

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
THURSDAY MAY 5, 2022 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
TO BE HELD HYBRID THROUGH ZOOM:**

<https://us06web.zoom.us/j/82701728637?pwd=Z250SW5uc2hVS0k4UkZrSHMxeDFOZz09>

	Time	Min.	Presenter	Type	
1.	10:00		Chair		Call to Order
2.	10:00	2	Quinn-Jacobs	Action	Reading and Approval of Summary of Motions of the March 31, 2022, Design Review Board Meeting.
3.	10:02	3	Quinn-Jacobs	Action	Reading and Approval of Summary of Motions of the April 21, 2022, Design Review Board Meeting.
4.	10:05	30	Miller	Action/ Recommendation	Interview New Applicants for Design Review Board open seats with recommendation to Town Council
5.	10:35	1:30	Haynes/ Ward/ Applicant	Quasi-Judicial	A recommendation to Town Council regarding a Major PUD amendment to Lot 109R, formerly named the Mountain Village Hotel PUD, TBD Mountain Village Boulevard, to consider amendments to the existing PUD for a mixed-use hotel/resort development including plaza, commercial, hotel and residential uses with a height up to 96'-8" maximum height.
6.	12:05	30	Lunch	Lunch	Lunch
7.	12:35	30	Miller/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single-Family Detached Condominium on Lot 649R-11, 11 Boulders Way, pursuant to CDC Section 17.4.11
8.	1:05	30	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single-Family home on Lot 344R, 111 Rocky Rd., pursuant to CDC Section 17.4.11.
9.	1:35	30	Miller/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single-Family Detached Condominium with an attached ADU on Lot 649R-10, 10 Boulders Way, pursuant to CDC Section 17.4.11
10.	2:05	30	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single-Family home with an attached ADU on Lot 503, TBD Russell Drive, pursuant to CDC Section 17.4.11
11.	2:35	30	Miller/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a new Single Family Detached Condominium on Lot 167-5, 162 San Joaquin, Unit 5, pursuant to CDC Section 17.4.11.

Please note that this Agenda is subject to change. (Times are approximate and subject to change)
455 Mountain Village Blvd., Suite A, Mountain Village, Colorado 81435
Phone: (970) 369-8242 Fax: (970) 728-4342

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting Town Hall at the above numbers or email: cd@mtnvillage.org. We would appreciate it if you would contact us at least 48 hours in advance of the scheduled event so arrangements can be made to locate requested auxiliary aid(s).

**DESIGN REVIEW BOARD MEETING
AGENDA FOR MAY 5, 2022**

12.	3:05	45	Miller/ Applicant	Quasi-Judicial	Discussion regarding a Conceptual Work Session for Lot 644, to develop new multi-family employee condominiums, pursuant to CDC Sections 17.4.6 and 17.4.11.
13.	3:50	30	Miller/ Applicant	Quasi-Judicial	Design Review Board Review and Recommendation to Town Council Regarding Amending the Municipal Code and Community Development Code; Creation of Chapter 2.18: Public Art Commission, and Amending Sections 17.5 and 17.8, concerning the creation of a Public Art Commission
14.	4:20		Chair		Adjourn

Please note that this Agenda is subject to change. (Times are approximate and subject to change)
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**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY MARCH 31, 2022**

Call to Order

Chair Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:01 AM on March 31, 2022.

Attendance

The following Board members were present and acting:

Banks Brown
Liz Caton
Cath Jett - Via Zoom before lunch, in-person after lunch.
Greer Garner

The following Board members were absent:

David Craige
Scott Bennett (1st alternate)
Shane Jordan (2nd alternate)
Adam Miller
Ellen Kramer

Town Staff in attendance:

John Miller, Principal Planner
Amy Ward, Senior Planner
Samuel Quinn-Jacobs, Planning Technician

Public Attendance:

- Susan Conger
- Jim Austin
- Stephen Setz
- Peter deLuca
- Kristina Lamb
- Randy Podolsky

Item 2. Reading and Approval of the March 3, 2022 Regular Design Review Board Meeting Minutes.

Samuel Quinn-Jacobs: Presented as Staff

On a **MOTION** by **Caton** and seconded by **Jett** the DRB voted **unanimously** to approve the minutes from the March 3, 2022 Meeting.

Item 3. Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Detached Condominium on Lot AR-53-R1, TBD Adams Way, pursuant to CDC Section 17.4.11.

John Miller: Presented as Staff

Ken Alexander: Presented as Applicants

Public Comment: Two letters were included in the packet and Susan Conger-Austin presented

On a **MOTION** by **Garner** and seconded by **Caton** DRB voted **unanimously** to approve the Initial Architectural and Site Review for a new single-family home located at Unit AR-53R1, based on the evidence provided within the Staff Report of record dated March 18, 2022, with the following conditions:

- 1) Prior to final review, the applicant shall provide updated height elevations due to issues with the digital document quality.
- 2) Prior to final review, the applicant shall revise the proposed windows to meet the requirements of the CDC.
- 3) Prior to final review, the applicant shall provide a door/garage door recess detail, along with additional details related to the chimney cap proposed material.
- 4) Prior to final review, the applicant shall revise the utility plans to specify water utility connections from the ROW to the home. Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Prior to final review, the applicant shall provide full page cutsheets for each proposed light fixture, shall provide a photometric study for the home, and shall provide updated details related to the address monument lighting.
- 6) Prior to final review, the applicant shall reduce the height of the address monument to 6 feet maximum.
- 7) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 10) Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 11) It is incumbent upon an owner to understand whether above grade utilities and

town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

12) Prior to final review the applicant shall revise the grading plan to indicate a drainage swale on the west side of the property to better direct stormwater away from the neighboring lot.

Item 4. Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Detached Condominium on Lot 649R-11, 11 Boulders Way, pursuant to CDC Section 17.4.11

John Miller Presented as Staff

Kristine Perpar: Presented as Applicant

Public Comment: None

On a motion by **Caton** and seconded by **Jett** voted **unanimously** to approve the Initial Architectural and Site Review for a new single-family home located at Lot 649-R, Unit 11, based on the evidence provided within the Staff Report of record dated March 18, 2022, with the following specific approvals and design variations:

DRB Specific Approval:

- 1) Setback Encroachment
- 2) Metal Fascia
- 3) Tandem Parking

DRB Design Variations:

- 1) Landscaping Regulations

And, with the following conditions:

- 1) Prior to final review, the applicant shall provide a door recess detail, along with additional details related to the garage door and deck railing proposed material.
- 2) Prior to final review, the applicant shall revise the landscaping plan to include revisions to the plant schedule.
- 3) Prior to final review, the applicant shall revise the utility plans or provide authorization from the owner of Unit 12 to utilize their property. Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 4) Prior to final review, the applicant shall provide full page cutsheets for each proposed light fixture.
- 5) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.

- 7) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 8) Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 9) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 5. Consideration of a Design Review: Final Architecture Review for a new Single Family home on Lot 613-C1, 101 Lawson Point, pursuant to CDC Section 17.4.11

Amy Ward: Presented as Staff

Kristine Perpar: Presented as Applicant

Public Comment: None

On a motion by **Garner** and seconded by **Caton** DRB voted **unanimously** to approve the Final Architectural Review for a new single-family home located at Lot AR 613-C1, based on the evidence provided within the Staff Report of record dated March 21, 2022, with the following specific approvals and design variations:

DRB Specific Approval:

- 1) Setback Encroachments – Driveway retaining wall and grading
- 2) Metal fascia and soffit
- 3) Parking waiver

Design Variations:

- 1) Landscaping – Diversity of species

And, with the following conditions:

- 1) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 2) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 3) Prior to Certificate of Occupancy the applicant will enter into a revocable

Encroachment Agreement with the Town for any approved encroachments in the general easement. This includes any encroachments that already exist on the property as well as any new encroachments.

4) Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

5) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

6) Prior to building permit the applicant will provide revised lighting plans for Staff Review.

Item 6. Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Detached Condominium on Lot 649R-10, 10 Boulders Way, pursuant to CDC Section 17.4.11

John Miller: Presented as Staff

Kristine Perpar: Presented as Applicant

Public Comment: None

On a motion by **Caton** and seconded by **Garner** DRB voted **unanimously** to approve the Initial Architectural and Site Review for a new single-family home located at Lot 649-R, Unit 10, based on the evidence provided within the Staff Report of record dated March 16, 2022, with the following specific approvals and design variations:

DRB Specific Approval:

- 1) Setback Encroachment
- 2) Metal Fascia
- 3) Tandem Parking

DRB Design Variations:

- 1) Landscaping Regulations

And, with the following conditions:

- 1) Prior to final review, the applicant shall provide a window and door recess detail, along with additional details related to the garage door proposed material.
- 2) Prior to final review, the applicant shall revise the utility plans to provide existing locations of utilities along with connection and disturbance locations. Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities

and connection points.

- 3) Prior to final review, the applicant shall provide full page cutsheets for each proposed light fixture. Additionally, the wall mounted fixture E-3 shall be revised to meet height requirements for wall mounted fixtures.
- 4) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 5) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 6) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 7) Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 8) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 7. Lunch

Item 8. Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family home on Lot 709, 152 Adams Ranch Road, pursuant to CDC Section 17.4.11

John Miller: Presented as Staff

Mark Bertelsen of Centre Sky Architecture: Presented as Applicant

Public Comment: None

On a motion by **Caton** and seconded by **Garner** DRB voted **unanimously** to approve the Initial Architecture and Site Review for a new single-family home located at Lot 709, based on the evidence provided within the Staff Report of record dated March 23, 2022, with the following Specific Approvals:

Design Review Board Specific Approvals:

- 1) Board Form Concrete

And, with the following conditions:

- 1) Prior to final review, the applicant shall provide a window, door, and garage door recess details along with additional information related to specific proposed materials for soffit, garage door, and chimney cap as applicable.
- 2) Prior to final review, the applicant shall revise the parking plan to demonstrate that each parking space is a minimum of 9'x18' in size.
- 3) Prior to final review, the applicant shall revise the address monument so that the numbering is minimally 54" above grade and that the monument is no taller than 6 feet in height.
- 4) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 6) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 7) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 8) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 10) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four-feet (4') by four-feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 11) Applicant will provide a physical material board for approval prior to the end of this meeting (it should be noted that the board was provided and approved during the meeting)

Item 9. Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family home on Lot 89-3A, 99 Lookout Ridge, pursuant to CDC Section 17.4.11.

John Miller: Presented as Staff

Sean O'Bryant and Todd Kennedy: Presented as Applicants

Public Comment: None

On a motion by **Garner** and seconded by **Caton** DRB voted **(3-1, Jett dissented due to stone material)** to approve the Initial Architecture and Site Review for a new single-family home located at Lot 89-3A, based on the evidence provided within the Staff Report of record dated March 21, 2022, with the following Specific Approvals:

Design Review Board Specific Approvals:

- 1) Metal Fascia
- 2) General Easement Encroachments – with the exception of the upper exterior staircase (northeast) which is not approved.

And, with the following conditions:

- 1) Prior to final review, the applicant shall provide a window, door, and garage door recess details along with additional information related to specific proposed accent materials.
- 2) Prior to final review, the applicant shall revise the parking plan to demonstrate that each parking space is a minimum of 9'x18' in size.
- 3) Prior to final review, the applicant shall revise the landscaping plan to demonstrate the full planting schedule, irrigation locations, water usage, and shall include additional plantings to increase diversity to 40% as required by the CDC.
- 4) Prior to final review, the applicant shall revise the address monument so that the numbering is minimally 54" above grade and that the monument is no taller than 6 feet in height.
- 5) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 6) As part of the Building Permit submittal, the applicant shall revise the construction mitigation plan to address additional on-street parking requests.
- 7) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber, or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 8) It is incumbent upon an owner to understand whether above-grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way, general easement, or setback, are placed in an area that may encumber access to their lot. Relocation of such above-grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (Fire Department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 9) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the general easement encroachments approved.
- 10) A monumented land survey of the footers will be provided prior to pouring concrete To determine there are no additional encroachments into the GE.
- 11) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern, and any grouting with the minimum size of four-feet (4') by four-feet (4');
 - b. Wood that is stained in the approved color(s);

- c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 12) Prior to final review, the applicant will provide more specifics on the green roof details.
- 13) Prior to final review the applicant will provide an alternate proposed material (Color) for soffit material.

Item 10. Consideration of a Design Review: Final Architecture Review for a new Single Family home on Lot BR600-11R, 22 Trails Edge Lane, pursuant to CDC Section 17.4.11.

Amy Ward: Presented as Staff

Jack Wesson: Presented as Applicant

Public Comment: None

On a motion by **Jett** and seconded by **Caton** DRB voted **unanimously** to approve the Final Architectural Review for a new single-family home located at Lot 600BR-11R, based on the evidence provided within the Staff Report of record dated March 21, 2022, with the following design variations and DRB specific approvals:

Design Variations:

1. Landscaping – Diversity of Species

DRB Specific Approval:

1. Tandem parking
2. Setback encroachments – Grading, parking, and landscaping
3. GE Encroachments – Grading
4. Board form concrete (address monument)

And, with the following conditions:

1. Prior to the building permit, the applicant shall provide proof of an encroachment/license agreement with Telski for proposed construction fencing within the GE areas.
2. Prior to building permit the applicant shall work with the Town Forester to identify trees for removal in the Zone 2 fire mitigation area.
3. Prior to building permit the applicant will provide a revised utility plan for approval by Public Works, if sewer access is proposed on OS-FT1 then proof of an encroachment agreement with Telski will be provided.
4. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
5. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
6. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
7. Prior to the Building Division conducting the required framing inspection, a four foot (4') by eight-foot (8') materials board will be erected on site consistent with the

review authority approval to show:

- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
8. It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 11 Consideration of a Design Review: Initial Architecture and Site Review for a new Single Family Detached Condominium on Lot 167-5, 162 San Joaquin, Unit 5, pursuant to CDC Section 17.4.11.

John Miller: Presented as Staff

Kristine Perpar: Presented as Applicant

Public Comment: None

On a motion by **Garner** and seconded by **Caton** DRB voted **(3-1 Jett Dissented due to the retaining wall in the GE)** to approve the Initial Architectural and Site Review for a new detached condominium located at Lot 167, Unit 5, based on the evidence provided within the Staff Report of record dated March 16, 2022, with the following design variations and specific approvals:

Design variations:

- 1) Tandem Parking
- 2) Road and Driveway Standards

DRB Specific Approval:

- 1) GE encroachment for Grading
- 2) GE encroachment for Dry Stack Landscaping Wall

And, with the following conditions:

- 1) Prior to final review, the applicant shall modify the landscaping plan to include additional tree plants to increase variety of species on the Unit.
- 2) Prior to final review, the applicant shall revise the drainage plan to demonstrate positive drainage away from the home.
- 3) Prior to final review, the applicant shall review the CMP to include additional details related to disturbances related to access drive and fire truck turnaround disturbances and shall address both material export along with construction parking.
- 4) Prior to final review, the applicant shall provide full cut sheets related to the proposed light fixtures A and B.
- 5) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location

- of utilities and connection points.
- 6) Prior to issuance of CO, all disturbances in the GE caused by construction will be re-graded and re-vegetated to its pre-disturbed condition.
 - 7) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
 - 8) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
 - 9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
 - 10) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
 - 11) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 12. Discussion regarding a Conceptual Work Session for Lot 27A, Phase Three (Belvedere), to develop new multi-family condominiums, pursuant to CDC Sections 17.4.6 and 17.4.11.

John Miller: Presented as Staff

Chris Chaffin, Will Hentschel and Griffin Gilbert: Presented as Applicants

Public Comment: Randy Podolsky

ADJOURN

MOTION to adjourn by unanimous consent, the Design Review Board voted to adjourn the March 31, 2022 meeting at 3:25

Prepared and submitted by,

Samuel Quinn-Jacobs
Planning Technician

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
DESIGN REVIEW BOARD MEETING
THURSDAY APRIL 21, 2022**

Call to Order

Chair Banks Brown called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:05 AM on April 21, 2022.

Attendance

The following Board members were present and acting:

Banks Brown
Liz Caton
Adam Miller – via zoom
Cath Jett – via zoom Left at 11:15
Shane Jordan (2nd alternate)
David Craige

The following Board members were absent:

Scott Bennett (1st alternate)
Ellen Kramer
Greer Garner
Cath Jett

Town Staff in attendance:

Paul Wisor: Town Manager
Michelle Haynes, Planning and Development Services Director, Housing Director
John Miller, Principal Planner
Amy Ward, Senior Planner
Samuel Quinn-Jacobs, Planning Technician

Public Attendance:

- Ben Walker
- Christine Gazda – via zoom

Item 2. Design Review Board Recommendation to Town Council Regarding a Conditional Use Permit Development Application for the Placement of a Spider Jump and Ground School Activity Structures on OS3U, Active Open Space, continued from the March 17, 2022 special joint meeting

John Miller: Presented as Staff

Carson Taylor and Noah Sheedy Telluride Ski and Golf: Presented as Applicants

Public Comment: Yes, public comment was provided by Randy Podolsky in support of the project.

On a **MOTION** by **Craige** and seconded by **Caton** DRB voted **unanimously** to recommend approval of the resolution approving a conditional use permit for the placement of a specific summer base area activities outlined in the application materials for Lot OS-3U with the following conditions:

1. *The Applicant shall maintain adequate bike traffic access from the bottom of the bike park to the Village Center plazas with either stations or hard fence to segregate bikers using the bike park, and users and spectators of the bungee trampoline activity; the design of the stations or hard fence shall be reviewed by Planning Divisions Staff prior to installation.*
2. *The Applicant shall secure the structure elements that might obstruct public access, including, without limitation, the ladders, and other elements that might attract public access when closed.*
3. *The Applicant shall re-surface all disturbed areas with landscaping and provide seating for spectators.*
4. *Applicant shall provide an erosion control and drainage plan to ensure protection of the wetlands in the surrounding area.*
5. *The Applicant shall revise the site and grading plan to have appropriate finished grade material, benches, and simple landscaping to improve the appearance of the bungee trampoline activity, site grading, and the existing condition of the site.*
6. *This Conditional Use Permit shall be valid for a period of three (3) years with an annual review by the Planning Division staff, with the Applicant responding to any valid issues as they arise during the operation or the annual review.*
7. *Staff and Chair will review and approve the final design of the spider jump and canopy tour training area before construction.*

Item 3. Design Review Board Review and Recommendation to Town Council Regarding Amending Chapters 16.01, 16.02, 17.3 and 17.9 of the Community Development Code Concerning Affordable Housing Restrictions and Adopting Housing Impact Mitigation Requirements, continued from the March 17, 2022 special joint meeting

Michelle Haynes: Presented as Staff

Rachel Shindman: Presented as Applicant

Public Comment: Yes, public comment was provided by Scott Pearson with his concerns

On a **MOTION** by **Caton** and seconded by **Jordan** DRB voted **unanimously** to recommend approval to Town Council Regarding Amendments to Chapters 16.01, 16.01, 17.3 and 17.9 of the community development code concerning affordable housing restrictions and adopting housing mitigation requirements

ADJOURN

MOTION to adjourn by unanimous consent, the Design Review Board voted to adjourn the April 21, 2022 meeting at 11:30am.

Prepared and submitted by,

Samuel Quinn-Jacobs
Planning Technician

DRAFT



**AGENDA ITEM 4
PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT**

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board
FROM: Samuel Quinn-Jacobs, Planning Technician
FOR: Design Review Board Public Hearing; May 5, 2022
DATE: April 28, 2022
RE: Interview Applicants for Design Review Board Open Seats

Overview

The Design Review Board will interview and provide a recommendation to Town Council regarding four Design Review Board open seats. Each of the DRB members serves a 4-year term.

The expiring seat terms are those currently held by

- Chairman Banks Brown, reapplied
- Cath Jett, reapplied
- Adam Miller, reapplied
- Vice-Chairman David Craige, reapplied

All incumbents have reapplied to the Design Review Board. In addition to the four incumbent applications, Alternate DRB Member Scott Bennett has applied for a regular seat, and seven new applications have been submitted.

The seven new applicants are listed as follows:

1. Charles Lynch
2. David Gallagher
3. Jim Austin
4. Teri Steinberg
5. Isabella James
6. Keith Brown
7. Neal Elinoff

ATTACHMENTS

Exhibit A: Letters of intent and supplementary application materials

Exhibit B: Recommended interview questions

Staff Recommendation:

Staff recommends the DRB discuss the applications and recommend its incumbent members, to be appointed by Town Council.

Proposed Motion:

I move to make the recommendation to Town Council to reappoint Brown, Jett, Miller and Craige to regular seats, on the Design Review Board of the Town of Mountain Village.

Sample DRB Interview Questions

1. What interests you about serving on the DRB?
2. Are you familiar with the TMV DRB and the review process?
3. Do you have any experience serving on a similar board?
4. What qualities do you feel are important for a DRB member to possess?
5. What important qualities do you believe you will bring to the DRB?
6. Do you see yourself having potential conflicts of interest?
7. Are you able to commit the necessary time to the DRB?

March 9, 2022, 2022

Design Review Board – Town of Mountain Village
Town Council – Town of Mountain Village
Mountain Village, CO

Members of DRB and Town Council,

Please accept this letter as my request to continue to serve on the Mountain Village Design Review Board.

I have enjoyed my prior terms as a member of DRB, most recently as Chair, and take seriously the duties that are specific to this Board. I believe my experience and record of dealing with the design approval process, variance approvals consistent with the CDC, and the reviewing applications for rezoning, PUDs, density transfers, subdivisions, conditional use permits, variances and annexations will benefit the Village as we continue to evolve, grow and thrive.

Participating in the original formulating and subsequent reinventing of the Comprehensive Plan helps give me a context and overview for furthering stated community ideals. The Comp Plan was developed with the largest contribution of community participation and should carry that weight going into future decisions. I have been a leader in the process of re-formulating the Mountain Village CDC toward creating great architecture and can bring the context of that history to the review process. I am a constructive board member who is respectful and open to the views of fellow members, the public, and applicants. I work comfortably and collaboratively with staff. I've demonstrated this on other boards I've served on including as President of the Telluride R-1 School District, President of the Aldasoro Home Owner's Company and current Chair of the Colorado Association of Realtors State Grievance Committee.

I am especially interested in being involved with the substantial new projects that are being proposed in the Village core. As a Board we have been working for several years with consultants on revising the materials pallet, circulation and activity in the Core. I would like to be able to see that through and implemented with the new projects. I would also like to be considered by the Board to again serve as Chair.

Thanks for your consideration for appointment to a seat on the Design Review Board.

BANKS D. BROWN
LIV Sotheby's International Realty
137 W. Colorado Ave.
Telluride, CO 81435

banks@rmi.net
P 970 729 1100

To whom it may concern:

This is my letter of intent to continue serving on the Mountain Village Design Review Board. I have enjoyed serving on the board for the last couple of years and feel like I have learned a lot and contributed some. I am grateful for the opportunity to be involved in shaping the community in which I live in some small way and look forward to doing so in some capacity well into the future.

Regards,

Adam Miller

A handwritten signature in black ink, appearing to be 'Adam Miller', with a stylized, flowing script.

From: [Michelle Haynes](#)
To: [Samuel Quinn-Jacobs](#)
Subject: FW: applying for a regular seat
Date: Friday, February 18, 2022 1:28:57 PM

See below

From: Scott Bennett <scott@telluride-home.com>
Sent: Friday, February 18, 2022 1:17 PM
To: Michelle Haynes <MHaynes@mtnvillage.org>; Shane Jordan <shanejds9@gmail.com>
Subject: applying for a regular seat

Michelle,

I am interested in running for a full member seat. Is this email sufficient as a letter of interest for the position? I would also encourage Shane to run as he has great experience. Then Council has options.

Thank You,

Scott Bennett
Broker Associate
Telluride Real Estate Brokers
(970) 728-6667 Office
(970) 729-1666 Cell
scott@telluride-home.com
www.telluriderealestatebrokers.com
Retired Chief, Telluride Volunteer Fire Department
2017 Community Realtor of the Year
2005 Community Realtor of the Year

Please note my new email address scott@telluride-home.com

From: Michelle Haynes <MHaynes@mtnvillage.org>
Sent: Friday, February 18, 2022 12:28 PM
To: Shane Jordan <shanejds9@gmail.com>; Scott Bennett <scott@telluride-home.com>
Subject: applying for a regular seat

I would encourage either or both of you to apply for Bank's regular seat. Thank you!

The deadline is today. I just need a letter of intent.

Michelle

Catherine Jett

319 Adams Ranch Rd #1002 Mountain Village, CO 81435 | 970.708.0830 | cathjett@gmail.com

February 5, 2022

Sam Quinn-Jacobs
Town of Mountain Village
squinn-jacobs@mtnvillage.org

Dear Sam:

I am sending you this letter in response to the advertisement for Design Review Board members. I am uniquely qualified for this position for the various reasons:

- ▯ I am a resident of Mountain Village and have lived here full time since 2004
- ▯ I am a previous member of the Design Review Board and Town Council and helped to develop the Comprehensive Plan
- ▯ I am intimately familiar with several sections of the Community Development Code because I worked with staff to come up with fair and balanced processes and procedures. Specifically, the green building codes and forest health plans.
- ▯ I was a member of the Ten Mile Sub-basin planning commission in Summit County, CO while Intrawest was redeveloping Copper Mountain. This required a new master plan and PUD and was a multi-year process.
- ▯ Because of my previous planning commission and design review experience, other members of council would seek my opinion and layperson "expertise" on projects because I read and understood the code.

During my tenure on the Ten Mile commission, my mentor was an architect who took me under his wing and taught me about design aesthetics and architectural elements. He also taught me that the most important decisions that I would make would often personally affect me. He very strongly taught me that I could not make personal judgments on a project unless the code supported them. I have carried this advice with me during all my public service.

I have enjoyed serving on the Design Review Board in Mountain Village for the last few years and feel that I have a unique perspective on development because of my historical knowledge of the process and how it has evolved over the years.

Thank you for your consideration and I look forward to working with you.

Sincerely,

Catherine Jett

CATHERINE JETT

319 Adams Ranch Rd #1002
Mountain Village, CO 81435
970.708.0830
Cathjett@gmail.com

Objective

An appointment to the Mountain Village Design Review Board as a regular member

Relative Experience

Mountain Village Town Council

Council Member (10 years) | Mayor Pro tempore (1 year) 2006 - 2016

Committees:

- Town Hall Subarea Redevelopment Committee
- Comprehensive Plan Committee
- Colorado Communities for Climate Action (CC4CA)
- San Miguel Watershed Coalition
- Sneffels Energy Board
- Plaza Use Committee

Worked with staff to develop procedures and protocols specific to:

- Green building codes
- Forest Health
- Open Space and Recreation

Mountain Village Design Review Board

Regular Member | 2014 – 2016, 2019 - Current

Notable projects:

- Mountain Village Comprehensive Plan
- Rosewood PUD
- Mountain Village Hotel PUD
- Lot 161CR PUD

10 Mile Sub-basin Planning Commission

Summit County, CO |

Notable projects:

Copper Mountain / Intrawest Master Redevelopment Plan

Work Experience

CJ Sports Timing LLC

Owner of internationally recognized sports timing company. Daily responsibilities include

Accounts Payable/Receivable

Payroll

Project Management

Software Development

Volunteer Management

Event Management

Hardware troubleshooting

DAVID CRAIGE LIGHTING DESIGN
138 E. COLORADO AVE, TELLURIDE, COLORADO 81435

JANUARY 20, 2022

JANE MARINOFF
MOUNTAIN VILLAGE BUILDING DEPT.

RE: LETTER OF INTENT

DEAR JANE,

I WOULD LIKE TO BE CONSIDERED FOR ONE OF THE FIVE REGULAR DRB SEATS BEING VACATED.

I HAVE BEEN A CERTIFIED LIGHTING CONSULTANT WITH THE AMERICAN LIGHTING ASSOCIATION SINCE 2004 AND A DESIGN ASSOCIATE OF THE INTERNATIONAL ASSOCIATION OF LIGHTING DESIGNERS SINCE 2013. I SOLD PEAK TO CREEK ELECTRICAL IN 2008 AND HAVE BEEN INVOLVED WITH HUNDREDS OF RESIDENTIAL AND COMMERCIAL DESIGN BUILD PROJECTS IN TELLURIDE, ASPEN, VAIL AND PARK CITY OVER THE PAST 25 YEARS.

MY EXPERIENCE HAS INVOLVED DARK SKY REQUIREMENTS, ENERGY EFFICIENT LED TECHNOLOGY, DRB AND HARC APPROVALS WITH LOCAL GOVERNMENTS. I FEEL THAT MY KNOWLEDGE WOULD LEND ITSELF TO THE MOUNTAIN VILLAGE DESIGN REVIEW BOARD AND APPRECIATE YOUR CONSIDERATION.

I WELCOME THE BOARD TO REVIEW MY WEBSITE: www.davidcraigelightingdesign.com

LINKED IN PROFILE www.linkedin.com/in/david-newman-craige-3b152

RESPECTFULLY,

DAVID CRAIGE, CLC

ISABELLA JAMES

isabellajames97@gmail.com

720 633 4947

Experience and References

Architectural Designer, **CANSANO Design**, Telluride CO – 2021-Present

Contact: Ascenzo DiGiacomo 720 633 4948

Board Advisor, **Institute of Classical Architecture and Art**, Rocky Mountain

Recipient of the Certificate in Classical Architecture (ICAA)

Architectural Designer, **RATIO | Humphries Poli Arch**, Denver CO – 2017-2021

Contact: Dennis Humphries 303 607 0040

Architectural Intern, **The Mulhern Group** Ltd., Denver CO - 2014-2015

Contact: Andy Baldyga 303 297 3334

Education

University of Colorado Denver / **Master's of Architecture**

2019 - 2022 / Magna Cum Laude

University of Colorado Denver / **Bachelor's of Science in Architecture**

2015 - 2019 / Magna Cum Laude

Letter of Intent

To Whom it May Concern,

Lucky enough to be born and raised in the most wonderful community in the country, I am a Telluride woman through and through. I have witnessed the growth of this town through a unique perspective, one of architecture and design. After receiving my architectural education in Denver, I could not wait to come back to Telluride and Mountain Village to have a hand in the growth. The mountain vernacular is incredibly special to me and is worth preserving. Whether it be in a multi million dollar house on the hill, a new hotel in the village core, or a trash enclosure for the village market, I am committed to the very specific architectural language of Mountain Village.

I have experience working in a boutique firm on high end residential on the Ridge as well as in a corporate firm working on community buildings such as the Ridgeway library expansion and the Mancos K-12 schools renovation. My passion for architecture began very early in life when I would spend hours at the Wilkinson Public Library, it was here I realized the intense connection between architecture and our culture. It is our historic main street, ski shacks, and community buildings that truly give our home its character. Mountain Village is one of the most unique towns in the country and that comes from the charm of the Chamonix-esque core. As the village grows and more houses go up on the ski area, it is our duty to preserve the architectural identity of our little mountain town. The design of Telluride and Mountain Village inspired me to pursue a degree in architecture. With this knowledge, experience and passion for our little slice of heaven here in the San Juans, I came back with the intention of preserving the historic architectural character while launching Mountain Village into a new era of growth and sustainability. I am deeply rooted in this community and my passion and knowledge of the mountain vernacular would make me the perfect candidate for the Mountain Village Design Review Board.

Thank you very much for your time and consideration,

Isabella James

Keith Brown

Apt 41A-(r), 117 Lost Creek Lane, Mountain Village, CO 81435
ph 970.417.9513 keithtelluride@gmail.com

February 18, 2022

Letter of Interest to Serve on the Design Review Board

I hope for the opportunity to serve the Town by participating on the Design Review Board (DRB). I have the needed interest, experience and time.

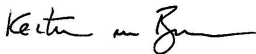
In 2006 my wife Tyco and I purchased a Mountain Village condominium that we now call home. We manage a property rental business for vacation rentals and long term rentals. We currently own or manage condominiums in Mountain Village, Telluride and a rental home we built in Norwood. I am also a licensed, independent Realtor.

I previously served on the DRB from 2015 to 2019. Afterwards I acted as owner-agent for several condominium rezones, including my own. Having experience on the DRB Board and as an applicant has been useful for understanding the process of building in Mountain Village.

I was a licensed residential-commercial contractor through 2021. Being a licensed contractor allowed me to make applications for projects I designed and or project managed. I ended the contractor services in 2022 as my scheduled projects are complete.

Past employment included managing offices and apparel manufacturing facilities for the Kellwood Corporation. I have an MBA from the Florence Institute of Technology and I studied Industrial Design at the Rhode Island School of Design.

Thank you for considering my interest to serve on the Design Review Board.



Most Sincerely, Keith Brown
(970) 417-9513 keithtelluride@gmail.com
TMVRentals.com

From: [Kathrine Warren](#)
To: [neal elinoff](#); [Samuel Quinn-Jacobs](#)
Subject: Re: design and review board for MV
Date: Tuesday, February 15, 2022 5:20:49 PM

Hi Neal,

I am looping in Sam Quinn-Jacobs who is overseeing DRB applications.

Thank you!

Kathrine Warren
Public Information Officer
Town of Mountain Village
455 Mountain Village Blvd. Suite A
O :: 970.369.6415
M :: 970.708.7285
[Website](#) | [Facebook](#) | [Twitter](#) | [Instagram](#) | [Email Signup](#) | [Submit event](#) |

Si Usted necesita comunicarse conmigo y necesita servicio de traducción al español, simplemente háganoslo saber y podemos proporcionar tal servicio.

From: neal elinoff <nealelinoff@gmail.com>
Date: Tuesday, February 15, 2022 at 5:18 PM
To: Kathrine Warren <KWarren@mtnvillage.org>
Subject: design and review board for MV

Please throw my name into the hat.

I've lived in Telluride as a year round, full time resident since 1995. I own the Elinoff Gallery on Main Street and the Alpinist & the Goat.

We own a couple of rental properties in MV and we live at Crystal which is behind See Forever Village.

I'm a licensed contractor in MV having just completed a major excavation and addition to my MV home.

I'm 66 years old and married to Karla for 17 years. I have four children from my first marriage, two are lawyers, one is an internet professional and one is a NY Fashion designer. My wife, Karla and I brought 4 of her half-brother's children from Honduras who were taken by the state and we raised them here. Karlita is the Neil Armstrong Merit Scholar currently a Junior at CSU, and the two youngest ones are finishing their education in Aurora High School on the front range.

I am a private pilot and do volunteer flying for Angel Flights West, flying patients through the region to and from the hospitals in Denver, children and adults who cannot tolerate extended driving.

I'm vested in the community. I have no other residences and live here year round, full time since 1995 jockeying between properties but finally moving to our forever home at Crystal after it's recent renovation and expansion.

I'm an art dealer by trade, artist by desire, and lay architecture scholar for most of my life having personally known Michael Graves, Renzo Piano, IM Pei, (I was on the architectural committee for the University of Chicago Graduate School of Business) I've studied the works of Le Corbusier, Frank Gehry, Frank Lloyd Wright, Philip Johnson and many others, and I know many of our local architects and designers and I want to see MV as the quintessential place for people who want the best homes ever!. plus I want to do more volunteering now that I'm winding down much of my hands-on work on Main St.

I have a BS degree in statistics and BS in genetics from CU in 1973, I taught Epidemiology at St. George's University School of Medicine from 1973-1975 and was also a student there before moving back to the states and starting a chain of ice cream stores (Neal's Ice Cream in Houston) and cookie stores (Neal's Cookies, HQ in Houston with 122 stores) before selling out years ago. At the time I had a bakery products manufacturing company that produced cookie doughs, muffin mixes and brown batters as well as making our own fine chocolate which we used in our own cookies, etc. of 7.5 tonnes/week before moving to Chicago where I invented a coffee roaster, wrote a book on coffee roasting and started a chain of coffee shops (Brewsters). I founded the first weed store in Telluride in 2008 (Legally Supplied Marijuana for Telluride - LSMFT) and gave it to an employee to continue. He was a moron and couldn't keep it open so that was my foray into Marijuana.

I'm interested in contributing to the local community more than just being a local business owner, so please add me to your selection committee.

Neal Elinoff *president*

Elinoff & Co. Gallerists and Jewelers

204 West Colorado Ave.

PO Box 2846

Telluride, CO 81435

work: 970-728-5566; fax: 970-728-5950; cell: 970-708-0679

Design Review Board Letter of Intent

To whom it may concern,

My name is Charles Lynch.

I'm interested in serving on the Mountain Village Design and Review Board.

I have lived and worked in Telluride since August of 1997. I was married here and both of my kids went to Mountain Munchkins, Telluride Preschool and Telluride Elementary. I owned Unit 13 @ Fairway Four and lived there between 1999 and 2004. Moved to Norwood and lived there until 2009. I divorced in 2010 and have lived @ VCA since October 2010.

My first job in Telluride was as a carpenter with B.O.N.E. Construction. I worked on the Smugglers Restaurant Project.

My first project as a general contractor in Telluride was converting the old karate studio across the street from the library into office space for Scott Ericson and Joshua Fairbanks in 1999.

As a carpenter, I also worked with Dallas Divide Construction, DeLuca Construction and Shavano.

I started managing projects as a superintendent with Hoins Construction in 2002. I also have worked as a superintendent with CCS Construction and am currently working for Koenig Construction as a superintendent. All along the way I have taken on many projects, commercial and residential, as a general contractor. Some clients easy to work with, some difficult. All the projects had their own unique challenges.

The majority of my commercial project experience has been in Mountain Village: Granita Building (Office remodel for Dr. J. Bronson), Hotel Madeline (misc. scope), Starbucks.

I have participated in the construction of numerous new homes and renovations in Mountain Village throughout the years and have always maintained a good relationship with the building department, clients and residents.

I feel my project history, love for living in Mountain Village and desire to facilitate the building process makes me an ideal candidate for the Design and Review Board.

I would be happy to help in any way.

Sincerely,
Charles Lynch



CHARLES LYNCH CLC SERVICES LLC

General contractor/ Superintendent
Licensed and Insured
29 years of experience.

MISSION

To provide timely management and exceptional craftsmanship.

BACKGROUND

Grew up in Springfield, IL.
Attended University of Colorado.
Started career in Seattle, WA.
Telluride resident since 1997.
Fairway Four resident 1999 – 2004.
VCA resident 10/2010 - Present
Father of two.
Non-drinker/smoker.
Avid outdoorsman & golfer.
Strong self-performer.

VITALS

415 Mountain Village Blvd., Unit 1149
Telluride, CO 81435

T (970) 708-1432

E lynchc71@yahoo.com

RECENT PROJECT HISTORY

Superintendent / Koenig Construction

04/2020 - Present

Philipps Project / 424 W. Dakota, Telluride.

New construction. 2200SF custom home.

General Contractor / CLC Services LLC

03/2019 – 03/2020

Boyd Project. (Phase 2) / 767 HWY 145, Telluride.

Garage renovation. Majority of work performed by self.

07/2017 – 08/2018

Boyd Project. (Phase 1)

Kitchen and (3) Bath renovation. Majority of work performed by self.

Carpenter / Koenig Construction

09/2018 – 02/2019

Rosenthal Project / 792 Smuggler

JOB EXPERIENCE

Rapport with clients. Reading construction documents. Permitting.
Creating CMP plans & completion schedules. Resolving design conflicts. Material take-offs. Hiring & directing sub-contractors. Safety monitoring. Generating shop drawings.

SKILLS

Computer & Smart Phone. (Microsoft Office user).
Journeyman carpenter.
Jack of all trades.

EDUCATION & CERTIFICATION

University of Colorado, B.A. Biology
Licensed National Standard Building Contractor (B)
Procore Software (Superintendent Level)
Building Science Organization Member

NOTABLE

Strong sub-contractor relationships.
Handled superintendent & lead carpenter duties on multiple projects.
Largest project supervised was 11,000SF Luxury Triplex in Telluride.
Commercial construction experience. (Starbucks)
Soil Stabilization. (Supervised Hilfiker Wall construction)
Per OSHA > No injuries on my watch.
Detailed work history and **references available upon request.**

From: [David Gallagher](#)
To: [Samuel Quinn-Jacobs](#)
Cc: [Brad Crouch](#); [Michelle Haynes](#)
Subject: Bio and letter of intent
Date: Thursday, February 10, 2022 9:56:12 AM

Hello,

I would like to join the design review board, this note is my letter of intent.

Brad - can you please send my bio to the people attached?

Thank you,

David Gallagher

David A. Gallagher | CEO | [Dominion Payroll Services](#) |
P 804.355.3430 | F 804.355.3432
3200 Rockbridge Street, RVA 23230
[dominionpayroll.com](#) | [Facebook](#) | [Twitter](#) | [LinkedIn](#) | [Blog](#) | [Secure File Transfer](#)

David Gallagher | CEO | Dominion Payroll
3200 Rockbridge Street, Suite 300 | Richmond, VA 23230 | 804-355-3430 | 804-355-3432
(fax)
[dominionpayroll.com](#) | [Facebook](#) | [Twitter](#) | [LinkedIn](#) | [Blog](#) | [Secure File Transfer](#)



Speaker. Father. Entrepreneur. Advocate. Innovator.

Speaker. Father. Entrepreneur. Advocate. Innovator. These are just some of the words that describe David Gallagher, CEO of Dominion Payroll and co-founder of the Cameron K. Gallagher Foundation.

David's story started in Richmond, Virginia, where he attended Benedictine High School before going on to earn an accounting degree from Virginia Commonwealth University. He married his high school sweetheart, Grace, and embarked on a dynamic career path that started with Coopers & Lybrand, then led to managing the West Coast and Asia-Pacific markets for ADP from Australia before returning to his roots in Richmond.

In 2002, David started Dominion Payroll with a classic (and decidedly American) entrepreneurial beginning: a few thousand dollars, a computer and a printer in a borrowed garage. Since then, Dominion Payroll has grown and changed dramatically, being named as one of Inc. magazine's 5,000 fastest-growing companies in the United States for twelve consecutive years. Headquartered in Richmond with offices in Nashville, Tampa, Dallas, Louisville, and Charlotte, Dominion Payroll recently won Chamber RVA's Impact Award for its outsized contributions to the community and has twice won the HYPE Young Professional Workplace Award.

David and his wife, Grace, have five children, and together they founded the Cameron K. Gallagher Foundation in 2014 to honor their oldest daughter, who passed away suddenly after completing the Shamrock Half Marathon in March of that year. Cameron, who was 16 years old at the time wanted to raise awareness of teenage anxiety and depression by starting a 5k race in Richmond before she passed.

The Speak Up 5k race series was born out of a desire to see Cameron's dream become reality and, through those events and other programs, the CKG Foundation has raised awareness and funding to help teens struggling with depression and anxiety in unprecedented ways throughout the country. David and Grace were honored with the 2015 Carol S. Fox Making Kids Count Award in recognition of the foundation's efforts.



David Gallagher

Founder and CEO, Dominion Payroll

President, Tang & Biscuit

Chairman, Cameron K. Gallagher Foundation

David generously donates his time and visionary leadership through service as a board member for several organizations in the Richmond community, including Collegiate School, Richmond CenterStage and ChamberRVA. He was named a finalist in 2015 for the Richmond Times-Dispatch "Person of the Year" Award and, in 2016, received the Edward H. Peeples Jr. Award for Social Justice, an award given to a VCU alumnus for leadership in humanitarian contributions in combating inequality and social injustice.

In 2018 David opened Tang & Biscuit, the largest indoor shuffleboard facility in the world. Tang & Biscuit offers an alternative to regular bars, where people of all ages are encouraged to engage, be social and enjoy a shared experience.

David continues to lead his business ventures and non-profit foundations to new heights in 2022.

Letter of Intent to Join the Mountain Village Design Review Board, 2022

Jim Austin, 125 Adams Way, Mountain Village

I hope to be considered for one of the upcoming four vacant Design Review Board (DRB) seats for the following reasons:

- Long-time visitor/new resident: I first came to Telluride in the mid-1980's, spending most winter holidays with my wife's family in their Ski Ranches' home (Dr. and Mrs. George Conger). My wife and I are now enjoying our recently constructed new home for our family in Mountain Village (125 Adams Way)—designed by my wife, a licensed architect and professor of architecture at the Illinois Institute of Technology (IIT).
- Planning/Education/Corporate Background: I obtained a joint Masters in Public Affairs (MPA) and a Masters in Urban and Regional Planning (MURP) from Princeton. Today, I am an Adjunct Assistant Professor, Brown University, School of Professional Studies, where I teach Leadership & Marketing. I am also a Consultant/Lecturer at the Aresty Institute of Executive Education, Wharton (University of Pennsylvania), where I lead seminars on strategic planning, decision-making and execution. Prior to that, I was VP Strategic Development at Baxter Healthcare, a large pharmaceutical and medical device company, focusing on new, global growth opportunities, constantly balancing past initiatives against new, transformative investments.
- Love of the Outdoors: As the Town of MV Home Rule Charter (HRC) Preamble states, "...our Charter should provide measures which safeguard our citizens' life-style, protect the beauty of our natural

surroundings, and encourage the recreational nature of our town.”¹

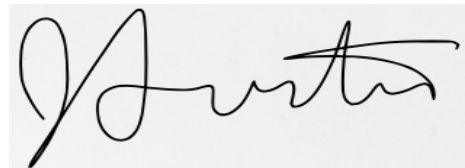
While I am an ardent skier, tennis player, golfer and hiker, I am also aware of the challenges in meeting the HRC’s goals...not just today, but in the years to come. More fundamentally, how should the Town balance the desires of current residents with those of new entrants, visitors, and the natural environment?

- Past Volunteer Efforts: I was Chairman of the Strategic Leadership Forum, a board member of the National Kidney Foundation of Illinois, a member of the Board of Directors for the University Club of Chicago, treasurer of LaSalle Language Academy, and a member of the Admissions Committee for the Latin School of Chicago. In all these efforts, I tried to listen first, discuss second, for it is only in bringing out different perspectives are the best decisions made.

In summary, I would welcome the opportunities and challenges to participate with other DRB members in maintaining and evolving the aesthetic bounty of this wonderful place. For more detail on my background, please visit my website:

www.jh-austin.com

Thank you for your consideration.

A handwritten signature in black ink, appearing to read "Austin", is displayed on a light gray rectangular background.

¹ Amended 6/28/05



JIM AUSTIN

President, JH Austin Associates, Inc.

Jim Austin, a former senior executive at Baxter Healthcare, combines business strategy and organizational development theory with extensive industry experience. As a Consultant at the Aresty Institute of Executive Education at the Wharton School, Jim tailors senior-level seminars for a number of leading entities including CUES, SIFMA, Boston Scientific, Coca-Cola, Lincoln Financial, GE, GlaxoSmithKline, and China Minsheng Banking Company.

Jim is an Adjunct Assistant Professor at Brown University where he teaches Leadership & Marketing in the School of Professional Services.

In his consulting work, Jim developed scenarios of the future for the League of Southeastern Credit Unions; a new vision/priorities at RAND Health; and strategic priorities for the Board of Unity Medical Center, ND.

Jim has written two books (*Transformative Planning*; and *Leading Strategic Change*).

Jim holds a BA in Economics and Politics from Yale University. He was a Special Student at the Massachusetts Institute of Technology in the Urban Studies Department and received a joint Master of Public Affairs (MPA) and Master of Urban and Regional Planning (MURP) from Princeton University.

Fun fact about Jim: Between college and graduate school, Jim spent four years as an economist/planning officer in the Ministry of Finance, Botswana (southern Africa).

CURRICULUM VITAE

James H. Austin, Jr.

PERSONAL INFORMATION

Address: 125 Adams Way, Mountain Village, CO 81435
Phone: 312-388-2750 (cell)
Fax: NA
E-mail: james_austin@brown.edu

EDUCATION

1975 BA, Economics, Yale

1982 MPA, Woodrow Wilson School, Princeton University (full scholarship)
MURP, Woodrow Wilson School, Princeton University

ACADEMIC APPOINTMENTS

1998 – 2016 Business Management Professor, Introduction to Healthcare Management;
Strategic Management; Lake Forest Graduate School of Management

2004 – 2005 Adjunct Faculty, Healthcare Communication Strategies; Healthcare Informatics;
Stuart Graduate School of Business, Illinois Institute of Technology

2013 – 2016 Adjunct Faculty, Healthcare Ethics; Department of Health Systems Management,
College of Health Sciences, Rush University

2014 - Present Adjunct Assistant Professor, Leadership & Marketing, Master's of Healthcare
Leadership, Brown University

OTHER APPOINTMENTS/EMPLOYMENT

1976-1980 Economist/Planning Officer, Ministry of Finance, Botswana

1982-1986 Consultant, Arthur D. Little, Inc.

1986-1988 Assistant to the President, ANCHOR HMO, Rush Medical Center

1988-2000 Vice-President Strategy Development, Renal Division, Baxter Healthcare

2001-2003 CEO, MV Health, MonacoViola

2003-2005	Practice Leader, Organizational Development, St. Aubin, Haggerty & Associates Senior Principal, Decision Strategies International, Inc.
2005-2016	Senior Principal, Decision Strategies International, Inc.
2006 – Present	Consultant/Lecturer, Aresty Institute of Execution Education, Wharton
2014 – Present	Faculty, Executive Programs, American College of Healthcare Executives (ACHE)
2016- Present	President, JH Austin Associates, Inc.

HONORS AND AWARDS

2010 – 2010	“Most Distinguished Corporate Education Faculty Member”, Lake Forest Graduate School of Management
2015 - 2015	“Contribution to Learning Excellence”, Lake Forest Corporate Education

MEMBERSHIP IN SOCIETIES

1997 – 1998	International Strategic Leadership Forum, Chairman
2000 – 2003	National Kidney Foundation of Illinois, Member Board of Directors

NATIONAL OR INTERNATIONAL SERVICE

Editorial Responsibilities

1973-74	Editorial Editor, Yale Daily News
1994 - 2000	Editorial Board, <i>Strategic Direction</i> , MCB Business Strategy Publications, UK

SERVICE TO OTHER INSTITUTIONS

1990 – 1993	University Club of Chicago, Member Board of Directors
1997 – 1998	Catholic Health Partners, Member Strategic Planning Council
1997 – 1998	Latin School of Chicago, Member Admissions Committee

2000 – 2002 LaSalle Language Academy, Chair Finance Committee

BOOKS AND BOOK CHAPTERS

1. **J. Austin**, Botswana Drought Contingency Plan, Government of Botswana Printing Office, 1979
2. **J. Austin**, The Business of BioMedicine (Chapter 5); Paul J.H. and Joyce A Schoemaker, Chips, Clones and Living Beyond 100, FT Press, 9/09
3. **J. Austin**, J. Bentkover, L. Chait, Leading Strategic Change in an Era of Healthcare Transformation, Springer International Publishing, Switzerland, 2016
4. **J. Austin**, Transformative Planning: How Your Healthcare Organization Can Strategize for an Uncertain Future, Health Administration Press, 2018

OTHER NON-PEER REVIEWED PUBLICATIONS

1. **J. Austin**, “The Botswana Economy and the Problem of Vulnerability”, Swedish Embassy Development Cooperation Office Quarterly, January 1981
2. **J. Austin**, “South Africa’s Vulnerable Neighbor”, *Christian Science Monitor*, Op-Ed, June 10, 1981
3. **J. Austin**, “Trade Marts for Computer/Information Markets”, *Urban Land*, ULI, August 1984
4. **J. Austin**, “Project Management Models”, *Management Notes*, Arthur D. Little Management Education Institute, Inc., Vol. 2, 1985
5. **J. Austin**, “Profile of the ANCHOR Organization for Health Maintenance”, *Journal of Medical Practice Management*, May 1987
6. **J. Austin**, “Four Key Questions in Negotiations”, *Group Practice Journal*, American Group Practice Association, 1988.
7. **J. Austin**, “Leveraging the Internet for Better Patient Education”, *Dialysis & Transplantation*, Wiley Periodicals, Inc., June 2000
8. **J. Austin**, “The Future of BioSciences: Four Scenarios for 2020 and Beyond...”, *DSI Quarterly*, Summer 2005
9. **J. Austin**, “Case Study: Helping a Major Hospital Develop a New Vision”, *DSI Quarterly*, Fall 2005
10. **J. Austin**, M. Mavaddat, “The Future of BioSciences: Implications for the Bio-Pharmaceutical Industry”, *DSI Quarterly*, Spring 2006
11. **J. Austin**, M. Mavaddat, “The BioScience Industry and Technological Convergence”, *DSI Quarterly*, Summer 2006
12. J. Austin, P. Schoemaker, “Future Scenarios for Implantable Medical Devices”, *DSI Quarterly*, Summer 2007
13. **J. Austin**, T. Fadem, P. Schoemaker, “A Look into the Future of the U.S. Medical Device Market”, *Medical Device & Diagnostic Industry*, January 2009
14. **J. Austin**, “The Need for New Business Models: Big Pharma”, *DSI Quarterly*, Winter 2009
15. **J. Austin**, “2016: Possible Production Scenarios for the US Dairy Industry”, *Progressive Dairyman*, May 2008 (one of top-10 articles for the year)

INVITED PRESENTATIONS

National

1. "Leading Strategic Change", ACHE Executive Conference, Chicago, Dec. 2021
2. "Decision-Traps: Becoming a Better Strategic Decision-Maker", Cerner Healthcare Conference (virtual), October 12, 2021
3. "Leadership Development: Strategic Execution", Highmark Health, June 2021
4. "Leading Strategic Change", 6-Part ACHE Executive Program (virtual), October-November 2020
5. "Leading Strategic Change," Mid-America Healthcare Executives Forum, October 2020
6. "CEO Roundtable", CUES, Jan-November 2020
7. "Leading Strategic Change", ACHE/Iowa Hospital Association, December 2019
8. "Critical Thinking", Sompo/Wharton, October 2019
9. "Strategic Agility: Embracing Future Uncertainty", 2019 Healthcare Forum Leadership Summit, American Hospital Association, July 25, 2019
(<https://web.cvent.com/event/553b8ae2-ec4c-4cef-bd7f-7f9b5bdf10f9/websitePage:de5400e0-9ebd-47d6-93ae-ad5c7e59944b>)
10. "Strategic Planning", American College of Healthcare Executives (ACHE) Senior Executive Program, June 11, 2018
11. "Leading Strategic Change", pre-Congress Seminar, ACHE 2018 Annual Congress, March 24-25, 2018
12. "Leading Strategic Change in an Era of Uncertainty", Cerner Healthcare Conference, October 10, 2017
13. "Leading Transformational Change", American College of Healthcare Executives 2017 Conference, Chicago, March 2017
14. "Leading Strategic Change", American College of Healthcare Executives, Kiawah Island, April 2016
15. "Driving Change in Primary Care", American College of Healthcare Executives 2015 Conference, Chicago, March 2015
16. "Introduction to Strategic Thinking and Wharton Executive Education", American Association of Pediatric Dentists, Board of Directors, San Diego, January 2015
17. "Business Ethics: What to Do", PCMA 2015 Convening Leaders Conference, Chicago, January 2015
18. "Strategy Under Uncertainty", The Association for Convenience and Fuel Retailing (NACS) Conference, Las Vegas, October 2014
19. "Decision-Making Under Uncertainty", BBA Aviation, CEO/Executive Team, September 2014
20. "New Growth Strategies", AIBTM Orlando Conference, June 2014
21. "Value Innovation: Finding New Growth Opportunities", AIME CEO Conference, Australia, February 2014
22. "Scenario Planning: A Tool for Times of Uncertainty", Professional Convention Management Association (PCMA) 2014 Convening Leaders, January 2014

23. "Value Innovation and New Growth Opportunities", Redstone Financial Credit Union, Board of Directors, Florida, November 2013
24. "Scenarios of the Future of the Beef Industry", American Association of Bovine Producers Conference, Milwaukee, WI, September 2013
25. Strategic Plan Development, Volunteers of America, IL Chapter Board of Directors, January-May 2013
26. "Dealing with Uncertainty and Strategic Prioritization", Redstone Financial Credit Union, Board of Directors, Florida, November 2012
27. "Leadership in a Changing Healthcare Landscape", Board/Senior Management, St. Luke's University Health Network, Bethlehem PA, October 2012
28. "Strategy Under Uncertainty", Volunteers of America, Board of Directors, August 2013
29. "Dealing with Uncertainty and Strategic Prioritization", Redstone Financial Credit Union, Board of Directors, Florida, November 2012
30. "Leadership in a Changing Healthcare Landscape", Board/Senior Management, St. Luke's University Health Network, Bethlehem PA, October 2012
31. "Strategic Planning for Changing Times", Navistar Financial Executive Team, Chicago IL, October 2011-June 2012
32. "Scenario Planning and Innovation", Executive Team/Board, League of Southeastern Credit Unions & Affiliates, Florida, August 2011
33. "Scenarios of the Future", American College of Healthcare Architects, Board Retreat, January 2011
34. Dealing with Uncertainty...Developing Strategic Priorities", Board of Advisors, RAND Health, January-June 2011
35. "What is Strategy and the Tool of Scenario Planning", Royal Caribbean International Leadership Retreat, Miami Florida, November 2010
36. "Decision Traps", University of Alabama at Birmingham (UAB), 2009 National Symposium for Healthcare Executives, July 2009
37. "Decision-Making in Increasingly Uncertain Times", "Strategic Agility--Developing a Robust Plan for Short and Long-Term Success", "Creating a Local Vision", APTA, 2009 Transit CEOs Seminar, January 2009
38. "From the Future Back", Abbott, PPD, 2008 Managed Care Summit, Spring 2008
39. "Working with MDs", Decision Analysis Affinity Group (DAAG) 2008 Conference, April 2008
40. "Decision Traps and Managing Future Uncertainties", APTA, Transit Board Members Seminar, July 2008
41. "Updated Scenarios of the Future for US Dairy and Strategic Execution", PDPW, Managers Academy, January 2008
42. "Scenarios of the Future for US Dairy", PDPW, Managers Academy, January 2007
43. J. Austin, M. Hess, T. Fadem, "US Medical Device Industry: Scenarios for the Future", AdvaMed, 2007 Medical Technology Conference, Fall 2007
44. "Future of Medical Devices: Overview of the Market and Key Issues", Wharton, Medical Devices Scenario Conference, Fall 2006
45. J. Austin, D. de St. Aubin, "New Approaches to Strategy: Combining Team-building and Strategy Development", University of Chicago Business School Consulting Roundtable, 2002

46. Conference Chair, IIR, ePharma Summit: Leveraging eBusiness Strategies Across the Enterprise for Competitive Advantage, November 2000
47. “Maximizing the Role of eCommerce in Global Marketing Strategy”, IIR, E-Pharma: Implementing an Effective Electronic Media Marketing & Promotion Strategy, August 2000
48. Conference Chair, Frost & Sullivan, Second Annual Business Intelligence and Strategy in Healthcare Industry Conference and Exhibition, November 1999
49. “Going Global: Market Entry Strategies”, Frost & Sullivan, Fourth Annual Medical Device Industry Conference, March 1999
50. “Changing Strategic Direction: Implications for Growth and Performance Measurements”, IQPC, Performance Measurements for Strategic Planning Conference, February 1999
51. “Best Practices: Competitive Intelligence Management Strategies”, Frost & Sullivan, Competitive Intelligence in Business Conference, September 1998
52. “Technology Transfer at Baxter’s Renal Division”, Technology Transfer Society, July 1998
53. “Implementing a Global Strategy”, Strategic Management Society, Annual Conference, 1995
54. Chairman Introduction, Strategic Leadership Forum, Annual Conference, 1995

International

1. “Strategic Planning Under Uncertainty”, Saudi Ministry of Health, Wharton Executive Education, January 2020
2. “Decision-Making and Execution in Times of Uncertainty”, E-House, Chengdu China, January 2019
3. “Finding New Growth Opportunities: Strategy from the Outside-In”, The Wharton Latin America Conference Tour—Seminarium Master Classes, August 19-23, 2019, Mexico City, Bogota, Santiago
4. “Scenario Planning and Dealing with Uncertainty”, China Minsheng Banking Co, Beijing China, May 2019
5. “Strategic Leadership Under Uncertainty”, Lonza G-Camp, Basel Switzerland, November 2017
6. “Business Model Transformation”, Lonza G-Camp, London UK, March 2017
7. “Strategic Leadership: Dealing with Uncertainty”, Campbell’s, Sydney Australia, March 2016; July 2015
8. “Innovation and Strategic Segmentation”, Roche Leadership Excellence Program, Shanghai China, July 2015
9. “Value Innovation”, Scotiabank, Toronto Canada, 2014-2018 (annual meeting)
10. “Decision-Making Under Uncertainty”, CEO Summit at AIME, Melbourne Australia, February 2014
11. “Strategy in an Age of Uncertainty”, GSK High-Potentials, Mumbai India, May 2011; 2012 and 2013
12. “Strategy, Scenario Planning and Driving Change”, Santander Banco High Potentials, Madrid Spain, November 2011
13. “Decision-Making and Blue Ocean Strategy to Drive Future Growth”, Telstra High Potentials, Sydney Australia, June 2011
14. “Scenario Planning and Dealing with Decision Traps”, GE LIG Program (Munich, Istanbul, Milwaukee), April-October 2011

15. “Strategic Planning, Dealing with Uncertainty and the Tool of Scenario Planning”, ANZ Executive Team, Jakarta Indonesia, April 2011

From: [Teri Steinberg](#)
To: [Samuel Quinn-Jacobs](#)
Subject: Application for Design Review Board
Date: Friday, February 18, 2022 3:34:59 PM
Attachments: [Teri Steinberg Resume .doc](#)

Dear Sam Quinn Jacobs,

Thank you for considering my application for one of the open seats of the Mountain Village Design Review Board.

I will start by confessing I do not meet the exact qualifications you are looking for. I am a lawyer who worked for many years as a literary agent in New York City. However, my undergraduate degree is from the School of Natural Resources at The University of Michigan, which focused on Urban Planning. I have always been interested in city planning and find the opportunity to be involved with a community that is still creating itself to be thrilling. I understand that the Design Review Board does not have a direct hand in planning, but in making sure that the plans and designs others create are in keeping with the intent and vision of Mountain Village. I have read the 30-year Comprehensive Plan just out of interest.

I moved to Ophir three years ago, am a member of the Ophir Environmental Commission and started a Budget Advisory Committee last year so that we Ophir citizens can understand the needs of our own growing community. I feel incredibly fortunate to live in this area and enjoy being an involved community member.

I am happy to answer any questions you may have and thank you for your time and consideration of this application.

Best regards,

Teri

Teri Steinberg
cell: 917-771-8446

EXPERIENCE

Teri Steinberg, LLC Ophir, CO November 2022 – present
Work as an independent contractor with local attorneys on a variety of legal matters

T&B Literary, Publishing Consultant Firm, Detroit, MI and Ophir, CO
Co-Founder December 2018 – March 2021
Co-founded a publishing consultancy to bring my industry expertise to aspiring authors. Provided a range of services including coaching, editing and contract negotiation for authors and publishing companies

Campaign for Michigan Secretary of State Jocelyn Benson, Detroit, MI
Campaign Manager, Detroit headquarters September 2017 – November 2018
Coordinated and executed a successful political campaign including website, email campaigns, political strategy, fundraising and organizing Benson's appearance at Michigan Democratic conventions and fundraisers. Worked in coordination with the campaign manager and other lead staff in Lansing, Michigan.

Teri Tobias Agency, New York, NY
Creator and President of an independent literary agency October 2009 – 2017
Was an independent consultant for publishing clients including Penguin Random House, Inc., where I worked with the US CEO on special projects requiring company-wide implementation and Amazon Publishing, where I created their first foreign rights program. Represented major publishers and agencies to sell their authors' book worldwide, working with hundreds of internationally bestselling writers across fiction and non-fiction. Helped ideate, edit and sell books for Teri Tobias Agency's clients worldwide and co-represented film rights for the agency's clients. Spoke at international publishing conferences around the world on the future of publishing.

Sanford J. Greenburger Associates, New York, NY
Foreign Rights Director September 2005 – July 2009
Sold translation rights in over 50 territories for all clients represented by Sanford J. Greenburger Associates, including the only person to represent the foreign rights for Dan Brown at the height of his international best-selling status. Negotiated all foreign ancillary deals associated with The Da Vinci Code movie, coordinating with Sony Pictures Entertainment.

The Robbins Office, New York, NY.
Foreign Rights Director and Literary Agent September 2003 – August 2005
Helped ideate, edit and sell author's books in the US and worldwide on behalf of clients represented by The Robbins Office
Contracts Manager
Drafted and negotiated option/purchase agreements, publishing agreements, collaboration agreements, magazine agreements, and audio agreements for all clients represented by The Robbins Office.

International Creative Management, New York, NY.
Business Affairs Associate March 2001– August 2003
Drafted and negotiated option/purchase agreements, publishing agreements, collaboration agreements, magazine agreements, and audio agreements for all clients represented by the literary department of ICM
Literary Assistant to Agent Sloan Harris April 1999 – March 2001
Assisted now president of ICM Sloan Harris

LOCAL VOLUNTEER EXPERIENCE

Ophir General Assembly

- Chairperson, Ophir Budget Committee
- Ophir Environmental Commission member

June 2021- present

April 2021 – present

Telluride Adaptive Sports Program (TASP)

- Winter Assistant for skiing and snowboarding

Winter 2019 – present

OTHER BUSINESS EXPERIENCE

- **Burns & Harris, Esqs, Associate**, New York, NY

September 1998 – March 1999

- **Third Circuit Court Wayne County, Judicial Clerk**, Detroit, MI

Summers, 1996 – 1998

EDUCATION

- **Wayne State University Law School**, Detroit, MI, Juris Doctor, 1998
- **Universiteit Utrecht**, Utrecht, The Netherlands: Public International Law program, Fall Semester, 1997.
- **University of Michigan**, Ann Arbor, MI, Bachelor of Science, School of Natural Resources, 1995.



AGENDA ITEM 5
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Amy Ward, Senior Planner & Michelle Haynes, Housing Planning and Development Services Director

FOR: Design Review Board Public Hearing; May 5, 2022

DATE: April 26, 2022

RE: Staff Memo – Review and Recommendation to Town Council Regarding a Major Planned Unit Development Amendment to the Lot 109R Planned Unit Development, commonly called the Mountain Village Hotel PUD, by Tiara Telluride, LLC.

APPLICATION OVERVIEW: Mixed Use Development inclusive of a hotel, condominiums, lodge units and employee housing on Lot 109R

PROJECT OVERVIEW

The applicant requests a Major PUD Amendment to the 109R Planned Unit Development, formerly known as the Mountain Village Hotel PUD, first approved in 2010. The vesting of the PUD has been extended twice, with vesting rights now expiring on December of 2022. The proposed amendment contemplates minor adjustments to the density, significant design changes inclusive of an increase in the height request from the approved 88'-9" to 96'-8" and also an increase in average height from the approved 65'-2.9" to 83.6". The proposed amendments include public plaza improvements, public bathrooms, a market, two retail spaces, fine dining, a bar and a conference/wedding space on the 6th floor. The application also contemplates a replat to adjust boundaries around the property with the Town of Mountain Village, Village Center open space property, with Town Council consent to the application. The proposed project consists of 62 guaranteed hot beds, 22 condominiums, 18 lodge units with lock offs, employee dormitory, and hotel. The luxury hotel brand Six Senses provided a letter of intent indicated Six Senses will be the operator of the proposed project.

Legal Description: Lot 109R, Town of Mountain Village according to the Plat recorded on March 18, 2011 in Plat Book 1 at Page 4455, Reception No. 416994, County of San Miguel, State of Colorado

Address: 628, 632, 636, 638, 642 Mountain Village Blvd

Owner/Applicant: Tiara Telluride, LLC
Agent: Ankur Patel & Matt Shear
Zoning: Village Center Zone District, Village Center Active Open Space
Proposed Zoning: Planned Unit Development (PUD)

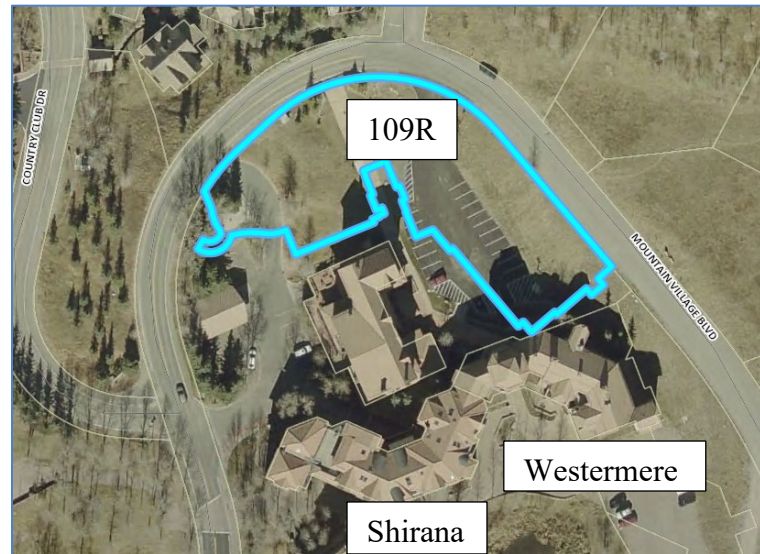
Existing Use: Vacant, used for temporary surface parking

Approved Use Pursuant to PUD

Development Agreement: 66 efficiency lodge units; 38 lodge units, 20 condominium units, one employee apartment and 20,164 sq. ft. of commercial space.

Proposed Use: 62 efficiency lodge units, 18 lodge units, 22 condominium units, 18 dormitory units, 2 employee apartments and approximately 26,000 square feet of commercial space.

Site Area: .825 acres proposed to change to .817 via a major subdivision application



Adjacent Land Uses:

- **North:** See Forever, Village Center
- **South:** Village Center, mixed use
- **East:** Multi-Family and Single Family, vacant
- **West:** Peaks, Village Center

RECORD DOCUMENTS

- Town of Mountain Village Community Development Code (as amended)
- Town of Mountain Village Home Rule Charter (as amended)

ATTACHMENTS

1. Applicant Revised PUD Narrative dated 4.24.22
 - a. Applicant public benefits table
2. Applicant revised design narrative dated 4.20.22
3. Applicant Architectural Drawings
 - a. Existing Conditions Map
 - b. Utilities Plan
4. Original PUD Agreement dated 12.8.2010
 - a. Major PUD amendment to extend the approval to December 8, 2020 by Ordinance 2015-07, on file with the planning department.
 - b. Major PUD amendment to extend the approval to December 8, 2022 by Ordinance 2020-16, on file with the planning department.
 - c. Original design plans and approvals found at the following [link](#)
5. Comparison List of 2010 Public Benefits, variations and specific approvals versus requested amendments.
6. Density existing and proposed
7. Public Comments
 - a. Infantino 4.12.22
 - b. Koitz 4.16.22
 - c. Czekaj 4.22.22
 - d. Nictakis, 4.22.22

- e. Mai, 4.26.22
- f. Meek, 4.27.22
- g. Daigh, 4.27.22
- h. Hoover, 4.27.22
- i. Cooper, 4.28.22
- j. Olson, 4.28.22
- k. Connor, 4.28.22
- l. Hitchner, 4.28.22
- m. Howard, 4.28.22
- 8. Referral Comments
 - a. Public Works Director dated 4.20.22, 4.21.22
 - b. Public Works Assistant Director dated 4.20.22
 - c. SGM Engineer dated 4.16.22, 4.20.22
 - i. Response provided by applicant
 - d. Fire Marshal dated 3.31.22, 4.21.22
 - e. Sustainability Coordinator dated 4.21.22
 - f. Operations Director dated 4.21.22
 - g. San Miguel Power Association, Wiles 4.21.22
 - h. San Miguel Power Association, Williams, 4.21.22
 - i. Black Hills Energy, Ficklin 4.6.22
- 9. Preferred Town Snowmelt Plan
- 10. Original Geotechnical Report, on file with the planning department
- 11. Letter of Intent, Six Senses
- 12. 109R Major PUD Amendment Proposed Hotel Operator, Six Senses, [Group Portfolio](#)
- 13. 109R Major PUD Amendment Proposed Hotel Operator, Six Senses, [Mood Boards](#)
- 14. 109R Major PUD Amendment Proposed Hotel Operator, Six Senses, [Mountain Village Visual Brief](#)
- 15. Additional courtyard conceptual renderings

109R MOUNTAIN VILLAGE HOTEL PLANNED UNIT DEVELOPMENT HISTORY

- Lot 109R PUD was approved in 2010 by Resolution 2010-12088-31.
- 1st amended PUD agreement via a Major PUD amendment process extended the approval to expire on December 8, 2015, approved by ordinance.
- 2nd amended PUD agreement via a Major PUD amendment process extended the approval to expire on December 8, 2022, approved by ordinance.

There have been two work sessions regarding the proposed major PUD amendment held on the following dates:

- September 16, 2021 Town Council
- December 16, 2021 Town Council and Design Review Board Joint Meeting

MAJOR PUD AMENDMENT PROCESS

Emphasis added.

Pursuant to CDC Section 17.4.12.6.a., PUDs approved prior to the effective date of the CDC are valid and enforceable under the terms and conditions of the approved development agreements. Modifications to such PUDs may be proposed pursuant to the ***PUD amendment process.***

Pursuant to CDC Section 17.4.12.O. Review Process, a Major Amendments. Major PUD amendment development applications shall be ***processed as class 4 development applications.***

The ***criteria for decision*** for a PUD amendment is the same as for the creation of a PUD.

To better integrate the two step design review staff anticipates the following outline of hearings for this PUD amendment:

- DRB Recommendation to the Town Council on the Major PUD Amendment
 - This also constitutes the initial design review
- Town Council considers the Major PUD amendment
 - This item will be continued so that the Council can provide feedback whether to agree to use portions of Village Center open space to replat 109R and OS BR 2.
- DRB provides a final design review
- Town Council provides PUD review (1st reading of an ordinance)
- DRB provides a recommendation on the Subdivision
- Town Council considers approval on 2nd reading the PUD amendment with all associated agreements in place, Also approves the Major Subdivision by Resolution.

MAJOR PUD AMENDMENTS PROPOSED BY CATEGORY (see attachment #5)

- a. Density
- b. Parking
- c. Public Benefits
- d. Variations
- e. Specific Approvals
- f. Subdivision
- g. Public Improvements

When the original PUD was approved, the following items occurred:

- ✓ The developer received 0.50 acre from the Town that was part of OS 3-BR-1.
- ✓ 0.50 acre is now part of Lot 109R.
- ✓ Town received Lot 644 in the Meadows in exchange for the land given for the development
- ✓ Cost from the Developer was \$700,000 for 1.6 acres (Lot 644)
- ✓ Density permitted by the PUD has been transferred to the site
- ✓ The property was replat into its current configuration

BROAD OVERVIEW OF THE PUD DEVELOPMENT AGREEMENT

The original PUD development agreement found (link above) outlined the public benefits, the variations and the specific approvals granted in 2010. As noted above, the property replat occurred and the density was assigned consistent with the approval. See attachment #5 for a comparison of public benefits, variations and specific approvals between the original PUD/design and proposed amendments.

The applicants are proposing minor adjustments to the density found at attachment #6 and significant redesign. For the purposes of the DRB's recommendation, please review the redesign as new design review on the property. The applicants are also proposing adjustments between lot 109R and Village Center open space which would result in a net increase in Village Center open space of 360 square feet. Once Town Council reviews

the PUD Amendment, Council will provide direction to the applicant whether the Town consents to the replat request. The class 4 subdivision application will need to be concurrently heard and scheduled with a recommendation by the DRB to Town Council and Town Council review via Resolution.

The purpose of the DRB recommendation is specific to design review. There are significantly more variations and specific approvals being requested with this application than the original application along with modifications to public benefits.

The significant amendment requests include an increase in maximum height from 88'9" to 96'8" and the reduction of public parking spaces from 48 to zero. Previously there was only one employee apartment provided onsite. The amendment proposes 11,700 square feet of onsite deed restricted housing constituting 18 dormitories and 2 employee apartments. This amendment application also guarantees 62 hotel rooms whereas the former only guaranteed 40.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement per the original PUD agreement</u>	<u>Proposed pursuant to the PUD amendment</u>
Maximum Building Height*	88' 9"	96' 8"
Average Building Height*	65' 2.9"	82.46'
Maximum Lot Coverage	n/a (footprint lot)	n/a (footprint lot)
General Easement Encroachments	n/a (footprint lot)	n/a (footprint lot)
Setback Encroachments	n/a (footprint lot)	n/a (footprint lot)
Roof Pitch		
Primary		1/4:12
Secondary		1/4:12
Exterior Material		
Stucco	Primary Material	0%
Stone	25% minimum	48.73%
Windows/Doors	40% maximum	24.37%
Parking (Requirement per type)		
Commercial Space (1 per 1,000**)	27	27
Condo (1 per unit)	22	22
Efficiency Lodge (.5 per unit)	31	31
Lodge (.5 per unit)	9	9
Public Parking (48)	48	0
Employee Dormitory (not listed***)	Determined by DRB	0
Employee Apartment (1 per unit)	2	2

HOA Maintenance Vehicles (1-5 spaces)	1-5	1
Unassigned	0	16
Total****	92	108

*Per existing PUD agreement

**The original PUD only required 1 parking space per 1,000 square feet of commercial space and did not calculate commercial parking per intensity of use which otherwise is one (1) parking space per 500 square feet of high intensity commercial use (e.g. restaurant versus an office). The applicants request that the parking requirement only recognize one (1) parking space per 1,000 square feet of commercial space consistent with the original development agreement.

***Employee Dormitory use does not list a parking requirement; however, the CDC states 17.5.8.A.5 states, "For uses not listed, the parking requirements shall be determined by the review authority based upon the parking requirements of a land use that is similar to the proposed use, other Town parking requirements or professional publications. A parking study may also be submitted by an applicant to assist the review authority in making this decision." This will be discussed more below under parking. Past precedent at Big Billies required 2 parking spaces for every three dormitories. This would require 12 parking spaces for 18 dormitories. The DRB can determine what's acceptable.

****Dormitory requirement will increase this number.

Below is a list of CDC design variations and specific approvals. For the complete list of public benefits, variations and specific approvals requested, see attachment #5.

Variation:

1. Building heights - with a max height up to 96' 8" and an average height up to 82.46'

Design Variations:

1. Roof Form
2. Wall material – not meeting the required 25% stucco
3. Glazing – uninterrupted areas of glass that exceed 16 s.f.
4. Decks and Balconies – long continuous bands
5. Commercial, Ground Level and Plaza Area Design Regulations – Storefront Design, Color Selection
6. Parking Area Design Standards – Aisle Width

DRB Specific Approval:

1. Materials – TPO membrane roof, metal fascia and soffit and board form concrete
2. Solar roof tiles in the Village Center
3. Road and Driveway Standards – (2) Curb cuts

Chapter 17.3: ZONING AND LAND USE REGULATIONS

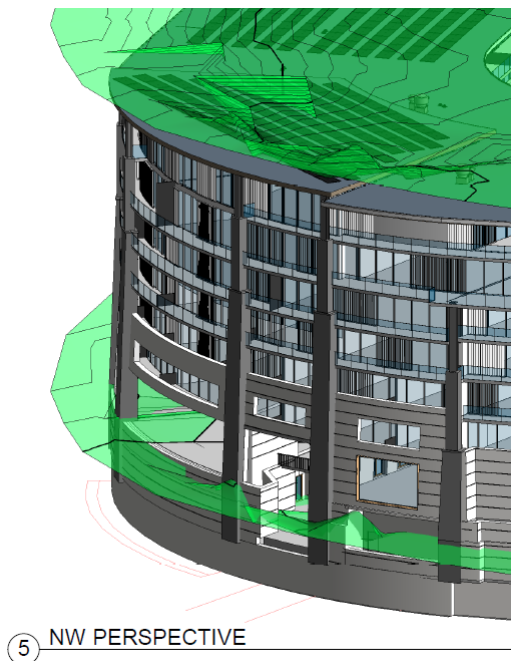
17.3.12: Building Height Limits

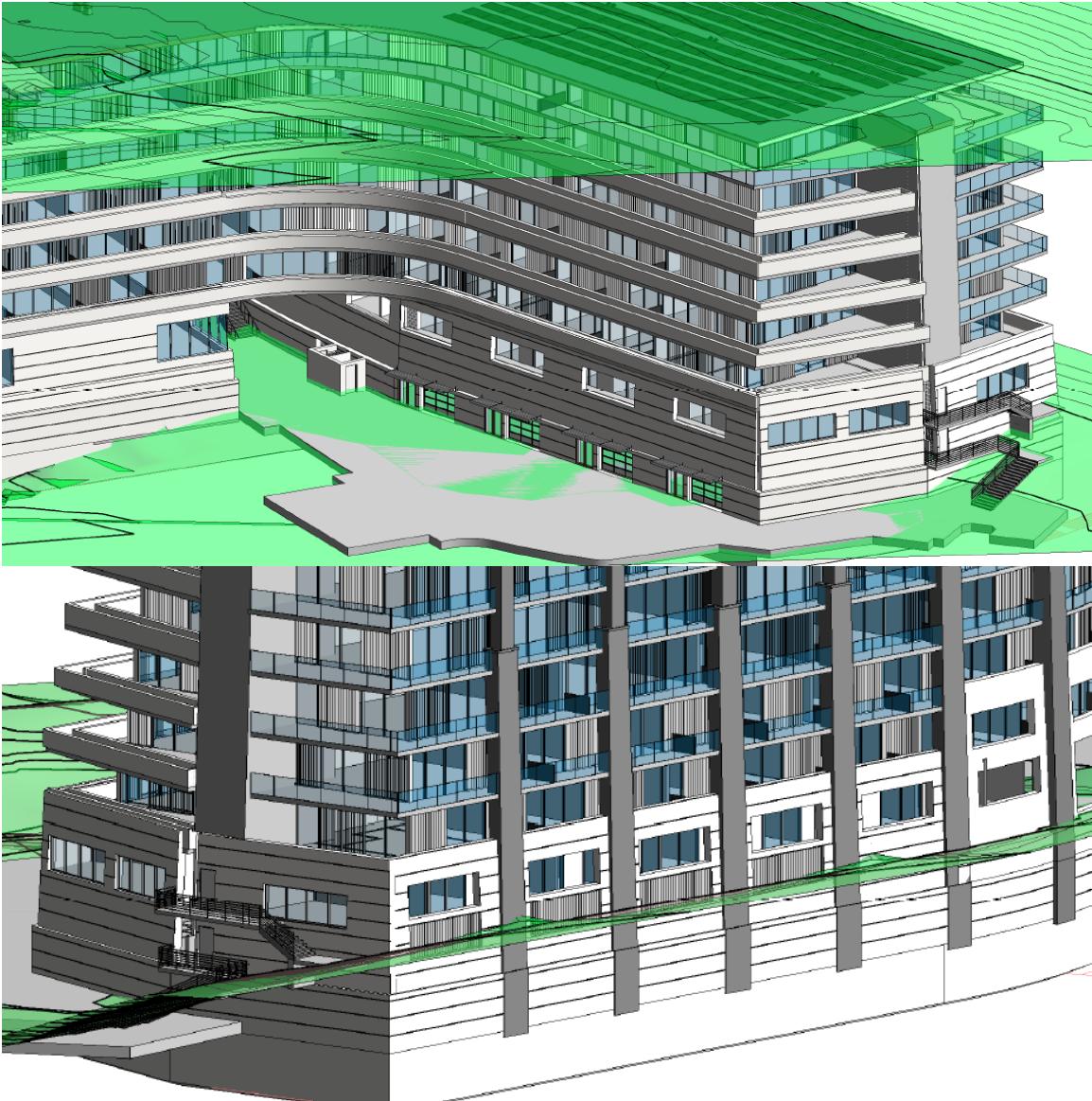
Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of flat roof forms. Flat roofs are considered under shed roof guidelines and buildings with a primary shed roof form are granted a maximum building height of 60 feet in the Village Center. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof.

directly down to the existing grade or finished grade, whichever is more restrictive. Buildings are allowed an average height of 48' in the Village Center.

Staff: Lot 109R has existing entitlements under the previously approved PUD agreement and design plans. This PUD granted a maximum height of 88' 9" and an average height of 65' 2.9" for the specific design package approved by the town. The current proposal shows a max height of 96' 8" and an average height of 82.46'.

Staff has worked with the applicant through multiple revisions to have the building height drawings show compliance with the prescribed method of measuring height per the CDC. Because this is a complex form it is difficult to demonstrate height compliance solely in elevation views. A 3D planar view was required to show that no portion of the roof (with the exception of the chimney) penetrates the projected plane of the requested height. The applicant has provided this projected plane for both proposed and existing grade and the only element projecting beyond these planes is the chimney. This seems to demonstrate compliance, however the proposed grade shown doesn't represent reality. There are a few points in in this 3D view that don't make sense. In the NW perspective view you can see that the proposed grade shown is above the pedestrian access through the building. In the SW perspective you can see both exterior stairways extending below the proposed grade. The SE perspective shows the proposed grade seeming to hit the building partway up a window or screen area.





The applicant will need to revise the 3D planar view of the proposed grade to ensure that the building is not exceeding the requested max height of 96' 8".

Additionally, the applicant needs to demonstrate that the chimney doesn't project more than 5' beyond the requested max height.

This request for additional height would be an amendment to the existing PUD. They are currently entitled to build up to a maximum height of 88' 9". Although this request is at the discretion of Town Council, DRB is making a recommendation to Council regarding the PUD amendment as it relates to design review. Some discussion of height as it relates to the overall mass and scale of the building is appropriate, however the final decision on whether the additional height is granted is at the discretion of council.

17.3.14: General Easement Setbacks

Staff: Lot 109R is a footprint lot, these lots have no GE. It should be noted that a replat is being proposed as a concurrent application with this PUD amendment.

The plans show awnings on the retail fronts facing the plazas, these awnings encroach into Town owned plaza areas, but as above grade encroachments that are typical for plaza areas, historically the Town has allowed such for awnings, projecting signs, etc.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

There are six key characteristics that the CDC recognizes as a way of determining whether a project meets the town design theme, and each will be addressed as they pertain to this project below:

1. Building siting that is sensitive to the building location, access, views, solar gain, tree preservation, and visual impacts to the existing design context of surrounding neighborhood development.

The existing footprint from the formerly approved PUD is dictating the siting of this proposed building. Although some modification of the lot lines are proposed, these changes do not affect the above criteria significantly from the prior approval.

2. Massing that is simple in form and steps with the natural topography.

Staff believes the massing is simple in form. The most significant grade change on the lot is primarily the slope from Mountain Village Boulevard down to the existing surface parking lot on the east side of the property. The northeast side of the building is a vertical face, but the building does step down to the southwest towards the Village Core mirroring this slope.

3. Grounded bases that are designed to withstand alpine snow conditions.

Stone is the primary exterior cladding at over 46%, and the entirety of the structure is clad in stone where the walls meet grade, so it is well designed to withstand alpine conditions in regard to exterior materials.

The base seems well grounded when viewed from Mountain Village Boulevard. The perpendicular columns of stacked stone anchor the form to the site. The plaza side, however, doesn't appear as visually grounded. Though the walls are stone clad, the honed stone veneer that presents as the predominant cladding on the plaza side doesn't have the same grounding effect. Some continuation of the perpendicular stacked stone columns on this side might better ground the building as viewed from the plaza areas.

4. Structure that is expressive of its function to shelter from high snow loads.

The flat roofs with integrated snowmelt and gutter systems eliminate potential issues from snowfall from roofs to plaza or other pedestrian areas. A proposed snowmelt plan

has been provided. Staff would also like to better understand where snow plowed from Mountain Village Boulevard will go to make sure the project has appropriate snow storage and/or a snow management plan.

5. Materials that are natural and sustainable in stone, wood, and metal.

The proposed material palette consists of both a rough and honed stone veneer in a lighter neutral tone, corten steel panels and louvers, a dark bronze metal fascia and cladding on storefronts, and a “wood look” metal soffit and glass rails. All of these materials seem in line with other materials found throughout the Mountain Village. The color palette plays off of tones found in the surrounding buildings.

There are other proposed materials that would require specific approval and are not in common use in the Village Core, however staff does believe that pending verification with physical samples that will be provided by the applicant at the Initial Review hearing, these materials could be perceived as natural and sustainable. The roof is shown as a TPO membrane in charcoal gray. The fascia is a dark bronze metal, the soffit is a “wood look” metal, and board form concrete is shown as the exposed face of balconies with glass rails.

6. Colors that blend with nature.

Staff feels that this characteristic is being met.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation. All site plans shall provide a snow shed and storage plan for roofs, walkways and drives. Village Center building siting shall also relate directly to pre-established or proposed pedestrian walkways, malls and plaza areas.

Staff: There is very little existing vegetation on the site as much of the site it is currently in use as a surface parking area. The proposed development does not blend into existing landforms as is typical in the Village Core.

The flat roof design is to have an integral snowmelt and guttering system, so snow shed should not be an issue. The applicant has also provided a snowmelt plan inclusive of the garage entry, porte cochere and plaza areas, however staff would like to see this snowmelt increased slightly. Additionally, the accumulation of snow against the building due to plowing activity along Mountain Village Boulevard is of concern. Rough estimates from scaling the drawings show 5’ or less from edge of building to the edge of paved surface. Some projection should be done to determine how much snow could reasonably be accommodated in this area before snow removal becomes necessary and a snow management plan should be provided.

17.5.6 Building Design

17.5.6.A Building Form

The CDC requires that building forms are well grounded to withstand extreme natural forces of wind, snow and heavy rain. The materials must be appropriate for accumulated adjacent snow. Windows and doors shall be recessed (min. 5”) with variations. Exterior materials requirements reinforce the desired massing.

Staff: As previously discussed, staff feels like the building elevation facing Mountain Village Boulevard is well grounded, however the elevation facing the plaza areas doesn't present as substantially grounded (see discussion above 17.5.4.3)

The proposed design utilizes materials which should stand up well in typical alpine conditions. Detail of window recesses has been provided, and a rough measurement seems to show compliance, however a dimension should be provided on the detail to verify this. No variation of recess depth is proposed at this time.

17.5.6.B Exterior Wall Form

Overall form of walls shall be simple in design and need to portray a massing that is substantially grounded to the site. Wall forms shall define public spaces, disjointed spaces should be avoided.

Staff: Overall wall form is meeting these conditions, with the exception of the groundedness of plaza side wall form as previously discussed.

Exterior walls along plazas shall reinforce "village street" concept with relatively narrow frontages and/or vertical "townhouse" proportions. Ground level commercial spaces shall be architecturally defined from spaces above.

Staff: Ground level commercial space, though differentiated from the floors above by a change in window pattern could still use additional tactics to create more diversity between different storefronts – change in materiality or slight articulations in the building face could help to reinforce the village street concept. The applicant is proposing garage type doors to be able to open up these spaces to plaza areas during periods of good weather. The renderings show a canopy detail above some retail windows on the on the plaza side. An enlarged detail of these areas might better capture proposed storefront design. The retail areas adjacent to the pedestrian access from the See Forever tunnel seem to be still in development and should also show some level of architectural detail for visual interest. Staff would like to see a revised design that better differentiates retail from residential areas of the building as well as more developed and architecturally interesting elevations within the pedestrian access that cuts through the building.

17.5.6.C Roof Form

Roof Design Elements

The roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets. Roofs shall where practicable step with the topography of the site. The design of roofs shall reflect concern for snow accumulation and ice/snow shedding. Entries, walkways and pedestrian areas shall be protected from ice/snow shedding. Eaves and fascia shall generally be responsive and proportional to the design of the building.

Staff: The roof as proposed is two flat surfaces, therefore does not meet the criteria for "emphasizing sloped planes" There is one step in the roof form, however it doesn't correspond with the slope of the natural topography, which generally slopes down from Mountain Village Boulevard. As described in the narrative, the roof seems to be designed taking into account ice/snow shedding and the protection of pedestrians below. Staff generally feels that the eaves and fascia are in proportion to the building design.

The most striking feature of the roof is the large overhang on the pool deck that provides some protection to this exterior space. It is certainly meant as a defining architectural feature of the building. However, this detail adds to the perceived height as well, so some

discussion should be had regarding whether the DRB is generally comfortable with the extra height that is being asked for with the inclusion of this detail.

A series of solar panels is shown, the applicant describes these as non-reflective in their narrative. Details of the proposed panels including panel material, mounting systems, etc. should be provided so that DRB can evaluate both their reflectivity and overall visual impact.

Staff believes this proposed roof would require a design variation for roof form.

Roof Drainage

All development within the Village Center shall be required to provide an integral guttering system designed into the roof or other DRB approved system of gutters, downspouts and heat-tape to contain roof run-off and all building roof run-off shall be directed to storm sewers or drainage systems capable of handling the volume of run-off.

Staff: The applicant indicates that there will be an integral gutter system. A schematic design has been provided and more details of this as well as the storm water management plan should be provided prior to final review.

Roof Material

Allowable materials (by DRB review) are burnt sienna concrete tile, earth tones compatible with burnt sienna concrete tile in color and texture, brown patina copper, metal roofing material limited to the following: black or gray standing seam bonderized (not reflective), zinc, solar roof tiles so long as they are contextually compatible in design, color, theme and durability (non-reflective). Some variation of roof material color is permissible by specific DRB approval as long as it is contextually compatible in design, color, theme and durability.

Staff: The roof is proposed as a charcoal colored TPO membrane. The fascia is shown as metal. The soffit is a "wood look" metal soffit. All of these materials would require a specific approval. As previously mentioned, solar panels are planned to be used, details of any/all materials associated with the solar panels should also be provided. Solar roof tiles in the Village Center also require a specific approval.

Pedestrian Protection

Staff: The flat roofs and integral guttering system remove snowfall risk.

Nonreflective Material

Staff: The proposed TPO membrane appears to be nonreflective and should be verified by the physical sample provided at the Initial Review hearing. Solar panels will also need to be verified as non-reflective.

17.5.6.D Chimneys, Vent and Rooftop Equipment Design

Staff: The current design shows one large chimney stack protruding through the roof at the southwest corner. They are also showing grease exhaust decks and three other areas of venting. Prior to final review the applicant should anticipate all necessary vents, exhausts, heating and air conditioning units, mechanical equipment, etc. and create a consolidated plan and a complementary design that addresses the CDC requirements to accommodate them.

17.5.6.E Exterior Wall Materials

The primary wall finish in the Village Center is supposed to be stucco, with minimum use of 25% stone and a maximum use of 20% wood.

Staff: The applicant has proposed no stucco in this design. There is a honed stone veneer in a warm tone proposed as one of the two stone surfaces that nods to surrounding stucco buildings without the maintenance issues associated with this material. The other stone is a rough stacked stone veneer in a similar warm tone. Overall stone percentage on the building is listed at 46.62%. There is no wood cladding proposed. The other exterior materials are metal (screens and metal paneling), glass, and concrete.

The concrete is shown primarily as the exposed deck face on balconies with glass railings. Staff is assuming this will be a board form concrete. This would require a specific approval. A design variation would be required for the lack of stucco as a primary material.

17.5.6.F Exterior Color

Exterior material color shall harmonize with the natural landscape within and surrounding the town. Color shall be natural, warm and subtle. Roofs may be rusted, black or gray standing seam or corrugated metal. Any colors used on details such as trim, fascia and timbers can be stronger and provide contrast to the more subtle tones of large wall or roof areas.

Staff: Staff believes this requirement is being met.

17.5.6.G Glazing

Window design must be responsive to the energy code and site conditions. Openings and patterns shall be responsive to good solar design principles. Combinations of windows shall be used to establish a human scale to building facades in the Village Center. Windows within grounded base forms shall appear to be punched into walls. Window patterns and reveals need to be carefully studied to create interest and variety. Within the Village Center, the depth of reveals shall vary from the five inches (5") as set forth above with reveals greater than ten inches (10") being more desirable. For residential windows above the pedestrian (ground) level within the Village Center, uninterrupted, maximum glass area shall not exceed sixteen (16) square feet.

Staff: There are some larger north facing windows in this project, which might not meet the provision of following good solar design principles, however views of the San Sophia ridgeline are in this direction and consideration of views has allowed for north facing windows on other projects. Southern facing windows have some degree of shading by balcony and roof overhangs which will help provide some heat protection during summer months.

There is some combination of window sizes, with a differentiation between residential and retail windows with the proposed design. The metal screening also helps introduce some variety into the window forms. Staff feels that more articulation or differentiation between storefronts on the plaza sides might allow the proposed window areas here to feel more human in scale.

Window recesses are shown at a minimum of 5" meeting provisions of the CDC and metal clad windows are meeting materials requirements.

The applicant is requesting a design variation for 17.5.6.G.5 as there uninterrupted max glass areas are exceeding the 16 s.f. allowable per code in the Village Center.

17.5.6.H Doors and Entryways

Within the Village Center and multi-family development, glass, metal and wood doors shall be used to establish interest, variety and character for the tenant spaces. The exterior face of a door must be recessed a minimum of 5" and garage doors must be recessed at least 7"

Staff: The applicant is proposing a combination of a glass door and a garage type door for retail openings. These doors are to be clad in a dark bronze metal. A detail view of the main entry within the porte cochere has not been shown. The appropriate recess is shown for windows. The garage door is recessed well within the building. The use of the garage doors will definitely give this building a unique character within the Village Center and fits the contemporary architecture of the building. Staff would like to see more detail of the main entry as well as the retail spaces opening on to the See Forever walkway prior to final review.

17.5.6.I Decks and Balconies

Decks and balconies shall be designed to enhance the overall architecture of the building by creating variety and detail on exterior elevations. Combinations of covered decks, projecting balconies and bay windows shall be used. Long, continuous bands of balconies are prohibited. Whenever possible, balconies and decks shall be located in areas of high sun exposure while at the same time preserving views and solar access.

Staff: The balconies are well placed for solar exposure. The balconies step back as the building rises, which does provide for some visual interest. The balconies do present as long continuous bands, so if approved as proposed a design variation to this code section would be required.

17.5.7: Grading and Drainage Design

Staff: Because this is a footprint lot, there is very little room for grading outside of the building envelope. There will be some grading along Mountain Village Boulevard, at the porte cochere and garage entrances and as the building meets the plaza areas. Storm drains are indicated and more information regarding the sufficiency of these systems will need to be better understood as it moves through final review and into building permit. A drainage study prepared by a Colorado professional engineer with storm water run-off calculations is required for mixed use projects. There are concerns about snow buildup between Mountain Village Boulevard and the building itself due to plowing. Prior to final review the applicant should do further investigation into how much snow can be accommodated along the road edge before snow removal becomes necessary and develop a snow management plan for moving this snow offsite.

17.5.8: Parking Regulations & Parking Area Design Standards

Staff: The project is providing a total of 108 parking spaces, this is 16 spaces more than the required parking per type of unit, with the exception of the employee dormitories, which aren't assigned a specific parking requirement per the CDC. It is up to DRB to determine the required parking for the employee dormitories. The town approved a 2 to 3 ratio of parking for dormitory use at Big Billies, our last developed dormitory project. Staff recommends minimally the same parking requirement for dormitory use which would be a 12 parking spaces for 18 dormitory rooms.

It should be noted that the original PUD granted 48 public parking spaces to the Town as a public benefit, this PUD amendment application proposes to remove those public parking spaces. Although PUD related amendments are at the purview of Town Council numerous staff have indicated concern over the removal of these spaces during the referral process.

The plans indicate 7 compact spaces (10% allowed) and 1 handicap accessible parking space. Per building code, the required number of ADA accessible space would be 5 with the current configuration. The applicant will be required to provide the specified number of ADA accessible spaces per code. They also indicate that parking will be 100% valet parking. The applicant seems to be meeting the parking regulations in terms of number of spaces at this time, but it will be up to DRB to determine the required parking for the employee dormitories at which point the parking compliance can be re-assessed. Compact spaces are required to remain a general common element, it will be important to assure that parking remains unassigned unless excess parking is provided compared to the number of required spaces per the project. Otherwise, the applicants would be requesting a variation to the CDC to allow for compact spaces to be assigned.

The Town Sustainability Coordinator is requesting that the project increase the availability of EV spaces in the project, see discussion under Alternative Energy Fueling below.

The Town Engineer has raised questions regarding overhead clearance. He suggests that 10.5-11.5 is typical for residential parking, but with this mixed-use development suggests more should be required.

The applicant is requesting a design variation for aisle width. The plans currently show some aisle widths of 18'. The required aisle width is 22'. The fire Marshall has approved their garage plans. If approved as proposed a design variation would be required.

17.5.7.C.10 Loading/Unloading Area

Parking plans or site-plans for multi-family, commercial or mixed-use development shall provide for and reflect the location of loading/unloading areas on the premises.

Staff: The proposed loading /unloading area does not meet the required dimensions of 12' x 55'. It is also not meeting the Village Center requirement that it shall be located within the associated parking garage (as shown a semi-truck would protrude from the building). It should be noted that in projects containing over 100 units or commercial space (this project meets both) DRB can increase the required size of the loading area. On staff referral, there were concerns that the unloading area itself was too small at 330 s.f. to accommodate a project that contains multiple restaurants, a spa, and commercial space. There is also some concern that there could be conflict between trash area pick-ups and deliveries, Shirana's parking garage entry, the projects garage entry for condominiums, and public parking - which is proposed to be reduced via redesign. The applicant should provide a circulation exhibit to better demonstrate all potential circulation in and around this loading/unloading area. Staff is not in support of designing an unloading area that does not meet the minimum requirements set by the CDC for a project of this size. If approved as proposed this would require a design variation to 17.5.7.C.10 for both dimensions and the required internal location.

17.5.7.C.11 Alternative Energy Fueling

Staff: The parking proposal currently shows one electric vehicle charging space. Comparisons with regulations passed in other Colorado communities suggest percentages of EV installed, EV Ready and EV Capable spaces. Staff recommends that

DRB consider requiring the developer to provide 10% EV installed, 15% EV Ready and 50% EV Capable spaces.

17.5.9: Landscaping Regulations

Staff: The applicant has included a preliminary landscaping plan showing location of planting beds in adjacent plaza and public areas. The plans are showing a total of 17 new trees, and a large number of shrubs and perennials mostly contained in planter beds scattered throughout the property. Staff referral has indicated that the quantity of planting beds on the plaza areas needs to be scaled back, both to accommodate more open space for potential events as well as egress from the fire lane onto the plaza as well as through the plazas for maintenance and potential EMS services.

There are two different kinds of pavers as well as landscape rock indicated. Photos and physical sample of these should be provided for final review. There is proposed furniture – benches, bike racks and trash containers indicated on the plans. Detailed specifications of these should also be provided for final review.

There are some existing trees around the trash structure that are proposed to be kept, though there is clearly conflict between the new proposed building and some of the existing trees. This needs to be looked at closer prior to final review and a realistic plan needs to be presented. If trees need to be removed to accommodate the new trash structure, it will be important that replacement trees are provided to screen between the building and Mountain Village Boulevard.

No details have been provided in terms of irrigation.

The building itself has integrated planter beds on the balconies. No detail has yet been provided as to the proposed planting, structural systems and irrigation of these elements.

It should be noted that landscaping plans are not required until final review

Village Center and Village Center Subarea Plan Development

As the town grows and establishes primary pedestrian circulation systems, it is imperative that all building development relates to proposed or existing exterior pedestrian flows and spaces within the plaza areas. Building frontage shall contain and direct pedestrian circulation in a continuous, uninterrupted sequence.

Staff: The existing walkway under Mountain Village Boulevard (from See Forever) will remain and connect to a pedestrian pathway that cuts through the new proposed building and continues into the Village Core. A pedestrian easement on the east side of the property has been relocated to the southeast corner of the building. Some staff had concern regarding the pedestrian access at the porte cochere with stairs to the plaza level (from pedestrian traffic coming from Sunny Ridge. Upper Mtn. Village Blvd.) and wondered whether this could be designated as a public walkway. The building frontage should contain and direct pedestrian traffic fairly well, with the exception of the potential for pedestrians to head west on the emergency lane toward Mountain Village Boulevard. This is problematic in that pedestrian/vehicle conflict is likely with all of the shared uses (deliveries, trash, Shirana parking, public surface parking) in this back of house area. The applicant should develop a safer pedestrian pathway for this area or clearly direct pedestrians away from this route. As a proposed public benefit, staff is recommending a sidewalk be engineered from Shirana to the Peaks cross walk, along with widening Mountain Village Boulevard in this location to create additional drop off and deliver spots

for vehicles near the current Wells Fargo. The applicants are agreeable to these proposed improvements to assist with pedestrian circulation.

Semi-private outdoor spaces, such as restaurant patios and courtyards, shall be integrated into development to the extent practical. These spaces shall be located and designed to reinforce pedestrian circulation when adjacent to primary public malls and plazas.

Staff: The proposed restaurant is on the upper floors of the hotel. The Speakeasy bar fronts the tunnel through the building so neither of these spaces have the potential for patio space or courtyards.

Main pedestrian circulation routes shall be defined and provide secondary routes for the opportunity to explore and seek out unexpected areas.

Staff: The main pedestrian route through the newly created plaza area seems fairly well defined, and the proposed landscaping beds define secondary routes leading to retail areas. As mentioned previously, staff recommends the reduction in overall sizes of landscaping beds, however even with a reduction, these secondary paths can still be evident.

The scale of pedestrian areas shall be kept intimate with great care and attention given to materials and detailing. Special pavers, hardware, fountains and landscaping shall be emphasized. Distance between buildings and widths of public areas shall vary with narrow passages leading to courtyards and secondary plazas.

Staff: More detail as to materiality of plaza areas shall be provided prior to final review. Staff is not recommending the addition of fountains at this time due to recent history of drought conditions. Staff does find that distances are varied, and that paths connecting with smaller secondary courtyards on other properties exist.

Secondary walkways and courtyards are strongly encouraged as part of building improvements. These secondary spaces can add interest by offering areas to be explored and discovered within the overall orientation of the major circulation system.

Staff: Staff feels that the way this project interacts with Shirana and Westermere buildings and their surrounding spaces creates these secondary walkways and courtyards and that this requirement is being met.

Secondary walkways and courtyards shall be paved with a material consistent with or complimentary to the major pedestrian areas of the town. Surface materials shall be rich and interesting, using such materials as stone pavers and granite cobbles, or concrete pavers. Surface materials shall have a minimum width of eight feet (8') and be lighted for evening use. Vertical grade changes shall be made to accommodate walking in ski boots and shall, therefore, have grades no greater than five percent (5%) with access ramps no greater than eight percent (8%). Stairways shall meet the building regulation requirements for stairs.

Staff: Materials for plaza pavers have been indicated on the landscaping plan, however are not shown on the materials palette. This detail as well as more detail on proposed plaza furnishings should be provided prior to final review. There don't appear to be any major grade changes in the plaza areas, with a difference in height of 1.5' shown over the main plaza area. Lighting details will be provided at final review. Staff recommends

movable benches, rather than fixed benches as proposed, only to the extent that they are placed in areas that need to remain open for plaza use and maintenance.

Wherever possible, connecting paths and walkways shall include points of interest and artwork along their routes through such items as sculpture, fountains, bridges, archways and plaza furniture.

Staff: Extensive landscaping should provide points of interest and the proposal does include plaza furniture (more details need to be provided). The pedestrian accessway does provide some opportunity for an interesting architectural detail similar to an archway. Staff would like to see more detail of this from both sides of building prior to final review. Integrating the project areas with town approved wayfinding is a requirement of the CDC and Comprehensive Plan.

Development shall be required to coordinate the design and intent of all proposed pedestrian areas with appropriate Town departments.

Staff: The applicant is working in coordination with Town staff.

Owners of lots shall be required to develop any and all pedestrian areas and plaza areas to a maximum of thirty feet (30') out from the building footprint and/or the area of disturbance as determined by the review authority at the time of review and approval. The review authority may require additional development of pedestrian areas if, upon review of the completed site, the review authority determines that additional disturbance occurred during construction beyond which was identified at the time of review and approval of the development application.

Staff: This requirement is being met with this proposal.

Due to the extreme daily temperature changes that are experienced in the town and drastic temperature contrasts between shade and sun exposures, the review authority may require the developer to install, and require that any homeowners association operate and maintain a snowmelt system in primary plaza areas and pedestrian routes. The area of snowmelt may be limited in plaza areas and pedestrian routes to the extent practicable in order to minimize energy use as determined by the review authority. The extent of the snowmelt system shall be determined during the development application process. Under normal conditions snowmelt areas shall extend thirty feet (30') beyond the building footprint or cover the area of disturbance, whichever is greater unless reduced pursuant to this section by the review authority.

Staff: The applicant has provided a snowmelt plan that indicates that the primary plaza will be snowmelted. The pedestrian walkway through the building will also be snowmelted. The stairs to Mountain Village Boulevard on the SE side of the building could be problematic, however the applicant has verbally represented that these will be steel grate so would not require melting. This should be clarified on the plans prior to final review. It should be noted that though not a primary plaza or pedestrian area, the access area to Shirana and the trash building would be problematic for snow removal, staff is requesting that the applicant revise their snowmelt plan to include this area as well. Staff has also indicated that the use of the Town trash building primarily to house boilers for the snowmelt system is problematic, this should be addressed prior to final review.

The review authority shall require the developer of lots to install site furniture and fixtures a maximum of feet (30') beyond the building footprint. Secondary plaza areas shall be furnished and maintained by the developer and operator of the respective projects for general public use. The Town may require the developer to enter into a maintenance agreement for plaza areas that require the maintenance of all improvements in such spaces to be maintained in good repair and a clean state. The maintenance agreement shall provide that all site furniture and fixtures located on Town property shall become the property of the Town.

Staff: The applicant is developing plaza areas with furniture as described above. A use and maintenance agreement will need to be created as part of the final approvals. Additionally, an improvements agreement shall be entered into with the Town for all landscaping improvements.

17.5.10 TRASH, RECYCLING AND GENERAL STORAGE AREAS

The CDC requires trash enclosures that are a minimum of 10' x 12 for mixed-use developments if shared by more than 4 units. Trash compaction may be required for developments containing 25 or more units.

Staff: The plans show trash rooms on most levels of the building (not inclusive of Level 1 or Level 1 mezzanine). The size of the trash room appears to be roughly 6' x 8.5'. No trash compactor is indicated. It is unclear how the trash would be removed from the building. Staff feels that at least some of the trash rooms should be expanded in size, potentially in the garage and on all restaurant levels and that a trash compactor should be required. A trash management plan should be provided detailing trash removal, how many pick ups will be required each week.

The Town trash Enclosure is also contemplated to be re-oriented and re-designed with this proposal. Staff comments at referral indicated that this design is not sufficient to meet Town needs. Over 1000 s.f of the building will be designated as boiler space for the snowmelt systems, leaving insufficient space for trash and storage needs. The elevations provided do not show an exhaust for the boilers and this could have a marked visual impact on neighbors. This will be important to understand as it will have visual impact on the neighboring buildings. More detail needs to be provided in terms of materials and material percentages. Staff also has concerns about the gate openings to the dumpster area and needed clearances for the gates to open. It seems that overhead doors might be more appropriate given the congested condition of this multi-use area. The trash enclosure will be required to be sprinkled if a boiler room is included in the structure. The applicant's narrative indicates that the lease with Bruin should be terminated during the construction of the new trash enclosure but doesn't address providing interim service for the users of this building. Staff recommends a revised plan inclusive of an interim trash management plan be provided prior to final review.

17.5.11: Utilities

Staff: The submitted utilities plan shows that water, sewer, electric and storm sewer utilities will be rerouted in coordination with Town Public Works. Sewer, water and storm drainage service can not be interrupted so temporary service will have to be provided. These will run through the garage, and ownership of this infrastructure needs to be determined. Electrical service will also be re-routed in cooperation with SMPA. Electrical transformer (8 x 8) and junction box (4 x 7) locations need to be determined. Location of gas and possibly gas substation needs to be determined. Additional easements might be needed depending on locations of these utilities.

17.5.12: Lighting Regulations

Staff: A lighting plan has not been provided and is not required until final review.

17.5.13: Sign Regulations

Staff: An address monument detail was not included and should be provided prior to final review.

17.5.15 COMMERCIAL, GROUND LEVEL AND PLAZA AREA DESIGN REGULATIONS.

Storefront Design

Commercial frontages shall create an identity for the activity within the commercial space while contributing to a visually exciting and cohesive plaza scene. Individual tenant frontages shall have expressive and imaginative design within the overall architectural context of the associated building. "Catalogue" or stereotyped storefronts within the Village Center are prohibited. All commercial storefront alterations and new construction shall require the review and approval of the review authority. Development and redevelopment within the Village Center shall create pedestrian interest through the articulation of architectural features such as bay windows, balconies, arcades and dormers. The ground or pedestrian level shall be defined with textural elements and color that strengthen the scale and character of the resort. Window boxes and hanging baskets shall be incorporated into the design to add color, life and dimension to building fronts and window definition. Size and shape shall be relative to the building scale while proper clearance for pedestrians is allowed. Details of the storefront such as door and window hardware and light fixtures shall be fabricated from quality materials such as brass, copper, bronze, hardwoods and etched or leaded glass. Retail, commercial storefronts shall be clearly distinguishable from upper floors of a building.

Staff: Individual store frontages are proposed with no differentiation between them or indication of proposed uses. They do align with the overall architectural context of the building, being more modern, almost industrial style with the garage door openings as a unique feature. Staff does find these storefronts stereotyped. Pedestrian interest should be created when, during periods of nice weather, the storefronts are able to be left open, however with our mountain weather this likely won't happen often. The proposed design does not include window boxes or hanging baskets. Proposed door material is bronze and glass, details of hardware have not been provided at this stage. Staff would like to see some sort of articulation in the building on the plaza side as well as more differentiation between these retail fronts and upper level residential areas. Staff does not believe that the storefront regulations are being met with this proposal, and even with some changes a design variation to this section is likely necessary.

Color Selection

While overall building color palettes are encouraged to be muted tones taken from the natural surroundings, the storefronts shall use rich and expressive colors that stand out from their background. These storefront facades shall be designed as distinct individual entities that relate to the business and are distinguished by architectural detail and creative application of color.

Staff: The storefront design does not propose rich and expressive colors that stand out from the rest of the muted tones seen in the building. If approved as proposed staff believes a design variation would be necessary.

Windows

Window openings and trim shall be consistent in proportion and scale with the associated building. The commercial storefront shall be designed with predominantly transparent glass but may include a small percentage of opaque materials. Window trim shall vary in detailing and color while still being compatible with the overall architecture of the building. Attention shall be paid to operable windows so as not to protrude into or obstruct pedestrian ways when in the open position. Operable windows may need to be recessed or sliding to avoid this occurrence.

Staff: Windows seem in proportion with the building and are primarily glass. There is no variety in coloring from the rest of the building. Staff has no concerns regarding the protrusion of operable windows as they are overhead sliders.

Lighting

Staff: lighting details have not been provided. Lighting plans are not required until final review.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: Staff is recommending that the fire mitigation requirement be waived for this application. Although the proposal does include planting new trees and retaining some existing trees on the site, Mountain Village Boulevard and hardscaped plaza areas circle the building providing defensible space.

Sustainability – the proposed hotel operator Six Senses presents itself as a brand focused on sustainability. Staff looks forward to understanding more detail about proposed sustainability practices as this moves through review. Especially important to understand will be sustainability efforts that could effect the design of the structure such as any certifications (LEED, WELL or Living Building Challenge).

Another concern raised by the Town Sustainability Coordinator is in regard to potential impacts from birds with the proposed glass railings.

17.6.6: Roads and Driveway Standards

Required driveway width for mixed use development is 20' with (2) 2' shoulders. The maximum driveway grades shall not exceed five percent (5%) for the first twenty (20') feet from the edge of the public roadway or access tract.

Staff: The driveway into the western garage entry is meeting the requirements in terms of width. It is meeting the grade requirements in terms of its departure from Mountain Village Boulevard at 4.4%. The code states that grades at garage entries shouldn't exceed 5-6%, but staff feels this provision doesn't apply here as one would continue into the garage on a down ramp. A transition zone from this down ramp onto the flat garage surface will be necessary.

The driveway at the porte cochere to the north of the building appears to be 20' in width, but is lacking the required 2' shoulders. No driveway profile has been provided to understand grades in this area.

Revised plans should be provided that show compliance with dimensional and grade requirements

Because the project is proposing two curb cuts to access the lot, specific approval will be required

17.6.8: Solid Fuel Burning Device Regulations

Staff: There is a chimney shown. Floorplans are not detailed enough to show fireplaces at this time. The applicant should revise floorplans to indicate any proposed fireplaces and indicate their fuel source. If any wood burning fireplaces are proposed proof of a required Town fireplace permit will be required for each wood burning unit.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: No construction mitigation plan has been provided and isn't required until final review.

Staff Recommendation: Staff is providing proposed motions for either approval with conditions or continuation for your consideration.

Staff Note: *It should be noted that reasons for rejection should be stated in the findings of fact and motion.*

Proposed Motion:

The DRB can choose to recommend approval with conditions, continue, continue with conditions or recommend denial to the Town Council.

If the DRB decides to **approve**, Staff suggests the following motion:

I move to recommend approval of the Review and Recommendation to Town Council of a Major Planned Unit Development Amendment to the Lot 109R Planned Unit Development, commonly called the Mountain Village Hotel PUD, by Tiara Telluride, LLC., based on the evidence provided within the Staff Report of record dated April 26, 2022, with the following variances, design variations and DRB specific approvals as outlined in the staff report of record:

If the DRB chooses to continue, staff suggests the following motion:

I move to continue the Review and Recommendation to Town Council of a Major Planned Unit Development Amendment to the Lot 109R Planned Unit Development, commonly called the Mountain Village Hotel PUD, by Tiara Telluride, LLC., to INSERT DATE CERTAIN based on the evidence provided within the Staff Report of record dated April 26, 2022 with findings and conditions as outlined in the staff memo of record.

Findings:

The DRB required [12] parking spaces for dormitory use.

Variation to Chapter 17.3.2 Building Height Limits:

1. Building heights - with a max height up to 96' 8" and an average height up to 82.46'

Design Variations:

1. Roof Form
2. Wall material – not meeting the required 25% stucco
3. Glazing – uninterrupted areas of glass that exceed 16 s.f.
4. Decks and Balconies – long continuous bands

5. Commercial, Ground Level and Plaza Area Design Regulations – Storefront Design, Color Selection
6. Parking Area Design Standards – Aisle Width

DRB Specific Approval:

1. Materials – TPO membrane roof, metal fascia and soffit and board form concrete
2. Solar roof tiles in the Village Center
3. Road and Driveway Standards – (2) Curb cuts

And, with the following conditions:

1. Revise the height compliance drawings to address the issues discussed in the staff memo of record.
2. Better address how snow will be managed consistent with the PUD development agreement, between the building and Mountain Village Boulevard by management and removal.
3. Revise the parking plan to show the required number of ADA accessible spaces.
4. Revise the parking plan to indicate 10% EV installed, 15% EV Ready and 50% EV Capable parking spaces.
5. Revise the garage clearances to provide a minimum of 11.5' clearance and additional space as necessary for the routing of utilities that allows for the protection of these pipes as they run through the garage.
6. Revise the unloading area to meet the minimum requirements per the CDC including containing delivery trucks entirely within the building. The applicant should demonstrate the turning radius of trucks leaving Mountain Village Boulevard.
7. Provide a more detailed circulation plan showing pedestrian, bike, automobile, delivery, trash and EMS/FIRE circulation throughout the property.
8. Work with Town staff to address public improvements between Shirana and the Peaks crosswalk and to provide a temporary load and unload zone along Mountain Village Boulevard.
9. Provide some detail as to how they could potentially avoid bird/glass impacts.
10. Provide additional details regarding proposed solar panels, including the method of mounting and any/all materials associated with the panels.
11. Provide an updated roof plan showing all anticipated rooftop vents and equipment once the final programming is in place.
12. Provide an enlarged detail of the main entrance at the porte cochere area.
13. Provide a drainage study with storm water run-off calculations, or revise the original study as applicable.
14. Revise the landscaping plans to reduce the area of planting beds, creating more open plaza space and allowing for better access to the plazas for maintenance and EMS services. The applicant shall also include a materials board and specifications for all plaza furniture and hardscape material. Irrigation details and calculations are also required.
15. Provide details regarding the proposed planters within the building balconies, including technical details of the planters/green roofs, proposed plantings and irrigation details and calculations.
16. Demonstrate pedestrian access through the property, and address the concerns in the memo of record regarding pedestrian access from the emergency lane to Mountain Village Boulevard to the west as well as pedestrian traffic from Sunny Ridge and upper Mtn. Village Blvd.

17. Provide a detail of the opening to the pedestrian access through the building and demonstrate any proposed architectural features that define this opening and make it visually appealing.
18. Revise their snowmelt plans per direction from Public Works by expanding the snowmelt areas accordingly.
19. Revise the building programming to include larger trash areas (minimum 10' x 12') on floors that contain retail or restaurant uses, indicate a trash compactor for the project and provide a trash management plan indicating trash removal plan and number of anticipated pickups per week.
20. Provide an interim trash management plan for those users of the Town trash building.
21. Revise the Town trash building plans to provide more space for trash and storage, to demonstrate all proposed materials, and to show venting for the boilers (unless those are moved to another location).
22. Provide proposed locations for electrical transformer and junction box and gas substation and identify any additional easements that would be necessary to accommodate these structures. The applicant should also indicate the plan for disposition of abandoned utilities.
23. Provide electrical load calculation for SMPA so that the number and locations of transformers can be better identified.
24. Revise the access plans to show compliance with dimensional and grade requirements for driveways. Additionally, more detailed plans on garage ramps and proposed grades within the building should be provided.
25. Demonstrate all proposed fireplaces and fuel sources on floor plans and provide proof of proof of Town wood burning permit if any are proposed.
26. Prior to building permit, an improvements agreement shall be entered into between the applicant and the town for all landscaping improvements.
27. Prior to building permit, a maintenance agreement for landscaping and plaza maintenance will be entered into between the applicant and the Town.
28. Additional agreements and easements will be identified in the Town Council memo prior to a final approval.
29. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
30. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks or across property lines.
31. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
32. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
33. It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right

of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

34. A Major Subdivision application must be approved by Town Council prior to issuance of a building permit and concurrent with final PUD approval.

Other additional conditions to consider:

35. Prior to final review the applicant shall propose some re-design that continues the use of stacked stone and the grounding column forms onto the plaza side of the project.
36. Prior to final review the applicant shall propose some re-design that better differentiates retail from residential areas of the building and develops the retail areas along the pedestrian access through the building with more visual interest/architectural detail.

/aw/mh

**Major PUD Amendment Application – Development Narrative
Lot 109R, Town of Mountain Village, San Miguel County, Colorado**

Submitted April 24, 2022

This development narrative (this “**Development Narrative**”) is submitted in connection with that certain Major PUD Amendment Application (“**Application**”) submitted by Tiara Telluride, LLC, a Colorado limited liability company (“**Tiara**”) with respect to Lot 109R, Town of Mountain Village, San Miguel County, Colorado (“**Lot 109R**”), according to the plat recorded in the office of the Clerk and Recorder of San Miguel County (the “**Clerk’s Office**”) March 18, 2011 at Plat Book 1, Page 4455, Reception No. 416994 (the “**2011 Replat**”). Tiara is the current owner of Lot 109R. The Town of Mountain Village (the “**Town**”) is the owner of an immediately adjacent parcel identified as Tract OS-3-BR-2 (“**OS-3-BR-2**”) on the 2011 Replat. A depiction of Lot 109R and OS-3-BR-2 from the 2011 Replat is attached to this Development Narrative as Exhibit A. A Major Subdivision Application for Lot 109R and OS-3-BR-2 and a Design Review Process Application (the “**DRB Application**”) for Lot 109R is being submitted concurrently with the Application.

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I. Background.

The Town Council approved a PUD development for a project (the “**Project**”) on Lot 109R (the “**Lot 109R PUD**”) by *Resolution of the Town of Mountain Village, Mountain Village, Colorado, Approval of Final Planned Unit Development Application, Mountain Village Hotel Planned Unit Development, Resolution No. 2010-1208-31*, recorded in the Clerk’s Office on December 10, 2010 under Reception No. 415339 (the “**PUD Approval**”). In connection with the PUD Approval, the then owner of Lot 109R, MV Colorado Development Partners, LLC, a Texas limited liability company (“**Original Developer**”) entered into a Development Agreement for Lot 109R, which was recorded in the Clerk’s Office on March 18, 2011 under Reception No. 415339 (the “**Development Agreement**”). The PUD Approval and Development Agreement evidence the granting of a vested property right to a site specific development plan for Lot 109R for a period of five (5) years, expiring December 8, 2015 (the “**Vested Property Right**”). Concurrently with the recordation of the Development Agreement and to implement the approvals set forth in the PUD Approval and agreements set forth in the Development Agreement, the 2011 Replat was recorded together with various “**Lot 109 Project Easements**” listed in the 2011 Replat, and that certain Declaration of Covenants and Restrictions (Hotel Operator and Hotel Amenities, Facilities and Services Covenant) recorded in the Clerk’s Office March 18, 2011 under Reception No. 416998 (the “**Hotel Covenant**”).

The Vested Property Right was subsequently extended for a period of five (5) years, expiring December 8, 2020, pursuant to Ordinance No. 2015-07 recorded in the Clerk’s Office on August 5, 2015 under Reception No. 438753 (the “**First Vesting Period Extension Ordinance**”). At that time the Development Agreement was modified consistent with the First Vesting Period Extension Ordinance by First Amendment to Development Agreement recorded in the Clerk’s

Office August 5, 2015 under Reception No. 438754 (the “**First Amendment to Development Agreement**”).

The Vested Property Right was further extended for an additional period of two (2) years, expiring December 8, 2022, pursuant to Ordinance No. 2020-16 recorded in the Clerk’s Office on December 21, 2020 under Reception No. 467309 (the “**Second Vesting Period Extension Ordinance**”). At that time the Development Agreement, as amended by the First Amendment to Development Agreement, was further modified consistent with the Second Vesting Period Extension Ordinance by Second Amendment to Development Agreement recorded in the Clerk’s Office December 21, 2020 under Reception No. 467310 (the “**Second Amendment to Development Agreement**”).

II. **Proposed Amendments.**

A. **Unit Mix and Proposed Density Transfer.** The PUD Approval designates the following land uses and density:

DESIGNATED EXISTING LAND USES FOR THE PROPERTY:

Approved Density/Commercial SF			
	# Units	Density Per	Total Density
Efficiency Lodge Units	66	.5	33
Lodge Units	38	.75	28.5
Unrestricted Condominium Units	20	3	60
Employee Apartment	1	3	3
Commercial SF	20,164		
	Total Density		124.5

Of the 66 Efficiency Lodge Units, the Development Agreement requires 40 to be owned, operated and dedicated for use only as hotel rooms for use and occupancy by hotel guests staying there for short term accommodation as part of the hotel and not as condo-hotel units owned by third parties (the “**Hotel Rooms**”). Tiara proposes to increase the total Hotel Rooms by 22 to 62 (and to eliminate all for-sale Efficiency Lodge Units). The proposed change would result in the following amended use and density for the Project:

PROPOSED ZONING/LAND USES/DENSITIES FOR THE PROPERTY:

Approved Density/Commercial SF			
	# Units	Density Per	Total Density
Efficiency Lodge Units (allocated as Hotel Rooms)	62	.5	31
Lodge Units	18	.75	13.5
Unrestricted Condominium Units	22	3	66
Employee Apartment	2	3	6
Employee Dorm	18	1	18
Commercial SF	26,468		
	Total Density		134.5

In order to accommodate some of the employee apartments and/or employee dorms proposed for the Project (see Item II.C below), Tiara is proposing to reallocate and rezone 11 units of density from Efficiency Lodge and Lodge Unit designations to which they are currently allocated to Employee Apartment and Employee Dorm and, in addition, will require a staff level density transfer to the Project of 10 units from the Town’s density bank and/or the creation and allocation to Lot 109R 10 units of bonus density. Section 17.4.9.D.6.f of the Town of Mountain Village Community Development Code (the “**Code**”), providing that Lodge and Efficiency Lodge zoning designations may not be rezoned to Condominium zoning designations, does not apply to the reallocation of 11 units of density from Efficiency Lodge and Lodge Unit designations to unrestricted Condominium Units because Section 17.4.9 of the Code applies to rezoning development applications (processed as a class 4 application in accordance with Section 17.4.9.C.2 using a Rezoning/Density Transfer Application) and not to a major PUD amendment development application, as Tiara is proposing, which is a separate class 4 application processed in accordance with Section 17.4.12.O.1.b using a Conceptual SPUD Application and Final SPUD Application. *See also* Section 17.4.12.N.a.ii allowing a minor amendment to a PUD to be made where the PUD amendment does not change the zoning designation and clause iii requiring a major PUD amendment (and not a rezoning under Section 17.4.9) if it does.

In the event it ultimately turns out that excess density has been allocated to Lot 109R, it will be placed in the density bank; provided, however, that any reallocations of density back to Lot 109R to accommodate future changes to the type, mix or configuration of individual units will be reviewed and approved by the planning division as a Class 1 Application consistent with Code Section 17.4.3(K)(1) as provided in Item II.C below.

B. Hotel Operator. Six Senses and Tiara have signed a letter of intent for Six Senses to serve as the Hotel Operator (as defined in the Development Agreement). Six Senses is an ultra-luxury hotel resort and spa operator that strives to reawaken its guests senses with wellness offerings and experiences that are out of the ordinary, integrating with the local fabric and culture while remaining in tune with the wider world. Six Senses operates hotels and resorts in such diverse locations as Bhutan, the Mantiqueira Mountains of Brazil, Fort Barwara India, Savoie France, and the Maldives. Building a project that satisfies the brand

standards of Six Senses increases the total cost of the project by \$30-50 million from a price per square foot of \$300 to a price per square foot of \$550.

C. **Unit Mix – Employee Housing.** Pursuant to the PUD Approval, Lot 109R was approved for uses including one employee apartment with a total density under the Code of 3. Tiara proposes to significantly expand the employee housing on Lot 109R to two Employee Apartments and 18 Employee Dorms, each comprised of individual sleeping rooms accommodating three people. Tiara also proposes to provide common amenities for the use of employee residents of the Project, such as shared kitchen and recreational facilities and a laundry (the “**Employee Amenities**”). Toward those ends, Tiara would create a single condominium unit (the “**Employee Housing Unit**”) which would be subject to an employee housing restriction limiting the use of such condominium unit to two Employee Apartments, 18 Employee Dorms, and Employee Amenities (and allowing Employee Amenities within the Employee Housing Unit to be changed, expanded or eliminated provided shared kitchen and recreational facilities are always provided) (the “**Employee Housing Restriction**”). Notwithstanding the foregoing, the type, mix or configuration of individual Employee Apartments and Employee Dorms, including changes that result in increases or decreases in density used at the Project or in changes to use designations may be initiated by the owner of fee title to the Employee Housing Unit, without any requirement that such change be initiated or joined by owners of fee title to at least 67% of the real property within the PUD or an individual or entity having the written permission of owners of fee title to at least 67% of the real property within the PUD, provided the Employee Housing Unit continues to be used for Employee Apartment, Employee Dorm, and Employee Amenities (an “**Employee Housing Unit PUD Amendment**”). An Employee Housing Unit PUD Amendment will be reviewed and approved by the planning division as a Class 1 Application, consistent with Code Section 17.4.3.K.1. The Employee Housing Unit will be located on the mezzanine level of the Project and will be approximately 11,700 square feet in size, as shown on the attached Exhibit F - 1. A sample of a possible configuration and unit make-up of the Employee Housing Unit is set forth on the attached Exhibit F - 2.

D. **Efficiency Lodge and Lodge Unit Configuration; Ownership and Participation in Rental Management Program; Lock-Off Units.** Acknowledging that Efficiency Lodge Units and Lodge Units are “Multifamily Dwelling Units,” as such term is defined in Code Section 17.8.1, and that “Dwelling Units, including Multifamily Dwelling Units,” are defined as, “a single unit providing living facilities for one (1) or more persons, including permanent provisions for living, sleeping, a kitchen [as otherwise limited by the code], and sanitation,” efficiency lodge units and lodge units will contain a living area, kitchen facilities (subject to the applicable limitations of the Code), sanitation and, with respect to the Efficiency Lodge Units, a one room space for sleeping and, with respect to the Lodge Units, up to two room spaces for sleeping, all as shown on the Proposed Development Plan submitted with this Application. Tiara requests a variation/waiver to the requirement set forth in the Zoning Designations set forth in Code Section 17.8.1 that a lodge contain a “mezzanine” as defined in the Code. The Lodge Units in the Project will not contain a mezzanine.

As noted in Item II.A above, all 66 Efficiency Lodge Units in the Project will be owned, operated and dedicated for use only as Hotel Rooms for use and occupancy by hotel guests staying there for short term accommodation as part of the hotel and not as condo-hotel units owned by third parties. The Hotel Operator will operate a “**Rental Management Program**” which means and refers to the rental management and accommodations styled program operated on the Property. The Hotel Rooms will be rented under the Rental Management Program for usage periods of less than 30 (“**Short Term Rentals**”). The Hotel Rooms will be part of the Hotel Facilities Unit and may be condominiumized to enable common ownership with other components of the Hotel Facilities Unit, provided that all of the Hotel Facilities Unit will be under one common ownership, which may change from time to time.

Consistent with the PUD Approval, the Lodge Units and Unrestricted Condominium Units will each be condominiumized as separate individual airspace units. The Project condominium documents and the management contract with the Hotel Operator will allow each of the Lodge Units and Unrestricted Condominium Units to be included in the Rental Management Program, provided, however, that in no event will the owner of any Lodge Unit and Unrestricted Condominium Unit be required to place such units in the Rental Management Program or to use the Hotel Operator to rent their unit if they elect to rent the unit. Furthermore, Lodge Units and Unrestricted Condominium Units may be rented as part of the Rental Management Program for Short Term Rentals or for usage periods of up to one year (“**Long Term Rentals**”).

The Project will include Lock-Off Units as shown on the Proposed Development Plan consisting of two Lodge Units or two Efficiency Lodge Units that shall be separated from an adjacent unit by a common keyed door and otherwise comply with the requirements for Lock-Off Units set forth in Section 8.3 of the Development Agreement.

The Declaration of Covenants and Restrictions (Hotel Operator and Hotel Amenities, Facilities and Services Covenant) recorded in Reception No. 416997 in the Clerk’s Office (the “**Hotel Covenant**”) will be modified consistent with changes proposed in the Application for Tiara Telluride and based on comments of the Hotel Operator.

E. **Adjustments in Boundaries of Lot 109R and OS-3-BR-2.** Based on the plans for the development of the property approved by the PUD Approval, the lots within the boundaries of the plan were replatted by the 2011 Replat into Lot 109R, owned by the Original Developer, and OS-3-BR-2, owned by the Town. Note 12 of the 2011 Replat states:

Lot 109R has been configured so that the boundary lines of Lot 109R will coincide with the structural components of the proposed building in the Project.

As shown in the Proposed Development Plan submitted with this application and as further described in the Development Narrative included in the DRB Application, Tiara proposes a new design for the Project with a more rounded shape

sensitive to the topography of the land and surrounding properties within the Village Center. In order to accommodate this new shape and keep Lot 109R configured so that the boundary lines of Lot 109R will coincide with the structural components of the proposed building in the Project, Tiara proposes the following boundary adjustments between Lot 109R and OS-3-BR-2:

1. **Parcels to be Added to OS-3-BR-2.**

- a) Southeast Corner of Lot 109R. A strip of land of varying widths located at the southeast corner of Lot 109R and immediately adjacent to the north of OS-3-BR-2, which strip is indicated in blue on the attached Exhibit B, will be returned to the Town and incorporated into OS-3-BR-2. Currently this strip consists of vacant ground. Tiara proposes to improve this strip together with adjacent positions of OS-3-BR-2 with the pedestrian access stairway described more particularly in Item II.G.1 below (Pedestrian Access Stairs from Access Tract 89B to Village Center).
- b) Southwest Corner of Lot 109R. Three parcels of land located at the southwest corner of Lot 109R and immediately adjacent to the north of OS-3-BR-2, which parcels are shown in blue on the attached Exhibit B, will be returned to the Town and incorporated into OS-3-BR-2. Currently these parcels consist of vacant ground. They were originally intended to accommodate a circular staircase that will not be a part of the Project as proposed by Tiara.
- c) Central Curve Parcels. Two parcels of land located near the concrete walkway running through Lot 109R and immediately adjacent to the north of Tract OS-3-BR, which parcels are shown in blue on the attached Exhibit B, will be returned to the Town and incorporated into OS-3-BR-2. These parcels are no longer needed because the building corners and edges they were intended, in the original proposal for the Project, to accommodate are smoothed and rounded in the new curved configuration of the proposed Project.

2. **Parcels to be Added to Lot 109R.** Structural components of the original Project created a rectangular peninsula of space jutting from a courtyard located on OS-3-BR-2 into Lot 109R. In order to accommodate the more curved shape of the proposed Project, that portion of this peninsula shown in red on the attached Exhibit B will be incorporated into Lot 109R.

As a result of the above-described boundary line adjustments and the related conveyances between Tiara and the Town, a total of 1,328 square feet would be removed from Lot 109R and added to OS-3-BR-2 and a total of 968 square feet would be removed from OS-3-BR-2 and added to Lot 109R. Offsetting the two results in a total addition to OS-3-BR-2 of 360 square feet (.008 acres).

F. **No-Build Zone, Overhangs and Encroachments.** As noted above, Lot 109R, modified as described in Item II.E above, will be configured so that the boundary lines of Lot 109R will coincide with the structural components of the proposed building in the Project. Tiara's proposed Project includes those overhangs and encroachments shown on the attached Exhibit C for which Tiara requests an easement or license. Tiara also requests the creation of a no-build zone on those portions of Tract OS-3-BR-1 immediately adjacent to Lot 109R shown on the attached Exhibit C (the "**No-Build Zone**") in which there will be a prohibition on the construction of above-grade structural improvements so that, for purposes of the application of the International Building Code (2018) (the "**IBC**") as adopted by the Town, Tiara may obtain an administrative modification to the application of the IBC by which fire separation distance will be measured from the face of the building comprising the Project to a line running through the middle of the No-Build Zone.

G. **Pedestrian Access.**

1. **Pedestrian Access Stairs from Access Tract 89B to Village Center.** There are a couple of existing easements in place to provide pedestrian access through or in the vicinity of Lot 109R between Access Tract 89-B, on the opposite side of Mountain Village Boulevard to the east, and the plaza area planned for OS-3-BR-2 (the "**Plaza**"), on the west. These easements as well as Access Tract 89-B are shown on an excerpt attached as Exhibit D -1 from the survey of existing conditions included in the Application.

a) 1987 Easement Reserved to The Telluride Company. Pursuant to a Warranty Deed recorded in the Clerk's Office March 2, 1987 in Book 434, Pages 474-478, The Telluride Company reserved over Tract 89-A a non-exclusive pedestrian access easement, "for the benefit of all persons who possess ownership in the property commonly referred to as the Mountain Village Planned Unit Development" (the "**1987 Pedestrian Access Easement Reservation**"). In that deed The Telluride Company reserved the right to limit the rights of beneficiaries of the reservation or abolish it, or both. Tract 89-A was vacated by the 2011 Replat but its boundaries are shown on the excerpt of the 2011 Replat attached as Exhibit A.

b) 2007 Pedestrian Access Easement Agreement with Owner of Various Lots on Opposite Side of Mountain Village Boulevard to East and Northeast of Lot 109R. Pursuant to Pedestrian Access Easement Agreement recorded in the Clerk's Office October 12, 2007 under Reception No. 397446 (the "**2007 Pedestrian Access Easement**"), the owner of certain lots on the opposite side of Mountain Village Boulevard and to the east and northeast of Lot 109R¹ was granted a pedestrian access easement from Mountain Village Boulevard down toward the Plaza. The location of the pedestrian access easement area is subject to change pursuant to the 2007 Pedestrian Access Easement. The "**2007 Initial Easement Area**" is in the

¹ Lots 89-1B, 89-1C, 89B, 89-1D, 89-2A, 89-3B, 89-3C, 89-3D TMV per plat recorded Plat Book 1 at page 693, 980 and 1066.

same location as the pedestrian access easement reserved in the 1987 Pedestrian Access Easement Reservation and is identified on the attached Exhibit D - 1. However, the 2007 Pedestrian Access Easement contemplated that the location and configuration of the pedestrian access easement would be adjusted to fit the Project as then designed and as shown on the attached Exhibit D - 1 (the “**2007 Final Easement Area**”) when approvals from the Town were obtained for the development of the Project in that configuration. The 2007 Pedestrian Access Easement also contemplates the possibility of future modifications to the plans for the pedestrian access improvements to be installed pursuant to the 2007 Pedestrian Access Easement.

Tiara proposes to relocate the easements granted pursuant to the 1987 Pedestrian Access Easement Reservation and the 2007 Pedestrian Access Easement to the proposed final location for pedestrian access improvements shown on the attached Exhibit D - 2. Following the boundary line adjustment contemplated in Item II.E.1 the pedestrian access improvements, which will be installed by Tiara at its sole cost and expense, will be located primarily on OS-3-BR-2, as adjusted.

2. **Pedestrian Access from the North to the Village Center.** As shown on Exhibit D - 1, there is a concrete pedestrian walkway that runs from Mountain Village Boulevard south through Lot 109R and the peninsula portion of OS-3-BR-2 and into the Plaza area to the east of Lot 108. There is currently no easement in place for the portions of that walkway located on Lot 109R. Tiara will grant to the Town an easement for pedestrian access over those portions of the pedestrian walkway located on Lot 109R and will make those improvements to the pedestrian walkway initially described in the in the Proposed Development Plan submitted with this application and as further described in the Development Narrative included in the DRB Application.

H. **Emergency Access Improvements.** Tiara will make improvements to OS-3-BR-2 to provide access by emergency vehicles from Mountain Village Boulevard to the Plaza. Those improvements will include a circular drive around the Village Core Transfer Station (the existing trash facility) on Tract OS-3-BR-2 to accommodate emergency vehicles. The improvements will also include an emergency access lane to be located on Tract OS-3BR-1, which emergency access lane will be accessed from the circular drive and terminate at the Plaza. The circular drive and emergency access lane are shown on the attached Exhibit E.

I. **Village Core Transfer Station (Existing Trash Facility).** On OS-3BR-2 there is located an existing trash facility (the “**Trash Facility**”) marked in cross-hatching on the attached Exhibit E and housing two 3-yard dumpsters. The Trash Facility is leased from the Town to Bruin Waste Management pursuant to a Commercial Lease Village Core Transfer Station dated October 1, 2020 (the “**Waste Transfer Station Lease**”). The lease term renews annually for successive 1-year terms unless either party provides notice of termination to the other at least 60 days prior to the end of the then-current term. Tiara

will replace the existing Trash Facility with an enhanced facility to accommodate trash from the Village Core and, in addition, install on Tract OS-3BR-2 mechanical equipment serving the improvements in the Plaza, including boilers for snow melt. Tiara proposes the Waste Transfer Station Lease be suspended for the period during which such improvements are being made.

J. **Parking.**

1. **Number of Spaces.** Tiara proposes to include in the Project a total of 108 parking spaces, including one accessible parking space under the IBC. The PUD Approval and Development Agreement require the developer of the Project to convey 32 covered, garage parking spaces (the “**Replacement Parking**”) to the Town to replace the 32 existing surface parking spaces currently on Lot 109R and serving the Town pursuant to that certain Lease Agreement dated March 1, 2007 between the Town and the Original Developer, as amended. In addition, they require the developer of the Project, as an additional public benefit, to convey an additional 16 covered, garage parking spaces (beyond the Replacement Parking Spaces) to the Town (the “**Additional Parking Spaces**”). The increased size and density of the Employee Housing Unit requires significantly more parking than was previously contemplated and so Tiara proposes to convert the Replacement Parking and the Additional Parking Spaces that would have been conveyed to the Town to parking serving the Employee Housing Unit and other community benefits. Tiara also proposes those additional modifications to parking reflected in the table below.

Use Designation	Required Number of Parking Spaces per Unit	Number of Units (Commercial sf)	Total Parking Required	Total Parking Provided
Efficiency Lodge Units	0.5 per unit	62	31	31
Lodge Units	0.5 per unit	18	9	9
Unrestricted Condominium Units	1 per unit	22	22	22
Employee Apartment	1 per unit	2	2	2
Employee Dorm	No requirement	18	No requirement	0
Commercial SF	1 space per 1,000 sq. ft.*	26,468 sq.ft.	27	27
HOA Maintenance Vehicles	1-5		1	1
Total Parking Spaces			92	108

*All commercial uses parked at 1/1,000 square feet consistent with parking for commercial square footage in the Project approved as part of the Lot 109R PUD as set forth in Final PUD Plan for Mountain Village Hotel Issued November 18, 2010, Project Number 08131.100, Cover Sheet/Index and Sheet Index & Project Information, as included in the Mountain Village Hotel Supplemental Information, Issue Date: November 18, 2010, pages 153 and 154. The Lot 109R PUD drew no distinction between parking requirements for low intensity commercial uses and high intensity commercial uses and parked both at 1/1,000.

2. **Tandem Spaces.** Tiara's proposed configuration of the Project does not include any tandem parking spaces.

3. **Drive Aisle.** Section 17.5.8.C.3 of the Code requires the driveway and aisle widths for parking garages to be 22 feet. Tiara proposes instead that the drive aisle and parking ramp in the below-grade parking garage will be 18 feet in width, which modification was approved by the Telluride Fire Protection District on March 30, 2022.

4. **Loading Space Size.** Section 15.5.8.C.10.a of the Code requires loading space size of a minimum of 12 feet in width by 55 in length, with 14 of overhead clearance from street level. Tiara proposes to design loading spaces to accommodate wb40 trucks and to reduce loading space size, as shown on the attached Exhibit G.

5. **Loading and Unloading.** Section 15.5.8.C.10.d.ii.h of the Code requires the loading and unloading area to be located within the associated parking garage. Tiara proposes to allow loading/unloading within the area adjacent to the associated parking garage sized and configured to allow trucks, when backed-in, to extend from the garage by 9 feet, as shown on the attached Exhibit G.

6. **Valet Parking for Commercial SF.** Valet service performed by attendants who receive, park and return motor vehicles to property owners, guests or customers will be provided by the owner's association for the Project or the owner of the commercial square footage.

K. **Conference Facility.** The PUD Approval requires the Project to include conference facilities which shall be available for use by owners and guests in the Project and non-owners and guests according to the terms of the Development Agreement. Tiara proposes to provide conference facilities with the following changes:

1. The plans for the Project approved as part of the PUD Approval contemplated those conference facilities being on the plaza level. Tiara will move the conference facilities up to level 6 of the Project with a view to the north, as shown on the attached Exhibit H.

2. The PUD Approval requires the Project to include two conference rooms. Tiara proposes to provide one conference room subdividable as provided below.

3. The Development Agreement adds requirements for the conference rooms to be dividable into four smaller rooms by industry standard dividers. The conference room in the Project would be dividable into 2 to 4 smaller rooms.

4. The Development Agreement requires the conference rooms to be offered to the public for market rent at rates comparable to those charged for the Telluride Conference Center. Tiara proposes instead that the conference rooms be offered for market rent at rates comparable to those charged for facilities of a comparable quality, located in an upper floor (6th floor or above) of the building in which they are located, with views comparable to those available from the proposed conference facility in the Project, and in similar caliber resort communities (“**Market Rates**”).

The Development Agreement requires the conference room to be available for rental in concert with other conferences or special events occurring in the Town when not booked for other functions, provided that the Owner, Project Association and Management Company may establish commercially reasonable rules, regulations and other restrictions that will govern the use of the conference rooms in a uniform manner. Tiara desires to clarify that the Conference Center shall be available under such circumstances for rental at Market Rates.

L. **Reconfiguration and Bifurcation of Plaza Improvements.** The PUD Approval and Development Agreement require the owner of Lot 109R to, without expense to the Town, improve portions of OS-3-BR-2 shaded on Exhibit “C” to the Development Agreement (referred to in the Development Agreement as the Area of Plaza Improvements) with certain Plaza Improvements (as defined in the Development Agreement). The Area of Plaza Improvements consists of two parcels: (1) a portion immediately adjacent to the south of Lot 109R (the “**Lot 109R-Adjacent Plaza Area**”), and (2) a parcel to the south of the Westermere project and adjacent to the pond near the Village Core (the “**Village Pond Area**”). Tiara notes that any improvements to the Village Pond Area would likely be damaged or destroyed in connection with the development of Lot 161CR. Accordingly, Tiara proposes that, rather than Tiara making such improvements, at the time Tiara submits its application for a building permit, Tiara will deposit with the Town the estimated cost of the improvements to the Village Pond Area, to be applied to the improvement of the Village Pond Area by the Town or another party at the appropriate time for the making of such improvements. Tiara will improve the Lot 109R-Adjacent Plaza Area, as reconfigured in accordance with Item II.E above and consistent with the new plans for the Lot 109R-Adjacent Plaza Area included in the Application, such area being indicated on the attached Exhibit I. Tiara will also, at its sole cost and expense, construct those additional pedestrian, vehicular, and emergency access improvements as shown on the Proposed Development Plans submitted with this Application and will improve the Westermere Breezeway and the associated path through such breezeway (up to the Village Pond Area) in substantial accordance with the Proposed Development Plans submitted with this Application, subject to Section 7.2.8 of the Development Agreement.

M. **Public Restrooms.** Tiara shall grant and convey to the Town necessary and suitable easements or licenses for the benefit of the Town and general public to use the public restrooms to be installed in the Project pursuant to Section 7.2.5 of the Lot 109R PUD.

N. **Mitigation Fee/Building Permit Fees.** The PUD Approval requires payment of an employee housing mitigation payment to the Town in the sum of \$996,288 (“**Mitigation Payment**”), which is payable simultaneously with the issuance of the initial building permit, excluding a standalone excavation permit for the Project. The PUD Approval contemplates that Mitigation Payment will be used for public purposes, including employee housing, transportation or trash facility relocation. However, as further described below, in view of Tiara’s significant contributions of both funds (well in excess of the amount of the Mitigation Payment) and space within Lot 109R (with an approximate for sale value of \$20,000,000) to further the ends for which the PUD Approval exacted the Mitigation Payment, Tiara proposes to reduce the sum of the Mitigation Payment and building permit fee to a total sum of \$1,500,000.

The PUD Approval requires application of 60% of the Mitigation Payment, or roughly \$598,000, for employee housing purposes. However, as described in Item II.C above, Tiara proposes to incorporate into the Project employee housing substantially increased and enhanced from that contemplated in the PUD Approval, increasing the total housed from one employee to 56 employees, incorporating extensive and diverse entertainment and kitchen amenities, and expanding employee parking within the Project, all at an estimated cost of \$6,435,000. The sale value of such employee housing, amenities and parking, if not committed to employee housing uses and sold individually, would be approximately \$20,000,000.

The Development Agreement requires \$250,000 of the Mitigation Payment to be applied to the relocation of the trash facility. However, as described in Item II.I above, Tiara proposes, at its sole cost and expense, to replace the existing Trash Facility with an enhanced facility with improved capacity and efficiencies at an estimated cost of \$750,000.

O. **Vesting Period.** Tiara proposes a vesting period of 3 years following the date of the Town Council ordinance approving the Application, as provided in Code Section 14.4.12.D.1.c.iii.

P. **Maximum Height and Maximum Average Height.** Under the Lot 109R PUD the current maximum building height approved for Lot 109R is 88' 9" and the maximum average height is 65' 2.9". Tiara proposes to slightly increase the maximum height to a height not to exceed 96' - 8" and maximum average height to a height not to exceed 82.46'.

EXHIBIT A

Excerpt from 2011 Replat Showing Lot 109R and OS-3-BR-2

[See attached.]

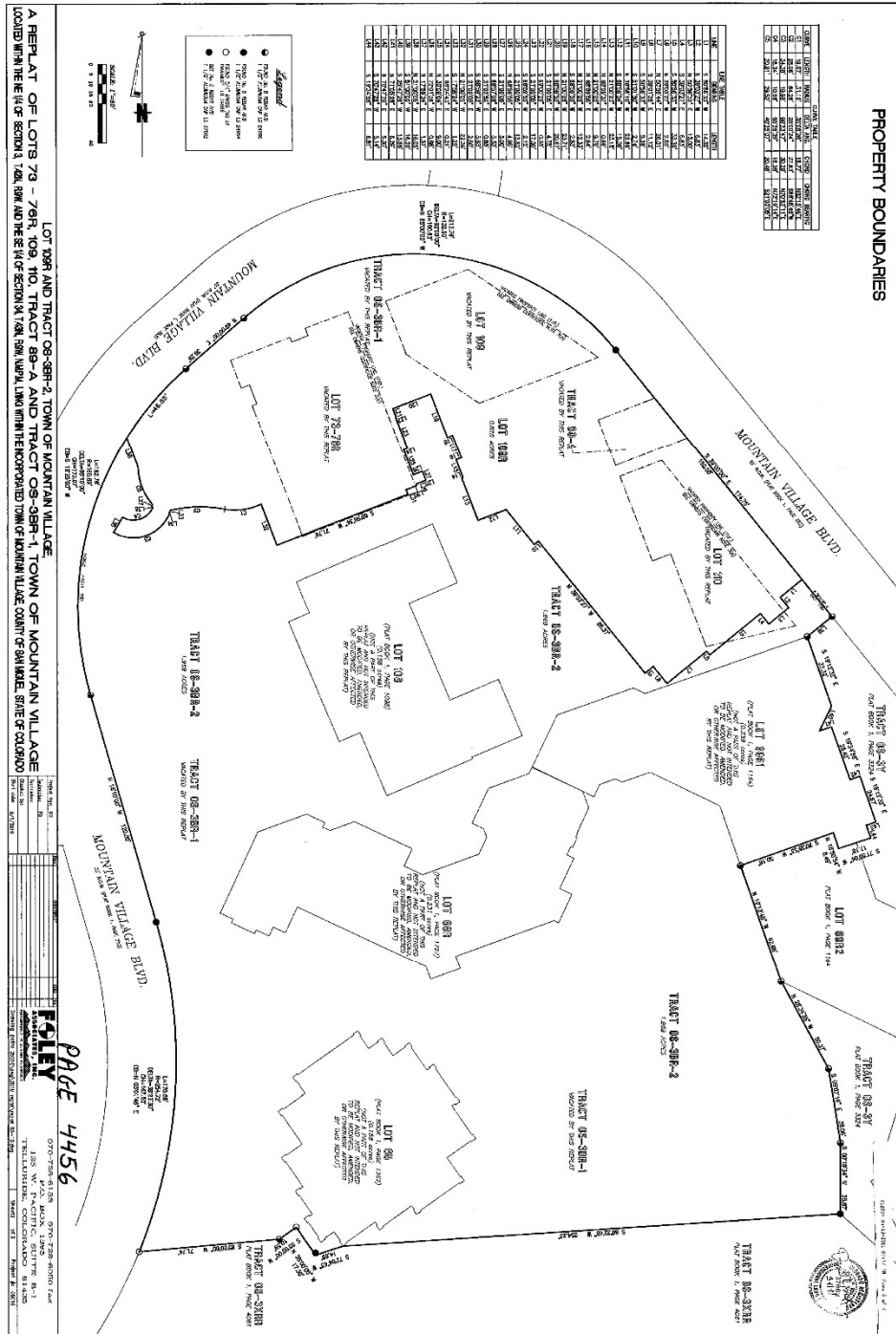


EXHIBIT B

Adjustments in Boundary Lines Between Lot 109R and OS-3-BR-2

[See attached.]

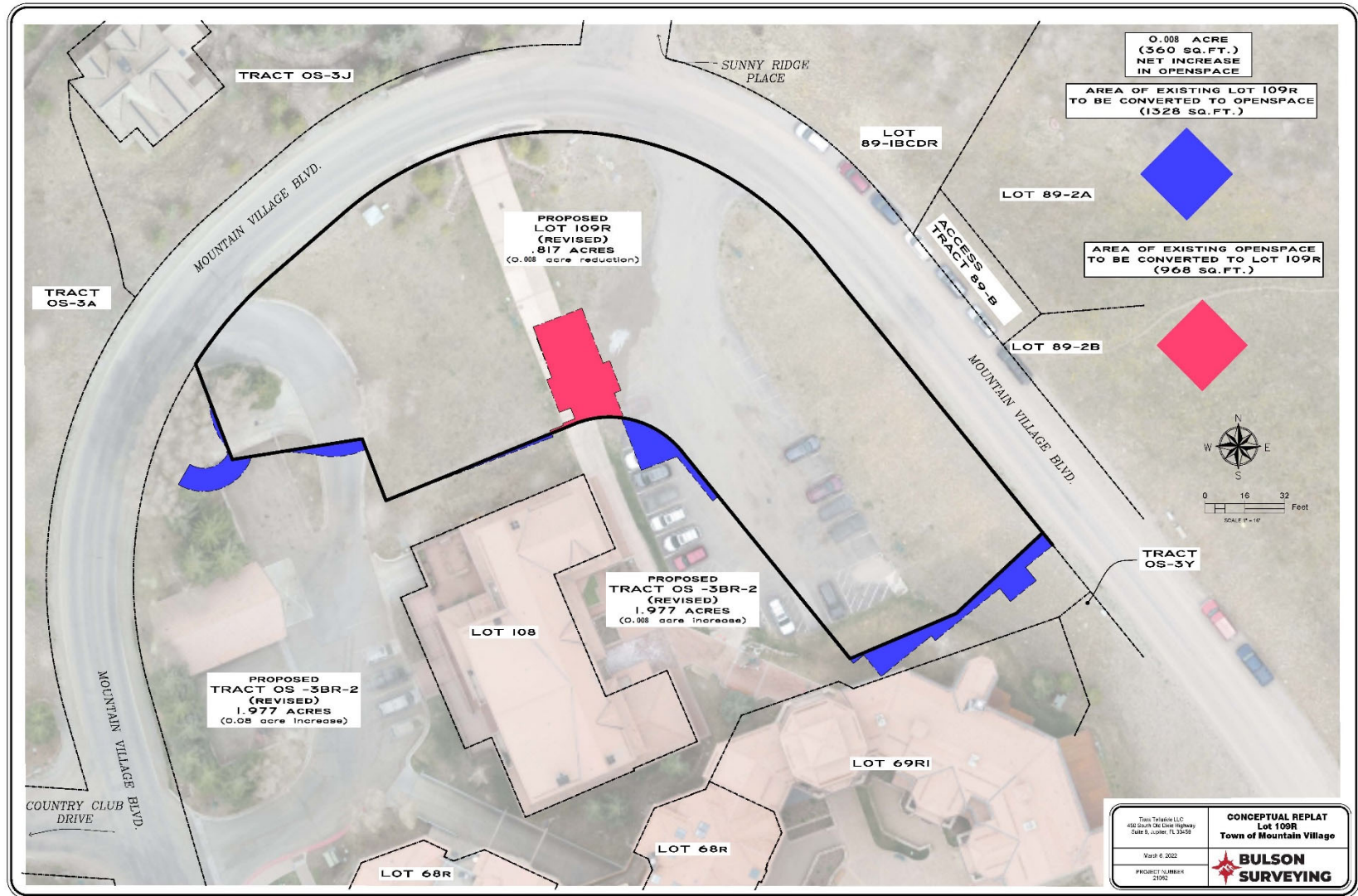


EXHIBIT C

No-Build Zone, Overhangs and Encroachments

[See attached.]



EXHIBIT D - 1

Pedestrian Access – Existing

[See attached.]

EXHIBIT D - 2

Pedestrian Access – Proposed

[See attached.]

EXHIBIT E

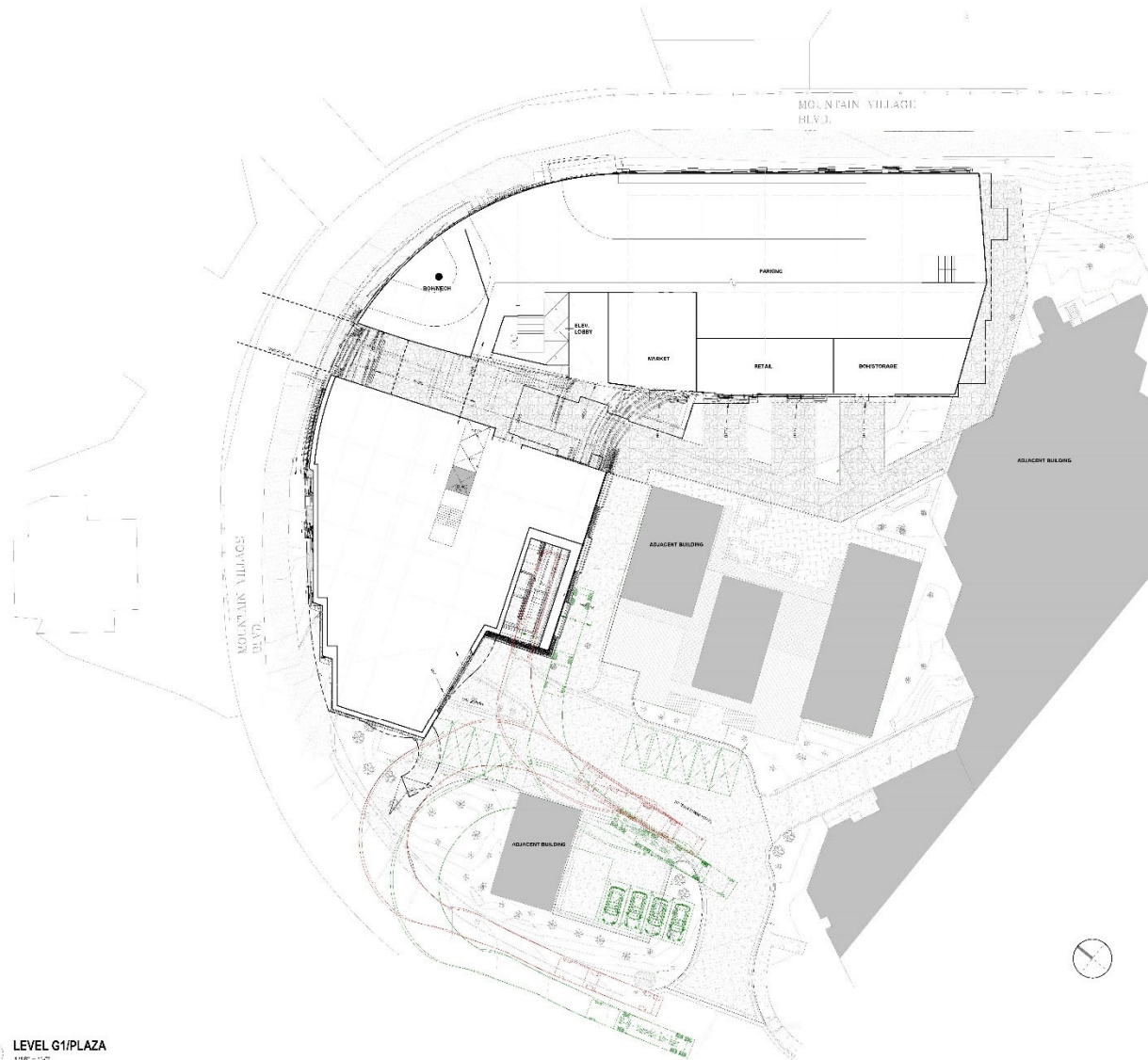
Emergency Access Improvements

[See attached.]

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3/2/2024 11:40:39 AM

1 LEVEL G1/PLAZA
1/8" = 1'-0"



Consultants

Mountain Village Telluride

Owner

Operator

1/8" = 1'-0"

DELIVERY CIRCULATION

AX05.01

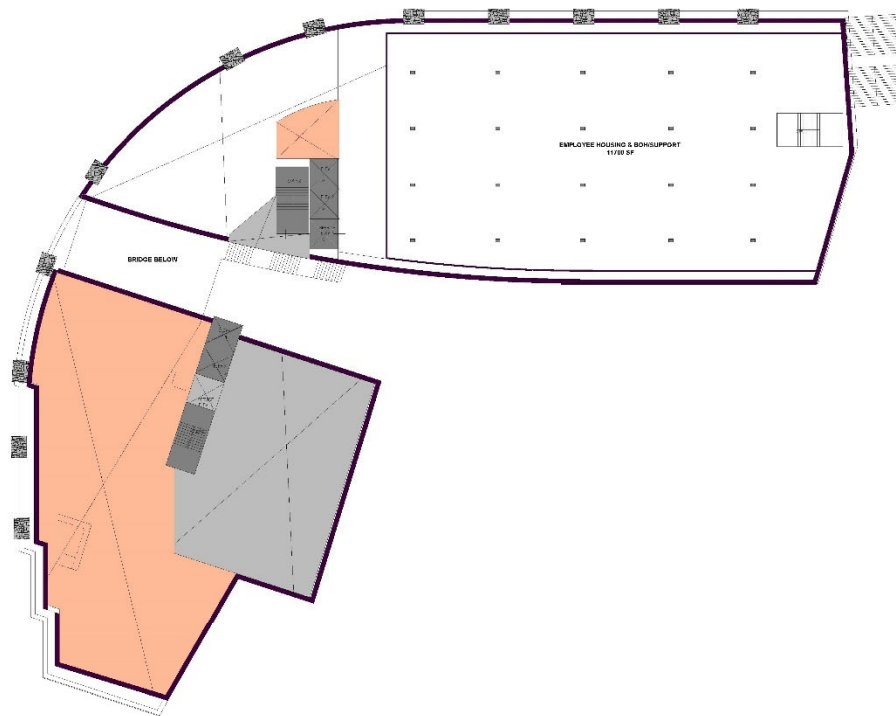
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AX05.01

EXHIBIT F

Employee Housing Unit

[See attached.]



1 LEVEL 01A MEZZ - PROGRAM AREAS
1/16" = 1'-0"

EXHIBIT G

Loading

[See attached.]



EXHIBIT H

Conference Facility

[See attached.]

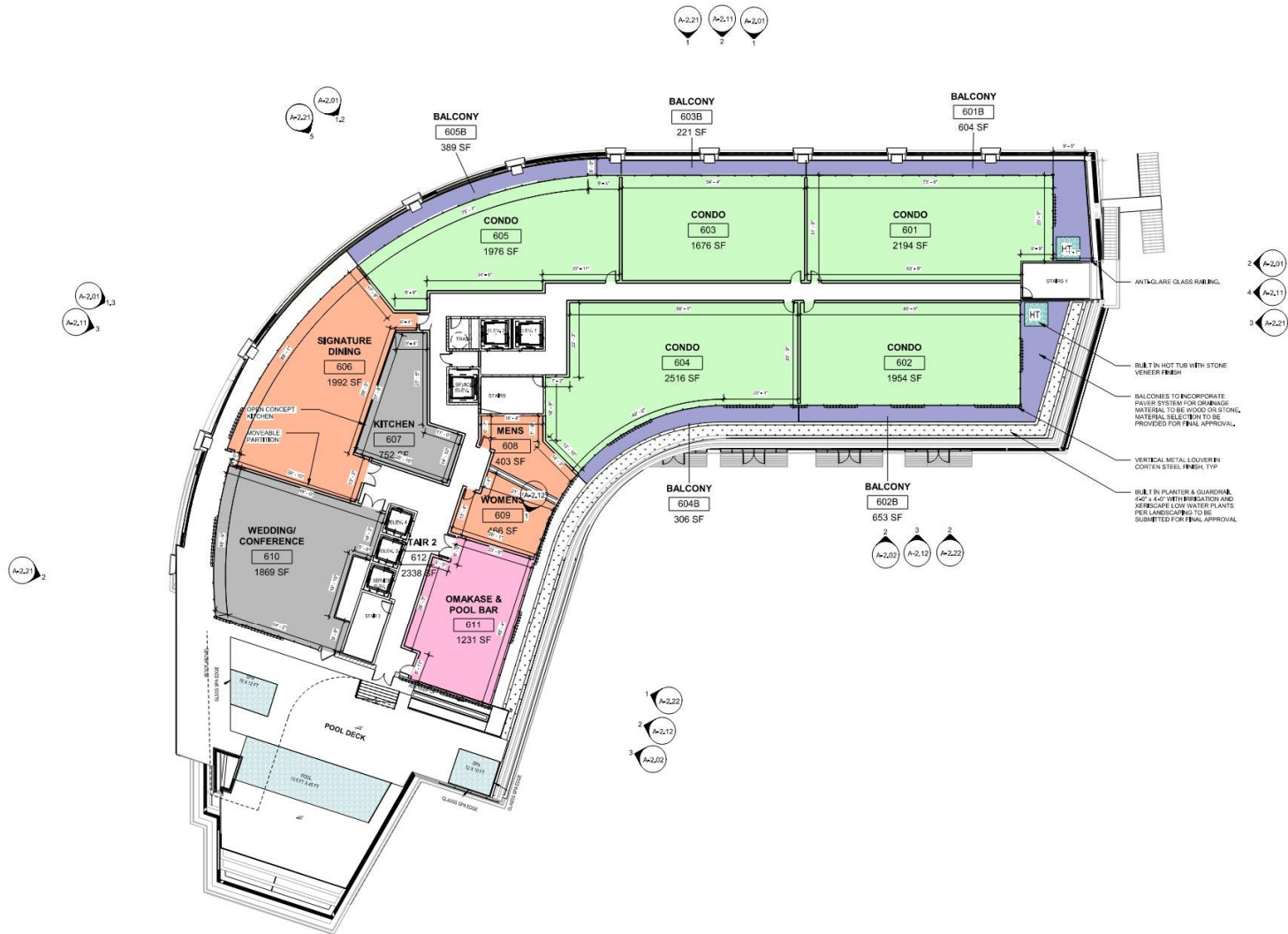


EXHIBIT I

Reconfigured Lot 109R-Adjacent Plaza Area

[See attached.]



**Summary of Community Benefits of
Major PUD Amendment Application Submitted April 2, 2022**

Lot 109R, Town of Mountain Village, San Miguel County, Colorado

This Summary of Community Benefits is submitted in connection with that certain Major PUD Amendment Application (“**Application**”) submitted by Tiara Telluride, LLC, a Colorado limited liability company (“**Tiara**”) relative to proposed amendments to a PUD (the “**2011 Lot 109R PUD**”) for a project (the “**Project**”) on Lot 109R with respect to Lot 109R, Town of Mountain Village, San Miguel County, Colorado (“**Lot 109R**”), which 2011 Lot 109R PUD was approved by *Resolution of the Town of Mountain Village, Mountain Village, Colorado, Approval of Final Planned Unit Development Application, Mountain Village Hotel Planned Unit Development, Resolution No. 2010-1208-31*, recorded in the Clerk’s Office on December 10, 2010 under Reception No. 415339 (as extended, the “**PUD Approval**”). In connection with the PUD Approval, the then owner of Lot 109R, MV Colorado Development Partners, LLC, a Texas limited liability company (“**Original Developer**”) entered into a Development Agreement for Lot 109R, which was recorded in the Clerk’s Office on March 18, 2011 under Reception No. 415339 (the “**Development Agreement**”). The Community Benefits¹ of the Project as modified by proposals set forth in the Application are set forth in the table below.

Community Benefits of the Project as Modified by the Application

	2011 Lot 109R PUD	Application
A.	The Applicant shall provide at least forty dedicated hotel rooms according to the terms and conditions of the Development Agreement.	Tiara proposes to increase the total dedicated hotel rooms by 22 to a total of 62.
B.	The Applicant shall require that the Project shall be either: (i) operated and managed by, and/or (ii) franchised as an internationally or nationally recognized full service hotel operator/brand (as applicable) with significant experience in	Tiara is complying with 2011 Lot 109R PUD and Development Agreement but as an additional benefit Tiara anticipates the hotel will be operated and managed as a 5-star, ultralux hotel.

¹ “Community Benefits”, as defined in Town of Mountain Village Community Development Code Section 17.8, means: The dedications, conveyances, public improvements, exactions and conditions required to ensure that the impacts of a development project are adequately mitigated. Community benefits include, without limitation: additional affordable or employee housing; conveyance of land or easements for public purposes; construction and/or land, material or financial contribution to the construction of public facilities, such as public parking and transportation facilities, pedestrian improvements, streetscape improvements, lighting, public cultural facilities, parks, conference centers, public buildings and features; and other public facilities determined by the Town Council to meet the requirement for community benefit as set forth in the PUD Regulations.

	full service operations with existing broad marketing distribution capabilities (" Hotel Operator ") for the life of the Project according to the terms and conditions of the Development Agreement. Section 7.2.1.B of the Development Agreement shall provide for mediation between the parties in the event the Applicant and the Town are unable to agree on a Hotel Operator and shall further provide that the approved Hotel Operator shall have programs in place that demonstrate broad market exposure.	
C.	The Applicant shall impose a hotel operator, hotel amenities, services and facilities covenant, enforceable by the Town, on the Property according to the terms and conditions of the Development Agreement.	No change except insofar as Development Agreement is amended or revised pursuant to the Application.
D.	The Applicant shall impose a covenant on the Property requiring all purchase contracts concerning the initial sale of Lodge and Efficiency Lodge Units that require a buyer to select a standard furniture package developed by the Hotel Operator and the price for purchasing the unit shall include the cost of the furniture package and such covenant may not be waived by the parties.	No change.
E.	The Applicant shall provide for an employee housing mitigation payment to the Town in the sum of \$996,288 (" Mitigation Payment "), which shall be payable simultaneously with the issuance of the initial building permit, excluding a standalone excavation permit for the Project. The Town may use the Mitigation Payment for any public purpose as determined by the Town, which may include, but shall not be limited to, employee housing, transportation or trash facility relocation, provided that not	Since Tiara proposes to include in the Project significant employee housing as described in this table below, and since Tiara proposes, at its sole cost and expense, to replace the existing Trash Facility with an enhanced facility, Tiara proposes to pay a total of \$1,500,000 for the required Mitigation Payment and building permit fees, collectively (in addition to the costs Tiara will incur to construct and install all the public improvements contemplated by the Application).

	less than 60% of the Mitigation Payment shall be used for employee housing purposes.	
F.	On the second anniversary of the initial Certificate of Occupancy for the Project, Owner shall provide a certified statement indicating the actual number of full time equivalent employees employed at the Project. The certified statement shall confirm to the Town the number of full time equivalents employees based upon timecards, income tax reporting and such other and similar employment records, which shall be reviewed, evaluated, discussed and otherwise held in a confidential manner by the Town. As a further offset to employee housing needs generated by the Project, Owner shall pay the Town a one time payment of \$4,018.52 for each full time equivalent employee averaged over the two year period dating from the issuance of the initial Certificate of Occupancy for the Project in excess of the 90 full time equivalent employees estimated by the Owner (" One Time Payment "). The payment shall be due on the date that is the thirty month anniversary of the initial Certificate of Occupancy for the Project. In the event that the certified statement indicates that the Project is employing less than the anticipated 90 full time equivalents employees, the Town shall not be required to refund any portion of the Mitigation Payment to Owner. The Owner may propose to mitigate any added employees by providing on-site or off site employee units as an alternative to the One Time Payment.	No change.
G.	Employee Housing Unit. The Employee Housing Restriction on one Unit in the Project is considered a public benefit and shall specifically provide that the Employee Housing Restriction does not terminate in the event of a foreclosure on such unit.	Tiara proposes to significantly expand the employee housing on Lot 109R while maintaining ongoing flexibility to change its type, size, and configuration. Tiara also proposes to provide common amenities for the use of employee residents of the Project, such as laundry and gathering facilities.

		<p>Toward those ends, Tiara would create a single condominium unit (the “Employee Housing Unit”) which would be subject to an employee housing restriction limiting the use of such condominium unit to employee apartments, employee dorms and related amenities for employees, but allowing the number and type to be changed from time to time (and allowing employee amenities within the Employee Housing Unit to be changed, expanded or eliminated) provided that in no event could the total density of uses within the Employee Housing Unit be less than 4 (one employee apartment and one employee dorm) or exceed 21 (the “Employee Housing Restriction”). The programming of the space within that Employee Housing Unit would be flexible and subject to change from time to time, subject in all events to the Employee Housing Restriction. The Employee Housing Restriction does not terminate in the event of a foreclosure on such unit.</p>
H.		<p>Tiara is proposing to reallocate 11 units of density from efficiency lodge and lodge unit designations to which they are currently allocated to employee apartment and employee dorm and, in addition, will require the Town to transfer to the Project 49 units of density from its density bank and/or create and allocate to Lot 109R 49 units of bonus density.</p>
I.	<p>Owner shall construct and make available to the general public, for at least 16 hours per day, 365 days per year, restrooms in the Project reflected in the Final PUD Plans that are accessible from the plaza and associated easements, without cost to the Town according to the terms and conditions of the Development Agreement. The Town and Owner shall meet and confer to establish opening times, which may vary seasonally.</p>	<p>Tiara shall grant and convey to the Town necessary and suitable easements or licenses for the benefit of the Town and general public to use the public restrooms to be installed in the Project pursuant to Section 7.2.5 of the Lot 109R PUD.</p>

J.	Owner shall construct certain " Plaza Improvements " reflected in the Final PUD Plans and shall maintain such Plaza Improvements according to the terms and conditions of the Development Agreement.	The Area of Plaza Improvements consists of two parcels: (1) a portion immediately adjacent to the south of Lot 109R (the "Lot 109R-Adjacent Plaza Area"), and (2) a parcel to the south of the Westermere project and adjacent to the pond near the Village Core (the "Westermere-Adjacent Plaza Area"). Since any improvements to the Westermere-Adjacent Plaza Area would likely be damaged or destroyed in connection with the development of Lot 161CR. Accordingly, Tiara proposes that, rather than Tiara making such improvements, at the time Tiara submits its application for a building permit, Tiara will deposit with the Town the estimated cost of the improvements to the Westermere-Adjacent Plaza Area, to be applied to the improvement of the Westermere-Adjacent Plaza Area by the Town or another party at the appropriate time for the making of such improvements. Tiara will improve those portions Lot OS-3-BR-2 within the Lot 109R-Adjacent Plaza Area, as reconfigured in accordance with Section II.B above and consistent with the new plans for the Lot 109R-Adjacent Plaza Area included in the Application, such area being indicated on the attached Exhibit H.
K.		Tiara proposes to construct pedestrian access improvements from Access Tract 89B to the Village Center.
L.		Tiara proposes to grant to the Town an easement for pedestrian access over the concrete pedestrian walkway that runs from Mountain Village Boulevard south through Lot 109R and into the plaza area to the east of Lot 108. There is currently no easement in place for those improvements.
M.		Tiara proposes to make improvements to OS-3-BR-2 to provide access by emergency vehicles from Mountain Village Boulevard to the Plaza.

N.		Tiara proposes to replace the existing Trash Facility on Tract OS-3BR-2 with an enhanced facility to accommodate trash from the Village Core.
O.	The Owner shall construct, and convey to the Town 48 parking spaces in the project according to the terms and conditions of the Development Agreement. Following conveyance of the 48 parking spaces, the Town may elect, in its sole and absolute discretion, to sell, lease, or further convey the 48 parking spaces.	The increased size and density of the Employee Housing Unit requires significantly more parking than was previously contemplated and so Tiara proposes to convert the 48 parking spaces that would have been conveyed to the Town to parking serving the Employee Housing Unit and other community benefits.
P.	The Owner will improve the Westermere Breezeway and the associated path through such breezeway in substantial accordance with the Final PUD Plans, provided that the Westermere HOA has provided its written authorization and consent to such work on commercially reasonable terms and conditions and within thirty days following Owner's submission of its request for such authorization. The Owner shall submit the authorization and consent to the Town with its application for the building permit. If the Westermere HOA fails to provide the authorization and consent in form, content or timeframe contemplated by this Resolution, the Owner shall be fully released from its obligation to improve the facade and the associated walkway as shown on the Final PUD Plans.	No change.
Q.	The Owner shall construct two conference rooms in the Project, in general accordance with the Final PUD Plans, which shall be available for use by owners and guests in the Project and non-owner guests according to the terms and conditions of the Development Agreement.	Tiara will construct one conference room in the Project which will be dividable into three or four smaller rooms by industry standard dividers. The plans for the Project approved as part of the 2011 Lot 109R PUD contemplated those conference facilities being on the plaza level. Tiara will move the conference facilities up to level 6 of the Project with a view of

		the Village Center. The conference rooms be offered for market rent at rates comparable to those charged for facilities of a comparable quality, located in an upper floor (6th floor or above) of the building in which they are located, with views comparable to those available from the proposed conference facility in the Project, and in similar caliber resort communities. The Development Agreement requires the conference rooms to be available for rental in concert with other conferences or special events occurring in the Town when not booked for other functions. Tiara desires to clarify that the Conference Center shall be available under such circumstances for rental at Market Rates.
R.	Commercial SF totaling 21,164 sf	Tiara proposes to include in the Project commercial density totaling 26,468 to accommodate a spa, restaurant, and other commercial benefits.
S.	In order to utilize the tandem parking spaces shown on the Final PUD Plan, the Owner or condominium association shall provide 24 hour per day valet parking services for the tandem parking spaces by providing attendants who receive, park and return vehicles to owners and guests as further detailed in the Development Agreement	Tiara's proposed plan for the Project does not include any tandem parking spaces.
T.	The owners association for the Project shall be responsible for removing and/or relocating snow from the south side of upper Mountain Village Boulevard to allow for adequate snow storage for plowing of upper Mountain Village Boulevard	No change.

CONCEPTUAL DESIGN NARRATIVE

Lot 109R Telluride Mountain Village According to the Replat of Lots 73-76R, 109, 110, Tract 89-A and Tract OS-3BR-

1

April 20, 2022 Revised from April 04, 2022 in response to: 109R Major PUD Amendment Compliance Communication

This design narrative addresses the architectural building of DRB requirements in line with the existing PUD and new PUD application. As a development team, we had numerous iterations of the design in order to both create a timeless building, and one that conforms to the natural elements and environment of Mountain Village.

Section 17.5.6.A Building Design

17.3.12 Building Height

The planar method for calculating building height results in a non-compliance of the code. We are requesting a variation due to the unique architecture. The building steps back and the highest most strict part of the roof is beyond in the vast majority of elevations. We are requesting a variation from the previously approved PUD.

17.3.22 Right of way and town

1. For any new development on a privately owned lot that includes ancillary and associated improvements proposed to be located on or projecting into and/or over right-of-way or Town-owned access tracts, the review authority shall first review, and if approved, require the lot owner to enter into a Revocable Encroachment Agreement with the Town that includes indemnification for the Town from liability that may arise from such encroachments.

The south side of the property on the public courtyard has an awnings over the retail entries which provide shade and protection from the weather. These elements project over the property line. A diagram has been included in the PUD Amendment request.

17.3.11.C.2 Method for Measuring the Average Building Height.

1. The Average Building Height shall be measured from the natural grade or the finished grade, whichever is more restrictive, to the point on the roof plane midway between the eave and the highest point on the rooftop, roof ridge, parapet or topmost portion of the structure. An average building height calculation is produced for each of the four (4) architectural elevations. The four (4) height calculations are then averaged to derive the Average Building Height.

17.3.15 Hotel Regulations

Hotel regulations will be complied with.

17.3.22 Right of way and town

If applicable, per previously approved PUD.

17.5.5 Building Siting Design

Mountain Village Road is immediately adjacent to the property line. There is only one sidewalk at the existing pedestrian underpass. In response to the confined site we are integrating a snow melt system as constraints do not allow for storage of snow that could accumulate from snow plowing.

17.5.15

17.5.15.A. Plaza Use Design Regulations.

1. Purpose and Intent. The exterior surface uses of the plaza areas shall be carefully designed for the enjoyment of the public with outdoor dining and seating areas, vending apparatuses, ski and bike racks, media racks and other plaza uses contributing to the character and feel of the plaza areas. The design of plaza uses, therefore, shall be carefully considered. The Plaza Use Design Regulations are intended to establish design regulations for plaza uses on the plaza areas.

2. Applicability and Plaza Use Standards.

a. The Plaza Use Design Regulations are applicable to any person or entity conducting a plaza use on a plaza area.

b. All uses on plaza areas shall require the review and approval of the Planning Division pursuant to the Design Regulations and the Town Plaza Use Design Standards ("Plaza Use Standards").

c. The Town may amend the Plaza Use Standards without an amendment to the Design Regulations. Such amendments shall require a recommendation from the DRB and final action by Town Council. The DRB's review and Town Council action on amendments to the Plaza Use Standards shall be adopted by resolution and shall, prior to adoption, require public notice by the placement of an advertisement on the Town website.

3. Review Process. Plaza use development applications shall follow the class 1 application process.

4. Criteria for Decision.

a. The following criteria shall be met for the review authority to approve a plaza use development:

i. The plaza use meets the Plaza Use Design Regulations;

ii. The plaza use meets the Plaza Use Standards;

iii. The plaza use meets the applicable Design Regulations; and

iv. The plaza use meets all applicable Town regulations and standards.

b. It shall be the burden of the applicant to demonstrate that submittal material and the proposed development comply with the criteria for decision.

5. General Standards.

a. Compliance with Plaza Use Standards. Site furniture and fixtures in the Village Center shall be designed, installed, operated and maintained in accordance with the Plaza Use Standards.

b. Maintenance of Plaza Areas. All plaza uses and associated plaza areas (pavers, etc.) shall be maintained by the plaza use operator and kept clean and in good repair. This includes but is not limited to the removal of snow and the replacement of damaged pavers or other plaza improvements in the plaza area caused by the plaza use operator. Such maintenance requirement shall be set forth in the required plaza use license agreement.

Vault Design

c. Non-Obstruction. Plaza uses shall be placed so as to not obstruct or impede fire access routes, pedestrian ways, general building ingress and egress or pedestrian flow through the plaza areas.

6. Outdoor Dining and Seating Area Standards. The size, quantity and location of the outdoor dining and seating area shall be relative to the size of the business establishment, its frontage and the immediately adjacent plaza area.

a. Solar access should be considered in locating outdoor dining and seating areas such as sunny, sheltered pockets that take advantage of solar access.

The interior parklike setting of the courtyard is well shaded.

b. Snow shed from the adjacent building(s) shall also be considered when locating outdoor dining and seating areas.

The courtyard has snowmelt incorporated and will allow for the adjacent buildings snow shed.

c. Outdoor dining and seating areas may be expanded from time to time for Town-approved special events.

Fixed built in benches are being proposed in the courtyard design.

d. Placement of tables shall be limited to the specified outdoor dining and seating area within an exclusive premise or within the boundaries of a valid resort-complex liquor license and as described and depicted within the license agreement as required.

e. The Town may set hours of operation, limitations on amplified music and similar measures to ensure there are no adverse impacts to residents and guests.

f. Furniture placed by a business for the intention of serving liquor shall have a defined barrier unless the business holds a valid resort-complex liquor license and the edge of the resort complex is clearly identified by a review authority-approved barrier or signage designed in accordance with the Plaza Use Standards. This barrier may be created through the placement of planters, pots, benches, bollards, stone walls and other elements in accordance with the Plaza Use Standards.

g. Any outdoor dining and seating area shall provide screening for any appliance or accessory use associated with food and beverage service such as cash register, warming trays, coffee burners, etc., unless the review authority approves an alternative plan. Such appliances and accessories shall be brought indoors following the close of each business day.

h. The review authority may approve the installation of structures or other improvements in outdoor dining and seating areas that are not outlined in the Plaza Use Standards provided the review authority finds that such structures are in accordance with the basic architectural theme of the Village Center or other plaza areas, and that the public health, safety and welfare will be protected.

The proposed design includes outdoor seating integrated in the landscape. The benches will be heating and of a Corten steel finish.

7. Outdoor Display of Merchandise. Outdoor display of merchandise is permitted without Planning Division approval subject to such display meeting the Plaza Use Standards and shall be required to be removed at the close of each business day.

Vault Design

8. Utility Use on a Plaza Area. In the event a plaza use requires the use of an electric utility on a Town plaza area, an applicant shall apply to the Town for the use of the utility. If use of the utility is approved by the Town, the required license agreement shall ensure that the applicant shall pay for the electricity used in connection with the plaza use.

Utility usage planned will be finalized at Final Approval submittal.

B. Storefront Design.

1. Storefront Design.

a. Commercial frontages shall create an identity for the activity within the commercial space while contributing to a visually exciting and cohesive plaza scene. Individual tenant frontages shall have expressive and imaginative design within the overall architectural context of the associated building. "Catalogue" or stereotyped storefronts within the Village Center are prohibited. All commercial storefront alterations and new construction shall require the review and approval of the review authority.

We are proposing glass garage doors with storefront. The ability to open the interior spaces to exterior during warmer months will morph and transform a typical retail space into an outdoor experience.

b. Development and redevelopment within the Village Center shall create pedestrian interest through the articulation of architectural features such as bay windows, balconies, arcades and dormers. The ground or pedestrian level shall be defined with textural elements and color that strengthen the scale and character of the resort.

We are proposing a design that will articulate architectural features with texture and design that are more current than bay windows. The final design will propose textural elements that provide visual relief, interest and direct one's eye up and through the building.

c. Window boxes and hanging baskets shall be incorporated into the design to add color, life and dimension to building fronts and window definition. Size and shape shall be relative to the building scale while proper clearance for pedestrians is allowed.

The proposed design integrates built in planter boxes with sustainable xeri-scape and irrigation in lieu of window boxes.

d. Details of the storefront such as door and window hardware and light fixtures shall be fabricated from quality materials such as brass, copper, bronze, hardwoods and etched or leaded glass.

The proposed design incorporates dark bronze.

e. Retail, commercial storefronts shall be clearly distinguishable from upper floors of a building.

The proposed design integrates storefronts. Since the building is comprised of commercial, hotel, and condos integrating storefront throughout is in line with the architecture. However, the ground floor integrates glass garage doors in addition to the typical storefront.

We have distinguished the upper floors separating them from the ground floor retail space with built in stone veneer planter boxes, and corten steel finish vertical louvers.

Vault Design

2. Color Selection. While overall building color palettes are encouraged to be muted tones taken from the natural surroundings, the storefronts shall use rich and expressive colors that stand out from their background. These storefront facades shall be designed as distinct individual entities that relate to the business and are distinguished by architectural detail and creative application of color.

3. Windows.

- a. Window openings and trim shall be consistent in proportion and scale with the associated building.
- b. The commercial storefront shall be designed with predominantly transparent glass but may include a small percentage of opaque materials.
- c. Window trim shall vary in detailing and color while still being compatible with the overall architecture of the building.
- d. Attention shall be paid to operable windows so as not to protrude into or obstruct pedestrian ways when in the open position. Operable windows may need to be recessed or sliding to avoid this occurrence.

4. Lighting.

- a. In general, lighting within commercial areas shall originate within the storefront windows and not be dependent on freestanding light fixtures. Direct light sources should be used only for accent of architecture, landscape, artwork or for the definition of entries and walkways consistent with the Lighting Regulations.
- b. Window displays within storefront windows shall be illuminated so as to provide an indirect glow of light onto adjacent pedestrian walkways and plazas. Harsh light and glare from storefront windows or interiors shall be avoided.
- c. Interior lights shall be baffled so that the light source shall not be seen from pedestrian areas.
- d. Town-approved lights with a minimum correlated color temperature of 2,400K and a maximum correlated color temperature of less than 3,000K shall be used to light storefronts. With all lighting types, extreme care shall be taken to avoid glare and color distortion. Flashing, blinking or moving lights shall not be used in storefronts. Colored lighting and projector lighting of the interior of a storefront may be used for storefronts and displays with specific approval from the review authority.

5. Vacant, Ground Level Commercial Space.

a. Owners of vacant, ground level commercial spaces within the Village Center are required to provide a decorative window display that masks the vacant interior from public view. Creative, colorful and varied window displays stimulating pedestrian interest that define the spirit and intent of the commercial space are encouraged.

b. Window displays for vacant, ground level commercial space within the Village Center requires the approval of the review authority pursuant to the class 1 application development review process.

c.

C. Odor Control and Outdoor Barbeques and Grills.

Vault Design

1. Due to the mixed-use nature of the Village Center, odor created from food service establishments that may conflict with residential uses is prohibited. Trash areas, grease trap clean-outs and restaurant vents shall be located away from pedestrian flow and residential entrances and windows to the extent possible.
2. Outdoor barbecues or grills are prohibited for use in commercial operations within the Village Center and plaza areas with the exception of (1) Town-approved special events provided, however, the outdoor barbeque(s) or grill(s) are approved as part of the special event application or (2) a barbeque integrated into a vending apparatus approved by the Town's plaza vending committee.

The proposed courtyard design is requesting the incorporation of "earth ovens using one of the most ancient of cooking method techniques – pit cooking". This will encourage gathering and create an additional element of intrigue experienced in the courtyard.

D. Noise Control.

1. The mix of residential, commercial and entertainment facilities within the Village Center creates an active and vital environment that will generate noise, light and activities. To the extent possible, any Town-approved plaza use shall mitigate excessive impacts beyond normal plaza use.
2. Entries and windows shall be designed to limit noise escaping into the plaza area or immediately adjacent outdoor spaces. Nightclubs and other entertainment establishments shall be sound insulated from tourist accommodations or residential uses.

17.5.6.A Building Form

The proposed design is comprised of a stepped structure with receding balconies like tiered alpine mountain terrain. The form is a deviation from Planters surround the balconies and wrap the perimeter which will provide a landscaped appearance reflective of the natural surroundings. The curved/elliptical shape allows for a more sculptural, organic and horizontal structure, to minimize the visual impact of a new building.

No stucco is incorporated into our design. The windows and doors are inset into the stone base.

17.5.6.C.1 Roof Design Elements

- a. The roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets.

The architectural design is out of compliance with the varied sloped plane requirements and varied ridgelines and vertical offsets. We are proposing a unique roof with a small pop up and an architectural feature over the pool deck which carries ones eyes outward and then up to the sky.

- e. Roof ridgelines shall, where practicable, step with the topography of the site following the stepped foundation.

The majority of the roof is a horizontal continuous feature. We have deviated from this requirement by incorporating steps into the architectural floors rather than roof ridges.

The proposed roof design complements the tapered stepped balconies. The roofline separates as if pulling away from the mass and opens to the sky above where the pool deck is situated. The flat roof allows for integration of a large solar array with non-reflective glass. The upper penthouse roof peaks above the main roof and provides one last nod to a mountain top.

The proposed design will integrate a snow melt system.

17.5.6.C.2 Roof Drainage

Vault Design

b. All development within the Village Center shall be required to provide an integral guttering system designed into the roof or other DRB approved system of gutters, downspouts and heat-tape to contain roof run-off.

The design intent is to incorporate architectural fascia at the roof perimeter and direct water to internal downspouts routed to the exterior walls and then daylight at non-pedestrian walkways or be hard piped to storm water. The proposed design will integrate a snow melt system and internal roof drains. A schematic design has been provided and final roof drainage will be provided at final submittal.

17.5.6.C.3.v Roof Material

v. Synthetic roofing material that accurately emulates wood shake, concrete and slate tile or any other roofing material permitted or existing in Mountain Village.

The previously approved PUD incorporated tile roofing. We are proposing a synthetic "Class A" membrane roof assembly. Synthetic roofing is compliant with CDC acceptable materials but does not match previously submitted PUD roofing materials.

17.5.6.d The following roofing material outside of the Village Center shall be approved by the DRB as a specific approval that is processed as a class 3 development application if the DRB finds the roofing material is consistent with the Town design theme and the applicable Design Regulations:

The previously approved PUD did not incorporate solar. We are proposing non-reflective solar to offset energy use.

e. Village Center roofing material will require a class 3 development application and building specific design review. The following roof materials shall be approved by the DRB if the DRB finds the roofing material is consistent with the Town design theme and applicable Design Regulations:

Per comments on 17.5.6.C.3.v we are proposing a charcoal synthetic roofing in lieu of the standard options. This is a deviation from previously approved PUD.

17.5.6.C.3.i. In the Village Center, all exposed metal flashing, gutters, downspouts and other roof hardware shall be copper except when structural requirements dictate the use of stronger materials such as for snow fences. The DRB may grant specific approval to allow for metal flashing, gutters, downspouts and other roof hardware as long as its contextually is compatible in design, color, theme, material and durability as the approved roofing materials.

17.6.6.B Driveway Standards.

1. Driveway Allowance. A driveway may provide access for up to a maximum of three (3) single-family dwellings, or may also be used to provide access to a parking garage or any allowed surface parking lot serving multifamily, mixed-use, commercial or other development containing three or fewer buildings only one (1) lot directly from the main roadway.

a. All other development shall only use a roadway to serve access per the roadway standards.

2. Driveway Width.

a. For driveways that service three (3) or fewer single-family dwellings, the minimum paved drive surface width shall be twelve feet (12') for driveway lengths less than 150 feet. Driveway lengths exceeding 150 feet which service three (3) or fewer single-family dwellings shall have a minimum paved surface of sixteen feet (16'). Shoulders may be required by the Fire Code.

b. For driveways that service multifamily, mixed-use, commercial or other development, the paved drive surface width shall be no less than twenty feet (20') with two foot (2') shoulders on each side.

Vault Design

- i. Shoulders shall be constructed of concrete drainage pans or other review authority approved material that is compacted to withstand a twenty (20) ton load minimum. The shoulders shall pitch two (2%) percent grade from the edge of the edge of the twelve (12') foot driveway.
- ii. Drainage pans are not required where a driveway is a drive aisle in a parking lot with the minimum width of such drive aisle twenty-four (24') feet.

The driveway access to the parking garage is 24' wide and also contains drainage pans.

3. Driveway Construction. Driveways shall be designed and constructed in accordance with the specifications shown in Figure 6-4.

4. Maximum Grade. Driveway grade shall not exceed eight percent (8%) except:

a. Garage entrances, parking and required fire apparatus turnaround areas shall not exceed five to six percent (5% – 6%) grades without specific approval from the review authority in consultation with the Telluride Fire Protection District and Public Works Department.

i. If driveways grades for such areas are approved greater than five to six (5% – 6%) percent, then the review authority may require that a snowmelt system be incorporated into the driveway design.

b. The maximum driveway grades shall not exceed five percent (5%) for the first twenty (20') feet from the edge of the public roadway or access tract.

c. Transitional sections not exceeding 500 feet may be allowed a maximum of ten (10%) percent if approved by the Town in consultation with the Fire Marshal. Transitional sections exceeding eight (8%) percent shall not be within 500 feet of each other. Curves with a centerline radius of less than 250 feet shall not exceed eight (8%) percent.

d. Transitional sections may be allowed a maximum grade up to twelve (12%) percent providing all residences are equipped with an approved fire sprinkler system meeting the Fire Code.

e. Curves with a centerline radius of less than 250 feet shall not exceed eight percent (8%) grade.

Vault Design

Material type typical will be copper. For the roof fascia we are proposing a color combination of black, dark bronze, and a wood look metal soffit in lieu of a copper finish. The materials may not be available in copper but will be of a durable quality.

17.5.6.C.4.d Raised planters, retaining walls or similar landscape features shall be used to direct pedestrians away from any snow or ice shed areas and shall be required where a potential volume of snow shed or an especially hazardous area exists due to the height and slope of the roof aspect and similar site-specific considerations.

We are in compliance with this section. The edge of the building tapers and the landscaping will keep pedestrians on a path away from potential hazards.

17.5.6.E.4 The primary exterior wall finish in the Village Center shall be stucco with a minimum use of twenty-five percent (25%) stone and a maximum of twenty percent (20%) wood as an exterior wall material.

We are requesting a variation from this requirement. The proposed design incorporates the towns allowable stone veneer with some metal panels with a Corten steel finish. We are requesting the requirement of 25% minimum of stucco be removed from the design requirement. The proposed design is a deviation from the previously approved PUD which included stucco.

17.5.6.I.1

Decks and balconies shall be designed to enhance the overall architecture of the building by creating variety and detail on exterior elevations. Combinations of covered decks, projecting balconies and bay windows shall be used.

We are requesting removal of the requirement to incorporate bay windows as this requirement negatively impacts the architecture.

2. Long, continuous bands of balconies are prohibited.

Our balconies will likely be viewed as long and continuous; however, we are incorporating privacy dividers to break them up. We have further broken up the architecture with columns and planters which conceal the balconies and provide additional privacy. We are requesting we be allowed the balconies as incorporated in the proposed design as it would negatively affect the architecture and the project to reduce access to views and an experience of outdoor access via large balconies.

17.5.6.B Exterior Wall Form

1. Tiered and tapered stone walls anchor the structure to the natural environment. Metal accents and panels mimic weathered steel and the rich rust colors acknowledge the mountain environment. The mass of the walls start heavy and thick and provides relief from too much verticality. Windows are set back from exterior walls on the stepping balconies. Although the stone base of the walls are tapered, we believe they are in compliance with the town's requirements.

2. The existing site is connected via a pedestrian walkway that runs under Mountain Village Blvd. In order to keep the existing walkway from Sea Forever Village to the Village Core we integrated the building form and massing around the access. Once through the access way, the pedestrian circulation opens to the plaza. Benches will be provided throughout the courtyard inviting pedestrian interaction. The retail and market space accessed from the interior courtyard encourages additional pedestrian activities.

Vault Design

The circulation has been maintained and improved with stone pavers, trees, landscaping, and a winding organic path that wraps around the southwest side of the building connecting back to Mountain Village Blvd.

17.5.6.C.1 Roof Design Elements

a. The roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets.

The architectural design is out of compliance with the varied sloped plane requirements and varied ridgelines and vertical offsets. We are proposing a unique roof with a small pop up and an architectural feature over the pool deck which carries ones eyes outward and then up to the sky.

e. Roof ridgelines shall, where practicable, step with the topography of the site following the stepped foundation.

The majority of the roof is a horizontal continuous feature. We have deviated from this requirement by incorporating steps into the architectural floors rather than roof ridges.

17.5.6.C.2 Roof Drainage

b. All development within the Village Center shall be required to provide an integral guttering system designed into the roof or other DRB approved system of gutters, downspouts and heat-tape to contain roof run-off.

The design intent is to incorporate architectural fascia at the roof perimeter and direct water to internal downspouts that will be routed to down the exterior walls and then daylight at non-pedestrian walkways.

17.5.6.C.3.v Roof Material

v. Synthetic roofing material that accurately emulates wood shake, concrete and slate tile or any other roofing material permitted or existing in Mountain Village.

The previously approved PUD incorporated tile roofing. We are proposing a synthetic "Class A" membrane roof assembly.

17.5.6.C.3.i. In the Village Center, all exposed metal flashing, gutters, downspouts and other roof hardware shall be copper except when structural requirements dictate the use of stronger materials such as for snow fences. The DRB may grant specific approval to allow for metal flashing, gutters, downspouts and other roof hardware as long as its contextually is compatible in design, color, theme, material and durability as the approved roofing materials.

Material type typical will be copper. For the roof fascia we are proposing a color combination of black and dark bronze in lieu of a copper finish. The materials may not be available in copper but will be of a durable quality.

17.5.6.C.4 Pedestrian Protection

The covered Porte Cochere protects residents and guest from harsher winter months. The building embraces the existing pedestrian walkway connection which will provide additional shelter when meandering through the site. Proposed landscape path design directs pedestrians centrally away from building edges. The tapered walls recede from the building perimeter which further protects pedestrians from potential overhead hazards.

17.5.6.D.1 Chimneys, Vent and Rooftop Design

The chimney form is carried from the ground up comprised of the stone massing and tapers mimicking the other tapered forms of the building for a cohesive design.

Vault Design

We are focused on limiting rooftop equipment on the roof, however, if required, it will be properly screened and set back from the exterior of the building. The screened enclosure will be metal and of the same finish as other metal forms on the building.

17.5.6.d The following roofing material outside of the Village Center shall be approved by the DRB as a specific approval that is processed as a class 3 development application if the DRB finds the roofing material is consistent with the Town design theme and the applicable Design Regulations:

The previously approved PUD did not incorporate solar. We are proposing non-reflective solar to offset energy use.

e. Village Center roofing material will require a class 3 development application and building specific design review. The following roof materials shall be approved by the DRB if the DRB finds the roofing material is consistent with the Town design theme and applicable Design Regulations:

Per comments on 17.5.6.C.3.v we are proposing a charcoal synthetic roofing in lieu of the standard options.

17.5.6.E Exterior Wall Materials

The proposed design exceeds the DRB minimum 35% stone requirement. The stone steps with the building levels and transitions to rust metal panels and wood columns.

17.5.6.E Exterior Color

The proposed design pallet is comprised of cream-colored stone, rust color metal panels like reminiscent of weathered steel, wood timber columns, charcoal grey roofing, black fascia, bronze window mullions and accents.

17.5.6.E.4 The primary exterior wall finish in the Village Center shall be stucco with a minimum use of twenty-five percent (25%) stone and a maximum of twenty percent (20%) wood as an exterior wall material.

We are requesting a variation from this requirement and the previously approved PUD. The proposed design incorporates the towns allowable stone veneer with some metal panels with a Corten steel finish. We are requesting the requirement of 25% minimum of stucco be removed from the design requirement.

17.5.6.G Glazing

The proposed design addresses solar gain at the lower levels with sliding screens of vertical louvers. The exterior walls step back providing additional protection from too much solar gain and windows are partially screened with fixed vertical louvers comprised of rusted metal reminiscent of weathered steel. The horizontal ribbons of typical hotel and apartment windows which can lack imagination is interrupted with screened elements comprised of vertical louvers providing privacy and a playful rhythm across the façade conducive to nature.

Previously approved windows were painted aluminum. We are proposing a Kawneer finish or similar thermally broken aluminum storefront.

17.5.6.I Decks and Balconies

Decks and balconies shall be designed to enhance the overall architecture of the building by creating variety and detail on exterior elevations. Combinations of covered decks, projecting balconies and bay windows shall be used.

Vault Design

We are requesting removal of the requirement to incorporate bay windows as this requirement negatively impacts the architecture.

The proposed design for decks and balconies provides a variety of details. The sixth floor pool deck is reminiscent of standing at a cliffs edge provides clear access to the surrounding views.

2. Long, continuous bands of balconies are prohibited.

Our balconies will likely be viewed as long and continuous; however, we have broken up the architecture with columns and planters which conceal the balconies and provide additional privacy. Balconies are further screened from each other with full height privacy screens. We are requesting we be allowed the balconies as incorporated in the proposed design as it would negatively affect the architecture and the project.

17.5.8.C.3 Parking Regulations

Aisle Width. The driveway and aisle width for either surface lots or parking garages shall be twenty-two feet (22').

We are requesting approval of a reduction of this requirement to 18' as needed for ramp to G1A and and G1A circulation. Fire Marshal approval has been provided.

17.5.12

We are requesting approval of the proposed exterior lighting at the northern façade which is intended to give off a warm soft glow, but is not a full cut off light as it is intended to be a gas torch.

17.5.8.C.3 Parking Regulations

Aisle Width. The driveway and aisle width for either surface lots or parking garages shall be twenty-two feet (22').

We are requesting approval of a reduction of this requirement to 18' as needed for ramp to G1A and and G1A circulation. Fire Marshal approval has been provided.

17.3.11.E Building Height

The planar method for calculating building height results in a non-compliance of the code. We are requesting a variation due to the unique architecture. The building steps back and the highest most strict part of the roof is beyond in the vast majority of elevations.



GENERAL
G000 COVER SHEET

CIVIL
C2.1 GARAGE ACCESS PROFILE
C2.3 SNOWMELT PLAN

LANDSCAPE
L-100 LANDSCAPE NOTES
L-101 LANDSCAPE SCHEDULES
L-103 CONCEPTUAL LANDSCAPE PLAN
L-104 LANDSCAPE DETAILS
L-105 HARDSCAPE PLAN
L-106 HARDSCAPE DETAILS

ARCHITECTURE
A1.11 TRASH ENCLOSURE

A-0.00 ARCHITECTURAL SITE PLAN
A-0.01 PERSPECTIVE RENDERINGS
A-0.02 PERSPECTIVE RENDERINGS
A-0.03 PERSPECTIVE RENDERINGS
A-0.04 PERSPECTIVE RENDERINGS
A-0.05 PERSPECTIVE RENDERINGS
A-1.01 FLOOR PLAN - LEVEL G2 - OVERALL
A-1.02 FLOOR PLAN - LEVEL G1 PLAZA - OVERALL
A-1.03 FLOOR PLAN - LEVEL 1/G1A PARKING - OVERALL
A-1.04 FLOOR PLAN - LEVEL 1 MEZZANINE - OVERALL
A-1.05 FLOOR PLAN - LEVEL 2 - OVERALL
A-1.06 FLOOR PLAN - LEVEL 3 - OVERALL
A-1.07 FLOOR PLAN - LEVEL 4 - OVERALL
A-1.08 FLOOR PLAN - LEVEL 5 - OVERALL
A-1.09 FLOOR PLAN - LEVEL 6 - OVERALL
A-1.10 FLOOR PLAN - LEVEL 7 - OVERALL
A-1.11 ROOF
A-1.12 AVERAGE HEIGHT PLAN
A-1.13 MAX HEIGHT PLAN
A-2.01 NORTHEAST & EAST ELEVATIONS
A-2.02 SOUTHEAST & WEST ELEVATIONS
A-2.03 3D MAX HEIGHT WITH EXISTING TOPO
A-2.04 3D MAX HEIGHT WITH PROPOSED TOPO
A-2.11 EXTERIOR ELEVATION - MATERIAL
A-2.12 EXTERIOR ELEVATION - MATERIAL
A-2.21 EXTERIOR ELEVATION SNOW MELT STUDY
A-2.22 EXTERIOR ELEVATION SNOW MELT STUDY
A-2.23 TYPICAL DETAILS

SCOPE OF WORK

THE PROPOSED CONCEPT DESIGN IS COMPRISED OF HOTEL WITH EMPLOYEE HOUSING, APARTMENTS, AND CONDOS. THE COMMERCIAL SPACE INCLUDES RESTAURANT, SPA, RETAIL SPACE, SPEAKEASY AND WEDDING VENUE.

OWNER

TIARA TELLURIDE
450 S OLD DIXIE HWY
JUPITER, FL 33458

ARCHITECT

VAULT DESIGN, LLC
1440 W 8TH ST. #2309
GOLDEN, CO 80401

ENGINEER

UPCOMPAGHRE ENGINEERING, LLC
P.O.BOX 3945
TELLURIDE, CO 81435

LANDSCAPE

NORRIS DESIGN
409 MAIN ST. SUITE 409
DENVER, CO

VAULT DESIGN, LLC
1440 W 8TH ST #
2309
GOLDEN, CO 80401

Mountain Village Hotel
LOT 109R MOUNTAIN VILLAGE, CO

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Item	No.	Date	Description

LOT 109R MAJOR PUD
AMENDMENT 04.24.2022

STATE OF COLORADO
KATISA
LORD
401827
LICENSED ARCHITECT

SEAL

Project Number
JOB NO.

COVER SHEET

G-000

4/22/2022 12:40:22 AM



P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

Submittal	2022-03-04
Submittal	2022-04-15

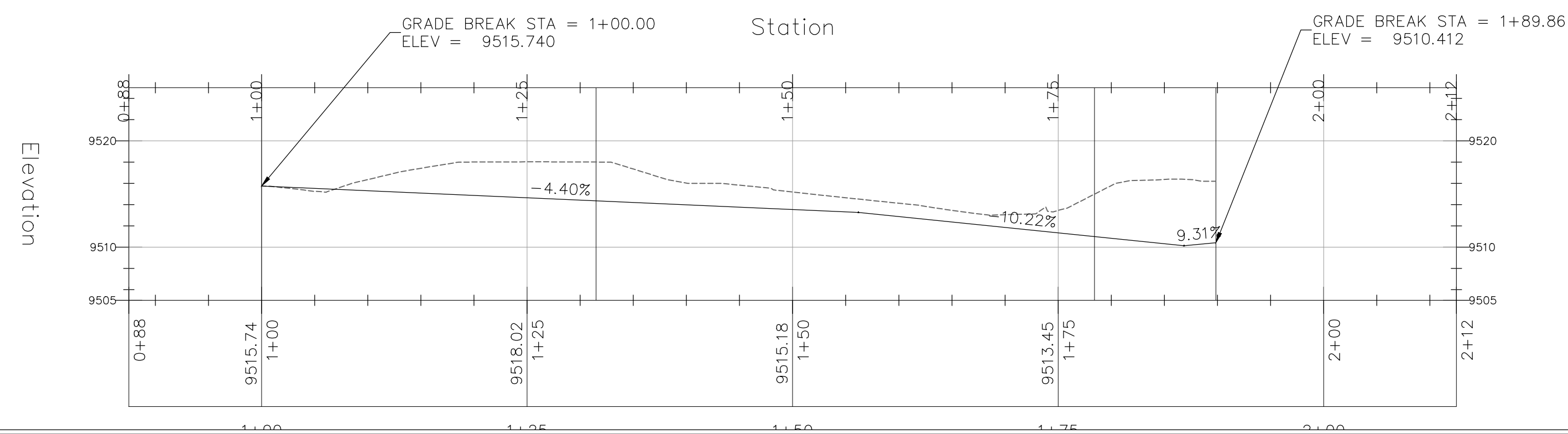
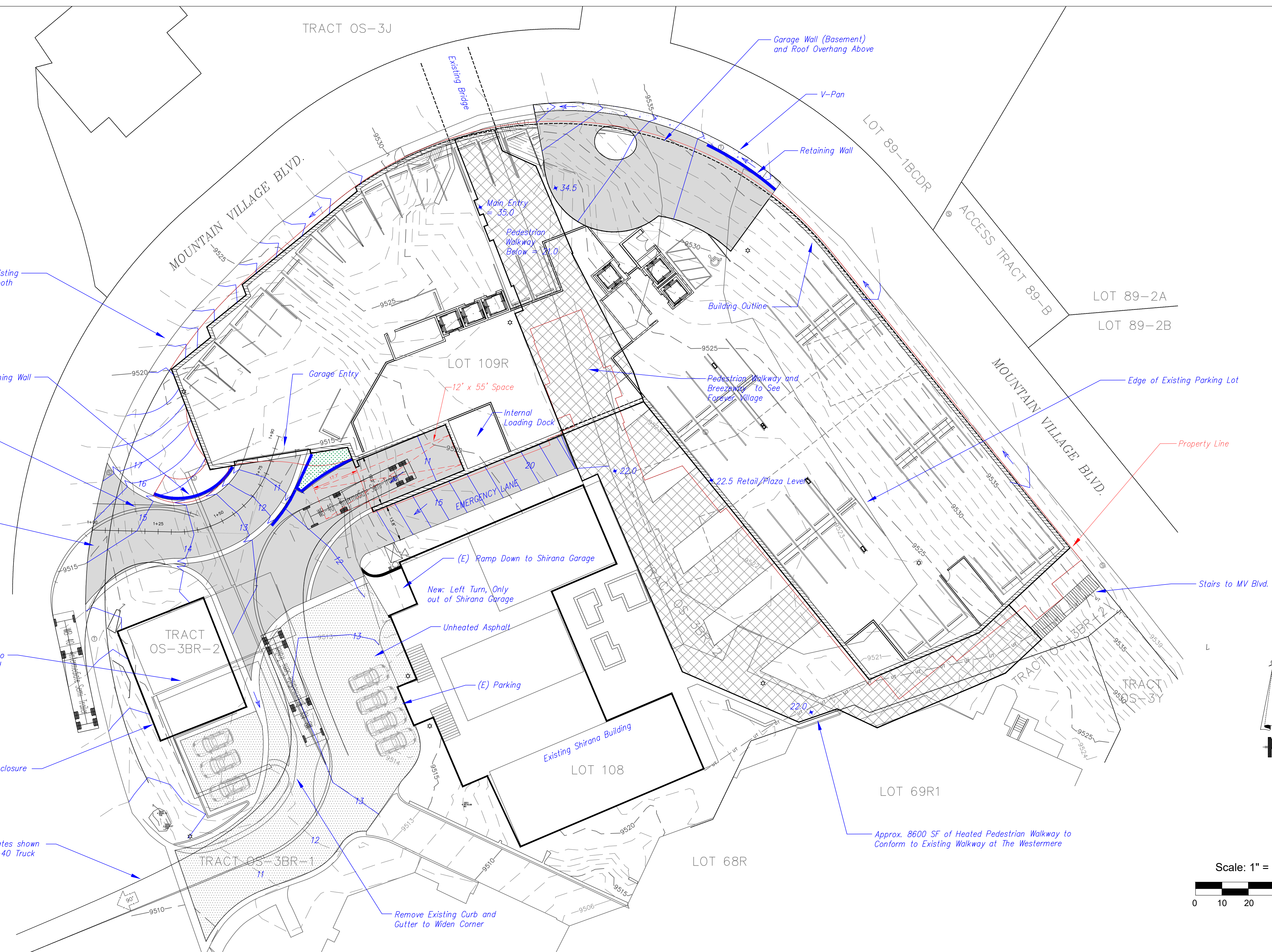
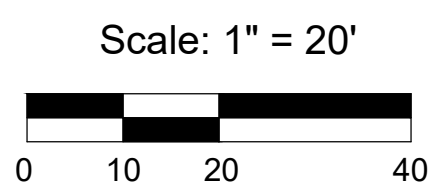
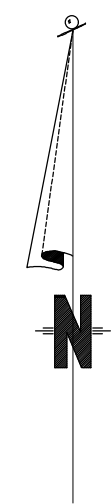
Lot 109R
Mtn. Village, CO

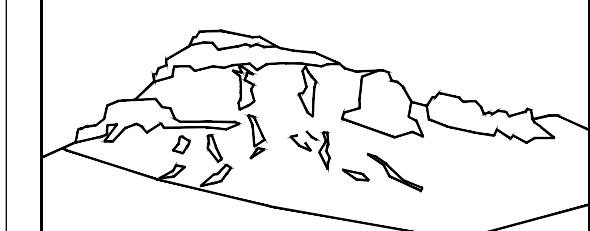
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Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

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Lot 109R
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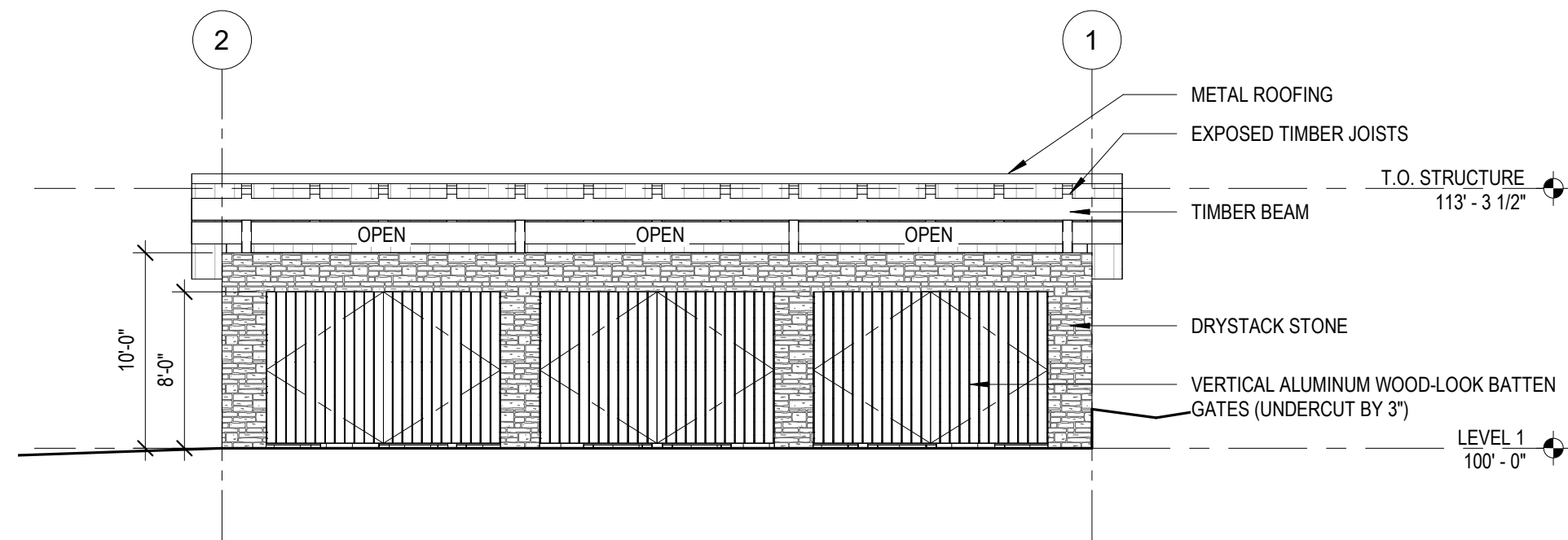
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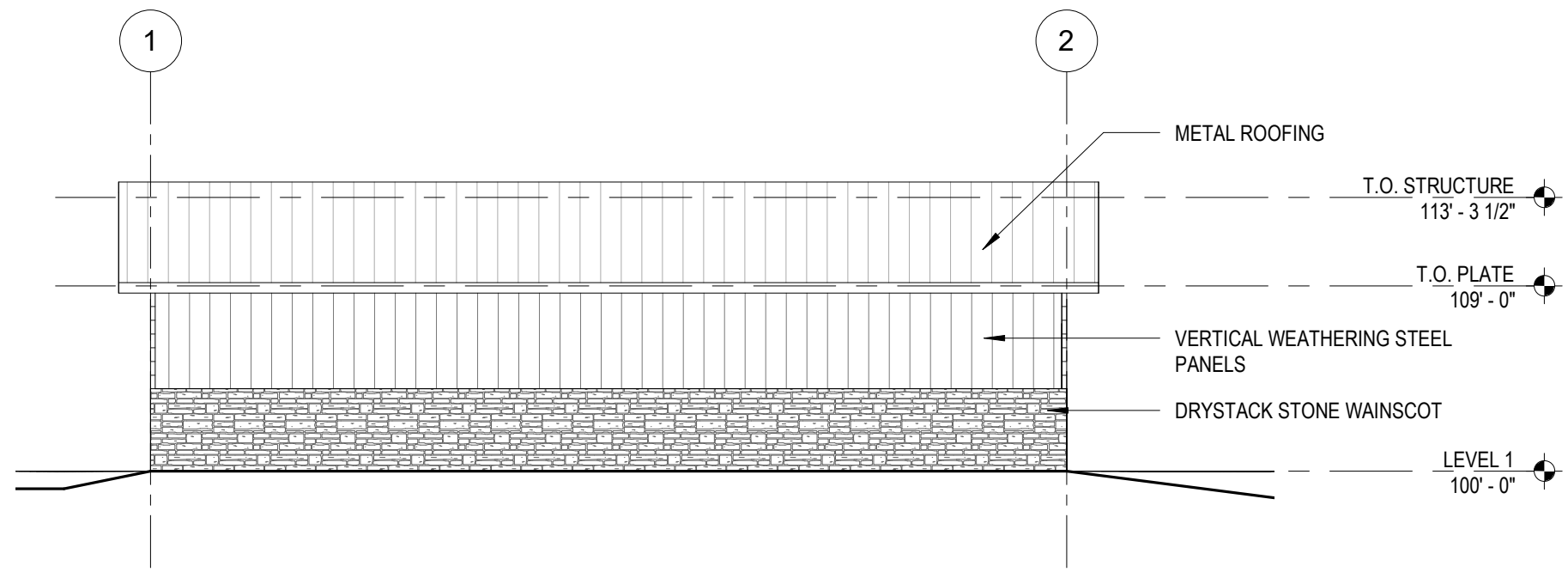
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Snowmelt
Exhibit

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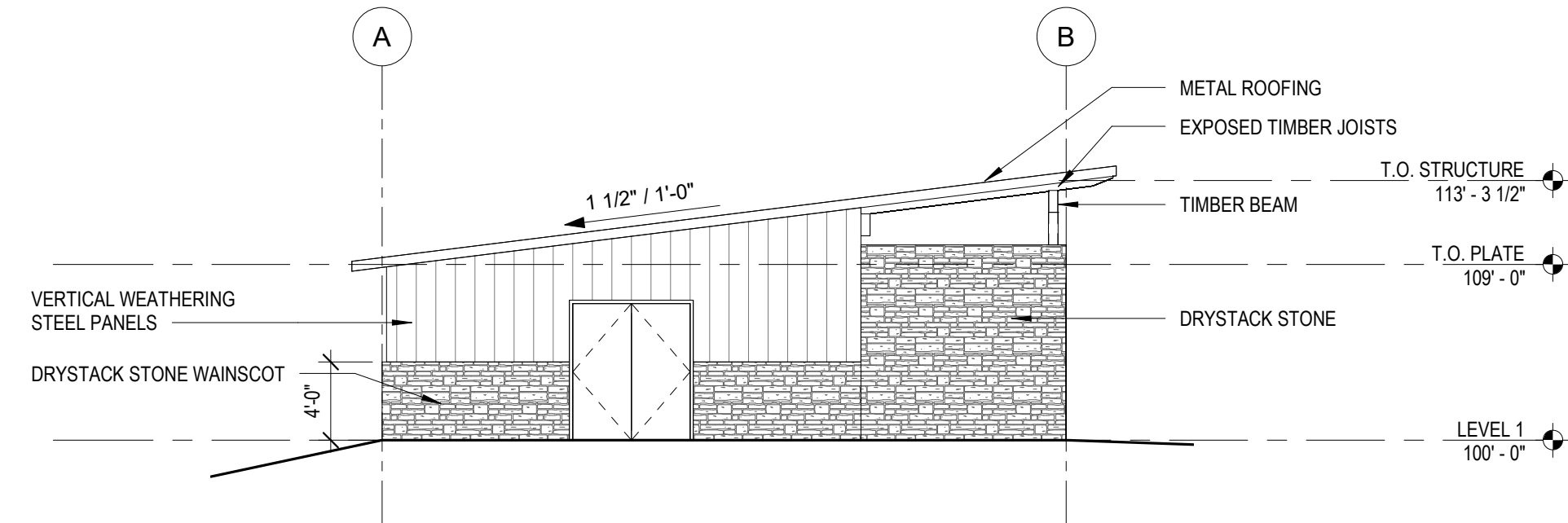
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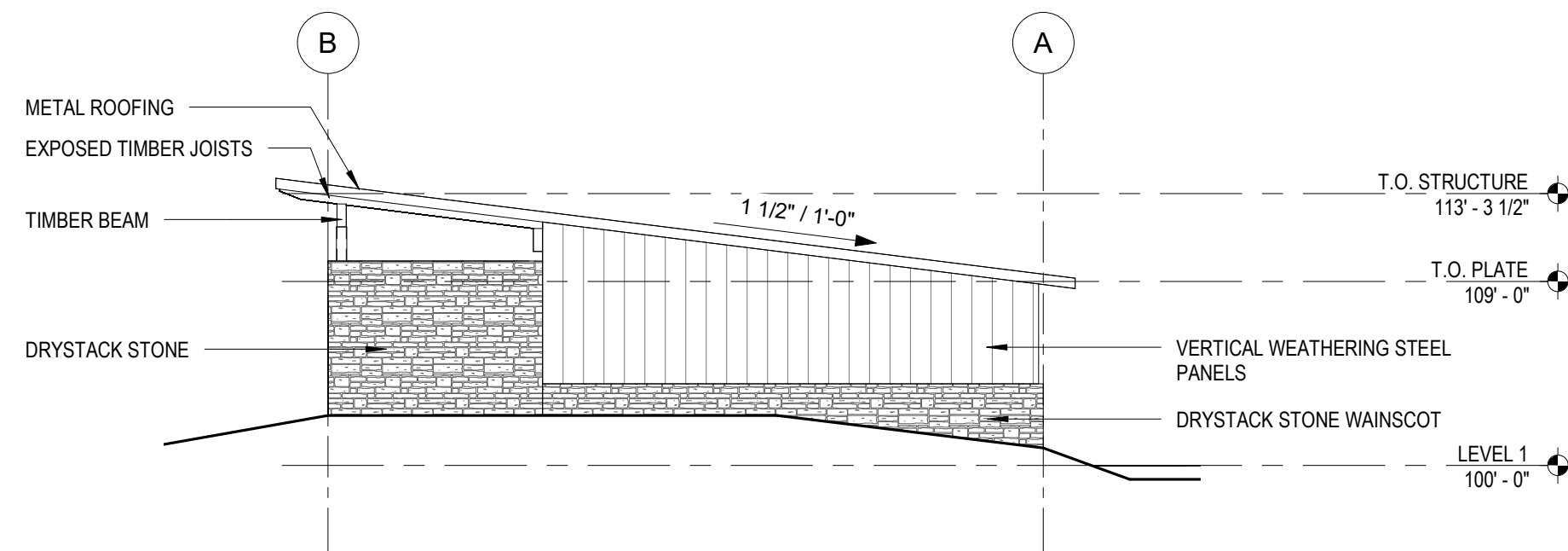
5 EAST ELEVATION
1/8" = 1'-0"



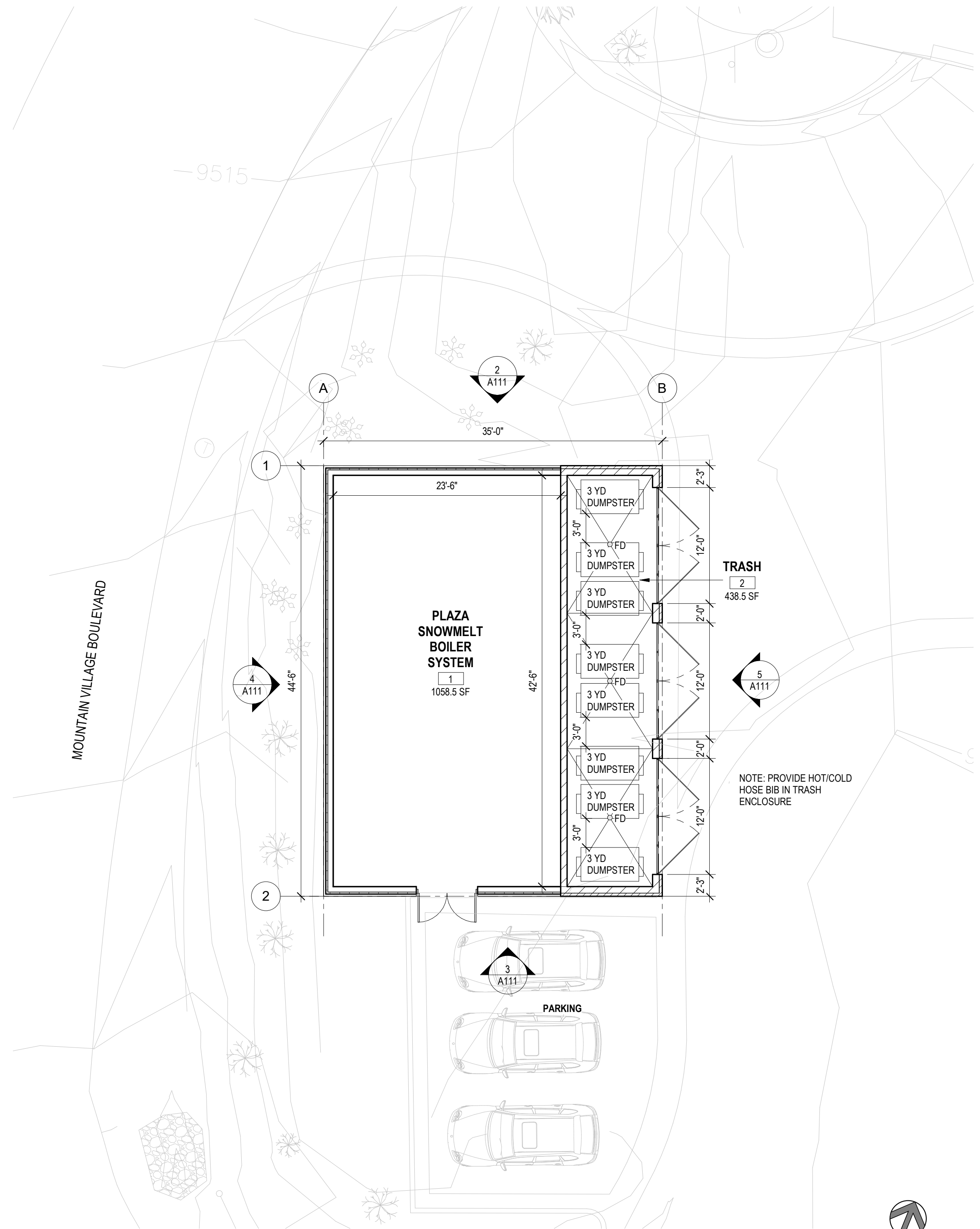
4 WEST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



FLOOR PLAN - TRASH & SNOWMELT BOILER
SYSTEM ENCLOSURE
1 1/8" = 1'-0"



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DRAWN BY: AR, TR

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.

2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.

3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.

4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.

5. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.

6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.

7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.

8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.

9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.

10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AS NOTED IN THE TECHNICAL SPECIFICATIONS.

11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.

12. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
13. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
14. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 3 YEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 3 YEARS FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
15. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
16. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
17. SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY SPADE CUT EDGE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. SPADE CUT EDGE SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
18. ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, SPECIFIED MULCH IN MATERIAL SCHEDULE OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDDED CEDAR LANDSCAPE MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS.
19. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
20. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
21. CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
22. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
23. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
24. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH SPADE CUT EDGE.
25. PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
26. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE TOWN AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
27. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.
28. ALL TREES, SHRUBS, ORNAMENTAL GRASSES, PERENNIALS AND DESIGNATED AREAS OF NATIVE SEED SHALL BE IRRIGATED. ALL TREES, SHRUBS ORNAMENTAL GRASSES TO BE DRIP IRRIGATED. PERENNIALS AND SEED AREAS TO BE SPRAYED.
29. TREES PLANTED IN GROUPS OF THREE OR MORE SHALL BE A VARIETY OF SIZES TO MIMIC NATURAL TREE STANDS.
30. ALL EXISTING TREES SHALL BE PROTECTED AND PRESERVED TO THE EXTENT POSSIBLE.
31. PLANT QUANTITIES SHOWN IN SCHEDULE (L-1.1) EXCLUDE LANDSCAPE OUTSIDE LIMIT OF WORK.

LAYOUT NOTES

1. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

2. SHOULD SITE CONDITIONS BE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

3. CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.

4. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.

5. THE CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK. REFER TO IRRIGATION PLANS.

6. LAYOUT WALKS, SCORE JOINTS AND PAVING PATTERNS AS CLOSELY AS POSSIBLE TO PLANS, DETAILS, AND SPECIFICATIONS. DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.

7. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK. SEE TECHNICAL SPECIFICATIONS.

8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY FENCING AROUND ALL PLAY STRUCTURES UNTIL PROPER FALL SURFACE IS COMPLETELY INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

9. CONTRACTOR IS RESPONSIBLE FOR SUPERVISING ALL SAFETY SURFACING AND PAVEMENT DURING THE CURING PROCESS.

EROSION NOTES

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE FLOW LINE AND THE PUBLIC RIGHTS-OF-WAY OF MOUNTAIN VILLAGE AS A RESULT OF THIS SITE DEVELOPMENT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.

2. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT.

3. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.

4. THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF WAYS.

5. THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.

6. THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES IS PROHIBITED AT THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE TO THE STORM SEWER SYSTEM IS PROHIBITED.

7. THE CONTRACTOR SHALL PROTECT ALL STORM SEWER FACILITIES ADJACENT TO ANY LOCATION WHERE PAVEMENT CUTTING OPERATIONS INVOLVING WHEEL CUTTING, SAW CUTTING, OR ABRASIVE WATER JET CUTTING ARE TO TAKE PLACE. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL WASTE PRODUCTS GENERATED BY SAID CUTTING OPERATIONS ON A DAILY BASIS.

MAINTENANCE NOTES

TREES, SHRUBS AND GROUND COVERS

1. MAINTAIN TREES, SHRUBS, GROUND COVERS AND PLANTS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY WIRE SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.

2. WATERING: MAINTAIN LARGE ENOUGH WATER BASINS AROUND PLANTS SO THAT ENOUGH WATER CAN BE APPLIED TO ESTABLISH MOISTURE THROUGHOUT ENTIRE ROOT ZONE. UTILIZE MULCHES TO REDUCE EVAPORATION AND WATERING FREQUENCY. ALL TREES SHALL BE DRIP IRRIGATED.

3. PRUNE AS REQUIRED AT TIME OF PLANTING AND AS NEEDED TO CORRECT DAMAGE.

4. STAKES AND GUY WIRES: INSPECT REGULARLY TO PREVENT GIRDLING OF TRUNKS OR BRANCHES AND TO PREVENT RUBBING WHICH MIGHT CAUSE BARK WOUNDS. REMOVE AND REPLACE DAMAGED STAKES AND GUYS AS DIRECTED BY THE OWNER.

5. WEED CONTROL: MAINTAIN TREE AND SHRUB BASINS FREE OF WEEDS AND GRASSES ON A WEEKLY BASIS. FREQUENT SOIL CULTIVATION THAT MIGHT DESTROY SHALLOW ROOTS IS NOT PERMITTED.

6. INSECTS AND DISEASE CONTROL: CONTROL INSECTS AND DISEASE AS NECESSARY TO PREVENT DAMAGE TO THE HEALTH OR APPEARANCE OF PLANTS. USE ONLY APPROVED MATERIALS AND METHODS. DEAD, DISEASED, AND/OR BEETLE INFESTED TREES MUST BE REMOVED UPON IMMEDIATE RECEIPT OF WRITTEN OR VERBAL NOTICE TO THE PROPERTY OWNER.

7. DEAD PLANT MATERIALS SHALL BE REMOVED WITHIN (1) MONTH WITH PLANTING MATERIALS THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN.

8. NATURAL LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REPLENISHED SO THAT THEY AGAIN ACHIEVE FULL COVERAGE TO A MINIMUM DEPTH AS SPECIFIED.

WEED CONTROL

1. IN AREAS THAT HAVE BEEN REGRADED AND/OR HAVE EXISTING WEED GROWTH, WEED CONTROL MEASURES APPROPRIATE TO THE AMOUNT OF GROWTH AND/OR SPECIES SHALL BE PROVIDED.

2. THROUGHOUT THE GROWING SEASON WEED CONTROL OF NATIVE AREAS SHALL BE PREFORMED USING A SPOT TREATMENT METHOD.

3. HERBICIDE SHALL BE APPLIED BY A LICENSED APPLICATOR OR UNDER THE DIRECT SUPERVISION OF A LICENSED APPLICATOR.

NATIVE SEED AREAS

1. REFERENCE WEED CONTROL NOTES ABOVE.

2. MOW A MINIMUM OF ONCE YEARLY UPON ESTABLISHMENT OF GRASS.

SHEET LIST

L-100	LANDSCAPE NOTES
L-101	LANDSCAPE SCHEDULES
L-401	LANDSCAPE PLAN
L-501	LANDSCAPE DETAILS
LS-401	HARDSCAPE PLAN
LS-501	HARDSCAPE DETAILS

NORRIS DESIGN

Planning | Landscape Architecture | Branding

409 Main Street

Suite 207

P.O. Box 2320

Frisco, CO 80443

P 970.485.4478

www.norris-design.com

MOUNTAIN VILLAGE HOTEL

PROJECT NUMBER: 1152-01-3146

MOUNTAIN VILLAGE, COLORADO

PLANNED UNIT DEVELOPMENT AMENDMENT

OWNER:

TIARA TELLURIDE LLC

ANKUR PATEL

450 S OLD DIXIE HWY

SUTTIE 8

JUPITER, FL 33458

561-747-4384

NOT FOR CONSTRUCTION

DATE:

03/16/22: PUD AMEND & DRB

SHEET TITLE:

LANDSCAPE NOTES

L-100

CHECKED BY: TR
DRAWN BY: AR, TR

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
PO TR	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	2" CAL		6
PO NM	POPULUS TREMULOIDES 'CLUMP FORM'	QUAKING ASPEN	B & B	2.5" CAL	CLUMP	6
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
PN AR	PINUS ARISTATA	BRISTLECONE PINE	B & B	8' HT.		2
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
MA SS	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	1.5" CAL		1
PR VI	PRUNUS VIRGINIANA MELANOCARPA	NATIVE CHOKEBERRY	B & B	6' CLUMP		2
DECIDUOUS SHRUBS 2-4' SPREAD	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
PH MO	PHYSOCARPUS MONOGYNUS	MOUNTAIN NINEBARK	CONT.	#5		21
RI AL	RIBES ALPINUM	ALPINE CURRANT	CONT.	#5		2
RI GR	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	CONT.	#5		17
DECIDUOUS SHRUBS 5-7' SPREAD	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
COR B25	CORNUS SERICEA 'BAILEY'	BAYLEY'S RED TWIG DOGWOOD	CONT.	#5		11
FA PA	FALLUGIA PARADOXA	APACHE PLUME	CONT.	#5		2
LON LED	LONICERA LEDEBOURII	TWINBERRY HONEYSUCKLE	CONT.	#5		5
LON TAT	LONICERA TATARICA 'ARNOLD'S RED'	TATARIAN HONEYSUCKLE	CONT.	#5		3
SAL PUR	SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	CONT.	#5		12
SH AR	SHEPHERDIA ARGENTEA	SILVER BUFFALOBERRY	CONT.	#5		2
SY PE	SYRINGA X PRESTONIAE 'MISS CANADA'	MISS CANADA PRESTON LILAC	CONT.	#5		2
EVERGREEN SHRUBS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
PI MU	PINUS MUGO 'WHITE BUD'	WHITE BUD MUGO PINE	CONT.	#5		8
PI BG	PINUS MUGO 'BIG TUNA'	BIG TUNA MUGO PINE	CONT.	#5		9
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
DE CE	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	CONT.	#1		53
SO NU	SORGHASTRUM NUTANS	INDIAN GRASS	CONT.	#1		54
PERENNIALS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	NOTES	QTY
AC MO	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	CONT.	#1		5
AEG POD	AEGOPodium PODAGRARIA 'VARIEGATUM'	VARIEGATED BISHOP WEED	CONT.	#1		99
AQ CA	AQUILEGIA CAERULEA	ROCKY MOUNTAIN COLUMBINE	CONT.	#1		82
AR UV	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	CONT.	#1		14
AS AL	ASTER ALPINUS	ALPINE ASTER	CONT.	#1		8
CAM OLY	CAMPANULA ROTUNDIFOLIA 'OLYMPICA'	OLYMPICA HAREBELL	CONT.	#1		114
DEL SKI	DELPHINIUM ELATUM 'SUMMER SKIES'	SUMMER SKIES LARKSPUR	CONT.	#1		2
DEL CA2	DELPHINIUM ELATUM 'YANKEE MIX'	CONNETICUT YANKEE LARKSPUR	CONT.	#1		1
DEL BLA	DELPHINIUM X 'BLACK KNIGHT'	BLACK KNIGHT LARKSPUR	CONT.	#1		2
DIA ZIN	DIANTHUS DELTOIDES 'ZING ROSE'	ZING ROSE MAIDEN PINK	CONT.	#1		5
DIA F3	DIANTHUS X 'FIRST LOVE'	FIRST LOVE DIANTHUS	CONT.	#1		71
DIC SPE	DICENTRA SPECTABILIS	BLEEDING HEART	CONT.	#1		31
ES CA	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	CONT.	#1		11
FRA XFO	FRAGARIA X FORT LARAMIE	FORT LARAMIE WILD STRAWBERRY	CONT.	#1		128
LUP POB	LUPINUS X 'POPSICLE BLUE'	POPSICLE BLUE LUPINE	CONT.	#1		6
LUP RUS	LUPINUS X 'RUSSELL HYBRIDS'	RUSSELL HYBRID LUPINE	CONT.	#1		14
NE LT	NEPETA X 'PSFIKE' TM	LITTLE TRUDY CATMINT	CONT.	#1		3
PAE DOU	PAEONIA LACTIFLORA 'DOUBLE PINK'	DOUBLE PINK CHINESE PEONY	CONT.	#1		8
PEN STR	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON	CONT.	#1		47
SOD/SEED	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES	QTY
IRR AST	IRRIGATED NATIVE SEED		SEED			1,321 SF

SHORT GRASS MIXTURE

COMMON NAME	%	LBS./1000 S.F.
WESTERN YARROW	5%	.1
TALL FESCUE	10%	.2
ARIZONA FESCUE	5%	.1
HARD FESCUE	5%	.1
CREEPING RED FESCUE	10%	.1
ALPINE BLUEGRASS	15%	.3
CANADA BLUEGRASS	10%	.2
PERENNIAL RYEGRASS	15%	.3
SLENDER WHEATGRASS	10%	.2
MOUNTAIN BROME	15%	.3
TOTAL	100%	2.0 LBS

NOTES

- SEED APPLICATION RATES
 - BROADCAST: 85-90 LBS/ACRE
 - DRILLED: 15-20 LBS/ACRE
- APPLY EROSION CONTROL NETTING TO ANY AREA WHICH IS VULNERABLE TO SOIL EROSION SUCH AS SWALES OR STEEP SLOPES (3:1 OR STEEPER)
- UTILIZE HYDROMULCH AND TACKIFIER OF 2,000 POUNDS PER ACRE WITH 3% TACKIFIER.
- UNLESS NOTED OTHERWISE IN TECHNICAL SPECIFICATIONS, AMEND ALL TOPSOIL IN RESEED AREAS TO 2" DEPTH WITH COMPOST.
- SEE SHALL BE APPLIED TO DISTURBED AREAS WITHIN 10 DAYS AFTER TOPSOIL HAS BEEN SPREAD.

AMENITY SCHEDULE

ITEM	DESCRIPTION	MANUFACTURER	CONTACT	PRODUCT NAME	PRODUCT NUMBER	COLOR/FINISH	NOTES
[S-101]	TRASH AND RECYCLING	BEARSAVER	CONTACT: 800-851-3887 SALES@BEARSAVER.COM	HA SERIES SINGLE TRASH ENCLOSURE	HA-PY	OLIVE GREEN WITH RECYCLING AND TRASH LABELS, ZINC RICH PRIMER.	INSTALL PER MANUFACTURER SPECIFICATIONS.
[S-102]	BIKE RACK	SITE PIECES	CONTACT: 800.484.0797 WWW.SITEPIECES.COM	MONOLINE STANDARD BIKE ROAD	ML-STAND-19	CLOTHES LINE	INSTALL PER MANUFACTURER SPECIFICATION.
[S-103]	WOOD SEAT TOPPER	SITE PIECES	CONTACT: 800.484.0797 WWW.SITEPIECES.COM	MONOLINE TOPPER	ML-TOPLEG-72 72" X 21" X 13.5"H	CLOTHES LINE THERMALLY MODIFIED ASH	INSTALL PER MANUFACTURER SPECIFICATION.

MATERIALS SCHEDULE

ITEM	DESCRIPTION	MANUFACTURER	CONTACT	PRODUCT NAME	SIZE / DIMENSIONS	COLOR/FINISH	NOTES
[M-101]	STANDARD CONCRETE	QUIKCRETE (OR APPROVED EQUAL)	N/A	N/A	REFER TO CIVIL PLANS FOR DETAILS	STANDARD GRAY BROOM FINISH ALL SLABS	REFER TO DETAILS FOR ALL LANDSCAPE CONCRETE INSTALLATION. REFER TO CIVIL FOR ALL DRIVES AND FLATWORK.
[M-102]	PAVER A	UNILOCK (OR APPROVED EQUAL)	JUSTIN J. HAMULA 801-707-8408 JUSTIN.HAMULA@CONFLUENCEPRODUCTS.COM	PROMENADE PLANK PAVER	RUNNING BOND PATTERN LAYING PATTERN A 100%: 8"X24" UNIT	GRANITE BLEND IL CAMPO FINISH	REFER TO DETAILS AND SPECIFICATIONS.
[M-103]	PAVER B	UNILOCK (OR APPROVED EQUAL)	JUSTIN J. HAMULA 801-707-8408 JUSTIN.HAMULA@CONFLUENCEPRODUCTS.COM	PROMENADE PLANK PAVER	RUNNING BOND PATTERN LAYING PATTERN G 20%: 4"X12" 40%: 4"X16" 40%: 8"X24"	BAVARIAN BLEND SMOOTH FINISH	REFER TO DETAILS AND SPECIFICATIONS.
[M-104]	DECOMPOSED GRANITE	PIONEER LANDSCAPE CENTERS (OR APPROVED EQUAL)	CONTACT: 1-800-777-8139	BREEZE MINUS	REFER TO PLANS	TAN BREEZE	REFER TO DETAILS AND SPECIFICATIONS.
[M-105]	LANDSCAPE ROCK	PIONEER LANDSCAPE CENTERS (OR APPROVED EQUAL)	CONTACT: 1-800-777-8139	DECORATIVE LANDSCAPE ROCK	1"	WHITE QUARTZ	REFER TO DETAILS AND SPECIFICATIONS.
[M-106]	PLASTIC EDGER	PIONEER LANDSCAPE CENTERS	CONTACT: 866.600.0652 www.pioneersand.com	EPIC EDGE BENDER BOARD	1" x 4" x 20"	CARAMEL BROWN	REFER TO DETAIL 4, SHEET L-501
[M-107]	WOOD MULCH	WAUPACA NORTHWOODS (OR APPROVED EQUAL)	CONTACT: 715.256.4030 WWW.WAUPACANORTHWOODS.COM	NORTHWOODS ORGANICS	N/A WNW03255	NATURAL SHREDDED DARK	MINIMUM 3" DEPTH, INSTALL ABOVE WEED CONTROL FABRIC
[M-108]	LANDSCAPE BOULDERS	TELLURIDE STONE COMPANY (OR APPROVED EQUAL)	CONTACT: 970.728.6201 BETSY@TELLURIDESTONE.COM	TELLURIDE GOLD BOULDERS	REFER TO PLANS AND DETAILS 1 TO 5 TON BOULDERS	TELLURIDE GOLD	REFER TO CIVIL FOR DEPTH AND INSTALLATION DETAILS, BROOM FINISH SHALL BE PARALLEL WITH SLOPE TO ENSURE PROPER DRAINAGE



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Planning | Landscape Architecture | Branding

409 Main Street
Suite 207
P.O. Box 2320
Frisco, CO 80443
P 970.485.4478
www.norris-design.com

MOUNTAIN VILLAGE HOTEL

PROJECT NUMBER: 1152-01-3146

MOUNTAIN VILLAGE, COLORADO

PLANNED UNIT DEVELOPMENT AMENDMENT

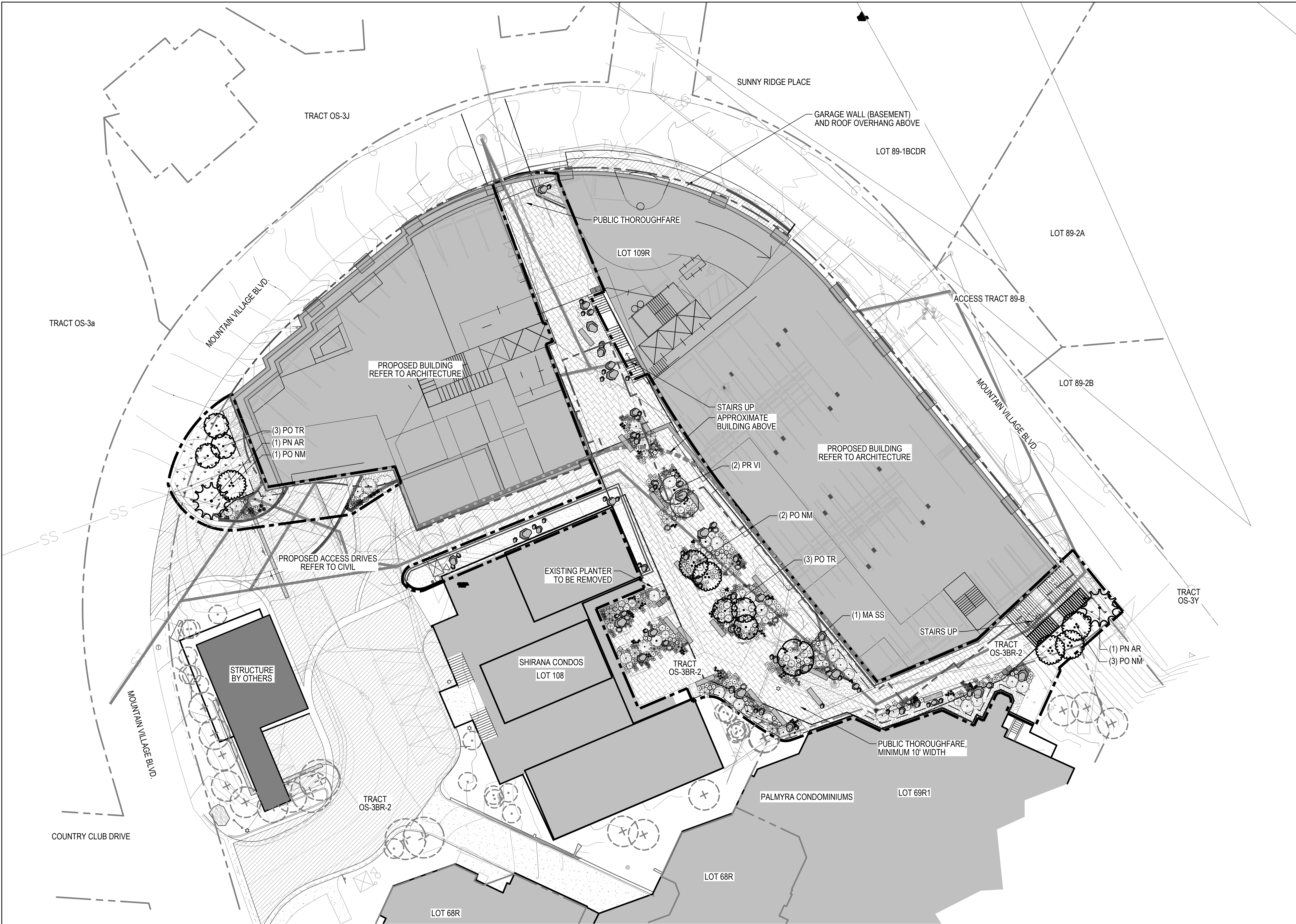
OWNER:

TIARA TELLURIDE LLC
ANKUR PATEL
450 S OLD DIXIE HWY
SUITE 8
JUPITER, FL 33458
561-747-4384

NOT FOR
CONSTRUCTION

DATE:
03/16/22: PUD AMEND
& DRB

SHEET TITLE:
LANDSCAPE
SCHEDULES



HARDSCAPE LEGEND

	PRECAST CONCRETE BENCH (CUSTOM) - DTL 7/ LS-501
	TRASH AND RECYCLING
	LANDSCAPE BOULDERS DTL 5/ L-501
	MATCH LINE
	LIMIT OF WORK
	LOT LINE
	SPADE CUT EDGER DTL 7/ L-501
	PLASTIC EDGER DTL 8/ L-501
	CONCRETE EDGER (TBD) DTL 5/ LS-501
	RAISED CONCRETE CURB DTL 6/ LS-501
	STANDARD CONCRETE DTL 1/ LS-501
	PAVER A DTL 2/ LS-501
	PAVER B DTL 2/ LS-501
	LANDSCAPE ROCK DTL 3,9/ LS-501
	DECOMPOSED GRANITE DTL 3/ LS-501
	WOOD MULCH DTL 4,6 & 7/ L-501

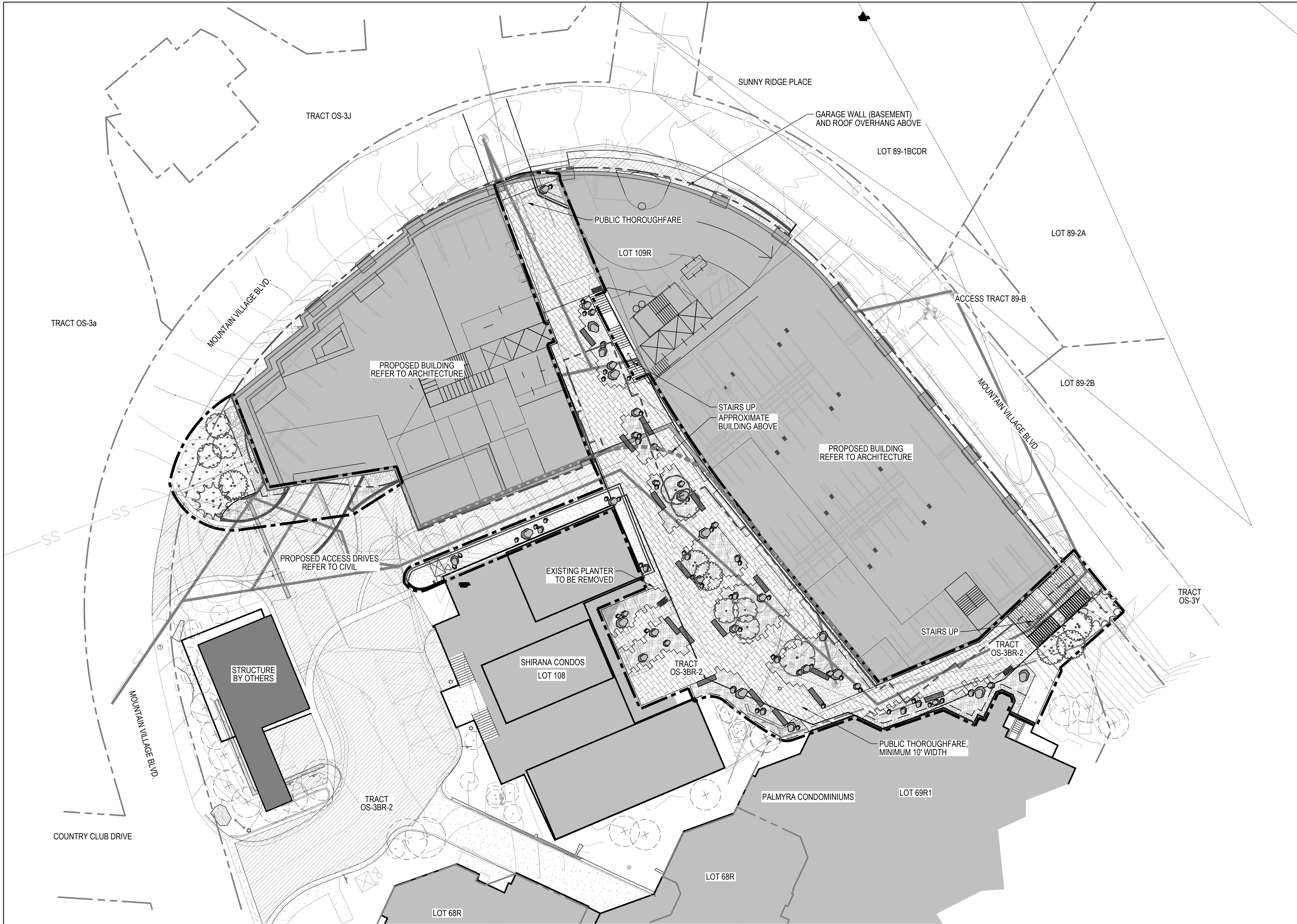
LANDSCAPE LEGEND

	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO REMAIN DTL 3/ L-501
	PROPOSED TREES DTL 1/ L-501
	PROPOSED SHRUBS DTL 2/ L-501
	PROPOSED ORNAMENTAL GRASSES DTL 4/ LS-501
	PROPOSED PERENNIALS DTL 4/ LS-501

IRRIGATION NOTES

1. REPAIR AND REPLACE EXISTING DAMAGED IRRIGATION WITHIN IMPROVEMENTS LIMIT OF WORK BOUNDARY.
2. ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.
3. ALL PERENNIALS AND SOD TO BE SPRAY IRRIGATED.
4. INSTALL PVC SLEEVING FOR IRRIGATION UNDER ALL NEW HARDSCAPE AND FUTURE HARDSCAPE.
5. IRRIGATION SYSTEM DESIGN TO BE DETERMINED PRIOR TO 100% CONSTRUCTION DOCUMENTS.





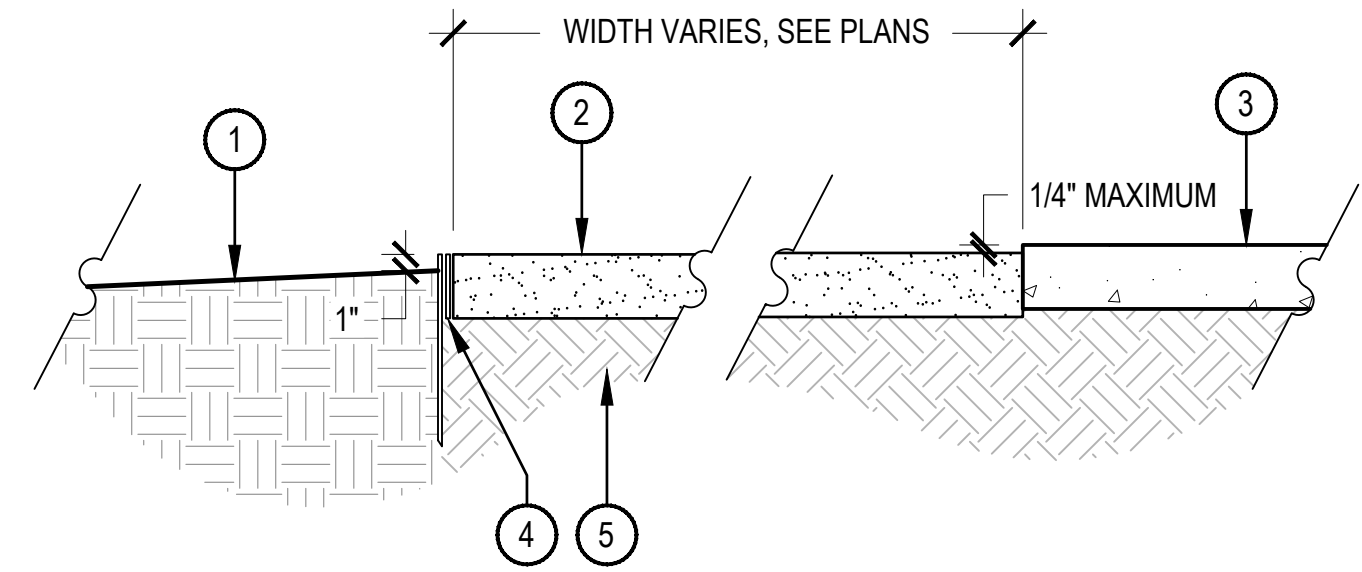
HARDSCAPE LEGEND

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	TRASH AND RECYCLING
	LANDSCAPE BOULDERS DTL 5/ L-501
	MATCH LINE
	LIMIT OF WORK
	LOT LINE
	SPADE CUT EDGER DTL 7/ L-501
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	DECOMPOSED GRANITE DTL 3/ LS-501
	WOOD MULCH DTL 4,6 & 7/ L-501

LANDSCAPE LEGEND

	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO REMAIN DTL 3/ L-501
	PROPOSED TREES DTL 1/ L-501

1. ADJACENT LANDSCAPE, REFER TO PLAN
2. AGGREGATE SURFACE, REFER TO PLANS FOR TYPE AND LOCATIONS, COMPACTED TO 4", ROLL EVERY 1" LAYER, SLOPE TO DRAIN
3. ADJACENT HARDSCAPE, REFER TO PLAN
4. EDGER, REFER TO PLANS FOR TYPE AND LOCATION
5. SUBGRADE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY

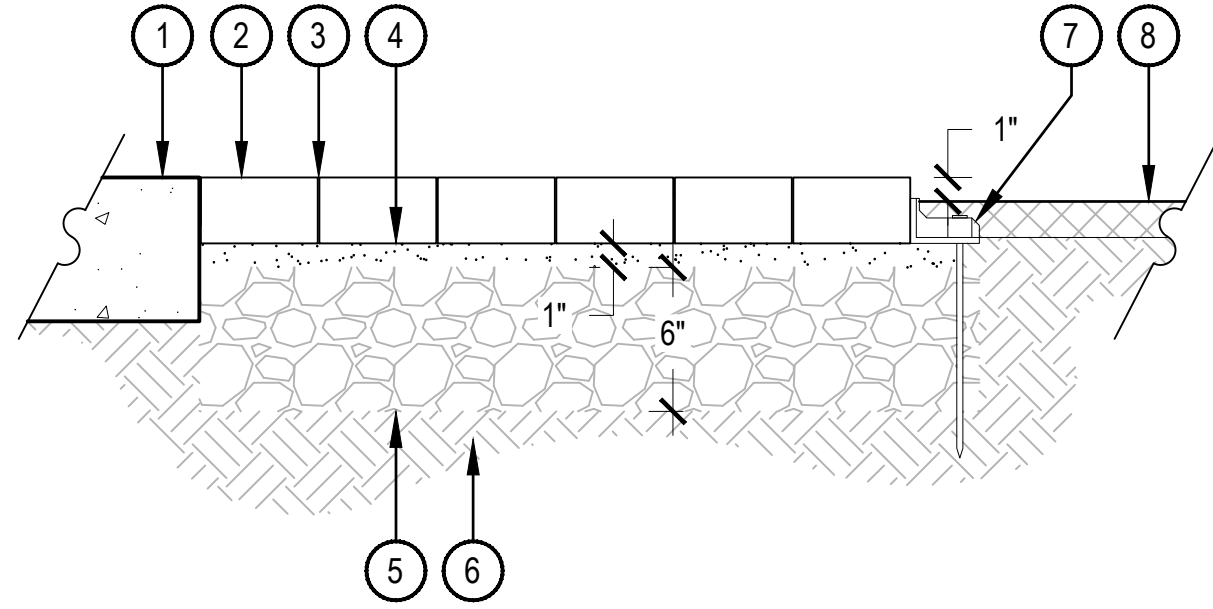


- NOTES:
1. SLOPE ADJACENT LANDSCAPE AWAY FROM TRAIL OR PROVIDE APPROPRIATE DRAINAGE.

3 AGGREGATE SURFACE

SCALE: 1" = 1'-0"

1. ADJACENT PAVING, REFER TO HARDSCAPE PLANS
2. PLANK PAVERS, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
3. SILICA SAND SWEEP JOINTS
4. 1" SAND SETTING BED
5. 6" DEPTH OF COMPACTED ROAD BASE, COMPACT TO 95% STANDARD PROCTOR DENSITY
6. SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
7. SEK SUREBOND SNAP EDGE PAVER EDGING WITH 10" METAL STAKE, OR APPROVED EQUAL
8. ADJACENT LANDSCAPE, REFER TO PLANS

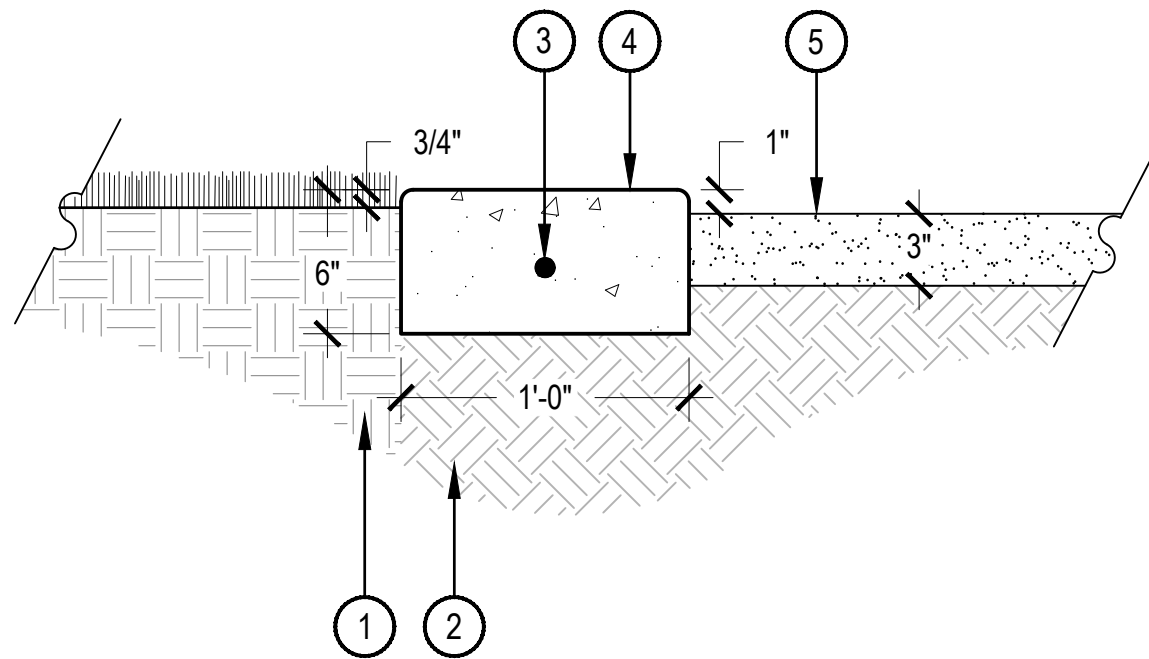


- NOTES:
1. PROVIDE SMOOTH TRANSITION BETWEEN PLANK PAVING AND ADJACENT SURFACES.
 2. PROVIDE POSITIVE DRAINAGE FROM ALL PAVING SURFACES.

2 PLANK PAVING

SCALE: 1 1/2" = 1'-0"

1. UNDISTURBED GRADE
2. SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
3. #4 REBAR CONTINUOUS
4. CONCRETE CURB WITH LIGHT BROOM FINISH, 1/2" RADIUS ON ALL EXPOSED EDGES
5. DECOMPOSED GRANITE, REFER TO MATERIAL SCHEDULE, SHEET L-XXX

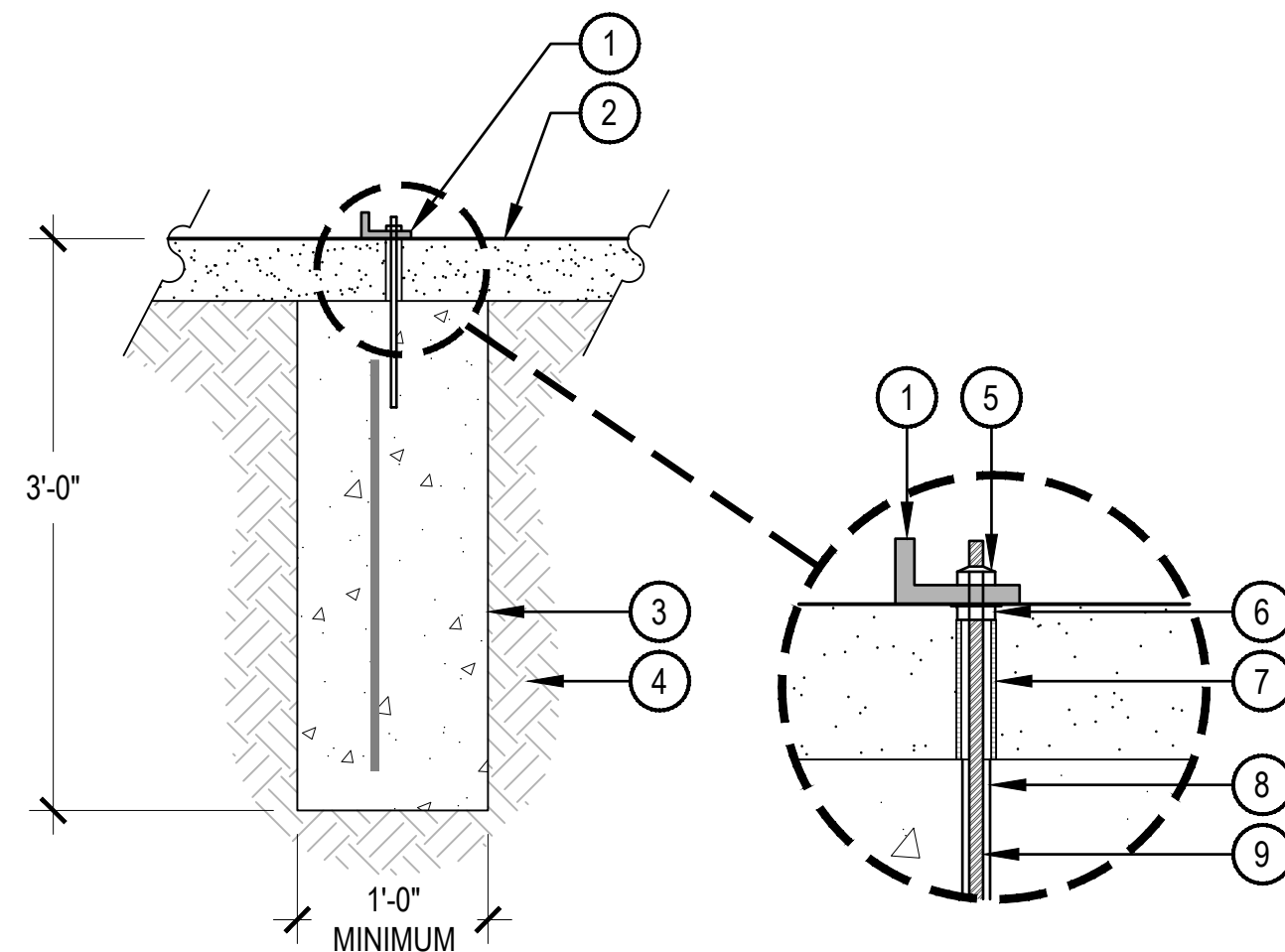


- NOTES:
1. PROVIDE CONTROL JOINTS AT 6' ON CENTER AND EXPANSION JOINTS AT 24" ON CENTER.
 2. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2", UNLESS OTHERWISE NOTED.
 3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,000 PSI AT 28 DAYS.

5 CONCRETE EDGE

SCALE: 1 1/2" = 1'-0"

1. SITE AMENITY MOUNTING BRACKET
2. CRUSHER FINES, REFER TO LANDSCAPE PLAN
3. CONCRETE FOOTER WITH (1) #4 REBAR, SPACE FOOTERS TO CORRESPOND WITH SPECIFIC FURNITURE PIECE
4. COMPACTED SUBGRADE TO 95% STANDARD PROCTOR DENSITY
5. GALVANIZED LOCKING NUT
6. GALVANIZED NUT
7. 2" GALVANIZED STEEL PIPE SPACER
8. EPOXY ALL-THREAD ROD IN PLACE
9. GALVANIZED ALL-THREAD ROD



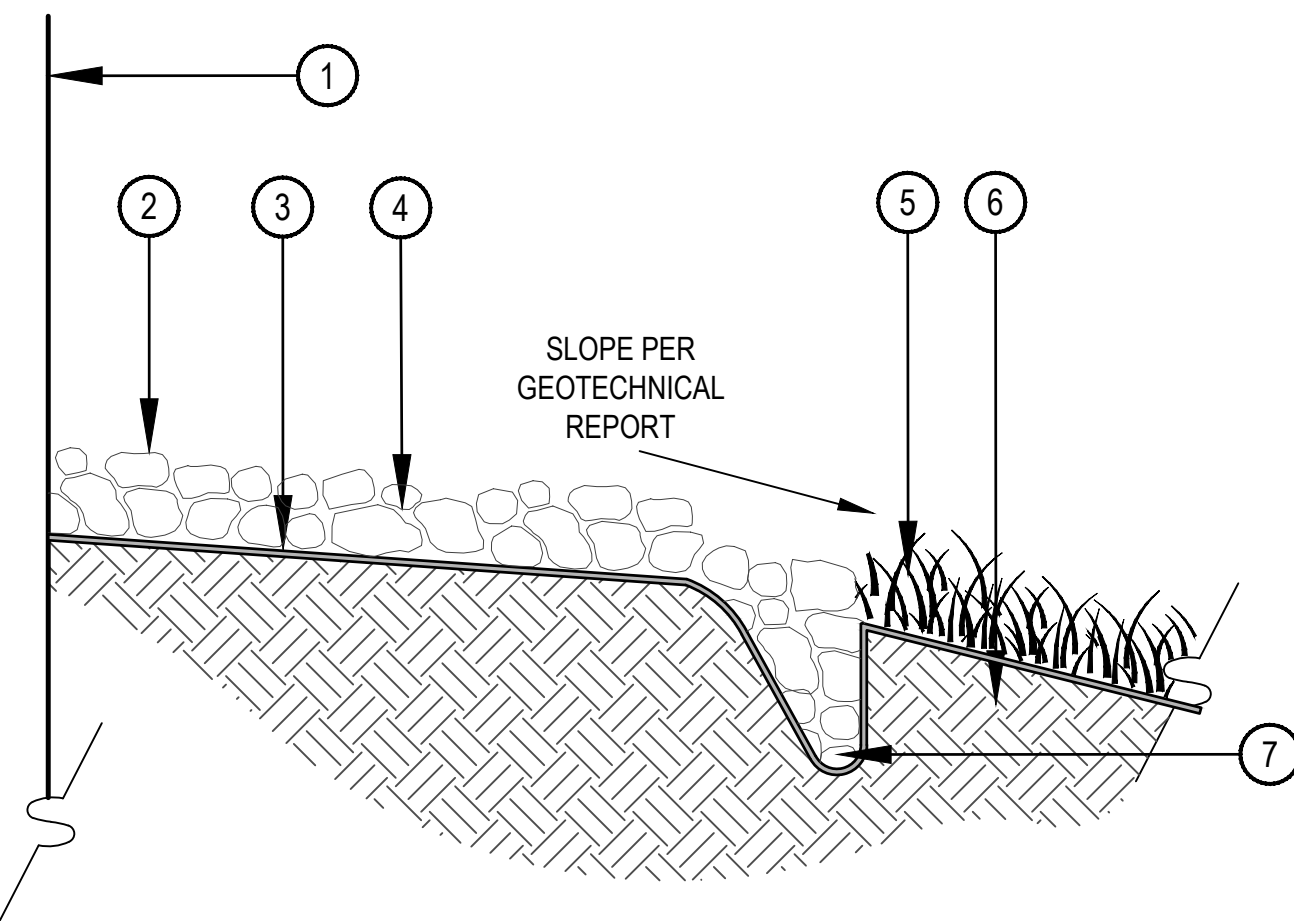
BENCHES, TRASH RECEPTACLES, AND TABLES

- NOTES:
1. AFTER SIGNIFICANT SETTLING TIME, ALL-THREAD ROD(S) TO BE CUT FLUSH.

8 SURFACE MOUNT IN CRUSHER FINES

SCALE: 1" = 1'-0"

1. ADJACENT BUILDING
2. RIVER ROCK COBBLE: MIX OF 75% 2"-4" COBBLE AND 25% 6"-12" COBBLE
3. WEED BARRIER FABRIC; 24" MINIMUM LAP JOINT
4. FINISH GRADE
5. ADJACENT NATIVE GRASS OR LANDSCAPE BED, REFER TO LANDSCAPE PLANS FOR ADJACENT TREATMENT TYPE
6. UNDISTURBED SUBGRADE
7. SPADE CUT EDGE OF DRIP LINE

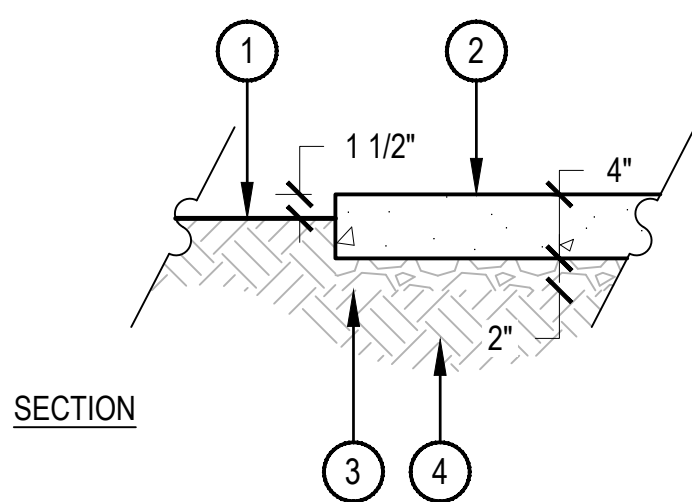


- NOTES:
1. COBBLE DRIP LINE TO BE INCLUDED AROUND PERIMETER OF ALL BUILDINGS WHERE ROOF LINE EXTENDS AND SHEDS WATER / SNOW.

9 COBBLE DRIP LINE

N.T.S.

1. ADJACENT LANDSCAPE, REFER TO LANDSCAPE PLANS
2. 4" CONCRETE SLAB, SMOOTH FINISH
3. 2" COMPACTED AGGREGATE BASE
4. SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

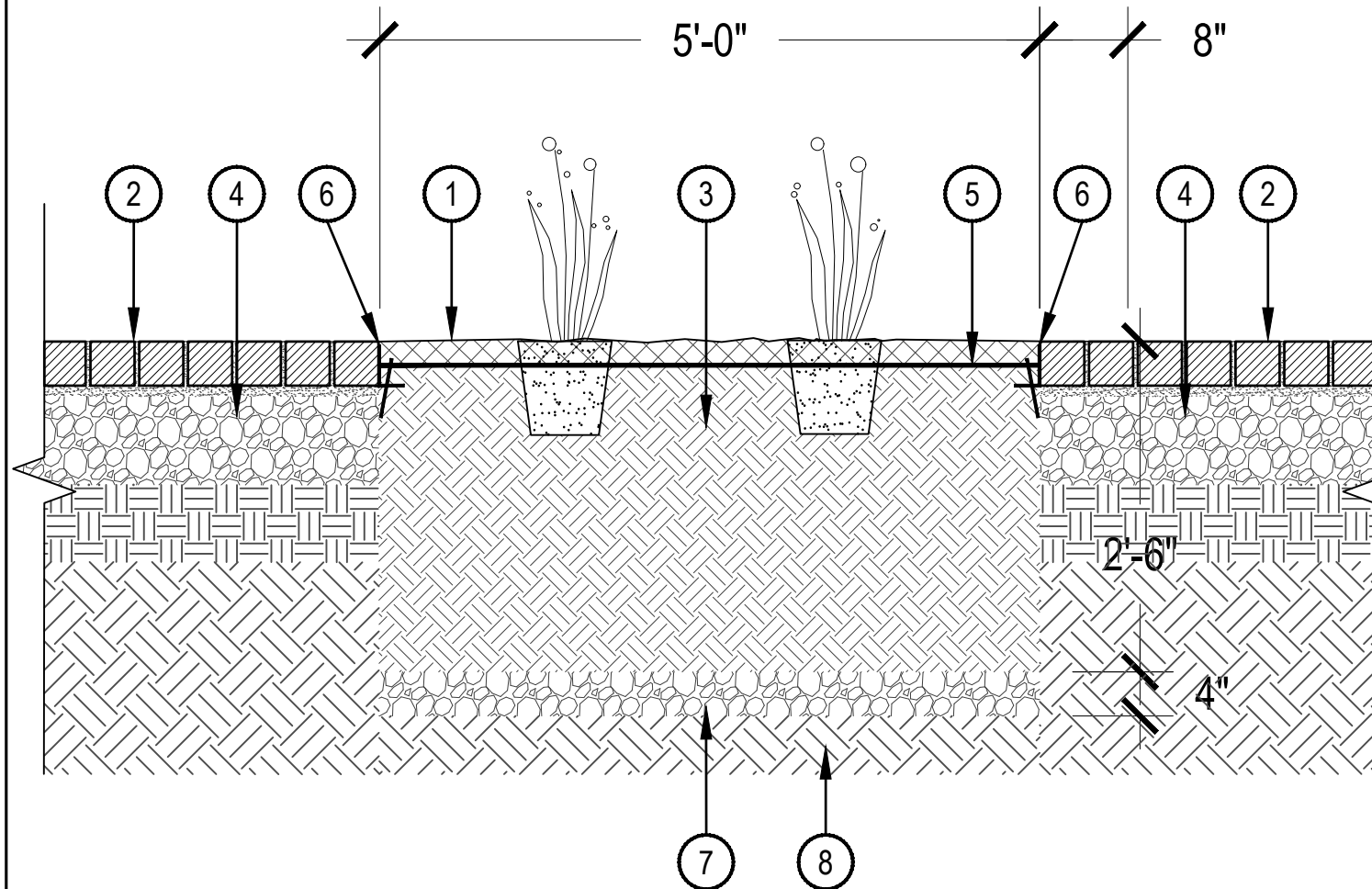


- NOTES:
1. PROVIDE A 25 SF MOCK-UP OF CONCRETE PAVING FOR EACH FINISH SPECIFIED. MOCK-UP SHALL INCLUDE CONTROL JOINTS. MOCK-UP NOT REQUIRED FOR STANDARD BROOM FINISH.
 2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 3. EXPANSION JOINTS AT 200' ON CENTER MAXIMUM OR WHERE NOTED.
 4. CONTROL JOINTS AS SHOWN ON PLANS.
 5. THIS DETAIL IS FOR LOW IMPACT TRAILS ONLY, SEE CIVIL DETAILS FOR ALL MAJOR CONCRETE PAVING DETAILS

1 CONCRETE PAVING

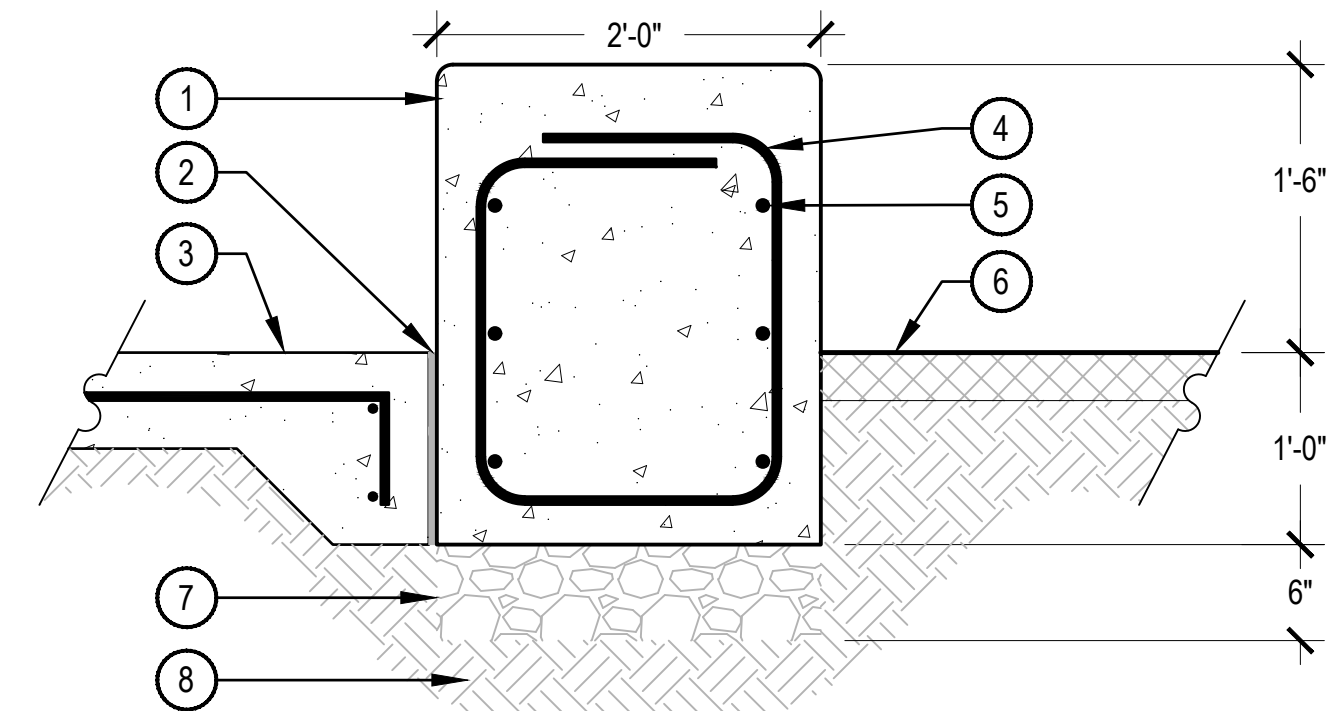
SCALE: 1" = 1'-0"

1. PLANTING BED MULCH, REFER TO MATERIAL SCHEDULE
2. ADJACENT PAVERS, SEE PLAN FOR TYPE AND MATERIAL SCHEDULE FOR MORE INFORMATION
3. AMENDED TOPSOIL, REFER TO LANDSCAPE SPECIFICATIONS FOR TYPE AND DEPTH
4. COMPACTED SUBGRADE FOR PAVERS, AS RECOMMENDED BY GEOTECHNICAL REPORT
5. WEED CONTROL FABRIC, REFER TO LANDSCAPE SPECIFICATIONS
6. PAVER RESTRAINT RAIL EDGER, STAKED, TOP OF EDGER
7. 4" DEPTH OF GRAVEL FOR PLANTER DRAINAGE
8. UNDISTURBED SUBGRADE



4 PLAZA PLANTER

SCALE: 3/4" = 1'-0"



- NOTES:
1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE, THIS DETAIL HAS NOT BEEN ENGINEERED.
 2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT 28 DAYS.
 3. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2".
 4. VERTICAL CONTROL JOINTS SHALL BE 10' ON CENTER WITH EXPANSION JOINTS 50' ON CENTER, UNLESS OTHERWISE NOTED.
 5. VERTICAL FACES OF WALL SHALL BE PLUMB, WITH NO INCONSISTENCIES GREATER THAN 1/4" IN 10'-0" MEASURED IN ANY DIRECTION ALONG THE FACE OF THE WALL.
 6. SEATWALL SHALL BE INSTALLED SO HORIZONTAL CURVES ARE SMOOTH AND FREE-FLOWING AS SHOWN ON PLANS.

7 FREESTANDING CONCRETE SEATWALL

SCALE: 1" = 1'-0"

1. CONCRETE SEATWALL, 1" RADIUS ON ALL EXPOSED CORNER, REFER TO MATERIAL SCHEDULE, SHEET L-XXX, FOR FINISH
2. EXPANSION JOINT
3. SURROUNDING HARDSCAPE, REFER TO DETAIL X, SHEET L-XXX
4. #4 REBAR LOOP, 24" ON CENTER DOWN EACH FACE OF WALL
5. (3) #6 REBAR EQUALLY SPACED (VERTICALLY) ON EACH SIDE, CONTINUOUS DOWN LENGTH OF WALL, OVERLAP SPLICES 12"
6. SURROUNDING LANDSCAPE, REFER TO PLANS
7. COMPACTED AGGREGATE BASE
8. SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY



Mountain Village Hotel
LOT 109R MOUNTAIN VILLAGE, CO

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AMENDMENT 04.24.2022

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LOT 109R MOUNTAIN VILLAGE, CO

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LOT 109R MAJOR PUD
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Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

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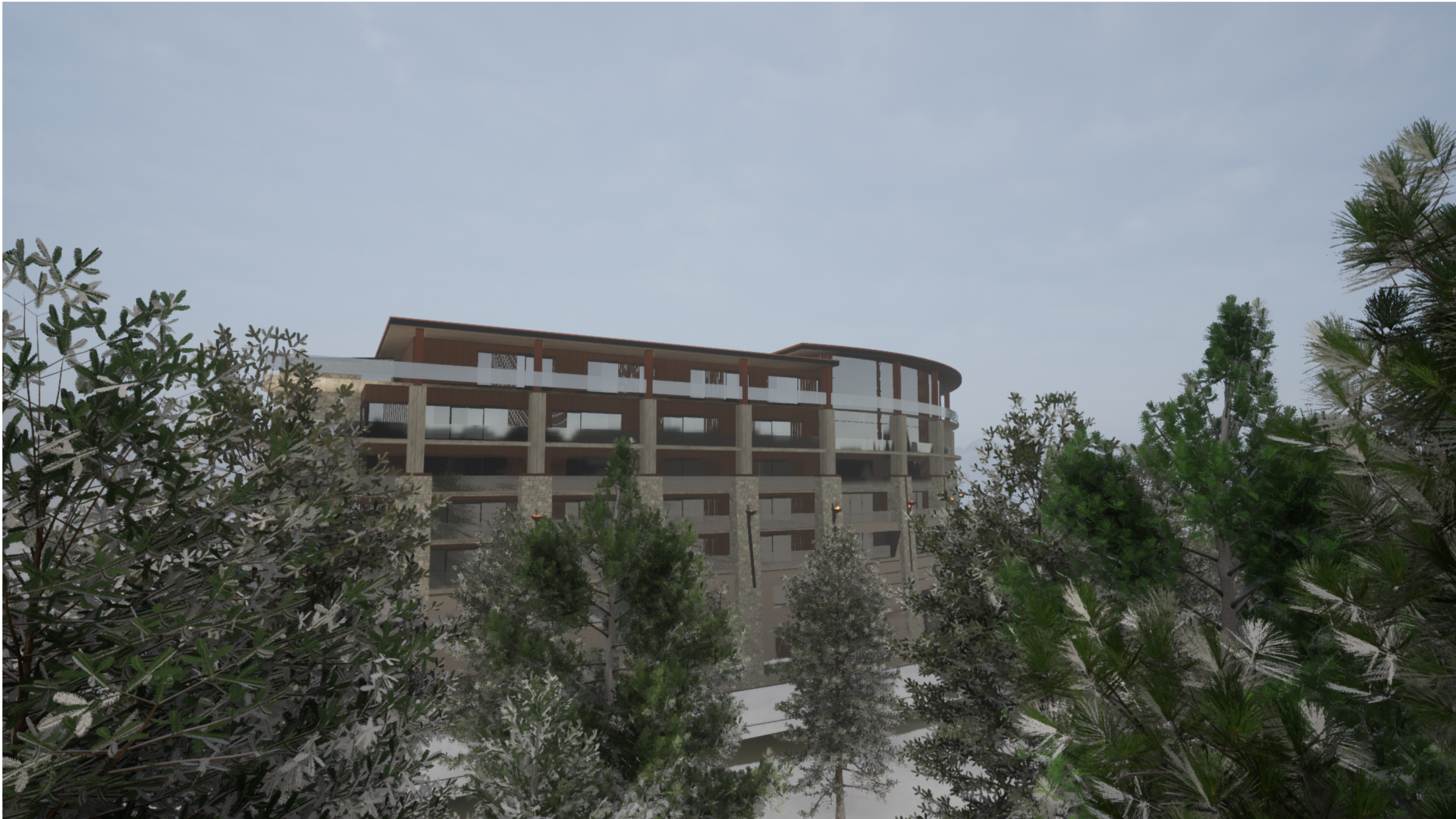
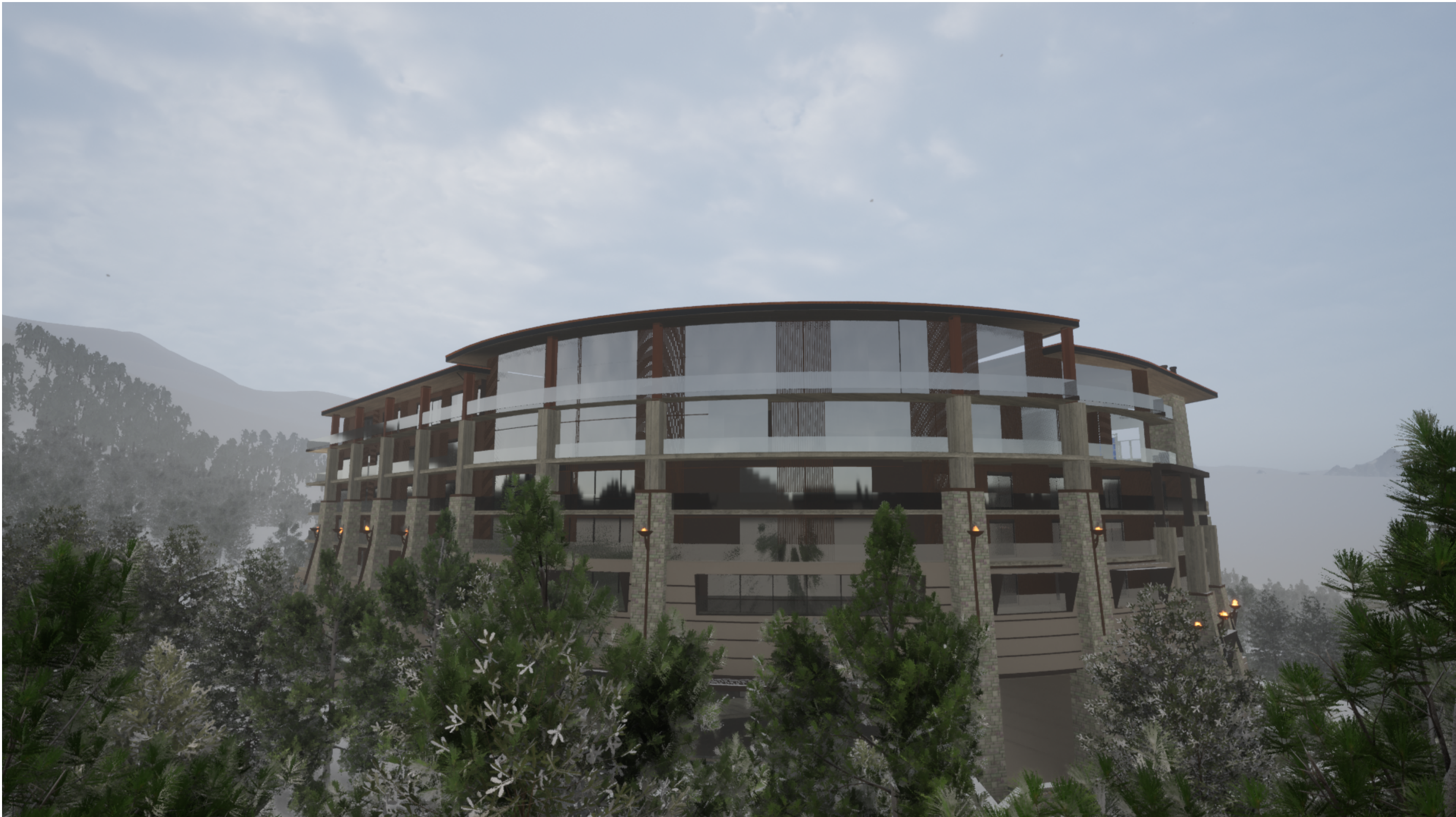
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LOT 109R MOUNTAIN VILLAGE, CO

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AMENDMENT 04.24.2022

SEAL

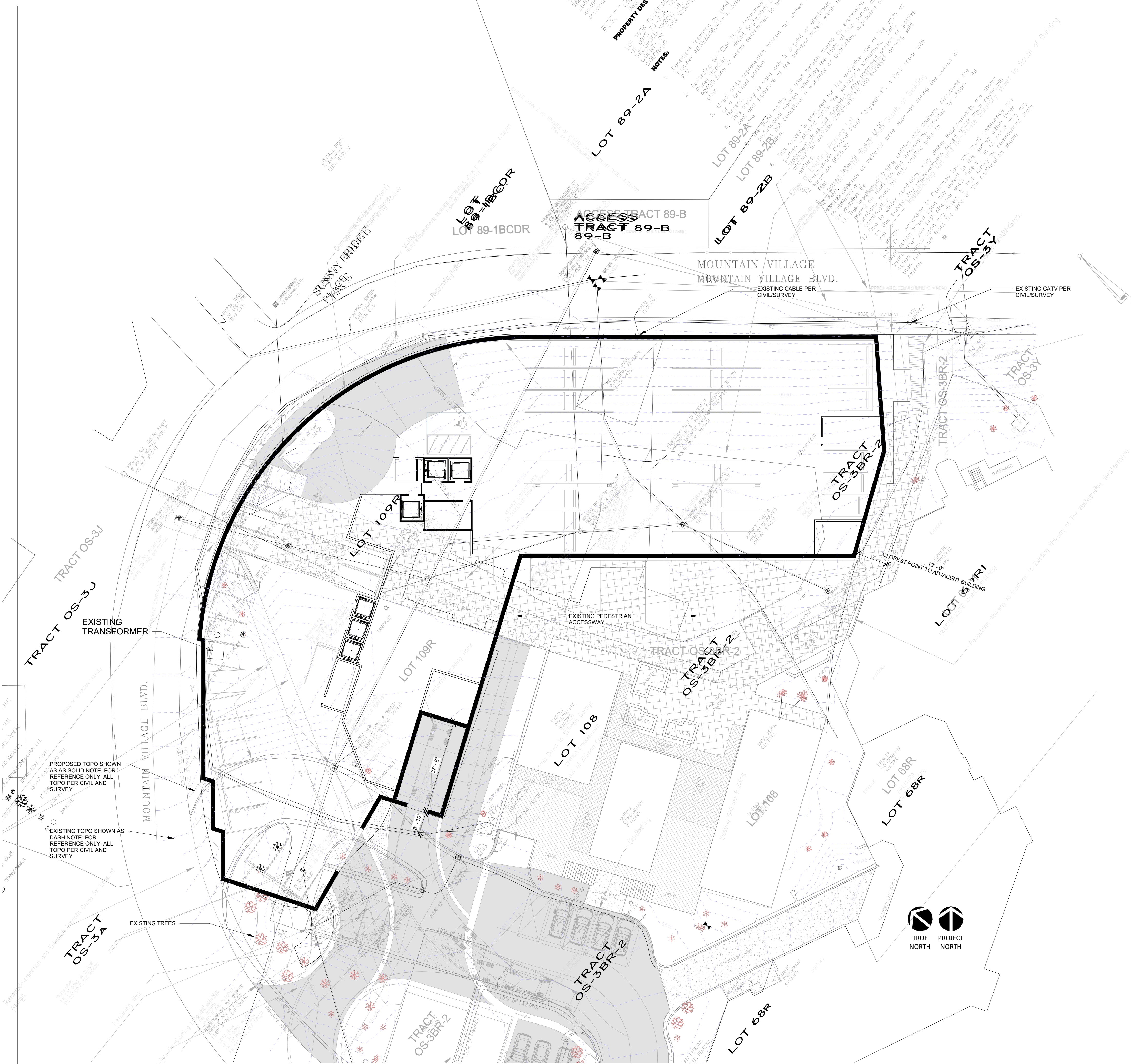
Project Number
JOB NO.

PERSPECTIVE
RENDERINGS

A-0.P5

4/22/2022 2:36:42 AM

1 Site
1" = 20'-0"



NOTE:
1. ALL TOPOGRAPHY, EXISTING UTILITIES, TREES AND OTHER SITE ELEMENTS ARE PER CIVIL AND SURVEY. EXISTING CONDITIONS SHOWN FOR REFERENCE ONLY.
2. WETLANDS ARE NOT APPLICABLE.
3. SETBACKS, EASEMENTS ETC ARE NOT APPLICABLE. REFER TO PREVIOUSLY APPROVED PUD.
4. REFER TO LANDSCAPE FOR PROPOSED REVISED DESIGN OF COURTYARD AT PEDESTRIAN ACCESSWAY.

Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

NOTES:
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KATSIA
LORD
401827

Item	No.	Date	Description

LOT 109R MAJOR PUD
AMENDMENT 04.24.2022

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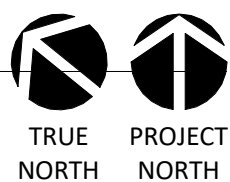
Project Number
JOB NO.

ARCHITECTURAL SITE
PLAN

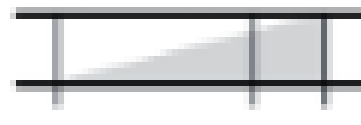
A-0.00

4/21/2022 10:46:01 PM

1 LEVEL G2 PARKING
1/16" = 1'-0"



0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"



VAULT DESIGN, LLC
1440 W 8TH ST #2309
GOLDEN, CO 80401

Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

NOTES:
1. (1) DEDICATED HOA MAINTENANCE SPACE PER PUD, RE: G2
2. STANDARD PARKING SPACE = 9' - 0" x 19' - 0" PER CDC
3. COMPACT PARKING SPACE = 9' - 0" x 16' - 0" PER CDC
4. (2) EMPLOYEE APARTMENT SPACES INCLUDED IN TOTAL
5. PARKING IS 100% VALET. (1) ACCESSIBLE PARKING SPACE HAS BEEN ADDED TO LEVEL G2 TO ACCOMMODATE A VEHICLE WITH A MODIFICATION THAT IS NOT ABLE TO BE PARKED BY THE VALET ATTENDANT.

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Item	No.	Date	Description

LOT 109R MAJOR PUD
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SEAL

FLOOR PLAN - LEVEL G2 -
OVERALL

A-1.01

ROOM LEGEND

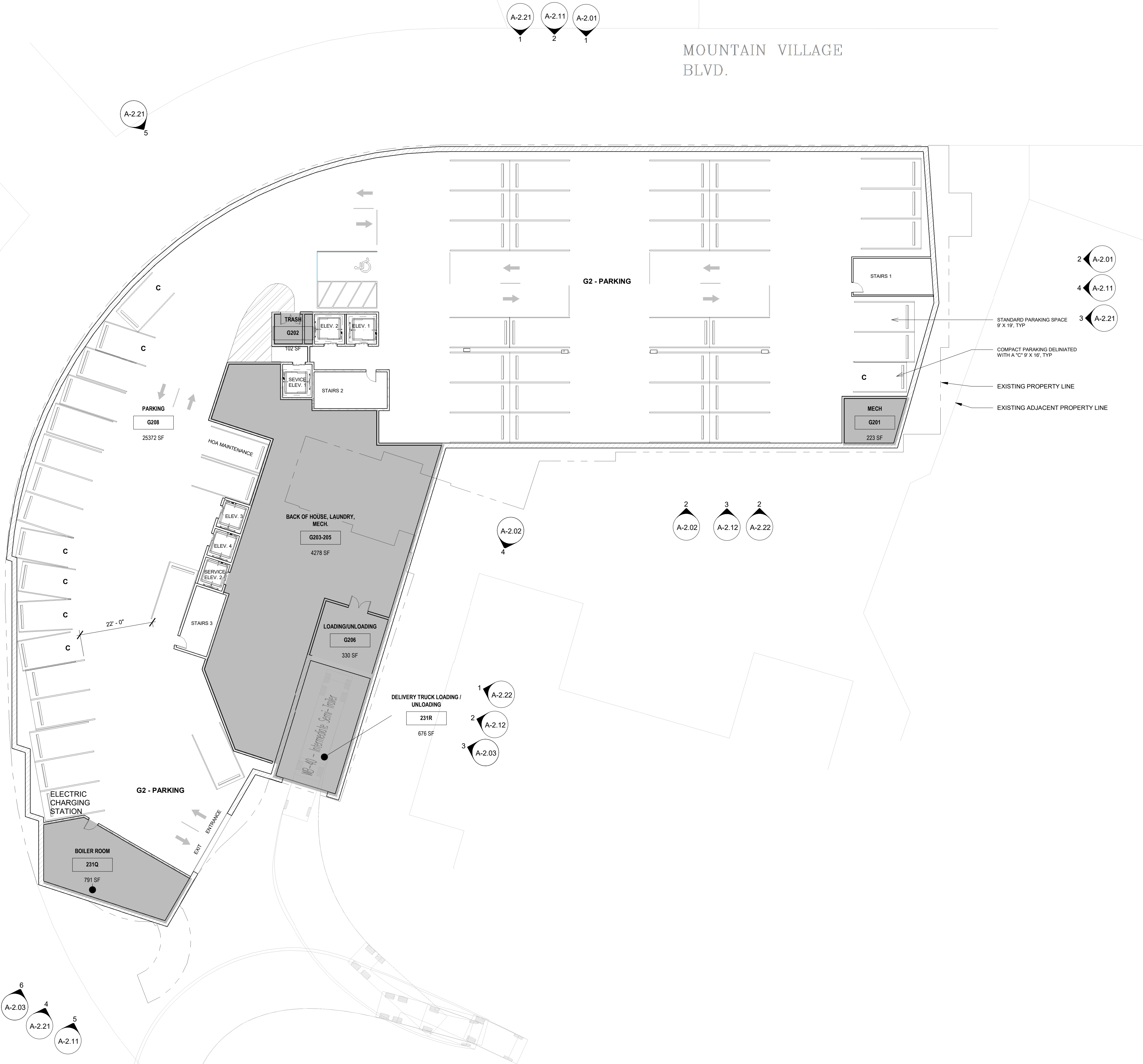
1BR APARTMENT	KITCHEN
1BR+ APARTMENT	OFFICE
2BD CONDO	PARKING
2BR APARTMENT	RECREATIONAL
3BR CONDO	RESTAURANT
4BR CONDO	RESTROOM
BALCONY	
BOH	
COMMERCIAL	
CONFERENCE	
DINING	
EMPLOYEE HOUSING	
HOTEL MOD	
HOTEL SUITE	

LEVEL G2 BACK OF HOUSE ROOM AREAS

LEVEL	NAME	NUMBER	AREA
LEVEL G2 PARKING	BOILER ROOM	Z31Q	791 SF
LEVEL G2 PARKING	DELIVERY TRUCK LOADING / UNLOADING	Z31R	676 SF
LEVEL G2 PARKING	MECH	G201	223 SF
LEVEL G2 PARKING	TRASH	G202	102 SF
LEVEL G2 PARKING	BACK OF HOUSE, LAUNDRY, MECH.	G203-205	4278 SF
LEVEL G2 PARKING	LOADING/UNLOADING	G206	330 SF
LEVEL G2 PARKING	PARKING	G208	25372 SF
TOTAL: 7	(AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM)		31771 SF

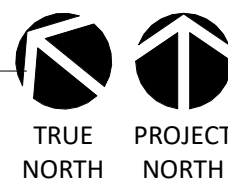
PARKING LEGEND

TYPE	PARKING LEVEL			TOTAL
	G2	G1	G1A	
STANDARD	48	25	25	98
COMPACT	7	-	2	9
STANDARD ACCESSIBLE	1	-	-	1
TOTAL	56	25	27	108



4/21/2022 10:47:00 PM

1 LEVEL G1
1/16" = 1'-0"



0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"

ROOM LEGEND

1BR APARTMENT	HOTEL MOD
1BR+ APARTMENT	HOTEL SUITE
2BD CONDO	KITCHEN
2BR APARTMENT	OFFICE
3BR CONDO	PARKING
4BR CONDO	RECREATIONAL
BALCONY	RESTAURANT
BOH	RESTROOM
COMMERCIAL	
CONFERENCE	
DINING	
EMPLOYEE HOUSING	

LEVEL G1 NON-RESIDENTIAL INTERIOR AREA

NAME	LEVEL	NUMBER	AREA
MARKET	LEVEL G1 PLAZA	G203	3383 SF
RESTROOM	LEVEL G1 PLAZA	G103	475 SF
RETAIL	LEVEL G1 PLAZA	G102B	1204 SF
SKI/EQUIPMENT STORAGE	LEVEL G1 PLAZA	G101	1282 SF
SPA	LEVEL G1 PLAZA	108	7122 SF
SPEAKEASY	LEVEL G1 PLAZA	109	1496 SF
TOTAL: 6			*AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM 14962 SF

PARKING LEGEND

TYPE	PARKING LEVEL			TOTAL
	G2	G1	G1A	
STANDARD	48	25	25	98
COMPACT	7	-	2	9
STANDARD ACCESSIBLE	1	-	-	1
TOTAL	56	25	27	108

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Item	No.	Date	Description

LOT 109R MAJOR PUD
AMENDMENT 04.24.2022

SEAL

FLOOR PLAN - LEVEL G1
PLAZA - OVERALL

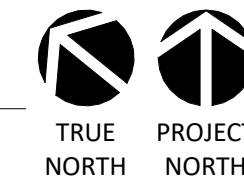
A-1.02

VAULT DESIGN, LLC
1440 W 8TH ST #2309
GOLDEN, CO 80401

Mountain Village Hotel
LOT 109R MOUNTAIN VILLAGE, CO



1 LEVEL 1
1/16" = 1'-0"



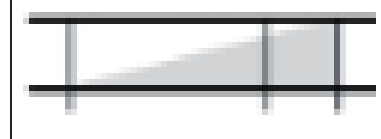
0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"

ROOM LEGEND	
1BR APARTMENT	HOTEL MOD
1BR+ APARTMENT	HOTEL SUITE
2BD CONDO	KITCHEN
2BR APARTMENT	OFFICE
3BR CONDO	PARKING
4BR CONDO	RECREATIONAL
BALCONY	RESTAURANT
BOH	RESTROOM
COMMERCIAL	
CONFERENCE	
DINING	
EMPLOYEE HOUSING	

LEVEL 1 NON-RESIDENTIAL INTERIOR AREA			
NAME	LEVEL	NUMBER	AREA
BAR	LEVEL 1	109	921 SF
FIRE DPMT ACCESS	LEVEL 1	103	157 SF
HOTEL ADMIN	LEVEL 1	104	425 SF
KITCHEN	LEVEL 1	107	747 SF
LOBBY LOUNGE	LEVEL 1	110	5385 SF
RESIDENTIAL LOBBY	LEVEL 1	101	279 SF
RESTROOM	LEVEL 1	108	142 SF
SOOTHEBY'S OFFICE	LEVEL 1	106	644 SF
VALET	LEVEL 1	102	131 SF
VAULT OFFICE	LEVEL 1	105	1036 SF
TOTAL: 10		*AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM 9868 SF	

PARKING LEGEND				
TYPE	PARKING LEVEL			TOTAL
	G2	G1	G1A	
STANDARD	48	25	25	98
COMPACT	7	-	2	9
STANDARD ACCESSIBLE	1	-	-	1
TOTAL	56	25	27	108

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1440 W 8TH ST #2309
GOLDEN, CO 80401

Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

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Item	No.	Date	Description

LOT 109R MAJOR PUD
AMENDMENT 04.24.2022

SEAL

FLOOR PLAN - LEVEL 1/G1A
PARKING - OVERALL

A-1.03



LEVEL 1 MEZZANINE NON-RESIDENTIAL INTERIOR AREA			
NAME	LEVEL	NUMBER	AREA
HOST CINEMA	LEVEL 1 MEZZANINE	M135	599 SF
HOST GAME ROOM	LEVEL 1 MEZZANINE	M130	420 SF
HOST KITCHEN	LEVEL 1 MEZZANINE	M121	407 SF
HOST LAUNDRY	LEVEL 1 MEZZANINE	M103	316 SF
HOST LOUNGE AND SELF COOKING	LEVEL 1 MEZZANINE	M102	588 SF
LIBRARY AND SELF LEARNING	LEVEL 1 MEZZANINE	M116	695 SF
TOTAL: 6			3025 SF

LEVEL 1 MEZZANINE NRESIDENTIAL INTERIOR AREA			
NAME	LEVEL	NUMBER	AREA
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M101	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M102	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M103	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M104	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M105	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M106	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M107	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M108	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M109	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M110	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M111	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M112	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M113	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M114	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M115	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M116	322 SF
EMPLOYEE DORM	LEVEL 1 MEZZANINE	M117	322 SF
EMPLOYEE HOUSING	LEVEL 1 MEZZANINE	M118	322 SF
EMPLOYEE APARTMENT	LEVEL 1 MEZZANINE	M119	411 SF
EMPLOYEE APARTMENT	LEVEL 1 MEZZANINE	M120	410 SF
TOTAL: 20			6618 SF

UNIT SUMMARY					
LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD EMPLOYEE UNITS	13,728
LEVEL 02	HOTEL MOD	491-749	24		
	HOTEL R. SUITE	621-114	3	31 HOTEL UNITS	32,297
	HOTEL SUITE	806-1199	4		
LEVEL 03	HOTEL MOD	507-722	24		
	HOTEL R. SUITE	621-114	3	31 HOTEL UNITS	31,622
	HOTEL SUITE	807-1165	4		
LEVEL 04	198 APARTMENT	1282-334	8		
LEVEL 04A	168 APARTMENT - B/A	1090-1125	3	18 APARTMENT UNITS	30,473
	278 APARTMENT	1128-138	7		
	248 CONDO	1324-154	7		
	38R CONDO	2124-2340	3	10 CONDO UNITS	30,288
LEVEL 05	38R CONDO	1616-2123	5		
LEVEL 06	38R CONDO	1616-2123	5	5 CONDO UNITS	29,412
LEVEL 07	38R CONDO	1586-1772	5		
	48S CONDO	2312-3778	2	7 CONDO UNITS	23,990
TOTALS					192,891

UNIT MIX						
RESIDENTIAL UNITS:		TOTALS	HOTEL UNITS:		TOTALS	
EMPLOYEE	20	20	HOTEL MOD		48 (77%)	62
1 BR APARTMENT	11	18	HOTEL JR. SUITE	06		
2 BR APARTMENT	07		HOTEL SUITE	08	14 (23%)	
2 BR CONDO	07					
3 BR CONDO	08	22				
3+4 BR PENTHOUSE CONDO	07					



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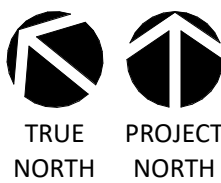
LOT 109R MAJOR PUD
AMENDMENT 04.24.2022

SEAL

JOB NO. **Project Number**

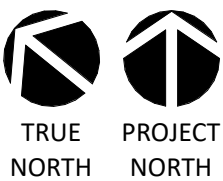
FLOOR PLAN - LEVEL 2 -
OVERALL

A-1.05



4/22/2022 2:29:25 AM

1 LEVEL 3
1/16" = 1'-0"



ROOM LEGEND

- 1BR APARTMENT

1BR+ APARTMENT

2BD CONDO

2BR APARTMENT

3BR CONDO

4BR CONDO

BALCONY

BOH

COMMERCIAL

CONFERENCE
- DINING

EMPLOYEE HOUSING

HOTEL MOD

HOTEL SUITE

KITCHEN

OFFICE

PARKING

RECREATIONAL

RESTAURANT

RESTROOM

UNIT SUMMARY					
LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD	13,728
LEVEL 02	HOTEL MOD	491 - 749	24	31 HOTEL UNITS	32,287
	HOTEL JR. SUITE	825 - 875	3		
LEVEL 03	HOTEL SUITE	826 - 1199	4	31 HOTEL UNITS	31,622
	HOTEL MOD	567 - 722	24		
LEVEL 04	HOTEL JR. SUITE	821 - 744	3	18 APARTMENT UNITS	30,473
	HOTEL SUITE	827 - 1165	4		
	1 BR APARTMENT	740 - 598	8		
	1 BR APARTMENT + BIA	1009 - 1125	3		
LEVEL 05	2 BR APARTMENT	1125 - 1388	7	10 CONDO UNITS	30,288
	3 BR CONDO	1315 - 1504	7		
LEVEL 06	3 BR CONDO	2124 - 2380	3	5 CONDO UNITS	29,412
	3 BR CONDO	1616 - 2123	5		
LEVEL 07	3 BR CONDO	1986 - 1197	2	7 CONDO UNITS	23,990
	4 BR CONDO	2312 - 3770	5		
TOTALS					191,810

UNIT MIX

RESIDENTIAL UNITS:		TOTALS	HOTEL UNITS:		TOTALS
EMPLOYEE	20	20	HOTEL MOD	24	48 (77%)
1 BR APARTMENT	11	18	HOTEL JR. SUITE	36	62
2 BR APARTMENT	07	07	HOTEL SUITE	38	14 (23%)
3 BR CONDO	08	08			
3-4 BR PENTHOUSE CONDO	07	22			

LEVEL 3 NON-RESIDENTIAL INTERIOR AREA

LEVEL	NAME	NUMBER	AREA
LEVEL 3	BOH	335	157 SF
LEVEL 3	HKPG	334	307 SF
TOTAL: 2			464 SF

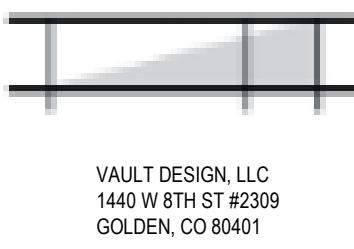
HOTEL ROOM INTERIOR AREA

LEVEL	NAME	NUMBER	AREA
LEVEL 3	HOTEL MOD	314	721 SF
LEVEL 3	HOTEL MOD	312	595 SF
LEVEL 3	HOTEL MOD	310	593 SF
LEVEL 3	HOTEL MOD	308	588 SF
LEVEL 3	HOTEL MOD	306	589 SF
LEVEL 3	HOTEL MOD	304	588 SF
LEVEL 3	HOTEL MOD	303	515 SF
LEVEL 3	HOTEL MOD	305	515 SF
LEVEL 3	HOTEL MOD	307	515 SF
LEVEL 3	HOTEL MOD	309	515 SF
LEVEL 3	HOTEL MOD	311	515 SF
LEVEL 3	HOTEL MOD	313	516 SF
LEVEL 3	HOTEL MOD	315	551 SF
LEVEL 3	HOTEL MOD	316	584 SF
LEVEL 3	HOTEL MOD	317	527 SF
LEVEL 3	HOTEL MOD	319	537 SF
LEVEL 3	HOTEL MOD	321	550 SF
LEVEL 3	HOTEL MOD	323	564 SF
LEVEL 3	HOTEL MOD	325	525 SF
LEVEL 3	HOTEL MOD	327	614 SF
LEVEL 3	HOTEL MOD	329	500 SF
LEVEL 3	HOTEL MOD	330	527 SF
LEVEL 3	HOTEL MOD	328	528 SF
LEVEL 3	HOTEL MOD	326	530 SF
TOTAL: 24			13301 SF

HOTEL SUITE INTERIOR AREA

LEVEL	NAME	NUMBER	AREA
LEVEL 3	HOTEL SUITE	302	985 SF
LEVEL 3	HOTEL SUITE	301	827 SF
LEVEL 3	HOTEL SUITE	318	621 SF
LEVEL 3	HOTEL SUITE	331	854 SF
LEVEL 3	HOTEL SUITE	332	773 SF
LEVEL 3	HOTEL SUITE	322	825 SF
LEVEL 3	HOTEL SUITE	320	1147 SF
TOTAL: 7			6032 SF

NOTE: AREAS SHOWN ARE TAKEN TO INSIDE FACE OF FINISH



Mountain Village Hotel
LOT 109R MOUNTAIN VILLAGE, CO

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SEAL

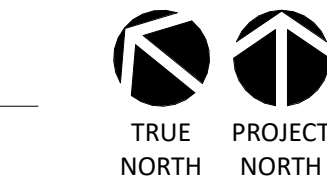
Project Number
JOB NO.

FLOOR PLAN - LEVEL 3 -
OVERALL

A-1.06

4/22/2022 2:30:15 AM

1 LEVEL 4
1/16" = 1'-0"



Item	No.	Date	Description

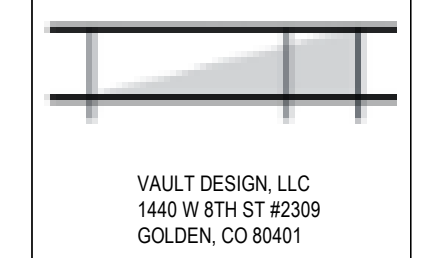
LOT 109R MAJOR PUD
AMENDMENT 04.24.2022

SEAL

Project Number
JOB NO.

FLOOR PLAN - LEVEL 4 -
OVERALL

A-1.07



Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

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ROOM LEGEND

1BR APARTMENT	DINING
1BR+ APARTMENT	EMPLOYEE HOUSING
2BD CONDO	HOTEL MOD
2BR APARTMENT	HOTEL SUITE
3BR CONDO	KITCHEN
4BR CONDO	OFFICE
BALCONY	PARKING
BOH	RECREATIONAL
COMMERCIAL	RESTAURANT
CONFERENCE	RESTROOM

UNIT SUMMARY					
LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD EMPLOYEE UNITS	13,728
LEVEL 02	HOTEL MOD	491-749	24	31 HOTEL UNITS	32,287
	HOTEL JR. SUITE	825-875	3		
	HOTEL SUITE	825-1199	4		
LEVEL 03	HOTEL MOD	307-722	24	31 HOTEL UNITS	31,622
	HOTEL JR. SUITE	821-744	3		
	HOTEL SUITE	827-1165	4		
LEVEL 04	1 BR APARTMENT	740-598	8	18 APARTMENT UNITS	30,473
	1 BR APARTMENT + BAL	1009-1125	3		
	2 BR APARTMENT	1125-1388	7		
	3 BR CONDO	1375-1584	7		
LEVEL 05	2 BR APARTMENT	1125-1388	7	10 CONDO UNITS	30,288
	3 BR CONDO	2124-2340	3		
LEVEL 06	3 BR CONDO	1916-2123	5	5 CONDO UNITS	29,412
LEVEL 07	3 BR CONDO	1992-2197	2		
	4 BR CONDO	2312-3770	5	7 CONDO UNITS	23,990
TOTALS					191,810

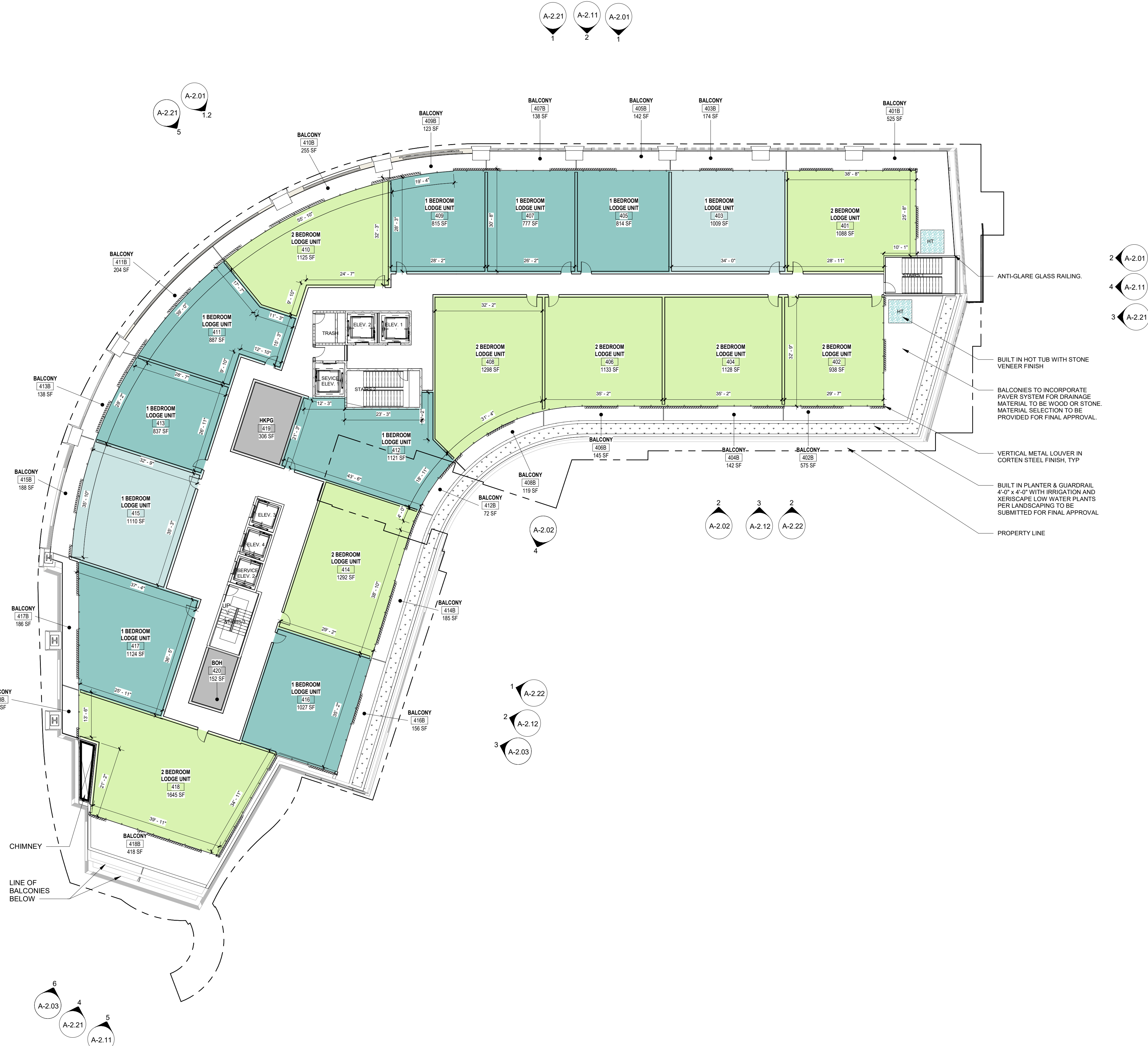
UNIT MIX					
RESIDENTIAL UNITS:	TOTALS	HOTEL UNITS:	TOTALS		
EMPLOYEE	20	HOTEL MOD	405	48 (77%)	
1 BR APARTMENT	11	HOTEL JR. SUITE	28		62
2 BR APARTMENT	07	HOTEL SUITE	28	14 (23%)	
2 BR CONDO	07				
3 BR CONDO	08				
3-4 BR PENTHOUSE CONDO	07				

LEVEL 4 NON-RESIDENTIAL INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 4	BOH	420	152 SF
LEVEL 4	HKPG	419	306 SF
TOTAL: 2			457 SF

APARTMENT INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 4	1 BEDROOM LODGE UNIT	403	1009 SF
LEVEL 4	1 BEDROOM LODGE UNIT	405	814 SF
LEVEL 4	1 BEDROOM LODGE UNIT	407	777 SF
LEVEL 4	1 BEDROOM LODGE UNIT	409	815 SF
LEVEL 4	1 BEDROOM LODGE UNIT	411	887 SF
LEVEL 4	1 BEDROOM LODGE UNIT	413	837 SF
LEVEL 4	1 BEDROOM LODGE UNIT	415	1110 SF
LEVEL 4	1 BEDROOM LODGE UNIT	417	1124 SF
LEVEL 4	1 BEDROOM LODGE UNIT	416	1027 SF
LEVEL 4	1 BEDROOM LODGE UNIT	412	1121 SF
LEVEL 4	2 BEDROOM LODGE UNIT	408	1298 SF
LEVEL 4	2 BEDROOM LODGE UNIT	406	1133 SF
LEVEL 4	2 BEDROOM LODGE UNIT	404	1128 SF
LEVEL 4	2 BEDROOM LODGE UNIT	402	938 SF
LEVEL 4	2 BEDROOM LODGE UNIT	401	1088 SF
LEVEL 4	2 BEDROOM LODGE UNIT	410	1125 SF
LEVEL 4	2 BEDROOM LODGE UNIT	414	1292 SF
LEVEL 4	2 BEDROOM LODGE UNIT	418	1645 SF
TOTAL: 18			19169 SF

APARTMENT INTERIOR BALCONY AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 4	BALCONY	401B	525 SF
LEVEL 4	BALCONY	402B	575 SF
LEVEL 4	BALCONY	403B	174 SF
LEVEL 4	BALCONY	404B	142 SF
LEVEL 4	BALCONY	405B	142 SF
LEVEL 4	BALCONY	406B	145 SF
LEVEL 4	BALCONY	407B	138 SF
LEVEL 4	BALCONY	408B	119 SF
LEVEL 4	BALCONY	409B	123 SF
LEVEL 4	BALCONY	410B	255 SF
LEVEL 4	BALCONY	411B	204 SF
LEVEL 4	BALCONY	412B	72 SF
LEVEL 4	BALCONY	413B	138 SF
LEVEL 4	BALCONY	414B	185 SF
LEVEL 4	BALCONY	415B	188 SF
LEVEL 4	BALCONY	416B	156 SF
LEVEL 4	BALCONY	417B	186 SF
LEVEL 4	BALCONY	418B	418 SF
LEVEL 4	BALCONY	418B	66 SF
TOTAL: 19			3950 SF

*AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM



ANTI-GLARE GLASS RAILING.

BUILT IN HOT TUB WITH STONE VENEER FINISH.

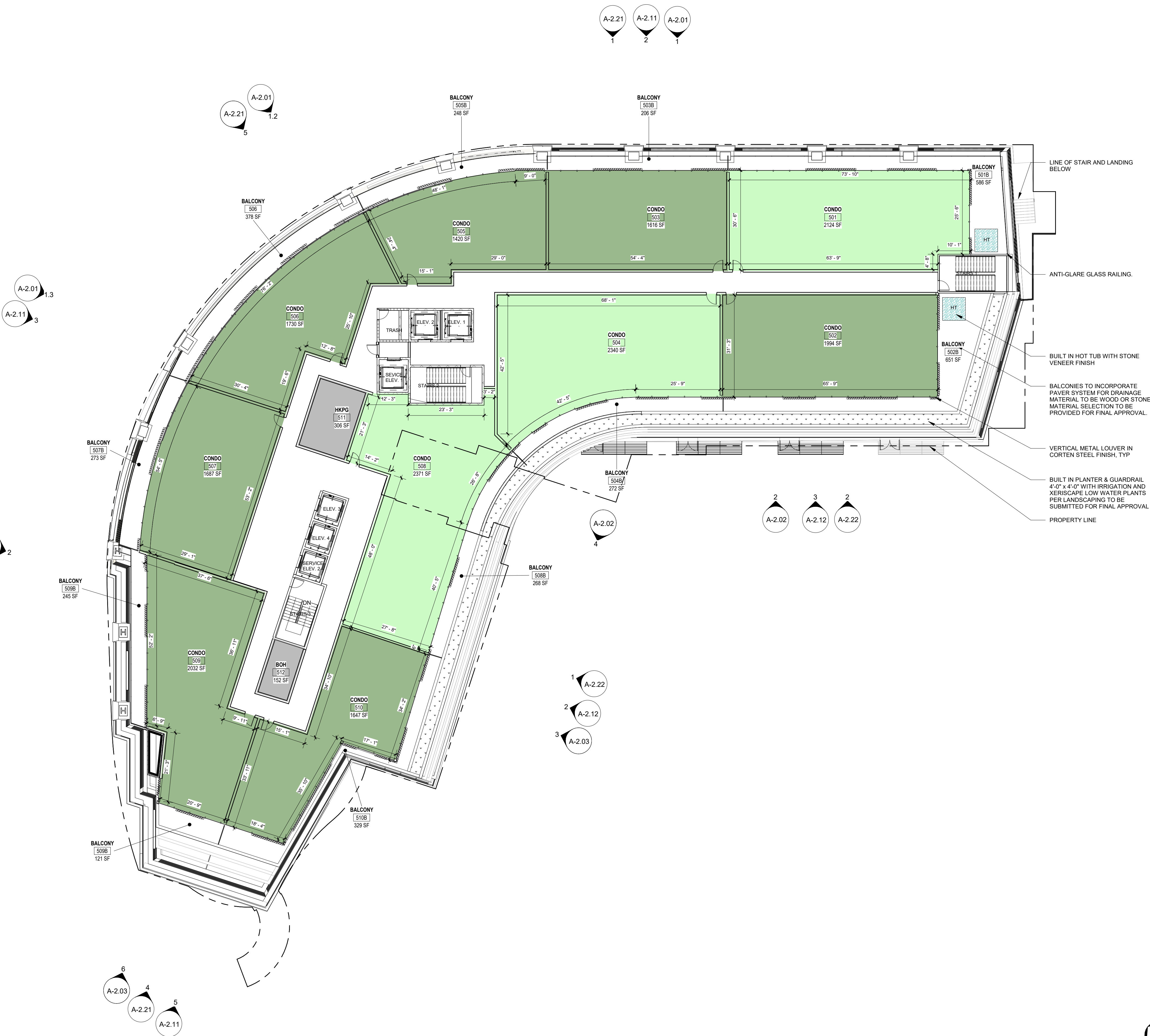
BALCONIES TO INCORPORATE PAVER SYSTEM FOR DRAINAGE MATERIAL TO BE WOOD OR STONE. MATERIAL SELECTION TO BE PROVIDED FOR FINAL APPROVAL.

VERTICAL METAL LOUVER IN CORTEN STEEL FINISH, TYP

BUILT IN PLANTER & GUARDRAIL 4'-0" X 4'-0" WITH IRRIGATION AND XERISCAPE LOW WATER PLANTS PER LANDSCAPING TO BE SUBMITTED FOR FINAL APPROVAL.

PROPERTY LINE

1 LEVEL 5
1/16" = 1'-0"



ROOM LEGEND

- 1BR APARTMENT
- 1BR+ APARTMENT
- 2BD CONDO
- 2BR APARTMENT
- 3BR CONDO
- 4BR CONDO
- BALCONY
- BOH
- COMMERCIAL
- CONFERENCE
- DINING
- EMPLOYEE HOUSING
- HOTEL MOD
- HOTEL SUITE
- KITCHEN
- OFFICE
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UNIT SUMMARY					
LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD	13,728
LEVEL 02	HOTEL MOD	491 - 749	24	31 HOTEL UNITS	32,287
	HOTEL JR. SUITE	825 - 875	3		
	HOTEL SUITE	825 - 1189	4		
LEVEL 03	HOTEL MOD	367 - 722	24	31 HOTEL UNITS	31,622
	HOTEL JR. SUITE	821 - 744	3		
	HOTEL SUITE	827 - 1185	4		
LEVEL 04	1 BR APARTMENT	740 - 598	8	18 APARTMENT UNITS	30,473
	1 BR APARTMENT + BA	1009 - 1125	3		
	2 BR APARTMENT	1125 - 1388	7		
LEVEL 05	2 BR CONDO	1375 - 1584	7	10 CONDO UNITS	30,288
	3 BR CONDO	2124 - 2340	3		
	3 BR CONDO	1986 - 1197	2		
LEVEL 06	3 BR CONDO	1986 - 1197	2	5 CONDO UNITS	29,412
	4 BR CONDO	2312 - 3770	5		
LEVEL 07	4 BR CONDO	2312 - 3770	5	7 CONDO UNITS	23,990
TOTALS					191,810

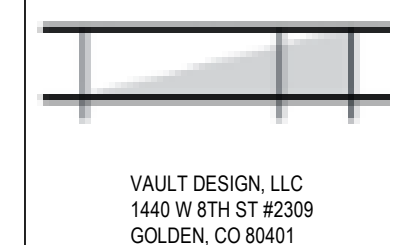
UNIT MIX					
RESIDENTIAL UNITS		TOTALS	HOTEL UNITS		TOTALS
EMPLOYEE	20	20	HOTEL MOD	48	48 (77%)
1 BR APARTMENT	11	11	HOTEL JR. SUITE	36	
2 BR APARTMENT	07	07	HOTEL SUITE	28	14 (23%)
2 BR CONDO	07				
3 BR CONDO	08	22			
3-4 BR PENTHOUSE CONDO	07				

LEVEL 5 NON-RESIDENTIAL INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5	HKPG	511	306 SF
LEVEL 5	BOH	512	152 SF
TOTAL: 2			457 SF

CONDO INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5	CONDO	501	2124 SF
LEVEL 5	CONDO	502	1994 SF
LEVEL 5	CONDO	503	1616 SF
LEVEL 5	CONDO	504	2340 SF
LEVEL 5	CONDO	505	1420 SF
LEVEL 5	CONDO	506	1730 SF
LEVEL 5	CONDO	507	1687 SF
LEVEL 5	CONDO	508	2371 SF
LEVEL 5	CONDO	509	2032 SF
LEVEL 5	CONDO	510	1647 SF
TOTAL: 10			18962 SF

CONDO INTERIOR BALCONY AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5	BALCONY	501B	586 SF
LEVEL 5	BALCONY	502B	651 SF
LEVEL 5	BALCONY	503B	206 SF
LEVEL 5	BALCONY	504B	272 SF
LEVEL 5	BALCONY	505B	248 SF
LEVEL 5	BALCONY	506	378 SF
LEVEL 5	BALCONY	507B	273 SF
LEVEL 5	BALCONY	508B	268 SF
LEVEL 5	BALCONY	509B	245 SF
LEVEL 5	BALCONY	509B	121 SF
LEVEL 5	BALCONY	510B	329 SF
LEVEL 6	BALCONY	601B	601 SF
LEVEL 6	BALCONY	602B	637 SF
LEVEL 6	BALCONY	603B	218 SF
LEVEL 6	BALCONY	604B	306 SF
LEVEL 6	BALCONY	605B	388 SF
LEVEL 7	BALCONY	701B	1525 SF
LEVEL 7	BALCONY	702B	1135 SF
LEVEL 7	BALCONY	703B	328 SF
LEVEL 7	BALCONY	704B	566 SF
LEVEL 7	BALCONY	705B	132 SF
LEVEL 7	BALCONY	707B	1082 SF
TOTAL: 22			10495 SF

NOTE: AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM



Mountain Village Hotel
LOT 109R MOUNTAIN VILLAGE, CO

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Item	No.	Date	Description

LOT 109R MAJOR PUD
AMENDMENT 04.24.2022

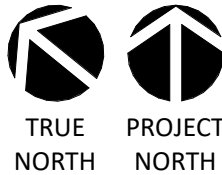
SEAL

Project Number
JOB NO.

FLOOR PLAN - LEVEL 5 -
OVERALL

A-1.08

1 LEVEL 6
1/16" = 1'-0"



ROOM LEGEND

- 1BR APARTMENT

1BR+ APARTMENT

2BD CONDO

2BR APARTMENT

3BR CONDO

4BR CONDO

BALCONY

BOH

COMMERCIAL

CONFERENCE
- DINING

EMPLOYEE HOUSING

HOTEL MOD

HOTEL SUITE

KITCHEN

OFFICE

PARKING

RECREATIONAL

RESTAURANT

RESTROOM

UNIT SUMMARY					
LEVEL	UNIT TYPE	UNIT G.S.F.	COUNT	UNITS BY FLOOR	G.S.F.
LEVEL 01A (MEZZ)	EMPLOYEE HOUSING	TBD	TBD	TBD EMPLOYEE UNITS	13,728
LEVEL 02	HOTEL MOD.	491 - 749	24	31 HOTEL UNITS	32,287
	HOTEL JR. SUITE	825 - 875	3		
	HOTEL SUITE	885 - 1199	4		
LEVEL 03	HOTEL MOD.	367 - 722	24	31 HOTEL UNITS	31,622
	HOTEL JR. SUITE	821 - 144	3		
	HOTEL SUITE	827 - 1165	4		
LEVEL 04	1 BR APARTMENT	740 - 538	8	18 APARTMENT UNITS	30,473
	1 BR APARTMENT + BIA	1009 - 1125	3		
	2 BR APARTMENT	1328 - 1389	7		
	2 BR CONDO	1374 - 1594	7		
	3 BR CONDO	2124 - 2340	3		
LEVEL 05	3 BR CONDO	1916 - 2123	3	10 CONDO UNITS	30,288
	3 BR CONDO	1986 - 1177	2		
LEVEL 06	3 BR CONDO	1986 - 1177	2	5 CONDO UNITS	29,412
	4 BR CONDO	2312 - 3770	5		
TOTALS					191,810

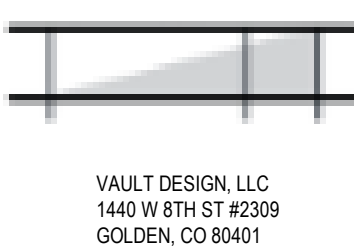
UNIT MIX					
RESIDENTIAL UNITS		TOTALS	HOTEL UNITS		TOTALS
EMPLOYEE	20	20	HOTEL MOD.	507	48 (77%)
1 BR APARTMENT	11	18	HOTEL JR. SUITE	36	
2 BR APARTMENT	07	07	HOTEL SUITE	08	14 (23%)
3 BR CONDO	08	22			
3-4 BR PENTHOUSE CONDO	07				

LEVEL 6 NON-RESIDENTIAL INTERIOR AREA			
NAME	LEVEL	NUMBER	AREA
KITCHEN	LEVEL 6	507	752 SF
MENS	LEVEL 6	608	403 SF
OMAKASE & POOL BAR	LEVEL 6	611	1231 SF
SIGNATURE DINING	LEVEL 6	606	1992 SF
WEDDING/ CONFERENCE	LEVEL 6	610	1869 SF
WOMENS	LEVEL 6	609	466 SF
TOTAL: 6			6712 SF

CONDO INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5	CONDO	501	2124 SF
LEVEL 5	CONDO	502	1994 SF
LEVEL 5	CONDO	503	1616 SF
LEVEL 5	CONDO	504	2340 SF
LEVEL 5	CONDO	505	1420 SF
LEVEL 5	CONDO	506	1730 SF
LEVEL 5	CONDO	507	1687 SF
LEVEL 5	CONDO	508	2371 SF
LEVEL 5	CONDO	509	2032 SF
LEVEL 5	CONDO	510	1647 SF
TOTAL: 10			18962 SF

CONDO INTERIOR BALCONY AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5	BALCONY	501B	586 SF
LEVEL 5	BALCONY	502B	651 SF
LEVEL 5	BALCONY	503B	206 SF
LEVEL 5	BALCONY	504B	272 SF
LEVEL 5	BALCONY	505B	248 SF
LEVEL 5	BALCONY	506	378 SF
LEVEL 5	BALCONY	507B	273 SF
LEVEL 5	BALCONY	508B	268 SF
LEVEL 5	BALCONY	509B	245 SF
LEVEL 5	BALCONY	510B	329 SF
LEVEL 6	BALCONY	601B	601 SF
LEVEL 6	BALCONY	602B	637 SF
LEVEL 6	BALCONY	603B	218 SF
LEVEL 6	BALCONY	604B	308 SF
LEVEL 6	BALCONY	605B	389 SF
LEVEL 7	BALCONY	701B	1526 SF
LEVEL 7	BALCONY	702B	1135 SF
LEVEL 7	BALCONY	703B	328 SF
LEVEL 7	BALCONY	704B	566 SF
LEVEL 7	BALCONY	705B	132 SF
LEVEL 7	BALCONY	707B	1082 SF
TOTAL: 22			10495 SF

NOTE: AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM



Mountain Village Hotel
LOT 109R MOUNTAIN VILLAGE, CO

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LOT 109R MAJOR PUD
AMENDMENT 04.24.2022

SEAL

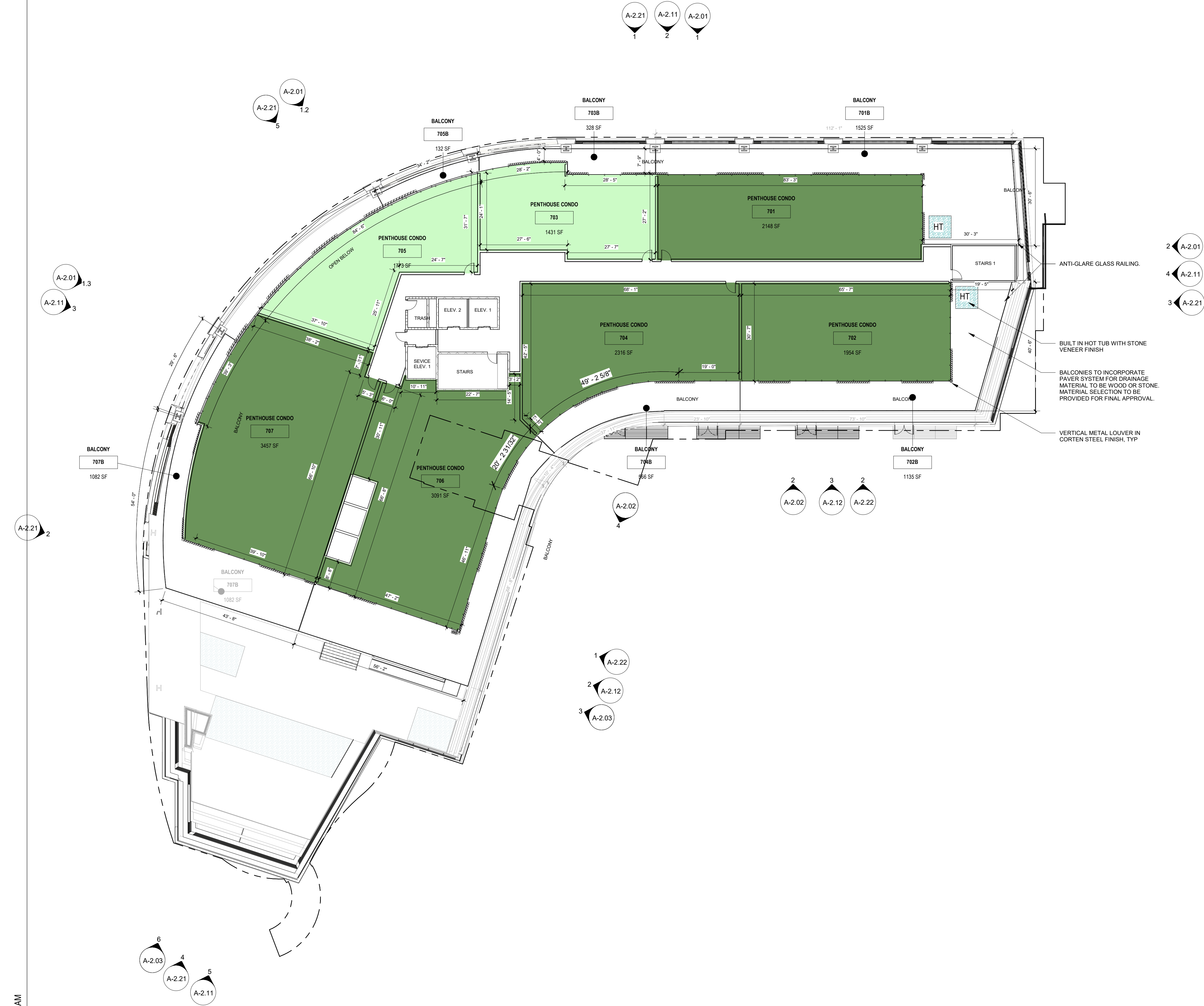
Project Number
JOB NO.

FLOOR PLAN - LEVEL 6 -
OVERALL

A-1.09

4/22/2022 2:34:43 AM

1
LEVEL 7
1/16" = 1'-0"



ROOM LEGEND

- 1BR APARTMENT
- 1BR+ APARTMENT
- 2BD CONDO
- 2BR APARTMENT
- 3BR CONDO
- 4BR CONDO
- BALCONY
- BOH
- COMMERCIAL
- CONFERENCE
- DINING
- EMPLOYEE HOUSING
- HOTEL MOD
- HOTEL SUITE
- KITCHEN
- OFFICE
- PARKING
- RECREATIONAL
- RESTAURANT
- RESTROOM

UNIT SUMMARY					
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	HOTEL SUITE	825 - 1159	4		
LEVEL 03	HOTEL MOD	507 - 722	24	31 HOTEL UNITS	31,622
	HOTEL JR. SUITE	821 - 144	3		
	HOTEL SUITE	827 - 1165	4		
LEVEL 04	1 BR APARTMENT	740 - 508	8	18 APARTMENT UNITS	30,473
	1 BR APARTMENT - BIA	1009 - 1125	3		
	2 BR APARTMENT	1125 - 1388	7		
	2 BR CONDO	1324 - 1584	7		
	3 BR CONDO	2124 - 2340	3		
LEVEL 05	3 BR CONDO	1616 - 2123	5	10 CONDO UNITS	30,288
LEVEL 06	3 BR CONDO	1986 - 1193	2	5 CONDO UNITS	29,412
LEVEL 07	4 BR CONDO	2332 - 3270	5	7 CONDO UNITS	23,990
TOTALS					191,810

UNIT MIX					
RESIDENTIAL UNITS:		TOTALS	HOTEL UNITS:		TOTALS
EMPLOYEE	20	20	HOTEL MOD	48 (77%)	
1 BR APARTMENT	11	18	HOTEL JR. SUITE	36	62
2 BR APARTMENT	07		HOTEL SUITE	28 (14 (23%))	
2 BR CONDO	07				
3 BR CONDO	08	22			
3-4 BR PENTHOUSE CONDO	07				

CONDO INTERIOR AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5	CONDO	501	2124 SF
LEVEL 5	CONDO	502	1994 SF
LEVEL 5	CONDO	503	1616 SF
LEVEL 5	CONDO	504	2340 SF
LEVEL 5	CONDO	505	1420 SF
LEVEL 5	CONDO	506	1730 SF
LEVEL 5	CONDO	507	1687 SF
LEVEL 5	CONDO	508	2371 SF
LEVEL 5	CONDO	509	2032 SF
LEVEL 5	CONDO	510	1647 SF
TOTAL: 10			18962 SF

CONDO INTERIOR BALCONY AREA			
LEVEL	NAME	NUMBER	AREA
LEVEL 5	BALCONY	501B	586 SF
LEVEL 5	BALCONY	502B	651 SF
LEVEL 5	BALCONY	503B	206 SF
LEVEL 5	BALCONY	504B	272 SF
LEVEL 5	BALCONY	505B	248 SF
LEVEL 5	BALCONY	506	378 SF
LEVEL 5	BALCONY	507B	273 SF
LEVEL 5	BALCONY	508B	268 SF
LEVEL 5	BALCONY	509B	245 SF
LEVEL 5	BALCONY	509B	121 SF
LEVEL 5	BALCONY	510B	329 SF
LEVEL 6	BALCONY	601B	601 SF
LEVEL 6	BALCONY	602B	637 SF
LEVEL 6	BALCONY	603B	218 SF
LEVEL 6	BALCONY	604B	306 SF
LEVEL 6	BALCONY	605B	388 SF
LEVEL 7	BALCONY	701B	1525 SF
LEVEL 7	BALCONY	702B	1135 SF
LEVEL 7	BALCONY	703B	326 SF
LEVEL 7	BALCONY	704B	596 SF
LEVEL 7	BALCONY	705B	132 SF
LEVEL 7	BALCONY	707B	1082 SF
TOTAL: 22			10495 SF

NOTE: AREAS TAKEN TO INSIDE FACE OF FINISH AT EACH ROOM

VaulT DESIGN, LLC
1440 W 8TH ST #2309
GOLDEN, CO 80401

Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

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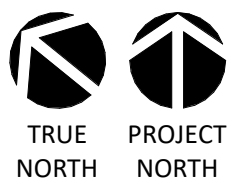
LOT 109R MAJOR PUD
AMENDMENT 04.24.2022

SEAL

Project Number
JOB NO.

FLOOR PLAN - LEVEL 7 -
OVERALL

A-1.10



Mountain Village Hotel
LOT 109R MOUNTAIN VILLAGE, CO

NOTICE: DUTY OF COOPERATION
RELEASE OF THESE DOCUMENTS
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AND THE ARCHITECT DESIGN AND
CONSTRUCTION ARE COMPLEX. ALTHOUGH THE
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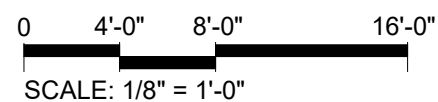
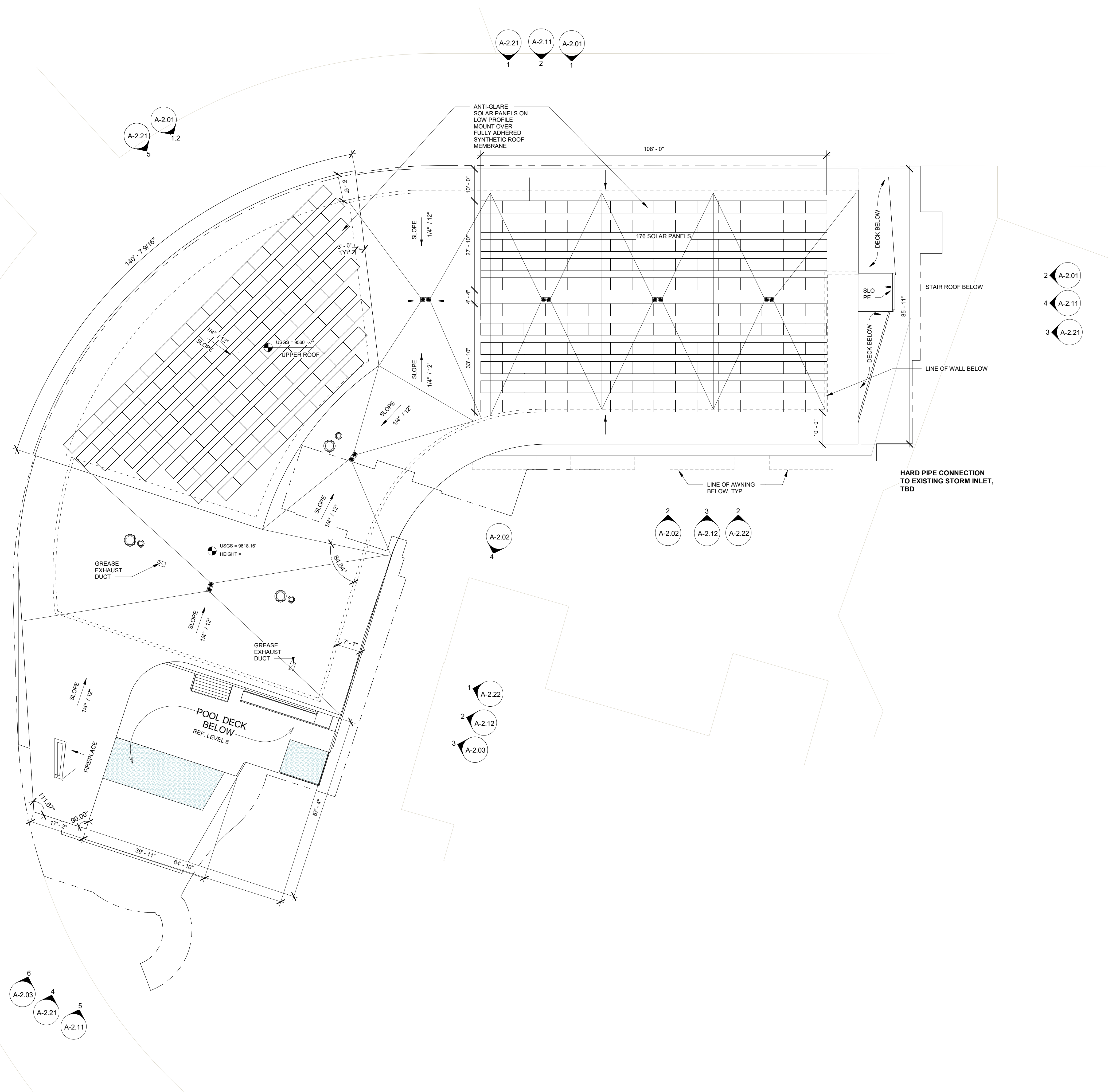
Item	No.	Date	Description

LOT 109R MAJOR PUD
AMENDMENT 04.24.2022

SEAL

ROOF

A-1.11

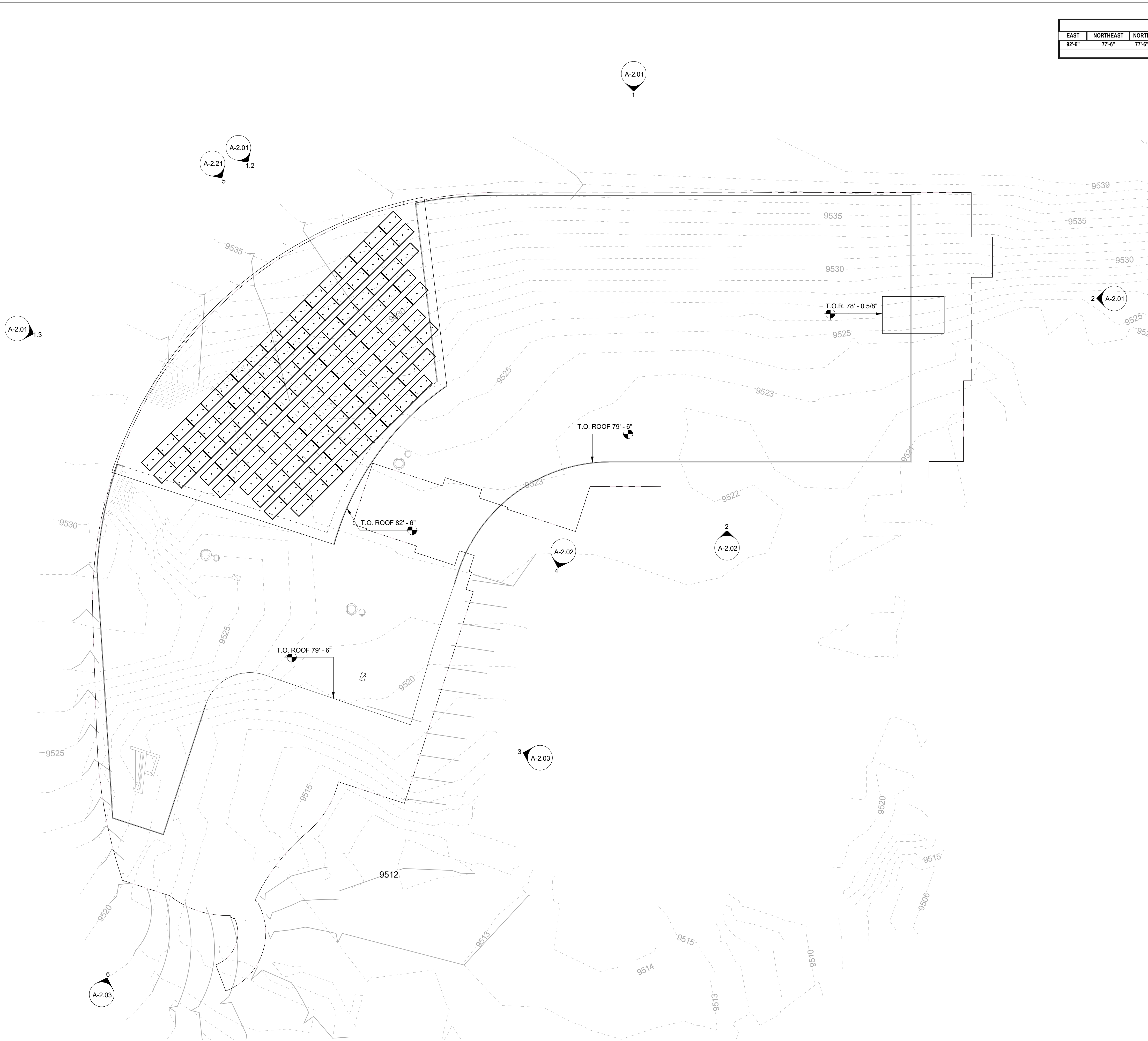





NOTE: YELLOW DELINEATES HEIGHT TAKEN FROM MOST STRINGENT TOPO.

A-1.12

1 MAX HEIGHT PLAN
1/16" = 1'-0"



MAX BUILDING HEIGHT PROPOSED						
EAST	NORTHEAST	NORTH	NORTHWEST	WEST	SOUTHEAST	SOUTHWEST
92'-6"	77'-6"	77'-6"	77'-6"	96'-8"	96'-2"	85'-6"
MAX BUILDING HEIGHT						96'-8"



Vault Design, LLC
1440 W 8TH ST #
2309
GOLDEN, CO 80401

Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

NOTICE OF COOPERATION
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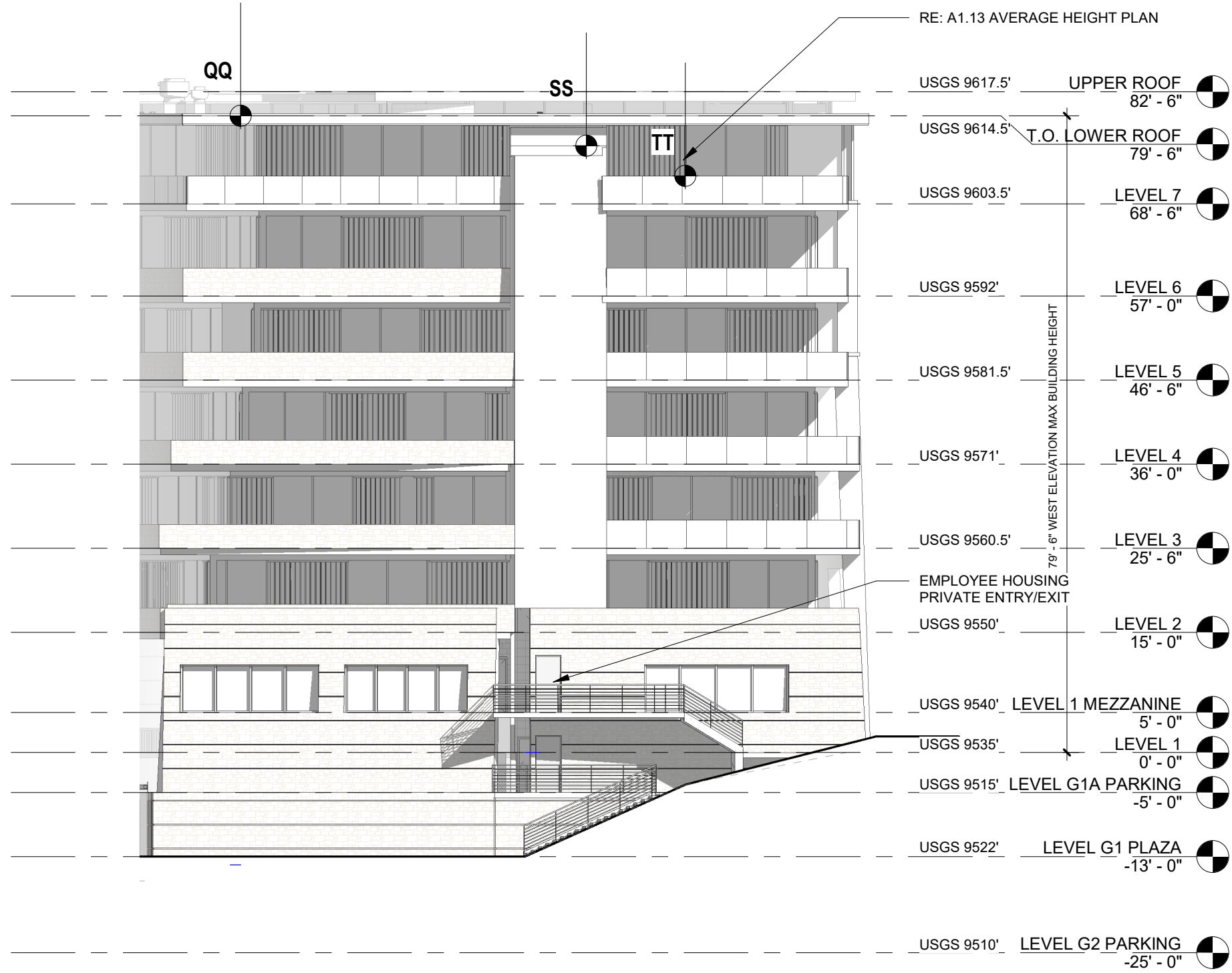
LOT 109R MAJOR PUD
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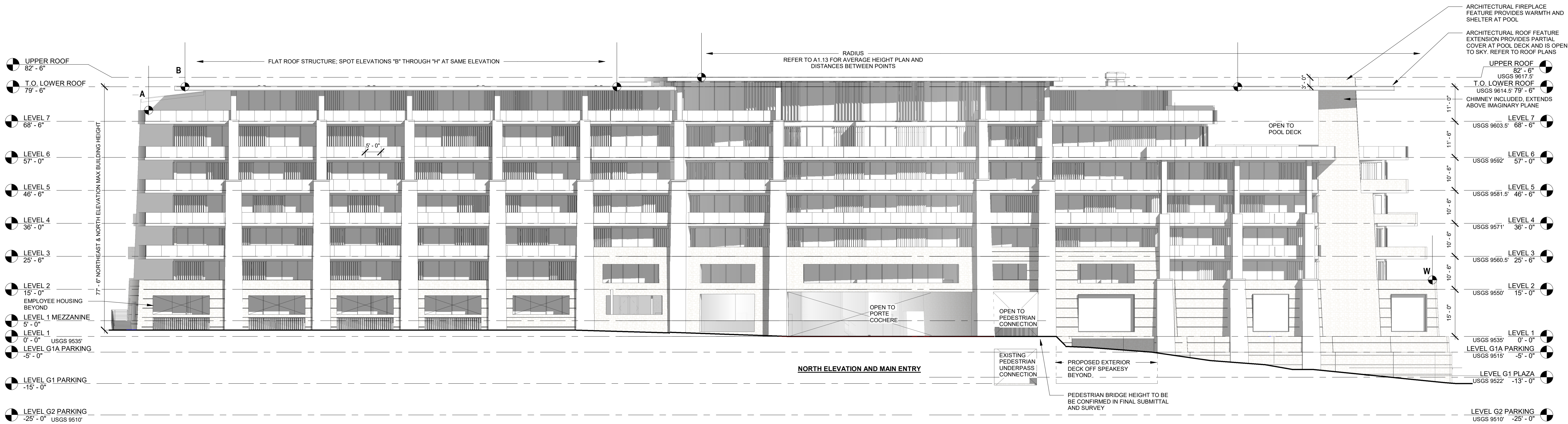
MAX HEIGHT PLAN

A-1.13

4/24/2022 10:25:17 PM



2 EAST ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION FROM MOUNTAIN
BLVD FLATTENED LOOKING SOUTH
1/16" = 1'-0"

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Seal
Project Number
JOB NO.

NORTHEAST & EAST
ELEVATIONS



Mountain Village Hotel
LOT 109R MOUNTAIN VILLAGE, CO

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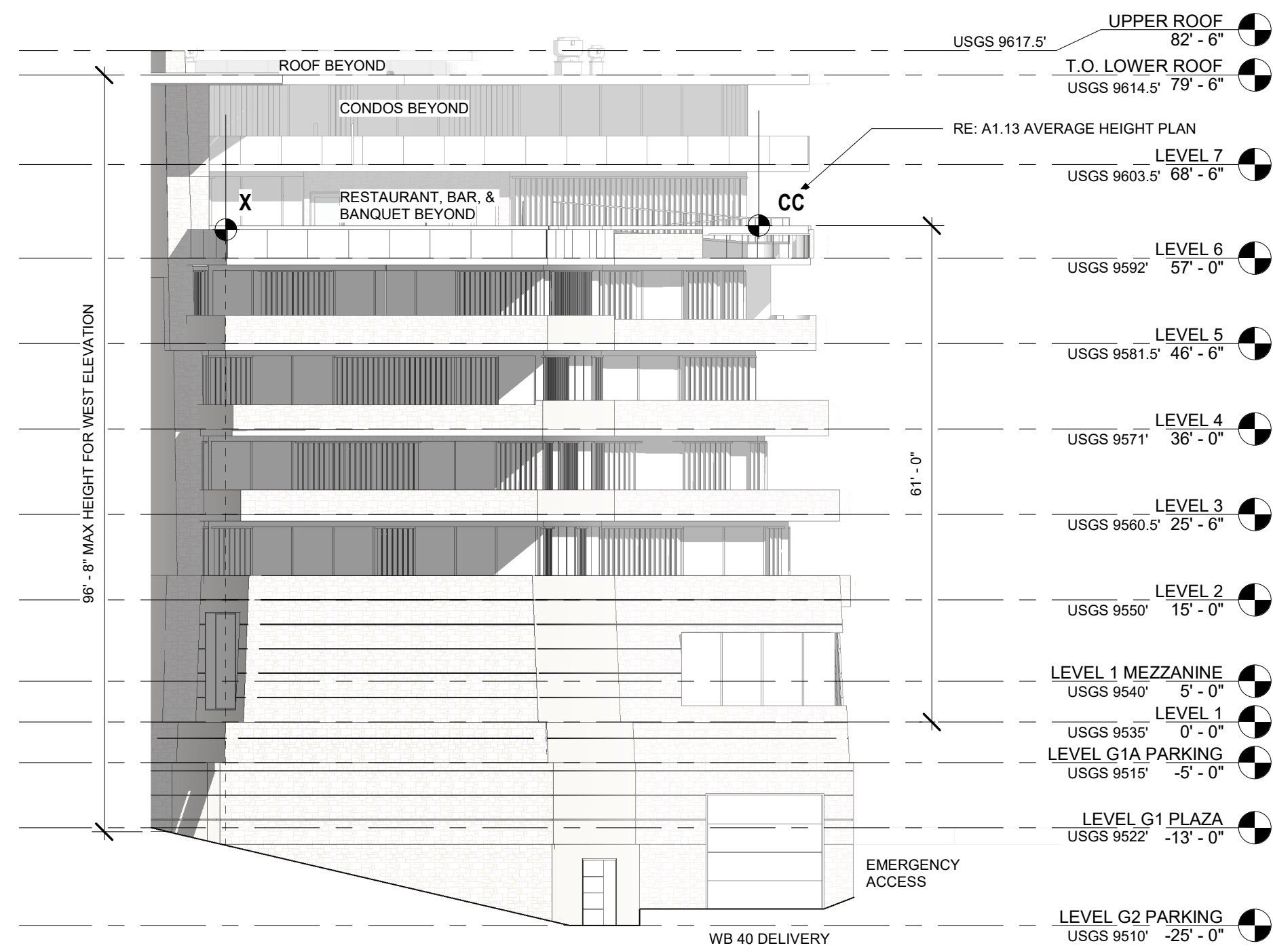
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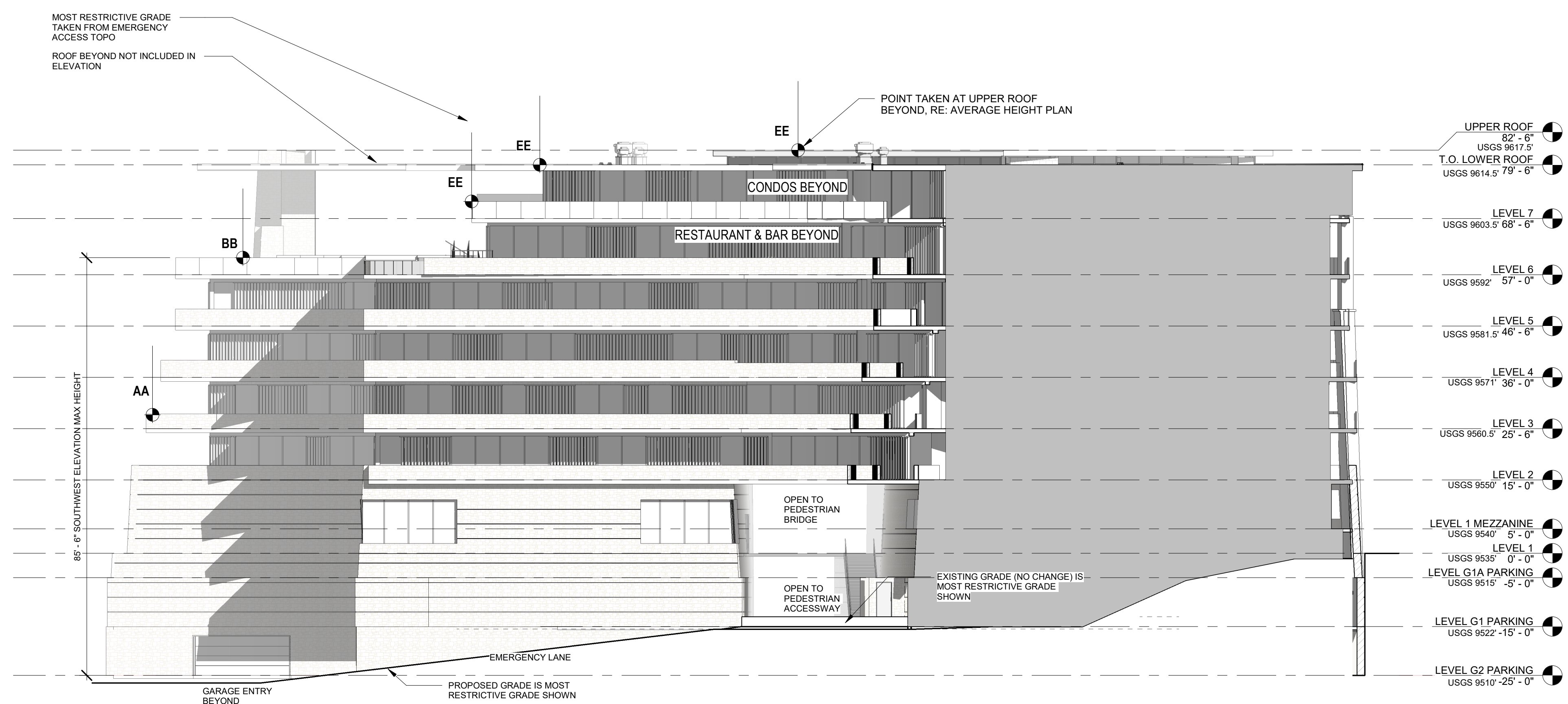
Project Number

SOUTHEAST & WEST
ELEVATIONS

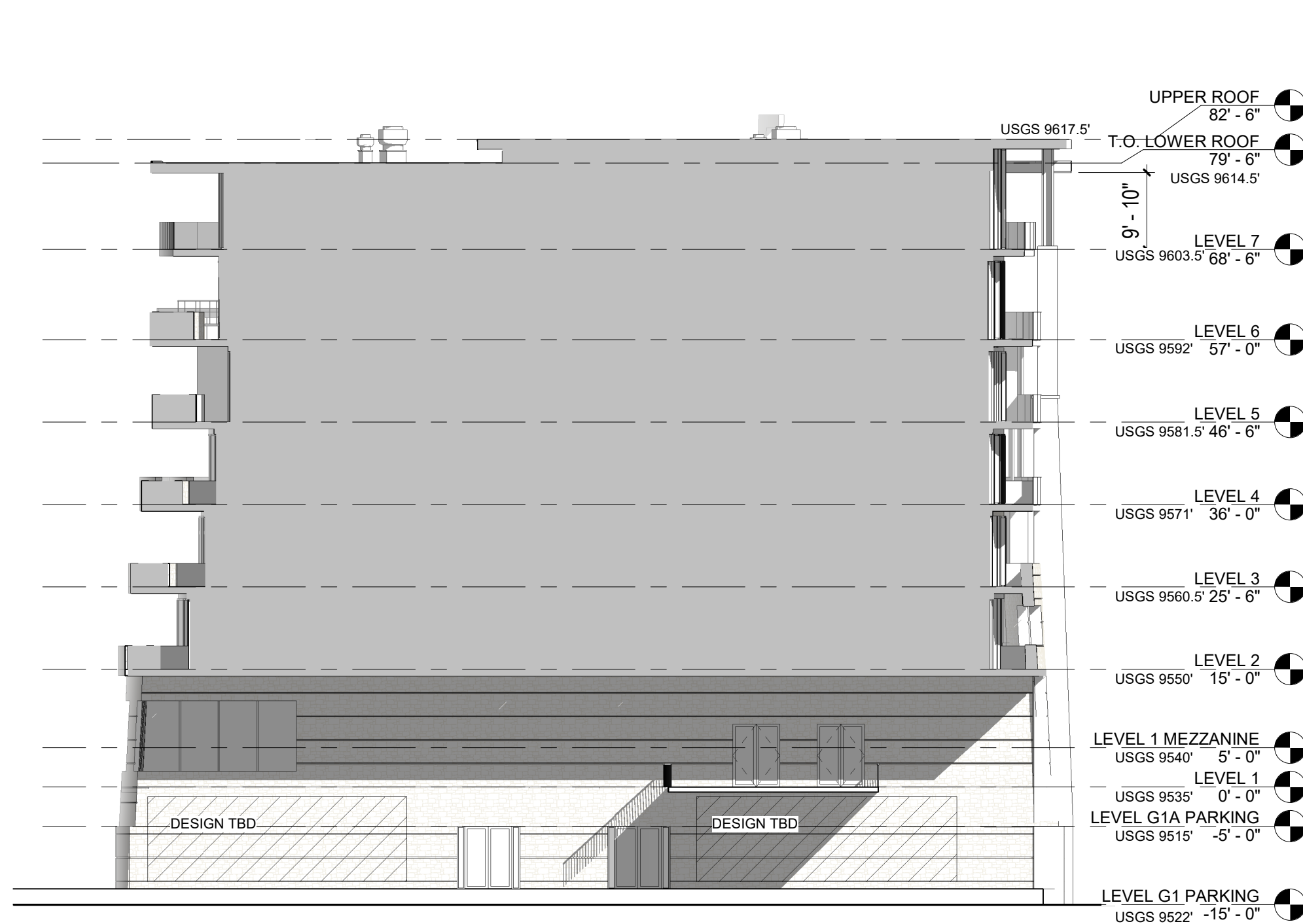
A-2.02



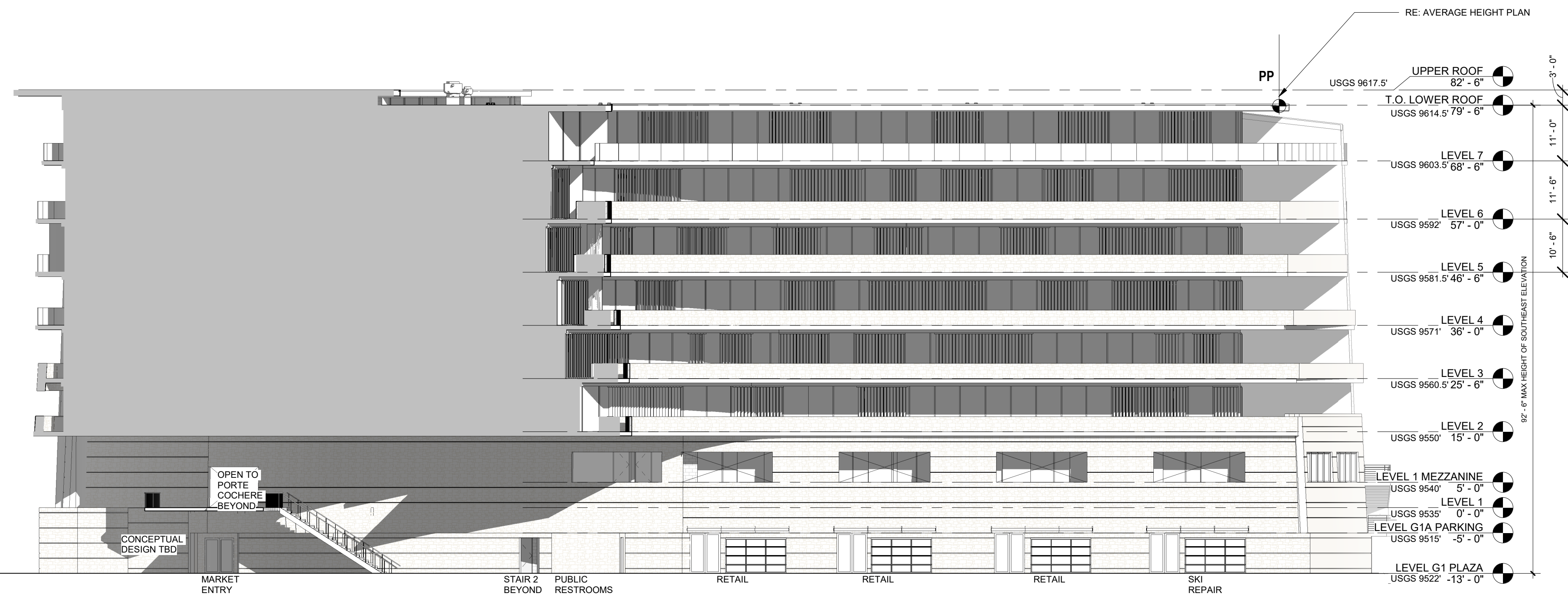
① WEST ELEVATION
1/16" = 1'-0"



③ SOUTHWEST ELEVATION
1/16" = 1'-0"

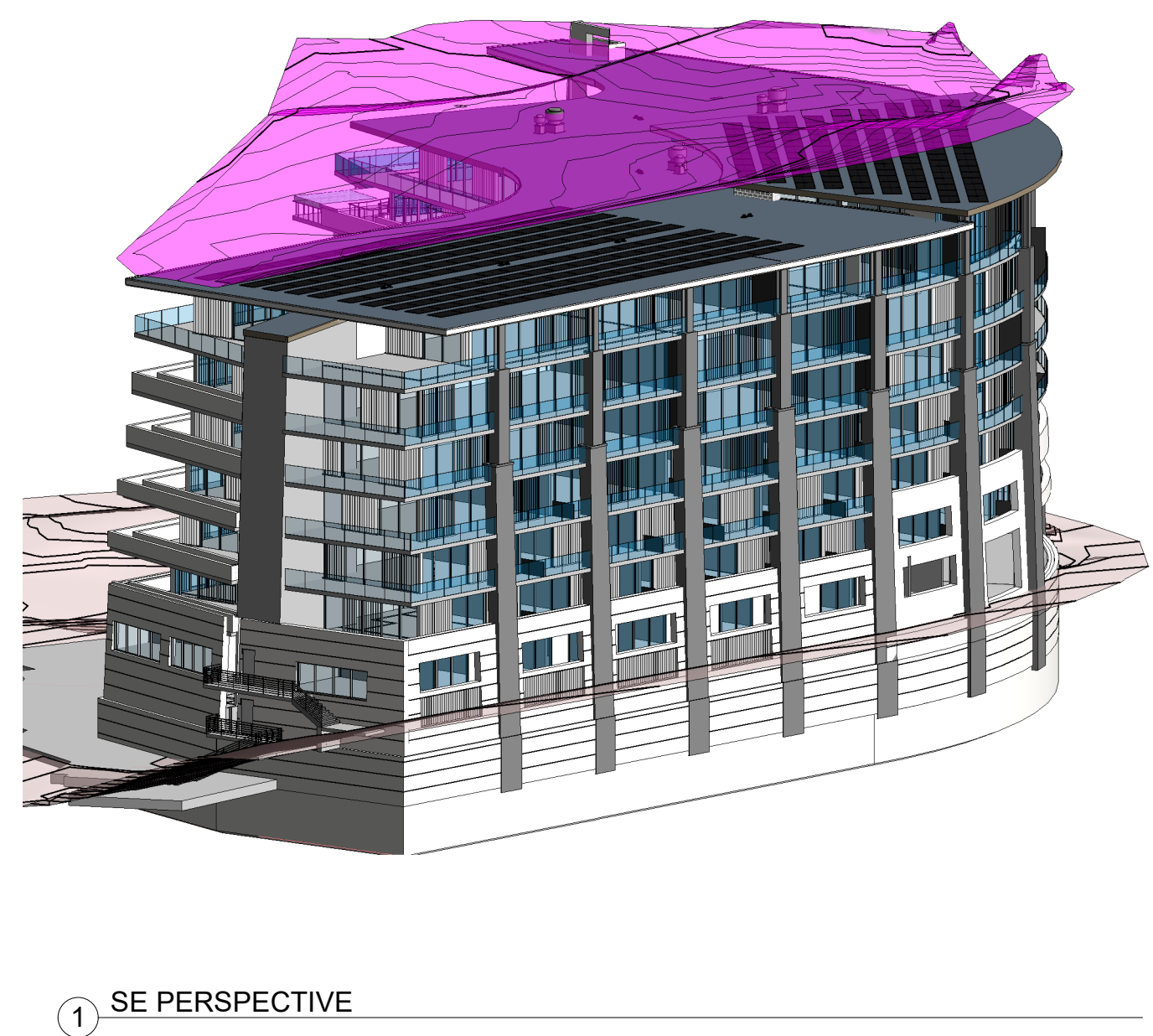
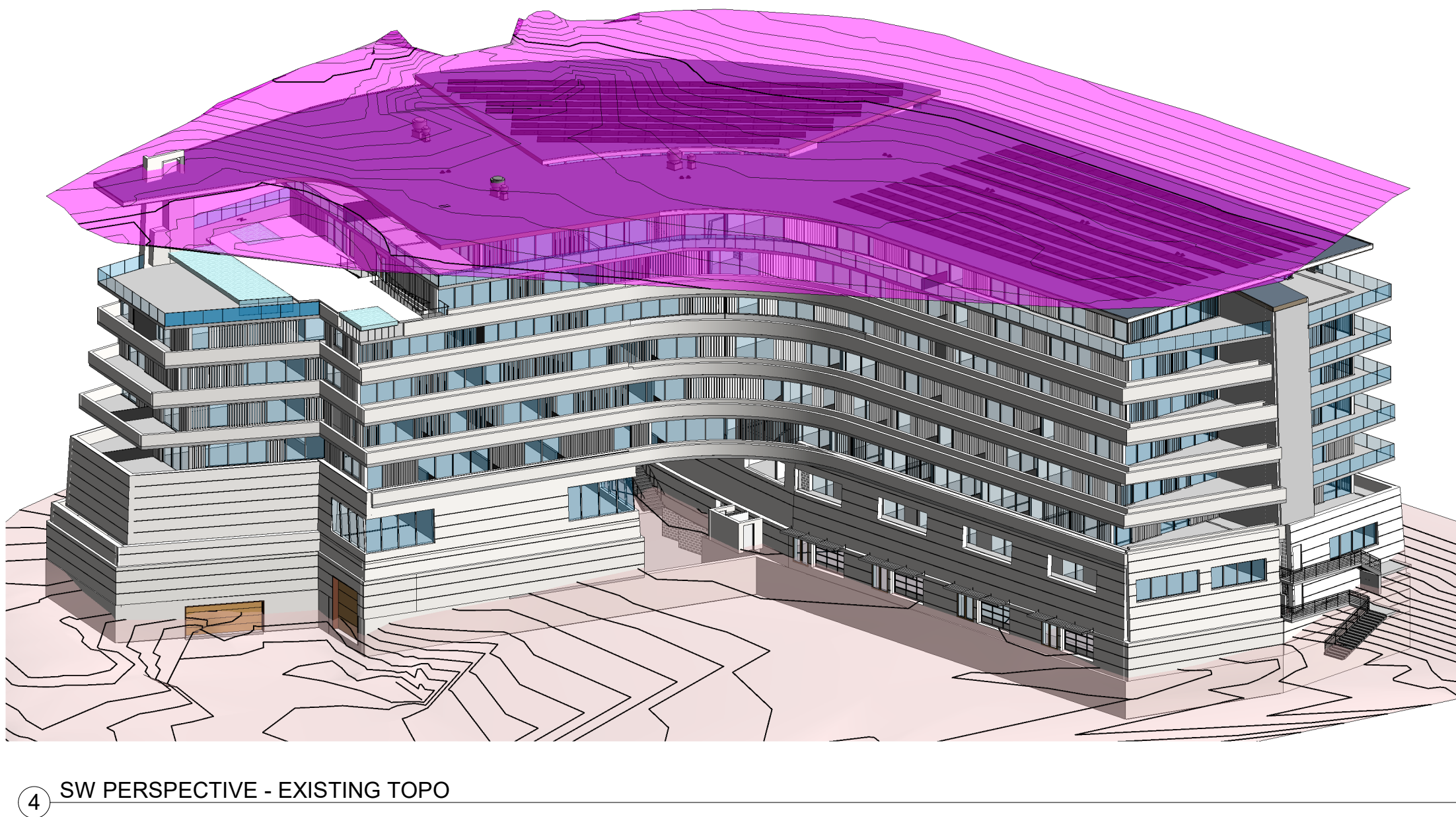
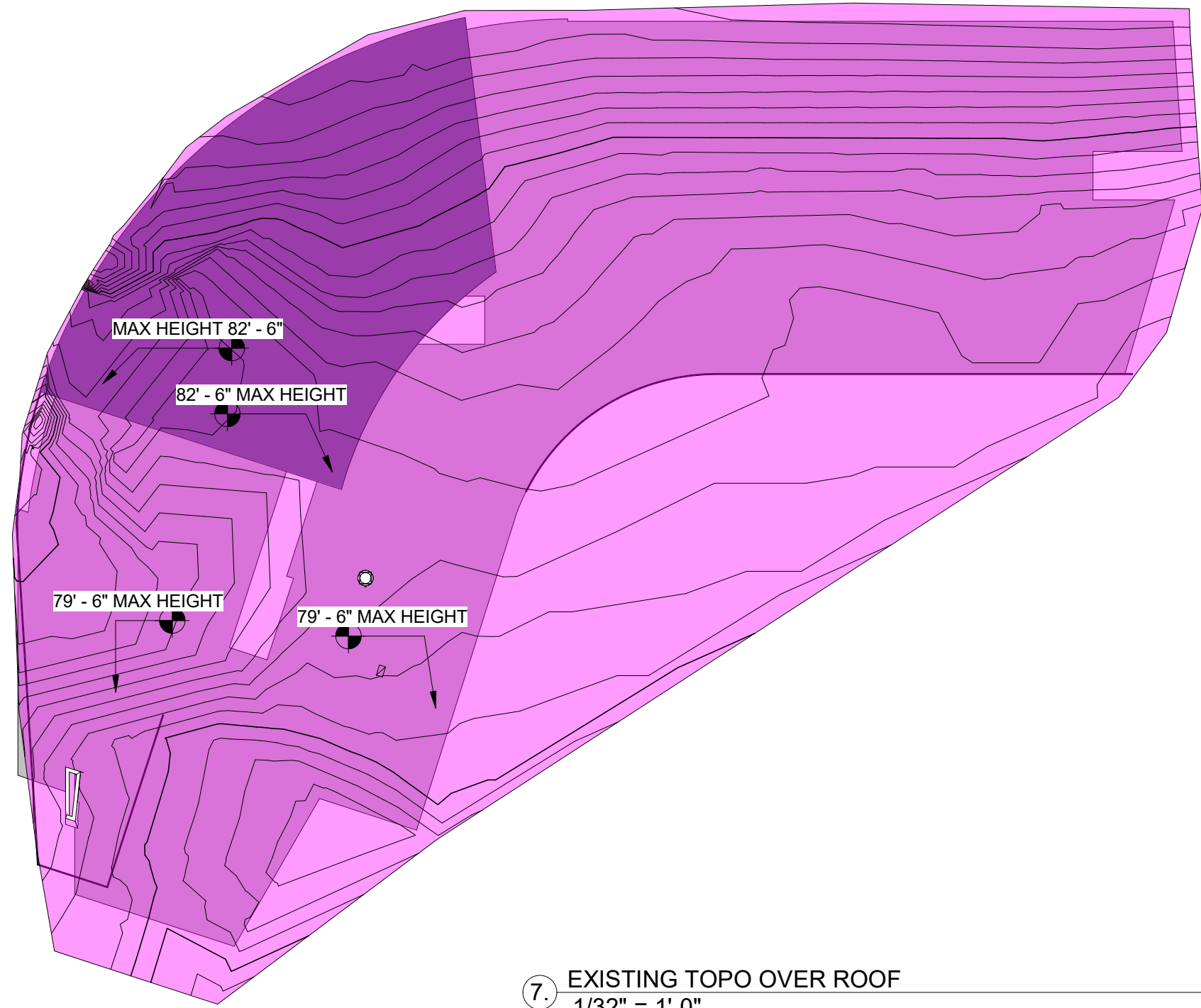
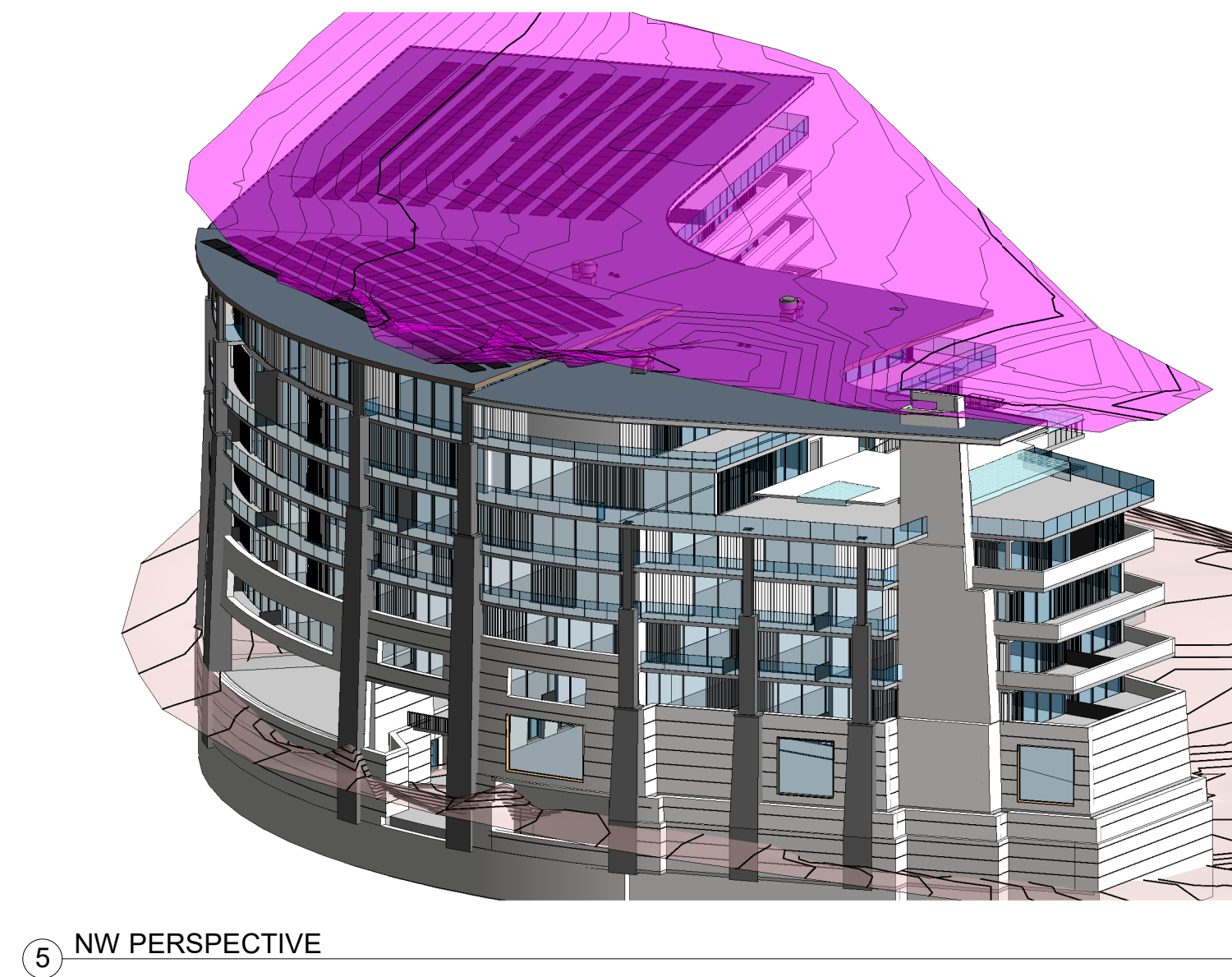
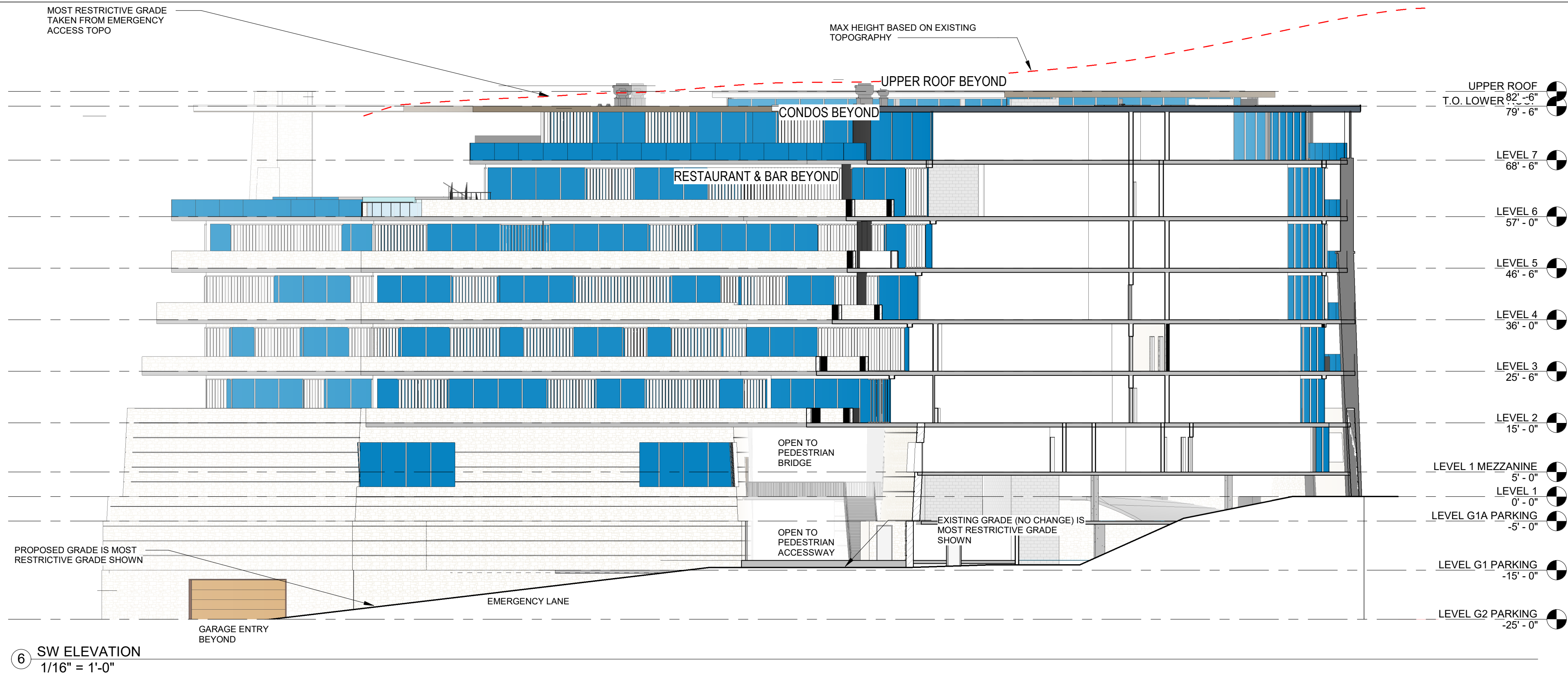
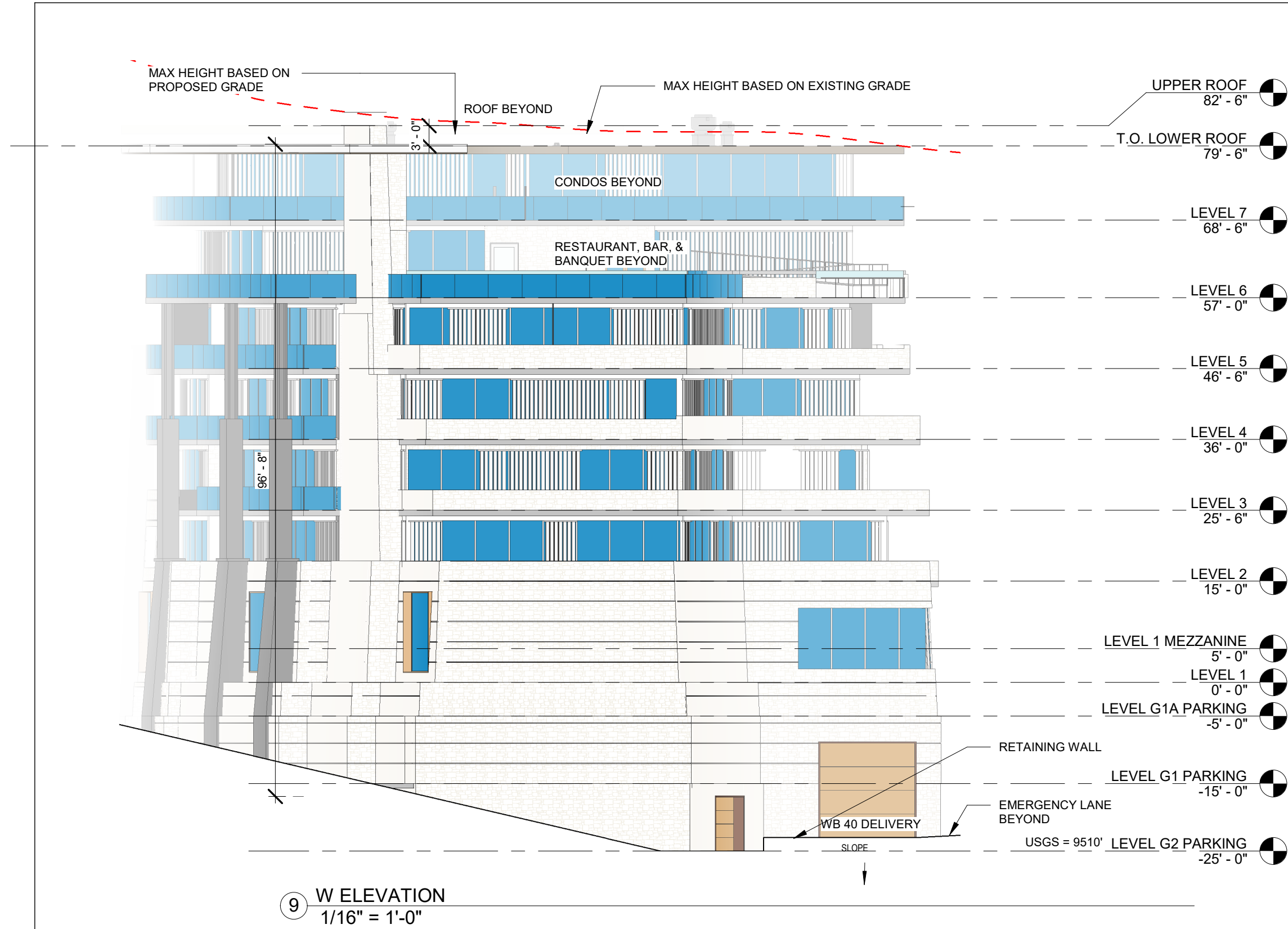


4 PEDESTRIAN WEST ELEVATION
1/16" = 1'-0"



② SOUTHEAST ELEVATION
1/16" = 1'-0"

4/24/2022 10:43:24 PM



Vault Design LLC
1440 W 8TH ST #2309
GOLDEN, CO 80401

Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

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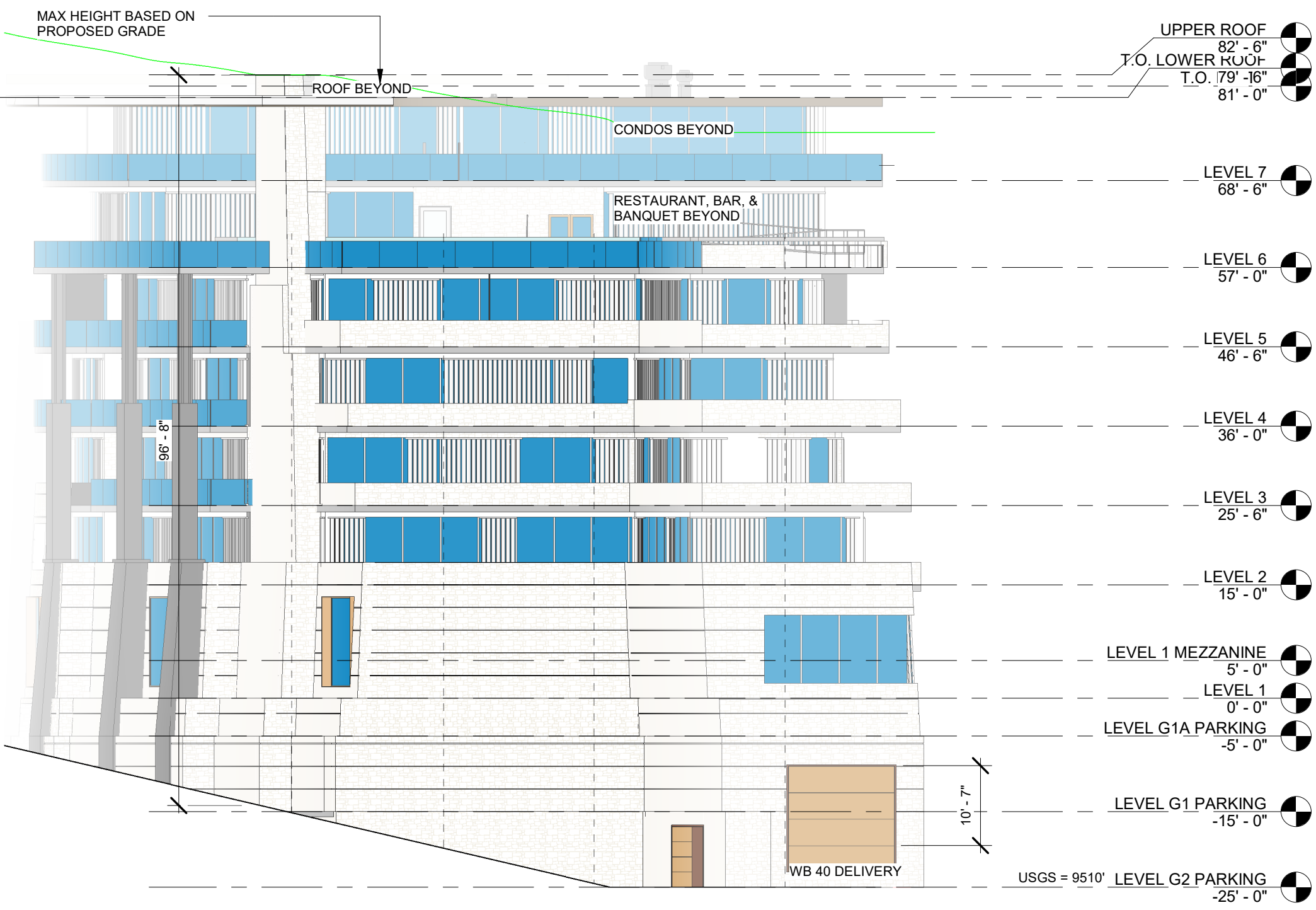
SEAL

Project Number
JOB NO.

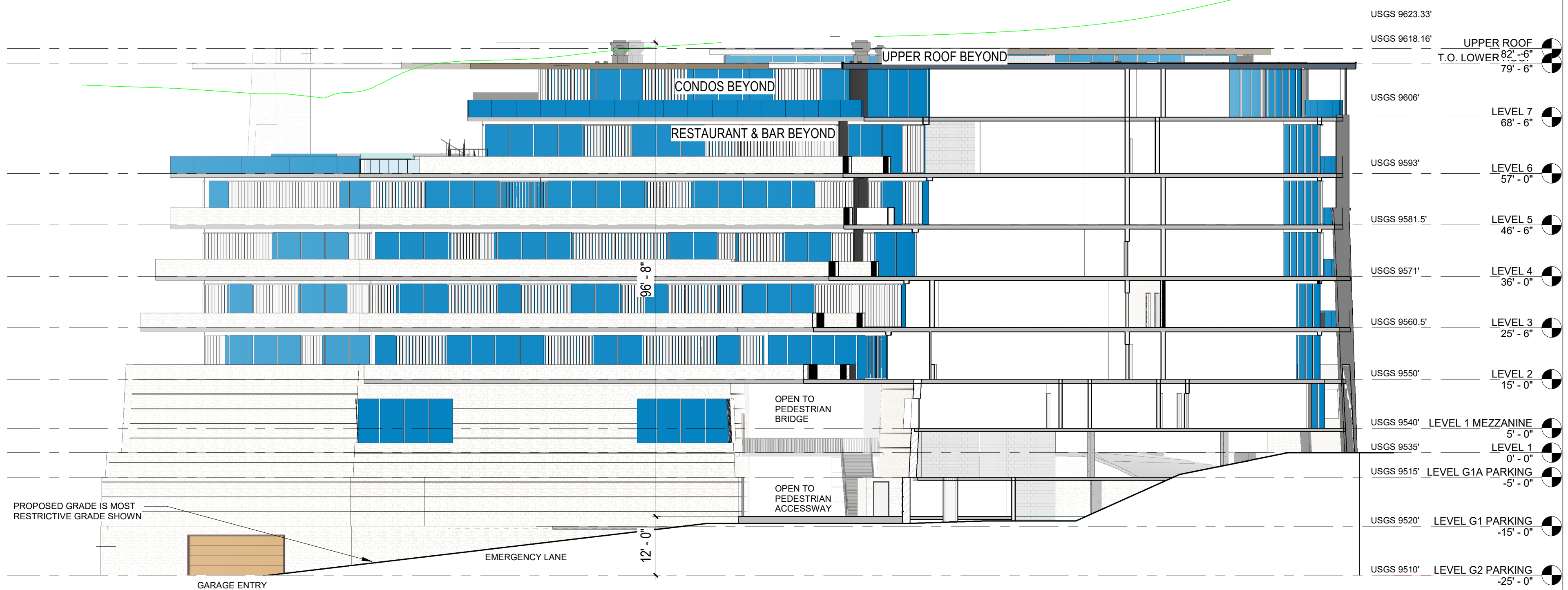
3D MAX HEIGHT WITH
EXISTING TOPO

A-2.03

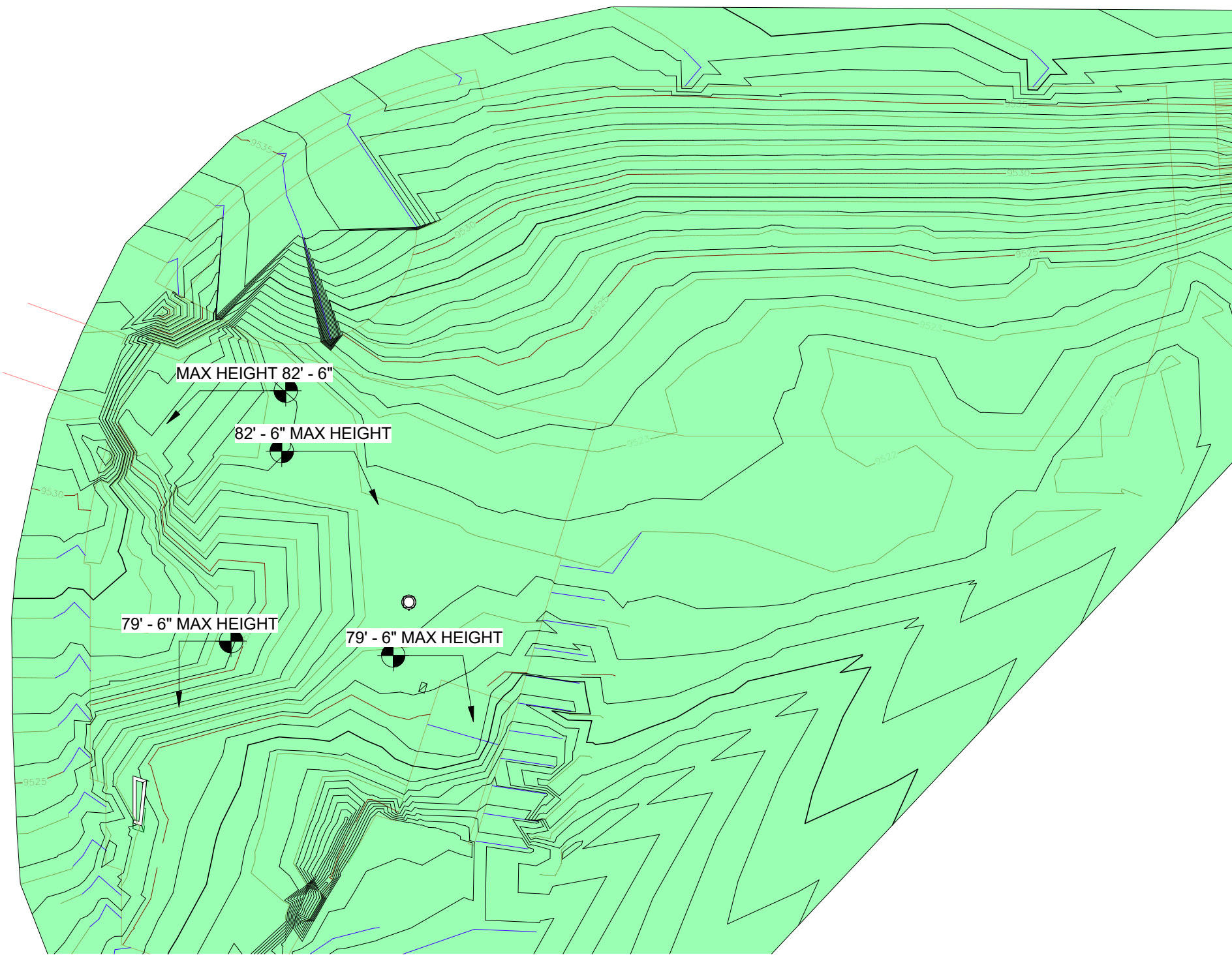
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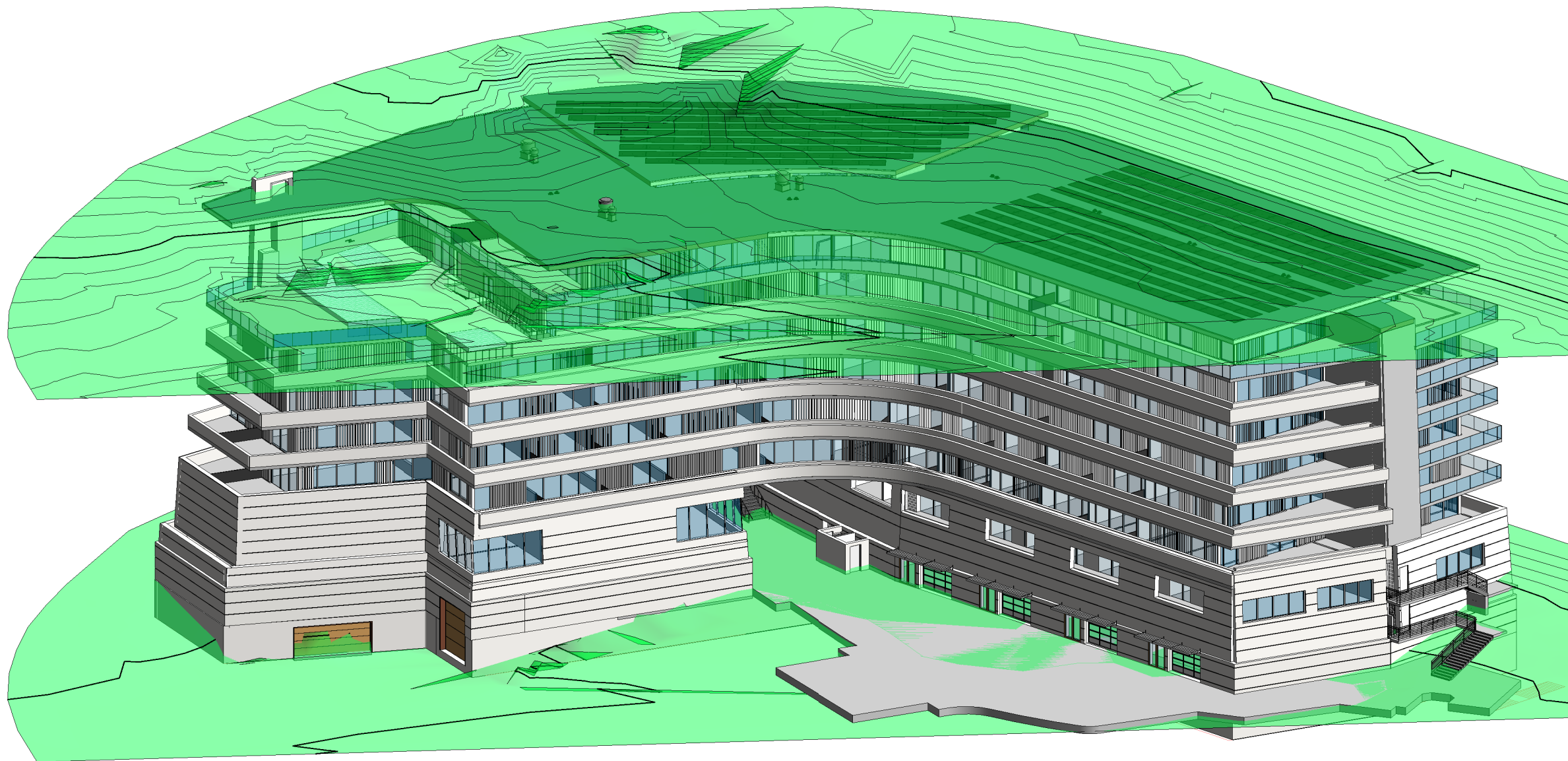
9 W ELEVATION
1/16" = 1'-0"



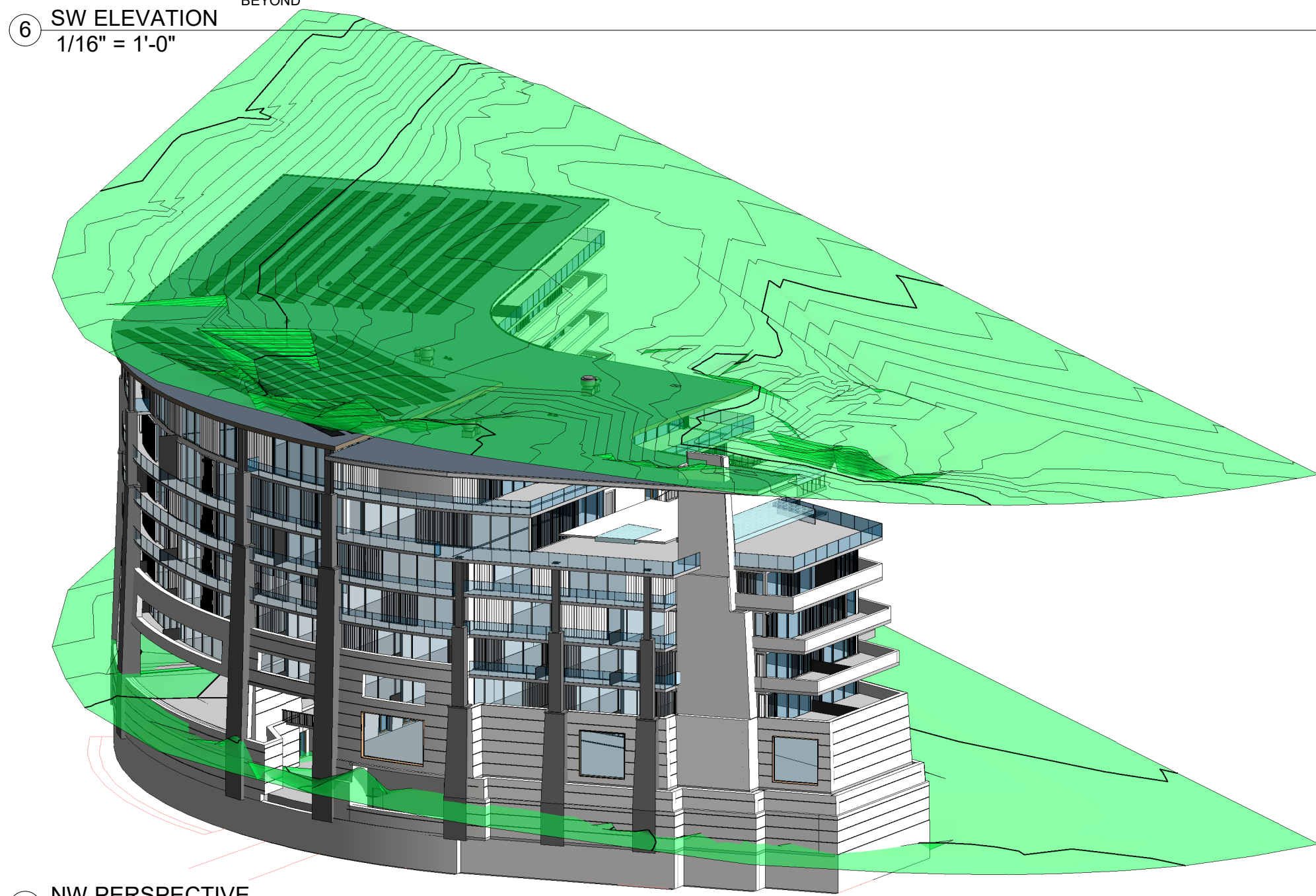
6 SW ELEVATION
1/16" = 1'-0"



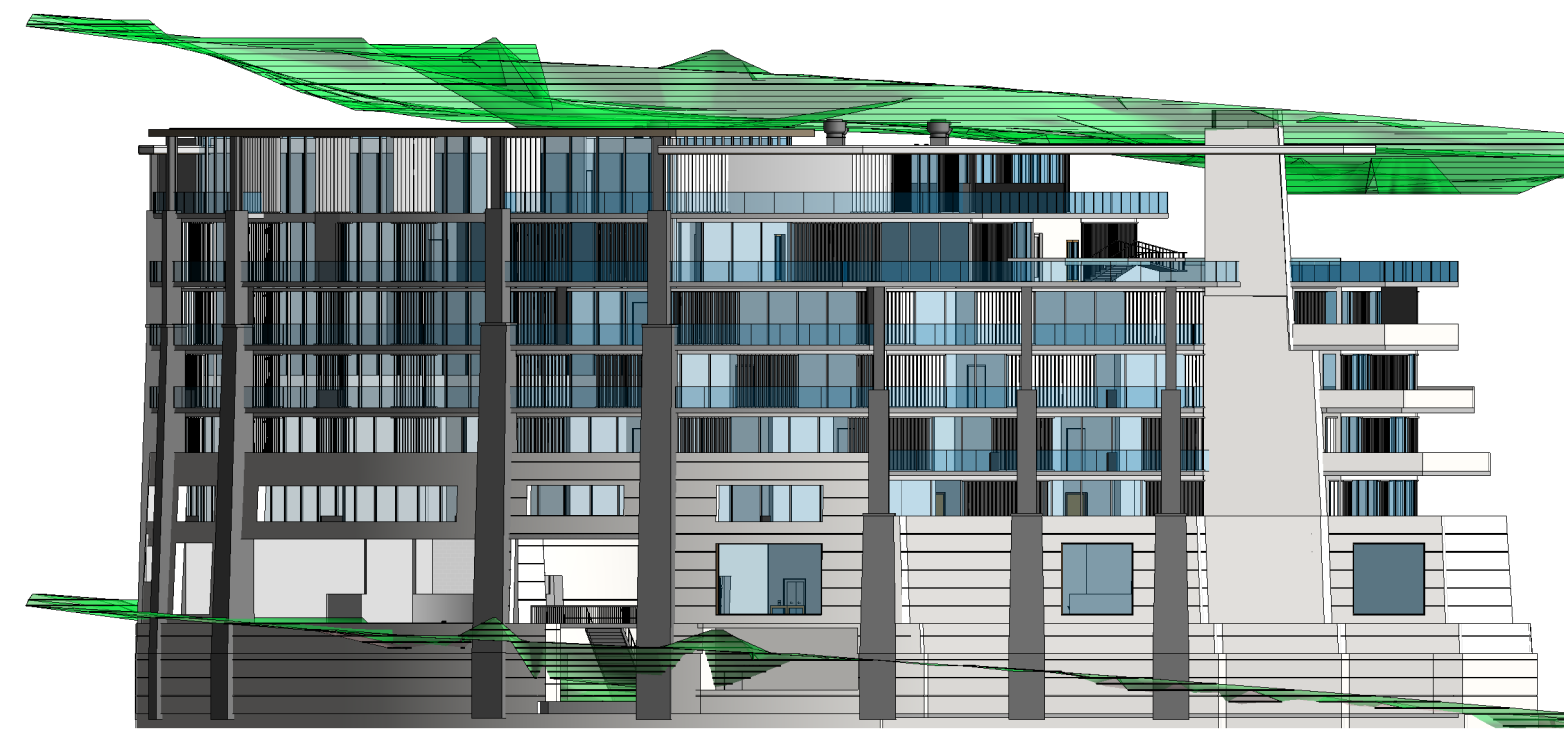
7 PROPOSED TOPO OVER ROOF
1/32" = 1'-0"



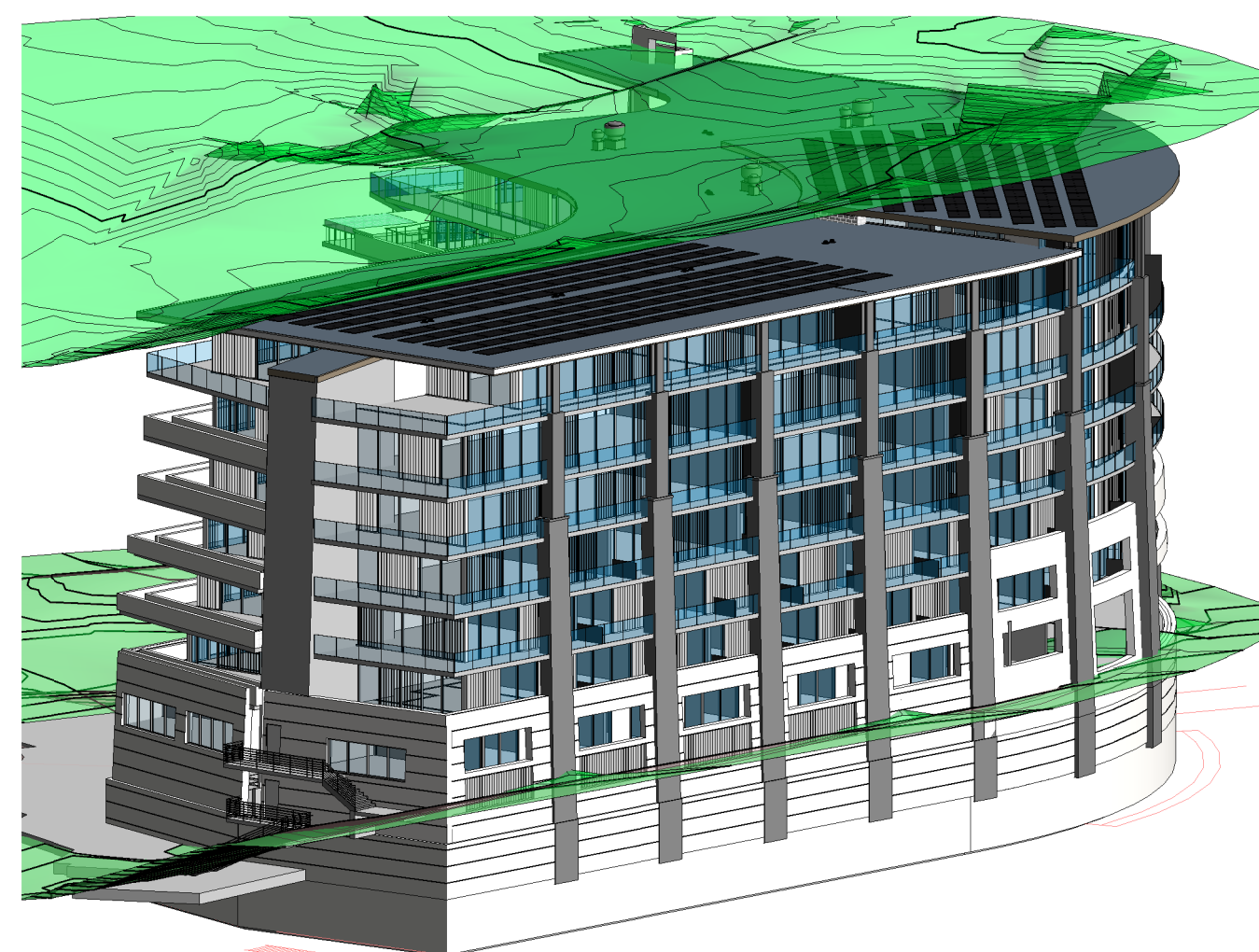
4 SW PERSPECTIVE - PROPOSED TOPO



5 NW PERSPECTIVE



2 NW ELEVATION



1 SE PERSPECTIVE

Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

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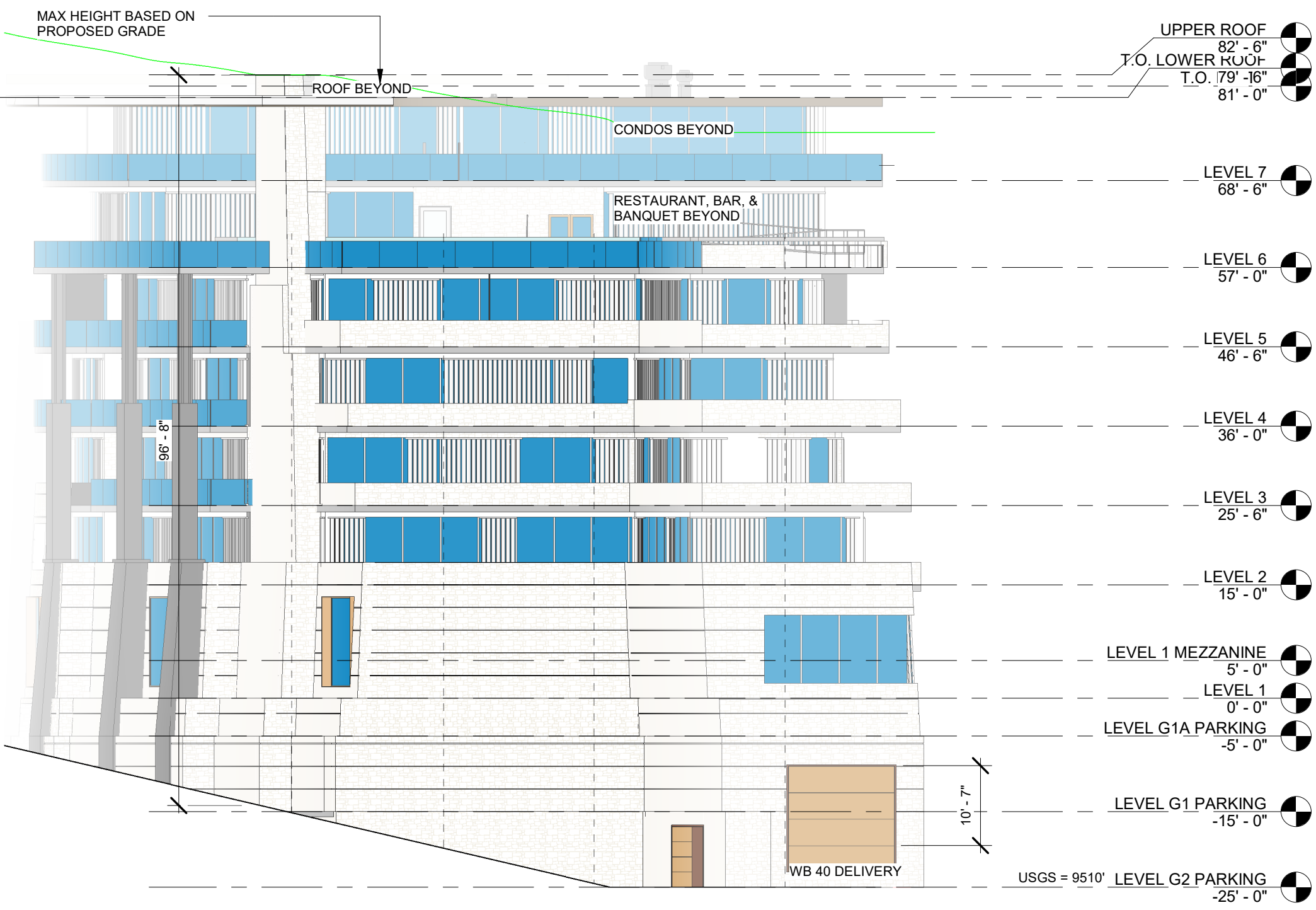
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Project Number
JOB NO.

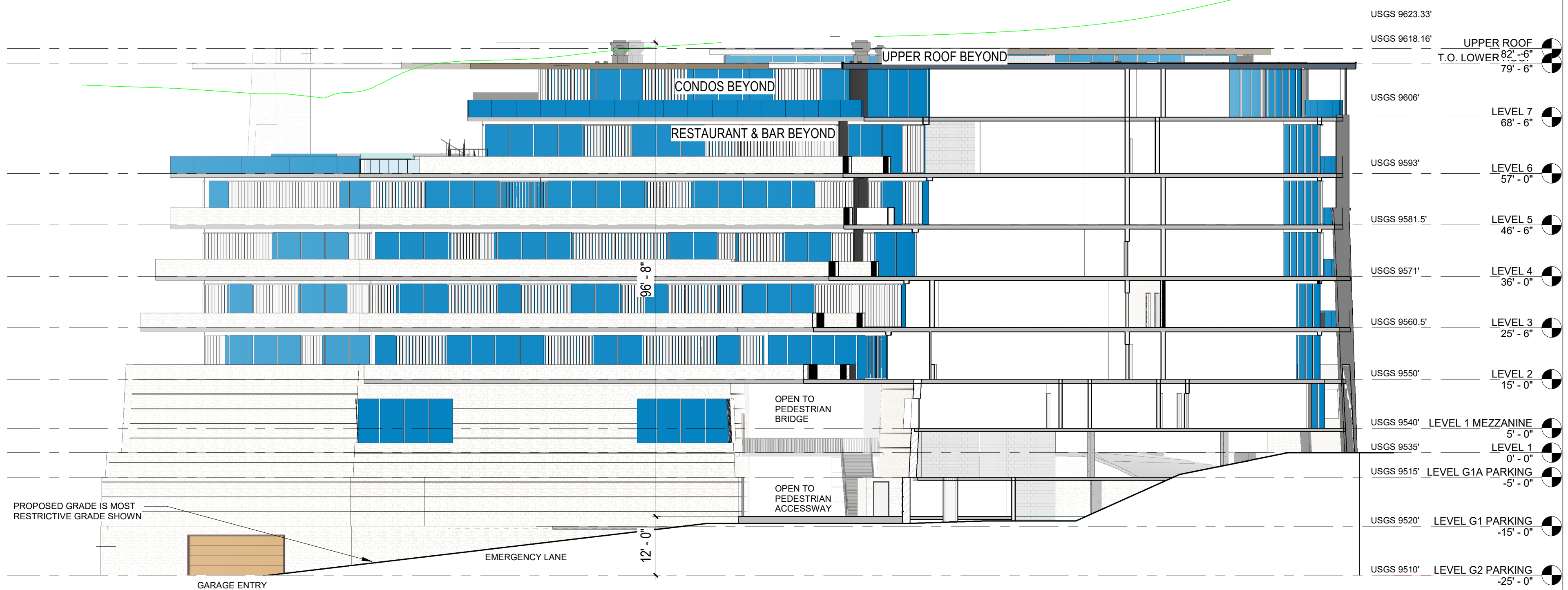
3 MAX HEIGHT WITH
PROPOSED TOPO

A-2.04

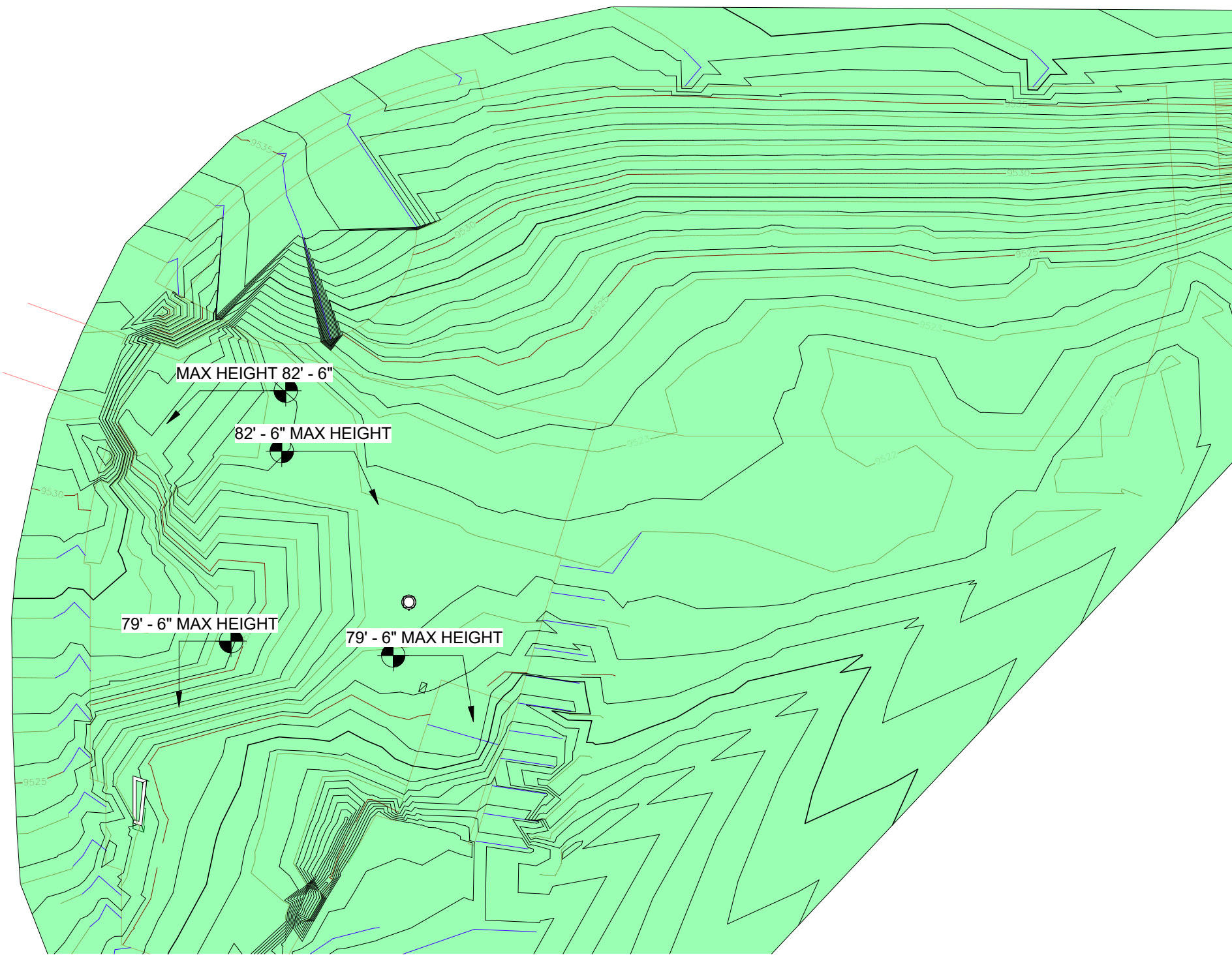
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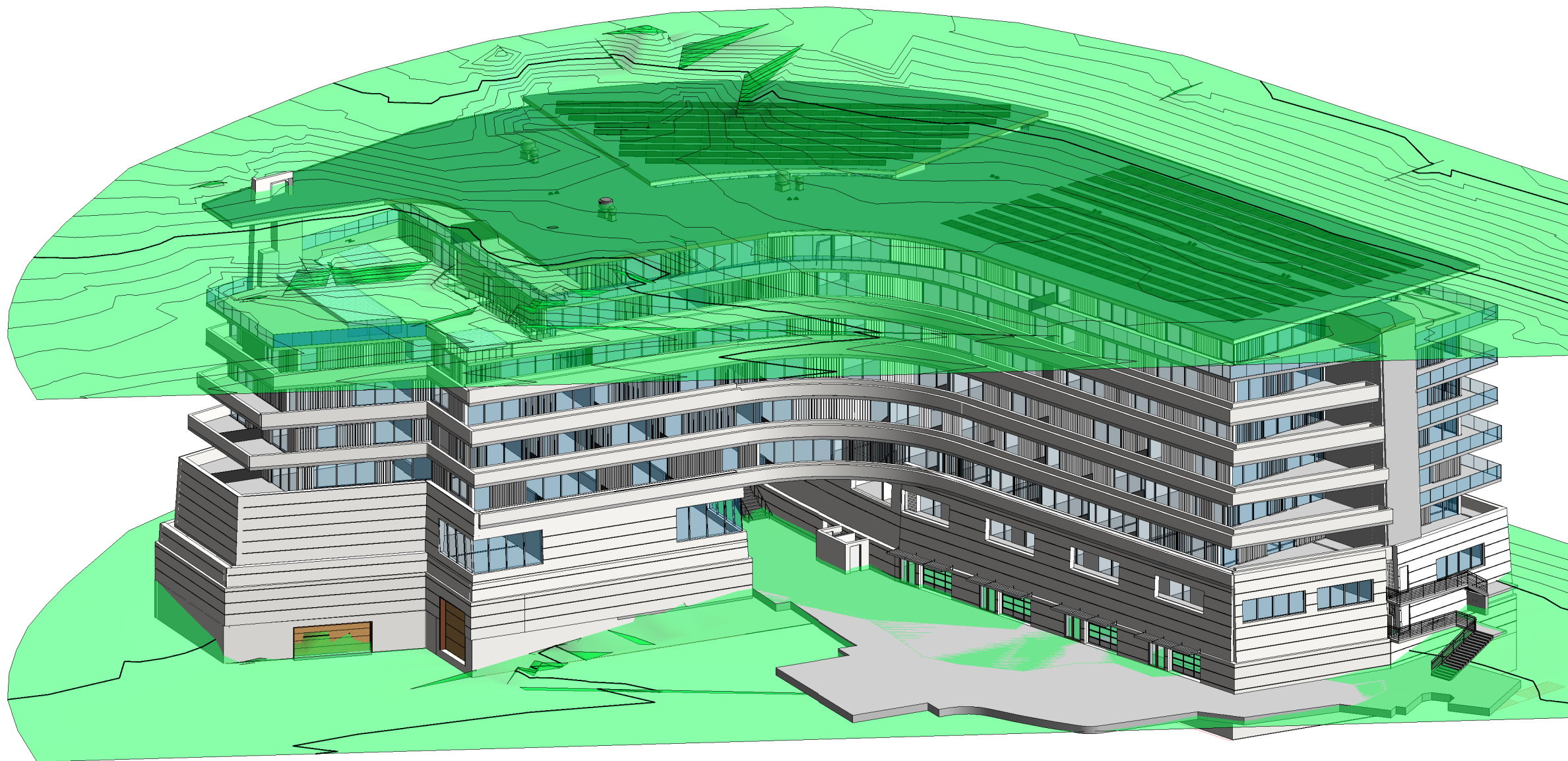
9 W ELEVATION
1/16" = 1'-0"



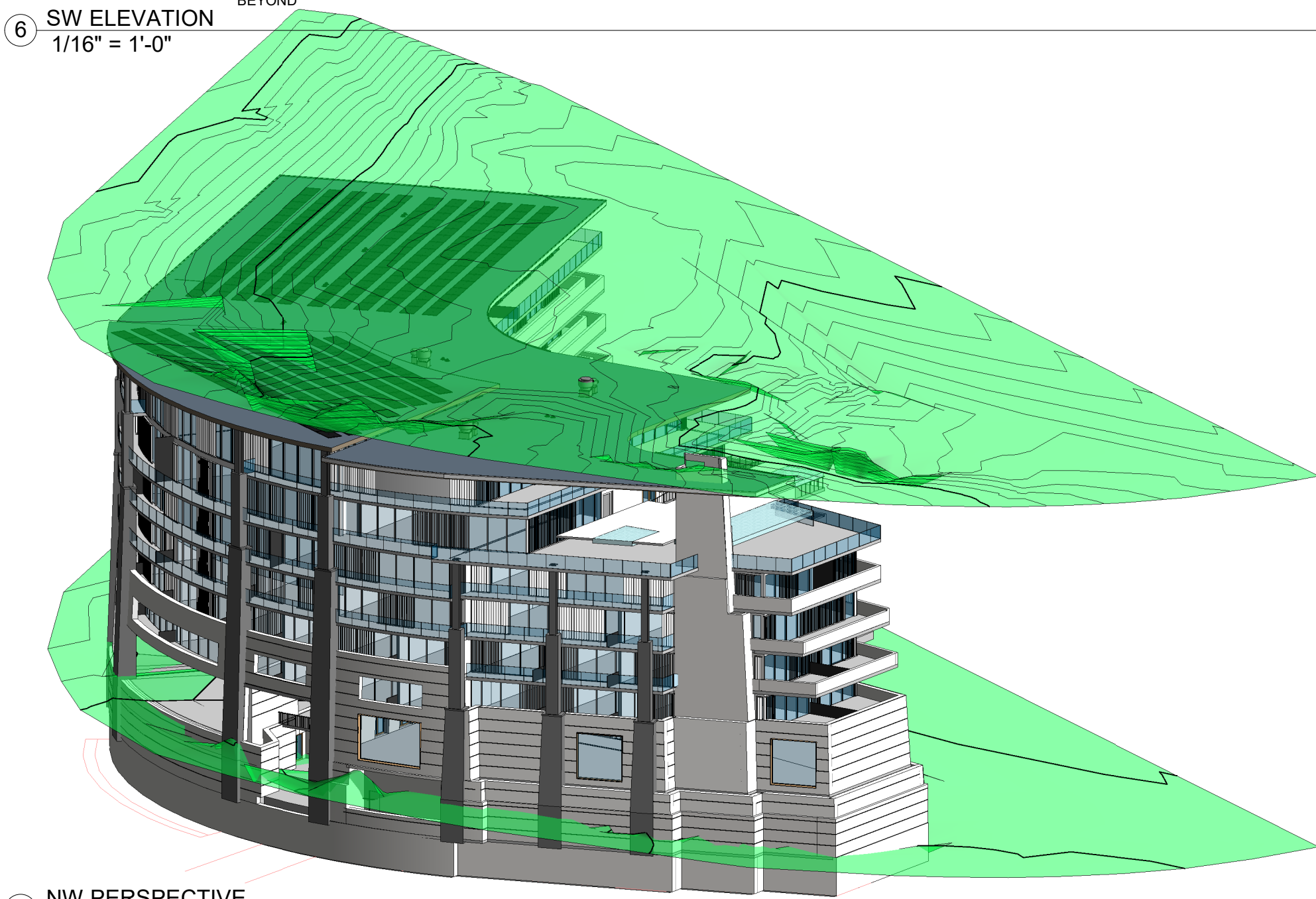
6 SW ELEVATION
1/16" = 1'-0"



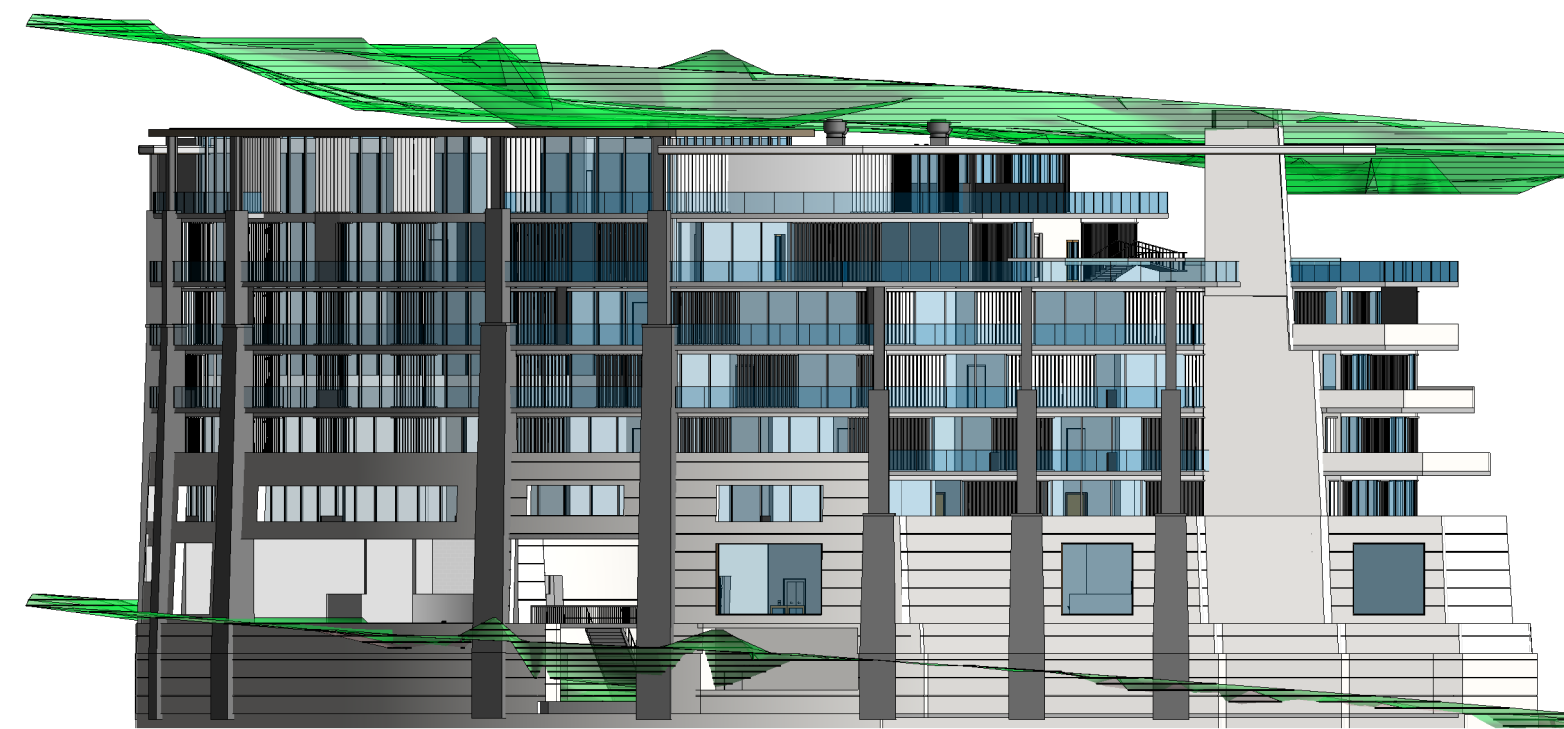
7 PROPOSED TOPO OVER ROOF
1/32" = 1'-0"



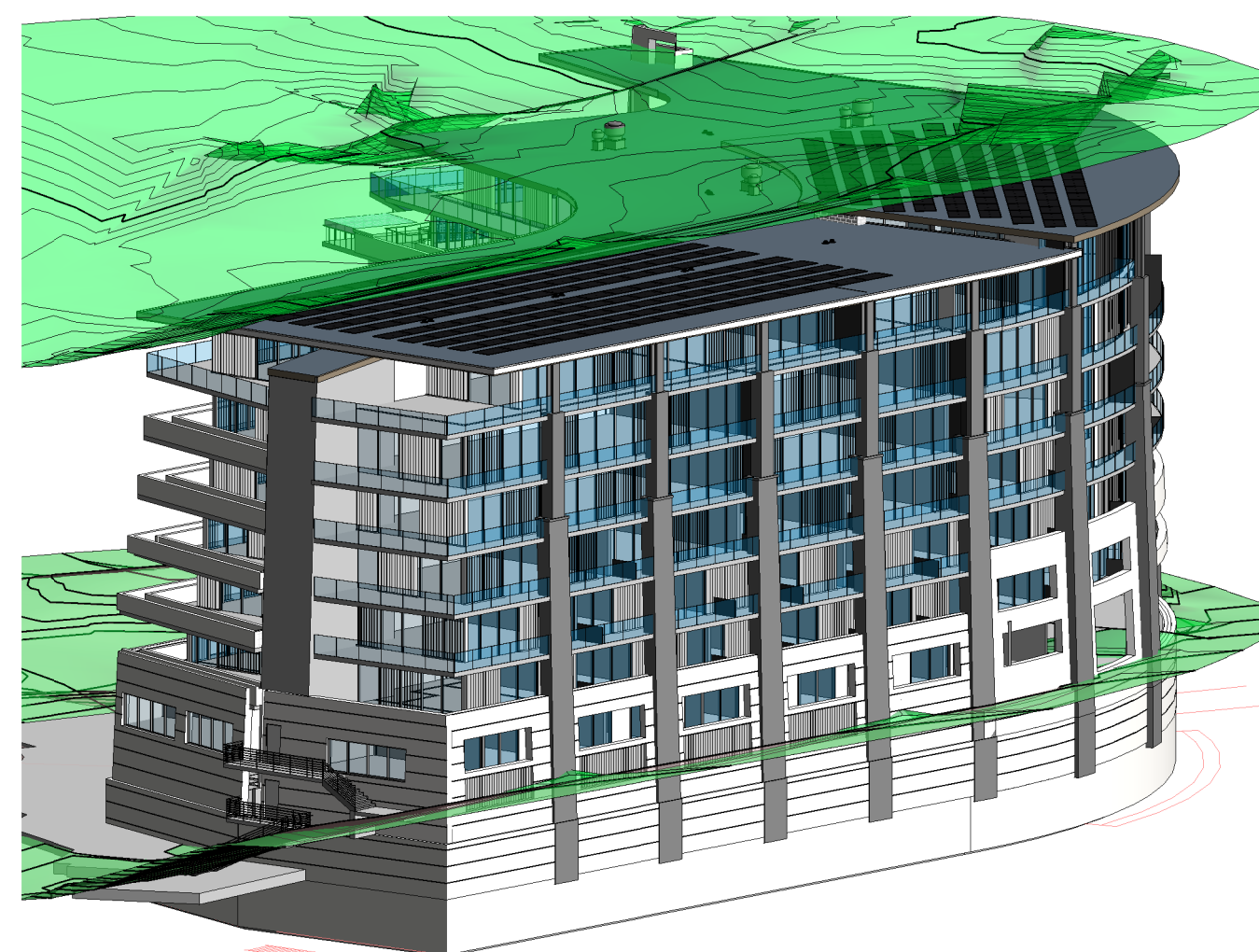
4 SW PERSPECTIVE - PROPOSED TOPO



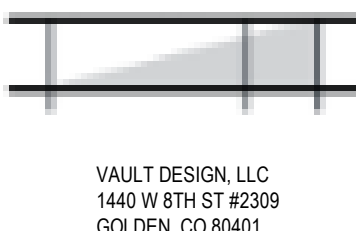
5 NW PERSPECTIVE



2 NW ELEVATION



1 SE PERSPECTIVE



Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

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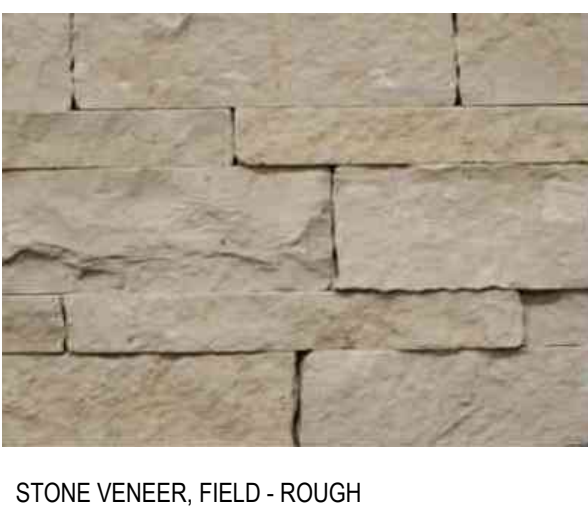
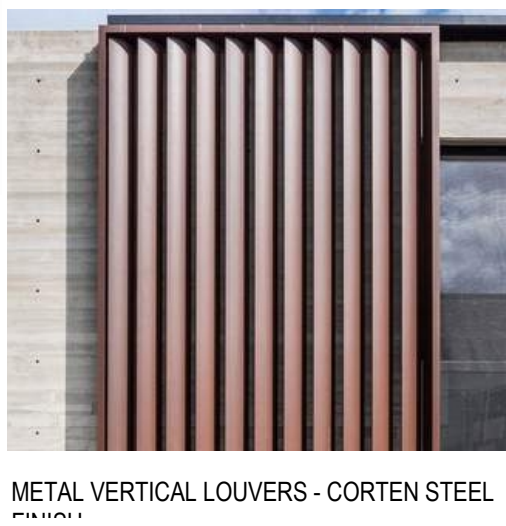
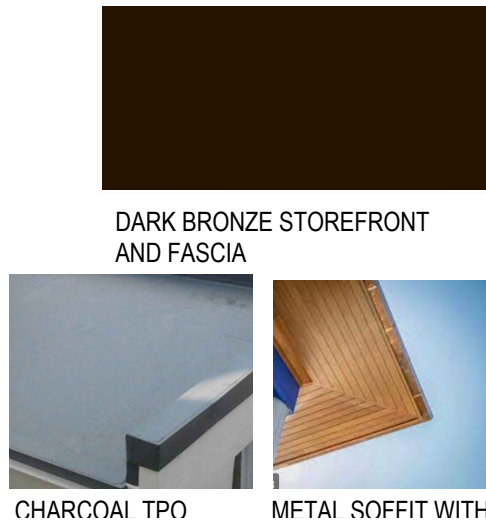
SEAL

Project Number
JOB NO.

3 MAX HEIGHT WITH
PROPOSED TOPO

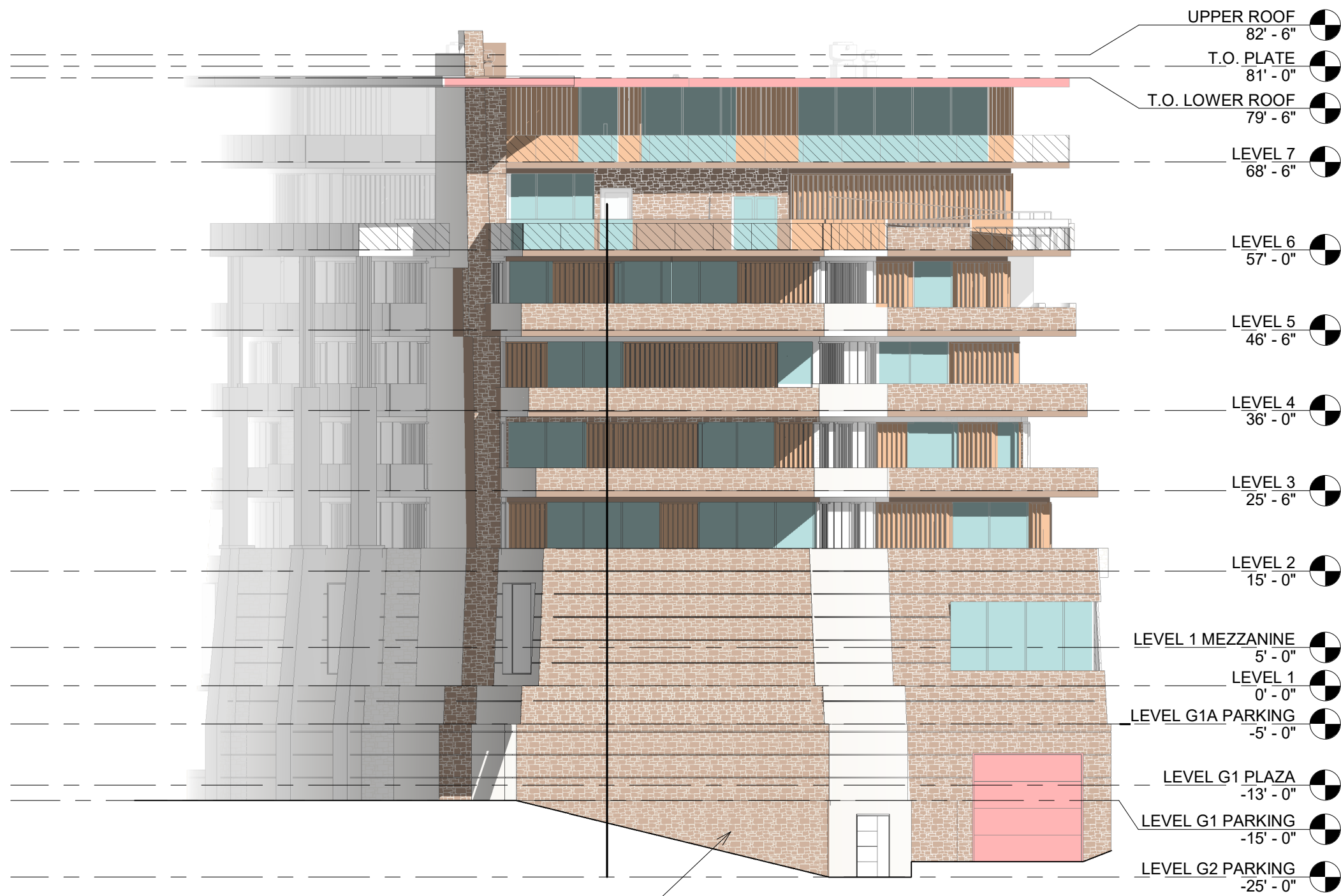
A-2.04

MATERIAL	
	SCREENS
	GLASS
	STONE
	METAL
	CONCRETE
	RAILS

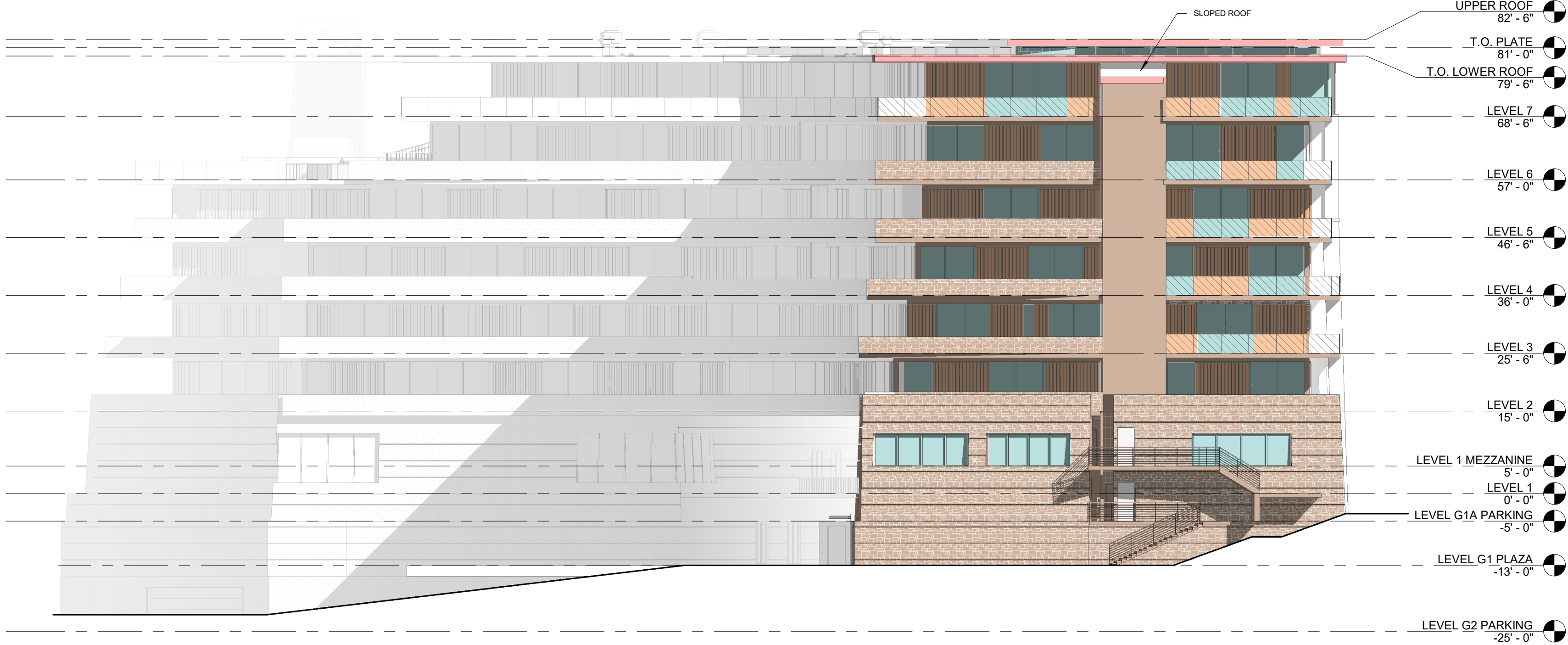


ELEVATIONS #SQFT	WEST ELEVATION (05/A-2.11)	NORTHWEST ELEVATION (03/A-2.11)	NORTH ELEVATION (01/A-2.11)	NORTH EAST ELEVATION (02/A-2.11)	EAST ELEVATION (04/A-2.11)	SOUTH EAST ELEVATION (03/A-2.12)	SOUTH WEST ELEVATION (03/A-2.12)	PEDESTRAIN WAY WEST ELEVATION (01/A-2.12)	TOTAL	PERCENT
SCREENS	1190	1761	692	4462	1271	2459	2214		14049	16.94%
GLASS	1465	2988	837	6334	1752	3834	2623	375	20208	24.37%
STONE	3888	5439	956	6023	4340	9605	7348	2808	40407	48.73%
METAL	303	364	58	381	219	133	359		1817	2.19%
CONCRETE		0	0	0		0			0	0.00%
GLASS GAURD RAIL	520	1424	201	2700	669	470	457		6441	7.77%
MATERIAL TOTAL	7366	11976	2744	19900	8251	16501	13001	3183	82922	100.00%

MATERIAL AREA CALCULATION
1/4" = 1'-0"



WEST FACING SIDE ONLY
EXTERIOR ELEVATION - MATERIAL - WEST
1/16" = 1'-0"



EXTERIOR ELEVATION - MATERIAL - EAST
1/16" = 1'-0"



EXTERIOR ELEVATION - MATERIAL - NORTHEAST
1/16" = 1'-0"

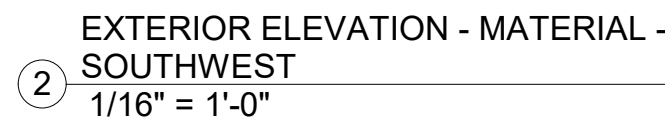
EXTERIOR ELEVATION - MATERIAL - NORTH
1/16" = 1'-0"

EXTERIOR ELEVATION - MATERIAL - NORTHWEST
1/16" = 1'-0"

Item	No.	Date	Description

○ MATERIAL AREA CALCULATION

VAULT DESIGN, LLC
1440 W 8TH ST #
2309
GOLDEN, CO 80401



Mountain Village Hotel
LOT 109R MOUNTAIN VILLAGE, CO

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Item	No.	Date	Description

OT 109R MAJOR PUD
ENDMENT 04.24.2022

EAL

Project Number
JOB NO.

EXTERIOR ELEVATION
- MATERIAL

A-2.12

4/24/2022 10:01:09 PM

Mountain Village Hotel
LOT 109R MOUNTAIN VILLAGE, CO

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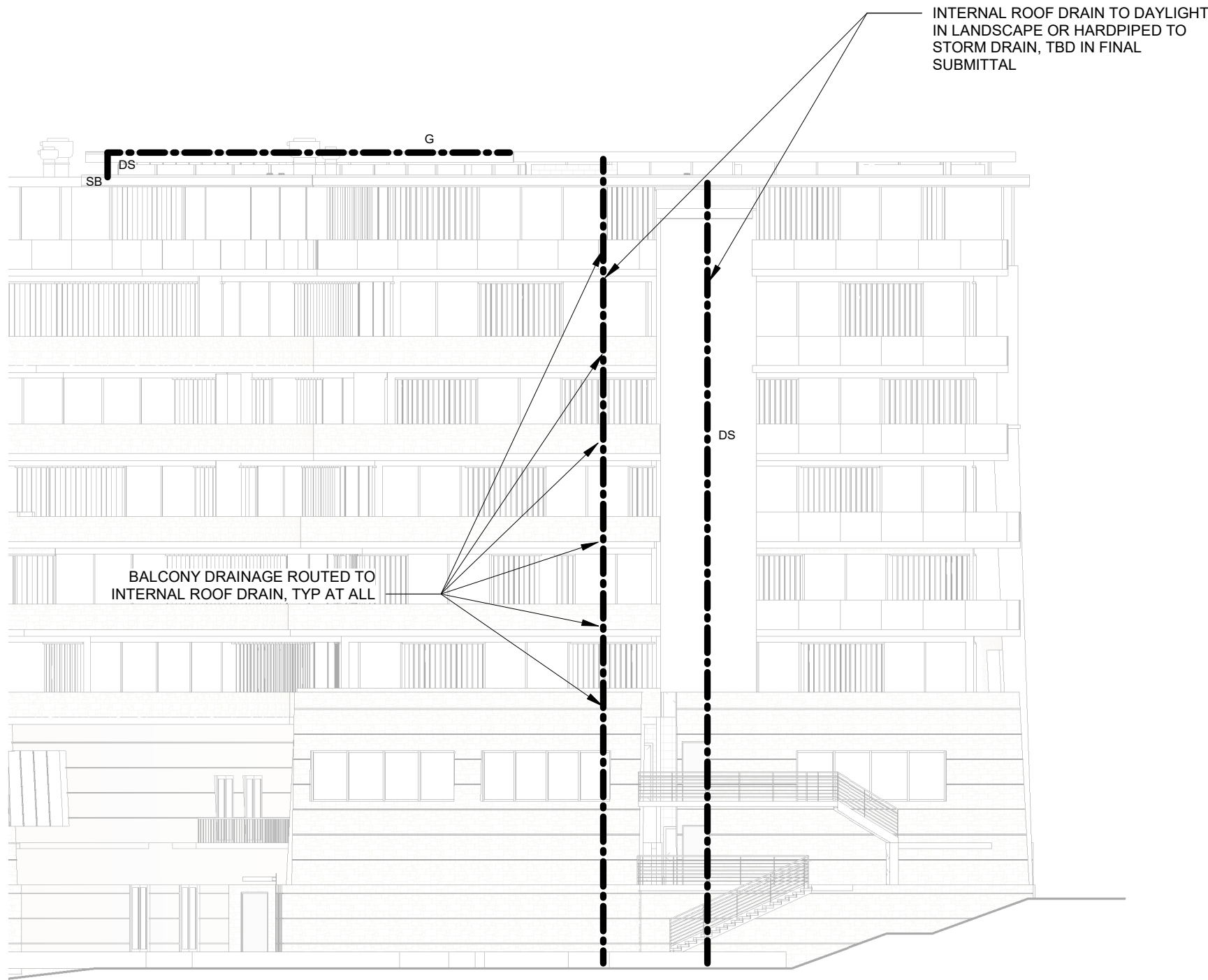
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AMENDMENT 04.24.2022

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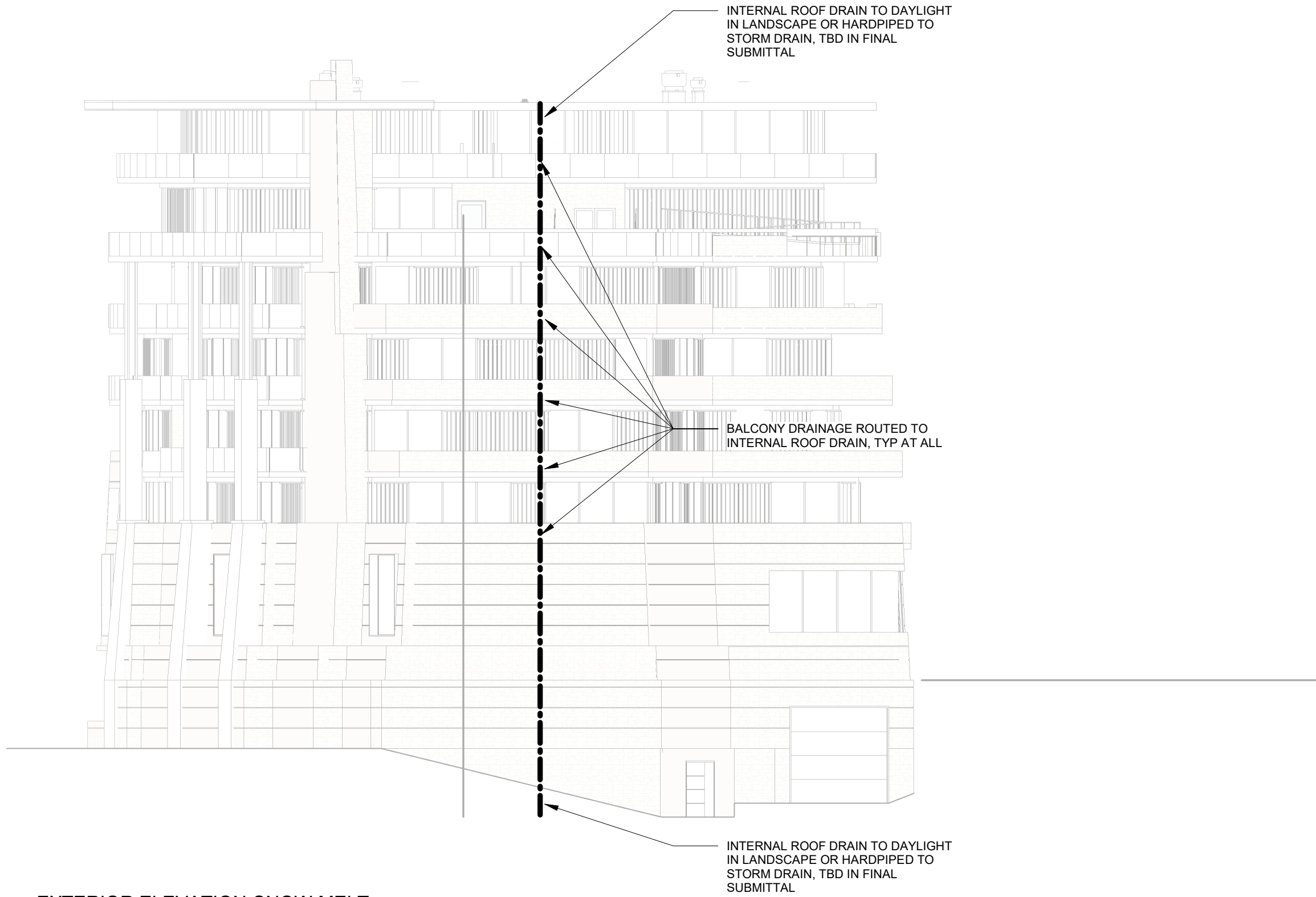
Project Number
JOB NO.

EXTERIOR
ELEVATION-SNOW
MELT STUDY

A-2.21



EXTERIOR ELEVATION-SNOW MELT
STUDY EAST
③ 1/16" = 1'-0"



EXTERIOR ELEVATION-SNOW MELT
STUDY- WEST
④ 1/16" = 1'-0"



EXTERIOR ELEVATION-SNOW MELT
STUDY NORTHEAST
① 1/16" = 1'-0"

EXTERIOR ELEVATION-SNOW MELT
STUDY- NORTHWEST
② 1/16" = 1'-0"

SNOW MELT KEY	
SB	SPLASH BLOCKS IN TERRACE
←	DIRECTION OF WATER FLOW
---	INTERNAL ROOF DRAIN
G	GUTTER
RD	ROOF DRAIN

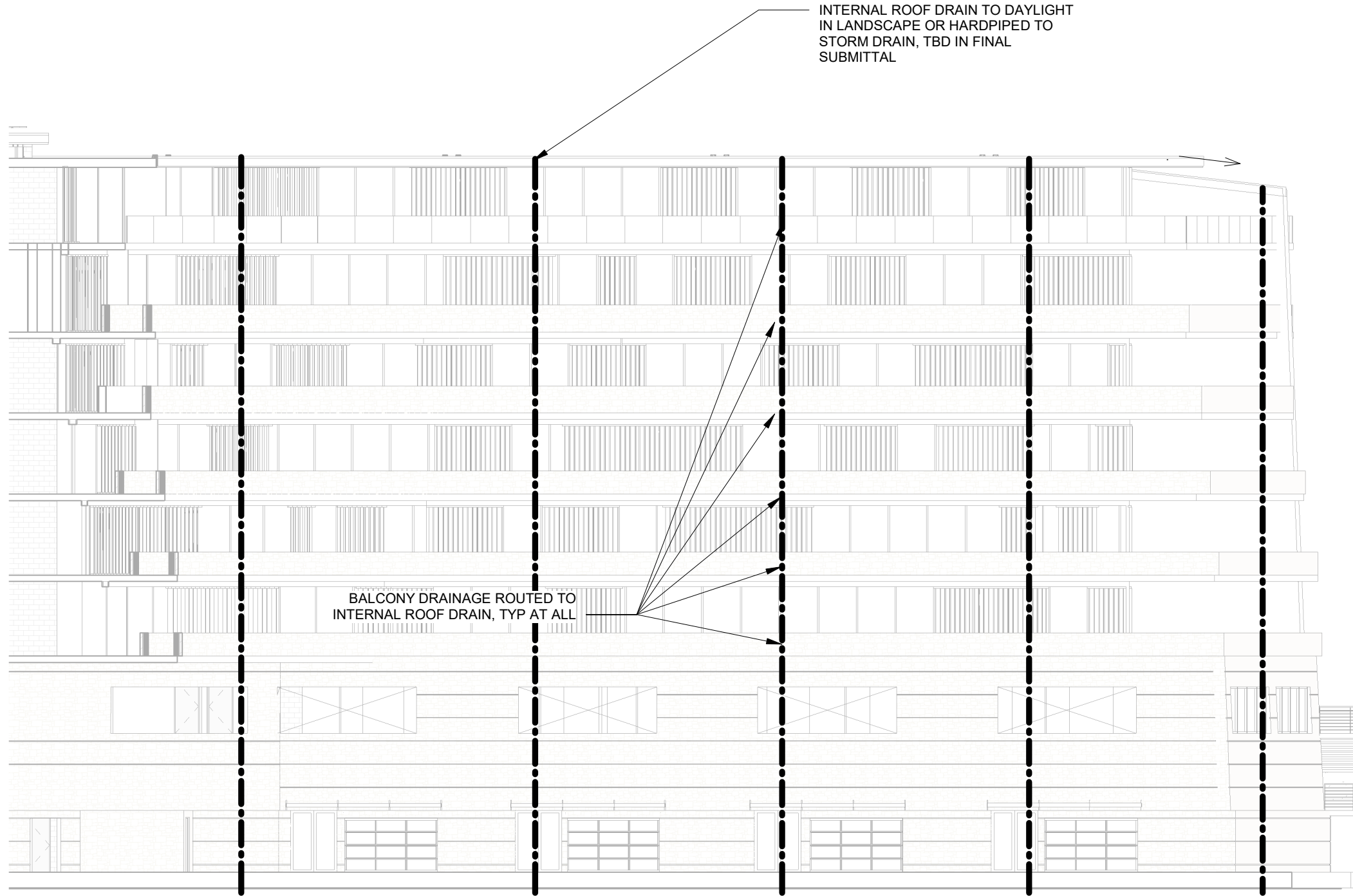
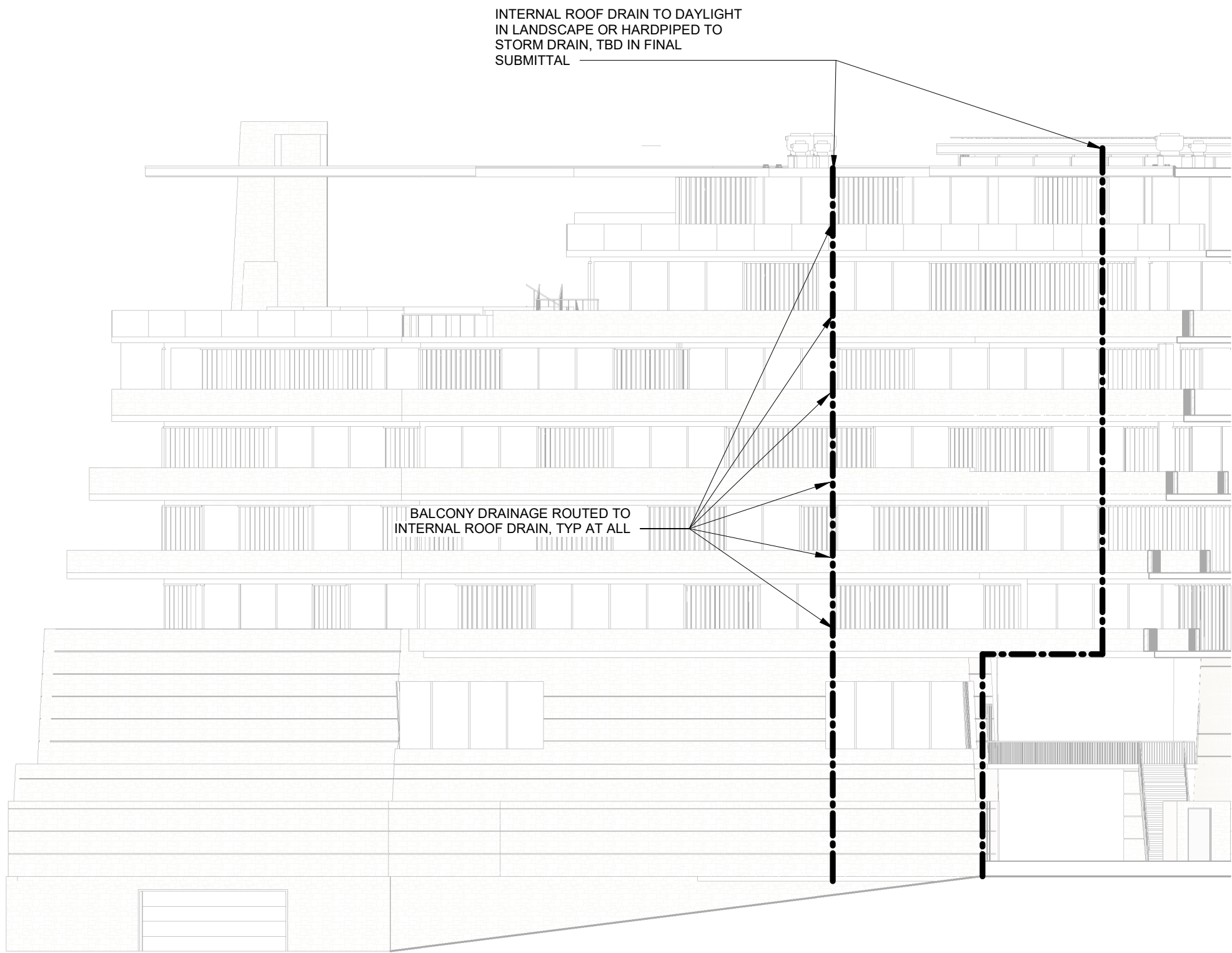
VAULT DESIGN, LLC
1440 W 8TH ST. #
2309
GOLDEN, CO 80401

MOUNTAIN
VILLAGE
HOTEL 109R

LOT 109R
MOUNTAIN VILLAGE, CO
Project Number

DISCLAIMER:
THESE DOCUMENTS ARE PROVIDED BY
VAULT DESIGN, FOR THE DESIGN
INTENT OF THIS SPECIFIC PROJECT
AND ONLY THIS PROJECT. THE
CONTRACTOR SHALL BE RESPONSIBLE
FOR ALL CONSTRUCTION
COORDINATION, METHODS AND
MATERIALS REQUIRED FOR THE
SUCCESSFUL COMPLETION OF THE
PROJECT. THIS INCLUDES BUT IS NOT
LIMITED TO THE QUALITY OF
WORKMANSHIP AND MATERIALS
REQUIRED FOR EXECUTION OF THESE
DOCUMENTS AND WORK OR
MATERIALS SUPPLIED BY ANY
SUBCONTRACTORS. ALL WORK SHALL
COMPLY WITH GOVERNING CODES
AND ORDINANCES. THE CONTRACTOR
SHALL REVIEW AND UNDERSTAND ALL
DOCUMENTS AND SHALL NOTIFY THE

ISSUED/REVISION SCHEDULE				
NO.	DESCRIPTION	AUTHOR	CHECKED	DATE
		R	D	



SNOW MELT KEY	
SB	SPLASH BLOCKS IN TERRACE
←	DIRECTION OF WATER FLOW
---	INTERNAL ROOF DRAIN
G	GUTTER
RD	ROOF DRAIN

SNOW MELT KEY
1/4" = 1'-0"

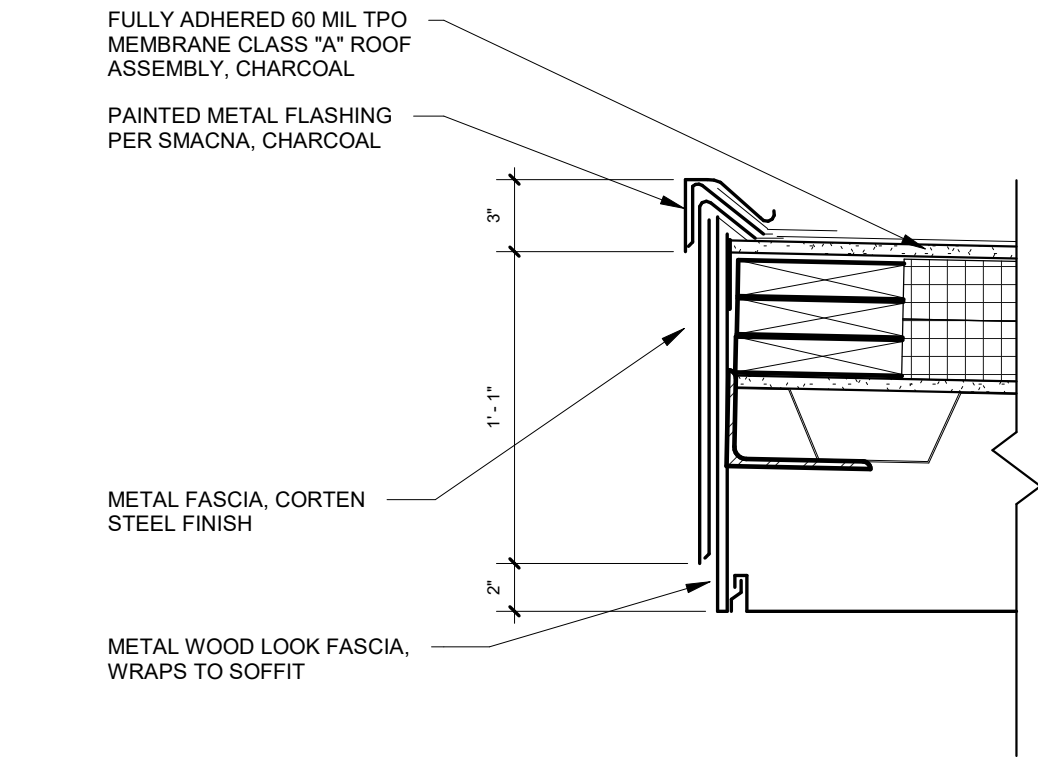
0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION-SNOW MELT
STUDY - SOUTHWEST
1/16" = 1'-0"

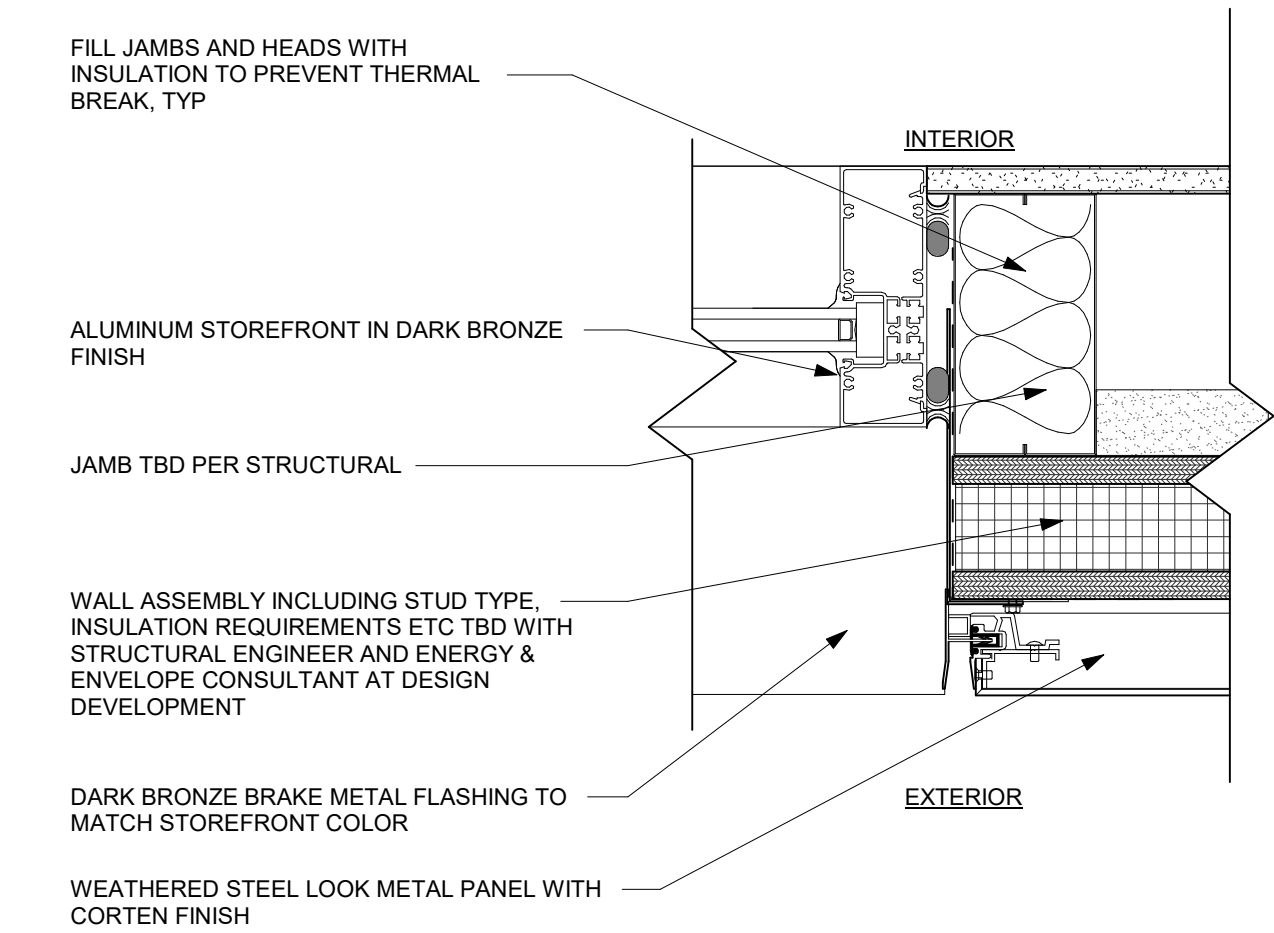
EXTERIOR ELEVATION-SNOW MELT
STUDY- SOUTHEAST
1/16" = 1'-0"

MAJOR PUD
AMENDMENT
04.04.2022

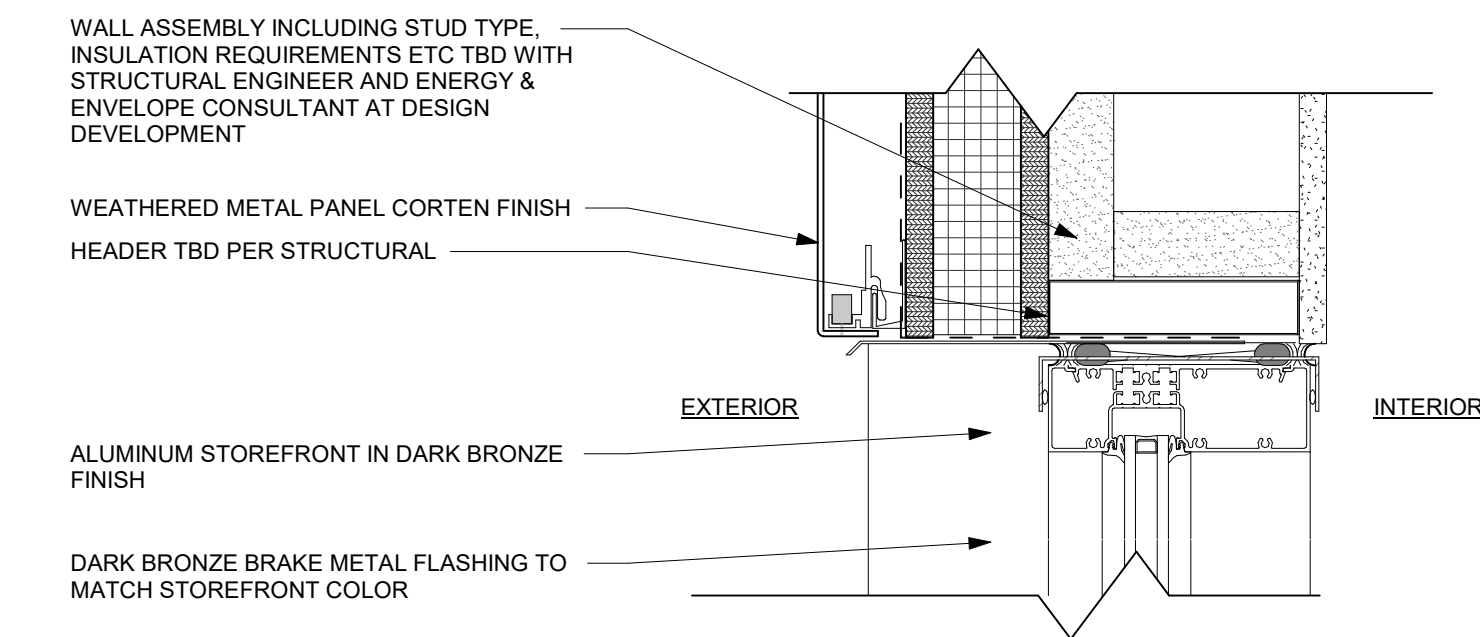
SHEET
No.
A-2.22
EXTERIOR
ELEVATION-SNOW
MELT STUDY



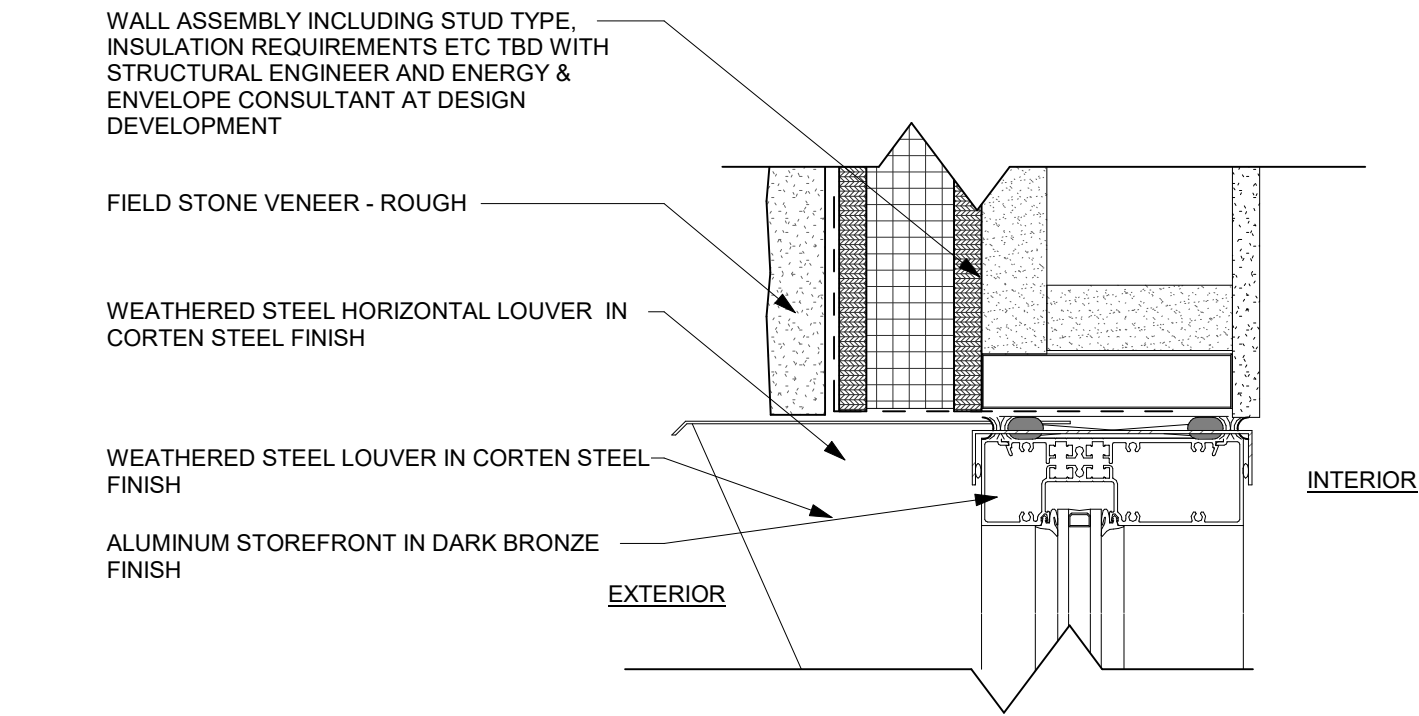
6 SCHEMATIC SECTION AT ROOF FASCIA
1 1/2" = 1'-0"



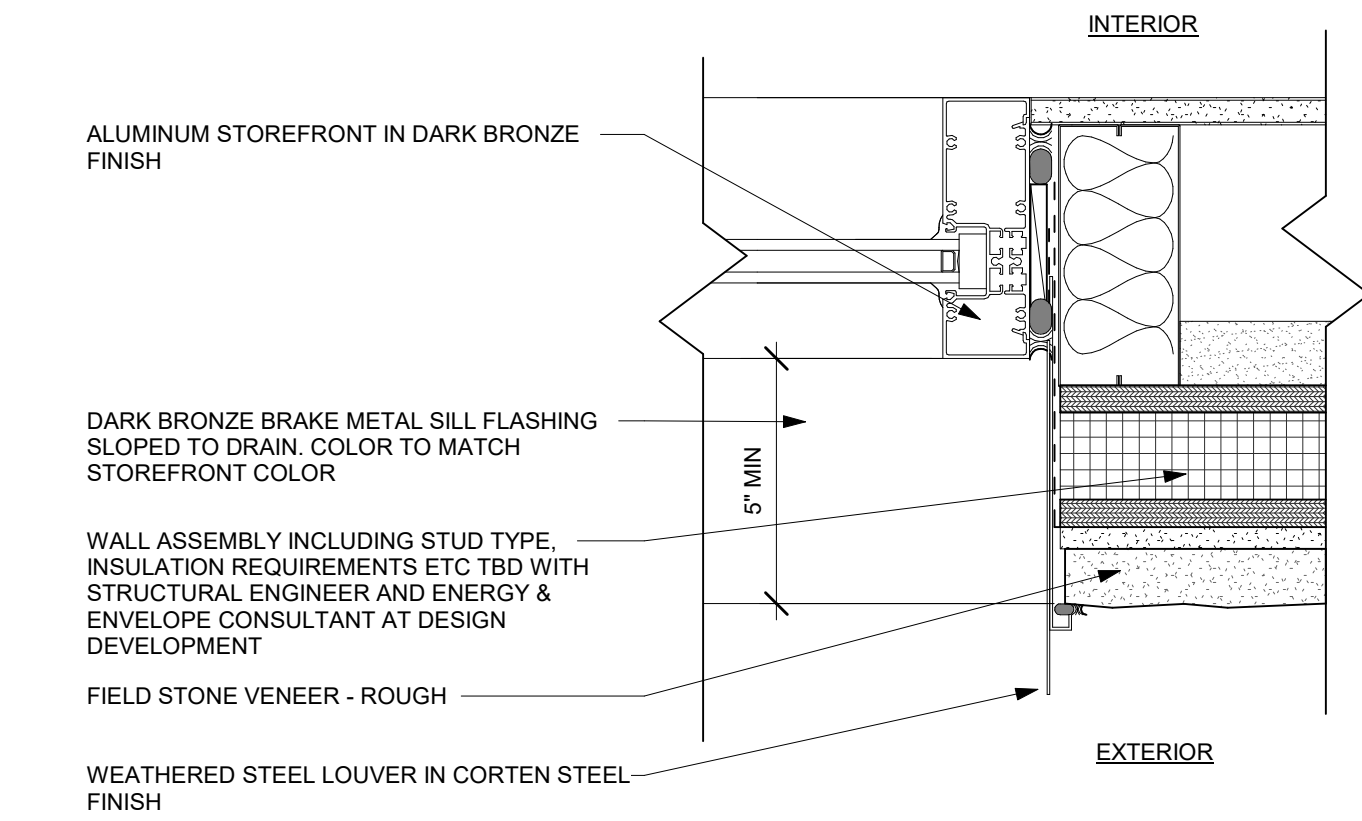
3 JAMB AT METAL PANEL
3" = 1'-0"



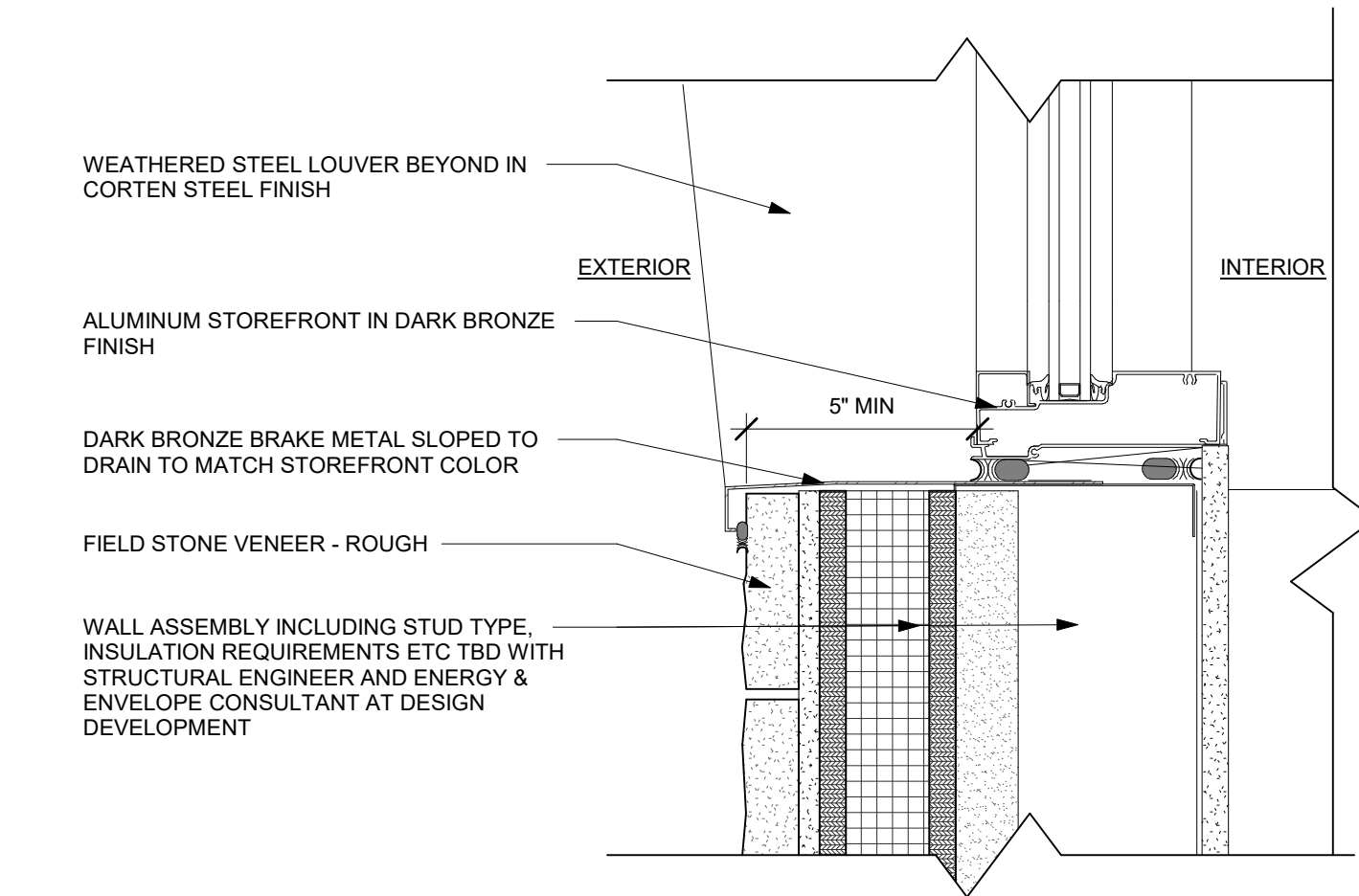
1 HEAD AT METAL PANEL
3" = 1'-0"



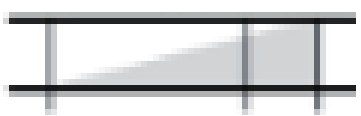
5 HEAD AT STONE
3" = 1'-0"



4 JAMB AT STONE
3" = 1'-0"



2 SILL AT STONE
3" = 1'-0"



VAULT DESIGN, LLC
1440 W 8TH ST #2309
GOLDEN, CO 80401

Mountain Village Hotel

LOT 109R MOUNTAIN VILLAGE, CO

NOTICE: BOTH BY OR COOPERATION
RELEASE OF THESE DOCUMENTS CONTEMPLATES
FURTHER COOPERATION AMONG THE OWNER, DESIGNER,
CONTRACTOR, AND THE ARCHITECT. DESIGN AND
CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT
AND DESIGN CONSULTANTS HAVE PERFORMED THEIR
SERVICES WITH CARE AND DILIGENCE, THEY CANNOT
GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT
AND EVERY CONVEYANCE CANNOT BE ANTICIPATED. ANY
ERRORS, OMISSIONS, OR DISCREPANCY DISCOVERED BY
THE USER OF THESE DOCUMENTS SHALL BE REPORTED
IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE
ARCHITECT COMPOUNDS MISUNDERSTANDING AND
INCREASES CONSTRUCTION COSTS. A FAILURE TO
COORDINATE BY EARLY NOTICE TO THE ARCHITECT SHALL
RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL
CONSEQUENCES ARISING OUT OF SUCH CHANGES.

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THE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS
OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE
ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE
MADE IS EXECUTED OR NOT. © VAULT ARCHITECTS
DO NOT SCALE FROM DRAWING. VERIFY ALL DIMENSIONS
ON SITE.

Item	No.	Date	Description

LOT 109R MAJOR PUD
AMENDMENT 04.21.2022

SEAL

Project Number
JOB NO.

TYPICAL DETAILS

A-2.23



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
Submittal 2022-03-04

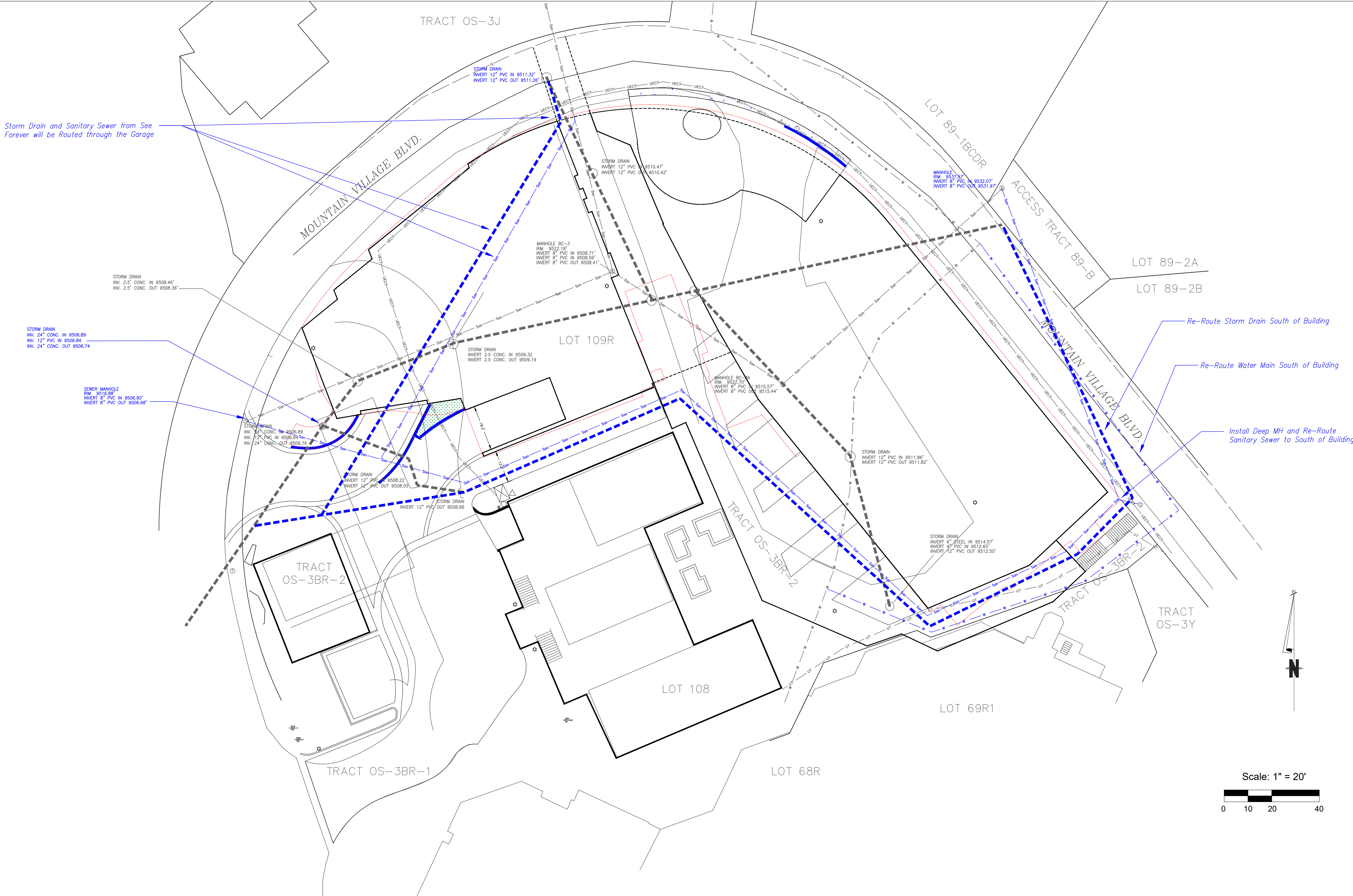
Lot 109R
Mtn. Village, CO

NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utility Plan

C3



Storm Drain and Sanitary Sewer from See
Forever will be Routed through the Garage

STORM DRAIN
INV. 2.5' CONC. IN 9508.46'
INV. 2.5' CONC. OUT 9508.36'

STORM DRAIN
INV. 24" CONC. IN 9506.89
INV. 12" PVC IN 9506.84
INV. 24" CONC. OUT 9506.74

SEWER MANHOLE
RM 9514.85'
INVERT 8" PVC IN 9506.90'
INVERT 8" PVC OUT 9506.88'

TRACT
OS-3BR-2

TRACT OS-3BR-1

TRACT OS-3J

STORM DRAIN
INVERT 12" PVC IN 9511.32'
INVERT 12" PVC OUT 9511.26'

MANHOLE BC-3
RM 9522.18'
INVERT 8" PVC IN 9508.71'
INVERT 8" PVC IN 9508.59'
INVERT 8" PVC OUT 9508.41'

STORM DRAIN
INVERT 2.5 CONC. IN 9509.32
INVERT 2.5 CONC. OUT 9509.19

LOT 108

LOT 68R

LOT 69R1

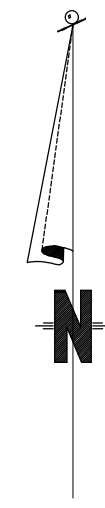
LOT 89-1BCDR
ACCESS TRACT 89-B

LOT 89-2A
LOT 89-2B

Re-Route Water Main South of Building

Install Deep MH and Re-Route
Sanitary Sewer to South of Building

Re-Route Storm Drain South of Building



Scale: 1" = 20'
0 10 20 40

Note:
Power Re-Locates are being coordinated with SMPA. It is
assumed that CATV and Phone will follow the Power.
No gas lines were located within the Building Envelope.

**RESOLUTION OF THE TOWN COUNCIL
OF THE TOWN OF MOUNTAIN VILLAGE,
MOUNTAIN VILLAGE, COLORADO
APPROVAL OF FINAL PLANNED UNIT DEVELOPMENT APPLICATION
MOUNTAIN VILLAGE HOTEL PLANNED UNIT DEVELOPMENT**

Resolution No. 2010-1208-31

WHEREAS, MV Development Partners, LLC, a Texas limited liability company (“Applicant”) is the owner of record of certain real property described as Lots 73-76R, Lot 109, Lot 110 and Lot 89-A (“Applicant Property”);

WHEREAS, the Town of Mountain Village (“Town”) is the owner of certain unimproved property known as OS-3-BR-1 (“Town Property”);

WHEREAS, the Applicant Property and the Town Property are collectively referred to herein as the “Property”;

WHEREAS, the Town authorized the Applicant to include a portion of the Town Property with the Applicant Property in an application seeking (1) Final Planned Unit Development (“PUD”) Plan pursuant to Section 4-6 of the Mountain Village Land Use Ordinance (“LUO”), (2) replat, rezone and density transfer pursuant to Sections 4-4 and 4-5 of the LUO; and (3) a site specific development plan and associated vested property rights pursuant to Article 6 of the LUO (“Application”);

WHEREAS, the Application includes the following variations/waivers pursuant to the PUD process:

1. Variation/waiver to LUO Section 2-416 to allow Lot 109 and 110, Building Footprint Lots, to expand by more than 25%.
2. Variation/waiver to LUO Section 4-308-9 to allow an increase in maximum to 88’ – 9” and maximum average height of 65’ – 2.9”.
3. Variation/waiver to LUO Section 4-308-2 to allow for permitted uses (parking, pedestrian paths, etc. as shown in plans) in Active Open Space as shown on the Final PUD Plans to be approved pursuant to the PUD process and not the special use permit process.
4. Variation/waiver to LUO Section 4-308-2(f) to allow for conference and meeting space on the plaza level.
5. Variation/waiver to LUO Section 4-308-2 to allow for permitted uses (parking, pedestrian paths, etc. as shown in plans) in Active Open Space to be approved pursuant to the PUD process and not the special use permit process.
6. Variation/waiver to LUO Section 2-466 to allow for the proposed lock-off unit configuration as shown in the Final PUD Plans.
7. Variation/waiver to LUO Section 4-609-5 to extend the PUD vesting period from three (3) to five (5) years.

8. Variation/waiver to LUO Section 9-13 through 9-16 to allow for the “festoon” lights over the plaza area.

WHEREAS, the Application includes the following specific approvals pursuant to the PUD process:

1. Specific approval from the Town Council to allow residential occupancy on the plaza level for an Employee Housing Condominium (LUO Section 4-308-4).
2. Specific approval from the DRB to allow tandem parking to be included as required parking (Design Regulations Section 7-306-2).
3. Specific approval from the DRB to allow for modification of the tile roofing material, not design (Design Regulations Section 8-211-5).
4. Specific approval from the DRB to allow for 2:12 roof pitch (Design Regulations Section 8-202)

WHEREAS, the duly recorded plats of the Property designates the following land uses and density:

Table 1 - DESIGNATED EXISTING LAND USE FOR THE PROPERTY:

Lot	Acres	Zone District	Zoning Designation	Units	Density Per Unit	Total Density
73-76R	.141	Village Center	Condo	12	3	36
			Commercial			
			Employee Condo	1	3	3
109	.092	Village Center	Condo	8	3	24
			Commercial			
110	.077	Village Center	Condo	6	3	18
			Commercial			
89A	.020	Village Center	Commercial			
OS3-BR-1	2.489	Open Space	Active Open Space			
Total				27		81

WHEREAS, the Applicant proposes a certain Rezoning and Density Transfer for the Property as a part of the Application as follows:

Table 2 - PROPOSED ZONING/LAND USES/DENSITY FOR THE PROPERTY:

Approved Density/Commercial SF				
	# Units	Density Per	Total Density	Density Transfer
Efficiency Lodge Units	66	.5	33	
Lodge Units	38	.75	28.5	
Unrestricted Condominium Units	20	3	60	
Employee Apartment	1	3	3	
Commercial SF	20,164			
	Total Density		124.5	
				43.5

WHEREAS, the Applicant is proposing to transfer 43.5 units owned by the Applicant from the Density Bank as a part of the Application;

WHEREAS, the Applicant is proposing to replat the Property into two lots - Lot 109R and Tract OS-3BR-2 (“Replat”), with the Applicant retaining Lot 109 and the Town retaining OS-3-BR-2

WHEREAS, the Applicant Property contains 14,374.8 sq. ft.;

WHEREAS, the Replat shall include 21,562.2 sq. ft. of the Town Property (“Contributed Town Property”) with the Applicant Property creating Lot 109 that contains 35,928 sq. ft.;

WHEREAS, Lot 109R will contain 0.825 acre and Tract OS-3BR-2 contains 1.969 acre;

WHEREAS, The Town authorized the Applicant to include the Contributed Town Property in the Application provided that Applicant transfers and conveys replacement property, which property has been deemed acceptable to the Town (the “Replacement Town Property”), alternatively, in lieu of the conveyance of the Replacement Town Property, the Applicant and Town may agree to the payment of cash or other consideration deemed acceptable to the Town (“**Replacement Town Property Payment**”) on mutually acceptable terms and conditions;

WHEREAS, the Town Council elected to receive Lot 644 as Replacement Town Property in lieu of the Replacement Town Property Payment; -;

WHEREAS, the Applicant is proposing to rezone the new Lot 109R to “Village Center” subject to the applicable provisions of the LUO with the density outlined in Table 2. The Official Zoning Map for the Town of Mountain Village will be amended to show Lot 109 with

the “Village Center” zoning designation upon recordation of this resolution, the Replat, and the Lot 109 Town of Mountain Village, Planned Unit Development;

WHEREAS, the Applicant is proposing to rezone the new tract OS-3BR-2 as “Active Open Space” subject to the applicable provisions of the LUO. The Official Zoning Map for the Town of Mountain Village will be amended to show OS-3BR-2 with the Active Open Space zoning designation;

WHEREAS, the Application has been reviewed and considered by the Town in accordance with applicable law, including but not limited to, the LUO and Design Regulations;

WHEREAS, at a duly noticed and conducted public hearing on October 28, 2010, the DRB recommended to the Town Council that the Application for Conceptual PUD Plan be approved with conditions pursuant to LUO Section 4-606;

WHEREAS, at a duly noticed and conducted public hearing on March 11, 2010, the Town Council granted Conceptual PUD Plan approval to the Application pursuant to LUO Section 4-606;

WHEREAS, at a duly noticed and conducted public hearings held on June 24, 2010 and again on July 22, 2010, the DRB granted Sketch PUD Plan approval to the Application pursuant to LUO Section 4-607;

WHEREAS, at a duly noticed and conducted public hearing on October 28, 2010, the DRB recommended to the Town Council that the Application for Final PUD Plan be approved pursuant to LUO Section 4-608 as well as other components of the Application;

WHEREAS, at a duly noticed and conducted public hearing on December 8th 2010, the Town Council granted Final PUD Plan approval to the Application pursuant to LUO Section 4-609 as well as other components of the Application, including, specifically and without limitation, the request for Extended Vesting Rights;

WHEREAS, after conducting the respective public hearings, receiving evidence and taking testimony and comment thereon, the DRB and the Town Council respectively found that: (i) the Property achieves one (1) or more of the applicable purposes listed in Section 4-616 of the LUO, and (ii) the resulting development will be consistent with the provisions of Section 4-617 of the LUO;

WHEREAS, the public hearings referred to above were preceded by publication of public notice of such hearing(s) on such dates and/or dates from which such hearings were continued in the *Telluride Daily Planet* and by mailing of public notice to property owners located within one hundred and fifty feet (150’) of the Property, as required by the LUO;

WHEREAS, the Applicant has now met all requirements for: (1) Final PUD approval and has addressed all conditions of Final PUD approval as set forth by the DRB and Town Council, except as provided herein; and (2) final approval for the components of the Application

relating to the Replat, Rezone, Density Transfer, variations/waivers and Extended Vesting Rights;

WHEREAS, after the public hearings referred to above, the DRB and the Town Council each individually considered the Application submittal materials, and all other relevant materials, public letters and public testimony, and found as follows: (1) the PUD complies with all LUO and Town of Mountain Village Design Regulations (“Design Regulations”) provisions applicable to the Property; (2) the PUD achieves one or more of the applicable community purposes/benefits listed in LUO Section 4-616; and, (3) the PUD is consistent with and substantially complies with the applicable review standards and requirements listed in LUO Section 4-617;

WHEREAS, the Applicant has met all requirements for Final PUD Plan approval under LUO Section 4-6 and the Design Regulations, and has addressed, or agreed to address, all conditions of Final PUD Plan approval imposed by Town Council based upon a recommendation for approval by the DRB;

WHEREAS, the Applicant has specifically complied with Section 4-616, Community Purposes, in the following manner:

4-616-2 Development of, or a contribution to the Development of either: (i) public facilities, such as public parking and transportation facilities, public recreation facilities, public cultural facilities, and other public facilities; or (ii) public benefits as either may be identified by the DRB or the Town Council. The public facilities or source of the public benefits may be located within or outside of the PUD but shall be public facilities or public benefits that meet the needs not only of the PUD residents or property owners, but also of other residents, property owners and visitors of the Town.

The Applicant shall provide the following public benefits, the provision of which shall be a condition of this Resolution:

- A. The Applicant shall provide at least forty dedicated hotel rooms according to the terms and conditions of the Development Agreement.
- B. The Applicant shall require that the Project shall be either: (i) operated and managed by, and/or (ii) franchised as an internationally or nationally recognized full service hotel operator/brand (as applicable) with significant experience in full service operations with existing broad marketing distribution capabilities (“**Hotel Operator**”) for the life of the Project according to the terms and conditions of the Development Agreement Section 7.2.1.B of the Development Agreement shall provide for mediation between the parties in the event the Applicant and the Town are unable to agree on a Hotel Operator and shall further provide that the approved Hotel Operator shall have programs in place that demonstrate broad market exposure.
- C. The Applicant shall impose a hotel operator, hotel amenities, services and facilities covenant, enforceable by the Town, on the Property according to the terms and conditions of the Development Agreement.
- D. The Applicant shall impose a covenant on the Property requiring all purchase contracts concerning the initial sale of Lodge and Efficiency Lodge Units that require a buyer to

select a standard furniture package developed by the Hotel Operator and the price for purchasing the unit shall include the cost of the furniture package and such covenant may not be waived by the parties.

- E. The Applicant shall provide for an employee housing mitigation payment to the Town in the sum of \$996,288 (“**Mitigation Payment**”), which shall be payable simultaneously with the issuance of the initial building permit, excluding a standalone excavation permit for the Project. The Town may use the Mitigation Payment for any public purpose as determined by the Town, which may include, but shall not be limited to, employee housing, transportation or trash facility relocation, provided that not less than 60% of the Mitigation Payment shall be used for employee housing purposes. On the second anniversary of the initial Certificate of Occupancy for the Project, Owner shall provide a certified statement indicating the actual number of full time equivalent employees employed at the Project. The certified statement shall confirm to the Town the number of full time equivalents employees based upon time cards, income tax reporting and such other and similar employment records, which shall be reviewed, evaluated, discussed and otherwise held in a confidential manner by the Town. As a further offset to employee housing needs generated by the Project, Owner shall pay the Town a one time payment of \$4,018.52 for each full time equivalent employee averaged over the two year period dating from the issuance of the initial Certificate of Occupancy for the Project in excess of the 90 full time equivalent employees estimated by the Owner (“**One Time Payment**”). The payment shall be due on the date that is the thirty month anniversary of the initial Certificate of Occupancy for the Project. In the event that the certified statement indicates that the Project is employing less than the anticipated 90 full time equivalents employees, the Town shall not be required to refund any portion of the Mitigation Payment to Owner. The Owner may propose to mitigate any added employees by providing on-site or off site employee units as an alternative to the One Time Payment.
- F. Employee Housing Unit. The Employee Housing Restriction on one Unit in the Project is considered a public benefit and shall specifically provide that the Employee Housing Restriction does not terminate in the event of a foreclosure on such unit.
- G. Owner shall construct and make available to the general public, for at least 16 hours per day, 365 days per year, restrooms in the Project reflected in the Final PUD Plans that are accessible from the plaza and associated easements, without cost to the Town according to the terms and conditions of the Development Agreement. The Town and Owner shall meet and confer to establish opening times, which may vary seasonally.
- H. Owner shall construct certain “**Plaza Improvements**” reflected in the Final PUD Plans and shall maintain such Plaza Improvements according to the terms and conditions of the Development Agreement.
- I. The Owner shall construct, and convey to the Town 48 parking spaces in the project according to the terms and conditions of the Development Agreement. Following conveyance of the 48 parking spaces, the Town may elect, in its sole and absolute discretion, to sell, lease, or further convey the 48 parking spaces. The Owner will improve the Westermere Breezeway and the associated path through such breezeway in substantial accordance with the Final PUD Plans, provided that the Westermere HOA has provided its written authorization and consent to such work on commercially reasonable terms and conditions and within thirty days following Owner’s submission of its request for such authorization. The Owner shall submit the authorization and consent to the Town with its application for the building permit. If the Westermere HOA fails to

provide the authorization and consent in form, content or timeframe contemplated by this Resolution, the Owner shall be fully released from its obligation to improve the façade and the associated walkway as shown on the Final PUD Plans.

- J. The Owner shall construct two conference rooms in the Project in general accordance with the Final PUD Plans, which shall be available for use by owners and guests in the Project and non-owner guests according to the terms and conditions of the Development Agreement.
- K. In order to utilize the tandem parking spaces shown on the Final PUD Plan, the Owner or condominium association shall provide 24 hour per day valet parking services for the tandem parking spaces by providing attendants who receive, park and return vehicles to owners and guests as further detailed in the Development Agreement.
- L. The owners association for the Project shall be responsible for removing and/or relocating snow from the south side of upper Mountain Village Boulevard to allow for adequate snow storage for plowing of upper Mountain Village Boulevard.

The Town Council found that the foregoing proposed Community Benefits satisfy Section 4-616 of the Land Use Ordinance.

WHEREAS, the Applicant has specifically complied with Section 4-617, Review Standards, in the following manner:

(1) The Development proposed for the PUD is generally consistent with the underlying purposes and goals of the LUO and the Design Regulations because, without limitation: (A) it was processed in accordance with the PUD process of the LUO; (B) the project will promote the public health, safety and welfare due to the extensive design review process that assured an appropriate massing that fits within the context of the Village Center while also achieving some envisioned goals of the pending Comprehensive Plan; (C) the project will preserve open space and protect the environment since Active Open Space in the Village Center was always envisioned to be developed by the expansion of footprint lots and the project avoids areas with environmental constraints; (D) the project will enhance and be compatible with the natural beauty of the Town and its surrounding since it will allow for resort development in an area that is currently covered in parking lots and poor vegetation, with the development designed to fit into the context of the site and the Village Center; (F) the project will foster a sense of community because it will provide for more activity and vitality in the Village Center area and provide more hot bed base to the community, with more traffic and activity created for the town as a whole; (G) the project's design will promote good civic design and development because it has been found to meet the Design Regulations and the PUD Regulations for the Town, with numerous public meetings to shape the final design; (H) the project will help to create and preserve an attractive community due to the attention to massing, the stepping of heights, varying wall planes, attractive design, and the modern, high alpine design theme; (I) the project will promote the economic vitality of the town, promote the resort nature and tourism trade of the town and promote property values in the towns due to the hot bed requirements of the PUD, the conference center and by adding more people to the Village Center that support more business and commercial ventures;

(2) The Development proposed for the PUD represents a creative approach to the development and use of land and related physical facilities to produce a better development than would otherwise be possible under the strict application of the requirements of the underlying Zoning Designation, Zone District and Land Use and Density and will provide amenities for residents of the PUD and the public in general. The PUD allows for the creative use of some low quality active open space and the combination of private lots to create a development that provides for a flag hotel site that would not be possible without the PUD process since such process allows for expanding footprint lots, increased heights, unique lock-off combinations, and other variations.

(3) The Development proposed for the PUD is designed to be compatible with the surrounding environment, neighborhood and area relative to, but not limited to, architectural design, scale, bulk, building height, buffer zones, character, and orientation and shall not unreasonably affect existing land uses and the future development of the surrounding neighborhood and area. The Applicant has worked with its consultants, the DRB and the Council to create a high density hot bed development that fits into the high density nature of the Village Center. The buildings bulk, scale, building height, landscaping and architectural design have been shaped to be compatible with surrounding area development. The requested maximum building height is found on only one location, with the roof heights cascading down to the south while stepping in a more linear, albeit lower height to the north and west, with specific attention paid to stepping the building towards Westermere. The building's design also breaks up the mass by extensive roof articulation, wall articulation, color changes, material changes, decks and the large open plaza area to the west.

(4) The landscaping and public spaces proposed for the PUD provides sufficient buffering of uses from one another to minimize adverse impacts and create attractive public spaces consistent with the character of the surrounding environment, neighborhood and area. The project has created a very unique plaza area that will stand out from other plaza areas due to unique paver design, lighting integrated into the pavers, festoon lighting, landscaped planters and commercial facades that are designed to have large glass areas. The building's heavy stone base will provide the vertical walls up from the plaza and create an attractive, high alpine setting. In addition, the plans call for an outdoor dining area which will help create an activity center in the area, which combined with the Westermere and Palmyra retail shops, creates the potential for a very active public place that spills out to the pond. When the pond lots are developed to the south, the whole potential of this area as an attractive, vital place with lots of pedestrian interest should be realized.

(5) The Development proposed for the PUD provides sufficient parking and traffic circulation. The final PUD plans provide for more parking spaces than required by the Design Regulations. Traffic and pedestrian circulation patterns have been extensively analyzed for this project, with the Applicant submitting a traffic analysis that shows good levels of service for the drive intersection.

(6) There is only one phase for this PUD project.

- (7) The PUD is not proposing a rezoning of a single family lot.

NOW, THEREFORE, BE IT RESOLVED that the Town Council hereby grants the following land use approvals for the Property in accordance with the provisions of the LUO: (1) Final Plan Approval pursuant to Section 4-6 LUO, and (2) replat, rezone and density transfer pursuant to Sections 4-4 and 4-5 of the LUO; with authorization for the Mayor to sign the Resolution, subject to conditions set forth herein, and the requirements of the Development Agreement for the Property in a form substantially similar to the draft development agreement presented at the December 8, 2010 Town Council meeting (“Development Agreement”).

Conditions of this Final PUD Plan Approval are as follows:

1. Prior to recording the final plat, the plat shall be revised to show easements for the utilities currently traversing through Lot 109R, with notation thereon or by other legal instrument, allowance for the Applicant to relocate the easements in accordance with the composite utility plan that is a part of the building permit application.
2. The Applicant shall provide the Replacement Town Property or payment in lieu as set forth herein in accordance with the terms and conditions of the Development Agreement.
3. The Applicant shall provide all public benefits as set forth herein and in accordance with the terms and conditions of the Development Agreement.
4. Such other terms and conditions as set forth in the Development Agreement.
5. All representations of the Applicant, whether within the submittal or at the DRB hearing, are conditions of this approval.
6. Per Section 2-1307 of the Town of Mountain Village Design Regulations, this approval does not allow any violation to the LUO and/or Design Regulations or imply approval of any errors that may be contained in this Application that violate the LUO and/or the Design Regulations.
7. The landscaping plan shall be revised to include a requirement to salvage existing trees located on the Property to the extent practical.
8. The Development Agreement shall contain a mediation clause for the purpose of resolving any issues may that arise as a result of the design or construction of the public benefits.
9. The Development Agreement shall contain a clause that requires the Applicant to submit a report to the Community Development Department, with a copy to Town Council, demonstrating how its construction plans for the project have been prepared to insure that the required public benefits have been designed to achieve applicable construction standards and requirements and will function and operate in a manner that is consistent with the customary goals and objectives for which the public benefit was accepted by the Town. The report and plans will be reviewed by the Community Development Department to determine compliance with this requirement. In the event that the Community Development Department determines that the report fails to adequately demonstrate compliance, the matter shall be referred to the Town Council for further review and appropriate action.

BE IT FURTHER RESOLVED that pursuant to Section 3-511 the Town Council has received a draft of the Development Agreement. The Town Council authorizes the Mayor to


appoint a committee consisting of the Mayor and one or more Town Councilors, who shall, in consultation with the Town Manager, legal counsel and the Director of Community Development, finalize and authorize the Mayor to execute the Development Agreement consistent with the terms and conditions of this Resolution No. 2010-1208-31

BE IT FURTHER RESOLVED that the approval of the Final PUD Plan for the Property as set forth in this Resolution constitutes a Site Specific Development Plan and upon appropriate publication shall create a vested property right for an extended vesting period of five years pursuant to C.R.S. § 24-68-101-106 and Article 6 of the LUO.


BE IT FURTHER RESOLVED that the Property may be developed as submitted in accordance with this Resolution, the Development Agreement and the applicable provisions of the LUO and the Design Guidelines.

APPROVED by the Town Council at a public meeting held on December 8, 2010.

TOWN OF MOUNTAIN VILLAGE, TOWN
COUNCIL

 Robert Delves
2010.12.09
16:24:36 -07'00'
By: _____
Robert H. Delves , Mayor

Attest:

 Kim Montgomery
2010.12.09 16:25:12
-07'00'
By: _____
Kim Montgomery, Town Clerk

Overview of the 2010 PUD Development Agreement compared to the Proposed Amendments

Original and Proposed amendments to the PUD

	Original PUD	Amendment Request
Public Benefits		
	40 dedicated hotel rooms	62 dedicated hotel rooms
	Hotel Operator requirements	Hotel Operator requirements – letter of intent with Six Senses
	Furniture package	Furniture package
		Not condo-hotel rooms but all rooms as one condominium unit
	A Mitigation payment of \$996,288	A Mitigation payment of \$1,500,000 to be a combined mitigation payment and building permit payment.
	A portion can be used to relocate the trash facility	
	60% of the mitigation payment to be used for employee housing.	
	On the 2 nd anniversary of a Certificate of Occupancy, the operator will provide actual full time equivalent employee information. The owner shall pay \$4,018.52 per employee in excess of the 90 full time equivalent employees estimated by the owner.	On the 2 nd anniversary of a Certificate of Occupancy, the operator will provide actual full time equivalent employee information. The owner shall pay \$4,018.52 per employee in excess of the 90 full time equivalent employees estimated by the owner.
	One (1) employee housing unit	Two (2) employee apartments and 18 employee dormitories
	Public Restroom	Public Restroom
	Plaza Improvements	Plaza Improvements
		A Commitment to providing 11,700 square feet of area within the hotel project dedicated to employee housing and associated amenity spaces
	48 public parking spaces in the parking garage	Removed
	Westermere Breezeway Improvements	Westermere Breezeway Improvements
	Conference Room space rentable by the public	Conference Room space rentable by the public
	24 hour valet service in exchange for tandem parking	Valet Parking
	Snow removal and/or relocation from the south side of Upper Mountain Village Blvd	Snow removal and/or relocation from the south side of Upper Mountain Village Blvd
		Reposition and replace the town village center trash facility. The applicant indicate this has a value of \$750,000 but that may include the proposed snow melt boiler location.
	Village Pond Improvements	Village Pond Improvements as a fee in lieu
	The Town included 21,562.2 square feet of town property to create the	

	resulting Lot 109R containing a total of 35,928 square feet. The town accepted replacement property specifically Lot 644 in the meadows in consideration for the replatted property and original PUD agreement.	
	Original PUD	Amendment Request
Variations	Variation/waiver to LUO Section 2-416 to allow Lot 109 and 110, Building Footprint Lots, to expand by more than 25%.	
	Variation/waiver to LUO Section 4-308-9 to allow an increase in maximum to 88' – 9" and maximum average height of 65' – 2.9".	Variation/waiver CDC 17.3.12 Building Height Limits, to allow an increase in maximum to 96'-8" and maximum average height of 83.6'
	Variation/waiver to LUO Section 4-308-2 to allow for permitted uses (parking, pedestrian paths, etc. as shown in plans) in Active Open Space as shown on the Final PUD Plans to be approved pursuant to the PUD process and not the special use permit process.	Variation/waiver to CDC 17.3.4.H.4. Plaza Level Use Limitations to allow for permitted uses (parking, pedestrian paths, etc. as shown in plans) in Active Open Space as shown on the Final PUD Plans to be approved pursuant to the PUD process and not the special use permit process.
	Variation/waiver to LUO Section 4-308-2(f) to allow for conference and meeting space on the plaza level.	
	Variation/waiver to LUO Section 2-466 to allow for the proposed lock-off unit configuration as shown in the Final PUD Plans.	Variation/waiver to CDC 17.8, Lock Off Units to allow for the proposed lock-off unit configuration as shown in the Final PUD Plans.
	Variation/waiver to LUO Section 4-609-5 to extend the PUD vesting period from three (3) to five (5) years.	.
	Variation/waiver to LUO Section 9-13 through 9-16 to allow for the "festoon" lights over the plaza area.	
		Variation/waiver to the CDC to allow for excess efficiency lodge and lodge density to be rezoned to condominium, employee apartment or employee dormitory density.
		A request for Town Council to create bonus density or MV density in the density bank to be transferred to the property for employee apartment or employee dormitory use, as needed.
		A request to allow for an administrative, staff level rezone and density transfer for additional employee density, as a class one staff level PUD amendment.
		To allow for the commercial parking requirements to be 1 parking space per 1,000 square feet of commercial space and not apply the 1 space per 500 square

		feet of high intensity use requirement to apply a variation to CDC Section 17.5.8 Table 5-2 Required Parking Table
		A replat request to adjust boundaries between Lot 109R and OS-3-BR-2, Village Center Active Open Spaced owned by the Town of Mountain Village. Village Center Open space when reconfigured would increase by 360 square feet with modified boundaries.
		A request for no build zones, building overhangs and encroachments
		Reposition the 89 Lot access easement.
		See Forever Walkway. A pedestrian access easement will be drafted that connects See Forever through Lot 109R to the Village Center. The pathway is recognized onsite.
		The load and unload area is less than the dimensional requirements at CDC Section 17.5.8.C.10.a
		The load and unload area is not entirely contained within the building at CDC Section 17.5.8.C.10.d.ii.h.
		Conference Center to be offered to the public at market rate rather than comparable to the Conference Center.
		For Village Pond Improvement commitments to be fee in lieu to be used by the Town or a third party for such improvements.
		Westermere breezeway improvements and Westermere path improvements consistent with their proposed development plan and subject to 7.2.8 of the proposed development agreement.
		A variation to the CDC requirement that compact cars be kept in general common ownership. The applicant is using compact car spaces to meet unit parking requirements per CDC 17.5.8.C.c.
		To allow zoning changes to the employee housing condominium unit to be initiated by the owner of the unit alone.
		Roof Form per CDC 17.5.6.C.
		Wall material (no stucco proposed) per CDC 17.5.6.E.
		Glazing – uninterrupted areas of glass that exceed 16 square feet per CDC 17.5.6.G.5
		Decks and Balconies – long continuous bands per CDC 17.5.6.I.
		Commercial, Ground Level and Plaza Area Design Regulations – Storefront Design, Color Selection per CDC 17.5.15

		Garage Drive Aisle reduced from 22 feet to 18 feet approved by the fire marshal per CDC 17.5.8.C.3
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	Original PUD	Amendment Request
Specific Approvals	Specific approval from the Town Council to allow residential occupancy on the plaza level for an Employee Housing Condominium (LUO Section 4-308-4).	Specific approval from the Town Council to allow residential occupancy on the plaza level for an Employee Housing Condominium (LUO Section 4-308-4).
	Specific approval from the DRB to allow tandem parking to be included as required parking (Design Regulations Section 7-306-2).	
	Specific approval from the DRB to allow for modification of the tile roofing material, not design (Design Regulations Section 8-211-5).	
	Specific approval from the DRB to allow for 2:12 roof pitch (Design Regulations Section 8-202)	
		To establish a parking requirement for dormitory use per CDC 17.5.8.A.5

Density Attachment #6

Density

Approved Density pursuant to the PUD

Type of Zoning Designation Unit	Total Zoning Designation Units	Person Equivalent per Unit Type	Total Person Equivalents
Efficiency Lodge	66	.5	33
Lodge	38	.75	28.5
Condominiums	20	3	60
Employee Apartments	1	3	3
Commercial	20,164 sq ft	0	0
TOTAL			124.5

Proposed Density

Type of Zoning Designation Unit	Total Zoning Designation Units	Person Equivalent per Unit Type	Total Person Equivalents
Efficiency Lodge	62	.5	31
Lodge	18	.75	13.5
Condominiums	22	3	66
Employee Apartments	2	3	6
Employee Dormitory	18	1	18
Commercial	26,468 sq ft		0
TOTAL			134.5

Density Summary

The applicants will have the following excess or deficient density:

4 efficiency lodge unit zoning designations = 2 person equivalent – in excess

20 lodge unit zoning designations = 15 person equivalent – in excess

1 employee unit zoning designation = 3 person equivalent in deficit

18 employee dormitory designation = 18 person equivalent in deficit

2 condominium zoning designation = 6 person equivalent in deficit

Although at Section 17.4.9.D.6. f. notes, “Lodge, efficiency lodge, hotel and hotel efficiency zoning designations may not be rezoned to condominium zoning designations,” and further the town has not allowed efficiency lodge or lodge zoning designation to be rezoned to employee zoning designations, the applicant is asking that the excess lodge and efficiency lodge zoning designations be rezoned to condominium and employee density. The applicant also requests that there be an ability for a staff level density transfer and rezone to increase the employee density, via a staff level PUD amendment in the future, as part of the PUD amendment requests.

From: [Joe](#)
To: [cd](#)
Subject: Notice of Pending Development Application
Date: Tuesday, April 12, 2022 3:38:35 PM
Importance: High

All – thank you for providing us the opportunity to offer feedback to the pending development application. Much like the feedback you received regarding the proposed Four Seasons development, it's imperative that our focus shift from more hotels and hot beds to helping the local community. Without question, it's the local population that drives the culture and soul of the town, making it the special place that it is today.

We should all be asking ourselves, “why?” Why does the town need to continue building and expanding as opposed to addressing the current situation in town? When do preservation and sustainability make their way to the forefront? Telluride and the Town of Mountain Village are changing at a rapid pace, largely driven by skyrocketing real estate costs, making it difficult for local workers and businesses alike. The town and our valley are maxed out! We do not have capacity for more. Locals are stressed and the visitors' experience is impacted.

Continued and rampant development has directly resulted in the degradation of the community and the soul of mountain resort communities across the country. Why would we want to make the same mistake? Roads into Aspen, Breckenridge and Jackson Hole were two-lane thoroughfares. Now, they are 4-lane highways. The outskirts of these beautiful towns are now masses of strip malls, hotels, and traffic lights. No longer do these towns have a true sense of community. Rather, they have become amusement parks for the wealthy and visitors. Is that what we want? It's time to stop focusing on development and start placing all our effort and emphasis on community preservation. We should be ending talks of more hotels and hot beds and refocusing those efforts towards initiatives that would address the disparity between income, housing, and the cost of living.

We are clearly on the trajectory to become just another monochromatic, formerly charming mountain town. However, we still have time to prevent this from happening. We have a chance to save our pure and authentic experience for residents, part-time residents, and visitors alike. Together, we can look back in history and say, “we saved Telluride and the Town of Mountain Village.” Stop the development and let's make sure that all who come here leave saying, “it's not like everywhere else.”

Regards,
Joseph Infantino

Sent from [Mail](#) for Windows

From: [David Koitz](#)
To: [cd](#)
Cc: [virginia howard](#); [Perch Nelson](#); [Bill Nictakis](#); [Robert Stenhammer](#); [Gretchen Koitz](#)
Subject: Opposition to development proposal for Lot 109R
Date: Saturday, April 16, 2022 10:14:21 AM

Dear Design Review Board members—

As homeowners living in the immediate vicinity, we are writing to voice our opposition to the project proposed for development of lot 109R in Mountain Village. Nothing could be more “un-Telluride” like than the massive structure the developers are now proposing. It would be so overwhelming in size and incongruent with the surrounding mountains... the beauty of which makes our community the very special place that it is, and the envy of many other mountain communities here in the Rockies. It would be defacing and is hardly what anyone who sees these mountains and valley for what is often described as... “sacred space.”

The proposed structure with its more than 90-foot height would tower over its neighboring homes and condominiums, with a design and facade so very different than most of the existing surrounds and core area of the village. Its look is that of a massive downtown structure better suited for a large city like Dallas, Phoenix, Houston, or the like. Its roadside appearance is almost that of a huge parking garage. To describe it as outlandish would be an understatement.

It’s as if the developers and their architects were enamored by a vision of their building in isolation, ignoring or oblivious to the glorious setting and softness of the town that now sits within it. Just think of how dominating it would appear on a gondola ride down from the San Sophia station.

As homeowners in the community, we are not opposed to further development of Mountain Village. We are not opposed to change either, and we understand the value of “smart” land development on the mountain. In our view, this project is not “that.” It’s a monolith that would not reflect the “soul” of this community and what it has evolved to be over its 30 years of life.

We would also raise the process question of how this project would fit in with the considerations now being given to overhauling the town’s master plan, notably recognizing the density and “added” hot bed concerns that have been raised by the community at large. Three

other, very big, hotel/condo structures are also under possible consideration very close by. Focusing on this proposal right now without considering that larger discussion of the potentially much greater population density that the aggregate of all those possible builds seems like a backdoor attempt to sidestep the very serious concerns of the town's citizens about too rapid and too large growth.

It seems way out of line to be contemplating this kind of project incrementally. We write with the hope that this proposal will quickly lose "the light of day."

Sincerely,

David and Gretchen Koitz

Sent from my iPad

From: [Czekaj, Andrew](#)
To: [cd](#)
Cc: [Bill Nictakis](#); [Stenhammer, Robert](#); [Chris Sommers](#)
Subject: FW: See Forever Village - Lot 109R Project Info
Date: Friday, April 22, 2022 1:42:51 PM
Attachments: [image950112.png](#)
[Lot 109-R SFVII HOA Feedback & Project Summary.pdf](#)

The Mountain Village Design Board;

Dear Colleague/Fellow Resident;

As an owner at Mt Wilson at See Forever (117 Sunny Ridge Place) we are aghast at the proposed development on Lot 109-R. While a well- designed development within the zoning guidelines would be welcome this is simply a developer looking to maximize floor area ratio and capture profit at the expense of the community.

1. Zoning guidelines are NOT suggestions—or we simply should advertise we do planning BY exception
2. We are NOT Vail and do not desire to re-create Vail- My wife and I chose Telluride because of location not proximate to Denver and not readily accessible by the I-70 connector.
3. Mountain Village seems to by and large adhere to zoning regulations and design in conformance with “Mountain Village”(We are not enamored with transporting “Miami Chic” to our community)
4. The Design Board has a responsibility to all owners/stakeholders in Mountain Village. That would be first and foremost to those that have invested in the community to date.
5. The proposed development will readily work financially based on a more modest scale project and in conformance with current zoning guidelines . One does not need “100 keys” to justify a \$7mm land cost. This is simply pushing a greater profit at our EXPENSE.
6. As part of the decision making, one should require following
 - a. Proving a need for additional hotel rooms in addition to one planned next to gondola.
 - b. Providing a detailed “traffic study” that details impact on See Forever, Adjacent Roads inclusive of the single-family homes up mountain from subject.
 - c. Impact on site lines of all existing projects in immediate proximity of proposed (diminution of value and consequent negative impact on tax base).
 - d. A critical review of design and specifically exterior finishes and how they merge/blend with the community
 - e. Economic impact study—cost benefit analysis—what cost will be added on community—(i.e., fire and rescue; police/security versus any tax revenue benefit for Mountain Village)

In brief I strongly support the position put forth by our board president.

Respectfully,

Andrew Czekaj
Principal



8391 Old Courthouse Road, Suite 210

Vienna, Virginia 22182

Main: 703.709.8866, Ext. 5215

Direct: 703.925.5215

Cell: 703.608.8600

www.cambridgeus.com

www.selfstoragezone.com

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[Brooks Industrial I in San Antonio, TX](#)

[VA Outpatient Clinic in Charlotte, NC](#)

[2121 Brooks Drive Capitol Heights, MD \(SSZ Brooks Drive\)](#)

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To: Mountain Village Design Board:

On behalf of the See Forever 2 HOA, the board is writing to express its strong opposition to the proposed development. We see several issues:

1) Our understanding is that work is being done on developing a master plan for Mountain Village to ensure that we do not lose the unique ambiance of our community and that growth is managed in a planful way appropriate for our community. We also understand that there are several hotels being proposed for the area immediately surrounding the Village core, and that at least one of these (proposed development by the gondola) is also requesting significant variance modifications in terms of design aesthetics. We question why the zoning board is considering multiple individual proposals piecemeal, rather than waiting to finalize an integrated and holistic approach to development that ensures consistency in design and is aligned with the current fabric of our town. The slope we step on by approving 1 or 2 design variances on a case by case basis might indeed be slippery and result in an overall community design impact that was not intended.

2) Based on the proposal, the developer is requesting a variance to the height restrictions, proposing a structure over 96 feet tall. What is the rationale for having a building of this height that violates building codes that I assume were thoughtfully developed? (It appears from the on line resource that 60 feet is the zoning limit in the Village, so this is a 50% increase in maximum height). It seems that every proposed development asks for variances. If they are all approved there will no longer be a standard. In addition, a building of this height will certainly diminish views from many of our See Forever properties and potentially block most sun exposure for some of our current residents. This big structure that is proposed will cause current See Forever owners to lose much of their view of the ski mountain and instead stare at the hotel. It will have a significant negative impact on property values for existing residents. I am sure that when owners purchased in Mt Wilson, they realized that the adjacent area would some day be developed. But I am also sure that they believed that the new development would adhere to the Villages' mountain resort design standards, and would not be taller than what was approved at the time of their purchase. I suspect that had people known that a 96 foot tall building would be built next door, many would have chosen not to purchase. Now they risk being stuck with a property that loses significant value due to the proposed large building that will be adjacent. The developer is asking for a variance to allow a 7 story modernistic building in Mountain Village. Just think about that. It certainly does not fit.

3) Based on the pictures, the # of units in less than 1 acre appears very dense. How does this density fit with the master plan for the town? The proposal indicates that there are 102 rooms planned for this small acreage, plus an additional 22 units for employees. I believe that the zoning currently calls for a building to have maximum lot coverage of 65% (according to the on line reference material). Is that being adhered to in this new development? How is the proposed density at all consistent with the current image, feel, and population of the town? This building proposal will transition Mountain Village towards an urban resort. Not a mountain retreat.

4) The proposed design is contemporary. It reminds me of the Squibb building in Princeton New Jersey. It certainly does not appear consistent with the overall feel of Mountain Village. There is nothing "mountain" about that. Consistent with a high tech office, absolutely. With a mountain resort, no.

5. Walkway. It appears that the walkway from See Forever into the Village Core will be protected. This is an absolute requirement. Owners and guests of See Forever must have a direct pedestrian walkway into the core. We cannot be forced to walk up or down to a street to get into the village. Whatever design is ultimately approved, this unfettered direct walkway access must be required.

On behalf of See Forever Owners, we are adamantly opposed to this project as proposed. We understand that development will happen. We are comfortable with that, so long as it is consistent with the zoning and design standards that are currently in place. We bought our properties based on the Village's commitment to maintaining the unique mountain resort feel, which we believed was protected by zoning. But the modern, tall structure that is proposed is counter to the essence of Mountain Village. It represents a skyscraper in our community. It is being done ad hoc, rather than as part of the comprehensive vision for the town which has been communicated. It is difficult to rationalize proceeding with 1-off developments and changing zoning variances on a case by case basis (2 recent variance proposals....the "5 star" luxury hotel by the Gondola, and now this one) when we are supposedly defining the longer term vision for the community to ensure we manage growth in a manner consistent with what Mountain Village has stood for.

The recent development proposals would indicate that Mountain Village's goal is to replicate Vail, but without the freeway. We residents of See Forever, and I suspect of all of Mountain Village, bought here because we did not want that. We reside in Mountain Village instead of Telluride town because we like the open spaces. We did not buy property here because we wanted to live in a community of densely situated high rises. And for our See Forever owners, we did not purchase our property thinking that zoning would be changed in a way that would negatively impact our home's values.

Sincerely

Bill Nictakis

HOA President. See Forever 2

Maication LLC
A Colorado Limited Liability Company
1907 Hill Oaks Ct
Austin, Texas 78703

April 25, 2022

Via Email: cd@mtnvillage.org
Mountain Village Planning & Development Services Department
455 Mountain Village Boulevard, Suite A
Mountain Village, Colorado 81435

Dear Design Review Board and Town Council:

We own unit A-201 of the Mt. Wilson Lodge at See Forever Village and received your Notice of Pending Development Application dated April 5, 2022.

We greatly appreciate having received your notice as an owner of property within 400 feet of the proposed development. Based on information made available, we wish to voice three objections/concerns.

First and foremost, it is unclear whether the current sidewalk that is used by both See Forever residents and the public who access the lookout point and firepit at the end of the sidewalk is being preserved in the proposed structure. This is a critical access walkway that must be maintained.

Second, we note that the proposed structure would require a variance to allow a maximum height up to 96'8" and a maximum average height of 83.6'. This is considerably higher than the 60' currently allowed. The height would not only block views for others but also have a considerable adverse impact on sunlight patterns. I hope the DRB will oppose this variance request or substantially reduce the permitted height. When buying our property, we knew development would invariably come, but not with such a self-serving variance request at the detriment of nearby neighbors.

Third, and finally, the drawings appear to be for a modern structure rather than one fitting the Mountain Village alpine feel, which we and others cherish.

Thank you for carefully considering these objections and comments.

Sincerely,

A handwritten signature in black ink, appearing to read 'Mark F. Mai', with a stylized flourish at the end.

Mark F. Mai, Member

Comments on lot 109R for May 5 DRB Meeting and subsequent Town Council meeting(s)

I own a commercial unit in Shirana. I participated in the 2011 PUD hearings both as an individual property owner and as an officer of the Shirana HOA. Many of the concerns advanced by both myself and many others at that time were resolved and I was looking forward to construction that conformed to the plans approved at that time.

The current proposal requests substantial, adverse changes to that PUD and variances to town code, many of which I ask the DRB and Council not approve.

The specific areas of concern are: the loading dock and trash transfer areas; the height variance and facade design; the general area adjacent the Shirana garage entrance and the emergency access 'lane', and the flat roof.

Trash structure and loading dock:

This is a major change from the prior PUD, and presents enormous negative impact to Shirana and Mountain Village Boulevard. The applicant requests variance for a partially exposed loading area. The unenclosed portion of the loading dock is readily visible from Mountain Village Boulevard and Shirana, and the garage entrance is also readily visible and at grade. There is no prohibition in the PUD to prevent trucks greater than 40' to service the building, so trucks may actually extend more than 20' beyond the structure.

There is only one location for truck delivery. This single loading location appears entirely insufficient to accommodate truck deliveries, package services and trash removal for the commercial hotel, related restaurants and amenities, employee housing and residential condominiums in the structure. This will result in surface parking or standing to await loading dock availability, as well as hand delivery to some yet to be determined location. There is no prohibition to prevent multiple trucks from waiting in front of Shirana for an available loading position. There is an extensive paved area proposed, with minimal mitigation or screening. The applicant discusses truck access to the loading dock, but does not consider the conflicting traffic flow to the trash facility, their garage, the Shirana garage, and the remaining parking spaces.

The proposed "enhanced" trash facility is an active misrepresentation. The prior PUD contemplated relocation of the trash facility that is currently a major nuisance unto itself. This proposal rotates the axis of the building so that the long side is parallel to MV Blvd, and changes it to a shed roof. The effect is to totally obscure the views from the lower level of Shirana towards the west, create a shaded, dark alley between the trash facility and Shirana, and an extended, unsightly building immediately adjacent to MV Blvd. The current plans do not illustrate vent stacks for the boilers associated with the plaza snow melt in the lower level of the new structure. These vents and vapor plumes are themselves unsightly.

All design elements surrounding the loading dock, garage entrance and trash structure need total re-work and revision. Revisions should include a fully enclosed loading area with multiple bays that are demonstrated as sufficient for building needs, and explicitly preclude truck standing or parking where visible to MV Blvd. or in front of Shirana. The community trash structure should not be expanded or increased in visibility for the applicant's benefit and

convenience and at the detriment of Shirana. The boilers for snow melt should be enclosed in the proposed building foot print, not located on town property to further impact Shirana. I would most strongly advocate this is the time to move the trash structure from the current location to assist and allow a better design of the loading area for the proposed building

Height Variance and Facade

Please see sheets A-0.P5 and G-000

The applicant request a massive change from the prior PUD. The changes to both the maximum height and the average height are a dramatic concern. The maximum height increases almost a full story, an increase of 7'11" and the average height increases a whopping 18' 4". This towers over all surrounding structures and dominates the skyline.

The increase in average height more than 18 feet over the 20112 PUD serves to massively increase the apparent size and volume of the structure and is not justified.

The original PUD limits of maximum and average heights should be enforced.

Facade

Others may comment on upper level facade and balcony. My comments are focused on the lower levels of the building, particularly the lower facade elements facing the plaza and adjacent to the loading area. In both renderings and elevations, these areas are large blank walls, with few, large, unadorned windows, currently illustrated with what would appear to be bland, small, facing stone. These are highly visible portions of the facade, both from the plaza level and from Mountain Village Boulevard.

The design should be revised to incorporate elements consistent with and complementary to other building details to break up these massive, blank facades.

Plaza Emergency Lane and Pedestrian Access from the West

Even at the time of the original PUD, appropriate and effective "emergency" access to the plaza has been an issue. The current proposal incorporates elements of the access provided in the original PUD, however the tall, narrow lane, about 100' long, 13'8" paved, plus about 4' unpaved width between vertical walls between 40' and 85' is unsightly, unfriendly to pedestrian access and contains multiple unsightly utilities and drain curbs. It may have been approved by the Fire Department, but it is unwelcoming pedestrian access, and needs substantive revision.

Pedestrians from the Peaks hotel and the Centrum bus stop will approach along the sidewalk on the east side of MV Blvd. from the south. This side walk terminates in front of the proposed revised trash enclosure. From this point pedestrian access to the plaza will be confused. They may cross the parking lot and approach the stairs to Shirana and walk between the buildings, but this is not a town maintained ROW, it is not deeded or eased for pedestrian access and passes between residential units. Alternately, pedestrians may find and access the plaza by the 'emergency lane'. Access by the emergency lane will have them

cross a busy parking area, in front of a trash facility, adjacent to semi trailers reversing into a loading dock, while crossing multiple drainage swales or curbs, Once they find this 'emergency lane', it is lined with electrical transformers, electric meters, phone and cable boxes, and gas meters in an otherwise blank wall.

Additionally while the applicant refers to this only as an emergency access, it also serves as access for all equipment to service upper exterior levels and roofs of both the new construction and Shirana, (and possibly Westernmere and Palmyra). The proposed planter configuration, while appreciated from a design element, will largely preclude maintenance vehicle access to these buildings. The design does not at all address maintenance or emergency vehicle turning and movement within the plaza.

This further illustrates the need to totally redesign the trash shed, loading dock and truck access, pedestrian access and generally all of the at grade elements of the west end of the proposed building adjoining Shirana.

Flat Roof

I do not expressly object to the flat roof, however, the applicant may find greater use of step backs advantageous to achieve average height limits to and provide design interest. The proposal contains substantial discussion of the required DRB approval for a membrane roof, and discussion of solar array without further detail. The renderings provided do not fairly depict visual impact of a typical solid white or black membrane roof. Due to size and visibility of a flat roof in this location, DRB approval of the roofing material should be specific for color and reflective properties consistent with the balance of the structure, and detailed design should also assure other roof elements, including solar array, vents, stacks, HVAC machinery and ducts are minimized and camouflaged. Any solar array approval must address reflective impact on both nearby and distant properties.

In summary, the applicant's design for the area surrounding the loading dock and trash facility will create a massive nuisance for Shirana owners and be unsightly to MV residents and visitors. Additionally, the applicant has asked for multiple significant variances from both the prior PUD and Town Code, including a huge increase in both maximum and average height which is out of scale for the sight and not justified. I ask the town to address these elements to minimize the adverse impact to the existing building and otherwise remain close to development constraints in the 2011 PUD.

Harper Meek

April 27, 2022

From: [Doug Hitchner](#)
To: [cd](#)
Cc: [Stenhammer, Robert](#); [Bill Nictakis](#); zfitch@gmail.com
Subject: Development on Lot 109R
Date: Thursday, April 28, 2022 10:55:15 AM

Design and Review Board,

I am an owner in See Forever in the Mt. Wilson Building, and like many others, I believe the proposed development is unacceptable in its current form. As I understand it, the requested variances are ridiculous, particularly requesting over 96 feet in height when the limit is 60 feet – this is an increase of over 50%! Strikes me that this is a negotiation to get the Board to settle in between and a ploy that the Board should not fall for and should reject immediately. In addition and to be sure, the impact on value for Mt Wilson owners is enormous and just not fair. While I understand that development is inevitable, any proposed development must be within established zoning regulations and all other requirements. I don't want to drone on here, but I am adamantly opposed to this development.

Doug Hitchner

From: [Nancy Daigh](#)
To: [cd](#)
Subject: Lot 109R
Date: Wednesday, April 27, 2022 2:44:26 PM

To whom it may concern about this project being developed, I am completely opposed. It increases traffic, noise, and takes away from the beauty surrounding the Peaks spa. This is such a lovely area, and to congest that property with another structure only takes away from beauty. Not inviting to be seen by visitors who have come to this gorgeous area.

Respectfully, Nancy Daigh, Seeforever owner
Sent from my iPhone

From: [Gary Hoover](#)
To: [cd](#)
Subject: Lot 109R Project
Date: Wednesday, April 27, 2022 3:41:47 PM

Members of the Telluride design review board:

As an owner of a condo in See Forever Village and a long time property owner in Telluride we are adamantly opposed to any developments in Mountain Village that is requesting variances to our existing rules and requirements whether it be height restrictions, density limitations or view interruptions. Those rules and requirements were developed and put in place with a great deal of thought and judgement. To simply toss those out the window as each project comes along is terribly bad management of our resources here in Telluride Mountain Village.

Please advise the developer of Lot 109R Project that we in Telluride Mountain Village do not want to become an over populated area such as Vail. Our property values in Telluride are more dependent on adhering to our existing rules and regulations than unbridled developing and population growth.

Do not approve Lot 109R Project as it stands.

Respectfully,
Gary & Donna

From: [Nigel Cooper](#)
To: [cd](#)
Subject: Lot 109R
Date: Wednesday, April 27, 2022 11:25:39 PM

As owner of See Forever #127, I object to the development plans currently being considered for the above lot. My wife & I have been an owners of this property in Mountain Village since 2014. While I understand that development needs to take place, I feel it must be accomplished in a manner that is consistent with the current Mountain Village environment, and in accordance to current zoning regulations. As I understand it, the current proposal for 102 hotel/condo/apartment rooms and 21 employee apartments, in less than 1 acre of land, will result in a 7 story, 96 foot building at that location. This is significantly higher than current regulations allow, and will obscure views of the ski mountain for many home owners. This will detract from our unobstructed views and reduce property valuations.

Please reconsider the re-design of this property so it creates a lower, more unobtrusive structure that is consistent with the current Mountain Village zoning regulations. We bought here because this was not an overbuilt, Vail-type environment. Telluride and Mountain Village have a unique and respected character, and this needs to be maintained.

Nigel & Kate Cooper

117 Sunny Ridge Place, #2-127
Mountain Village, CO 81435

From: [Olson, John D - NEW YORK NY](#)
To: [cd](#); [Michelle Haynes](#)
Cc: [Bill Nictakis](#)
Subject: Lot 109R
Date: Thursday, April 28, 2022 5:54:41 AM
Attachments: [image001.png](#)
[image002.png](#)

Dear Design Review Board,

Telluride has been an important part of our families lives since 1988. We have been owners at See Forever since the San Sophie building was completed in 2006. I would like to voice my extreme opposition to the proposed project on lot 109R. Frankly, I find the renderings I have seen outrageous in terms of size and design. In no way does this project fit with the look and feel of the Mtn. village. Since the late 1980's I have witnessed the well thought out plan executed well, where the town of Telluride kept its historic integrity and new development took place in Mtn. Village. This has worked because of the well thought out PUD and Mtn. Village Comprehensive Plan. I implore the DRB to not grant variances that would destroy our beautiful community.

Sincerely,

John Olson
145 Sunny Ridge PL
B-301/117

John D. Olson

Managing Director
Wealth Management Advisor & Portfolio Manager
NMLS ID: 578285

The Olson Group

Merrill Lynch Wealth Management
Merrill Lynch, Pierce, Fenner & Smith Incorporated
Phone: 212-303-4010 Toll Free: 888-254-9196 Fax: 212-371-1427
<https://fa.ml.com/new-york/new-york/theolsongroup/>

Florida:

249 Royal Palm Way, 6th Floor
Palm Beach, FL 33480

New York:

114 West 47th Street, 17th floor

New York, NY 10036

-

Named to the Forbes “America’s Top Wealth Advisors” list, August 2021, 2020, 2019, 2018, 2017, 2016*

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Named to Forbes “Best-In-State Wealth Advisors” list, February 2021, 2020, 2019, 2018, 2017, 2016*

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Named to Barron’s “Hall of Fame” list, October 2019*

* Source: Barron's "Hall of Fame", October 2019. For more information about the selection criteria, go to <http://details-he.re/k5sotG>
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Named to Barron’s Top 100 Financial Advisors in 2018 for the 15th Consecutive Year*

*Barron’s “America’s Top 100 Financial Advisors List,” April 21, 2018 and “All Star Financial Advisors” October 24, 2014. For more information about the selection criteria, go to Barron’s Top Financial Advisors page. Barron’s is a trademark of Dow Jones & Company, Inc. All rights reserved.
<https://www.barrons.com/articles/top-100-financial-advisors-1524271945>

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To: Design Review Board
Planning & Development Services
Town of Mountain Village
455 Mountain Village Boulevard, Suite A
Mountain Village, CO 81435

From: Shirana HOA

Date: April 28, 2022

Subject: Comments on Proposed Lot 109R PUD Amendments

The Shirana Homeowners Association appreciates the opportunity to comment on the proposed Planned Unit Development Amendment relating to Mountain Village Lot 109R, formerly known as the Mountain Village Hotel PUD.

While the proposed hotel and mixed use development will have a significant impact on all of Mountain Village's Core area, arguably no building or HOA is more impacted by this project than Shirana. We understand that a hotel building on Lot 109R, if not in its proposed form, has been contemplated for many years, and we are not opposed to the development of this project in a fashion consistent with the terms of the 2010 PUD. In fact, our HOA was involved in negotiating the terms of that agreement because of the significant impact the planned development would have on our homes. What is proposed today, some 11 years later and by new owners, is very different from what was contemplated in the 2010 PUD agreement. While Mountain Village has continued to develop over this period under the careful stewardship of the DRB, the Planning Department, and the Town Council, we are extremely concerned about the scope and design of this project and the significant amendments to the PUD required for it to move forward.

The Shirana HOA has five major areas of concern.

- 1) **Trash Facility:** as the developer acknowledges in its proposal, the original PUD process contemplated relocation of the Trash Facility which sits in front of Shirana. The decision many, many years ago to put this facility here came over the understandably strenuous objections of the Shirana HOA. At the time, the Peaks Hotel was the "anchor tenant" in Mountain Village and many were striving to establish retail businesses in the corridor from the ski area to the Peaks. Putting this facility between the Peaks and our building was a tragic mistake. As we have for the past 20 years, we endure intense truck traffic all day, often seven days a week, and the deafening early morning bouncing up and down of dumpsters and the hydraulic groan of trash trucks. The noise would not be tolerated anywhere in Mountain Village so proximate to residences. And yet we have endured this with the expectation that at some point, as contemplated in the PUD and in the Comprehensive Plan, the facility would be relocated, at a minimum as part of the hotel project.

As recently as the first hearing on the PUD amendment earlier this year, the developer professed a willingness to pay to relocate the facility; indeed, earlier plans for this project contemplated a pool deck off the “corner” of the building closest to the trash facility. Instead, this version of the building does not have that pool. Rather, it turns that side of the proposed building into a clear “back of house” area and expands the current trash facility to include the snowmelt boiler system required to heat the plaza areas. This proposed solution works well for the developer but is patently unfair to the homeowners in Shirana and inconsistent with the long-held objective (reflected in the staff memo about the original PUD) of locating the trash facility elsewhere in Mountain Village.

We hope that the DRB and the Council will not be swayed by the developer’s willingness to pay for the expansion of this building to accommodate its required snow-melt boiler system. While the proposed structure may be slightly smaller in height, it is wider and eliminates parking. We are concerned that the combination of trash truck and delivery vehicle traffic as well as the snowmelt system will reduce what was once the “front” of our building to an industrial transfer station.

- 2) **Traffic Flow:** Closely related to the trash facility issue is the developer’s revised loading dock and delivery truck access plan. The current plan for deliveries and traffic circulation is inadequate, unrealistic, and detrimental to Shirana for several reasons. Not only does the developer request a variance from the requirement that underground facilities be sufficient to accommodate a 55’ truck, it appears that even the proposed space will not fully accommodate a single 40’ truck.

It is important to consider the traffic flow implications of the new design. The proposal would have all public and hotel guest parking plus all delivery truck traffic and trash facility traffic funneling through woefully inadequate space. Will trucks queue up on Mountain Village Blvd to await delivery at the sole, partially exposed loading dock? More likely, they will pull into the parking lot in front of Shirana and encounter one of the numerous trash trucks, other delivery vehicles, as well as all the cars and trucks currently parked in the existing lot behind Shirana and vehicles associated with hotel guests. Gridlock (noise, pollution, frustration) will ensue. Furthermore, as we understand the circulation plan, the Shirana garage exit will be limited to left-turn only, severely restricting our ingress and egress options given the likely truck traffic.

- 3) **Building Height:** Of equal concern is the scale of the building contemplated by the proposed PUD amendment. Again, this is a major departure from what was agreed to in the existing PUD. We trust you will appreciate that the developer’s request “to slightly increase” the maximum height from the previously agreed-upon 88’9” to 96’8” is anything but slight. We think the simple math of increasing the average height from 65’3” to 83.63’ has profound implications: it permits a massive, monolithic structure far greater in stature than anything around it.

We encourage the Board to consider the proposed building in the context of the design contemplated in the existing PUD. While styles and tastes may have evolved in the intervening years, the original design was entirely more consistent with the prevalent architecture of Mountain Village in all aspects. Notably, peaked roofs required the previously agreed-upon maximum height. If one reviews the original drawings, the previous developer divided the building into 3 areas on the drawing labeled "A2-12: Average Height Targa Plan" (pages 219-220 of the document "Mountain Village Hotel Final PUD Plan 11-18-10"). These Areas A, B, and C had average heights of 66', 71.5' and 53'.

The PUD Amendment before you now eliminates peaked roof lines and proposes an average height of nearly 84'. This permits the developer to obtain somewhere between 1.5 and 2.5 additional stories of property across the entire footprint of the project, towering above Shirana and Westermere. It may be difficult to explain in words, but the proposal effectively solidifies all the airspace between the previously approved gabled roof and then adds another 12 to 30 feet of fully built space on top of that. It seems difficult to consider this variance request "slight."

- 4) **Construction and Drainage:** Our understanding is that the developer's plans contemplate a structure built on piles. While this method was contemplated in the original PUD hotel design, the new building is substantially larger. We are concerned about the seismic impact of this process on our building, one of the oldest in Mountain Village. We will likely have to undertake the expense of a structural survey and evaluation of our building to protect our investment from the unanticipated risks of a project of this scope.

We are also concerned about the drainage issues created by a massive, flat-roofed adjacent building in an area where annual snowfall routinely exceeds 200 inches. The "plaza" behind Shirana and the current parking lot have been plagued by inadequate drainage for years and while the snowmelt system should eliminate the winter ice hazards, the water has to go somewhere.

- 5) **Design:** We trust that other neighbors and stakeholders will have varying opinions on the architecture of the proposed building. It is interesting to note in the glossy marketing section that accompanies the developer's design documents that they have undertaken many significant and impressive projects. We would observe that particularly in places where there is a defined, sometimes historical and sometimes aspiration design aesthetic, their projects generally show respect for what is already present. In a naturally beautiful and remote area, bold architecture can be memorable. In an area with an established aesthetic sense, respect for what is already there - regardless of what one might think of it - is an important consideration. Particularly in the residential areas outside the core, Mountain Village has numerous examples of creative, bold, modern designs that still fit and work in the natural context. In the Core of Mountain Village this is a riskier proposition.

Simply put, we are concerned that what is proposed here, while perhaps not inherently objectionable, is so far removed from what is present in the surrounding multi-unit, commercial, and single-family homes as to be wholly out of place. This is why the proposed PUD Amendment requires variances to nearly every rule contemplated in the original PUD, from peaked roofs to construction materials to continuous balconies. The developer asserts that the proposed “curved/elliptical shape allows for a more sculptural, organic and horizontal structure, **to minimize the visual impact of a new building**” (emphasis added). It’s hard to see, in the renderings, how that assertion can be made.

The proposed amendments to the 2010 PUD are significant and represent a major departure from what was negotiated and approved nearly 12 years ago. Our predecessor HOA Board engaged in that process in a constructive way to ensure that the development, to the greatest extent possible, neither destroyed the value of our property nor diminished our ability to enjoy it. Even the plan approved then eliminated nearly all mountain views from Shirana, but we understood that the proposed development would eventually be undertaken according to the terms of the approved PUD.

We ask that you require the developer to reconsider the proposed amendments in order to address our concerns about the trash facility, the loading dock, traffic circulation, the building height and design, and to take prudent steps to mitigate any construction risk to our building. We are happy to participate and engage in this process, with both the Town and the Developer, in any way that would be helpful and constructive.

Thank you for considering our concerns.

Sincerely,

Robert C. Connor

Robert Connor, President
Shirana HOA

From: [William Howard](#)
To: [Michelle Haynes](#)
Subject: Zoning Variance Lot 109R
Date: Thursday, April 28, 2022 12:07:50 PM

Dear Design and Review Board,

Thank you for accepting comments about the proposed development. As residents of See Forever Village we are strong supporters of development in Mountain Village, and excited about the increased interest we are receiving from so many developers. However, we are very concerned that these developers are not adhering to our zoning or community plan that we spent so much time devising.

We are writing to express our strong opposition to the granting of variances for the proposed project on Lot 109R; specifically, height and design variances. Zoning guidelines are NOT suggestions, and nothing could be more “un-Telluride” like than the massive structure the developers are now proposing. The developer is ignoring our carefully cultivated Planned Use Development code and our Mountain Village Comprehensive Plan.

We joined many residents in supporting your Comprehensive Plan that stresses the need for development to “fit” within the surrounding neighborhood. We residents applauded your vision to create an Alpine village feel with low density and open spaces. Arguably, it’s adherence to this same plan that is making our community so attractive to developers. Yet, this developer is asking for extremely high density and a height and design variance that will obliterate the Alpine village feel and the views of the existing residences. The design is way out of scale for the neighboring areas and provides a non-cohesive appearance in our town.

We implore the Design and Review Board to hold firm to our standards or the developers will continue to take advantage and ruin the ambiance of our town. If you grant one variance on height, it will be exceedingly difficult not to grant others. There is no need for 90’ megastructures in our town that overshadow existing residences blocking views and ruining the overall look and feel of our community not to mention straining usage of existing roadways. We all went through great effort to create a plan that both residents and developers support and now we are being asked to toss that aside.

Please hold firm to our agreed-upon standards and don’t allow variances that go against our community plan!

Thank you for receiving our concerns.

Sincerely,
William & Virginia Howard

Sent from [Mail](#) for Windows

From: [Michelle Haynes](#)
To: [ankur76@msn.com](#); [Avani Patel](#); [Matthew Shear](#)
Cc: [Amy Ward](#); [Paul Wisor](#)
Subject: FW: 109R
Date: Wednesday, April 20, 2022 4:25:45 PM

Referral Comment.

From: Finn KJome <FKJome@mtnvillage.org>
Sent: Wednesday, April 20, 2022 4:25 PM
To: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: 109R

Michelle,

Here are my comments and observations for the 109R application.

General observations:

The entire back of house, garage entrance and trash facility is insufficient for a hotel of this size.

Applicant should show how this all functions together during the height of the seasons.

The plaza area is very congested with all the planters. Less planters and more open space will provide the Hotel more opportunities in the future.

Parking is always a premium. Consideration of what will actually be needed for a Hotel of this size should be considered. The loss of Public Parking should be discussed.

How does snow removal along Mountain Village Blvd work with this plan?

Access through the fire lane onto the plaza should not be restricted with planters.

No build zones on OS-3-BR2 is not acceptable.

All pedestrian paths through this project should be re-examined. Access to Mountain Village Blvd/Peaks Path from the new plaza should be considered.

Staging for the construction of this project will need to be fully vetted. Utilities and access for See Forever will need to remain operational throughout the construction.

There are references in the landscape details that are not shown on the plan set? There are different floor plan layout throughout the plan set. What's correct?

The building architecture does not follow the Village Center existing theme. DRB should discuss.

Maintenance and expenses of the plazas and common areas associated with this project shall be the responsibility of the Hotel as was originally agreed to by the existing PUD.

A-1.01

Receiving (G206) is 330SF. This doesn't provide much space. How will this operate?

The delivery truck does not fit in the loading dock. What size is this truck? It is poor planning to design a loading bay that is too small at the start of the design process.

Trash (G202) 102 SF is this large enough? How often will the hauler have to service this hotel during the week?

A-1.02

Planters on the plaza are too large and restrictive.

Who maintains the planters and landscaping along the Shirana and Westemere buildings?
What kind of Market is proposed? There is insufficient back of house space if this is a grocery store with this design.
I see no ADA parking on G1 as schedule claims?
No trash facility on this level?

A-1.04

Can the public enter the pedestrian bridge from the drop off and then go down the stairs to the plaza below? This should be recognized as public access.
No trash room on Level 1?
An easy to read chart showing the break out of how many parking spaces for each use in the building would be helpful. For example how many parking spaces for the commercial space or the employee housing.

A-1.05

21 units for employee housing are shown but other documents speak only of a square foot area designated for employee housing. What is the plan?
I see a trash room but am unclear of access to it?

A-1.06

Please explain in detail the operation and maintenance of the balcony planters. A year round understanding of what this is and what it looks like should be disclosed.

C3 Utility Plan

In theory the utility routing looks acceptable but more detail will be needed before final approval. The utilities routed through the building should be maintained by the Hotel but owned by the Town. The plan does not show the location of all the existing utilities and where they will be rerouted to for the project. Please provide location of power, communication and natural gas.

C2.1

Is traffic going to be looped through the back of house area as it currently loops through with the existing conditions? If not, what is the plan to turn traffic around when the loop through goes away?

A111 Trash Enclosure

The trash enclosure design does not work for the Town. The size of the existing building can not be reduced by installing snowmelt equipment in the building.
Was Bruin Waste consulted as far as the operation of the new design?
Please show the circulation of the trash pickup with this design.
Snowmelt boilers produce steam vapors while they are running. Was this considered in the design to see how it will affect the neighborhood. The elevations don't show a smoke stack?

Finn

From: [Michelle Haynes](#)
To: [ankur76@msn.com](#); [Avani Patel](#); [Matthew Shear](#)
Cc: [Amy Ward](#); [Paul Wisor](#)
Subject: FW: 109R snow melt
Date: Thursday, April 21, 2022 9:53:08 AM

From: Finn KJome <FKJome@mtnvillage.org>
Sent: Thursday, April 21, 2022 9:50 AM
To: Michelle Haynes <MHaynes@mtnvillage.org>; JD Wise <JWise@mtnvillage.org>; Zoe Dohnal <ZDohnal@mtnvillage.org>
Subject: RE: 109R snow melt

Michelle,

We should ask for the asphalt area in front of Shirana to be concrete and snow melted. This will be difficult to plow and store snow. Also the stairs up to Mountain Village Blvd if its concrete needs to be snow melted. If its expanded steel then not. Otherwise I think it looks good.

Finn



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

JD Wise, Asst PW Director

Referral Agency Comments

- I am concerned with the lack of back of house space, particularly in the loading dock/receiving area. Ideally the loading bay would accommodate a truck to pull completely within the bay. It could be problematic to have a delivery truck extending 9 feet outside the bay (As stated in 6.2.17) in what is sure to be a busy and congested area. I believe this assumes a wb40 semitruck. Can the applicant ensure that larger wb50 trucks will not be needed in the future as they would likely not be able to access the loading bay?
- A more detailed circulation plan for the parking entrance/loading bay/trash building would be helpful. Is this pull through open to two-way traffic? Can a delivery truck access the loading bay if a trash truck is servicing the trash facility? If the UPS truck shows up when there is a semi-truck in the loading bay where do they park? Can a public transit bus pull through while a delivery or trash pickup is happening? What happens if two delivery trucks show up at the same time? I am concerned that this area will be frequently clogged up. If vehicles are not able to pull through this will be problematic as currently this represents the last best place to turn around large vehicles/trucks/RVs traveling on MV Blvd.
- Constructing the boiler room within the reconfigured trash building is problematic. The capacity of trash/recycling in that transfer building far exceeds the (5) 3-yd dumpsters that are shown and the Town will continue to need utilize the current space for trash/recycling and other plaza related needs. Can the boiler room be constructed below the reconfigured trash building? Or be incorporated within the underground parking garage?
- Can the stairs shown from the Drop Off area be designated as a public walkway to facilitate pedestrian traffic from Sunny Ridge/Upper MV Blvd?
- I like the general landscaping concept, but think it needs to be scaled back a bit in front of the retail/ski storage spaces to allow for outdoor seating, small special-event flexibility, and maneuverability of Town utility cart vehicles and potentially EMS/Ambulance traffic. When built out this area will not receive much direct sunlight so shade tolerant plantings should be considered.
- I am concerned about omitting the 48 Town Parking Spaces from this project. This effectively eliminates all public parking on the north end of the Village Center which will cause a reduction of pedestrian foot-traffic on this end of the plazas. I often observe the public parking in the current public spaces and patronizing various businesses from Conference Center Plaza to the North. Not only will this be a detriment to current businesses, but I believe it will also reduce foot traffic to the retail businesses and food & beverage outlets included in this project. The nearest option for public parking would be to park in the Heritage Parking Garage, ride the elevator to the plaza level, then navigate the public plazas to this project. I worry that without public parking many patrons may not explore this end of the plaza and will rather land at businesses and F&B outlets closer to where they park. Anything that encourages foot-traffic on this end of the Village Center will benefit all businesses in this zone, including those within this project, and help appropriately spread-out pedestrian traffic throughout the Village Center as a whole.

From: [Chad Hill](#)
To: [Finn KJome](#); [Michelle Haynes](#)
Subject: PUD Review 4.16
Date: Saturday, April 16, 2022 7:41:51 AM
Attachments: [PUD Review 4.16.docx](#)

Good morning. Please see attached. This is a work in progress but I have covered my second pass review comments.

Regarding the stairs, there is an easy solution that will help the apartment residents as I noted. Building design will have to accommodate head clearance.

Finn, we discussed the drawing that shows a vehicle in the fire lane. It was in the 164 sheet set, drawing E-?. I believe they were just showing how an emergency responder vehicle would access the core.

They need a deeper hole to expand parking clearance. 10.5-11.5' is typical for residential parking. But, this mixed use in my mind and large vehicles will be needed should there be a utility leak since storm and sewer services are proposed to be routed through the west side from north to south.

Have a nice weekend.
Chad

MEMORANDUM

To: Michell Haynes, MPA
Planning and Development Services Director

From: Chad Hill, PE
SGM

Date: April, 20, 2022

Re: Lot 109R Major PUD Amendment Review

SGM has reviewed the Lot 109R PUD amendment documents with a focus on the utility and site design elements.

Drawing Review Comments:

1. The water, sewer, electric and storm sewer utilities will be rerouted. The realignments are acceptable with additional requirements as noted in item 2 below. The applicant noted that rerouting of the electrical service will be coordinated with SMPA. Coordination of the sewer, water, and storm water is also required to be conducted with the Town Public Works Department. It should be noted that the sewer service can not be interrupted so temporary facilities must be in place prior to utility switch over. Same with water and storm drainage.
2. Details of the routing and pipe support of the utilities (sewer and storm drain) through the garage is to be submitted for review. The pipes must be protected from potential damage and must be fully accessible for maintenance.
3. Pipes routed under retaining walls must be encased in concrete.
4. Ownership of the utilities within the garage is in question. Its is recommended that the property owner have full responsibility for the utilities and they be inspected periodically by the Town.
5. The disposition of abandon utilities is to be indicated.
6. Materials and means of construction (ie trench design, etc) are to be submitted to the Town for review.
7. The final design drawing and specification documents are to be provided for review by the Town prior to initiation of any construction or material orders.
8. A plan sheet showing and noting how temporary utility services will be implemented and the impacts on other facilities is to be provided. The coordination and communication plan to engage the impacted facilities is required. A public meeting with the affected facility management is recommended prior to commencement of any work. The Town must be involved in the arrangement and meeting.
9. No sidewalk is included in the design. It is recommended that the proposed stairway be relocated to be adjacent to the pedestrian bridge on Mountain Blvd to allow pedestrians to transition from the street level to the development plaza level for passage to the core. The grade change appears to be only 9-10 feet. The currently proposed exterior stairway location is not convenient and likely wont be used as a typical mode of access to the core. Hence, pedestrians will likely have to walk in the street which is not a safe route.
10. The design delivery truck type should be noted. The turning radius diagram where maneuvering from Mountain Blvd to the BOH is to be provided for review.

11. The trash shed is proposed to be used to house the snowmelt boiler system. That leaves space for 5-3 cy bins. That seems insufficient. The enclosure could be expanded to house both uses.
12. No snow melt system drawings were provided to show the extent and layout of the system. Is the roof included in the snowmelt system as it should?
13. The roof drain piping system is acceptable but minimal information is available for review. Detailed routing of piping is to be provided on the design drawings.
14. Snow from street plowing will place snow against the building since no set back is provided. The facility design should accommodate the side load and potential damage since the developed chose to leave no set back to accommodate snow or pedestrians.
15. There are no slopes shown for the parking structure. Typical level transition ramp slopes should be 5%-6% per the International Parking and Mobility Institute standards.
16. The floor-to-floor height between garage levels G1 and G2 is only 10 feet. Given slab thickness and the required sprinkler system that will allow a clearance of approximately 8.5 feet. That is insufficient for utility maintenance equipment access. For mixed use parking, 16 feet to 20 feet is customary as the Town provided for their own parking structure near Town Hall.

Figures:

Tables:

MEMORANDUM

To: Michell Haynes, MPA
Planning and Development Services Director

From: Chad Hill, PE
SGM

Date: April, 20, 2022

Re: Lot 109R Major PUD Amendment Review

SGM has reviewed the Lot 109R PUD amendment documents with a focus on the utility and site design elements.

Drawing Review Comments:

1. The water, sewer, electric and storm sewer utilities will be rerouted. The realignments are acceptable with additional requirements as noted in item 2 below. The applicant noted that rerouting of the electrical service will be coordinated with SMPA. Coordination of the sewer, water, and storm water is also required to be conducted with the Town Public Works Department. It should be noted that the sewer service can not be interrupted so temporary facilities must be in place prior to utility switch over. Same with water and storm drainage.
Civil Response: Understood and agree. The utilities drawn to date are final utilities and there will need to be some interim phasing. It is expected that the utilities will be routed around the west half of the garage, that portion built, and then routed through that garage slab. Then the pedestrian walkway and eastern garage can be excavated.
2. Details of the routing and pipe support of the utilities (sewer and storm drain) through the garage is to be submitted for review. The pipes must be protected from potential damage and must be fully accessible for maintenance.
Civil Response: Understood. Details TBD.
3. Pipes routed under retaining walls must be encased in concrete.
Civil Response: Agreed.
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Civil Response: Defer to Owner.
5. The disposition of abandon utilities is to be indicated.
Civil Response: This will be clearly noted.
6. Materials and means of construction (ie trench design, etc) are to be submitted to the Town for review.
Civil Response: This will be done as the design progresses.
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recommended prior to commencement of any work. The Town must be involved in the arrangement and meeting.

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10. The design delivery truck type should be noted. The turning radius diagram where maneuvering from Mountain Blvd to the BOH is to be provided for review.

Civil Response: The diagram calls out WB-40 truck with truck turning templates overlaid on the plan.

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Civil Response: The dumpsters were inadvertently shown 90 degrees to the way that they will be wheeled in and out for the trash truck. Those will be rotated and twice as many can fit in the same space.

12. No snow melt system drawings were provided to show the extent and layout of the system. Is the roof included in the snowmelt system as it should?

Civil Response: The vehicular and pedestrian snowmelt areas are identified and called out separately on the Civil Plan.

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14. Snow from street plowing will place snow against the building since no set back is provided. The facility design should accommodate the side load and potential damage since the developed chose to leave no set back to accommodate snow or pedestrians.

Civil Response: Agreed.

15. There are no slopes shown for the parking structure. Typical level transition ramp slopes should be 5%-6% per the International Parking and Mobility Institute standards.

Arch Response: Parking ramp design will be per code requirements including International Building Code. This will be finalized in the final permit set.

16. The floor-to-floor height between garage levels G1 and G2 is only 10 feet. Given slab thickness and the required sprinkler system that will allow a clearance of approximately 8.5 feet. That is insufficient for utility maintenance equipment access. For mixed use parking, 16 feet to 20 feet is customary as the Town provided for their own parking structure near Town Hall.

Civil Response: 16' to 20' seems excessive. Will measure Blue Mesa and the Madeline Parking Garages and discuss further with Town.

From: [Katsia Lord](#)
To: [Michelle Haynes](#); [Paul Wisor](#); [Amy Ward](#)
Cc: [Drew Harrington](#); [Ankur Patel](#); cstovall@shermanhoward.com; [Matthew](#); [Avani Patel](#); [Matthew Shear](#); Kubs@slawpl.com; [Stovall, Cyndi](#); [Nikoleta @ Vault Home Collection](#)
Subject: Fire Marshal approval Lot 109R Mountain Village Hotel Submittal
Date: Thursday, March 31, 2022 1:33:43 PM

Michelle,

Please see email below from the fire marshal Scott Heidergott approving the drive aisle reduction we are requesting in the Major PUD Amendment for Lot 109R.

Thank you again for taking the time to meet with us yesterday.

Katsia Lord, AIA, LEED AP
PRINCIPAL

VAULT DESIGN
C: 720.233.7620

This e-mail and any file(s) transmitted with it contain privileged and confidential information and are intended solely for the use of the individual or entity to which they are addressed. If you are not the intended recipient or the person responsible for delivering the e-mail to the intended recipient, you are hereby notified that any dissemination, disclosure or copying of this e-mail disclosure or copying of this e-mail or any of its attachments is strictly prohibited. If you have received this e-mail in error, please immediately notify the sending individual or entity by e-mail and permanently delete the original e-mail and attachment(s) from your computer system. Thank you.

From: Scott Heidergott <sheidergott@telluridefire.com>
Sent: Thursday, March 31, 2022 12:59 PM
To: Katsia Lord <klord@vaultdesigngroup.com>
Subject: Re: Mountain Village Hotel Entitlement Submittal - Lot 109R

Katsia,

TFPD approves the reduced width from 22-feet to 18-feet for the drive aisle and parking ramp in the below-grade parking garage for the proposed design in Lot 109R submittal.

Kind regards,

On Wed, Mar 30, 2022 at 12:55 PM Katsia Lord <klord@vaultdesigngroup.com> wrote:

Scott,

Thank you again for taking the time to speak with me. I am following up in email to capture our conversation so that planning is aware you have okayed the reduction from 22' wide to 18' for drive aisle and parking ramp in the below grade parking garage for the proposed design in Lot

From: [Lauren Kirn](#)
To: [Amy Ward](#)
Cc: [Finn KJome](#)
Subject: EV Charging Stations
Date: Monday, April 25, 2022 1:23:06 PM
Attachments: [SWEEP – EV Ready Parking Requirements Master List - Cities & States.pdf](#)
[EV Infrastructure Colorado.pdf](#)

Hi Amy,

I couldn't find recommendations from the State, but I did find a list of EV infrastructure building codes that have been adopted by CO towns and a presentation on the importance of EV infrastructure. See attached. If you click on the Town names within the building code sheet, it will take you to the specific ordinances. For commercial and multi-family buildings, the standard range seems to be between 5% to 10% EV-Installed, 10% to 20% EV-Ready, and 10% to 80% EV-Capable. The definition of these are on slide 7 of the first attachment. With that, ideally we should propose the highest amount for each to DRB. I think at least 10% of the spaces be EV-installed, 15% be EV-Ready, and 50% be EV-Capable. The EV infrastructure request aligns with TMV's Climate Action Plan and the Regional Climate Action Plan as well.

Do you think TMV would pass a building code requiring EV charging stations at new construction?

Thanks,
Lauren

[Lauren Kirn](#)

Environmental Efficiencies and Grant Coordinator

Town of Mountain Village

[455 Mountain Village Blvd. Suite A](#)

O :: 970.369.8601

M :: 970.729.1874

1. The geotechnical report states that an "additional geotechnical investigation is recommended to better characterize the subsurface conditions across the building site." Will another geotechnical investigation be performed?
2. The applicant has indicated a desire to incorporate sustainability into the hotel. How will this be done? For example, are certifications being pursued such as LEED, Living Building Challenge, or WELL?
3. In reviewing the Six Senses website, sustainability measures listed include passive cooling, energy efficiency, and electric transport, as well as renewable building materials. This seems contradictory due to the significant snow melt and natural gas use. Is the applicant planning on incorporating any or all of these into the design, construction, and building operation? If so, please explain.
4. The Six Senses website also notes that sustainability "is who we are" which includes being "empty of waste, toxins and plastic...". Are all paints, adhesives, glues, and finishes all low/no VOC, no formaldehyde, etc.? How is this being managed?
5. A significant amount of glass is incorporated into the design of the building. This raises concerns regarding bird safety. How will the applicant address this?
6. Also regarding glass, this raises concerns about visual aesthetic of the furniture selection and hotel guest privacy.
7. What are the specifications for the irrigation systems? Do these include WaterSense or water conservation measures?

From: [Michelle Haynes](#)
To: [ankur76@msn.com](#); [Avani Patel](#); [Matthew Shear](#)
Cc: [Amy Ward](#); [Paul Wisor](#)
Subject: FW: Lot 109R Luxury Hotel Major PUD Amendment
Date: Thursday, April 21, 2022 8:03:35 AM

From: Zoe Dohnal <ZDohnal@mtnvillage.org>
Sent: Thursday, April 21, 2022 12:22 AM
To: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: Re: Lot 109R Luxury Hotel Major PUD Amendment

Good evening, Michelle

My main concern echoes JDs comments regarding parking. The Town must prioritize parking near the Village Center for business patrons and staff to utilize. It will be essential in attracting new businesses to our Village Center. The gondola parking garage will not satisfy this need.

Thank you!

[Zoe Dohnal](#)

Business Development and Sustainability Director

Town of Mountain Village

455 Mountain Village Blvd. Suite A

O :: [970.369.8236](tel:970.369.8236)

M :: [970.708.4959](tel:970.708.4959)

[LinkedIn](#) | [Email Signup](#) | [Website](#) | [Facebook](#) | [Twitter](#) | [Instagram](#)

Si Usted necesita comunicarse conmigo y necesita servicio de traducción al español, simplemente háganoslo saber y podemos proporcionar tal servicio.

From: [Michelle Haynes](#)
To: [ankur76@msn.com](#); [Avani Patel](#); [Matthew Shear](#)
Cc: [Amy Ward](#); [Paul Wisor](#)
Subject: FW: comments
Date: Thursday, April 21, 2022 8:02:43 AM
Attachments: [image001.png](#)

From: Benjamin Wiles <benjamin.wiles@smpa.com>
Sent: Wednesday, April 20, 2022 5:10 PM
To: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: comments

Michelle,

As far as comments, I believe Byrd was going to answer, but what I remember is the load calculation were needed for sizing, also I would like to point out the transformers and switches take up a fair amount of a foot print, figure around a 8'x 8' and any junction box have about a 4' x 7' foot print also, also there may be additional easements required for the line and equipment location. I hope this helps

Thanks

Benjamin Wiles
Service Planning Supervisor



P.O. Box 1150
Ridgway, CO 81432
Office: 970-626-5549 x207
Mobile: 970-210-2582
benjamin.wiles@smpa.com
www.smpa.com



It is the Mission of San Miguel Power Association, Inc. to provide our members with safe, reliable, cost-effective and environmentally responsible electrical service, while demonstrating both cooperative responsibility and support for the communities we serve.
[SMPA is an equal opportunity provider and employer.](#)

From: [Michelle Haynes](#)
To: ankur76@msn.com; [Avani Patel](#); [Matthew Shear](#)
Cc: [Amy Ward](#); [Paul Wisor](#)
Subject: FW: 109R Referral Comment Reminder 5:00 pm today
Date: Thursday, April 21, 2022 8:03:05 AM

From: Byrd Williams <bwilliams@smpa.coop>
Sent: Wednesday, April 20, 2022 8:56 PM
To: Michelle Haynes <MHaynes@mtnvillage.org>; Finn KJome <FKJome@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; Zoe Dohnal <ZDohnal@mtnvillage.org>; sheidergott@telluridefire.com; Drew Harrington <DHarrington@mtnvillage.org>; David H. McConaughy <dmcconaughy@garfieldhecht.com>; Jim Soukup <JSoukup@mtnvillage.org>; Brett Button <BButton@mtnvillage.org>; Samuel Quinn-Jacobs <squinn-jacobs@mtnvillage.org>; Paul O'Neil <poneil@sehinc.com>; Jeremy Fox <jeremy@smpa.com>; Terry Schuyler <terry.schuyler@smpa.com>; Gardner, Brien <Brien.Gardner@blackhillscorp.com>; Ficklin, Paul <Paul.Ficklin@blackhillscorp.com>; Kirby.bryant@centurylink.com; Lauren Kirn <LKirn@mtnvillage.org>; Christine Gazda <CGazda@garfieldhecht.com>
Subject: RE: 109R Referral Comment Reminder 5:00 pm today

I apologize for the late comment. The one thing I haven't received is the final load calculation.

Byrd Williams

Service Planner

Mobile: (970) 708-8594

Office: (970) 728-3825 x567



Hrs: M-Th 7:00 a.m. - 5:30 p.m.

San Miguel Power is an equal opportunity provider and employer

From: Michelle Haynes <MHaynes@mtnvillage.org>
Sent: Wednesday, April 20, 2022 4:16 PM
To: Finn KJome <FKJome@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; Zoe Dohnal <ZDohnal@mtnvillage.org>; sheidergott@telluridefire.com; Drew Harrington <DHarrington@mtnvillage.org>; Byrd Williams <bwilliams@smpa.coop>; David H. McConaughy <dmcconaughy@garfieldhecht.com>; Jim Soukup <JSoukup@mtnvillage.org>; Brett Button <BButton@mtnvillage.org>; Samuel Quinn-Jacobs <squinn-jacobs@mtnvillage.org>; Paul O'Neil <poneil@sehinc.com>; Jeremy Fox <jeremy@smpa.com>; Terry Schuyler <terry.schuyler@smpa.com>; Gardner, Brien <Brien.Gardner@blackhillscorp.com>; Ficklin, Paul <Paul.Ficklin@blackhillscorp.com>; Kirby.bryant@centurylink.com; Lauren Kirn

From: [Ficklin, Paul](#)
To: [Michelle Haynes](#)
Subject: RE: Lot 109R Luxury Hotel Major PUD Amendment
Date: Wednesday, April 6, 2022 3:03:17 PM
Attachments: [image001.png](#)

Michelle, just to keep you in the loop on this one, we will have to move one of our gas lines and install a new Reg station to feed this Hotel. I just have plans for where the unit will set, but have not received full build plans. Thanks for your time!



PAUL FICKLIN

Utility Construction Planner
Delta, Co 81416
970-596-1122 C
970-808-5042 O

From: Michelle Haynes <MHaynes@mtnvillage.org>
Sent: Wednesday, April 6, 2022 10:43 AM
To: Finn KJome <FKJome@mtnvillage.org>; Chris Broady <CBroady@mtnvillage.org>; JD Wise <JWise@mtnvillage.org>; Zoe Dohnal <ZDohnal@mtnvillage.org>; Paul Wisor <pwisor@mtnvillage.org>; Amy Ward <award@mtnvillage.org>; Mike Otto <MOtto@mtnvillage.org>; sheidergott@telluridefire.com; Drew Harrington <DHarrington@mtnvillage.org>; David H. McConaughy <dmcconaughey@garfieldhecht.com>; Jim Soukup <JSoukup@mtnvillage.org>; Brett Button <BButton@mtnvillage.org>; Amy Ward <award@mtnvillage.org>; Samuel Quinn-Jacobs <squinn-jacobs@mtnvillage.org>; Paul O'Neil <poneil@sehinc.com>; jeremy@smpa.com; terry@smpa.com; Gardner, Brien <Brien.Gardner@blackhillscorp.com>; Ficklin, Paul <Paul.Ficklin@blackhillscorp.com>; Kirby.bryant@centurylink.com; Lauren Kirn <LKirn@mtnvillage.org>; dmcconaughey@garfieldhecht.com; Christine Gazda <CGazda@garfieldhecht.com>; Paul Wisor <pwisor@mtnvillage.org>; chadh@sgm-inc.com
Cc: Kathrine Warren <KWarren@mtnvillage.org>
Subject: Lot 109R Luxury Hotel Major PUD Amendment

**** EXTERNAL EMAIL. Is this an expected email? STOP and THINK before clicking links or opening attachments. ****

Dear staff and referral agencies:

From: [Michelle Haynes](#)
To: [ankur76@msn.com](#); [Avani Patel](#); [Matthew Shear](#)
Cc: [Amy Ward](#); [Paul Wisor](#)
Subject: FW: 109R Referral Comment Reminder 5:00 pm today
Date: Thursday, April 21, 2022 9:00:34 AM

From: Scott Heidergott <sheidergott@telluridefire.com>
Sent: Thursday, April 21, 2022 8:38 AM
To: Michelle Haynes <MHaynes@mtnvillage.org>
Subject: Re: 109R Referral Comment Reminder 5:00 pm today

Michelle,

I apologize for not submitting my comments by 1700 yesterday.

TFPD would require:

The trash enclosure shall be sprinkled if the boiler room is included in the structure.

The stairs on the East side for fire operations and egress to Mountain Village Blvd and to the plaza level.

Planters and landscaping on the plaza level be reduced for fire operations.

The fire lane is for fire/ems operations only.

Kind regards,

On Wed, Apr 20, 2022 at 4:15 PM Michelle Haynes <MHaynes@mtnvillage.org> wrote:

Hi all. If you haven't already submitted referral comments for 109R, please do so. We would prefer the comments today by 5:00 pm in order to integrate your comments into the memo and the packet.

Thank you!
Michelle and Amy

--



Scott Heidergott

Fire Marshal

sheidergott@telluridefire.com | Cell: [970-708-0098](tel:970-708-0098)

Telluride Fire Protection District | <http://telluridefire.com/>

PO Box 1645
131 West Columbia Avenue
Telluride, CO 81435

Station: 970-728-3801

Fax: 970-728-3292

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MEMORANDUM

To: Michell Haynes, MPA
Planning and Development Services Director

From: Chad Hill, PE
SGM

Date: April, 20, 2022

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SNOWMELT PREFERRED



April 12, 2022

Town of Mountain Village
411 Mountain Village Blvd
Mountain Village, CO 81435

RE: Proposed Six Senses

Dear Town of Mountain Village:

We are pleased to confirm that Six Senses and Tiara Telluride LLC have entered into a Letter of Intent for our operation, branding, and management of the proposed Six Senses, located at Lot 109-R, in Mountain Village. The binding definitive agreements are currently under negotiation, and we anticipate executing those documents in the next 45-days.

We share the partners vision in introducing what will undoubtedly be an iconic and highly purposeful project, that will redefine the hospitality offering in Mountain Village. We also appreciate and value the like-mindedness of our organizations in recognizing changing lifestyle trends and providing a deeply relevant offering for our future guests, condominium owners, employees, and residents.

Naturally, this alignment will be critical to our shared long-term success rooted in well-being, sustainability, and connection to place and community. These are all principles that are undoubtedly more relevant today than ever before and congruent with comprehensive plan for Mountain Village and its goals of creating a sustainable community.

Our team continues to work diligently with Tiara Telluride LLC to finalize the technical and design aspects of the project, and we look forward to working the Town of Mountain Village, to bring the project to fruition.

To that end, I also look forward to spending time together in person soon.

Best regards,



Andrew Miele







