



AGENDA ITEM 7
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Principal Planner

FOR: Design Review Board Public Hearing; May 5, 2022

DATE: April 21, 2022

RE: Staff Memo – Final Architecture Review (FAR) Lot 649R-11, 11 Boulders Way

APPLICATION OVERVIEW: New Single-Family Home on Lot 649R-11

PROJECT GEOGRAPHY

Legal Description: UNIT 11, THE BOULDERS AT MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED JANUARY 24, 2003 IN PLAT BOOK 1 AT PAGE [3096](#), AND AS DEFINED AND DESCRIBED IN THE DECLARATION FOR THE BOULDERS AT MOUNTAIN VILLAGE RECORDED JANUARY 24, 2003 UNDER RECEPTION NO. [354564](#), COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 11 Boulders Way

Applicant/Agent: Kris Perpar,
Shift Architects

Owner: Eric and Monique Novaez

Zoning: Multi-Family

Existing Use: Vacant

Proposed Use: Single Family Detached
Condominium

Lot Size: 2,709.92 square feet

Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Passive Open-Space
- **East:** Multi-Family
- **West:** Multi-Family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

Case Summary: Kristine Perpar, of Shift Architects (Applicant) on behalf of Eric and Monique Novaez, the owners of Lot 649R-11 are requesting Design Review Board (DRB) approval of a Final Architecture Review (IASR) Application for a new single-family detached condominium at 11 Boulders Way. The condominium map indicates that Unit 11 is approximately 2,709 square feet in size. The Boulders is a single-family condominium community and is zoned Multi-Family. The overall square footage of the home is approximately 2,568 gross square feet, with 2,220 livable square feet, and provides one interior parking space within the proposed garage and one exterior space in a tandem configuration.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	34.82'
Maximum Avg. Building Height	30' (shed) Maximum	26.57'
Maximum Lot Coverage	65%	37%
General Easement Setbacks	No encroachment	Setback encroachment
Roof Pitch		
Primary		5:12
Secondary		
Exterior Material		
Stone	35% minimum	35%
Glass	40% maximum	18%
Parking	2 spaces	1 interior / 1 exterior

DRB Specific Approval:

- 1) Setback Encroachment
- 2) Metal Fascia
- 3) Tandem Parking

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated March 18, 2022, from the May 31, 2022 Public Hearing.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: The application meets all height requirements.

17.3.14: General Easement Setbacks

Lot 649R-11 is burdened by a (10) foot front setback, (5) foot side setbacks, and a (3) foot setback to the rear. Lot 649R does not contain any General Easements (GE). The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development

activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation.

Staff: The proposal includes some setback encroachments requiring specific DRB approval:

- *Exterior Parking in front setback (10 ft setback)*
- *Roof overhangs front and rear setback (10 ft and 3 ft setback)*
- *Concrete walkway in front setback (10 ft setback)*

Staff: The encroachments listed are a mixture of improvements at grade and penetrating the GE through its vertical plane. All improvements are at grade or overhanging roof elements and are aligned with other encroachments seen in the Boulders subdivision. The HOA has approved the above encroachments. The DRB indicated a comfort with approving these setback encroachments at the Initial Review.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: The application meets all Town Design Theme requirements.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: The application meets all Building Siting Design requirements.

17.5.6: Building Design

The CDC discusses building design and specifies requirements for things like building form, roof form, wall materials, glazing, and other design details for the home.

Staff: At Initial Review, the following items were requested as it relates to Building Design Requirements -

1. *Garage door materials: The applicant did not specify the garage door material but from the 3D renderings, it appears to be a dark brown material. This should be discussed, and the final finish shall be specified as a condition of approval.*
2. *Window / door recesses within stone: The applicant has provided these details as requested by staff.*
3. *Deck Railing Materials: The applicant has provided these details as requested by staff.*

17.5.7: Grading and Drainage Design

Staff: The application meets all Grading and Drainage Design requirements.

17.5.8: Parking Regulations

Staff: The applicant has shown one interior parking space and one exterior space on their architectural site plan. The CDC requires two spaces in multi-family development outside of the Village Center and does not designate interior vs. exterior parking. The parking configuration as shown will require DRB specific approval of tandem parking, but this is not atypical in the Boulders subdivision. Due to the limited size of the Lot, the applicant has proposed a portion of the exterior space be located within the front setback

which will require DRB approval of the setback encroachment. At Initial Review, the DRB indicated that this request was appropriate.

17.5.9: Landscaping Regulations

Staff: The applicant has revised their landscaping plan to now comply with the Landscaping regulations and is no longer requesting a design variation for this item.

17.5.11: Utilities

Staff: The applicant has revised the utility plan so that the utilities no longer impact Unit 12. Staff takes no additional issue with this revised plan. Staff recommends as a condition of approval, that the meter locations be specified on their building permit submittal as to verify that any necessary screening precautions are captured.

17.5.12: Lighting Regulations

Staff: The application meets all Lighting Regulations requirements.

17.5.13: Sign Regulations

Staff: The application meets all Sign Regulations requirements.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant has shown bristlecone pines within the Zone 1 Fire Mitigation Area. With that being said, and Initial Review, staff requested that the fire mitigation requirements be waived for this home due to the size of the Lot and the adjacent vegetation types.

17.6.6: Roads and Driveway Standards

Staff: The application meets all Road and Driveway Standards requirements.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does not include any solid fuel burning devices. These standards are not applicable.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan shows required material staging, dumpster, bear-proof trash receptacles, and a port a toilet. The entire lot is fenced, but the applicant has not shown any silt fencing shown on the downhill side of the lot. There is no parking indicated on the plan which could be problematic during construction. The applicant has indicated on the CMP that construction parking and staging will be off-site and coordinated with Mountain Village but its unclear to staff where this will take place at this time.

Staff Recommendation: Staff recommends the DRB approve the Final Architecture Review for Lot 649-R, Unit 11, 11 Boulders Way, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architecture Review for a new single-family home located at Lot 649-R, Unit 11, based on the evidence provided within the Staff Report of record dated April 21, 2022, with the following specific approvals:

DRB Specific Approval:

- 1) Setback Encroachment
- 2) Metal Fascia
- 3) Tandem Parking

And, with the following conditions:

- 1) Prior to the issuance of the building permit, the applicant shall provide garage door finish details per the CDC requirements.
- 2) Prior to the issuance of the building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 3) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 4) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 5) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 6) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 7) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/JM

Date: December 27, 2021
By: Kristine Perpar, Architect

Property address:

Lot 11; Boulders
Mountain Village, CO 81435

Sent to: MV DRB

Re: Development of a Single Family Residence

Dear Mountain Village Design Review Board,

The proposed home for Unit 11; Lot 649R was designed for sensitivity of the restricted site, neighbors and the existing topography.

Unit 11 is currently vacant of structures and trees. The building site is essentially flat with a slight slope at the west end.

Exterior elevations, plans and roof are simple in form. Roofs are all Shed roofs at a 5:12 pitch. Exterior materials; stone, metal and wood accents were selected for their sensitivity to the environment, neighboring properties and for durability.

The proposed landscape plan is simple. Aspen trees to be planted on the north and either side of the structure.

Sincerely,



Kristine Perpar



GENERAL NOTES:

CONTRACT DOCUMENTS:
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

ORGANIZATION:
THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

CODE COMPLIANCE:
ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

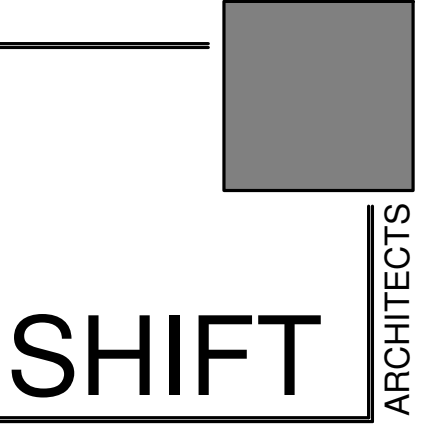
INTENT:
THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:
THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS. VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

SUBSTITUTIONS:
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

SHOP DRAWINGS:
SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

SAFETY & PROTECTION OF WORK:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
03.15.21 DRB SUBMITTAL

REVISIONS			
NO.	DATE	DESC.	
1	12.03.21	DRB SUBMITTAL	
2	01.05.22	INTERIORS & SCHEDULES	
3	03.15.22	DRB SUBMITTAL	
3	04.16.22	REVISED DRB SUBMITTAL	

PROJECT CODE INFORMATION

ZONING:	MULTI-FAMILY
SUBDIVISION:	BOULDERS
BUILDING CODE:	IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESIGN REQUIREMENTS:	BOULDER TOWN OF MOUNTAIN VILLAGE
	MULTI-STORY DWELLING
DESCRIPTION:	R-3
OCCUPANCY CLASSIFICATION:	REQUIRED
AUTOMATIC FIRE SPRINKLER:	GARAGE - 1 HR MECHANICAL - 1 HR
FIRE RESISTIVE RATING:	

PROJECT INFORMATION

TYPE OF UNIT:	SINGLE FAMILY HOME	MAX BUILDING HEIGHT:	35'-0"
GROSS FLOOR AREA:		ALLOWABLE PROPOSED	34.82'
LEVEL 1	510.45 SF	MAX AVERAGE HEIGHT:	30'-0"
LEVEL 2	989.51 SF	ALLOWABLE PROPOSED	26.57'
LEVEL 3	720.76 SF		
TOTAL:	2,220.72 SF	PARKING REQUIRED:	1 SPACE PROVIDED (ENCLOSED IN GARAGE)
GARAGE	348.17 SF		
TOTAL:	2,568.89 SF		
LOT AREA:	0.062 ACRES (2,709.92 SF)		
BUILDING FOOTPRINT:			
ALLOWABLE	2,400 SF		
PROPOSED	1,020 SF		

SEE SHEET A2.1 FOR MAXIMUM BUILDING HEIGHT /
BUILDING FOOTPRINT CALCULATIONS

SHEET INDEX

GENERAL	
G1.0	COVER SHEET
SURVEY	
0	SURVEY
CIVIL	
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C2	SITE DRAINAGE AND UTILITY PLAN
C3	CONSTRUCTION MITIGATION PLAN
ARCHITECTURAL	
A1.1	ARCHITECTURAL SITE PLAN
A1.2	LANDSCAPE PLAN
A2.1	FLOOR PLANS
A2.2	FLOOR & ROOF PLAN
A3.1	MATERIAL CALCULATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A3.4	ELEVATION HEIGHT CALCULATIONS
A3.5	ELEVATION HEIGHT CALCULATIONS
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A8.1	WINDOW SCHEDULE
A8.2	DOOR SCHEDULE
LIGHTING	
E1.1	LIGHTING PLANS
E1.2	LIGHTING PLANS

VICINITY MAP



PROJECT TEAM

OWNER:	SURVEYOR:	MECHANICAL:
NOVAEZ ERIC AND NOVAEZ MONIQUE AS JT 1411 W 46TH ST AUSTIN TX 787563005 Eric Novaez ericnovaez@gmail.com 1.210.286.5585	FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 P.O. BOX 1385 TELLURIDE, CO 81435 P. 970.728.6153 F. 970.728.6050	HUGHES CONSULTING ENGINEERING, PA DIMITRI MERRILL, P.E. TELLURIDE, CO 81435 P. 970.239.1949 F. 785.842.2492 dimitri@hce-pa.com
ARCHITECT:	CIVIL:	LANDSCAPING:
SHIFT ARCHITECTS KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com	UNCOMPAGRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dballode@msn.com	SHIFT ARCHITECTS KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
GENERAL CONTRACTOR:	STRUCTURAL:	
TBD.	ALPINE EDGE ENGINEERING LLC MATTHEW D. HEPP, P.E. 605 RIVER PARK DR. RIDGEWAY, CO 81432 P. 970.318.1469 matthewheppeng@gmail.com	

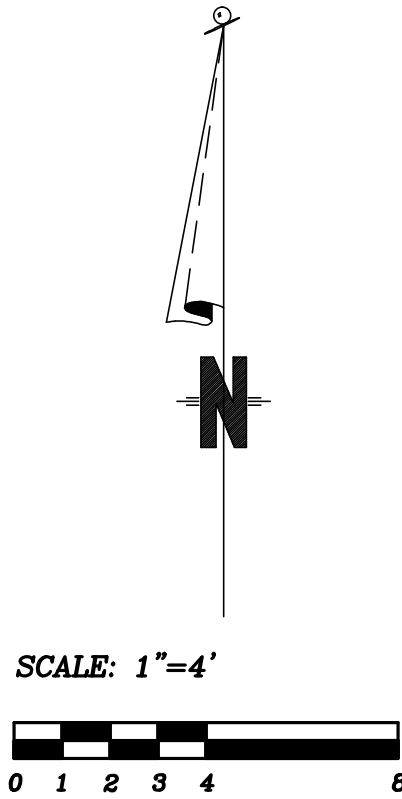
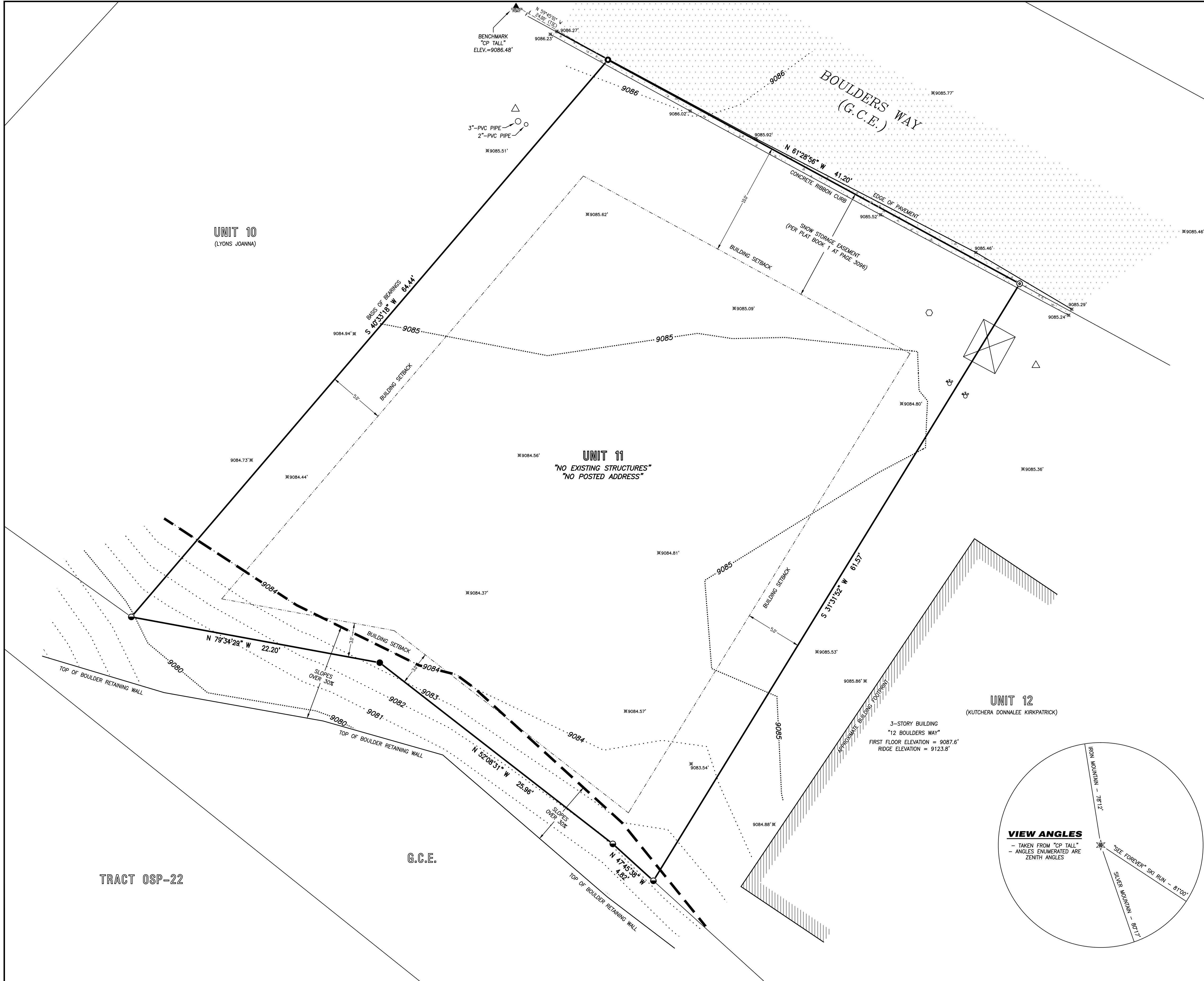
NOVAEZ RESIDENCE

Boulders Way, Mountain Village
Telluride, CO 81435, USA

COVER SHEET

SHEET NUMBER

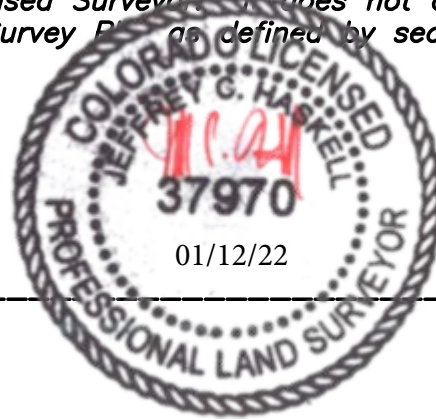
G1.0



LEGEND

- Transformer
- Telephone Pedestal
- Cable-TV Pedestal
- Curb Stop
- Found 1-1/2" Aluminum Cap on 5/8" Rebar, L.S. 24954
- Found 1-1/2" Aluminum Cap on 5/8" Rebar, L.S. 24954
- Set 1-1/2" Aluminum Cap on 18" x 5/8" Rebar, L.S. 37970
- Set 3/4" Brass Tag, L.S. 37970

This Existing Conditions Plan of Unit 11, The Boulders at Mountain Village, was prepared on January 04, 2022 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

LEGAL DESCRIPTION:

UNIT 11, THE BOULDERS AT MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED JANUARY 24, 2003 IN PLAT BOOK 1 AT PAGE 3096, AND AS DEFINED AND DESCRIBED IN THE DECLARATION FOR THE BOULDERS AT MOUNTAIN VILLAGE RECORDED JANUARY 24, 2003 UNDER RECEPTION NO. 354564,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86012303, dated November 05, 2021 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 080168, Panel Number 0291 D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- BASIS OF BEARINGS: Found monuments along the western boundary of Unit 11, as shown hereon, assumed to have the record bearing of S 40°33'18" W according to Plat Book 1 at page 3096.
- Benchmark: Control Point "CP TALL", as shown hereon, with an elevation of 9086.48'.
- Contour interval is one foot.
- There exists a Drainage Easement according to Note 10 of the plat recorded in Plat Book 1 at page 3096.
- There are no trees located within this lot.
- Slopes 30% or greater are shown hereon.
- Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
- Foley Associates, Inc. is not aware of any wetland areas located on this lot, but a wetland delineation was not performed as part of this survey.
- Due to winter conditions, only visible improvements are shown on this survey. Any improvements buried under snow cover will not be shown.
- NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

EXISTING CONDITIONS PLAN
Unit 11, The Boulders at Mountain Village,
Town of Mountain Village, San Miguel County, Colorado.

Project Mgr:	JH	Rev.		description	date	by
Technician:	MC					
Checked by:						
Start date:	01/04/2022					



970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Drawing path: dwg\12020 EC Plan 01-22.dwg Sheet 1 of 1 Project #: 12020

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION. INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS. THE UTILITY PROVIDERS ARE: SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE NATURAL GAS: BLACK HILLS ENERGY POWER: SAN MIGUEL POWER TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIRIEMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

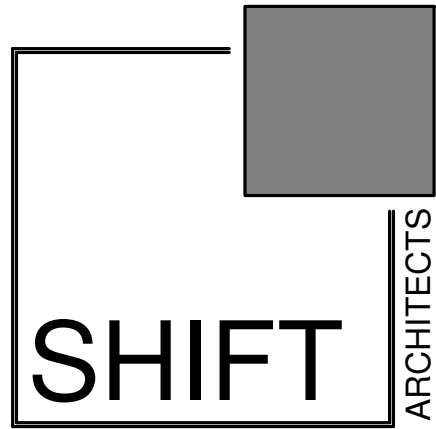
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).



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PROJECT ISSUE DATE:
03.15.21 DRB SUBMITTAL

REVISIONS

NO.	DATE	DESC.
1	12.03.21	DRB SUBMITTAL
2	01.05.22	INTERIORS & SCHEDULES
3	03.15.22	DRB SUBMITTAL
3	04.16.22	REVISED DRB SUBMITTAL

NOVAEZ RESIDENCE

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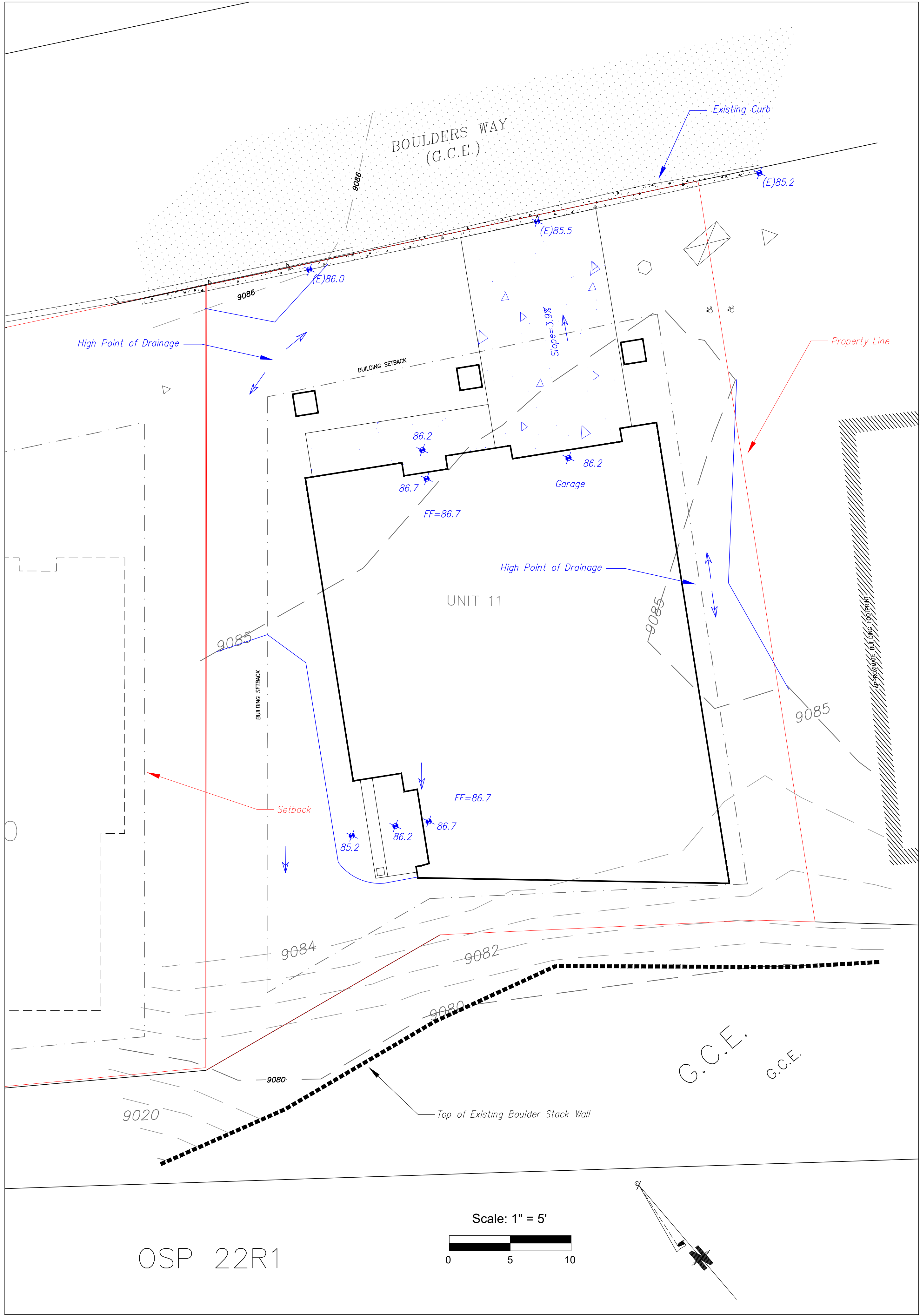
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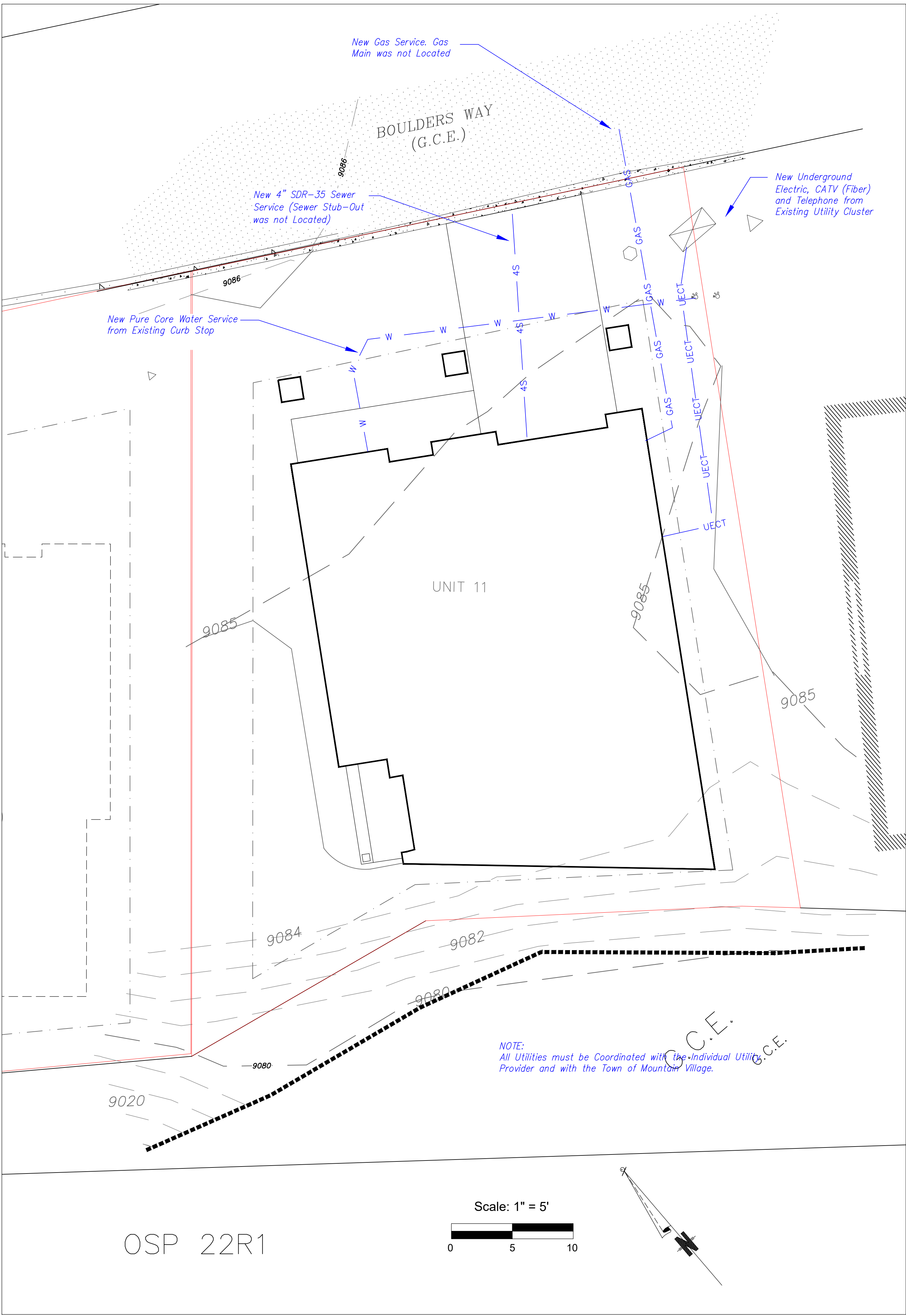
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C1



Site Grading and Drainage Plan



Utility Plan



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2022-03-14
Revised Power	2022-04-04

Novaez Residence
Lot 11
The Boulders
Mtn. Village, CO

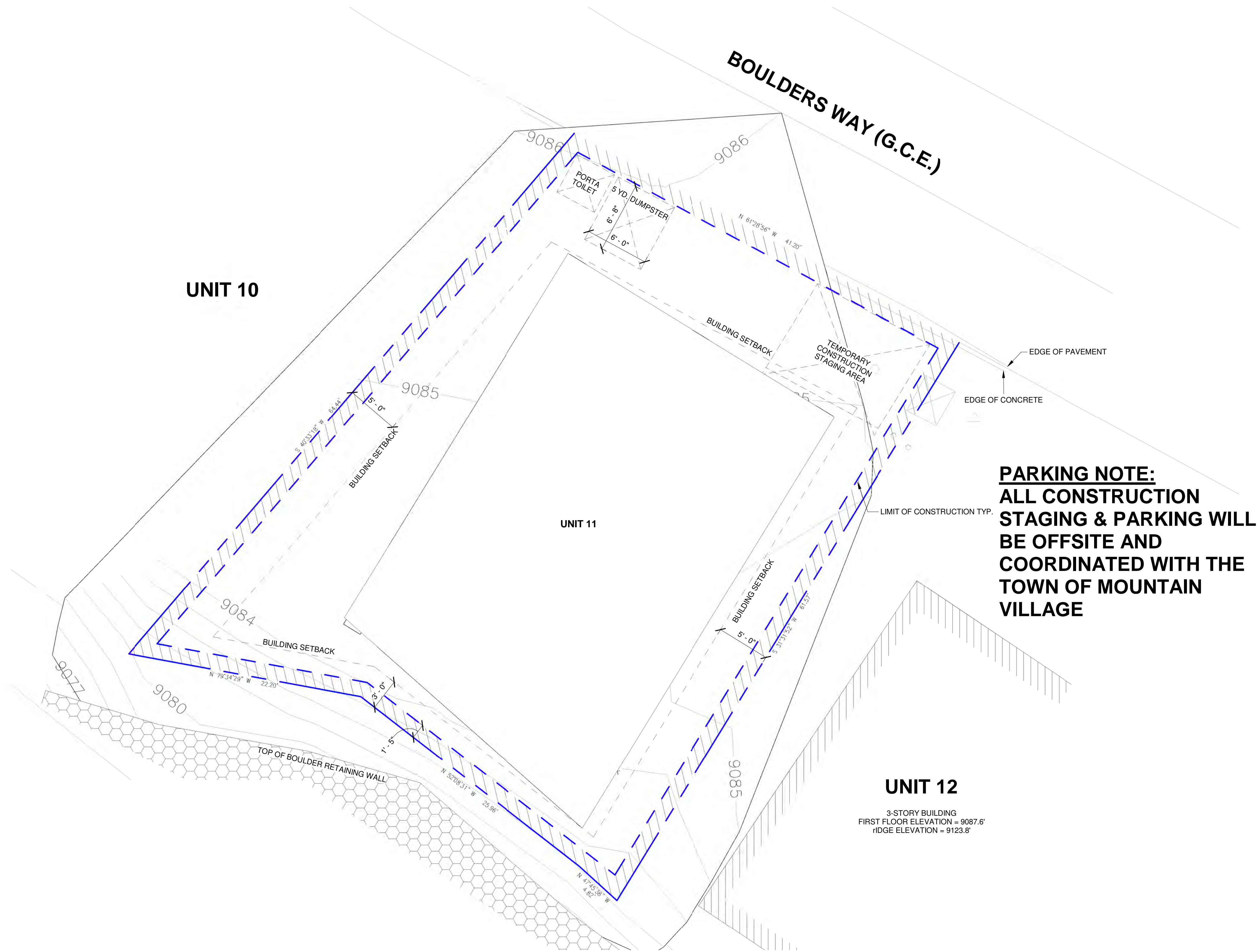


CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading
and
Drainage
Plan

and

Utility Plan



CONSTRUCTION MITIGATION LEGEND

LIMITS OF CONSTRUCTION

TEMPORARY PARKING

REVEGETATION AREAS

EXISTING ASPEN TREE TO REMAIN

EXISTING EVERGREEN TREE TO REMAIN

LIMIT OF CONSTRUCTION

PERIMETER FENCING W/ ATTACHED GREEN SCREENING

TREE PROTECTION FENCING

1. ALL DEVELOPMENT SHALL COMPLY WITH DECLARATION OF THE TOWN OF MOUNTAIN VILLAGE CDC 17.7.20 REQUIREMENTS.

2. COORDINATE LOCATION OF PORTA TOILET, TRASH, RECYCLE, MATERIAL STORAGE AND PARKING WITH THE TOWN OF MOUNTAIN VILLAGE.

3. ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

SHIFT

ARCHITECTS

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CONSTRUCTION
MITIGATION PLAN

SHEET NUMBER

1

CONSTRUCTION MITIGATION PLAN

3/16" = 1'-0"

0'

4'

8'

16'

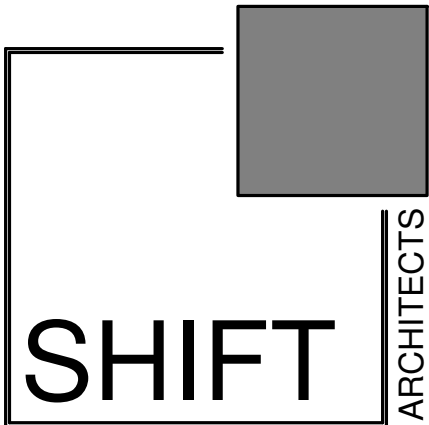
32'

N

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C3

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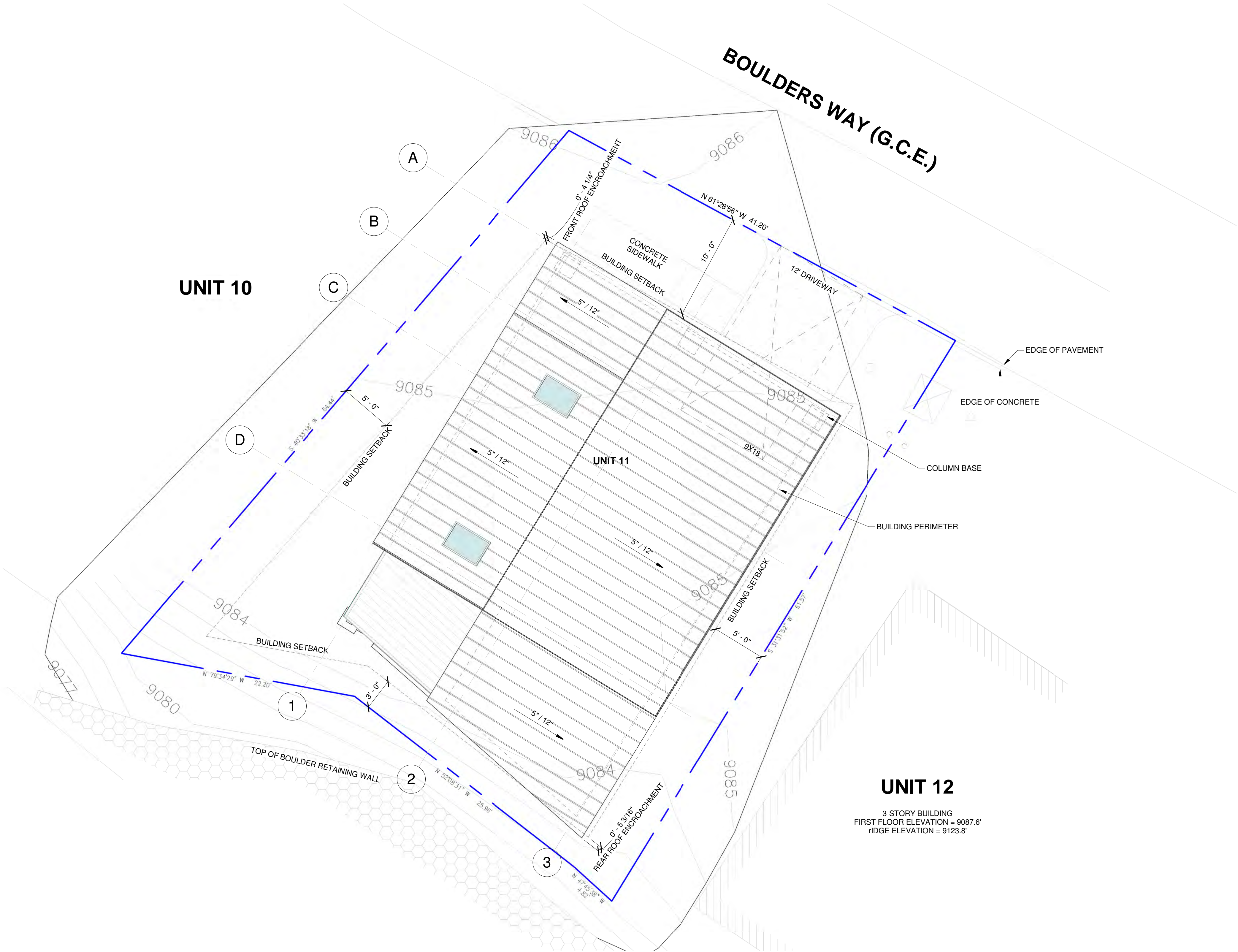
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ARCHITECTURAL
SITE PLAN

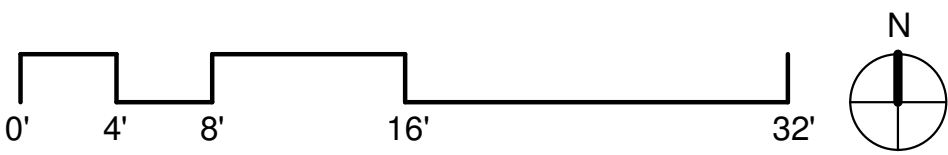
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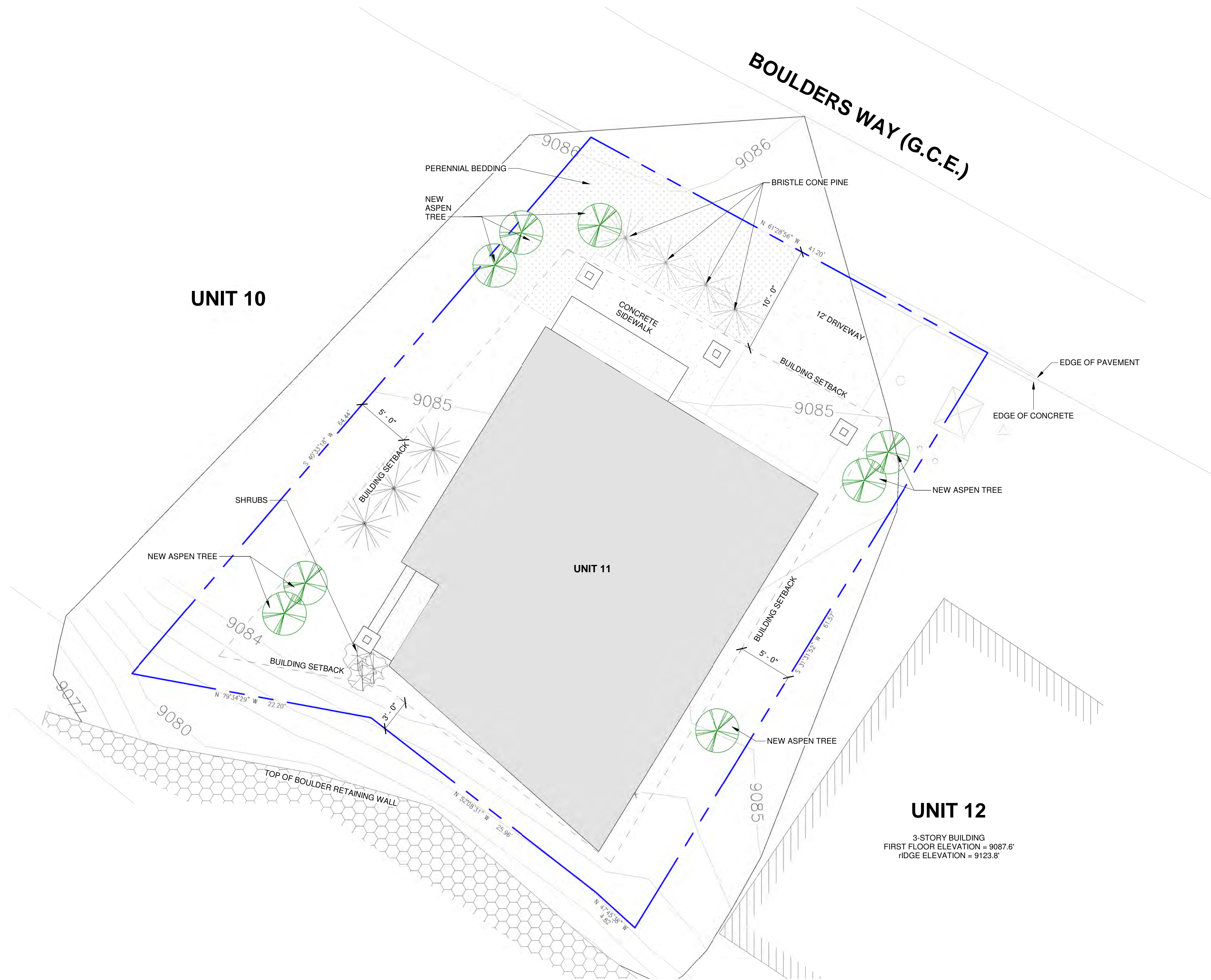
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1 ARCHITECTURAL SITE PLAN
3/16" = 1'-0"



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CONCRETE PAVERS

WILDFIRE MITIGATION BOUNDARY

LIMIT OF DISTURBANCE

METAL GATE TO MATCH FENCE

TREE PROTECTION FENCING

REVEGETATE W/ NATIVE GRASS

DISTURBED AREAS

MULCH LANDSCAPE BEDDING

PERENNIAL BEDDING

FLAGSTONE

STONE PAVER

SNOW MELT AREAS

INDIGENOUS SHRUBS

EXISTING ASPEN TREE

EXISTING ASPEN TREE TO BE REMOVED

NEW ASPEN TREE

BRISTLE CONE PINE

EXISTING EVERGREEN TREE

EXISTING EVERGREEN TREE TO BE REMOVED

NEW EVERGREEN TREE

NOTE:
ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

GENERAL NOTES:

- ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
- ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STAKED WITH 4' METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
- PERENNIAL PLANTING BEDS SHALL BE FILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
- MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS: SHREDDED CEDAR BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH DECLARATION OF CONDOMINIUM FOR KNOLL ESTATES, A CONDOMINIUM AND TOWN OF MOUNTAIN VILLAGE CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

NOXIOUS WEEDS:

- ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

LANDSCAPE MAINTENANCE NOTES:

- TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
- NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
- ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
- IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

REVEGETATION NOTES:

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
- BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
- ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREeping RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	8
PINUS ARISTATA	BRISTLE CONE PINE	8-10 FT IN HT	7
WOODS ROSE	ROSA WOODSII		4
PERENNIALS - BED A			N/A
PERENNIALS - BED B			N/A

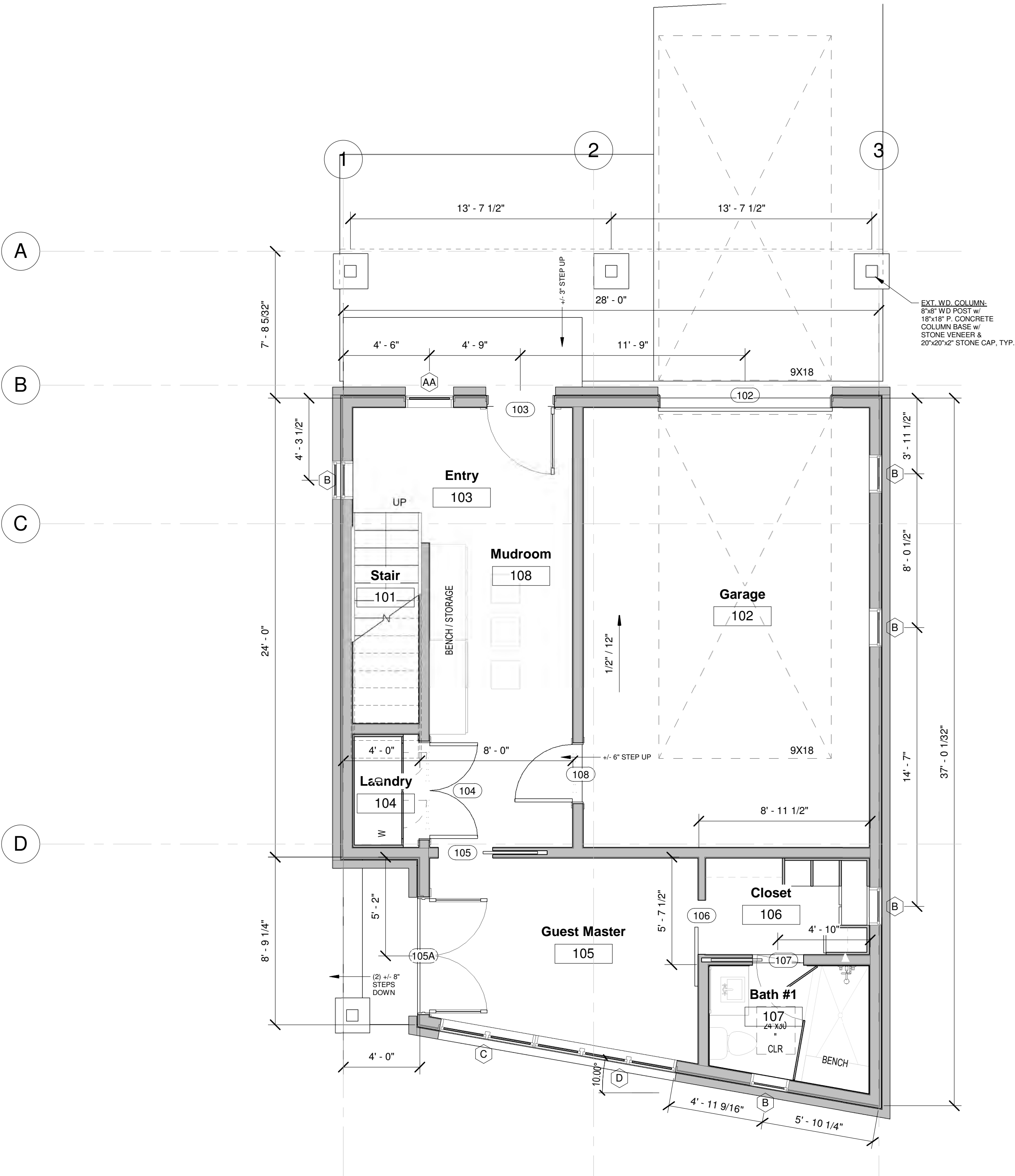
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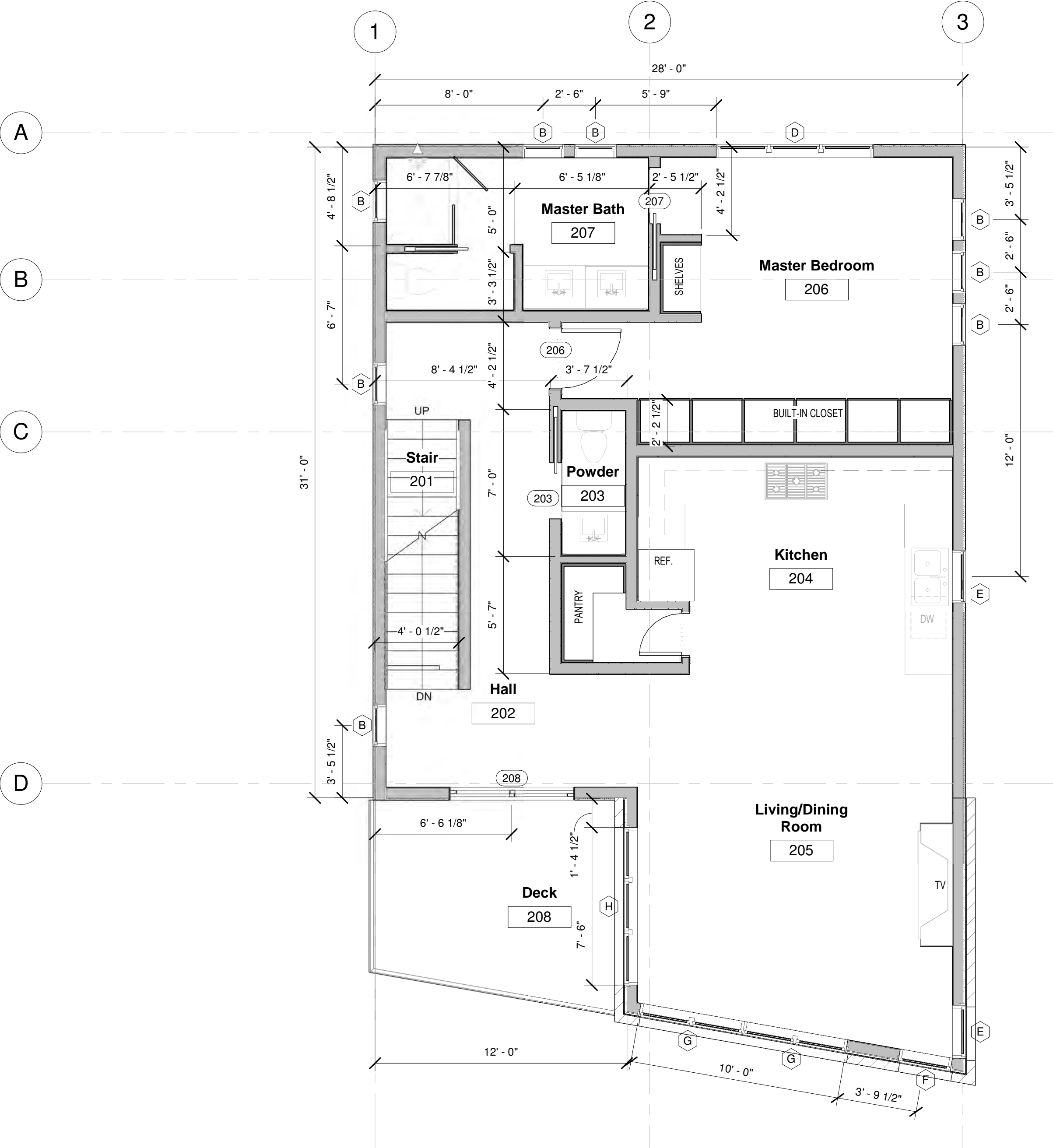
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Telluride, CO 81435, USA

FLOOR PLANS

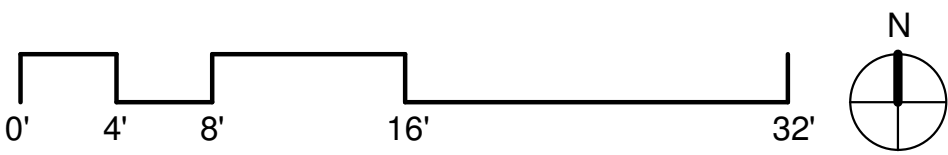
SHEET NUMBER



1 LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



2 LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



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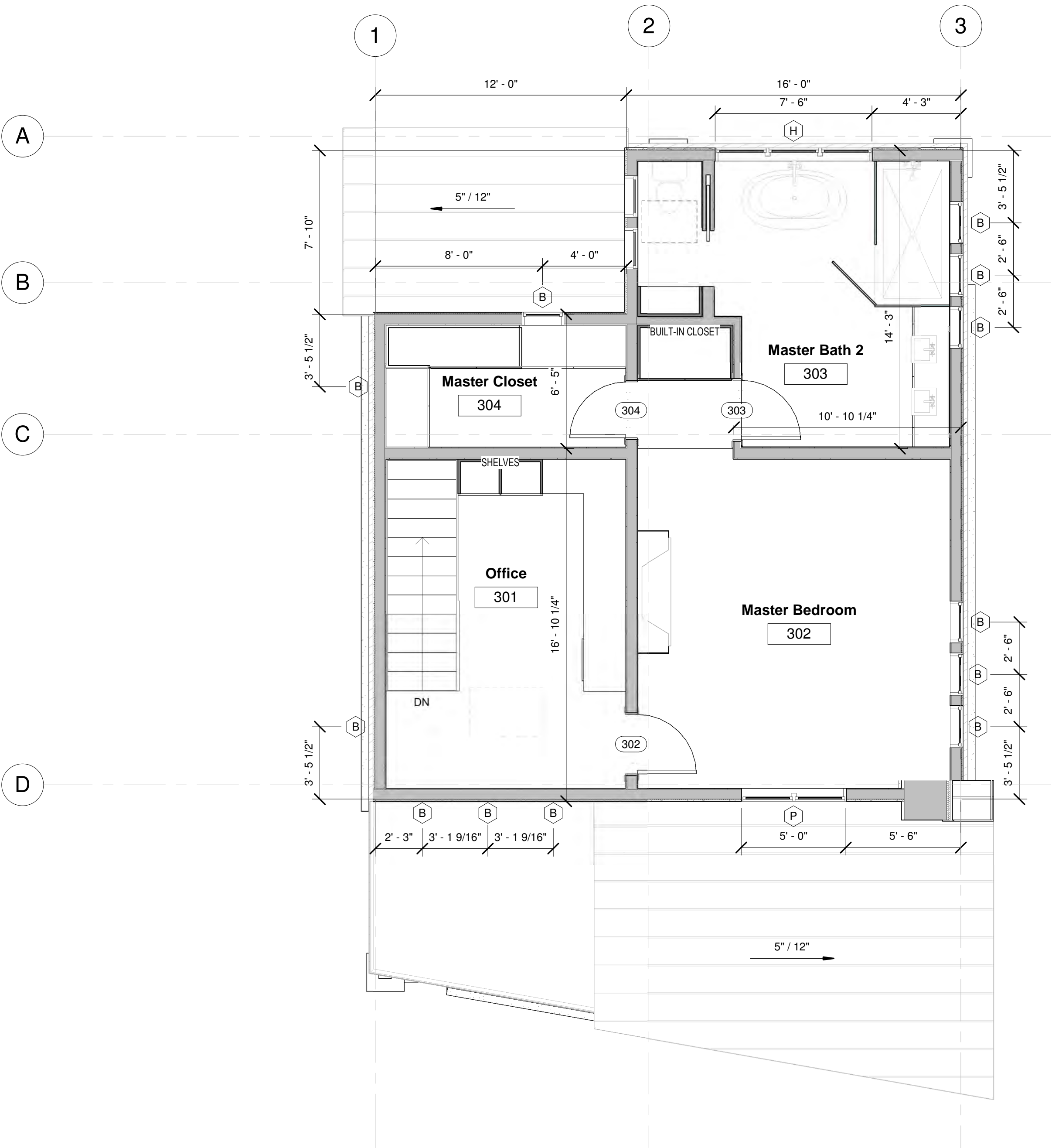
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FLOOR & ROOF PLAN

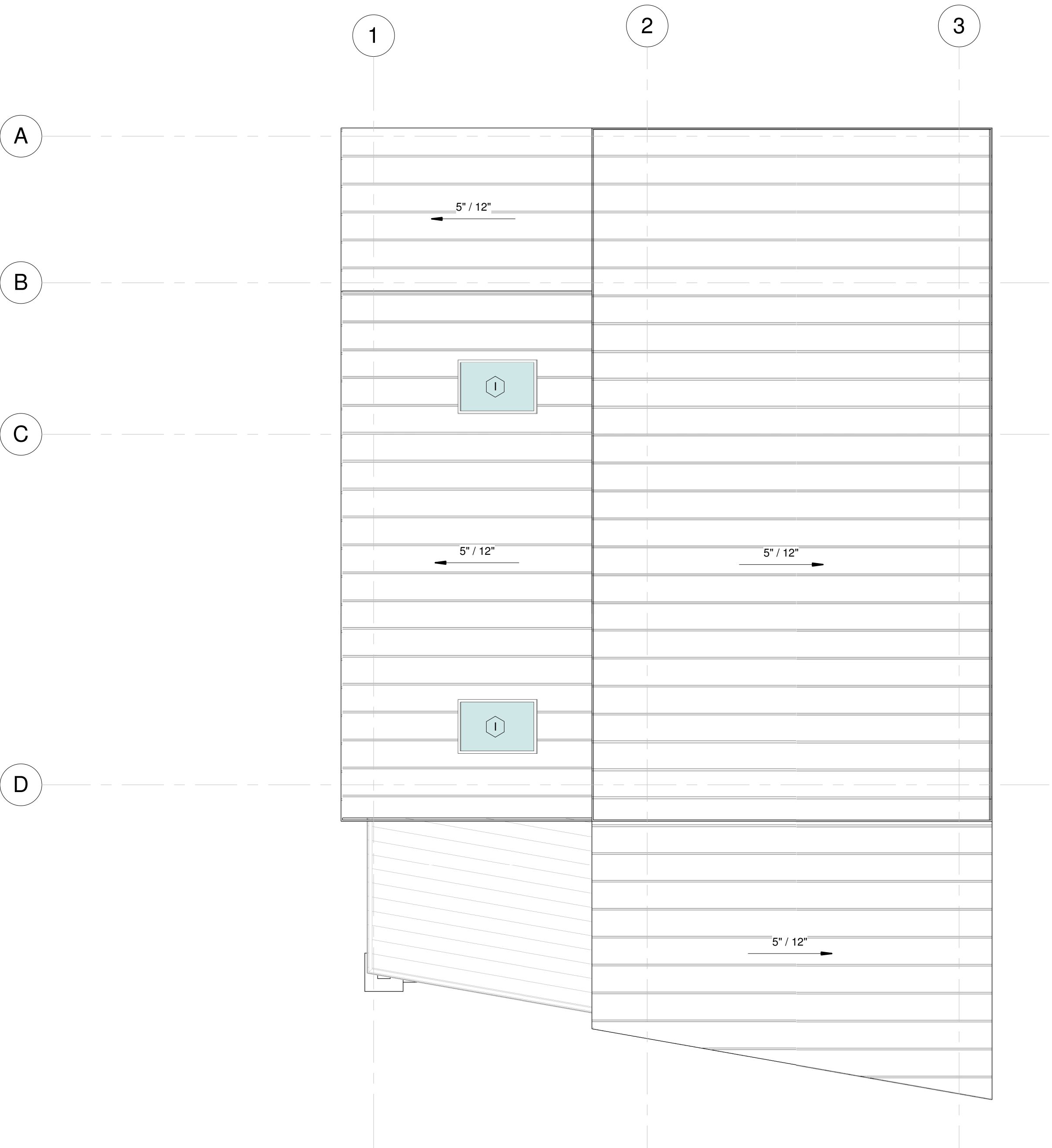
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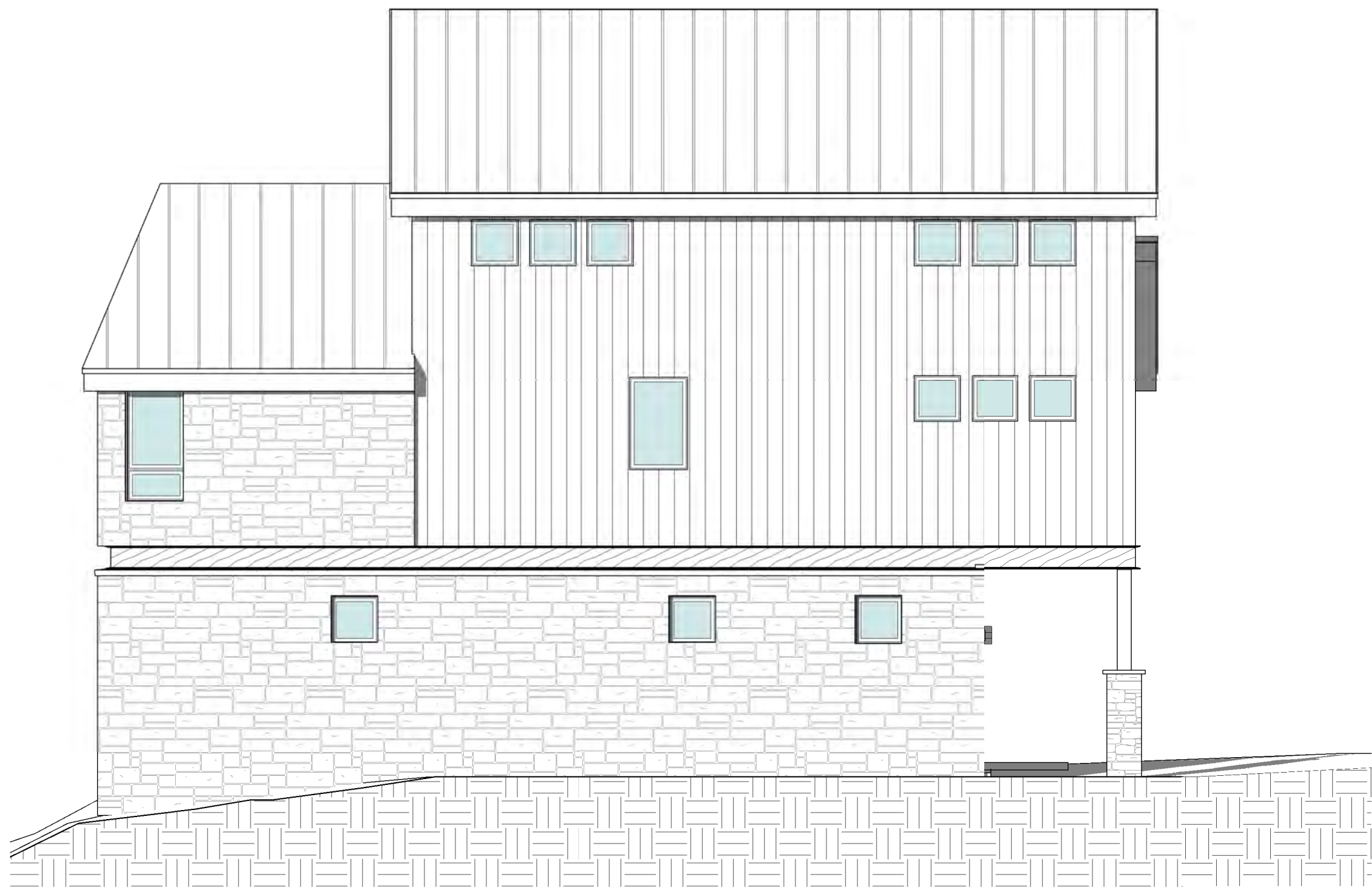
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1 LEVEL 3 FLOOR PLAN
1/4" = 1'-0"



2 MAIN ROOF PLAN
1/4" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"



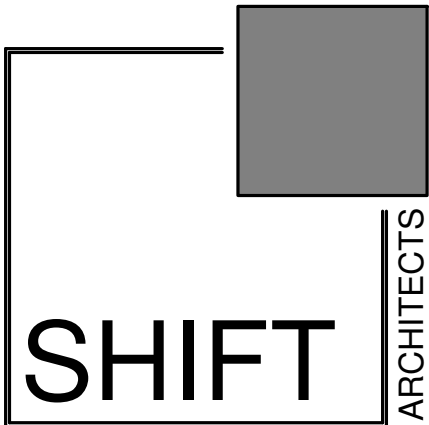
3 WEST ELEVATION
3/16" = 1'-0"



4 SOUTH ELEVATION
3/16" = 1'-0"

MATERIAL CALCULATIONS

NORTH	
STONE	140 SF
WOOD SIDING	463 SF
WINDOW/DOOR GLAZING	212 SF
WOOD DOORS	67.5 SF
SOUTH	
STONE	333 SF
WOOD SIDING	148 SF
WINDOW/DOOR GLAZING	237 SF
EAST	
STONE	434 SF
WOOD SIDING	500 SF
WINDOW/DOOR GLAZING	75 SF
WEST	
STONE	374 SF
WOOD SIDING	551 SF
WINDOW/DOOR GLAZING	122 SF
TOTALS	
STONE	1,281 SF
WOOD SIDING	1,662 SF
WINDOW/DOOR GLAZING	646 SF
WOOD DOORS	67.5 SF
TOTAL:	3,657 SF
PERCENTAGES	
STONE	35 %
WOOD SIDING	45 %
WINDOW/DOOR GLAZING	18 %
WOOD DOORS	2 %
TOTAL:	100 %
GLAZING CALCULATIONS ARE BASE ON UNIT SIZE. ACTUAL GLASS T.B.D. BY MANUFACTURER'S SPECIFICATIONS.	
STONE VENEER CALCULATION REQUIREMENT PER TOWN OF MOUNTAIN VILLAGE CDC 17.5.6 EXTERIOR WALL MATERIALS E.1	



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MATERIAL CALCULATIONS

SHEET NUMBER

A3.1

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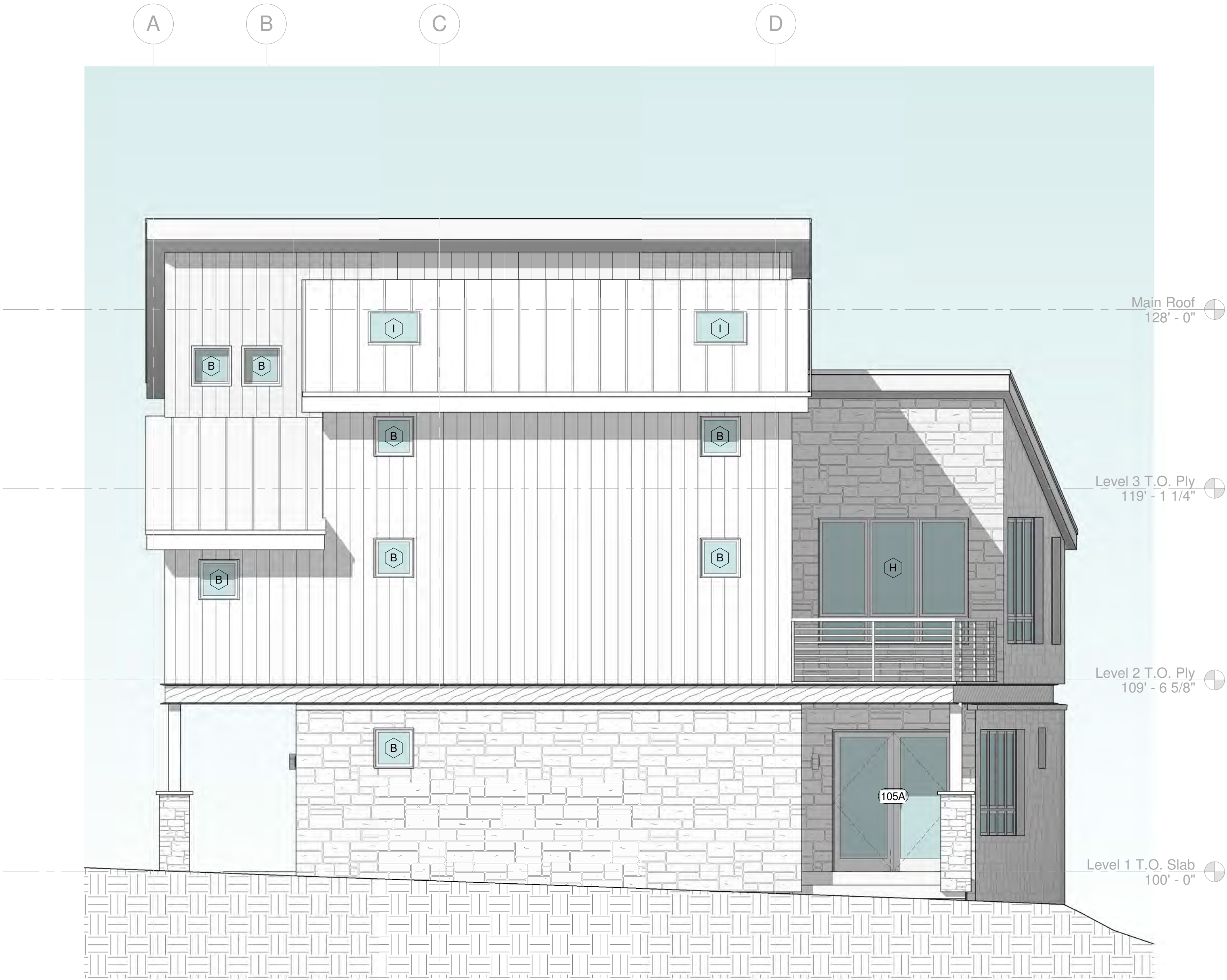
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ELEVATIONS

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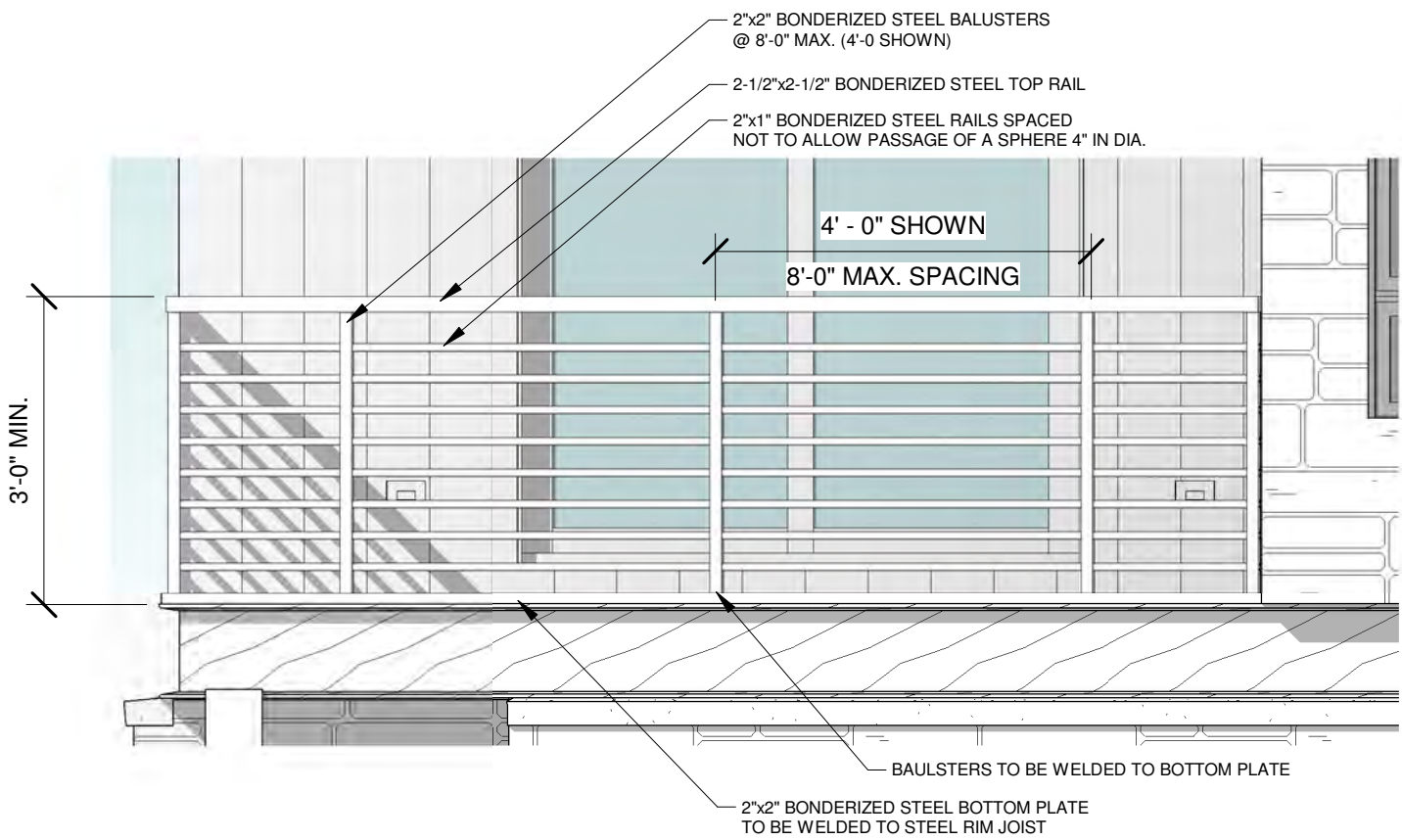
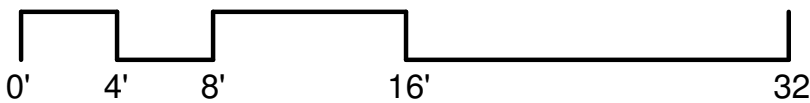
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1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

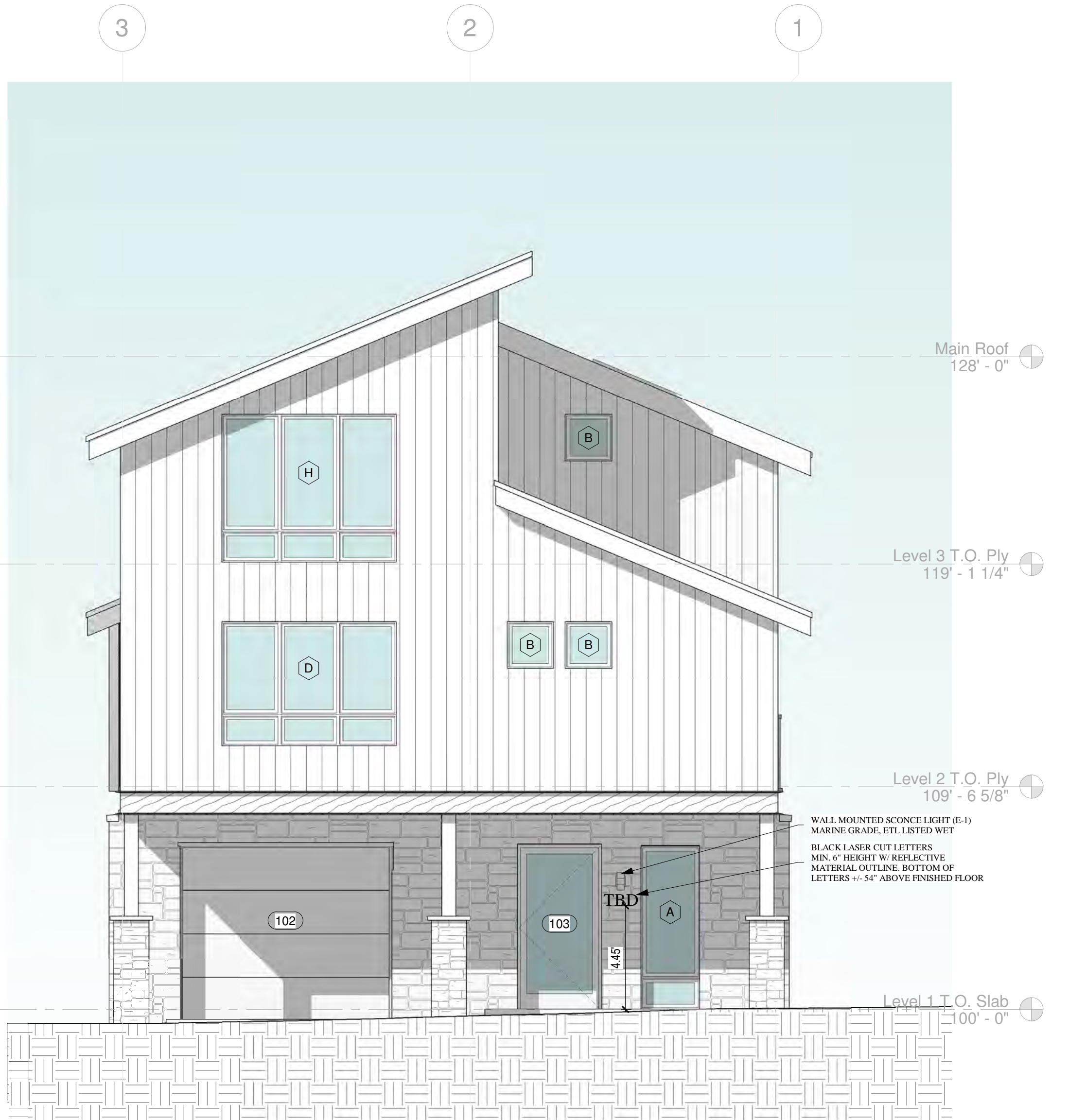


3 RAILING DETAIL
1/2" = 1'-0"

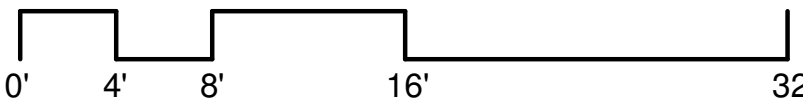
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1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



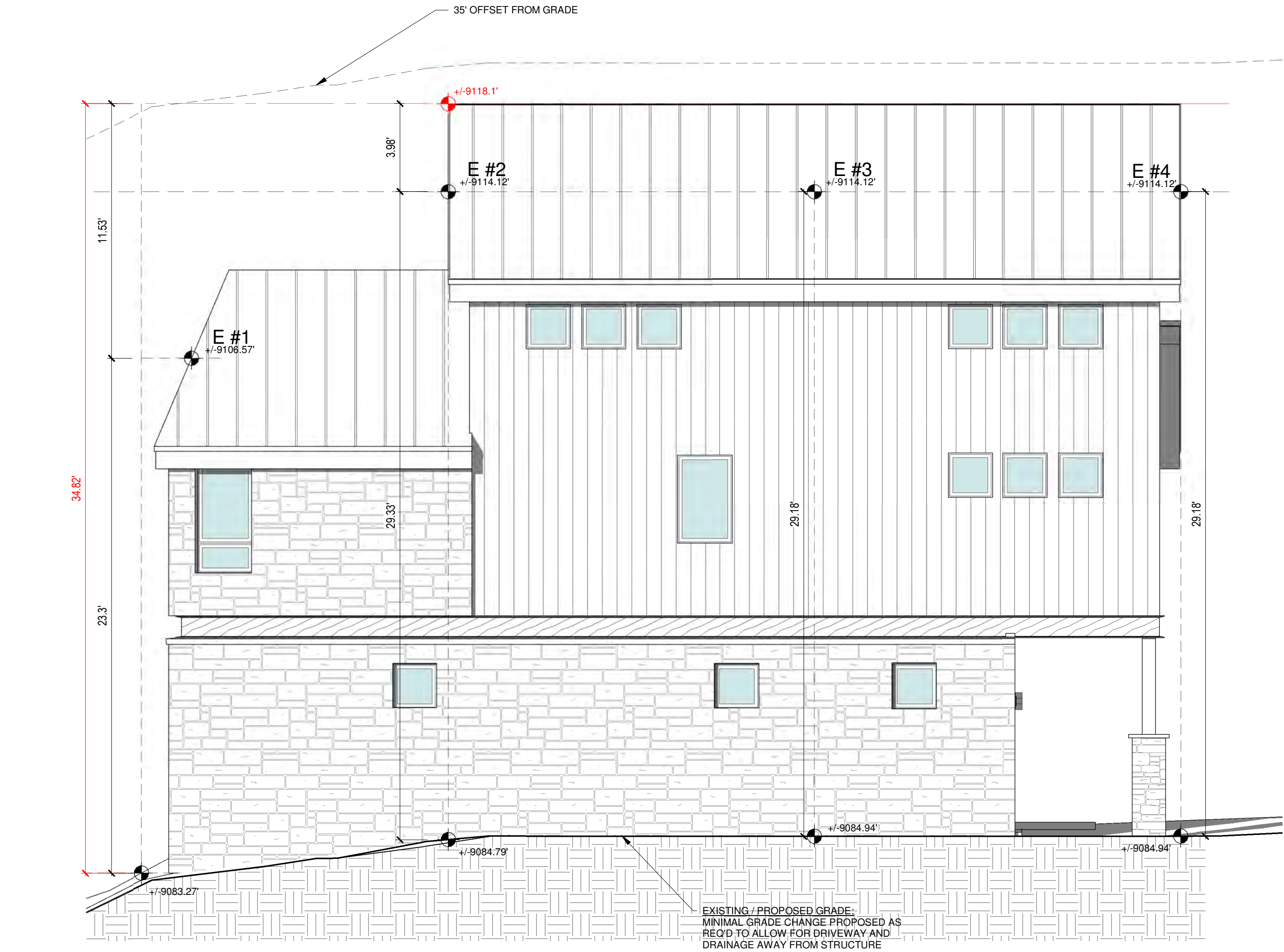
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EXTERIOR
ELEVATIONS

SHEET NUMBER

A3.3



1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

AVG ROOF HT :

NORTH ELEVATION	
N1	29.11'
N2	26.66'
N3	19.80'
NORTH AVERAGE	25.19'

SOUTH ELEVATION	
S1	28.21'
S2	30.51'
S3	22.90'
SOUTH AVERAGE	27.21'

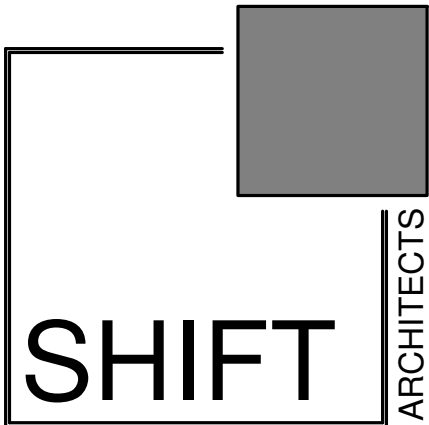
EAST ELEVATION	
E1	23.30'
E2	29.33'
E3	29.18'
E4	29.18'
EAST AVERAGE	27.75'

WEST ELEVATION	
W1	32.45'
W2	26.90'
W3	27.36'
W4	27.82'
W5	19.67'
W6	22.64'
WEST AVERAGE	26.14'

NUMBER OF LOCATIONS:	16
AVERAGE:	26.57'

MAX. ROOF HT:

NORTH ELEVATION	33.09'
SOUTH ELEVATION	34.82'
EAST ELEVATION	34.82'
WEST ELEVATION	34.17'



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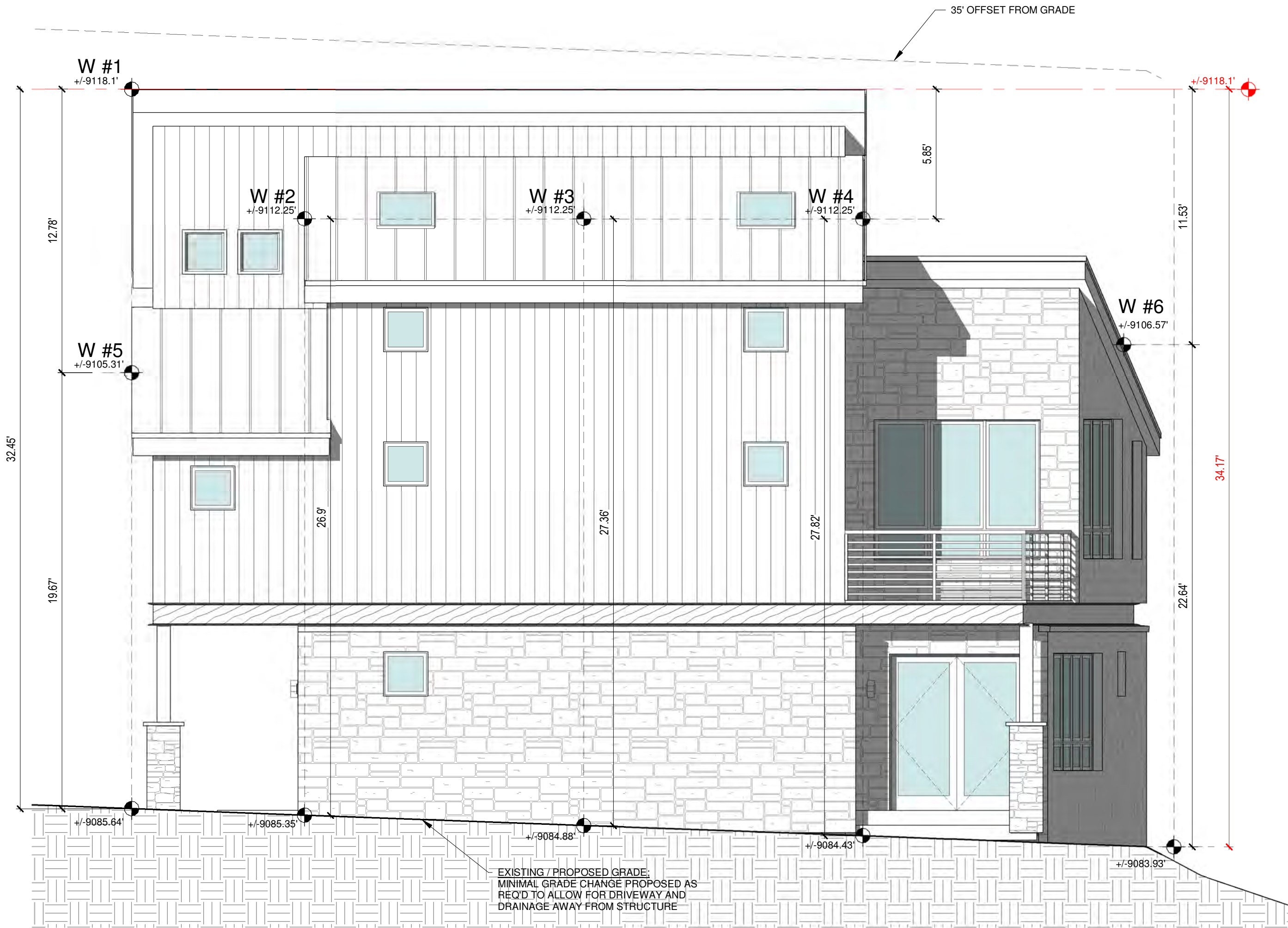
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ELEVATION HEIGHT
CALCULATIONS

SHEET NUMBER

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1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

AVG ROOF HT :	
NORTH ELEVATION	
N1	29.11'
N2	26.66'
N3	19.80'
NORTH AVERAGE	25.19'
SOUTH ELEVATION	
S1	28.21'
S2	30.51'
S3	22.90'
SOUTH AVERAGE	27.21'
EAST ELEVATION	
E1	23.30'
E2	29.33'
E3	29.18'
E4	29.18'
EAST AVERAGE	27.75'
WEST ELEVATION	
W1	32.45'
W2	26.90'
W3	27.36'
W4	27.82'
W5	19.67'
W6	22.64'
WEST AVERAGE	26.14'
NUMBER OF LOCATIONS:	16
AVERAGE:	26.57'

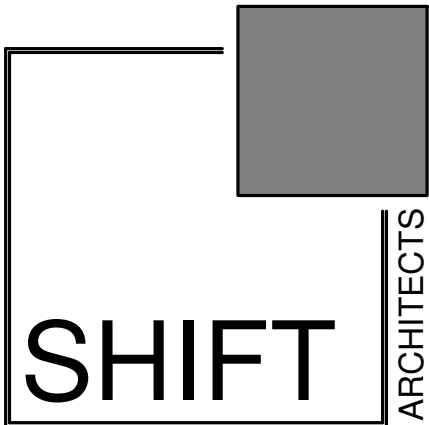
MAX. ROOF HT:	
NORTH ELEVATION	33.09'
SOUTH ELEVATION	34.82'
EAST ELEVATION	34.82'
WEST ELEVATION	34.17'



1 NE PERSPECTIVE



2 NW PERSPECTIVE



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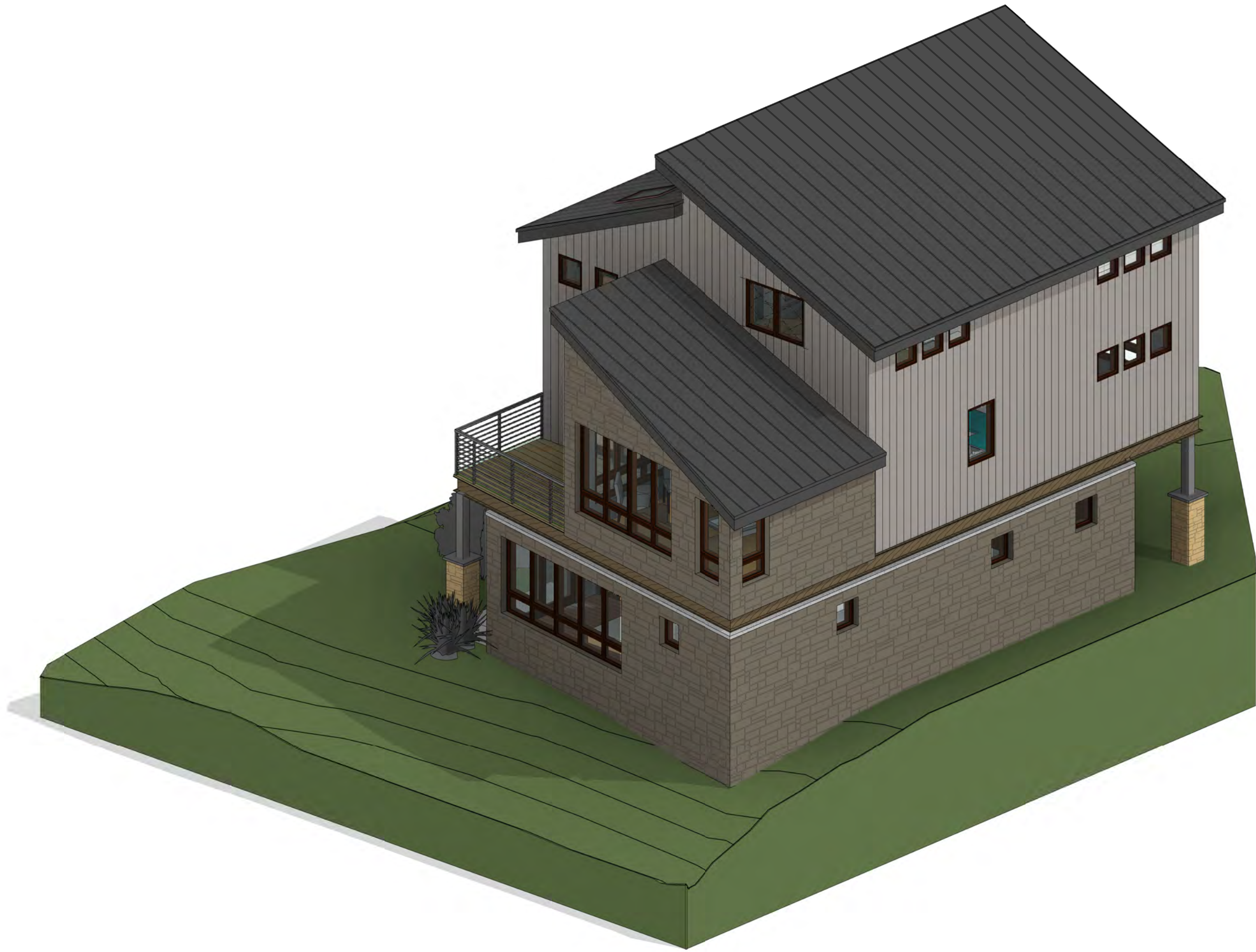
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PERSPECTIVES

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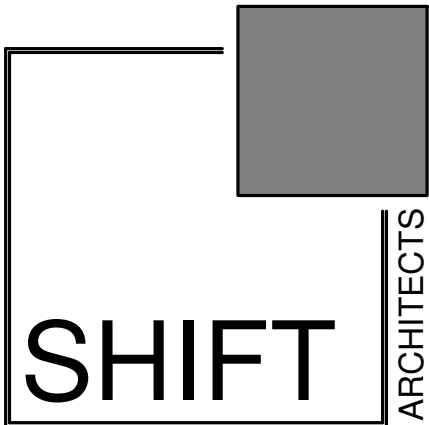
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1 SE ELEVATION



2 SW PERSPECTIVE



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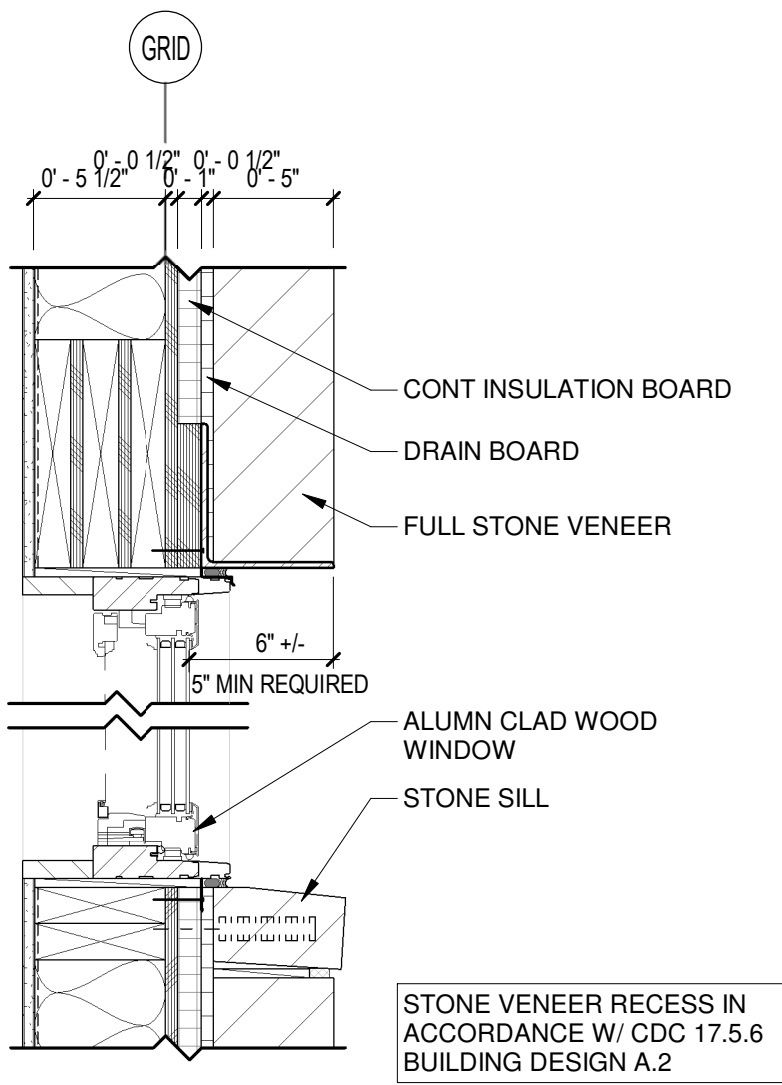
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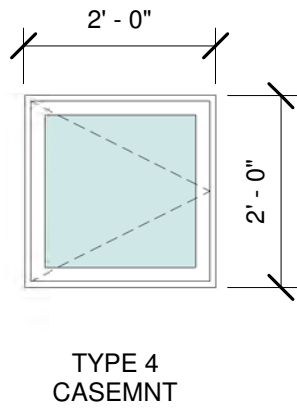
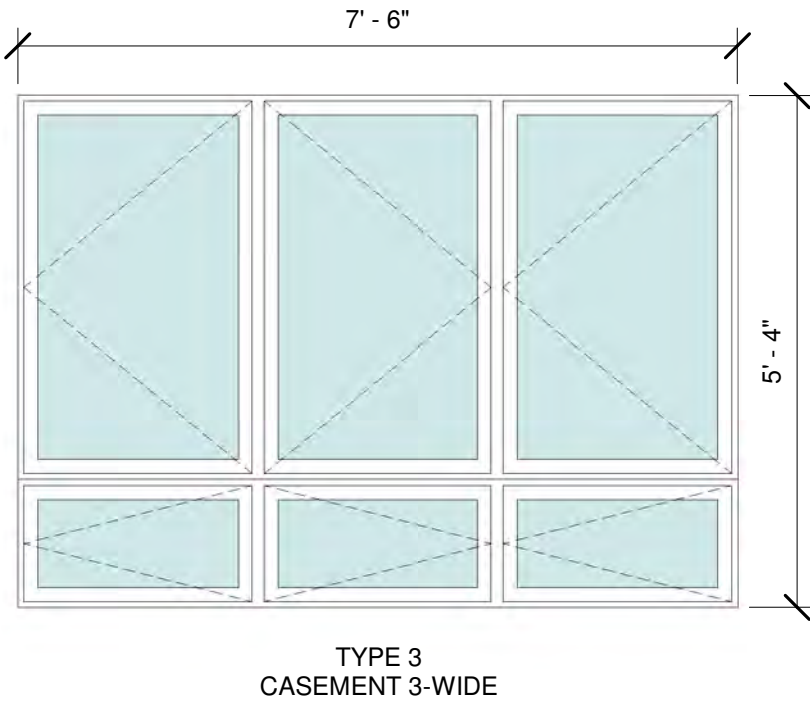
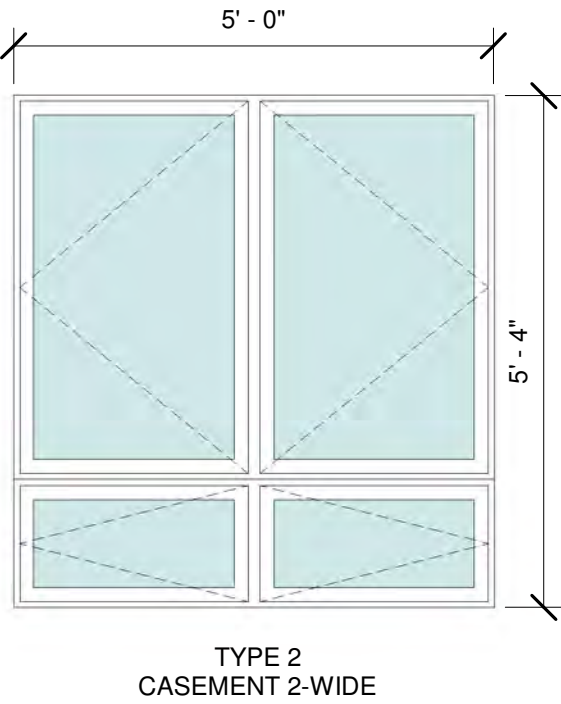
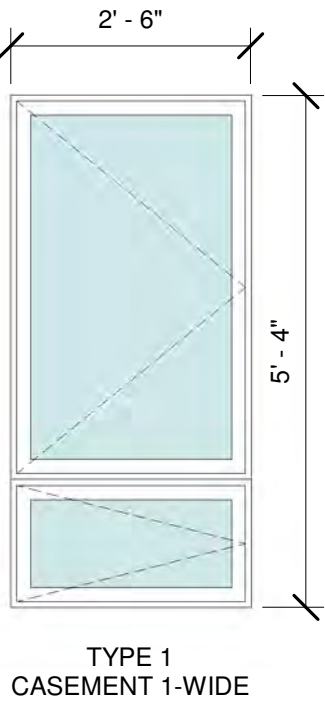
WINDOW DETAIL W/ STONE VENEER

1 1/2" = 1'-0"



WINDOW NOTES:

1. WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. SEE ELEVATIONS FOR WINDOW MULLION PATTERN.
3. WINDOW HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
4. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
5. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
6. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
7. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.



WINDOW TYPES

1/2" = 1'-0"

WINDOW SCHEDULE

SHEET NUMBER

A8.1

4/17/2022 11:09:39 PM

Boulders Way Mountain Village
Telluride, CO 81435, USA

NOVAEZ RESIDENCE

REVISIONS		
NO.	DATE	DESC.
1	12.03.21	DRB SUBMITTAL
2	01.05.22	INTERIORS & SCHEDULES
3	03.15.22	DRB SUBMITTAL
3	04.16.22	REVISED DRB SUBMITTAL

PROJECT ISSUE DATE:
03.15.21 DRB SUBMITTAL

P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

SHIFT
ARCHITECTS

WINDOW SCHEDULE									
ROOM NUMBER	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	COMMENTS	
		B	2' - 0"	2' - 0"	4	Casement	Kolbe		
102	Garage	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
102	Garage	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
103	Entry	A	2' - 6"	5' - 8"	1	Casement 1-Wide	Kolbe		
103	Entry	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
103	Entry	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
105	Guest Master	C	5' - 0"	4' - 0"	2	Casement 2-Wide	Kolbe		
105	Guest Master	D	7' - 6"	4' - 0"	3	Casement 3-Wide	Kolbe		
106	Closet	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
107	Bath #1	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
202	Hall	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
202	Hall	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
204	Kitchen	E	2' - 6"	4' - 0"	1	Casement 1-Wide	Kolbe		
205	Living/Dining Room	E	2' - 6"	4' - 0"	1	Casement 1-Wide	Kolbe		
205	Living/Dining Room	F	2' - 6"	4' - 0"	1	Casement 1-Wide	Kolbe		
205	Living/Dining Room	G	5' - 0"	5' - 0"	2	Casement 2-Wide	Kolbe		
205	Living/Dining Room	G	5' - 0"	5' - 0"	2	Casement 2-Wide	Kolbe		
205	Living/Dining Room	H	7' - 6"	5' - 0"	3	Casement 3-Wide	Kolbe		
206	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
206	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
206	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
206	Master Bedroom	D	7' - 6"	4' - 0"	3	Casement 3-Wide	Kolbe		
207	Master Bath	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
207	Master Bath	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
301	Office	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
301	Office	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
301	Office	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
301	Office	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
302	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
302	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
302	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
302	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
302	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
302	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
302	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
302	Master Bedroom	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
302	Master Bedroom	H	7' - 6"	5' - 0"	3	Casement 3-Wide	Kolbe		
302	Master Bedroom	P	5' - 0"	3' - 4"		Casement 2-Wide	Kolbe		
304	Master Closet	B	2' - 0"	2' - 0"	4	Casement	Kolbe		
304	Master Closet	B	2' - 0"	2' - 0"	4	Casement	Kolbe		

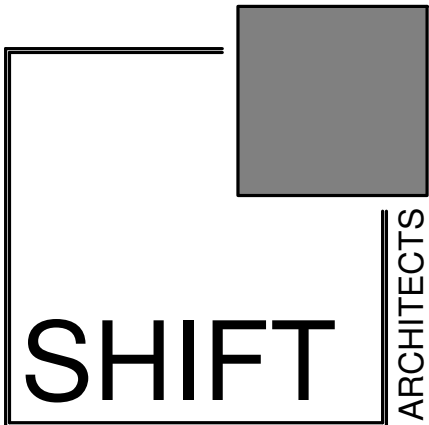
WINDOW SCHEDULE SKYLIGHTS									
ROOM NUMBER	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	MODEL	COMMENTS
302	BEDROOM #1	I	2' - 6"	4' - 0"			VELUX		
303	BEDROOM #2	I	2' - 6"	4' - 0"			VELUX		

DOOR NOTES:

- 1. DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 2. SEE ELEVATIONS FOR DOOR MULLION PATTERN.
- 3. DOOR HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
- 4. DOOR & WINDOW MANUFACTURER: WINDSOR
- 5. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

DOOR SCHEDULE

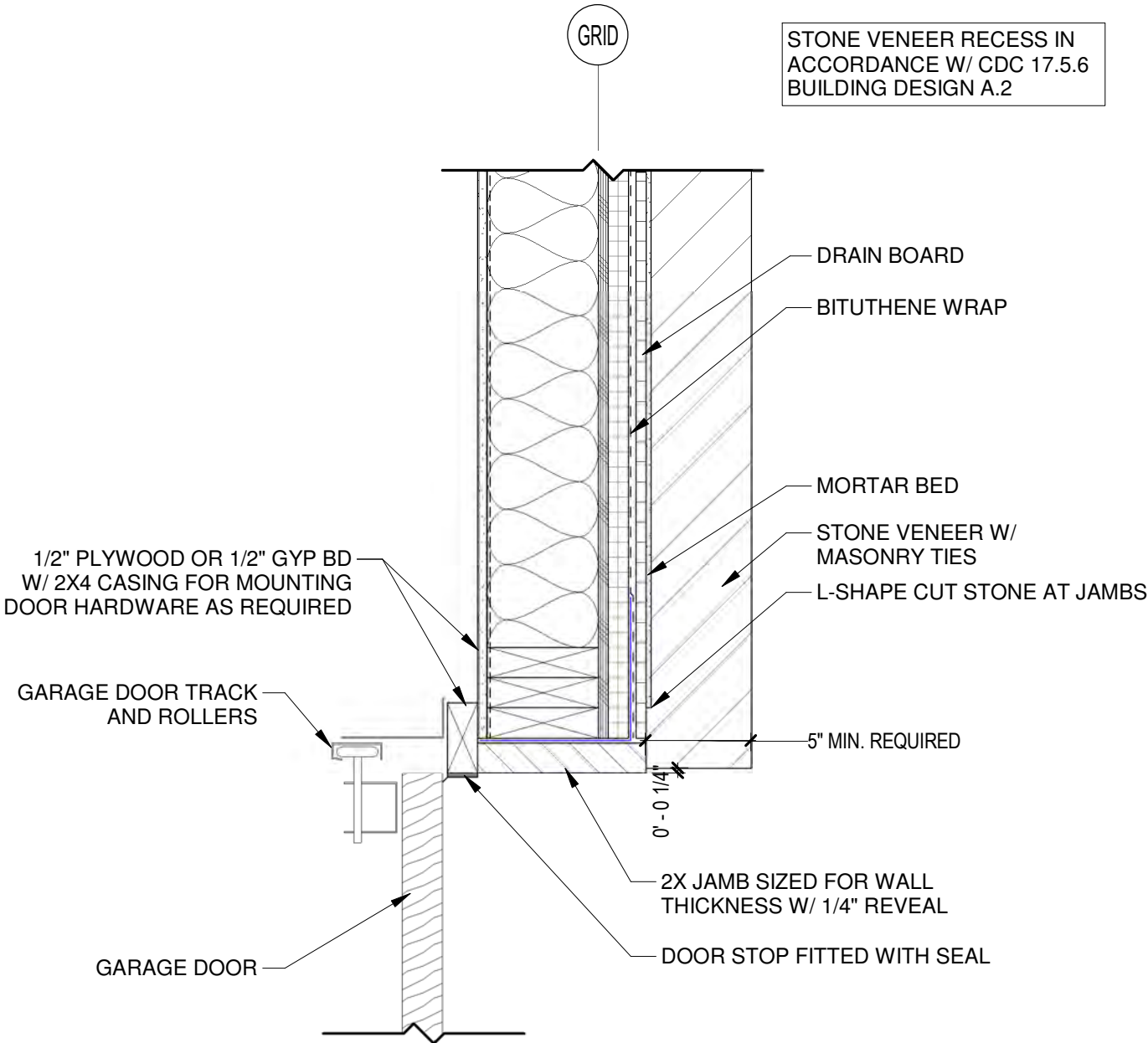
MARK	ROOM NAME	TYPE MARK	WIDTH	HEIGHT	TYPE	MANUFACTURER	LOCATION	COMMENTS
	Bath #1		2' - 11 1/4"	8' - 4"				
			2' - 1 3/4"	8' - 0"				
	Master Bedroom		2' - 10 21/32"	6' - 8 19/32"				
102	Garage	E	9' - 0"	7' - 6"	OVERHEAD DOOR		EXTERIOR	
103	Entry	D	3' - 6"	7' - 0"	SWING		EXTERIOR	
105A	Guest Master	C	6' - 0"	7' - 0"	SWING		EXTERIOR	
208	Deck	A	6' - 0"	8' - 0"	SLIDING		EXTERIOR	
104	Laundry	G	2' - 6"	7' - 0"	SWING		INTERIOR	
105	Guest Master	F	2' - 10"	7' - 0"	SWING		INTERIOR	
106	Closet	I	2' - 10"	7' - 0"	BARN DOOR		INTERIOR	
107	Bath #1	H	2' - 8"	7' - 0"	POCKET		INTERIOR	
108	Mudroom	F	3' - 0"	7' - 0"	SWING		INTERIOR	
113	Master Bath	H	2' - 6"	7' - 0"	POCKET		INTERIOR	
114	Kitchen	F	2' - 0"	6' - 8"	SWING		INTERIOR	
203	Powder	H	2' - 8"	7' - 0"	POCKET		INTERIOR	
206	Hall	F	2' - 10"	7' - 0"	SWING		INTERIOR	
207	Master Bath	H	2' - 8"	7' - 0"	POCKET		INTERIOR	
302	Master Bedroom	F	2' - 10"	7' - 0"	SWING		INTERIOR	
303	Master Bedroom	F	2' - 10"	7' - 0"	SWING		INTERIOR	
304	Master Closet	F	2' - 8"	7' - 0"	SWING		INTERIOR	
305	Master Bedroom	H	2' - 8"	7' - 0"	POCKET		INTERIOR	



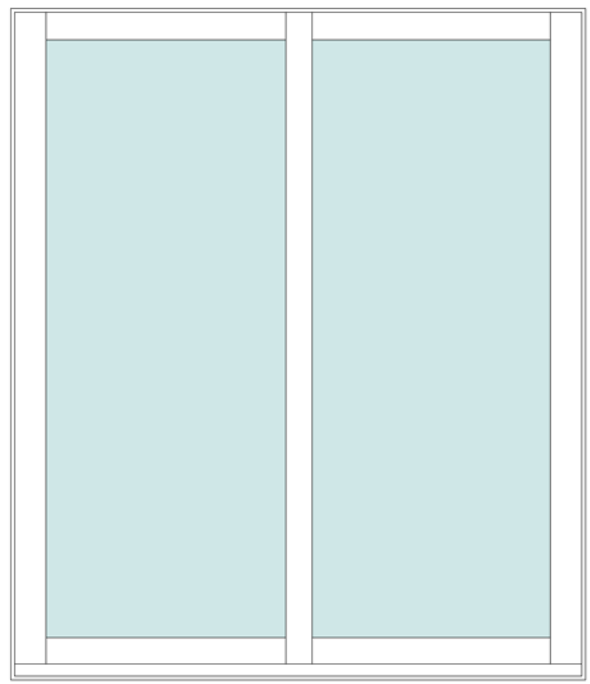
P.O. Box 3206
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p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
03.15.21 DRB SUBMITTAL

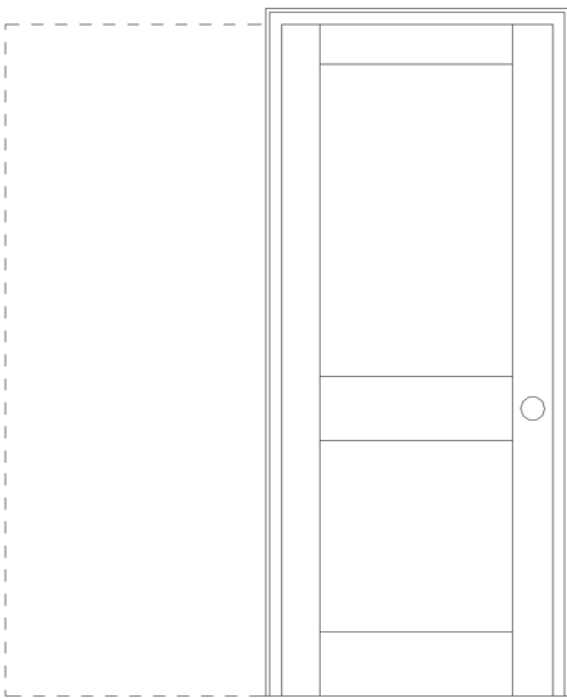
REVISIONS		
NO.	DATE	DESC.
1	12.03.21	DRB SUBMITTAL
2	01.05.22	INTERIORS & SCHEDULES
3	03.15.22	DRB SUBMITTAL
3	04.16.22	REVISED DRB SUBMITTAL



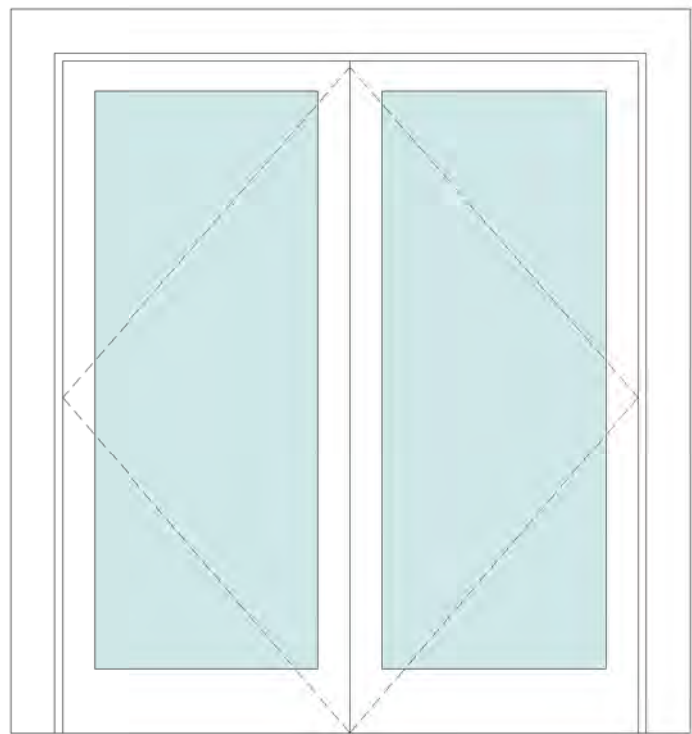
1 GARAGE DOOR JAMB @ STONE VENEER
1 1/2" = 1'-0"



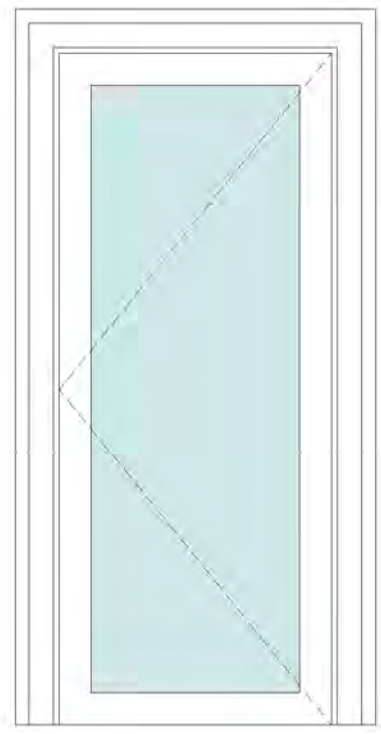
TYPE A



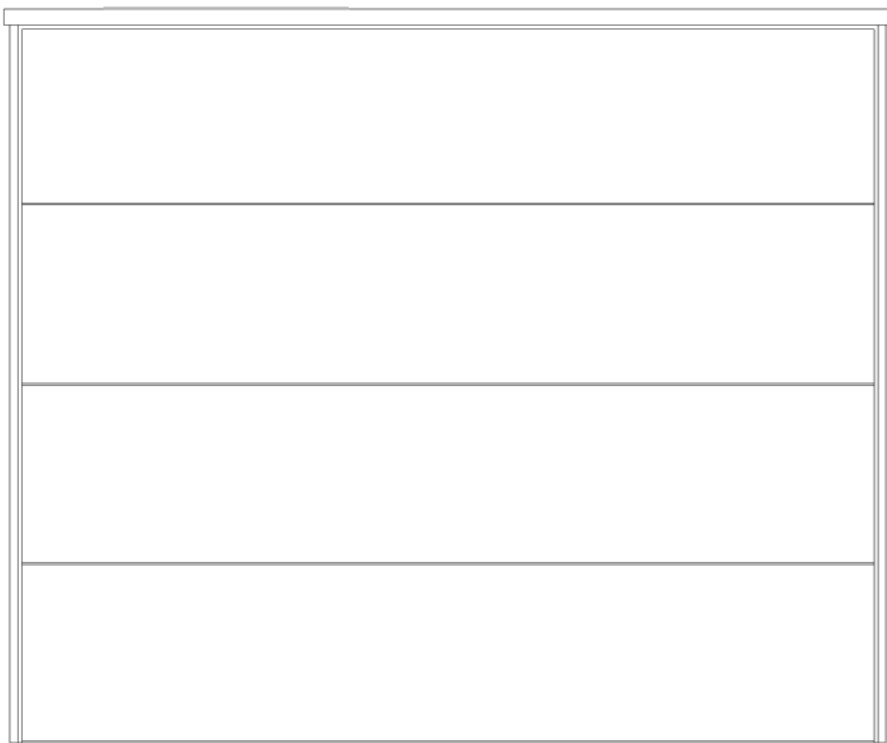
TYPE B



TYPE C

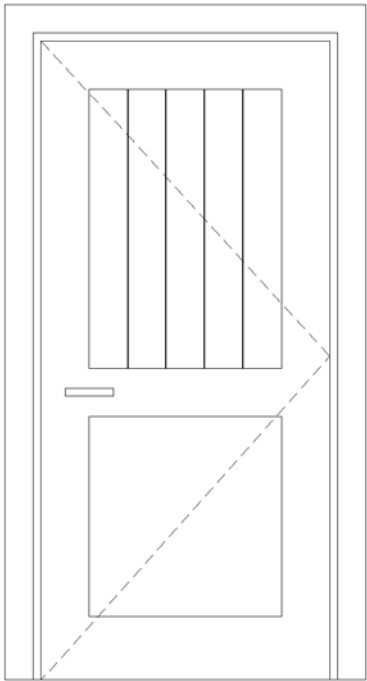


TYPE D

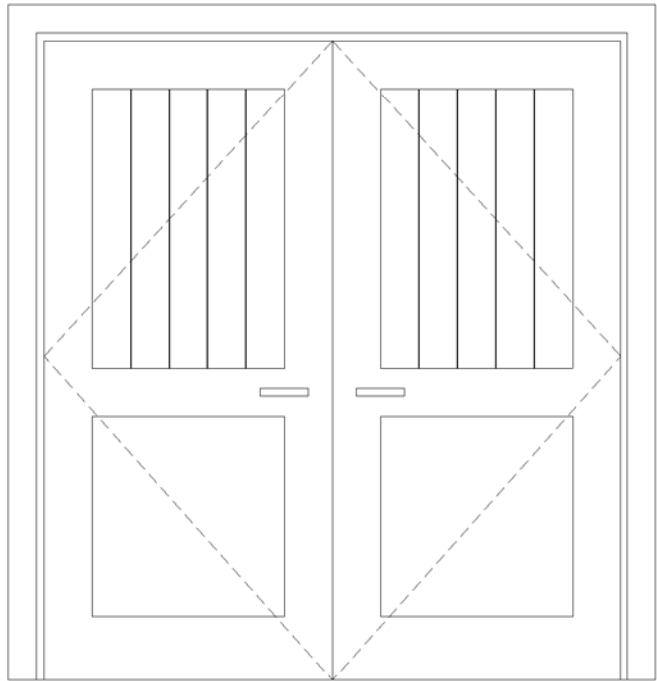


TYPE E

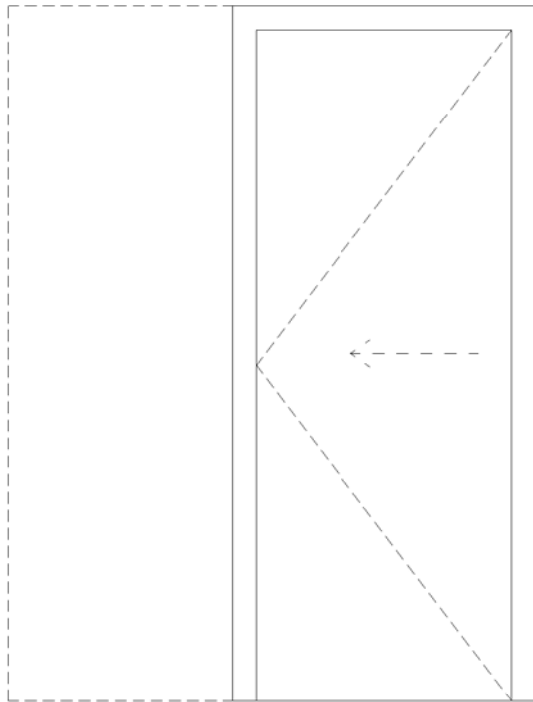
EXTERIOR DOOR TYPES
1/2" = 1'-0"



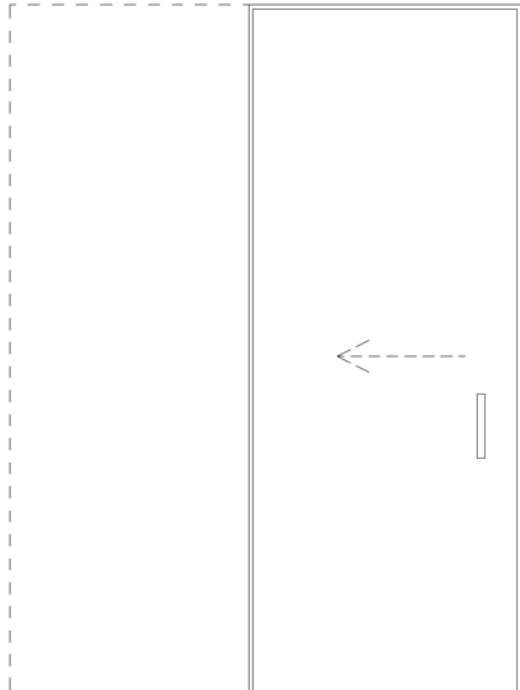
TYPE F



TYPE G



TYPE H



TYPE I

INTERIOR DOOR TYPES
1/2" = 1'-0"

NOVAEZ RESIDENCE

Boulders Way, Mountain Village
Telluride, CO 81435, USA

DOOR SCHEDULE

SHEET NUMBER

A8.2



PANDORA LED INDOOR/OUTDOOR WALL SCONCE	
FINISH: BLACK	
MANUFACTURER	MODERN FORMS
ITEM	MF1720529
MATERIAL	ALUMINUM
GLASS	LED DRIVER
WIDTH	7"
HEIGHT	7"
DEPTH	4.75"
LAMP TYPE	LED
BULB TYPE	12W
LUMENS	270
COLOR TEMPERATURE	3000K
CRI	85
RATED LIFE	50,000 HOURS
CERTIFICATION	ADA COMPLIANT & ETL LISTED WET
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING









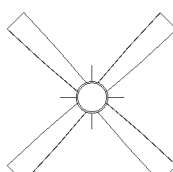



















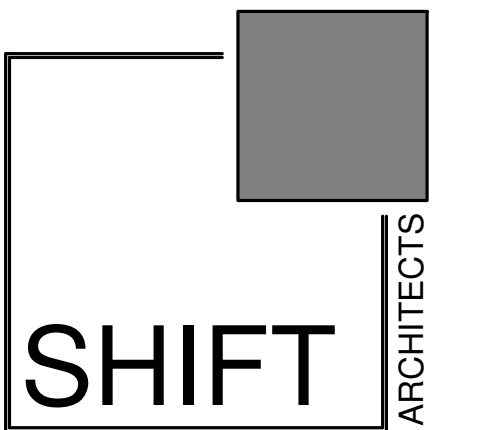
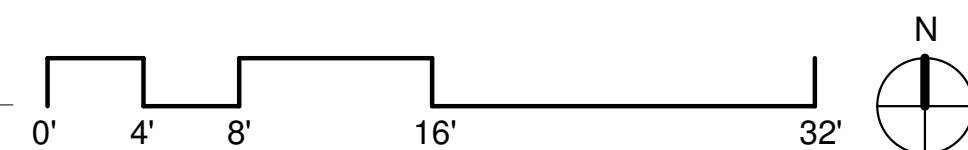
LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT	
FINISH: BLACK	
MANUFACTURER	WAC LIGHTING
ITEM	WAC671977
MATERIAL	CORROSION RESISTANT ALUMINUM
GLASS	ETCHED LENS
WIDTH	5"
HEIGHT	3"
DEPTH	.13"
LAMP TYPE	LED
BULB TYPE	3.9W
LUMENS	68
COLOR TEMPERATURE	3000K
CRI	83
RATED LIFE	60,000 HOURS
CERTIFICATION	UL LISTED FOR WET LOCATIONS
DARK SKY	YES
VOLTAGE	120V. DIRECT WIRING

LIGHTING NOTES:

1. FIELD VERIFY ALL LIGHTING LOCATIONS.
2. TYPICAL LIGHTING LOCATION AT STAIRS:
(1 EA) PER LANDING
(2 EA) PER RUN
3. CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
4. ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
5. LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
6. PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
7. MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
8. EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.

LIGHTING LEGEND

	RECESSED CAN		DOUBLE HEADED MONO POINT
	RECESSED CAN; DIRECTIONAL		MOTION SENSOR
	RECESSED CAN; WET LOCATIONS		PENDANT
	RECESSED CAN; EXTERIOR		UNDER CABINET LED STRIP
	CEILING FAN W/ LIGHT		RECESSED LED LIGHT
	2' LINEAR CLOSET FIXTURE		TABLE LAMP RECEPTACLE
	EXHAUST FAN		FLOOR LAMP RECEPTACLE
	EXHAUST FAN WITH LIGHT		WALL MOUNTED SCONCE
	CEILING MOUNT FLUORESCENT LIGHT		STEP LIGHT
	SURFACE MOUNT FIXTURE		TWO WAY SWITCH
	CHANDELIER		THREE WAY SWITCH
	MONO POINT FIXTURE		TV OUTLET
			WALL GRAZING
			EXTERIOR SCONCE
			FIXTURE LAYOUT GRID



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PROJECT ISSUE DATE:
03.15.21 DRB SUBMITTAL

EVISIONS

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3	04.16.22	REVISED DRB SUBMITTAL

NOVAEZ RESIDENCE

Boulders way, Mountain Village
Telluride, CO 81435, USA

LIGHTING PLANS

SHEET NUMBER

©shift architects

4/17/2022 11:09:41 PM

E1.1

LIGHTING NOTES:

1. FIELD VERIFY ALL LIGHTING LOCATIONS.

2. TYPICAL LIGHTING LOCATION AT STAIRS:
(1 EA) PER LANDING
(2 EA) PER RUN

3. CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DONT OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.

4. ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".

5. LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS

6. PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.

7. MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.

8. EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.

LIGHTING LEGEND

C1

RECESSED CAN

C2

RECESSED CAN; DIRECTIONAL

C3

RECESSED CAN; WET LOCATIONS

EX

RECESSED CAN; EXTERIOR

C

2' LINEAR CLOSET FIXTURE

FN

EXHAUST FAN

FN

EXHAUST FAN WITH LIGHT

F

CEILING MOUNT FLUORESCENT LIGHT

SURFACE MOUNT FIXTURE

CH

CHANDELIER

MONO POINT FIXTURE

DOUBLE HEADED MONO POINT

MS

MOTION SENSOR

P

PENDANT

PD

UNDER CABINET LED STRIP

R

RECESSED LED LIGHT

TL

TABLE LAMP RECEPTACLE

FL

FLOOR LAMP RECEPTACLE

S

WALL MOUNTED SCONCE

ST

STEP LIGHT

S2

TWO WAY SWITCH

S3

THREE WAY SWITCH

TV

TV OUTLET

WG

WALL GRAZING

X

EXTERIOR SCONCE

FIXTURE LAYOUT GRID

SHIFT

ARCHITECTS

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3	04.16.22	REVISED DRB SUBMITTAL



1

LEVEL 3 LIGHTING PLAN

1/4" = 1'-0"

0'

4'

8'

16'

32'

N

NOVAEZ RESIDENCE

Boulders Way, Mountain Village
Telluride, CO 81435, USA

LIGHTING PLANS

SHEET NUMBER

Review comments by TOMV staff forester, Michael Otto

New Single Family Home at Lot 649r-11

[initial architecture and site review lot 649r- 11 boulders way.pdf \(townofmountainvillage.com\)](#)

A wildfire mitigation plan was not submitted. Because there are one or no trees on the site, I would support waiving this requirement.

Diversity of plantings clause was not met. Only aspen plantings are planned.



TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Date: 02/28/2021

Address: Lot 649R-11, 11 Boulders Way
Mountain Village, CO 81435

TFPD approves the proposal with the following conditions:

- 1) The address monument/numbers shall be minimum 4'6" from grade to the bottom of the address numbers. Address numbers shall be 6" in height, reflective coated or outlined with a reflective coating.
- 2) TFPD recommends the installation of a Knox Box for access during emergency situations.



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

The Planning & Development Services Department has provided this referral form to solicit your input on a development proposal that has been submitted to the Town.

Within the first five (5) calendar days of the referral for a Class 1 or 2 application, or ten (10) calendar days for a Class 3, 4 or 5 application, a referral agency may request an extension of time to review a development application for good cause. The Planning Division shall determine if any requested extension is warranted and notify the referral agency and applicant of its decision and the number of days allowed for the extended review time, if any, within three (3) business days of such request.

If a referral agency fails to respond by the date requested on the referral form, its failure to respond shall be interpreted as "no comment" in which case it shall be presumed that such referral agency does not take issue with the development application.

Application Information

Class of Development Application : Class 3

Date Referral Emailed to Dept. or Agency :

February 25, 2022

Class 1 or 2 Application Referral Comment

Deadline: 15 calendar days from date above: n/a

Class 3,4, & 5 Application Referral Comment

Deadline: 21 calendar days from date above (3/18/22)

Planner Name: Amy Ward

Planner Email: award@mtnvillage.org

Planner Phone Number: 970-729-2985

Applicant Name: Kristine Perpar

Applicant Email Address:

kristine@shift-architects.com



DEVELOPMENT REFERRAL FORM

Planning & Development Services
 Planning Division
 455 Mountain Village Blvd. Ste. A
 Mountain Village, CO 81435
 (970) 728-1392

Description of Development Application(s):

Construction of a new single family home on Lot 649R-11, 11 Boulders Way.

Referral Agency Information

Referral Agency	Referral	Email Address
Town Public Works	x	fkjome@mtnvillage.org
Town Plazas and Environmental Services Dept.		ddrew@mtnvillage.org
Town Attorney		pwisor@garfieldhecht.com
Town Forrester	x	motto@mtnvillage.org
Mountain Village Cable	x	slehane@mtnvillage.org
Transportation Department		jloebe@mtnvillage.org
Recreation Department		ccolter@mtnvillage.org
Police Department	x	cbroadly@mtnvillage.org
Telluride Fire Protection District	x	sheidergott@telluridefire.com
San Miguel Power Association	x	jeremy@smpa.com ; terry@smpa.com
Black Hills Gas	x	brien.gardner@blackhillscorp.com paul.ficklin@blackhillscorp.com
Century Link (800-526-3557)	x	Kirby.bryant@centurylink.com
Colorado Geologic Survey (fee required)		Kaberry@mines.edu
San Miguel County		miker@sanmiguelcountyco.gov
Town of Telluride		mhaynes@telluride-co.gov
San Miguel Regional Housing Authority		shirley@smrha.org
Colorado State Forest Service		Jodi.rist@colostate.edu
United States Army Corps of Engineers		Carrie.A.Sheata@usace.army.mil



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments
Lot 649R-11, 11 Boulders
Way:

Amy,
The utility plans work for me.
No issues.
Finn



Agenda Item #8
PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Town Council

FROM: Amy Ward, Senior Planner

FOR: Design Review Board Public Hearing; May 5, 2022

DATE: April 21, 2022

RE: Staff Memo – Final Architecture Review (FAR) Lot 344R, 111 Rocky Road

PROJECT GEOGRAPHY

Legal Description: LOT 344R, TELLURIDE MOUNTAIN VILLAGE, FILING 26, ACCORDING TO THE INSUBSTANTIAL AMENDMENT TO THE FINAL PLAT OF LOTS 341, 342, 344, 350, 354, AND TRACTS 342/344 AND 350 RECORDED SEPTEMBER 13, 1996 IN PLAT BOOK 1 AT PAGE 2115, COUNTY OF SAN MIGUEL, STATE OF COLORADO

Address: 111 Rocky Road
Applicant/Agent: David Baker
Owner: Melanie & Parker Duffey
Zoning: Single Family
Existing Use: Vacant
Proposed Use: Single-Family
Lot Size: 1.75 acres
Adjacent Land Uses:

- **North:** Single-Family
- **South:** Single-Family
- **East:** Single-Family
- **West:** Single-family



ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Public Comment

Case Summary:

David Baker of Tippet Sease Baker Architecture is Requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) application for a new single-family home located on Lot 344R, 111 Rocky Road. The lot is approximately 1.75 acres and is zoned Single-family. The overall square footage of the home is approximately 6,000 s.f. with 4,506 livable square feet and provides 2 interior parking spaces within the proposed garage and 2 exterior spaces (one underneath the carport).

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	33' 3"
Maximum Avg. Building Height	30' (shed) Maximum	26' 3"
Maximum Lot Coverage	30% (22,476 s.f.)	14.8% (11,127 s.f.)
General Easement Setbacks	No encroachment	Retaining walls and grading
Roof Pitch		
Primary		12:12
Secondary		flat
Exterior Material		
Stone	35% minimum	45%
Windows/Doors	40% maximum	20%
Parking	2 interior/2 exterior	2/2

*The average height was not re-calculated to reflect a change in grade on the SW corner of the building, the change was not significant and would not put the average height over allowable. Max height does not change.

Design Variation:

- 1) Road and Driveway standards – retaining walls over 5'
- 2) Sign regulations – address monument exceeds allowable height.

DRB Specific Approval:

- 1) GE Encroachments – Retaining wall and grading
- 2) Accessory building for trash

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated February 23, 2022

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Based on feedback from the DRB at initial review regarding specific roof heights, the applicant revised their grading plan to show a retaining wall that pulls grade away from the SW corner of the carriage house. This change slightly alters one or two data points used to determine average building height, however since the building height average is almost 10' lower than allowable, this shouldn't be of concern.

17.3.14: General Easement Setbacks

Lot 344R is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not

listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway as shown currently takes access from the Access tract off of Rocky Rd. and crosses the General Easement to the homesite.*
- *Utilities: Utilities are shown connecting to the west of the driveway within the GE and then running up the driveway to the home.*
- *The address monument is on the edge of the GE to the NE of the driveway.*

The proposal also includes some GE encroachments requiring specific DRB approval:

- *There are retaining walls associated with the driveway in the eastern and southern GE areas.*
- *There is grading in the eastern, southern and western GE.*

Staff: The site of Lot 344R is encumbered by two areas of wetland as well as steep slopes. Looking at the topography of the site, the applicant is trying to work with the grade and has to pass between the two wetland areas to get to the home site. The proposed grading is mostly for the creation of the driveway and its siting given the above circumstances. There is a small area of grading to the west of the home that allows for positive drainage away from the home. Staff finds given the unique conditions on the site that these GE encroachments are acceptable. If DRB finds them acceptable, then a specific approval should be granted.

Regardless of the encroachment, any development within the General Easement will require the owner and the Town to enter into a GE Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: Criteria met.

17.5.5: Building Siting Design

Staff: Criteria met.

17.5.6: Building Design

Staff: Criteria met.

17.5.7: Grading and Drainage Design

Staff: The grading and drainage plan essentially allows for the creation of the driveway. The west side of the home has some grading as well to create drainage away from the building. No slopes are proposed over 2:1, there are some extensive retaining structures along the drive with the longest stepped wall along the south side of the driveway over the allowable height of 5' at 6' and 8'. This will require a design variation to the road and driveway standards.

At Initial Review there were some concerns regarding the carriage house roof being too close to grade. The civil plans have been revised to show an extension of the retaining wall along the driveway so that it now wraps around the SW corner of the building, pulling grade away from that corner. This does increase the amount of encroachment within the GE.

17.5.8: Parking Regulations

Staff: The applicant has amended their plans to show two interior parking spaces within the garage and 2 exterior parking spaces – one is indicated underneath the carport. They are meeting the parking requirements.

17.5.9: Landscaping Regulations

The applicant has provided a landscaping plan that includes a variety of tree species. The bulk of the planting is to the south of the driveway as it nears the homesite, which should help screen from the neighboring property. There are some junipers proposed near the carriage house that are of concern in regard to fire safety and should be removed from this area. The plan should also indicate the required Town native seed mix. No irrigation is presented on the plans, this needs to be understood as much of the new plantings are in the GE, so any associated irrigation will require an encroachment agreement. A revised landscape plan should be provided for staff review prior to building permit.

17.5.11: Utilities

Staff: Sewer and electric run along the SE corner of one of the wetland areas. Although the construction mitigation plan shows a 15' buffer of non-disturbed area beyond the wetland, the utility plan seems to put those two utilities in this area. Staff would like to see a revised utility plan maintaining this 15' buffer.

17.5.12: Lighting Regulations

Staff: A lighting plan was provided, however at the time of this review staff had not yet received the required photometric study. The applicant has indicated that this will be provided prior to the hearing. The lighting plan is fairly simple, with three proposed fixtures. There is an LED downlight (fixture X), a wall mounted downlight (fixture Y) and LED strip light (fixture Z). Both fixture X and Y exceed the maximum allowable lumens of 850. The plans indicate that fixture X will be capped at 75%, the applicant needs to indicate the same for fixture Y. The LED strip lighting is used for the address monument and is recessed in a way that creates a downlight. There are no walls indicated in the location that wall mounted fixtures on the terrace and screened porch are show, staff believes that these fixtures will be mounted within the structure of the roof assembly, however would like some clarification from the applicant on this.

17.5.13: Sign Regulations

Staff: The address marker is to the east of the driveway, just outside of the GE. It is incorporated into a structure that includes a trash storage area. Accessory buildings for trash storage are allowable as a specific approval by the DRB for properties where the driveway exceeds 100'. The materials of the monument repeat those of the home. The dimensions are not meeting the code as proposed, the monument is not supposed to exceed 6' in height, however given its multi-use capacity, DRB seemed comfortable with a slightly taller monument at Initial Review. The numerals have been shown as reflective in case of power outage and a compliant light fixture has been specified. A design variation would be required for the excess monument height.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant has provided a fire mitigation plan, which clearly defines Zone 1, 2 and 3 fire mitigation areas. It also identifies specific trees within Zone 2 to be kept. Staff has some concerns regarding crown to crown spacing in this area and would like the plan to be reviewed either through plan set or on site prior to building permit.

Wetlands: A recent wetland delineation was done By Chris Hazen, in August of 2021. There are two areas of wetland on the property. See construction mitigation below.

17.6.6: Roads and Driveway Standards

Staff: The driveway is shown at a width of 12' which does not meet the requirement for a drive that exceeds 150' in length, which is required to have a 16' paved surface. The fire marshal has indicated that he would approve a "12' hard surface with the shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface." The applicant has revised the drawings to show 12' drive lane with (2) 2' gravel shoulders for the lower half of the drive and a 12' drive with (2) 3' v-pans for the upper portion of the drive. It is relatively steep, with two sections that approach a 12% grade. Transitional sections of this grade are allowed as long as they approved by the fire department. The entry from Rocky Rd. and the entry to the garage are meeting grade requirements. There are retaining walls along the driveway that exceed the 5' allowable per road and driveway standards, if approved as presented then a design variation to the road and driveway standards should be granted.

17.6.8: Solid Fuel Burning Device Regulations

Staff: Criteria met.

Chapter 17.7: BUILDING REGULATIONS

17.7.12 Snow Melt

Staff: Criteria met.

17.7.19: Construction Mitigation

Staff: The applicant has provided a construction mitigation plan. It does indicate the required trash, recycling, and toilets. Six parking spaces are proposed, these will not be available until the driveway is completed, so the applicant will need to work with the Town to obtain the appropriate permits for roadside parking until completion of the drive. The applicant has not identified an area for laydown/storage or shown a tree protection detail. The construction fencing provides a 15' buffer from the wetland areas however areas of silt fencing are not included. Staff would like the applicant to identify areas where silt fencing seems necessary to ensure stormwater runoff is prevented from entering the wetlands areas. A revised CMP should be provided to staff for review prior to building permit.

Staff Recommendation: Staff recommends the DRB approve the Final Architectural Review for Lot 344R, 111 Rocky Rd., based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architectural Review for a new single-family home located at Lot 344R, based on the evidence provided within the Staff Report of record dated April 21, 2022, with the following design variations and specific approvals:

Design Variations:

- 1) Road and Driveway standards – retaining walls over 5'
- 2) Sign regulations – address monument exceeds allowable height.

DRB Specific Approval:

- 1) GE Encroachments – Retaining wall and grading
- 2) Accessory building for trash

And, with the following conditions:

- 1) Prior to building permit, the applicant shall provide revised landscaping plans that address the comments of this memo for staff review.
- 2) Prior to building permit, the fire mitigation plan will be additionally reviewed by Town staff and revisions will be made if deemed necessary.
- 3) Prior to building permit, the applicant will revise the utility plan to leave a 15' buffer around all wetland areas.
- 4) Prior to building permit the construction mitigation plan will be revised per the comments of this memo and provided to staff for review.
- 5) Prior to building permit, the applicant shall revise the lighting plan to indicate that fixtures X and Y will be placed on a capped dimmer system to meet all CDC requirements for lumen output.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 7) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 8) Prior to Certificate of Occupancy the applicant will enter into a revocable Encroachment Agreement with the Town for any approved encroachments in the general easement. This includes any encroachments that already exist on the property as well as any new encroachments.
- 9) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 10) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur

at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw

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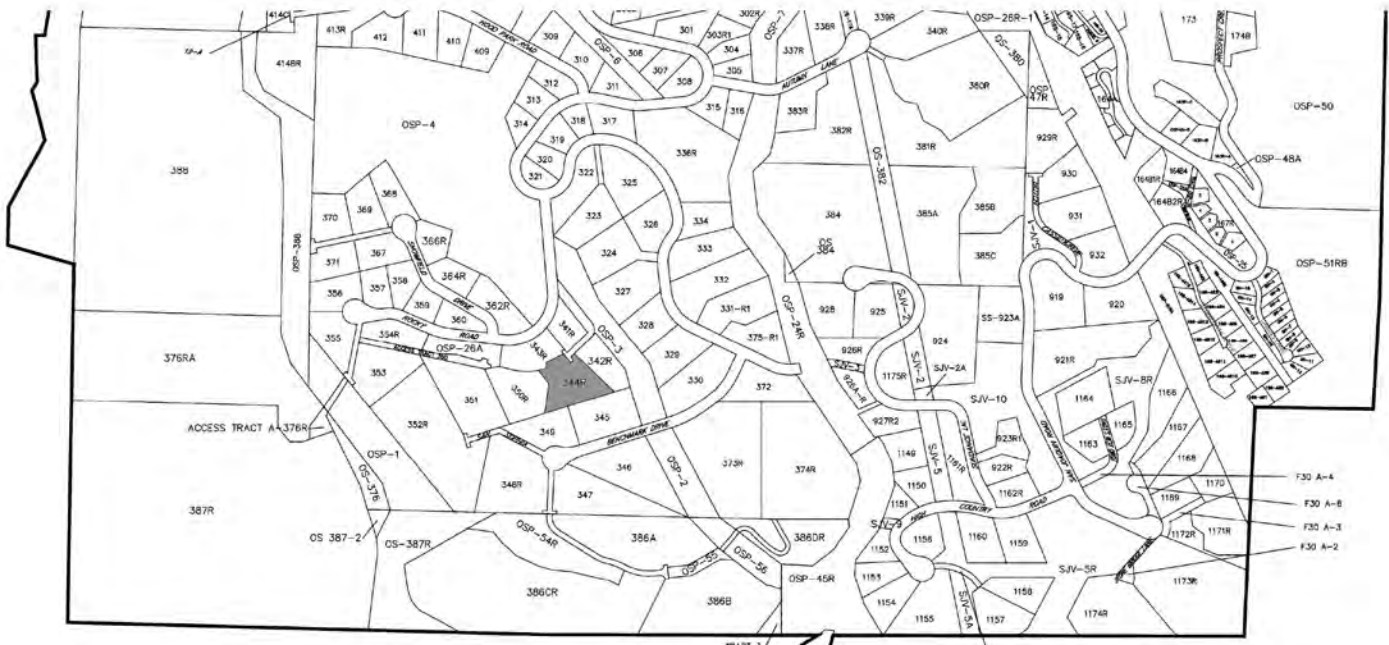
Trautner Geotech

Jonathan Butler
95 North Henry St.
Cortez, Colorado 81321
jbutler@trautnergeotech.com



a new residence
for
MELANIE & PARKER DUFFEY
Lot 334R, 111 Rocky Road Mountain Village
Telluride, Colorado

VICINITY MAP:



Drawing Index:

- 00 Existing Conditions Plan
- C1 Engineering Notes
- C2.1 Site Grading with Driveway Profile - Trees not Displayed
- C2.2 Site Grading with Driveway Profile - Trees Displayed
- C3 Utilities
- CMP1 Construction Mitigation Plan
- A0 Site Plan
- A1 Basement Floor Plan
- A2 First Floor Plan
- A3 Second Floor Plan
- A4 Roof Plan
- A4.1 Carriage House Floor Plans, Roof Plan, Elevations & Building Section
- A5 Exterior Elevations
- A6 Exterior Elevations
- A7 Exterior Elevation & Building Section
- A8 Building Sections
- A15 Window and Door Details
- A13.1 Window and Door Details
- A14 Schedules and Door Details
- L5 Landscape Planting Plan
- FM1 Fire Mitigation Plan
- E1 Outdoor Lighting Plan - Basement
- E2 Outdoor Lighting Plan - First Floor
- E4 Outdoor Lighting Plan - Carriage House



This Existing Conditions Plan Lot 344R, Town of Mountain Village, was field surveyed in July and August of 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37970

Date

NOTES:

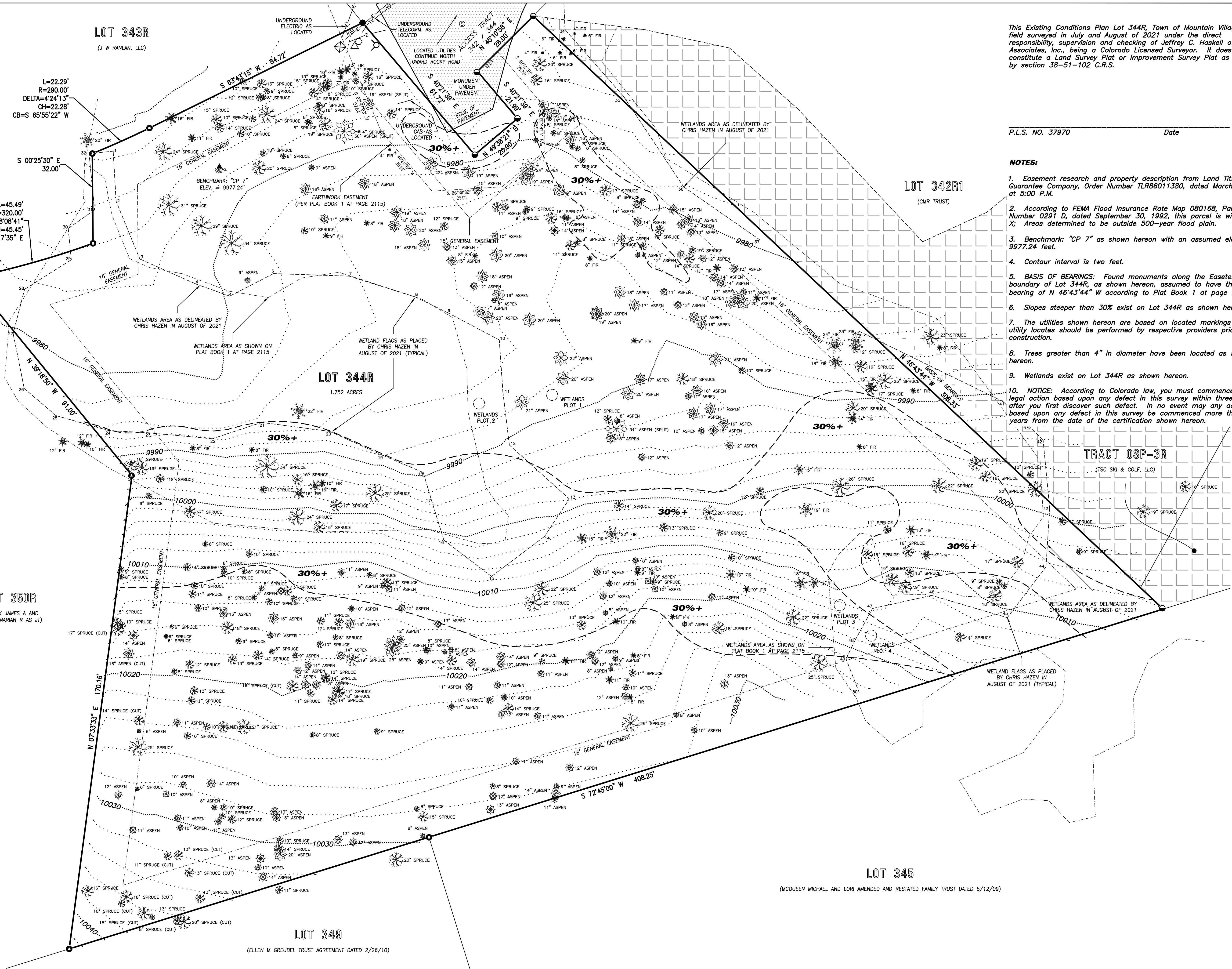
1. Easement research and property description from Land Title Guarantee Company, Order Number TLR86011380, dated March 10, 2021 at 5:00 P.M.
2. According to FEMA Flood Insurance Rate Map 080168, Panel Number 0291 D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
3. Benchmark: "CP 7" as shown hereon with an assumed elevation of 9977.24 feet.
4. Contour interval is two feet.
5. BASIS OF BEARINGS: Found monuments along the Eastern boundary of Lot 344R, as shown hereon, assumed to have the record bearing of N 46°43'44" W according to Plat Book 1 at page 2115.
6. Slopes steeper than 30% exist on Lot 344R as shown hereon.
7. The utilities shown hereon are based on located markings and utility locates should be performed by respective providers prior to construction.
8. Trees greater than 4" in diameter have been located as shown hereon.
9. Wetlands exist on Lot 344R as shown hereon.
10. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

SCALE: 1"=16'
0 4 8 12 16 32

LEGEND

- TRANSFORMER
- TELEPHONE PEDESTAL
- CABLE-TV PEDESTAL
- FIRE HYDRANT
- SEWER MANHOLE
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24954
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 28652
- FOUND 1-1/2" ALUMINUM CAP ON 18" x 5/8" REBAR, L.S. 37970

30%+ SLOPES OF 30% OR GREATER



Existing Conditions Plan
Lot 344R, Town of Mountain Village, San Miguel County, Colorado

Project Mgr:	JH	Rev.	description	date	by
Technician:	FO				
Checked by:	JZ				
Start date:	07 / 2021				



970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Drawing path: dwg\99128 Topo 08-21.dwg Sheet1 of 1 Project #: 99128

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR’S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR’S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF’S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% STANDARD PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) STANDARD PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

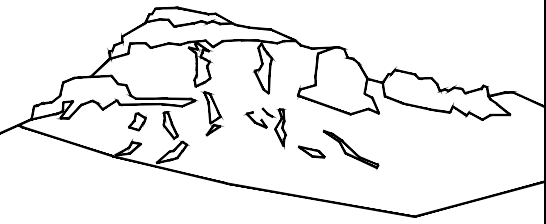
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB Submittal	2021-11-12
DRB Submittal	2022-04-20

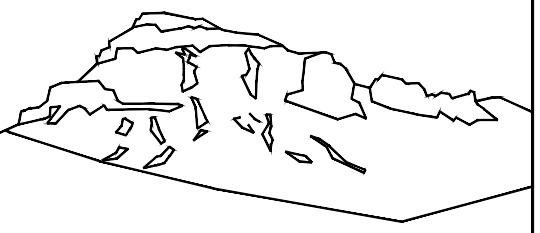
111 Rocky Road
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre
Engineering, LLC

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970-729-0683

SUBMISSIONS:

DRB Submittal 2021-11-12
DRB Submittal 2022-04-20

111 Rocky Road
Mtn. Village, CO

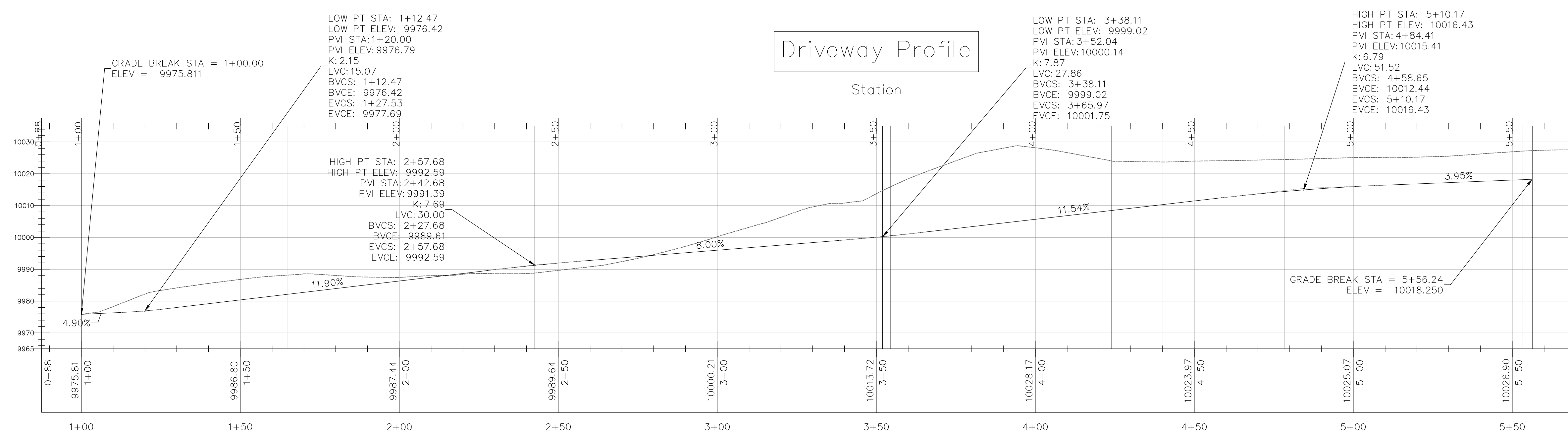
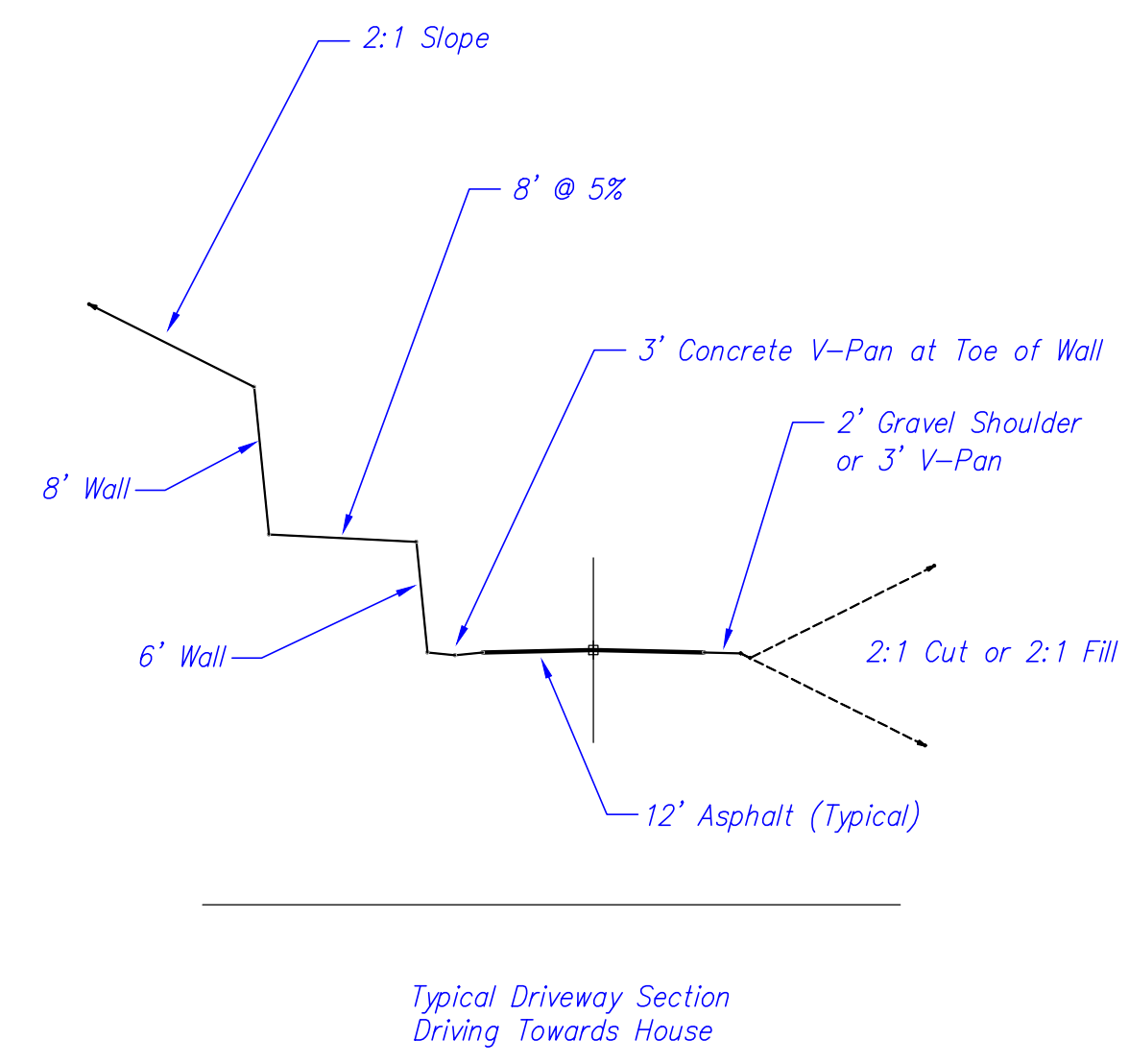
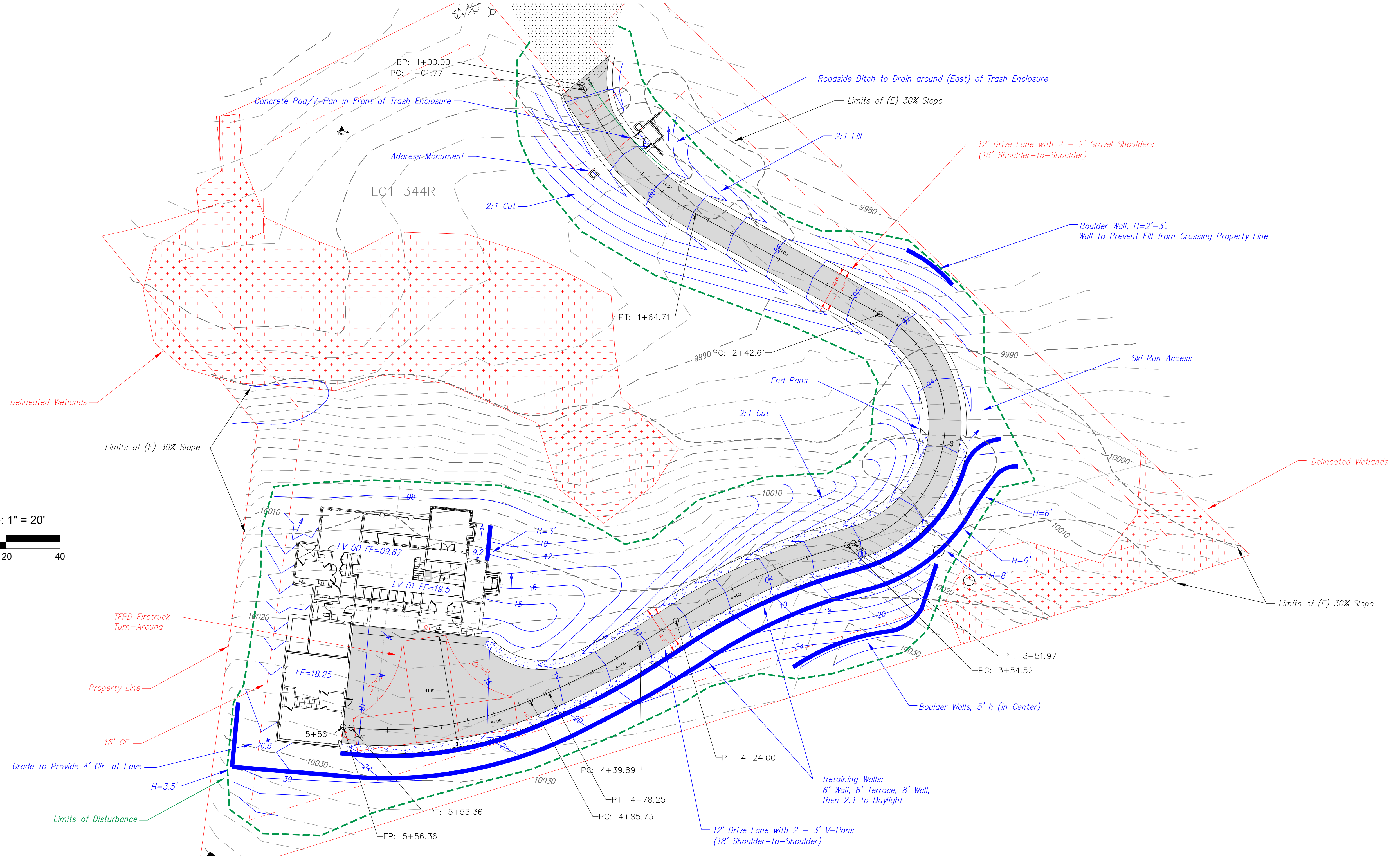


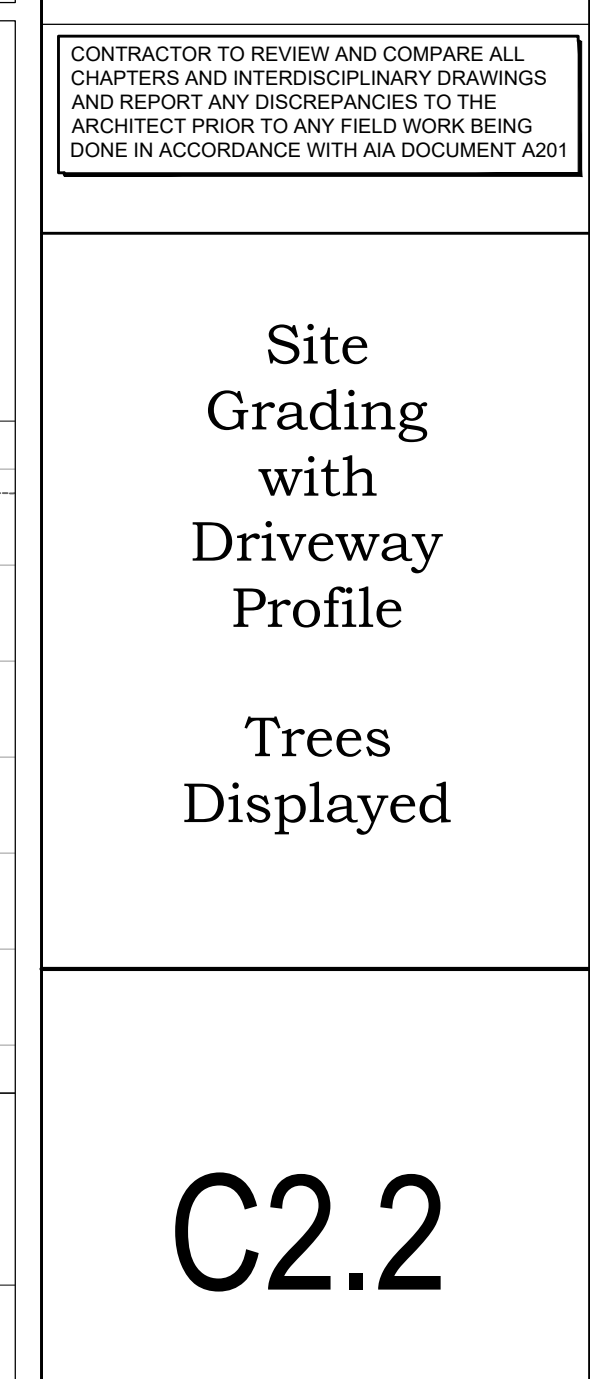
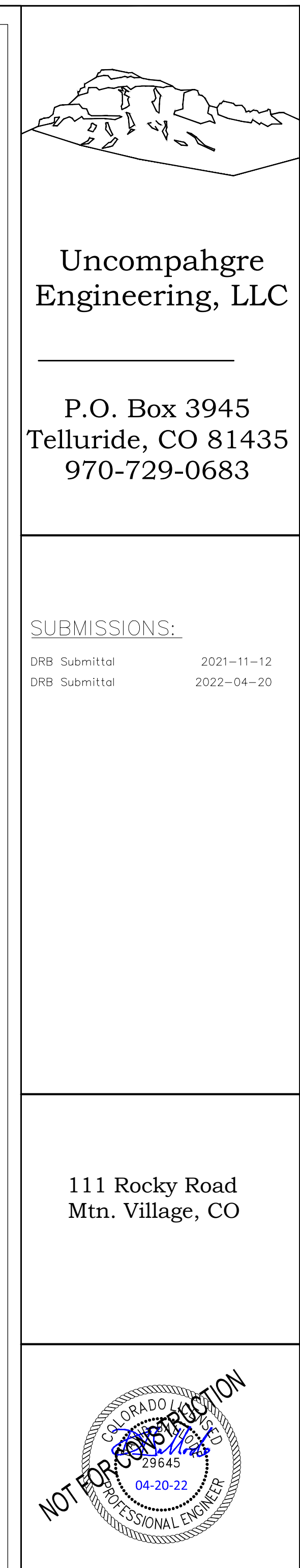
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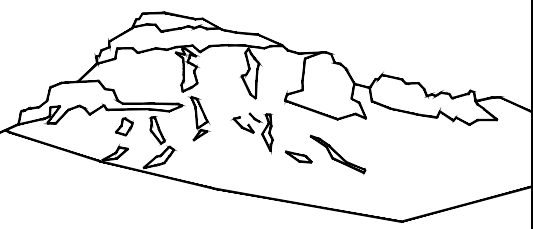
Site
Grading
with
Driveway
Profile

Trees
not
Displayed

C2.1







Uncompahgre
Engineering, LLC

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SUBMISSIONS:		
DRB Submittal	2021-11-12	
DRB Submittal	2022-04-20	

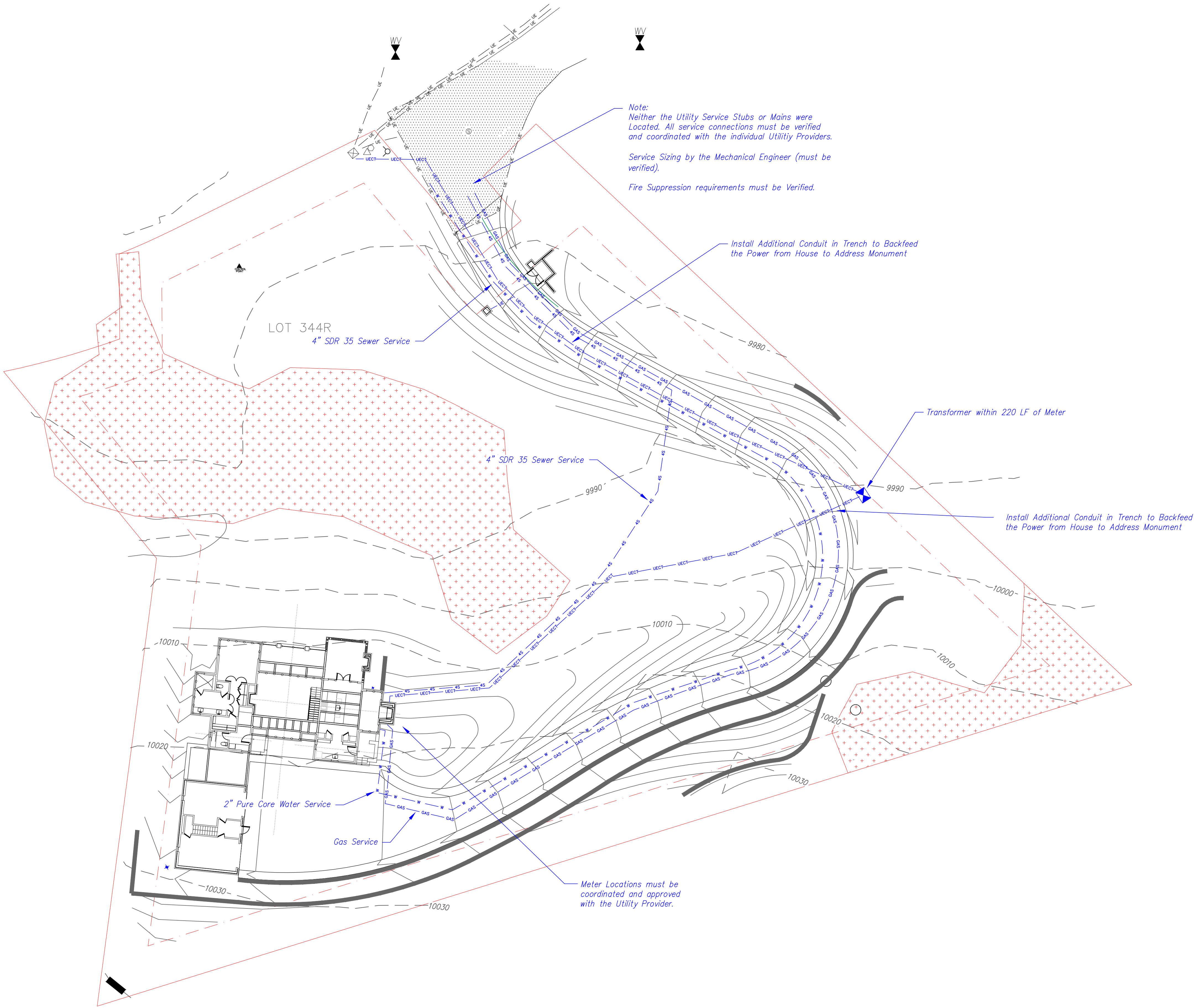
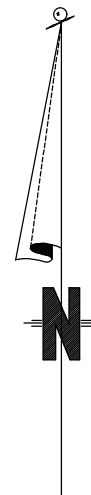
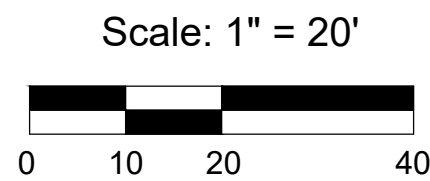
111 Rocky Road
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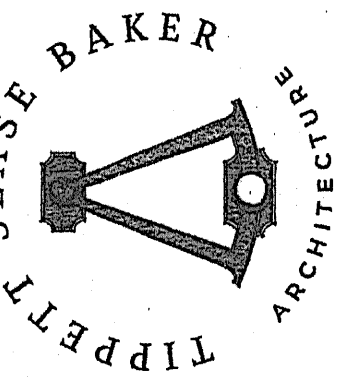


CONTRACTOR TO REVIEW AND COMPARE ALL
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AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3





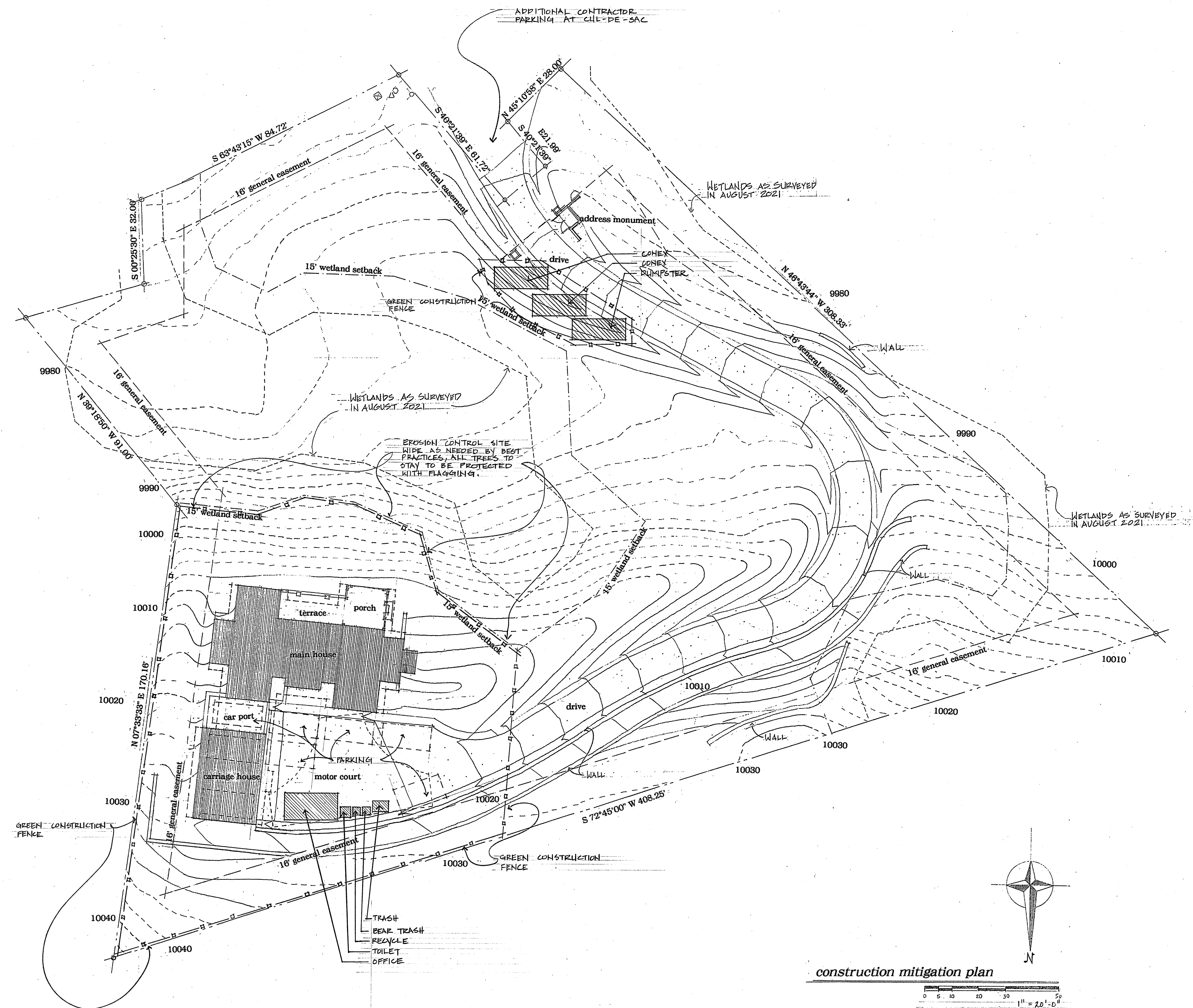
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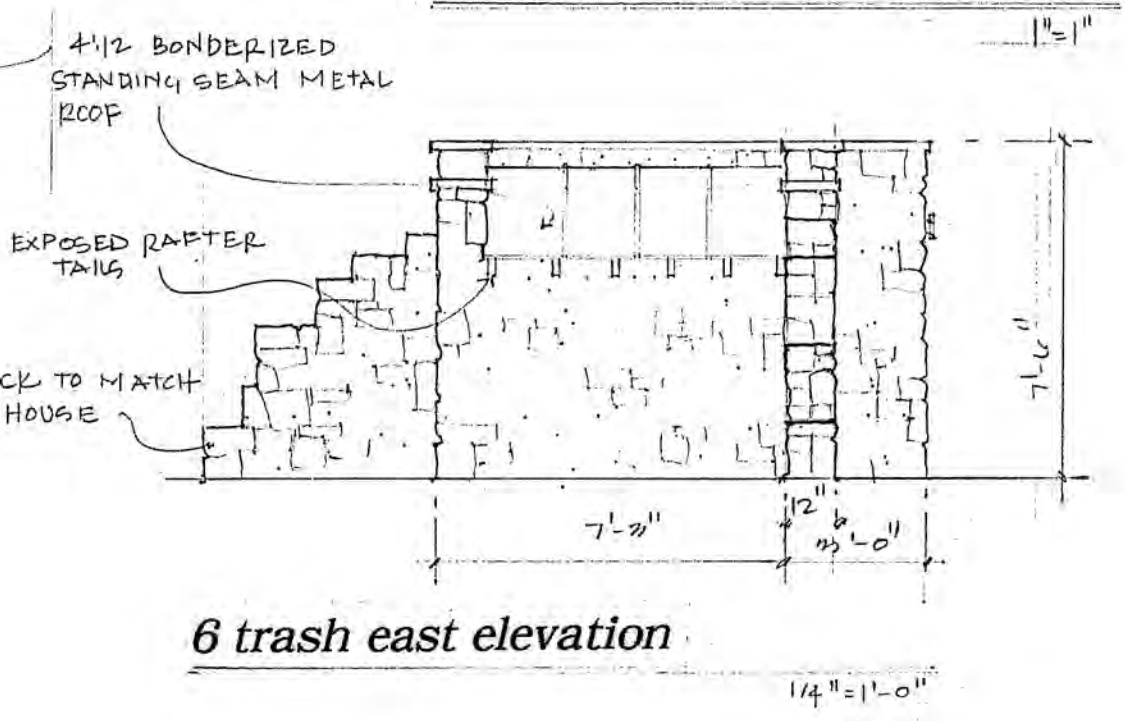
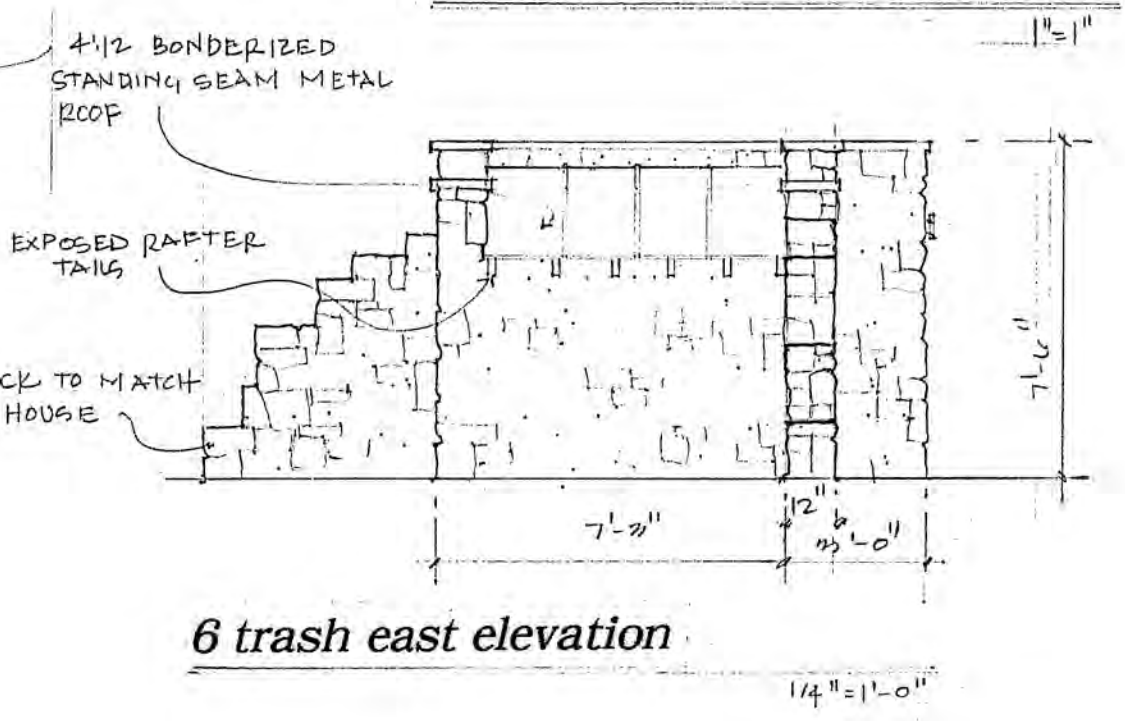
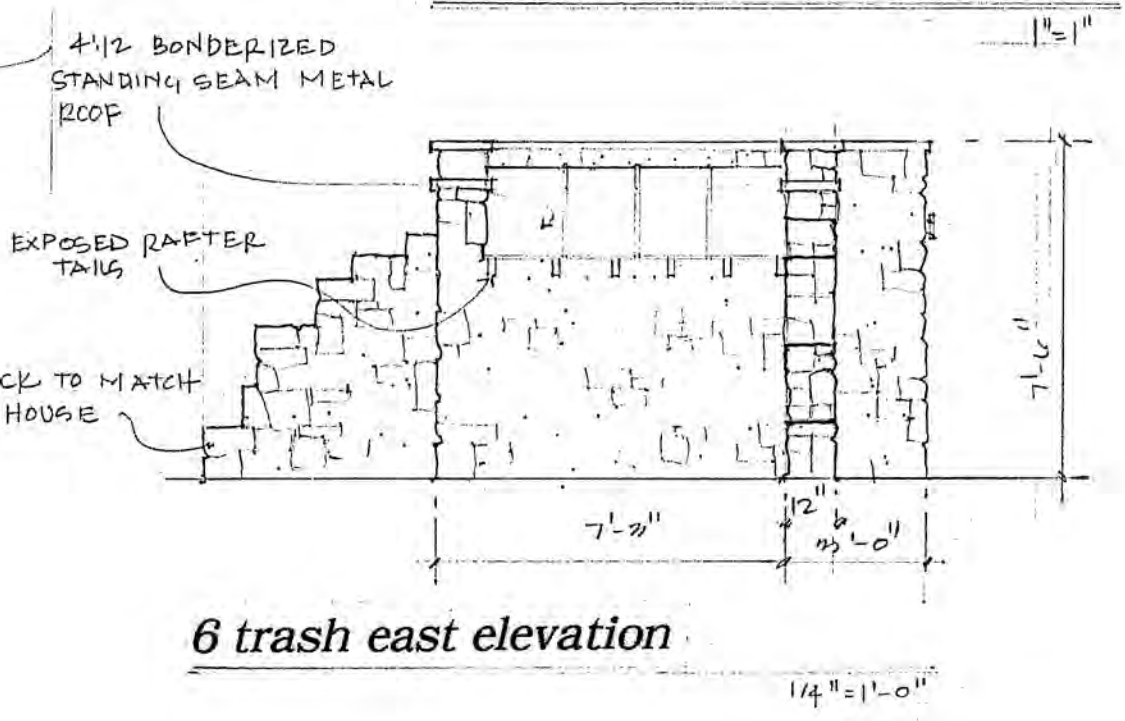
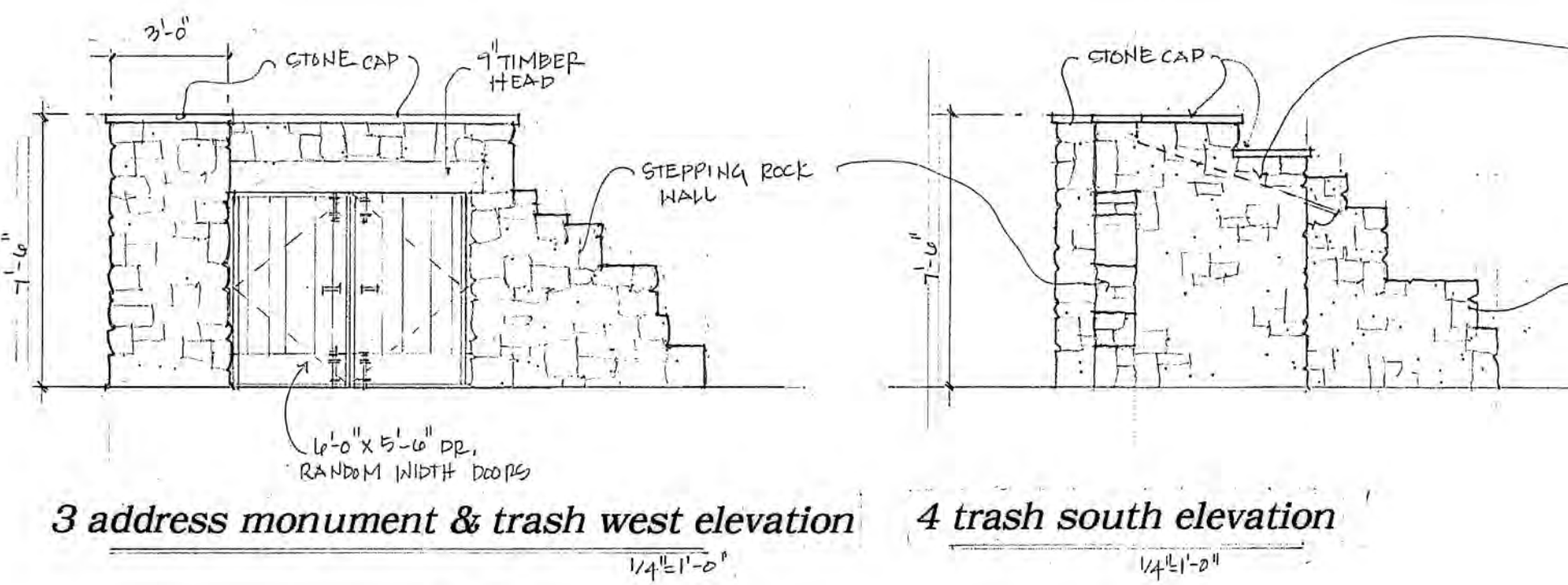
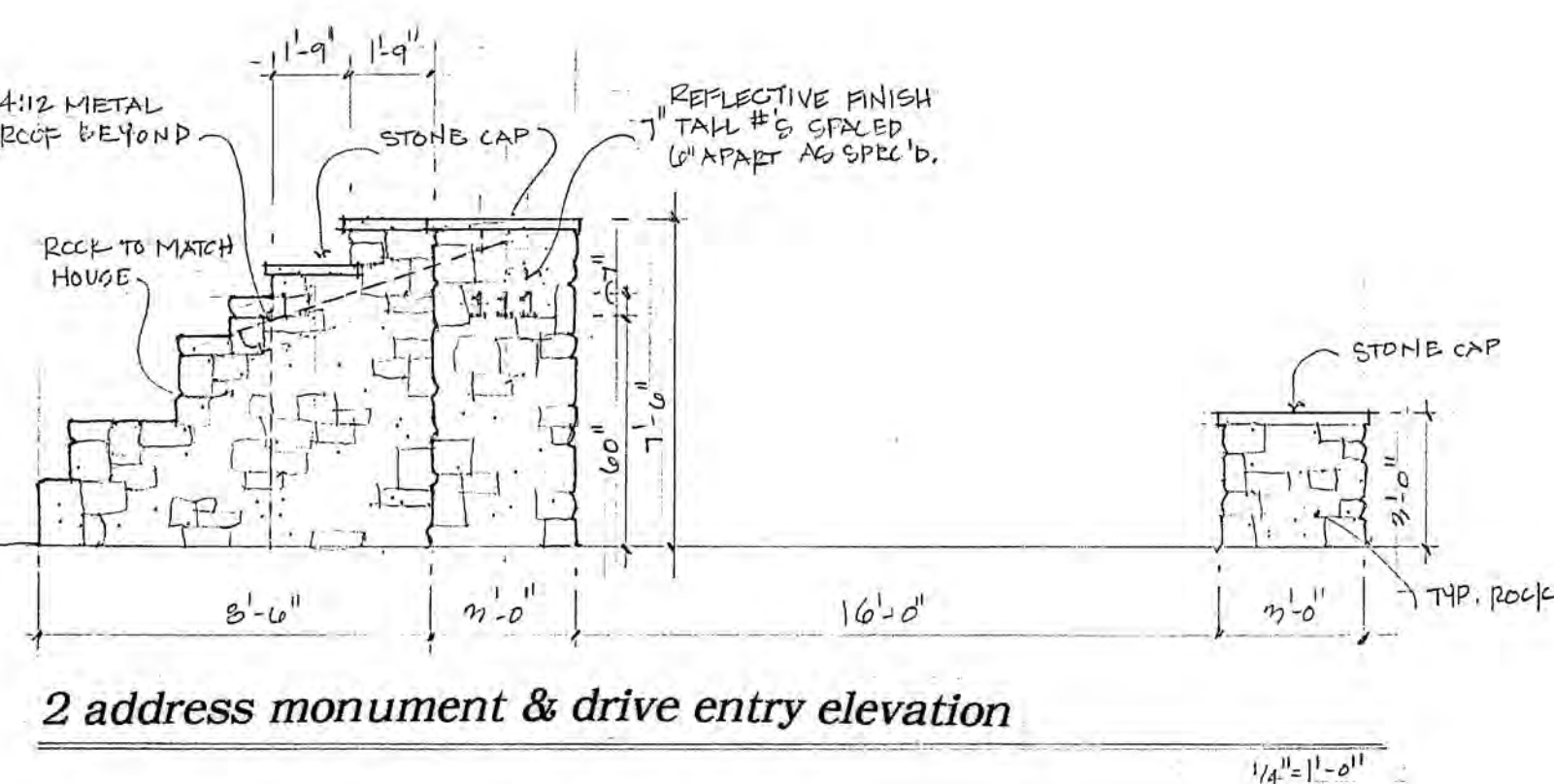
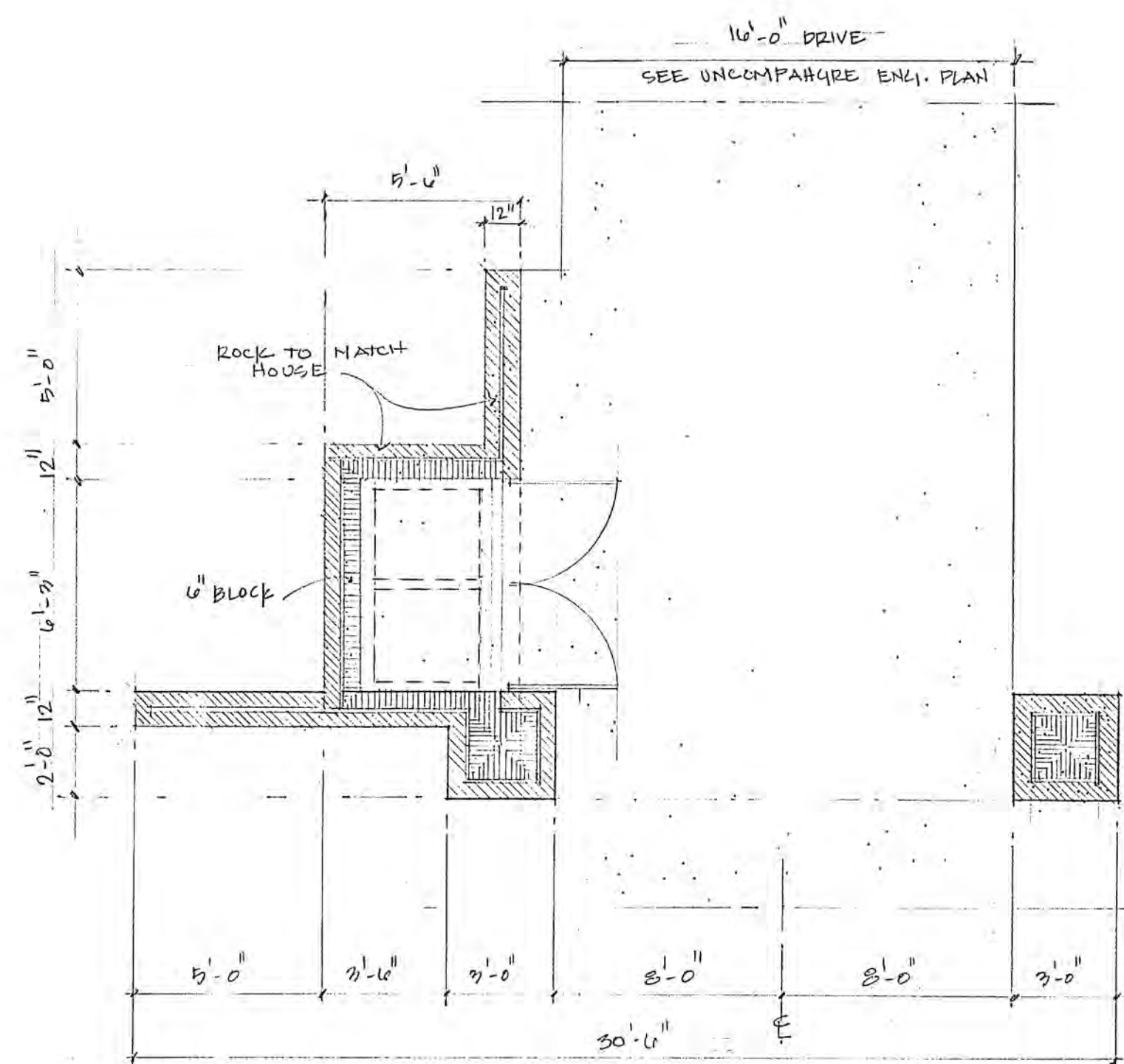
Box 344R
Mountain Village, CO

DATE: April 20, 2022

FILE:

EET No: **CMP1**





GENERAL NOTES

CONTRACT DOCUMENTS

Contract documents consist of agreements, general conditions, specifications, and drawings, which are cooperative and continuous. Work indicated or reasonably implied in any one of the documents shall be supplied as though fully covered in all. Any discrepancies between the parts shall be reported to the architect prior to commencement of work.

These drawings are part of the contract documents for this project. These drawings are the graphic illustration of the work to be accomplished.

CODE COMPLIANCE

All work, materials, and assemblies shall comply with applicable state and local codes, ordinances, and regulations. Also to verify and comply with all Town of Mountain Village adopted codes and ordinances: 2018 IRC, 2018 IRC, 2018 IFGC, 2018 IPC, 2018 IMC, 2018 IECC, 2018 PMC, 2018 IFC, 2020 NEC

COORDINATION

The contractor shall carefully study and compare the documents, verify the actual conditions, and report and discrepancies, errors, or omissions to the architect in a timely manner. The architect shall clarify and provide reasonable additional information required for successful execution. The contractor shall verify and coordinate all openings through floors, ceilings and walls with all structural, architectural, electrical, mechanical and plumbing, and landscape drawings.

REGULATORY COMPLIANCE

The contractor shall ensure that the work and construction administration process comply with all applicable governmental and private regulations, including but not limited to the Town of Telluride Land Use Code (LUC), Design Guidelines, Historic and Architectural Review Commission (HARC) conditions, Certificates of Appropriateness (COP) and Impact Statements, The Town of Mountain Village Community Development Code (CDC) and Design Review Board (DRB) conditions; San Miguel County Building regulations; and all covenants, conditions & restrictions, declarations, architectural guidelines and rules and regulations established by any private owners associations that govern the project site.

INSPECTION

All inspections are to be requested online through Community Core Contractor Connect.

CODE SUMMARY

Zoning.....Single Family Residential
Building Code.....IRC-2018
Description.....2.5 story
Occupancy Classification.....IRC 142
Automatic Sprinkler System NFPA 13D.....Sprinkled greater than 3,600 square feet

LOT SUMMARY

LOT COVERAGE
Lot Size.....1.72 acres
Maximum Lot Coverage.....22476.98 square feet
Proposed Lot Coverage.....11127.5 square feet

BUILDING HEIGHT

Maximum Allowable Building Height.....40'-0"
Maximum Building Height.....33'-3"
Maximum Allowable Average Building Height.....30'-0"
Maximum Average Building Height.....26'-3"
Average Building Height.....24'-6"

EXTERIOR MATERIALS

Minimum Stone Usage.....35%
Stone Usage.....45%
Maximum Window Area.....40%
Window Area.....20%

REQUIRED PARKING

Enclosed.....2
Surface.....2

SNOW MELT AREA

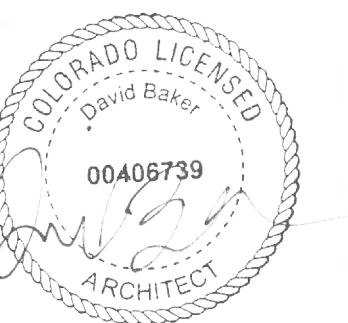
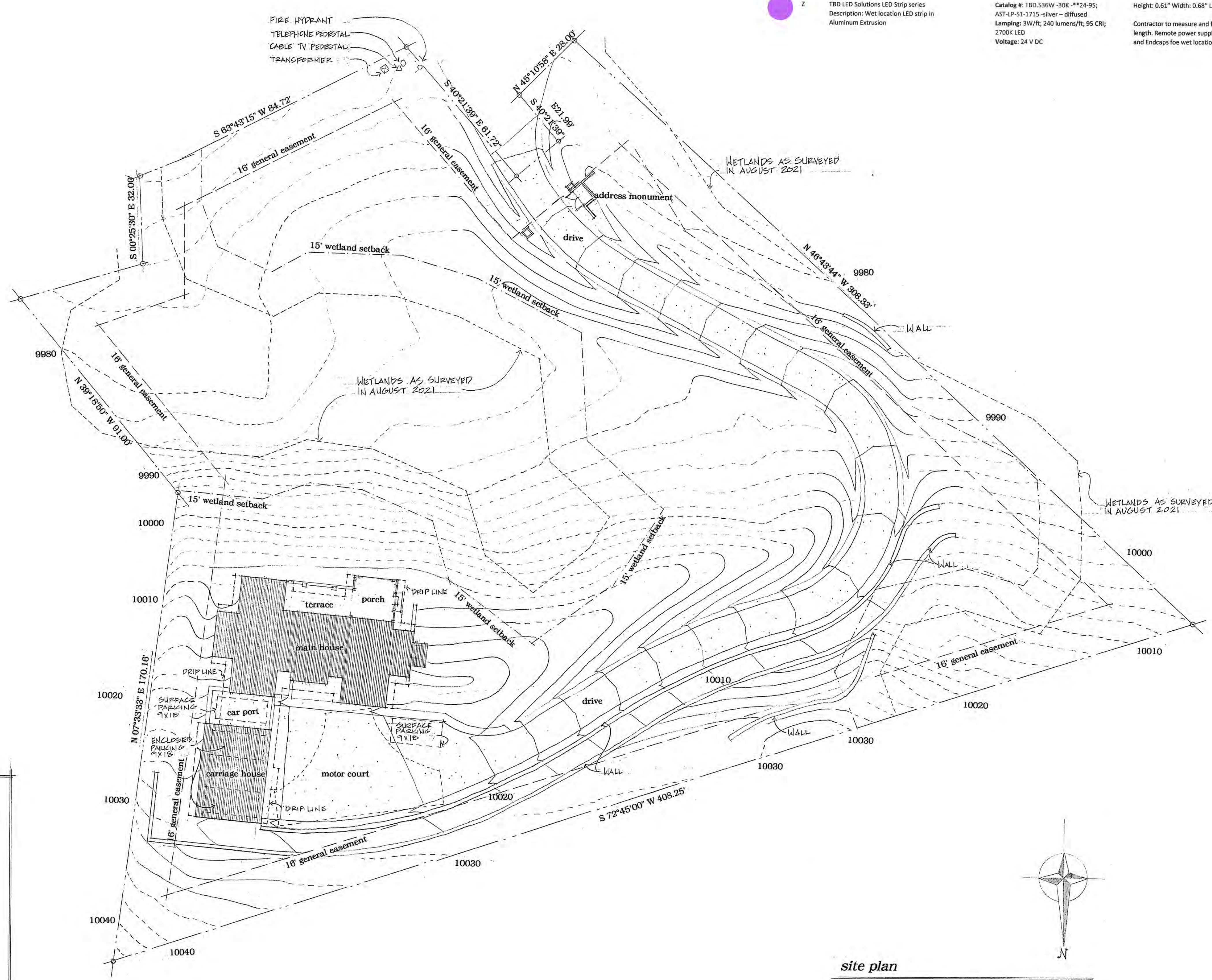
Allowed.....1000 square feet
Proposed.....963 square feet

FLOOR AREA CALCULATIONS

NET:
Basement - 2039 sq. ft.
First Floor - 1909 sq. ft.
Second Floor - 676 sq. ft.
Carriage House - 619 sq. ft.
Garage/Porte cochere - 1012 sq. ft.
Porch/Terrace - 1452 sq. ft.
Total - 7707 sq. ft.

GROSS:
Basement - 2000 sq. ft.
First Floor - 1722 sq. ft.
Second Floor - 676 sq. ft.
Carriage House - 597 sq. ft.
Porch/Terrace - 1452 sq. ft.
Total - 6747 sq. ft.

LIVEABLE:
Basement - 1633 sq. ft.
First Floor - 1683 sq. ft.
Second Floor - 647 sq. ft.
Carriage House - 543 sq. ft.
Total - 4506 sq. ft.



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ARCHITECTURE

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PROJECT:

a new residence
for
Melanie &
Parker Duffey

Lot 344R
Mountain Village, CO

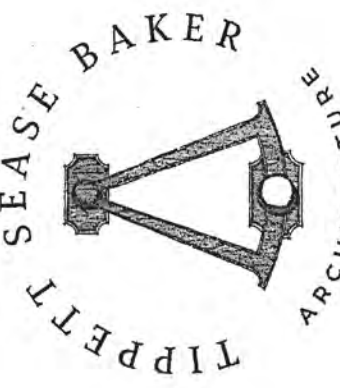
DATE: November 3, 2021

April 20, 2022

TITLE: site plan

SHEET No:

A0



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PROJECT:

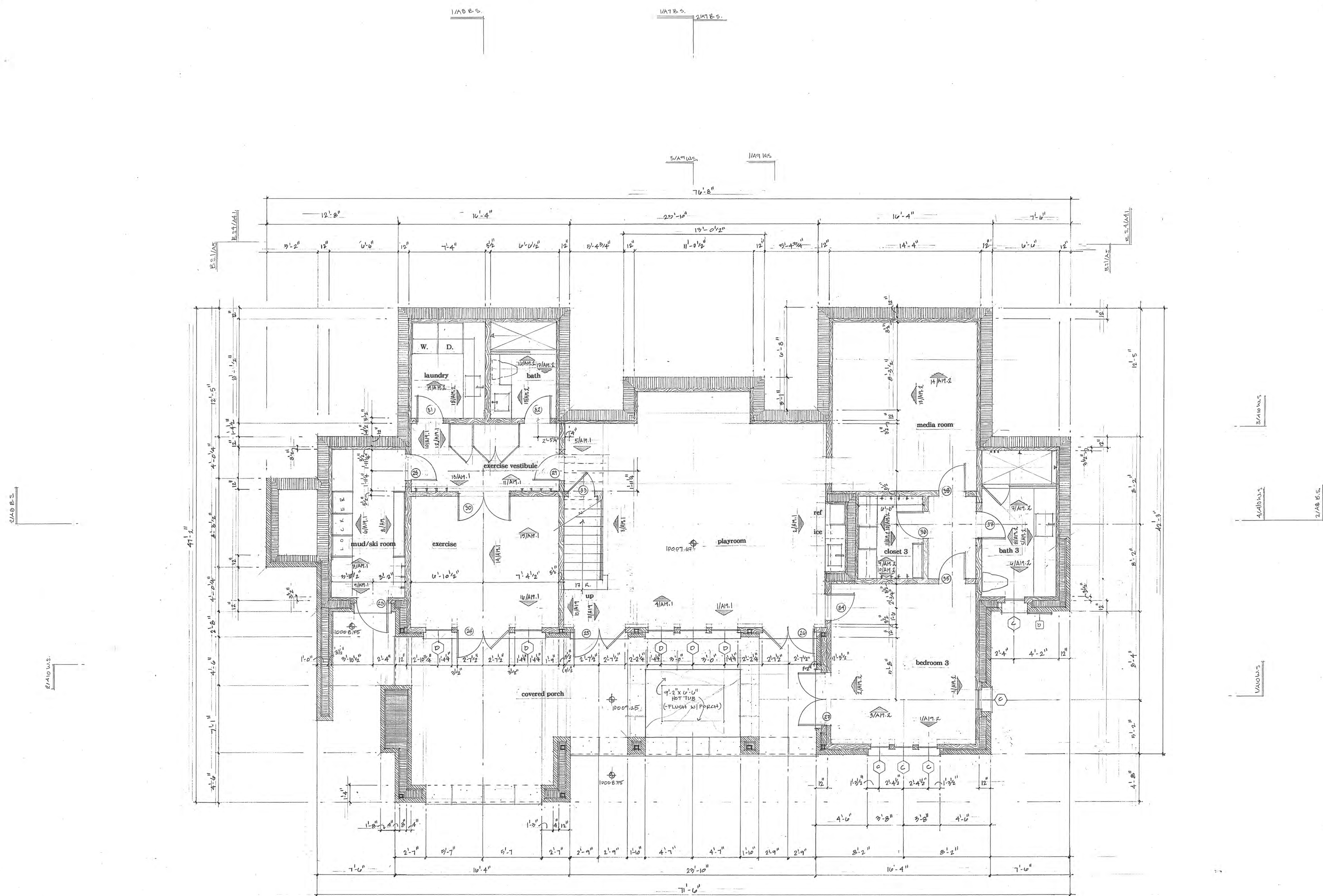
a new residence
for
Melanie &
Parker Duffey

Lot 344R
Mountain Village, CO

DATE: November 3, 2021
April 20, 2022

TITLE: basement floor plan

SHEET No:
A1



Note:
Section R 101.4.1, Appendages and Projections.
Unenclosed accessory structures attached to buildings with inhabitable spaces and projections, such as decks, shall be protected by one of the following methods:
Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials, as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) - Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.

Note:
1004.3 Work clearance.
Clearance shall be maintained around boilers, generators, heaters, tanks and related equipment and appliances so as to permit inspection, servicing, repair, replacement and visibility of all gauges. Where boilers are installed or replaced, clearance shall be provided to allow access for inspection, maintenance, and repair. Passageways around all sides of boilers shall have an unobstructed width of not less than 18 inches (457 mm), unless otherwise approved.

basement floor plan

1/4" = 1'-0"



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PROJECT:

a new residence
for
Melanie &
Parker Duffey

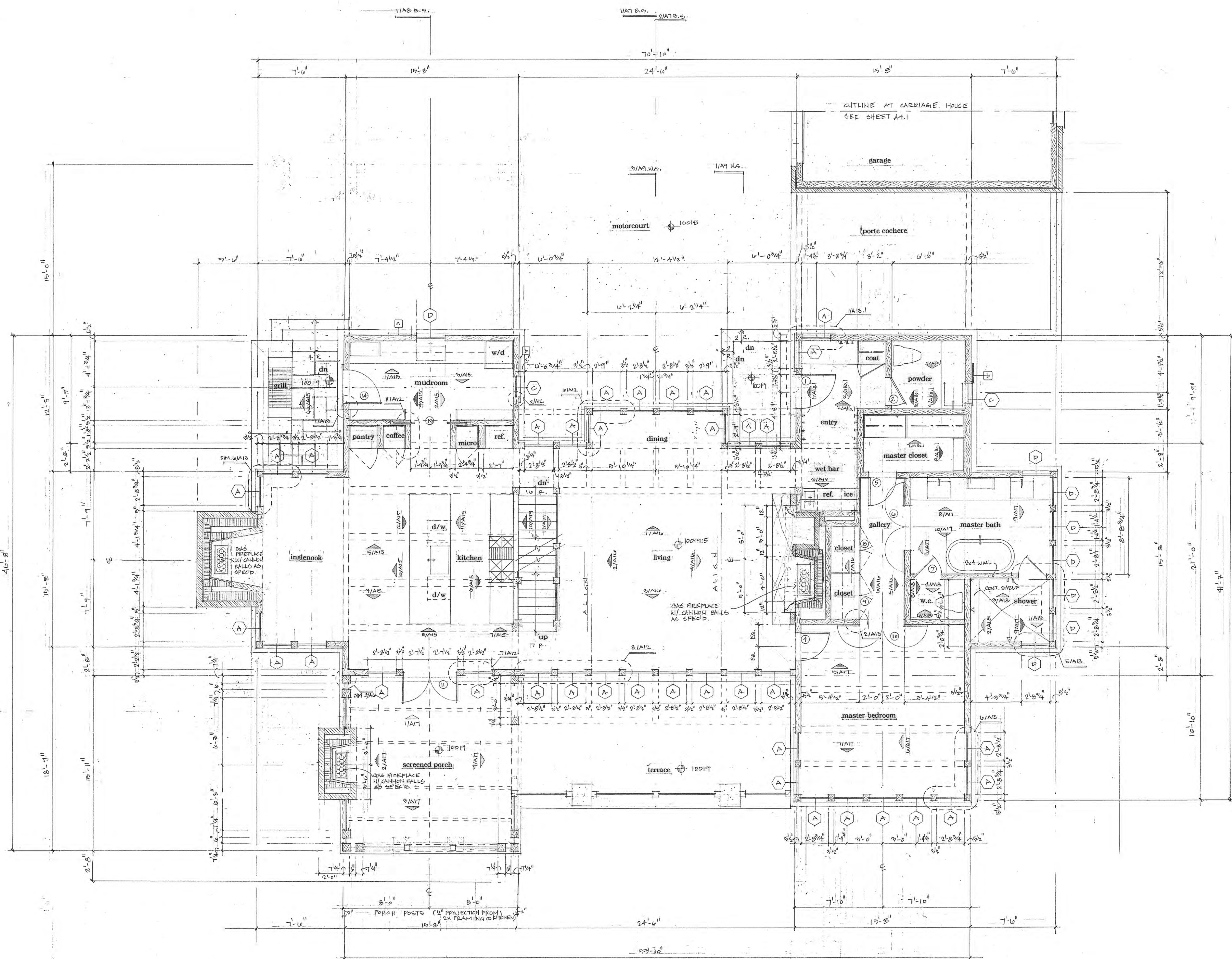
Lot 344R
Mountain Village, CO

DATE: November 3, 2021
April 20, 2022

TITLE: first floor plan

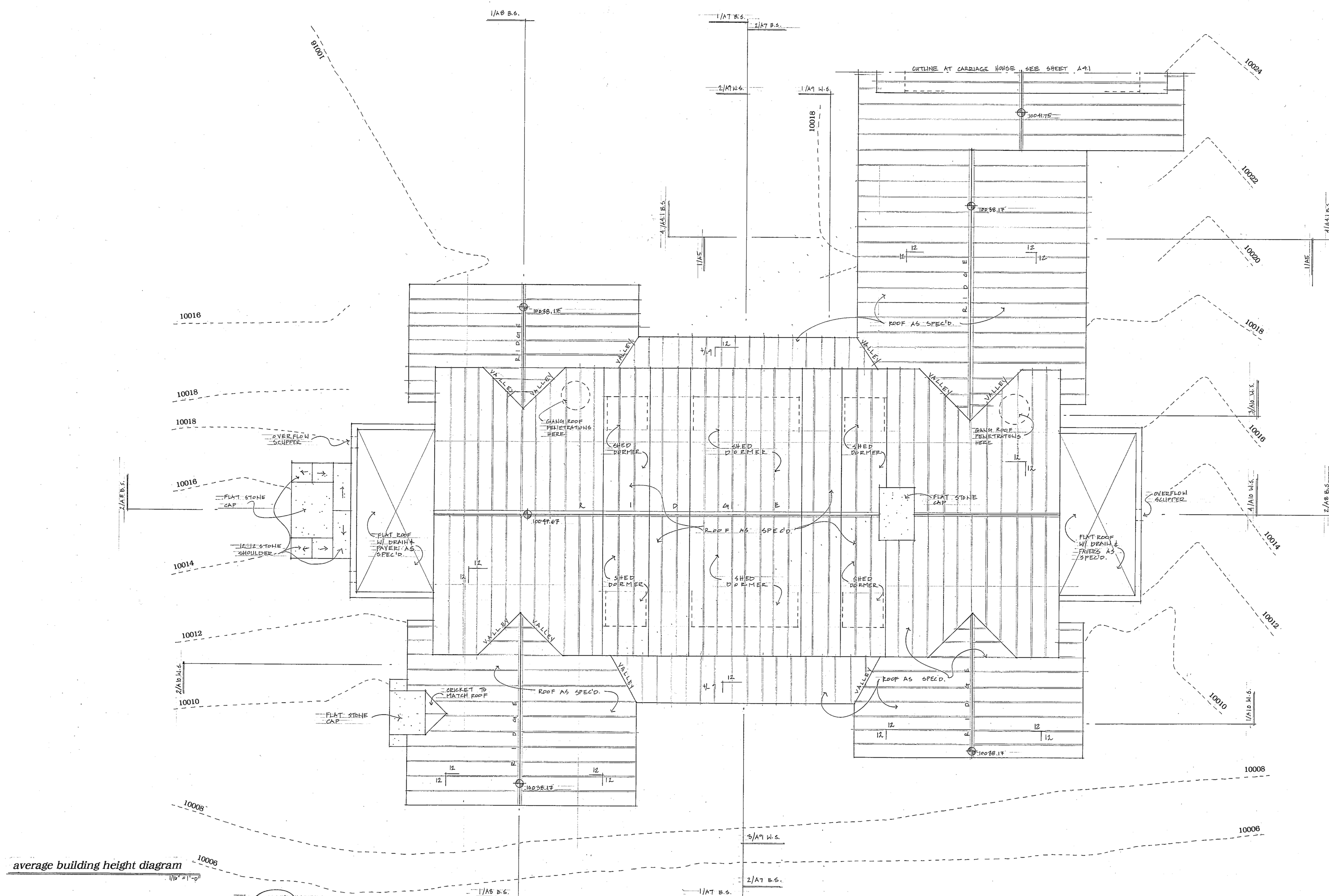
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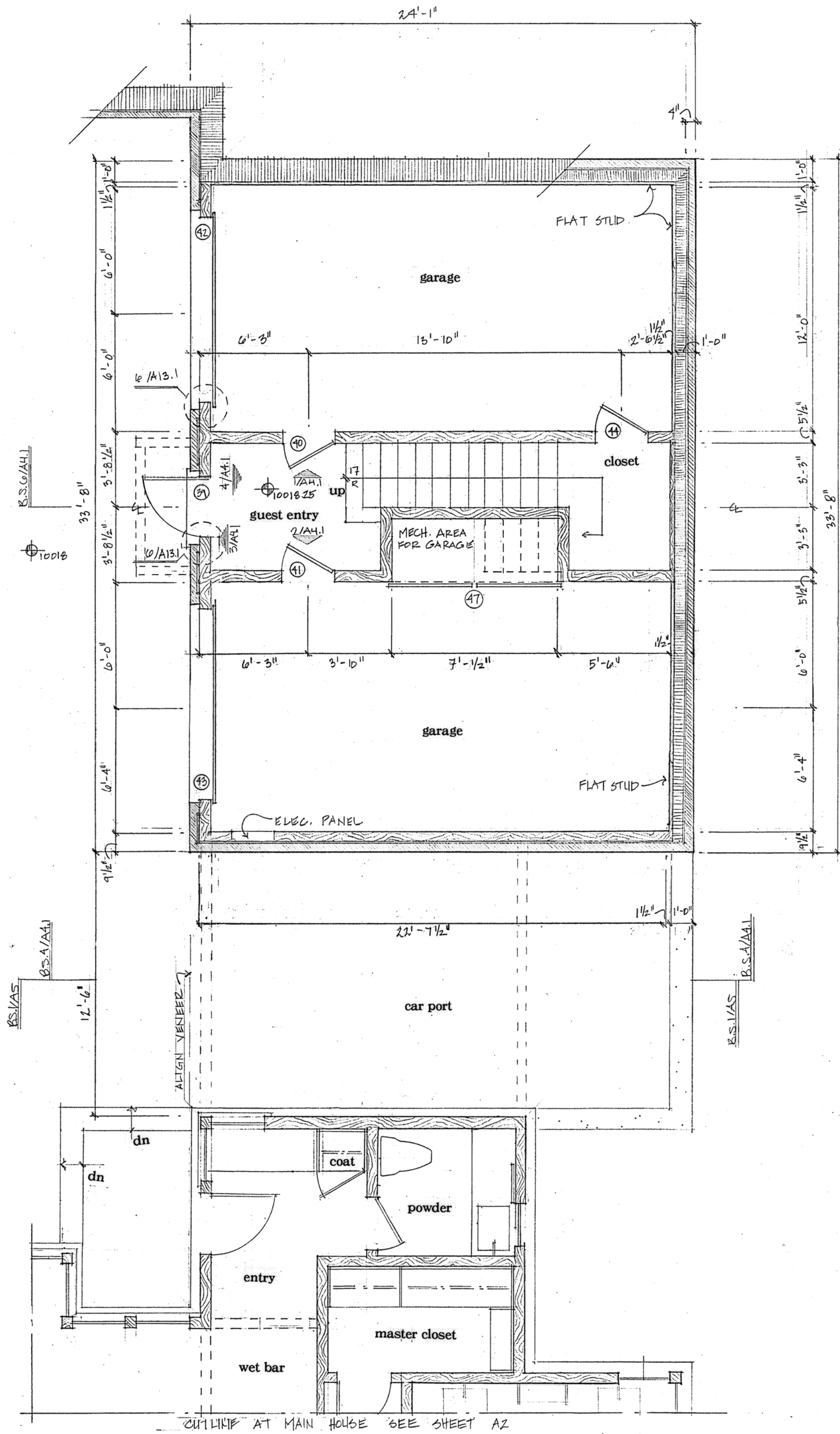
A2



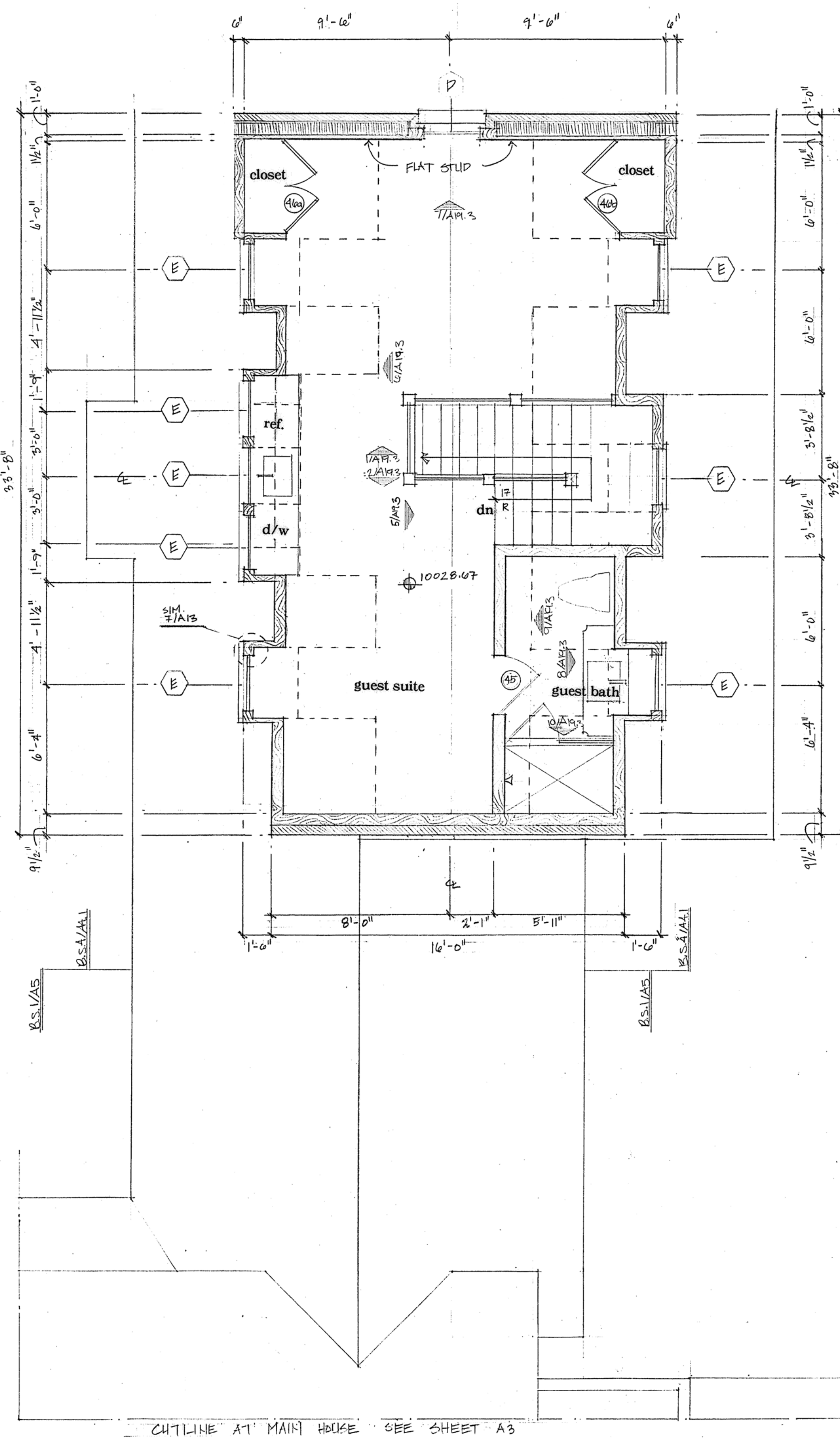
first floor plan

Note:
Section R101.4.1, Appendix and Projections:
Unenclosed accessory structures attached to buildings with inhabitable spaces and projections, such as decks, shall be protected by one of the following methods:
Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials, as specified in the (2018 IBC section 2305.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) - Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.

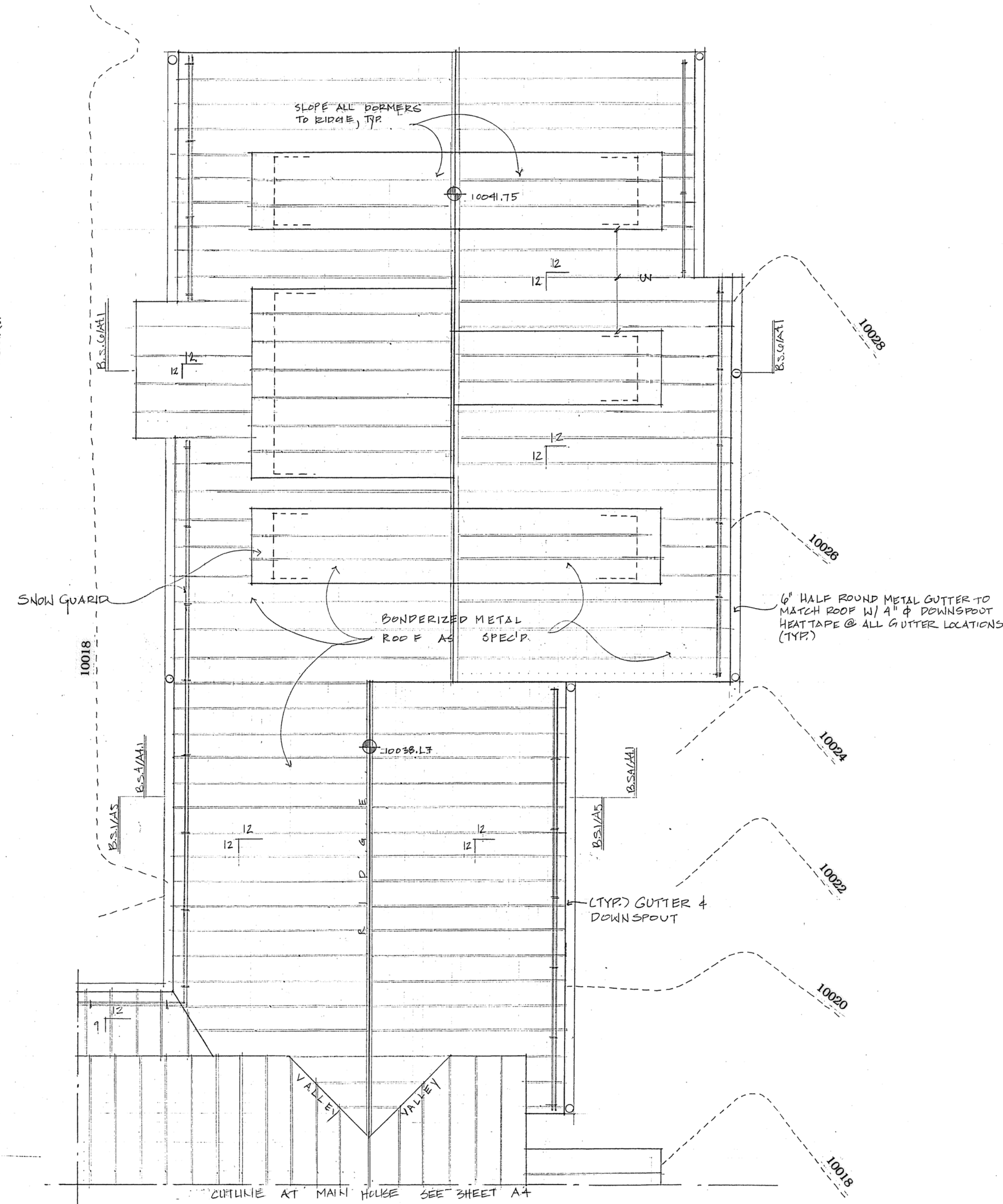




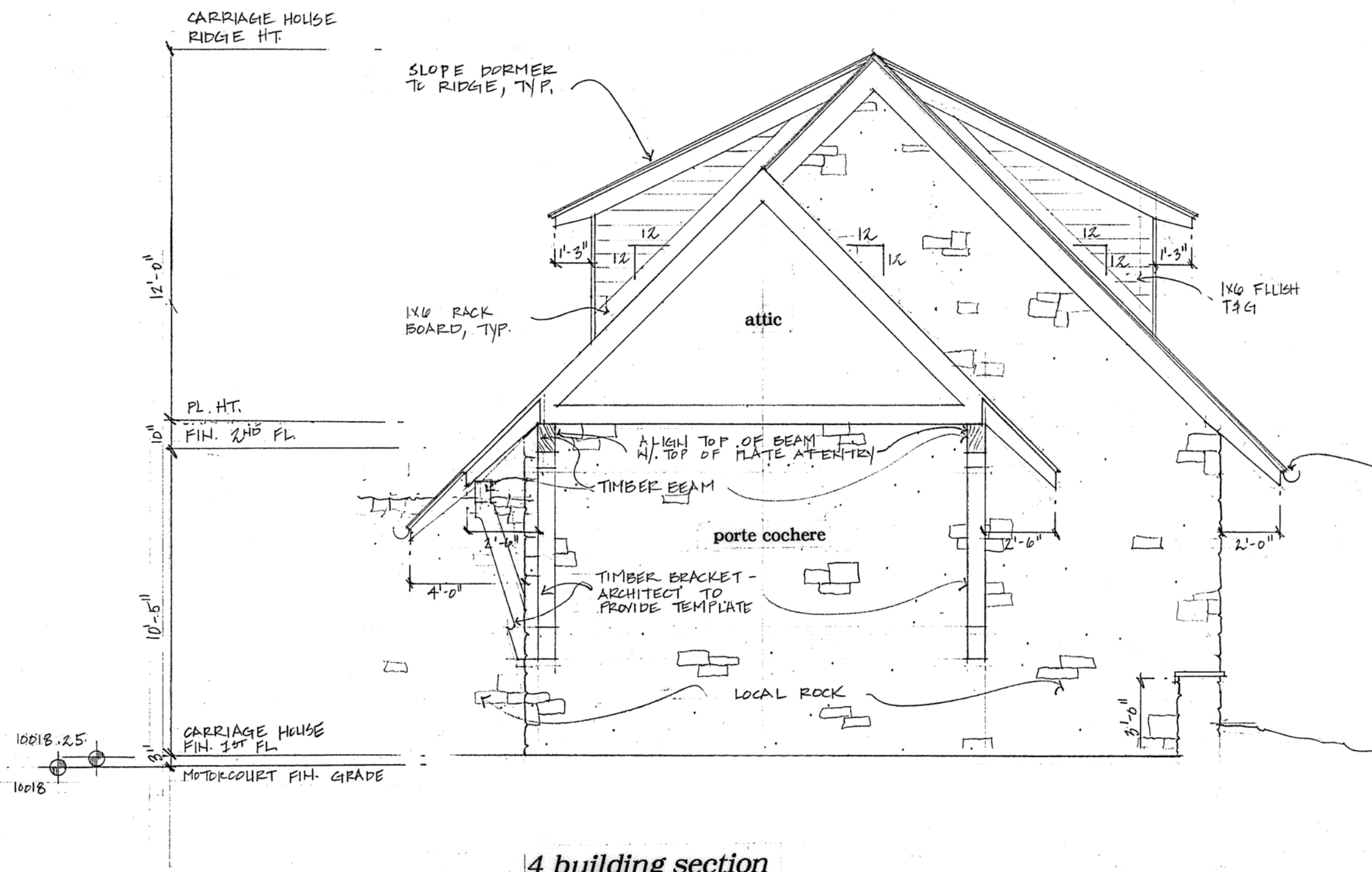
1 carriage house first floor plan



2 carriage house second floor plan



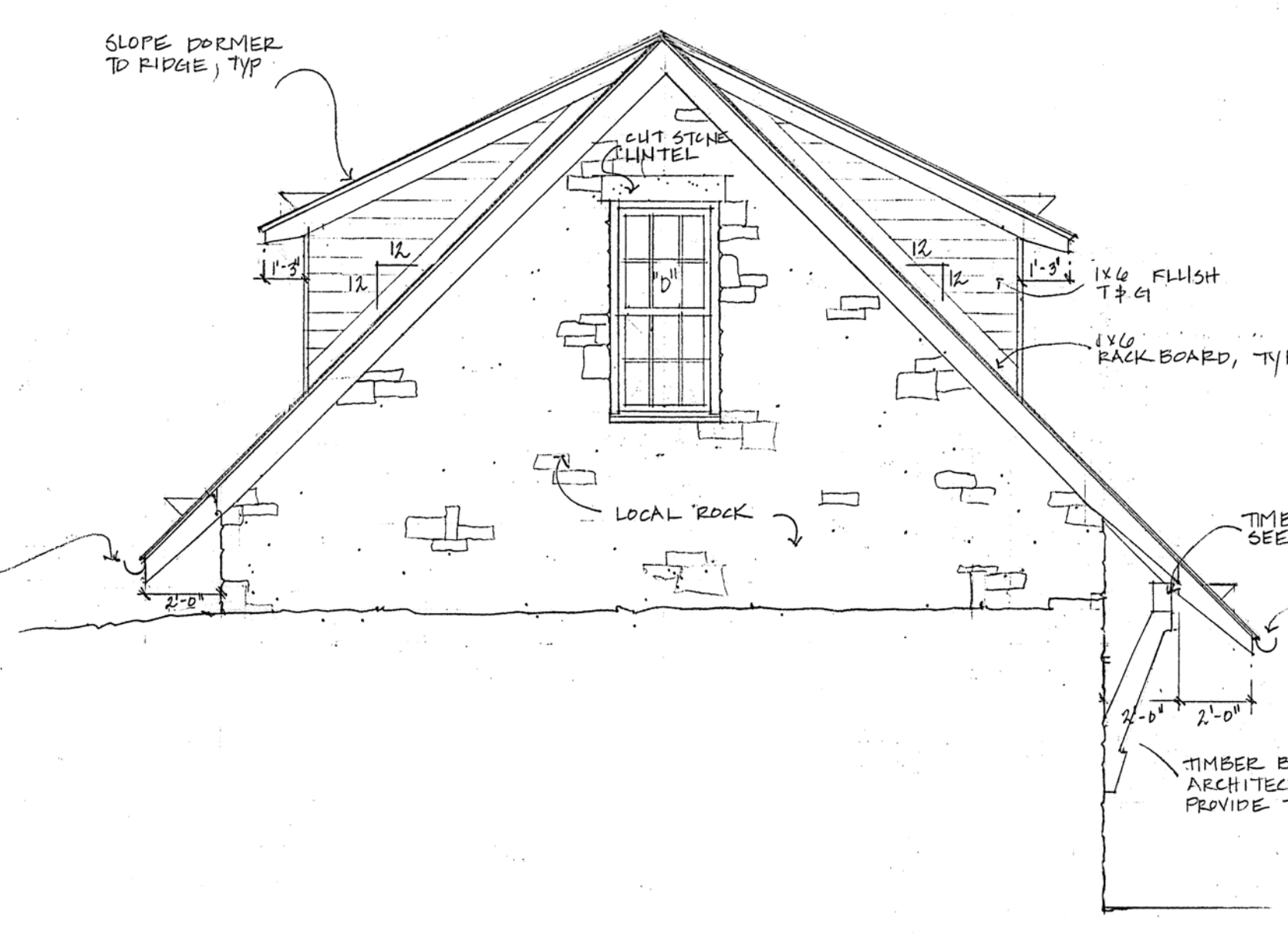
3 carriage house roof plan



4 building section

GLAZING PERCENTAGE: 0%
STONE PERCENTAGE: 100%

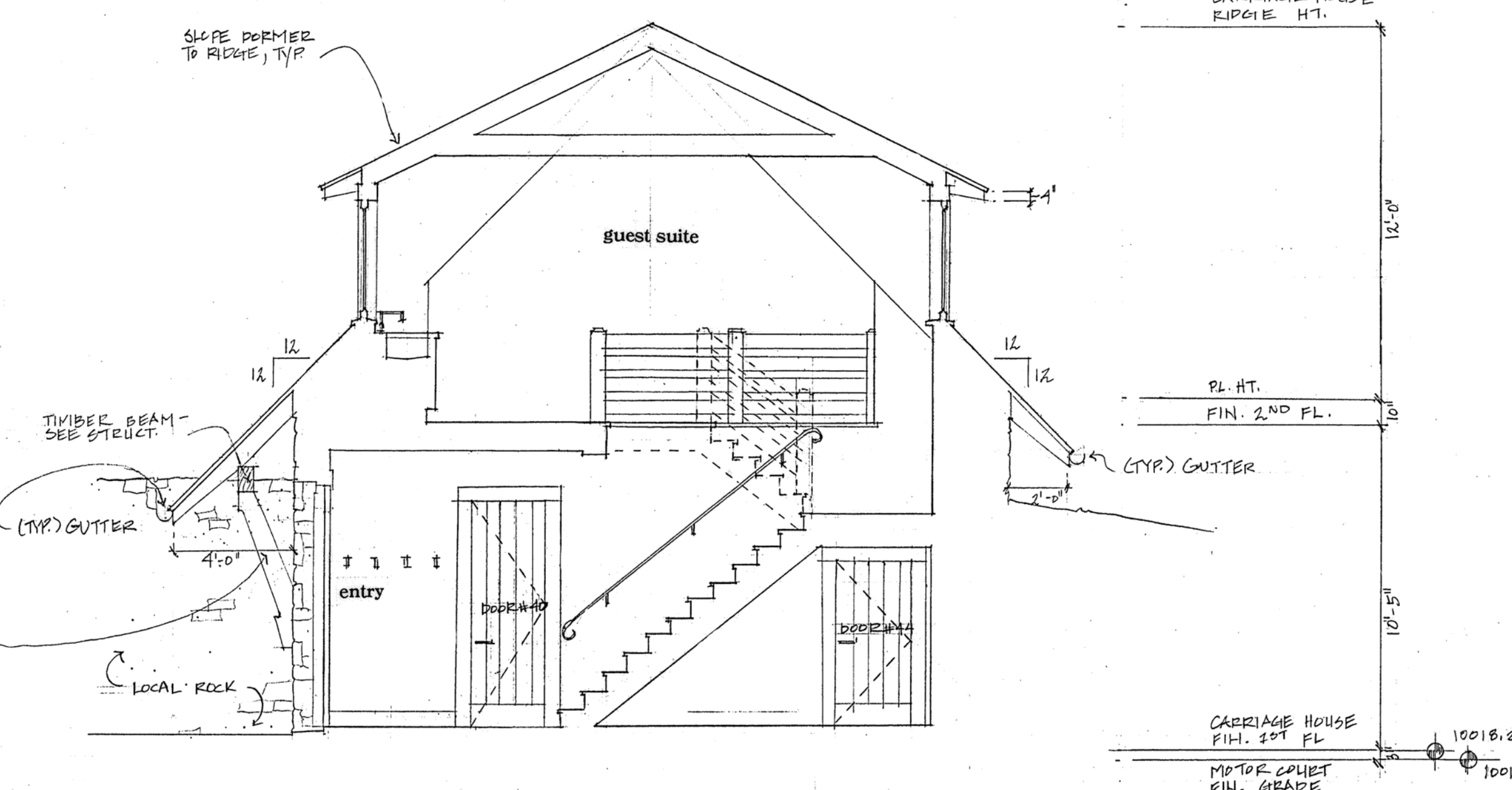
- Note:
Heat Tape Installation Requirements
1. Outside disconnecting mean within 8 feet AFF
2. Two means of control
3. GFCI protection as per manufacturer requirements
4. Overcurrent device sized for 0 degree start up
- Heat Tape Labeling Requirements
1. Manufacturer name
2. Wattage per foot
3. Length per zone
4. Location of building



5 carriage house elevation

GLAZING PERCENTAGE: 4%
STONE PERCENTAGE: 94%

Note:
All valleys and low pitched (less than 1:12), gutters, and downspouts shall be heated, typ.



6 building section



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PROJECT:

a new residence
for
Melanie &
Parker Duffey

Lot 344R
Mountain Village, CO

DATE: November 3, 2021
April 20, 2022

TITLE: carriage house
floor plans, roof plan,
elevations, & building section

SHEET No:

A4.1



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PROJECT:

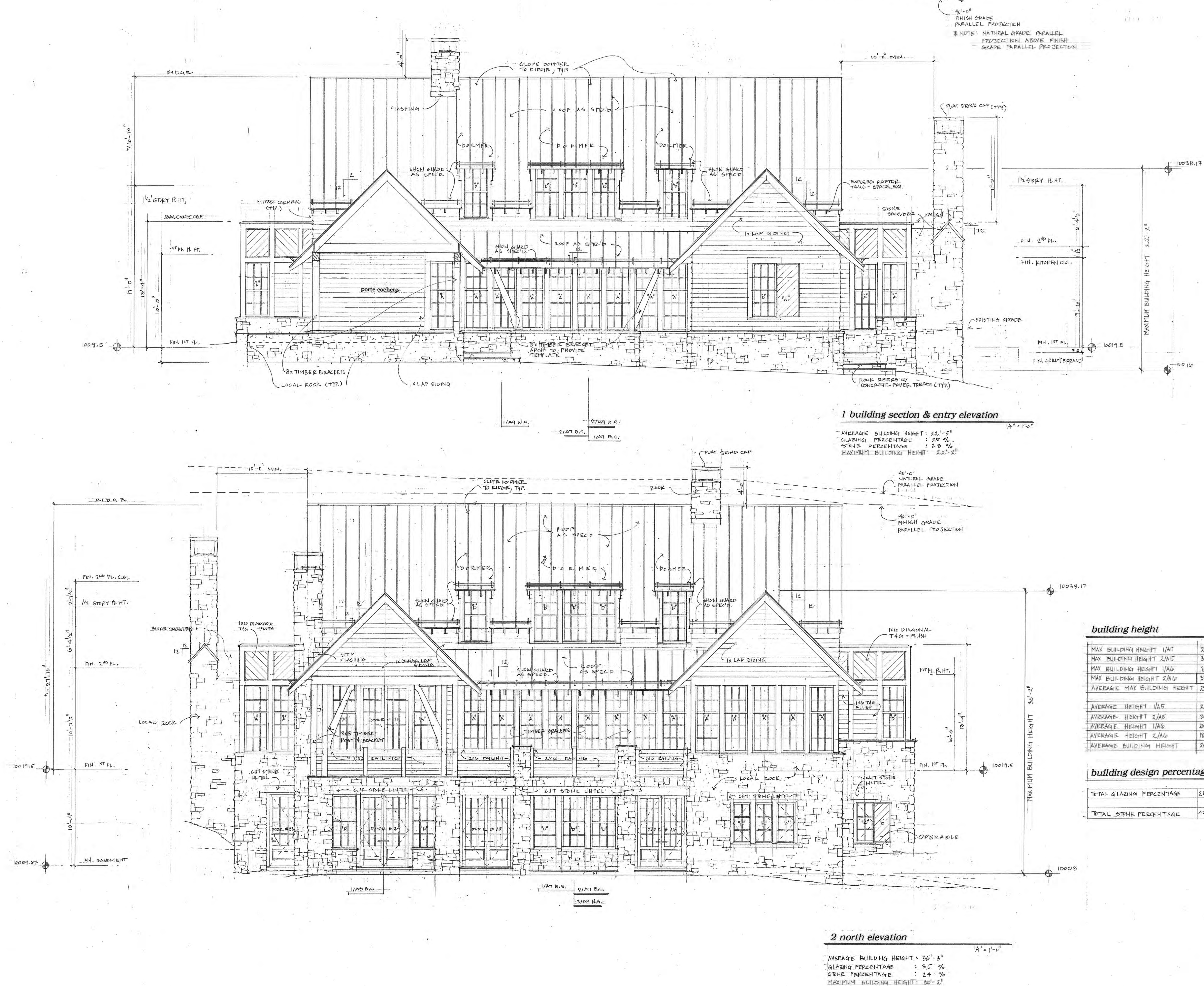
a new residence
for
**Melanie &
Parker Duffey**

Lot 344R
Mountain Village, CO

DATE: November 3, 2021
April 20, 2022

TITLE:
exterior elevation

SHEET No:
A5





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PROJECT:

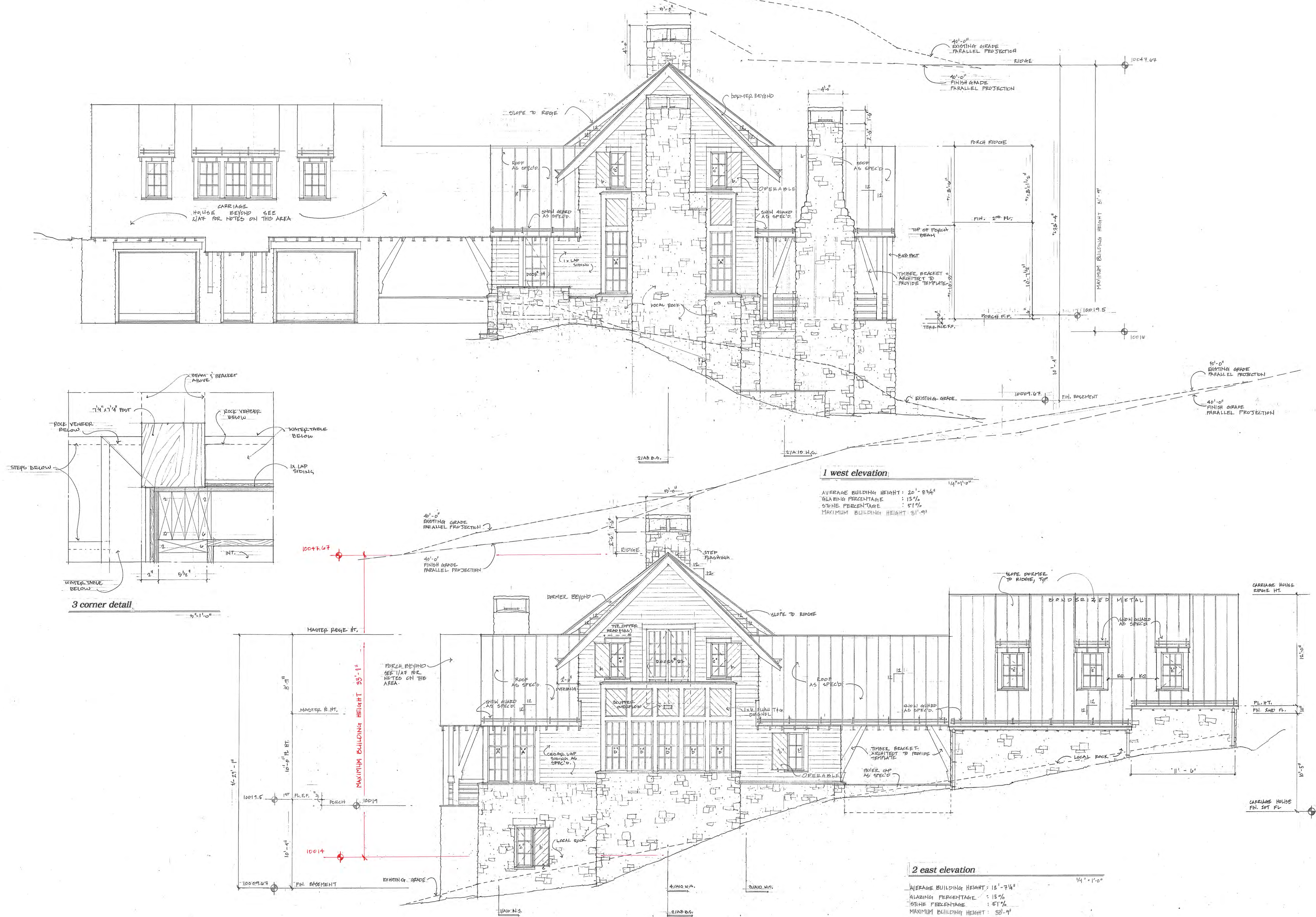
a new residence
for
Melanie &
Parker Duffey

Lot 344R
Mountain Village, CO

DATE: November 3, 2021
April 20, 2022

TITLE:
exterior elevation

SHEET No:
A6





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Note:
Section R 101.4.1, Appendages and Projections.
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Note:
Heat Tape Installation Requirements
13. Outside disconnecting mean within 8 feet AFF
14. Two means of control
15. GFCI protection as per manufacturer requirements
16. Overcurrent device sized for 0 degree start up

Heat Tape Labeling Requirements
13. Manufacturer name
14. Wattage per foot
15. Length per zone
16. Location of building

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PROJECT:

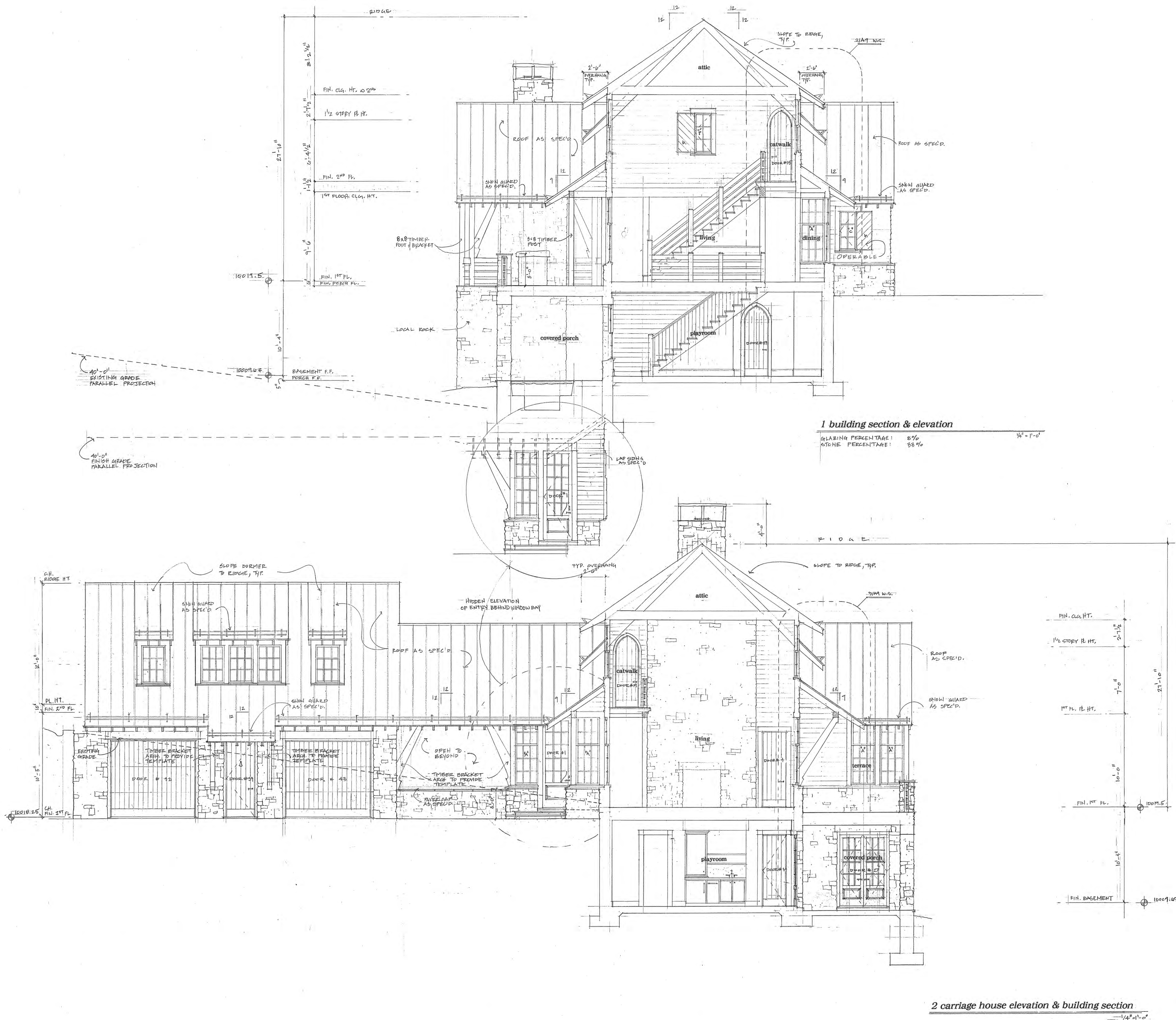
a new residence
for
**Melanie &
Parker Duffey**

Lot 344R
Mountain Village, CO

DATE: November 3, 2021
April 20, 2022

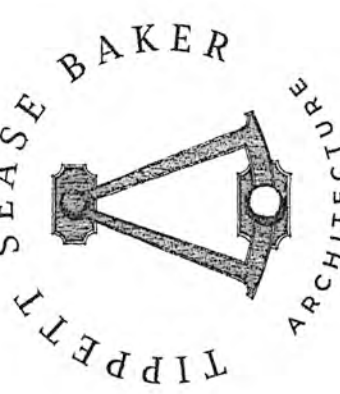
TITLE:
elevation and building section

SHEET No:
A7



2 carriage house elevation & building section

GLAZING PERCENTAGE : 25%
STONE PERCENTAGE : 42%



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PROJECT:

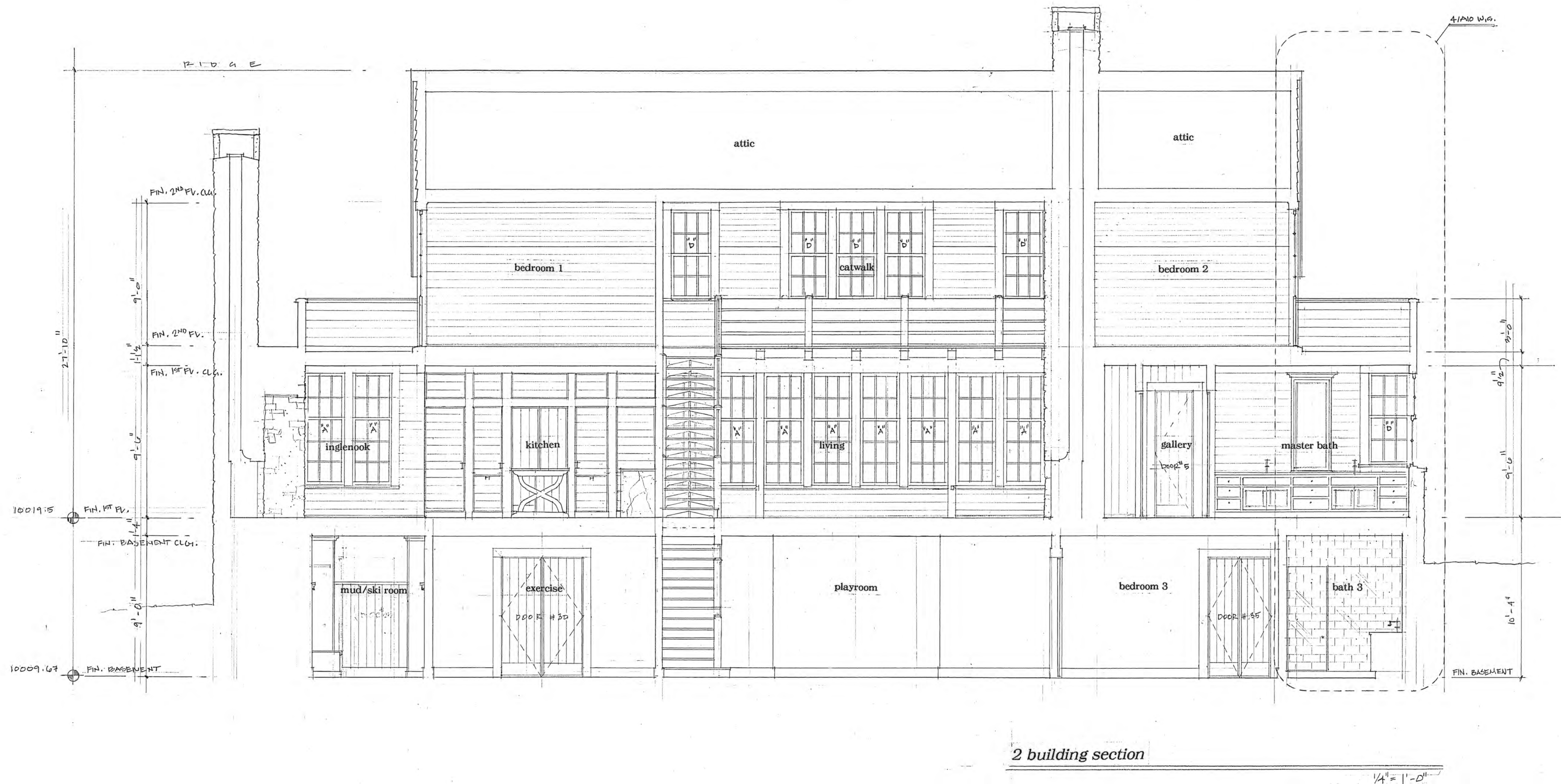
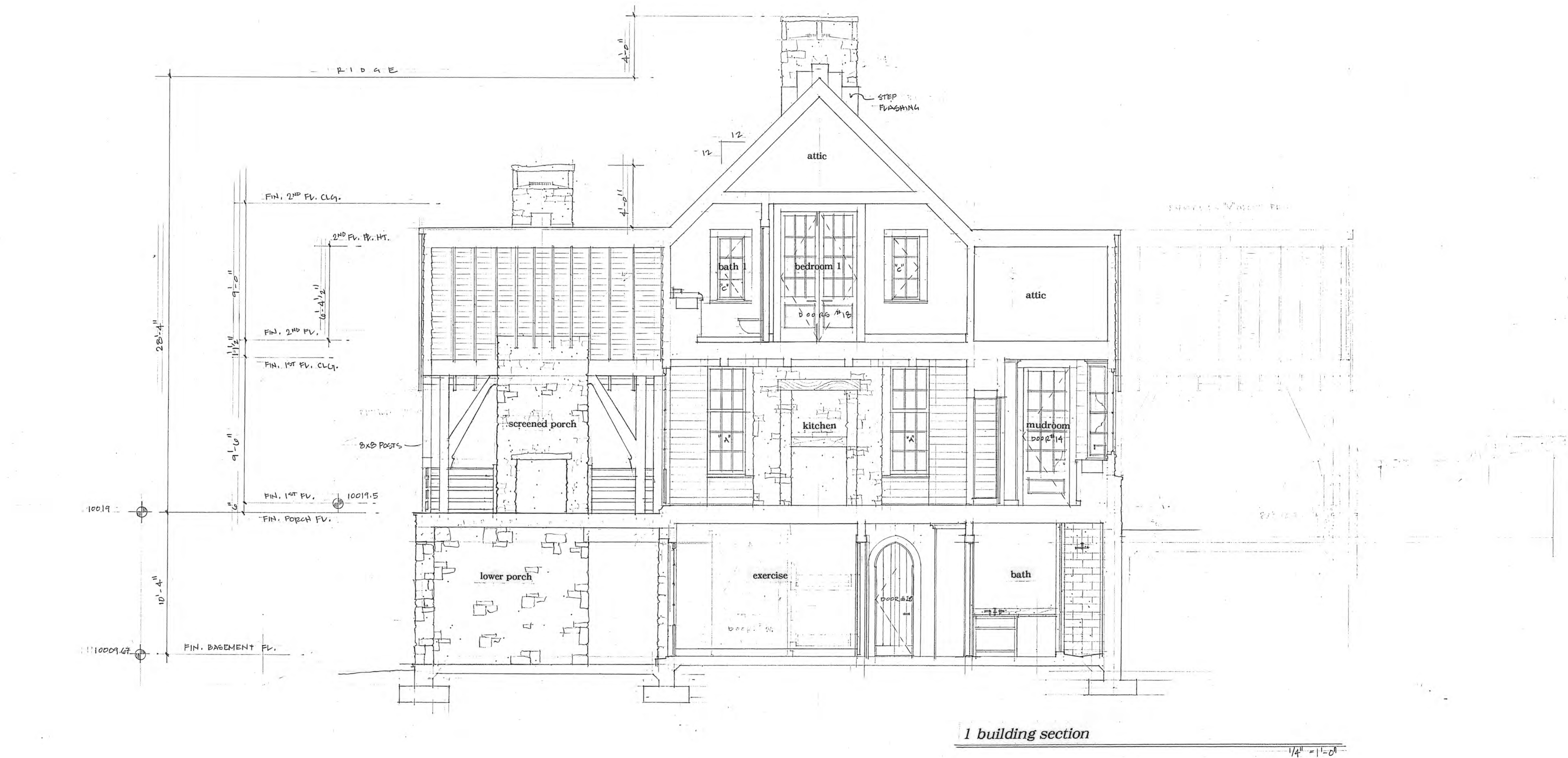
a new residence
for
Melanie &
Parker Duffey

Lot 344R
Mountain Village, CO

DATE: November 3, 2021
April 20, 2022

TITLE:
building sections

SHEET No:
A8





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PROJECT:

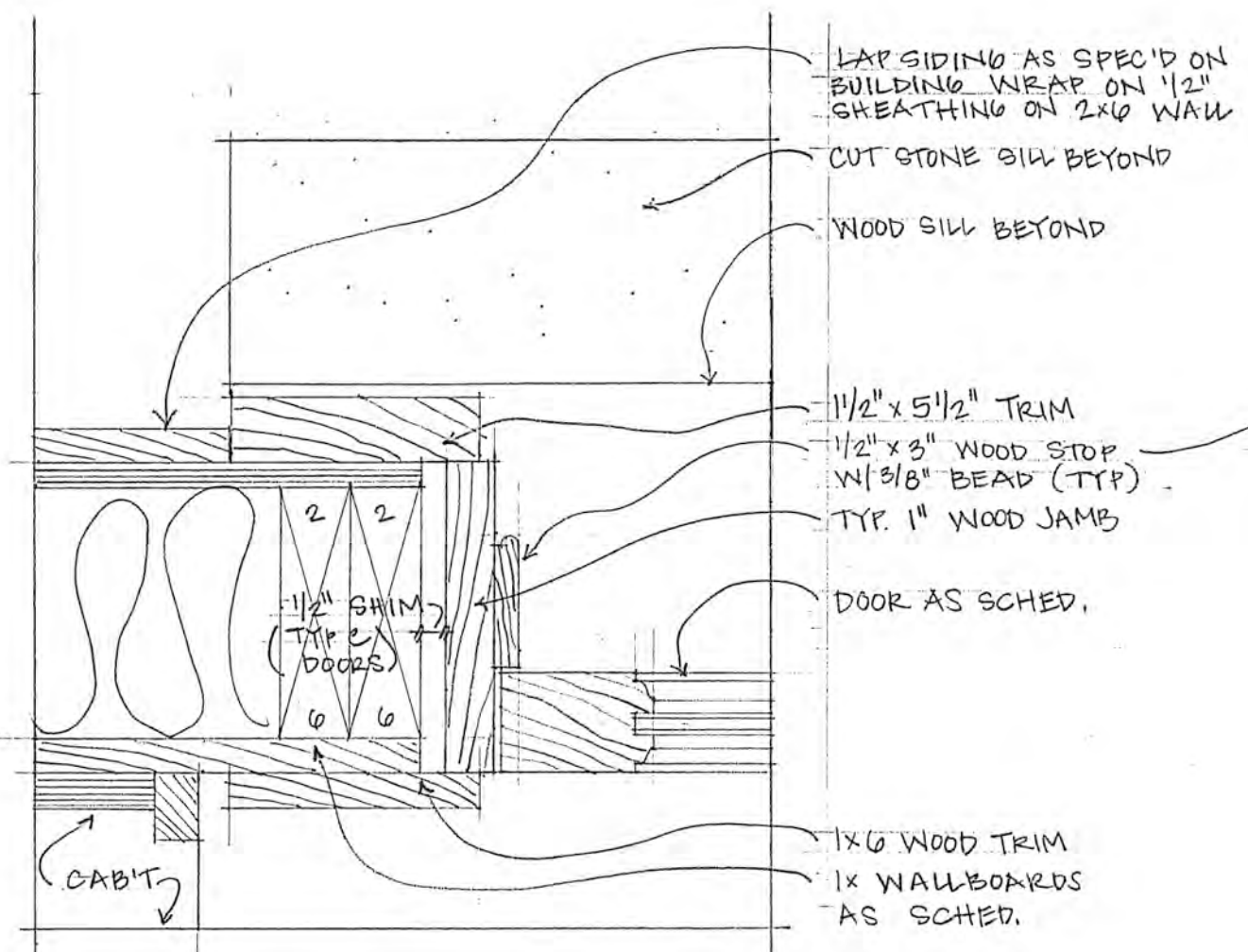
a new residence
for
**Melanie &
Parker Duffey**

Lot 344R
Mountain Village, CO

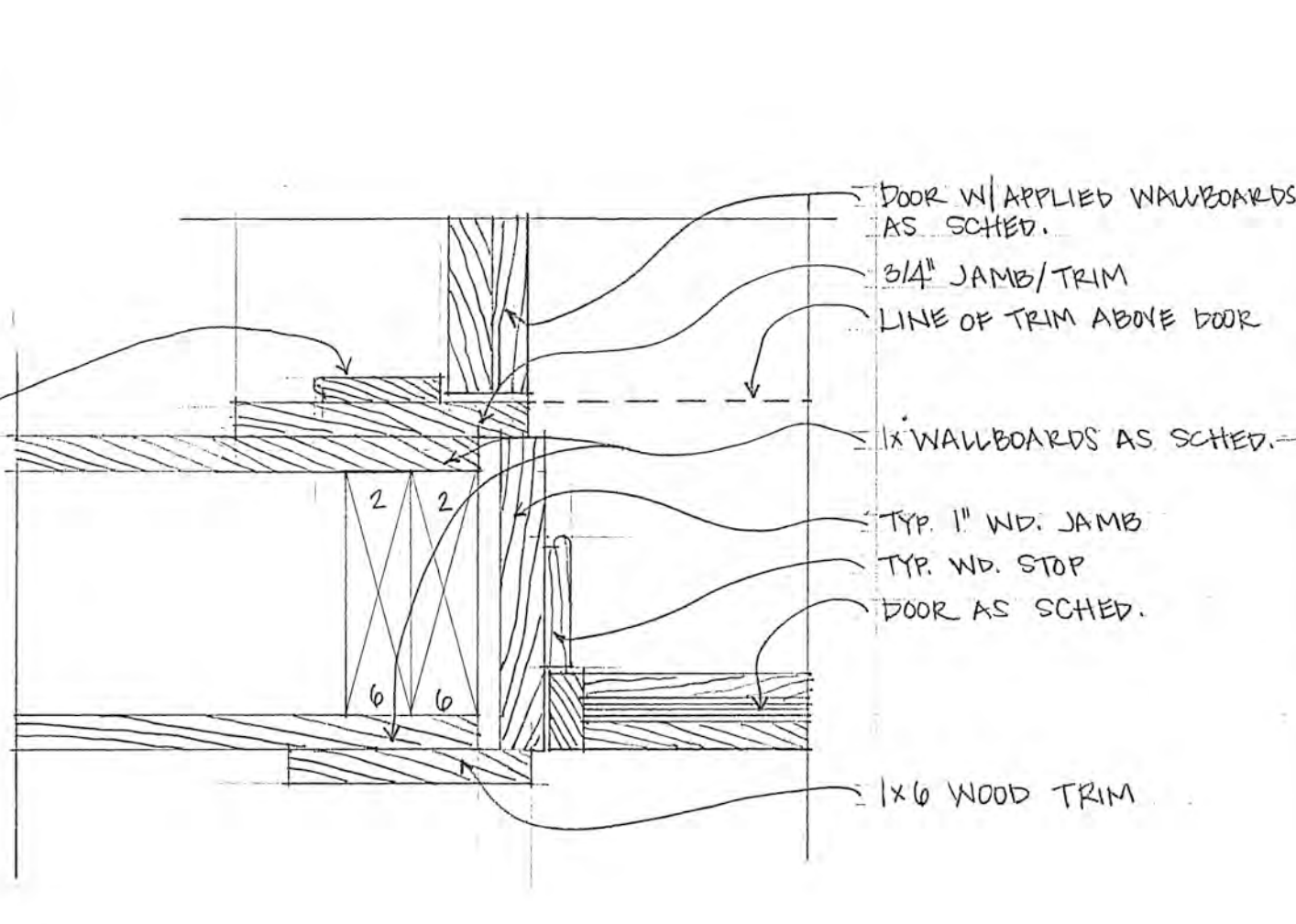
DATE: November 3, 2021
April 20, 2022

TITLE:
window and door details

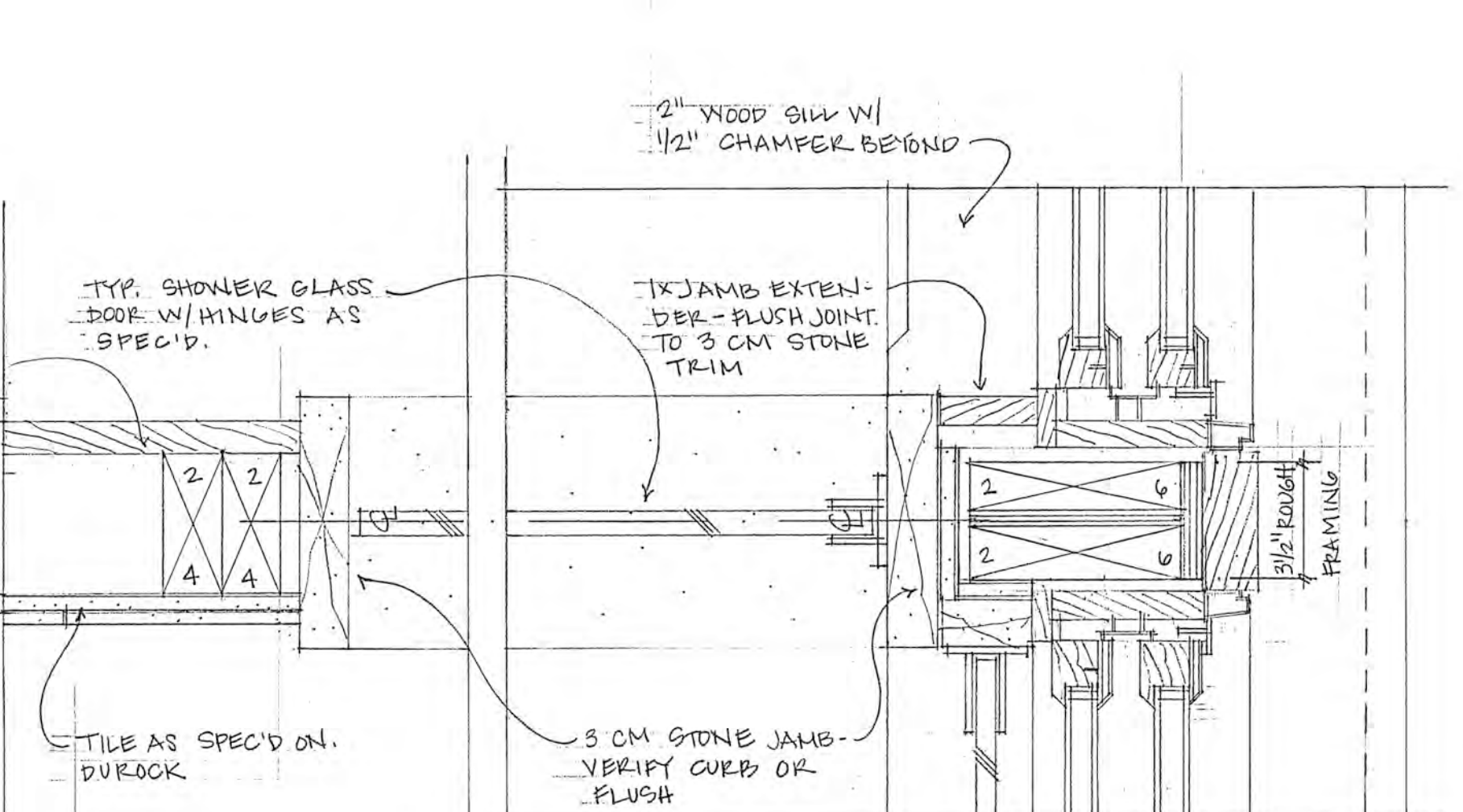
SHEET NO:
A13



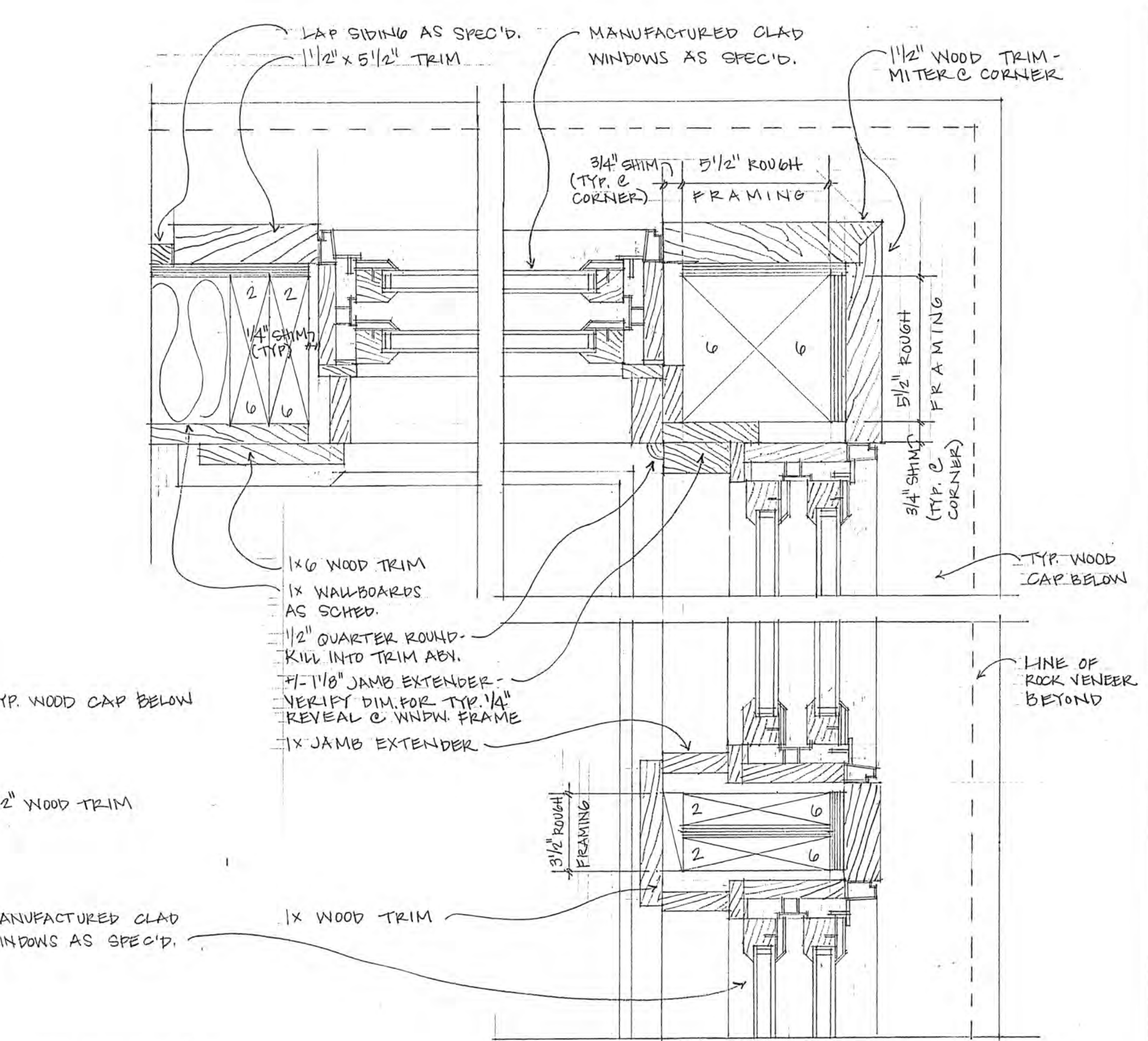
1 jamb at mudroom



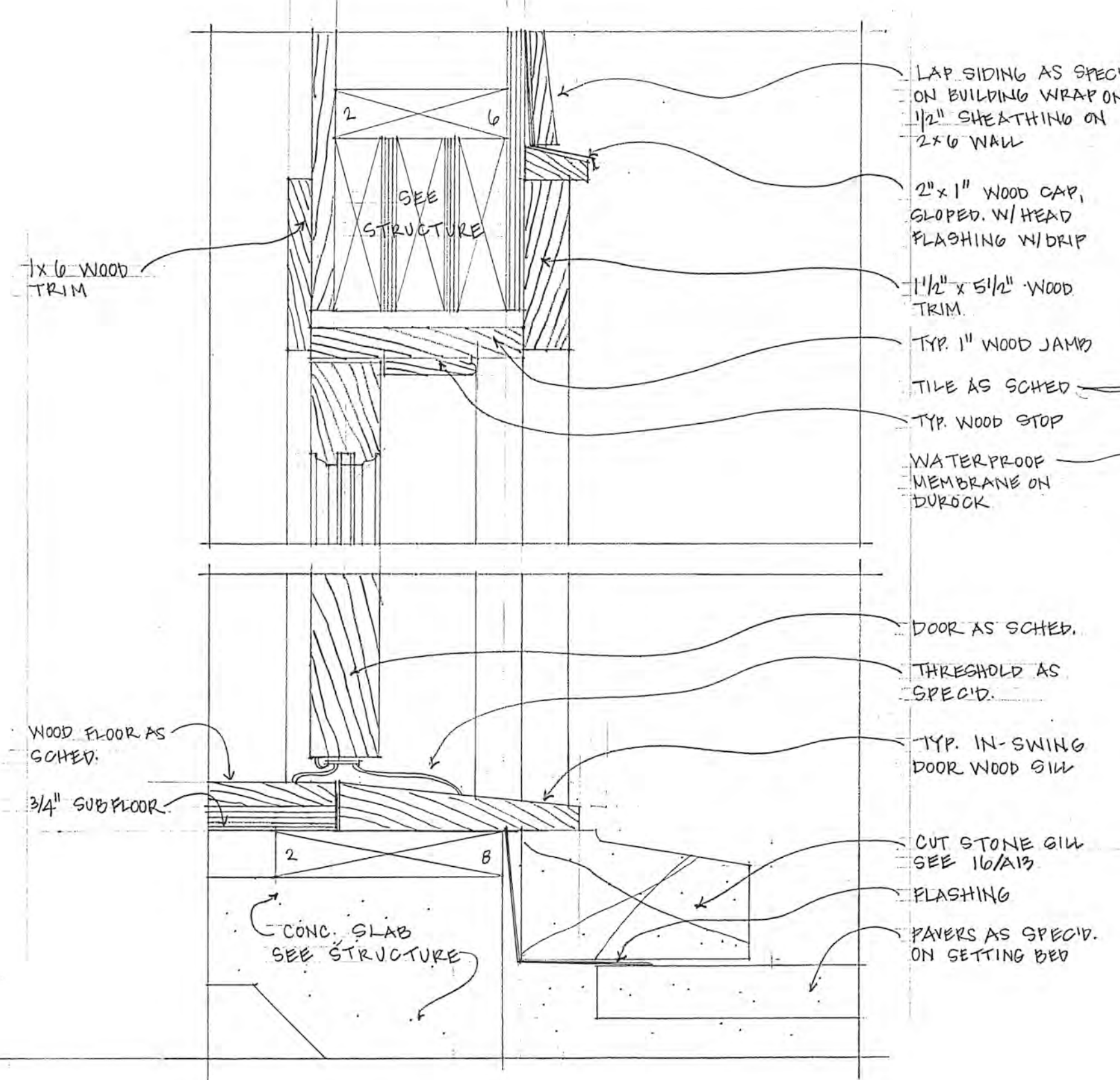
2 jamb at master bedroom/closet



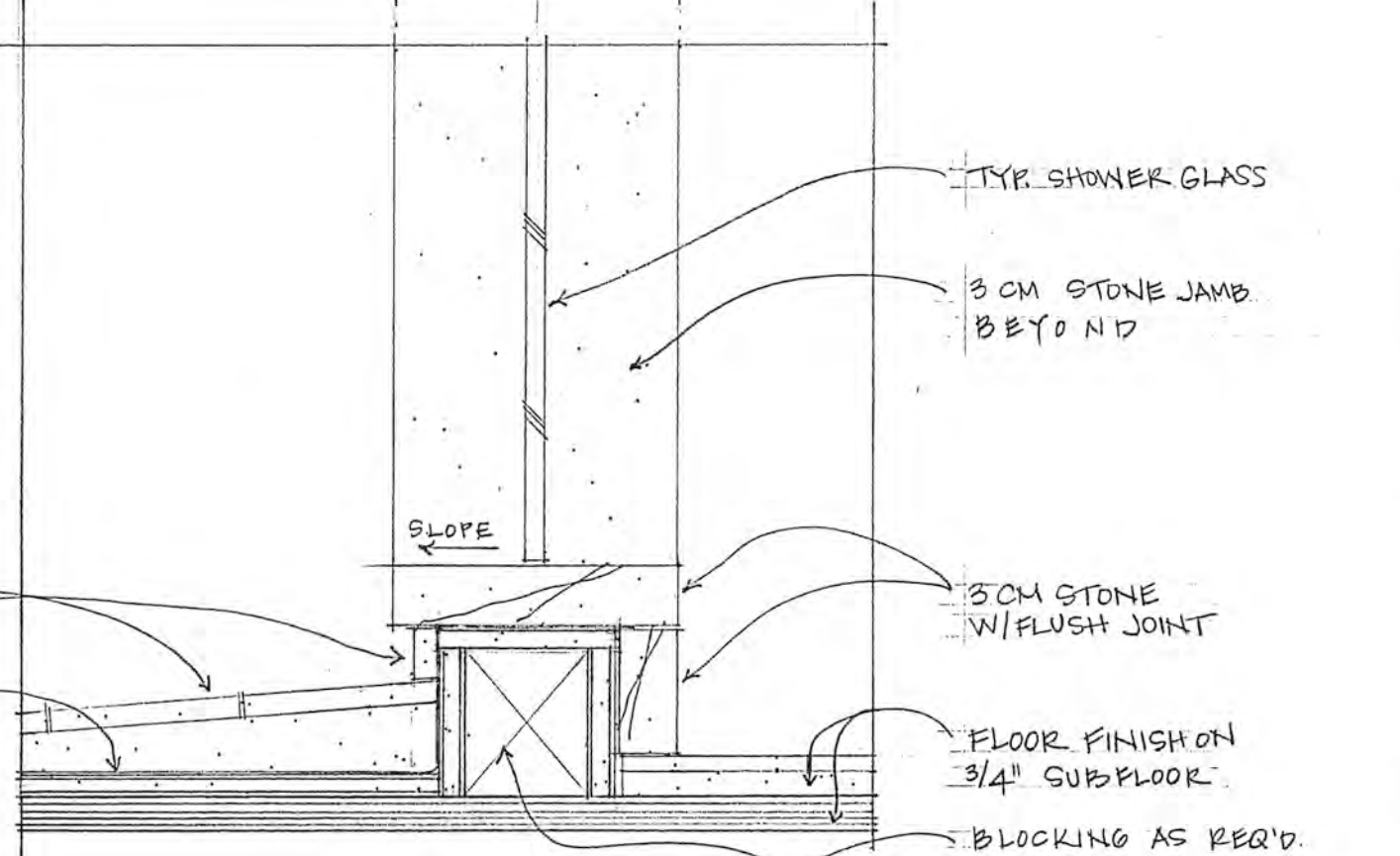
5 jamb at master shower



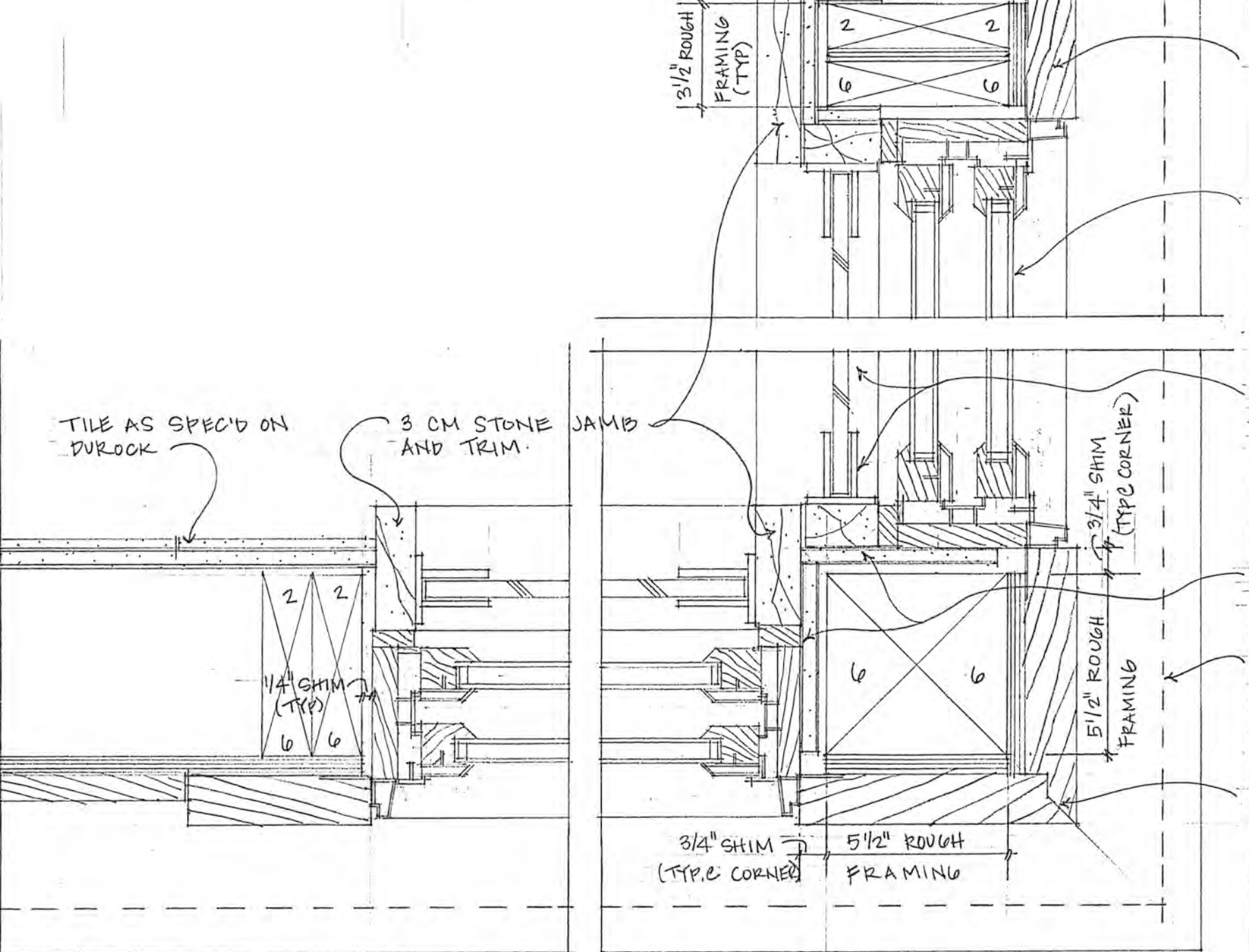
6 jamb at master bath, master bedroom sim.



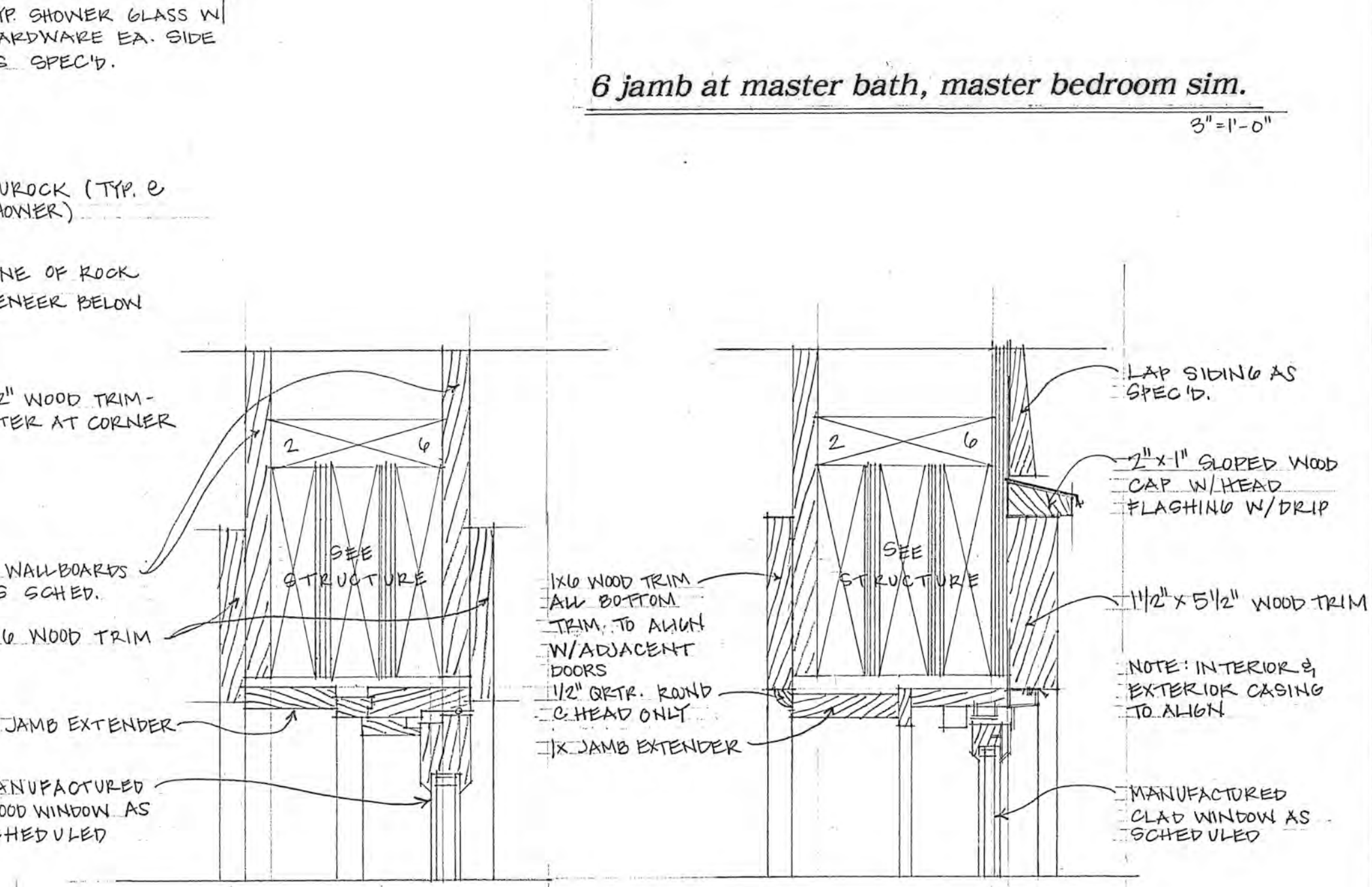
3 head & sill at mudroom



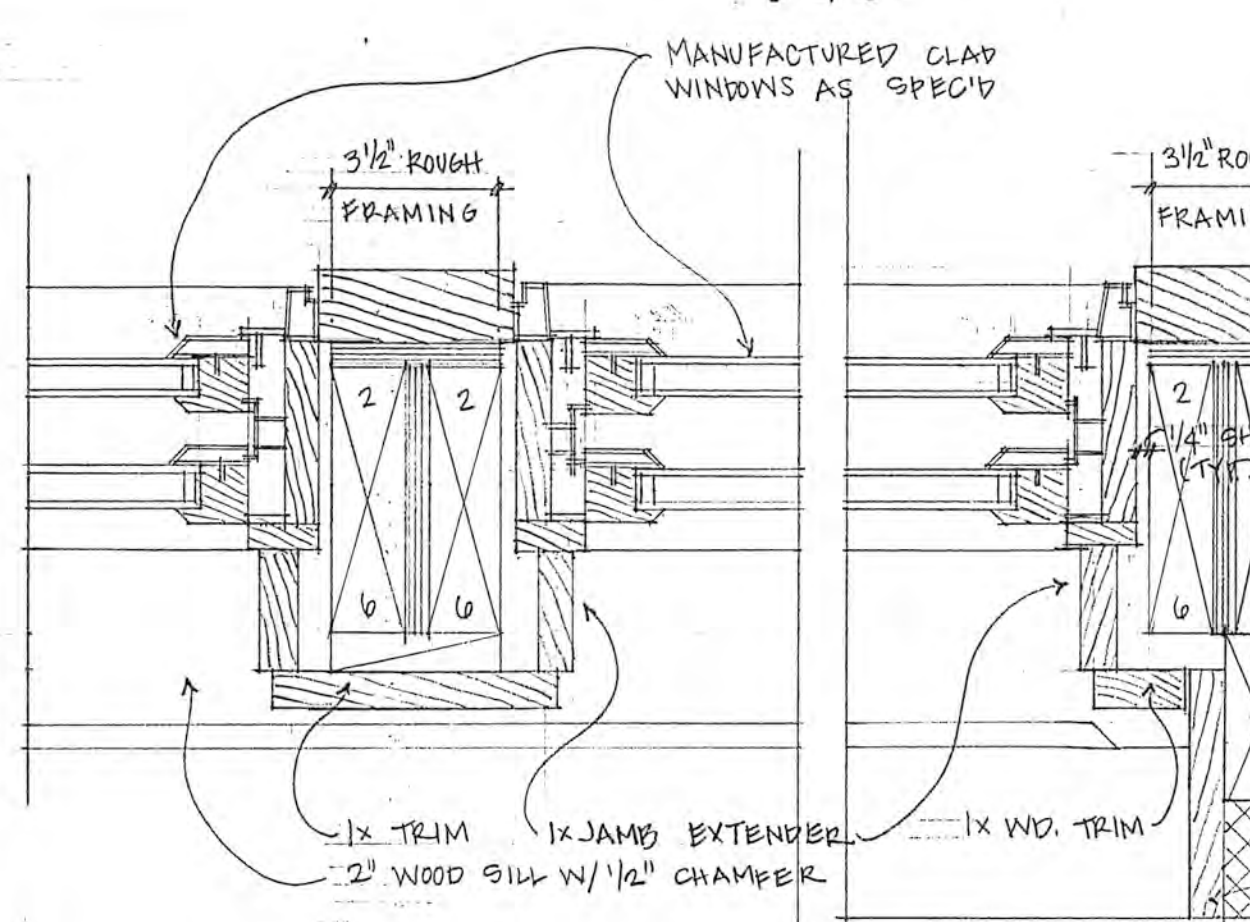
4 typ. shower curb



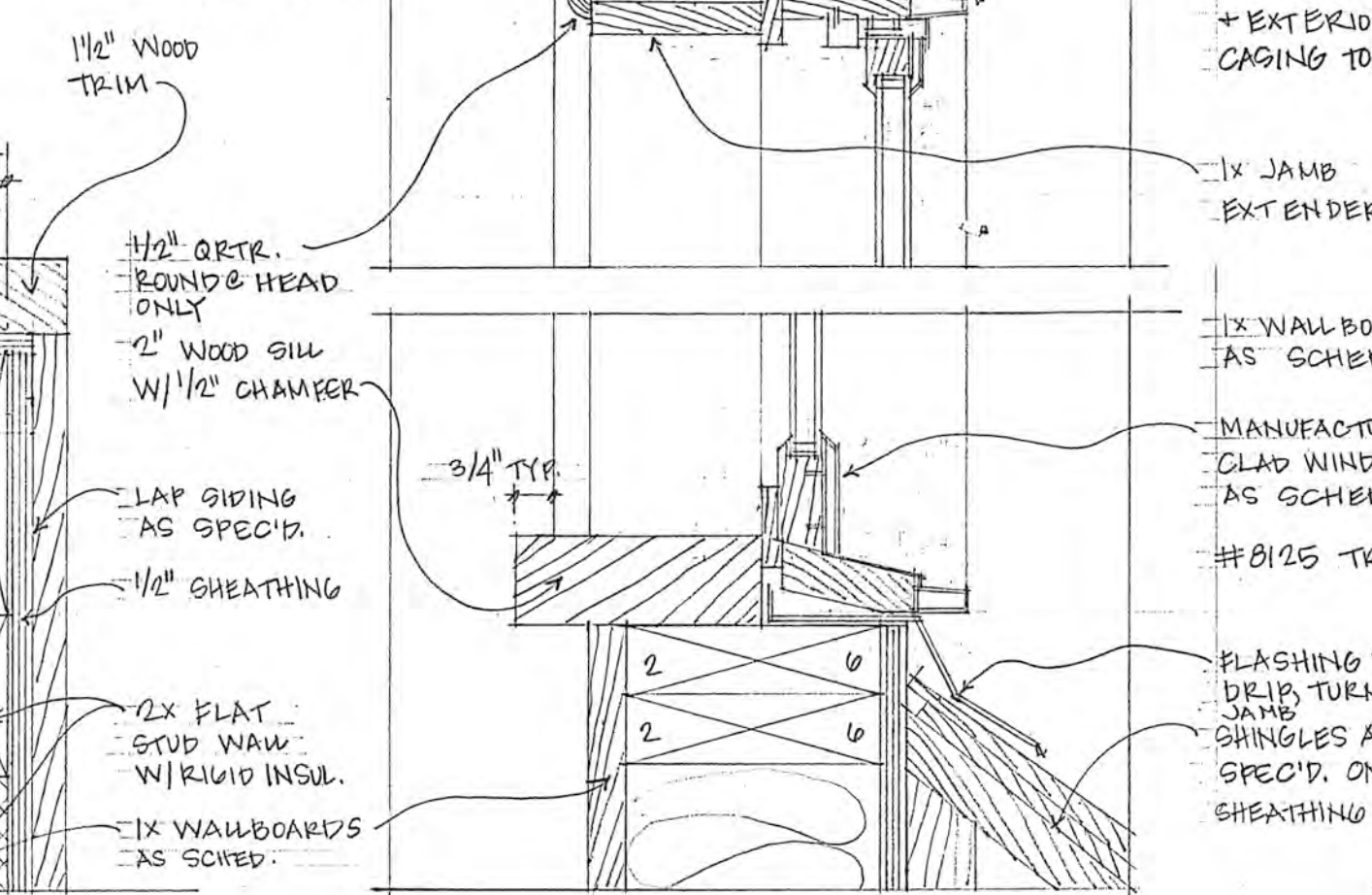
5 jamb at master shower



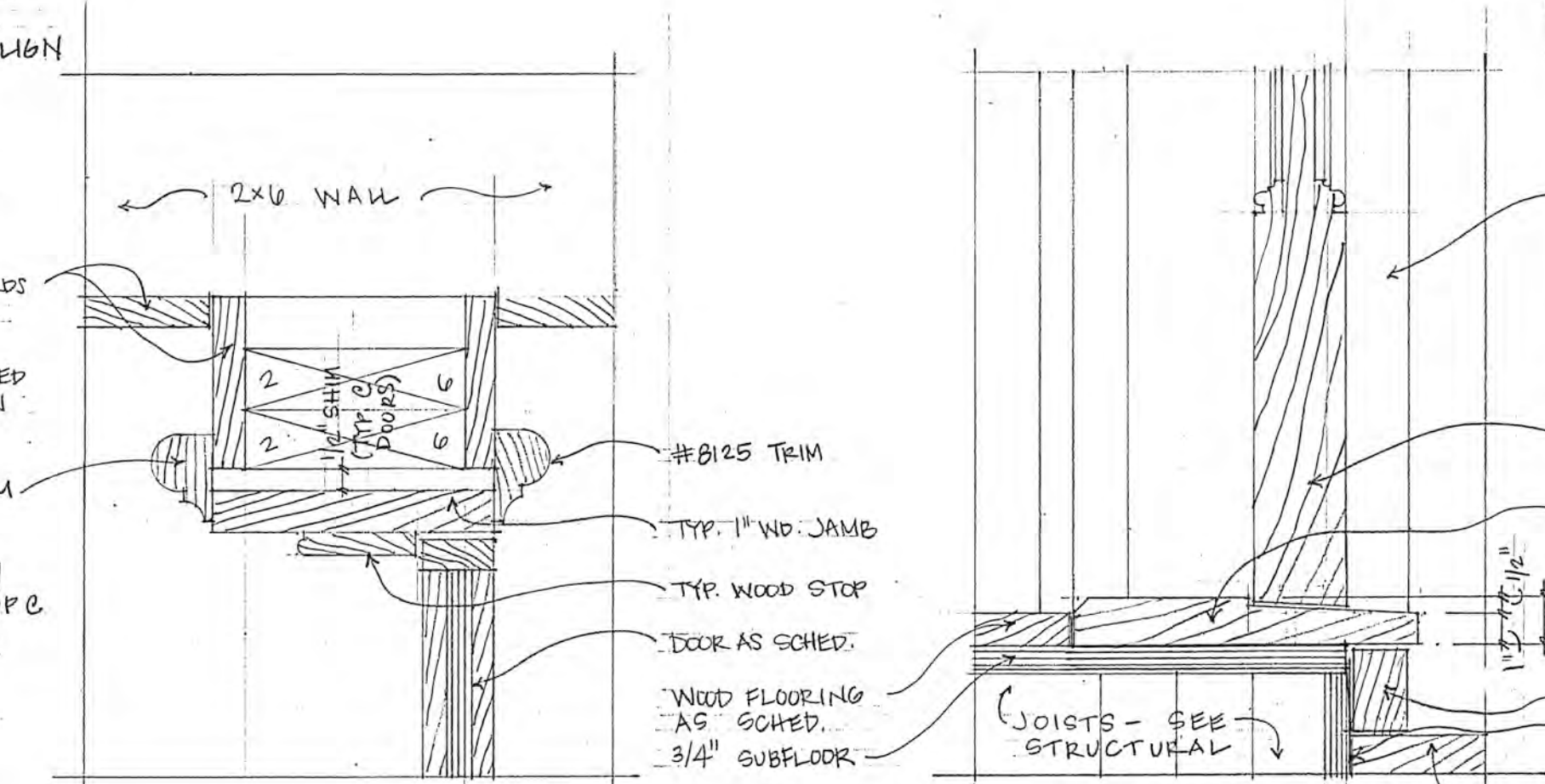
6 jamb at master bath, master bedroom sim.



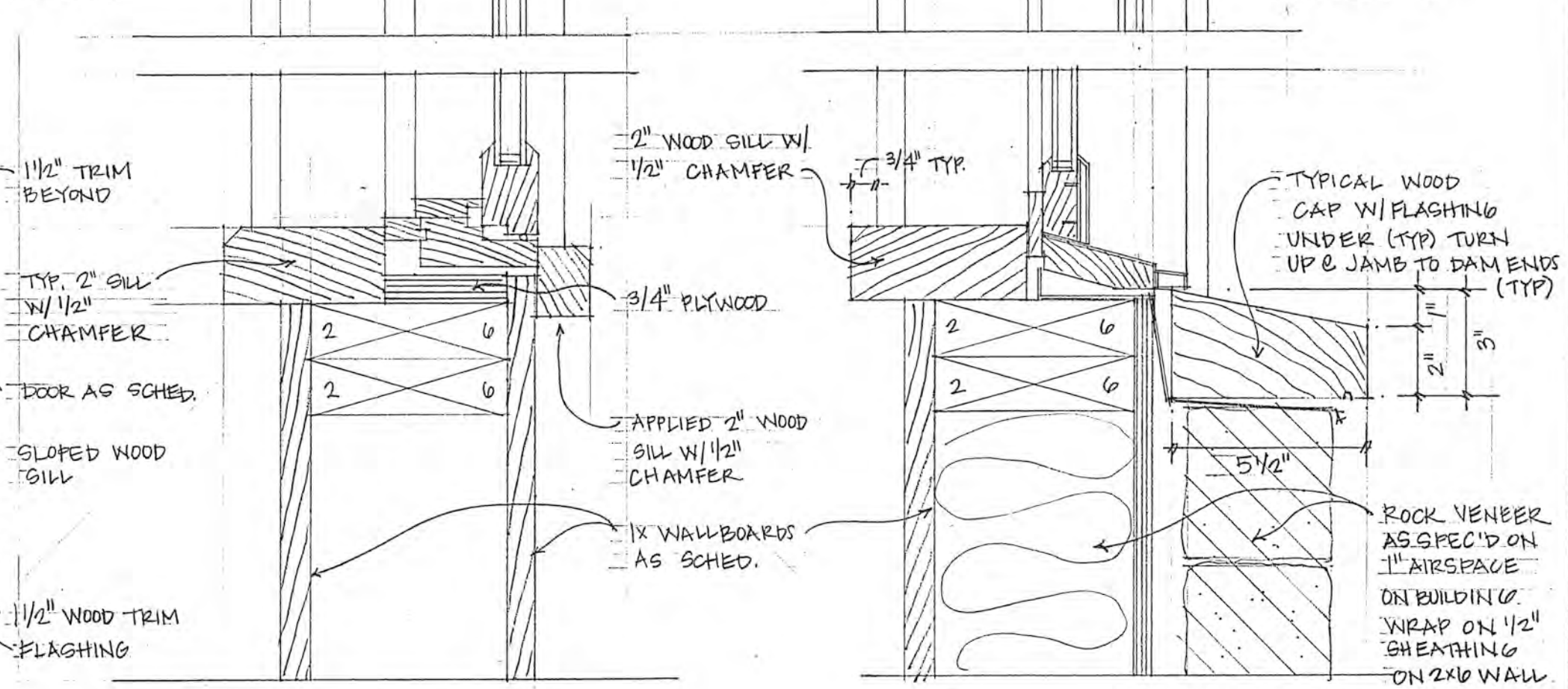
7 jamb at dormer



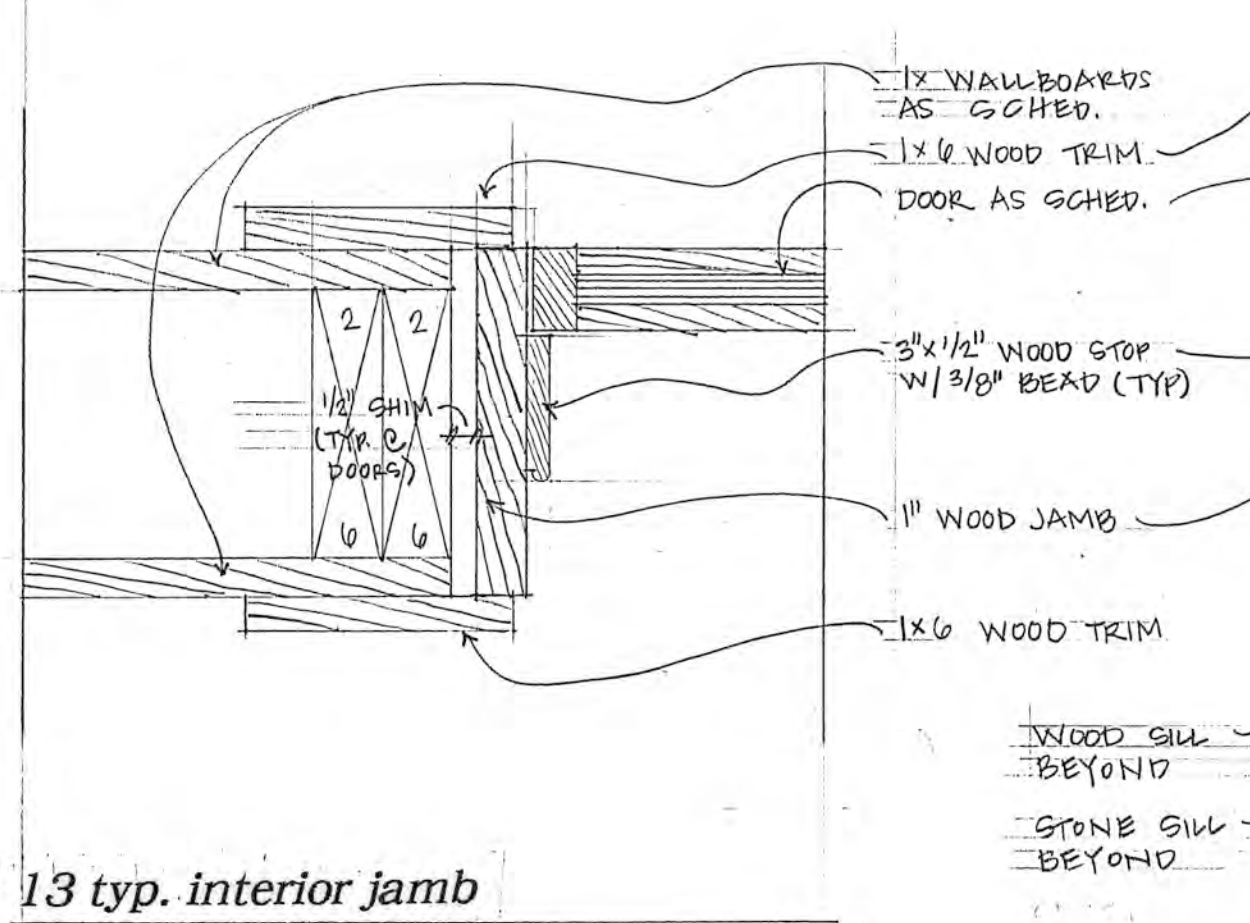
8 head & sill at dormer



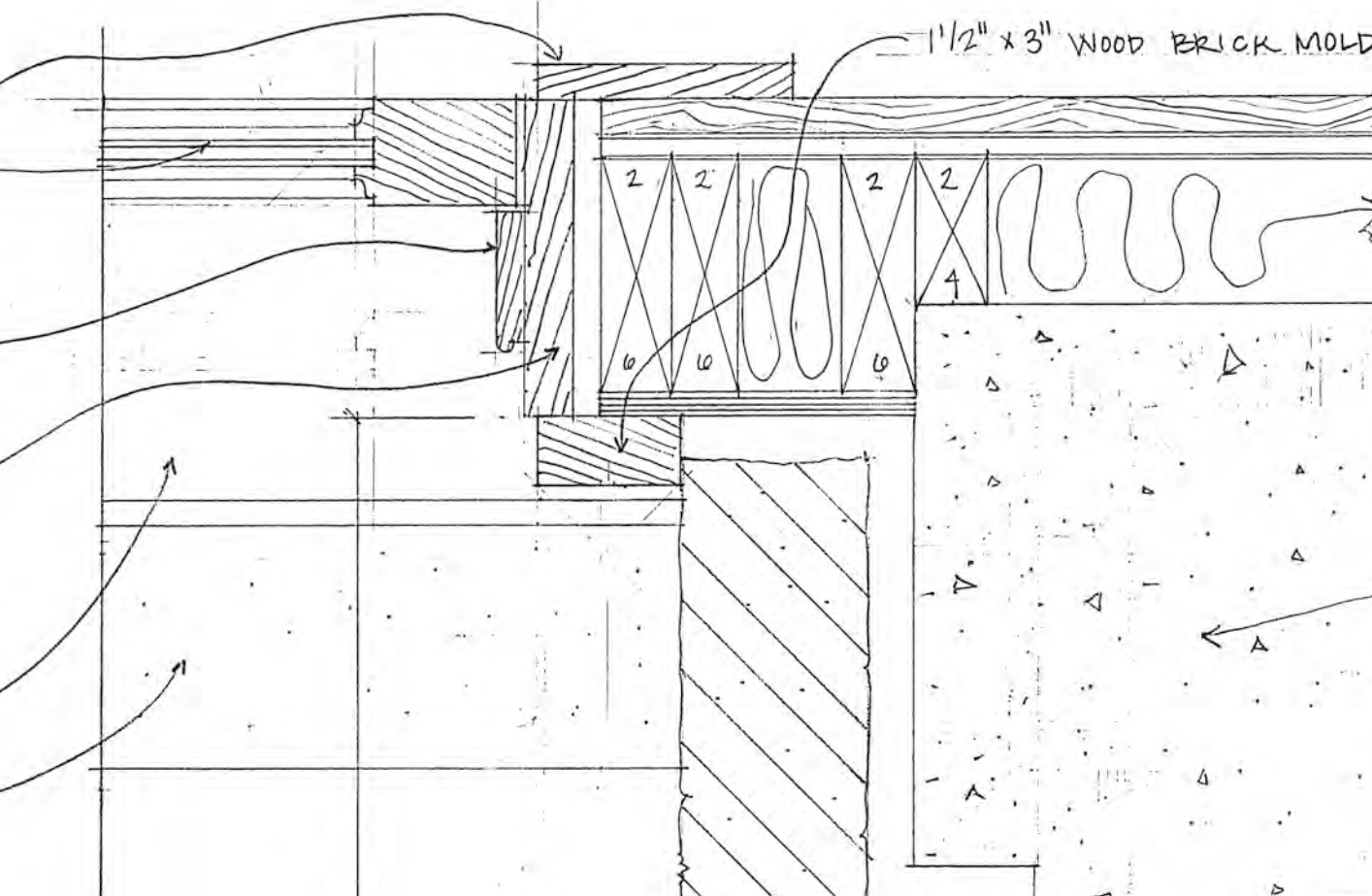
9 jamb at bedroom 1, 2 sim



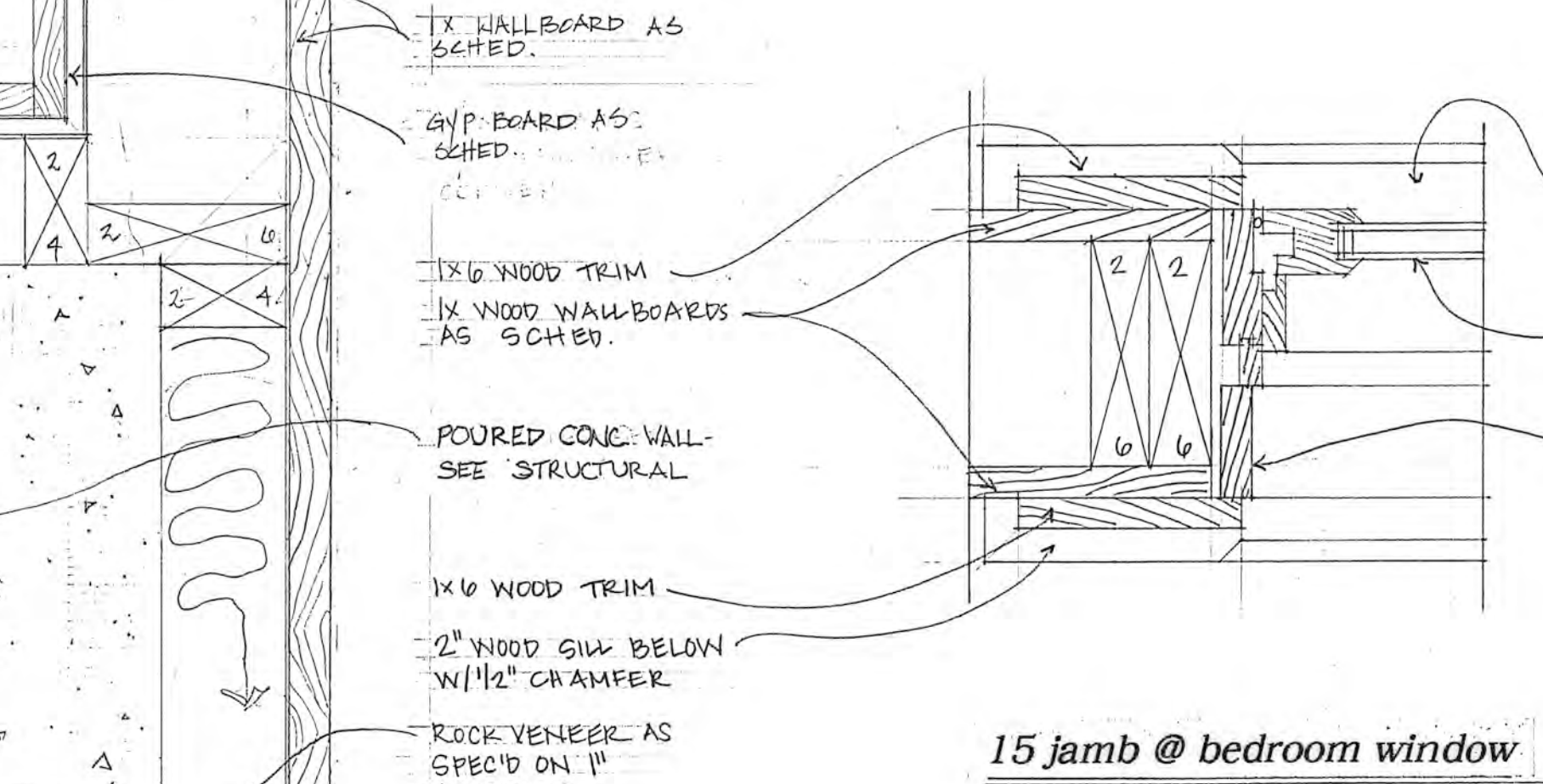
10 sill at bedroom 1 door, 2 sim



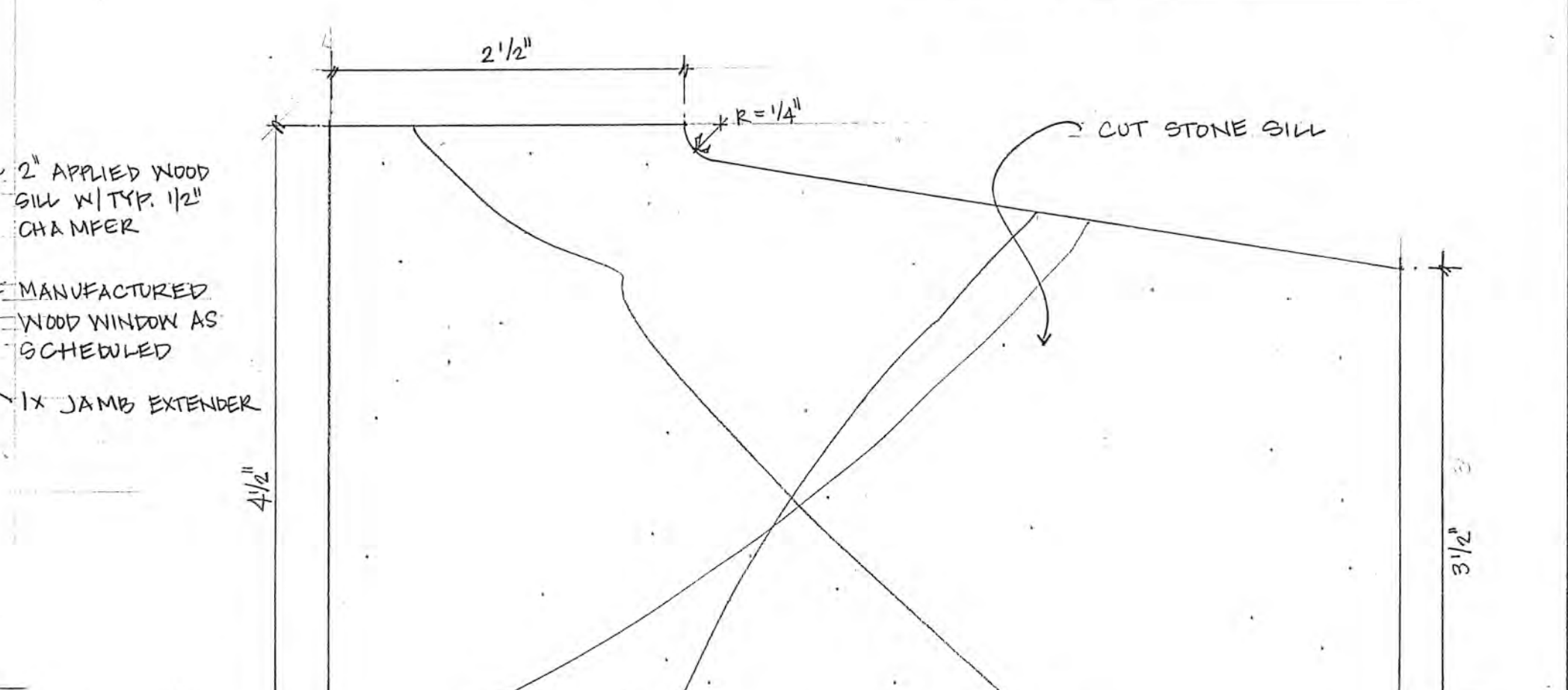
13 typ. interior jamb



8 head & sill at dormer



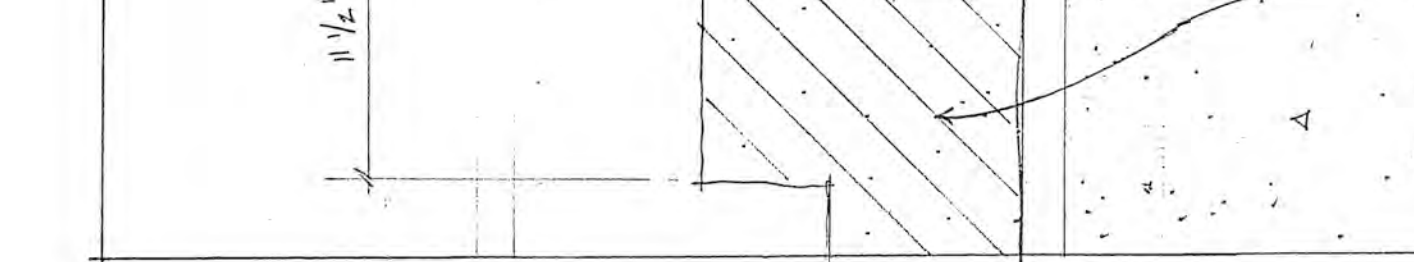
15 jamb @ bedroom window



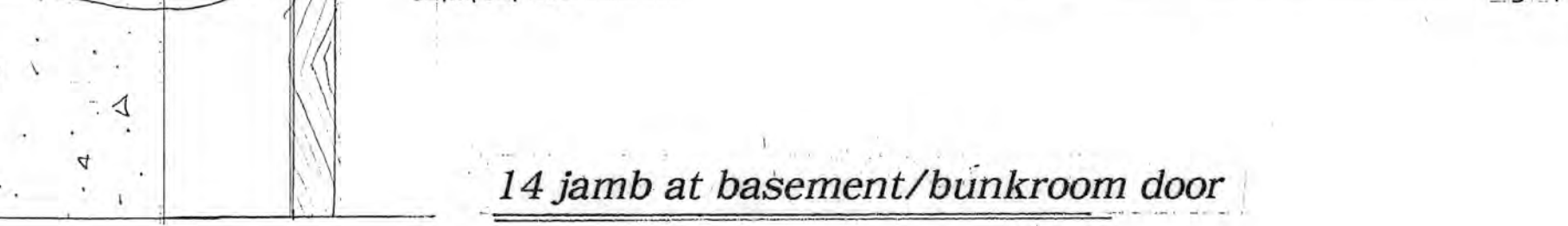
12 head & sill at typ. double hung window



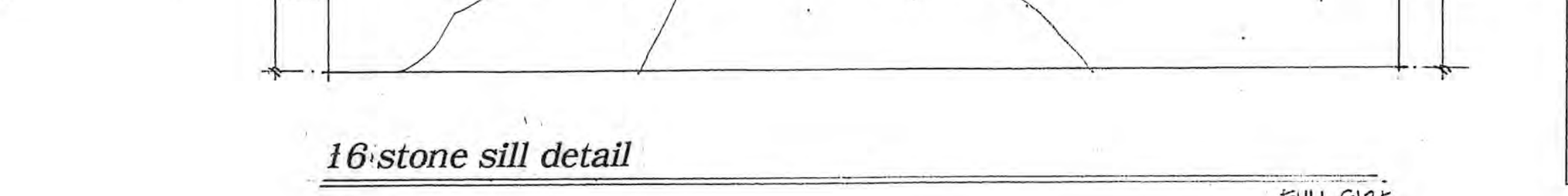
13 typ. interior jamb



8 head & sill at dormer



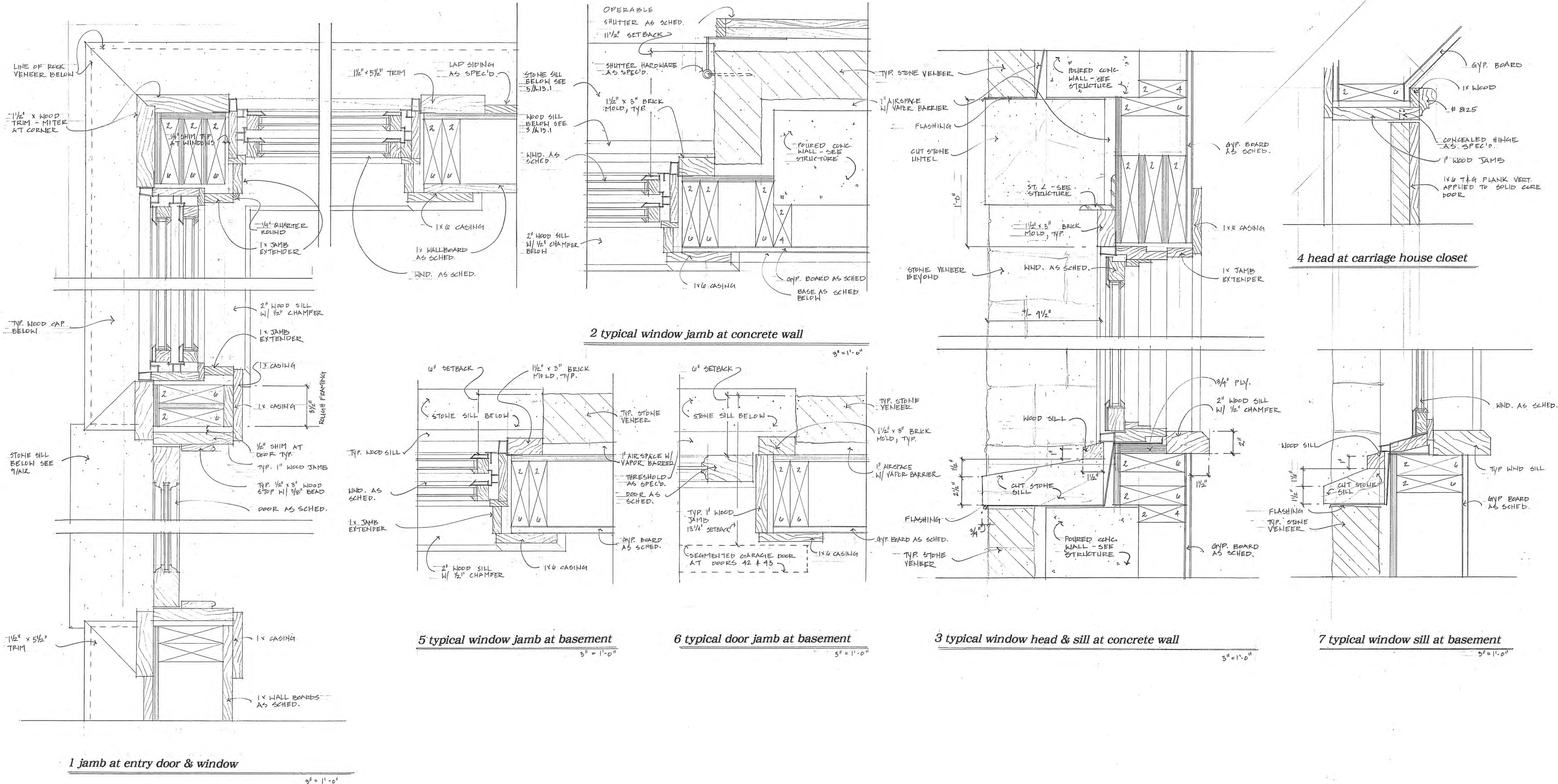
15 jamb @ bedroom window



12 head & sill at typ. double hung window

14 jamb at basement/bunkroom door

16 stone sill detail



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ARCHITECTURE

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PROJECT:

a new residence
for
Melanie &
Parker Duffey

Lot 344R
Mountain Village, CO

DATE: November 3, 2021
April 20, 2022

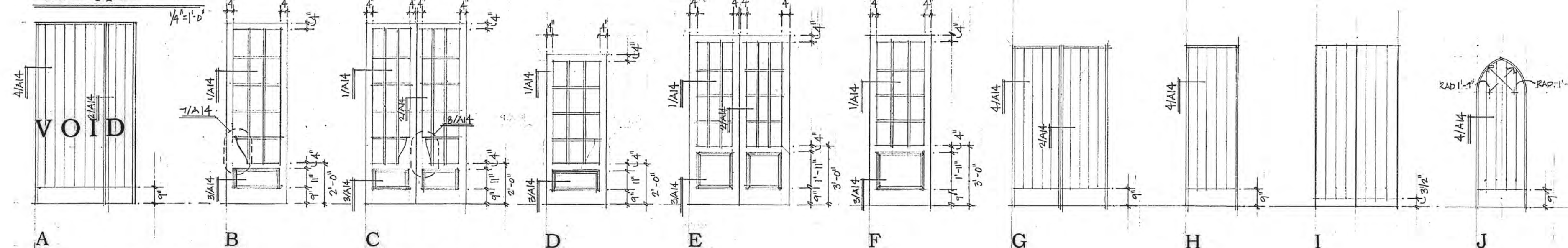
TITLE:
door and window details

SHEET No:
A13.1

door schedule

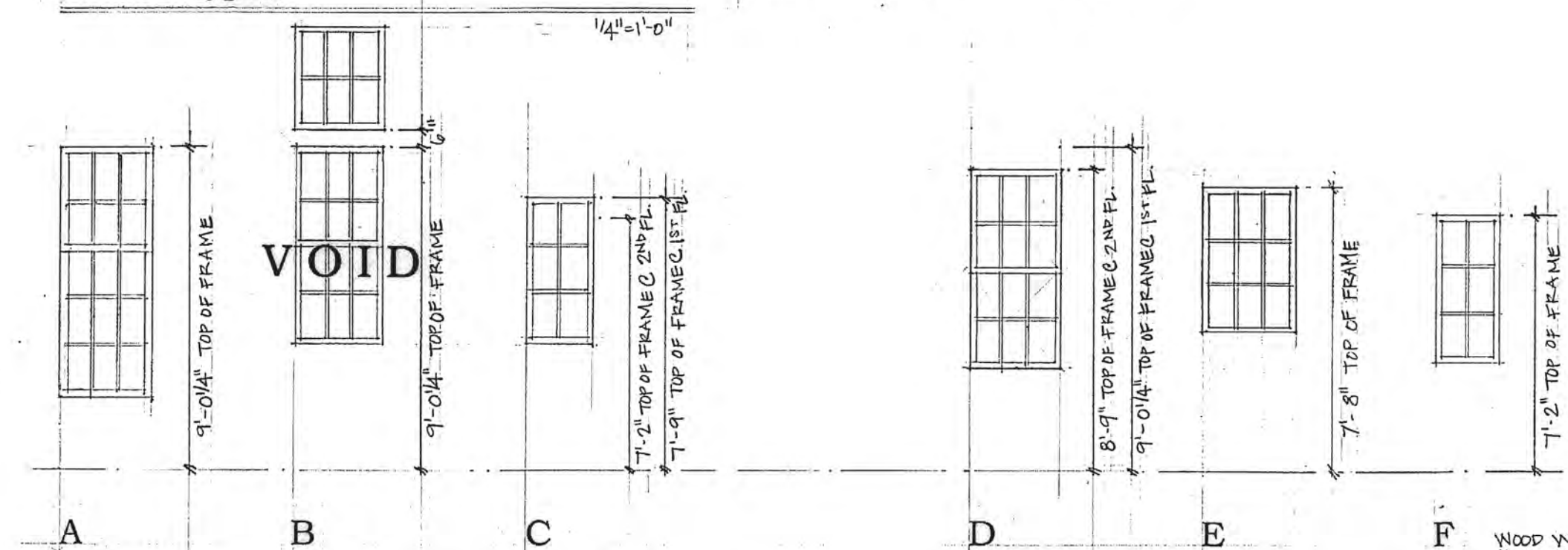
No.	size	type	thick.	description
1	36 x 96	B	2 1/4"	WOOD & GLASS / 15 LITE
2	48 x 80	H	1 3/4"	VERT. WOOD PLANK
3	48 x 80	G	1 3/4"	VERT. WOOD PLANK / 2 LEAF
4	24 x 80	H	1 3/4"	VERT. WOOD PLANK
5	24 x 80	H	1 3/4"	VERT. WOOD PLANK
6	48 x 80	G	1 3/4"	VERT. WOOD PLANK / 2 LEAF
7	24 x 80	H	1 3/4"	VERT. WOOD PLANK
8	48 x 80	I	1 3/4"	VERT. WOOD PLANK TO MATCH WALL / 2 LEAF
9	48 x 80	I	1 3/4"	VERT. WOOD PLANK TO MATCH WALL / 2 LEAF
10	48 x 80	C	1 3/4"	VERT. WOOD PLANK / 2 LEAF
11	52 x 96	C	2 1/4"	WOOD & GLASS / 2 LEAF / 15 LITE EA. LEAF
12	36 x 96	K	2 1/4"	WOOD & SCREEN DOOR
13	36 x 96	G	1 3/4"	VERT. WOOD PLANK / 2 LEAF / POCKET
14	36 x 96	B	2 1/4"	WOOD & GLASS / 15 LITE
15	24 x 72	J	1 3/4"	VERT. WOOD PLANK / GOTHIC ARCH PROFILE
16	24 x 72	H	1 3/4"	VERT. WOOD PLANK
17	24 x 72	H	1 3/4"	VERT. WOOD PLANK
18	52 x 80	E	2 1/4"	WOOD & GLASS / 2 LEAF / 12 LITE EA. LEAF
19	24 x 72	J	1 3/4"	VERT. WOOD PLANK / GOTHIC ARCH PROFILE
20	24 x 72	H	1 3/4"	VERT. WOOD PLANK
21	24 x 72	H	1 3/4"	VERT. WOOD PLANK
22	52 x 80	E	2 1/4"	WOOD & GLASS / 2 LEAF / 12 LITE EA. LEAF
23	36 x 72	D	2 1/4"	WOOD & GLASS / 12 LITE
24	52 x 72	D	2 1/4"	WOOD & GLASS / 2 LEAF / 12 LITE EA. LEAF
25	52 x 72	D	2 1/4"	WOOD & GLASS / 2 LEAF / 12 LITE EA. LEAF
26	52 x 72	D	2 1/4"	WOOD & GLASS / 2 LEAF / 12 LITE EA. LEAF
27	52 x 72	D	2 1/4"	WOOD & GLASS / 2 LEAF / 12 LITE EA. LEAF
28	24 x 72	J	1 3/4"	VERT. WOOD PLANK / GOTHIC ARCH PROFILE
29	24 x 72	J	1 3/4"	VERT. WOOD PLANK / GOTHIC ARCH PROFILE
30	24 x 72	G	1 3/4"	VERT. WOOD PLANK / 2 LEAF
31	52 x 72	H	1 3/4"	VERT. WOOD PLANK
32	24 x 72	H	1 3/4"	VERT. WOOD PLANK
33	24 x 72	H	1 3/4"	VERT. WOOD PLANK
34	24 x 72	H	1 3/4"	VERT. WOOD PLANK
35	24 x 72	H	1 3/4"	VERT. WOOD PLANK
36	24 x 72	H	1 3/4"	VERT. WOOD PLANK
37	24 x 72	H	1 3/4"	VERT. WOOD PLANK
38	24 x 72	H	1 3/4"	VERT. WOOD PLANK
39	36 x 80	H	2 1/4"	VERT. WOOD PLANK
40	24 x 72	H	1 3/4"	VERT. WOOD PLANK
41	24 x 72	H	1 3/4"	VERT. WOOD PLANK
42	72 x 80	K	2 1/4"	VERT. WOOD PLANK / SEGMENTED / APPLIED TO HEAVY DUTY GARAGE DOOR
43	72 x 80	K	2 1/4"	VERT. WOOD PLANK / SEGMENTED / APPLIED TO HEAVY DUTY GARAGE DOOR
44	24 x 52	H	1 3/4"	VERT. WOOD PLANK
45	24 x 52	H	1 3/4"	VERT. WOOD PLANK
46	48 x 72	I	1 3/4"	VERT. WOOD PLANK TO MATCH WALL

door types



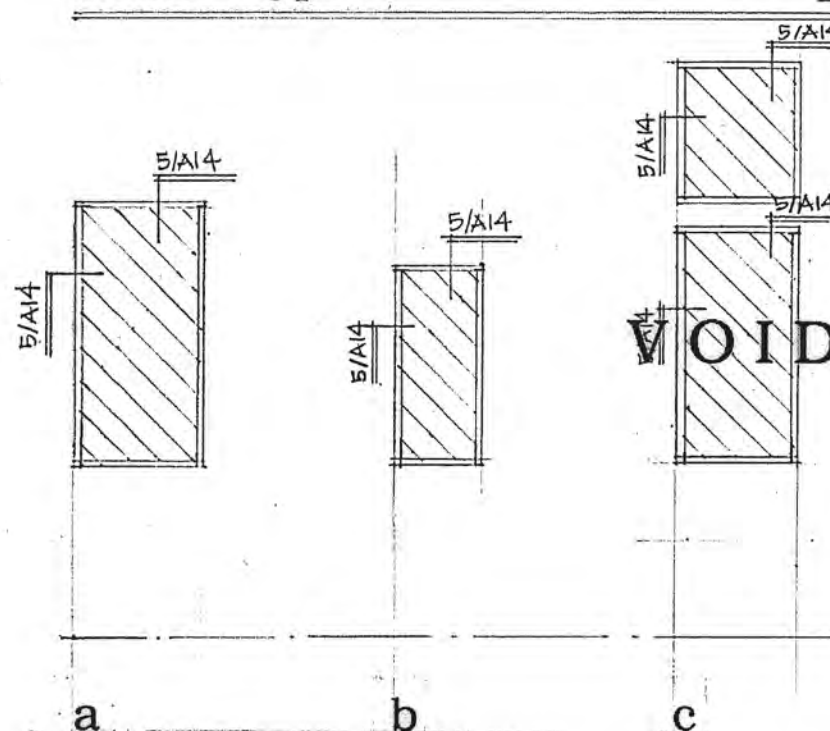
All doors to be set back 6" or 11 1/2" from stone veneer see detail 14/A13 & 8/A13.1.

window types



All windows to be set back 6" or 11 1/2" from stone veneer see detail 2/A13.1 & 5/A13.1.

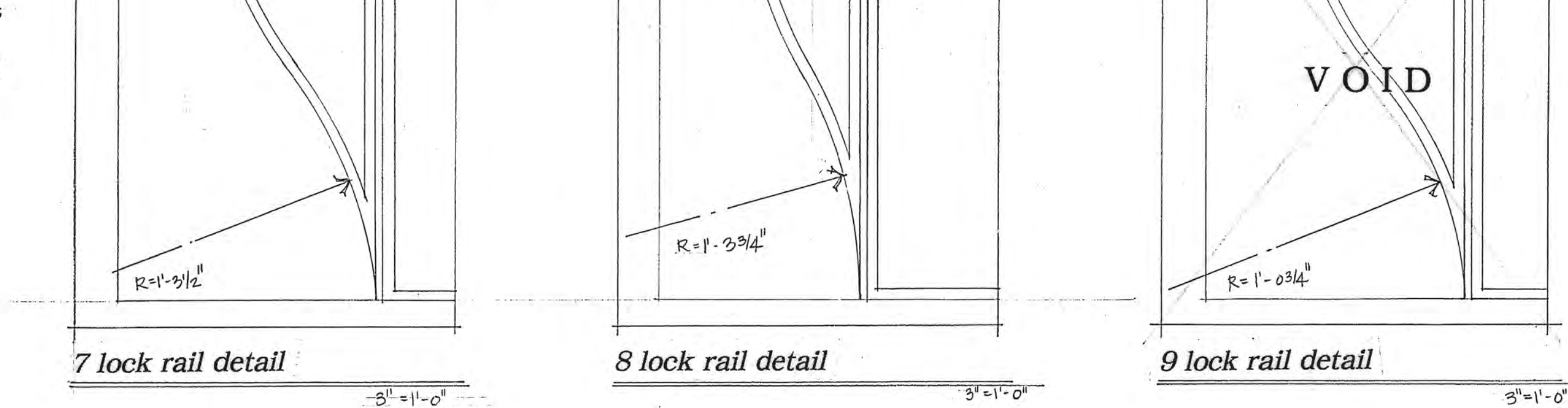
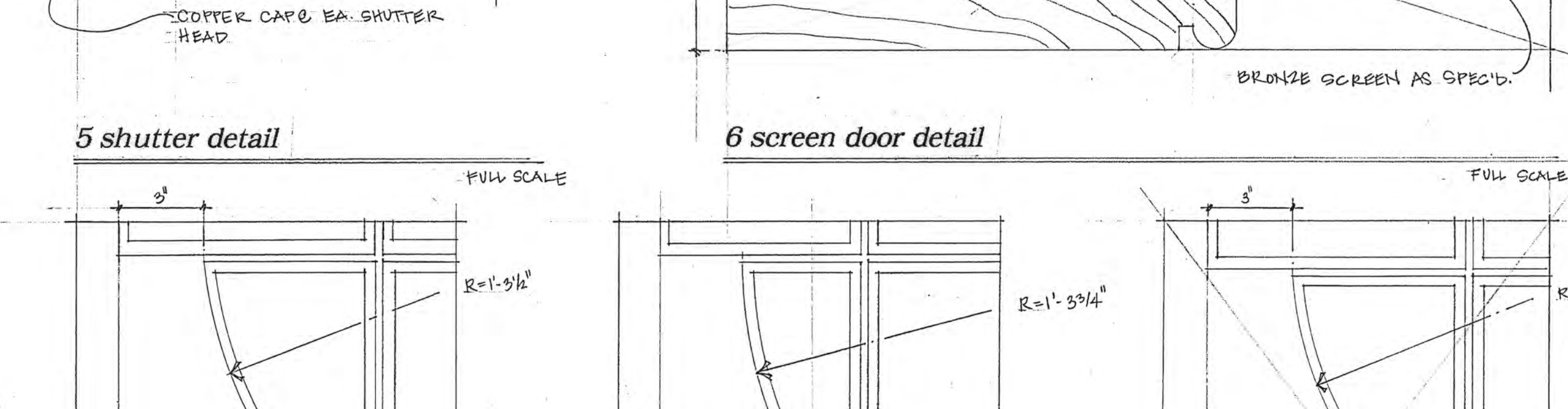
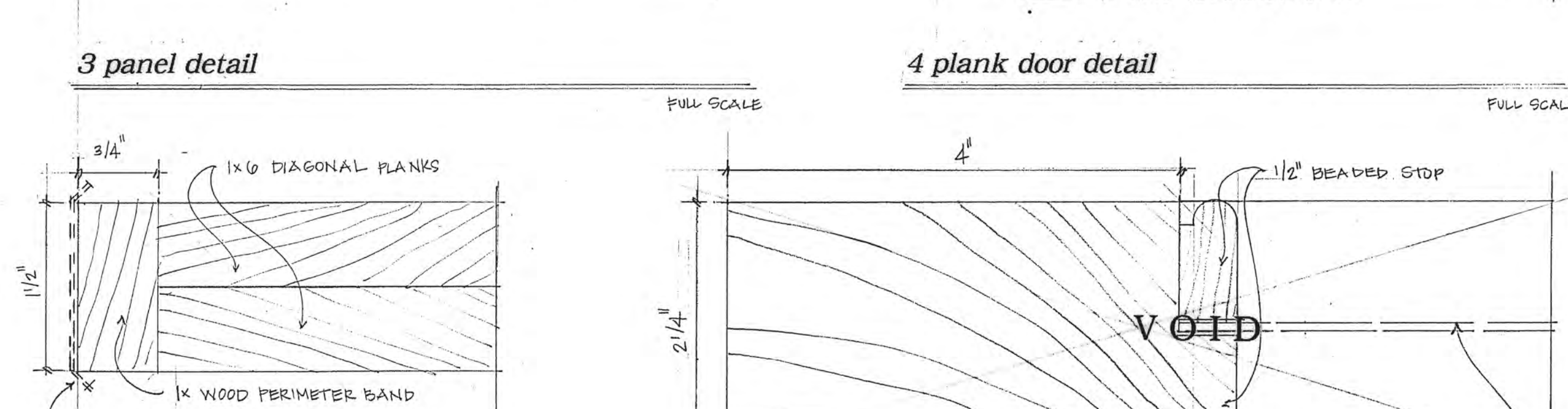
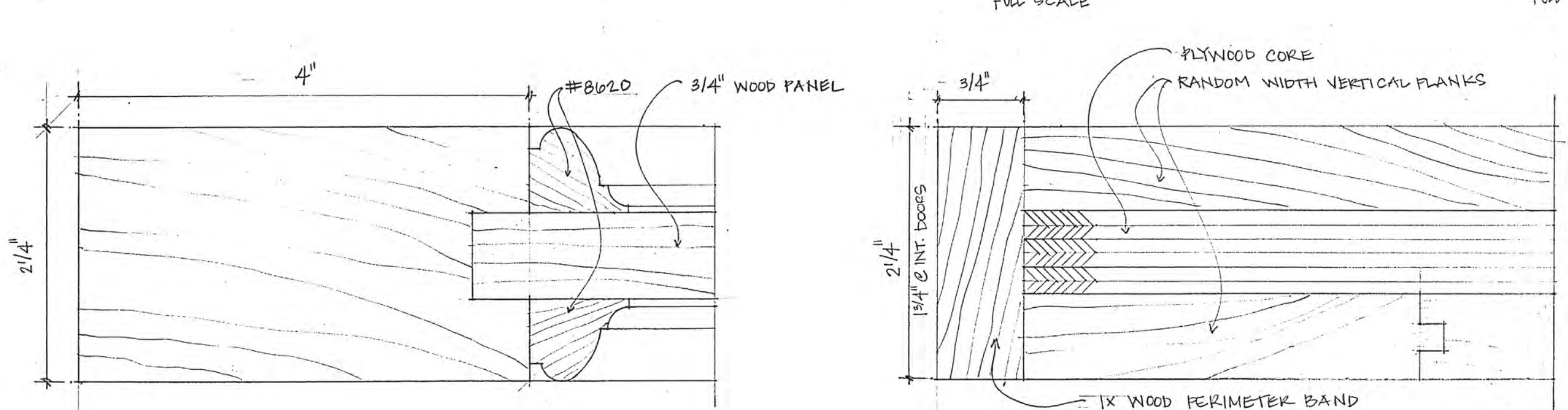
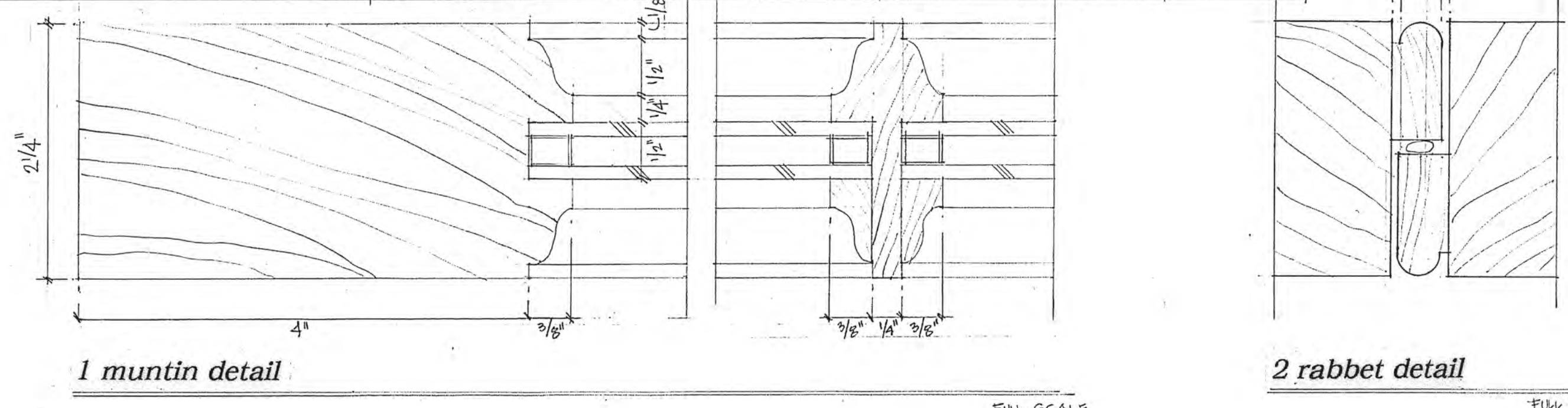
shutter types

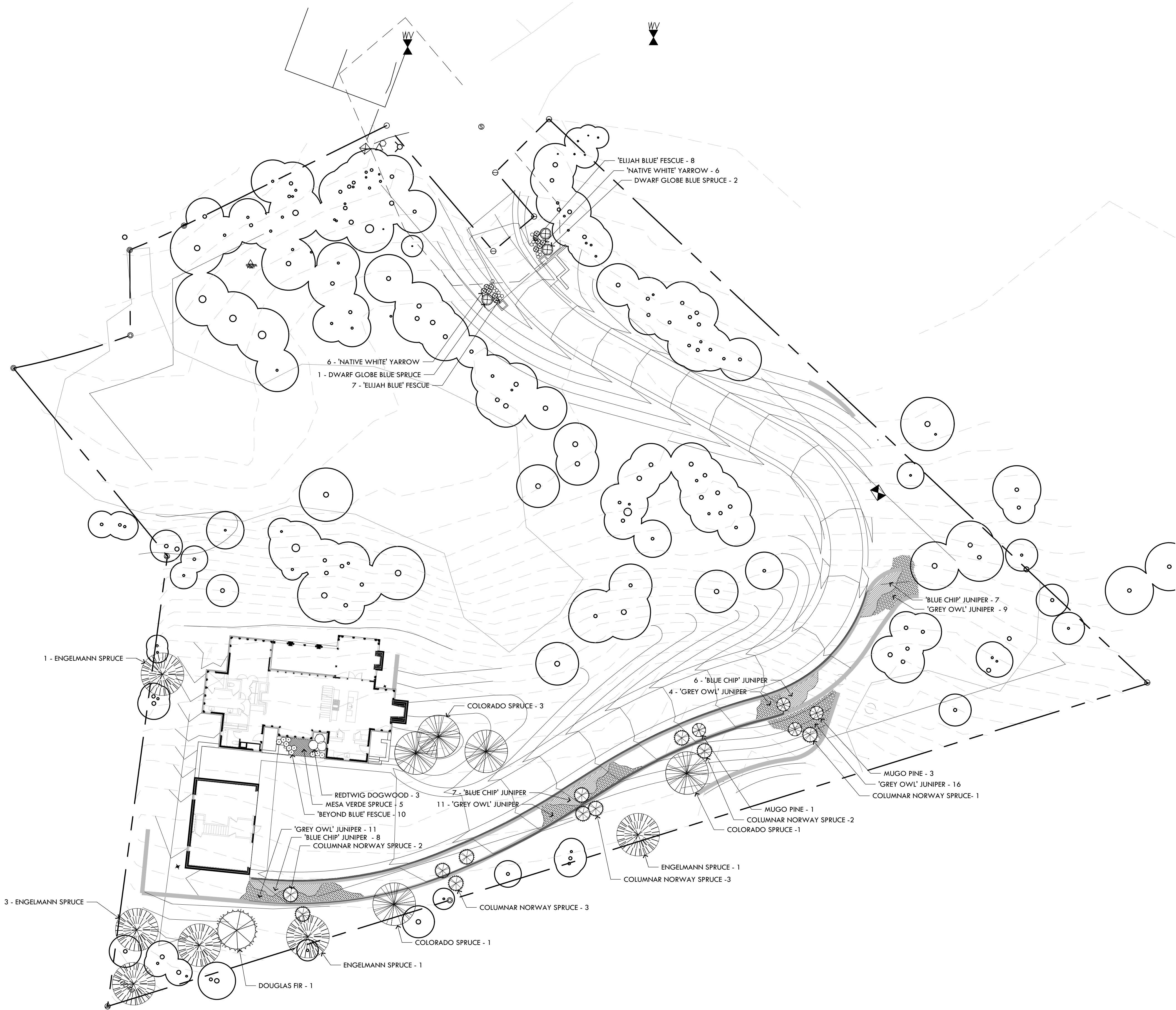


Note: Egress windows required in all sleeping room shall have 5.7 sq. ft. of clear open able area except grade floor openings may have a min. 5 sq. ft. of clear open able area.

finish schedule

room name	floor	base	walls	ceiling	crown	clg. ht.	notes
ENTRY	CONCRETE PAVES BY FIRE-ROCK IN ASHLAR PATTERN	#8021	1X6 HOR. FLUSH T&G / PAINT	6"X8" PURLING W/ 1X8 FLOORING EXPOSED	NONE	9'-0" / 9'-6"	
DINING	"	"	"	1X6 FLUSH T&G / PAINT	#8051	9'-0"	
LIVING	"	"	"	"	NONE	9'-0" / 10'-0"	
KITCHEN	"	"	"	"	"	9'-0"	
IN-GLE-NOOD	"	"	"	"	"	9'-0"	
MUDROOM	CONCRETE PAVES BY FIRE-ROCK IN ASHLAR PATTERN	#8021	1X6 HOR. FLUSH T&G / PAINT	1X6 FLUSH T&G / PAINT	"	9'-0"	
PORCH	"	"	"	"	"	9'-0"	
MASTER CLOSET	"	#8021	"	"	#8029	9'-0"	
GALLERY	"	#8021	1X4 FLUSH W/ WALL BOV	1X4 "V" GROOVE VERT. / PAINT	NONE	12'-0" / 9'-0" CLIP	
MASTER BATH	"	#8021	1X6 HOR. FLUSH T&G / PAINT	"	#8100	9'-0"	
MASTER H.C.	"	"	"	"	"	9'-0"	
MASTER SHOWER	MARBLE TILE	NONE	MARBLE TILE	MARBLE TILE	"	9'-0"	
MASTER BEDROOM	1X8 OAK	#8051	1X6 HOR. FLUSH T&G / PAINT	1X6 FLUSH T&G / PAINT 1/2X6 PURLING	"	9'-0"	
PORCH	CONCRETE PAVES	NONE	8X8 POST	2X6'S @ 16" O.C. W/ 2X4 "V" GROOVE DECKING	"	7'-0" / 9'-0"	
BEDROOM 1	1X6 OAK	#8021	1X6 HOR. FLUSH T&G / PAINT	1X6 FLUSH T&G / PAINT	NONE	9'-0" / 10'-0" CLIP	
BATH 1	MARBLE TILE	"	"	"	NONE	9'-0" / 10'-0" CLIP	
CLOSET 1	1X6 OAK	#8021	1X6 HOR. FLUSH T&G / PAINT	"	"	9'-0" / 10'-0" CLIP	
BEDROOM 2	"	"	"	"	"	9'-0" / 10'-0" CLIP	
BATH 2	MARBLE TILE	"	"	"	"	9'-0" / 10'-0" CLIP	
CLOSET 2	1X6 OAK	#8021	1X6 HOR. FLUSH T&G / PAINT	"	"	9'-0" / 10'-0" CLIP	
PLAYROOM	POLISHED CONCRETE SLAB	1X8 W/ #801 CAP	GYP. BOARD / 1X6 HOR. FLUSH T&G / PAINT	GYP. BOARD	NONE	9'-0"	
KID'S ROOM	"	1X8	GYP. BOARD / 1X6 VERT. FLUSH T&G / PAINT	"	"	9'-0"	
EXERCISE YESTERDAY	"	1X8 W/ #802 CAP	GYP. BOARD	"	"	9'-0"	
EXERCISE	"	"	"	"	"	9'-0"	
BATH 3	"	"	GYP. BOARD / MARBLE TILE @ SHOWER	"	"	9'-0"	
LAUNDRY	"	"	GYP. BOARD	"	"	9'-0"	
BEDROOM 3	"	"	"	"	"	9'-0"	
BATH 3	"	"	GYP. BOARD / MARBLE TILE @ SHOWER	"	"	9'-0"	
CLOSET 3	"	"	"	"	"	9'-0"	
MEDIA ROOM	"	"	GYP. BOARD	"	"	9'-0"	
ROTE COCHERE	CONCRETE SLAB	NONE	LAP SIDING	2X4 1X8 GROOVE DECKING	#8051	11'-3"	
GARAGE	CONCRETE SLAB	1X6	GYP. BOARD	"	NONE	11'-3"	
GUEST ENTRY	POLISHED CONCRETE SLAB	"	"	"	"	9'-0"	
GUEST SUITE	1X6 OAK	"	"	"	"	9'-0" / 10'-0" CLIP	
GUEST BATH	MARBLE TILE	"	"	"	"	9'-0" / 10'-0" CLIP	





GENERAL PLANTING NOTES

1. LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
2. PLANTS SHALL BE WELL FORMED, NO. 1 GRADE OR BETTER NURSERY STOCK AND SHALL MEET THE APPLICABLE STANDARDS NOTED HEREIN OR SHALL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
3. STAKE OUT ALL TREE LOCATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. LOCATE ALL TREES AS SHOWN ON PLAN.
4. COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
5. ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
6. PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND.
7. PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, OBTAINED FROM THE SAME SOURCE.
8. ANY CHANGES IN PLANT MATERIAL SIZE, QUANTITY, SPECIES OR VARIETY MUST BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. MULCH OR PLANTING BED DRESSING SHALL BE PLACED IN ALL PLANTING AREAS AS SPECIFIED. MULCH OR PLANTING BED SHALL NOT BE PLACED WITHIN SIX (6) INCHES OF TREE TRUNKS. MULCHING SHOULD BE REPEATED ANNUALLY DURING THE AUTUMN TO A THREE (3) INCH DEPTH.
10. ALL TREES MUCH BE SOURCES FROM A REGION COMPARABLE IN CLIMATE TO THE HIGH ROCKIES (I.E. WY, ID, CO, UT, MT)
11. TREE SOIL SHOULD HAVE A MINIMUM DEPTH OF 3 FEET (3'). BOTH TOPSOIL AND SUBSOIL LAYERS SHALL BE SANDY LOAM. THE TOP SOIL SHALL BE AT LEAST 6 INCHES (6") AND HAVE 5 PERCENT (5%) ORGANIC MATTER BY WEIGHT AND SUBSOIL SHALL HAVE AT LEAST ONE TO THREE PERCENT (1 - 3%) ORGANIC MATTER BY WEIGHT.

LANDSCAPE MATERIALS AND PLANTS LIST

QUANTITY	PLANT / MATERIAL NAME AND DESCRIPTION
10	'Beyond Blue' Fescue (Festuca glauca 'Beyond Blue') 3 gallon container, 9"-12" height, 12"-18" spread, dense, matched
28	'Blue Chip' Juniper (Juniperus horizontalis 'Blue Chip') 3 gallon container, dense, matched
5	Colorado Spruce (Picea pungens 'Glauca') B&B, 8'-10' height, heavily branched, dense, matched, limbed up per fire mitigation code
11	Columnar Norway Spruce (Picea abies 'Cupressina') B&B, 6'-8' height, heavily branched, skirted to ground, matched
1	Douglas Fir (Pseudotsuga menziesii) B&B, 6'-8' height, heavily branched, dense, limbed up per fire mitigation code
3	Dwarf Globe Blue Spruce (Picea pungens 'Globosa') 5 gallon container, dense, matched
15	'Elijah Blue' Fescue (Festuca glauca 'Elijah Blue') 1 gallon container, dense, matched
6	Engelmann Spruce (Picea engelmannii) B&B, 6'-8' height, heavily branched, dense, limbed up per fire mitigation code
51	'Grey Owl' Juniper (Juniperus virginiana 'Grey Owl') 7 gallon container, dense, matched
5	Mesa Verde Spruce (Picea pungens 'Mesa Verde') 3 gallon container, dense, matched
4	Mugo Pine (Pinus mugo 'Tannenbaum') B&B, 4'-5' height, dense, skirted to ground
12	'Native White' Yarrow (Achillea millefolium) 1 gallon container, matched
3	Redtwig Dogwood (Cornus sibirica) 7 gallon container, heavily branched, matched
TBD	Subalpine Meadow Mix seed for all disturbed areas (a blend of 70% Subalpine Grasses and 30% Subalpine Wildflowers). Contractor to verify quantities based on area of disturbance.

LANDSCAPE ARCHITECT



668 S. FOSTER DRIVE, SUITE 101
BATON ROUGE, LOUISIANA 70806
225.924.1265 225.709.0748
mcknight-la.com

CONSULTANT

KEY PLAN

CLIENT PROJECT NO.: 22.28

CLIENT NAME AND ADDRESS

111 ROCKY RD.
MOUNTAIN VILLAGE, CO

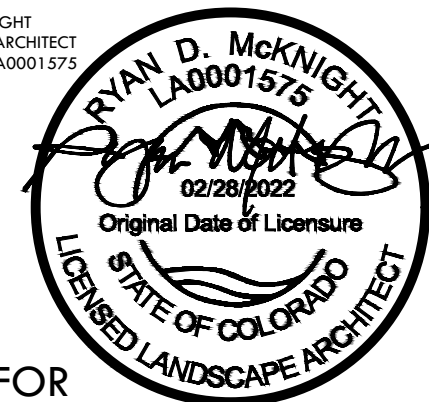
PROJECT NAME

DUFFEY RESIDENCE
MOUNTAIN VILLAGE

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SEAL

RYAN MCKNIGHT
LANDSCAPE ARCHITECT
CO REG. # LA0001575



NOT FOR
CONSTRUCTION

DATE	DESCRIPTION
04.20.2022	DESIGN REVIEW BOARD SUBMITTAL

MIA PROJECT NO.: 22.28

DRAWN BY: ACR

CHECKED BY: XXX

SHEET TITLE

PLANTING PLAN

SHEET NO.:

Wildfire Mitigation Notes:
Wildfire Mitigation will be performed according to the Town of Mountain Village requirements, CDC Chapter 17.6. Zones 1, 2, and 3 are identified in plan.

D. The following requirements shall be followed in creating the required wildfire mitigation plan:

i. Zone 1 is the area that consists of fifteen feet (15') around the building as measured from the outside edge of the building's dripline, including decks, planters or patios attached to the building. The following provisions shall apply in Zone 1:

1. (a) All slash and flammable vegetation as identified by staff shall be removed from Zone 1.
2. (b) All trees and shrubs located within Zone 1 shall be removed.
3. (c) The following exceptions apply to Zone 1:

1. (i) A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation's drip edge rather than from the building plane (so the tree is considered part of or an extension of the structure), and provided the distance is not limited by a lot line.
2. (ii) Flammable vegetation shall be allowed in planters attached to the building so long as the planter is within ten feet (10') of a building, and vegetation is not planted directly beneath windows or next to foundation vents.
4. (d) In the event Zone 1 encroaches upon the general easement, the review authority shall allow the creation of defensible space as required by this section.

ii. Zone 2 is the area that extends from the outer edge of Zone 1 for the distance specified in Figure 6-1, Fire Mitigation Zones, based on slope, to the lot line, whichever is less.

The following provisions shall apply in Zone 2:

(iii) Dominant and codominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown-to-crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown-to-crown separation area.

4. (iv) All stressed, diseased, dead or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
5. (v) Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub-to-shrub.

(A) The following exceptions apply to Zone 2:

1. (i) Groupings of trees or shrubs may be allowed provided that all of the crowns in such group of trees or the edge of the shrubs are spaced ten feet (10') from crown-to-crown or from edge of shrub to any trees or shrubs outside of such grouping.
2. (ii) Aspens, narrowleaf cottonwoods, willows and other trees and shrubs listed in CSU Cooperative Extension Publication 6.305, Firewise Plant Materials as amended from time to time, may be spaced closer than the ten foot (10') crown-to-crown separation as approved by staff.
3. (iii) Closer spacing of any trees may be allowed by staff upon a determination that the required ten foot (10') crown-to-crown spacing would put the remaining trees at undue risk of wind-throw or snow breakage.
4. (iv) Tree removal for the creation of defensible space, if such tree removal is determined to be impractical by the Town due to steep slopes, wetland or other environmental constraints, and other mitigation is provided.

3. (c) Trees remaining within Zone 2 shall have branches pruned to a height of ten feet (10'), but notwithstanding said height requirement, branches need not be pruned to more than one-third (1/3) of the tree height with the following exceptions:

1. (i) Aspen trees; and
2. (ii) Isolated spruce and fir trees.

4. (d) In the event that Zone 1 or 2 extends upon the general easement, the review authority shall allow the removal of trees to implement the wildfire mitigation plan.
5. (e) Chipped wood and small timber may be spread throughout either Zone 2 or Zone 3 provided the wood chips have a maximum depth of two to three inches (2" - 3") and small timber has a diameter of three inches (3") or less and is cut up into lengths that are three feet (3') or less.

iii. Zone 3 is the area extending beyond Zone 2 to the edge of the lot subject to development. In Zone 3, all diseased, beetle infested, dead or dying trees, as identified by staff, shall be removed except for standing dead trees (aka tree snags) that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.

(a) For lots greater than five (5) acres in size, the Town shall only require that Zone 3 be implemented for a distance of 500 feet from the outside edge of Zone 2.

A lot owner may propose to implement Zone 3 for all of the lot.

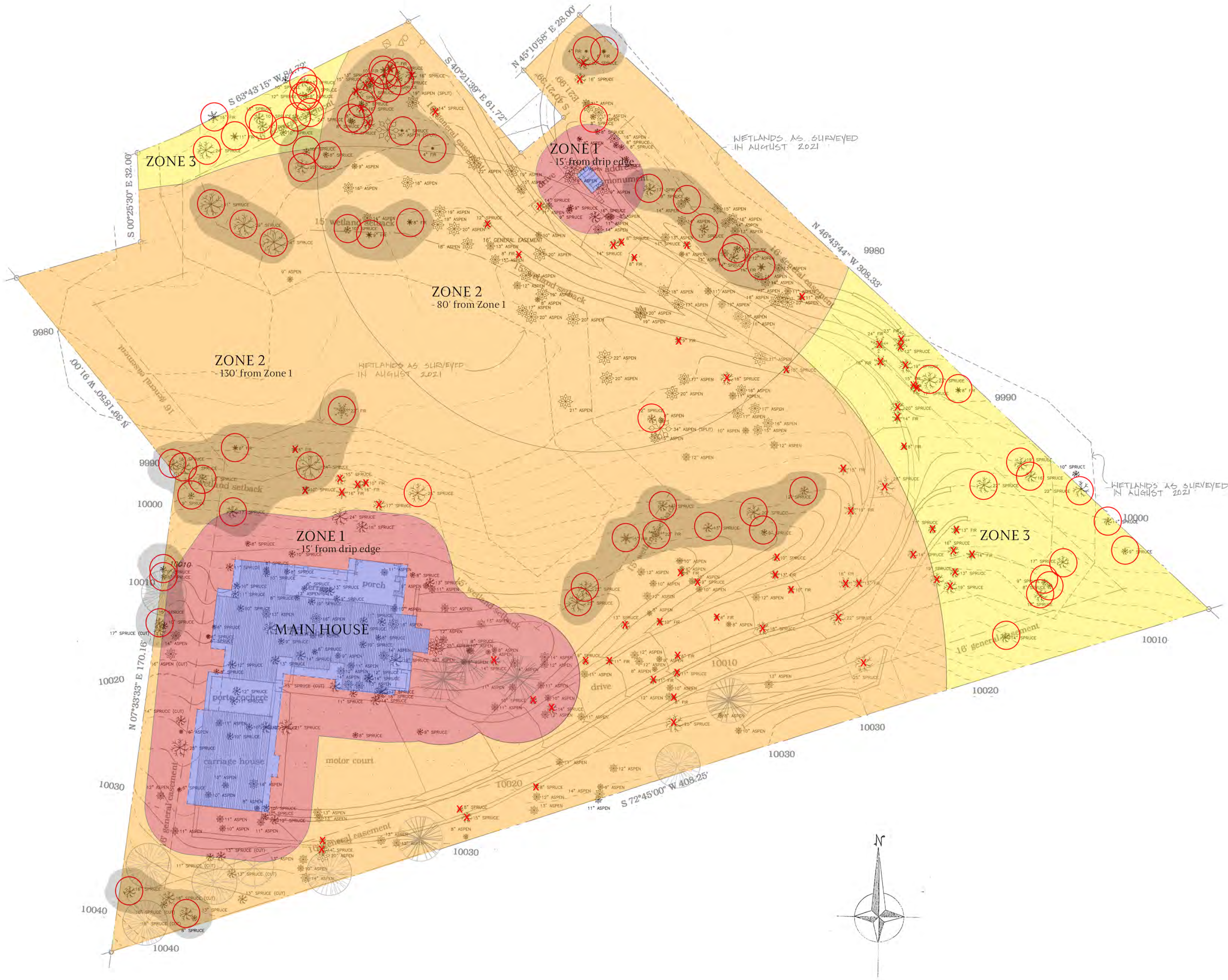
E. Firewood may only be stored on a lot that has a solid fuel burning device permit issued by the Town that meets the following limitations:

- i. Indoor storage can only occur within an enclosed room that is a part of the primary structure on the lot.
- ii. Outdoor storage shall only occur in the rear yard.
- iii. Up to ten (10) cubic feet of outdoor firewood storage may be located in Zone 1 or Zone 2.
- iv. Outdoor firewood storage larger than ten (10) cubic feet shall have a minimum thirty foot (30') distance from the structure.
- v. Outdoor firewood storage shall be screened from view from surrounding lots.

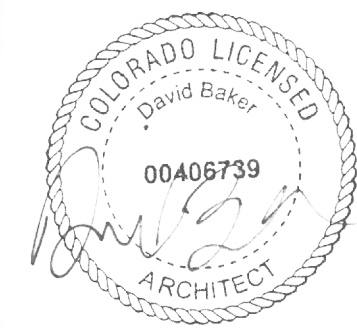
F. Prior to the issuance of any certificate of occupancy or certificated of completion, staff shall inspect the lot affected by the fire mitigation plan to ensure that such plan has been implemented in accordance with the approved wildfire mitigation plan.

G. The wildfire mitigation plan shall be maintained by the lot owner as required by this section.

Limits of Disturbance:
In addition to Fire Mitigation Zones, all trees within the Limits of Disturbance shall be removed.



- Structure
- Zone 1 - 15' from drip edge
- Zone 2 - 130' from Zone 1
- Zone 3
- Grouping of trees to be saved with 16' crown spacing
- Tree to be removed
- Tree to be saved
- Aspen trees to be removed as required in Zone 2 and Zone 3 for drive construction



TIPPET SEASE BAKER
ARCHITECTURE

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PROJECT:

a new residence
for
Melanie &
Parker Duffey

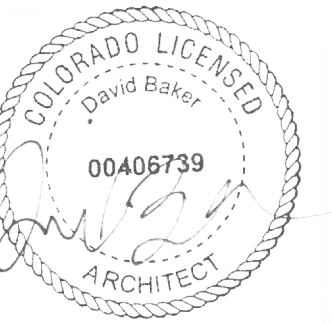
Lot 344R
Mountain Village, CO

DATE: April 20, 2022

TITLE: fire mitigation plan

SHEET NO:

FM1



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PROJECT:

a new residence
for
Melanie &
Parker Duffey

Lot 344R
Mountain Village, CO

DATE: November 3, 2021
April 20, 2022

TITLE: basement electrical

SHEET No:
E1

ELECTRICAL SPECIFICATIONS

NOTE:

This is a standard fixture specification. All fixtures listed below may or may not be specified in this particular project. See drawings for types of fixtures specified.

A. 4" recessed downlight with black coil baffle
Halo H99T w/993P trim and 50W PAR 20 lamp. Use H99ICT at insulated ceilings.

B. 4" recessed low voltage downlight with black coil baffle
Halo H1499T w/1493P and 50W MR16 lamp. Use H1499IC at insulated ceilings.

C. 4" recessed downlight with pinhole aperture
Halo H1499T with 1419P and 50W MR16 lamp. Use H1499IC at insulated ceilings.

D. 4" recessed low voltage downlight with slot aperture
Halo H1499T with 1420P and 50W MR16 lamp. Use H1499IC at insulated ceilings.

E. 4" recessed downlight with lensed shower trim
Halo H99T w/951SLS trim and 50W PAR 20 lamp. Use H99ICT at insulated ceilings.

F. Exhaust Fan
Broan Flex with Cleancover grille AE80K

G. Exterior Wall Mounted Fixture
SPJ-FDL-15 Directional Down Light w/50W MR16 lamp.

H. Ceiling Fan (mount at 8'-0" A.F.F. unless otherwise noted)
Hunter Original 52" Ceiling Fan in 23863 Black Finish, install fan with four blades

I. Carbon Monoxide Detector
Hardwired, to be provided and installed by security system contractor

J. Track light
Progress P6112-09 in brushed nickel.

K. 5" recessed LED closet light with lensed trim
Juno IC920LWDG4 Recessed Housing w/2130W-WH

L. Under-cabinet LED
DanaLite L2 Square extrusion LED

M. 6" recessed closet light with lensed trim
Juno PL618EU w/Juno 20-WH and 18W triple tube (4-pin) CFL lamp. Use Juno ICPL618E at insulated ceilings.

N. 3" uplight/down light wall mounted can
Lumiere Westwood 912 or 912-2 w/50W PAR 20 lamp.

O. Smoke Detector
Hardwired, to be provided and installed by security system contractor

P. Decorative wall sconce (mount at 5'-9" A.F.F. unless otherwise noted)
Provided by owner and installed by contractor

Q. Chandelier or hanging decorative fixture
Provided by owner and installed by contractor

R. Decorative exterior lantern, see specifications and verify mounting height with architect.

S. Well light/landscape light
Lumiere Boca 615 (brass) w/50W MR16 lamp, locate junction box remote.

T. Step light
Progress P-6817 w/25W A-19 lamp

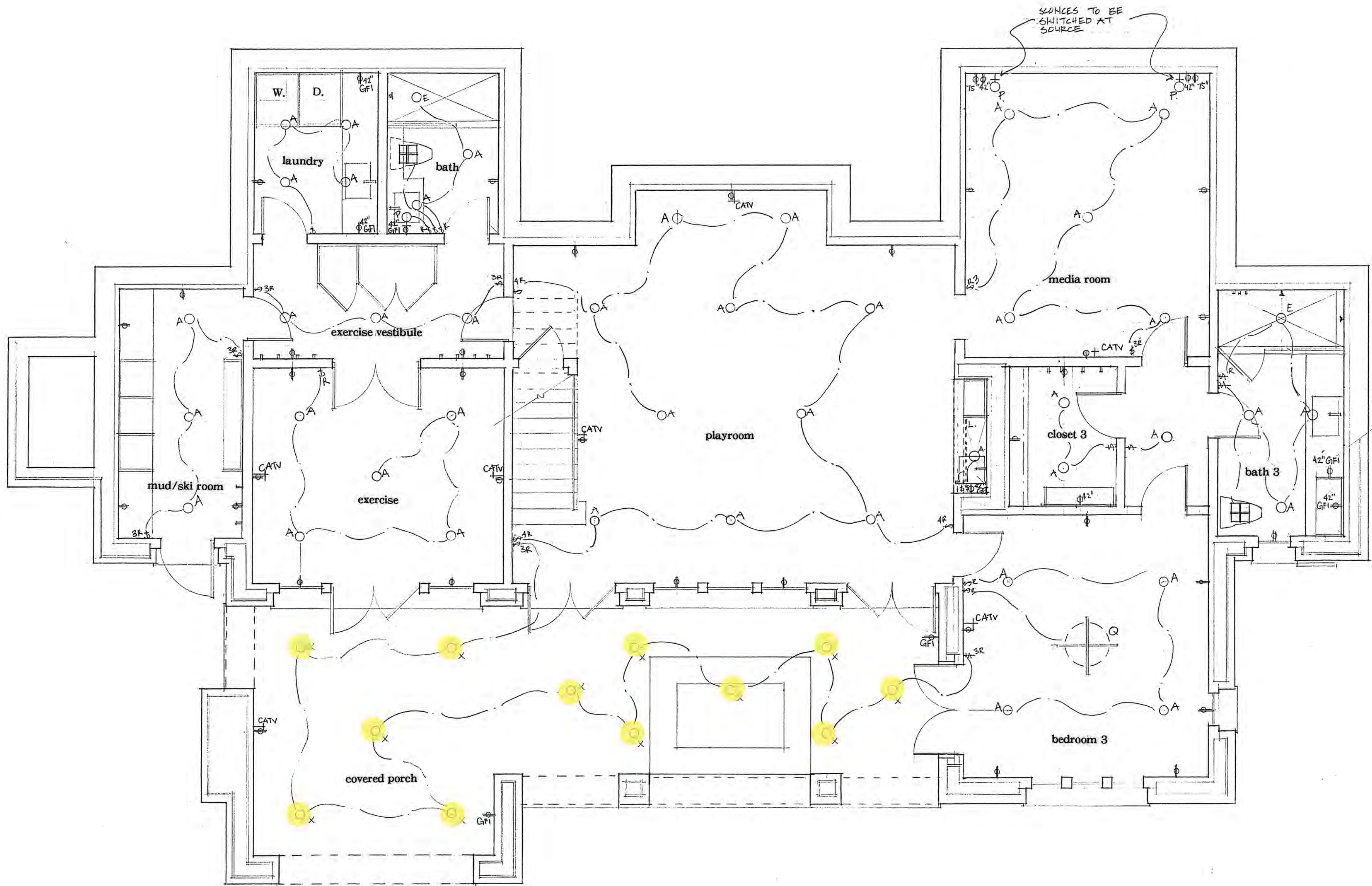
U. Tree light
Progress P5235-31 w/150W PAR 38 lamp.

V. Flood light
Lumiere Westwood 903 w/75 W lamp

W. "Keyless" porcelain socket w/75 W lamp

NOTES:

- Mount all electrical outlets horizontally in baseboard unless noted otherwise. See detail.
- All light switches are to be mounted at 36" A.F.F. unless noted otherwise.
- Bridge frame if necessary to achieve fixture location as shown on drawings.
- Landscape lighting, if specified, is to be located by the Architect & Landscape Designer. For clarity no outlets are shown for any appliances or equipment. This includes but is not limited to Kitchen and Butler's pantry appliances, Bath whirlpool tubs, etc. See floor plans and specifications for locations and requirements.
- All lamps to be floods unless noted otherwise.
- Verify with owner any requirements for security and sound systems.
- Electrical outlets and switches are to be ivory unless otherwise specified.



Exterior Lighting:

Type

Product/Manufacturer

Description

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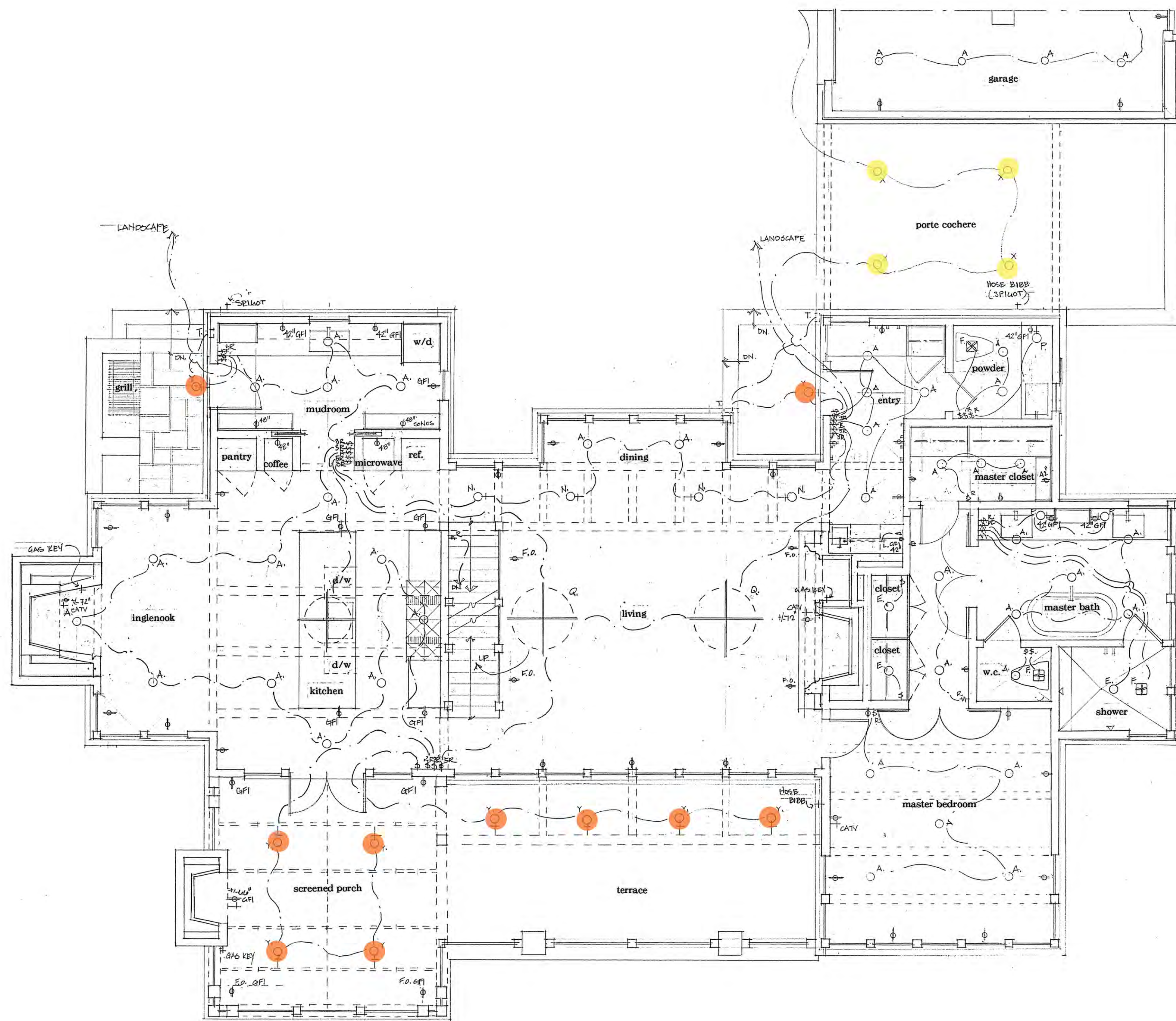
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first floor electrical plan

1/4" = 1' - 0"



TIPPETT SEASE BAKER
ARCHITECTURE

OFFICE: 334-647-1314 TSBAARCHITECTURE.COM

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PROJECT:

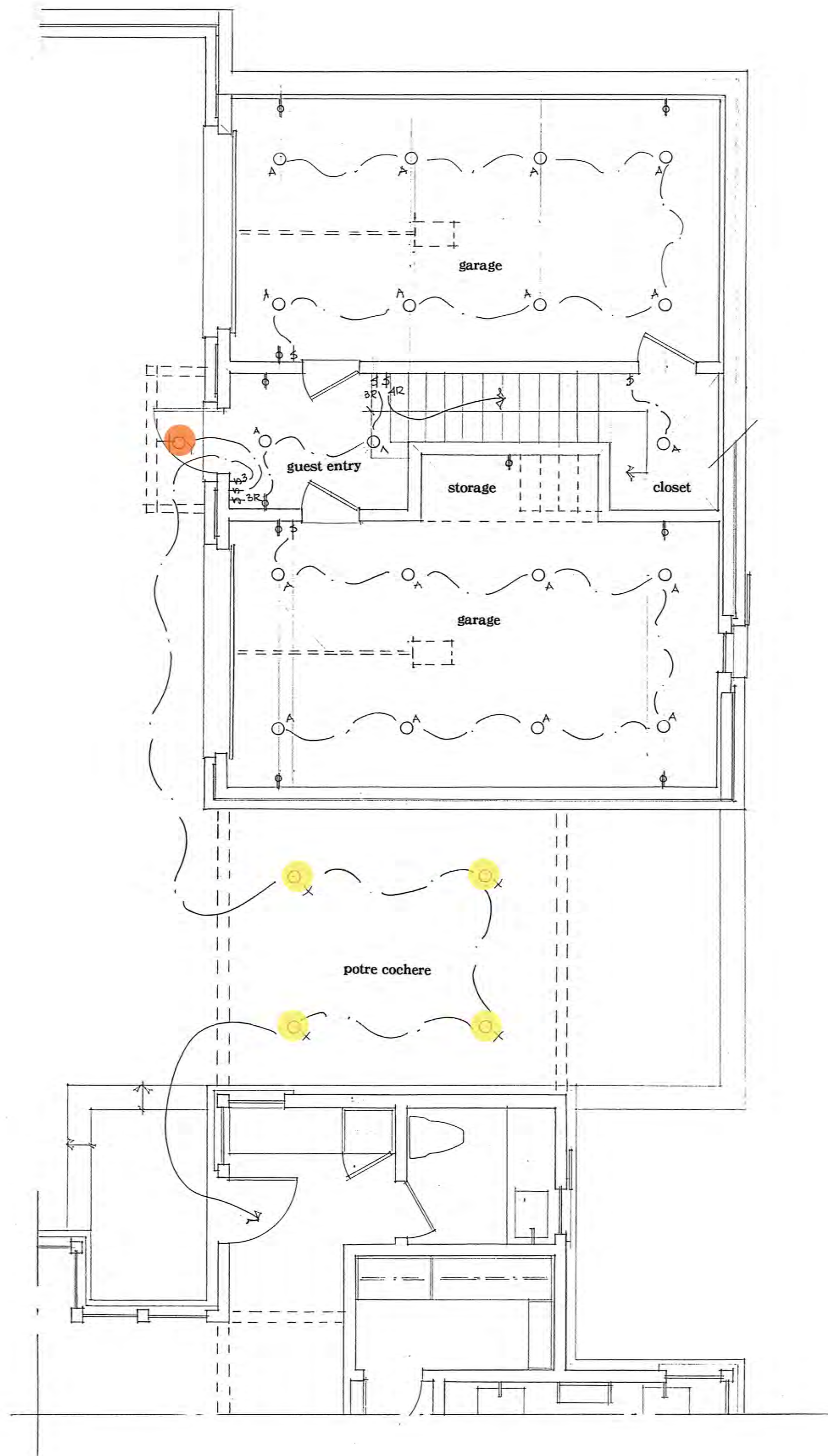
a new residence
for
Melanie &
Parker Duffey

Lot 344R
Mountain Village, CO

DATE: November 3, 2021
April 20, 2022

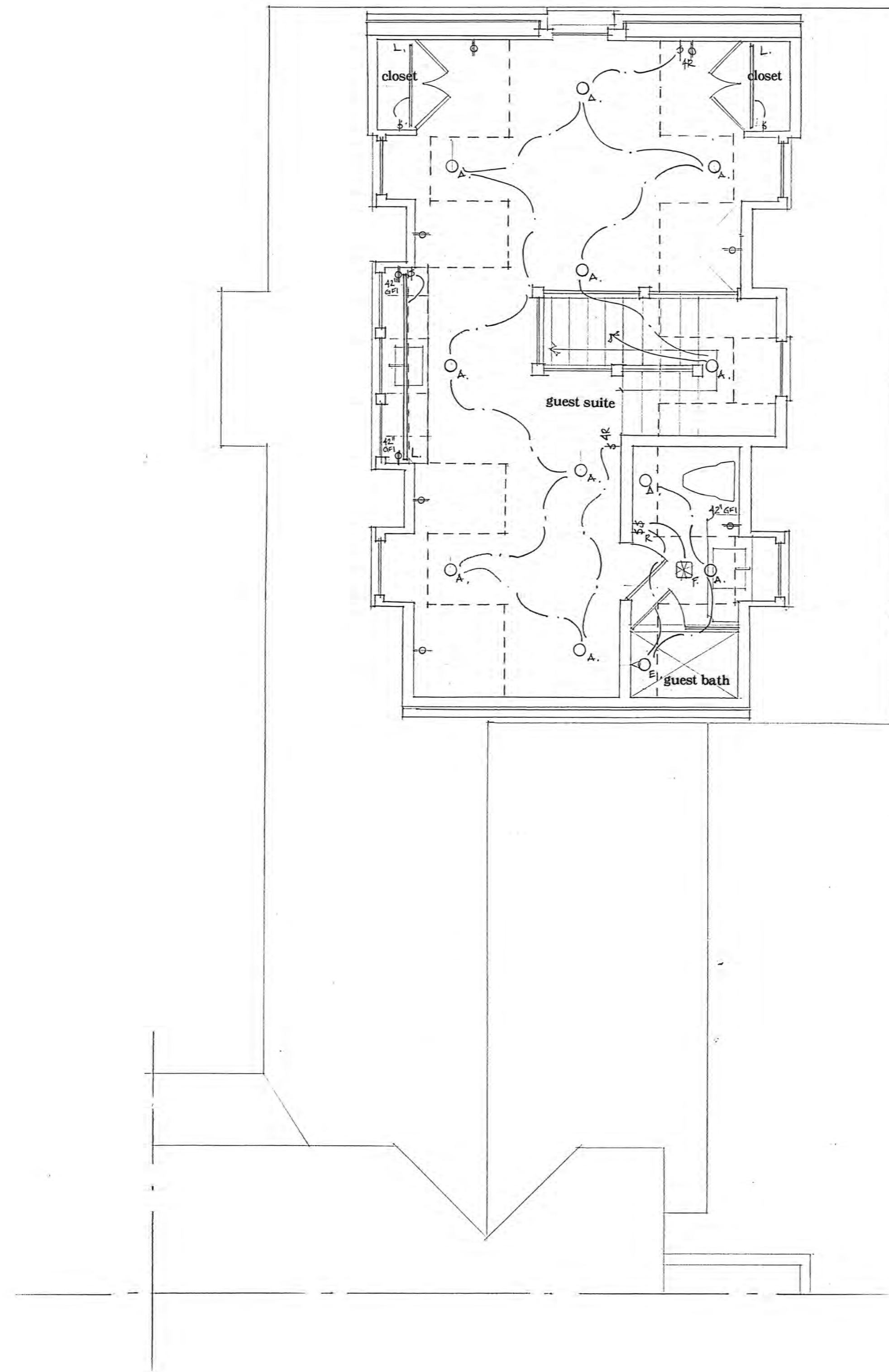
TITLE:
first floor electrical plan

SHEET No:
E2



carriage house first floor electrical plan

1/4" = 1'-0"



carriage house second floor electrical plan

1/4" = 1'-0"



TIPPETT SEASE BAKER ARCHITECTURE

OFFICE: 334. 647. 1314 TSBAARCHITECTURE.COM

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COPYRIGHT
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PROJECT:

a new residence
for
**Melanie &
Parker Duffey**

Lot 344R
Mountain Village, CO

DATE: November 3, 2021

TITLE: carriage house
electrical plans

SHEET No:

E4

Design Review Process Application
Submittal Requirements

a new residence
for
Melanie & Parker
Duffey

Lot 344R, 111 Rocky Road
Mountain Village
Telluride, Colorado

Index:

Application Form and Fee Acknowledgement Form
Proof of Ownership
Development Narrative
Material Board

Tippett Sease Baker Architecture LLC.,
514 Cloverdale Road Suite 5
Montgomery, AL 36106
Phone. 334-647-1314
www.TSBarchitecture.com
Email: David@TSBarchitecture.com

Development Narrative

TIPPETT SEASE BAKER
ARCHITECTURE

Development Narrative:

With simplicity of form, this traditional style mountain home utilizes local stone, timber structure and deep overhangs to establish a strong image and sense of place in harmony with the high-alpine environment. This two and a half story design steps with the natural topography in order to reduce the scale of the structure with no more than one and a half stories being exposed on the upper most portion on the lot. As grade falls the design capitalizes on the natural topography to maximize views of the surrounding alpine environment.

The routing of the driveway is designed to respect and blend with the existing landforms and vegetation. The drive winds through the property taking care to preserve the three wetland environments with as little disturbance to areas of 30% slope as possible. Several designs and construction techniques were explored through the process which led to the placement of walls within the general easement. These walls allow for a terraced retaining system which minimizes tree loss through construction and minimizes visual impact on neighboring properties. The deep setback allows these walls to be shrouded by tree coverage from the street with minimal projection above grade for higher properties to the south.

This continuous stone base is wrapped around the house to create a well-grounded home to withstand the extreme forces of wind, snow, and heavy rain. Forty-five percent of the house is covered in stone. This is reinforced with a stone return at the windows and doors ranging from 6" - 13 1/4". Stained cedar lap siding is applied to the first and second story to blend with the surrounding natural environment. The standing seam roof design varies in ridge lines and employs dormers to break the scale of the structure, create interest, and establish hierarchy. Exposed rafters, deep overhangs, and timber structure serve to express the function of shelter from high snow fall. Windows are designed to capitalize on views and take advantage of north and south light. Covering a total of twenty percent of the home, the windows establishing a human scale through reasonably scale and window divisions.

Description of Request:

Seeking approval for a new single family residential structure on lot 344R.
Seeking variance for 11.9% slope in straight portion of driveway.
Seeking variance for walls within the general easement.

514 Cloverdale Road Suite #5 Montgomery, AL 36106

O. 334-647-1314



Material Board

TIPPETT SEASE BAKER ARCHITECTURE

Lap Siding



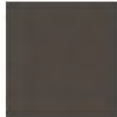
- 1 x cedar lap siding with 6" exposure
- Custom opaque stain to match Sherwin-Williams Black Fox SW 7020

Stone Veneer



- +/- 5" thick local rock veneer

Wood & Glass Door



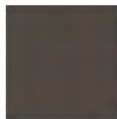
- Custom lited door with panel, mahogany
- Painted - Sherwin-Williams Black Fox SW 7020

Roof



- Bonderized standing seam metal (12:12)

Plank Door



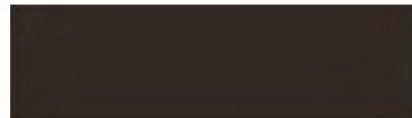
- Random width flush vertical plank, mahogany
- Painted - Sherwin-Williams Black Fox SW 7020

Shutters



- 1 1/2" x 5 1/2" flush diagonal plank, mahogany
- Painted - Sherwin-Williams Sassy Green SW 6416

Clad Windows



- Kolbe & Kolbe clad window in Truffle

Outdoor Lighting Tear Sheets

Project		Catalog #		Type	
Prepared by		Notes		Date	



HALO

H995ICATCP

4" Insulated Ceiling AIR-TITE, Chicago Plenum New Construction LED Housing

Typical Applications

- For Use in Insulated Ceilings
- For Direct Contact with Spray Foam or Air Permeable Insulation
- Also suitable for Non-IC Ceilings
- Air-Tite Housing Restricts Airflow Between Conditioned and Unconditioned Areas
- Meets City of Chicago CCEA Plenum Requirements

Interactive Menu

- Order Information [page 2](#)
- Product Specifications [page 2](#)
- Product Warranty

Product Certification



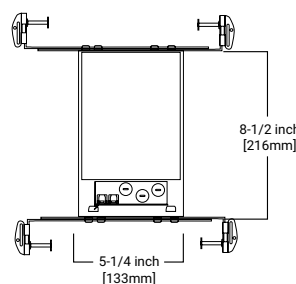
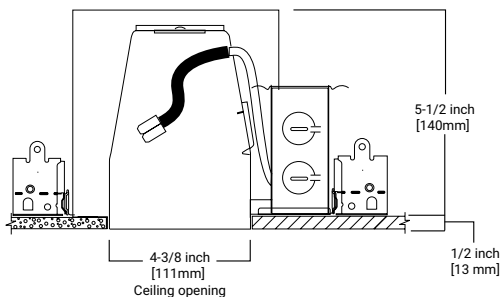
Product Features



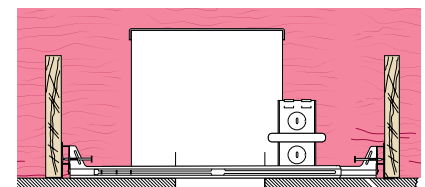
Top Product Features

- Compatible with HALO 4" LED modules
- Insulated Ceiling (IC) rated for direct contact with Spray Foam or Air Permeable insulation
- Got Nail!™ bar hangers; Slide-N-Side™ wire traps / Pass-N-Thru™ tool-less shortening of bar hangers
- AIR-TITE™ reduces airflow between unconditioned and conditioned spaces
- Quick Connect wiring connectors included in junction box

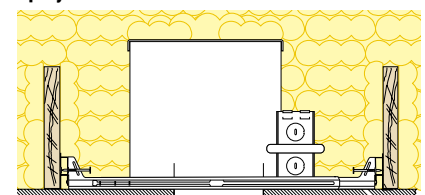
Dimensional and Mounting Details



Air-Permeable Batt or Blown Insulation



Spray Foam Insulation



Order Information

SAMPLE ORDER NUMBER: **H995ICATCP - RL4069S1EWHR**

Complete unit includes HALO H995ICATCP housing and LED module. Housing and LED Module to be ordered separately.

Housing	Compatible Trims (sold separately)
Housing	Compatible Trims (sold separately)
H995ICATCP = 4" recessed LED new construction, IC, AIR-TITE, Chicago Plenum	LT4 = 4" LED retrofit module RL4 = 4" all-purpose retrofit LED retrofit module RA4 = 4" adjustable gimbal all-purpose LED retrofit module ML4 = 4" Performance LED modules and trims (see ML4 spec sheets for trim options) BLD4 = 4" Round Drop-Lens Wide Distribution Surface-Mount in Field Selectable CCT SMD4 = 4" Round & Square Surface-Mount (in ceiling j-box) with 5-CCT and Field Selectable CCT models SLD4 = 4" Round Ultra-low Profile Surface-Mount (in ceiling box) with 5-CCT and Field Selectable CCT models RSQ4 = 4" Square all-purpose retrofit LED module

Product Specifications

Housing

- Double wall aluminum construction helps dissipate heat. The inner housing can be adjusted in the plaster frame to compensate for different ceiling materials
- Designed for insulated ceilings in direct contact with insulation (spray foam or air-permeable insulation, and may also be installed in non-insulated ceilings.)
- Shipped with overspray protector to cover aperture opening during rough-in.

Plaster Frame

- Galvanized steel die-formed construction
- The inner housing can be removed from plaster frame to provide access to the junction box.
- Plaster frame features include:
 - Patented regressed locking screw positioned for securing hanger bars from below the ceiling.
 - Cutouts for easily crimping hanger bars in position.
 - AIR-TITE aperture gasket is pre-installed.
 - HALO identity embossed on plaster frame

Includes:

Got Nail!™

- Pre-installed nail easily installs in regular lumber, engineered lumber and laminated beams
- Safety and guidance system prevents nail snagging, ensures smooth straight nail penetration and allows bar hangers to be easily removed if necessary
- Automatic leveling flange aligns the housing and lets you hold the housing in place with one hand while driving nails
- Five additional mounting points
- Mounting point on top for hanger wire connection
- Integral T-bar clips snaps onto T-bars - no additional clips required

Pass-N-Thru™ bars

- Pass-N-Thru™ allows the bars to pass through each other for tool-less shortening in tight spots less than 12" without removing from the plaster frame. Push bars together and flex at score lines until excess can be removed
- Housing positions at any point within 24" joist span
- Bar hangers may be repositioned 90° on the frame on select housings
- (1) Locking screw and multiple crimp points on plaster frame secure bars in place

Quick Connect™

- Two-conductor UL and CSA Listed luminaire disconnect is rated for 120 - 277V
- CAUTION – verify LED module input voltage is compatible with the input voltage of the housing. If uncertain, consult a qualified electrician

Junction Box

- Galvanized steel junction box with 18in³ internal volume
- Listed for (12) #12 AWG 90° C splice conductors
- (7) 1/2" conduit pry-outs positioned to allow straight conduit runs
- (3) 4-port push wire nuts mains voltage connections

LED Module Connection

- Halo LED LT4, RA4, RL4, ML4, BLD4, SMD4, RSQ4 and SLD4 Series modules simply install with a plug-in to the quick connect wiring connector (luminaire disconnect). This non-screw-base LED connection preserves the high efficacy rating of the luminaire (see also the specific LED Module specifications for further detail).

Listings / Standards

- cULus Listed to UL 1598 / C22.2 No. 250.0, suitable for damp locations; and wet locations in covered ceilings only with select LED modules & trims (refer to LED modules for listing)
- UL/cUL listed for Feed Through
- UL/cUL Type-IC listed for direct contact with insulation and combustible material (and may also be used in Non-IC applications)
- CCEA City of Chicago plenum requirements for recessed luminaires
- ASTM E283 Air-Tite™ test standard for restricted air-flow requirements

Compliance

- Use with designated LED modules for ENERGY STAR® qualification - Refer to Certified Light Fixture Database
- Use with designated LED modules for State of California Title 24 - JA8 high efficacy compliance - Refer to Modernized Appliance Efficiency Database System (MAEDBS) for JA8 High Efficacy certified LED modules
- Housing is compliant to State of California Title 24 "Recessed Luminaires in Insulated Ceilings."
- Use with designated LED modules for International Energy Conservation Code (IECC) high efficacy compliance
- Compliant with NEMA LE7-2015 for use in direct contact with spray foam insulation.

Warranty

- Cooper Lighting Solutions provides a five year limited warranty on Halo LED Luminaires which includes both the LED Recessed Housing and LED module

DESCRIPTION

The RSQ4 is an integrated LED module / trim with a square shallow lens suitable for new construction, remodel and retrofit installation. Certified for use with Halo and compatible 4" housings and can be used with housings in direct contact with insulation. Integral gasket provides airtight compliance in non-airtight housings, provides code compliance and additional energy savings. Use for general area lighting in low to medium height ceilings where energy savings and long life are desired.

SPECIFICATION FEATURES

MODULE

- Module / trim is field interchangeable and upgradable, LED module consists of LED array, optical assembly, driver and self-flanged trim
- Integral aluminum heat sink provides passive thermal cooling achieving L70 at 70,000 hours in IC and non-IC applications.

LED ARRAY

- Plurality of mid-power LEDs provide a uniform source with high efficiency and long life
- Available in 90 CRI minimum, R9 greater than 50 and color accuracy within 4 SDCM provides color accuracy and uniformity
- Available in 2700, 3000, 3500 and 4000 K fixed CCT
- Optional field selectable color temperature, select from 2700, 3000, 3500, 4000 and 5000 K CCT

OPTICAL ASSEMBLY

- Precision molded optic organizes source flux into wide distribution, useful for general area lighting
- Regressed flat lens provides uniformity
- Meets Energy Star color angular uniformity requirements, color deviation is less than 0.006 u' v

CONNECTORS

- Two-conductor wire mount CJT type connector is rated for 120V and mates with LED housings or E26 adapter (provided)

DRIVER

- Standard 1E constant current driver option with 120V 60 Hz input provides quiet operation
- Leading or trailing edge phase cut dimming to 5% with select controls, meets CAT24 flicker requirements

RETENTION

- Stainless steel friction blades hold module securely in the housing
- Can be installed in any orientation allowing trim to be aligned with architecture
- Module / trim can be removed from below the aperture for service or replacement

TRIM

- Die cast aluminum trim can be removed in the field and replaced with optional designer series trims to match many décors
- Step baffle provides additional cutoff to source

GASKETS

- Closed cell gaskets achieve restrictive airflow requirements without additional caulking

COMPLIANCE

- UL Certified Safety, US & CA when used with Halo and other's housings, see instruction sheet for conditions of acceptability
- Wet location listed and IP44 ingress protection rated, covered ceiling only

Catalog #		Type
Project		
Comments		Date
Prepared by		



RSQ4

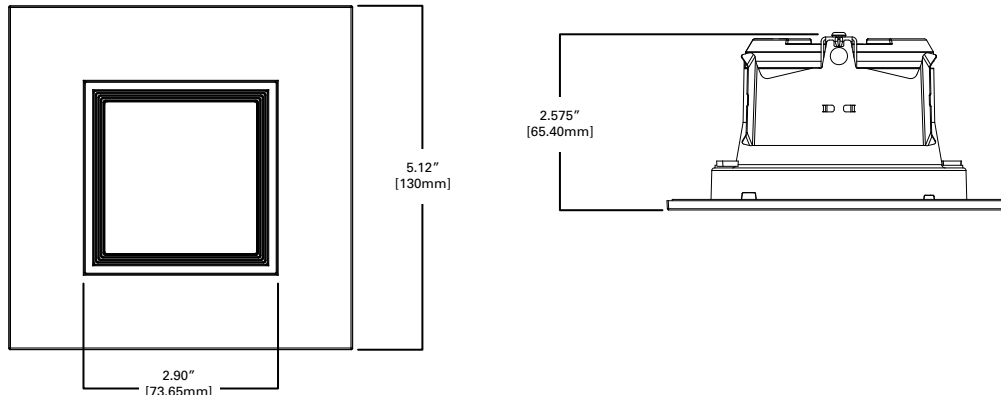
**4-Inch Square
All-Purpose LED
Retrofit Module**

Up to 900 Lumens



2700K • 3000K • 3500K
4000K • 5000K

DIMENSIONS



ENERGY DATA	
Lumens	900 Series
Input Voltage	120V
Input Current	82 (mA)
Input Power	9.8 (W)
Inrush (A)	0.69 @ 14mS
THD	≤ 20%
PF	≥ 0.90
T Ambient	-40° - +40°C
Sound Rating	≤ 21dba



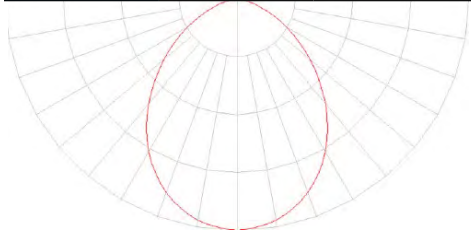
ORDERING INFORMATION

SAMPLE NUMBER: RSQ4089301EMWWB

Models	Lumens	CRI / CCT	Driver	Finish	Accessories
RSQ4 = 4" all-purpose square LED module	08 = 800 lumens (nominal)	927 = 90 CRI (min), 2700 K CCT 930 = 90 CRI (min), 3000 K CCT 935 = 90 CRI (min), 3500 K CCT 940 = 90 CRI (min), 4000 K CCT 9FS = 90 CRI minimum, field selectable CCT, choose 2700, 3000, 3500, 4000 or 5000 K CCT	1E = 120V 60Hz, LE & TE phase cut 5% dimming with select dimmers	MWWB = matte white flange and baffle	RSQ4TRMMW = 4" square trim, matte white flange and splay, field paintable RSQ4TRMSNB = 4" square trim, satin nickel flange and baffle RSQ4TRMTBZB = 4" square trim, tuscon bronze flange and baffle
Housings					
H245ICAT = 4" IC, airtight ultra-shallow new construction LED housing, 120 - 277V H245RICAT = 4" IC, airtight ultra-shallow remodeler LED housing, 120 - 277V H99TAT = 4" non-IC, airtight shallow new construction E26housing, 120V H99RTAT = 4" non-IC, airtight shallow remodeler E26housing, 120V H99ICAT = 4" IC, airtight shallow new construction E26housing, 120V H995ICAT = 4" IC, airtight shallow new construction LED housing, 120 - 277V H995RICAT = 4" IC, airtight shallow remodeler LED housing, 120 - 277V E4TATSB = 4" non-IC, airtight shallow new construction E26 housing, adjustable socket bracket, 120V E4RTATSB = 4" non-IC, airtight shallow remodeler E26 housing, adjustable socket bracket, 120V E4ICATSB = 4" IC, airtight shallow new construction E26 housing, adjustable socket bracket, 120V H4NCMF = 4" new construction mounting frame, for use with 4-inch remodeler housings					

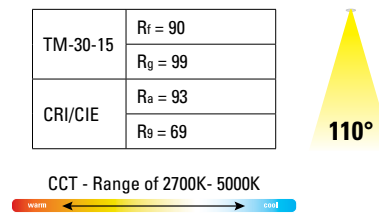
PHOTOMETRIC DATA

RSQ4089FS1EMWWB (3000K)		
Luminaire lumens		830
Input watts		9.6
LER (LPW)		86.5
Spacing Criteria	0-180	1.16
	90-270	1.16
	Diagonal	1.26
Beam angle (degrees)		90.3
Field angle (degrees)		143.1
Zonal lumen	Lumens	% Lumens
0-30	288	34.7
0-40	454	54.7
0-60	726	87.5
0-90	830	100



* Tested in accordance with IES LM63. Field results may vary.

Color Metric Summary - 3000K



Product Specifications

PRODUCT SPECIFICATIONS	
Lumens	830
Watts	9.6
Lumens Per Watt (Efficacy)	86.5
Color Accuracy (CRI)	93
Light Color (CCT)	3000K
Correlated Color Temperature (CCT)	
2700K	3000K
4500K	6500K

CATALOG NUMBER	CCT	CRI	Lumens	Power (W)	LPW
RSQ4089FS1EMWWB	2700K	91	805	9.5	84.7
RSQ4089FS1EMWWB	3000K	93	830	9.6	86.5
RSQ4089FS1EMWWB	3500K	94	870	9.7	89.7
RSQ4089FS1EMWWB	4000K	94	880	9.7	90.7
RSQ4089FS1EMWWB	4000K	93	900	9.6	93.8



PRODUCT DETAILS:

- Mounting hardware is hidden on the backplate to ensure a clean silhouette
- Suitable for use in wet (outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky
- Meets California Energy Commission Title regulations/JA8 when using the included LED bulb
- LED Lamps carry a 3-year limited warranty
- 5 year finish warranty
- The Coastal Elements Collection offers versatile designs, constructed of composite materials and coated with anti-fading finishes, for maximum durability in harsh climates.
- Bold lines and a clean, minimalist style complement contemporary architecture

SILO

13590BK-LL

SMALL DOWN LIGHT WALL MOUNT LANTERN

The perfect addition to modern coastal, Silo's compact design blends simple modern and long-lasting practicality. Part of the Coastal Elements collection, it is built to stand up to harsh climates while maintaining its bold finish. Silo is available in a downlight only option which meets dark sky compliancy, an up and downlight for additional wall washing, and a small flush mount. Silo is available in three modern finishes: Black, Architectural Bronze and Satin White, which are resistant to rust and corrosion with a 5-year warranty.

DETAILS	
FINISH:	Black
MATERIAL:	Composite
GLASS:	Etched

DIMENSIONS	
WIDTH:	4.5"
HEIGHT:	8"
WEIGHT:	1.3lb
BACK PLATE:	4.5"W x 4.75"H
EXTENSION:	5.8"
TOP TO OUTLET:	4"

LIGHT SOURCE	
LIGHT SOURCE:	LED Lamp
LED NAME:	GU10LED-3K
WATTAGE:	1-6.50w GU10 LED *Included
VOLTAGE:	120v
COLOR TEMP:	3000
LUMENS:	500
CRI:	80
INCANDESCENT EQUIVALENCY:	1 x 50w
DIMMABLE:	Yes - CL Type Dimmer (SSL7A)

SHIPPING	
CARTON LENGTH:	8.3
CARTON WIDTH:	10.2
CARTON HEIGHT:	6.7
CARTON WEIGHT:	2.4

PROJECT NAME:	DATE:	TYPE:
SPECIFIER:	PREPARED BY:	
PART NO.:		



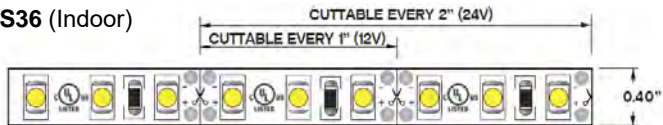
LED STRIP SERIES

TBD.S36(W)

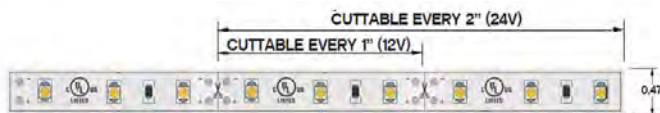
3.0 W LED STRIP INDOOR / OUTDOOR



TBD.S36 (Indoor)



TBD.S36W (Outdoor)



TBD.S36 is a linear lighting system optimal for areas where high-intensity levels of light are desired. Great for many indoor / outdoor, commercial / residential applications. With several LED color options and 120° beam spread, this LED strip is a superior option for general lighting: coves, slots, or vanity mirrors. This strip, with high density LED spacing, when used with a deep channel and frosted lens, virtually eliminates all hot spots.

FEATURES

- 12V or 24V DC Constant Voltage
- 3 Watts Per Foot
- 36 LED's Per Foot
- 240 Lumens Per Foot, 3000K
- 90 or 95 CRI Options
- Max Run Length: 16.4' (12V) / 24' (24V)
- Field Cuttable: 1" (12V) / 2" (24V)
- Indoor Rated: Width 0.40" Depth 0.08"
- Outdoor IP65 Rated: Width 0.47" Depth 0.20"
- Beam Angle: 120°
- 3M Adhesive Backing (Indoor Only)
- Requires Remote Dimmable TLS Power Supply
- Refer to Power Supply for Compatibility
- Certifications: UL Listed; Title 24; Title 24 JA (Indoor)
- Long Life 50,000 Hours
- Application Friendly: UV and IR Free
- Earth Friendly: Mercury and Lead Free



ORDERING GUIDE

WET/DRY LOCATION

TBD.S36 - Dry Location
TBD.S36W - Wet Location

TEMP / COLOR

22K - 2200K **RD** - Red
25K - 2500K **BL** - Blue
27K - 2700K **GR** - Green
30K - 3000K **PK** - Pink
35K - 3500K **PR** - Purple
40K - 4000K **AM** - Amber
50K - 5000K **OR** - Orange
60K - 6000K

LENGTH

16 - 16.4 ft.
32 - 32 ft. (IP65 Only)
100 - 100 ft. (Indoor Only)
PF - 12"

VOLTAGE

12 - 12V DC
24 - 24V DC

CRI

90 - 90 CRI
95 - 95 CRI



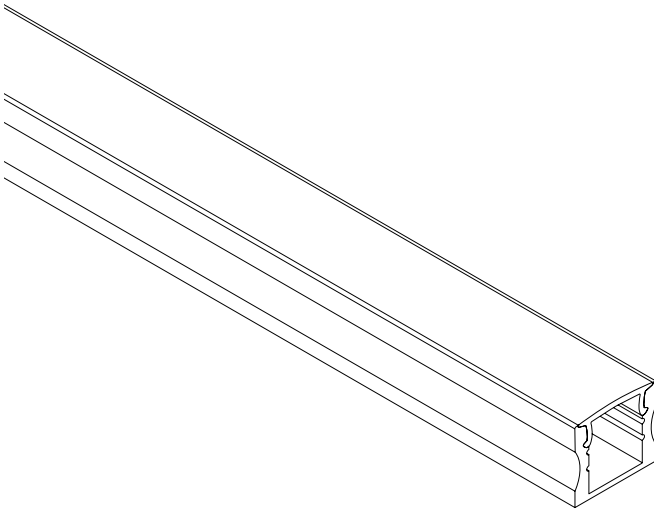
TBD LED SOLUTIONS

218 E Valley Rd, Ste 104 – PMB377, Carbondale, CO 81623
www.tbdsolutions.com

REV 05042020

AST-LP-S1-1715

Surface Linear Extrusion



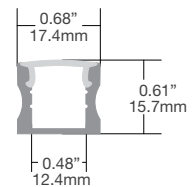
Standard length: 6.5 ft. (2m)*

IP20 Interior Rated

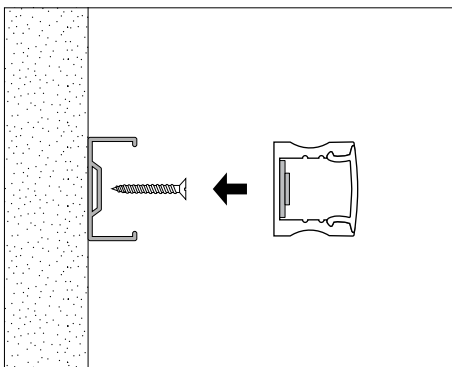
Compatible with:
Asteri TL01 Series
AST-TL01-LE
AST-TL01-FC

*Assembly Required
Custom Lengths Available. Additional Charges and
Lead Time will Apply.

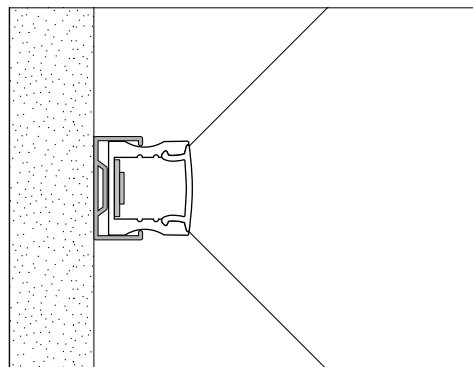
Dimensions



Mounting



Install Mounting clip and slide in assembled housing



Follow local code and NEC

SKU

AST - LP -S1-1715

Finish:

- ☒ Silver
- ☐ Black Anodized
- ☐ White Anodized
- ☐ Custom: _____

Optic:

Diffused



Mountain Village Planning & Development Services Department
455 Mountain Village Boulevard, Suite A
Mountain Village, Colorado 81435


To whom it may concern,

We, Mike and Lorie McQueen, owners of Lot 345 in Mountain Village, CO acknowledge that we now have notice of the improvements and construction occurring at Lot 344R and waive any objections based on not receiving it earlier. Please allow the proposal from Parker and Melanie Duffey to proceed to the final Design Review.

Sincerely,

DocuSigned by:

9CC380B5EA454E5...

DocuSigned by:

879A5E399013418...

Mike and Lorie McQueen

cc: Parker Duffey, David Baker



AGENDA ITEM 9
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Principal Planner

FOR: Design Review Board Public Hearing; May 5, 2022

DATE: March 21, 2022

RE: Staff Memo – Final Architecture Review (FAR) Lot 649R-10, 10 Boulders Way

APPLICATION OVERVIEW: New Single-Family Home on Lot 649R-10

PROJECT GEOGRAPHY

Legal Description: UNIT 10, THE BOULDERS AT MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED JANUARY 24, 2003 IN PLAT BOOK 1 AT PAGE 3096, AND AS DEFINED AND DESCRIBED IN THE DECLARATION FOR THE BOULDERS AT MOUNTAIN VILLAGE RECORDED JANUARY 24, 2003 UNDER RECEPTION NO. 354564, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 10 Boulders Way

Applicant/Agent: Kris Perpar,
Shift Architects

Owner: Joanna Lyons

Zoning: Multi-Family

Existing Use: Vacant

Proposed Use: Single Family detached
condo

Lot Size: 2,273.13 square feet

Adjacent Land Uses:

- **North:** Multi-Family
- **South:** Passive Open-Space
- **East:** Multi-Family
- **West:** Multi-Family



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

Case Summary: Kristine Perpar, of Shift Architects (Applicant) on behalf of Joanna Lyons, the owner of Lot 649R-10 is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family detached condominium at 10 Boulders Way. The condominium map indicates that Unit 10 is 2,282 square feet, but according to the existing conditions plan provided by Foley and Associates the measured size is 2,273 square feet. The Boulders is a single-family condominium community and is zoned Multi-Family. The overall square footage of the home is approximately 2,187 gross square feet, with 1,926 livable square feet, and provides one interior parking space within the proposed garage and two exterior spaces. The detached condominium proposal also includes an ADU on the lower level.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	38.85'
Maximum Avg. Building Height	35' (gable) Maximum	32.22'
Maximum Lot Coverage	65%	36%
General Easement Setbacks	No encroachment	Setback encroachment
Roof Pitch		
Primary		10:12
Secondary		4:12
Exterior Material		
Stone	35% minimum	41.38%
Glass	40% maximum	17.91%
Parking	2 spaces	1 interior / 2 exterior

DRB Specific Approval:

- 1) Setback Encroachment
- 2) Metal Fascia
- 3) Tandem Parking

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated March 18, 2022, from the May 31, 2022, Public Hearing.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: The application meets all height requirements.

17.3.14: General Easement Setbacks

Lot 649R-10 is burdened by a (10) foot front setback, (5) foot side setbacks, and a (3) foot setback to the rear. Lot 649R does not contain any General Easements (GE). The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development

activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation.

Staff: The proposal includes some setback encroachments requiring specific DRB approval:

- *Exterior Parking in front setback (10 ft setback)*
- *Paving stones for parking within side setback (3 ft setback)*

Staff: The project was revised prior to final review to address DRB concerns discussed at initial review such as roof overhangs, deck overhangs, and staircases in the GE. Otherwise, there DRB was generally agreeable to the remaining GE encroachments. The HOA has approved the above encroachments.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: The application meets all Town Design Theme requirements.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: The application meets all Building Siting Design requirements.

17.5.6: Building Design

The CDC discusses building design and specifies requirements for things like building form, roof form, wall materials, glazing, and other design details for the home.

Staff: At Initial Review, the following items were requested as it relates to Building Design Requirements -

1. *Garage door materials: The applicant did not specify the garage door material but from the 3D renderings, it appears to be a dark brown material. This should be discussed, and the final finish shall be specified as a condition of approval.*
2. *Window / door recesses within stone: The applicant has provided these details as requested by staff.*
3. *Deck Railing Materials: The applicant has provided these details as requested by staff.*

17.5.7: Grading and Drainage Design

Staff: The application meets all Grading and Drainage Design requirements.

17.5.8: Parking Regulations

Staff: The applicant has shown one interior parking space and two exterior spaces on their architectural site plan. The CDC requires two spaces in multi-family development outside of the Village Center and does not designate interior vs. exterior parking. The parking configuration as shown will require DRB specific approval of tandem parking, but this is not a-typical in the Boulders subdivision. Due to the limited size of the Lot, the applicant has proposed a portion of both exterior spaces be located within the front setback which will require DRB approval of the setback encroachment.

17.5.9: Landscaping Regulations

Staff: The applicant has revised their landscaping plan to now comply with the Landscaping regulations and is no longer requesting a design variation for this item.

17.5.11: Utilities

Staff: The provided utility plan does not indicate utility locations or utility connections, assumably due to snow cover at the site during the time that the Civils were drafted. Regardless, as a condition of approval, the applicant shall provide the location of utilities as proposed as part of the building permit submittal package to be reviewed by planning staff.

17.5.12: Lighting Regulations

Staff: The lighting plan was revised prior to final review to reduce the height of fixture E-3 at the front entryway per the requirements of the CDC as requested by Staff. The lighting plan is now meeting all lighting regulation requirements.

17.5.13: Sign Regulations

Staff: The applicant has revised the height of the address numbering on the home to correspond with the reduction of the height of the sconce discussed above.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant has shown bristlecone pines within the Zone 1 Fire Mitigation Area. With that being said, and Initial Review, staff requested that the fire mitigation requirements be waived for this home due to the size of the Lot and the adjacent vegetation types.

17.6.6: Roads and Driveway Standards

Staff: The application meets all Road and Driveway Standards requirements.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does not include any solid fuel burning devices. These standards are not applicable.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan shows required material staging, dumpster, bear-proof trash receptacles, and a porta toilet. The entire lot is fenced, but the applicant has not shown any silt fencing shown on the downhill side of the lot. There is only one parking space indicated on the plan which could be problematic for realistic parking during construction. The applicant has indicated on the CMP that construction parking and staging will be off-site and coordinated with Mountain Village but its unclear to staff where this will take place at this time.

Staff Recommendation: Staff recommends the DRB approve the Initial Architectural and Site Review for Lot 649-R, Unit 10, 10 Boulders Way, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architecture Review for a new single-family home located at Lot 649-R, Unit 10, based on the evidence provided within the Staff Report of record dated March 21, 2022, with the following specific approvals:

DRB Specific Approval:

- 1) Setback Encroachment
- 2) Metal Fascia
- 3) Tandem Parking

And, with the following conditions:

- 1) Prior to the issuance of the building permit, the applicant shall provide garage door finish details per the CDC requirements.
- 2) Prior to the issuance of a building permit, the applicant shall revise the utility plans to provide existing locations of utilities along with connection and disturbance locations. Additionally, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 3) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 4) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 5) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 6) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 7) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/JM

GENERAL NOTES:

CONTRACT DOCUMENTS:
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

ORGANIZATION:
THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

CODE COMPLIANCE:
ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

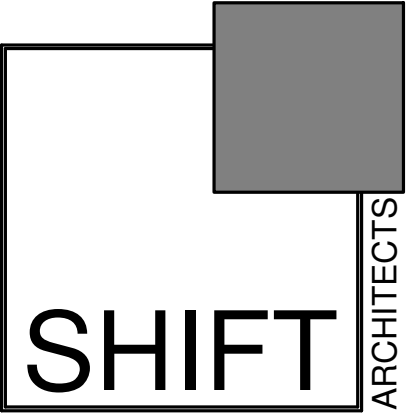
INTENT:
THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

COORDINATION:
THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS. VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

SUBSTITUTIONS:
ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

SHOP DRAWINGS:
SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

SAFETY & PROTECTION OF WORK:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.



P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
03.15.22 DRB SUBMITTAL

REVISION		
NO.	DATE	DESC.
1	03.15.21	DRB SUBMITTAL
2	04.16.22	FINAL DRB SUBMITTAL

PROJECT CODE INFORMATION

ZONING:	MULTI-FAMILY
SUBDIVISION:	BOULDER ESTATES
BUILDING CODE:	IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESIGN REQUIRMENTS:	DECLARATION AND BOULDER ESTATES DESIGN COVENANTS IN ADDITION TO ANY REQUIREMENTS BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION:	MULTI-STORY DWELLING
OCCUPANCY CLASSIFICATION:	R-3
AUTOMATIC FIRE SPRINKLER:	NOT REQUIRED
FIRE RESISTIVE RATING:	GARAGE - 1 HR MECHANICAL - 1 HR

PROJECT INFORMATION

TYPE OF UNIT:	SINGLE FAMILY HOME	MAX BUILDING HEIGHT: ALLOWABLE	40'-0" (35'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
GROSS FLOOR AREA: LIVING		PROPOSED	38.85'
LOWER LEVEL	451.1 SF	MAX AVERAGE HEIGHT: ALLOWABLE	35'-0" (30'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
MAIN LEVEL	737.7 SF	PROPOSED	32.22'
UPPER LEVEL	737.7 SF	PARKING REQUIRED:	3 SPACES PROVIDED (1 ENCLOSED IN GARAGE) (1 SURFACE)
TOTAL:	1926.5 SF		
GARAGE	260.7 SF		
TOTAL:	2187.2 SF		
LOT AREA:	2282.01 SF		
BUILDING FOOTPRINT: ALLOWABLE	816.0 SF		
PROPOSED	815.3 SF		

SHEET INDEX

GENERAL	
G1.0	COVER SHEET
SURVEY	
0	SURVEY / EXISTING CONDITIONS
CIVIL	
C1	NOTES
C2	SITE DRAINAGE AND UTILITY PLAN
C3	CONSTRUCTION MITIGATION PLAN
ARCHITECTURAL	
A1.1	ARCHITECTURAL SITE PLAN
A1.2	LANDSCAPE PLAN
A3.1	FLOOR PLANS
A3.2	FLOOR & ROOF PLAN
A4.1	PROPOSED ELEVATIONS
A4.2	PROPOSED ELEVATIONS
A4.3	ELEVATION HEIGHT CALCS
A4.4	ELEVATION HEIGHT CALCS
A4.5	COLORIZED PERSPECTIVE
A4.6	COLORIZED PERSPECTIVE
A8.1	DOOR & WINDOW SCHEDULE
LIGHTING	
LTG1.1	LIGHTING PLANS
LTG1.2	LIGHTING PLAN

VICINITY MAP



PROJECT TEAM

OWNER:	SURVEYOR:	MECHANICAL:
LYONS JOANNA PO BOX 1156 TELLURIDE CO 814351156 EMAIL: PHONE NO:	FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 P.O. BOX 1385 TELLURIDE, CO 81435 P. 970.728.6153 F. 970.728.6050	HUGHES CONSULTING ENGINEERING, PA DIMITRI MERRILL, P.E. TELLURIDE, CO 81435 P. 970.239.1949 F. 785.842.2492 dimitri@hce-pa.com
ARCHITECT:	CIVIL:	LANDSCAPING:
SHIFT ARCHITECTS KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com	UNCOMPAGHRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dballode@msn.com	SHIFT ARCHITECTS KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
GENERAL CONTRACTOR:	STRUCTURAL:	
TBD.	ALPINE EDGE ENGINEERING LLC MATTHEW D. HEPP, P.E. 605 RIVER PARK DR. RIDGEWAY, CO 81432 P. 970.318.1469 matthewheppeng@gmail.com	

LYONS RESIDENCE

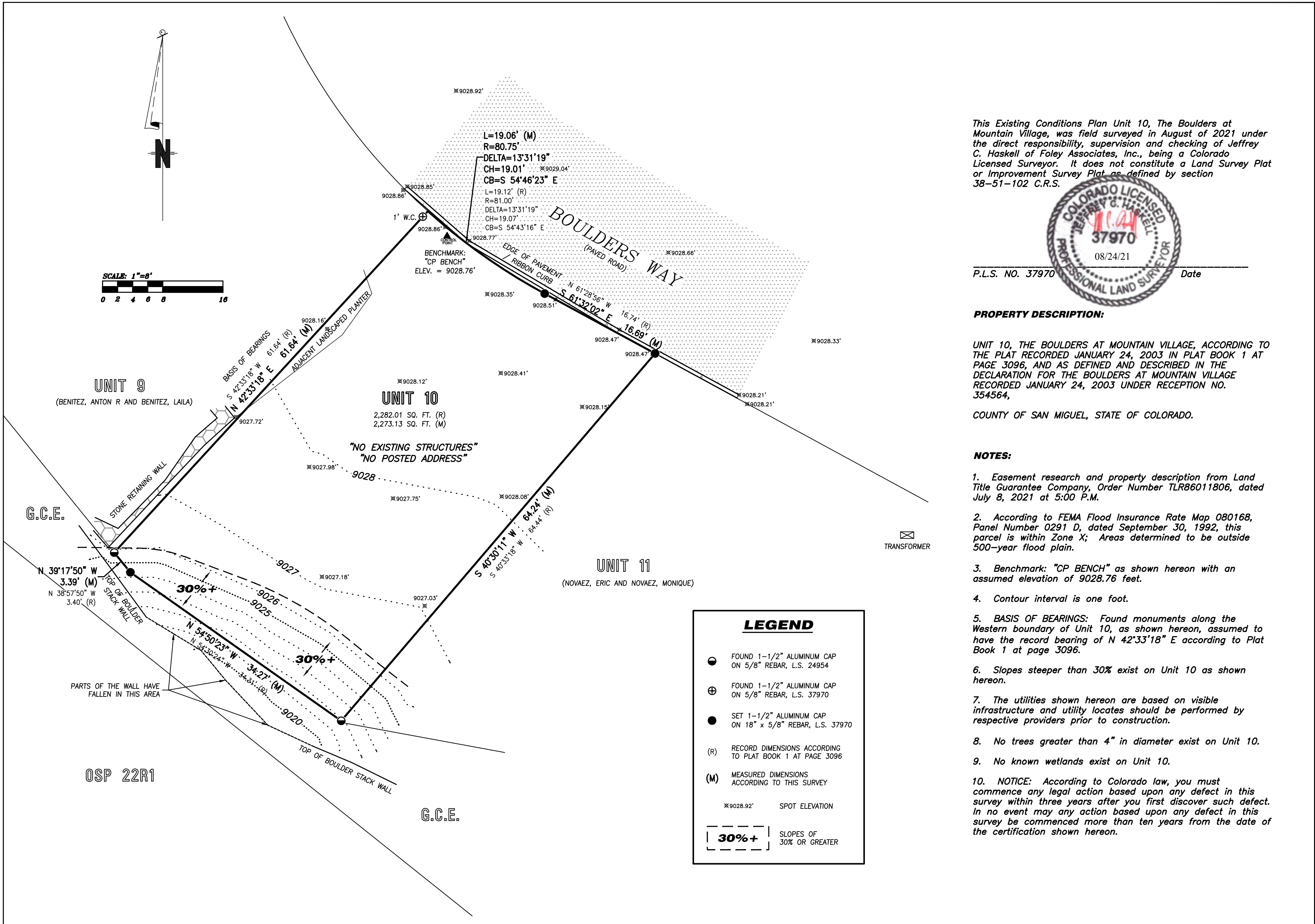
Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

COVER SHEET

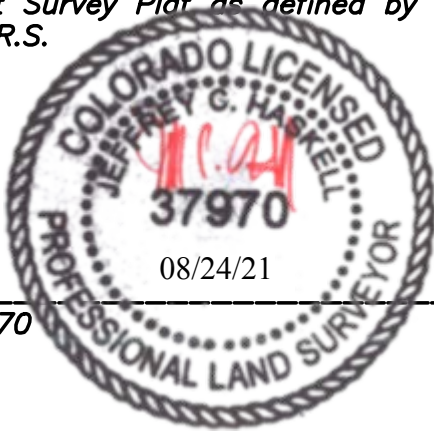
SHEET NUMBER

G1.0

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This Existing Conditions Plan Unit 10, The Boulders at Mountain Village, was field surveyed in August of 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

PROPERTY DESCRIPTION:

UNIT 10, THE BOULDERS AT MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED JANUARY 24, 2003 IN PLAT BOOK 1 AT PAGE 3096, AND AS DEFINED AND DESCRIBED IN THE DECLARATION FOR THE BOULDERS AT MOUNTAIN VILLAGE RECORDED JANUARY 24, 2003 UNDER RECEPTION NO. 354564,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and property description from Land Title Guarantee Company, Order Number TLR86011806, dated July 8, 2021 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 080168, Panel Number 0291 D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- Benchmark: "CP BENCH" as shown hereon with an assumed elevation of 9028.76 feet.
- Contour interval is one foot.
- BASIS OF BEARINGS: Found monuments along the Western boundary of Unit 10, as shown hereon, assumed to have the record bearing of N 42°33'18" E according to Plat Book 1 at page 3096.
- Slopes steeper than 30% exist on Unit 10 as shown hereon.
- The utilities shown hereon are based on visible infrastructure and utility locates should be performed by respective providers prior to construction.
- No trees greater than 4" in diameter exist on Unit 10.
- No known wetlands exist on Unit 10.
- NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Existing Conditions Plan

Unit 10, The Boulders at Mountain Village,
located within Section 33, T.43N., R.9W., N.M.P.M., San Miguel County, Colorado

Project Mgr: JH
Technician: FO
Technician:
Checked by:
Start date: 08 / 2021



Drawing path: dwg\21033 ECP 08-21.dwg

970-728-6153 970-728-6050 fax
PO Box 1385
125 W. Pacific Ave., Suite B-1
Telluride, Colorado, 81435

Sheet1 of 1 Project #: 21033

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION. INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS. THE UTILITY PROVIDERS ARE: SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE NATURAL GAS: BLACK HILLS ENERGY POWER: SAN MIGUEL POWER TELEPHONE: CENTURY LINK
2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIRIEMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..
4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.
5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.
6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.
9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.
10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.
11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.
12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.
13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.
14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.
15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.
16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.
17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.
18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.
19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.
20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.
23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.
24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.
25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

SHIFT

ARCHITECTS

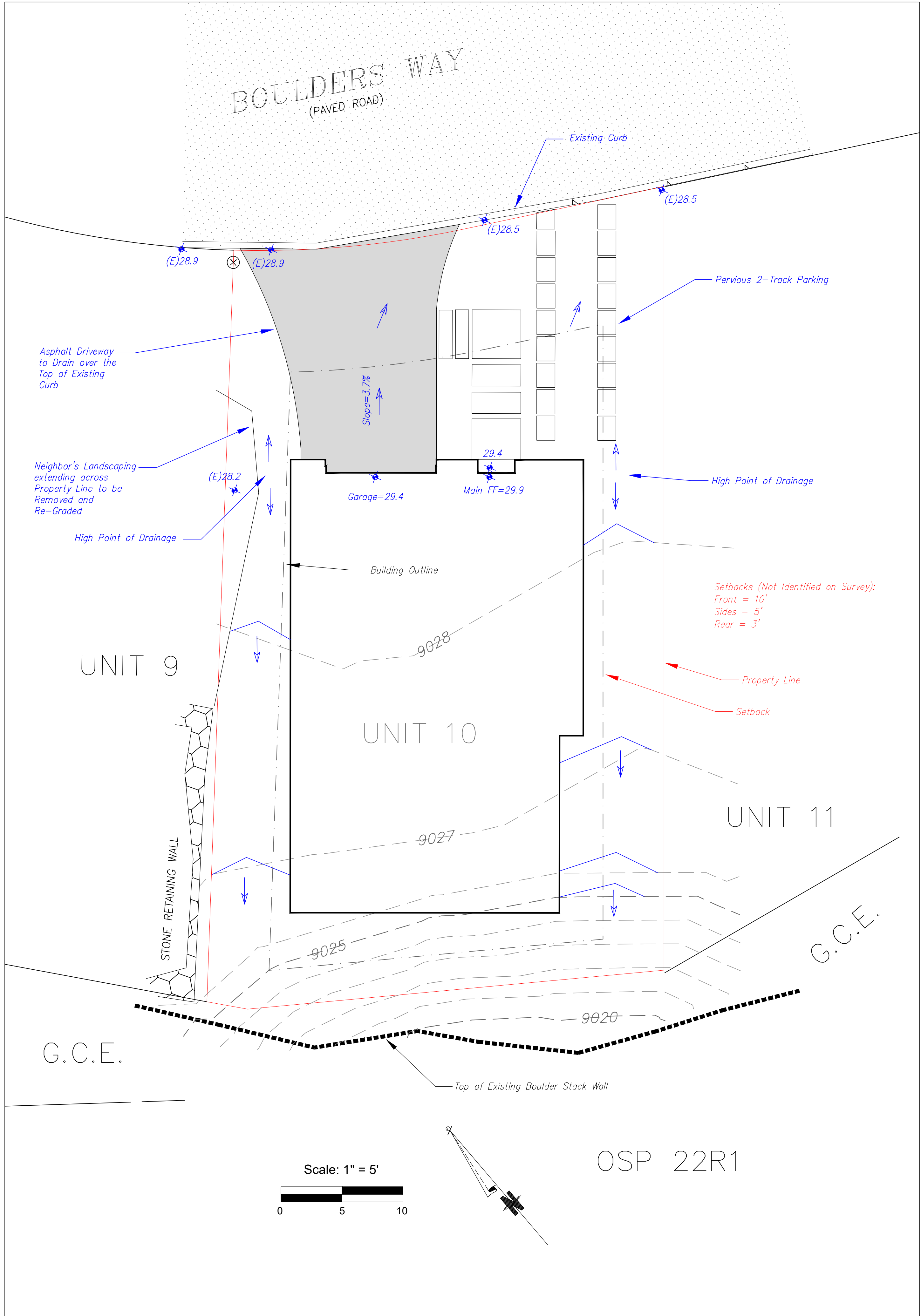
P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE: 03.15.22 DRB SUBMITTAL		
REVISION		
NO.	DATE	DESC.

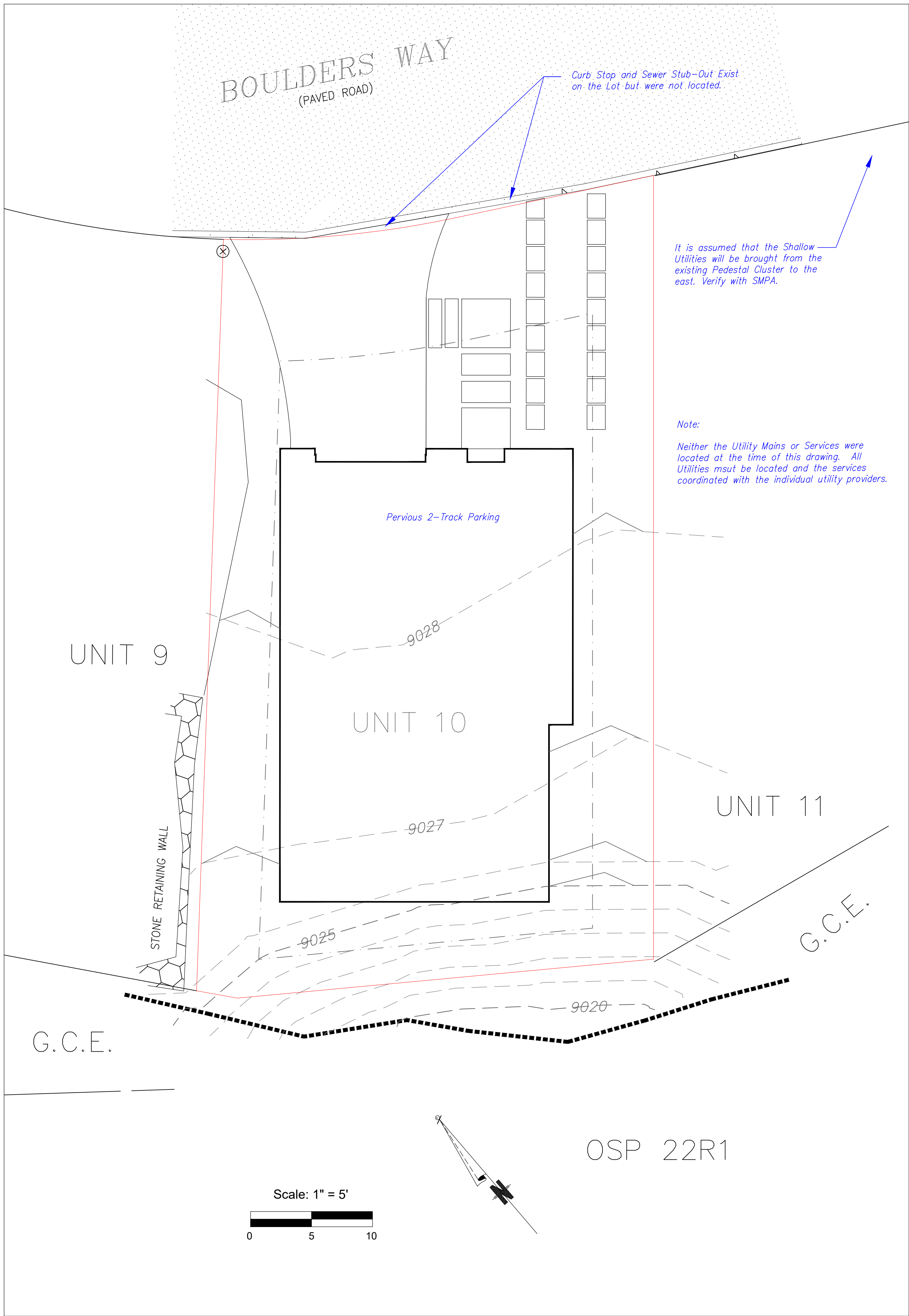
LYONS RESIDENCE

Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

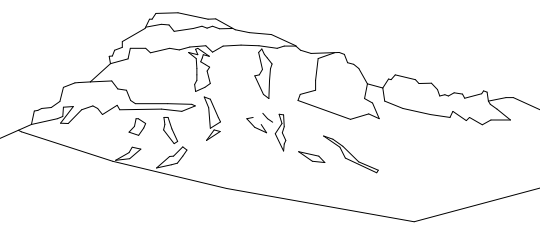
NOTES



Site Grading and Drainage Plan



Utility Plan



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2022-03-14

Lyons Residence
Lot 10
The Boulders
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading
and
Drainage
Plan

and

Utility Plan

LIMITS OF CONSTRUCTION

EXISTING ASPEN TREE TO REMAIN

TEMPORARY PARKING

EXISTING EVERGREEN TREE TO REMAIN

REVEGETATION AREAS

LIMIT OF CONSTRUCTION

PERIMETER FENCING

TREE PROTECTION FENCING

1. ALL DEVELOPMENT SHALL COMPLY WITH DECLARATION OF CONDOMINIUM FOR KNOLL ESTATES, A CONDOMINIUM IN ADDITION TO TOWN OF MOUNTAIN VILLAGE CDC 17.7.20 REQUIREMENTS.

2. COORDINATE LOCATION OF PORTA TOILET, TRASH, RECYCLE, MATERIAL STORAGE AND PARKING WITH THE TOWN OF MOUNTAIN VILLAGE.

3. ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

The main site plan illustrates the layout of three residential units: Unit 9 (Benitez, Anton R and Benitez, Laila), Unit 10 (2,262.01 SQ. FT. (R), 2,273.13 SQ. FT. (M)), and Unit 11 (Novaez, Eric and Novaez, Monique). Unit 10 is the central focus, showing its footprint, setbacks, and construction boundaries. The plan includes detailed annotations for construction mitigation, such as the 'LIMIT OF CONSTRUCTION' (solid blue line), 'PERIMETER FENCING LINE' (dashed blue line), and 'TREE PROTECTION FENCING' (dotted line). It also shows 'TEMPORARY PARKING' areas, 'MATERIAL STORAGE', 'PORTABLE TOILET', '5 YARD DUMPSTER', and 'BEAR PROOF CONTAINER'. The plan is situated along 'BOULDERS WAY (G.C.E.)' and 'OSP 22R1'. A transformer is located near Unit 11. A note specifies: 'NOTE: CONSTRUCTION PARKING & STAGING WILL BE COORDINATED WITH ADJACENT UNIT 11 & THE TOWN OF MOUNTAIN VILLAGE'. The plan also shows 'ADJACENT ROOF PEAK ELEV.' and 'TOP OF BOULDER STACK WALL'.

1

CONSTRUCTION MITIGATION PLAN

1/8" = 1'-0"

A graphic scale bar showing distances from 0' to 32' in increments of 4'. To the right of the scale bar is a north arrow pointing upwards, labeled 'N'.

SHIFT

ARCHITECTS

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PROJECT ISSUE DATE:
03.15.22 DRB SUBMITTAL

REVISION
NO. DATE DESC.

LYONS RESIDENCE

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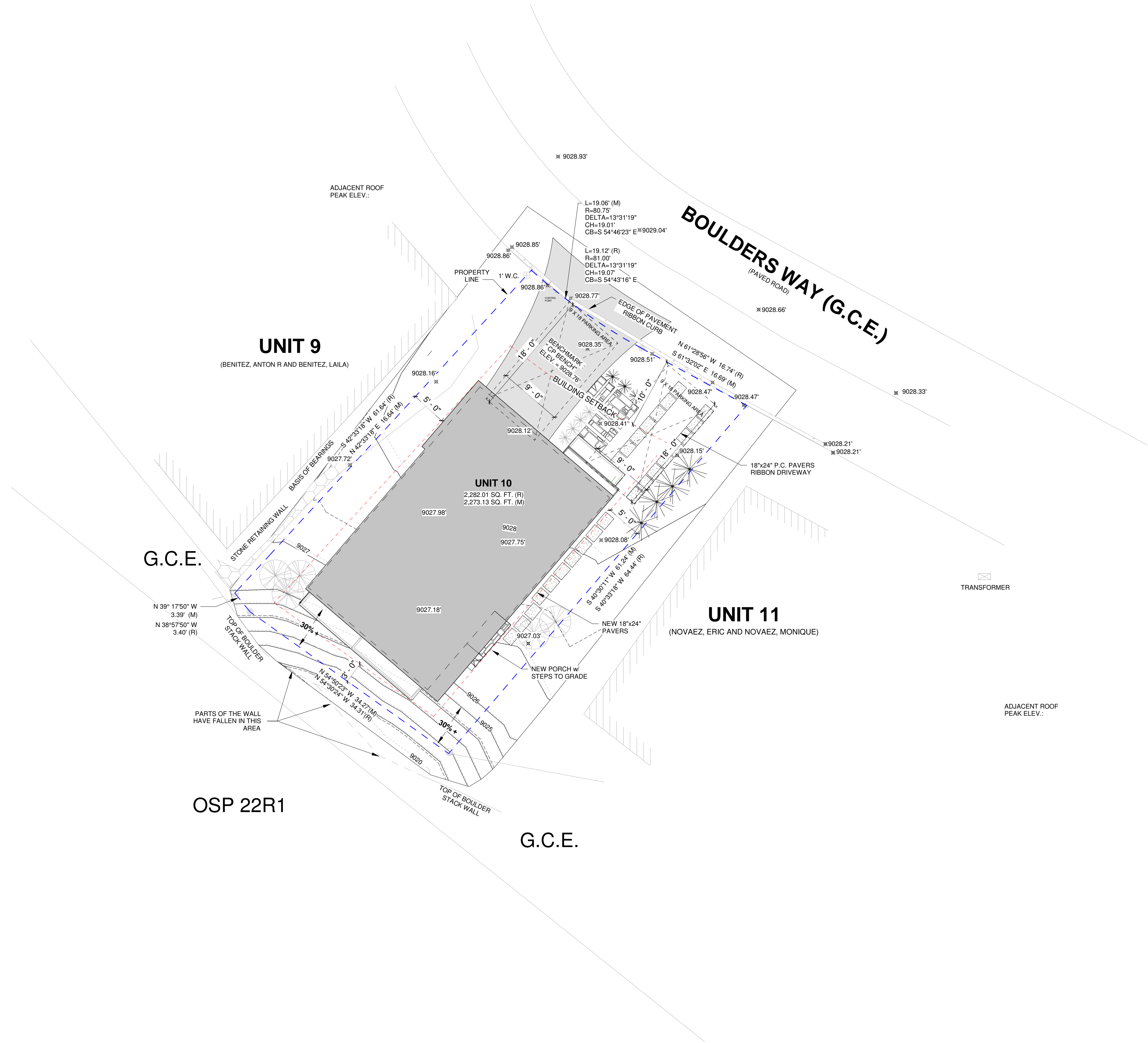
CONSTRUCTION
MITIGATION PLAN

shift architects

SHEET NUMBER

C3

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LYONS RESIDENCE

Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

ARCHITECTURAL
SITE PLAN

SHEET NUMBER

shift architects

GENERAL NOTES:

- ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.
- ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- NECESSARY TREES SHALL BE STACKED WITH 4' METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
- MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- LANDSCAPING SHALL BE IN ACCORDANCE WITH L.U.C. "SECTION 3-505 MAINTENANCE, REMOVAL, OR RELOCATION OF TREES".

NOXIOUS WEEDS:

- ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED WITHIN THE SAN MIGUEL COUNTY'S MOST CURRENT NOXIOUS WEED LIST.

LANDSCAPE MAINTENANCE NOTES:

- TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
- NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
- ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
- IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

REVEGETATION NOTES:

- SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
- TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT OF SLOPES GREATER THAN 3:1) AND AMENDMENT ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.
- BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
- AREAS WHICH HAVE BEEN COMPACTED OR RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING THE SEED.
- BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
- ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
- ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
- SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%
MOUNTAIN BROME (BROMAR)	10%

LANDSCAPE LEGEND

CONCRETE PAVERS

FENCE; WOOD FRAME AND HOGWIRE

METAL GATE TO MATCH FENCE

METAL LANDSCAPE WALL

METAL GRATE WITH 3' X 3' EGRESS HATCH AT WINDOW WELL

DISTURBED AREAS

MULCH LANDSCAPE BEDDING

PERENNIAL BEDDING

FLAGSTONE

INDIGENOUS SHRUBS

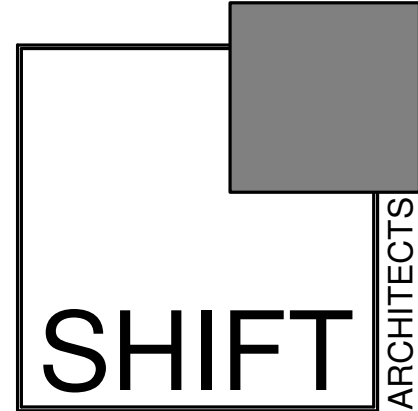
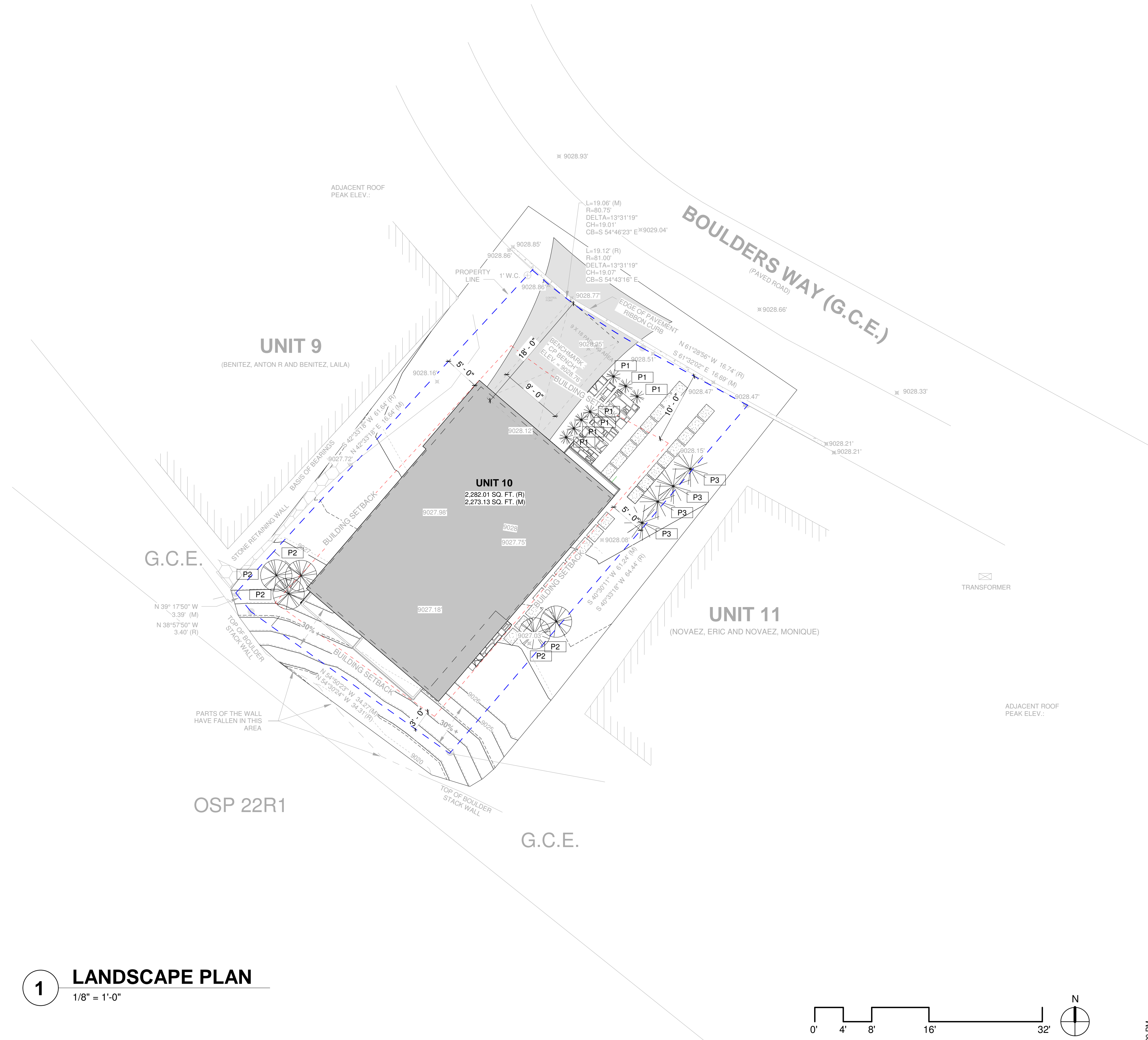
TREE; ASPEN

TREE; SPRUCE

FENCE; WOOD

NOTE:
ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

PLANTING SCHEDULE				
Type	LATIN NAME	Type Mark	SIZE	Count
WOODS ROSE	ROSA WOODSII	P1		7
QUAKING ASPEN	POPULUS TRMULOIDES	P2	3" CAL DBH	5
BRISTLE CONE PINE	PINUS ARISTATA	P3	8-10 FT	4
Grand total: 16				



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03.15.22 DRB SUBMITTAL

REVISION
NO. DATE DESC.

LYONS RESIDENCE

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Telluride, CO 81435, USA

LANDSCAPE PLAN

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A1.2

LYONS RESIDENCE

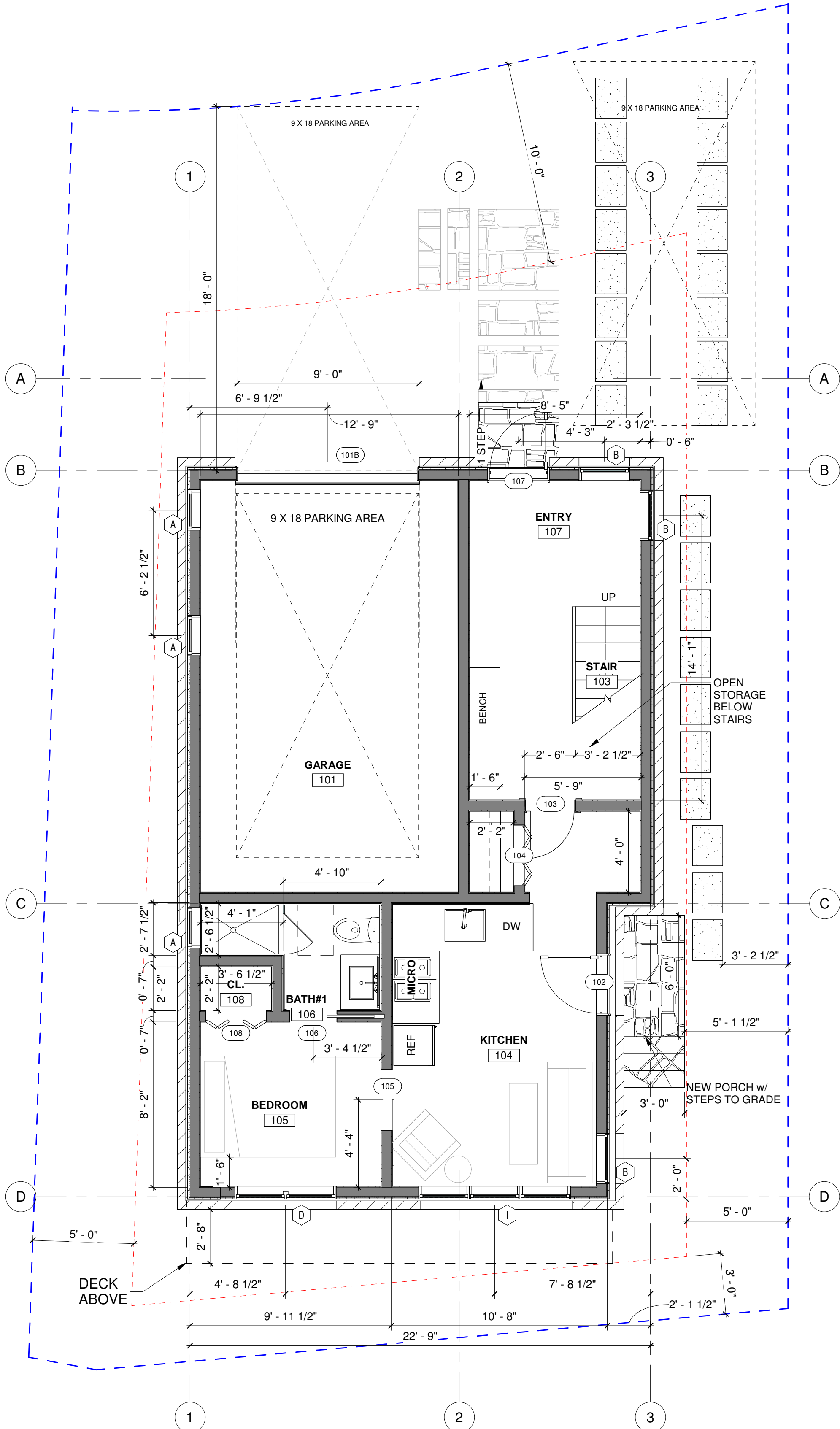
Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

FLOOR PLANS

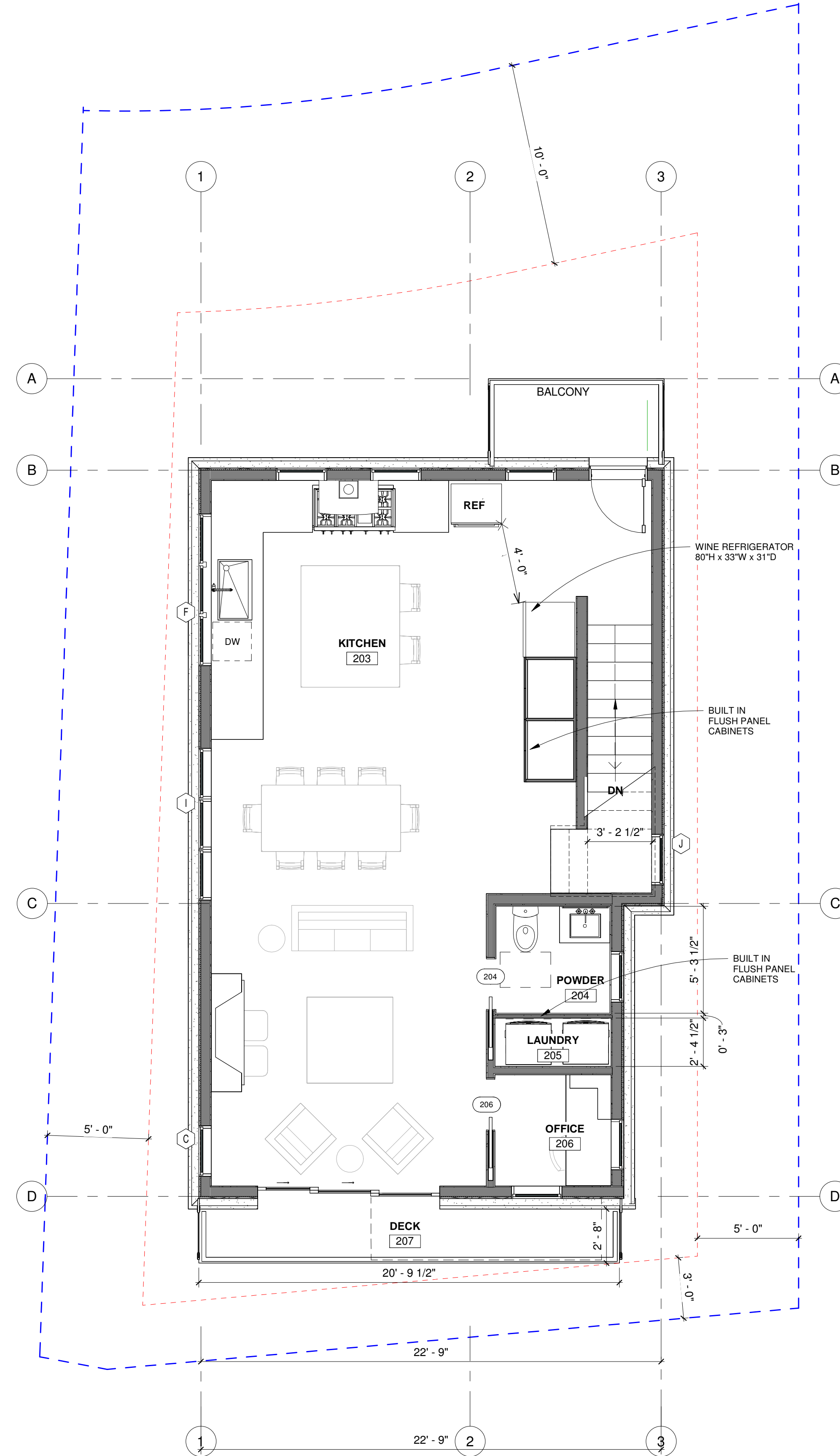
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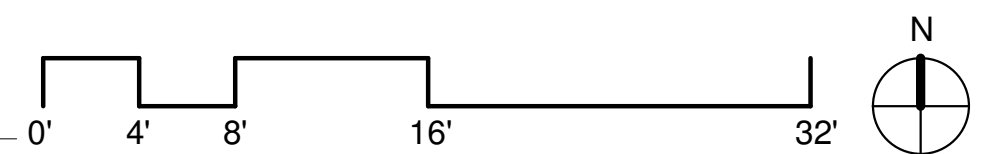
A3.1



1 LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"



2 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



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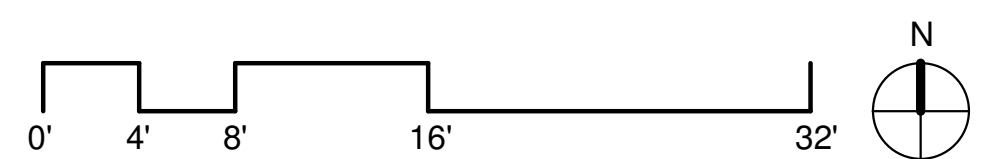
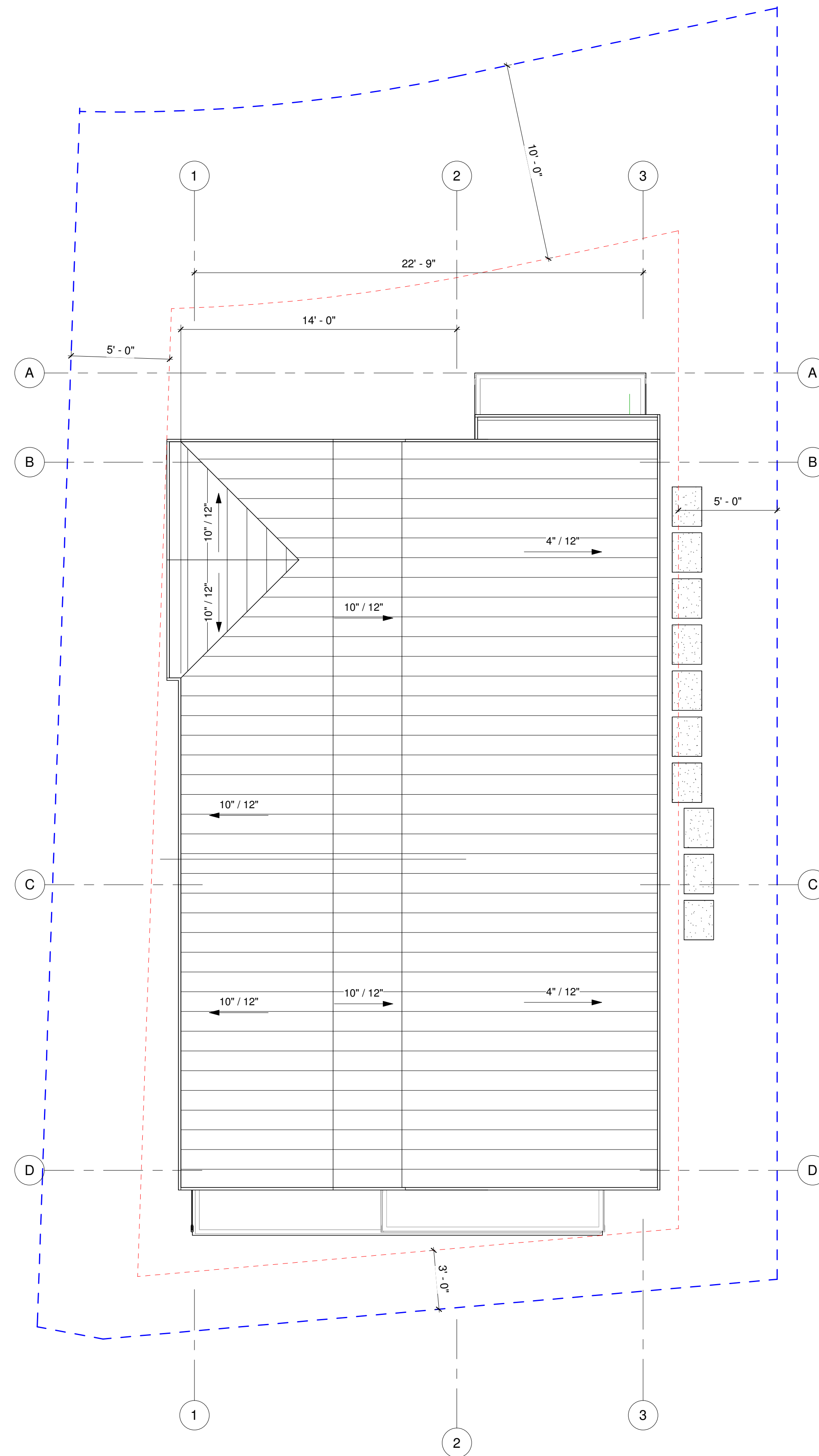
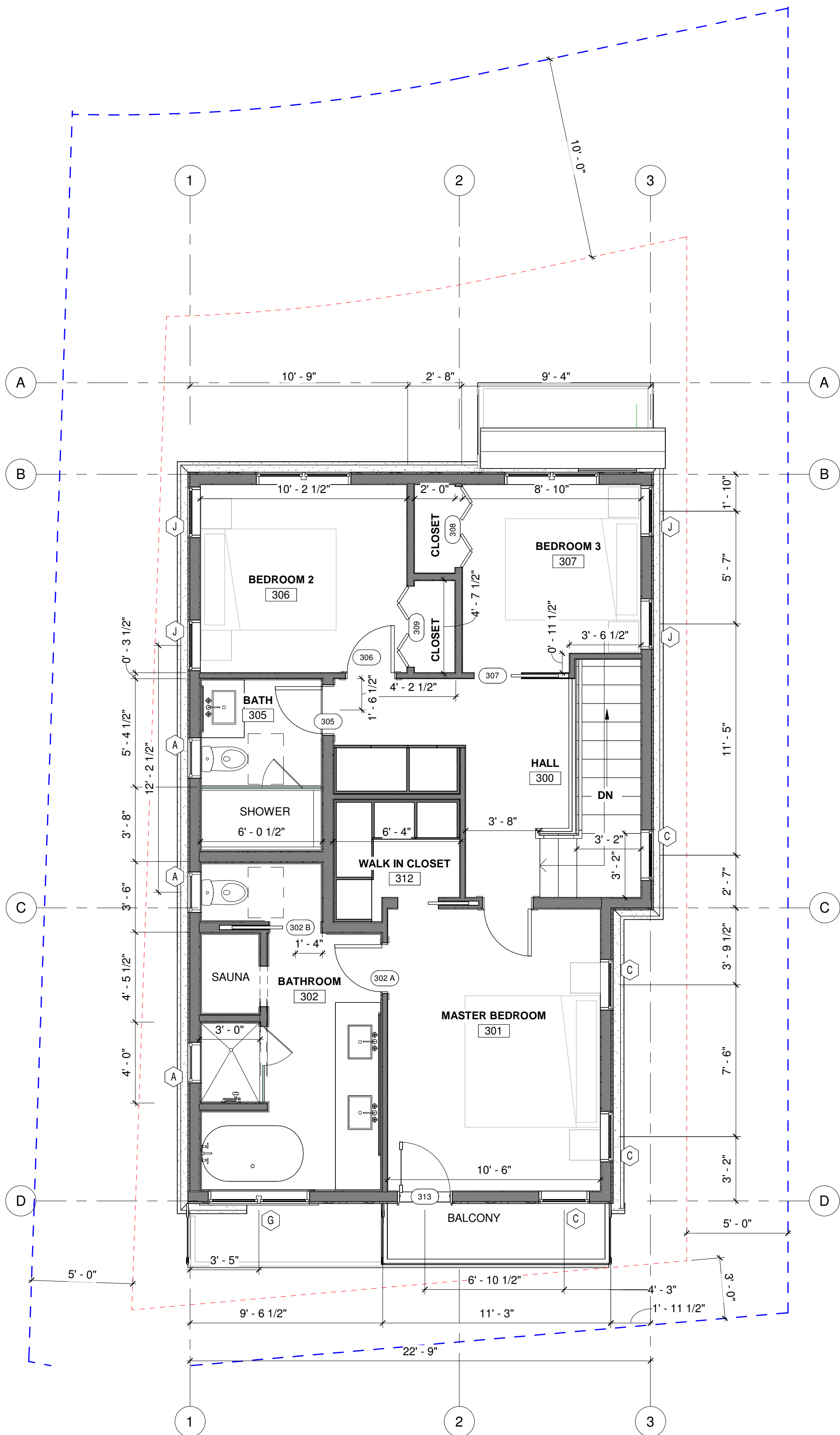
FLOOR & ROOF
PLAN

SHEET NUMBER

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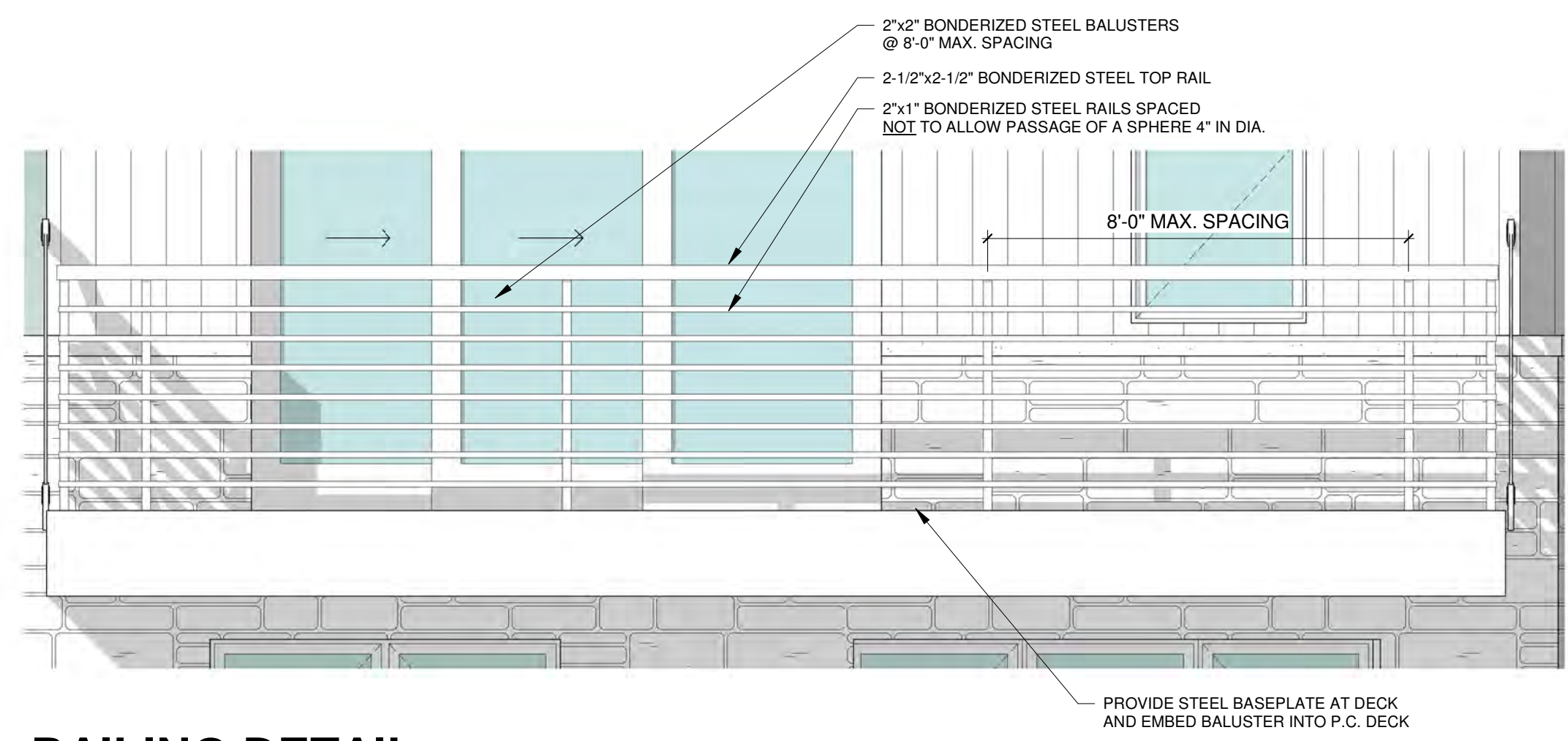
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A3.2



MATERIAL CALCULATIONS

ELEVATIONS	STONE	SIDING	GLASS	TOTAL
EAST	471.53	411.58	141.13	1024.24
NORTH	190.24	297.54	136.94	624.72
SOUTH	284.19	271.01	211.02	766.22
WEST	492.06	434.20	133.51	1059.77
TOTAL	1438.02	1414.33	622.6	3474.95
PERCENTAGE	41.38%	40.70%	17.91%	100%



RAILING DETAIL
1/2" = 1'-0"



BRONZE WINDOWS



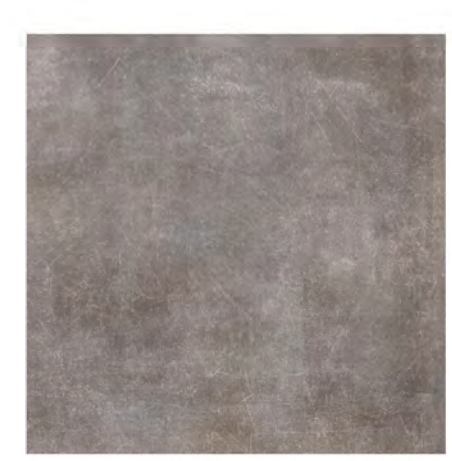
BONDERIZED STEEL CORRUGATED ROOFING



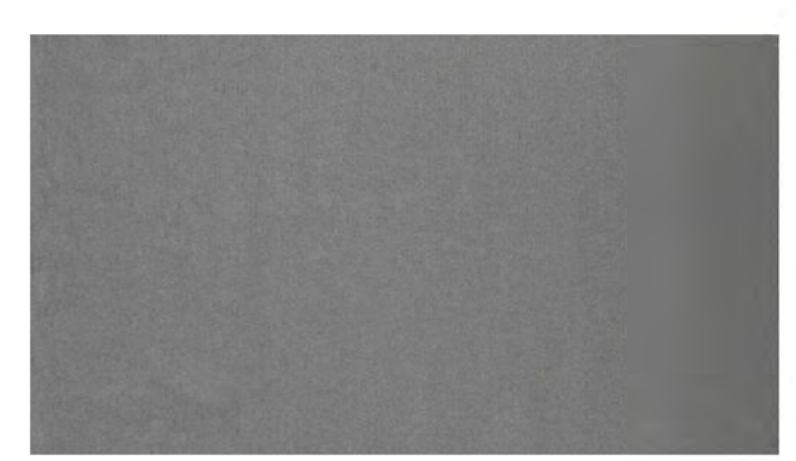
GRAY BARN WOOD
T&G SOFFIT



GRAY BARN WOOD



CONCRETE



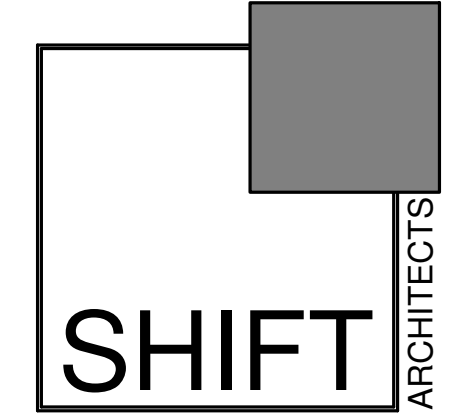
BONDERIZED STEEL FASCIA



12X24 PAVERS



TELLURIDE AIRPORT STONE



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LYONS RESIDENCE

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PROPOSED
ELEVATIONS

SHEET NUMBER

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A4.1



1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

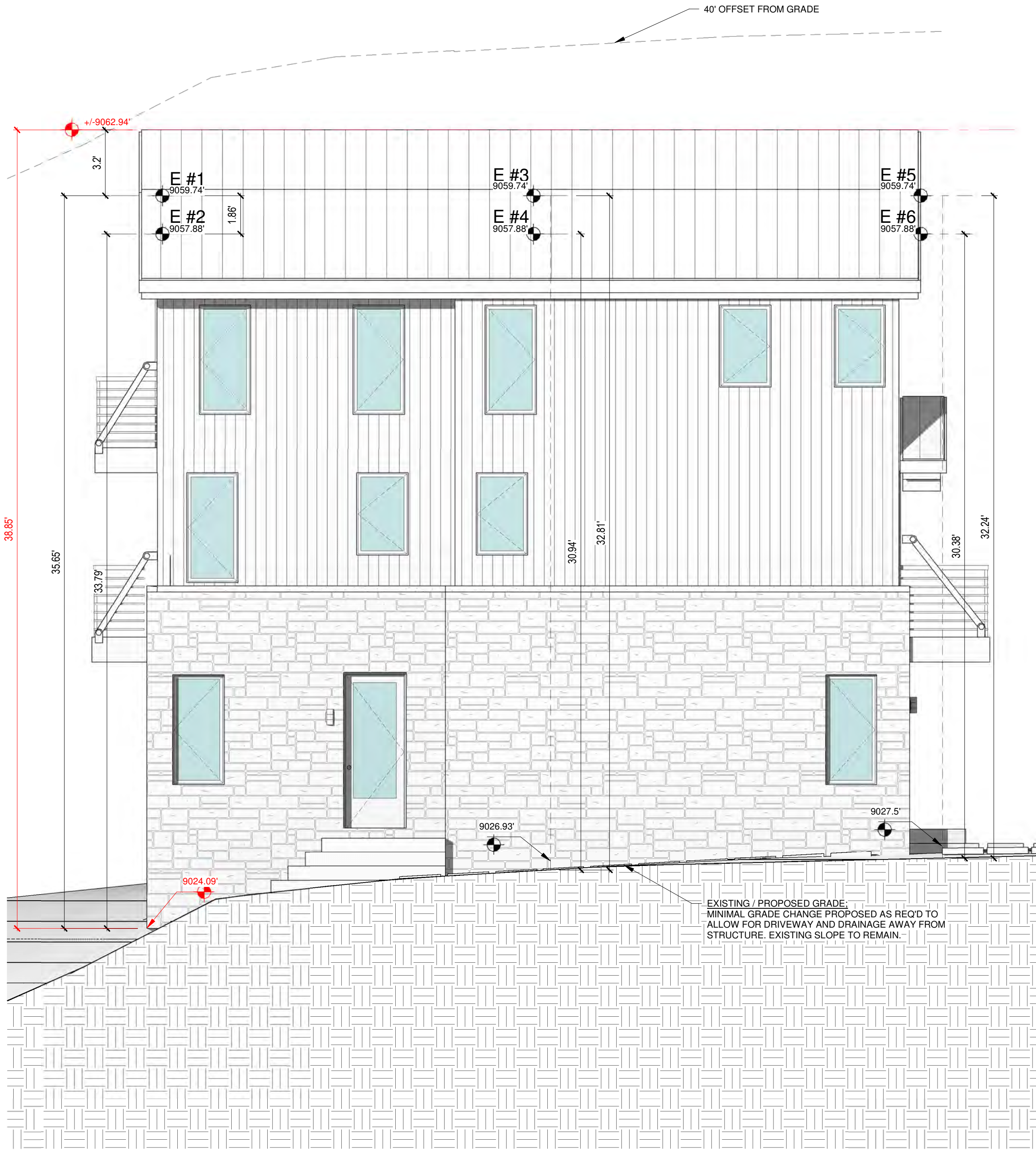
LYONS RESIDENCE

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Telluride, CO 81435, USA

PROPOSED
ELEVATIONS

SHEET NUMBER

shift architects



1 EAST ELEVATION
1/4" = 1'-0"

AVERAGE HEIGHT CALCULATION		
POINT	HEIGHT	
E #1	35.65	
E #2	33.79	
E #3	32.81	
E #4	30.94	
E #5	32.24	
E #6	30.38	
EAST AVERAGE	32.64	
N #1	29.68	
N #2	31.93	
N #3	31.85	
N #4	30.55	
NORTH AVERAGE	31.00	
S #1	31.5	
S #2	33.84	
S #3	34.82	
S #4	33.23	
SOUTH AVERAGE	33.35	
W #1	31.84	
W #2	31.17	
W #3	31.4	
W #4	32.58	
W #5	33.5	
WEST AVERAGE	32.10	
TOTAL AVERAGE	32.27	

MAX. ROOF HT:

NORTH ELEVATION	34.95'
SOUTH ELEVATION	38.85'
EAST ELEVATION	38.85'
WEST ELEVATION	36.62'



2 NORTH ELEVATION
1/4" = 1'-0"

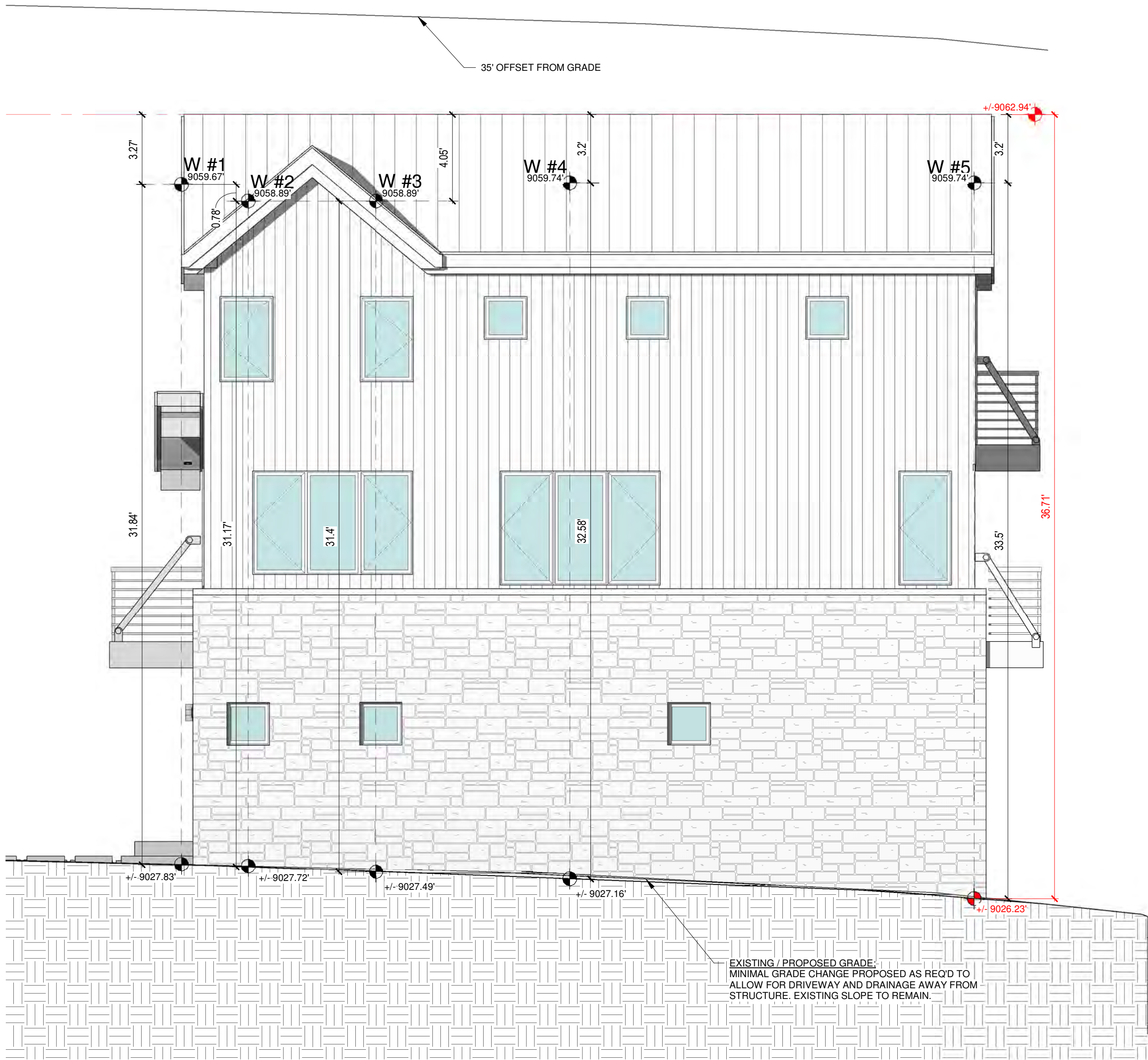
LYONS RESIDENCE

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Telluride, CO 81435, USA

ELEVATION
HEIGHT CALCS

SHEET NUMBER

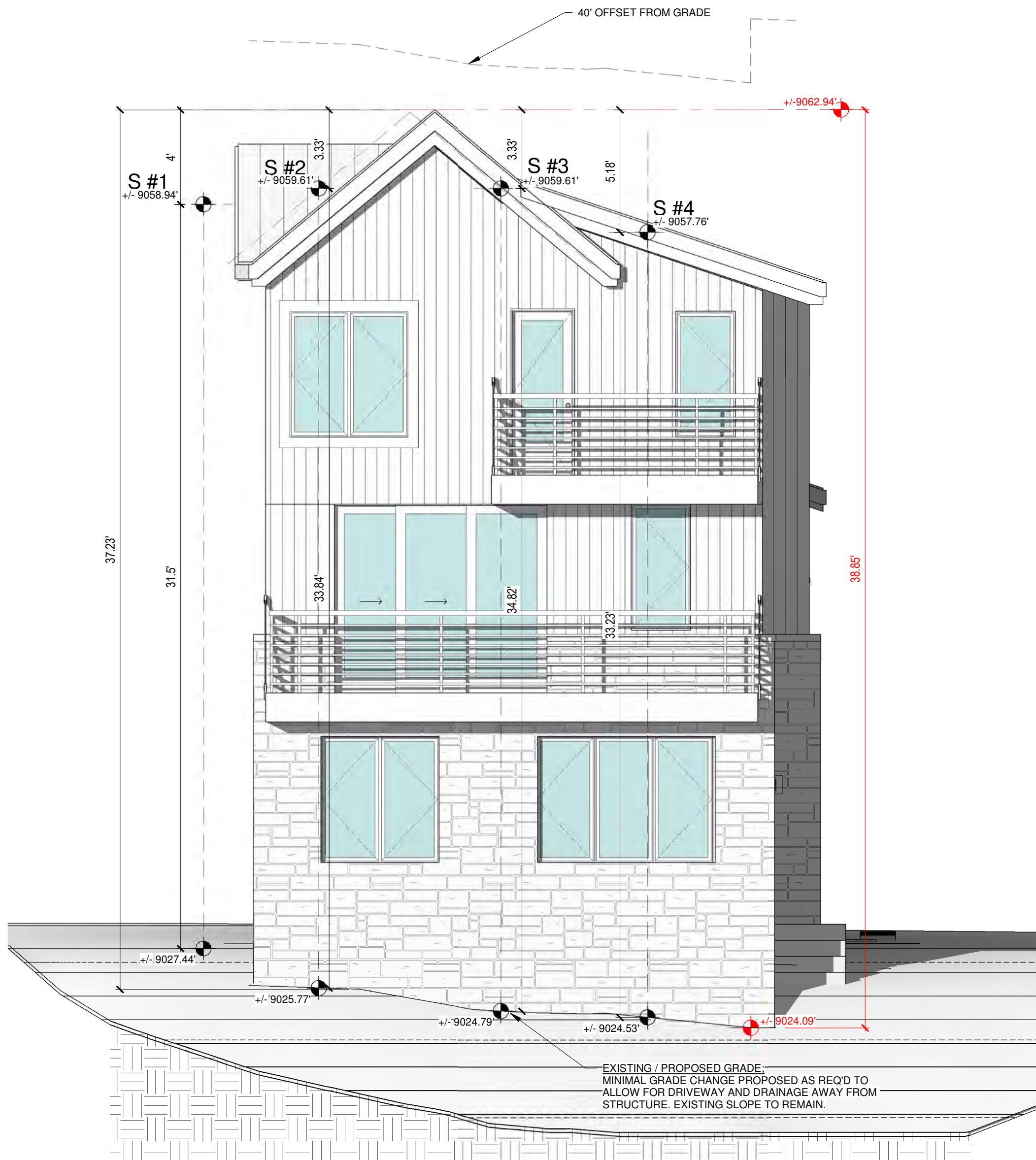
A4.3



1 WEST ELEVATION
1/4" = 1'-0"

AVERAGE HEIGHT CALCULATION	
POINT	HEIGHT
E #1	35.65
E #2	33.79
E #3	32.81
E #4	30.94
E #5	32.24
E #6	30.38
EAST AVERAGE	32.64
N #1	29.68
N #2	31.93
N #3	31.85
N #4	30.55
NORTH AVERAGE	31.00
S #1	31.5
S #2	33.84
S #3	34.82
S #4	33.23
SOUTH AVERAGE	33.35
W #1	31.84
W #2	31.17
W #3	31.4
W #4	32.58
W #5	33.5
WEST AVERAGE	32.10
TOTAL AVERAGE	32.27

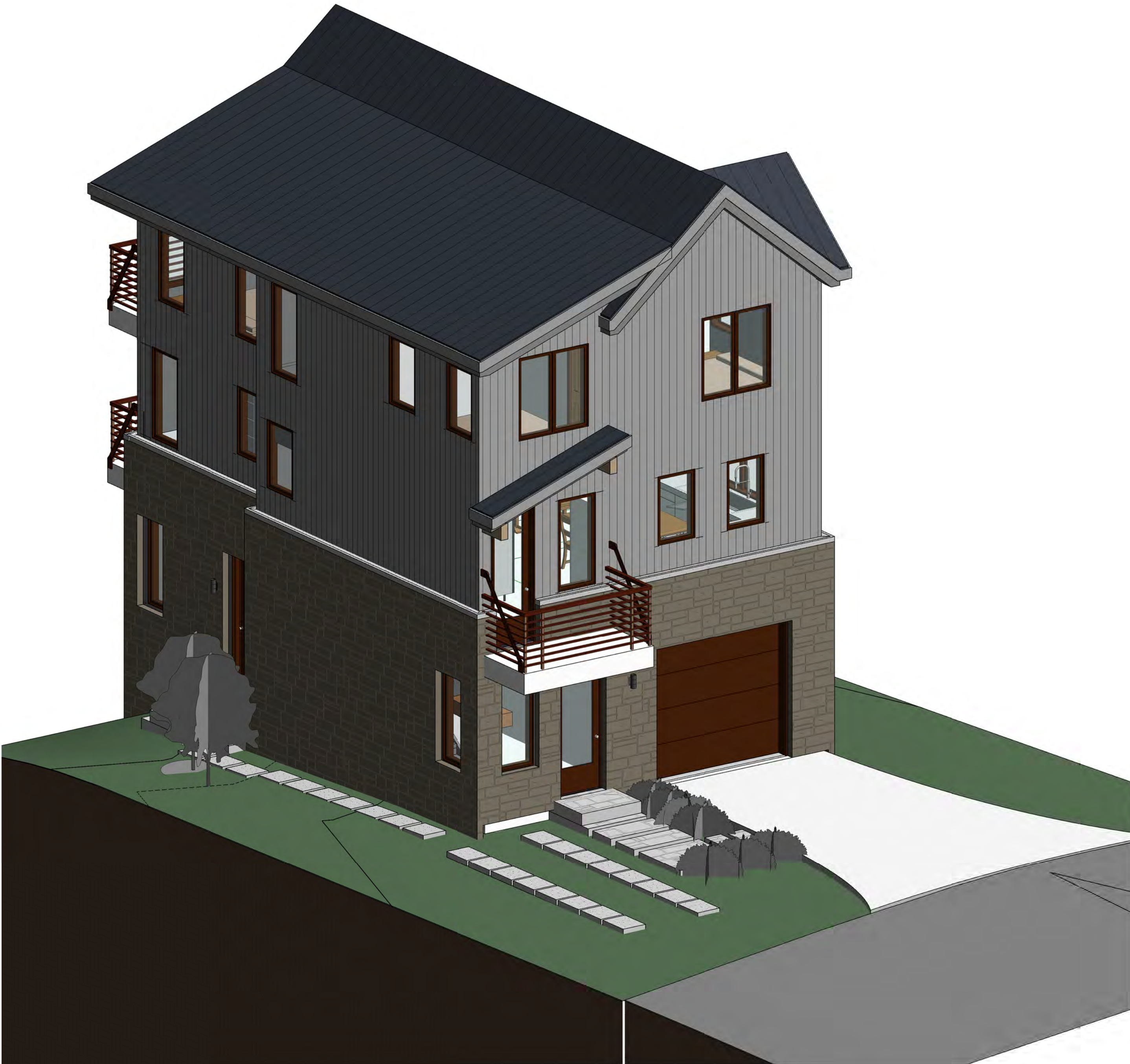
MAX. ROOF HT:	
NORTH ELEVATION	34.95'
SOUTH ELEVATION	38.85'
EAST ELEVATION	38.85'
WEST ELEVATION	36.62'



2 SOUTH ELEVATION
1/4" = 1'-0"



NW PERSPECTIVE



NE PERSPECTIVE

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COLORIZED
PERSPECTIVE



SW PERSPECTIVE



SE PERSPECTIVE

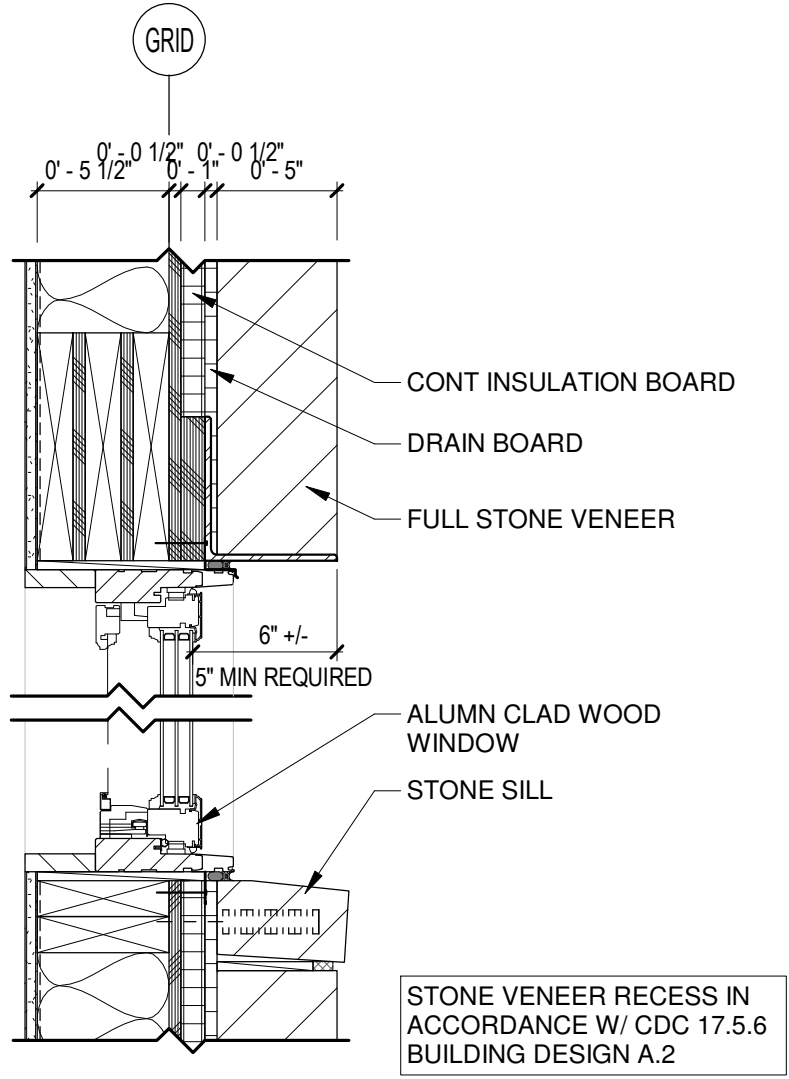
LYONS RESIDENCE

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COLORIZED
PERSPECTIVE

SHEET NUMBER

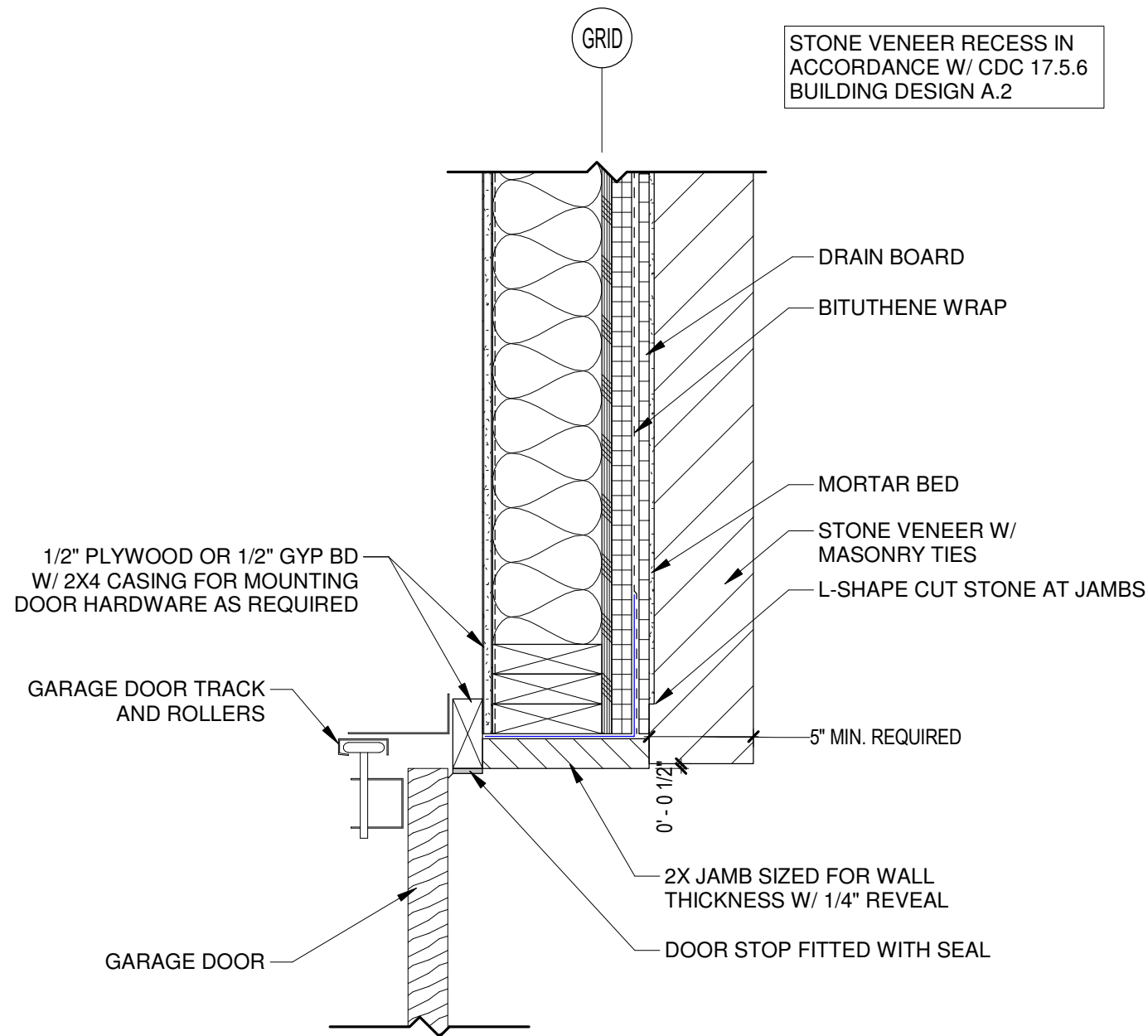
DOOR SCHEDULE					
MARK	UNIT HEIGH T	UNIT WIDTH	DOOR TYPE	HARDWARE	Description
101B	8' - 0"	9' - 0"	EXT. OVHD. SECTIONAL FLUSH GARAGE		
102	7' - 6"	2' - 10"	EXTERIOR SINGLE GLASS PANEL		
103	6' - 8"	2' - 4"	INTERIOR SINGLE PANEL		
104	7' - 0"	3' - 0"	INTERIOR BIFOLDING		
105	7' - 0"	3' - 0"	INTERIOR BARN DOOR		
106	7' - 0"	2' - 4"	INTERIOR POCKET DOOR		
107	7' - 6"	2' - 10"	EXTERIOR SINGLE GLASS PANEL		
108	7' - 0"	3' - 0"	INTERIOR BIFOLDING		
204	7' - 0"	2' - 6"	INTERIOR POCKET DOOR		
206	7' - 0"	2' - 6"	INTERIOR POCKET DOOR		
302 A	6' - 8"	2' - 4"	INTERIOR SINGLE PANEL		
302 B	7' - 0"	2' - 6"	INTERIOR POCKET DOOR		
305	6' - 8"	2' - 4"	INTERIOR SINGLE PANEL		
306	6' - 8"	2' - 4"	INTERIOR SINGLE PANEL		
307	7' - 0"	2' - 4"	INTERIOR POCKET DOOR		
308	7' - 0"	4' - 0"	INTERIOR BIFOLDING		
309	7' - 0"	4' - 0"	INTERIOR BIFOLDING		
310	0' - 0"	0' - 0"	INTERIOR CASED OPENING		
313	7' - 0"	2' - 6"	EXTERIOR SINGLE GLASS PANEL		
384	8' - 0"	2' - 8"	SINGLE SWING PANNEL		
385	8' - 0"	3' - 0"	EXTERIOR TRIPLE SLIDING GLASS DOOR		
386	7' - 0"	2' - 0"	INTERIOR SINGLE PANEL		
387	6' - 8"	2' - 4"	INTERIOR SINGLE PANEL		



WINDOW DETAIL W/ STONE VENEER

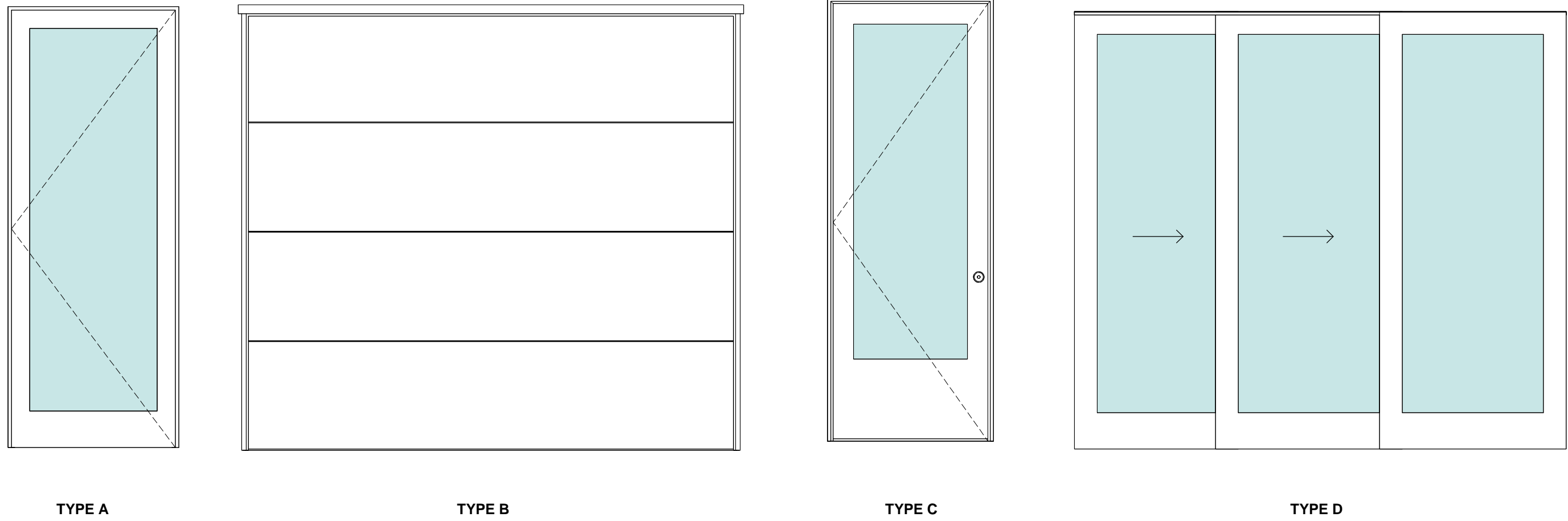
1 1/2" = 1'-0"

WINDOW SCHEDULE					
TYPE MARK	MA RK	UNIT WIDTH	UNIT HEIGHT	TYPE	
A	4	2' - 0"	2' - 0"	Casement	
A	5	2' - 0"	2' - 0"	Casement	
A	7	2' - 0"	2' - 0"	Casement	
J	48	2' - 6"	4' - 0"	Casement	
J	60	2' - 6"	4' - 0"	Casement	
J	69	2' - 6"	4' - 0"	Casement	
J	70	2' - 6"	4' - 0"	Casement	
B	75	2' - 6"	5' - 4"	Casement	
A	76	2' - 0"	2' - 0"	Casement	
A	77	2' - 0"	2' - 0"	Casement	
J	79	2' - 6"	4' - 0"	Casement	
C	83	2' - 6"	5' - 4"	Casement	
B	90	2' - 6"	5' - 4"	Casement	
B	91	2' - 6"	5' - 4"	Casement	
C	101	2' - 6"	5' - 4"	Casement	
D	104	5' - 0"	5' - 4"	Casement	
F	105	7' - 6"	4' - 10"	Casement 3-Wide	
I	106	7' - 6"	5' - 4"	Casement 3-Wide	
I	107	7' - 6"	5' - 4"	Casement 3-Wide	
C	110	2' - 6"	5' - 4"	Casement	
C	111	2' - 6"	5' - 4"	Casement	
G	112	5' - 0"	5' - 4"	Casement 2-Wide	
C	113	2' - 6"	5' - 4"	Casement	
A	115	2' - 0"	2' - 0"	Casement	
D	220	4' - 8"	4' - 10"	Casement	
C	221	2' - 6"	5' - 4"	Casement	
D	222	4' - 8"	4' - 10"	Casement	
J	223	2' - 6"	4' - 0"	Casement	
J	224	2' - 6"	4' - 0"	Casement	
C	225	2' - 6"	5' - 4"	Casement	
C	228	2' - 6"	5' - 4"	Casement	
J	229	2' - 6"	4' - 0"	Casement	



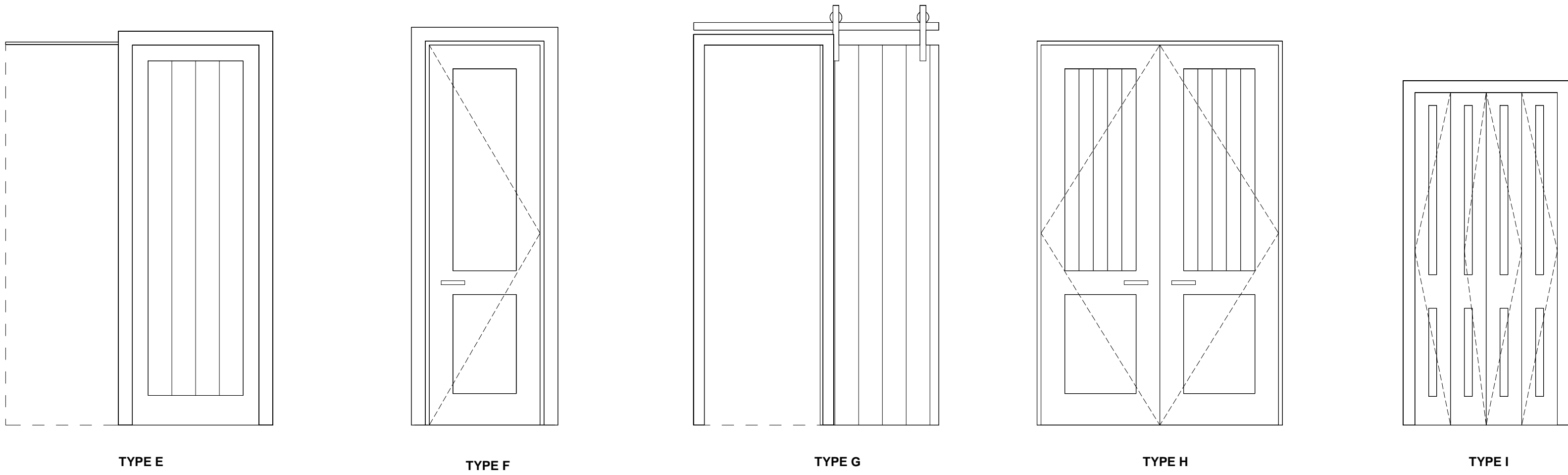
GARAGE DOOR JAMB @ STONE VENEER

1 1/2" = 1'-0"



EXTERIOR DOOR TYPES

1/2" = 1'-0"



INTERIOR DOOR TYPES

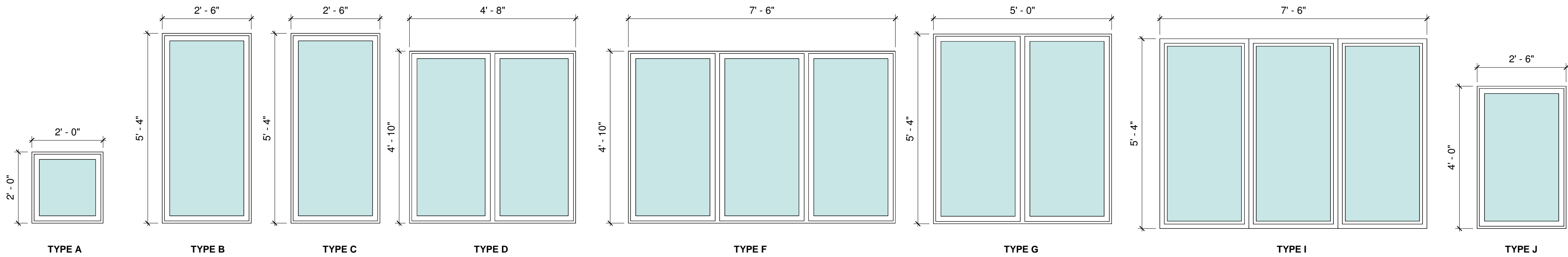
1/2" = 1'-0"

WINDOW NOTES

1. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
2. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
3. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
4. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.

DOOR NOTES

1. NEW EXTERIOR DOORS TO BE 2/3 LITE PER GS#34.
2. DOOR HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
3. DOOR & WINDOW MANUFACTURER: LOEWEN ALUMN CLAD WOOD OR SIMILAR.
4. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

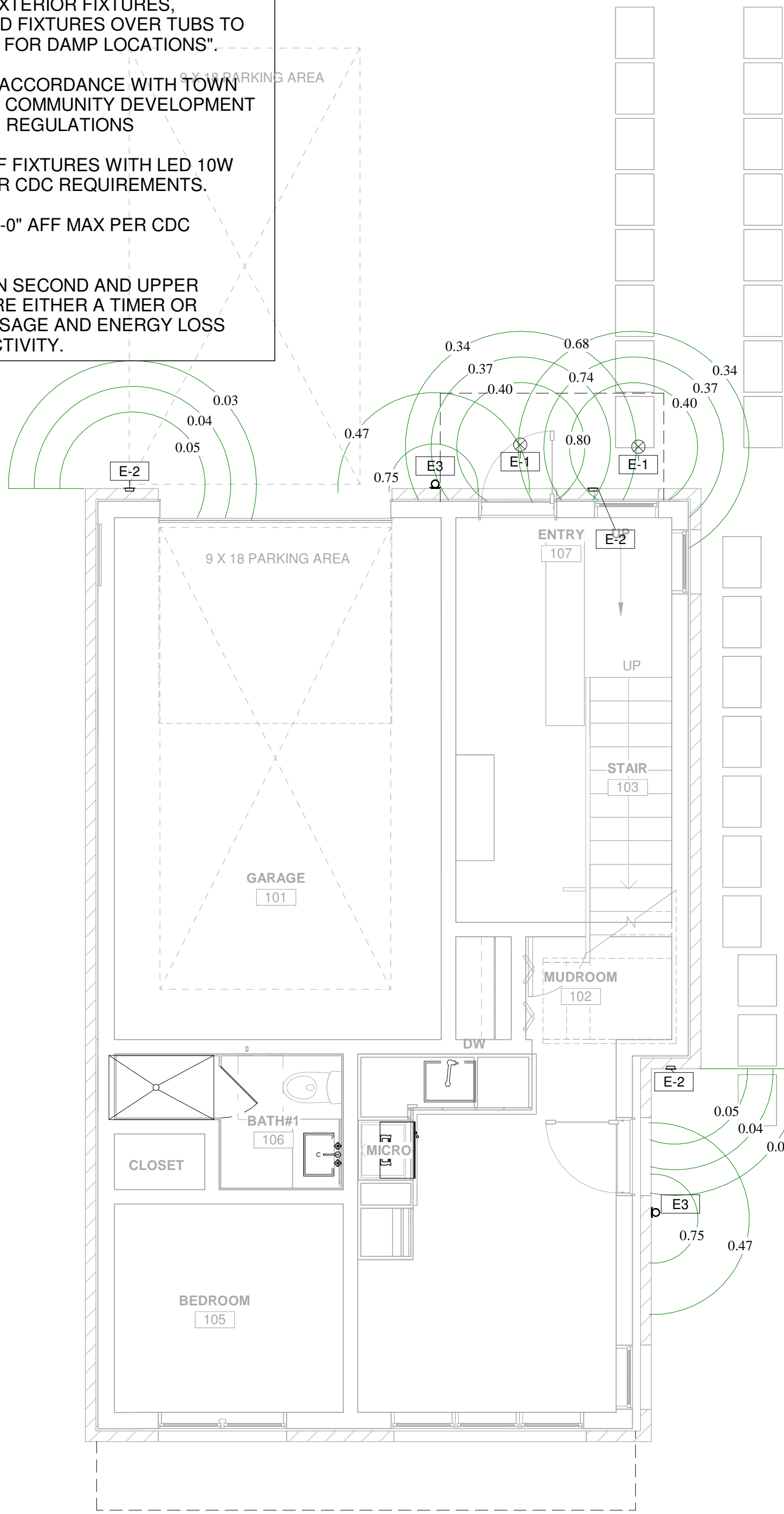


WINDOW TYPES

1/2" = 1'-0"

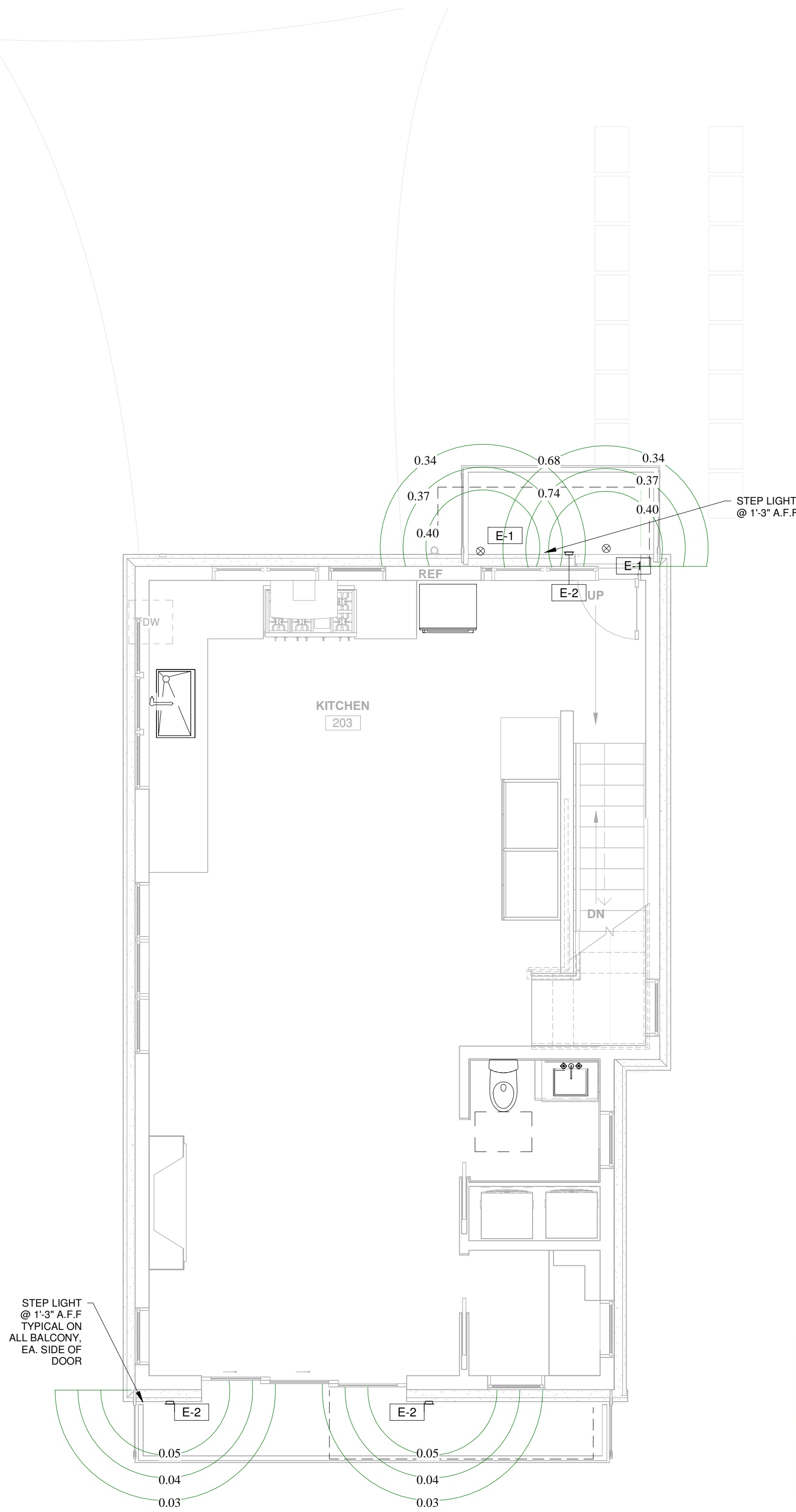
LIGHTING NOTES:

- 1. FIELD VERIFY ALL LIGHTING LOCATIONS.
- 2. TYPICAL LIGHTING LOCATION AT STAIRS:
(1 EA) PER LANDING
(2 EA) PER RUN
- 3. CONTRACTOR SHALL TAKE CARE IN PLANNING
ROUGH FRAMING LAYOUT AS IT RELATES TO THE
NEED TO CENTER FIXTURES IN HALLWAYS,
RECESSES AND OTHER AREAS WHERE
RELATIONSHIPS DON'T OFFER ANY LATITUDE OR
FIELD ADJUSTMENTS.
- 4. ALL RECESSED FIXTURES AT INSULATED CEILINGS
TO BE IC RATED AND CERTIFIED AIR TIGHT
CONSTRUCTION. ALL EXTERIOR FIXTURES,
SHOWER FIXTURES AND FIXTURES OVER TUBS TO
BE MARKED "SUITABLE FOR DAMP LOCATIONS".
- 5. LIGHTING SHALL BE IN ACCORDANCE WITH TOWN
OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT
CODE 17.5.12 LIGHTING REGULATIONS
- 6. PROVIDE FULL CUT OFF FIXTURES WITH LED 10W
2500K-2700K BULBS PER CDC REQUIREMENTS.
- 7. MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC
REQUIREMENTS.
- 8. EXTERIOR LIGHTING ON SECOND AND UPPER
FLOORS SHALL REQUIRE EITHER A TIMER OR
SENSOR TO REDUCE USAGE AND ENERGY LOSS
DURING TIMES OF INACTIVITY.



1 LOWER LEVEL EXTERIOR LIGHTING PLAN

1/4" = 1'-0"



2 MAIN LEVEL EXTERIOR LIGHTING PLAN

1/4" = 1'-0"



EXTERIOR E-1:
EXTERIOR RECESSED LED CAN

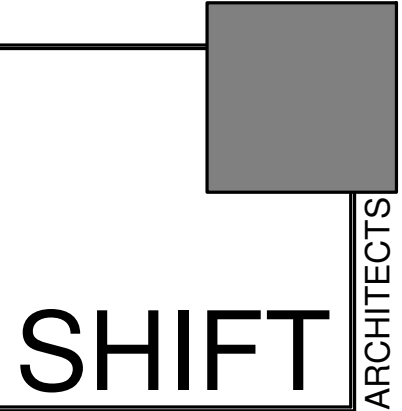
TESLA PRO 2	
FINISH: BRUSHED NICKEL	
MANUFACTURER	WAC LIGHTING
ITEM	WAC514031
MATERIAL	DIE-CAST ALUMINIUM
GLASS	ETCHED LENSE
WIDTH	4.25" DIA.
HEIGHT	4.25" DIA.
DEPTH	.13"
LAMP TYPE	LED
BULB TYPE	14.5W
LUMENS	535
COLOR TEMPERATURE	2700K
CRI	85
RATED LIFE	90,000 HOURS
CERTIFICATION	IP66, UL & cUL LISTED FOR WET LOCATIONS
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING

EXTERIOR E-2:
EXTERIOR STEP AND WALL LIGHT

LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT	
FINISH: BLACK	
MANUFACTURER	WAC LIGHTING
ITEM	WAC671977
MATERIAL	CORROSION RESISTANT ALUMINUM
GLASS	ETCHED LENS
WIDTH	5"
HEIGHT	3"
DEPTH	.13"
LAMP TYPE	LED
BULB TYPE	3.9W
LUMENS	68
COLOR TEMPERATURE	3000K
CRI	83
RATED LIFE	60,000 HOURS
CERTIFICATION	UL LISTED FOR WET LOCATIONS
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING

EXTERIOR E-3:
EXTERIOR WALL SCONCE

PANDORA LED INDOOR/OUTDOOR WALL SCONCE	
FINISH: BRONZE	
MANUFACTURER	MODERN FORMS
ITEM	MF1720529
MATERIAL	ALUMINUM
GLASS	LED DRIVER
WIDTH	7"
HEIGHT	7"
DEPTH	4.75"
LAMP TYPE	LED
BULB TYPE	12W
LUMENS	270
COLOR TEMPERATURE	3000K
CRI	85
RATED LIFE	50,000 HOURS
CERTIFICATION	ADA COMPLIANT & ETL LISTED WET
DARK SKY	YES
VOLTAGE	120V, DIRECT WIRING



P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
03.15.22 DRB SUBMITTAL

REVISION
NO. DATE DESC.

LYONS RESIDENCE

Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

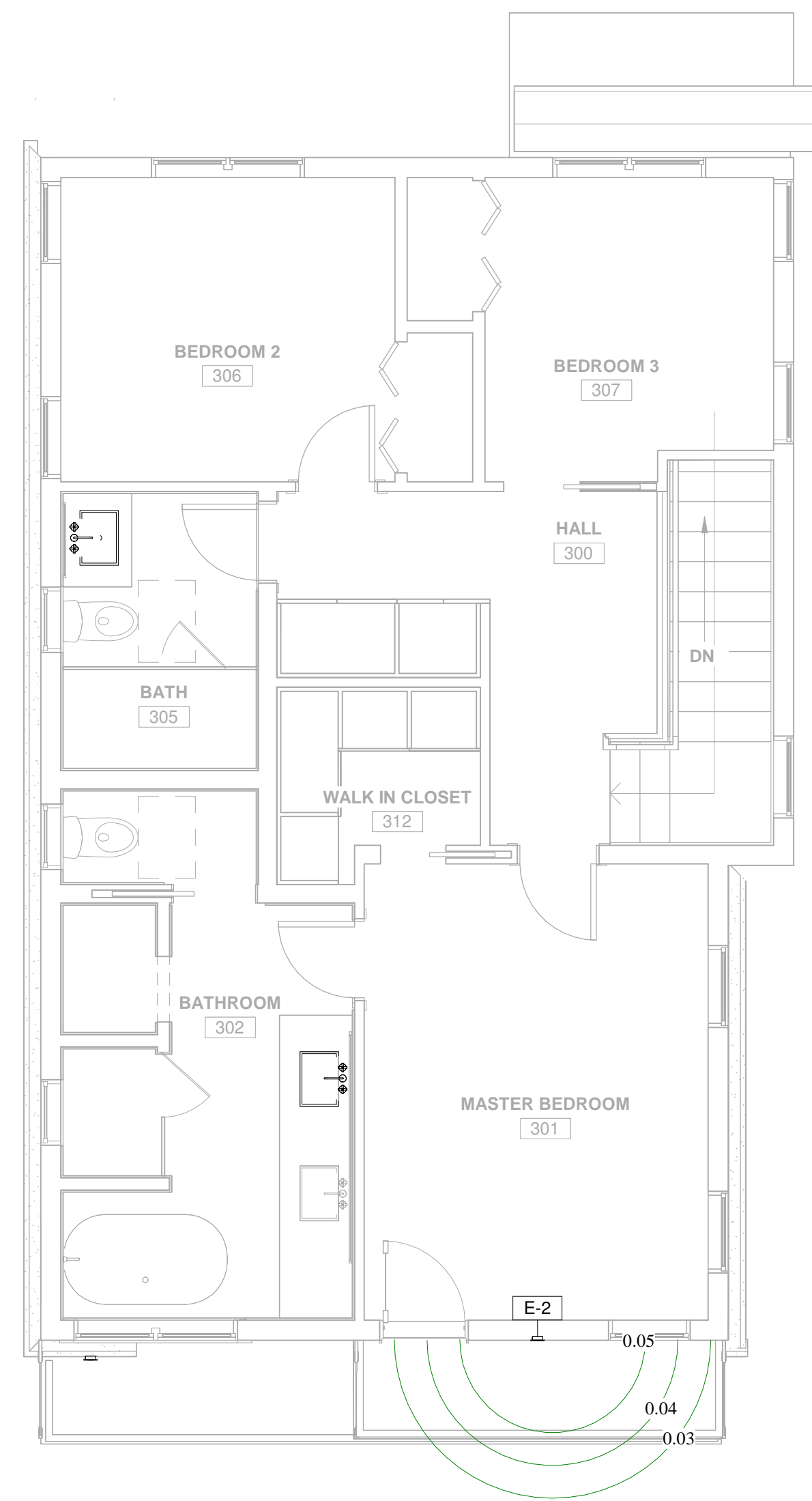
LIGHTING PLANS

SHEET NUMBER

©shift architects

4/16/2022 10:46:50 PM

LTG1.1



1

UPPER LEVEL EXTERIOR LIGHTING PLAN

1/4" = 1'-0"

LYONS RESIDENCE

Unit-10, Boulders Way, Mountain Village
Telluride, CO 81435, USA

LIGHTING PLAN

Review comments by TOMV staff forester, Michael Otto

New Single Family Home at Lot 649r-10

[initial architecture and site review lot 649r- 10 boulders way.pdf \(townofmountainvillage.com\)](#)

A wildfire mitigation plan was not submitted. Because there are no trees on the site, I would support waiving this requirement.

Diversity of plantings clause was not met. Only aspen plantings are planned. A wooden fence is included in the landscape plan and would require an exception



TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Date: 02/28/2021

Address: Lot 649R-10, 10 Boulders Way
Mountain Village, CO 81435

TFPD approves the proposal with the following conditions:

- 1) The address monument/numbers shall be minimum 4'6" from grade to the bottom of the address numbers. Address numbers shall be 6" in height, reflective coated or outlined with a reflective coating.
- 2) TFPD recommends the installation of a Knox Box for access during emergency situations.



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

The Planning & Development Services Department has provided this referral form to solicit your input on a development proposal that has been submitted to the Town.

Within the first five (5) calendar days of the referral for a Class 1 or 2 application, or ten (10) calendar days for a Class 3, 4 or 5 application, a referral agency may request an extension of time to review a development application for good cause. The Planning Division shall determine if any requested extension is warranted and notify the referral agency and applicant of its decision and the number of days allowed for the extended review time, if any, within three (3) business days of such request.

If a referral agency fails to respond by the date requested on the referral form, its failure to respond shall be interpreted as "no comment" in which case it shall be presumed that such referral agency does not take issue with the development application.

Application Information

Class of Development Application : Class 3

Date Referral Emailed to Dept. or Agency :

February 25, 2022

Class 1 or 2 Application Referral Comment

Deadline: 15 calendar days from date above: n/a

Class 3,4, & 5 Application Referral Comment

Deadline: 21 calendar days from date above (3/18/22)

Planner Name: Amy Ward

Planner Email: award@mtnvillage.org

Planner Phone Number: 970-729-2985

Applicant Name: Kristine Perpar

Applicant Email Address:

kristine@shift-architects.com



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Description of Development Application(s):

Construction of a new single family home on Lot 649R, 10 Boulders Way.

Referral Agency Information

Referral Agency	Referral	Email Address
Town Public Works	x	fkjome@mtnvillage.org
Town Plazas and Environmental Services Dept.		ddrew@mtnvillage.org
Town Attorney		pwisor@garfieldhecht.com
Town Forrester	x	motto@mtnvillage.org
Mountain Village Cable	x	slehane@mtnvillage.org
Transportation Department		jloebe@mtnvillage.org
Recreation Department		ccolter@mtnvillage.org
Police Department	x	cbroadly@mtnvillage.org
Telluride Fire Protection District	x	sheidergott@telluridefire.com
San Miguel Power Association	x	jeremy@smpa.com ; terry@smpa.com
Black Hills Gas	x	brien.gardner@blackhillscorp.com paul.ficklin@blackhillscorp.com
Century Link (800-526-3557)	x	Kirby.bryant@centurylink.com
Colorado Geologic Survey (fee required)		Kaberry@mines.edu
San Miguel County		miker@sanmiguelcountyco.gov
Town of Telluride		mhaynes@telluride-co.gov
San Miguel Regional Housing Authority		shirley@smrha.org
Colorado State Forest Service		Jodi.rist@colostate.edu
United States Army Corps of Engineers		Carrie.A.Sheata@usace.army.mil



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments
Lot 649R-10, 10 Boulders
Way:

Amy,
The utility plans work for me.
No issues.
Finn



Agenda Item # 10
PLANNING AND DEVELOPMENT SERVICES
DEPARTMENT

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Town Council

FROM: Amy Ward, Senior Planner

FOR: Design Review Board Public Hearing; May 5, 2022

DATE: April 20, 2022

RE: Staff Memo – Final Architecture Review (FAR) Lot 503, TBD Russell Drive

PROJECT GEOGRAPHY

Legal Description: LOT 503, TELLURIDE MOUNTAIN VILLAGE, FILING 2, ACCORDING TO THE PLAT RECORDED JANUARY 11, 1991 IN PLAT BOOK 1 AT PAGE 1112, COUNTY OF SAN MIGUEL, STATE OF COLORADO

Address: TBD Russell Drive
Applicant/Agent: Edwin Lindell
Owner: Cinda and Jeff Rodewald
Zoning: Single
Existing Use: Vacant
Lot Size: .74 acres
Proposed Use: Single-Family
Adjacent Land Uses:

- **North:** Single-Family
- **South:** Open Space
- **East:** Single-Family
- **West:** Open Space

ATTACHMENTS

Exhibit A: Architectural Plan Set

~~Exhibit B: Public comments~~



Case Summary:

Edwin Lindell of ETL Architects INC, is requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) application for a new single-family home with an attached accessory dwelling unit (ADU) located on Lot 503, TBD Russell Drive. The lot is approximately 0.74 acres and is zoned Single-family. The overall square footage of the home is approximately 6,362 s.f., with 4,882 s.f. livable square feet. This is broken down between the main dwelling at 4,162 and the attached ADU at 720 s.f.. An ADU is allowable as a use by right pursuant to the underlying zoning, within the single-family zone district. Because of the acreage of the lot is less than .75 acres the ADU must be attached. The square footage of the ADU is allowable at 20% of the main dwelling not to exceed 1500s.f.

The project as proposed would be allowed 832 s.f., and is proposing 720 s.f. The structure is attached by foundation and roof form, so it is in compliance with ADU regulations as proposed.

The project is providing 4 interior parking spaces within the proposed garages and 3 exterior spaces. The project is also proposing to have two access points. The primary access will be off of Russell Drive, and a secondary access will be off of Lone Fir Lane.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	34' 7 ½"
Maximum Avg. Building Height	30' (shed) Maximum	22.12'
Maximum Lot Coverage	40% (12,824 s.f.)	19.96% (6,400 s.f.)
General Easement Setbacks	No encroachment	Retaining wall
Roof Pitch		
Primary		1:12
Secondary		0.5:12, 0.125:12
Exterior Material		
Stone	35% minimum	35%
Windows/Doors	40% maximum	27%
Parking	2 interior/2 exterior	4 interior/3 exterior

DRB Specific Approval:

- 1) GE Encroachments – Retaining wall
- 2) Road Right of way encroachment (insubstantial) – Retaining wall
- 3) Road and Driveway Standards - (2) Curb cuts

Design Variation:

- 4) Landscaping – diversity of species

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated February 21, 2022

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Criteria met.

17.3.14: General Easement Setbacks

Lot 177 is burdened by a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide

for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway as shown currently takes access from Russell Drive and crosses the General Easement to the homesite. There is a secondary access off of Lone Fir Lane which also crosses the General Easement to the homesite.*
- *Utilities: Utilities are mostly located in Lone Fir Lane and cross the northern GE to the lot. Sewer service is accessed from the open space to the west and crosses the western GE to the lot.*
- *Landscaping: There is proposed new planting in both the northern and eastern GE areas*

The proposal also includes a GE encroachment and road right of way encroachment requiring specific DRB approval:

- *There is a boulder retaining wall to the east of the driveway that is within the GE and a small portion of road right of way.*

Staff: The retaining wall is essential for the creation of the driveway. Public Works noted this encroachment but did not raise any concerns regarding it. Road right of way encroachments when deemed insubstantial by staff can be approved at the DRB level. If DRB believes this to be approvable, then a specific approval should be granted.

Regardless of the encroachment, any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: Criteria met.

17.5.5: Building Siting Design

Staff: Criteria met.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

Staff: The only major change in building design we see from Initial to Final is the addition of a screening element on the south side of the covered porch area. Staff doesn't feel this has a significant affect on the overall massing of the building and provides some privacy for the outdoor living space from Russell Drive.



17.5.7: Grading and Drainage Design

Staff: Criteria met.

17.5.8: Parking Regulations

Staff: The applicant has revised the parking program and is now showing 3 exterior parking spaces in total. Two are shown in the driveway of the main garage and one is shown in the driveway of the ADU garage. There is no longer any concern about tandem parking. The four interior spaces within the garage have not changed since the initial review. The applicant is exceeding current parking requirements.

17.5.9: Landscaping Regulations

The applicant has provided a landscaping plan with a nice diversity of trees, however it is still not meeting the diversity of species clause. There are some perennial beds close to the home and disturbed areas are to be re-vegetated with a Town approved native seed mix. DRB seemed to find this landscaping plan appropriate at Initial Review therefore a design variation for landscaping should be granted.

17.5.11: Utilities

Staff: Criteria met. However, proof of an encroachment agreement between the homeowner and TSG will be necessary prior to building permit and should be a condition of any approval from the DRB.

17.5.12: Lighting Regulations

Staff: A lighting plan was provided including photometric study. Fixture C, the recessed can exceeds the maximum lumen output allowed per the CDC, however the plan set is indicating it will be placed on a dimmer system that caps output to allowable lumens. Staff believes the applicant is meeting all lighting requirements.

17.5.13: Sign Regulations

Staff: An address monument design has been provided. The proposal includes a monument both on Russell Drive and the secondary access on Lone Fir. Per comments from the police chief, staff recommends revising the text on the monuments so that they both read TBD (insert actual address) Russell Drive so as to avoid any confusion during an EMS response. Additional revisions are needed to the monument design to ensure

reflectivity in the case of a power outage. The base of the monument as proposed is concrete. DRB should discuss whether this is appropriate as is or whether they would want it faced in stone.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: Criteria met. Prior to building permit the applicant shall work with the Town Forester on site to create a tree removal plan for Zone 2 if necessary.

17.6.6: Roads and Driveway Standards

Staff: The driveway and alternate access off of Lone Fir are shown at a width of 12' which meets the width requirement for a drive that is less than 150' in length. The driveway off of Russell has grades from 4-8%. The alternate access is relatively flat at less than 2%. There are no retaining walls that exceed the allowable 5'.

The CDC states that any property with more than one curb cut must obtain specific approval from DRB in consultation with the Public Works department. Public works has indicated that this second access is desirable to the Town as it gives them an opportunity to improve the turn around at the end of Lone Fir Lane. The applicant has indicated that the second access could be done with a permeable surface to help with drainage as well as to differentiate this access from the main driveway. If DRB finds this access approvable, then a specific approval should be granted.

17.6.8: Solid Fuel Burning Device Regulations

Staff: There are four fireplaces shown in the plans, the main level shows these as gas fireplaces. The lower-level fireplaces are stacked directly under the main level fireplaces and don't indicate fuel, but would have to be gas in this configuration. It should be noted that no wood burning fireplaces are being approved with this application.

Chapter 17.7: BUILDING REGULATIONS

17.7.12 Snow Melt

Staff: The project is proposing 2515 s.f. of snowmelt, therefore will have to mitigate for 1515 s.f. in excess of allowable.

17.7.19: Construction Mitigation

Staff: The applicant has amended the CMP so that dumpsters and toilets are contained within the construction fence. They have also indicated silt fencing on the downhill side of the site. Staff feels the CMP is now meeting CDC standards.

Staff Recommendation: Staff recommends the DRB approve the Final Architectural Review for Lot 503, TBD Russell Drive, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architectural Review for a new single-family home with attached ADU located at Lot 503, based on the evidence provided within the Staff Report of record dated April 19, 2022, with the following specific approvals and design variations:

DRB Specific Approval:

- 1) GE Encroachments – Retaining wall
- 2) Road Right of way encroachment (insubstantial) – Retaining wall
- 3) Road and Driveway Standards - (2) Curb cuts

Design variations:

- 1) Landscaping – diversity of species

And, with the following conditions:

- 1) Prior to building permit, the applicant shall submit a revised address monument design for both the Russell Drive address and the alternate access at Lone Fir Lane per the comments of the Police Chief and Fire Marshall, and to otherwise meet the requirements of the CDC.
- 2) Prior to building permit the applicant shall provide proof of an access agreement with TSG for the sewer accesses.
- 3) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 4) Prior to Certificate of Occupancy the applicant will enter into a revocable Encroachment Agreement with the Town for any approved encroachments in the general easement. This includes any encroachments that already exist on the property as well as any new encroachments.
- 5) Prior to Certificate of Occupancy the applicant will enter into a revocable Encroachment Agreement with the Town for any approved encroachments in the road right of way. This includes any encroachments that already exist on the property as well as any new encroachments.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.
- 7) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 8) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 9) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire

department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



Lot 503 Final DRB Application Development Narrative

Lot 503 Lone Fir Lane

Town of Mountain Village

San Miguel County, Colorado 81435

Applicant: ETL Architects Inc

Edwin Lindell

Narrative:

ETL Architects is requesting to be heard for the Second and Final formal Mountain Village Design Review Board hearing for the following development application for Lot 503 Lone Fir Lane. This application consists of the development of a 6,362 gross sf single-family residence on the 0.735 Acre lot. The proposed design is simple in form and mass to give the structure a subordinate relationship to the lot surroundings as this lot is steep in nature and adjacent to open space to the west, a developed lot to the north, an undeveloped lot to the east, and Russel Dr. to the south. We are proposing one main access off Russel drive to the Main house and a secondary permeable access to the accessory dwelling unit. These access locations have been developed with the support of the Mountain Village Public Works and Planning Departments.

We would like to gain the Mountain Village Design Review Board's support at the next available public hearing as we present our application and its compliance with the design guidelines. Please see the attached drawing package and supporting documents.

Sincerely,

A handwritten signature in black ink, appearing to read 'Edwin Lindell', written in a cursive style.

Edwin Lindell
ETL Architects Inc
970.394.4480
edwin@etlarchitects.com

ABBREVIATIONS

AAD	ATTIC ACCESS DOOR
ADD	ADDENDUM
ADJ	ADJACENT
ACR	AREA OF REFUGE
AGG	AGGREGATE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ARCH	ARCHITECTURAL
ASSY	ASSEMBLY
BM	BEAM
BRG	BEARING
BET	BETWEEN
BD	BOARD
BS	BOTH SIDES
BO	BOTTOM OF
BLDG	BUILDING
CAB	CABINET
CL	CENTERLINE
CER	CERAMIC
CLR	CLEAR
CLOS	CLOSET
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CJ	CONSTRUCTION JOINT
CONT	CONTINUOUS
DP	DAMP-PROOFING
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DW	DISHWASHER
DN	DOWN
DR	DRAIN
DS	DOWNSPOUT
DRWG	DRAWING
EA	EACH
EL	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EJ	EXPANSION JOINT
EXT	EXTERIOR
FE CABT	FIRE EXTINGUISHER CABINET
FOC	FACE OF CONCRETE
FOS	FACE OF STUD
FIN	FINISH
FP	FIREPROOF
FL	FLOOR
FD	FLOOR DRAIN
FT	FLOOR TYPE
FTG	FOOTING
FDN	FOUNDATION
FSD	FIRE SMOKE & DRAFT CONTROL
GA	GAUGE
GALV	GALVANIZED
GS	GALVANIZED STEEL
GC	GENERAL CONTRACTOR
GL	GLASS
GR	GRADE
GLB	GLU-LAMINATED WOOD BEAM
GYP	GYP SUM
GWB	GYP SUM WALLBOARD
HDW	HARDWARE
HD	HEAD
HDR	HEADER
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
HT	HEIGHT
HW	HARDWOOD
HWY	HIGHWAY
HOR	HORIZONTAL
ICP	INTEGRATED COLOR PLASTER
ID	INSIDE DIAMETER
INT	INTERIOR
JT	JOINT
LAM	LAMINATE(D)
LAV	LAVATORY
MFG	MANUFACTURER
MO	MASONRY OPENING
MTL	MATERIAL
MAX	MAXIMUM
MC	MEDICINE CABINET
MECH	MECHANICAL
MIN	MINIMUM
MS	MILD STEEL
MISC	MISCELLANEOUS
NIC	NOT IN CONTRACT
NA	NOT APPLICABLE
NTS	NOT TO SCALE
NO.	NUMBER OF (QUANTITY)
OC	ON CENTER
OPG	OPENING
OPP	OPPOSITE
OPH	OPPOSITE HAND
OD	OUTSIDE DIAMETER
OFD	OVERFLOW DRAIN
PD	PERIMETER DETAIL
PERF	PERFORATED
PFSM	PREFINISHED SHEET METAL
PL	PLATE
PLWD	PLYWOOD
PROD	PRODUCT
PROJ	PROJECT
PROP	PROPERTY
R	RADIUS OR RISER
REF	REFER
REFR	REFRIGERATOR
REINF	REINFORCE(D)
REQD	REQUIRED
RHSM	ROUND HEAD SHEET METAL SCREW
RM	ROOM
RW	ROOF WINDOW
RWD	RAIN WATER DRAIN
RWP	RAIN WATER PIPE
RO	ROUGH OPENING
SAN	SANITARY
SR	SOUND REDUCING
SECT	SECTION
SEW	SEWER
SHS	SQUARE HOLLOW STEEL
SHT	SHEET
SHLV	SHELVES
SIM	SIMILAR
SL	SLIDING
SM	SHEET METAL
STC	SOUND TRANSMISSION CLASS
SPEC	SPECIFICATION
SQ	SQUARE
STD	STANDARD
STL	STEEL
STRUCT	STRUCTURE(AL)
SUB	SUBSTITUTE
SUPPL	SUPPLEMENT(AL)
SUSP	SUSPEND(ED)
SW	SOFTWOOD
TEL	TELEPHONE
TV	TELEVISION
TEMP	TEMPERED
IE	THAT IS
THK	THICK
TPH	TOILET PAPER HOLDER
T&G	TOUNGE AND GROOVE
T&B	TOP AND BOTTOM
TO	TOP OF
T.O.T.	TOWN OF TELLURIDE
TOSL	TOP OF SLAB
T	TREAD
TS	TUBE STEEL
TYP	TYPICAL
UC	UNDERCOUNTER
UG	UNDERGROUND
U.N.O.	UNLESS NOTED OTHERWISE
UNFIN	UNFINISHED
UBC	UNIFORM BUILDING CODE
USG	UNITED STATES GAGE
VAR	VARIABLE
VENT	VENTILATE
VIF	VERIFY IN FIELD
VERT	VERTICAL
VAT	VINYL ASBESTOS TILE
V	VOLTAGE
WC	WATER CLOSET
WP	WATERPROOF
WHT	WEIGHT
WT	WALLTYPE
WIN	WINDOW
WI	WITH
W/O	WITHOUT
WD	WOOD
WNT	WINDOW TYPE

MATERIAL LEGEND

CONCRETE	
CONCRETE MASONRY	
EXISTING STONE	
STONE VENEER	
FRAME WALL	
TILE	
STEEL	
ALUMINUM OR SHEET METAL	
BATT INSULATION	
GYP. WALL BOARD	
PLYWOOD	
SOIL/COMPACTED FILL	
ROCK/NON-COMPACTED FILL	
SAND	
FINISHED WOOD	
ROUGH FRAMING OR ROUGH SAWN TRIM	
WOOD BLOCKING	
GLU-LAM WOOD	
PARTICLE BD. OR WOOD FIBER BD.	
RIGID INSULATION	
CARPET	

SYMBOL LEGEND

BUILDING SECTION CUT	
SECTION NO.	
SHEET NO.	
DETAIL CUT	
DETAIL NO.	
SHEET NO.	
DETAIL CALLOUT	
DETAIL NO.	
SHEET NO.	
EXTERIOR/INTERIOR ELEVATION	
ELEVATION NO.	
SHEET NO.	
ROOM NUMBER	
DOOR MARK	
WINDOW MARK	
REFERENCE GRID LINE	
SPOT ELEVATION	
DRAWING REVISION	

GENERAL NOTES

A. THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," LATEST EDITION, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.

B. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATION, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.

C. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES.

D. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.

E. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

F. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.

G. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE I.R.C. OR ANY LOCAL CODE OR ORDINANCE.

H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION. FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.

I. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTED WITH "N.T.S.:" DENOTES NOT TO SCALE.

J. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.

K. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

L. CONTRACTOR WILL ASSUME RESPONSIBILITY FOR STONE MASONRY SUBCONTRACTOR'S TAKE-OFFS.

M. SEE SPECIFICATIONS FOR DOOR, WINDOW, AND FINISH SCHEDULES.

N. SEE SPECIFICATIONS FOR EXTERIOR FINISH MATERIALS AND COLORS.

O. ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL DRAWINGS. NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

LAND USE CODE INFO

LAND USE	
ZONE DISTRICT:	RESIDENTIAL
TREATMENT AREA:	N/A
SUBDIVISION:	N/A
EXISTING USE:	SINGLE FAMILY RESIDENCE
PROPOSED USE:	SINGLE FAMILY RESIDENCE
FLOOD HAZARD AREA:	NOT IN A FLOOD HAZARD AREA
GEOLOGIC HAZARD AREA:	N/A
GROUNDWATER DEPTH ZONE:	N/A
WETLANDS AREA:	N/A
LOT AREA:	32,000 SF
EXISTING ABG. FLOOR AREA:	0 SF
PROPOSED ABG. FLOOR AREA:	2,123 SF
PARKING SPACES:	2 INTERIOR, 2 EXTERIOR REQUIRED

BUILDING CODE INFO

AUTHORITY HAVING JURISDICTION (AHJ):
TOWN OF MOUNTAIN VILLAGE

APPLICABLE BUILDING CODES (AS ADOPTED & AMENDED BY THE TOWN OF TELLURIDE):
INTERNATIONAL BUILDING CODE (IBC), 2018
INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018

LEGAL:
LOT 503, TELLURIDE MOUNTAIN VILLAGE, FILING 2, ACCORDING TO THE PLAT RECORD JANUARY 11, 1991 IN PLAT BOOK 1 AT PAGE 1112, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

CODE: 2018 IRC

CONSTRUCTION TYPE: V-B FOR R-2 OCCUPANCIES

FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601:

TYPE V-B

STRUCTURAL FRAME:	0 HOUR
BEARING WALLS (INTERIOR AND EXTERIOR):	0 HOUR
NON BEARING WALLS EXTERIOR:	0 HOUR
NON BEARING WALLS INTERIOR:	NO REQUIREMENT
FLOOR CONSTRUCTION:	0 HOUR
ROOF CONSTRUCTION:	0 HOUR

BUILDING PERMIT NOTES

1. ANY DEVELOPMENT WITHIN THE TOWN OF MOUNTAIN VILLAGE MUST BE APPROVED BY THE MOUNTAIN VILLAGE PLANNING DEPARTMENT AND/OR DRB.
2. ALL PLUMBING FIXTURES TO BE LOW FLOW.

SHEET INDEX

A 001	COVER SHEET, INDEX	A 410	DETAILS
S S-1	SURVEY	A 510	WALL TYPES
C C1	NOTES	A 601	SCHEDULE
C C2	PLAN AND PROFILE	A 901	EXISTING PHOTOS
C C3	UTILITIES	A 902	EXISTING PHOTOS
A 101	SITE & CSP PLAN	A 910	3D VIEWS
A 102	LANDSCAPE PLAN	A 911	3D VIEWS
A 110	GUEST LOWER FP	A 920	RENDER
A 111	1/4TH PLAN LOWER LEVEL	A 921	RENDER
A 120	LOWER LEVEL FP	A 922	RENDER
A 121	1/4TH PLAN LOWER LEVEL	A 923	RENDER
A 122	1/4TH PLAN LOWER LEVEL GH	A 924	RENDER
A 130	MAIN LEVEL FP	A 925	RENDER
A 132	1/4TH PLAN MAIN LEVEL GR	A 926	RENDER
A 140	ROOF PLAN		
A 141	1/4TH ROOF PLAN		
A 142	1/4TH ROOF PLAN GARAGE		
A 143	1/4TH ROOF PLAN GH		
A 210	ELEVATIONS		
A 211	1/4TH ELEVATIONS		
A 212	1/4TH ELEVATIONS		
A 213	1/4TH ELEVATIONS		
A 220	ELEVATIONS		
A 221	1/4TH ELEVATIONS		
A 222	1/4TH ELEVATIONS		
A 223	1/4TH ELEVATIONS		
A 230	MATERIAL ELEVATIONS		
A 301	MATERIAL BOARD		
A 302	ADDRESS MONUMENTS		
A 310	SECTIONS		
A 311	SECTIONS		
A 312	SECTIONS		

PROJECT VIEW



APPLICATION INFO

SUMMARY OF UNITS:

SINGLE FAMILY UNIT: 1 RESIDENCE, 1 ACCESSORY DWELLING UNIT

SUMMARY OF SQUARE FOOTAGE:

SINGLE FAMILY UNIT: 4,162 SF LIVING, 860 SF ATTACHED GARAGE
ACCESSORY DWELLING: 720 SF LIVING, 620 SF DETACHED GARAGE
% OF ACCESSORY TO SINGLE FAMILY: 26%

TOTAL: 6,362 SF

SITE COVERAGE:

MAIN HOUSE / GARAGE: 3000 SF
GUEST HOUSE: 1050 SF
TERRACES / WALKS: 2350 SF
TOTAL: 6,400 SF .19 FAR
ALLOWABLE: 12,824 SF .40 FAR

WOOD BURNING DEVICE PERMIT:

NONE

ARCHITECTURAL REQUIREMENTS:

MAXIMUM HEIGHT LIMIT: 22'-13" REF: ROOF PLAN, LESS THAN 30"
MAXIMUM AVERAGE HEIGHT:

ARCHITECTURE FEATURES: 40' MAXIMUM HEIGHT OFFSET LIMIT

PERCENTAGE OF MATERIALS:

REF: MATERIAL ELEVATIONS
STONE: 35%
GLAZING: 27%
OTHER: 38%

SNOWMELT SUMMARY:

MAIN ENTRY / GARAGE: 240 SF
MAIN TERRACE / LOGGIA / STAIR: 850 SF
LOWER TERRACE / WALKWAYS: 1040 SF
GUEST HOUSE TERRACE / WALKWAY: 220 SF
GUEST GARAGE / STAIR: 165 SF

TOTAL: 2515 SF EXTERIOR SNOWMELT

PROJECT DIRECTORY

OWNER

JEFF & CINDA RODEWALD
503 LONE FIR
TELLURIDE, CO 81435

ARCHITECT

ETL ARCHITECTS INC
PO BOX 33
1756 GREEN MEADOWS LN
PLACERVILLE CO 91430
970.394.4480

EDWIN LINDELL, EDWIN@ETLARCHITECTS.COM

GENERAL CONTRACTOR

EMORY SMITH CONSTRUCTION LLC,
PO BOX 3396
TELLURIDE, CO 81435
970.708.4641

EMORY SMITH, EMORY@EMORYSMITHCONSTRUCTION.COM

INTERIOR DESIGNER

RIVER AND LIME
1081 S PEARL ST
DENVER, CO 80209
303.519.0787

MARGARET SELZER, MSELZER@RIVERANDLIME.COM

SURVEYOR

FOLEY ASSOCIATES, INC.
P.O BOX 1385
125 W. PACIFICI SUITE B-1
TELLURIDE, COLORADO 81435
970.728.6050

JEFF HASKELL, PLS, HASKELL@FOLEYASSOC.COM

CIVIL ENGINEER

UNCOMPAGHRE ENGINEERING
PO BOX 3945
TELLURIDE CO 81435
970.729.0683

DAVID BALLODE , DBALLODE@MSN.COM

STRUCTURAL / MEP ENGINEER

BLACK CANYON ENGINEERS
447 E. MAIN ST
MONTROSE, CO 81401
970.568.5392

DREW RUDERMAN, DREW@BLACKCANYONENGINEERS.COM

GEOTECH ENGINEER

TRAUTNER GEOTECH LLC
649 TECH CENTER DRIVE UNIT A
DURANGO, CO 81301
970.259.5055

JON BUTLER, JBUTLER@TRAUTNERGEOTECH.COM

VICINITY MAP



(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

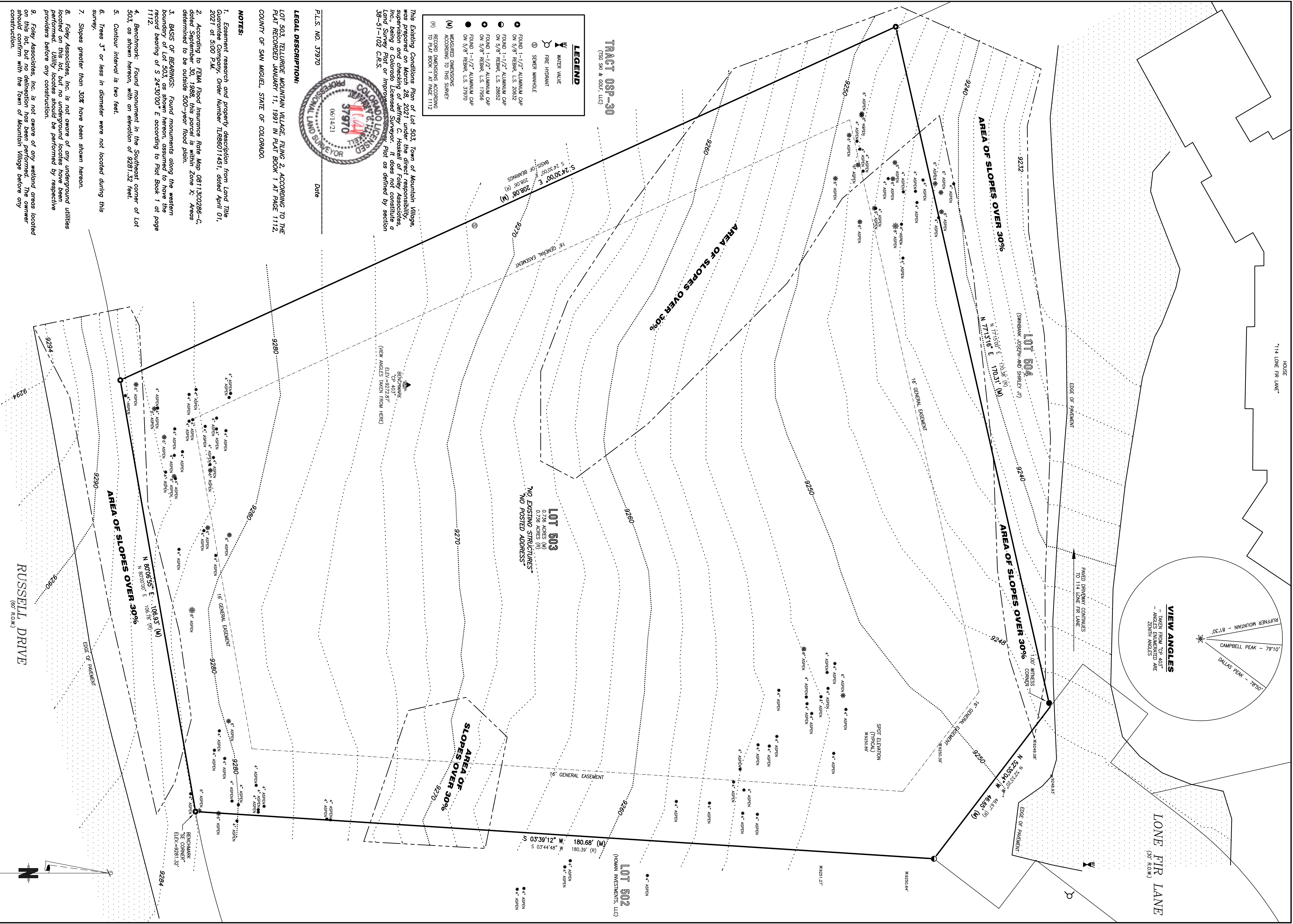
DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:
As indicated

COVER SHEET, INDEX

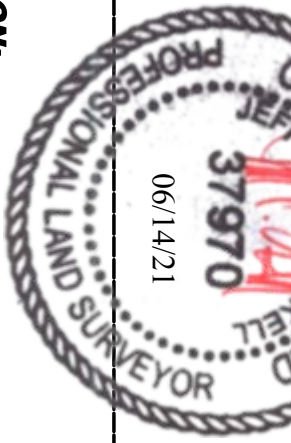
A 001



LEGEND

- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 22832
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 22832
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 17359
- FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970
- MEASURED DIMENSIONS
- ACCORDING TO THIS SURVEY
- RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 1112

This Existing Conditions Plan of Lot 503, Town of Mountain Village, was prepared on March 28, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date 06/14/21

LEGAL DESCRIPTION:
LOT 503, TELLURIDE MOUNTAIN VILLAGE, PLING 2, ACCORDING TO THE PLAT RECORDED JANUARY 11, 1991 IN PLAT BOOK 1 AT PAGE 1112, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

1. Easement research and property description from Land Title Guarantee Company, Order Number TL86011431, dated April 01, 2021 at 5:00 P.M.
2. According to FEMA Flood Insurance Rate Map 0813C0286-C, dated September 30, 1998, this parcel is within Zone X: Areas determined to be outside 500-year flood plain.
3. BASIS OF BEARINGS: Found monuments along the western boundary of Lot 503, as shown hereon, assumed to have the record bearing of S 24°30'00" E according to Plat Book 1 at page 1112.
4. Benchmark: Found monument in the Southeast corner of Lot 503, as shown hereon, with an elevation of 9281.32 feet.
5. Contour interval is two feet.
6. Trees 3" or less in diameter were not located during this survey.
7. Slopes greater than 30% have been shown hereon.
8. Foley Associates, Inc. is not aware of any underground utilities located on this lot, but no underground locales have been performed. Utility locales should be performed by respective providers before any construction.
9. Foley Associates, Inc. is not aware of any wetland areas located on this lot, but no delineation has been performed. The owner should confirm with the Town of Mountain Village before any construction.

NOTICE:

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

Existing Conditions Plan

Lot 503, Town of Mountain Village, located within the SW 1/4 of Section 33, T43N, R9W, NMPM, County of San Miguel, State of Colorado.

Project Mgr. JH

Technical MC

Checked by JC

Start date: 05/28/2021

DATE: 06/14/21

FOLEY ASSOCIATES, INC.

ENGINEERING PLANNING SURVEYING

970-728-6153 970-728-6050 fax

P.O. BOX 1385

125 W. PACIFIC, SUITE B-1

TELLURIDE, COLORADO 81435

Sheet 1 of 1

Project #: 21012

SCALE: 1" = 10'

0 2 4 6 8 10

20

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% STANDARD PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) STANDARD PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

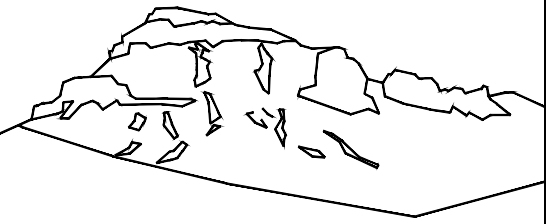
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL

2021-11-23

Lot 503
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL	2021-11-23
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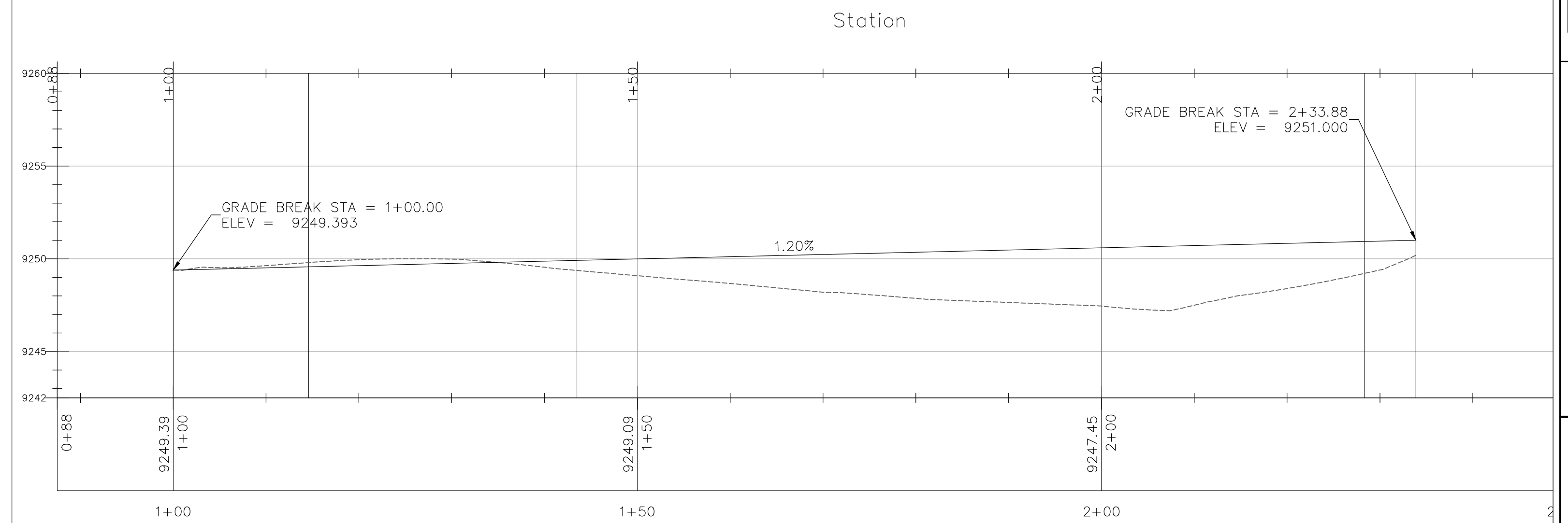
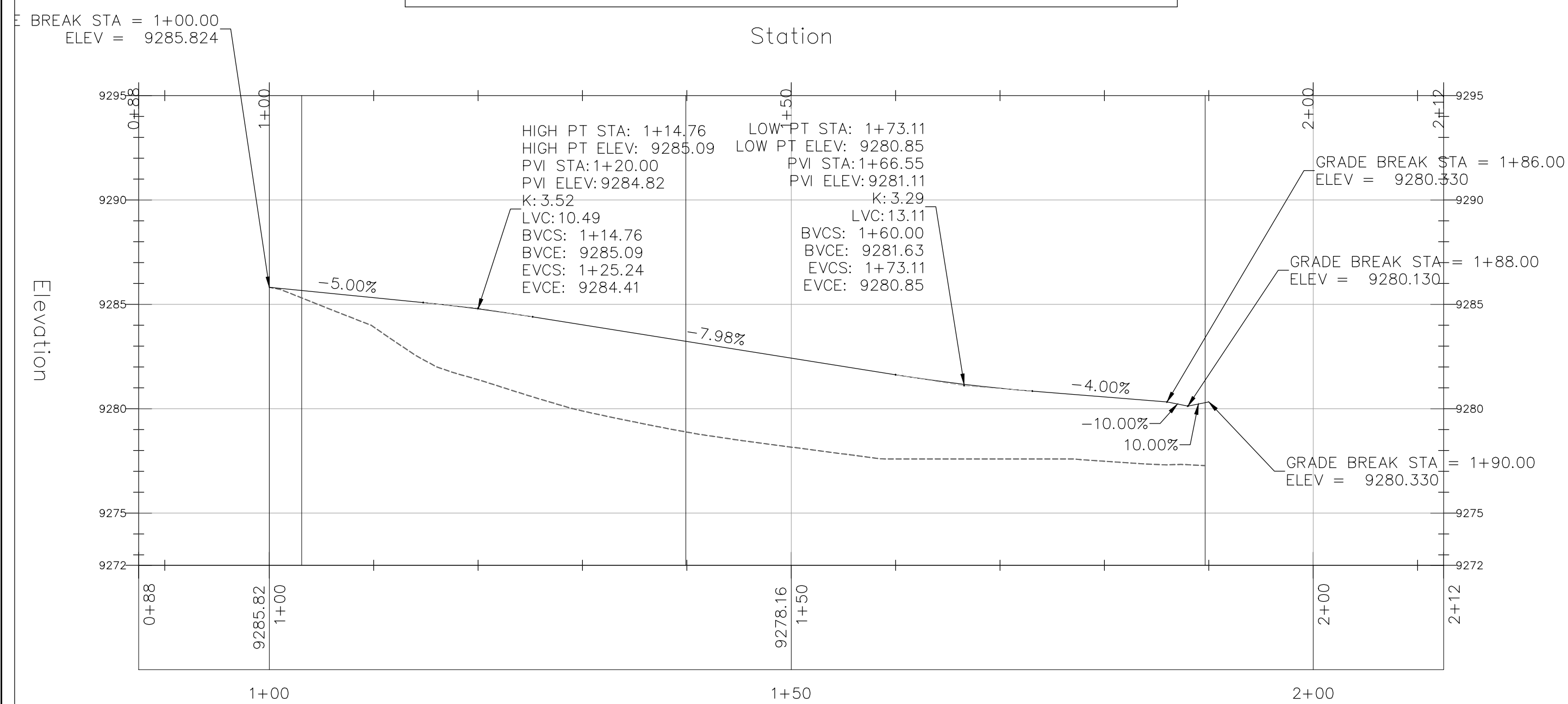
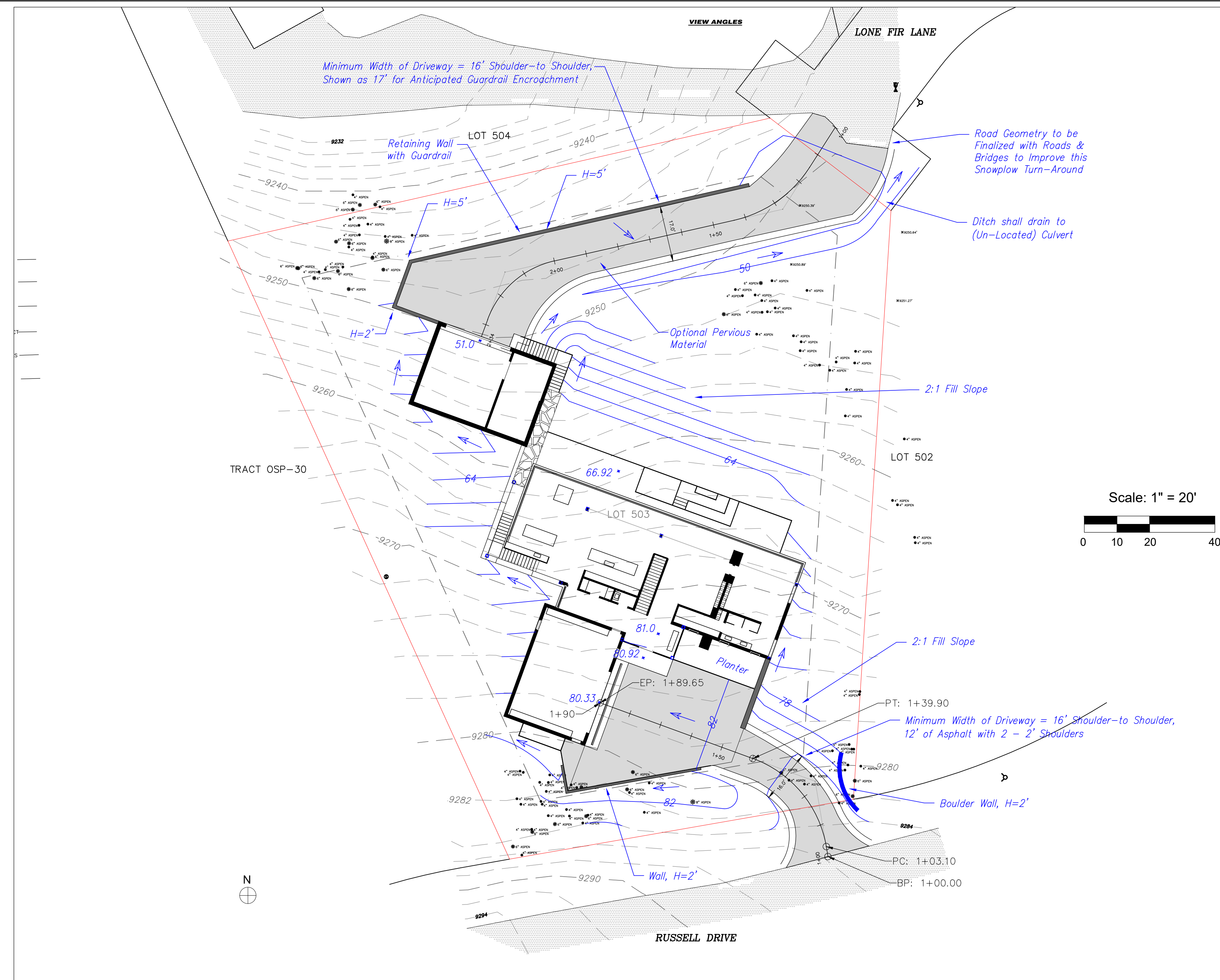
Lot 503
Mtn. Village, CO

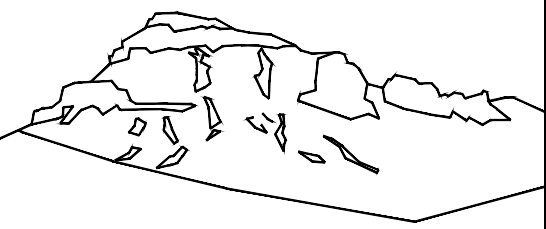
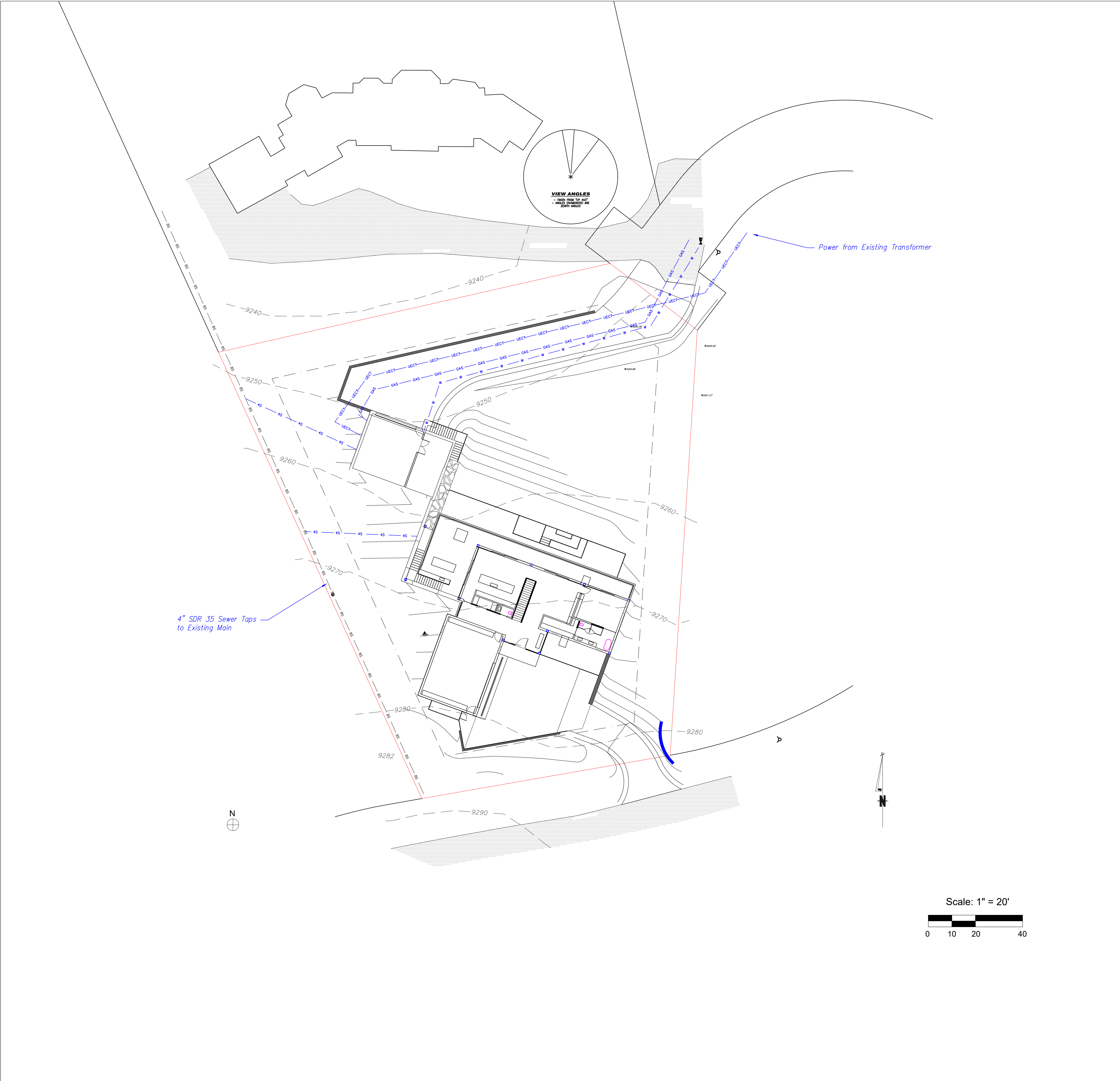


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Plan and Profile	
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C2





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB SUBMITTAL 2021-11-23

Lot 503
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
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DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3

CONSTRUCTION STAGING PLAN NOTES:

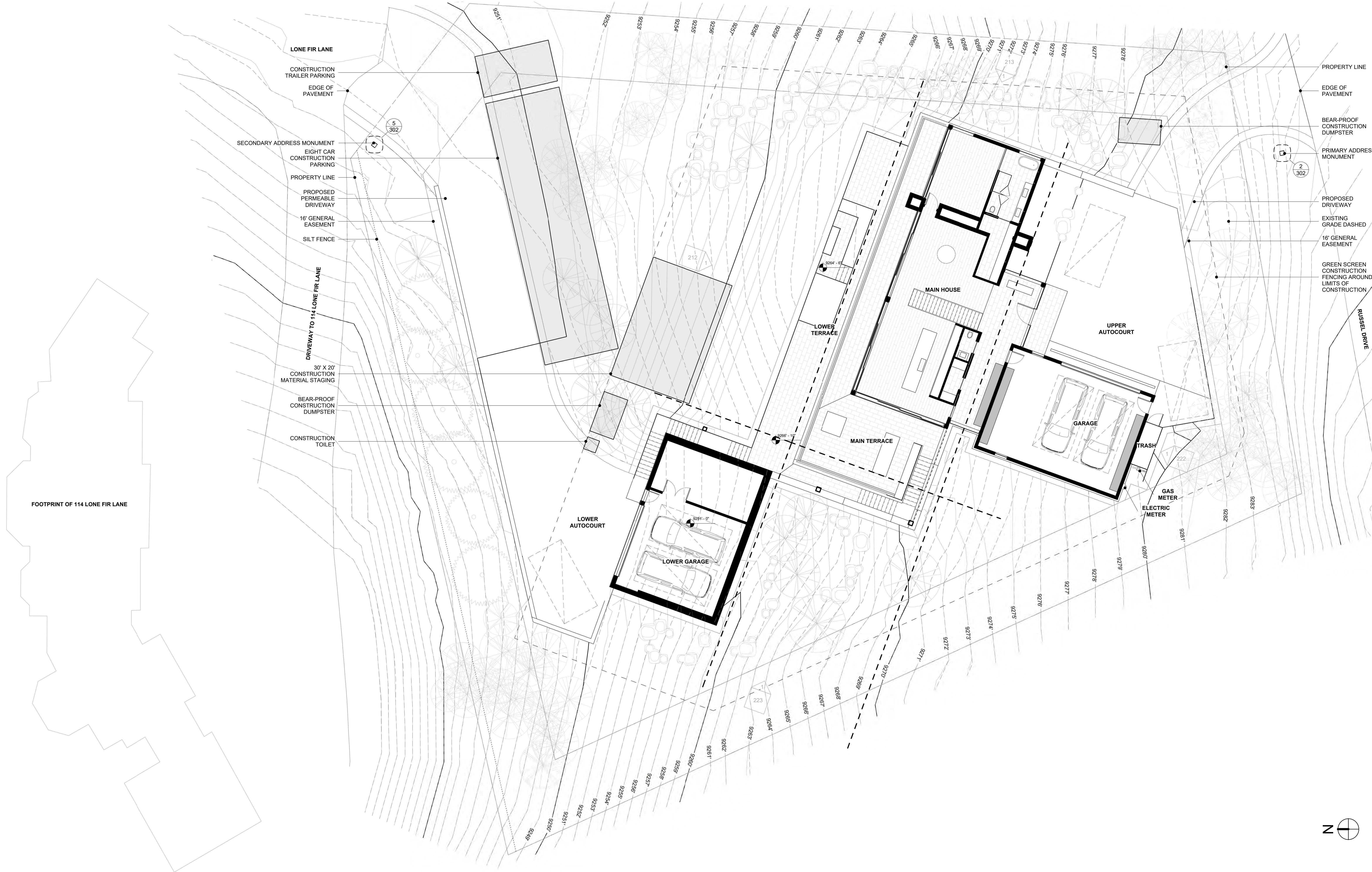
LIMITS OF CONSTRUCTION ACTIVITY TO BE MINIMIZED TO REDUCE ENVIRONMENTAL IMPACT.

TREE REMOVAL TO BE COORDINATED BY LANDSCAPE ARCHITECT.

CONSTRUCTION FENCING AND EROSION MITIGATION TO BE INSTALLED PRIOR TO CONSTRUCTION.

BUILDING MATERIAL STORAGE AREAS TO BE TIDY AND ORGANIZED AT ALL TIMES.

TRASH AND WASTE TO BE STORED IN BEAR-PROOF CONTAINER OR ENCLOSURE.



REVEGETATION NOTES

1. Subsoil surfaces shall be tilled to a 4" depth on non fill areas.
2. Topsoil shall be spread at a minimum depth of 4" over all areas to be re-vegetated (except on slopes greater than 3:1) and amendments rototilled at a rate of three cubic yards per thousand square feet.
3. Broadcasting of seed shall be done immediately after topsoil is applied (within 10 days) to minimize erosion and weeds.
4. Areas which have been compacted or relatively undisturbed needing seeding, shall be scarified before broadcasting of seed.
5. Broadcast with specified seed mix and follow with dry mulching. Straw or hay shall be uniformly applied over seeded area at a rate 1.5 tons per acre for hay or 2 tons per acre for straw, crimp in.
6. On slopes greater than 3:1 erosion control blanket shall be applied in place of straw mulch and pinned.
7. All utility cuts shall be re-vegetated within the same planting season after installation of utilities to prevent weed infestation.
8. Seed mix to be Mountain native grass mix at a rate of 1.5 lbs per acre. See mix below as specified in DRB guideline:

NATIVE GRASS SEED MIX

SPECIES	SEED RATE
Western Yarrow	5%
Tall Fescue	10%
Arizona Fescue	5%
Hard Fescue	5%
Creeping Red Fescue	10%
Alpine Bluegrass	15%
Canada Bluegrass	10%
Perennial Ryegrass	15%
Slender Wheatgrass	10%



LANDSCAPE NOTES

1. All trees and shrubs shall be field located by project Architect.
2. All trees and shrubs shall be backfilled with a topsoil/organic fertilizer mixture at a 2:1 ratio.
3. Necessary trees shall be staked with 4 foot metal posts. Trees shall be guyed with 12 gauge galvanized wire and polypropylene tree straps.
4. All plant material to meet the American Standard for Nursery Stock.
5. All newly planted material to be irrigated by an automated irrigation system.
6. Re-vegetation of native grasses in primary areas surrounding house shall be irrigated until germination and establishment. At least two growing seasons.
7. All planted material shall be irrigated with automated irrigation system.
8. All revegetation areas of native grass seed to be irrigated with automated system for first two growing seasons.

NOXIOUS WEEDS

1. All planted materials including seed, shall be non-noxious species as specified within the San Miguel County's most current Noxious Weed List.

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES:				PERRENIAL BEDS:			
Picea pungens 'Colorado'	Colorado Blue Spruce	20'	4	Parthenocissus quinquefolia	Virginia Creeper	25%	
Abies concolor	White Fir	18'	3	Symphoricarpos	Snowberry	25%	
Populus tremuloides	Quaking Aspen	4"	15	Calamagrostis acutiflora	Karl Foster Grass	25%	
Alnus	Alder	4"	2	Nepeta subsessilis	Catmint	25%	
Cornus sericea	Red Dogwood	15'	4	PERENNIAL BED 1		200 SF	1
Prunus Virginiana	Canadian Red Cherry	15'	3	PERENNIAL BED 2		150 SF	1
Malus 'Radiant'	Radiant Crabapple	15'	2	OTHER			
				Sod	None		
				Native Grass seed	Field Verify		

IRRIGATION SCHEDULE

ZONE	LOCATION	HEAD	GPM
1	East Trees	Rotor	30
2	West Trees	Rotor	30
3	East Beds	Drip	36
4	West Beds	Drip	84

WATER USAGE CHART			
TYPE	MONTHLY USE	TOTAL	MONTHLY USE
Perennials	2.5 gal. / SF	350 SF	875
Sod	-	None	-
Conifer Tree	20 gal. / EA	7	400
Deciduous Tree	10 gal. / EA	26	260
TOTAL MONTHLY USAGE			1,175 gal. / month



PLANT KEY

	COLORADO SPRUCE		RED DOGWOOD
	WHITE FIR		CANADA RED CHERRY
	QUAKING ASPEN		RADIANT CRABAPPLE
	EXISTING		PERENNIAL BED
	PROPOSED		ALDER



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(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

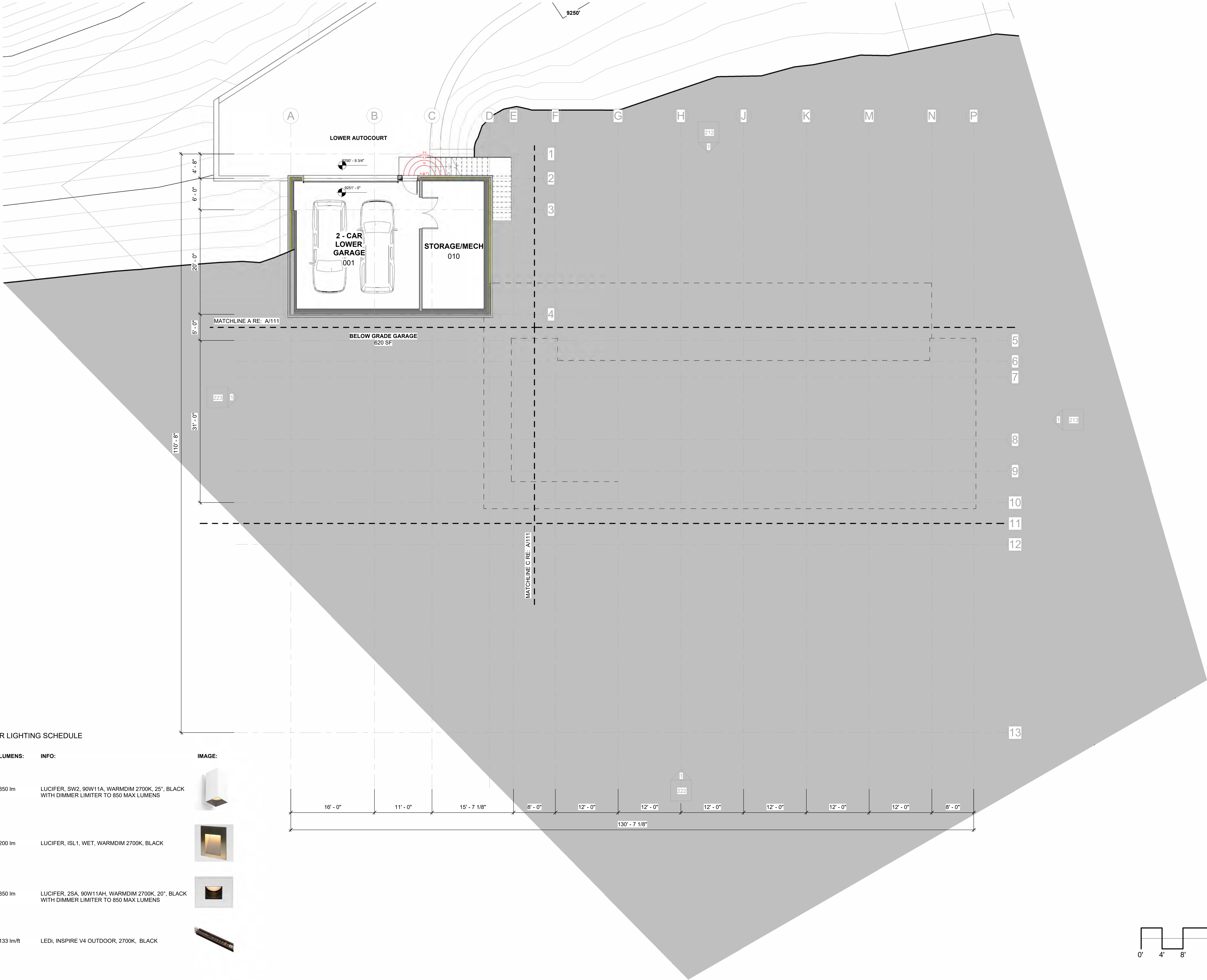
DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:
1" 10'-0"

LANDSCAPE PLAN

A 102



EXTERIOR LIGHTING SCHEDULE

TYPE:	LUMENS:	INFO:
A	850 lm	LUCIFER, SW2, 90W11A, WARMDIM 2700K, 25°, BLACK WITH DIMMER LIMITER TO 850 MAX LUMENS
B	200 lm	LUCIFER, ISL1, WET, WARMDIM 2700K, BLACK
C	850 lm	LUCIFER, 2SA, 90W11AH, WARMDIM 2700K, 20°, BLACK WITH DIMMER LIMITER TO 850 MAX LUMENS
D	133 lm/ft	LEDi, INSPIRE V4 OUTDOOR, 2700K, BLACK



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(PROJECT)
**LOT 503
LONE FIR,
MOUNTAIN
VILLAGE**

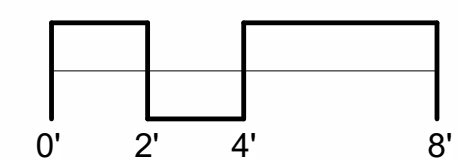
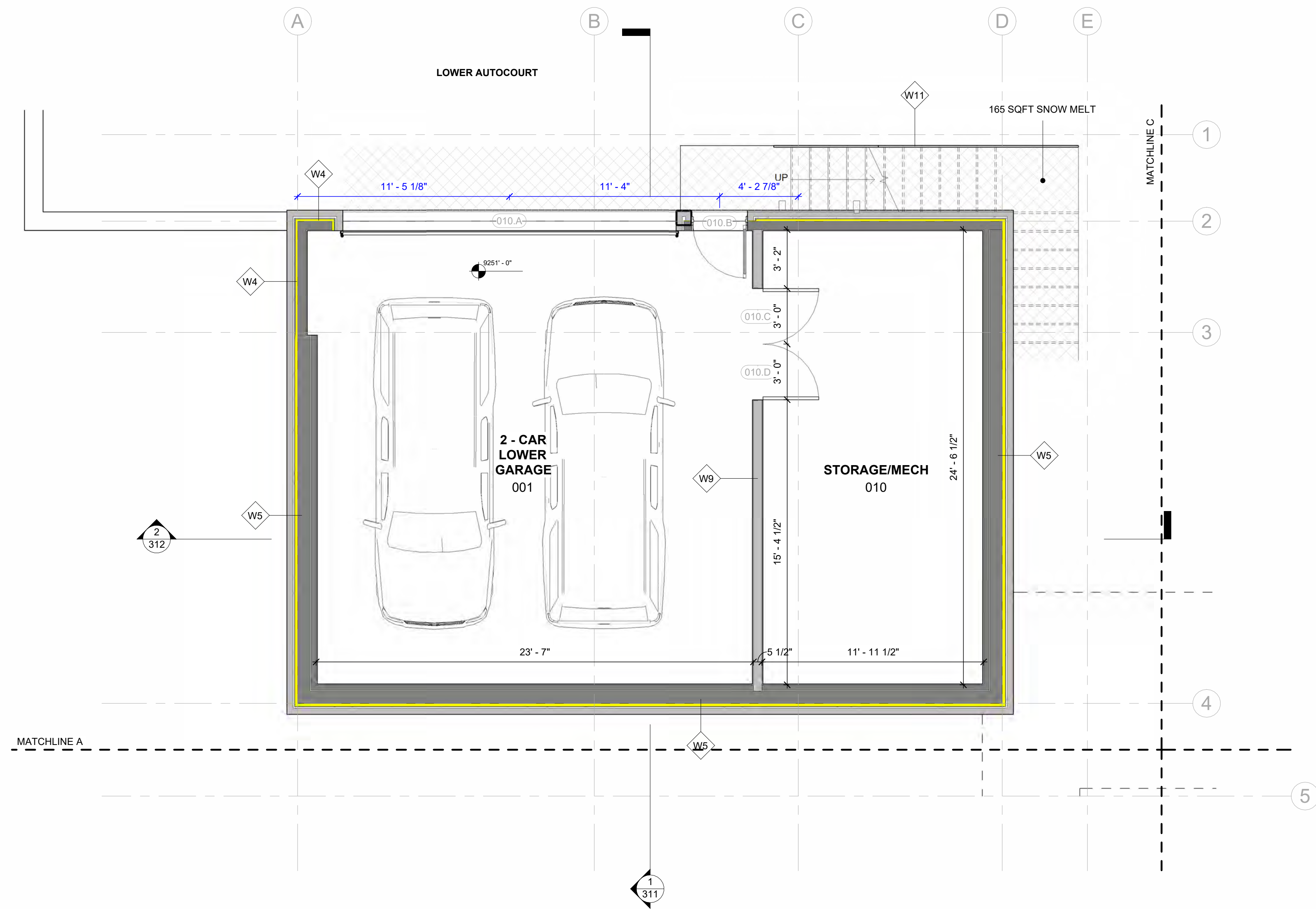
3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:	4.20.2022
DRAWN BY:	ETL
FILE:	503 LONE FIR
SCALE:	As indicated

GUEST LOWER FP

A

110



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(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

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1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:
1/4" 1'-0"

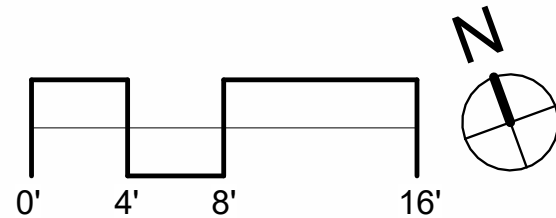
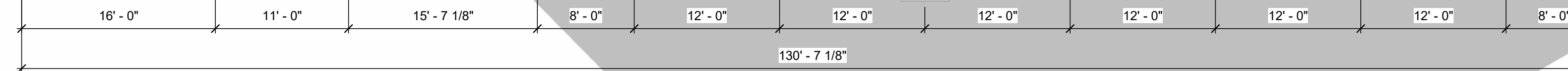
1/4TH PLAN LOWER
LEVEL

A111

EXTERIOR LIGHTING SCHEDULE

TYPE:	LUMENS:	INFO:
A	850 lm	LUCIFER, SW2, 90W11A, WARMDIM 2700K, 25°, BLACK WITH DIMMER LIMITER TO 850 MAX LUMENS
B	200 lm	LUCIFER, ISL1, WET, WARMDIM 2700K, BLACK
C	850 lm	LUCIFER, 2SA, 90W11AH, WARMDIM 2700K, 20°, BLACK WITH DIMMER LIMITER TO 850 MAX LUMENS
D	133 lm/ft	LEDi, INSPIRE V4 OUTDOOR, 2700K, BLACK

IMAGE:



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LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

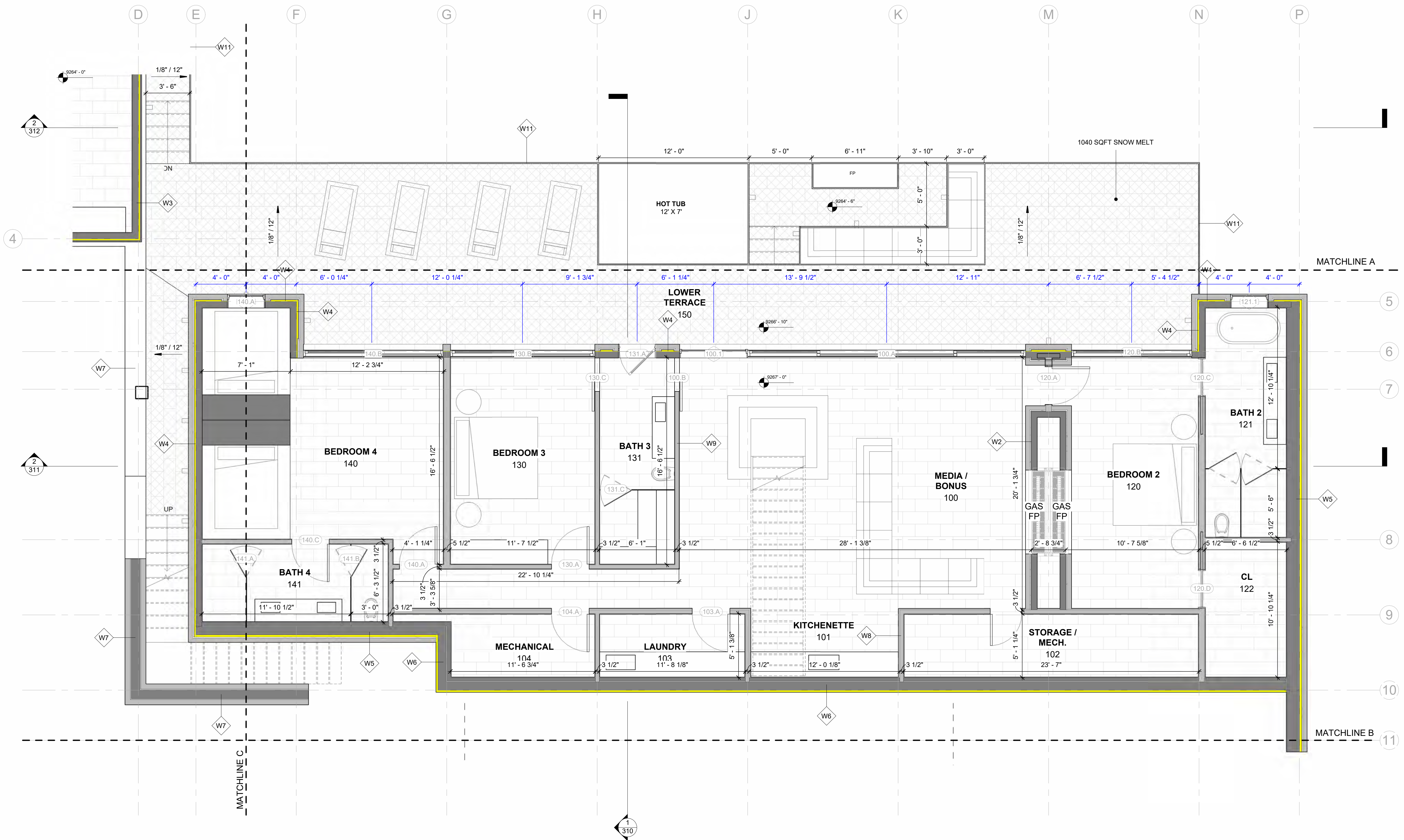
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2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:	4.20.2022
DRAWN BY:	ETL
FILE:	503 LONE FIR
SCALE:	As indicated

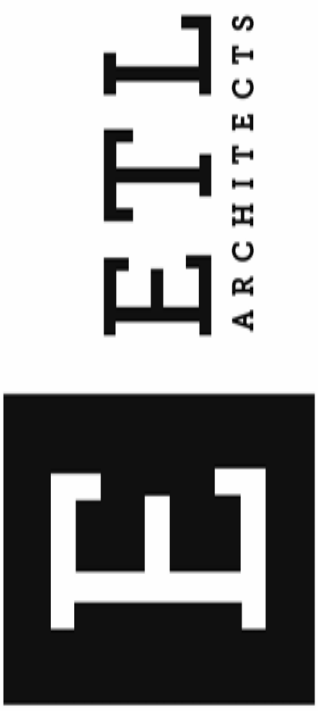
LOWER LEVEL FP

A

120



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(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

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1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

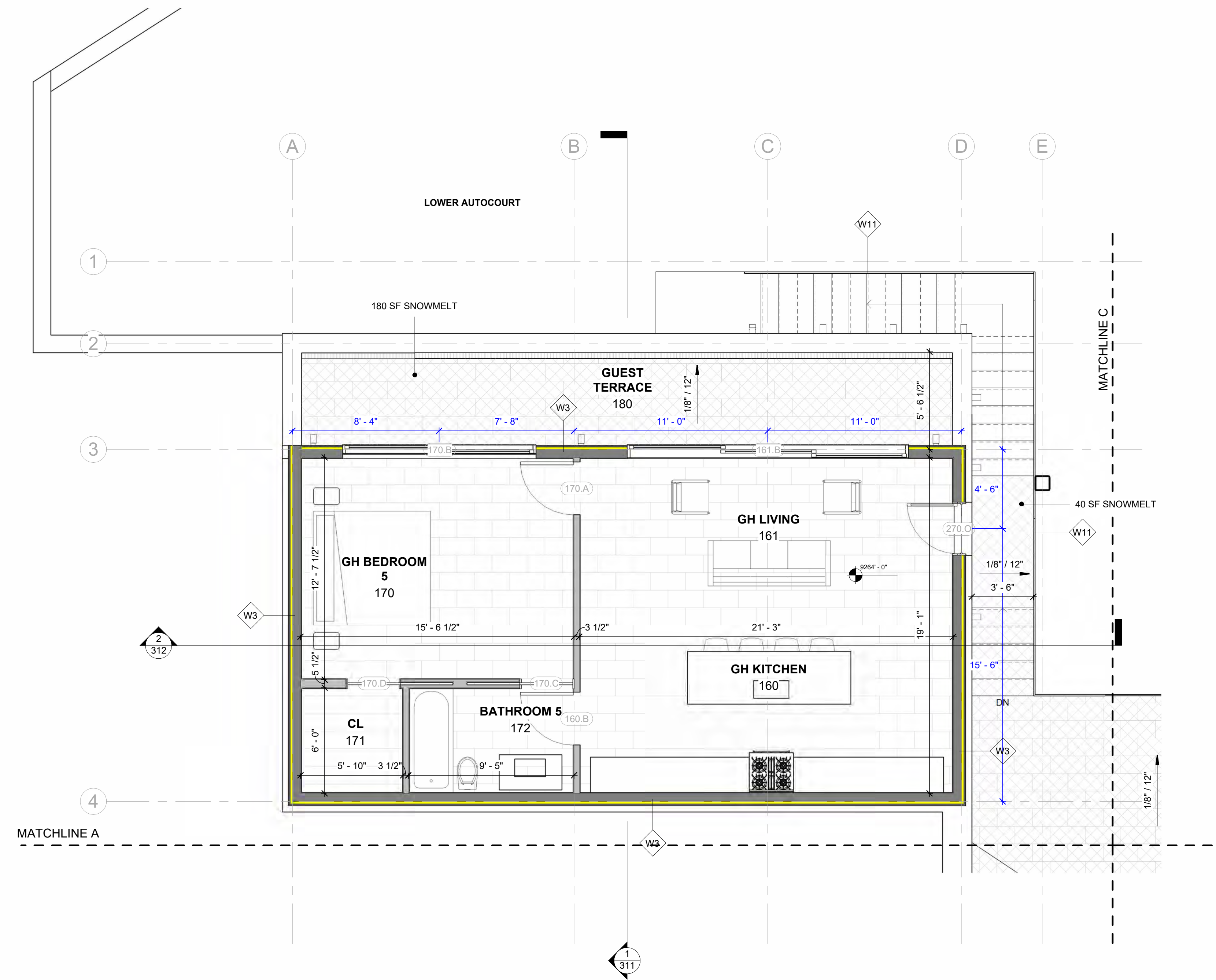
DRAWN BY:
ETL

FILE:
503 LONE FIR


SCALE:
1/4" = 1'-0"

1/4TH PLAN LOWER
LEVEL

A121



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(PROJECT)
**LOT 503
LONE FIR,
MOUNTAIN
VILLAGE**

3	DRB FINAL	4.20.2022
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1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

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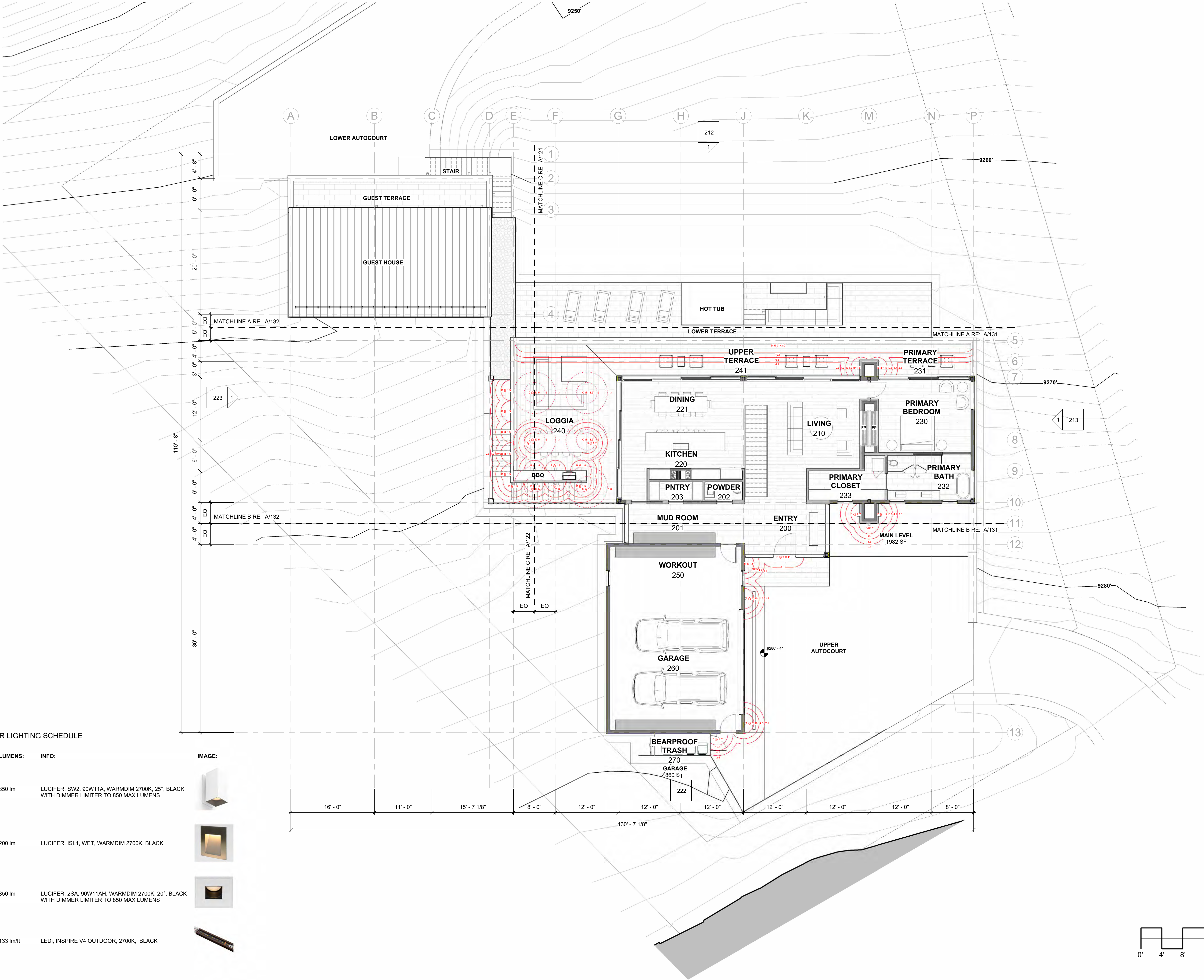
FILE:
503 LONE FIR

SCALE:
1/4" 1'-0"

1/4TH PLAN LOWER
LEVEL GH

A

122



EXTERIOR LIGHTING SCHEDULE

TYPE:	LUMENS:	INFO:	IMAGE:
A	850 lm	LUCIFER, SW2, 90W11A, WARMDIM 2700K, 25", BLACK WITH DIMMER LIMITER TO 850 MAX LUMENS	
B	200 lm	LUCIFER, ISL1, WET, WARMDIM 2700K, BLACK	
C	850 lm	LUCIFER, 2SA, 90W11AH, WARMDIM 2700K, 20", BLACK WITH DIMMER LIMITER TO 850 MAX LUMENS	
D	133 lm/ft	LEDi, INSPIRE V4 OUTDOOR, 2700K, BLACK	

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LOT 503
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MOUNTAIN
VILLAGE

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NO.	REVISION	DATE

DATE:
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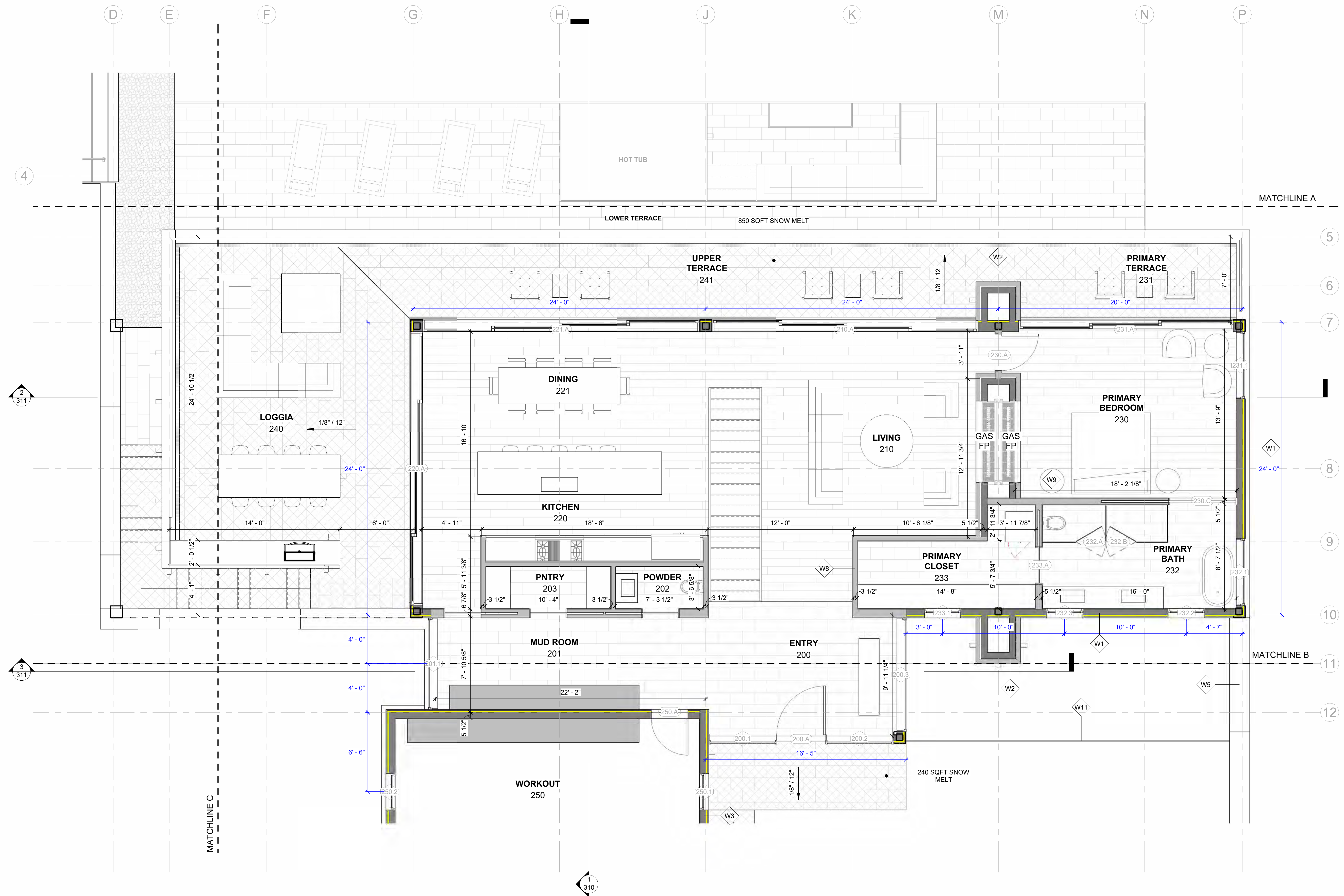
DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:
As indicated

MAIN LEVEL FP

A 130



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MOUNTAIN
VILLAGE

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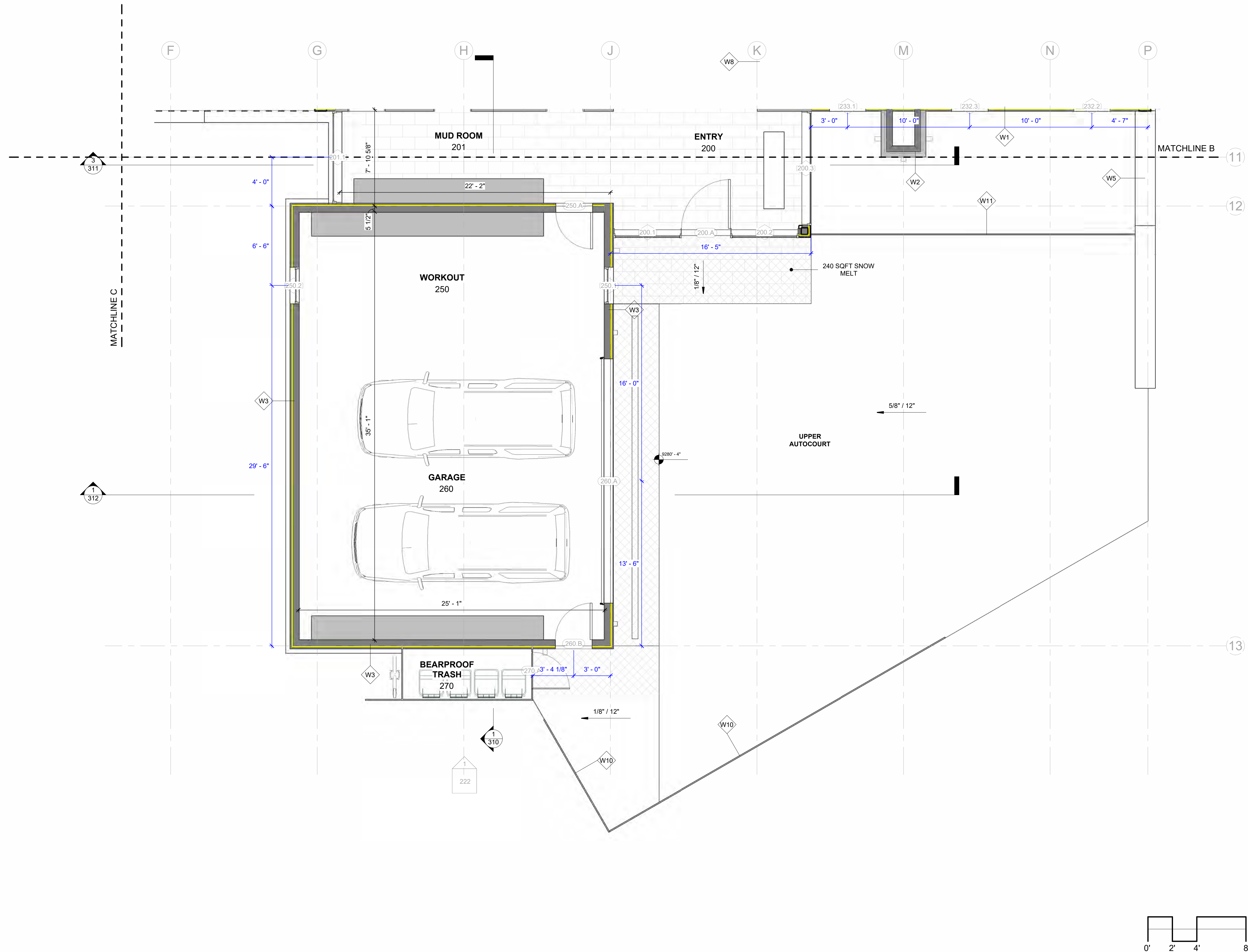
DRAWN BY:
ETL

FILE:
503 LONE FIR


SCALE:
1/4" = 1'-0"

1/4TH PLAN MAIN
LEVEL

A131



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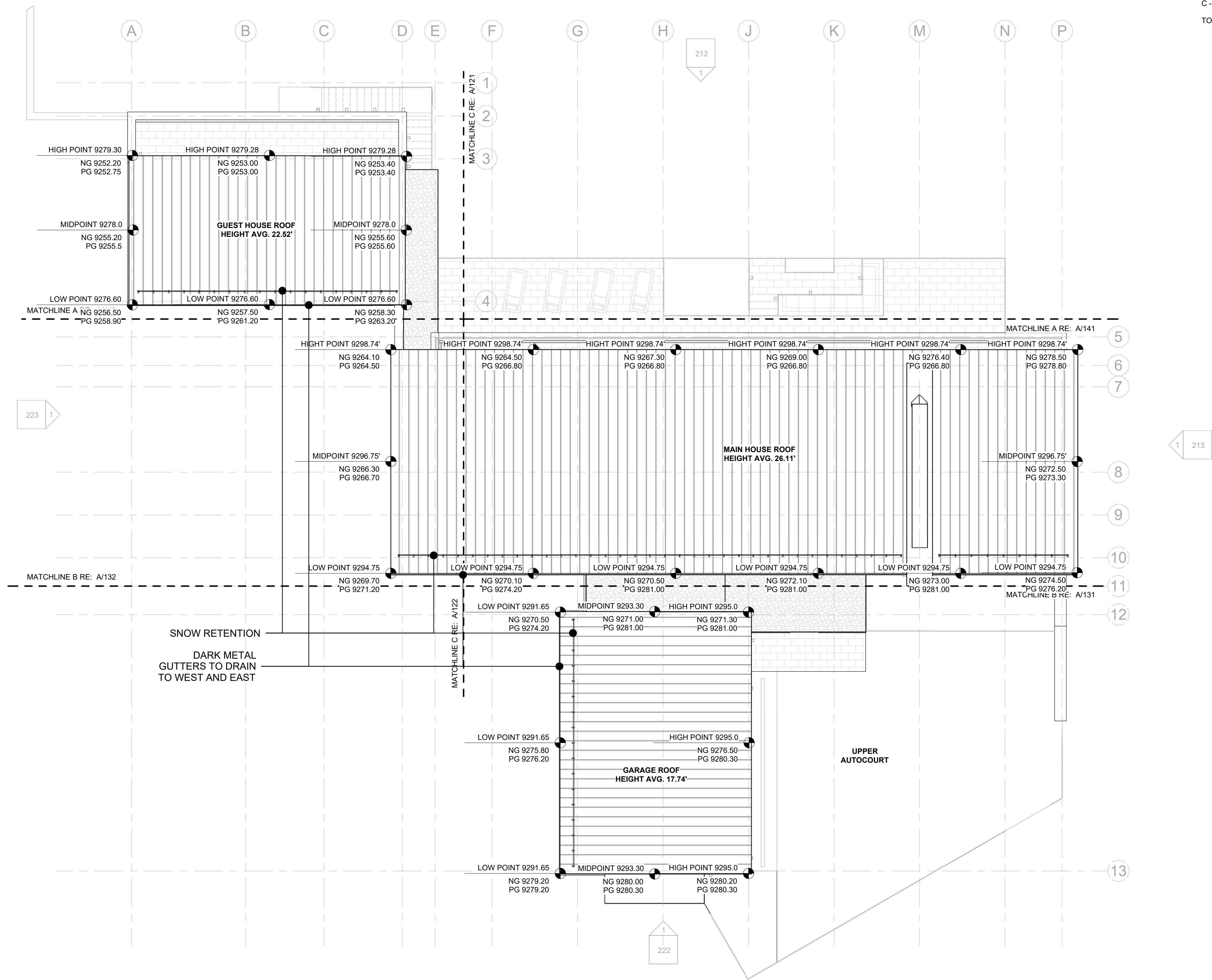
(PROJECT)
**LOT 503
LONE FIR,
MOUNTAIN
VILLAGE**

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:	4.20.2022
DRAWN BY:	ETL
FILE:	503 LONE FIR
SCALE:	1/4" = 1'-0"

1/4TH PLAN MAIN
LEVEL GR

A132



AVERAGE BUILDING HEIGHT

NG- NATURAL GRADE
PG - PROPOSED GRADE

GRADING AROUND THE STRUCTURE IS
RAISED TO ACCOMDATE DRAINAGE, PARKING
AND ORIENTATION TO SITE. NATURAL GRADE
IS MOST RESTRICTIVE THROUGHOUT

A - MAIN HOUSE ROOF:	26.11'
B - GARAGE ROOF:	17.74'
C - GUEST HOUSE ROOF:	22.52'
TOTAL AVERAGE:	22.12'

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LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

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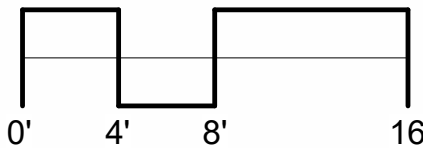
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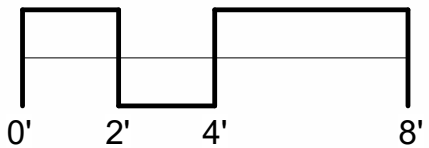
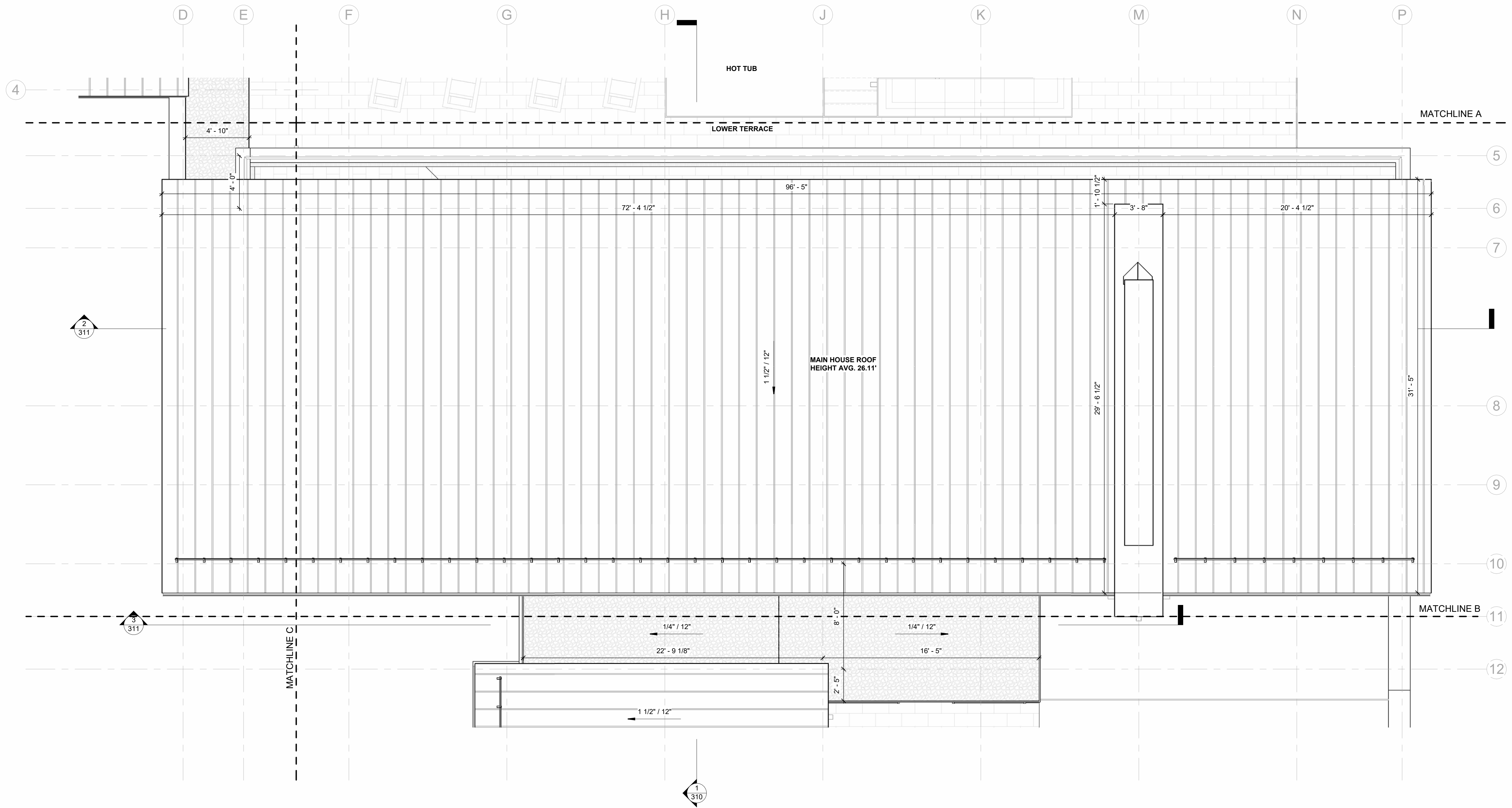
FILE:
503 LONE FIR

SCALE:
1/8" 1'-0"

ROOF PLAN

A 140





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LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

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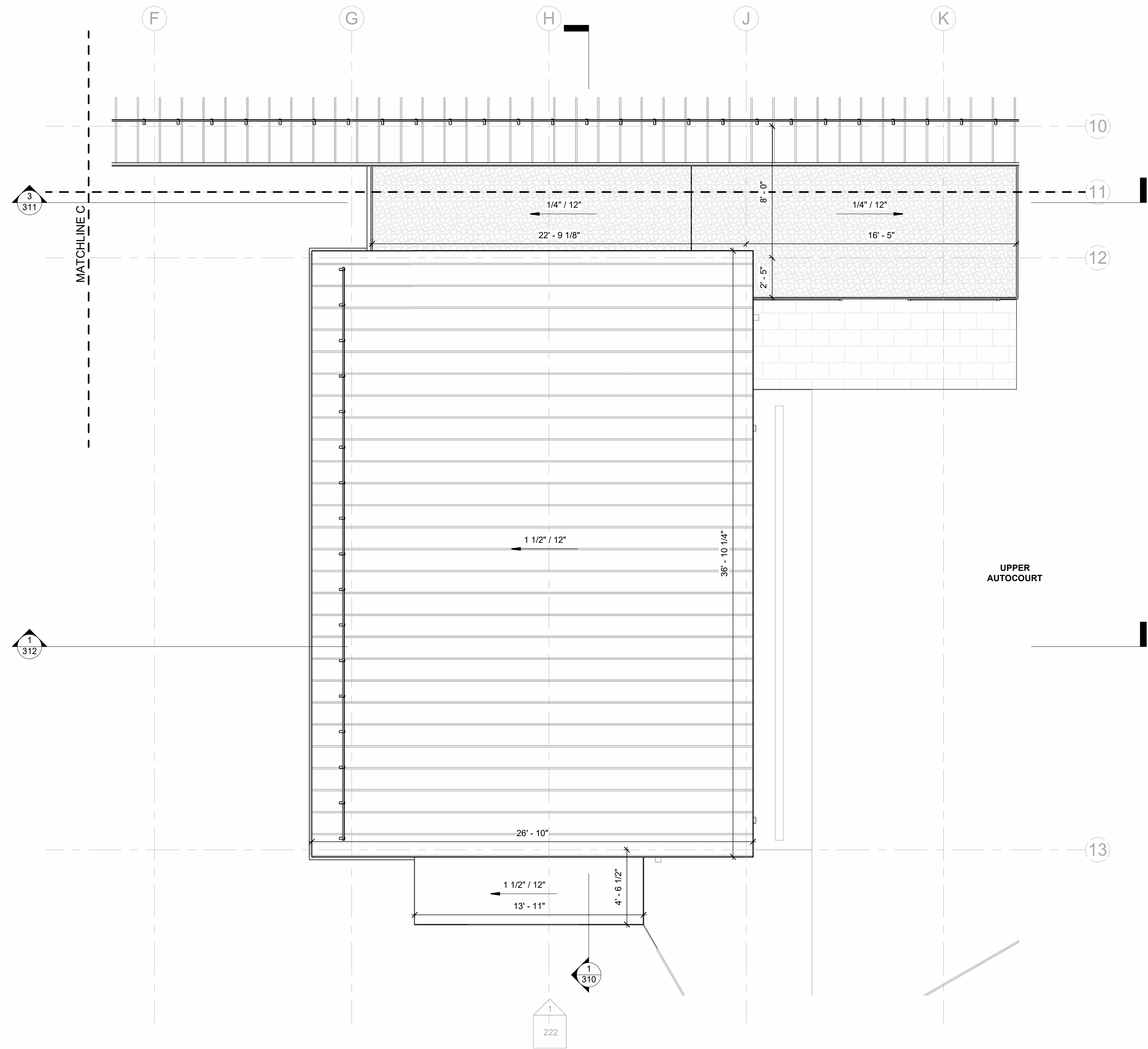
DRAWN BY:
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FILE:
503 LONE FIR


SCALE:
1/4" = 1'-0"

1/4TH ROOF PLAN

A141



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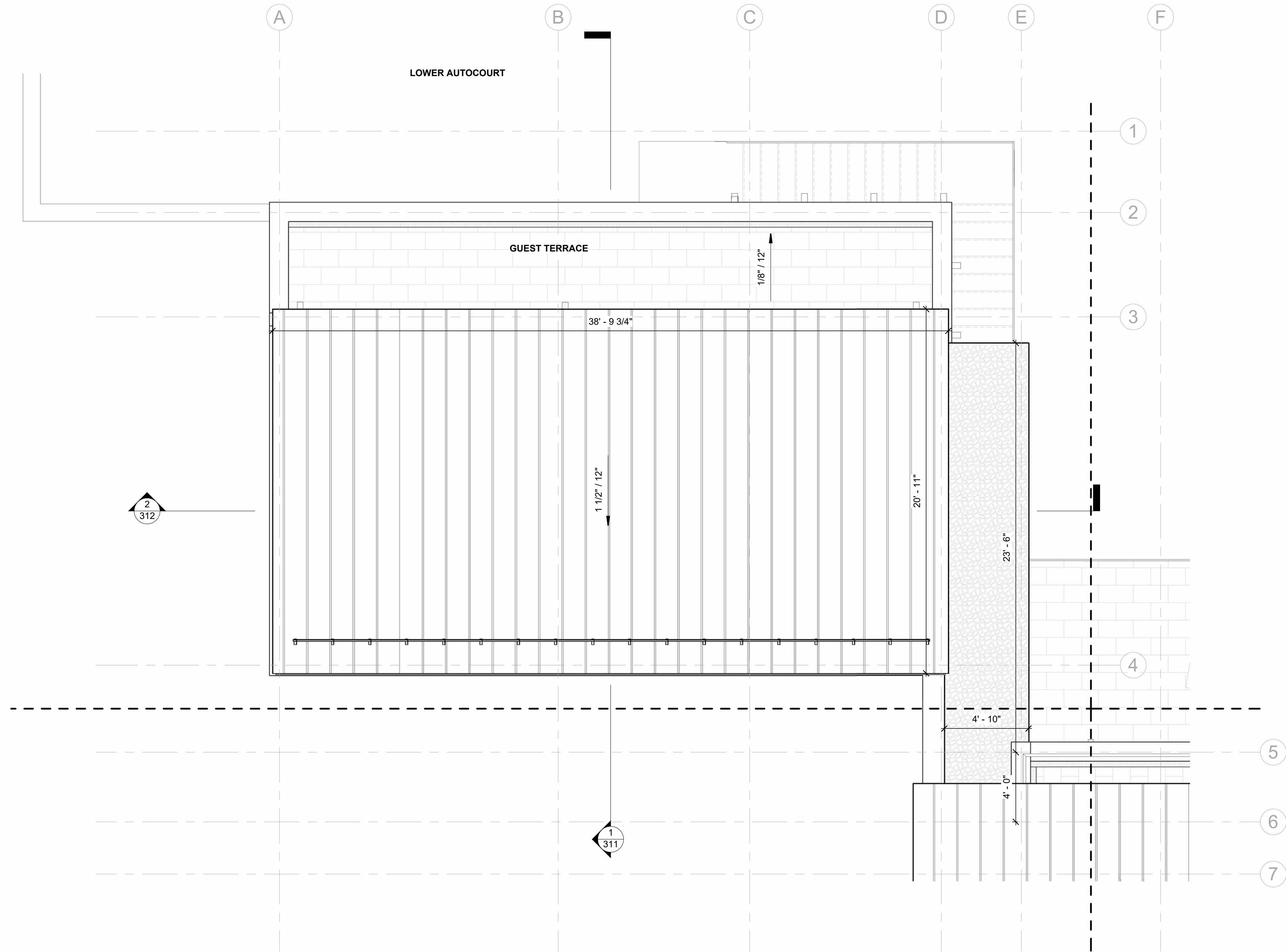
(PROJECT)
**LOT 503
LONE FIR,
MOUNTAIN
VILLAGE**

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022
DRAWN BY:
ETL
FILE:
503 LONE FIR
SCALE:
1/4" = 1'-0"

1/4TH ROOF PLAN
GARAGE

A 142



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LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

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1	DRB PRELIM.	11.23.2021
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DATE:
4.20.2022

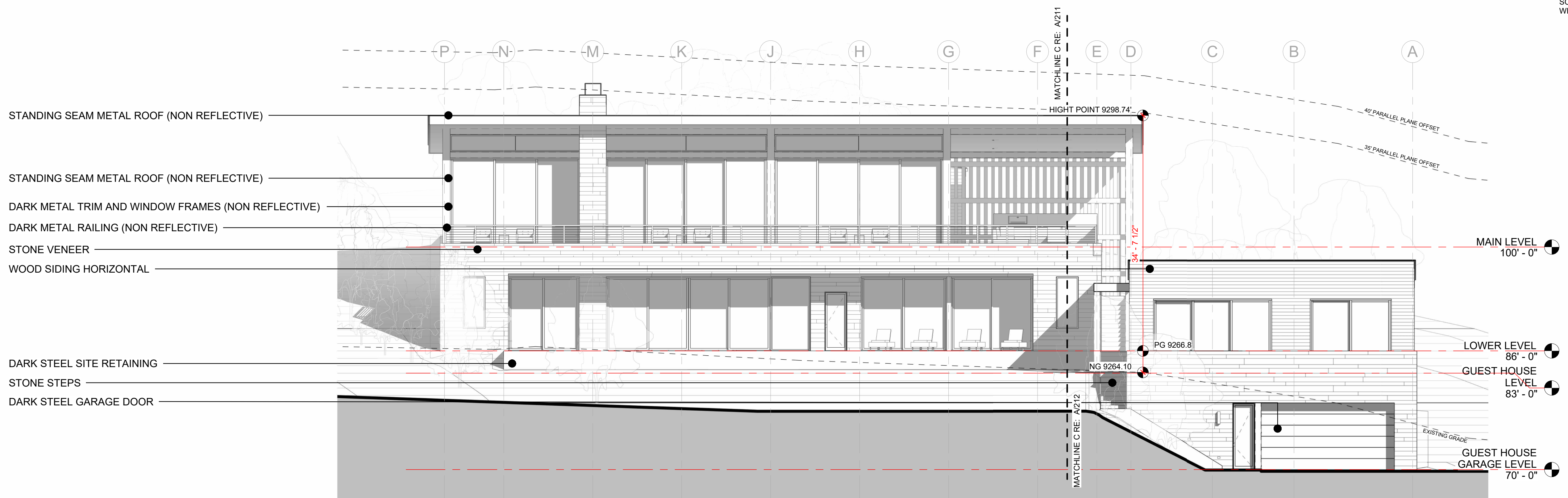
DRAWN BY:
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FILE:
503 LONE FIR

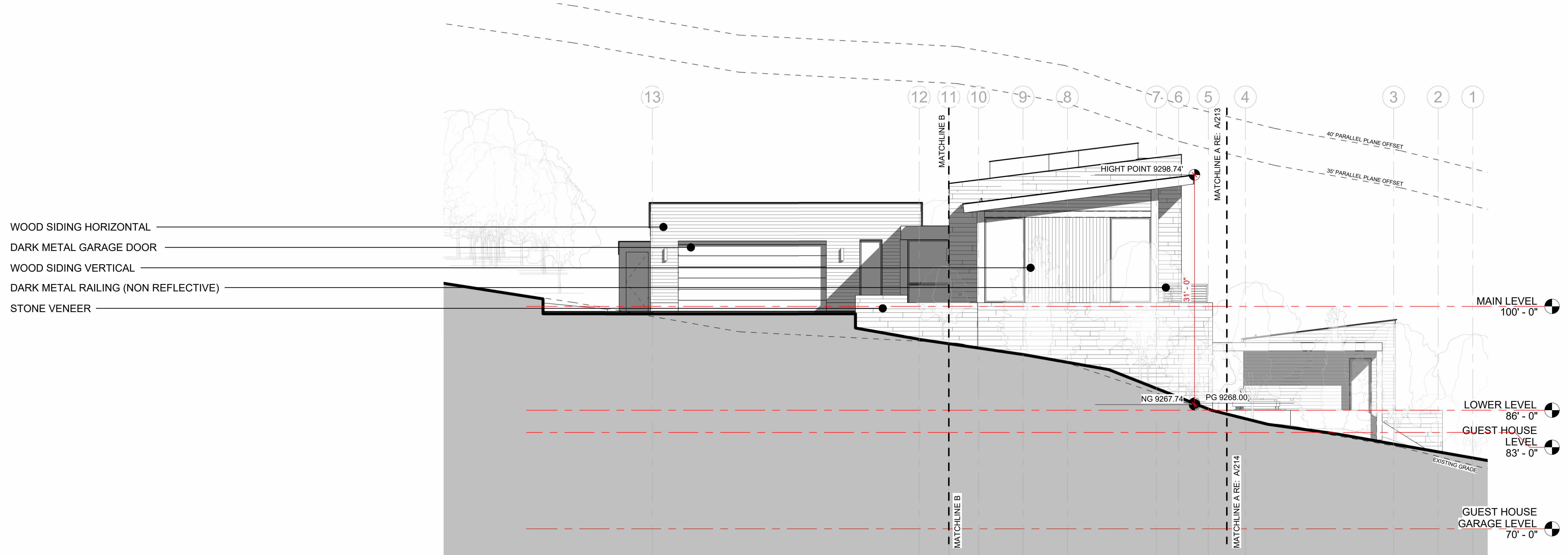
SCALE:
1/4" 1'-0"

1/4TH ROOF PLAN GH

A 143



1 NORTH ELEVATION
1/8" 1'-0"



2 EAST ELEVATION
1/8" 1'-0"

MAXIMUM BUILDING HEIGHT.
NG- NATURAL GRADE
PG - PROPOSED GRADE
GRADING AROUND THE STRUCTURE IS
RAISED TO ACCOMMODATE DRAINAGE, PARKING
AND ORIENTATION TO SITE. NATURAL GRADE
IS MOST RESTRICTIVE THROUGHOUT
NORTH ELEVATION 34' - 7 1/2"
EAST ELEVATION 31' - 0"
SOUTH ELEVATION 32' - 0"
WEST ELEVATION 34' - 7 1/2"

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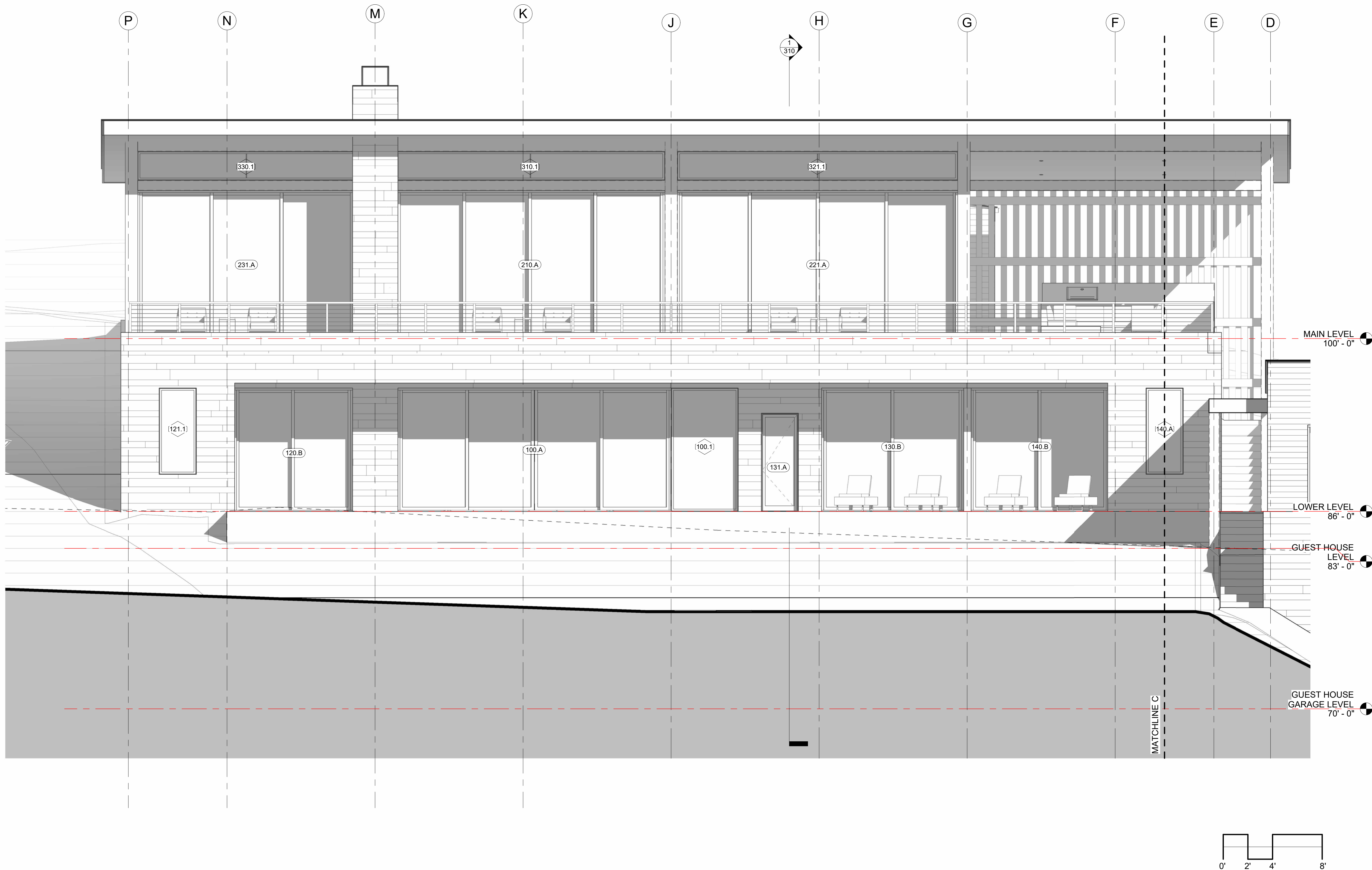
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(PROJECT)
**LOT 503
LONE FIR,
MOUNTAIN
VILLAGE**

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022
DRAWN BY:
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FILE:
503 LONE FIR
SCALE:
1/8" 1'-0"
ELEVATIONS


A210



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(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

3	DRB FINAL	4.20.2022
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1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:

4.20.2022

DRAWN BY:

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FILE:

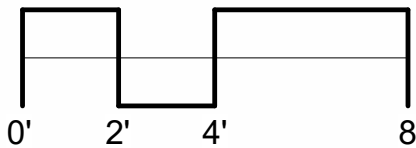
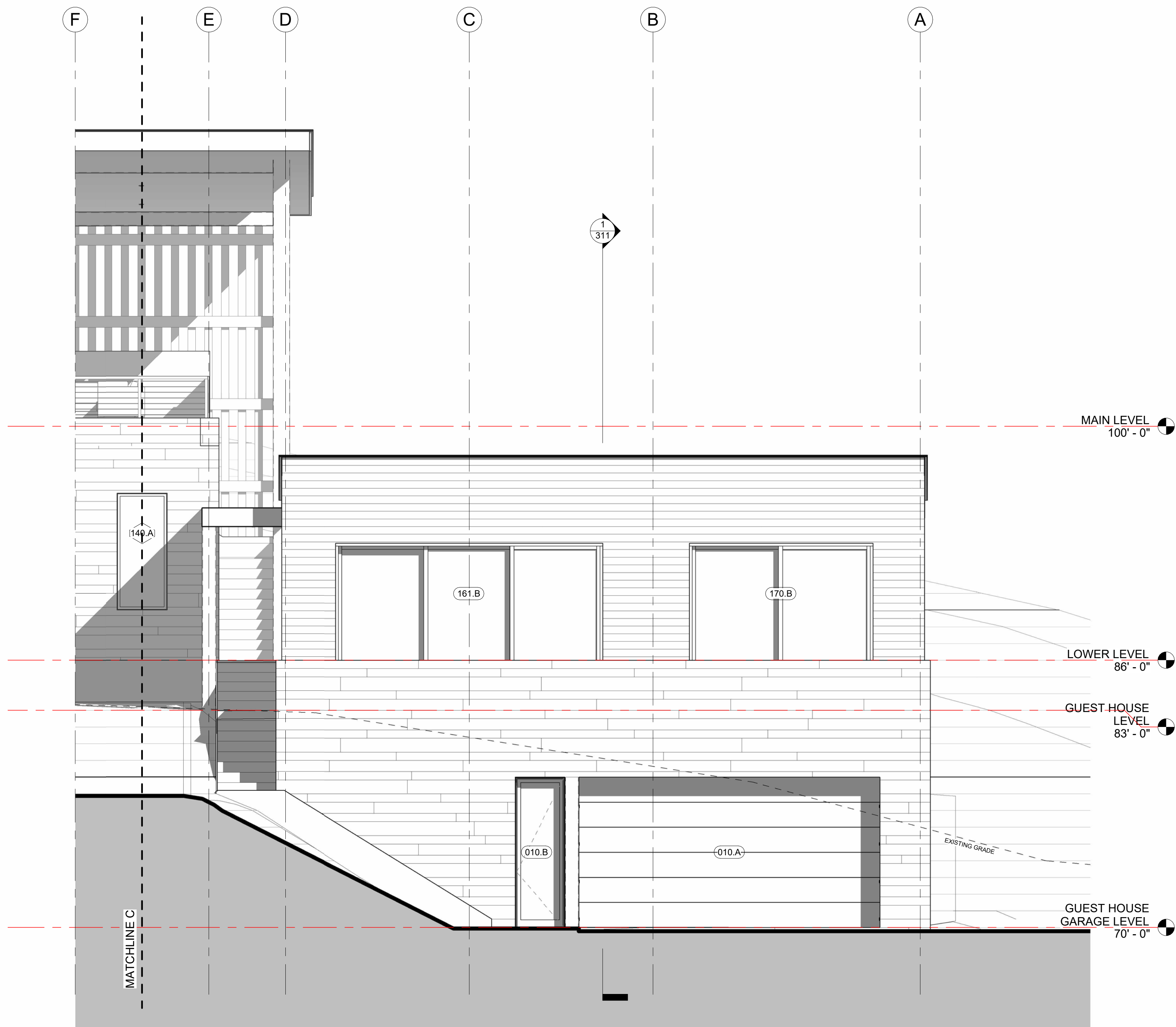
503 LONE FIR

SCALE:

1/4" 1'-0"

1/4TH ELEVATIONS

A211



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(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

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DATE:
4.20.2022

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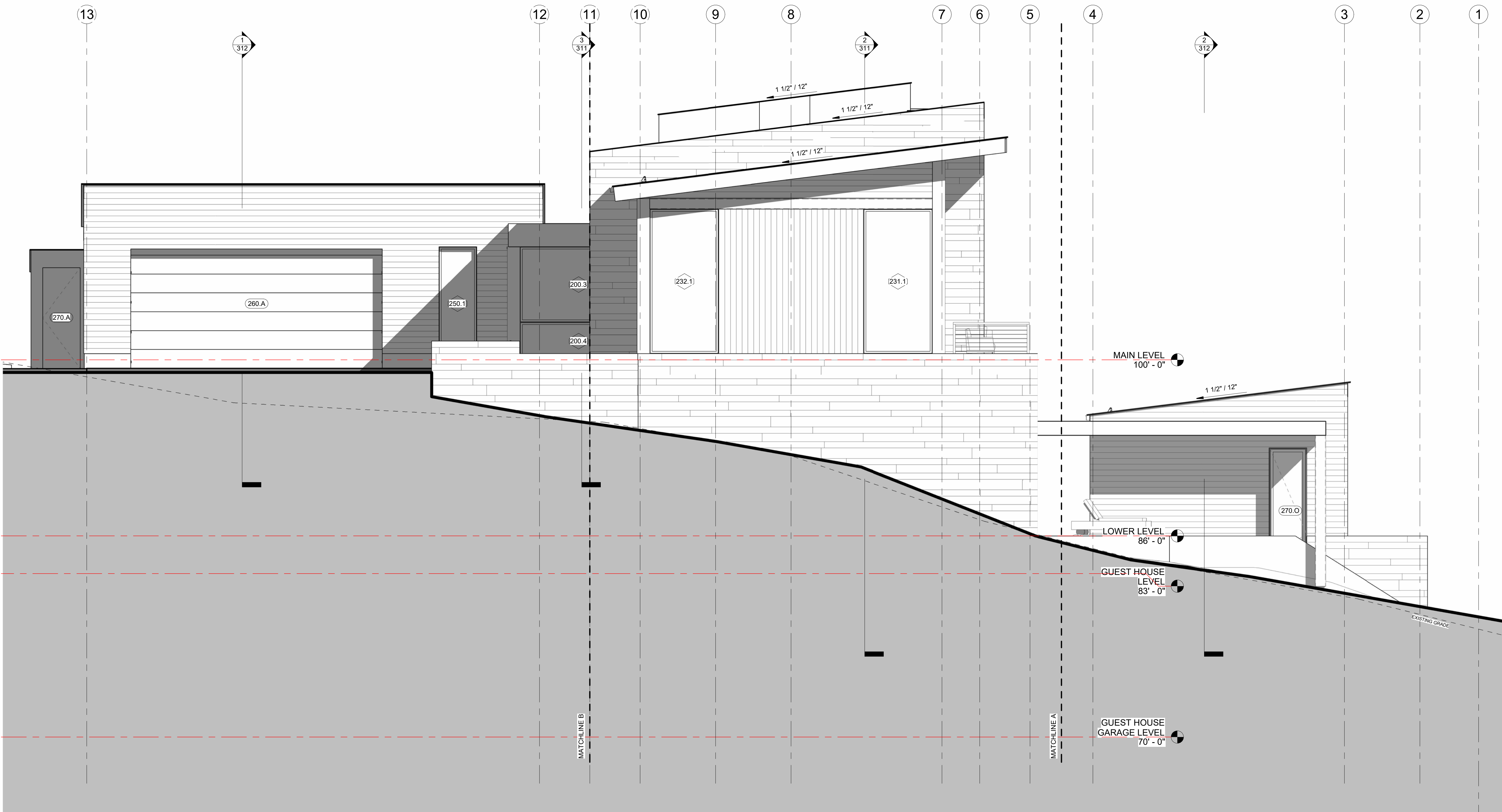
FILE:
503 LONE FIR

SCALE:
1/4" = 1'-0"

1/4TH ELEVATIONS

A

212



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LOT 503

LONE FIR,

MOUNTAIN

VILLAGE

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NO.	REVISION	DATE

DATE:

4.20.2022

DRAWN BY:

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FILE:

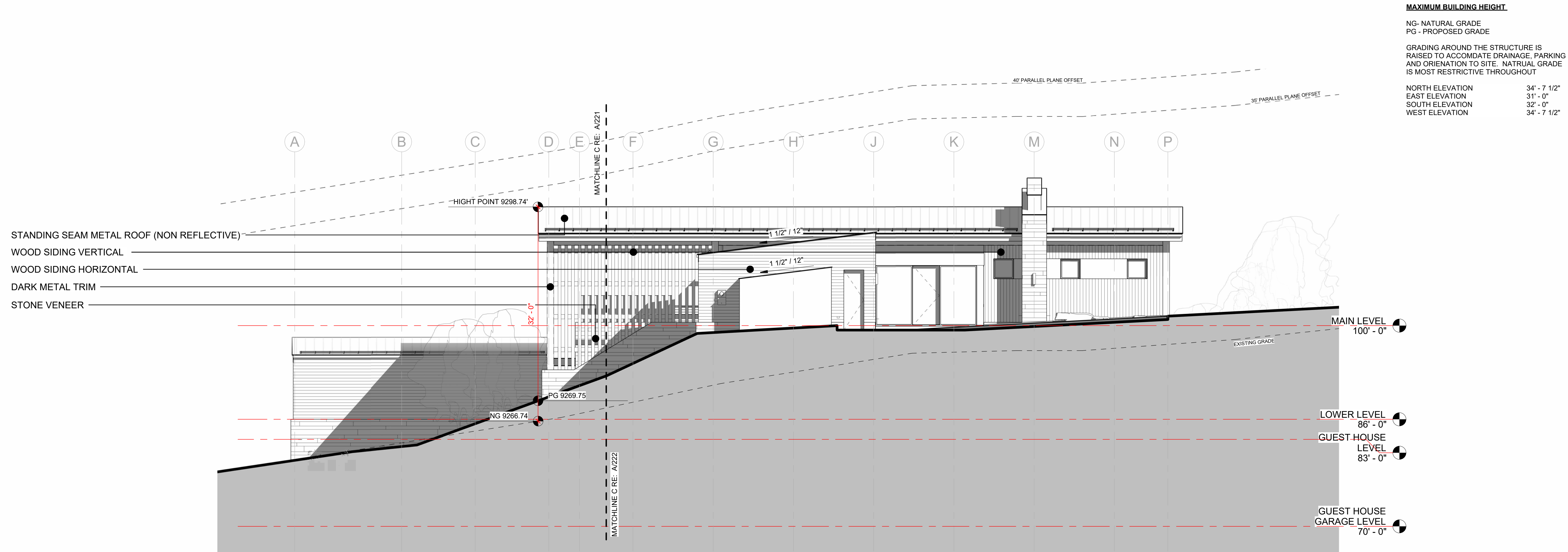
503 LONE FIR

SCALE:

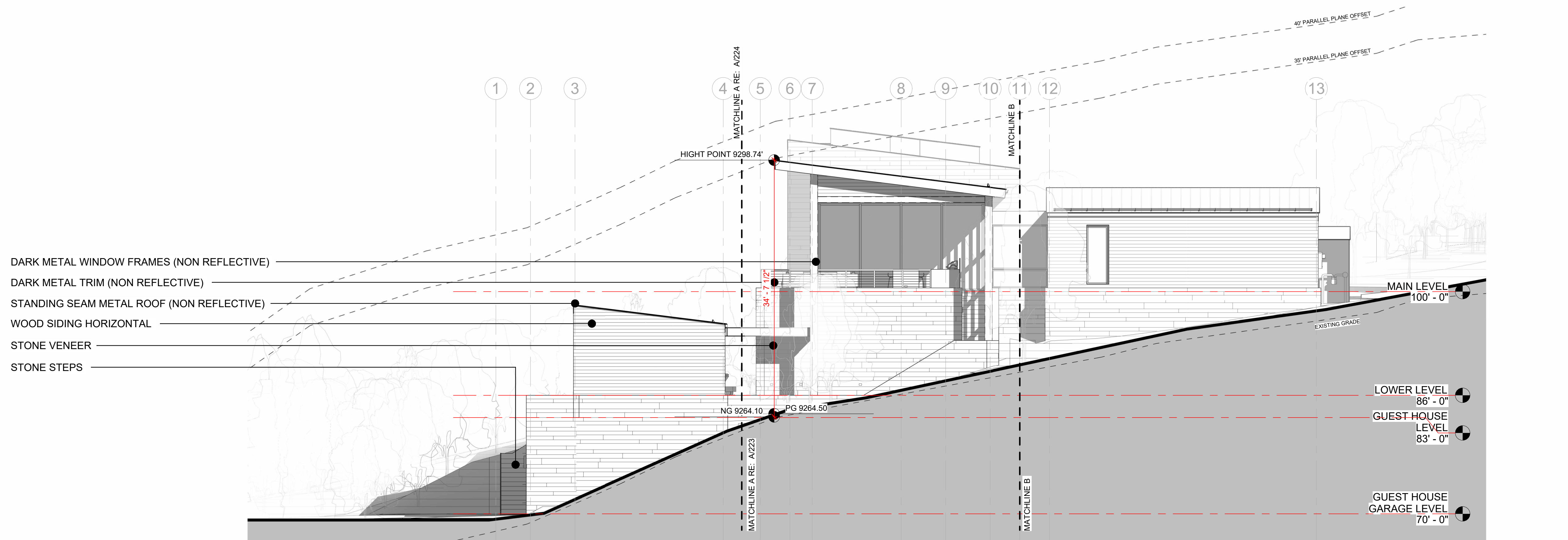
1/4" 1'-0"

1/4TH ELEVATIONS

A213



1 SOUTH ELEVATION
1/8" 1'-0"



2 WEST ELEVATION
1/8" 1'-0"

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LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

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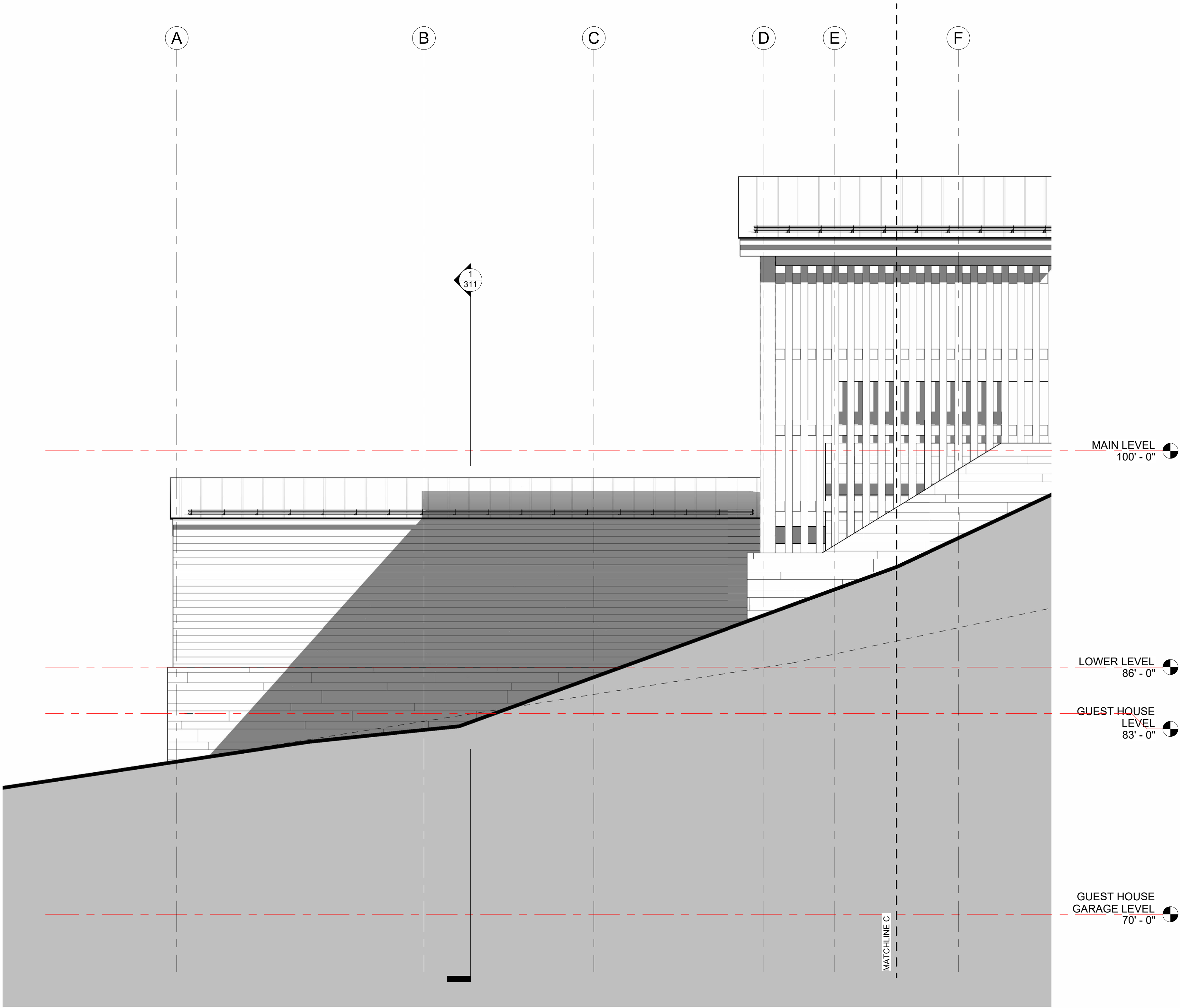
DRAWN BY:
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FILE:
503 LONE FIR

SCALE:
1/8" 1'-0"

ELEVATIONS

A 220



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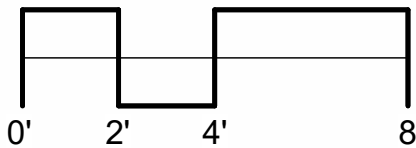
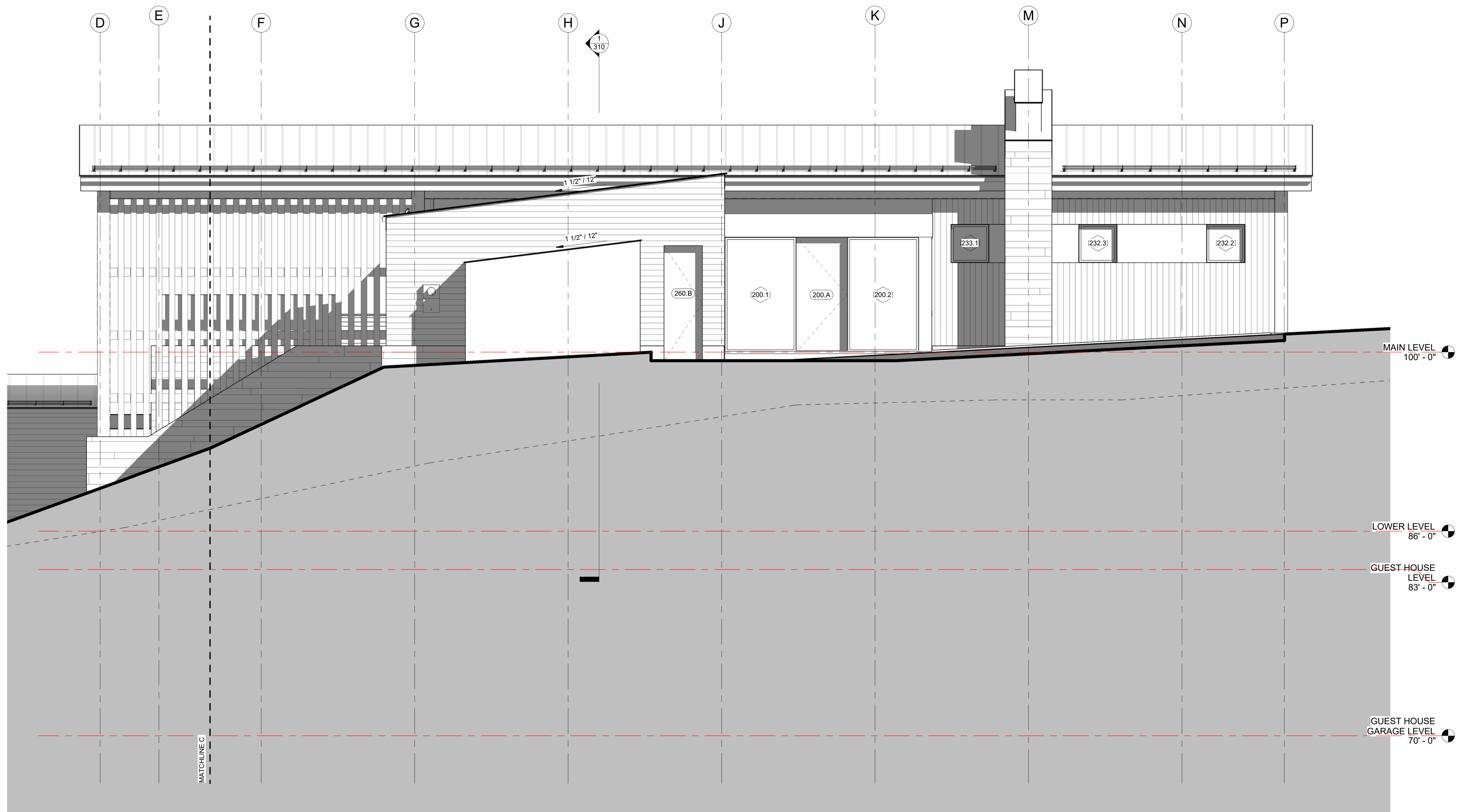
DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:
1/4" 1'-0"

1/4TH ELEVATIONS

A 221



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LOT 503
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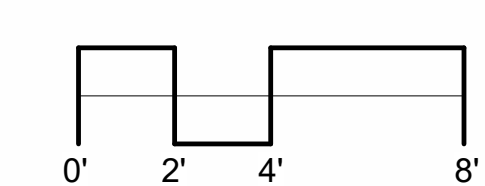
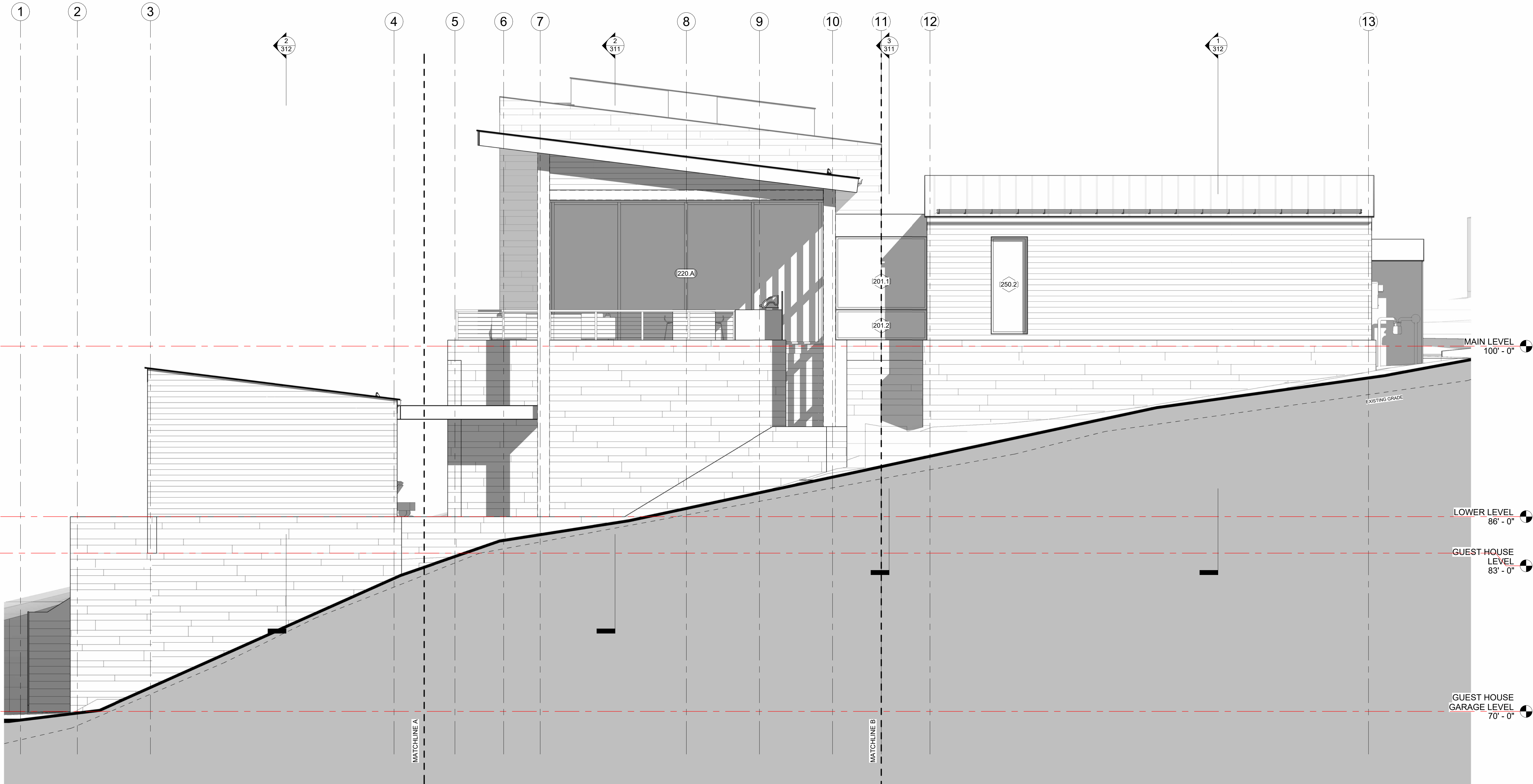
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1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:	4.20.2022
DRAWN BY:	ETL
FILE:	503 LONE FIR
SCALE:	1/4" 1'-0"

1/4TH ELEVATIONS

A

222



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(PROJECT)
LOT 503
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DATE:
4.20.2022
DRAWN BY:
ETL
FILE:
503 LONE FIR
SCALE:
1/4" 1'-0"

1/4TH ELEVATIONS

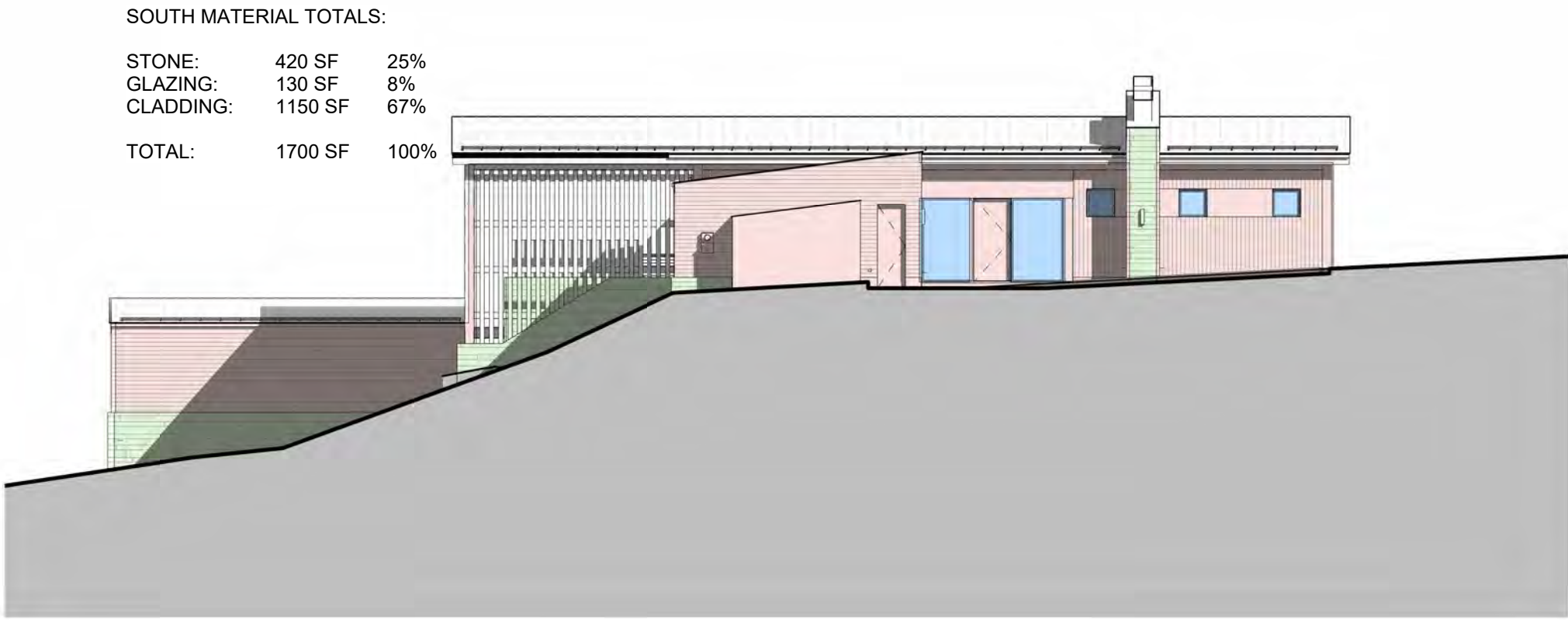
A 223



NORTH MATERIAL TOTALS:

STONE:	1095 SF	31%
GLAZING:	1850 SF	51%
CLADDING:	690 SF	18%
TOTAL:	3635 SF	100%

1 NORTH ELEVATION MATERIAL
1/16" 1'-0"



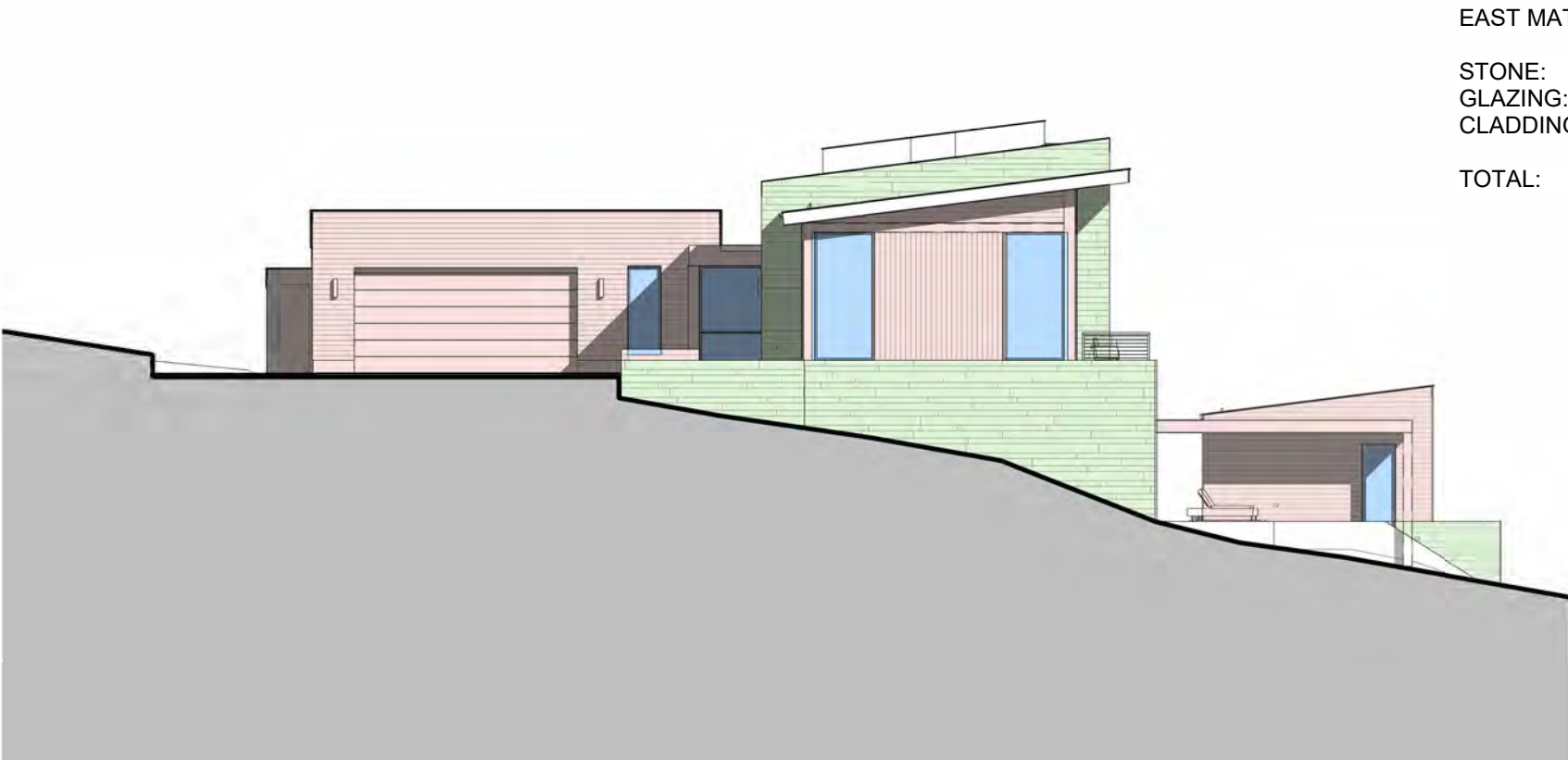
SOUTH MATERIAL TOTALS:

STONE:	420 SF	25%
GLAZING:	130 SF	8%
CLADDING:	1150 SF	67%
TOTAL:	1700 SF	100%

3 SOUTH ELEVATION MATERIAL
1/16" 1'-0"

MATERIAL TOTALS:

STONE:	3265 SF	35%
GLAZING:	2550 SF	27%
CLADDING:	3515 SF	38%
TOTAL:	9330 SF	100%



EAST MATERIAL TOTALS:

STONE:	630 SF	35%
GLAZING:	220 SF	12%
CLADDING:	950 SF	53%
TOTAL:	1800 SF	100%

2 EAST ELEVATION MATERIAL
1/16" 1'-0"

WEST MATERIAL TOTALS:

STONE:	1120 SF	51%
GLAZING:	350 SF	16%
CLADDING:	725 SF	33%
TOTAL:	2195 SF	100%



4 WEST ELEVATION MATERIAL
1/16" 1'-0"

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LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

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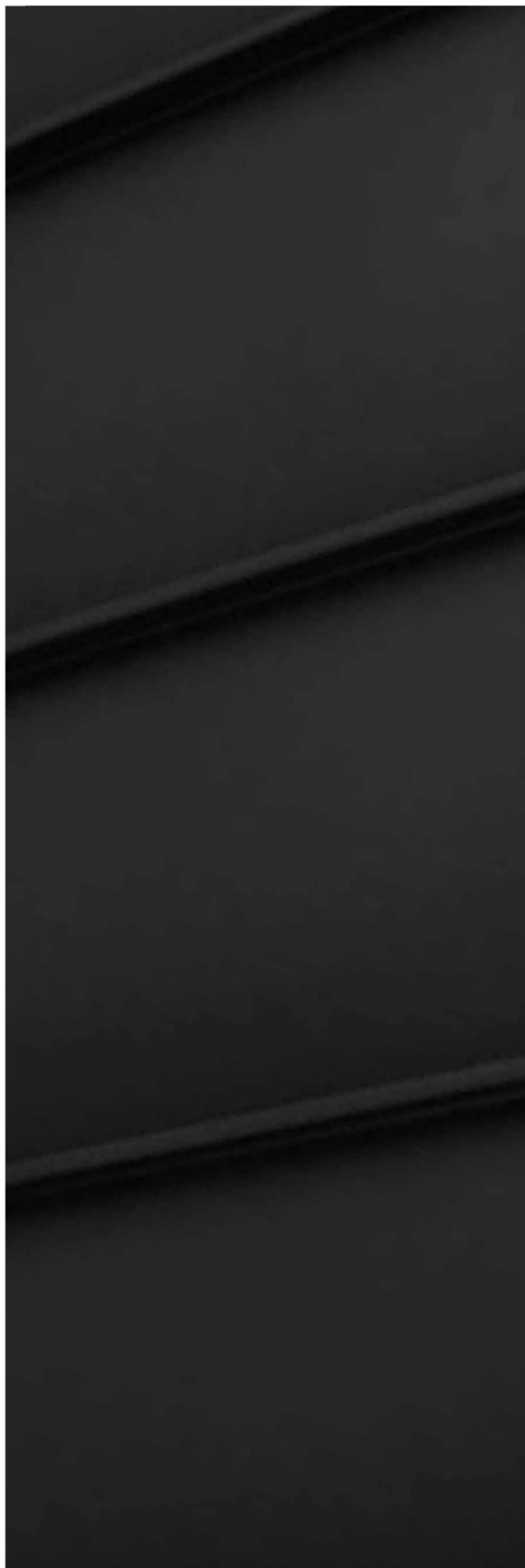
DRAWN BY:
ETL

FILE:
503 LONE FIR

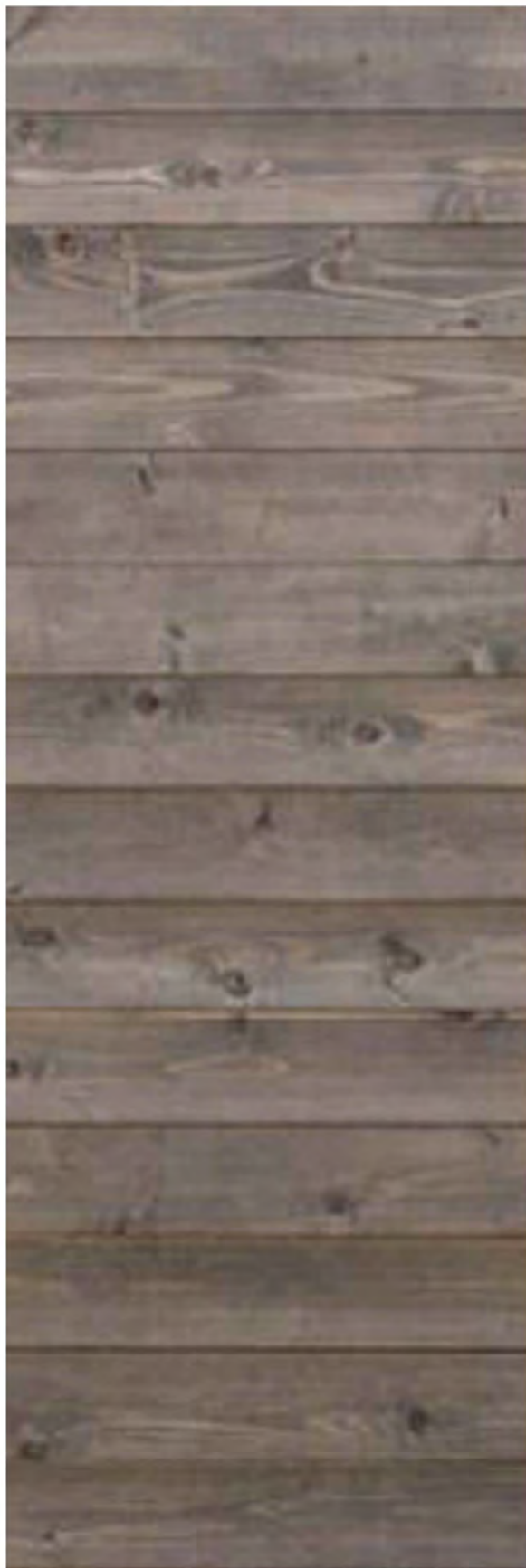
SCALE:
1/16" 1'-0"

MATERIAL
ELEVATIONS

A 230



STANDING SEAM
METAL ROOF
(NON-REFLECTIVE)



WOOD SIDING
HORIZONTAL &
VERTICAL



DARK METAL TRIM &
WINDOW FRAMES
(NON-REFLECTIVE)



STONE VENEER



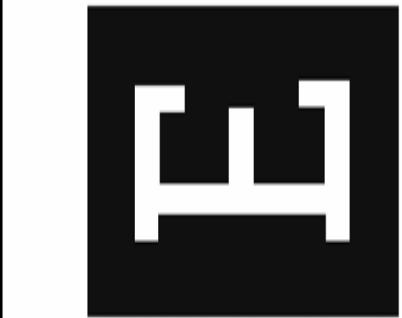
DARK METAL
GARAGE DOOR &
SITE RETAINING



WASHED GRAVEL
BALLAST &
PERIMETER



STONE STEPS &
TERRACE PAVERS



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(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

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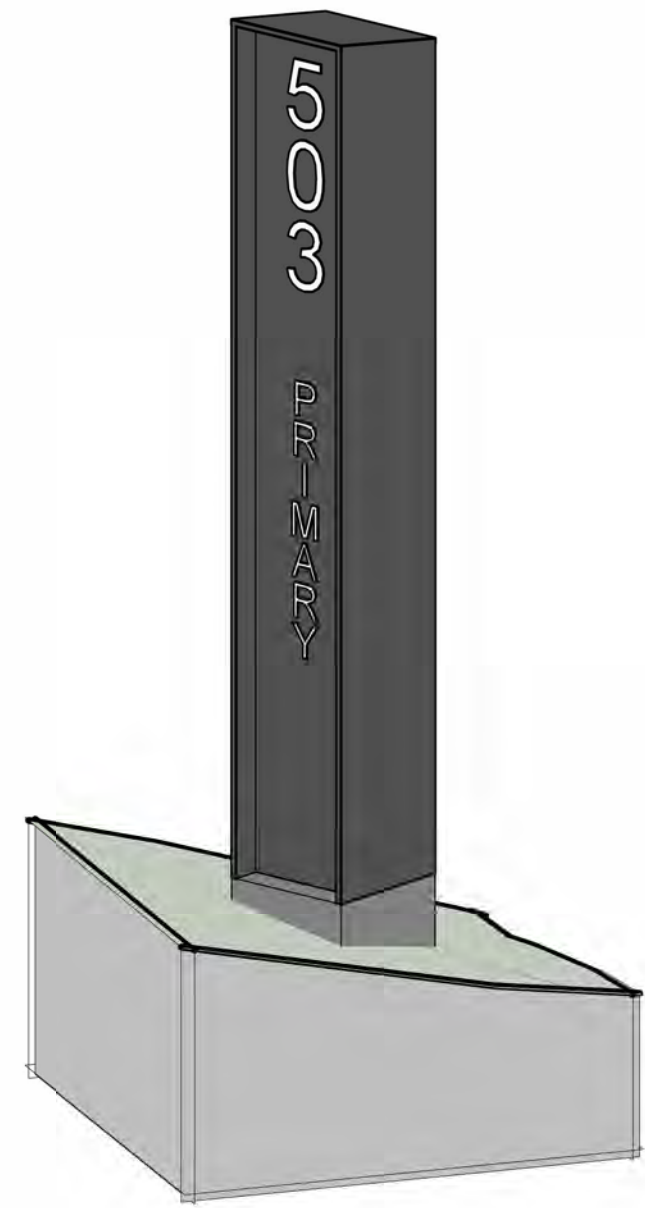
DATE:
4.20.2022

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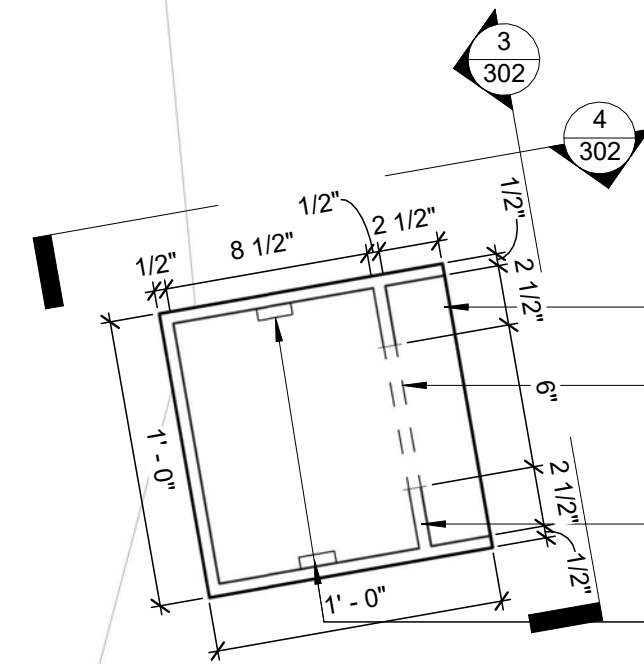
FILE:
503 LONE FIR

SCALE:
12" 1'-0"

MATERIAL BOARD

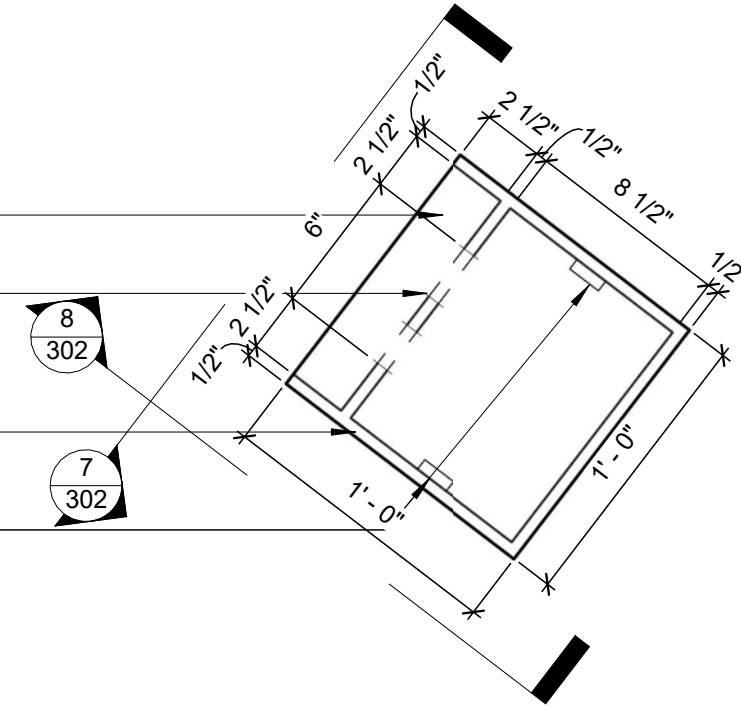


1 PRIMARY MONUMENT

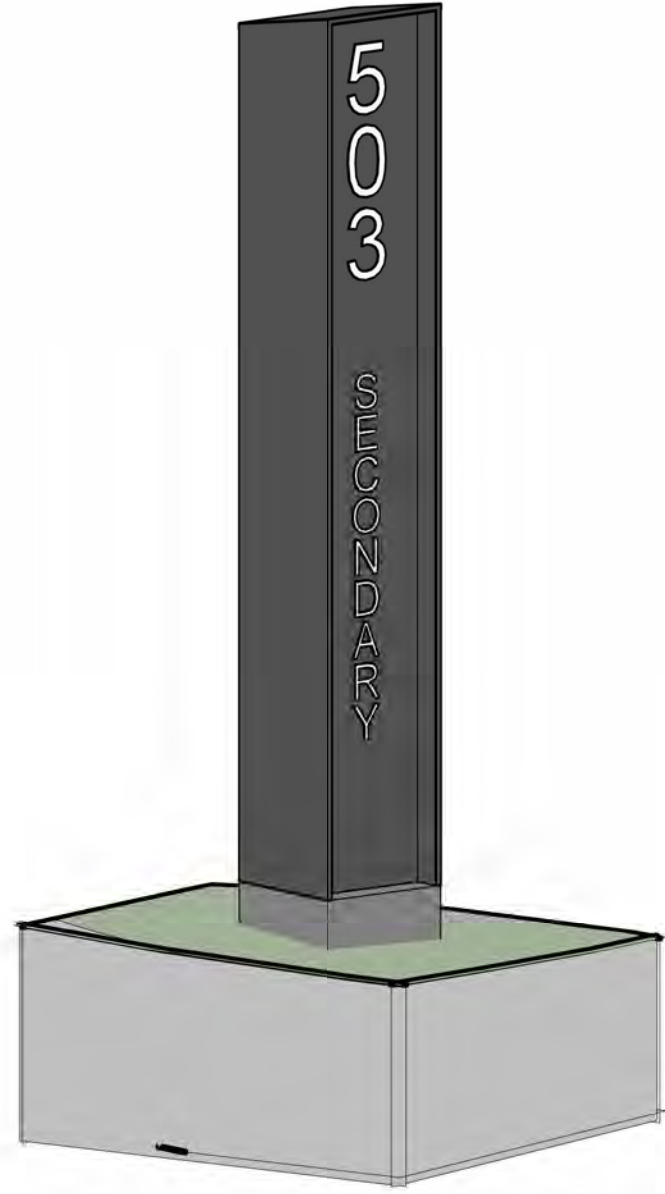


2 PRIMARY ADDRESS MONUMENT

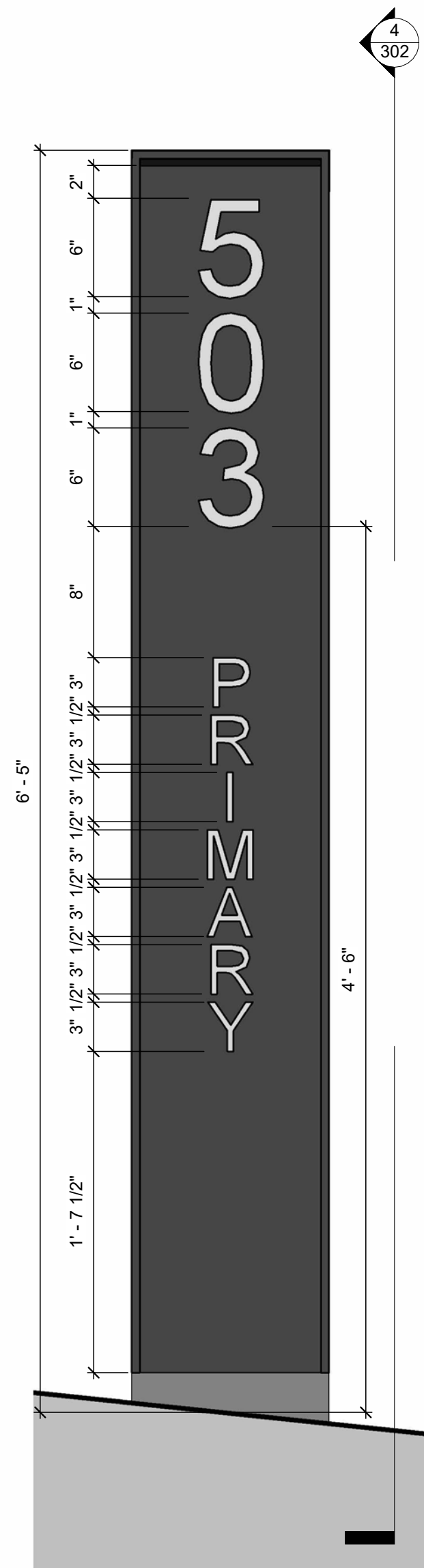
CONCRETE BASE PAD
6" BLACK NUMBERING LASER CUT INTO STEEL PANEL, LED LIGHTING WITHIN MONUMENT TO SHOW THROUGH CUT NUMBERING
PLATE STEEL STRUCTURE TO CONCEAL LIGHTING, WIRING, POWERSOURCE
LED LIGHT STRIP



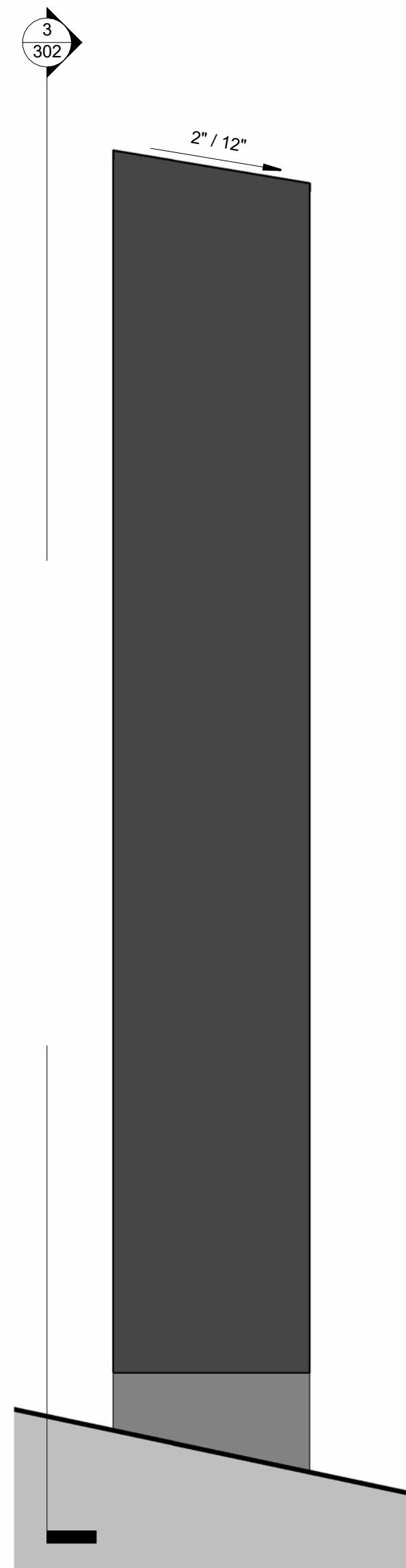
5 SECONDARY ADDRESS MONUMENT



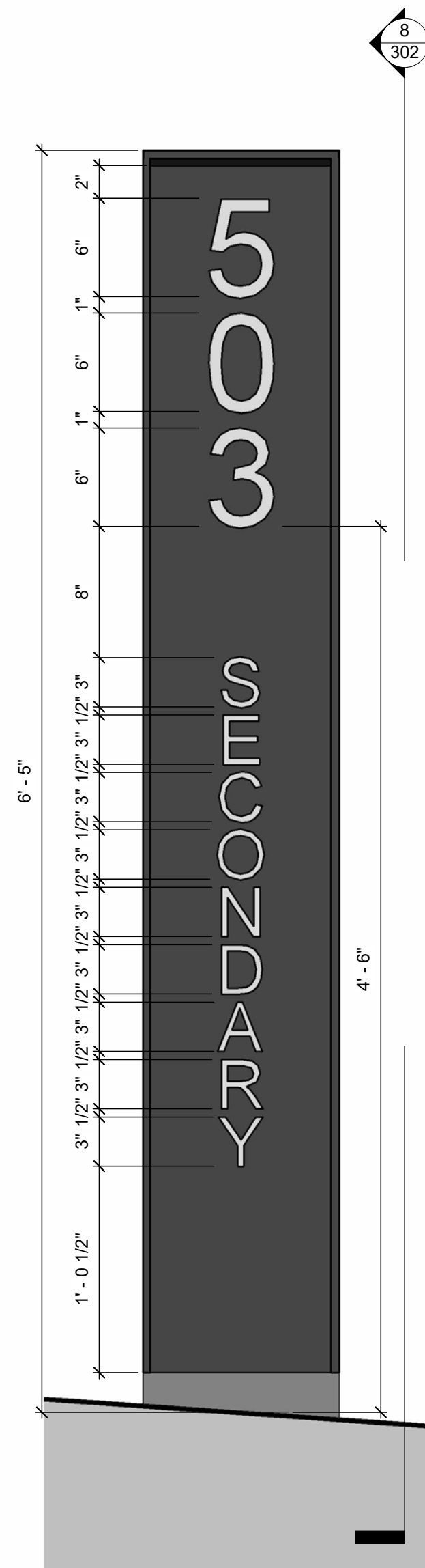
6 SECONDARY MONUMENT



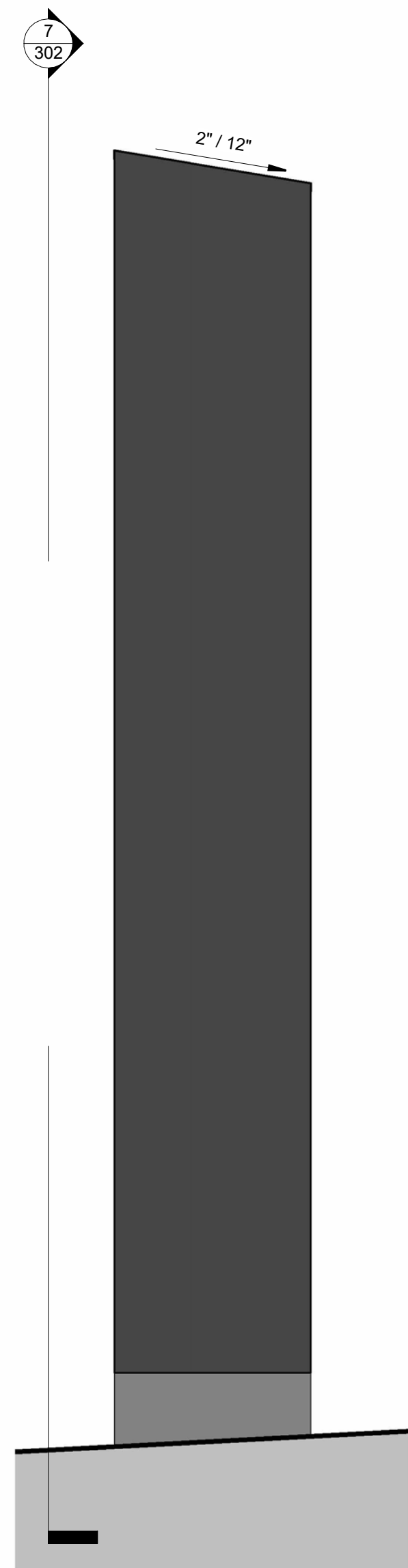
3 PRIMARY FRONT



4 PRIMARY SIDE



7 SECONDARY FRONT



8 SECONDARY SIDE

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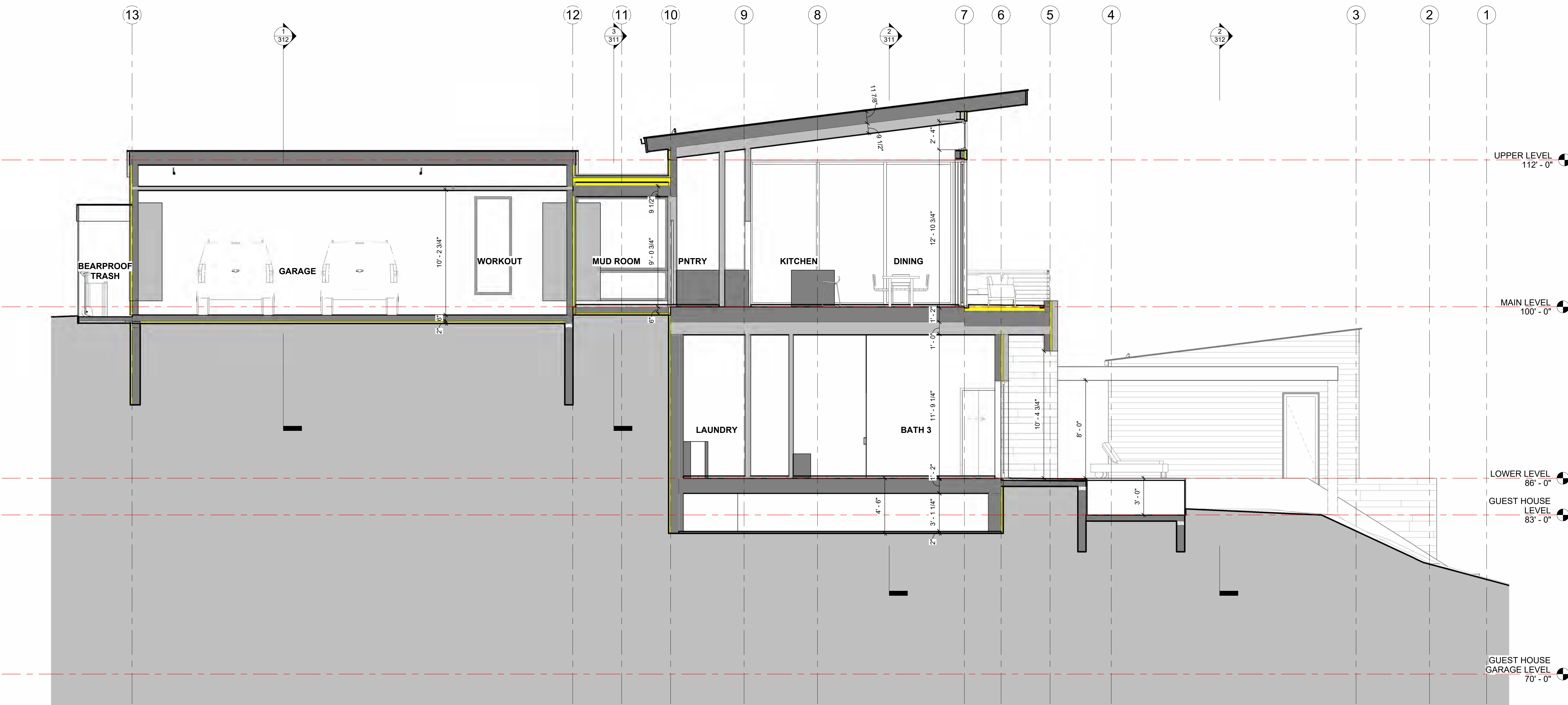
DRAWN BY:
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FILE:
503 LONE FIR

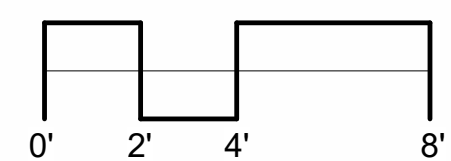
SCALE:
1 1/2" 1'-0"

ADDRESS
MONUMENTS

A 302



1 GARAGE AND MAIN HOUSE SECTION
1/4" 1'-0"



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FILE:	503 LONE FIR
SCALE:	1/4" 1'-0"

SECTIONS

A

310

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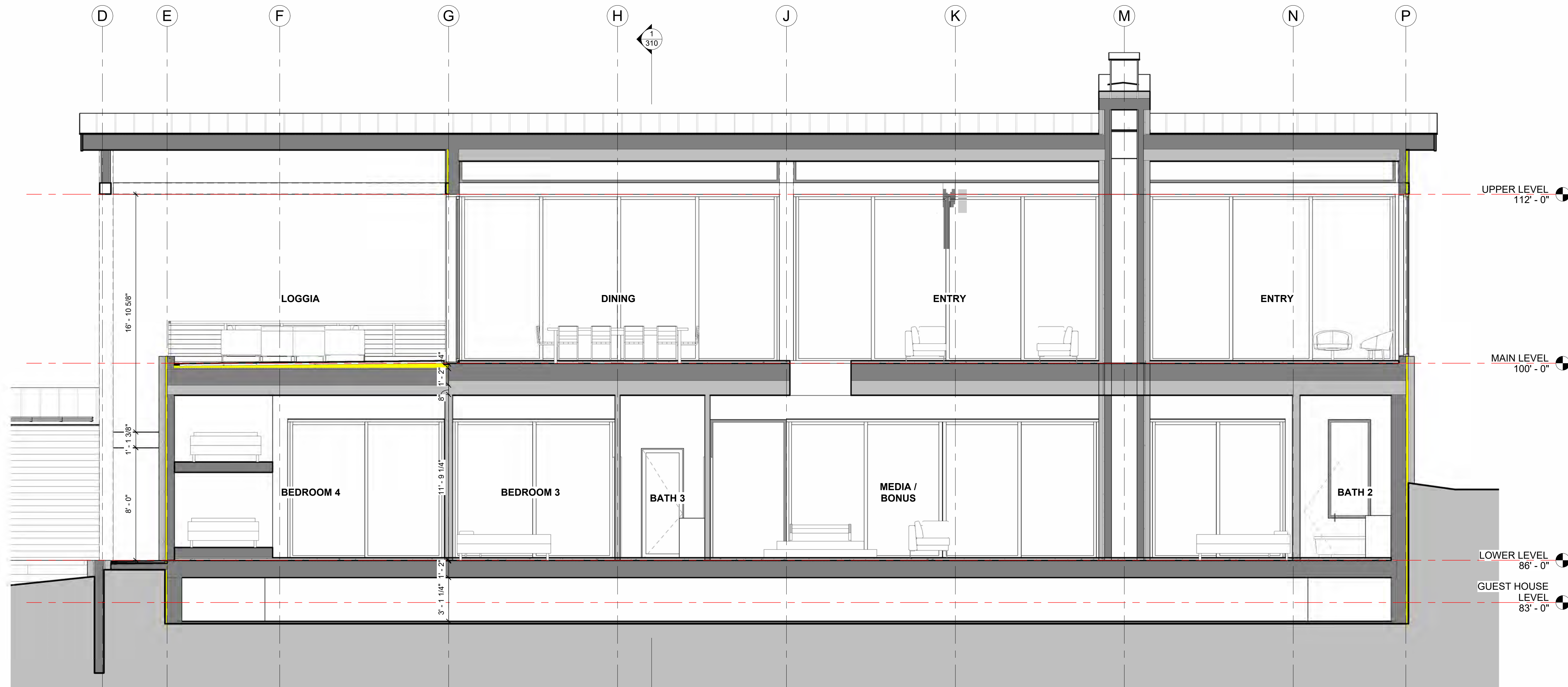
DRAWN BY:
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FILE:
503 LONE FIR

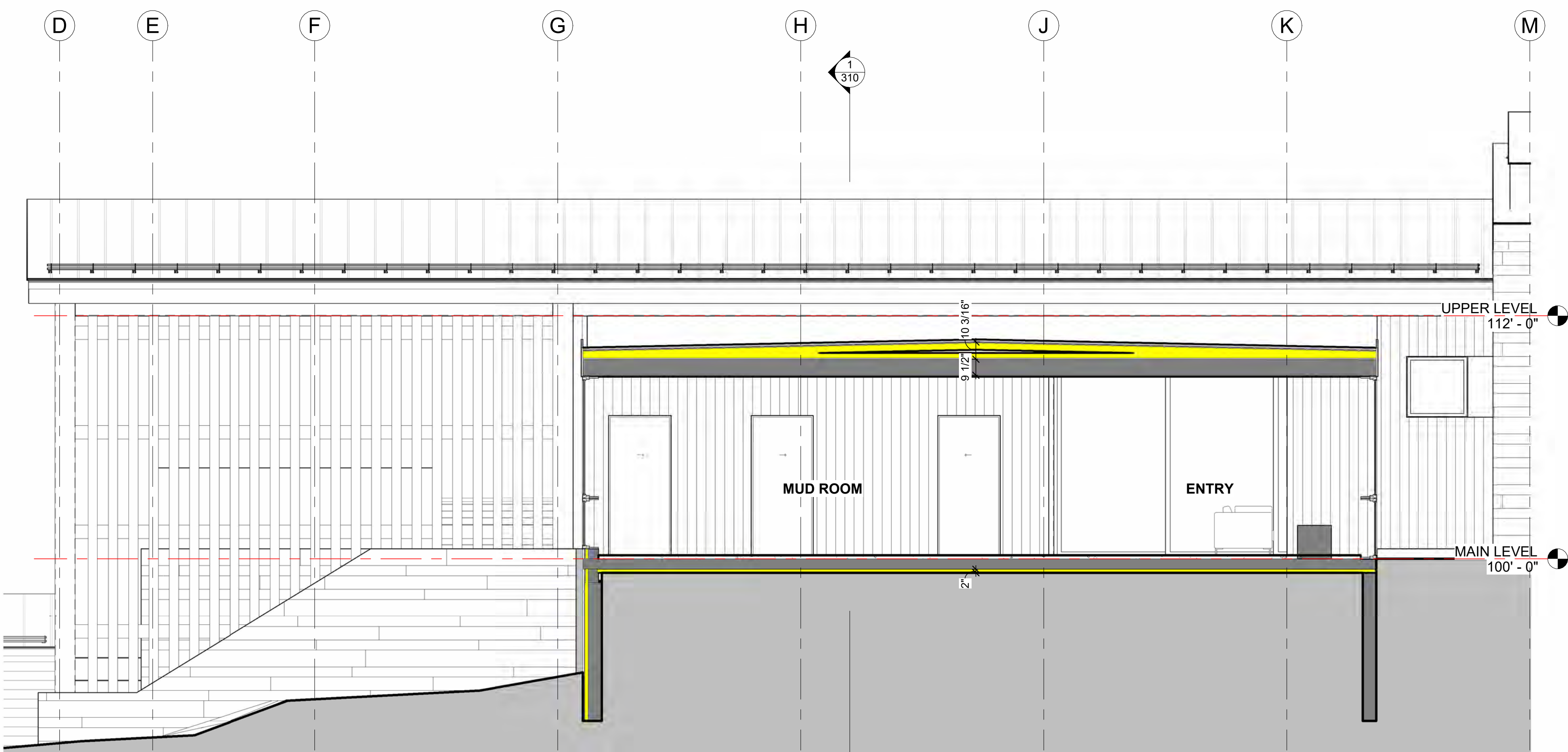
SCALE:
1/4" 1'-0"

SECTIONS

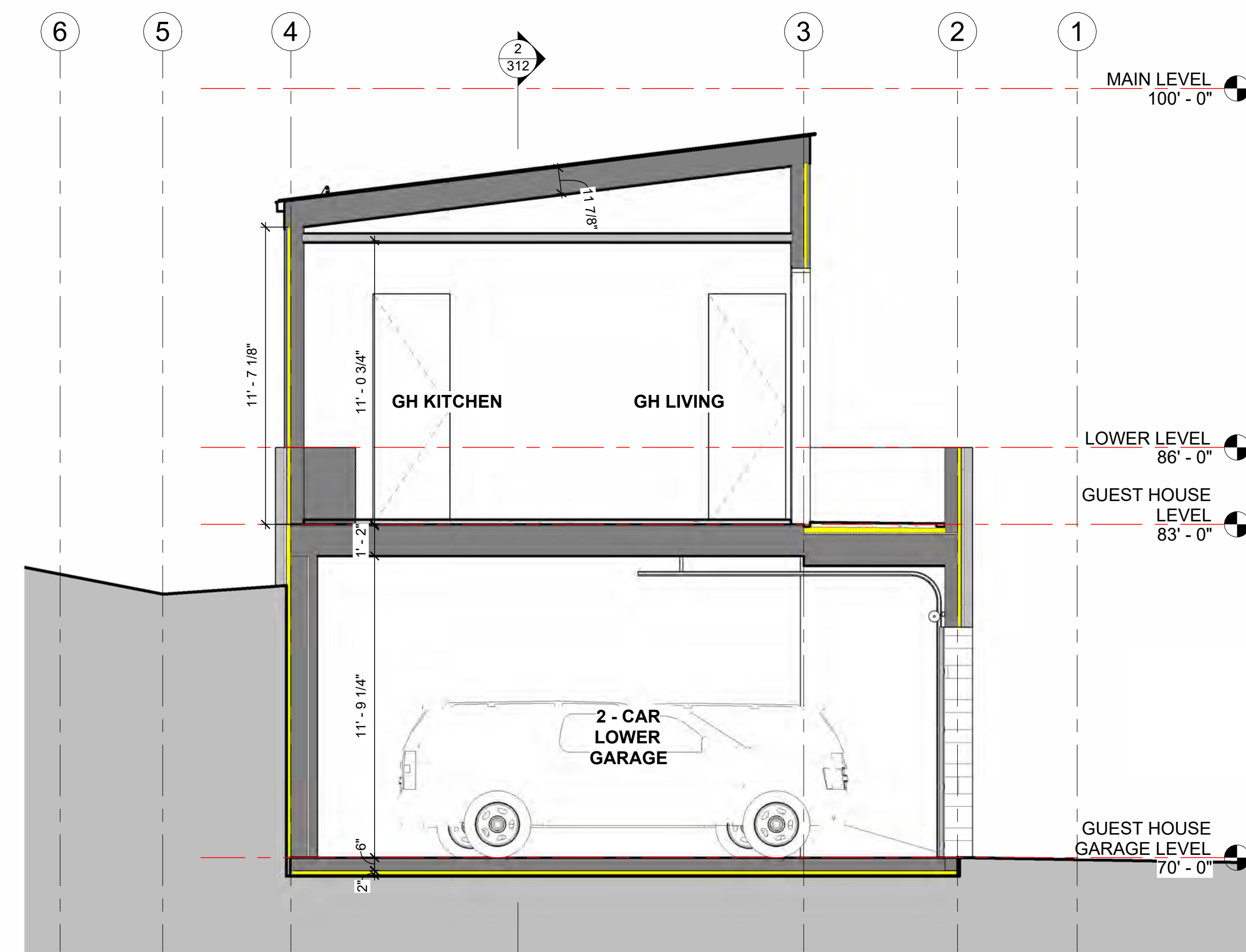
A311



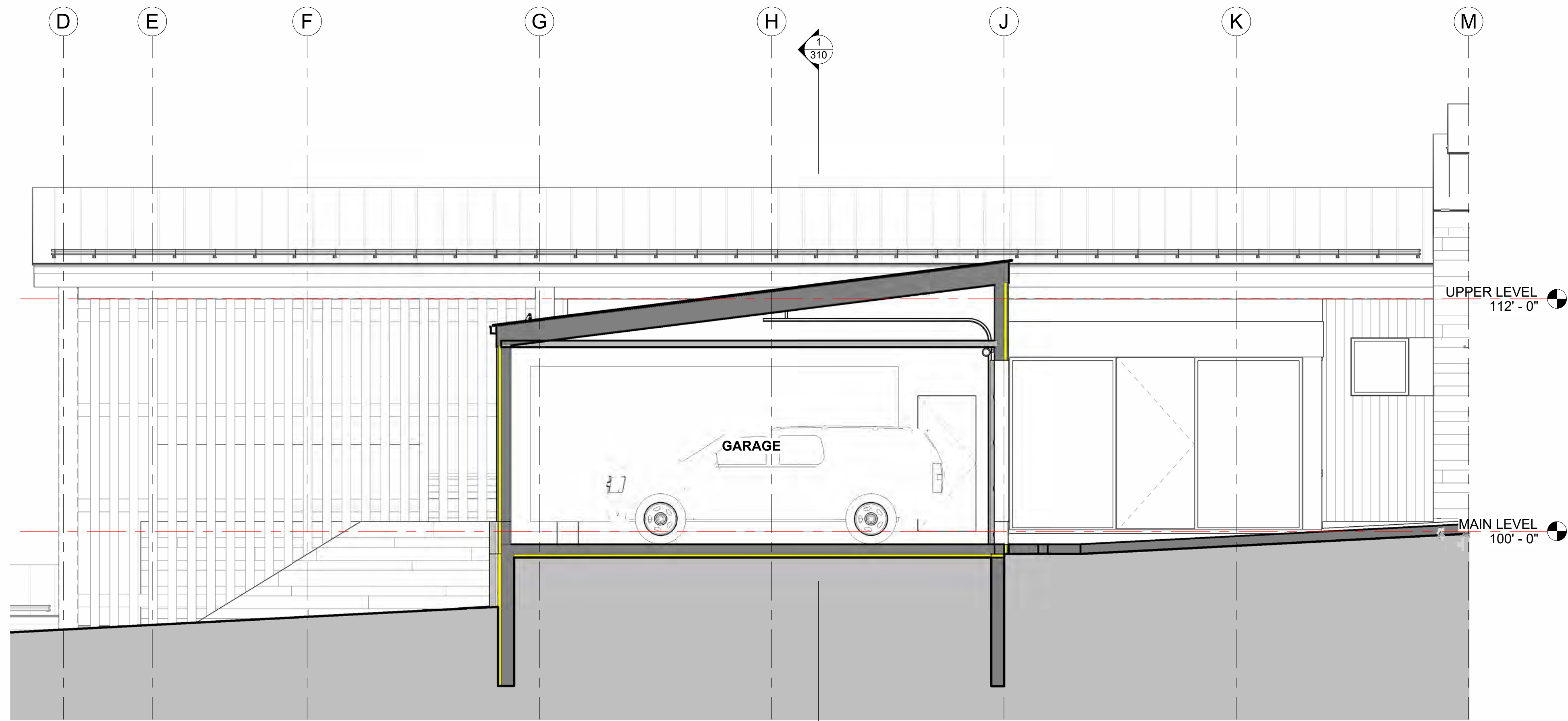
2 MAIN HOUSE EAST WEST
1/4" 1'-0"



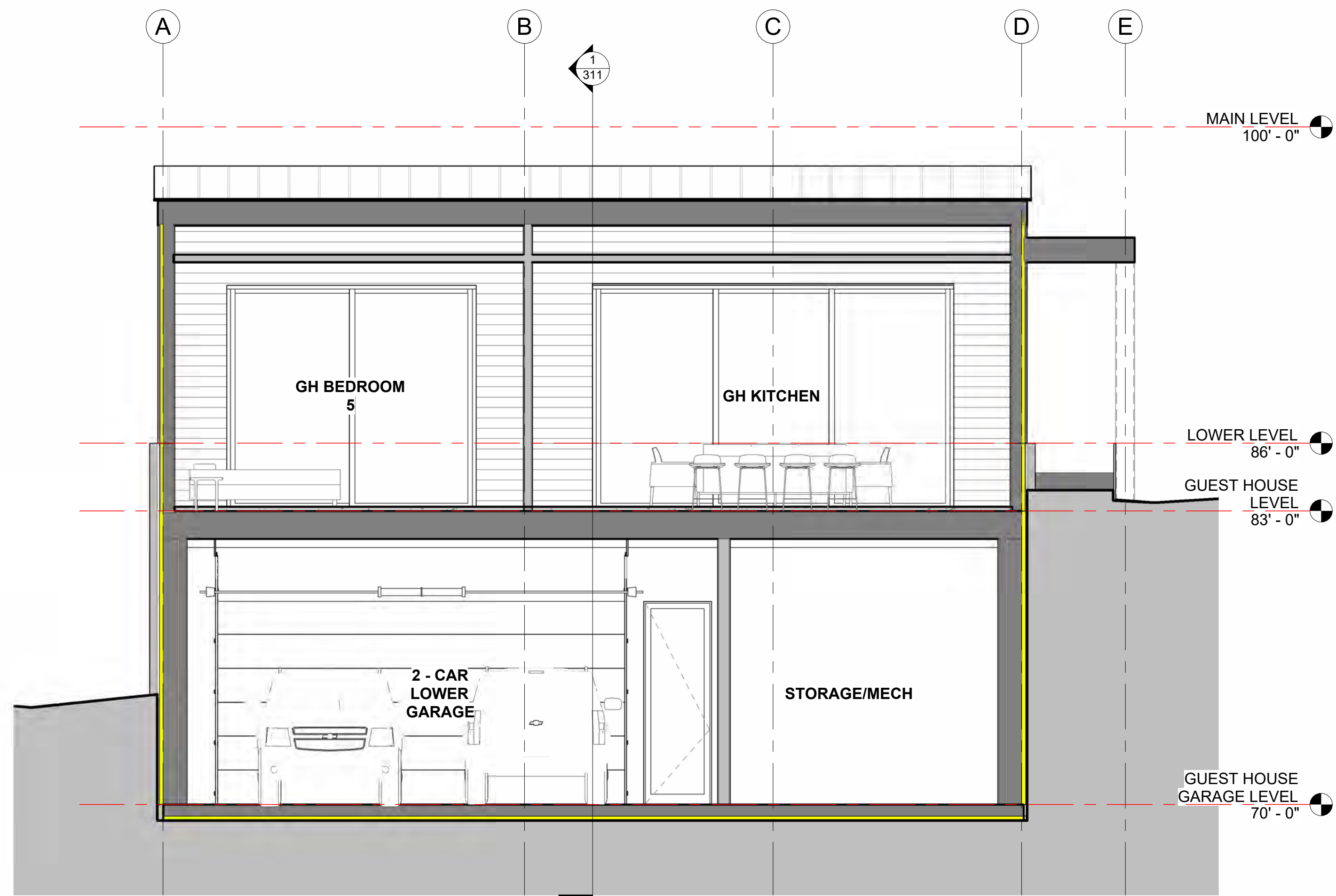
3 ENTRY EAST WEST
1/4" 1'-0"



1 GUEST HOUSE GARAGE SECTION
1/4" 1'-0"



1 GARAGE EAST WEST
1/4" 1'-0"



2 GUEST HOUSE EAST WEST
1/4" 1'-0"

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DRAWN BY:
Author

FILE:
503 LONE FIR

SCALE:
1/4" 1'-0"

SECTIONS

A312

TYPICAL GUARDRAIL ASSEMBLY:

LED LIGHT STRIP REF: EXTERIOR LIGHTING

1/4" PAINTED METAL W/ SLOPE W/ INTEGRATED LED STRIP TO FLUSH TOWARD TERRACE ONLY.

1-1/2"x1-1/2"x3/8" PAINTED VERTICAL TUBE. ATTACH TO DECK STRUCTURE

3/8"x1-1/2" PAINTED HORIZONTAL BARS. WELD TO POSTS.
EVENLY SPACE BARS SO THAT ALL GAPS ARE LESS THAN 4".

LED LIGHT SPILL TO ONLY FLUSH TERRACE

GRID

T.O. GUARDRAIL
36" MIN. ABOVE F.F.

LINEAR TRENCH DRAIN TO ADDRESS TERRACE DRAINAGE

TYPICAL EXTERIOR WALL ASSEMBLY:

NOTES BELOW ARE CONSISTANT ACROSS
WALL TYPES UNLESS OTHERWISE NOTED:

EXTERIOR SIDING / VENEER TYPES VARY (W1 SHOWN). RE: ELEVATIONS AND PLANS
FOR LOCATIONS & WALL TYPES FOR EXTERIOR SIDING & ATTACHMENT NOTES

T.O. UPPER TERRACE PLYWOOD
99'-4" (ARCH) 9614'-4" (CIVIL)

1 EXTERIOR RAILING DETAIL
1 1/2" 1'-0"

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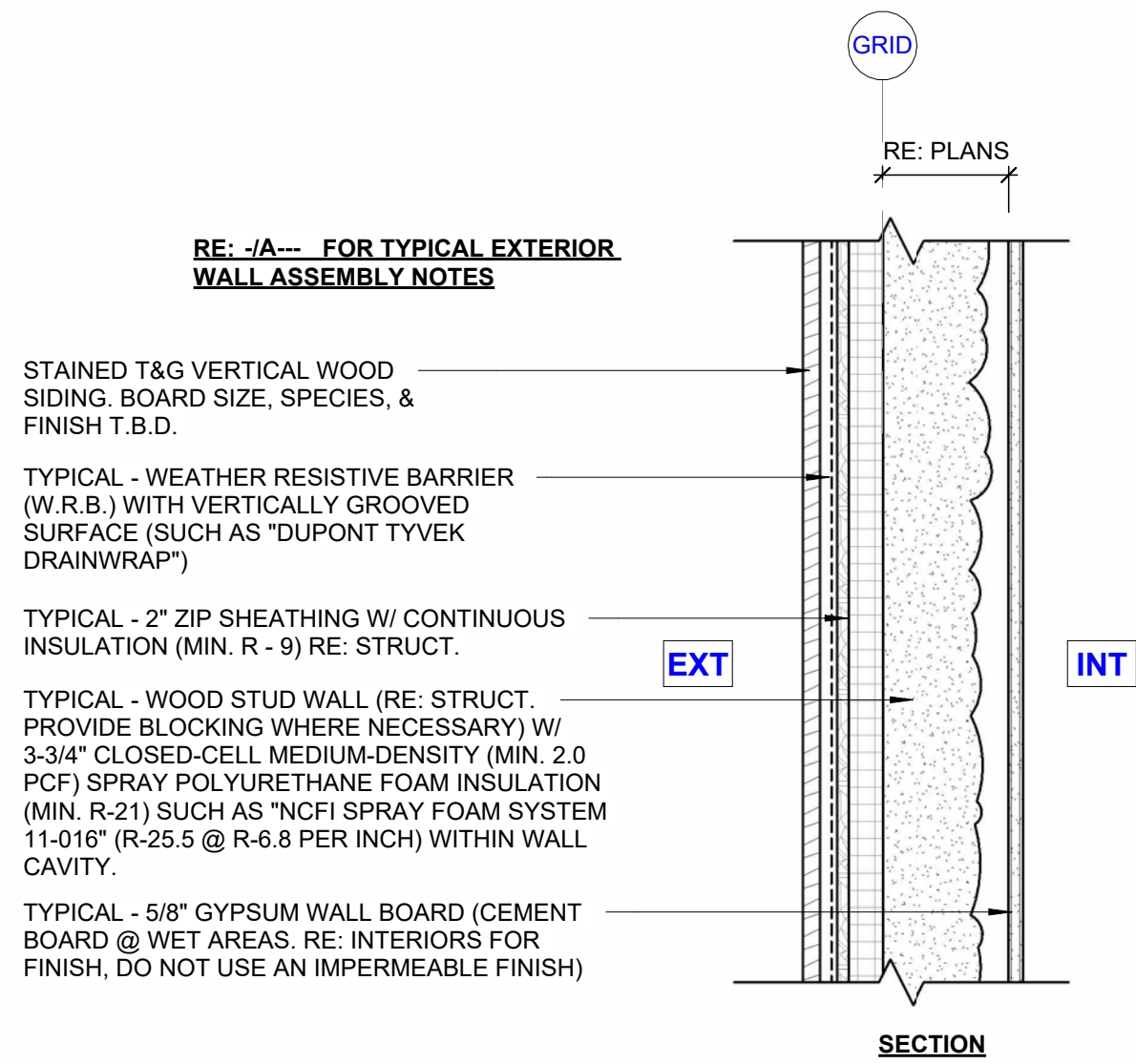
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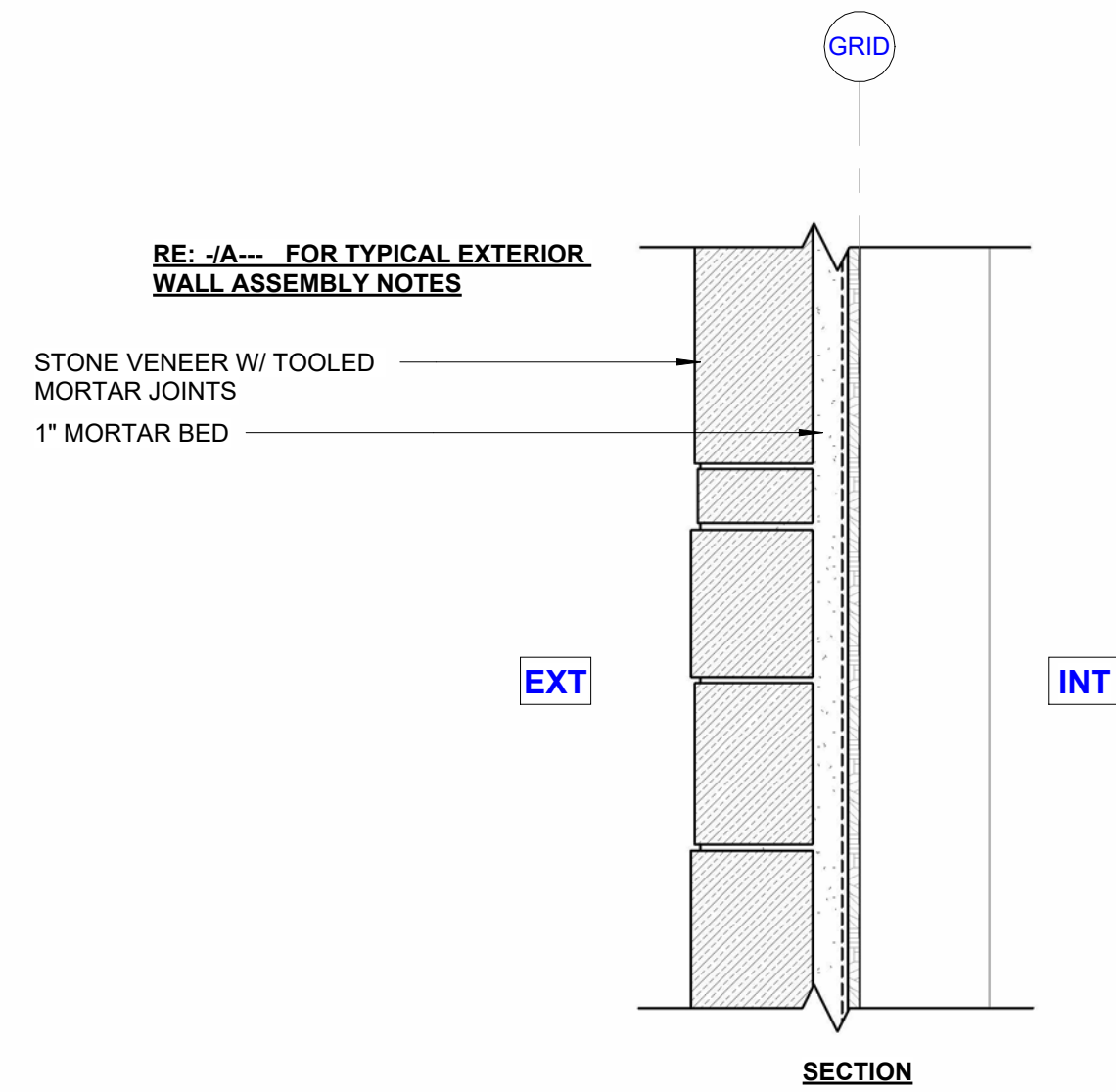
DATE:
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DRAWN BY:
ETL
FILE:
503 LONE FIR
SCALE:
1 1/2" 1'-0"

DETAILS

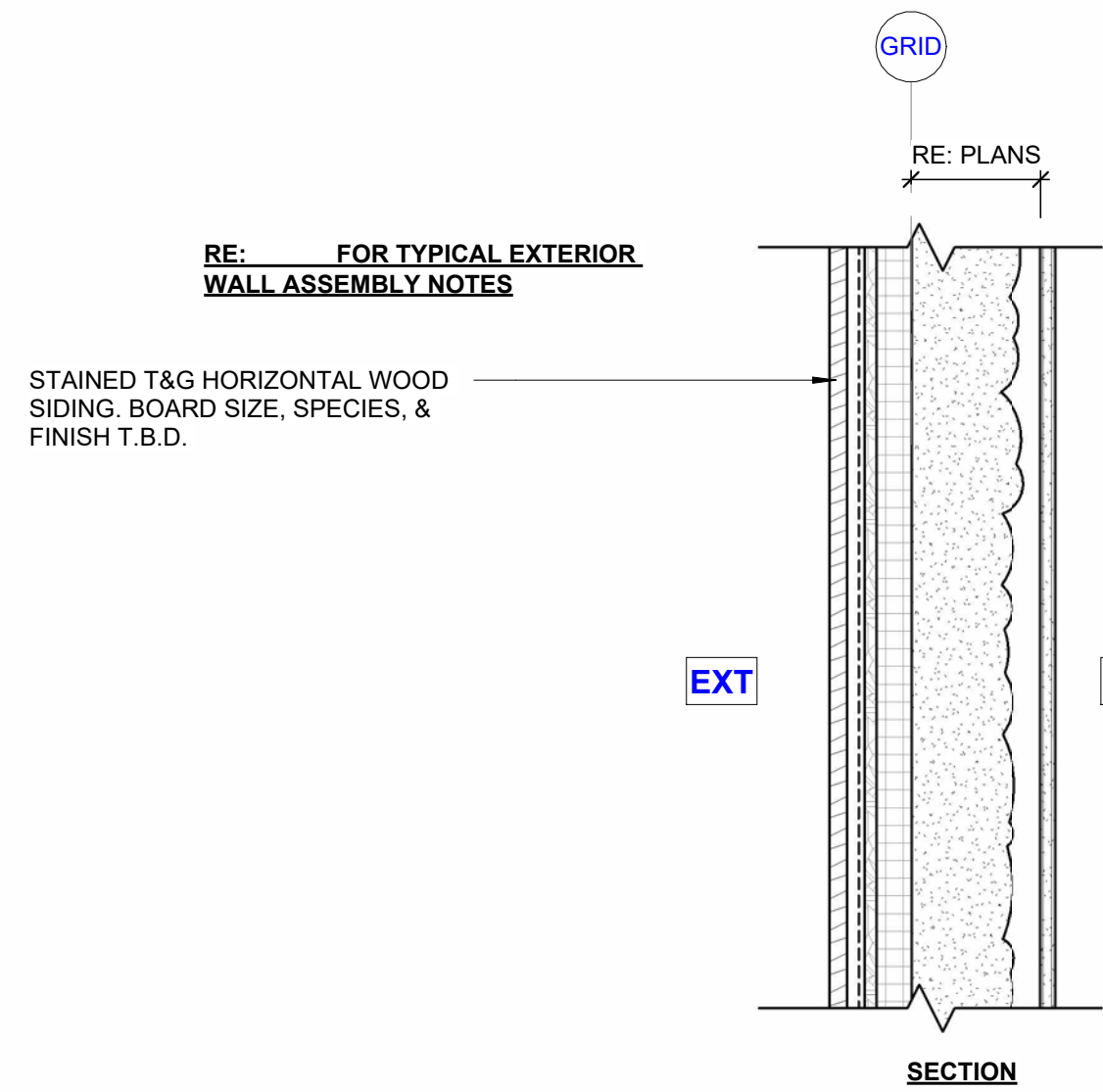
A410



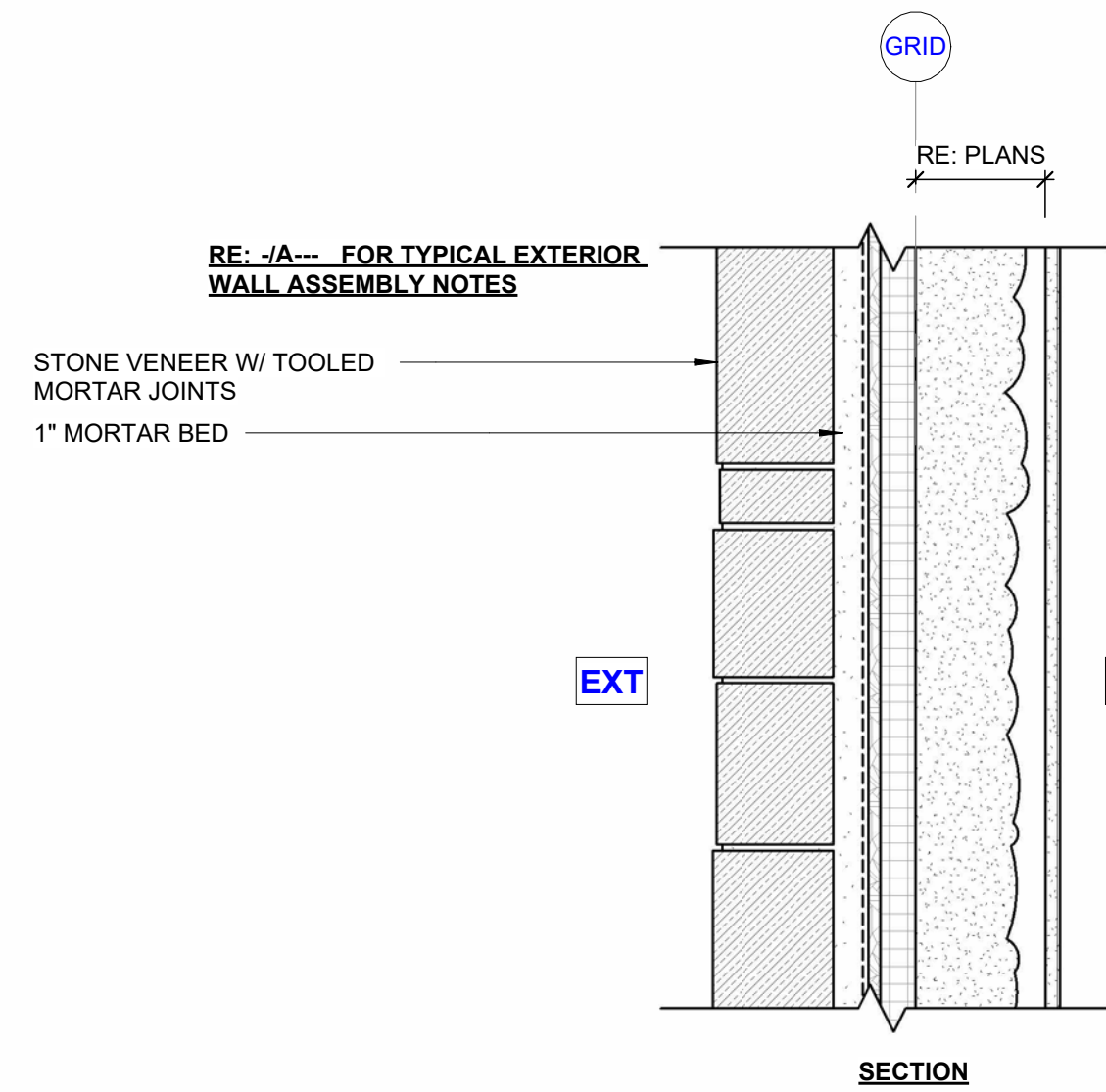
1 WALL TYPE 1
1 1/2" 1'-0"



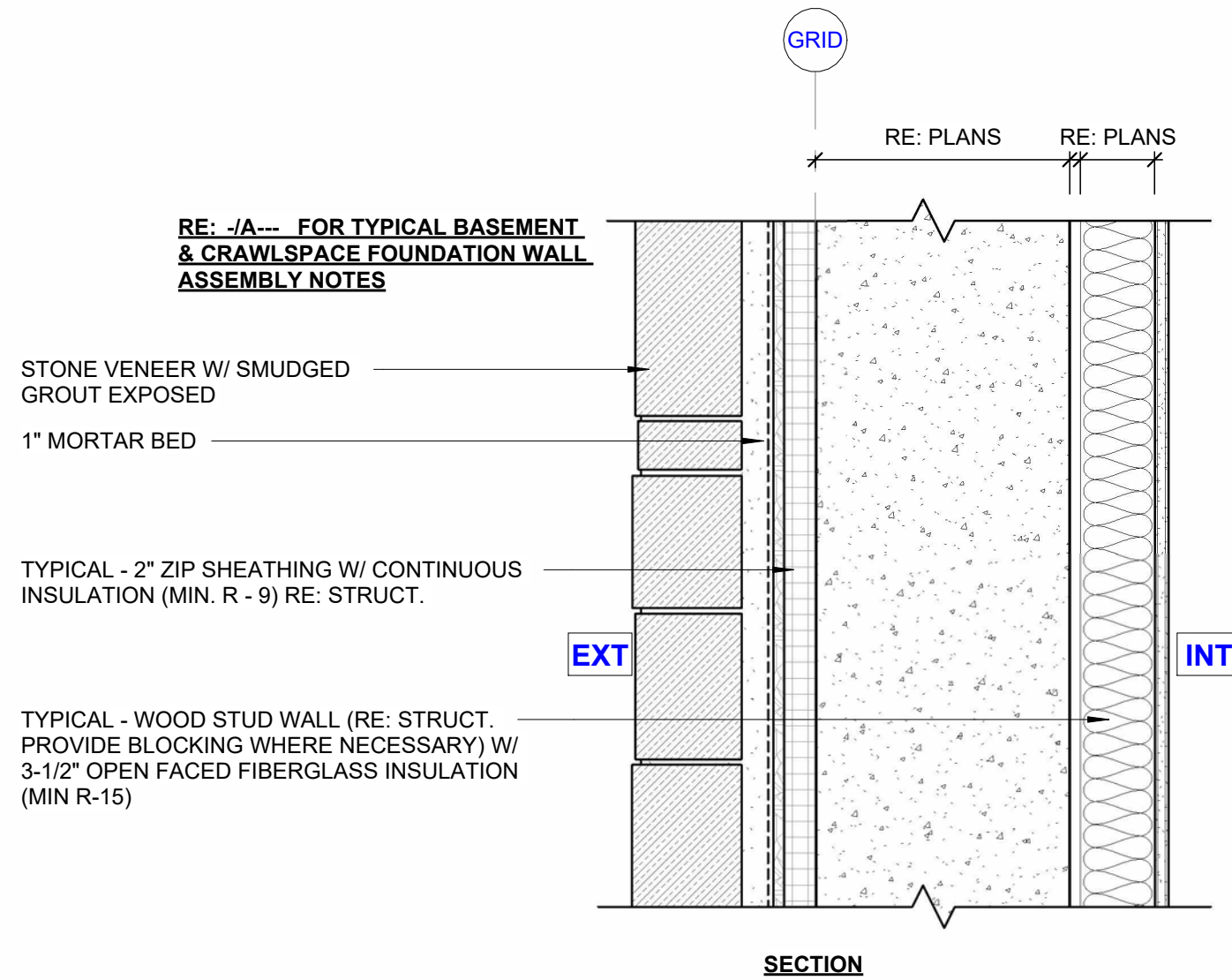
2 WALL TYPE 2
1 1/2" 1'-0"



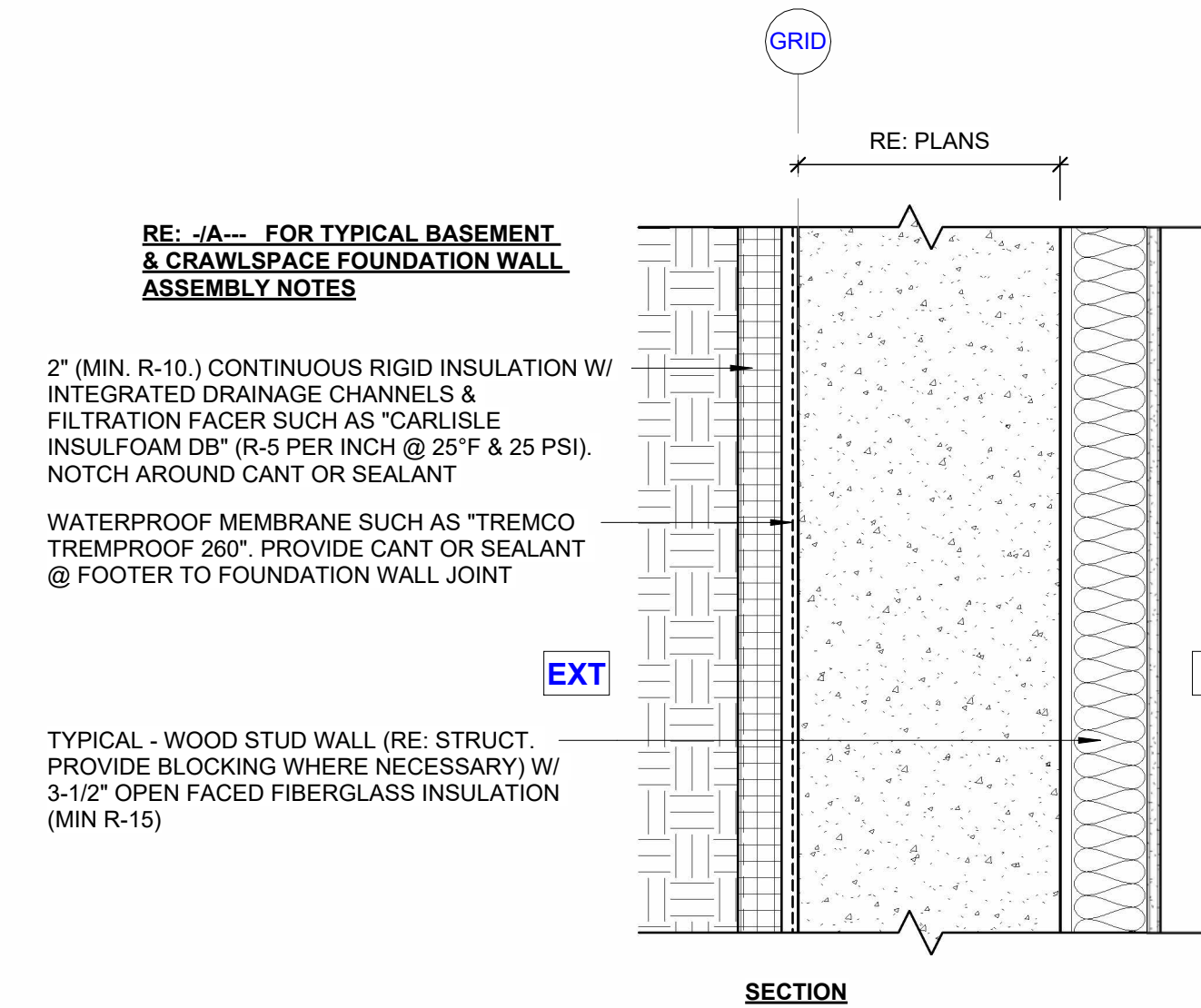
3 WALL TYPE 3
1 1/2" 1'-0"



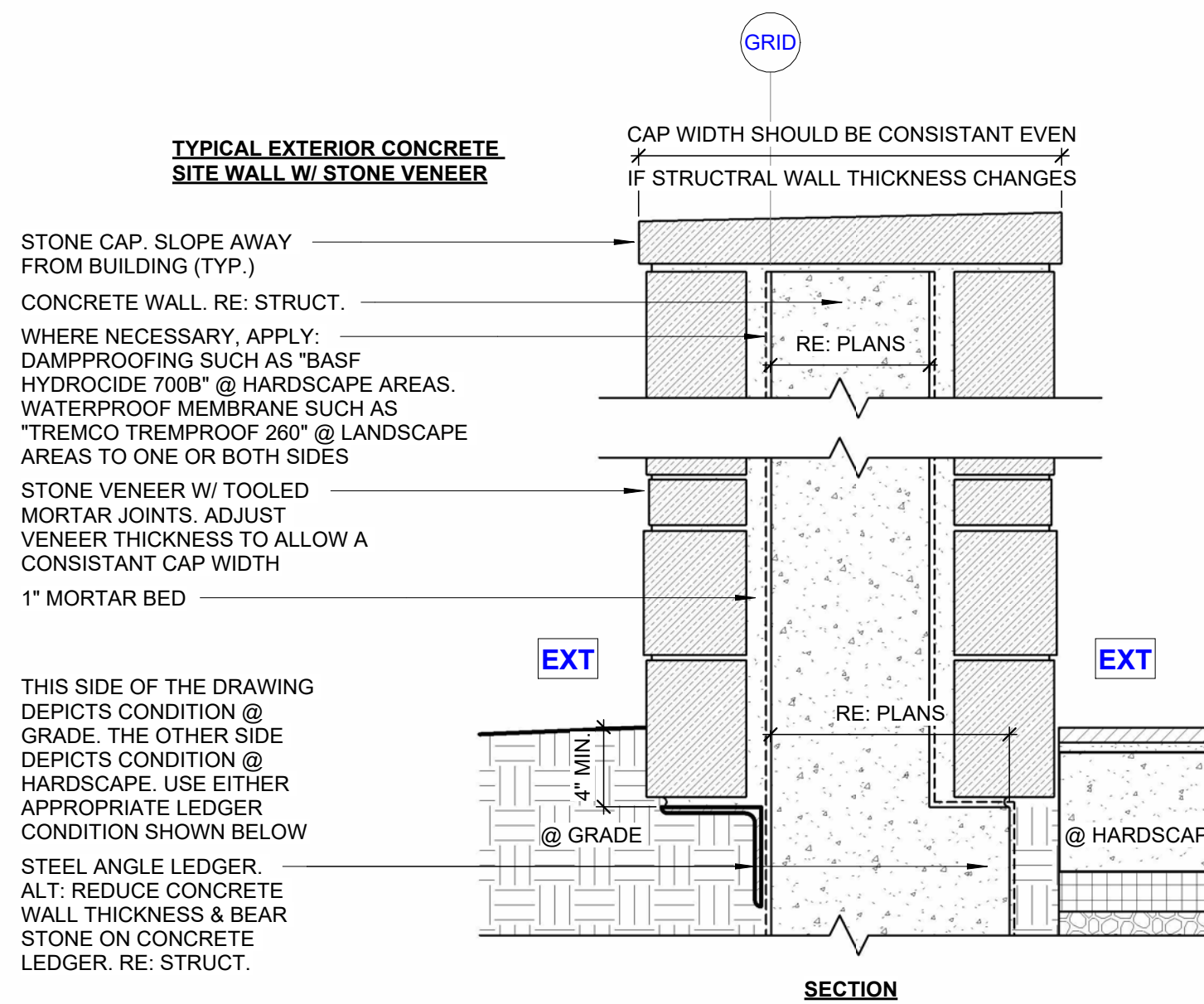
4 WALL TYPE 4
1 1/2" 1'-0"



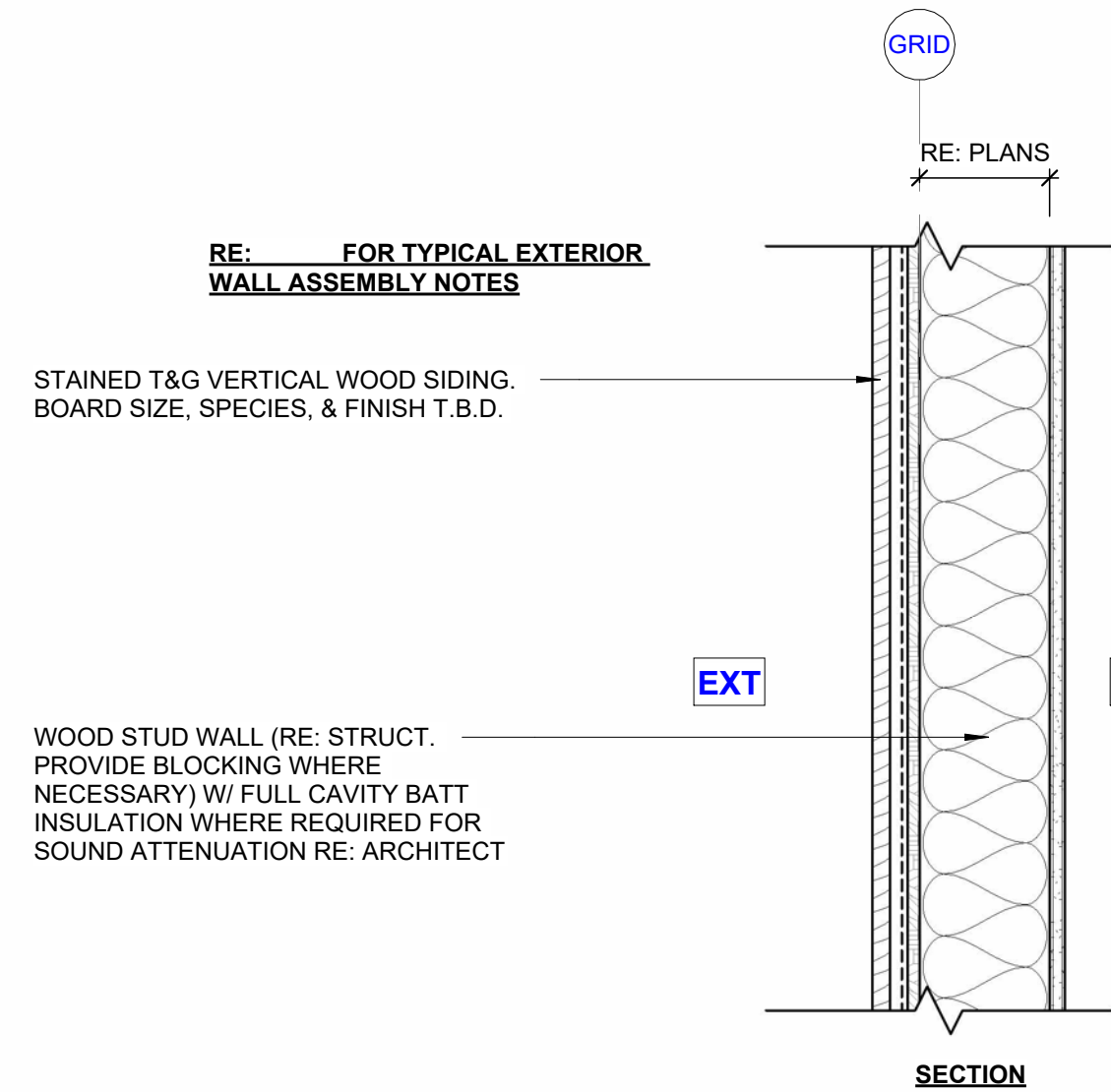
5 WALL TYPE 5
1 1/2" 1'-0"



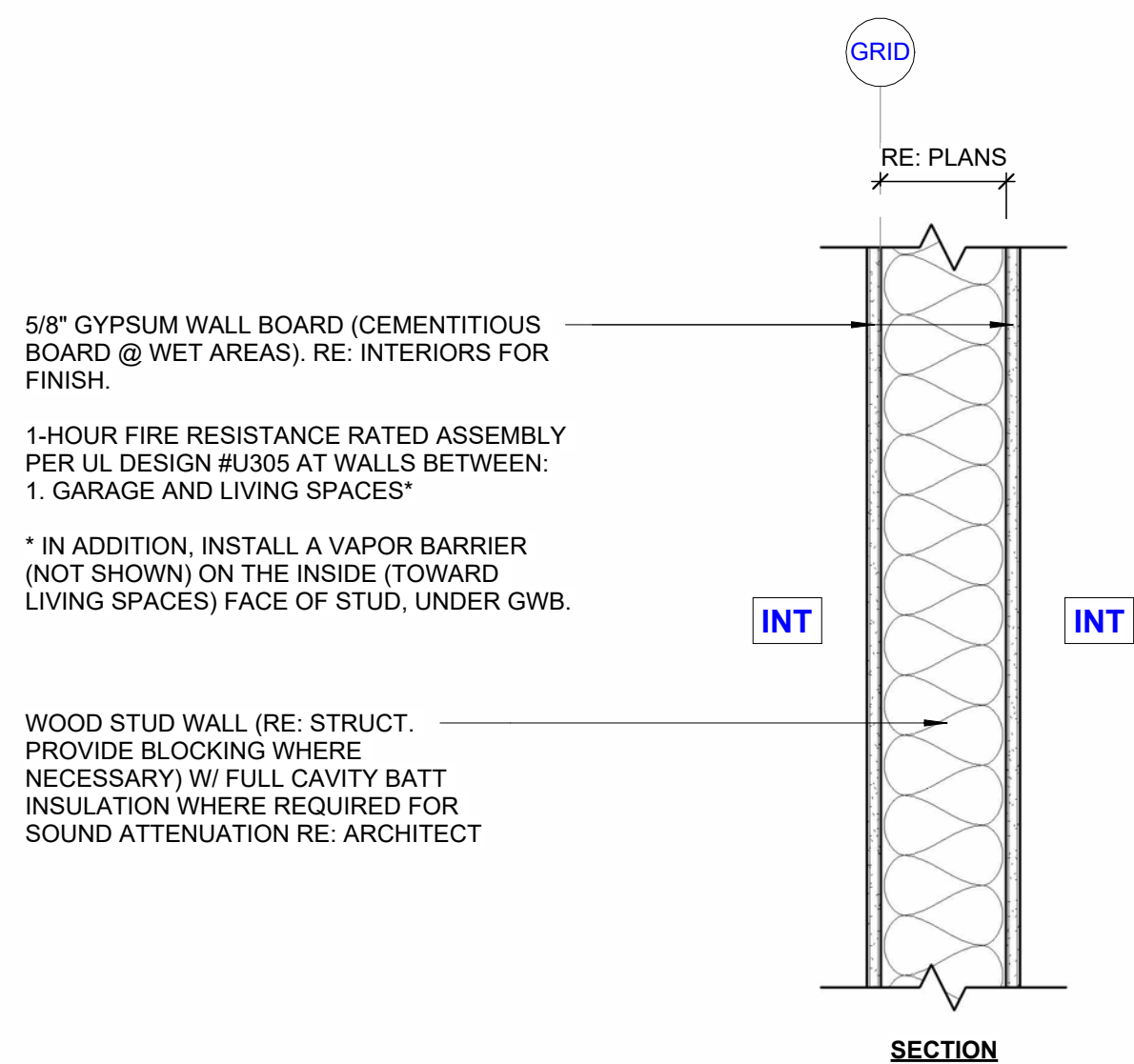
6 WALL TYPE 6
1 1/2" 1'-0"



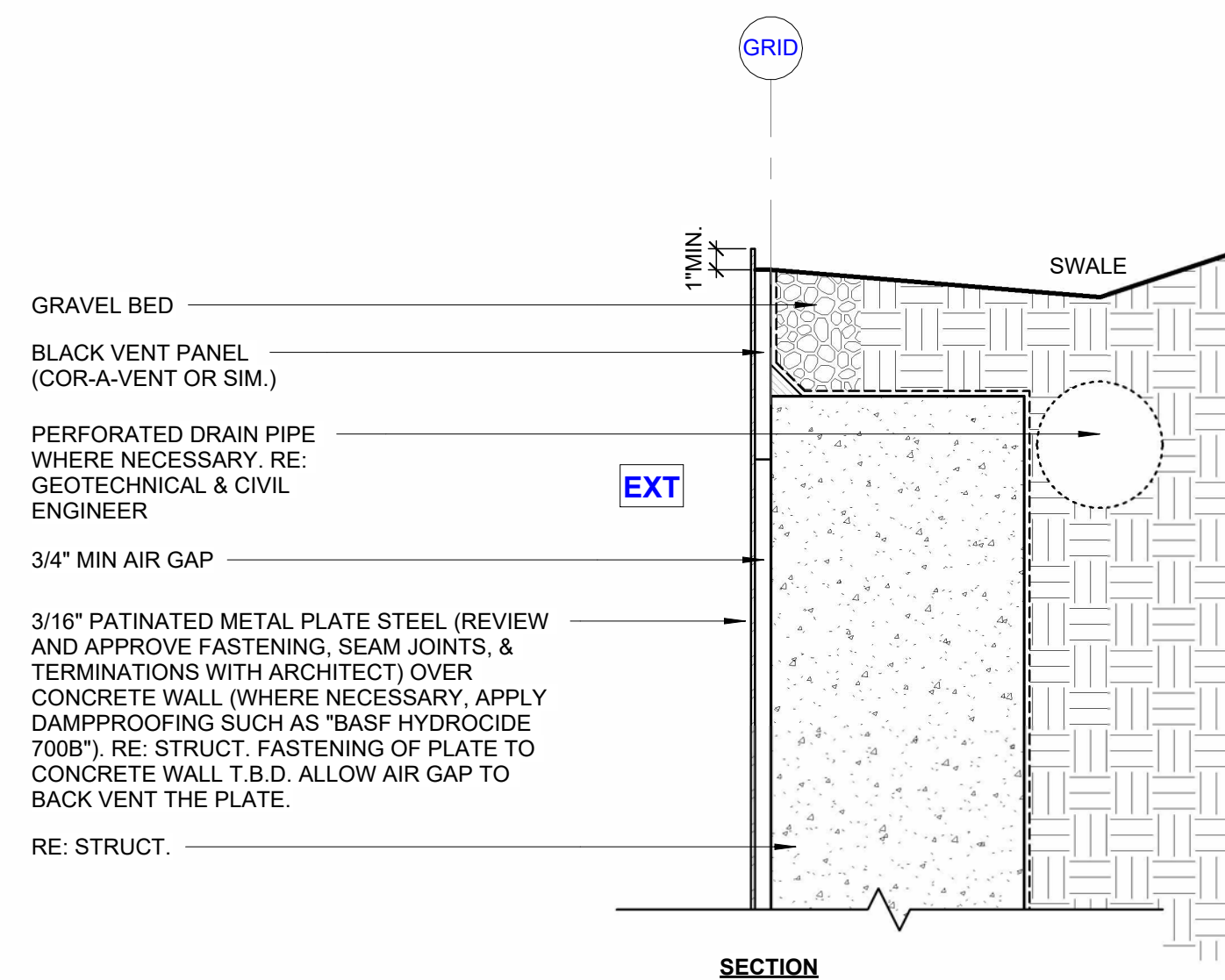
7 WALL TYPE 7
1 1/2" 1'-0"



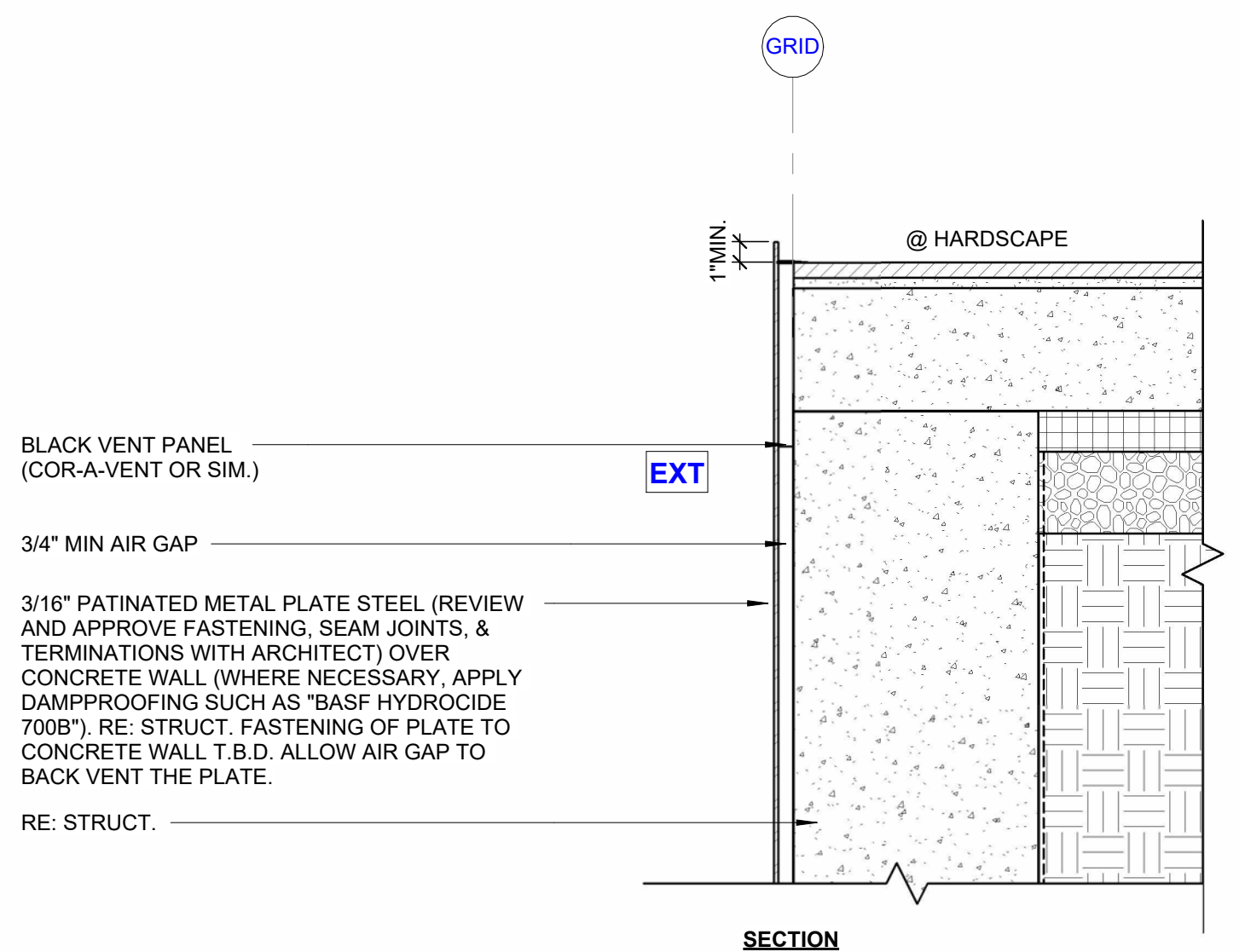
8 WALL TYPE 8
1 1/2" 1'-0"



9 WALL TYPE 9
1 1/2" 1'-0"



10 WALL TYPE 10
1 1/2" 1'-0"



11 WALL TYPE 11
1 1/2" 1'-0"

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FILE:
503 LONE FIR

SCALE:
1 1/2" 1'-0"

WALL TYPES

A510

WINDOW SCHEDULE												
MARK	LEVEL	WIDTH	HEIGHT	SILL HEIGHT	OPERATION	HINGE	TEMPERED	EGRESS	MOTORIZED	SCREEN	U-VALUE	SHGC
100.1	LOWER LEVEL	65"	120"	0"	FIXED		TEMPERED				0.26	0.35
121.1	LOWER LEVEL	36"	84"	3' - 0"	AWNING					YES	0.26	0.35
140.A	LOWER LEVEL	36"	84"	3' - 0"	AWNING					YES	0.26	0.35
200.1	MAIN LEVEL	67"	108"	0"	FIXED		TEMPERED				0.26	0.35
200.2	MAIN LEVEL	67"	108"	0"	FIXED		TEMPERED				0.26	0.35
200.3	MAIN LEVEL	112"	72"	3' - 0"	AWNING					YES	0.26	0.35
200.4	MAIN LEVEL	112"	36"	0"	AWNING		TEMPERED			YES	0.26	0.35
201.1	MAIN LEVEL	90 1/4"	72"	3' - 0"	AWNING					YES	0.26	0.35
201.2	MAIN LEVEL	90 1/4"	30"	6"	AWNING		TEMPERED			YES	0.26	0.35
231.1	MAIN LEVEL	66"	138"	6"	FIXED		TEMPERED				0.26	0.35
232.1	MAIN LEVEL	66"	138"	6"	FIXED		TEMPERED				0.26	0.35
232.2	MAIN LEVEL	36"	36"	7' - 0"	AWNING				YES		0.26	0.35
232.3	MAIN LEVEL	36"	36"	7' - 0"	AWNING			YES		YES	0.26	0.35
233.1	MAIN LEVEL	36"	36"	7' - 0"	AWNING			YES		YES	0.26	0.35
250.1	MAIN LEVEL	36"	96"	1' - 0"	AWNING		TEMPERED			YES	0.26	0.35
250.2	MAIN LEVEL	36"	96"	1' - 0"	AWNING		TEMPERED			YES	0.26	0.35
310.1	UPPER LEVEL	262"	28"	10"	FIXED						0.26	0.35
321.1	UPPER LEVEL	272 7/8"	28"	10"	FIXED						0.26	0.35
330.1	UPPER LEVEL	211"	28"	10"	FIXED						0.26	0.35

DOOR SCHEDULE									
MARK	EXTERIOR / INTERIOR	LEVEL	WIDTH	HEIGHT	OPERATION	CONSTRUCTION	MANUFACTURER	TEMPERED	U-VALUE
010.A	Exterior	GUEST HOUSE GARAGE LEVEL	18' - 0"	9' - 0"	OVERHEAD				0.05
010.B	Exterior	GUEST HOUSE GARAGE LEVEL	3' - 0"	9' - 0"	SWING			TEMPERED	0.26
100.A	Exterior	LOWER LEVEL	22' - 2"	10' - 0"	SLIDING			TEMPERED	0.26
120.B	Exterior	LOWER LEVEL	9' - 7"	10' - 0"	SLIDING			TEMPERED	0.26
130.B	Exterior	LOWER LEVEL	11' - 6 1/4"	10' - 0"	SLIDING			TEMPERED	0.26
131.A	Exterior	LOWER LEVEL	3' - 0"	7' - 11 1/2"	SLIDING			TEMPERED	0.26
140.B	Exterior	LOWER LEVEL	11' - 1 1/2"	10' - 0"	SLIDING			TEMPERED	0.26
161.B	Exterior	GUEST HOUSE LEVEL	16' - 0"	10' - 0"	SLIDING			TEMPERED	0.26
170.B	Exterior	GUEST HOUSE LEVEL	11' - 0"	10' - 0"	SLIDING			TEMPERED	0.26
200.A	Exterior	MAIN LEVEL	4' - 0"	9' - 0"	SWING			TEMPERED	0.26
210.A	Exterior	MAIN LEVEL	21' - 10"	12' - 0"	SLIDING			TEMPERED	0.26
220.A	Exterior	MAIN LEVEL	22' - 5 3/4"	12' - 0"	SLIDING			TEMPERED	0.26
221.A	Exterior	MAIN LEVEL	22' - 8 7/8"	12' - 0"	SLIDING			TEMPERED	0.26
231.A	Exterior	MAIN LEVEL	17' - 7"	12' - 0"	SLIDING			TEMPERED	0.26
260.A	Exterior	MAIN LEVEL	20' - 0"	9' - 6"	OVERHEAD				0.05
260.B	Exterior	MAIN LEVEL	3' - 0"	9' - 0"	SWING				0.05
270.O	Exterior	GUEST HOUSE LEVEL	3' - 0"	10' - 0"	SWING			TEMPERED	0.26
010.C	Interior	GUEST HOUSE GARAGE LEVEL	3' - 0"	7' - 0"	SWING				
010.D	Interior	GUEST HOUSE GARAGE LEVEL	3' - 0"	7' - 0"	SWING				
100.B	Interior	LOWER LEVEL	2' - 8"	7' - 0"	BARNDOOR				
103.A	Interior	LOWER LEVEL	3' - 0"	7' - 0"	SWING				
104.A	Interior	LOWER LEVEL	3' - 0"	7' - 0"	SWING				
120.A	Interior	LOWER LEVEL	3' - 0"	8' - 0"	SWING				
120.C	Interior	LOWER LEVEL	3' - 0"	7' - 0"	POCKET				
120.D	Interior	LOWER LEVEL	3' - 0"	7' - 0"	POCKET				
130.A	Interior	LOWER LEVEL	3' - 0"	7' - 0"	SWING				
130.C	Interior	LOWER LEVEL	2' - 8"	7' - 0"	BARNDOOR				
131.C	Interior	LOWER LEVEL	2' - 6"	7' - 0"	SWING	GLASS		TEMPERED	
140.A	Interior	LOWER LEVEL	3' - 0"	7' - 0"	SWING				
140.C	Interior	LOWER LEVEL	3' - 0"	7' - 0"	SWING				
141.A	Interior	LOWER LEVEL	2' - 6"	7' - 0"	SWING	GLASS		TEMPERED	
141.B	Interior	LOWER LEVEL	2' - 6"	7' - 0"	SWING	GLASS		TEMPERED	
160.B	Interior	GUEST HOUSE LEVEL	3' - 0"	9' - 0"	SWING				
170.A	Interior	GUEST HOUSE LEVEL	3' - 0"	9' - 0"	SWING				
170.C	Interior	GUEST HOUSE LEVEL	3' - 0"	6' - 8"	POCKET				
170.D	Interior	GUEST HOUSE LEVEL	3' - 0"	6' - 8"	POCKET				
230.A	Interior	MAIN LEVEL	3' - 0"	9' - 0"	SWING				
230.C	Interior	MAIN LEVEL	5' - 6"	12' - 0"	POCKET				
232.A	Interior	MAIN LEVEL	2' - 6"	7' - 0"	SWING	GLASS		TEMPERED	
232.B	Interior	MAIN LEVEL	2' - 6"	7' - 0"	SWING	GLASS		TEMPERED	
233.A	Interior	MAIN LEVEL	3' - 0"	6' - 8"	POCKET				
250.A	Interior	MAIN LEVEL	3' - 0"	7' - 0"	SWING				
270.A	Interior	LOWER LEVEL	3' - 0"	8' - 0"	SWING				
270.B	Interior	LOWER LEVEL	2' - 6"	7' - 0"	SWING				
270.D	Interior	MAIN LEVEL	3' - 0"	7' - 0"	POCKET				
270.E	Interior	MAIN LEVEL	3' - 0"	7' - 0"	POCKET				
270.F	Interior	MAIN LEVEL	3' - 0"	7' - 0"	POCKET				
270.K	Interior	LOWER LEVEL	2' - 6"	7' - 0"	SWING	GLASS		TEMPERED	
270.L	Interior	LOWER LEVEL	2' - 6"	7' - 0"	SWING	GLASS		TEMPERED	

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FILE:
503 LONE FIR

SCALE:

SCHEDULE

A 601



1 AERIAL SOUTH PHOTO
12" 1'-0"



2 AERIAL EAST PHOTO
12" 1'-0"



3 AERIAL WEST PHOTO
12" 1'-0"



4 AERIAL NORTH PHOTO
12" 1'-0"

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3
2
1

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DRB UPDATE
DRB PRELIM.

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FILE:
503 LONE FIR

SCALE:
12" 1'-0"

EXISTING PHOTOS

A

901



1 EXISTING SOUTH PHOTO
12" 1'-0"



2 EXISTING EAST PHOTO
12" 1'-0"



3 EXISTING WEST PHOTO
12" 1'-0"



4 EXISTING NORTH PHOTO
12" 1'-0"

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EXISTING PHOTOS

A 902



1 3D NW VIEW



2 3D NE VIEW

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DATE:
4.20.2022

DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:

3D VIEWS

A 910



1 3D SW VIEW



2 3D SE VIEW

ETL Architects Inc
PO Box 33
Pleasantville CO 81430
970.394.4480
edwin@etlarchitects.com

ETL
ARCHITECTS



(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:

3D VIEWS

A911



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ARCHITECTS



(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:

RENDER

A 920



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ARCHITECTS



(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:

RENDER

A 921



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(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:

RENDER

A 922



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ETL
ARCHITECTS



(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:

RENDER

A 923



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(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:

RENDER

A 924



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ARCHITECTS



(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

3	DRB FINAL	4.20.2022
2	DRB UPDATE	2.17.2022
1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

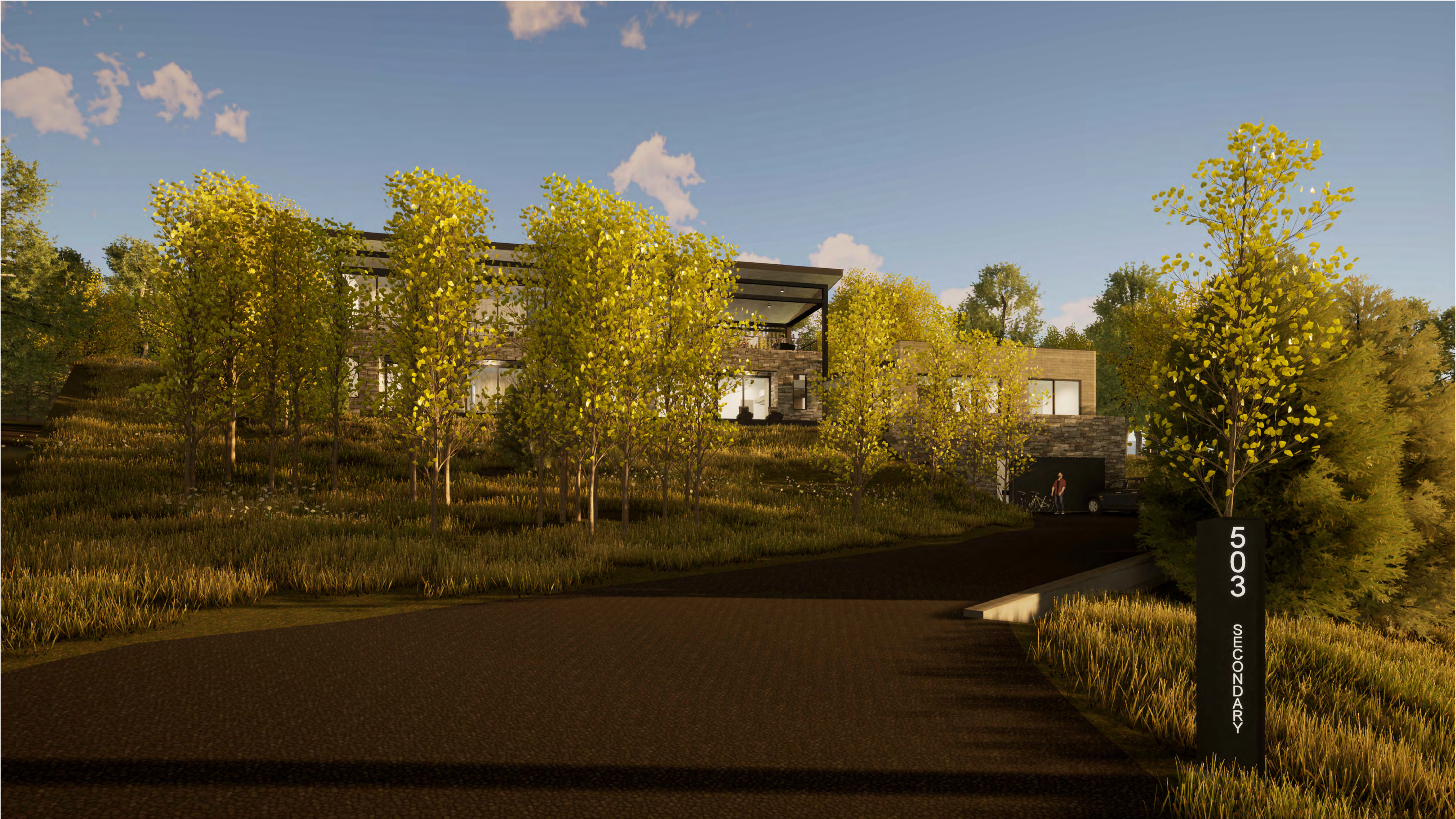
DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:

RENDER

A 925



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ARCHITECTS



(PROJECT)

LOT 503
LONE FIR,
MOUNTAIN
VILLAGE

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1	DRB PRELIM.	11.23.2021
NO.	REVISION	DATE

DATE:
4.20.2022

DRAWN BY:
ETL

FILE:
503 LONE FIR

SCALE:

RENDER

A 926

WALL SCONCE CYLINDER & SQUILINDER®

Exceptional adaptability and performance in classic and modern silhouettes that mount seamlessly and invisibly to the wall.



ORDERING INFORMATION



JA8-2019 INDICATED BY SHADING

SHAPE	TYPE	RATING	BODY FINISH	BAFFLE FINISH	LUMEN PACKAGE	CCT	LOWER OPTIC	UPPER OPTIC	DRIVER	LOWER LENS	UPPER LENS
		2									
CW2 Cylinder	DF Downlight	2 Wet (IP65)	WH White	WH White	DOWNLIGHT (DF) STATIC WHITE	22 2200K* * (Only available for 90+ CRI)	15 15° 25 25° 40 40° 60 60°	00 DF Only* * (Required with DF fixture)	DOWNLIGHT (DF) INTEGRAL	3 Clear Glass Lens* * (Not available for Warm Dim)	9 Diffusion Lens* * (Required with UD fixture)
SW2 Squilinder	UD Up / Downlight		BK Black	BK Black	80C12A 80+ CRI, Delivered Lumens - 706	27 2700K			RP1 120V, 1% ELV / TRIAC or 120-277V, 1% 0-10V Analog Logarithmic	4 Soft Focus Lens	LEAVE BLANK FOR DOWNLIGHT (DF)
			AB Architectural Bronze	AB Architectural Bronze	80C23A 80+ CRI, Delivered Lumens - 1337	30 3000K			REMOTE (120V)	5 Frosted Glass Lens	
			AG Satin Silver	AG Satin Silver	90C10A 90+ CRI, Delivered Lumens - 604	35 3500K			TR2 Philips, 2% Leading/Trailing/Triac* * (Only available with 80C19A, 90C15A and 97C14A)	6 Frosted Soft Focus Lens	
			AU Cashmere Gold	AU Cashmere Gold	90C15A 90+ CRI, Delivered Lumens - 937	40 4000K				7 Frosted Linear Spread Lens* * (Not available for Squilinder)	
			BB Burnt Bronze	BB Burnt Bronze	90C20A 90+ CRI, Delivered Lumens - 1140						
			CF Custom Finish* * (Consult Factory)	CF Custom Finish* * (Consult Factory)	97C09A 97+ CRI, Delivered Lumens - 543						
					97C14A 97+ CRI, Delivered Lumens - 835						
					97C18A 97+ CRI, Delivered Lumens - 1025						
					DOWNLIGHT (DF) WARM DIM		25 25° 40 40° 60 60°	00 DF Only* * (Required with DF fixture)	UP / DOWNLIGHT (UD) INTEGRAL		
					90W11A 90+ CRI, Delivered Lumens - 844 Incandescent Profile	WL 2700K - 1800K			CA2 120-277V 0-10V Analog Logarithmic		
					90W13A 90+ CRI, Delivered Lumens - 888 Halogen Profile	WD 3200K - 1800K			CE2 120V Electronic ELV Forward / Reverse Phase		
					*SEE PAGE 3 FOR DETAILED WARM DIM PROFILE COMPARISON.						
					UP / DOWNLIGHT (UD) STATIC WHITE	22 2200K* * (Only available for 90C10A)	15 15° 25 25° 40 40° 60 60°	15 15° 40 40° 60 60°	DOWNLIGHT (DF) & UP / DOWNLIGHT (UD) REMOTE (120V)		
					80C12A 80+ CRI, 1200 Source Lumens (Delivered - 1,587)	27 2700K			L23 Lutron, Hi-Lume 1% 2-Wire		
					90C10A 90+ CRI, 1000 Source Lumens (Delivered - 1,361)	30 3000K			REMOTE (120-277V)		
					97C09A 97+ CRI, 900 Source Lumens (Delivered - 1,220)	35 3500K 40 4000K			LH1 Lutron, Hi-Lume 1% Ecosystem		
									AN4 Philips Xitanium 1% 0-10V, LOG		
									EA2 eldoLED, SOLOdrive 0.1% 0-10V, LOG		
									ED1 eldoLED, SOLOdrive 0.1% DALI, LOG		
					*ALL DELIVERED LUMEN OUTPUTS AND T24 COMPLIANCE REFLECT 3000K PAIRED WITH 40° OPTIC AND SOFT FOCUS LENS. REFERENCE PAGE 3 FOR ADDITIONAL T24 COMPLIANT CONFIGURATIONS.						

(WH) White Powder Coat	(BK) Black Powder Coat	(AB) Architectural Bronze Powder Coat	(AG) Satin Silver Powder Coat	(AU) Cashmere Gold Powder Coat	(BB) Burnt Bronze Powder Coat

SPECIFICATION NOTES

- Wall Sconce (ex.) CW2-DF2-WHBK-90C20A2-30-RP1-40
- Wall Sconce (ex.) SW2-UD2-WHBK-80C12A2-33-RMT-49
- Up / Downlight (UD) fixtures require two remote drivers
- Remote driver(s) ships as (ex.) PS-RMT-80C12A-1L23

PATHLIGHTS

STEALTH AND IMPACT®

Low glare path lights lead the way through the out of doors, as built-ins or from freestanding bollards.

PROJECT NAME:

TYPE:



ORDERING INFORMATION AND DRAWINGS - FIXTURE



Quick Ship Product. All rough in components ship within 10 days up to quantities of 100.

FIXTURE	RATING	FLANGE FINISH			LUMEN PACKAGE	CCT
SSL1 Stealth Steplight ISL1 Impact Steplight	1 Dry / Damp (Non-Locking) 2 Wet (Locking)	POWDER COAT FINISH WH White BK Black AG Satin Silver AB Architectural Bronze CF Custom Finish* *(Consult Factory)	NATURAL FINISH IG Industrial Gray SS Brushed Stainless Steel BR Brushed Bronze NB Natural Bronze	PLATED FINISH CH Chrome* *(Increased lead time) PB Polished Oil-Rubbed Bronze* *(Increased lead time, not available for wet location) MB Matte Oil-Rubbed Bronze* *(Increased lead time, not available for wet location)	STEALTH & IMPACT 80L02B 80+ CRI, 200 Source Lumens SSL1 Delivered Lumens - 33 ISL1 Delivered Lumens - 43	27 2700K 30 3000K 35 3500K 40 4000K CC Custom Color (gel)* Color Temp: _____ K *(Custom gels assigned unique suffix upon receipt of order. Contact Product Support for guidance.)

A LED

Regressed LED with slot aperture for glare-free, energy-efficient path and step lighting; suitable for dry / damp or wet applications. 3.4W DC LED (dimming by power supply).

B EFFECTS DEVICES

Provided with sealed polycarbonate linear diffusion lens; consult factory for availability of color gels, which may achieve custom color temperatures.

C LOCKING

Discreetly hidden tamper-resistant set screws. Included with IP65 Wet location luminaire.

D GASKET

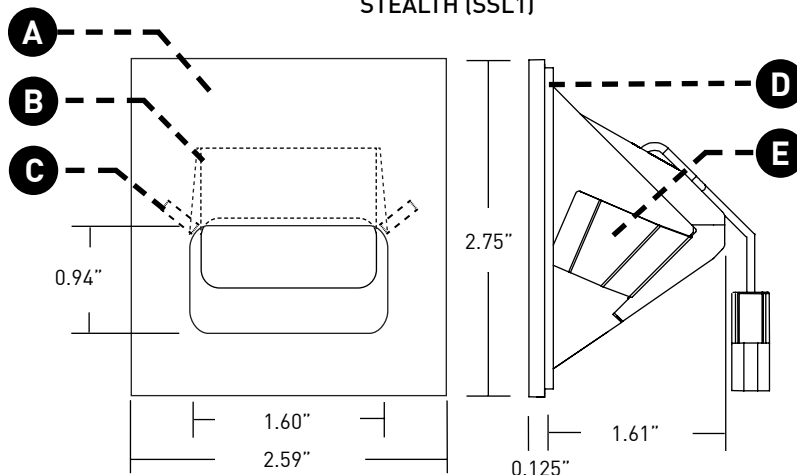
Foam gasket provided. Required for IP65 wet location applications only.

E RETENTION

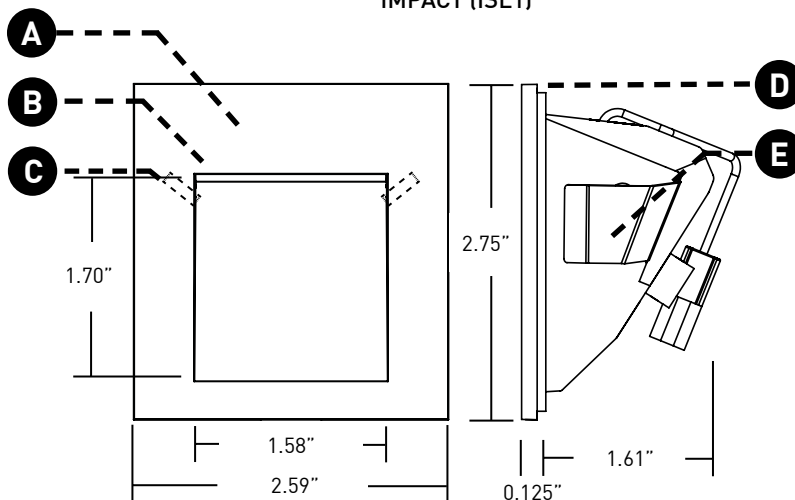
Torsion spring clips secure fixture into back box, mounting plate, or appropriately sized cut-out.

- Available with Bollard mounting, please visit [WEBSITE](#) for additional information.
- Double Impact ISL2 pathlight available, please visit [WEBSITE](#) for additional information.

STEALTH (SSL1)

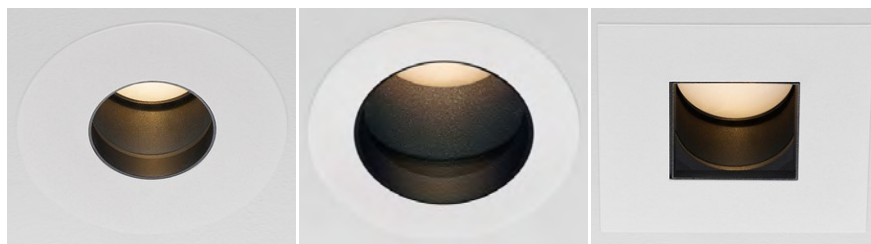


IMPACT (ISL1)



2 SERIES LED ADJUSTABLE

Our smallest aperture family of pin-hole fixtures offers high-output illumination for high-drama design statements in discerning residential, retail, and hospitality environments.



ORDERING INFORMATION



Quick Ship Product. All rough in components ship within 10 days up to quantities of 100.



JA8-2019 INDICATED BY SHADING

TRIM	RATING	FLANGE FINISH	LUMEN PACKAGE	CCT	OPTIC	INSTALL TYPE	CEILING THICKNESS	POWER SUPPLY	EFFECTS DEVICE	FLANGE CONFIGURATION
2RA Round Expanded 2PA Round Pinhole 2SA Square Expanded	1 Dry/Damp 2 Wet* *(Lens sealed in place)	WH White BK Black AU Cashmere Gold AG Satin Silver PR Primer AB Arch Bronze BB Burnt Bronze SS Stainless Steel* IG Industrial Gray PB Polished Bronze* MB Matte Bronze* CH Chrome* CF Custom* *(Increased lead time) *(Consult Factory)	STATIC WHITE 80CA12L 80+ CRI, 1200 Source Lumens (Delivered - 2PA 562, 2RA 698, 2SA 609) 80CA16L 80+ CRI, 1600 Source Lumens (Delivered - 2PA 773, 2RA 960, 2SA 839) 80CA23H 80+ CRI, 2300 Source Lumens (Delivered - 2PA 1064, 2RA 1322, 2SA 1154) 90CA10L 90+ CRI, 1000 Source Lumens (Delivered - 2PA 482, 2RA 599, 2SA 523) 90CA14L 90+ CRI, 1400 Source Lumens (Delivered - 2PA 661, 2RA 798, 2SA 717) 90CA19H 90+ CRI, 1900 Source Lumens (Delivered - 2PA 912, 2RA 1133, 2SA 989) 97CA10L 97+ CRI, 1000 Source Lumens (Delivered - 2PA 430, 2RA 534, 2SA 466) 97CA12L 97+ CRI, 1200 Source Lumens (Delivered - 2PA 588, 2RA 731, 2SA 638) 97CA17H 97+ CRI, 1700 Source Lumens (Delivered - 2PA 813, 2RA 1010, 2SA 882) WARM DIM 90WA11H 90+ CRI, 1130 Source Lumens Incandescent Profile (Delivered - 2PA 543, 2RA 679, 2SA 620) 90WA13H 90+ CRI, 1360 Source Lumens Halogen Profile (Delivered - 2PA 572, 2RA 715, 2SA 653) *SEE PAGE 3 FOR DETAILED WARM DIM PROFILE COMPARISON. L = 3.73" tall Low Flux Housing H = 6.5" tall High Flux Housing *ALL DELIVERED LUMEN OUTPUTS AND T24 COMPLIANCE REFLECT 3000K PAIRED WITH 40° OPTIC AND SOFT FOCUS LENS. REFERENCE PAGE 3 FOR ADDITIONAL T24 COMPLIANT CONFIGURATIONS.	22 2200K* *Only available with 90+ CRI 27 2700K 30 3000K 35 3500K 40 4000K 20 20° 40 40° 60 60° *(Not available for 2PA)	10 10° *(Only available with 80CA12L, 90CA10L and 97CA10L. Not available with 2200K) 20 20° *(Not Title 24 compliant with 2200K) 40 40° 60 60° *(Not available for 2PA)	Housing W/Integral Driver (HB) NC NIC IC IC AT IC, Airtight, Chicago Plenum Housing W/Remote Driver (HR) NR NIC, Remote IR IC, Remote AR IC, Airtight, Chicago Plenum Remodel RM Remodel RR Remote-Remodel	0 0.125" - 0.49" *(RM, RR Install Types only) 1 0.50" - 0.75" 2 0.76" - 1.25" *(See Page 4 for tilt limitations) 3 1.26" - 2.00" *(See Page 4 for tilt limitations) 4 2.01" - 3.00" *(See Page 4 for tilt limitations)	(120V) TR2 Philips, 2% Leading/Trailing/Triac* *(Not available for 80CA12L, 90CA10L, or 97CA10L unless 10° optic is specified) L23 Lutron, Hi-Lume 1% 2-Wire (120-277V) LH1 Lutron, Hi-Lume 1% Ecosystem LP1 Lutron, Premier 0.1% Ecosystem AN4 Philips Xitanium 1% 0-10V, LOG LN2 Philips Xitanium 1% 0-10V, LIN EA2 eldoLED, SOLOdrive 0.1% 0-10V, LOG LA2 eldoLED, SOLOdrive 0.1% 0-10V, LIN ED1 eldoLED, SOLOdrive 0.1% DALI, LOG LD1 eldoLED, SOLOdrive 0.1% DALI, LIN	Standard Effects Device 04 Soft Focus Lens 00 No Lens* *(Standard for 10° optic, Not available for wet location or Warm Dim) Alternate Effects Device 02 Honeycomb Louver* *(Not available for wet location or Warm Dim) 03 Clear Glass Lens* *(Not available for Warm Dim) 05 Frosted Glass Lens 09 Ultra Violet Lens 11 Shatterproof Soft Focus Lens 12 Shatterproof Frosted Lens 26 Frosted Linear Spread Lens* *(Not available for wet location)	F Flange Overlay (No Applique) G Zero Sightline Gypsum (1/16" Applique)* *(Not available for wet location) P Zero Sightline Plaster (1/8" Applique)* *(Not available for wet location)

[WH] White Powder Coat	[BK] Black Powder Coat	[AU] Cashmere Gold Powder Coat	[AG] Satin Silver Powder Coat	[AB] Architectural Bronze Powder Coat	[BB] Burnt Bronze Powder Coat	[SS] Stainless Steel	[IG] Industrial Gray	[PB] Polished Bronze	[MB] Matte Bronze	[CH] Chrome

PART NUMBER NOTES

- Trims ships as e.g., 2RA1-WH-80CA16L1-2HB1-L2304
- Housing ships as e.g., NCL-2RF-1-LED-01
- Drivers ship with trim
- Remote drivers ship with trim as e.g., PS-RMT-80CA16L-1L23
- Appliqué ships with housing

Inspire V4 Outdoor Single Color

LED TAPE LIGHT



Fixture Type:

Part Number:

Project Name:



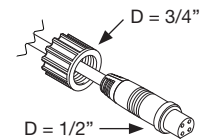
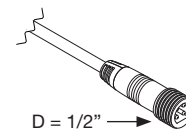
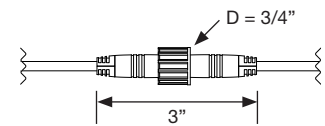
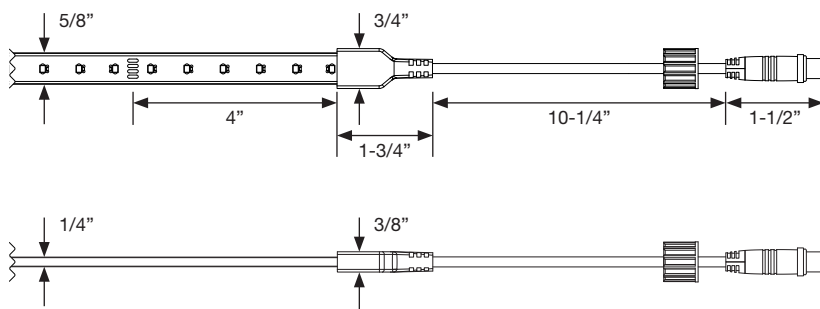
Female lead at end of LED tape light



LED tape light detail



Male lead at end of LED tape light



Specifications

Color Temperatures	<ul style="list-style-type: none">• 2700K• 3000K	CRI	94+
Lumen Output	up to 133 Lumens/FT	Mounting	Inspire V4 Outdoor Strip Channel (REQUIRED; must specify separately)
Input Power	24VDC	Dimensions (WxH)	5/8" x 1/4" (14.6mm x 5.5mm)
Max Run Length	25FT	Operating Temperature	-22°F to 140°F (-30°C to 60°C)
Cut Increments	every 4in	Lamp Life	50,000 Hours
Power Consumption	3.8 Watts/FT	Certifications	UL Listed (E467147)
Product Color	Black	Dimming & Control	<ul style="list-style-type: none">• 0-10V• MLV• ELV• Incandescent• CFL/LED
LEDs per Foot	18	Environment	IP67 Non-Submersible
Light Distribution	120°	Warranty	5 Year Limited
Compatible Connectors	Inspire V4 Outdoor Connectors		
Included Accessories	<ul style="list-style-type: none">• (1) 25FT Inspire V4 Outdoor Connector• End Caps		

Ordering

Color Temperature	Lumens/FT	Roll Length	Part Number
2700K	99	25FT	V4-OUT-27-SB-BLK-25
2700K	99	15FT	V4-OUT-27-SB-BLK-15
2700K	99	5FT	V4-OUT-27-SB-BLK-5
3000K	133	25FT	V4-OUT-30-SB-BLK-25
3000K	133	15FT	V4-OUT-30-SB-BLK-15
3000K	133	5FT	V4-OUT-30-SB-BLK-5



AGENDA ITEM 11
PLANNING & DEVELOPMENT
SERVICE PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Principal Planner

FOR: Design Review Board Public Hearing; May 5, 2022

DATE: April 25, 2022

RE: Staff Memo – Final Architecture Review (FAR) Lot 167, Unit 5, 162 San Joaquin Rd.

APPLICATION OVERVIEW: New Single-Family Home on Lot 167, Unit 5

PROJECT GEOGRAPHY

Legal Description: AIRSPACE UNIT 5, MOUNTAIN VIEW ESTATES, TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, ACCORDING TO THE MAP RECORDED NOVEMBER 28, 2005.

Address: 162 San Joaquin Road, Unit 5

Applicant/Agent: Kristine Perpar, Shift Architects

Owner: CHALETS MVE, LLC

Zoning: Multi-family

Existing Use: Vacant

Proposed Use: Detached Condominium

Lot Size: 7,368 square feet

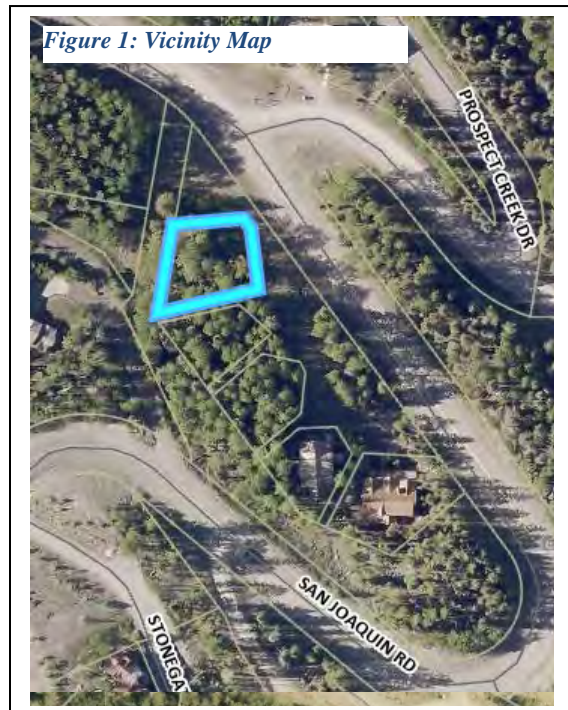
Adjacent Land Uses:

- **North:** Multi-family
- **South:** Multi-family
- **East:** Open Space
- **West:** Open Space

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment



Case Summary: Kristine Perpar of Shift Architectures, Applicant for Lot 167, Unit 5 is requesting Design Review Board (DRB) approval of a Final Architecture Review (FAR) Application for a new single-family home on Lot 167, Unit 5, 162 San Joaquin Rd. The Unit is approximately 7,968 s.f. and is zoned Multi-family. The overall square footage of the home is approximately 3,855 gross square feet and provides 1 interior parking space within the proposed garage and 1 exterior parking space.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) / 40' (gable) Max	39.9'
Maximum Avg. Building Height	30' (shed) / 35' (gable) Max	28.74'
Maximum Lot Coverage	1684 s.f.	1684 s.f.
General Easement Setbacks	No encroachment	Grading/ Retaining Wall
Roof Pitch		
Primary		9:12 / 7:12
Secondary		8:12 / 6:12 / 2:12
Exterior Material		
Stone	35% minimum	40%
Windows/Doors	40% maximum	21%
Parking	2 Parking Spaces	1/1

Design variations:

- 1) Tandem Parking
- 2) Road and Driveway Standards

DRB Specific Approval:

- 1) GE Encroachment

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated March 16, 2022, from the May 31, 2022, Public Hearing.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: The application meets all height requirements.

17.3.14: General Easement Setbacks

The perimeter of Lot 167 is surrounded by the typical 16-foot wide General Easement (GE). Each condominium land unit is also separated by a 10-foot wide HOA GE that permits for minor necessary encroachments. The HOA GE could allow for some improvements such as retaining walls or other limited common elements (LCE) or general common elements (GCE) associated with the construction of this home or other homes on Lot 167. At initial review, the applicant had proposed a dry stack landscaping wall to the rear of the home within a Town GE. The applicant has since revised their plans to remove this wall in its entirety. Otherwise, the DRB expressed general comfort with the proposed GE encroachments for the firetruck turn around and the landscaping wall within the HOA GE.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: The application meets all Town Design Theme requirements.

17.5.5: Building Siting Design

Staff: The application meets all Building Siting Design requirements.

17.5.6: Building Design

Staff: The application meets all Building Design requirements.

17.5.7: Grading and Drainage Design

Staff: The application meets the Grading and Drainage Design requirements, but it should also be noted that the creation of the new retaining wall associated with the fire-truck turnaround will require grading in the GE between San Joaquin Road and Lot 167. It will be important to understand if this will require grading to occur within Town ROW and if so, this will need to be addressed as part of final review with a proposal to return those disturbed areas to their previously undisturbed condition.

17.5.8: Parking Regulations

Staff: The CDC requires all single-family common interest developments to provide a total of two parking spaces. The applicant has shown a total of 1 interior space and 1 exterior space that meet the required sizes of 9' x 18'. The spaces are configured in tandem, therefore the vehicle parked in the exterior space will need to be moved for the other vehicle to pull out of the garage. Tandem parking can be allowed on lots of less than .75 acres where non-tandem parking is not feasible due to unique site conditions. DRB will have to determine if this condition is met to allow for the tandem parking request. Additionally, due to the constraints on the unit, the applicant is not meeting the CDC requirements of the Parking Area Design Standards, Garage Back-Out, which requires garages that are designed to have cars backing out have a minimum of 25 feet of backup space.

17.5.9: Landscaping Regulations

Staff: The applicant has revised their landscaping plan to now comply with the Landscaping regulations and is no longer requesting a design variation for this item.

17.5.11: Utilities

Staff: All utilities were stubbed in during the initial development but need to be field verified. The Public Works Director has requested that the applicant shall work to field verify all other utilities before the issuance of a building permit.

17.5.12: Lighting Regulations

Staff: Generally speaking, the applicant has met the Lighting Regulation requirements. It is unclear to staff if the proposed hot tub is to include lighting as currently it does not show any proposed lighting in that area. Staff recommends the DRB discuss this item and determine if additional information is necessary.

17.5.13: Sign Regulations

Staff: The application meets all Sign Regulations requirements.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: The application meets all Environmental Regulations requirements.

17.6.6: Roads and Driveway Standards

Staff: The application meets the Road and Driveway Standards requirements. Additionally, the DRB at initial review discussed the proposed fire-truck turnaround and determined that it was necessary as part of the overall development and expressed general comfort with the proposal. The applicant should note that there are specific revegetation requirements for Town Right-of-Way.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include a fireplace and in the instance that the fireplace is to run on solid fuel, a fireplace permit shall be provide prior to issuance of building permit.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan addressed the requirements of the CDC but it should again be noted that any disturbance within the Town Right-of-Way associated with the construction of the fire-truck turn around are required to be revegetated within a limited timeline. Based on the plan, the turnaround will need to be constructed prior to the construction of the home.

Staff Recommendation: Staff recommends the DRB approve the Final Architecture Review for Lot 167, Unit 5, 162 San Joaquin Rd. based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new detached condominium located at Lot 167, Unit 5, based on the evidence provided within the Staff Report of record dated April 25, 2022, with the following design variations and specific approvals:

Design variations:

- 1) Tandem Parking
- 2) Road and Driveway Standards

DRB Specific Approval:

- 1) GE encroachments

And, with the following conditions:

- 1) Prior to the issuance of a Building Permit, the applicant shall provide a Town Right-of-Way revegetation plan and erosion control plan for any areas of town ROW to be disturbed as part of the project.

- 2) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 3) Prior to issuance of CO, all disturbances in the GE caused by construction will be re-graded and re-vegetated to its pre-disturbed condition.
- 4) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 5) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 6) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 7) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 8) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/JM

Date: January 8, 2022
By: Kristine Perpar, Architect

Property address:

162 San Joaquin; Unit 4
Telluride, CO 81435

Sent to: MV DRB

Re: Development of a Single Family Condominium

Dear Mountain Village Design Review Board,

The proposed home for Unit 5; Mountain View Estates was designed to capture the views of the San Sofia Ridge, sensitivity to the site and neighbors and the existing topography.

Unit 5 is currently vacant of structures and covered with trees. The building site has a constant slope down towards the north.

The driveway is situated on the eastern part of the lot connecting to existing drive for the entire development.

Exterior elevations, plans and roof are simple in form. Roofs are all gabled / Shed roofs at a 2:12 and 6:12 pitch with the main gable at 7:12 and 8:12 pitch. Exterior materials; stone, metal and wood accents were selected for their sensitivity to the environment, neighboring properties and for durability.

The proposed landscape plan is simple. Aspen/ Spruce trees to be planted on either side and the rear of the structure.

Sincerely,



Kristine Perpar



CONTRACT DOCUMENTS:
CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEMENTS OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.

ZONING	RESIDENTIAL CONDOMINIUM
SUBDIVISION:	MOUNTAIN VIEW ESTATES
BUILDING CODE	IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE
DESIGN REQUIREMENTS:	AMENDED AND RESTATED DECLARATION OF COMMON INTEREST COMMUNITY IN ADDITION TO ALL REQUIREMENTS BY THE TOWN OF MOUNTAIN VILLAGE
DESCRIPTION	MULTI-STORY DWELLING
AUTOMATIC FIRE SPRINKLER	N/A PER NFPA - SPRINKLED OVER 3,600 SF
FIRE RESISTIVE RATING	GARAGE - 1 HR MECHANICAL - 1 HR

MAX RESIDENCE SQUARE FOOTAGE:		MAX BUILDING HEIGHT:	
ALLOWABLE	5,052 SF	ALLOWABLE	40'-0" (35'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
PROPOSED RESIDENCE FLOOR AREA:		PROPOSED	39.9'
LOWER LEVEL	869.56 SF	MAX AVERAGE HEIGHT:	
GROUND LEVEL	1,375.52 SF	ALLOWABLE	35'-0" (30'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1)
UPPER LEVEL	1,127.39 SF	PROPOSED	28.74'
TOTAL FLOOR AREA:	<u>3,372.47 SF</u>		
GARAGE	483.11 SF		
TOTAL:	<u>3,855.58 SF</u>	PARKING REQUIRED:	2 SPACES PROVIDED (2 REQUIRED) (1 ENCLOSED IN GARAGE) (1 SURFACE SPACE)
RESIDENCE BUILDING FOOTPRINT:			
ALLOWABLE	1,684 SF		
PROPOSED	1,352.67 SF		
SEE SHEET A2.1 FOR MAXIMUM BUILDING HEIGHT CALCULATION			

GENERAL	
G1.0	COVER SHEET
G1.1	ABBREVIATIONS AND LEGENDS
CIVIL	
C1	NOTES
C2.1	GRADING AND DRAINAGE PLAN
C3	UTILITY PLAN
C4	CONSTRUCTION MITIGATION PLAN
SURVEY / MAPPING	
0	SURVEY
ARCHITECTURAL	
A1.1	ARCHITECTURAL SITE PLAN
A1.2	BUILDING SITE PLAN
A1.3	LANDSCAPE PLAN
A2.1	MAX BUILDING HEIGHT / RESIDENCE BUILDING FOOTPRINT CALCULATIONS
A2.2	MATERIAL CALCULATIONS
A3.1	FLOOR PLANS
A3.2	FLOOR PLANS
A3.3	FLOOR PLANS
A3.4	ROOF PLAN
A4.0	AXONS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A4.3	PRESENTATION ELEVATIONS
A8.1	DOOR SCHEDULE
A8.2	WINDOW SCHEDULE
LANDSCAPE ARCHITECTURE	
LTG1.1	LIGHTING PLAN
LTG1.2	LIGHTING PLAN

<u>OWNER:</u>	<u>SURVEYOR:</u>	<u>MECHANICAL:</u>
CHALET'S MVE LLC A CO LLC 3521 N 32ND TER HOLLYWOOD, FL 33021-2618	SAN JUAN SURVEYING CHRISTOPHER R. KENNEDY 102 SOCIETY DRIVE TELLURIDE, CO 81435 P. 970.728.1128 office@sanjuansurveying.net	HUGHES CONSULTING ENGINEERING, PA DIMITRI MERRILL, P.E. TELLURIDE, CO 81435 P. 970.239.1949 F. 785.842.2492 dimitri@hce-pa.com
<u>ARCHITECT:</u>	<u>CIVIL:</u>	<u>LANDSCAPING:</u>
SHIFT ARCHITECTS KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com	UNCOMPAGRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dbalode@msn.com	SHIFT ARCHITECTS KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
<u>GENERAL CONTRACTOR:</u>	<u>STRUCTURAL:</u>	
HOINS CONSTRUCTION BILL HOINS 137 SOCIETY DRIVE TELLURIDE, CO 81435 P. 970.728.9371 hoinsoffice@gmail.com	TELLURIDE ENGINEERING JACK GARDNER, P.E. PO BOX 4045 TELLURIDE, CO 81435 P. 970.728.5440 jgardner.pe@gmail.com	

ARCHITECTS

P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
04.18.22 DRB FINAL REVIEW

REVISIONS		
NO.	DATE	DESC

1627 SAN JOAQUIN RD 5, MOUNTAIN VILLAGE, CO 81435
UNIT 5 MOUNTAIN VIEW ESTATES T1W/ SMC1 IN ACC WITH AND SUBJECT TO THE REVISION TO MASTER PLAN FOR MOUNTAIN VIEW ESTATES LOT 16TR
COMMUNITY REC 08 28 03 IN PL 1 PG 3180 AS AMEND BY THE MAP REC 11 28 05 IN PL 1 PG 3573 RECP 379792 AND THE DEC OF COMMON INTEREST
COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11 28 05 RECP 379791 SMC0

MOUNTAIN VIEW ESTATES UNIT 5

COVER SHEET

SHEET NUMBER

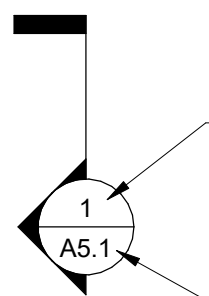




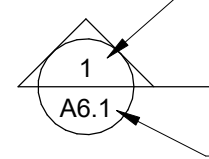


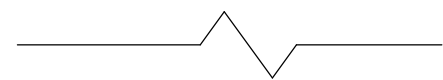
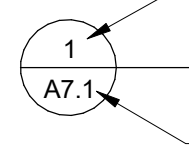
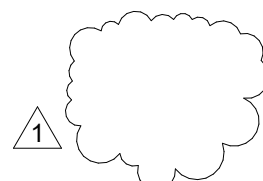
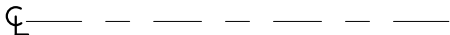
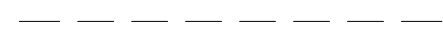
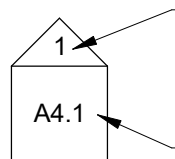
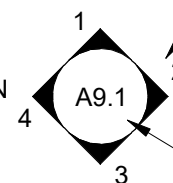
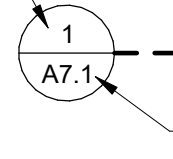
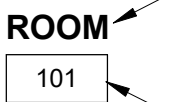
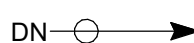
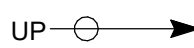
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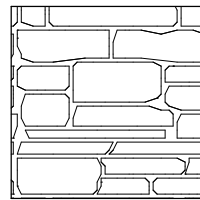

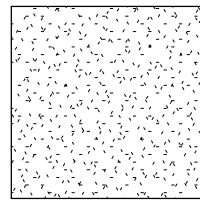
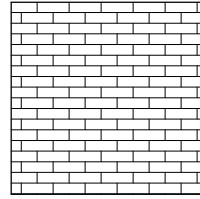
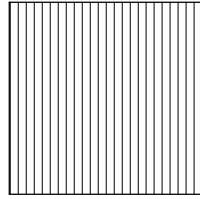
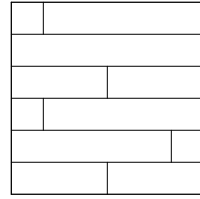
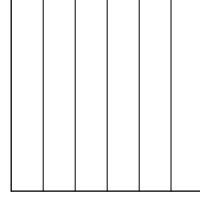
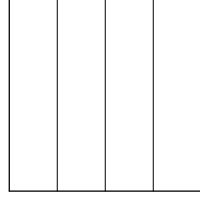
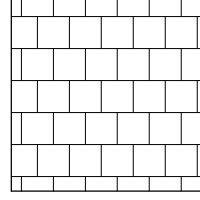
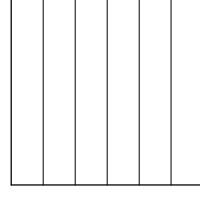
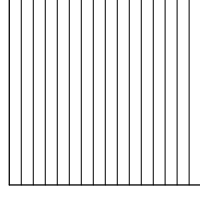
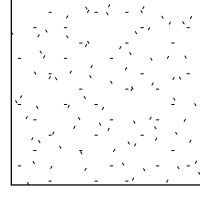
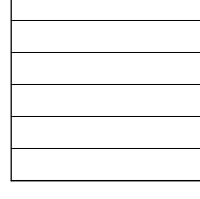
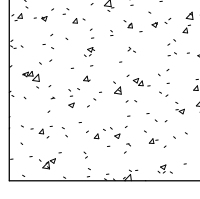
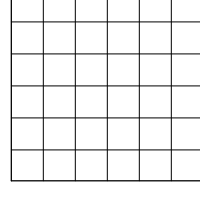
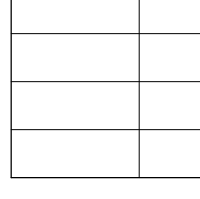
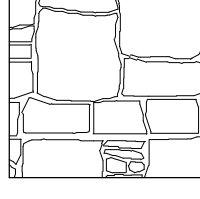
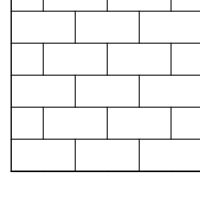
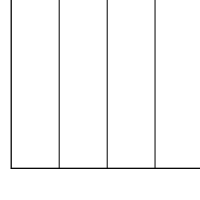
NOT FOR CONSTRUCTION

4/18/2022 8:45:00 AM

SYMBOL LEGEND

SECTION CUT		SECTION NO.	WINDOW MARK		WALL TYPE TAG	
		SHEET NO.	DOOR MARK		NORTH ARROW	
WALL SECTION		REFERENCE NO.	REFERENCE GRID LINE			
		SHEET NO.	FLOOR OR SPOT ELEVATION		BREAK LINE	
DETAIL CUT		REFERENCE NO.	DRAWING REVISION		CENTERLINE	
		SHEET NO.			HIDDEN LINE	
EXTERIOR ELEVATION		REFERENCE NO.	INTERIOR ELEVATION		DETAIL REFERENCE	
		SHEET NO.			REFERENCE NO.	
ROOM NAME		ROOM NAME	STAIR GOING DOWN		SHEET NO.	
		ROOM NO.	STAIR GOING UP			

MATERIAL LEGEND

	STONE VENEER		METAL HORIZONTAL PANEL SIDING		GYPSUM BOARD
	BRICK FACING		CORRUGATED METAL SIDING		WOOD FLOORING
	BARNWOOD SIDING		STANDING SEAM ROOFING		STONE TILE
	8" VERTICAL WOOD BOARDS; LAPPED		CORRUGATED METAL ROOFING		CARPET
	8" HORIZONTAL WOOD BOARDS		CONCRETE		CERAMIC TILE
	METAL PANEL SIDING		FLAGSTONE		
	METAL SHINGLE SIDING				
	METAL VERTICAL PANEL SIDING				

ABBREVIATIONS

AC	Acres
AFF	Above Finished Floor
AGG	Aggregate
AL	Aluminum
BM	Bench Mark
BSN	Basin
BTH	Bath
CL	Centre Line
CJ	Control Join
CLST	Closet
CP	Carpet
CT	Ceramic Tile
DIA	Diameter
DP	Downpipe
DW	Dishwasher
EX	Existing
FF	Finished Floor
FHR	Fire Hose Reel
FP	Flue Pipe
GAL	Galvanized
GL	Ground Line
GFI	Ground Fault Circuit Interrupter
GPO	General Power Outlet
IBC	International Building Code
MDF	Medium Density Fibreboard
MR	Metal Roofing
MSB	Main Switch Board
NTS	Not To Scale
PFC	Parallel Flanged Steel Channel
PL	Plastic Laminata
PT	Paint
RC	Reinforced Concrete
REF	Refrigerator
RL	Reduced Level
S	Sanitary Drainage Pipe
SHR	Shower
SK	Sink
SN	Stone
SS	Stainless Steel
ST	S Trap
STF	Steel Trowel Finished Concrete
SW	Stormwater Drainage Line
T&G	Tongue and Grooved
TO	Top Of
TPH	Toilet Paper Holder
TR	Tiled Roofing
TSF	Timber Strip Floor
Typ	Typical
U	Urinal
UOS	Unless Otherwise Specified
V	Valley
VIF	Verify In Field
VP	Vent Pipe
WC	Water Closet (Toilet)
WM	Washing Machine
WPM	Water Proof Membrane

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO ITS COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. THE CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

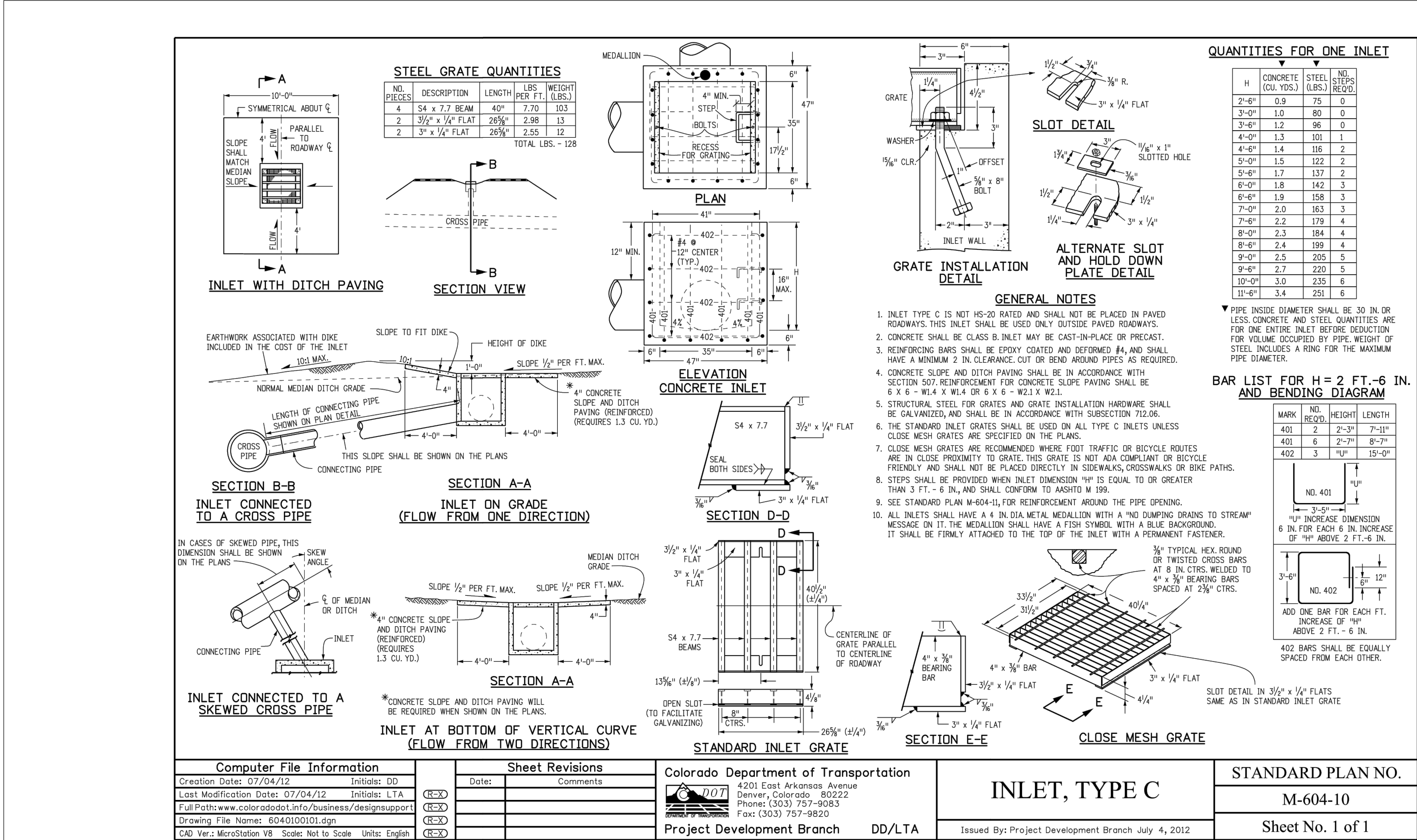
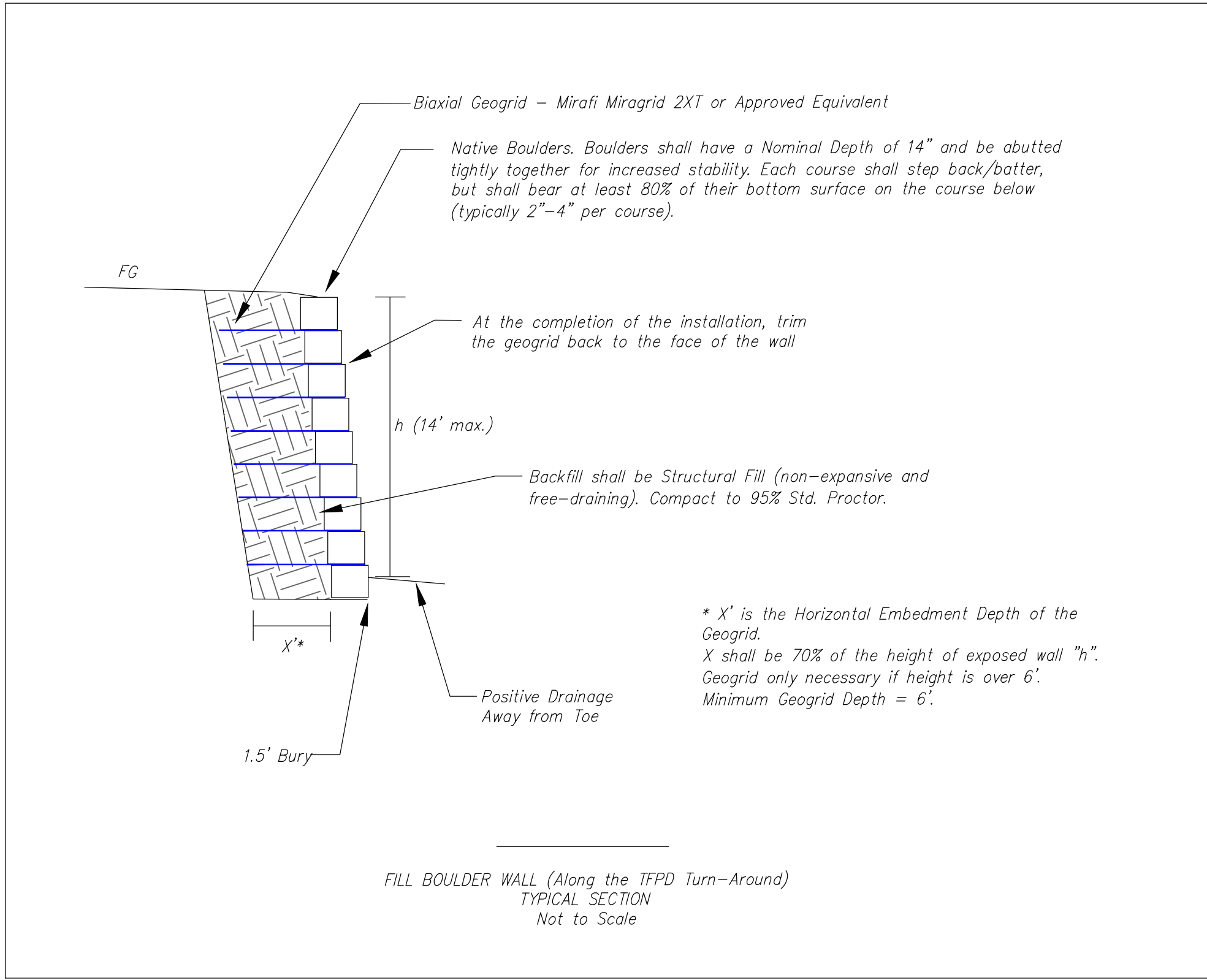
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

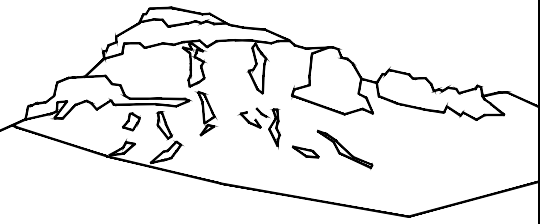
24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Inlets - South of Unit 4 Driveway and at the Sag in Main Access Driveway



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB Submittal 2022-01-03
DRB Submittal 2022-04-18

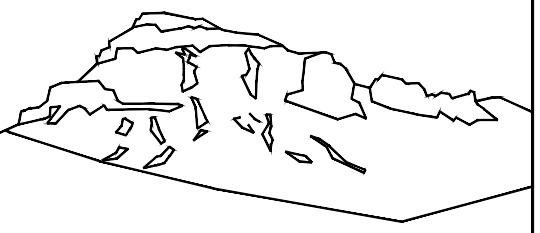
162 San Joaquin
Unit 5
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes
and
Details

C1



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB Submittal 2022-01-03
DRB Submittal 2022-04-18

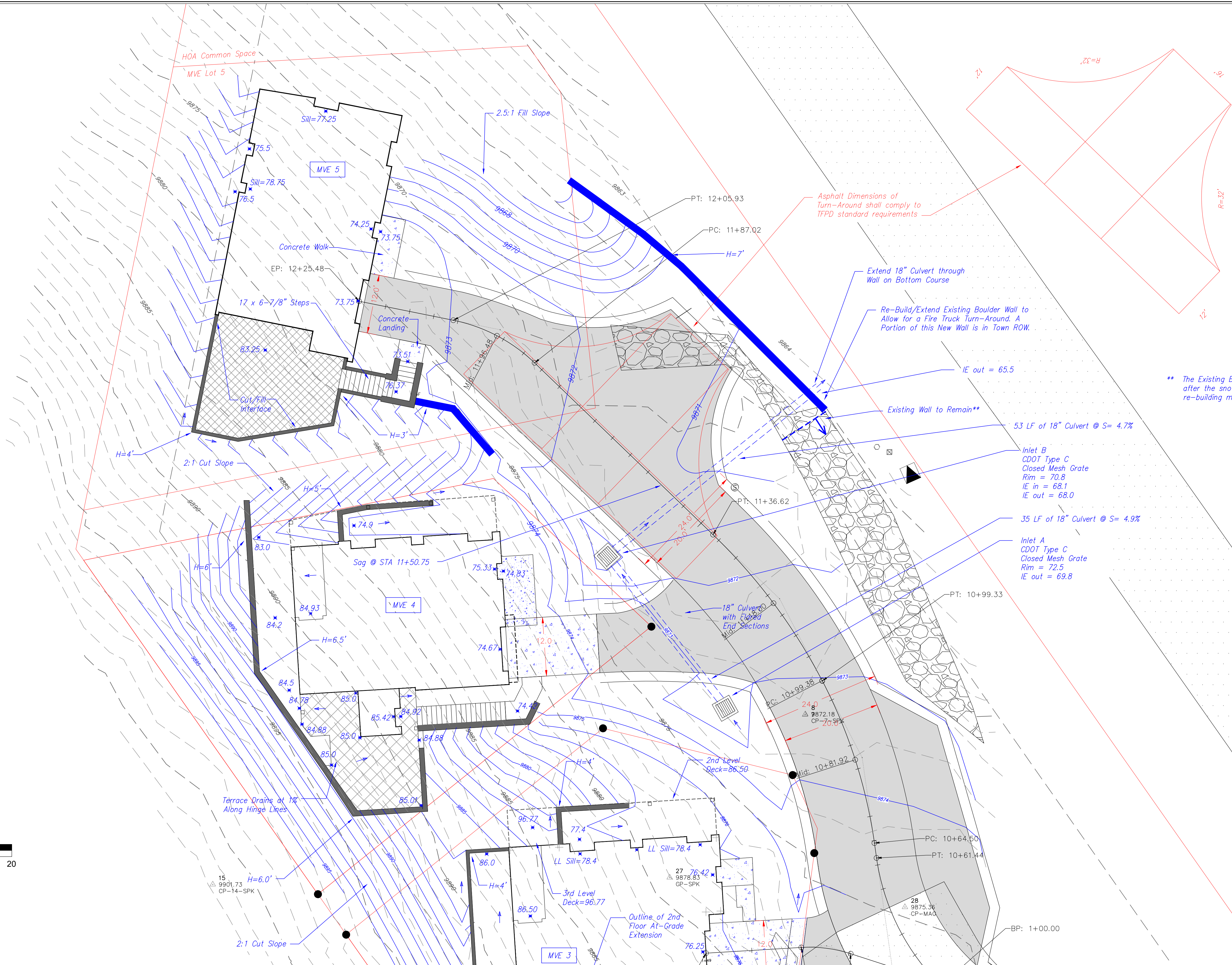
162 San Joaquin
Unit 5
Mtn. Village, CO



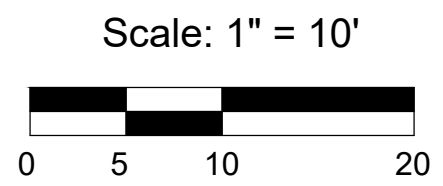
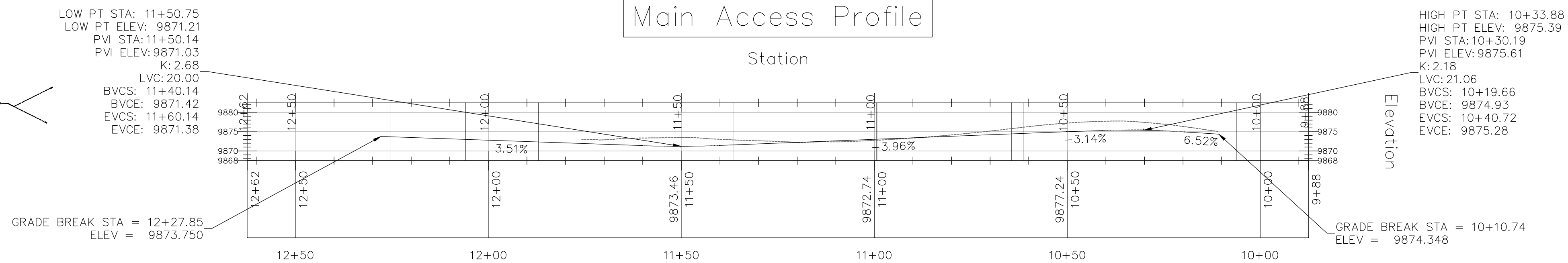
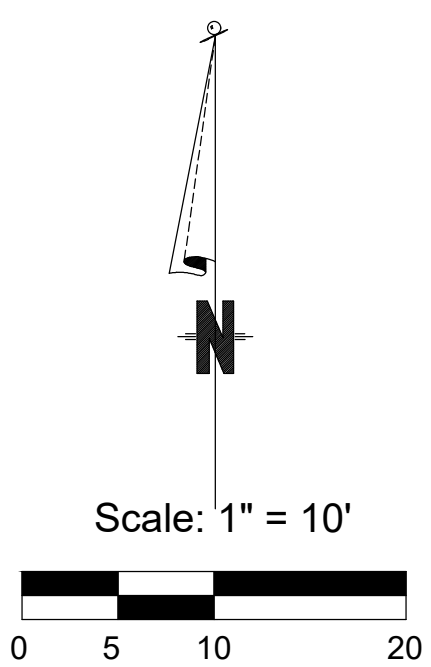
CONTRACTOR TO REVIEW AND COMPARE ALL
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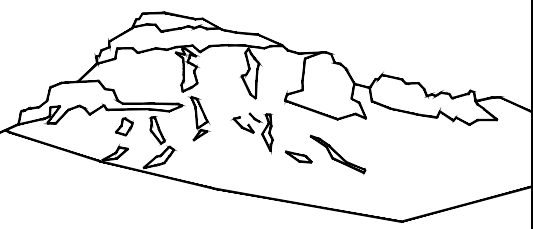
MVE 5
Grading
and
Drainage

C2.1



** The Existing Boulder Wall to be evaluated
after the snow is gone. The limits of
re-building may need to be extended.





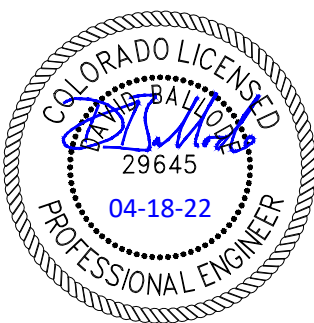
Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

DRB Submittal	2022-01-03
DRB Submittal	2022-04-18

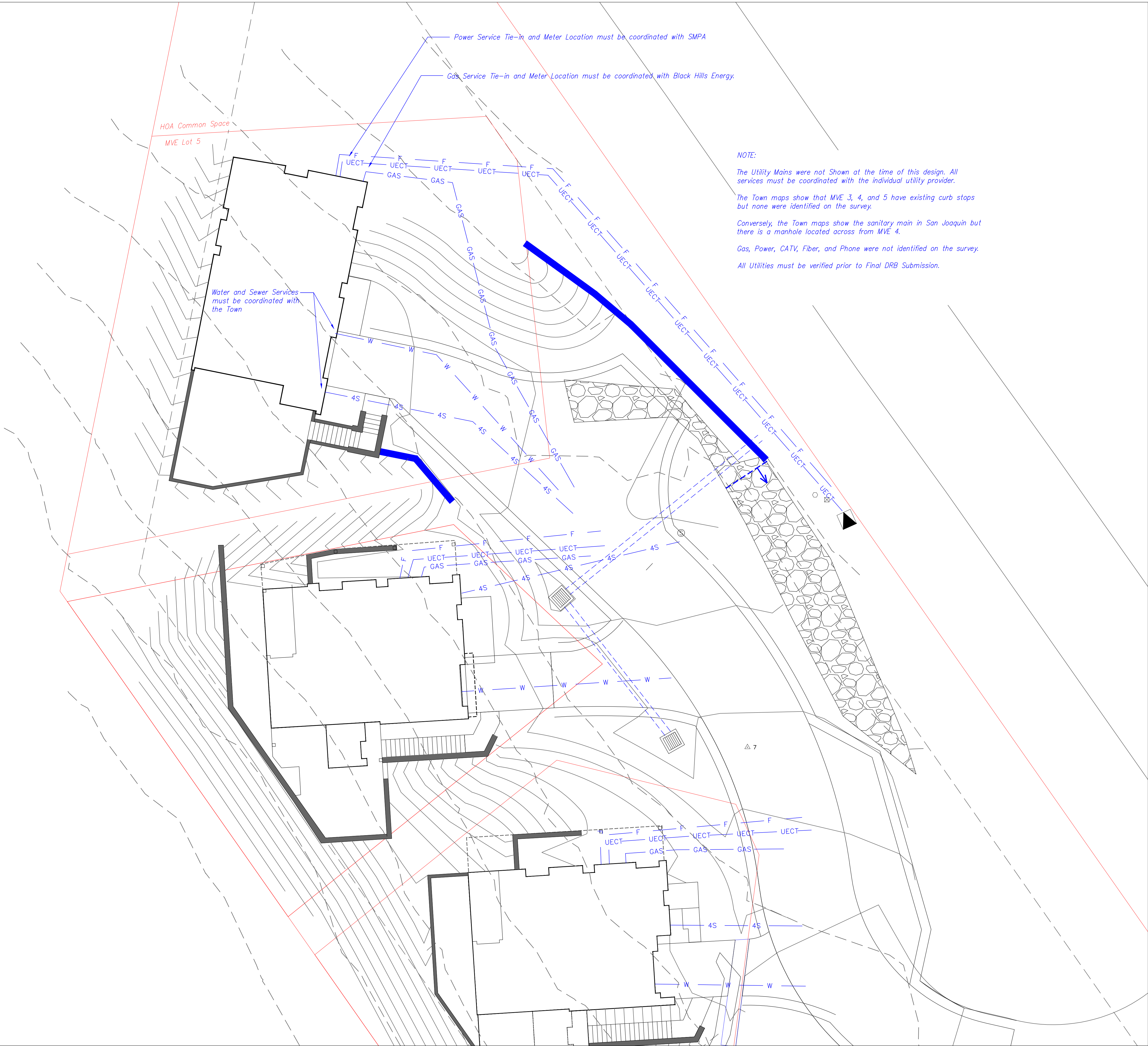
162 San Joaquin
Unit 5
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
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Utilities

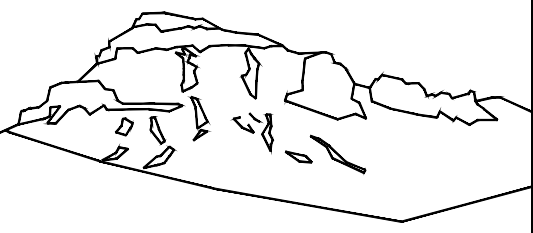
C3



NOTE:
The Utility Mains were not Shown at the time of this design. All services must be coordinated with the individual utility provider.
The Town maps show that MVE 3, 4, and 5 have existing curb stops but none were identified on the survey.
Conversely, the Town maps show the sanitary main in San Joaquin but there is a manhole located across from MVE 4.
Gas, Power, CATV, Fiber, and Phone were not identified on the survey.
All Utilities must be verified prior to Final DRB Submission.

Scale: 1" = 10'





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB Submittal 2022-01-03
DRB Submittal 2022-04-18

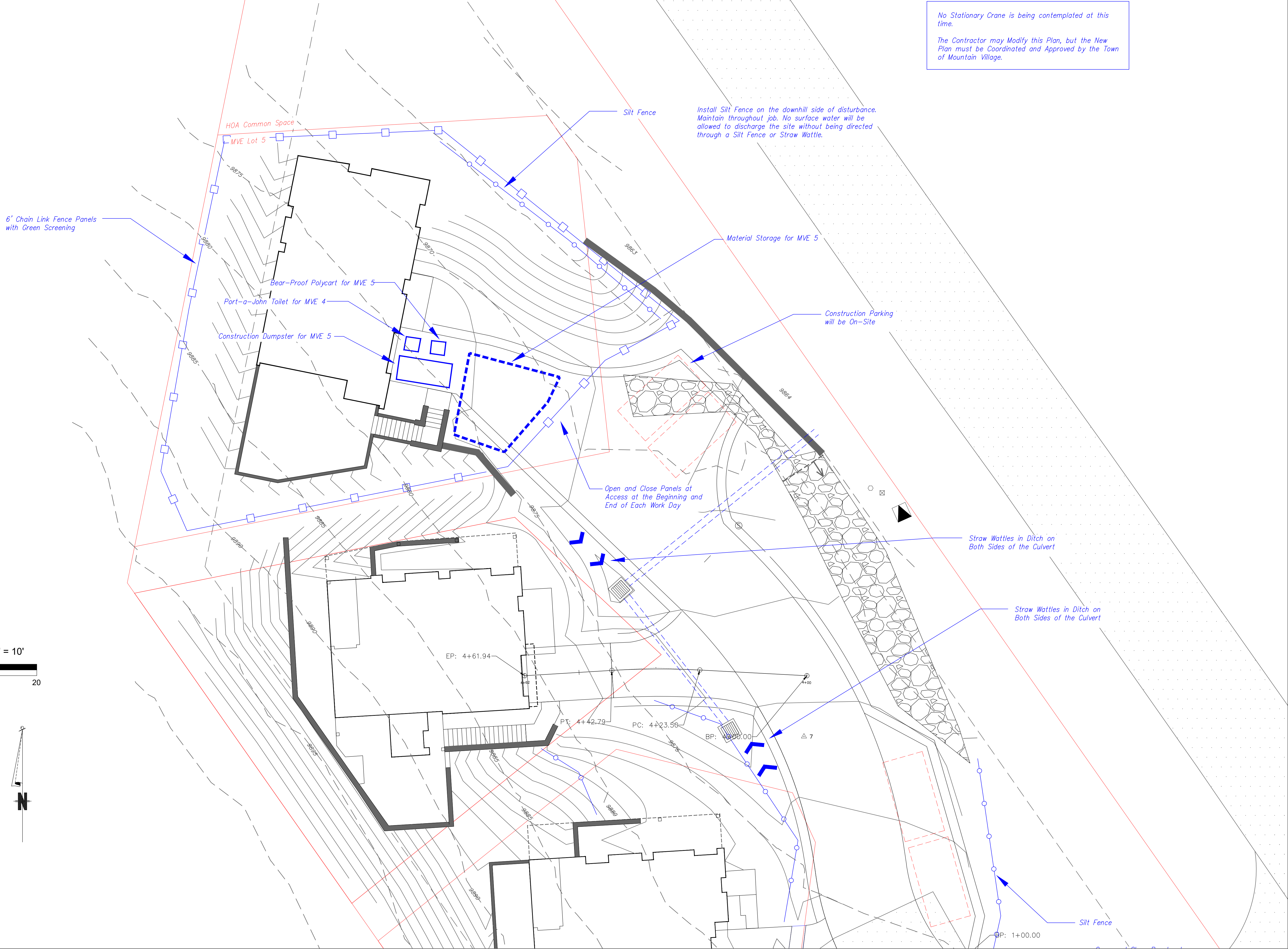
162 San Joaquin
Units 3 and 4
Mtn. Village, CO



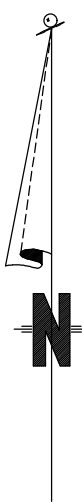
CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction
Mitigation
Plan

C4



Scale: 1" = 10'

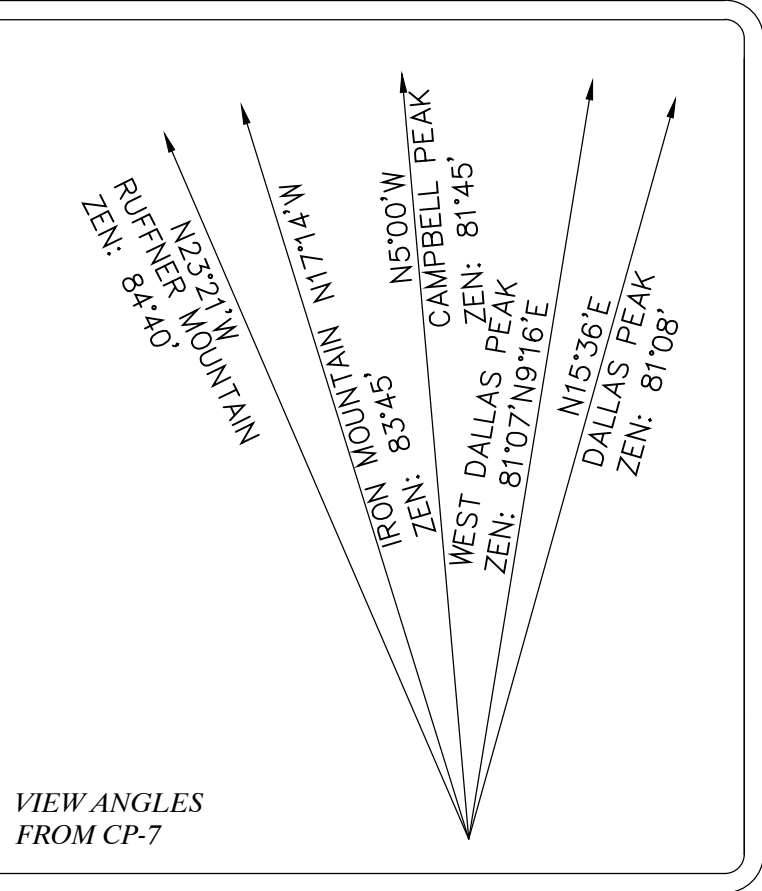


LEGEND

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 20632
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 24963
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
- SET 18" LONG #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
- PVC SEWER CLEAN OUT
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- ELECTRIC TRANSFORMER
- #A ASPEN TREE, NUMBER INDICATES CALIPER
- #S SPRUCE TREE, NUMBER INDICATES CALIPER
- #F FIR TREE, NUMBER INDICATES CALIPER

CURVE TABLE

CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	17.45	195.00	5°07'38"	S37°12'13"E	17.44
(C1)	17.50	195.00	5°08'31"	S37°34'45"E	17.49



NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

- According to Flood Insurance Rate Map: 08113C0287 D, map revised September 30, 1992, this parcel lies within Zone X (Areas determined to be outside the 500-year flood plain).
- Easement research from Land Title Guarantee Company, Policy No. OX86010075.2813587, Policy Date September 10, 2020 at 05:00 PM.
- Vertical datum is based on the set South corner of Unit 3, an Aluminum Cap Rebar, LS 36577, having an elevation of 9892.96 feet NAVD88, as depicted. Elevations were determined by a GPS Static observation, reduced by NGS Opus website.
- Lineal Units U.S. Survey Feet
- The use of this Improvement Survey Plat by any person or entity other than the person or entity certified to without the express permission of San Juan Surveying is prohibited.

PROPERTY DESCRIPTION:

Airspace Unit 5, Mountain View Estates, Town of Mountain Village, San Miguel County, according to the Map recorded November 28, 2005 in Plat Book 1 at page 3573, and as defined and described in the declaration of Common Interest Community of Mountain View Estates, recorded November 28, 2005 under Reception No. 379791 and as amended by instrument recorded December 5, 2018 under Reception No. 456332, and as amended by instrument recorded August 15, 2020 under Reception No. 464457

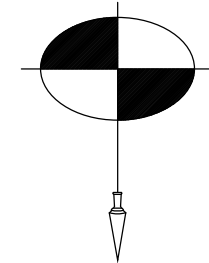
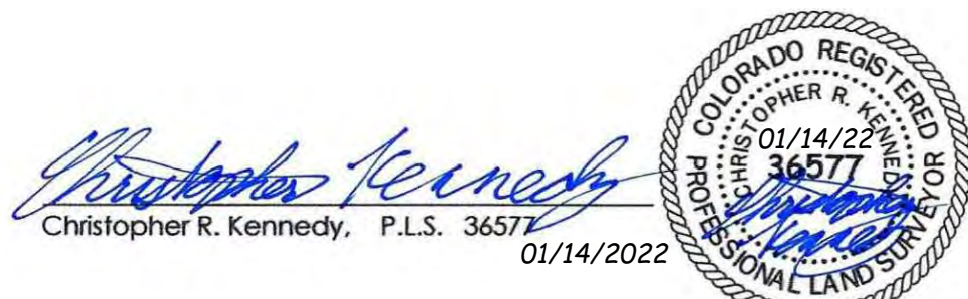
County of San Miguel,
State of Colorado

BASIS OF BEARINGS:

The Basis of Bearings for this Improvement Survey Plat was derived from the southwest line of Lot 167, according to the Condominium Plat recorded in Plat Book 1 at page 3573, said bearing being **N 35°01'58" W**, both being found monuments as depicted on this plat.

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Airspace Unit 5, Mountain View Estates, Town of Mountain Village, was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

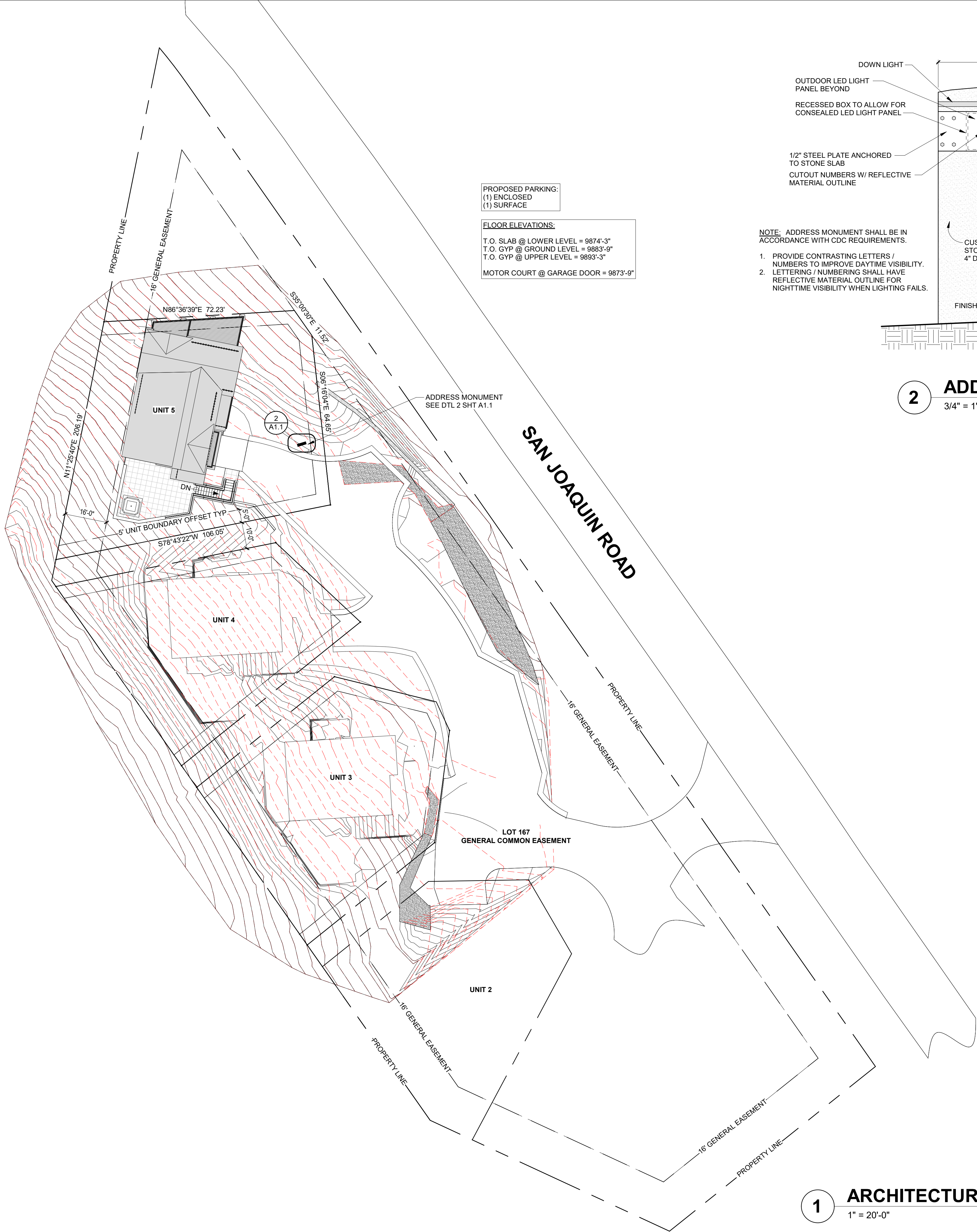


SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728 - 1128 (970) 728 - 9201 fax
office@sanjuansurveying.net

DATE:
JOB:	19028
DRAWN BY:	CRK
CHECKED BY:	SDH
REVISION DATES:	
SHEET:	1 OF 1

IMPROVEMENT SURVEY PLAT

AIRSPACE UNIT 5, MOUNTAIN VIEW ESTATES, TOWN OF MOUNTAIN VILLAGE



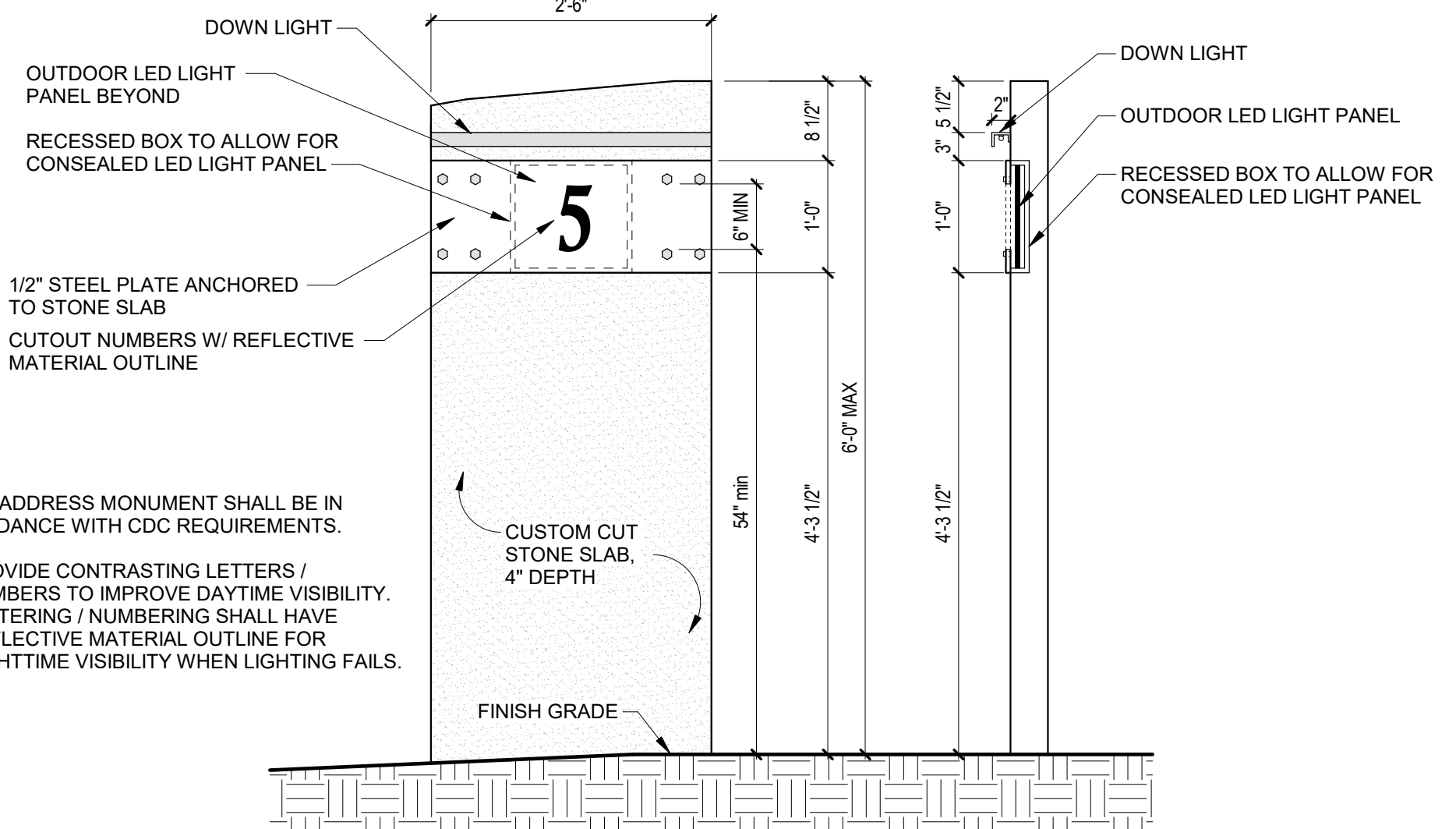
PROPOSED PARKING:
(1) ENCLOSED
(1) SURFACE

FLOOR ELEVATIONS:
T.O. SLAB @ LOWER LEVEL = 9874'-3"
T.O. GYP @ GROUND LEVEL = 9883'-9"
T.O. GYP @ UPPER LEVEL = 9893'-3"
MOTOR COURT @ GARAGE DOOR = 9873'-9"

ADDRESS MONUMENT
SEE DTL 2 SHT A1.1

SAN JOAQUIN ROAD

1 ARCHITECTURAL SITE PLAN
1" = 20'-0"



2 ADDRESS MONUMENT
3/4" = 1'-0"

SHIFT ARCHITECTS

P.O. Box 3206
100 W. Colorado Suite 211
Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
04.18.22 DRB FINAL REVIEW

REVISIONS		
NO.	DATE	DESC.

MOUNTAIN VIEW ESTATES UNIT 5

ARCHITECTURAL
SITE PLAN

SHEET NUMBER

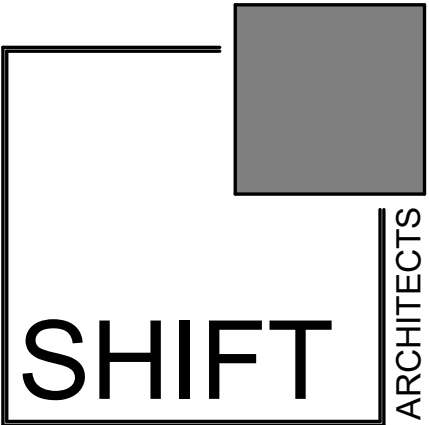
A1.1

4/19/2022 8:18:03 AM

162 SAN JOAQUIN RD 5, MOUNTAIN VILLAGE, CO 81435
UNIT 5 MOUNTAIN VIEW ESTATES TMY SMC0 IN ACC WITH AND SUBJECT TO THE REVISION TO MASTER PLAN FOR MOUNTAIN VIEW ESTATES LOT 167R
TMY REC 08/28/03 IN PL 1 PG 3180 AS AMEND BY THE MAP REC 11/28/05 IN PL 1 PG 3573 RECPT 379792 AND THE DEC OF COMMON INTEREST
COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11/28/05 RECPT 379791 SMC0

NOT FOR CONSTRUCTION

©shift architects



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Telluride, Colorado 81435
p 970-728-8145
kristine@shift-architects.com
www.shift-architects.com

PROJECT ISSUE DATE:
04.18.22 DRB FINAL REVIEW

REVISIONS			
NO.	DATE	DESC.	
1	04.05.22	Remove retaining wall	
2	04.05.22	Extend hot tub patio 6'-0"	

162 SAN JOAQUIN RD 5, MOUNTAIN VILLAGE, CO 81435
UNIT 5 MOUNTAIN VIEW ESTATES TMY SMCO IN ACC WITH AND SUBJECT TO THE REVISION TO MASTER PLAN FOR MOUNTAIN VIEW ESTATES LOT 167R
TMY REC 08 28 03 IN PL 1 PG 3180 AS AMEND BY THE MAP REC 11 28 05 IN PL 1 PG 3573 RECPT 379792 AND THE DEC OF COMMON INTEREST
COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11 28 05 RECPT 379791 SMCO

MOUNTAIN VIEW ESTATES UNIT 5

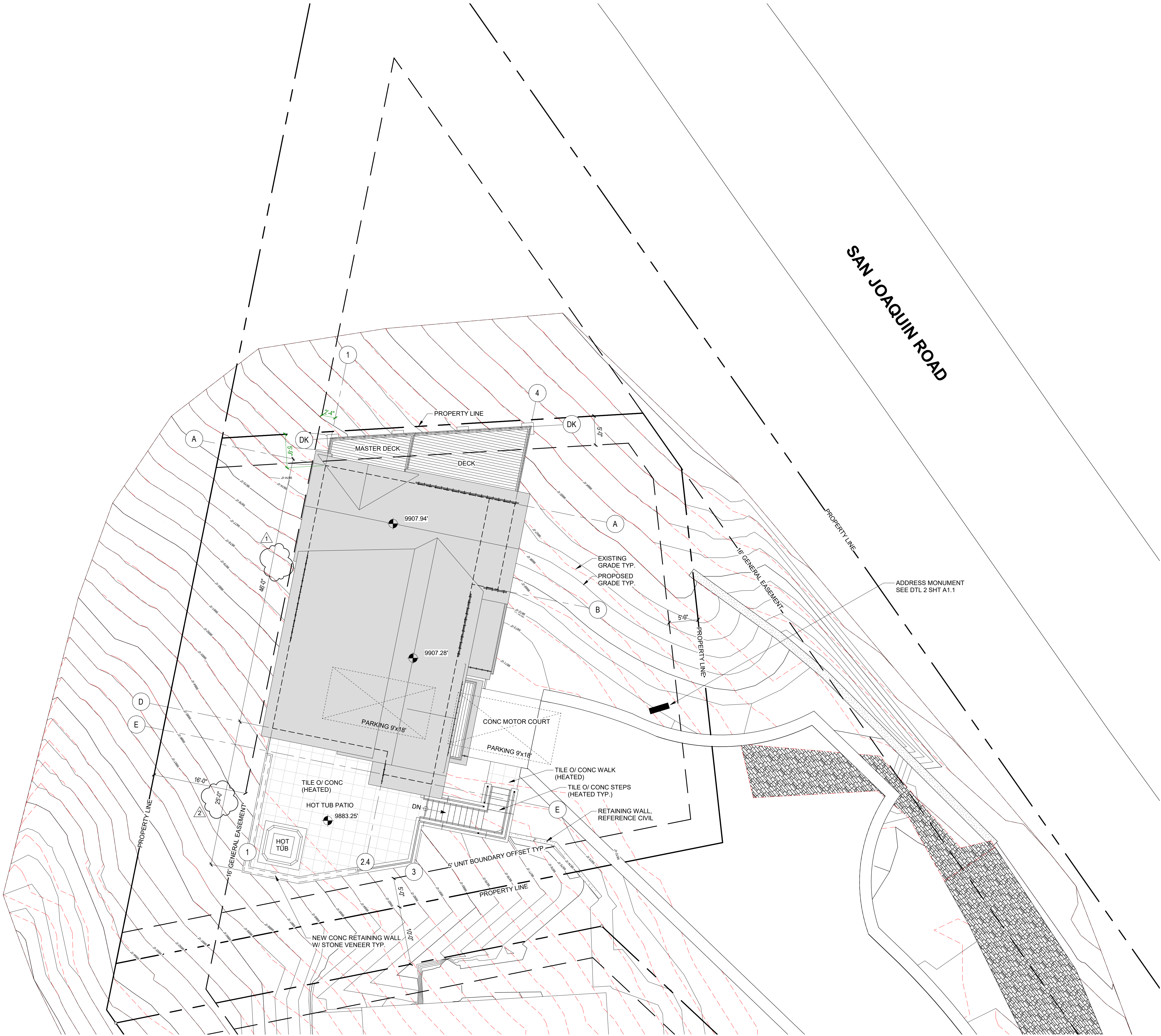
BUILDING SITE PLAN

SHEET NUMBER

A1.2

NOT FOR CONSTRUCTION

©shift architects



PROPOSED PARKING:

- (1) ENCLOSED
- (1) SURFACE

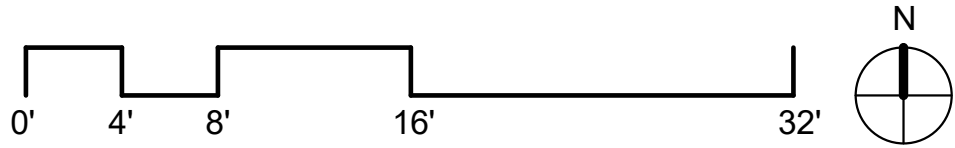
FLOOR ELEVATIONS:

T.O. SLAB @ LOWER LEVEL = 9874'-3"

T.O. GYP @ GROUND LEVEL = 9883'-0"

T.O. GYP @ UPPER LEVEL = 9893'-3"

MOTOR COURT @ GARAGE DOOR = 9873'-9"



ZONE 1:

REMOVE ALL SHRUBS, TREES, SLASH AND FLAMMABLE VEGETATION

ZONE 2:

10' CROWN TO CROWN SEPARATION, PRUNE BRANCHES TO A HEIGHT OF 10' FROM GROUND

ZONE 3:

REMOVE ALL DISEASED, DEAD OR DYING TREES

1. ALL DEVELOPMENT SHALL COMPLY WITH CDC 17.6.1 ENVIRONMENTAL REGULATIONS. ADDITIONAL TREE CLEARING WILL BE DONE PER FIRE MITIGATION REQUIREMENTS.

2. CONSISTANT WITH 2018 IRC SECTION R101.4.1 APPENDAGES AND PROJECTIONS: UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

3. CONTRACTOR TO SET UP A MEETING WITH TOWN FORESTER ON ZONE 2 REQUIREMENTS PRIOR TO C.O.

GENERAL NOTES:

1. ALL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER.

2. ALL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.

3. NECESSARY TREES SHALL BE STAKED WITH 4' METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.

4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.

5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.

6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.

7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.

8. LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

NOXIOUS WEEDS:

1. ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

LANDSCAPE MAINTENANCE NOTES:

1. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.

2. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.

3. ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.

4. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

REVEGETATION NOTES:

1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.

2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET.

3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.

4. AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.

5. BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.

6. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.

7. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.

8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES

PURE LIVE SEED PER ACRE

WESTERN YARROW

5%

TALL FESCUE

10%

ARIZONA FESCUE

5%

HARD FESCUE

5%

CREeping RED FESCUE

10%

ALPINE BLUEGRASS

15%

CANADA BLUEGRASS

10%

PERENNIAL RYEGRASS

15%

SLENDER WHEATGRASS

10%

MOUNTAIN BROME

15%

LEGEND

CONCRETE PAVERS

WILDFIRE MITIGATION BOUNDARY

LIMIT OF DISTURBANCE

METAL GATE TO MATCH FENCE

TREE PROTECTION FENCING

REVEGETATE W/ NATIVE GRASS

DISTURBED AREAS

MULCH LANDSCAPE BEDDING

PERENNIAL BEDDING

FLAGSTONE

STONE PAVER

SNOW MELT AREAS

INDIGENOUS SHRUBS

EXISTING ASPEN TREE

EXISTING ASPEN TREE TO BE REMOVED

NEW ASPEN TREE

EXISTING EVERGREEN TREE

EXISTING EVERGREEN TREE TO BE REMOVED

NEW EVERGREEN TREE

NOTE:

ALL EXISTING TREES TO BE PROTECTED THROUGHOUT CONSTRUCTION.

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
POPULUS TREMULOIDES	QUAKING ASPEN	3" CAL. DBH	5
PICEA PUNGENS	SPRUCE	8-10 FT IN HT W/ 30% 10 FT OR LARGER	4
PINUS ARTISTATA	BRISTLECONE PINE	5 GAL.	6
SHRUBS			N/A
PERENNIALS - BED A			68 SF

WATER USAGE CHART

TYPE	MONTHLY USE	TOTAL #	TOTAL MONTHLY USAGE
REVEGETATION	2 GAL / S.F.	3,145	6,290 (FIRST SEASON)
PERENNIALS	2.5 GAL / S.F.	68	170
ASPENS	10 GAL / EA	5	50
SPRUCE	10 GAL / EA	4	40
BRISTLECONE PINE	10 GAL / EA	6	60
NATIVE SHRUBS	2 GAL / EA	N/A	N/A
COMPLETE MONTHLY USAGE (FOR ESTABLISHMENT)			6,610 GAL
(POST ESTABLISHMENT)			320 GAL

IRRIGATION NOTES

1. TAP WITH RAINBIRD PVB-075 BACKFLOW PREVENTER.

2. RAINBIRD RCM-12 ELECTROMECHANICAL CONTROLLER.

3. 1.5" WILKINS MODEL 500 PRESSURE REGULATOR.

4. RAINBIRD 150-PEB 1.5" ELECTRIC REMOTE CONTROL VALVE.

5. CLASS 200 PVC MAINLINE 1 1/2".

6. 1" 80NSF POLYLATERAL LINE.

7. WATER SENSOR BY RAINBIRD.

IRRIGATION SCHEDULE

ZONE	LOCATION	HEAD	GPM
1	ASPEN TREES	DRIP EMITTERS	-
1	EVERGREEN TREES	DRIP EMITTERS	-
2	SHRUBS	DRIP EMITTERS	-
3	PERENNIALS SOUTH	1806 POP UPS	-
4	REVEGETATION AREAS	ROTORS	24

The main landscape plan depicts Unit 5, a large rectangular building footprint. Surrounding the building are various landscape features and infrastructure. To the north and east of the building, there are fire mitigation zones (ZONE 1 and ZONE 2) defined by dashed lines. Zone 1 includes a 15' fire mitigation line and a limit of construction. Zone 2 includes a 12' fire mitigation line and a limit of construction. Plantings are indicated by symbols: red circles for existing trees to be removed, green circles for new aspen trees, and green stars for new evergreen trees. There are also symbols for native grass, disturbed areas, mulch, and flagstone. The plan shows a concrete motor court, a concrete walk, and a tile or concrete heated area. A 16' general easement is shown to the west of the building. The plan also shows a 15' fire mitigation line and a limit of construction. The plan is oriented with San Joaquin Road to the east. The plan includes a north arrow and a scale bar.

1

LANDSCAPE PLAN

1/8" = 1'-0"

0'

4'

8'

16'

32'

N

SHIFT

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PROJECT ISSUE DATE:

04.18.22 DRB FINAL REVIEW

REVISIONS

NO.	DATE	DESC.
3	04.05.22	Revised landscape plan, added new bristlecone pine trees

MOUNTAIN VIEW ESTATES UNIT 5

162 SAN JOAQUIN RD 5, MOUNTAIN VILLAGE, CO 81435
UNIT 5 MOUNTAIN VIEW ESTATES TMY SMC IN ACC WITH AND SUBJECT TO THE REVISION TO MASTER PLAN FOR MOUNTAIN VIEW ESTATES LOT 167R
TMY REC 08 28 03 IN PL 1 PG 3180 AS AMEND BY THE MAP REC 11 28 05 IN PL 1 PG 3573 RECPT 37972 AND THE DEC OF COMMON INTEREST
COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11 28 05 RECPT 37979 SMC

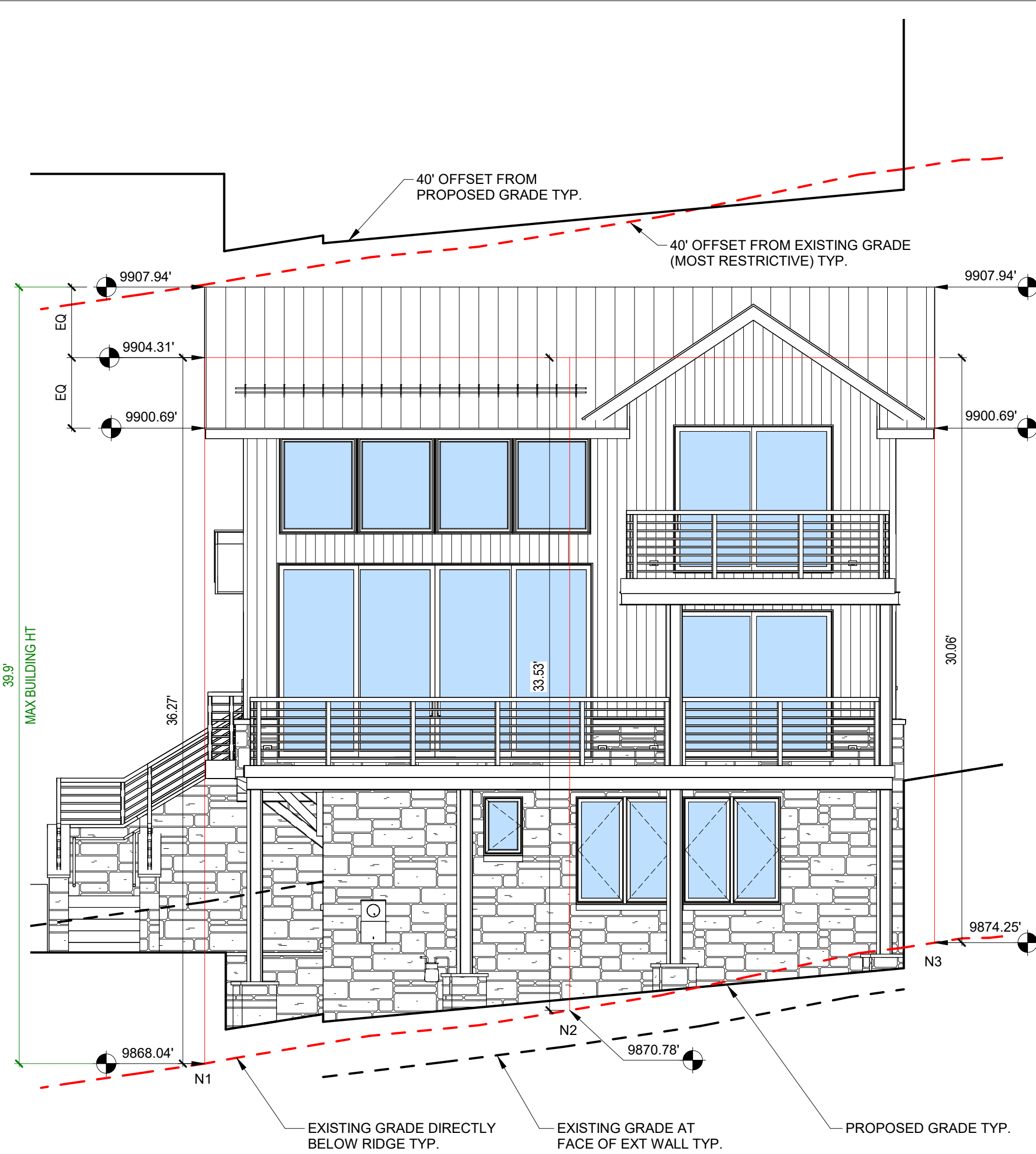
LANDSCAPE PLAN

SHEET NUMBER

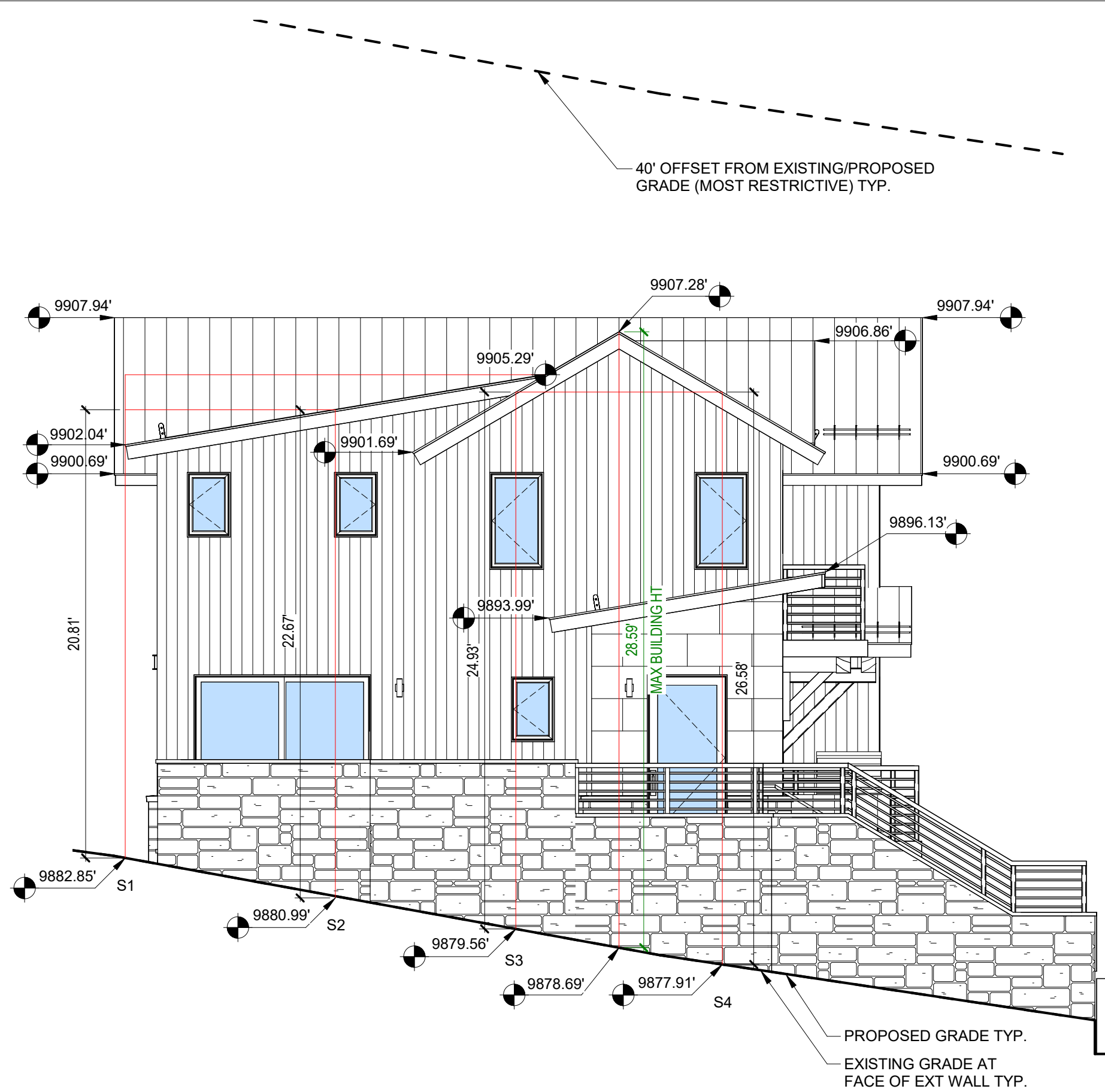
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A1.3

NOT FOR CONSTRUCTION



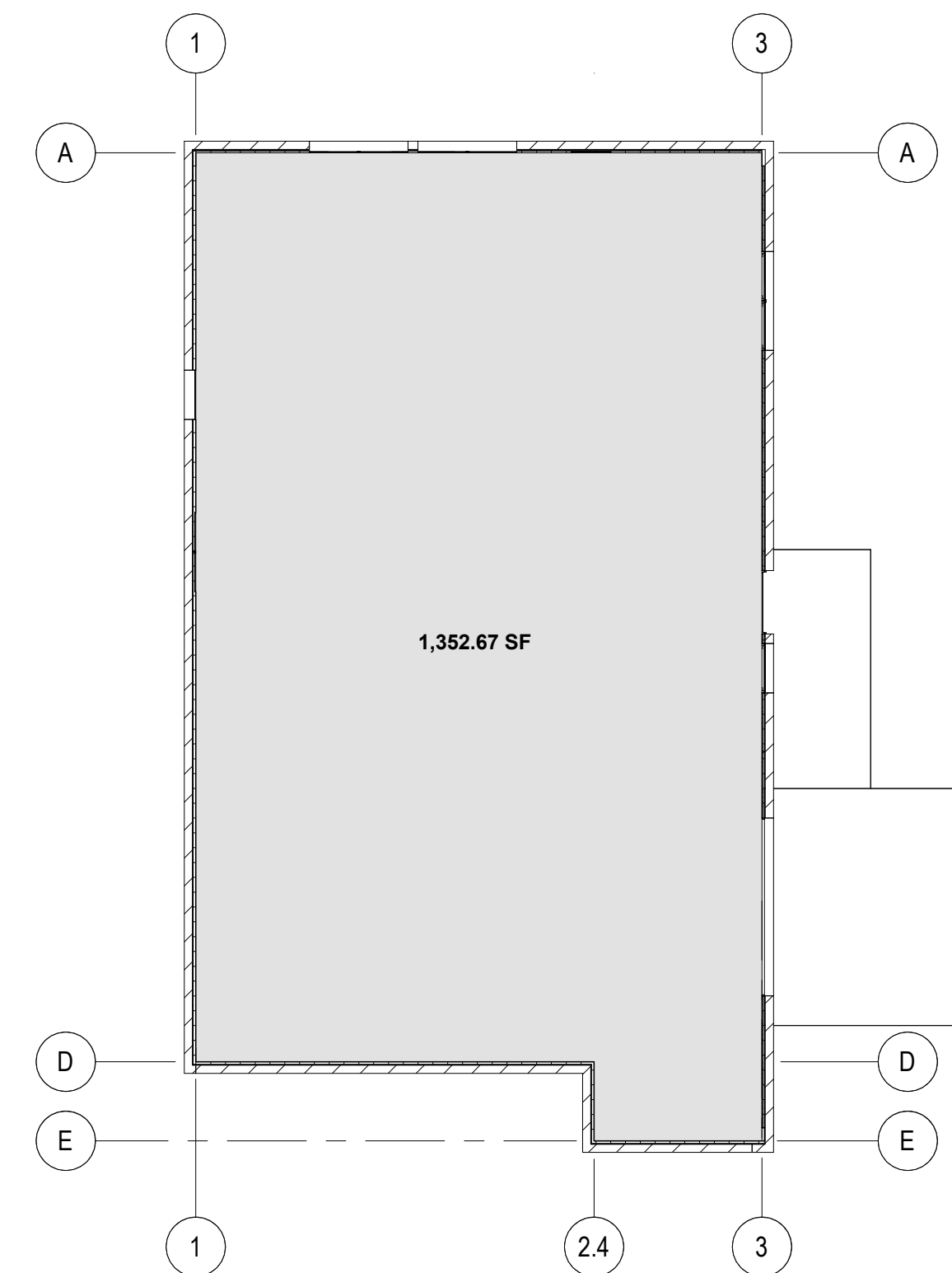
1 NORTH ELEVATION
3/16" = 1'-0"



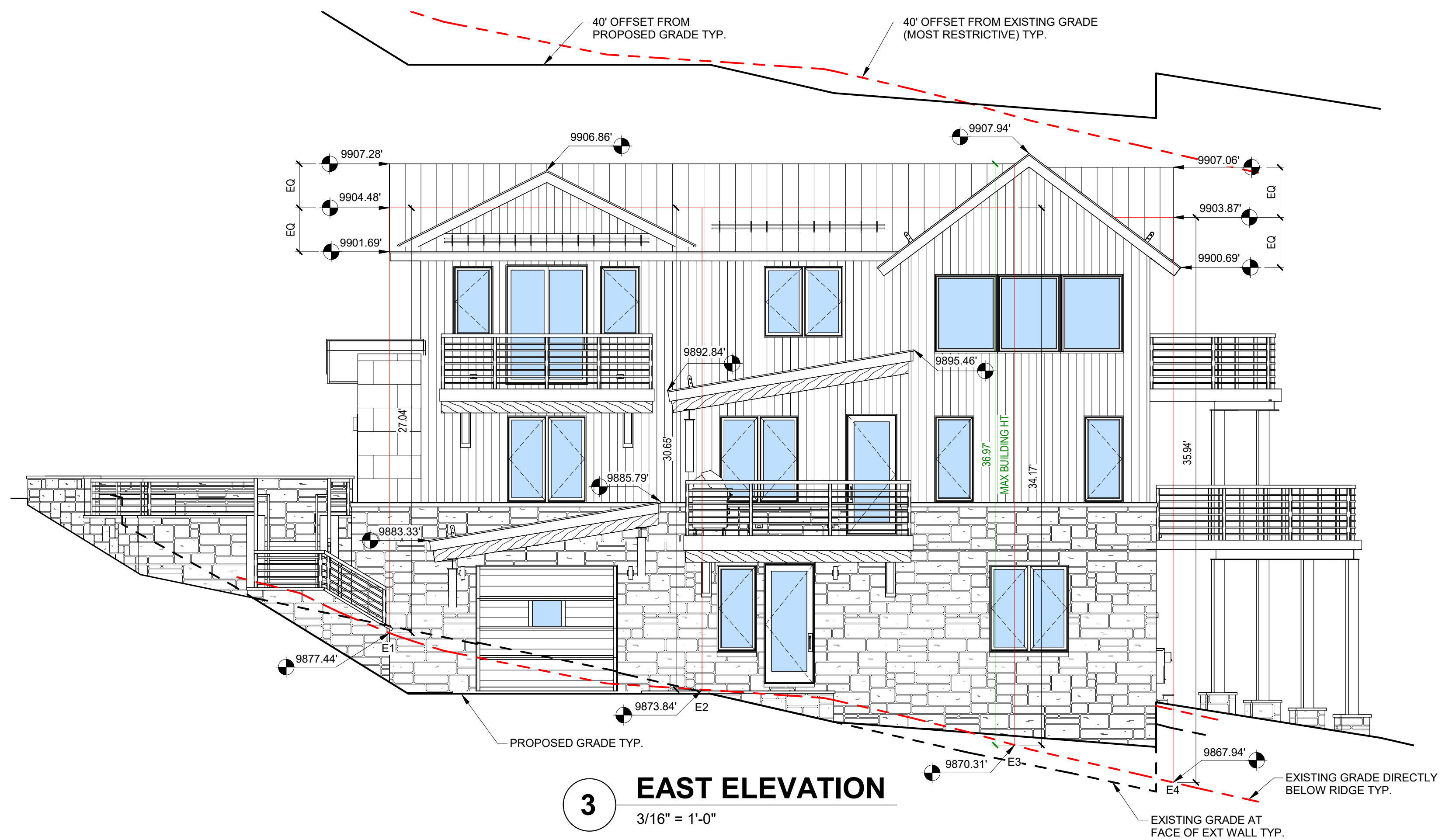
2 SOUTH ELEVATION
3/16" = 1'-0"

MAX BUILDING HT :			
HIGHEST POINT RELATIVE TO GRADE:		3RD HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: NORTH	39.9'	LOCATION: WEST	35.62'
MAX BUILDING HT ALLOWABLE	40.00'	MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9907.94'	ROOF HEIGHT	9907.06'
MOST RESTRICT. GRADE BELOW	9868.04'	MOST RESTRICT. GRADE BELOW	9871.44'
2ND HIGHEST POINT RELATIVE TO GRADE:		4TH HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: EAST	36.97'	LOCATION: SOUTH	28.59'
MAX BUILDING HT ALLOWABLE	40.00'	MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9907.06'	ROOF HEIGHT	9907.28'
MOST RESTRICT. GRADE BELOW	9870.31'	MOST RESTRICT. GRADE BELOW	9878.69'

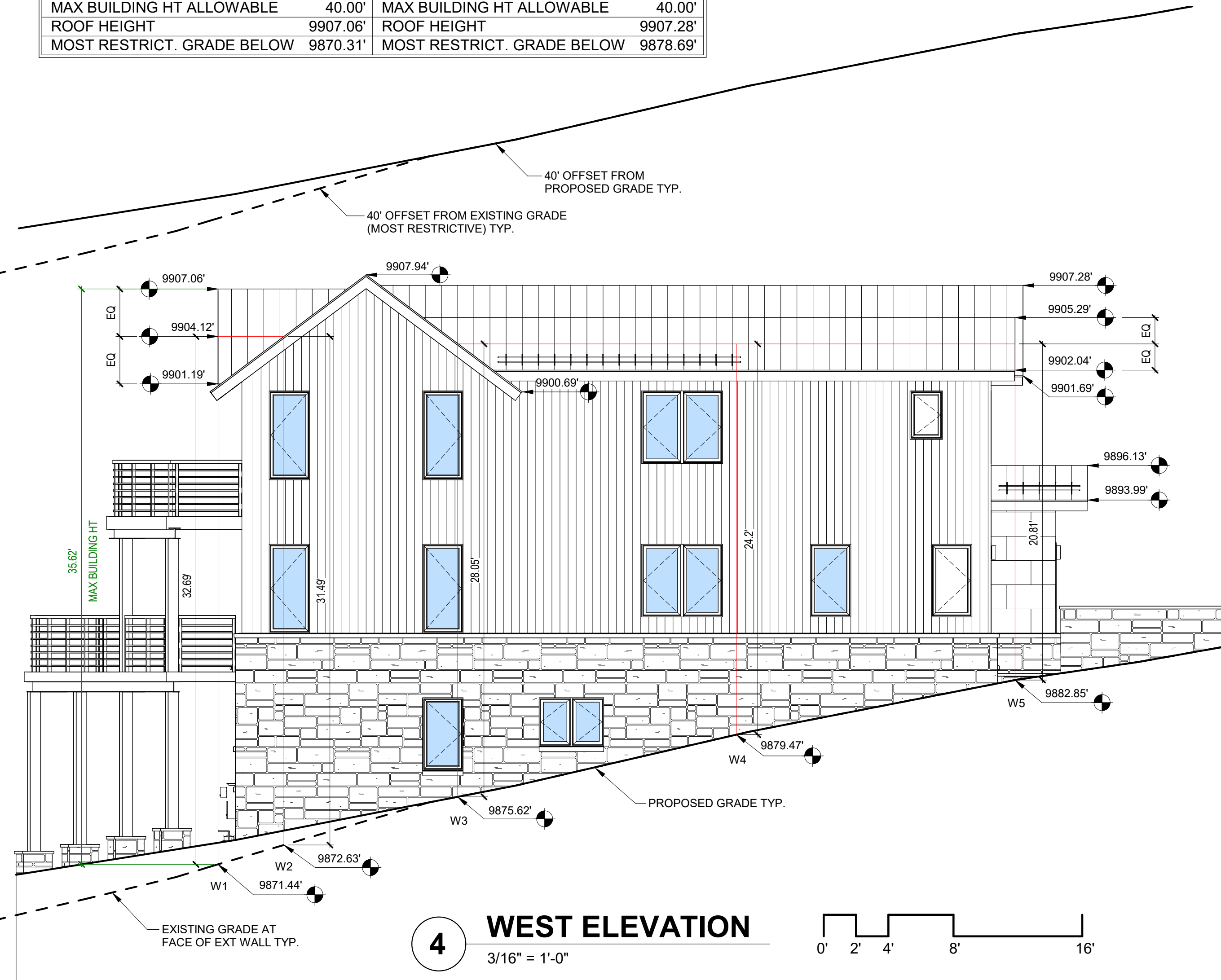
AVG ROOF HT :	
NORTH ELEVATION	
N1	36.27'
N2	33.53'
N3	30.06'
SUB-TOTAL:	99.86'
# OF LOCATIONS:	3
AVERAGE:	33.28'
SOUTH ELEVATION	
S1	20.81'
S2	22.67'
S3	24.93'
S4	26.58'
SUB-TOTAL:	94.99'
# OF LOCATIONS:	4
AVERAGE:	23.74'
EAST ELEVATION	
E1	27.04'
E2	30.65'
E3	34.17'
E4	35.94'
SUB-TOTAL:	127.8'
# OF LOCATIONS:	4
AVERAGE:	31.95'
WEST ELEVATION	
W1	32.69'
W2	31.49'
W3	28.05'
W4	24.2'
W5	20.81'
SUB-TOTAL:	137.24'
# OF LOCATIONS:	5
AVERAGE:	27.44'
TOTAL:	459.89'
NUMBER OF LOCATIONS:	16
AVERAGE:	28.74'



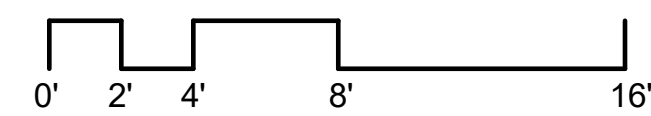
5 MAX BUILDING FOOTPRINT
1/8" = 1'-0"



3 EAST ELEVATION
3/16" = 1'-0"



4 WEST ELEVATION
3/16" = 1'-0"



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PROJECT ISSUE DATE:
04.18.22 DRB FINAL REVIEW

REVISIONS
NO. DATE DESC.

MOUNTAIN VIEW ESTATES UNIT 5

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COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11 28 05 RECPT 379791 SMC0

MAX BUILDING
HEIGHT / RESIDENCE
BUILDING
FOOTPRINT
CALCULATIONS

SHEET NUMBER

A2.1

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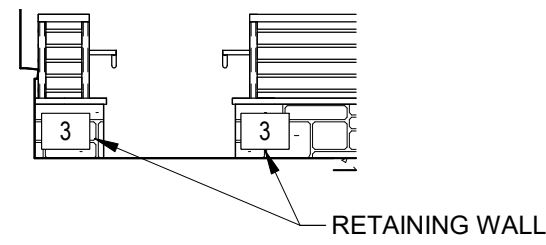
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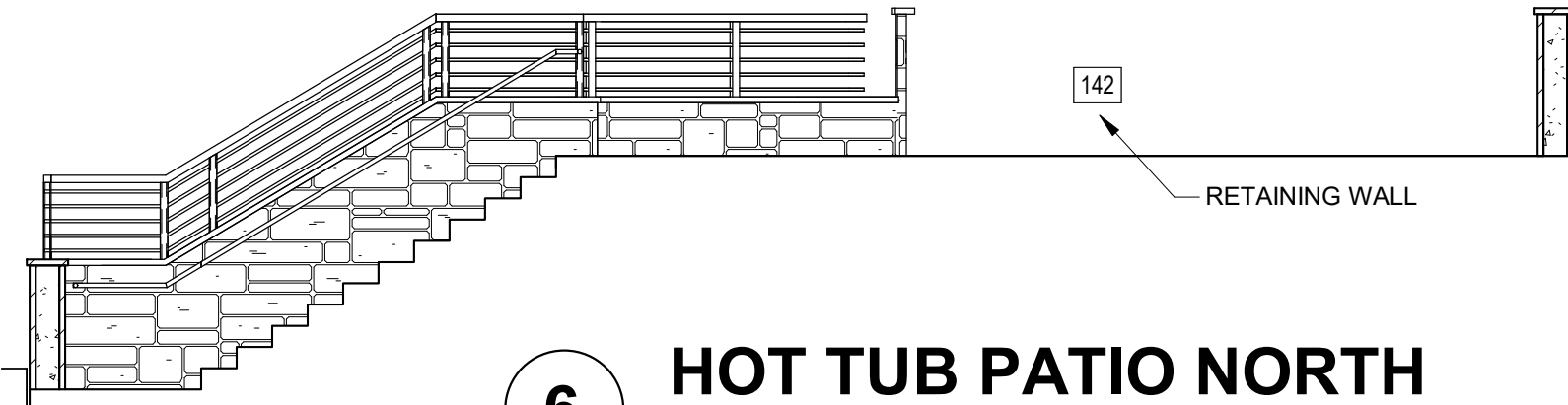
1 NORTH ELEVATION
3/16" = 1'-0"



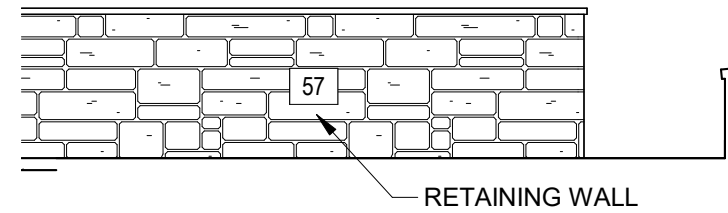
2 EAST ELEVATION
3/16" = 1'-0"



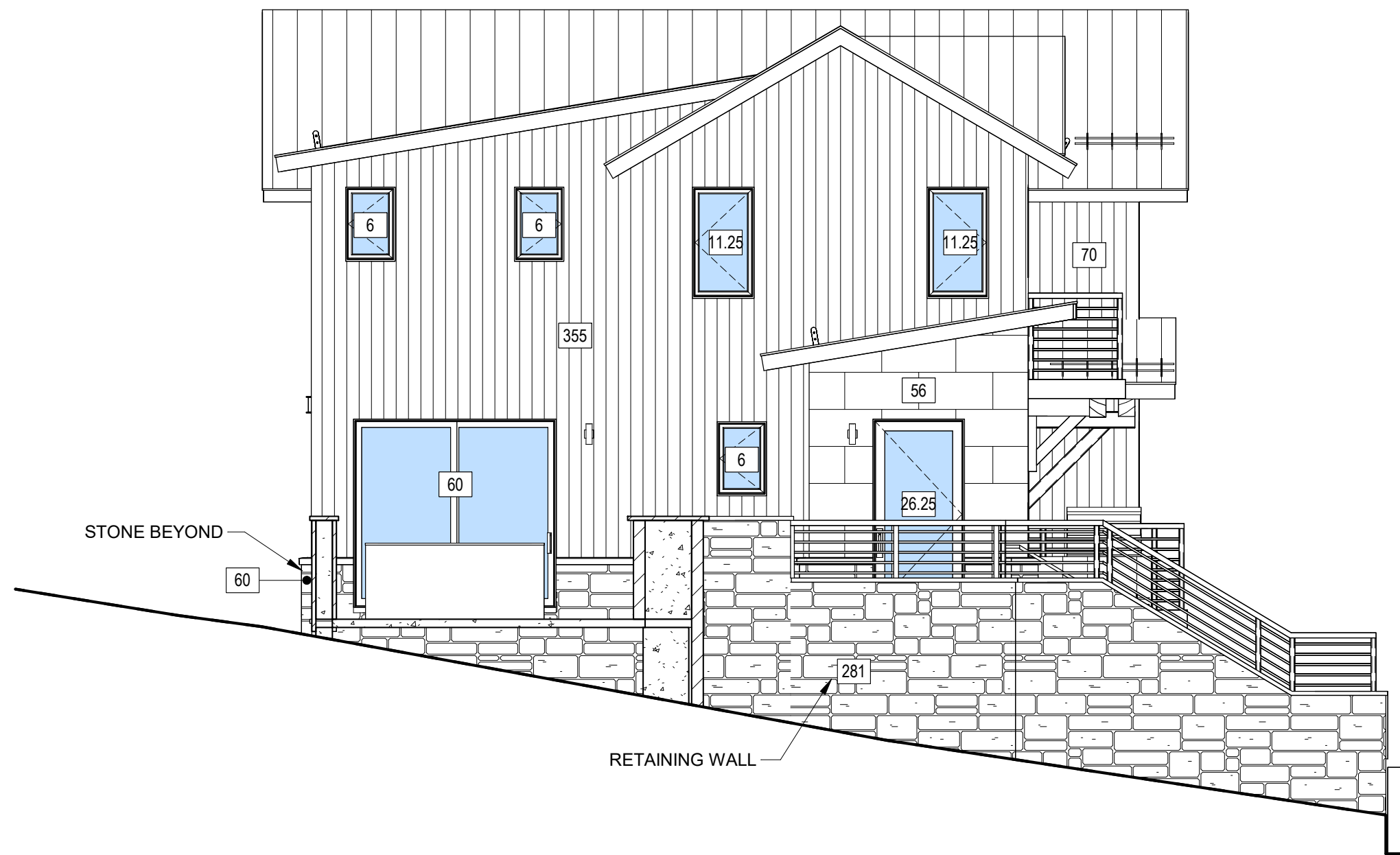
5 HOT TUB PATIO WEST
3/16" = 1'-0"



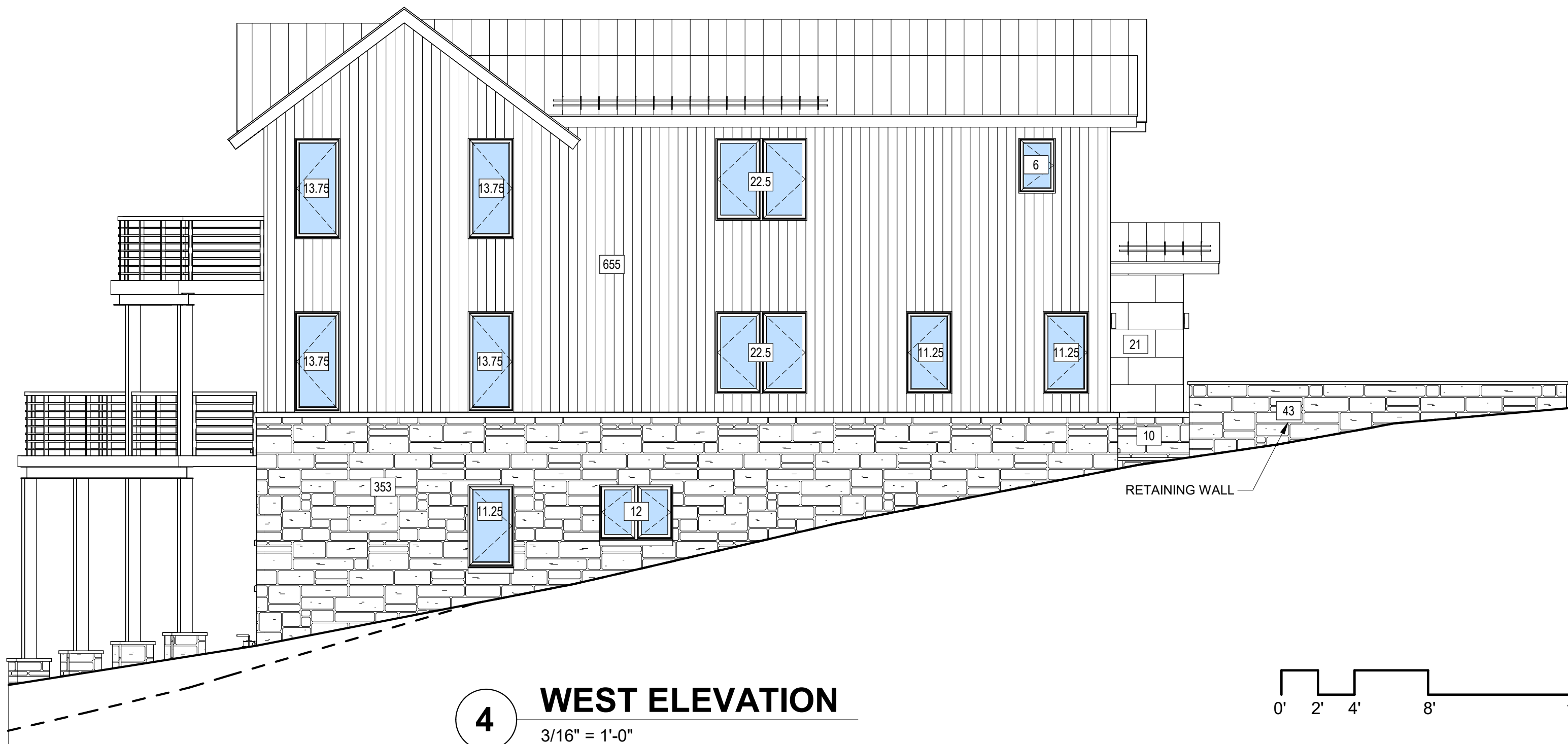
6 HOT TUB PATIO NORTH
3/16" = 1'-0"



7 HOT TUB PATIO EAST
3/16" = 1'-0"



3 SOUTH ELEVATION
3/16" = 1'-0"



4 WEST ELEVATION
3/16" = 1'-0"

MATERIAL CALCULATIONS		
NORTH		
STONE	325 SF	33%
WOOD SIDING	241 SF	24%
WINDOW/DOOR GLAZING	419 SF	43%
METAL SIDING		
SUBTOTAL:	985 SF	100%
SOUTH		
STONE	60 SF	9%
WOOD SIDING	425 SF	64%
WINDOW/DOOR GLAZING	126.75 SF	19%
METAL SIDING	56 SF	8%
SUBTOTAL:	667.75 SF	100%
EAST		
STONE	542 SF	41%
WOOD SIDING	375 SF	28%
WINDOW/DOOR GLAZING	311.25 SF	23%
METAL SIDING	38 SF	3%
WOOD DOOR	72 SF	5%
SUBTOTAL:	1,338.25 SF	100%
WEST		
STONE	363 SF	30%
WOOD SIDING	655 SF	55%
WINDOW/DOOR GLAZING	151.75 SF	13%
METAL SIDING	21 SF	2%
SUBTOTAL:	1,190.75 SF	100%
TOTALS		
STONE	1,290 SF	
STONE @ RETAINING WALL	645 SF	
WOOD SIDING	1,696 SF	
WINDOW/DOOR GLAZING	1,008.75 SF	
METAL SIDING	115 SF	
WOOD DOOR	72 SF	
TOTAL:	4,826.75 SF	
PERCENTAGES		
STONE	27 %	40 % TOTAL
STONE @ RETAINING WALL	13 %	
WOOD SIDING	35 %	
WINDOW/DOOR GLAZING	21 %	
METAL SIDING	2 %	
WOOD DOOR	2 %	
TOTAL:	100 %	
STONE VENEER CALCULATIONS ARE IN ACCORDANCE WITH TITLE 17 OF THE TOWN OF MOUNTAIN VILLAGE MUNICIPAL CODE CDC 17.5.6.E.1		

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MATERIAL
CALCULATIONS

SHEET NUMBER

A2.2

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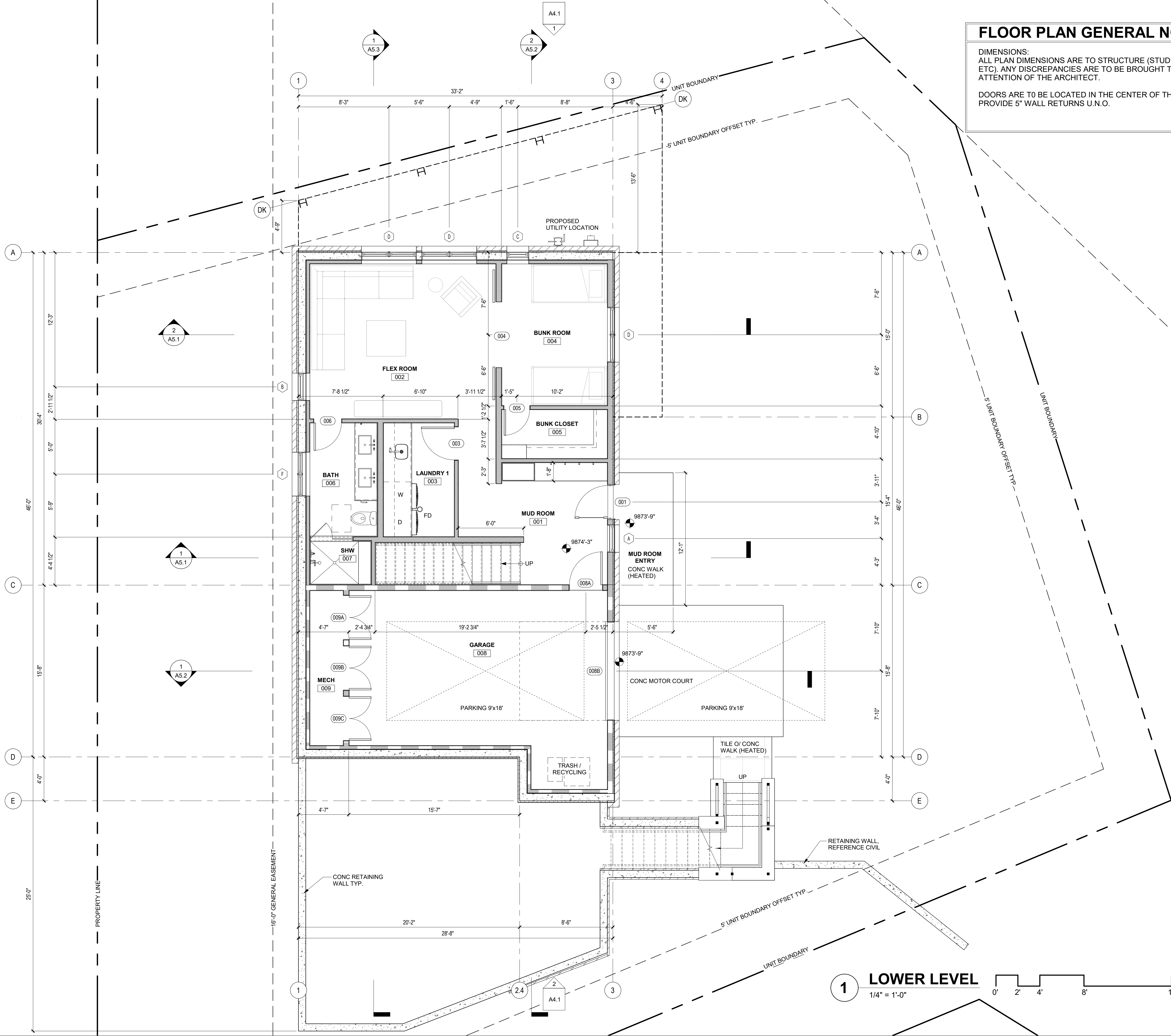
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www.shift-architects.com



FLOOR PLAN GENERAL NOTES:

DIMENSIONS:
ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.

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REVISIONS
NO. DATE DESC.

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FLOOR PLANS

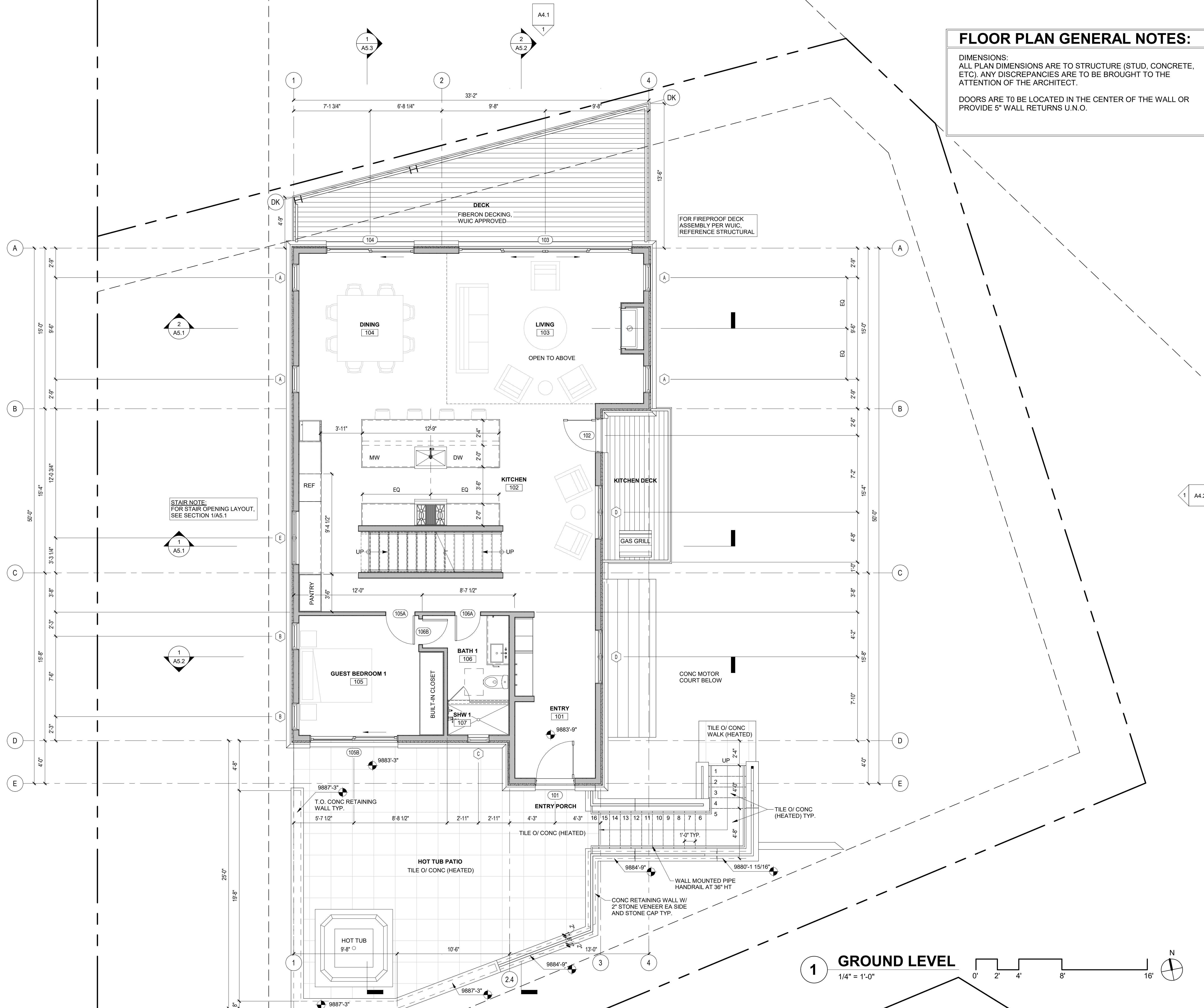
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A3.1

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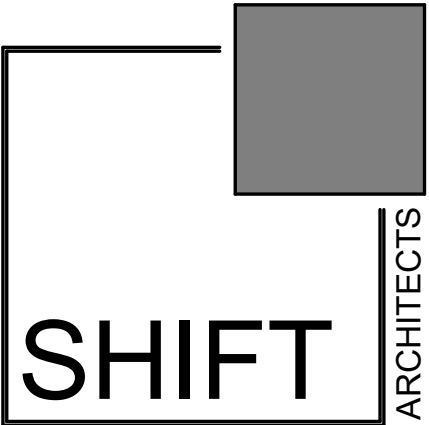
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REVISIONS		
NO.	DATE	DESC.

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TMY REC 08.28.03 IN PL 1 PG 3180 AS AMEND BY THE MAP REC 11.28.05 IN PL 1 PG 3573 RECPY 379792 AND THE DEC OF COMMON INTEREST
COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11.28.05 RECPY 379791 SMC0

FLOOR PLANS

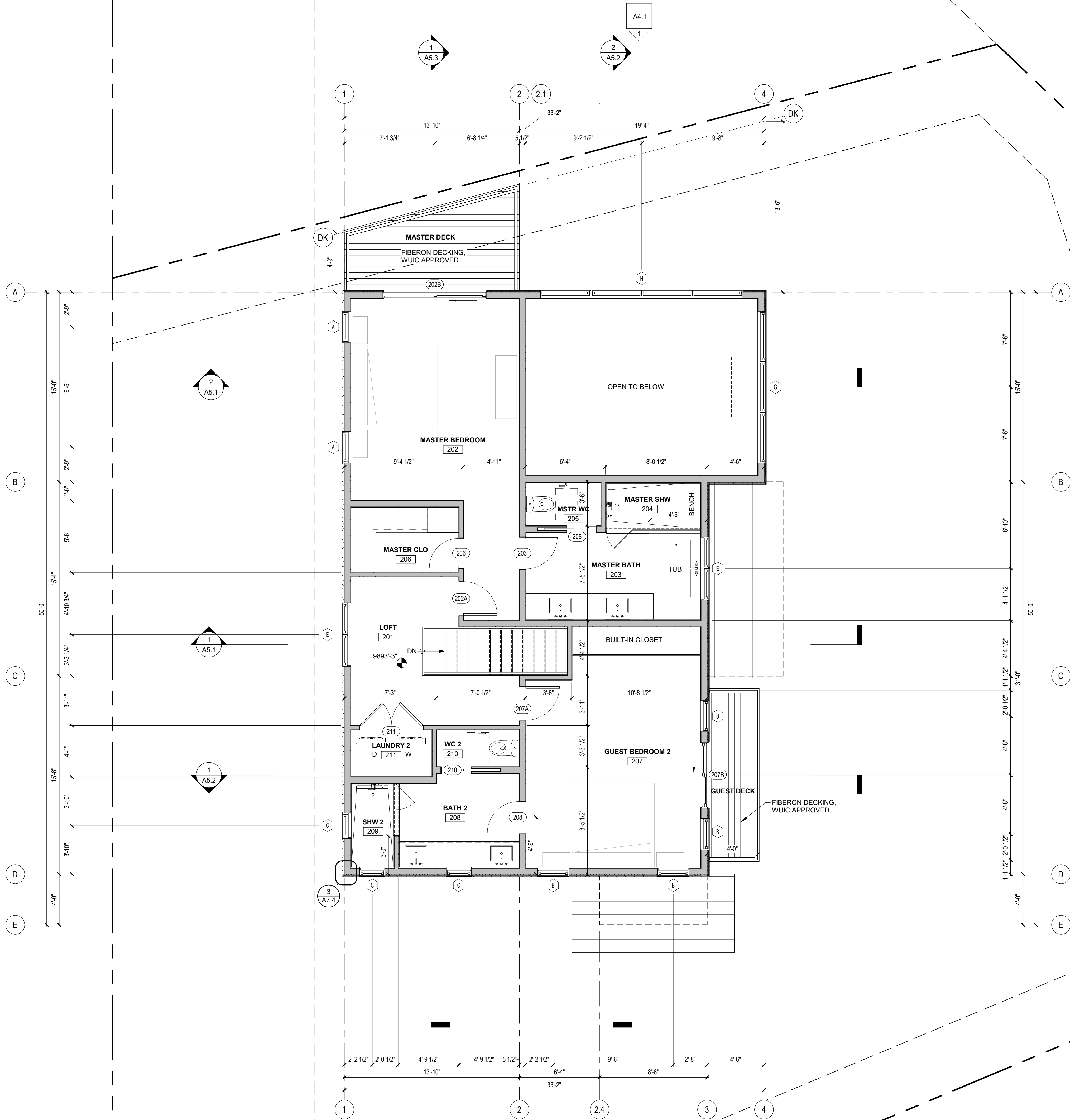
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A3.2

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FLOOR PLANS

SHEET NUMBER

A3.3

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1. ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF STUD (GRID) TO STRUCTURAL ROOF.
3. PROVIDE SNOW RETENTION SYSTEM WHERE SHOWN. CONTRACTOR AND ROOF MANUFACTURER TO PROVIDE WATERPROOFING FOR FULL WARRANTY AT SNOW RETENTION PENETRATIONS TYP.
4. REFERENCE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF PENETRATIONS.
5. PAINT ALL ROOF APPURTENANCES TO MATCH ADJACENT ROOF.

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PROJECT ISSUE DATE:
14.18.22 DRB FINAL REVIEW

REVISIONS

MOUNTAIN VIEW ESTATES UNIT 5

162 SAN JOAQUIN RD. 5, MOUNTAIN VILLAGE, CO 81435
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COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11 28 05 REOPT 379791 SMCO

ROOF PLAN

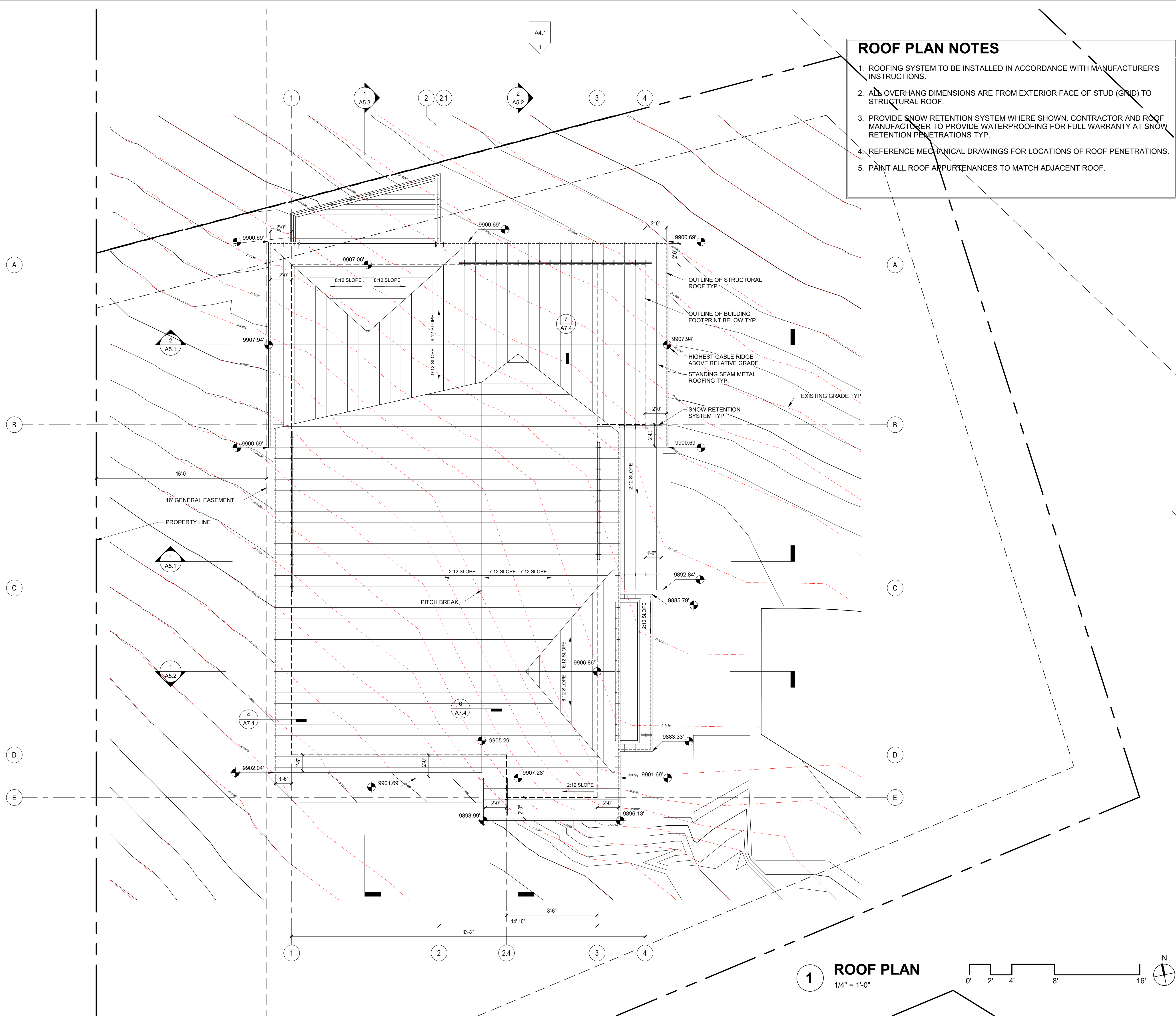
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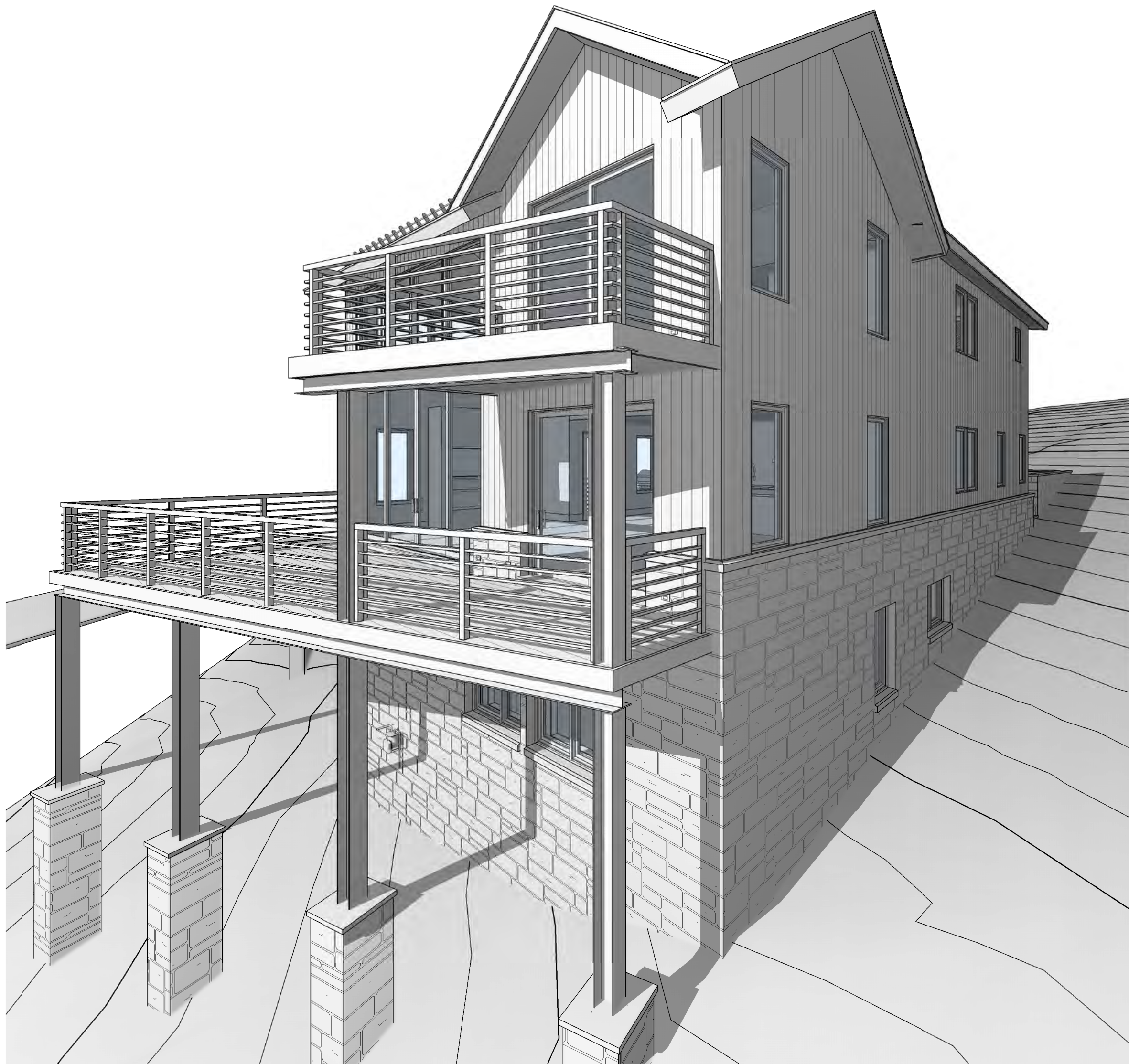
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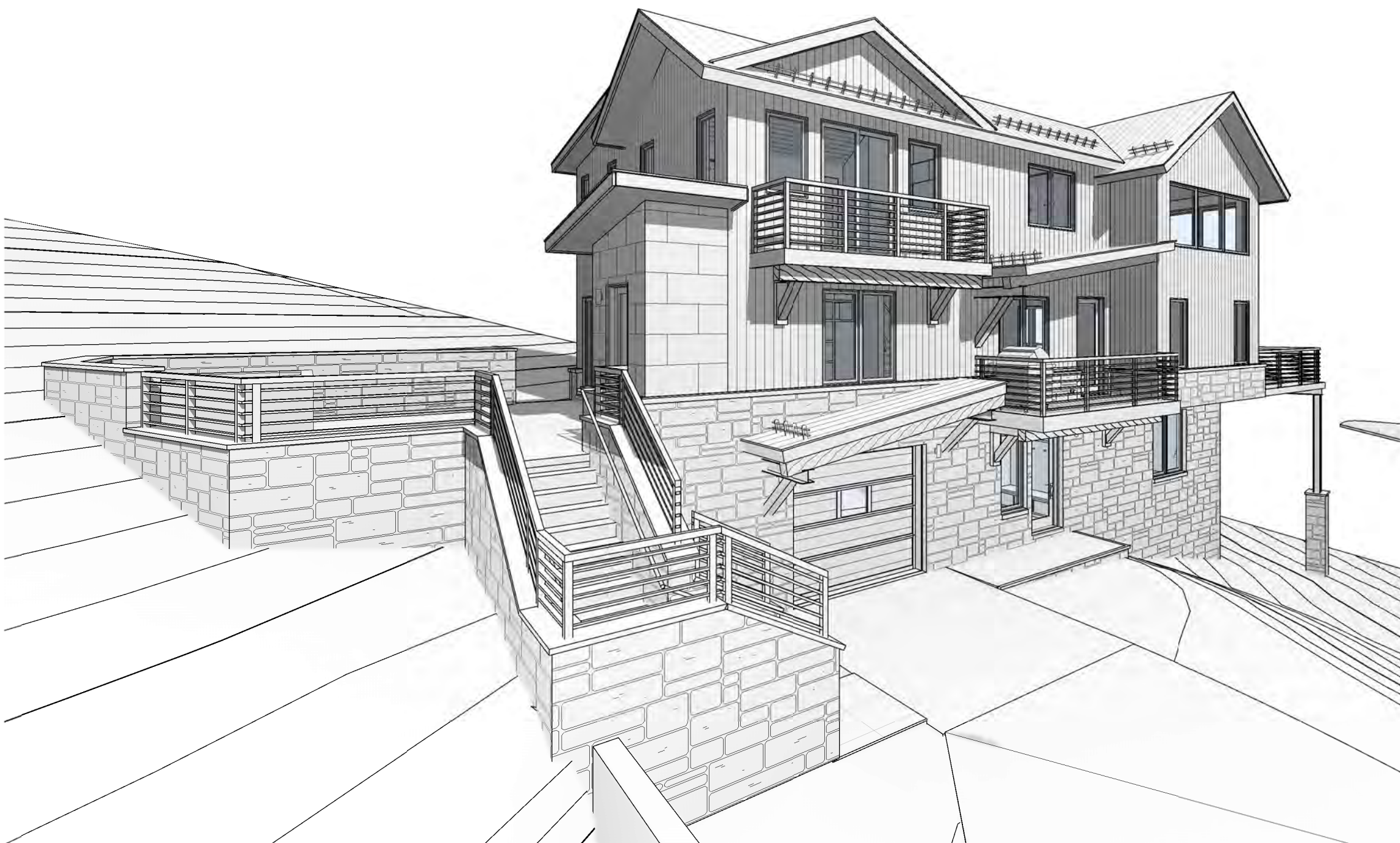




1 **NORTHEAST**



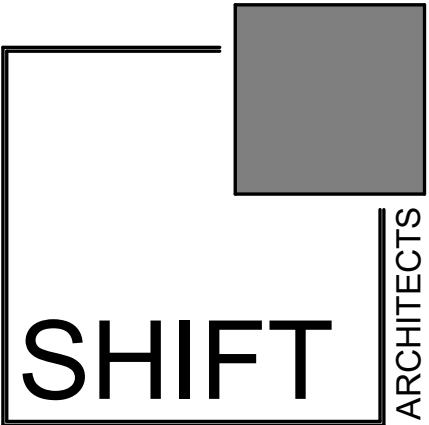
2 **NORTHWEST**



3 **SOUTHEAST**



4 **SOUTHWEST**



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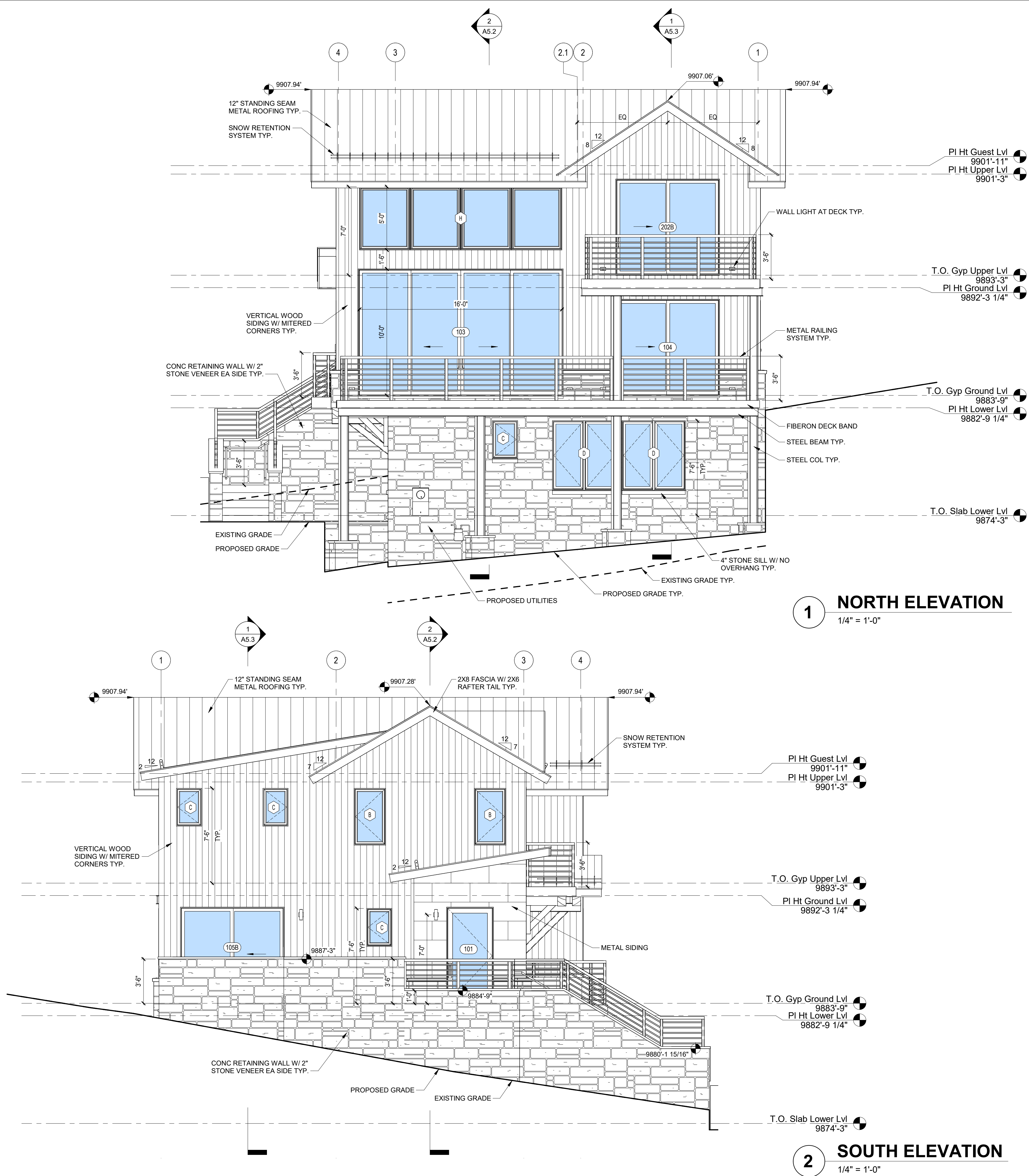
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EXTERIOR ELEVATION NOTES

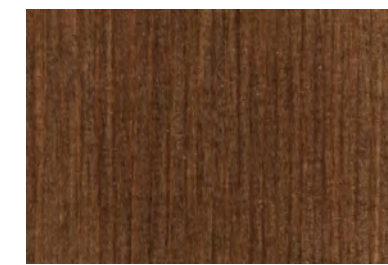
CONSISTANT WITH TOWN BUILDING CODES:
UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO
BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS,
SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-
COMBUSTIBLE, HEAVY TIMBER OR EXTERIOR GRADE
IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED
AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED
PRODUCTS.



TELLURIDE STONE
GOLD COLLECTION
SKYLINE
FULL STONE VENEER



VERTICAL WOOD SIDING:
6" DOUG FIR VERT SIDING
W/ MITERED CORNERS



TYPICAL STAIN:
CABOT CORDOVAN BROWN (SEMI-
TRANSPARENT)

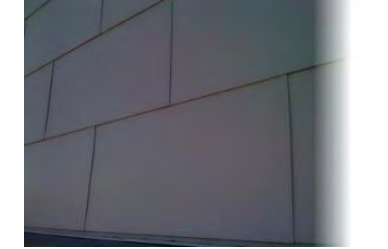
FINISH: TYPICAL STAIN

STEEL BEAMS / COLUMNS:
FINISH: PAINTED BLACK

WOOD BEAMS:
FINISH: TYPICAL STAIN

FASCIA:
2X8 DOUG FIR FASCIA W/ 2X6 RAFTER TAIL
FINISH: TYPICAL STAIN

SOFFIT:
1X4 PINE
FINISH: TYPICAL STAIN



METAL SIDING:
18"X36" METAL PANEL
FINISH: RAW STEEL



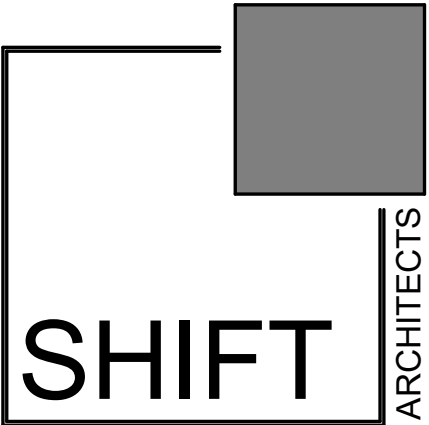
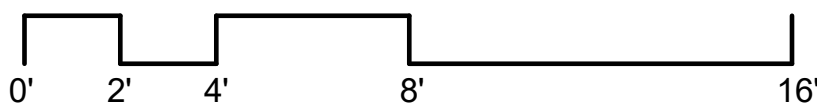
ROOFING:
PAC-CLAD 150 12" STANDING SEAM
METAL ROOFING; MATTE BLACK



WINDOWS / DOORS:
LOEWEN ALUMN CLAD WOOD; BLACK



EXTERIOR DECKING:
FIBERON PARAMOUNT PVC; BROWNSTONE
SQUARE EDGE PROFILE, 1 X 5.5 BOARD
DIMENSIONS, WUI APPROVED (ALL ZONES)



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EXTERIOR
ELEVATIONS

SHEET NUMBER

A4.1

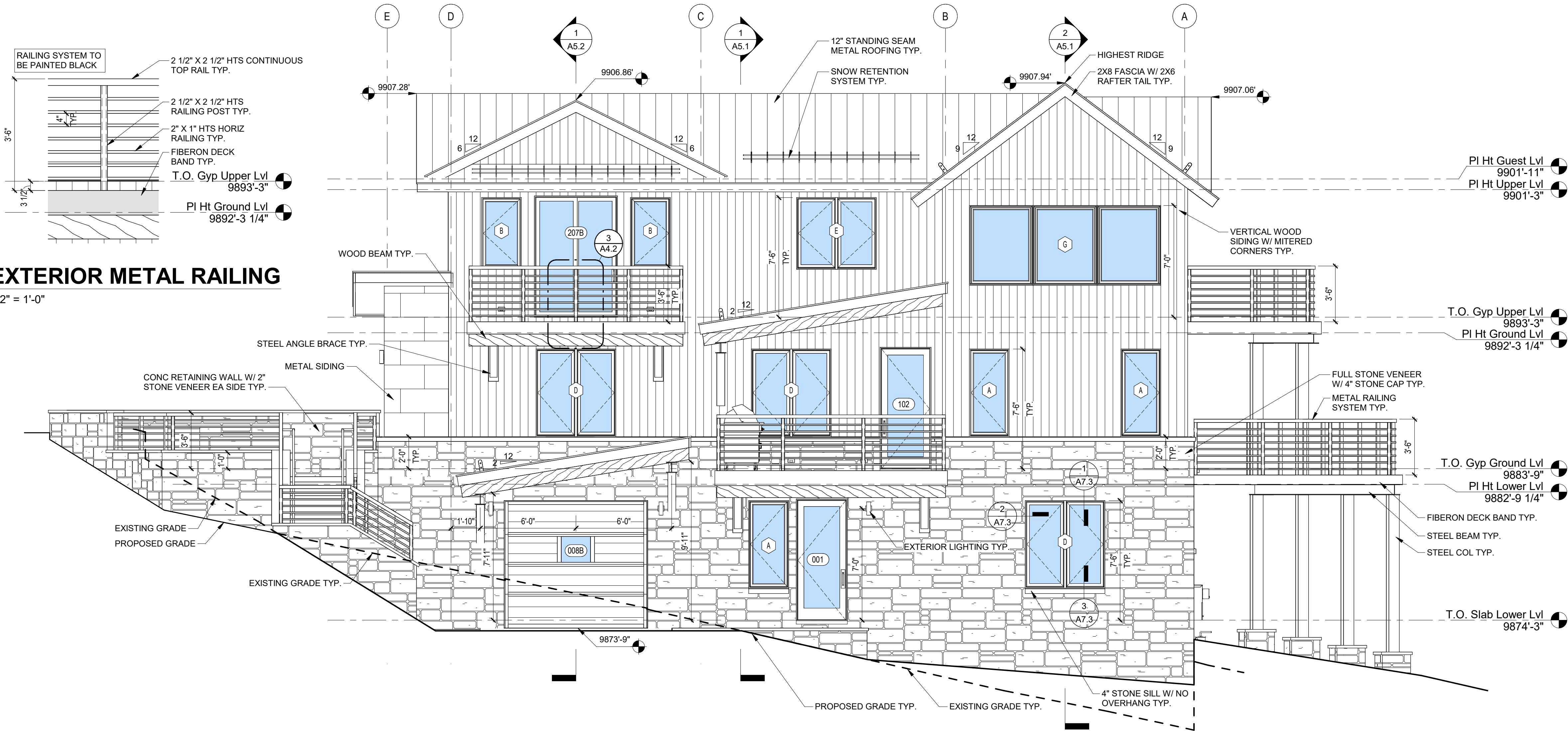
NOT FOR CONSTRUCTION

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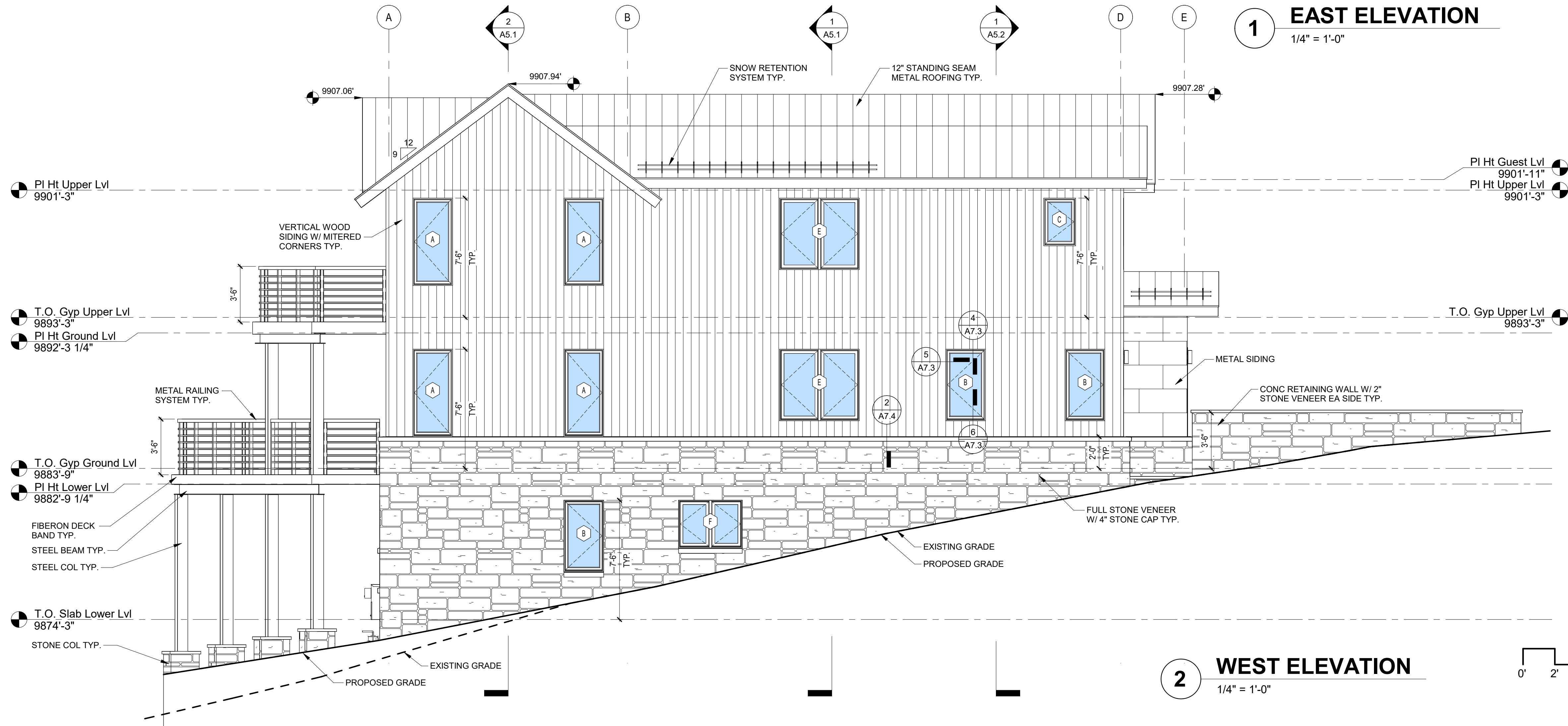
3 EXTERIOR METAL RAILING

1/2" = 1'-0"



1 EAST ELEVATION

1/4" = 1'-0"



2 WEST ELEVATION

1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

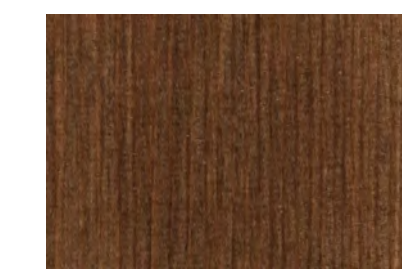
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PRODUCTS.



TELLURIDE STONE
GOLD COLLECTION
SKYLINE
FULL STONE VENEER



VERTICAL WOOD SIDING:
6" DOUG FIR VERT SIDING
W/ MITERED CORNERS



TYPICAL STAIN:
CABOT CORDOVAN BROWN (SEMI-
TRANSPARENT)

FINISH: TYPICAL STAIN

STEEL BEAMS / COLUMNS:
FINISH: PAINTED BLACK

WOOD BEAMS:
FINISH: TYPICAL STAIN

FASCIA:
2X8 DOUG FIR FASCIA W/ 2X6 RAFTER TAIL
FINISH: TYPICAL STAIN

SOFFIT:
1X4 PINE
FINISH: TYPICAL STAIN



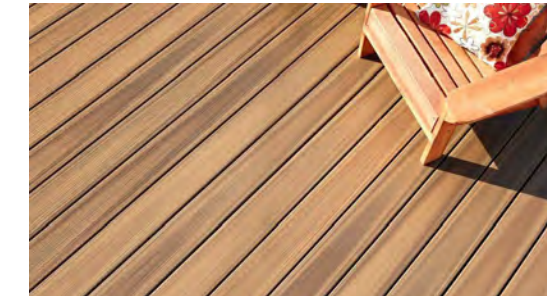
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18"X36" METAL PANEL
FINISH: RAW STEEL



ROOFING:
PAC-CLAD 150 12" STANDING SEAM
METAL ROOFING; MATTE BLACK



WINDOWS / DOORS:
LOEWEN ALUMN CLAD WOOD: BLACK



EXTERIOR DECKING:
FIBERON PARAMOUNT PVC; BROWNSTONE
SQUARE EDGE PROFILE, 1 X 5.5 BOARD
DIMENSIONS, WUI APPROVED (ALL ZONES)

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EXTERIOR ELEVATIONS

SHEET NUMBER

A4.2

4/19/2022 8:18:18 AM

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PROJECT ISSUE DATE:
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REVISIONS
NO. DATE DESC.

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1 NORTH ELEVATION
3/16" = 1'-0"



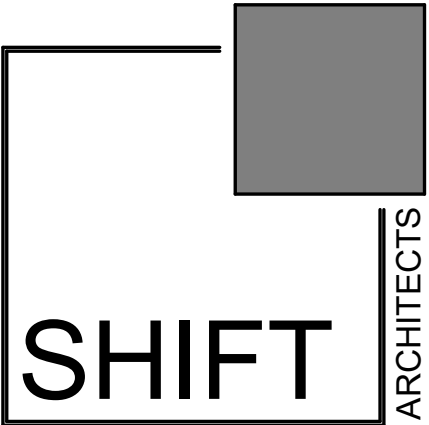
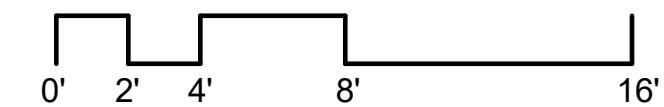
2 EAST PRESENTATION
3/16" = 1'-0"



3 SOUTH ELEVATION
3/16" = 1'-0"



4 WEST ELEVATION
3/16" = 1'-0"



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kristine@shift-architects.com
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REVISIONS
NO. DATE DESC.

MOUNTAIN VIEW ESTATES UNIT 5

162 SAN JOAQUIN RD 5, MOUNTAIN VILLAGE CO 81435
UNIT 5 MOUNTAIN VIEW ESTATES TMY SMO IN ACC WITH AND SUBJECT TO THE REVISION TO MASTER PLAN FOR MOUNTAIN VIEW ESTATES LOT 167R
TMY REC 08 28 03 IN PL 1 PG 3180 AS AMEND BY THE MAP REC 11 28 05 IN PL 1 PG 3573 REOPT 379792 AND THE DEC OF COMMON INTEREST
COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11 28 05 REOPT 379791 SMO

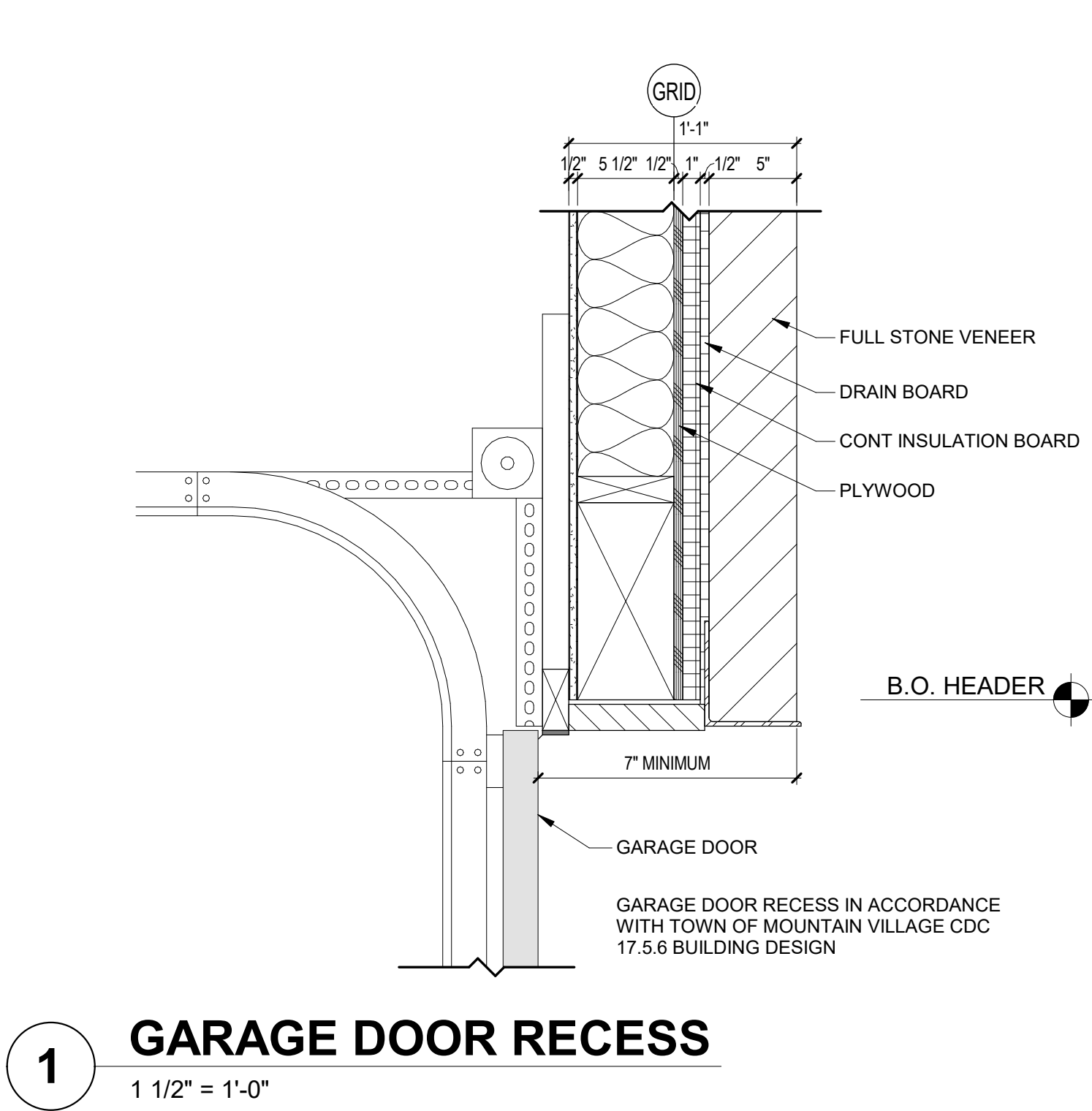
PRESENTATION
ELEVATIONS

SHEET NUMBER

A4.3

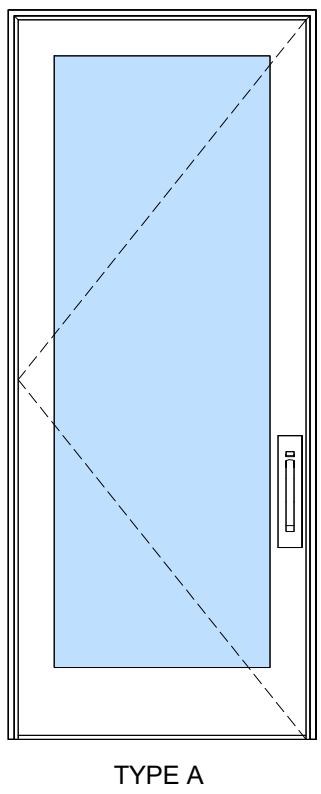
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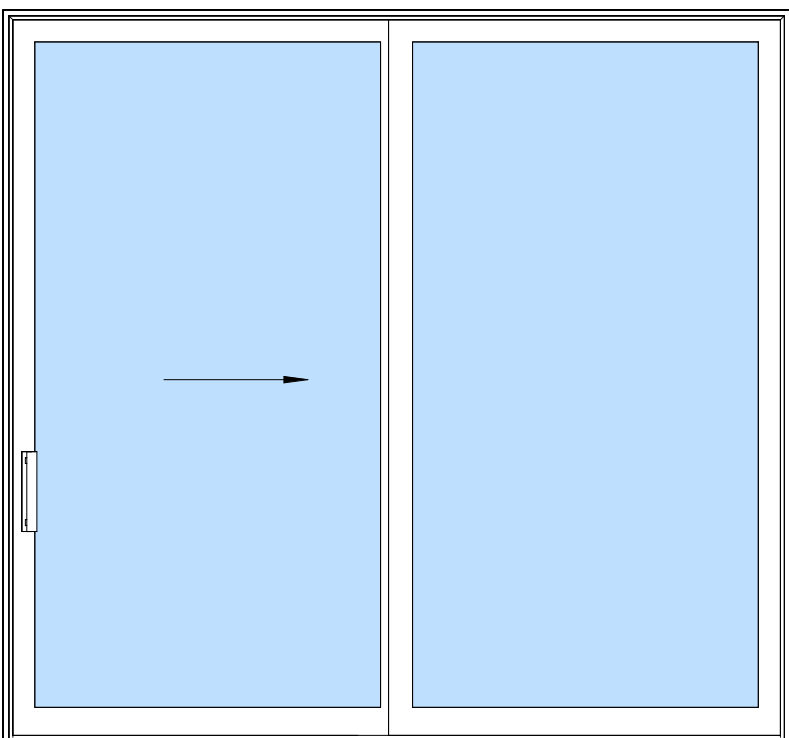


DOOR SCHEDULE								
MARK	ROOM NAME	TYPE MARK	WIDTH	HEIGHT	TYPE	MANUFACTURER	LOCATION	COMMENTS
001	MUD ROOM	A	3'-0"	7'-6"	SWING	LOEWEN ALUMN CLAD WOOD; BLACK	EXTERIOR	
008B	GARAGE	D	9'-0"	8'-0"	OVERHEAD DOOR		EXTERIOR	WOOD PANEL
101	ENTRY	A	3'-6"	7'-6"	SWING	LOEWEN ALUMN CLAD WOOD; BLACK	EXTERIOR	
102	KITCHEN	A	3'-0"	7'-6"	SWING	LOEWEN ALUMN CLAD WOOD; BLACK	EXTERIOR	
103	LIVING	C	16'-0"	9'-10 3/4"	MULTISLIDE (4 PANEL)	LOEWEN ALUMN CLAD WOOD; BLACK	EXTERIOR	
104	DINING	B	8'-0"	7'-6"	SLIDING PATIO (2 PANEL)	LOEWEN ALUMN CLAD WOOD; BLACK	EXTERIOR	
105B	GUEST BEDROOM 1	B	8'-0"	7'-6"	SLIDING PATIO (2 PANEL)	LOEWEN ALUMN CLAD WOOD; BLACK	EXTERIOR	
202B	MASTER BEDROOM	B	8'-0"	7'-6"	SLIDING PATIO (2 PANEL)	LOEWEN ALUMN CLAD WOOD; BLACK	EXTERIOR	
207B	GUEST BEDROOM 2	B	5'-0"	7'-6"	SLIDING PATIO (2 PANEL)	LOEWEN ALUMN CLAD WOOD; BLACK	EXTERIOR	
003	MUD ROOM	E	3'-0"	7'-6"	SWING		INTERIOR	
004	BUNK ROOM	I	6'-0"	7'-6"	BARN DOOR DOUBLE		INTERIOR	
005	BUNK ROOM	E	2'-4"	7'-6"	SWING		INTERIOR	
006	BATH	E	2'-6"	7'-6"	SWING		INTERIOR	
008A	GARAGE	E	3'-0"	7'-6"	SWING		INTERIOR	20 MIN FIRE-RATED
009A	MECH	F	4'-0"	7'-6"	DOUBLE SWING		INTERIOR	20 MIN FIRE-RATED
009B	MECH	F	4'-0"	7'-6"	DOUBLE SWING		INTERIOR	20 MIN FIRE-RATED
009C	MECH	F	4'-0"	7'-6"	DOUBLE SWING		INTERIOR	20 MIN FIRE-RATED
105A	GUEST BEDROOM 1	E	2'-8"	7'-6"	SWING		INTERIOR	
106A	BATH 1	E	2'-4"	7'-6"	SWING		INTERIOR	
106B	BATH 1	E	2'-4"	7'-6"	SWING		INTERIOR	
202A	MASTER BEDROOM	E	2'-8"	7'-6"	SWING		INTERIOR	
203	MASTER BATH	E	2'-6"	7'-6"	SWING		INTERIOR	
205	MSTR WC	G	2'-4"	7'-6"	POCKET		INTERIOR	
206	MASTER CLO	E	2'-4"	7'-6"	SWING		INTERIOR	
207A	GUEST BEDROOM 2	E	2'-8"	7'-6"	SWING		INTERIOR	
208	BATH 2	E	2'-6"	7'-6"	SWING		INTERIOR	
210	WC 2	G	2'-4"	7'-6"	POCKET		INTERIOR	
211	LAUNDRY 2	H	5'-0"	7'-6"	DOUBLE SWING / LOUVERED		INTERIOR	

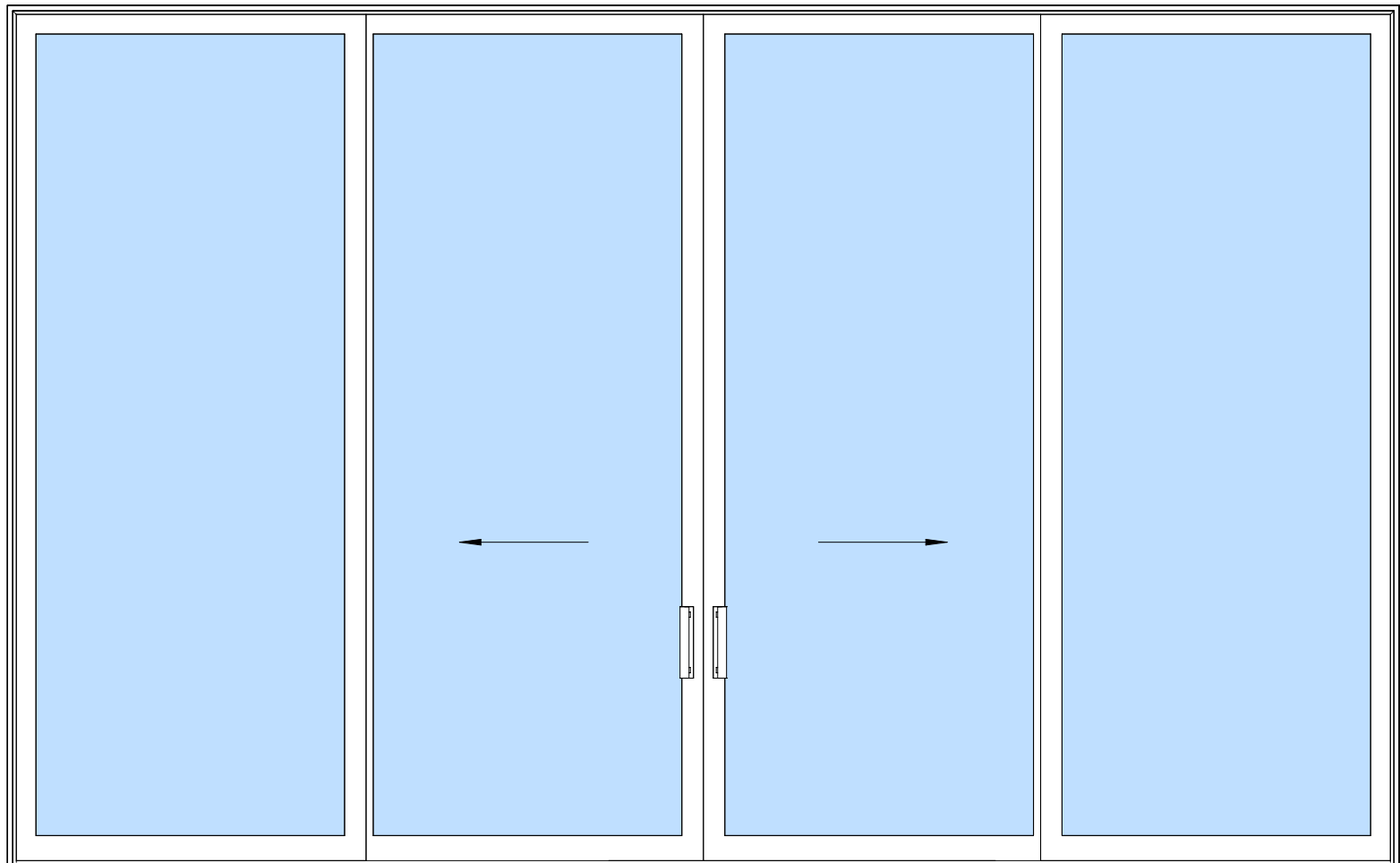
- DOOR NOTES:**
1. DOOR INSTALLATION: INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 2. SEE ELEVATIONS FOR DOOR MULLION PATTERN.
 3. DOOR HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
 4. DOOR & WINDOW MANUFACTURER: LOEWEN ALUMN CLAD WOOD
 5. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.



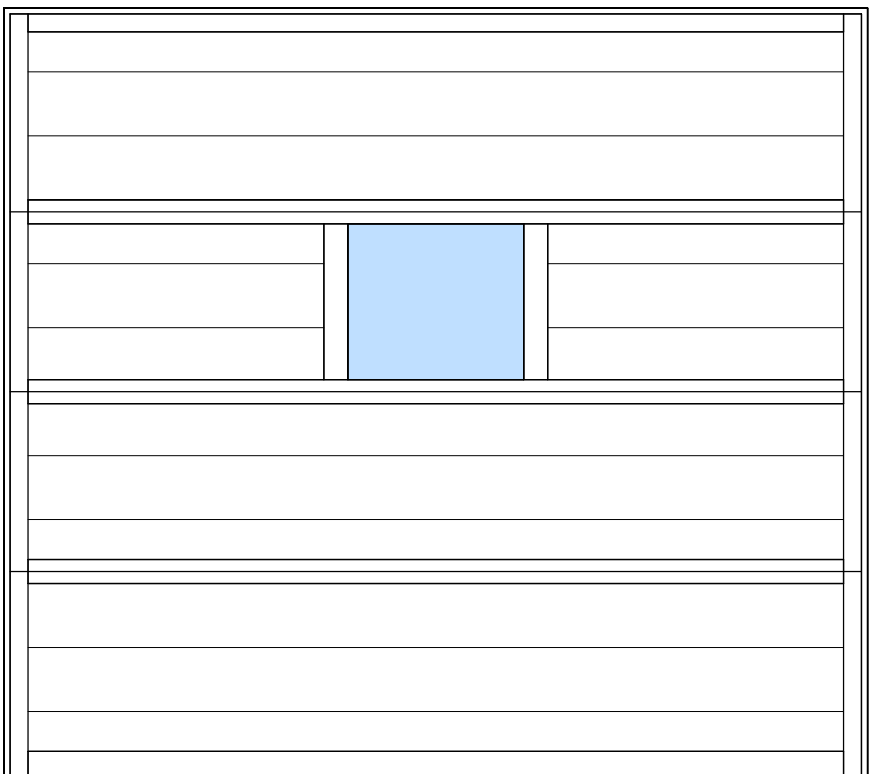
TYPE A



TYPE B

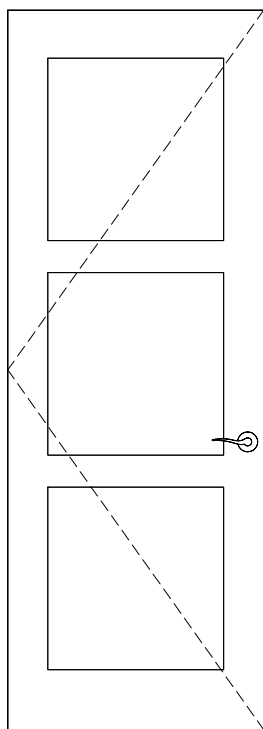


TYPE C

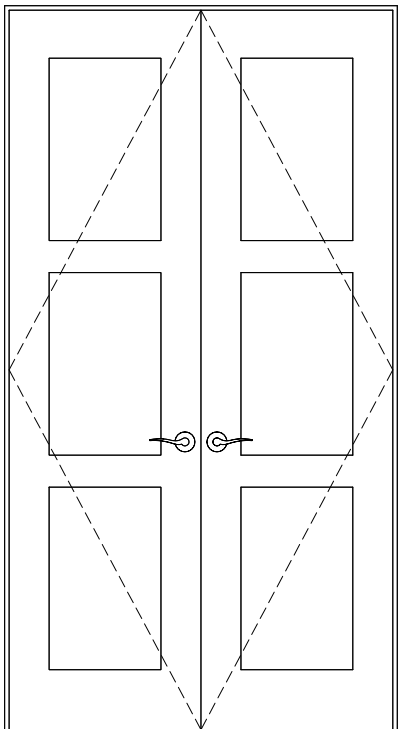


TYPE D

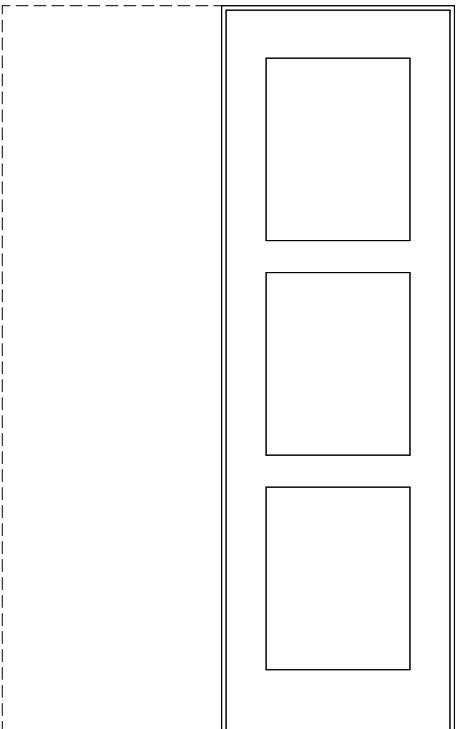
EXTERIOR DOOR TYPES



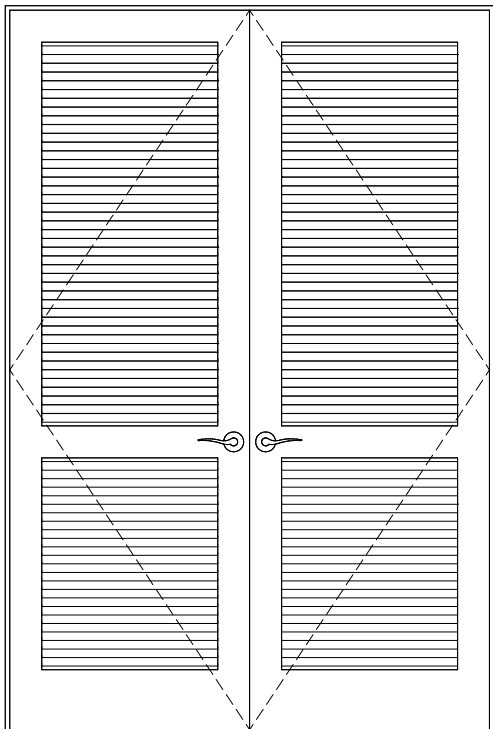
TYPE E



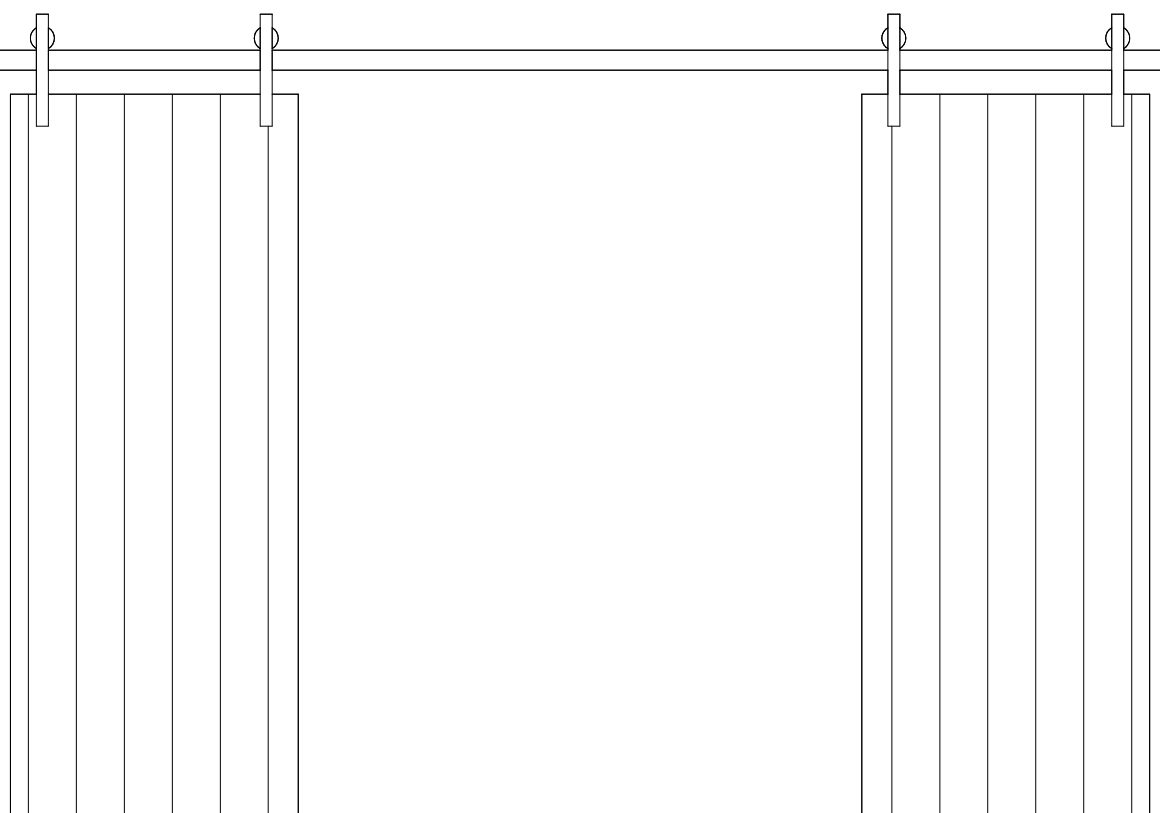
TYPE F



TYPE G



TYPE H



TYPE I

INTERIOR DOOR TYPES

MOUNTAIN VIEW ESTATES UNIT 5

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TMY REC 08 28 03 IN PL 1 PG 3180 AS AMEND BY THE MAP REC 11 28 05 IN PL 1 PG 3573 RECPT 379792 AND THE DEC OF COMMON INTEREST
COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11 28 05 RECPT 379791 SMC0

DOOR SCHEDULE

SHEET NUMBER

A8.1

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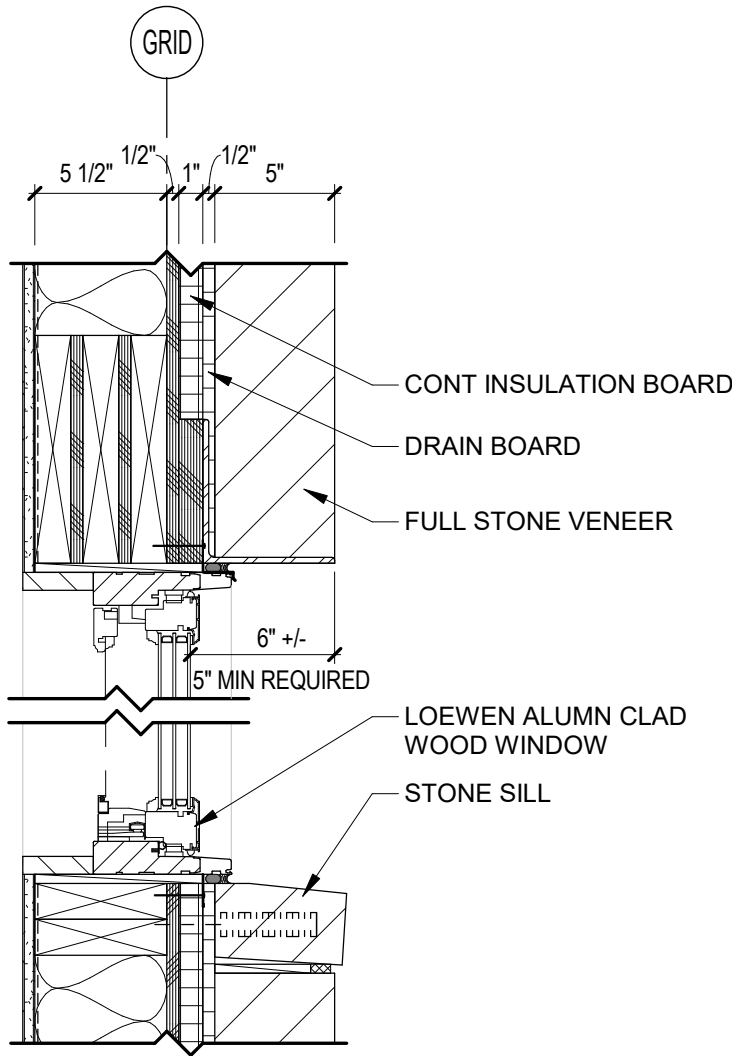
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REVISIONS
NO. DATE DESC.

WINDOW NOTES:

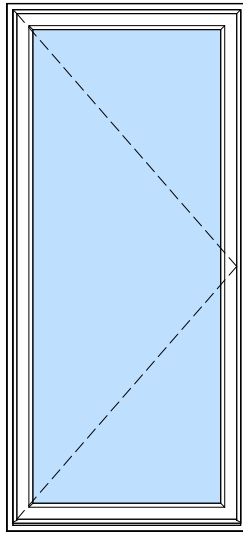
1. WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. SEE ELEVATIONS FOR WINDOW MULLION PATTERN.
3. WINDOW HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.
4. VERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.
5. WINDOW MANUFACTURER TO VERIFY WINDOW SWINGS.
6. WINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.
7. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.



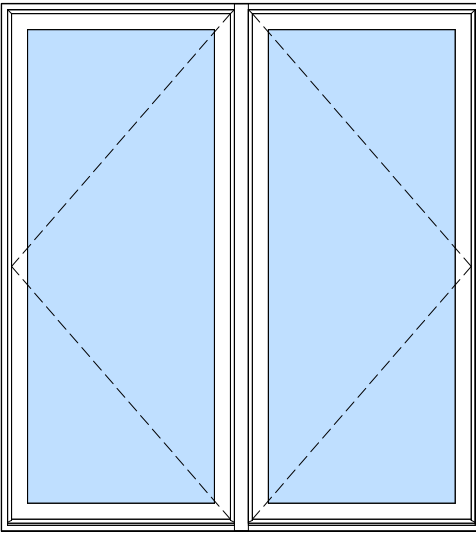
1 WINDOW HEAD/SILL STONE VENEER
1 1/2" = 1'-0"

WINDOW SCHEDULE

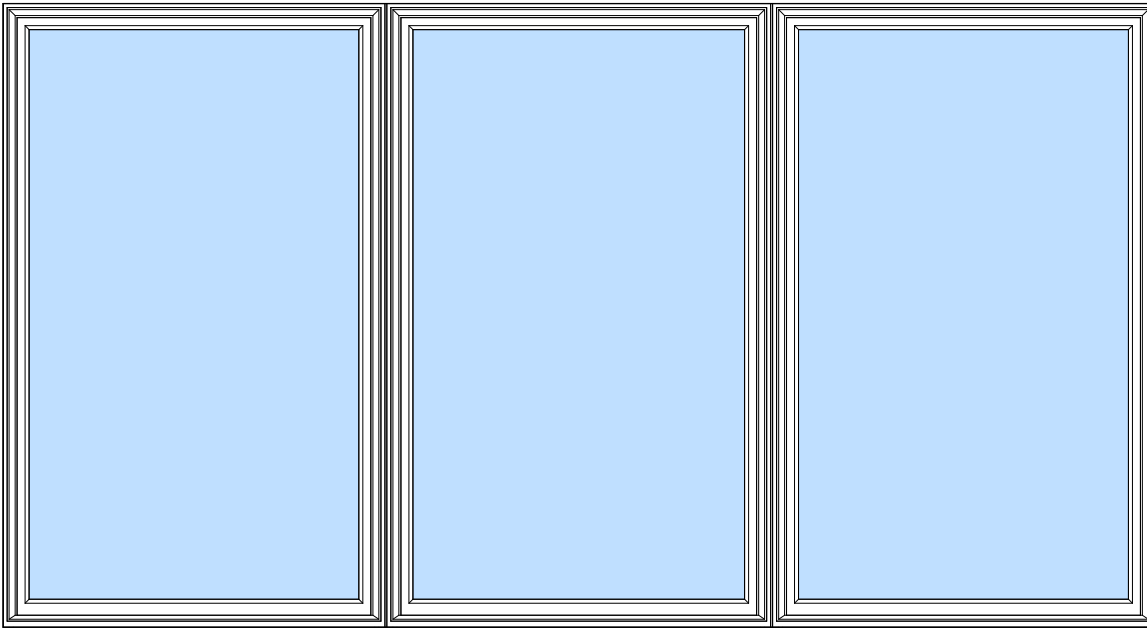
ROOM NUMBER	ROOM NAME	TYPE MARK	UNIT WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	COMMENTS
001	MUD ROOM	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
002	FLEX ROOM	B	2'-6"	4'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
002	FLEX ROOM	D	5'-0"	5'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
002	FLEX ROOM	D	5'-0"	5'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
004	BUNK ROOM	C	2'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
004	BUNK ROOM	D	5'-0"	5'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
006	BATH	F	4'-0"	3'-0"	2	CASEMENT (2 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
101	ENTRY	D	5'-0"	5'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
102	KITCHEN	D	5'-0"	5'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
102	KITCHEN	E	5'-0"	4'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
103	LIVING	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
103	LIVING	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
103	LIVING	G	12'-0"	5'-0"	3	PICTURE (3 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
103	LIVING	H	16'-0"	5'-0"	4	PICTURE (4 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
104	DINING	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
104	DINING	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
105	GUEST BEDROOM 1	B	2'-6"	4'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
105	GUEST BEDROOM 1	B	2'-6"	4'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
107	SHW 1	C	2'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
201	LOFT	E	5'-0"	4'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
202	MASTER BEDROOM	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
202	MASTER BEDROOM	A	2'-6"	5'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
203	MASTER BATH	E	5'-0"	4'-6"	2	CASEMENT (2 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
207	GUEST BEDROOM 2	B	2'-6"	4'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
207	GUEST BEDROOM 2	B	2'-6"	4'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
207	GUEST BEDROOM 2	B	2'-6"	4'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
207	GUEST BEDROOM 2	B	2'-6"	4'-6"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
208	BATH 2	C	2'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
209	SHW 2	C	2'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	
209	SHW 2	C	2'-0"	3'-0"	1	CASEMENT (1 WIDE)	LOEWEN ALUMN CLAD WOOD; BLACK	



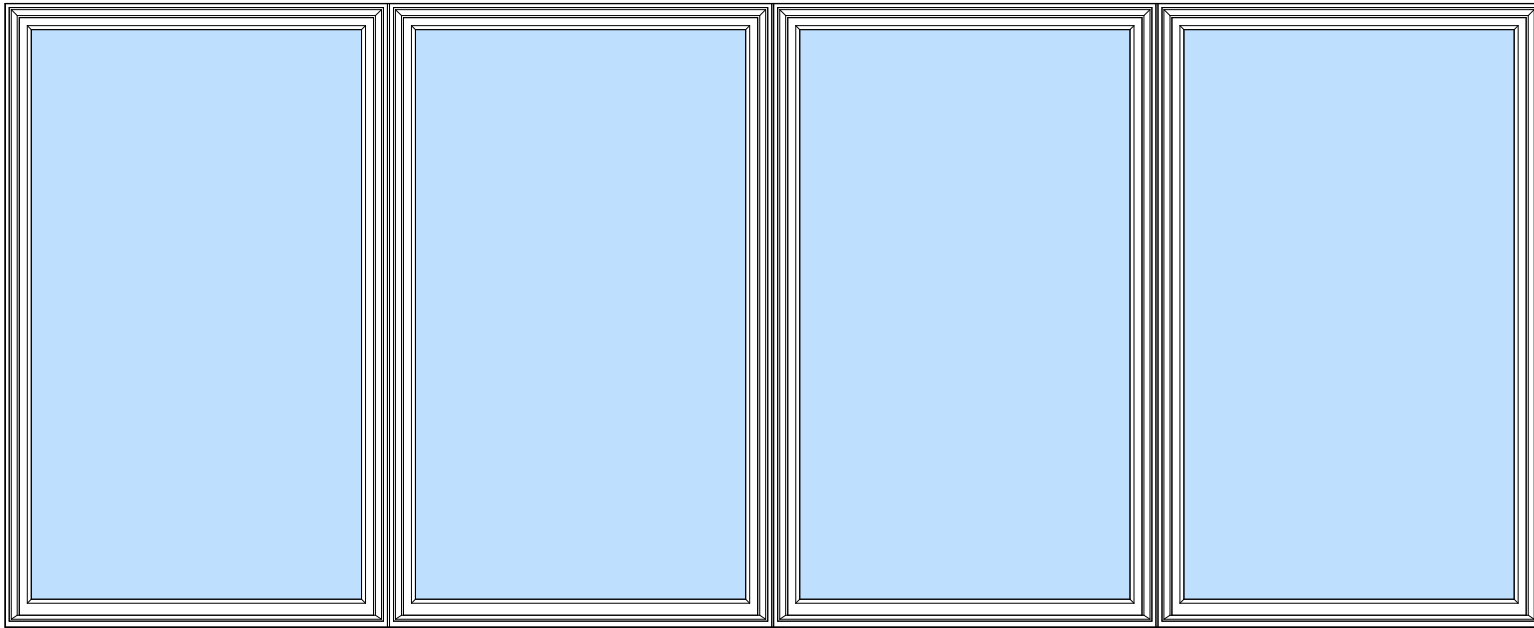
TYPE 1



TYPE 2



TYPE 3



TYPE 4

WINDOW TYPES

MOUNTAIN VIEW ESTATES UNIT 5

162 SAN JOAQUIN RD 5, MOUNTAIN VILLAGE CO 81435
UNIT 5 MOUNTAIN VIEW ESTATES TMY SMC0 IN ACC WITH AND SUBJECT TO THE REVISION TO MASTER PLAN FOR MOUNTAIN VIEW ESTATES LOT 167R
TMY REC 08 28 03 IN PL 1 PG 3180 AS AMEND BY THE MAP REC 11 28 05 IN PL 1 PG 3573 RECPT 379792 AND THE DEC OF COMMON INTEREST
COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11 28 05 RECPT 379791 SMC0

WINDOW SCHEDULE

SHEET NUMBER

A8.2

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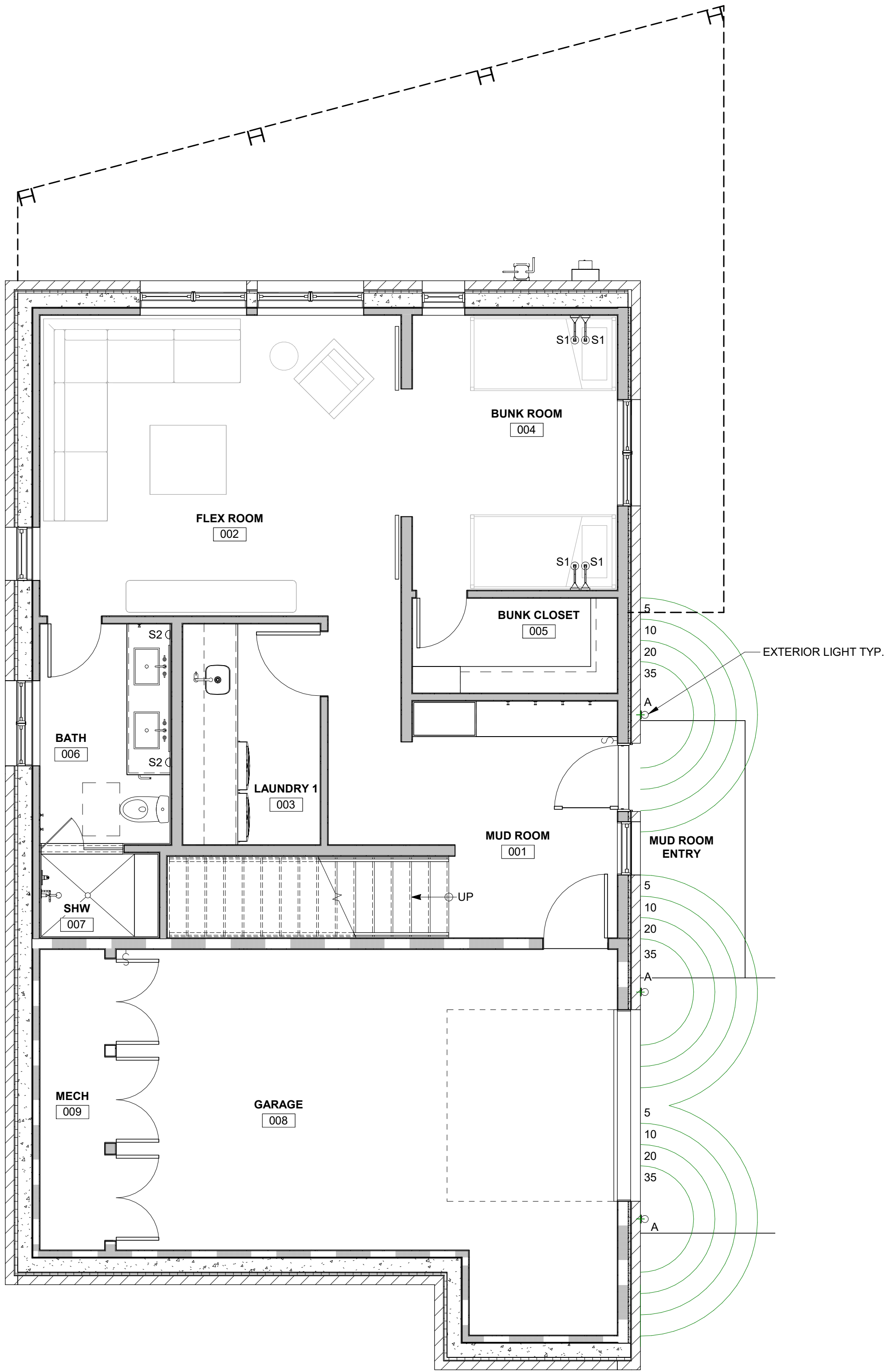
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kristine@shift-architects.com
www.shift-architects.com



LIGHTING NOTES:

1. FIELD VERIFY ALL LIGHTING LOCATIONS.
2. TYPICAL LIGHTING LOCATION AT STAIRS: STEP LIGHTS (4 EA) PER RUN
3. CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
4. ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
5. LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
6. PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
7. MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
8. EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.
9. INTERIOR LIGHTING FIXTURES TO BE SELECTED BY THE DEVELOPER.

LIGHTING LEGEND

	RECESSED CAN		DOUBLE HEADED MONO POINT
	RECESSED CAN; DIRECTIONAL		MOTION SENSOR
	RECESSED CAN; WET LOCATIONS		PENDANT
	RECESSED CAN; EXTERIOR		UNDER CABINET LED STRIP
	CEILING FAN		RECESSED LED LIGHT
	2' LINEAR CLOSET FIXTURE		TABLE LAMP RECEPTACLE
	EXHAUST FAN		FLOOR LAMP RECEPTACLE
	EXHAUST FAN WITH LIGHT		WALL MOUNTED SCONCE
	CEILING MOUNT FLUORESCENT LIGHT		STEP LIGHT
	SURFACE MOUNT FIXTURE		TWO WAY SWITCH
	CHANDELIER		THREE WAY SWITCH
	MONO POINT FIXTURE		TV OUTLET
			WALL GRAZING
			EXTERIOR SCONCE
			FIXTURE LAYOUT GRID

EXTERIOR FIXTURE A:



LED OUTDOOR WALL LIGHT (5 TOTAL)

CALIBER MODEL "WS-W36610"

FINISH: BLACK	
SIZE: ONE-WAY LIGHT OPTION	
MANUFACTURER	WAC LIGHTING
WIDTH	4.5"
HEIGHT	10"
DEPTH	4"
MATERIAL	ALUMINUM HARDWARE W/ LENS DIFFUSER
WEATHER RESISTANT POWDER COATED FINISH	
WATTAGE	11wLED
BULB	1 X 11W, 120V LED MODULE, 3000K, 90CRI
DARK SKY	YES
LED INFO:	
LUMENS	735
LUMENS DELIVERED	560
COLOR TEMPERATURE	3000K
CRI	90
DIMMABLE	YES, 100%, 10% ELV
RATED LIFE	72,000 HOURS
VOLTAGE	120V
CERTIFICATION	ETL & CETL WET LOCATION LISTED, IP 65, CEC TITLE 24

EXTERIOR FIXTURE B:

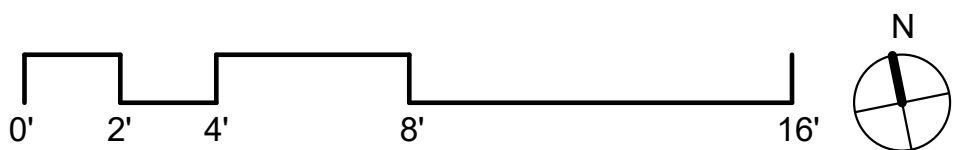


BK- Black Finish
EXTERIOR STEP AND WALL LIGHT (16 TOTAL)
(6 EA @ STEPS, 10 EA @ HOUSE)

WL-LED 100

FINISH: BLACK	
MANUFACTURER	WAC LIGHTING
ITEM	WL-LED100-C-BK
MATERIAL	DIE-CAST ALUMINUM
GLASS	3000K
WIDTH	5"
HEIGHT	3"
LUMENS	68
EFFICACY (lm/W)	8
CRI	90
RATED LIFE	50,000 HOURS
WATTAGE	3.9W
DIMMABLE	WITH ELECTRONIC LOW VOLTAGE (ELV) DIMMER
CERTIFICATION	IP66, UL & cUL LISTED FOR WET LOCATIONS
LIGHT SOURCE	PRIMARY BULB: X 3.90 WATTS INTEGRATED LED MODULE
VOLTAGE	120V, DIRECT WIRING

1 LOWER LEVEL
1/4" = 1'-0"



MOUNTAIN VIEW ESTATES UNIT 5

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TMY REC 08 28 03 IN PL 1 PG 3180 AS AMEND BY THE MAP REC 11 28 05 IN PL 1 PG 3573 RECPY 37972 AND THE DEC OF COMMON INTEREST
COMMUNITY FOR MOUNTAIN VIEW ESTATES REC 11 28 05 RECPY 37979 SMC

LIGHTING PLAN

SHEET NUMBER

LTG1.1

4/19/2022 8:18:24 AM

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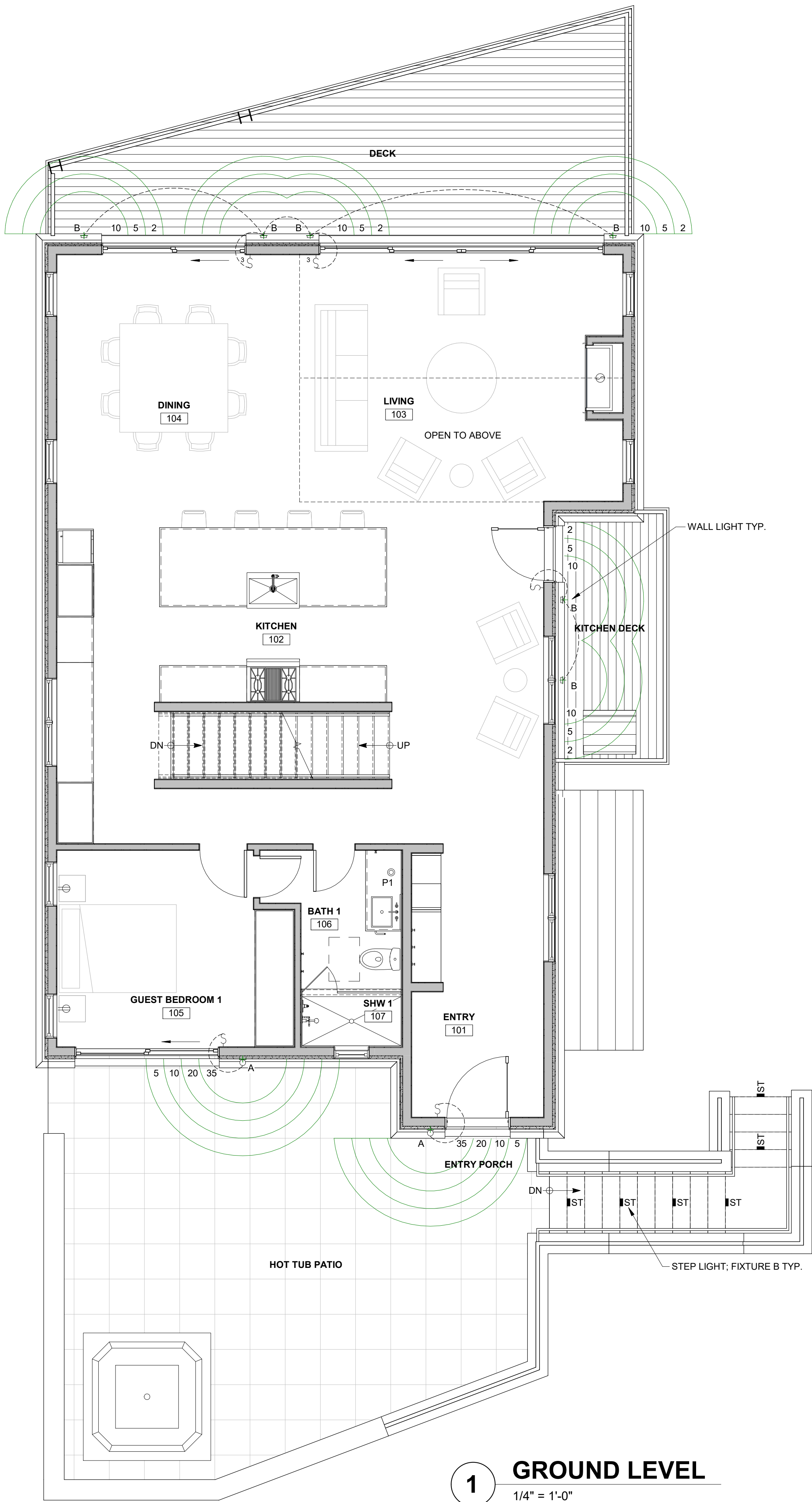
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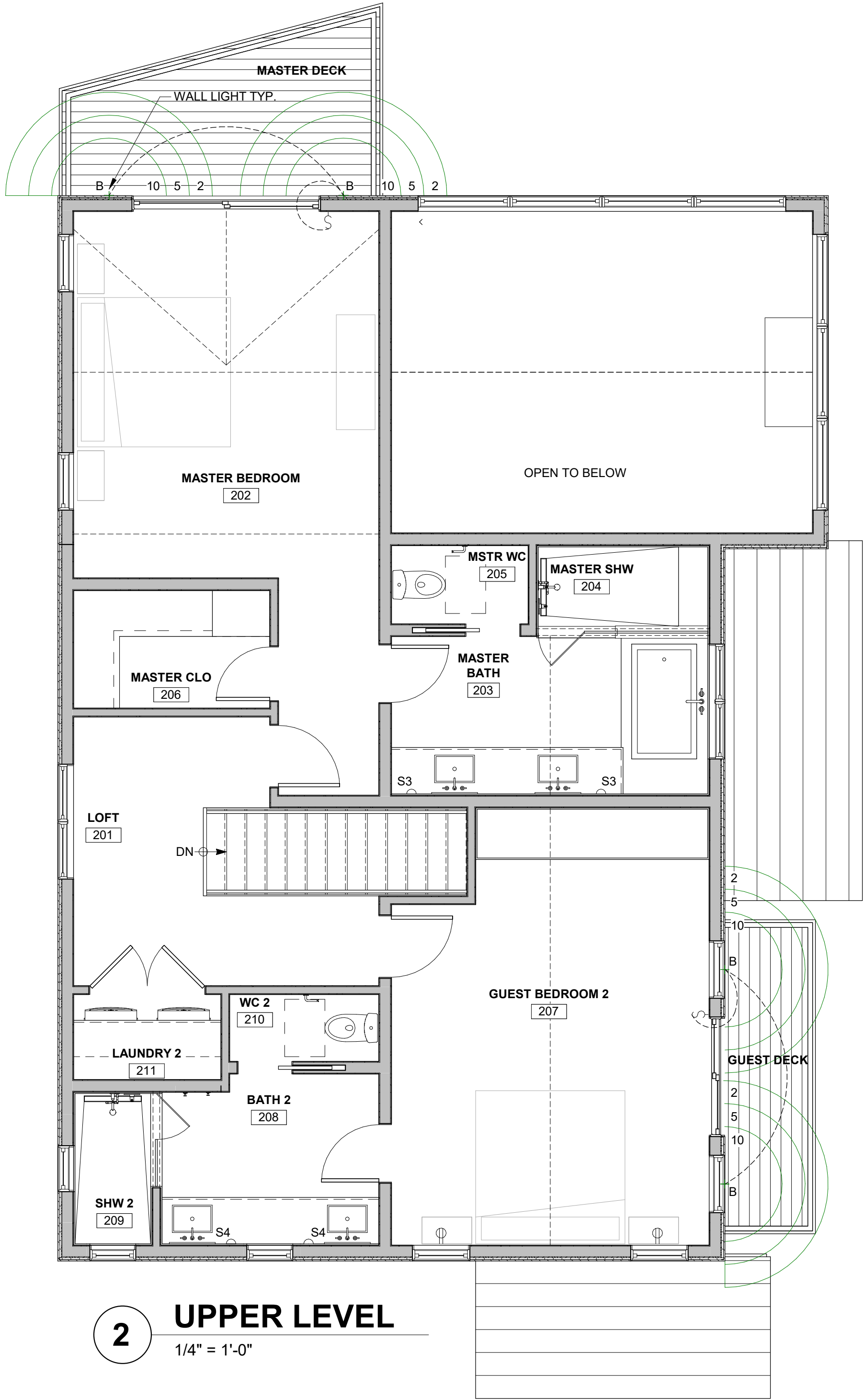
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www.shift-architects.com

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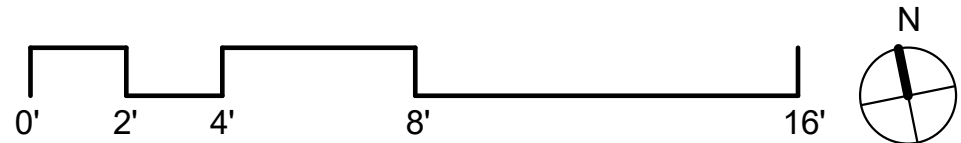
REVISIONS			
NO.	DATE	DESC.	



1 GROUND LEVEL
1/4" = 1'-0"



2 UPPER LEVEL
1/4" = 1'-0"



LIGHTING NOTES:

1. FIELD VERIFY ALL LIGHTING LOCATIONS.
2. TYPICAL LIGHTING LOCATION AT STAIRS: STEP LIGHTS (4 EA) PER RUN
3. CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
4. ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
5. LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
6. PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
7. MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
8. EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.
9. INTERIOR LIGHTING FIXTURES TO BE SELECTED BY THE DEVELOPER.

LIGHTING LEGEND

	RECESSED CAN		DOUBLE HEADED MONO POINT
	RECESSED CAN; DIRECTIONAL		MOTION SENSOR
	RECESSED CAN; WET LOCATIONS		PENDANT
	RECESSED CAN; EXTERIOR		UNDER CABINET LED STRIP
	CEILING FAN		RECESSED LED LIGHT
	2' LINEAR CLOSET FIXTURE		TABLE LAMP RECEPTACLE
	EXHAUST FAN		FLOOR LAMP RECEPTACLE
	EXHAUST FAN WITH LIGHT		WALL MOUNTED SCNCE
	CEILING MOUNT FLUORESCENT LIGHT		STEP LIGHT
	SURFACE MOUNT FIXTURE		TWO WAY SWITCH
	CHANDELIER		THREE WAY SWITCH
	MONO POINT FIXTURE		TV OUTLET
			WALL GRAZING
			EXTERIOR SCNCE
			FIXTURE LAYOUT GRID

MOUNTAIN VIEW ESTATES UNIT 5

LIGHTING PLAN

SHEET NUMBER

LTG1.2

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Review comments by TOMV staff forester, Michael Otto

New Single Family Home at Lot 167-5

[24X36 HOR \(townofmountainvillage.com\)](http://townofmountainvillage.com)

The wildfire mitigation plan looks to be adequate and complete. Diversity of plantings clause has not been met. 9 new trees, 0 not typically found in landscaping in the town.



TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Date: 02/28/2022

Address: Lot 167-5, 162 San Joaquin Road
Mountain Village, CO 81435

TFPD approves the proposal with the following conditions:

- 1) The width of the driveway shall meet the code of 16-feet total width. 12-feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 2) The address numbers shall be minimum 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated or outlined with a reflective coating.
- 3) TFPD recommends the installation of a Knox Box for access during emergency situations.



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

The Planning & Development Services Department has provided this referral form to solicit your input on a development proposal that has been submitted to the Town.

Within the first five (5) calendar days of the referral for a Class 1 or 2 application, or ten (10) calendar days for a Class 3, 4 or 5 application, a referral agency may request an extension of time to review a development application for good cause. The Planning Division shall determine if any requested extension is warranted and notify the referral agency and applicant of its decision and the number of days allowed for the extended review time, if any, within three (3) business days of such request.

If a referral agency fails to respond by the date requested on the referral form, its failure to respond shall be interpreted as "no comment" in which case it shall be presumed that such referral agency does not take issue with the development application.

Application Information

Class of Development Application : Class 3

Date Referral Emailed to Dept. or Agency :

February 25, 2022

Class 1 or 2 Application Referral Comment

Deadline: 15 calendar days from date above: n/a

Class 3,4, & 5 Application Referral Comment

Deadline: 21 calendar days from date above (3/18/22)

Planner Name: Amy Ward

Planner Email: award@mtnvillage.org

Planner Phone Number: 970-729-2985

Applicant Name: Kristine Perpar

Applicant Email Address:

kristine@shift-architects.com



DEVELOPMENT REFERRAL FORM

Planning & Development Services
 Planning Division
 455 Mountain Village Blvd. Ste. A
 Mountain Village, CO 81435
 (970) 728-1392

Description of Development Application(s):

Construction of a new single family home on Lot 167-5, 162 San Joaquin Rd, Unit 5.

Referral Agency Information

Referral Agency	Referral	Email Address
Town Public Works	x	fkjome@mtnvillage.org
Town Plazas and Environmental Services Dept.		ddrew@mtnvillage.org
Town Attorney		pwisor@garfieldhecht.com
Town Forrester	x	motto@mtnvillage.org
Mountain Village Cable	x	slehane@mtnvillage.org
Transportation Department		jloebe@mtnvillage.org
Recreation Department		ccolter@mtnvillage.org
Police Department	x	cbroadly@mtnvillage.org
Telluride Fire Protection District	x	sheidergott@telluridefire.com
San Miguel Power Association	x	jeremy@smpa.com ; terry@smpa.com
Black Hills Gas	x	brien.gardner@blackhillscorp.com paul.ficklin@blackhillscorp.com
Century Link (800-526-3557)	x	Kirby.bryant@centurylink.com
Colorado Geologic Survey (fee required)		Kaberry@mines.edu
San Miguel County		miker@sanmiguelcountyco.gov
Town of Telluride		mhaynes@telluride-co.gov
San Miguel Regional Housing Authority		shirley@smrha.org
Colorado State Forest Service		Jodi.rist@colostate.edu
United States Army Corps of Engineers		Carrie.A.Sheata@usace.army.mil



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments
Lot 167-5, 162 San Joaquin
Rd, Unit 5

Hi Amy,
Public Works has no issues with this application. The lot has existing utilities stubbed out to the build site. Have the applicant field verify the utilities.

Finn



AGENDA ITEM 12
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: John Miller, Principal Planner

FOR: Design Review Board Public Hearing; May 5, 2022

DATE: April 27, 2022

RE: Discussion regarding a Conceptual Work Session for Lot 644, to develop new multi-family employee condominiums, pursuant to CDC Sections 17.4.6 and 17.4.11.

Work Session Overview – Design Review, Employee Housing Development

PROJECT GEOGRAPHY

Legal Description: LOT 644 TELLURIDE
MOUNTAIN VILLAGE
FILING 22 PLAT 1 PG 932
THRU 933

Address: TBD
Applicant/Agent: Triumph West
Owner: Town of Mountain Village
Zoning: Multi-Family
Existing Use: Vacant
Proposed Use: Employee Condos
Lot Size: 1.608 Acres

Adjacent Land Uses:

- **North:** Passive OS
- **South:** Multi-Family
- **East:** Passive OS / Access
- **West:** Multi-Family

ATTACHMENTS

- Exhibit A: Narrative
- Exhibit B: Plan Set
- Public Comment



Figure 1: Vicinity Map

THE HOUSING CRISIS

The Town of Mountain Village, and the Telluride region as a whole, is in the midst of a housing crisis that directly threatens the quality of life of every Mountain Village resident, second homeowner, business, and visitor. From entry level restaurant workers to top level ski executives, and every other position in between, these critical roles are going unfilled, in large part, because such workers and their families lack viable housing options within or near Mountain Village. Unless this crisis is addressed, the basic services and amenities that make Mountain Village a place like no other, will be diminished or eliminated altogether.

Case Summary:

Mike Foster of Triumph West (Applicant) working in partnership with the Town of Mountain Village (Owner), has submitted materials for a conceptual work session with the Design Review Board for an employee condominium development located at Lot 644 in the Meadows neighborhood. As currently proposed, the development consists of 13 condominium units and 20 townhomes spread throughout the Lot. As part of the submittal package, the applicant has provided schematic development plans demonstrating the proposed site design, parking, elevations, floorplans, and other details. The applicant's goal is to gain a better understanding of any Board concerns prior to the submittal of the Design Review application. Work sessions allow for the DRB to provide non-binding feedback on a proposal before a formal submittal occurs. Previous to this work session the applicant has participated in a community open house, has presented conceptual drawings to the Meadows Resident Advisory Committee (MRAB), and participated in a work session with Town Council.

Existing Conditions:

The property is currently vacant has been historically platted and designated for employee housing and specifically employee condominium density. As such, there is no request to transfer or create any additional density for the site. The property is located near the terminus of Adams Ranch Road, to the northeast of the existing Parker Ridge Apartments. The property is accessed by Access Tract F22-2 which is the designated access for Lot 644. This access tract currently is vacant and is utilized by the Town for snow storage in the winter months, and also serves as a connector for the Jurassic Trail which transverses the site. The lot is forested with mature aspen and slopes slightly to the south but generally does not contain steep slopes as seen in other areas of the Mountain Village. Given the surrounding neighborhood density and proximity with adjacent buildings, it will be important to understand how this new development fits into the context of the existing Meadows neighborhood through its density, massing, and overall design.

1. **DRB Discussion Points:** Based on pre-application conversations with the applicant, staff anticipates questions related to the following items which should be discussed by the DRB.

1.A Density:

Although Lot 644 is zoned for 41 units of employee condominium density, the applicant has proposed a total of 33 units with a reserved right to build the additional eight at a future date. As mentioned above, the 33 units consist of 13 multi-family condominium units in one building, and an additional 20 townhouses. The applicants are balancing site constraints inclusive of slopes, parking requirements, respecting the general easements,

an interest in reducing site grading and material export to minimize costs and impacts, as well as a sewer line that bisects the property (through the middle of the parking area). The MRAB requested greater parking than the CDC requirement which is being provided.

The town has been working with the MRAB as it relates to density and impact discussions. The town so far understands that the property was anticipated to have 53 housing units per the Comprehensive Plan, there was general comfort for 41 in 2015, and the Town intends to build 33, with the potential for eight additional units to be developed in a phased manner. Those additional eight units are not a part of this application. Some MRAB feedback has requested the density be reduced. The DRB could further discuss this issue.

1.B Design Review:

This design review portion of the work session is intended to discuss Lot 644 as it relates to the requirements of the CDC. Although conceptual at this time, the architectural plans have been provided for review, to include site plans, building elevations, floor plans, and other details related to site context and constraints, specific exterior materials, massing, building heights, and parking.

1.B.1 Building Design: The design of the project can be described as an economical mountain modern vernacular which focuses traditional gabled design but with a modular method of construction to help limit the overall project cost. The design incorporates finishes such as metal, wood, and stone – but it should be noted that the overall finish calculations and material selection has not been finalized at this time. Given that the proposal is for deed-restricted employee condominiums, the CDC grants some flexibility to the exterior finish material requirements which has been seen in the past as DRB allowances of reduced stone calculations for the façade. Stone continues to be a substantial project cost and any reduction in the overall requirement could help the project to maintain some level of affordability for the future owners. Additionally, finish designs should take into account long term maintenance needs as it will be important to provide a strong durable finish that does not necessitate annual maintenance and repair over the long-term for future owners.

1.B.2 Parking and turn-arounds: The applicant has indicated that currently, there are 61 parking spaces for the project – with additional spaces proposed for Access Tract F22-2. Employee condominiums are required to provide 1.5 spaces per unit, with this proposal requiring approximately 50 total spaces. At 61 spaces, the applicant is currently exceeding the requirements of the CDC for parking. Additionally, the applicant has worked with the fire department and public works department to provide additional turn-arounds on both Lot 644 and Access Tract F22-2.

1.B.3 Landscaping: Given there is substantial existing vegetation on the site, it will be important to work to maintain that to any degree possible, and to augment this existing vegetation with smaller sized plantings.

1.B.4 Building Height: The applicant has indicated that no height variances will be necessary for the proposed development plan, and the proposal could otherwise meet existing height requirements for the multi-family zone. It will be important to understand as we move to a future submittal, the specific overall heights of the proposal.

It will be important for the Design Review Board to give feedback on the proposal including the massing and form, design elements such as proposed materials, building heights, and any amenities associated with the development.

2. Additional Information:

2.A. Meadows Resident Advisory Board:

As referenced above (as well as in the applicant's narrative), the town has been working with the recently formed MRAB to garner community input that will result in a Comprehensive Plan amendment. General feedback includes preserving the Meadows quality of life. Should additional development occur, the MRAB would like assurances that additional community amenities also occur. The town has been discussing how best to preserve and enhance the Mountain View Park, as one of these efforts. Enhanced public transportation has been another discussion point. The Town Council is aware of the companion discussion points and staff as well.

2.B. Minor Subdivision with Town Council

Given the constraints of the site, the applicant has indicated a need to reduce the General Easement in one area of Lot 644 from 16 feet to 6 feet as shown on page A1.0 of the architectural plans for a length of 130' only. Although this is solely at the discretion of the Town Council, it would otherwise impact the discussion as it relates to the General Easement and any encroachments. The applicant intends to work through this request concurrently with a future design review application.

2.C. Jurassic Trail:

Pedestrian amenities are required as part of multi-family developments. The location of this development will necessitate the relocation of the Jurassic Trail, and is thus an opportunity to improve the trail segment between Lot 644 and Adams Ranch Road. The applicant is aware of this need and has been working to design a trail relocation entirely on Lot 644 and Access Tract F22-2 that improves the overall user experience and provides a crucial trail connection between the meadows and the upper areas of the Village Core.

2.D. Next Steps:

Following the work session, the applicant intends to continue conversations with the Town and to fine-tune these designs based on the direction given by the DRB and Town Council.

1. Design Review – the design of the project is currently being finalized and once this has occurred, a formal submittal for the project will occur. The design review is a two-step approval process and will at minimum require two public hearings with the associated public notice.
2. Minor Subdivision – As mentioned above, the applicant's proposal will necessitate a minor subdivision to reduce the rear GE partially from 16 feet to 6 feet for a length of 130'. This decision is at the sole discretion of Town Council.

RECOMMENDATION

Staff recommends the Design Review Board review and evaluate the proposed concept plans based on the applicable criteria for decision for the future development application and provide non-binding feedback and direction to the applicant regarding the overall design, materials, parking, massing, and other CDC requirements as necessary.

Background

Lot 644 was given to the Town of Mountain Village as part of a land swap associated with the 109R Mountain Village Hotel PUD. The value in 2010 was approximately \$700,000 in exchange for .5 acres of Village Center Open Space which was replat in Lot 109R in the Village Center.

41 employee condominium density units were platted, and unbuilt, on the property since the Town of Mountain Village was first a Planned Unit Development under San Miguel County and later when we incorporated as our own community.

Recent History

In May of 2021, the Town launched a series of Community Housing Initiatives. Part of this initiative included an inventory of Town owned properties that we could pursue developing. Subsequent to May of 2021, the Town targeted three housing initiatives to make positive progress towards developing deed restricted housing: re-engage VCA Phase IV, a 42 apartment unit development. The Town acquired 37 acres which have subsequently been zoned residential and annexed into the Town of Norwood, and development of Lot 644.

Comprehensive Plan

The Mountain Village Comprehensive Plan was adopted in 2011 and identified a target density of 53 employee deed restricted units on Lot 644. Subsequent to the 2011 Comprehensive Plan adoption, the then Planning Director worked with the Meadows community to re-visit the Meadows Development Table. In a memo dated May 14, 2015, the Planning Director memo reduced the 53 density units back to 41. A Meadows Improvement Plan also was implemented around this time that created a bus stop and sidewalks amongst other amenities. The 2015 memo indicated direction to Council as to whether they wanted to move forward with the Meadows Comprehensive Plan amendment or wait until after the election. The Council waited until after the election and the Meadows amendment did not occur.

Triumph West

In December of 2021, the Town issued an RFP seeking a developer to assist the Town in developing Lot 644. The RFP Committee, consisting of Town staff, two Meadows residents and Councilors Caton and Duprey ultimately recommended the Town engage Triumph West. In April of 2022, Town Council executed a pre-development agreement with Triumph-West, the co-applicant, to commit to beginning work on Lot 644.

The town has held a series of public and community meetings regarding development of Lot 644:

- March 31, 2022 644 Community Meeting/Open House
- April 20, 2022 – MRAB Meeting
- April 21, 2022- Town Council worksession

- Pre-development Contract Executed
- May 5, 2022 DRB Worksession

Finally, concurrent with the development discussions of Lot 644 a Meadows Resident Advisory Board (MRAB) was formed, to essentially pick up where the town left off in 2015, to revisit the development Table in the Comprehensive Plan and address greater community concerns and desires in the Meadows Subarea. For more information about the MRAB here is a link to the webpage:

<https://townofmountainvillage.com/business/long-range-planning/meadows-resident-advisory-board/>

Some members of the MRAB requested designs be shown for development of associated housing on Lot 651, owned by TSG. The platted and undeveloped density is 15 condominiums on 651. That exhibit is shown as part of the packet. To be clear, the Town does not own 651, and the renderings do not represent a development proposal.

Design Plan- Nuts and Bolts

This project is not asking for height variances or parking variances as typical with some of our larger past deed restricted housing projects. We are proposing to vary a 16' GE for a 130' length behind the multi-family building which will be a concurrent subdivision application that is reviewed by Town Council. There are some design variations requests which is consistent with the CDC Section 17.5.2.B. Applicability which states, "Workforce housing development shall be in accordance with the Design Regulations, except that the DRB may, at its discretion, vary the Design Regulations' requirements."

Unit Type and Inventory Mix

Type of Units	Studio	One Bedroom	Two Bedroom	Three Bedroom	Four Bedroom	Garage	Carport with storage
Multi-Family Building	3	8	2				
Townhome with Garages				2	4	320 sq ft	
Townhome without Garages			8	6			applicable
Total 33 Units	3	8	10	8	4		

Although the town could build 41 units, we are proposing to construct 33 and reserve a right to construct the remaining on the property site plan.

Parking Table

Parking Requirements	Per the CDC per Unit	Number of Units	Parking Requirement	Parking Provided
Parking Spaces	1.5	33	49.5	61*

*A minimum of 6 additional parking spaces are being provided on the access tract as parallel parking.

Square footage of units by type- range

Unit Type	Square Footage Range
Studio	465
One Bedroom	775
Two Bedroom	910-1300
Three Bedroom	1535-1850

Form of Deed Restriction

We anticipate these units will have a form of deed restriction inclusive of a price-cap. This means that the unit is limited in its appreciation each year, and that the town will establish an initial sales price. Price-capped units will be intended to diversify the inventory in the Mountain Village as we have only a handful of price-capped units currently.

Thank you for your feedback on the design in advance.

Michelle Haynes
Housing Director



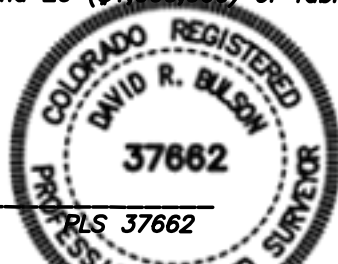
SURVEYOR'S CERTIFICATE:

To LAND TITLE GUARANTEE COMPANY and the TOWN OF MOUNTAIN VILLAGE, A HOME-RULE MUNICIPALITY AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(b), 8, 9, 11, 13, 16, 18, 19, and 20 (\$1,000,000) of Table A. The field work was completed on April 9, 2022.

Date: _____

David R. Bulson



LEGAL DESCRIPTION:

LOT 644, TELLURIDE MOUNTAIN VILLAGE, FILING 22, ACCORDING TO THE PLAT RECORDED SEPTEMBER 22, 1989 IN PLAT BOOK 1 AT PAGE 932, COUNTY OF SAN MIGUEL, STATE OF COLORADO. ("Original Lot 644 Plat")

NOTES:

- Easement research and property description according to Land Title Guarantee Company, Order Number ABS86012474, dated December 20, 2021 at 5:00 P.M.
- The Land does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency ("FEMA"). According to the Flood Insurance Rate Maps for San Miguel County, Colorado, Community Panel 081150287D, dated 08/30/1992 this property lies in Zone X, areas determined to be outside of the 500 year flood plain.
- BASIS OF BEARINGS.** The bearing along the Southern boundary of Lot 644, was measured to be N43°14'05" W using real time kinematic GPS survey. The end points of said western boundary are as monumented and described hereon.

- Lineal units represented hereon are shown in U.S. Survey Feet or a decimal portion thereof.
- This survey is valid only if a print has original seal and signature of surveyor.
- Any person who knowingly removes, alters, or defaces any public land survey monument and/or boundary monument or accessory, commits a class two (2) misdemeanor pursuant to C.R.S. 18-4-508.
- The word certify as used hereon means an expression of professional opinion regarding the facts of this survey and does not constitute a warranty or guarantee, expressed or implied.
- This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an express statement by the surveyor naming said entities.
- According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- There is no evidence of this lot being used as a solid waste dump, sump, or sanitary land fill.
- The "M" designation along the property line dimensions indicate "measured" dimensions according to this ALTA/NSPS Survey. The corresponding dimensions without the "M" designation are the dimensions according to the Original Lot 644 Plat.
- Contour interval is 2' (two) feet. Site Benchmark is an 8" spike driven flush with the ground along the south side of Access Tract 651. Elevation is 9137.44 on head of spike.

- Utilities shown hereon are according to best available records and site specific locates. The surveyor makes no assurance as to the accuracy or completeness of the information. Prior to any construction or site disturbance, the contractor is required to call the Utility Location Center of Colorado ("811") for a site specific Utility locate.
- The Town of Mountain Village Resolution 2008-0221-02, recorded March 6, 2008 at reception number 400294 changed the designated use of Lot 644 from "Employee Apartment" to "Employee Condominium". This document is not referenced on the Title Commitment but it was brought to attention of the Surveyor during the course of performing this ALTA/NSPS Land Title Survey.

TITLE COMMITMENT NOTES:

Land Title Guarantee Company, Order Number ABS86012474, dated December 20, 2022 at 5:00 P.M.

Schedule B-2 (TITLE EXCEPTION RESPONSE/CLARIFICATION)

- Site inspection and Survey performed by Bulson Surveying conditions shown hereon.
- There are portions of the surveyed property being used for non-motorized recreation although there were no Easements, liens or encumbrances, or claims thereof, not shown by the Public Records brought to the attention of this Surveyor during the course of this Survey.
- Site inspection and Survey performed by Bulson Surveying conditions are as shown hereon
- Not survey related.
- Not survey related.
- There is no evidence of this site being used for mining purposes. There were no ditches or water storage structures observed during the course of this survey
- The portions of Lot 644 being used for non-motorized recreation. There have been no off-record lease or tenancy agreements brought to the attention of Bulson Surveying during the course of preparing this ALTA/NSPS Survey
- The Plats noted within this exception pertain to the Town of Mountain Village as a whole and were not acknowledged or approved by the owner of the Subject Property at the time. It is the opinion of the Surveyor that they do not create any easements relevant to the property. It is beyond the scope of this survey to determine whether there are Conditions, Covenants, Restrictions or Notes contained within these Plats that affect the Property.
- Restrictive Covenants for the Mountain Village noted within this exception are blanket in nature and affect the Lot 644
- The Water and Sewer Tap Fee and Assignment and Assumption Agreements recorded at Book 435 page 603, Book 492, page 991, Book 573, page 237 and reception number 326037 affect Lot 644 and are blanket in nature.
- The facilities, water rights and easement agreement recorded April 27, 1992 in Book 491 at page 359 and as amended in instrument recorded November 13, 1992 in Book 501 at pages 433 and 437 and as amended in instrument recorded April 26, 1993 in Book 510 at page 8 and as amended in instrument recorded October 24, 1998 in Book 569 at page 668 does not appear to affect the property being surveyed, but the document speaks for itself as to its relevance to the subject property.

- The Plat of Telluride Mountain Village Filing 22 recorded September 22, 1989 in Plat Book 1 at page 932 "Original Lot 644 Plat" created a 16' general easement around the perimeter of Lot 644 as shown hereon. This Original Lot 644 Plat also imposed a use of "Employee Apartment" for future development of Lot 644. Occupancy of any structure located on Lot 644 is required to be in compliance with the "70-1 County Deed Restriction" noted on Sheet 1 of the Original Lot 644 Plat. The Original Lot 644 Plat provided for 41 Units with a density of 123 people on Lot 644.
- Terms, Conditions, Provisions, Burdens and Obligations as set forth in Employee Housing Land Exchange recorded October 05, 1989 in Book 458 at page 123 are blanket in nature and affect the entirety of Lot 644
- Reservation by the Telluride Company of all of the rights to mineral and oil, gas or other hydrocarbons located on, in or under the real property, without any right of surface entry for exploration, development or extraction. The Telluride Company covenants that it will not mine, extract, explore for or develop any of the minerals, oil, gas or other hydrocarbons located on, in or under the real property, all as contained in instrument recorded October 5, 1989, in Book 458 at page 147. There was no evidence of mining observed during the course of this survey.
- The Terms, Conditions, Reservations and Provisions as contained in Warranty Deed recorded October 5, 1989, in Book 458 at page 147 are blanket in nature and affect the entirety of Lot 644
- The Town of Mountain Village Employee Housing Restriction recorded September 08, 1997 in Book 586 at page 575 and as amended in instrument recorded October 12, 1999 under reception no. 329779 is blanket in nature and affects the entirety of Lot 644. These documents purport to replace the "70-1 County Deed Restriction" with the "Town of Mountain Village Employee Deed Restriction" for any Lots developed as "Employee Apartments" or "Employee Dormitories"
- Terms, Conditions and Provisions of Notice filed by San Miguel Power Association, Inc. recorded March 18, 1999 under reception no. 325020 are blanket in nature and affect the entirety of Lot 644
- The Assignment Agreement recorded March 29, 2005 under Reception no. 373519, Quit Claim recorded March 23, 2011 under Reception no. 417045, and Assignment, Conveyance, and Transfer of Density Units and Assumption of Obligations recorded March 23, 2011 under Reception no. 417047 appear to affect the allowable density and development rights associated with Lot 644. They are blanket in nature and affect the entirety of Lot 644.

ACCESS NOTES

- Access Tract F22-2 was created by the plat recorded at plat recorded September 22, 1989 in Plat Book 1 at page 932, County of San Miguel, State of Colorado ("Original Lot 644 Plat"). Use of this Tract is subject to the terms of the note labeled as "ACCESS TRACT" on Sheet 1 of the Original Lot 644 Plat.
- Access Tract 651 was created by the plat recorded November 17, 1993 in Plat Book 1 at page 1589, County of San Miguel, State of Colorado ("1993 Plat"). On the 1993 Plat, Access Tract 651, was created and included portions of property previously platted as Adams Ranch Road according to the plat recorded September 22, 1989 in Plat Book 1 at page 932, County of San Miguel, State of Colorado. The 1993 Plat does not contain any reference as to which lots can use Access Tract 651. The Original Lot 644 Plat designates the area platted as "Adams Ranch Road" as a "Private Drive"

RECORDER'S CERTIFICATE

Deposited this _____ day of _____, 20____, at _____ m., Reception number _____

San Miguel County Clerk

TOWN OF MOUNTAIN VILLAGE
vacant TBD, Adams Ranch Road
Mountain Village, CO, 81435

April 13, 2022

PROJECT NUMBER
22026

ALTA/NSPS LAND TITLE SURVEY
Lot 644, Town of Mountain Village

SE ¼ SE ¼ and NE ¼ SE ¼ Section 33
and SW ¼ SW ¼ Section 34
T. 43 N. R. 9 W. NMPM



BULSON
SURVEYING



SHEET INDEX:

ARCHITECTURAL

AA0.0	COVER SHEET, LIST OF SHEETS, PROJECT DATA
AA1.0	SITE PLAN
AA1.1	SITE SECTION
AA2.0	BUILDING A GARDEN LEVEL PLAN
AA2.1	BUILDING A FIRST LEVEL PLAN
AA2.2	
AA2.3	
AA3.0	BUILDING A ROOF PLAN / DETAILS
AA4.0	BUILDING A ELEVATIONS
AA4.1	BUILDING A ELEVATIONS
AA5.0	
AA6.0	
AA6.2	
AA7.0	
AA7.1	
AA8.0	A1 TYPICAL ONE BEDROOM UNIT PLANS
AA8.1	TYPICAL ONE BEDROOM UNIT / STUDIO PLANS
AA8.2	TYPICAL TWO BEDROOM UNIT PLAN
AA8.9	
AA9.0	
AA10.0	
AB2.0	BUILDING B GARDEN LEVEL PLAN
AB2.1	BUILDING B SECOND LEVEL PLAN
AB2.2	BUILDING B THIRD LEVEL PLAN
AB3.0	
AB4.0	BUILDING B ELEVATIONS
AB4.1	BUILDING B ELEVATIONS
AC2.0	BUILDING C LOWER LEVEL PLAN
AC2.1	BUILDING C MAIN LEVEL PLAN
AC2.2	BUILDING C UPPER LEVEL PLAN
AC3.0	
AC4.0	BUILDING C ELEVATIONS
AC4.1	BUILDING C ELEVATIONS

PROJECT DATA

OWNER: MOUNTAIN VILLAGE

OWNER REPRESENTATIVE:	TRIUMPH WEST DEVELOPMENT, LLC MICHAEL O'CONNOR (970) 688-5057 12 VAIL ROAD, SUITE 700 VAIL, CO 81657
ARCHITECT:	TRIUMPH CUSTOM HOMES MIKE FOSTER (303) 475-4413 12 VAIL ROAD, SUITE 700 VAIL, CO 81657
SOILS:	TRAUTNER GEOTECH, LLC JONATHAN BUTLER (970) 259-5095 649 TECH CENTER DRIVE, SUITE A DURANGO, CO 81301
CIVIL / CIVIL ENGINEERING:	SGM 118 W SIXTH ST. SUITE 200 GLENWOOD SPRINGS, CO 81601 JEVON POSTON 970 - 384-9058
RADON MITIGATION:	
LANDSCAPE DESIGN:	OUTSIDE LA SANDI GIBSON (303) 517-9256 BOULDER / STEAMBOAT SPRINGS, CO
STRUCTURAL ENGINEERING:	IMEG - GRAIG CARROLL 1400 GLENARM PLACE, SUITE 100 DENVER, CO 80202 (303) 807-8403



VICINITY MAP



NORTH

MOUNTAIN VILLAGE NEIGHBORHOOD

LOT 644.
MOUNTAIN VILLAGE, CO. 81435

FOR SALE RESIDENTIAL UNITS
1 MULTIFAMILY BUILDING
13 UNITS

- UNIT TYPES:
- 3 STUDIO UNITS
- 8 ONE BED UNITS
- 2 TWO BED UNITS

UPHILL TOWNHOMES: WITH GARAGES

- 4 TWO BED / TWO BATH UNITS
- 2 THREE BED / THREE BATH UNITS
- ALL HAVE 320SF GARAGE

DOWNHILL TOWNHOMES: NO GARAGES

- 8 TWO BED / TWO BATH UNITS
- 6 THREE BED / THREE BATH UNITS
- 14 CARPORTS WITH STORAGE

MOUNTAIN VILLAGE
SAN MIGUEL COUNTY, COLORADO

NOTES:

1. BUILDING CODES:

ALL WORK SHALL COMPLY WITH THE CURRENT CODES, THE INTERNATIONAL BUILDING CODE 2015. INCLUDING THE INTERNATIONAL ENERGY CODE 2018, THE INTERNATIONAL PLUMBING AND MECHANICAL CODES, THE CURRENT NEC AND ALL LOCAL CODES HAVING JURISDICTION.

2. PROPOSED BUILDING TYPE:
TYPE V-A, NFPA 13R SPRINKLED BUILDING
OCCUPANT GROUP:
R-2 - 200 SF / OCCUPANT
MINIMUM FIRE RESISTIVE REQUIREMENTS:
STRUCTURAL FRAME 1 HR
BEARING WALLS 1 HR
FLOOR CONSTRUCTION 1 HR
ROOF CONSTRUCTION 1 HR

OCCUPANCY SEPARATION:
1 HR.

FIRE PROTECTION SYSTEM SUBMITTED SEPRATELY (SECTION 903.3)

SMOKE DETECTION SHALL BE PROVIDED THROUGHOUT.

FIRE ALARM SYSTEM (SECTION 907) PROVIDED THROUGHOUT

3. PROPOSED ENERGY COMPLIANCE: CLIMATE ZONE 5A
WINDOW AND DOORS, U-0.32 OR LESS.
R-VALUES,
CEILINGS AND ROOFS, R-38
WALLS, R-21
FLOORS, R-19
SLAB PERIMETER AND DEPTH, R10/24-IN
STORAGE SPACE, R-10/13

4. AREA CALCULATIONS:

TRIUMPH

WEST

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MV NEIGHBORHOOD

LOT 644
ADAMS RANCH ROAD
MOUNTAIN VILLAGE, COLORADO

Revisions:

Sheet title

COVER SHEET

Stamp

Date: 4/27/2022

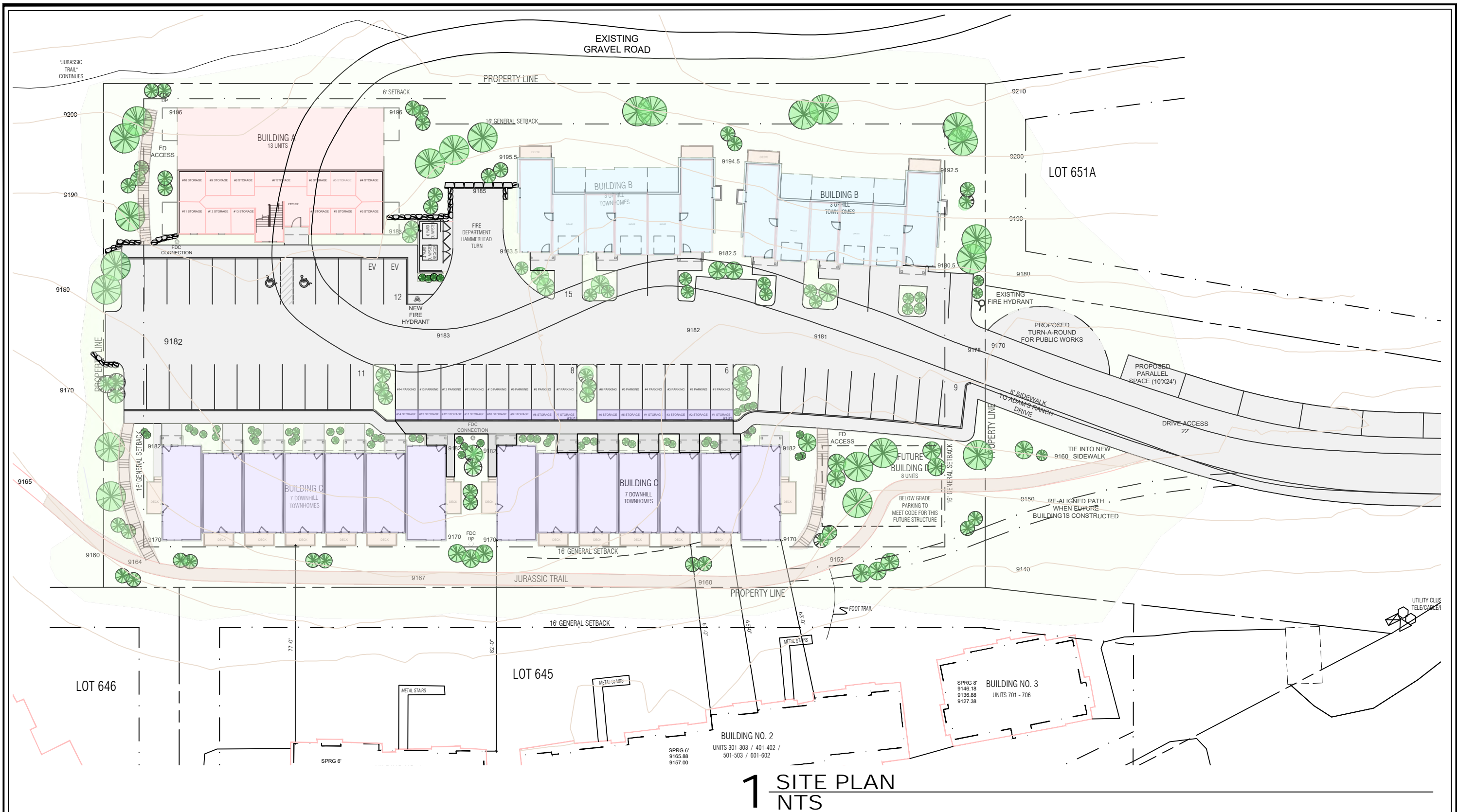
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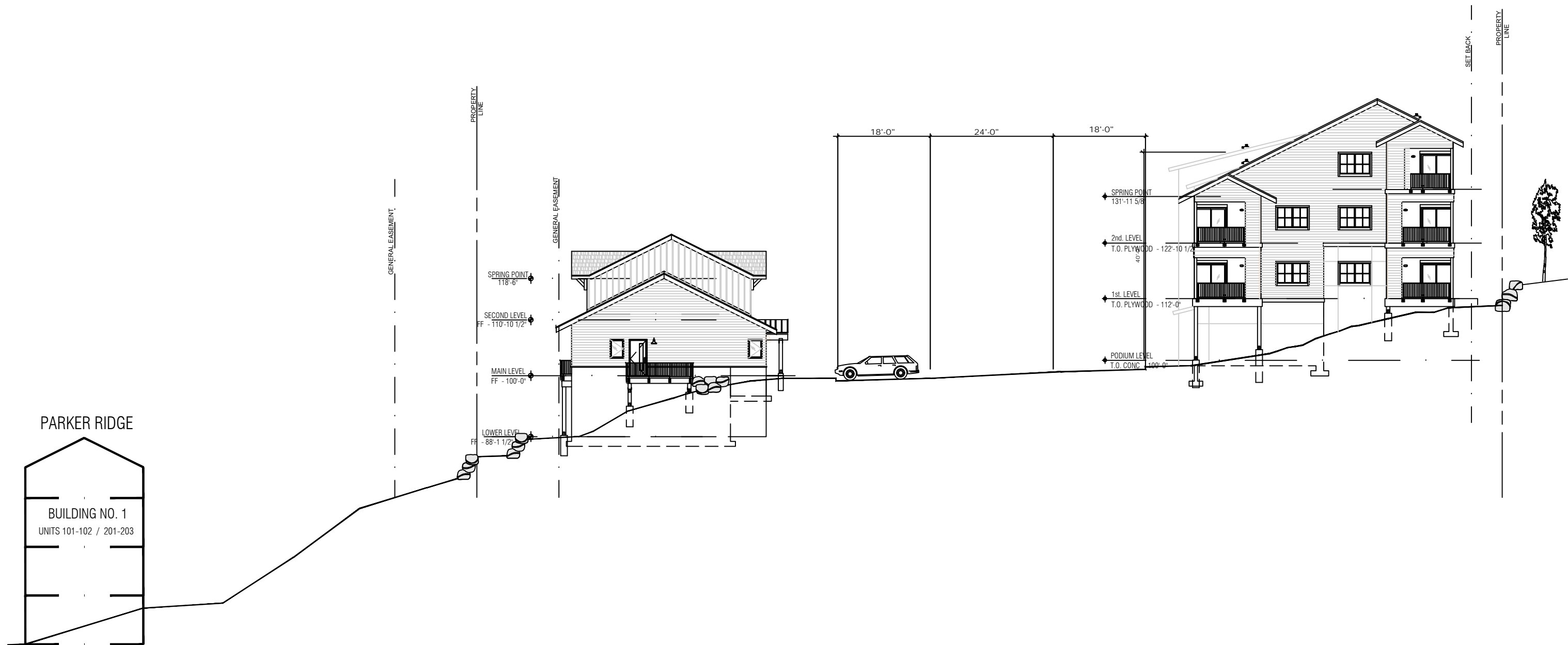
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Checked by: MEP

Sheet

AA0.0





PARKER RIDGE

BUILDING NO. 1
UNITS 101-102 / 201-203

1 SITE SECTION - THROUGH PARKER RIDGE NTS

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LOT 644
MOUNTAIN VILLAGE, COLORADO

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Job No:
Drawn By: MEF
Date: 4/25/2022
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SITE = 7332.0 SF

LOT 651

SITE PLAN STUDY

15 UNITS

35 PARKING SPACES

- 5 SURFACE SPACES
- 30 DRIVE/GARAGE SPACES

15 FOR SALE TOWNHOMES
(WITH GARAGES)

CONCEPT STUDY ONLY
NOT A PART OF THE LOT 644 APPLICATION

0 10 30 50



SITE = 70131.6 SF

JURASSIC VILLAGE

SITE PLAN STUDY

33 UNITS

- 61 PARKING SPACES
(PLUS PARALLEL ALONG ACCESS)
- 32 SURFACE SPACES
 - 14 CARPORTS / STORAGE
 - 15 DRIVE/GARAGE SPACES

13 CONDO UNITS
10 ONE BED / ONE BATH UNITS
3 STUDIO UNITS

6 FOR SALE TOWNHOMES
(WITH GARAGES)
14 FOR SALE TOWNHOMES
(NO GARAGES)

0 10 30 50



1 SITE PLAN
1" = 30'-0"

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MV NEIGHBORHOOD

LOT 644
ADAMS RANCH ROAD
MOUNTAIN VILLAGE, COLORADO

Revisions:

Sheet title
SCHEMATIC
SITE PLAN

Stamp

Date: 4/27/2022

Project No:

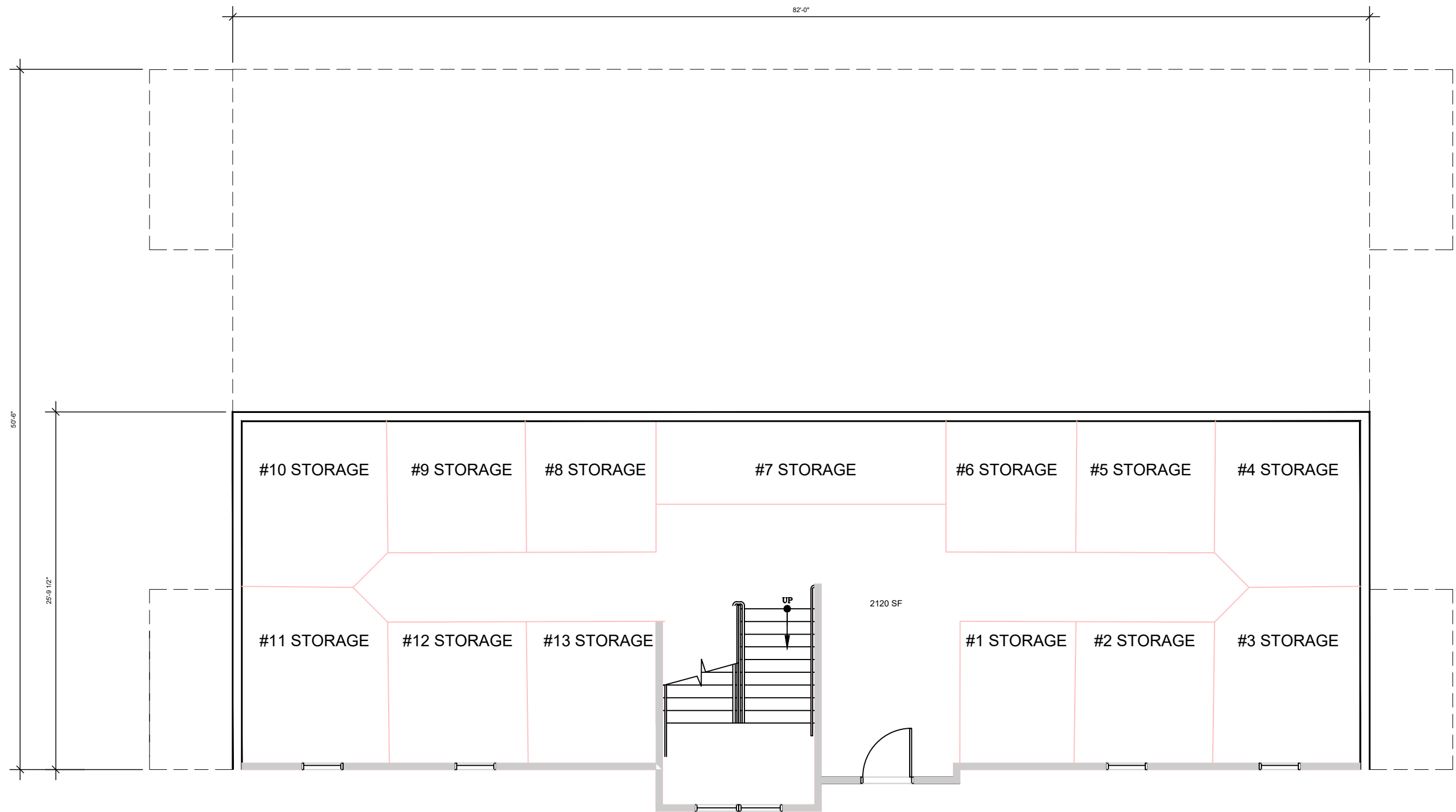
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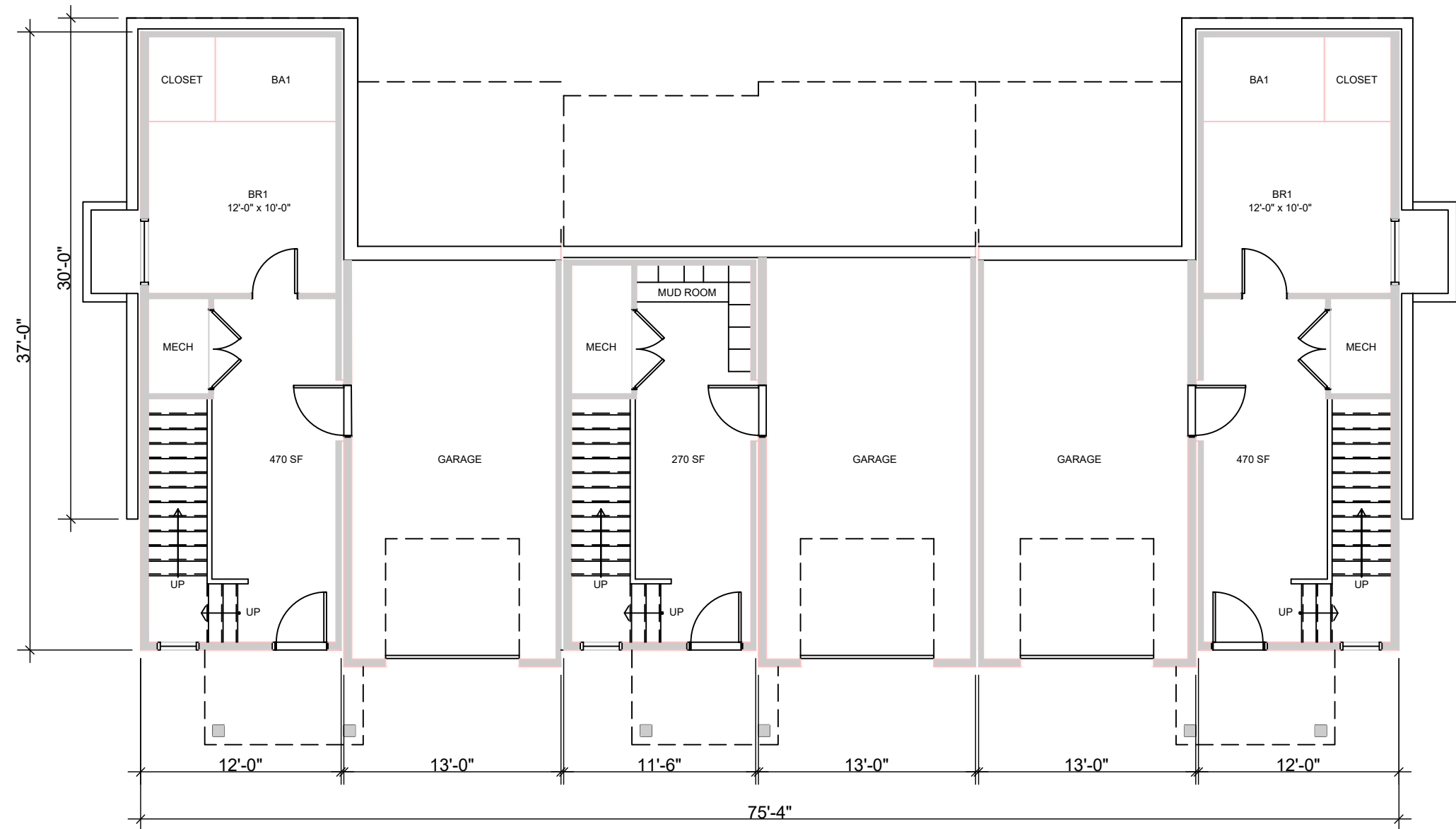
A1.2

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1 BUILDING A - GROUND LEVEL PLAN
NTS

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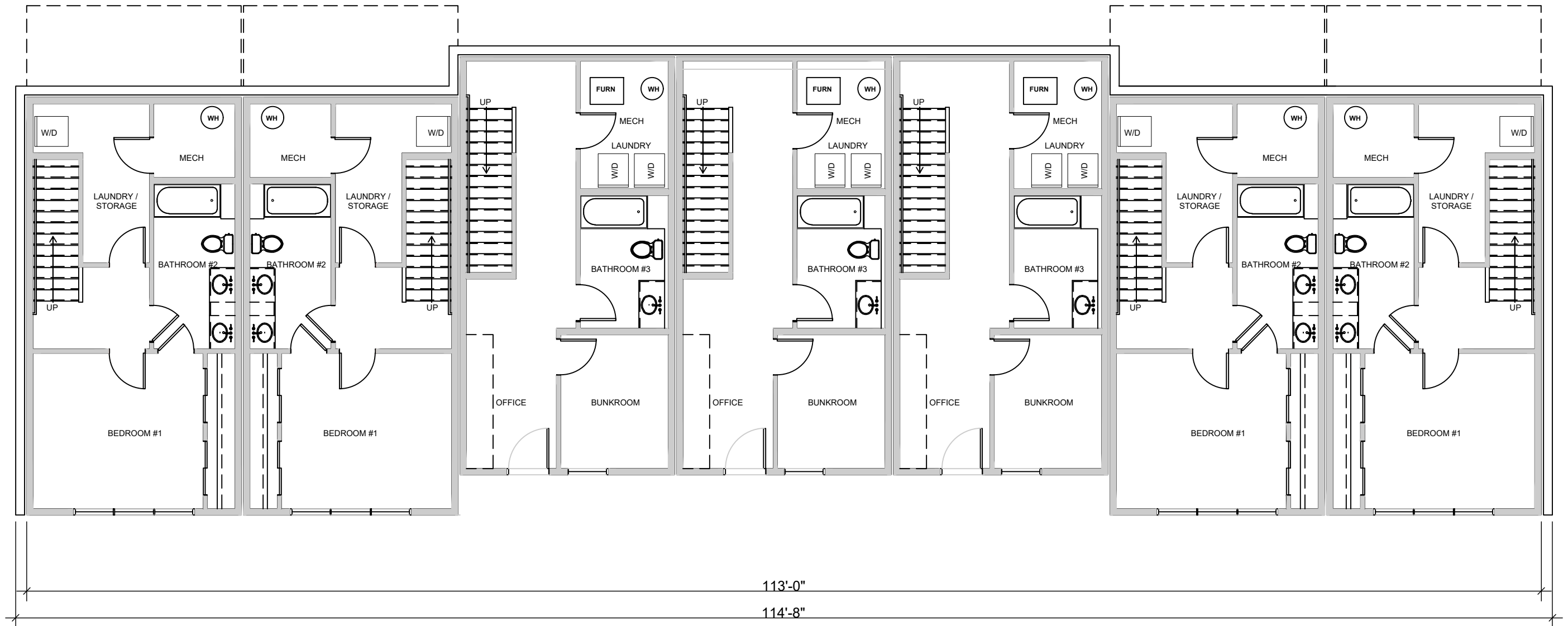
1 BUILDING B - TYPICAL LOWER LEVEL BUILDING PLAN NTS

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LOT 644
MOUNTAIN VILLAGE, COLORADO

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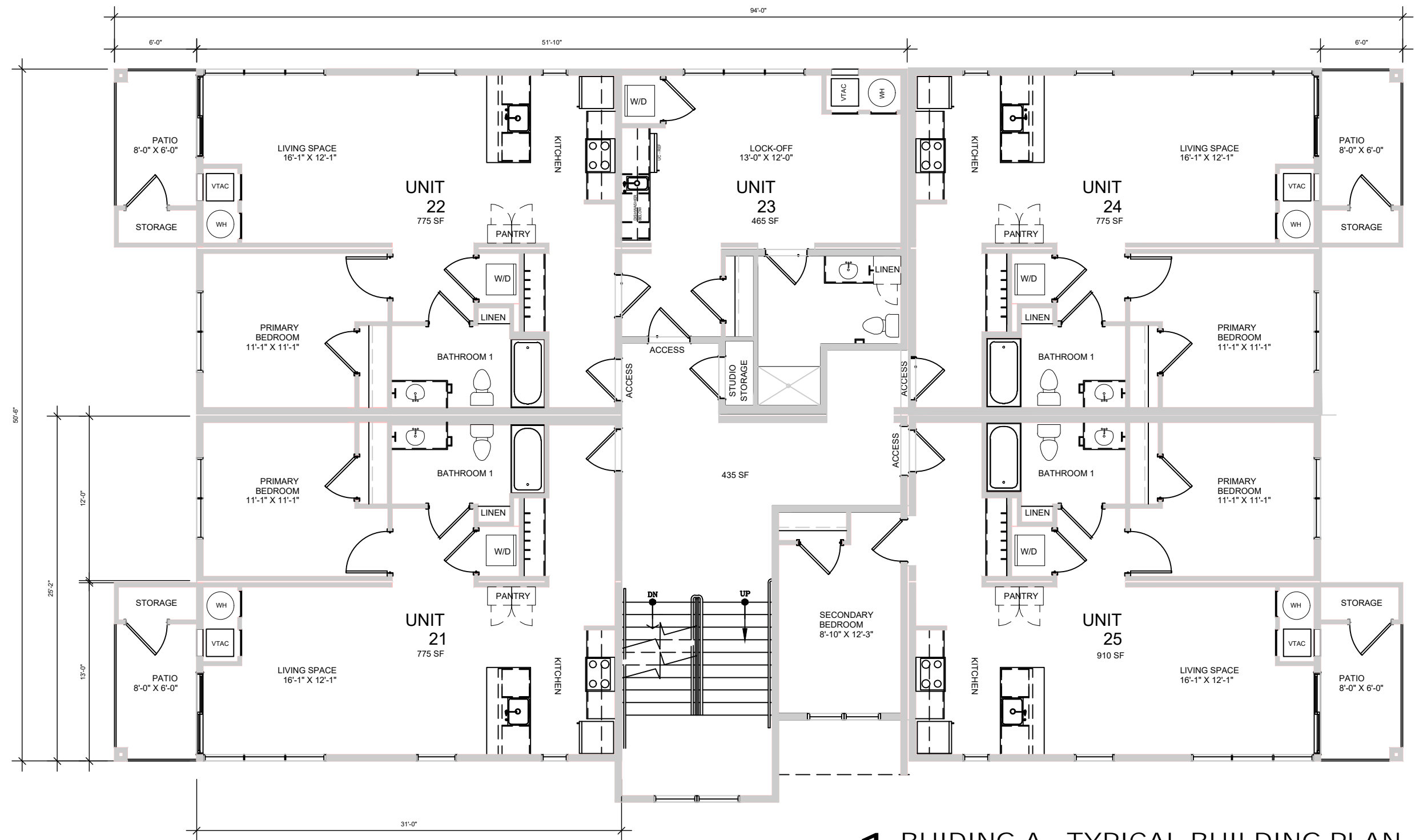
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Date: 4/25/2022
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AB2.0



1 TOWNHOMES C2 - TYPICAL LOWER LEVEL BUILDING PLAN
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			Date: 4/25/2022	
			Scale:	



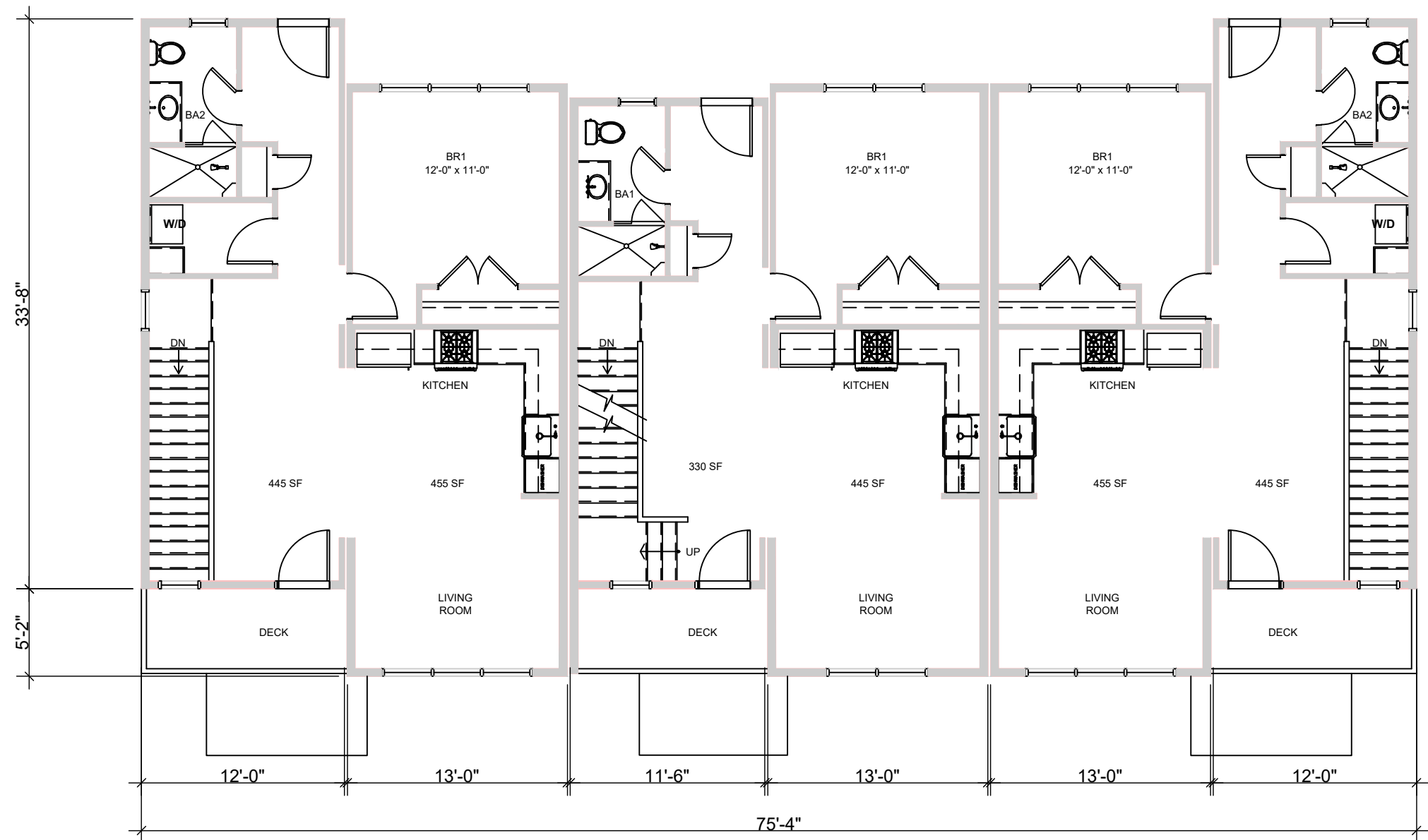
1 BUILDING A - TYPICAL BUILDING PLAN
NTS

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LOT 644
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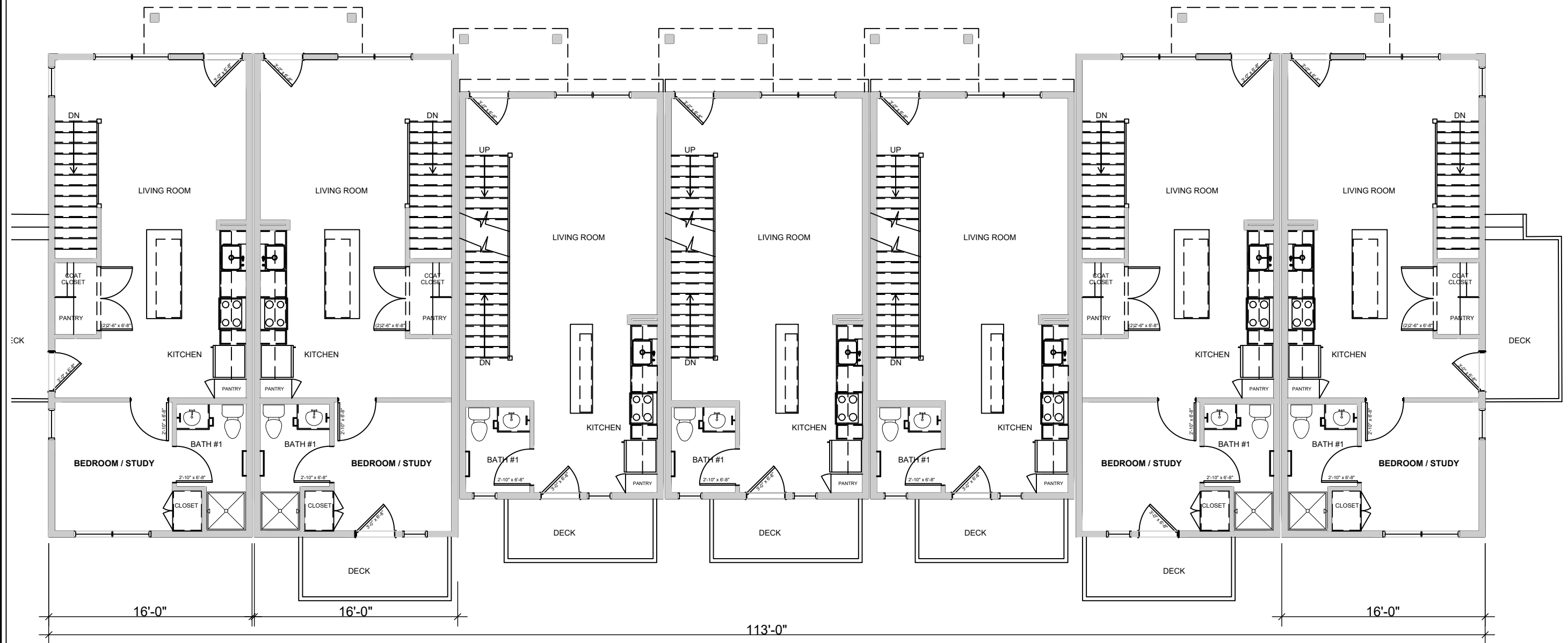
1 BUILDING B - TYPICAL MAIN LEVEL BUILDING PLAN NTS

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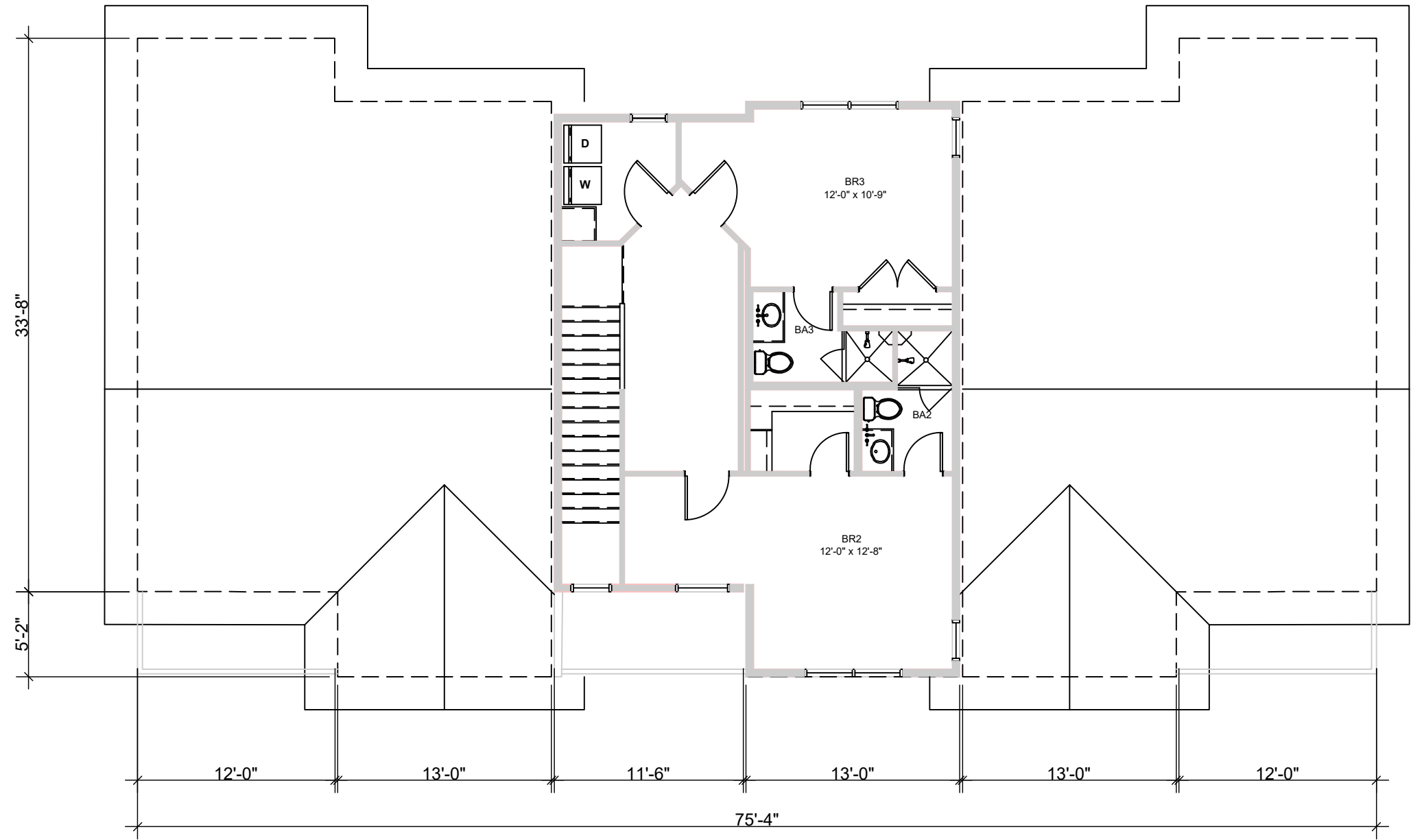
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DOWNHILL TOWNHOME

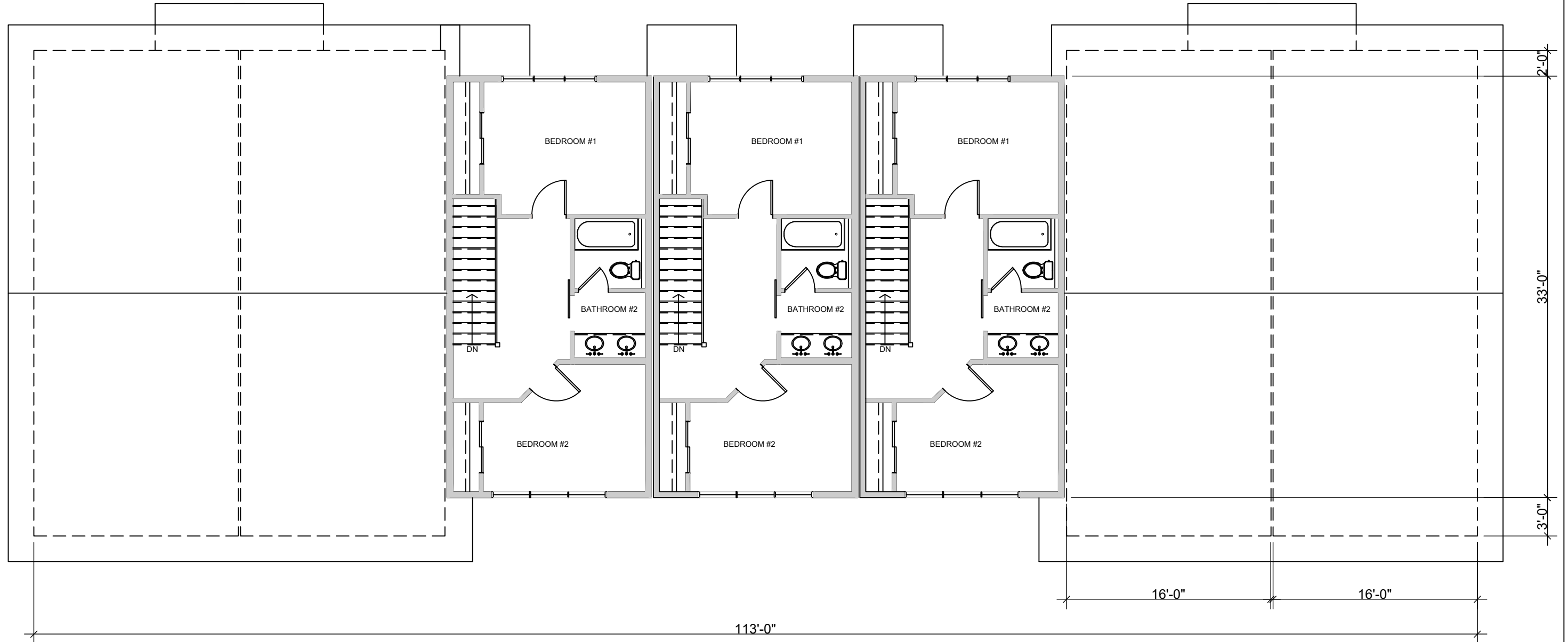
1 TOWNHOMES C2 - TYPICAL MAIN LEVEL BUILDING PLAN NTS

MOUNTAIN VILLAGE NEIGHBORHOOD LOT 644 MOUNTAIN VILLAGE, COLORADO	TRIUMPH WEST		Job No:	Sheet No:
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			Date: 4/25/2022	
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1 BUILDING B - TYPICAL UPPER LEVEL BUILDING PLAN
NTS

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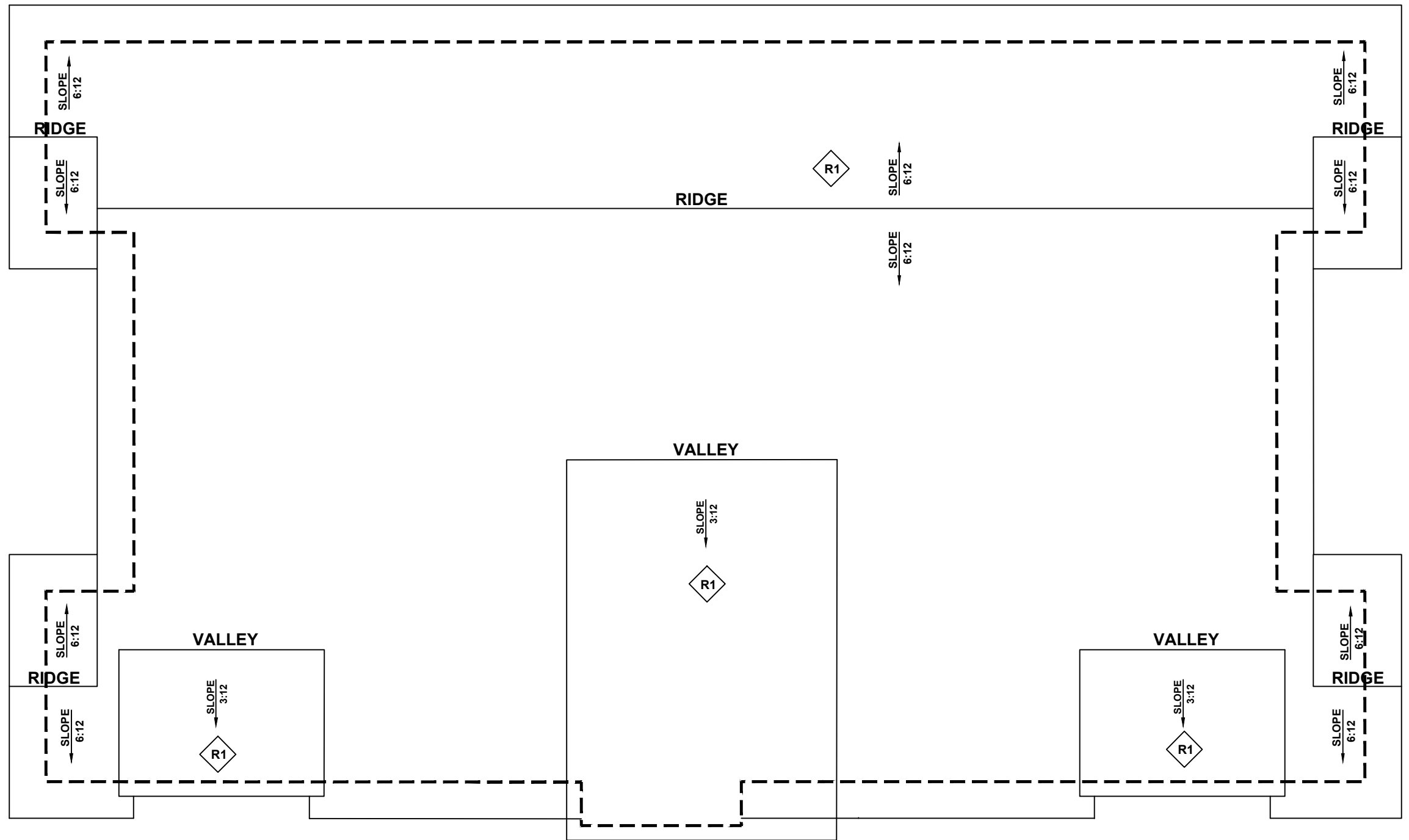
1 TOWNHOMES C2 - TYPICAL UPPER LEVEL BUILDING PLAN
NTS

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1 BUILDING A - ROOF PLAN
NTS

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1 BUILDING A - SOUTH ELEVATION
NTS

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1 BUILDING B - SOUTH ELEVATIONS NTS

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		Drawn By: MEF	
		Date: 4/25/2022	
		Scale:	



1 TOWNHOMES C2 - WEST ELEVATIONS
NTS

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			Date: 4/25/2022	
			Scale:	

BUILDING A - EXTERIOR FINISH SCHEDULE

TAG	ITEM	MATERIAL	COLOR
R1	PRIMARY ROOF	CORRUGATED METAL ROOFING	RUSTIC
R2	SECONDARY ROOF	STANDING SEAM METAL	BRONZE
D1	DRIP EDGE	ALUMINUM (PREFINISHED)	MATCH ADJACENT ROOF
F1	FASCIA @ R1	2X10 CEDAR	
F3	SOFFIT	VENTED V-GROOVE PLYWOOD	
S1	HORIZONTAL LAP SIDING	1X8 CEDAR	
S3	BOARD AND BATTEN	CEDAR SIDING 2.5" OVER RS PLYWOOD	
S2	STONE	NATURAL STONE VENEER	GALLEGOS #303 NORTHSTAR
S4	METAL SIDING PANELS	METAL WALL SYSTEM - PBC	RUSTIC
W1	DOORS AND WINDOWS	PREMIUM VINYL	BRONZE
T1	DOORS AND WINDOWS TRIM	2X4 AND 2X6 CEDAR TRIM, SEE DETAILS	MATCH FIELD
T2	SIDING TRIM	2X4 RS CEDAR	MATCH FIELD
T3	HORIZONTAL SIDING TRIM @ ENTRY	2X CEDAR	MATCH FIELD
T4	INSIDE CORNER TRIM	2X CEDAR	MATCH FIELD
T5	OUTSIDE CORNER TRIM	2X CEDAR	MATCH FIELD
T6	FRIEZE TRIM	2X CEDAR	SW - CHESTNUT 3524
MTL1	METAL RAILING	CUSTOM DESIGN	POWDER COAT - BRONZE

1. IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.
2. ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOXES, AND SIMILAR ITEMS SHALL BE PAINTED TO MATCH ADJACENT PORTIONS OF BUILDINGS UNLESS OTHERWISE NOTED.
3. TYPICAL SIDEWALL FLASHING: ICE&WATER SHIELD 2'-6" VERT UP WALL; WRAP INTO OPENINGS, THEN APPLY TYVEK FLASHING TAPE AROUND PENETRATING PIPE.
METAL FLASHING EXPOSED 6" UP WALL: TYPICAL AT ALL SIDEWALL CONDITIONS.



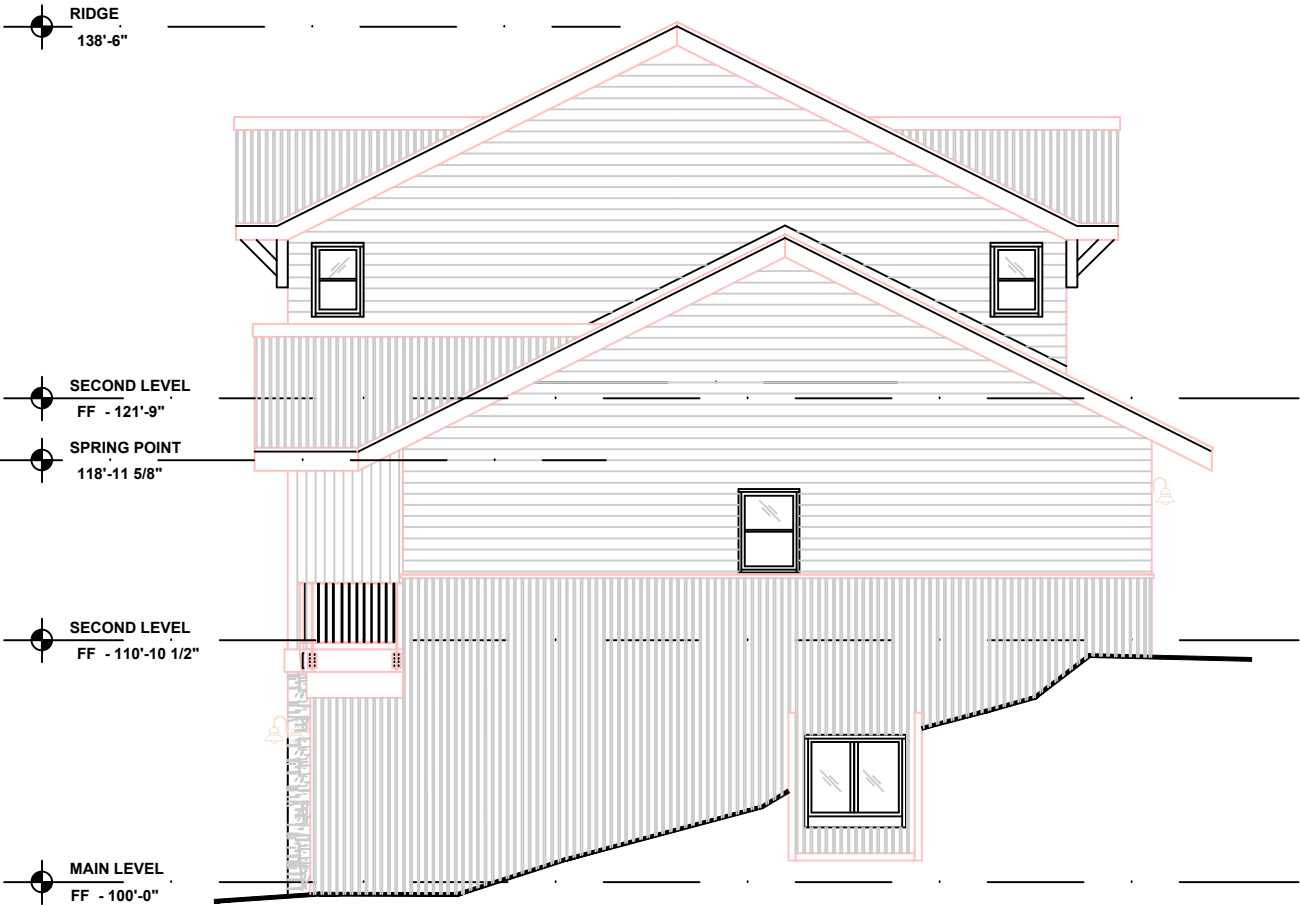
1 BUILDING A - EAST ELEVATION
NTS

MOUNTAIN VILLAGE NEIGHBORHOOD LOT 644 MOUNTAIN VILLAGE, COLORADO	TRIUMPH WEST 105 Edwards Village Blvd #C201 Edwards CO 81632 P.O.Box 2444 www.triumphdev.com	Job No:	Sheet No: AA4.1
		Drawn By: MEF	
		Date: 4/25/2022	
		Scale:	

Townhome B - Exterior Finish Schedule

TAG	ITEM	MATERIAL	COLOR
R1	PRIMARY ROOF	CORRUGATED METAL ROOFING	RUSTIC
R2	SECONDARY ROOF	STANDING SEAM METAL	BRONZE
D1	DRIP EDGE	ALUMINUM (PREFINISHED)	MATCH ADJACENT ROOF
F1	FASCIA @ R1	2X10 CEDAR	
F3	SOFFIT	VENTED V-GROOVE PLYWOOD	
S1	HORIZONTAL LAP SIDING	1X8 CEDAR	
S3	BOARD AND BATTEN	CEDAR SIDING 2.5" OVER 1/2" RS PLYWOOD	
S2	STONE	NATURAL STONE VENEER	GALLEGOS #303 NORTHSTAR
S4	METAL SIDING PANELS	METAL WALL SYSTEM - PBC	RUSTIC
W1	DOORS AND WINDOWS	PREMIUM VINYL	BRONZE
T1	DOORS AND WINDOWS TRIM	2X4 AND 2X6 CEDAR TRIM, SEE DETAILS	MATCH FIELD
T2	SIDING TRIM	2X4 RS CEDAR	MATCH FIELD
T3	HORIZONTAL SIDING TRIM @ ENTRY	2X CEDAR	MATCH FIELD
T4	INSIDE CORNER TRIM	2X CEDAR	MATCH FIELD
T5	OUTSIDE CORNER TRIM	2X CEDAR	MATCH FIELD
T6	FRIEZE TRIM	2X CEDAR	SW - CHESTNUT 3524
MTL1	METAL RAILING	CUSTOM DESIGN	POWDER COAT - BRONZE

1. IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.
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3. TYPICAL SIDEWALL FLASHING: ICE&WATER SHIELD 2'-6" VERT UP WALL; WRAP INTO OPENINGS, THEN APPLY TYVEK FLASHING TAPE AROUND PENETRATING PIPE. METAL FLASHING EXPOSED 6" UP WALL: TYPICAL AT ALL SIDEWALL CONDITIONS.



1 BUILDING B - EAST ELEVATION
NTS

MOUNTAIN VILLAGE
NEIGHBORHOOD
LOT 644
MOUNTAIN VILLAGE, COLORADO

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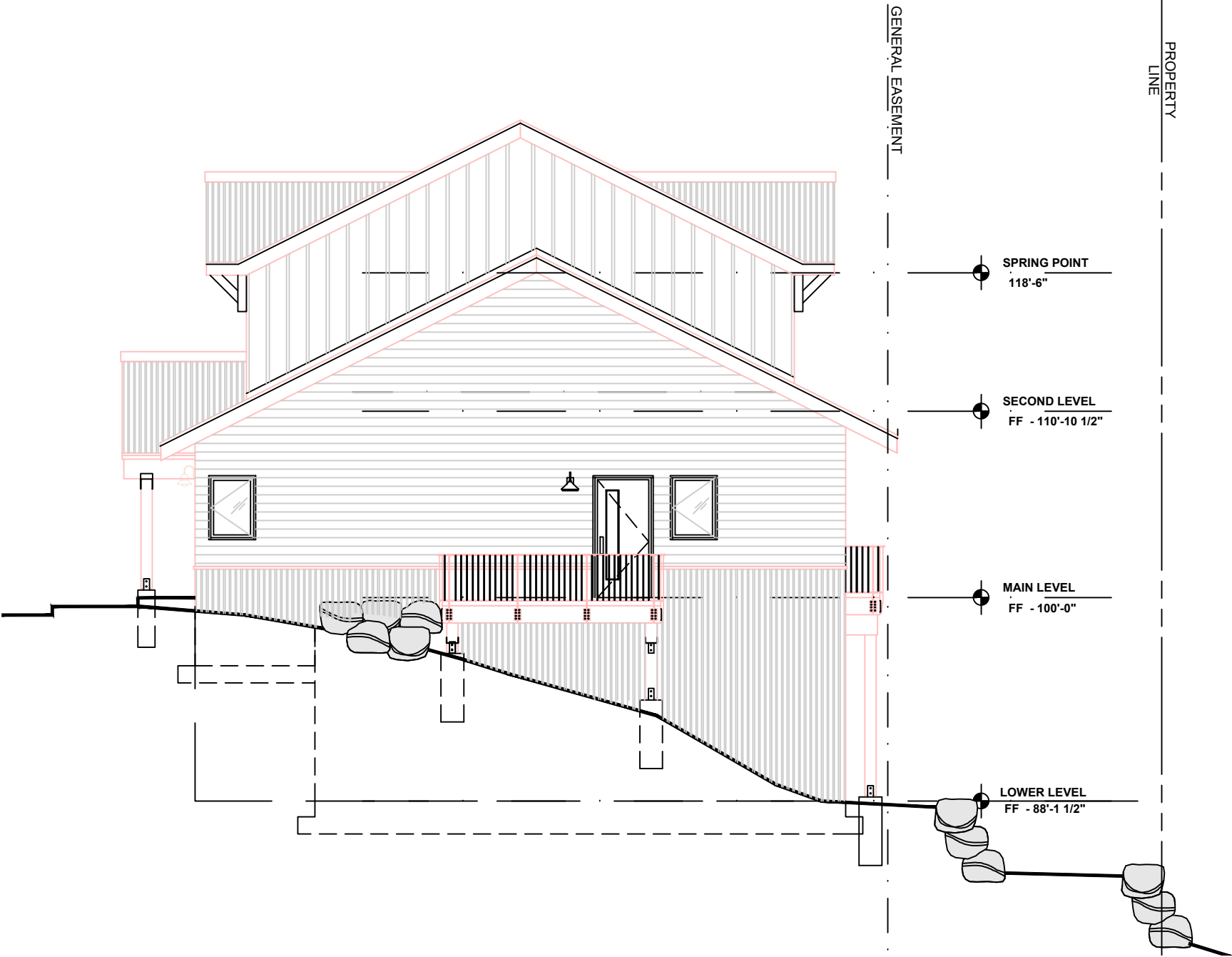
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TOWNHOME C - EXTERIOR FINISH SCHEDULE

TAG	ITEM	MATERIAL	COLOR
R1	PRIMARY ROOF	CORRUGATED METAL ROOFING	RUSTIC
R2	SECONDARY ROOF	STANDING SEAM METAL	BRONZE
D1	DRIP EDGE	ALUMINUM (PREFINISHED)	MATCH ADJACENT ROOF
F1	FASCIA @ R1	2X10 CEDAR	
F3	SOFFIT	VENTED V-GROOVE PLYWOOD	
S1	HORIZONTAL LAP SIDING	1X8 CEDAR	
S3	BOARD AND BATTEN	CEDAR SIDING 2.5" OVER RS PLYWOOD	
S2	STONE	NATURAL STONE VENEER	GALLEGOS #303 NORTHSTAR
S4	METAL SIDING PANELS	METAL WALL SYSTEM - PBC	RUSTIC
W1	DOORS AND WINDOWS	PREMIUM VINYL	BRONZE
T1	DOORS AND WINDOWS TRIM	2X4 AND 2X6 CEDAR TRIM, SEE DETAILS	MATCH FIELD
T2	SIDING TRIM	2X4 RS CEDAR	MATCH FIELD
T3	HORIZONTAL SIDING TRIM @ ENTRY	2X CEDAR	MATCH FIELD
T4	INSIDE CORNER TRIM	2X CEDAR	MATCH FIELD
T5	OUTSIDE CORNER TRIM	2X CEDAR	MATCH FIELD
T6	FRIEZE TRIM	2X CEDAR	SW - CHESTNUT 3524
MTL1	METAL RAILING	CUSTOM DESIGN	POWDER COAT - BRONZE

1. IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.
2. ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOXES, AND SIMILAR ITEMS SHALL BE PAINTED TO MATCH ADJACENT PORTIONS OF BUILDINGS UNLESS OTHERWISE NOTED.
3. TYPICAL SIDEWALL FLASHING: ICE&WATER SHIELD 2'-6" VERT UP WALL; WRAP INTO OPENINGS, THEN APPLY TYVEK FLASHING TAPE AROUND PENETRATING PIPE. METAL FLASHING EXPOSED 6" UP WALL: TYPICAL AT ALL SIDEWALL CONDITIONS.



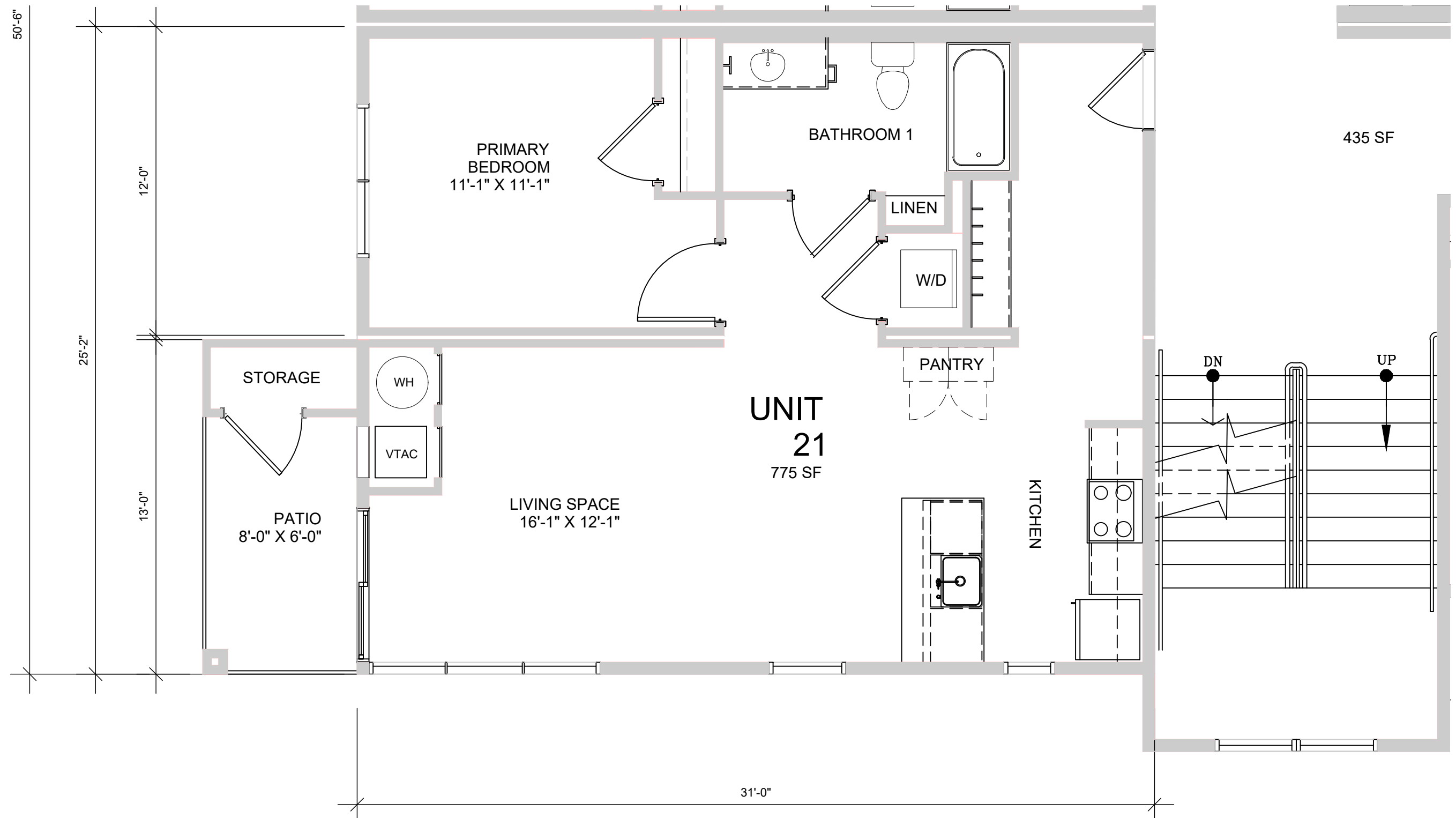
1 TOWNHOMES C - SOUTH ELEVATIONS
NTS

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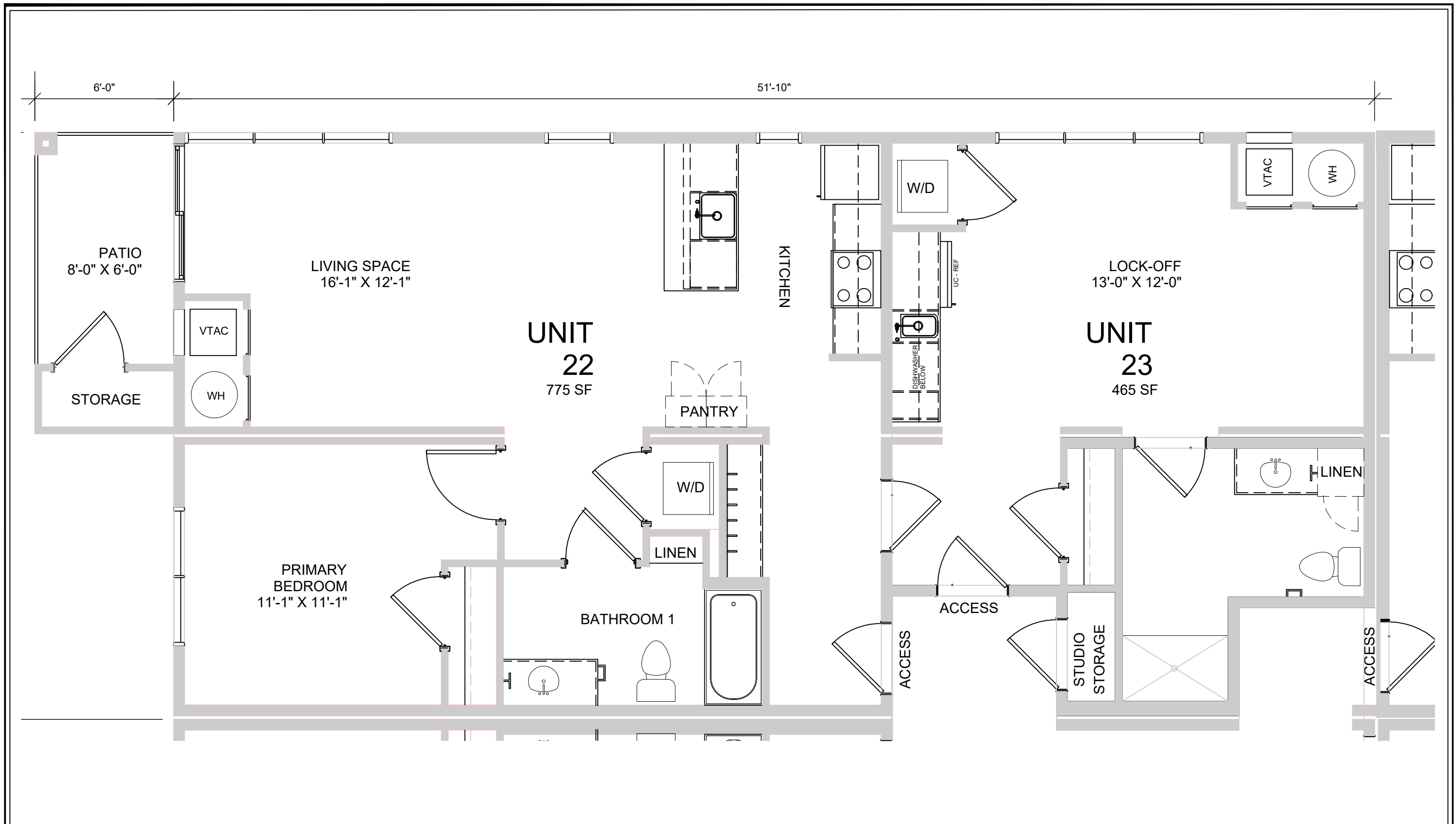
1 BUILDING A - TYP. ONE BEDROOM PLAN
NTS

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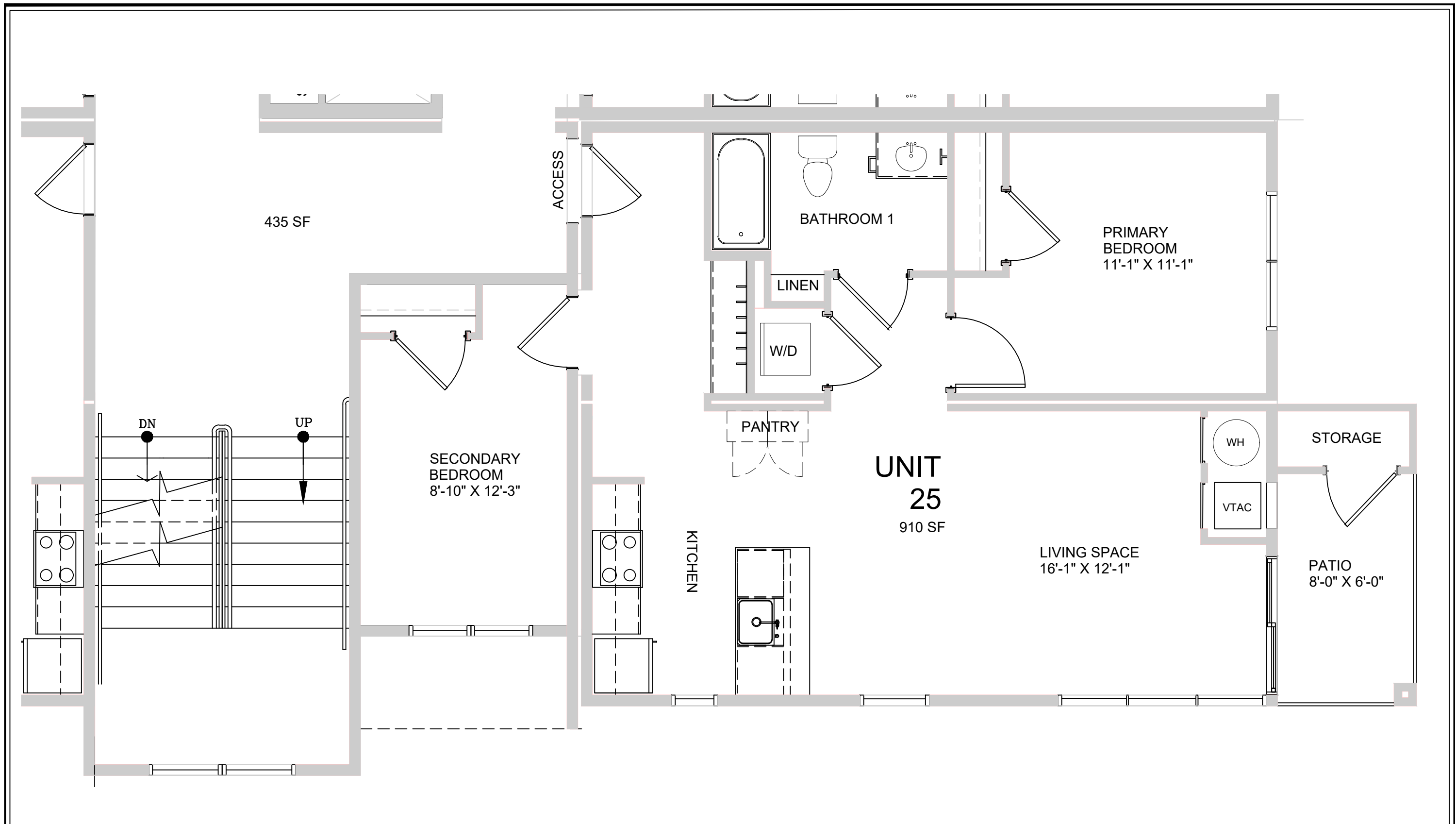
1 BUILDING A - ONE BEDROOM PLAN
NTS WITH LOCK OFF

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1 BUILDING A - TWO BEDROOM PLAN
NTS

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Drawn By: MEF
Date: 4/25/2022
Scale:

Sheet No:
AA8.2

John A. Miller

From: Heather Knox <hknox9500@gmail.com>
Sent: Wednesday, April 27, 2022 11:28 PM
To: John A. Miller
Subject: Input for DRB on 644 development

Design Review Board,

Thank you very much for allowing me to provide comments on the 644 project and request further information.

Heather Knox
Meadows Advisory Board Member
327 Adams Ranch Road

TRIUMPH DEVELOPMENT

- The diagrams provided to the Meadows Advisory Board subcommittee in our packet for the 4/20/22 MRAB meeting do not have clear numbers indicating the feet on the elevation diagrams, and the site plan. This information needs to be clarified and provided.
- The developer of 644 offered to erect story poles for the MRAB to review. This is necessary. When will this be completed?
- Please provide clear corners of the property for review as well.
- There are 33 homes in this proposed development. Parker Ridge has 21 units in a similar mixture of 1, 2, and 3 bedroom units. This proposed development is 1/3 larger. As shown in the plans provided to MRAB, this complex dwarfs Parker Ridge. Roof height numbers are not discernible in the plans provided, but it is obvious in the Site Section, document A1.1 This complex is significantly larger. A Town of Mountain Village value is that all development fits the size and scale and the character of the community. The proposed development does NOT fit the scale of our community.
- The developer needs to provide Site Section renderings for ALL of the Parker Ridge buildings, not just Building 1. Building 1 has a mild elevation change compared to the hillsides for buildings 2-6. Each building needs a Section rendering.

PROXIMITY TO PARKER RIDGE/JURASSIC TRAIL/SAFETY

- This project is shown to be 20 yards from Parker Ridge. This large scale development is far too close to Parker Ridge. The maps are not clear in the MRAB packet, but it appears that development is right at the 16' minimum set back from the property line to the buildings; this is the minimum possible set back possible and it is not adequate.
- It would be helpful to the developer to explore parking in front of the Condominium buildings, rather than behind. This could provide a greater buffer between the complexes.
- The re-routing of the Jurassic Trail is proposed to be right on the property line, below this housing complex. The rerouted Jurassic trail will be far too close to Parker Ridge. This proximity will be very dangerous for our residents and pets, and for the biking public - many of whom are beginners. The developer/town need to demonstrate that this re-routing is beneficial for the trail system, and it is not just squeezed in as an afterthought.
- Jurassic is an important trail for commuting; it needs to continue to satisfy the Mountain Village value supporting multimodal transportation.

- The development needs to provide a sidewalk through the property so all Meadows residents can access Jurassic and the Meadows trail safely (trails supporting multimodal transit)

SITE ISSUES

It is critical that any development above Parker Ridge adequately address the following:

- Drainage - Culverts and a drainage plan for the water draining from the roofs, driveways, and snow removal of this development needs to be shown. Parker Ridge needs the existing landscaping (and more) in place in order to maintain the hillside.
- Heavy rains (monsoonal and other) could easily wash out the hillside causing **mudslides** into the Parker Ridge buildings. This would be destroy the lower levels of Parker Ridge.
- Rock fall - How will rock fall be mitigated during construction and once the development is in place? Terracing, retaining wall, or fencing on the hillside needs to be shown.
- Trees absolutely need to be planted along the length of the development for erosion control, and privacy for Parker Ridge residents.

POPULATION

- In the MRAB meeting the developer was asked to provided an estimated population, which has not been provided yet. Looking at the mix studios, 1 bedroom, 2 bedroom condominium, and the 20 Town Houses (2 & 3 bedroom) we need a population estimate with a realistic number of people sharing bedrooms. My estimate is ~110+ people living in this development. It would be helpful to see how the developer perceives the number of people living on 644.

PARKING & TRAFFIC

- Given a population of ~110+ people, traffic will be a significant disturbance to Parker Ridge. It will be very noisy and degrade our air quality with emissions, dust and debris.

- The entrance to the development off Adams Ranch Road must be significantly upgraded for traffic safety.
- Adequate parking for residents and their guests needs to be provided on-site. A Meadows parking solution has not been developed/completed. Overflow elsewhere is not a solution. Meadows parking needs to be prioritized prior to further development. If not, Parker Ridge will have additional non-residents parking in our parking lot.

OTHER ISSUES

Other factors that need to be considered:

- Emergency egress - until a reasonable emergency egress plan is adopted for the Meadows, there should be no additional development. Our community needs safety and a second access road for emergencies.
- Noise - At the MRAB meeting the developer said the building include air conditioning. Air conditioning is noisy. This will be a disturbance to serenity valued by Mountain Village residents and excessive energy use.
- Light pollution - This development will generate significant light pollution; we need our dark skies.
- Public Transportation - a population of 110+ people will further stress our public transportation system. Public

transportation infrastructure improvements needs to happen prior to development.

- Congestion on roadways - there is only one way in and one way out of the Meadows. Additional congestion will affect residents not only in the Meadows but also on Russel and Double Eagle, and all homes on Adams Ranch Road.

Thank you very much for considering my concerns. I look forward to hearing how these points will be addressed.

Many thanks,

Heather Knox

327 Adams Ranch Road, #402

Sent from my iPad

John A. Miller

From: Joan May <joan@joanmay.org>
Sent: Wednesday, April 27, 2022 10:39 PM
To: cd
Subject: Lot 644

Dear DRB members,

Thank you for considering comments from neighbors on Lot 644.

In the Meadows, the town-owned Lot 644 has been platted for deed restricted housing since the Mt Village incorporated in the early 90s. In the interim time, the Meadows has grown into a lovely, vibrant neighborhood of workforce housing. The Meadows is 3.3% of Mt Village's land, and currently houses 63%, or about 900 of MV's 1430, of the town's year round residents on 57 acres of land. That's a lot of density here! Please be sure that development on Lot 644 fits in character with the neighborhood and doesn't detract from the livability of the Meadows.

This proposal was first presented on March 31st, and is already being reviewed by DRB without significant alterations to it and with little time for the public to review it. Neighbors have been asking for story poles and for a rendering of the plan that shows how this project fits in to the neighborhood, and neither of these has happened yet. This process needs to be slowed down to give adequate time for review and deliberation by staff, DRB, council, and neighbors.

The 644 proposal is for 33 new units, which would make it the most units of any project in the Meadows. That will have a big impact on the neighborhood.

It will sit 63 feet away from the existing Parker Ridge development, which is too close!

Mountain Village must consider carbon-neutral and water-efficient development for any new project in the Meadows, as it will surely be in our codes before long. When the latest International Panel on Climate Change report sounds the siren that we must do everything in our power now to reduce emissions if we hope to avert the worst of climate change, it's unconscionable that we would consider any development that doesn't utilize renewable energy. This is SO against Mt Village's values!

This development will be built on the hillside above the Meadows, therefore light pollution will affect all of the Meadows and surrounding area, and all traffic to this site will go through the Meadows, impacting all existing residents. It will be built on top of the existing Jurassic Trail, a favorite for hikers and bikers of the region. So the trail will have to be moved into a narrow, shady site, squeezed tightly between two housing developments. Mountain Village residents have been clear that protecting trails and open space, as well as protecting quality of life in the Meadows are the highest priorities.

Mt. Village is worried that costs will go up if this project is delayed, citing that Village Court Apartment additions costs have gone up 40% in three years. But we do not know what will happen in the near future: if prices and costs will go up or down or stay the same. Government is not supposed to be reactive. Government moves slowly for a reason: to be deliberate, thoughtful, thorough and inclusive. That land has sat vacant all these years, rushing it now is too much, too fast, for Mt Village to do well. Please take your time to consider all the ramifications of this large new development.

I have lived in the Meadows since before the town's incorporation, and I've supported every development in the Meadows until the last two. Enough is enough. The Meadows cannot continue to be the dumping ground for all the density. If lot 644 is developed for deed restricted housing, it must be in a way that doesn't disturb or alter the quality of life for existing residents, and the process must be slow enough for time for careful planning.

Thanks you!

Joan May 308 Adams Ranch Road Unit 12



TO: Mountain Village Design Review Board (DRB)
FROM: John Miller, Principal Planner
FOR: April 22, 2022
RE: Amending the Municipal Code: Creation of a Public Art Commission

PART I. Overview

The Town has proposed to amend the municipal code to create Chapter 2.18: Public Art Commission. This amendment would establish a Public Art Commission to review art proposals located in a plaza area, right-of-way or other public space where the art is intended to be enjoyed by residents and visitors the Mountain Village. Although the DRB does not typically weigh in on Municipal Code amendments outside of Title 17: Community Development Code (CDC) this amendment would also require portions of the CDC to also be modified to align with the new Public Art Commission provisions. The DRB should review the proposal and provide a recommendation to Town Council regarding the changes.

With the success of The Cabins at Mountain Village, the Town's Business Development Advisory Committee (BDAC) recognizes the positive economic impact of public art. Through a recommendation of the BDAC committee, a Public Arts Commission will streamline the process of public art approvals and encourage applications.

PART II. Proposed Amendment Discussion

The following formatting styles are used for the proposed code language:

Regular Text = Existing code language to remain

Underline = Proposed new language

~~Strikethrough~~ = Language proposed for removal

(***) = Portion of existing code removed to shorten length of report

Proposed Amendment 1: Amending Title 2 of the Municipal Code to create Chapter 2.18: Public Art Commission

Title 2 Administration and Personnel

2.18 Public Art Commission

2.18.10 Established

The Public Art Commission (PAC) is hereby established to review the placement of public art in plaza areas, right-of-way, or other public spaces

2.18.20 Membership

The Public Art Commission shall consist of five (5) regular members who shall be appointed by the Town Council. At least three (3) regular members shall be qualified electors of the Town and, at the time of his or her appointment, each shall have been a resident of the Town for at least six (6) months. Of the five (5) regular members, one (1) member shall be from the Town Staff, one (1) member shall be from the Town Council; two (2) members shall be an artist or arts professional; and one (1) member shall be from the public at large.

2.18.30 Terms – Vacancies

The PAC shall be appointed by the Town Council and shall hold office at its pleasure. Terms shall be for two (2) years. Any member may be removed with or without cause by a majority vote of the Town Council. Any vacancy shall be filled by the Town Council.

2.18.40 Organization and Meetings

- A. The members of the Public Art Commission shall elect from its regular membership a Chairperson, whose term of office in such capacity shall be for one (1) year with eligibility for reelection. The Public Art Commission shall adopt rules for its organization and for the transaction of business. Such business shall not conflict with the ordinances of the Town or applicable laws of the State.
- B. All meetings shall be open to the public, and the Public Art Commission shall keep a public record of its proceedings. Meetings shall be held as needed.

2.18.50 Powers and Duties

The following powers and duties of the Public Art Commission shall include, but not be limited to, the following:

- A. To review and make decisions on request for public art on Town Plazas, rights-of-way, parks, or other public space where the art is intended to be enjoyed by residents and visitors of the Mountain Village.
- B. To develop, maintain, and oversee a policy and review criteria for the display of arts on Town-owned properties and other public spaces.

2.18.60 Definition of Public Art

Public art shall be defined as a temporary, noncommercial expression of creative skill or imagination in a visual form, in any media. Public art shall

be planned and executed with the intention of being staged on public property, plaza areas, sidewalks, streets, or in other areas outside and accessible to all. Public art does not include commercial speech and signs are not included within this definition and are otherwise regulated by Section 17.5.13 and defined in Section 17.8 of the Community Development Code.

Certain standards are included in the definition for the purpose of preventing distraction to vehicular and pedestrian traffic and providing certain reasonable safeguards that will protect the quiet enjoyment of adjacent property or property from which such expression is visible. Those standards are as follows:

- A. The size and manner of the expression do not negatively affect the safe and efficient flow of pedestrian and/or vehicular traffic; restrict ingress and egress to any structure; interfere with the operations of neighboring businesses; or prevent the quiet enjoyment of adjacent property or property from which such expression is visible; and
- B. The expression does not negatively affect public health, safety, or welfare, nor does it create a public nuisance; and
- C. The expression is not generally accepted as a seasonal or holiday display, political campaign advertisement, yard ornament, furniture, or mass-produced statuary or decoration.

2.18.70 Exemption from Design Review

In that public art, as applied for and granted under the terms of this article, is to be transitory and temporary in nature, the architectural, design regulations as set forth or incorporated into Title 17, Community Development Code, shall not be applied or controlling in the evaluation, approval or denial of public art, and applications as submitted under this Chapter shall be exempt from the review and jurisdiction Design Review Board.

Proposed Amendment 2: Amending Title 17 of the Municipal Code, Section 17.5.12:Lighting Regulations

(***)

B. *Exterior Lighting Permittable with Review.* The basic guideline for exterior lighting is for it to be subdued, understated and indirect to minimize the negative impacts to surrounding lots and public rights-of-way. The location of exterior lighting that meets the requirements of this section shall only be allowed at:

1. Buildings where Building Codes require building ingress and egress doors;
2. Pedestrian walkways or stairs;
3. Plaza areas and other public areas where lighting is required;

4. Surface parking lots;
5. Signs;
6. Address identification or address monuments;
7. Flags;
8. ~~Public art;~~
9. 8. Driveways;
10. 9. Streetlights; and
11. 10. Swimming pools, spas and water features.

(***)

E. *Exemptions.* The following types of exterior lighting shall be exempt from the Lighting Regulations:

(***)

9. Lighting associated with Temporary Public Art as defined in Chapter 2.18 of the Municipal Code.

Proposed Amendment 3: Amending Title 17 of the Municipal Code, Section 17.5.14: Public and Private Art

17.5.14 ~~Private and Public Art.~~

A. *Private Art.*

(***)

~~B. *Public Art.*~~

~~1. Public art may be located on a lot provided:~~

~~a. A class 3 development application is submitted and approved by the DRB;
and~~

~~b. The DRB finds the public art meets the art criteria for decision.~~

~~2. *Art Criteria for Decision.*~~

~~a. The following criteria shall be met for the review authority to approve public art:~~

- ~~i. The proposed public art is appropriate and fits within the high alpine mountain context and contributes towards achieving the Town design theme;~~
 - ~~ii. The proposed public art has an appropriate scale with the surrounding development;~~
 - ~~iii. The proposed public art is appropriate for public viewing;~~
 - ~~iv. The proposed public art is constructed of high quality, durable materials that will withstand the high alpine environment; and~~
 - ~~v. The proposed public art meets all applicable Town regulations and standards.~~
- ~~b. It shall be the burden of the applicant to demonstrate that submittal material and the proposed public art complies with the criteria for decision.~~

Proposed Amendment 3: Amending Title 17 of the Municipal Code, Section 17.8.1: Definitions

(***)

~~*Art, Public.* Art that is proposed to be located in a plaza area, right of way or other public space where the art is intended to be enjoyed by residents and visitors.~~