



TO: Mountain Village Design Review Board

FROM: Design Workshop on behalf of the Town of Mountain Village

FOR: Design Review Board Public Hearing; October 6, 2022

DATE: October 6, 2022

RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot SS811, 2 Mountain Village Boulevard pursuant to CDC Section 17.4.11

APPLICATION OVERVIEW: New Single-Family Home on Lot SS811

PROJECT GEOGRAPHY

Legal Description: LOT SS811
TELLURIDE MOUNTAIN
VILLAGE ACC TO PLAT BK 1 PG
1555 8-23-93

Address: 2 Mountain Village
Boulevard

Applicant/Agent: Allison Miller,
Short Elliott Hendrickson Inc

Owner: 2 Mountain Village LLC,
Matthew Shear

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: 5.673 acres

Adjacent Land Uses:

- **North:** Open Space
- **South:** Single-Family
- **East:** Single-Family
- **West:** Open Space



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comments

Case Summary: Allison Miller of Short Elliot Hendrickson LLC is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot SS811, 2 Mountain Village Boulevard.

The proposed design consists of two structures, a main house and a detached accessory dwelling unit referred to as the guest house in the application materials. The main house reads as a single-story structure with a subgrade lower level identified as an unfinished basement. The structure utilizes a combination of multiple gabled roof forms. The guest house is a one and a half story building that also uses multiple gabled roof forms. The lot is located near the entrance to Mountain Village and has a mildly steep topography that slopes downwards approximately 15 feet to the north of the site.

Lot SS811 has an adjacent lot, Lot OSP-18A, which is zoned as dedicated open space that sits between Lot SS811 and Mountain Village Boulevard. Since the wetlands sit on the eastern edge of the property, there would be no way to provide street access for the site without dramatically impacting the wetlands area. The application materials reference a Maintenance and Access Easement Agreement that allows for Lot SS811 to be accessed from Mountain Village Boulevard through Lot OSP-18A with minimal impact on the wetlands on the property.

The lot is approximately 5.673 acres and is zoned single-family. The main house is approximately 13,013 square feet and provides for six interior parking spaces. The guest house is approximately 1,430 s.f. of finished space with additional unfinished and garage square footage for a gross total of 2,194 square feet and has one interior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gabled) Maximum	29'-2" (main house)
Avg. Building Height	35' (gabled) Maximum	18'-7"
Maximum Lot Coverage	20% (49,423 sq ft)	6% (15,167 sq ft)
General Easement Setbacks	No encroachment	none
Roof Pitch		
Primary		4:12
Secondary		4:12
Exterior Material		
Stone Veneer	35% minimum	56% (main) 45% (guest)
Windows/Door Glazing	40% maximum	25% (main) 22% (guest)
Parking	2 interior/2 exterior	6 interior 1 interior (guest)

Design Variations:

1. *Road and Driveway Standards *IF APPROVED AS PROPOSED*

Design Review Board Specific Approvals:

1. *Exterior Building Materials – metal fascia*
2. *Road Right of Way encroachment – insubstantial*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.3, 17.3.4 Use Schedule & Specific Zone District Requirements

Staff: The applicant has identified that an accessory dwelling unit (referred to as the guest house) to be developed on the site along with the main house. According to Table 3-1 Town of Mountain Village Land Use Schedule, this is a permitted use in the Single-Family zone district. According to 17.3.4.F.5.c.ii the maximum allowable square footage for an accessory dwelling unit is 1,500 s.f.. This proposal includes 1,430 of livable square footage, 434 s.f of garage space, and a large basement area shown as “unfinished space”. Past approvals of accessory dwelling units have interpreted the code to allow for interior garage space that does not count towards the maximum square footage for an ADU. The applicant should provide more information regarding the unfinished space and if allowed, we would include a covenant or restriction to ensure that the space be maintained as unconditioned basement area in perpetuity.

17.3.13 Maximum Lot Coverage

Staff: The maximum lot coverage for single-family homes with lots over five acres is 20 percent. On this site, the maximum allowable site coverage is 49,423 square feet. With both the main house and the cabin, the site only covers 15,197 square feet, or 6 percent of the site, and is well below the 20 percent threshold.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a combination of gabled roof forms. Homes with a primary shed roof form are allowed a maximum building height of 40 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined that the primary roof forms for this main home and cabin are both shed and therefore granted a maximum height of 40’ and an average height of 35’ for both structures. The applicant has calculated a maximum height of 29’-2” and an average height of 18’7” for the main house. The applicant has not identified these height calculations for the guest house and as a requirement, this will be a condition of approval and shall be submitted prior to final review.

Figures 2-5 below depict the height calculations for the main house.

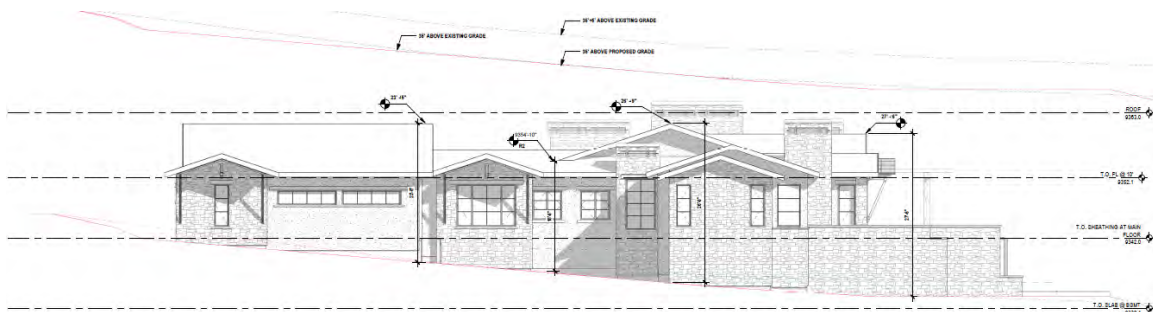


Figure 2: East Elevation – Height (Main House)

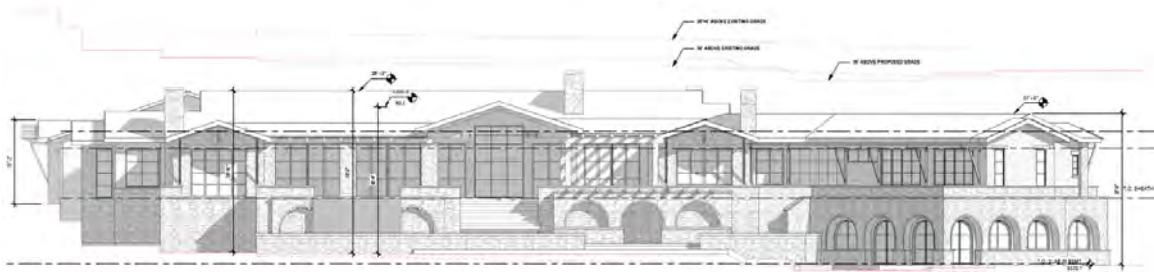


Figure 3: North Elevation – Height (Main House)

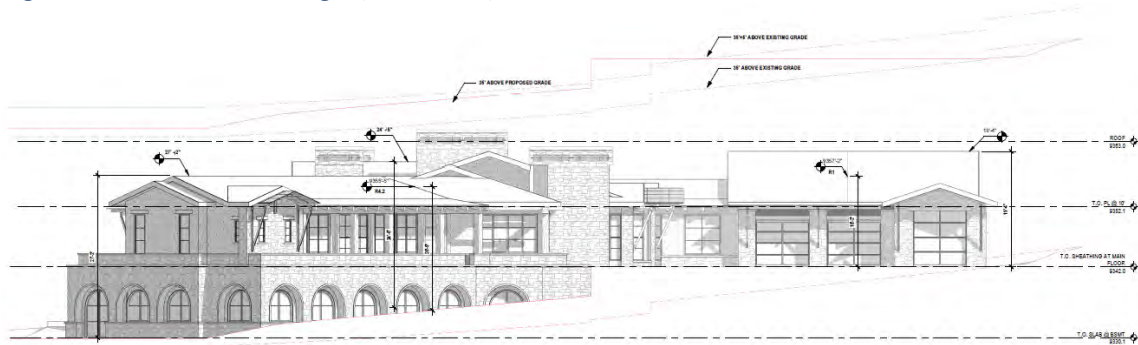


Figure 4: West Elevation – Height (Main House)



Figure 5: South Elevation – Height (Main House)

17.3.14: General Easement Setbacks

Lot SS811 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes some encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The driveway as shown currently takes access from Mountain Village Boulevard and crosses the General Easement to the homesite.*
- *Utilities: Utilities are located in Mountain Village Boulevard and cross the northern GE to the lot.*

An address monument is proposed to be located within the road right of way. This is approvable by DRB if deemed insignificant by the Board and as long as the Public Works Director has no objection.

Regardless of the encroachment, any development within the General Easement or road right of way will require the owner and the Town to enter into a Revocable Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The materials chosen are a combination of stone veneer, stucco and heavy timber, which should create an exterior capable of withstanding the high alpine environment and reinforce the Town's aesthetic goals. However, the overall style appears to be more Mediterranean than mountain, and the DRB should discuss if the design is consistent with the town's design standards.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The layout of the structures is focused on the views to the north and northeast while avoiding the wetlands on the site.

The site slopes down from south to north which the applicant has utilized to place the main level of the house at one story, as to not obstruct the views for the neighbors, and place a second story below grade but following the slope and allowing for a full level to be exposed on the north elevation. The development does not propose grading, clearing, direct drainage, direct access, or other direct impact onto the adjoining properties.

The applicant has demonstrated that this site adheres to the goals outlined in section 17.5.5 of the CDC.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. The CDC requires roof design

elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape. *Figure 6 illustrates the proposed design.*

Figure 6: Perspective view of the proposed main house from the Southeast



Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:

The forms of the proposed residential structures generally follow alpine mountain designs that are well grounded to withstand the extreme natural forces of wind, snow, and heavy rain. The proposed use of the stone at the base of the structures reinforces this requirement, as does the more traditional roof forms on the main level.

Exterior Wall Form:

The proposed development has exterior walls that are relatively elaborate, with a significant number of non-orthogonal accents and windows. The massing is substantially grounded to the site, however it does not appear to reinforce the mountain character of Mountain Village. A more simple window and wall form would be more consistent with the requirements.

Roof Form:

The shed roof for both structures is made of brown standing seam metal and has a roof plane with a 4:12 pitch. Both structures depict a roof form that is broken into multiple pieces in accordance to the CDC requirements, as shown in Figures 7 and 8.

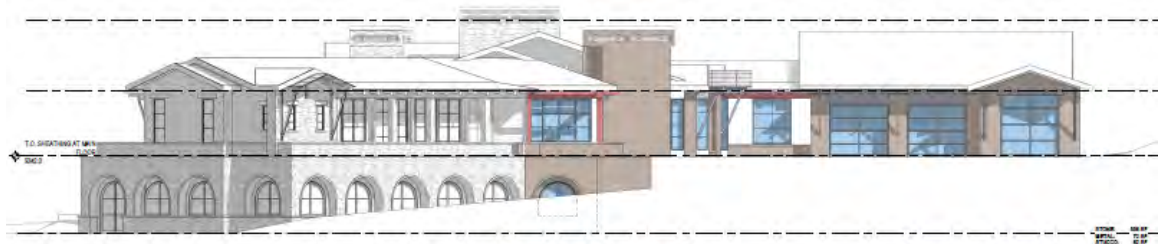


Figure 7: Main House Elevation (multiple roof forms)



Figure 8: Cabin Elevation (multiple roof forms)

Chimneys, Vent and Rooftop Equipment Design:

The applicant has not identified the fuel source for their proposed fireplace. If the fireplace is wood burning, the installation of a spark arrester and demonstration of necessary wood burning permits is required. The proposed equipment meets the requirements of the CDC.

Exterior Walls Materials and Color:

The exterior design of both structures incorporate stone, stucco, and heavy timber building materials. Stucco is an allowable material outside of the Village Center as long as it presents as a subordinate material. The materials calculations show that in both the main house and the ADU, stucco is subsidiary to stone. The color palette is primarily brown, with a brown metal roof, natural wood details, and blue mountain ledgestone veneer. The applicant has identified that the soffit will be made of cedar and that the fascia will be made of a black aluminum. Since the fascia will be made of metal, a specific DRB approval will be required as outlined in section 17.5.6.C.3.h.ii. of the CDC.

Glazing:

The window area of the building, including window and door glazing, is 25 percent of the total building façade for the main house and 22 percent for the cabin. Exhibit A Sheet A10 shows the window schedule which includes non-orthogonal arch windows and standard rectangular window types. Windows for both structures are trimmed with dark bronze anodized aluminum. The non-orthogonal windows evoke a more Mediterranean style than a mountain style.

Doors and Entryways:

The applicant has not provided a door schedule for either structure, nor provided detail regarding garage doors. These details shall be provided prior to final review.

Decks and Balconies:

The proposed deck for the main house and balconies for both structures enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC.

Required Surveys and Inspections:

A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design

Staff: The applicant is proposing a change to grading along the driveway. There is a small amount of grading necessary to create positive drainage away from both the main house and the guest house. Outside of the creation of the driveway there is no proposed disturbance in the GE area. Figure 9 depicts the grading plan.

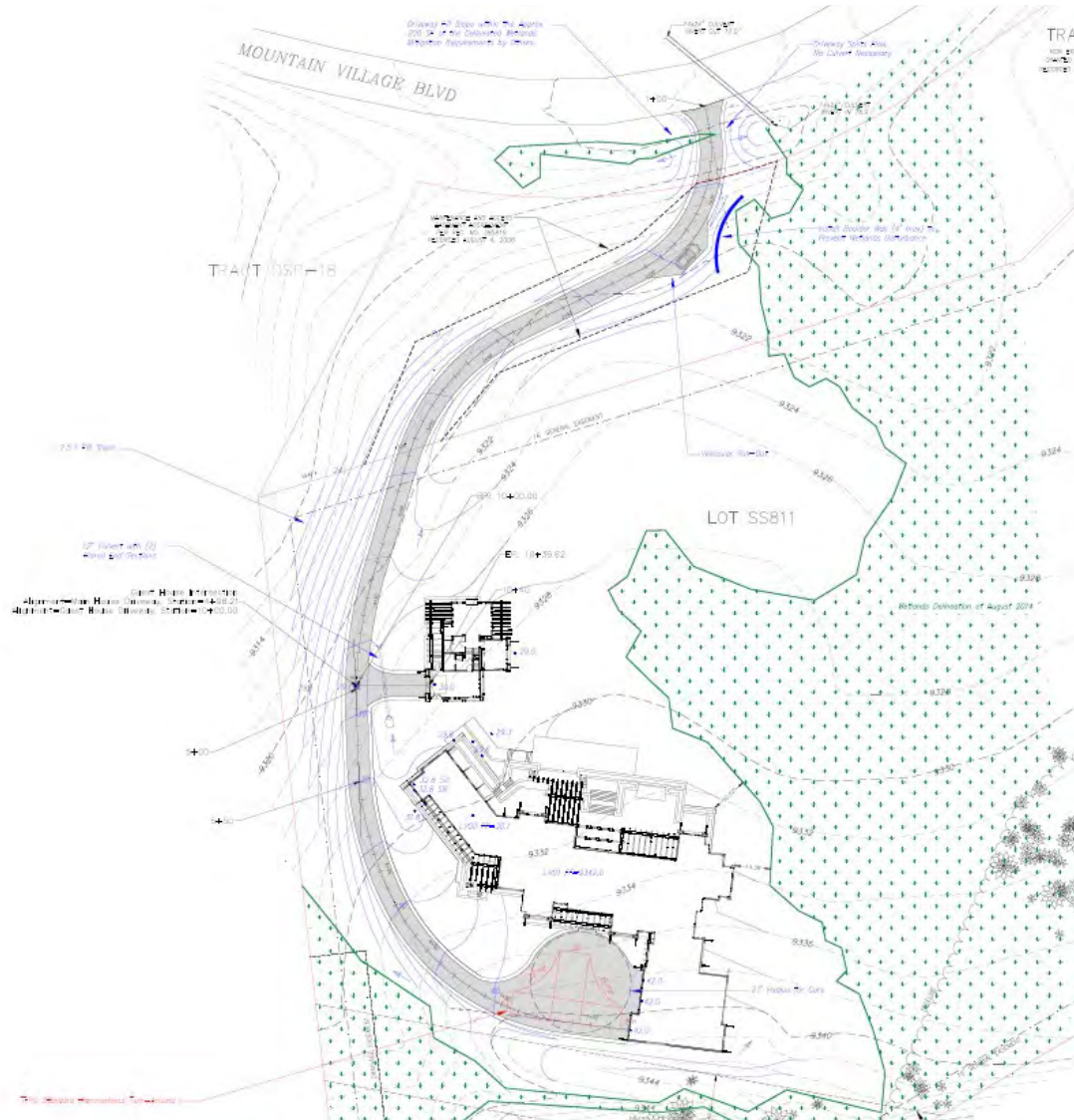


Figure 9: Grading Plan

17.5.8: Parking Regulations

Staff: The applicant has shown six interior parking spaces for the main house and one interior parking space for the guest house. The applicant does not identify the two exterior parking spaces required by the CDC. The applicant shall revise the application materials to showcase two exterior parking spaces.

17.5.9: Landscaping Regulations

Staff: The lot has no existing trees, rock outcrops, or significant geologic features in the building area. According to Sheet L 1 of exhibit A, the applicant is proposing the planting of several new landscaping features, including a new pond to exist between the main house and the wetlands. There is no existing pond on the site and the grading plan does not indicate any grading necessary to create a pond. Additional detail regarding water source, whether the pond will be lined, circulation system, etc, will need to be provided for DRB to understand and review a feature of this type. The applicant should clarify their intentions for this water feature and make sure the landscaping plans and civil plans are in alignment prior to final review.

It would be helpful for staff that the applicant incorporates a planting schedule along with irrigation locations, water usage calculations and backflow details as these are required prior to final review. The final review application will be required to provide species diversity to meet the requirement of Section 17.5.9 of the CDC.

Town Forester Comments: The Landscape Plan must be updated to show a north arrow and a scale bar.

17.5.11: Utilities

Staff: The utility plan is provided on sheet C3 of Exhibit A. The plan shows that the proposed gas and water lines will connect to the current lines on Mountain Village Boulevard and follow the driveway up to the structures. The water line seems to cross over a small portion of OSP-18.

The plan also indicates the placement of a new transformer on the lot located near the guest house with new electric lines that will connect to the proposed structures on the lot as well as to the transformer on the adjacent Lot 810-C to the east.

The plan shows a new sewage connection being proposed to the existing manhole located on the northwest corner of the lot. This sewer connection is located on OSP-18. It should be noted that any encroachments on OSP-18 for utilities will require an easement with the landowner.

Telluride Fire Protection District Comments: A fire hydrant shall be installed at the driveway intersection and Mountain Village Boulevard.

17.5.12: Lighting Regulations

The applicant has not provided a lighting plan in their initial application. An outdoor lighting plan in accordance with the Lighting Regulations of Section 17.5.12 of the CDC will be required to be submitted as part of the application prior to final review.

17.5.13: Sign Regulations

Staff: An address monument is proposed within the Road Right of Way along Mountain Village Boulevard. Insignificant encroachments in the road right of way are approvable by DRB as a specific approval. This is proposed to be steel with 6" steel numbers with

reflective paint. The dimensions and lighting seem to be meeting the requirements of the CDC.

Any development within the Road Right of Way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1. A: Fire Mitigation and Forestry Management

Staff: The applicant does not show a proposed fire mitigation plan. Sheet L1 shows proposed landscaping throughout the lot and adjacent to the proposed structures. The applicant shall provide a fire mitigation plan that shows how this planting plan is in accordance to the regulations of Section 17.6.1 of the CDC.

Telluride Fire Protection District Comments: TFPD approves the proposal with conditions that the structure shall install a monitored NFPA 13D sprinkler and NFPA 72 fire alarm system. The property will also be required to install a fire hydrant along Mountain Village Boulevard.

Town Forester Comments: The Landscape Plan must adhere to the wildfire mitigation requirements per section 17.6.1A4 of the CDC.

17.6.1.B Wetland Regulations

Section 17.6.1.B discusses the protection of wetland areas. Disturbance to wetland areas should be avoided to the extent practicable, and where site conditions preclude the ability to avoid wetland impacts, disturbances should be minimized and mitigated.

Staff: The home has been sited to avoid wetland areas. The design includes a very small section of fill within a wetland area close to the intersection of Mountain Village Boulevard to accommodate the driveway. The driveway location is limited by the location of the access easement that was created in 2006. The applicant should include a written evaluation of practicable alternatives to avoid the necessity of this fill. If approved as proposed, the applicant will be required to provide for the equivalent area of replacement wetland, and enter into a conservation easement with the Town that requires it to maintain that replacement wetland area over time. Prior to building permit, the United States Army Corps of Engineers will be required to review the proposed wetland fill and either recommended approval to the Town or approve the required federal permits. The wetland delineation shown on the existing conditions was completed in 2014. According to the CDC this delineation needs to be current within 5 years, so as a condition of approval staff recommends that the applicant be required to re-delineate the wetland prior to building permit. As this project moves into final review it will be important to evaluate the lighting plan as it relates to the wetland regulations as well.

17.6.6: Roads and Driveway Standards

Staff: Sheet C2 of Exhibit A depicts the grading plan with information for the driveway grade. The driveway grade is within the maximum allowed grade of 8 percent with a maximum grade of 5.5 percent.

The proposed driveway is 12 feet wide asphalt with 2-foot gravel shoulders on each side, making the total width 16 feet surfaced. Driveways with lengths in excess of 150' are required to have a minimum paved surface of 16'. The fire marshal comments below indicate that the fire district approves the driveway as proposed, however per the CDC a design variation to the road and driveway standards would be required if approved as proposed.

These details are outlined in Figure 10 below.

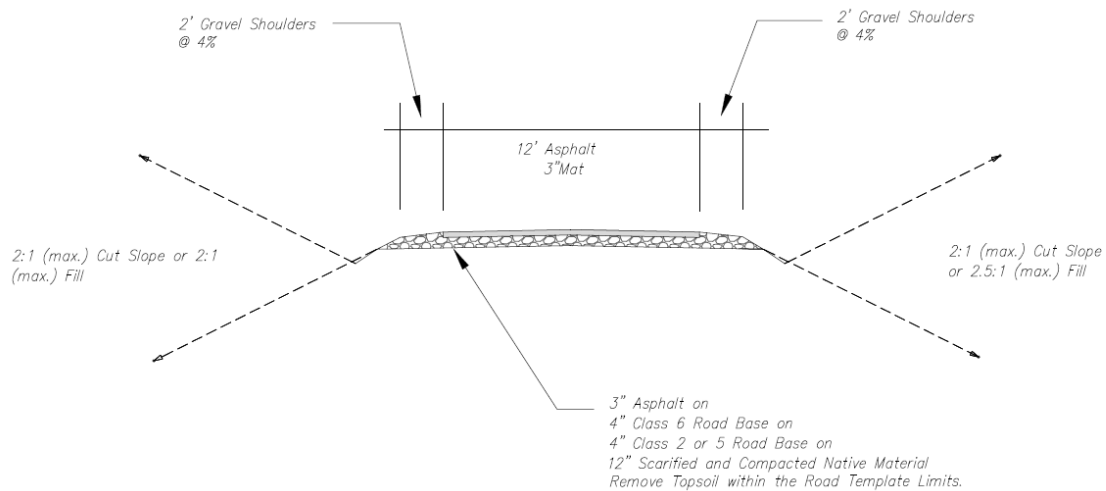


Figure 10: Driveway Cross-Section

The applicant also includes space for Telluride Fire Protection District Standard Hammerhead Turn-Around at the end of the driveway for the auto court in front of the main house, as seen in Figure 11 below.

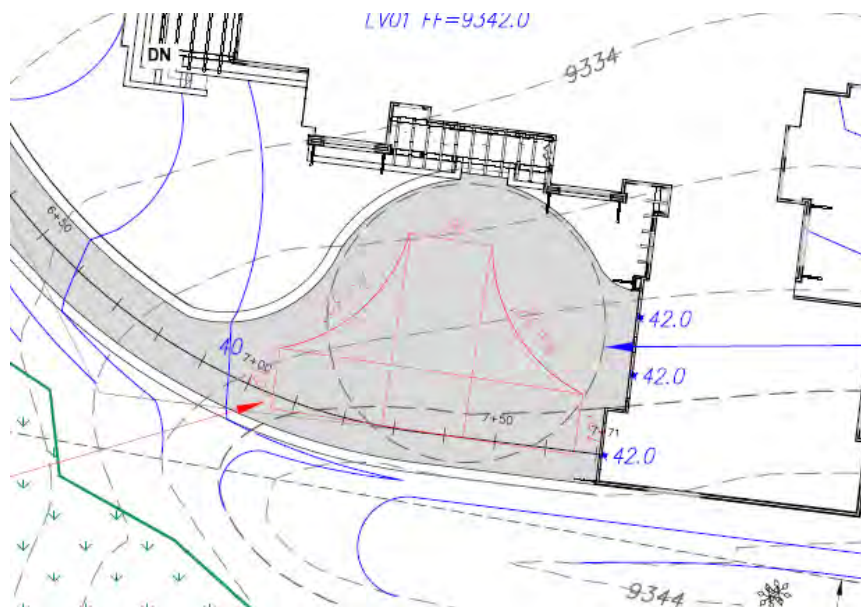


Figure 11: Driveway Plan – TFPD Standard Hammerhead Turn-Around

Telluride Fire Protection District Comments: The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface. DRB should discuss whether the paved surface should be widened or is approvable as proposed. If approved as proposed then a design variation to the road and driveways standards is required.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does include a fireplace but has not called out a fuel source. This should be clarified prior to final review. If the applicant intends to have a wood burning fireplace, the installation of a spark arrester and demonstration of necessary wood burning permits is required.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan on Sheet C4 of Exhibit A shows the required material storage, dumpster, bear-proof food waste and recycling bins, and a port-a-toilet. The plan indicates the use of proper silt fencing on the downhill side of the site along the western edge of the property. The applicant has indicated the use of 6-foot chain link fence with green screening along the edge of the construction site, except on the eastern edge of the site which the applicant has indicated the fence panels are not necessary when the Willows provide the proper screening. The Town Forrester has commented that the chain link fence panels must be adjusted along the southern edge of the construction site to go around the existing trees outside of the construction zone per section 17.6.1.A4 of the CDC. The construction mitigation plan shall be updated to address this adjustment to the chain-link fence prior to final review.

The construction parking plan indicates three spots on the site. However, all of these are located in the current driveway, which is an area that won't be available for use until initial stages of construction are complete. The applicant will likely still need to work with the Town for roadside parking permits until the driveway is created. It is possible that until the driveway is created that at least some workers will need to be shuttled to the site from elsewhere.

The plan indicates that no crane is being proposed for the construction process at this time. If it is determined that one is required, the applicant shall work with Town staff to make sure the crane swing doesn't impede the roadway.

Staff Recommendation: Staff recommends that the DRB discuss the initial architectural review and design and determine if there is enough information to approve the design, or if a redesign is needed to meet requirements. Staff has included two potential motions for the DRB.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB determines that additional information or a redesign is required, staff recommends a motion for continuance to the regular DRB meeting on November 3, 2022.

I move to continue the Initial Architecture and Site Review for a new single-family home located at Lot SS811, to November 3, 2022.

If the DRB deems this application is approvable as presented, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot SS811, based on the evidence provided in the staff record of memo dated

October 6, 2022, and the findings of this meeting with the following design variations and specific approvals:

Design Variations:

1. *Road and Driveway Standards *If the driveway is approved at the current 12' with 2' shoulders*

Design Review Board Specific Approvals:

1. *Road right of way encroachment – insubstantial*
2. *Exterior Building Materials – metal fascia*

And, with the following conditions:

1. *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
2. *Prior to final review, the applicant shall provide the height calculations for the accessory dwelling unit referred to as the guest house in the application materials.*
3. *Prior to final review, the applicant shall provide a door and entryways schedule.*
4. *Prior to final review, the applicant shall specify the fuel source for all solid fuel burning devices.*
5. *Prior to final review, the applicant shall identify the required two exterior parking spaces for the site.*
6. *Prior to final review the applicant should revise the ADU plans to clarify that any conditioning of the basement space will not be provided or remove this space if directed per the DRB board discussions of the initial review.*
7. *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing the planting schedule and compliance with Fire Mitigation standards.*
8. *Prior to final review the applicant shall provide more clarity on the new proposed pond area and ensure that the landscaping and grading plans are in alignment.*
9. *Prior to final review, the applicant shall include plans to install a fire hydrant at the intersection of the driveway and Mountain Village Boulevard.*
10. *Prior to final review, the applicant shall revise the construction mitigation plan to ensure the chain link fence panels are adjusted along the southern edge of the construction site to go around the existing trees outside of the construction zone per section 17.6.1.A4 of the CDC.*
11. *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
12. *A Knox Box for emergency access is recommended.*
13. *Prior to final review the applicant shall provide an alternative analysis to the proposed wetland fill area.*
14. *Prior to building permit the applicant shall provide an updated wetland delineation.*
15. *Prior to building permit the applicant shall obtain approval and any necessary federal permits for any proposed wetland disturbances.*
16. *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
17. *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*

18. *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. Wood that is stained in the approved color(s);*
 - c. Any approved metal exterior material;*
 - d. Roofing material(s); and*
 - e. Any other approved exterior materials*
19. *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*



DEVELOPMENT NARRATIVE

Preliminary Design Review Board
Client: The Vault Home Collection
Property: 2 Mountain Village Blvd.

March 8, 2022

Amy Ward
Senior Planner
Town of Mountain Village
455 Mountain Village Blvd., Suite A
Mountain Village, CO 81435

Dear Ms. Ward:

Introduction:

SEH is submitting a Development Application and attached exhibits for review by the Town of Mountain Village for 2 Mountain Village Boulevard. This parcel, Lot SS811, is zoned single family. The design consists of a 9,326 sf heated (13,013 sf under roof) Main House and a 1,430 sf (2,194 sf under roof) Guest House on a 5.673 acre lot. The Guest House (accessory dwelling unit) is less than 20% of the floor area of the Main House, consistent with 17.3.4.5.c.ii. and is permitted to be detached due to the acreage.

The lot has no existing trees, rock outcrops, or significant geologic features in the building area. The wetlands area to the east and south will not be disturbed, except for driveway access from Mountain Village Boulevard through the existing access easement to the north. These wetlands provide screening of the proposed residence from the road. There is approximately a 15'-0" difference in grade from the north property line to the south property line. The north property line abuts Tract OSP-18A. The lot has sweeping mountain views from the north the northeast.

Driving Factors:

The design of the home's layout is driven by the panoramic mountain views to the north and northeast. All of the rooms in the main house and the guest house are oriented toward these views. The interior of the house spills out onto a generous outdoor living space that will step down into a beautifully landscaped pond/natural landscaping area. The garage is tucked behind the home to conceal it from the road and provide a south-facing driveway/entrance.

Design Style:

The design is inspired by the modern yet warm Mediterranean villa, which incorporates stone, stucco, and heavy timber building materials and blends with the natural environment. The exposed timber structure and ample outdoor covered living spaces are key to the design. Gable roof forms consistent with traditional high alpine structures open out in the direction of the views. Simulated steel windows with narrow sight lines provide a clean, modern aesthetic.

Sincerely,

Allison Miller, Senior Architect
(Lic. CO, NM, UT)

Engineers | Architects | Planners | Scientists

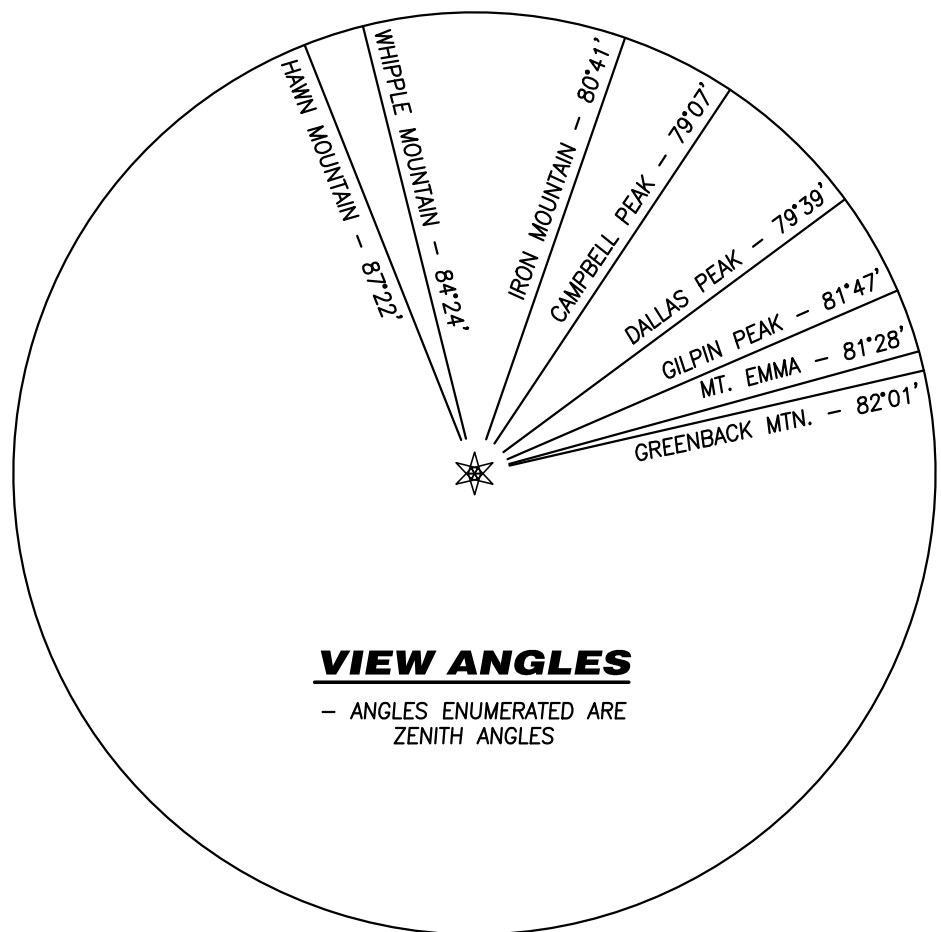
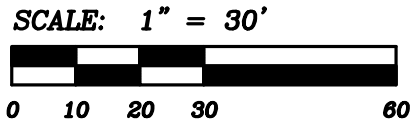
SEH Inc, LLC, 934 Main Ave, Suite C | Durango, CO 81301
970.459.9017 | (970) 385-4546 | 888.908.8166 fax | sehinc.com
Affirmative Action–Equal Opportunity Employer

TRACT OSP-18
(TOWN OF MOUNTAIN VILLAGE)

LEGEND

- WATER VALVE
- SIGN
- LAMP POST
- TRANSFORMER
- ELECTRIC BOX
- TELEPHONE PEDESTAL
- COMMUNICATIONS PEDESTAL

FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632
FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 6868
FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 36577
FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, ILLEGIBLE



This Existing Conditions Plan of Lot SS811, Town of Mountain Village, was prepared in March of 2008 and updated on June 07, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.



P.L.S. NO. 37970 Date

LEGAL DESCRIPTION:

LOT SS811, ACCORDING TO THE PLAT OF SS811, TELLURIDE MOUNTAIN VILLAGE RECORDED AUGUST 23, 1993 IN PLAT BOOK 1 AT PAGE 1555,
COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and property description from First National Title Insurance Company, Commitment Number 21-TT-443, dated January 29, 2021 at 8:00 A.M.
- BASIS OF BEARINGS: Found monuments along the western boundary of Lot SS811, as shown hereon, assumed to have the record bearing of N 06°30'17" W according to Plat Book 1 at page 1555.
- Benchmark: The most northerly property corner on Lot SS811, as shown hereon, with an elevation of 9327.16 feet.
- Contour interval is two feet.
- Tree sizes were not updated at the time of this survey.
- Slopes 30% or greater are shown hereon.
- Foley Associates, Inc. is not aware of any underground utilities located on this lot, but underground locates have not been performed. Utility locates should be performed by respective providers before any construction.
- NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

TREE LEGEND

2" - 6" FIR	2" - 6" SPRUCE
8" - 16" FIR	8" - 16" SPRUCE
18" OR LARGER FIR	18" OR LARGER SPRUCE
2" - 6" ASPEN	OAK OR WILLOW BRUSH
8" - 16" ASPEN	
18" OR LARGER ASPEN	

LOT 40
TELLURIDE SKI RANCHES,
FILING 4C
(PERUTZ KIMBERLY K DYNASTY TRUST)

LOT 39
TELLURIDE SKI RANCHES,
FILING 4C
(GALLI FAMILY TRUST UTD 7/7/17)

Existing Conditions Plan
Lot SS811, Town of Mountain Village,
located within the NW 1/4 of Section 4, T.42N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH	Rev.	description	date	by
Technician:	MC				
Checked by:					
Start date:	06/07/2021				



970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Drawing path: dws\04141 EC Plan 06-21.dwg Sheet 1 of 1 Project #: 04141

2 MOUNTAIN VILLAGE BLVD



SPECULATIVE RESIDENCE 2 MOUNTAIN VILLAGE BLVD. MOUNTAIN VILLAGE, CO 81435 DESIGN REVIEW BOARD

PROJECT DIRECTORY

CONTRACTOR: CODY ABBOTT TOP NOTCH CONSTRUCTION 8121 PRESERVE DR. TELLURIDE, CO 81435 970-596-1014	ARCHITECT: SHORT ELLIOTT HENDRICKSON INC. 2000 SOUTH COLORADO BLVD. TOWER ONE, SUITE 6000 DENVER, CO. 80222 720.540.6800
SURVEYOR: JEFFREY HASKELL FOLEY ASSOCIATES, INC. P.O. BOX 1385 125 W PACIFIC AVE SUITE B-1 TELLURIDE, CO 81435 970-728-6153	STRUCTURAL ENGINEER: SHORT ELLIOTT HENDRICKSON INC. 2000 SOUTH COLORADO BLVD. TOWER ONE, SUITE 6000 DENVER, CO. 80222 720.540.6800
CIVIL ENGINEER: DAVID BALLODE UNCOMPAGHRE ENGINEERING 113 LOST CREEK LN SUITE D MOUNTAIN VILLAGE, CO 81435 970-279-0683	LANDSCAPE ENGINEER: HOLLY TERRY DESIGNSCAPES COLORADO 15440 E FREMONT DR CENTENNIAL, CO 80113 303-721-9003

LOCATION MAP



LEGAL DESCRIPTION/LOT INFORMATION

LOT INFO:
LOT SS811 TELLURIDE MOUNTAIN VILLAGE ACC TO PLAT BK 1 PG 1555 8-23-93.
LOT NAME: LOT SS81
ZONING: SINGLE FAMILY RESIDENTIAL
LOT SIZE: 5.673 ACRES

BUILDING INFO:

DESCRIPTION	1-STORY W/ WALKOUT BASEMENT & GUEST HOUSE	
BUILDING HEIGHT	ALLOWED	ACTUAL
MAXIMUM	35'	29'-2"
AVERAGE	30'	18'-7"
PARKING SPACES	2 REQUIRED	6 PROVIDED

DESIGN CRITERIA

Climate Zone: 6B Elevation: 9338.8 Live Roof Snow Load: 80-180 PSF Ground Snow Load: 130 PSF Wind Speed: 90 MPH (3 Sec. Gust) Exp. C/110 MPH Ultimate	Seismic Zone: C Weathering: Severe Frost Depth: 48 Inches Termite: Moderate Decay: None to Slight
---	---

AREA CALCULATIONS

MAIN HOUSE BASEMENT LEVEL (HEATED): 2,319 SF MAIN LEVEL (HEATED): 7,007 SF TOTAL HEATED AREA: 9,326 SF	GUEST HOUSE UPPER LEVEL (HEATED): 362 SF MAIN LEVEL (HEATED): 1,068 SF TOTAL HEATED AREA: 1,430 SF	BUILDING COVERAGE: MAIN HOUSE 13,013 SF GUEST HOUSE 2,194 SF TOTAL 15,197 SF LOT SIZE: 247,115.88 15,197 SF = 6%
GARAGE/MECH/STOR. (UNHEATED): 2,050 SF COVERED PATIO: 1,637 SF	GARAGE/MECH/STOR. (UNHEATED): 434 SF COVERED PATIO: 330 SF	
TOTAL GROSS AREA (UNDER ROOF): 13,013 SF	TOTAL GROSS AREA (UNDER ROOF): 2,194 SF	

DRAWING INDEX

A0.0	COVER SHEET & PROJECT DATA
A0.1	ARCHITECTURAL SITE PLAN
A0.4	HEIGHT LIMIT ANALYSIS
A0.5	HEIGHT LIMIT ANALYSIS ELEVATIONS
A0.6	HEIGHT LIMIT ANALYSIS ELEVATIONS
A.1	FLOOR PLANS
A.2	ROOF PLAN
A.3	ELEVATIONS
A.7	MATERIAL CALCULATIONS
A.8	MATERIAL CALCULATIONS
A.9	EXTERIOR MATERIAL DIAGRAM
A.10	SCHEDULES
G1	GUEST HOUSE SCHEMATIC
C1	NOTES
C2.1	SITE GRADING AND DRAINAGE
C2	GRADING WITH DRIVEWAY PROFILES
C3	UTILITIES
C4	CONSTRUCTION MITIGATION
L1	LANDSCAPE

APPLICABLE CODES

ALL CONSTRUCTION TO BE COMPLETED PER GOVERNING CODES BELOW:
2018 INTERNATIONAL RESIDENTIAL CODE (IRC) W/ LOCAL AMENDMENTS
2018 INTERNATIONAL PLUMBING CODE (IPC) W/ LOCAL AMENDMENTS
2018 INTERNATIONAL MECHANICAL CODE (IMC) W/ LOCAL AMENDMENTS
2018 INTERNATIONAL FUEL GAS CODE W/ LOCAL AMENDMENTS
2018 INTERNATIONAL ENERGY CONSERVATION CODE W/ LOCAL AMENDMENTS
2020 NATIONAL ELECTRICAL CODE



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CONTRACTOR
TOP NOTCH CONSTRUCTION
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TELLURIDE, CO 81435

CODY ABBOTT
970-596-1014

ARCHITECT
SHORT ELLIOTT HENDRICKSON, INC.
934 MAIN AVENUE, SUITE C
DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER
PHONE: 970.459.9017

2 MOUNTAIN VILLAGE BLVD
2 MOUNTAIN VILLAGE BLVD
SPECULATIVE RESIDENCE
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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Project Number
AM
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Issue Date
02.18.2022

Revision Issue
Rev. # Description Date

SITE/COVER

A0.0

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

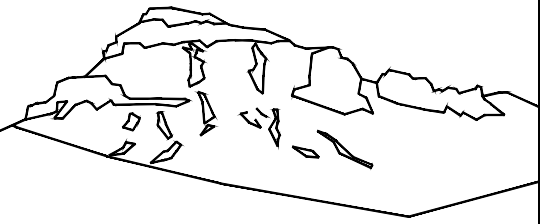
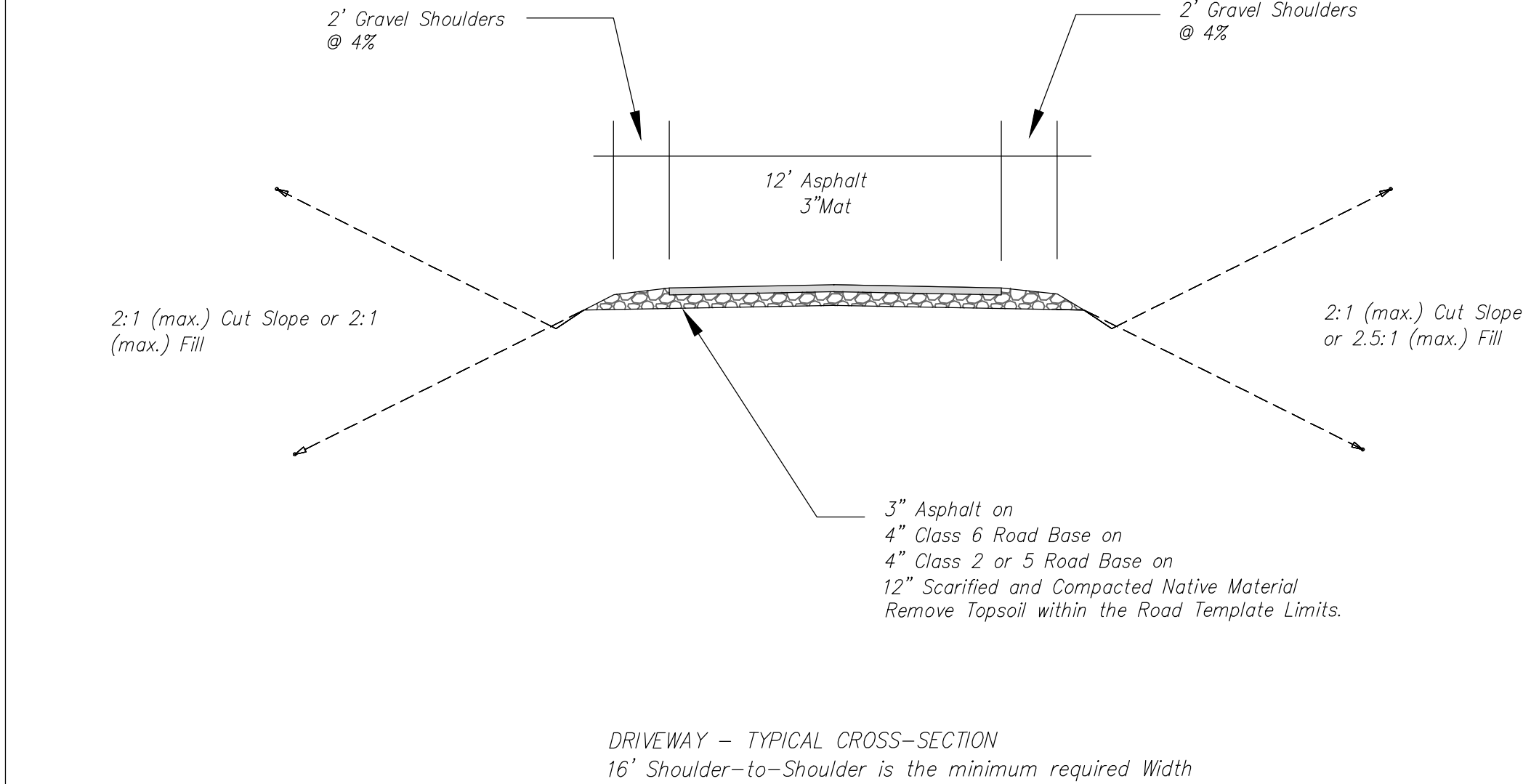
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

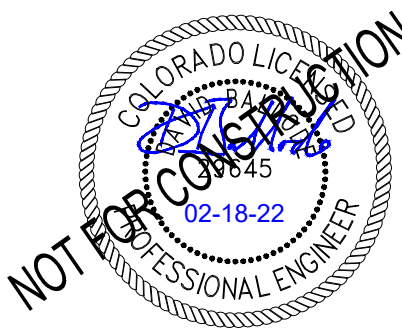
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Telluride, CO 81435
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2022-02-18

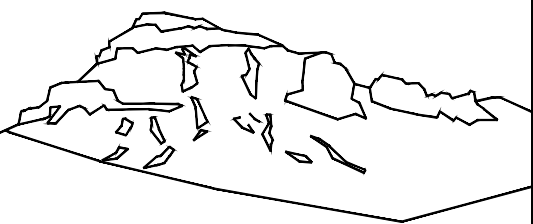
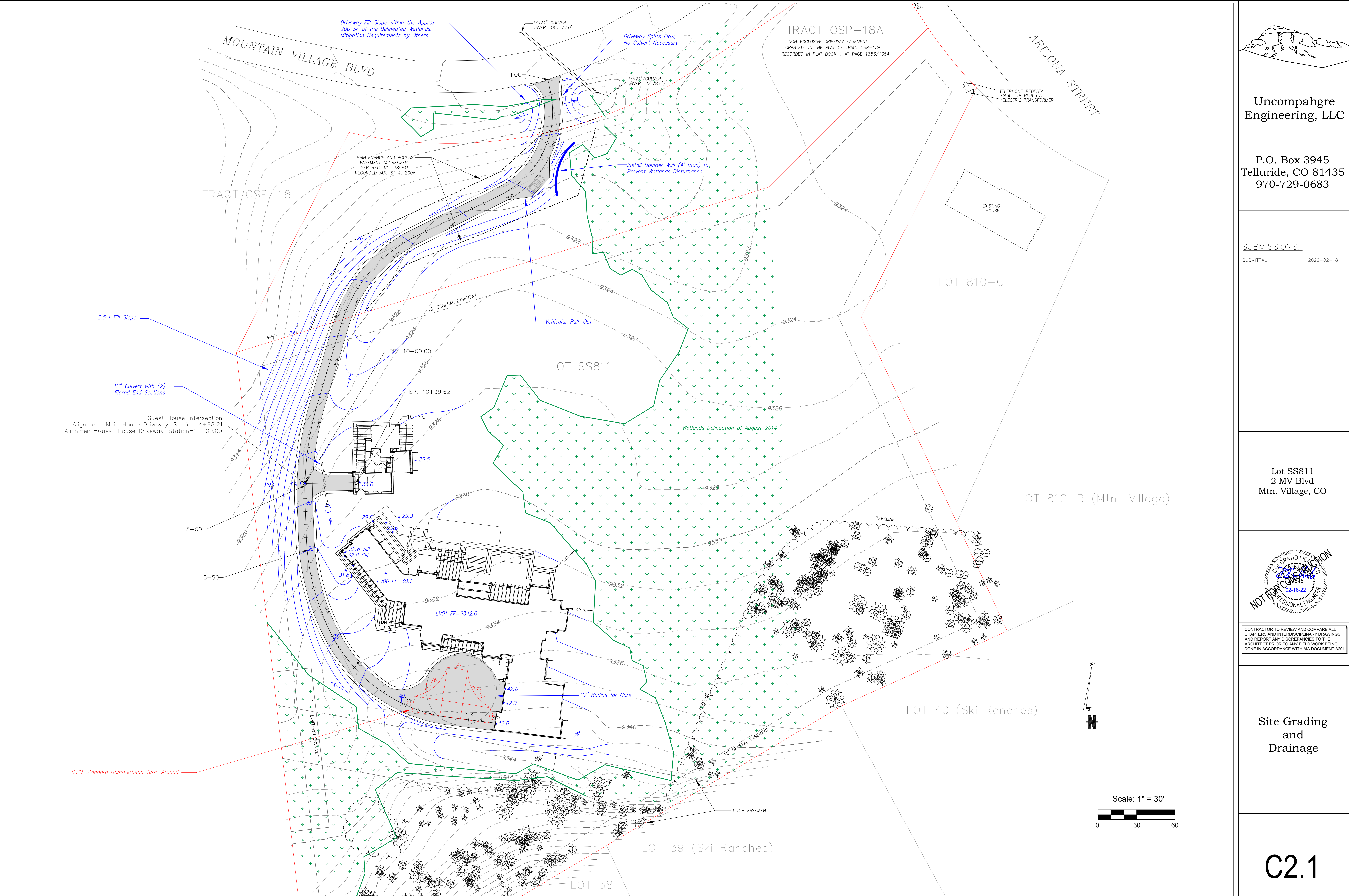
Lot SS811
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Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



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Site Grading
and
Drainage

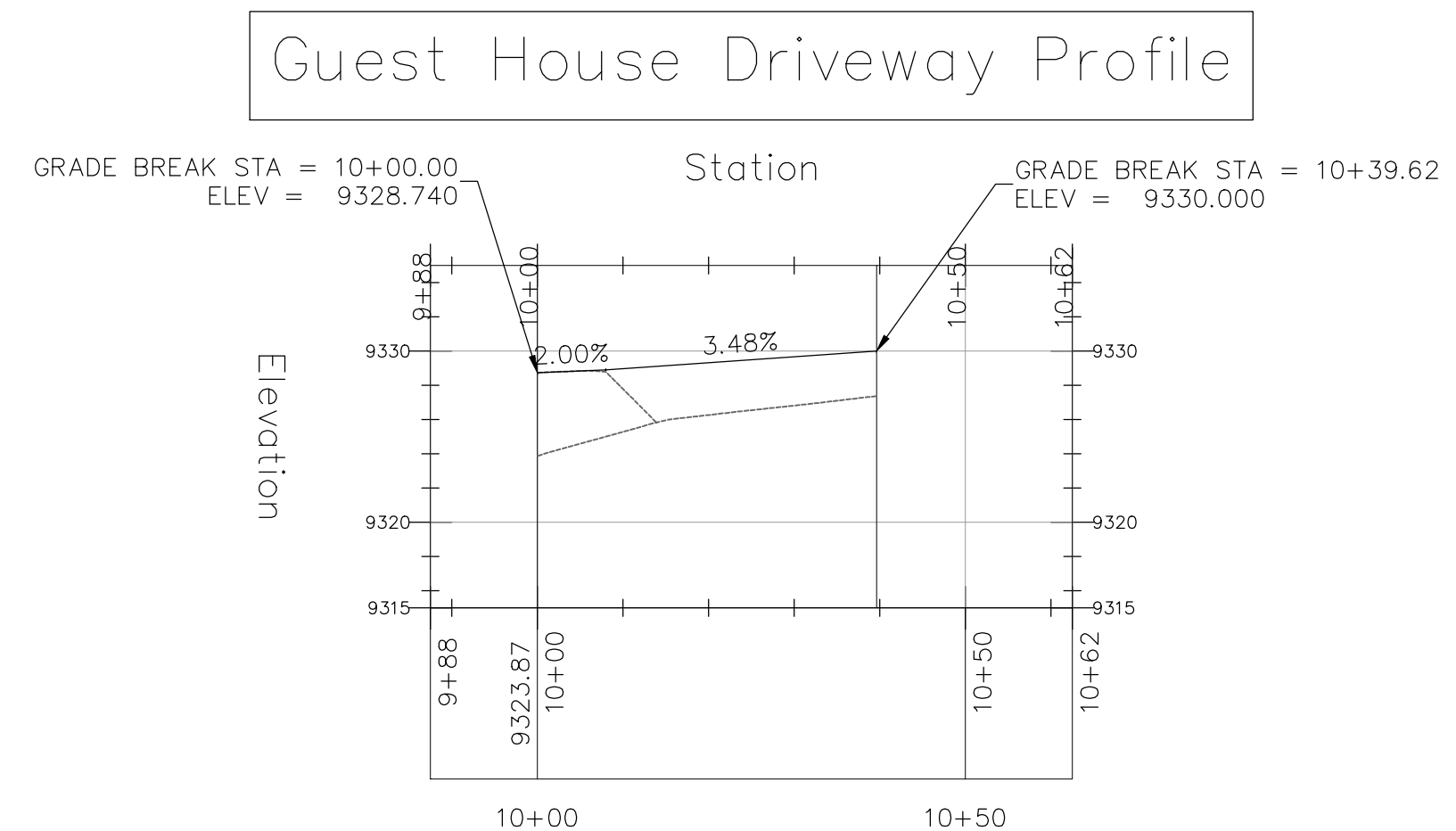
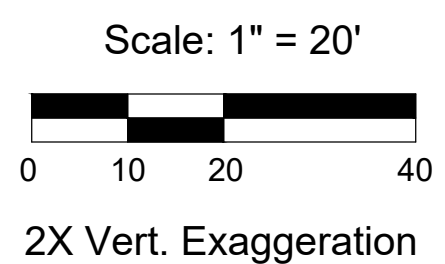
C2.1



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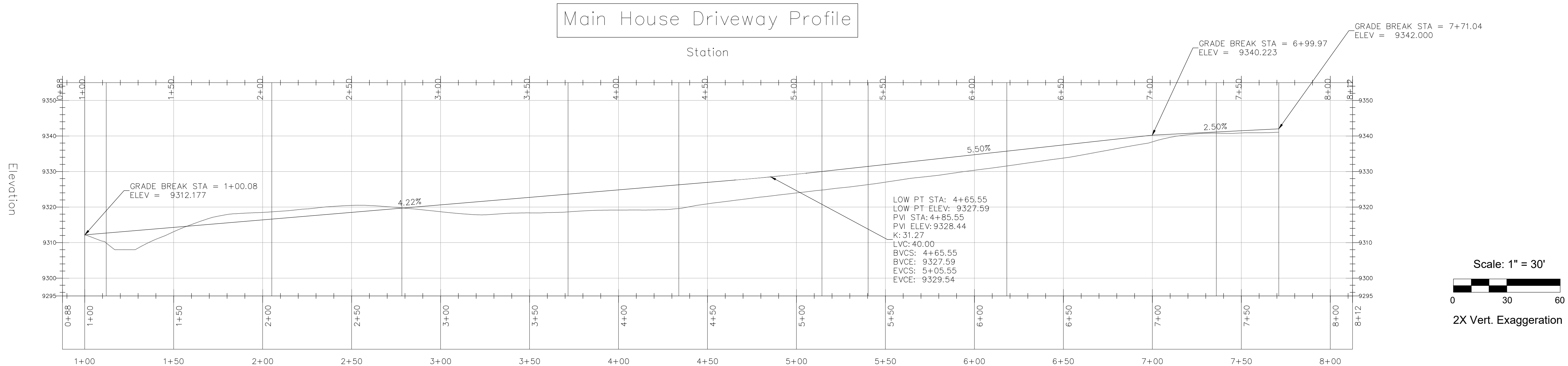
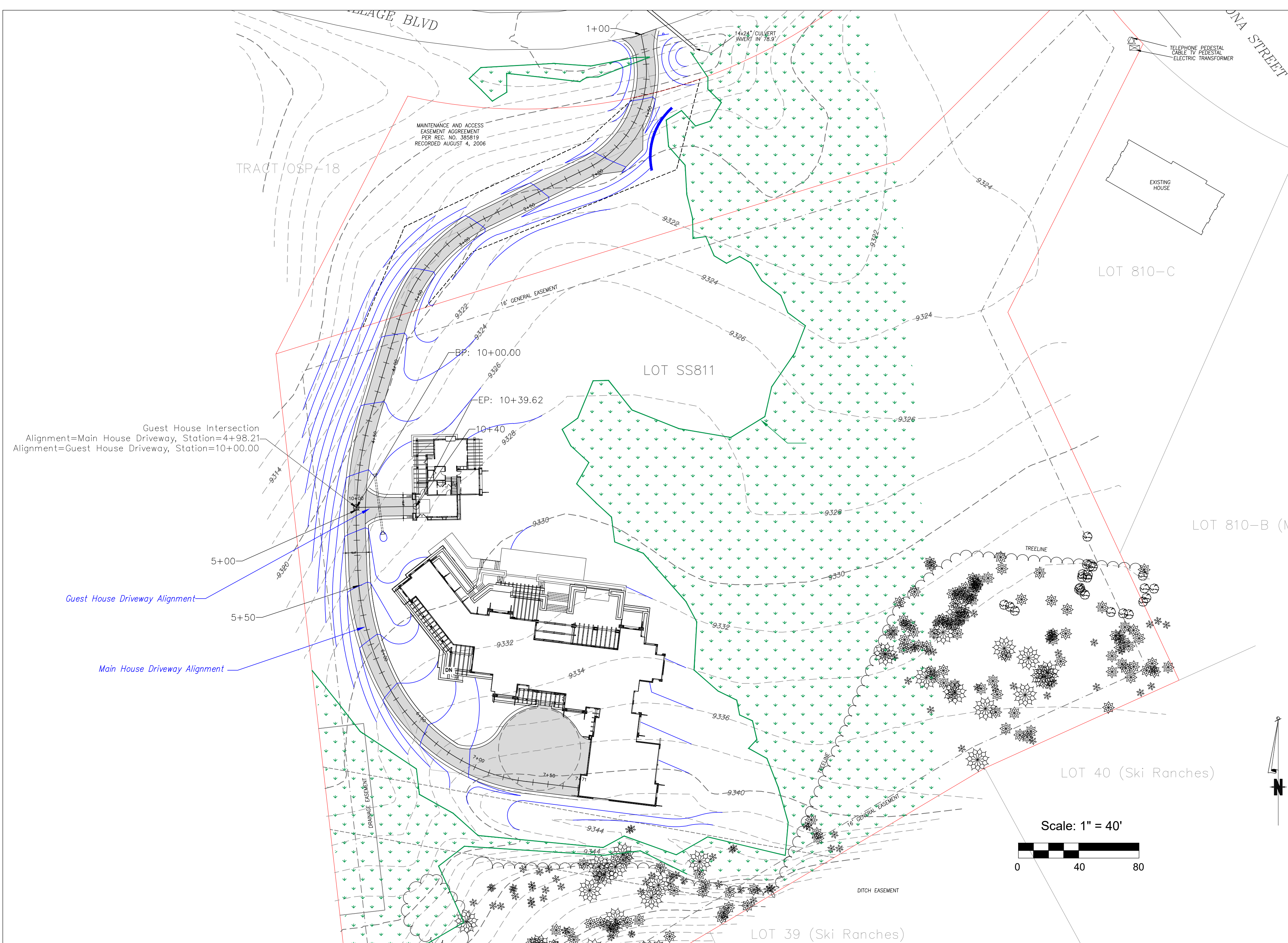
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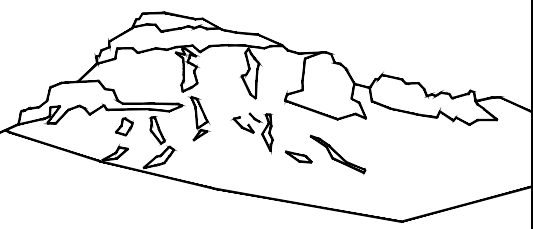


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Grading with Driveway Profiles

C2





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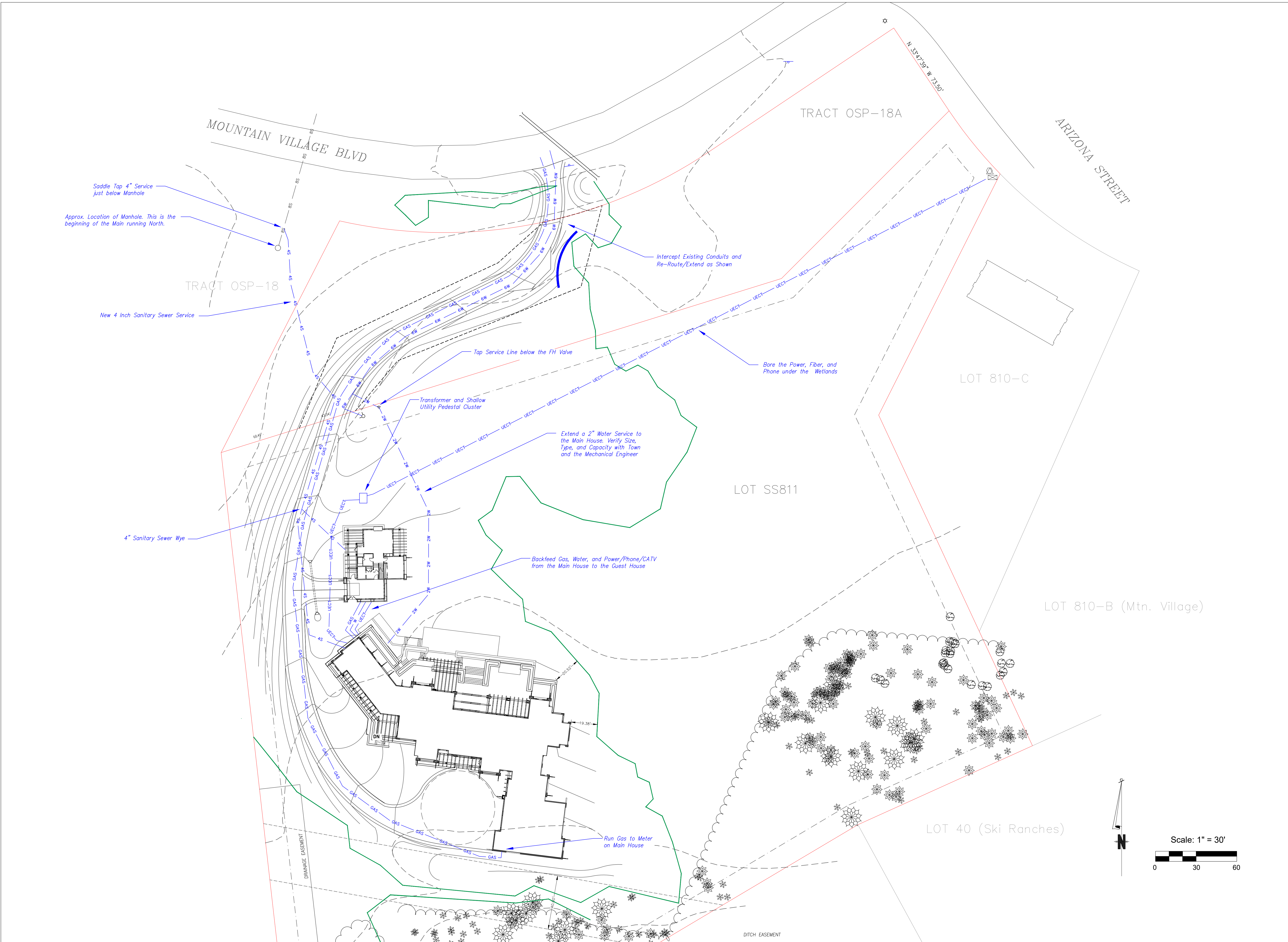
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Mtn. Village, CO

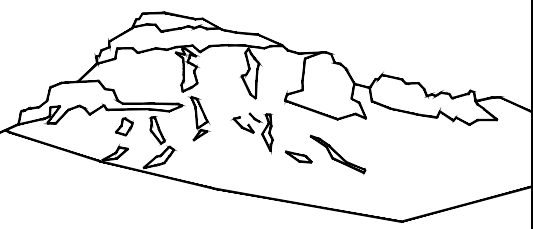


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Utilities

C3





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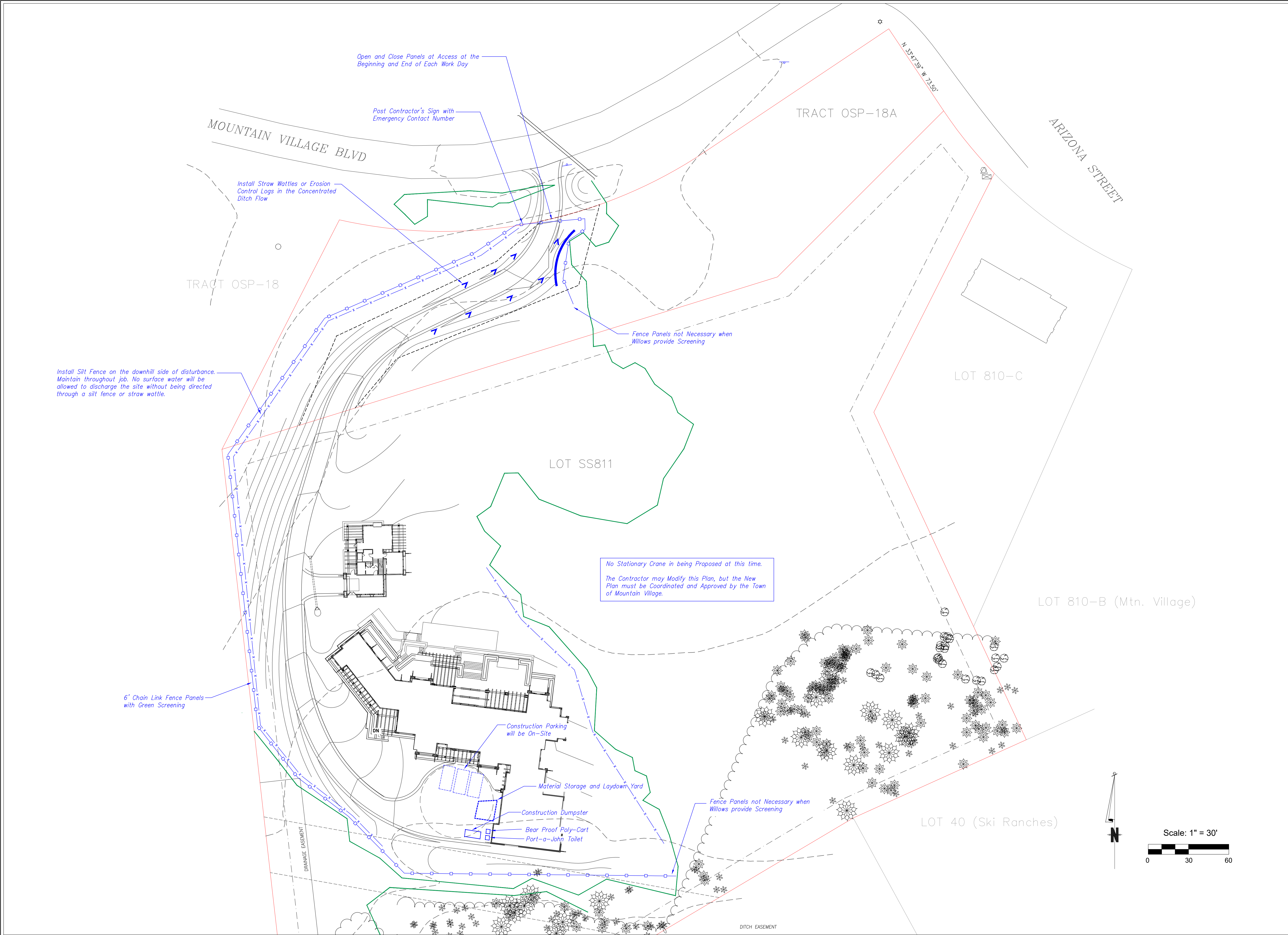
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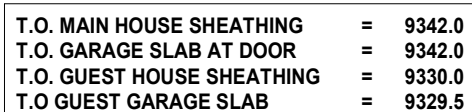


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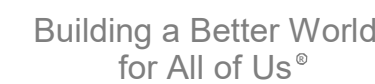
Construction
Mitigation

C4




$$1/2" = 1'-0"$$


SITE PLAN

$$1/32'' = 1'-0''$$


NOT FOR
CONSTRUCTION

OWNER
THE VAULT HOME COLLECTION
450 S. OLD DIXIE HWY, SITE 8
JUPITER, FL 33458

CONTACT
305.710.4907

CONTRACTOR
TOP NOTCH CONSTRUCTION
8121 PRESERVE DR.
TELLURIDE, CO 81435

CODY ABBOTT
970-596-1014

ARCHITECT
SHORT ELLIOTT HENDRICKSON, INC.
934 MAIN AVENUE, SUITE C
DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER
PHONE: 970.459.9017

2 MOUNTAIN VILLAGE BLVD
22 MOUNTAIN VILLAGE BLVD
SPECSPECULATIVE RESIDENCE
22 MOUNTAIN VILLAGE BLVD. MOUNTAIN VILLAGE, CO 81435

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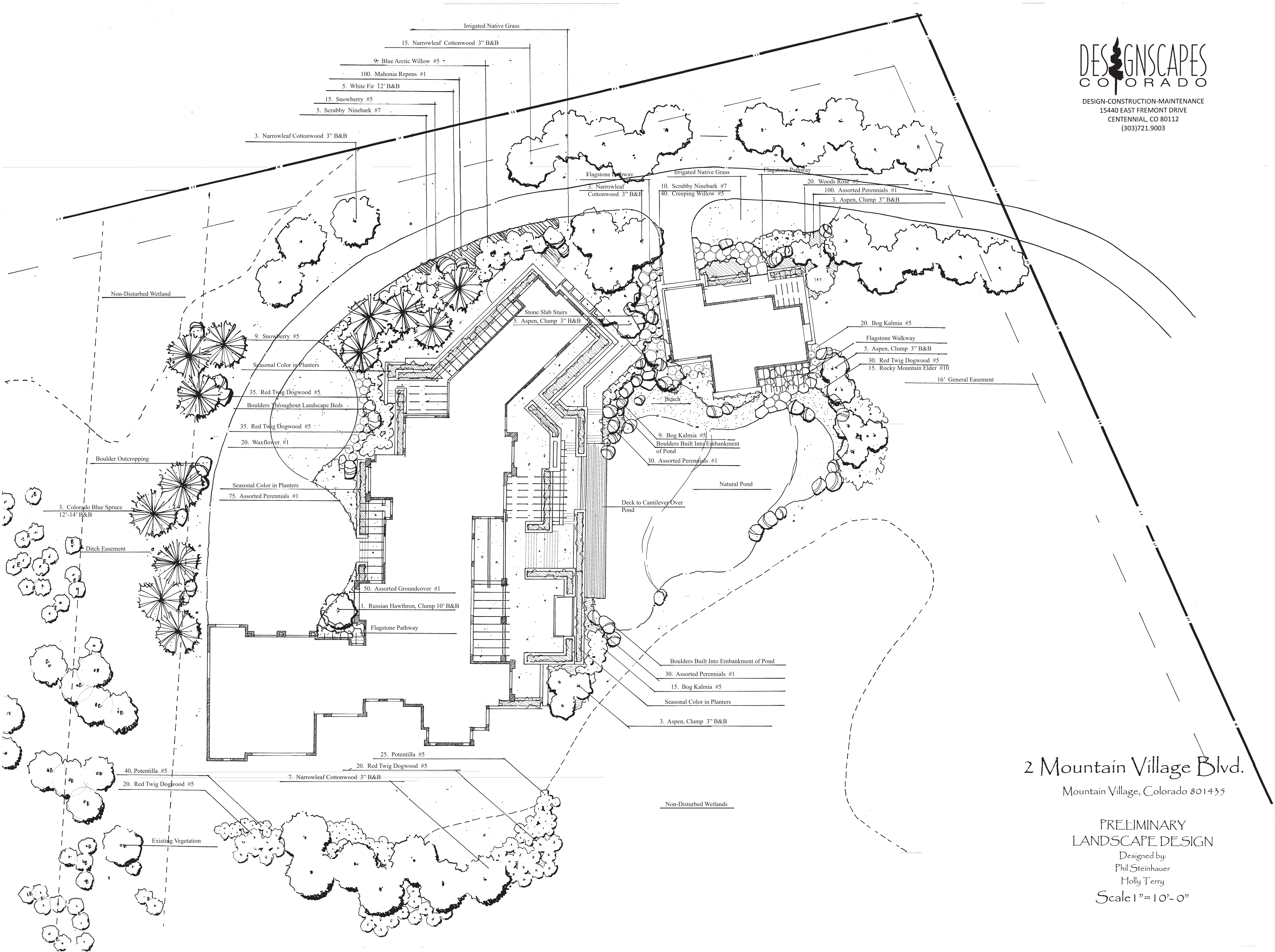
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Issue Date
02.18.202

Rev. #	Description
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ARCHITECTURAL SITE PLAN

A0.1



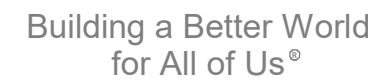
2 Mountain Village Blvd.

Mountain Village, Colorado 801435

PRELIMINARY
LANDSCAPE DESIGN

Designed by:
Phil Steinhauer
Holly Terry

Scale 1"=10'-0"



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450 S. OLD DIXIE HWY, SITE 8
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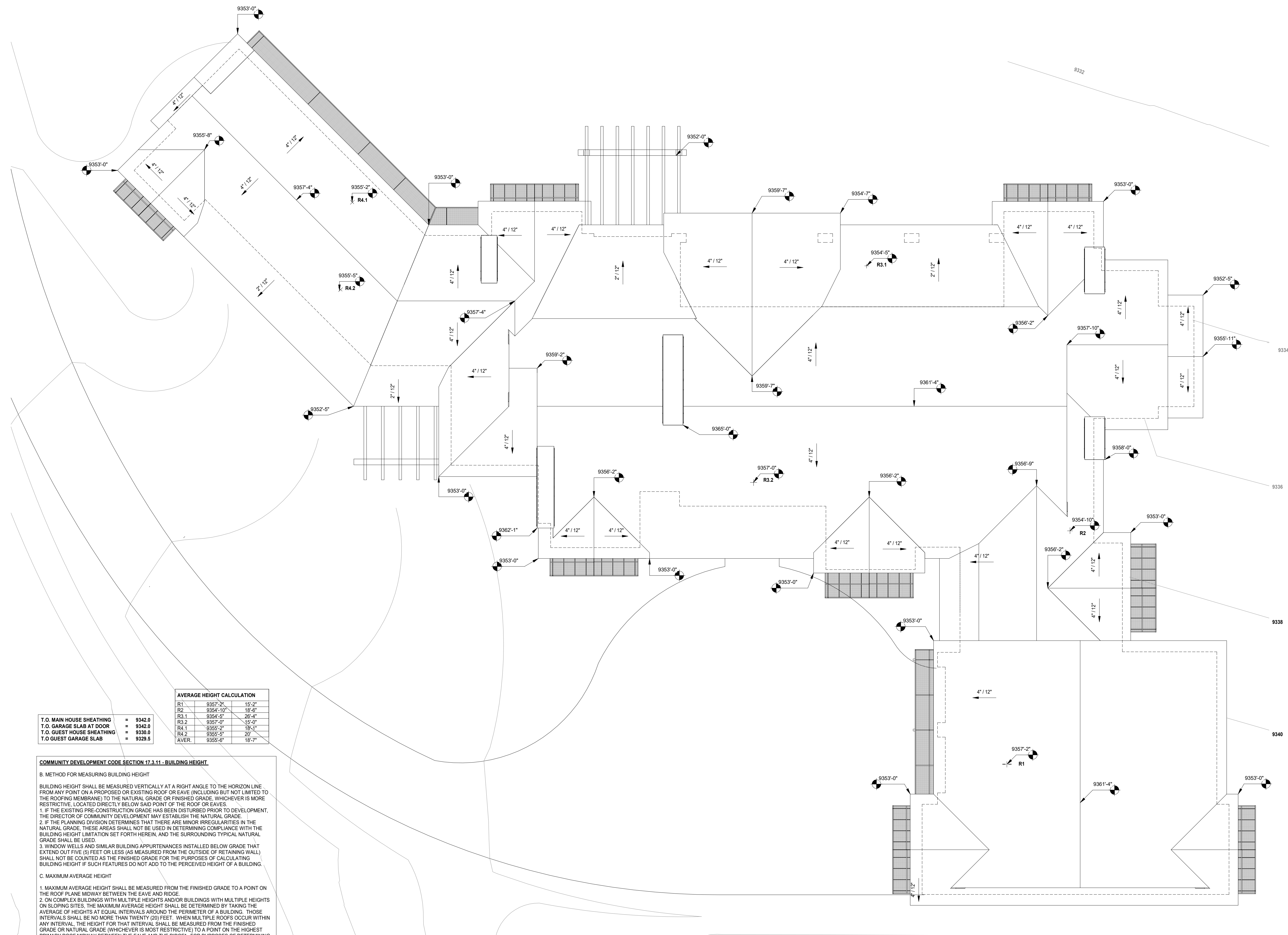
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HEIGHT LIMIT ANALYSIS

A0.4



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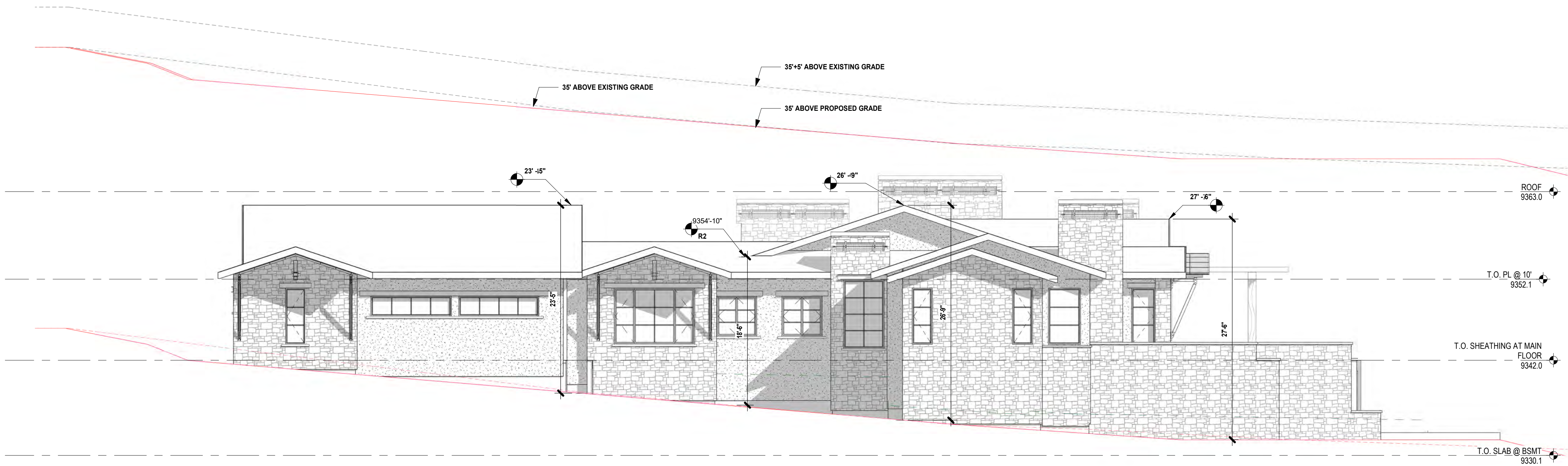
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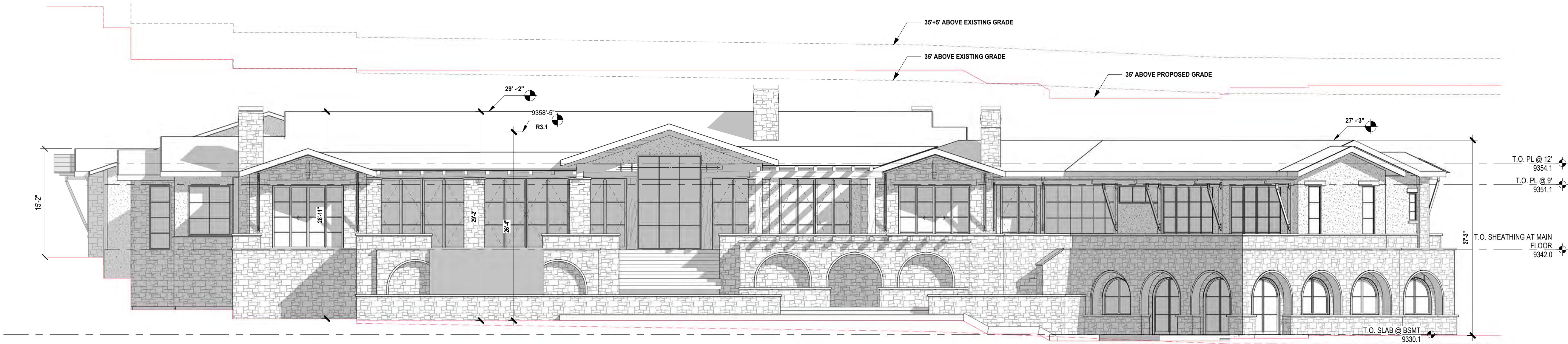
ARCHITECT
SHORT ELLIOTT HENDRICKSON, INC.
934 MAIN AVENUE, SUITE C
DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER
PHONE: 970.459.9017



East Elevation Height

1/8" = 1'-0"



North Elevation Height

1/8" = 1'-0"

2 MOUNTAIN VILLAGE BLVD
SPECULATIVE RESIDENCE
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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Project Status
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02.18.2022

Revision Issue

Rev. #	Description	Date
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HEIGHT LIMIT ANALYSIS
ELEVATIONS

NOT FOR
CONSTRUCTION

OWNER
THE VAULT HOME COLLECTION
480 S. OLD DIXIE HWY, SITE 8
JUPITER, FL 33458

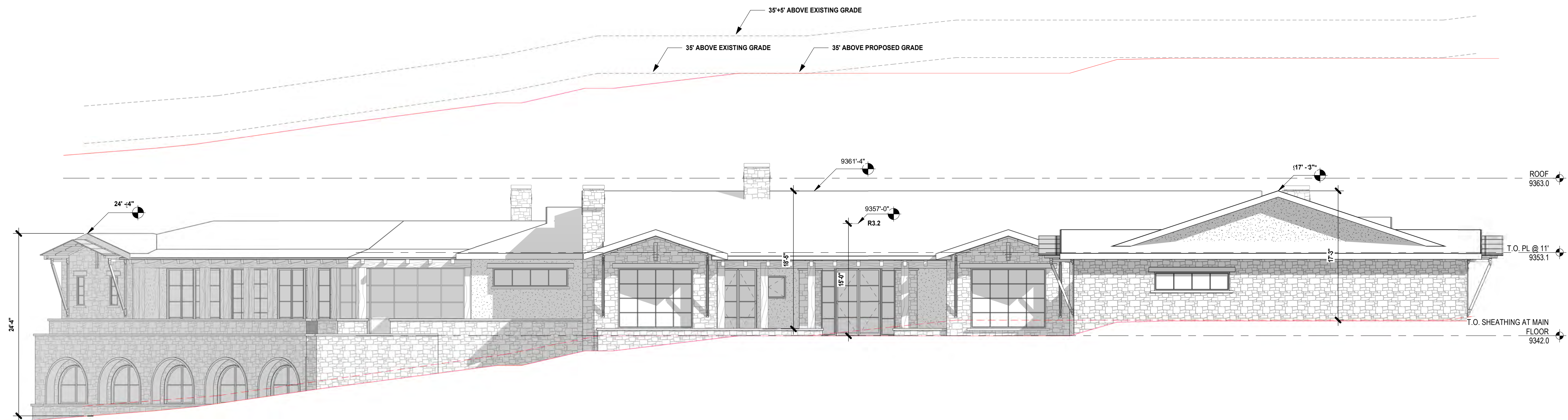
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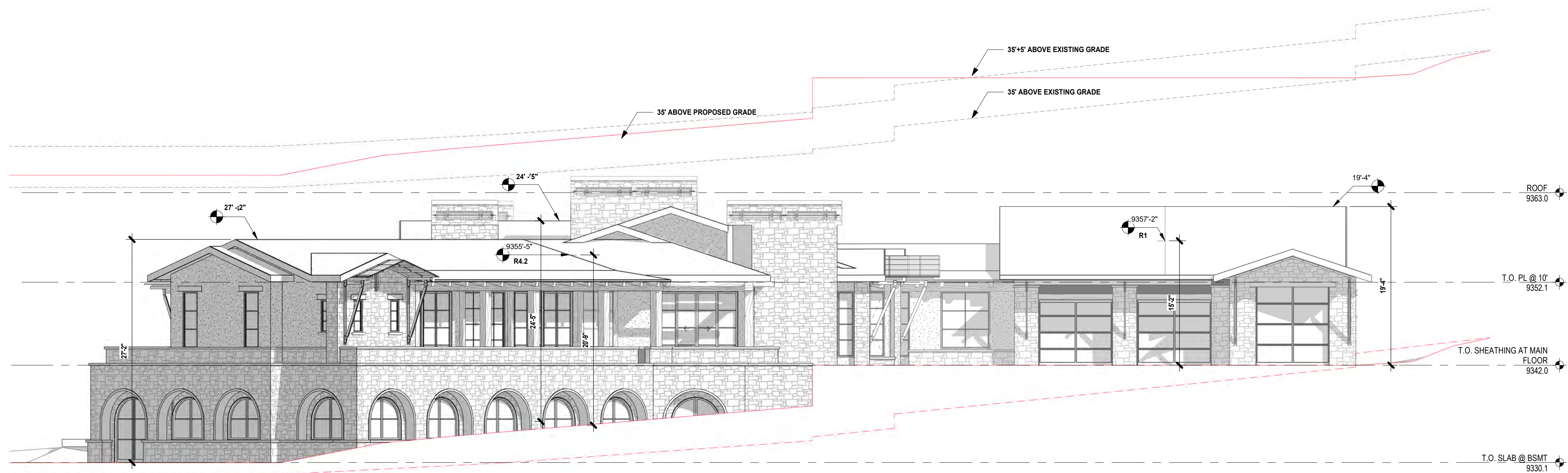
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934 MAIN AVENUE, SUITE C
DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER
PHONE: 970.459.9017



South Elevation Height

1/8" = 1'-0"



West Elevation Height

1/8" = 1'-0"

2 MOUNTAIN VILLAGE BLVD
**2 MOUNTAIN VILLAGE BLVD
SPECULATIVE RESIDENCE**
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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Drawn By

Project Number
AM
NM

Project Status
DESIGN REVIEW BOARD

Issue Date
02.18.2022

Rev. #	Description	Date
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HEIGHT LIMIT ANALYSIS
ELEVATIONS

A0.6

NOT FOR
CONSTRUCTION

OWNER
THE VAULT HOME COLLECTION
480 S. OLD DIXIE HWY, SITE 8
JUPITER, FL 33458

CONTACT
305.710.4907

CONTRACTOR
TOP NOTCH CONSTRUCTION
8121 PRESERVE DR.
TELLURIDE, CO 81435

CODY ABBOTT
970-596-1014

ARCHITECT
SHORT ELLIOTT HENDRICKSON, INC.
934 MAIN AVENUE, SUITE C
DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER
PHONE: 970.459.9017

2 MOUNTAIN VILLAGE BLVD
2 MOUNTAIN VILLAGE BLVD
SPECULATIVE RESIDENCE
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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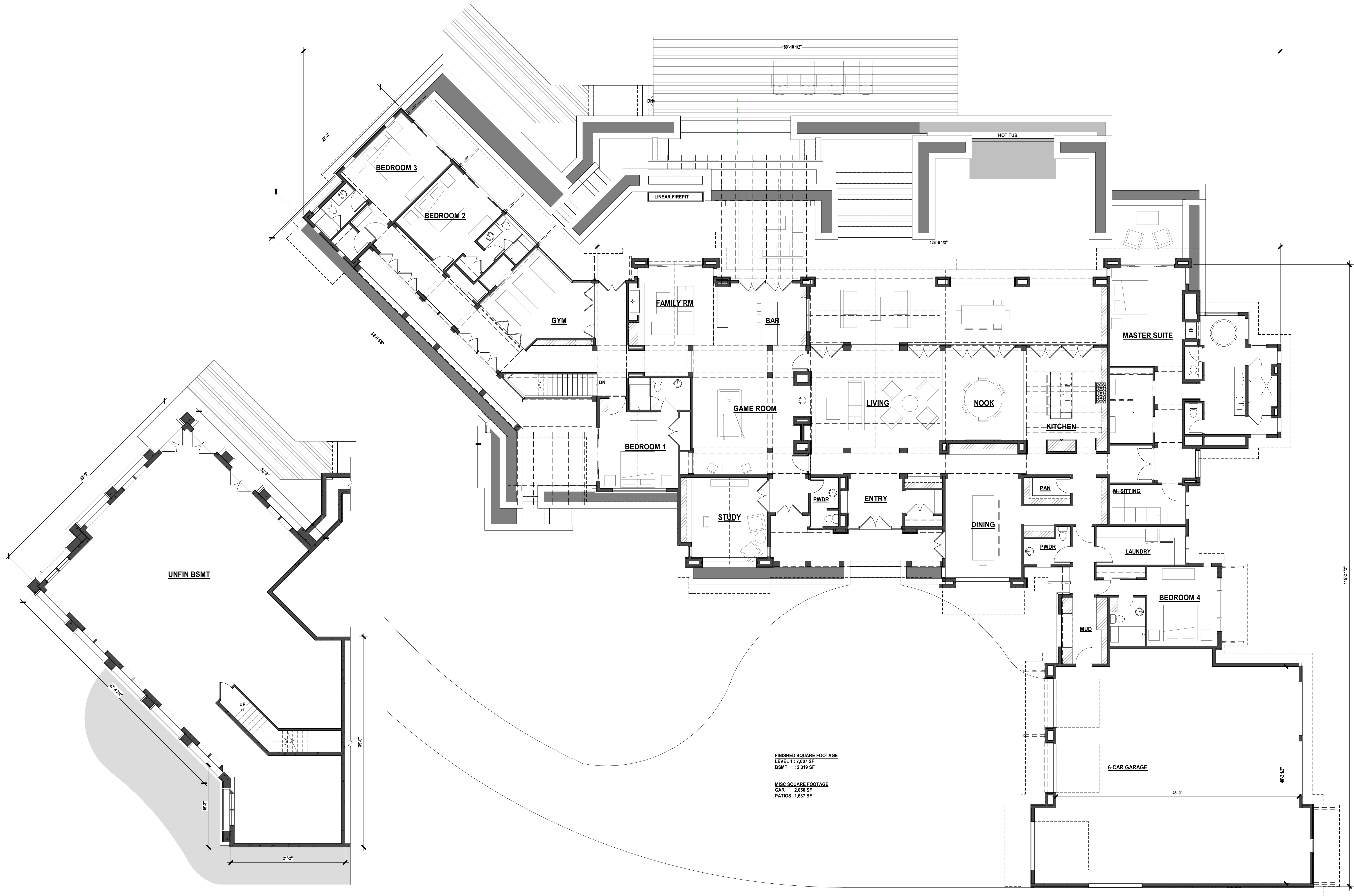
Issue Date
02.18.2022

Revision Issue

Rev. #	Description	Date
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FLOOR PLANS

A.1

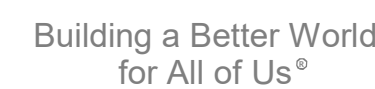


BSMT FLOOR PLAN SCHEMATIC

1/8" = 1'-0"

MAIN FLOOR PLAN SCHEMATIC

1/8" = 1'-0"



NOT FOR
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OWNER
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DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER
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2 MOUNTAIN VILLAGE BLVD
SPECULATIVE RESIDENCE

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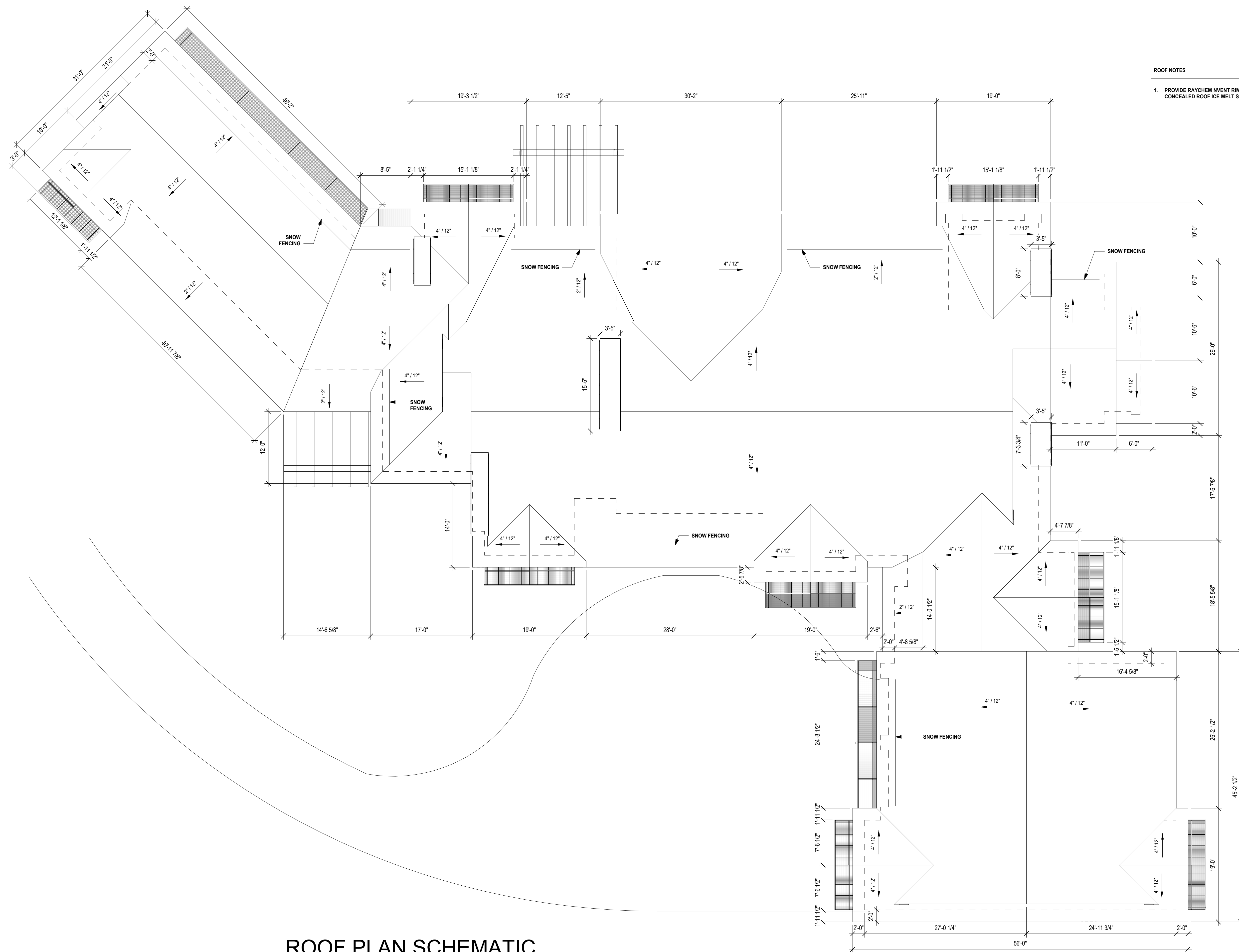
SEH Project	Project #
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Drawn By	

Project Status	Issue
DESIGN REVIEW BOARD	02.1

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Rev. #	Description	Date

ROOF PLAN

A.2



ROOF PLAN SCHEMATIC

1/8" = 1'-0"

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OWNER
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480 S. OLD DIXIE HWY, SITE 8
JUPITER, FL 33458

CONTACT
305.710.4907

CONTRACTOR
TOP NOTCH CONSTRUCTION
8121 PRESERVE DR.
TELLURIDE, CO 81435

CODY ABBOTT
970-596-1014

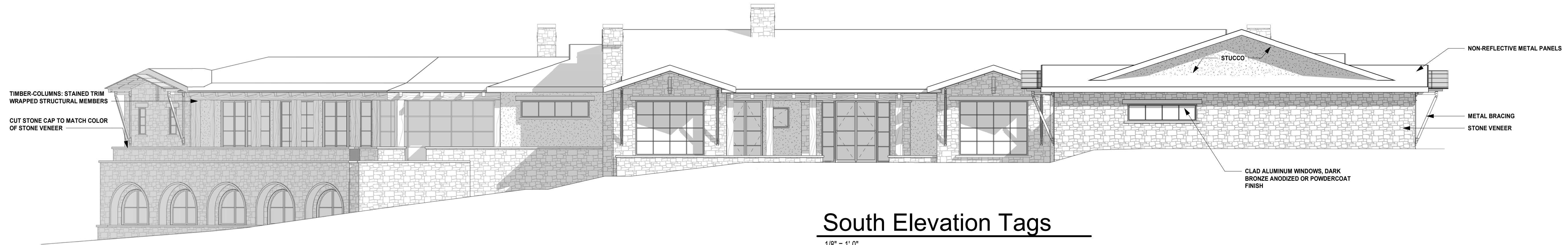
ARCHITECT
SHORT ELLIOTT HENDRICKSON, INC.
934 MAIN AVENUE, SUITE C
DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER
PHONE: 970.459.9017



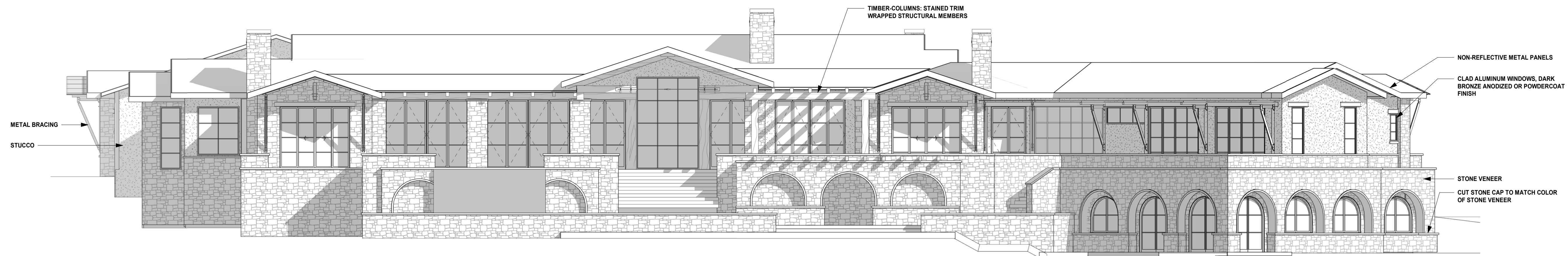
East Elevation Tags

1/8" = 1'-0"



South Elevation Tags

1/8" = 1'-0"



North Elevation Tags

1/8" = 1'-0"



West Elevation Tags

1/8" = 1'-0"

2 MOUNTAIN VILLAGE BLVD
2 MOUNTAIN VILLAGE BLVD
SPECULATIVE RESIDENCE
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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02.18.2022

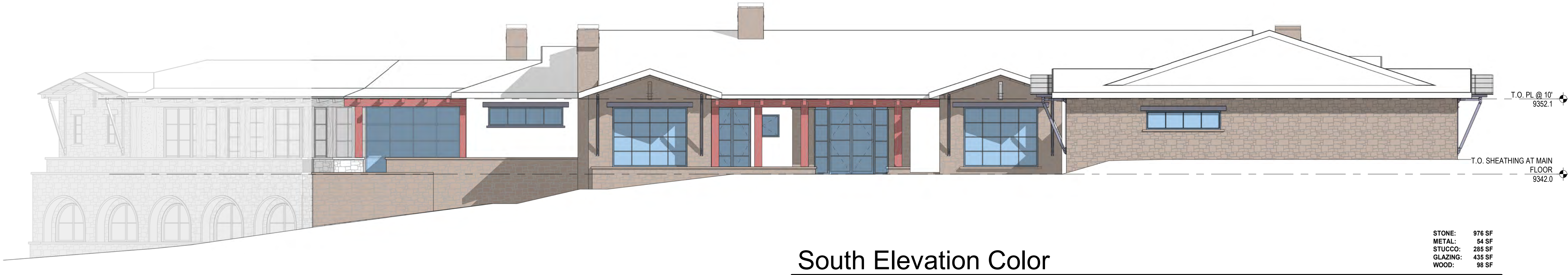
Revision Issue
Rev. # Description Date

ELEVATIONS



East Elevation Color

1/8" = 1'-0"



South Elevation Color

1/8" = 1'-0"



North Elevation Color

1/8" = 1'-0"



West Elevation Color

1/8" = 1'-0"

NOT FOR
CONSTRUCTION

OWNER
THE VAULT HOME COLLECTION
450 S. OLD DIXIE HWY, SITE 8
JUPITER, FL 33458

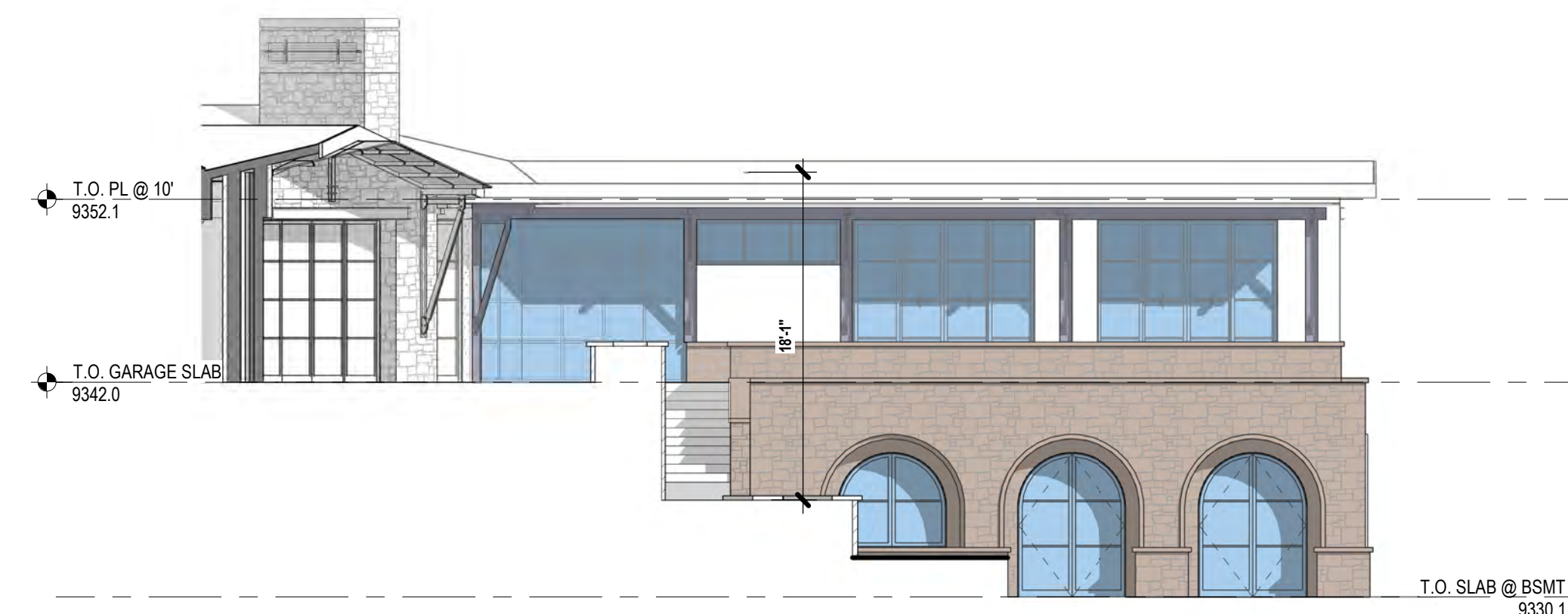
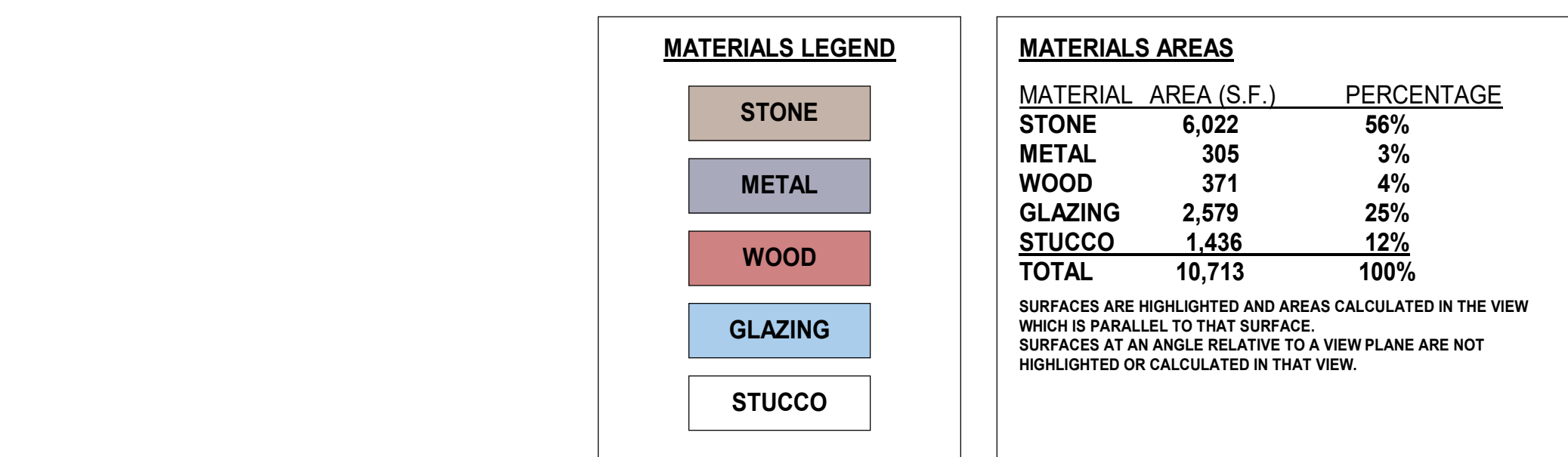
CONTACT
305.710.4907

CONTRACTOR
TOP NOTCH CONSTRUCTION
8121 PRESERVE DR.
TELLURIDE, CO 81435

CODY ABBOTT
970-596-1014

ARCHITECT
SHORT ELLIOTT HENDRICKSON, INC.
934 MAIN AVENUE, SUITE C
DURANGO, COLORADO 81301

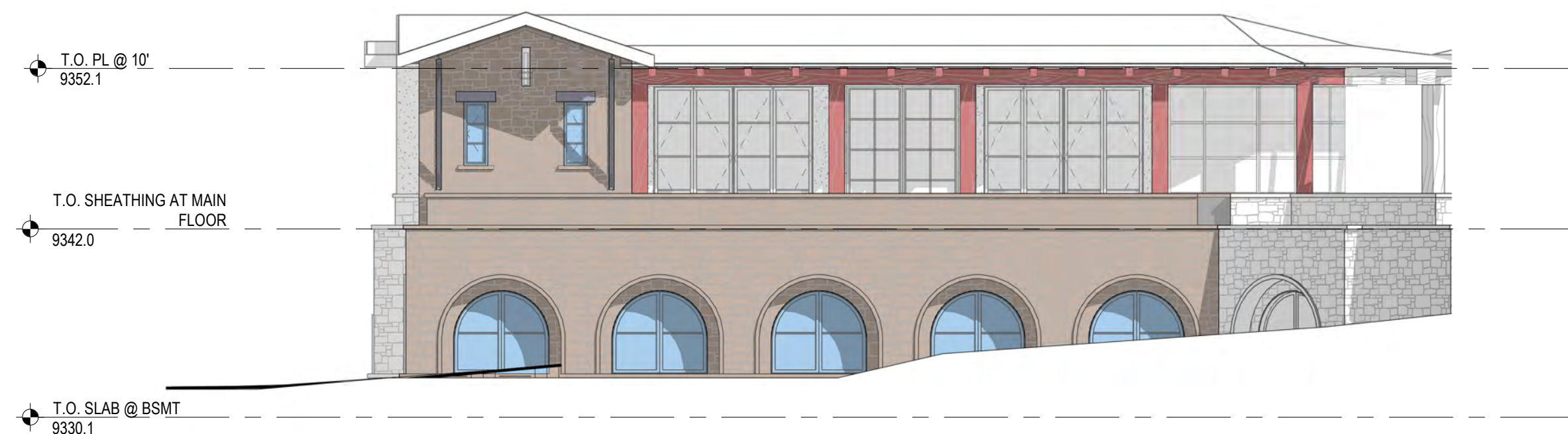
CONTACT: ALLISON MILLER
PHONE: 970.459.9017



SOUTHWEST ELEV COLOR

$$1/8'' = 1'-0''$$

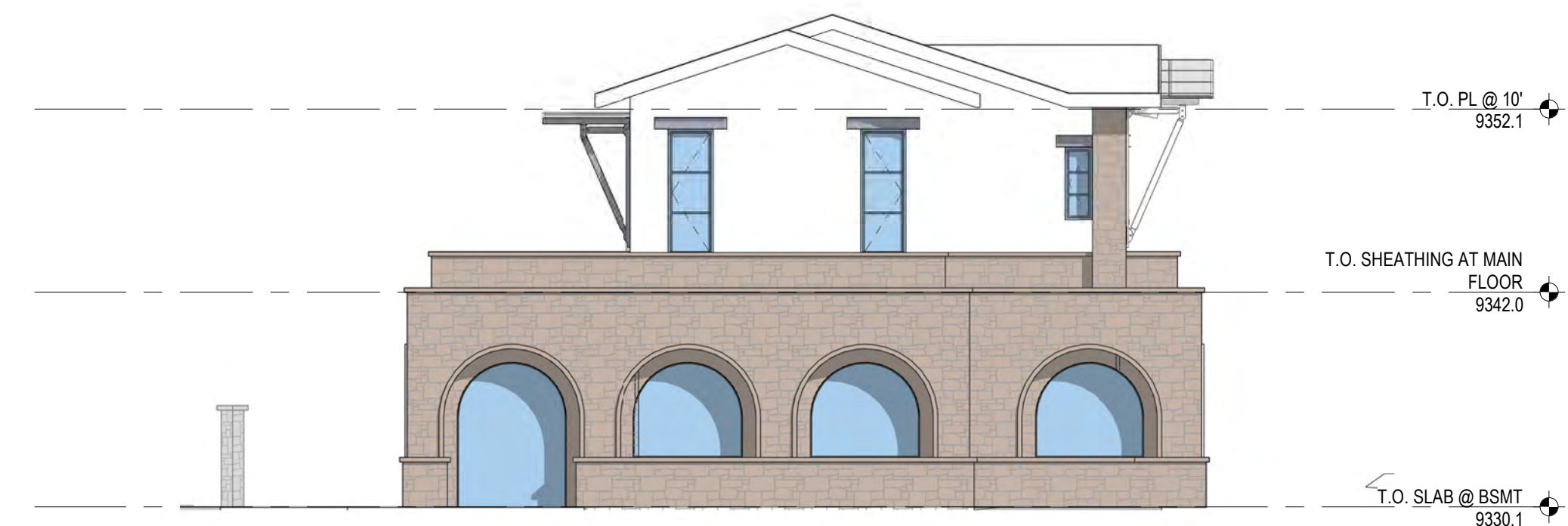
STONE: 327 SF
METAL: 57 SF
STUCCO: 92 SF
GLAZING: 358 SF



NORTHEAST ELEV COLO

$$1/8'' = 1'-0''$$

STONE: 670 SF
METAL: 9 SF
GLAZING: 150 SF
WOOD: 80 SF



SOUTHEAST ELEV COLOR

$$1/8'' = 1'-0''$$

STONE: 501 SF
METAL: 13 SF
STUCCO: 203 SF
GLAZING: 167 SF

2 MOUNTAIN VILLAGE BLVD
SPECULATIVE RESIDENCE

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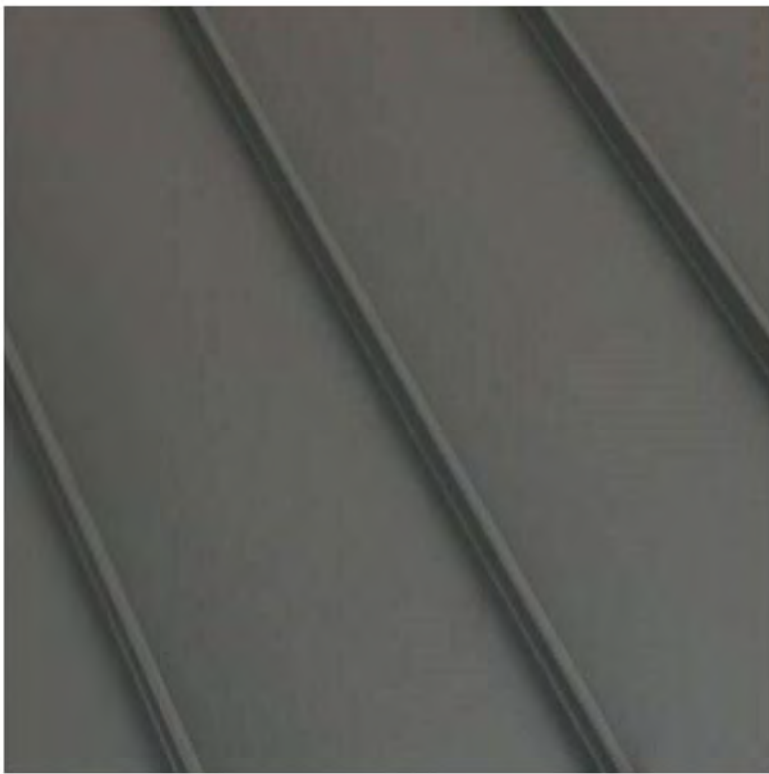
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Project Status	Issue
DESIGN REVIEW BOARD	02.1

Revision Issue		
Rev. #	Description	Date

MATERIAL CALCULATIONS



ROOFING: STANDING SEAM METAL, BROWN



EXTERIOR SOFFIT: T&G CLEAR CEDAR



WINDOW CLADDING: DARK BRONZE ANODIZED ALUMINUM



TIMBER COLUMNS



STONE VENEER AND STUCCO



WINDOW CLADDING: DARK BRONZE ANODIZED ALUMINUM

CHIMNEY CAPS: DARK BRONZE ANODIZED ALUMINUM



FASCIA: ALUMINUM COMPOSITE PANEL



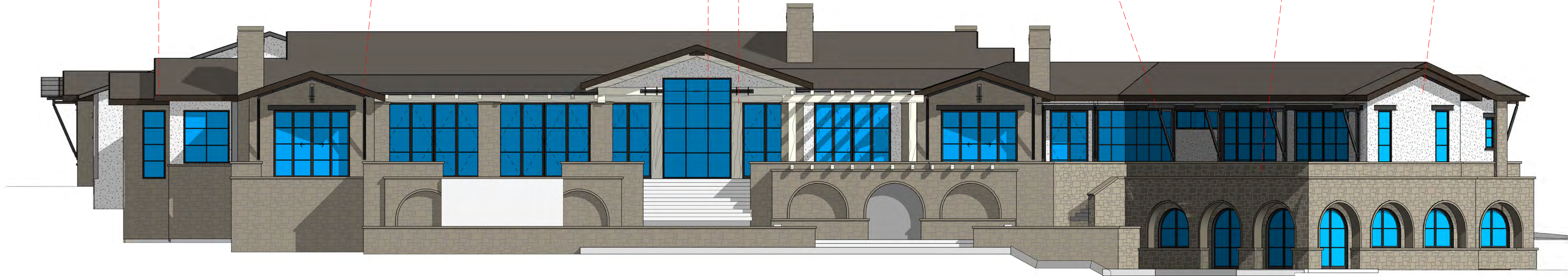
STEEL STRUCTURE: EXPOSED WIDE FLANGE STEEL, DARKING BLUING FINISH OR OIL RUB



STONE VENEER: BLUE MOUNTAIN LEDGESTONE



STUCCO SMOOTH FINISH



MATERIALS DIAGRAM

1/8" = 1'-0"

OWNER
THE VAULT HOME COLLECTION
480 S. OLD DIXIE HWY, SITE 8
JUPITER, FL 33458

CONTACT
305.710.4907

CONTRACTOR
TOP NOTCH CONSTRUCTION
8121 PRESERVE DR.
TELLURIDE, CO 81435

CODY ABBOTT
970-596-1014

ARCHITECT
SHORT ELLIOTT HENDRICKSON, INC.
934 MAIN AVENUE, SUITE C
DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER
PHONE: 970.459.9017

2 MOUNTAIN VILLAGE BLVD
2 MOUNTAIN VILLAGE BLVD
SPECULATIVE RESIDENCE
2 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, CO 81435

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EXTERIOR MATERIAL DIAGRAM

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CONSTRUCTION

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CONTRACTOR
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8121 PRESERVE DR.
TELLURIDE, CO 81435

CODY ABBOTT
970-596-1014

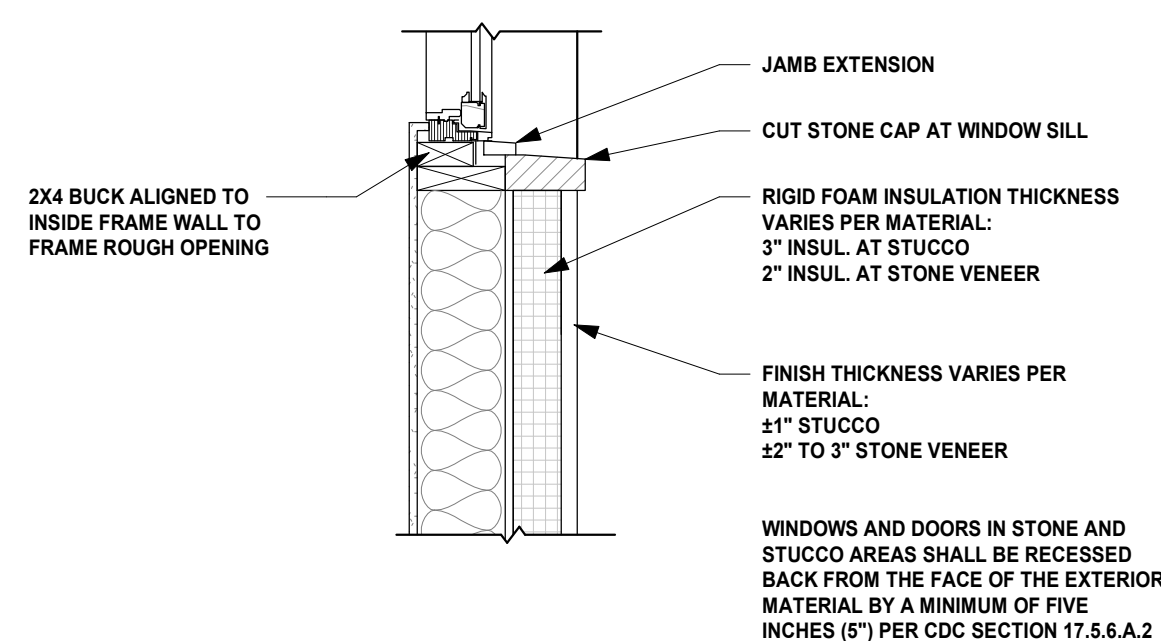
ARCHITECT
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934 MAIN AVENUE, SUITE C
DURANGO, COLORADO 81301

CONTACT: ALLISON MILLEFANT
PHONE: 970.459.9017

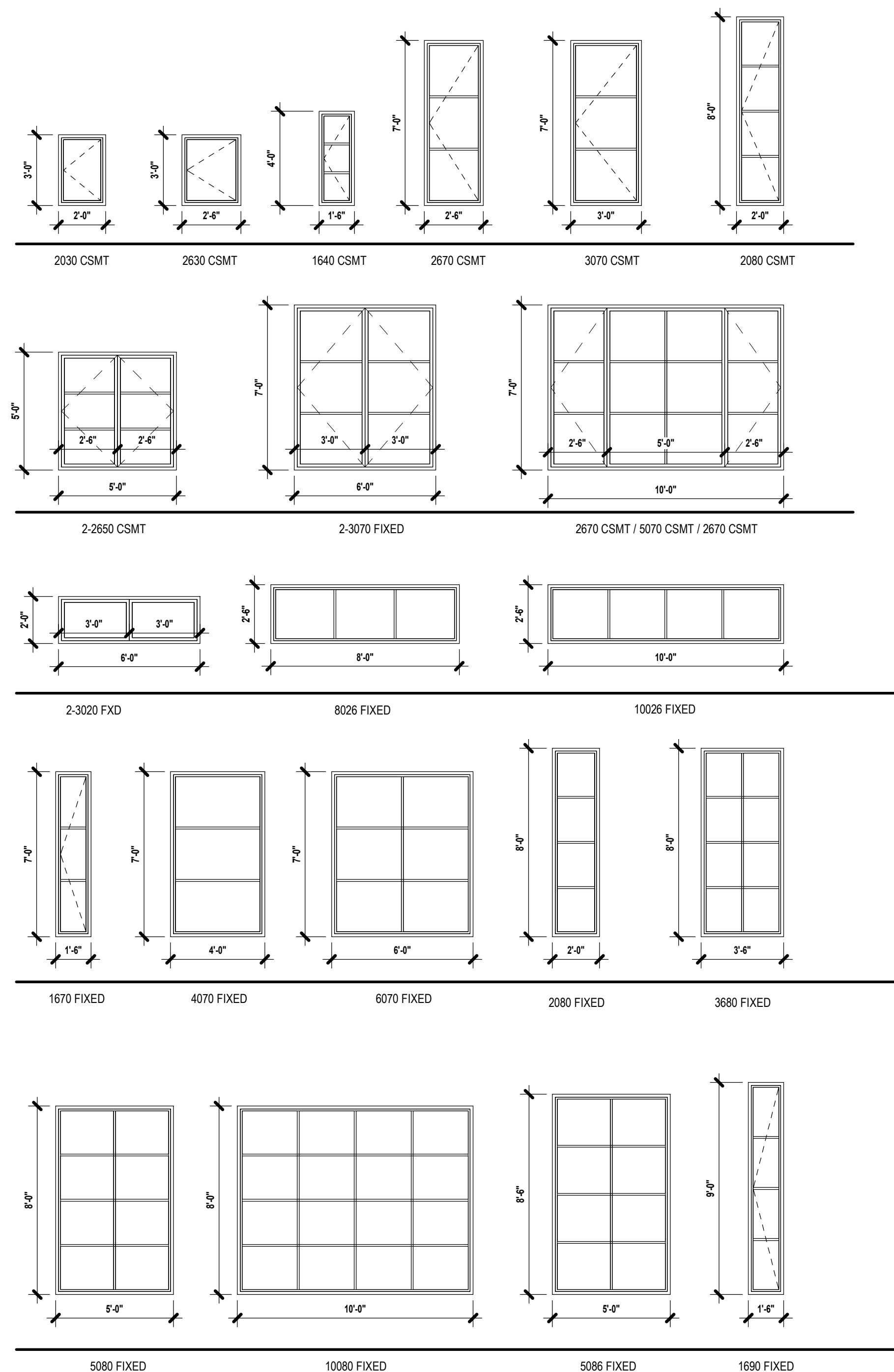
WINDOW SCHEDULE			
MARK	WINDOW TYPE	GENERIC SIZE	
		WIDTH	HEIGHT
243	2-2650 CSMT	5'-0"	5'-0"
244	2-2650 CSMT	5'-0"	5'-0"
162	2-3020 FXD	6'-0"	2'-0"
130	2-3370 CSMT	6'-0"	3'-0"
235	1640 CSMT	1'-6"	4'-0"
236	1640 CSMT	1'-6"	4'-0"
287	1640 CSMT	1'-6"	4'-0"
255	1670 FXD	1'-6"	7'-0"
259	1690 FXD	1'-6"	9'-0"
263	1690 FXD	1'-6"	9'-0"
78	2030 CSMT	2'-0"	3'-0"
289	2080 CSMT	2'-0"	8'-0"
204	2080 FXD	2'-0"	8'-0"
286	2080 FXD	2'-0"	8'-0"
255	2630 CSMT	2'-6"	3'-0"
77	2630 CSMT	2'-6"	3'-0"
145	2670 CSMT	2'-6"	7'-0"
146	2670 CSMT	2'-6"	7'-0"
156	2670 CSMT	2'-6"	7'-0"
246	2670 CSMT	2'-6"	7'-0"
248	2670 CSMT	2'-6"	7'-0"
67	2670 CSMT / 5070 FXD / 2670 CSMT	10'-0"	7'-0"
261	3070 CSMT	3'-0"	7'-0"
349	3690 FXD	3'-0"	9'-0"
230	3690 FXD	3'-0"	9'-0"
167	3690 FXD	3'-6"	8'-0"
368	3690 FXD	3'-6"	8'-0"
257	4070 FXD	4'-0"	7'-0"
252	5080 FXD	5'-0"	8'-0"
245	5086 FXD	5'-0"	8'-0"
251	6070 FXD	6'-0"	7'-0"
258	6070 FXD	6'-0"	7'-0"
180	8026 FXD	8'-0"	2'-6"
163	10026 FXD	10'-0"	2'-6"
337	10026 FXD	10'-0"	2'-6"
239	10026 FXD	10'-0"	2'-6"
242	10026 FXD	10'-0"	2'-6"
266	10080 FXD	10'-0"	8'-0"
270	10080 FXD	10'-0"	8'-0"
106	20110 FXD	2'-0"	11'-0"
127	20110 FXD	2'-0"	11'-0"
120	90130 FXD	9'-0"	13'-3"
172	DR	8'-0"	9'-0"
173	DR	8'-0"	9'-0"
178	DR	8'-0"	9'-0"
182	DR	8'-0"	9'-0"
183	DR	8'-0"	9'-0"
213	DR	8'-0"	9'-0"
180	DR 8'W 7'-6"H	8'-0"	7'-6"
174	WDW	8'-0"	6'-6"
176	WDW	8'-0"	6'-6"
176	WDW	8'-0"	6'-6"
186	WDW	8'-0"	6'-6"
203	WDW	8'-0"	6'-6"
204	WDW	8'-0"	6'-6"
221	WDW	8'-0"	6'-6"
181	WDW 8'W 5'H	8'-0"	5'-2"
212	WDW 8'W 5'H	8'-0"	5'-2"
221	WDW 8'W 5'H	8'-0"	5'-2"
232	WDW 8'W 5'H	8'-0"	5'-2"
233	WDW 8'W 5'H	8'-0"	5'-2"
TOTAL UNITS: 64			

GLAZING NOTES:

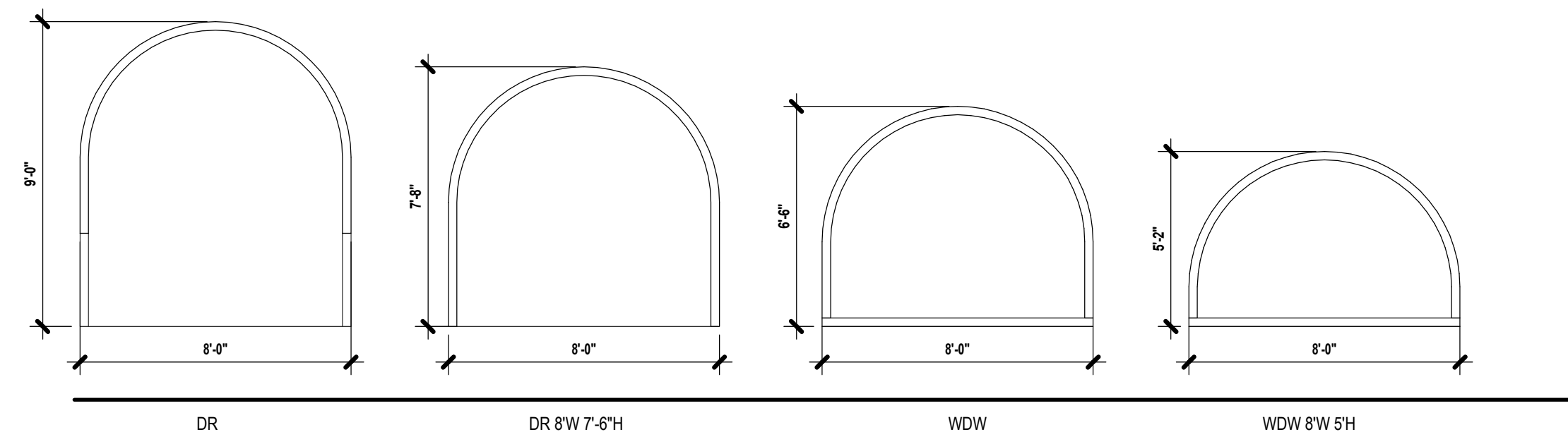
1. WINDOWS SHALL HAVE DOUBLE OR TRIPLE GLAZING OR HIGH TECHNOLOGY GLASS AS REQUIRED BY THE BUILDING CODES.
2. FRAMES WILL BE ALUMINIUM CLAD.



RECESSED WINDOW DETAIL

$$1'' = 1' - 0'$$


WINDOW TYPES

$$1/4'' = 1'-0''$$


ARCHED WINDOW TYPES

$$1/4" = 1'-0"$$

DISCUSSION

2 MOUNTAIN VILLAGE BLVD
SPECULATIVE RESIDENCE

2 MOUNTAIN VILLAGE BLVD. MOUNTAIN VILLAGE, CO 81435

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Issue Date
02.18.2022

Revision Issue

Rev. #	Description	Date
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SCHEDULES

NOT FOR
CONSTRUCTION

OWNER
THE VAULT HOME COLLECTION
450 S. OLD DIXIE HWY, SITE 8
JUPITER, FL 33458

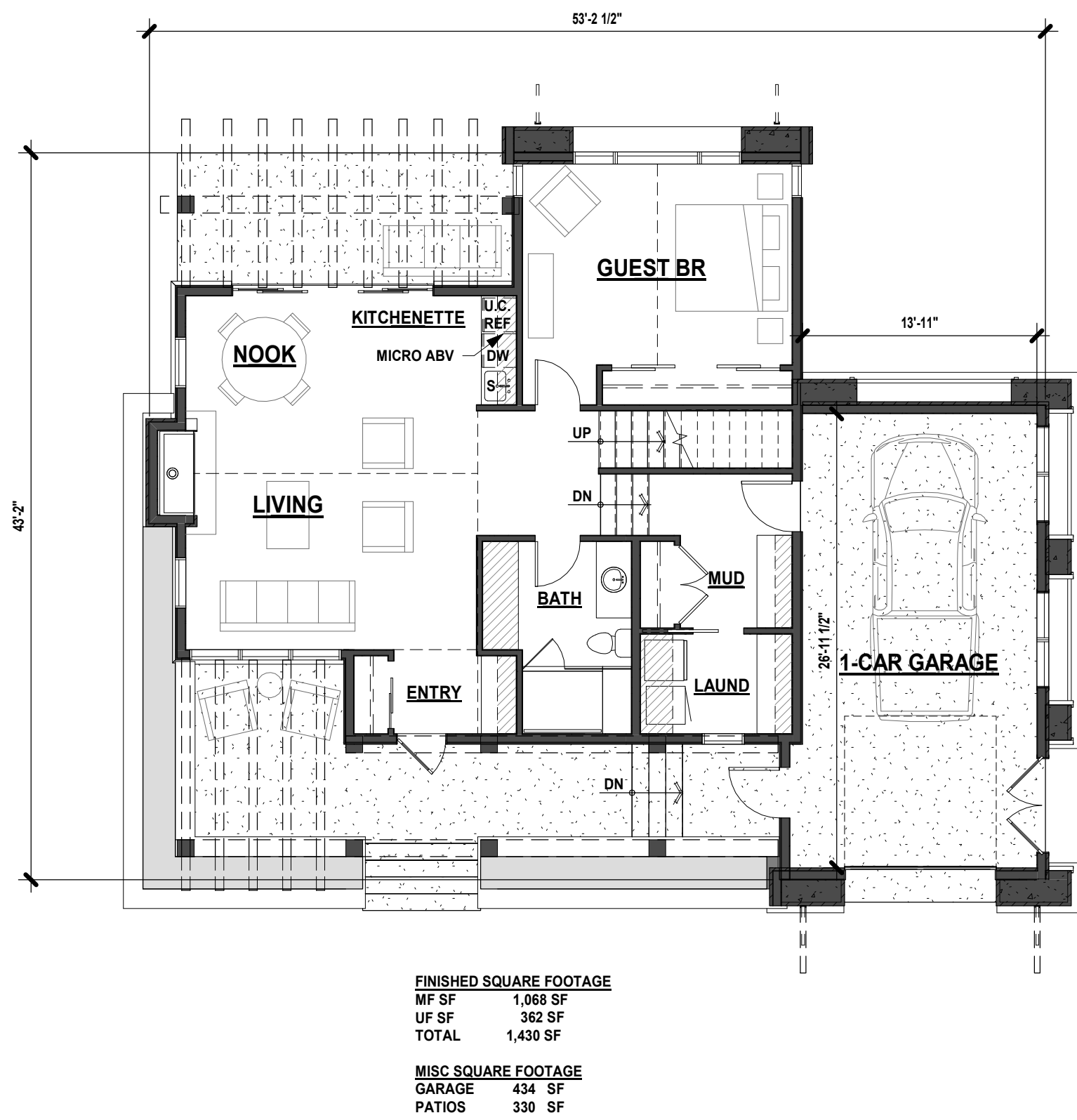
CONTACT
305.710.4907

CONTRACTOR
TOP NOTCH CONSTRUCTION
8121 PRESERVE DR.
TELLURIDE, CO 81435

CODY ABBOTT
970-596-1014

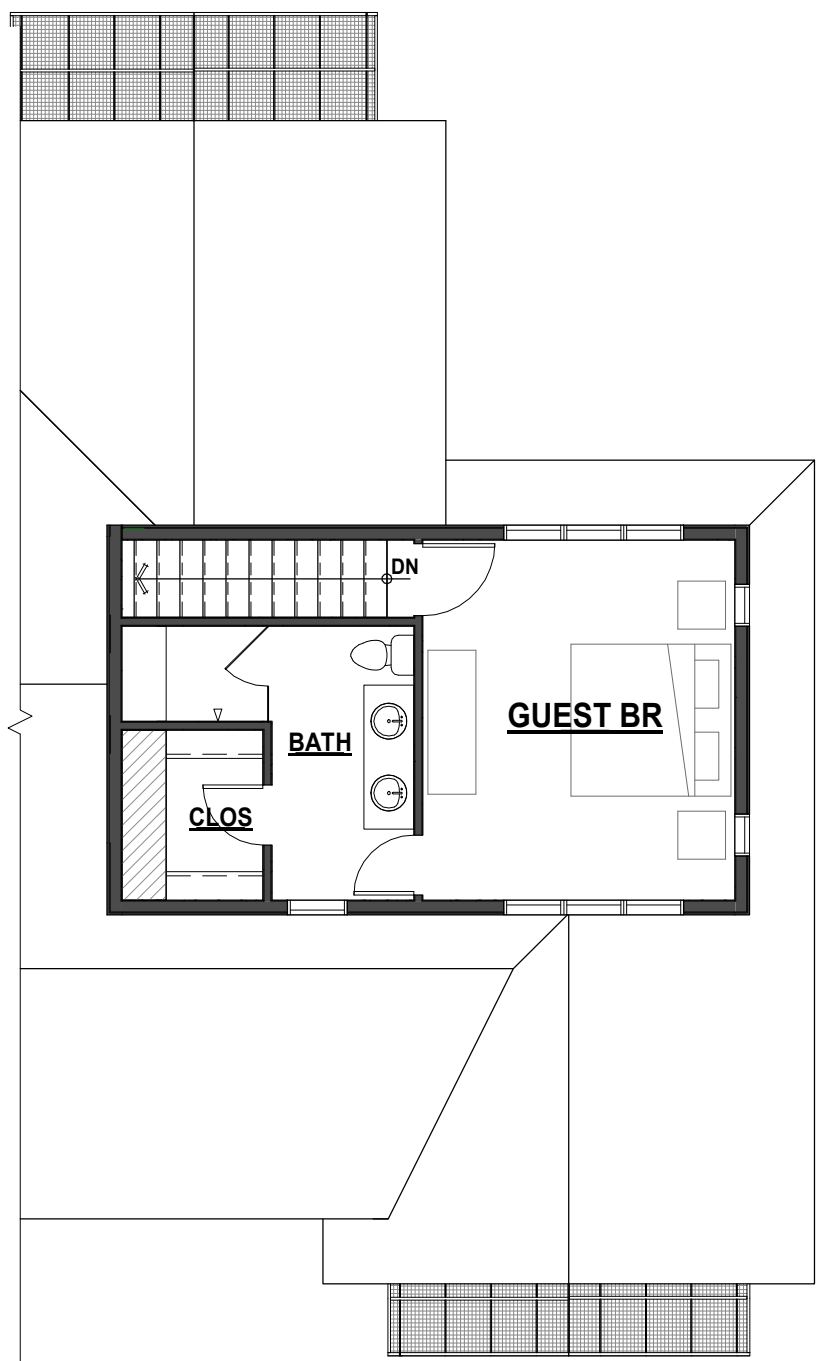
ARCHITECT
SHORT ELLIOTT HENDRICKSON, INC.
934 MAIN AVENUE, SUITE C
DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER
PHONE: 970.459.9017



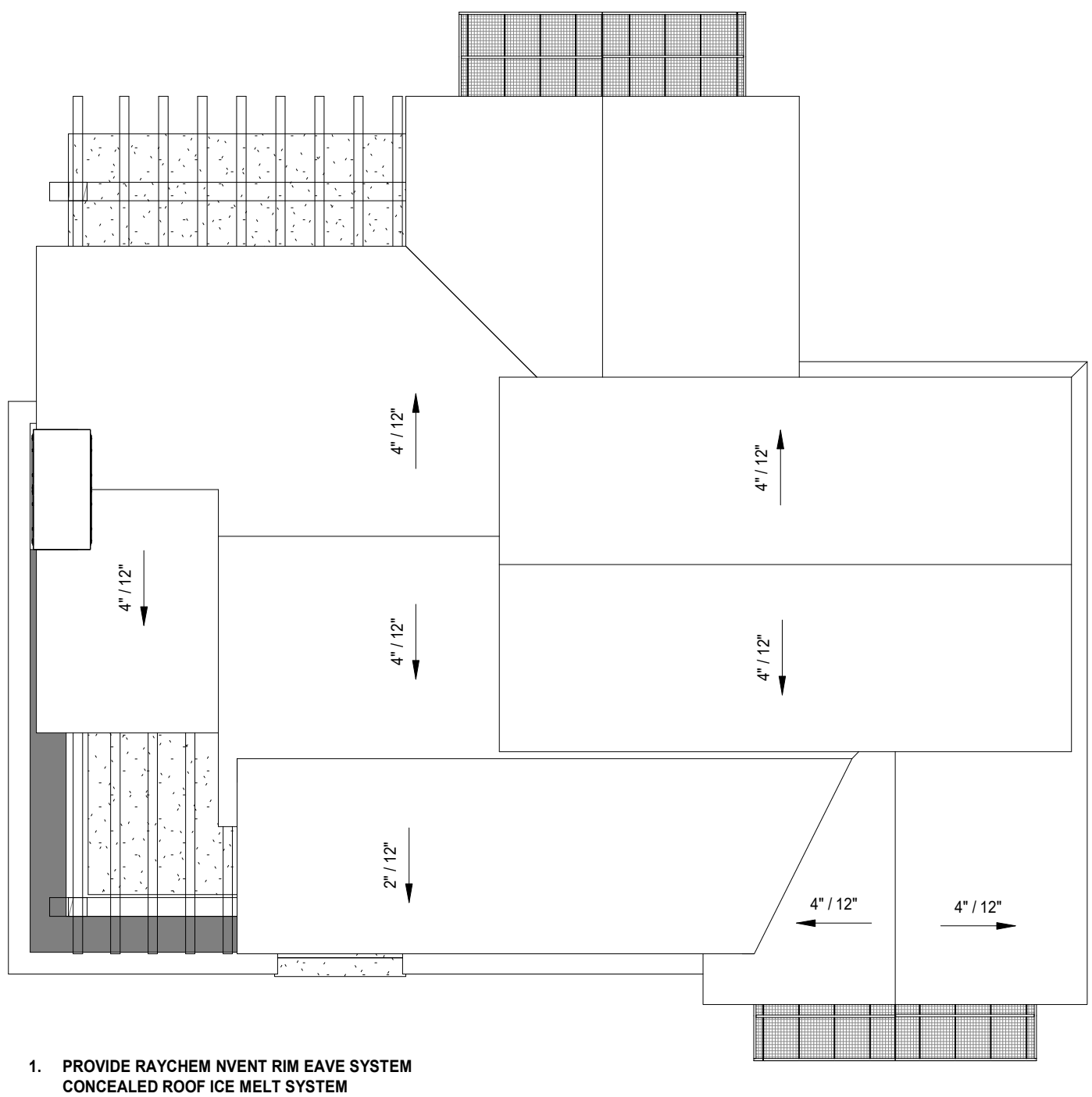
MAIN FLOOR SCHEMATIC

1/8" = 1'-0"



UPPER FLOOR SCHEMATIC

1/8" = 1'-0"



ROOF PLAN SCHEMATIC

1/8" = 1'-0"

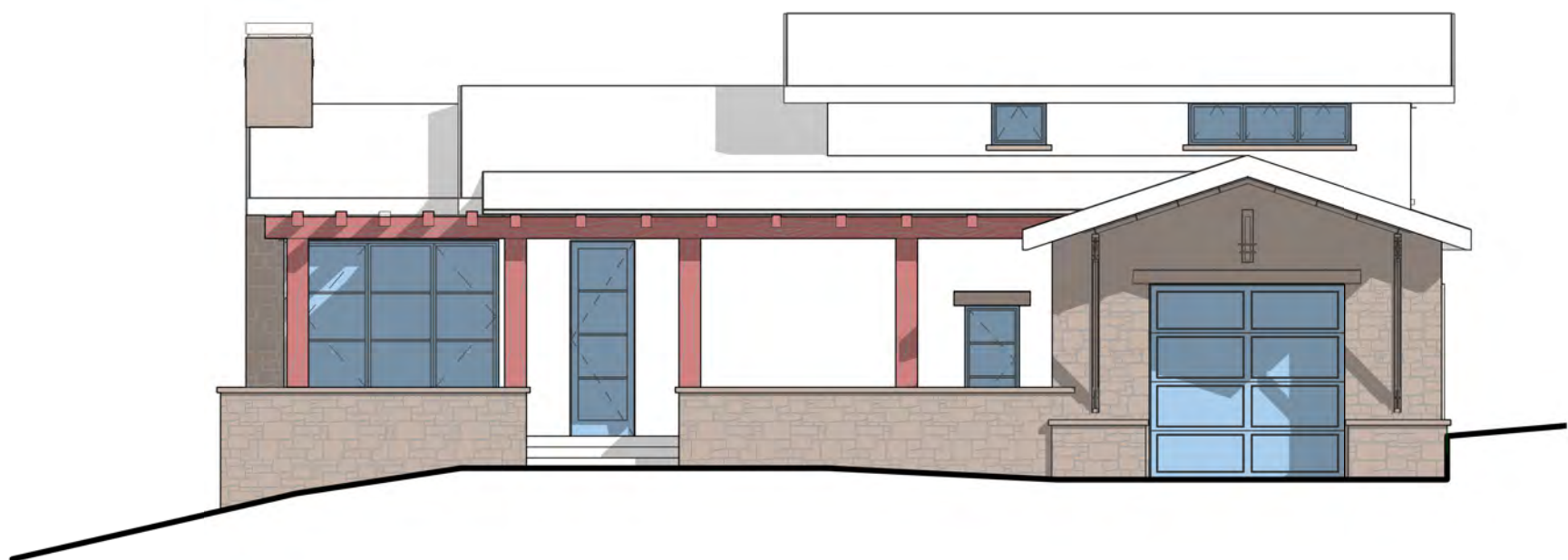
MATERIALS LEGEND

STONE
WOOD
GLAZING
STUCCO

MATERIALS AREAS

MATERIAL	AREA (S.F.)	PERCENTAGE
WOOD	130	5%
STONE	1,179	45%
STUCCO	737	28%
GLAZING	592	22%
TOTAL	2,638	100%

SURFACES ARE HIGHLIGHTED AND AREAS CALCULATED IN THE VIEW
WHICH IS PARALLEL TO THAT SURFACE.
SURFACES AT AN ANGLE RELATIVE TO A VIEW PLANE ARE NOT
HIGHLIGHTED OR CALCULATED IN THAT VIEW.



WEST ELEV

1/8" = 1'-0"

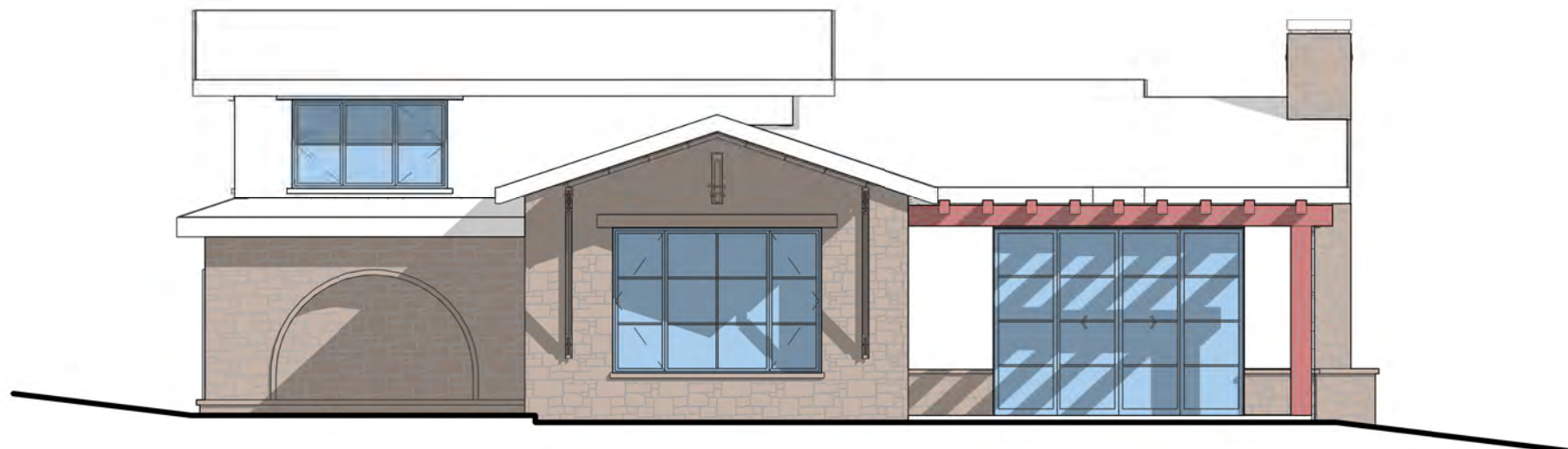
WOOD:	64 SF
STONE:	302 SF
STUCCO:	163 SF
GLAZING:	195 SF



NORTH ELEV

1/8" = 1'-0"

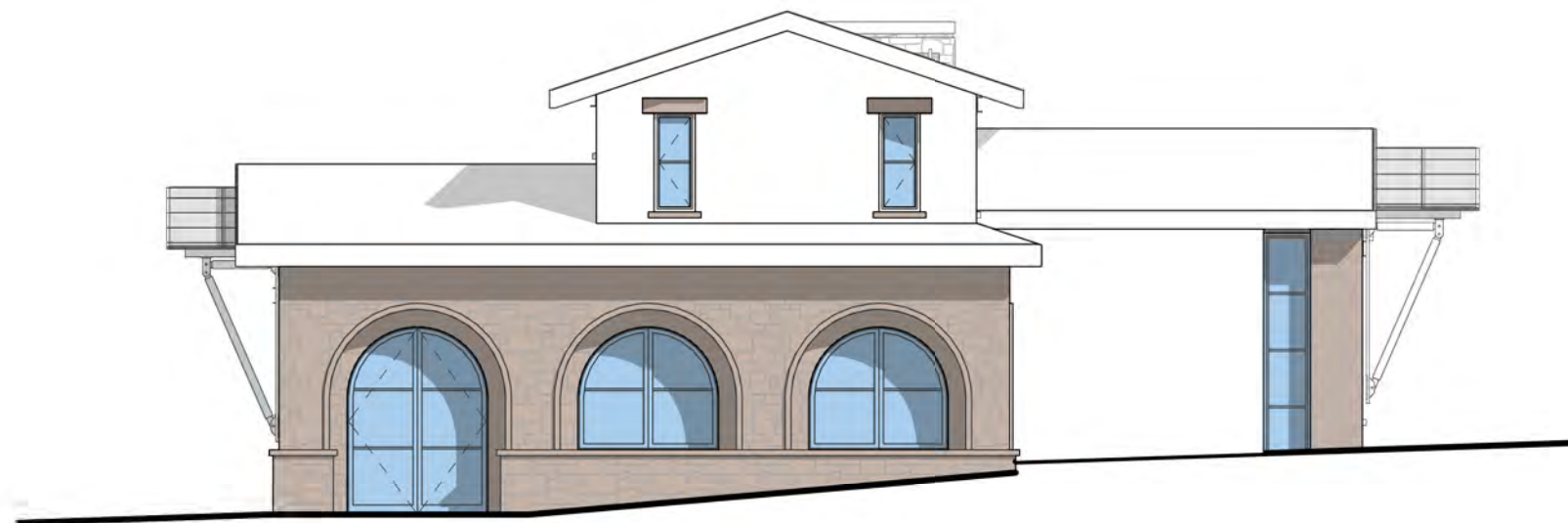
WOOD:	36 SF
STONE:	298 SF
STUCCO:	257SF
GLAZING:	59 SF



EAST ELEV

1/8" = 1'-0"

WOOD:	30 SF
STONE:	339 SF
STUCCO:	102 SF
GLAZING:	210 SF



SOUTH ELEV

1/8" = 1'-0"

STONE:	240 SF
STUCCO:	195 SF
GLAZING:	128 SF

Project Name

PROJECT NAME

PROJECT ADDRESS
PROJECT ADDRESS
COUNTY, STATE

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GUEST HOUSE Schematic



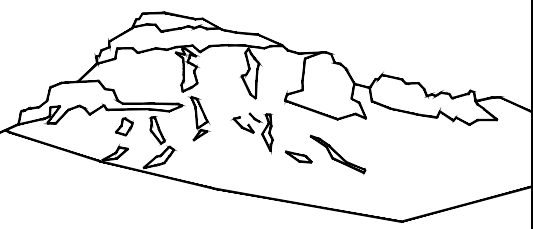
DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments

TFPD approves the proposal with the following conditions:

- 1) The structure is over 3,600 gross sq ft and shall require a monitored NFPA 13D sprinkler system.
- 2) The structure shall require a monitored NFPA 72 fire alarm system.
- 3) The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 4) The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
- 5) A fire hydrant shall be installed at the driveway intersection and Mountain Village Blvd.
- 6) TFPD recommends the installation of a Knox Box for emergency access.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2022-02-18

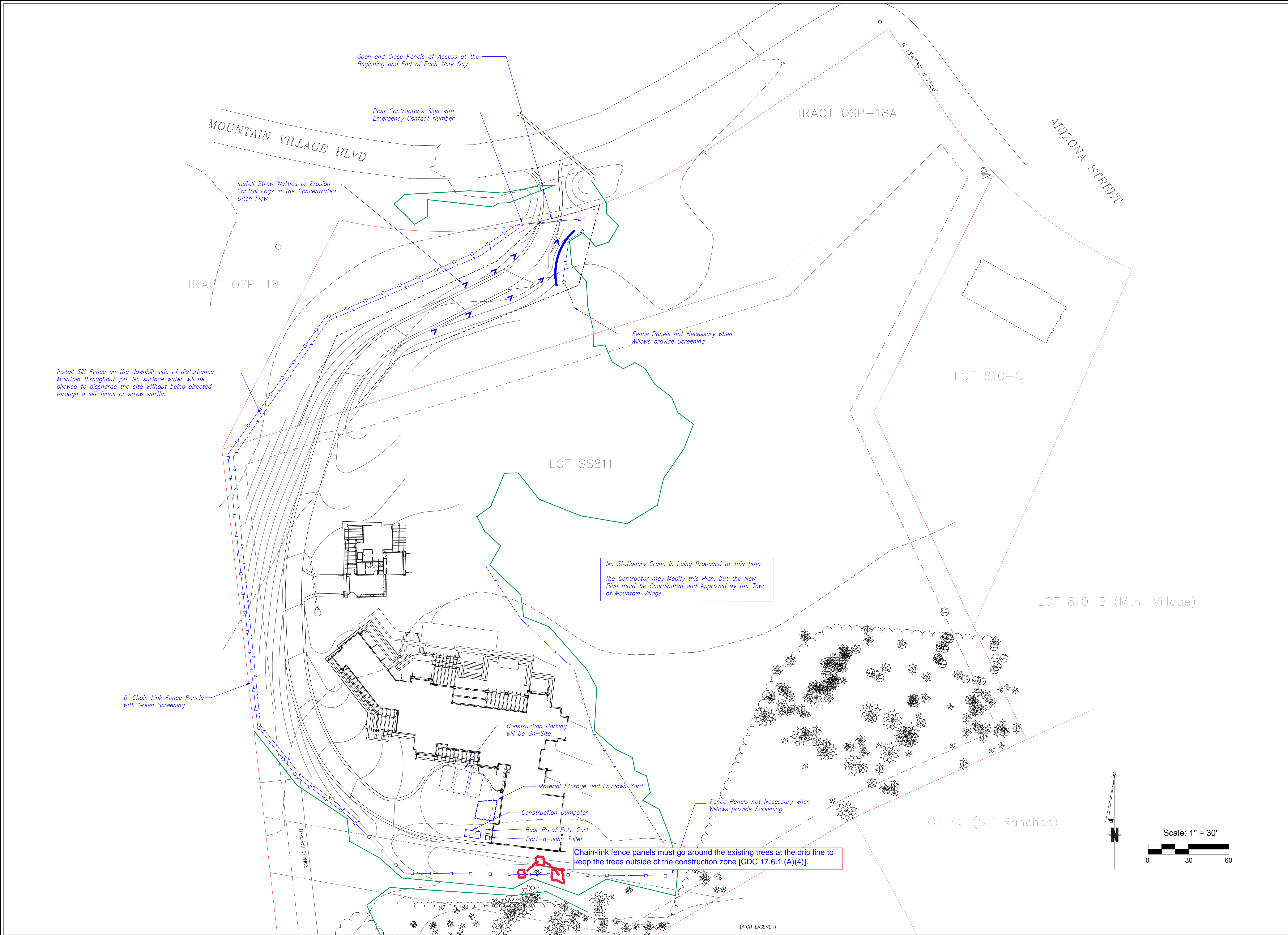
Lot SS811
2 MV Blvd
Mtn. Village, CO

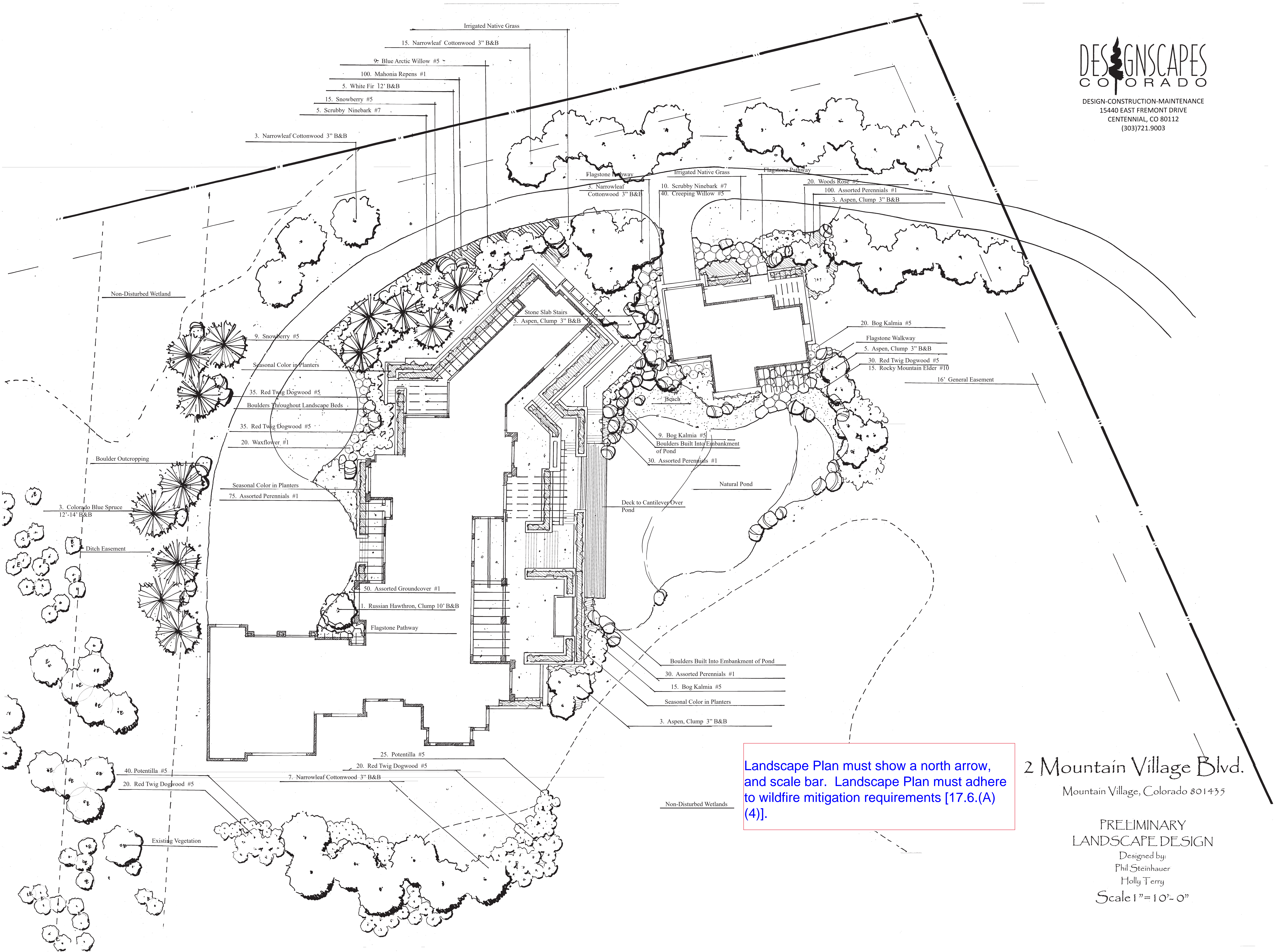


CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction
Mitigation

C4





Landscape Plan must show a north arrow,
and scale bar. Landscape Plan must adhere
to wildfire mitigation requirements [17.6.(A)
(4)].

2 Mountain Village Blvd.

Mountain Village, Colorado 801435

PRELIMINARY
LANDSCAPE DESIGN

Designed by:
Phil Steinhauer
Holly Terry

Scale 1"=10'-0"

From: [Paul](#)
To: [cd](#)
Cc: [Michelle Haynes](#); [Paul Wisor](#)
Subject: Lot SS-811 & OSP-18A
Date: Wednesday, September 28, 2022 11:58:00 AM

Design Review Board:

I respectfully object to the plans submitted for lot SS-811 presented to the DRB.

Their plans have essentially annexed the adjacent open space, OSP-18A as their own. The original town developer had designed driveway access that extends to Arizona St. in the lot design, but to save money, the current plans have the driveway going out to Mountain Village Blvd. Estimating about 250 feet of driveway, a vehicle pullout, a retaining wall, a non-conforming flared driveway entry, address monument and relocated utilities all within open space before ever entering their property.

Mountain Village Blvd is the main road into town, and the open space adjacent to it is a valued asset for the entire community. For the first 2.7 miles from the Mountain Village entry from hwy. 145 until after driving past the entire Core, there isn't a single residential driveway. It isn't until the very eastern section of Mountain Village Blvd., east of the Core, that driveways connect after the boulevard becomes a secondary road. The only access direct from Mountain Village Blvd when it is the primary road, are for commercial properties in the Town Hall Subarea and the Core. The entire western residential 1.6 miles of the entrance, has continuous open space on both sides of the boulevard; the only interruptions are roads and all residences are connected to those secondary roads. There was a strong reason the original developer did this. It better maintains traffic flow by not having driveways connect to the primary road, plus it makes a grand entrance to our community.

This lot is right near the entrance to town. The only exit from Mountain Village Blvd. before the planned residence is Adams Ranch Rd., so 95% of all traffic will drive past this driveway. Like me, I doubt anyone living up here is aware that the boulevard open space corridor wouldn't be maintained as open space. I recall how difficult the DRB was with my build being both on the golf course and visible from MV Blvd., but for this property, we are allowing them to interrupt the double-sided 1.6 miles of open space and allowing them to develop an acre plus of frontage on MV Blvd right near the town's entrance?

The plans state a couple items: "MAINTENANCE AND ACCESS EASEMENT AGREEMENT PER REC NO. 385819 RECORDED AUGUST 4, 2006" & "NON EXCLUSIVE DRIVEWAY EASEMENT GRANTED ON THE PLAT OF TRACT OSP-18A RECORDED IN PLAT BOOK 1 AT PAGE 1353/1354".

While they may have the driveway easement granted solely by Telski, this shouldn't automatically just get a DRB pass from the entire community. They do not have an easement granted for the utility relocation from the existing taps to the drive, vehicle pullout, retaining wall, non-conforming flared driveway entry or address monument that they are also looking to fully locate on designated open space. They may have been able to get the easement from Telski, but that is a far easier process than the intense scrutiny of the DRB of the entire community.

Further, the Telski easement calls for the Grantee to build a bridge over the wetlands near Mountain Village Blvd., yet the plans indicate a driveway with the "Driveway Fill Slope within the approx. 200 sf of the delineated wetlands. Mitigation Requirements by others." Not only do the the plans call for many items on open space not granted by the easement, but the current plans do not call for the bridge that is specified by the easement.

The build is going to back up traffic right at the entrance to Mountain Village. A 13,000 sqft home and 2,900 sqft guesthouse plus 1/10th of a mile of driveway all accessible only from the boulevard will cause delays. Besides additional build traffic, once completed, a plowing issue on every powder day when the main road is at its busiest. Is the plan to put the garbage and recycling on Mountain Village Blvd. as well? All deliveries, contractors, service and those who live or vacation there gaining access will also cause the boulevard to back up as driveways are narrower than roads. This will not happen at all if the residence is built as the lot was designed with its entrance on Arizona St. Every other residence has a driveway connection, by design, connected to a secondary road rather than the main thoroughfare.

Seeing as that driveway will be located on open space, and is classified as a non-exclusive driveway, does that mean we can all park there?

I understand the wetland issue, however that was known to the developer yet still planned for access from Arizona. I'm sure the initial thought was a short driveway bridge would need to be built in order to access the lot from Arizona, the same way the easement calls for a short driveway bridge to access the lot from the boulevard. Every lot has its issues. Many lots where groves of trees have to be removed, foundations reinforced for soil issues, retaining walls built into the hillsides and bridges erected for drainage issues. This is always done at the cost of the land owner to improve the lot they own, so that they can build within their lot perimeter.

Why is it that on this one single lot, that we are considering allowing the homeowner to instead of paying to rectify the land that they own like we all have done before, to instead be allowed to build on adjacent open space to reduce their build and maintenance costs? I don't think we should all give up our open space, breaking up miles of continuous undeveloped space adjacent to MV blvd., negatively affecting the grand entrance to our community, plus have additional traffic concerns, all to appease a single estate developer. That estate lot is 5.67 acres with access to Arizona. Why should we all lose our open space and subsidize their build by gifting them an acre plus of boulevard frontage that absolutely no one else is allowed?

I agree with the plans going forward only if the land owner is willing to agree to relocate the driveway and other items to land that they own, and not build on the open space OSP-18A. We are already making a CDC consolation of allowing them a pool facing the road, both the boulevard and Arizona, which is a substantial variation.

If they are not willing to agree to relocate the driveway to Arizona as the original developer intended, then I believe the DRB process should be reversed to give the public proper notice. I received a "Notice of Pending Development Application" mandated by the CDC to property owners within 400 feet of a proposed development. On the satellite image printed on the Notice, the build borders only had the the perimeter of SS-811 highlighted, not OSP-18A which is also included in the development. The Address simply was listed as 2 Mountain Village Blvd at 5.673 acres, and did not reference the additional acre plus of open space that is also under consideration for development. The "Description of Any Requested Variations to the CDC" only listed the "Pool facing the street", and not the extensive driveway, vehicle pullout, retaining wall, non-conforming flared driveway entry, address monument and relocated utilities all planned to be erected on open space, which all are variations to the CDC. The mandated sign posted was first located on the open space OSP-18A, then moved to their lot SS-811 access on Arizona, though two signs should have been posted, one on each tract. This absolutely needs more consideration; full disclosure and the community has not been properly notified.

Thank you all for reviewing this, and I hope the DRB will feel as I do, and likely many others who are unaware of this development, that the build at SS-811 should be restricted to the lot perimeter, and not occupy open space that we all deeply value.

Sincerely,
Paul Savage
117 Arizona St., Lot 801



AGENDA ITEM 8
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Amy Ward, Senior Planner

FOR: Design Review Board Public Hearing; October 6, 2022

DATE: September 28, 2022

RE: Staff Memo – Initial Architecture and Site Review (IASR) for Lot AR25, 125 Lawson Point

APPLICATION OVERVIEW: New Single-Family Home on Lot AR25

PROJECT GEOGRAPHY

Legal Description: LOT AR-25 AND OPEN SPACE-A, TELLURIDE MOUNTAIN VILLAGE, FILING 35, ACCORDING TO THE PLAT RECORDED OCTOBER 7, 1994 IN PLAT BOOK 1 AT PAGE 1757, AND THE INSUBSTANTIAL AMENDMENT RECORDED FEBRUARY 27, 2015 IN PLAT BOOK 1 AT PAGE 4713 AND ACCORDING TO THE COMMUNITY PLAT/MAP AMENDMENT FOR THE ADAMS RANCH COMMUNITY RECORDED JUNE 1, 1999 IN PLAT BOOK 1 AT PAGE 2573, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 125 Lawson Point

Applicant/Agent: Justin Kilbane, JK Architect PC

Owner: Boilermakers and Spartans LLC

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: 3.94 acres

Adjacent Land Uses:

- **North:** Open space and Single-family
- **South:** Single-family
- **East:** Single-family
- **West:** Open space



Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

No Staff/Public Comments have been received

Case Summary: Justin Kilbane of JK Architects is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot AR25, 125 Lawson Overlook. The Lot is approximately 3.94 acres and is zoned Single-family. Open Space-A is contingent to the property and in the same ownership. That parcel is an additional 1.98 acres. The overall square footage of the home is approximately 10, 570 gross square feet and provides 3 interior parking spaces within the proposed garage and 2 exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	38' 9 1/2"
Maximum Avg. Building Height	30' (shed) Maximum	22.095'
Maximum Lot Coverage	30% (51,487.9 s.f.)	16.2% (10,570 s.f.)
General Easement Setbacks	No encroachment	Grading
Roof Pitch		
Primary		3:12
Secondary		2:12
Exterior Material		
Stone	35% minimum	35%
Windows/Doors	40% maximum	31%
Parking	2 interior/2 exterior	3 interior/2 exterior

* The applicant has indicated 34.17' as the max height in the chart on Sheet A-6.2, however Sheet A-4.1 North Elevation shows a height of 38' 9 1/2"

**Lot coverage is shown as area under roof, but doesn't include patios, decks and walkways

***The applicant calculated materials per elevation, these numbers are based on staff estimates calculated from the given square footages

Findings:

1. The visual impacts from SH 145 have been minimized or mitigated (*pending DRB determination)

DRB Specific Approval:

1. Materials – T-8 Plankwall metal siding, metal soffit and fascia
2. GE Encroachment - grading

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of shed roof forms. Homes with a primary shed roof form are granted a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined that the primary roof form for this home is a shed and therefore granted a maximum height of 35 feet. The parallel plane projection is not labeled but appears to show the 35' projection of proposed grade. Although the maximum height shown in the chart on Sheet A-6.2 says the maximum height for the project is 34.17', Sheet A-4.1 shows a dimension of 38' 9 ½" on the North elevation. If this metric is correct than the proposed home is not in compliance with the maximum height allowable per the CDC. The average heights seem to be calculated correctly and are in compliance. Height compliance needs to be better illustrated, and if any point on the home is exceeding the allowable 35' max height, some re-design will be necessary.

17.3.14: General Easement Setbacks

Lot AR 25 is burdened by a sixteen (16) foot General Easement (GE) all the way around the property with an additional spur that makes the final connection area to Lawson Point. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *The driveway crosses the GE from Lawson Point onto the lot*
- *Utilities: the utilities generally follow the driveway from Lawson Point to the home*
- *It is assumed that the address marker will be within the GE, though the location of such is not noted on the plan set*

The proposal also includes some GE encroachments requiring specific DRB approval:

- *There are (2) boulder retaining walls in the GE along the driveway as it nears Lawson Point*
- *There is some grading in the GE to the south and SW of the home*

DRB should discuss whether they find these encroachments acceptable. If so, a specific approval should be granted.

Regardless of the encroachment, any development within the General Easement will require the owner and the Town to enter into a GE Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: This modern style home uses a neutral palette of materials in gray metals and warm gold stone contrasted with dark metal clad windows. These materials will hold up to the elements of our harsh alpine environment. Siding is a combination of Telluride gold stone in a square cut drystack installation and metal wall panels that are meant to represent a weathered wood finish. DRB should evaluate the physical sample of this material to determine its appropriateness. The CDC allows for metal siding to include “rusted corrugated, rusted sheet metal panels, zinc panels, copper panels and other metal types reviewed and approved by the DRB,” so if DRB finds this material appropriate then a specific approval should be granted. One benefit of this material is that it will add to the fire resistancy of the property – with no wood siding, fascia or soffit the fire resistance of the exterior should benefit.

There is a material labeled W2 on the elevations that is not shown on the material list. The structural elements surrounding the elevated glass walkway to the master bedroom also do not have a specified material. These materials should be clarified prior to final review.

The roof is a standing seam metal in zinc gray. Soffit and fascia are the same, and per the CDC would require specific approval by DRB.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: In addition to the above siting concerns, the Plat for AR-25 has a note (#3) stating:

“Concurrent with any Design Review Application and Design Review Process for Lot AR-25, The Design Review Board shall review (1) visual impacts from the SH 145 travel corridor and must make a finding that such visual impacts have been minimized or mitigated as a condition to such approval and (2) ensure slopes greater than 30% meet the Steep Slope Regulations in Section 17.6.1 of the Community Development Code.”

The overall material palette for the home is primarily a warm neutral. These materials should help the home blend into the natural hillside and vegetation. The form of the building, presenting mostly as a one-story structure with strong horizontal lines help it settle into the land form.

Addressing the language in the Plat note, DRB must make a finding of whether visual impacts have been minimized or mitigated. The plat does not say that visual impacts must be avoided. There are a number of ways to think about minimization and mitigation – you can look to overall building form – imagine a more vertical gable roofed structure would not be a design choice that takes into consideration minimization of the visual impacts. Materials choices can be another way to mitigate visual impact – neutral palette versus highly contrasting palette. Staff feels that overall the project has minimized and mitigated these visual impacts while still allowing for the property to be developed.

Below is a view provided by the applicant from SH 145, headed down Lawson hill, the home would not be very visible travelling in the opposite direction. Additionally, the lot between AR25 and SH 145 to the south (Lot AR07) is a vacant lot zoned single family that one day can be developed and would further screen this home from the highway:



The second provision of the Plat note is in regards to steep slopes. The applicant seems to have sited the house in a way to avoid disturbance of the steepest part of the lot which is to the NW.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

Staff: The use of Telluride Gold square cut stone as a base material, in combination with horizontal wood look siding grounds the home to the site. The overall structure presents primarily as a one-story home, especially from the entrance. The stone columns along the garage also reinforce this grounding concept. See the image below:



Staff does not feel that the other side of the home feels quite as grounded. The stone utilized on this side is primarily as retaining wall, and doesn't extend up into the structure, giving that additional vertical grounding element. There is also an elevated glass element that leads to the master bedroom. See below:



DRB should discuss whether any design changes need to be made in order to better ground this side of the structure to the site.

17.5.7: Grading and Drainage Design

Staff: Grading on the site is primarily for the creation of the driveway. There is also an area of fill to the SW of the structure to support some outdoor living space. This re-grade does extend into the GE, DRB should discuss if this GE disturbance is necessary, or whether that patio area could be minimized to avoid disturbance of the GE.

17.5.8: Parking Regulations

Staff: The applicant has shown three interior parking spaces and two exterior spaces on their plan. Dimensional requirements of 9' x 18' per space seem to be being met but should be called out on the plans. A rough estimate from the drawings shows that they are meeting the required 25' garage back out space, however this should also be noted on the plans.

17.5.9: Landscaping Regulations

The applicant has not submitted a landscaping plan, It should be noted that this is not required until final review.

17.5.11: Utilities

Staff: Utilities run from the Lawson Overlook cul-de-sac down the driveway to the lot. The sanitary sewer is shown heading east but doesn't show the connection to the sewer main. Staff would like to better understand where this connection is made, this detail should be provided for final review.

17.5.12: Lighting Regulations

Staff: A lighting plan was provided along with a photometric study. Specifications for some fixtures were provided, but not in full sheets so some of the metrics are hard to read. The specifications for some fixtures seem to be missing (Z3, Z5 and Z15). Most of the exterior lighting is provided by recessed cans, the primary fixture for this is Fixture S5 which seems to be meeting CDC regulations. Another fixture - Fixture BM, is meeting specifications in terms of lumen output and temperature, but the fixture itself is problematic. The fixture tilts

340 degrees and rotates 360 degrees so could easily be adjusted to where it doesn't operate as a full cut-off fixture.

Another consideration in regards to lighting is the elevated glass element that serves as a hallway to the master bedroom. Although broken up by some sort of structural element, this area will spill a considerable amount of light in the evening.

Prior to final review the applicant should provide full size specification sheets for each exterior fixture and should revise the lighting plan to meet all CDC regulations.

17.5.13: Sign Regulations

Staff: The address monument is designed using the same materials as the metal cladding on the house. The location of the address monument is not shown. The numerals on the monument are not meeting the requirement of being no less than 54" above grade. The numbers need to have a reflective surface in case of power outage. The light fixture appears to be downlit, but a fixture specification needs to be provided.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The fire mitigation plan seems to be meeting the intention of the code, however, there seems to be an error in the hatching of the Zone 3 mitigation area which should show as blue. This should be revised prior to final review. The Zone 1 area should also be transferred onto the landscape plan when that is provided at final review so that we can understand any fire implications of new plantings.

17.6.6: Roads and Driveway Standards

Staff: The driveway is shown with a paved surface of 16' wide. The grade is from 2.3-7%. The driveway appears to be meeting all road and driveway standards.

17.6.8: Solid Fuel Burning Device Regulations

Staff: There are fireplaces and an outdoor firepit on the plans. No fuel sources have been identified and should be provided prior to final review.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: No construction mitigation plan has been provided. It should be noted that construction mitigation is not required until final review.

Staff Recommendation: Staff recommends the DRB approve the Initial Architectural and Site Review for Lot AR-25, 125 Lawson Overlook, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot AR-25, based on the evidence provided within the Staff Report of record dated September 28, 2022, with the following findings, and specific approvals:

Findings:

1. The visual impacts from SH 145 have been minimized or mitigated (*pending DRB determination)

DRB Specific Approval:

1. Materials – T-8 Plankwall metal siding, metal soffit and fascia
2. GE Encroachment - grading

And, with the following conditions:

- 1) Prior to final review, the applicant shall revise the height compliance drawings and re-design if necessary to meet all CDC height restrictions.
- 2) Prior to final review, the applicant shall revise the site coverage calculations to include decks, patios and walkways.
- 3) Prior to final review, the applicant shall revise the materials calculations to provide totals for the project, not just totals per elevation.
- 4) Prior to final review, the applicant shall revise the address monument to meet all CDC regulations, shall provide a light fixture specification for the monument and shall indicate the location of the monument on the site plan or landscaping plan.
- 5) Prior to final review, the applicant shall specify the fuel source for all solid fuel burning devices.
- 6) Prior to final review, the applicant shall add dimensions to verify parking space sizes as well as necessary garage back-out space.
- 7) Prior to final review, the applicant shall provide information as to the location of the sanitary sewer connection to the main sewer.
- 8) Prior to final review, the applicant shall provide full size specification sheets for all exterior light fixtures and revise the lighting plans to meet CDC requirements.
- 9) Prior to final review, the applicant shall revise the fire mitigation plan to correctly represent the Zone 3 fire mitigation area.
- 10) Prior to building permit, the applicant shall work with Public Works to field verify all utilities.
- 11) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 12) Prior to a certificate of occupancy a GE agreement shall be executed recognizing approved encroachments into the GE.
- 13) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 14) A monumented land survey of the ridge height will be provided prior to final planning review to determine the maximum building height.
- 15) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 16) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right

of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw



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JUSTIN@JK.STUDIO

POST BOX 2006- CAREFREE, AZ 85377

(480)225-7282

May 5, 2022

PLANNING & DEVELOPMENT SERVICES

455 Mountain Village Blvd. Suite A

Mountain Village, CO 81435

Narrative for Lot AR-25. Approval for General Compliance

Thank you so much for reviewing our application for AR-25. We are excited about the coming project and have outlined compliance below. The house is a three-story residence with a total of 7,328 SQ FT livable area and a 10,569 SQ FT total under roof. AR-25 is a large lot that is a combination of the original AR-25 and the purchase of the open space to the south. The project design intent is having a nice single family custom home situated to maximize the views over the open space below and Wilson mountains in the distance. Most all proposed improvements meet the DRB requirements and fit well within the footprint of the site as it is now a total of nearly 6 acres. One of the specific requirements of the lot is that the impact of highway below be mitigated. It does not state not seen just mitigated which is the design intent. All of the Wilson views are over the highway and we have attempted to nestle the home down nearly 8' over the ridge line to minimize the visual as seen in the rendering provided. Additionally, there will be a home below on AR-7 that will be more visible from the highway and actually help block a portion of AR-25. Also, site is a flag lot in which the entrance from the cul de sac is very narrow with no space inside the GE. We are proposing some boulder retaining walls to mitigate grade and allow vehicular access for the driveway outside the GE which is the only way to access the lot. The home as designed is a mountain modern home comprised of all stone walls and metal wood panel columns. This is a home that I am very proud of as a design and am sure it will be a great addition to the neighborhood.

17.3.12. Building Height Limits-

The total height of the highest roof ridge is 35'-0" as shown on A6.2 in the schedule. The allowable offset of 35' for gable roofs is shown on each elevation for reference.

17.3.13 Maximum Lot Coverage-

The Gross Area of the Lot is 171,626 SQ FT. Our proposed lot coverage is 10,570 SQ FT which equates to 16.2%. Allowable is 40% making our proposal 23.8% below the allowable coverage.

17.3.14 General Easements Setbacks-

The lot has a 16' General Easement/Setback line offset from the property line. Our proposed setbacks are more than 16' on all sides.

17.3.21 Deviation from Zoning and Land Use Regulations-

We are requesting a variance to allow boulder retaining walls outside the GE in the flag portion of the driveway. As mentioned above this section of lot from the cul de sac to the larger portion of



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the lot is all inside the GE no space at all to due to the narrow flag section for walls to mitigate grade.

17.5.4 Town Design Theme

Our proposed design is Mountain Modern in intent and nature. The siding will be a steel panel wood product which is more sustainable and longer life span. Stone surrounds the entire base of the house and clearly differentiates foundation from wall plane. This grounds the house into the topography of the site and allows for a mix of materials and compliance with the exterior stone requirement. The roofs will be standing seam metal. Please see sheet A3.3 for exterior material sheet with all finishes and intended colors called out.

17.5.5 Building Siting Design-

The house is located on a steep lot that is downhill from the ridge above the highway. The step nature of the lot dictates a horizontal configuration that steps down the slope. The East/West long axis of the lot provides the access to the garage, entry door and living/dining level.

17.5.6 Building Design-

Our design is a simple configuration of shed and butterfly roofs that step down the slope side following the natural topography of the site. This is an elegant composition of forms and elevations that make this home very unique and beautiful.

17.5.7 Grading and Drainage Design-

Please see the Civil Sheets in the set C1-C3. David Ballode with Uncompahgre Engineering has created our drainage and grading plan in compliance with all town codes.

17.5.8 Parking Regulations-

The house has a compliant four car garage interior and compliant two car guest parking spaces outside and compliant back up space as well.

17.5.9 Landscape Regulations-

Please see sheet A1.3. The landscape area outside of Zone 1 is very limited. There are several existing aspen and spruce that we would like to keep on site. Within Zone 1 on the step slope landscaping will be mostly grasses and the one planter area located to the North of the lower viewing deck. The intent is to re-seed and re-vegetate with Telski Wildflower Grass Seed Mix with a combination of Native Grass Seed mix and a Wetlands Buffer mix. See the description of the grass mix on our landscape plan for details of the mix design.

17.5.10 Trash, Recycling and General Storage Areas-

Trash Cans will be located in the trash/mech room at right side of the garage and taken out to the curb on a weekly basis.



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17.5.11 Utilities-

See sheet C3 for all utility locations on the site and existing electrical, water, gas and sewer lines. The intent is to have all utility connections come into the house at the road side mechanical room where it will be distributed within the house.

17.5.12 Lighting Regulations-

Please see sheet L-1 thru L-4 in which all lighting is designed by lighting designer. Most all lighting is recessed cans interior and exterior no decorative exterior sconces at all. Also all lumens and outputs are shown.

Thank You,

Justin Kilbane
CO Lic#: ARC.406403



PROJECT TEAM:

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LIGHTING DESIGNER:

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(888) 296-0950

LANDSCAPE ARCHITECT:

CF DESIGN
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GENERAL CONTRACTOR:



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ROC 322127

AREA CALCULATIONS:

THE SQUARE FOOTAGE IS MEASURED AND CALCULATED TO THE OUTSIDE FACE OF EXTERIOR ENCLOSING WALLS IN ACCORDANCE TO ANSI Z765-2003. THE CALCULATIONS WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED HOUSE AS BUILT.

LOT LIVABLE AREA:

UPPER LEVEL	1526 SF
LOWER LEVEL	2166 SF
MAIN LEVEL	3636 SF
TOTAL AREA UNDER ROOF	: 10570 SF

LOT DATA:

LOT SIZE	3.94 acres	171626 SF
ALLOWABLE LOT COVERAGE:	68,650.4 SF (40%)	
ACTUAL LOT COVERAGE	: 10,570 SF (16.2%)	

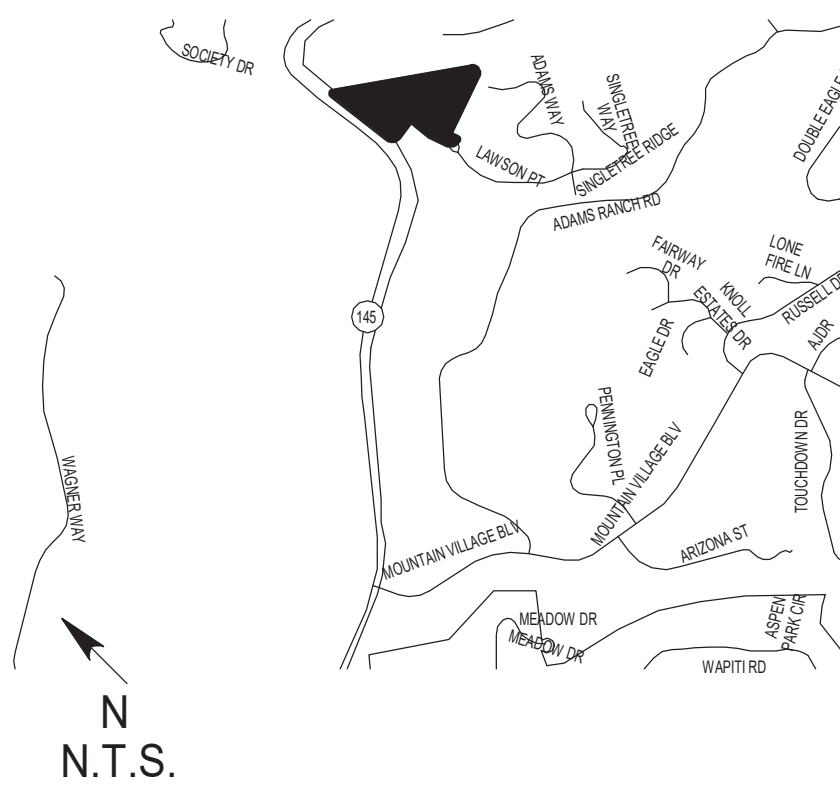
LISTING OF CODES-CITY OF SCOTTSDALE

The following codes are effective January 1, 2017
2018 International Building Code
2018 International Residential Code
2018 International Mechanical Code
2018 International Plumbing Code
2018 International Fuel Gas Code
2018 International Energy Conservation Code
2018 International Fire Code
2018 National Electrical Code
CO with Disabilities Act -Federal ADA (ADAAG)

SHEET INDEX:

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A-1.2	AREA PLAN
A-1.3	FIRE MITG. PLAN
A-2.1	FLOOR PLAN L2
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A-7.3	CEILING PLAN DETAILS
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A-9.3	DOOR DETAILS
A-9.4	DOOR DETAILS
A-9.5	DOOR DETAILS

VICINITY MAP:



SITE DATA:

LEGAL DESCRIPTION:

LOT 25
MOUNTAIN VILLAGE
CONT. 661 ACRES

SITE ADDRESS:

TBD

PARCEL NUMBER:

ZONING:

FLOOR PLAN NOTES:

- a) Doors and Windows**
- Provide a 1-3/8" solid wood / solid or honeycomb-core steel / 20-minute fire-rated self-closing doors between residence and garage. (R302.5.1)
 - Provide permanent landing at exterior doors. (R311.3)
 - Doors shall not open directly between a sleeping room and a garage. (R302.5.1)
 - Show direction of door swing. (R311.3)
 - Show size of each window and type of operation. (R303.1 & 310.2)
 - Site built windows shall comply with section 2404 of the IBC. (R308.5)
 - Glazing maximum U-factor 0.40, Solar Heat Gain Coefficient (SHGC) maximum 0.25 (TN1102.1.2)
 - Opaque doors separating conditioned and unconditioned space- maximum U-factor 0.40. (TN1102.1.2)
 - Skylight - maximum U-factor 0.65, SHGC maximum 0.30. Provide manufacture and ICC-ES number. (TN1102.1.2)
- b) Light and Ventilation**
- Provide required natural light and ventilation for habitable rooms- Light: 8%, ventilation: 4%. (R303.1)
 - Provide mechanical exhaust ventilation for bathrooms, water closet rooms, laundry room, and kitchen, ducted direct to outside. Except where functioning as a component of a whole house ventilation system, exhaust fans in bathrooms shall be provided with a delay timer or humidity/condensation control sensor. Exhaust fans shall be switched separately from lighting systems. (R303.3 amended & M1507.2)
 - Provide attic ventilation per (R806.1) unless insulation is applied on the under-side of roof sheathing. (R806.5)
- c) Stairways, handrails, guardrails**
- Show handrail, notes and dimensions. (R311.7.8)
 - Show guardrails where required. (R312.1)
 - Provide a floor or landing at the top and bottom of each stairway. (R311.7.6)
 - Provide code complying stairways. Address tread and riser dimensions per type of stairway. (R311.7)
 - Provide stairway illumination per (R303.7 & R303.8)
 - Stairway maximum 12"-3" vertical rise between floor/landing (R311.7.3)
- d) Fire Places/Gas Appliances**
- Provide manufacture, model number and ICC report or equal for each fireplace. (R1002, R1004 & R1005)
 - Provide a permanently installed approved decorative appliance/gas log set. (R1004.4)
 - Fireplace dampers: Where a listed decorative appliance is installed, the fireplace damper opening shall comply with listed decorative appliance manufacture's installation instructions. (G2453.1)
 - Decorative shrouds shall not be installed at the termination of chimneys of factory-built fireplaces except where listed and labeled for such use. (R1004.3)
 - Provide outside combustion air for interior fireplaces. (R1006.2).

ENERGY COMPLIANCE:

Compliance with chapter 11 of the 2018 IRC or chapter 4 of the 2018 IECC is required (zone 2). A permanent energy certificate (R.U. & SHGC values) is required at time of final inspection to be posted in the electrical distribution panel.

Building envelope (insulation, R-value, U-factor, SHGC) to comply with section 402. mechanical systems to comply with section 403.

All modifications to the building envelope must comply with the following:
Solar heat gain coefficient = 0.25 maximum
Fenestration u-factor = 0.40 maximum
Fenestration shgc = 0.25 maximum
Insulation at walls = r-19 minimum
Insulation at ceiling = r-38 minimum
Ductwork insulation = r-8 minimum
Minimize air leakage per IECC 402.4

GENERAL NOTES:

- 2018 International Building Code(ord. # 4284, resolution #10597)
2018 International Residential Code(ord. # 4284, resolution #10599)
2018 International Fire Code(ord. # 4283, resolution #10598)
- All products listed by an Evaluation Service Report (ESR) shall be installed per the report and the manufactures written instructions. Product substitutions shall also be listed by an ESR.
 - Provide Fire Sprinkler System per Scottsdale Fire Code (IRC R313 amended)
 - Separate permits required: pools, spas, fences, site walls, retaining walls, and gas storage tanks.
 - Foundation & Footing depth shall be a minimum of 18 inches **below grade** (or per property soil report), provide a minimum of 3 inch clearance between Rebar and soil. (R403.1 amended)
 - Doors between the garage and residence shall be self-closing minimum 1 3/8" thick solid core or 20 minute fire rated. (R302.5.1)
 - Exterior wall penetrations for pipes, ducts or conduits shall be sealed. (R703.1)
 - Wood sill plates shall be pressure treated or decay resistant. Exterior sill plates shall bear a minimum of 6 inches above finish grade. (R317.1)
 - Gypsum board applied to a ceiling shall be 1/2" when framing members are 16" o.c. or 5/8" when framing members are 24" o.c. or use labeled **1/2" sag-resistant gypsum ceiling board**. (Table R702.3.5 (d))
 - Shower area walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile, to a height of not less than 72 inches above the drain inlet. Cement, fiber-cement or glass mat gypsum backers installed in accordance with manufacturers' recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas. (R702.4.2)
 - Plumbing fixtures shall comply with the following conservation requirements: Water closets-Tank type 1.28 gal. /flush. Shower heads- 2.0 gpm. Sinks- 2.2 gpm. Lavatory-1.5 gpm (Table P2903.2 amended)
 - Storage-tank type water heaters shall be installed with a drain pan and drain line. (P2801.6)
 - A demand-controlled hot water circulation system shall be provided in accordance with amended Sections N1103.5.1.1 and N1103.5.1.2.
 - Provide roof/rattic ventilation unless insulation is applied directly to underside of roof sheathing or the dimension is 24 inches or less between the ceiling and bottom of roof sheathing. (R806.1 Amended)
 - The building thermal envelope shall comply with climate zone 2. Energy compliance shall be demonstrated by UA trade-off (REScheck) **OR** performance (REM/Rate) compliance path **OR** by the following prescriptive values (Table N1102.1.2):
 - Prescriptive **minimum** R-values - <Ceiling-R-38> / <Walls-R-13>
 - Prescriptive **maximum** Window Fenestration values: <U-Factor=0.40> / <SHGC=0.25>
 - Provide Minimum R-3 insulation on hot water pipes. (N1103.5.3)
 - Supply and return ducts in attics shall be insulated to a minimum R-8. Ducts in other portions of the building shall be insulated to minimum R-6. Ducts and air handlers located completely inside the building thermal envelope are exempt. (N1103.3.1)
 - Registers, diffusers and grilles shall be mechanically fastened to rigid supports or structural members on at least two opposite sides.
 - Exhaust air from bathrooms, kitchens and toilet rooms shall be exhausted directly to the outdoors, not recirculated or discharged indoors. (M1507.2 amended)
 - Exhaust fans in bathrooms with a shower or tub shall be provided with a delay timer or humidity/condensation control sensor. Exhaust fans shall be switched separately from lighting systems. (R303.3)
 - Provide a wall mounted GFCI protected receptacle outlet within 36" of a bathroom or powder room lavatory. (E3901.6)
 - Receptacles serving kitchen countertops installed in bathrooms, garages, unfinished accessory buildings, outdoors and located within 6 feet of sinks shall have **GFCI** protection for personnel. (E3902)
 - All branch circuits that supply 15- and 20-ampere outlets installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter (**AFCI**) installed to provide protection of the branch circuit. (E3902.12)
 - General purpose 15- and 20-ampere receptacles shall be listed **tamper-resistant**. (E4002.14)
 - Provide **Smoke Alarms** in new and existing areas of home. (R314)
 - Approved **Carbon Monoxide Alarms** shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages. (R315)
 - A minimum of 90 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps. (N1104.1 amended)
 - Recessed luminaires installed in the building thermal envelope shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering. (N1102.4.5).
 - Provide illumination with wall switches for stairways when there are 6 or more risers. (R303.7)
 - Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally from an outlet in that space, including any wall space 2 feet or more in width. (E3901.2)
 - Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (E3703.2)
 - Both metal piping systems and grounded metal parts in contact with the circulating water associated with a hydro massage tub shall be bonded together using an insulated, covered, or bare solid copper bonding jumper not smaller than 8 AWG. (E4209)
 - Provide outside combustion air to all indoor fireplaces with air intake located not higher than the firebox. (R1006.1)
 - At least one thermostat shall be provided for each separate heating and cooling system. (N1103.1)
- The following three notes are applicable to New Construction only** (BPI certified professionals are approved for testing air leakage in existing buildings, otherwise RESNET professionals are approved for new and existing):
- The building shall be provided with a whole-house mechanical ventilation system that meets the requirements of Section M1507. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. (N1103.6)
 - The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding five air changes per hour for detached dwelling units and seven air changes per hour for attached dwelling units. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be conducted by an approved third party (RESNET certified). A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. (N1102.4.1.2 amended)
 - Ducts, air handlers, and filter boxes shall be sealed in accordance with N1103.3.2. Joints and seams shall comply with Section M1601.4.1. Ducts shall be pressure tested to determine leakage by one of the following methods (N1103.3.3):
 - Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.
 - Post-construction test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.**Exception:** A duct leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope.
A written report of the results shall be signed by the party conducting the test and provided to the code official prior to the Building Final.

THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO



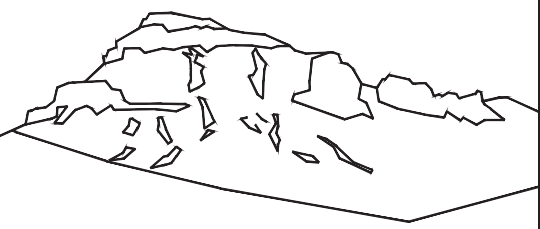
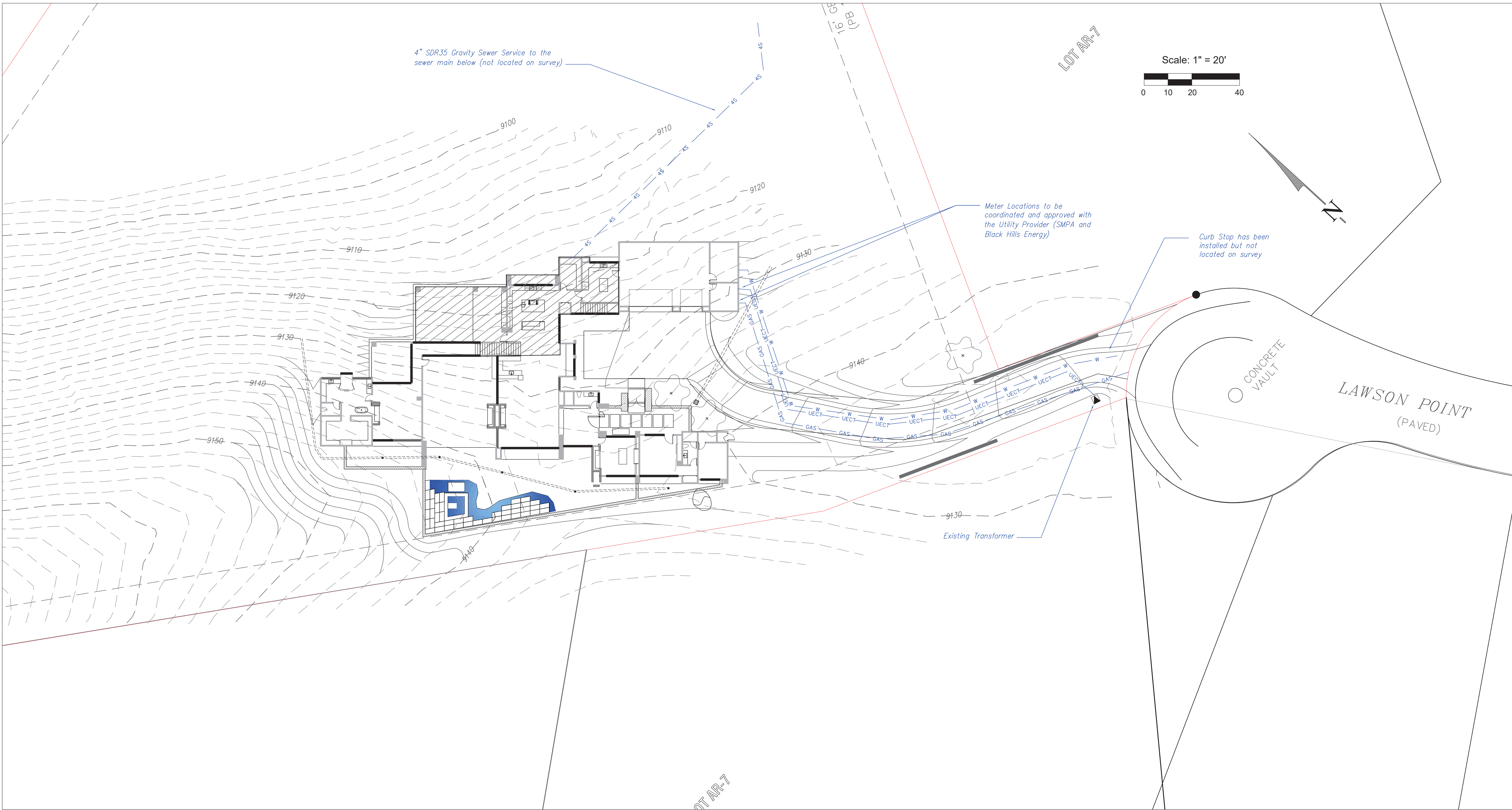
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THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
DRB SUBMITTAL 2022-04-30

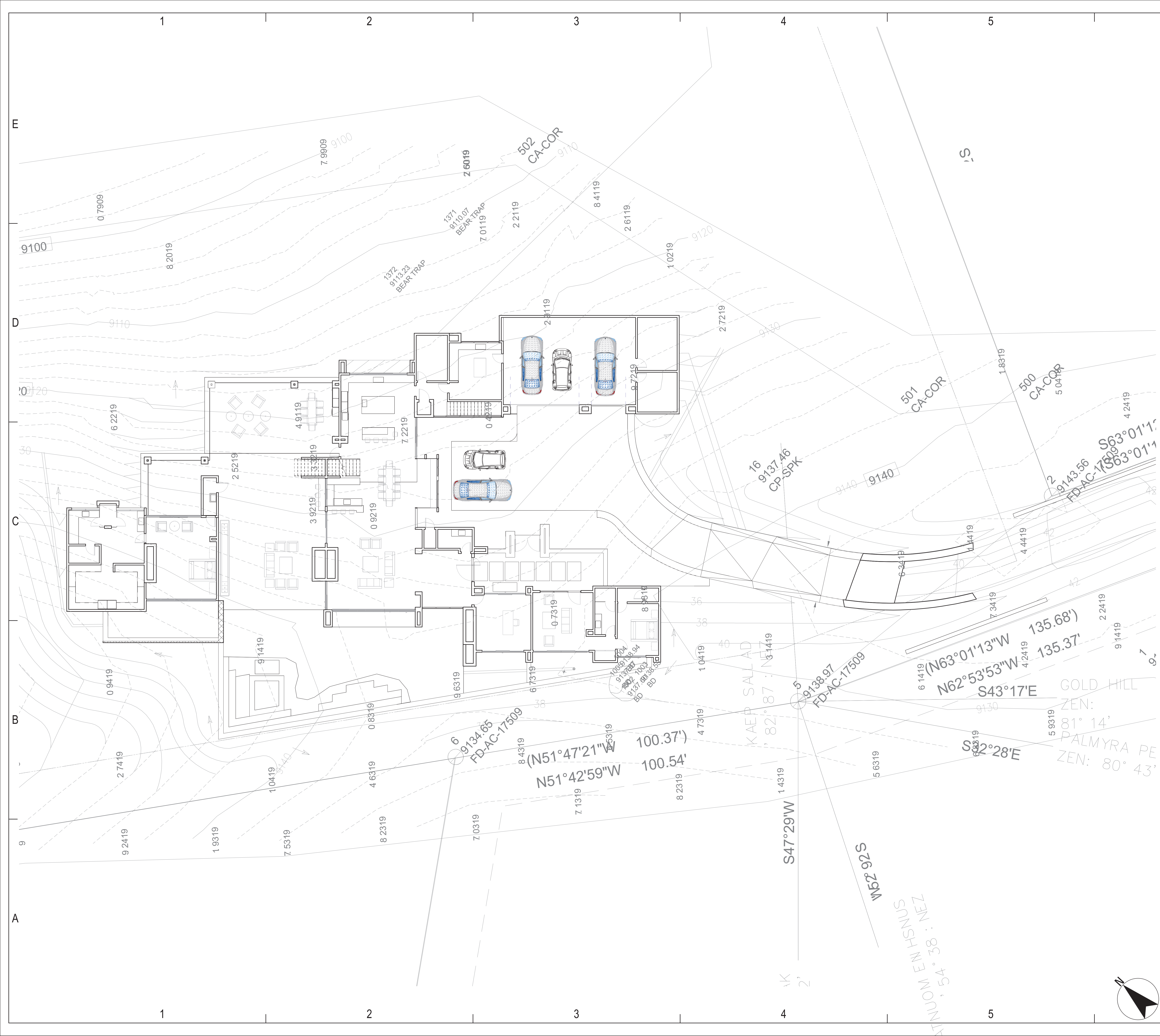
Brown Residence
Lot AR-25
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3



- SITE PLAN NOTES:**
1. DRIVEWAY PAVERS TO BE SET IN POLYMERIC SAND WITH 12" WIDE CONCRETE BORDER UNDER SOLIDER COURSE.
 2. ALL MECHANICAL SCREEN WALLS SHALL BE MIN. 1' HIGHER THAN ANY EQUIPMENT AND TRASH CANS.
 3. POOL GATE TO BE OUT-SWINGING AND SELF CLOSING PER SCOTTSDALE POOL CODE.
 4. POOL BARRIER FENCE OF WALL SHALL COMPLY WITH ARTICLE 5-3 OF THE SCOTTSDALE CODE AND SECTION 9.09 OF THE SCOTTSDALE ZONING ORDINANCE.
 5. SEE LANDSCAPE PLAN AND PRECISE GRADING PLAN FOR ADDITIONAL INFORMATION.
 6. ALL SITE & RETAINING WALLS TO BE FINISHED WITH STUCCO OR STONE TO THE MATCH HOUSE PLASTER IN COLOR & TEXTURE.
 7. COURTYARD WATER FEATURE/POOL/SPA FINISHES, FIRE ELEMENT AND SITE DETAILS BY LANDSCAPE ARCHITECT.
 8. POOL, SPA AND WATER FEATURE REQUIRE SEPARATE PERMITS.
 9. LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN DIRECTION OF TRAVEL OF NOT LESS THAN 36 INCHES. 2015 IRC R311.3.
 10. PROVIDE CONCRETE PADS FOR ALL MECHANICAL, POOL, SPA, AND WATER FEATURE EQUIPMENT.
 11. EXPOSED GRADING SHALL BE NATURALLY AND GENTLY CONTOURED. NO "MAN-MADE SLOPES" OR "ENGINEERED DRAINAGE DITCHES" ALLOWED. MAN-MADE GRADING SHALL SOFTLY TRANSITION TO NATURAL GRADE WITH NO "BREAK POINT" OR DEMARCATION.
 12. THE SES PANEL SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 4" TALLER THAN THE HIGHEST POINT OF THE SES PANEL. THE CONTRACTOR SHALL INSTALL THE SES PANEL AS LOW AS ALLOWED BY BUILDING CODE AND APS IN AN EFFORT TO MINIMIZE THE HEIGHT OF THE SCREEN WALL. THE CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.
 13. EXTERIOR EQUIPMENT INCLUDING BUT NOT LIMITED TO HVAC EQUIPMENT, POOL EQUIPMENT AND TRASH CANS SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 12" TALLER THAN THE HIGHEST POINT OF THE EQUIPMENT. THE CONTRACTOR SHALL VERIFY THE HEIGHT OF THE EXTERIOR EQUIPMENT PRIOR TO CONSTRUCTION OF THE SITE WALL TO ENSURE COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.
 14. DRAINAGE OPENING, DRAIN OUTLETS OR WEEP HOLES IN RETAINING WALLS SHALL OUTLET NO HIGHER THAN 4" ABOVE ADJACENT FINISHED GRADE ON THE EXTERIOR FACE OF WALL.

Scale : 1" = 10'-0"

SITE PLAN

THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED

JUSTIN KILBANE

406403

03/01/2021

ARCHITECT

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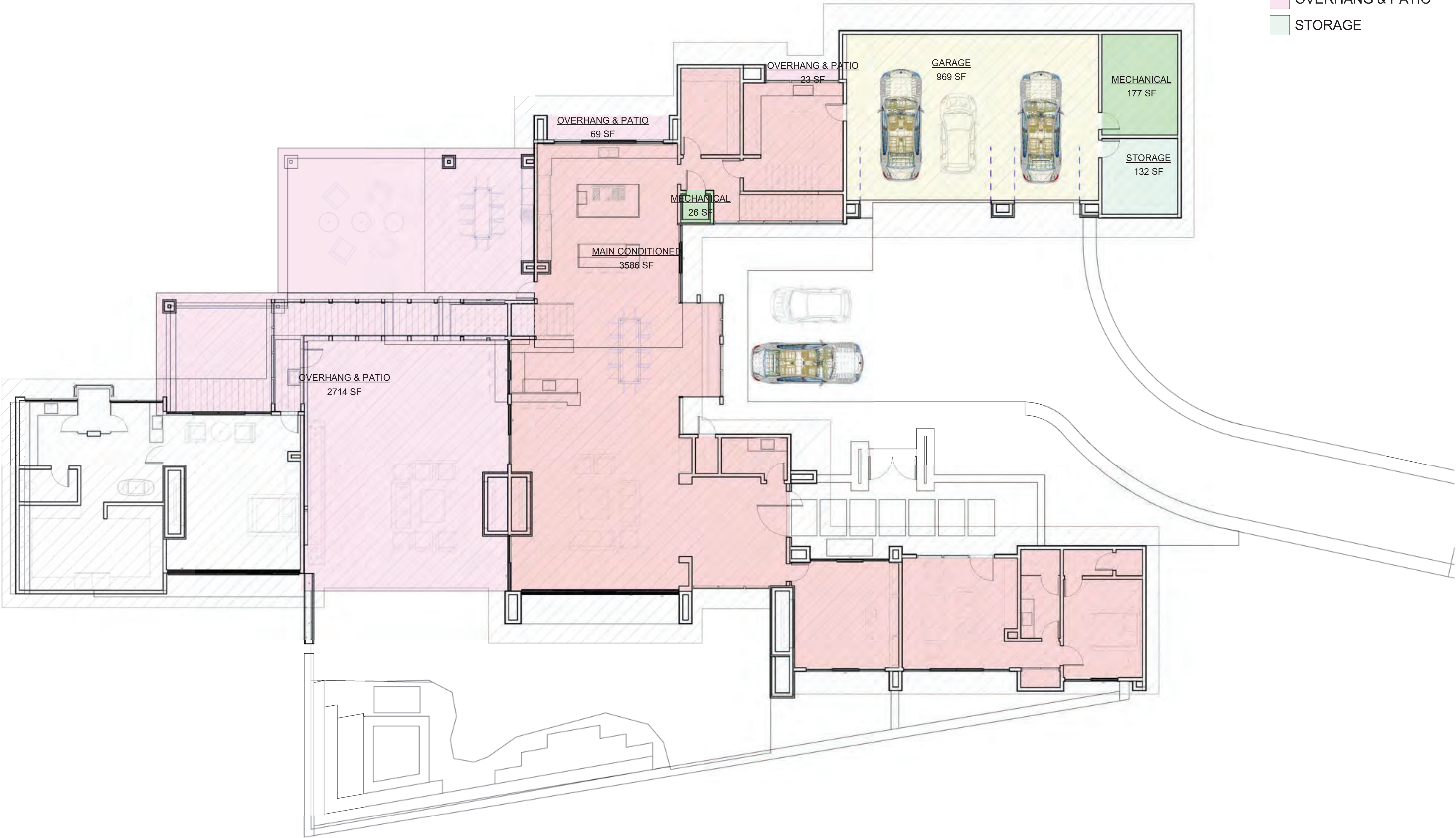
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D

C

B

A



AREA LEGEND

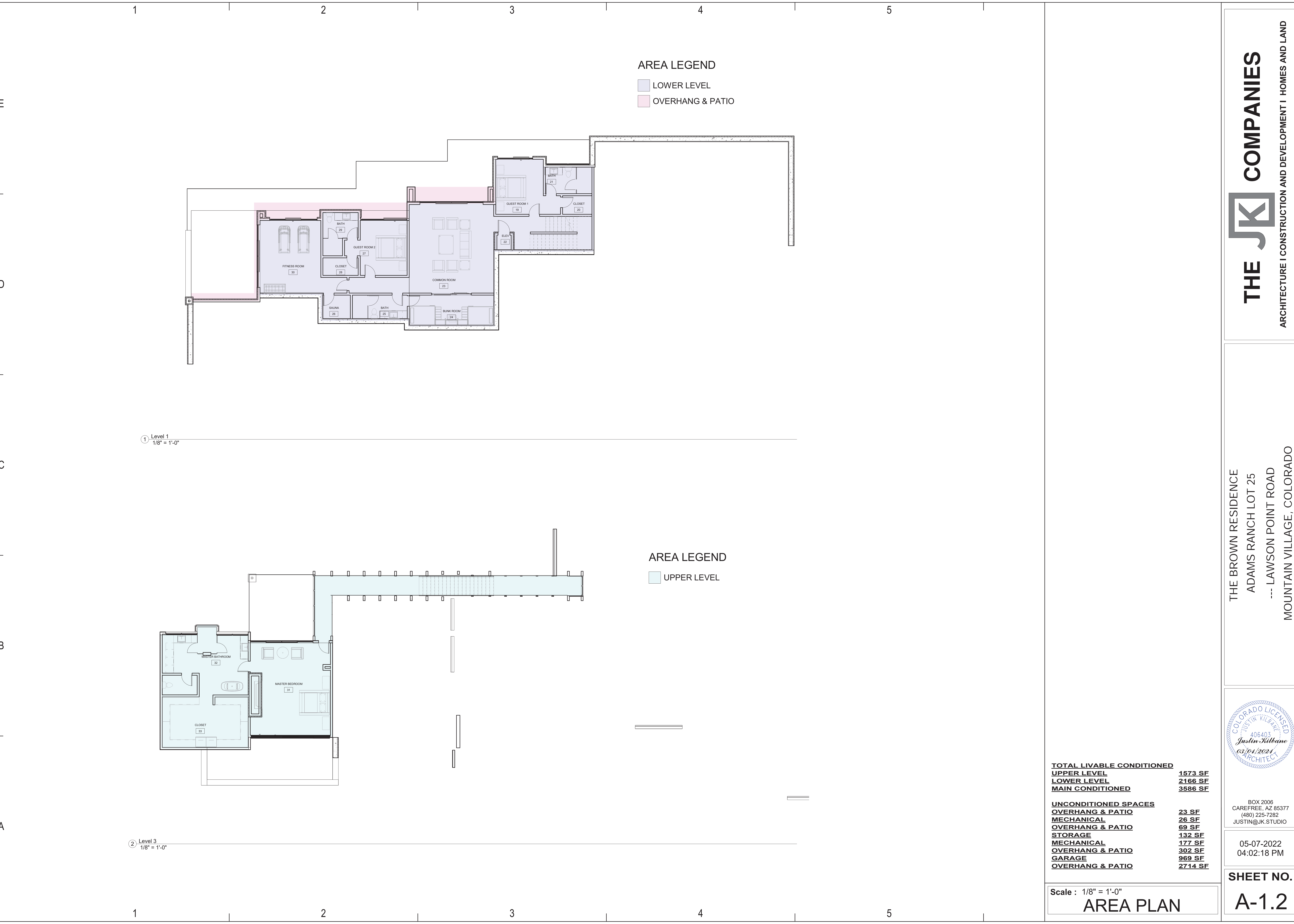
- GARAGE
- MAIN CONDITIONED
- MECHANICAL
- OVERHANG & PATIO
- STORAGE

TOTAL UNDER ROOF 10569.99 SF.
TOTAL CONDITIONED 7328.00 SF.

TOTAL LIVABLE CONDITIONED	
UPPER LEVEL	1573 SF
LOWER LEVEL	2166 SF
MAIN CONDITIONED	3586 SF

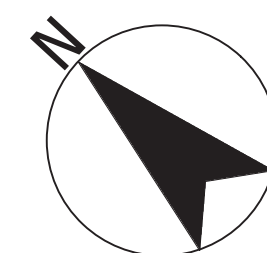
UNCONDITIONED SPACES	
OVERHANG & PATIO	23 SF
MECHANICAL	26 SF
OVERHANG & PATIO	69 SF
STORAGE	132 SF
MECHANICAL	177 SF
OVERHANG & PATIO	302 SF
GARAGE	969 SF
OVERHANG & PATIO	2714 SF

Scale : 1/8" = 1'-0"
AREA PLAN



TOTAL LIVABLE CONDITIONED	
UPPER LEVEL	1573 SF
LOWER LEVEL	2166 SF
MAIN CONDITIONED	3586 SF
UNCONDITIONED SPACES	
OVERHANG & PATIO	23 SF
MECHANICAL	26 SF
OVERHANG & PATIO	69 SF
STORAGE	132 SF
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GARAGE	969 SF
OVERHANG & PATIO	2714 SF

Scale : 1/8" = 1'-0"
AREA PLAN



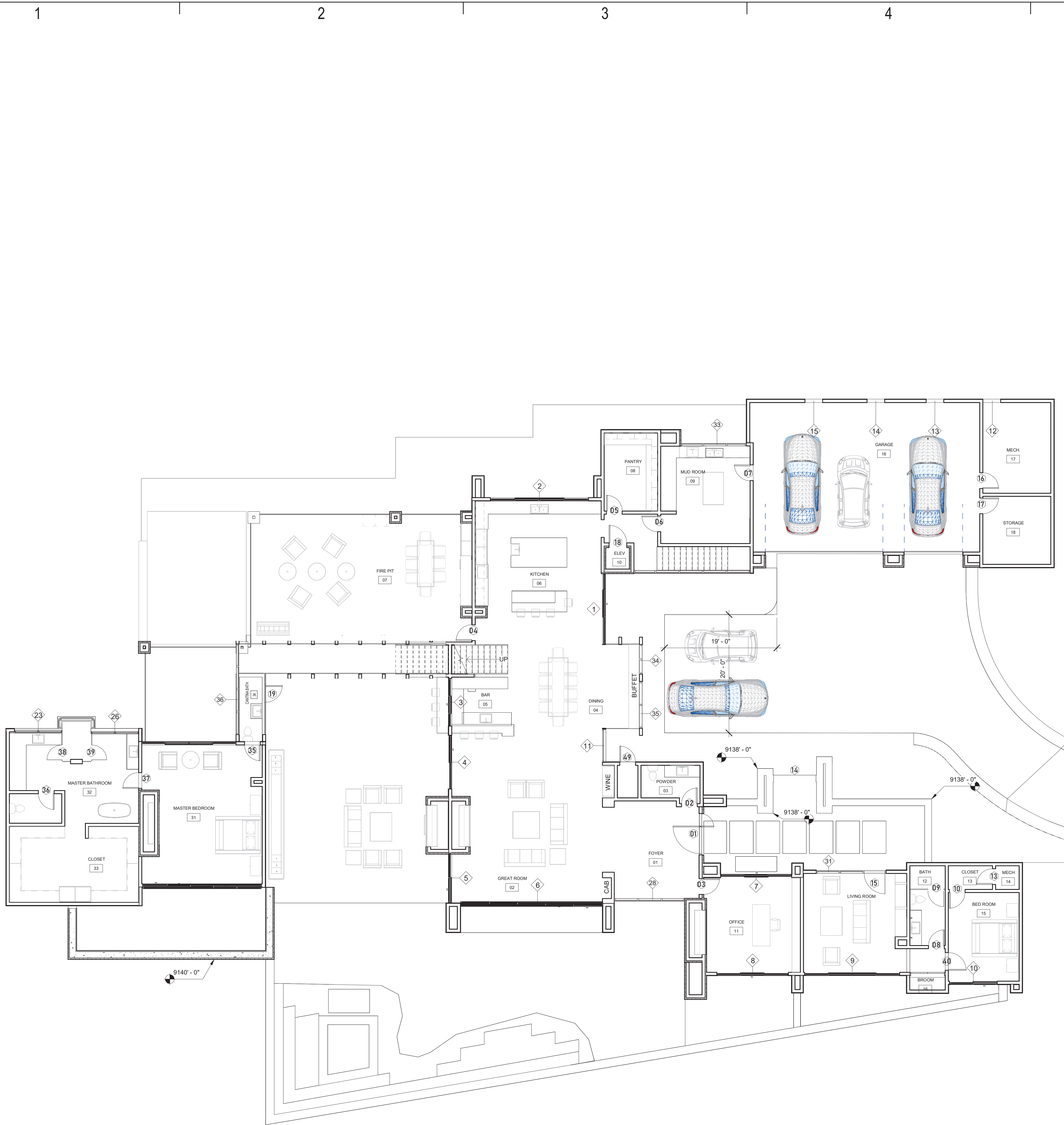
FIRE MITIGATION LEGEND

	ZONE 1 - REMOVE ALL SHRUBS, TREES, SLASH AND FLAMMABLE VEGETATION.		EXISTING ASPEN TREE
	ZONE 2 - 10' CROWN TO SEPARATION, PRUNE BRANCHES TO A HEIGHT OF 10' FROM GROUND.		EXISTING ASPEN TREE
	ZONE 3 - REMOVE ALL DISEASED, DEAD OR DRYING TREES.		EXISTING EVER GREEN TREE
			EXISTING EVER GREEN TREE

1. ALL DEVELOPEMENT SHALL COMPLY WITH CDC 17.6.1 ENVIRONMENTAL REGULATIONS. ADDITIONAL TREE CLEANING WILL BE DONE PER FIRE MITIGATION REQUIREMENTS.

2. CONSISTANT WITH 2018 IRC SECTION R101.4.1 APPENDAGES AND PROJECTIONS: UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS FOLLOWS: NON- COMBUSTIBLE MATERIALS, HEAVY TIMBER, EXTERIOR GRADE IGNITION RESISTANT MATERIAL SUCH AS THOSE LISTED AS WUIC (WILD AND URBAN INTERFACE CODE) APPROVED PRODUCTS.





1 Level 2 Floor Plan
1/8" = 1'-0"

SCHEDULES

WINDOW SCHEDULE

Win. No.	Type Mark	Height	Width	Sill Height	Head Height
1	W01	10' - 0"	11' - 11"	3' - 0"	13' - 0"
2	W02	7' - 0"	16' - 6"	3' - 0"	10' - 0"
3	W01	7' - 0"	8' - 0"	3' - 0"	10' - 0"
4	W03	10' - 0"	9' - 0"	0' - 0"	10' - 0"
5	W03	10' - 0"	8' - 5"	0' - 8"	10' - 8"
6	W04	10' - 0"	24' - 0"	0' - 0"	10' - 0"
7	W05	10' - 0"	11' - 11"	0' - 0"	10' - 0"
8	W05	10' - 0"	12' - 0"	0' - 0"	10' - 0"
9	W06	10' - 0"	16' - 0"	0' - 0"	10' - 0"
10	W07	10' - 0"	8' - 0"	0' - 0"	10' - 0"
11	W12	6' - 0"	5' - 8"	3' - 0"	9' - 0"
12	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
13	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
14	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
15	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
16	W09	2' - 0"	10' - 11"	7' - 0"	9' - 0"
17	W08	9' - 0"	15' - 10"	0' - 0"	9' - 0"
18	W01	9' - 0"	12' - 0"	0' - 0"	9' - 0"
19	W03	9' - 0"	11' - 8 1/2"	0' - 0"	9' - 0"
20	W08	9' - 0"	16' - 0"	0' - 0"	9' - 0"
21	W01	9' - 0"	8' - 10"	0' - 0"	9' - 0"
22	W11	4' - 0"	3' - 0"	5' - 0"	9' - 0"
23	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
24	W04	10' - 0"	20' - 0"	0' - 0"	10' - 0"
26	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
30	W08	10' - 0"	15' - 11 1/2"	0' - 0"	10' - 0"
27	W14	Refer Windows Elevation in A-8.2			
28	W15	Refer Windows Elevation in A-8.2			
29	W17	Refer Windows Elevation in A-8.2			
30	W18	Refer Windows Elevation in A-8.2			
31	W13	Refer Windows Elevation in A-8.2			
32	W16	Refer Windows Elevation in A-8.2			
33	W19	Refer Windows Elevation in A-8.2			
34	W22	Refer Windows Elevation in A-8.2			
35	W21	Refer Windows Elevation in A-8.2			
36	W20	Refer Windows Elevation in A-8.2			

DOOR SCHEDULE

Door No.	Type	Width	Height	Sill Height	Head Height
01	D04	6' - 9"	8' - 5 1/2"		
02	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
03	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
04	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
05	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
06	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
07	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
08	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
09	GL01	2' - 8"	7' - 2"		
10	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
11	26	19' - 10"	8' - 0"	0' - 0"	8' - 0"
12	28	9' - 10"	8' - 0"	0' - 0"	8' - 0"
13	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
14	D05	7' - 2"	4' - 0"	0' - 0"	4' - 0"
15	GL01	3' - 6 1/2"	11' - 8 1/2"		
16	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
17	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
18	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
19	D02	2' - 10"	7' - 0"	0' - 0"	7' - 0"
20	D06	5' - 11"	8' - 0"	0' - 0"	8' - 0"
21	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
22	D07	10' - 2"	8' - 6"	0' - 0"	8' - 6"
23	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
24	GL01	2' - 6"	7' - 3"		
25	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
26	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
27	GL01	2' - 8"	10' - 6"		
28	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
29	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
30	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
31	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
32	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
33	GL01	2' - 6"	7' - 0"		
34	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
35	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
36	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
37	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
38	GL01	2' - 6"	8' - 0"		
39	GL01	2' - 6"	8' - 0"		
40	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
48	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
49	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"

WALL TYPE

- 2X6 EXTERIOR WALL STONE: 5/8" DRYWALL INTERIOR-R19 MIN. SPRAY FOAM INSULATION- STONE VENEER EXTERIOR.
- 2X6 EXTERIOR WALL: METAL WALL VENEER INTERIOR-R21 MIN. SPRAY FOAM 5/8" DRYWALL
- 2X6 INTERIOR WALL: 5/8" DRYWALL EACH SIDE.
- 1-1/2" BASEMENT ABOVE GRADE EXTERIOR WALL STONE: 5/8" DRYWALL INTERIOR-R19 MIN. SPRAY FOAM INSULATION- STONE VENEER EXTERIOR.
- 1-1/2" BASEMENT BELOW GRADE EXTERIOR WALL STONE: 5/8" DRYWALL INTERIOR-R19 MIN. SPRAY FOAM INSULATION- STONE VENEER EXTERIOR.
- 8" MASONRY SITE WALL WITH STONE VENEER EACH SIDE.

FLOOR PLAN NOTES:

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4. TANK-LESS DIRECT VENT RINNAI WATER HEATER.
5. MECHANICAL ROOMS TO HAVE 5" TYPE X DRYWALL AT WALLS AND CEILING AND 18" NON- COMBUSTIBLE PLATEFORMS FOR EQUIPMENT
6. PROVIDE A 20 MINUTE FIRE RATED 1-3/8" SOLID DOOR ... SELF-CLOSING SELF-LATCHING, BETWEEN RESIDENCE AND GARAGE. (R302.5.1 AMEND.). THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8" TYPE X GYPSUM APPLIED TO THE GARAGE SIDE. ALL INTERIOR AND EXTERIOR GLAZING IN BATHROOMS MUST BE SAFTEY GLAZING WHEN THE WHEN THE BOTTOM EDGE IS LESS THAN 60 PER 308.4.5' ABOVE FLOOR LEVEL. (BATHROOMS SHALL BE DEFINED AS A ROOM PROVIDED WITH A TUB OR SHOWER).
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11. FIRE BLOCKING SHALL BE INSTALLED AT THE LOCATIONS SPECIFIED IN 2012 IRC R302.11, INCLUDING: CONCEALED SPACES OF STUD WALLS AND PARTITIONS. FLOOR AND CEILING AT 10' FT. MAXIMUM INTERVALS BOTH VERTICALLY AND HORIZONTALLY. INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, CONCEALED SPACE BETWEEN STAIR STRINGERS AT TOP AND BOTTOM RUN, AND AT OPENINGS AROUND VENTS, PIPES, DUCTS, AND CHIMNEYS
12. PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL EXTERIOR HOSE BIBS. 2012 UPC 603.0 AND 603.1.
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14. ALL FOAM PLASTIC INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 75 AND SMOKE DEVELOPED INDEX NOT GREATER THAN 450. 2012 IRC R316.3.
15. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200 AND SMOKE DEVELOPED INDEX NOT GREATER THAN 450. 2012 IRC R302.9.1, 2.9.4.
16. DRAFT STOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONSTRUCTION SO CONCEALED (ATTIC AND/OR FLOOR CEILING SPACE(S) DO NOT EXCEED 1,000 SOFT. 2012 IRC R302.12.
17. WATER CLOSETS, URINALS, LAVATORIES OR BIDET SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL PARTITION VANITY OR OTHER OBSTRUCTION, OR CLOSER THAN 30" CENTER TO CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE AT LEAST A 21" CLEARANCE IN FRONT OF THE WATER CLOSET, URINAL, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR. WATER CLOSET COMPARTMENTS SHALL NOT BE LESS THAN 30" WIDE. R307.1.
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19. CORNER WINDOW POST SHALL BE BRAKE METAL TO MATCH WINDOW FRAME
20. MECHANICAL EQUIP.-SEE MECHANICAL PLANS
21. SES-SEE ELECTRICAL
22. WATER SERVICE
23. GAS METER LOCATION- SEE PLUMBING PLANS
24. MILLWORK-SEE INTERIORS
25. OVEN/STEAM
26. REFRIG.
27. FREEZER
28. RANGE/HOOD
29. DISHWASHER
30. WASHER/DRYER
31. BBQ
32. WINE RACK
33. 14" WIDE LADDER PER IRC R310.2.1
34. PAINTED STEEL RAILING 36" A.F.F.
35. UNDER COUNTER FRIDGE
36. UNDER COUNTER ICE
37. TRASH DRAWER PULL OUT

Scale : 1/8" = 1'-0"

FLOOR PLAN L2



BOX 2006
CAREFREE, AZ 85377
(480) 225-7282
JUSTIN@JK.STUDIO

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SHEET NO.

A-2.1

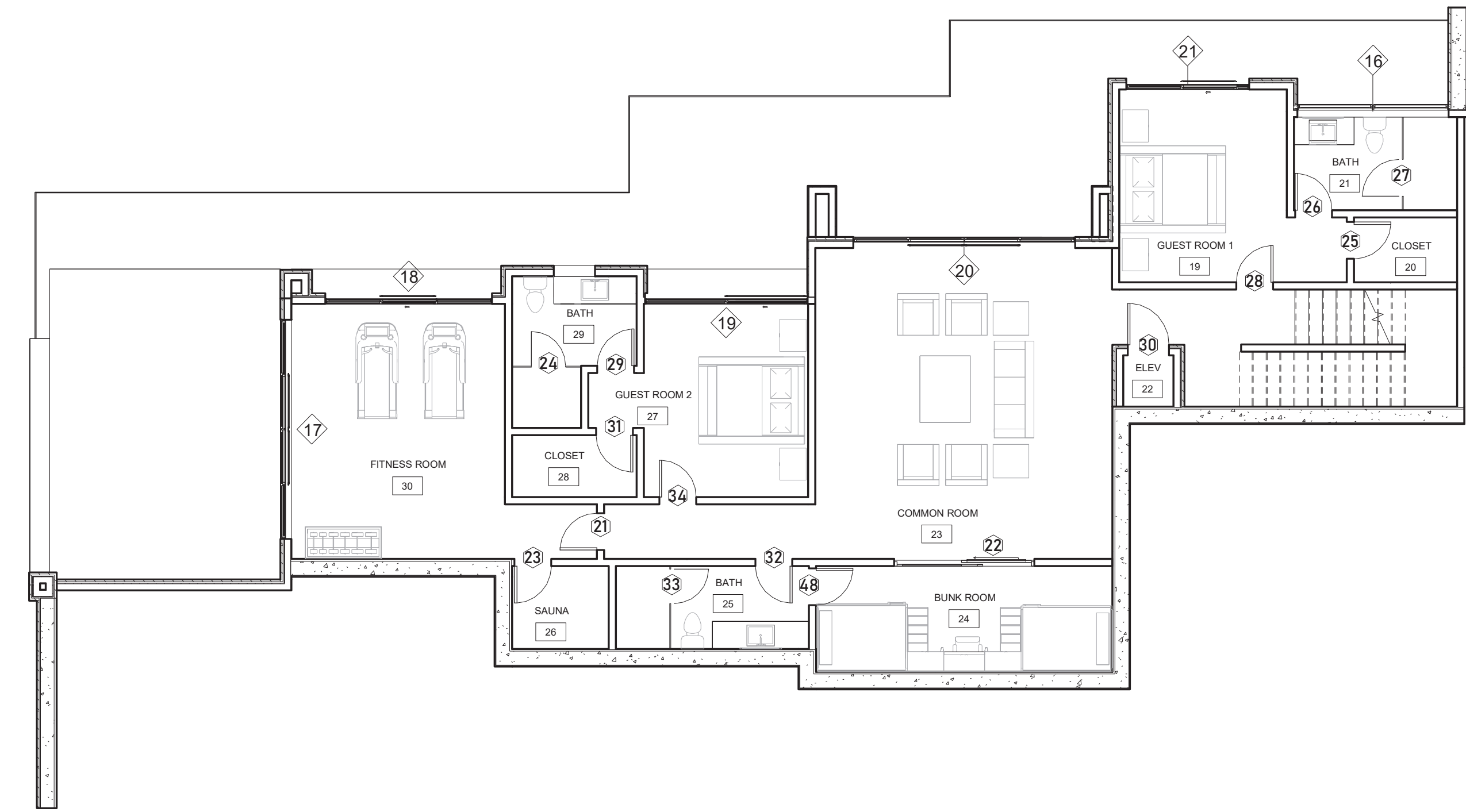
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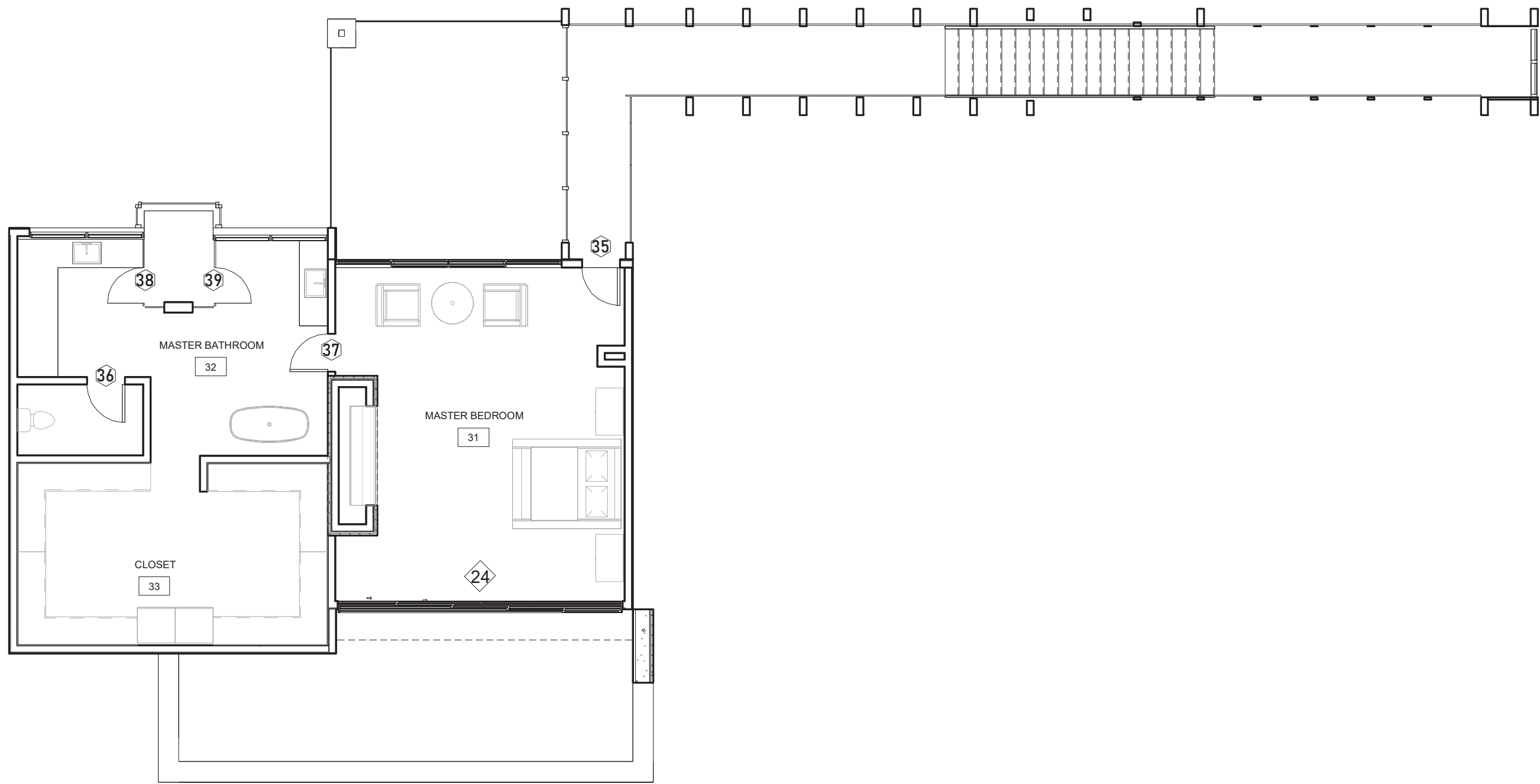
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A



② Level 1 Floor Plan
1/8" = 1'-0"



① Level 3 Floor Plan
1/8" = 1'-0"

SCHEDULES

WINDOW SCHEDULE

Win. No.	Type Mark	Height	Width	Sill Height	Head Height
1	W01	10' - 0"	11' - 11"	3' - 0"	13' - 0"
2	W02	7' - 0"	16' - 6"	3' - 0"	10' - 0"
3	W01	7' - 0"	8' - 0"	3' - 0"	10' - 0"
4	W03	10' - 0"	9' - 0"	0' - 0"	10' - 0"
5	W03	10' - 0"	8' - 5"	0' - 8"	10' - 8"
6	W04	10' - 0"	24' - 0"	0' - 0"	10' - 0"
7	W05	10' - 0"	11' - 11"	0' - 0"	10' - 0"
8	W05	10' - 0"	12' - 0"	0' - 0"	10' - 0"
9	W06	10' - 0"	16' - 0"	0' - 0"	10' - 0"
10	W07	10' - 0"	8' - 0"	0' - 0"	10' - 0"
11	W12	6' - 0"	5' - 8"	3' - 0"	9' - 0"
12	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
13	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
14	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
15	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
16	W09	2' - 0"	10' - 11"	7' - 0"	9' - 0"
17	W08	9' - 0"	15' - 10"	0' - 0"	9' - 0"
18	W01	9' - 0"	12' - 0"	0' - 0"	9' - 0"
19	W03	9' - 0"	11' - 8 1/2"	0' - 0"	9' - 0"
20	W08	9' - 0"	16' - 0"	0' - 0"	9' - 0"
21	W01	9' - 0"	8' - 10"	0' - 0"	9' - 0"
22	W11	4' - 0"	3' - 0"	5' - 0"	9' - 0"
23	W10	8' - 0"	3' - 0"	3' - 0"	11' - 0"
24	W04	10' - 0"	20' - 0"	0' - 0"	10' - 0"
26	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
30	W08	10' - 0"	15' - 11 1/2"	0' - 0"	10' - 0"
27	W14	Refer Windows Elevation in A-8.2			
28	W15	Refer Windows Elevation in A-8.2			
29	W17	Refer Windows Elevation in A-8.2			
30	W18	Refer Windows Elevation in A-8.2			
31	W13	Refer Windows Elevation in A-8.2			
32	W16	Refer Windows Elevation in A-8.2			
33	W19	Refer Windows Elevation in A-8.2			
34	W22	Refer Windows Elevation in A-8.2			
35	W21	Refer Windows Elevation in A-8.2			
36	W20	Refer Windows Elevation in A-8.2			

DOOR SCHEDULE

DOOR No.	Type	Width	Height	Sill Height	Head Height
01	D04	6' - 9"	8' - 5 1/2"		
02	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
03	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
04	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
05	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
06	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
07	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
08	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
09	GL01	2' - 8"	7' - 2"		
10	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
11	26	19' - 10"	8' - 0"	0' - 0"	8' - 0"
12	28	9' - 10"	8' - 0"	0' - 0"	8' - 0"
13	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
14	D05	7' - 2"	4' - 0"	0' - 0"	4' - 0"
15	GL01	3' - 6 1/2"	11' - 8 1/2"		
16	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
17	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
18	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
19	D02	2' - 10"	7' - 0"	0' - 0"	7' - 0"
20	D06	5' - 11"	8' - 0"	0' - 0"	8' - 0"
21	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
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23	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
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WALL TYPE

- 2X6 EXTERIOR WALL STONE: 5/8" DRYWALL INTERIOR-R19 MIN. SPRAY FOAM INSULATION- STONE VENEER EXTERIOR.
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32. PAINTED STEEL RAILING 36" A.F.F.
33. UNDER COUNTER FRIDGE
34. UNDER COUNTER ICE
35. TRASH DRAWER PULL OUT

THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO



BOX 2006
CAREFREE, AZ 85377
(480) 225-7282
JUSTIN@JK.STUDIO

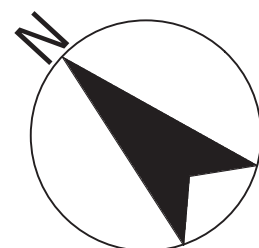
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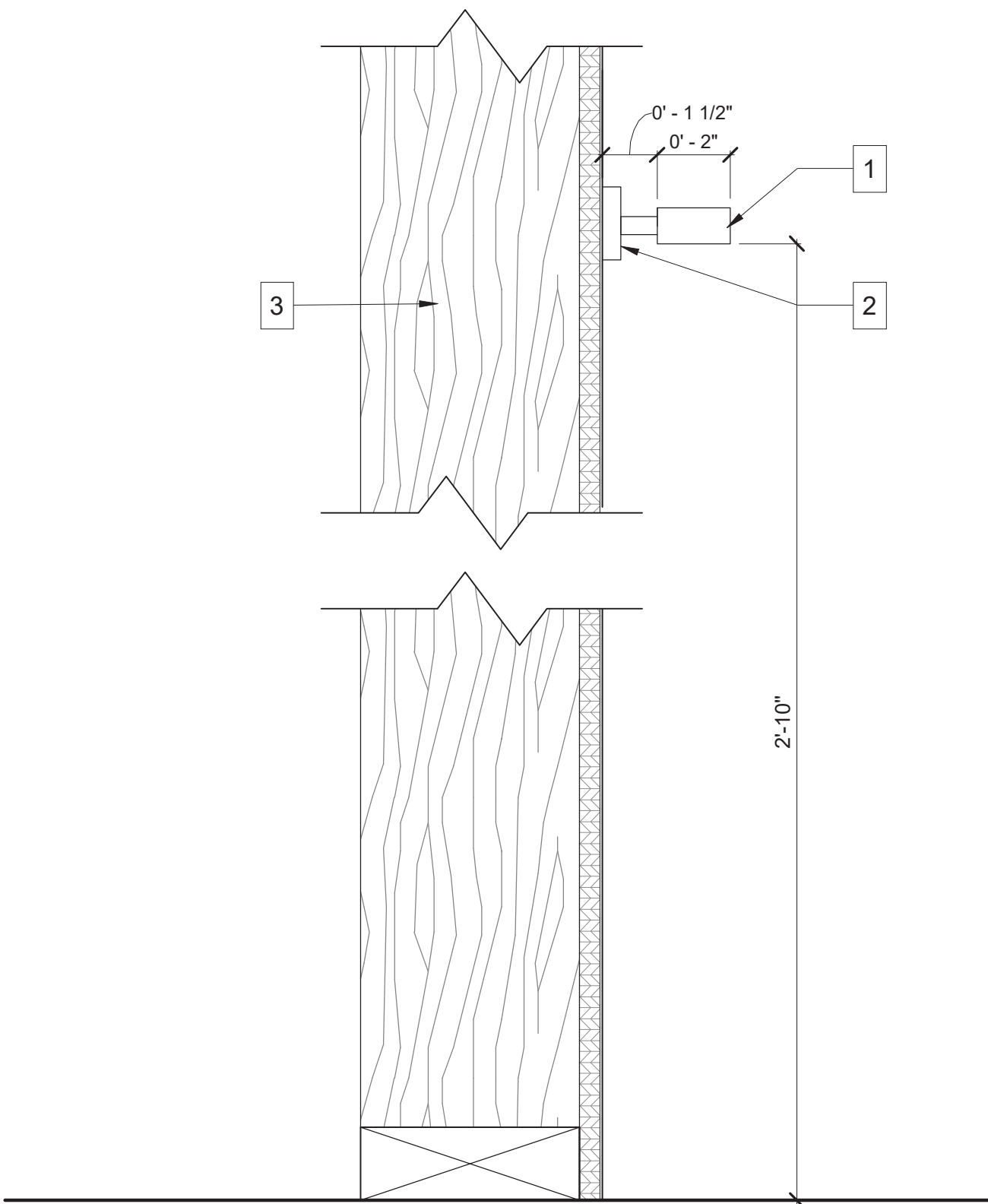
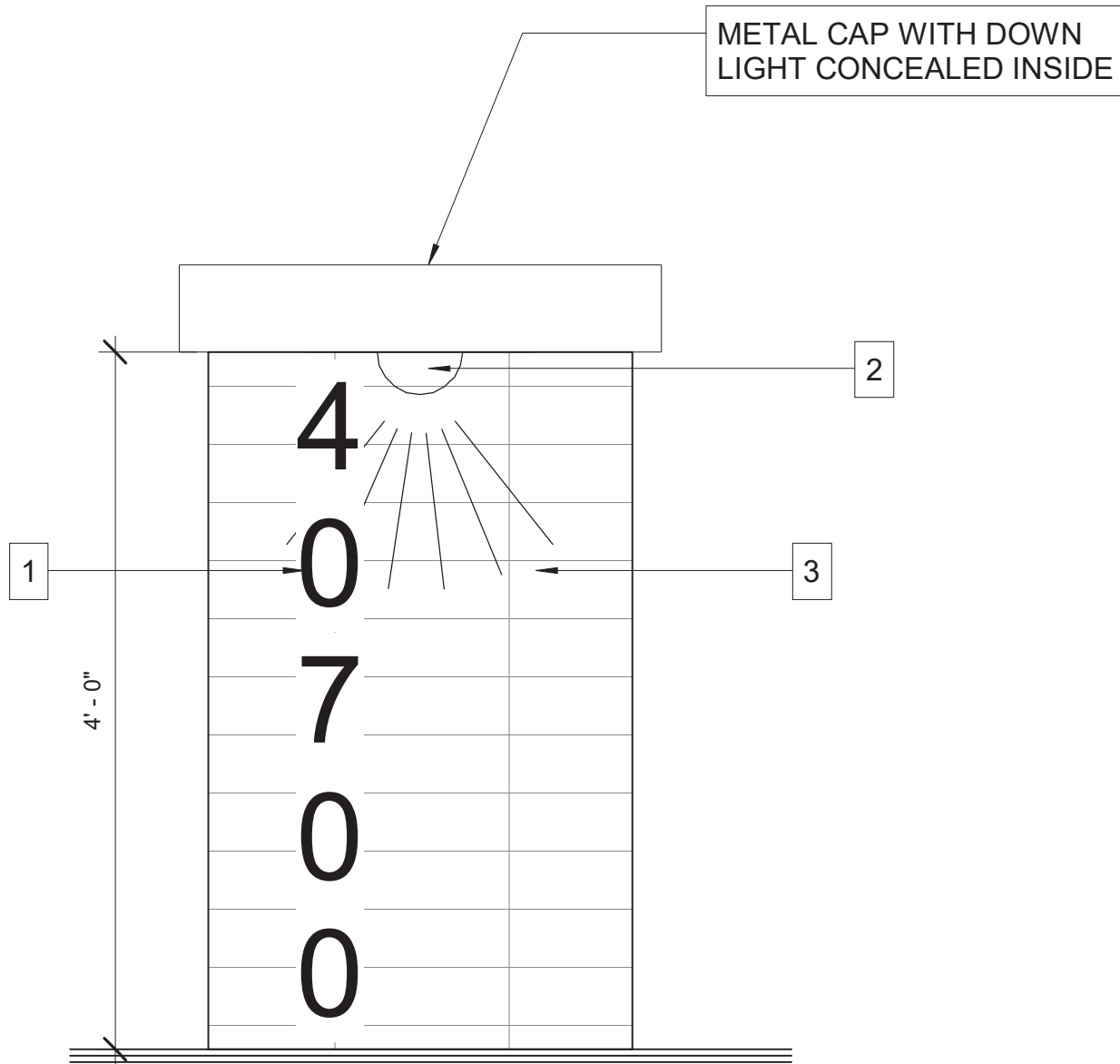
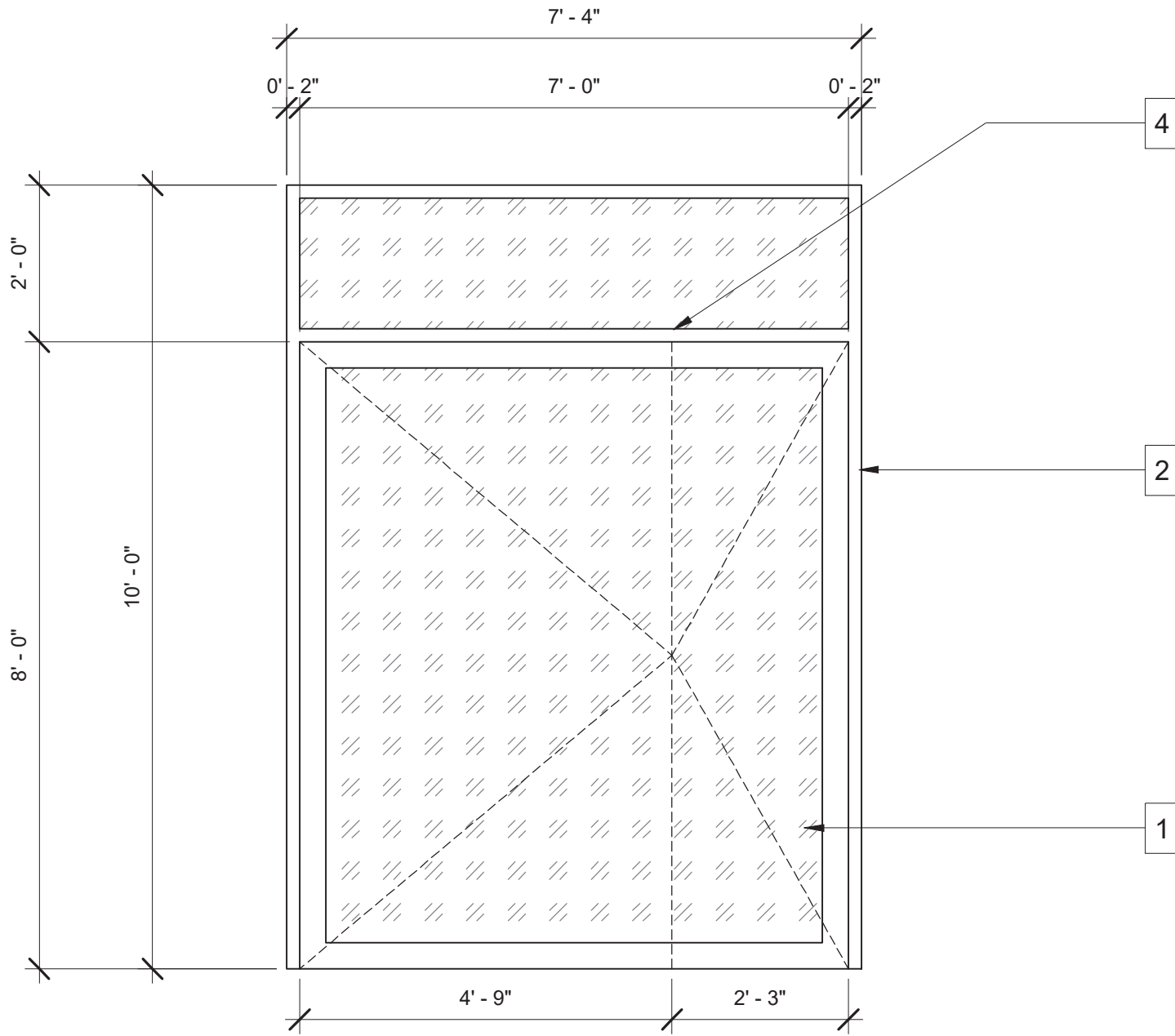
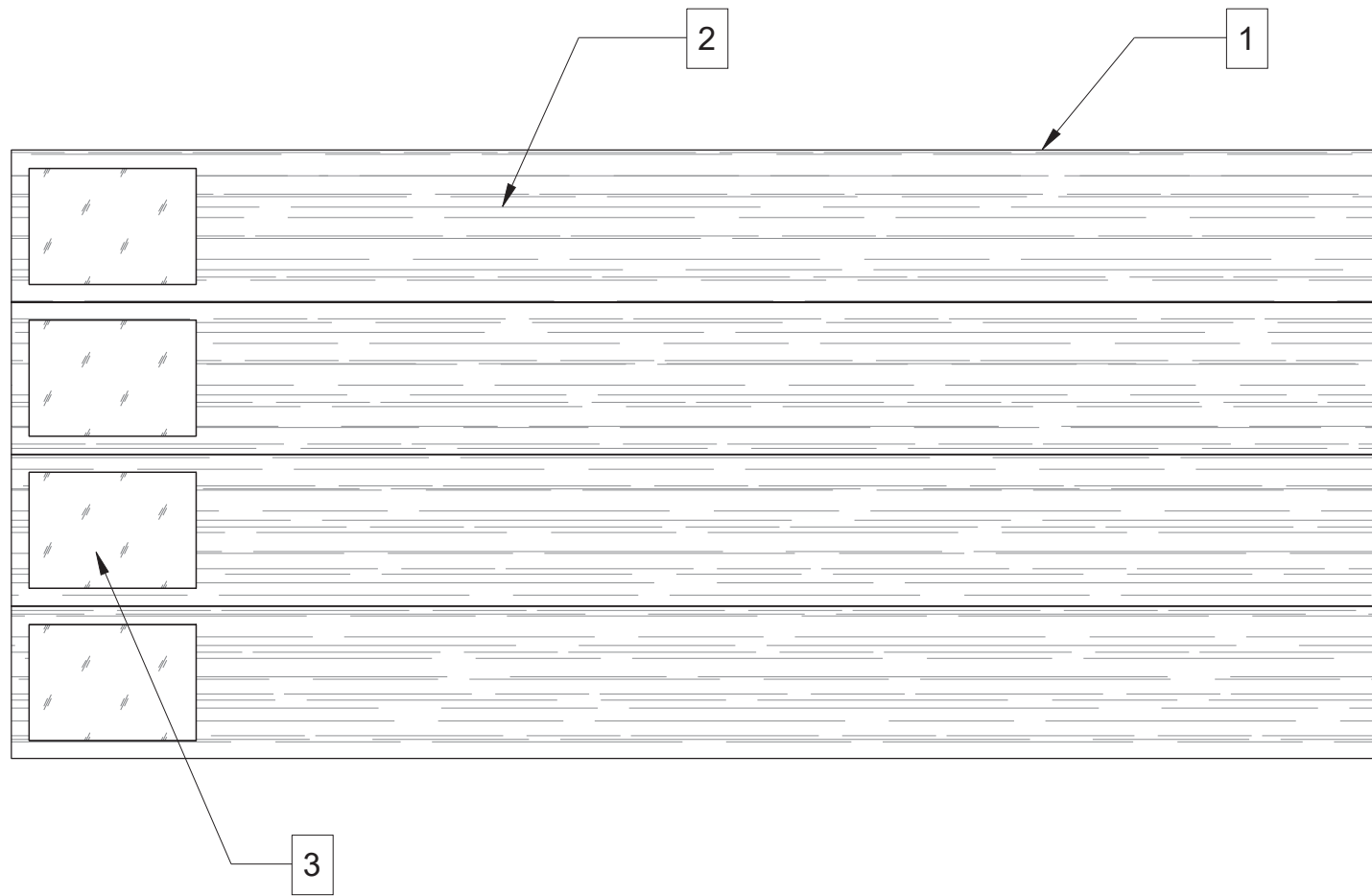
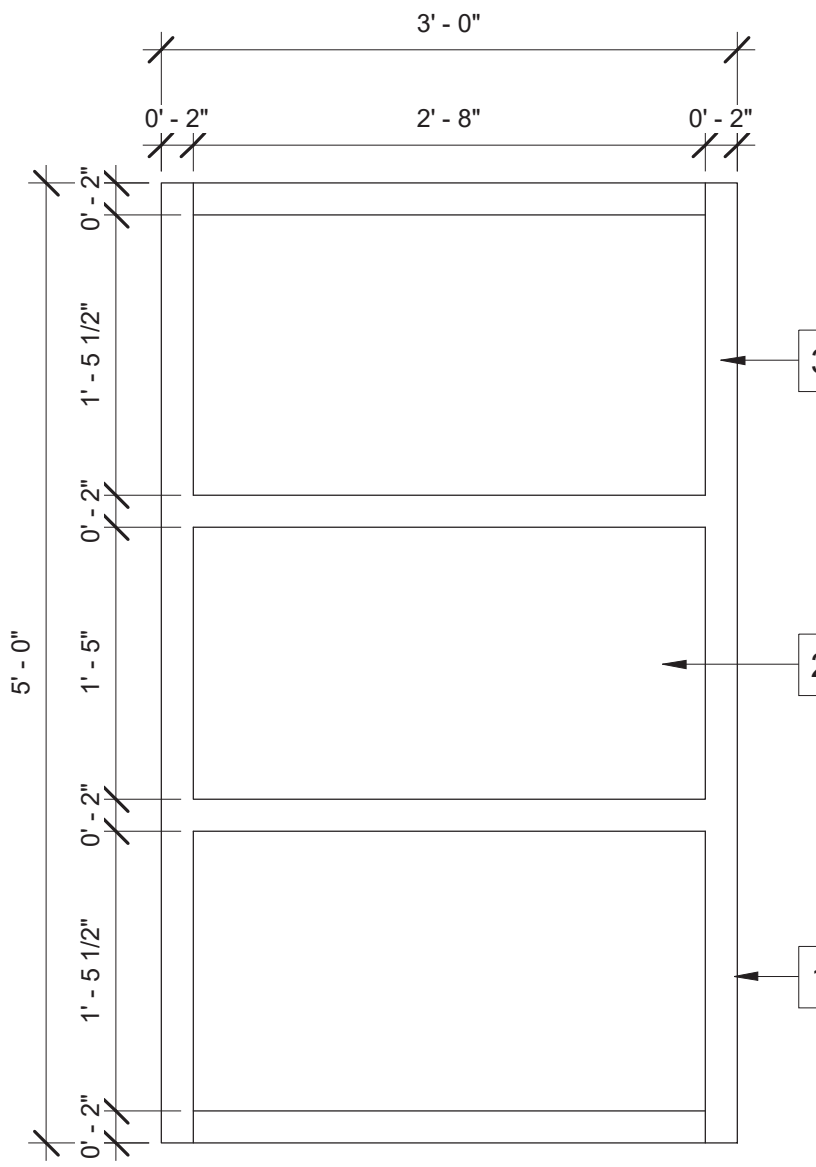
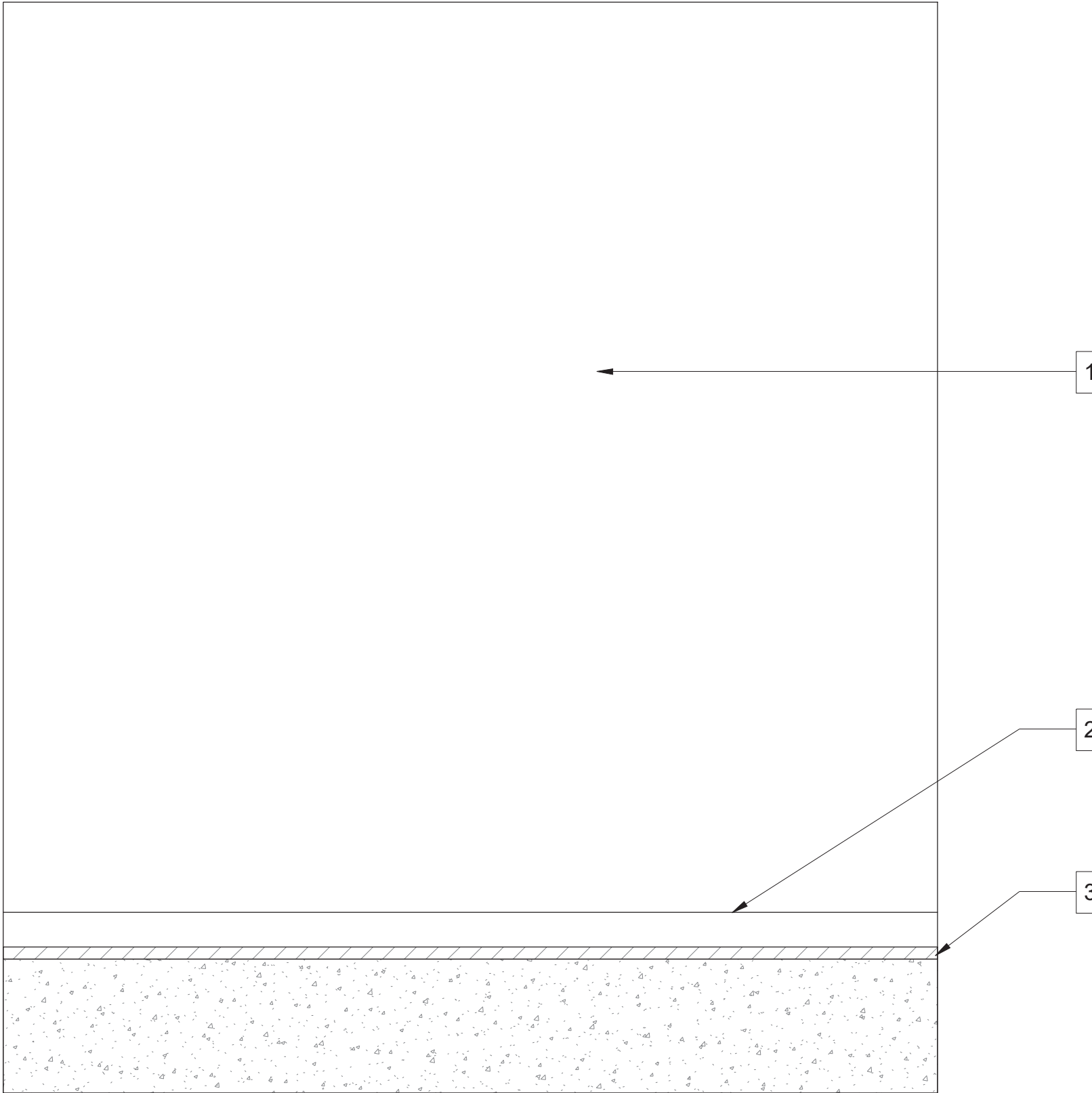
SHEET NO.

A-2.2

Scale : 1/8" = 1'-0"

FLOOR PLAN L1,L3



01	HANDRAIL		<div><div>GENERAL NOTES</div><div>A. TOP OF HANDRAILS AND EXTENSIONS SHALL BE NOT LESS THAN 34 INCHES OR MORE THAN 38 INCHES ABOVE THE NOSING OF TREADS AND LANDINGS. R311.7.8.1 B. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. C. R311.7.8.3 D. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY POINT ALONG THE TOP.</div><div>KEY NOTES</div><div>1. PRE-FINISHED PAINTED STEEL GRAB BAR. 2. 3" SQUARE PRE-FINISHED STEEL PLATE OVER LAG SCREW CONNECTIONS. 3. 2X WALL WITH BLOCKING WHERE NEEDED FOR SUPPORT.</div></div>	02	ADDRESS MARKER		<div><div>GENERAL NOTES</div><div>MARKER HEIGHT AND PLACEMENT SHALL BE CHECKED WITH TO AVOID ANY UTILITIES AND VERIFIED WITH ARCHITECT.</div><div>KEY NOTES</div><div>1. 6"H X1" THICK BLACK METAL ADDRESS NUMBERS. 2. LANDSCAPE LIGHT PER PLAN. 3. METAL WOOD SIDING PER HOUSE.</div></div>	03	FRONT DOOR		<div><div>GENERAL NOTES</div><div></div><div>KEY NOTES</div><div>1. TEMPERED CLEAR FLOAT GLASS. 2. EBONIZED OAK FRAME. 3. PIVOT HINGE CONCEALED IN HEADER.</div></div>
			<div><div>GENERAL NOTES</div><div></div><div>KEY NOTES</div><div>1. INSULATED GARAGE DOOR PANEL. 2. BLACK METAL PANELS FINISH FROM MANUFACTURER. 3. DARK BRONZE LIMO TINT WINDOWS.</div></div>				<div><div>GENERAL NOTES</div><div>A. ALL GATES WITH POOL ACCESS SHALL BE OUT-SWINGING WITH HARDWARE ABOVE 54" A.F.F. AND CONFORM TO ALL GOVERNING POOL CODES. B. GATE SIZES ON PLAN THAT DIFFER FROM DETAILS SHALL GOVERN.</div><div>KEY NOTES</div><div>1. POWDER COATED MATTE BLACK STYLE STEEL FRAME. 2. METAL PANEL INTERIOR. 3. SELF CLOSING LATCHING HARDWARE.</div></div>				<div><div>GENERAL NOTES</div><div></div><div>KEY NOTES</div><div>1. CLEAR GLASS. 2. BLACK ANODIZED SHOE. 3. TILE AROUND ALL BASE.</div></div>
04	GARAGE DOOR			05	GATES			06	GUARDRAIL		
										<div>Scale : As indicated</div> <div>FLOOR DETAILS</div>	

THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED

JUSTIN KILBANE

406403

Justin Kilbane

03/01/2021

ARCHITECT

BOX 2006

CAREFREE, AZ 85377

(480) 225-7282

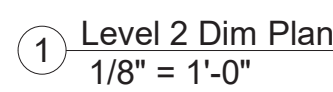
JUSTIN@JK.STUDIO

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SHEET NO.

A-2.3



1. DIMENSIONS ARE TYPICALLY FROM EDGE OF STUD, CENTER OF RADIUS, CENTER OF OPENING, CENTER OF STEEL OR EDGE OF CONCRETE.
2. NOTE EDGE OF CONCRETE FOUNDATION @ STONE LEDE AND/OR WAINSCOT F.O.C.
3. GENERAL CONTRACTOR SHALL BRING ANY DISCREPANCIES WITH THESE DIMENSIONS TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
4. EXISTING FIELD CONDITIONS SHALL BE DIMENSIONALLY VERIFIED PRIOR TO CONSTRUCTION.
5. DEPRESS ALL SLABS 1 1/2" FOR STONE SETTING BED. SEE NOTE 15 FOR DETAILS.
6. SEE FOUNDATION PLAN FOR SHOWER AND TUB DEPRESSIONS.

DIM. PLAN

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

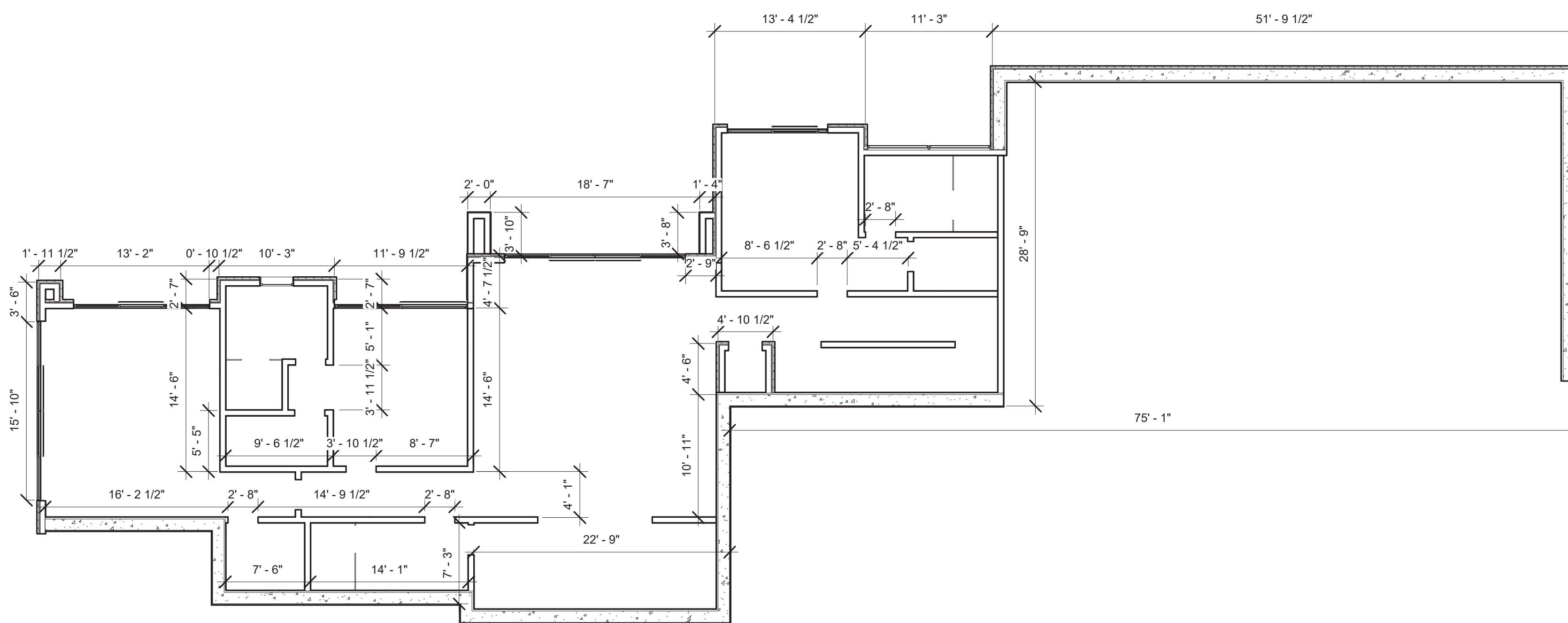


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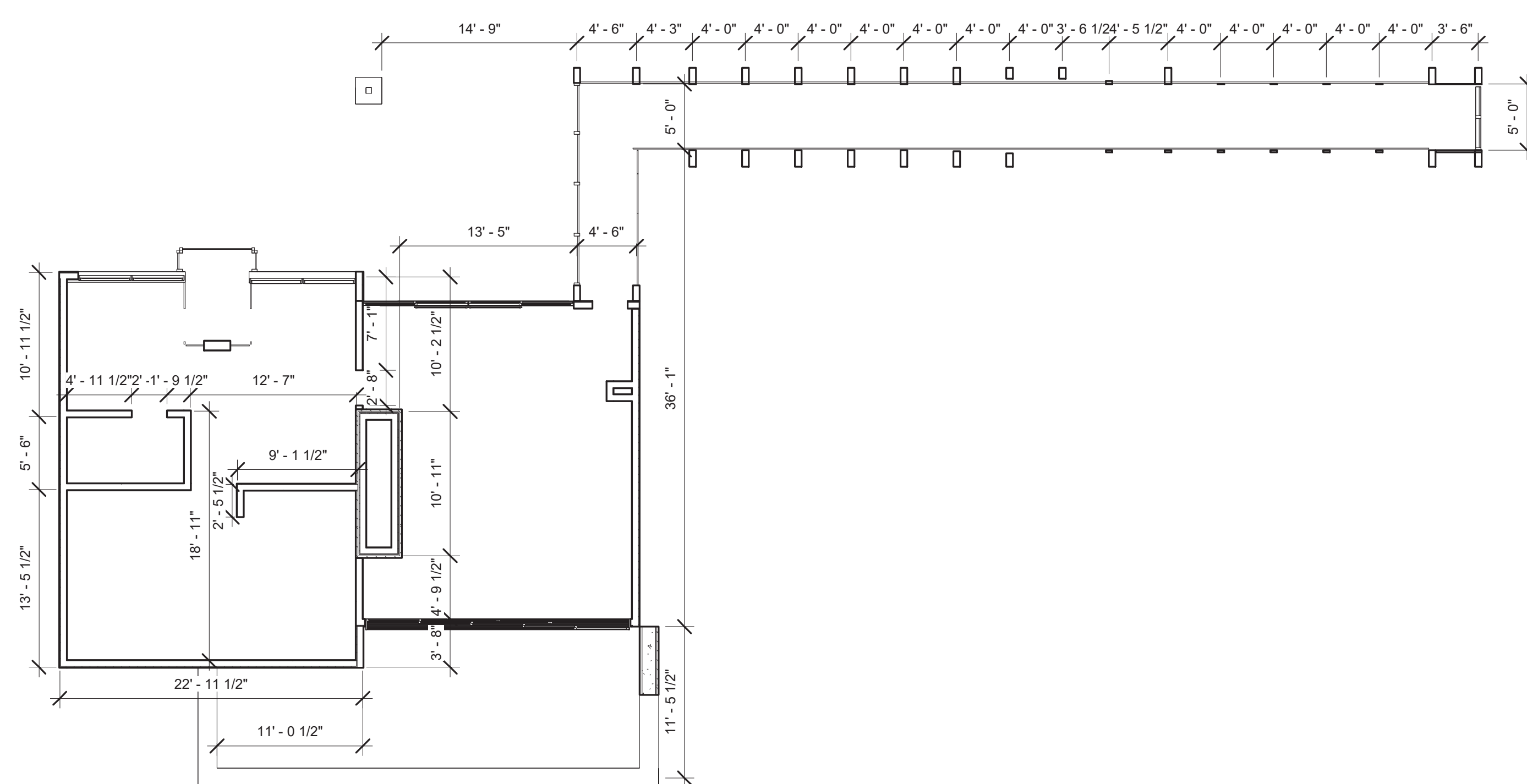
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SHEET NO.

A-3.1



① Level 1 Dim Plan
1/8" = 1'-0"



② Level 3 Dim Plan
1/8" = 1'-0"

DIMENSION PLAN NOTES:

1. DIMENSIONS ARE TYPICALLY FROM EDGE OF STUD, CENTER OF RADIUS, CENTER OF OPENING, CENTER OF STEEL OR EDGE OF CONCRETE.
2. NOTE EDGE OF CONCRETE FOUNDATION @ STONE LEGGE AND/OR WAINGSCOT = F.O.C.
3. GENERAL CONTRACTOR SHALL BRING ANY DISCREPANCIES WITH THESE DIMENSIONS TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
4. EXISTING FIELD CONDITIONS SHALL BE DIMENSIONALLY VERIFIED PRIOR TO CONSTRUCTION.
5. DEPRESS ALL SLABS 1 1/2" FOR STONE SETTING BED. SEE NOTE 10 FOR ALL TIE BAR LOCATIONS. SEE FOUNDATION PLAN FOR SHOWER AND TUB DEPRESSIONS.

Scale : 1/8" = 1'-0"

DIM. PLAN



COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO



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SHEET NO.

A-3.2

ELEVATION NOTES:

- EXTERIOR STONE VENEER. CONTRACTOR TO INSTALL PER 2018 CODE IRC CHAPTER 7, TABLE R703.4 AND FIGURE R703.7. SEE DETAIL 1/A-5.3.
- METAL ROOF SET OVER 90 POUND CAP SHEET - REFER TO ROOF PLAN FOR SPECIFICATIONS. SEE DETAIL
- G.I. WEEP SCREED AT PERIMETER OF BUILDING SHELL. BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL BE NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED. 2015 IRC 317.1 (5). SEE DETAILS THROUGH 3.4A5.3 & 5.4
- SES LOCATION BEYOND SCREEN WALL
- WINDOW POST SHALL BE CLAD IN BRASS METAL TO MATCH WINDOW FRAMES. POST SHALL LOOK LIKE INTEGRAL PART OF THE WINDOW ASSEMBLY.
- THE SES PANEL SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 4" TALLER THAN THE HIGHEST POINT OF THE SES PANEL. THE CONTRACTOR SHALL INSTALL THE SES PANEL AS LOW AS ALLOWED BY BUILDING CODE AND APS IN AN EFFORT TO MINIMIZE THE HEIGHT OF THE SCREEN WALL. THE CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.
- EXTERIOR EQUIPMENT INCLUDING BUT NOT LIMITED TO HVAC EQUIPMENT, POOL EQUIPMENT AND TRASH CANS SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 12" TALLER THAN THE HIGHEST POINT OF THE EQUIPMENT. THE CONTRACTOR SHALL VERIFY THE HEIGHT OF THE EXTERIOR EQUIPMENT PRIOR TO CONSTRUCTION OF THE SITE WALL TO ENSURE COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.

R312.1 Guards.
Guards shall be provided in accordance with Sections

R312.1.1 through R312.1.4

R312.1.1 Where required.

Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.

R312.1.2 Height.

Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.

R312.1.3 Opening limitations.

Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

WALL MATERIAL PERCENTAGE

	Material Name	Area(in Sq. Ft)	Percentage
EAST ELEVATION (2631.84 Sq. Ft)			
1.	Glass	266.741	10.13%
2.	Stone	747.23	28.39%
3.	Wall Panel	887.49	33.72%
WEST ELEVATION (2397.07 Sq. Ft)			
1.	Glass	455.00	18.98%
2.	Stone	317.98	13.26%
3.	Wall Panel	717.05	29.91%
NORTH ELEVATION (6640.21 Sq. Ft)			
1.	Glass	1836.32	27.65%
2.	Stone	2203.32	33.18%
3.	Wall Panel	970.36	14.61%
SOUTH ELEVATION (2769.67 Sq. Ft)			
1.	Glass	775.45	27.99%
2.	Stone	220.99	7.97%
3.	Wall Panel	541.29	19.54%

MATERIAL LIST

- A. DRIVEWAY PAVERS:** CATALINA PAVERS IN RIO COLOR.
- B. EXTERIOR STONE:** TELLURIDE GOLD DRYSTACK.
- C. WALL PANELS:** T8 PLANKWALL WEATHERED WOOD COLOR METAL WALL PANEL.
- D. ROOFING AND FASCIAS:** MATTE DARK BRONZE STANDING SEAM PANELS.
- E. WINDOWS & DOORS:** SIERRA PACIFIC DARK ANODIZED FINISH.

Scale : 1/8" = 1'-0"

ELEVATIONS

1 EAST ELEVATION
1/8" = 1'-0"

2 WEST ELEVATION
1/8" = 1'-0"

3 NORTH ELEVATION
1/8" = 1'-0"

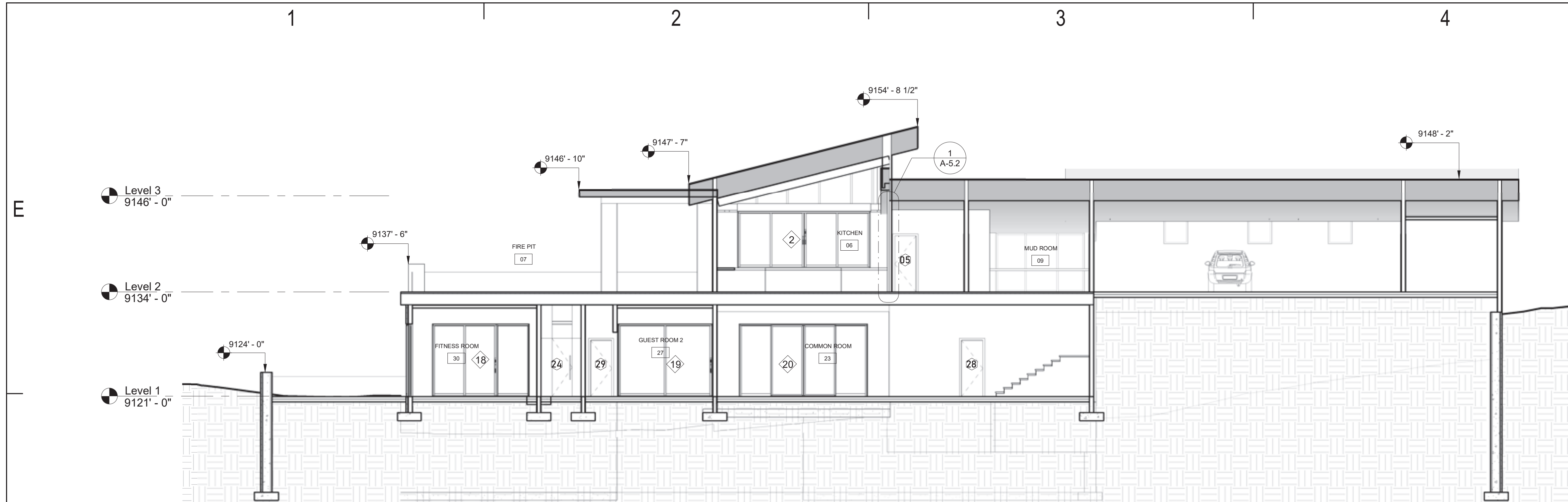
4 SOUTH ELEVATION
1/8" = 1'-0"

SECTION NOTES:

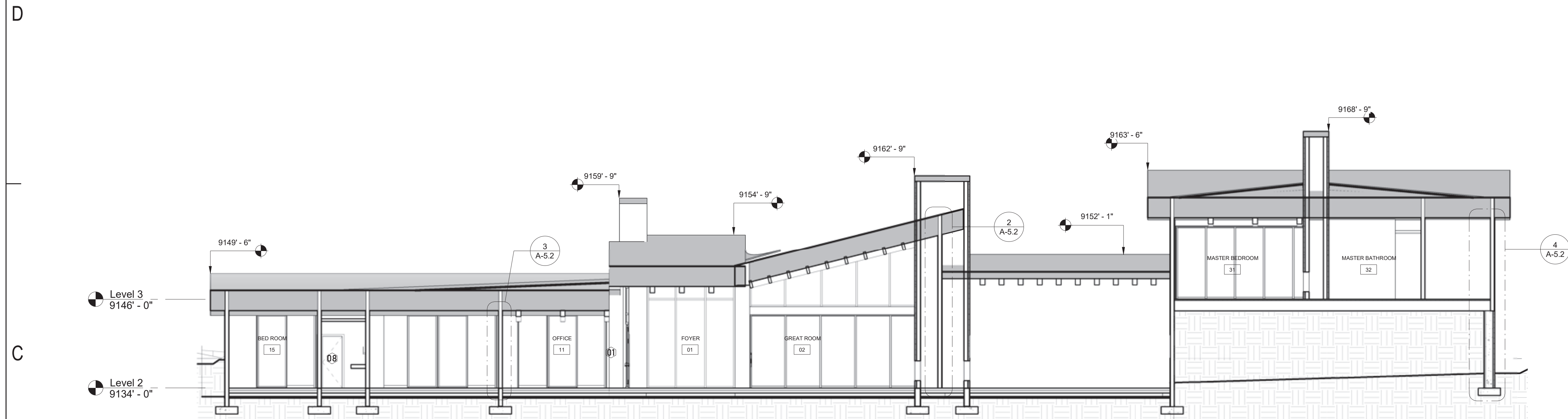
1. ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GAUGE MINIMUM. IRC R302.5.2.
2. FIRE BLOCKING SHALL BE INSTALLED AT THE LOCATIONS SPECIFIED IN IRC R302.11, INCLUDING: CONCEALED SPACES OF STUD WALLS AND PARTITIONS, FLOOR AND CEILING AT 10 FT. MAXIMUM INTERVALS BOTH VERTICALLY AND HORIZONTALLY, INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, CONCEALED SPACE BETWEEN STAIR STRINGERS AT TOP AND BOTTOM RUN, AND AT OPENINGS AROUND VENTS, PIPES, DUCTS, AND CHIMNEYS.
3. NO COMBUSTIBLE MATERIALS SHALL BE LESS THAN 12" OF FIREPLACE OPENINGS PER IRC R1001.9 THRU R1001.11.
4. TYPICAL EXTERIOR AND INTERIOR WALL CONSTRUCTION TO BE 2X6 STUDS @ 16" O.C. UNLESS DIMENSIONED OR NOTED OTHERWISE. ALL EXTERIOR WALLS TO RECEIVE 1/2" OSB SHEAR. WALL FRAMING TO BE DONE PER STRUCTURAL DRAWINGS AND SPECS.
5. 5/8" TYPE 'X' GYPSUM BOARD SCREWED IN PLACE. CONTRACTOR TO INSTALL PER IRC R702.3
6. WALL AND CEILING/FLOOR INSULATION TO BE ISYNE NE SPRAY FOAM R-21 AND R-38 MINIMUM RESPECTIVELY PER ICC-ES E1826.
7. ROOF TRUSSES. REFER TO FRAMING PLAN FOR ON-CENTER SPACING. REFER TO TRUSS MANUFACTURER'S CALCULATIONS AND SHOP DRAWINGS FOR DEPTH AND TYPE. TRUSSES TO BE INSTALLED PER STRUCT. ENGINEER'S SPECS / DETAILS AND PER TRUSS MANUFACTURER'S SHOP DRAWINGS AND WRITTEN INSTRUCTIONS.
8. EXTERIOR BRICK VENEER. CONTRACTOR TO INSTALL PER IRC CHAPTER 7, TABLE R703.4 AND FIGURE R703.7.
9. WESTERN ONE KOTE PRE-BLENDED EXTERIOR PORTLAND CEMENT PLASTER SMOOTH HAND TROWELED SENERGY SERNERLASTIC FINE FINISH. CONTRACTOR TO INSTALL PER IRC R703.6.
10. METAL BATTEN ROOF. REFER ROOF PLAN FOR SPECIFICATIONS. HIGH TEMP. UNDERLAYMENT SYSTEM. PROVIDE INSTALLATION COMPLETE WITH ALL ROOF TO WALL FLASHING AND CANT STRIPS. PROVIDE FLASHING AT ALL ROOF CAPS AND ROOF PENETRATIONS. #16SR-1274 OR APPROVED EQUAL. INSTALL PER MANUFACTURER SPECIFICATIONS. ROOF SHALL HAVE A CLASS 'A' FIRE RATING LABEL.
11. SPARK ARRESTOR. SPARK ARRESTOR TO COMPLY WITH ALL REQUIREMENTS UNDER IRC R 1003.9.1 INSTALLED PER MANUFACTURES SPECS.
12. G.I. WEEP SCREED AT PERIMETER OF BUILDING SHALL BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL BE NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED.
13. DRAPERY POCKET. SINGLE LUTRON ROLLER SHADE. PROVIDE 6"x6" FRAMED OPENING.
14. DRAPERY POCKET. DOUBLE LUTRON ROLLER SHADES W/BLACKOUT. PROVIDE 8"x12" FRAMED OPENING.
15. FORCED AIR PLATFORM @ +18" A.F.F. HOLD PLATFORM AWAY FROM INTERIOR WALLS MIN. 2" TO MINIMIZE SOUND ATTENUATION.
16. RECESSED OPENING FOR FLAT PANEL TELEVISION. CONTRACTOR TO VERIFY OPENING PER TELEVISION SPECIFICATIONS.
17. RAISED HEARTH W/ NON COMBUSTIBLE FINISHED MATERIAL PER INTERIOR SPECIFICATIONS. RAISED HEARTH TO COMPLY WITH IRC SECTIONS R1001.9 & R1001.10
18. DWELLING/GARAGE FIRE SEPARATION - 5/8" TYPE 'X' GYP. BOARD @ WALLS AND CELING. CONTRACTOR TO INSTALL PER IRC 2015 R302.6
19. 5/8" TYPE 'X' GYP. BOARD TO THE UNDERSIDE OF AN ENCLOSED ACCESSIBLE STAIRWAY PER IRC R302.7.
20. 4" CONCRETE ON 4" A.B.C. ON NATURAL GRADE STRIP A MIN. 12" DOWN AND FILL WITH ENGINEERED NON-EXPANSIVE ENGINEERED COMPACTED SOIL TO MIN. 95% COMPACTION.
21. FOAM PLASTICS SHALL BE SEPARATED FROM ATTICS AND CRAWL SPACES. (R314.2.3).

Scale : 1/8" = 1'-0"

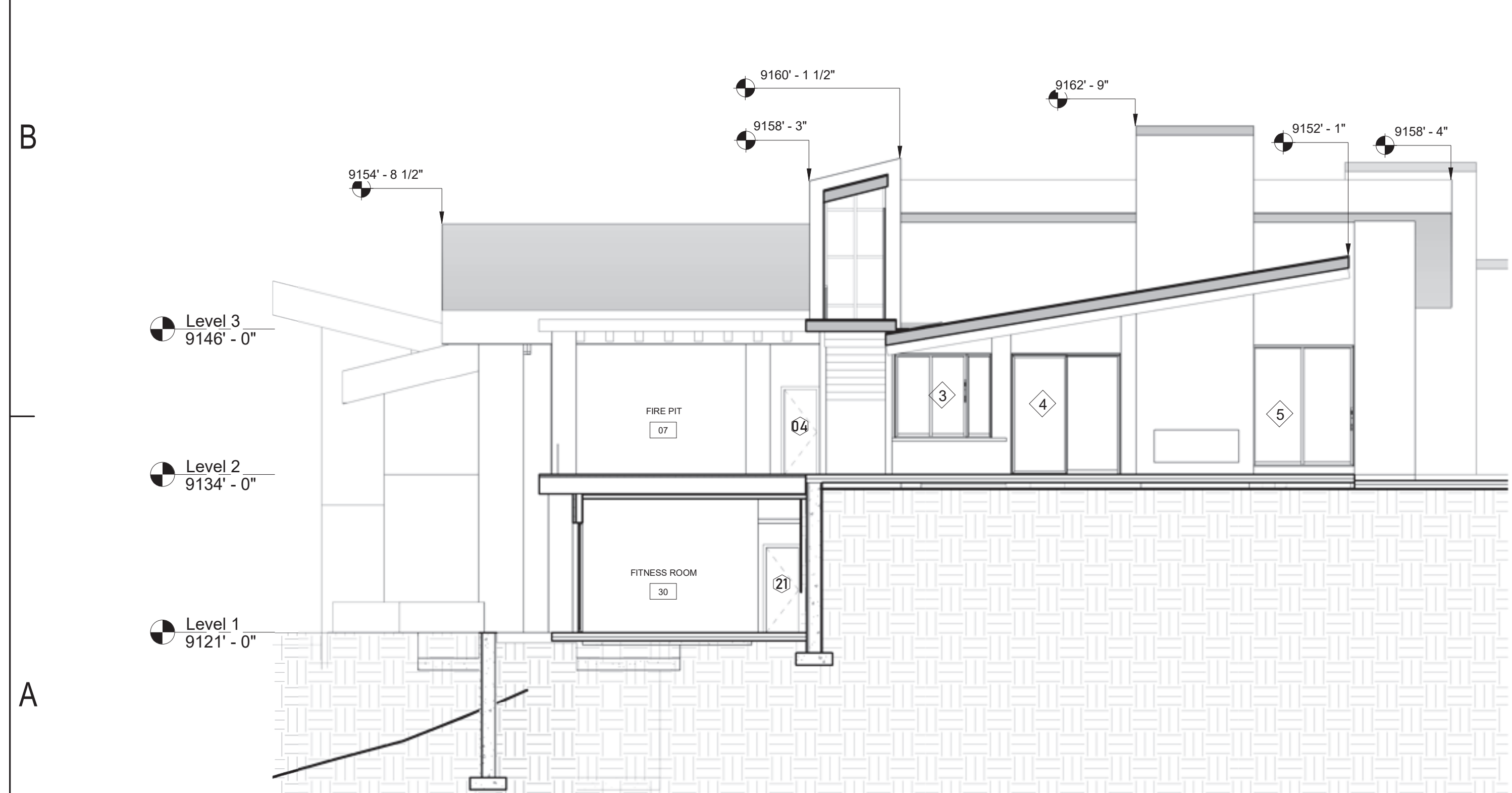
BUILD. SECTIONS



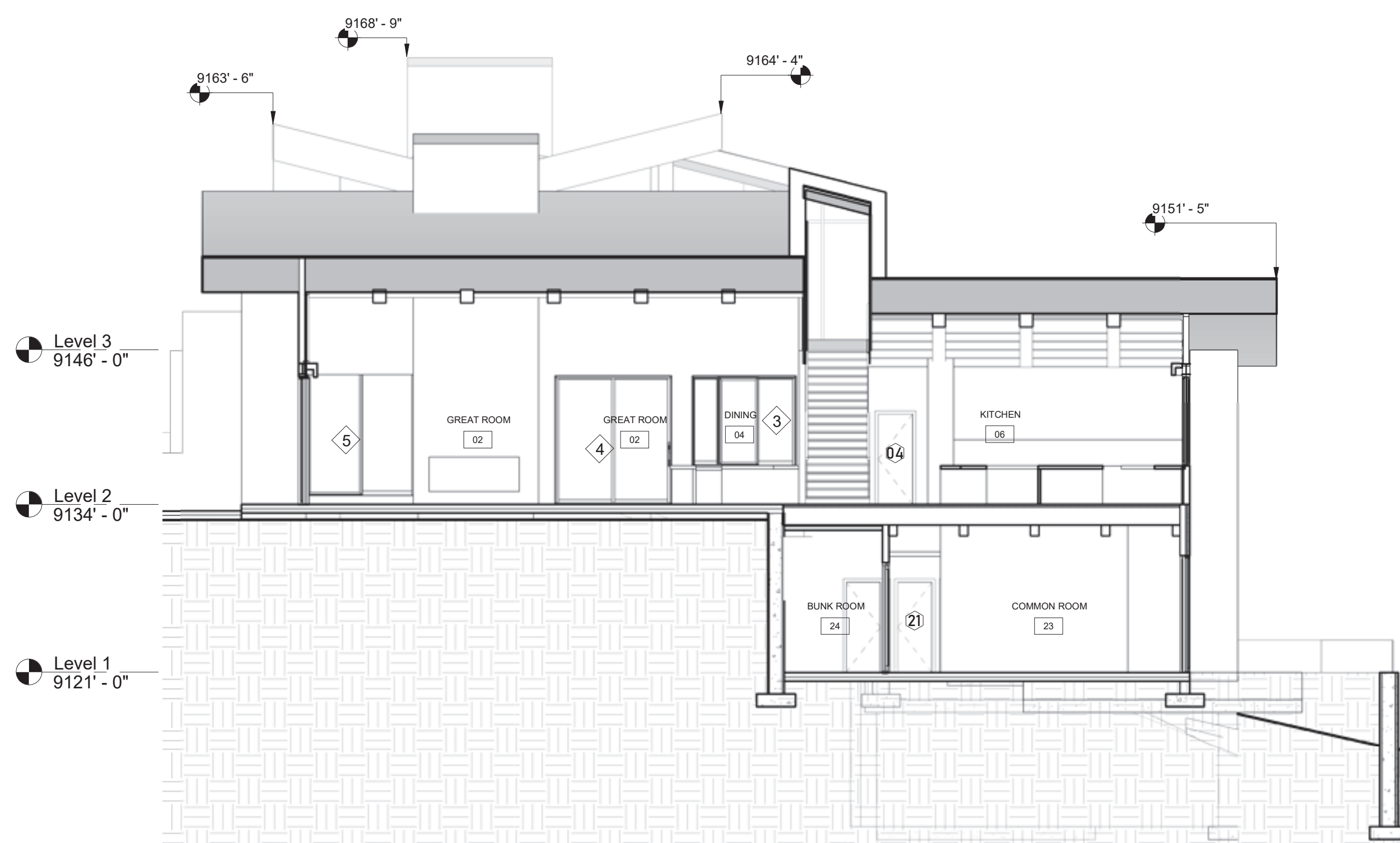
1 SECTION 01
1/8" = 1'-0"



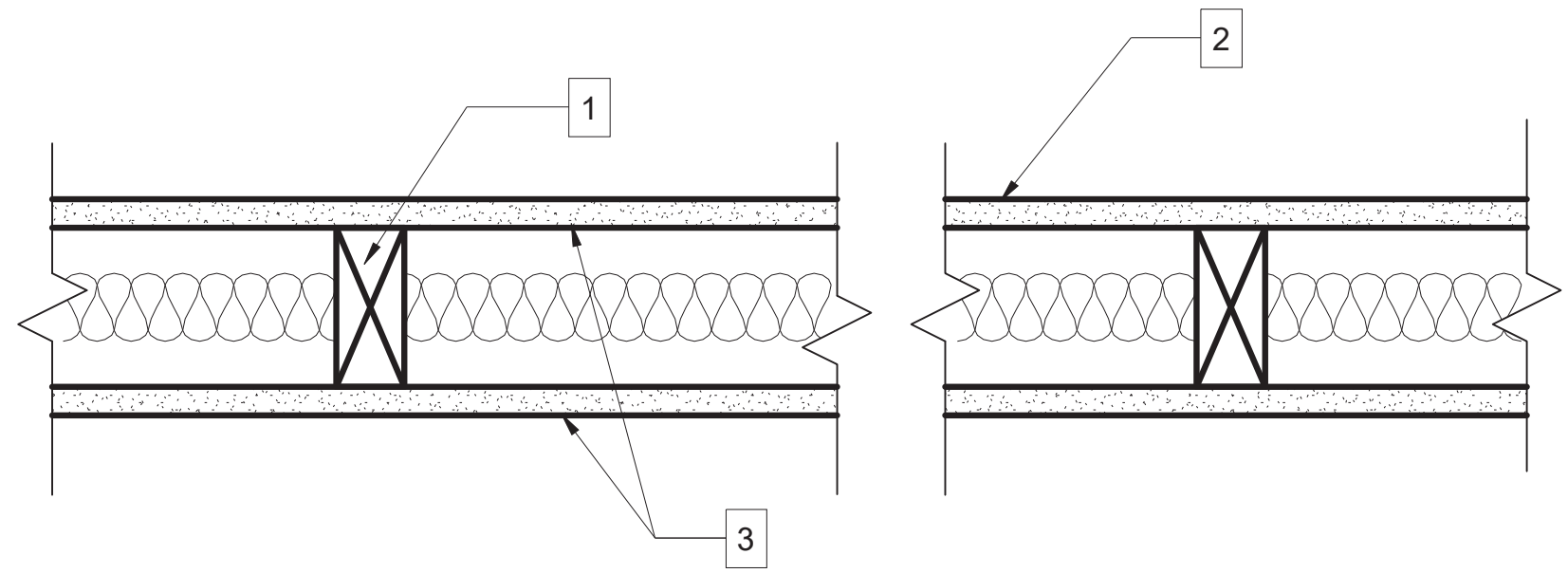
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1/8" = 1'-0"



3 SECTION 03
1/8" = 1'-0"



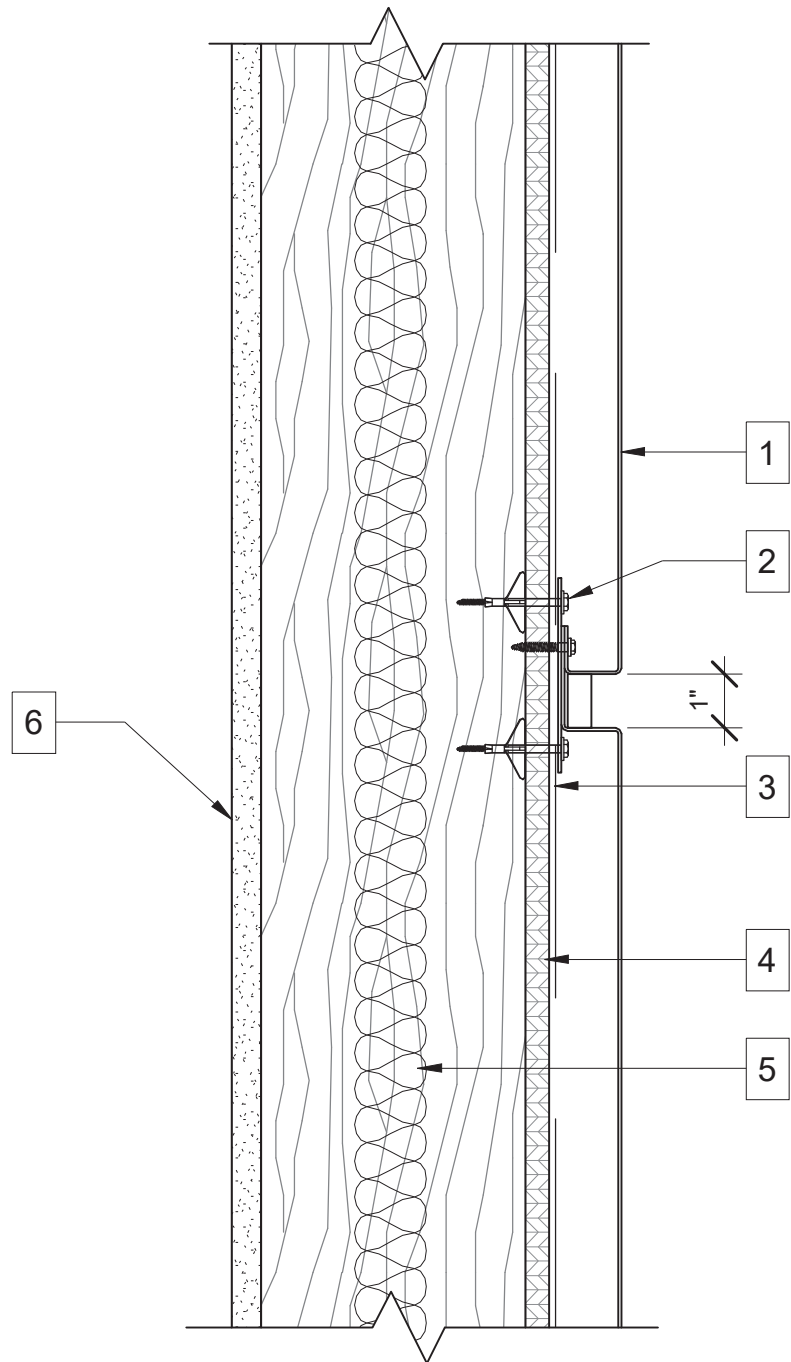
4 SECTION 04
1/8" = 1'-0"



- GENERAL NOTES
- KEY NOTES
1. 2x WALL FRAMING PER PLANS

2. 5/8" TYPE 'X' GYP. BD. BOTH SIDES

3. (1) LAYER 5/8" TYPE 'X' GYP. BD. APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2x WOOD FRAMING W/ 6d COATED NAILS 17/8" LONG, .0915" SHANK, 1/4" HEADS, @ 7" O.C. JOINTS STAGGERED 24" ON OPPOSITE SIDES (LOAD BEARING)



- GENERAL NOTES
- KEY NOTES
1. METAL PANEL

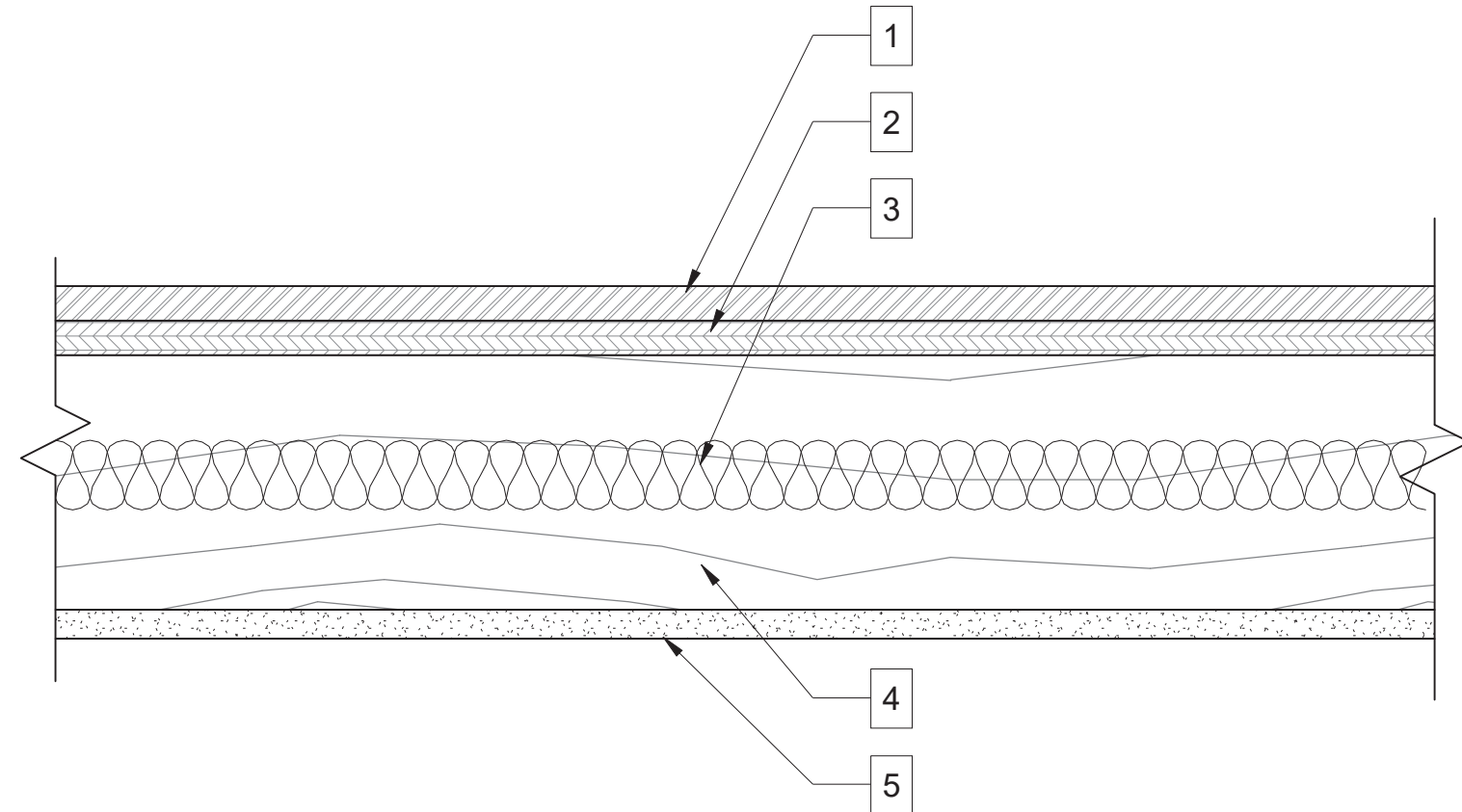
2. S.S. FASTENER W/ NEOPRENE WASHER

3. TYVEK WEATHER RESISTIVE BARRIER

4. FRAMING/SHEATHING PER STRUCTURAL

5. R-21 OR BETTER INSULATION

6. 5/8" GYP. BD.



- GENERAL NOTES
- KEY NOTES
1. FLOOR FINISH MATERIAL PER PLANS

2. FLOOR FINISH SUBSTRATE PER PLANS

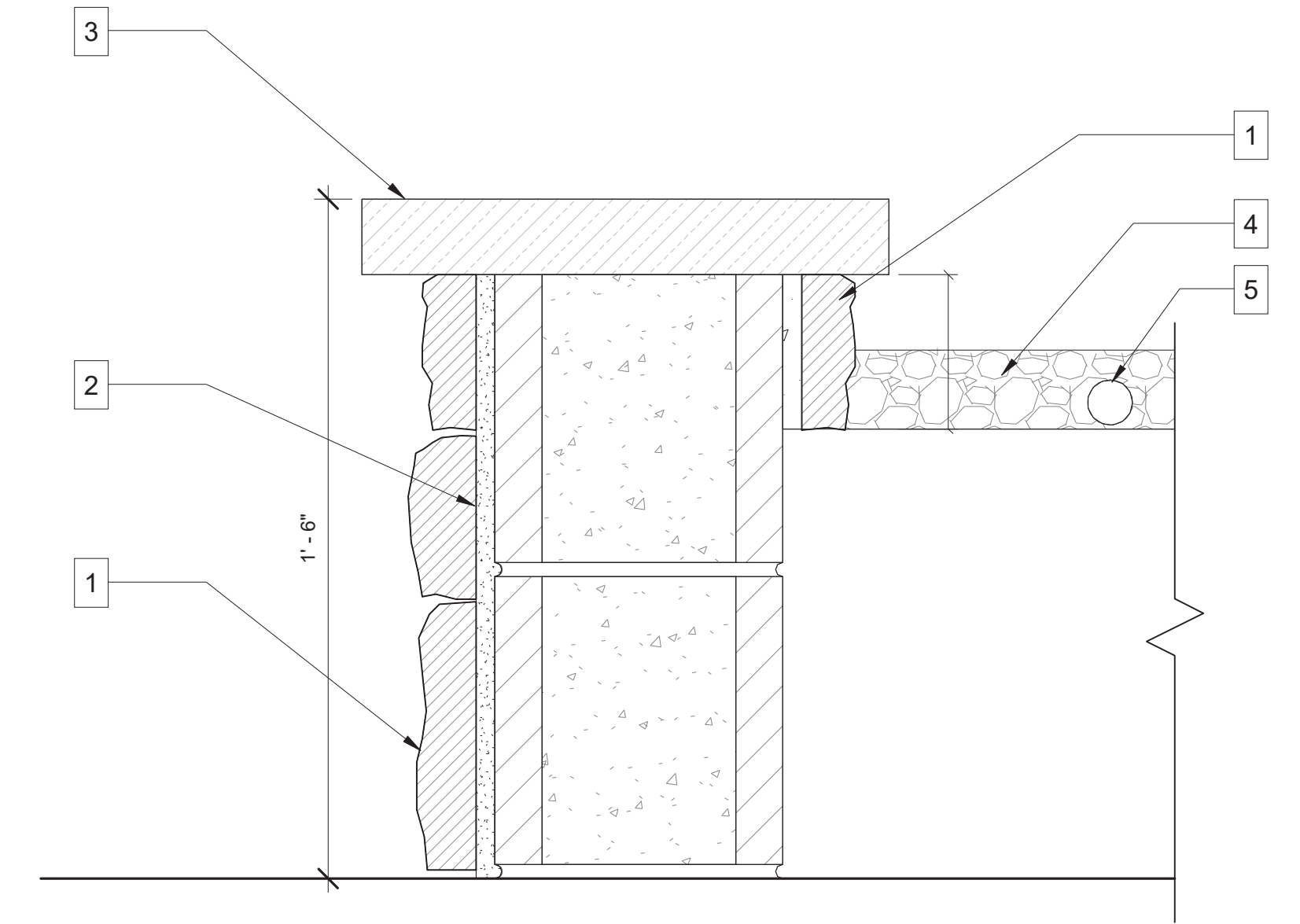
3. R-21 OR BETTER INSULATION

4. FRAMING PER STRUCTURAL

5. 5/8" TYPE 'X' GYP. BD. FIRE SEPARATION

01

1 HOUR RATED FIRE WALL



- GENERAL NOTES
- KEY NOTES
1. HOUSE STONE PER PLAN

2. CMU WALL

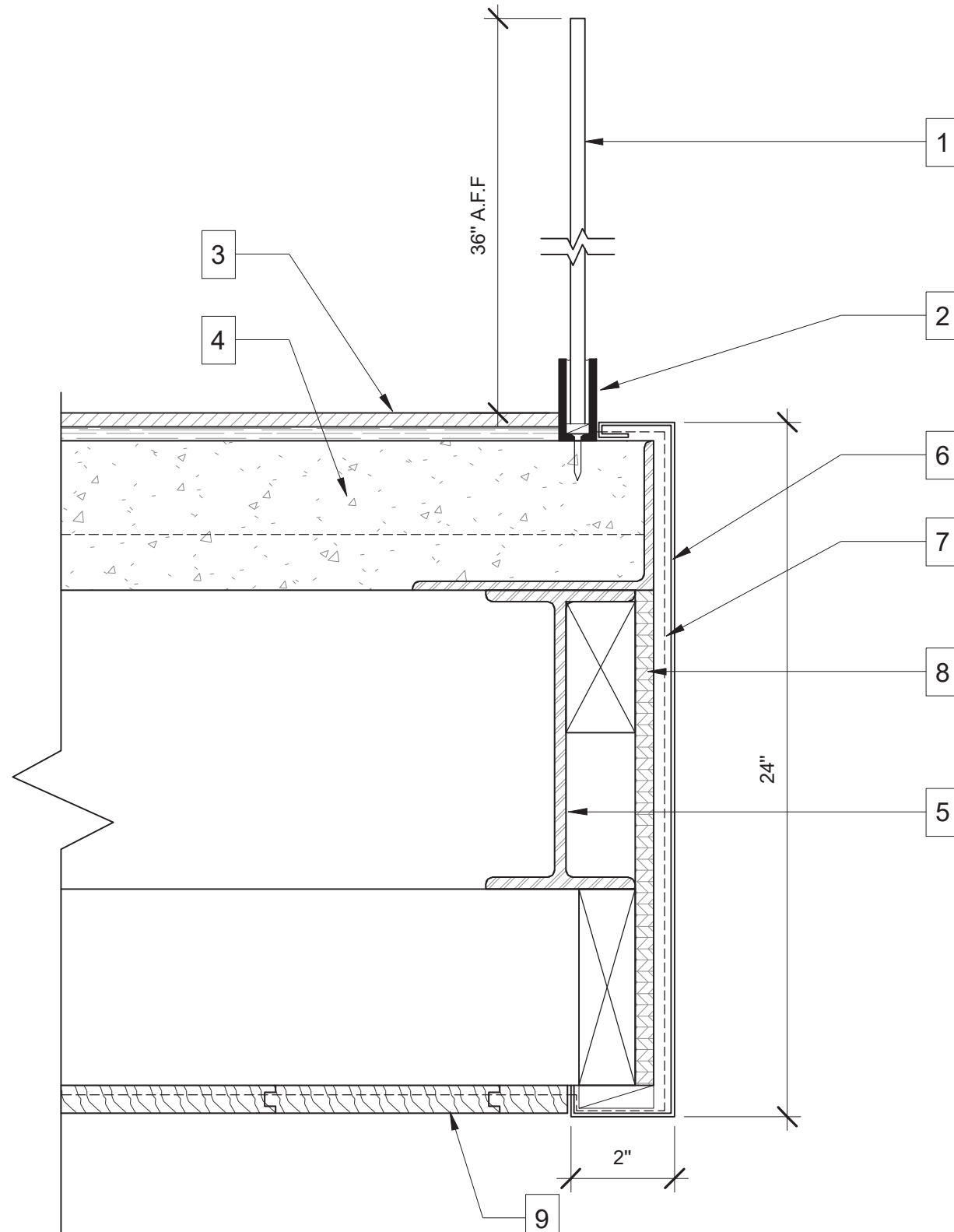
3. 2" THICK SLAB CAP

4. 2" THICK BRONZE GLASS

5. FIRE APPARATUS

02

METAL PANEL WALL ASSEMBLY



- GENERAL NOTES
- KEY NOTES
1. 3/8" TEMPERED CLEAR GLASS RAILING

2. DARK BRONZE ALUM. SHOE

3. TILE ON MORTAR BED

4. CONC. DECK-SEE STRUCTURAL

5. STEEL BEAM-SEE STRUCTURAL

6. MATTE BRONZE METAL

7. WEATHER RESISTIVE BARRIER

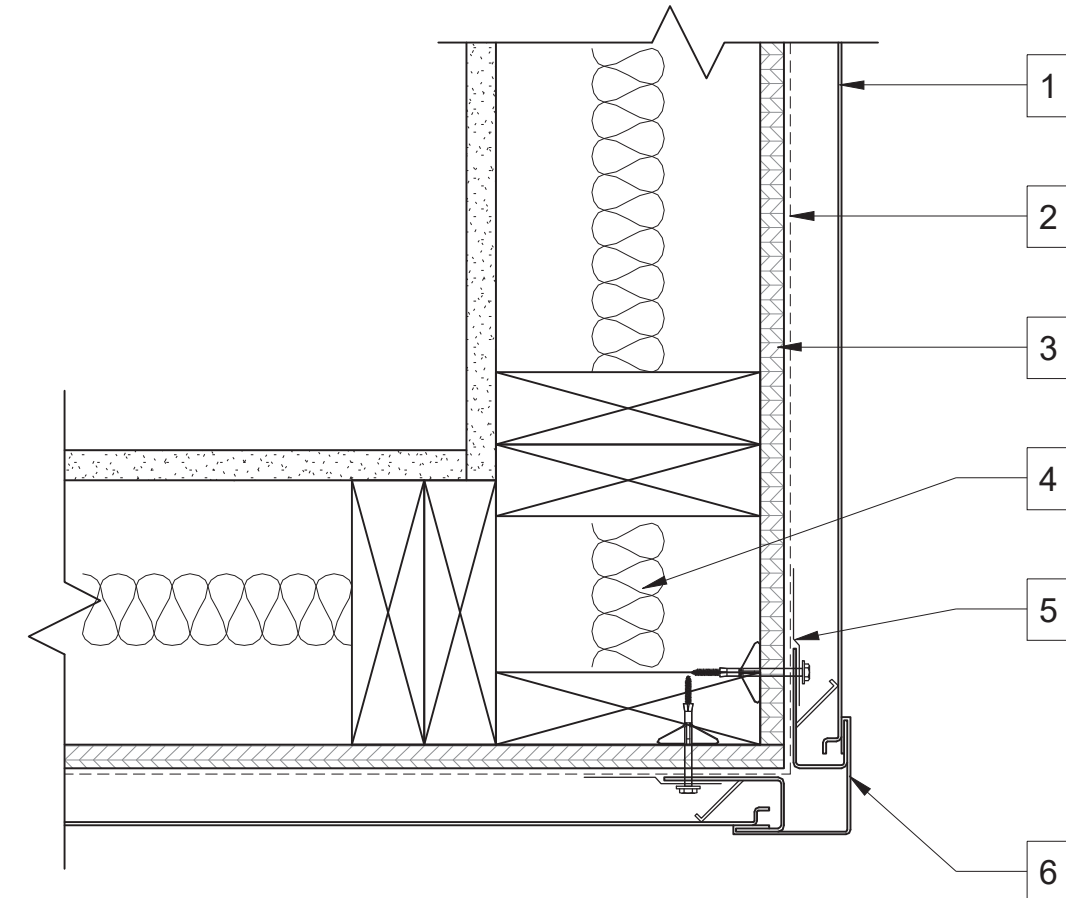
8. FRAMING & SHEATHING PER STRUCTURAL

9. T&G CEILING PER PLAN

10. BLOCKING AS NEEDED

03

GARAGE FIRE SEPARATION



- GENERAL NOTES
- KEY NOTES
1. OCM METAL PANEL ASSEMBLY PER PLANS

2. WEATHER RESISTIVE BARRIER

3. FRAMING/SHEATHING PER STRUCTURAL

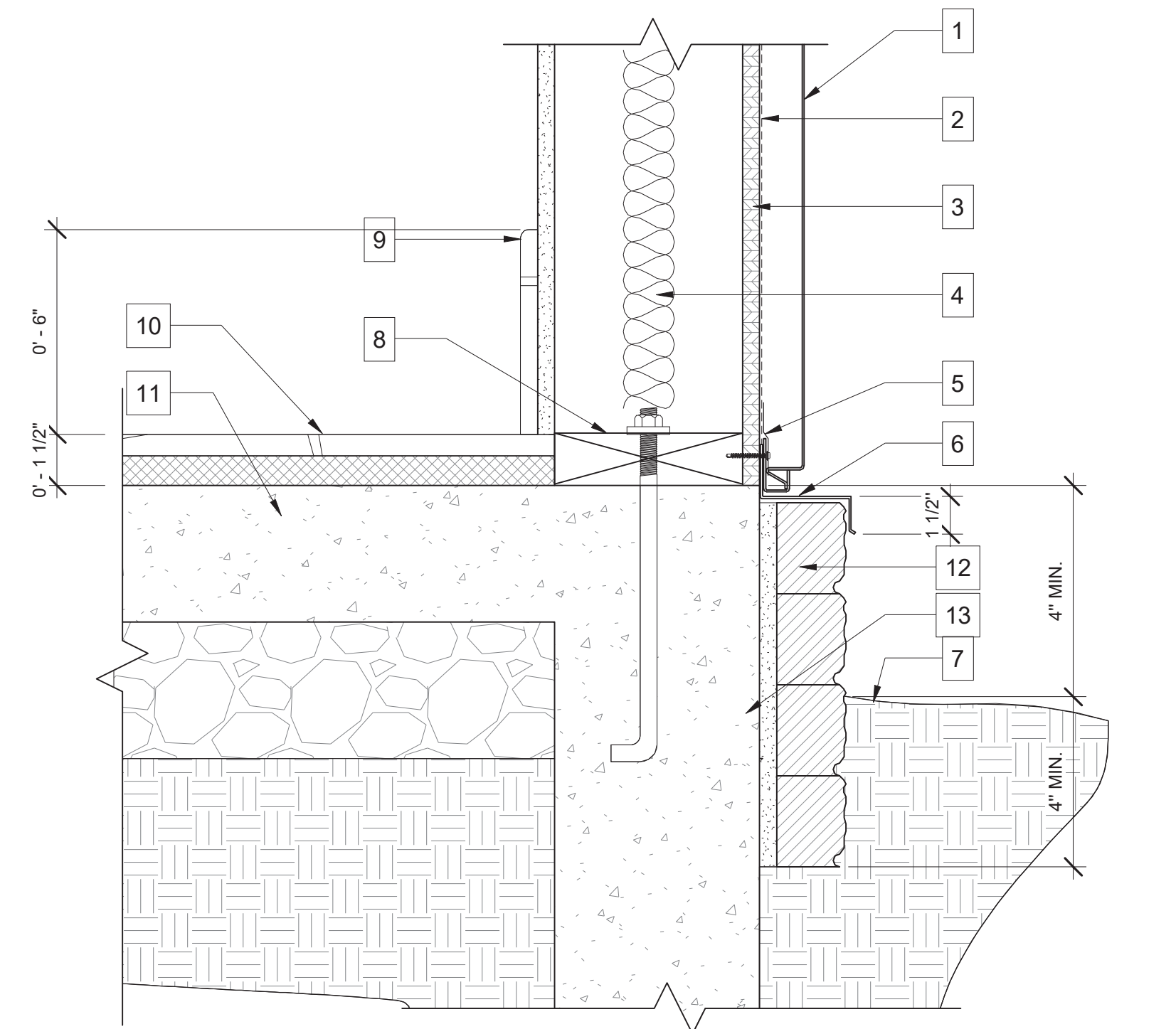
4. R-19 OR BETTER INSULATION

5. TAPE SEAL

6. OCM METAL OUTSIDE CORNER FLASHING

04

FIRE FEATURE



- GENERAL NOTES
- KEY NOTES
1. METAL PANEL ASSEMBLY PER PLANS TO STEP MAX 4" ABOVE FINISHED GRADE AS SITE SLOPES.

2. GRACE ULTRA WEATHER RESISTIVE BARRIER

3. FRAMING & SHEATHING PER STRUCTURAL

4. R-21 OR BETTER INSULATION

5. TAPE SEAL

6. FLAT METAL FLASHING.

7. FINISHED GRADE PER LANDSCAPING. SLOPE AWAY FROM BUILDING 2%

8. PRESSURE TREATED SILL PLATE

9. WALL BASE BOARD WHERE OCCURS

10. FLOORING AS OCCURS

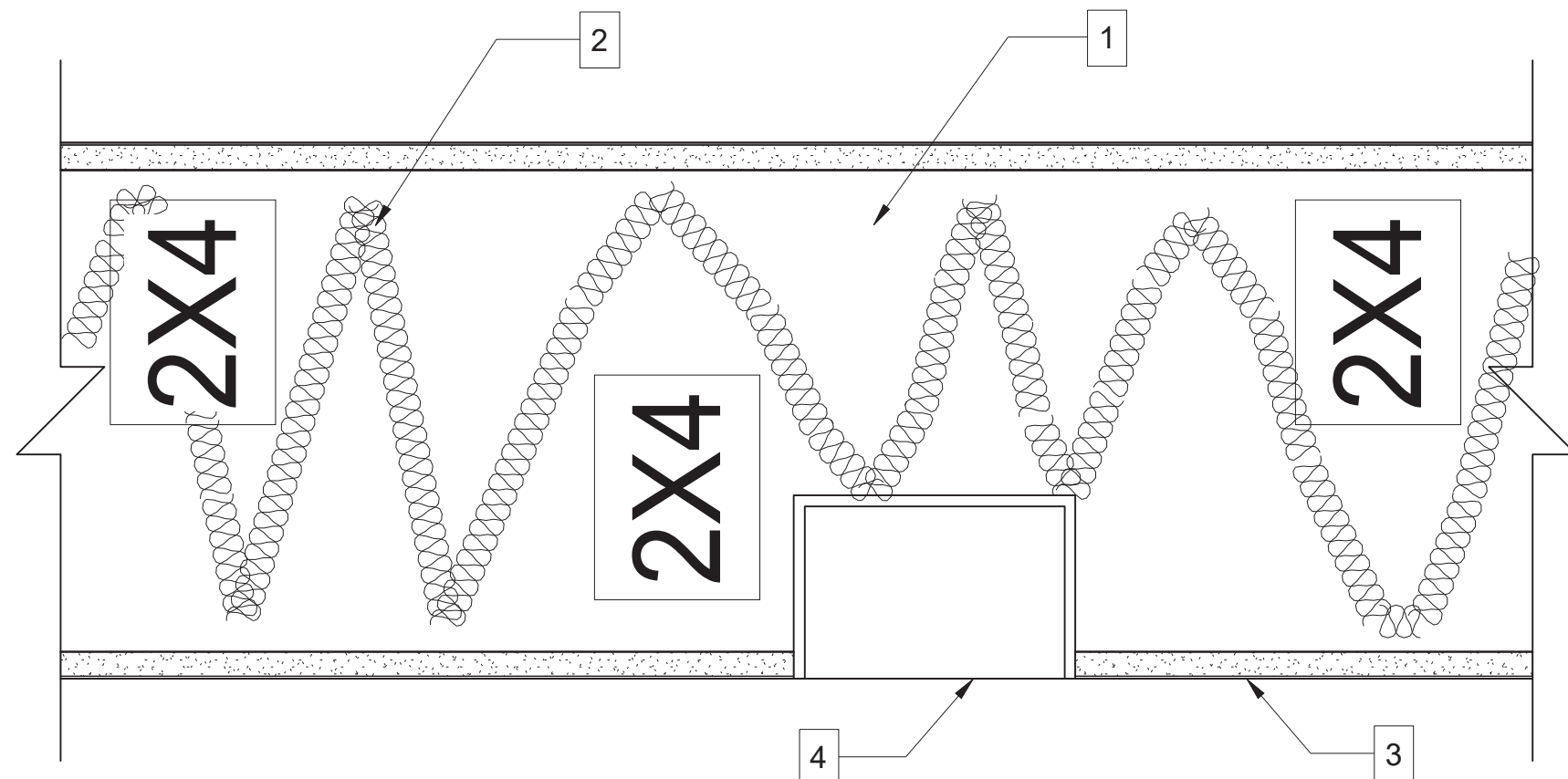
11. CONCRETE SLAB PER STRUCTURAL

12. STONE VENEER PER PLAN

13. CONCRETE STEM AND FOUNDATION PER STRUCTURAL- CMU @ CONTRACTORS OPTION.

05

RAILING @ PATIO EDGE



- GENERAL NOTES
- KEY NOTES
- SOUND WALLS SHALL BE PROVIDED PER THIS DETAIL AT:
1. BATHROOMS.
2. MECHANICAL ROOMS.
3. LAUNDRY.
4. GARAGES.
5. PUBLIC AREAS ADJACENT TO BEDROOMS.

1. 2X6 PLATTED WALL WITH 2X4 STAGGERED STUDS.

2. WRAP BATT INSULATION BETWEEN STAGGERED STUDS.

3. 1/2" SOUND BOARD.

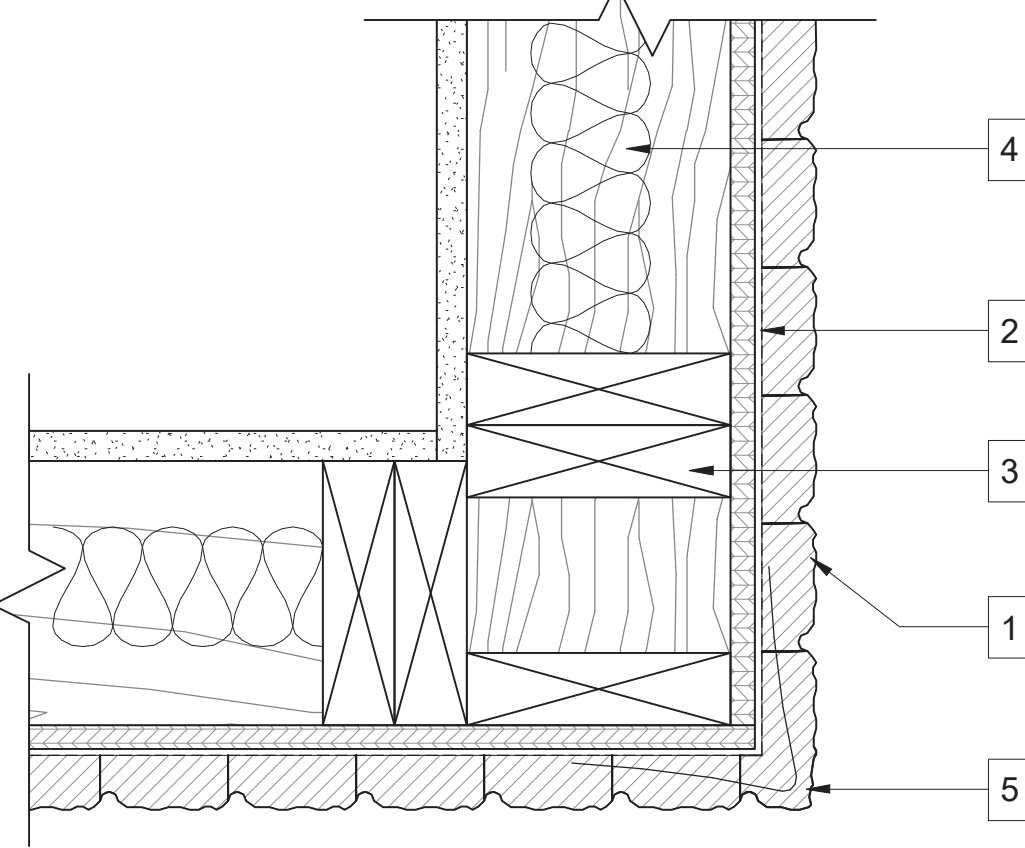
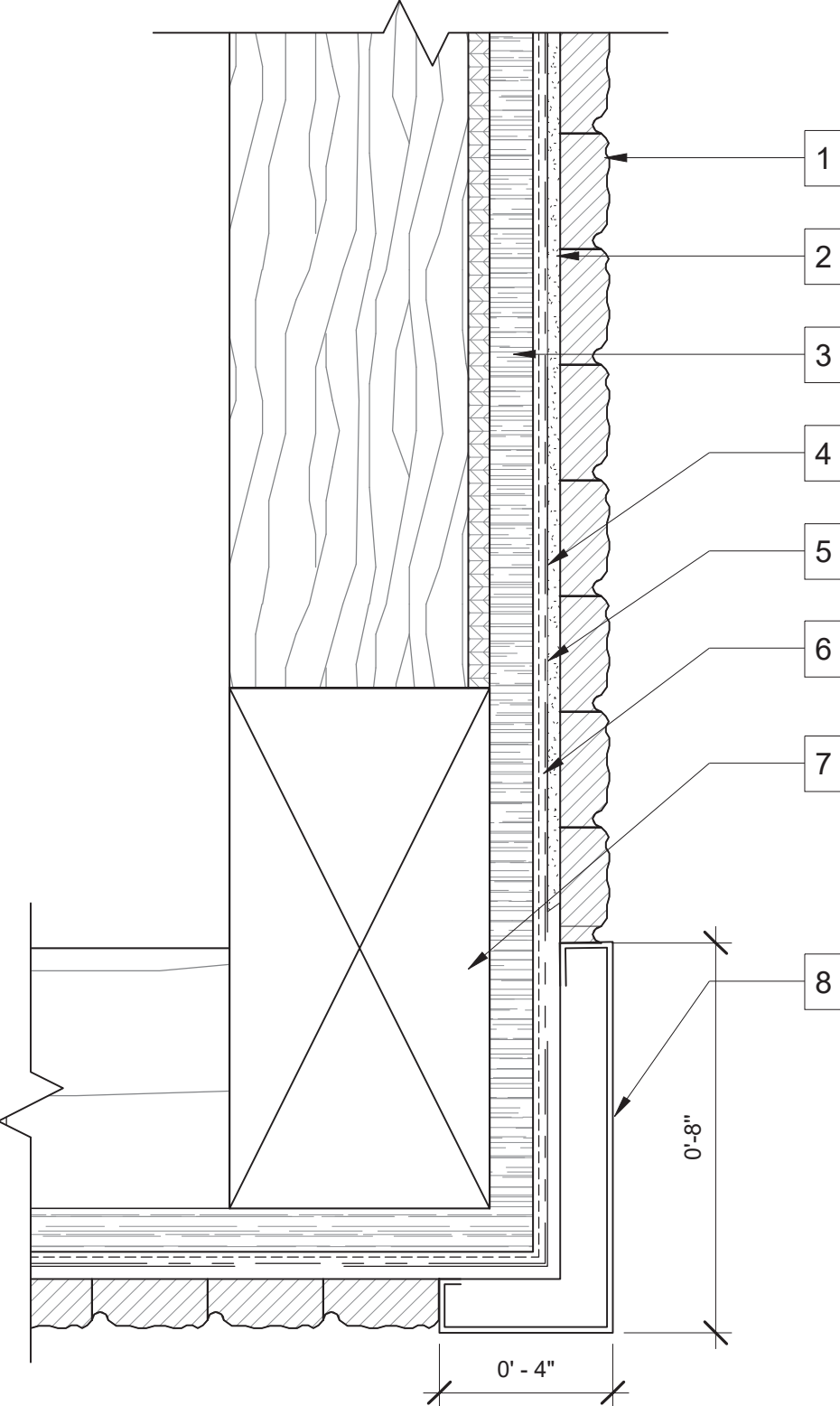
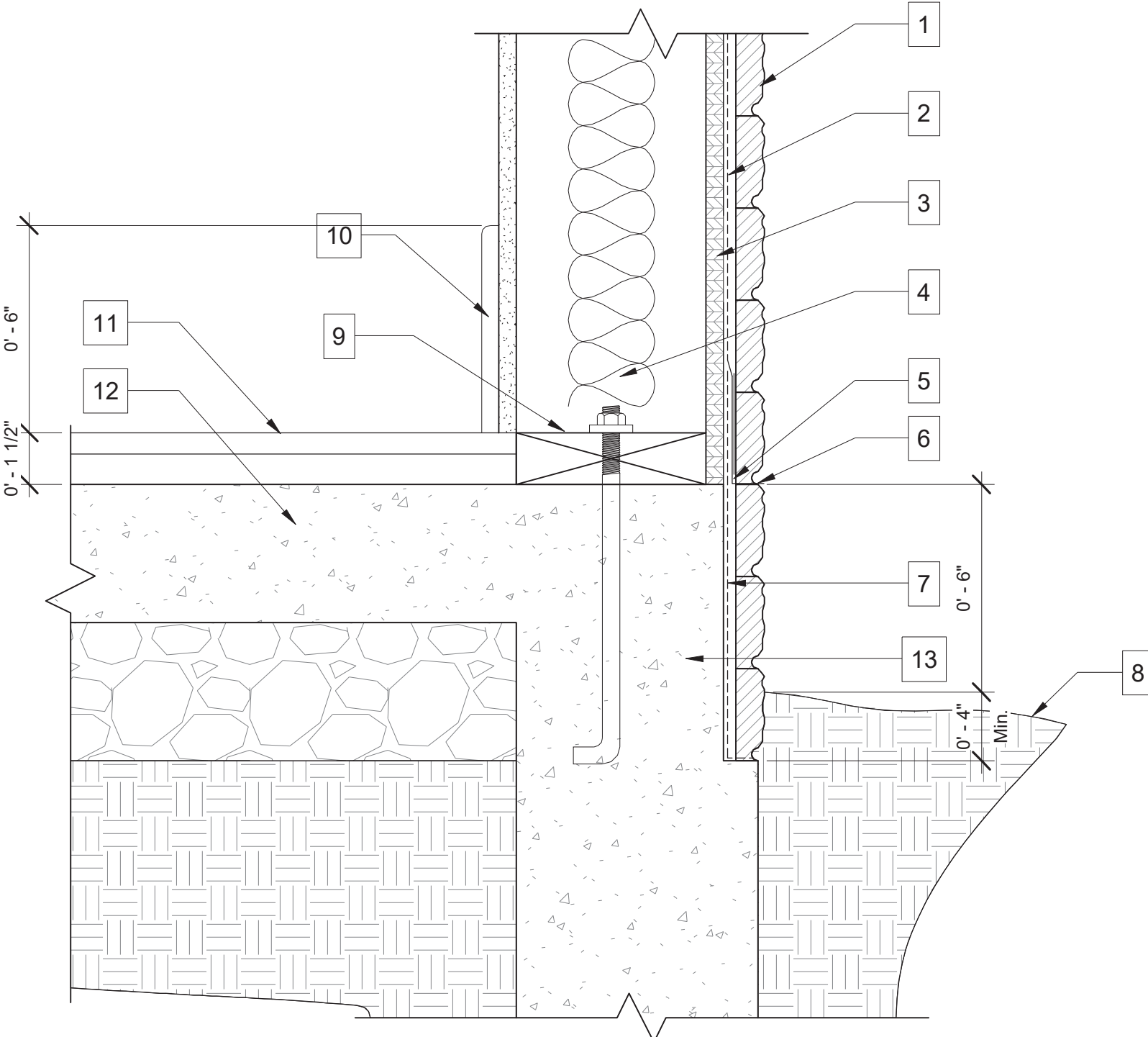
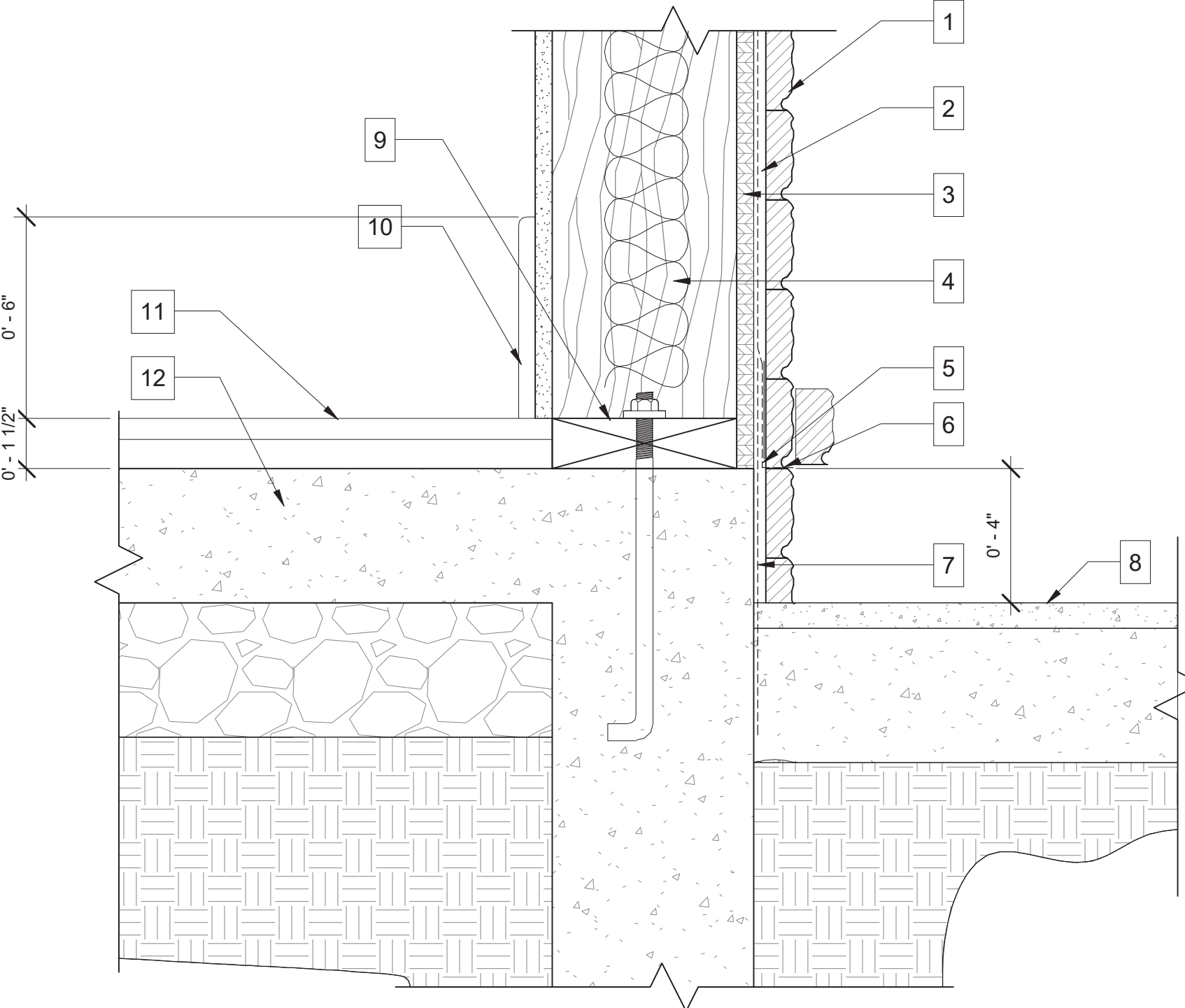
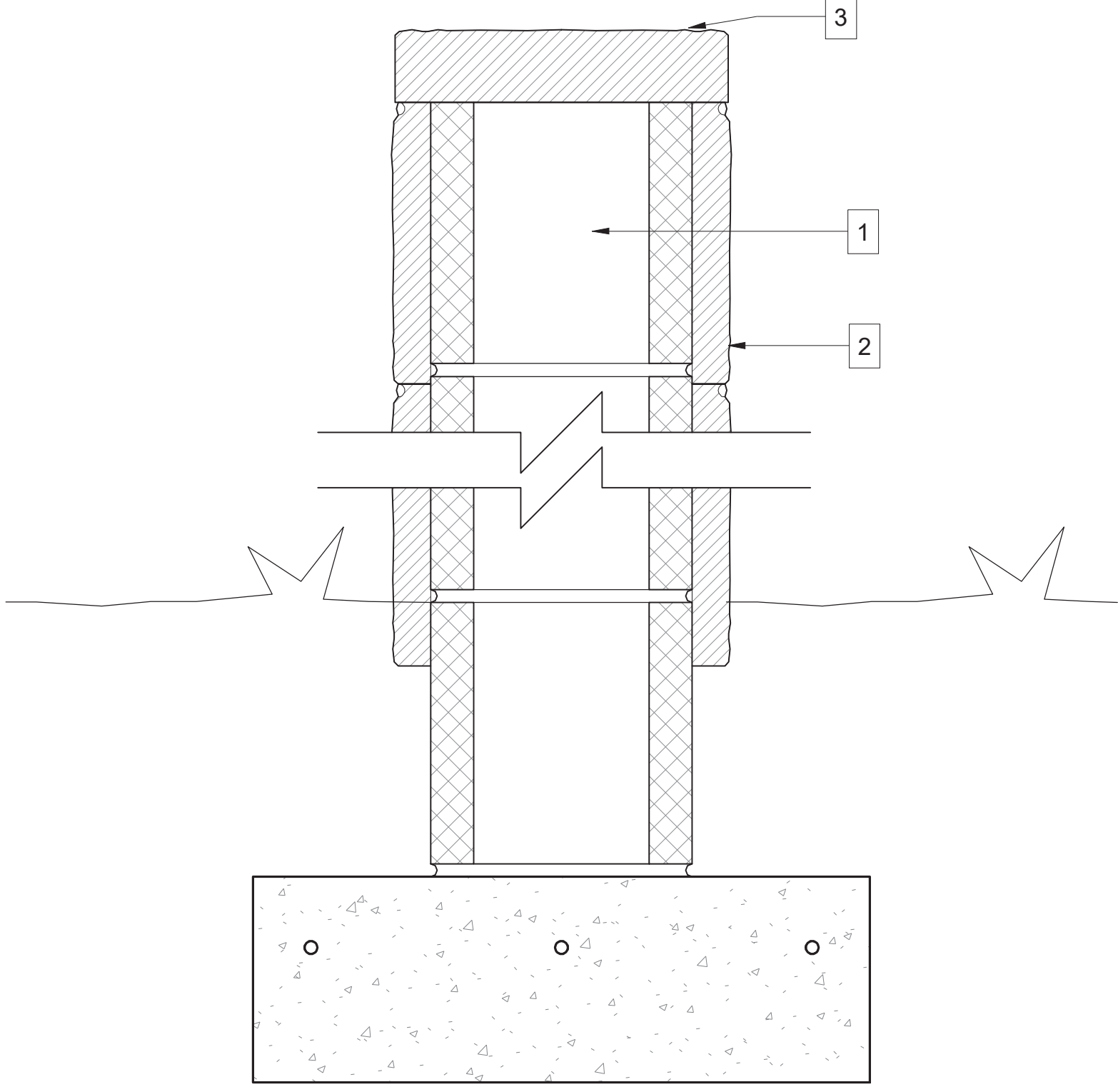
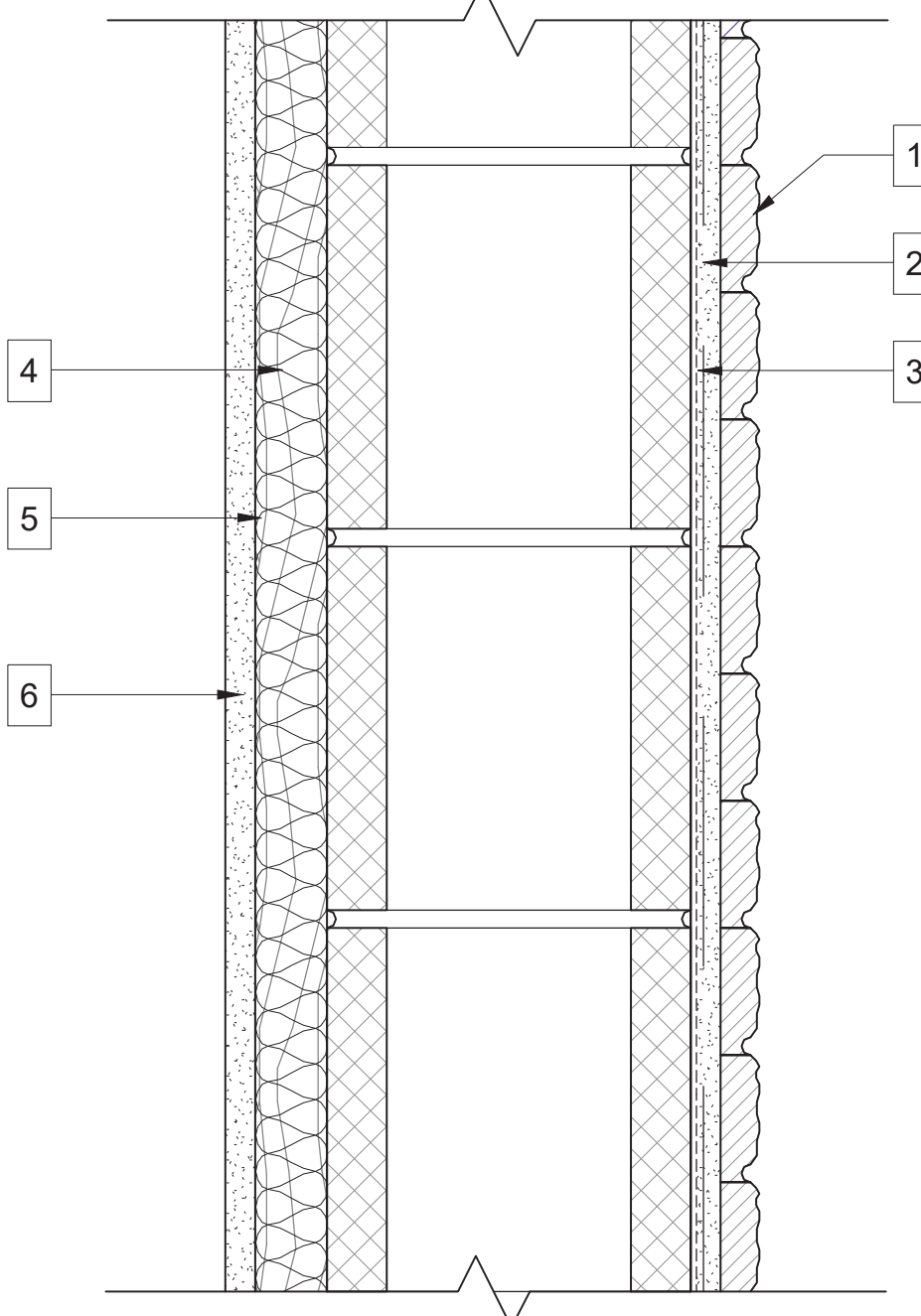
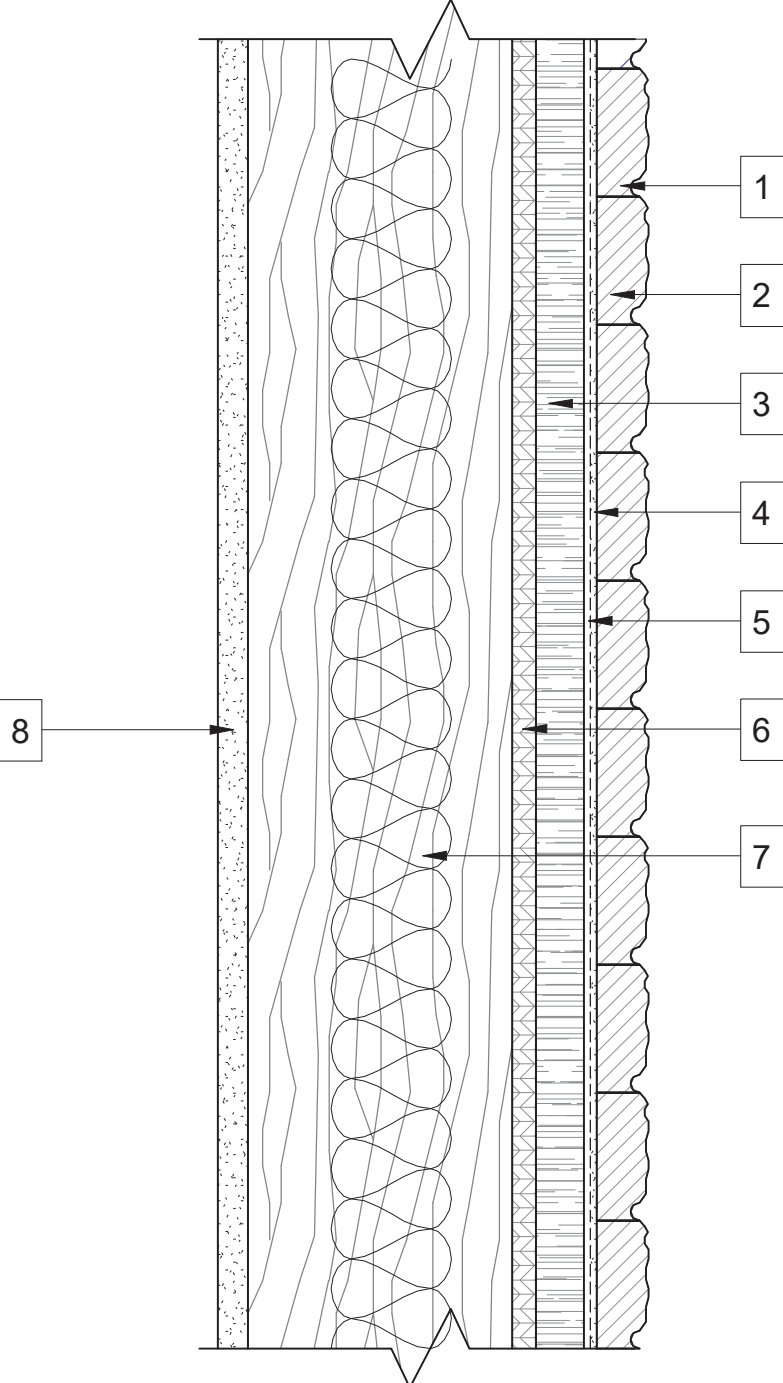
4. FOAM FILL ANY ELEC. OR MECH. PENETRATIONS..

06

METAL PANEL OUTSIDE CORNER

Scale : 3" = 1'-0"

WALL DETAILS

	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> STONE VENEER WALL ASSEMBLY PER PLANS TYVEK WEATHER RESISTIVE BARRIER FRAMING & SHEATHING PER PLANS AND STRUCTURAL R-21 OR BETTER INSULATION EXPANDED 1/2" RADIUS CORNER BEAD 		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> STONE VENEER. SEE SPECIFICATIONS MORTAR BED 2X WALL PER PLAN. VERSA BOND SCRATCH COAT W/ HORIZONTAL RAKE SELF-FURRING GALVANIZED METAL LATH GRACE ULTRA BITUTHENE WEATHER RESISTIVE BARRIER FRAMING & SHEATHING PER STRUCTURAL 8" TALL METAL PANEL CORNER LINTEL TO EXTEND 4" PAST OPENING EACH WAY. 		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> STONE WALL ASSEMBLY PER PLANS GRACE ULTRA WEATHER RESISTIVE BARRIER FRAMING & SHEATHING PER STRUCTURAL R-21 OR BETTER INSULATION WEEP SCREED WEEP HOLE SELF-ADHEARED FLASHING FINISHED GRADE PER LANDSCAPING. SLOPE AWAY FROM BUILDING 2% PRESSURE TREATED SILL PLATE WALL BASE BOARD WHERE OCCURS FLOORING AS OCCURS CONCRETE SLAB PER STRUCTURAL CONCRETE STEM AND FOOTING PER STRUCTURAL- CMU @ CONTRACTORS OPTION
<div>01</div> <div>STONE OUTSIDE CORNER</div> 	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> STONE WALL ASSEMBLY PER PLANS GRACE ULTRA WEATHER RESISTIVE BARRIER FRAMING & SHEATHING PER STRUCTURAL R-21 OR BETTER INSULATION WEEP SCREED WEEP HOLE SELF-ADHERED FLASHING HARDSCAPE PER PLANS. SLOPE AWAY FROM BUILDING 2% PRESSURE TREATED SILL PLATE WALL BASE BOARD WHERE OCCURS FLOORING AS OCCURS CONCRETE SLAB PER STRUCTURAL CONCRETE STEM @ FOOTING PER STRUCTURAL-CMU @ CONTRACTORS OPTION. 	<div>02</div> <div>STONE SILL @OPENING</div> 	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> ALL. SITE WALL HEIGHTS SHALL BE VERIFIED BY ARCHITECT ALL STTONE VENEER SHALL MEET MAG STANDARDS. ALL WALLS WITH EXPOSED MASONRY ENDS SHALL BE 12" BLOCK FOR THICKER APPEARANCE. <ol style="list-style-type: none"> MASONRY SITE WALL PER PLAN. STONE VENEER PER PLAN. 2" THICK STONE CAP TO MATCH ALL EXTERIOR STONE. 	<div>03</div> <div>STONE AT GRADE</div> 	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> STONE VENEER PER PLAN. VERSA BOND SCRATCH COAT. THOROSEAL WATERPROOFING ON MASONRY. SPRAY FOAM INSULATION. 2X4 FURRING NAILED TO BLOCK . 5/8" GYP. BD.
<div>04</div> <div>STONE AT HARDSCAPE</div> 	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> SMOOTH HAND-TROWELED INTEGRAL COLOR SYNTHETIC FINISH. SEE ELEVATIONS FOR SPECIFICATIONS 1" WESTERN ONE COAT STONE VENEER 1" RIGID FOAM SELF-FURRING GALVANIZED METAL LATH TYVEK WEATHER RESISTIVE BARRIER FRAMING & SHEATHING PER STRUCTURAL R-21 OR BETTER INSULATION 5/8" GYP. BD. 	<div>05</div> <div>STONE SITE WALL</div>	<div>06</div> <div>MASONRY WALL ASSEMBLY</div>	<div>07</div> <div>STONE WALL ASSEMBLY</div>	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> STONE VENEER PER PLAN. VERSA BOND SCRATCH COAT. THOROSEAL WATERPROOFING ON MASONRY. SPRAY FOAM INSULATION. 2X4 FURRING NAILED TO BLOCK . 5/8" GYP. BD.

Scale : 3" = 1'-0"

WALL DETAILS

THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

THE BROWN RESIDENCE

ADAMS RANCH LOT 25

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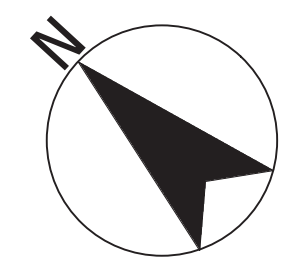


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SHEET NO.

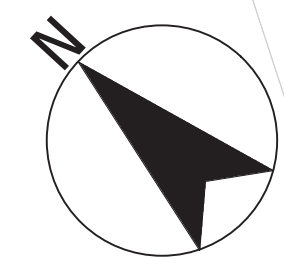
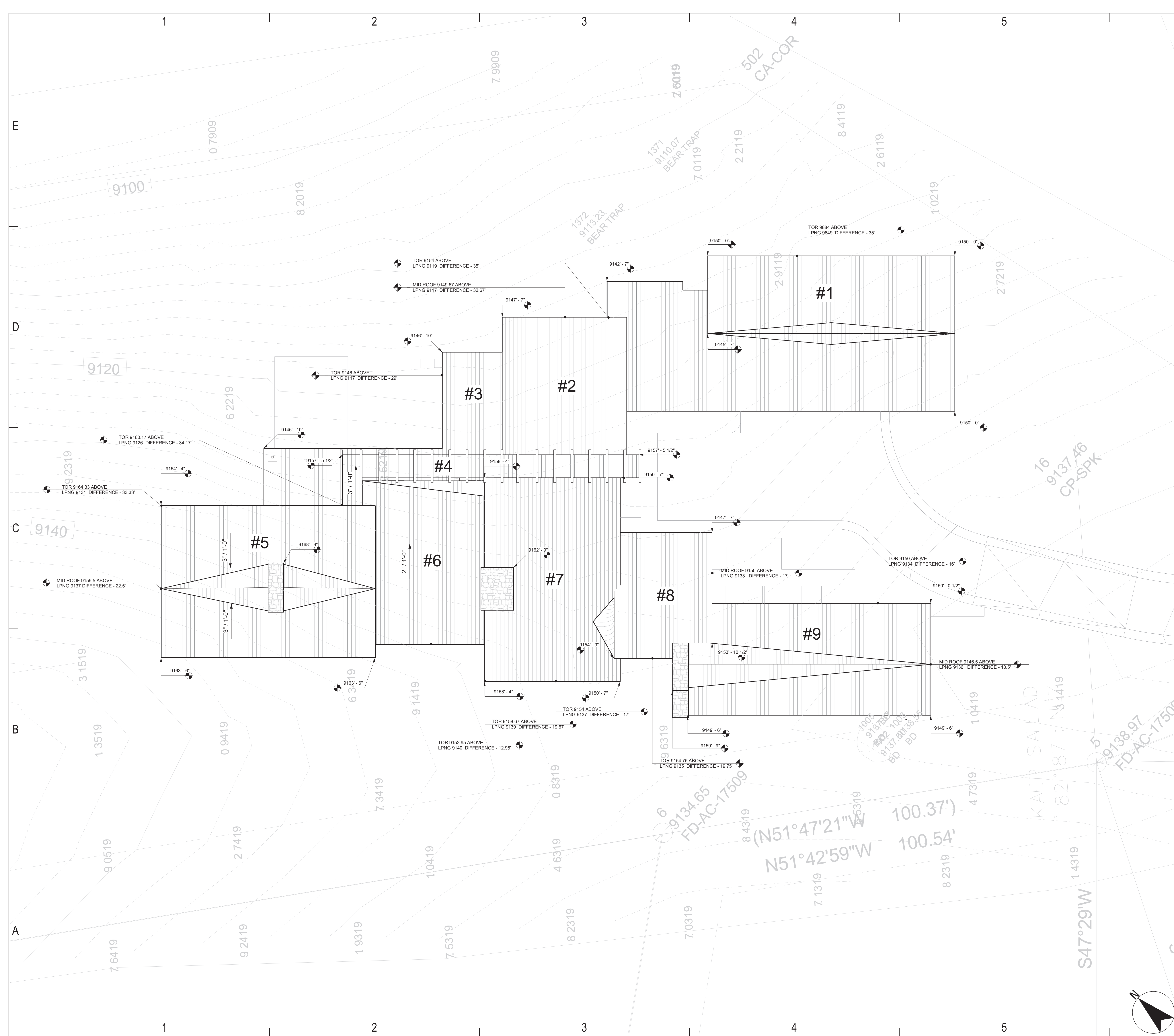
A-5.4



ROOF PLAN NOTES:

1. METAL BATTEN ROOF INSTALLED PER-CHIMNEY ASSEMBLY W/ APPROVED SPARK ARRESTOR. MUST COMPLY WITH ALL REQUIREMENTS UNDER 2015 IRC R1003.9.1. INSTALL PER MFR SPECS. SEE ARCH. DETAILS FOR CONCEALMENT DESIGN.
3. THE CHIMNEY SHALL TERMINATE A MINIMUM OF 2'-0" ABOVE ANY PART OF THE BUILDING WITHIN A 10'-0" RADIUS.
5. 5/8" CDX PLYWOOD CRICKET WITH MIN. 26 GA SHEET METAL FLASHING WHERE REQUIRED. PROVIDE MINIMUM 1/4" PER FOOT SLOPE ON ALL CRICKETS. MINIMUM SLOPE TO BE 1/4" PER FOOT WITH VALLEY FLASHING AT TRANSITIONS TO MAIN ROOF.
5. A SOLAR-READY ZONE OF NOT LESS THAN 300 SQUARE FEET IS REQUIRED ON THE ROOF EXCLUSIVE OF MANDATORY ACCESS AND SET BACK AREAS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. THE ZONE SHALL BE FREE FROM OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND ROOF-MOUNTED EQUIPMENT
6. ALL MECHANICAL ROOF PENETRATIONS SHALL BE LOCATED TO MECHANICAL ROOF WELLS. NO ROOF PENETRATIONS OF ANY TYPE ARE ALLOWED IN A NON-PARAPETTED FLAT ROOF. CONTRACTOR SHALL VERIFY COMPLIANCE WITH ALL OBSTRUCTION.
7. THE TOP AND BOTTOM OF ANY FASCIA MUST REMAIN LEVEL AND HORIZONTAL. THE FASCIA MAY NOT SLOPE, INCLUDING ON ANY EXPOSED SIDES. CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION.
8. ROOF DRAINS MUST OUTLET NO HIGHER THAN 4" ABOVE FINISHED GRADE.

<p style="text-align: center;"> THE  COMPANIES </p> <p style="text-align: center; font-weight: bold;">ARCHITECTURE CONSTRUCTION AND DEVELOPMENT HOMES AND LAND</p>	<p> THE BROWN RESIDENCE ADAMS RANCH LOT 25 --- LAWSON POINT ROAD MOUNTAIN VILLAGE, COLORADO </p>
	
<p> BOX 2006 CAREFREE, AZ 85377 (480) 225-7282 JUSTIN@JK.STUDIO </p> <p> 05-07-2022 04:02:53 PM </p>	
<p style="font-weight: bold; font-size: 1.2em;">SHEET NO.</p> <p style="font-size: 2em; font-weight: bold;">A-6.1</p>	



MAX. ROOF HEIGHT CALCULATIONS				
#	ROOF ELEVATION	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	CAL. HEIGHT
1	9150	9117		33'
2	9154	9119		35'
3	9146	9117		29'
4	9160.17	9126		34.17'
5	9164.33	9131		33.33'
6	9152.96	9140		12.96'
7	9158.67	9139		19.67'
8	9154.5	9135		19.5'
9	9150	9134		16'

MAX. AVERAGE HEIGHT CALCULATIONS				
#	ROOF ELEVATION	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	CAL. HEIGHT
1	9145.7	9121		24.7'
2	9149.67	9119		30.67'
3	9146	9117		29'
4	9159	9126		33'
5	9159.5	9137		22.5'
6	9151	9136		15'
7	9154	9137		17'
8	9150	9133		17'
9	9146	9136		10'

ALLOWABLE AVERAGE				22.096'
COMPLIANT BY				7.903'

Scale : 1/8" = 1'-0"

ROOF ANALYSIS

**THE JK COMPANIES**

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

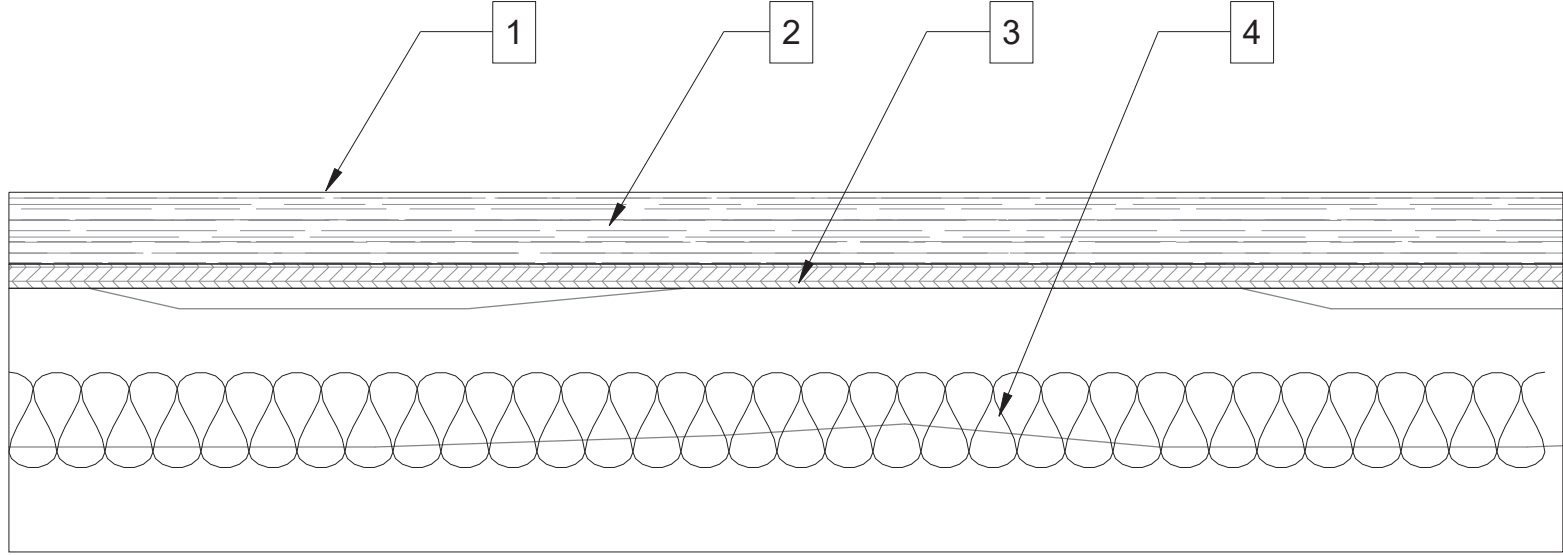
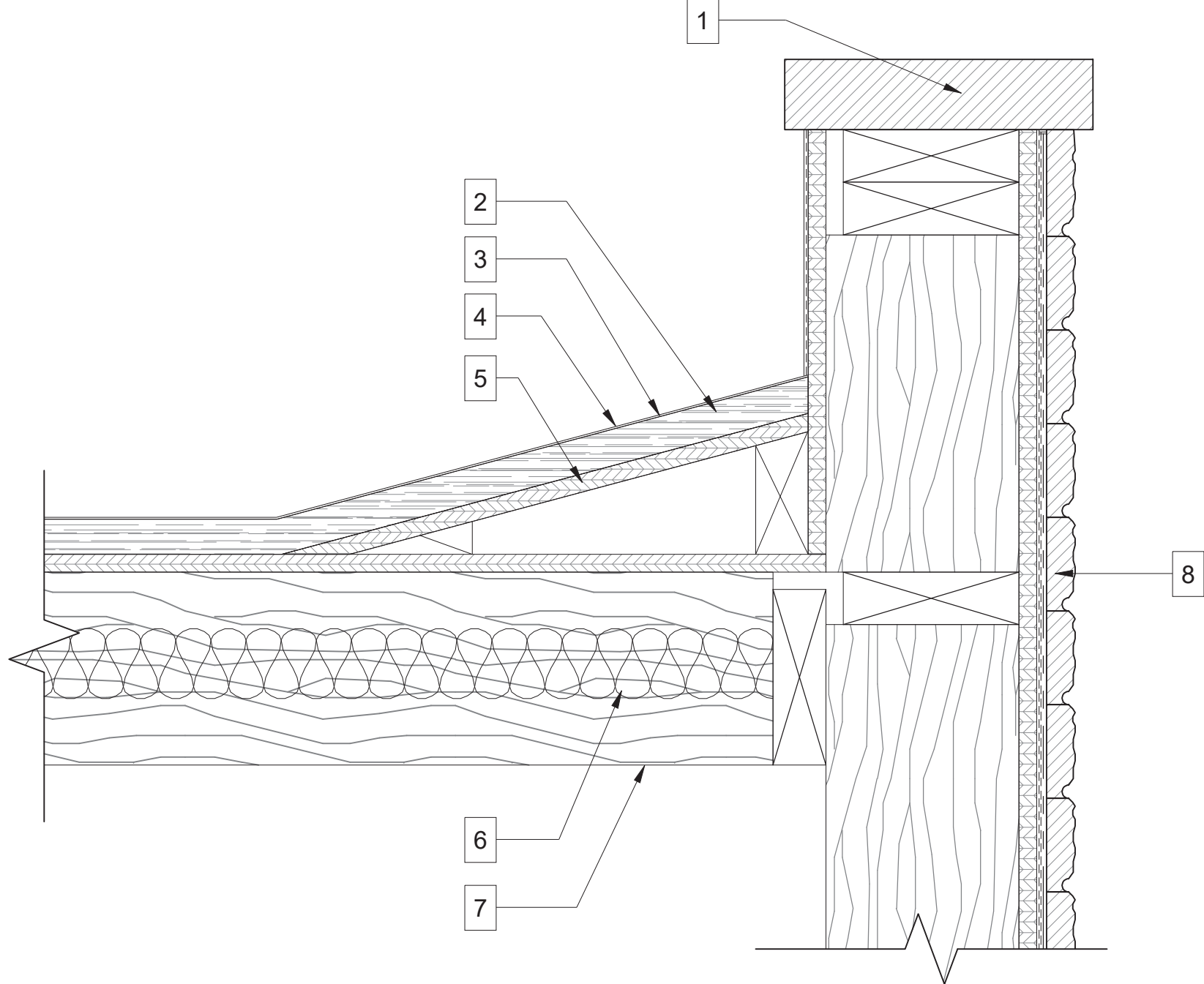
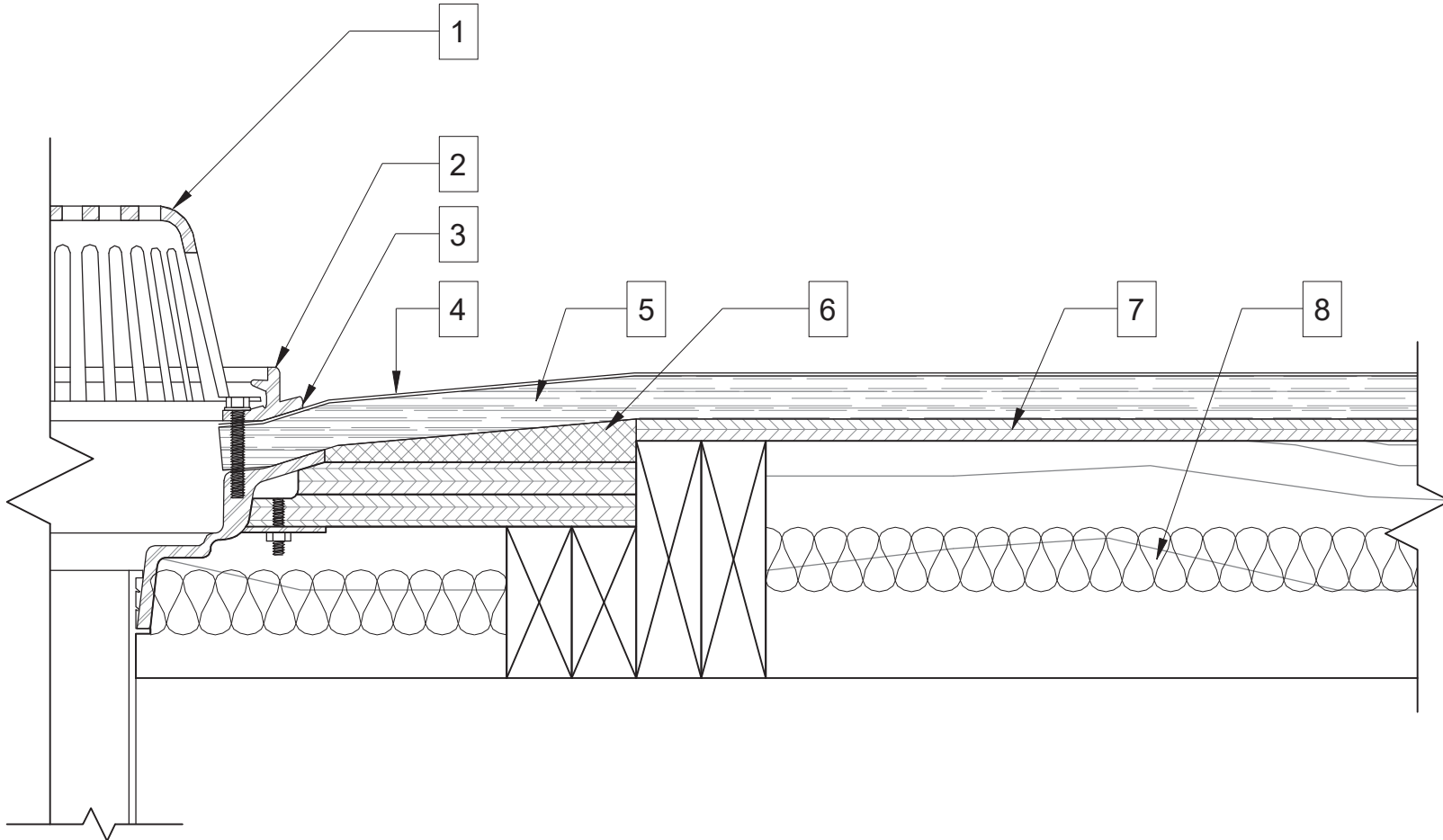
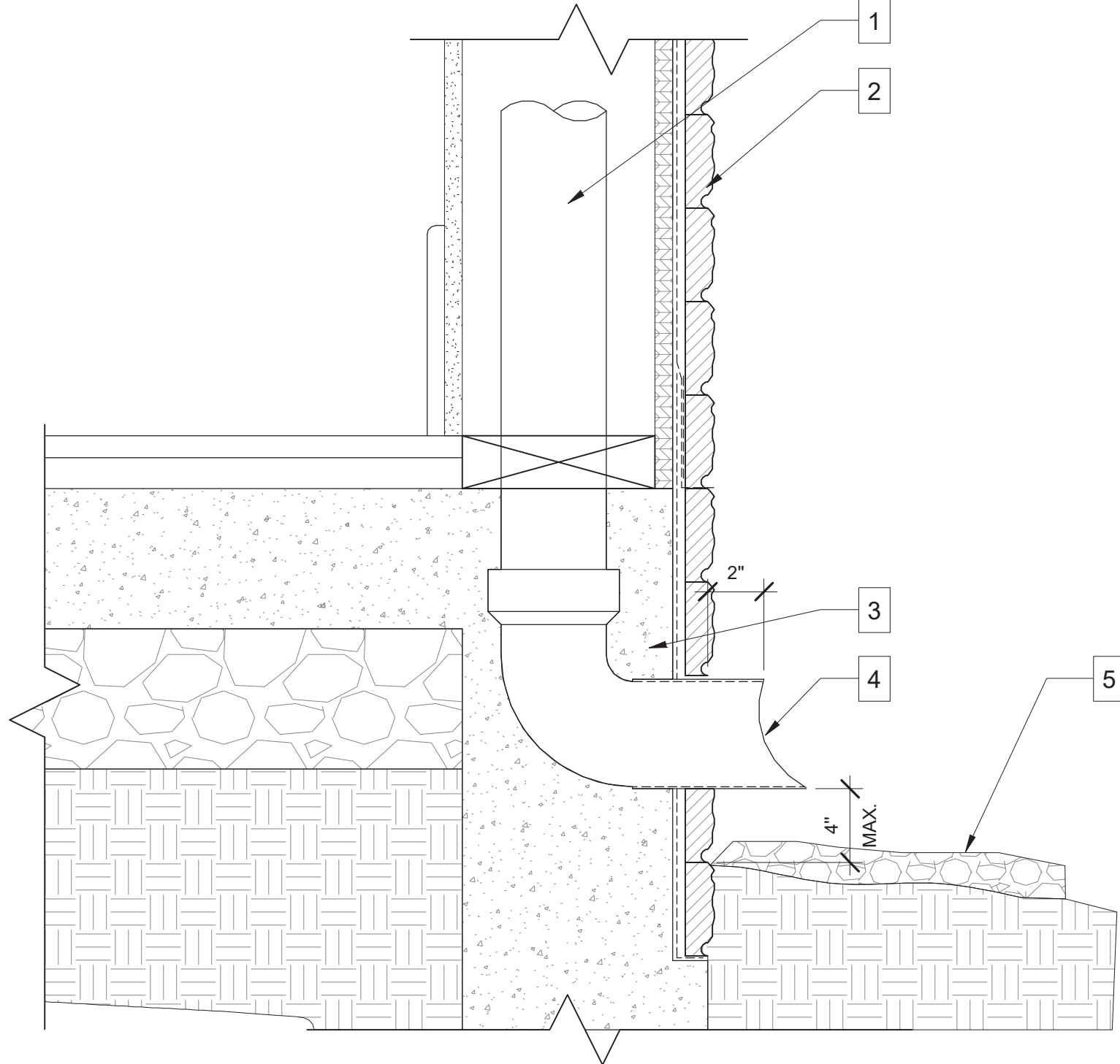
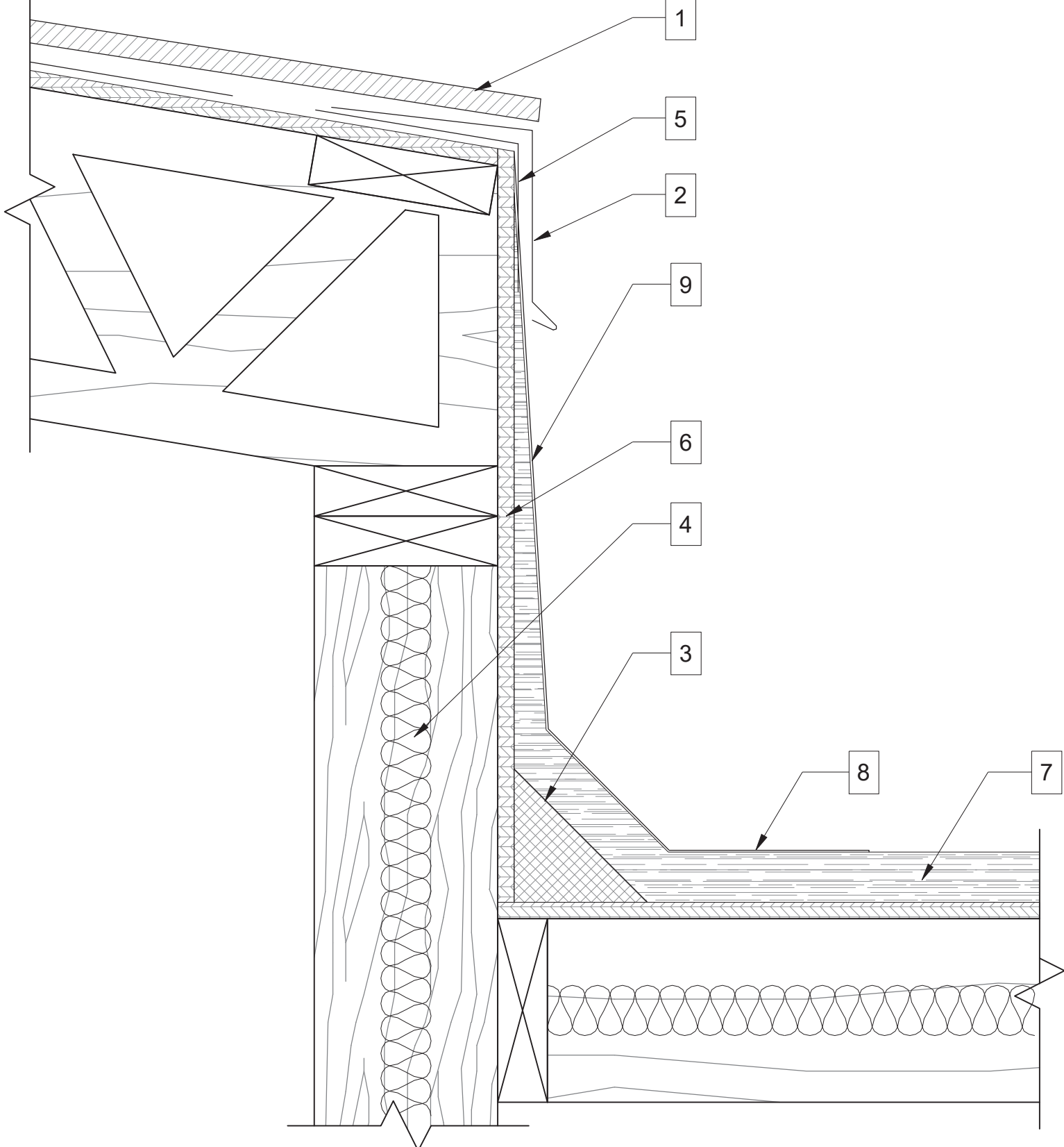
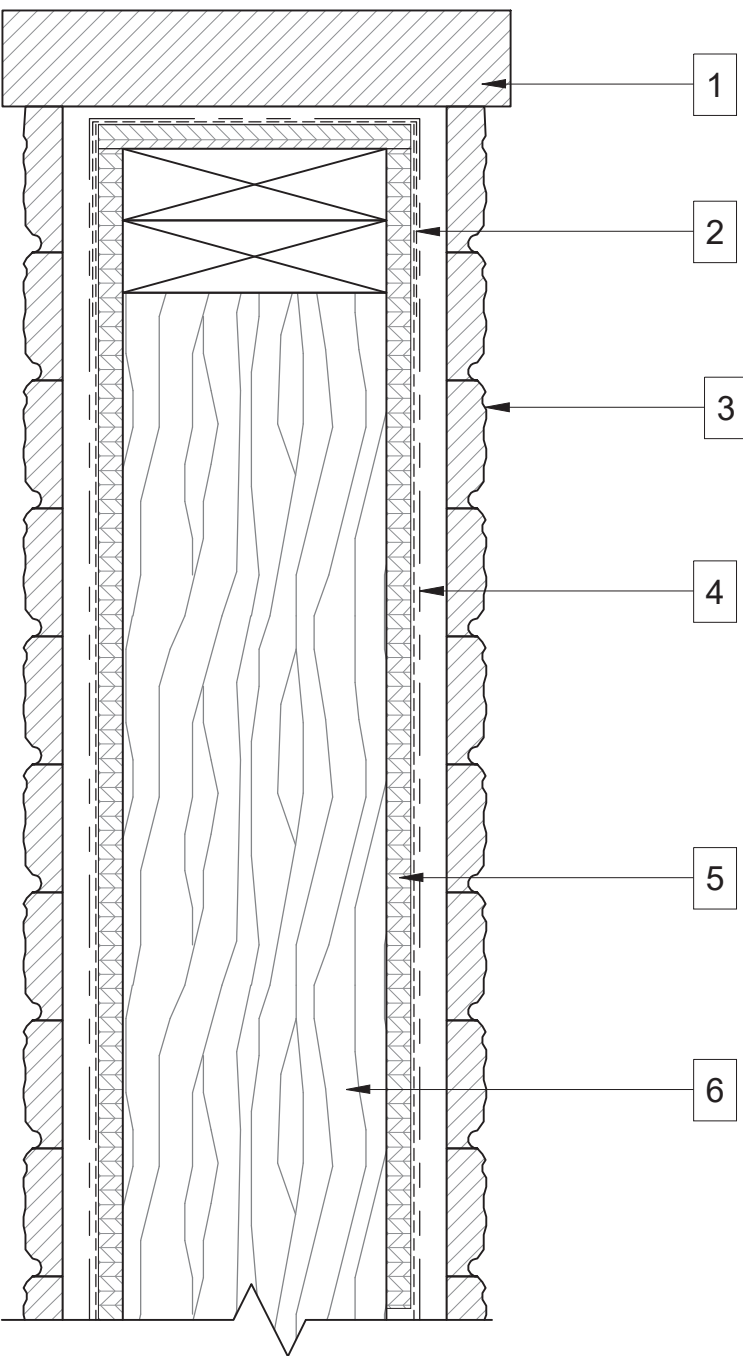
THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
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SHEET NO.
A-6.2

		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div>1. COLORED EPOXY FINISH 2. MATTE GRAY TEXTURED TORCH DOWN ROOFING 3. SHEATHING/FRAMING PER STRUCTURAL 4. R-38 OR BETTER INSULATION</div>	
01	ROOF ASSEMBLY		
		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div>A. DRAINS SHALL BE LOCATED AWAY FROM PATIOS OR EQUIPMENT WHEREVER POSSIBLE B. ALL DRAINS TO GO TO DAYLIGHT AT VISIBLE LOCATIONS. C. ALL DRAINS TO COMPLY WITH CRC-903.4 D. ALL 4" DRAINS EXCEED CALIFORNIA PLUMBING CODE TABLE 1101.7 4" PIPES SHALL NOT EXCEED 2650 MAX ROOF AREA FOR 4" OF RAINFALL PER HOUR.</div> <div>1. ROOF DRAIN W/ STRAINER 2. COMPRESSION RING 3. LEAD FLASHING SHEET 4. FLASHING SHEET 5. MATTE GRAY TEXTURED TORCH DOWN. 6. TAPERED EDGE STRIP 7. ROOF FRAMING/SHEATHING PER PLANS 8. R-38 OR BETTER INSULATION PER TITLE 24.</div>	
02	ROOF CRICKET		
03	ROOF PARAPET		
04	ROOF DRAIN		
05	ROOF DRAIN AT GRADE	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div>1. ROOF DRAIN 2. WALL PER PLAN 3. THICKEN FOOTING AS NEEDED 4. DARK BRONZE METAL "COW TONGUE" W/ OVER-FLOW 5. RIP-RAP SPLASH PAD</div>	
06	TOP OF STONE VENEER WALL	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div>1. STANDING SEAM ROOF PER PLAN 2. METAL EDGE FLASHING 3. CANT STRIP OR CRICKET PER ROOF PLAN 12" MIN. PARAPET ABOVE FOAM ROOF. 4. R-38 OR BETTER INSULATION 5. EXTEND FLASHING SHEET 6" BELOW NAILER 6. FRAMING/SHEATHING PER STRUCTURAL 7. TORCH DOWN ROOFING 8. FLASHING SHEET 9. CONT. FOAM ON PARAPET WALL.</div>	

THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED

JUSTIN KILBANE

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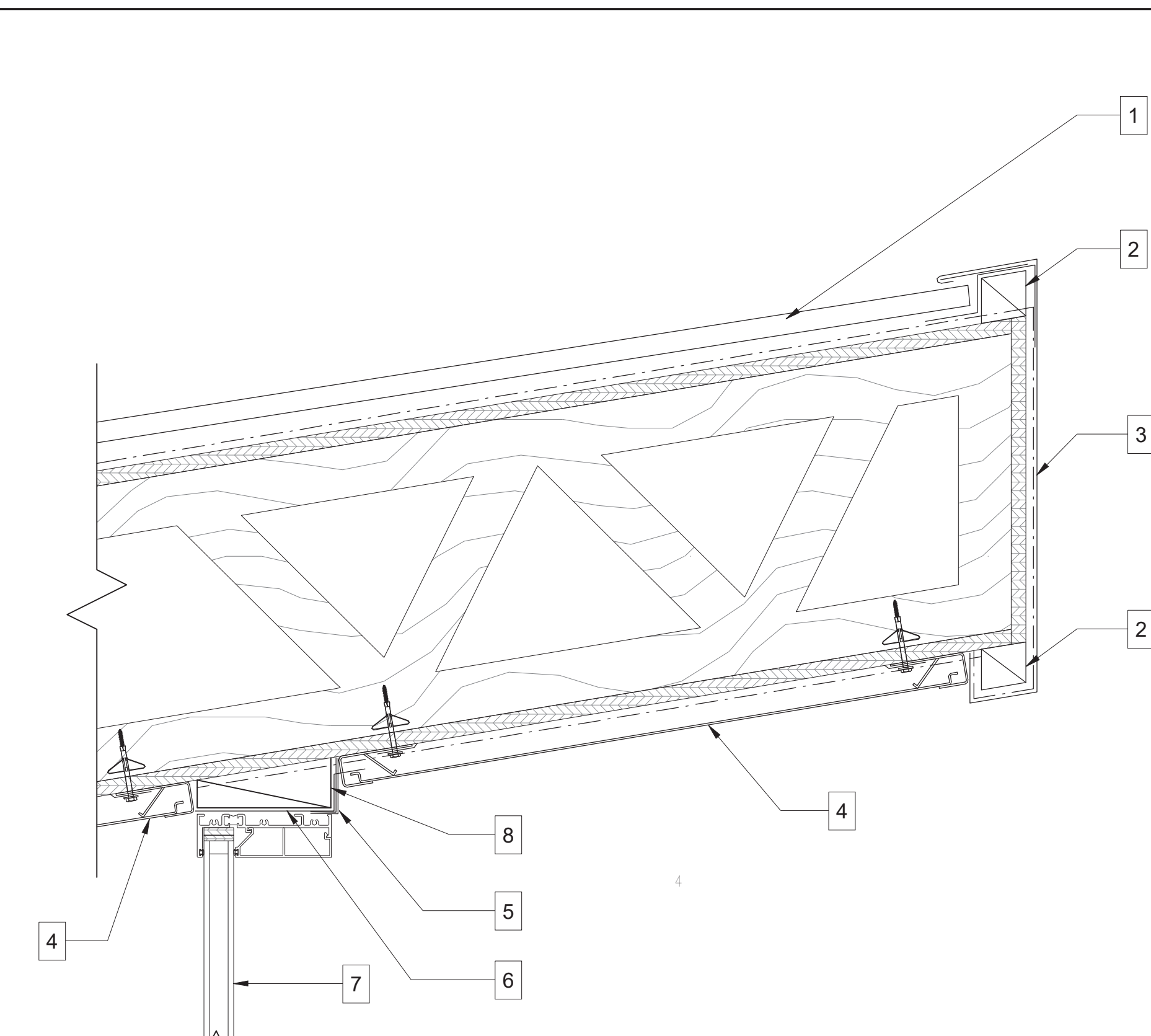
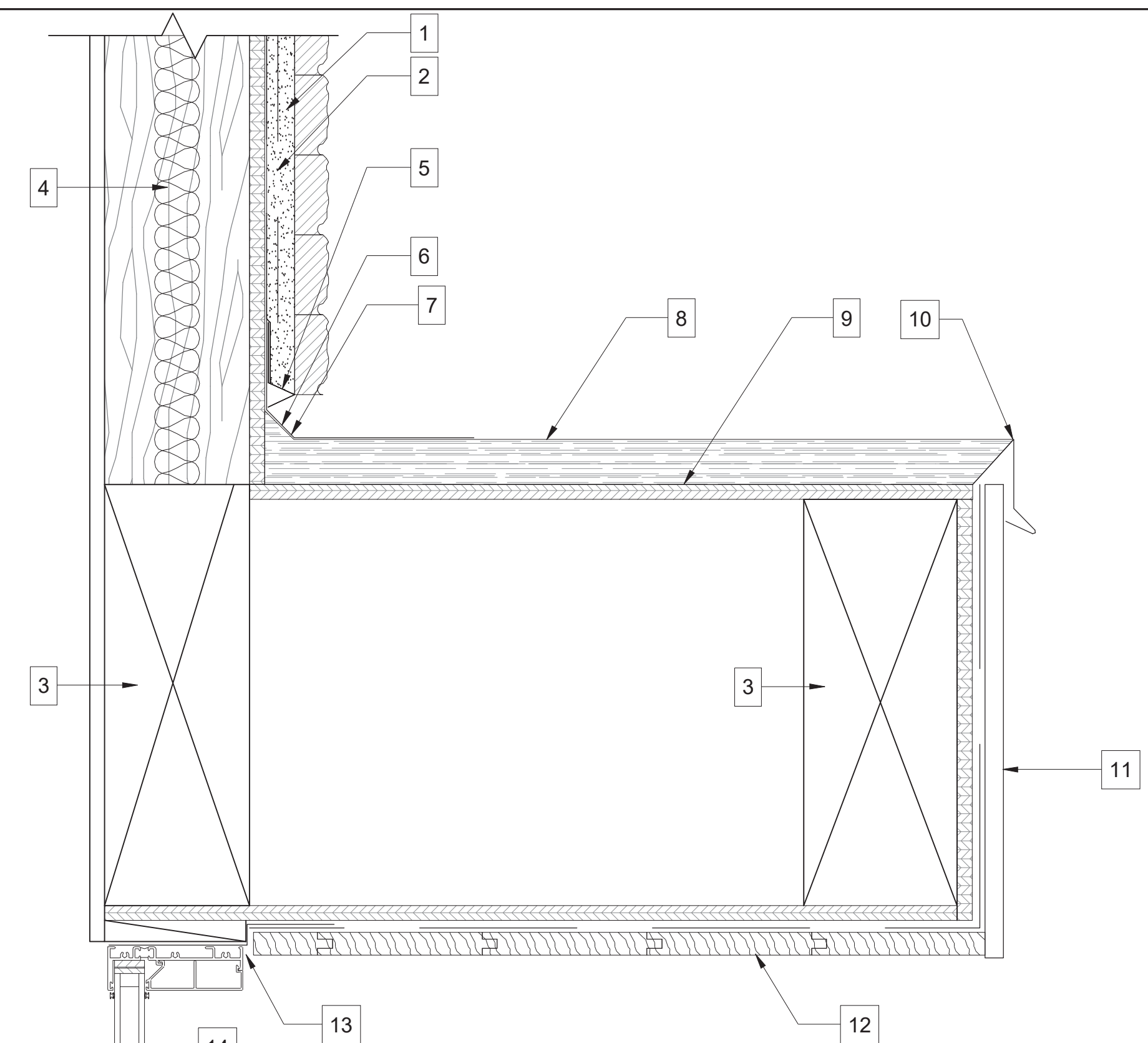
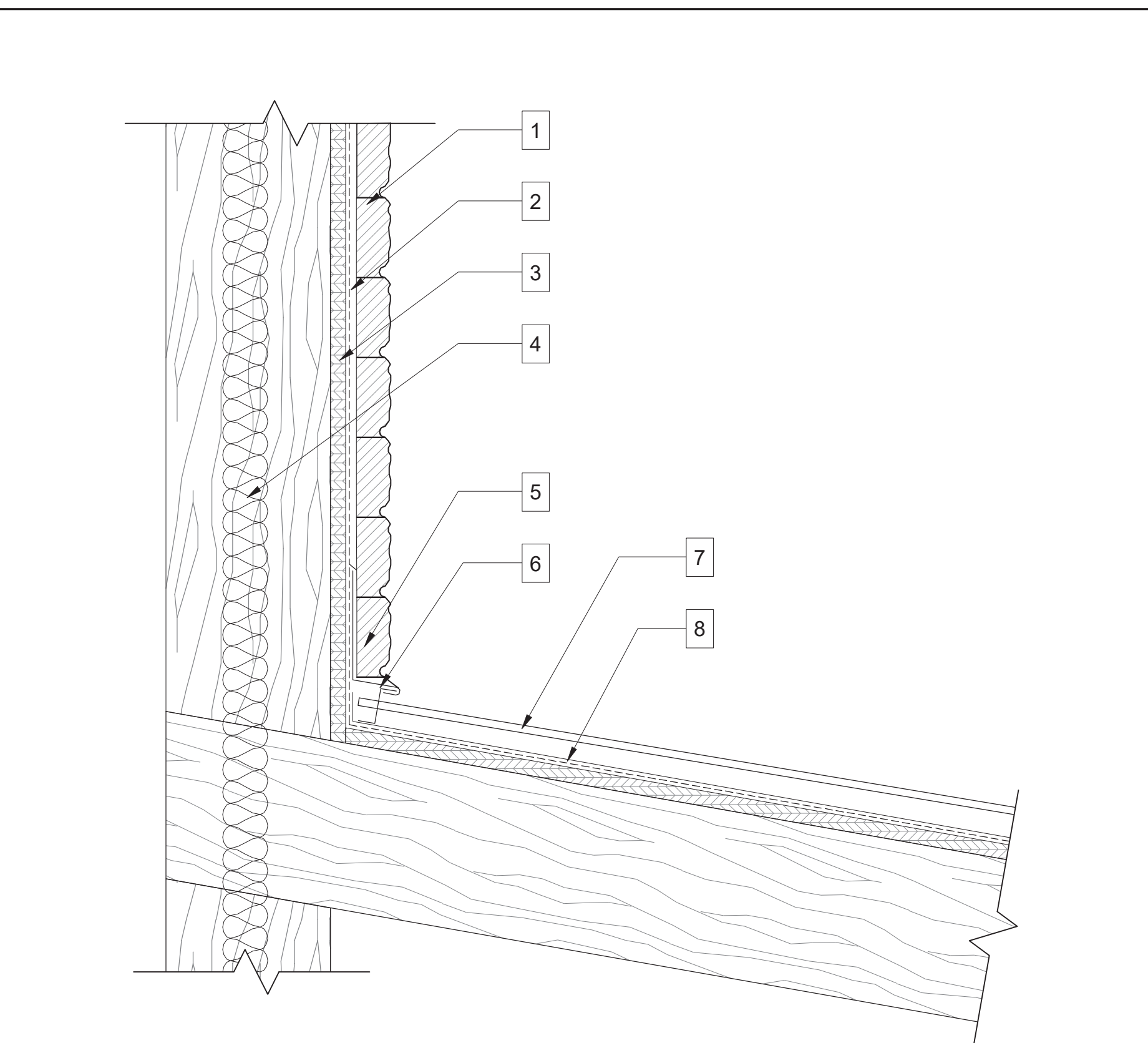
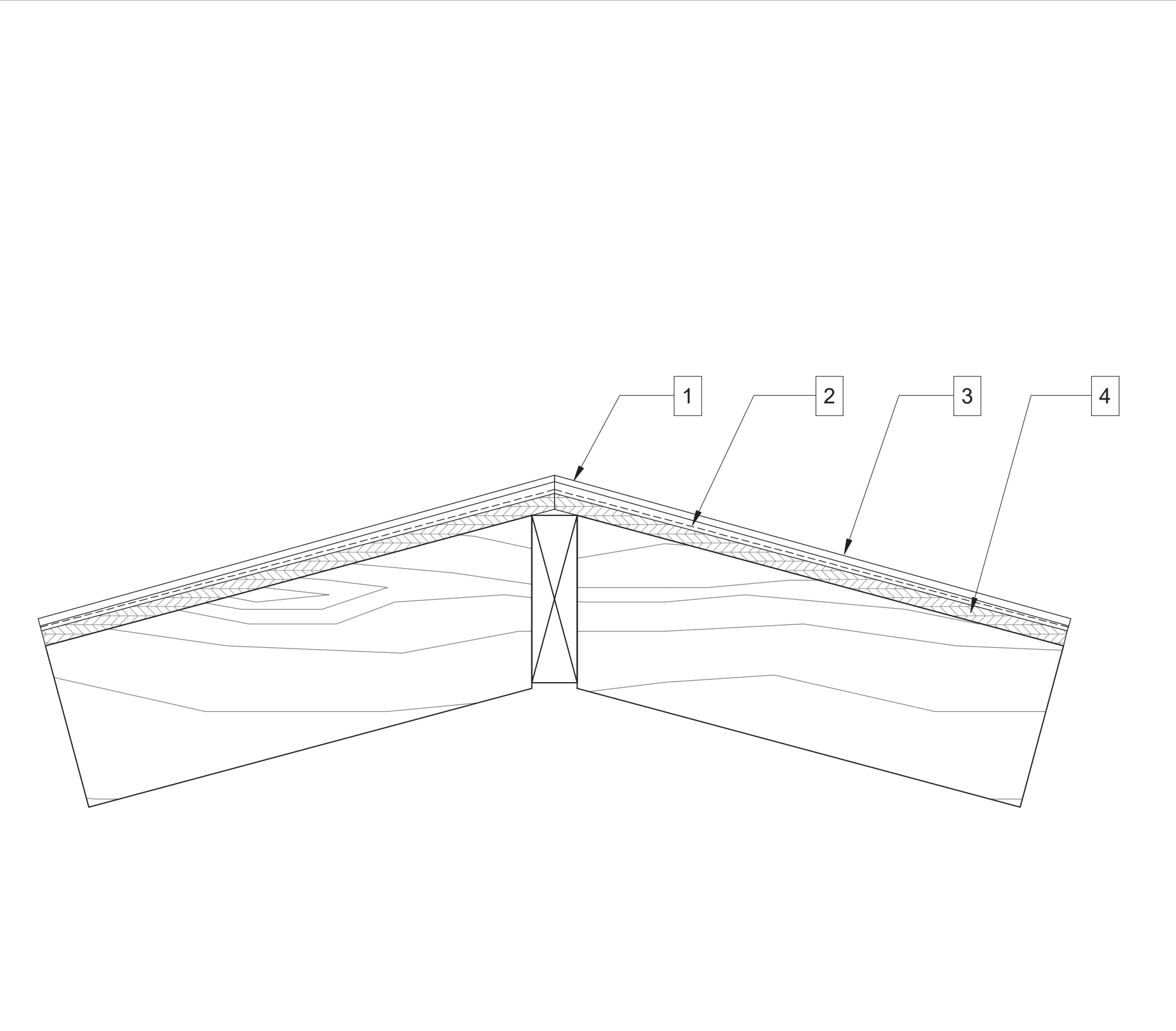
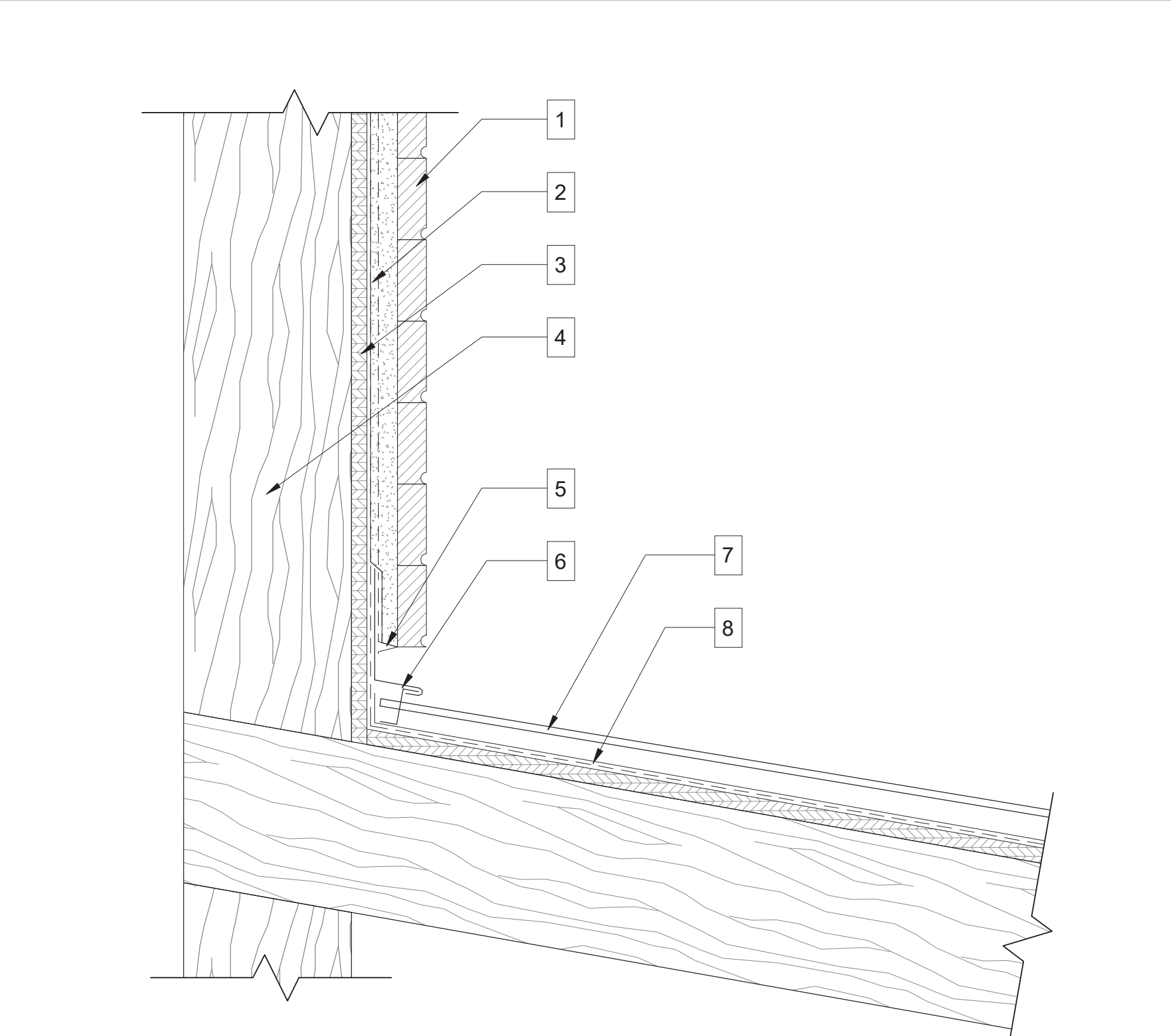
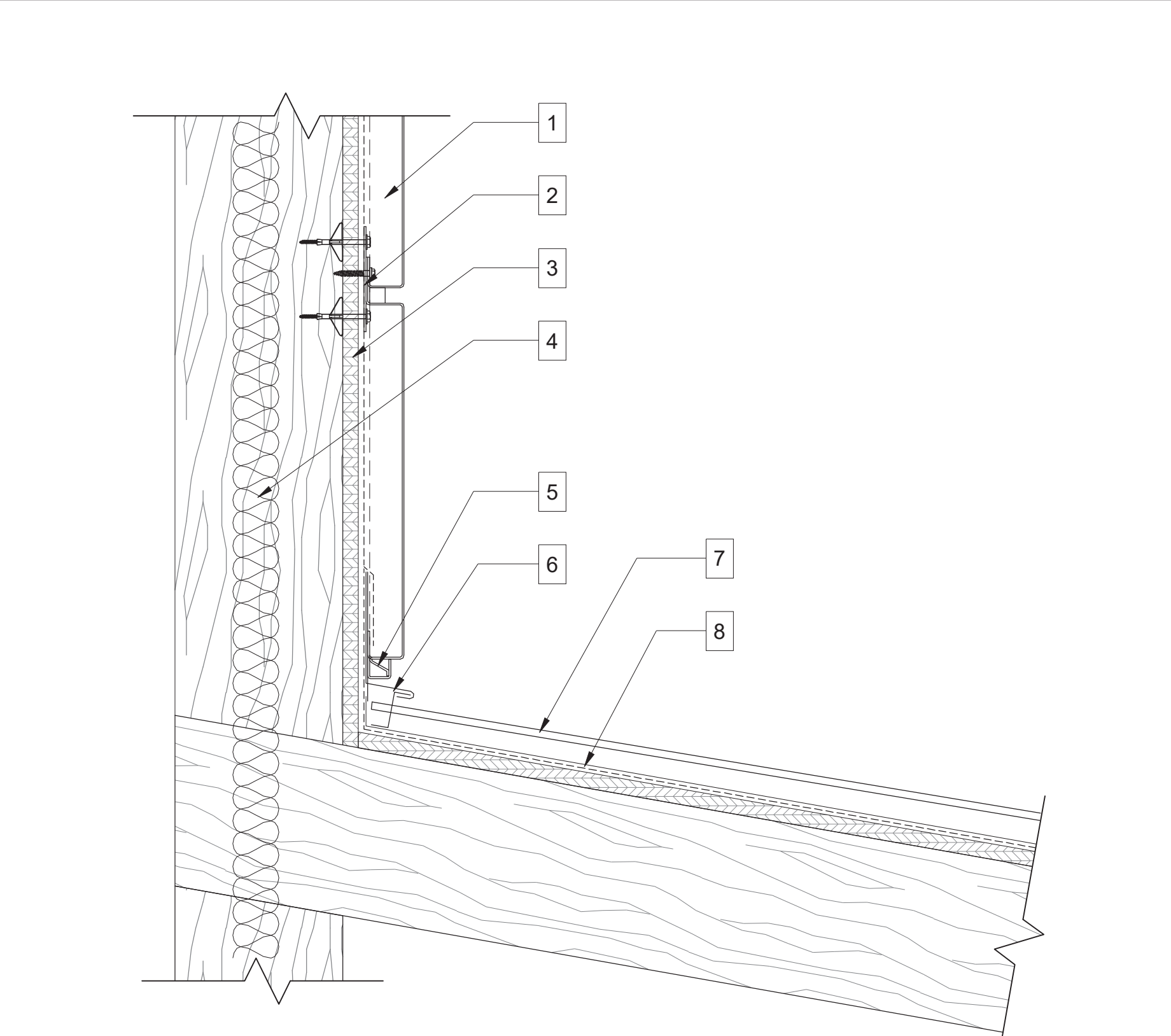
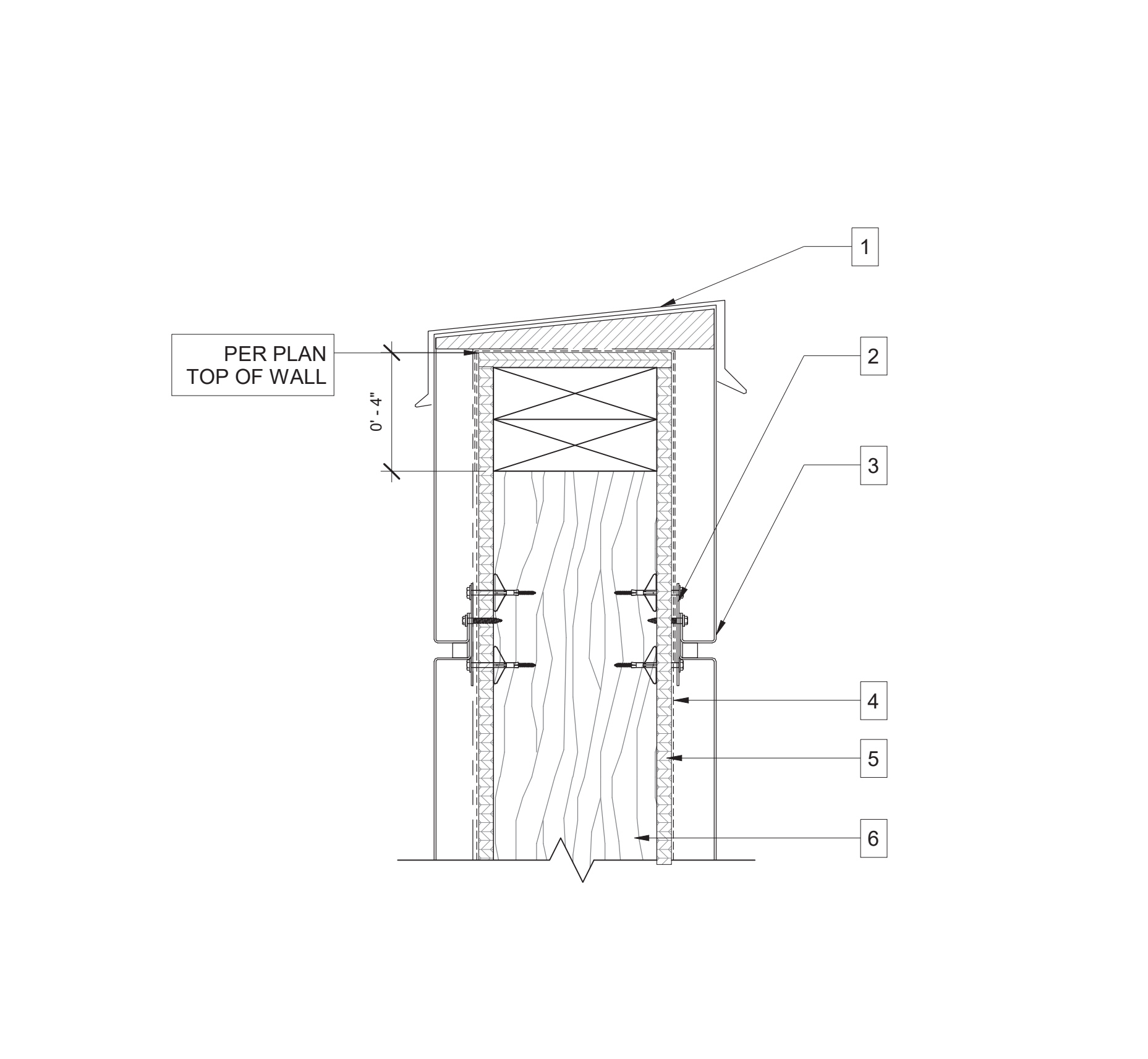
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SHEET NO.

A-6.3

Scale : 3" = 1'-0"

ROOF DETAILS

	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> STANDING SEAM ROOFING PER ROOF ASSEMBLY DETAIL. BLOCKING AS REQUIRED. METAL FASCIA. SOFFIT CEILING PER PLAN BRAKE METAL TO MATCH WINDOW FRAME WINDOW FLASHING WINDOW-SEE SCHEDULE SHIM AS REQUIRED 		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> STONE WALL ASSEMBLY PER PLANS TYVEK WEATHER RESISTIVE BARRIER FRAMING/SHEATHING PER STRUCTURAL INSULATION PER PLANS WEEP SCREED FLASHING SHEET 4" FIBER CANT STRIP TORCH DOWN ROOFING PER PLANS ROOF SHEATHING PER PLANS 1" OCM METAL DRIP EDGE FOAM STOP. 24" OCM METAL FASCIA PER PLAN. SOFFIT CEILING FLUSH WITH WINDOW HEAD PER PLAN. WINDOW FLASHING WINDOW-SEE SCHEDULE 		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> STONE VENEER WALL ASSEMBLY PER PLANS TYVEK WEATHER RESISTIVE BARRIER FRAMING/SHEATHING PER STRUCTURAL R-38 OR BETTER INSULATION WEEP SCREED METAL FLASHING ROOF ASSEMBLY PER PLANS (2) LAYERS OF ROOF UNDERLAYMENT
<div>01</div> <div>OVERHANG FASCIA</div>		<div>02</div> <div>STONE TO NON PARAPET ROOF</div>		<div>03</div> <div>STANDING SEAM ROOF AT STUCCO WALL</div>	
	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> RIDGE CAP (2) LAYERS POLYGLASS POLYSTICK MTS UNDERLAYMENT ROOFING PER PLAN NAILED TO DECK. FRAMING/SHEATHING PER PLANS. 		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> STONE VENEER ASSEMBLY PER PLAN GRACE ULTRA WEATHER RESISTIVE BARRIER FRAMING/SHEATHING PER STRUCTURAL R-38 OR BETTER INSULATION WEEP SCREED METAL FLASHING ROOF ASSEMBLY PER PLANS (2) LAYERS OF ROOF UNDERLAYMENT 		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> METAL WALL ASSEMBLY PER PLAN TYVEK WEATHER RESISTIVE BARRIER FRAMING/SHEATHING PER STRUCTURAL R-38 OR BETTER INSULATION METAL STOP AND DRIP EDGE. METAL FLASHING STANDING SEAM ROOF ASSEMBLY PER PLAN (2) LAYERS OF ROOF UNDERLAYMENT
<div>04</div> <div>STANDING SEAM ROOF RIDGE</div>		<div>05</div> <div>CONC. STAND. SEAM ROOF AT STONE WALL</div>		<div>06</div> <div>CONC. STAN. SEAM ROOF AT METAL PANEL</div>	
	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <ol style="list-style-type: none"> METAL CAP. GRACE ULTRA TO COVER TOP OF WALL AND OVERLAP BUILDING PAPER METAL WALL PANEL PER PLANS GRACE ULTRA TO TOP OF WALL PLYWOOD SHEATHING PER PLANS FRAMING PER PLANS 	<div>Scale : 3" = 1'-0"</div> <div>ROOF DETAILS</div>			
<div>07</div> <div>TOP OF METAL WALL</div>					

THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED

JUSTIN KILBANE

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SHEET NO.

A-6.4

C1. DRYWALL AND PAINTED CEILING

C2. T&G CEILING

CEILING SCHEDULE		
CLG. TYPE	ROOM NAME	AREA
C1	BATH	80 SF
C1	GUEST ROOM 1	190 SF
C1	CLOSET	35 SF
C1	BUNK ROOM	164 SF
C1	GUEST ROOM 2	167 SF
C1	BATH	58 SF
C1	CLOSET	40 SF
C1	FITNESS ROOM	286 SF
C1	BATH	60 SF
C1	COMMON AREA	87 SF
C1	MECH.	177 SF
C1	STORAGE	132 SF
C1	MECH.	16 SF
C1	CLOSET	30 SF
C1	BROOM	14 SF
C1	BATH	57 SF
C1	POWDER	58 SF
C1	CLOSET	279 SF
C1	PANTRY	117 SF

RCP NOTES:

- HEIGHTS NOTED ON THE MAIN LEVEL REFLECTED CEILING PLAN ARE NOTED IN RELATIONSHIP TO FINISH FLOOR PLAN ELEVATION OF THAT SPACE.
- REFER TO MECHANICAL, ELECTRICAL & FIRE SPRINKLER DRAWINGS FOR ADDITIONAL ITEMS TO BE LOCATED IN THE CEILING. COORDINATE SIZES AND LOCATIONS OF CEILING DIFFUSERS WITH THIS DRAWING.
- THE DESIGN INTENT FOR ALL VISIBLE ITEMS INSTALLED IN THE CEILING ARE TO BE EQUALLY SPACED, CENTERED, AND/OR ALIGNED UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF INCONSISTENCIES.
- FLAT-PLATE CONCEALED PENDANT FIRE SPRINKLER COVER PLATE TO BE FINISHED BY THE MANUFACTURER TO MATCH THE SURROUNDING CEILING FINISH. PROVIDE A CUSTOM COLOR COVER PLATE SAMPLE FROM THE MANUFACTURER FOR THE ARCHITECTS REVIEW AND APPROVAL PRIOR TO ORDERING. VERIFY COVER PLATE FINISH WITH THE ARCHITECT WHEN THE CONCEALED PENDANT FIRE SPRINKLER OCCURS IN A WOOD CEILING.
- 5/8" GYPSUM BOARD @ CEILING - SMOOTH FINISH. CONTRACTOR TO INSTALL PER 2015 IRC R702.3
- THE LIGHT SOURCE OR BULB LOCATED IN AN EXTERIOR LIGHT FIXTURE IN CEILINGS AND SOFFITS MUST BE RECESSED A MINIMUM OF 3" INTO CEILING SO THAT THE LIGHT SOURCE IS FULLY SHIELDED.

Scale : As indicated

CEILING PLAN L2

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED
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SHEET NO.
A-7.1

① Level 2
1/8" = 1'-0"

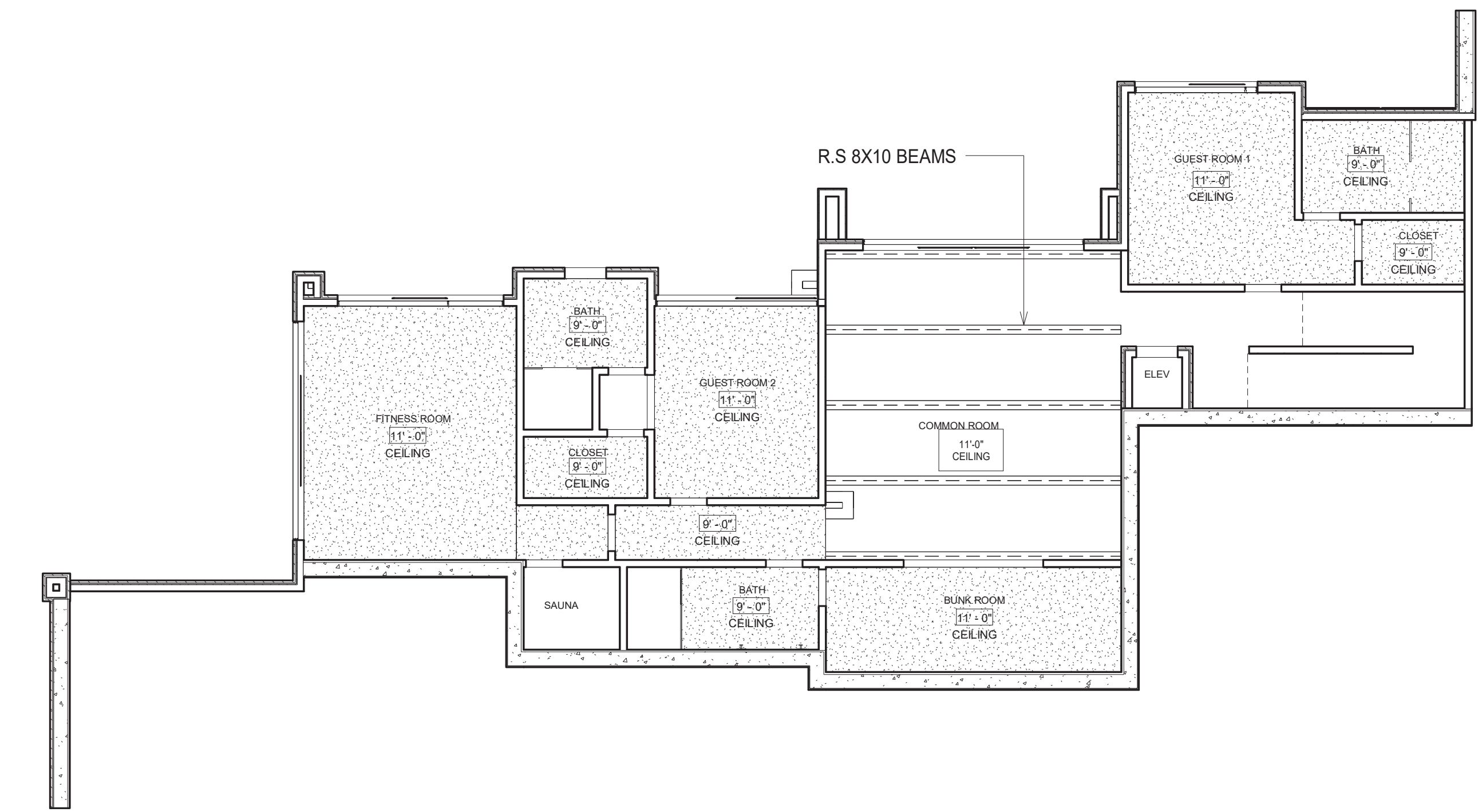
E

D

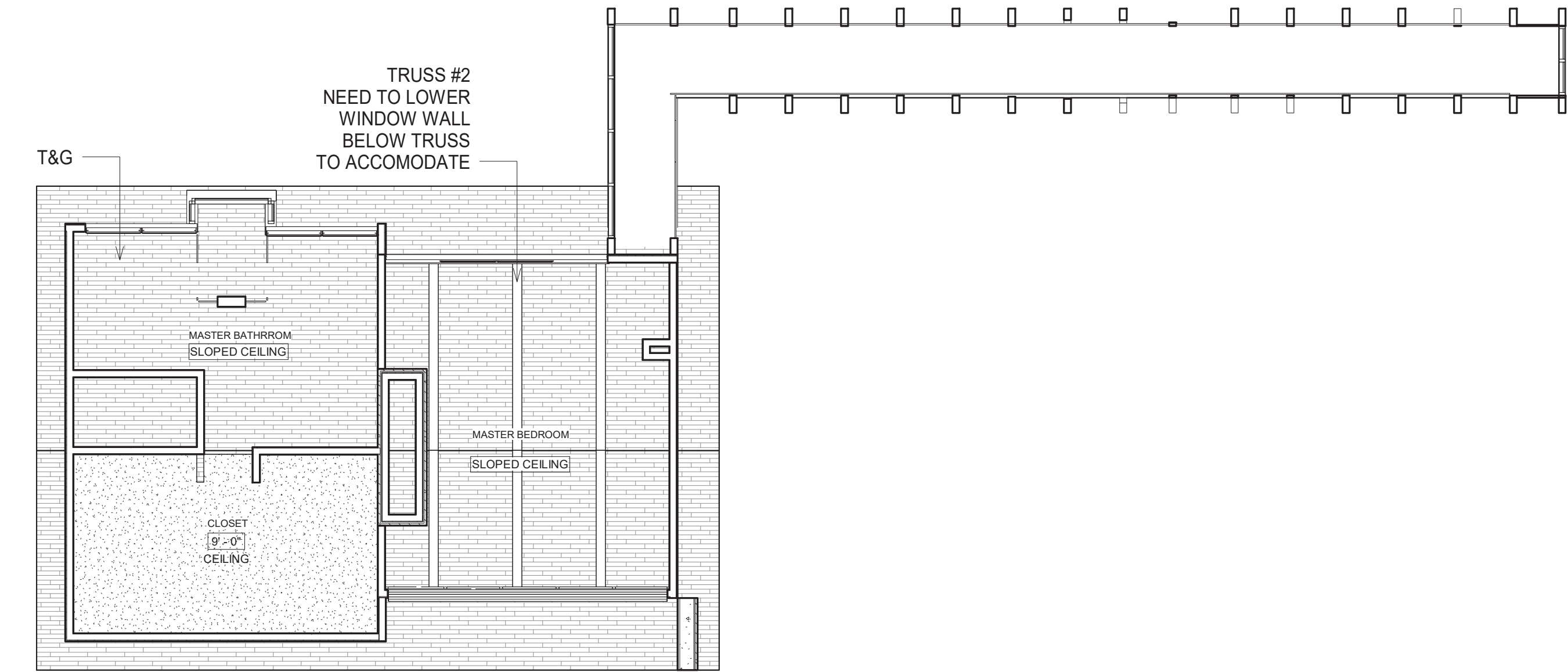
C

B

A



① Level 1
1/8" = 1'-0"



② Level 3
1/8" = 1'-0"

CEILING TYPE



C1. DRYWALL AND PAINTED CEILING



C2. T&G CEILING

CEILING SCHEDULE

CLG. TYPE	ROOM NAME	AREA
C1	BATH	80 SF
C1	GUEST ROOM 1	190 SF
C1	CLOSET	35 SF
C1	BUNK ROOM	164 SF
C1	GUEST ROOM 2	167 SF
C1	BATH	58 SF
C1	CLOSET	40 SF
C1	FITNESS ROOM	286 SF
C1	BATH	60 SF
C1	COMMON AREA	87 SF
C1	MECH.	177 SF
C1	STORAGE	132 SF
C1	MECH.	16 SF
C1	CLOSET	30 SF
C1	BROOM	14 SF
C1	BATH	57 SF
C1	POWDER	58 SF
C1	CLOSET	279 SF
C1	PANTRY	117 SF

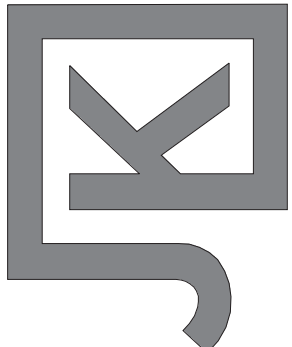
RCP NOTES:

- HEIGHTS NOTED ON THE MAIN LEVEL REFLECTED CEILING PLAN ARE NOTED IN RELATIONSHIP TO FINISH FLOOR PLAN ELEVATION OF THAT SPACE.
- REFER TO MECHANICAL, ELECTRICAL & FIRE SPRINKLER DRAWINGS FOR ADDITIONAL ITEMS TO BE LOCATED IN THE CEILING. COORDINATE SIZES AND LOCATIONS OF CEILING DIFFUSERS WITH THIS DRAWING.
- THE DESIGN INTENT FOR ALL VISIBLE ITEMS INSTALLED IN THE CEILING ARE TO BE EQUALLY SPACED, CENTERED, AND/OR ALIGNED UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF INCONSISTENCIES.
- FLAT-PLATE CONCEALED PENDANT FIRE SPRINKLER COVER PLATE TO BE FINISHED BY THE MANUFACTURER TO MATCH THE SURROUNDING CEILING FINISH. PROVIDE A CUSTOM COLOR COVER PLATE SAMPLE FROM THE MANUFACTURER FOR THE ARCHITECTS REVIEW AND APPROVAL PRIOR TO ORDERING. VERIFY COVER PLATE FINISH WITH THE ARCHITECT WHEN THE CONCEALED PENDANT FIRE SPRINKLER OCCURS IN A WOOD CEILING.
- 5/8" GYPSUM BOARD @ CEILING - SMOOTH FINISH.CONTRACTOR TO INSTALL PER 2015 IRC R702.3
- THE LIGHT SOURCE OR BULB LOCATED IN AN EXTERIOR LIGHT FIXTURE IN CEILINGS AND SOFFITS MUST BE RECESSED A MINIMUM OF 3" INTO CEILING SO THAT THE LIGHT SOURCE IS FULLY SHIELDED.

Scale : As indicated

CEILING PLAN

THE JK COMPANIES



THE

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO

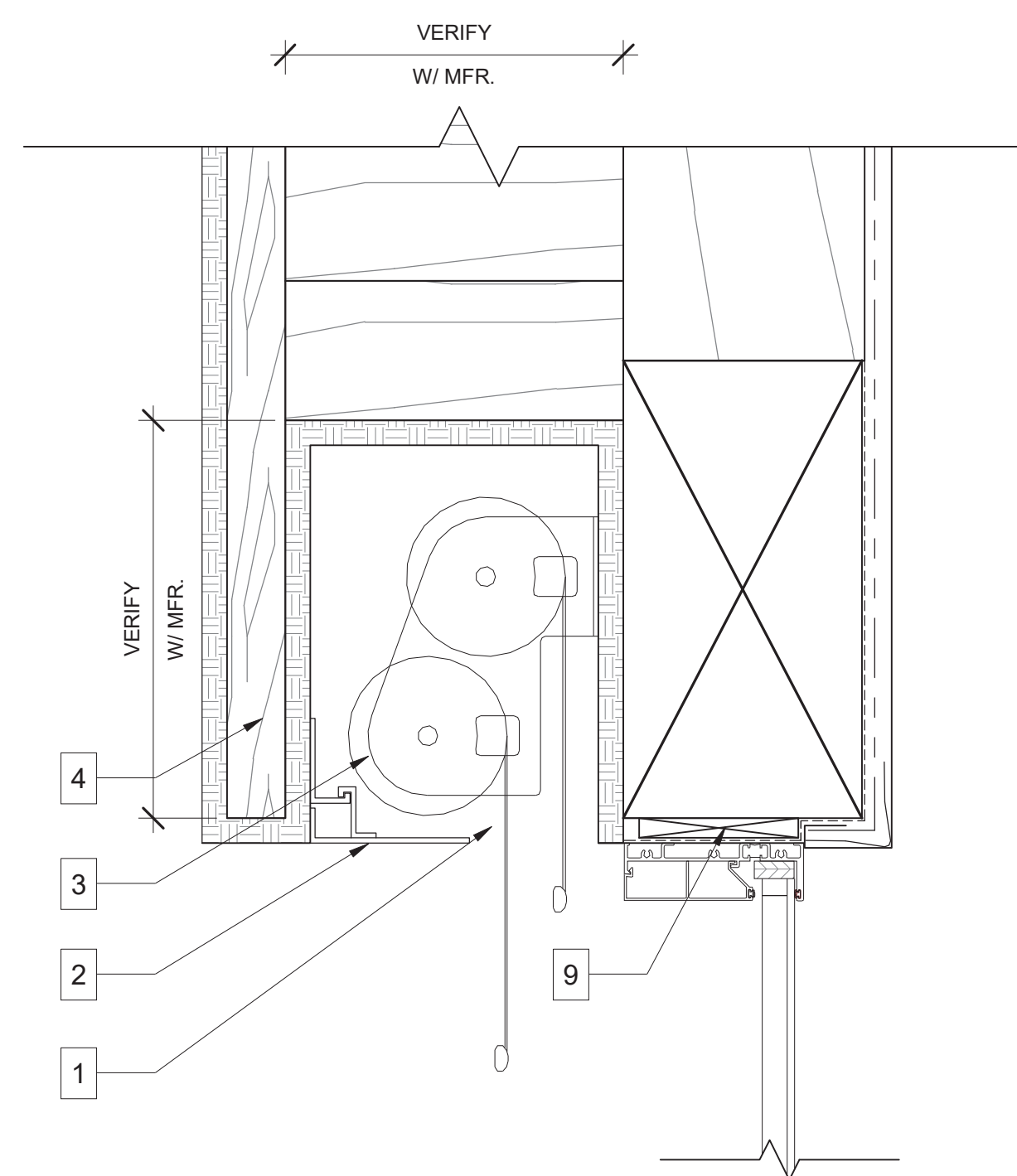


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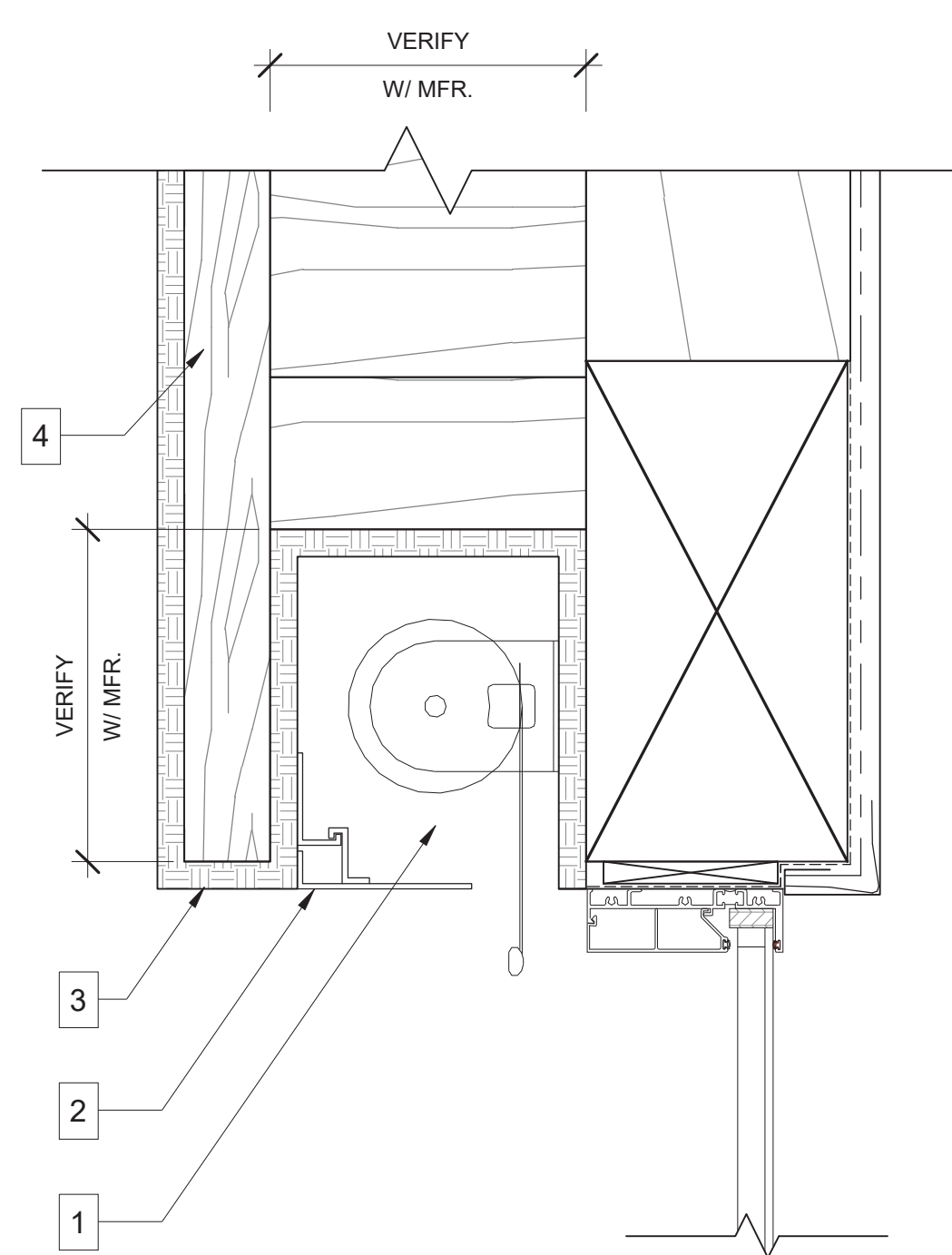
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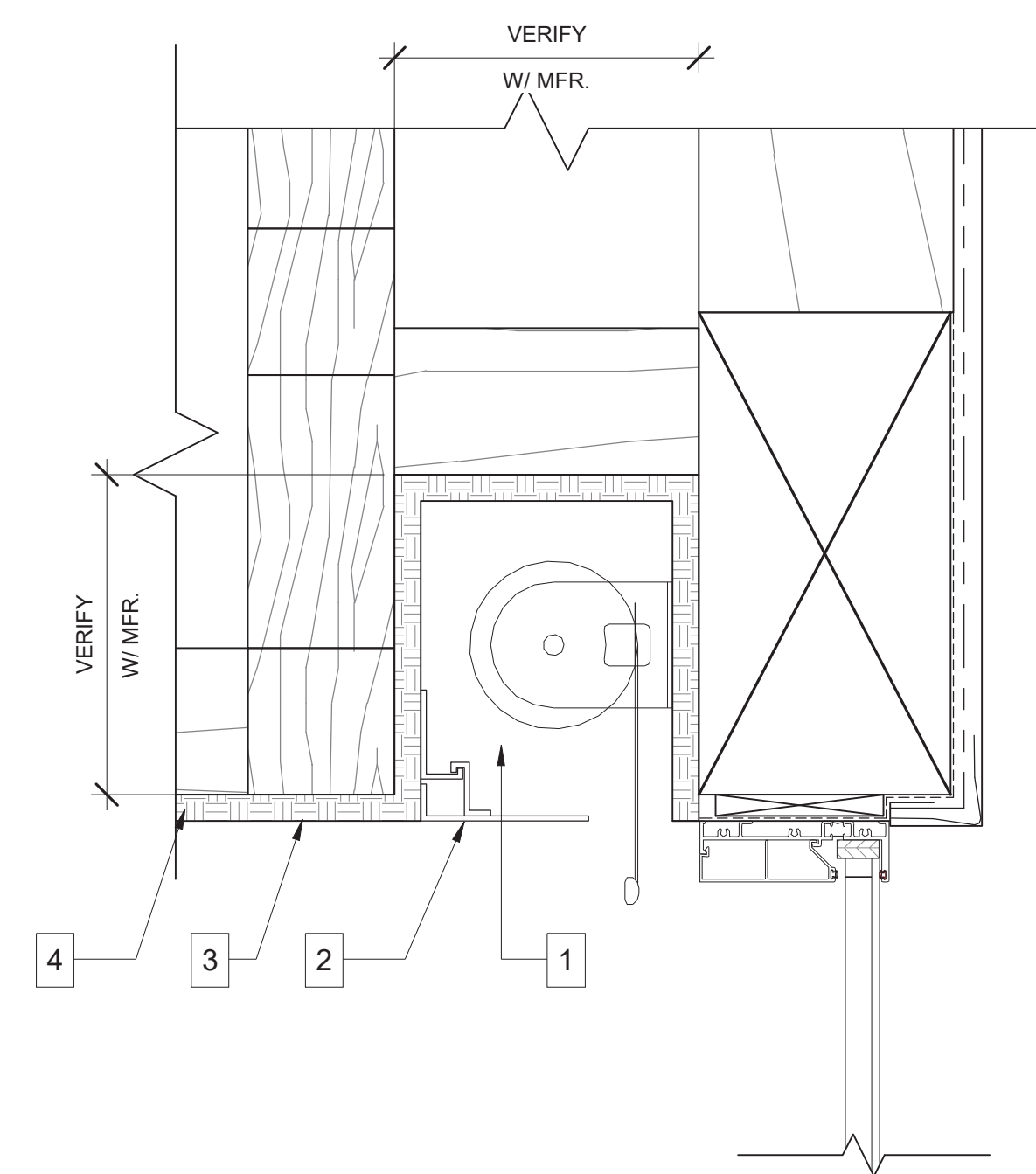
- | GENERAL NOTES | |
|---------------|---|
| A. | PROVIDE POWER TO ALL BLIND POCKETS |
| B. | COORDINATE ACTUAL POCKET SIZES WITH MANUFACTURER. |
| C. | PROVIDE LOW VOLTAGE RUNS FOR AUTOMATION CONTROL AT ALL POCKETS. |

- | KEY NOTES | |
|-----------|---|
| 1. | BOX OUT FOR BLACK OUT & SHADE PER MFR.SPECIFICATION OR MIN. 6"X12" CLEAR. |
| 2. | METAL TRIM PAINTED TO MATCH WALL. |
| 3. | 5/8" DRYWALL W/ SQUARE CORNERS. |
| 4. | 2X LAID FLAT TO BUILD SOFFIT WALL TO WALL |



- | GENERAL NOTES | |
|---------------|---|
| A. | PROVIDE POWER TO ALL BLIND POCKETS |
| B. | COORDINATE ACTUAL POCKET SIZES WITH MANUFACTURER. |
| C. | PROVIDE LOW VOLTAGE RUNS FOR AUTOMATION CONTROL AT ALL POCKETS. |

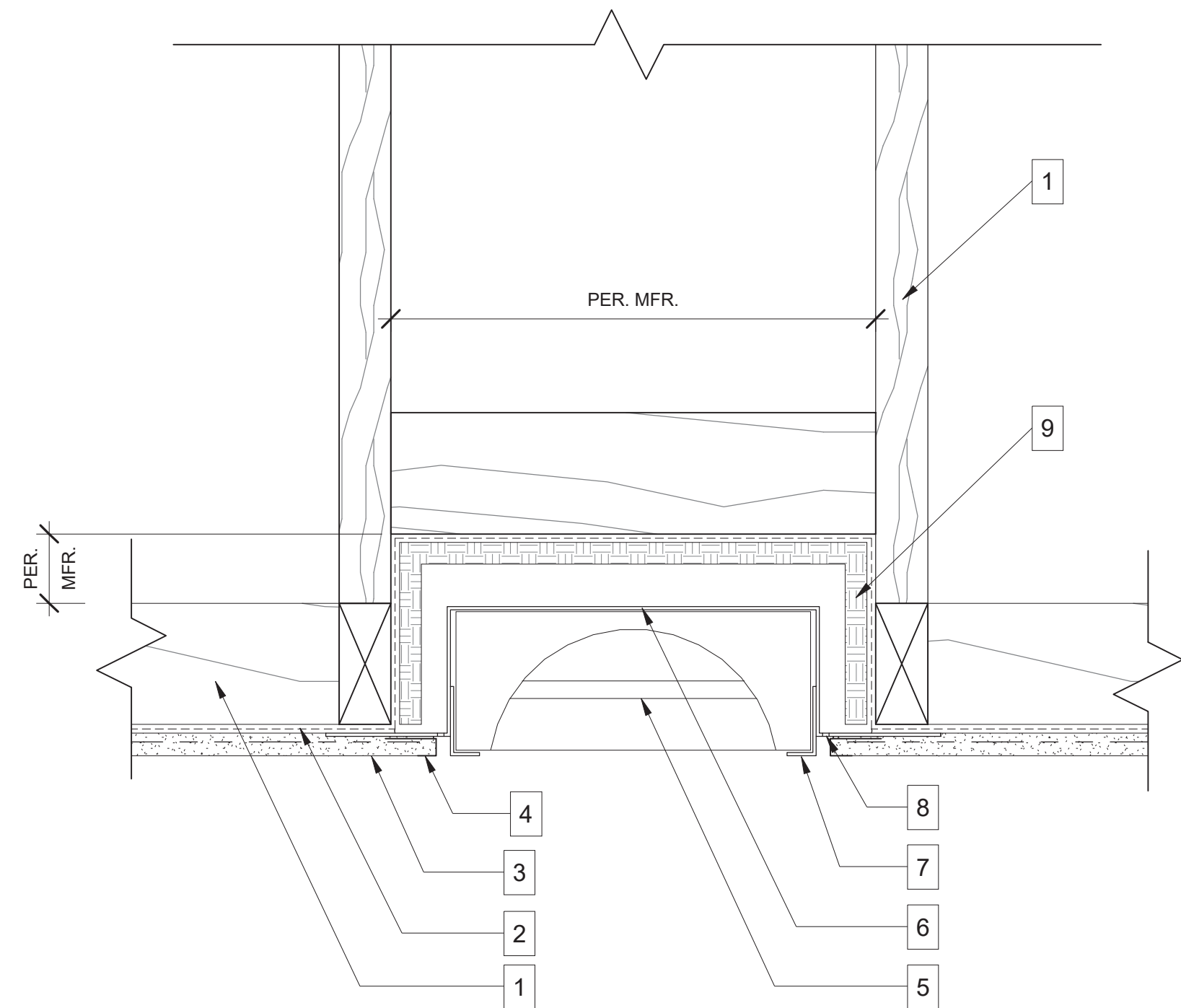
- | KEY NOTES | |
|-----------|--|
| 1. | BOX OUT FOR SHADE PER MFR.SPECIFICATION OR MIN. 6"X6" CLEAR. |
| 2. | METAL TRIM PAINTED TO MATCH WALL. |
| 3. | 5/8" DRYWALL W/ SQUARE CORNERS. |
| 4. | 2X LAID FLAT BUILD WALL TO WALL. |



- | GENERAL NOTES | |
|---------------|---|
| A. | PROVIDE POWER TO ALL BLIND POCKETS |
| B. | COORDINATE ACTUAL POCKET SIZES WITH MANUFACTURER. |
| C. | PROVIDE LOW VOLTAGE RUNS FOR AUTOMATION CONTROL AT ALL POCKETS. |

- | KEY NOTES | |
|-----------|--|
| 1. | BOX OUT FOR SHADE PER MFR.SPECIFICATION OR MIN. 6"X6" CLEAR. |
| 2. | METAL TRIM PAINTED TO MATCH WALL. |
| 3. | 5/8" DRYWALL W/ SQUARE CORNERS. |
| 4. | SOFFIT PER PLAN |

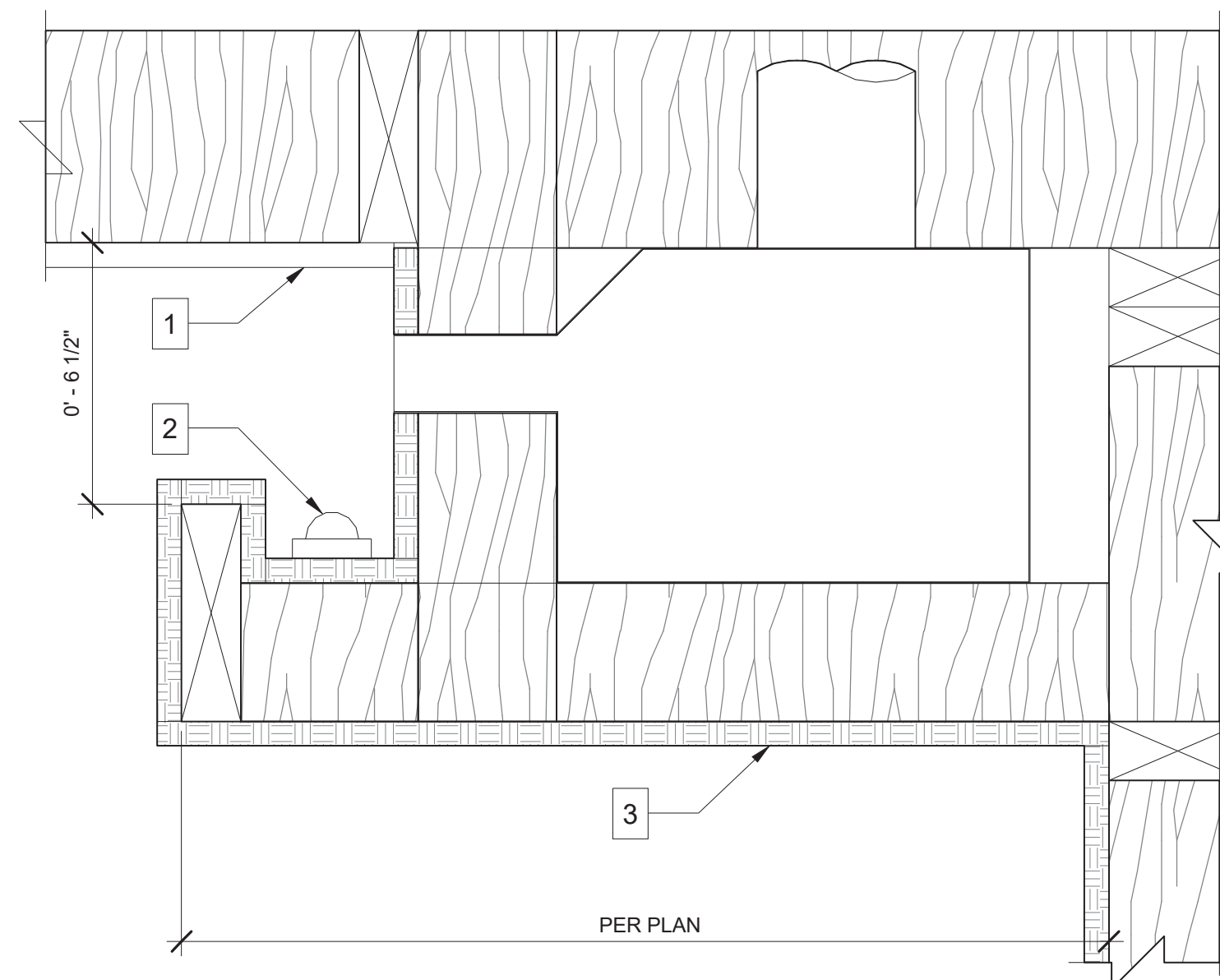
01	DBL. BLIND POCKET@WALL
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- | |
|---------------|
| GENERAL NOTES |
|---------------|

- ### KEY NOTES
1. FRAMING PER PLANS AND MFR.
 2. WEATHER RESISTIVE BARRIER
 3. STUCCO ASSEMBLY PER PLANS
 4. EXPANDED FLANGE CASING BEAD
 5. STAINLESS STEEL INRATCH
WD-5024 RECESSED RADIANT
HEATER
 6. STAINLESS STEELW-39 FLUSH
MOUNT TRIM KITS.
 7. STAINLESS STEEL HEATER
SUPPORT FLANGE TO BE FLUSH
WITH FINISHED SURFACE
 8. VENTILATION HOLES
 9. 5/8" TYPE 'X' GYP. BD. 1 HOUR FIRE
RATING

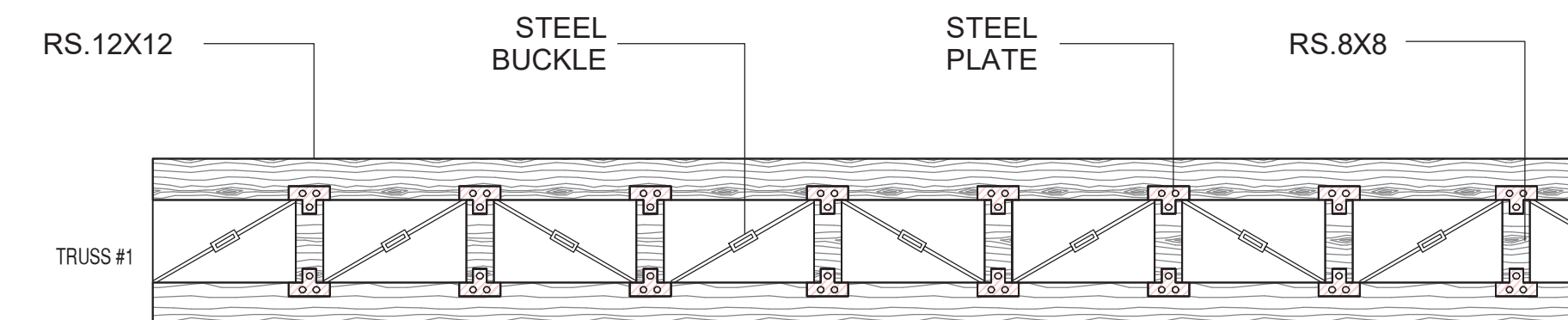
04	RECESSED RADIANT HEATER
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- ### GENERAL NOTES

- | KEY NOTES |
|--|
| 1. CEILING PER PLANS. |
| 2. COVE LIGHTING REFER TO ELECTRICAL DRAWINGS. |
| 3. 5/8" TYPE 'X' GYP. BD. |

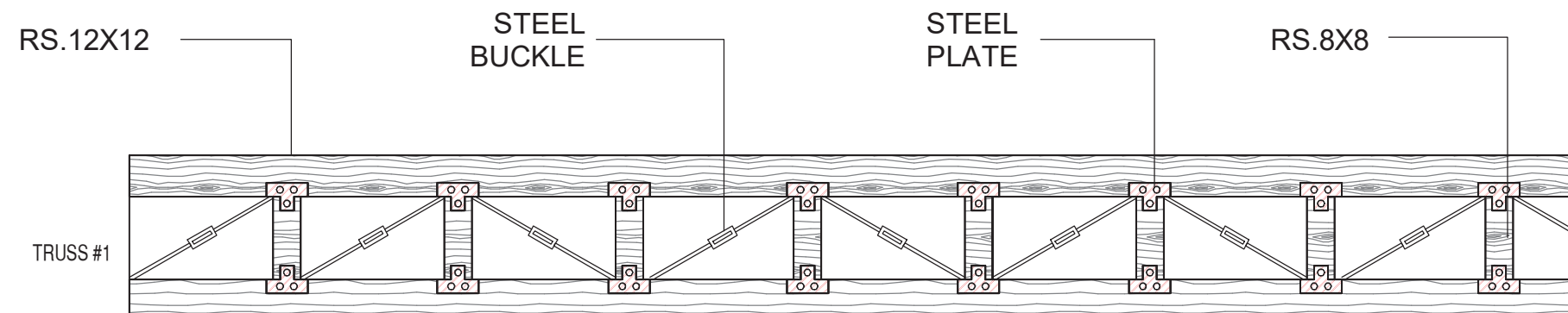
05	LIGHT COVE
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- GENERAL NOTES

- ## KEY NOTES

06	TRUSS DETAIL 1
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- | |
|---------------|
| GENERAL NOTES |
|---------------|

- ## KEY NOTES

07	TRUSS DETAIL 2
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Scale : As indicated

CEILING DETAILS

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

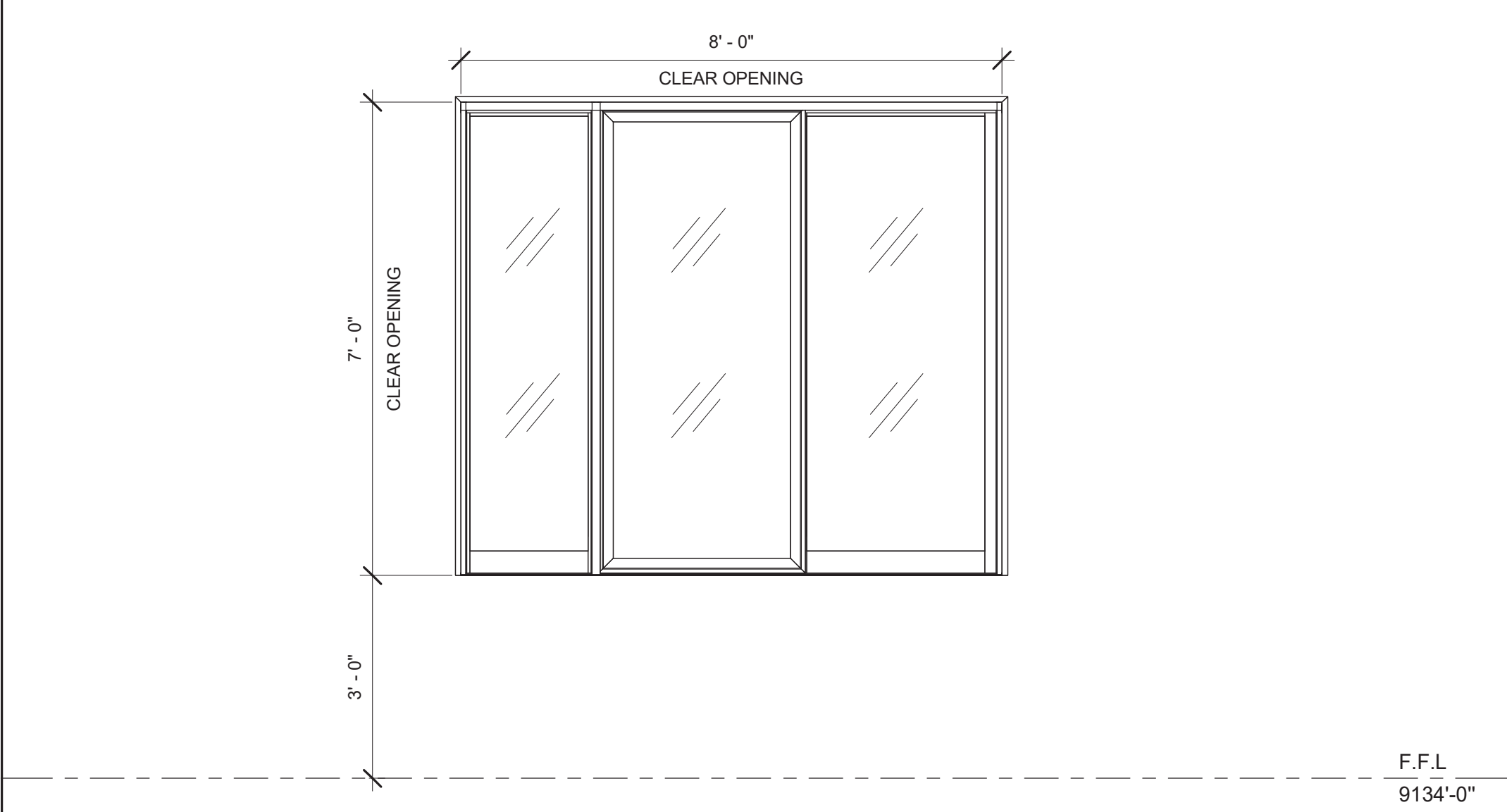


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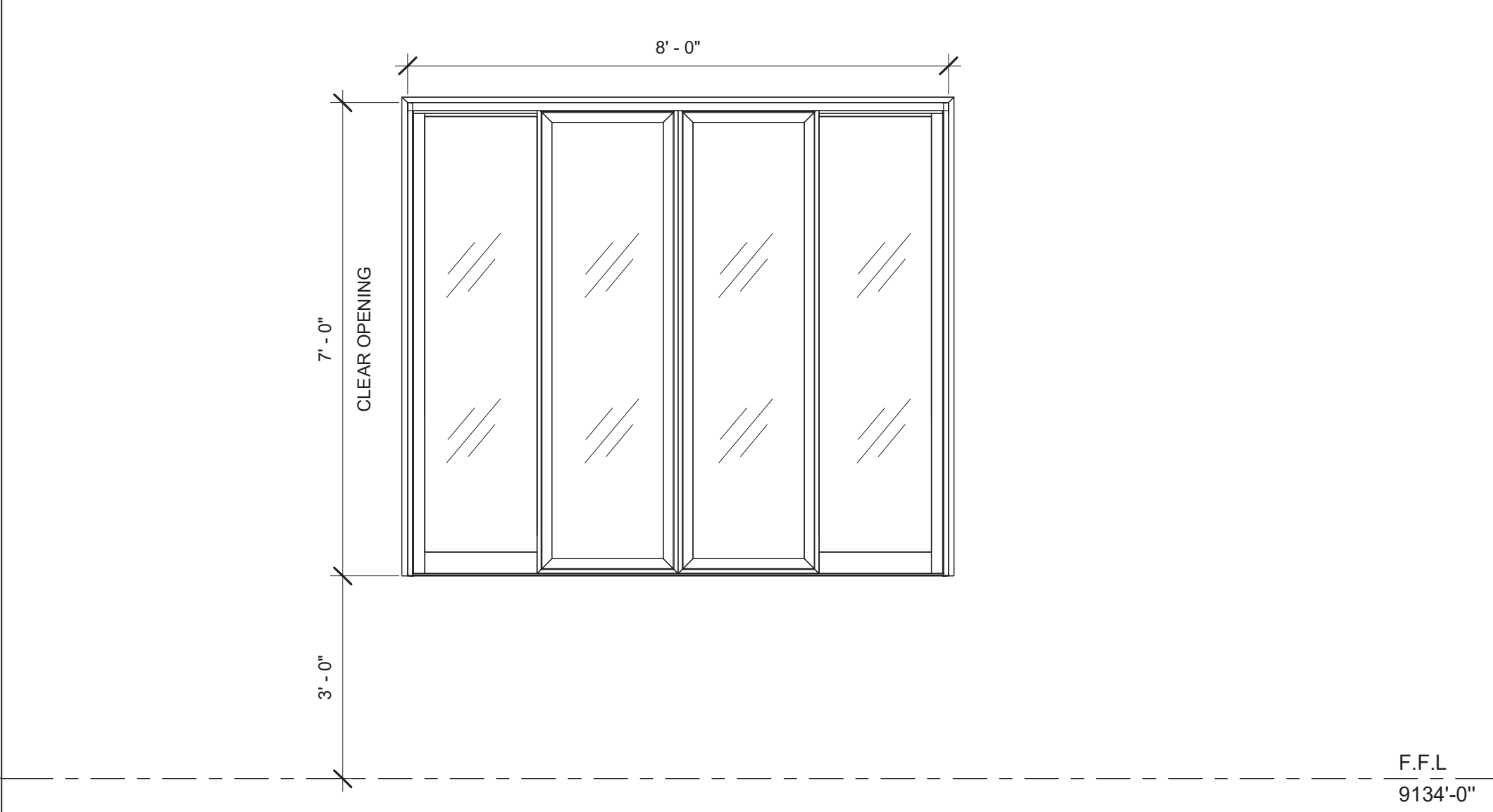
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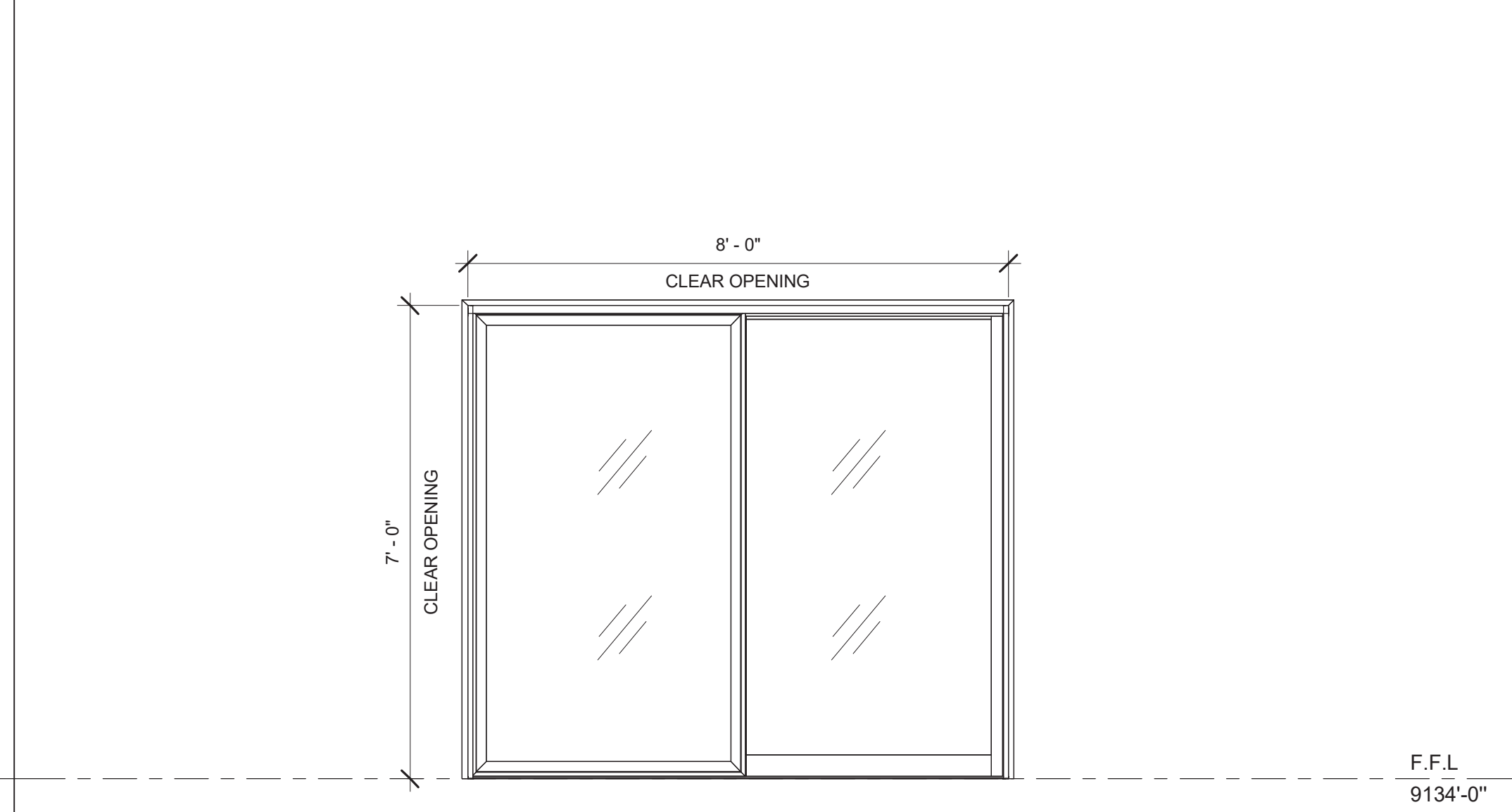
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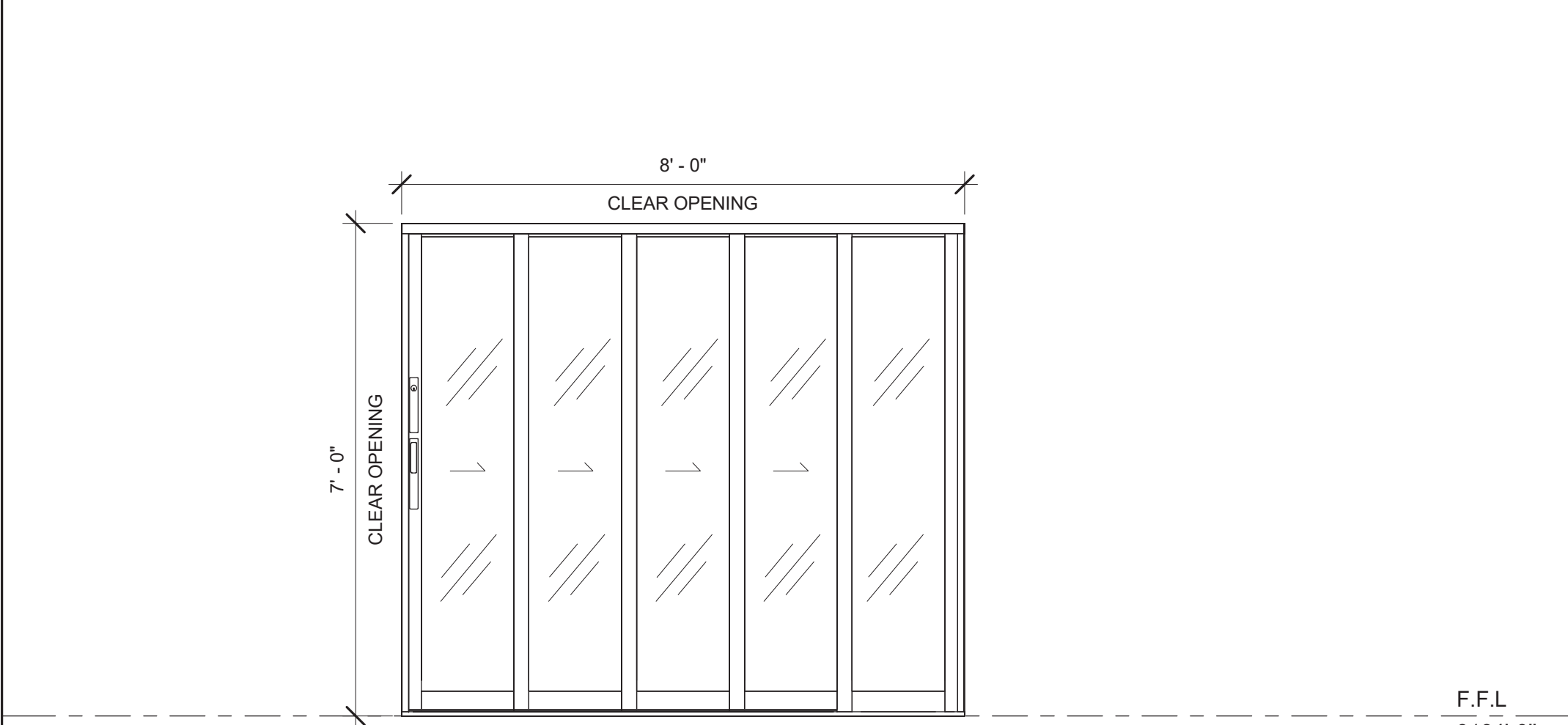
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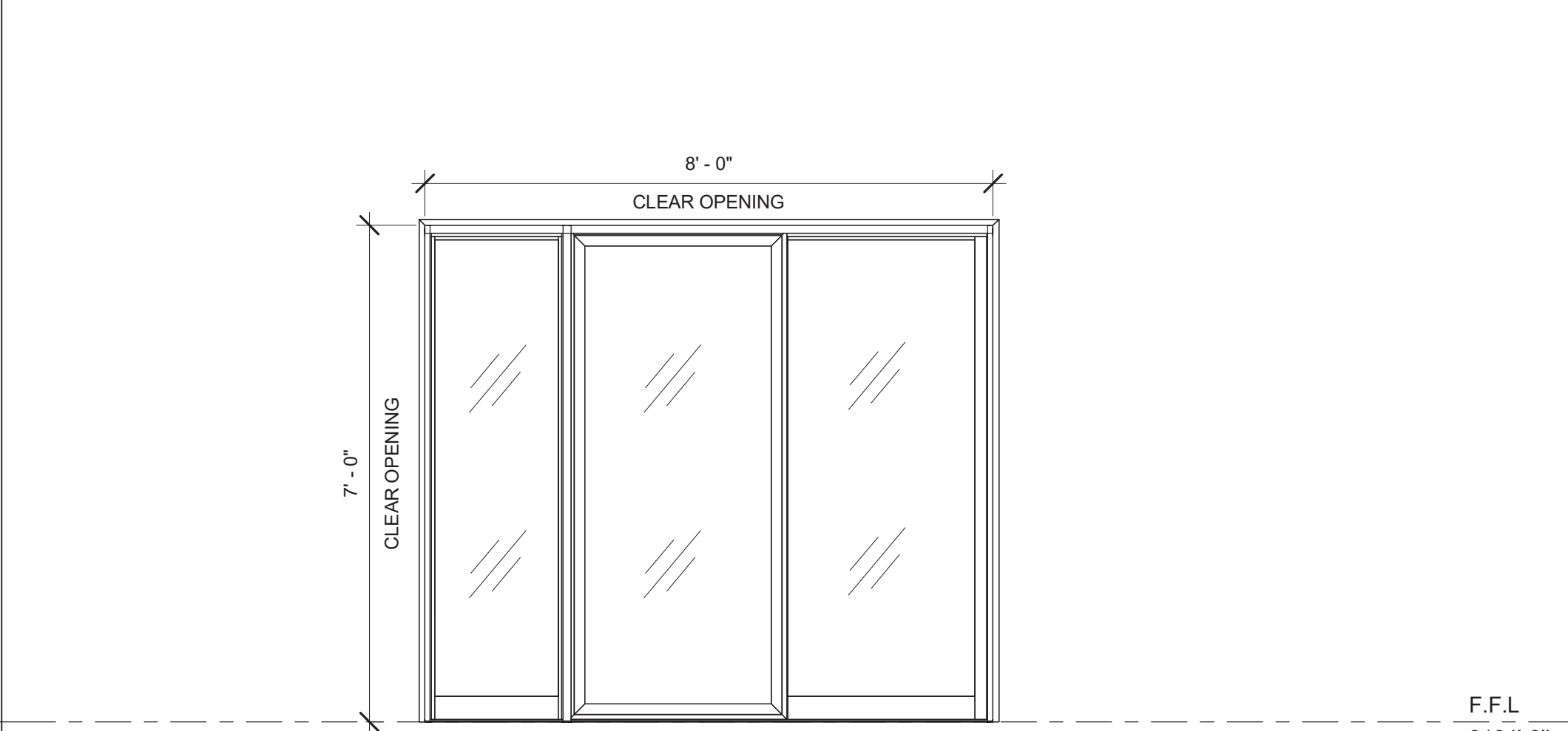
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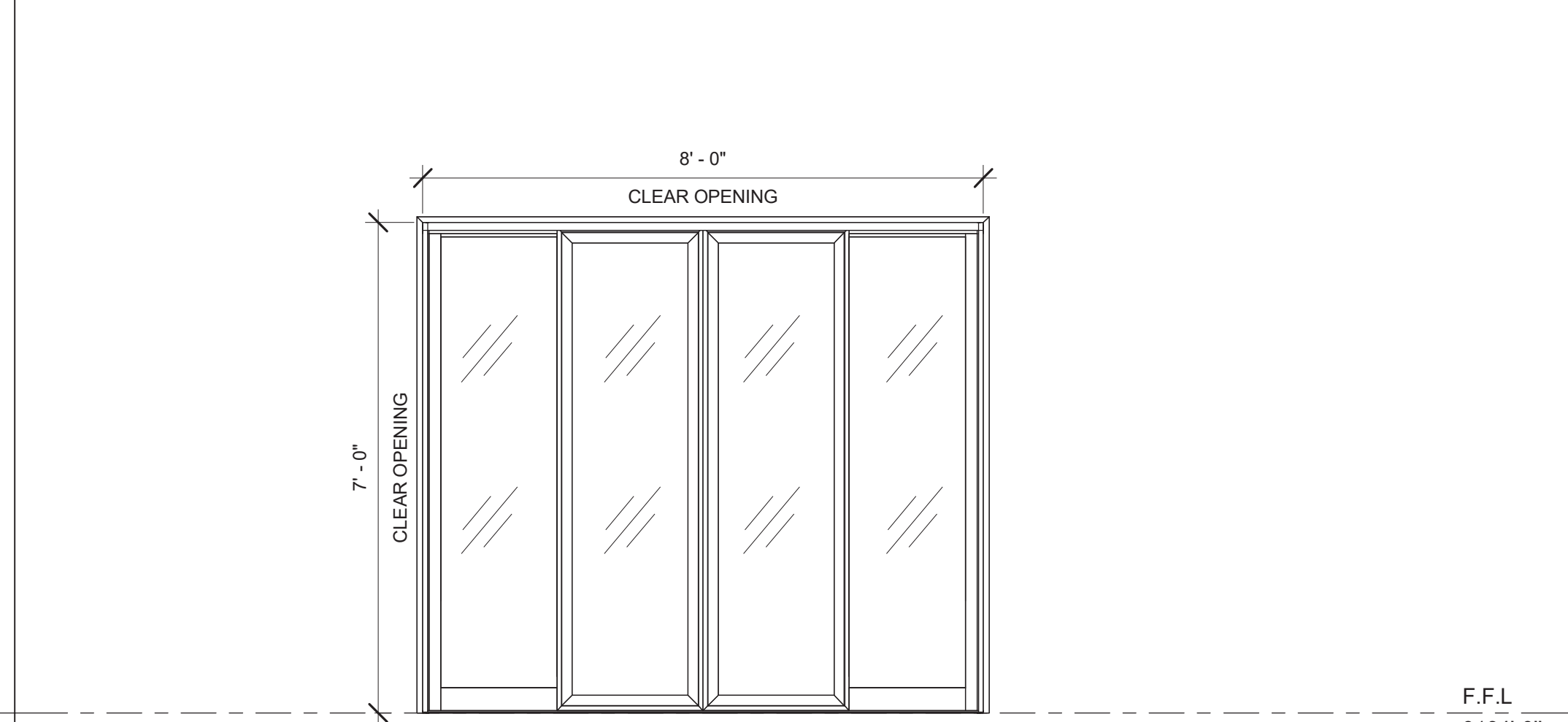
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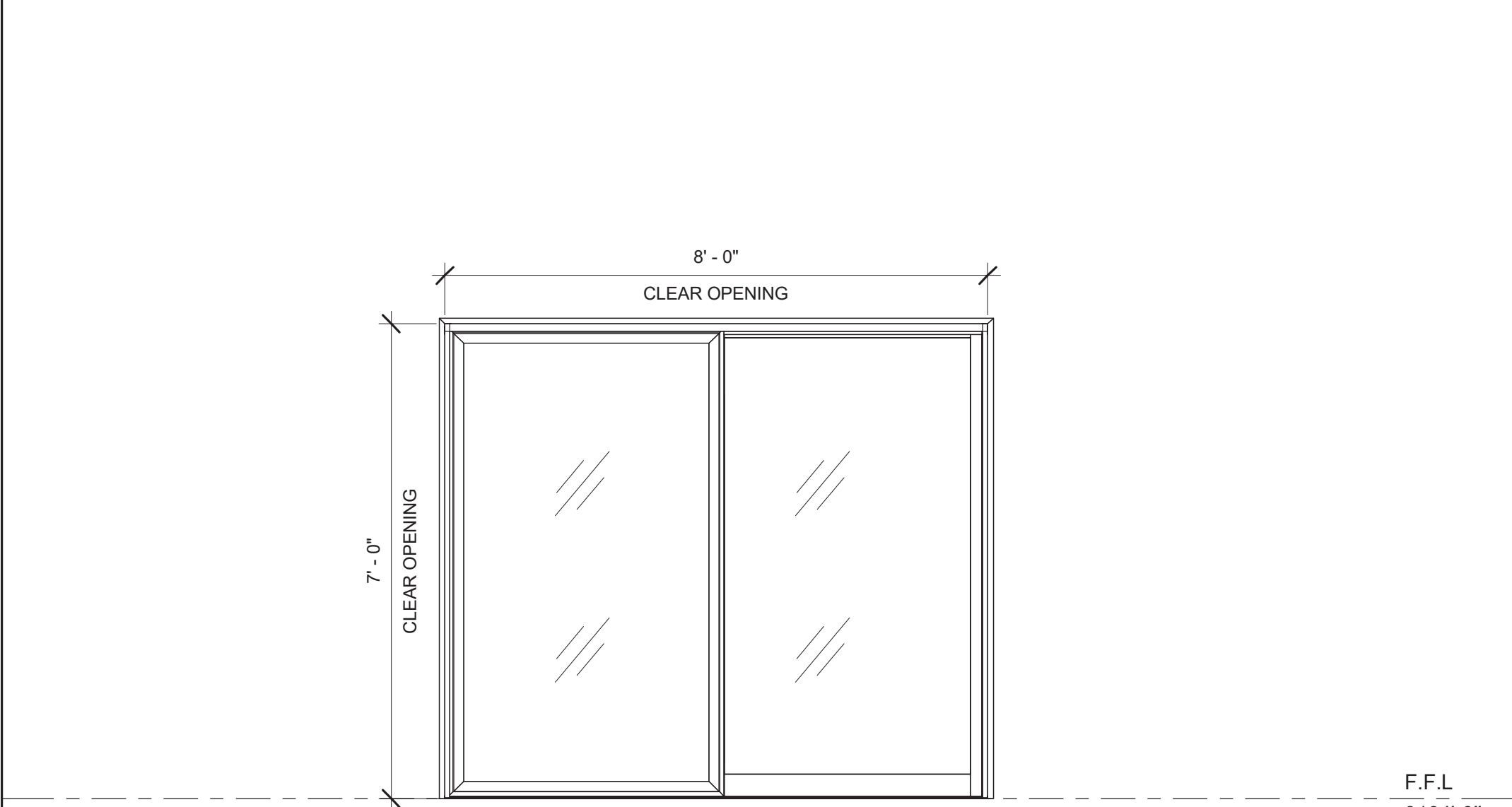
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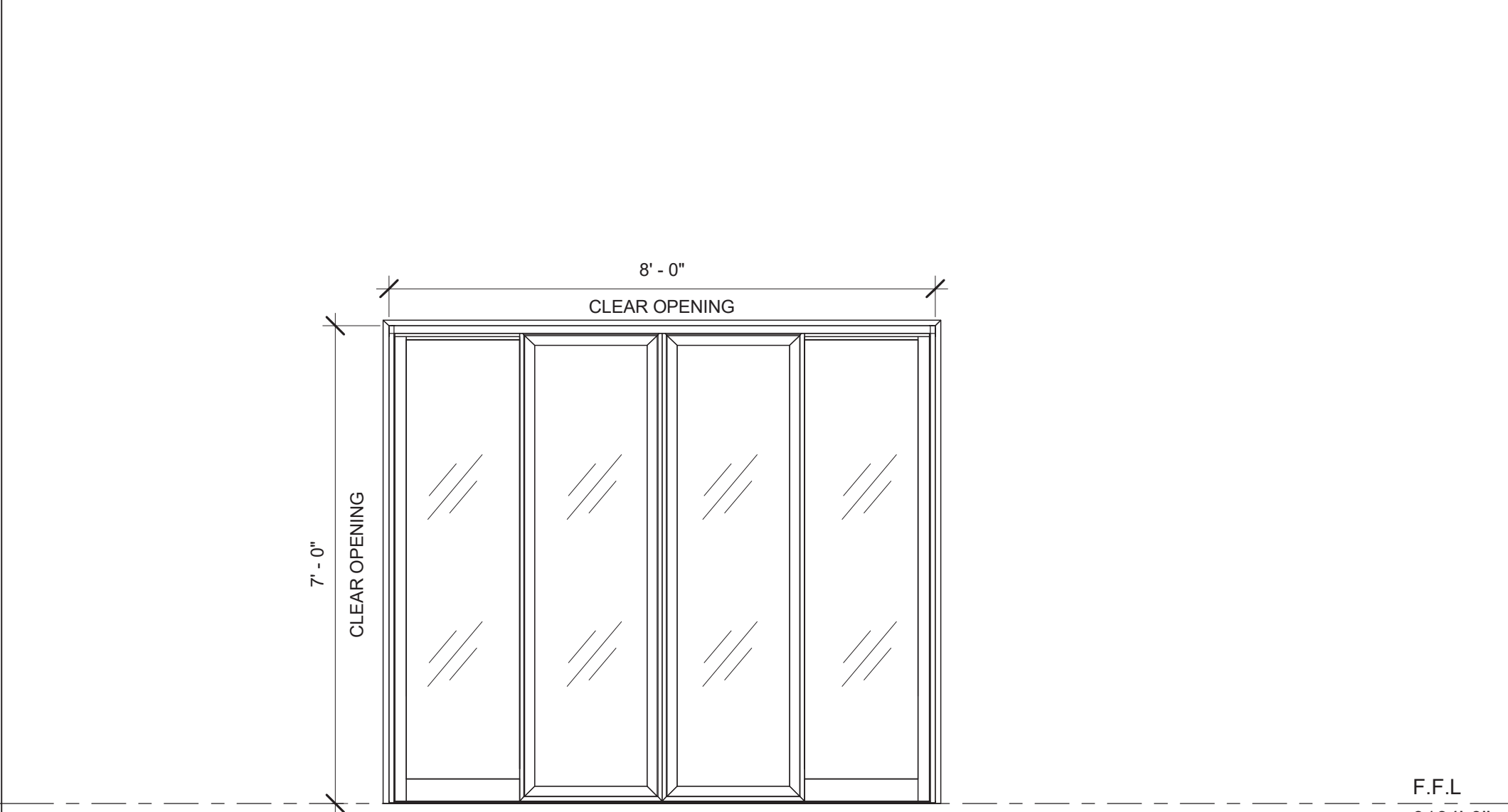
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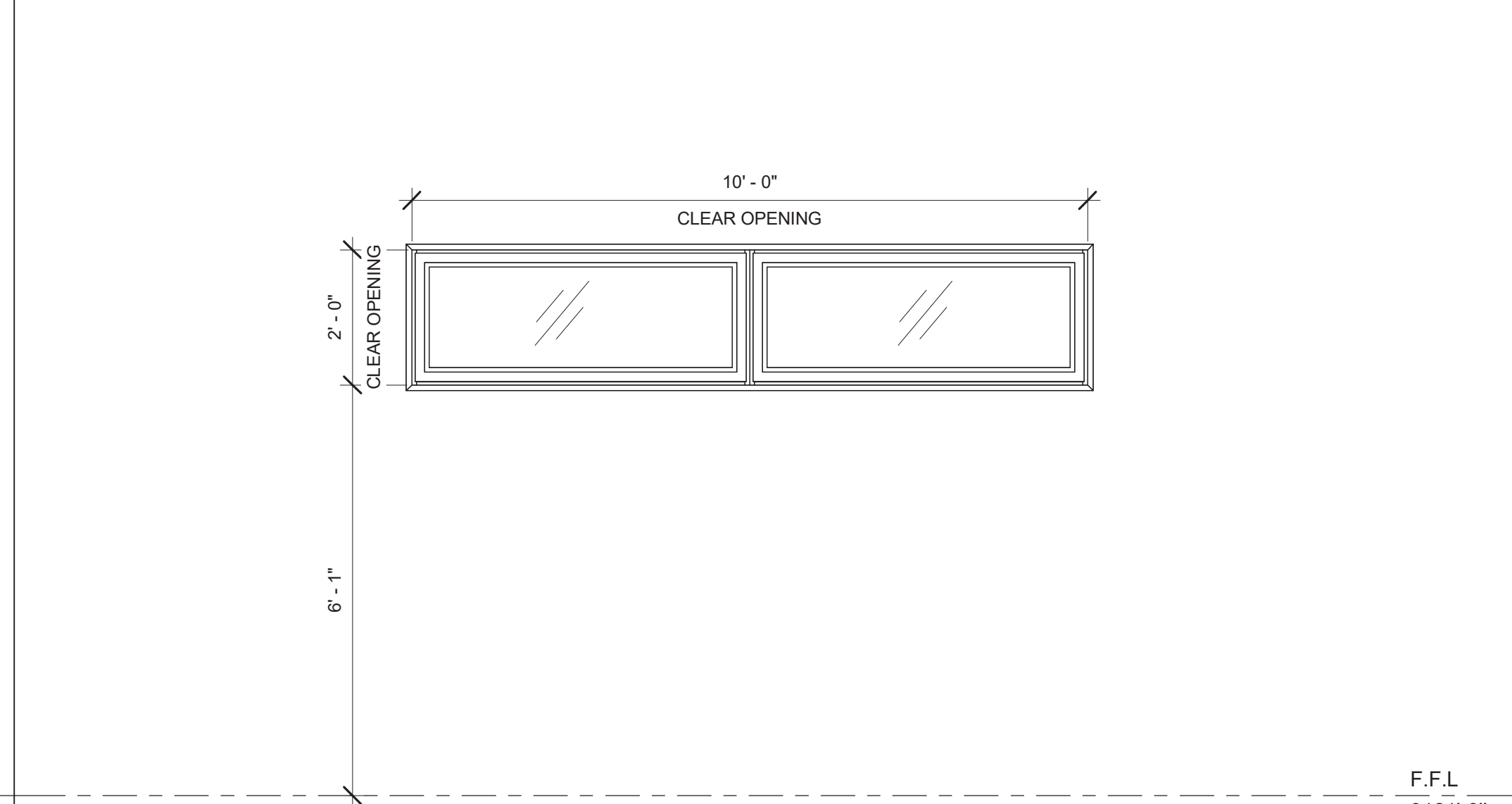
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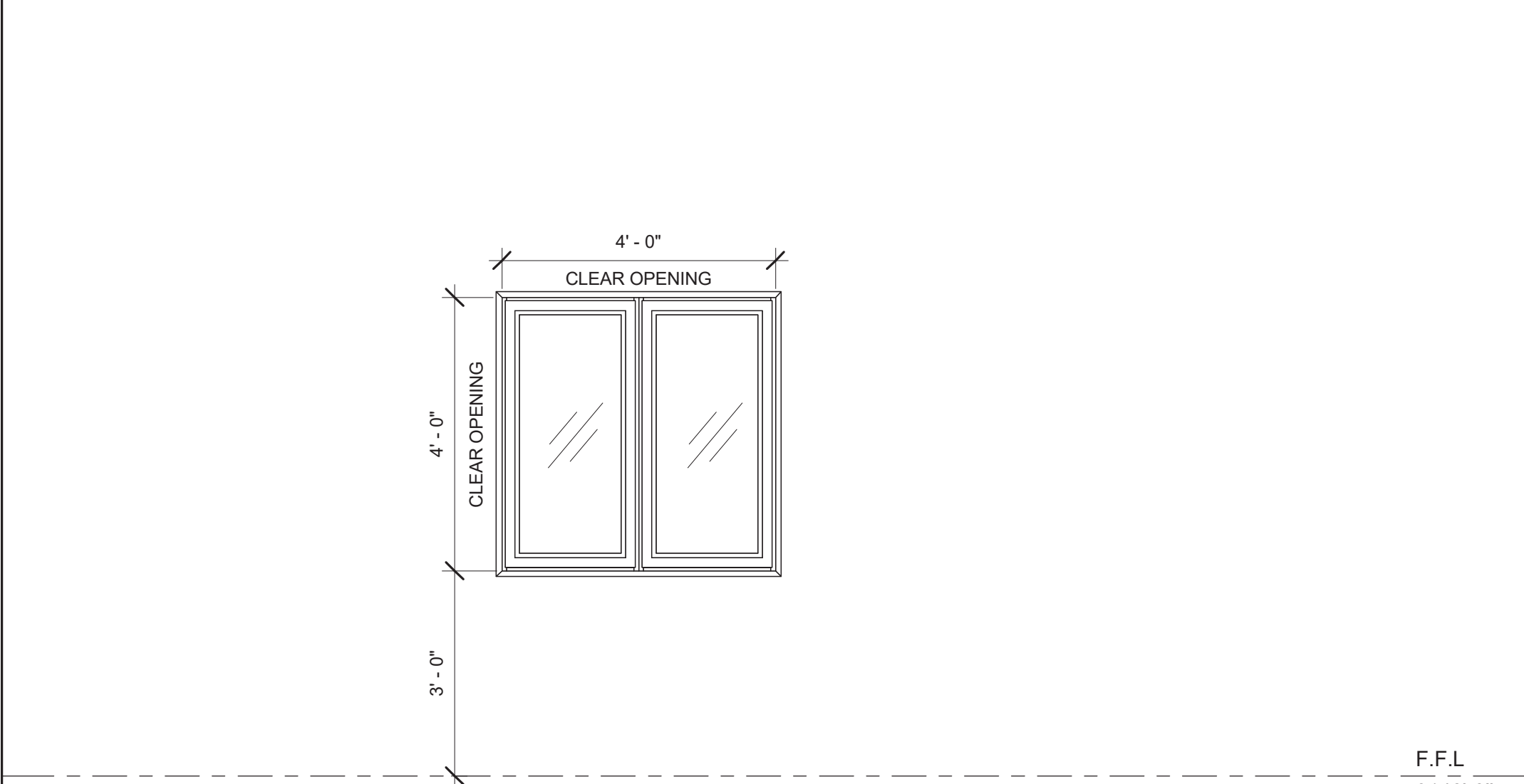
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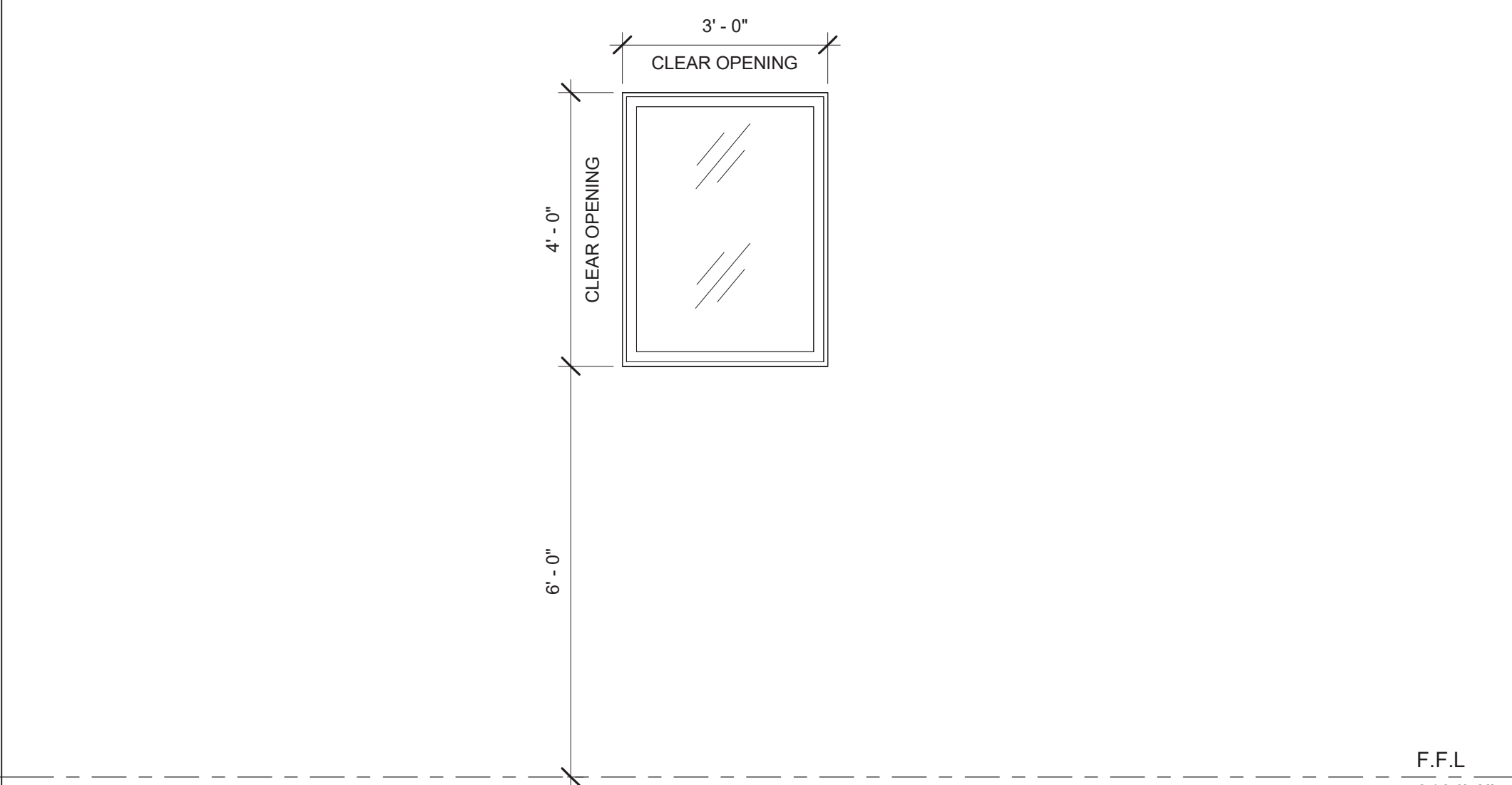
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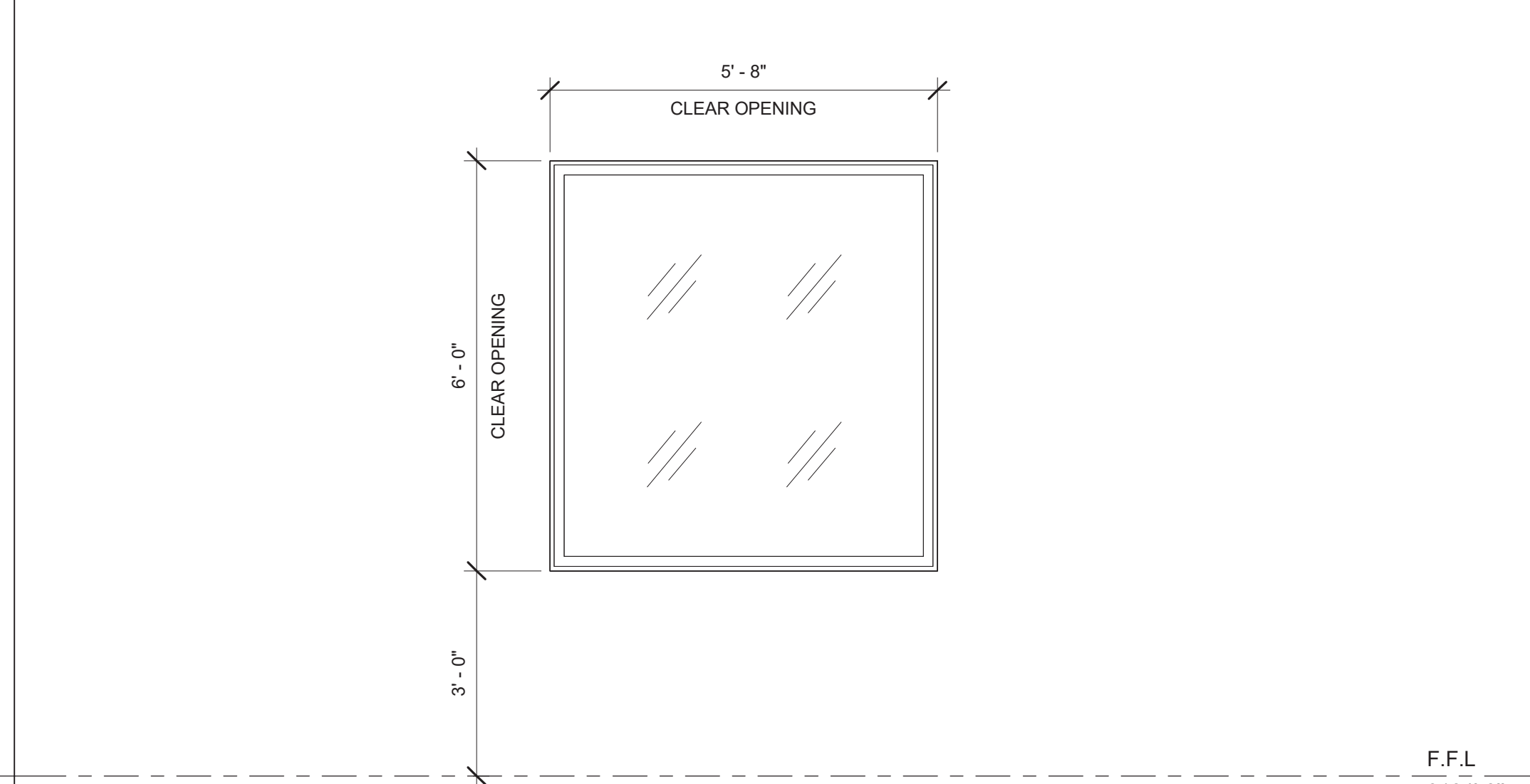
W09



W10



W11



W12

WINDOW SCHEDULE					
Win. No.	Type Mark	Height	Width	Sill Height	Head Height
1	W01	10' - 0"	11' - 11"	3' - 0"	13' - 0"
2	W02	7' - 0"	16' - 6"	3' - 0"	10' - 0"
3	W01	7' - 0"	8' - 0"	3' - 0"	10' - 0"
4	W03	10' - 0"	9' - 0"	0' - 0"	10' - 0"
5	W03	10' - 0"	8' - 5"	0' - 8"	10' - 8"
6	W04	10' - 0"	24' - 0"	0' - 0"	10' - 0"
7	W05	10' - 0"	11' - 11"	0' - 0"	10' - 0"
8	W05	10' - 0"	12' - 0"	0' - 0"	10' - 0"
9	W06	10' - 0"	16' - 0"	0' - 0"	10' - 0"
10	W07	10' - 0"	8' - 0"	0' - 0"	10' - 0"
11	W12	6' - 0"	5' - 8"	3' - 0"	9' - 0"
12	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
13	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
14	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
15	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
16	W09	2' - 0"	10' - 11"	7' - 0"	9' - 0"
17	W08	9' - 0"	15' - 10"	0' - 0"	9' - 0"
18	W01	9' - 0"	12' - 0"	0' - 0"	9' - 0"
19	W03	9' - 0"	11' - 8 1/2"	0' - 0"	9' - 0"
20	W08	9' - 0"	16' - 0"	0' - 0"	9' - 0"
21	W01	9' - 0"	8' - 10"	0' - 0"	9' - 0"
22	W11	4' - 0"	3' - 0"	5' - 0"	9' - 0"
23	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
24	W04	10' - 0"	20' - 0"	0' - 0"	10' - 0"
26	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
30	W08	10' - 0"	15' - 11 1/2"	0' - 1 1/2"	10' - 1 1/2"
27	W14	Refer Windows Elevation in A-8.2			
28	W15	Refer Windows Elevation in A-8.2			
29	W17	Refer Windows Elevation in A-8.2			
30	W18	Refer Windows Elevation in A-8.2			
31	W13	Refer Windows Elevation in A-8.2			
32	W16	Refer Windows Elevation in A-8.2			
33	W19	Refer Windows Elevation in A-8.2			
34	W22	Refer Windows Elevation in A-8.2			
35	W21	Refer Windows Elevation in A-8.2			
36	W20	Refer Windows Elevation in A-8.2			

Scale : 1/2" = 1'-0"
WINDOW SCHED.

THE JK COMPANIES

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THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

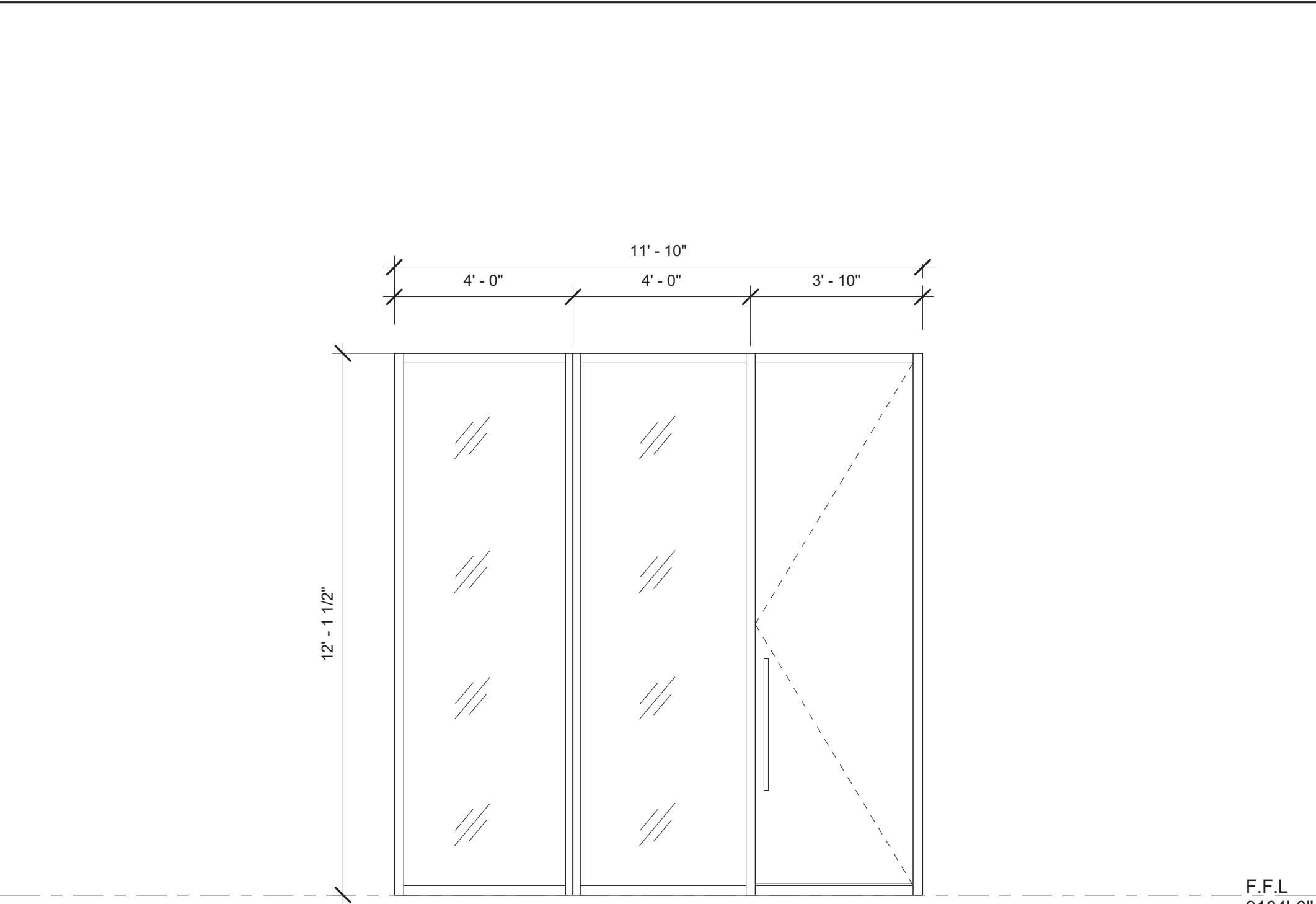
MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED
JUSTIN KILBANE
406403
03/01/2021
ARCHITECT

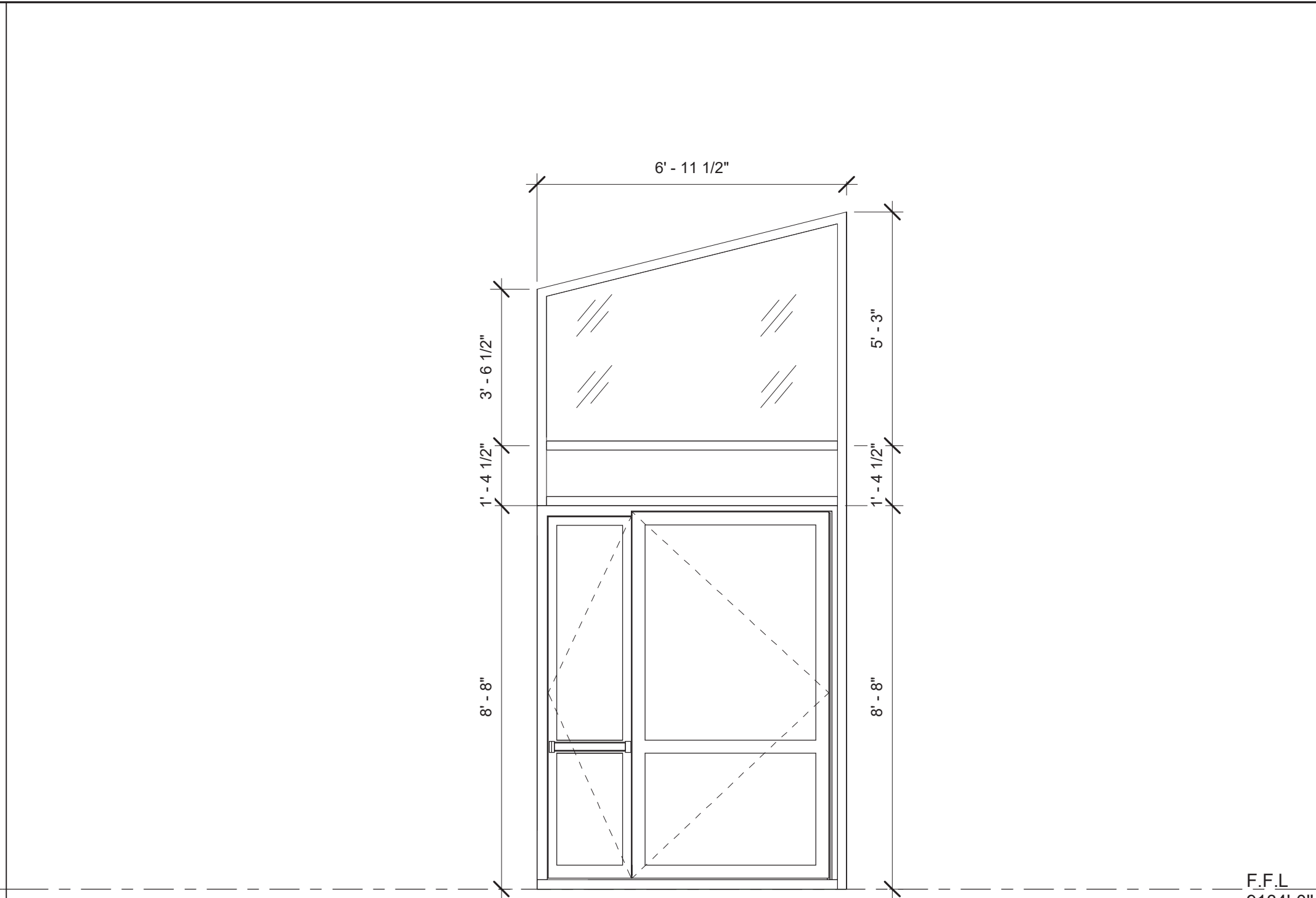
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CAREFREE, AZ 85377
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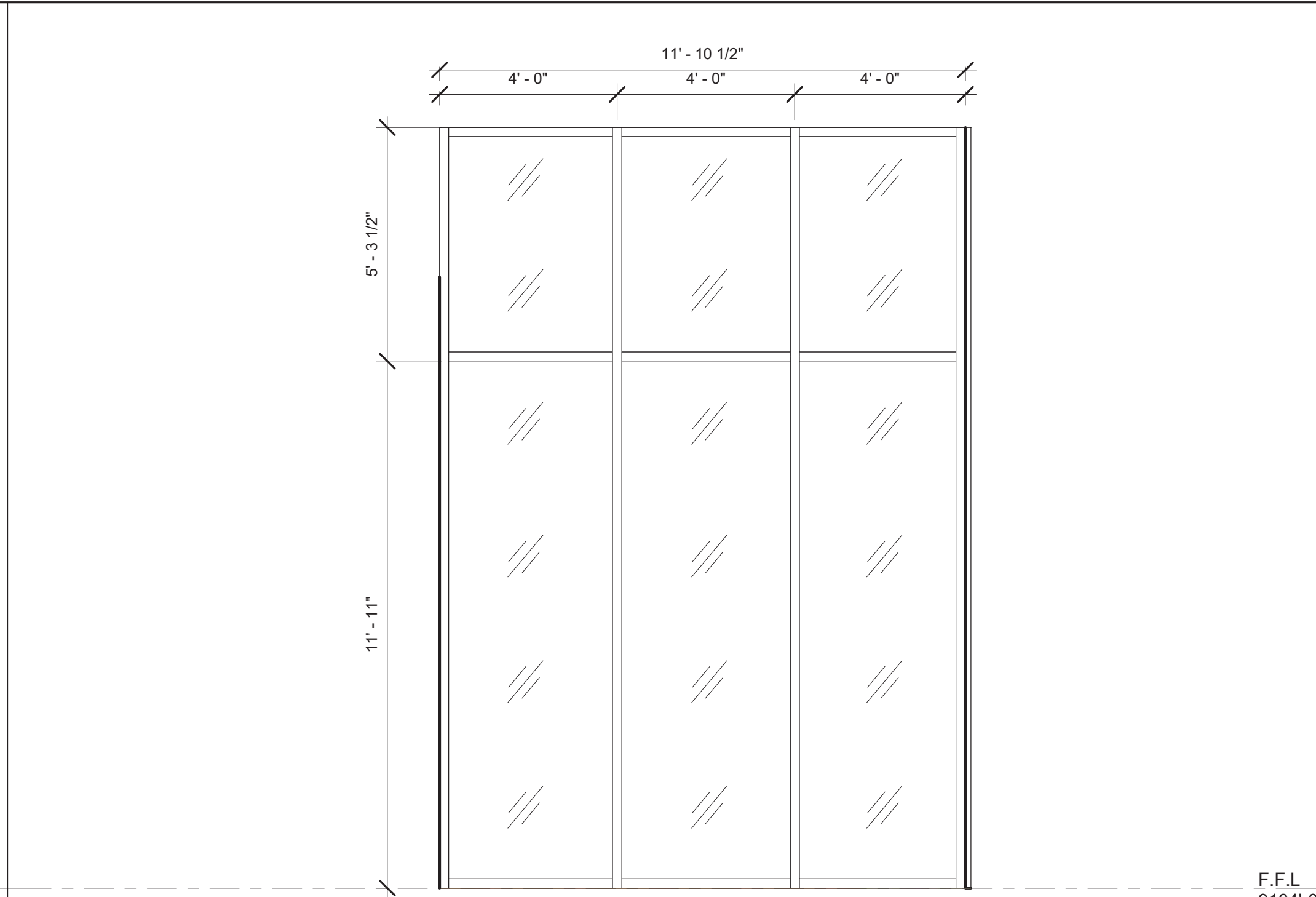
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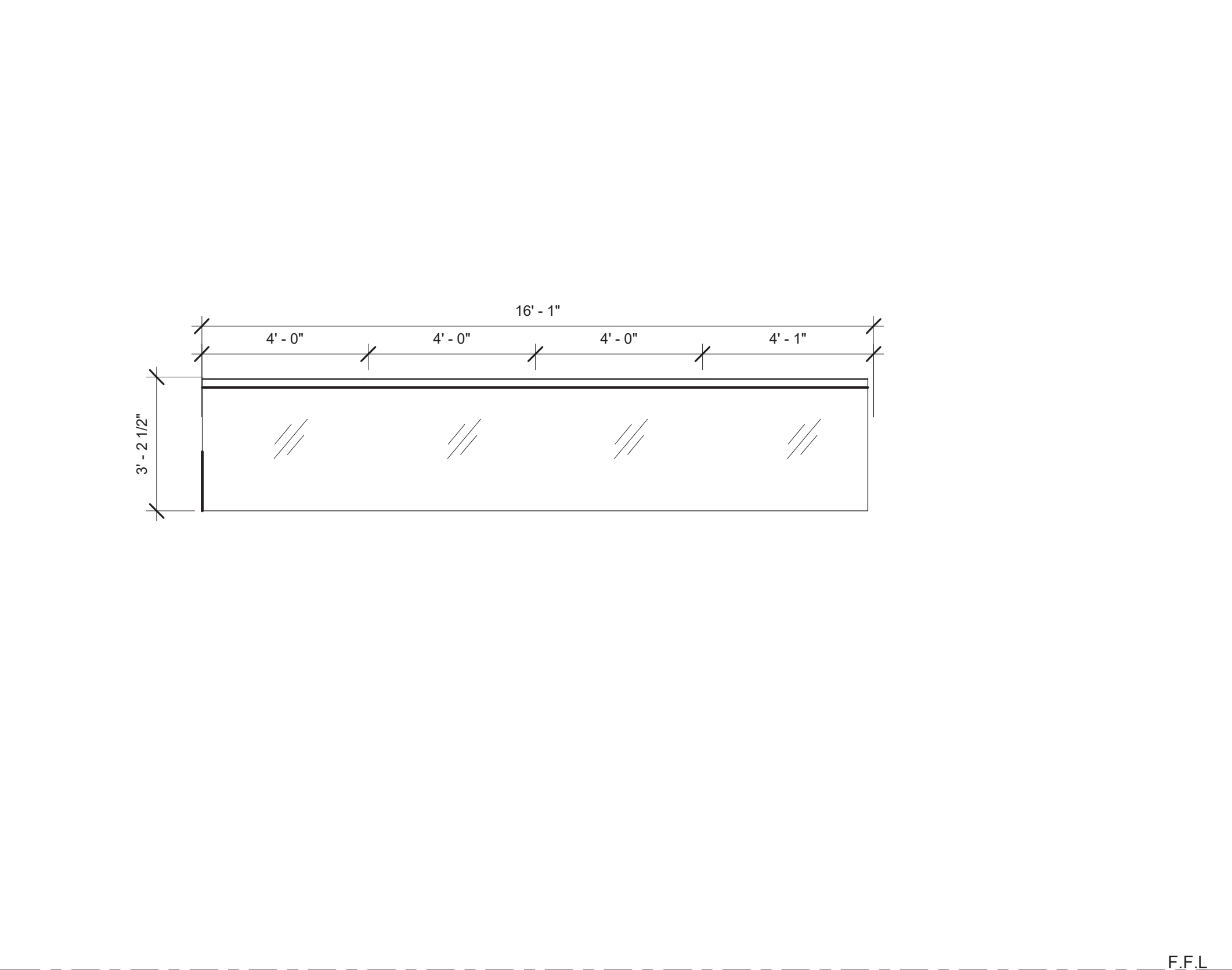
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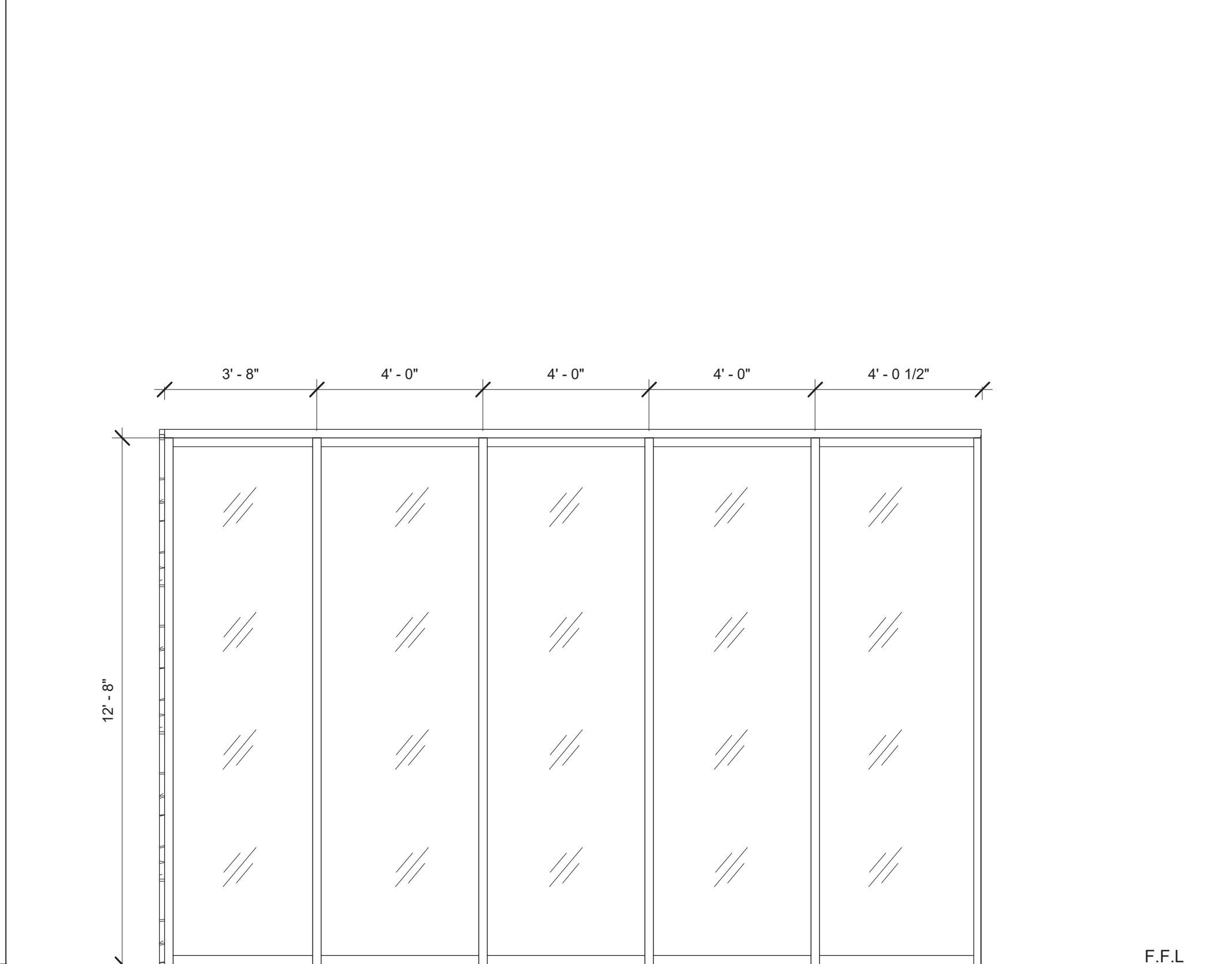
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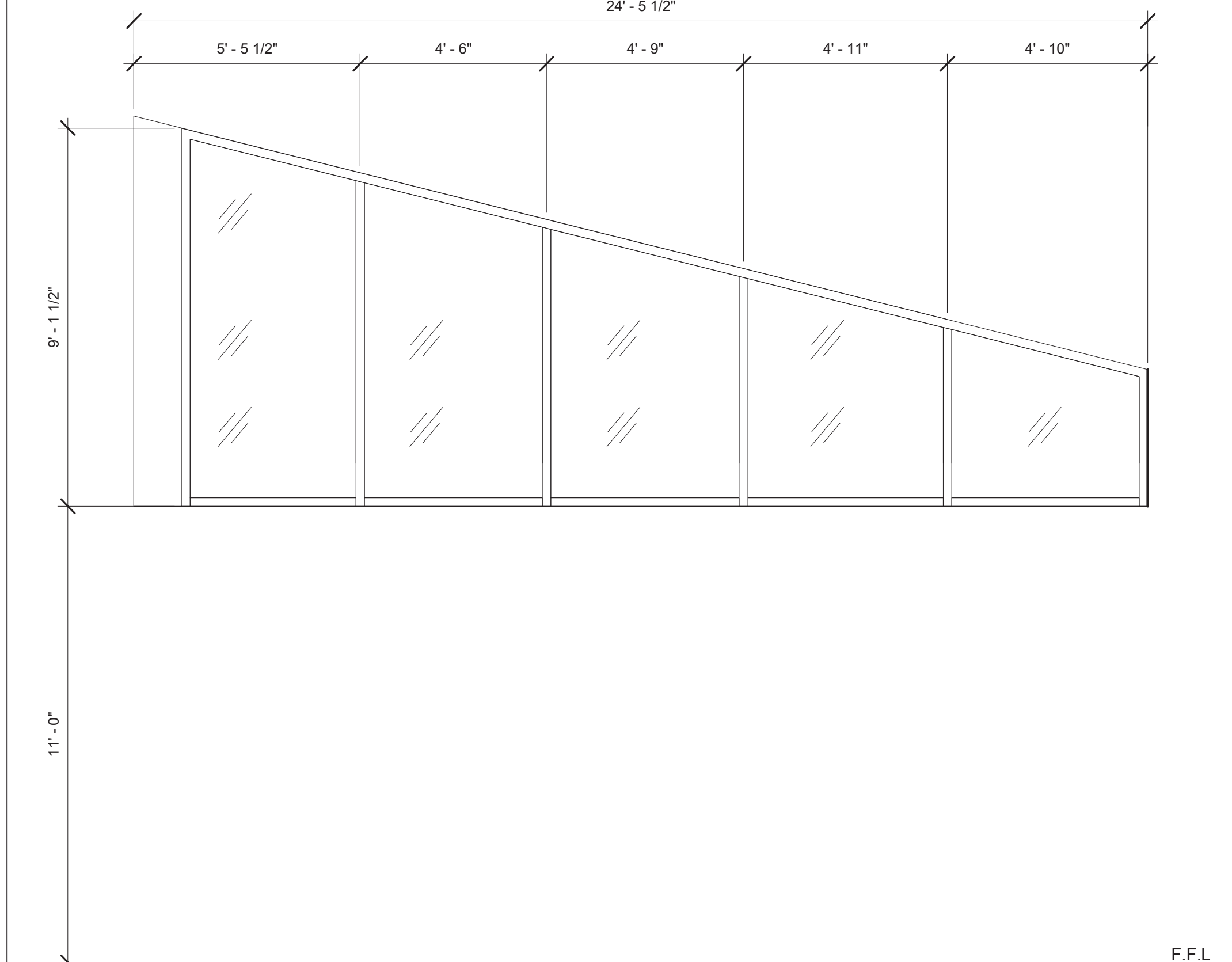
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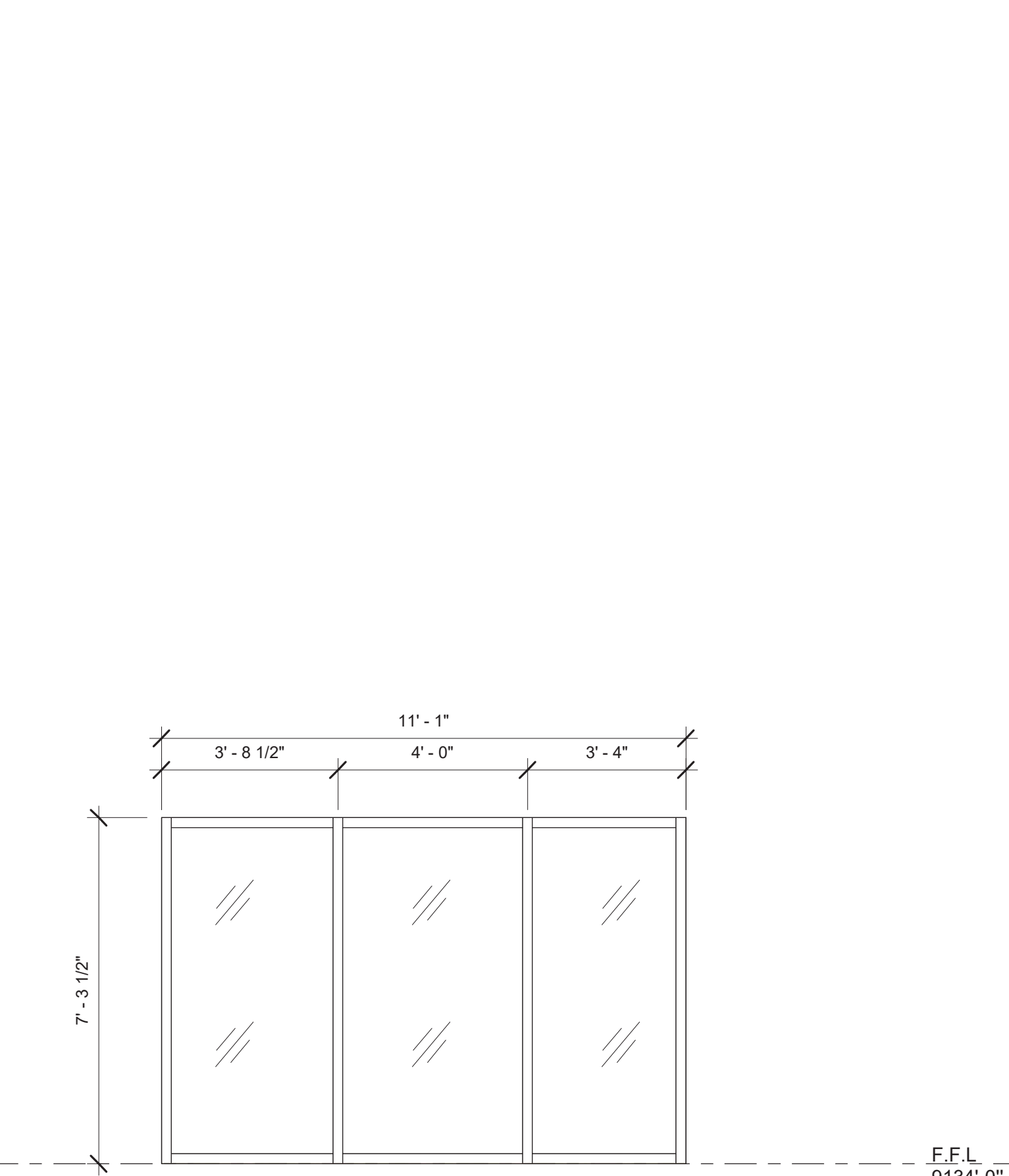
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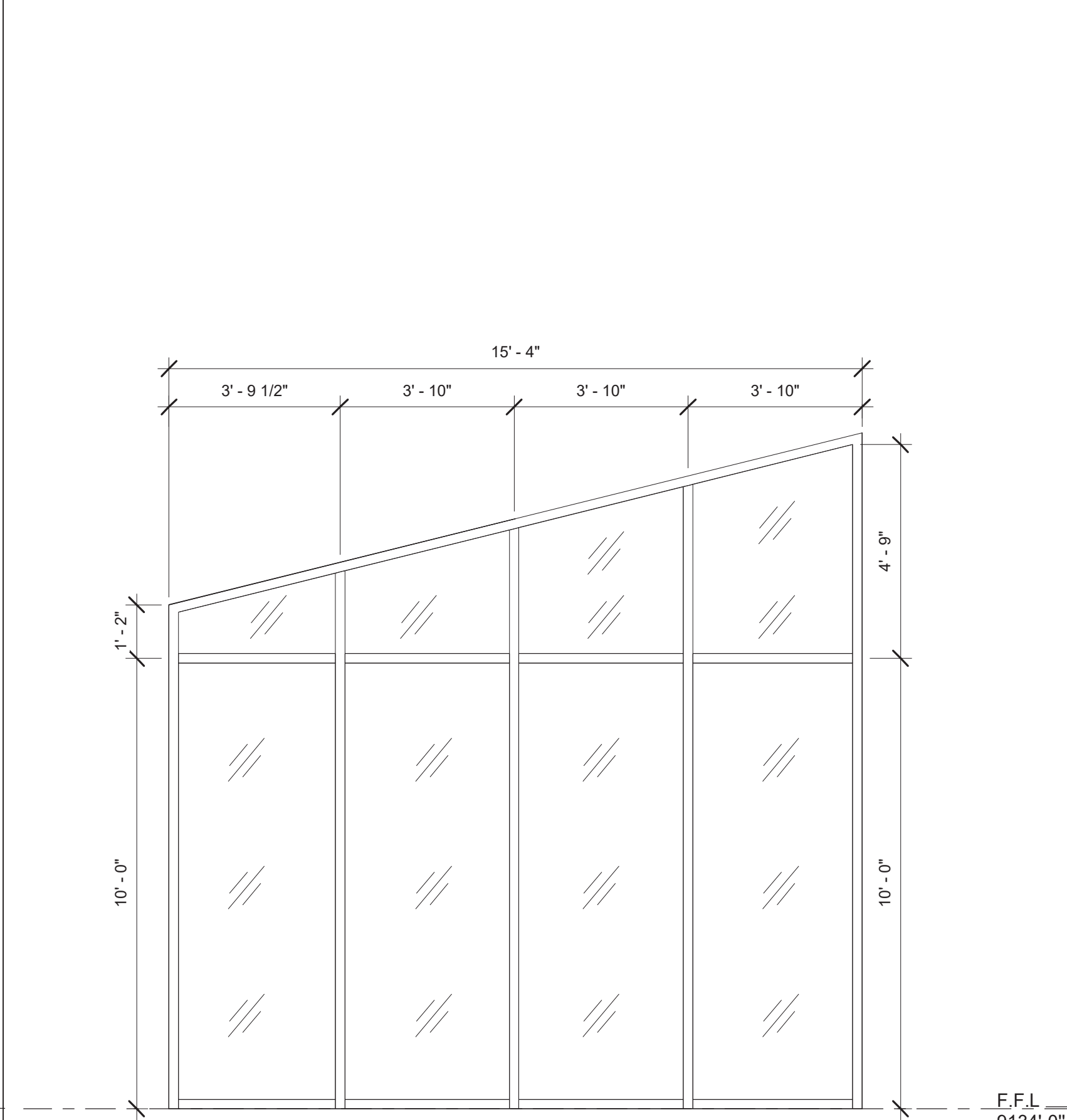
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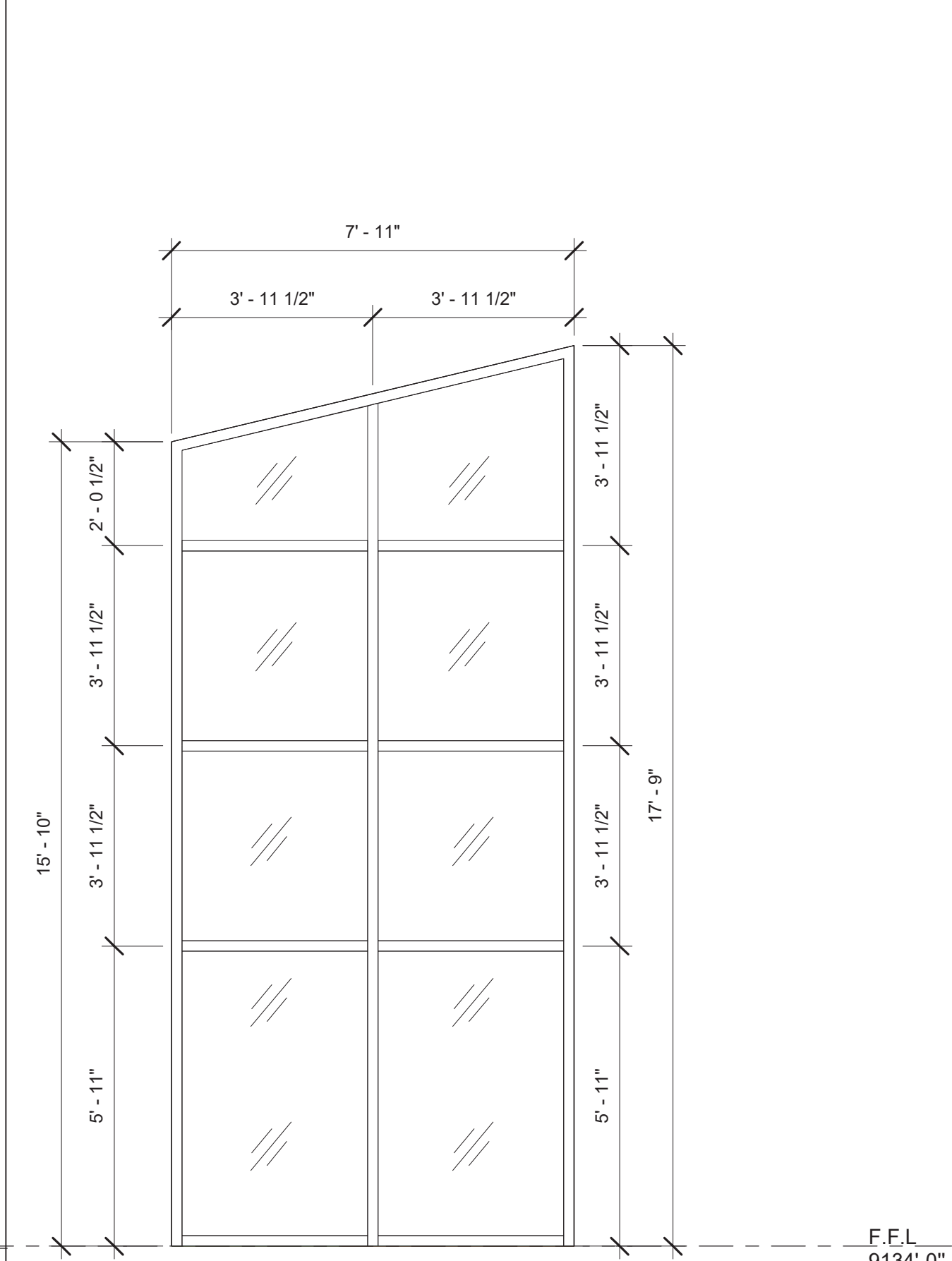
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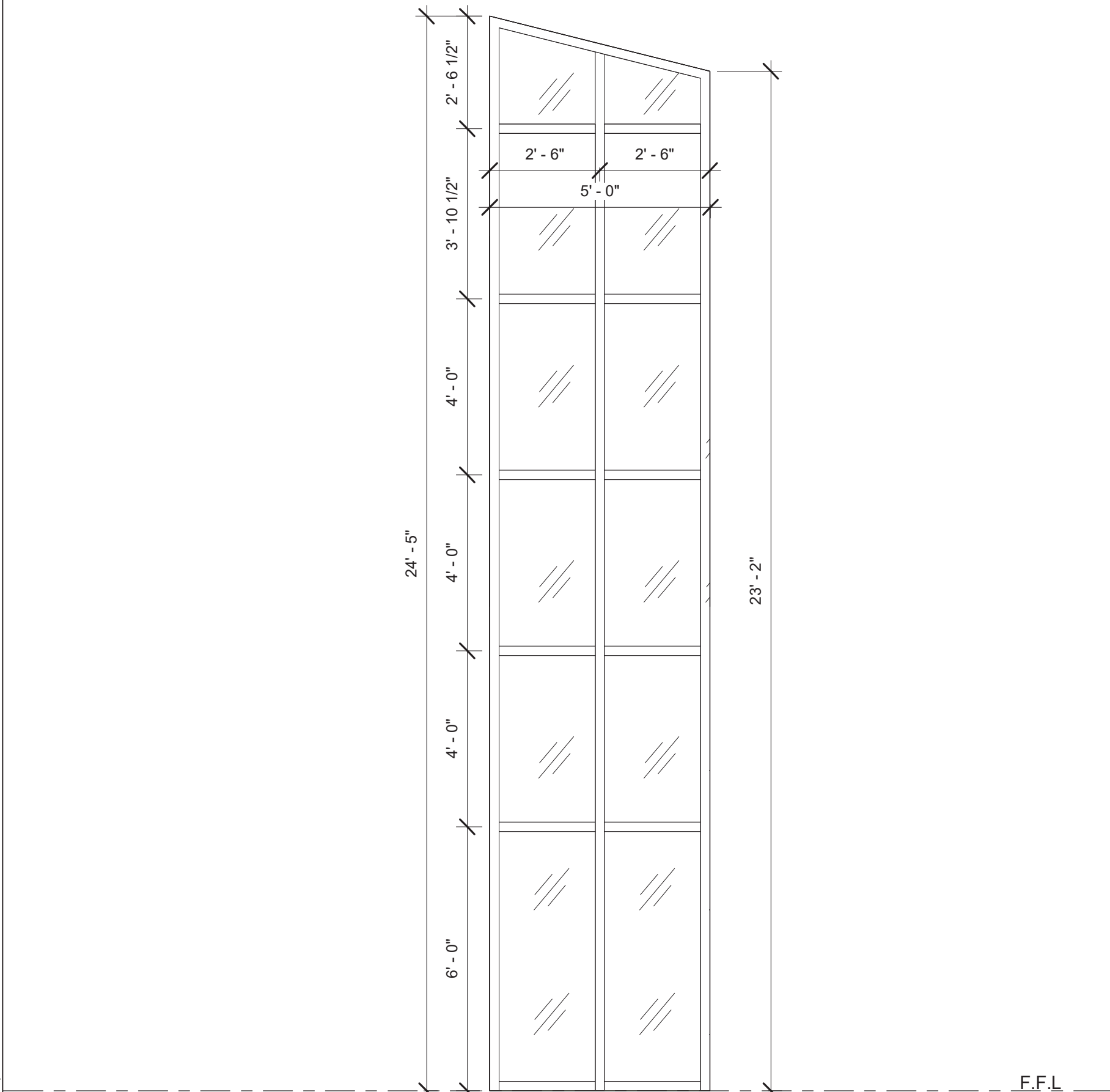
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W20

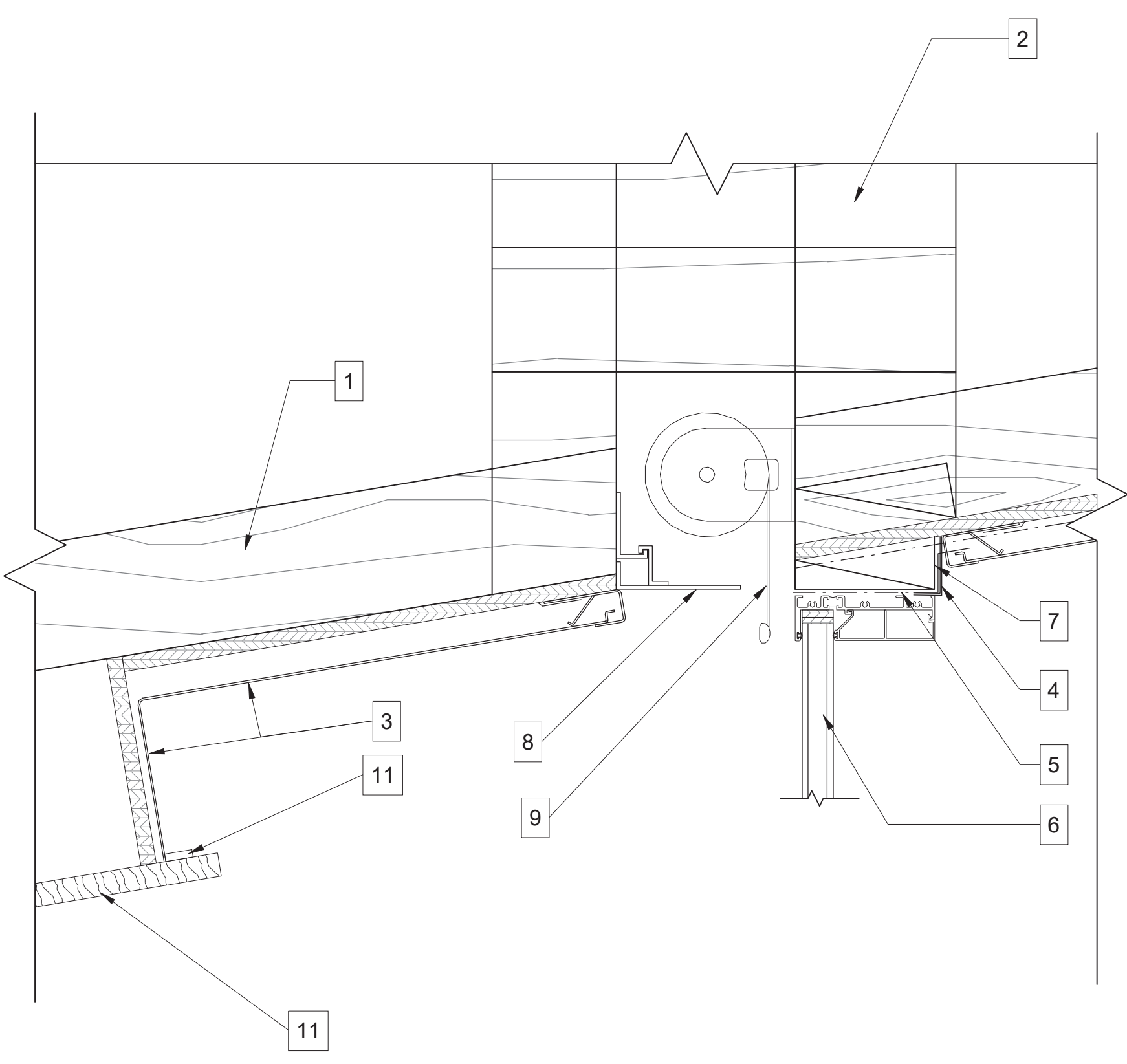
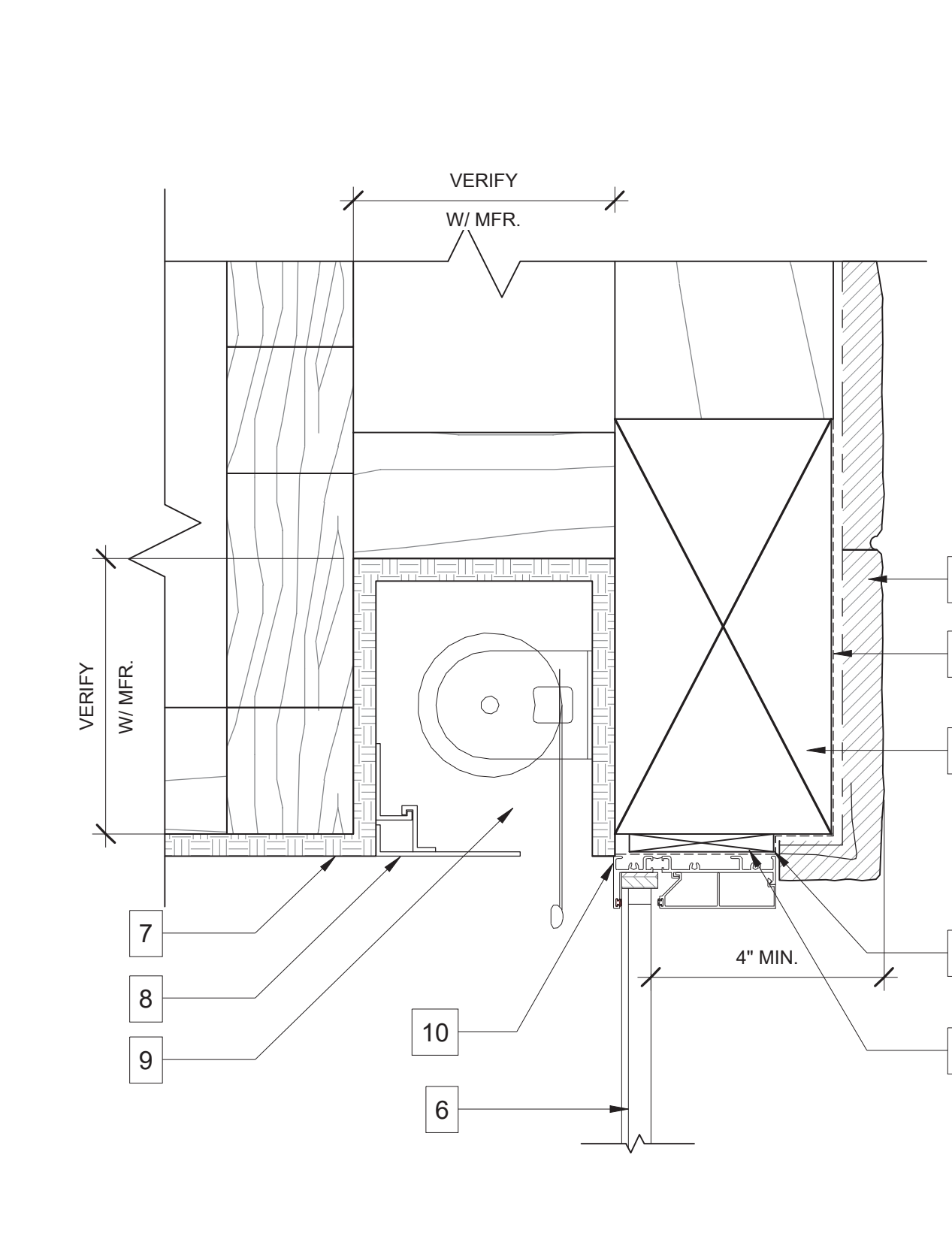
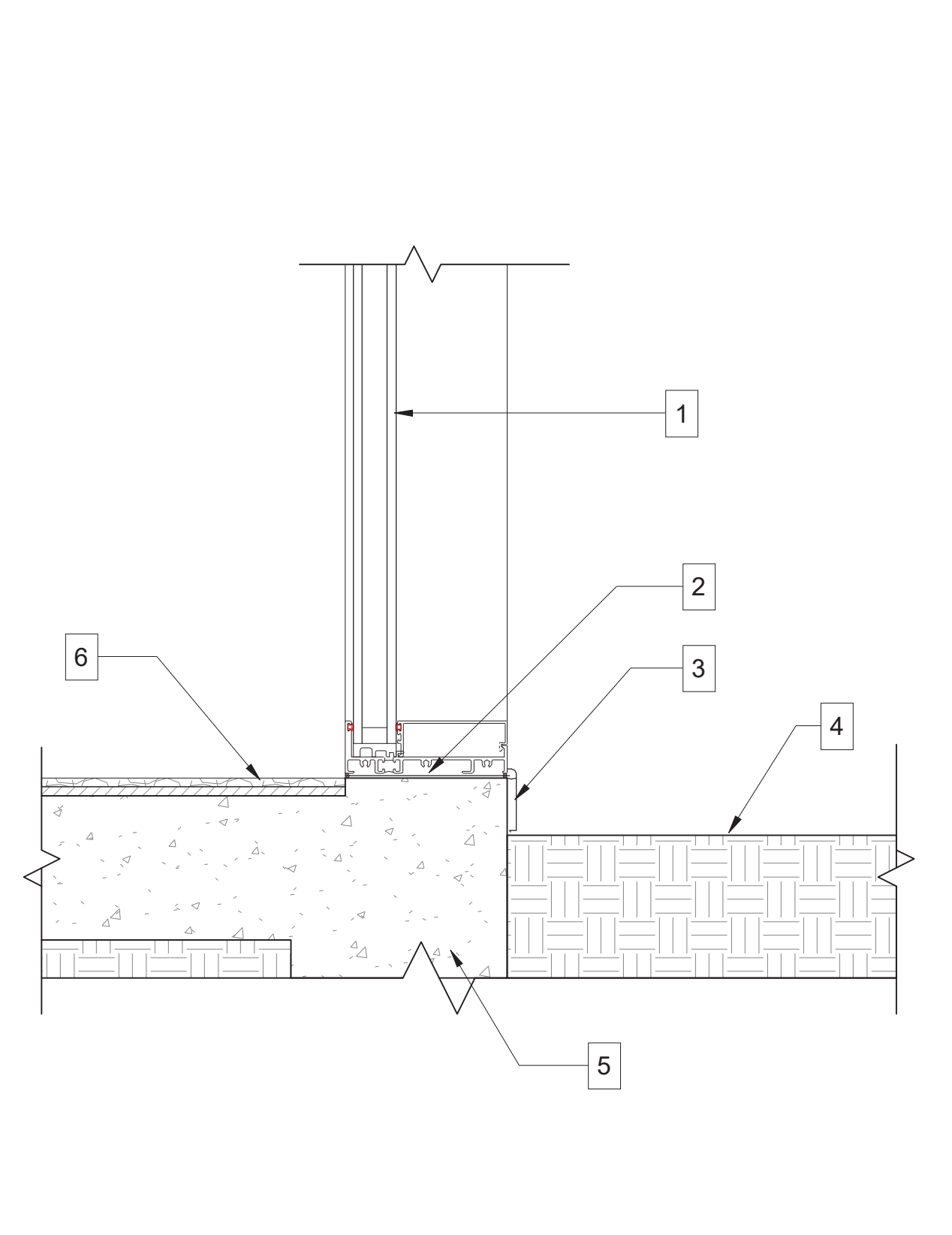
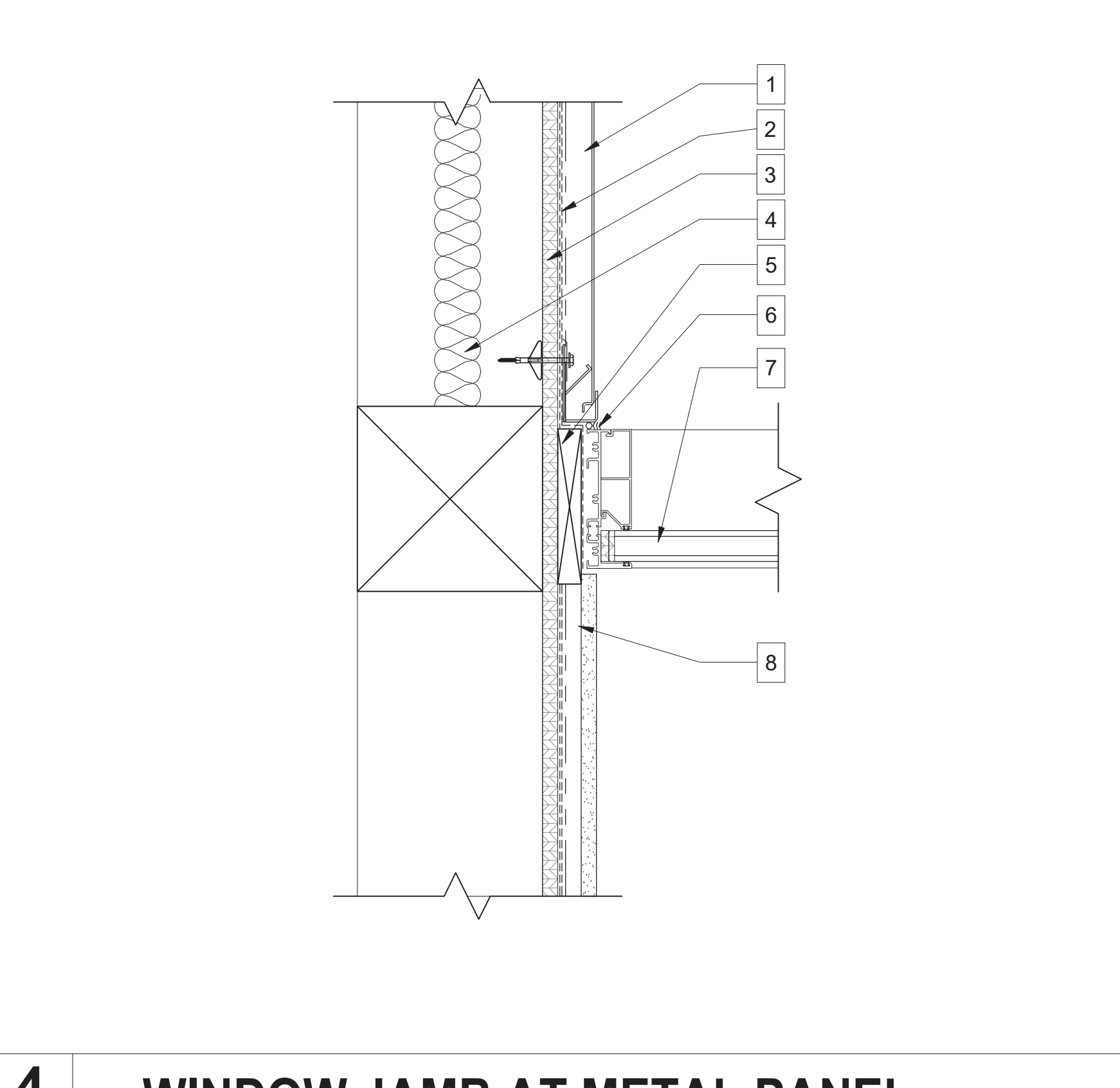
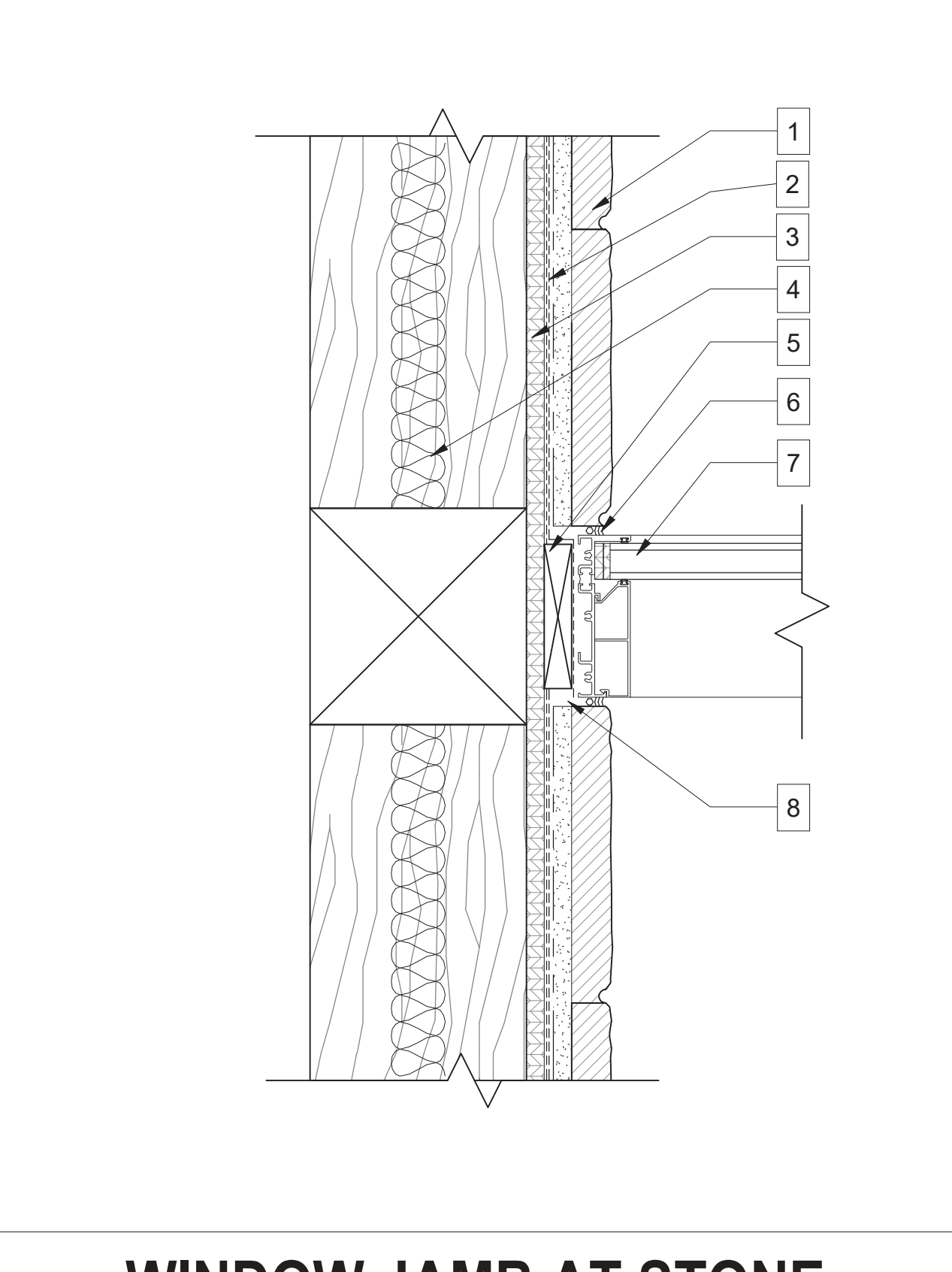
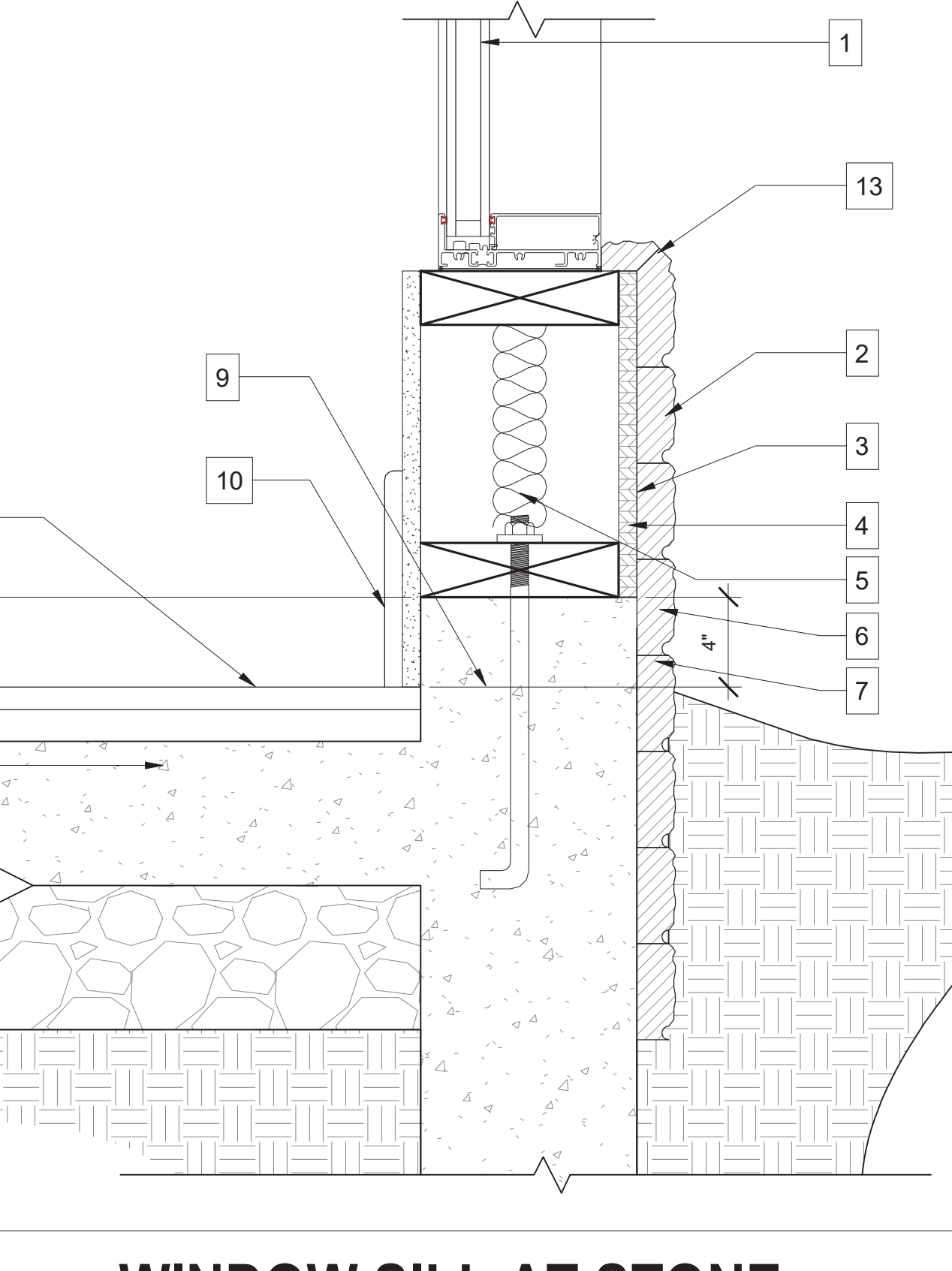
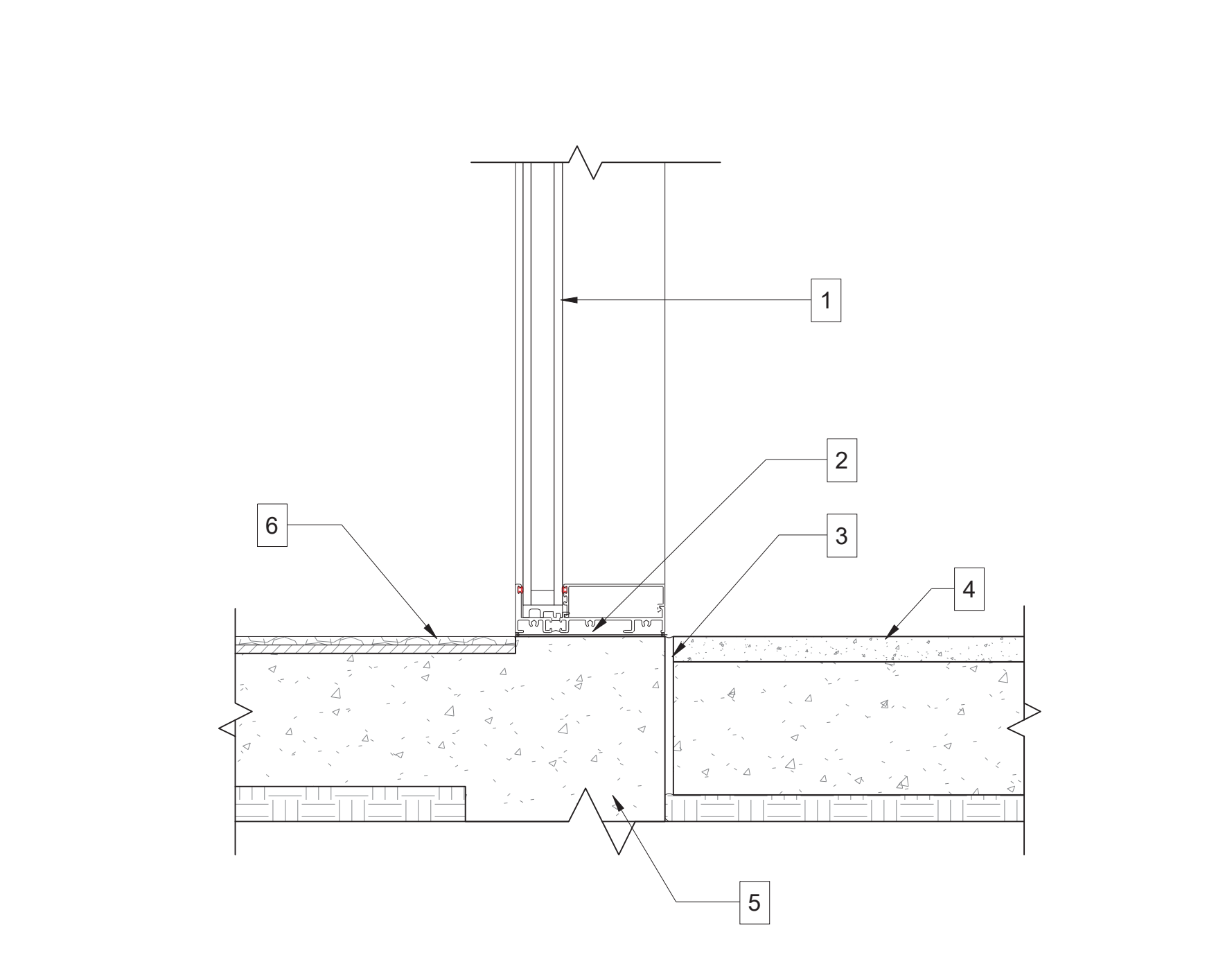
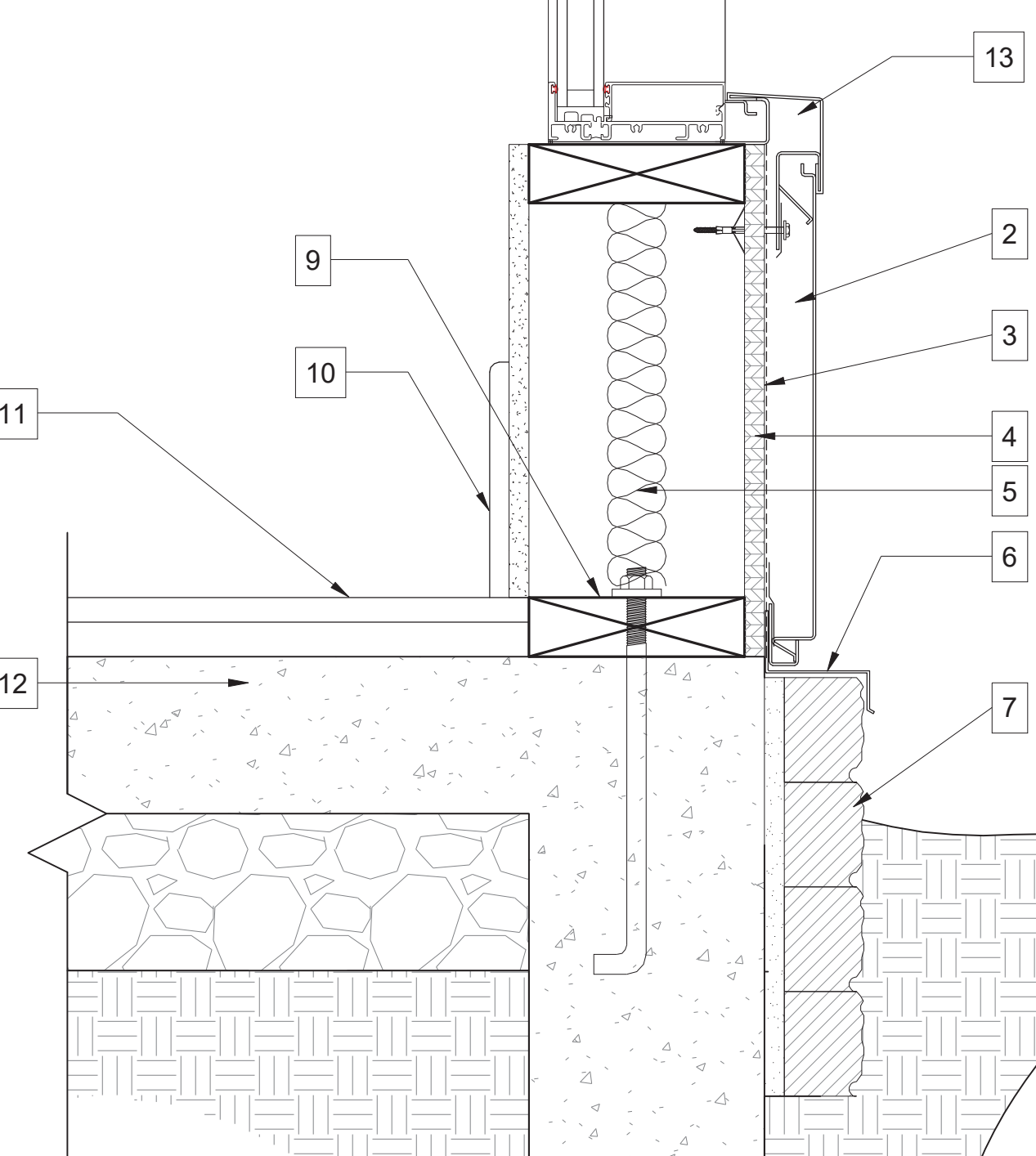


W21



W21

Scale : 3/8" = 1'-0"
WINDOW SCHED.

	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div><div>1. ROOF FRAMING PER STRUCTURAL PLAN.</div><div>2. BLOCKING AS REQUIRED.</div><div>3. METAL PANEL.</div><div>4. BRAKE METAL TO MATCH WINDOW FRAME</div><div>5. WINDOW FLASHING</div><div>6. WINDOW-SEE SCHEDULE</div><div>7. SHIM AS REQUIRED</div><div>8. COVER PLATE. PAINT TO MATCH CEILING</div><div>9. SINGLE ROLLER SHADE POCKET. CONFIRM REQUIREMENTS WITH SHADE MFR</div><div>10. T&G WOOD CEILING PER PLAN</div><div>11. LED LIGHT-SEE LIGHTING PLAN</div></div>		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div><div>1. FRAMING PER PLANS/STRUCTURAL</div><div>2. WEATHER RESISTIVE BARRIER</div><div>3. STONE L'INTEL MIN. 4" T AND 4" WIDER THAN OPENING EACH SIDE.</div><div>4. CASING BEAD</div><div>5. SHIM TO ALIGN FRAME W/ FINISH FACE OF JAMB</div><div>6. FIXED WINDOW</div><div>7. 5/8" TYPE 'X' GYP. BD.</div><div>8. COVER PLATE. PAINT TO MATCH ADJACENT CEILING</div><div>9. SINGLE ROLLER SHADE POCKET. VERIFY REQUIREMENTS WITH MFR</div><div>10. AIR SEAL</div></div>		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div><div>1. WINDOW PER PLAN</div><div>2. ALUM. SILL PAN AND SILL COVER SET IN SEALANT. FINISH TO MATCH WINDOW</div><div>3. STUCCO SKIM COAT TO MATCH ADJACENT. FINISH TO WINDOW FRAME</div><div>4. FINISHED GRADE PER PLANS</div><div>5. FOUNDATION AND FOOTING PER PLANS</div><div>6. STONE TILE AND SETTING BED</div></div>			
01	WINDOW HEAD AT METAL PANEL	3" = 1'-0"	02	WINDOW HEAD AT STONE	3" = 1'-0"	03	WINDOW SILL AT TILE/ GRADE	3" = 1'-0"
	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div><div>1. OCM WALL PANEL PER PLAN</div><div>2. WEATHER RESISTIVE BARRIER</div><div>3. FRAMING/SHEATHING PER PLAN</div><div>4. R-19 OR BETTER INSULATION</div><div>5. SHIM TO ALIGN WINDOW W/ FINISH FACE OF JAMB</div><div>6. CONT. SEALANT W/ BACKER ROD</div><div>7. WINDOW PER PLAN</div><div>8. 5/8" TYPE 'X' GYP. BD.</div></div>		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div><div>1. STONE PER PLAN</div><div>2. WEATHER RESISTIVE BARRIER</div><div>3. FRAMING/SHEATHING PER PLAN</div><div>4. R-19 OR BETTER INSULATION</div><div>5. SHIM TO ALIGN WINDOW W/ FINISH FACE OF JAMB</div><div>6. CONT. SEALANT W/ BACKER ROD</div><div>7. WINDOW PER PLAN</div><div>8. AIR SEAL</div></div>		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div><div>1. WINDOW PER PLAN</div><div>2. STONE WALL ASSEMBLY PER PLANS</div><div>3. WEATHER RESISTIVE BARRIER</div><div>4. FRAMING & SHEATHING PER STRUCTURAL</div><div>5. R-21 OR BETTER INSULATION</div><div>6. WEEP SCREED</div><div>7. STONE TO EXTEND 4" BELOW GRADE</div><div>8. FINISHED GRADE PER LANDSCAPING SLOPE AWAY FROM BUILDING 2%</div><div>9. PRESSURE TREATED SILL PLATE</div><div>10. WALL BASE BOARD WHERE OCCURS</div><div>11. FLOORING AS OCCURS</div><div>12. CONCRETE SLAB & FOUNDATION PER STRUCTURAL</div><div>13. 1/4"-1'-0 SLOPE IN STONE TO EXTERIOR.</div></div>			
04	WINDOW JAMB AT METAL PANEL	3" = 1'-0"	05	WINDOW JAMB AT STONE	3" = 1'-0"	06	WINDOW SILL AT STONE	3" = 1'-0"
	<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div><div>1. WINDOW PER PLAN</div><div>2. ALUM. SILL PAN AND SILL COVER SET IN SEALANT. FINISH TO MATCH WINDOW</div><div>3. COMPRESSIBLE FILLER</div><div>4. HARDSCAPE PER PLANS</div><div>5. FOUNDATION AND FOOTING PER PLANS</div><div>6. STONE TILE AND SETTING BED</div></div>		<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div><div>1. WINDOW PER PLAN</div><div>2. METAL WALL ASSEMBLY PER PLANS</div><div>3. WEATHER RESISTIVE BARRIER</div><div>4. FRAMING & SHEATHING PER STRUCTURAL</div><div>5. R-21 OR BETTER INSULATION</div><div>6. METAL FLASHING.</div><div>7. STONE VENEER ON MORTAR BED.</div><div>8. FINISHED GRADE PER LANDSCAPING. SLOPE AWAY FROM BUILDING 2%</div><div>9. PRESSURE TREATED SILL PLATE</div><div>10. WALL BASE BOARD WHERE OCCURS</div><div>11. FLOORING AS OCCURS</div><div>12. CONCRETE SLAB & FOUNDATION PER STRUCTURAL</div><div>13. 1/4"-1'-0 SLOPE IN STONE TO EXTERIOR.</div></div>	<div>Scale : 3" = 1'-0"</div> <div>WINDOW DETAILS</div>				
07	WINDOW SILL AT HARDSCAPE	3" = 1'-0"	08	WINDOW SILL AT METAL PANEL	3" = 1'-0"			

THE JK COMPANIES

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THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED

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406403

03/04/2024

ARCHITECT

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SHEET NO.

A-8.3

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THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED

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406403

03/04/2021

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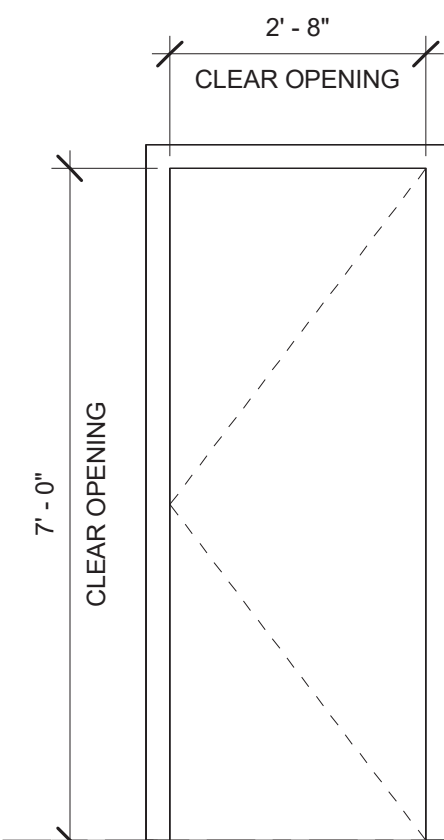
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05-07-2022

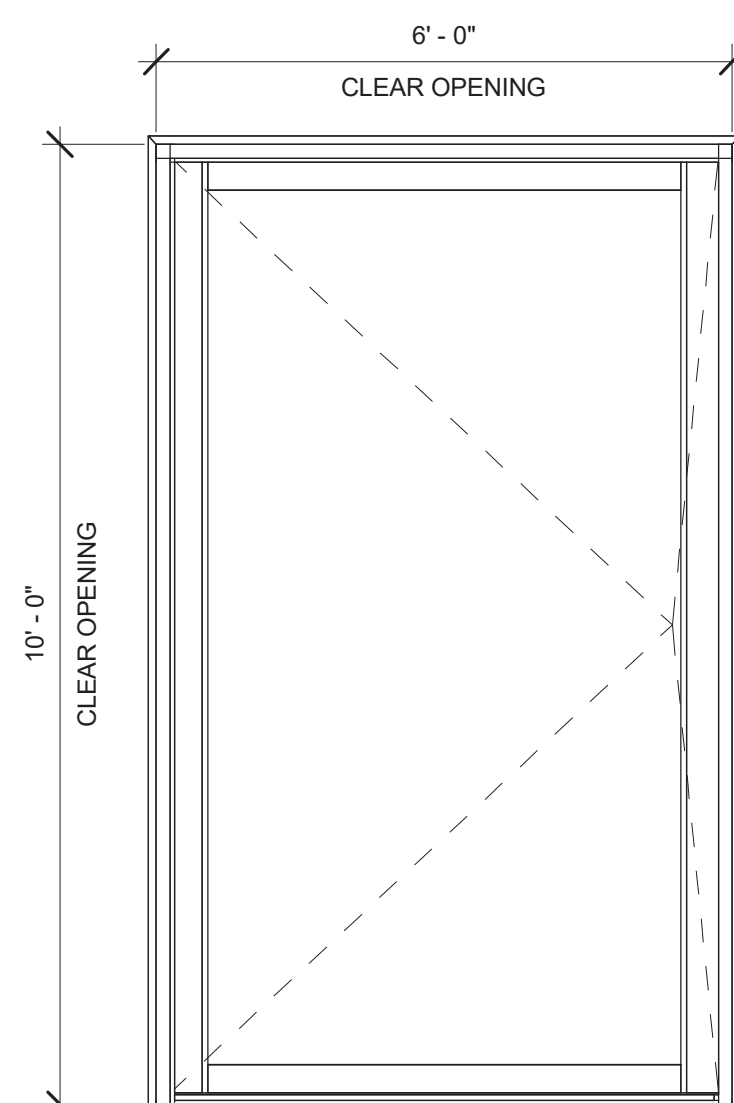
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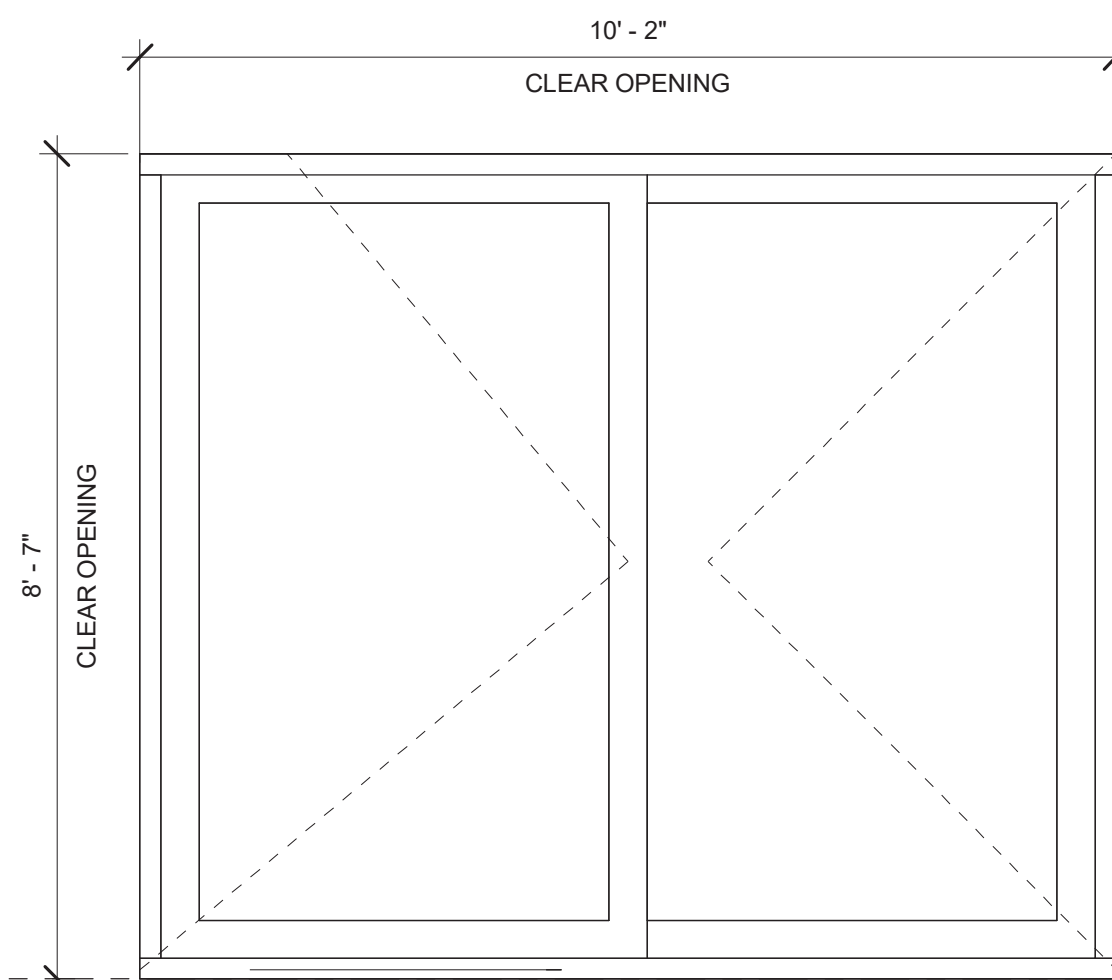
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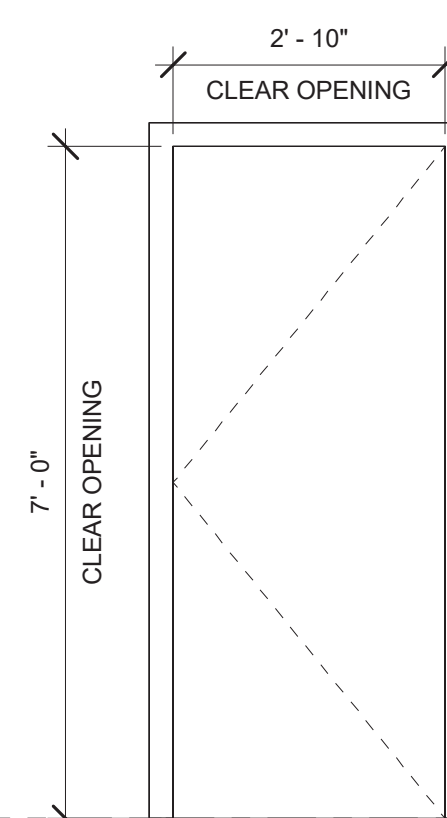
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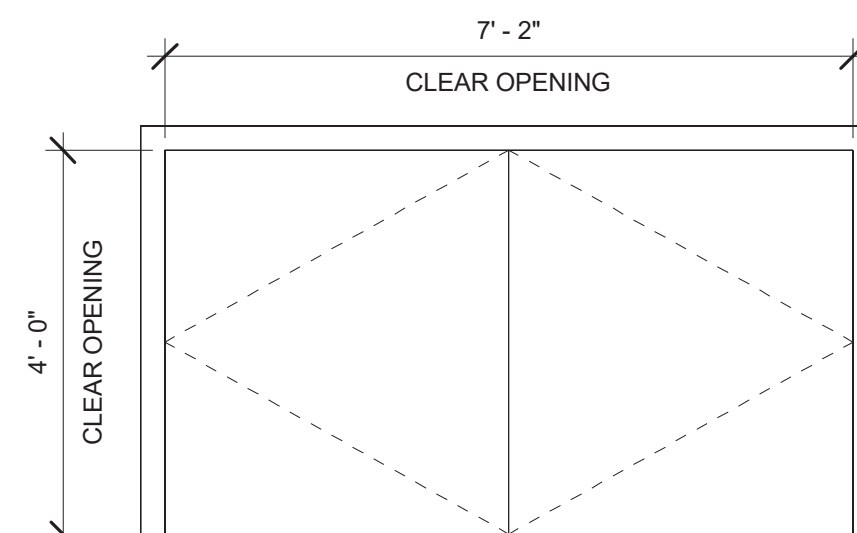
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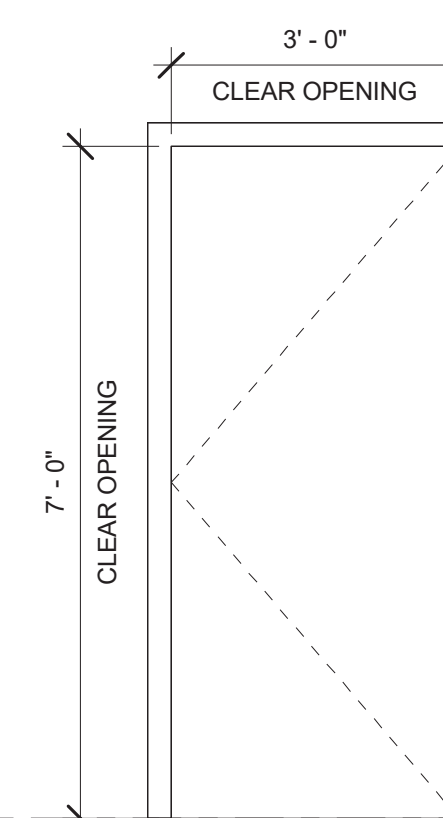
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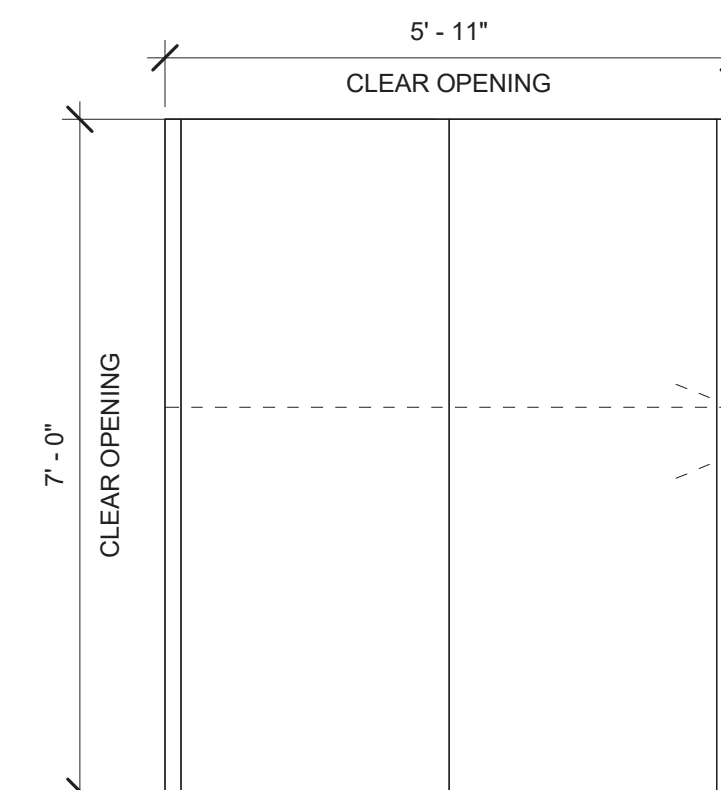
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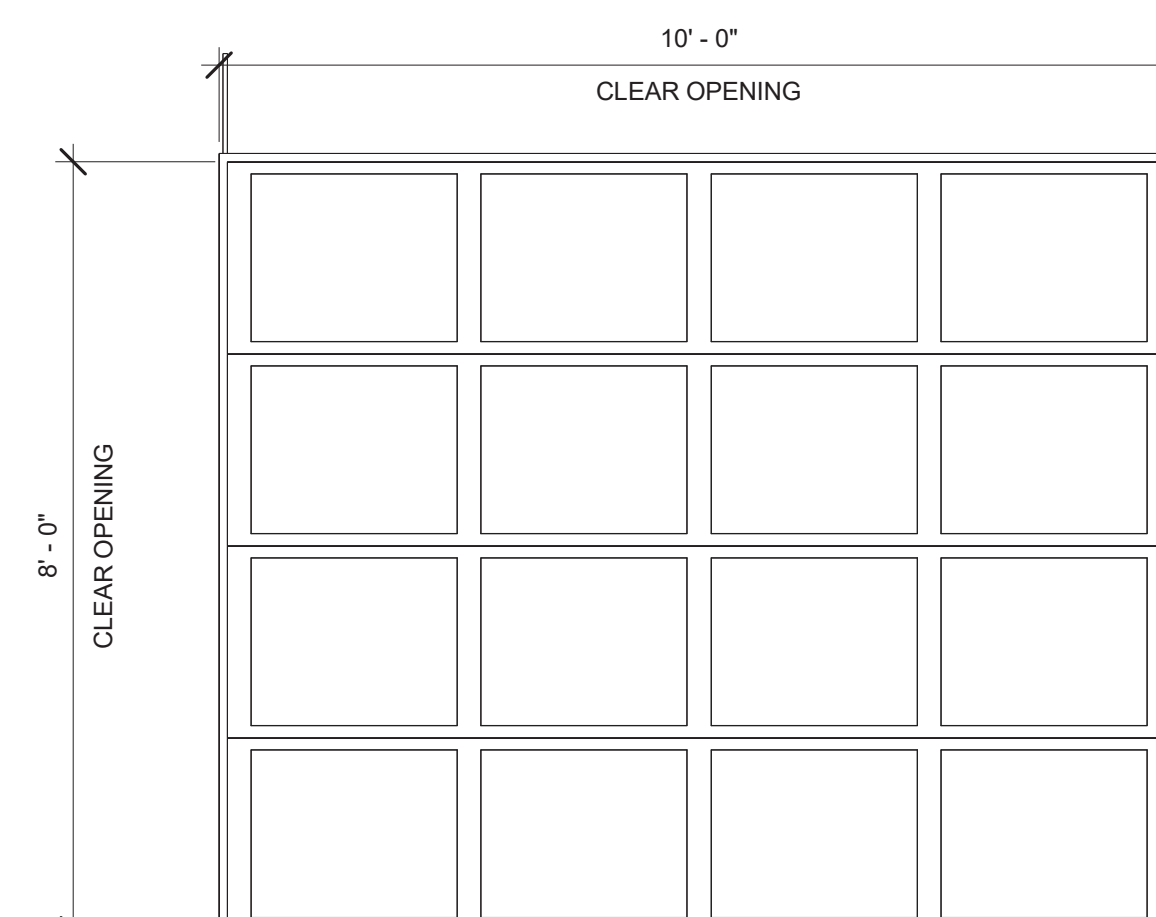
RS1



D03



D06

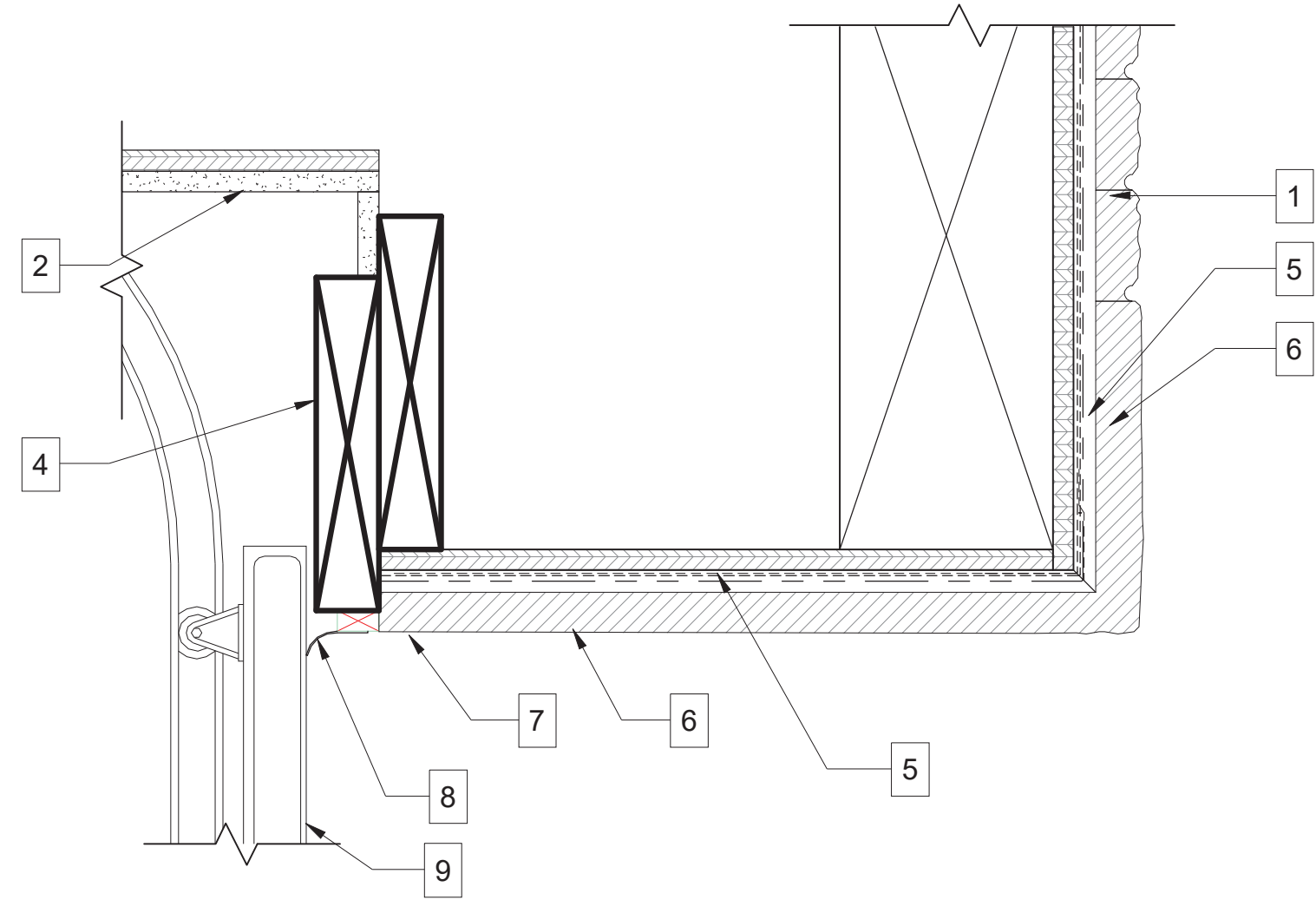


RS2

DOOR SCHEDULE					
DOOR No.	Type	Width	Height	Sill Height	Head Height
01	D04	6' - 9"	8' - 5 1/2"		
02	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
03	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
04	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
05	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
06	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
07	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
08	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
09	GL01	2' - 8"	7' - 2"		
10	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
11	26	19' - 10"	8' - 0"	0' - 0"	8' - 0"
12	28	9' - 10"	8' - 0"	0' - 0"	8' - 0"
13	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
14	D05	7' - 2"	4' - 0"	0' - 0"	4' - 0"
15	GL01	3' - 6 1/2"	11' - 8 1/2"		
16	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
17	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
18	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
19	D02	2' - 10"	7' - 0"	0' - 0"	7' - 0"
20	D06	5' - 11"	8' - 0"	0' - 0"	8' - 0"
21	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
22	D07	10' - 2"	8' - 6"	0' - 0"	8' - 6"
23	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
24	GL01	2' - 6"	7' - 3"		
25	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
26	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
27	GL01	2' - 8"	10' - 6"		
28	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
29	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
30	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
31	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
32	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
33	GL01	2' - 6"	7' - 0"		
34	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
35	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
36	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
37	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
38	GL01	2' - 6"	8' - 0"		
39	GL01	2' - 6"	8' - 0"		
40	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
48	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
49	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"

Scale : 1/2" = 1'-0"

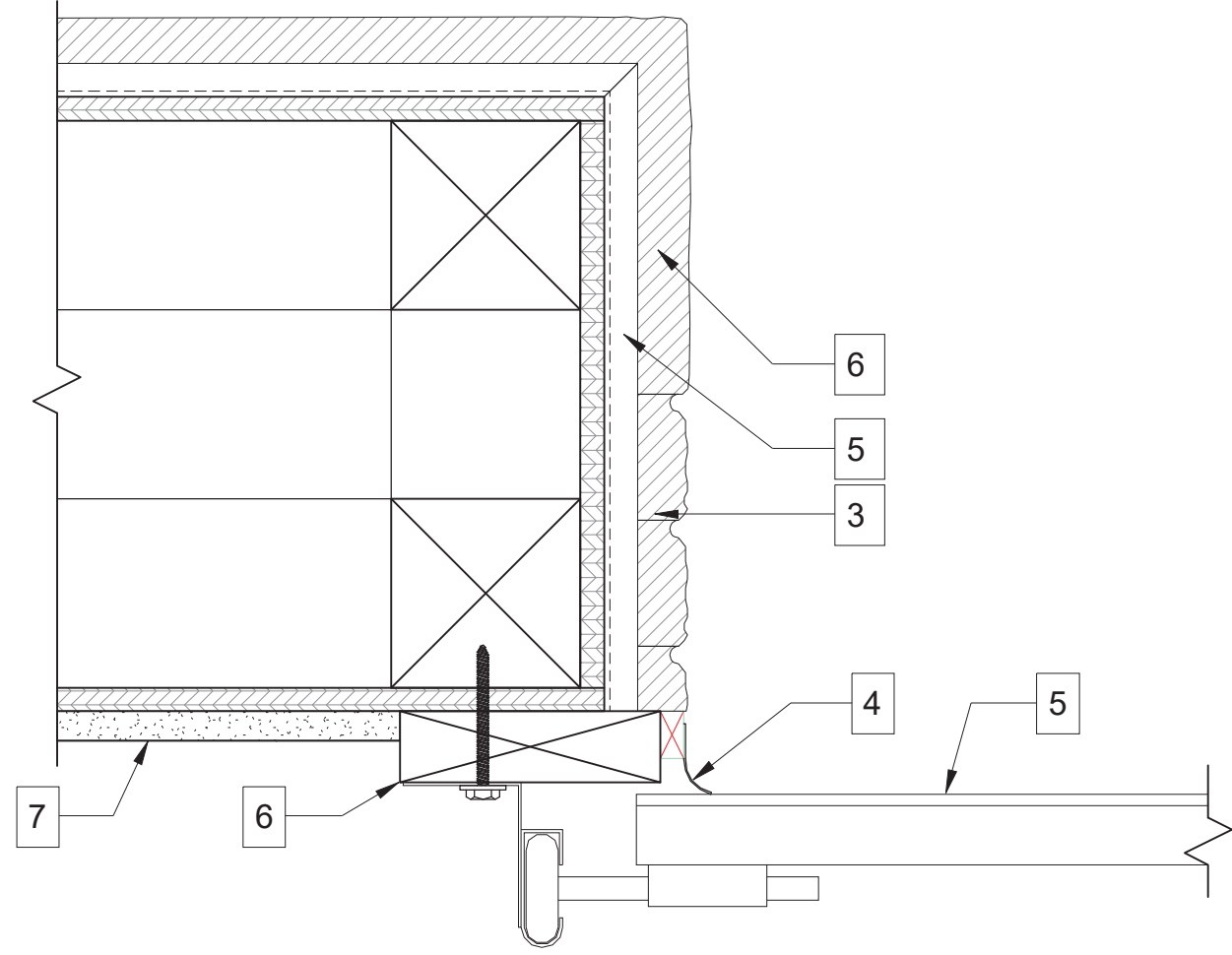
DOOR SCHED.



GENERAL NOTES

KEY NOTES

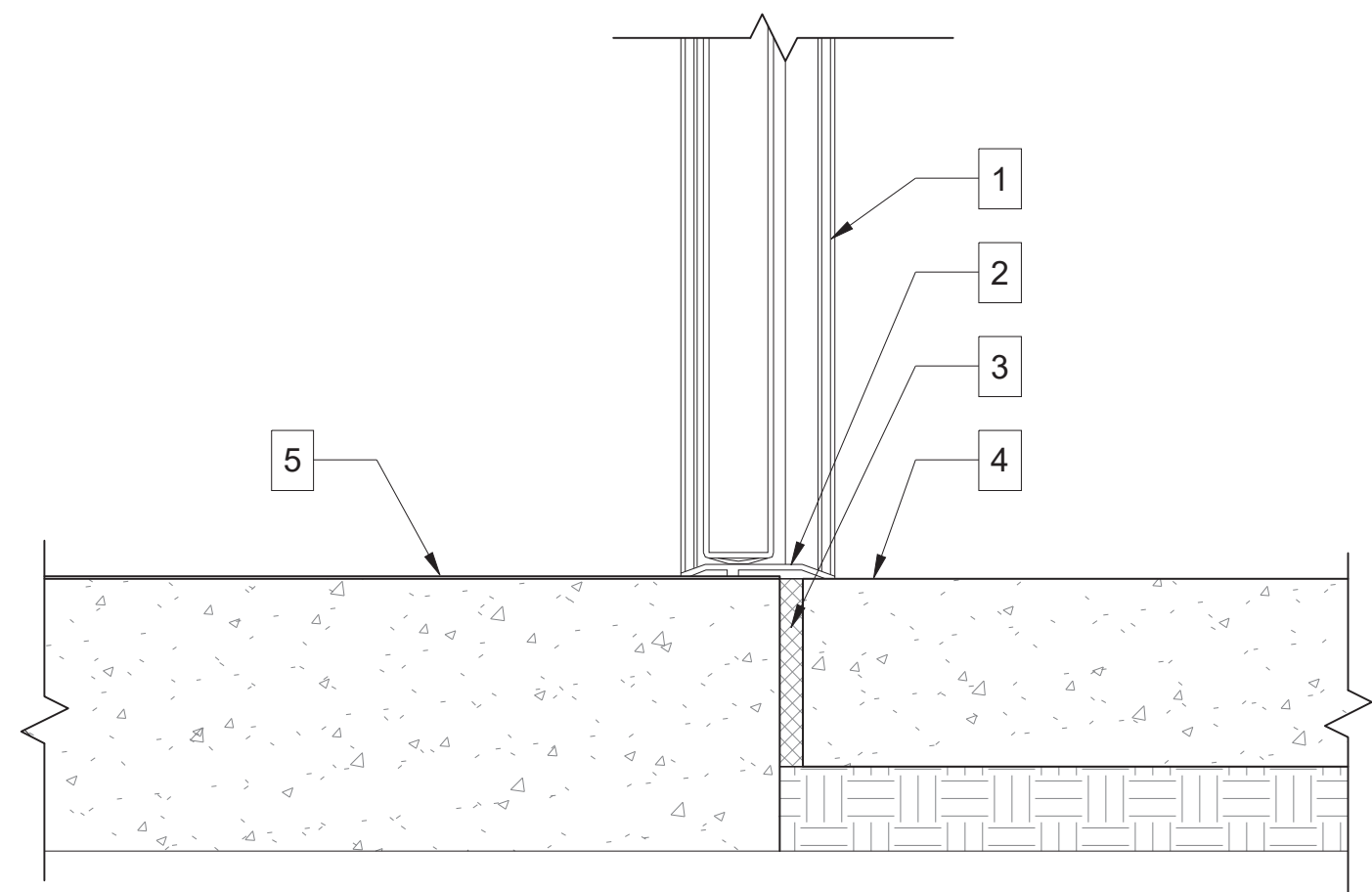
1. STONE WALL ASSEMBLY PER PLANS
2. 5/8" TYPE 'X' GYP. BD.
3. FRAMING/SHEATHING PER STRUCTURAL
4. TORSION SPRING MOUNTING BOARD. PAINT TO MATCH INTERIOR FINISH
5. SELF-ADHERED W.P. MEMBRANE LAPPED UNDER W.R.B.
6. SOFFIT PANEL
7. CLOSURE FLASHING
8. CLIMATE SEAL TRIM
9. WOOD CLAD OVERHEAD GARAGE DOOR. SEE PLANS FOR SPECS.



GENERAL NOTES

KEY NOTES

1. FRAMING/SHEATHING PER STRUCTURAL
2. WEATHER RESISTIVE BARRIER
3. STONE WALL ASSEMBLY PER PLANS
4. CLIMATE SEAL
5. WOOD CLAD OVERHEAD GARAGE DOOR. SEE PLANS
6. TRACK MOUNTING BOARD. PAINT TO MATCH INTERIOR FINISH
7. 5/8" TYPE 'X' GYP. BD.



GENERAL NOTES

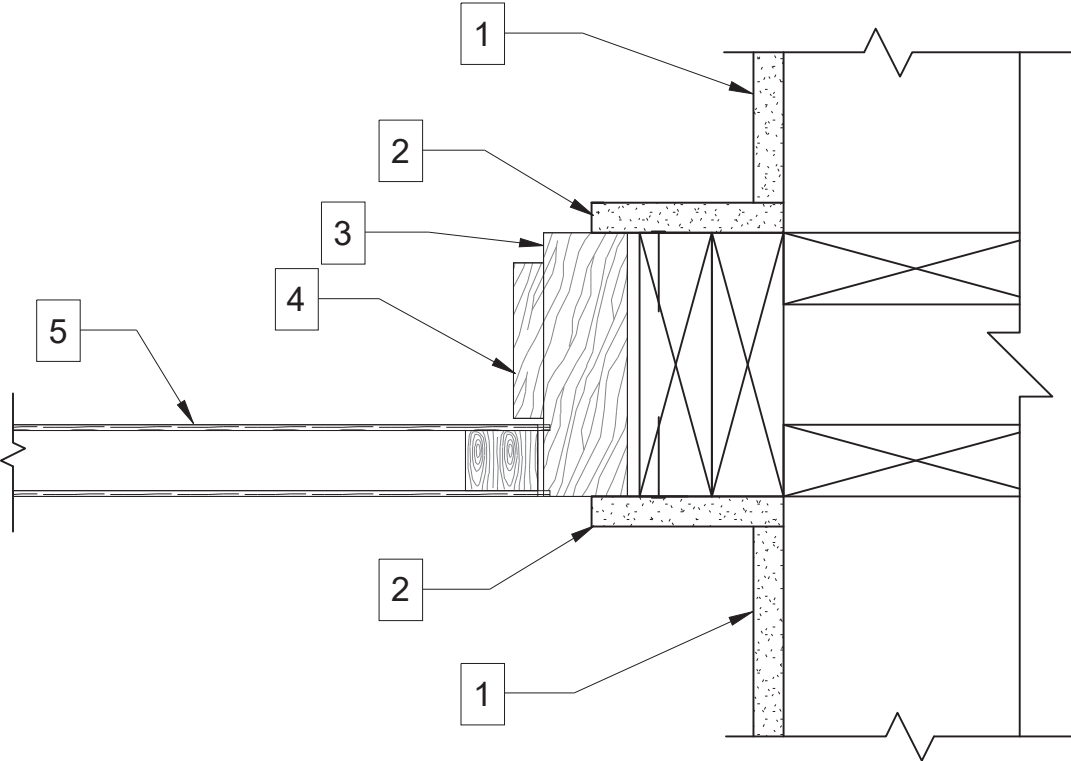
KEY NOTES

1. OCM METAL WRAPPED HOLLOW METAL DOOR AND FRAME
2. 1/2" ALUMINUM THRESHOLD SET IN SEALANT
3. 1/2" COMPRESSION FILLER
4. FINISHED FLOORING PER LANDSCAPE. SLOPE AWAY FROM DOOR AT 2%
5. EPOXY FLOOR COATING

01 GARAGE DR. HDR. AT STONE PANEL 3" = 1'-0"

02 GARAGE DOOR JAMB AT STONE 3" = 1'-0"

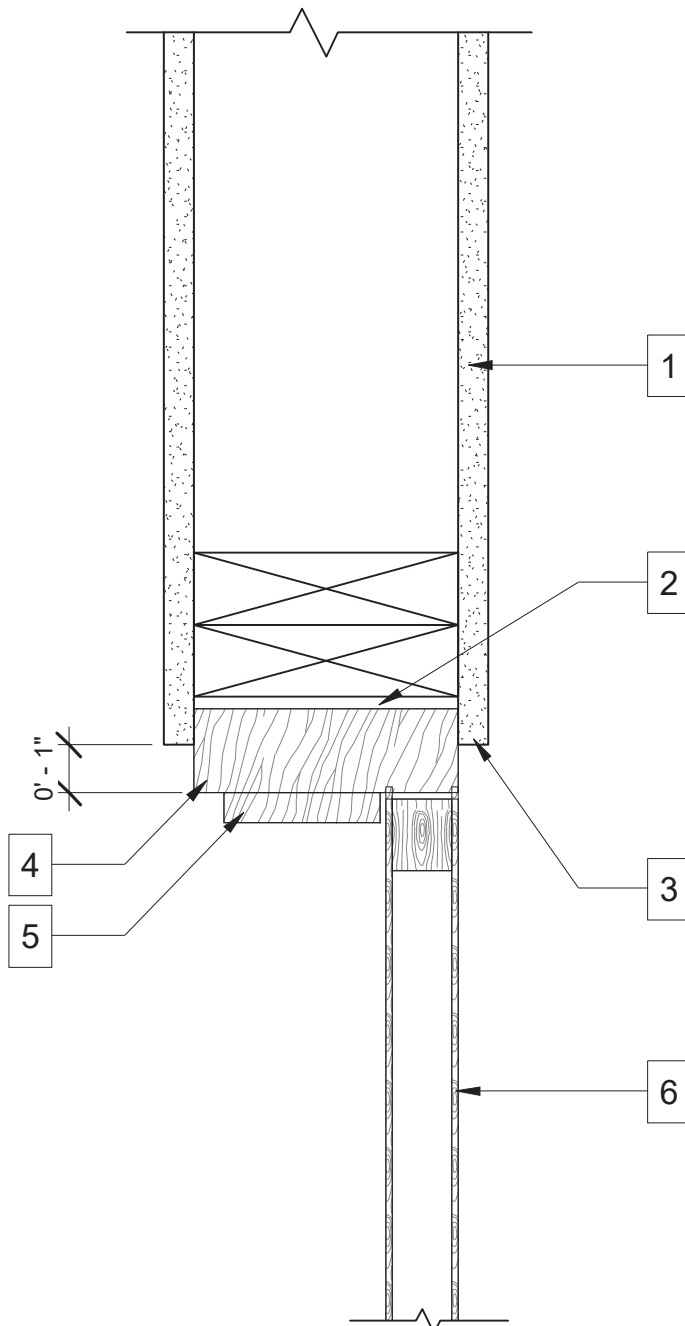
03 METAL WRAPPED METAL DOOR SILL 3" = 1'-0"



GENERAL NOTES

KEY NOTES

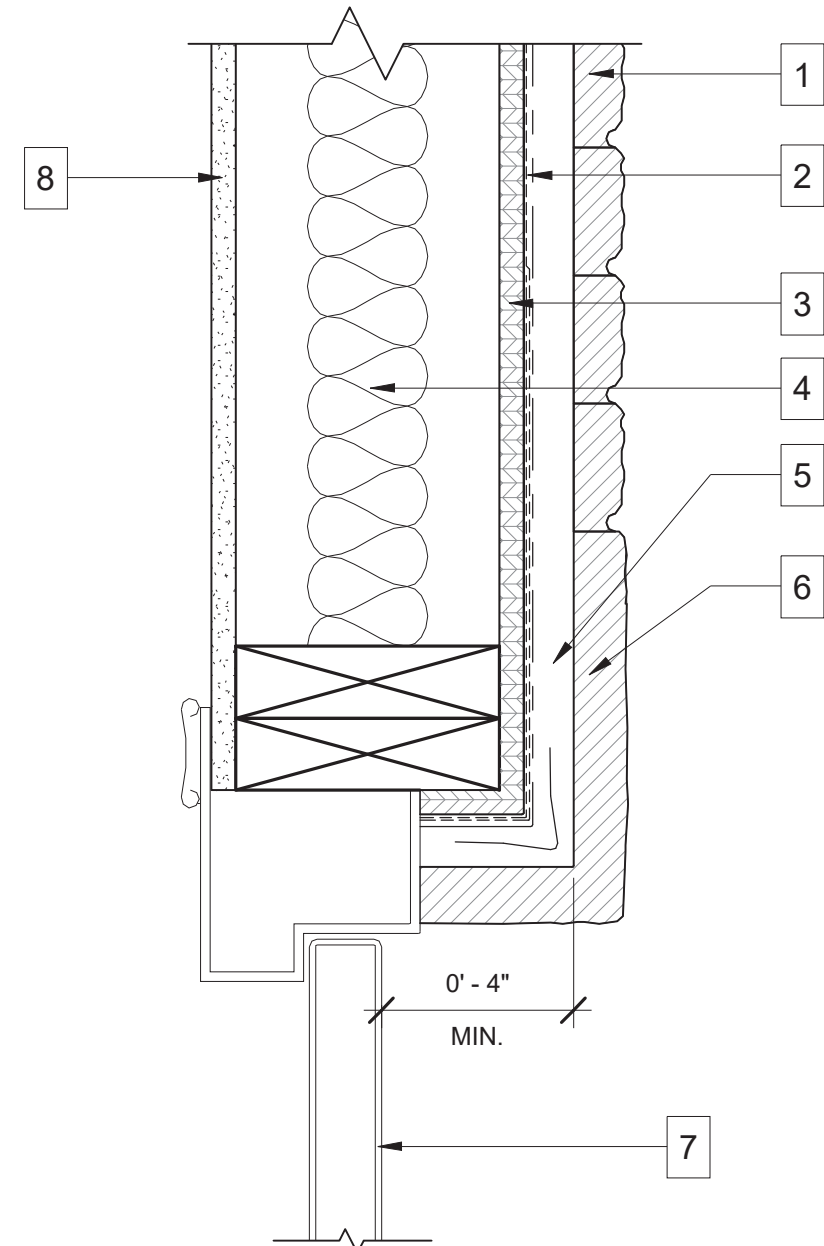
1. 5/8" TYPE 'X' GYP. BD.
2. METAL KERF TRIM EA. SIDE. SPACKLE AND PAINT TO MATCH
3. 1 1/2" WOOD CASING
4. 1/2" WOOD STOP
5. 1-3/4" FLUSH WOOD DOOR PER PLANS



GENERAL NOTES

KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. SHIM SPACE
3. METAL KERF TRIM EA. SIDE
4. 1 1/2" WOOD JAMBS
5. 1/2" WOOD STOP
6. 1-3/4" FLUSH WOOD DOOR PER PLANS



GENERAL NOTES

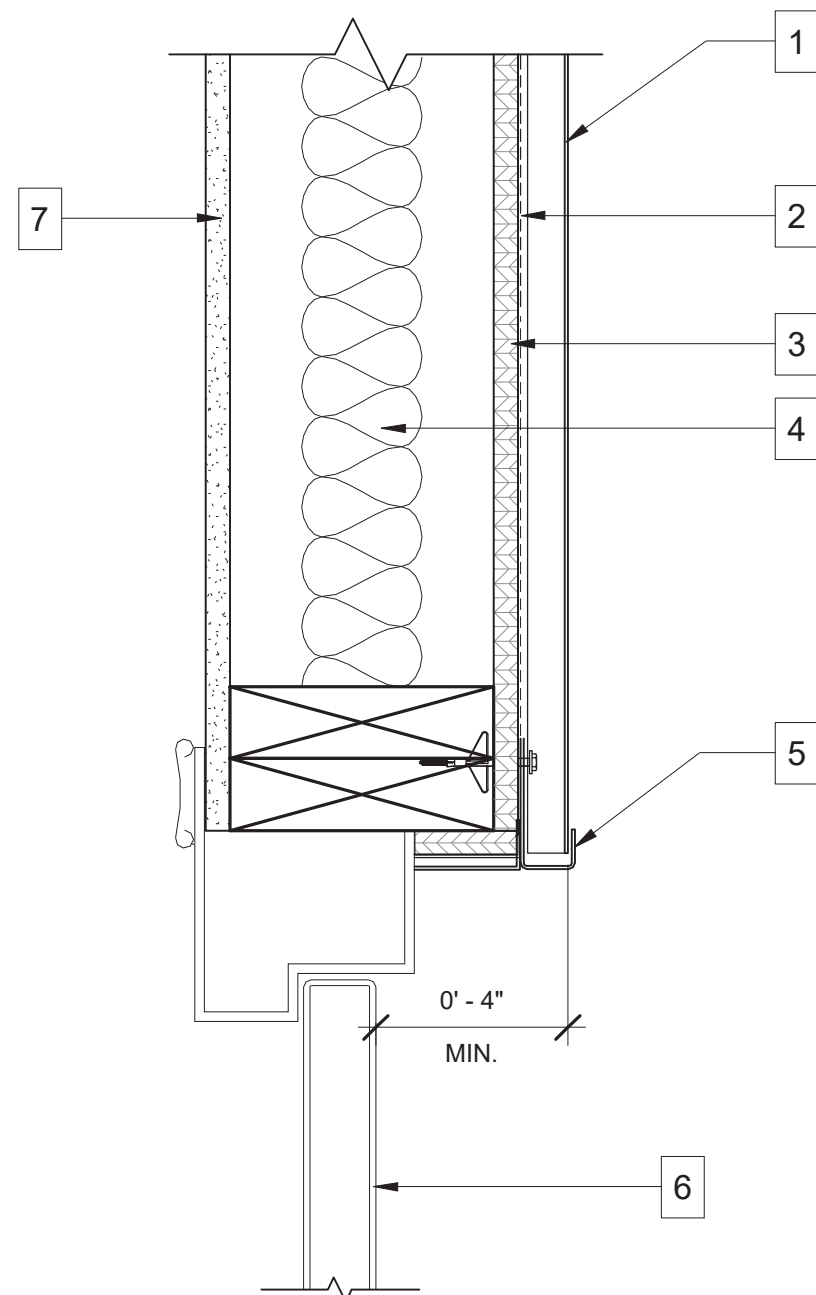
KEY NOTES

1. STONE WALL ASSEMBLY PER PLANS
2. WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. CASING BEAD W/ WEEP HOLES
6. HEMMED METAL HEAD FLASHING SET IN SEALANT LAPPED UNDER W.R.B.
7. HOLLOW METAL DOOR AND FRAME PAINT TO MATCH STUCCO.
8. 5/8" TYPE 'X' GYP. BD.

04 INTERIOR DOOR JAMB 3" = 1'-0"

05 INTERIOR WOOD DOOR HEAD/ JAMB 3" = 1'-0"

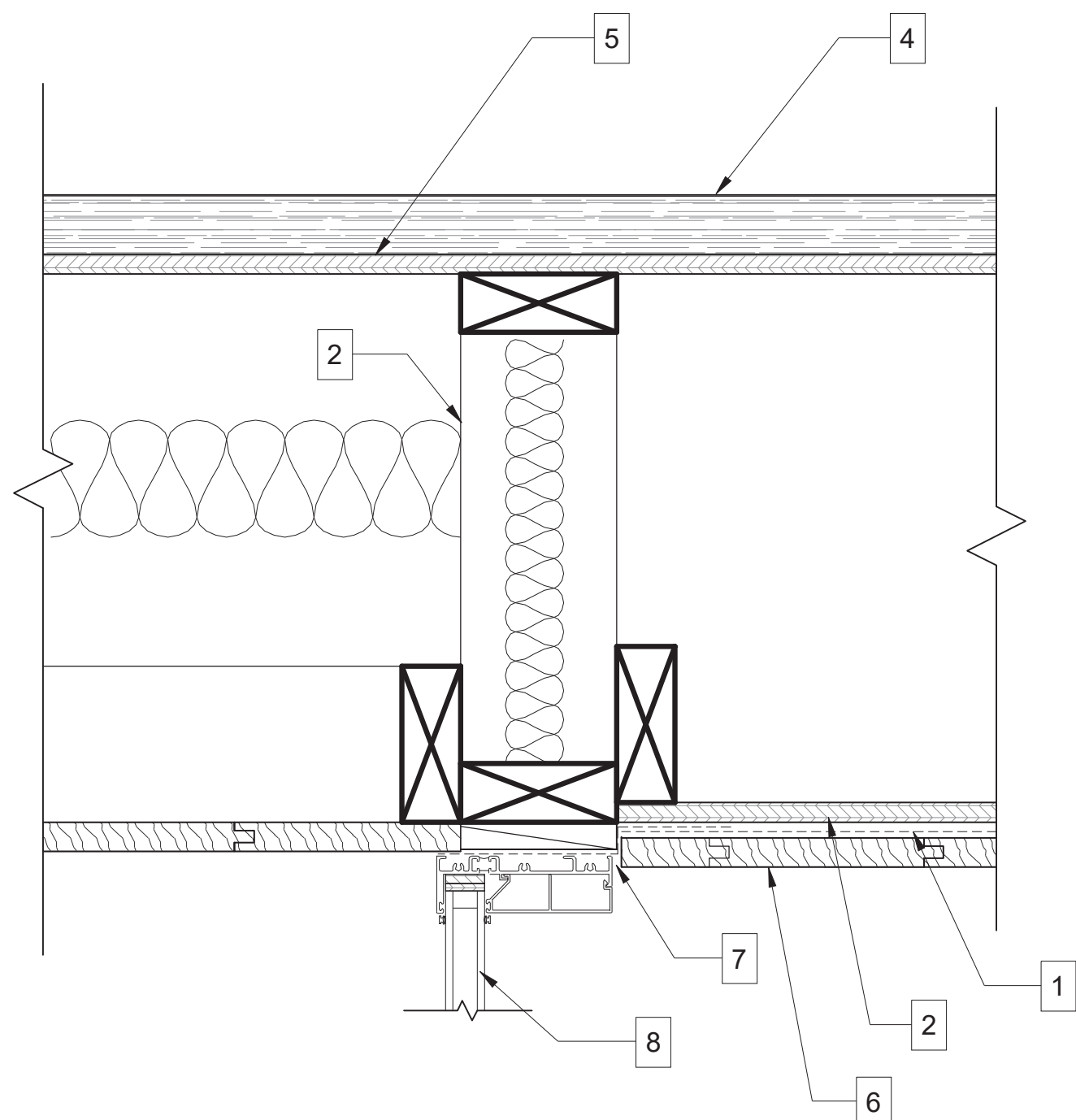
06 METAL DOOR HEAD/ JAMB AT STONE 3" = 1'-0"



GENERAL NOTES

KEY NOTES

1. METAL WALL ASSEMBLY PER PLANS
2. WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. HEMMED METAL HEAD FLASHING SET IN SEALANT LAPPED UNDER W.R.B.
6. HOLLOW METAL DOOR AND FRAME PAINT TO MATCH METAL PANEL.
7. 5/8" TYPE 'X' GYP. BD.



GENERAL NOTES

KEY NOTES

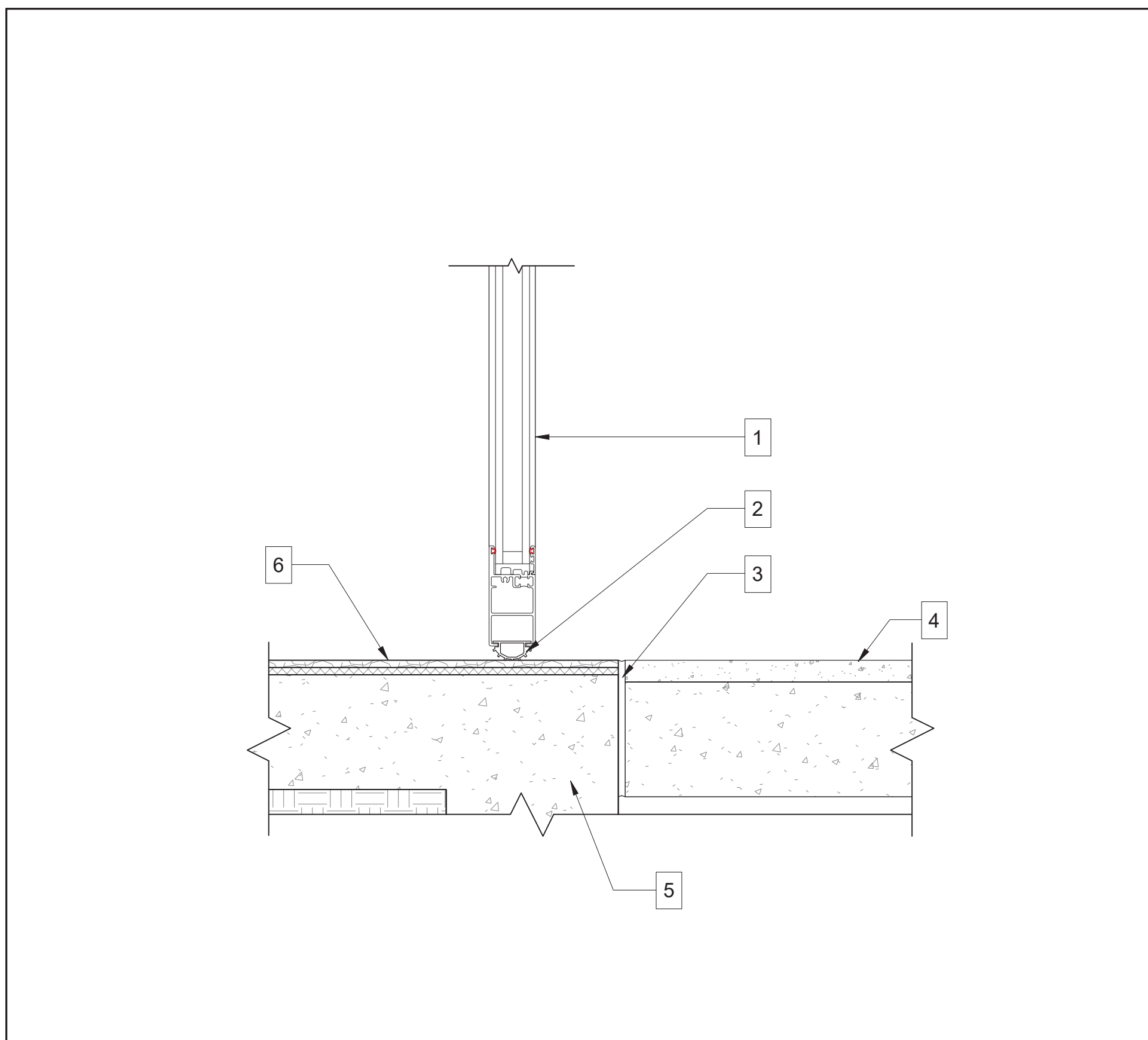
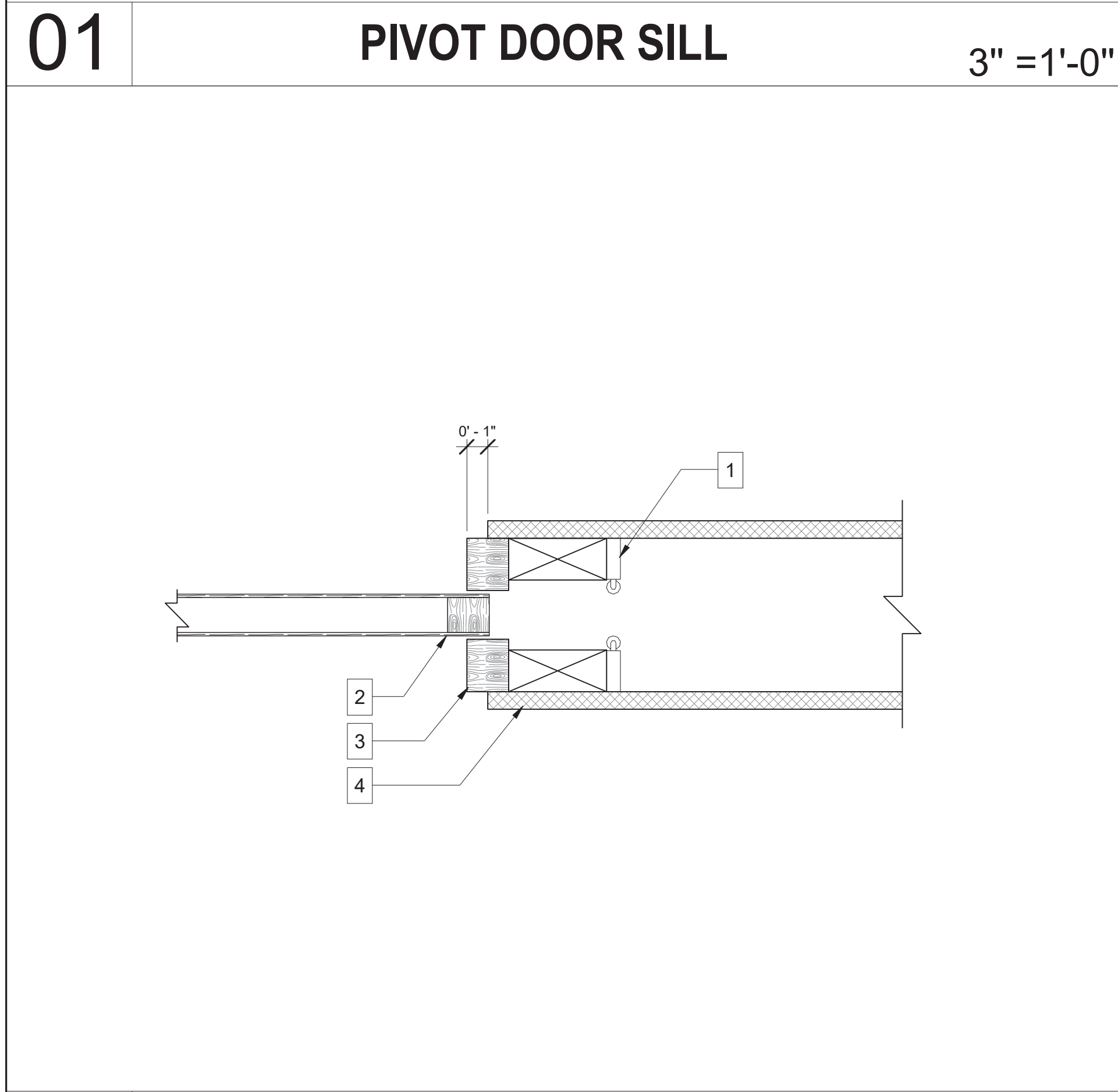
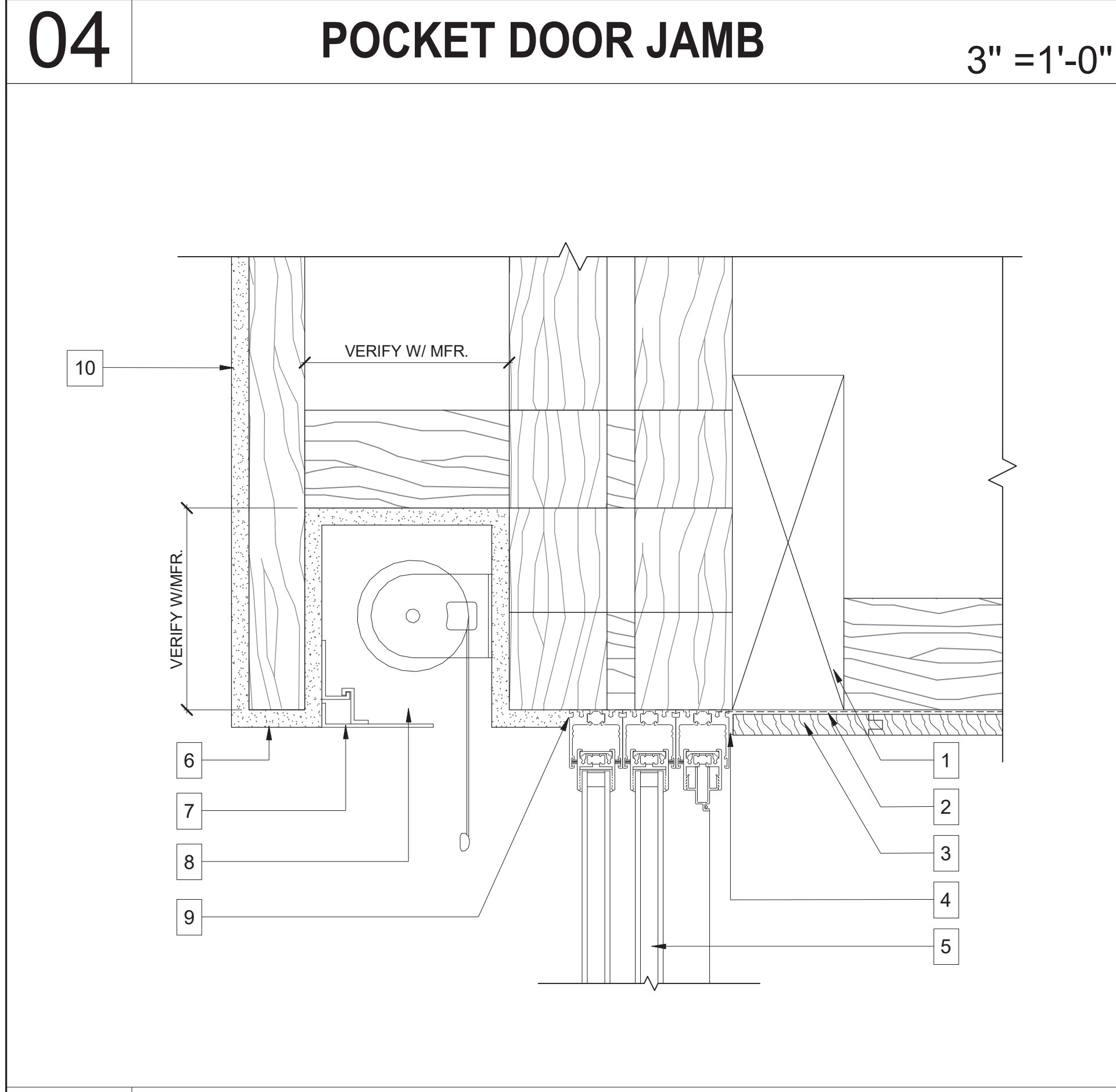

1. TYVEK WEATHER RESISTIVE BARRIER
2. FRAMING/SHEATHING PER STRUCTURAL
3. INSULATION PER PLANS
4. FOAM ROOFING PER PLANS
5. ROOF SHEATHING PER PLANS
6. SOFFIT CEILING FLUSH WITH WINDOW HEAD PER PLAN.
7. WINDOW FLASHING
8. DOOR/WINDOW FRAME-SEE SCHEDULE

07 METAL DOOR HEAD/ JAMB AT METAL 3" = 1'-0"

08 DOOR HEAD/JAMB AT SOFFIT 3" = 1'-0"

Scale : 3" = 1'-0"

DOOR DETAILS

			<p>GENERAL NOTES</p>			<p>GENERAL NOTES</p>			<p>GENERAL NOTES</p>			<p>GENERAL NOTES</p>		
<p>01</p>			<p>PIVOT DOOR SILL</p>			<p>3" =1'-0"</p>			<p>GENERAL NOTES</p>			<p>GENERAL NOTES</p>		
			<p>02</p>			<p>POCKET DOOR HEAD</p>			<p>3" =1'-0"</p>			<p>GENERAL NOTES</p>		
			<p>03</p>			<p>POCKET DOOR JAMB</p>			<p>3" =1'-0"</p>			<p>GENERAL NOTES</p>		
			<p>04</p>			<p>POCKET DOOR JAMB</p>			<p>3" =1'-0"</p>			<p>GENERAL NOTES</p>		
			<p>05</p>			<p>POCKET SLDG. DR. JAMB AT POST</p>			<p>3" =1'-0"</p>			<p>GENERAL NOTES</p>		
			<p>06</p>			<p>SLIDING DOOR HEAD AT BEDROOM</p>			<p>3" =1'-0"</p>			<p>GENERAL NOTES</p>		
			<p>07</p>			<p>SLDG. DR. HEAD AT PUBLIC SPACE</p>			<p>3" =1'-0"</p>			<p>GENERAL NOTES</p>		
			<p>08</p>			<p>TYP.SLDG. DR. POCKET AT METAL</p>			<p>3" =1'-0"</p>			<p>GENERAL NOTES</p>		

THE JK COMPANIES

ARCHITECTURE | CONSTRUCTION AND DEVELOPMENT | HOMES AND LAND

THE BROWN RESIDENCE

ADAMS RANCH LOT 25

--- LAWSON POINT ROAD

MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED

JUSTIN KILBANE

406403

03/04/2021

ARCHITECT

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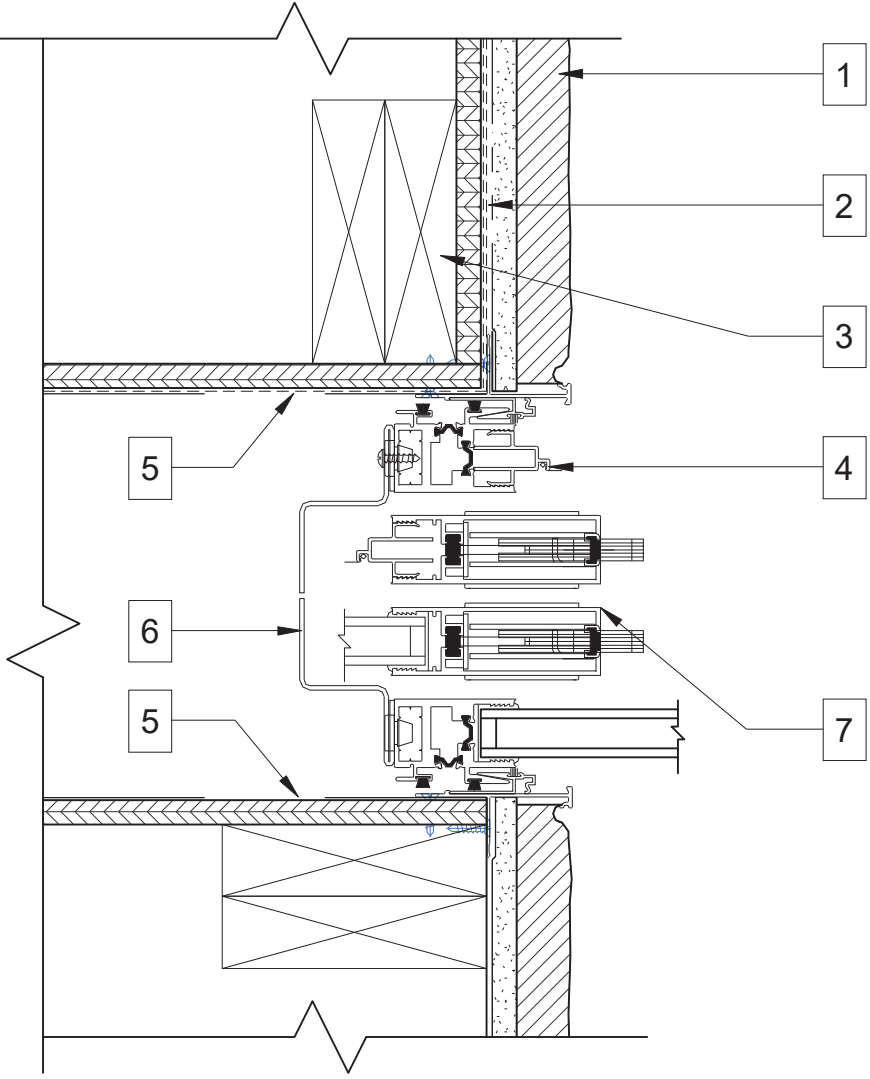
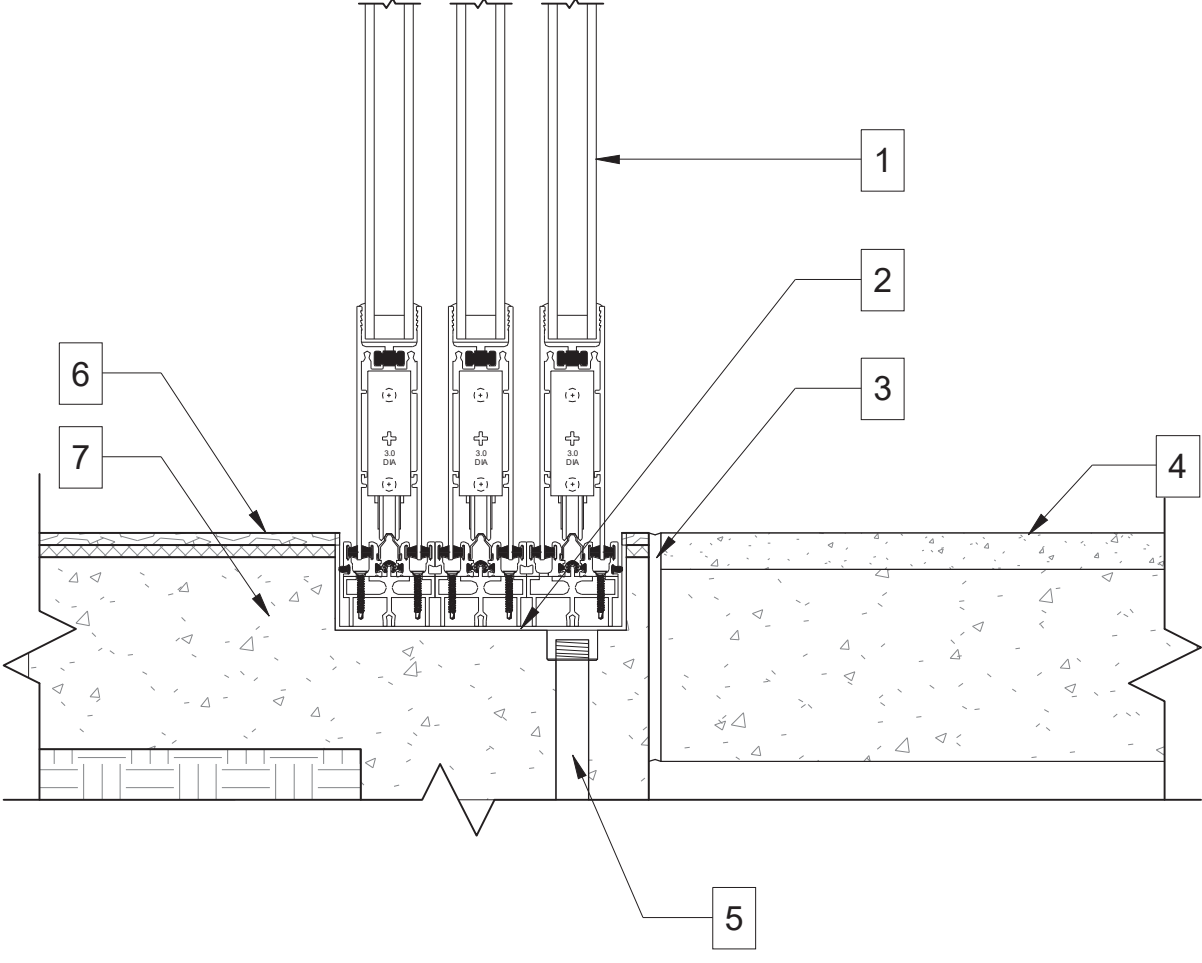
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SHEET NO.

A-9.3

Scale : 3" = 1'-0"

DOOR DETAILS

		<div>GENERAL NOTES</div> <div>1. WEATHERSTRIP AND WEATHERPROOF POCKET OPENING WHEN DOORS ARE IN CLOSED POSITION</div> <div>KEY NOTES</div> <div>1. STONE PER PLAN. 2. WEATHER RESISTIVE BARRIER 3. FRAMING PER PLANS/STRUCTURAL 4. POCKET DOOR FRAME AND MOUNTING 5. WRAP POCKET INTERIOR W/ BREAK METAL. PAINT TO MATCH DOOR FINISH 6. POCKET CLOSER PANELS 7. PANELS IN OPEN POSITION ALIGN FLUSH</div>			<div>GENERAL NOTES</div> <div>KEY NOTES</div> <div>1. SLIDING DOOR PER PLANS. INSTALL PER MFR INSTRUCTIONS 2. SILL PAN. INSTALL PER MFR INSTRUCTIONS 3. COMPRESSIBLE FILLER 4. HARDSCAPE PER PLANS 5. SILL PAN DRAIN. CONSULT MFR INSTRUCTIONS 6. FLOORING AND SUBSTRATE PER PLANS 7. CONCRETE SLAB PER PLANS</div>
01	TYPICAL SLIDING DOOR POCKET	3" =1'-0"	02	TYP. POCKET SLIDING DOOR SILL	3" =1'-0"

Scale : 3" = 1'-0"

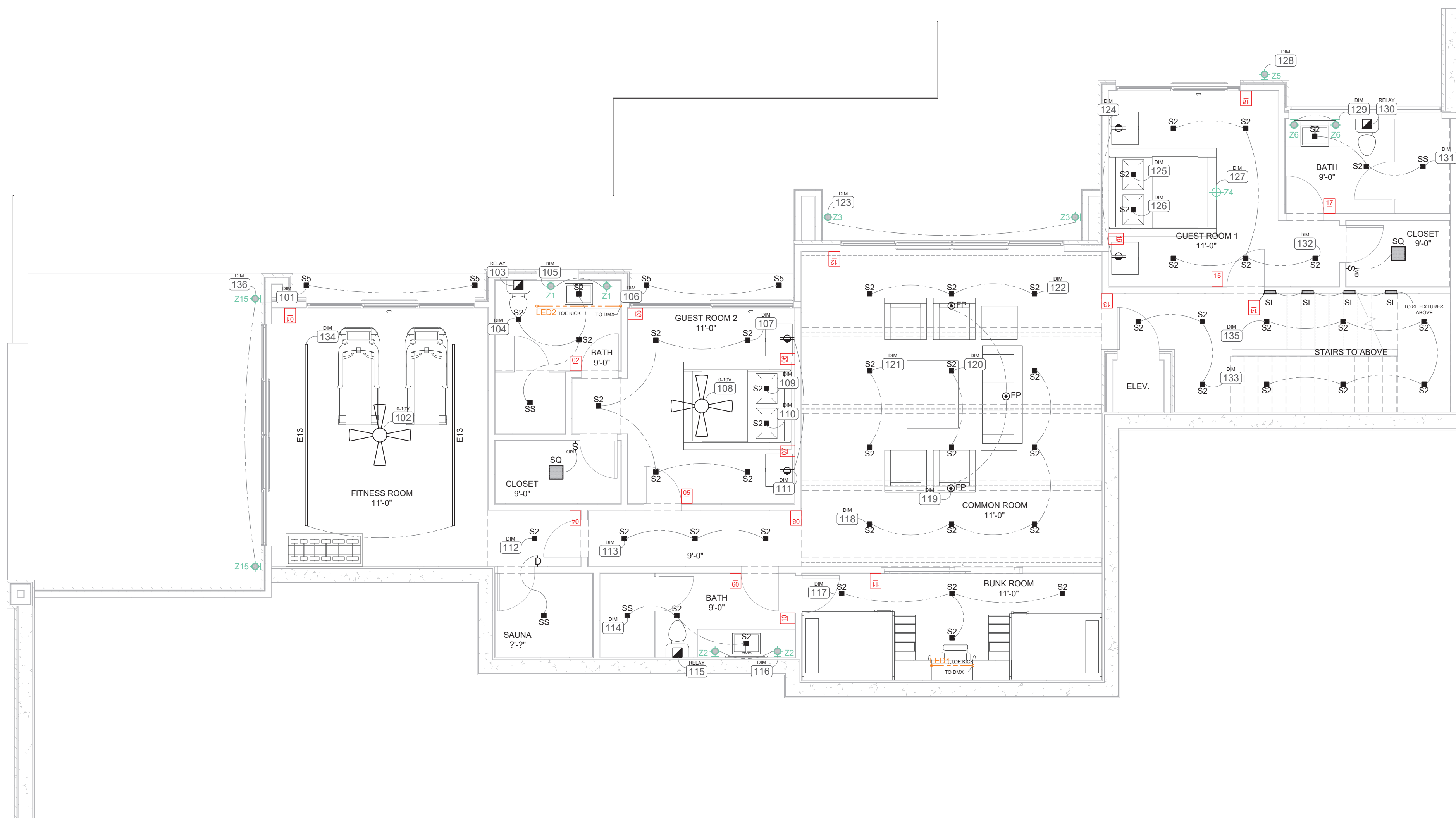
DOOR DETAILS

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.
2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.
3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.
4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.
5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.
6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.
8. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.
9. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.
10. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.
11. ALL WIRE USED SHALL BE COPPER
12. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG, ADG, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.
13. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST LIGHT CONTROL LLC DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.
14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT ADG - 888.296.0950 FOR CLARIFICATION.

PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4)
3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURES/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.
4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS



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LIGHT CONTROL SYMBOL LEGEND

- S SINGLE POLE SWITCH
- S SINGLE POLE JAMB SWITCH
- S SINGLE POLE MOTION SWITCH
- S SINGLE POLE TIMER SWITCH
- D SINGLE POLE DIMMER
- 1/2 SWITCHED DUPLEX RECEPTACLE
- SWITCHED RECESSED CLOCK RECEPTACLE
- 1/2 SWITCHED FLOOR PLUG RECEPTACLE
- RM REMOTE LOW VOLTAGE TRANSFORMER
- CEILING MOUNTED EXHAUST FAN
- ELECTRIC FIREPLACE IGNITOR
- LIGHTING CONTROL KEYPAD
- LIGHTING CONTROL SWITCH/LEG
- LIGHTING CONTROL ENCLOSURE

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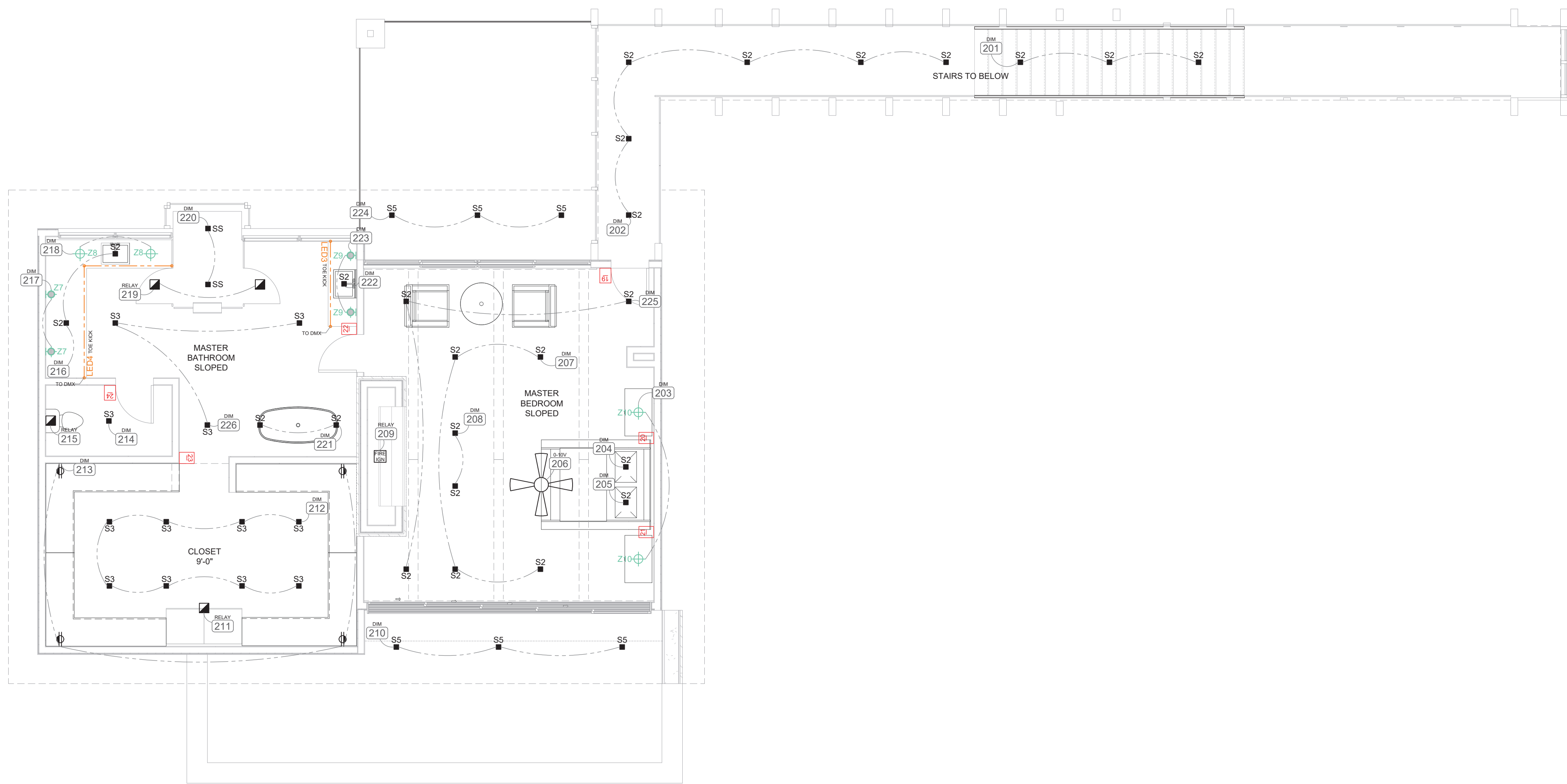
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ACOUSTIC DESIGNS GROUP

16074 N. 78th Street, Suite B104
Scottsdale, AZ 85260
888.296.0950

Quantity	Type	Manufacturer	Model Number / Description	Volts	Lamp Type	Watts
10	BM	LUMIERE	203 LAMP BY OTHER-12 BK w. TMO5-BK - Verify Color Before Ordering 2-1/4" Adjustable Low Voltage Beam Mounted Downlight - Requires Remote 12V AC Driver	12V AC	SOLMR16-12V-8W-FL-30KW-D-SL	8
2	CL	DMF	DRD554L5930 18" Led Surface Linear 1500 lm, 90+CRl, 3000K	120V AC	integral LED lamp	17
2	EB3	CORONET	EOS 2.0-R-FT-BAT-1000-13'-0"-WCT-8-UNV-210-10V Drivers for Color Tuning 13'-0" x 2' Linear Recessed Downlight Verify Ceiling Conditions and Concept before Ordering)	120V AC	integral LED lamp	39
9	FP	CARLON (REFERENCE ELECTRICAL)	976 - RFB Deep Rectangular Floor Plug with Metallic Cover Plate	120V AC	N/A	N/A
1 SYSTEM	LED-EX EXTERIOR	ENVIRONMENTAL LIGHTS	LINEAR LED LIGHTING (WITH EXTRUSION + DIFFUSE LENS) CONTRACTOR TO DETERMINE BILL OF MATERIALS USING wpp-c13528-120-10-reel - 16'-4" WHITE ADJUSTABLE TAPE LIGHT CS179 - 78" CHANNEL SYSTEM WITH ALUMINUM TRACK AND COVER DIFFUSER LED-TRACK-END-CAP - END CAPS FOR TRACK DMX-4-5000 - 4 CHANNEL / 5 AMP DECODER DMX-4-5000-3-10A - 4 CHANNEL / 10 AMP DECODER DMX-6-22K-3-6A - 6 CHANNEL / 6 AMP DECODER TRACO POWER SUPPLIES T15-XXX-124-115 - TRACO DIN RAIL UL LISTED POWER SUPPLIES	24V DC DMX CONTROLLED (B-Wire per Feed)	integral LED lamp	5w / ft
1 SYSTEM	LED INTERIOR	ENVIRONMENTAL LIGHTS	LINEAR LED LIGHTING (WITH EXTRUSION + DIFFUSE LENS) CONTRACTOR TO DETERMINE BILL OF MATERIALS USING TW2K465-CL-12-5m - 16'-4" WHITE ADJUSTABLE TAPE LIGHT CS106 - 78" CHANNEL SYSTEM WITH ALUMINUM TRACK AND COVER DIFFUSER LED-TRACK-END-CAP - END CAPS FOR TRACK DMX-4-5000 - 4 CHANNEL / 5 AMP DECODER DMX-4-5000-3-10A - 4 CHANNEL / 10 AMP DECODER DMX-6-22K-3-6A - 6 CHANNEL / 6 AMP DECODER TRACO POWER SUPPLIES T15-XXX-124-115 - TRACO DIN RAIL UL LISTED POWER SUPPLIES	24V DC DMX CONTROLLED (B-Wire per Feed)	integral LED lamp	5w / ft
2	LL8	ORACLE LIGHTING	8-OC4-LED-8000L-DIM10-MVOLT-35K-90 96" Surface Mounted LED	120V AC	integral LED lamp	61
65	S1	SPECIALTY LIGHTING	GR-IC-AD20-A-AD-NF-C2 / CRT-SQ-FT-WHT-91A-ADG 4" Adjustable LED Downlight with Ambient Dim and Replaceable Optics	120V AC	integral LED lamp	20
120	S2	SPECIALTY LIGHTING	GR-IC-AD14-A-AD-NF-C2 / CRT-SQ-FT-WHT-91A-ADG 4" Adjustable LED Downlight with Ambient Dim and Replaceable Optics	120V AC	integral LED lamp	14
24	S3	DMF LIGHTING	DRDHNS (Housing) / DID2M1093WGAT (Module) / DRD2TSISSWH (trim) 4" LED Downlight with Ambient Dim	120V AC	integral LED lamp	18
12	S4	DMF	DRDHNS (Housing) / DID2M1293SCAT (Module) / DRD2TSISSWH (trim) 4" General Downlight Recessed - 3500K	120V AC	integral LED lamp	18
63	S5	SPECIALTY LIGHTING	GRF-IC-AD14-A-AD-NF-C2 (IC RATED HOUSING) / GRTF-SQ-FT-WHT 4" Adjustable Warm Dim Pinhole Downlight with Interchangeable Optics	120V AC	integral LED lamp	14
8	SL	SPECIALTY LIGHTING	2102-F-FH-A4-27-V4-P14 - Verify Color Before Ordering 2" x 4" Flanged LED Step Light	120V AC	integral LED lamp	4
4	SQ	MAXIM	5767SWTWT 15" Thin Profile General Illumination Closet Light	120V AC	integral LED lamp	25
7	SS	SPECIALTY LIGHTING	GR-IC-AD20-A-AD-NF-C2 (IC RATED HOUSING) / GRT-SQ-FST-WHT-91A 4" Adjustable Warm Dim Downlight with Interchangeable Optics - Wet Listed	120V AC	integral LED lamp	20
1 SYSTEM	UC#	ENVIRONMENTAL LIGHTS	LINEAR LED LIGHTING (WITH EXTRUSION + DIFFUSE LENS) CONTRACTOR TO DETERMINE BILL OF MATERIALS USING TW2K465-CL-12-5m - 16'-4" WHITE ADJUSTABLE TAPE LIGHT CS106 - 78" CHANNEL SYSTEM WITH ALUMINUM TRACK AND COVER DIFFUSER LED-TRACK-END-CAP - END CAPS FOR TRACK DMX-4-5000 - 4 CHANNEL / 5 AMP DECODER DMX-4-5000-3-10A - 4 CHANNEL / 10 AMP DECODER DMX-6-22K-3-6A - 6 CHANNEL / 6 AMP DECODER TRACO POWER SUPPLIES T15-XXX-124-115 - TRACO DIN RAIL UL LISTED POWER SUPPLIES	24V DC DMX CONTROLLED (B-Wire per Feed)	integral LED lamp	5w / ft
26	Z#	- - -	Decorative light fixtures and lamps to be furnished by Owner. Fixtures to be assembled and installed by electrical contractor. (SEE DECORATIVE FIXTURE SCHEDULE)	120V AC	- - -	- - -

*** ALL FIXTURES INSTALLED IN EXTERIOR CONDITIONS MUST BE DAMP OR WET RATED.

*** ALL FIXTURES ARE TO BE APPROVED BY OWNER BEFORE ORDERING.

*** ALL LINEAR PRODUCT MUST BE FIELD MEASURED BEFORE ORDERING.

*** ALL LED PRODUCT IS TO BE FIELD VERIFIED FOR PROPER COLOR RENDERING BEFORE ORDERING.

*** ALL TRIM COLORS TO BE VERIFIED WITH HOME OWNER BEFORE ORDERING.

Lighting Fixture Schedule

Project: Brown Residence

ACOUSTIC DESIGNS GROUP

16074 N. 78th Street, Suite B104
Scottsdale, AZ 85260
888.296.0950

Quantity	Type	Watts Each	Location	Mounting
2	Z1	150	LL - Guest Room 2 Bath - Vanity Sconces	Wall Mounted
2	Z2	150	LL - Bunk Room Bath - Vanity Sconces	Wall Mounted
2	Z3	150	LL - Common Room Patio - Wall Sconces	Wall Mounted
1	Z4	150	LL - Guest Room 1 - Chandelier	Hanging
1	Z5	150	LL - Guest Room 1 Patio - Wall Sconce	Wall Mounted
2	Z6	150	LL - Guest Room 1 Bath - Vanity Sconces	Wall Mounted
2	Z7	150	UL - Master Bath - Left Vanity Sconces	Wall Mounted
2	Z8	150	UL - Master Bath - Left Vanity Chandeliers	Hanging
2	Z9	250	UL - Master Bath - Right Vanity Sconces	Wall Mounted
2	Z10	150	UL - Master Bedroom - Bedside Pendants	Hanging
2	Z11	250	ML - Entry Powder Room - Vanity Sconces	Wall Mounted
1	Z12	400	ML - Foyer - Chandelier	Hanging
1	Z13	100	ML - Living Room - Chandelier	Hanging
2	Z14	150	ML - Bath Room - Vanity Sconces	Wall Mounted
2	Z15	150	LL - Fitness Side Yard - Sconces	Wall Mounted
Total Number of Decorative Light Fixtures:				26

Decorative Fixture Schedule

Project: Brown Residence

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

9. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

10. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

11. ALL WIRE USED SHALL BE COPPER

12. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG, ADG, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.

13. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST LIGHT CONTROL LLC DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT ADG - 888.296.0950 FOR CLARIFICATION.

PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4)

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURES/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS



16074 N. 78TH STREET, SUITE
B104 SCOTTSDALE, AZ 85260
WWW.ADGROUPAZ.COM
T 888.296.0950

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DRAWN BY:
RAY MACIAS

DATE : JUNE 24, 2022

SCALE: AS NOTED

REVISIONS:



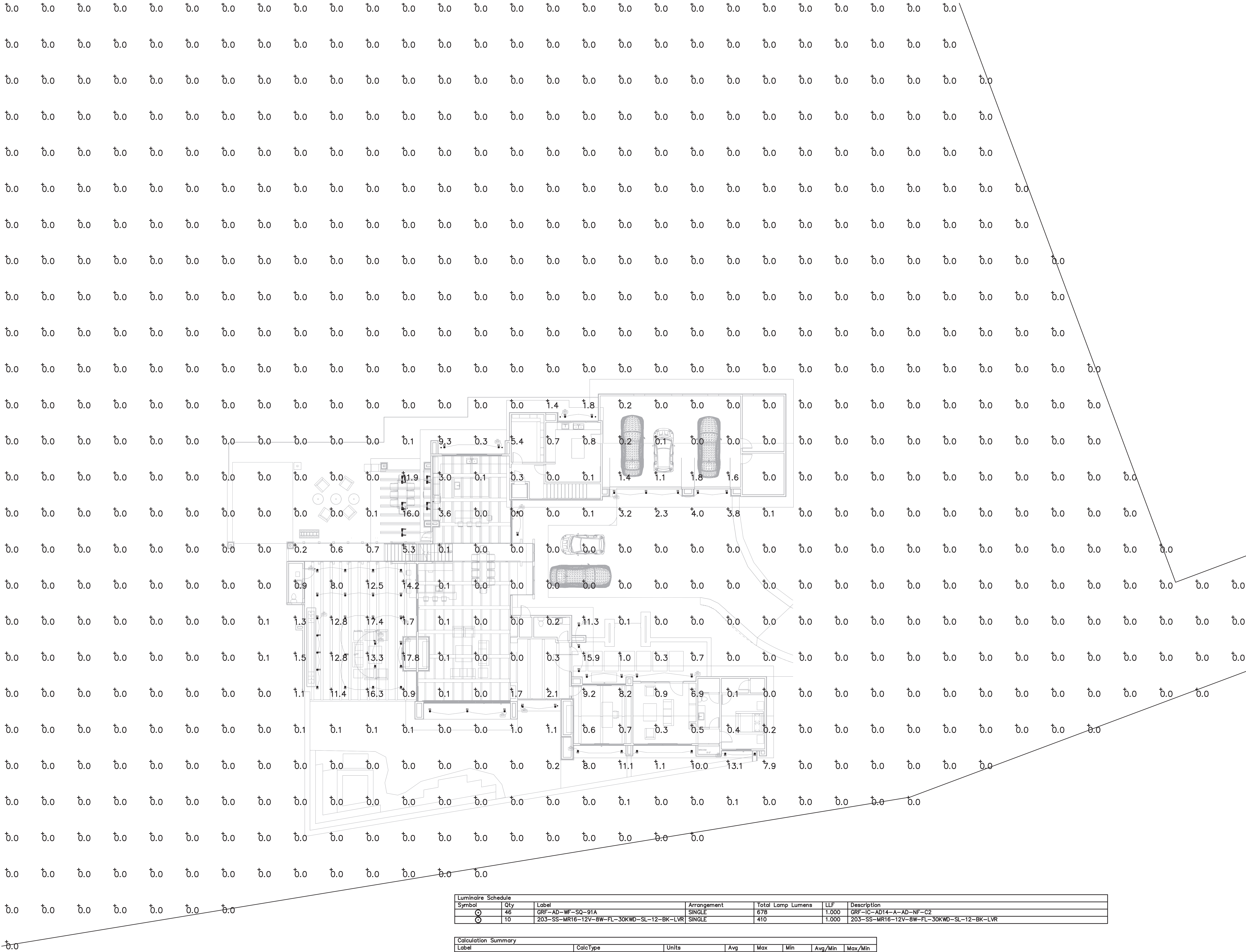
THE BROWN RESIDENCE
ADAMS RANCH LOT 25
MOUNTAIN VILLAGE, COLORADO

LIGHT CONTROL SYMBOL
LEGEND

	SINGLE POLE SWITCH
	SINGLE POLE JAMB SWITCH
	SINGLE POLE MOTION SWITCH
	SINGLE POLE TIMER SWITCH
	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
	SWITCHED RECESSED CLOCK RECEPTACLE
	1/2 SWITCHED FLOOR PLUG RECEPTACLE
	REMOTE LOW VOLTAGE TRANSFORMER
	CEILING MOUNTED EXHAUST FAN
	ELECTRIC FIREPLACE IGNITOR
	LIGHTING CONTROL KEYPAD
	LIGHTING CONTROL SWITCH/LEG
	LIGHTING CONTROL ENCLOSURE

SHEET
NUMBER:
LIGHTING PLAN

EL 4



Luminaire Schedule		Label	Qty	Arrangement	Total Lamp Lumens	LLF	Description
Symbol							
○	46	GRF-AD-WF-SQ-91A		SINGLE	678	1.000	GRF-IC-AD14-A-AD-NF-C2
○	10	203-SS-MR16-12V-8W-FL-30KWD-SL-12-BK-LVR		SINGLE	410	1.000	203-SS-MR16-12V-8W-FL-30KWD-SL-12-BK-LVR

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Horizontal at Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Overall Site	Illuminance	Fc	0.20	17.8	0.0	N.A.	N.A.

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4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

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- ⏻ LIGHTING CONTROL ENCLOSURE



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DRAWN BY:
RAY MACIAS

DATE : JUNE 24, 2022

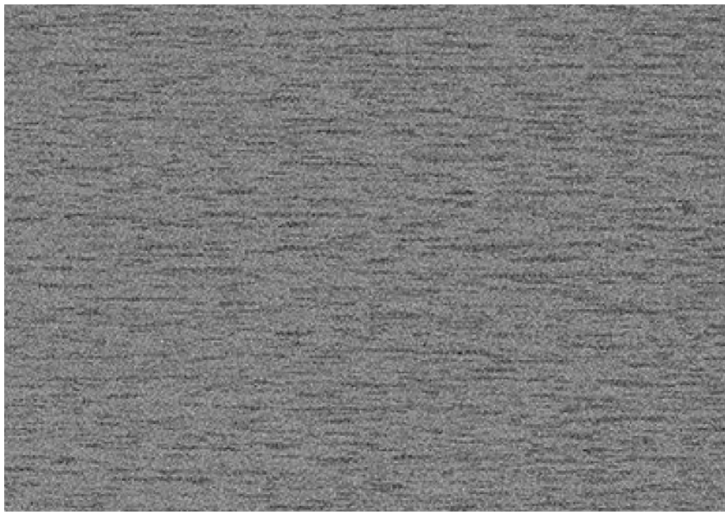
SCALE: AS NOTED

REVISIONS:

- 1
- 2
- 3

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
MOUNTAIN VILLAGE, COLORADO

SHEET
NUMBER:
LIGHTING PLAN
PHOTOMETRIC
EL 5



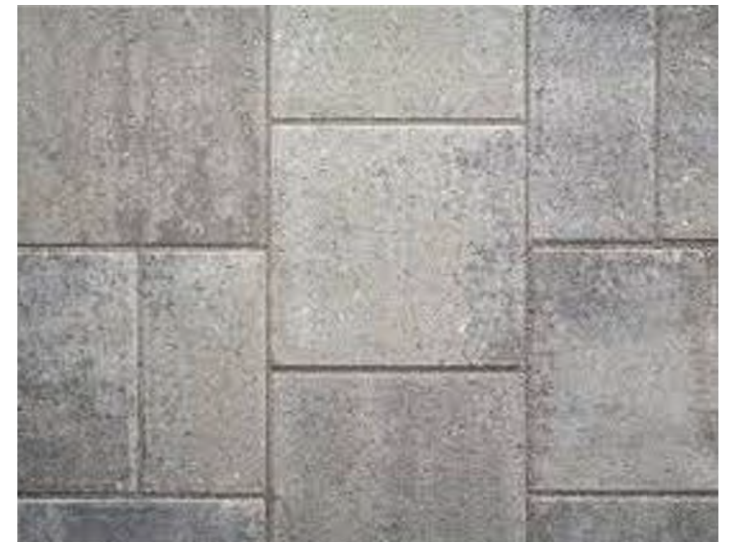
ROOFING AND FASICA:
ZINC GRAY MATTE STANDING
SEAM PANELS.



ARCHITECTURE | DEVELOPMENT | HOMES + LAND

JUSTIN@JK.STUDIO POST BOX 2006- CAREFREE, AZ 85377 (480)225-7282

**BROWN RESIDENCE
LOT AR-25 LAWSONE POINT.
MOUNTAIN VILLAGE**



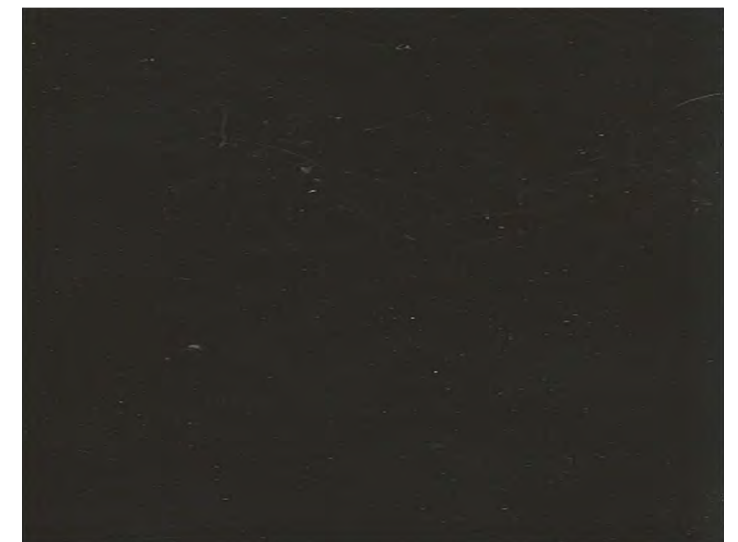
DRIVEWAY PAVERS:
CATALINA PAVERS IN RIO
COLOR.



EXTERIOR STONE:
TELLURIDE GOLD
DRystack.



WALL PANELS :
T-8 PLANKWALL WEATHERED WOOD
COLOR METAL WALL PANEL..



WINDOWS & DOORS
SIERRA PACIFIC DARK
ANODIZED FINISH.











AGENDA ITEM 9
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISION
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Design Workshop on behalf of the Town of Mountain Village

FOR: Design Review Board Public Hearing; October 6, 2022

DATE: October 6, 2022

RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 508, pursuant to CDC Section 17.4.11

APPLICATION OVERVIEW: New Single-Family Home on Lot 508

PROJECT GEOGRAPHY

Legal Description: LOT 508
TELLURIDE MOUNTAIN
VILLAGE, ACCORDING TO
FILING 2 SINGLE FAMILY PLAT
BOOK 1 AT PAGE 702, COUNTY
OF SAN MIGUEL, STATE OF
COLORADO

Address: 125 RUSSEL DRIVE,
MOUNTAIN VILLAGE, CO 81435

Applicant/Agent: Jack Wesson,
Jack Wesson Architects, Inc.

Owner: Isa Re Holdings, LLC

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: .61

Adjacent Land Uses:

- **North:** Vacant
- **East:** Single-Family
- **West:** Single-Family
- **South:** Vacant

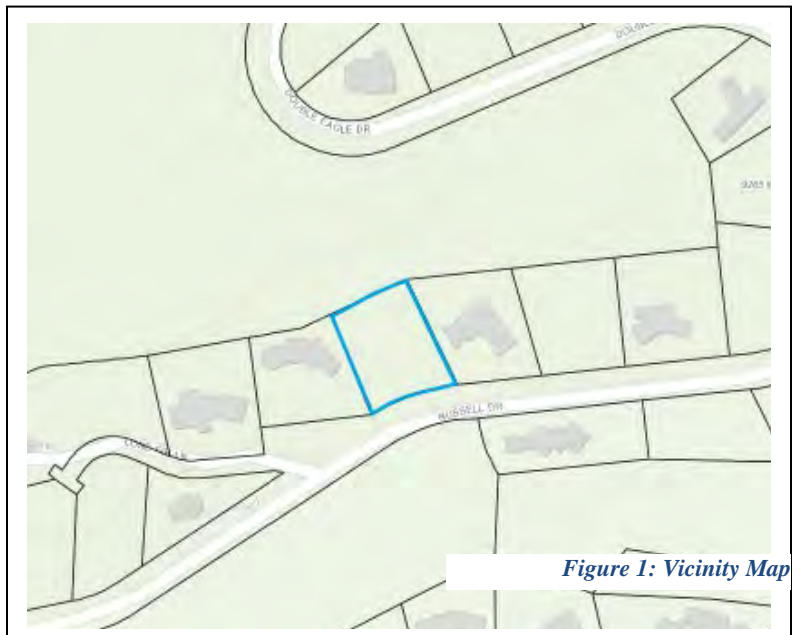


Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comments

Case Summary: Jack Wesson of Jack Wesson Architects, Inc. is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot 508.

The proposed structure is two stories and utilizes a gable roof form. The lot has mildly steep topography that inclines from the northwest to the southeast. The property is proposed to face the southeast corner of the lot. The lot is approximately .61 acres and is zoned single-family. The overall square footage of the home is approximately 3,960 livable square feet and provides two interior parking spaces within the proposed garage and two exterior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	32'-7 ³ / ₄ "
Avg. Building Height	35' (gable) Maximum	21'-3 ¹ / ₂ "
Maximum Lot Coverage	40% (27,369 sq ft)	14.5% (3,960 sq ft)
General Easement Setbacks	No encroachment	GE encroachment, Road right of way encroachment
Roof Pitch		
Primary		8:12
Secondary		8:12
Exterior Material		
Stone Veneer	35% minimum	35.05%
Wood Siding	n/a	41.17%
Windows/Door Glazing	40% maximum	16.53%
Metal Siding	n/a	7.25%
Parking	2 interior/2 exterior	2 interior/ 2 exterior

Design Variations:

- 1) *Road and Driveway Standards – retaining walls over 5'*

Design Review Board Specific Approvals:

- 1) *Road right of way encroachment – insubstantial*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates two gabled roof forms. Homes with a primary gabled roof form are allowed a maximum building height of 40 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point

on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined that the primary roof form for this home is a gable and therefore granted a maximum height of 40' and an average height of 35'. The applicant has calculated a maximum height of 32' 7 ¾" and an average height of 21'-3 ½". The applicant is meeting both requirements. Figures 2-5 below display the elevations of the structure in relation to the height calculations.



Figure 2: South Elevation - Height



Figure 3: East Elevation- Height



Figure 4: North Elevation - Height



Figure 5: West Elevation - Height

17.3.14: General Easement Setbacks

Lot 508 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway and associated retaining wall as shown currently takes access from Russel Drive and crosses the General Easement to the homesite.*
- *Utilities: Utilities are proposed to be located on Russel Drive and will cross the southern GE to the lot. An existing gas line connects to the Telluride Ski & Golf Club's vacant property to the north and crosses the GE. This will also require an agreement.*

Regardless of the encroachment, any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The materials chosen are a combination of stone, wood, and metal, which should create an exterior capable of withstanding the high alpine environment. Overall, it appears that the design is visually appealing and would fit within the existing Mountain Village Design Theme.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The site has mild topography changes that increase in slope from the northwest to the southeast. The home is oriented to face the southwest. The development proposes the ground floor to consistently be situated at the at grade elevation of the site, which requires a 2:1 cut slope technique and boulder wall on the northern elevation. The second story of the home and garage is situated at grade on the east. A 2:1 fill slope and boulder wall are proposed on the western side of the proposed home. The development does not propose grading, clearing, direct drainage, direct access, or other direct impact onto the adjoining properties. The applicant's Snow Melt Plan shown in Diagram A105 demonstrates that the driveway, deck, patio and steps are proposed to be heated. No other areas of snow melt are shown on the plans. The applicant has demonstrated that this site adheres to the goals outlined in section 17.5.5 of the CDC.

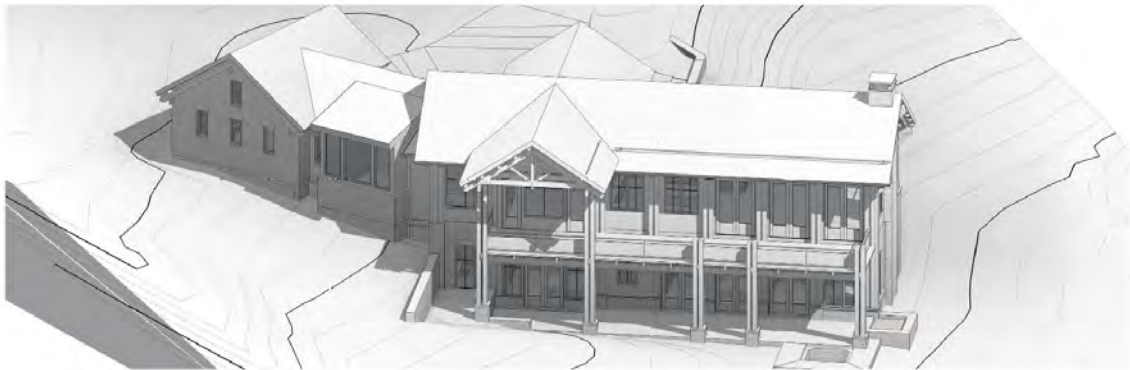


Figure 6: Bird's Eye View of property from south

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal

roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:

The form of the proposed residential structure follows an alpine mountain design that is well grounded to withstand the extreme natural forces of wind, snow, and heavy rain. It is made of materials such as stone, barnwood with douglas fir wood columns, and metal that evoke this form.



Figure 7: South Elevation

Exterior Wall Form:

The proposed development has exterior walls that are simple in design and portray a massing that is substantially grounded to the site. This is reinforced through the use of stone materials as the base.

Roof Form:

The gable roof is made of rusted standing seam metal and the design provides a roof plane that is broken up into two parts. The garage is oriented at an angle, providing variation to the roof form and massing. The proposed structure follows the design elements outlined in the CDC.



Figure 8: East Elevation

Chimneys, Vent and Rooftop Equipment Design:

The applicant has identified a wood burning fireplace. The installation of a spark arrester and demonstration of necessary wood burning permits is required. The proposed equipment meets the requirements of the CDC.

Exterior Walls Materials and Color:

The building utilizes Telluride gray stone veneer at the base of the home and at the garage, with vertical barnwood siding and douglas fir wood columns on the second story. Stone walls account for 35.05 percent of exterior materials, which exceeds the minimum 35 percent stone requirement. The applicant has identified that the fascia will be wood. The applicant has not identified a material for the soffit. If metal is used, the proposal will be subject to specific approvals from the DRB outlined in section 17.5.6.C.3.h.ii.

Glazing:

The maximum window area of the building, including window and door glazing, is 16.53 percent of the total building façade. Cladding on the windows and doors is bronze metal.

Doors and Entryways:

Exhibit A Sheet A601 shows the window schedule. The garage door detail is shown on Sheet A602. The applicant has not provided a door schedule.

Decks and Balconies:

The proposed balconies enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC.

Required Surveys and Inspections:

A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design

Staff: The applicant is proposing a change to grading and the use of a retaining wall on the western side of the lot. This wall is shown on the Civil Plans (Sheet C2) to be 2.5 feet in height, with one portion at 9 feet immediately adjacent to the building. This portion is proposed to be a planter box. Retaining walls are limited to 5 feet in height, so a design variation will be required.

Additionally, A boulder wall is proposed to run parallel to existing grades from the northern side of the home. The proposed grading shows that the contours are offsetting to the proposed structure rather than mimicking the natural topography of the current landscape. The retaining wall is proposed to be 4 feet in height.

A 3.5-foot boulder wall is also proposed west of the driveway and is within the allowable height of 5 feet.

Public Works: No comments.

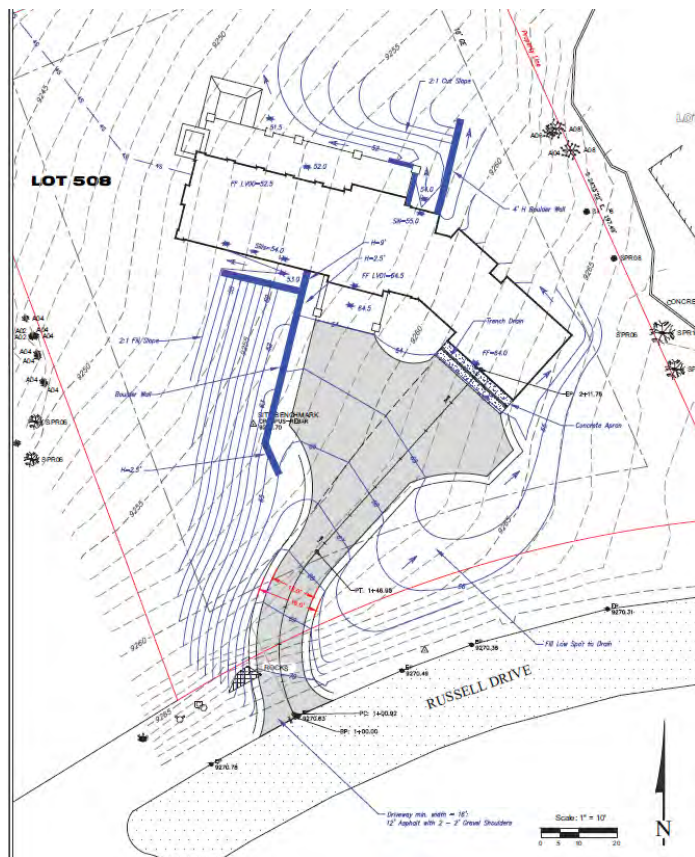


Figure 9: Proposed Grading

17.5.8: Parking Regulations

Staff: The applicant has shown two interior and two exterior parking spaces on their plan, per CDC requirements.

17.5.9: Landscaping Regulations

Staff: The applicant proposes retaining existing trees on the periphery of the property. The applicant has indicated that silt and construction fencing will be provided around the periphery of the General Easement. The applicant has identified the required protection fencing installed at the dripline of each tree per CDC requirements.

The applicant is proposing the addition of 7 (seven) evergreen trees, 30 potentilla, 26 aspen, and 22 dogwood shrubs. Forty percent of trees within the project must be of a diversity of species and those not typically found in landscaping in the Town, such as lodgepole pine, limber pine, white bark pine, ponderosa pine, bristlecone pine and pinyon pine. With only 21 percent of the proposed vegetation being evergreen, the applicant is not meeting the landscape diversity requirement of this section. The final review application will be required to provide species diversity to meet the requirement of this section.

Town Forrester Comments: Every tree to be planted needs to represent at least two separate genus (Picea, Abies, Pinus, Juniperus, Thuja, Pseudotsuga) and one of the genus classes should, ideally, be represented by two separate species (example, Pinus = limber pine and white bark pine). The landscaping plan should also show greater diversity in shrub species.

17.5.11: Utilities

Staff: The applicant has proposed gas lines utilities to be located on Russel Drive and will cross the southern GE to the lot. An existing gas line connects to the Telluride Ski & Golf Club's vacant property to the north and crosses the GE.

Public Works Comments: The applicant will need to field verify the utilities.

17.5.12: Lighting Regulations

Staff: Materials samples were provided for outdoor lighting, including rope lights, step lights, and outdoor sconces. The step lights and sconces are LED and all three light sources meet the 850 lumen limit and will be on a dimmer management system.



Figure 10: Rope light



Figure 11: Step light

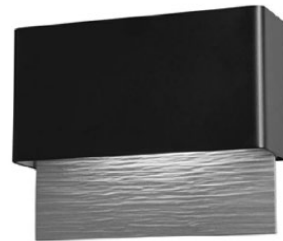


Figure 12: Outdoor sconce

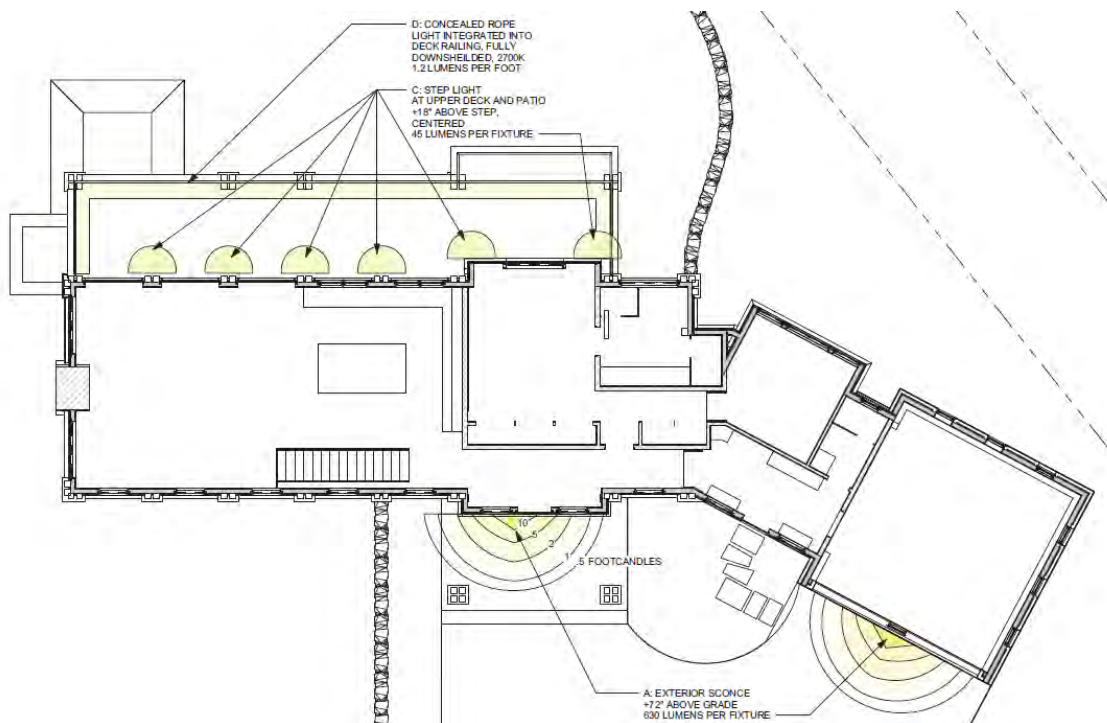


Figure 13: Exterior Lighting Plan – Main Level

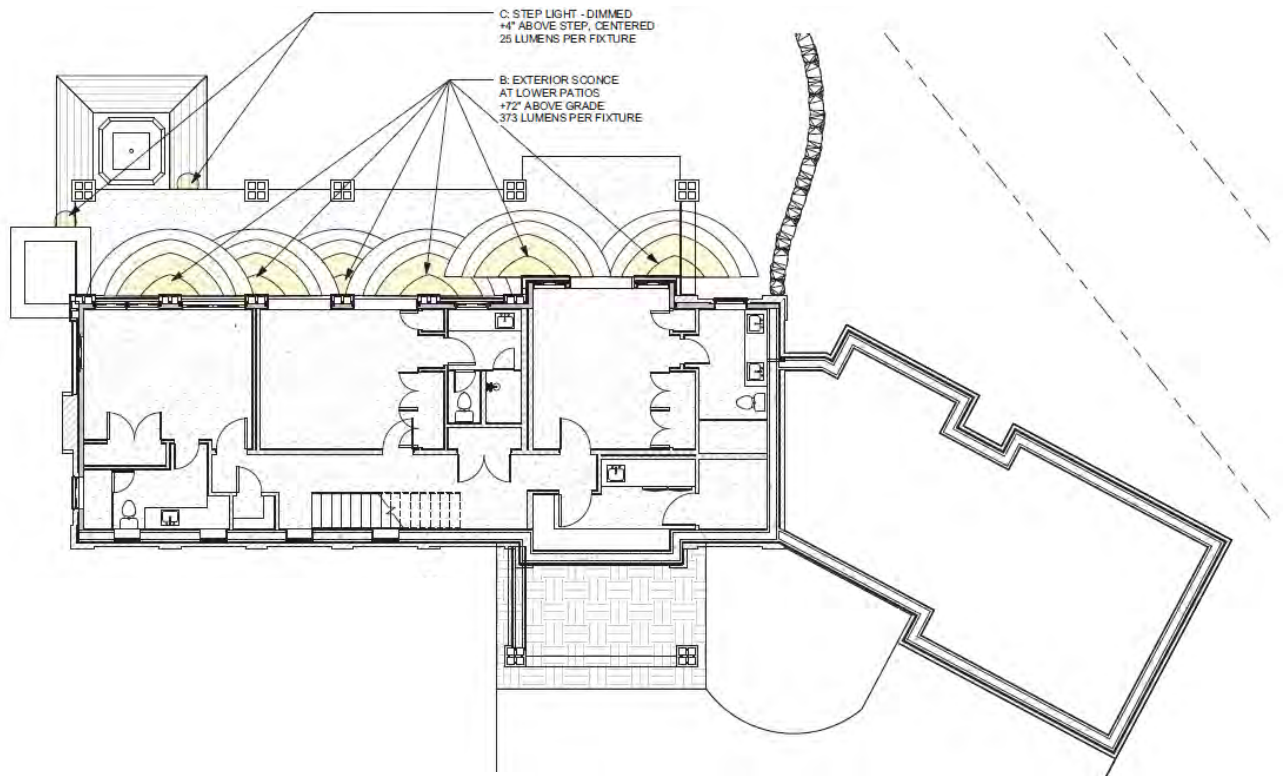


Figure 14: Exterior Lighting Plan – Lower Level

17.5.13: Sign Regulations

Staff: An address monument is proposed within the General Easement. This is proposed to be steel with 6" tall, backlit stainless-steel numbers.

Fire District Comment: The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.

Any development within the General Easement will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: The applicant has included the 15' Zone 1 Fire Mitigation area. Evergreen and aspen trees are proposed to be planted on the outer edge of the developed area, which is within the dripline of the property. The applicant has not indicated the edge of dripline on Sheet A101. The applicant should revise the Fire Mitigation plan to indicate driplines or revise the delineation of Zone 1 to 15 feet around the perimeter of the home.

In Zone 2, the applicant is proposing aspen and evergreen trees and has indicated that Zone 2 requires a 10' crown-to-crown separation. Per section 17.6.1A-3d of the CDC, all trees within zone 2 must have all branches pruned to a height of 10'. It is the responsibility of the lot owner to maintain these regulations required by the wildfire mitigation plan of section 17.6.1A3.

Telluride Fire Protection District: TFPD approves the proposal with conditions that the structure shall install a monitored NFPA 13D sprinkler and NFPA 72 fire alarm system.



Figure 15: Fire Mitigation Plan

17.6.6: Roads and Driveway Standards

Staff: The proposed driveway meets the minimum width requirements required per section 17.6.6B-2a of the CDC at a width of 12' - 16' with 2' gravel shoulders. A concrete apron and trench is indicated to be located between the driveway and garage. The driveway grade is within the maximum allowed grade of eight percent.

Fire District Comments: The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home includes a solid fuel burning fireplace. A solid fuel burning permit must be provided to the Town per section 17.6.8A of the CDC. The installation of a spark arrester is also required.

Chapter 17.7: BUILDING REGULATIONS

17.7.20: Construction Mitigation

Staff: The construction mitigation plan shows the required dumpster, bear-proof food waste and recycling bins, and a port-a-toilet. The plan does not show an area for material storage. The parking plan indicates five spots on the site. However, all of these are located in the current driveway, which is an area that won't be available for use until initial stages of construction are complete. The applicant will likely still need to work with the Town for roadside parking permits until the driveway is created. It is possible that until the driveway is created that at least some workers will need to be shuttled to the site from elsewhere.

Appropriate silt protection and wattles are shown to handle stormwater runoff. The applicant has identified the area of construction staging and revegetation. No crane is indicated on the CMP, if it is determined that one is required, the applicant shall work with Town staff to make sure the crane swing doesn't impede the roadway.

Public Works: No comments.

Staff Recommendation: Staff recommends approval of the initial architectural review with conditions.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 508, based on the evidence provided in the staff record of memo dated October 6, 2022, and the findings of this meeting with the following design variations and specific approvals:

Design Variations:

- 1) *Road and Driveway Standards – retaining walls over 5'*

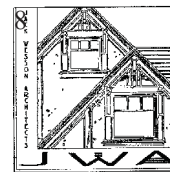
Design Review Board Specific Approvals:

- 2) *Road right of way encroachment – insubstantial*

And, with the following conditions:

- 1) *Prior to building permit, the applicant shall work with Public Works to field verify all utilities.*
- 2) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
- 3) *Prior to final review, the applicant shall provide a door schedule that details materials.*
- 4) *Prior to final review, the applicant shall identify materials used for the soffit.*
- 5) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Zone 1 Fire Mitigation standards.*
- 6) *Prior to final review, the applicant shall identify a designated space for material storage prior to final review.*
- 7) *Prior to certificate of occupancy the applicant will provide a solid fuel burning permit to the Town.*
- 8) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the right of way.*
- 9) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 10) *A Knox Box for emergency access is recommended.*
- 11) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 12) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 13) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*

- c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*
- 14) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*



NARRATIVE

5.10.22

To: Amy Ward, Town of Mountain Village Planner
Community Development Department
Design Review Board
Mountain Village, CO

From: Jack Wesson
Jack Wesson Architects, Inc.
109 E. Colorado Ave. #2, Telluride CO
P.O. Box 2051
Telluride, CO 81435
(970) 519.1551
jwesson@me.com.com

Re: Preliminary Design Review Submission Narrative
for a Single Family Residence
Lot 508, Trails Edge, Mountain Village

This single family residence is proposed to be built on lot 508 (lot size 27,369 sf). The interior gross heated area is approximately 3,290 s.f., 56 s.f. of mechanical and 484 s.f. of gross garage area. The design esthetic is a rustic, mining vernacular in material and massing components as required by the Mountain Village Design Review regulations. The exterior materials incorporate stained wood siding and timbers, stone and mill-scale steel finish railings and rusted metal roofing. Roof forms are traditional gable forms at an 8:12 pitch. The project is compliant with the Mountain Village Land Use Ordinance; the massing is within the maximum height limit (21'-3 1/2" ave. and 32'-7 3/4" max.) and the site coverage (3960 sf) is only 14.5%. There is one wood burning fireplace.

Exterior Material Requirements:

stone veneer	35.05% (exceeds 35%)
fenestration	16.53%
wood	41.17%
metal accent	7.25%

Land Use Ordinance Compliance:

Lot Area:	approximately 27,369 sf
Site Coverage:	3,960 s.f. or 14.5%
Floor Area Living:	3,290 s.f. plus 56 s.f. mechanical
Floor Area Garage	484 s.f.
Ave. Ht.	21'-3 1/2" (30' max. ave. allowed)
Max. Ht.	32'-7 3/4" (40' max. allowed)

Sincerely,

Jack Wesson



② BIRD'S EYE 2



① BIRD'S EYE 1

NOT FOR CONSTRUCTION



JACK WESSON
ARCHITECTS INC.

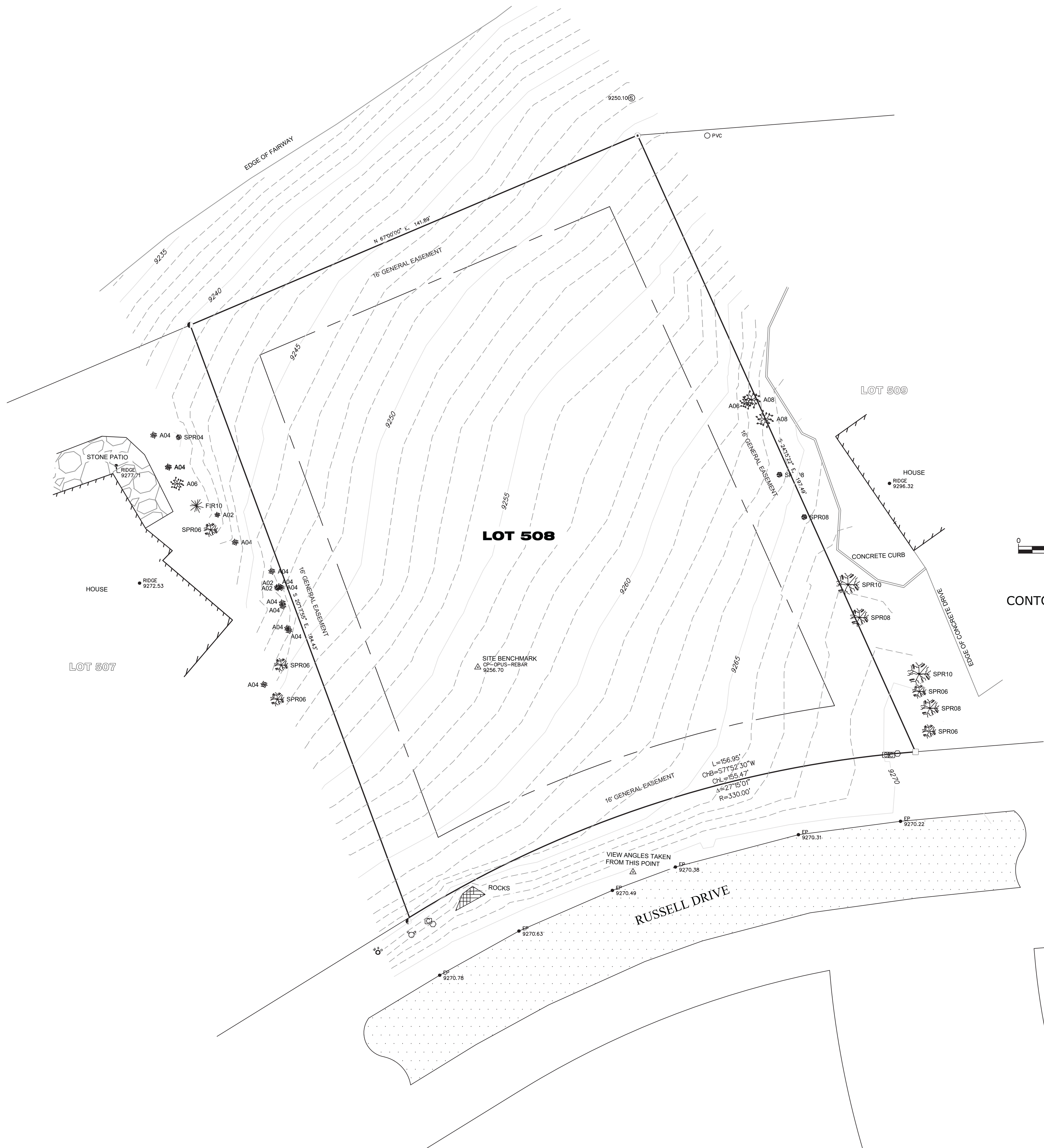
TELLURIDE, COLORADO 81435
TEL: 970-728-8755
FAX: 970-728-9724
jwesson@jwa.com
www.jackwessonarchitects.com

5-11-2022	DRB SUBMISSION	
3-4-2022	REDLINE PICKUPS	
1-10-2022	10' SHIFT	
1-3-2022	REDLINE PICKUPS	
12-31-2021	REDLINE PICKUPS	
11-3-2021	MATERIAL AREAS	
10-25-2021	MASSING	
7-1-2021	LAYOUT	
ARK	REV. DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		
2022 JWA		

PROJECT NAME: 508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION
3D

SHEET NUMBER:
3D1



PROPERTY DESCRIPTION:

LOT 508, TELLURIDE MOUNTAIN VILLAGE, FILING 2, ACCORDING TO THE PLAT RECORDED MARCH 3, 1987 IN PLAT BOOK 1 AT PAGE 702, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

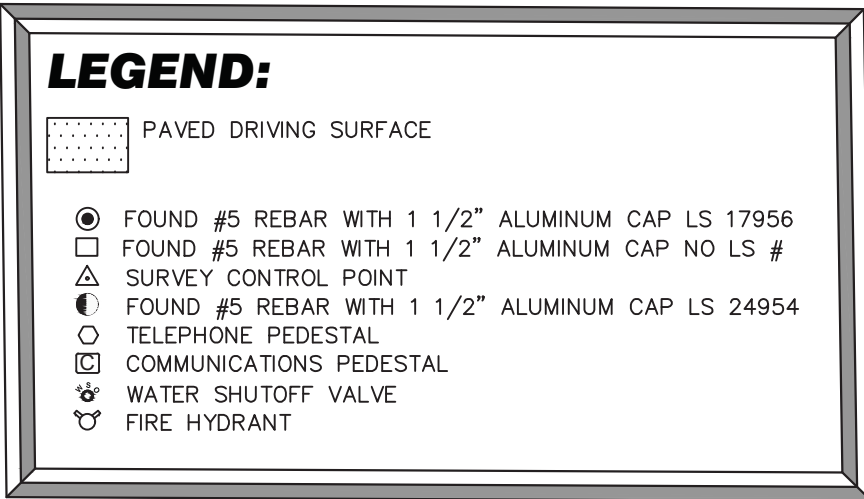
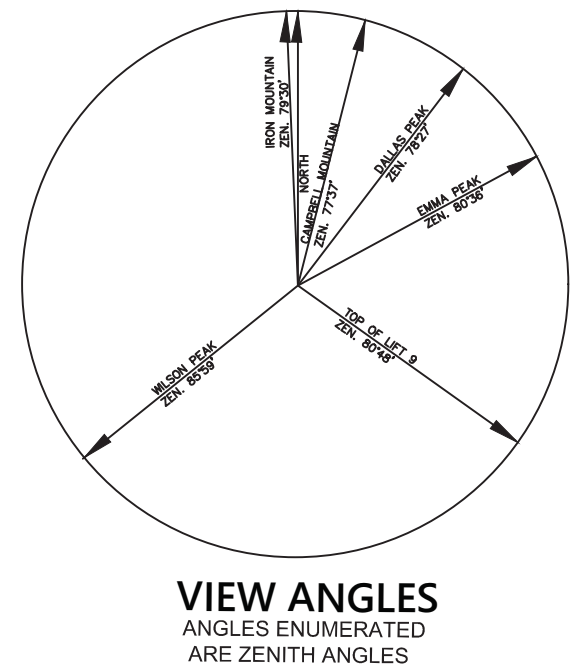
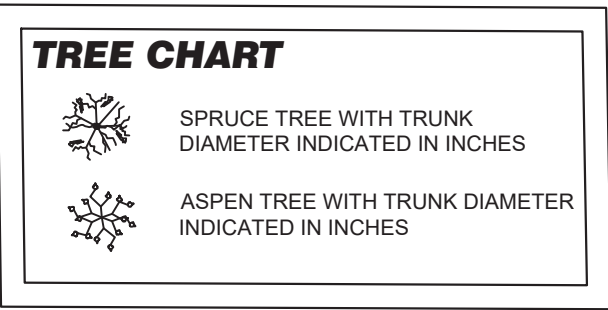
SURVEYOR'S CERTIFICATE:

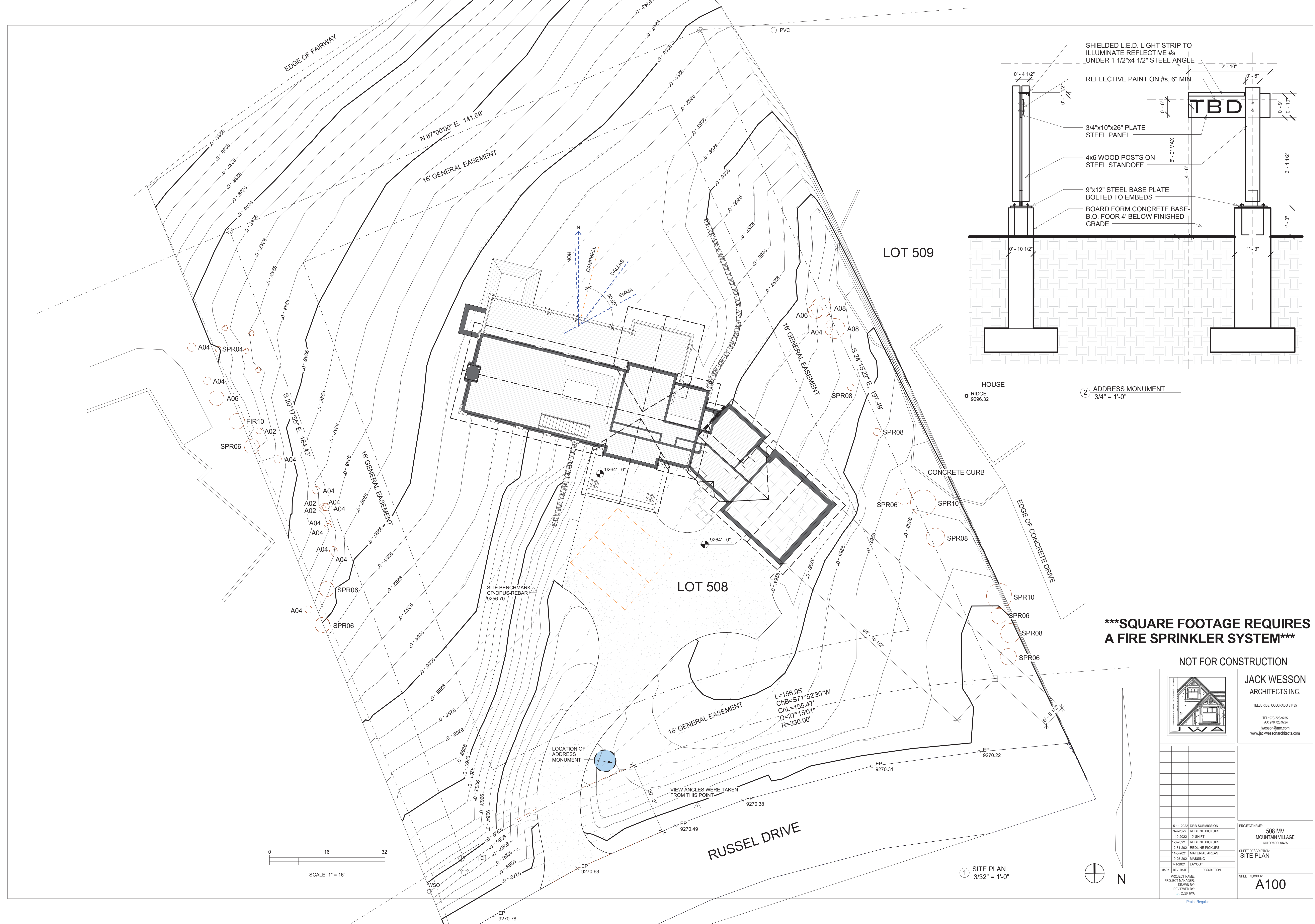
I, Thomas A. Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 508, Telluride Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

Thomas A. Clark
PLS. 38014

NOTES:

- Easement research and property description provided by LAND TITLE GUARANTEE COMPANY - TELLURIDE, Order Number TLR86009451-2 effective on 10/22/2019 at 5:00 P.M..
- According to FEMA Flood Insurance Rate Map 008113C0300C Panel Number 0287 dated September 30, 1988 this parcel is within Zone X; Areas determined to be outside 500 year plain.
- Field work was performed in May 2021.
- Elevation datum for this survey are based on GPS observation and OPUS solution (NAVD 88) on benchmark "CP OPUS- REBAR" that elevation being 9256.70.
- This survey is valid only if a printed or electronic copy has a seal and signature of the surveyor noted within the statement above.
- This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an expressed statement by the surveyor naming said entities.
- NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.





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FAX: 970-728-9724
jwesson@me.com
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NOT FOR CONSTRUCTION

	5-11-2022	DRB SUBMISSION
	3-4-2022	REDLINE PICKUPS
	1-10-2022	10' SHIFT
	1-3-2022	REDLINE PICKUPS
	12-31-2021	REDLINE PICKUPS
	11-3-2021	MATERIAL AREAS
	10-25-2021	MASSING
	7-1-2021	LAYOUT
MARK	REV. DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
SITE PLAN

SHEET NUMBER:
A100

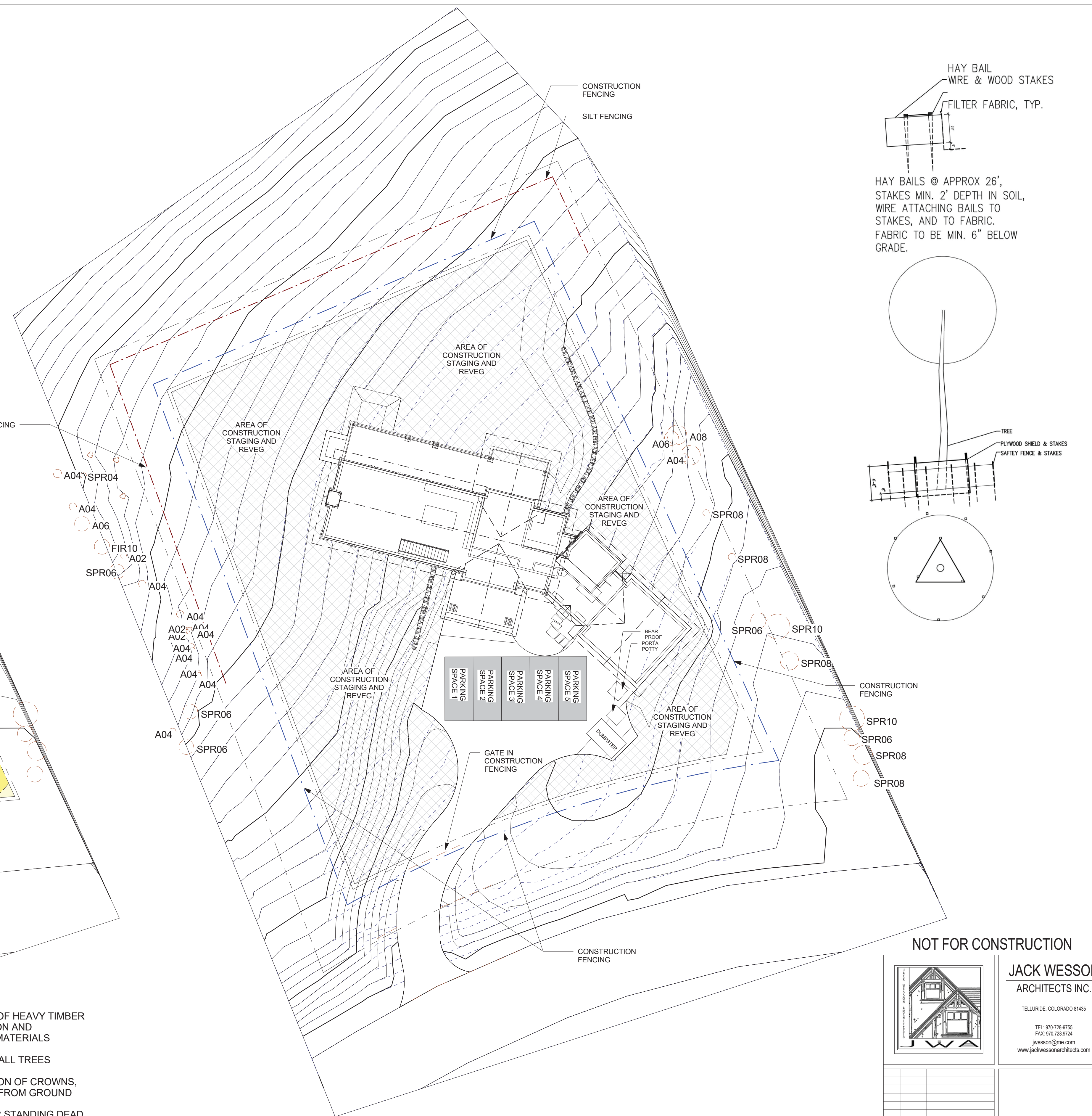


ALL DECKS TO BE BUILT OF HEAVY TIMBER
CONSTRUCTION AND
FIRE RESISTANT MATERIALS

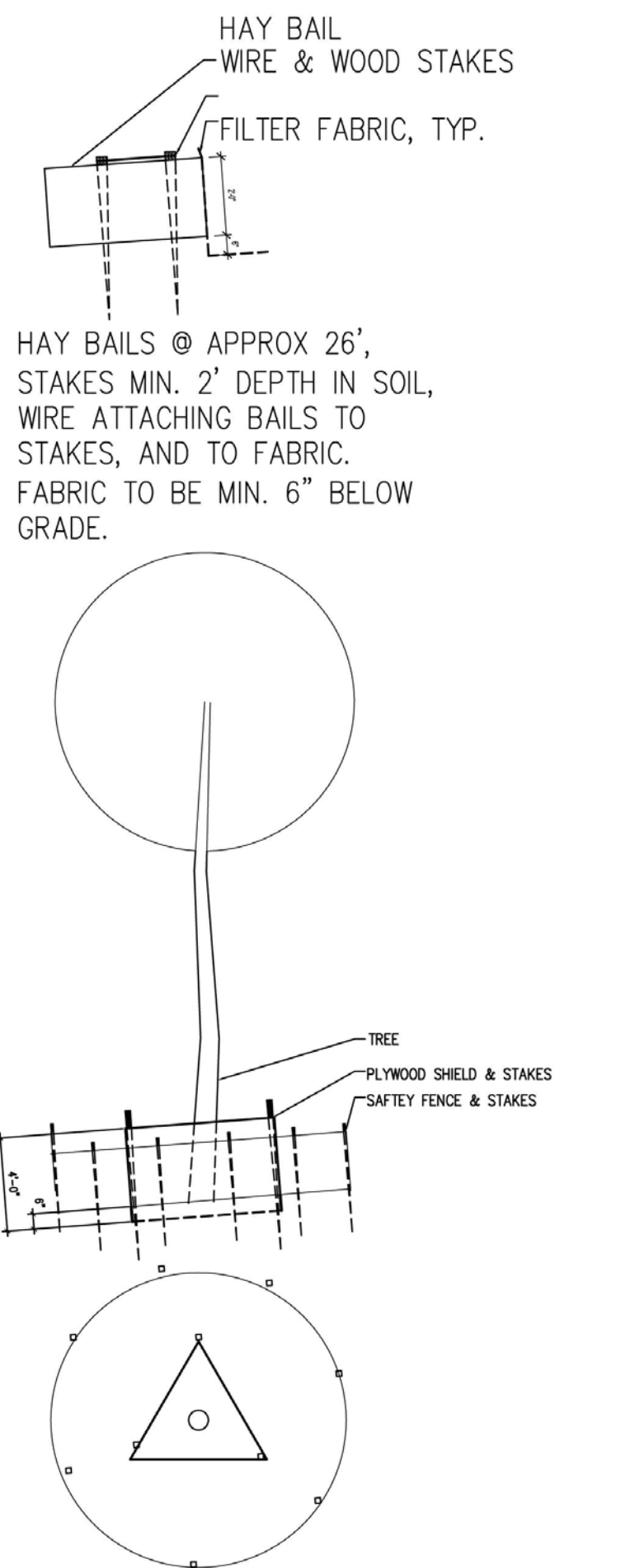
ZONE 1- REMOVE ALL TREES

ZONE 2- 10' SPEARATION OF CROWNS,
CLEAR BRANCHES 10' FROM GROUND

ZONE 3- THIN AND CLEAR STANDING DEAD



NOTE: ADDITIONAL TREE CLEARING WILL BE DONE IN ACCORDANCE WITH THE MOUNTAIN VILLAGE LAND USE ORDINANCE FIRE MITIGATION REQUIREMENTS



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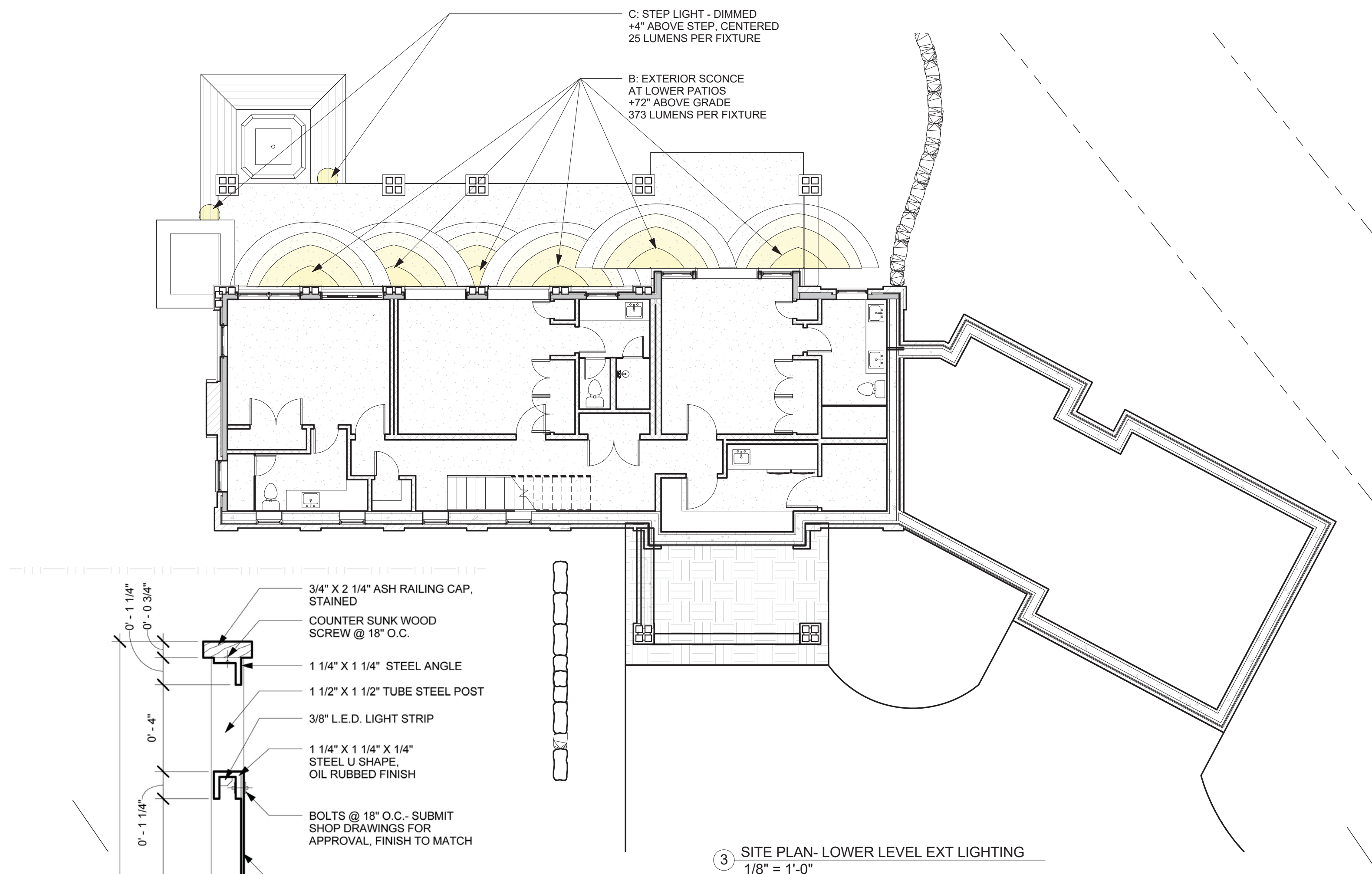
	5-11-2022	DRB SUBMISSION
	3-4-2022	REDLINE PICKUPS
	1-10-2022	10' SHIFT
	1-3-2022	REDLINE PICKUPS
	12-31-2021	REDLINE PICKUPS
	11-3-2021	MATERIAL AREAS
	10-25-2021	MASSING
	7-1-2021	LAYOUT
MARK	REV. DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		
© 2020 JWA		

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

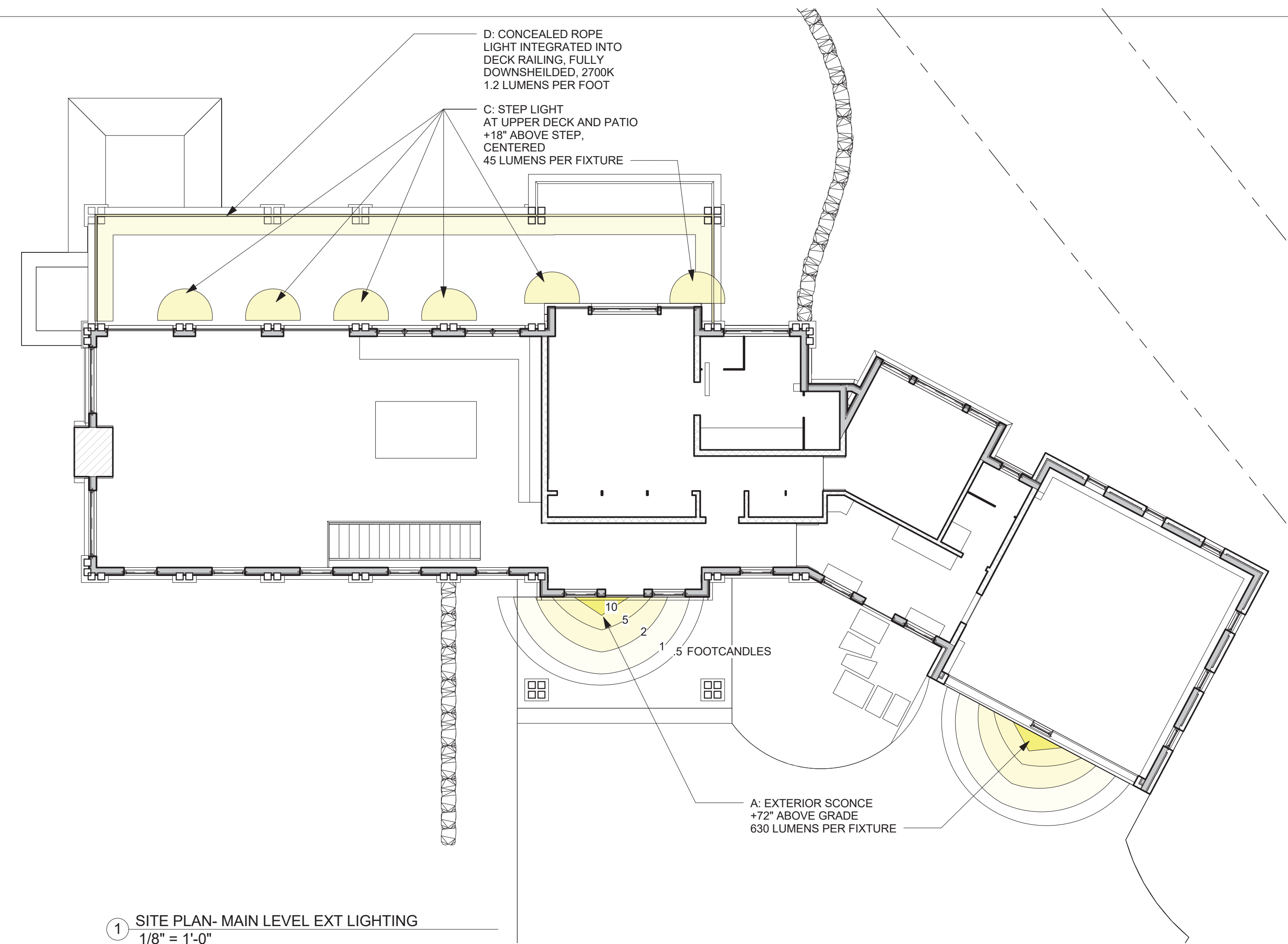
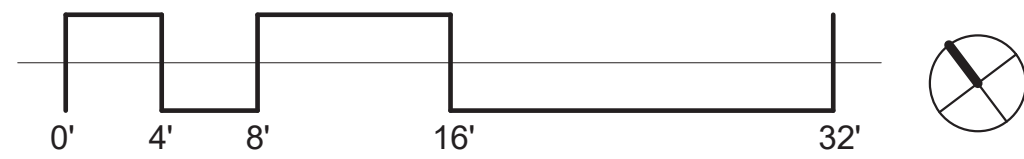
PROJECT DESCRIPTION:
CONSTRUCTION
STAGING PLAN & FIRE
MITIGATION

PROJECT NUMBER:
A101

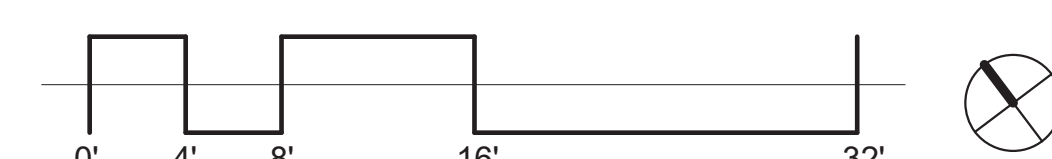




③ SITE PLAN- LOWER LEVEL EXT LIGHTING
1/8" = 1'-0"



① SITE PLAN- MAIN LEVEL EXT LIGHTING
1/8" = 1'-0"



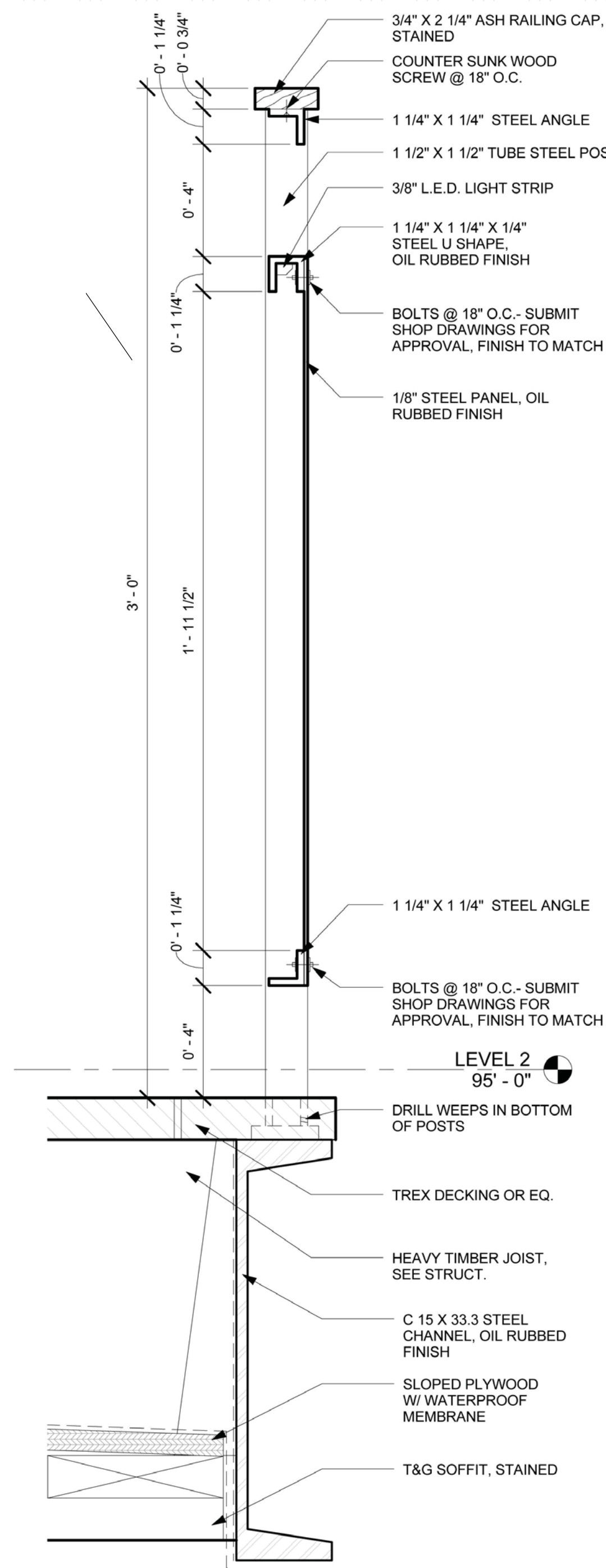
ALL LIGHTING TO BE ON A DIMMER MANAGEMENT SYSTEM, 850 LUMENS MAX

A: LARGE EXTERIOR SCONCE: see cut sheet A810

B: SMALL EXTERIOR SCONCE: see cut sheet A810

C: EXTERIOR STEP LIGHT: see cut sheet A810

D: EXTERIOR ROPE LIGHT: see cut sheet A810



② DETAIL- RAILING @ NORTH DECK
3" = 1'-0"

NOT FOR CONSTRUCTION



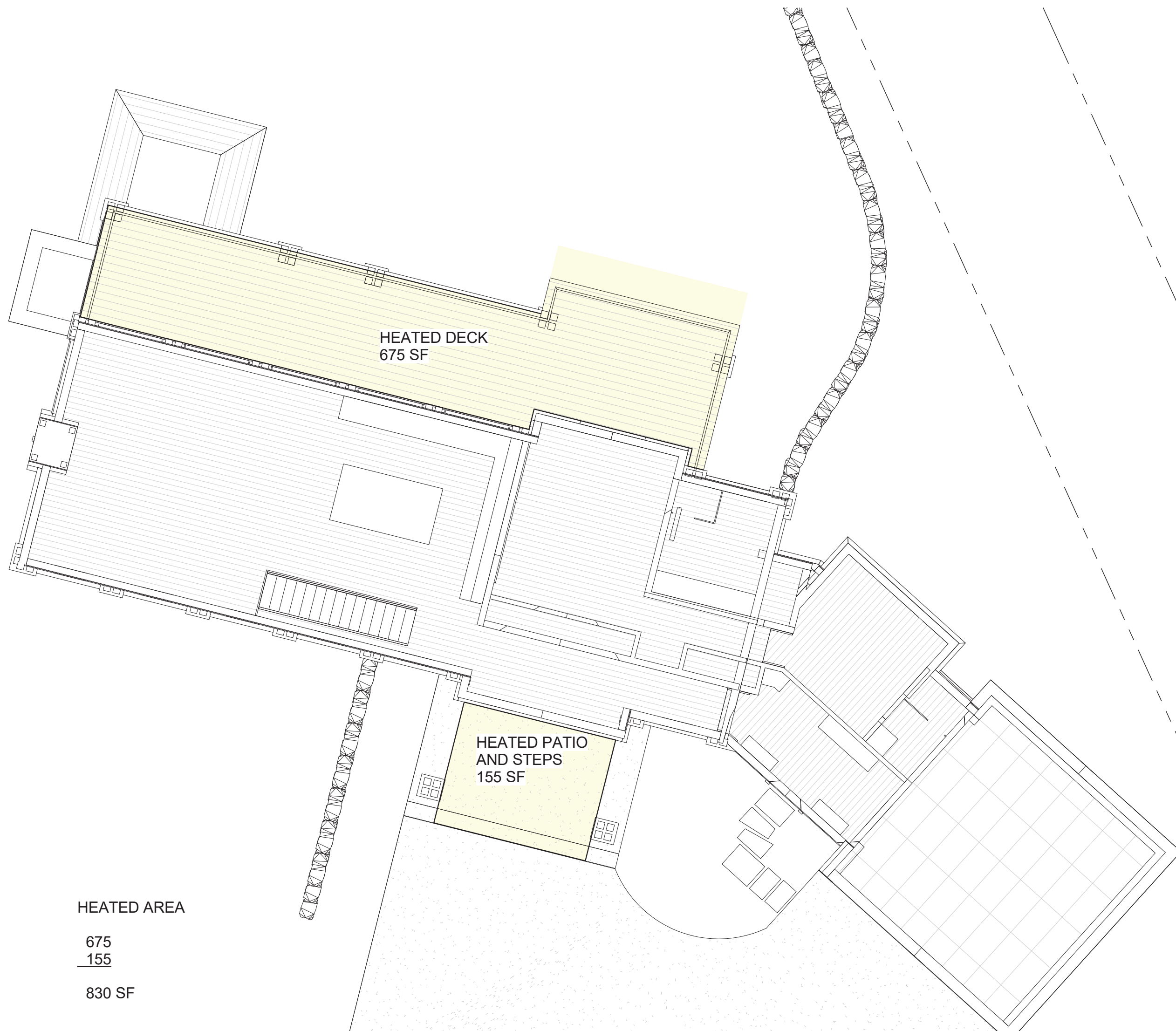
JACK WESSON
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FAX: 970-728-9724
jwesson@jwa.com
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MARK	REV	DATE	DESCRIPTION
	1	5-11-2022	DRB SUBMISSION
	2	3-4-2022	REDLINE PICKUPS
	3	1-10-2022	10' SHEET
	4	1-3-2022	REDLINE PICKUPS
	5	12-31-2021	REDLINE PICKUPS
	6	11-3-2021	MATERIAL AREAS
	7	10-25-2021	MASSING
	8	7-1-2021	LAYOUT
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PROJECT NAME: 508 MV
MOUNTAIN VILLAGE
COLORADO 81435
SHEET DESCRIPTION:
EXTERIOR LIGHTING
PLAN

SHEET NUMBER:
A104



HEATED AREA
675
155
830 SF

HEATED DECK
675 SF

HEATED PATIO
AND STEPS
155 SF

1 SITE PLAN- SNOW MELT PLAN
1/8" = 1'-0"

NOT FOR CONSTRUCTION



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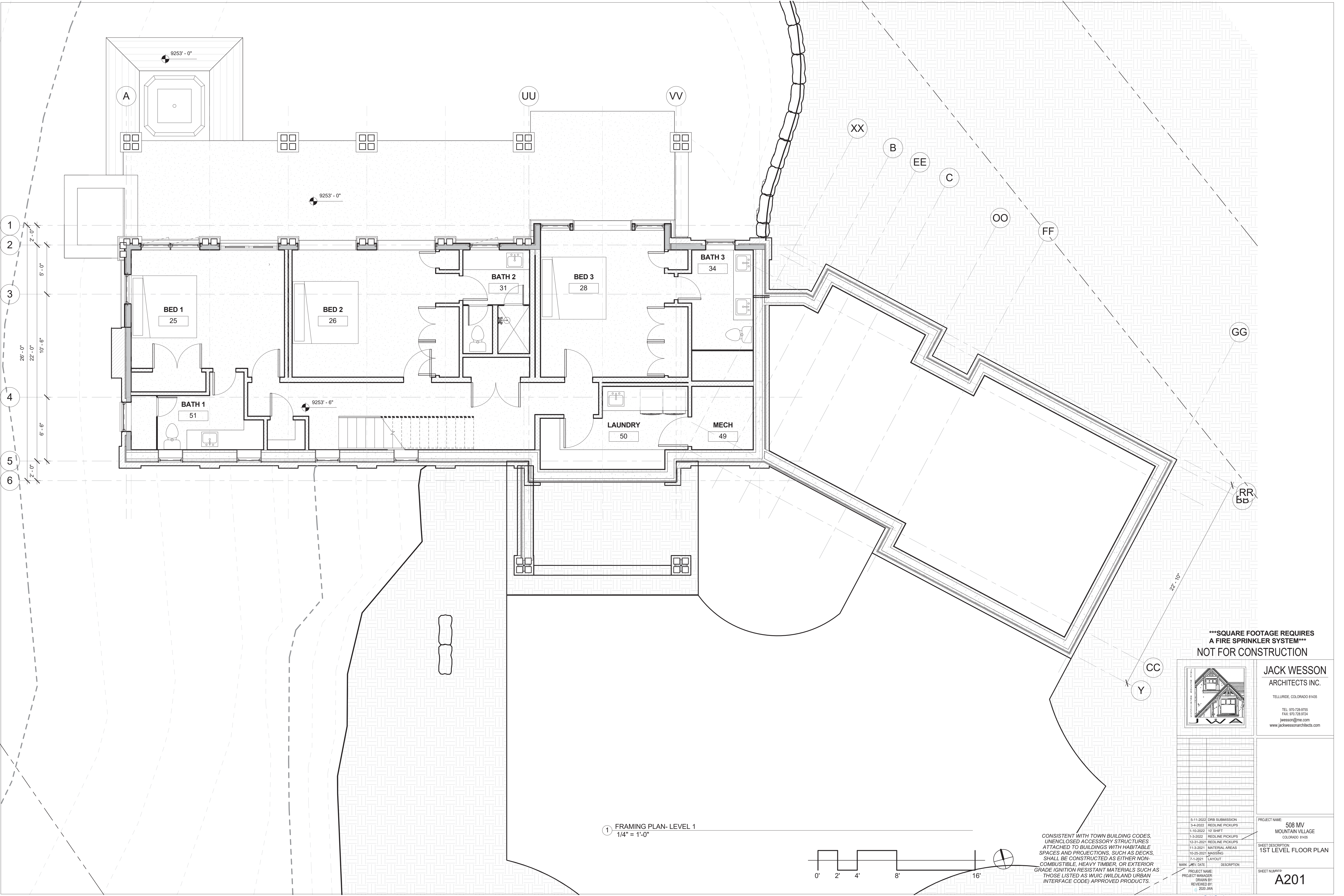
TELLURIDE, COLORADO 81435
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	5-11-2022	DRB SUBMISSION
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	10-25-2021	MASSING
	7-1-2021	LAYOUT
MARK	REV. DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		
2020 JWA		

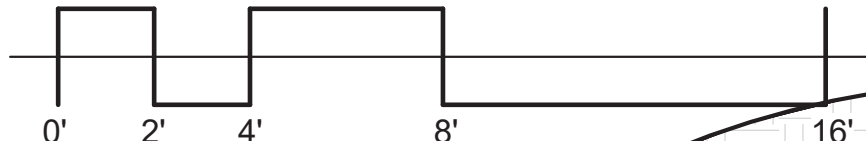
PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
SNOW MELT PLAN

SHEET NUMBER:
A105



1 FRAMING PLAN- LEVEL 1
1/4" = 1'-0"



CONSISTENT WITH TOWN BUILDING CODES,
UNENCLOSED ACCESSORY STRUCTURES
ATTACHED TO BUILDINGS WITH HABITABLE
SPACES AND PROJECTIONS, SUCH AS DECKS,
SHALL BE CONSTRUCTED AS EITHER NON-
COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR
GRADE IGNITION RESISTANT MATERIALS SUCH AS
THOSE LISTED AS WUC (WILDLAND URBAN
INTERFACE CODE) APPROVED PRODUCTS.



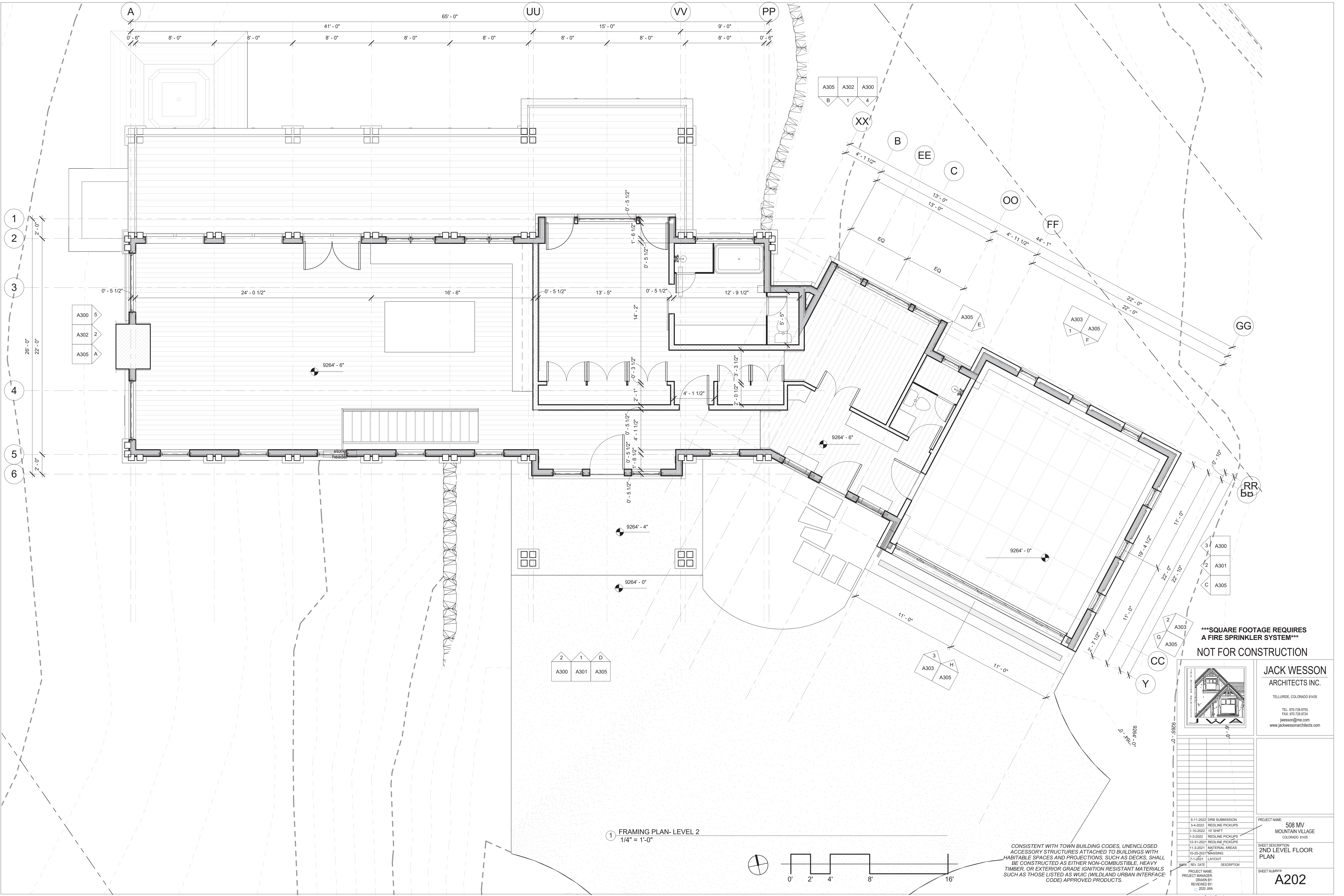
***SQUARE FOOTAGE REQUIRES
A FIRE SPRINKLER SYSTEM***
NOT FOR CONSTRUCTION

JACK WESSON
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MARK	REV	DATE	DESCRIPTION
5-11-2022	DRB SUBMISSION		
3-4-2022	REDLINE PICKUPS		
1-10-2022	10' SHEET		
1-3-2022	REDLINE PICKUPS		
12-31-2021	REDLINE PICKUPS		
11-3-2021	MATERIAL AREAS		
10-26-2021	MASSING		
7-1-2021	LAYOUT		

PROJECT NAME: 508 MV
MOUNTAIN VILLAGE
COLORADO 81435
SHEET DESCRIPTION:
1ST LEVEL FLOOR PLAN
SHEET NUMBER:
A201



1 FRAMING PLAN- LEVEL 2
1/4" = 1'-0"

***SQUARE FOOTAGE REQUIRES
A FIRE SPRINKLER SYSTEM***
NOT FOR CONSTRUCTION



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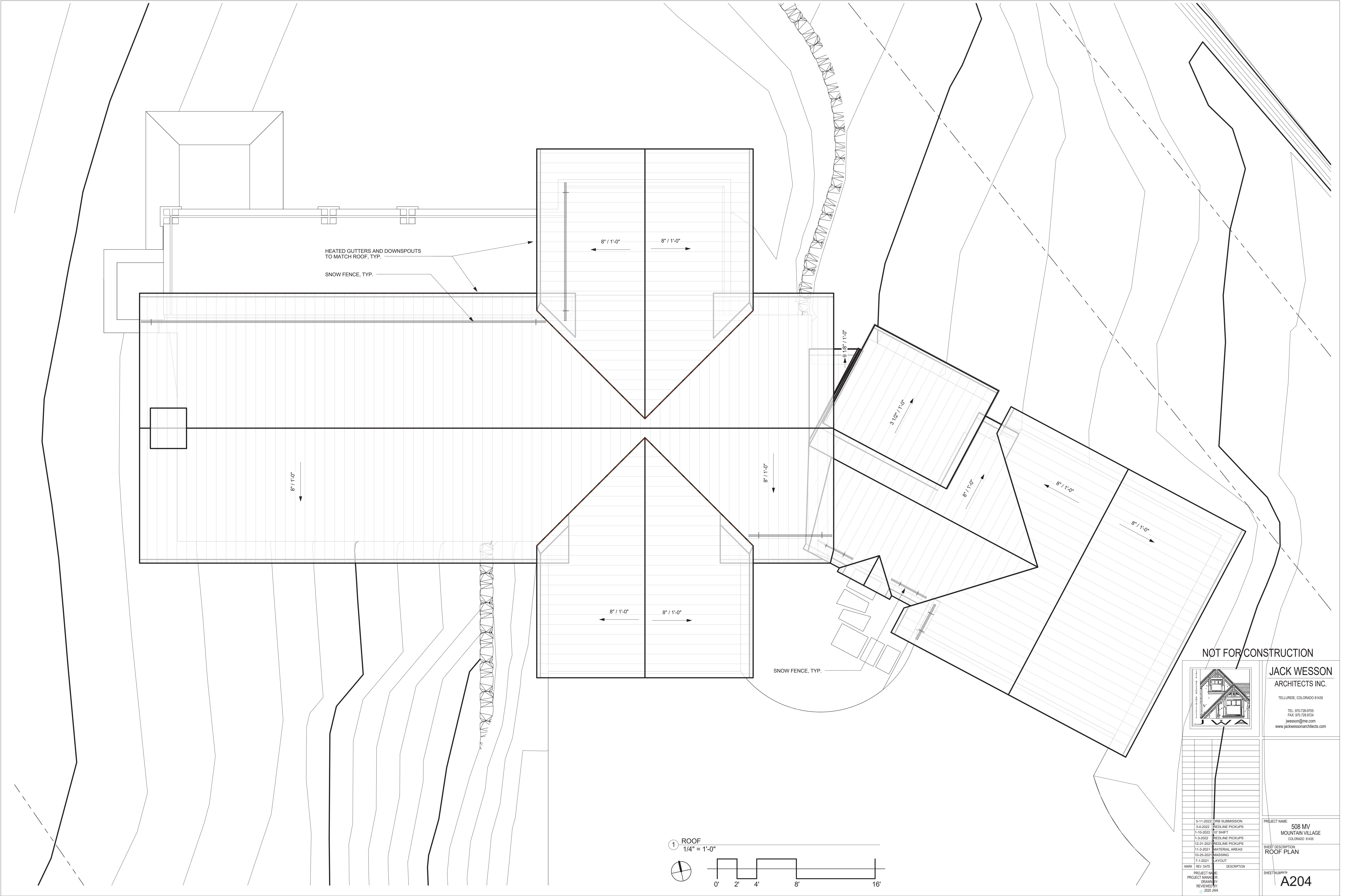
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MARK	REV	DATE	DESCRIPTION
5-11-2022	DRB SUBMISSION		
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1-10-2022	10' SHEET		
1-3-2022	REDLINE PICKUPS		
12-31-2021	REDLINE PICKUPS		
11-3-2021	MATERIAL AREAS		
10-25-2021	MISSING		
7-1-2021	LAYOUT		


PROJECT NAME: 508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
2ND LEVEL FLOOR
PLAN

SHEET NUMBER:
A202



NOT FOR CONSTRUCTION



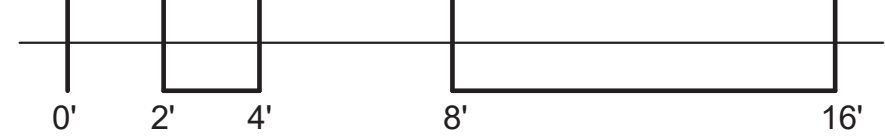

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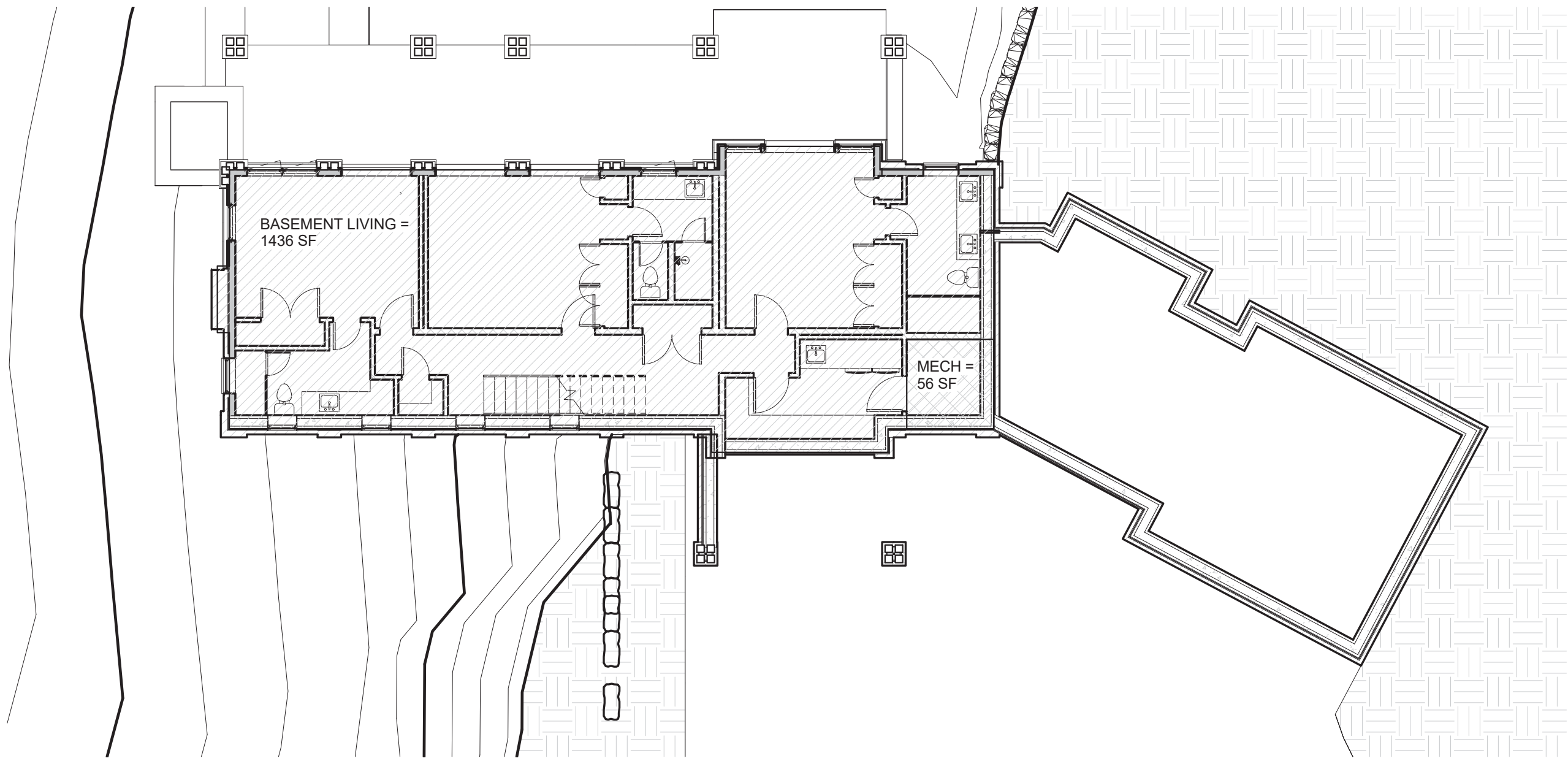
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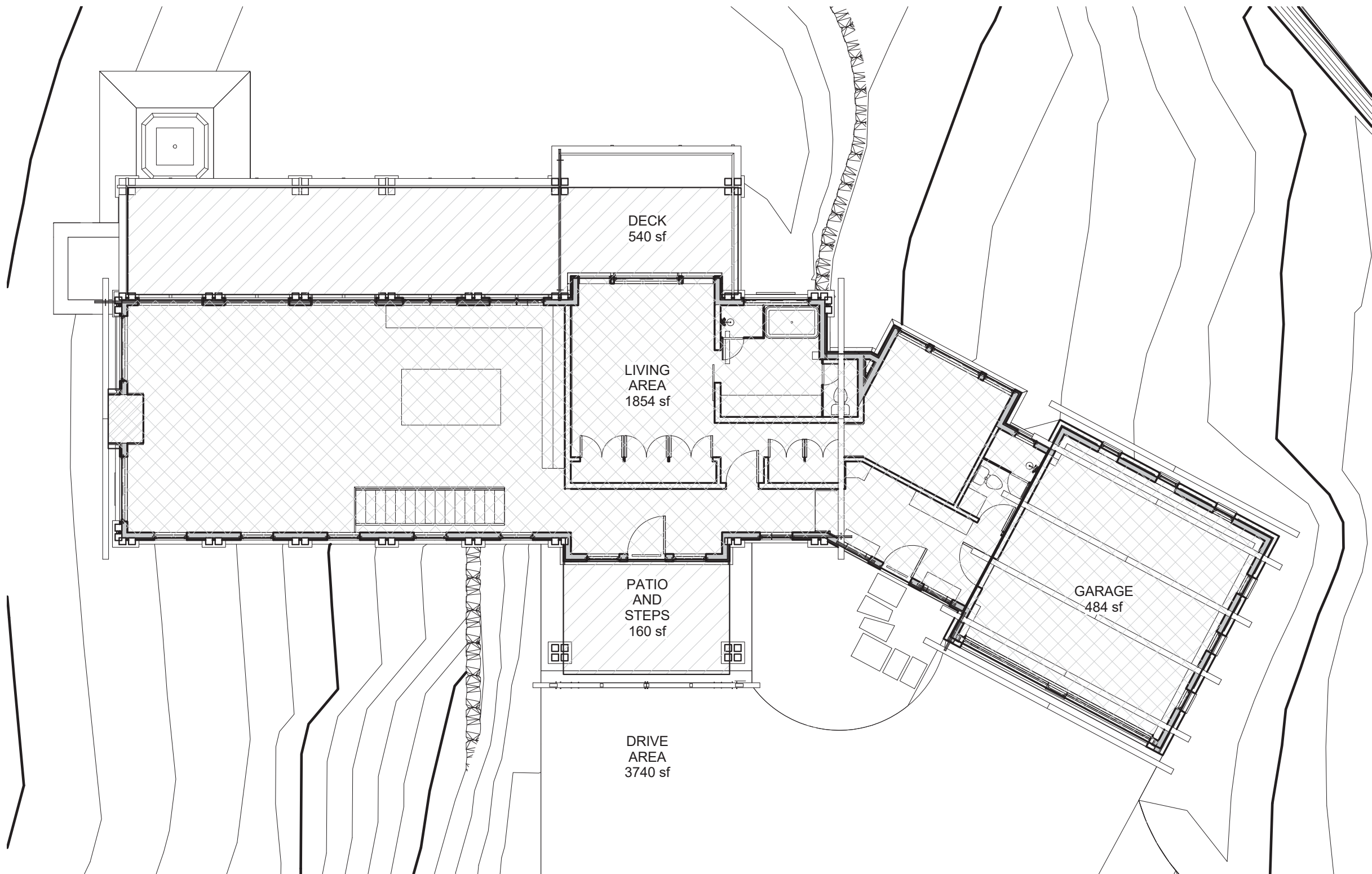
5-11-2022	DRB SUBMISSION	
3-4-2022	REDLINE PICKUPS	
1-10-2022	10' SHEET	
1-3-2022	REDLINE PICKUPS	
12-31-2021	REDLINE PICKUPS	
11-3-2021	MATERIAL AREAS	
10-25-2021	MASSING	
7-1-2021	LAYOUT	
MARK	REV. DATE	DESCRIPTION
PROJECT NAME: 508 MV		
PROJECT MANAGER: MOUNTAIN VILLAGE		
DRAWN BY: COLORADO 81435		
REVIEWED BY: SHEET DESCRIPTION: ROOF PLAN		
SHEET NUMBER: A204		

1 ROOF
1/4" = 1'-0"

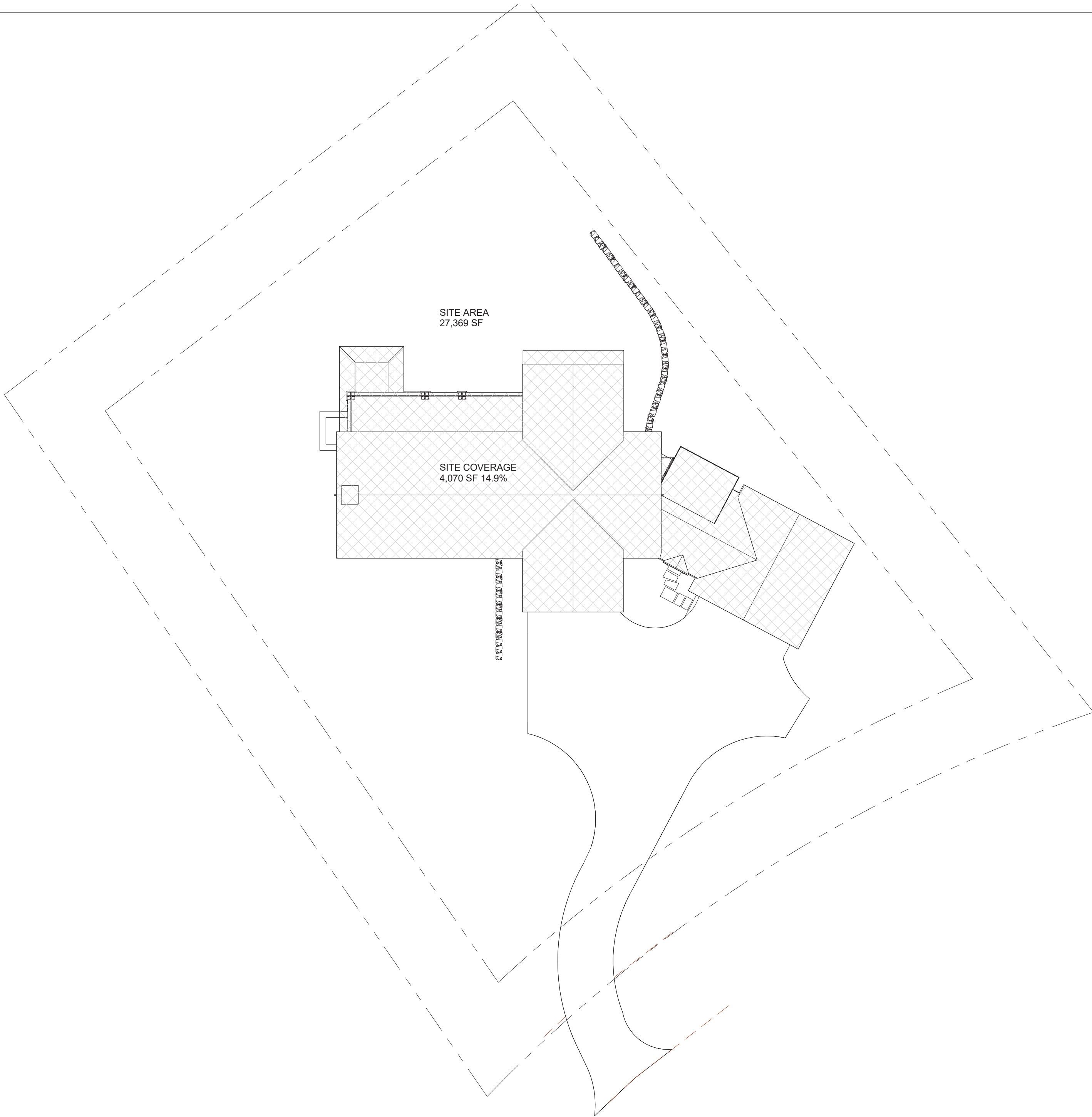




1 AREA PLAN- LEVEL 1
1" = 10'-0"



2 AREA PLAN- LEVEL 2
1" = 10'-0"



3 AREA- SITE COVERAGE
1/16" = 1'-0"

AREA ANALYSIS:	
SITE AREA =	27,369 sf
ALLOW. SITE COVER. (40%) =	10,948 sf
PRO. SITE COVER. (14.9%) =	4,070 sf
GROSS AREA (TO FACE OF STRUCTURE):	
1ST LVL	
LIVING =	1436 sf
MECH =	56 sf
2ND	
LIVING =	1854 sf
GARAGE =	484 sf

TOTAL LIVING =	3,290sf
TOTAL GROSS =	3,830 sf

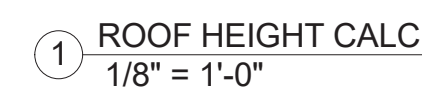
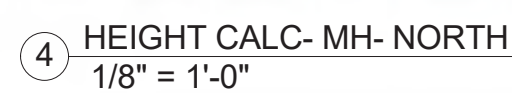
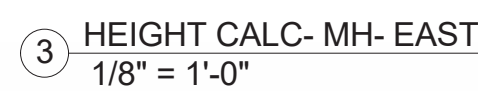
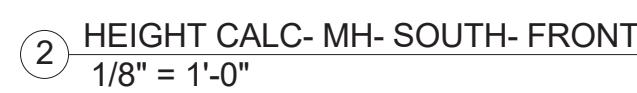
*****SQUARE FOOTAGE REQUIRES
A FIRE SPRINKLER SYSTEM*****

NOT FOR CONSTRUCTION

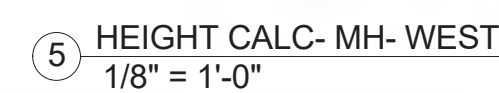
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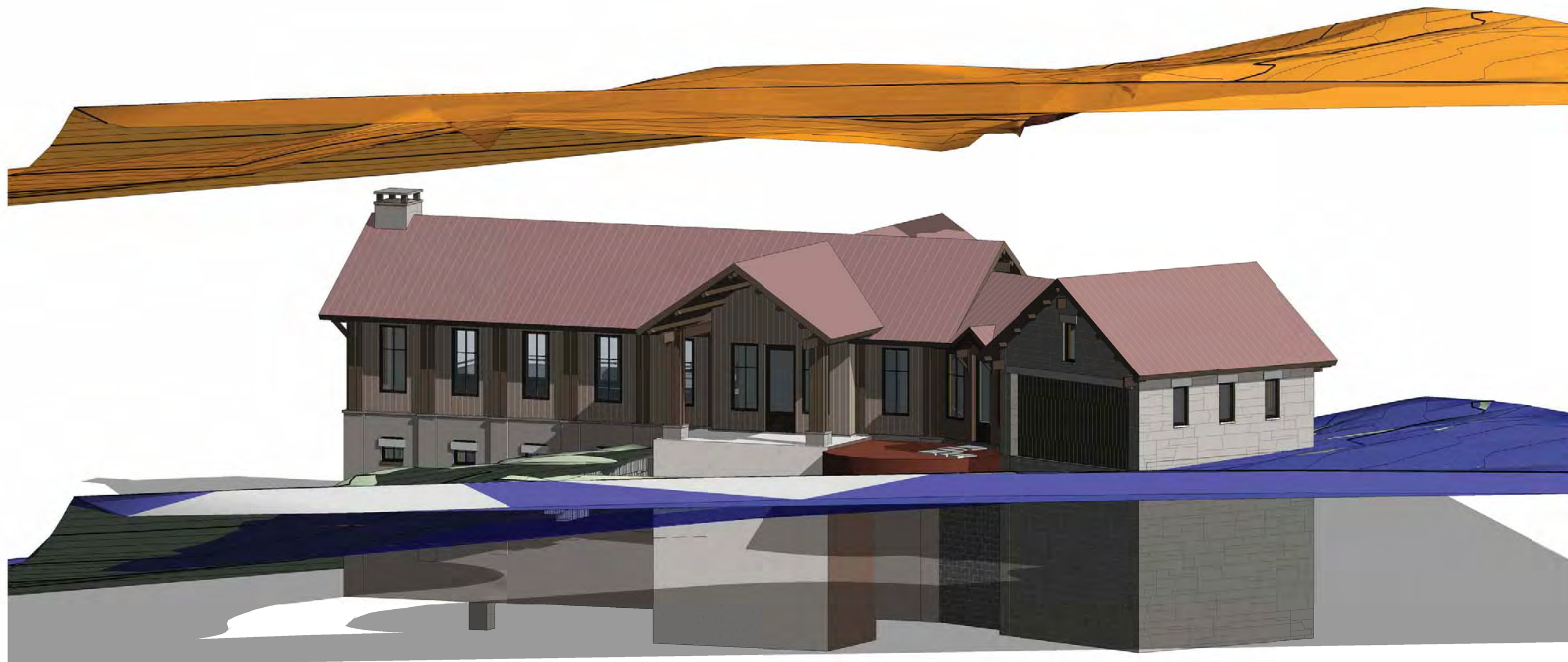
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11-3-2021	MATERIAL AREAS		
10-25-2021	MASSING		
7-1-2021	LAYOUT		
MARK	REV	DATE	DESCRIPTION
PROJECT NAME:	508 MV MOUNTAIN VILLAGE COLORADO 81435		
SHEET DESCRIPTION:	AREA ANALYSIS		
SHEET NUMBER:	A205		



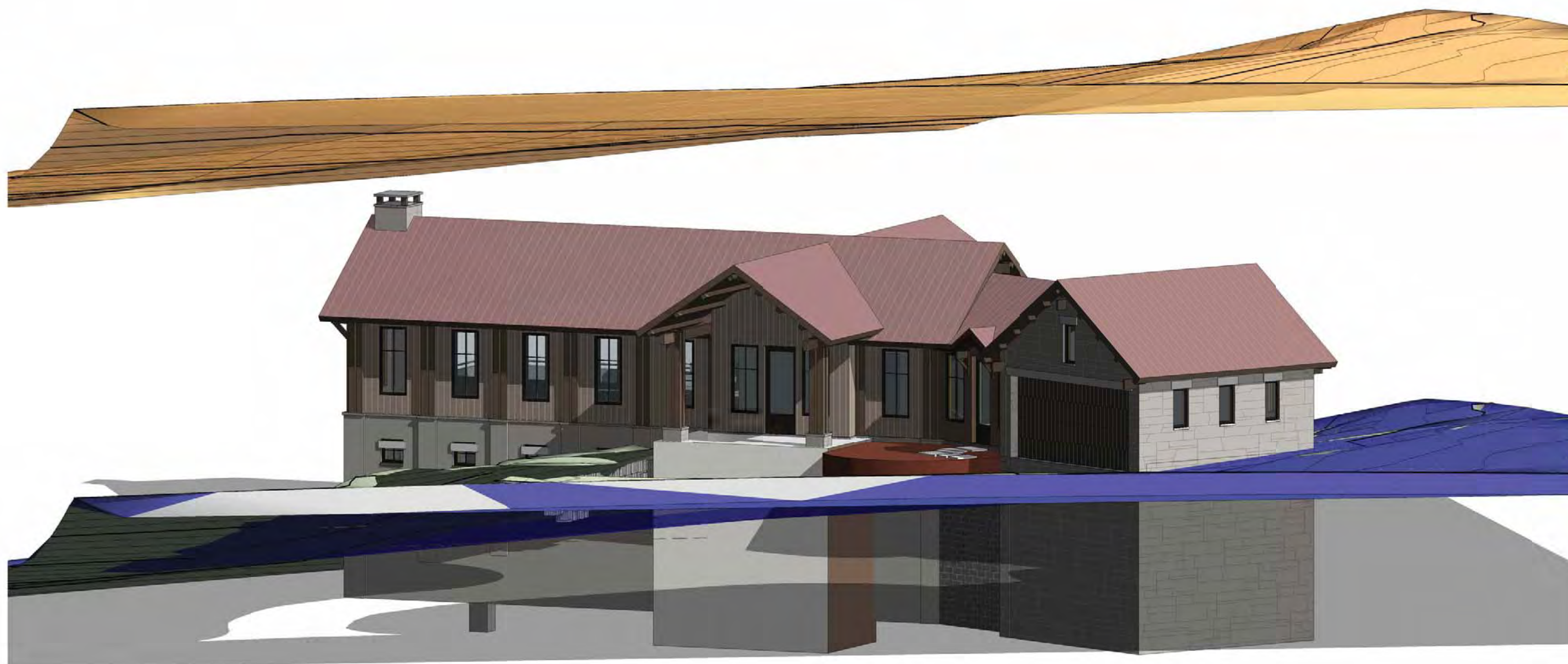
MOST RESTRICTIVE



	5-11-2022	DRB SUBMISSION
	3-4-2022	REDLINE PICKUPS
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	1-3-2022	REDLINE PICKUPS
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	10-25-2021	MASSING
	7-1-2021	LAYOUT
MARK	REV	DATE
DESCRIPTION		
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		
© 2020 JWA		
PraireRegular		

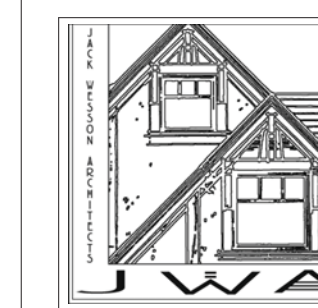


1 BIRD'S EYE HEIGHT CALC- POST



2 BIRD'S EYE HEIGHT CALC- PRE

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	7-1-2021	LAYOUT
MARK	REV. DATE	DESCRIPTION
PROJECT NAME:		
PROJECT DRAWN BY:		
REVIEWED BY:		

PROJECT NAME: 508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
HEIGHT CALCS- 40'
SHELL

SHEET NUMBER
A300b

12" HORIZONTAL WOOD
SIDING, STAINED OR PAINTED

4" TELLURIDE GREY STONE
VENEER WITH WEEPS

METAL CLAD WINDOW-
BRONZE

9264' - 6"

9253' - 6"

RUSTED STANDING SEAM
METAL ROOF

OIL RUBBED STEEL

8X8 DOUG FIR #1 WOOD
COLUMNS, STAINED

LEVEL 2
9264' - 6"

METAL PANELS, OIL RUBBED
FINISH

LEVEL 1
9253' - 6"

① MH- NORTH
1/4" = 1'-0"

0' 2' 4' 8' 16'

RUSTED STANDING SEAM
METAL ROOF

METAL CLAD WINDOW-
BRONZE

WOOD TRIM, STAINED

4" TELLURIDE GREY STONE
VENEER WITH WEEPS

8X8 DOUG FIR #1 WOOD
COLUMNS, STAINED

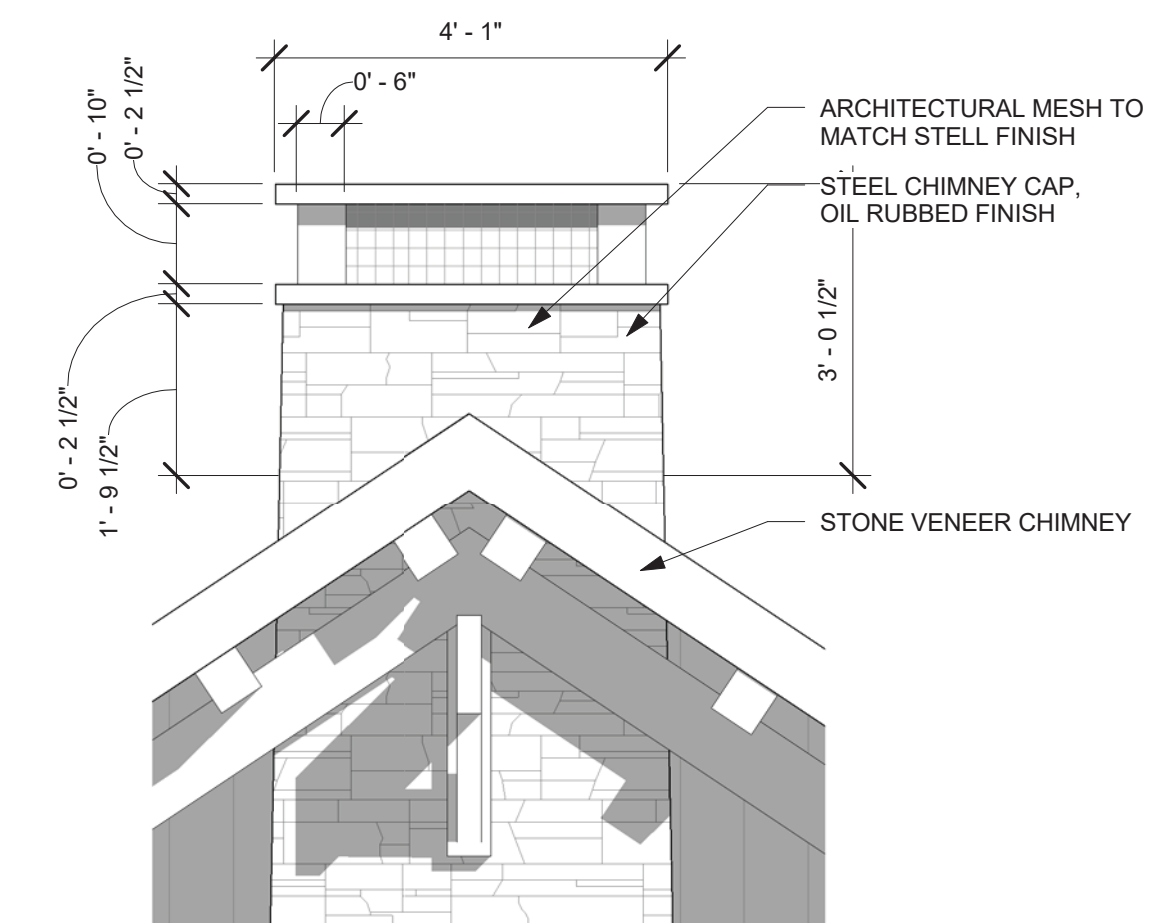
3
A302

LEVEL 2
9264' - 6"

LEVEL 1
9253' - 6"

② MH- WEST
1/4" = 1'-0"

0' 2' 4' 8' 16'



③ CHIMNEY CAP
1/2" = 1'-0"

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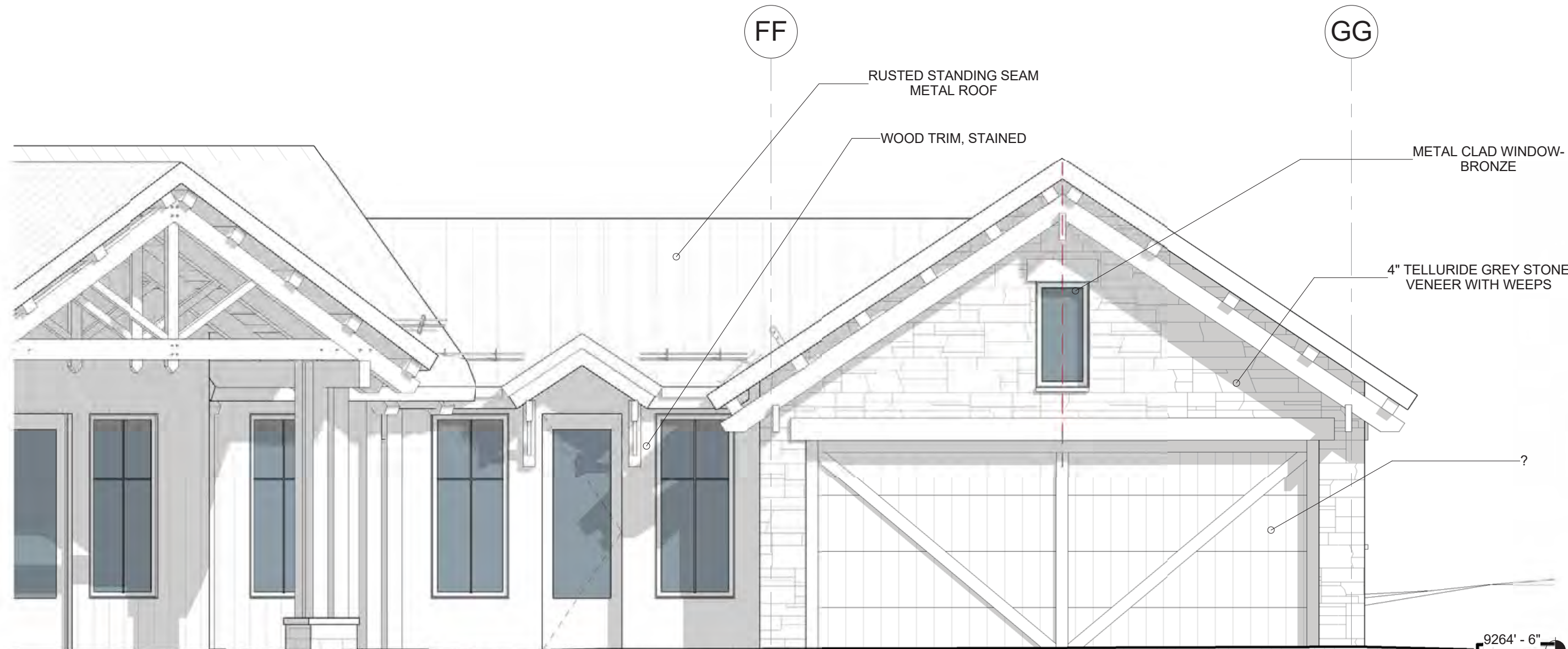
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MARK	REV. DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		

PROJECT NAME
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION
ELEVATIONS

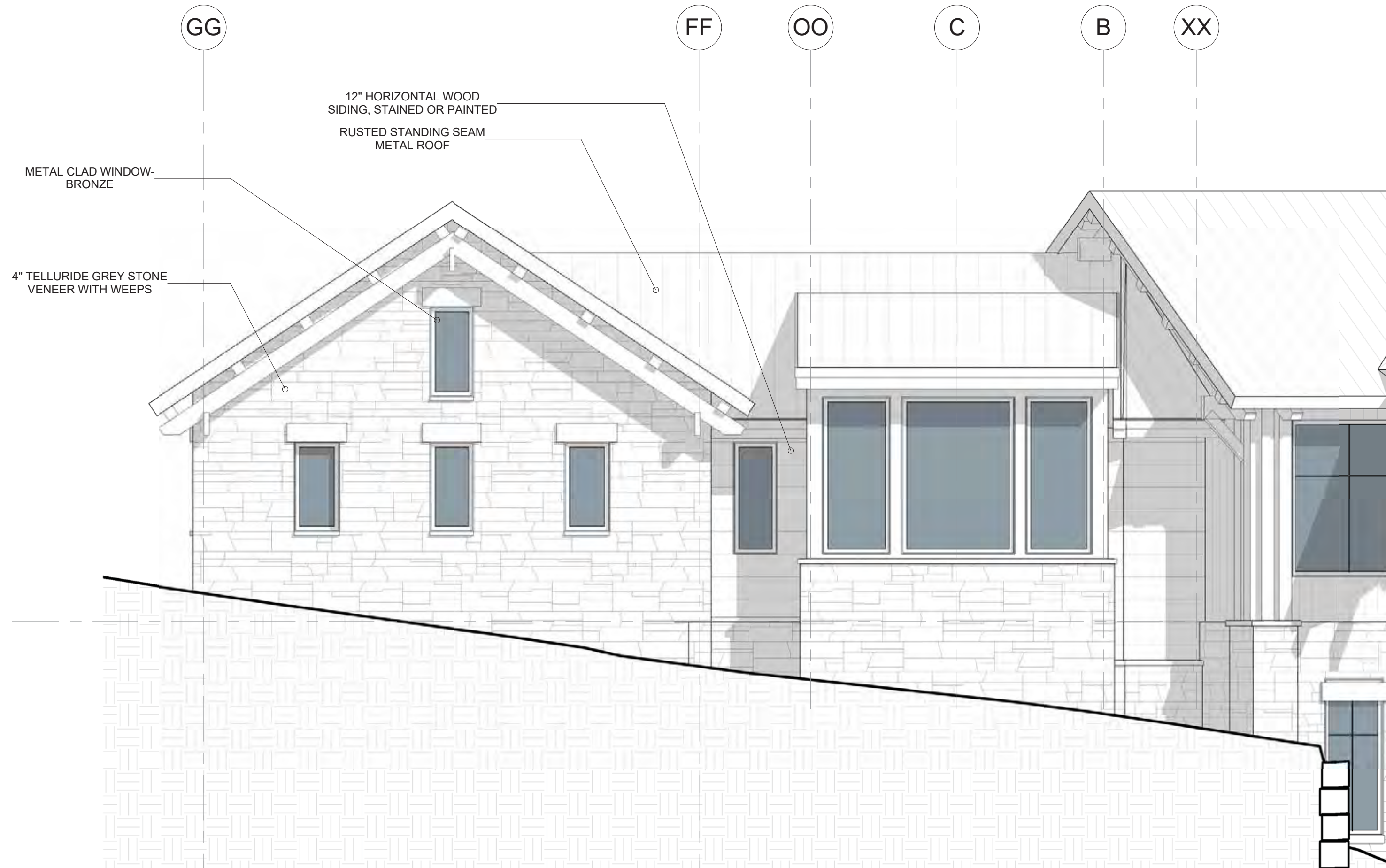
SHEET NUMBER
A302



③ GARAGE- SOUTH
1/4" = 1'-0"



② GARAGE- EAST
1/4" = 1'-0"



① GARAGE- NORTH
1/4" = 1'-0"

LEVEL 2
9264' - 6"

LEVEL 1
9253' - 6"

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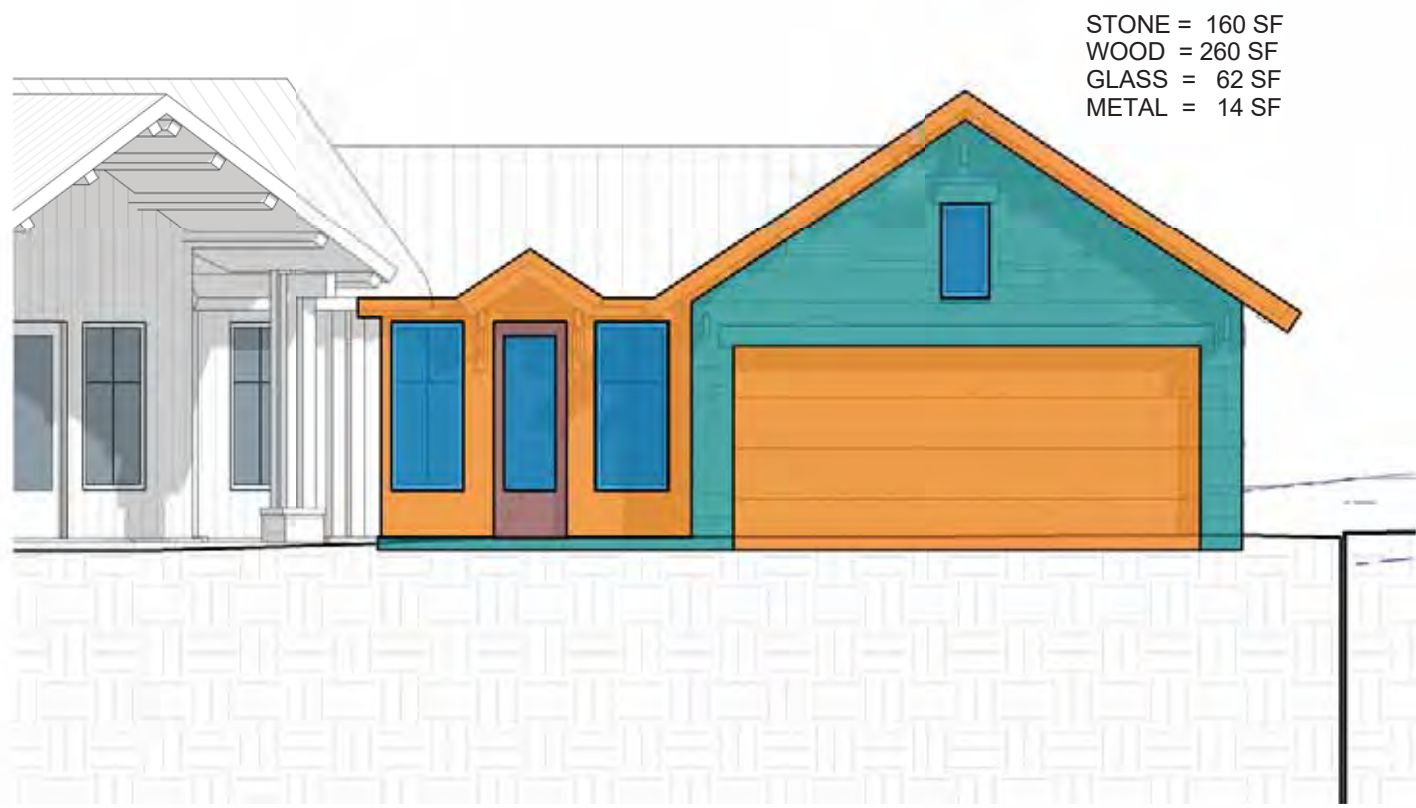
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MARK	REV. DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		

PROJECT NAME: 508 MV
MOUNTAIN VILLAGE
COLORADO 81435

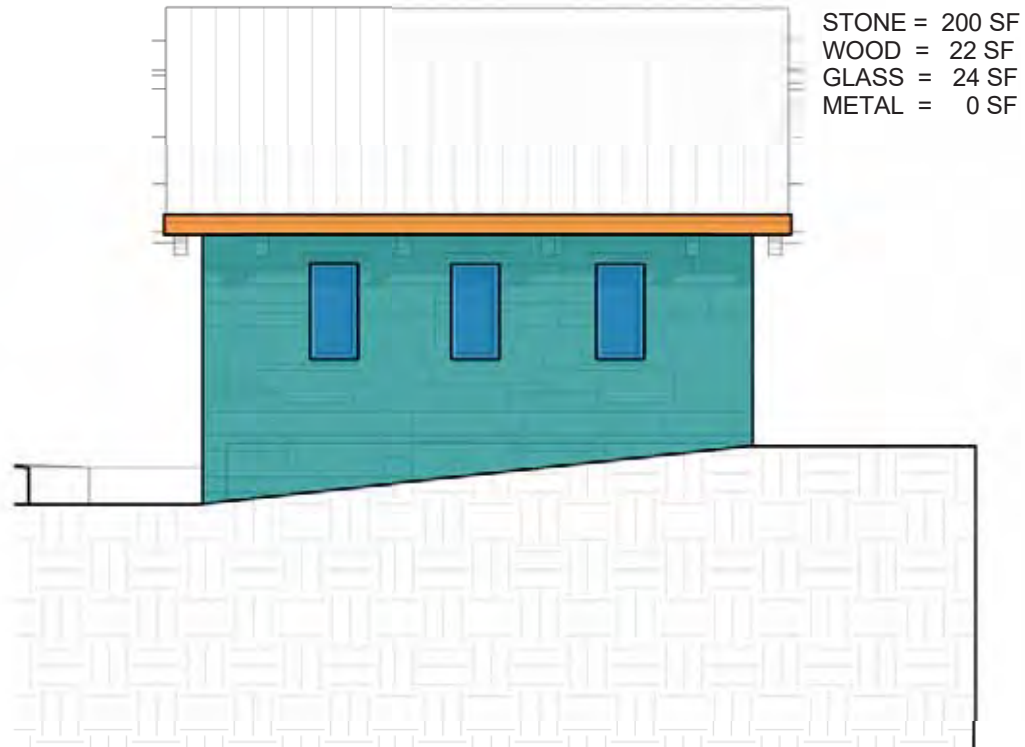
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ELEVATIONS

SHEET NUMBER:
A303

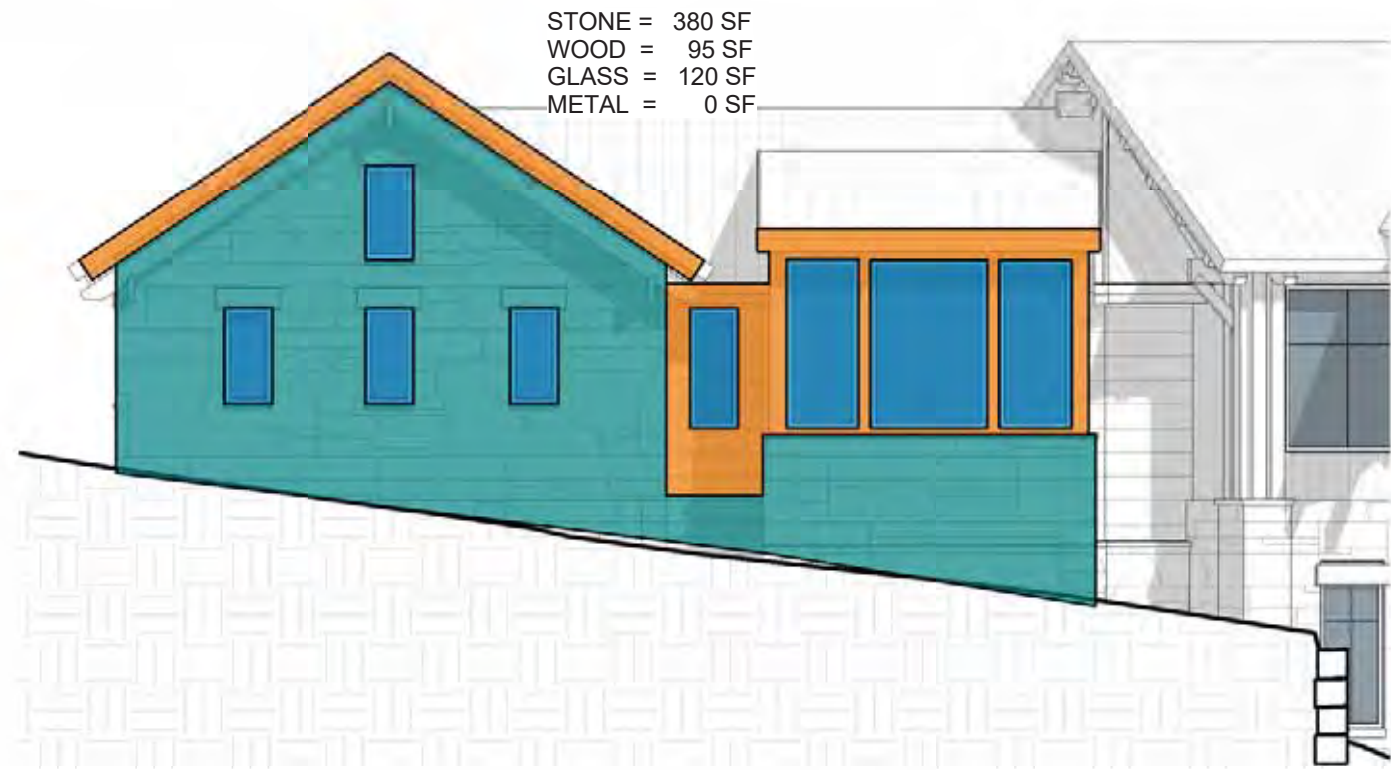
508 MV- Material Calculations										
Elevation	WEST	SOUTH	EAST	NORTH	G- WEST	G- SOUTH	G- EAST	G- NORTH	Total	Percent
Stone	525	432	50	310	65	160	200	380	2122	35.05%
Wood	320	648	170	972	6	260	22	95	2493	41.17%
Fenestration	125	210	0	460	0	62	24	120	1001	16.53%
Accent	30	20	30	345	0	14	0	0	439	7.25%
Total	1000	1310	250	2087	71	496	246	595	6055	



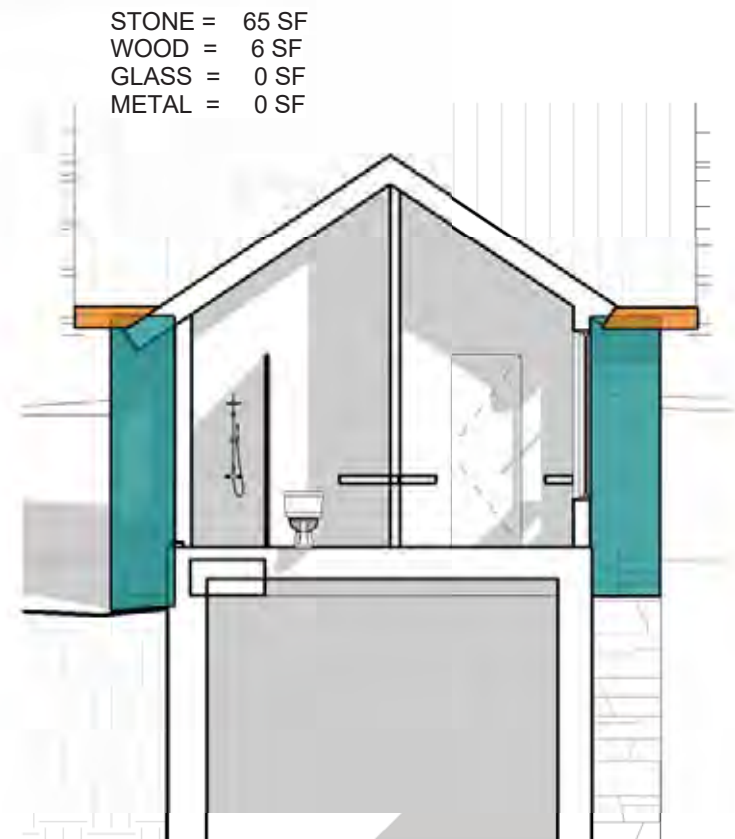
H CALCS MATERIALS- GARAGE- SOUTH
1/8" = 1'-0"



G CALCS MATERIALS- GARAGE- EAST
1/8" = 1'-0"



F CALCS MATERIALS- GARAGE- NORTH
1/8" = 1'-0"



E CALCS MATERIALS- GARAGE- WEST
1/8" = 1'-0"



D CALCS MATERIALS- MH- SOUTH- FRONT
1/8" = 1'-0"



C CALCS MATERIALS- MH- EAST
1/8" = 1'-0"

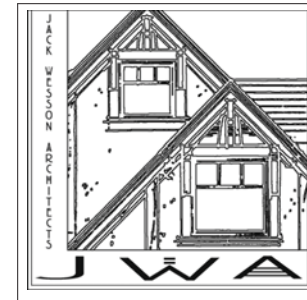


B CALCS MATERIALS- MH- NORTH
1/8" = 1'-0"



A CALCS MATERIALS- MH- WEST
1/8" = 1'-0"

NOT FOR CONSTRUCTION

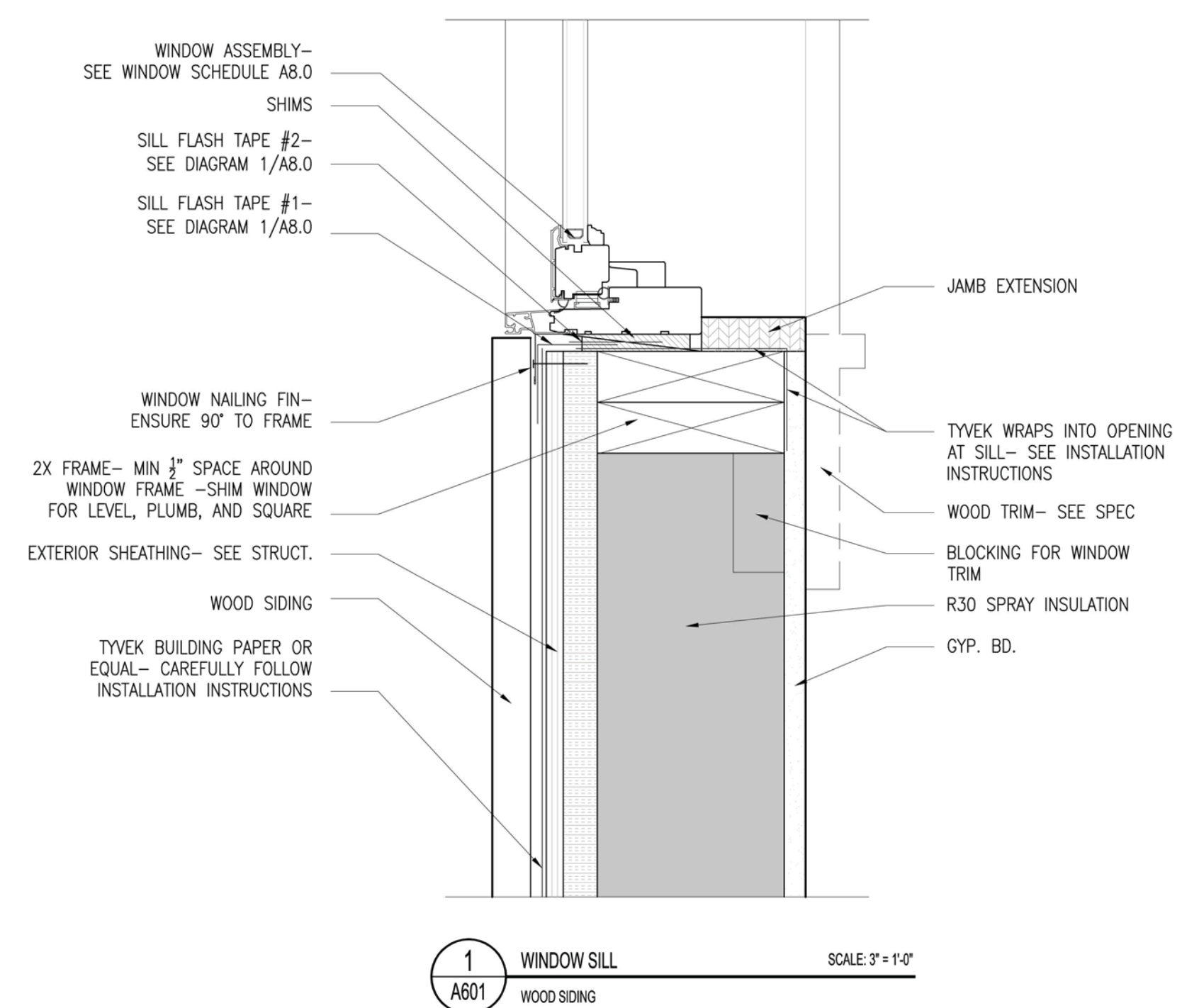
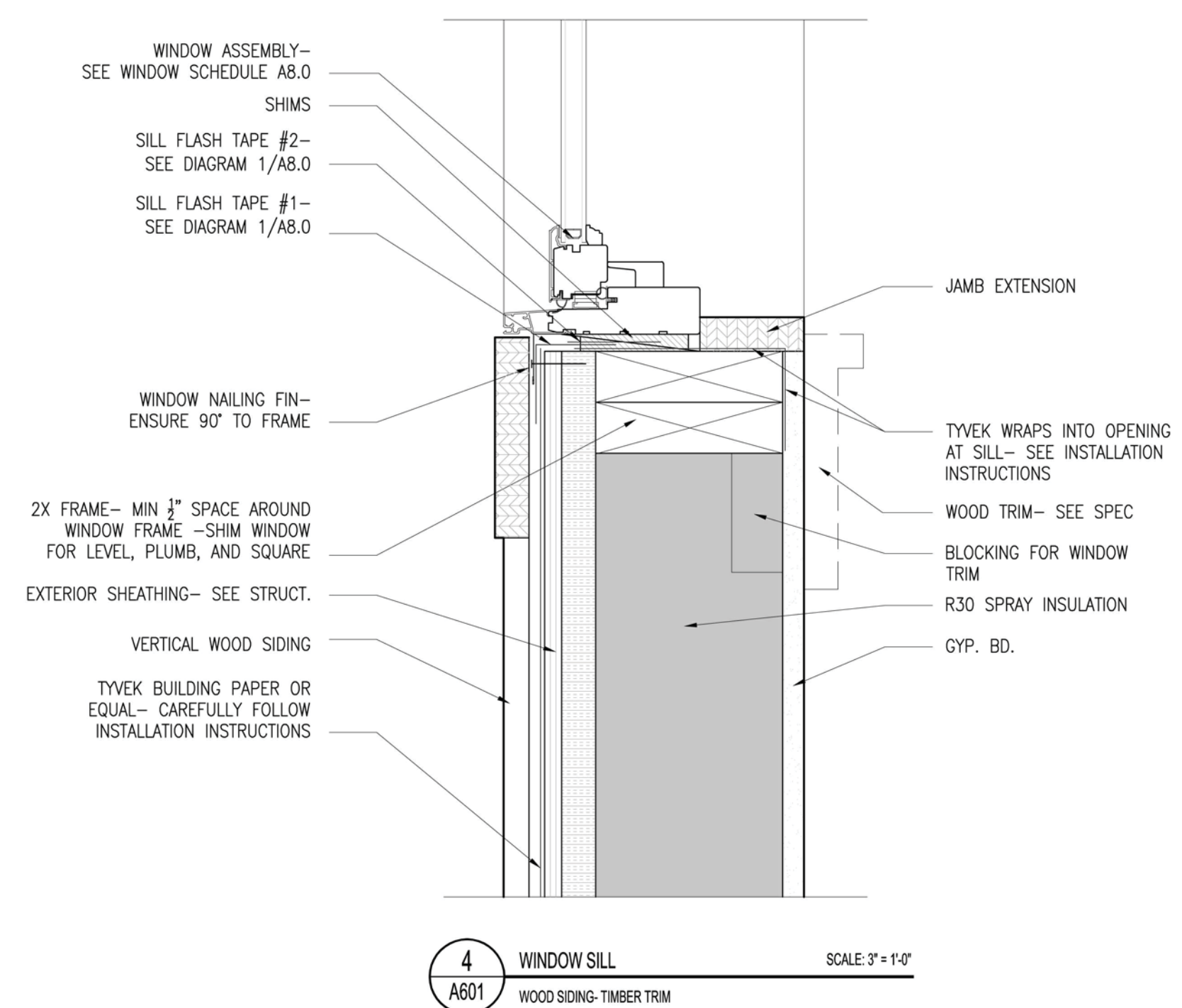
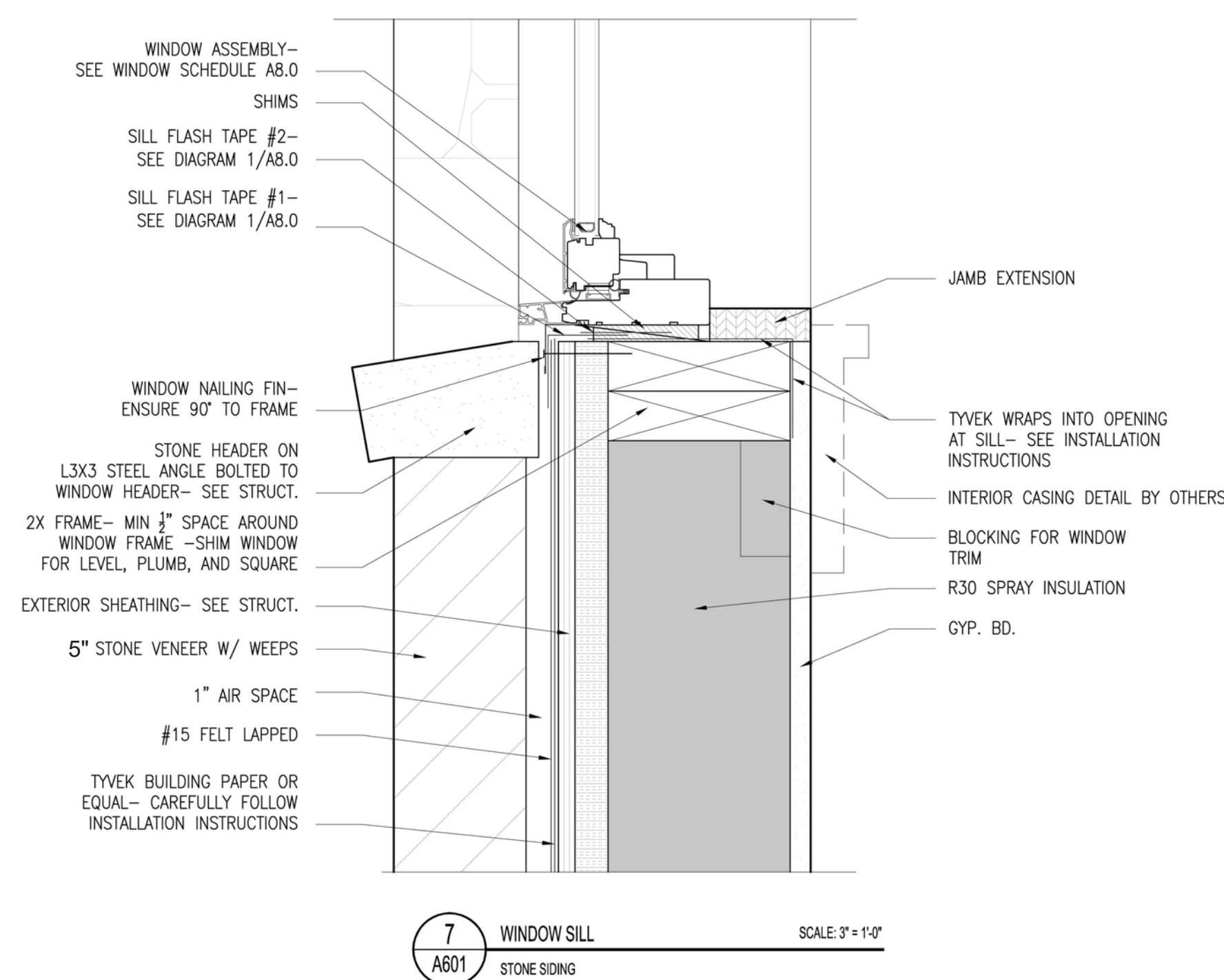
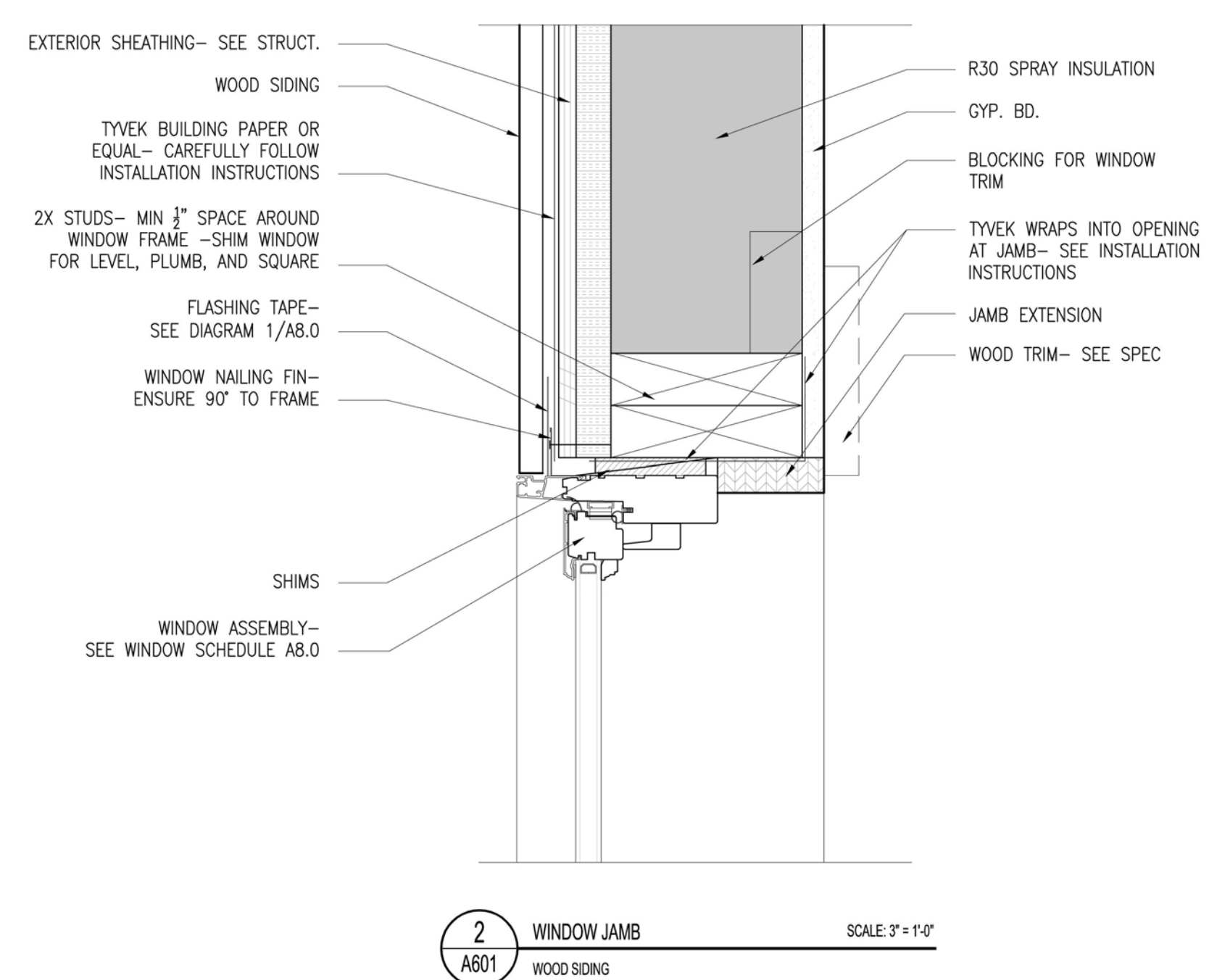
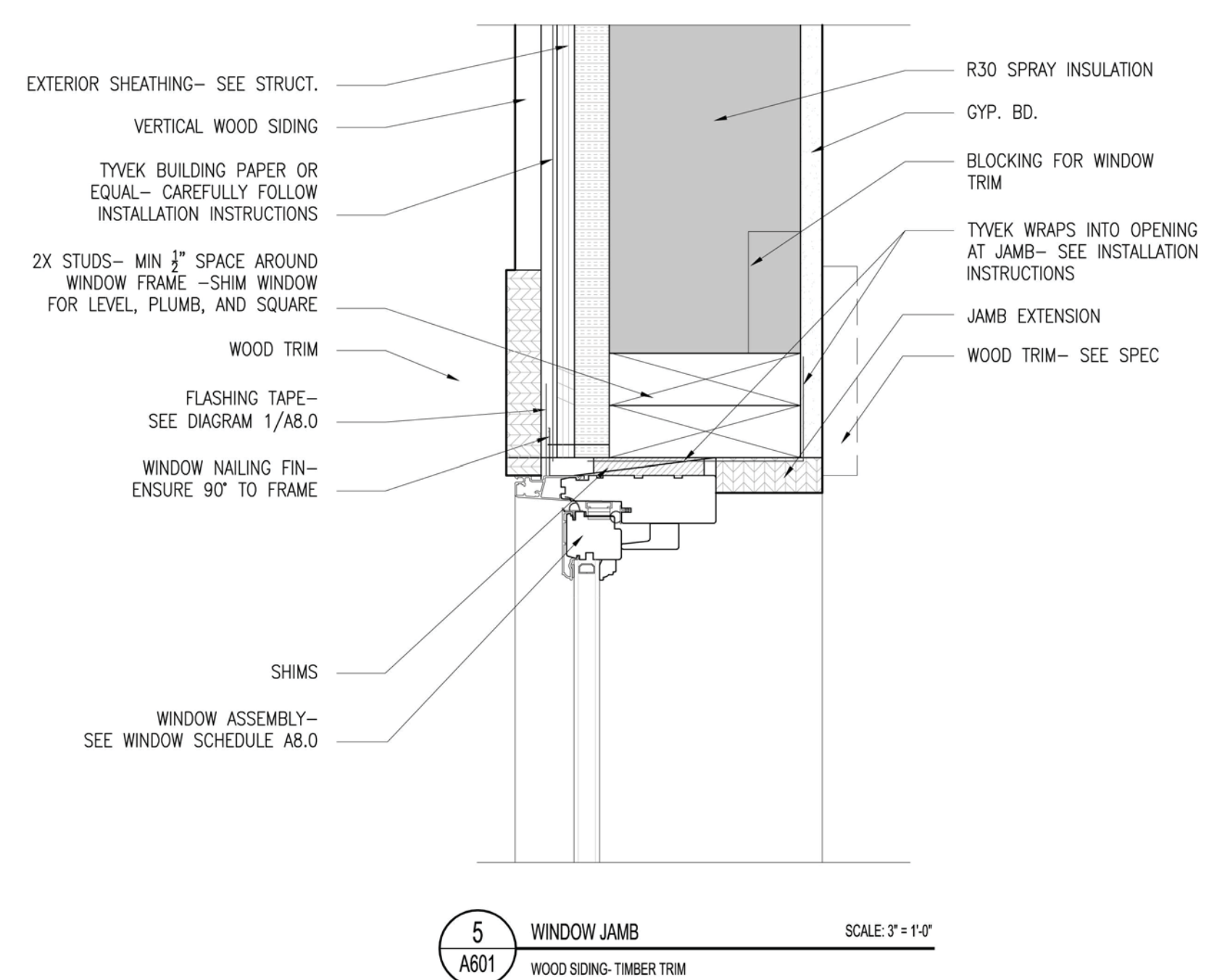
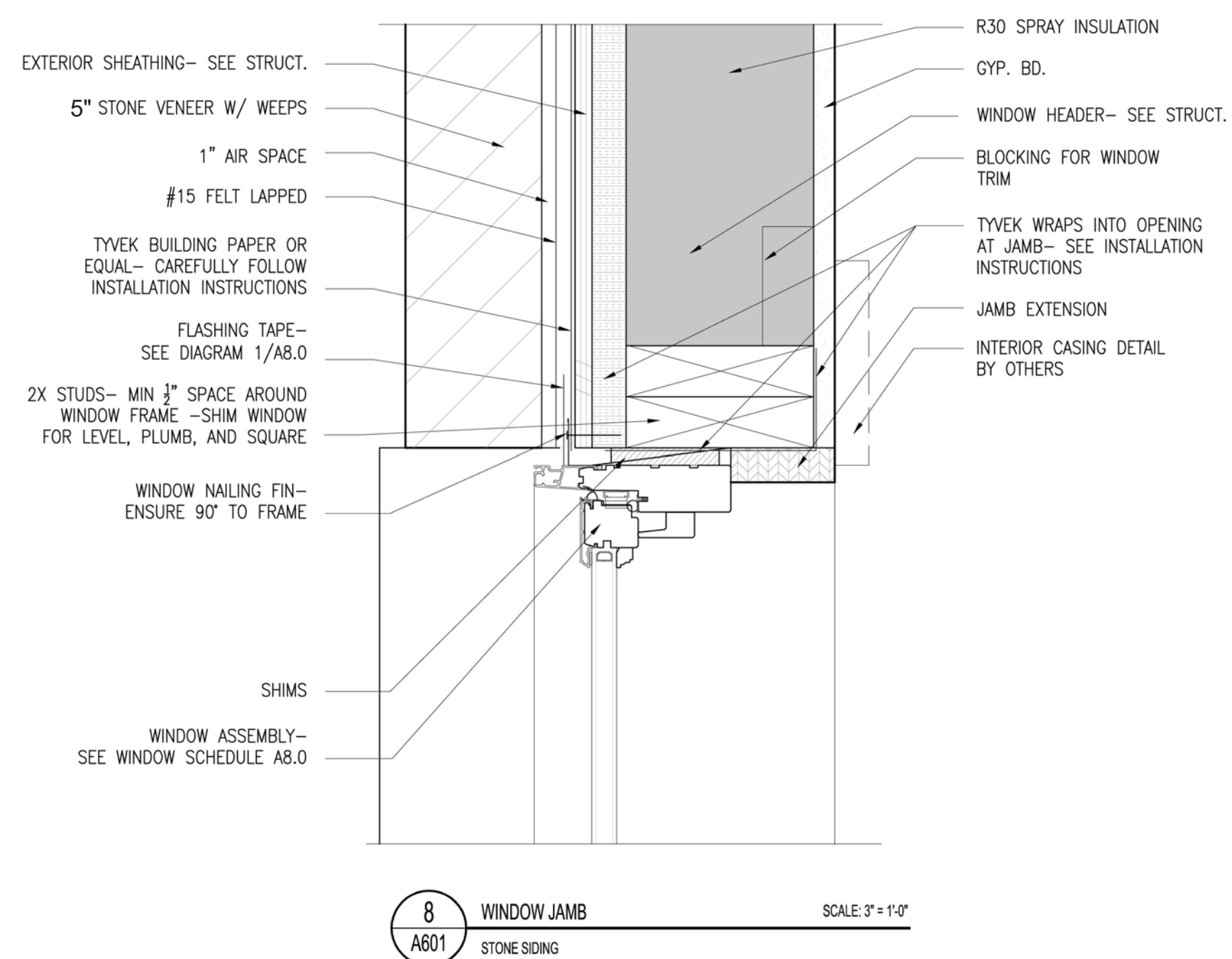
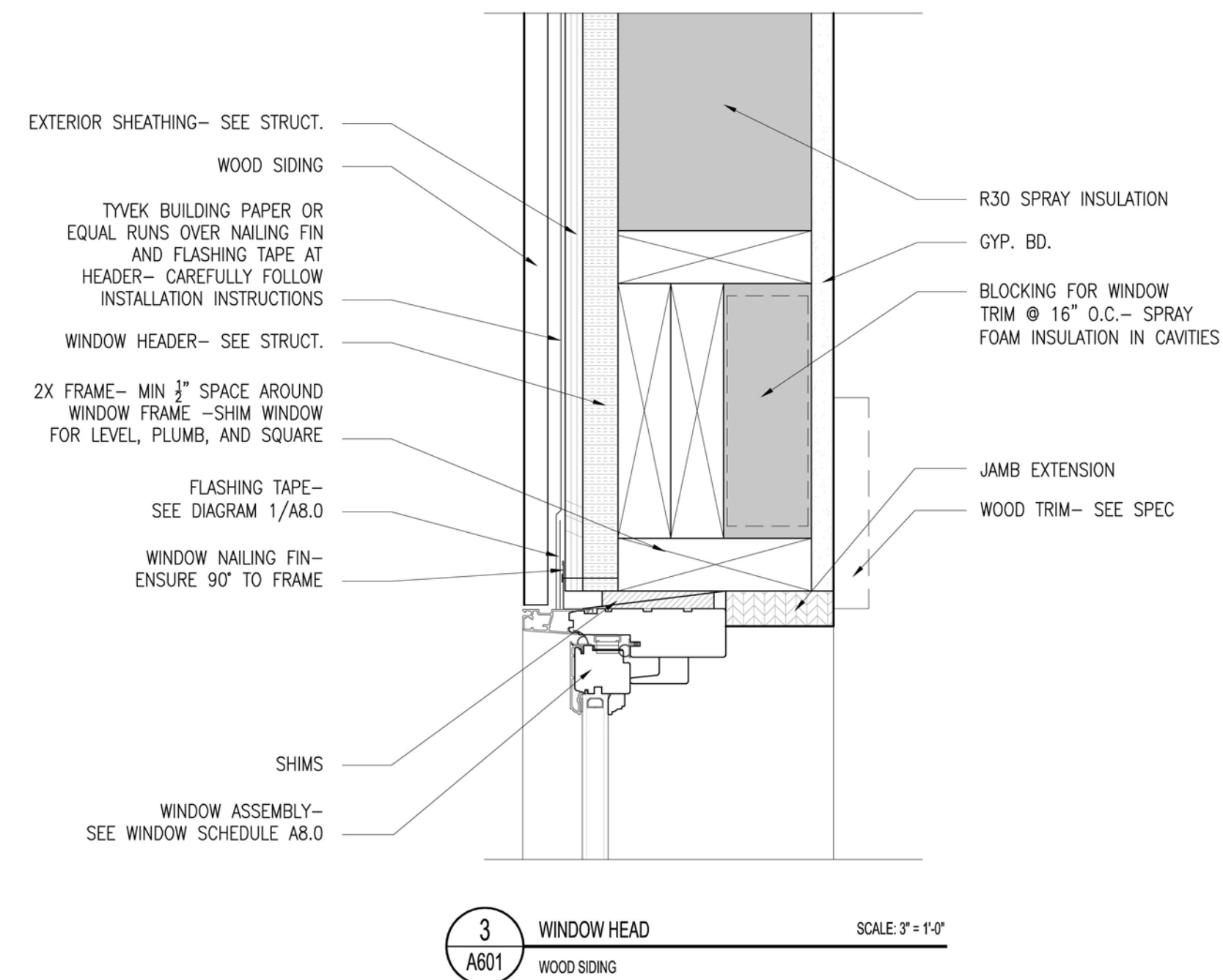
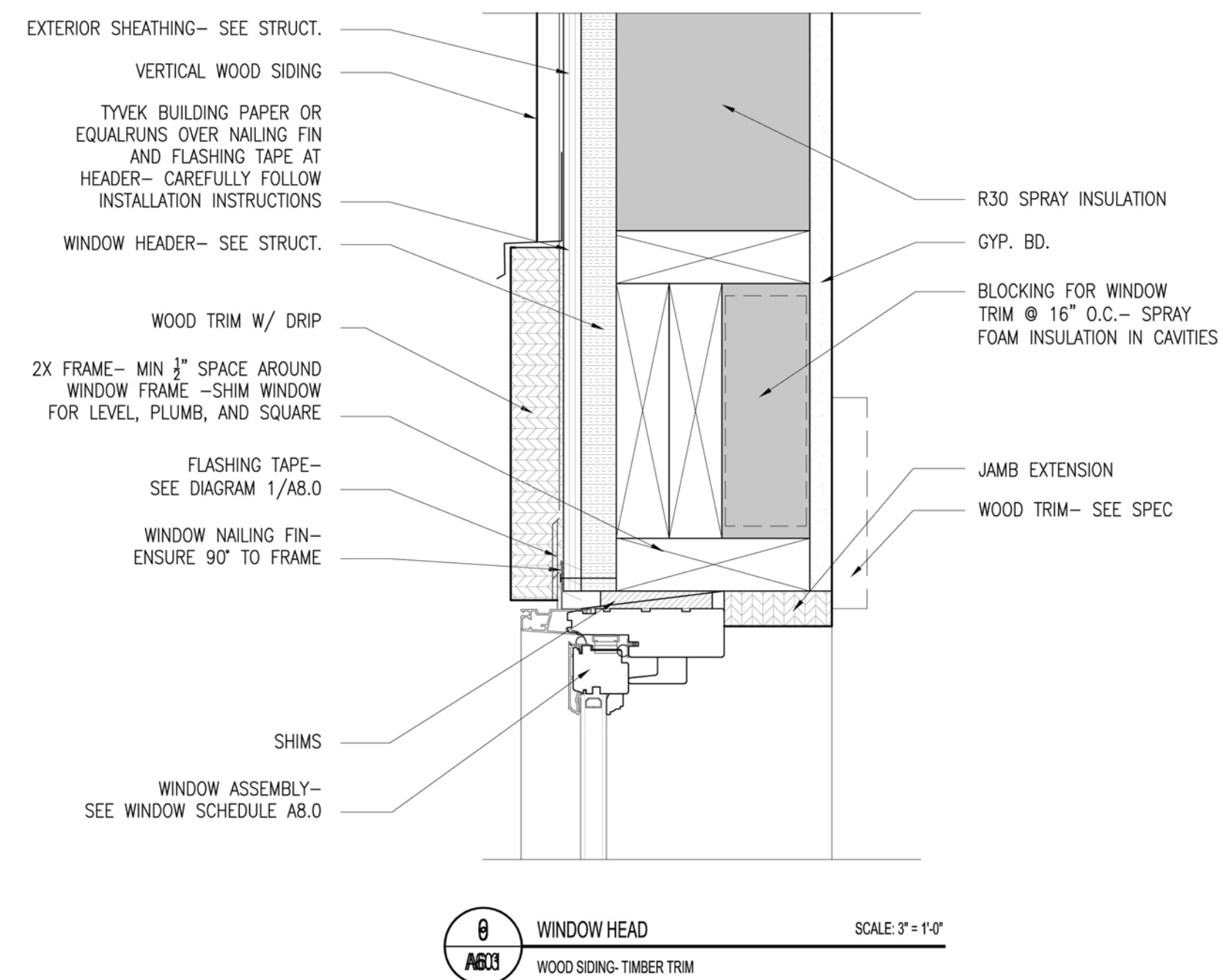
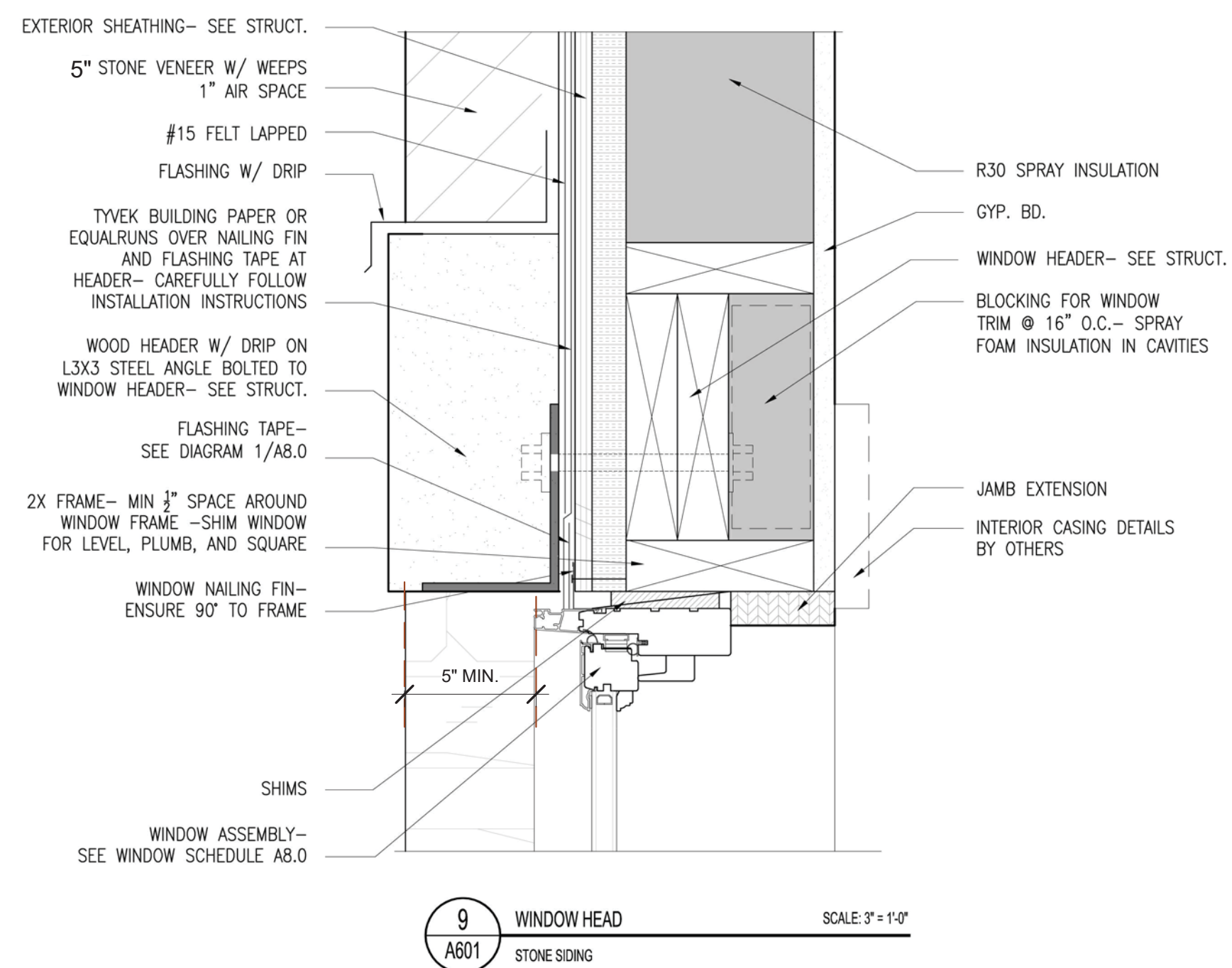


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MARK	REV	DATE	DESCRIPTION
	1	5-11-2022	DRB SUBMISSION
	2	5-11-2022	REDLINE PICKUPS
	3	5-11-2022	10' SHEET
	4	1-3-2022	REDLINE PICKUPS
	5	12-31-2021	REDLINE PICKUPS
	6	11-3-2021	MATERIAL AREAS
	7	10-25-2021	MASSING
	8	7-1-2021	LAYOUT

PROJECT NAME
508 MV
MOUNTAIN VILLAGE
COLORADO 81435
SHEET DESCRIPTION
MATERIAL CALCS
SHEET NUMBER
A305



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[illegible]

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
WINDOW DETAILS

SHEET NUMBER:
A601

2X6 WALL ASSEMBLY-
SEE TYP.

STRUCTURAL HEADER

STONE VENEER, SEE SPEC

PRECAST CONCRETE
HEADER W/ DRIP

METAL FLASHING W/ DRIP


STEEL ANGLE, SEE STRUCT

GARAGE DOOR ASSEMBLY

0' - 5" MIN.

1 GARAGE DOOR DETAIL
3" = 1'-0"

NOT FOR CONSTRUCTION



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10-25-2021	MASSING	
7-1-2021	LAYOUT	
MARK	REV. DATE	DESCRIPTION
PROJECT NAME: 508 MV		
PROJECT MANAGER: MOUNTAIN VILLAGE		
DRAWN BY: COLORADO 81435		
REVIEWED BY: SHEET DESCRIPTION: DOOR DETAILS		
202 JWA		
SHEET NUMBER: A602		

PrattRegular

PraineRegular

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

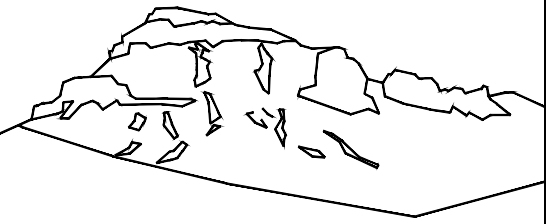
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
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970-729-0683

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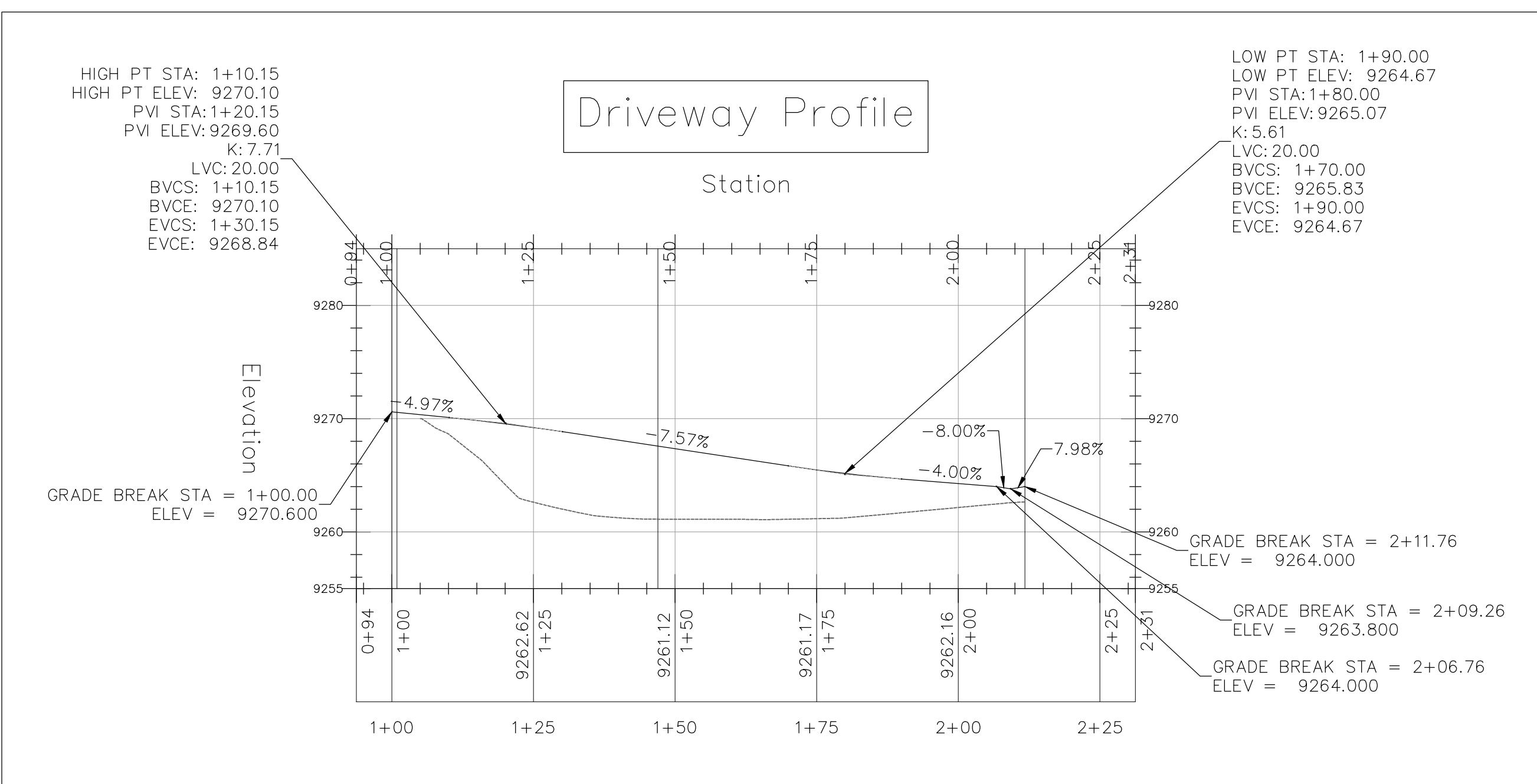
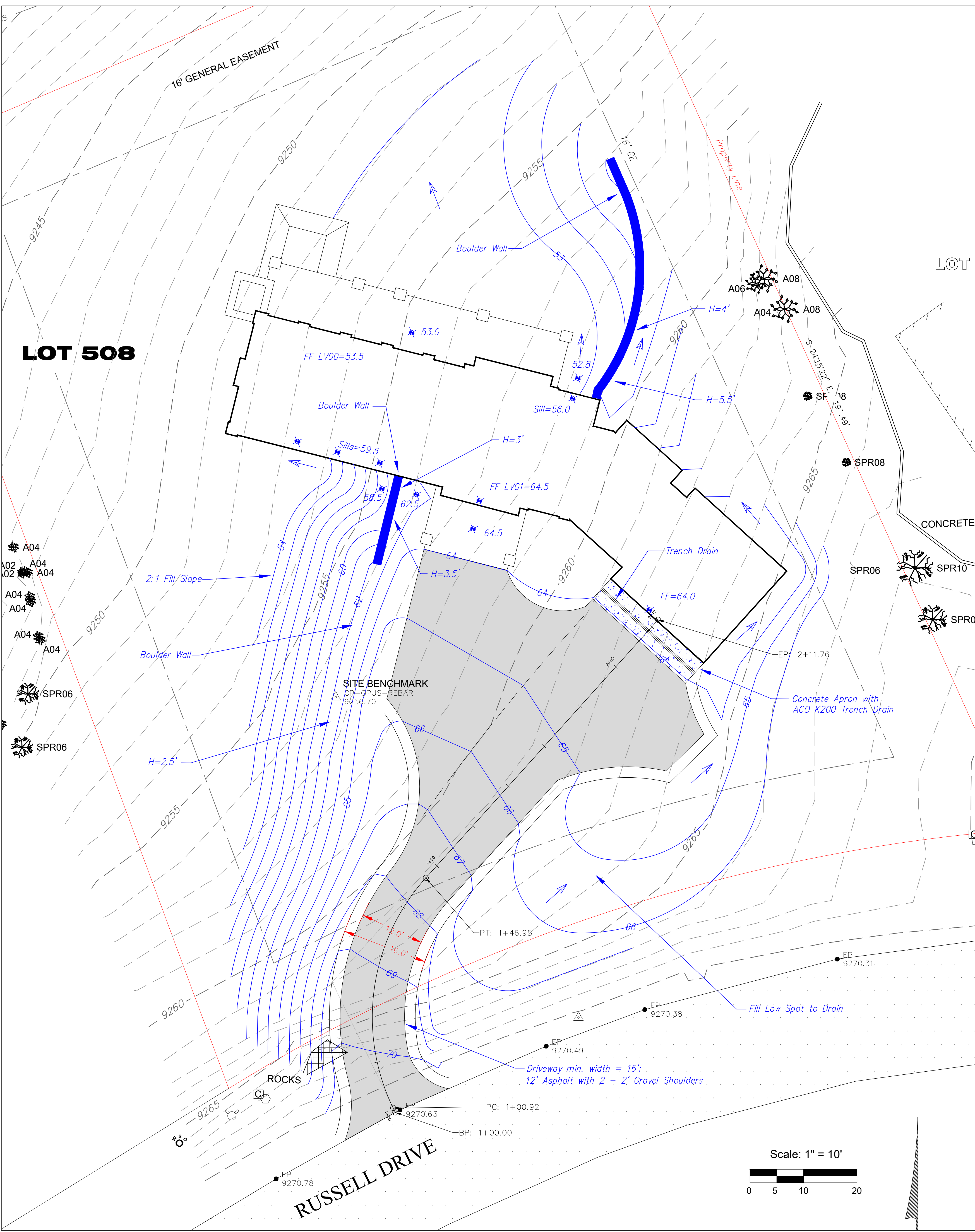
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Russell Drive
Mtn. Village, CO

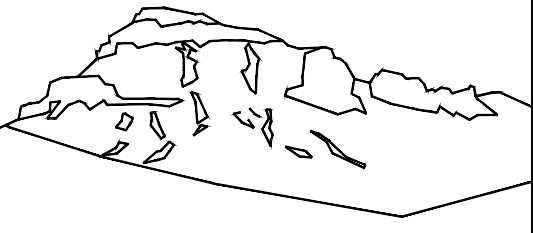


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1






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Mtn. Village, CO



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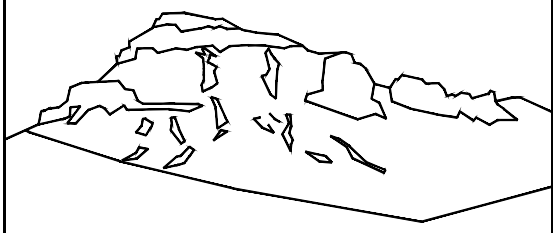
CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage

with

Driveway
Profile

C2



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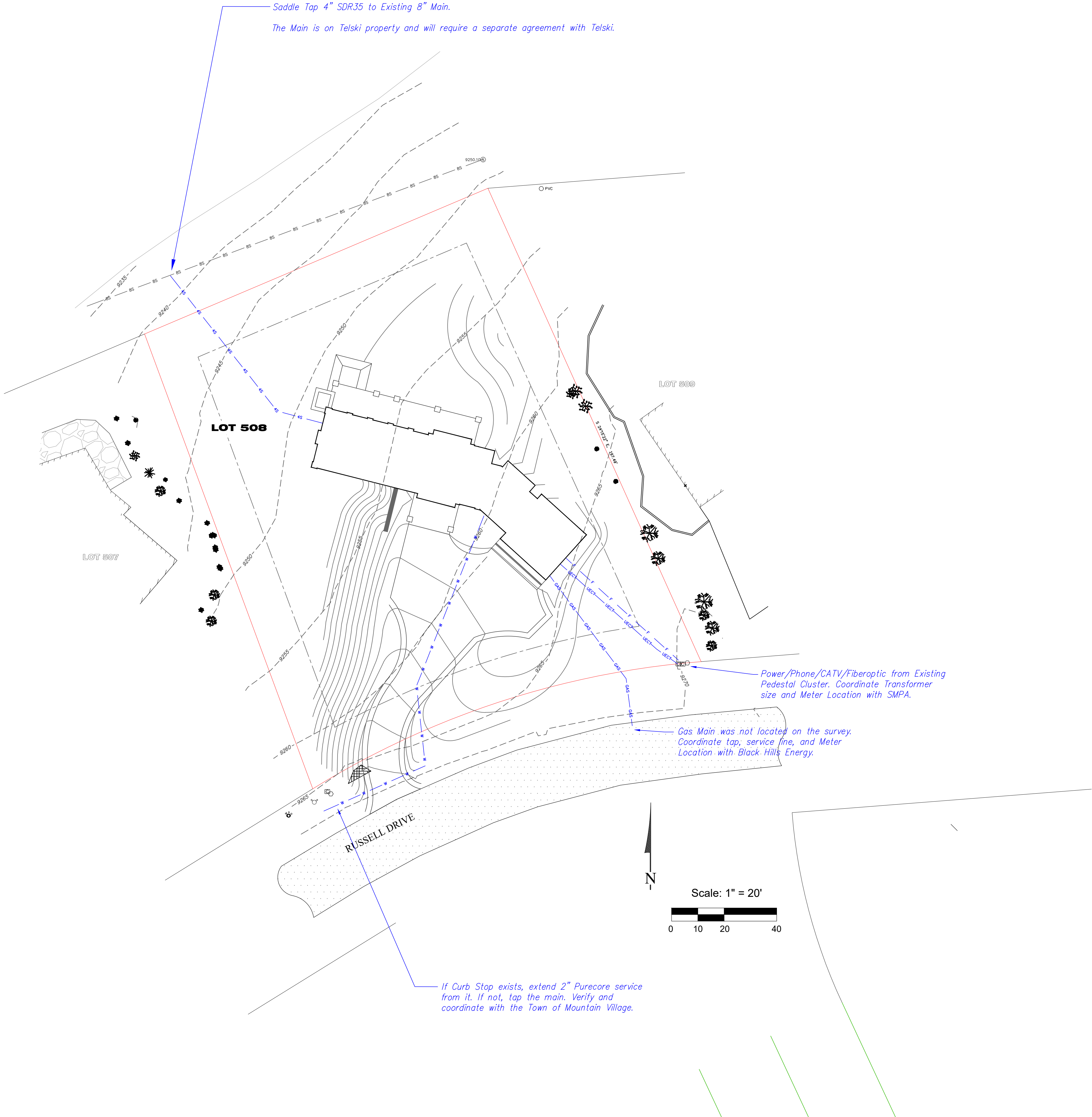
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Russell Drive
Mtn. Village, CO

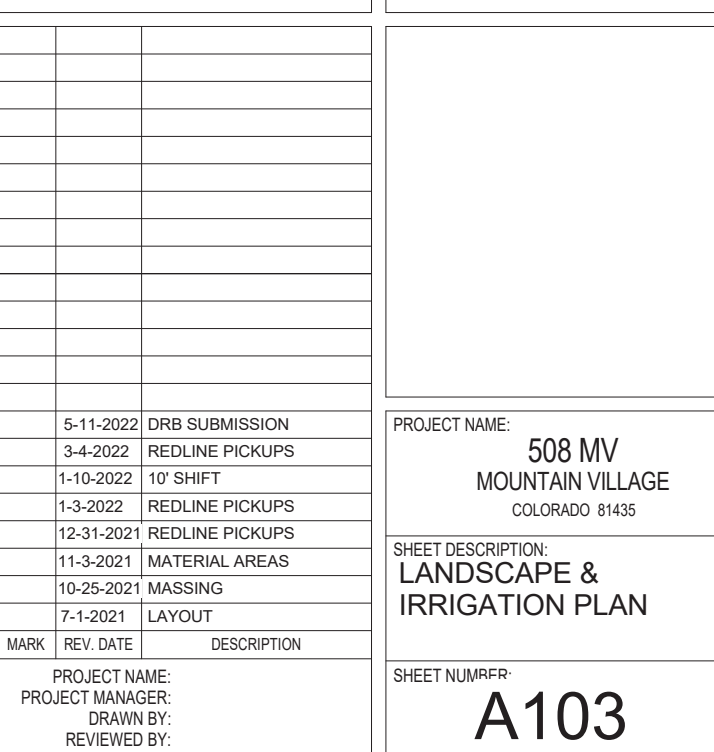


CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3





1 SITE PLAN- LANDSCAPE AND IRRIGATION PLAN
3/32" = 1'-0"



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments

TFPD approves the proposal with the following conditions:

- 1) The structure is over 3,600 gross sq ft and shall require a monitored NFPA 13D sprinkler system.
- 2) The structure shall require a monitored NFPA 72 fire alarm system.
- 3) The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 4) The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
- 5) TFPD recommends the installation of a Knox Box for emergency access.

Amy,

This lot should have a water tap. Have the applicant field verify all utilities. No issues with Public Works.
Finn

TO: Mountain Village Design Review Board

FROM: Design Workshop on behalf of the Town of Mountain Village

FOR: Design Review Board Public Hearing; October 6,2022

DATE: October 6, 2022

RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot BC107, 100
Lawson Overlook pursuant to CDC Section 17.4.11

APPLICATION OVERVIEW: New Single-Family Home on Lot BC107

PROJECT GEOGRAPHY

Legal Description: LOT BC107
TOWN OF MTN VILLAGE PLAT
BK 1 PG 1457 DEC 17 1992

Address: 110 Lawson Overlook

Applicant/Agent: Jack Wesson,
Jack Wesson Architects, Inc.

Owner: Ricky Denesik

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: .94 acres

Adjacent Land Uses:

- **North:** Passive Open Space
- **South:** Vacant
- **East:** Vacant
- **West:** Vacant

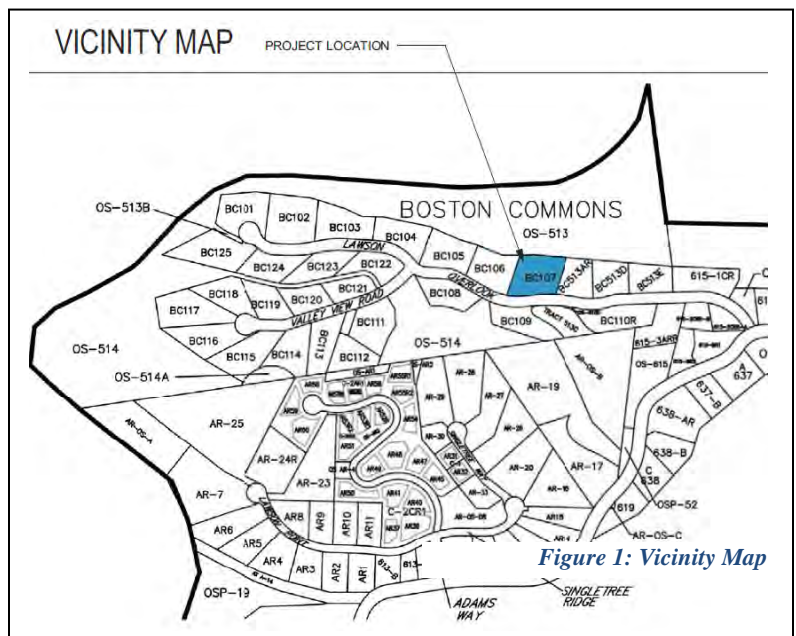


Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comments

Case Summary: Jack Wesson of Jack Wesson Architects, Inc. is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot BC107, 110 Lawson Overlook.

The proposed design consists of two structures, a main house and a detached guest house referred to as “cabin” in the application materials. The main house is two and a half

stories and utilizes a combination of multiple shed roof forms. The cabin is two stories and has a single shed roof form. The lot is located on a ridgeline and has a mildly steep topography that slopes downwards to the north of the site. The main house and cabin are each built into the topography, with areas buried into the slope on the south, and full height at the north. The lot is approximately .94 acres and is zoned single-family. The overall square footage of the home is approximately 8,644 livable square feet and provides two interior parking spaces within the proposed garage and two exterior parking spaces. The proposed driveway and address monument are located in the General Easement, which will require a specific approval by DRB. The Lot is also designated as a ridgeline lot (CDC 17.5.16) so has some additional design considerations which will be discussed further below.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	34'-6" (main house) 28'-6.25" (cabin)
Avg. Building Height	30' (shed) Maximum	16'-5.25" (main house) 19'-2" (cabin)
Maximum Lot Coverage	40% (16,347.6 sq ft)	21.1% (8,644 sq ft)
General Easement Setbacks	No encroachment	No encroachment
Roof Pitch		
Primary		2:12
Secondary		2:12
Exterior Material		
Stone Veneer	35% minimum	36.33% (main) 37.05% (cabin)
Wood Siding	n/a	17.21% (main) 17.63% (cabin)
Windows/Door Glazing	40% maximum	24.20% (main) 24.10% (cabin)
Metal Accent	n/a	22.27% (main) 21.22% (cabin)
Parking	2 interior/2 exterior	2 interior/ 2 exterior (main house) 1 exterior (cabin)

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.3 Use Schedule

Staff: The applicant has identified that an accessory dwelling unit (referred to as the cabin) to be developed on the site along with the main house. According to Table 3-1 Town of Mountain Village Land Use Schedule, this is a permitted use in the Single-Family zone district.

17.3.13 Maximum Lot Coverage

Staff: The maximum lot coverage for single-family homes with lots under one acre is 40 percent. On this site, the maximum allowable site coverage is 16,347.6 square feet. With both the main house and the cabin, the site only covers 8,644, or 21.1 percent of the site, and is well below that 40 percent threshold.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a combination of shed roof forms. Homes with a primary shed roof form are allowed a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined that the primary roof forms for this main home and cabin are both shed and therefore granted a maximum height of 35' and an average height of 30' for both structures. The applicant has calculated a maximum height of 34'6" for the main house and 28'6.25" for the cabin. The applicant has also calculated an average height of 16'5.25" for the main house and 19'2" for the cabin. The applicant is meeting both requirements, but since the maximum height of the main house is within five (5) feet of the allowable maximum height, per section 17.3.11-C of the CDC a "monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the average building height." Figures 2-5 below depict the height calculations for the main house and Figures 6-9 depict the height calculations for the cabin.

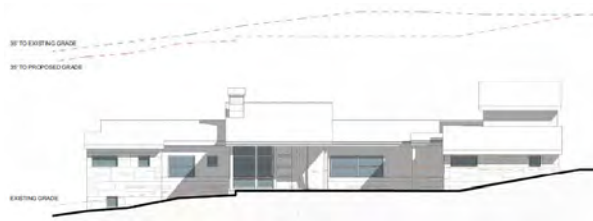


Figure 2: South Elevation – Height (Main House)



Figure 3: East Elevation – Height (Main House)



Figure 4: North Elevation – Height (Main House)

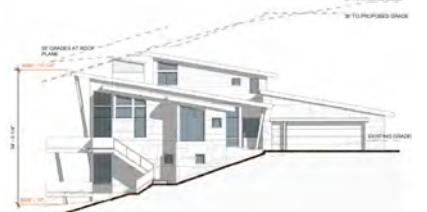


Figure 5: West Elevation – Height (Main House)

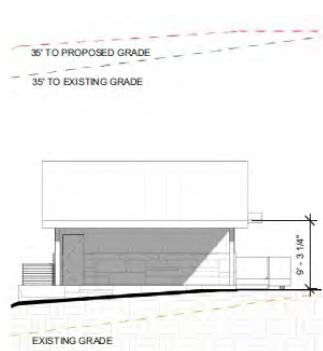


Figure 6: South Elevation – Height (Cabin)



Figure 7: East Elevation – Height (Cabin)

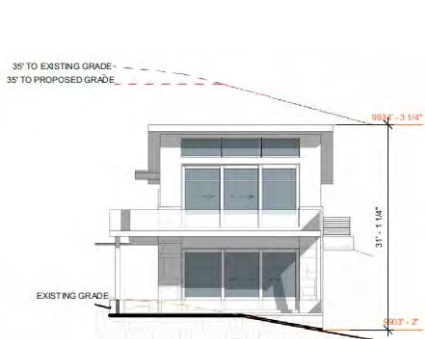


Figure 8: North Elevation – Height (Cabin)

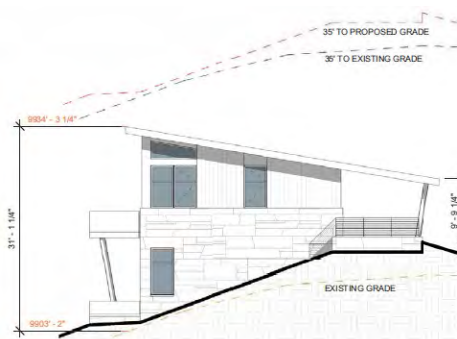


Figure 9: West Elevation – Height (Cabin)

17.3.14: General Easement Setbacks

Lot BC107 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes two GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The driveway as shown currently takes access from Lawson Overlook and crosses the General Easement to the homesite.*
- *Utilities: Utilities are located in Lawson Overlook and cross the southern GE to the lot.*
- *Address Monument: An address monument is proposed within the General Easement. This is proposed to be steel with 6" tall, backlit stainless-steel numbers.*

Regardless of the encroachment, any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The materials chosen are a combination of stone veneer, wood, and metal, which should create an exterior capable of withstanding the high alpine environment and reinforce the Town's aesthetic goals. Overall, it appears that the design is visually appealing and would fit within the existing Mountain Village Design Theme.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The proposed structure sits on the northern edge of the site with the entrance facing the south towards Lawson Overlook. The site slopes down from south to north which the applicant has utilized to place the main level of the house at one story, as to not obstruct the views for the neighbors, and place a second story below grade but following the slope and allowing for a full level to be exposed on the north elevation. The development does not propose grading, clearing, direct drainage, direct access, or other direct impact onto the adjoining properties. Figure 10 illustrates how the design works with the existing site slopes.



Figure 10: Perspective view of the proposed structures from the Northeast

The applicant's Snow Melt Plan shown in Figure 11, as well as on sheet A105 of Exhibit A, demonstrates that the portions of the driveway and entry are proposed to be heated as

well as the exterior steps and landings on the east side of the main house structure. No snow melt plan is proposed for the cabin.

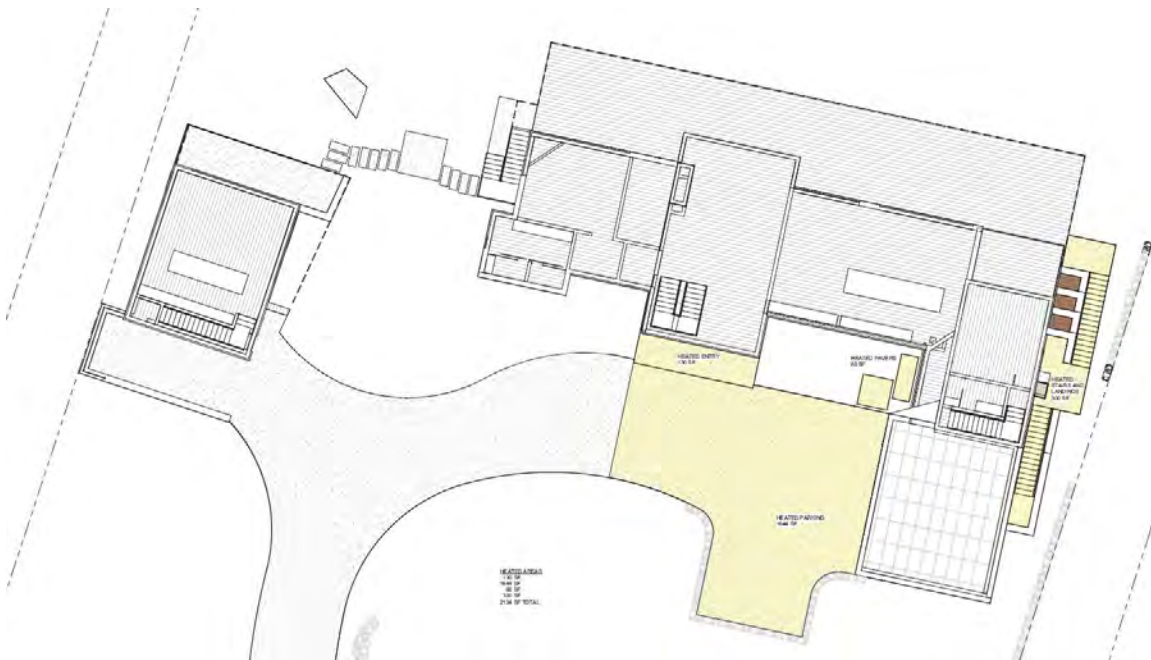


Figure 11: Proposed Snow Melt Plan

The applicant has demonstrated that this site adheres to the goals outlined in section 17.5.5 of the CDC.

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. The CDC requires roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:

The forms of the proposed residential structures follow alpine mountain designs that are well grounded to withstand the extreme natural forces of wind, snow, and heavy rain. The proposed use of the stone at the base of the structures reinforces this requirement.

Exterior Wall Form:

The proposed development has exterior walls that are simple in design and portray a massing that is substantially grounded to the site.

Roof Form:

The shed roof for both structures is made of bonderized metal and has a low roof plane with a 2:12 pitch. The main house provides a roof plane that is broken up into multiple parts to create visual interest. However, the cabin only has a single roof plane. Because of the relatively small footprint of the secondary structure, a single plane roof seems appropriate and cohesive with the overall design language.



Figure 12: Main House Elevation (multiple roof forms)

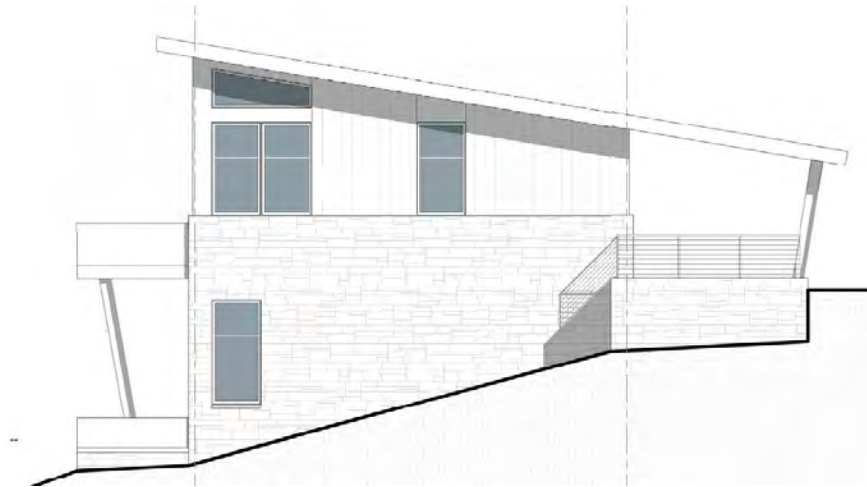


Figure 13: Cabin Elevation (single roof form)

Chimneys, Vent and Rooftop Equipment Design:

The applicant has indicated that all fireplaces in the proposed structures will be natural gas. The proposed equipment meets the requirements of the CDC.

Exterior Walls Materials and Color:

The exterior materials of both the main house and the cabin are proposed to incorporate stained wood siding and timbers, Telluride gray stone veneer at the base, steel columns, and mill-scale steel finish railings. The applicant has identified that the fascia will be wood. The applicant has not identified a material for the soffit. If metal is used, the proposal will be subject to specific approvals from the DRB outlined in section 17.5.6.C.3.h.ii.

Glazing:

The maximum window area of the building, including window and door glazing, is 24.2 percent of the total building façade for the main house and 24.1 percent for the cabin. Exhibit A Sheet A601 shows the window schedule. Windows for both structures utilize a mix of wood and stone siding. The windows and doors are trimmed with metal clad but the color of the cladding is not specified. This should be identified prior to final and is a required condition of approval.

Doors and Entryways:

The garage door detail for the main house is shown on Sheet A602. The applicant has not provided a door schedule for either structure.

Decks and Balconies:

The proposed balconies enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC.

Required Surveys and Inspections:

Since the proposed main house structure is within five feet or less of the maximum building height, a monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the average building height. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

Because Lot BC107 is identified as a ridgeline lot, there are additional design requirements that must be met. Structures must have varied facades to reduce the apparent mass, buildings must step down the hillside, building and roofing materials and colors shall blend with the hillside, colors and textures shall be colors found naturally in the hillside, and highly reflective materials shall not be used. Staff finds that these additional requirements are being met.

Forester Comments: All finish materials underneath the decks and soffits must be either fireproof or fire resistant.

17.5.7: Grading and Drainage Design

Staff: The applicant is proposing a change to grading along the driveway as well as a boulder wall on the periphery of the driveway for the two exterior parking spaces. There is a small amount of grading necessary to create positive drainage away from both the main house and the ADU. Outside of the creation of the driveway there is no proposed disturbance in the GE area.

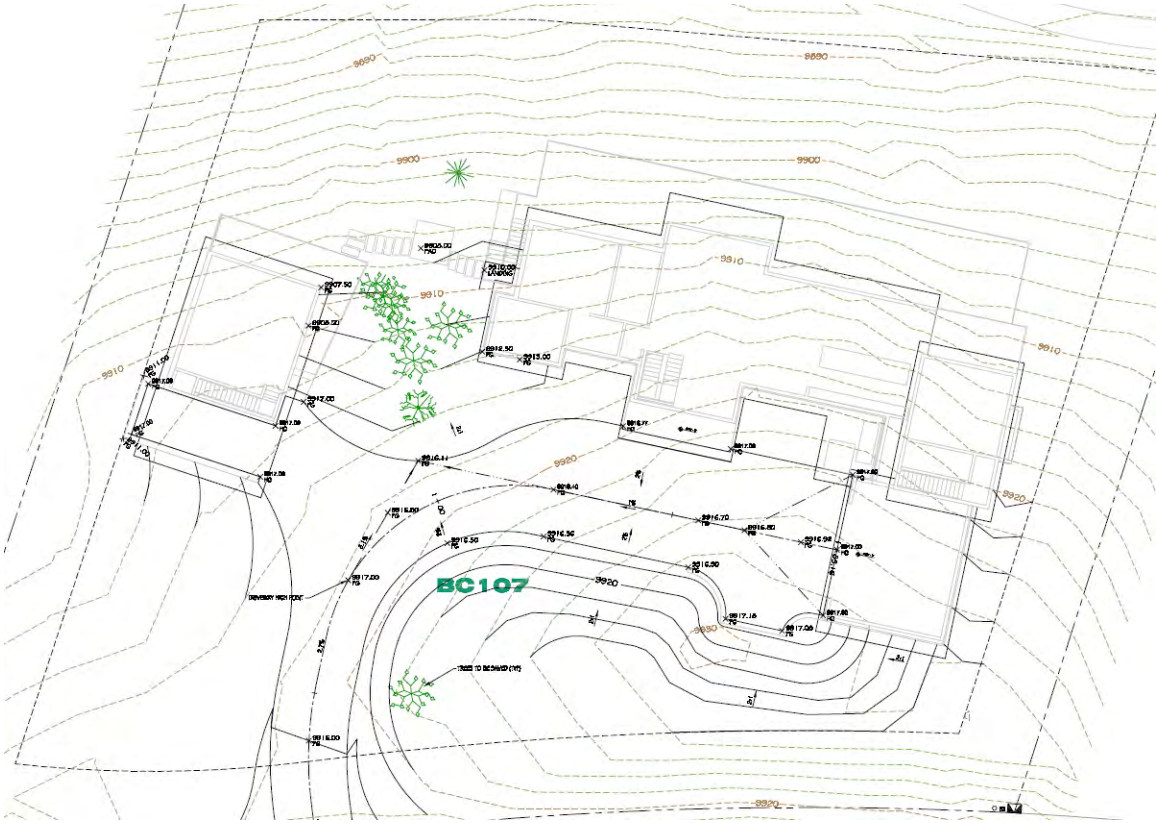


Figure 14: Grading Plan

17.5.8: Parking Regulations

Staff: The applicant has shown two interior and two exterior parking spaces for the main house on their plan, per CDC requirements. The applicant also shows an additional overhang parking space adjacent to the cabin.

17.5.9: Landscaping Regulations

Staff: The site is currently heavily vegetated and any development would require the removal of a significant amount of the existing landscape. To accommodate for this, the applicant has proposed the inclusion of 40 new eight-gallon shrubs, 75 new five-gallon shrubs, 5 new evergreen trees, 7 new aspen trees and 2 new ornamental trees or shrubs. The species for the new proposed landscaping has not all been identified at this point in development. The applicant has noted that their final proposal will adhere to the diversity of species requirement in the CDC. The final review application will be required to provide species diversity to meet the requirement of this section.

Forester Comments: The final review application must meet the species diversity requirements. Evergreen trees are required to be from two separate genus or species categories to meet the diversity requirement.

17.5.11: Utilities

Staff: The utility plan is provided on sheet C2 of Exhibit A. The plan shows that the proposed water and sewer lines will connect to the current lines on Lawson Overlook and follow the driveway up to the structures. The plan indicates that the gas, electric and telephone lines will exist on the eastern side of the property and connect to the existing pedestals on the southeastern edge of the site.

Public Works Comments: The utilities will need to be field verified..

17.5.12: Lighting Regulations

Staff: Lighting information was provided on sheet A810 of Exhibit A, including rope lights, step lights, and outdoor sconces. The step lights and sconces are LED and all three light sources do not exceed the 850 lumen limit and will be on a dimmer management system.



Figure 15: Rope light



Figure 16: Step light



Figure 17: Outdoor sconce

The location of these fixtures is proposed in the exterior lighting plan found on sheet A104 of Exhibit A. The lighting as proposed seems to meet the general lighting requirements of the CDC.

Because Lot BC-107 is designated as a ridgeline lot, there are additional considerations for lighting. Generally speaking, the project must avoid or shield lighting that faces east. The northeast corner of both the main house and ADU have deck areas that face east. The applicant has used a solid metal clad railing with rope lighting facing towards the deck surface as well as step lights on the home exterior instead of wall mounted sconces which could possibly be seen from the east. This approach seems an effective way of providing safety lighting on the deck without light spill towards the prohibited eastern side. Staff finds that the lighting plan is meeting the criteria for ridgeline lights in terms of lighting.

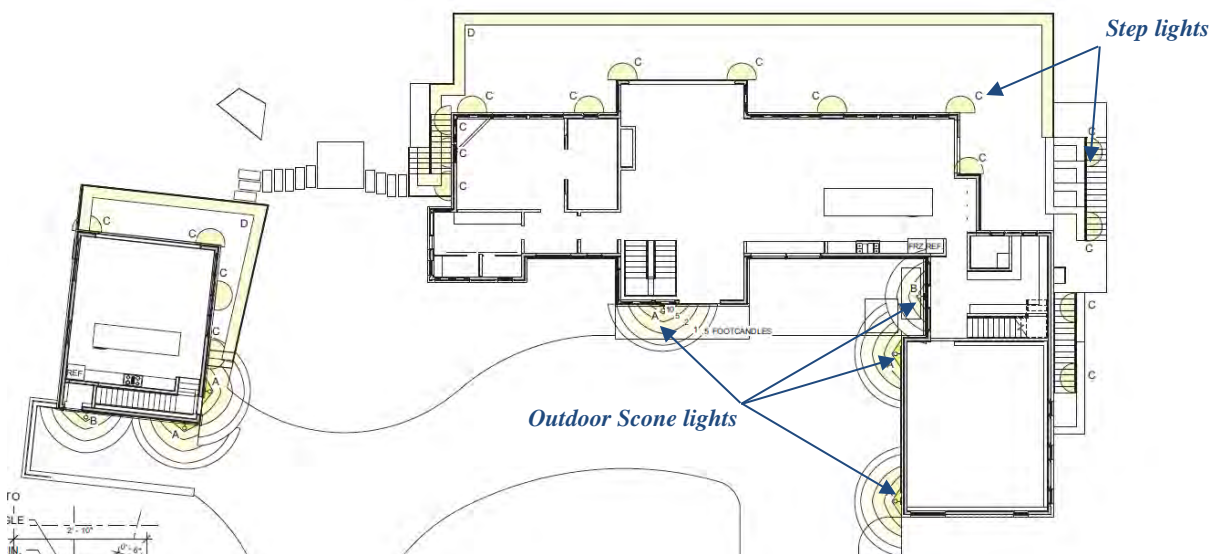


Figure 18: Exterior Lighting Plan

17.5.13: Sign Regulations

Staff: An address monument is proposed within the General Easement. This is proposed to be steel with 6" tall, backlit stainless-steel numbers.

Any development within the General Easement will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

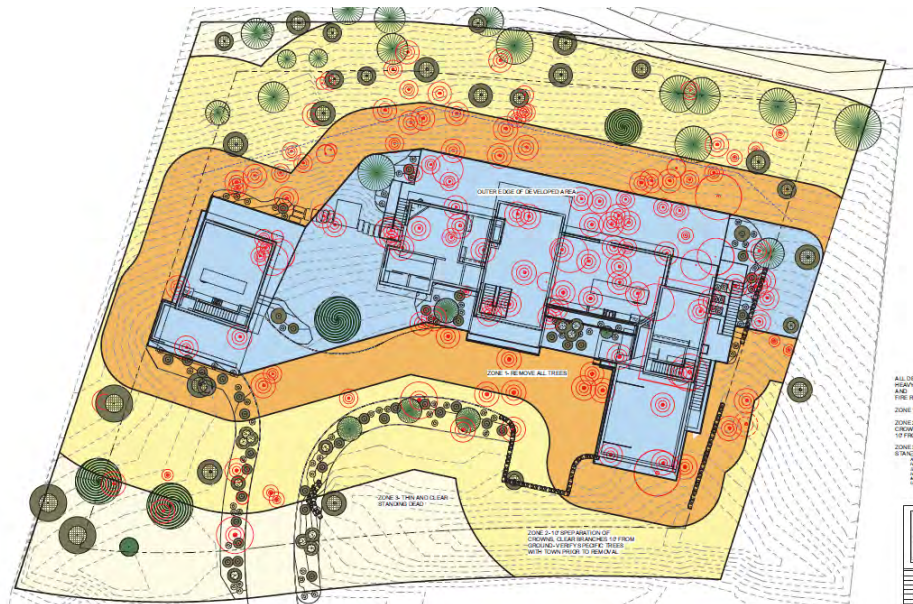
Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Sheet A012 of Exhibit A shows the proposed Fire Mitigation Plan. The applicant has identified an "Outer Edge of Developed Area" which includes vegetation adjacent to the proposed development structures. Off of the "Outer Edge of Developed Area" the applicant has included the 15' Zone 1 Fire Mitigation area. The applicant has not indicated the edge of dripline on Sheet A102. The applicant should revise the Fire Mitigation plan to indicate driplines. Combustible landscaping such as junipers are not permitted adjacent to the building.

In Zone 2, the applicant is proposing aspen and evergreen trees and has indicated that Zone 2 requires a 10' crown-to-crown separation. Per section 17.6.1A-3d of the CDC, all trees within zone 2 must have all branches pruned to a height of 10'. It is the responsibility of the lot owner to maintain these regulations required by the wildfire mitigation plan of section 17.6.1A3.

Telluride Fire Protection District: TFPD approves the proposal with conditions that the structure shall install a monitored NFPA 13D sprinkler and NFPA 72 fire alarm system.



17.6.6: Roads and Driveway Standards

Staff: Sheet C1 of Exhibit A depicts the grading plan with information for the driveway grade. The driveway grade is within the maximum allowed grade of 8 percent with a maximum grade of 3.1 percent. The information provided does not include the detail necessary to determine compliance regarding driveway width. Therefore, a revised driveway plan with dimensions for the driveway width and length are required prior to final review as a condition of approval.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that all fireplaces in the proposed structures will be natural gas and meet the requirements of the CDC.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan on Sheet 101 of Exhibit A shows the required dumpster, bear-proof food waste and recycling bins, and a port-a-toilet. The plan indicates protective fencing around existing trees, but the fencing is not identified. The plan does not show an area for material storage. The applicant shall identify a material storage area prior to final.

The parking plan indicates six spots on the site. However, all of these are located in the current driveway, which is an area that won't be available for use until initial stages of construction are complete. The applicant will likely still need to work with the Town for roadside parking permits until the driveway is created. It is possible that until the driveway is created that at least some workers will need to be shuttled to the site from elsewhere.

The Construction Mitigation plan does not indicate the appropriate silt protection and wattles necessary to handle stormwater runoff. The plan should be revised to include these requirements prior to final review.

The applicant has identified the area of construction staging and revegetation. No crane is indicated on the plan, if it is determined that one is required, the applicant shall work with Town staff to make sure the crane swing doesn't impede the roadway.

Forester Comments: The construction mitigation plan shows tree protection fencing. This must be updated at final design to show the fencing outside of the dripline for all trees that are retained on site.

Staff Recommendation: Staff recommends approval of the initial architectural review with conditions.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

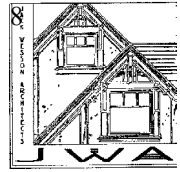
Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot BC107, based on the evidence provided in the staff record of memo dated October 6, 2022, and the findings of this meeting with the following conditions:

- 1) *The Construction Mitigation Plan should demonstrate that tree protection fencing will be established outside the dripline of each tree that will be retained [CDC 17.6.1.A.4.(f)].*
- 2) *The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.*
- 3) *The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.*
- 4) *The Landscape Plan should demonstrate that planted conifers (evergreen trees) will be from two separate genus or species categories for diversity [CDC 17.5.9.C.6.(c)].*
- 5) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
- 6) *Prior to final review, the applicant shall provide a door schedule that details materials.*
- 7) *Prior to final review, the applicant shall identify materials used for the soffit.*
- 8) *Prior to final review, materials under the soffit must be identified and shall be fire proof or fire resistant.*
- 9) *Prior to final review, the applicant shall provide an updated driveway plan with dimensions labeled to show compliance with the CDC.*
- 10) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Zone 1 Fire Mitigation standards.*
- 11) *Prior to final review, the applicant shall identify a designated space for material storage and indicate the appropriate silt protection and wattles necessary to handle stormwater runoff on the construction mitigation plan.*
- 12) *Prior to final review, the construction mitigation plan must show protection fencing outside the dripline of trees remaining on site.*
- 13) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and average building height.*
- 14) *The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.*
- 15) *A Knox Box for emergency access is recommended.*
- 16) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
- 17) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
- 18) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
 - a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
 - b. *Wood that is stained in the approved color(s);*
 - c. *Any approved metal exterior material;*
 - d. *Roofing material(s); and*
 - e. *Any other approved exterior materials*
- 19) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to*

their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.



NARRATIVE

4.6.22

To: Amy Ward, Town of Mountain Village Planner
Community Development Department
Design Review Board
Mountain Village, CO

From: Jack Wesson
Jack Wesson Architects, Inc.
109 E. Colorado Ave. #2, Telluride CO
P.O. Box 2051
Telluride, CO 81435
(970) 519.1551
jwesson@me.com.com

Re: Preliminary Design Review Submission Narrative
for a Single Family Residence with Detached Cabin
Lot BC107, Lawson Overlook, Mountain Village

Project Outline:

This single family residence is proposed to be built on lot BC107 (lot size 40,869 sf). The interior gross heated area is approximately 6,665 s.f., 47 s.f. of mechanical and 743 s.f. of garage area. The design esthetic is a rustic, mining vernacular in material and massing components as required by the Mountain Village Design Review regulations. The exterior materials of both the main house and the cabin will incorporate stained wood siding and timbers, stone and mill-scale steel finish railings and bonderized metal roofing and have low shed roof forms at a 2:12 pitch. The project is compliant with the Mountain Village Land Use Ordinance; the massing is within the height limits: 16'-5 1/4" average and 34'-6" maximum for the main house and 19'-2" average and 28'-6 1/4" maximum for the cabin. The site coverage (8,644 sf) is only 21.1%. All fireplaces will be natural gas.

Exterior Material Requirements:

The exterior materials meet the surface area criteria.

Main House

stone veneer	36.33% (exceeds 35%)
fenestration	24.20%
wood	17.21%
metal accent	22.27%

Cabin

stone veneer	37.05% (exceeds 35%)
fenestration	24.10%
wood	17.63%
metal accent	21.22%

Land Use Ordinance Compliance:

Lot Area:	approximately 40,869 sf
Site Coverage:	8,644 s.f. or 21.1%

Main House

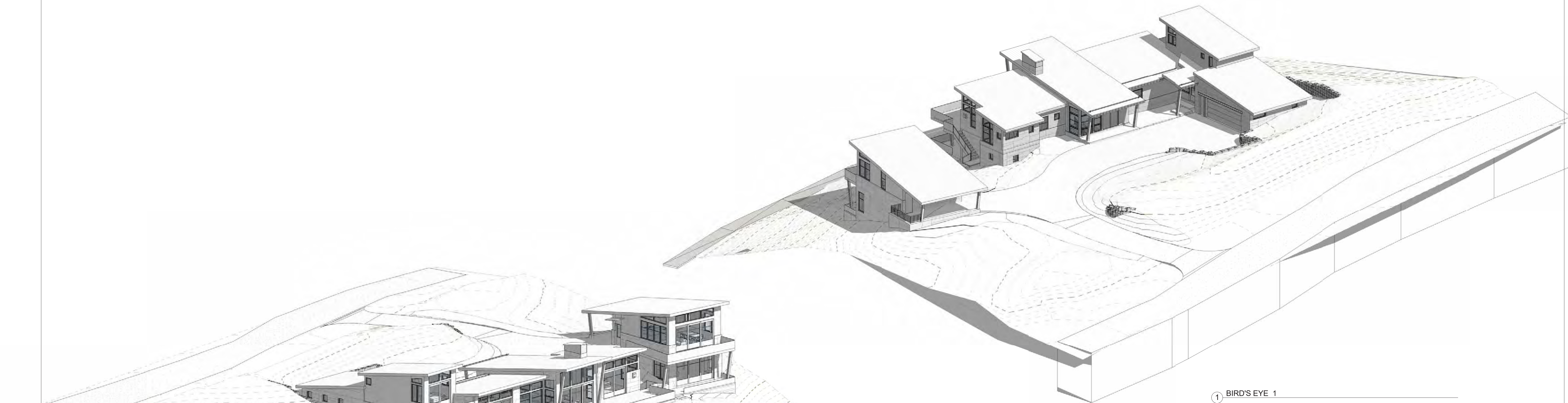
Floor Area Living:	6,665 s.f. plus 47 s.f. mechanical
Floor Area Garage	743 s.f.
Ave. Ht.	16'-5 1/4" (30' average allowed)
Max. Ht.	34'-6" (35' max. allowed at ridgeline lot)

Cabin

Floor Area Living:	1415 s.f. plus 25 s.f. mechanical
Floor Area Garage	0 s.f.
Ave. Ht.	19'-2" (30' average allowed)
Max. Ht.	28'-6 1/4" (35' max. allowed at ridgeline lot)

Sincerely,

Jack Wesson



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ARCHITECTS INC.

TELLURIDE, COLORADO 81435

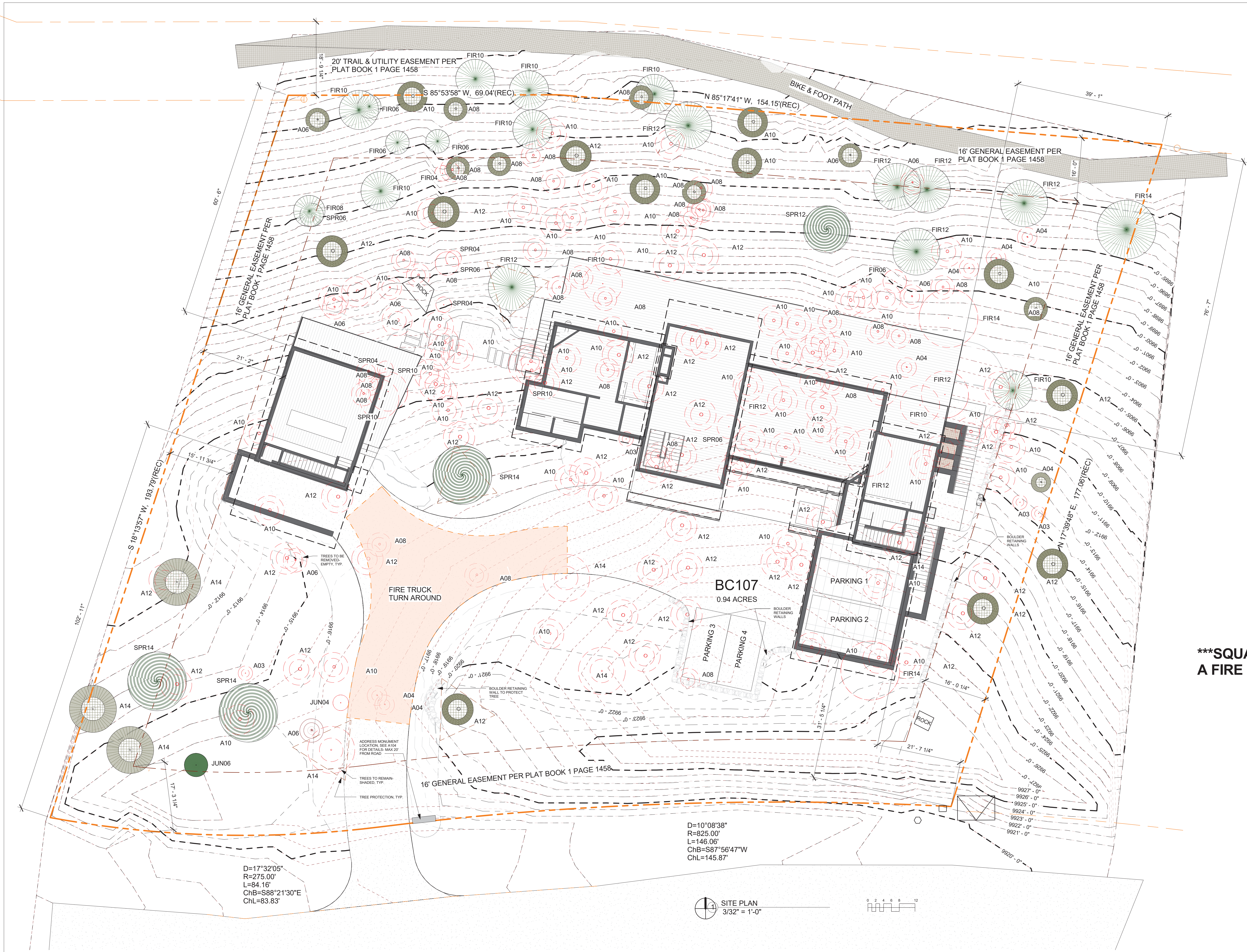
TEL: 970-728-9755
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jwesson@me.com
www.jackwessonarchitects.com

[illegible]

PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435


SHEET DESCRIPTION:
3D

SHEET NUMBER:
3D1



***SQUARE FOOTAGE REQUIRES
A FIRE SPRINKLER SYSTEM***

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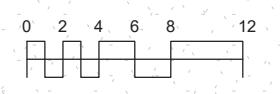
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	3-30-22		REVISED DRAFT 4
	3-23-22		REVISED DRAFT 3
	3-7-22		REVISED DRAFT 2
	1-13-22		DRB SITE PLANS
	11-29-2021		PROGRESS
	10-19-2021		PROGRESS
	9-23-2021		MASSING STUDY
	7-1-2021		LAYOUT

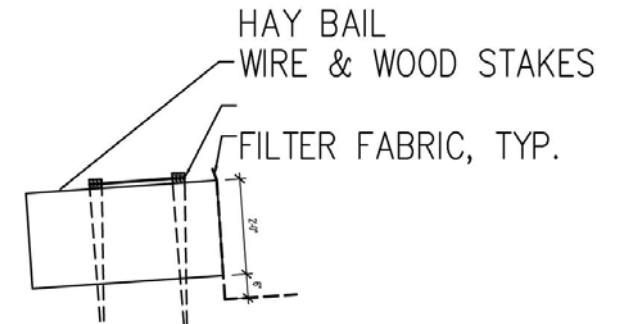
PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
SITE PLAN

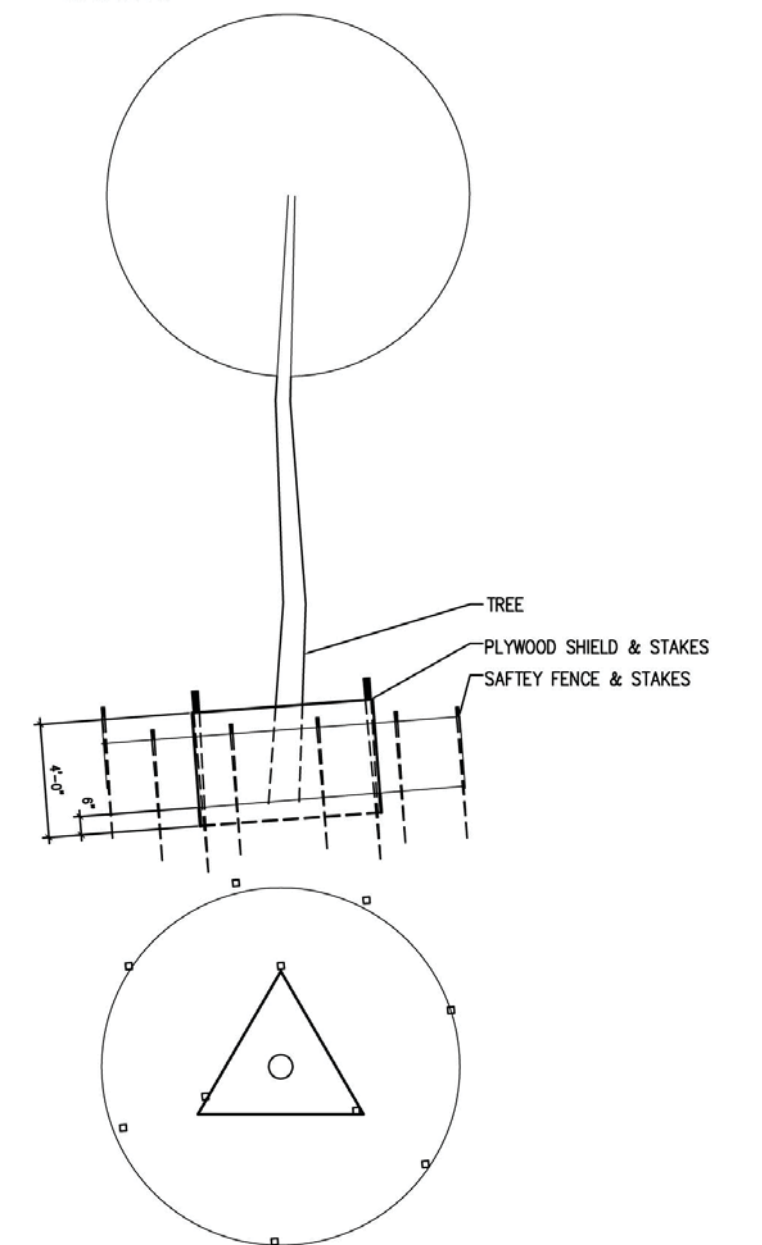
SHEET NUMBER:
A100

SITE PLAN
3/32" = 1'-0"





HAY BAILS @ APPROX 26',
STAKES MIN. 2' DEPTH IN SOIL,
WIRE ATTACHING BAILS TO
STAKES, AND TO FABRIC.
FABRIC TO BE MIN. 6" BELOW
GRADE.



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3-23-22	REVISED DRAFT 3		
3-7-22	REVISED DRAFT 2		
1-13-22	DRB SITE PLANS		
11-29-2021	PROGRESS		
10-19-2021	PROGRESS		
9-23-2021	MASSING STUDY		
7-1-2021	LAYOUT		

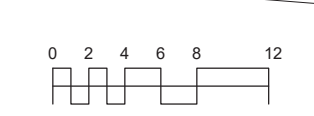
PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
CONSTRUCTION
STAGING PLAN

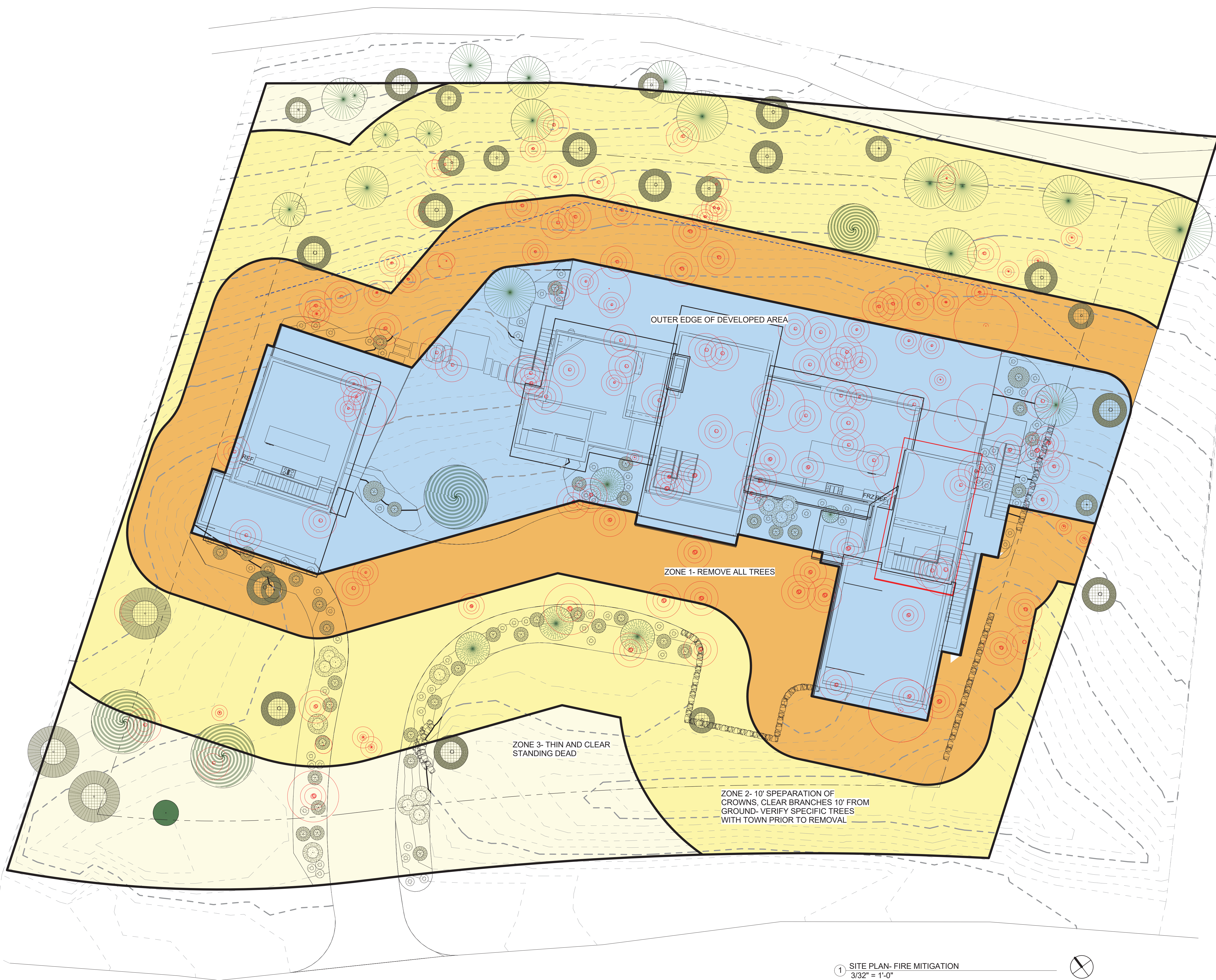
SHEET NUMBER:
A101



1 SITE PLAN- CONSTRUCTION STAGING
3/32" = 1'-0"



***NOTE: ADDITIONAL TREE CLEARING WILL BE DONE IN ACCORDANCE WITH THE
MOUNTAIN VILLAGE LAND USE ORDINANCE FIRE MITIGATION REQUIREMENTS***



ALL DECKS TO BE BUILT OF
HEAVY TIMBER CONSTRUCTION
AND
FIRE RESISTANT MATERIALS

ZONE 1- REMOVE ALL TREES

ZONE 2- 10' SEPARATION OF
CROWNS, CLEAR BRANCHES
10' FROM GROUND

ZONE 3- THIN AND CLEAR
STANDING DEAD

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED
ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH
HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS,
SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE,
HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT
MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND
URBAN INTERFACE CODE) APPROVED PRODUCTS.

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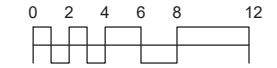
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3-30-22	02	REVISED DRAFT 4	
3-23-22	03	REVISED DRAFT 3	
3-7-22	04	REVISED DRAFT 2	
1-13-22	05	DRB SITE PLANS	
11-29-2021	06	PROGRESS	
10-19-2021	07	PROGRESS	
9-23-2021	08	MASSING STUDY	
7-1-2021	09	LAYOUT	

PROJECT NAME: **BC107
MOUNTAIN VILLAGE**
COLORADO 81435

SHEET DESCRIPTION:
**FIRE MITIGATION
PLAN**

SHEET NUMBER:
A102

1 SITE PLAN- FIRE MITIGATION
3/32" = 1'-0"





HOSE BIB AND IRRIGATION LINE-
RAIN BIRD SPRINKLER HEADS
INSTALLED IN FLOWER BADS.
DRIP LINE THROUGH-OUT, TYP.

AREA OF REVEG

AREA OF REVEG

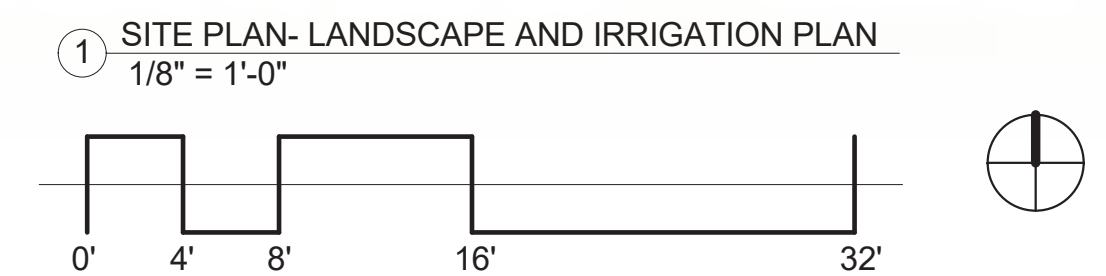
AREA OF REVEG

ADDRESS
MONUMENT-
SEE A104 FOR
DETAIL

WATER USAGE CHART:

ASPEN	7 @	10 gal. =	70 gal.
SPRUCE	5 @	10 gal. =	50 gal.
POTENTILLA	74 @	2 gal. =	148 gal.
DOGWOOD	40 @	3 gal. =	120 gal.
ORNAMENTAL	2 @	4 gal. =	8 gal.
TOTAL =			396 gal.

*NOTE: INSTALL RAIN SHUT-OFF DEVICE AS
REQ'D BY SECTION 9-210
INSTALL BACKFLOW PREVENTERS



SHOULD THE STATE OF THE GENERAL EASEMENTS
BE DISTURBED DURING CONSTRUCTION, THE
APPLICANT MUST REVEGETATE THE AREA TO ITS
PRIOR CONDITION USING THE NATIVE SEED MIX.

SPRUCE TREE
TO REMAIN

FIR TREE TO REMAIN

ASPEN TREE TO REMAIN

(40) 8 GAL. SHRUBS

(2) 10 GAL. ORNAMENTAL
TREE/SHRUB TBD

(74) 5 GAL. SHRUBS

(5) NEW EVERGREEN TREES
(1-8) (1-10) MINIMUM HEIGHT

(7) NEW 3" CAL. ASPEN OR
2 1/2" CA. MULTI-STEM

FLOWER MIX 1: COLUMBINE,
SHOOTING STAR, INDIAN
PAINTBRUSH, YARROW,
BLUEBELL APPROX. 1775 SF.

FLOWER MIX 2: RUSSIAN
SAGE, YELLOW ROSE,
DAYLILY, DELPHINIUM,
BLEEDING HEART,
CINQUEFOIL APPROX 1400 SF.

NOTE: REVEGETATION IS WILL
BE NATIVE MIX
5% WESTERN YARROW
10% TALL FESCUE
5% ARIZONA FESCUE
5% HARD FESCUE
10% CREEPING RED FESCUE
15% ALPINE BLUEGRASS
10% CANADA BLUEGRASS
15% PERENNIAL RYEGRASS
10% SLENDER WHEATGRASS
15% MOUNTAIN BROME
APPROX. 5000 SF

***At least forty (40) percent of the trees on a
landscaping plan shall be trees not typically found
in landscaping in the Town, such as lodgepole
pine, limber pine, white bark pine, ponderosa pine,
bristlecone pine and pinyon pine provided such
trees fit within the life zone and a site's micro
climate.

SEE SITE PLAN FOR TREES TO BE REMOVED

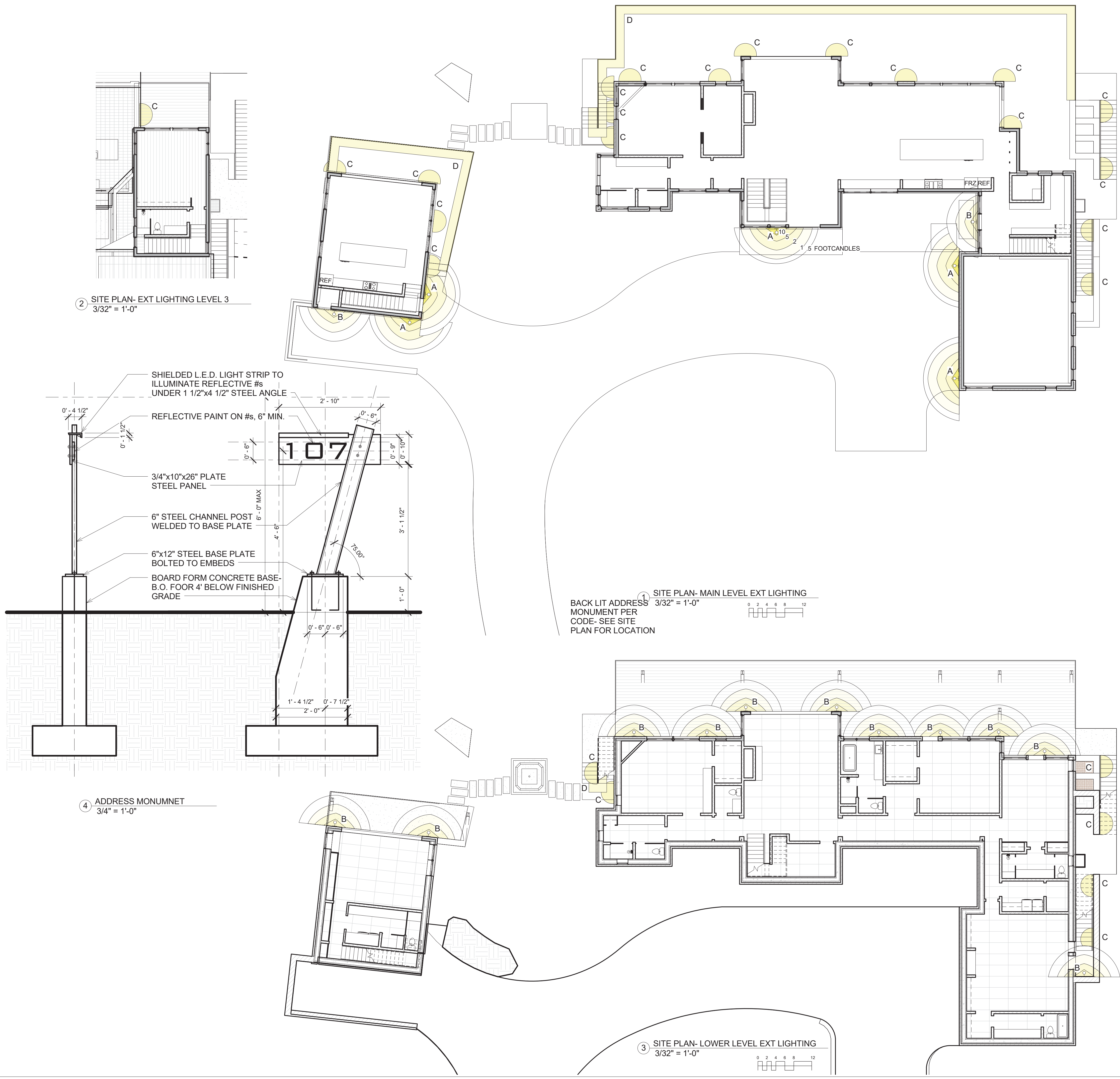
- GENERAL NOTES:
1. SOIL PREPARATION SPECIFICATIONS: SOIL
IN REVEG. AREA WILL BE AUGMENTED WITH
HYDROMULCH.
 2. THIS LANDSCAPE PLAN COMPLIES WITH
SECTION 9-109 OF THE DESIGN REGULATIONS
REGARDING NOXIOUS WEEDS.
 3. THE PROPERTY OWNER GUARANTEES ALL PLANT
MATERIALS FOR TWO YEAR.
 4. ALL TREES AND SHRUBS SHALL BE BACKFILLED
WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE
AT A 2:1 RATIO.
 5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO
A 6" DEPTH AND AMENDED WITH TOPSOIL AND
ORGANIC FERTILIZER AT A 2:1 RATIO
 6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK
SOIL CONDITIONER BY SOUTHWEST IMPORTERS,
SHREDDED CEDAR BARK.
 7. ALL PLANT MATERIAL TO MEET THE AMERICAN
STANDARD FOR NURSERY STOCK. PLANTING DETAILS
FOR ROOT SYSTEMS, SOIL PREPARATION,
SEEDING, MULCHING, AND FERTILIZATION
TECHNIQUES SHALL BE IN ACCORDANCE WITH
GUIDELINES SET FORTH BY THE ASSOCIATED
LANDSCAPE CONTRACTORS OR COLORADO.
 8. TURF SHALL BE AERATED 2 TO 3 TIMES PER
YEAR TO INCREASE THE WATER ABSORPTION RATES.
NECESSARY ORGANIC FERTILIZATION AND
AMENDMENT SHALL BE INCORPORATED AT THE SAME
TIME.
- REVEGETATION AND EROSION CONTROL NOTES:
1. SUBSOIL SURFACES SHALL BE TILLED TO A 4"
DEPTH ON NON FILL AREAS.
 2. TOPSOIL SHALL BE SPREAD AT A MINIMUM
DEPTH OF 4" OVER ALL AREAS TO BE RE-
VEGETATED (EXCEPT ON SLOPES GREATER THAN
3:1) AND AMENDMENTS ROTO-TILLED AT A RATE
OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.
 3. BROADCASTING OF SEED SHALL BE DONE
IMMEDIATELY AFTER TOPSOIL IS APPLIED
(WITHIN 10 DAYS) TO MINIMIZE EROSION AND
WEEDS.
 4. NEWLY SEEDED AREAS SHALL BE PROTECTED
FROM WIND AND WATER EROSION THROUGH THE
USE OF MULCHES. ACCEPTABLE MULCHES ARE
WOOD CHIPS, STRAW, HYDRO-MULCH AND
EROSION-CONTROL NETTING.
 5. BROADCAST WITH SPECIFIED SEED MIX AND
FOLLOW WITH DRY MULCHING. STRAW OR HAY
SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA
AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2
TONS PER ACRE FOR STRAW, CRIMP IN.
 7. EROSION-CONTROL NETTING WILL BE
REQUIRED ON SLOPES 3:1 OR STEEPER, IF
ALLOWED BY VARIANCE TO SECTION 9-103-2, AND
IN DRAINAGE SWALES.
 8. SEED ALL AREAS LABELED NATIVE GRASS SEED
WITH THE FOLLOWING MIXTURE AT A RATE OF
12 LBS. PER ACRE.
 9. ROAD AND DRIVEWAY SHALL BE RE-VEGETATED
WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO
AVOID UNSIGHTLY SCARS AND WEED INFESTATION
ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-
VEGETATED IMMEDIATELY (WITHIN TWO WEEKS)
AFTER INSTALLATION OF UTILITIES TO PREVENT
WEED INFESTATION. LANDOWNER SHALL INSURE
PROPER WEED CONTROL IN IMPACTED AREAS.
 10. EROSION CONTROL ATTENTION TO
DISTURBED AREAS SHALL BE IMPLEMENTED TO
ENSURE THERE IS NO DETRIMENTAL IMPACT OR
RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.
 11. IN AREAS THAT ARE TO BE RE-VEGETATED
(ESPECIALLY SEEDING LOCATIONS WHICH HAVE
RECEIVED HEAVY CONSTRUCTION EQUIPMENT
TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE
APPLICATION OF SEED. SLOPE SURFACES SHALL BE
ROUGHENED BY RUNNING TRACKED EQUIPMENT UP
AND DOWN THE FACE OF THE SLOPE (RUNNING
SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE
ENCOURAGES EROSION AND IS NOT
RECOMMENDED).
- DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY
FROM THE HOUSE AS REQUIRED BY TOWN'S
ADOPTIVE BUILDING CODES
- THE PROJECT SHALL COMPLY WITH THE TOWN'S
FIRE MITIGATION STANDARDS
- THE PROJECT SHALL COMPLY WITH THE ADOPTED
TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE
ENERGY CODE AND GREEN BUILDING STANDARDS.

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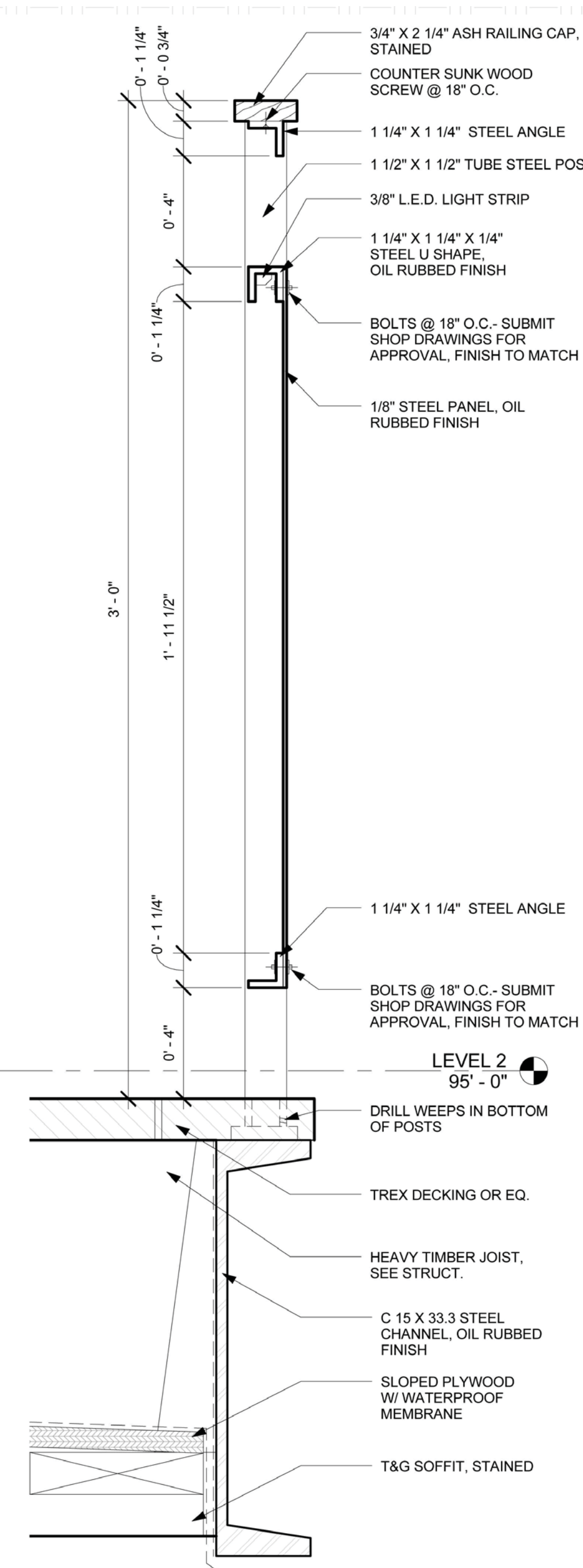
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4-6-22	DR PRELIM APP
3-30-22	REVISED DRAFT 4
3-23-22	REVISED DRAFT 3
3-7-22	REVISED DRAFT 2
1-13-22	DRB SITE PLANS
11-29-2021	PROGRESS
10-19-2021	PROGRESS
9-25-2021	MASSING STUDY
7-1-2021	LAYOUT
MARK	REV DATE DESCRIPTION
PROJECT NAME: PROJECT MANAGER: DRAWN BY: REVIEWED BY: 2022 JWA	
PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435	
SHEET DESCRIPTION: LANDSCAPE & IRRIGATION PLAN	
SHEET NUMBER: A103	

PrairieRegular



- A: LARGE EXTERIOR SCNCE
- B: SMALL EXTERIOR SCNCE
- C: EXTERIOR STEP LIGHT
- D: EXTERIOR ROPE LIGHT
- ***ALL LIGHTING TO BE ON A DIMMER MANAGEMENT SYSTEM***
- MAX LUMENS = 850
- SEE A810 FOR LIGHTING CUT SHEETS



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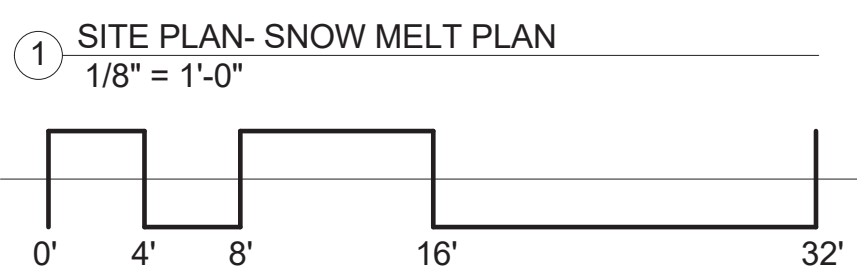
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REV.	DATE	DESCRIPTION
4-6-22	DRB PRELIM APP	
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3-23-22	REVISED DRAFT 3	
3-7-22	REVISED DRAFT 2	
1-13-22	DRB SITE PLANS	
11-29-2021	PROGRESS	
10-19-2021	PROGRESS	
9-23-2021	HAUSING STUDY	
7-1-2021	LAYOUT	

PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLO. 81435

SHEET DESCRIPTION:
EXTERIOR LIGHTING
PLAN

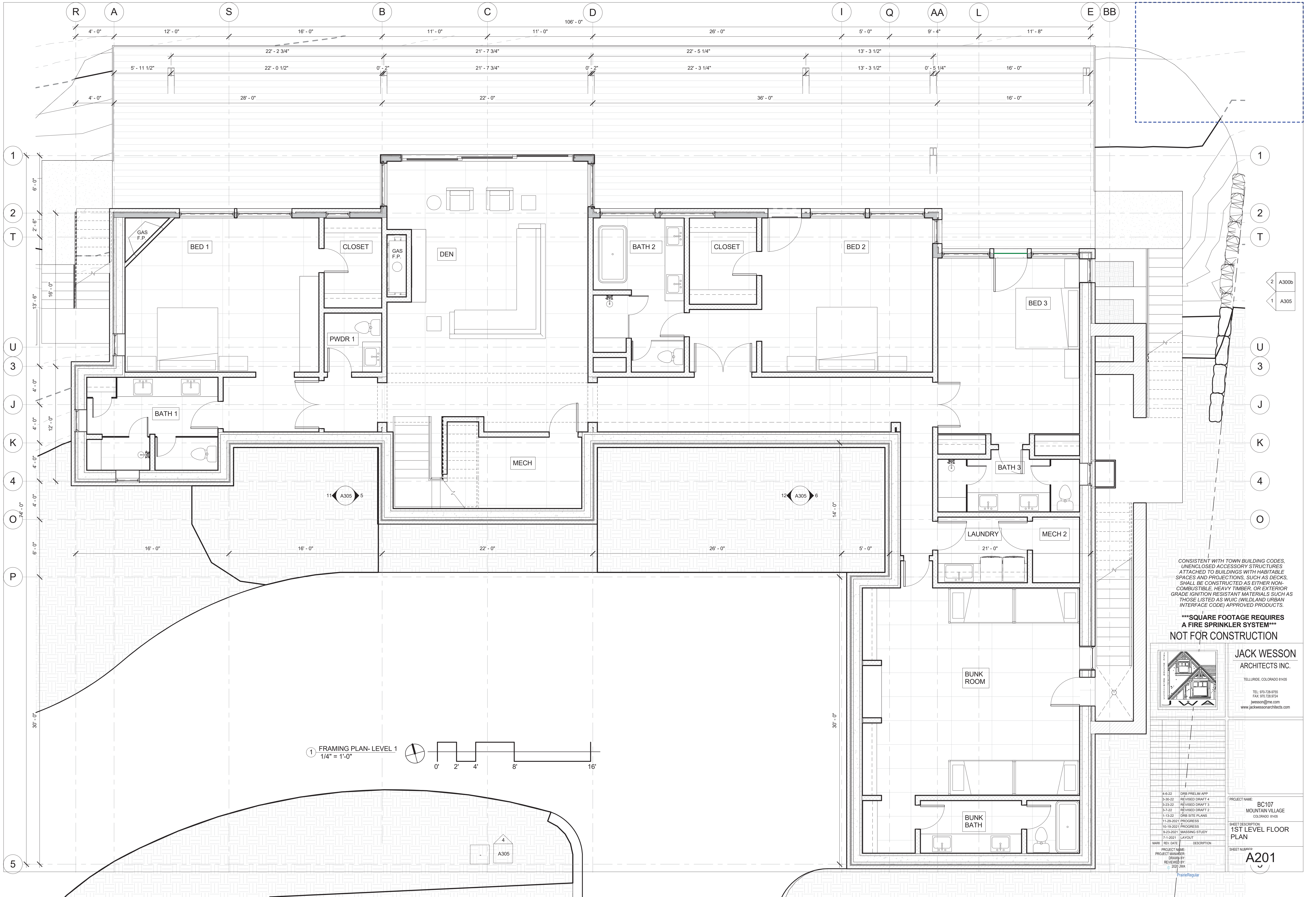
SHEET NUMBER:
A104



SHEET NUMBER:
A105

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	3-7-22	REVISED DRAFT 2
	1-13-22	DRB SITE PLANS
	11-29-2021	PROGRESS
	10-19-2021	PROGRESS
	9-23-2021	MASSING STUDY
	7-1-2021	LAYOUT
MARK	REV. DATE	DESCRIPTION

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2020 JWA



CONSISTENT WITH TOWN BUILDING CODES,
UNENCLOSED ACCESSORY STRUCTURES
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SPACES AND PROJECTIONS, SUCH AS DECKS,
SHALL BE CONSTRUCTED AS EITHER NON-
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GRADE IGNITION RESISTANT MATERIALS SUCH AS
THOSE LISTED AS UWIC (WILDLAND URBAN
INTERFACE CODE) APPROVED PRODUCTS.

***SQUARE FOOTAGE REQUIRES
A FIRE SPRINKLER SYSTEM***
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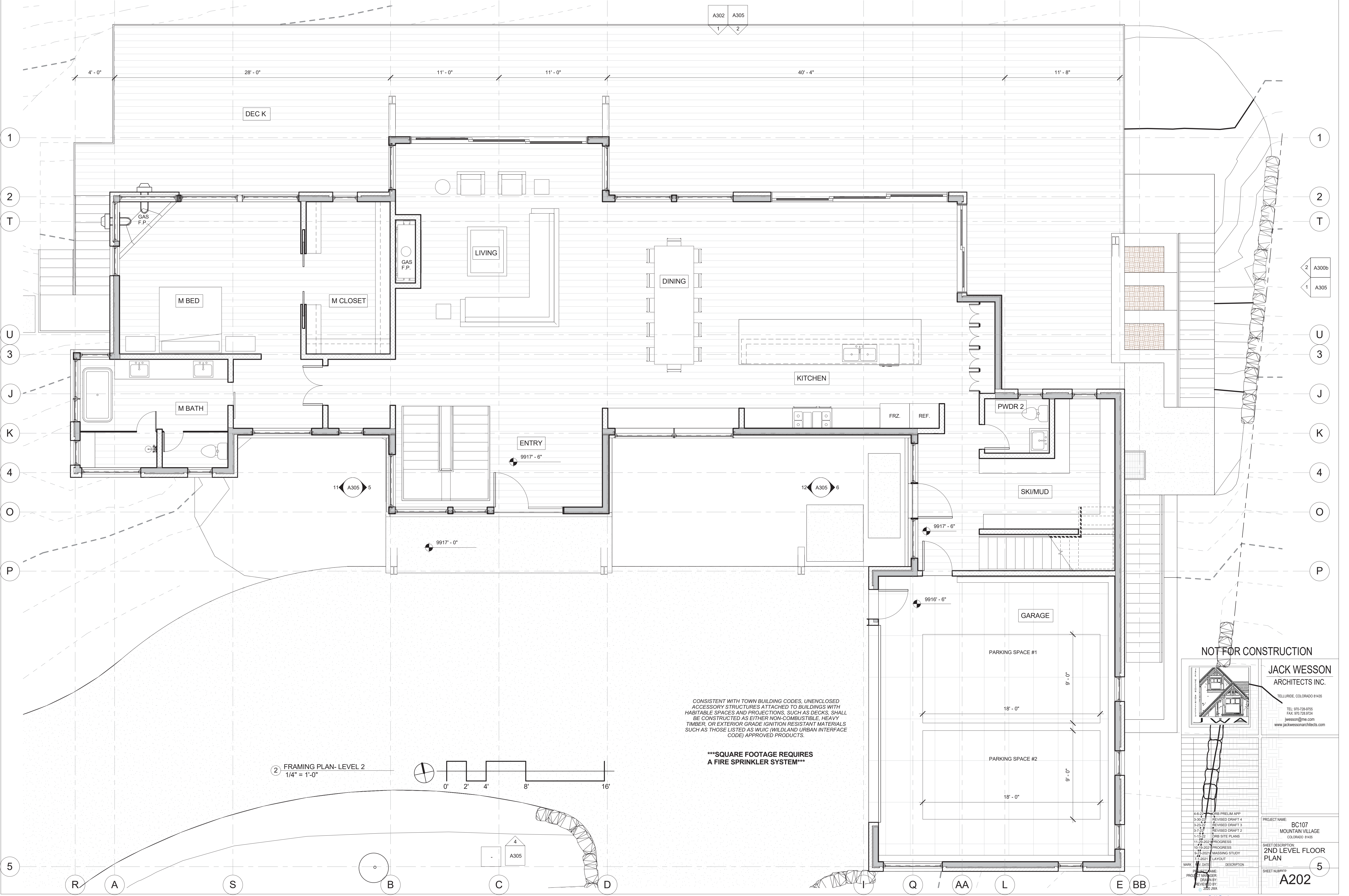
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	3-7-22		REVISED DRAFT 2
	1-13-22		DRB SITE PLANS
	11-29-2021		PROGRESS
	10-19-2021		PROGRESS
	9-23-2021		IMAGING STUDY
	7-1-2021		LAYOUT

PROJECT NAME
BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION
1ST LEVEL FLOOR
PLAN

SHEET NUMBER
A201




CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM

2 FRAMING PLAN- LEVEL 2
1/4" = 1'-0"

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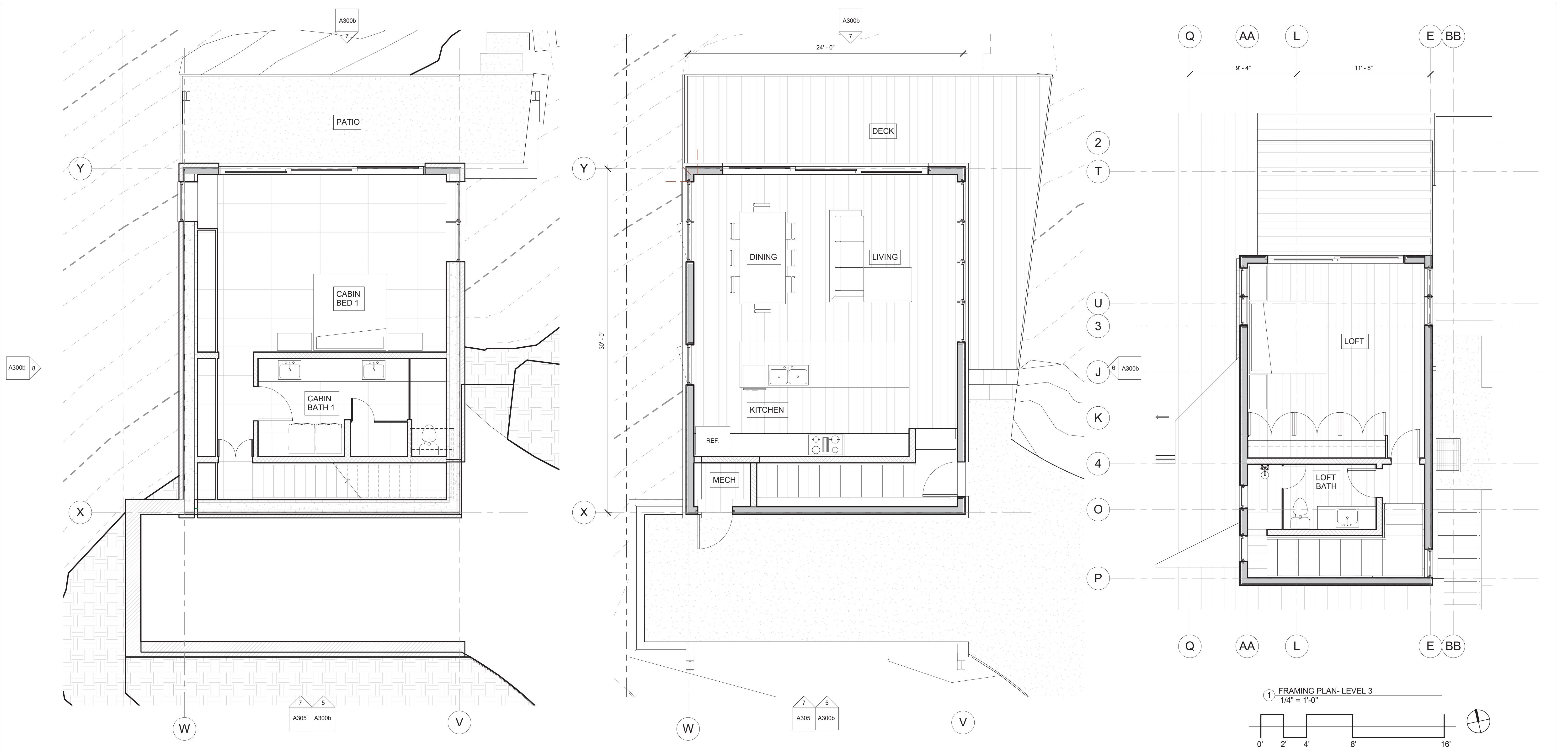
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MARK	DATE	DESCRIPTION
4-6-21	10-8-2021	DRB PRELIM APP
3-30-21	10-8-2021	REVISED DRAFT 4
3-23-21	10-8-2021	REVISED DRAFT 3
3-12-21	10-8-2021	REVISED DRAFT 2
1-11-21	10-8-2021	DRB SITE PLANS
11-28-20	10-8-2021	PROGRESS
10-19-20	10-8-2021	PROGRESS
9-28-20	10-8-2021	MASSING STUDY
7-7-20	10-8-2021	LAYOUT

PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435

SHEET DESCRIPTION: 2ND LEVEL FLOOR PLAN

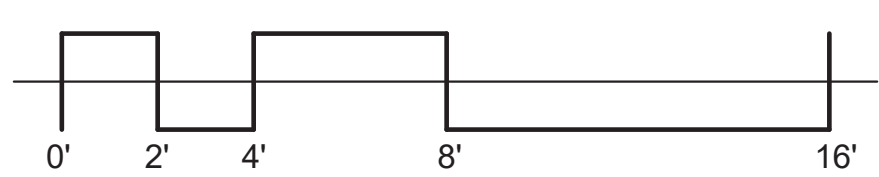
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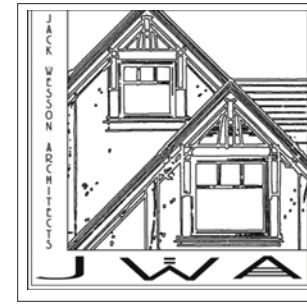
2 2nd FRAMING PLAN- LEVEL 1
1/4" = 1'-0"

3 2nd FRAMING PLAN- LEVEL 2
1/4" = 1'-0"

1 FRAMING PLAN- LEVEL 3
1/4" = 1'-0"



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4-6-22	DRB	PRELIM APP	
3-30-22	REVISED	DRAFT 4	
3-23-22	REVISED	DRAFT 3	
3-7-22	REVISED	DRAFT 2	
1-13-22	DRB	SITE PLANS	
11-29-2021	PROGRESS		
10-19-2021	PROGRESS		
9-23-2021	MASSING STUDY		
7-1-2021	LAYOUT		

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
202 JWA

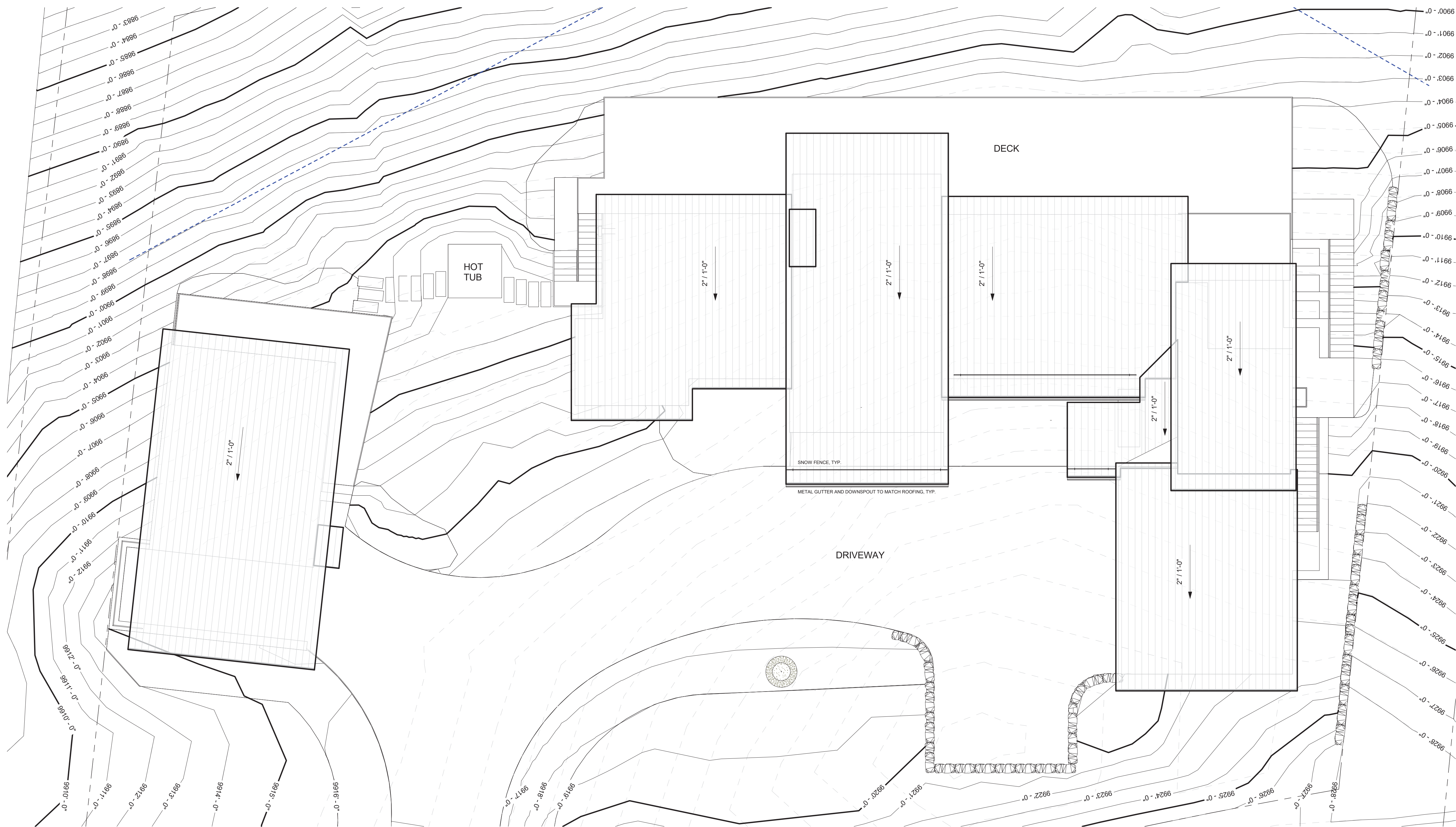
PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
3RD LEVEL &
SECONDARY
FRAMING PLAN
SHEET NUMBER:

A203

CONSISTENT WITH TOWN BUILDING CODES. UNENCLOSED
ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH
HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS,
SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE,
HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT
MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND
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***SQUARE FOOTAGE REQUIRES
A FIRE SPRINKLER SYSTEM***



1 ROOF FRAMING PLAN
1/8" = 1'-0"

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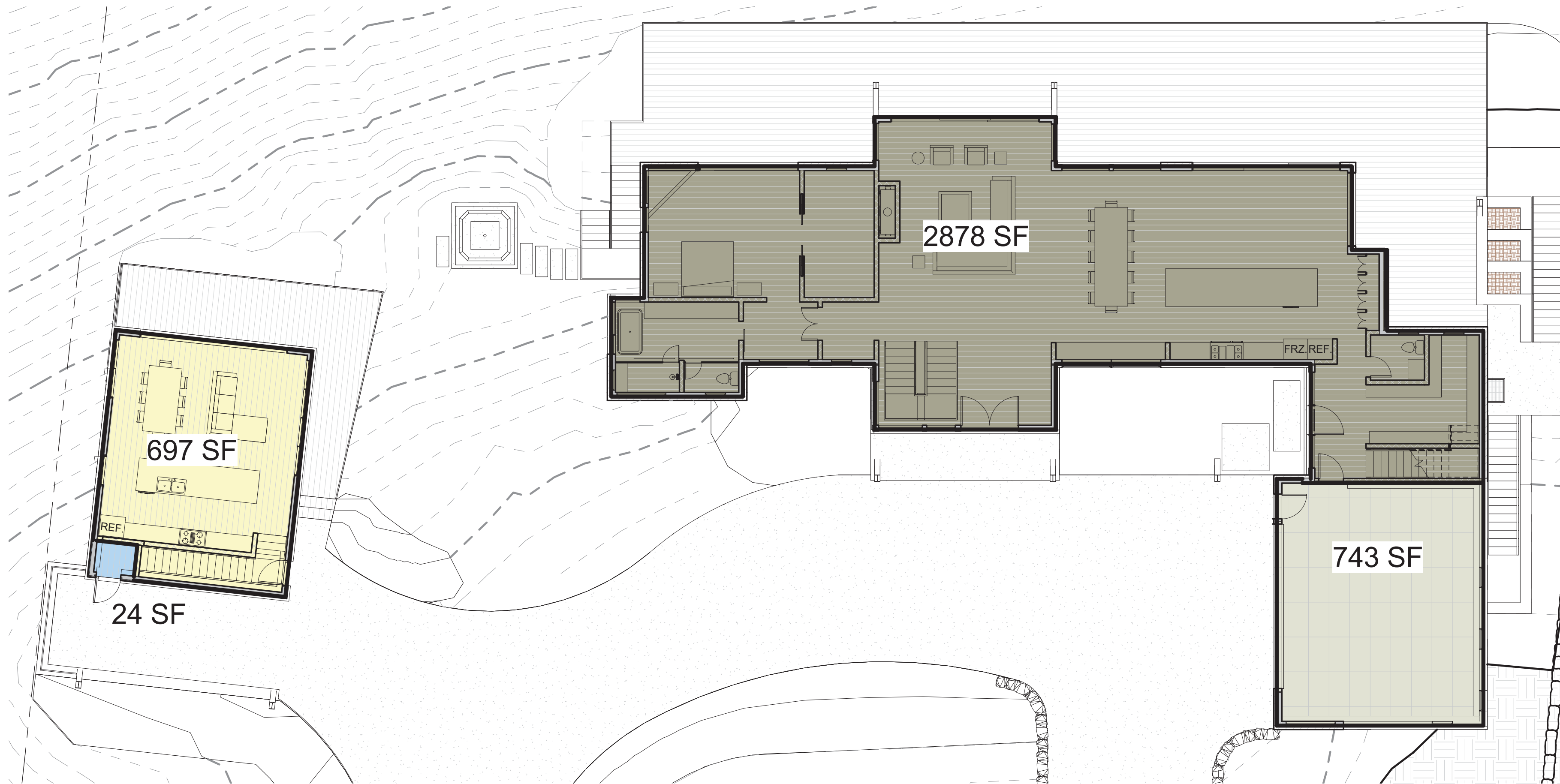
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3-23-22	REVISED DRAFT 3
3-12-22	REVISED DRAFT 2
1-13-22	DRB SITE PLANS
11-29-2021	PROGRESS
10-19-2021	PROGRESS
9-23-2021	MASSING STUDY
7-1-2021	LAYOUT

MARK	REV DATE	DESCRIPTION
PROJECT NAME:		
PROJECT MANAGER:		
DRAWN BY:		
REVIEWED BY:		
202 JWA		

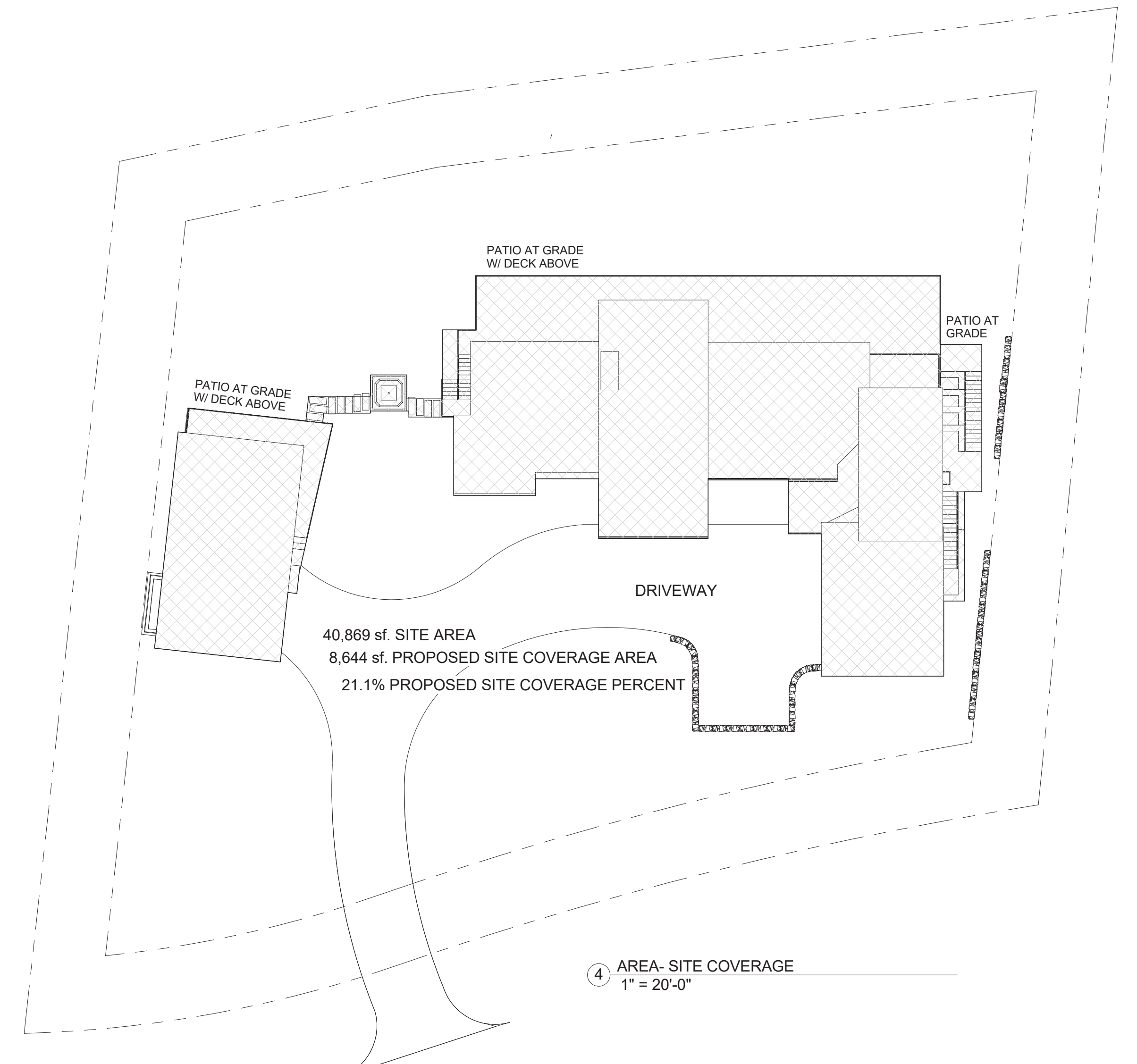
PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
ROOF PLAN

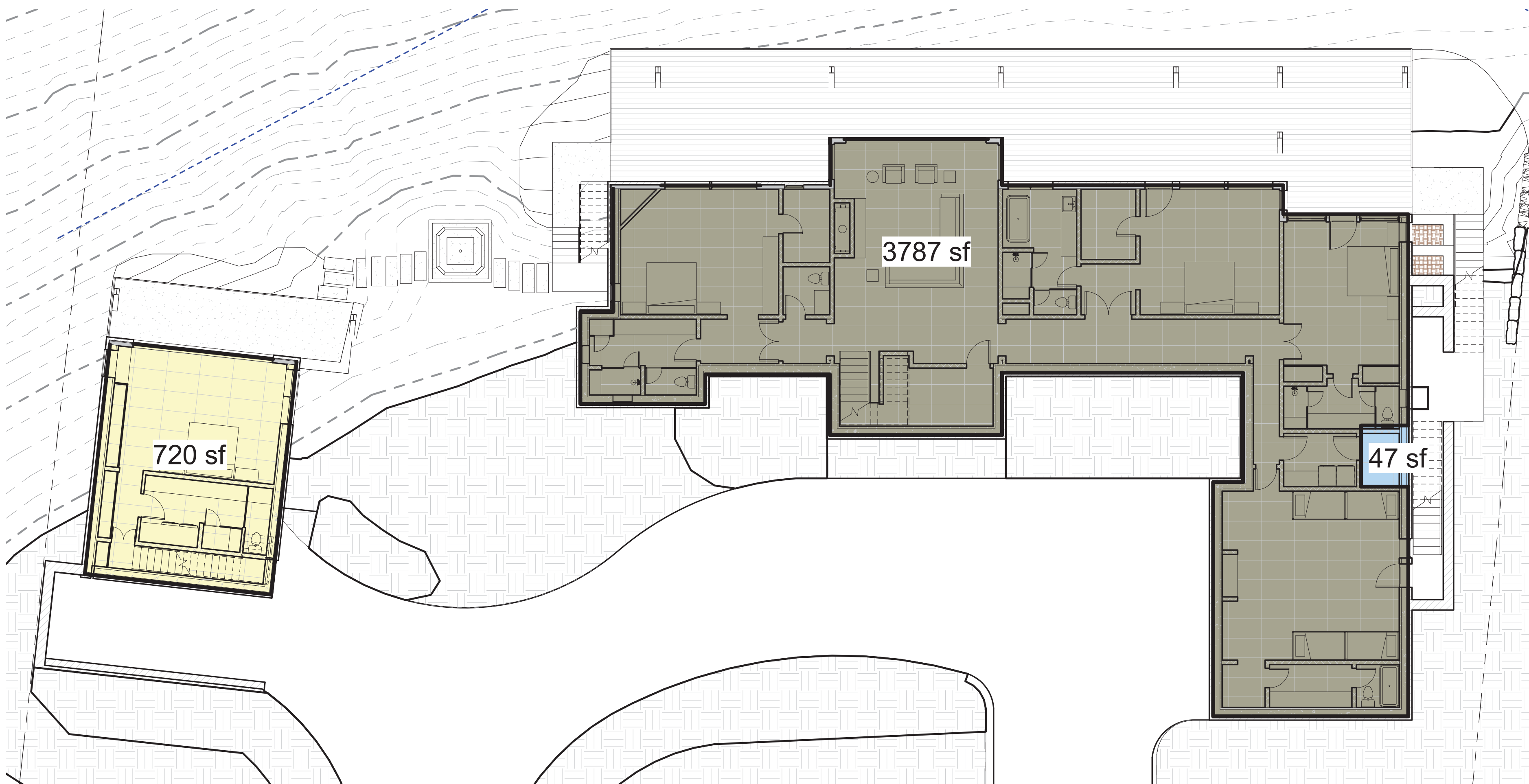
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A204



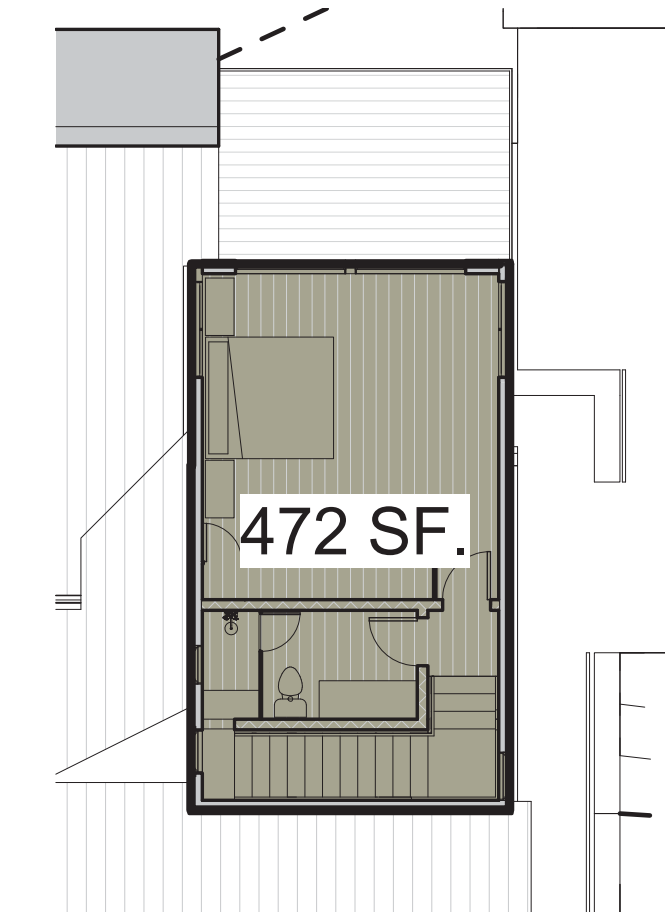
③ AREA PLAN- FRAMING PLAN- LEVEL 2
1" = 10'-0"



④ AREA- SITE COVERAGE
1" = 20'-0"



② AREA PLAN- FRAMING PLAN- LEVEL 1
1" = 10'-0"



① AREA PLAN- FRAMING PLAN- LEVEL 3
1" = 10'-0"

AREA ANALYSIS:

SITE AREA = 40,869 sf.
ALLOW. SITE COVER. (40%) = 16,348 sf.
PRO. SITE COVER. (21.1%) = 8,644 sf.

MAIN HOUSE

GROSS AREA (TO FACE OF STRUCTURE):
1ST LVL LIVING = 3787 sf.
MECH = 47 sf.

2ND LVL LIVING = 2878 sf.
GARAGE = 743 sf.

3RD LVL LIVING = 472 sf.

TOTAL LIVING = 6,665 sf.
TOTAL GROSS = 7,455 sf.

SECONDARY STRUCTURE

1ST LEVEL = 720 sf.
2ND LEVEL = 695 sf.
MECH = 25 sf.

TOTAL LIVING = 1,415 sf.
TOTAL GROSS = 1,440 sf.

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	4-6-22	DRB PRELIM APP
	3-30-22	REVISED DRAFT 4
	3-23-22	REVISED DRAFT 3
	3-7-22	REVISED DRAFT 2
	1-13-22	DRB SITE PLANS
	11-29-2021	PROGRESS
	10-19-2021	PROGRESS
	9-23-2021	MASSING STUDY
	7-1-2021	LAYOUT
MARK	REV. DATE	DESCRIPTION

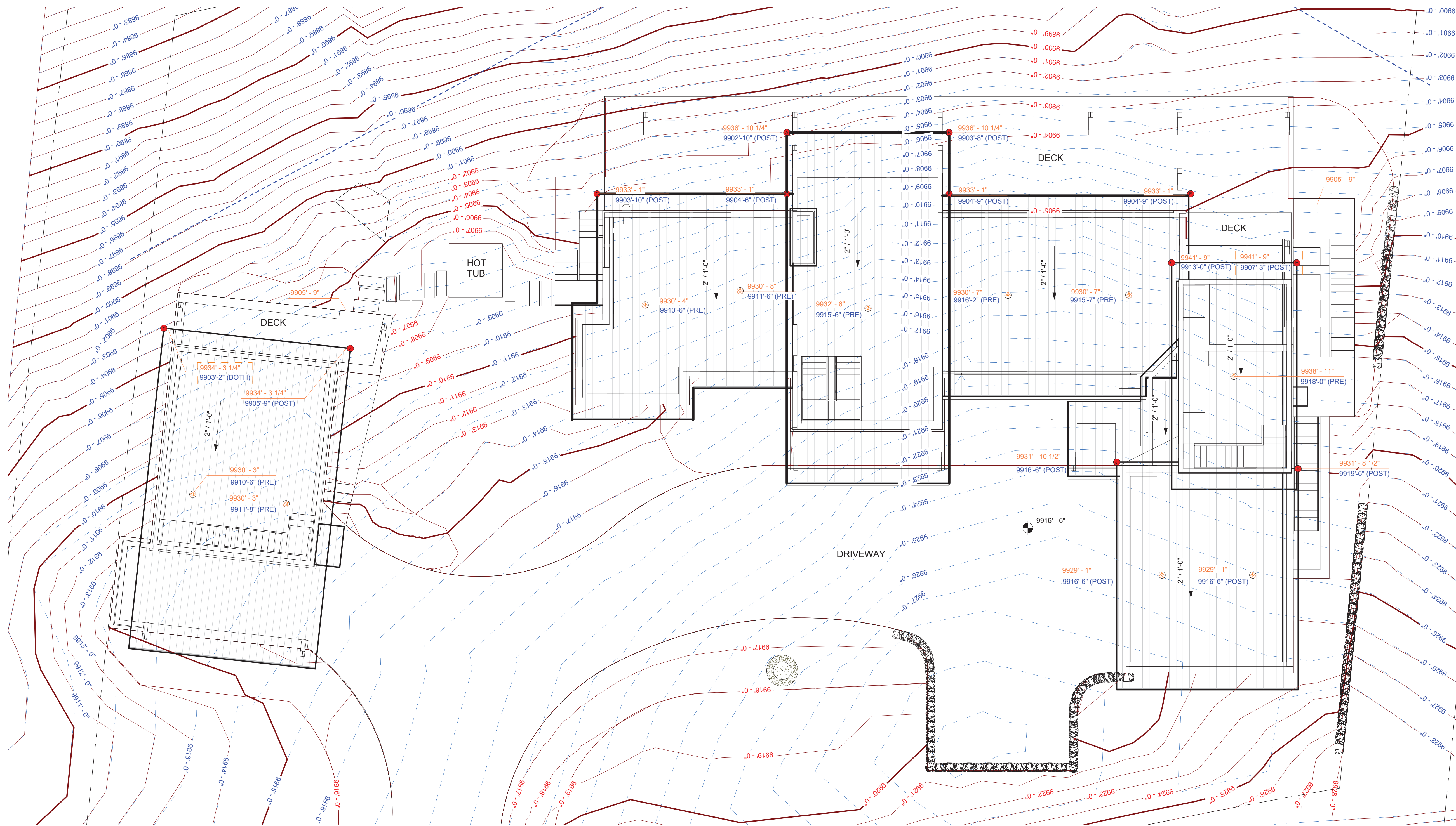
PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
JW

PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
AREA ANALYSIS

SHEET NUMBER:
A205

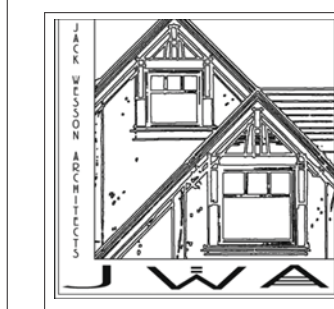
***SQUARE FOOTAGE REQUIRES
A FIRE SPRINKLER SYSTEM***



1 HEIGHT CALC ROOF PLAN
1/8" = 1'-0"

MAIN HOUSE AVERAGE GRADE CALC			MAIN HOUSE HIGH POINT GRADE CALC		
GRADE (MOST RESTRICTIVE)	ROOF MID POINT	HEIGHT	GRADE (MOST RESTRICTIVE)	ROOF HIGH POINT	HEIGHT
1 9910'-6"	9930'-4"	19'-10"	SOUTH n/a	n/a	n/a
2 9911'-6"	9930'-8"	19'-2"	WEST 9902'-10"	9936'-10 1/4"	34'-0 1/4"
3 9915'-6"	9932'-6"	17'-0"	MOST RESTRICTIVE- H NORTH 9907'-3"	9941'-9"	34'-6"
4 9916'-2"	9930'-7"	14'-5"	MOST RESTRICTIVE- H EAST 9907'-3"	9941'-9"	34'-6"
5 9915'-7"	9930'-7"	15'-0"			
6 9918'-0"	9938'-11"	20'-11"			
7 9916'-6"	9929'-1"	12'-7"			
8 9916'-6"	9929'-1"	12'-7"			
		131'-6"/8 = 16'-5 1/4"			
CABIN AVERAGE GRADE CALC			CABIN HIGH POINT GRADE CALC		
GRADE (MOST RESTRICTIVE)	ROOF MID POINT	HEIGHT	GRADE (MOST RESTRICTIVE)	ROOF HIGH POINT	HEIGHT
10 9910'-6"	9930'-3"	19'-9"	SOUTH n/a	n/a	n/a
11 9911'-8"	9930'-3"	18'-7"	MOST RESTRICTIVE- Y WEST 9903'-2"	9934'-3 1/4"	31'-1 1/4"
		38'-4"/2 = 19'-2"	MOST RESTRICTIVE- Y NORTH 9903'-2"	9934'-3 1/4"	31'-1 1/4"
			EAST 9905'-9"	9934'-3 1/4"	28'-6 1/4"

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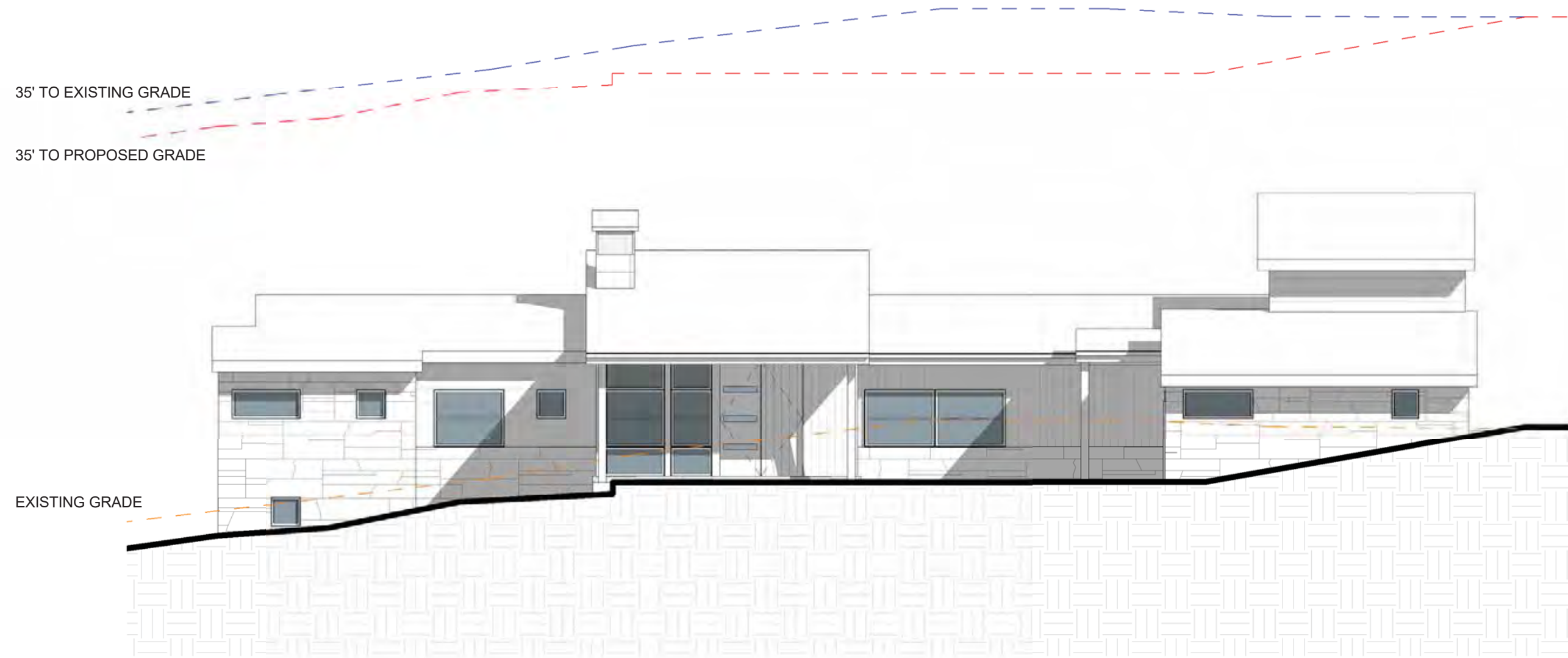
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4-6-22	DRB PRELIM APP		
3-30-22	REVISED DRAFT 4		
3-23-22	REVISED DRAFT 3		
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10-19-2021	PROGRESS		
9-23-2021	MASSING STUDY		
7-1-2021	LAYOUT		

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
PJA:AWA

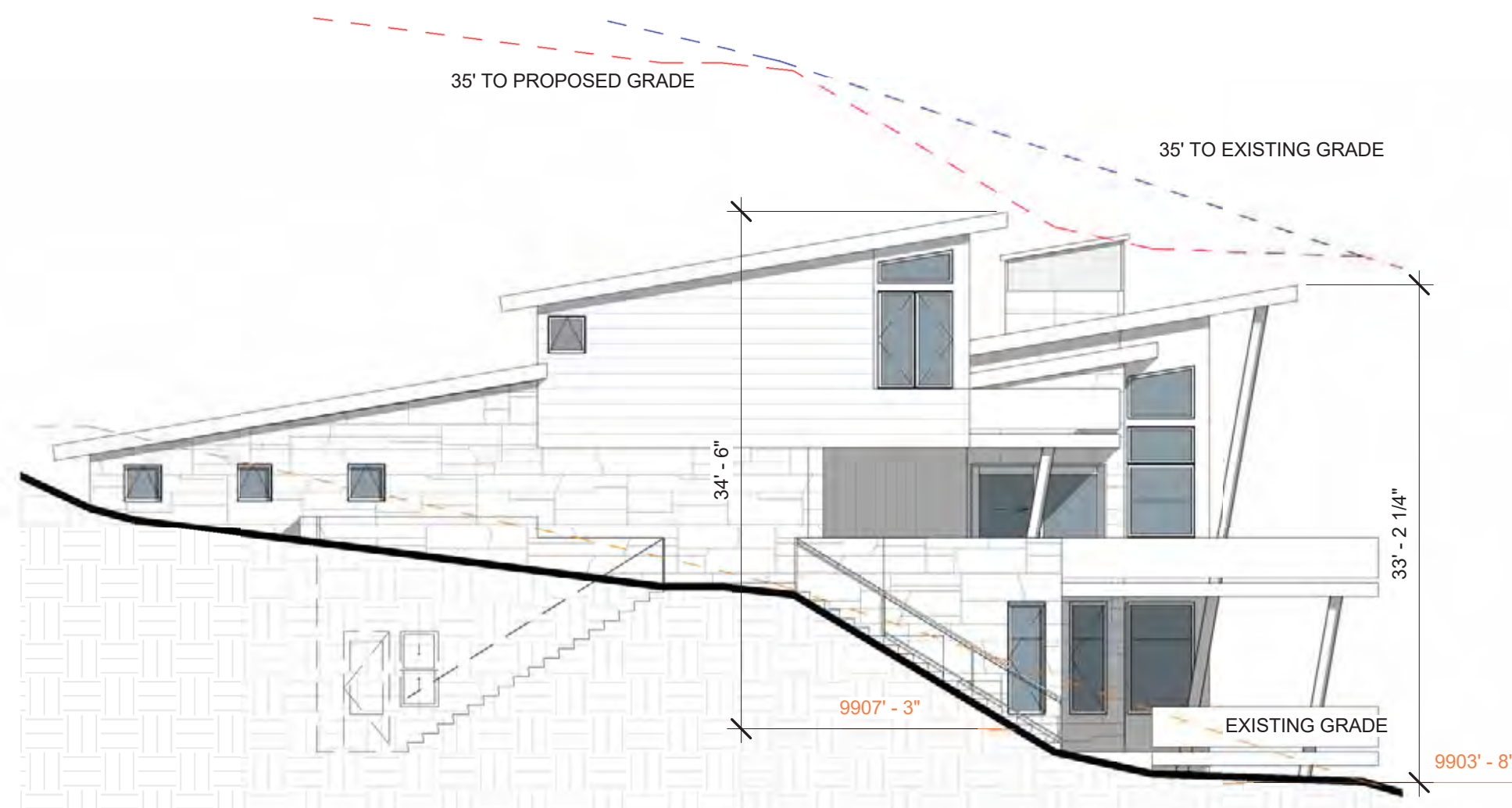
PROJECT NAME:
BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
HEIGHT CALCUS

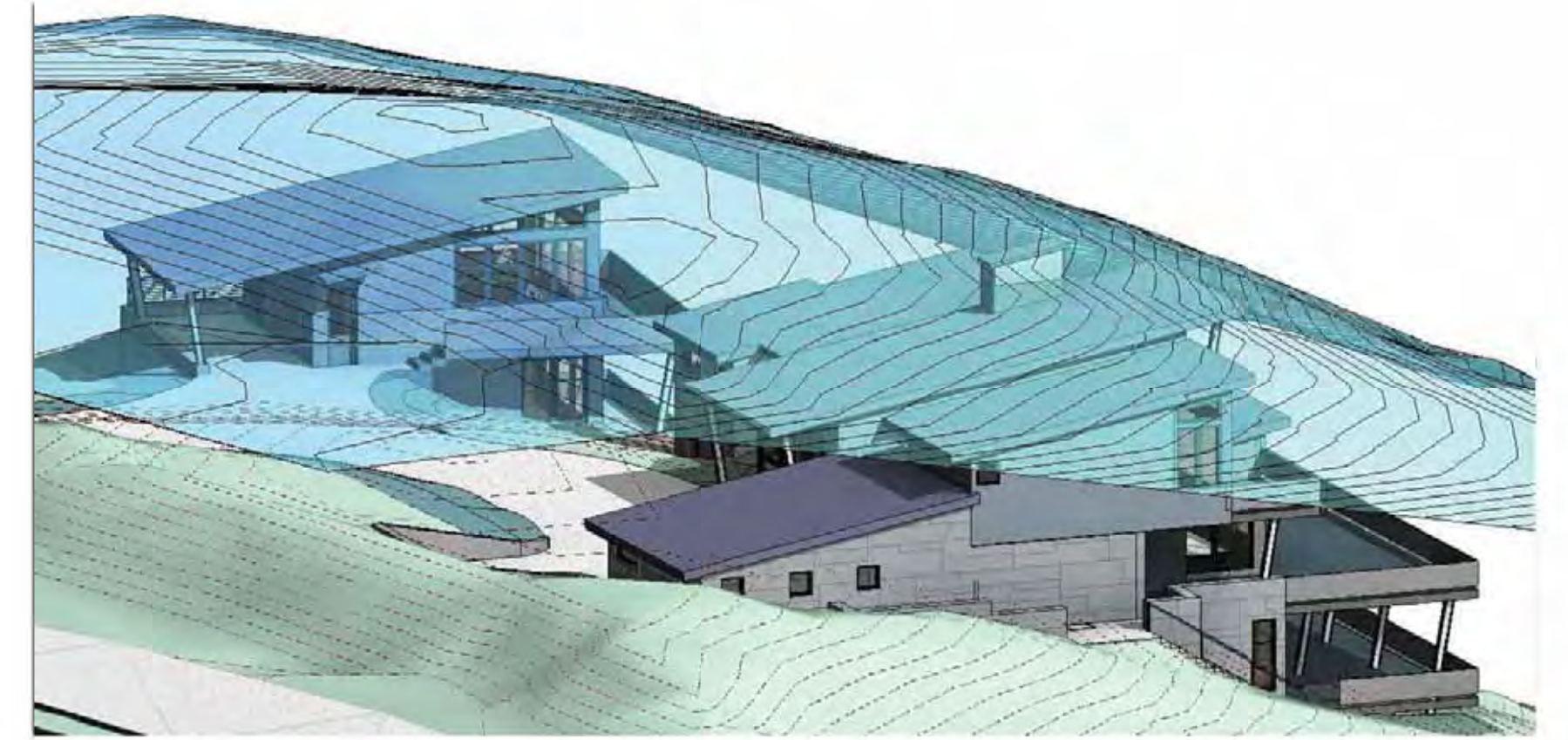
SHEET NUMBER:
A300



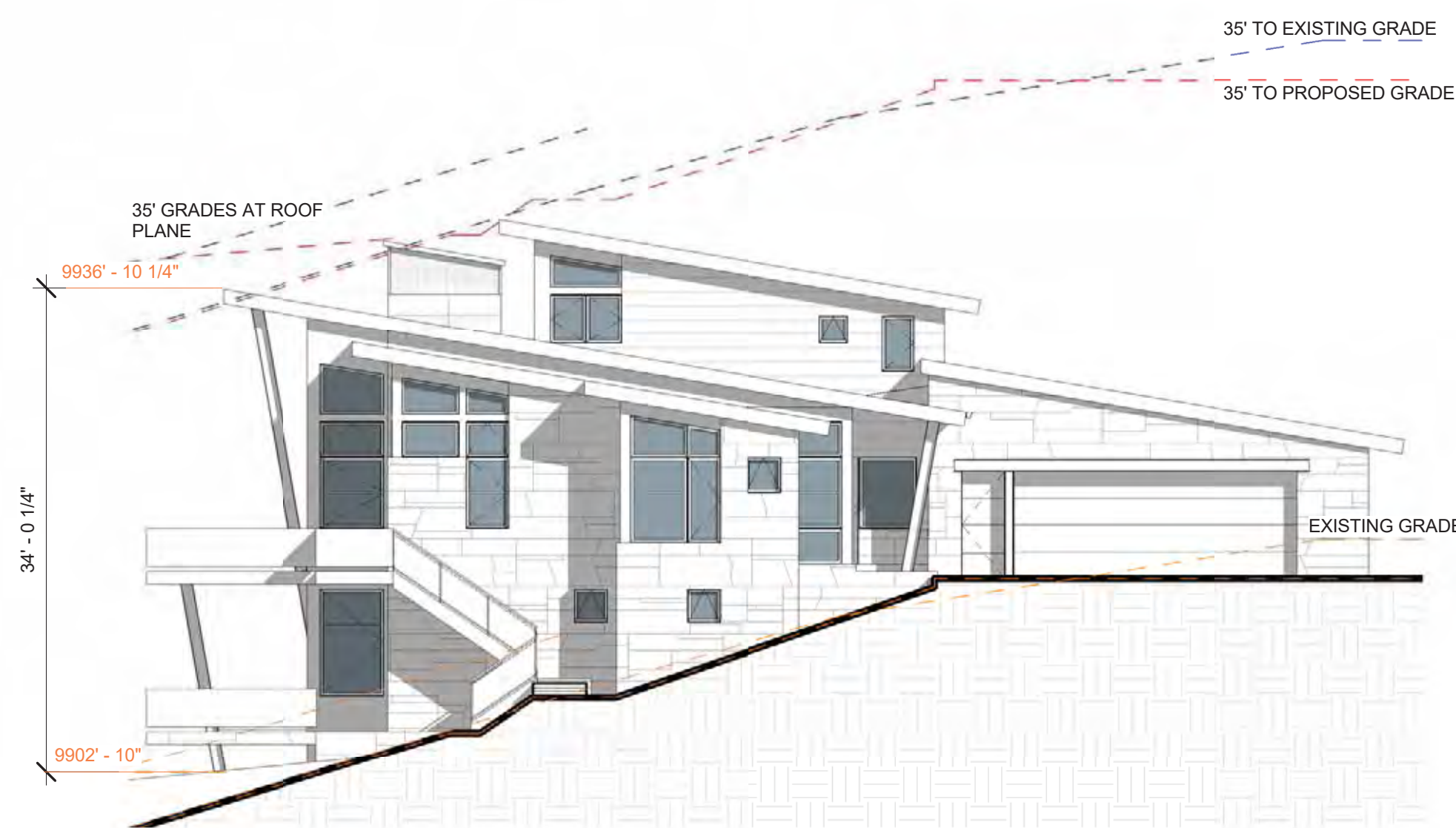
① HEIGHT CALC- SOUTH
1" = 10'-0"



② HEIGHT CALC- EAST
1" = 10'-0"



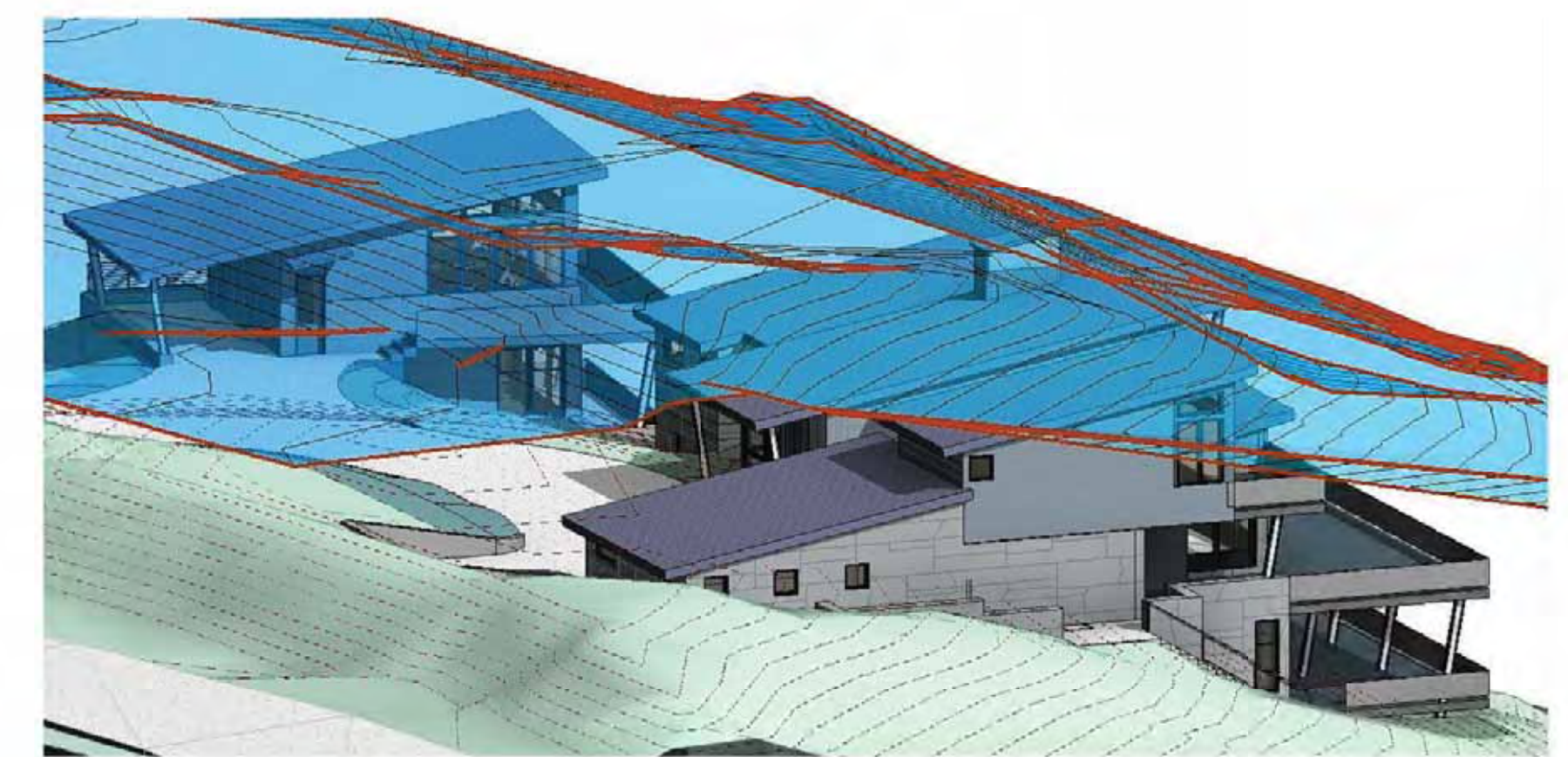
35' PRE CONSTRUCTION GRADE SHELL



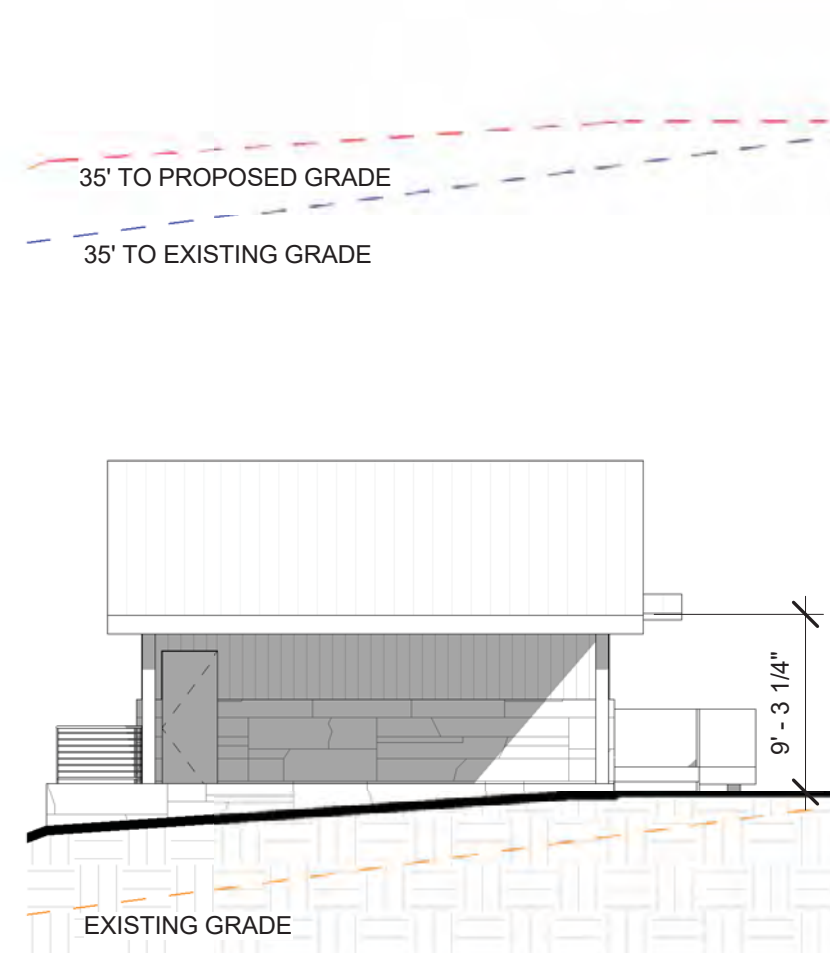
③ HEIGHT CALC- WEST
1" = 10'-0"



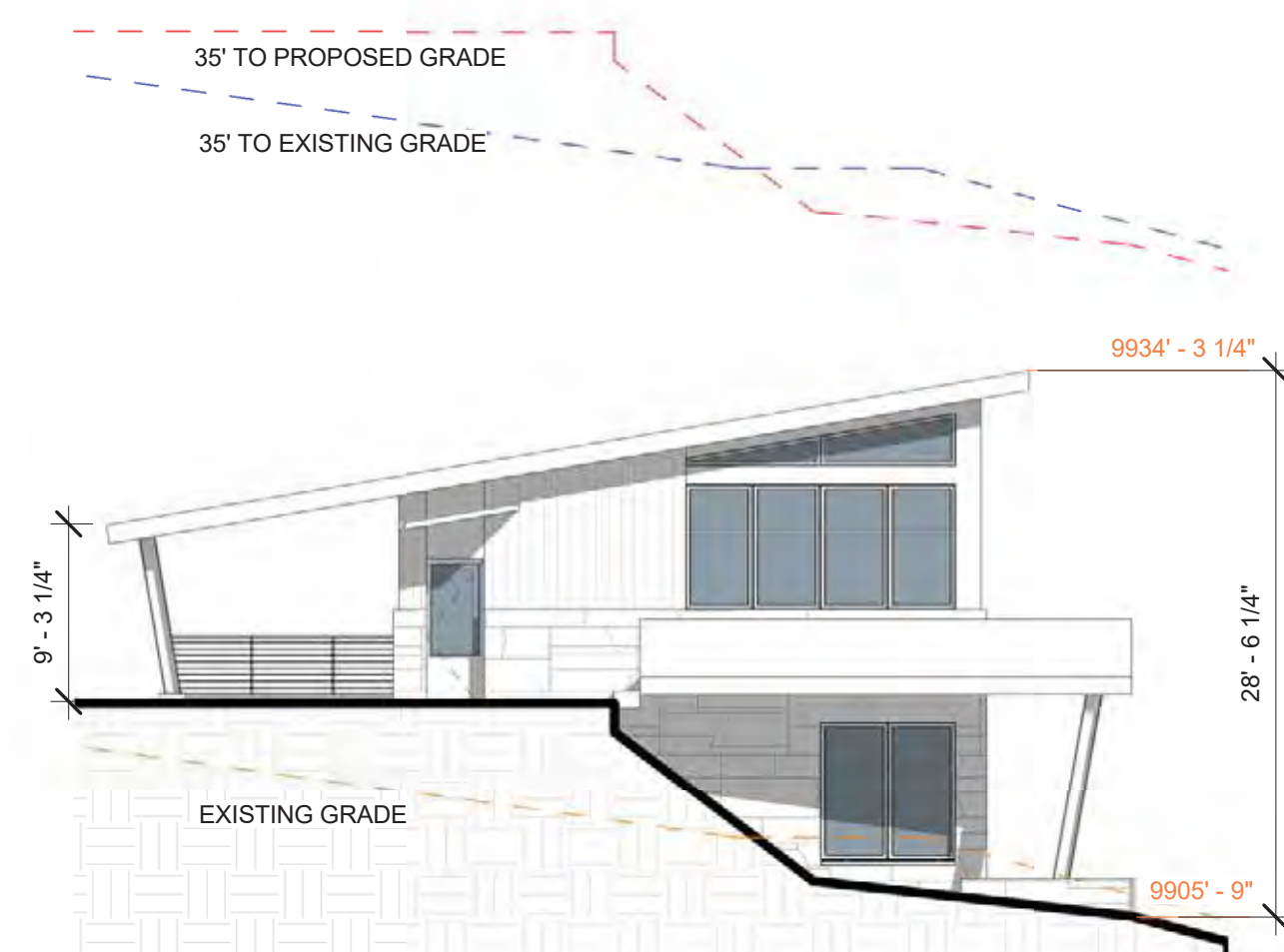
④ HEIGHT CALC- NORTH
1" = 10'-0"



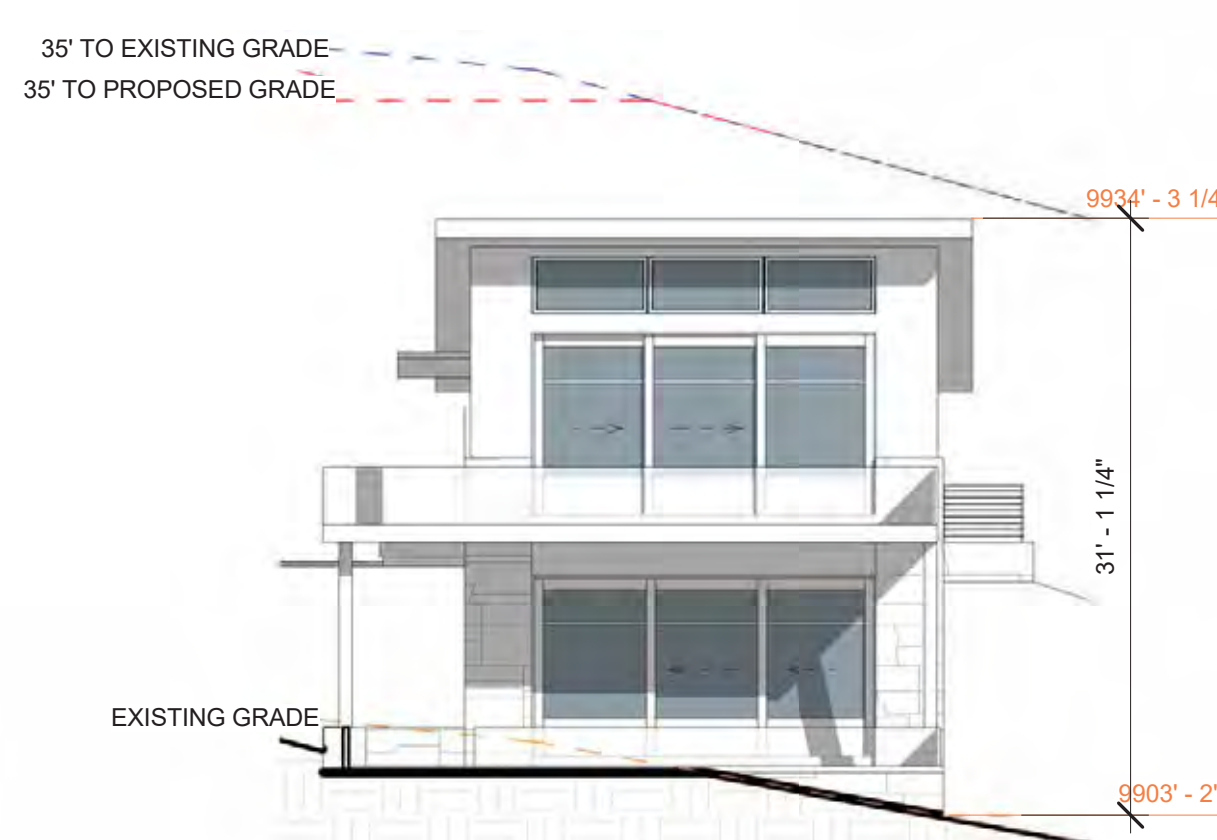
35' POST CONSTRUCTION GRADE SHELL



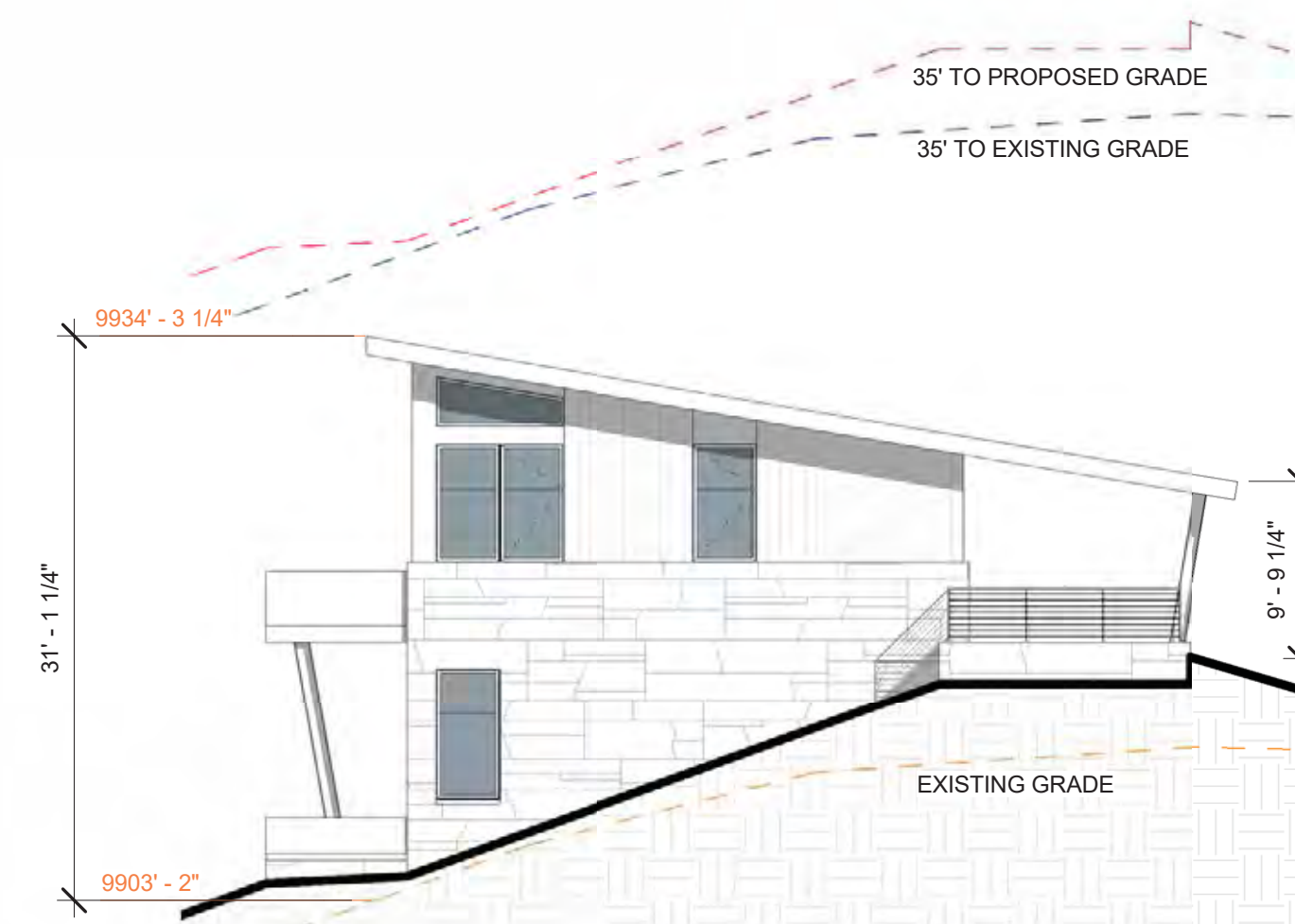
⑤ HEIGHT CALC- CABIN SOUTH ELEV
1" = 10'-0"



⑥ HEIGHT CALC- CABIN EAST ELEV
1" = 10'-0"



⑦ HEIGHT CALC- CABIN NORTH ELEV
1" = 10'-0"



⑧ HEIGHT CALC- CABIN WEST ELEV
1" = 10'-0"

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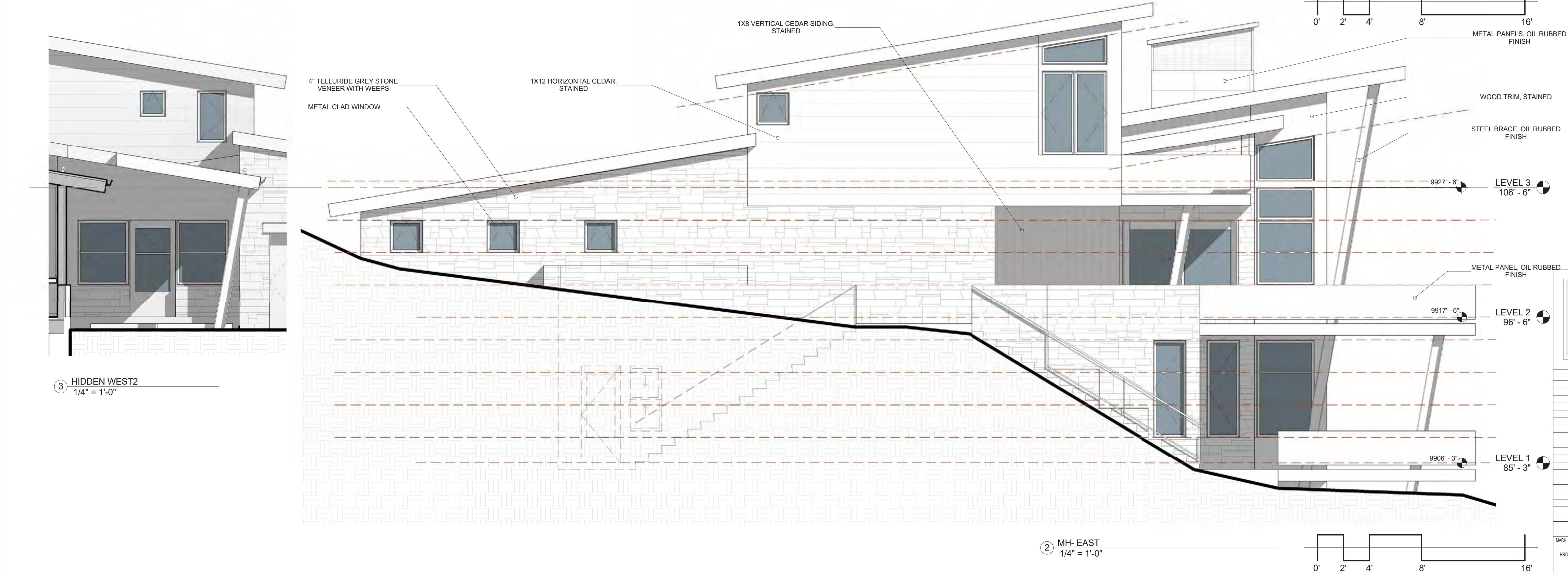
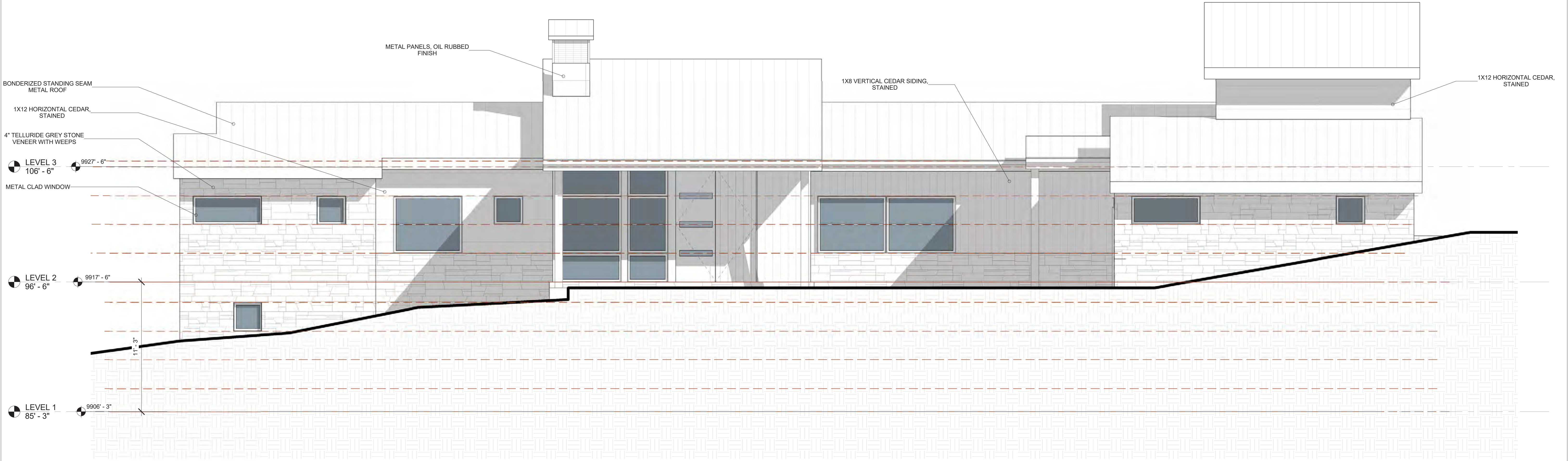
MARK	REV.	DATE	DESCRIPTION
4-6-22	DRB PRELIM APP		
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3-23-22	REVISED DRAFT 3		
3-7-22	REVISED DRAFT 2		
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10-19-2021	PROGRESS		
9-23-2021	MASSING STUDY		
7-1-2021	LAYOUT		

PROJECT NAME
BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION
HEIGHT CALC

SHEET NUMBER
A300b

PrattRegular



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PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435

SHEET DESCRIPTION: ELEVATIONS

SHEET NUMBER: A301

MARK	REV	DATE	DESCRIPTION
4-6-22	DRB	PRELIM APP	
3-30-22	REVISED	DRAFT 4	
3-23-22	REVISED	DRAFT 3	
3-7-22	REVISED	DRAFT 2	
1-13-22	DRB	SITE PLANS	
11-29-2021	PROGRESS		
10-19-2021	PROGRESS		
9-13-2021	MASSING STUDY		
7-1-2021	LAYOUT		

PROJECT NAME: BC107 MOUNTAIN VILLAGE COLORADO 81435

PROJECT MANAGER: JWA

DRAWN BY: JWA

REVIEWED BY: JWA

PrattRegular

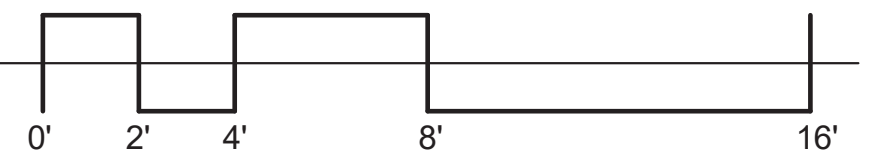


① MH- NORTH
1/4" = 1'-0"

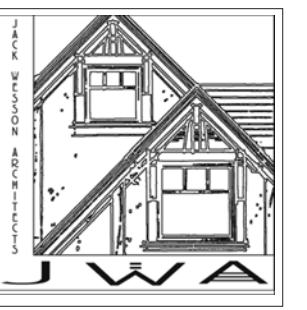


④ HIDDEN WEST1
1/4" = 1'-0"

② MH- WEST
1/4" = 1'-0"



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9-23-2021	MASSING STUDY		
7-1-2021	LAYOUT		

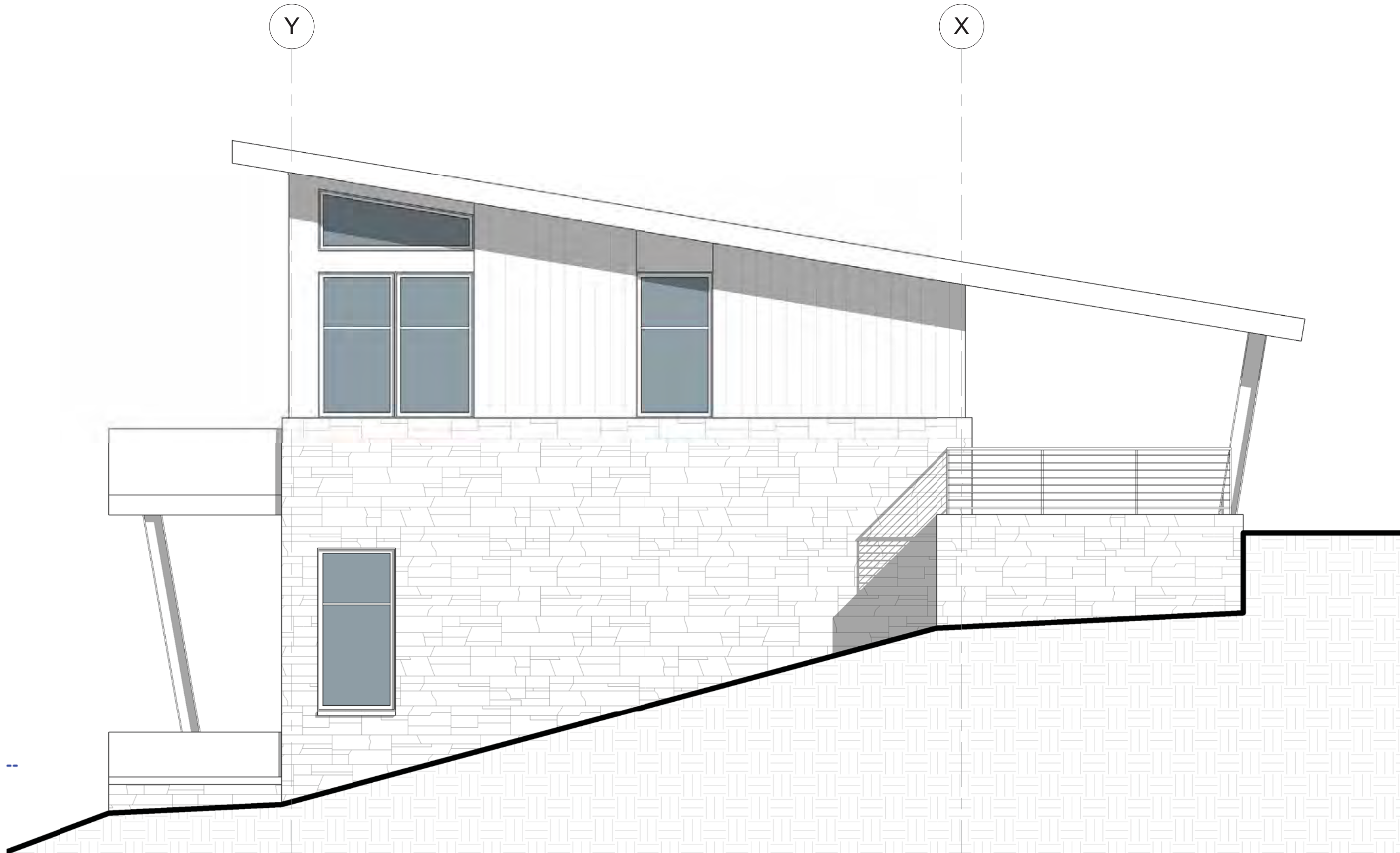
PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
ELEVATIONS

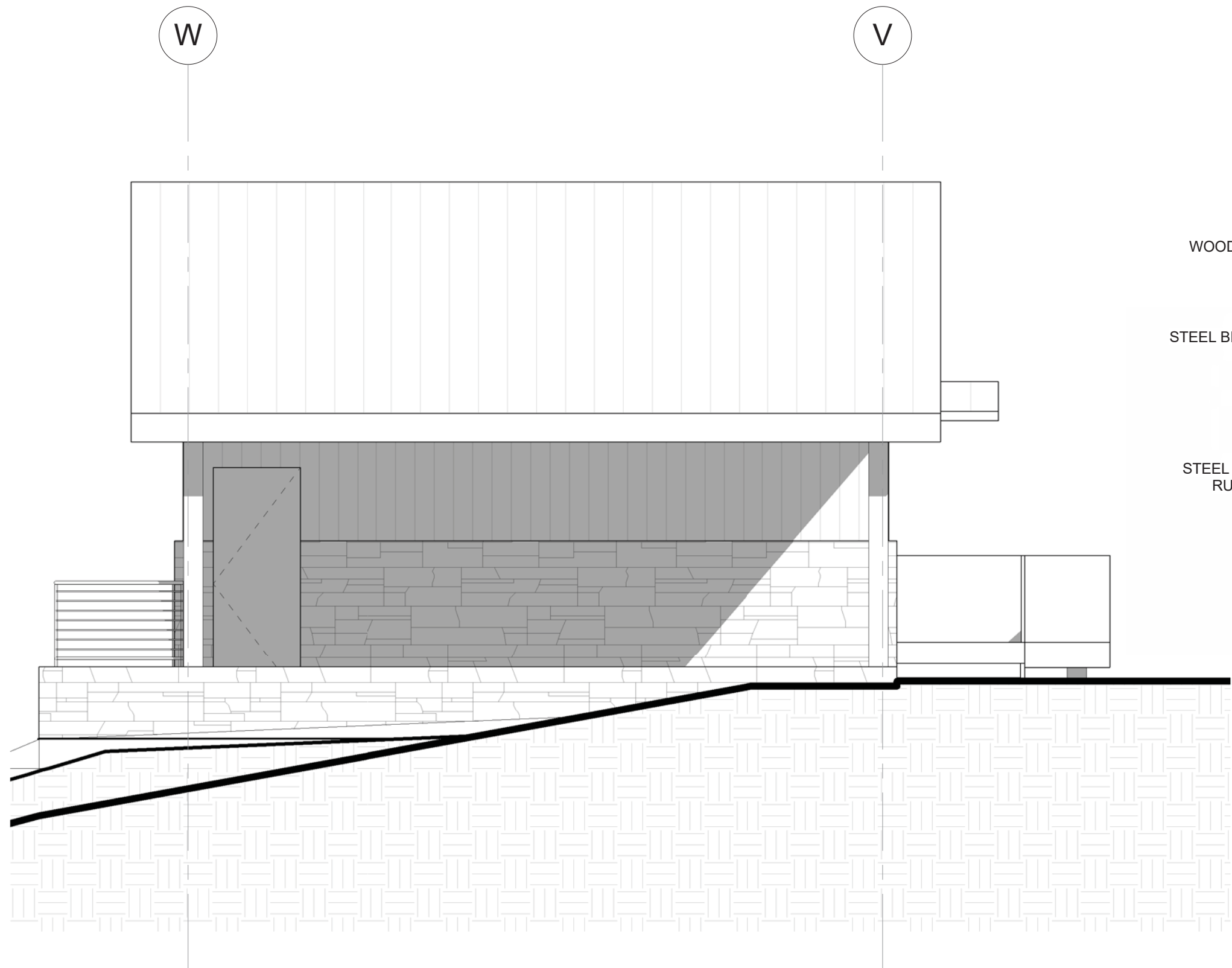
SHEET NUMBER:
A302



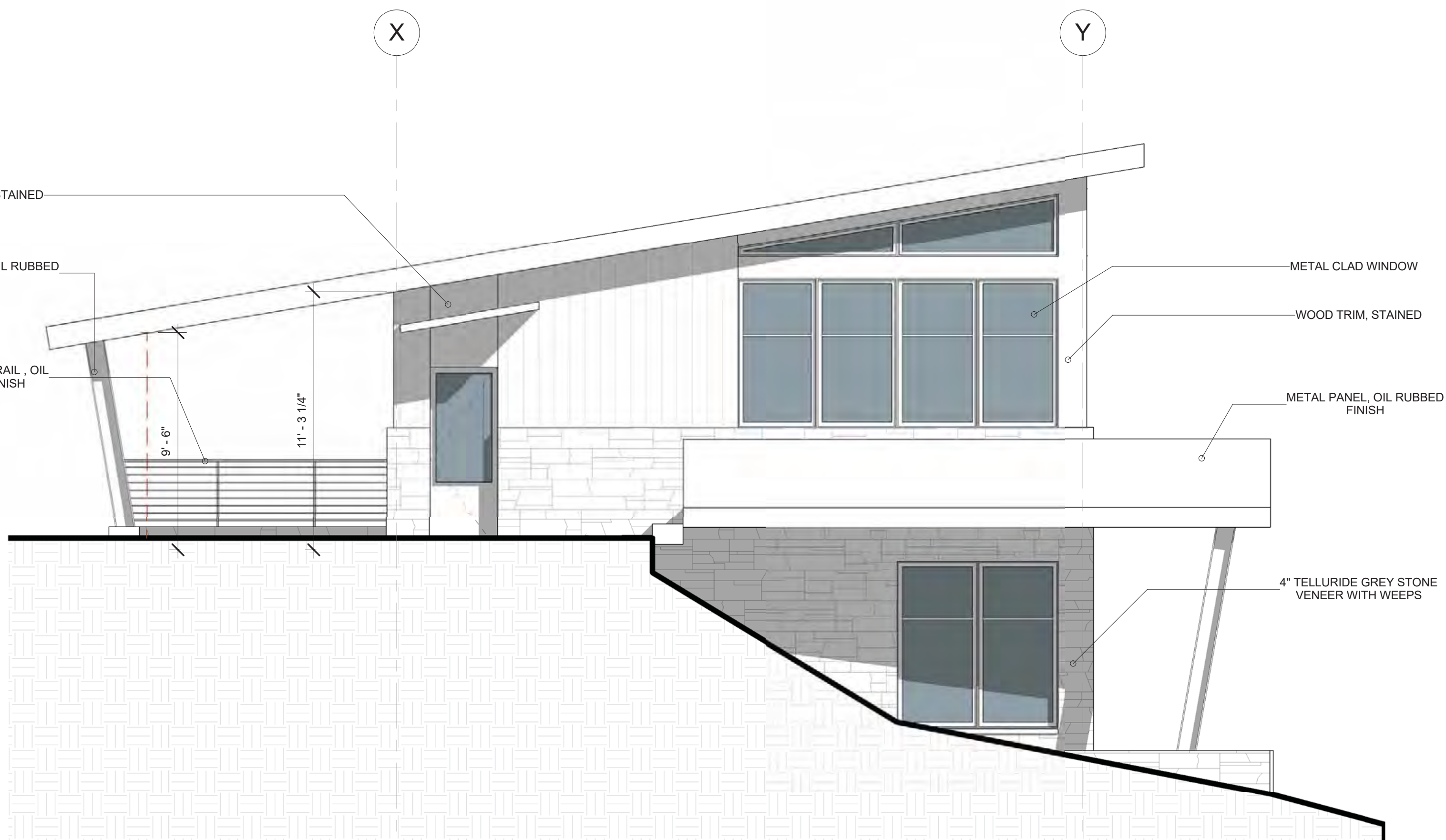
1 CABIN NORTH ELEV
1/4" = 1'-0"



4 CABIN WEST ELEV
1/4" = 1'-0"

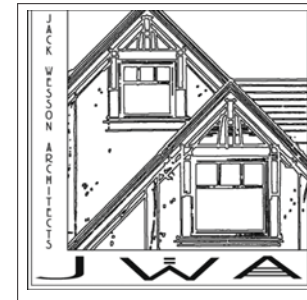


3 CABIN SOUTH ELEV
1/4" = 1'-0"



2 CABIN EAST ELEV
1/4" = 1'-0"

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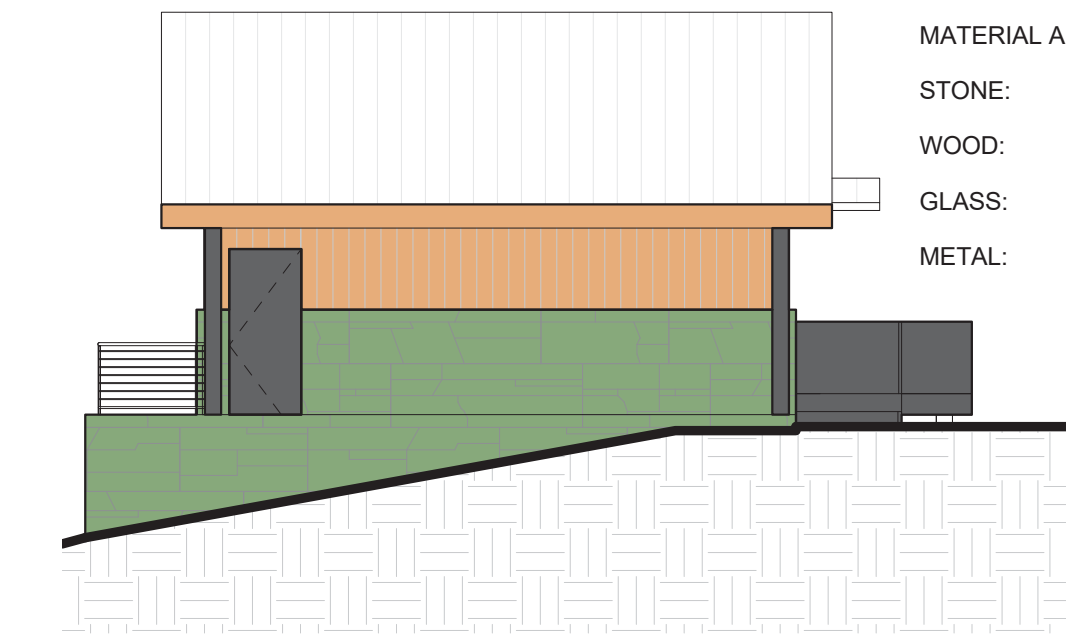
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7-1-2021	LAYOUT		

PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435

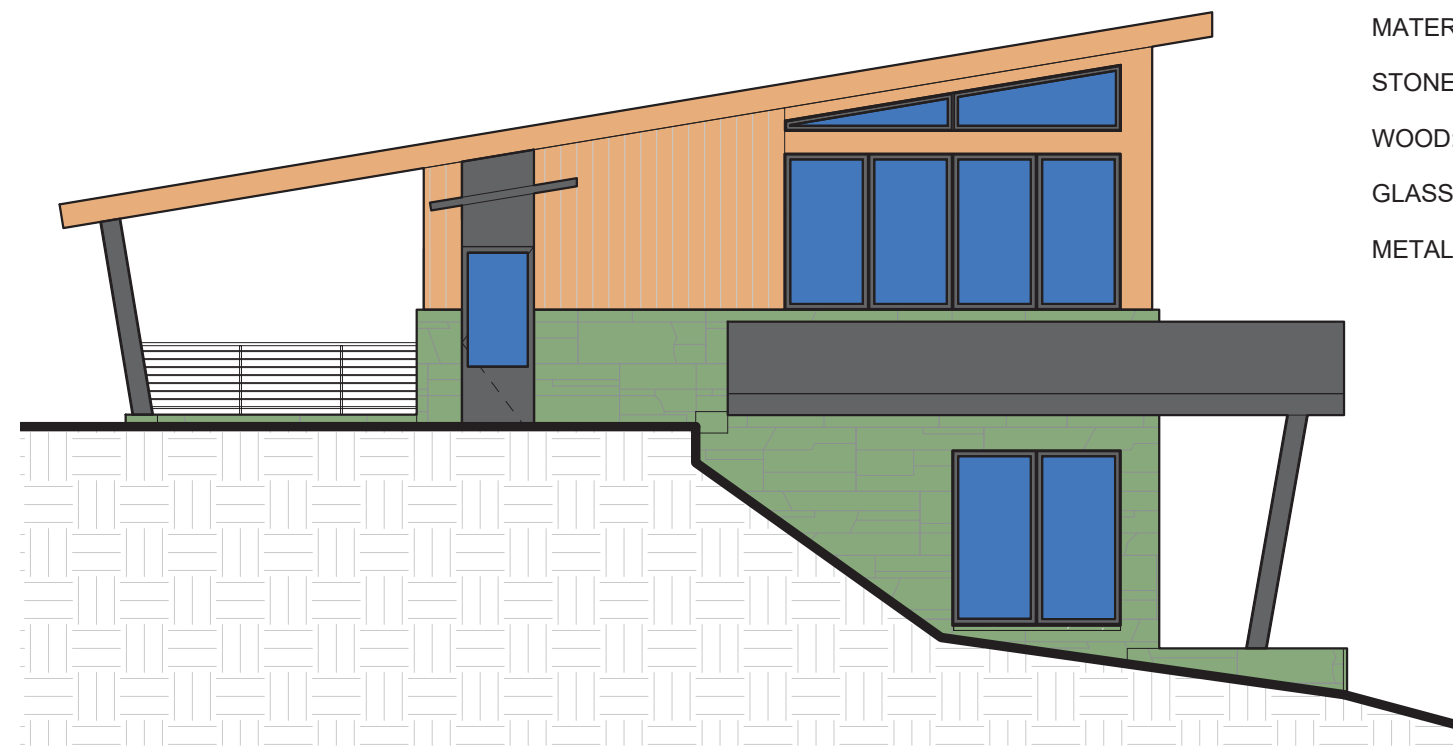
SHEET DESCRIPTION:
CABIN ELEVATIONS

SHEET NUMBER:
A303



MATERIAL AREAS:
STONE: 170 SF
WOOD: 100 SF
GLASS: 0 SF
METAL: 60 SF

7 AREA- CABIN SOUTH ELEV
1/8" = 1'-0"



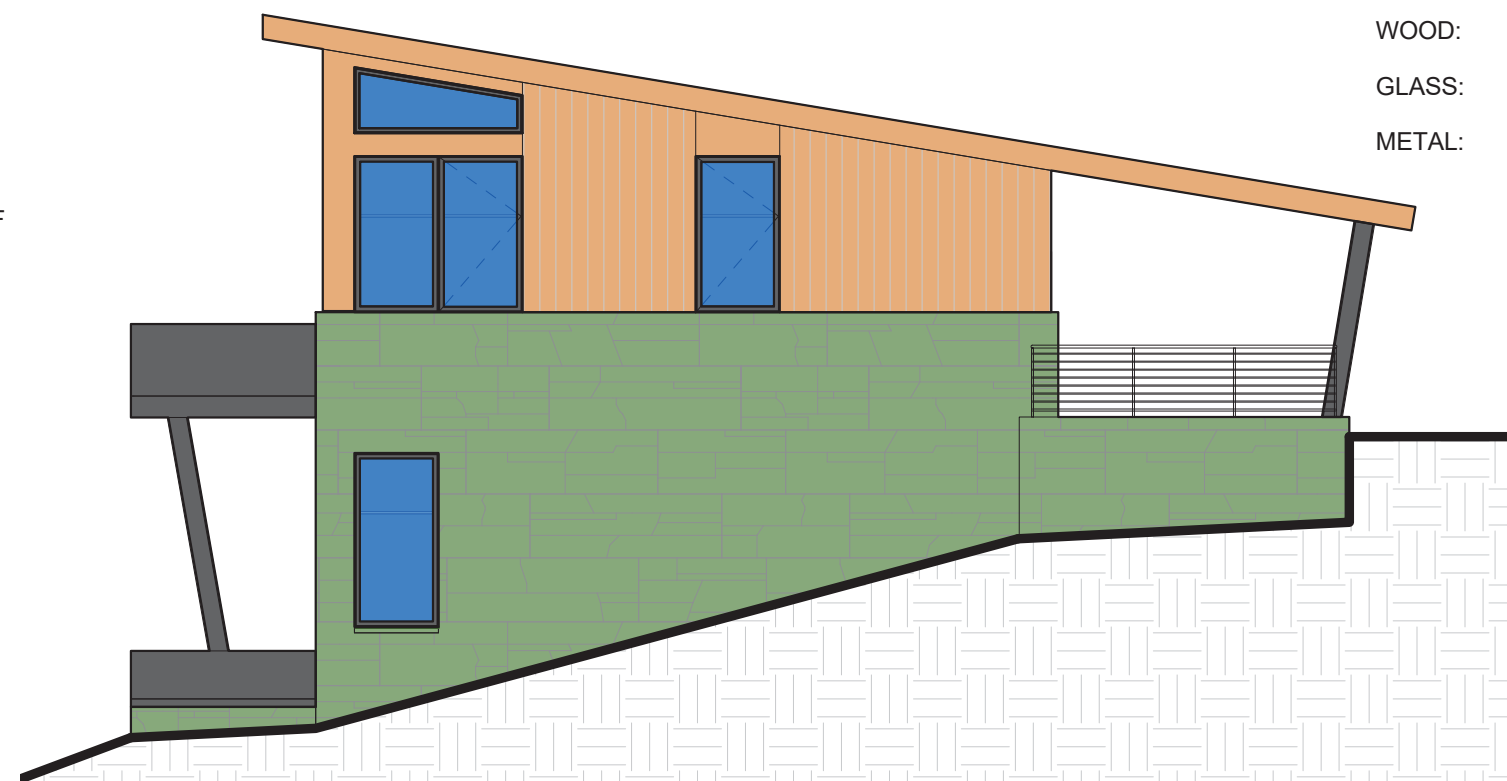
MATERIAL AREAS:
STONE: 240 SF
WOOD: 170 SF
GLASS: 140 SF
METAL: 170 SF

8 AREA- CABIN EAST ELEV
1/8" = 1'-0"



MATERIAL AREAS:
STONE: 170 SF
WOOD: 180 SF
GLASS: 260 SF
METAL: 275 SF

9 AREA- CABIN NORTH ELEV
1/8" = 1'-0"



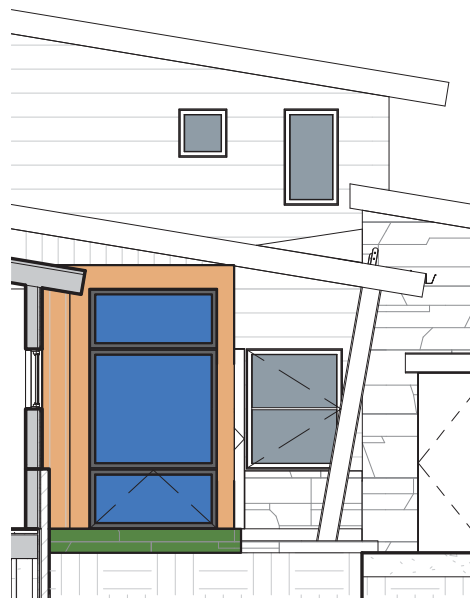
MATERIAL AREAS:
STONE: 450 SF
WOOD: 220 SF
GLASS: 90 SF
METAL: 85 SF

10 AREA- CABIN WEST ELEV
1/8" = 1'-0"



MATERIAL AREAS:
STONE: 36 SF
WOOD: 70 SF
GLASS: 45 SF
METAL: 30 SF

6 AREA- HIDDEN WEST2
1/8" = 1'-0"



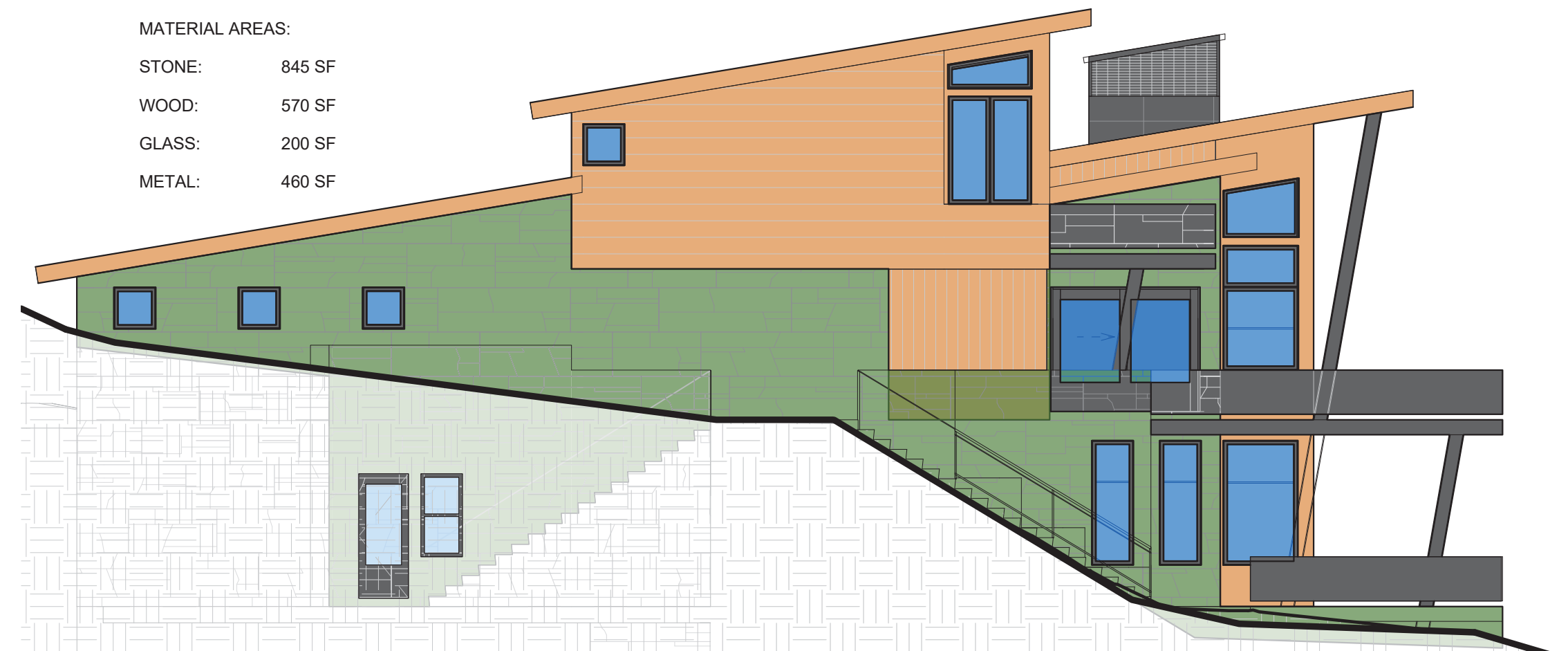
MATERIAL AREAS:
STONE: 8 SF
WOOD: 32 SF
GLASS: 42 SF
METAL: 12 SF

5 AREA- HIDDEN WEST1
1/8" = 1'-0"



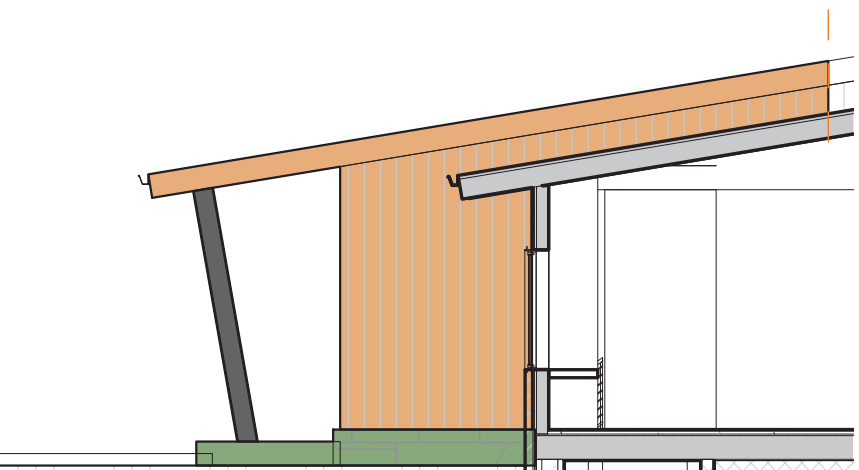
MATERIAL AREAS:
STONE: 690 SF
WOOD: 640 SF
GLASS: 180 SF
METAL: 265 SF

3 AREA- WEST
1/8" = 1'-0"



MATERIAL AREAS:
STONE: 845 SF
WOOD: 570 SF
GLASS: 200 SF
METAL: 460 SF

1 AREA- EAST
1/8" = 1'-0"



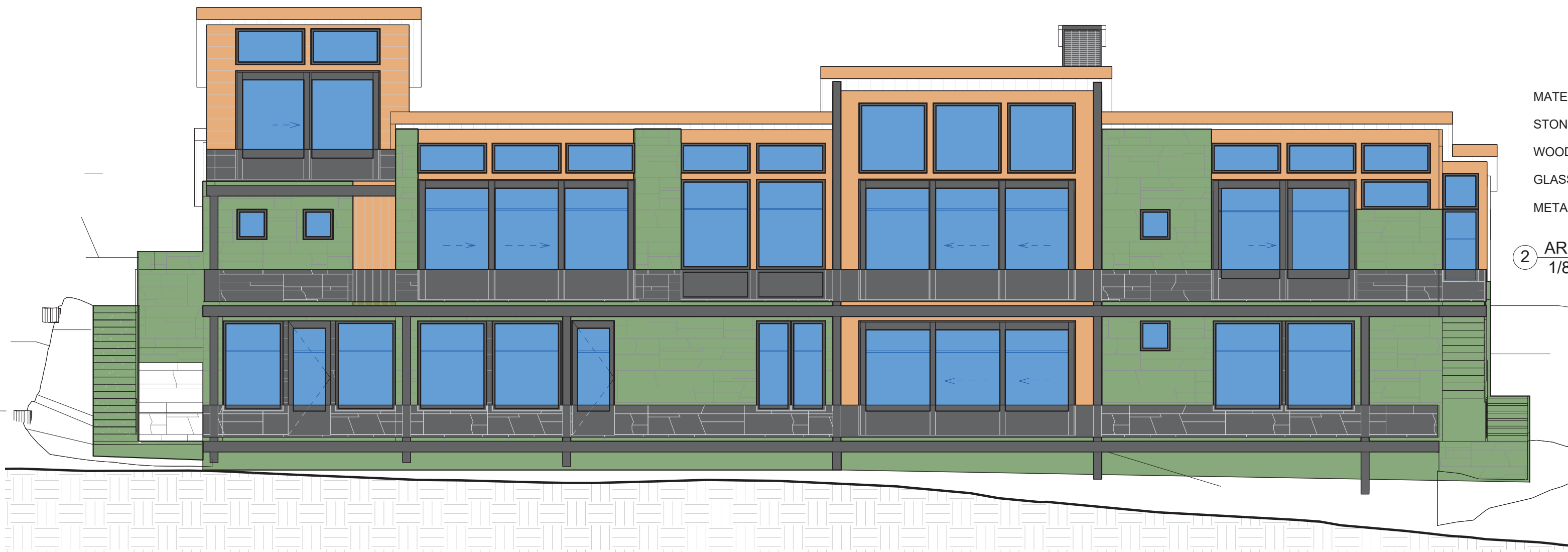
MATERIAL AREAS:
STONE: 20 SF
WOOD: 130 SF
GLASS: 0 SF
METAL: 9 SF

12 AREA- HIDDEN EAST 2
1/8" = 1'-0"



MATERIAL AREAS:
STONE: 45 SF
WOOD: 5 SF
GLASS: 0 SF
METAL: 0 SF

11 AREA- HIDDEN EAST 1
1/8" = 1'-0"



MATERIAL AREAS:
STONE: 1340 SF
WOOD: 530 SF
GLASS: 1090 SF
METAL: 1360 SF

2 AREA- NORTH
1/8" = 1'-0"

Material Calculations- MAIN HOUSE									
Elevation	NORTH	WEST	SOUTH	EAST	H. WEST 1	H. WEST 2	H. EAST 1	H. EAST 2	Total
Stone	1405	690	640	845	8	36	45	20	3689
Wood	530	640	480	570	32	70	5	130	2457
Glass	1090	180	190	200	42	45	0	0	1747
Metal	1360	265	125	460	12	30	0	9	2261
Total	4385	1775	1435	2075	94	181	50	159	10154

Material Calculations- CABIN						
Elevation	C. NORTH	C. WEST	C. SOUTH	C. EAST	Total	Percent
Stone	170	450	170	240	1030	37.05%
Wood	180	220	100	170	670	24.10%
Glass	260	90	0	140	490	17.63%
Metal	275	85	60	170	590	21.22%
Total	885	845	330	720	2780	

MATERIAL AREAS:
STONE: 640 SF
WOOD: 480 SF
GLASS: 190 SF
METAL: 125 SF

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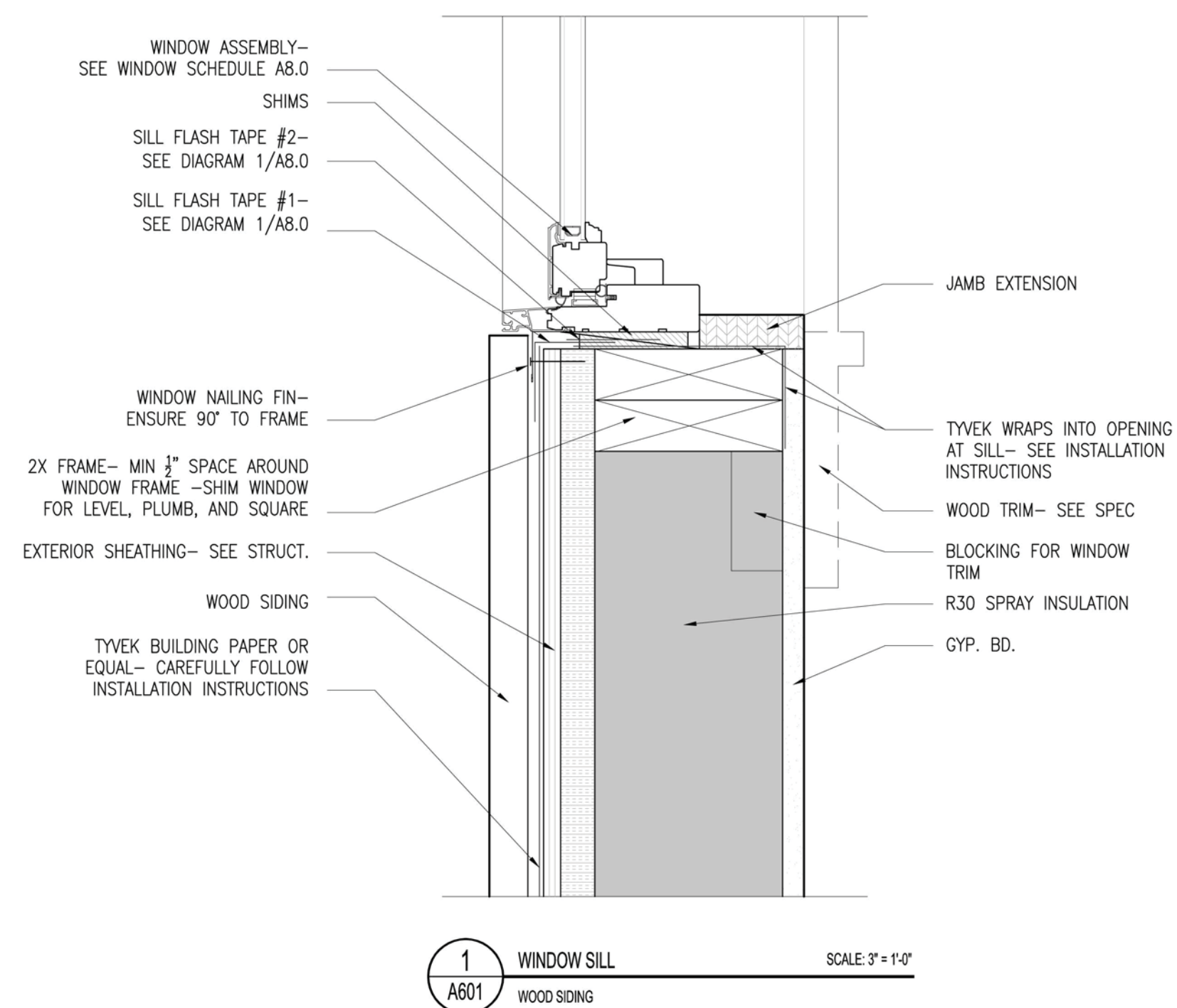
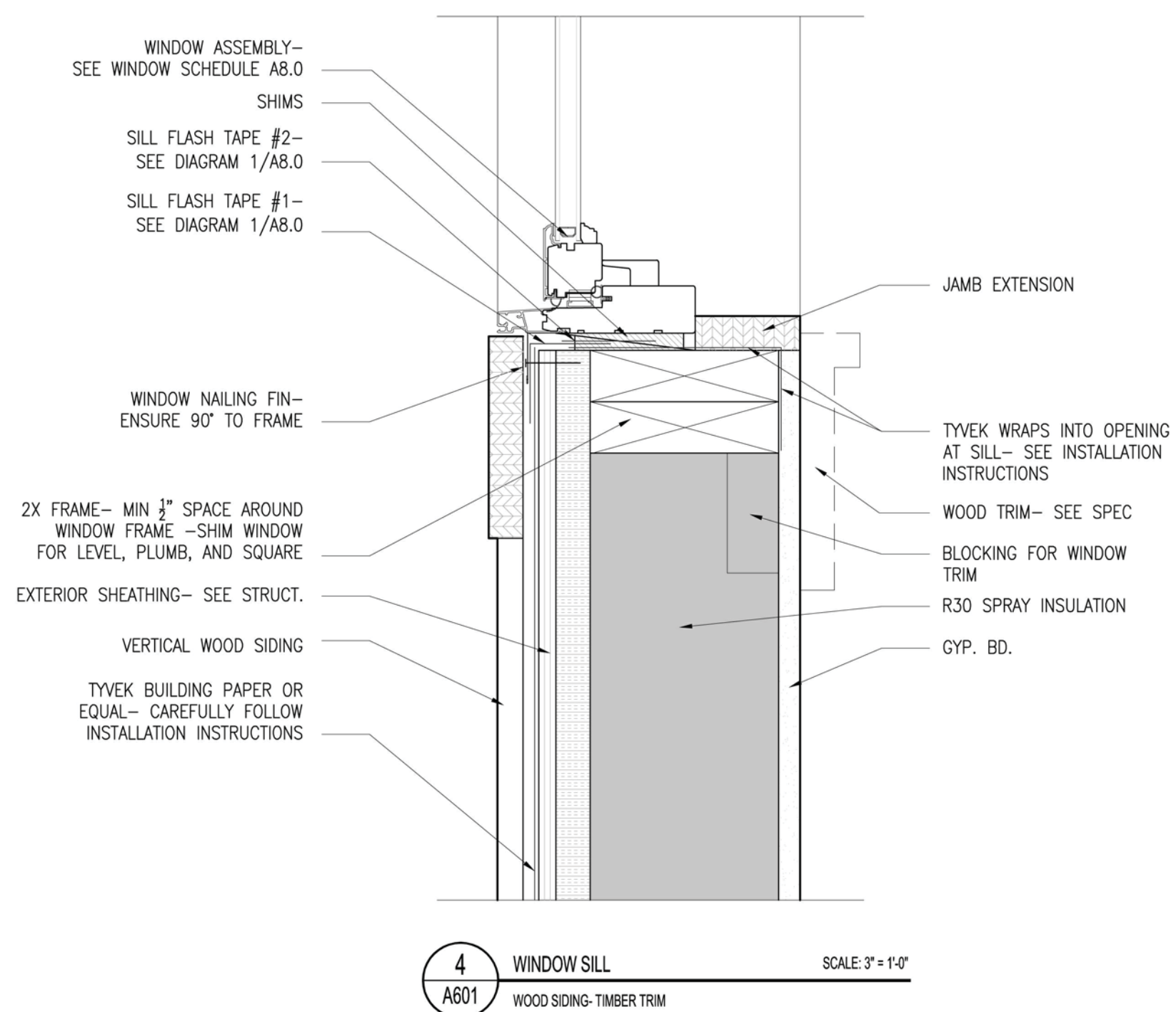
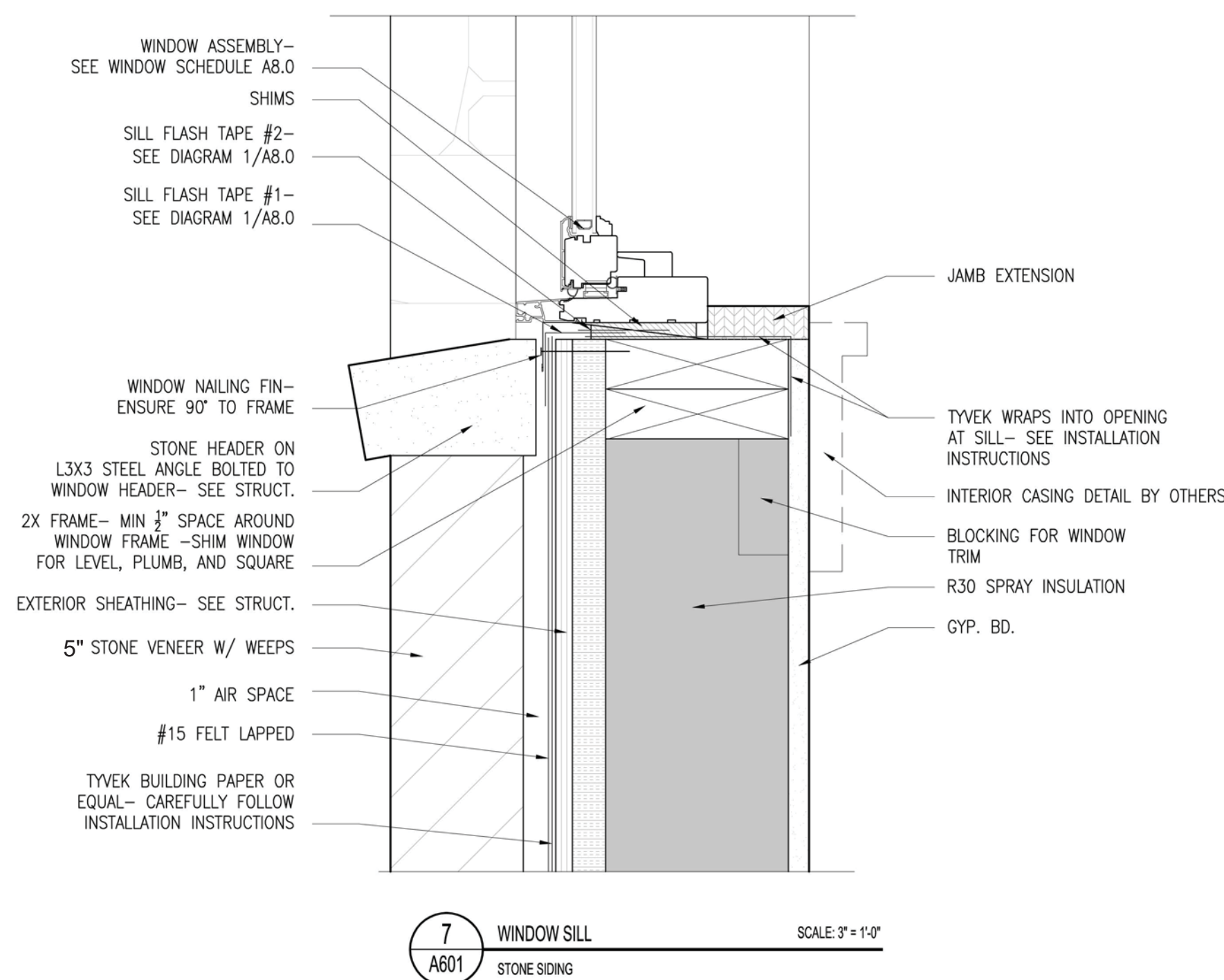
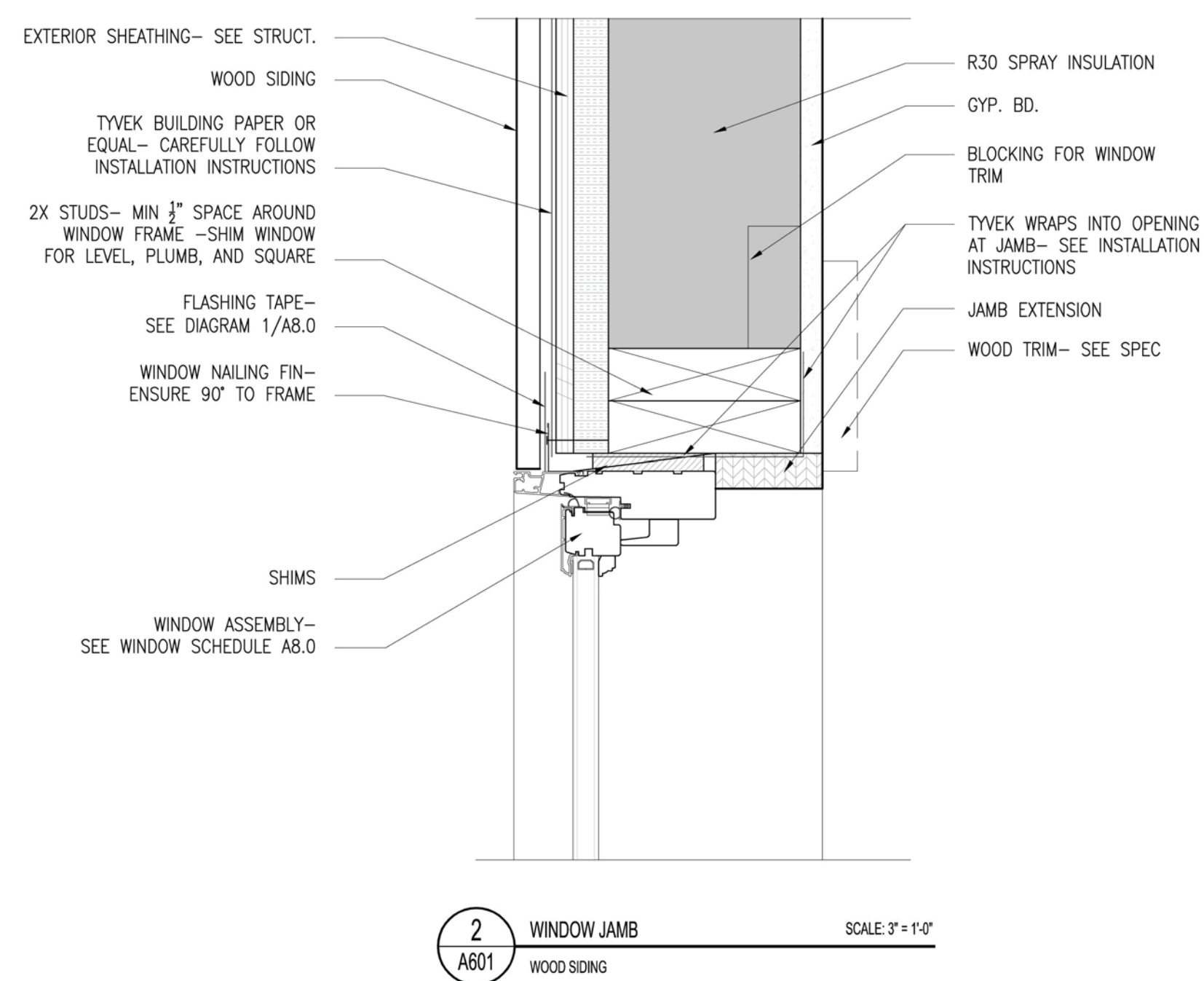
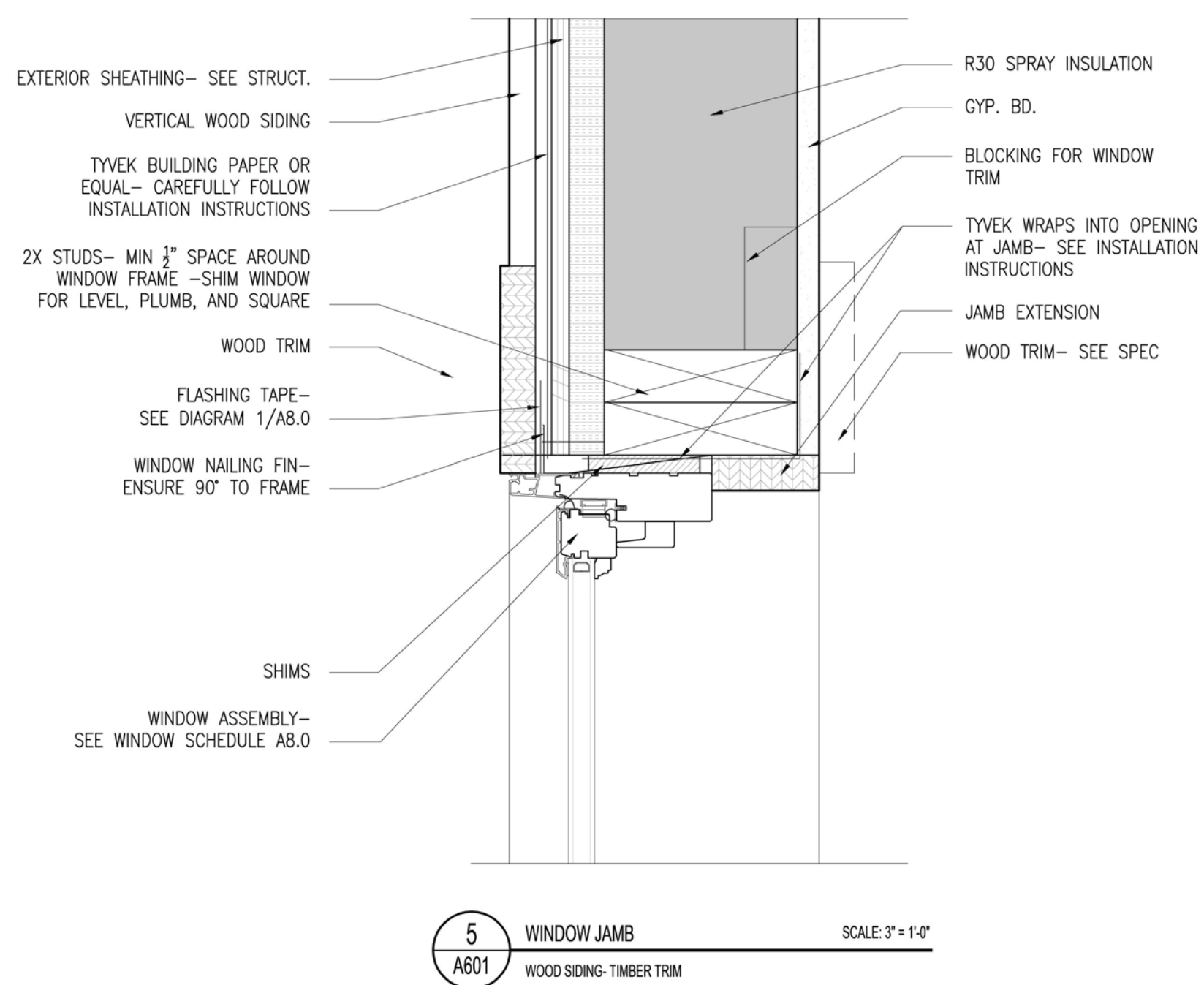
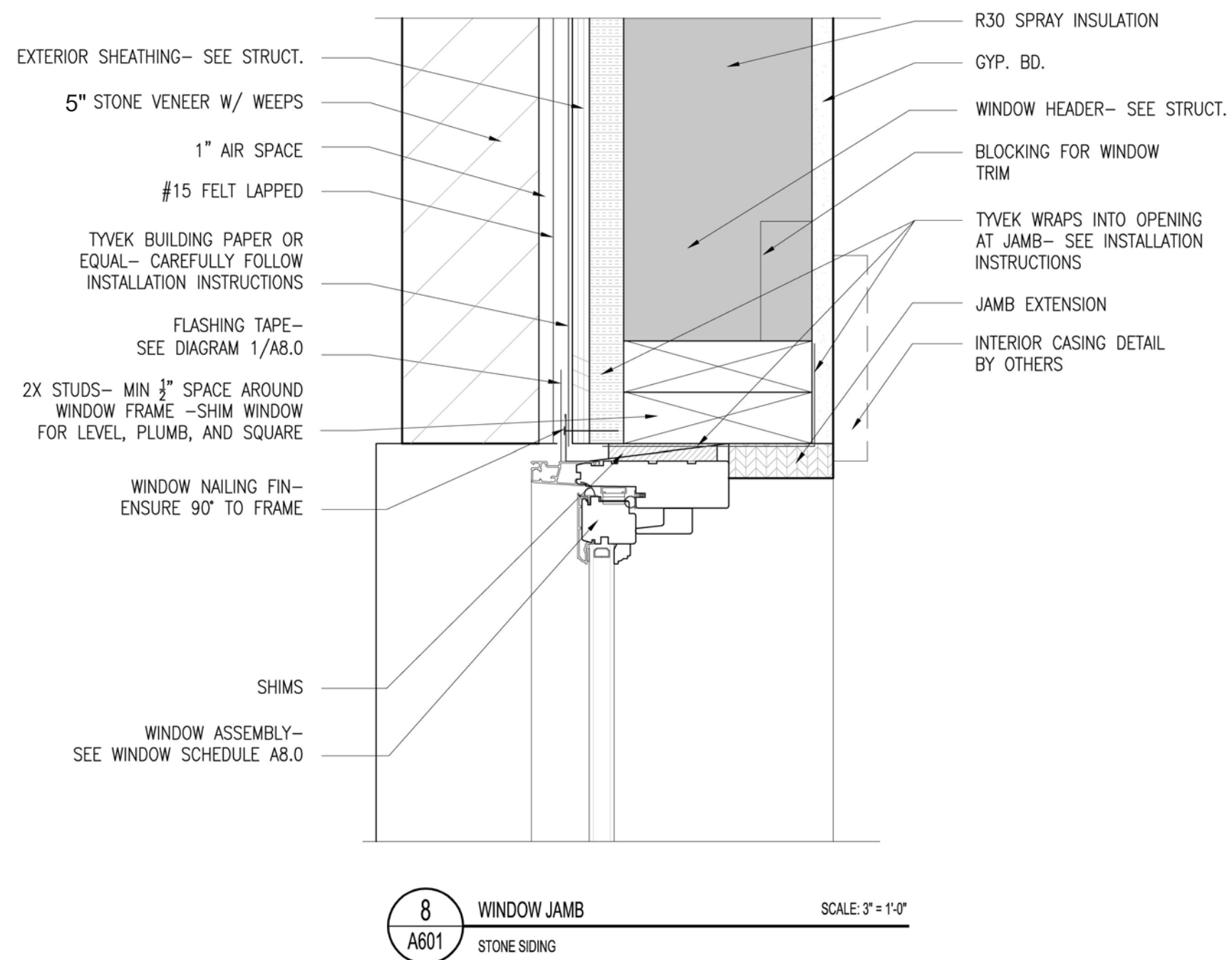
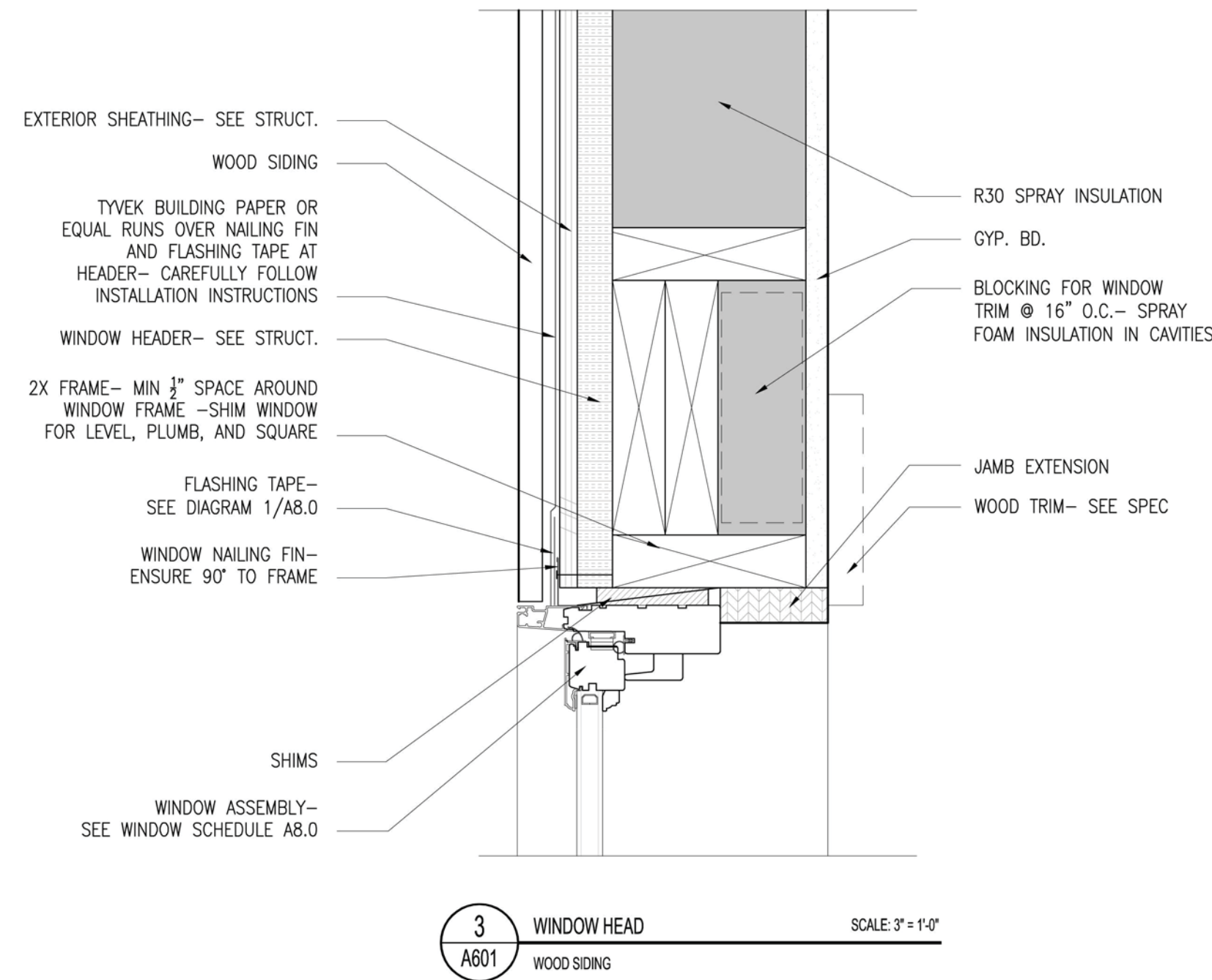
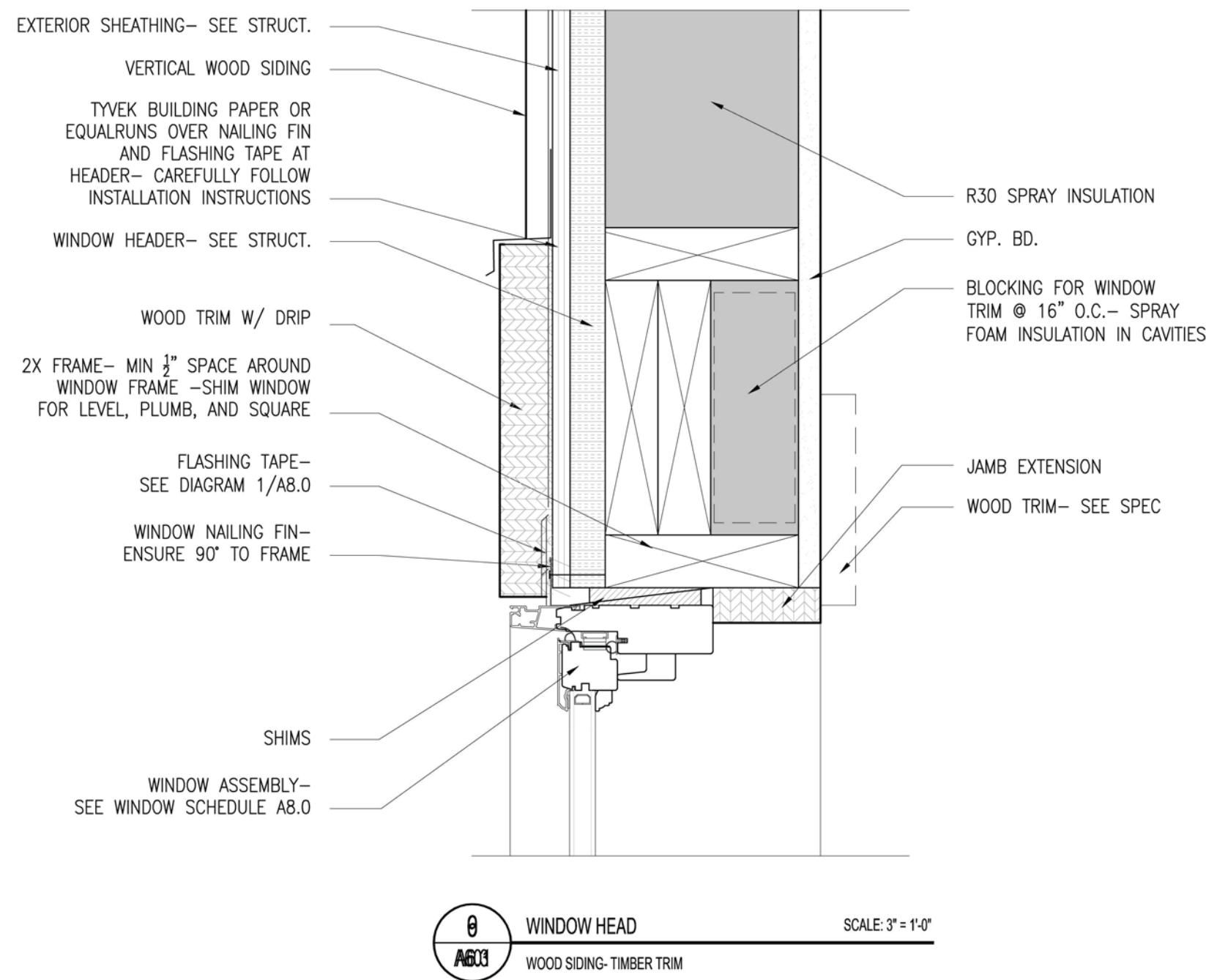
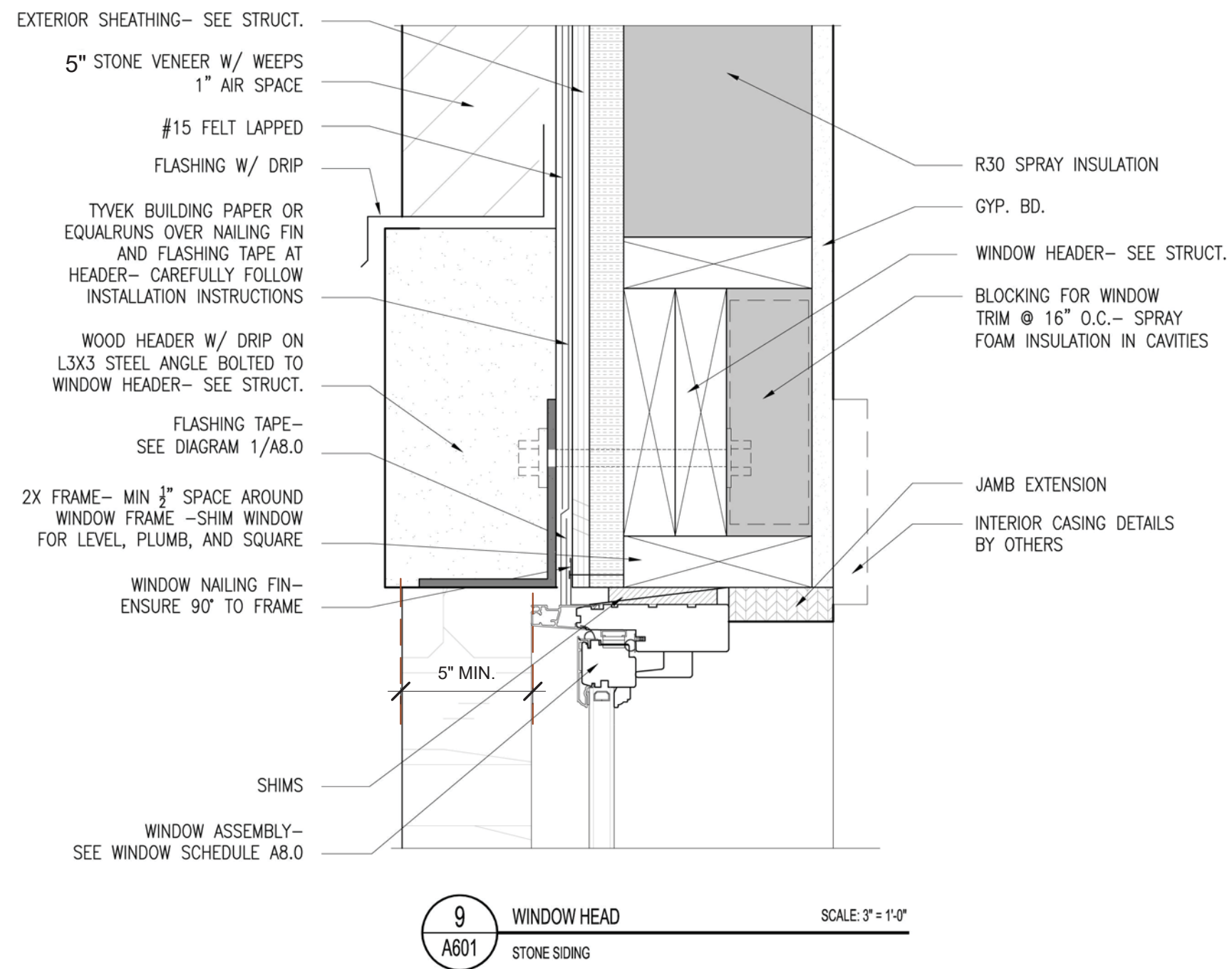
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FAX: 970-728-9724
jwesson@jwa.com
www.jackwessonarchitects.com

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3-23-22	REVISED	DRAFT 3	
3-7-22	REVISED	DRAFT 2	
1-13-22	DRB	SITE PLANS	
11-29-2021	PROGRESS		
10-19-2021	PROGRESS		
9-23-2021	MASSING STUDY		
7-1-2021	LAYOUT		

PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
MATERIAL CALCS

SHEET NUMBER:
A305



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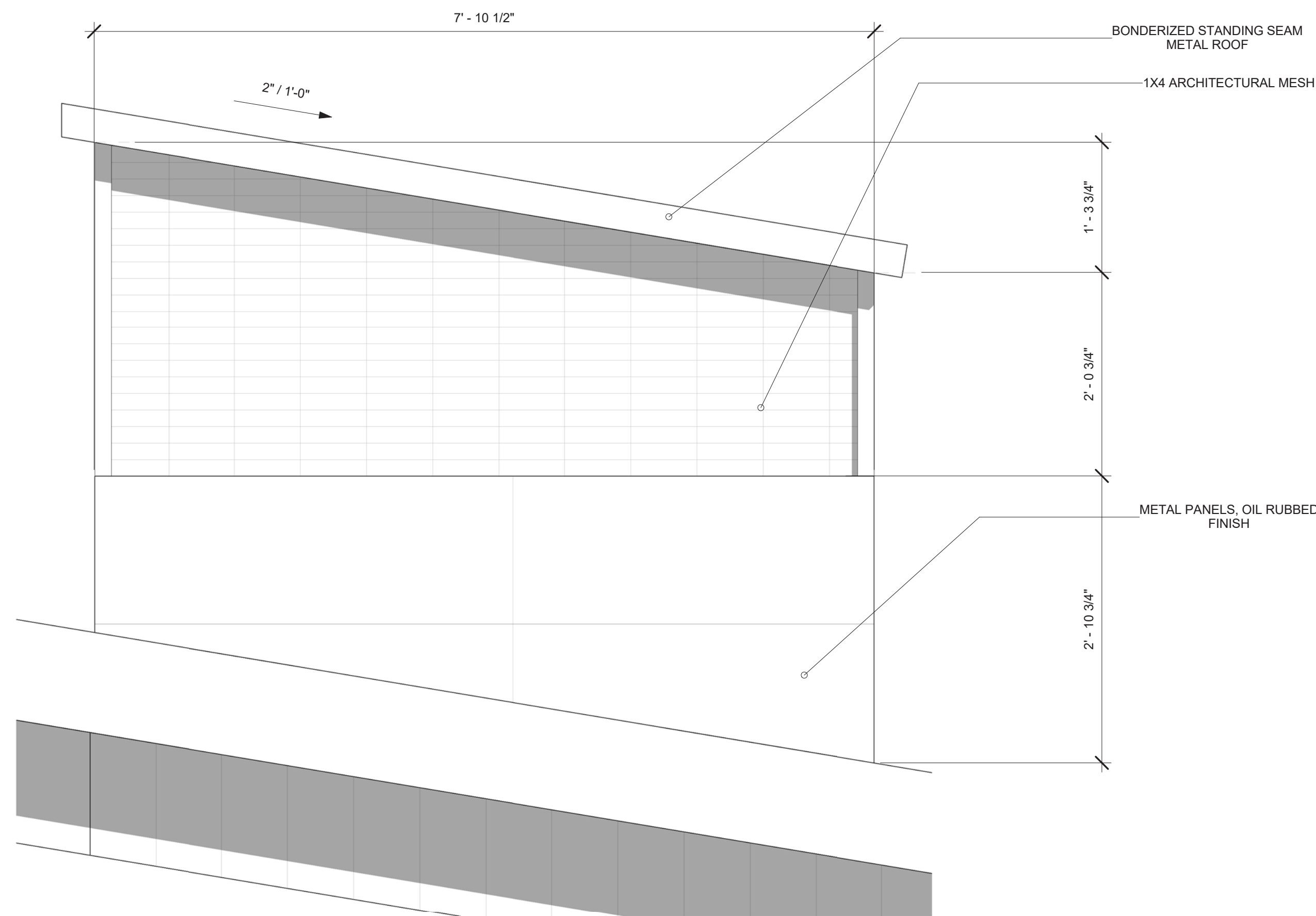
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3-23-22	REVISED	DRAFT 3	
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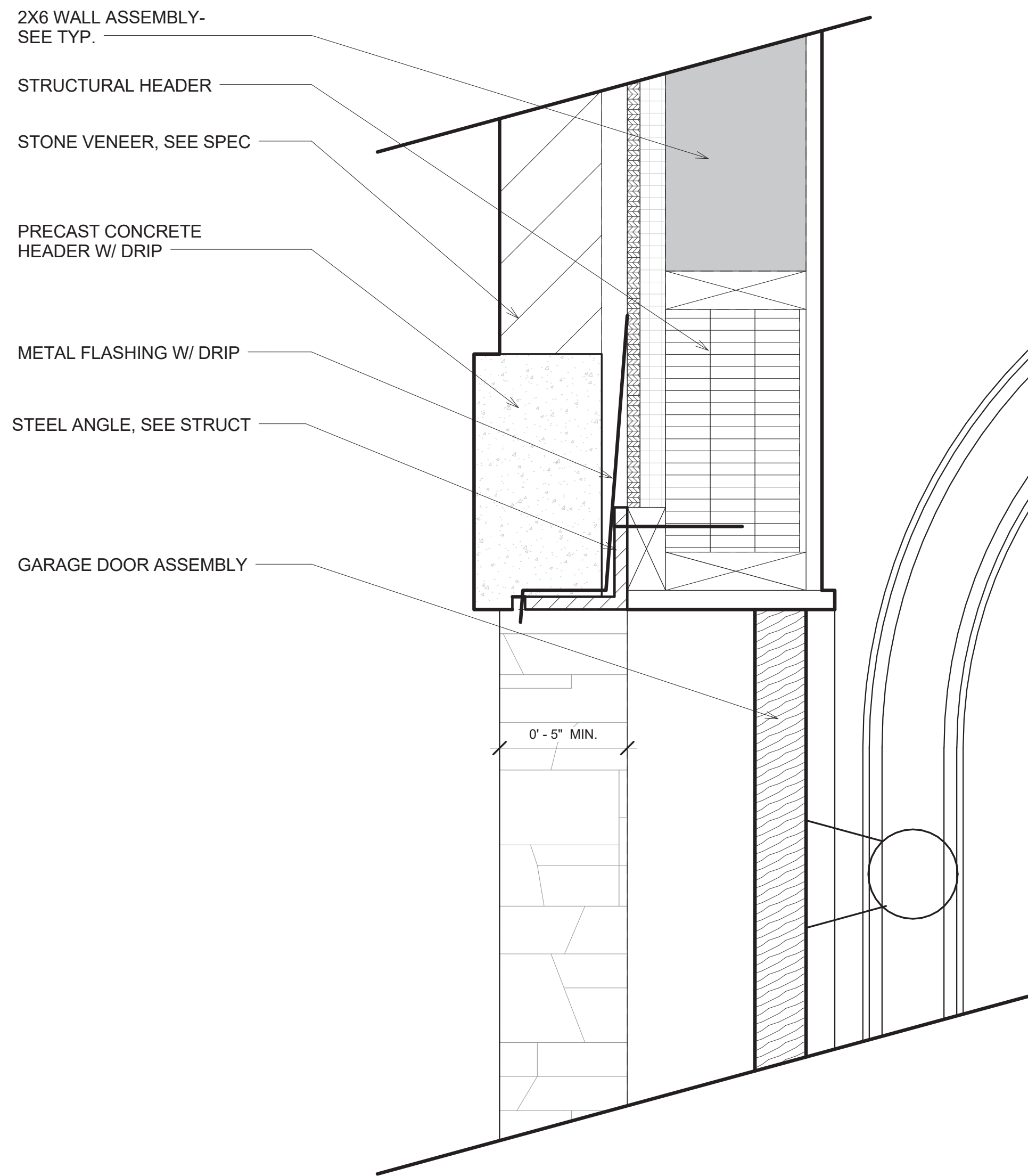
PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
WINDOW DETAILS

SHEET NUMBER:
A601



② CHIMNEY CAP DETAIL
1" = 1'-0"



① GARAGE DOOR DETAIL
3" = 1'-0"

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PROJECT NAME: BC107 MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION: DETAILS

SHEET NUMBER: A602

MARK	REV	DATE	DESCRIPTION
	4-6-22		DRB PRELIM APP
	3-30-22		REVISED DRAFT 4
	3-23-22		REVISED DRAFT 3
	3-7-22		REVISED DRAFT 2
	1-13-22		DRB SITE PLANS
	11-29-2021		PROGRESS
	10-19-2021		PROGRESS
	9-23-2021		MASSING STUDY
	7-1-2021		LAYOUT

PROJECT NAME: BC107 MOUNTAIN VILLAGE
COLORADO 81435
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
JWA

Hybrid 2 Rope Light
By American Lighting

Hybrid 2 Rope Light
By American Lighting

Product Options

Color: White,
Size: 150 foot,
Color Temperature: 2700

Details

ETL Listed Wet
Made In China

Dimensions

150 foot Option Fixture: Length 1800", Width 0.56",
Height 18"

Lighting

150 foot 2700

Lamp Type	LED Built-in
Total Lumens	180
Total Watts	2.30
Volts	120
Color Temp	2700 (Warm)
Average Lifespan	30000.00
CRI	82
Equivalent: Halogen, CFL or LED Bulb Can Be Used	No

Additional Details

Product URL:

<https://www.lumens.com/hybrid-2-rope-light-by-american-lighting-AML577810.html>

Rating: ETL Listed Wet

ITEM #: AML577810



Notes:

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:

Model: WL-LED201
LEDme® Step Light



PRODUCT DESCRIPTION

Vertical rectangle LEDme® Step Light with Anti-microbial powder coat paint proven to restrain a wide range of bacteria, coliform, mold, fungus, algae, and yeast. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters. Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Direct wiring, no driver needed
- Title 24 JA8 - 2016 Compliant (120V only)
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- Up to 200 fixtures can be connected in parallel
- Replaceable LED module
- 5 year WAC Lighting product warranty

ORDER NUMBER

Model #	Color	Finish
WL-LED201	27 2700K 30 3000K AM Amber (810nm)	WT White

WL-LED201 - [] - WT

Example: WL-LED201-30-WT

For 277V, add "V" before the CCT: WL-LED201V-30-WT

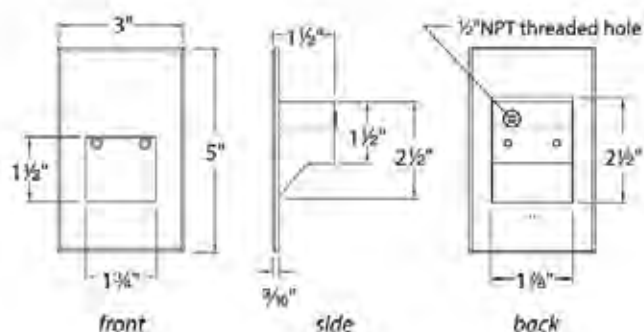
WAC LIGHTING
Responsible Lighting®

Fixture Type:

Catalog Number:

Project:

Location:



SPECIFICATIONS

Construction: Die-cast aluminum.

Power: Direct wiring, no remote driver needed.

Input: 120V 50/60Hz (277V special order/3000K, Amber (AM))

Light Source: HV-AC High Power LED, CRI: 90
Optional color lenses. Total power consumption of 3.5W

Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H Includes bracket for J-Box mount.

Dimming: Dim to 10% with ELV dimmer (120V only).

Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600,
Lutron Vetro VTELV-600, Lutron Diva DVELV-300P,
Lutron Skylark SELV-300H, Lutron Maestro MALLV-600

Standards: IP66, UL & cUL Listed for wet locations, Title 24 Compliant (120V only)



PRODUCT SPECIFICATIONS



Stratum Dark Sky Friendly LED Outdoor Sconce

Base Item #302630
Configured Item #302630-1005
302630-LED-10-78

FINISH
Coastal Black - 10

ACCENT
Coastal Burnished Steel - 78

LAMPING
LED

OPTIONS

FINISH
Coastal Black - 10
Coastal Natural Iron - 20
Coastal Gold - 70
Coastal Mahogany - 73
Coastal Bronze - 75
Coastal Dark Smoke - 77
Coastal Burnished Steel - 78

ACCENT
Black - 10
Natural Iron - 20
Coastal Gold - 70
Coastal Mahogany - 73
Coastal Bronze - 75
Coastal Dark Smoke - 77
Coastal Burnished Steel - 78

LAMPING
LED

SPECIFICATIONS

Stratum Dark Sky Friendly LED Outdoor Sconce

Base Item #: 302630
Configured Item #: 302630-1005
302630-LED-10-78

ADA compliant Contemporary aluminum direct wire LED exterior wall sconce. Choose a finish for the upper LED housing and an accent for the textured plate. Designed and built to Dark Sky standards.

- Handcrafted to order by skilled artisans in Vermont, USA
- Lifetime Limited Warranty when installed in residential setting
- Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.

Dimensions
Height 7.40"
Width 9.50"
Projection 3.70"
Product Weight 4.70 lbs
Vertical Mounting Height 5.00"
Packed Weight 9.00 lbs
Shipping (DIM) Weight 17.00 lbs

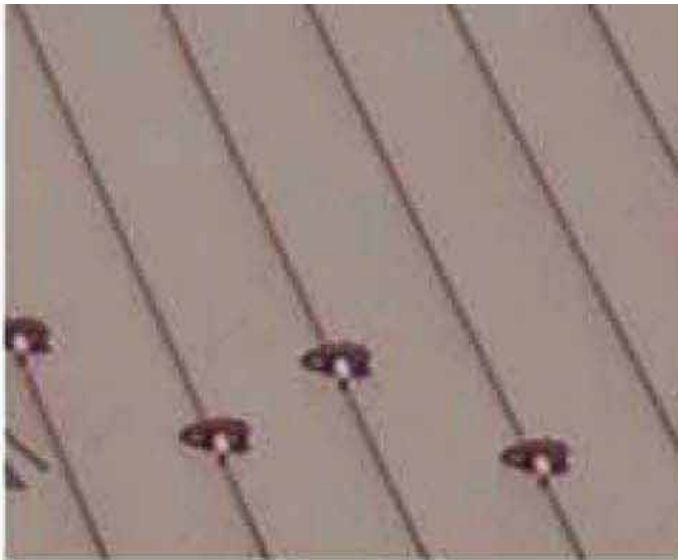
LED Lamping Dedicated
LED: 15 watt
CCT: 3000K
CRI: 90
Input: 120 - 277V 50/60Hz
Dimming: ELV, 0-10
Delivered Lumens: 500
LED Source Lumens: 975
IES Files Available: N

Location Rating
Outdoor Wet

Safety Rating
UL, CUL listed



HORIZONTAL WOOD SIDING, STAINED



BONDERIZED STANDING SEAM METAL ROOF



1X8 VERTICAL CEDAR SIDING, STAINED



OIL RUBBED METAL PANELS, SEE ELEVATION FOR PATTERN



STONE VENEER

NOT FOR CONSTRUCTION



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TELLURIDE, COLORADO 81435

TEL: 970-728-8755
FAX: 970-728-9724
jwesson@jme.com
www.jackwessonarchitects.com

PROJECT NAME
BC107
MOUNTAIN VILLAGE
COLORADO 81435

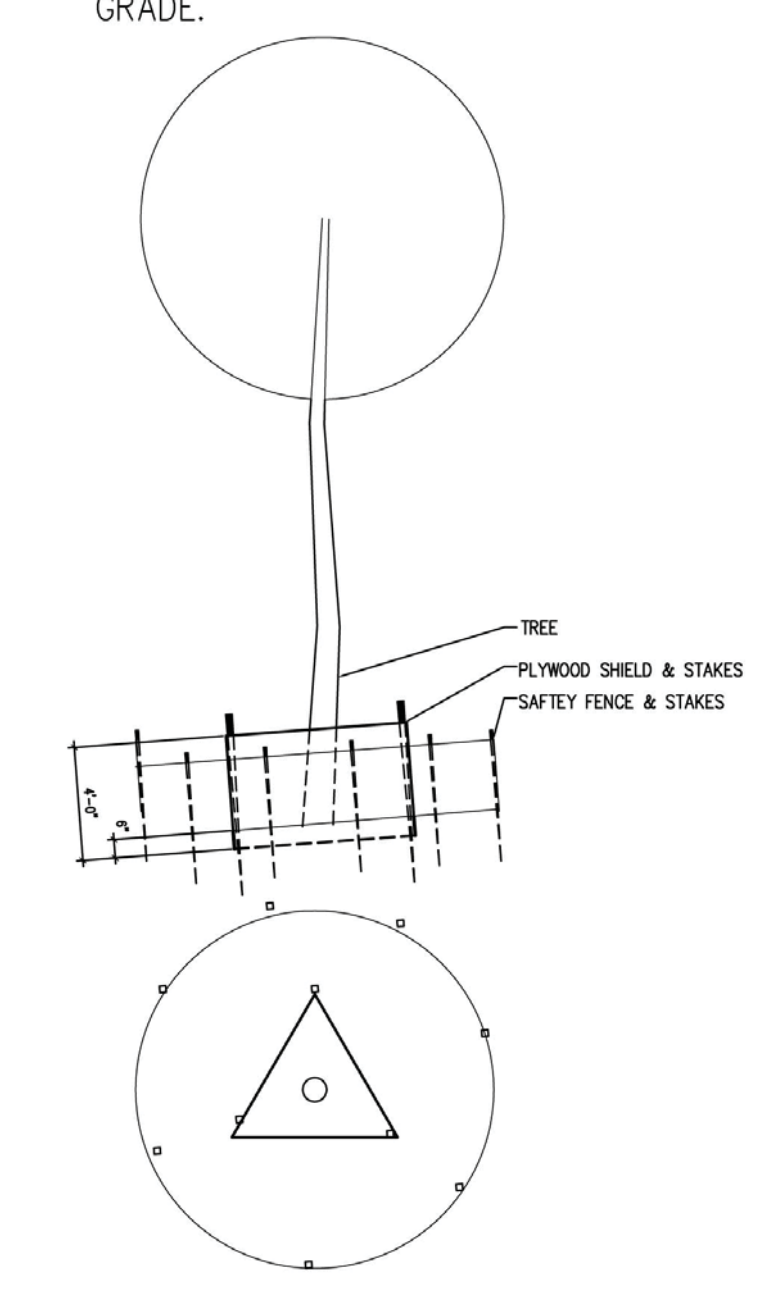
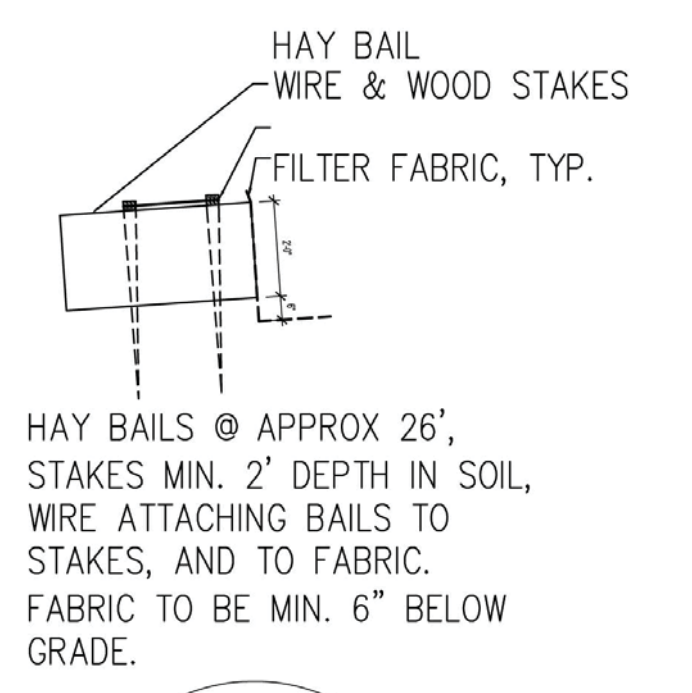
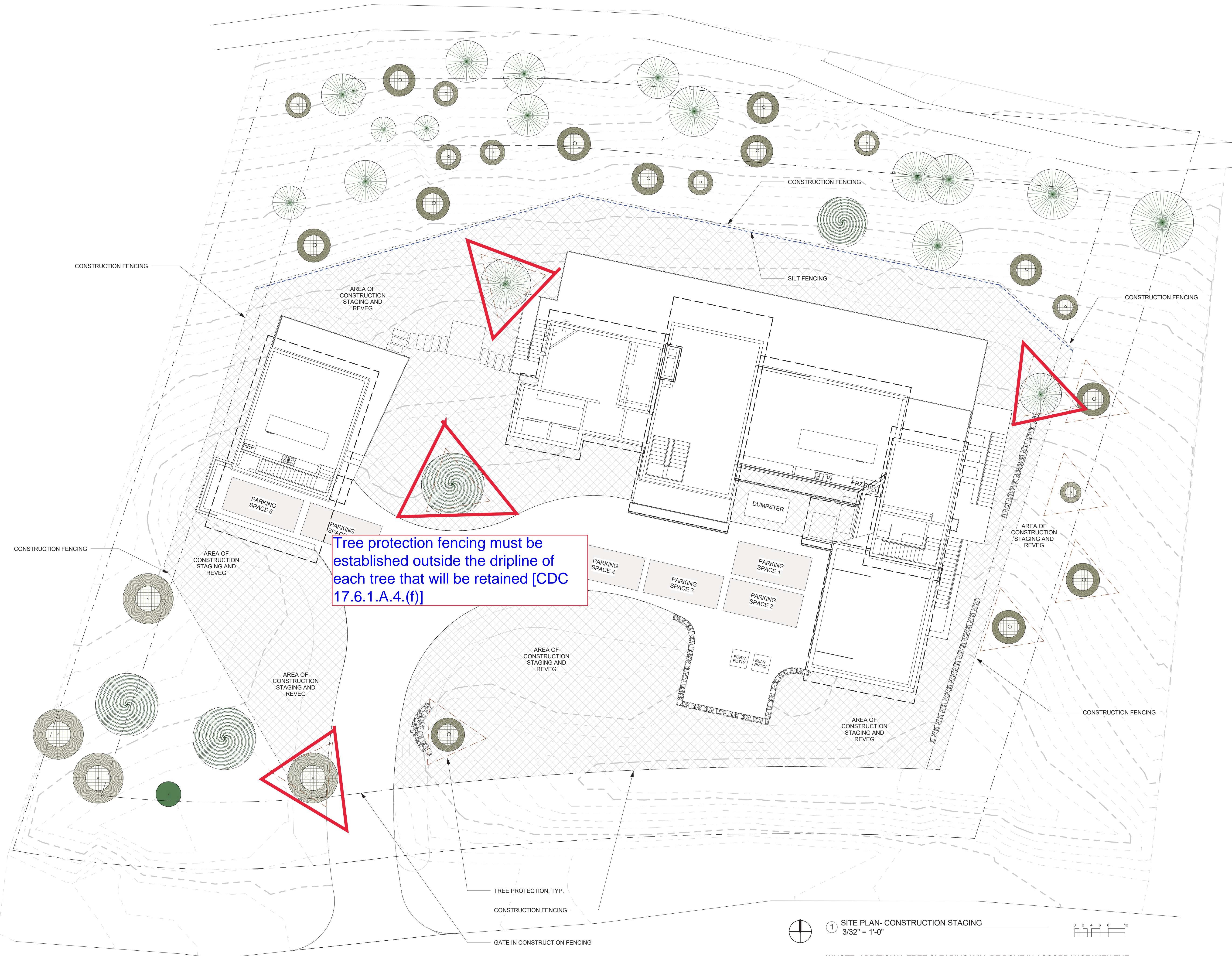
SHEET DESCRIPTION
MATERIAL SAMPLES
AND LIGHTING CUT
SHEETS

SHEET NUMBER
A810

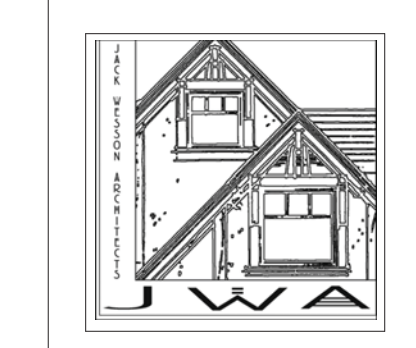


waclighting.com
Phone (800) 526-2588
Fax (800) 526-2585
Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050
Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122
Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JAN 2019



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MARK	REV	DATE	DESCRIPTION
4-6-22	DRB PRELIM APP		
3-30-22	REVISED DRAFT 4		
3-23-22	REVISED DRAFT 3		
3-7-22	REVISED DRAFT 2		
1-13-22	DRB SITE PLANS		
11-29-2021	PROGRESS		
10-19-2021	PROGRESS		
9-23-2021	MASSING STUDY		
7-1-2021	LAYOUT		

PROJECT NAME: **BC107 MOUNTAIN VILLAGE**
COLORADO 81435
SHEET DESCRIPTION: **CONSTRUCTION STAGING PLAN**
SHEET NUMBER: **A101**

1 SITE PLAN- CONSTRUCTION STAGING
3/32" = 1'-0"

NOTE: ADDITIONAL TREE CLEARING WILL BE DONE IN ACCORDANCE WITH THE MOUNTAIN VILLAGE LAND USE ORDINANCE FIRE MITIGATION REQUIREMENTS



HOSE BIB AND IRRIGATION LINE-
RAIN BIRD SPRINKLER HEADS
INSTALLED IN FLOWER BADS.
DRIP LINE THROUGH-OUT, TYP.

AREA OF REVEG

AREA OF REVEG

AREA OF REVEG

ADDRESS
MONUMENT-
SEE A104 FOR
DETAIL

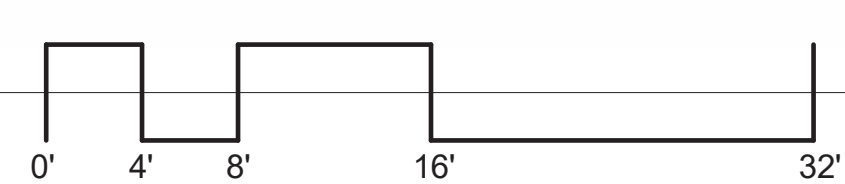
WATER USAGE CHART:

ASPEN	7 @	10 gal. =	70 gal.
SPRUCE	5 @	10 gal. =	50 gal.
POTENTILLA	74 @	2 gal. =	148 gal.
DOGWOOD	40 @	3 gal. =	120 gal.
ORNAMENTAL	2 @	4 gal. =	8 gal.
TOTAL =			396 gal.

*NOTE: INSTALL RAIN SHUT-OFF DEVICE AS
REQ'D BY SECTION 9-210

INSTALL BACKFLOW PREVENTERS

① SITE PLAN- LANDSCAPE AND IRRIGATION PLAN
1/8" = 1'-0"



Planted conifers
(evergreen trees) must be
from 2 separate genus or
species categories for
diversity [CDC 17.5.9.C.6.
(c)].

SPRUCE TREE
TO REMAIN

FIR TREE TO REMAIN

ASPEN TREE TO REMAIN

(40) 8 GAL. SHRUBS

(2) 10 GAL. ORNAMENTAL
TREE/SHRUB TBD

(74) 5 GAL. SHRUBS

(5) NEW EVERGREEN TREES
(1-8") (1-10") MINIMUM HEIGHT

***At least forty (40) percent of the trees on a
landscaping plan shall be trees not typically found
in landscaping in the Town, such as lodgepole
pine, limber pine, white bark pine, ponderosa pine,
bristlecone pine and pinyon pine provided such
trees fit within the life zone and a site's micro
climate.

(7) NEW 3" CAL. ASPEN OR
2 1/2" CA. MULTI-STEM

FLOWER MIX 1: COLUMBINE,
SHOOTING STAR, INDIAN
PAINTBRUSH, YARROW,
BLUEBELL APPROX. 1775 SF.

FLOWER MIX 2: RUSSIAN
SAGE, YELLOW ROSE,
DAYLILY, DELPHINIUM,
BLEEDING HEART,
CINQUEFOIL APPROX 1400 SF.

NOTE: REVEGETATION IS WILL
BE NATIVE MIX
5% WESTERN YARROW
10% TALL FESCUE
5% ARIZONA FESCUE
5% HARD FESCUE
10% CREEPING RED FESCUE
15% ALPINE BLUEGRASS
10% CANADA BLUEGRASS
15% PERENNIAL RYEGRASS
10% SLENDER WHEATGRASS
15% MOUNTAIN BROME
APPROX. 5000 SF

SEE SITE PLAN FOR TREES TO BE REMOVED

- GENERAL NOTES:
1. SOIL PREPARATION SPECIFICATIONS: SOIL
IN REVEG. AREA WILL BE AUGMENTED WITH
HYDROMULCH.
 2. THIS LANDSCAPE PLAN COMPLIES WITH
SECTION 9-109 OF THE DESIGN REGULATIONS
REGARDING NOXIOUS WEEDS.
 3. THE PROPERTY OWNER GUARANTEES ALL PLANT
MATERIALS FOR TWO YEAR.
 4. ALL TREES AND SHRUBS SHALL BE BACKFILLED
WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE
AT A 2:1 RATIO.
 5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO
A 6" DEPTH AND AMENDED WITH TOPSOIL AND
ORGANIC FERTILIZER AT A 2:1 RATIO
 6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK
SOIL CONDITIONER BY SOUTHWEST IMPORTERS,
SHREDDED CEDAR BARK.
 7. ALL PLANT MATERIAL TO MEET THE AMERICAN
STANDARD FOR NURSERY STOCK. PLANTING DETAILS
FOR ROOT SYSTEMS, SOIL PREPARATION,
SEEDING, MULCHING, AND FERTILIZATION
TECHNIQUES SHALL BE IN ACCORDANCE WITH
GUIDELINES SET FORTH BY THE ASSOCIATED
LANDSCAPE CONTRACTORS OR COLORADO.
 8. TURF SHALL BE AERATED 2 TO 3 TIMES PER
YEAR TO INCREASE THE WATER ABSORPTION RATES.
NECESSARY ORGANIC FERTILIZATION AND
AMENDMENT SHALL BE INCORPORATED AT THE SAME
TIME.
- REVEGETATION AND EROSION CONTROL NOTES:
1. SUBSOIL SURFACES SHALL BE TILLED TO A 4"
DEPTH ON NON FILL AREAS.
 2. TOPSOIL SHALL BE SPREAD AT A MINIMUM
DEPTH OF 4" OVER ALL AREAS TO BE RE-
VEGETATED (EXCEPT ON SLOPES GREATER THAN
3:1) AND AMENDMENTS ROTO-TILLED AT A RATE
OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.
 3. BROADCASTING OF SEED SHALL BE DONE
IMMEDIATELY AFTER TOPSOIL IS APPLIED
(WITHIN 10 DAYS) TO MINIMIZE EROSION AND
WEEDS.
 4. NEWLY SEEDED AREAS SHALL BE PROTECTED
FROM WIND AND WATER EROSION THROUGH THE
USE OF MULCHES. ACCEPTABLE MULCHES ARE
WOOD CHIPS, STRAW, HYDRO-MULCH AND
EROSION-CONTROL NETTING.
 5. BROADCAST WITH SPECIFIED SEED MIX AND
FOLLOW WITH DRY MULCHING. STRAW OR HAY
SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA
AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2
TONS PER ACRE FOR STRAW, CRIMP IN.
 7. EROSION-CONTROL NETTING WILL BE
REQUIRED ON SLOPES 3:1 OR STEEPER, IF
ALLOWED BY VARIANCE TO SECTION 9-103-2, AND
IN DRAINAGE SWALES.
 8. SEED ALL AREAS LABELED NATIVE GRASS SEED
WITH THE FOLLOWING MIXTURE AT A RATE OF
12 LBS. PER ACRE.
 9. ROAD AND DRIVEWAY SHALL BE RE-VEGETATED
WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO
AVOID UNSIGHTLY SCARS AND WEED INFESTATION
ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-
VEGETATED IMMEDIATELY (WITHIN TWO WEEKS)
AFTER INSTALLATION OF UTILITIES TO PREVENT
WEED INFESTATION. LANDOWNER SHALL INSURE
PROPER WEED CONTROL IN IMPACTED AREAS.
 10. EROSION CONTROL ATTENTION TO
DISTURBED AREAS SHALL BE IMPLEMENTED TO
ENSURE THERE IS NO DETRIMENTAL IMPACT OR
RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.
 11. IN AREAS THAT ARE TO BE RE-VEGETATED
(ESPECIALLY SEEDING LOCATIONS WHICH HAVE
RECEIVED HEAVY CONSTRUCTION EQUIPMENT
TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE
APPLICATION OF SEED. SLOPE SURFACES SHALL BE
ROUGHENED BY RUNNING TRACKED EQUIPMENT UP
AND DOWN THE FACE OF THE SLOPE. (RUNNING
SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE
ENCOURAGES EROSION AND IS NOT
RECOMMENDED).
- DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY
FROM THE HOUSE AS REQUIRED BY TOWN'S
ADOPTIVE BUILDING CODES
- THE PROJECT SHALL COMPLY WITH THE TOWN'S
FIRE MITIGATION STANDARDS
- THE PROJECT SHALL COMPLY WITH THE ADOPTED
TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE
ENERGY CODE AND GREEN BUILDING STANDARDS.

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JACK WESSON
ARCHITECTS INC.

TELLURIDE, COLORADO 81435

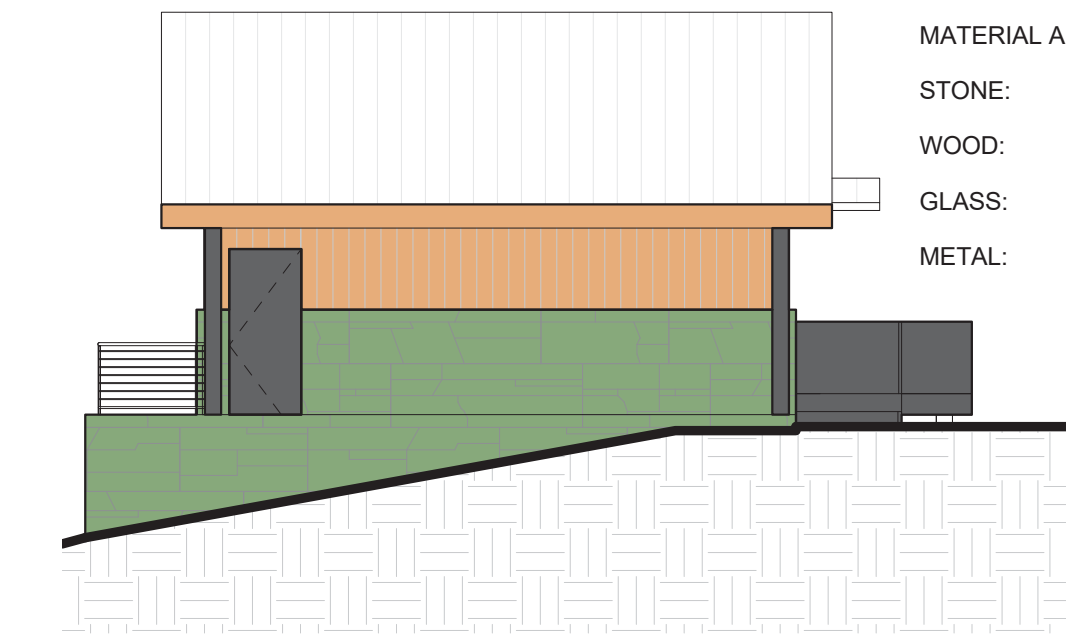
TEL: 970.728.9755
FAX: 970.728.9724
jwesson@me.com
www.jackwessonarchitects.com

DATE	DESCRIPTION
4-6-22	DRB PRELIM APP
3-30-22	REVISED DRAFT 4
3-23-22	REVISED DRAFT 3
3-7-22	REVISED DRAFT 2
1-13-22	DRB SITE PLANS
11-29-2021	PROGRESS
10-19-2021	PROGRESS
9-25-2021	MASSING STUDY
7-1-2021	LAYOUT
MARK	REV DATE DESCRIPTION
PROJECT NAME:	
PROJECT MANAGER:	
DRAWN BY:	
REVIEWED BY:	
2022 JWA	
PrarieRegular	

PROJECT NAME:
BC107
MOUNTAIN VILLAGE
COLORADO 81435

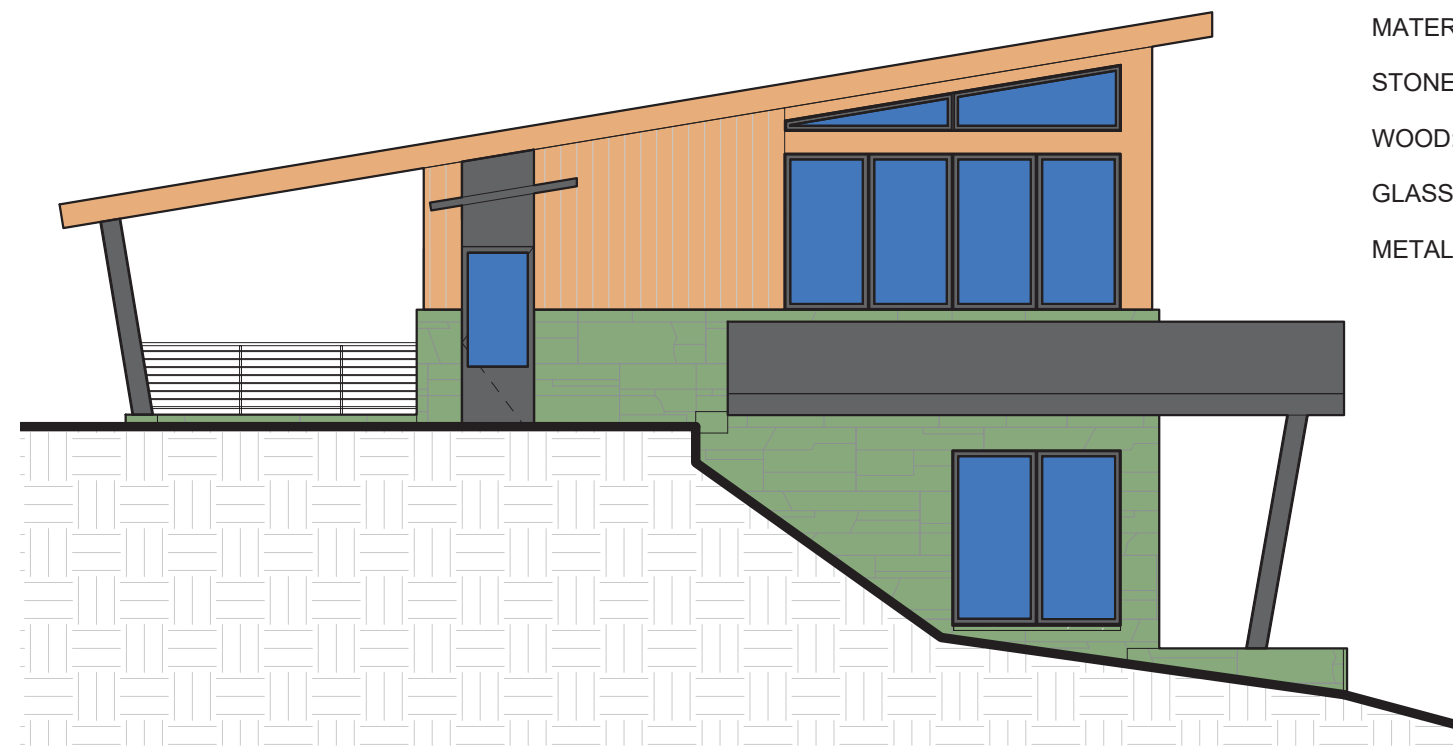
SHEET DESCRIPTION:
LANDSCAPE &
IRRIGATION PLAN

SHEET NUMBER:
A103



MATERIAL AREAS:
STONE: 170 SF
WOOD: 100 SF
GLASS: 0 SF
METAL: 60 SF

7 AREA- CABIN SOUTH ELEV
1/8" = 1'-0"



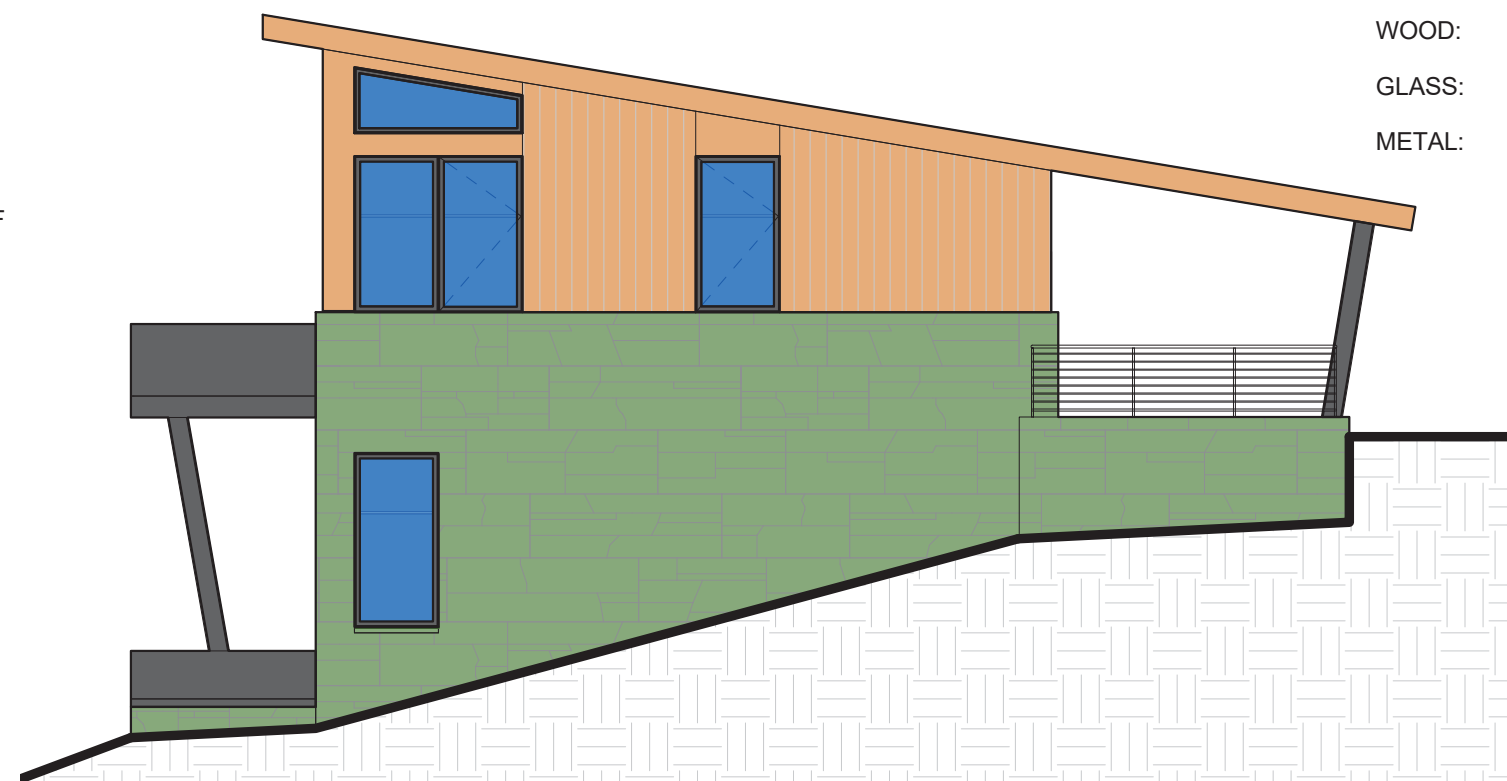
MATERIAL AREAS:
STONE: 240 SF
WOOD: 170 SF
GLASS: 140 SF
METAL: 170 SF

8 AREA- CABIN EAST ELEV
1/8" = 1'-0"



MATERIAL AREAS:
STONE: 170 SF
WOOD: 180 SF
GLASS: 260 SF
METAL: 275 SF

9 AREA- CABIN NORTH ELEV
1/8" = 1'-0"



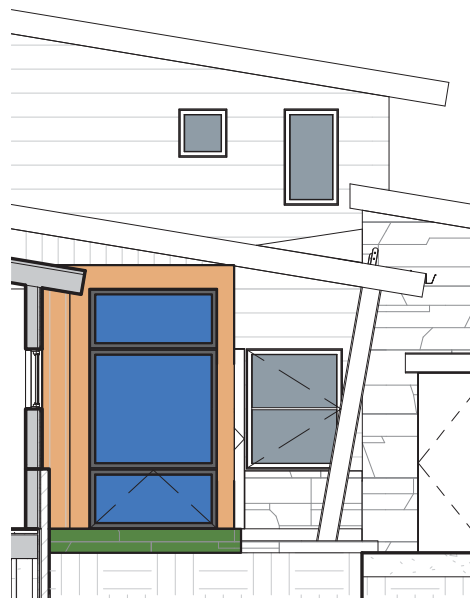
MATERIAL AREAS:
STONE: 450 SF
WOOD: 220 SF
GLASS: 90 SF
METAL: 85 SF

10 AREA- CABIN WEST ELEV
1/8" = 1'-0"



MATERIAL AREAS:
STONE: 36 SF
WOOD: 70 SF
GLASS: 45 SF
METAL: 30 SF

6 AREA- HIDDEN WEST2
1/8" = 1'-0"



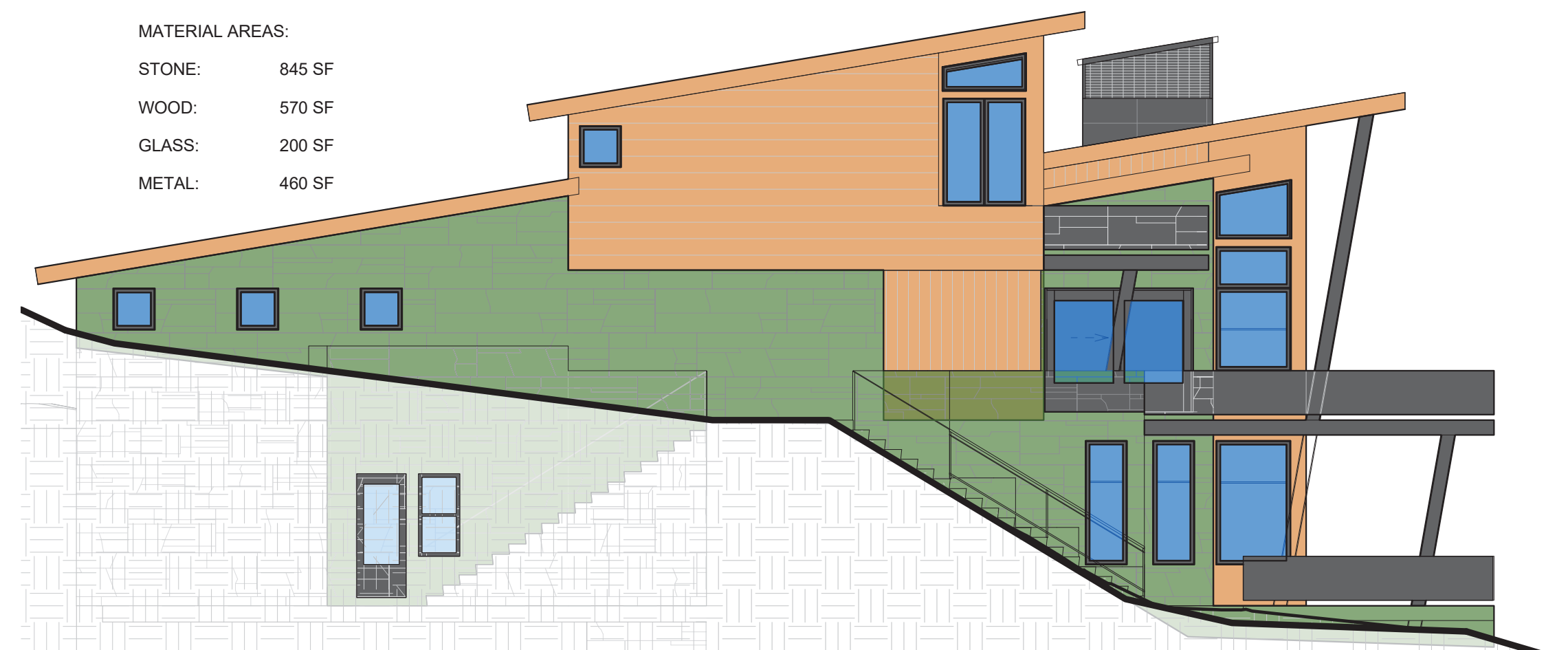
MATERIAL AREAS:
STONE: 8 SF
WOOD: 32 SF
GLASS: 42 SF
METAL: 12 SF

5 AREA- HIDDEN WEST1
1/8" = 1'-0"



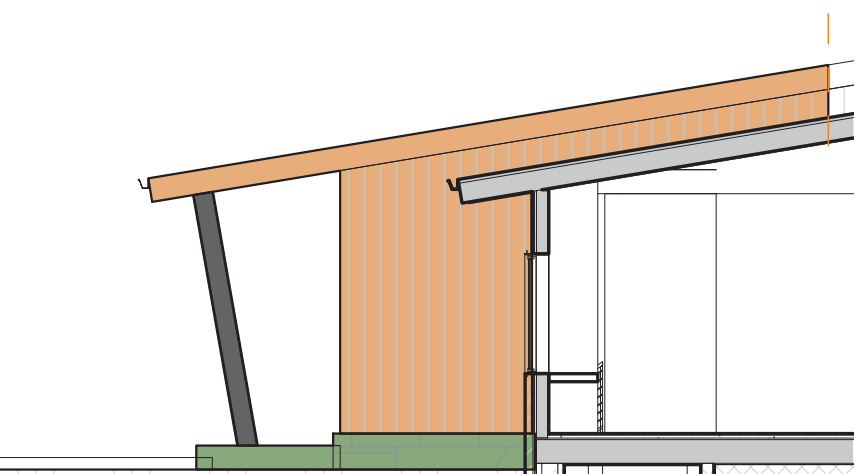
MATERIAL AREAS:
STONE: 690 SF
WOOD: 640 SF
GLASS: 180 SF
METAL: 265 SF

3 AREA- WEST
1/8" = 1'-0"



MATERIAL AREAS:
STONE: 845 SF
WOOD: 570 SF
GLASS: 200 SF
METAL: 460 SF

1 AREA- EAST
1/8" = 1'-0"



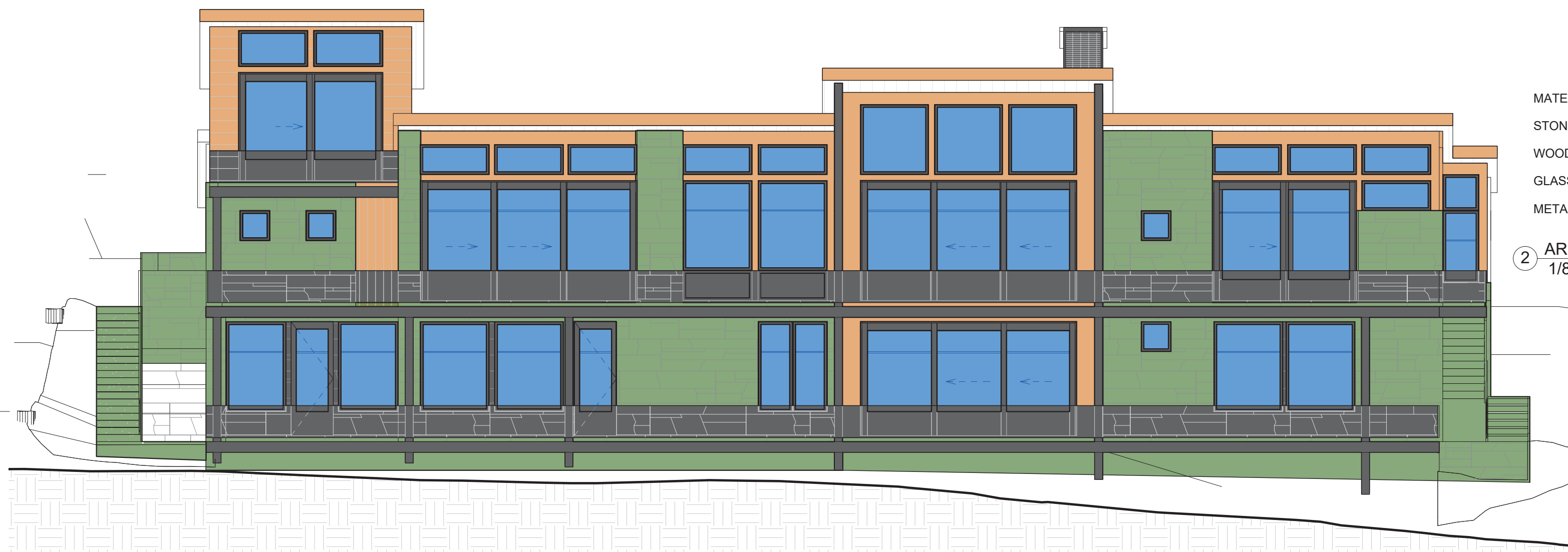
MATERIAL AREAS:
STONE: 20 SF
WOOD: 130 SF
GLASS: 0 SF
METAL: 9 SF

12 AREA- HIDDEN EAST 2
1/8" = 1'-0"



MATERIAL AREAS:
STONE: 45 SF
WOOD: 5 SF
GLASS: 0 SF
METAL: 0 SF

11 AREA- HIDDEN EAST 1
1/8" = 1'-0"



MATERIAL AREAS:
STONE: 1340 SF
WOOD: 530 SF
GLASS: 1090 SF
METAL: 1360 SF

2 AREA- NORTH
1/8" = 1'-0"

Material Calculations- MAIN HOUSE									
Elevation	NORTH	WEST	SOUTH	EAST	H. WEST 1	H. WEST 2	H. EAST 1	H. EAST 2	Total
Stone	1405	690	640	845	8	36	45	20	3689
Wood	530	640	480	570	32	70	5	130	2457
Glass	1090	180	190	200	42	45	0	0	1747
Metal	1360	265	125	460	12	30	0	9	2261
Total	4385	1775	1435	2075	94	181	50	159	10154

Material Calculations- CABIN						
Elevation	C. NORTH	C. WEST	C. SOUTH	C. EAST	Total	Percent
Stone	170	450	170	240	1030	37.05%
Wood	180	220	100	170	670	24.10%
Glass	260	90	0	140	490	17.63%
Metal	275	85	60	170	590	21.22%
Total	885	845	330	720	2780	

MATERIAL AREAS:
STONE: 640 SF
WOOD: 480 SF
GLASS: 190 SF
METAL: 125 SF

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7-1-2021	LAYOUT		

PROJECT NAME: BC107
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
MATERIAL CALCS

SHEET NUMBER:
A305

Finish materials underneath the decks and soffits must be either fireproof or fire resistant.



DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments

TFPD approves the proposal with the following conditions:

- 1) The structure is over 3,600 gross sq ft and shall require a monitored NFPA 13D sprinkler system.
- 2) The structure shall require a monitored NFPA 72 fire alarm system.
- 3) The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
- 4) The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
- 5) TFPD recommends the installation of a Knox Box for emergency access.

Amy,

This lot should have a water tap and a sewer tap. Have them field verify all utilities. Looks good.

Finn