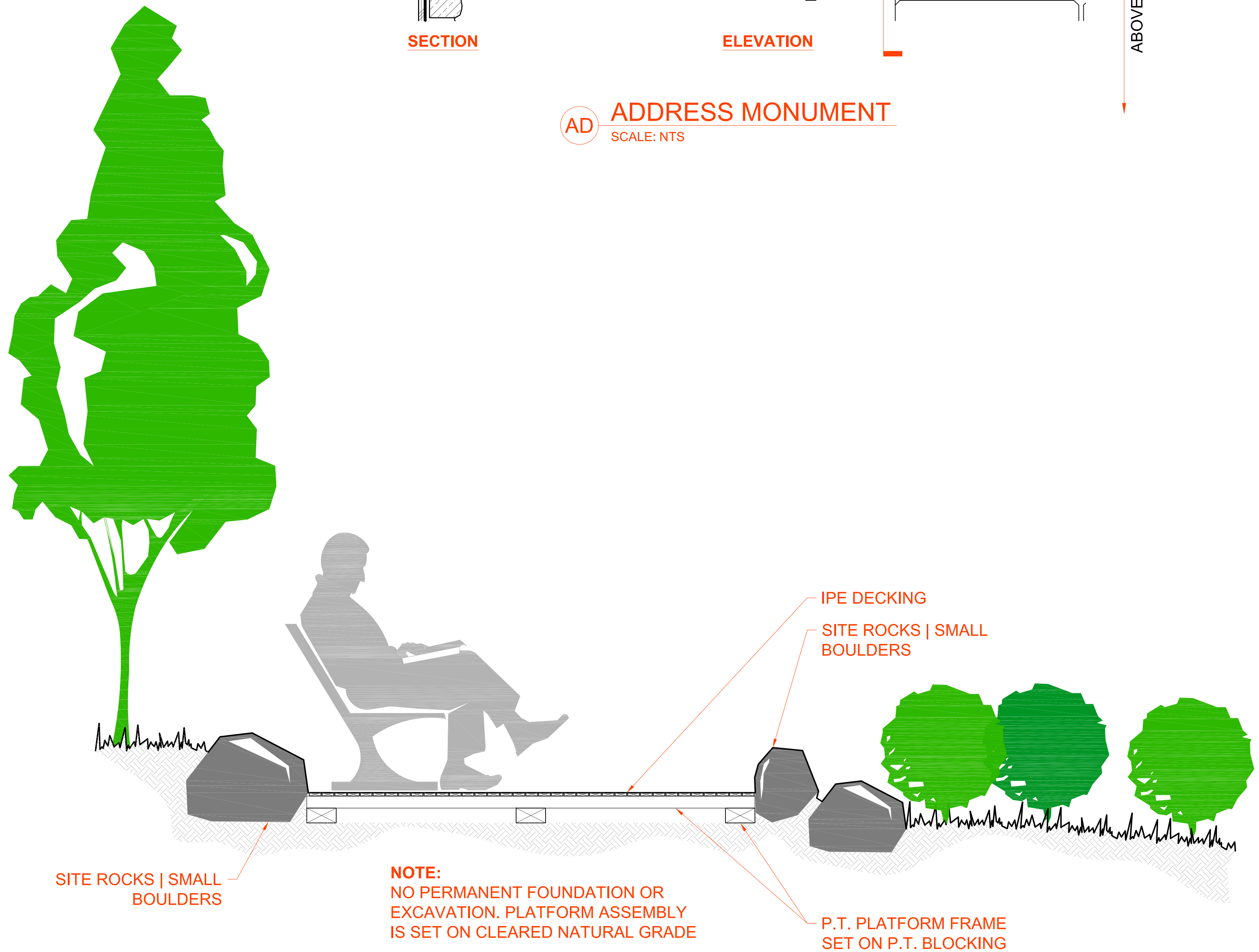
- NATIVE GRASSES | GENERAL REVEGETATION



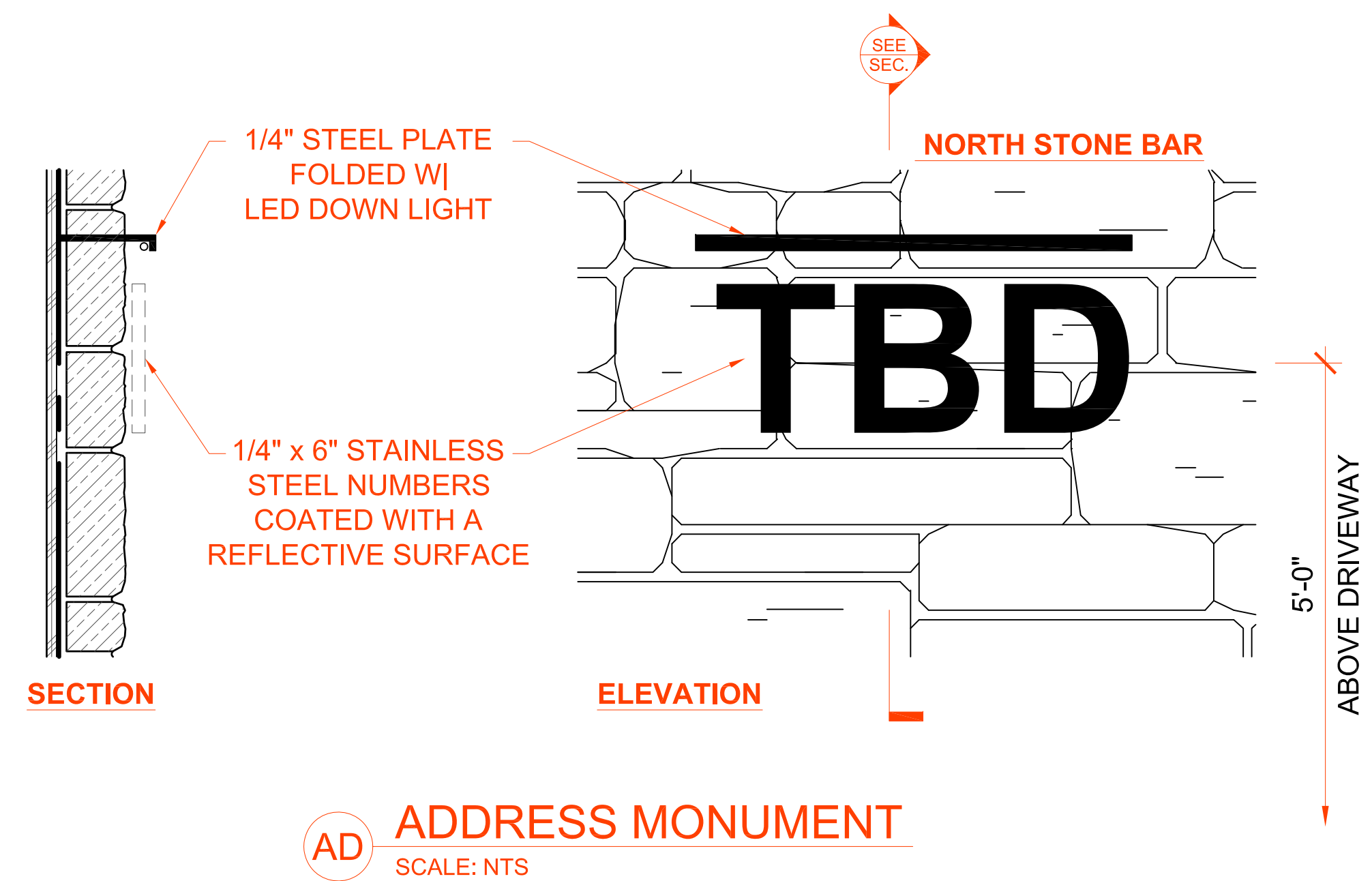




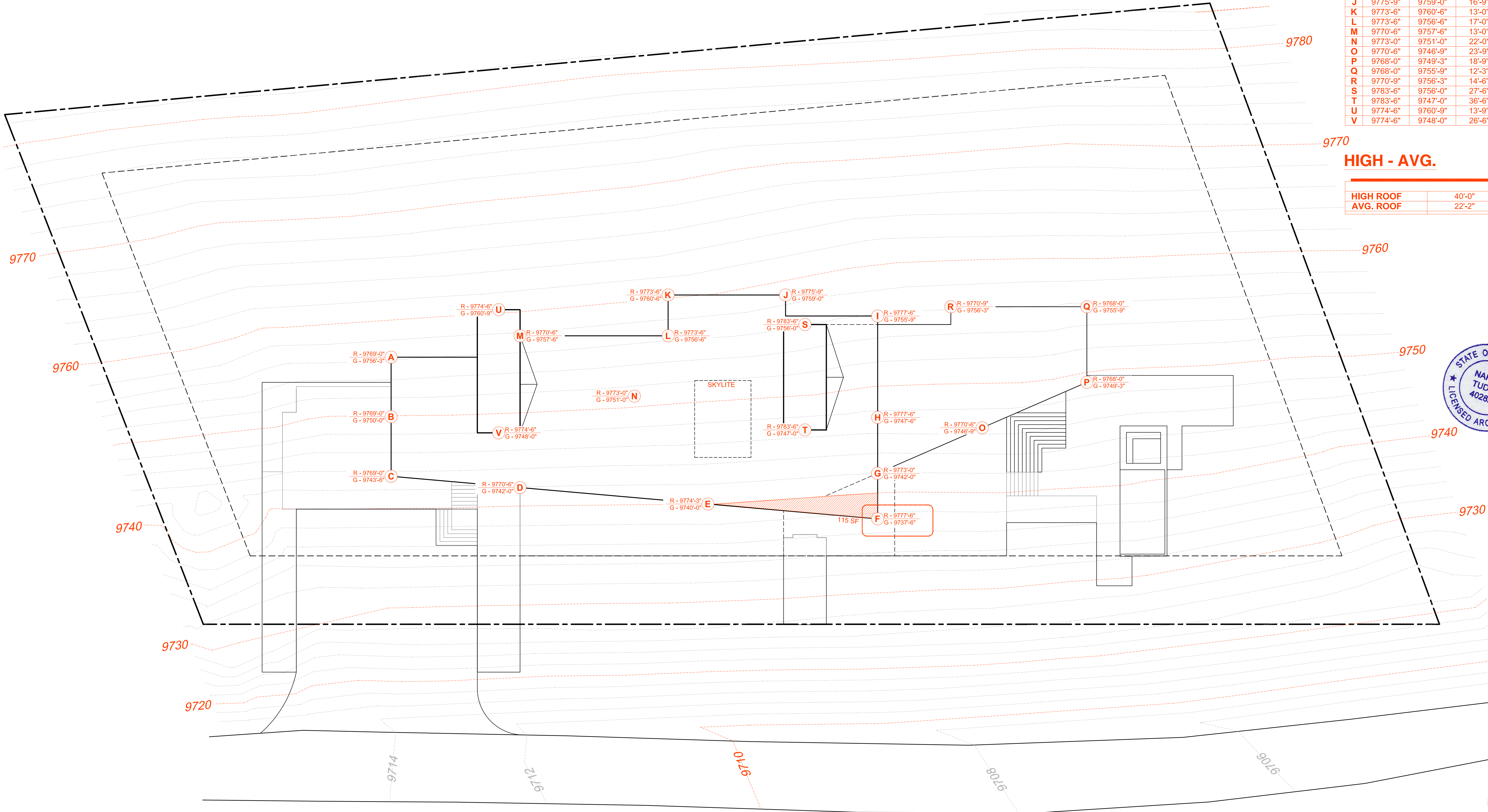
2 TREE PROTECTION DETAIL  
SCALE: NTS



3 READING PAD DETAIL  
SCALE: NTS





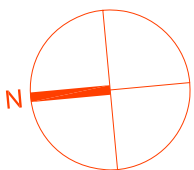


HEIGHT CALCS.

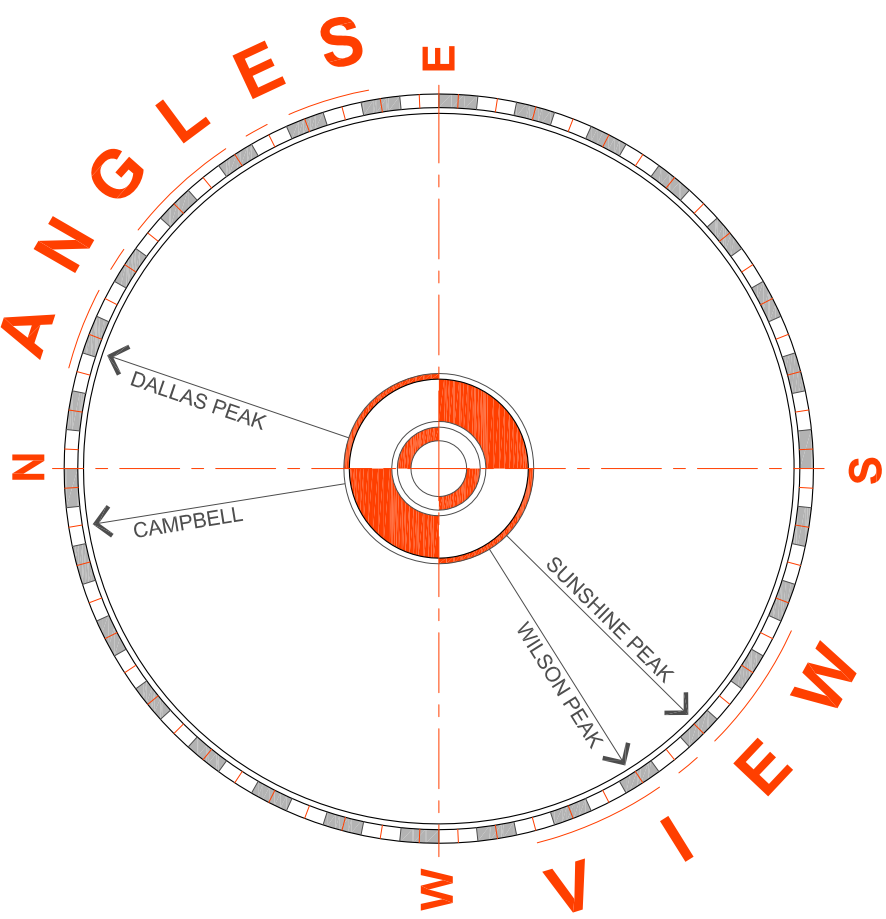
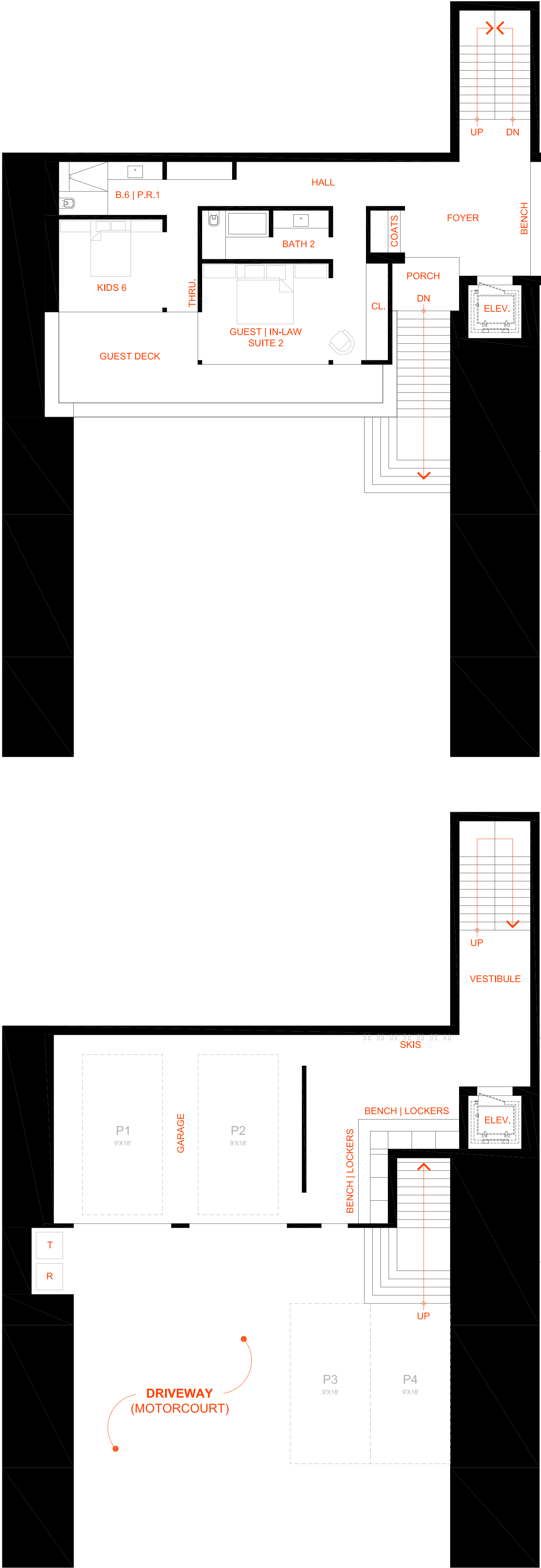
	ROOF	GRADE	HEIGHT
A	9769'-0"	9756'-3"	12'-9"
B	9769'-0"	9750'-0"	19'-0"
C	9769'-0"	9743'-6"	15'-6"
D	9770'-6"	9742'-0"	28'-6"
E	9774'-3"	9740'-0"	34'-3"
F	9777'-6"	9737'-6"	40'-0"
G	9773'-0"	9742'-0"	31'-0"
H	9777'-6"	9747'-6"	30'-0"
I	9777'-6"	9755'-9"	21'-9"
J	9775'-9"	9759'-0"	16'-9"
K	9773'-6"	9760'-6"	13'-0"
L	9773'-6"	9756'-6"	17'-0"
M	9770'-6"	9757'-6"	13'-0"
N	9773'-0"	9751'-0"	22'-0"
O	9770'-6"	9746'-9"	23'-9"
P	9768'-0"	9749'-3"	18'-9"
Q	9768'-0"	9755'-9"	12'-3"
R	9770'-9"	9756'-3"	14'-6"
S	9783'-6"	9756'-0"	27'-6"
T	9783'-6"	9747'-0"	36'-6"
U	9774'-6"	9760'-9"	13'-9"
V	9774'-6"	9748'-0"	26'-6"

HIGH - AVG.

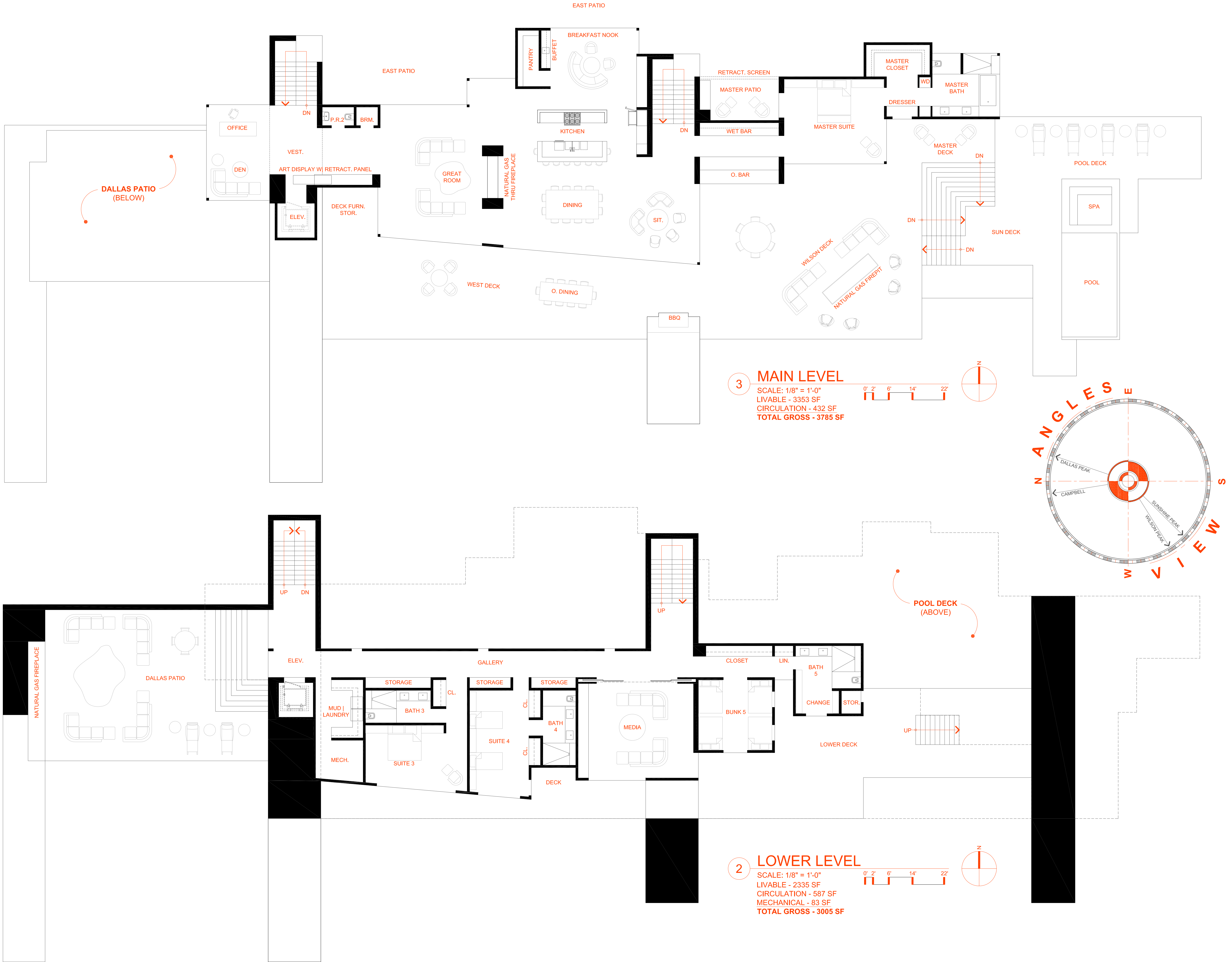
HIGH ROOF	40'-0"
AVG. ROOF	22'-2"



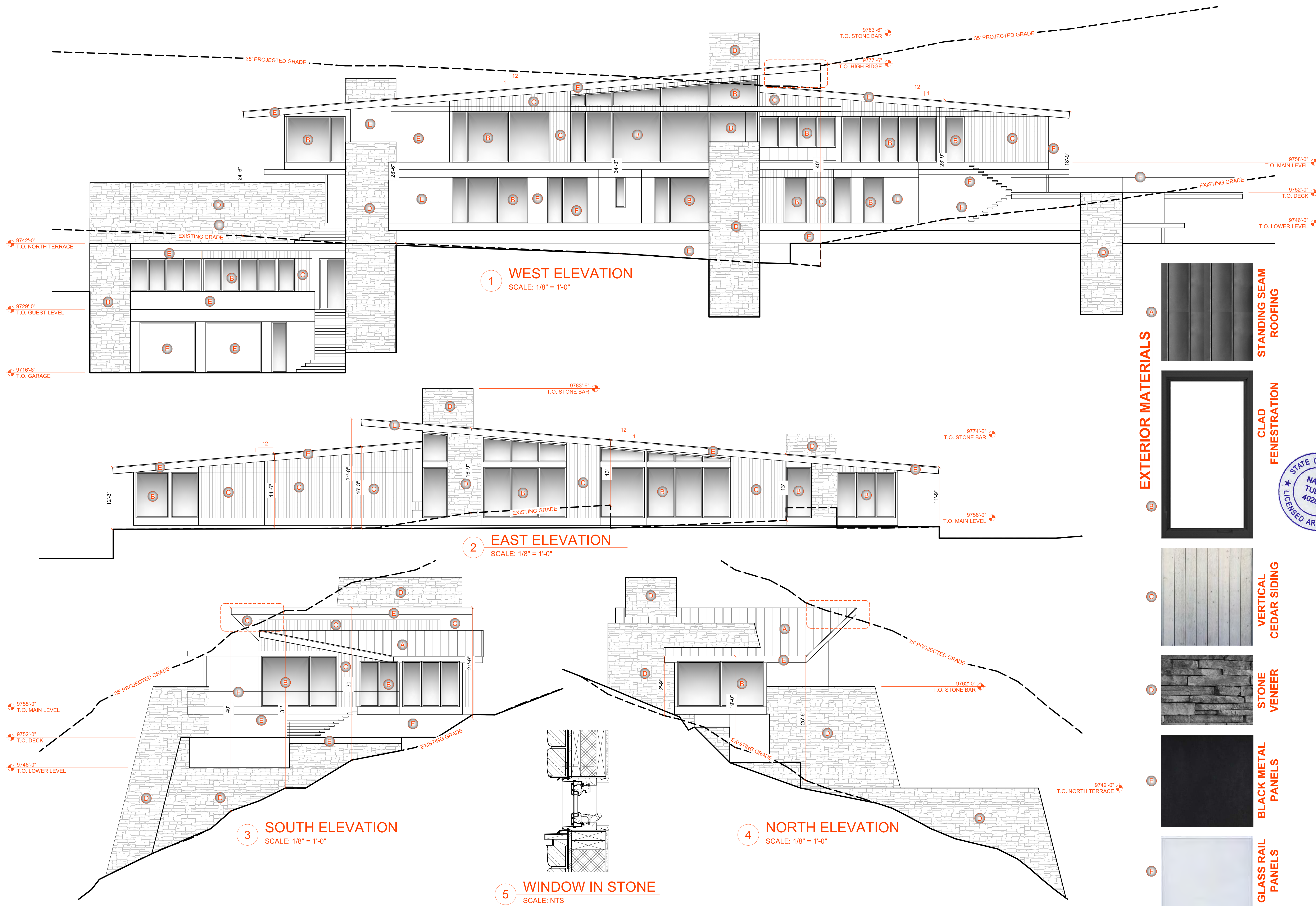












1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

4 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

5 WINDOW IN STONE  
SCALE: NTS

**EXTERIOR MATERIALS**

**STANDING SEAM ROOFING**

**CLAD FENESTRATION**

**VERTICAL CEDAR SIDING**

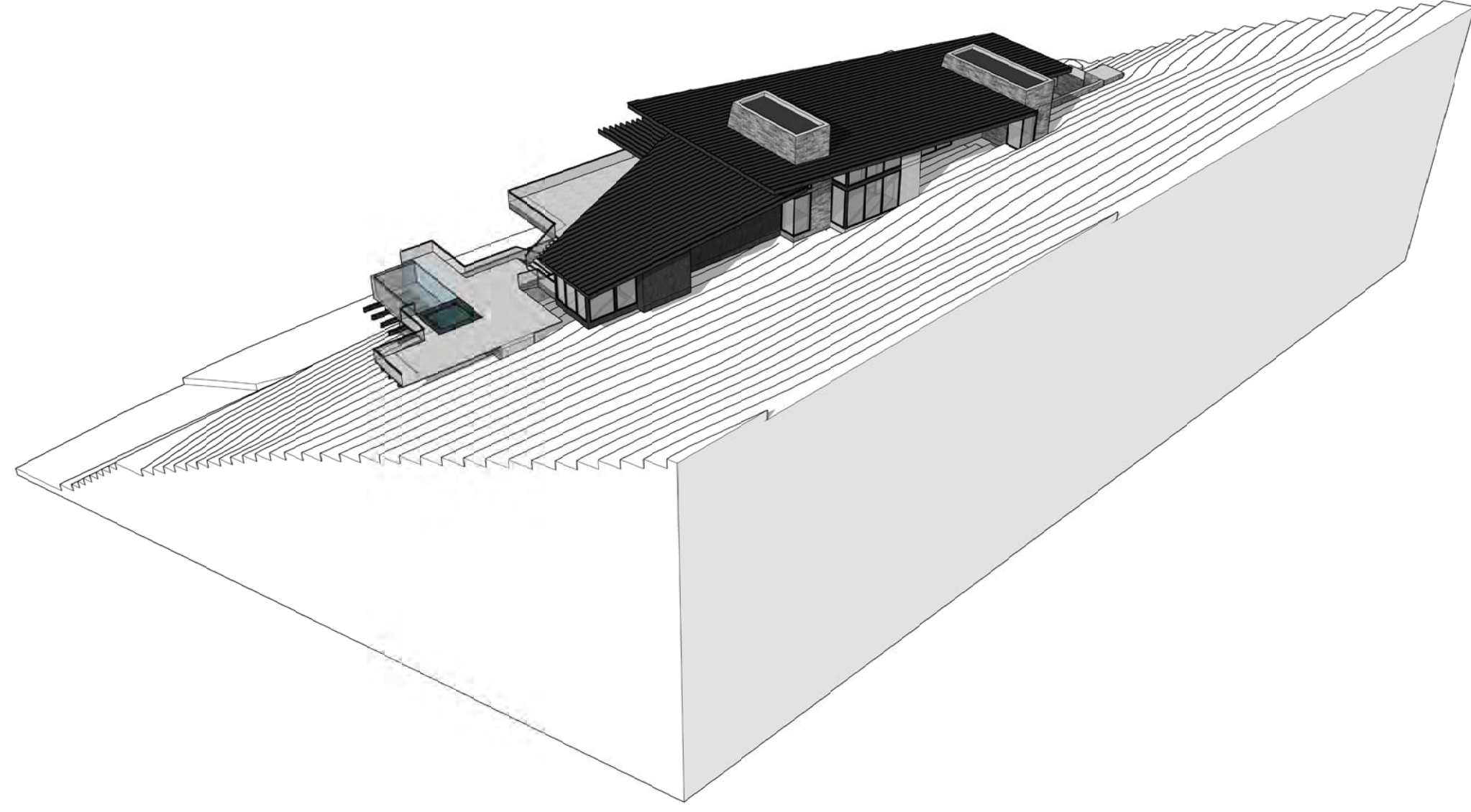
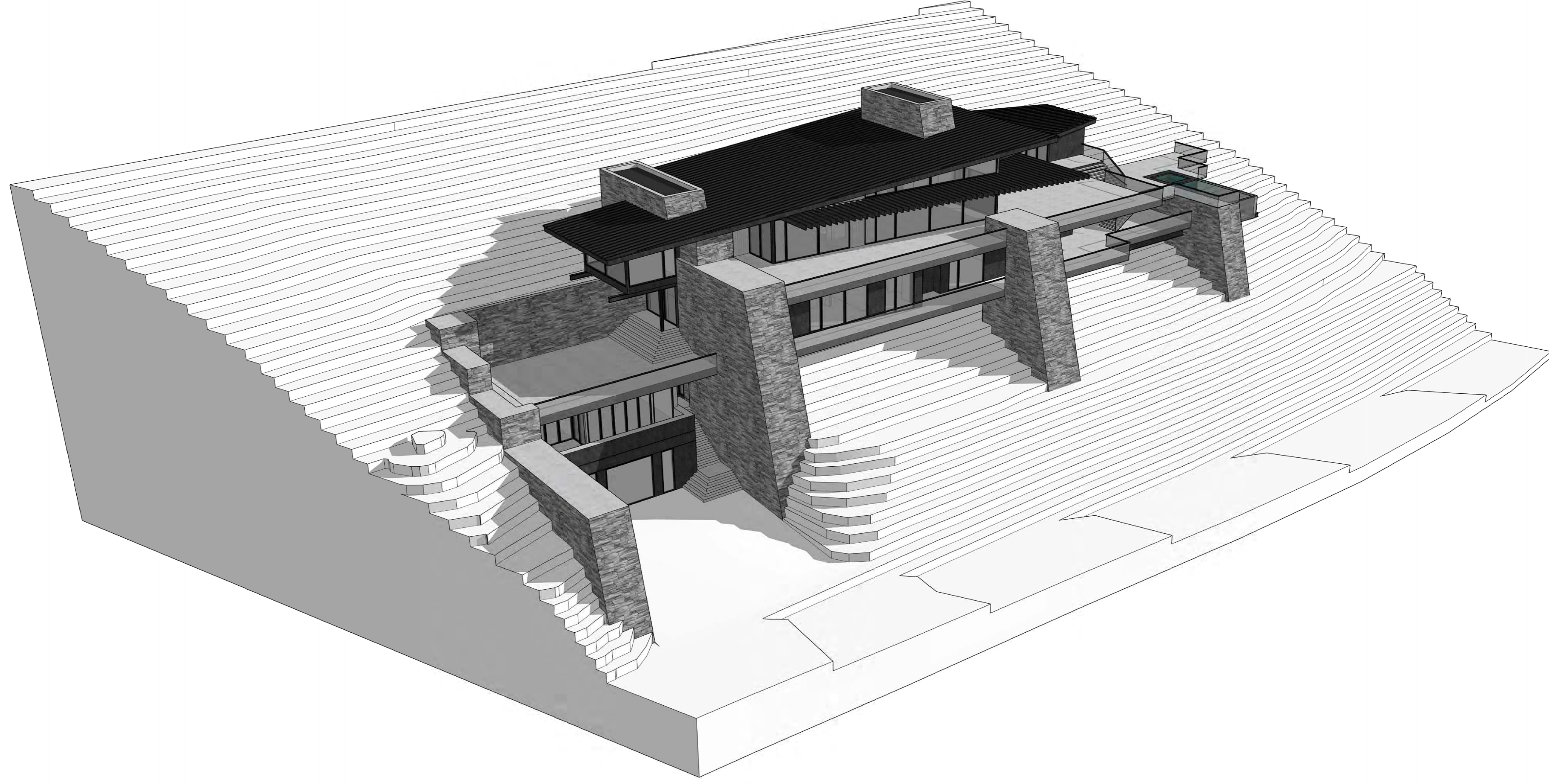
**STONE VENEER**

**BLACK METAL PANELS**

**GLASS RAIL PANELS**







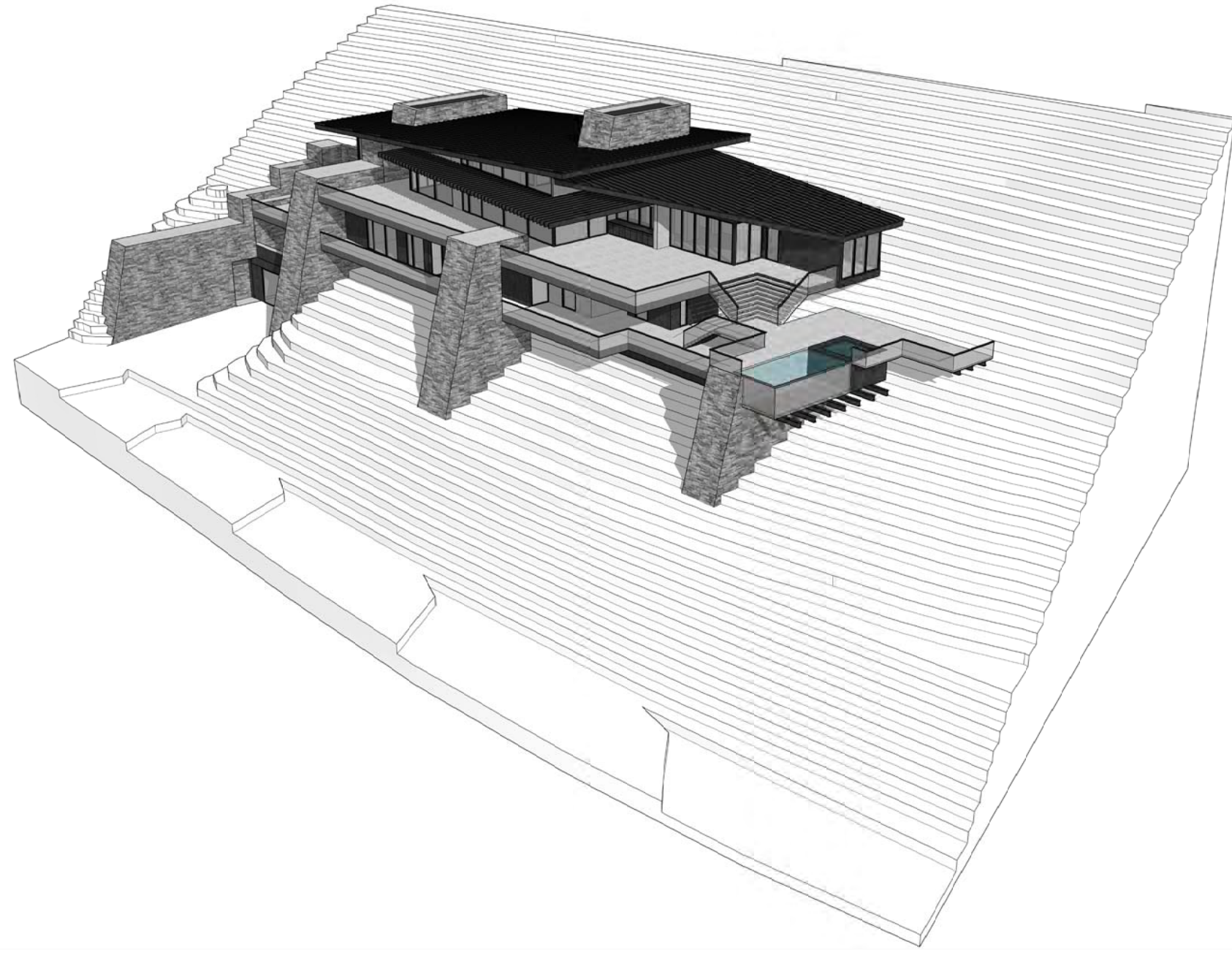
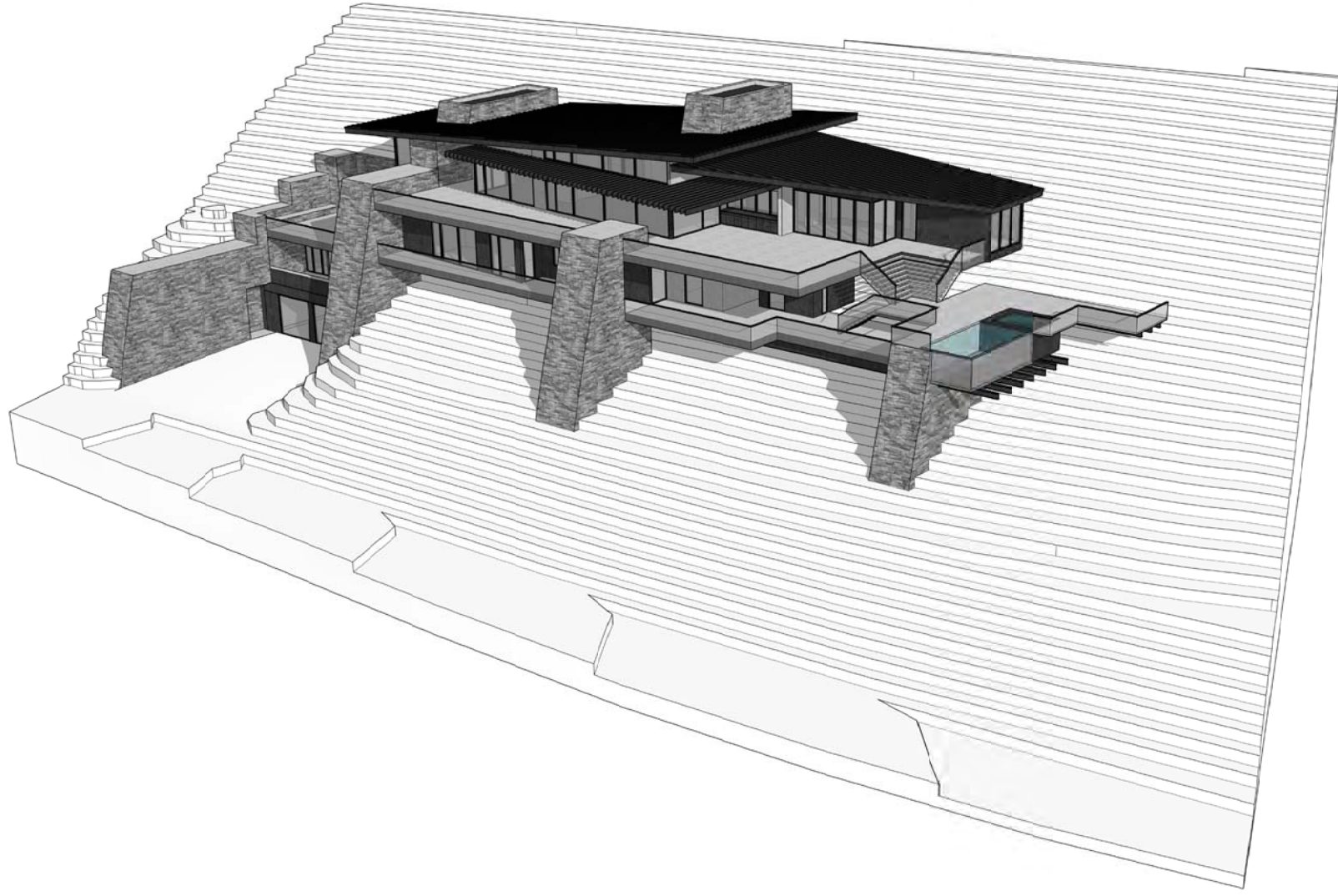
A3.5

**NARCIS TUDOR ARCHITECTS©**

NARCISTUDOR.COM . 970.708.4983 . BOX 1717 TELLURIDE 81435

all graphic material contained in these documents is copyrighted and cannot be used without written permission





A3.6

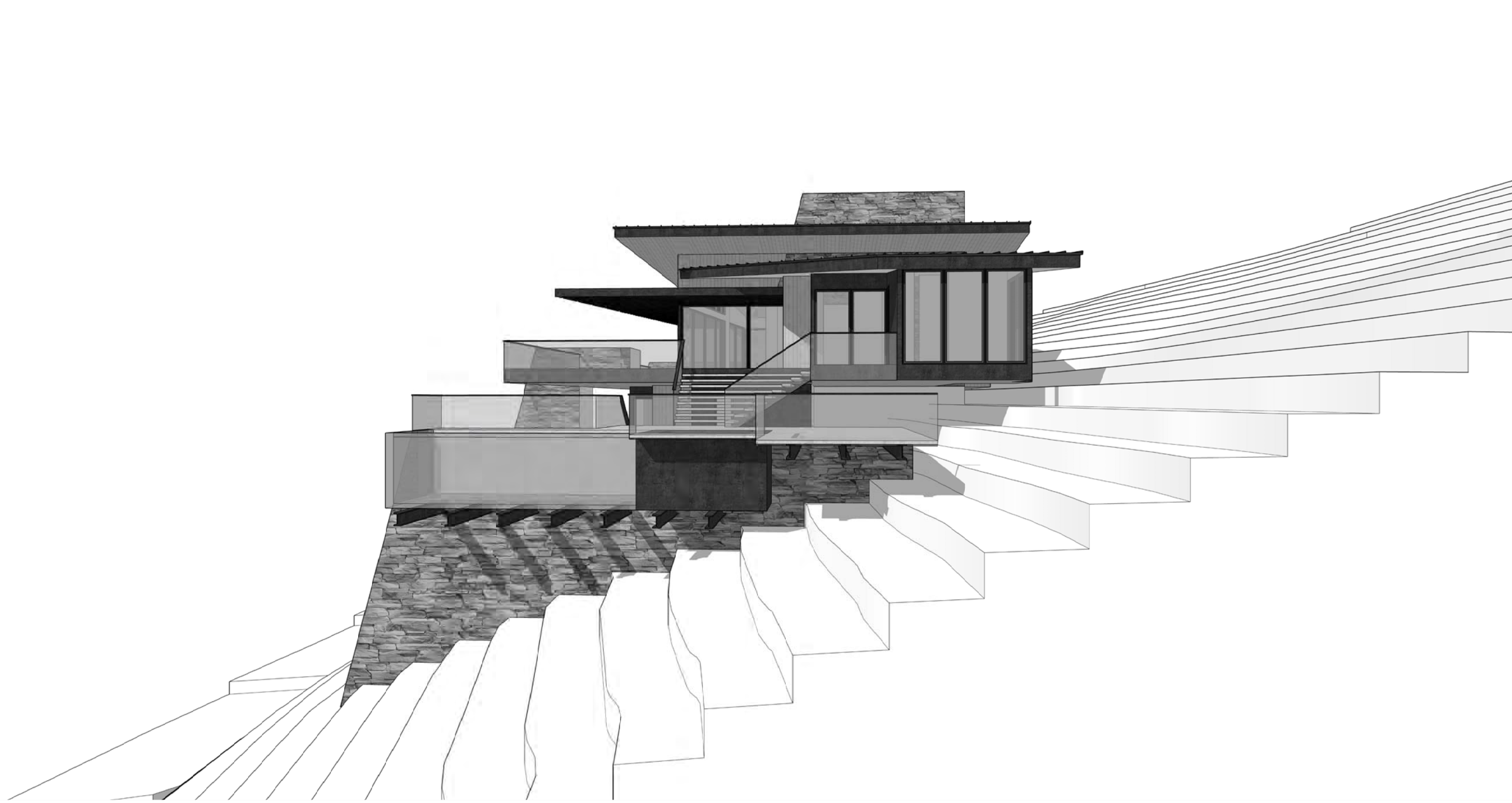
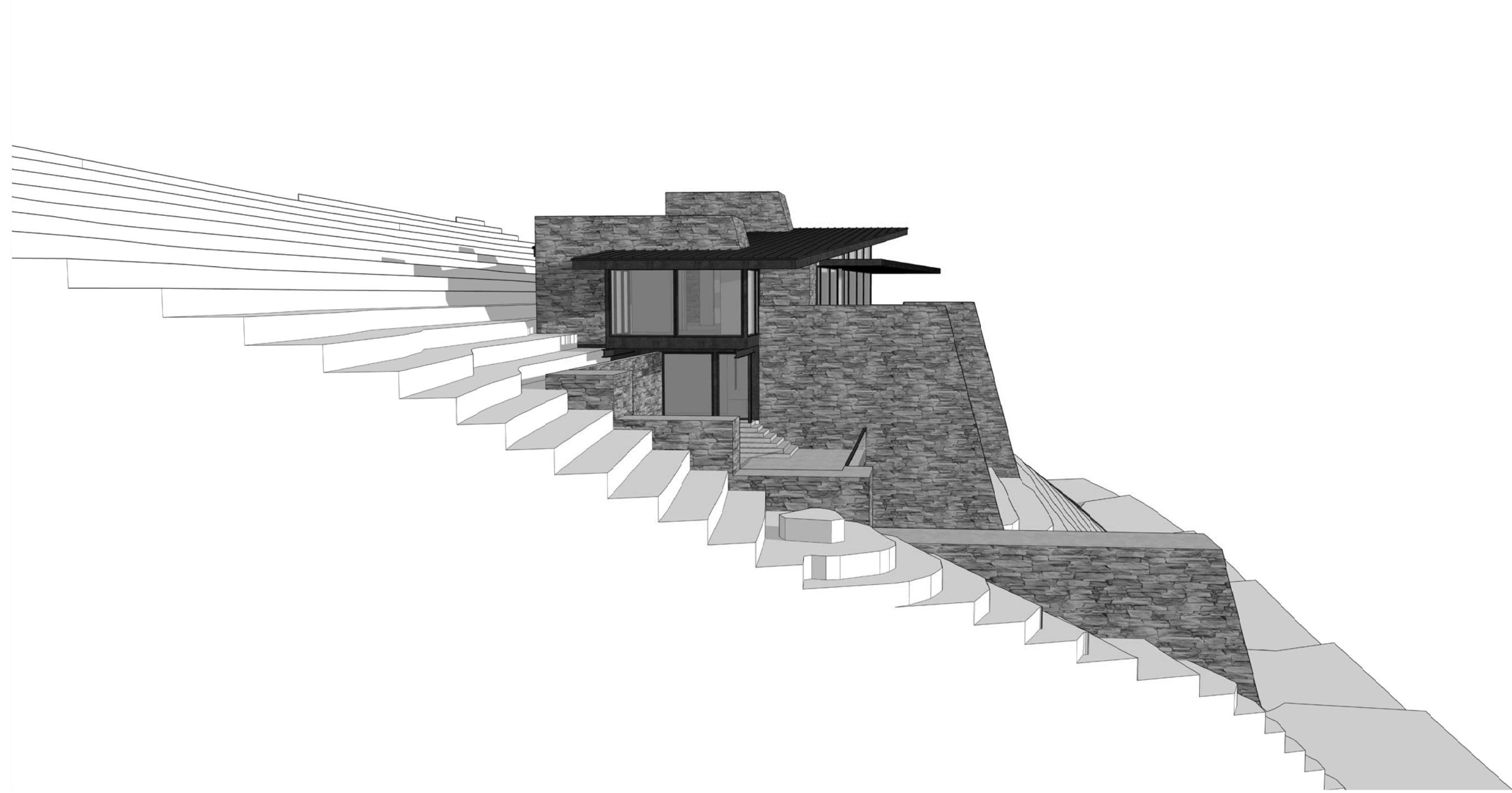
**NARCIS TUDOR ARCHITECTS©**



NARCISTUDOR.COM . 970.708.4983 . BOX 1717 TELLURIDE 81435

all graphic material contained in these documents is copyrighted and cannot be used without written permission





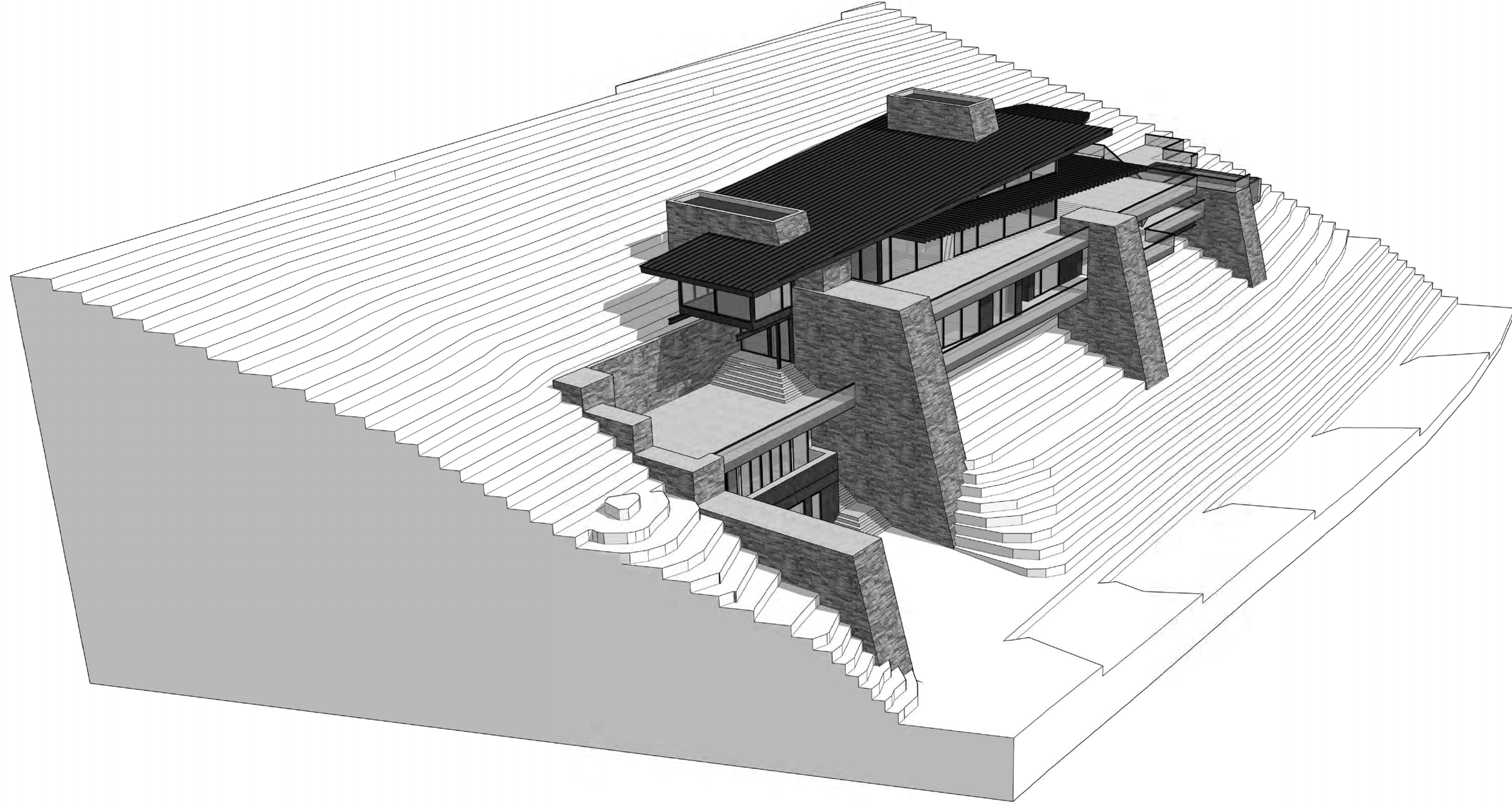
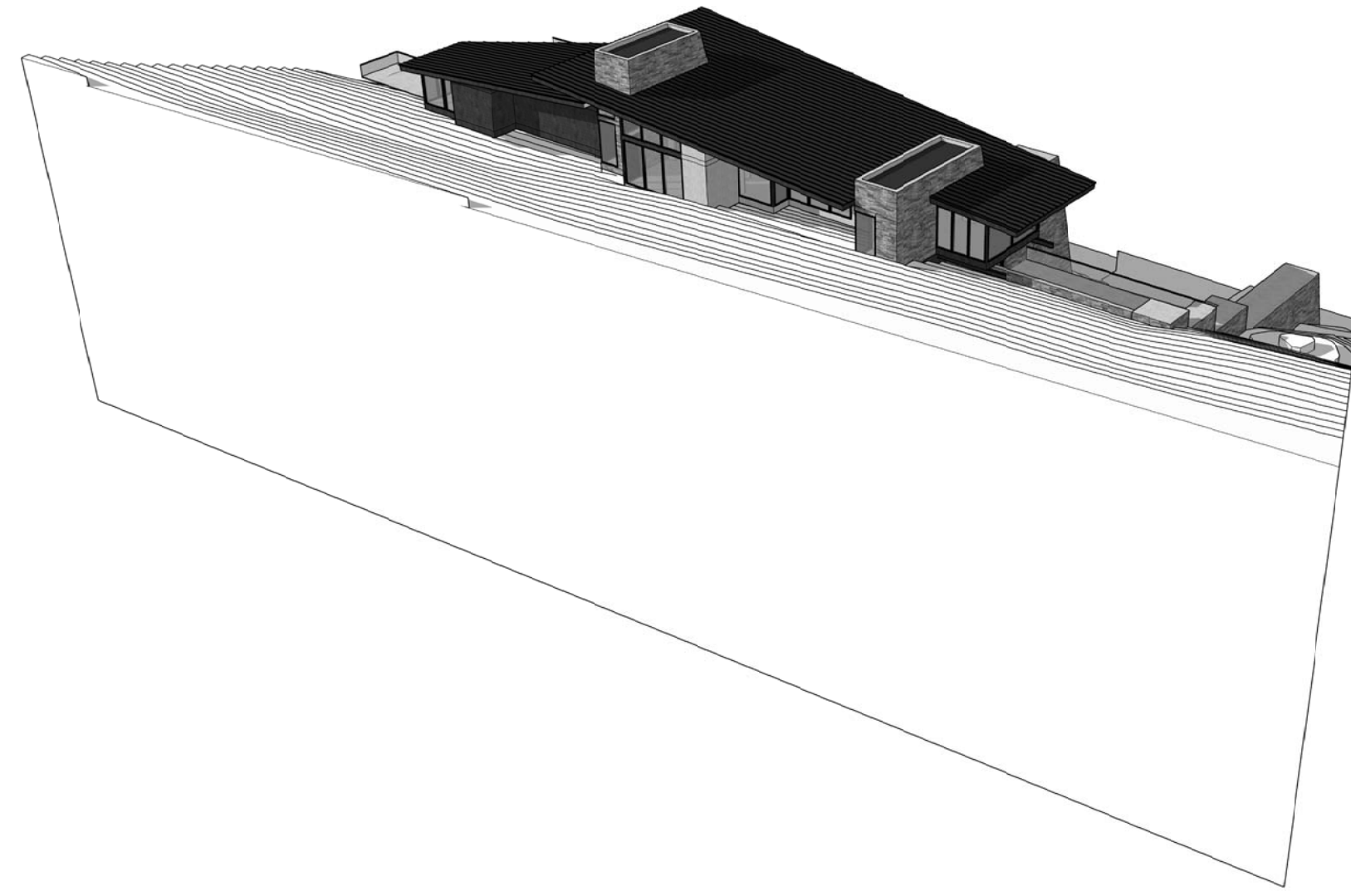
A3.7

**NARCIS TUDOR ARCHITECTS©**

NARCISTUDOR.COM . 970.708.4983 . BOX 1717 TELLURIDE 81435

all graphic material contained in these documents is copyrighted and cannot be used without written permission





A3.8

**NARCIS TUDOR ARCHITECTS©**

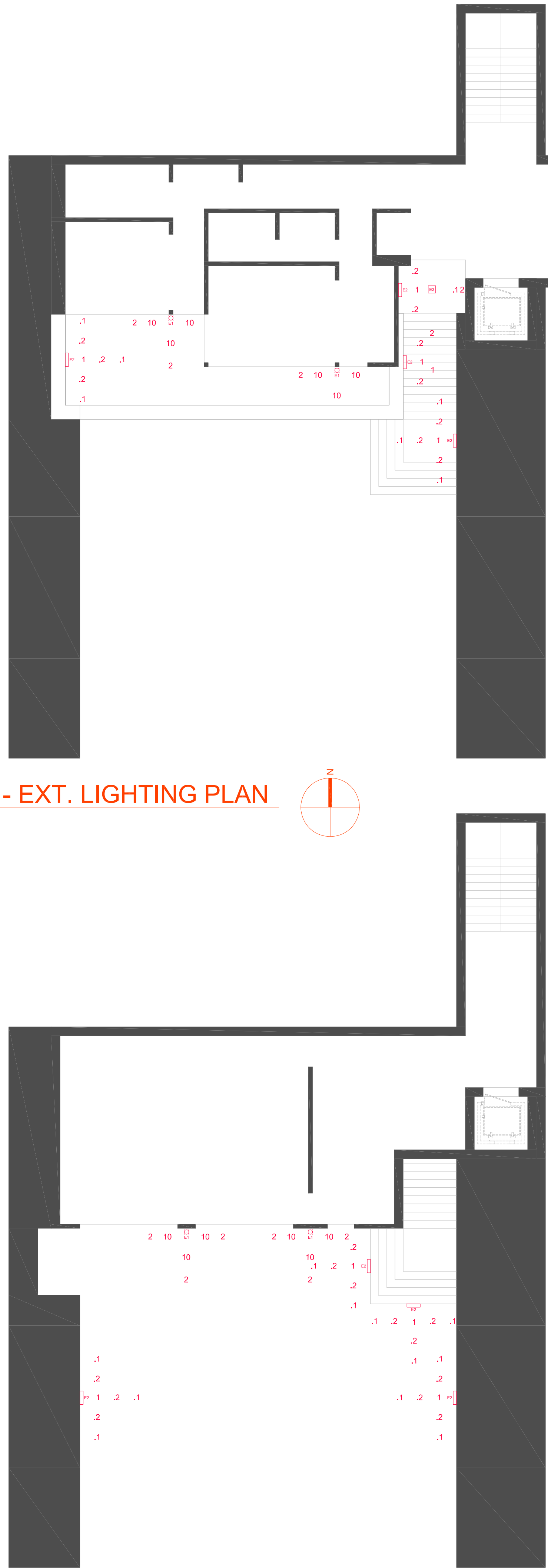


NARCISTUDOR.COM . 970.708.4983 . BOX 1717 TELLURIDE 81435

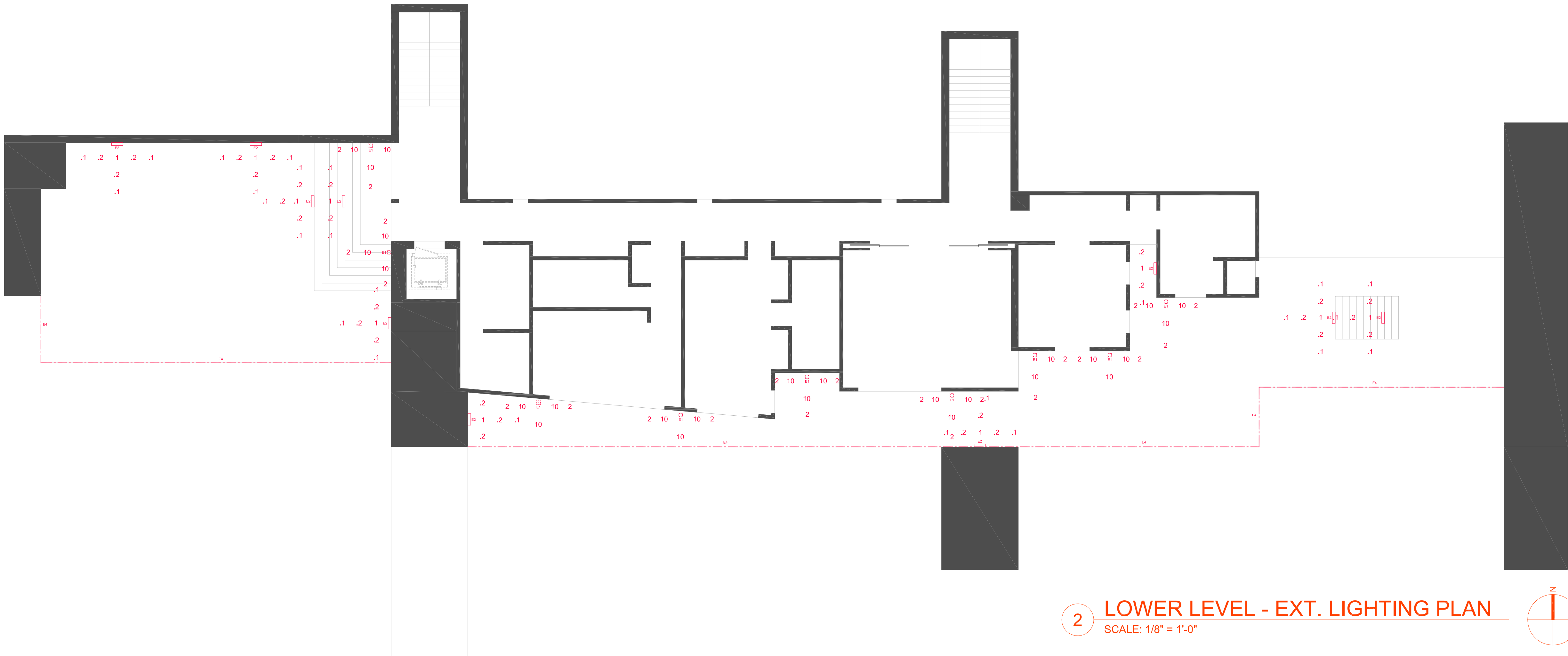
all graphic material contained in these documents is copyrighted and cannot be used without written permission



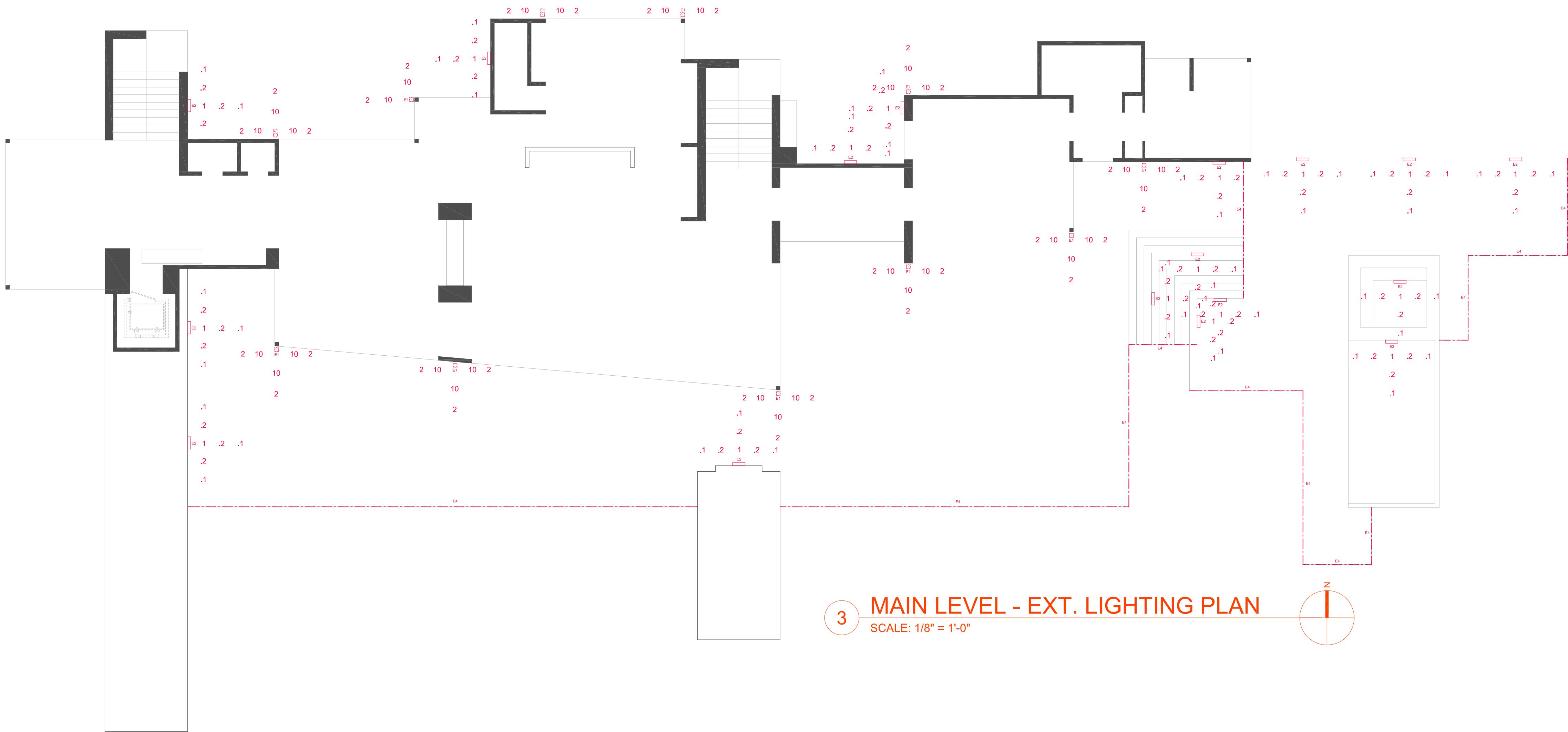
SYMBOL	QTY.	DESCRIPTION	LAMP	MOUNT.	LUMENS	LLF	WATTS	MANUFACTURER	NOTES
E1	24	WALL SCONCE	LED	6'-6"	1216	.92	14	BEGA - 24502	BLACK FINISH
E2	35	STEP	LED	1'-0"±	131	.85	6.5	BEGA - 22272	BLACK FINISH
E3	1	PENDANT	LED	8'-0"±	4107	.95	35.7	BEGA - 24507	BLACK FINISH
E4	7	IND. LED	LED	3'-0"	383	.65	2.3	PARADIGM - FLEXSR	







2 LOWER LEVEL - EXT. LIGHTING PLAN  
SCALE: 1/8" = 1'-0"



3 MAIN LEVEL - EXT. LIGHTING PLAN  
SCALE: 1/8" = 1'-0"





Application

LED wall luminaires with directed light distribution designed for general illumination of pathways and building entrances from various mounting heights.

Materials

Luminaire housing constructed of die-cast marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
Clear safety glass  
Reflector made of pure anodized aluminum  
Silicone applied robotically to casting, plasma treated for increased adhesion  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners

**NRTL** listed to North American Standards, suitable for wet locations  
Protection class IP 64  
Weight: 2.2lbs

Electrical

Operating voltage	120-277V AC
Minimum start temperature	-40° C
LED module wattage	14.0 W
System wattage	17.0 W
Controllability	0-10V, TRIAC, and ELV dimmable
Color rendering index	Ra > 80
Luminaire lumens	1,216 lumens (3000K)
Lifetime at Ta = 15° C	320,000 h (L70)
Lifetime at Ta = 40° C	200,000 h (L70)

LED color temperature

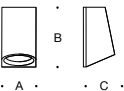
4000K - Product number + **K4**  
3500K - Product number + **K35**  
3000K - Product number + **K3**  
2700K - Product number + **K27**  
2200K - Product number + **K2**

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors	Black (BLK)	White (WHT)	RAL:
	Bronze (BRZ)	Silver (SLV)	CUS:



LED wall luminaire · directed light				
	LED	A	B	C
<b>24 502</b>	14.0 W	4 3⁄8	7 1⁄2	4 5⁄8

Type:  
BEGA Product:  
Project:  
Modified:

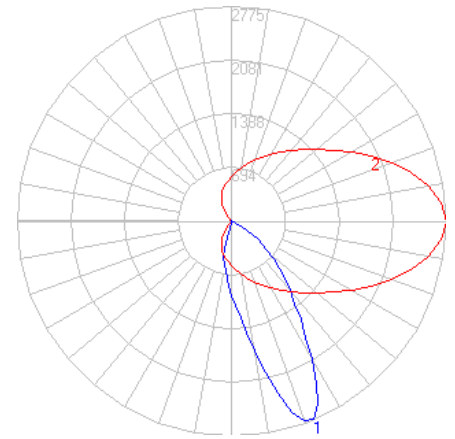




# BEGA

Photometric Filename: 24502.ies

TEST: BE\_24502  
TEST LAB: BEGA  
DATE: 9/26/2016  
LUMINAIRE: 24 502  
LAMP: 14W LED



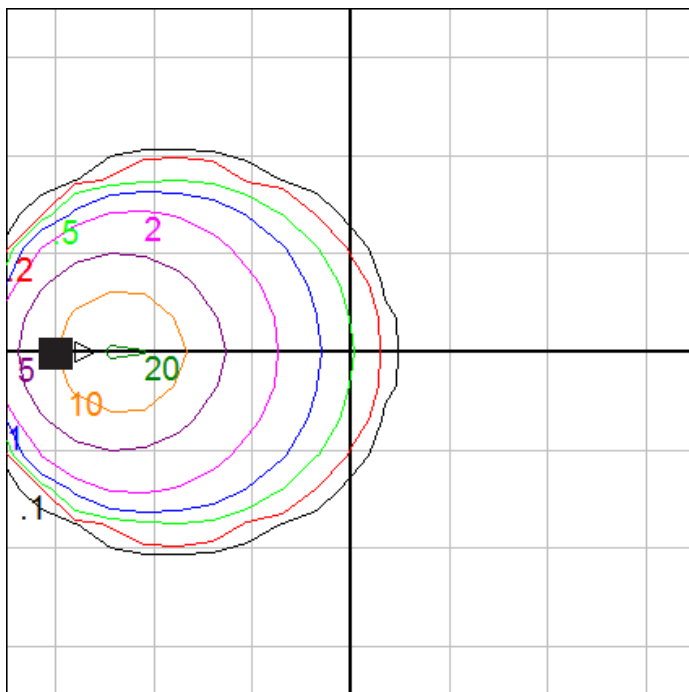
## Characteristics

IES Classification	Type I
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	1217
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	72
Total Luminaire Watts	17
Ballast Factor	1.00
Upward Waste Light Ratio	0.00
Max. Cd.	2775 (0H, 22.5V)
Max. Cd. (<90 Vert.)	2775 (0H, 22.5V)
Max. Cd. (At 90 Deg. Vert.)	1.8 (0.1%Lum)
Max. Cd. (80 to <90 Deg. Vert.)	3.8 (0.3%Lum)
Cutoff Classification (deprecated)	N.A. (absolute)

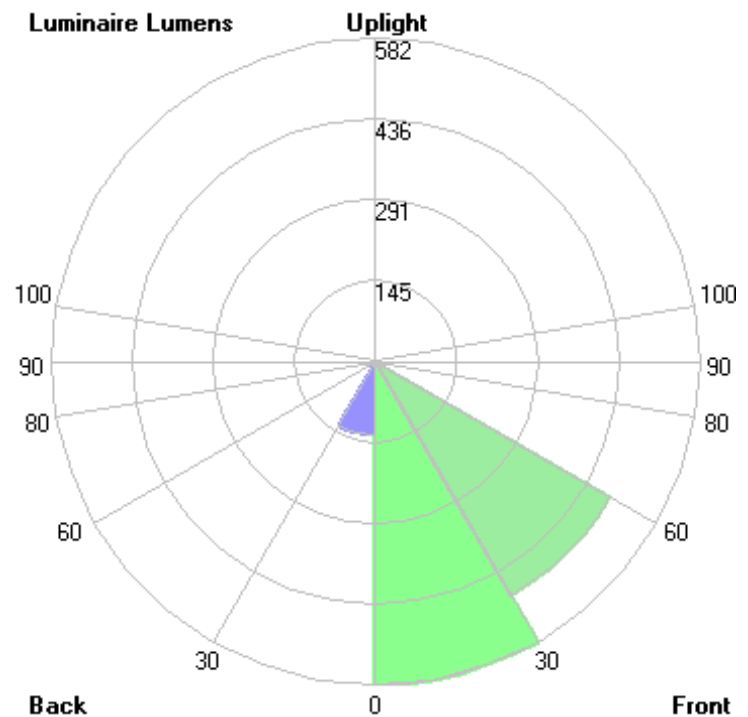
## Lum. Classification System (LCS)

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	582.0	N.A.	47.8
FM (30-60)	486.4	N.A.	40.0
FH (60-80)	7.0	N.A.	0.6
FVH (80-90)	0.7	N.A.	0.1
BL (0-30)	132.2	N.A.	10.9
BM (30-60)	6.8	N.A.	0.6
BH (60-80)	0.4	N.A.	0.0
BVH (80-90)	0.1	N.A.	0.0
UL (90-100)	0.4	N.A.	0.0
UH (100-180)	0.6	N.A.	0.1
Total	1216.6	N.A.	100.0

BUG Rating B1-U1-G0



Mounting Height = 10 ft. Grid Spacing = 5 ft.



In the interest of product improvement, BEGA reserves the right to make technical changes without notice.

BEGA 1000 Bega Way, Carpinteria, CA 93013 (805)684-0533 Fax (805)566-9474 www.bega-us.com © Copyright BEGA-US 2018

2/2/2018



Recessed wall luminaires · shielded

**Housing:** Die-cast aluminum with integral wiring compartment. Die castings are marine grade, copper free ( $\leq 0.3\%$  copper content) A360.0 aluminum alloy.

**Enclosure:** One piece die-cast aluminum faceplate.  $\frac{1}{8}$ " thick, tempered glass; clear with white translucent ceramic coating. Faceplate is secured by four (4) socket head, stainless steel, captive screws threaded into stainless steel inserts in the housing casting. Continuous high temperature O-ring gasket for weather tight operation.

**Electrical:** 6.5W LED luminaire, 9 total system watts,  $-30^{\circ}\text{C}$  start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

**Note:** LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com).

**Finish:** All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

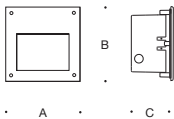
**CSA** certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

**Weight:** 2.2 lbs.

**Luminaire Lumens:** 131  
Tested in accordance with LM-79-08

Type:  
BEGA Product:  
Project:  
Voltage:  
Color:  
Options:  
Modified:

BKV



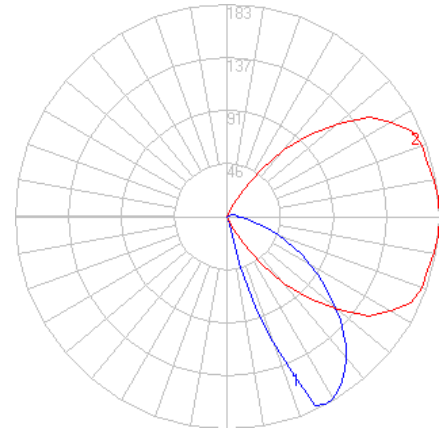
Recessed Luminaires · <b>shielded</b> light					
		Lamp	A	B	C
<b>22 272</b>	<b>ADA</b>	6.5W LED	5 <sup>7</sup> / <sub>8</sub>	5 <sup>7</sup> / <sub>8</sub>	4 <sup>1</sup> / <sub>8</sub>



# BEGA

Photometric Filename: 22272.IES

TEST: BE\_22272  
TEST LAB: BEGA  
DATE: 7/11/2017  
LUMINAIRE: 22 272  
LAMP: 3.9W LED



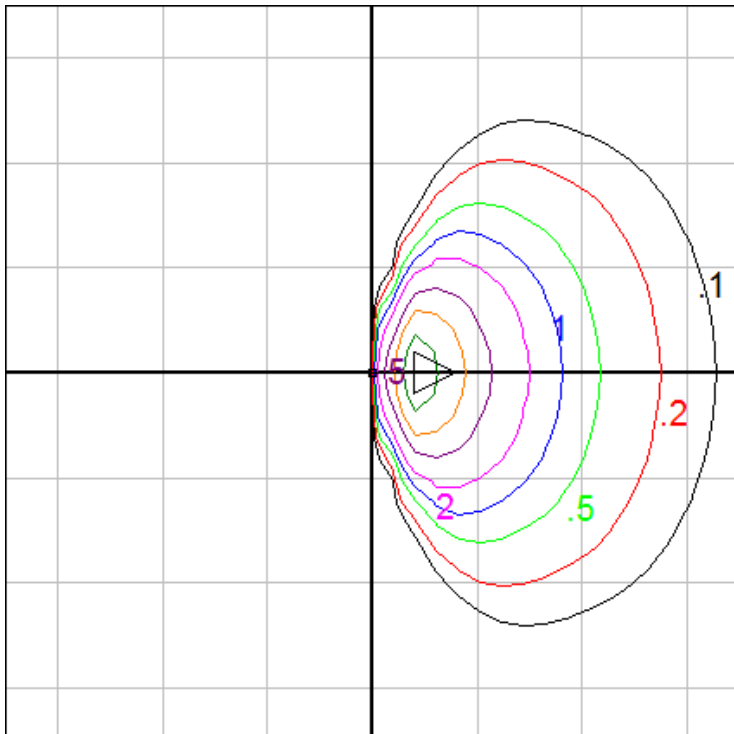
## Characteristics

IES Classification	Type II
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	159
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	26
Total Luminaire Watts	6
Ballast Factor	1.00
Upward Waste Light Ratio	0.03
Max. Cd.	182.9 (0H, 27.5V)
Max. Cd. (<90 Vert.)	182.9 (0H, 27.5V)
Max. Cd. (At 90 Deg. Vert.)	9.2 (5.8%Lum)
Max. Cd. (80 to <90 Deg. Vert.)	21.3 (13.4%Lum)
Cutoff Classification (deprecated)	N.A. (absolute)

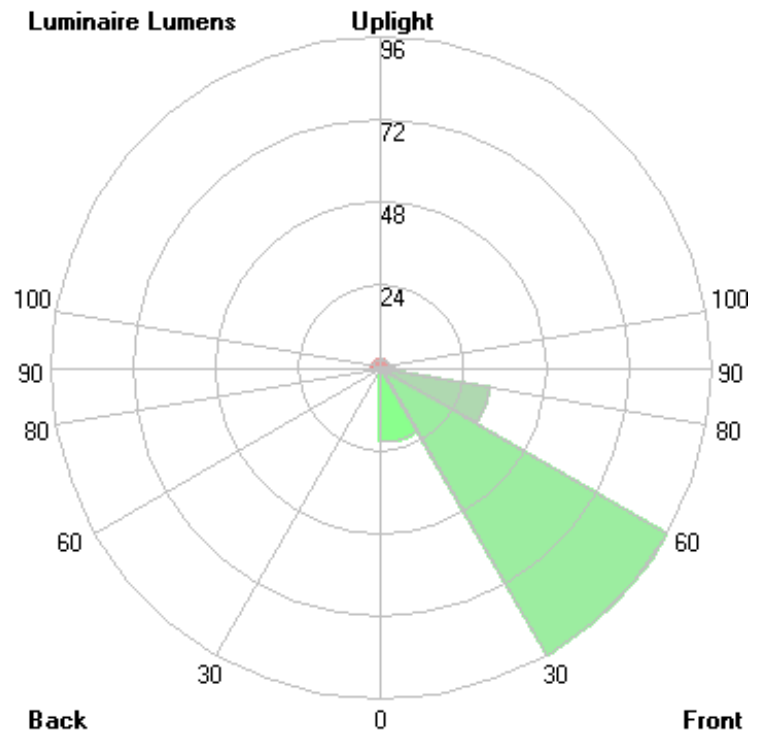
## Lum. Classification System (LCS)

LCS Zone	Lumens %Lamp %Lum
FL (0-30)	21.4 N.A. 13.5
FM (30-60)	96.5 N.A. 60.6
FH (60-80)	32.4 N.A. 20.4
FVH (80-90)	4.2 N.A. 2.6
BL (0-30)	0.0 N.A. 0.0
BM (30-60)	0.0 N.A. 0.0
BH (60-80)	0.0 N.A. 0.0
BVH (80-90)	0.0 N.A. 0.0
UL (90-100)	2.1 N.A. 1.3
UH (100-180)	2.5 N.A. 1.5
Total	159.1 N.A. 100.0

BUG Rating B0-U1-G0



Mounting Height = 2 ft. Grid Spacing = 2.5 ft.



In the interest of product improvement, BEGA reserves the right to make technical changes without notice.



Application

LED pendant luminaire with shielded, downward directed light distribution ideal for down lighting atria, passages and other large covered spaces.

Materials

Luminaire housing and canopy constructed of die-cast marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
Clear safety glass  
Reflector made of pure anodized aluminum  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
Black power cable  
Steel suspension wires

NRTL listed to North American Standards, suitable for wet locations  
Protection class IP 65  
Weight: 12.4 lbs

Electrical

Operating voltage	120-277V AC
Minimum start temperature	-20° C
LED module wattage	35.7 W
System wattage	40.0 W
Controllability	0-10V dimmable
Color rendering index	Ra > 80
Luminaire lumens	4,107 lumens (3000K)
Lifetime at Ta = 15° C	> 500,000 h (L70)
Lifetime at Ta = 30° C	312,000 h (L70)

LED color temperature

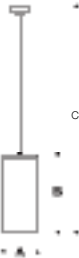
4000K - Product number + **K4**  
3500K - Product number + **K35**  
3000K - Product number + **K3**  
2700K - Product number + **K27**

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors	Black (BLK)	White (WHT)	RAL:
	Bronze (BRZ)	Silver (SLV)	CUS:



LED pendant · shielded					
	LED	A	B	C	Wiring Box*
24 507	35.7W	7 ½	17 ¼	103 ½	19 538

\*Small opening wiring box included

Type:  
BEGA Product:  
Project:  
Modified:

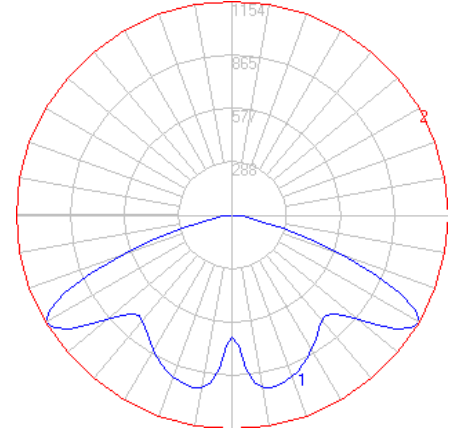




# BEGA

Photometric Filename: 24507.ies

TEST: BE\_24507  
TEST LAB: BEGA  
DATE: 4/4/2017  
LUMINAIRE: 24 507  
LAMP: 35.7W LED



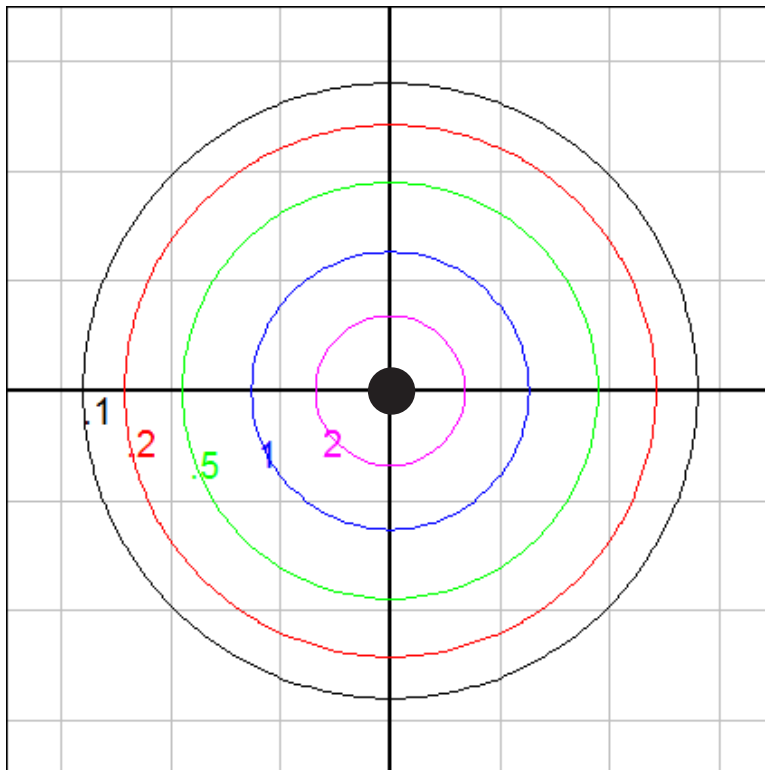
## Characteristics

IES Classification	Type V
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	4107
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	103
Total Luminaire Watts	40
Ballast Factor	1.00
Upward Waste Light Ratio	0.00
Max. Cd.	1153.9 (360H, 60V)
Max. Cd. (<90 Vert.)	1153.9 (360H, 60V)
Max. Cd. (At 90 Deg. Vert.)	.2 (0.0%Lum)
Max. Cd. (80 to <90 Deg. Vert.)	102.6 (2.5%Lum)
Cutoff Classification (deprecated)	N.A. (absolute)

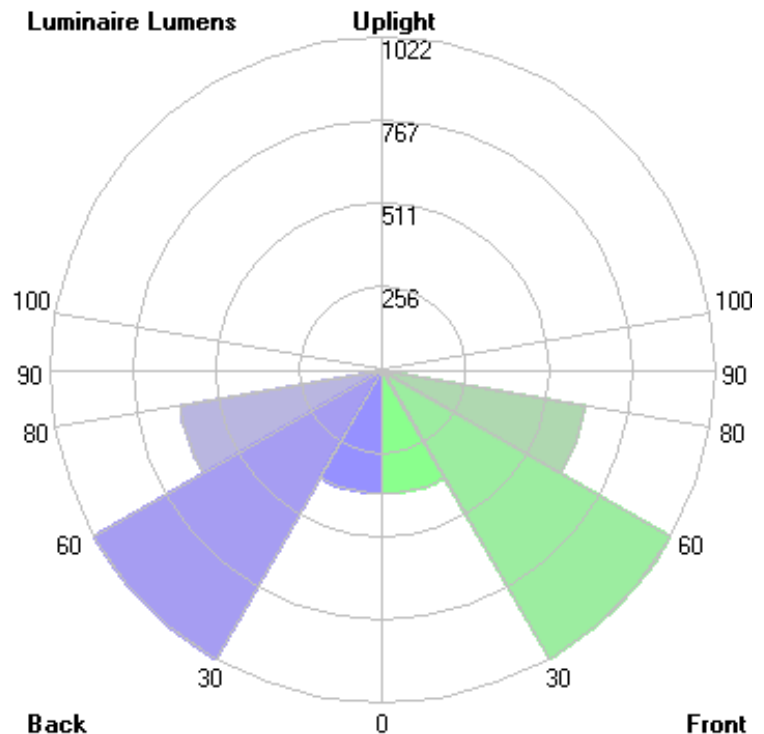
## Lum. Classification System (LCS)

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	380.3	N.A.	9.3
FM (30-60)	1022.1	N.A.	24.9
FH (60-80)	632.3	N.A.	15.4
FVH (80-90)	18.8	N.A.	0.5
BL (0-30)	380.3	N.A.	9.3
BM (30-60)	1022.1	N.A.	24.9
BH (60-80)	632.3	N.A.	15.4
BVH (80-90)	18.8	N.A.	0.5
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	4107.0	N.A.	100.0

**BUG Rating** B2-U0-G1



Mouting Height = 15 ft. Grid Spacing = 15 ft.



In the interest of product improvement, BEGA reserves the right to make technical changes without notice.

**BEGA** 1000 Bega Way, Carpinteria, CA 93013 (805)684-0533 Fax (805)566-9474 [www.bega-us.com](http://www.bega-us.com) © Copyright BEGA-US 2018

1/29/2018





**FLEX SR Series** is a high performance linear LED with high CRI, tight LED spacing and an economical price.

## SPECIFICATION

SERIES	+	WATTAGE	+	COLOR**	+	IP RATING	+	VOLTAGE	+	LENGTH
FLEXSR		20=2.0 W/ft. 45=4.5 W/ft.		23=2350K 27=2700K 30=3000K 41=41000K		67C=IP67 Clear outdoor		24=24 VDC		5M=196 inches (5 meter) Reel XX= Custom Length (inches)

\*\*RGB, RGBW & OTHER COLORS AVAILABLE CONSULT FACTORY

## ELECTRICAL

Input Voltage	24VDC
Dimming Options	MLV, 0-10V, DMX, Lutron
Power Consumption	2.0 or 4.5 W/ft.
Wire Size	20AWG, 2 Wire
Regulatory	UL Listed file E468751
Max Run Length per feed	
FlexSR20	44' = (96W)
FlexSR45	22' = (96W)

## PHYSICAL

Field Cuttable	Every 2.0" (50.8mm)
Operating Temperature	-20°C (-40°F) to +50°C (+122°F)
Environment	IP67 Outdoor
Max Reel Length	FlexSR20=32' FlexSR45=16'

## DIMENSIONS

<b>FLEXSR-20</b>	
Width	0.33" (8.00mm)
Height	0.07" (1.78mm)
Cuttable Segment Length	4.0" (100mm)
Pitch Length	0.625" (17.0mm)
<b>FLEXSR-45</b>	
Width	0.39" (10.05mm)
Height	0.13" (4.00mm)
Cuttable Segment Length	0.625" (17.00mm)
Pitch Length	0.09" (2.29mm)

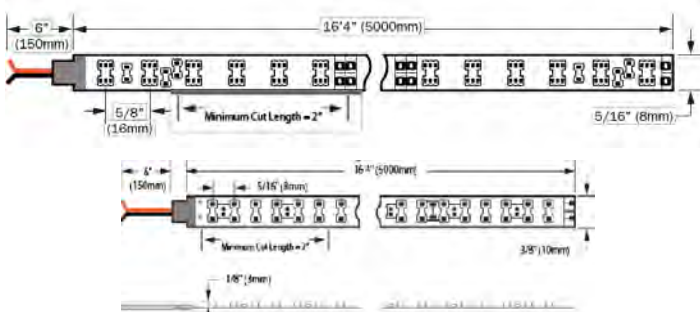
## LUMEN OUTPUT

<b>OUTDOOR</b>	
FlexSR20	2.0W/ftX85lum/W=170 lum/ft
FlexSR45	4.5W/ftX85lum/W=383 lum/ft

## PERFORMANCE

CRI	95+
Binning Tolerance	+/-100K
Warranty	5 years

## DRAWINGS



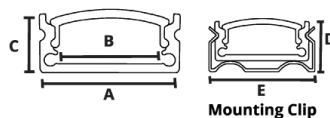


## QUICK SPEC GUIDE

### CHANNEL PART NUMBER BREAKDOWN

SERIES	DIMENSIONS	APPLICATION	LENS	LENGTH
AMC = Aluminum Mounting Channel	XXXX = W x H (mm)	S = Surface Mount R = Recessed Channel C = Corner Mount M = Mud In Channel	C=Clear lens O=Opal lens G=Grazer lens	1M=39 Inches 2M=78 Inches

### AMC-1707-S



**A:** 0.68" (17.25mm)  
**B:** 0.50" (12.59mm)  
**C:** 0.34" (8.60mm)  
**D:** 0.40" (12.70mm)  
**E:** 0.78" (19.90mm)

#### MATERIAL

Anodized Aluminum

#### DESCRIPTION

Slim and shallow surface mount channel

#### LENGTH

39", 78"

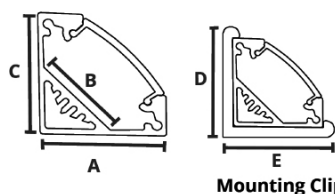
#### LENS TYPES

Clear=C  
 Opal=O  
 Grazer=G

#### ACCESSORIES

Endcap	AMC-1707-S-EC
Endcap w/hole	AMC-1707-S-ECL
Mounting Clip	AMC-1707-S-MC

### AMC-1919-C



**A:** 0.73" (18.50mm)  
**B:** 0.48" (12.20mm)  
**C:** 0.73" (18.50mm)  
**D:** 0.82" (20.82mm)  
**E:** 0.82" (20.82mm)

#### MATERIAL

Anodized Aluminum

#### DESCRIPTION

Slim corner channel

#### LENGTH

39", 78"

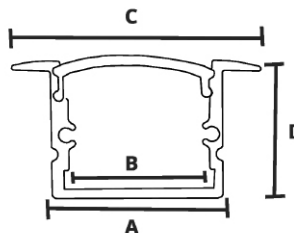
#### LENS TYPES

Clear=C  
 Opal=O

#### ACCESSORIES

Endcap	AMC-1919-C-EC
Endcap w/hole	AMC-1919-C-ECL
Mounting Clip	AMC-1919-C-MC

### AMC-1715-R



**A:** 0.68" (17.25mm)  
**B:** 0.58" (14.75mm)  
**C:** 0.98" (25.00mm)  
**D:** 0.59" (15.05mm)

#### MATERIAL

Anodized Aluminum

#### DESCRIPTION

Slim and deep recessed channel

#### LENGTH

39", 78"

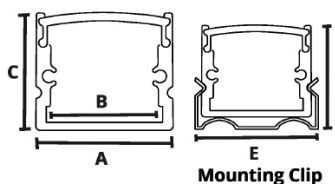
#### LENS TYPES

Clear=C  
 Opal=O  
 Grazer=G

#### ACCESSORIES

Endcap	AMC-1715-R-EC
Endcap w/hole	AMC-1715-R-ECL

### AMC-1715-S



**A:** 0.68" (17.25mm)  
**B:** 0.48" (12.30mm)  
**C:** 0.59" (15.05mm)  
**D:** 0.66" (16.76mm)  
**E:** 0.78" (19.90mm)

#### MATERIAL

Anodized Aluminum

#### DESCRIPTION

Slim and deep surface mounted channel

#### LENGTH

39", 78"

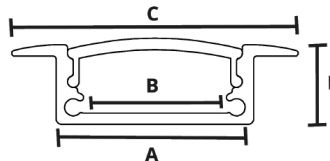
#### LENS TYPES

Clear=C  
 Opal=O  
 Grazer=G

#### ACCESSORIES

Endcap	AMC-1715-S-EC
Endcap w/hole	AMC-1715-S-ECL
Mounting Clip	AMC-1715-S-MC

### AMC-1707-R



**A:** 0.68" (17.25mm)  
**B:** 0.50" (12.59mm)  
**C:** 0.98" (25.00mm)  
**D:** 0.34" (8.60mm)

#### MATERIAL

Anodized Aluminum

#### DESCRIPTION

Slim and shallow recessed channel

#### LENGTH

39", 78"

#### LENS TYPES

Clear=C  
 Opal=O  
 Grazer=G

#### ACCESSORIES

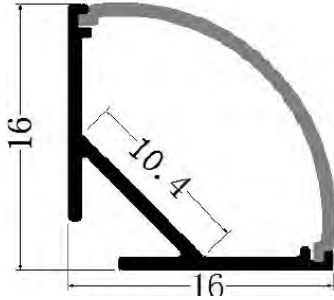
Endcap	AMC-1707-R-EC
Endcap w/hole	AMC-1707-R-ECL





## QUICK SPEC GUIDE

### AMC-1616-C



#### MATERIAL

Anodized Aluminum

#### DESCRIPTION

Slim corner channel with rounded lens

#### LENGTH

39", 78"

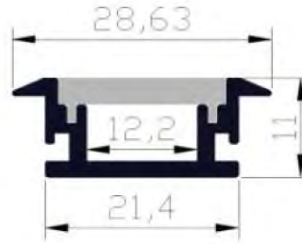
#### LENS TYPES

Clear=C  
Opal=O

#### ACCESSORIES

Endcap	AMC-1616-C-EC
Endcap w/hole	AMC-1616-C-ECL
Mounting Clip	AMC-1616-C-MC

### AMC-2111-R



#### MATERIAL

Anodized Aluminum

#### DESCRIPTION

Slim and shallow recessed mount channel.

#### LENGTH

39", 78"

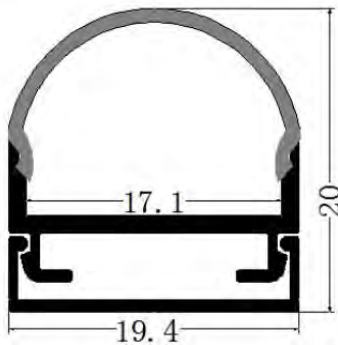
#### LENS TYPES

Opal=O

#### ACCESSORIES

Endcap	AMC-2111-R-EC
Endcap w/hole	AMC-2111-R-ECL

### AMC-2020-S-RO



#### MATERIAL

Anodized Aluminum

#### DESCRIPTION

Slim and deep surface mounted channel

#### LENGTH

39", 78"

#### LENS TYPES

Opal

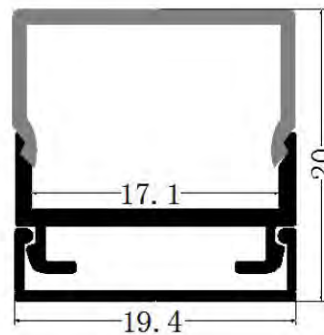
#### LENS SHAPE

Round=RO

#### ACCESSORIES

Endcap	AMC-2020-RO-EC
Endcap w/hole	AMC-2020-RO-ECL
Mounting Clip	AMC-2020-RO-MC

### AMC-2020-S-SQ



#### MATERIAL

Anodized Aluminum

#### DESCRIPTION

Slim corner mount channel w/ rounded lens

#### LENGTH

39", 78"

#### LENS TYPES

Opal=O

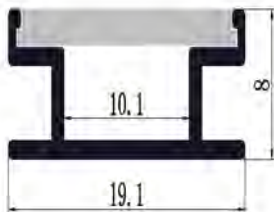
#### LENS SHAPE

Square=SQ

#### ACCESSORIES

Endcap	AMC-2020-SQ-EC
Endcap w/hole	AMC-2020-SQ-ECL
Mounting	AMC-2020-SQ-MC

### AMC-1908-R



#### MATERIAL

Anodized Aluminum

#### DESCRIPTION

Slim and shallow recessed mount channel.

#### LENGTH

39", 78"

#### LENS TYPES

Opal=O

#### ACCESSORIES

Endcap	AMC-1908-R-EC
Endcap w/hole	AMC-1908-R-ECL







AGENDA ITEM 10  
**PLANNING & DEVELOPMENT SERVICE**  
**PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

**TO:** Mountain Village Design Review Board

**FROM:** Amy Ward, Senior Planner

**FOR:** Design Review Board Public Hearing; February 3, 2022

**DATE:** January 25, 2022

**RE:** Staff Memo – Initial Architecture and Site Review (IASR) Lot AR613-C1, 101 Lawson Point

## APPLICATION OVERVIEW: New Single-Family Home on Lot AR613-C1

### **PROJECT GEOGRAPHY**

**Legal Description:** LOT AR 613-C1, TOWN OF MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT AR 613-C RECORDED DECEMBER 21, 2006 IN PLAT BOOK 1 AT PAGE [3786](#), AND ACCORDING TO THE COMMUNITY PLAT/MAP AMENDMENT FOR THE ADAMS RANCH COMMUNITY RECORDED JUNE 1, 1999 IN PLAT BOOK 1 AT PAGE [2573](#), COUNTY OF SAN MIGUEL, STATE OF COLORADO.

**Address:** 101 Lawson Point

**Applicant/Agent:** Kristine Perpar, Shift Architects

**Owner:** Big Vanilla, LLC

**Zoning:** Single-Family

**Existing Use:** Vacant

**Proposed Use:** Single-Family

**Lot Size:** .274 acres

**Adjacent Land Uses:**

- **North:** Single-family
- **South:** Open Space
- **East:** Single-family
- **West:** Single-family



*Figure 1: Vicinity Map*

### **ATTACHMENTS**

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comm

**Case Summary:** Kristine Perpar of Shift Architects is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot AR613-C1, 101 Lawson Point. The Lot is approximately .274



acres and is zoned Single-family. The overall square footage of the home is approximately 4,137 gross square feet and provides 2 interior parking spaces within the proposed garage.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

*Table 1*

<u><b>CDC Provision</b></u>	<u><b>Requirement</b></u>	<u><b>Proposed</b></u>
<b>Maximum Building Height</b>	40' (gable) Maximum	Not shown
<b>Maximum Avg. Building Height</b>	35' (gable) Maximum	20.52'
<b>Maximum Lot Coverage</b>	40% (4,773 s.f.)	33% (4,001 s.f.)
<b>General Easement Setbacks</b>	No encroachment	Retaining wall
<b>Roof Pitch</b>		
Primary		12:12
Secondary		6:12, 4:12
<b>Exterior Material</b>		
Stone	35% minimum	35%
Windows/Doors	40% maximum	21%
<b>Parking</b>	2 interior/2 exterior	2 interior

**DRB Specific Approval:**

- 1) Setback Encroachments – Driveway retaining wall and grading
- 2) Metal fascia
- 3) Tandem parking

**Chapter 17.3: ZONING AND LAND USE REGULATIONS**

**17.3.12: Building Height Limits**

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of shed roof forms. Homes with a primary shed roof form are granted a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

*Staff: Staff has determined that the primary roof form for this home is a gable and therefore granted a maximum height of 40 feet. The applicant has not calculated a max height on their elevations however, has shown in their parallel plane projection that the structure is meeting the max height requirements. The max average height of 20.52' is also meeting the max average height requirements. The applicant should update these drawings prior to final review to call out the max height.*

**17.3.14: General Easement Setbacks**

Lot AR613-C1 is burdened by a sixteen (16) foot General Easement (GE) on the north, east and south sides and an 8' setback on the west side. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to



surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

*Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:*

- *Driveway: The Driveway as shown currently takes access from Lawson Point and crosses the General Easement to the homesite.*
- *Utilities: Gas service is to the north of the lot, water and electric are to the east of the lot, sewer is to the south of the lot. All of these utilities will cross the GE to the home.*

*The proposal also includes some GE encroachments requiring specific DRB approval:*

- *Retaining wall*
- *Grading*

*Staff: There is a boulder retaining wall along the west side of the driveway. Though encroachments for a driveway are generally allowable when the drive crosses the setback in a perpendicular way from the road, this retaining wall crosses the GE perpendicular to the road at the north side of the lot and then runs along the western setback area all the way to the home entry. The location of the retaining wall as it relates to the garage creates the required 25' back out area. The driveway could be pushed back to the east as it moves towards Lawson Point to avoid some, but not all encroachment. DRB should discuss whether this re-alignment would be preferable to the current configuration, but regardless, staff feels that the garage back out area necessitates at least some setback encroachment. There is a small amount of proposed grading on the east and west boundary of GE to create drainage away from the house. If DRB finds either/both of these encroachments acceptable than a specific approval should be granted.*

## **Chapter 17.5: DESIGN REGULATIONS**

### **17.5.4: Town Design Theme**

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

*Staff: The siting of this home seems sensitive to views and solar gain with south and west facing exterior living spaces. The materials palette of barnwood, stone and rusty metal are natural and sustainable in colors found in nature and will weather well in our high alpine environment. However, there is one key characteristic of the town theme that merits some discussion. Number two of the key characteristics of the Town design theme says, “massing that is simple in form and steps with the natural topography.” Staff would argue that the overall form of the home is not simple, especially as it relates to the rooflines. When viewed in perspective, especially from the NW there is a sense of disorganization. DRB should discuss whether it believes this section of the code is being met, and if not provide the applicant with some specific feedback as to how to better meet the code.*



#### **17.5.5: Building Siting Design**

The CDC requires that any proposed development blend into the existing landforms and vegetation.

*Staff: Compared to what we have been seeing recently, there is not a lot of grade change at Lot AR613-C1. It is a small lot, so there wasn't much choice in the siting of the home itself. There is a small grouping of trees on the NE corner of the lot, and the siting of the home and driveway has allowed for all of those to be maintained. Staff feels this provision is being met.*

#### **17.5.6: Building Design**

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

*Staff: The home is grounded by a base of Telluride Gold stone. The single story of the garage wing also gives the house a horizontal element that helps to ground the taller two-story main wing. Structural steel elements used to support the elevated decks feel substantial enough avoid any disconnectedness, and the steel posts all interact with a stone base before meeting grade. Staff feels that this provision is being met.*

*The materials palette was discussed briefly above, but it should be noted that the rusty metal roof is accompanied by rusty metal fascia. If DRB is in favor of this material than a specific approval should be granted.*

#### **17.5.7: Grading and Drainage Design**

*Staff: The major grading change on the lot is a proposed cut slope to the east of the driveway, for the creation of the drive. It is called out as a 2:1 slope, so does not require retainage. There is also minimal proposed grading along the east and west GE boundary to create positive drainage away from the home.*

#### **17.5.8: Parking Regulations**

*Staff: The applicant has shown two interior parking spaces inside the garage on their plan. They have not shown any exterior parking. Staff's recommendation is that the applicant revise their plans to show two spots in a tandem format. This would be a DRB specific approval, but given the small size of the lot staff believes this should be approvable.*

#### **17.5.9: Landscaping Regulations**

*The landscape plan is fairly simple in nature, and per the Town Forester's comments is not meeting the diversity of species clause. He would like to see the applicant revise their plan to include additional diverse species to help nestle the home into the site more.*

*It should be noted that the existing conditions plat shows three sprinkler valves on the southeast corner of the lot. Staff assumes that these belong to the HOA, as they are in close proximity to the corner retaining wall/fence that marks the entrance to Adam's Way, however the applicant might want to investigate ownership and or potential necessary encroachment agreements for this infrastructure.*

#### **17.5.11: Utilities**

*Staff: Utilities are proposed to be accessed from both Adams Way and Lawson Point. Sewer will be accessed from Adams Ranch Rd. Meters are all in fairly non-visible*



*locations. All of these connections should be verified with public works prior to building permit.*

#### **17.5.12: Lighting Regulations**

*Staff: A lighting plan and photometric study was provided. The plan seems to be meeting all of the lighting requirements of the CDC.*

#### **17.5.13: Sign Regulations**

*Staff: The address marker is to the east of the driveway, just outside of the GE. The distance from the marker to the edge of pavement appears to be roughly 30' which does not meet the requirement that the address needs to be posted within 20' of the roadway. The applicant should adjust the monument location prior to final review. The overall design, dimensions and lighting of the address monument are meeting both the sign and lighting regulations of the CDC.*

### **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

#### **17.6.1: Environmental Regulations**

*Staff: Fire Mitigation and Forestry Management: The applicant has included the 15' Zone 1 Fire Mitigation Area, but there are spruce trees within the Zone 1 area that are intended to be kept. The applicant should extend the Zone 1 fire area to include those spruce within the drip edge of the home.*

#### **17.6.6: Roads and Driveway Standards**

*Staff: The driveway is shown at a width of 12' plus two 2' shoulders which meets the requirement for a drive under 150' in length. The grade is between 1.9 and 4.9%.*

#### **17.6.8: Solid Fuel Burning Device Regulations**

*Staff: There is fireplace as well as an exterior firepit and both are indicated to run on natural gas.*

### **Chapter 17.7: BUILDING REGULATIONS**

#### **17.7.19: Construction Mitigation**

*Staff: The construction mitigation plan is showing dumpster, bear proof food trash container, port-a-john and a materials laydown area. The construction fencing surrounds the entire site and makes an effort to preserve undisturbed areas of GE where possible. There is appropriate silt fencing and erosion control logs shown. The parking is showing as one space, but there is a not indication additional off-site parking to be coordinated with the town. It should be noted that any disturbances in the GE will need to be revegetated to Town standards.*

**Staff Recommendation:** Staff recommends the DRB approve the Initial Architectural and Site Review for Lot AR613-C1, 101 Lawson Point, based on the findings and CDC requirements listed in the staff memo of record.

**Staff Note:** *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

#### **Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.



I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot AR 613-C1, based on the evidence provided within the Staff Report of record dated January 25, 2022, with the following specific approvals:

DRB Specific Approval:

- 1) Setback Encroachments – Driveway retaining wall and grading
- 2) Metal fascia
- 3) Tandem parking

And, with the following conditions:

- 1) Prior to final review the applicant shall revise the height compliance drawings to show maximum height.
- 2) Prior to final review, the applicant shall revise the landscaping plan to increase the diversity of species.
- 3) Prior to final review, the applicant shall revise the location of the address monument to be within 20' of the edge of pavement.
- 4) Prior to final review, the applicant shall revise the plans to show two exterior parking spaces.
- 5) Prior to final review, the applicant shall revise the fire mitigation plan by extending the Zone 1 area to include any spruce trees to be kept within the dripline of the home.
- 6) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 7) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 8) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 9) Prior to Certificate of Occupancy the applicant will enter into a revocable Encroachment Agreement with the Town for any approved encroachments in the general easement. This includes any encroachments that already exist on the property as well as any new encroachments.
- 10) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
- 11) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.



Date: November 5, 2021  
By: Kristine Perpar, Architect

Property address:

TBD Lawson Point; Lot ARC613-C  
Telluride, CO 81435

**Sent to:** MV DRB

**Re:** Development of a Single Family Residence

Dear Mountain Village Design Review Board,

The proposed home for Lot ARC613-C; Big Vanilla was designed to capture the views from the house, sensitivity to the site and neighbors and the existing topography.

Lot ARC613-C is currently vacant of structures with a small aspen grove of in the north east corner.

The driveway is situated to the north of the proposed structure, we are requesting a variance for a 4' high boulder wall and v-pan in the 8' set back to the west of the driveway.

We are also requesting a variance on the required parking spaces. We have two enclosed parking spaces and are asking the DRB to waive the 2 surface parking spaces due to the unique and limited space of this site.

Exterior elevations, plans and roof are simple in form. Roofs consist of a 12:12 gabled with 6:12 and 4:12 sheds. Exterior materials; stone, metal and wood accents were selected for their sensitivity to the environment, neighboring properties and for durability.

The proposed landscape plan is simple with revegetation plan and elevated terraces and planters.

Sincerely,



Kristine Perpar



GENERAL NOTES

**CONTRACT DOCUMENTS:**  
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPENCIES BETWEEN THE PARTS CHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE.

**ORGANIZATION:**  
THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

**CODE COMPLIANCE:**  
ALL WORK, MATERIALS, AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS, AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

**INTENT:**  
THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

**COORDINATION:**  
THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPENCIES, ERRORS OR OMMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

**SUBSTITUTIONS:**  
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

**SHOP DRAWINGS:**  
SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

**SAFETY & PROTECTION OF WORK:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



SHIFT

ARCHITECTS

P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
11.04.21  
PRELIMINARY  
DRB

PROJECT INFORMATION

ZONING	TOWN OF MOUNTAIN VILLAGE; SINGLE FAMILY
BUILDING CODE	IRC 2018
DESCRIPTION	2 STORY SINGLE FAMILY DWELLING
SCOPE	NEW 2 STORY WOOD FRAMED SINGLE FAMILY DWELLING W/ ATTACHED 2 CAR GARAGE, GROUND LEVEL COV'D DECKS & HOT TUB, 2ND STY DECKS COV'D AND UNCOVERED.

SITE DATA

SITE:	11,933.91 S.F. / .27 ACRES	PARKING ENCLOSED	2 SPACES PROVIDED
GROUND LEVEL:	2,671		
COV'D DECKS:	614	BUILDING HEIGHT ALLOWABLE	35'
2ND FLOOR:	1,466	BUILDING HEIGHT PROPOSED	<35'
2ND FLOOR COV'D DECKS:	183		
2ND FLOOR DECKS:	237		
ROOF COVERAGE:	4,001		
ALLOWABLE COVERAGE:	4,733.5 (40.0%)		
PROPOSED COVERAGE:	4,001 (33.5%)		

SHEET INDEX

GENERAL	
G1.1	COVER SHEET
CIVIL	
0	SURVEY
C1	GENERAL NOTES
C2	SITE GRADING & DRAINAGE PLAN
C3	UTILITY PLAN
C4	CONSTRUCTION MITIGATION PLAN

ARCHITECTURAL	
A1.1	SITE PLAN
A1.2	LANDSCAPE
A2.1	PROPOSED FLOOR PLANS
A2.2	PROPOSED FLOOR PLANS
A2.3	ROOF PLAN
A3.1	PROPOSED ELEVATIONS
A3.2	PROPOSED ELEVATIONS
A3.3	PROPOSED ELEVATIONS
A3.4	ELEVATION HEIGHT CALCS
A3.5	ELEVATION HEIGHT CALCS
A6.1	PERSPECTIVES
A6.2	PERSPECTIVES
A8.1	WINDOW SCHEDULE
A8.2	DOOR SCHEDULE
E1.1	1ST FL EXTERIOR LIGHTING PLANS
E1.2	2ND FL EXTERIOR LIGHTING PLANS

VICINITY MAP



PROJECT TEAM

**OWNER:**  
  
BIG VANILLA LLC  
PO BOX 837  
OPHIR, CO 81426

**ARCHITECT:**  
  
SHIFT ARCHITECTS  
100 W COLORADO STE. 211  
TELLURIDE, CO 81435  
P. 970.275.0263  
kristine@shift-architects.com

**GENERAL CONTRACTOR:**  
  
TBD

**STRUCTURAL:**  
  
TBD

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

COVER SHEET

SHEET NUMBER

G1.1



LEGEND

W

WATER VALVE

⊗

FIRE HYDRANT

⊙

CURB STOP

⊗

SEWER MANHOLE

☆

LAMP POST

—

SIGN

⊗

TRANSFORMER

○

TELEPHONE PEDISTAL

△

CABLE-TV PEDISTAL

○

FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970

●

FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632

●

FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24954

●

SET 1-1/2" ALUMINUM CAP ON 18" x 5/8" REBAR, L.S. 37970

(M)

MEASURED DIMENSIONS ACCORDING TO THIS SURVEY

(R)

RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 3786

This Existing Conditions Plan of Lot AR 613-C1, Town of Mountain Village, was prepared on July 09, 2017 and updated on June 17, 2021 and September 15, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc. being a Colorado Licensed Surveyor. It does not constitute a warranty, nor does it represent an improvement Survey Plat as defined in §§ 31-102 C.R.S.

P.L.S. NO. 37970 Date

LEGAL DESCRIPTION:

LOT AR 613-C1, TOWN OF MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT AR 613-C RECORDING DECEMBER 21, 2020, PLAT BOOK 1 AT PAGE 3786, AND ACCORDING TO THE REPLAT OF LOT AR 613-C RECORDING DECEMBER 21, 2020, PLAT BOOK 1 AT PAGE 3786, AND THE ADAMS RANCH COMMUNITY MAP, AMENDING THE ADAMS RANCH COMMUNITY RECORDED JUNE 1, 1999 IN PLAT BOOK 1 AT PAGE 2573, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

1. Easement research and legal description from Land Title Guarantee Company, Order No. TLR66011195, Policy No. 0X66011195.3611699, dated March 04, 2021 at 5:00 P.M.
2. BASIS OF BEARINGS: Found monuments along the western boundary of Lot AR 613-C1, as shown hereon, assumed to have the record bearing of N 04°26'01" W according to Plat Book 1 at page 3786.
3. BENCHMARK: The monument at the southwest property corner, as shown hereon, with an elevation of 9175.33 feet.
4. Contour interval is one foot.
5. Only trees 3" or greater in diameter were located during this survey.
6. Slopes greater than 30% have been shown hereon.
7. Underground utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
8. Foley Associates, Inc. is not aware of any known wetland areas located on this lot, but a wetland delineation was not performed. A wetland delineation should be performed before any construction, or the Owner should confirm with the Town of Mountain Village that one is not required.
9. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Existing Conditions Plan

Lot AR 613-C1, Town of Mountain Village,

located within the SW 1/4 of Section 33, T.43N, R.9W, N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr.: JH

Technician: MC

Checked by: DS

Start date: 09/15/2021

FOLEY ASSOCIATES, INC.

ENGINEERING PLANNING SURVEYING

970-728-6153

970-728-6050 Fax

P.O. BOX 1385

125 W. PACIFIC, SUITE B-1

TELLURIDE, COLORADO 81435

Drawing path: cwg\02133 EC Plan 09-21.dwg

Sheet1 of 1 Project #: 02133



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:  
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE  
NATURAL GAS: BLACK HILLS ENERGY  
POWER: SAN MIGUEL POWER  
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

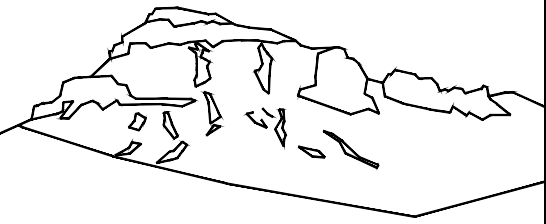
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).



Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2021-10-24

Lot AR613  
Lawson Point  
Mtn. Village, CO

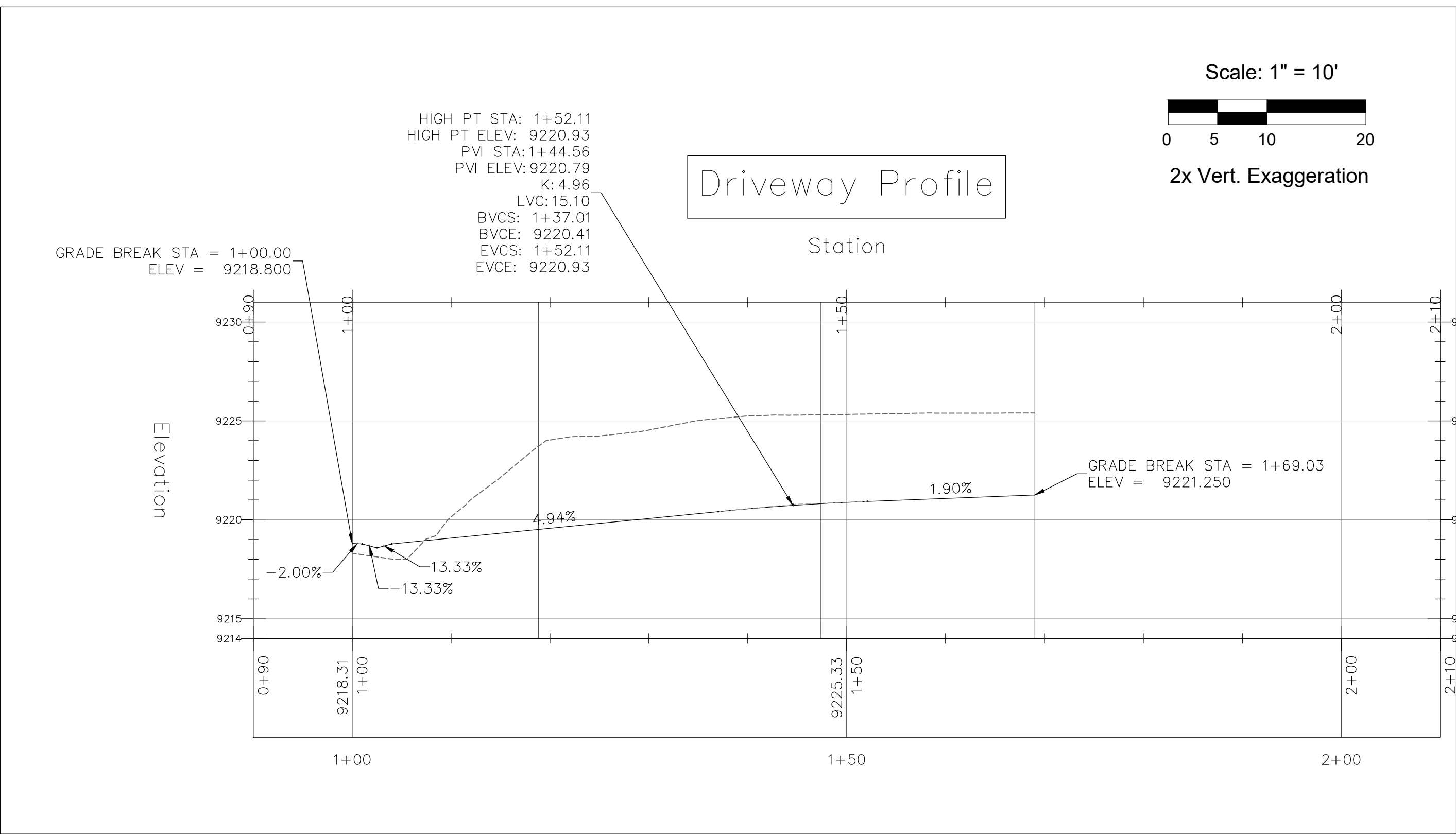
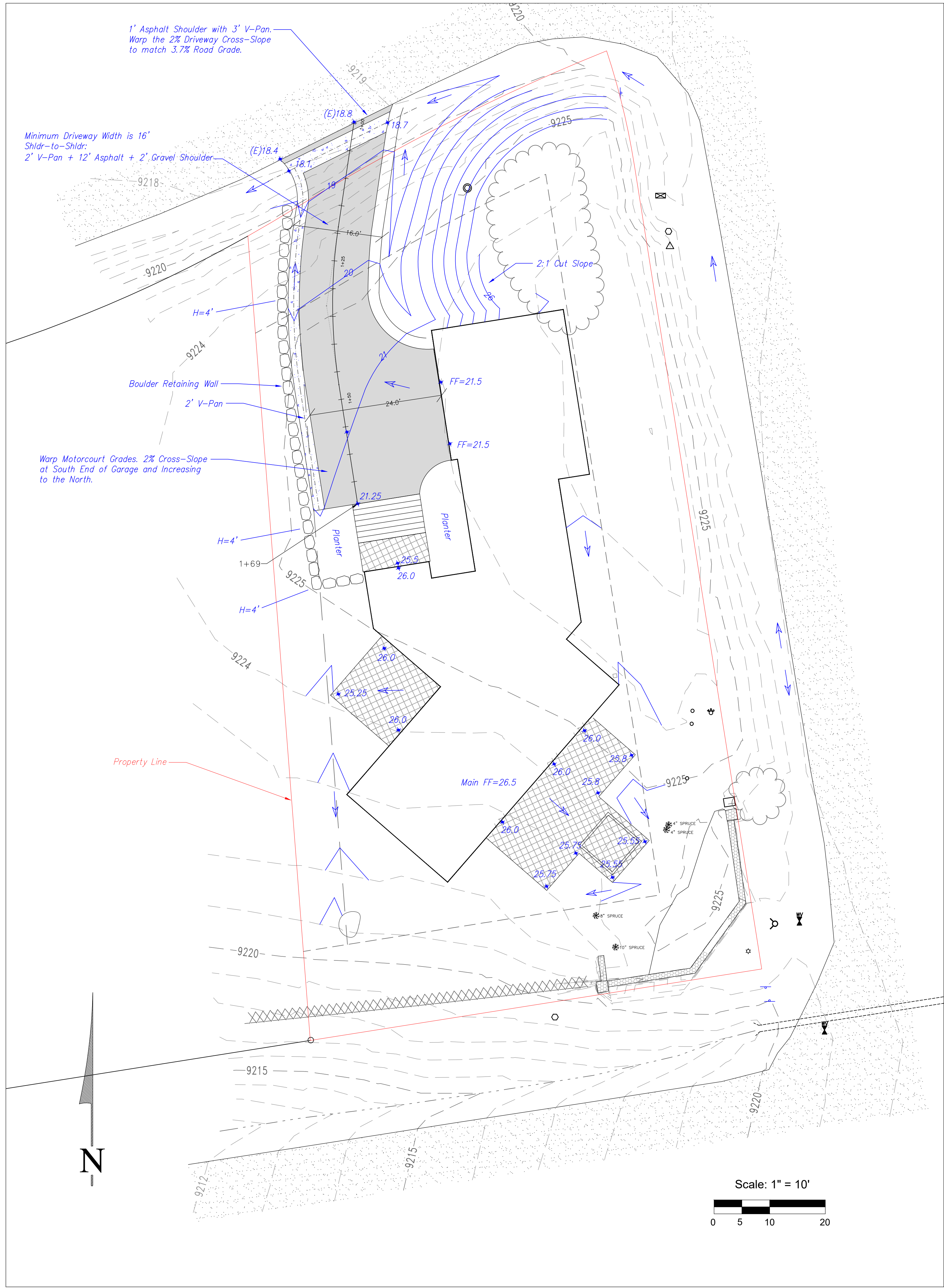


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1





**Uncompahgre Engineering, LLC**

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

**SUBMISSIONS:**

DRB SUBMITTAL 2021-10-24

Lot AR613  
Lawson Point  
Mtn. Village, CO

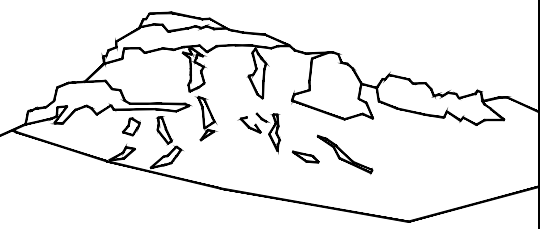
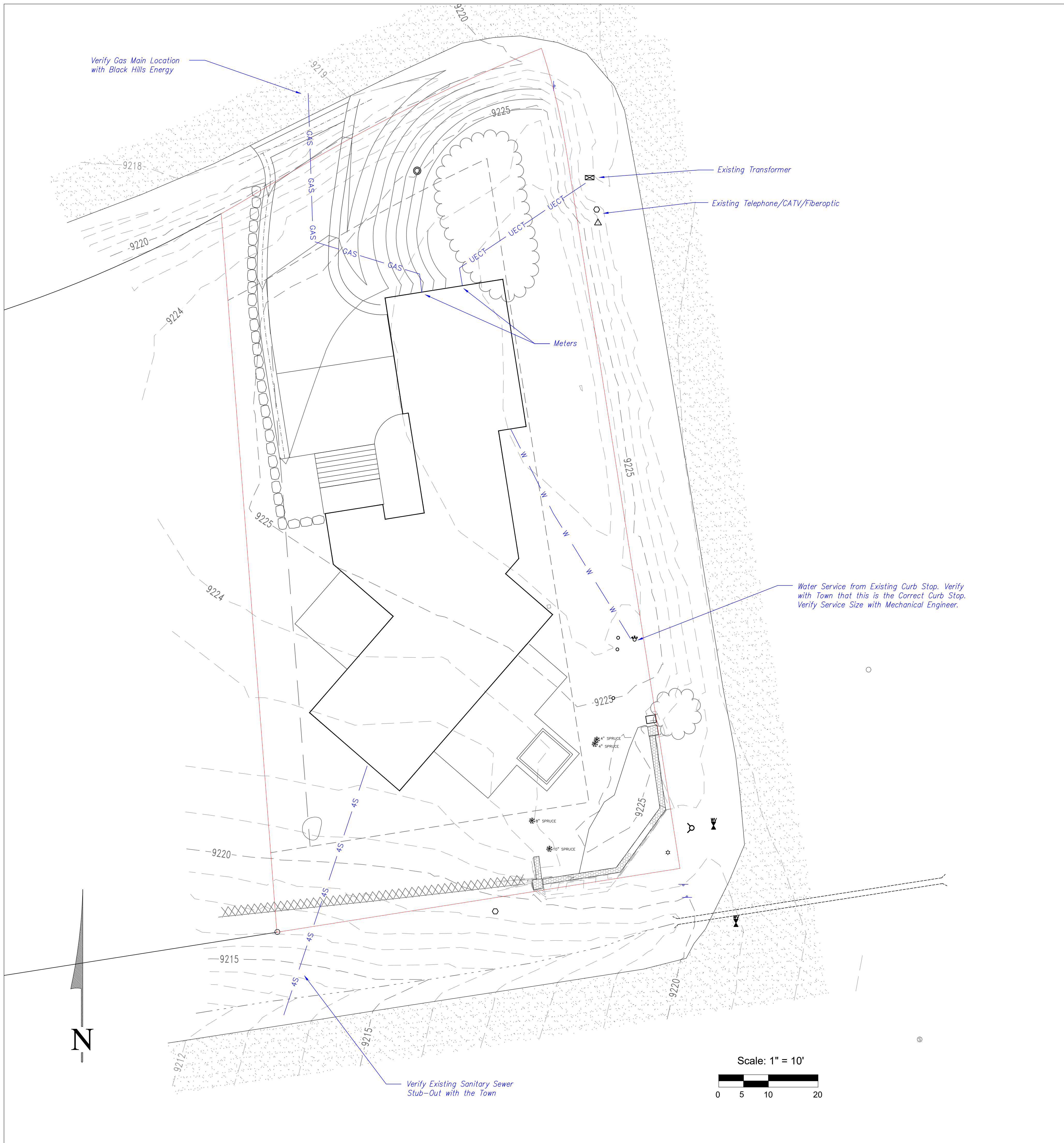
NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading  
with  
Driveway Profile

**C2**



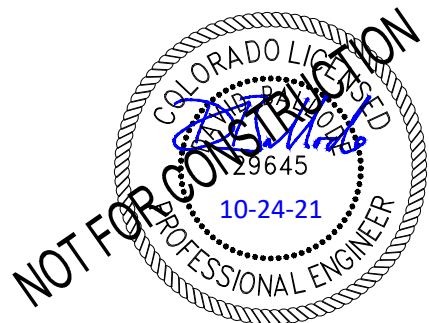


Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:  
DRB SUBMITTAL 2021-10-24

Lot AR613  
Lawson Point  
Mtn. Village, CO

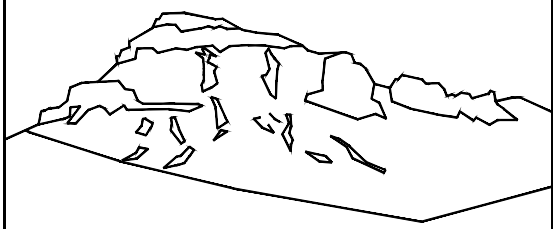
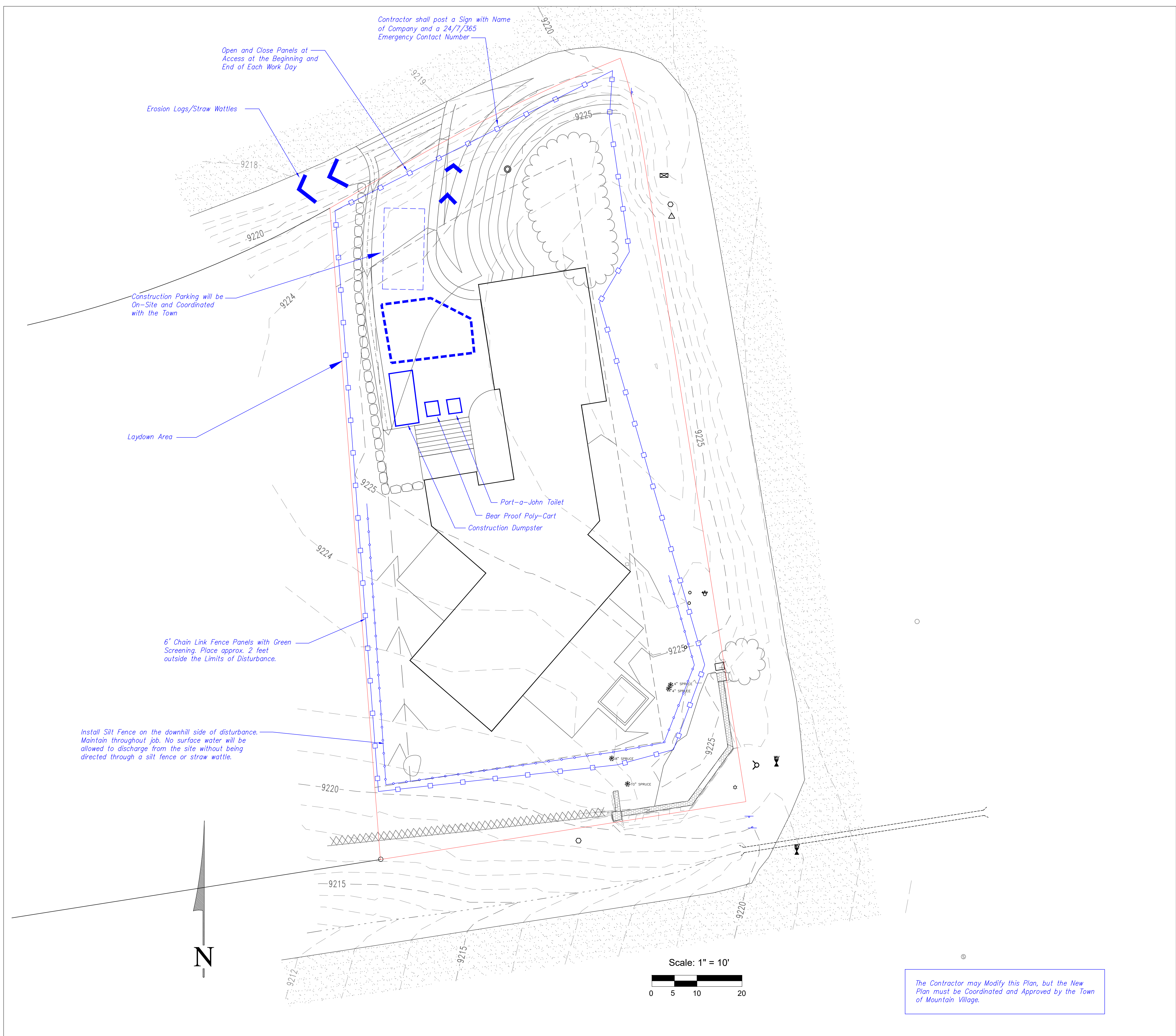


CONTRACTOR TO REVIEW AND COMPARE ALL  
CHAPTERS AND INTERDISCIPLINARY DRAWINGS  
AND REPORT ANY DISCREPANCIES TO THE  
ARCHITECT PRIOR TO ANY FIELD WORK BEING  
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3





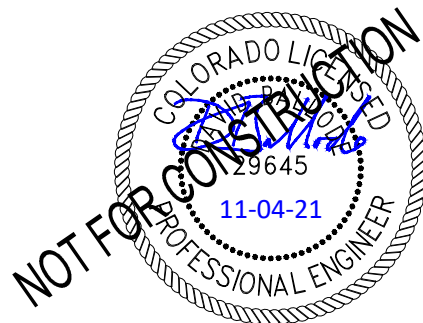
Uncompahgre  
Engineering, LLC

P.O. Box 3945  
Telluride, CO 81435  
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2021-10-24  
Revised Fence and Note 2021-11-04

Lot AR613  
Lawson Point  
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction  
Mitigation

C4





SITE DATA		
AREA	SQ.FT.	%
SITE	11,933.91	100.00
GROUND LEVEL	2,671.00	22.38
COVID DECKS (1ST...	614.00	5.14
2ND FLOOR	1,466.00	12.28
COVID DECKS (2ND...	183.00	1.53
2ND FLOOR DECKS	237.00	1.98
TOTAL ROOF COVG	4,001.00	33.52
ALLOWABLE COVG	4,733.56	40.00
PROPOSED COVG	4,001.00	33.52
AS PER MV CDC 17.3.13		

SHIFT

ARCHITECTS

P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
11.04.21 PRELIMINARY DRB

Revision Schedule		
Number	Date	Revision Description

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

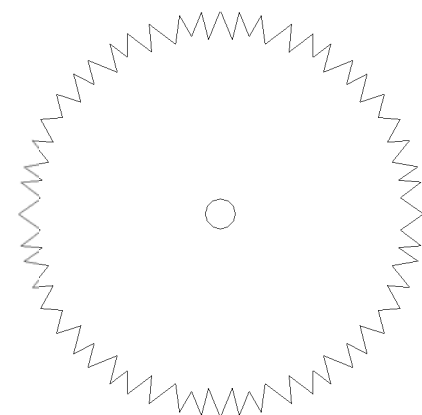
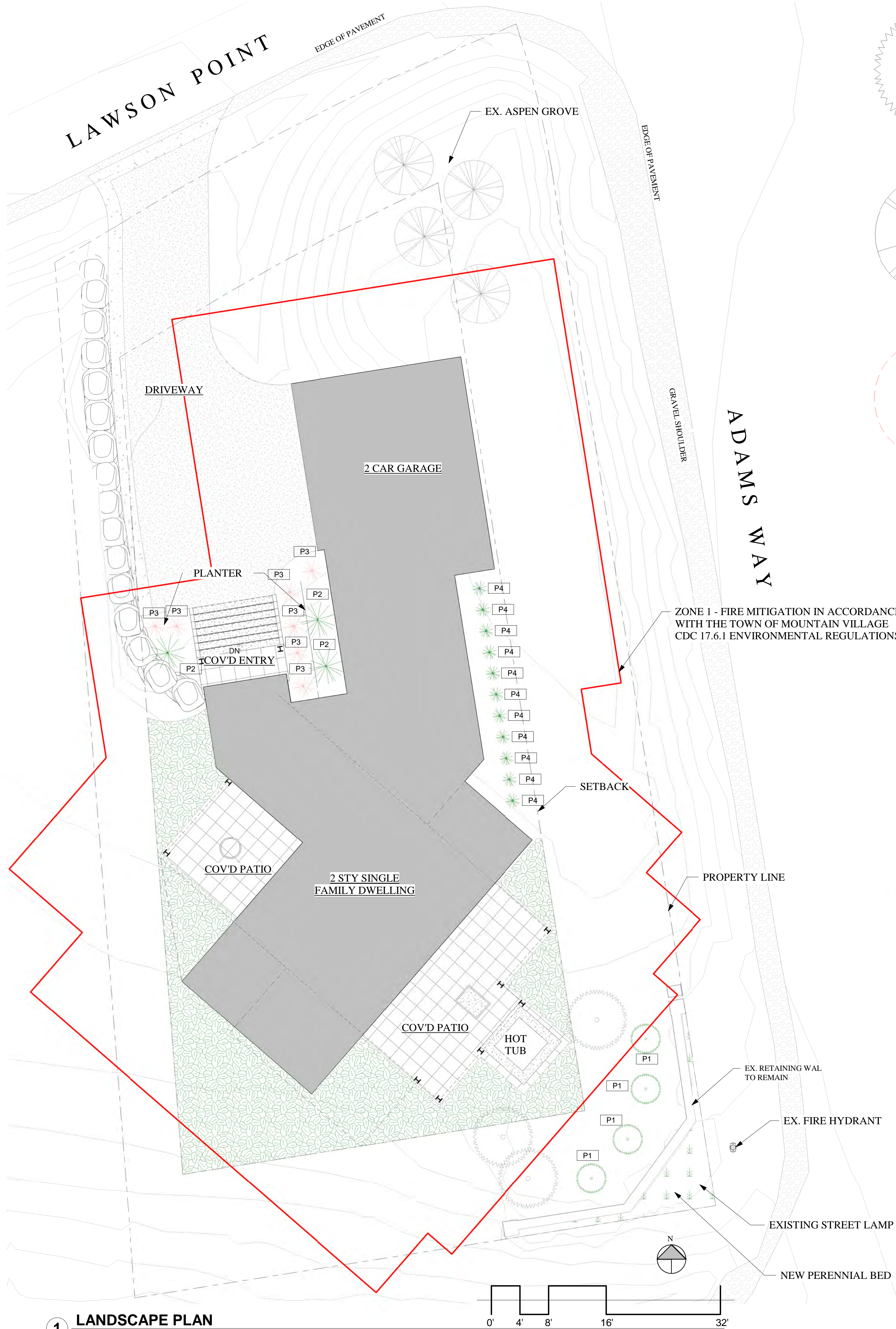
SITE PLAN

SHEET NUMBER

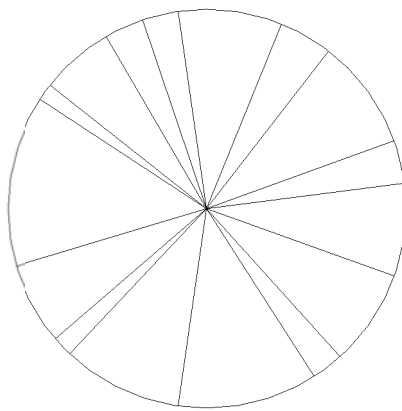
A1.1

11/5/2021 10:22:16 AM

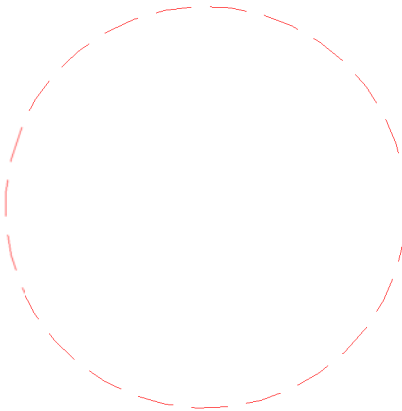




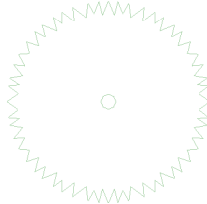
EXISTING SPRUCE TO REMAIN



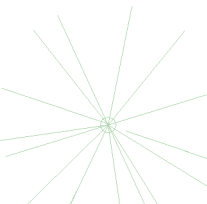
EXISTING ASPEN TO REMAIN



EXISTING TO BE REMOVED



COLORADO SPRUCE



NATIVE RED-BERRIED ELDER



COLORADO DOGWOOD



BOULDER RASBERRY



PERENNIAL BED



WILDFLOWER REVEGETATION ZONE

### GENERAL NOTES:

- ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
- ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STACKED WITH 4" METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
- MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- LANDSCAPING SHALL BE IN ACCORDANCE WITH L.U.C. "SECTION 3-505 MAINTENANCE, REMOVAL, OR RELOCATION OF TREES".

#### NOXIOUS WEEDS:

- ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY'S MOST CURRENT NOXIOUS WEED LIST.

#### LANDSCAPE MAINTENANCE NOTES:

- TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
- NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
- ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
- IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

### REVEGETATION NOTES:

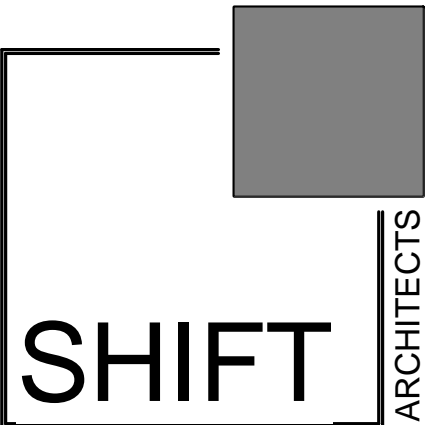
- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT OF SLOPES GREATER THAN 3:1) AND AMENDMENT ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED OR RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING THE SEED.
- BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
- ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

GRASS SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%
MOUNTAIN BROME (BROMAR)	15%

WILDFLOWER SPECIES	PURE LIVE SEED PER ACRE
INDIAN PAINTBRUSH	25%
ROCKY MOUNTAIN COLUMBINE	25%
YARROW	25%
SKY PILOT	25%

PLANTING SCHEDULE				
Type	LATIN NAME	Type Mark	SIZE	Count
COLORADO SPRUCE	PICEA PUNGENS	P1	10' (MIN.)	4
NATIVE RED-BERRIED ELDER	SAMBUCAS RACEMOSA	P2	3'	3
COLORADO DOGWOOD	CORNUS STOLONIFERA COLORADENSE	P3	5 GAL.	7
BOULDER RASBERRY	RUBAS DELICIOUS	P4	5 GAL.	11

Grand total: 25



P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
11.04.21 PRELIMINARY DRB

Revision Schedule		
Number	Date	Revision Description

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

LANDSCAPE

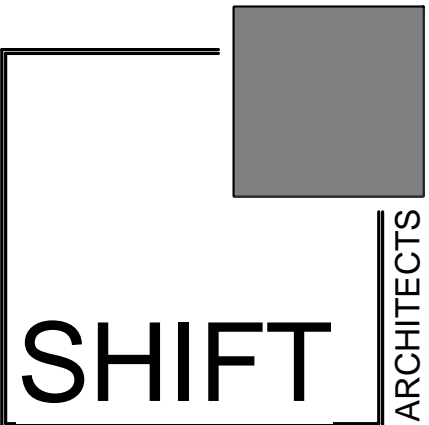
SHEET NUMBER

A1.2

11/5/2021 10:22:18 AM

©shift  
architects





P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
11.04.21 PRELIMINARY DRB

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

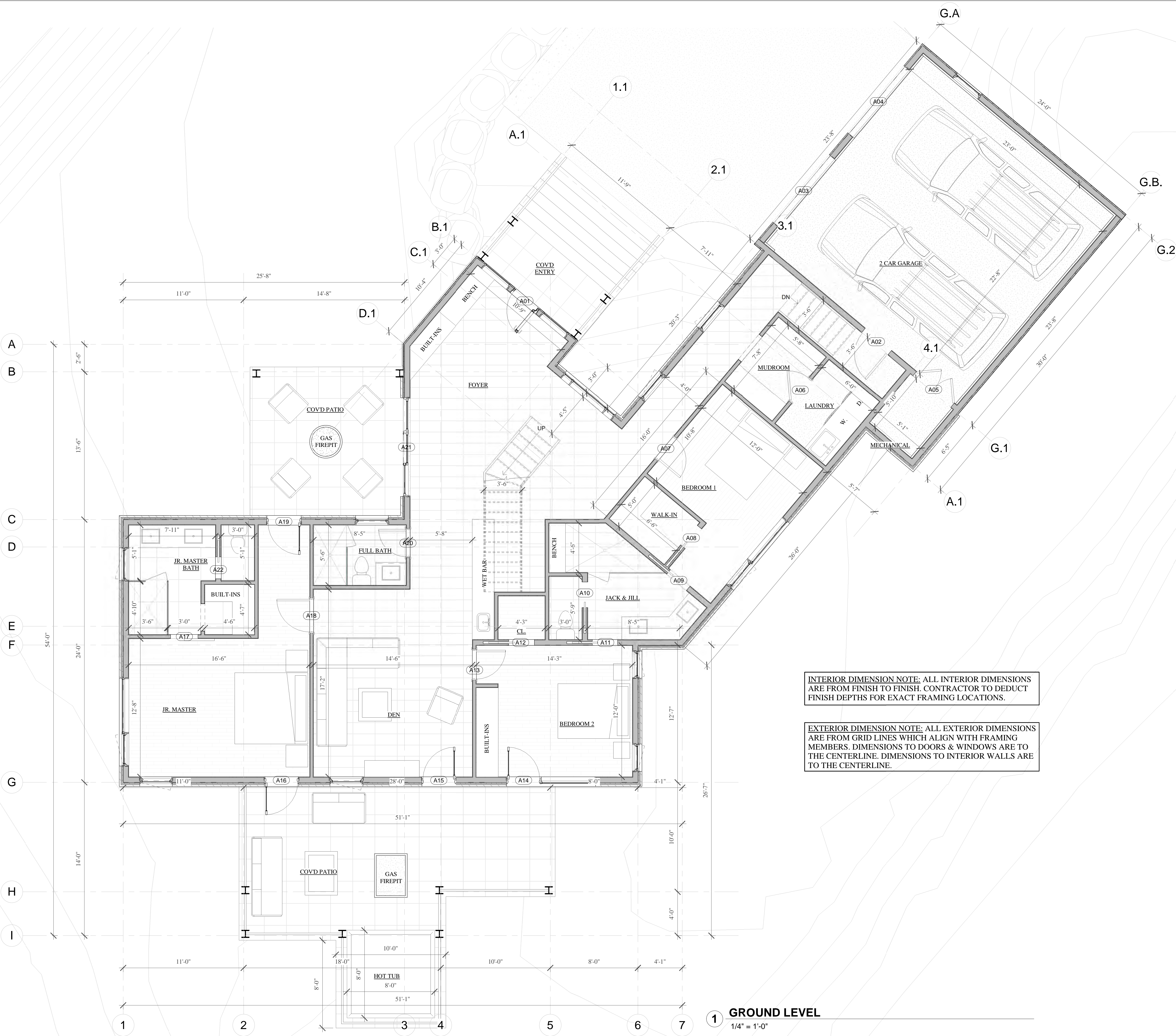
PROPOSED FLOOR  
PLANS

SHEET NUMBER

©shift  
architects

11/5/2021 10:22:19 AM

A2.1



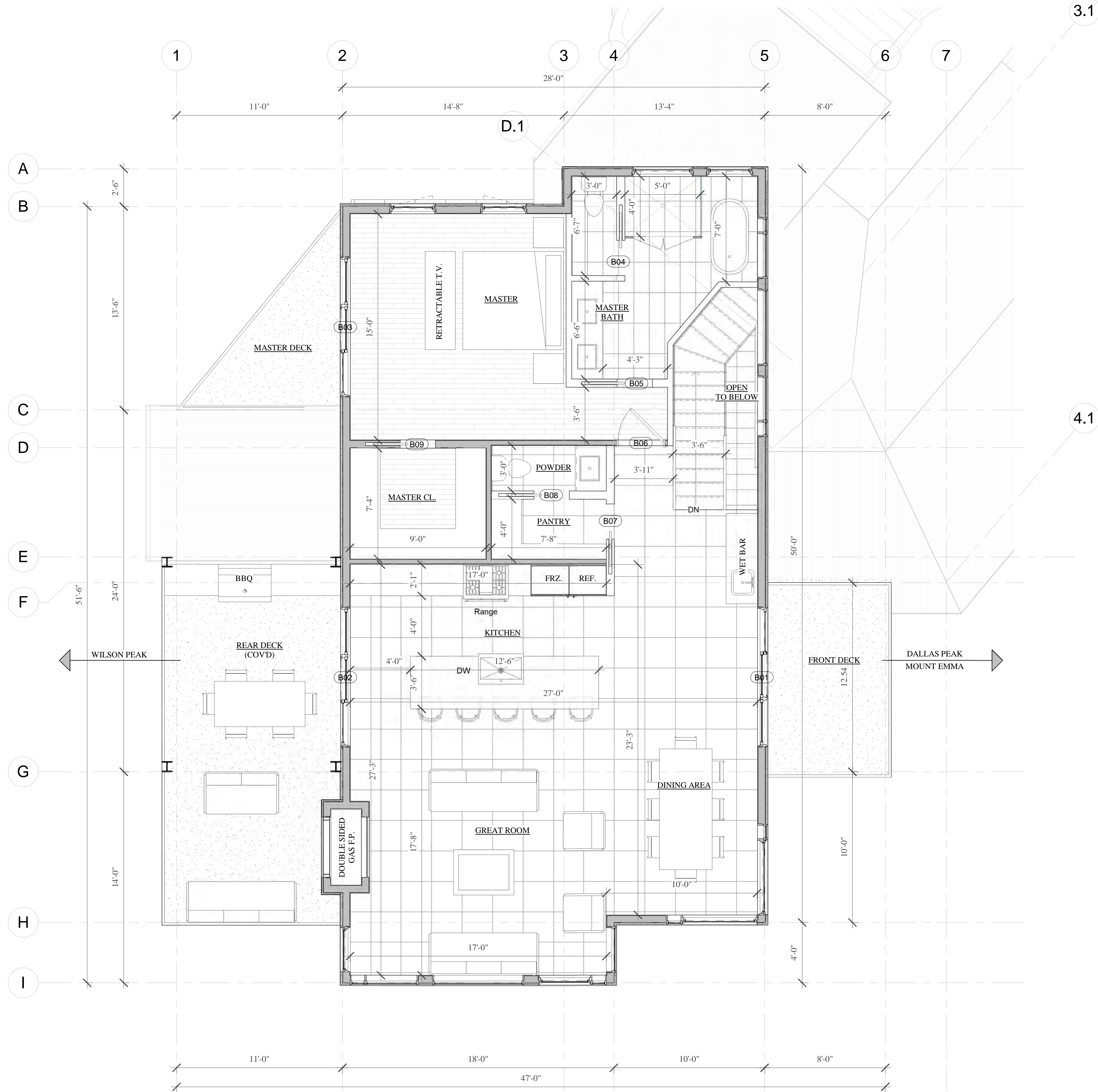
INTERIOR DIMENSION NOTE: ALL INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH. CONTRACTOR TO DEDUCT FINISH DEPTHS FOR EXACT FRAMING LOCATIONS.

EXTERIOR DIMENSION NOTE: ALL EXTERIOR DIMENSIONS ARE FROM GRID LINES WHICH ALIGN WITH FRAMING MEMBERS. DIMENSIONS TO DOORS & WINDOWS ARE TO THE CENTERLINE. DIMENSIONS TO INTERIOR WALLS ARE TO THE CENTERLINE.

GROUND LEVEL

1/4" = 1'-0"



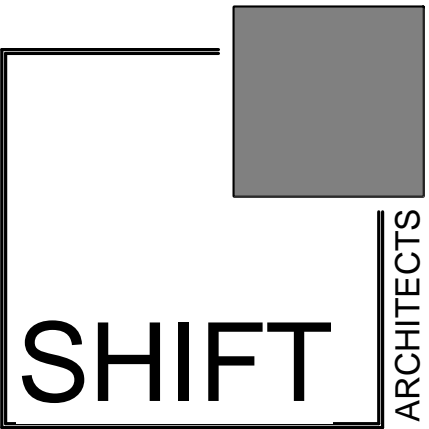


INTERIOR DIMENSION NOTE: ALL INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH. CONTRACTOR TO DEDUCT FINISH DEPTHS FOR EXACT FRAMING LOCATIONS.

EXTERIOR DIMENSION NOTE: ALL EXTERIOR DIMENSIONS ARE FROM GRID LINES WHICH ALIGN WITH FRAMING MEMBERS. DIMENSIONS TO DOORS & WINDOWS ARE TO THE CENTERLINE. DIMENSIONS TO INTERIOR WALLS ARE TO THE CENTERLINE.

1 2ND FLOOR  
1/4" = 1'-0"





P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

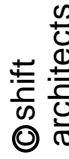
DATE:  
11.04.21 PRELIMINARY DRB

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

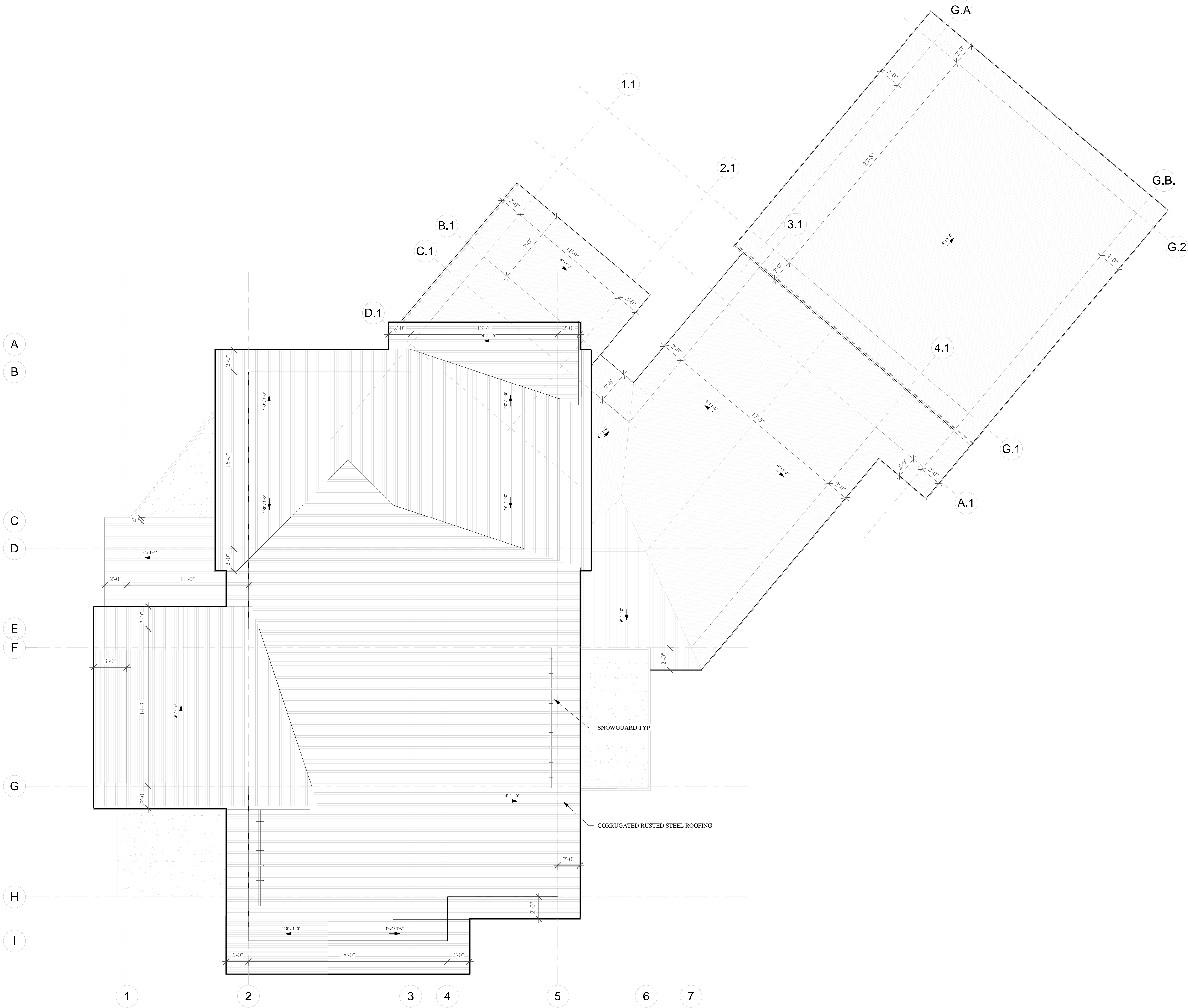
ROOF PLAN

SHEET NUMBER



A2.3

11/5/2021 10:22:23 AM



1 ROOF PLAN  
1/4" = 1'-0"





TELLURIDE AIRPORT STONE



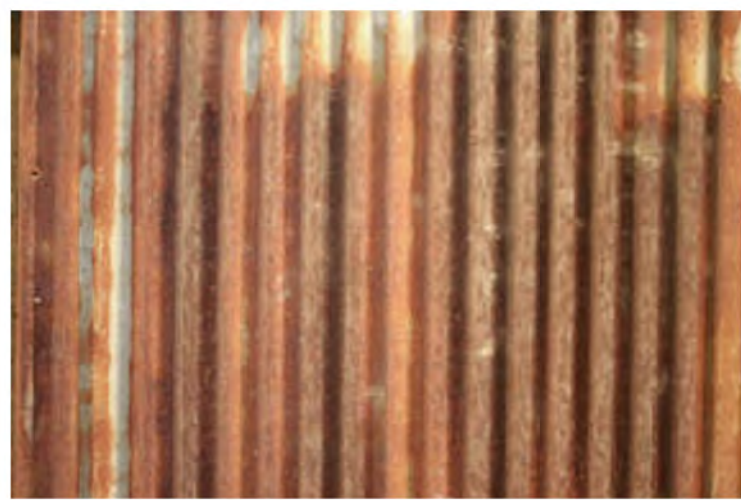
GRAY BARN WOOD



RUSTED HORIZONTAL STEEL SIDING



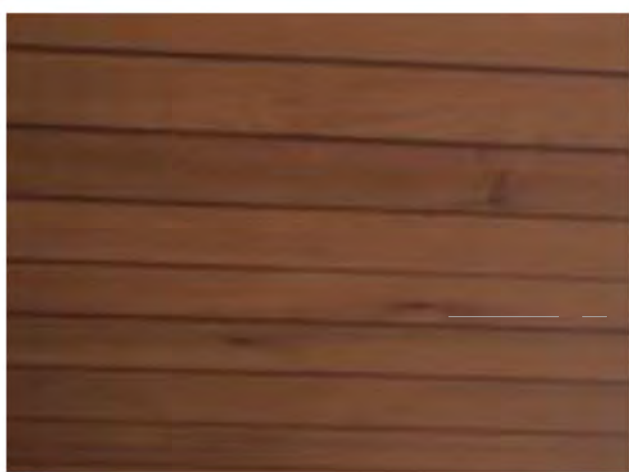
BRONZE WINDOWS



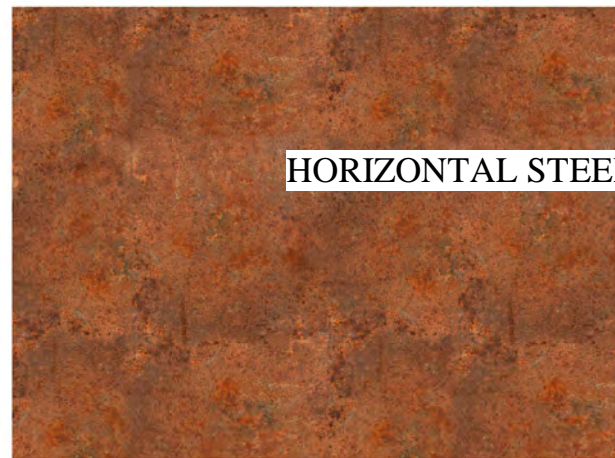
RUSTED STEEL CORRUGATED ROOFING



12X24 PAVERS  
1ST FL PATIOS



CEDAR T&G SOFFIT



RUSTED STEEL FASCIA



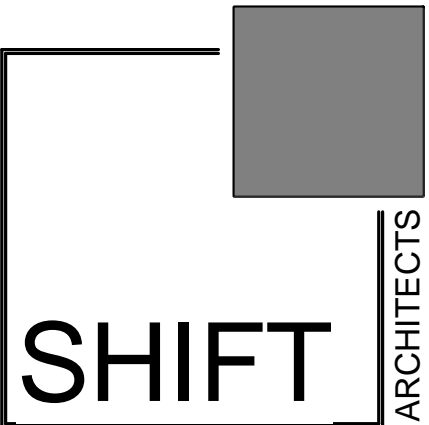
POLISHED CONCRETE  
2ND FLOOR DECKS

1 PROPOSED SOUTH EAST  
1/4" = 1'-0"

ELEVATION	MATERIAL (S.F.)					TOTALS
	STONE	WOOD SIDING	STEEL SIDING	GLAZING	OPAQUE DOORS	
SOUTH EAST	443.29	160.61	13.42	285.65	0	902.97
SOUTH WEST	420.47	181.67	113.86	275.1	0	991.10
NORTH WEST	272.55	93.96	79.56	67.57	0	513.64
WEST	155.88	0	308.93	50.6	128.0	643.41
NORTH	26.74	0	241.51	96.11	24.0	388.36
EAST	197.32	0	299.02	69.8	0	566.14
SOUTH	50.86	0	145.39	0	0	196.25
NORTH EAST	134.34	281.71	0	226.82	0	642.87
TOTALS	1,701.45	717.95	1201.69	1,071.65	152.00	4,844.74
PERCENTAGE	35.11%	14.81%	24.80%	22.11%	3.13%	100%



2 PROPOSED SOUTH WEST  
1/4" = 1'-0"



P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
11.04.21 PRELIMINARY DRB

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

PROPOSED  
ELEVATIONS

SHEET NUMBER

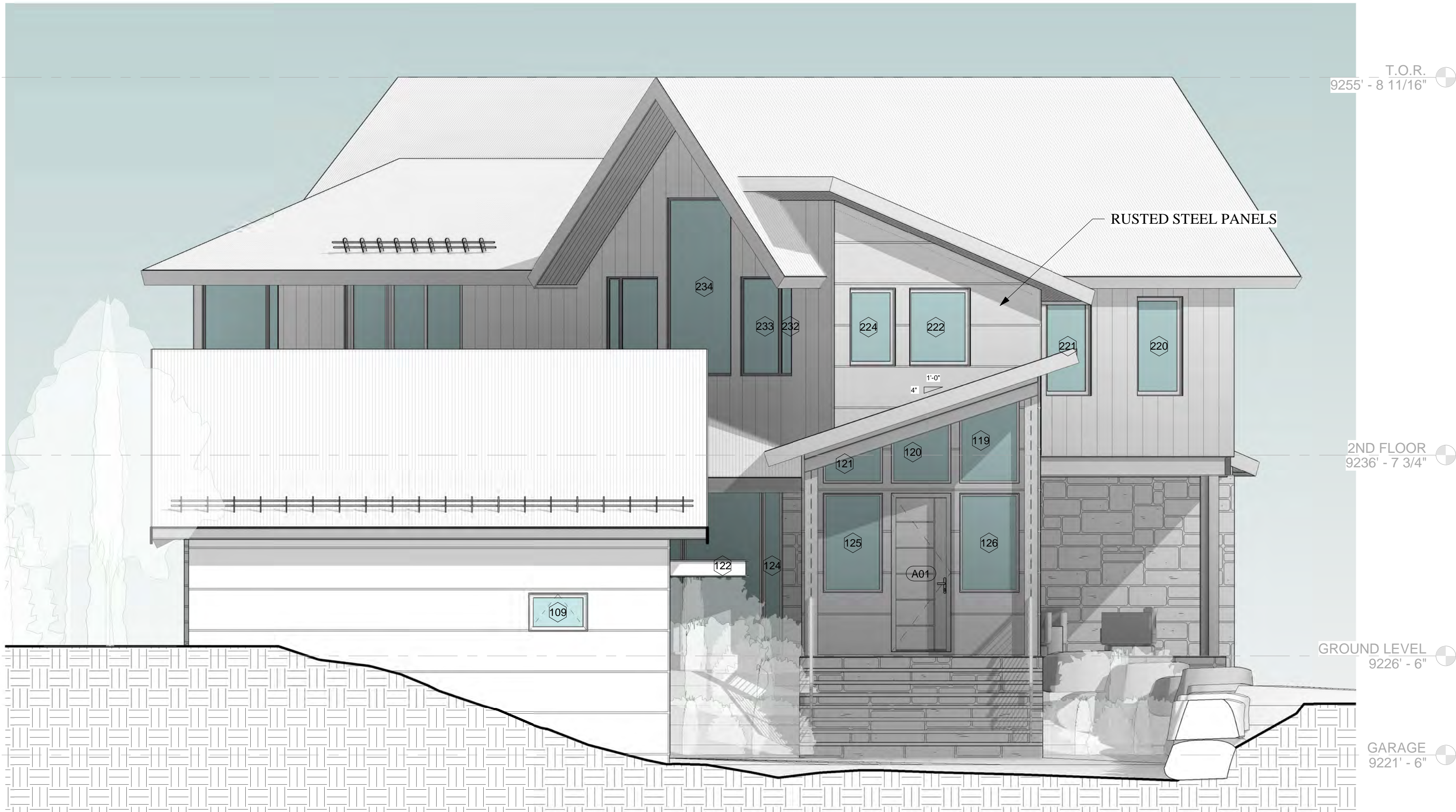
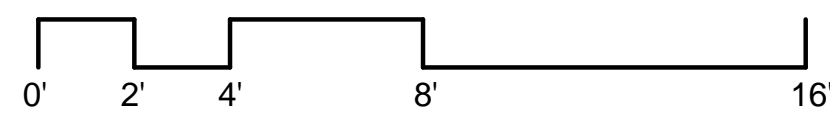
A3.1

11/5/2021 10:22:37 AM

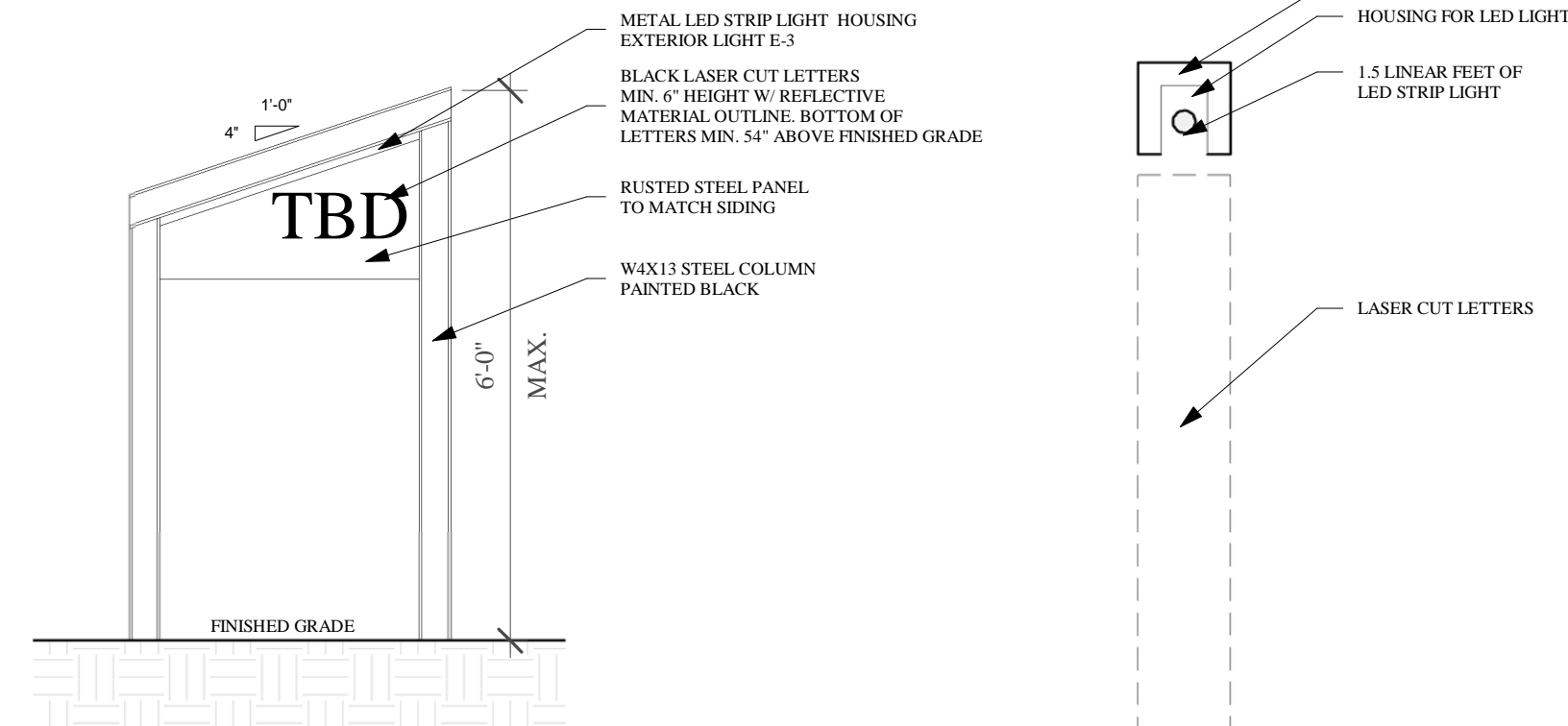
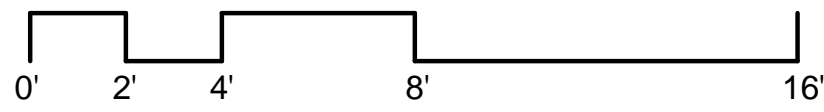




1 PROPOSED WEST  
1/4" = 1'-0"



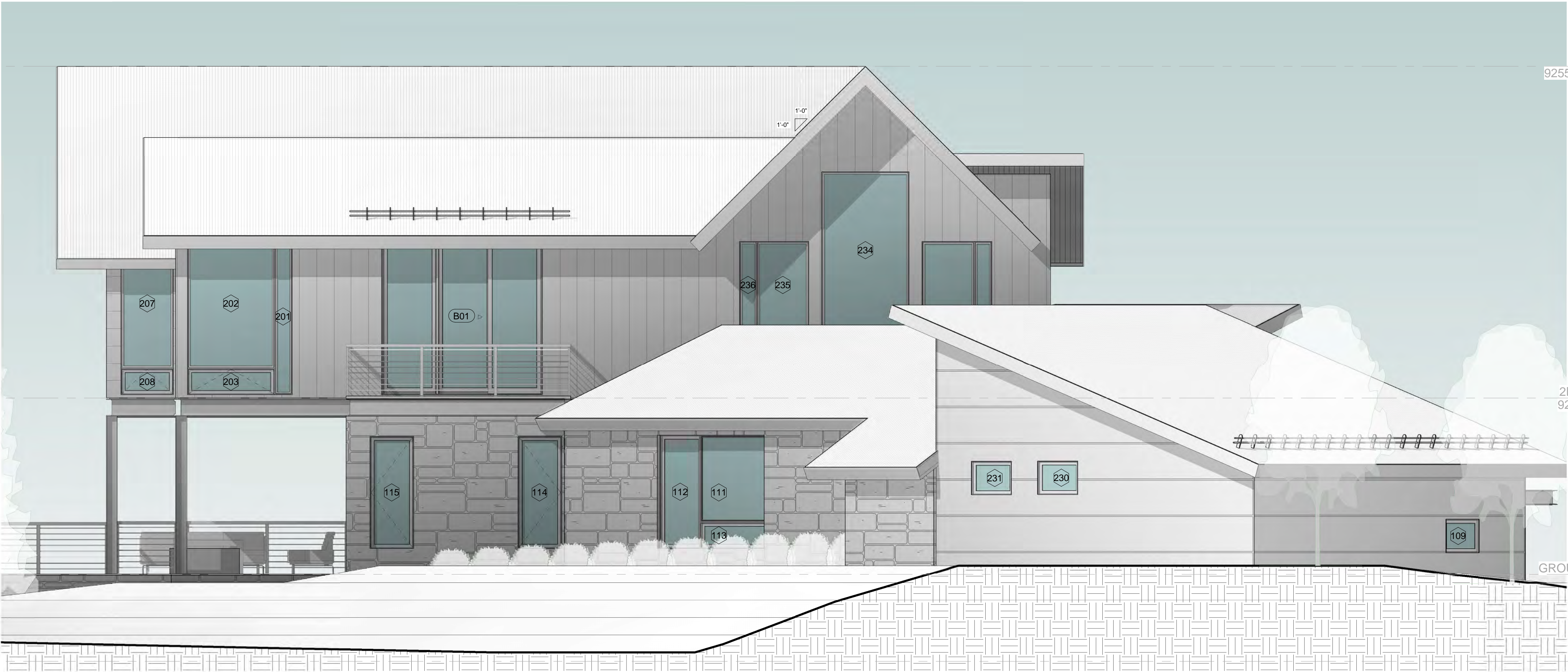
2 PROPOSED NORTH  
1/4" = 1'-0"



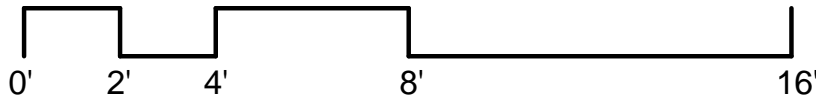
3 ADDRESS MOUNUMENT  
1/2" = 1'-0"

4 RECESSED LED MONUMENT LIGHT DETAIL  
6" = 1'-0"

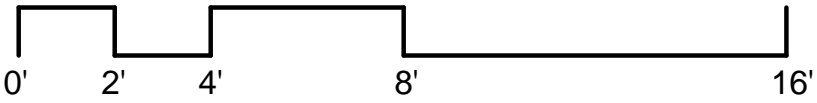




1 PROPOSED NORTH EAST  
1/4" = 1'-0"



2 PROPOSED EAST  
1/4" = 1'-0"



BIG VANILLA

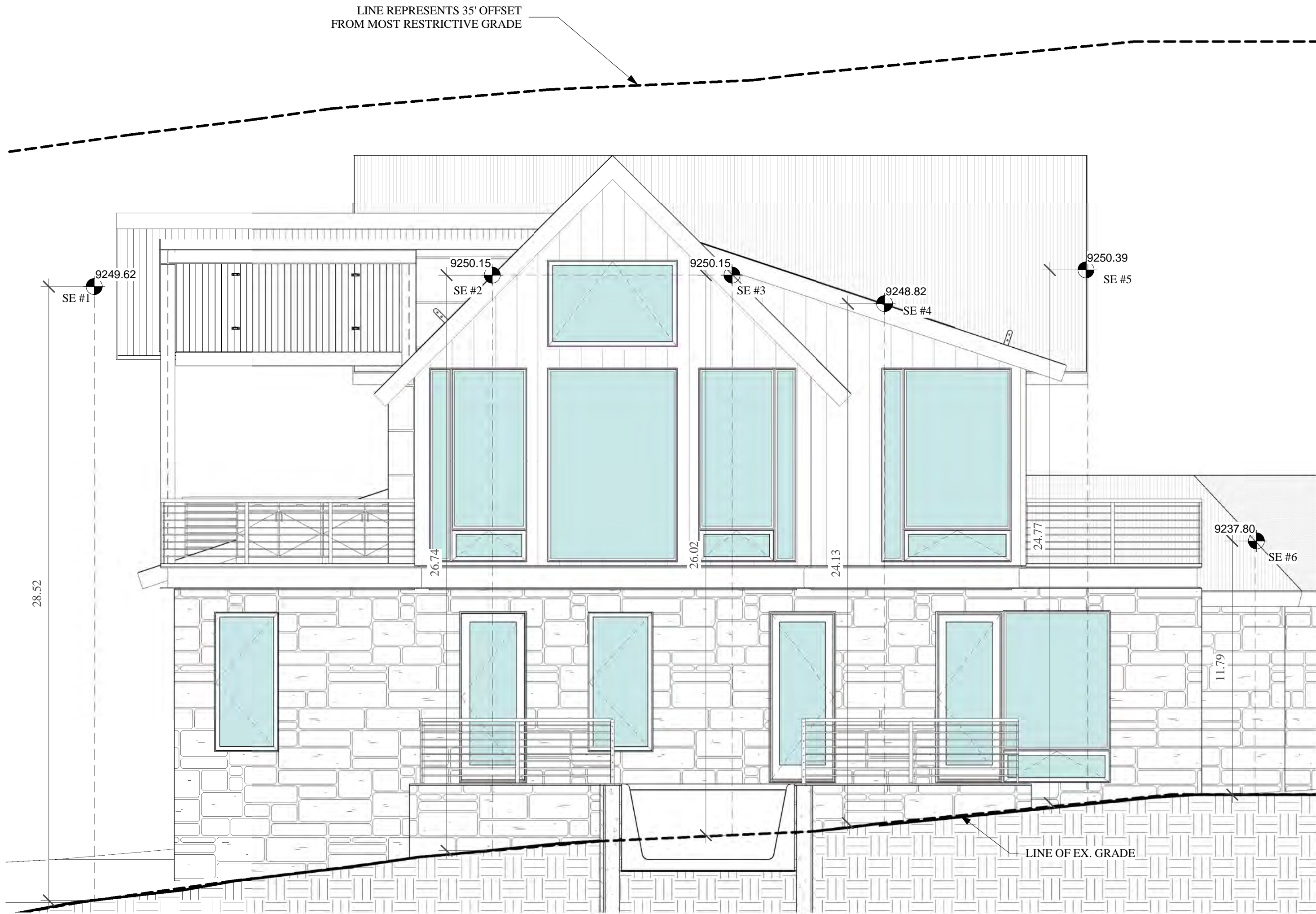
LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

PROPOSED  
ELEVATIONS

SHEET NUMBER

A3.3

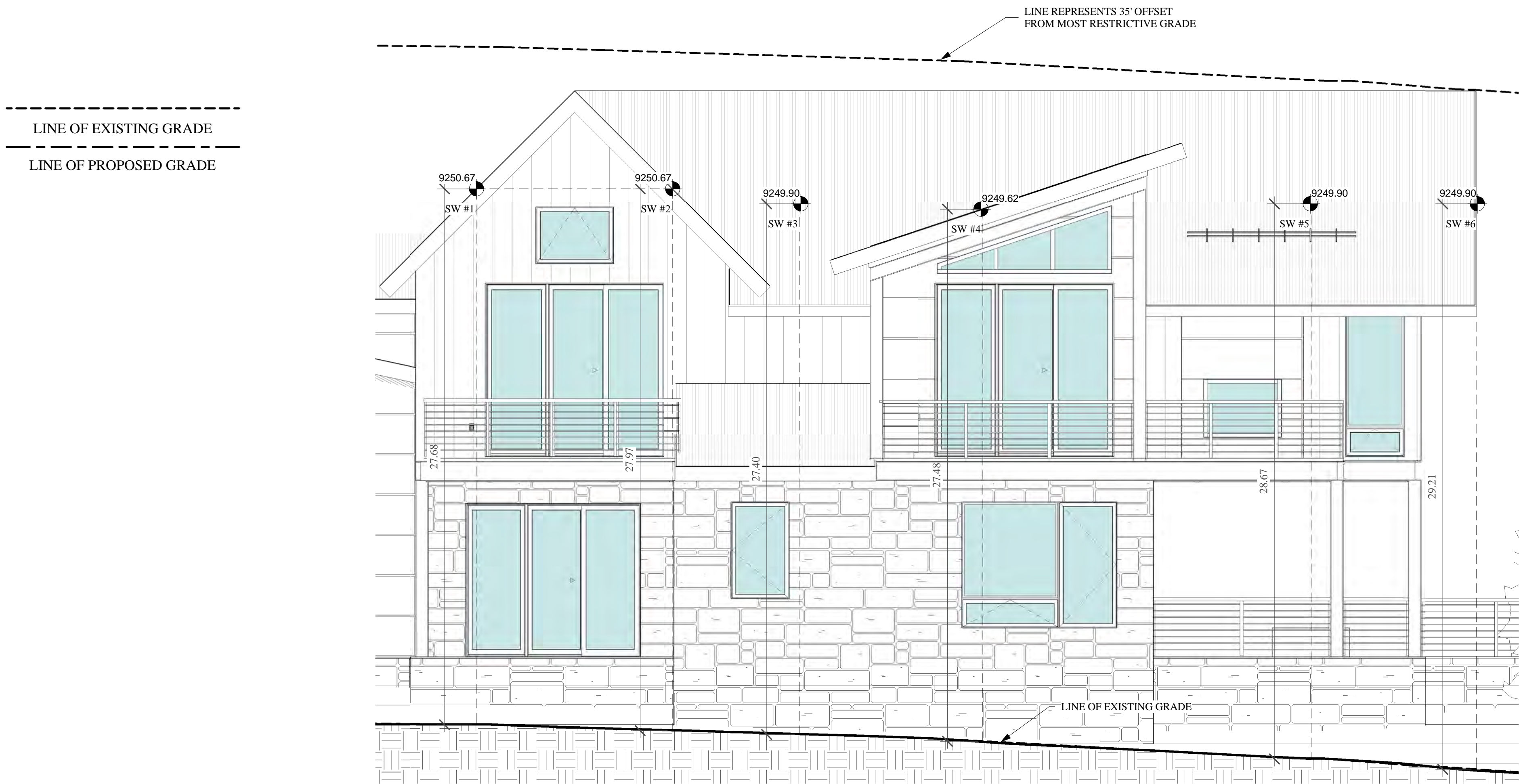




1 SOUTH EAST HEIGHT CALCS  
1/4" = 1'-0"



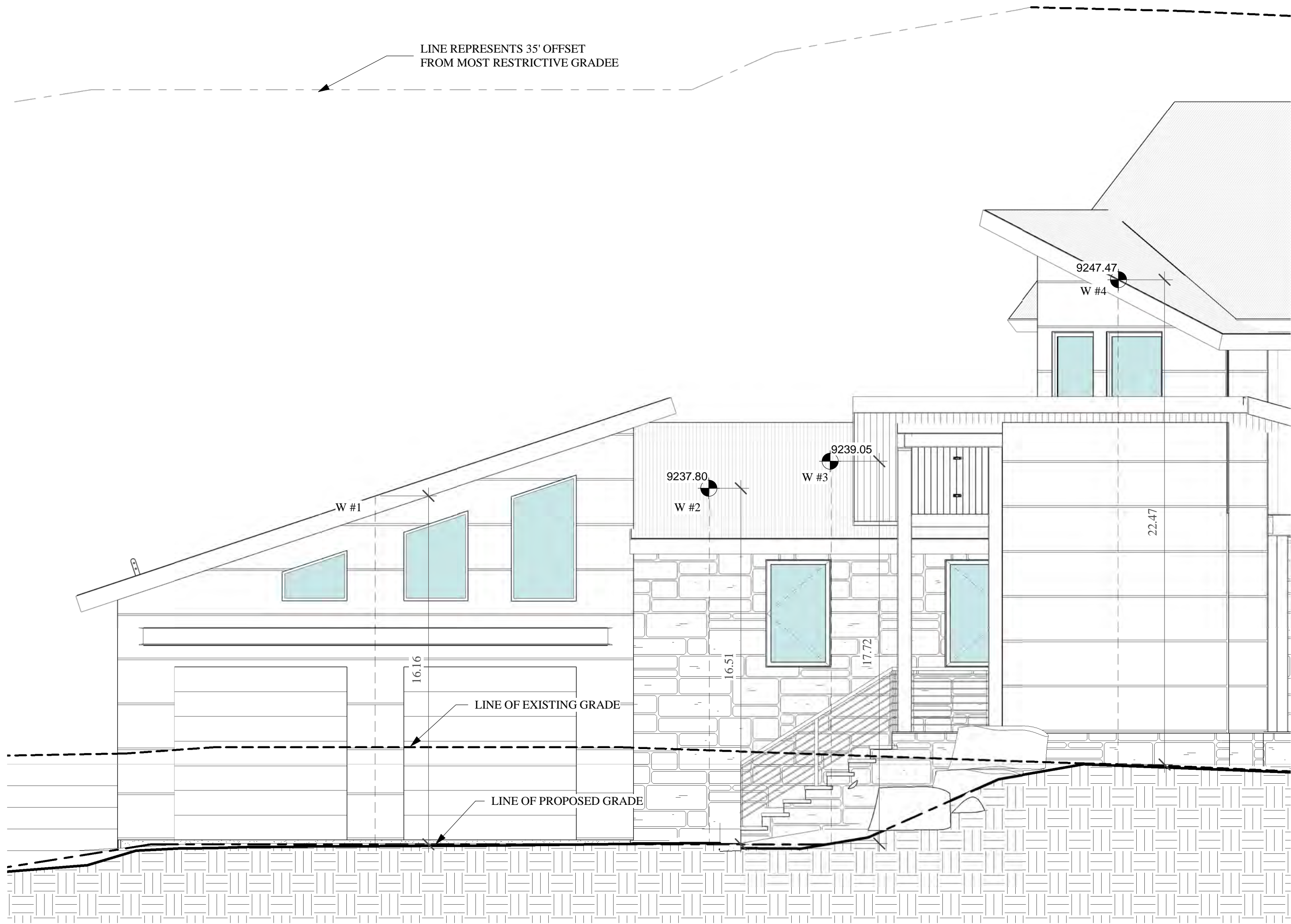
2 NORTH WEST HEIGHT CALCS  
1/4" = 1'-0"



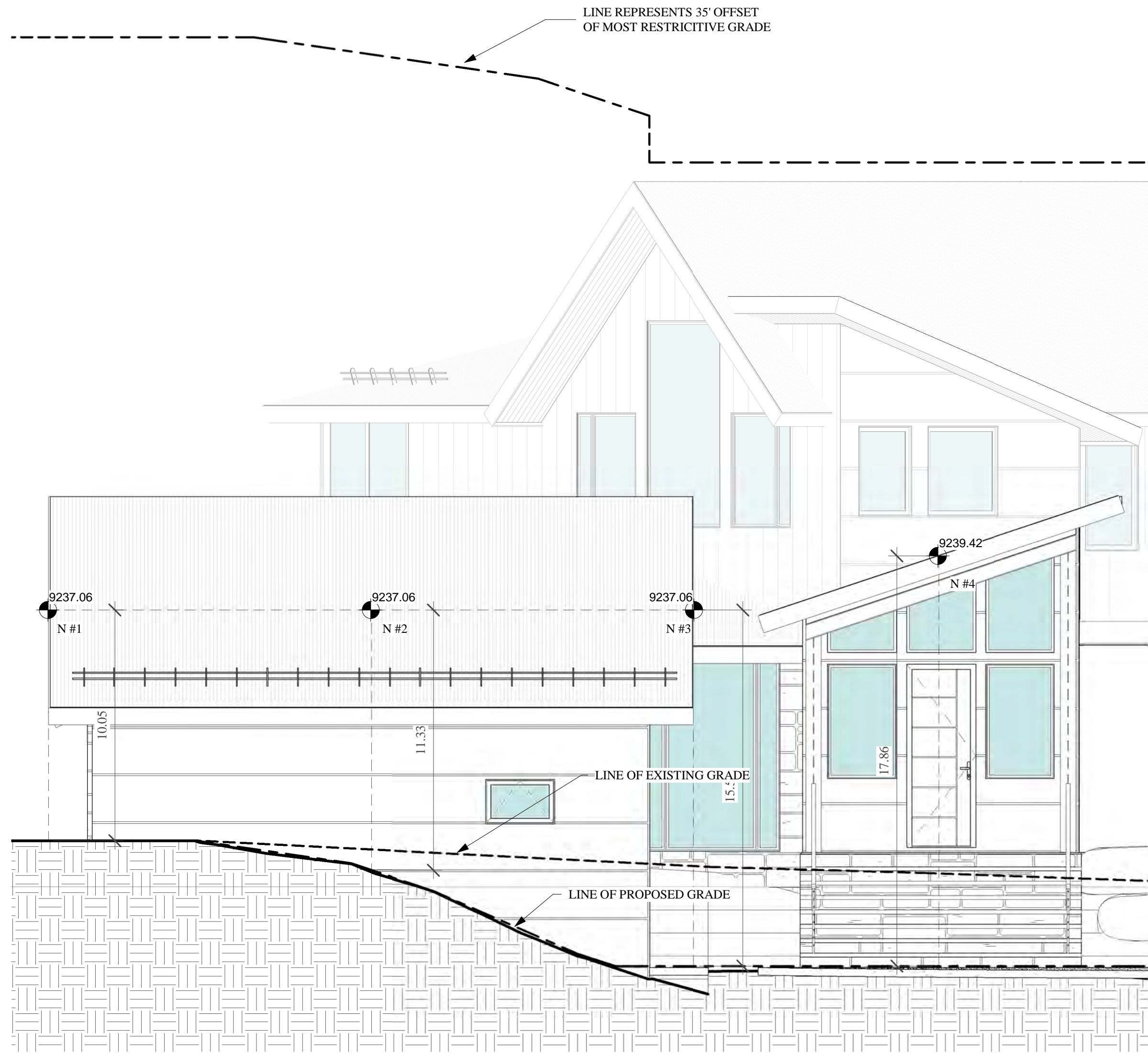
3 SOUTH WEST HEIGHT CALCS  
1/4" = 1'-0"

AVERAGE HEIGHT CALCULATION	
POINT	HEIGHT
SE #1	28.52
SE #2	26.74
SE #3	26.02
SE #4	24.13
SE #5	24.77
SE #6	11.79
SOUTH EAST AVG.	23.66'
SW #1	27.68
SW #2	27.97
SW #3	27.40
SW #4	27.48
SW #5	28.67
SW #6	29.21
SOUTH WEST AVG.	28.06
NW #1	28.70
NW #1	24.76
NW #1	25.75
NW #1	26.43
NW #1	26.48
NORTH WEST AVG.	26.42
W #1	16.16
W #2	16.51
W #3	17.72
W #4	22.47
WEST AVG.	18.21
N #1	10.05
N #2	11.33
N #3	15.51
N #4	17.86
NORTH AVG.	13.68
E #1	23.90
E #2	11.02
E #3	10.80
E #4	9.40
E #5	10.45
EAST AVG.	13.11
TOTAL AVG.	20.52
AS PER SEC 17.3.11	

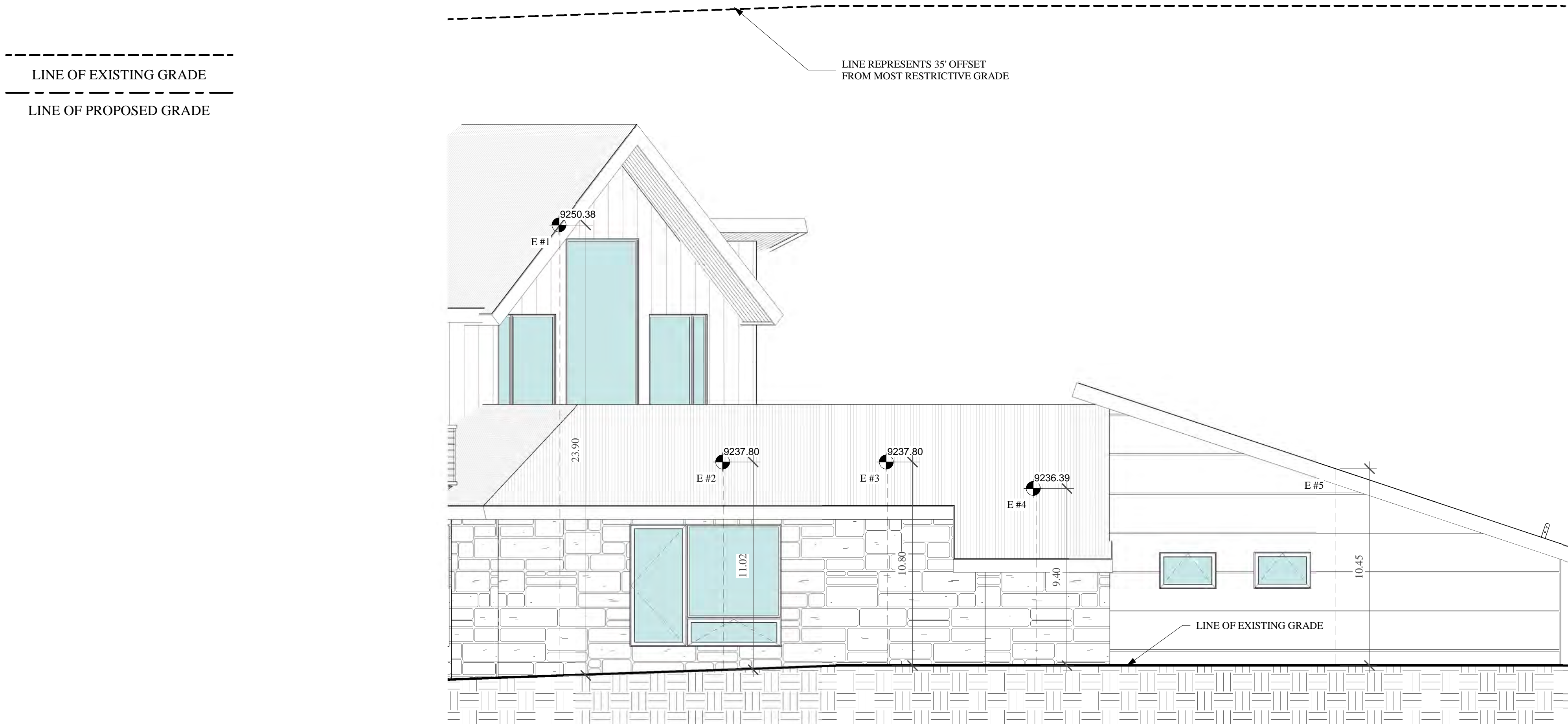




1 WEST HEIGHT CALCS  
1/4" = 1'-0"

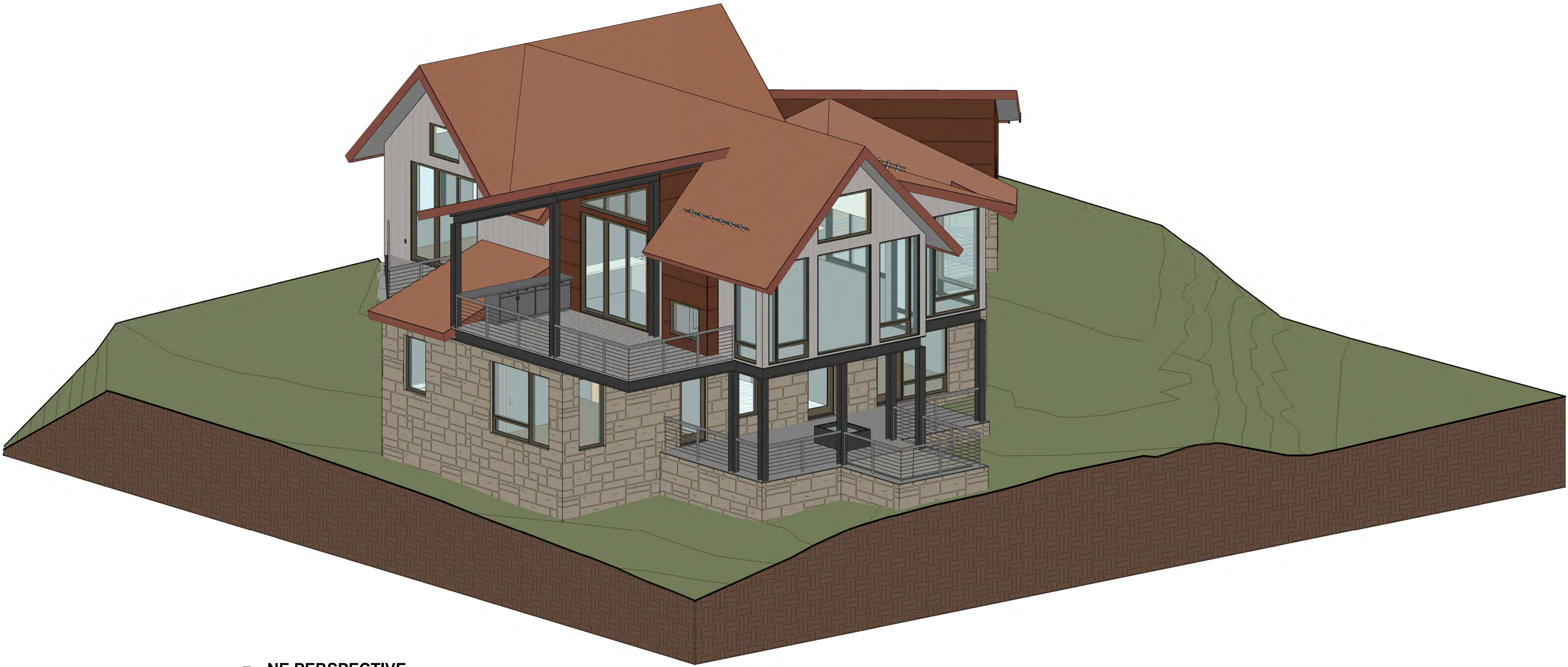


2 NORTH HEIGHT CALCS  
1/4" = 1'-0"



3 EAST HEIGHT CALCS  
1/4" = 1'-0"

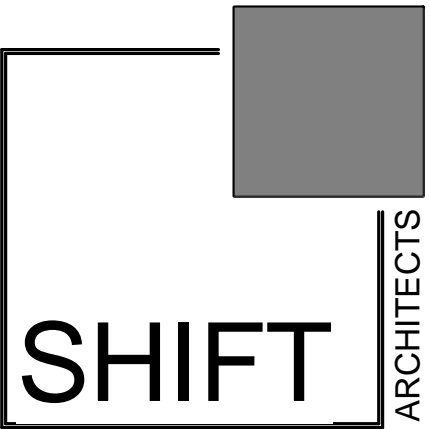




1 NE PERSPECTIVE



2 NW PERSPECTIVE



P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
11.04.21 PRELIMINARY DRB

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

PERSPECTIVES

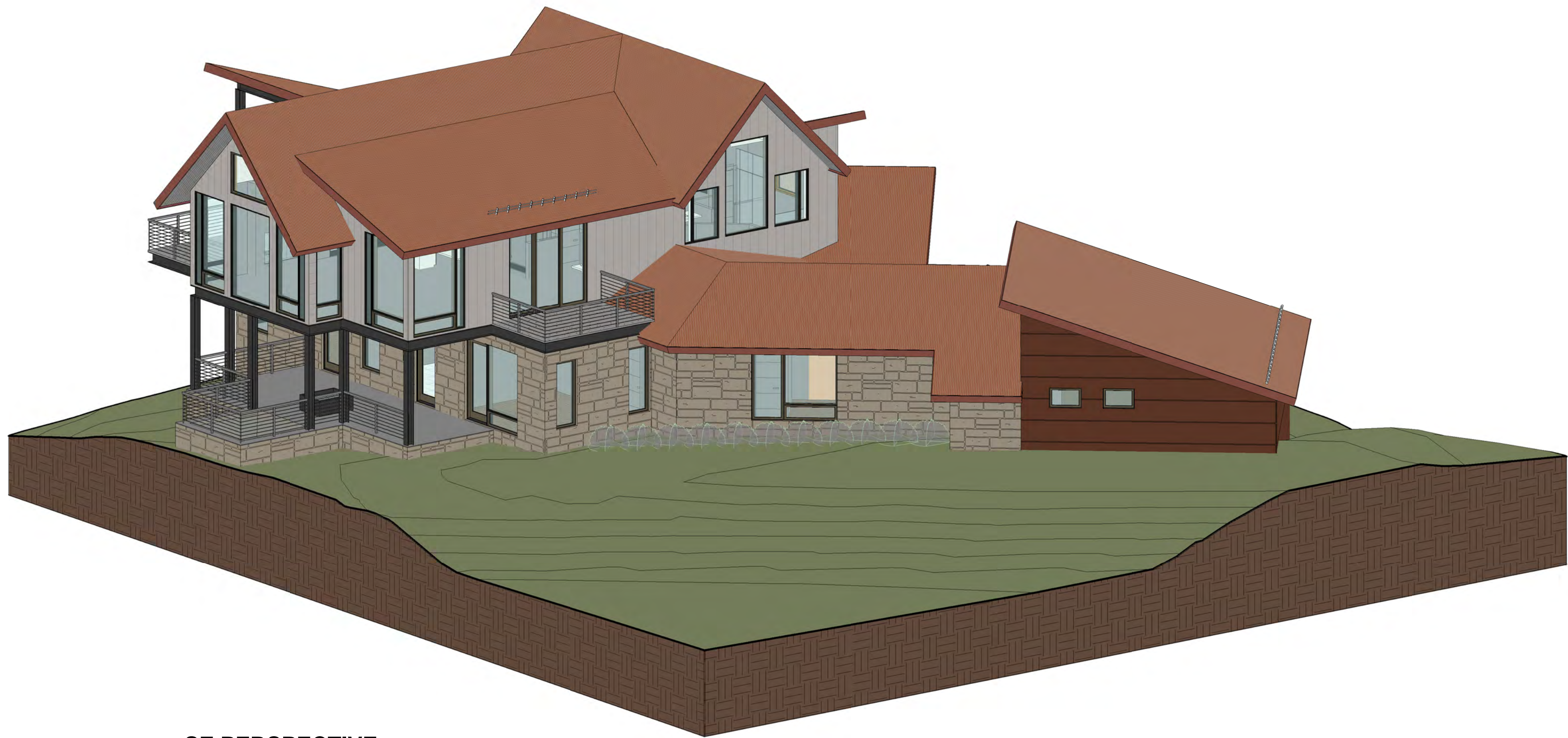
©shift  
architects

SHEET NUMBER

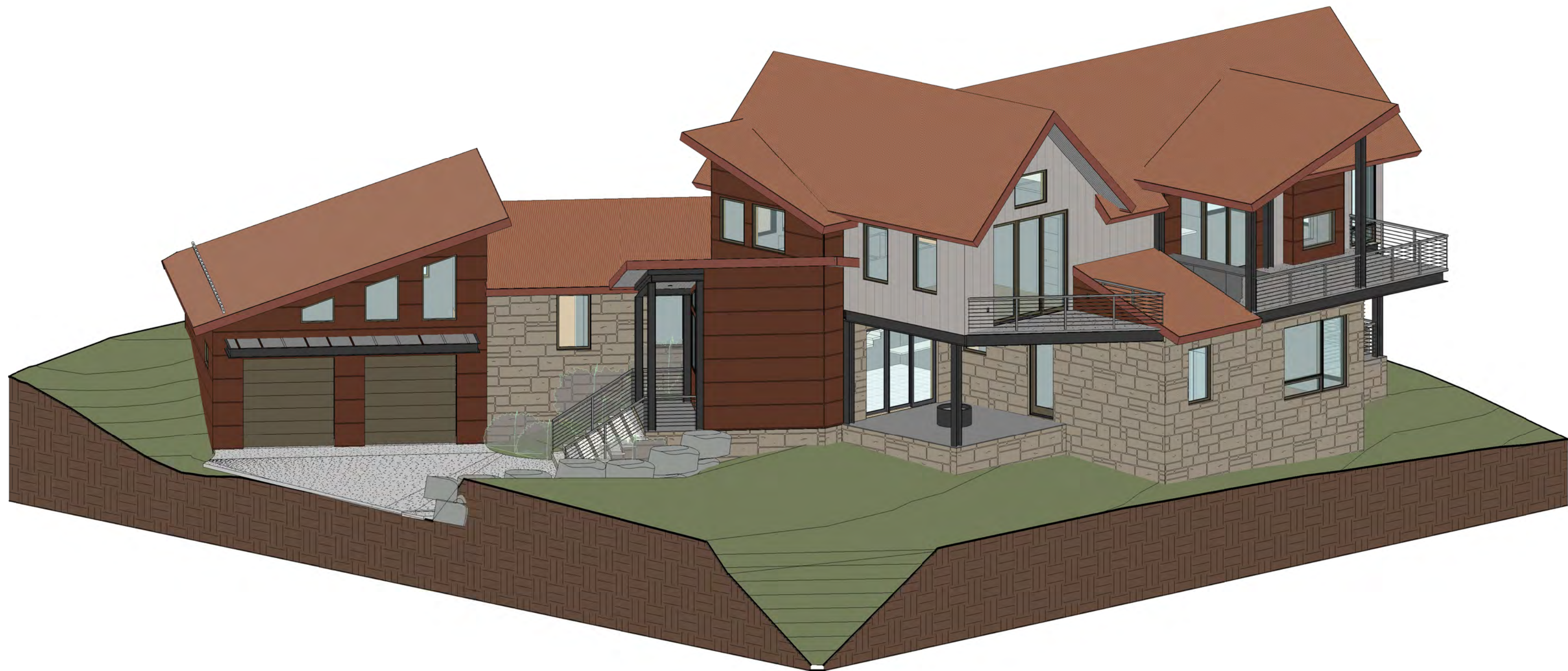
11/5/2021 10:23:14 AM

A6.1





1 SE PERSPECTIVE



2 SW PERSPECTIVE

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

PERSPECTIVES

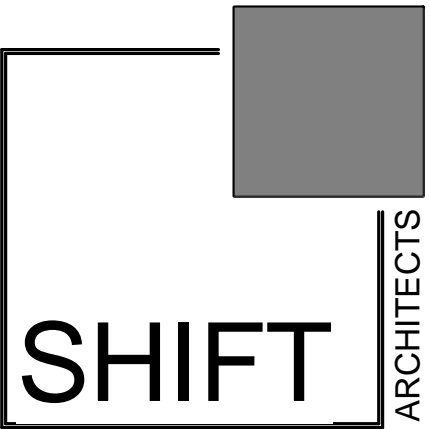
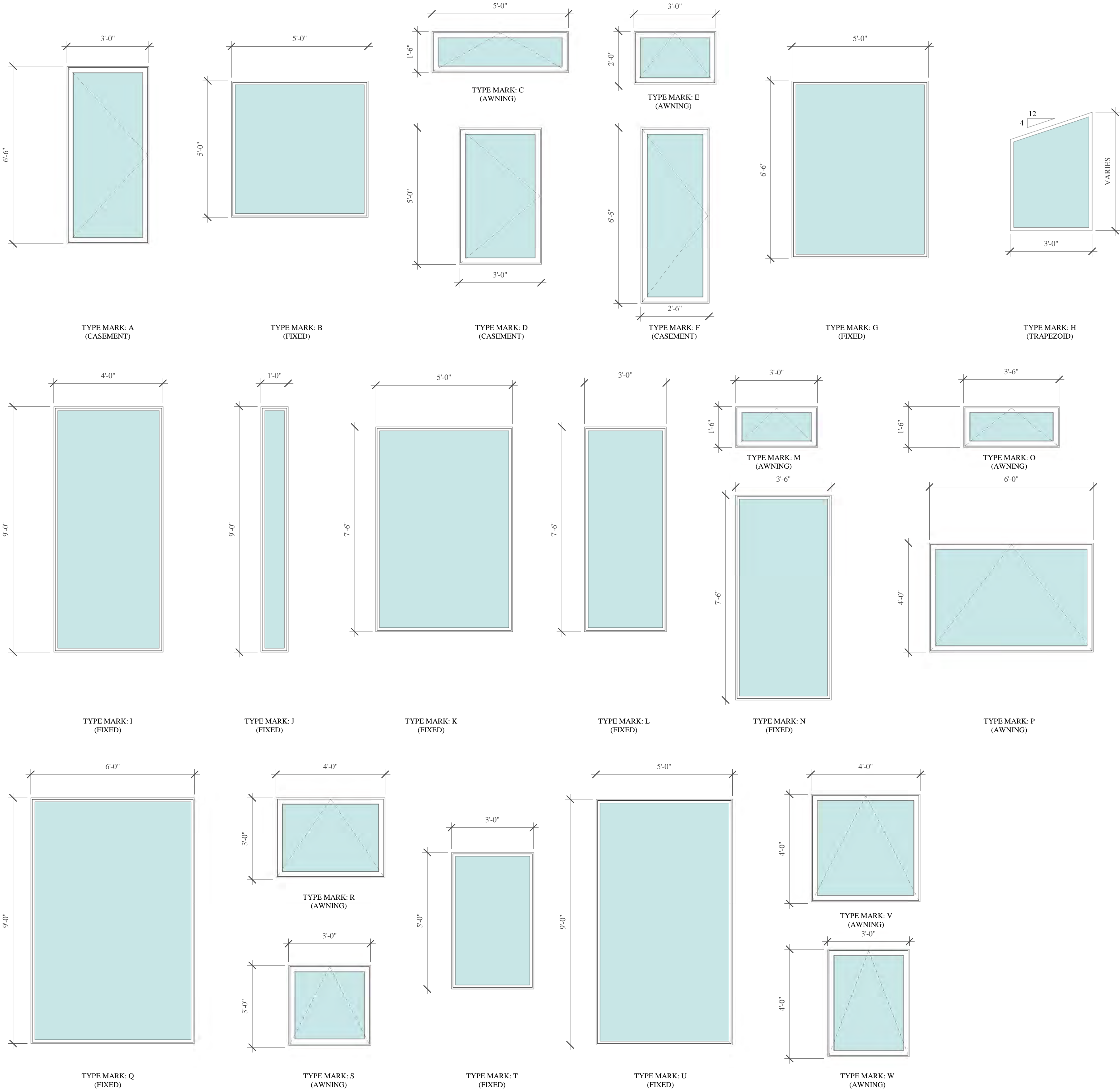
SHEET NUMBER



WINDOW SCHEDULE				
Family	Type	Mark	Type Mark	Comments
CASEMENT	3-0 X 6-6	101	A	
CASEMENT	3-0 X 6-6	102	A	
FIXED	5-0 X 5-0	103	B	
AWNING	5-0 X 1-6	104	C	
CASEMENT	3-0 X 5-0	105	D	
AWNING	3-0 X 2-0	106	E	
CASEMENT	3-0 X 5-0	107	D	
CASEMENT	3-0 X 5-0	108	D	
AWNING	3-0 X 2-0	109	E	
FIXED	5-0 X 5-0	111	B	
CASEMENT	3-0 X 6-6	112	A	
AWNING	5-0 X 1-6	113	C	
CASEMENT	2-6 X 6-6	114	F	
CASEMENT	2-6 X 6-6	115	F	
FIXED	5-0 X 6-6	116	G	
AWNING	5-0 X 1-6	117	C	
CASEMENT	3-0 X 6-6	118	A	
FIXED TRAPEZOID	3-0 X 4-4 (4 PITCH)	119	H	
FIXED TRAPEZOID	3-0 X 3-2 (4 PITCH)	120	H	
FIXED TRAPEZOID	3-0 X 2-0 (4 PITCH)	121	H	
FIXED	4-0 X 9-0	122	I	
FIXED	1-0 X 9-0	123	J	
FIXED	1-0 X 9-0	124	J	
FIXED	3-0 X 5-0	125	T	
FIXED	3-0 X 5-0	126	T	
FIXED	1-0 X 9-0	201	J	
FIXED	5-0 X 7-6	202	K	
AWNING	5-0 X 1-6	203	C	
FIXED	5-0 X 7-6	204	K	
AWNING	5-0 X 1-6	205	C	
FIXED	1-0 X 9-0	206	J	
FIXED	3-0 X 7-6	207	L	
AWNING	3-0 X 1-6	208	M	
FIXED	1-0 X 9-0	209	J	
FIXED	3-6 X 7-6	210	N	
AWNING	3-6 X 1-6	211	O	
AWNING	6-0 X 4-0	212	P	
FIXED	6-0 X 9-0	213	Q	
FIXED	3-6 X 7-6	214	N	
AWNING	3-6 X 1-6	215	O	
FIXED	1-0 X 9-0	216	J	
FIXED	3-0 X 7-6	217	L	
AWNING	3-0 X 1-6	218	M	
AWNING	4-0 X 3-0	219	R	
CASEMENT	3-0 X 5-0	220	D	
CASEMENT	3-0 X 5-0	221	D	
AWNING	4-0 X 4-0	222	V	
AWNING	3-0 X 4-0	224	121	
FIXED TRAPEZOID	3-0 X 5-10 (4 PITCH)	226	H	
FIXED TRAPEZOID	3-0 X 4-2 (4 PITCH)	227	H	
FIXED TRAPEZOID	3-0 X 2-4 (4 PITCH)	228	H	
AWNING	3-0 X 2-0	230	E	
AWNING	3-0 X 2-0	231	E	
FIXED	1-0 X 5-0	232	S	
FIXED	3-0 X 5-0	233	T	
FIXED	5-0 X 9-0	234	U	
FIXED	3-0 X 5-0	235	T	
FIXED	1-0 X 5-0	236	S	

WINDOW NOTES:

1. WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. SEE ELEVATIONS FOR WINDOW MULLION PATTERN.
3. WINDOW HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
4. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
5. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
6. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
7. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.



P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
11.04.21 PRELIMINARY DRB

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

WINDOW  
SCHEDULE

SHEET NUMBER

©shift  
architects



DOOR SCHEDULE						
Family	Mark	Type	Width	Height	Hardware	Note
ENTRY DOOR	A01	3-0 X 8-0	3' - 0"	8' - 0"		
SINGLE FLUSH	A02	3-0 X 7-0	3' - 0"	7' - 0"		
OVERHEAD GARAGE DOOR	A03	8-0 X 8-0	8' - 0"	8' - 0"		
OVERHEAD GARAGE DOOR	A04	8-0 X 8-0	8' - 0"	8' - 0"		
Door-Double-Flush_Panel	A05	4-6 X 7-0	4' - 6"	7' - 0"		
SINGLE FLUSH	A06	2-8 X 7-0	2' - 8"	7' - 0"		
SINGLE FLUSH	A07	2-6 X 6-8	2' - 6"	6' - 8"		
Single-Pocket-Panel	A08	2-4 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	A09	2-6 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	A10	2-4 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	A11	2-6 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	A12	2-6 X 7-0	2' - 4"	7' - 0"		
SINGLE FLUSH	A13	2-8 X 7-0	2' - 8"	7' - 0"		
SINGLE GLASS INSWING	A14	3-0 X 8-0	3' - 1 7/16"	7' - 11 1/2"		
SINGLE GLASS INSWING	A15	3-0 X 8-0	3' - 1 7/16"	7' - 11 1/2"		
SINGLE GLASS OUTSWING	A16	3-0 X 8-0	3' - 1 7/16"	7' - 11 1/2"		
Barn Door	A17	2-6 X 7-0	2' - 6"	7' - 0"		
SINGLE FLUSH	A18	3-0 X 7-0	3' - 0"	7' - 0"		
SINGLE GLASS INSWING	A19	3-0 X 8-0	3' - 1 7/16"	7' - 11 1/2"		
SINGLE FLUSH	A20	2-6 X 6-8	2' - 6"	6' - 8"		
THREE PANEL SLIDING	A21	9-0 X 8-0	9' - 0"	7' - 11"		
Single-Pocket-Panel	A22	2-0 X 7-0	2' - 0"	7' - 0"		
THREE PANEL SLIDING	B01	9-0 X 9-0	9' - 2 3/4"	8' - 11 1/2"		
THREE PANEL SLIDING	B02	9-0 X 9-0	9' - 2 3/4"	8' - 11 1/2"		
THREE PANEL SLIDING	B03	9-0 X 9-0	9' - 2 3/4"	8' - 11 1/2"		
Single-Pocket-Panel	B04	2-4 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	B05	2-6 X 7-0	2' - 4"	7' - 0"		
SINGLE FLUSH	B06	3-0 X 7-0	3' - 0"	7' - 0"		
Single-Pocket-Panel	B07	2-6 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	B08	2-6 X 7-0	2' - 4"	7' - 0"		
Single-Pocket-Panel	B09	2-6 X 7-0	2' - 4"	7' - 0"		

DOOR NOTES:

1.

2.

3.

4.

5.

6.

NEW EXTERIOR DOORS TO BE 2/3 LITE PER GS#34.

DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

SEE ELEVATIONS FOR DOOR MULLION PATTERN.

DOOR HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.

DOOR & WINDOW MANUFACTURER: LOEWEN OR EQUAL

VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

SHIFT

ARCHITECTS

P.O. Box 3206

100 W. Colorado Suite 211

Telluride, Colorado 81435

p 970-728-8145

kristine@shift-architects.com

www.shift-architects.com

DATE:  
11.04.21 PRELIMINARY DRB

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

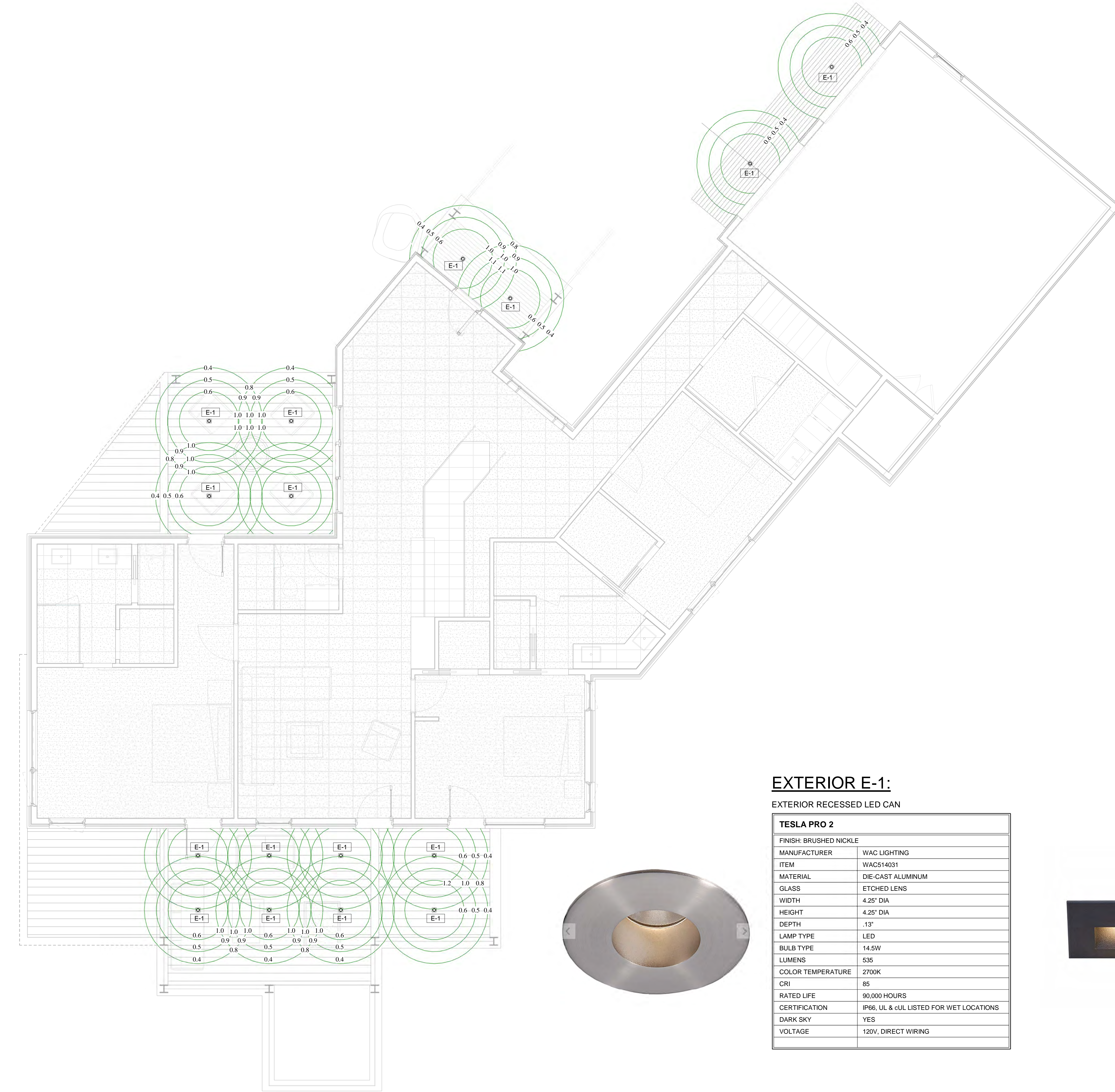
DOOR SCHEDULE

SHEET NUMBER

©shift architects

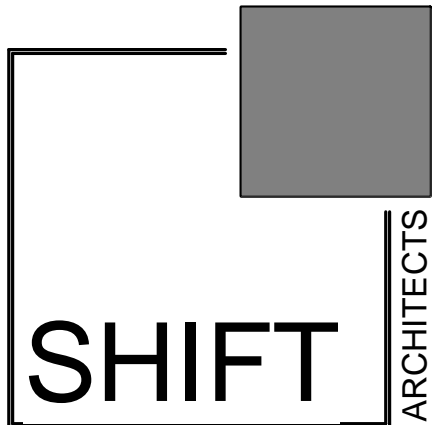
A8.2





**LIGHTING NOTES:**

1. FIELD VERIFY ALL LIGHTING LOCATIONS.
2. TYPICAL LIGHTING LOCATION AT STAIRS:  
(1 EA) PER LANDING  
(2 EA) PER RUN
3. CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
4. ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
5. LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
6. PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
7. MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
8. EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.



P.O. Box 3206  
100 W. Colorado Suite 211  
Telluride, Colorado 81435  
p 970-728-8145  
kristine@shift-architects.com  
www.shift-architects.com

DATE:  
11.04.21 PRELIMINARY DRB

Revision Schedule		
Number	Date	Revision Description

**EXTERIOR E-3:**

LED STRIP LIGHTING	
<b>MEGALUX HD</b>	
FINISH: WARM WHITE	
MANUFACTURER	RIBON STAR
ITEM	RL-DX-MGL-WW-10
MATERIAL	TAPE
GLASS	N/A
LENGTH	1.5'
LAMP TYPE	LED
LUMENS	1317 / FT
COLOR TEMPERATURE	3000K
RATED LIFE	50,000 HRS
CERTIFICATION	CE, RoHS, ETL LISTED
DARK SKY	YES
VOLTAGE	24 VDC

**EXTERIOR E-1:**

EXTERIOR RECESSED LED CAN

TESLA PRO 2	
FINISH: BRUSHED NICKLE	
MANUFACTURER	WAC LIGHTING
ITEM	WACS14031
MATERIAL	DIE-CAST ALUMINUM
GLASS	ETCHED LENS
WIDTH	4.25" DIA
HEIGHT	4.25" DIA
DEPTH	.13"
LAMP TYPE	LED
BULB TYPE	14.5W
LUMENS	535
COLOR TEMPERATURE	2700K
CRI	85
RATED LIFE	90,000 HOURS
CERTIFICATION	IP66, UL & cUL LISTED FOR WET LOCATIONS
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING



**EXTERIOR E-2:**

EXTERIOR STEP AND WALL LIGHT

WL-LED 100	
FINISH: BLACK	
MANUFACTURER	WAC LIGHTING
ITEM	WL-LED100-C-BK
MATERIAL	DIE-CAST ALUMINUM
GLASS	ETCHED LENS
WIDTH	5"
HEIGHT	3"
DEPTH	.13"
LAMP TYPE	LED
BULB TYPE	3.9W
LUMENS	31
COLOR TEMPERATURE	3000K
CRI	83
RATED LIFE	40,000 HOURS
CERTIFICATION	IP66, UL & cUL LISTED FOR WET LOCATIONS
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING



BK- Black Finish

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

1ST FL EXTERIOR  
LIGHTING PLANS

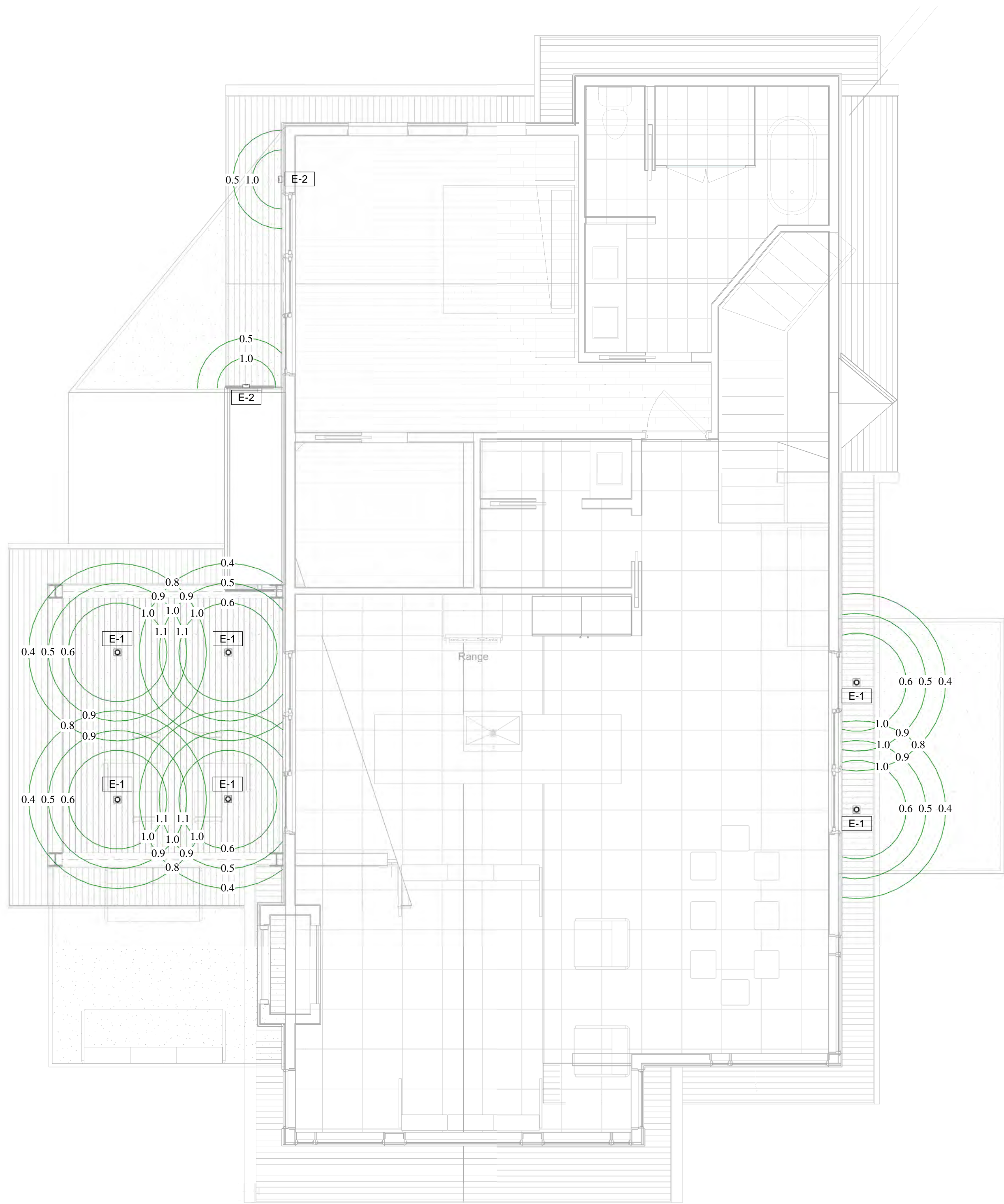
SHEET NUMBER

©shift  
architects

11/5/2021 10:23:20 AM

E1.1





**1 2ND FL EXTERIOR LIGHTING PLAN**  
1/4" = 1'-0"

BIG VANILLA

LOT ARC 163  
MOUNTAIN VILLAGE, CO 81435

2ND FL EXTERIOR  
LIGHTING PLANS





## DEVELOPMENT REFERRAL FORM

**Planning & Development Services**  
**Planning Division**  
455 Mountain Village Blvd. Ste. A  
Mountain Village, CO 81435  
(970) 728-1392

### Referral Agency Comments

**Lot AR161-C1, 101 Lawson**

**Pt.:**

I agree with the engineer this property will need to work with Public Works to determine the best options for the water and sewer. I don't expect that there is an existing water or sewer tap. I did not see an irrigation plan. Maybe they don't need one? Otherwise looks like a nice project.

Finn



**Review comments by TOMV staff forester, Michael Otto**

**New Single Family Home at Lot AR613-C 1 101 Lawson Point**

[S:\ShiftProjects\2021\Big Vanilla\Materials\Big Vanilla V6.pdf \(townofmountainvillage.com\)](S:\ShiftProjects\2021\Big Vanilla\Materials\Big Vanilla V6.pdf (townofmountainvillage.com))

Spruce trees are planned to be kept within wildfire mitigation zone 1. Zone 1 should be extended using the remaining spruce trees as building drip line.

Diversity of plantings clause is not met. Blue spruce is the only tree species planned. Additional diverse plantings such as those listed in the Town of Mountain Village Community Development Code would help to “nestle” the home into the site and meet the diversity clause.





**PLANNING & DEVELOPMENT SERVICES DEPARTMENT**  
**PLANNING DIVISION**  
455 Mountain Village Blvd.  
Mountain Village, CO 81435  
(970) 728-1392

---

**TO:** Design Review Board

**FROM:** Michelle Haynes, Planning and Development Services Director

**FOR:** Meeting of August 31, 2017 rev. for February 3, 2022

**DATE:** January 25, 2022

**RE:** Worksession Regarding General Easements

---

**OVERVIEW**

At the August 3, 2017 Design Review Board (DRB) regular meeting the DRB requested a worksession to discuss general easements (GE). The DRB Chairperson requested the presentation to be provided to the DRB for this meeting on February 3, 2022.

**ATTACHMENTS**

- Powerpoint

**WHAT ARE GENERAL EASEMENTS**

GE's are found on a majority of the lots outside of the Village Center Zone District. They are primarily found on single family lots, but are also found on multi-family lots in the Mountain Village (historically just around the edge of the multi-family lots). They are 16 feet in width and among their other functions, create a building setback around the perimeter of the lot.

The original plats further described the beneficiary of the GE's and uses. The GE language is also found in the Definitions section of the Community Development Code (CDC) and reads as follows:

**General Easement:** There exists for the benefit of the TSG Ski & Golf, LLC ("TSG"), and/or its assigns, a perpetual easement sixteen feet (16") in width over, across and under all areas designated as sixteen foot (16') general easement on this replat for any and all uses, improvements and activities deemed necessary by TSG; Mountain Village Metropolitan District; Telluride Mountain Village Resort Company, a Colorado non-profit corporation, doing business as the Telluride Mountain Village Owners Association (TMVOA) and the Town for the safe and efficient operation of the Telluride Ski Area, Telluride Golf Course and the Town, which include but are not limited to the following: utilities, drainage, electrical service, communication service, ski slope maintenance, bicycle access, skier access, roadway access, equestrian access, pedestrian access, golf cart access, snow making, waterways, slope maintenance, snow storage, retaining walls, snowmobile access, snow removal, snowcat access, water, sanitary sewer and storm sewer.



TSG and the TMVOA assigned their rights to certain general easements within the town to the Town at reception numbers 305359 and 339588. This represented a majority of the general easement; therefore, TSG and TMVOA are not a party to the general easement as set forth in such legal instruments.

**General Easement Requirements:** The requirements and provisions for general easements as outlined in Chapter 3.

#### **GENERAL EASEMENT SETBACK CDC SECTION 17.3.14**

Attachment #1 is CDC Section 17.3.14 General Easement Setbacks, that establish how the DRB and staff administer the GE's along with the criteria the DRB uses to evaluate when a GE can be modified or waived. Below I will generally summarize the CDC section.

The following regulations apply to GE's.

17.3.14.C. All general easements setbacks or other setbacks shall be maintained in a natural, undisturbed state to provide buffering to surrounding land uses and to maintain the ability to conduct any of the general easement allowed uses.

17.3.14.D. All above and below grade structures or structural components (soil nailing, etc.), earth disturbance, or ground level site development such as walks, hardscape, terraces and patios shall be located outside of the general easement setback or other setbacks on each lot within the allowable building area of a lot.

Permitted development activities: (the comprehensive list is found at CDC Section 17.3.14.E)

- Accessways for direct access, including driveways, walkways, and ski trails and ski lifts for ski area access. – **Staff note: we typically see driveway access.**
- Utilities
- Address Monuments
- Natural landscaping
- Fire mitigation and forestry management
- Construction staging – with conditions

#### **GENERAL EASEMENT ENCROACHMENTS and THE DRB'S REVIEW CRITERIA (CDC 17.3.14.F)**

The DRB may waive the general easement setback or other setbacks and allow for prohibited activities provided:

1. The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot;
2. The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams;



3. No unreasonable negative impacts result to the surrounding properties;
4. The general easement setback or other setback will be revegetated and landscaped in a natural state;
5. The Public Works Department has approved the permanent above-grade and below-grade improvements;
6. The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town; and
7. Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts.

#### **STAFF REVIEW AUTHORITY (17.3.14.G)**

Staff can review and approve activities in the general easements if:

- It is associated with a prior approval or was found to lawfully exist.
- The owner is maintaining or improving a prior approved or lawful encroachment in the general easement.
- The lot owner enters into a revocable encroachment agreement with the Town if one does not exist.

#### **OTHER PROVISIONS (17.3.14.H-M)**

- The DRB can impose greater setbacks under certain conditions.
- All buildings must otherwise conform to Building Code setbacks.
- Ski access can be provided with specific approvals and conditions.

#### **STAFF OBSERVATIONS & EXPERIENCE**

- Typically the DRB has allowed encroachments into the general easements provided the encroachment meets the review criteria outlined above.
- We are administering more general easement encroachment requests with originating applications and as an amendment to an existing approval that did not originally indicate a general easement encroachment. These applications all must go to the DRB for approval. (There are a variety of reasons for the increase in requests for GE encroachments. The remaining vacant properties sometimes come with more site constraints such as steep slopes, shared driveways or wetlands. Sometimes, owners desire to maximize their development potential pushing building elements or landscape features into the GE.)
- Properties with existing GE encroachment agreements that expand the GE encroachments, per the CDC, must submit an application to be reviewed by the DRB at a public hearing for the expanded GE encroachment.

#### **OTHER CONSIDERATIONS**

##### **Supporting Exceptional Architecture**



The nature of DRB review is subjective with an aspirational goal of supporting exceptional architecture. If the GE encroachments support exceptional architecture, provide a meaningful functional design and meet the review criteria then the DRB should not hesitate to approve a GE encroachment.

Many undeveloped remaining lots have site constraints such as narrow lot width, steep slopes, wetlands, or shared access which in many circumstances may require a building or access to a building to have elements within the GE. These types of properties are the premise for the approval of GE encroachments, the premise being reasonable use of property for the purposes of constructing a single family home. As referenced above, there are a handful of development proposals that simply want to maximize the development potential of a property and ask for encroachments that may not be necessary or meet the DRB criteria. The criteria is adequate for the DRB to evaluate whether the GE encroachments help facilitate reasonable use of the property.

### **STAFF ANALYSIS**

Staff believes the review authority granted to the DRB is appropriate for general easement encroachments per the CDC. Site specific development review is the very essence of the purview of a design review board.

When the DRB is evaluating GE encroachments the following are the listed criteria for review:

- 1) An encroachment into the general easement cannot otherwise be ***reasonably (emphasis added)*** avoided.
- 2) Disturbance in the general easement is due to natural features or natural site constraints.
- 3) There would be no unreasonable negative impacts to the surrounding properties.
- 4) It will otherwise remain in a natural and vegetated state.
- 5) Public Works has approved the proposed improvement.
- 6) An encroachment agreement will be entered into with the Town.
- 7) Encroachments are mitigated by landscaping and buffering to mitigate the impact.

Finally, the DRB can evaluate whether a GE encroachment may facilitate a better design product, a reasonable consideration by the DRB while applying the criteria of evaluation which is listed above.

/mbh





# GENERAL EASEMENT DISCUSSION

DESIGN REVIEW BOARD  
TOWN OF MOUNTAIN VILLAGE  
AUGUST 31, 2017 REV. 2.3.2022

MICHELLE HAYNES, PLANNING &  
DEVELOPMENT SERVICES DIRECTOR





# WHAT ARE GENERAL EASEMENTS?

General Easements (GE's) are found on a majority of the lots outside of the Village Center zone district and most notably present on single family zone district lots. They are typically 16 feet in width and among their other functions, create a building setback around the perimeter of the lot.





# GENERAL EASEMENT PLAT LANGUAGE

There exists for the benefit of the TSG Ski & Golf, LLC ("TSG"), and/or its assigns, a perpetual easement sixteen feet (16") in width over, across and under all areas designated as sixteen foot (16') general easement on this replat for any and all uses, improvements and activities deemed necessary by TSG; Mountain Village Metropolitan District; Telluride Mountain Village Resort Company, a Colorado non-profit corporation, doing business as the Telluride Mountain Village Owners Association (TMVOA) and the Town for the safe and efficient operation of the Telluride Ski Area, Telluride Golf Course and the Town, which include but are not limited to the following: utilities, drainage, electrical service, communication service, ski slope maintenance, bicycle access, skier access, roadway access, equestrian access, pedestrian access, golf cart access, snow making, waterways, slope maintenance, snow storage, retaining walls, snowmobile access, snow removal, snowcat access, water, sanitary sewer and storm sewer.

TSG and the TMVOA assigned their rights to certain general easements within the town to the Town at reception numbers 305359 and 339588. This represented a majority of the general easement; therefore, TSG and TMVOA are not a party to the general easement as set forth in such legal instruments.



# GENERAL EASEMENT

Most general easements have been assigned to the Town of Mountain Village; however, some benefit both TMV and TSG. A handful benefit TMVOA.

Nuts and Bolts:

If encroachments into the general easement are requested, we first send a referral to PW to assure that there are no below grade existing infrastructure like water or sewer that may be impacted by an owners encroachment proposal.







# CDC SECTION 17.3.14

## GENERAL EASEMENT SETBACK

The following regulations apply to GE's

17.3.14.C. All general easements setbacks or other setbacks shall be maintained in a natural, undisturbed state to provide buffering to surrounding land uses and to maintain the ability to conduct any of the general easement allowed uses.

17.3.14.D. All above and below grade structures or structural components (soil nailing, etc.), earth disturbance, or ground level site development such as walks, hardscape, terraces and patios shall be located outside of the general easement setback or other setbacks on each lot within the allowable building area of a lot.





# GE PERMITTED ACTIVITIES

- Accessways for direct access, including driveways, walkways, and ski trails and ski lifts for ski area access. – *Staff note: we typically see driveway access.*
- Utilities
- Address Monuments
- Natural landscaping
- Fire mitigation and forestry management
- Construction staging – with conditions

Nuts and Bolts: Ski access has traditionally occurred and been permitted within GE's. If improvements are needed in the GE for ski access this requires an application and DRB review. If no improvements are needed, the town has remained silent on use of GE's for ski access and have understood them to be used for this purpose historically which is also consistent with the plat language.





# STAFF REVIEW AUTHORITY

Staff can review and approve activities in the general easements if:

- It is associated with a prior approval or was found to lawfully exist.
- The owner is maintaining or improving a prior approved or lawful encroachment in the general easement.
- The lot owner enters into a revocable encroachment agreement with the Town if one does not exist.

Nuts and Bolts:

We see older developments with GE encroachments that may have been permitted on the DRB plan sets, but not otherwise captured with an agreement. We clean these up administratively as needed.





# DRB CRITERIA TO EVALUATE AN ENCROACHMENT

The DRB may waive the GE setback or other setback and allow for prohibited activities provided:

1. The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot;
2. The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams;
3. No unreasonable negative impacts result to the surrounding properties;





# DRB CRITERIA TO EVALUATE AN ENCROACHMENT

4. The general easement setback or other setback will be revegetated and landscaped in a natural state;
5. The Public Works Department has approved the permanent above-grade and below-grade improvements;
6. The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town; and
7. Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts.





# OTHER PROVISIONS

## OTHER PROVISIONS (17.3.14.H-M)

- The DRB can impose greater setbacks under certain conditions.
- All buildings must otherwise conform to Building Code setbacks.
- Ski access can be provided with specific approvals and conditions.





# STAFF OBSERVATIONS

- 1) Typically the DRB has allowed encroachments into the general easements provided the encroachment meets the review criteria outlined above. GE encroachments should always be evaluated on a case by case basis.





# STAFF OBSERVATIONS

- 2) We are administering more general easement encroachment requests with originating applications and as an amendment to an existing approval that did not originally indicate a general easement encroachment. These applications all must go to the DRB for approval.

*One reason is that remaining vacant lots have site constraints (unusual or narrow shape, shared driveways, steep slopes or wetlands for example)*

*A minority of requests appear to be a desire to maximize the development potential of a lot by expanding building elements or site features into the GE. It is incumbent upon the DRB to determine whether these requests lend themselves to a better overall site design and comport with the criteria of review.*





## STAFF OBSERVATIONS

- 3) Properties with existing GE encroachment agreements that expand the GE encroachments, per the CDC, must submit an application to be reviewed by the DRB at a public meeting for the expanded GE encroachment.





# OTHER CONSIDERATIONS

## Supporting Exceptional Architecture

- *Some GE encroachments can be supported because it results in supporting exceptional architecture, meaningful functional design and meets the review criteria.*

## Social and Community Implications

- *Applicants prefer consistency in decision making and predictable outcomes.*
- *Staff is most supportive of the DRB when we can bring forward approvable projects.*





# STAFF ANALYSIS AND CONCLUSION

Staff believes the review authority granted to the DRB is appropriate for general easement encroachments per the CDC. Site specific development review is the very essence of the purview of a design review board.





# STAFF RECOMMENDATIONS

Staff can outline the review criteria in the staff memo associated with GE encroachment applications in future memos. The purpose is to help facilitate the DRB discussion and questions, along with the relevant criteria of evaluation.

The purpose of the criteria is to provide a basis for a justification and generally to:

- Provide for ***reasonable*** use of the property.
- Minimize impacts and or mitigate impacts.
- The public works department has approved the encroachment.
- Enter into a legal GE encroachment agreement with the town.





# STAFF RECOMMENDATIONS

Finally

The DRB can evaluate whether a GE encroachment facilitates a better design product or functionality of the property and apply the criteria of evaluation.

Nuts and Bolts

Not all GE's are need for town purposes but we always determine this as part of any GE encroachment request.





# STAFF RECOMMENDATIONS

Questions and Discussion