Agenda Item No. 7

PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 369-8250

TO: Mountain Village Design Review Board

FROM: Amy Ward, Community Development Director

FOR: Design Review Board Meeting; December 1, 2022

DATE: November 23, 2022

RE: Consideration of a Design Review: Final Architecture and Site Review for a single family home on Lot SS811, 2 Mountain Village Blvd., pursuant to CDC Section 17.4.11

BACKGROUND: Staff is requesting a continuation of the Final Architecture Review to the January 5, 2022 Regular Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular January 5 meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

RECOMMENDED MOTION: I move to continue, the Consideration of a Design Review: Final Architecture and Site Review for a single family home on Lot SS811, 2 Mountain Village Blvd., pursuant to CDC Section 17.4.11

/AW

AGENDA ITEM 8
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISON
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Amy Ward, Senior Planner

FOR: Design Review Board Public Hearing; October 6, 2022

DATE: November 22, 2022

RE: Staff Memo – Initial Architecture and Site Review (IASR) for Lot AR25, 125 Lawson Point

APPLICATION OVERVIEW: New Single-Family Home on Lot AR25

PROJECT GEOGRAPHY

Legal Description: LOT AR-25 AND OPEN SPACE-A, TELLURIDE MOUNTAIN VILLAGE, FILING 35, ACCORDING TO THE PLAT RECORDED OCTOBER 7, 1994 IN PLAT BOOK 1 AT PAGE 1757, AND THE INSUBSTANTIAL AMENDMENT RECORDED FEBRUARY 27, 2015 IN PLAT BOOK 1 AT PAGE 4713 AND ACCORDING TO THE COMMUNITY PLAT/MAP AMENDMENT FOR THE ADAMS RANCH COMMUNITY RECORDED JUNE 1, 1999 IN PLAT BOOK 1 AT PAGE 2573, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Address: 125 Lawson Point

Applicant/Agent: Justin Kilbane, JK Architect PC

Owner: Boilermakers and Spartans LLC

Zoning: Single-Family

Existing Use: Vacant

Proposed Use: Single-Family

Lot Size: 3.94 acres

Adjacent Land Uses:

- **North**: Open space and Single-family
- **South:** Single-family
- **East:** Single-family
- **West:** Open space

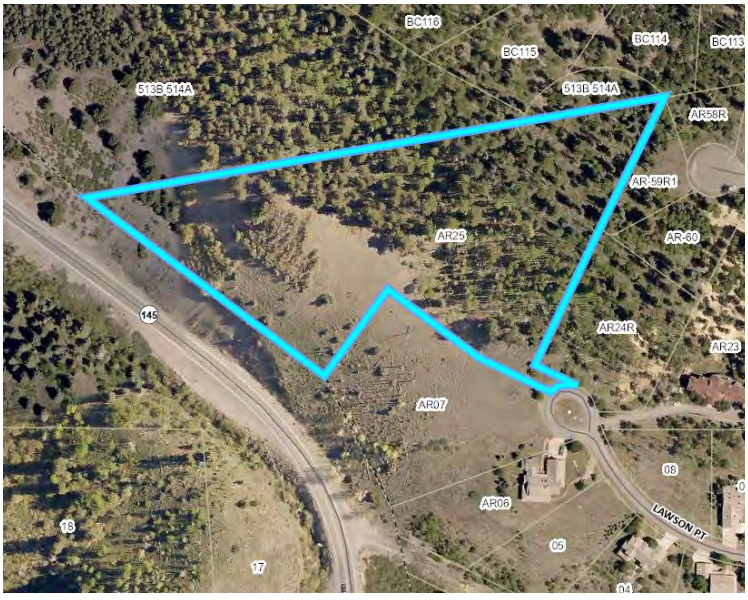

Figure 1: Vicinity Map

ATTACHMENTS

Exbibit A: Architectural Plan Set

Case Summary: Justin Kilbane of JK Architects is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot AR25, 125 Lawson Overlook. The Lot is approximately 3.94 acres and is zoned Single-family. Open Space-A is contingent to the property and in the same ownership. That parcel is an additional 1.98 acres. The overall square footage of the home is approximately 10, 570 gross square feet and provides 3 interior parking spaces within the proposed garage and 2 exterior spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by*** *Italicized Text.*

Table 1

CDC Provision	Requirement	Proposed
Maximum Building Height	35' (shed) Maximum	34.17'
Maximum Avg. Building Height	30' (shed) Maximum	22.096'
Maximum Lot Coverage	30% (51,487.9 s.f.)	16.2% (10,570 s.f.)**
General Easement Setbacks	No encroachment	Grading**
Roof Pitch		
Primary		3:12
Secondary		2:12
Exterior Material* **		
Stone	35% minimum	35%
Windows/Doors	40% maximum	31%
Parking	2 interior/2 exterior	3 interior/2 exterior

****Lot coverage is shown as area under roof, but doesn't include patios, decks and walkways**
*****The applicant calculated materials per elevation, these numbers are based on staff estimates calculated form the given square footages**

Findings:

1. The visual impacts from SH 145 have been minimized or mitigated (*pending DRB determination)

DRB Specific Approval:

1. Materials – T-8 Plankwall metal siding, metal soffit and fascia
2. GE Encroachment - grading

Chapter 17.3: ZONING AND LAND USE REGULATIONS
17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates a combination of shed roof forms. Homes with a primary shed roof form are granted a maximum building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff has determined that the primary roof form for this home is a shed and therefore granted a maximum height of 35 feet. The maximum height shown is 34.17' and is

demonstrated both in elevation and by a 3D parallel plane projection. The average height is shown at 22.096' and is also in compliance with allowable heights per the CDC.

17.3.14: General Easement Setbacks
Lot AR 25 is burdened by a sixteen (16) foot General Easement (GE) all the way around the property with an additional spur that makes the final connection area to Lawson Point. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *The driveway crosses the GE from Lawson Point onto the lot*
- *Utilities: the utilities generally follow the driveway from Lawson Point to the home*
- *It is assumed that the address marker will be within the GE, though the location of such is not noted on the plan set*

The proposal also includes some GE encroachments requiring specific DRB approval:

- *There are (2) boulder retaining walls in the GE along the driveway as it nears Lawson Point*
- *There is some grading in the GE to the south and SW of the home*

DRB should discuss whether they find these encroachments acceptable. If so, a specific approval should be granted.

Regardless of the encroachment, any development within the General Easement will require the owner and the Town to enter into a GE Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS
17.5.4: Town Design Theme
The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: This modern style home uses a neutral palette of materials in gray metals and warm gold stone contrasted with dark metal clad windows. These materials will hold up to the elements of our harsh alpine environment. Siding is a combination of Telluride gold stone in a square cut drystack installation and metal wall panels that are meant to represent a weathered wood finish. DRB should evaluate the physical sample of this material to determine its appropriateness. The CDC allows for metal siding to include "rusted corrugated, rusted sheet metal panels, zinc panels, copper panels and other

metal types reviewed and approved by the DRB," so if DRB finds this material appropriate then a specific approval should be granted. One benefit of this material is that it will add to the fire resistancy of the property – with no wood siding, fascia or soffit the fire resistance of the exterior should benefit.

There is a material labeled W2 on the elevations that is not shown on the material list. The structural elements surrounding the elevated glass walkway to the master bedroom also do not have a specified material. These materials should be clarified prior to final review.

The roof is a standing seam metal in zinc gray. Soffit and fascia are the same, and per the CDC would require specific approval by DRB.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: In addition to the above siting concerns, the Plat for AR-25 has a note (#3) stating:

> *"Concurrent with any Design Review Application and Design Review Process for Lot AR-25, The Design Review Board shall review (1) visual impacts from the SH 145 travel corridor and must make a finding that such visual impacts have been minimized or mitigated as a condition to such approval and (2) ensure slopes greater than 30% meet the Steep Slope Regulations in Section 17.6.1 of the Community Development Code."*

The overall material palette for the home is primarily a warm neutral. These materials should help the home blend into the natural hillside and vegetation. The form of the building, presenting mostly as a one-story structure with strong horizontal lines help it settle into the land form.

Addressing the language in the Plat note, DRB must make a finding of whether visual impacts have been minimized or mitigated. The plat does not say that visual impacts must be avoided. There are a number of ways to think about minimization and mitigation – you can look to overall building form – imagine a more vertical gable roofed structure would not be a design choice that takes into consideration minimization of the visual impacts. Materials choices can be another way to mitigate visual impact – neutral palette versus highly contrasting palette. Staff feels that overall the project has minimized and mitigated these visual impacts while still allowing for the property to be developed.

Below is a view provided by the applicant from SH 145, headed down Lawson hill, the home would not be very visible travelling in the opposite direction. Additionally, the lot between AR25 and SH 145 to the south (Lot AR07) is a vacant lot zoned single family that one day can be developed and would further screen this home from the highway:

The second provision of the Plat note is in regards to steep slopes. The applicant seems to have sited the house in a way to avoid disturbance of the steepest part of the lot which is to the NW.

17.5.6: Building Design
The CDC requires that building form and exterior wall forms portray a mass that is thick and strong with a heavy grounded foundation.

Staff: The use of Telluride Gold square cut stone as a base material, in combination with horizontal wood look siding grounds the home to the site. The overall structure presents primarily as a one-story home, especially from the entrance. The stone columns along the garage also reinforce this grounding concept. See the image below:

Staff does not feel that the other side of the home feels quite as grounded. The stone utilized on this side is primarily as retaining wall, and doesn't extend up into the structure, giving that additional vertical grounding element. There is also an elevated glass element that leads to the master bedroom. See below:

DRB should discuss whether any design changes need to be made in order to better ground this side of the structure to the site.

17.5.7: Grading and Drainage Design
Staff: Grading on the site is primarily for the creation of the driveway. There is also an area of fill to the SW of the structure to support some outdoor living space. This re-grade does extend into the GE, DRB should discuss if this GE disturbance is necessary, or whether that patio area could be minimized to avoid disturbance of the GE.

17.5.8: Parking Regulations
Staff: The applicant has shown three interior parking spaces and two exterior spaces on their plan. Dimensional requirements of 9' x 18' per space seem to be being met but should be called out on the plans. A rough estimate from the drawings shows that they are meeting the required 25' garage back out space, however this should also be noted on the plans.

17.5.9: Landscaping Regulations
The applicant has not submitted a landscaping plan, It should be noted that this is not required until final review.

17.5.11: Utilities
Staff: Utilities run from the Lawson Overlook cul-de-sac down the driveway to the lot. The sanitary sewer is shown heading east but doesn't show the connection to the sewer main. Staff would like to better understand where this connection is made, this detail should be provided for final review.

17.5.12: Lighting Regulations
Staff: A lighting plan was provided along with a photometric study. Specifications for some fixtures were provided, but not in full sheets so some of the metrics are hard to read. The specifications for some fixtures seem to be missing (Z3, Z5 and Z15). Most of the exterior lighting is provided by recessed cans, the primary fixture for this is Fixture S5 which seems to be meeting CDC regulations. Another fixture - Fixture BM, is meeting specifications in terms of lumen output and temperature, but the fixture itself is problematic. The fixture tilts

340 degrees and rotates 360 degrees so could easily be adjusted to where it doesn't operate as a full cut-off fixture.

Another consideration in regards to lighting is the elevated glass element that serves as a hallway to the master bedroom. Although broken up by some sort of structural element, this area will light in the evening. In response to this concern raised by staff, the applicant has provided an evening rendering. Although not full dark, you wouldn't see this raised glass element as it relates to the view coming down Lawson hill:

From the back side of the home, there will remain a large swath of forest between this property and other properties downhill in the Boston Commons area.

Prior to final review the applicant should provide full size specification sheets for each exterior fixture and should revise the lighting plan to meet all CDC regulations.

17.5.13: Sign Regulations
Staff: The address monument is designed using the same materials as the metal cladding on the house. The location of the address monument is not shown. The numerals on the monument are not meeting the requirement of being no less than 54" above grade. The numbers need to have a reflective surface in case of power outage. The light fixture appears to be downlit, but a fixture specification needs to be provided.

Chapter 17.6: SUPPLEMENTARY REGULATIONS
17.6.1: Environmental Regulations
Staff: Fire Mitigation and Forestry Management: The fire mitigation plan seems to be meeting the intention of the code, however, there seems to be an error in the hatching of the Zone 3 mitigation area which should show as blue. This should be revised prior to final

review. The Zone 1 area should also be transferred onto the landscape plan when that is provided at final review so that we can understand any fire implications of new plantings.

17.6.6: Roads and Driveway Standards
Staff: The driveway is shown with a paved surface of 16' wide. The grade is from 2.3-7%. The driveway appears to be meeting all road and driveway standards.

17.6.8: Solid Fuel Burning Device Regulations
Staff: There are fireplaces and an outdoor firepit on the plans. No fuel sources have been identified and should be provided prior to final review.

Chapter 17.7: BUILDING REGULATIONS
17.7.19: Construction Mitigation
Staff: No construction mitigation plan has been provided. It should be noted that construction mitigation is not required until final review.

Staff Recommendation: Staff recommends the DRB approve the Initial Architectural and Site Review for Lot AR-25, 125 Lawson Overlook, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:
If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot AR-25, based on the evidence provided within the Staff Report of record dated September 28, 2022, with the following findings, and specific approvals:

Findings:
1. The visual impacts from SH 145 have been minimized or mitigated (*pending DRB determination)

DRB Specific Approval:
1. Materials – T-8 Plankwall metal siding, metal soffit and fascia
2. GE Encroachment - grading

And, with the following conditions:

1) Prior to final review, the applicant shall revise the site coverage calculations to include decks, patios and walkways.
2) Prior to final review, the applicant shall revise the materials calculations to provide totals for the project, not just totals per elevation.
3) Prior to final review, the applicant shall revise the address monument to meet all CDC regulations, shall provide a light fixture specification for the monument and shall indicate the location of the monument on the site plan or landscaping plan.
4) Prior to final review, the applicant shall specify the fuel source for all solid fuel burning devices.
5) Prior to final review, the applicant shall add dimensions to verify parking space sizes as well as necessary garage back-out space.

6) Prior to final review, the applicant shall provide information as to the location of the sanitary sewer connection to the main sewer.
7) Prior to final review, the applicant shall provide full size specification sheets for all exterior light fixtures and revise the lighting plans to meet CDC requirements.
8) Prior to final review, the applicant shall revise the fire mitigation plan to correctly represent the Zone 3 fire mitigation area.
9) Prior to building permit, the applicant shall work with Public Works to field verify all utilities.
10) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
11) Prior to a certificate of occupancy a GE agreement shall be executed recognizing approved encroachments into the GE.
12) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
13) A monumented land survey of the ridge height will be provided prior to final planning review to determine the maximum building height.
14) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
    a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
    b. Wood that is stained in the approved color(s);
    c. Any approved metal exterior material;
    d. Roofing material(s); and
    e. Any other approved exterior materials
15) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

/aw

THE JK COMPANIES

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May 5, 2022

PLANNING & DEVELOPMENT SERVICES
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435

Narrative for Lot AR-25. Approval for General Compliance

Thank you so much for reviewing our application for AR-25. We are excited about the coming project and have outlined compliance below. The house is a three-story residence with a total of 7,328 SQ FT livable area and a 10,569 SQ FT total under roof. AR-25 is a large lot that is a combination of the original AR-25 and the purchase of the open space to the south. The project design intent is having a nice single family custom home situated to maximize the views over the open space below and Wilson mountains in the distance. Most all proposed improvements meet the DRB requirements and fit well within the footprint of the site as it is now a total of nearly 6 acres. One of the specific requirements of the lot is that the impact of highway below be mitigated. It does not state not seen just mitigated which is the design intent. All of the Wilson views are over the highway and we have attempted to nestle the home down nearly 8' over the ridge line to minimize the visual as seen in the rendering provided. Additionally, there will be a home below on AR-7 that will be more visible from the highway and actually help block a portion of AR-25. Also, site is a flag lot in which the entrance from the cul de sac is very narrow with no space inside the GE. We are proposing some boulder retaining walls to mitigate grade and allow vehicular access for the driveway outside the GE which is the only way to access the lot. The home as designed is a mountain modern home comprised of all stone walls and metal wood panel columns. This is a home that I am very proud of as a design and am sure it will be a great addition to the neighborhood.

17.3.12. Building Height Limits-

The total height of the highest roof ridge is 35'-0"" as shown on A6.2 in the schedule. The allowable offset of 35' for gable roofs is shown on each elevation for reference.

17.3.13 Maximum Lot Coverage-

The Gross Area of the Lot is 171,626 SQ FT. Our proposed lot coverage is 10,570 SQ FT which equates to 16.2%. Allowable is 40% making our proposal 23.8% below the allowable coverage.

17.3.14 General Easements Setbacks-

The lot has a 16' General Easement/Setback line offset from the property line. Our proposed setbacks are more than 16' on all sides.

17.3.21 Deviation from Zoning and Land Use Regulations-

We are requesting a variance to allow boulder retaining walls outside the GE in the flag portion of the driveway. As mentioned above this section of lot from the cul de sac to the larger portion of

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the lot is all inside the GE no space at all to due to the narrow flag section for walls to mitigate grade.

17.5.4 Town Design Theme

Our proposed design is Mountain Modern in intent and nature. The siding will be a steel panel wood product which is more sustainable and longer life span. Stone surrounds the entire base of the house and clearly differentiates foundation from wall plane. This grounds the house into the topography of the site and allows for a mix of materials and compliance with the exterior stone requirement. The roofs will be standing seam metal. Please see sheet A3.3 for exterior material sheet with all finishes and intended colors called out.

17.5.5 Building Siting Design-

The house is located on a steep lot that is downhill from the ridge above the highway. The step nature of the lot dictates a horizontal configuration that steps down the slope. The East/West long axis of the lot provides the access to the garage, entry door and living/dining level.

17.5.6 Building Design-

Our design is a simple configuration of shed and butterfly roofs that step down the slope side following the natural topography of the site. This is an elegant composition of forms and elevations that make this home very unique and beautiful.

17.5.7 Grading and Drainage Design-

Please see the Civil Sheets in the set C1-C3. David Ballode with Uncompahgre Engineering has created our drainage and grading plan in compliance with all town codes.

17.5.8 Parking Regulations-

The house has a compliant four car garage interior and compliant two car guest parking spaces outside and compliant back up space as well.

17.5.9 Landscape Regulations-

Please see sheet A1.3. The landscape area outside of Zone 1 is very limited. There are several existing aspen and spruce that we would like to keep on site. Within Zone 1 on the step slope landscaping will be mostly grasses and the one planter area located to the North of the lower viewing deck. The intent is to re-seed and re-vegetate with Telski Wildflower Grass Seed Mix with a combination of Native Grass Seed mix and a Wetlands Buffer mix. See the description of the grass mix on our landscape plan for details of the mix design.

17.5.10 Trash, Recycling and General Storage Areas-

Trash Cans will be located in the trash/mech room at right side of the garage and taken out to the curb on a weekly basis.

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17.5.11 Utilities-

See sheet C3 for all utility locations on the site and existing electrical, water, gas and sewer lines. The intent is to have all utility connections come into the house at the road side mechanical room where it will be distributed within the house.

17.5.12 Lighting Regulations-

Please see sheet L-1 thru L-4 in which all lighting is designed by lighting designer. Most all lighting is recessed cans interior and exterior no decorative exterior sconces at all. Also all lumens and outputs are shown.

Thank You,

Justin Kilbane
CO Lic#: ARC.406403

PROJECT TEAM:

INTERIOR DESIGNER:

KENDRA KILBANE DESIGN
BOX 2006
CAREFREE AZ, 85377
(480) 231-2427

CIVIL ENGINEER:

UNCUMPAGRE ENGINEERING LLC
PO BOX 3945 TELLURIDE
TELLURIDE, CO 81435
(970) 729-0683

STRUCTURAL ENGINEER:

PH STRUCTURAL
DOMINIC PETROCELLI
2812 N. NORWALK, SUITE 114 MESA
AZ, 85215
(480) 854-3343
dominic@phstructural.com

MECHANICAL ENGINEER:

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920 MASSACHUSETTS ST. SUITE 2
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ELECTRICAL ENGINEER:

BILLY ROWLEY
ROWLEY ENGINEERING
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MESA, AZ 85203
(480) 313-1220

LIGHTING DESIGNER:

ACOUSTIC DESIGN GROUP
16074 N. 78TH WAY SUITE B104
SCOTTSDALE, AZ 85260
(888) 296-0950

LANDSCAPE ARCHITECT:

CF DESIGN
83308 E. PLAZA AVE.
SCOTTSDALE, AZ 85250
(602) 561-3373

GENERAL CONTRACTOR:

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AREA CALCULATIONS:

THE SQUARE FOOTAGE IS MEASURED AND CALCULATED TO THE OUTSIDE FACE OF EXTERIOR ENCLOSING WALLS IN ACCORDANCE TO ANSI Z765-2003. THE CALCULATIONS WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED HOUSE AS BUILT.

LOT LIVABLE AREA:

UPPER LEVEL	1526 SF
LOWER LEVEL	2166 SF
MAIN LEVEL	3636 SF
TOTAL AREA UNDER ROOF	**: 10570 SF**

LOT DATA:

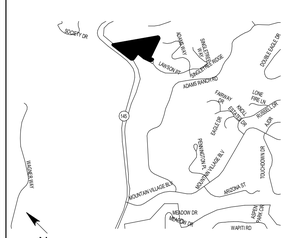
LOT SIZE	3.94 acres	171626 SF
ALLOWABLE LOT COVERAGE:	68,650.4 SF (40%)	
ACTUAL LOT COVERAGE	: 10,570 SF (16.2%)	

LISTING OF CODES-CITY OF SCOTTSDALE

The following codes are effective Januay 1, 2017
2018 International Building Code
2018 International Residential Code
2018 International Mechanical Code
2018 International Plumbing Code
2018 International Fuel Gas Code
2018 International Energy Conservation Code
2018 International Fire Code
2018 National Electrical Code
CO with Disabilities Act -Federal ADA (ADAAG)

SHEET INDEX:

VICINITY MAP:



SITE DATA:

LEGAL DESCRIPTION:

LOT 25
MOUNTAIN VILLAGE
CONT. 661 ACRES

SITE ADDRESS:

TBD

PARCEL NUMBER:

ZONING:

FLOOR PLAN NOTES:

a) Doors and Windows

1. Provide a 1-3/8 solid wood / solid or honeycomb-core steel / 20-minute fire-rated self-closing doors between residence and garage. (R302.5.1)
2. Provide permanent landing at exterior doors. (R311.3)
3. Doors shall not open directly between a sleeping room and a garage. (R302.5.1)
4. Shower doors shall have safety glazing; hinged shower doors shall open outward. (R308.4.5 & P2708.1)
5. Provide and identify all required safety glazing. (R308)
6. Indicate emergency escape and rescue openings in basements and bedrooms. (R310.1)
7. Show direction of door swing. (R311.3)
8. Show size of each window and type of operation. (R303.1 & 310.2)
9. Site built windows shall comply with section 2404 of the IBC. (R308.5)
10. Glazing maximum U-factor 0.40, Solar Heat Gain Coefficient (SHGC) maximum 0.25 (TN1102.1.2)
11. Opaque doors separating conditioned and unconditioned space- maximum U-factor 0.40. (TN1102.1.2)
12. Skylight - maximum U-factor 0.65, SHGC maximum 0.30. Provide manufacture and ICC-ES number. (TN1102.1.2)

b) Light and Ventilation

1. Provide required natural light and ventilation for habitable rooms- Light: 8%, ventilation: 4%. (R303.1)
2. Provide mechanical exhaust ventilation for bathrooms, water closet rooms, laundry room, and kitchen, ducted direct to outside. Except where functioning as a component of a whole house ventilation system, exhaust fans in bathrooms shall be provided with a delay timer or humidity/condensation control sensor. Exhaust fans shall be switched separately from lighting systems. (R303.3 amended & M1507.2)
3. Provide attic ventilation per (R806.1) unless insulation is applied on the under-side of roof sheathing. (R806.5)

c) Stairways, handrails, guardrails

1. Show handrail, notes and dimensions. (R311.7.8)
2. Show guardrails where required. (R312.1)
3. Provide a floor or landing at the top and bottom of each stairway. (R311.7.6)
4. Provide code complying stairways. Address tread and riser dimensions per type of stairway. (R311.7)
5. Provide stairway illumination per (R303.7 & R303.8)
6. Stairway maximum 12'-3 vertical rise between floor/landing (R311.7.3)

d) Fire Places/Gas Appliances

1. Provide manufacture, model number and ICC report or equal for each fireplace. (R1002, R1004 & R1005)
2. Provide a permanently installed approved decorative appliance/gas log set. (R1004.4)
3. Fireplace dampers: Where a listed decorative appliance is installed, the fireplace damper opening shall comply with listed decorative appliance manufacturer's installation instructions. (G2453.1)
4. Decorative shrouds shall not be installed at the termination of chimneys of factory-built fireplaces except where listed and labeled for such use. (R1004.3)
5. Provide outside combustion air for interior fireplaces. (R1006.2).

ENERGY COMPILANCE:

Compliance with chapter 11 of the 2018 IRC or chapter 4 of the 2018 IECC is required (zone 2). A permanent energy certificate (R,U, & SHGC values) is required at time of final inspection to be posted in the electrical distribution panel.

Building envelope (insulation, R-value, U-factor, SHGC) to comply with section 402. mechanical systems to comply with section 403.

All modifications to the building envelope must comply with the following:
Solar heat gain coefficient = 0.25 maximum
Fenestration u-factor = 0.40 maximum
Fenestration shgc = 0.25 maximum
Insulation at walls = r-19 minimum
Insulation at ceiling = r-38 minimum
Ductwork insulation = r-8 minimum
Minimize air leakage per IECC 402.4

GENERAL NOTES:

2018 International Building Code(ord. # 4284, resolution #10597)
2018 International Residential Code(ord. # 4284, resolution #10599)
2018 International Fire Code(ord. # 4283, resolution #10598)

1. All products listed by an Evaluation Service Report (ESR) shall be installed per the report and the manufactures written instructions. Product substitutions shall also be listed by an ESR.
2. Provide Fire Sprinkler System per Scottsdale Fire Code (IRC R313 amended)
3. Separate permits required: pools, spas, fences, site walls, retaining walls, and gas storage tanks.
4. Foundation & Footing depth shall be a minimum of 18 inches **below grade** (or per property soil report), provide a minimum of 3 inch clearance between Rebar and soil. (R403.1 amended)
5. Doors between the garage and residence shall be self-closing minimum 1 3/8 thick solid core or 20 minute fire rated. (R302.5.1)
6. Exterior wall penetrations by pipes, ducts or conduits shall be sealed. (R703.1)
7. Wood sill plates shall be pressure treated or decay resistant. Exterior sill plates shall bear a minimum of 6 inches above finish grade. (R317.1)
8. Gypsum board applied to a ceiling shall be 1/2 when framing members are 16 o.c. or 5/8 when framing members are 24 o.c. or use labeled **1/2 sag-resistant gypsum ceiling board**. (Table R702.3.5 (d))
9. Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type. (P2708.4)
10. Shower area walls shall be finished with a smooth, hard non-absorbent surface, such as ceramic tile, to a height of not less than 72 inches above the drain inlet. Cement, fiber-cement or glass mat gypsum backers installed in accordance with manufacturers' recommendations shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas. (R702.4.2)
11. Plumbing fixtures shall comply with the following conservation requirements: Water closets-Tank type 1.28 gal. /flush. Shower heads- 2.0 gpm. Sinks- 2.2 gpm. Lavatory-1.5 gpm (Table P2903.2 amended)
12. Storage-tank type water heaters shall be installed with a drain pan and drain line. (P2801.6)
13. A demand-controlled hot water circulation system shall be provided in accordance with amended Sections N1103.5.1.1 and N1103.5.1.2.
14. Provide roof/attic ventilation unless insulation is applied directly to underside of roof sheathing or the dimension is 24 inches or less between the ceiling and bottom of roof sheathing. (R806.1 Amended)
15. The building thermal envelope shall comply with climate zone 2. Energy compliance shall be demonstrated by UA trade-off (REScheck) **OR** performance (REM/Rate) compliance path **OR** by the following prescriptive values (Table N1102.1.2):
    i. Prescriptive **minimum** R-values : <Ceiling=R-38> / < Walls=R-13>
    ii. Prescriptive **maximum** Window Fenestration values: <U-Factor=0.40> / <SHGC=0.25>
16. Provide Minimum R-3 insulation on hot water pipes. (N1103.5.3)
17. Supply and return ducts in attics shall be insulated to a minimum **R-8**. Ducts in other portions of the building shall be insulated to minimum R-6. Ducts and air handlers located completely inside the building thermal envelope are exempt. (N1103.3.1).
18. Registers, diffusers and grilles shall be mechanically fastened to rigid supports or structural members on at least two opposite sides.
19. Exhaust air from bathrooms, kitchens and toilet rooms shall be exhausted directly to the outdoors, not recirculated or discharged indoors. (M1507.2 amended)
20. Exhaust fans in bathrooms with a shower or tub shall be provided with a delay timer or humidity/condensation control sensor. Exhaust fans shall be switched separately from lighting systems. (R303.3)
21. Provide a wall mounted GFCI protected receptacle outlet within 36 of a bathroom or powder room lavatory. (E3901.6)
22. Receptacles serving kitchen countertops installed in bathrooms, garages, unfinished accessory buildings, outdoors and located within 6 feet of sinks shall have **GFCI** protection for personnel. (E3902)
23. All branch circuits that supply 15- and 20-ampere outlets installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreations rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter **(AFCI)** installed to provide protection of the branch circuit. (E3902.12)
24. General purpose 15- and 20-ampere receptacles shall be listed **tamper-resistant**. (E4002.14)
25. Provide **Smoke Alarms** in new and existing areas of home. (R314)
26. Approved **Carbon Monoxide Alarms** shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages. (R315)
27. A minimum of 90 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps. (N1104.1 amended)
28. Recessed luminaires installed in the building thermal envelope shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering. (N1102.4.5).
29. Provide illumination with wall switches for stairways when there are 6 or more risers. (R303.7)
30. Receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally, from an outlet in that space, including any wall space 2 feet or more in width. (E3901.2)
31. Provide a minimum of two 20-amp small appliance branch circuits for the kitchen/dining/breakfast. (E3703.2)
32. Both metal piping systems and grounded metal parts in contact with the circulating water associated with a hydro massage tub shall be bonded together using an insulated, covered, or bare solid copper bonding jumper not smaller than 8 AWG. (E4209)
33. Provide outside combustion air to all indoor fireplaces with air intake located not higher than the firebox. (R1006.1)
34. At least one thermostat shall be provided for each separate heating and cooling system. (N1103.1)

The following three notes are applicable to New Construction only (BPI certified professionals are approved for testing air leakage in existing buildings, otherwise RESNET professionals are approved for new and existing):

35. The building shall be provided with a whole-house mechanical ventilation system that meets the requirements of Section M1507. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating. (N1103.6)
36. The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding five air changes per hour for detached dwelling units and seven air changes per hour for attached dwelling units. Testing shall be conducted in accordance with ASTM E 779 or ASTM E 1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be conducted by an approved third party (RESNET certified). A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope. (N1102.4.1.2 amended)
37. Ducts, air handlers, and filter boxes shall be sealed in accordance with N1103.3.2. Joints and seams shall comply with Section M1601.4.1. Ducts shall be pressure tested to determine leakage by one of the following methods (N1103.3.3):
    1. Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.
    2. Post-construction test: Total leakage shall be measured with a pressure differential of 0.1 inches w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.
    Exception: A duct leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope.
    A written report of the results shall be signed by the party conducting the test and provided to the code official prior to the Building Final.

THE JK COMPANIES

ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED
JUSTIN KILBANE
406403
Justin Kilbane
03/04/2021
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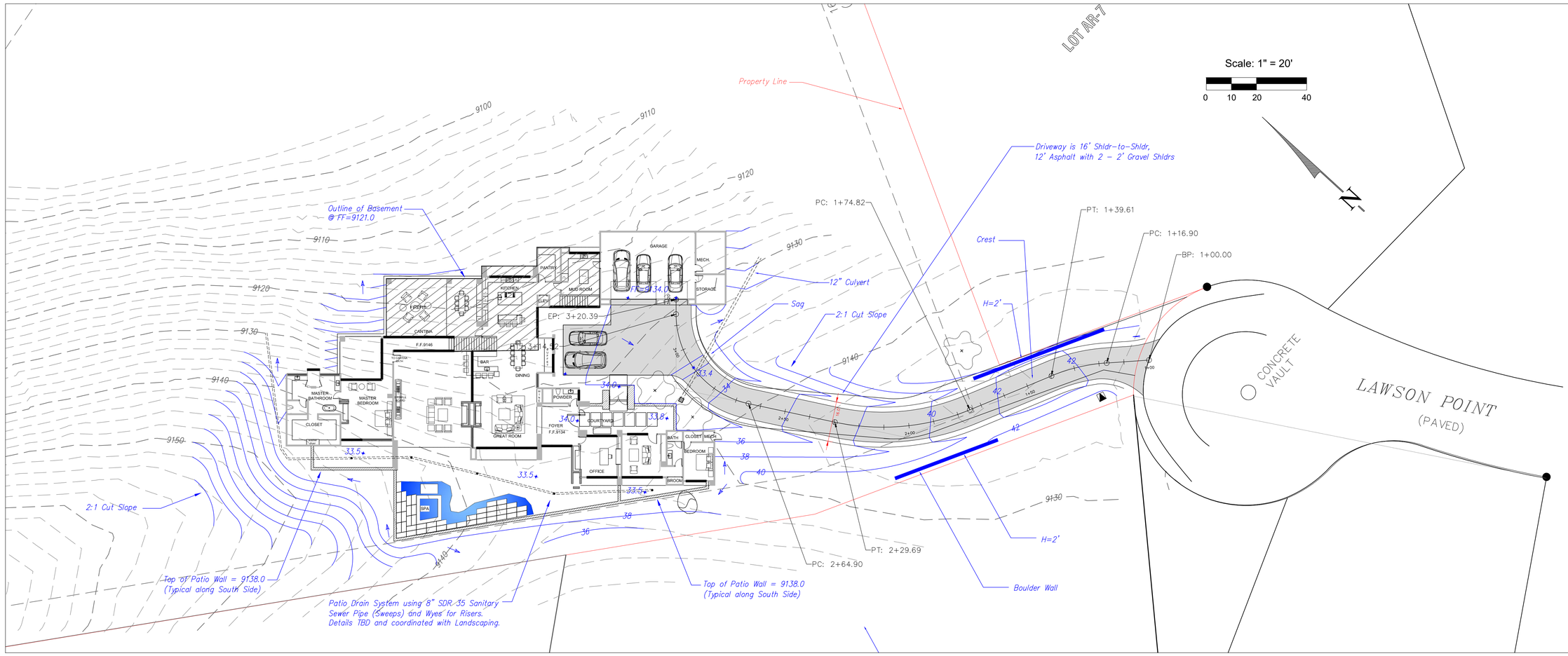

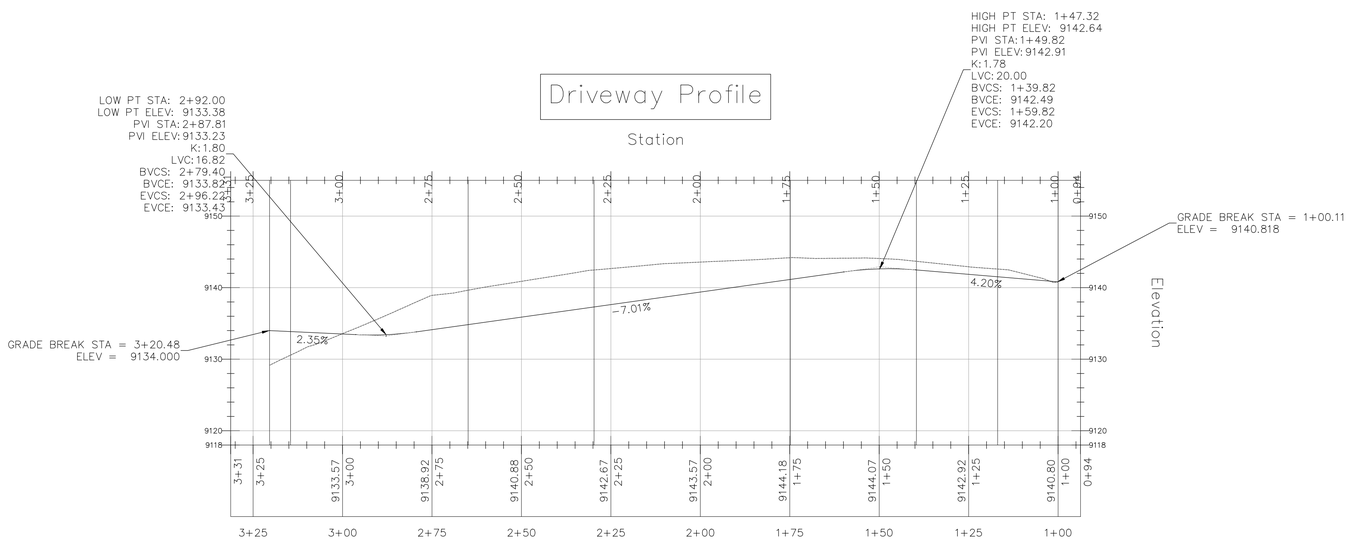

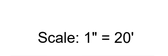

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SUBMISSIONS:

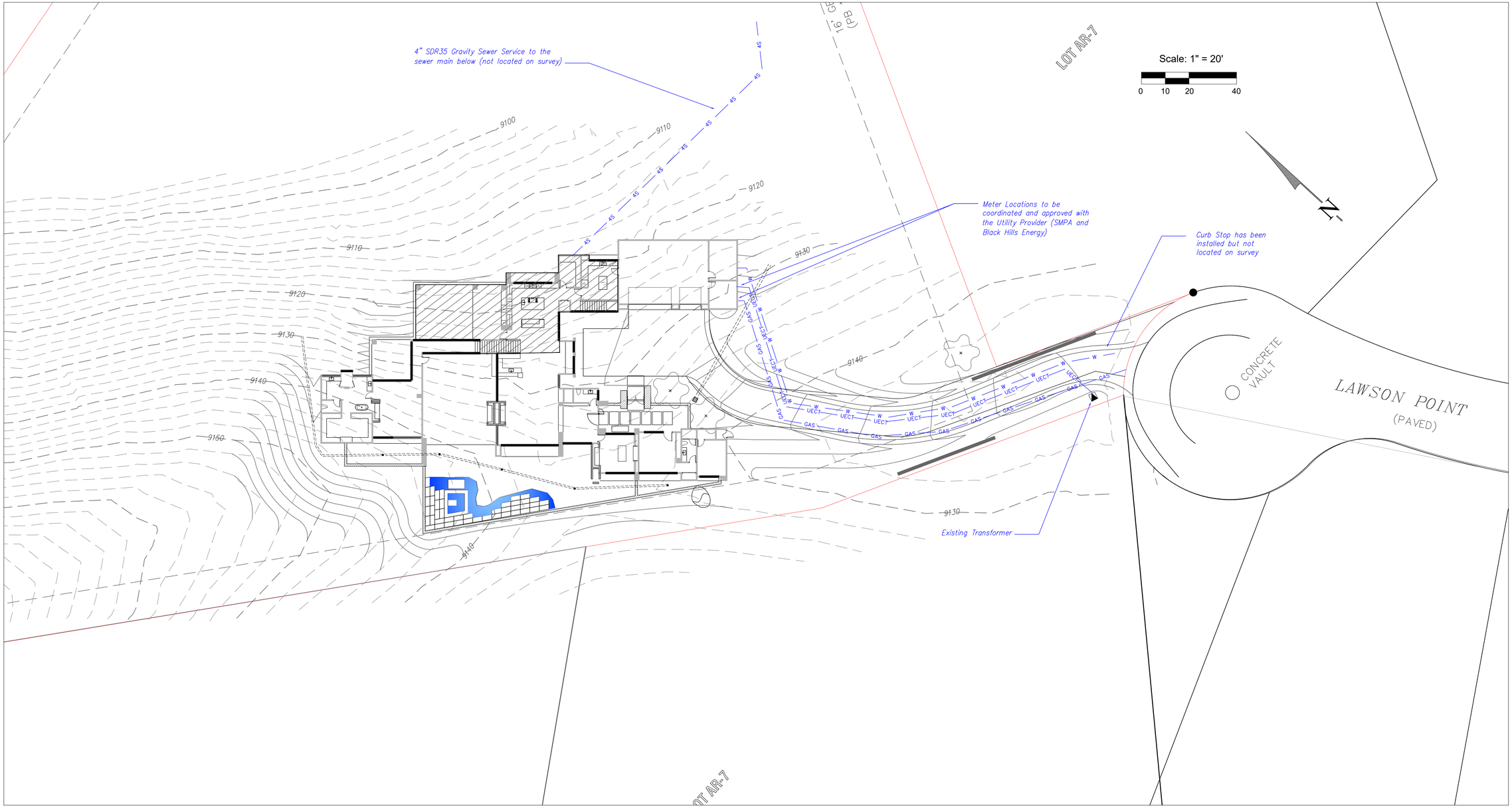
DRB SUBMITTAL 2022-04-30

Brown Residence
Lot AR-25
Mtn. Village, CO

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading
with
Driveway Profile

C2



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DRB SUBMITTAL 2022-04-30

Brown Residence
Lot AR-25
Mtn. Village, CO

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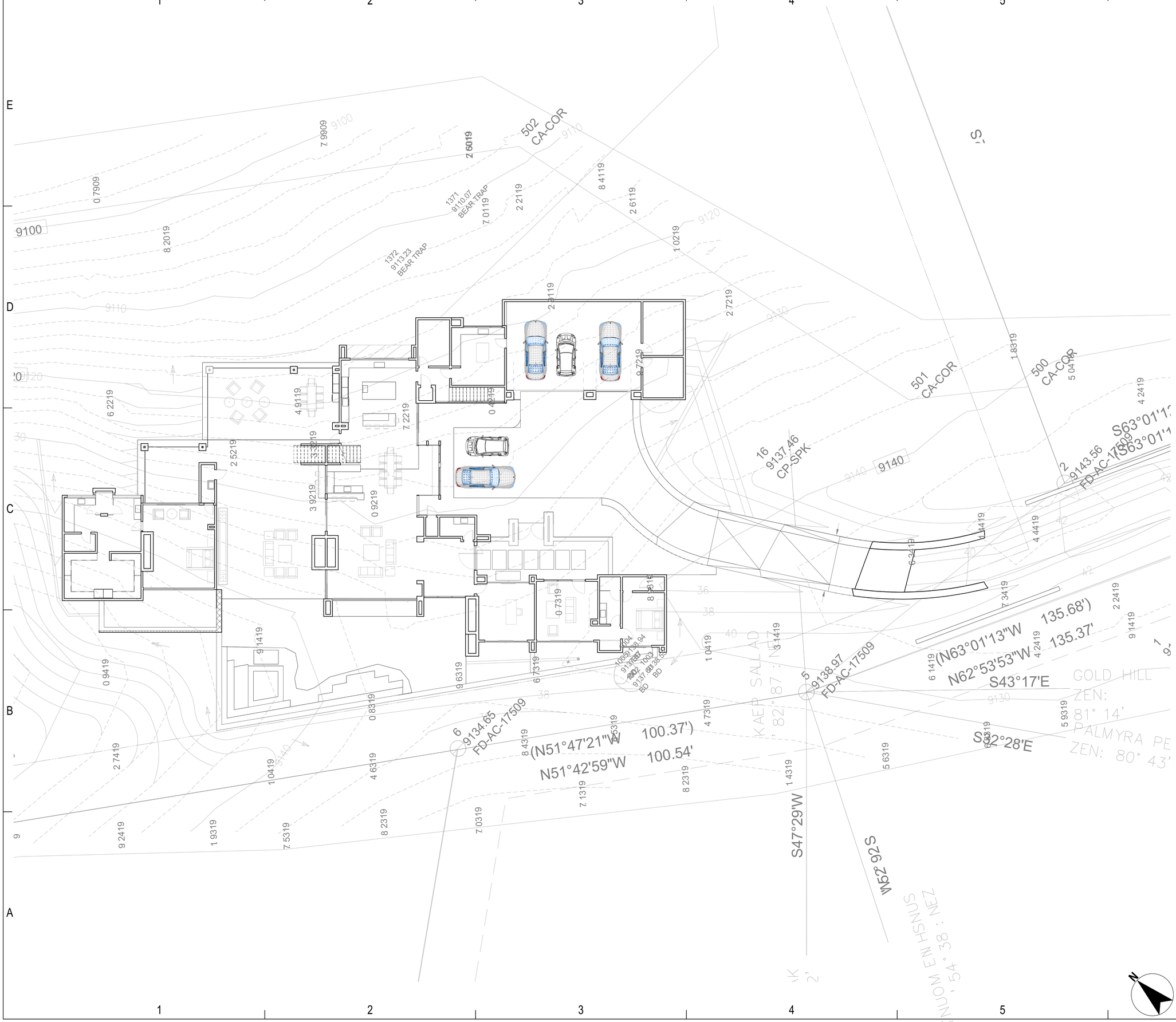
CHRISTOPHER J. HAWKINS
29645
PROFESSIONAL ENGINEER
04-30-22
NOT FOR CONSTRUCTION

CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3



SITE PLAN NOTES:

1. DRIVEWAY PAVERS TO BE SET IN POLYMERIC SAND WITH 12" WIDE CONCRETE BORDER UNDER SOLIDER COURSE.
2. ALL MECHANICAL SCREEN WALLS SHALL BE MIN. 1' HIGHER THAN ANY EQUIPMENT AND TRASH CANS.
3. POOL GATE TO BE OUT-SWINGING AND SELF CLOSING PER SCOTTSDALE POOL CODE.
4. POOL BARRIER FENCE OF WALL SHALL COMPLY WITH ARTICLE 5-3 OF THE SCOTTSDALE CODE AND SECTION 9.09 OF THE SCOTTSDALE ZONING ORDINANCE.
5. SEE LANDSCAPE PLAN AND PRECISE GRADING PLAN FOR ADDITIONAL INFORMATION.
6. ALL SITE & RETAINING WALLS TO BE FINISHED WITH STUCCO OR STONE TO THE MATCH HOUSE PLASTER IN COLOR & TEXTURE.
7. COURTYARD WATER FEATURE/POOL/SPA FINISHES, FIRE ELEMENT AND SITE DETAILS BY LANDSCAPE ARCHITECT
8. POOL, SPA AND WATER FEATURE REQUIRE SEPARATE PERMITS.
9. LANDINGS AT DOORS SHALL HAVE A LENGTH MEASURED IN DIRECTION OF TRAVEL OF NOT LESS THAN 36 INCHES. 2015 IRC R311.3.
10. PROVIDE CONCRETE PADS FOR ALL MECHANICAL, POOL, SPA, AND WATER FEATURE EQUIPMENT.
11. EXPOSED GRADING SHALL BE NATURALLY AND GENTLY CONTOURED. NO "MAN-MADE SLOPES" OR "ENGINEERED DRAINAGE DITCHES" ALLOWED. MAN-MADE GRADING SHALL SOFTLY TRANSITION TO NATURAL GRADE WITH NO "BREAK POINT" OR DEMARCATION.
12. THE SES PANEL SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 4" TALLER THAN THE HIGHEST POINT OF THE SES PANEL. THE CONTRACTOR SHALL INSTALL THE SES PANEL AS LOW AS ALLOWED BY BUILDING CODE AND APS IN AN EFFORT TO MINIMIZE THE HEIGHT OF THE SCREEN WALL. THE CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.
13. EXTERIOR EQUIPMENT INCLUDING BUT NOT LIMITED TO HVAC EQUIPMENT, POOL EQUIPMENT AND TRASH CANS SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 12" TALLER THAN THE HIGHEST POINT OF THE EQUIPMENT. THE CONTRACTOR SHALL VERIFY THE HEIGHT OF THE EXTERIOR EQUIPMENT PRIOR TO CONSTRUCTION OF THE SITE WALL TO ENSURE COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.
14. DRAINAGE OPENNG, DRAIN OUTLETS OR WEEP HOLES IN RETAINING WALLS SHALL OUTLET NO HIGHER THAN 4" ABOVE ADJACENT FINISHED GRADE ON THE EXTERIOR FACE OF WALL.

Scale : 1" = 10'-0"

SITE PLAN

THE JK COMPANIES

ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
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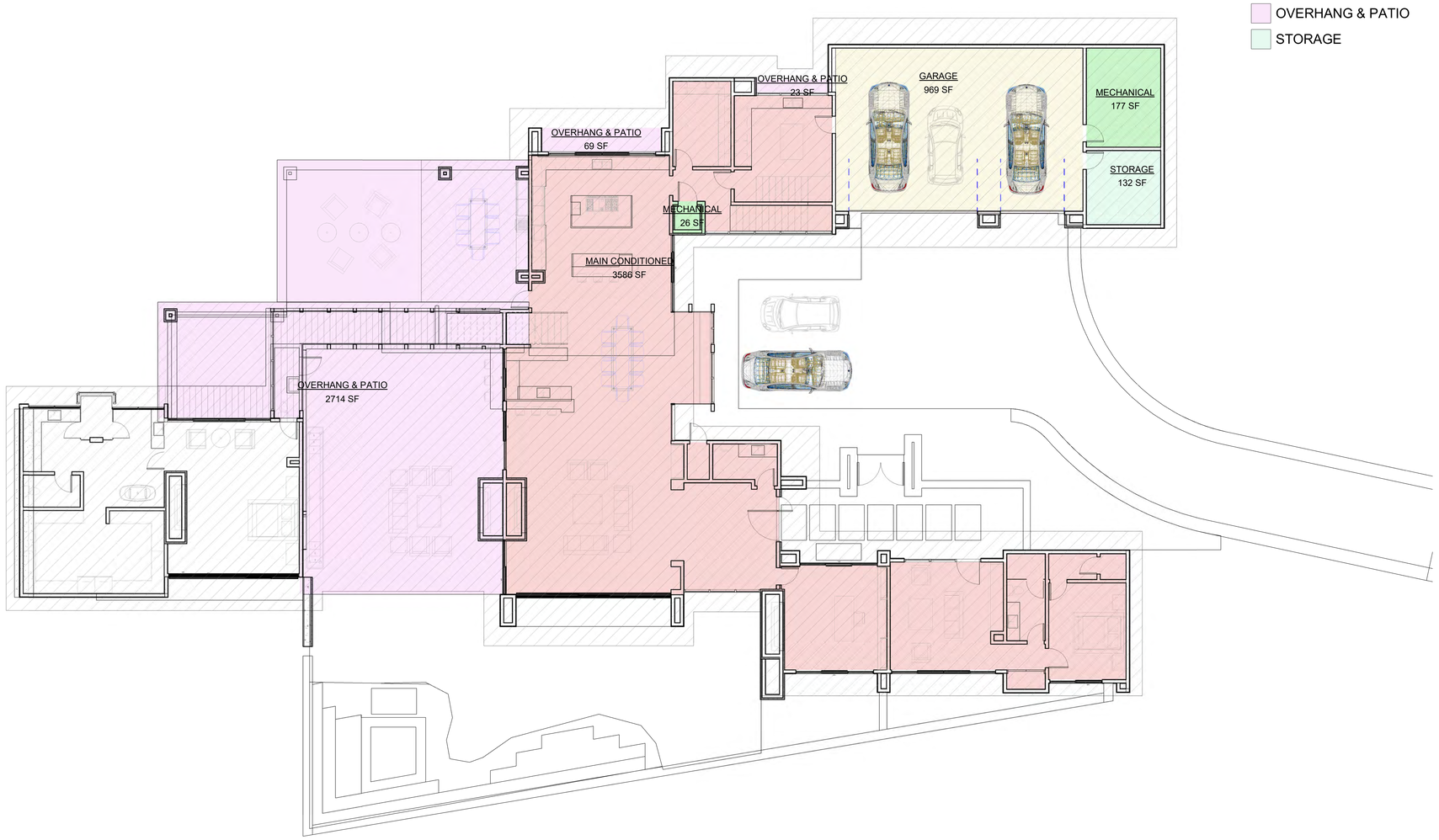

AREA LEGEND

- GARAGE
- MAIN CONDITIONED
- MECHANICAL
- OVERHANG & PATIO
- STORAGE

TOTAL UNDER ROOF 10569.99 SF.

TOTAL CONDITIONED 7328.00 SF.

TOTAL LIVABLE CONDITIONED	
UPPER LEVEL	1573 SF
LOWER LEVEL	2166 SF
MAIN CONDITIONED	3586 SF

UNCONDITIONED SPACES	
OVERHANG & PATIO	23 SF
MECHANICAL	26 SF
OVERHANG & PATIO	69 SF
STORAGE	132 SF
MECHANICAL	177 SF
OVERHANG & PATIO	302 SF
GARAGE	969 SF
OVERHANG & PATIO	2714 SF

Scale : 1/8" = 1'-0"

AREA PLAN

THE JK COMPANIES
ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
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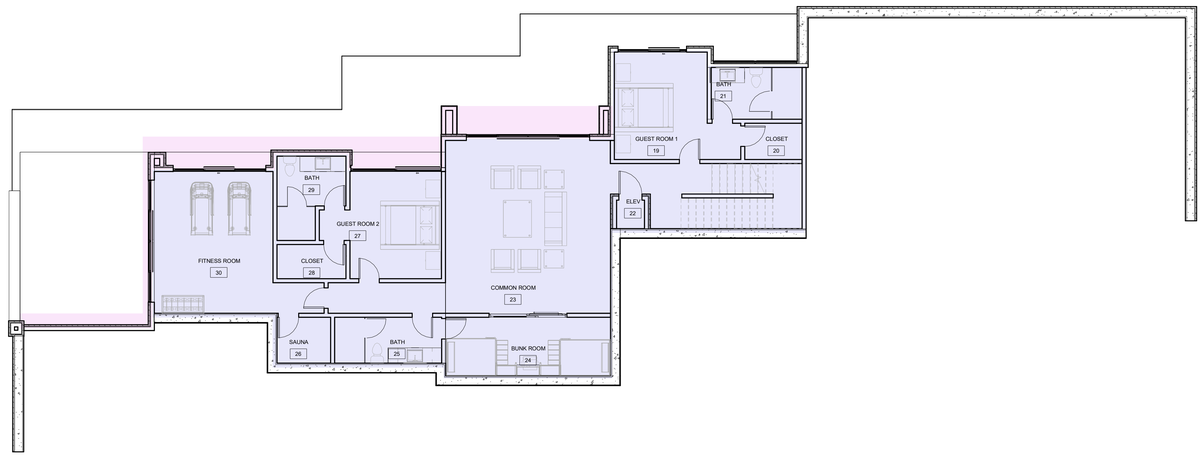
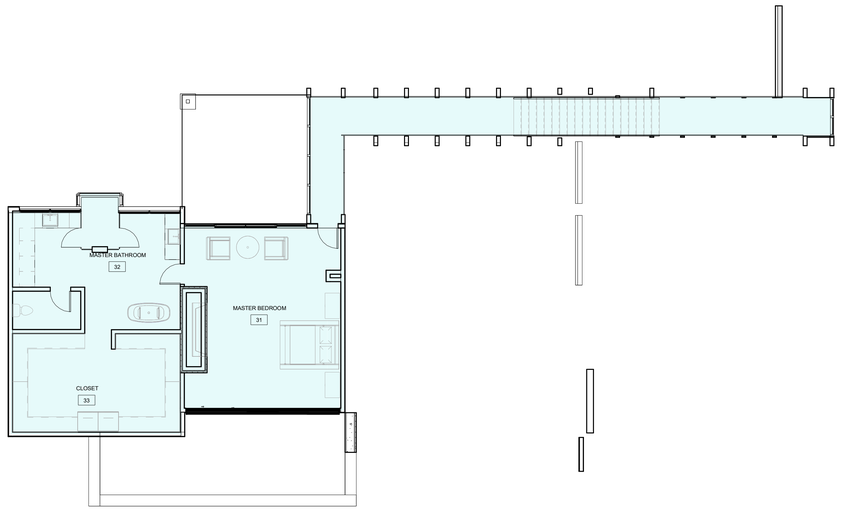


1 Level 1
1/8" = 1'-0"



2 Level 3
1/8" = 1'-0"

TOTAL LIVABLE CONDITIONED	
UPPER LEVEL	1573 SF
LOWER LEVEL	2166 SF
MAIN CONDITIONED	3586 SF

UNCONDITIONED SPACES	
OVERHANG & PATIO	23 SF
MECHANICAL	26 SF
OVERHANG & PATIO	69 SF
STORAGE	132 SF
MECHANICAL	177 SF
OVERHANG & PATIO	302 SF
GARAGE	969 SF
OVERHANG & PATIO	2714 SF

Scale : 1/8" = 1'-0"

AREA PLAN

THE JK COMPANIES
ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
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FIRE MITIGATION LEGEND

ZONE 1 - REMOVE ALL SHRUBS, TREES, SLASH AND FLAMMABLE VEGETATION.

ZONE 2 - 10' CROWN TO SEPERATION, PRUNE BRANCHES TO A HEIGHT OF 10' FROM GROUND.

ZONE 3 - REMOVE ALL DISEASED, DEAD OR DRYING TREES.

EXISTING ASPEN TREE

EXISTING ASPEN TREE

EXISTING EVER GREEN TREE

EXISTING EVER GREEN TREE

1. ALL DIVELOPEMENT SHALL COMPLY WITH CDC 17.6.1 ENVIRONMENTAL REGULATIONS. ADDITIONAL TREE CLEANING WILL BE DONE PER FIRE MITIGATION REQUIREMENTS.
2. CONSISTANT WITH 2018 IRC SECTION R101.4.1 APPENDAGES AND PROJECTIONS: UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS FOLLOWS: NON- COMBUSTIBLE MATERIALs, HEAVY TIMBER, EXTERIOR GRADE IGNITITION RESISTANT MATERIAL SUCH AS THOSE LISTED AS WUIC (WILD AND URBAN INTERFACE CODE) APPROVED PRODUCTS.

ZONE 2 - FIRE MITIGATION IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE CDC 17.6.1 ENVIRONMENTAL REGULATIONS

ZONE 1 - FIRE MITIGATION IN ACCORDANCE WITH THE TOWN OF MOUNTAIN VILLAGE CDC 17.6.1 ENVIRONMENTAL REGULATIONS

LOT AR-25
3.94 AC.
NO IMPROVEMENTS
(CONTAINS 10' UTILITY EASEMENT POSTED)

(BASIS OF BEARINGS)
N81°38'59"E 751.60'
(N81°38'59"E 751.91')

16' GENERAL EASEMENT

(S51°49'29"E 433.05')
N51°47'44"W 432.84'

(N51°47'21"W 100.37')
N51°42'59"W 100.54'

S47°29'W

S62°29'W

(S63°01'12"E 88.36')
S63°01'13"E 88.31')

L= 55.15'

(N63°01'13"W 135.68')
N62°53'53"W 135.37'

S43°17'E

S32°28'E

(S41°06'E 187.16')
S40°59'E 187.20'

WILSON PEAK
ZEN: 83° 32'

N ATNUOM EN HSNUS
ZEN: 54° 38' NEZ

ALMYRA PEAK
ZEN: 80° 43'

OLD HILL
ZEN:
83° 14'

1 FIRE MITIGATION PLAN
1/16" = 1'-0"

Scale : As indicated

FIRE MITIG. PLAN

THE JK COMPANIES
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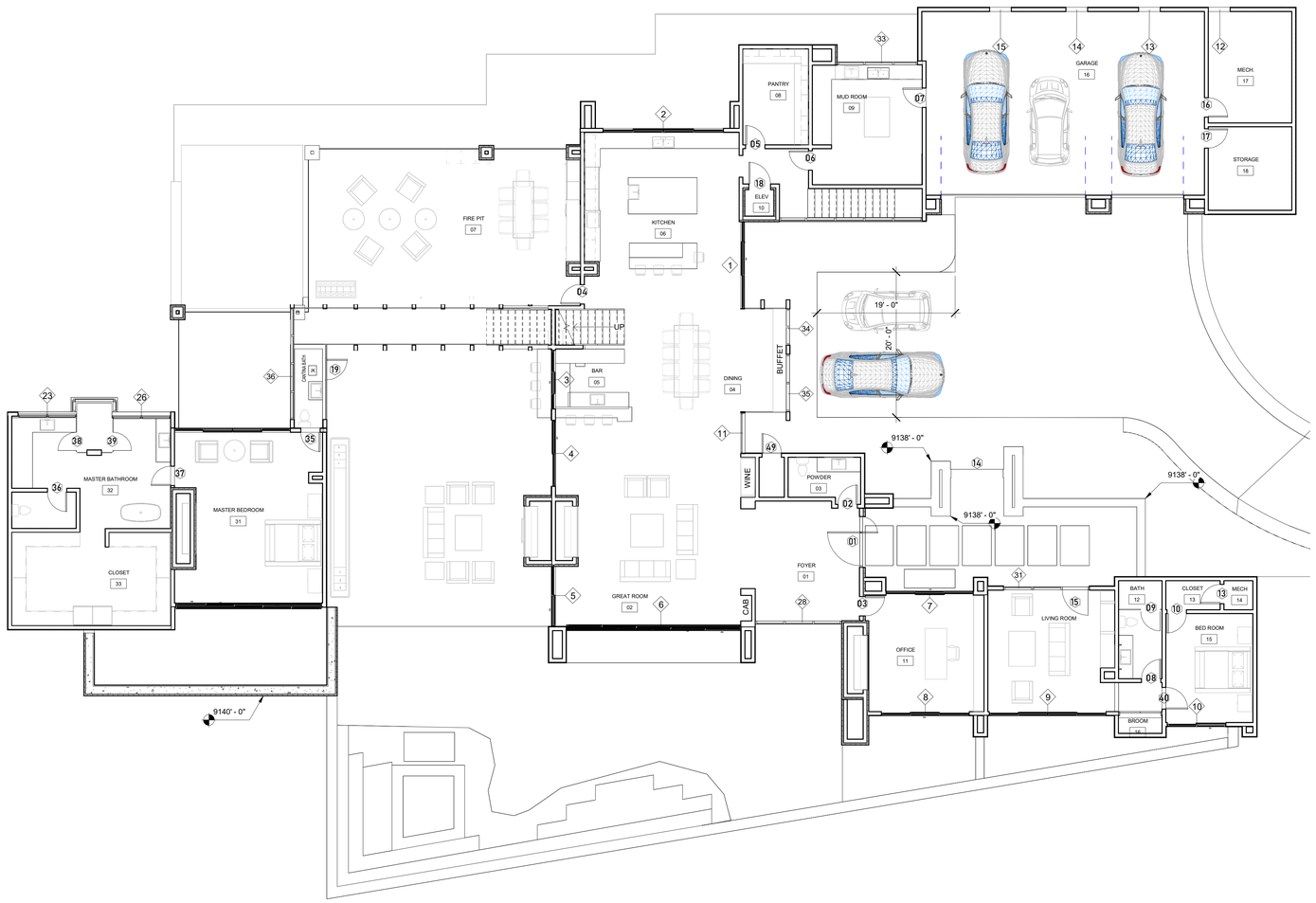

1 Level 2 Floor Plan
1/8" = 1'-0"

SCHEDULES

WINDOW SCHEDULE

Win. No.	Type Mark	Height	Width	Sill Height	Head Height
1	W01	10' - 0"	11' - 11"	3' - 0"	13' - 0"
2	W02	7' - 0"	16' - 6"	3' - 0"	10' - 0"
3	W01	7' - 0"	8' - 0"	3' - 0"	10' - 0"
4	W03	10' - 0"	9' - 0"	0' - 0"	10' - 0"
5	W03	10' - 0"	8' - 5"	0' - 8"	10' - 8"
6	W04	10' - 0"	24' - 0"	0' - 0"	10' - 0"
7	W05	10' - 0"	11' - 11"	0' - 0"	10' - 0"
8	W05	10' - 0"	12' - 0"	0' - 0"	10' - 0"
9	W06	10' - 0"	16' - 0"	0' - 0"	10' - 0"
10	W07	10' - 0"	8' - 0"	0' - 0"	10' - 0"
11	W12	6' - 0"	5' - 8"	3' - 0"	9' - 0"
12	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
13	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
14	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
15	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
16	W09	2' - 0"	10' - 11"	7' - 0"	9' - 0"
17	W08	9' - 0"	15' - 10"	0' - 0"	9' - 0"
18	W01	9' - 0"	12' - 0"	0' - 0"	9' - 0"
19	W03	9' - 0"	11' - 8 1/2"	0' - 0"	9' - 0"
20	W08	9' - 0"	16' - 0"	0' - 0"	9' - 0"
21	W01	9' - 0"	8' - 10"	0' - 0"	9' - 0"
22	W11	4' - 0"	3' - 0"	5' - 0"	9' - 0"
23	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
24	W04	10' - 0"	20' - 0"	0' - 0"	10' - 0"
26	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
30	W08	10' - 0"	15' - 11 1/2"	0' - 0"	10' - 0"
27	W14	Refer Windows Elevation in A-8.2			
28	W15	Refer Windows Elevation in A-8.2			
29	W17	Refer Windows Elevation in A-8.2			
30	W18	Refer Windows Elevation in A-8.2			
31	W13	Refer Windows Elevation in A-8.2			
32	W16	Refer Windows Elevation in A-8.2			
33	W19	Refer Windows Elevation in A-8.2			
34	W22	Refer Windows Elevation in A-8.2			
35	W21	Refer Windows Elevation in A-8.2			
36	W20	Refer Windows Elevation in A-8.2			

DOOR SCHEDULE

DOOR No.	Type	Width	Height	Sill Height	Head Height
01	D04	6' - 9"	8' - 5 1/2"		
02	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
03	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
04	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
05	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
06	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
07	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
08	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
09	GL01	2' - 8"	7' - 2"		
10	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
11	26	19' - 10"	8' - 0"	0' - 0"	8' - 0"
12	28	9' - 10"	8' - 0"	0' - 0"	8' - 0"
13	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
14	D05	7' - 2"	4' - 0"	0' - 0"	4' - 0"
15	GL01	3' - 6 1/2"	11' - 8 1/2"		
16	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
17	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
18	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
19	D02	2' - 10"	7' - 0"	0' - 0"	7' - 0"
20	D06	5' - 11"	8' - 0"	0' - 0"	8' - 0"
21	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
22	D07	10' - 2"	8' - 6"	0' - 0"	8' - 6"
23	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
24	GL01	2' - 6"	7' - 3"		
25	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
26	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
27	GL01	2' - 8"	10' - 6"		
28	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
29	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
30	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
31	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
32	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
33	GL01	2' - 6"	7' - 0"		
34	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
35	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
36	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
37	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
38	GL01	2' - 6"	8' - 0"		
39	GL01	2' - 6"	8' - 0"		
40	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
48	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
49	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"

WALL TYPE

- 2X6 EXTERIOR WALL STONE: 5/8 " DRYWALL INTERIOR-R19 MIN. SPRAY FOAM INSULATION- STONE VENEER EXTERIOR.
- 2X6 EXTERIOR WALL: METAL WALL VENEER INTERIOR-R21 MIN. SPRAY FOAM 5/8" DRYWALL
- 2X6 INTERIOR WALL: 5/8 " DRYWALL EACH SIDE.
- 1-1/2" BASEMENT ABOVE GRADE EXTERIOR WALL STONE: 5/8 " DRYWALL INTERIOR-R19 MIN. SPRAY FOAM INSULATION- STONE VENEER EXTERIOR.
- 1-1/2" BASEMENT BELOW GRADE EXTERIOR WALL STONE: 5/8 " DRYWALL INTERIOR-R19 MIN. SPRAY FOAM INSULATION- STONE VENEER EXTERIOR.
- 8" MASONRY SITE WALL WITH STONE VENEER EACH SIDE.

FLOOR PLAN NOTES:

1. 1. CEMENT BOARD INSTALLED PER MANUFACTURERS RECOMMENDATIONS INSTALLED AT ALL SHOWER AND TUB AREAS PER (R702.4.2). WATER RESISTANT GYP. BOARD SHALL NOT BE USED IN TUB, SHOWERS, OR AREAS ON CONTINUOUS HUMIDITY.
2. ISOKERN MANUFACTURED FIREPLACES PER ICC ESR2316. PROVIDE OUTSIDE COMBUSTION AIR FOR INTERIOR FIREPLACES.(R1006.2).FIREPLACE DAMPERS: WHERE A LISTED DECORATIVE APPLIANCE IS INSTALLED, THE FIREPLACE DAMPER OPENING SHALL COMPLY WITH LISTED DECORATIVE APPLIANCE MANUFACTURE'S INSTALLATION INSTRUCTIONS. (G2453.1)PROVIDE A PERMANENTLY INSTALLED APPROVED DECORATIVE APPLIANCE GAS LOG SET. R1004.4.
3. ALL MECHANICAL UNITS TO BE DIRECT VENT.
4. TANK-LESS DIRECT VENT RINNAI WATER HEATER.
5. MECHANICAL ROOMS TO HAVE 5" TYPE X DRYWALL AT WALLS AND CEILING AND 18" NON- COMBUSTIBLE PLATFORMS FOR EQUIPMENT.
6. PROVIDE A 20 MINUTE FIRE RATED 1-3/8" SOLID DOOR ... SELF-CLOSING,SELF-LATCHING, BETWEEN RESIDENCE AND GARAGE. (R302.5.1 AMEND.).
7. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8 " TYPE X GYPSUM APPLIED TO THE GARAGE SIDE.
8. ALL INTERIOR AND EXTERIOR GLAZING IN BATHROOMS MUST BE SAFTEY GLAZING WHEN THE WHEN THE BOTTOM EDGE IS LESS THAN 60 PER 308.4.5" ABOVE FLOOR LEVEL. (BATHROOMS SHALL BE DEFINED AS A ROOM PROVIDED WITH A TUB OR SHOWER).
9. ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GAUGE MINIMUM. 2012 IRC R302.5.2.
10. WALL CONSTRUCTION. TYPICAL EXTERIOR AND INTERIOR WALL CONSTRUCTION TO BE 2X6 STUDS @ 16" O.C., U.N.O. WALL FRAMING TO BE DONE PER STRUCT. DWGS & SPECS
11. FIRE BLOCKING SHALL BE INSTALLED AT THE LOCATIONS SPECIFIED IN 2012 IRC R302.11, INCLUDING: CONCEALED SPACES OF STUD WALLS AND PARTITIONS,FLOOR AND CEILING AT 10 FT. MAXIMUM INTERVALS BOTH VERTICALLY AND HORIZONTALLY, INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, CONCEALED SPACE BETWEEN STAIR STRINGERS AT TOP AND BOTTOM RUN, AND AT OPENINGS AROUND VENTS, PIPES, DUCTS, AND CHIMNEYS.
12. PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL EXTERIOR HOSE BIBS. 2012 UPC 603.0 AND 603.1.
13. ALL DOORS WITH DIRECT ACCESS TO THE POOL SHALL COMPLY WITH 2012 IRC 3109.4.1.8.1.
14. ALL FOAM PLASTIC INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 75 AND SMOKE DEVELOPED INDEX NOT GREATER THAN 450. 2012 IRC R316.3.
15. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200 AND SMOKE DEVELOPED INDEX NOT GREATER THAN 450. 2012 IRC R302.9.1, 2.9.4.
16. 16. DRAFT STOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONSTRUCTION SO CONCEALED (ATTIC AND/OR FLOOR CEILING SPACE(S) DO NOT EXCEED 1,000 SQFT. 2012 IRC R302.12.
17. WATER CLOSETS, URINALS, LAVATORIES OR BIDET SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL PARTITION VANITY OR OTHER OBSTRUCTION, OR CLOSER THAN 30" CENTER TO CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE AT LEAST A 21" CLEARANCE IN FRONT OF THE WATER CLOSET , URINAL, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR. WATER CLOSET COMPARTMENTS SHALL NOT BE LESS THAN 30" WIDE. R307.1.
18. GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C. OR USE LABELED 1/2" SAG-RESISTANT GYPSUM CEILING BOARD . (TABLE R702.3.5)
19. CORNER WINDOW POST SHALL BE BRAKE METAL TO MATCH WINDOW FRAME
20. MECHANICAL EQUIP.-SEE MECHANICAL PLANS
21. SES-SEE ELECTRICAL
22. WATER SERVICE
23. GAS METER LOCATION- SEE PLUMBING PLANS
24. MILLWORK-SEE INTERIORS
25. OVEN/STEAM
26. REFRIG.
27. FREEZER
28. RANGE/HOOD
29. DISHWASHER
30. WASHER/DRYER
31. BBQ
32. WINE RACK
33. 14" WIDE LADDER PER IRC R310.2.1
34. PAINTED STEEL RAILING 36" A.F.F.
35. UNDER COUNTER FRIDGE
36. UNDER COUNTER ICE
37. TRASH DRAWER PULL OUT

Scale : 1/8" = 1'-0"

FLOOR PLAN L2

THE JK COMPANIES

ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED
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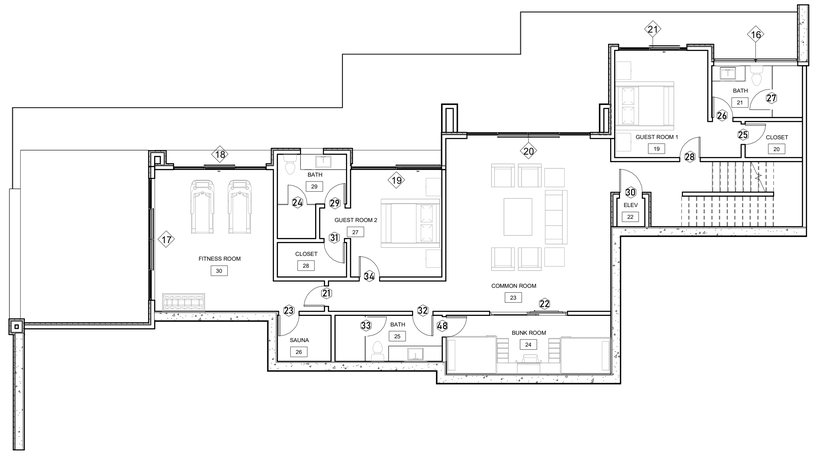
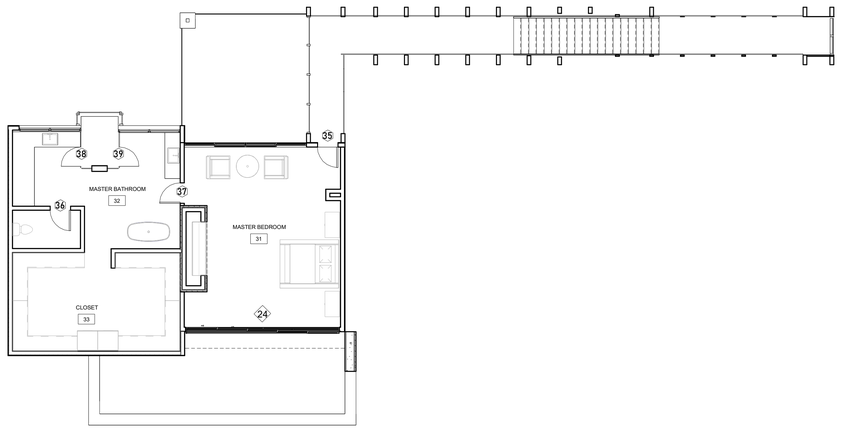


2 Level 1 Floor Plan
1/8" = 1'-0"



1 Level 3 Floor Plan
1/8" = 1'-0"

SCHEDULES

WINDOW SCHEDULE

Win. No.	Type Mark	Height	Width	Sill Height	Head Height
1	W01	10' - 0"	11' - 11"	3' - 0"	13' - 0"
2	W02	7' - 0"	16' - 6"	3' - 0"	10' - 0"
3	W01	7' - 0"	8' - 0"	3' - 0"	10' - 0"
4	W03	10' - 0"	9' - 0"	0' - 0"	10' - 0"
5	W03	10' - 0"	8' - 5"	0' - 8"	10' - 8"
6	W04	10' - 0"	24' - 0"	0' - 0"	10' - 0"
7	W05	10' - 0"	11' - 11"	0' - 0"	10' - 0"
8	W05	10' - 0"	12' - 0"	0' - 0"	10' - 0"
9	W06	10' - 0"	16' - 0"	0' - 0"	10' - 0"
10	W07	10' - 0"	8' - 0"	0' - 0"	10' - 0"
11	W12	6' - 0"	5' - 8"	3' - 0"	9' - 0"
12	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
13	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
14	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
15	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
16	W09	2' - 0"	10' - 11"	7' - 0"	9' - 0"
17	W08	9' - 0"	15' - 10"	0' - 0"	9' - 0"
18	W01	9' - 0"	12' - 0"	0' - 0"	9' - 0"
19	W03	9' - 0"	11' - 8 1/2"	0' - 0"	9' - 0"
20	W08	9' - 0"	16' - 0"	0' - 0"	9' - 0"
21	W01	9' - 0"	8' - 10"	0' - 0"	9' - 0"
22	W11	4' - 0"	3' - 0"	5' - 0"	9' - 0"
23	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
24	W04	10' - 0"	20' - 0"	0' - 0"	10' - 0"
26	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
30	W08	10' - 0"	15' - 11 1/2"	0' - 0"	10' - 0"
27	W14	Refer Windows Elevation in A-8.2			
28	W15	Refer Windows Elevation in A-8.2			
29	W17	Refer Windows Elevation in A-8.2			
30	W18	Refer Windows Elevation in A-8.2			
31	W13	Refer Windows Elevation in A-8.2			
32	W16	Refer Windows Elevation in A-8.2			
33	W19	Refer Windows Elevation in A-8.2			
34	W22	Refer Windows Elevation in A-8.2			
35	W21	Refer Windows Elevation in A-8.2			
36	W20	Refer Windows Elevation in A-8.2			

DOOR SCHEDULE

DOOR No.	Type	Width	Height	Sill Height	Head Height
01	D04	6' - 9"	8' - 5 1/2"		
02	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
03	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
04	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
05	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
06	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
07	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
08	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
09	GL01	2' - 8"	7' - 2"		
10	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
11	26	19' - 10"	8' - 0"	0' - 0"	8' - 0"
12	28	9' - 10"	8' - 0"	0' - 0"	8' - 0"
13	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
14	D05	7' - 2"	4' - 0"	0' - 0"	4' - 0"
15	GL01	3' - 6 1/2"	11' - 8 1/2"		
16	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
17	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
18	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
19	D02	2' - 10"	7' - 0"	0' - 0"	7' - 0"
20	D06	5' - 11"	8' - 0"	0' - 0"	8' - 0"
21	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
22	D07	10' - 2"	8' - 6"	0' - 0"	8' - 6"
23	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
24	GL01	2' - 6"	7' - 3"		
25	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
26	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
27	GL01	2' - 8"	10' - 6"		
28	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
29	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
30	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
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32	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
33	GL01	2' - 6"	7' - 0"		
34	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
35	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
36	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
37	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
38	GL01	2' - 6"	8' - 0"		
39	GL01	2' - 6"	8' - 0"		
40	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
48	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
49	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"

WALL TYPE

- 2X6 EXTERIOR WALL STONE: 5/8 " DRYWALL INTERIOR-R19 MIN. SPRAY FOAM INSULATION- STONE VENEER EXTERIOR.
- 2X6 EXTERIOR WALL: METAL WALL VENEER INTERIOR-R21 MIN. SPRAY FOAM 5/8" DRYWALL
- 2X6 INTERIOR WALL: 5/8 " DRYWALL EACH SIDE.
- 1-1/2" BASEMENT ABOVE GRADE EXTERIOR WALL STONE: 5/8 " DRYWALL INTERIOR-R19 MIN. SPRAY FOAM INSULATION- STONE VENEER EXTERIOR.
- 1-1/2" BASEMENT BELOW GRADE EXTERIOR WALL STONE: 5/8 " DRYWALL INTERIOR-R19 MIN. SPRAY FOAM INSULATION- STONE VENEER EXTERIOR.
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FLOOR PLAN NOTES:

1. 1. CEMENT BOARD INSTALLED PER MANUFACTURERS RECOMMENDATIONS INSTALLED AT ALL SHOWER AND TUB AREAS PER (R702.4.2). WATER RESISTANT GYP. BOARD SHALL NOT BE USED IN TUB, SHOWERS, OR AREAS ON CONTINUOUS HUMIDITY.
2. ISOKERN MANUFACTURED FIREPLACES PER ICC ESR2316. PROVIDE OUTSIDE COMBUSTION AIR FOR INTERIOR FIREPLACES.(R1006.2).FIREPLACE DAMPERS: WHERE A LISTED DECORATIVE APPLIANCE IS INSTALLED, THE FIREPLACE DAMPER OPENING SHALL COMPLY WITH LISTED DECORATIVE APPLIANCE MANUFACTURE'S INSTALLATION INSTRUCTIONS. (G2453.1)PROVIDE A PERMANENTLY INSTALLED APPROVED DECORATIVE APPLIANCE GAS LOG SET. R1004.4.
3. ALL MECHANICAL UNITS TO BE DIRECT VENT.
4. TANK-LESS DIRECT VENT RINNAI WATER HEATER.
5. MECHANICAL ROOMS TO HAVE 5" TYPE X DRYWALL AT WALLS AND CEILING AND 18" NON- COMBUSTIBLE PLATFORMS FOR EQUIPMENT.
6. PROVIDE A 20 MINUTE FIRE RATED 1-3/8" SOLID DOOR ... SELF-CLOSING,SELF-LATCHING, BETWEEN RESIDENCE AND GARAGE. (R302.5.1 AMEND.).
7. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8 " TYPE X GYPSUM APPLIED TO THE GARAGE SIDE.
8. ALL INTERIOR AND EXTERIOR GLAZING IN BATHROOMS MUST BE SAFTEY GLAZING WHEN THE WHEN THE BOTTOM EDGE IS LESS THAN 60 PER 308.4.5" ABOVE FLOOR LEVEL. (BATHROOMS SHALL BE DEFINED AS A ROOM PROVIDED WITH A TUB OR SHOWER).
9. ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GAUGE MINIMUM. 2012 IRC R302.5.2.
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12. PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL EXTERIOR HOSE BIBS. 2012 UPC 603.0 AND 603.1.
13. ALL DOORS WITH DIRECT ACCESS TO THE POOL SHALL COMPLY WITH 2012 IRC 3109.4.1.8.1.
14. ALL FOAM PLASTIC INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 75 AND SMOKE DEVELOPED INDEX NOT GREATER THAN 450. 2012 IRC R316.3.
15. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200 AND SMOKE DEVELOPED INDEX NOT GREATER THAN 450. 2012 IRC R302.9.1, 2.9.4.
16. 16. DRAFT STOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONSTRUCTION SO CONCEALED (ATTIC AND/OR FLOOR CEILING SPACE(S) DO NOT EXCEED 1,000 SQFT. 2012 IRC R302.12.
17. WATER CLOSETS, URINALS, LAVATORIES OR BIDET SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL PARTITION VANITY OR OTHER OBSTRUCTION, OR CLOSER THAN 30" CENTER TO CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE AT LEAST A 21" CLEARANCE IN FRONT OF THE WATER CLOSET , URINAL, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR. WATER CLOSET COMPARTMENTS SHALL NOT BE LESS THAN 30" WIDE. R307.1.
18. GYPSUM BOARD APPLIED TO A CEILING SHALL BE 1/2" WHEN FRAMING MEMBERS ARE 16" O.C. OR 5/8" WHEN FRAMING MEMBERS ARE 24" O.C. OR USE LABELED 1/2" SAG-RESISTANT GYPSUM CEILING BOARD . (TABLE R702.3.5)
19. CORNER WINDOW POST SHALL BE BRAKE METAL TO MATCH WINDOW FRAME
20. MECHANICAL EQUIP.-SEE MECHANICAL PLANS
21. SES-SEE ELECTRICAL
22. WATER SERVICE
23. GAS METER LOCATION- SEE PLUMBING PLANS
24. MILLWORK-SEE INTERIORS
25. OVEN/STEAM
26. REFRIG.
27. FREEZER
28. RANGE/HOOD
29. DISHWASHER
30. WASHER/DRYER
31. BBQ
32. WINE RACK
33. 14" WIDE LADDER PER IRC R310.2.1
34. PAINTED STEEL RAILING 36" A.F.F.
35. UNDER COUNTER FRIDGE
36. UNDER COUNTER ICE
37. TRASH DRAWER PULL OUT

Scale : 1/8" = 1'-0"

FLOOR PLAN L1,L3

THE JK COMPANIES

ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED
JUSTIN KILBANE
406403
Justin Kilbane
03/04/2021
ARCHITECT

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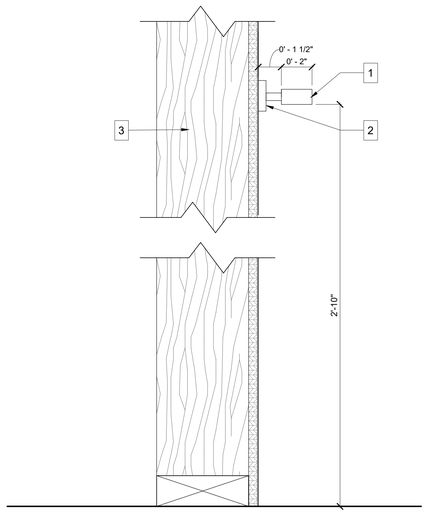


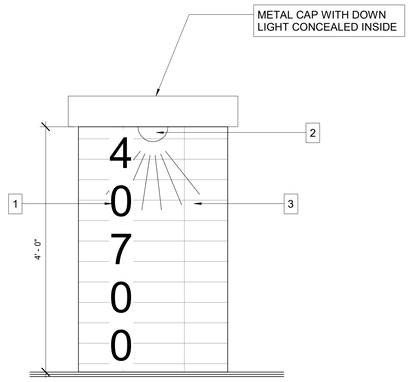
01 HANDRAIL

GENERAL NOTES

A. TOP OF HANDRAILS AND EXTENSIONS SHALL BE NOT LESS THAN 34 INCHES OR MORE THAN 38 INCHES ABOVE THE NOSING OF TREADS AND LANDINGS. R311.7.8.1
B. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.
C. R311.7.8.3.
D. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY POINT ALONG THE TOP.

KEY NOTES

1. PRE-FINISHED PAINTED STEEL GRAB BAR.
2. 3" SQUARE PRE-FINISHED STEEL PLATE OVER LAG SCREW CONNECTIONS.
3. 2X WALL WITH BLOCKING WHERE NEEDED FOR SUPPORT.



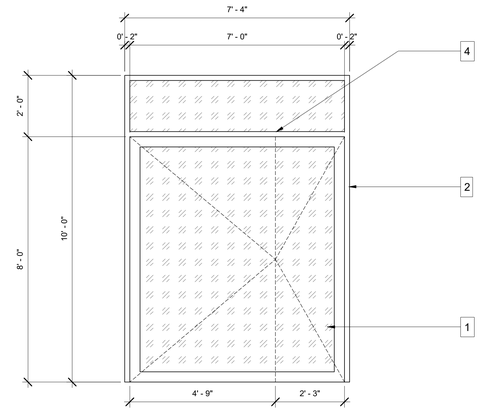
02 ADDRESS MARKER

GENERAL NOTES

MARKER HEIGHT AND PLACEMENT SHALL BE CHECKED WITH TO AVOID ANY UTILITIES AND VERIFIED WITH ARCHITECT.

KEY NOTES

1. 6"H X1" THICK BLACK METAL ADDRESS NUMBERS.
2. LANDSCAPE LIGHT PER PLAN.
3. METAL WOOD SIDING PER HOUSE.



03 FRONT DOOR

GENERAL NOTES

KEY NOTES

1. TEMPERED CLEAR FLOAT GLASS.
2. EBONIZED OAK FRAME.
3. PIVOT HINGE CONCEALED IN HEADER.

04 GARAGE DOOR

GENERAL NOTES

KEY NOTES

1. INSULATED GARAGE DOOR PANEL.
2. BLACK METAL PANELS FINISH FROM MANUFACTURER.
3. DARK BRONZE LIMO TINT WINDOWS.

05 GATES

GENERAL NOTES

A. ALL GATES WITH POOL ACCESS SHALL BE OUT-SWINGING WITH HARDWARE ABOVE 54" A.F.F. AND CONFORM TO ALL GOVERNING POOL CODES.

B. GATE SIZES ON PLAN THAT DIFFER FROM DETAILS SHALL GOVERN.

KEY NOTES

1. POWDER COATED MATTE BLACK STYLE STEEL FRAME.
2. METAL PANEL INTERIOR.
3. SELF CLOSING LATCHING HARDWARE.

06 GUARDRAIL

GENERAL NOTES

KEY NOTES

1. CLEAR GLASS.
2. BLACK ANODIZED SHOE.
3. TILE AROUND ALL BASE.

THE JK COMPANIES
ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

COLORADO LICENSED
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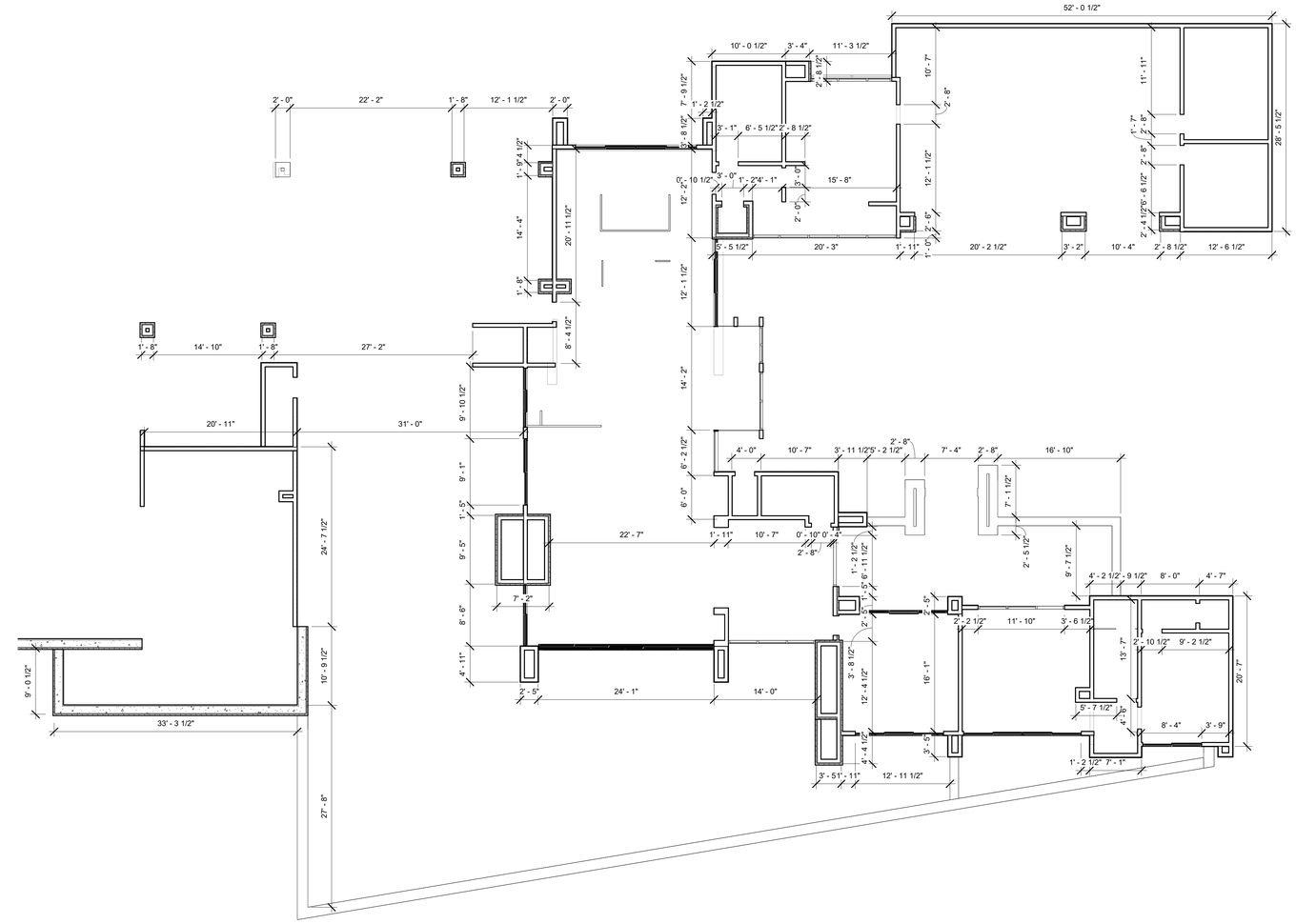
SHEET NO.
A-2.3

Scale : As indicated
FLOOR DETAILS



1 Level 2 Dim Plan
1/8" = 1'-0"

DIMENSION PLAN NOTES:

1. DIMENSIONS ARE TYPICALLY FROM EDGE OF STUD, CENTER OF RADIUS, CENTER OF OPENING, CENTER OF STEEL OR EDGE OF CONCRETE.
2. NOTE EDGE OF CONCRETE FOUNDATION @ STONE LEDGE AND/OR WAINSCOT = F.O.C.
3. GENERAL CONTRACTOR SHALL BRING ANY DISCREPENCIES WITH THESE DIMENSIONS TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
4. EXISTING FIELD CONDITIONS SHALL BE DIMENSIONALLY VERIFIED PRIOR TO CONSTRUCTION.
5. DEPRESS ALL SLABS 1 1/2" FOR STONE SETTING BED. SEE NOTED FLOOR PLAN FOR LOCATIONS. SEE FOUNDATION PLAN FOR SHOWER AND TUB DEPRESSIONS.

Scale : 1/8" = 1'-0"

DIM. PLAN

THE JK COMPANIES

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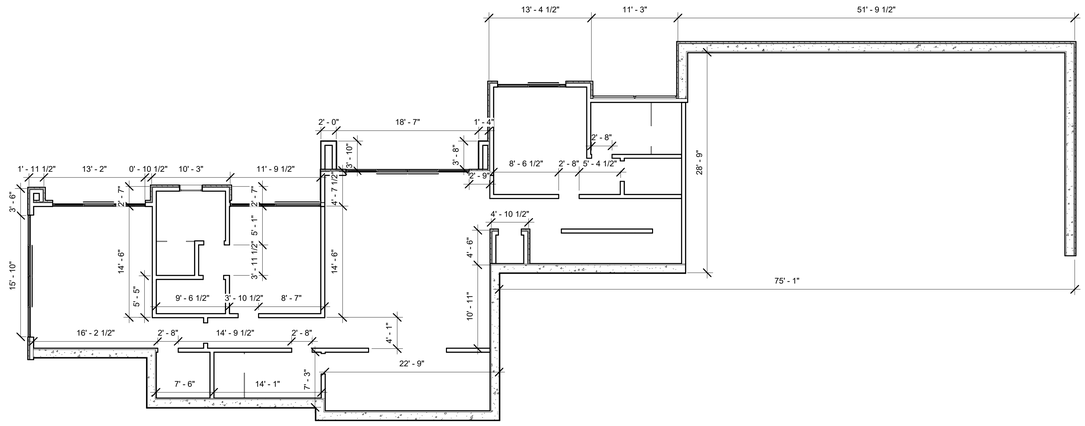
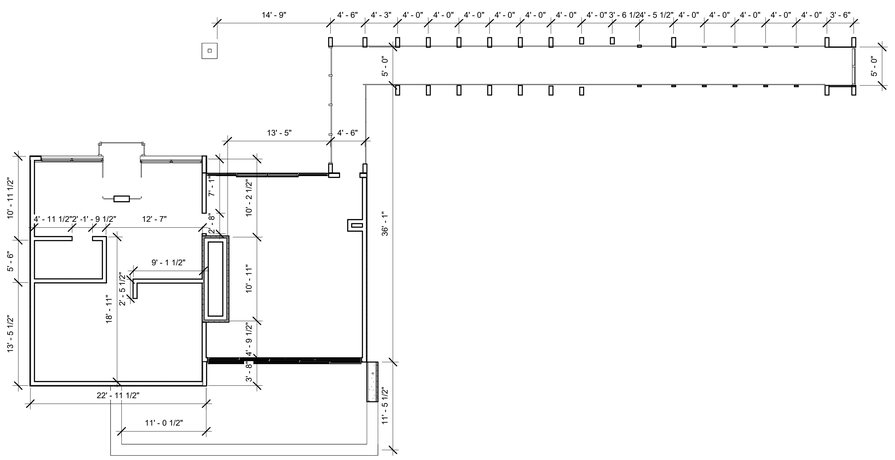


1 Level 1 Dim Plan
1/8" = 1'-0"



2 Level 3 Dim Plan
1/8" = 1'-0"

DIMENSION PLAN NOTES:

1. DIMENSIONS ARE TYPICALLY FROM EDGE OF STUD, CENTER OF RADIUS, CENTER OF OPENING, CENTER OF STEEL OR EDGE OF CONCRETE.
2. NOTE EDGE OF CONCRETE FOUNDATION @ STONE LEDGE AND/OR WAINSCOT = F.O.C.
3. GENERAL CONTRACTOR SHALL BRING ANY DISCREPENCIES WITH THESE DIMENSIONS TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
4. EXISTING FIELD CONDITIONS SHALL BE DIMENSIONALLY VERIFIED PRIOR TO CONSTRUCTION.
5. DEPRESS ALL SLABS 1 1/2" FOR STONE SETTING BED. SEE NOTED FLOOR PLAN FOR LOCATIONS. SEE FOUNDATION PLAN FOR SHOWER AND TUB DEPRESSIONS.

Scale : 1/8" = 1'-0"

DIM. PLAN

THE JK COMPANIES
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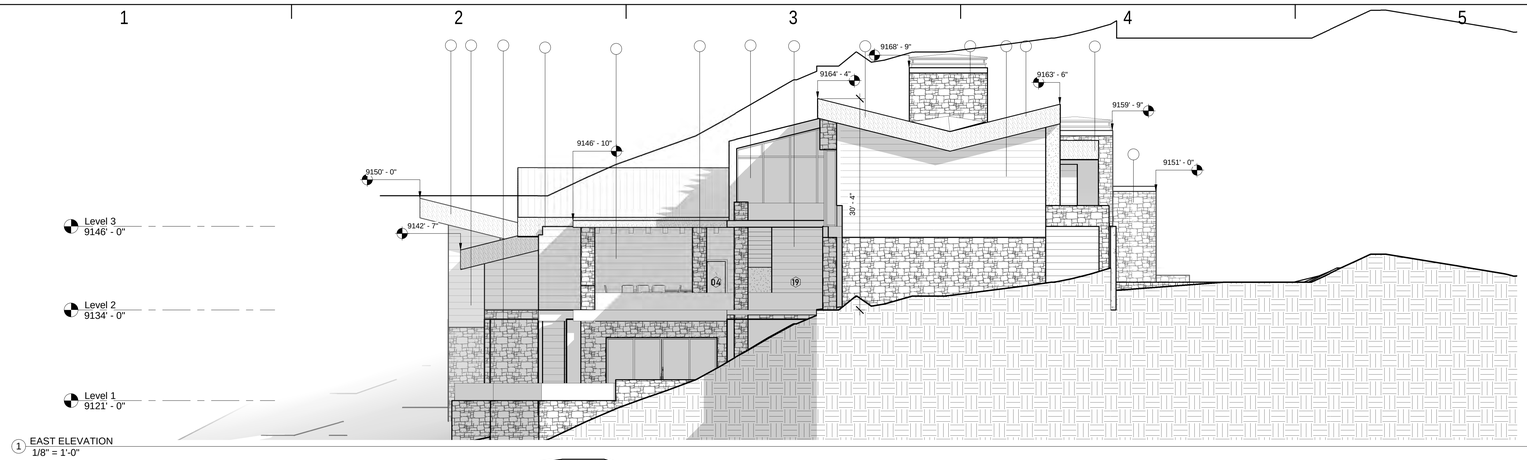
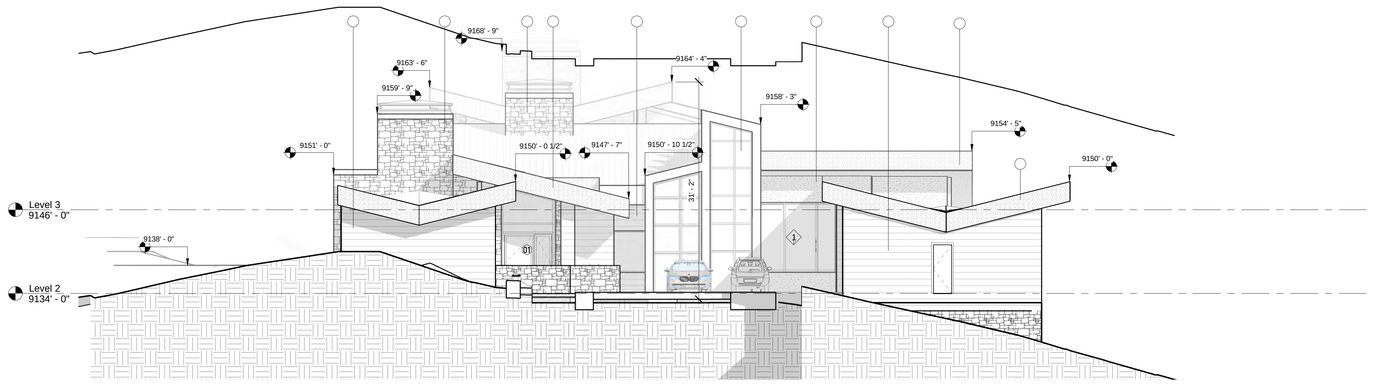


1 EAST ELEVATION
1/8" = 1'-0"



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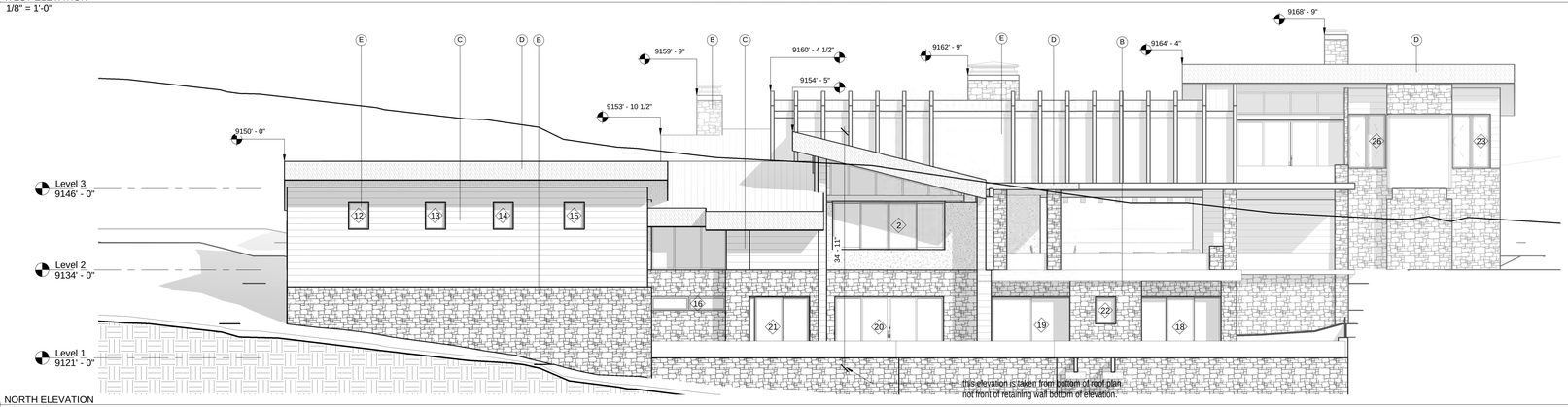
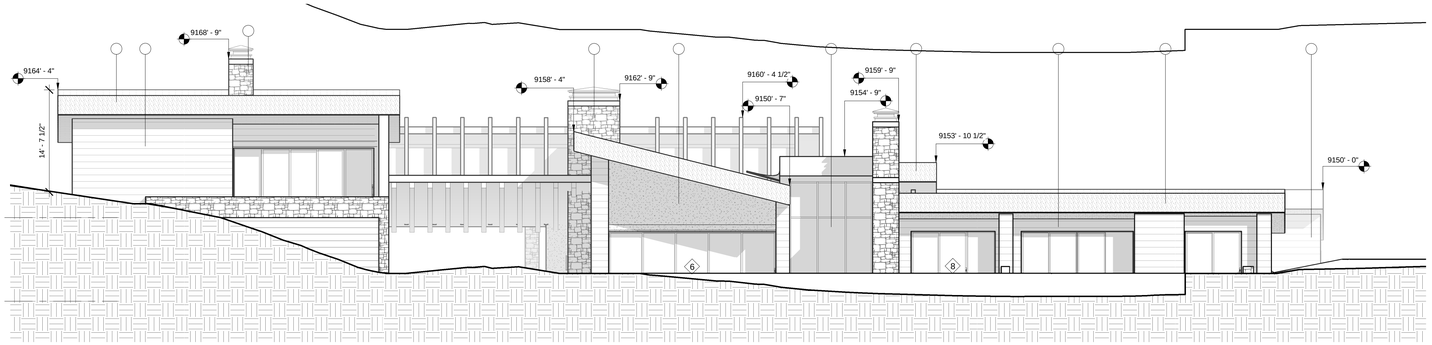


3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

ELEVATION NOTES:

1. EXTERIOR STONE VENEER. CONTRACTOR TO INSTALL PER 2018 CODE IRC CHAPTER 7, TABLE R703.4 AND FIGURE R703.7. SEE DETAIL 1/A-5.3.
2. METAL ROOF SET OVER 90 POUND CAP SHEET - REFER TO ROOF PLAN FOR SPECIFICATIONS. SEE DETAIL
3. G.I. WEEP SCREED AT PERIMETER OF BUILDING SHELL BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL BE NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED. 2015 IRC 317.1 (5). SEE DETAILS THROUGH 3,4/5.3 &5.4
4. SES LOCATION BEYOND SCREEN WALL
5. WINDOW POST SHALL BE CLAD IN BRAKE METAL TO MATCH WINDOW FRAMES. POST SHALL LOOK LIKE INTEGRAL PART OF THE WINDOW ASSEMBLY.
6. THE SES PANEL SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 4" TALLER THAN THE HIGHEST POINT OF THE SES PANEL. THE CONTRACTOR SHALL INSTALL THE SES PANEL AS LOW AS ALLOWED BY BUILDING CODE AND APS IN AN EFFORT TO MINIMIZE THE HEIGHT OF THE SCREEN WALL. THE CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.
7. EXTERIOR EQUIPMENT INCLUDING BUT NOT LIMITED TO HVAC EQUIPMENT, POOL EQUIPMENT AND TRASH CANS SHALL BE SCREENED BY A SOLID WALL AND SOLID GATE THAT ARE A MINIMUM OF 12" TALLER THAN THE HIGHEST POINT OF THE EQUIPMENT. THE CONTRACTOR SHALL VERIFY THE HEIGHT OF THE EXTERIOR EQUIPMENT PRIOR TO CONSTRUCTION OF THE SITE WALL TO ENSURE COMPLIANCE DURING CONSTRUCTION. FAILURE TO COMPLY WILL RESULT IN THE WORK HAVING TO BE REDONE UNTIL COMPLIANCE IS ACHIEVED REGARDLESS OF COST OR DELAY.

R312.1 Guards.
Guards shall be provided in accordance with Sections R312.1.1 through R312.1.4.
R312.1.1 Where required.
Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.
R312.1.2 Height.
Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.
R312.1.3 Opening limitations.
Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

WALL MATERIAL PERCENTAGE

	Material Name	Area(in Sq. Ft)	Percentage
EAST ELEVATION (2631.84 Sq. Ft)			
1.	Glass	266.741	10.13%
2.	Stone	747.23	28.39%
3.	Wall Panel	887.49	33.72%
WEST ELEVATION (2397.07 Sq. Ft)			
1.	Glass	455.00	18.98%
2.	Stone	317.98	13.26%
3.	Wall Panel	717.05	29.91%
NORTH ELEVATION (6640.21 Sq. Ft)			
1.	Glass	1836.32	27.65%
2.	Stone	2203.32	33.18%
3.	Wall Panel	970.36	14.61%
SOUTH ELEVATION (2769.67 Sq. Ft)			
1.	Glass	775.45	27.99%
2.	Stone	220.99	7.97%
3.	Wall Panel	541.29	19.54%

MATERIAL LIST

A. **DRIVEWAY PAVERS**: CATALINA PAVERS IN RIO COLOR.

B. **EXTERIOR STONE**: TELLURIDE GOLD DRYSTACK.

C. **WALL PANELS**: T8 PLANKWALL WEATHERED WOOD COLOR METAL WALL PANEL.

D. **ROOFING AND FASCIAS**: MATTE DARK BRONZE STANDING SEAM PANELS.

E. **WINDOWS & DOORS**: SIERRA PACIFIC DARK ANODIZED FINISH.

Scale : 1/8" = 1'-0"

ELEVATIONS

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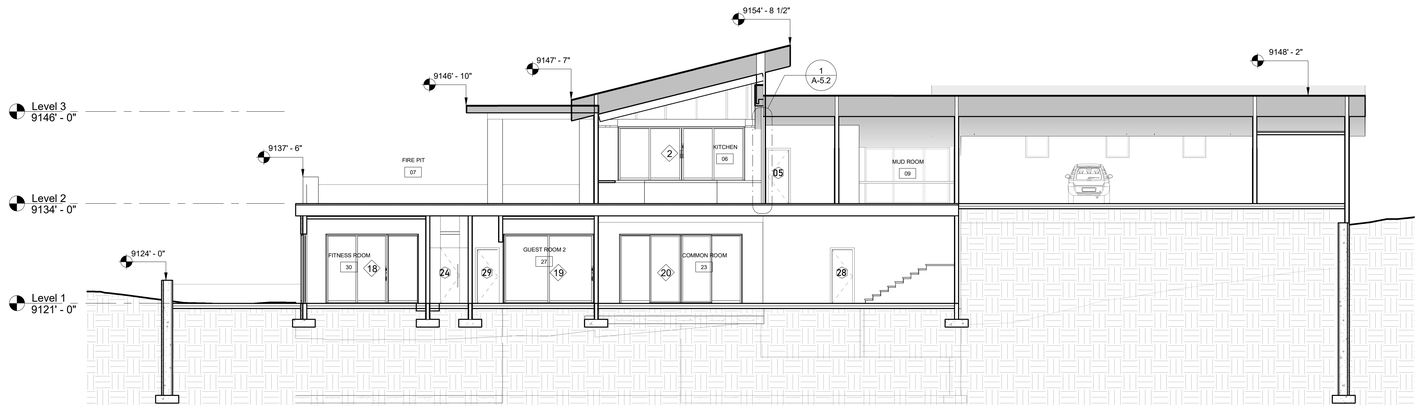
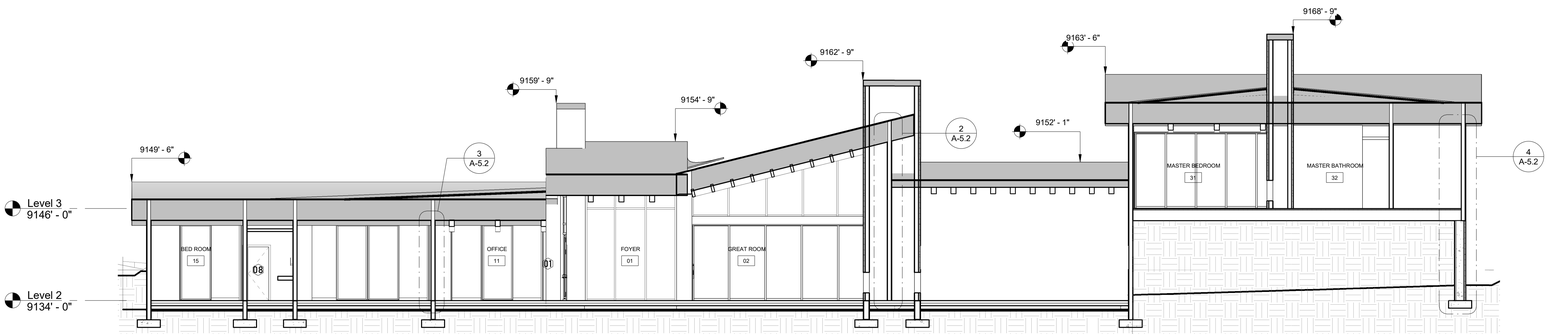
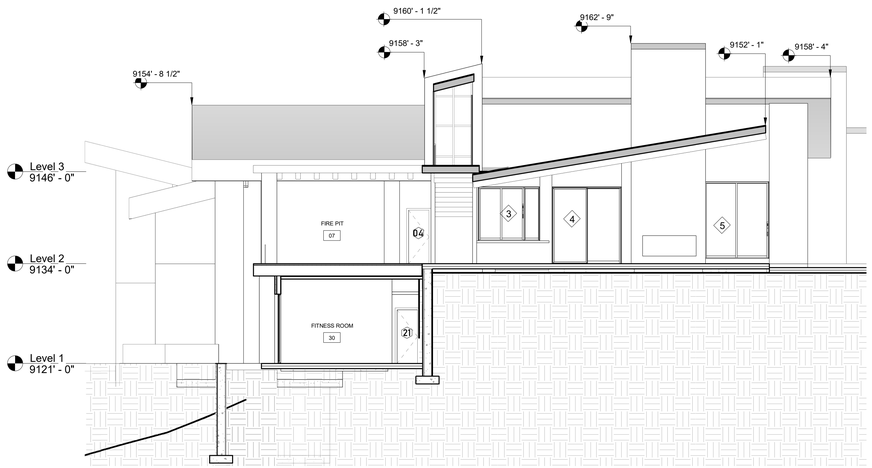


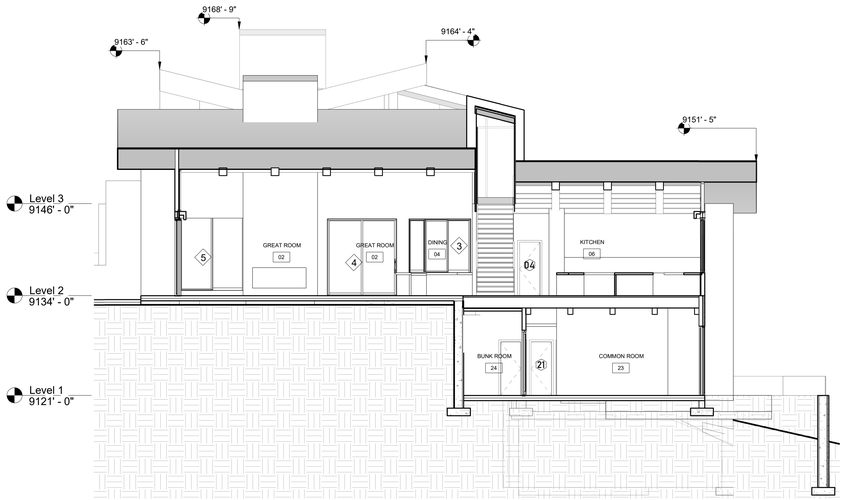
1 SECTION 01
1/8" = 1'-0"



2 SECTION 02
1/8" = 1'-0"



3 SECTION 03
1/8" = 1'-0"



4 SECTION 04
1/8" = 1'-0"

SECTION NOTES:

1. ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GAUGE MINIMUM. IRC R302.5.2.
2. FIRE BLOCKING SHALL BE INSTALLED AT THE LOCATIONS SPECIFIED IN IRC R302.11, INCLUDING: CONCEALED SPACES OF STUD WALLS AND PARTITIONS, FLOOR AND CEILING AT 10 FT. MAXIMUM INTERVALS BOTH VERTICALLY AND HORIZONTALLY, INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, CONCEALED SPACE BETWEEN STAIR STRINGERS AT TOP AND BOTTOM RUN, AND AT OPENINGS AROUND VENTS, PIPES, DUCTS, AND CHIMNEYS.
3. NO COMBUSTIBLE MATERIALS SHALL BE LESS THAN 12" OF FIREPLACE OPENINGS PER IRC R1001.9 THRU R1001.11.
4. TYPICAL EXTERIOR AND INTERIOR WALL CONSTRUCTION TO BE 2X6 STUDS @ 16 O.C. UNLESS DIMENSIONED OR NOTED OTHERWISE. ALL EXTERIOR WALLS TO RECEIVE 1/2" OSB SHEAR. WALL FRAMING TO BE DONE PER STRUCTURAL DRAWINGS AND SPECS.
5. 5/8" TYPE 'X' GYPSUM BOARD SCREWED IN PLACE. CONTRACTOR TO INSTALL PER IRC R702.3
6. WALL AND CEILING/FLOOR INSULATION TO BE ISYNENE SPRAY FOAM R-21 AND R-38 MINIMUM RESPECTIVELY PER ICC-ESR 1826.
7. ROOF TRUSSES. REFER TO FRAMING PLAN FOR ON-CENTER SPACING. REFER TO TRUSS MANUFACTURER'S CALCULATIONS AND SHOP DRAWINGS FOR DEPTH AND TYPE. TRUSSES TO BE INSTALLED PER STRUCT. ENGINEER'S SPECS / DETAILS AND PER TRUSS MANUFACTURER'S SHOP DRAWINGS AND WRITTEN INSTRUCTIONS.
8. EXTERIOR BRICK VENEER. CONTRACTOR TO INSTALL PER IRC CHAPTER 7, TABLE R703.4 AND FIGURE R703.7.
9. WESTERN ONE KOTE PRE- BLENDED EXTERIOR PORTLAND CEMENT PLASTER SMOOTH HAND TROWELED SENERGY SERNERLASTIC FINE FINISH. CONTRACTOR TO INSTALL PER IRC R703.6..
10. METAL BATTEN ROOF. REFER ROOF PLAN FOR SPECIFICATIONS. HIGH TEMP. UNDERLAYMENT SYSTEM . PROVIDE INSTALLATION COMPLETE WITH ALL ROOF TO WALL FLASHING AND CANT STRIPS. PROVIDE FLASHING AT ALL ROOF CAPS AND ROOF PENETRATIONS.
#ESR-1274 OR APPROVED EQUAL. INSTALL PER MANUFACTURER SPECIFICATIONS. ROOF SHALL HAVE A CLASS 'A' FIRE RATING LABEL.
11. SPARK ARRESTOR. SPARK ARRESTOR TO COMPLY WITH ALL REQUIREMENTS UNDER IRC R 1003.9.1 INSTALLED PER MANUFACTURES SPECS.
12. G.I. WEEP SCREED AT PERIMETER OF BUILDING SHALL BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL BE NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED.
13. DRAPERY POCKET. SINGLE LUTRON ROLLER SHADE. PROVIDE 6"X6" FRAMED OPENING.
14. DRAPERY POCKET. DOUBLE LUTRON ROLLER SHADES W/BLACKOUT. PROVIDE 8"X12" FRAMED OPENING.
15. FORCED AIR PLATFORM @ +18" A.F.F. HOLD PLATFORM AWAY FROM INTERIOR WALLS MIN. 2" TO MINIMIZE SOUND ATTENUATION.
16. RECESSED OPENING FOR FLAT PANEL TELEVISION. CONTRACTOR TO VERIFY OPENING PER TELEVISION SPECIFICATIONS.
17. RAISED HEARTH W/ NON COMBUSTIBLE FINISHED MATERIAL PER INTERIOR SPECIFICATIONS. RAISED HEARTH TO COMPLY WITH IRC SECTIONS R1001.9 & R1001.10
18. DWELLING/GARAGE FIRE SEPARATION - 5/8" TYPE 'X' GYP. BOARD @ WALLS AND CELING. CONTRACTOR TO INSTALL PER IRC 2015 R302.6.
19. 5/8" TYPE 'X' GYP. BOARD APPLIED TO THE UNDERSIDE OF AN ENCLOSED ACCESSIBLE STAIRWAY PER IRC R302.7.
20. 4" CONCRETE ON 4" A.B.C. ON NATURAL GRADE STRIP A MIN. 12" DOWN AND FILL WITH ENGINEERED NON-EXPANSIVE ENGINEERED COMPACTED SOIL TO MIN. 95% COMPACTION.
21. FOAM PLASTICS SHALL BE SEPARATED FROM ATTICS AND CRAWL SPACES. (R314.2.3).

Scale : 1/8" = 1'-0"

BUILD. SECTIONS

THE JK COMPANIES

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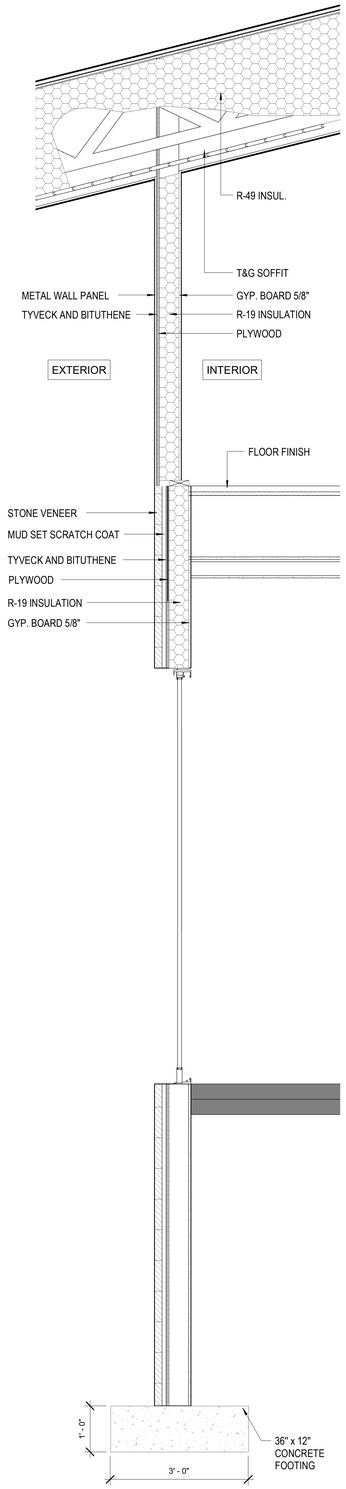
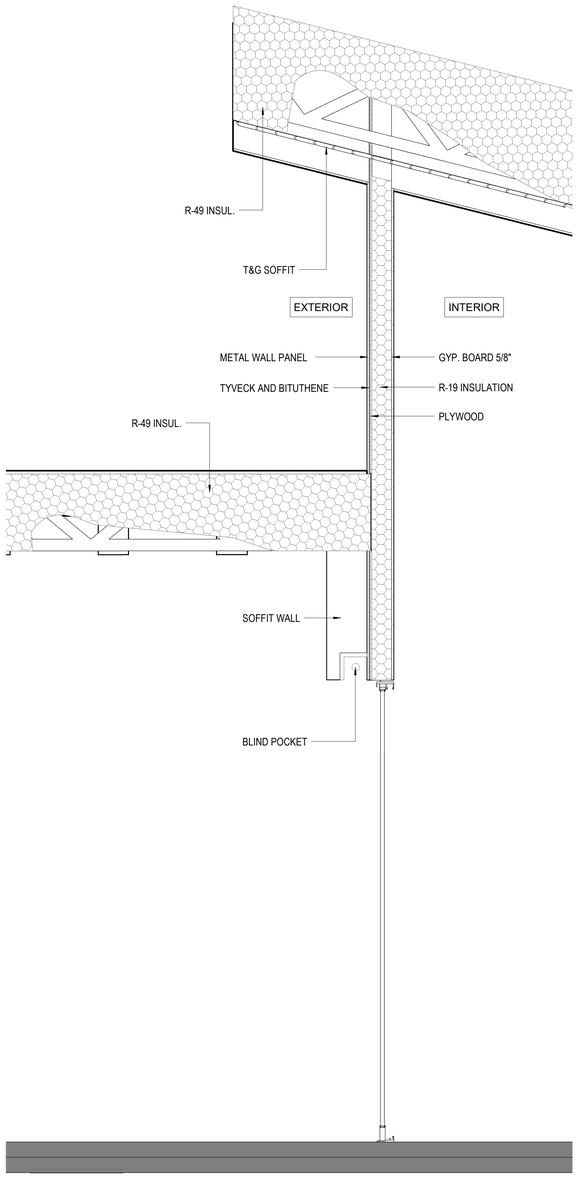


1 WALL SECTION 01
3/4" = 1'-0"



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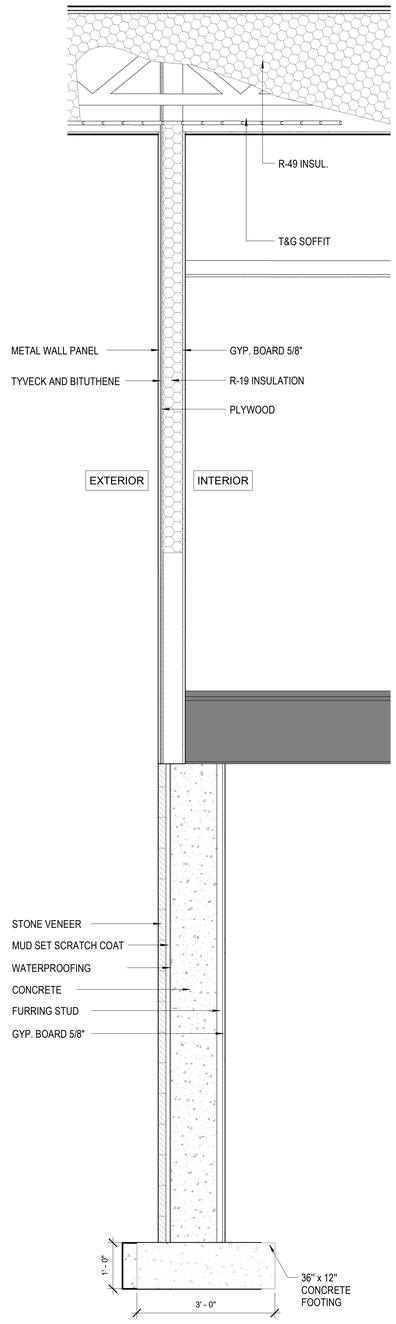
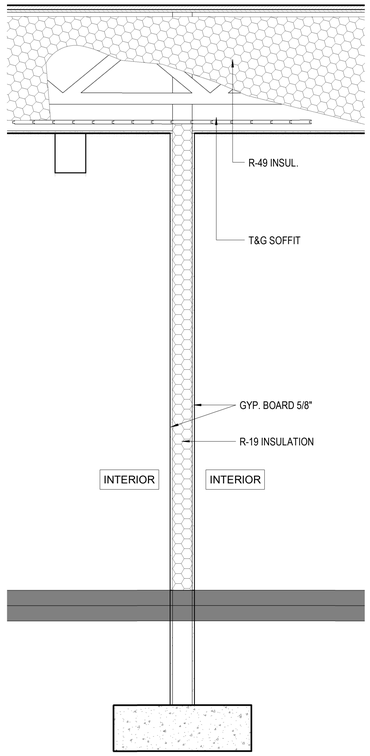


4 WALL SECTION 04
3/4" = 1'-0"



3 WALL SECTION 03
3/4" = 1'-0"

Scale : 3/4" = 1'-0"

WALL SECTIONS

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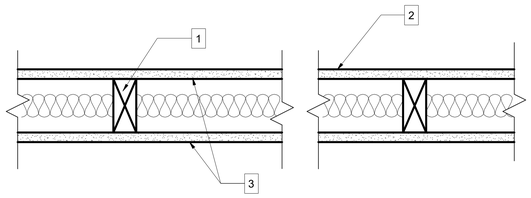
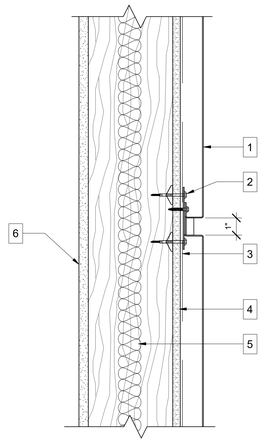


01 1 HOUR RATED FIRE WALL

GENERAL NOTES

KEY NOTES

1. 2x WALL FRAMING PER PLANS
2. 5/8" TYPE 'X' GYP. BD. BOTH SIDES
3. (1) LAYER 5/8" TYPE 'X' GYP. BD. APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2x WOOD FRAMING W/ 6d COATED NAILS 17/8" LONG, .0915" SHANK, 1/4" HEADS, @ 7" O.C. JOINTS STAGGERED 24" ON OPPOSITE SIDES (LOAD BEARING)

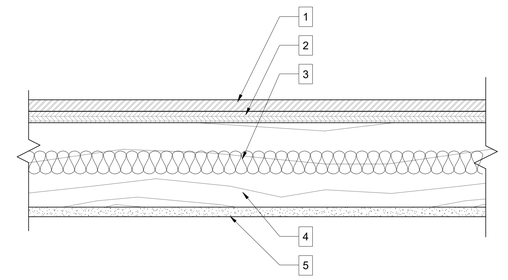


02 METAL PANEL WALL ASSEMBLY

GENERAL NOTES

KEY NOTES

1. METAL PANEL
2. S.S. FASTENER W/ NEOPRENE WASHER
3. TYVEK WEATHER RESISTIVE BARRIER
4. FRAMING/SHEATHING PER STRUCTURAL
5. R-21 OR BETTER INSULATION
6. 5/8" GYP. BD.

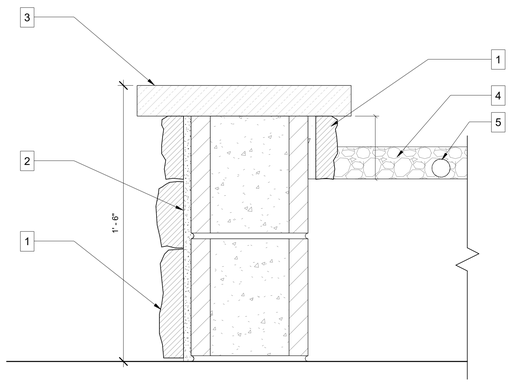


03 GARAGE FIRE SEPARATION

GENERAL NOTES

KEY NOTES

1. FLOOR FINISH MATERIAL PER PLANS
2. FLOOR FINISH SUBSTRATE PER PLANS
3. R-21 OR BETTER INSULATION
4. FRAMING PER STRUCTURAL
5. 5/8" TYPE 'X' GYP. BD. FIRE SEPARATION

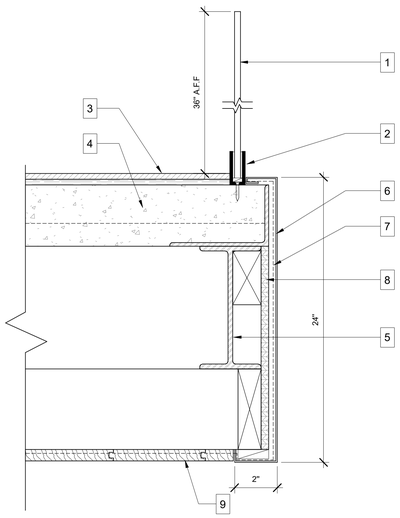


04 FIRE FEATURE

GENERAL NOTES

KEY NOTES

1. HOUSE STONE PER PLAN
2. CMU WALL
3. 2" THICK SLAB CAP
4. 2" THICK BRONZE GLASS
5. FIRE APPARATUS

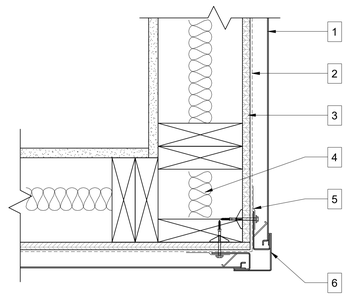


05 RAILING @ PATIO EDGE

GENERAL NOTES

KEY NOTES

1. 3/8" TEMPERED CLEAR GLASS RAILING
2. DARK BRONZE ALUM. SHOE
3. TILE ON MORTAR BED
4. CONC. DECK-SEE STRUCTURAL
5. STEEL BEAM-SEE STRUCTURAL
6. MATTE BRONZE METAL
7. WEATHER RESISTIVE BARRIER
8. FRAMING & SHEATHING PER STRUCTURAL
9. T&G CEILING PER PLAN
10. BLOCKING AS NEED

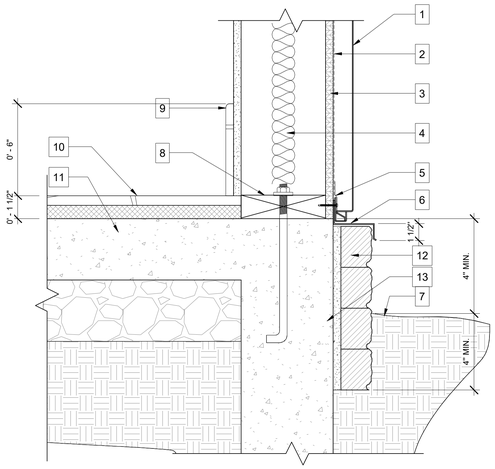


06 METAL PANEL OUTSIDE CORNER

GENERAL NOTES

KEY NOTES

1. OCM METAL PANEL ASSEMBLY PER PLANS
2. WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATING PER STRUCTURAL
4. R-19 OR BETTER INSULATION
5. TAPE SEAL
6. OCM METAL OUTSIDE CORNER FLASHING

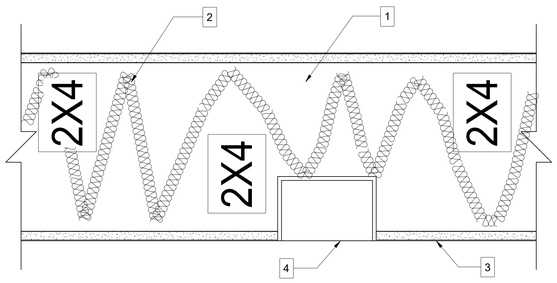


07 PANEL AT GRADE

GENERAL NOTES

KEY NOTES

1. METAL PANEL ASSEMBLY PER PLANS TO STEP MAX 4" ABOVE FINISHED GRADE AS SITE SLOPES.
2. GRACE ULTRA WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. TAPE SEAL
6. FLAT METAL FLASHING.
7. FINISHED GRADE PER LANDSCAPING. SLOPE AWAY FROM BUILDING 2%
8. PRESSURE TREATED SILL PLATE
9. WALL BASE BOARD WHERE OCCURS
10. FLOORING AS OCCURS
11. CONCRETE SLAB PER STRUCTURAL
12. STONE VENEER PER PLAN
13. CONCRETE STEM AND FOUNDATION PER STRUCTURAL- CMU @ CONTRACTORS OPTION.



08 SOUND WALL

GENERAL NOTES

SOUND WALLS SHALL BE PROVIDED PER THIS DETAIL AT:

1. BATHROOMS.
2. MECHANICAL ROOMS.
3. LAUNDRY.
4. GARAGES.
5. PUBLIC AREAS ADJACENT TO BEDROOMS.

KEY NOTES

1. 2X6 PLATTED WALL WITH 2X4 STAGGERED STUDS.
2. WRAP BATT INSULATION BETWEEN STAGGERED STUDS.
3. 1/2" SOUND BOARD.
4. FOAM FILL ANY ELEC. OR MECH. PENETRATIONS..

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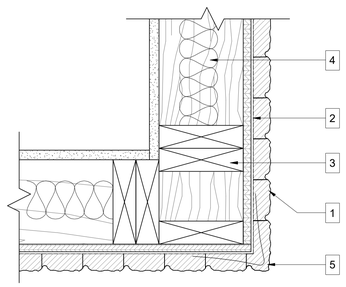
Scale : 3" = 1'-0"

WALL DETAILS

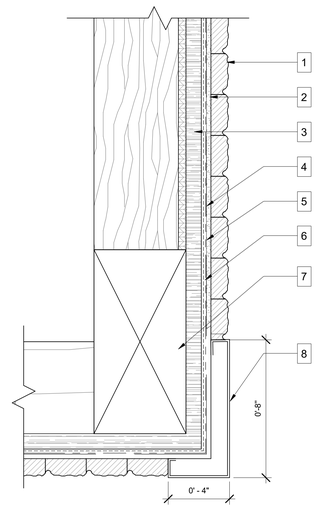


01 STONE OUTSIDE CORNER

GENERAL NOTES

KEY NOTES

1. STONE VENEER WALL ASSEMBLY PER PLANS
2. TYVEK WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER PLANS AND STRUCTURAL
4. R-21 OR BETTER INSULATION
5. EXPANDED 1/2" RADIUS CORNER BEAD

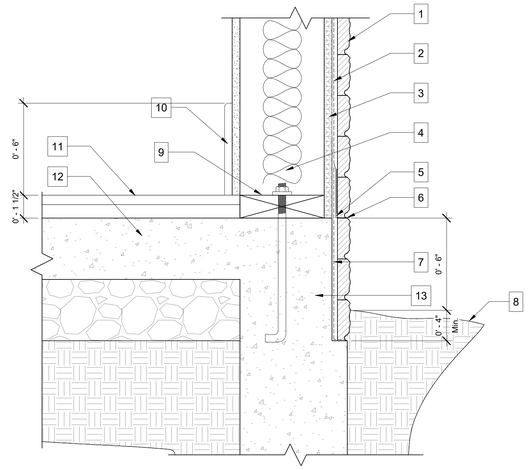


02 STONE SILL @OPENING

GENERAL NOTES

KEY NOTES

1. STONE VENEER. SEE SPECIFICATIONS
2. MORTAR BED
3. 2X WALL PER PLAN.
4. VERSA BOND SCRATCH COAT W/ HORIZONTAL RAKE
5. SELF-FURRING GALVANIZED METAL LATH
6. GRACE ULTRA BITUTHENE WEATHER RESISTIVE BARRIER
7. FRAMING & SHEATHING PER STRUCTURAL
8. 8" TALL METAL PANEL CORNER LINTEL TO EXTEND 4" PAST OPENING EACH WAY.

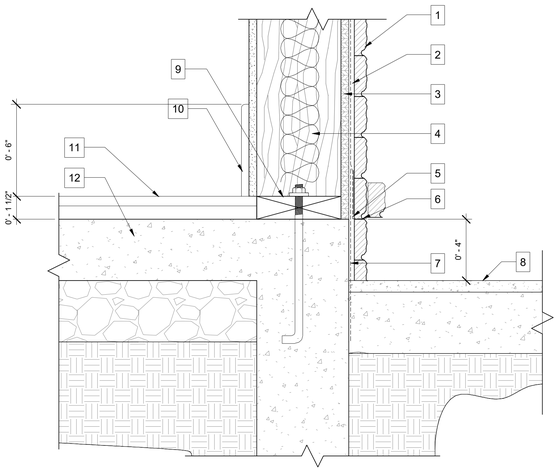


03 STONE AT GRADE

GENERAL NOTES

KEY NOTES

1. STONE WALL ASSEMBLY PER PLANS
2. GRACE ULTRA WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. WEEP SCREED
6. WEEP HOLE
7. SELF-ADHEARED FLASHING
8. FINISHED GRADE PER LANDSCAPING. SLOPE AWAY FROM BUILDING 2%
9. PRESSURE TREATED SILL PLATE
10. WALL BASE BOARD WHERE OCCURS
11. FLOORING AS OCCURS
12. CONCRETE SLAB PER STRUCTURAL
13. CONCRETE STEM AND FOOTING PER STRUCTURAL- CMU @ CONTRACTORS OPTION

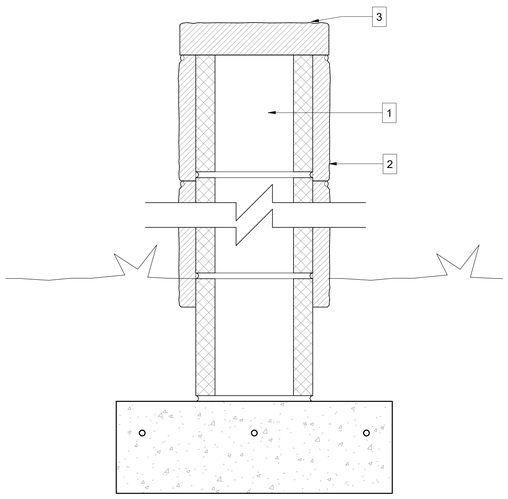


04 STONE AT HARDSCAPE

GENERAL NOTES

KEY NOTES

1. STONE WALL ASSEMBLY PER PLANS
2. GRACE ULTRA WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. WEEP SCREED
6. WEEP HOLE
7. SELF-ADHERED FLASHING
8. HARDSCAPE PER PLANS. SLOPE AWAY FROM BUILDING 2%
9. PRESSURE TREATED SILL PLATE
10. WALL BASE BOARD WHERE OCCURS
11. FLOORING AS OCCURS
12. CONCRETE SLAB PER STRUCTURAL
13. CONCRETE STEM @ FOOTING PER STRUCTURAL-CMU @ CONTRACTORS OPTION.



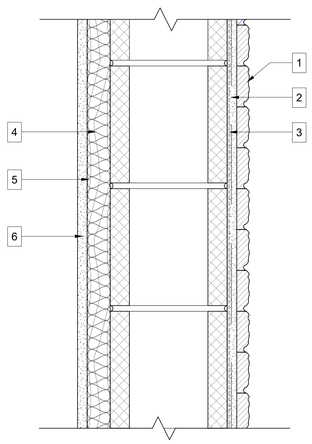
05 STONE SITE WALL

GENERAL NOTES

1. ALL SITE WALL HEIGHTS SHALL BE VERIFIED BY ARCHITECT.
2. ALL STTONE VENEER SHALL MEET MAG STANDARDS.
3. ALL WALLS WITH EXPOSED MASONRY ENDS SHALL BE 12" BLOCK FOR THICKER APPEARANCE.

KEY NOTES

1. MASONRY SITE WALL PER PLAN.
2. STONE VENEER PER PLAN.
3. 2" THICK STONE CAP TO MATCH ALL EXTERIOR STONE.

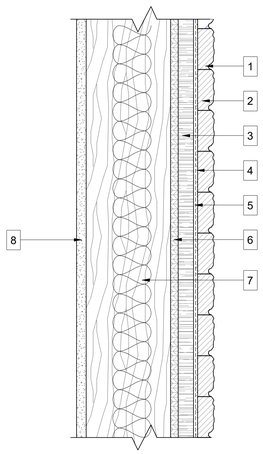


06 MASONRY WALL ASSEMBLY

GENERAL NOTES

KEY NOTES

1. STONE VENEER PER PLAN.
2. VERSA BOND SCRATCH COAT.
3. THOROSEAL WATERPROOFING ON MASONRY.
4. SPRAY FOAM INSULATION.
5. 2X4 FURRING NAILED TO BLOCK .
6. 5/8" GYP. BD.



07 STONE WALL ASSEMBLY

GENERAL NOTES

KEY NOTES

1. SMOOTH HAND-TROWELED INTEGRAL COLOR SYNTHETIC FINISH. SEE ELEVATIONS FOR SPECIFICATIONS
2. 1" WESTERN ONE COAT STONE VENEER
3. 1" RIGID FOAM
4. SELF-FURRING GALVANIZED METAL LATH
5. TYVEK WEATHER RESISTIVE BARRIER
6. FRAMING & SHEATHING PER STRUCTURAL
7. R-21 OR BETTER INSULATION
8. 5/8" GYP. BD.

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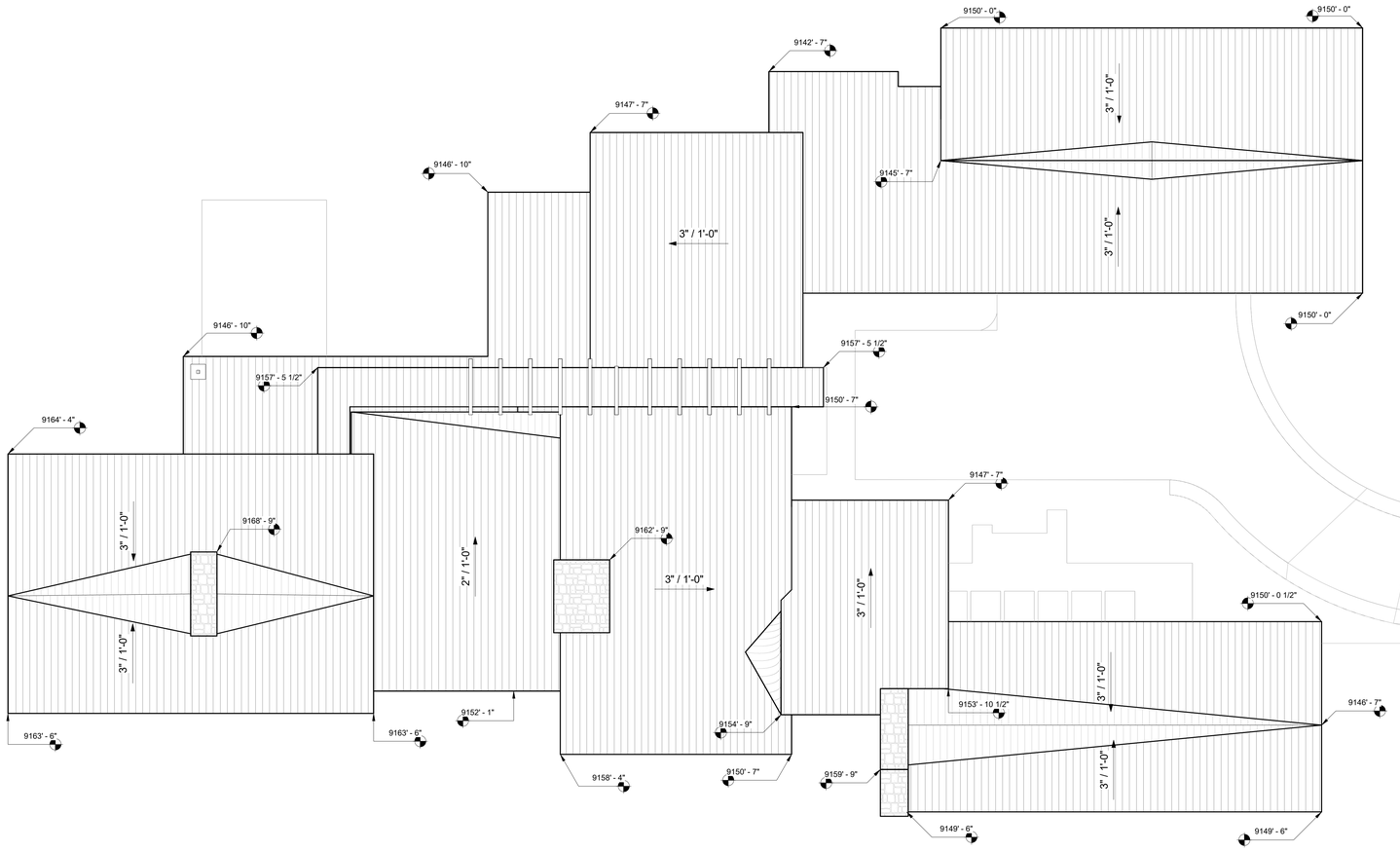
WALL DETAILS



ROOF SCHEDULE	
Type	Area
Cricket	19 SF
Cricket	60 SF
Cricket	71 SF
Cricket	71 SF
Cricket	118 SF
Cricket	137 SF
Cricket	304 SF
Cricket: 7	
Standing seam Patio Roof	422 SF
Standing seam Patio Roof	986 SF
Standing seam Patio Roof	1199 SF
Standing seam Patio Roof: 3	
Standing seam roof	633 SF
Standing seam roof	666 SF
Standing seam roof	794 SF
Standing seam roof	927 SF
Standing seam roof	1034 SF
Standing seam roof	1488 SF
Standing seam roof	1765 SF
Standing seam roof: 7	
Standing seam roof 2	795 SF
Standing seam roof 2	960 SF
Standing seam roof 2: 2	
Stone Caps	23 SF
Stone Caps	39 SF
Stone Caps	41 SF
Stone Caps	73 SF
Stone Caps: 4	

ROOF PLAN NOTES:

1. METAL BATTEN ROOF INSTALLED PER-
2. CHIMNEY ASSEMBLY W/ APPROVED SPARK ARRESTOR LISTED UL-130. SPARK ARRESTOR TO COMPLY WITH ALL REQUIREMENTS UNDER 2015 IRC R1003.9.1. INSTALL PER MFR SPECS. SEE ARCH. DETAILS FOR CONCEALMENT DESIGN.
3. THE CHIMNEY SHALL TERMINATE A MINIMUM OF 2'-0" ABOVE ANY PART OF THE BUILDING WITHIN A 10'-0" RADIUS.
4. 5/8 CDX PLYWOOD CRICKET WITH MIN. 26 GA SHEET METAL FLASHING WHERE REQUIRED. PROVIDE MINIMUM 1/4 PER FOOT SLOPE ON ALL CRICKETS. MINIMUM SLOPE TO BE 1/4 PER FOOT WITH VALLEY FLASHING AT TRANSITIONS TO MAIN ROOF.
5. A SOLAR-READY ZONE OF NOT LESS THAN 300 SQUARE FEET IS REQUIRED ON THE ROOF EXCLUSIVE OF MANDATORY ACCESS AND SET BACK AREAS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. THE ZONE SHALL BE FREE FROM OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO VENTS, CHIMNEYS, AND ROOF-MOUNTED EQUIPMENT
6. ALL MECHANICAL ROOF PENETRATIONS SHALL BE LOCATED TO MECHANICAL ROOF WELLS. NO ROOF PENETRATIONS OF ANY TYPE ARE ALLOWED IN A NON-PARAPETTED FLAT ROOF. CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION.
7. THE TOP AND BOTTOM OF ANY FASCIA MUST REMAIN LEVEL AND HORIZONTAL. THE FASCIA MAY NOT SLOPE, INCLUDING ON ANY EXPOSED SIDES. CONTRACTOR SHALL VERIFY COMPLIANCE DURING CONSTRUCTION.
8. ROOF DRAINS MUST OUTLET NO HIGHER THAN 4" ABOVE FINISHED GRADE.

Scale : 1/8" = 1'-0"

ROOF PLAN

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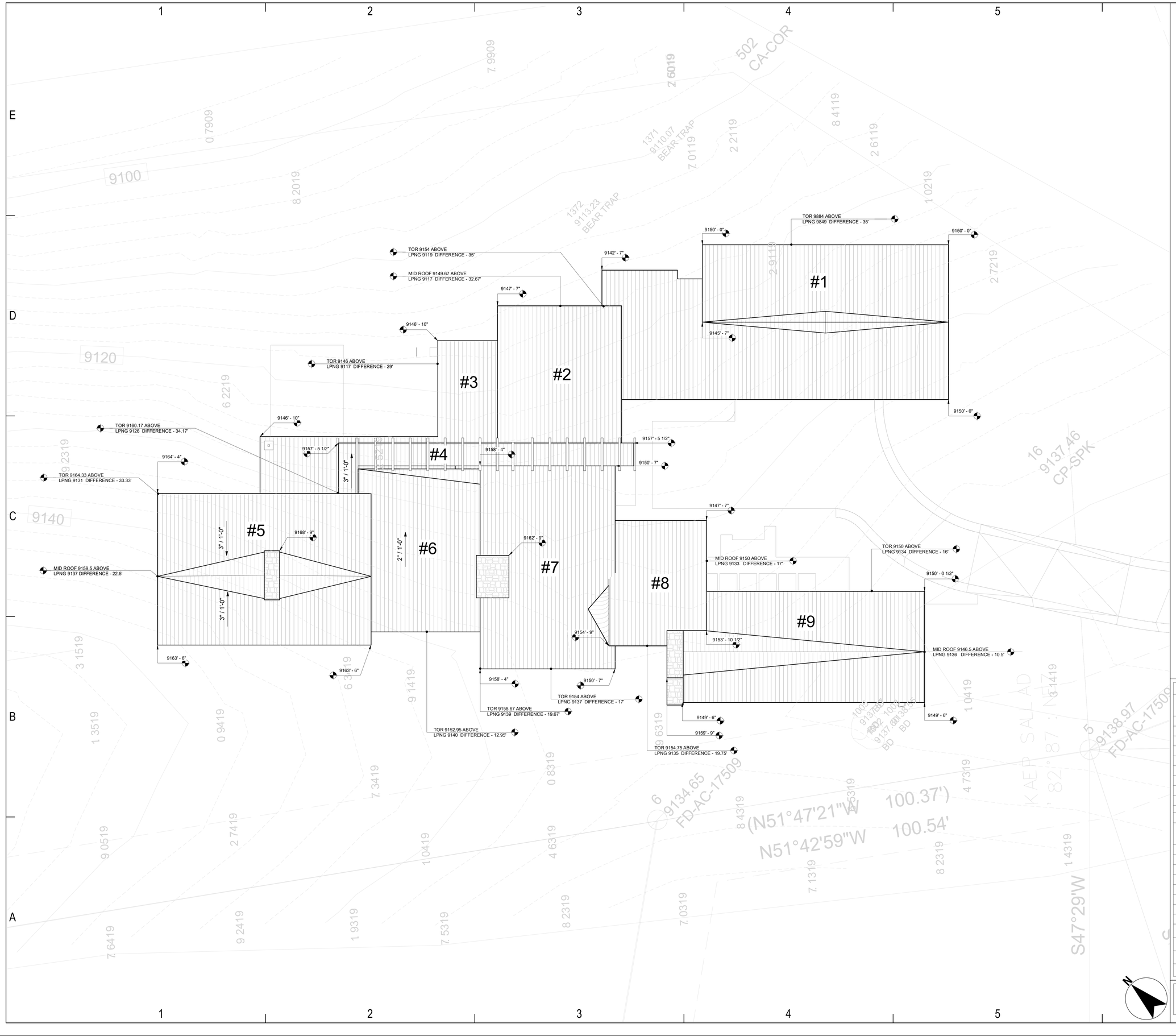

MAX. ROOF HEIGHT CALCULATIONS				
#	ROOF ELEVATION	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	CAL. HEIGHT
1	9150	9117		33'
2	9154	9119		35'
3	9146	9117		29'
4	9160.17	9126		34.17'
5	9164.33	9131		33.33'
6	9152.96	9140		12.96'
7	9158.67	9139		19.67'
8	9154.5	9135		19.5'
9	9150	9134		16'

MAX. AVERAGE HEIGHT CALCULATIONS				
#	ROOF ELEVATION	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	CAL. HEIGHT
1	9145.7	9121		24.7'
2	9149.67	9119		30.67'
3	9146	9117		29'
4	9159	9126		33'
5	9159.5	9137		22.5'
6	9151	9136		15'
7	9154	9137		17'
8	9150	9133		17'
9	9146	9136		10'

ALLOWABLE AVERAGE	22.096'
COMPLIANT BY	7.903'

Scale : 1/8" = 1'-0"

ROOF ANALYSIS

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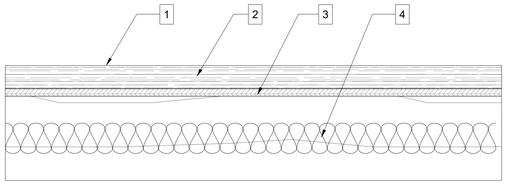
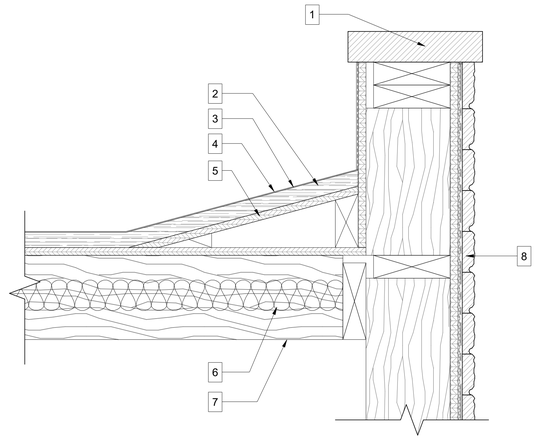


01 ROOF ASSEMBLY

GENERAL NOTES

KEY NOTES

1. COLORED EPOXY FINISH
2. MATTE GRAY TEXTURED TORCH DOWN ROOFING
3. SHEATHING/FRAMING PER STRUCTURAL
4. R-38 OR BETTER INSULATION

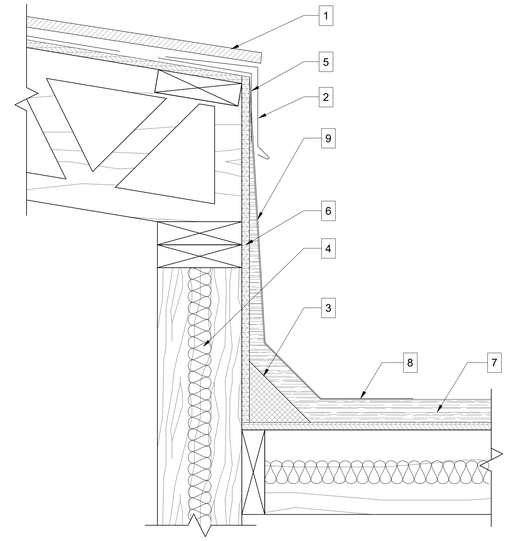


02 ROOF CRICKET

GENERAL NOTES

KEY NOTES

1. 2" STONE CAP
2. GRAY MATTE TEXTURED TORCH DOWN.
3. SURFACE CAP SHEET
4. FLASHING SHEET
5. CRICKET PER ROOF PLAN
6. R-38 OR BETTER INSULATION
7. ROOF FRAMING/SHEATHING PER STRUCTURAL
8. STONE VENEER WALL ASSEMBLY

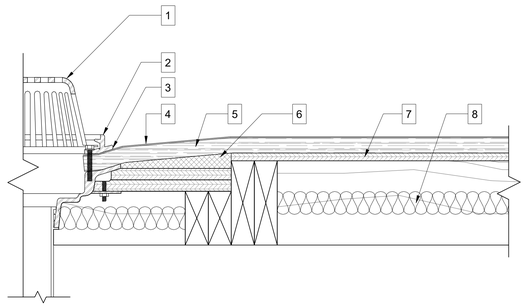


03 ROOF PARAPET

GENERAL NOTES

KEY NOTES

1. STANDING SEAM ROOF PER PLAN
2. METAL EDGE FLASHING
3. CANT STRIP OR CRICKET PER ROOF PLAN **12" MIN. PARAPET ABOVE FOAM ROOF.**
4. R-38 OR BETTER INSULATION
5. EXTEND FLASHING SHEET 6" BELOW NAILER
6. FRAMING/SHEATHING PER STRUCTURAL
7. TORCH DOWN ROOFING
8. FLASHING SHEET
9. CONT. FOAM ON PARAPET WALL.



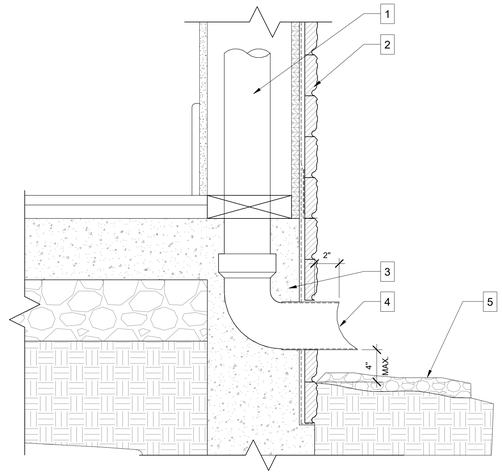
04 ROOF DRAIN

GENERAL NOTES

A. DRAINS SHALL BE LOCATED AWAY FROM PATIOS OR EQUIPMENT WHEREVER POSSIBLE.
B. ALL DRAINS TO GO TO DAYLIGHT AT VISIBLE LOCATIONS.
C. ALL DRAINS TO COMPLY WITH CRC-903.4
D. ALL 4" DRAINS EXCEED CALIFORNIA PLUMBING CODE TABLE 1101.7 4" PIPES SHALL NOT EXCEED 2650 MAX ROOF AREA FOR 4" OF RAINFALL PER HOUR.

KEY NOTES

1. ROOF DRAIN W/ STRAINER
2. COMPRESSION RING
3. LEAD FLASHING SHEET
4. FLASHING SHEET
5. MATTE GRAY TEXTURED TORCH DOWN.
6. TAPERED EDGE STRIP
7. ROOF FRAMING/SHEATHING PER PLANS
8. R-38 OR BETTER INSULATION PER TITLE 24.

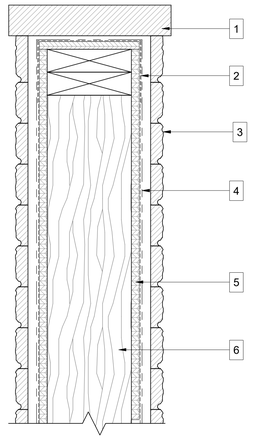


05 ROOF DRAIN AT GRADE

GENERAL NOTES

KEY NOTES

1. ROOF DRAIN
2. WALL PER PLAN
3. THICKEN FOOTING AS NEEDED
4. DARK BRONZE METAL "COW TONGUE" W/ OVER-FLOW
5. RIP-RAP SPLASH PAD



06 TOP OF STONE VENEER WALL

GENERAL NOTES

KEY NOTES

1. 2" STONE CAP AT WALL TOP.
2. GRACE ULTRA TO COVER TOP OF WALL AND OVERLAP BUILDING PAPER ON ALL SIDES 12" MIN.
3. STONE VENEER OVER SCRATCH AND BROWN COAT OVER METAL LATH.
4. GRACE ULTRA TO TOP OF WALL
5. PLYWOOD SHEATHING PER PLANS
6. FRAMING PER PLANS

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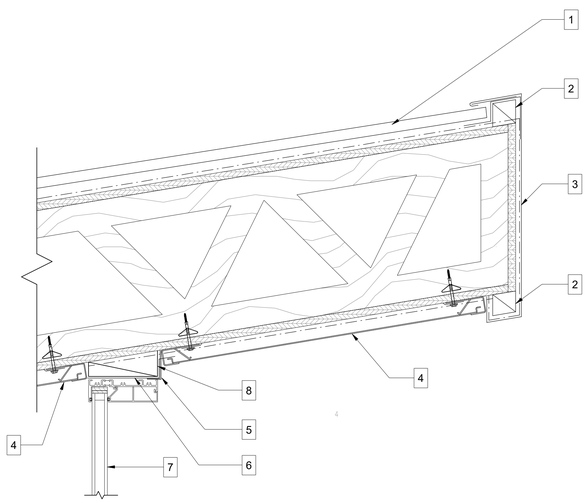
ROOF DETAILS

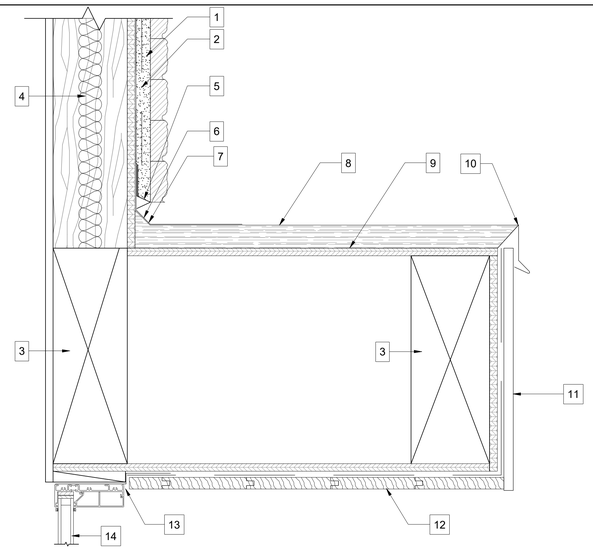


01 OVERHANG FASCIA

GENERAL NOTES

KEY NOTES

1. STANDING SEAM ROOFING PER ROOF ASSEMBLY DETAIL.
2. BLOCKING AS REQUIRED.
3. METAL FASCIA.
4. SOFFIT CEILING PER PLAN
5. BRAKE METAL TO MATCH WINDOW FRAME
6. WINDOW FLASHING
7. WINDOW-SEE SCHEDULE
8. SHIM AS REQUIRED

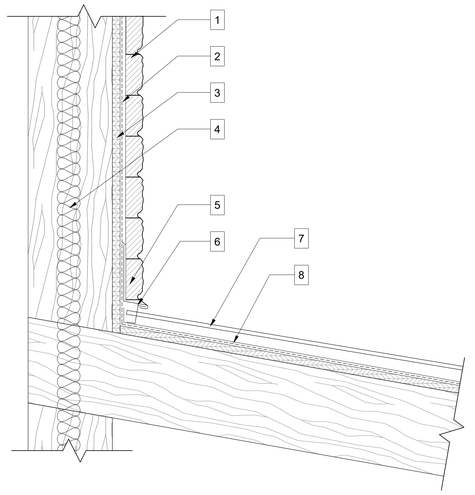


02 STONE TO NON PARAPET ROOF

GENERAL NOTES

KEY NOTES

1. STONE WALL ASSEMBLY PER PLANS
2. TYVEK WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER STRUCTURAL
4. INSULATION PER PLANS
5. WEEP SCREED
6. FLASHING SHEET
7. 4" FIBER CANT STRIP
8. TORCH DOWN ROOFING PER PLANS
9. ROOF SHEATHING PER PLANS
10. 1" OCM METAL DRIP EDGE FOAM STOP.
11. 24" OCM METAL FASCIA PER PLAN.
12. SOFFIT CEILING FLUSH WITH WINDOW HEAD PER PLAN.
13. WINDOW FLASHING
14. WINDOW-SEE SCHEDULE

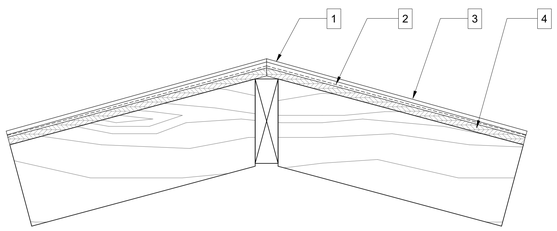


03 STANDING SEAM ROOF AT STUCCO WALL

GENERAL NOTES

KEY NOTES

1. STONE VENEER WALL ASSEMBLY PER PLANS
2. TYVEK WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER STRUCTURAL
4. R-38 OR BETTER INSULATION
5. WEEP SCREED
6. METAL FLASHING
7. ROOF ASSEMBLY PER PLANS
8. (2) LAYERS OF ROOF UNDERLAYMENT

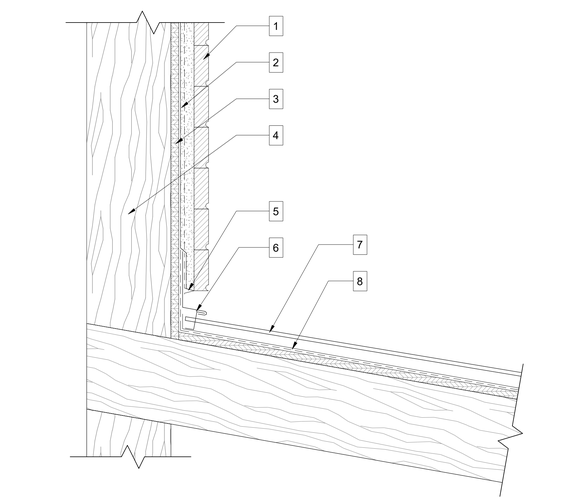


04 STANDING SEAM ROOF RIDGE

GENERAL NOTES

KEY NOTES

1. RIDGE CAP
2. (2) LAYERS POLYGLASS POLYSTICK MTS UNDERLAYMENT
3. ROOFING PER PLAN NAILED TO DECK.
4. FRAMING/SHEATHING PER PLANS.

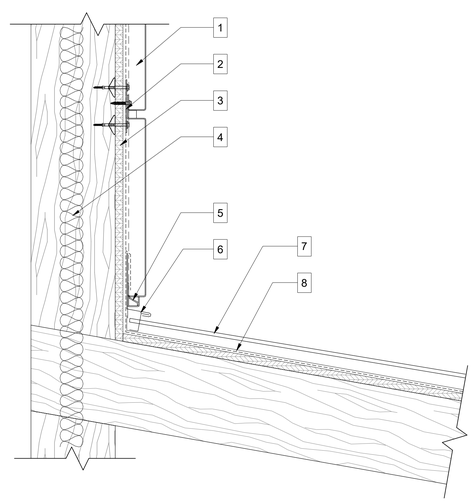


05 CONC. STAND. SEAM ROOF AT STONE WALL

GENERAL NOTES

KEY NOTES

1. STONE VENEER ASSEMBLY PER PLAN
2. GRACE ULTRA WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER STRUCTURAL
4. R-38 OR BETTER INSULATION
5. WEEP SCREED
6. METAL FLASHING
7. ROOF ASSEMBLY PER PLANS
8. (2) LAYERS OF ROOF UNDERLAYMENT

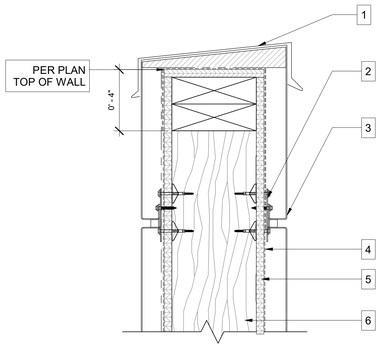


06 CONC. STAN. SEAM ROOF AT METAL PANEL

GENERAL NOTES

KEY NOTES

1. METAL WALL ASSEMBLY PER PLAN
2. TYVEK WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER STRUCTURAL
4. R-38 OR BETTER INSULATION
5. METAL STOP AND DRIP EDGE.
6. METAL FLASHING
7. STANDING SEAM ROOF ASSEMBLY PER PLAN
8. (2) LAYERS OF ROOF UNDERLAYMENT



07 TOP OF METAL WALL

GENERAL NOTES

KEY NOTES

1. METAL CAP.
2. GRACE ULTRA TO COVER TOP OF WALL AND OVERLAP BUILDING PAPER
3. METAL WALL PANEL PER PLANS
4. GRACE ULTRA TO TOP OF WALL
5. PLYWOOD SHEATHING PER PLANS
6. FRAMING PER PLANS

THE JK COMPANIES

ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

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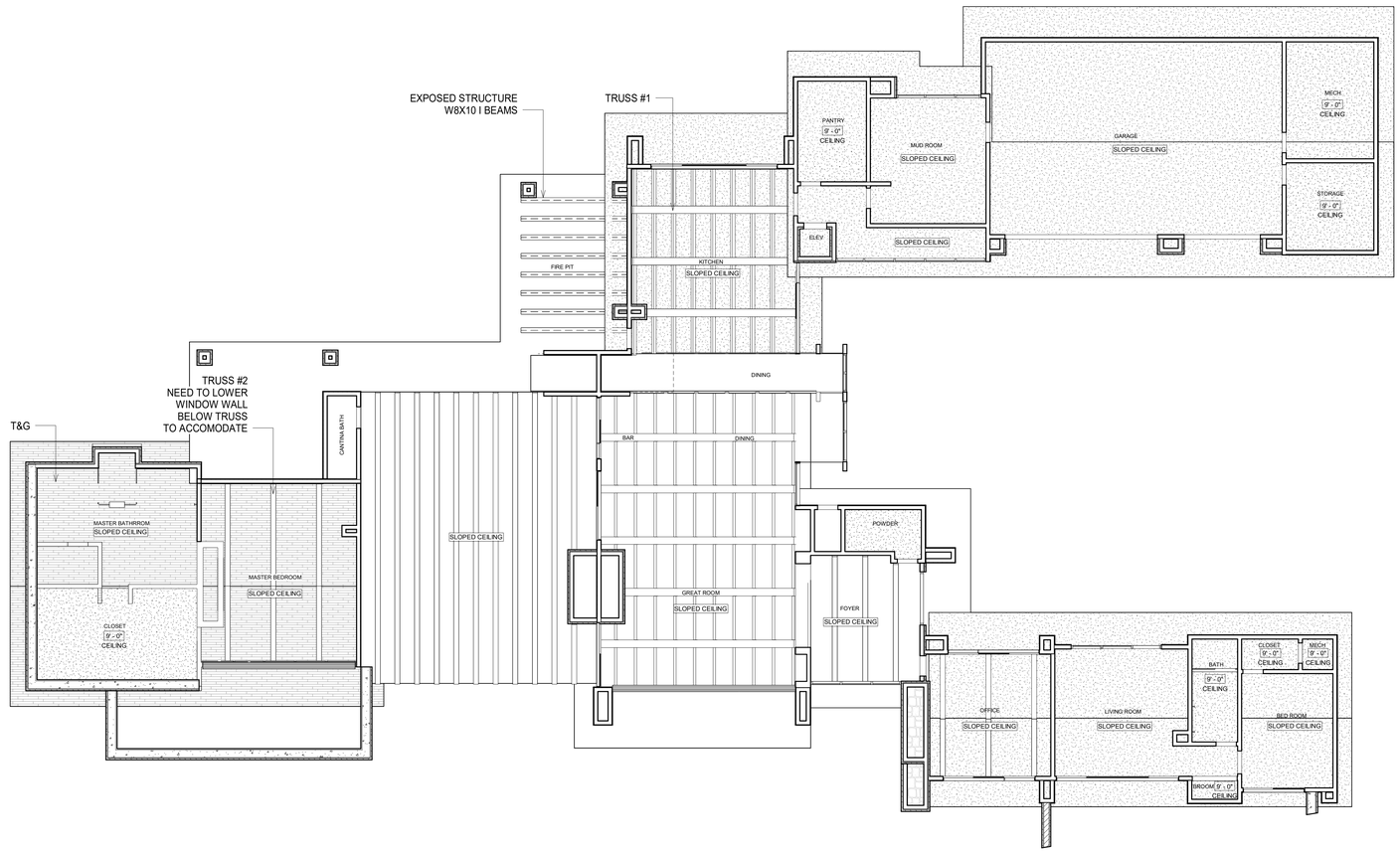
SHEET NO.

A-6.4

Scale : 3" = 1'-0"

ROOF DETAILS



1 Level 2
1/8" = 1'-0"

CEILING TYPE

C1. DRYWALL AND PAINTED CEILING

C2. T&G CEILING

CEILING SCHEDULE

CLG. TYPE	ROOM NAME	AREA
C1	BATH	80 SF
C1	GUEST ROOM 1	190 SF
C1	CLOSET	35 SF
C1	BUNK ROOM	164 SF
C1	GUEST ROOM 2	167 SF
C1	BATH	58 SF
C1	CLOSET	40 SF
C1	FITNESS ROOM	286 SF
C1	BATH	60 SF
C1	COMMON AREA	87 SF
C1	MECH.	177 SF
C1	STORAGE	132 SF
C1	MECH.	16 SF
C1	CLOSET	30 SF
C1	BROOM	14 SF
C1	BATH	57 SF
C1	POWDER	58 SF
C1	CLOSET	279 SF
C1	PANTRY	117 SF

RCP NOTES:

1. HEIGHTS NOTED ON THE MAIN LEVEL REFLECTED CEILING PLAN ARE NOTED IN RELATIONSHIP TO FINISH FLOOR PLAN ELEVATION OF THAT SPACE.
2. REFER TO MECHANICAL, ELECTRICAL & FIRE SPRINKLER DRAWINGS FOR ADDITIONAL ITEMS TO BE LOCATED IN THE CEILING. COORDINATE SIZES AND LOCATIONS OF CEILING DIFFUSERS WITH THIS DRAWING.
3. THE DESIGN INTENT FOR ALL VISIBLE ITEMS INSTALLED IN THE CEILING ARE TO BE EQUALLY SPACED, CENTERED, AND/OR ALIGNED UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF INCONSISTENCIES.
4. FLAT-PLATE CONCEALED PENDANT FIRE SPRINKLER COVER PLATE TO BE FINISHED BY THE MANUFACTURER TO MATCH THE SURROUNDING CEILING FINISH. PROVIDE A CUSTOM COLOR COVER PLATE SAMPLE FROM THE MANUFACTURER FOR THE ARCHITECTS REVIEW AND APPROVAL PRIOR TO ORDERING. VERIFY COVER PLATE FINISH WITH THE ARCHITECT WHEN THE CONCEALED PENDANT FIRE SPRINKLER OCCURS IN A WOOD CEILING.
5. 5/8" GYPSUM BOARD @ CEILING - SMOOTH FINISH.CONTRACTOR TO INSTALL PER 2015 IRC R702.3
6. THE LIGHT SOURCE OR BULB LOCATED IN AN EXTERIOR LIGHT FIXTURE IN CEILINGS AND SOFFITS MUST BE RECESSED A MINIMUM OF 3" INTO CEILING SO THAT THE LIGHT SOURCE IS FULLY SHIELDED.

Scale : As indicated

CEILING PLAN L2

THE JK COMPANIES

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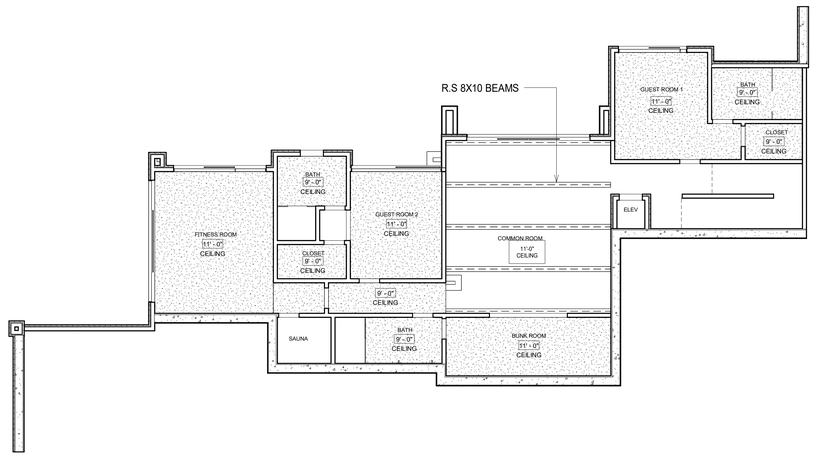
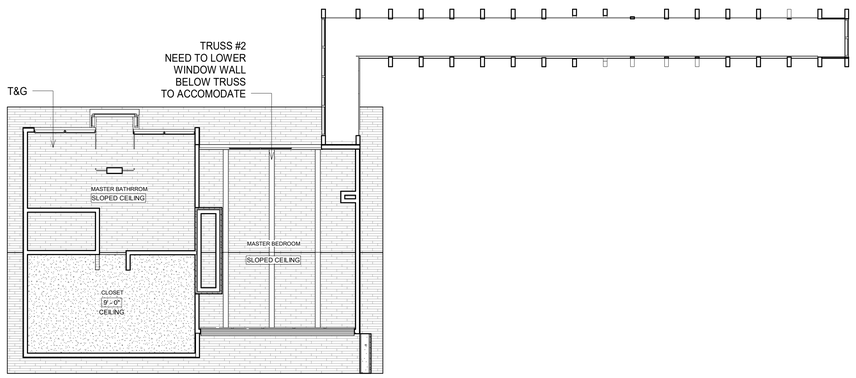
SHEET NO.

A-7.1



1 Level 1
1/8" = 1'-0"



2 Level 3
1/8" = 1'-0"

CEILING TYPE

C1. DRYWALL AND PAINTED CEILING

C2. T&G CEILING

CEILING SCHEDULE

CLG. TYPE	ROOM NAME	AREA
C1	BATH	80 SF
C1	GUEST ROOM 1	190 SF
C1	CLOSET	35 SF
C1	BUNK ROOM	164 SF
C1	GUEST ROOM 2	167 SF
C1	BATH	58 SF
C1	CLOSET	40 SF
C1	FITNESS ROOM	286 SF
C1	BATH	60 SF
C1	COMMON AREA	87 SF
C1	MECH.	177 SF
C1	STORAGE	132 SF
C1	MECH.	16 SF
C1	CLOSET	30 SF
C1	BROOM	14 SF
C1	BATH	57 SF
C1	POWDER	58 SF
C1	CLOSET	279 SF
C1	PANTRY	117 SF

RCP NOTES:

1. HEIGHTS NOTED ON THE MAIN LEVEL REFLECTED CEILING PLAN ARE NOTED IN RELATIONSHIP TO FINISH FLOOR PLAN ELEVATION OF THAT SPACE.
2. REFER TO MECHANICAL, ELECTRICAL & FIRE SPRINKLER DRAWINGS FOR ADDITIONAL ITEMS TO BE LOCATED IN THE CEILING. COORDINATE SIZES AND LOCATIONS OF CEILING DIFFUSERS WITH THIS DRAWING.
3. THE DESIGN INTENT FOR ALL VISIBLE ITEMS INSTALLED IN THE CEILING ARE TO BE EQUALLY SPACED, CENTERED, AND/OR ALIGNED UNLESS NOTED OTHERWISE. NOTIFY ARCHITECT OF INCONSISTENCIES.
4. FLAT-PLATE CONCEALED PENDANT FIRE SPRINKLER COVER PLATE TO BE FINISHED BY THE MANUFACTURER TO MATCH THE SURROUNDING CEILING FINISH. PROVIDE A CUSTOM COLOR COVER PLATE SAMPLE FROM THE MANUFACTURER FOR THE ARCHITECTS REVIEW AND APPROVAL PRIOR TO ORDERING. VERIFY COVER PLATE FINISH WITH THE ARCHITECT WHEN THE CONCEALED PENDANT FIRE SPRINKLER OCCURS IN A WOOD CEILING.
5. 5/8" GYPSUM BOARD @ CEILING - SMOOTH FINISH.CONTRACTOR TO INSTALL PER 2015 IRC R702.3
6. THE LIGHT SOURCE OR BULB LOCATED IN AN EXTERIOR LIGHT FIXTURE IN CEILINGS AND SOFFITS MUST BE RECESSED A MINIMUM OF 3" INTO CEILING SO THAT THE LIGHT SOURCE IS FULLY SHIELDED.

Scale : As indicated

CEILING PLAN

THE JK COMPANIES
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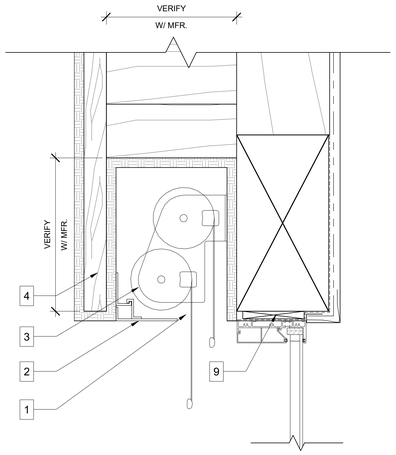
SHEET NO.

A-7.2



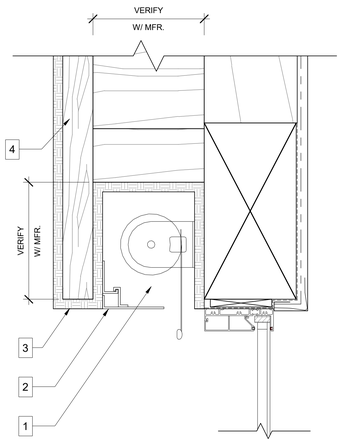
01 DBL. BLIND POCKET@WALL

GENERAL NOTES

A. PROVIDE POWER TO ALL BLIND POCKETS
B. COORDINATE ACTUAL POCKET SIZES WITH MANUFACTURER.
C. PROVIDE LOW VOLTAGE RUNS FOR AUTOMATION CONTROL AT ALL POCKETS.

KEY NOTES

1. BOX OUT FOR BLACK OUT & SHADE PER MFR.SPECIFICATION OR MIN. 6"X12" CLEAR.
2. METAL TRIM PAINTED TO MATCH WALL.
3. 5/8" DRYWALL W/ SQUARE CORNERS.
4. 2X LAID FLAT TO BUILD SOFFIT WALL TO WALL



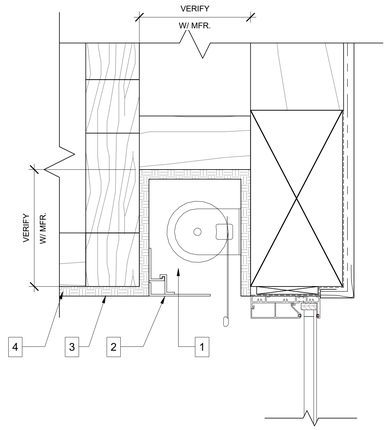
02 SINGLE BLIND POCKET@WALL

GENERAL NOTES

A. PROVIDE POWER TO ALL BLIND POCKETS.
B. COORDINATE ACTUAL POCKET SIZES WITH MANUFACTURER.
C. PROVIDE LOW VOLTAGE RUNS FOR AUTOMATION CONTROL AT ALL POCKETS.

KEY NOTES

1. BOX OUT FOR SHADE PER MFR.SPECIFICATION OR MIN. 6"X6" CLEAR.
2. METAL TRIM PAINTED TO MATCH WALL.
3. 5/8" DRYWALL W/ SQUARE CORNERS.
4. 2X LAID FLAT BUILD WALL TO WALL.



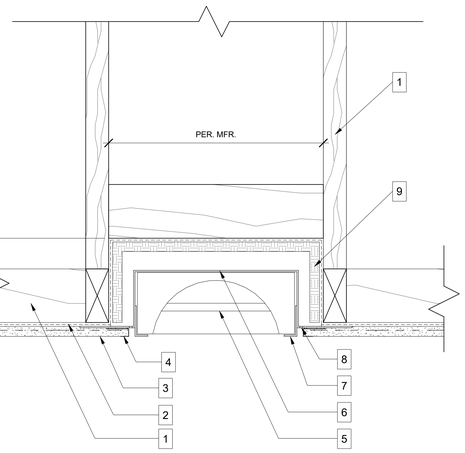
03 SINGLE BLIND POCKET@SOFFIT

GENERAL NOTES

A. PROVIDE POWER TO ALL BLIND POCKETS.
B. COORDINATE ACTUAL POCKET SIZES WITH MANUFACTURER.
C. PROVIDE LOW VOLTAGE RUNS FOR AUTOMATION CONTROL AT ALL POCKETS.

KEY NOTES

1. BOX OUT FOR SHADE PER MFR.SPECIFICATION OR MIN. 6"X6" CLEAR.
2. METAL TRIM PAINTED TO MATCH WALL.
3. 5/8" DRYWALL W/ SQUARE CORNERS.
4. SOFFIT PER PLAN

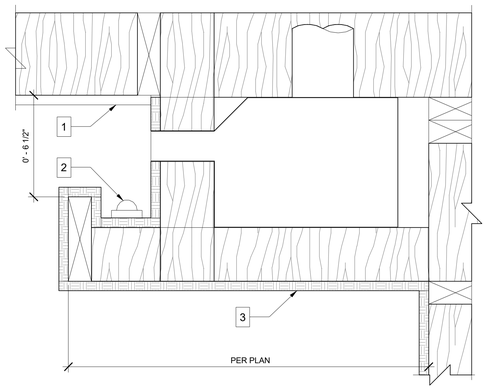


04 RECESSED RADIANT HEATER

GENERAL NOTES

KEY NOTES

1. FRAMING PER PLANS AND MFR.
2. WEATHER RESISTIVE BARRIER
3. STUCCO ASSEMBLY PER PLANS
4. EXPANDED FLANGE CASING BEAD
5. STAINLESS STEEL INRATECH WD-5024 RECESSED RADIANT HEATER
6. STAINLESS STEELW-39 FLUSH MOUNT TRIM KITS.
7. STAINLESS STEEL HEATER SUPPORT FLANGE TO BE FLUSH WITH FINISHED SURFACE
8. VENTILATION HOLES
9. 5/8" TYPE 'X' GYP. BD. 1 HOUR FIRE RATING

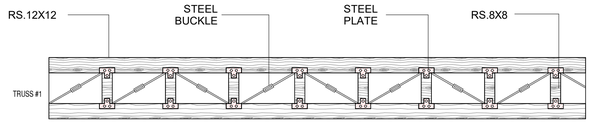


05 LIGHT COVE

GENERAL NOTES

KEY NOTES

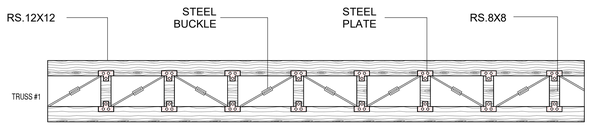
1. CEILING PER PLANS.
2. COVE LIGHTING REFER TO ELECTRICAL DRAWINGS.
3. 5/8" TYPE 'X' GYP. BD.



06 TRUSS DETAIL 1

GENERAL NOTES

KEY NOTES



07 TRUSS DETAIL 2

GENERAL NOTES

KEY NOTES

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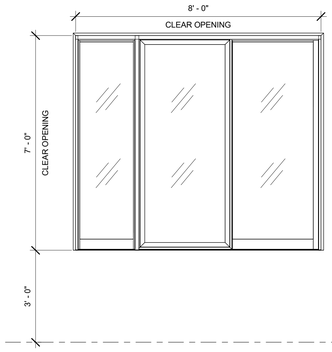
SHEET NO.

A-7.3

Scale : As indicated

CEILING DETAILS



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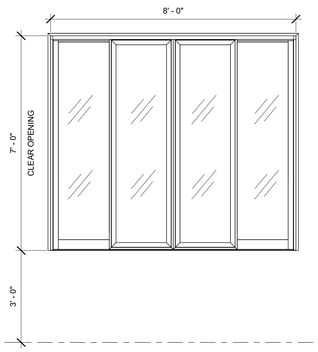

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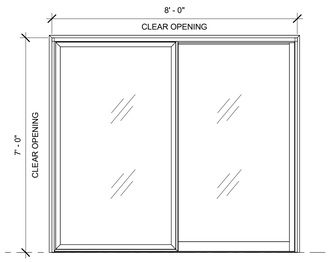

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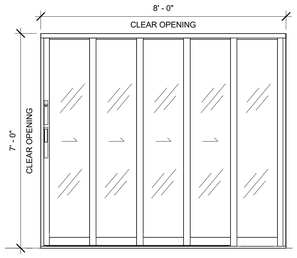

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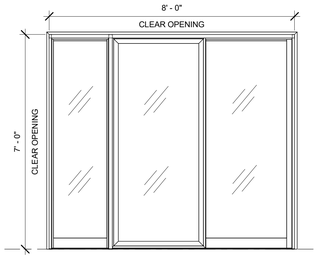

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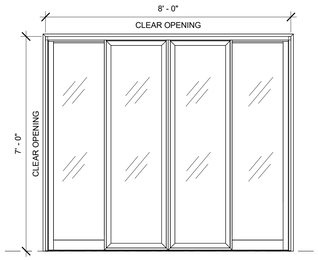

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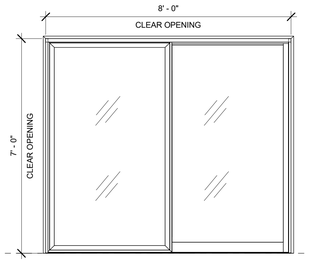

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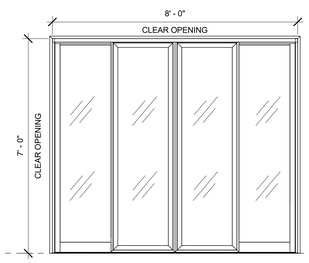

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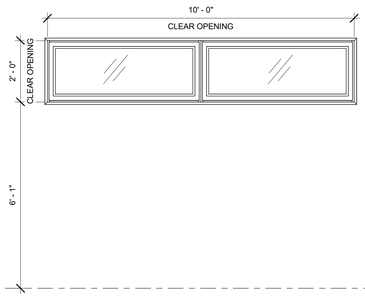

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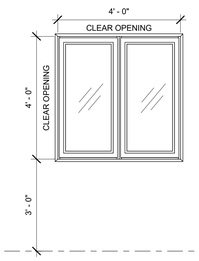

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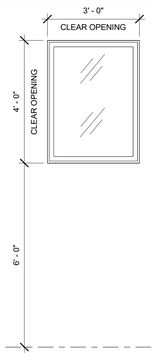

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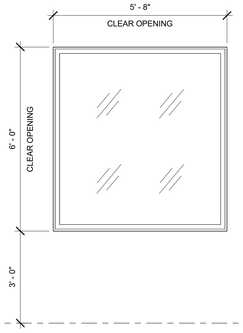

W12

WINDOW SCHEDULE

Win. No.	Type Mark	Height	Width	Sill Height	Head Height
1	W01	10' - 0"	11' - 11"	3' - 0"	13' - 0"
2	W02	7' - 0"	16' - 6"	3' - 0"	10' - 0"
3	W01	7' - 0"	8' - 0"	3' - 0"	10' - 0"
4	W03	10' - 0"	9' - 0"	0' - 0"	10' - 0"
5	W03	10' - 0"	8' - 5"	0' - 8"	10' - 8"
6	W04	10' - 0"	24' - 0"	0' - 0"	10' - 0"
7	W05	10' - 0"	11' - 11"	0' - 0"	10' - 0"
8	W05	10' - 0"	12' - 0"	0' - 0"	10' - 0"
9	W06	10' - 0"	16' - 0"	0' - 0"	10' - 0"
10	W07	10' - 0"	8' - 0"	0' - 0"	10' - 0"
11	W12	6' - 0"	5' - 8"	3' - 0"	9' - 0"
12	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
13	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
14	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
15	W11	4' - 0"	3' - 0"	6' - 0"	10' - 0"
16	W09	2' - 0"	10' - 11"	7' - 0"	9' - 0"
17	W08	9' - 0"	15' - 10"	0' - 0"	9' - 0"
18	W01	9' - 0"	12' - 0"	0' - 0"	9' - 0"
19	W03	9' - 0"	11' - 8 1/2"	0' - 0"	9' - 0"
20	W08	9' - 0"	16' - 0"	0' - 0"	9' - 0"
21	W01	9' - 0"	8' - 10"	0' - 0"	9' - 0"
22	W11	4' - 0"	3' - 0"	5' - 0"	9' - 0"
23	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
24	W04	10' - 0"	20' - 0"	0' - 0"	10' - 0"
26	W10	8' - 0"	8' - 0"	3' - 0"	11' - 0"
30	W08	10' - 0"	15' - 11 1/2"	0' - 1 1/2"	10' - 1 1/2"
27	W14	Refer Windows Elevation in A-8.2			
28	W15	Refer Windows Elevation in A-8.2			
29	W17	Refer Windows Elevation in A-8.2			
30	W18	Refer Windows Elevation in A-8.2			
31	W13	Refer Windows Elevation in A-8.2			
32	W16	Refer Windows Elevation in A-8.2			
33	W19	Refer Windows Elevation in A-8.2			
34	W22	Refer Windows Elevation in A-8.2			
35	W21	Refer Windows Elevation in A-8.2			
36	W20	Refer Windows Elevation in A-8.2			

Scale : 1/2" = 1'-0"

WINDOW SCHED.

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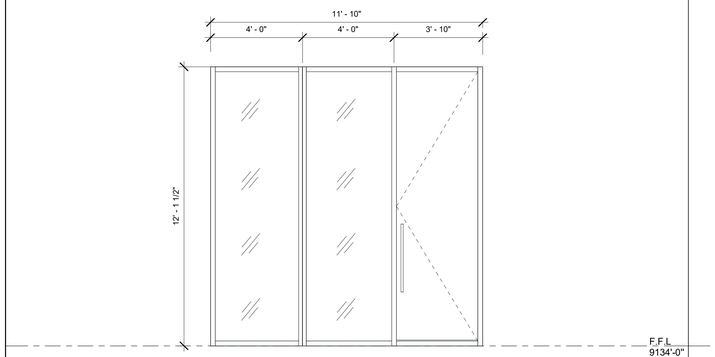
SHEET NO.

A-8.1



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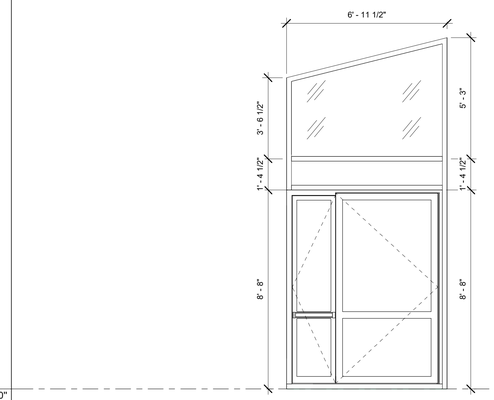

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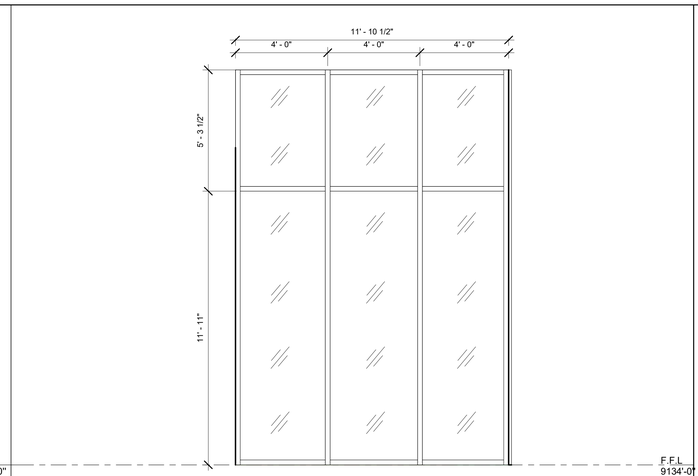

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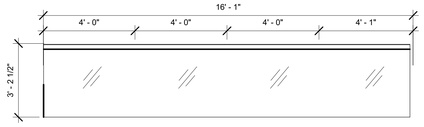

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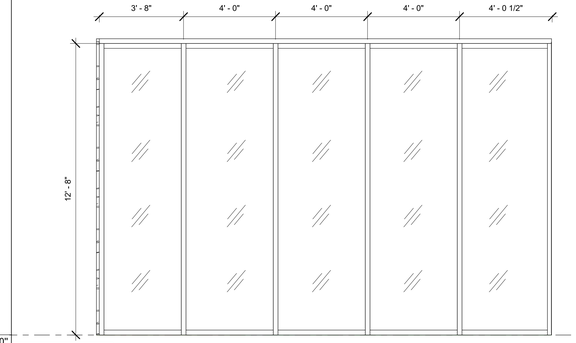

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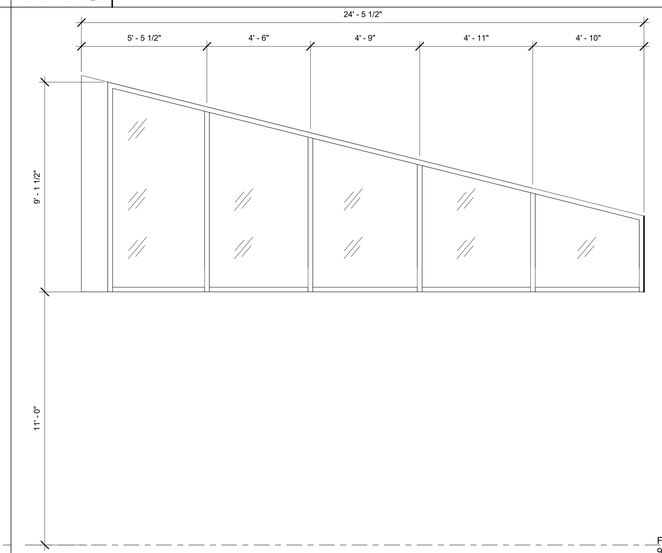

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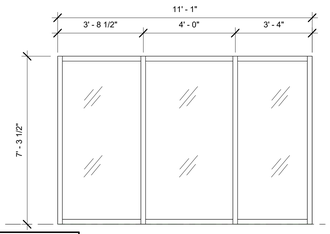

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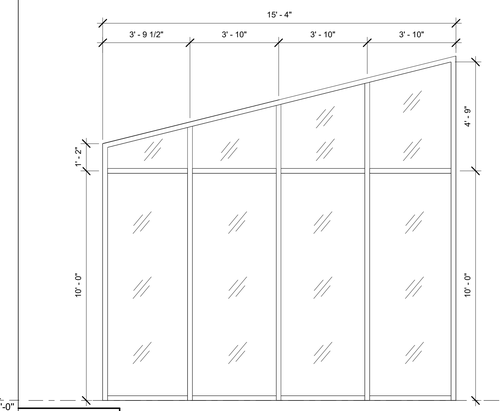

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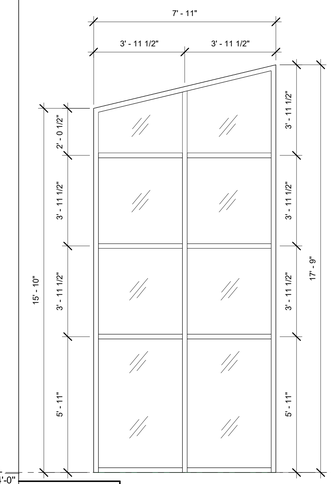

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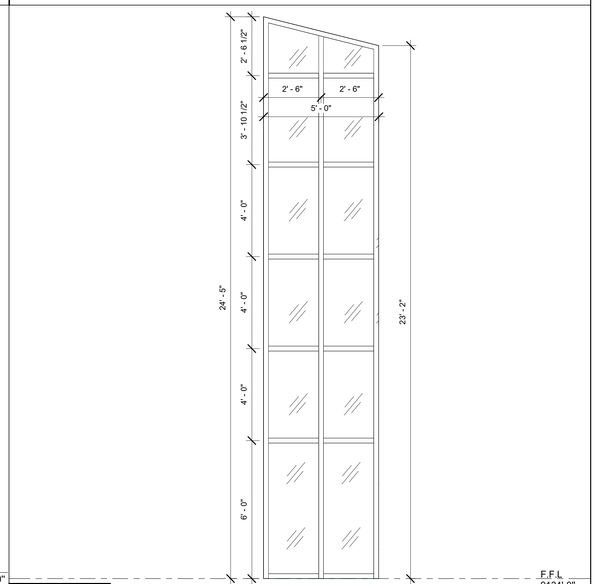

W21

Scale : 3/8" = 1'-0"

WINDOW SCHED.

THE JK COMPANIES

ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

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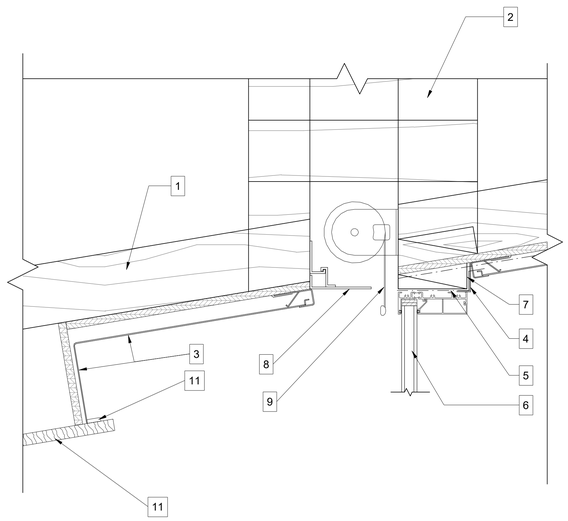


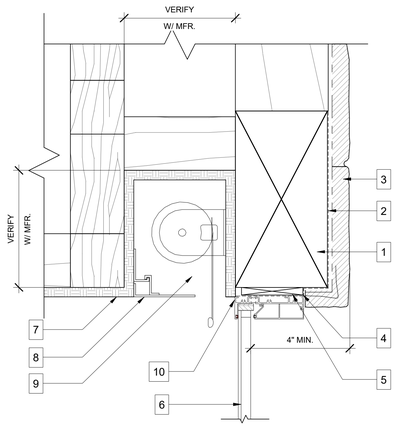
01 WINDOW HEAD AT METAL PANEL

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. ROOF FRAMING PER STRUCTURAL PLAN.
2. BLOCKING AS REQUIRED.
3. METAL PANEL.
4. BRAKE METAL TO MATCH WINDOW FRAME
5. WINDOW FLASHING
6. WINDOW-SEE SCHEDULE
7. SHIM AS REQUIRED
8. COVER PLATE. PAINT TO MATCH CEILING
9. SINGLE ROLLER SHADE POCKET. CONFIRM REQUIREMENTS WITH SHADE MFR
10. T&G WOOD CEILING PER PLAN
11. LED LIGHT-SEE LIGHTING PLAN



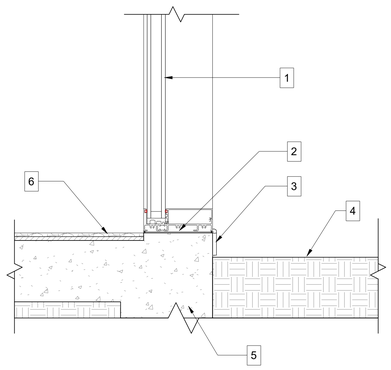
02 WINDOW HEAD AT STONE

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. FRAMING PER PLANS/STRUCTURAL
2. WEATHER RESISTIVE BARRIER
3. STONE LINTEL MIN. 4" T AND 4" WIDER THAN OPENING EACH SIDE.
4. CASING BEAD
5. SHIM TO ALIGN FRAME W/ FINISH FACE OF JAMB
6. FIXED WINDOW
7. 5/8" TYPE 'X' GYP. BD.
8. COVER PLATE. PAINT TO MATCH ADJACENT CEILING
9. SINGLE ROLLER SHADE POCKET. VERIFY REQUIREMENTS WITH MFR
10. AIR SEAL



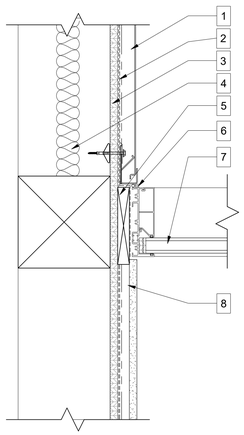
03 WINDOW SILL AT TILE/ GRADE

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. WINDOW PER PLAN
2. ALUM. SILL PAN AND SILL COVER SET IN SEALANT. FINISH TO MATCH WINDOW
3. STUCCO SKIM COAT TO MATCH ADJACENT. FINISH TO WINDOW FRAME
4. FINISHED GRADE PER PLANS
5. FOUNDATION AND FOOTING PER PLANS
6. STONE TILE AND SETTING BED



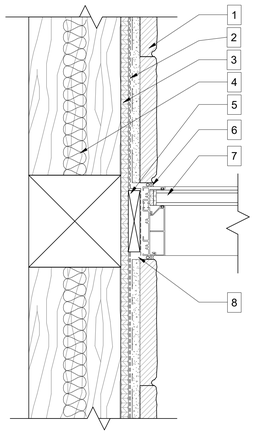
04 WINDOW JAMB AT METAL PANEL

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. OCM WALL PANEL PER PLAN
2. WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER PLAN
4. R-19 OR BETTER INSULATION
5. SHIM TO ALIGN WINDOW W/ FINISH FACE OF JAMB
6. CONT. SEALANT W/ BACKER ROD
7. WINDOW PER PLAN
8. 5/8" TYPE 'X' GYP. BD.



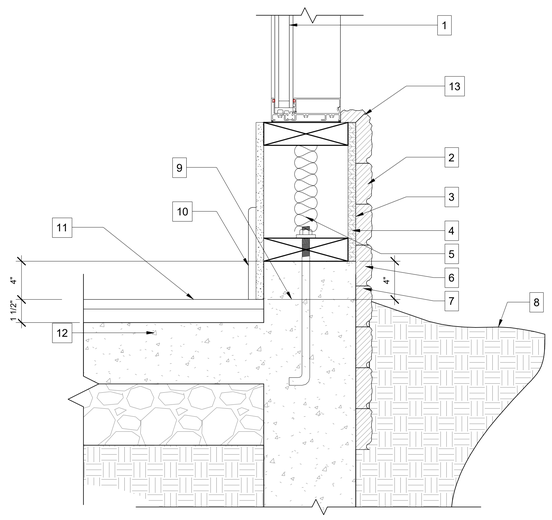
05 WINDOW JAMB AT STONE

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. STONE PER PLAN
2. WEATHER RESISTIVE BARRIER
3. FRAMING/SHEATHING PER PLAN
4. R-19 OR BETTER INSULATION
5. SHIM TO ALIGN WINDOW W/ FINISH FACE OF JAMB
6. CONT. SEALANT W/ BACKER ROD
7. WINDOW PER PLAN
8. AIR SEAL



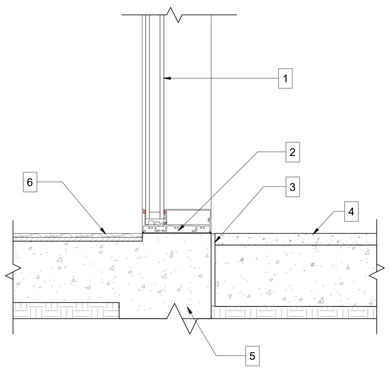
06 WINDOW SILL AT STONE

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. WINDOW PER PLAN
2. STONE WALL ASSEMBLY PER PLANS
3. WEATHER RESISTIVE BARRIER
4. FRAMING & SHEATHING PER STRUCTURAL
5. R-21 OR BETTER INSULATION
6. WEEP SCREED
7. STONE TO EXTEND 4" BELOW GRADE
8. FINISHED GRADE PER LANDSCAPING SLOPE AWAY FROM BUILDING 2%
9. PRESSURE TREATED SILL PLATE
10. WALL BASE BOARD WHERE OCCURS
11. FLOORING AS OCCURS
12. CONCRETE SLAB & FOUNDATION PER STRUCTURAL
13. 1/4"-1'-0 SLOPE IN STONE TO EXTERIOR.



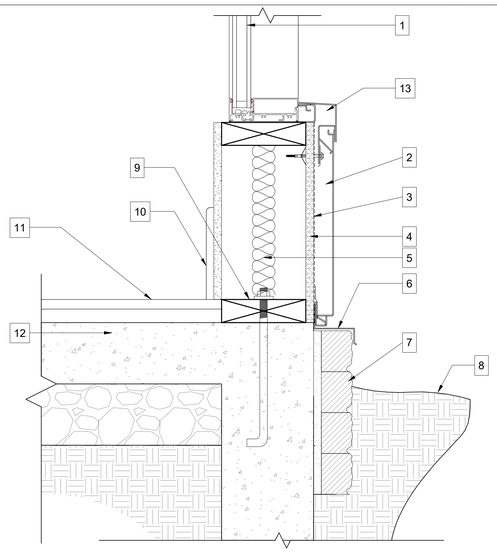
07 WINDOW SILL AT HARDSCAPE

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. WINDOW PER PLAN
2. ALUM. SILL PAN AND SILL COVER SET IN SEALANT. FINISH TO MATCH WINDOW
3. COMPRESSIBLE FILLER
4. HARDSCAPE PER PLANS
5. FOUNDATION AND FOOTING PER PLANS
6. STONE TILE AND SETTING BED



08 WINDOW SILL AT METAL PANEL

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. WINDOW PER PLAN
2. METAL WALL ASSEMBLY PER PLANS
3. WEATHER RESISTIVE BARRIER
4. FRAMING & SHEATHING PER STRUCTURAL
5. R-21 OR BETTER INSULATION
6. METAL FLASHING.
7. STONE VENEER ON MORTAR BED.
8. FINISHED GRADE PER LANDSCAPING. SLOPE AWAY FROM BUILDING 2%
9. PRESSURE TREATED SILL PLATE
10. WALL BASE BOARD WHERE OCCURS
11. FLOORING AS OCCURS
12. CONCRETE SLAB & FOUNDATION PER STRUCTURAL
13. 1/4"-1'-0 SLOPE IN STONE TO EXTERIOR.

Scale : 3" = 1'-0"

WINDOW DETAILS

THE JK COMPANIES
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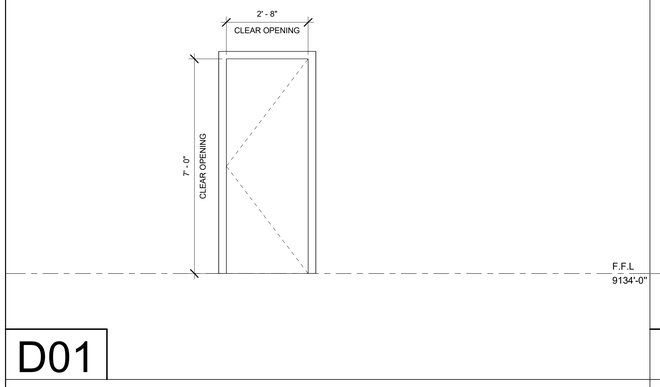

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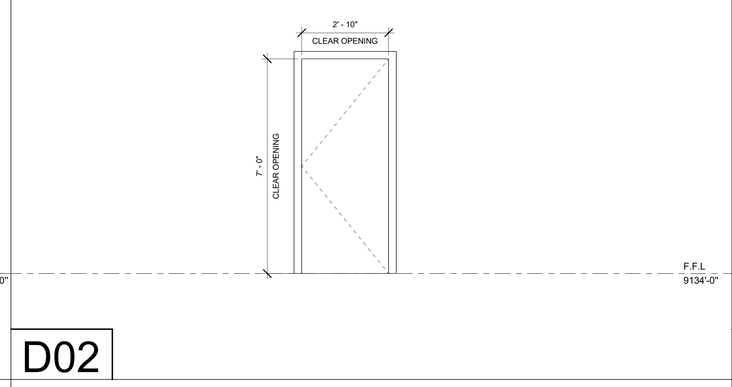

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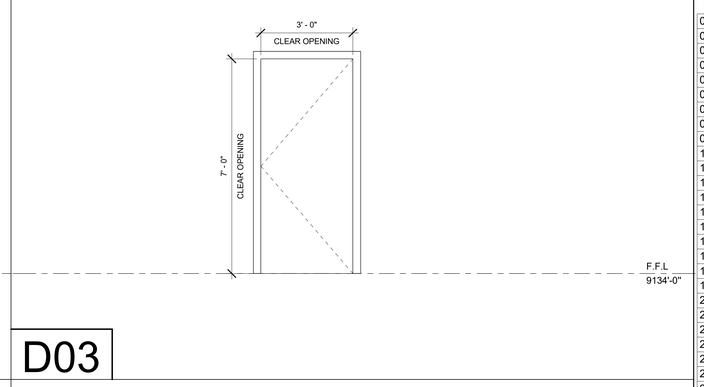

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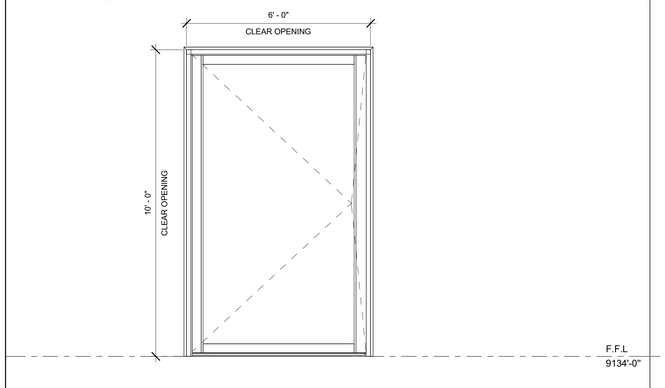

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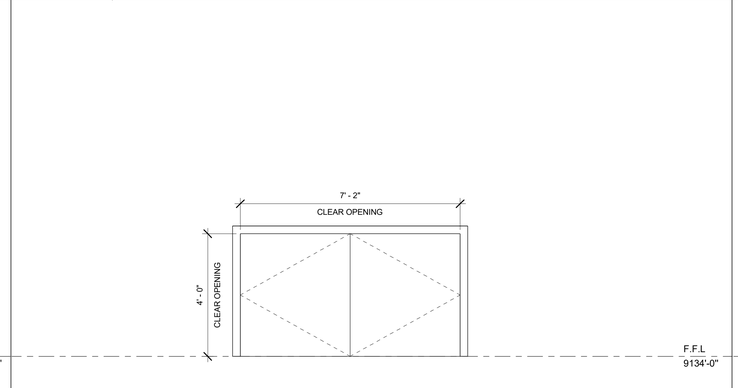

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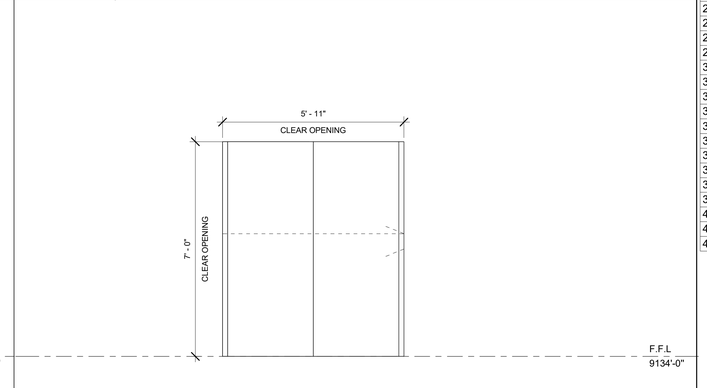

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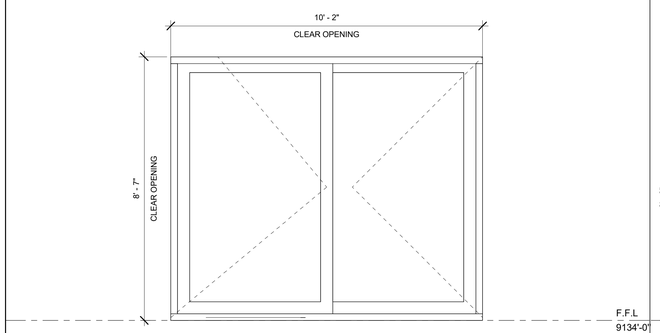

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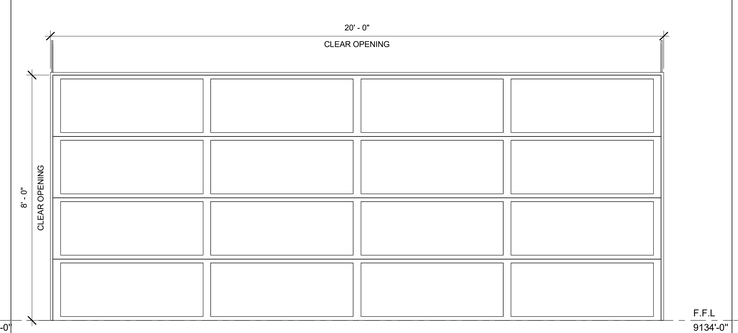
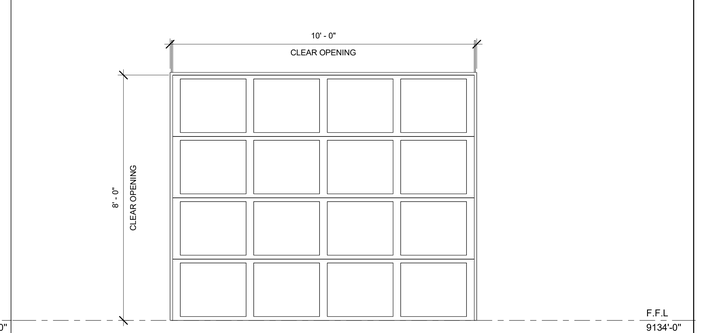


RS1



RS2

DOOR SCHEDULE

DOOR No.	Type	Width	Height	Sill Height	Head Height
01	D04	6' - 9"	8' - 5 1/2"		
02	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
03	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
04	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
05	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
06	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
07	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
08	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
09	GL01	2' - 8"	7' - 2"		
10	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
11	26	19' - 10"	8' - 0"	0' - 0"	8' - 0"
12	28	9' - 10"	8' - 0"	0' - 0"	8' - 0"
13	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
14	D05	7' - 2"	4' - 0"	0' - 0"	4' - 0"
15	GL01	3' - 6 1/2"	11' - 8 1/2"		
16	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
17	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
18	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
19	D02	2' - 10"	7' - 0"	0' - 0"	7' - 0"
20	D06	5' - 11"	8' - 0"	0' - 0"	8' - 0"
21	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
22	D07	10' - 2"	8' - 6"	0' - 0"	8' - 6"
23	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
24	GL01	2' - 6"	7' - 3"		
25	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
26	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
27	GL01	2' - 8"	10' - 6"		
28	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
29	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
30	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
31	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
32	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
33	GL01	2' - 6"	7' - 0"		
34	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
35	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
36	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
37	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
38	GL01	2' - 6"	8' - 0"		
39	GL01	2' - 6"	8' - 0"		
40	D03	3' - 0"	7' - 0"	0' - 0"	7' - 0"
48	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"
49	D01	2' - 8"	7' - 0"	0' - 0"	7' - 0"

Scale : 1/2" = 1'-0"

DOOR SCHED.

THE JK COMPANIES
ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

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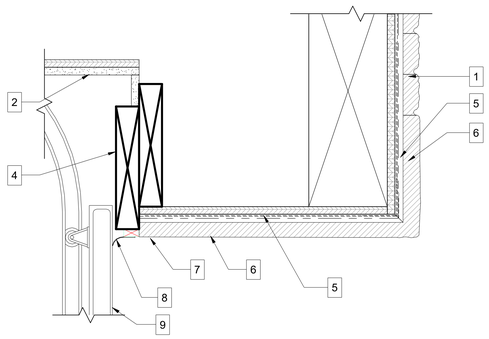
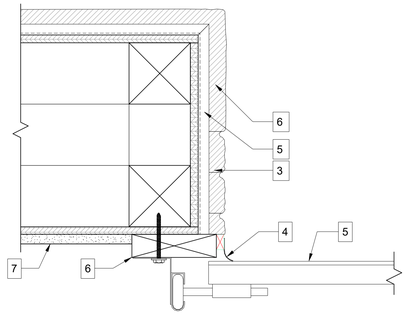


01 GARAGE DR. HDR. AT STONE PANEL 3" =1'-0"

GENERAL NOTES

KEY NOTES

1. STONE WALL ASSEMBLY PER PLANS
2. 5/8" TYPE 'X' GYP. BD.
3. FRAMING/SHEATHING PER STRUCTURAL
4. TORSION SPRING MOUNTING BOARD. PAINT TO MATCH INTERIOR FINISH
5. SELF-ADHERED W.P. MEMBRANE LAPPED UNDER W.R.B.
6. SOFFIT PANEL
7. CLOSURE FLASHING
8. CLIMATE SEAL TRIM
9. WOOD CLAD OVERHEAD GARAGE DOOR. SEE PLANS FOR SPECS.

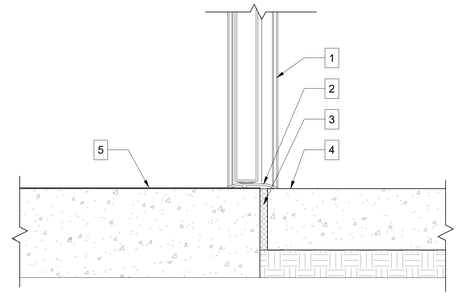


02 GARAGE DOOR JAMB AT STONE 3" =1'-0"

GENERAL NOTES

KEY NOTES

1. FRAMING/SHEATHING PER STRUCTURAL
2. WEATHER RESISTIVE BARRIER
3. STONE WALL ASSEMBLY PER PLANS
4. CLIMATE SEAL
5. WOOD CLAD OVERHEAD GARAGE DOOR. SEE PLANS
6. TRACK MOUNTING BOARD. PAINT TO MATCH INTERIOR FINISH
7. 5/8" TYPE 'X' GYP. BD.



03 METAL WRAPPED METAL DOOR SILL 3" =1'-0"

GENERAL NOTES

KEY NOTES

1. OCM METAL WRAPPED HOLLOW METAL DOOR AND FRAME
2. 1/2" ALUMINUM THRESHOLD SET IN SEALANT
3. 1/2" COMPRESSION FILLER
4. FINISHED FLOORING PER LANDSCAPE. SLOPE AWAY FROM DOOR AT 2%
5. EPOXY FLOOR COATING

04 INTERIOR DOOR JAMB 3" =1'-0"

GENERAL NOTES

KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. METAL KERF TRIM EA. SIDE. SPACKLE AND PAINT TO MATCH
3. 11/2" WOOD CASING
4. 1/2" WOOD STOP
5. 1-3/4"FLUSH WOOD DOOR PER PLANS

05 INTERIOR WOOD DOOR HEAD/ JAMB 3" =1'-0"

GENERAL NOTES

KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. SHIM SPACE
3. METAL KERF TRIM EA. SIDE
4. 11/2" WOODJAMBS
5. 1/2" WOOD STOP
6. 1-3/4" FLUSH WOOD DOOR PER PLANS

06 METAL DOOR HEAD/ JAMB AT STONE 3" =1'-0"

GENERAL NOTES

KEY NOTES

1. STONE WALL ASSEMBLY PER PLANS
2. WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. CASING BEAD W/ WEEP HOLES
6. HEMMED METAL HEAD FLASHING SET IN SEALANT LAPPED UNDER W.R.B.
7. HOLLOW METAL DOOR AND FRAME PAINT TO MATCH STUCCO.
8. 5/8" TYPE 'X' GYP. BD.

07 METAL DOOR HEAD/ JAMB AT METAL 3" =1'-0"

GENERAL NOTES

KEY NOTES

1. METAL WALL ASSEMBLY PER PLANS
2. WEATHER RESISTIVE BARRIER
3. FRAMING & SHEATHING PER STRUCTURAL
4. R-21 OR BETTER INSULATION
5. HEMMED METAL HEAD FLASHING SET IN SEALANT LAPPED UNDER W.R.B.
6. HOLLOW METAL DOOR AND FRAME PAINT TO MATCH METAL PANEL.
7. 5/8" TYPE 'X' GYP. BD.

08 DOOR HEAD/JAMB AT SOFFIT 3" =1'-0"

GENERAL NOTES

KEY NOTES

1. TYVEK WEATHER RESISTIVE BARRIER
2. FRAMING/SHEATHING PER STRUCTURAL
3. INSULATION PER PLANS
4. FOAM ROOFING PER PLANS
5. ROOF SHEATHING PER PLANS
6. SOFFIT CEILING FLUSH WITH WINDOW HEAD PER PLAN.
7. WINDOW FLASHING
8. DOOR/WINDOW FRAME-SEE SCHEDULE

THE JK COMPANIES

ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
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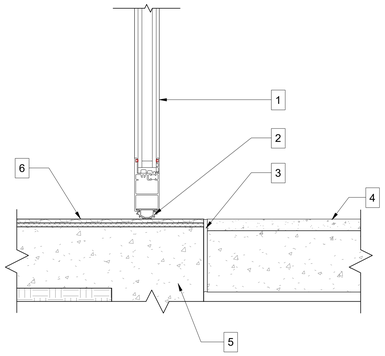
SHEET NO.

A-9.2

Scale : 3" = 1'-0"

DOOR DETAILS



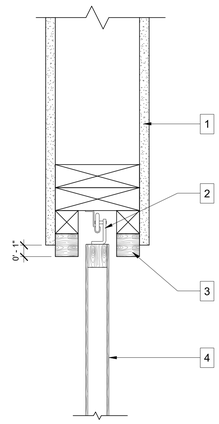
01 PIVOT DOOR SILL

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. PIVOT DOOR PER PLANS
2. WEATHER SEAL
3. COMPRESSIBLE FILLER
4. HARDSCAPE PER PLANS
5. FOUNDATION AND FOOTING PER PLANS
6. STONE TILE AND SETTING BED



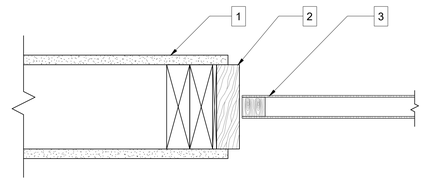
02 POCKET DOOR HEAD

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. POCKET DOOR ROLLER HD. WR.
3. 1 1/2" WOOD CASING
4. FLUSH WOOD DOOR



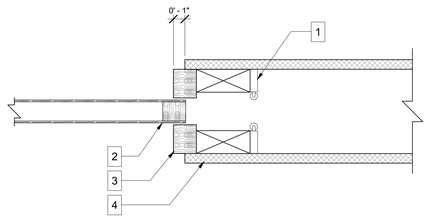
03 POCKET DOOR JAMB

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. 1 1/2" WOOD CASING
3. FLUSH WOOD DOOR



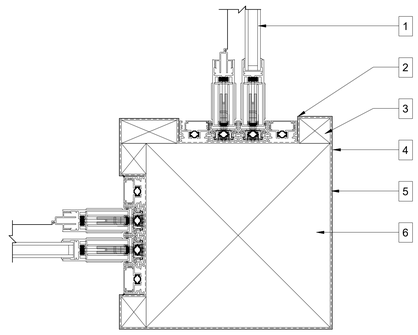
04 POCKET DOOR JAMB

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. 5/8" TYPE 'X' GYP. BD.
2. POCKET DOOR ROLLER HD. WR.
3. 1 1/2" WOOD CASING
4. FLUSH WOOD DOOR



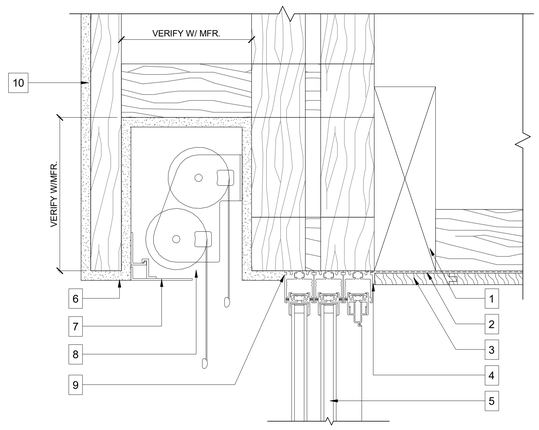
05 POCKET SLDG. DR. JAMB AT POST

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. SLIDING POCKET DOOR PER PLANS W/ SCREEN
2. CONT. SEALANT W/ BACKER ROD
3. SHIM TO ALIGN FRAME W/ FINISH FACE OF JAMB
4. BREAK METAL TO MATCH DOOR AND WINDOW FINISH
5. WEATHER RESISTIVE BARRIER
6. FRAMING PER STRUCTURAL



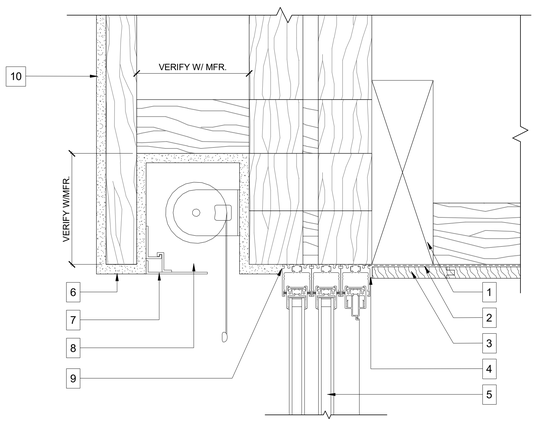
06 SLIDING DOOR HEAD AT BEDROOM

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. FRAMING PER PLANS/ STRUCTURAL
2. WEATHER RESISTIVE BARRIER
3. T & G SOFFIT PER PLANS
4. SHIM & SEALANT
5. SLIDING POCKET DOOR W/SCREEN
6. 5/8" TYPE 'X' GYP. BD.
7. COVER PLATE. PAINT TO MATCH CEILING
8. DOUBLE ROLLER SHADE POCKET CONFIRM REQUIREMENTS WITH SHADE MFR.
9. AIR SEAL
10. 2X LAYER FLAT AND BUILD WALL TO WALL



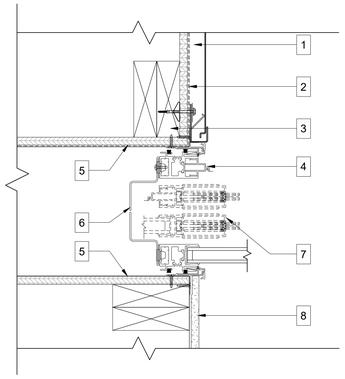
07 SLDG. DR. HEAD AT PUBLIC SPACE

3" =1'-0"

GENERAL NOTES

KEY NOTES

1. FRAMING PER PLANS/ STRUCTURAL
2. WEATHER RESISTIVE BARRIER
3. T & G PER PLANS
4. SHIM & SEALANT
5. SLIDING POCKET DOOR W/SCREEN
6. 5/8" TYPE 'X' GYP. BD.
7. COVER PLATE. PAINT TO MATCH CEILING
8. DOUBLE ROLLER SHADE POCKET CONFIRM REQUIREMENTS WITH SHADE MFR.
9. AIR SEAL
10. 2X LAYER FLAT AND BUILD WALL TO WALL



08 TYP.SLDG. DR. POCKET AT METAL

3" =1'-0"

GENERAL NOTES

1. WEATHERSTRIP AND WEATHERPROOF POCKET OPENING WHEN DOORS ARE IN CLOSED POSITION

KEY NOTES

1. METAL PANEL PER PLAN.
2. WEATHER RESISTIVE BARRIER
3. FRAMING PER PLANS/STRUCTURAL
4. POCKET DOOR FRAME AND MOUNTING
5. WRAP POCKET INTERIOR W/ BREAK METAL. PAINT TO MATCH DOOR FINISH
6. POCKET CLOSER PANELS
7. PANELS IN OPEN POSITION ALIGN FLUSH
8. 5/8" TYPE 'X' GYP. BD.

THE JK COMPANIES
ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

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Justin Kilbane
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05-07-2022
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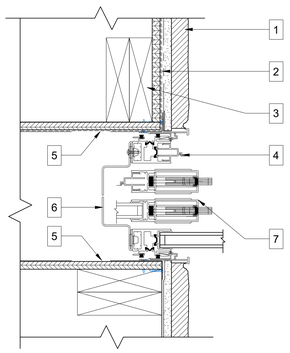
SHEET NO.

A-9.3

Scale : 3" = 1'-0"

DOOR DETAILS



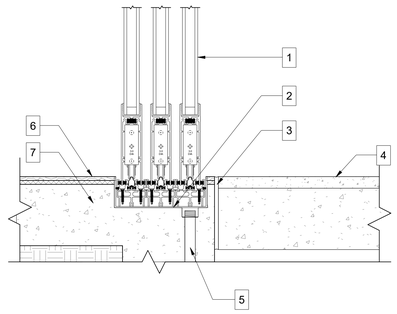
01 **TYPICAL SLIDING DOOR POCKET** 3" =1'-0"

GENERAL NOTES

1. WEATHERSTRIP AND WEATHERPROOF POCKET OPENING WHEN DOORS ARE IN CLOSED POSITION

KEY NOTES

1. STONE PER PLAN.
2. WEATHER RESISTIVE BARRIER
3. FRAMING PER PLANS/STRUCTURAL
4. POCKET DOOR FRAME AND MOUNTING
5. WRAP POCKET INTERIOR W/ BREAK METAL. PAINT TO MATCH DOOR FINISH
6. POCKET CLOSER PANELS
7. PANELS IN OPEN POSITION ALIGN FLUSH



02 **TYP. POCKET SLIDING DOOR SILL** 3" =1'-0"

GENERAL NOTES

KEY NOTES

1. SLIDING DOOR PER PLANS. INSTALL PER MFR INSTRUCTIONS
2. SILL PAN. INSTALL PER MFR INSTRUCTIONS
3. COMPRESSIBLE FILLER
4. HARDSCAPE PER PLANS
5. SILL PAN DRAIN. CONSULT MFR INSTRUCTIONS
6. FLOORING AND SUBSTRATE PER PLANS
7. CONCRETE SLAB PER PLANS

THE JK COMPANIES

ARCHITECTURE I CONSTRUCTION AND DEVELOPMENT I HOMES AND LAND

THE BROWN RESIDENCE
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--- LAWSON POINT ROAD
MOUNTAIN VILLAGE, COLORADO

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05-07-2022
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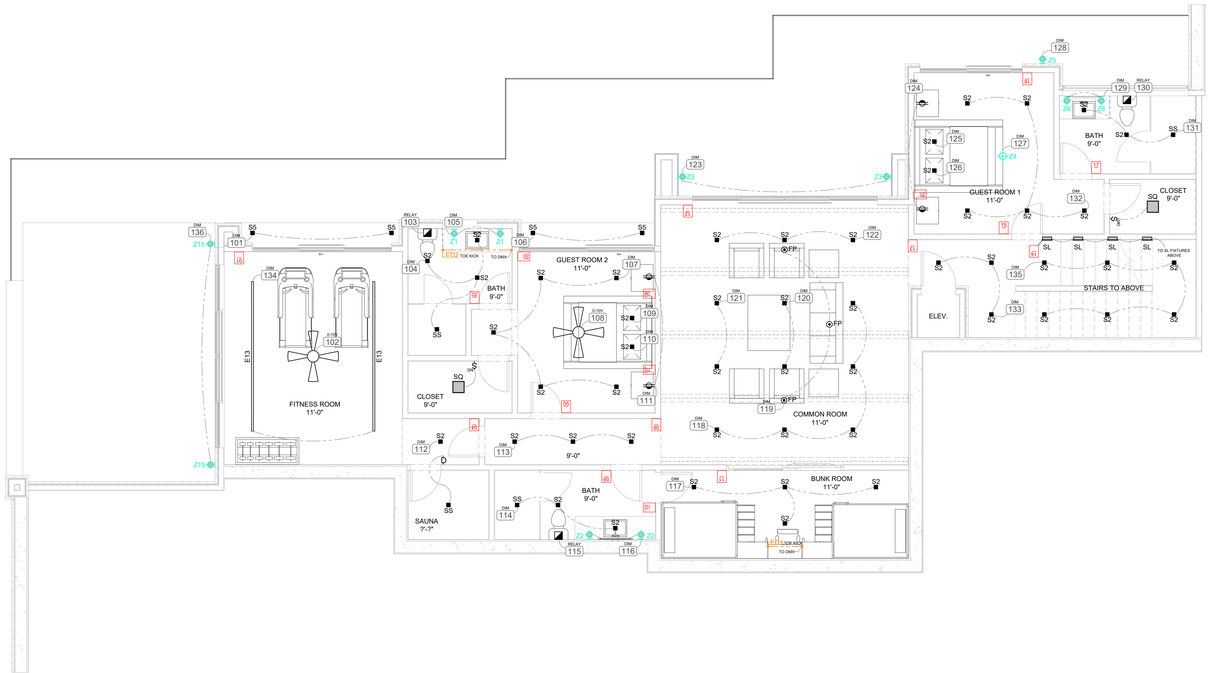
SHEET NO.

A-9.4

Scale : 3" = 1'-0"

DOOR DETAILS



1 LOWER FLOOR PLAN

LIGHTING PLAN

SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

9. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

10. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

11. ALL WIRE USED SHALL BE COPPER

12. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG, ADG, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.

13. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST LIGHT CONTROL LLC DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT ADG - 888.296.0950 FOR CLARIFICATION.

PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURED/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

$	SINGLE POLE SWITCH
$'	SINGLE POLE JAMB SWITCH
$MD	SINGLE POLE MOTION SWITCH
$T	SINGLE POLE TIMER SWITCH
	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
SCP	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER
	CEILING MOUNTED EXHAUST FAN
FIRE LOG	ELECTRIC FIREPLACE IGNITOR
XX	LIGHTING CONTROL KEYPAD
XXX	LIGHTING CONTROL SWITCHLEG
	LIGHTING CONTROL ENCLOSURE

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DRAWN BY:
RAY MACIAS

DATE: JUNE 24, 2022

SCALE:AS NOTED

REVISIONS:
1
2
3

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
MOUNTAIN VILLAGE, COLORADO

SHEET NUMBER:
LIGHTING PLAN
EL 1

1 MAIN FLOOR PLAN

LIGHTING PLAN

SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

9. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

10. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

11. ALL WIRE USED SHALL BE COPPER

12. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG, ADG, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.

13. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST LIGHT CONTROL LLC DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT ADG - 888.296.0950 FOR CLARIFICATION.

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2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURED/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

S	SINGLE POLE SWITCH
S'	SINGLE POLE JAMB SWITCH
S^MD	SINGLE POLE MOTION SWITCH
S^T	SINGLE POLE TIMER SWITCH
D	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
GFCI	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER
	CEILING MOUNTED EXHAUST FAN
PILOT IGN	ELECTRIC FIREPLACE IGNITOR
KP	LIGHTING CONTROL KEYPAD
XXX	LIGHTING CONTROL SWITCHLEG
	LIGHTING CONTROL ENCLOSURE

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T 888.296.0950

DRAWN BY:
RAY MACIAS

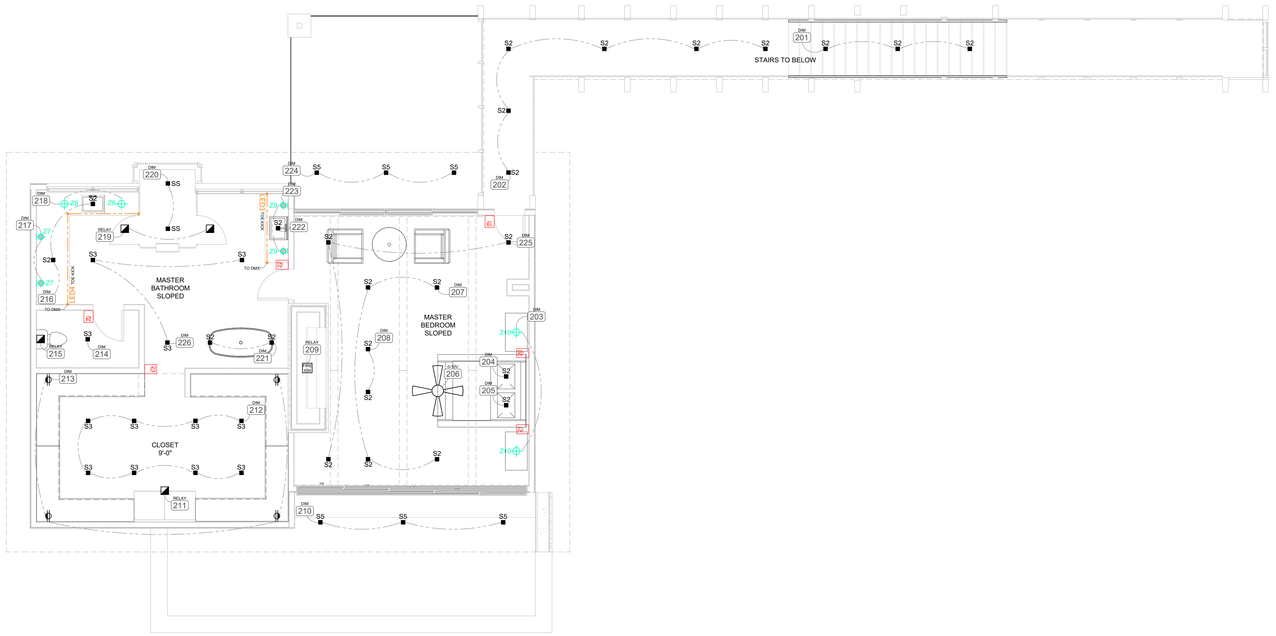
DATE: JUNE 24, 2022

SCALE:AS NOTED

REVISIONS:
1
2
3

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
MOUNTAIN VILLAGE, COLORADO

SHEET NUMBER:
LIGHTING PLAN
EL 2



1 UPPER FLOOR PLAN
LIGHTING PLAN
SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

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3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

9. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

10. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

11. ALL WIRE USED SHALL BE COPPER

12. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG, ADG, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.

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14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT ADG - 888.296.0950 FOR CLARIFICATION.

PROJECT NOTES

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4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

$	SINGLE POLE SWITCH
$JAMB	SINGLE POLE JAMB SWITCH
$MD	SINGLE POLE MOTION SWITCH
$T	SINGLE POLE TIMER SWITCH
	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
RCP	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER
	CEILING MOUNTED EXHAUST FAN
FIRE GAS	ELECTRIC FIREPLACE IGNITOR
XX	LIGHTING CONTROL KEYPAD
XXX	LIGHTING CONTROL SWITCHLEG
	LIGHTING CONTROL ENCLOSURE

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DRAWN BY:
RAY MACIAS

DATE: JUNE 24, 2022

SCALE:AS NOTED

REVISIONS:
1
2
3

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
MOUNTAIN VILLAGE, COLORADO

SHEET NUMBER:
LIGHTING PLAN
EL 3

ACOUSTIC DESIGNS GROUP

16074 N.78th Street, Suite B104
Scottsdale, AZ 85260
888.296.0950

Lighting Fixture Schedule

Project: Brown Residence

Quantity	Type	Manufacturer	Model Number / Description	Volts	Lamp Type	Watts
10	BM	LUMIERE	203-LAMP BY OTHER-12 BK w TM05-BK - Verify Color Before Ordering 2-1/4" Adjustable Low Voltage Beam Mounted Downlight - Requires Remote 12V AC Driver	12V AC	SOLMR16-12V-8W-FL-30KWD-SL	8
2	CL	DMF	DRDSS4LI5930 18" Led Surface Linear 1500 lm, 90+CRI, 3000K	120V AC	integral LED lamp	17
2	EI3	CORONET	EOS 2.0-R-FT-BAT-1000-13"-0"-WCT-8-UNV-2(0-10V) Drivers for Color Tuning 13"-0" x 2" Linear Recessed Downlight (Verify Ceiling Conditions and Concept before Ordering)	120V AC	integral LED lamp	39
9	FP	CARLON (REFERENCE ELECTRICAL)	976 – RFB Deep Rectangular Floor Plug with Metallic Cover Plate	120V AC	N/A	N/A
1 SYSTEM	LED-EX EXTERIOR	ENVIRONMENTAL LIGHTS	LINEAR LED LIGHTING (WITH EXTRUSION + DIFFUSE LENS) CONTRACTOR TO DETERMINE BILL OF MATERIALS USING wp-ct3528-120-10-reel - 16'-4" WHITE ADJUSTABLE TAPE LIGHT CSI79 - 78" CHANNEL SYSTEM WITH ALUMINUM TRACK AND COVER DIFFUSER LED-TRACK-END-CAP - END CAPS FOR TRACK DMX-4-5000 - 4 CHANNEL / 5 AMP DECODER DMX-4-5000-3-10A - 4 CHANNEL / 10 AMP DECODER DMX-6-22K-3-6A - 6 CHANNEL / 6 AMP DECODER TRACO POWER SUPPLIES: TIS-XXX-124-115 - TRACO DIN RAIL UL LISTED POWER SUPPLIES	24V DC DMX CONTROLLED (3-Wire per Feed)	integral LED lamp	5w / ft
1 SYSTEM	LED INTERIIOR	ENVIRONMENTAL LIGHTS	LINEAR LED LIGHTING (WITH EXTRUSION + DIFFUSE LENS) CONTRACTOR TO DETERMINE BILL OF MATERIALS USING TW2465-CL-12.5m - 16'-4" WHITE ADJUSTABLE TAPE LIGHT CSI06 - 78" CHANNEL SYSTEM WITH ALUMINUM TRACK AND COVER DIFFUSER LED-TRACK-END-CAP - END CAPS FOR TRACK DMX-4-5000 - 4 CHANNEL / 5 AMP DECODER DMX-4-5000-3-10A - 4 CHANNEL / 10 AMP DECODER DMX-6-22K-3-6A - 6 CHANNEL / 6 AMP DECODER TRACO POWER SUPPLIES: TIS-XXX-124-115 - TRACO DIN RAIL UL LISTED POWER SUPPLIES	24V DC DMX CONTROLLED (3-Wire per Feed)	integral LED lamp	5w / ft
2	LI.8	ORACLE LIGHTING	8-OC4-LED-8000L-DIM10-MVOLT-35K-90 96" Surface Mounted LED	120V AC	integral LED lamp	61
65	S1	SPECIALTY LIGHTING	GR-IC-AD20-A-AD-NF-C2 / GRT-SQ-FT-WHT-91A-ADG 4" Adjustable LED Downlight with Ambient Dim and Replaceable Optics	120V AC	integral LED lamp	20
120	S2	SPECIALTY LIGHTING	GR-IC-AD14-A-AD-NF-C2 / GRT-SQ-FT-WHT-91A-ADG 4" Adjustable LED Downlight with Ambient Dim and Replaceable Optics	120V AC	integral LED lamp	14
24	S3	DMF LIGHTING	DRDHNLS (Housing) / DID2M1093WGAT (Module) / DRD2TSISSWH (trim) 4" LED Downlight with Ambient Dim`	120V AC	integral LED lamp	18
12	S4	DMF	DRDHNLS (Housing) / DID2M1293SGAT (Module) / DRD2TSISSWH (trim) 4" General Downlight Recessed - 3500K	120V AC	integral LED lamp	18
63	S5	SPECIALTY LIGHTING	GRF-IC-AD14-A-AD-NF-C2 (IC RATED HOUSING) / GRTF-SQ-FT-WHT 4" Adjustable Warm Dim Pinhole Downlight with Interchangeable Optics	120V AC	integral LED lamp	14
8	SL	SPECIALTY LIGHTING	2102-F-FH-A4-27-V4-PI4 - Verify Color Before Ordering 5" x 4" Flanged LED Step Light	120V AC	integral LED lamp	4
4	SQ	MAXIM	57675WTWT 15" Thin Profile General Illumination Closet Light	120V AC	integral LED lamp	25
7	SS	SPECIALTY LIGHTING	GR-IC-AD20-A-AD-NF-C2 (IC RATED HOUSING) / GRT-SQ-FST-WHT-91A 4" Adjustable Warm Dim Downlight with Interchangeable Optics - Wet Listed	120V AC	integral LED lamp	20
1 SYSTEM	UC#	ENVIRONMENTAL LIGHTS	LINEAR LED LIGHTING (WITH EXTRUSION + DIFFUSE LENS) CONTRACTOR TO DETERMINE BILL OF MATERIALS USING TW2465-CL-12-5m - 16'-4" WHITE ADJUSTABLE TAPE LIGHT CSI06 - 78" CHANNEL SYSTEM WITH ALUMINUM TRACK AND COVER DIFFUSER LED-TRACK-END-CAP - END CAPS FOR TRACK DMX-4-5000 - 4 CHANNEL / 5 AMP DECODER DMX-4-5000-3-10A - 4 CHANNEL / 10 AMP DECODER DMX-6-22K-3-6A - 6 CHANNEL / 6 AMP DECODER TRACO POWER SUPPLIES: TIS-XXX-124-115 - TRACO DIN RAIL UL LISTED POWER SUPPLIES	24V DC DMX CONTROLLED (3-Wire per Feed)	integral LED lamp	5w / ft
26	Z#	- - -	Decorative light fixtures and lamps to be furnished by Owner. Fixtures to be assembled and installed by electrical contractor. (SEE DECORATIVE FIXTURE SCHEDULE)	120V AC	- - -	- - -

*** ALL FIXTURES INSTALLED IN EXTERIOR CONDITIONS MUST BE DAMP OR WET RATED.
*** ALL FIXTURES ARE TO BE APPROVED BY OWNER BEFORE ORDERING.
*** ALL LINEAR PRODUCT MUST BE FIELD MEASURED BEFORE ORDERING.
*** ALL LED PRODUCT IS TO BE FIELD VERIFIED FOR PROPER COLOR RENDERING BEFORE ORDERING
*** ALL TRIM COLORS TO BE VERIFIED WITH HOME OWNER BEFORE ORDERING.

ACOUSTIC DESIGNS GROUP

16074 N.78th Street, Suite B104
Scottsdale, AZ 85260
888.296.0950

Decorative Fixture Schedule

Project: Brown Residence

Quantity	Type	Watts Each	Location	Mounting
2	Z1	150	LL - Guest Room 2 Bath - Vanity Sconces	Wall Mounted
2	Z2	150	LL - Bunk Room Bath - Vanity Sconces	Wall Mounted
2	Z3	150	LL - Common Room Patio - Wall Sconces	Wall Mounted
1	Z4	150	LL - Guest Room 1 - Chandelier	Hanging
1	Z5	150	LL - Guest Room 1 Patio - Wall Sconce	Wall Mounted
2	Z6	150	LL - Guest Room 1 Bath - Vanity Sconces	Wall Mounted
2	Z7	150	UL - Master Bath - Left Vanity Sconces	Wall Mounted
2	Z8	150	UL - Master Bath - Left Vanity Chandeliers	Hanging
2	Z9	250	UL - Master Bath - Right Vanity Scones	Wall Mounted
2	Z10	150	UL - Master Bedroom - Bedside Pendants	Hanging
2	Z11	250	ML - Entry Powder Room - Vanity Sconces	Wall Mounted
1	Z12	400	ML - Foyer - Chandelier	Hanging
1	Z13	100	ML - Living Room - Chandelier	Hanging
2	Z14	150	ML - Bath Room - Vanity Sconces	Wall Mounted
2	Z15	150	LL - Fitness Side Yard - Sconces	Wall Mounted

Total Number of Decorative Light Fixtures: 26

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

9. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

10. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

11. ALL WIRE USED SHALL BE COPPER

12. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG, ADG, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.

13. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST LIGHT CONTROL LLC DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT ADG - 888.296.0950 FOR CLARIFICATION.

PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

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4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

- SINGLE POLE SWITCH
- SP — SINGLE POLE JAMB SWITCH
- SMD — SINGLE POLE MOTION SWITCH
- ST — SINGLE POLE TIMER SWITCH
- SINGLE POLE DIMMER
- 1/2 SWITCHED DUPLEX RECEPTACLE
- SCP — SWITCHED RECESSED CLOCK RECEPTACLE
- FP — 1/2 SWITCHED FLOOR PLUG RECEPTACLE
- T# — REMOTE LOW VOLTAGE TRANSFORMER
- CEILING MOUNTED EXHAUST FAN
- FIRE IGN — ELECTRIC FIREPLACE IGNITOR
- XX — LIGHTING CONTROL KEYPAD
- XXX — LIGHTING CONTROL SWITCHLEG
- LIGHTING CONTROL ENCLOSURE

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WWW.ADGROUPAZ.COM
T 888.296.0950

DRAWN BY:
RAY MACIAS

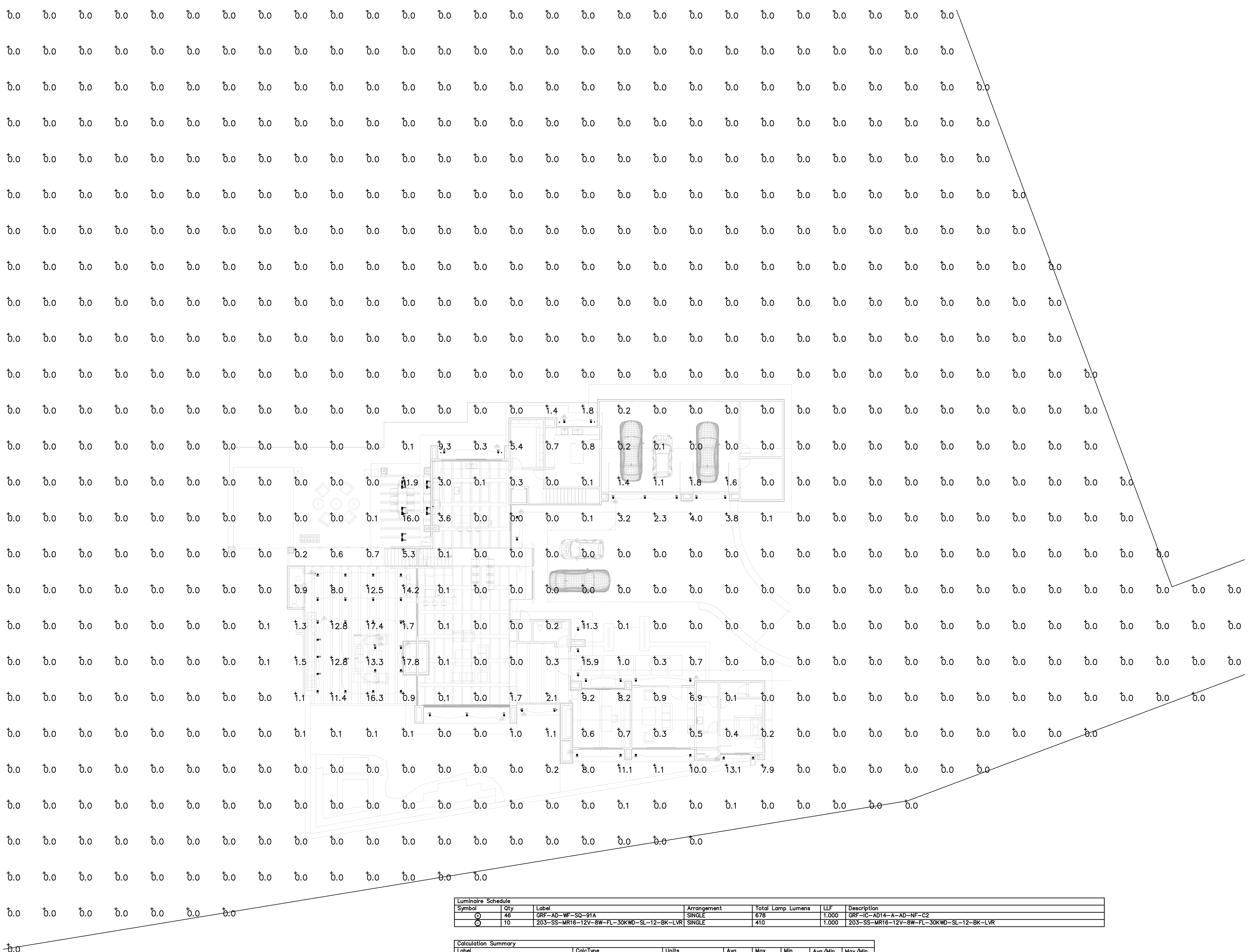
DATE: JUNE 24, 2022

SCALE:AS NOTED

REVISIONS:
1.
2.
3.

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
MOUNTAIN VILLAGE, COLORADO

SHEET NUMBER:
LIGHTING PLAN
EL 4



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊙	46	GRF–AD–WF–SQ–91A	SINGLE	678	1.000	GRF–IC–AD14–A–AD–NF–C2
⊙	10	203–SS–MR16–12V–8W–FL–30KWD–SL–12–BK–LVR	SINGLE	410	1.000	203–SS–MR16–12V–8W–FL–30KWD–SL–12–BK–LVR

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Horizontal at Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Overall Site	Illuminance	Fc	0.20	17.8	0.0	N.A.	N.A.

1 PHOTOMETRIC PLAN

LIGHTING PLAN

SCALE: 3/32" = 1'-0"

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DRAWN BY:
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DATE: JUNE 24, 2022

SCALE: AS NOTED

REVISIONS:
1
2
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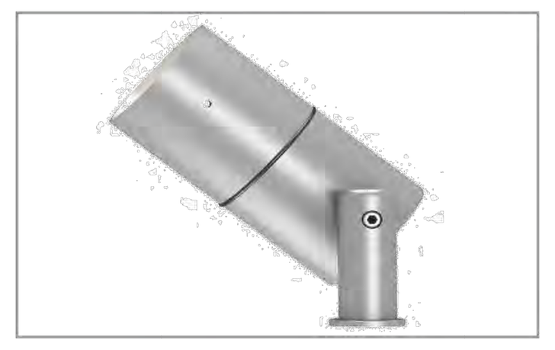
THE BROWN RESIDENCE
ADAMS RANCH LOT 25
MOUNTAIN VILLAGE, COLORADO

SHEET NUMBER:
LIGHTING PLAN PHOTOMETRIC
EL 5

Acoustic Designs Group
Type: BM

203-LAMP BY OTHER-12 BK w. TM05-BK
SOL:MR16-12V-8W-FL-30KWD-SL

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumière
Cambria 203

LED / Halogen
Accent / Flood

Typical Applications
• Hospitality • Commerical Landscape • Outdoor Area/Site • Residential • Architectural

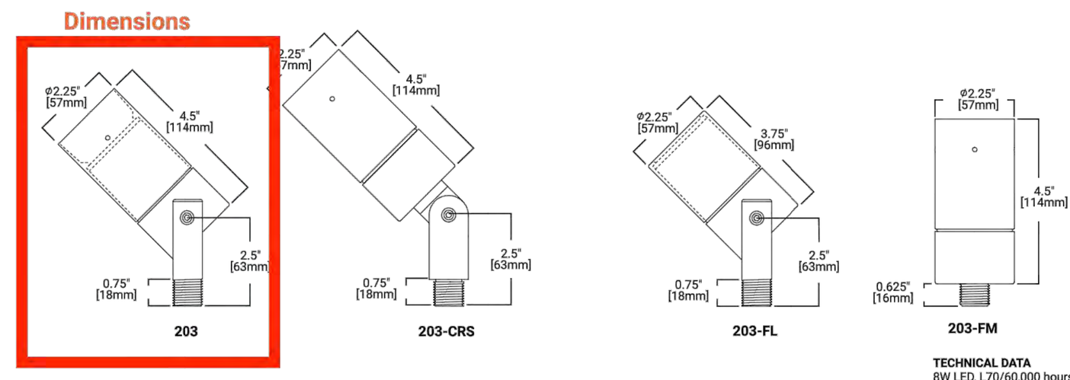
Interactive Menu
- Order Information page 2
- Cambria 203 MR16 Halogen Photometric Data page 3
- Cambria 203 LED Photometric Data page 4
- Product Warranty

Product Certification

Product Features

Top Product Features
- 340° tilt, 360° rotation
- Precision-machined aluminum, brass, bronze, copper or stainless steel
- Stainless steel hardware
- Siphon Protection System (S.P.S.)
- Holds up to three optical accessories
- Three-year warranty

Dimensions



TECHNICAL DATA
8W LED, L70/60,000 hours at 25°C
Low Voltage: 50W Halogen MR16

COOPER Lighting Solutions

Acoustic Designs Group
Type: BM

203-LAMP BY OTHER-12 BK w. TM05-BK
SOL:MR16-12V-8W-FL-30KWD-SL

Lumière — **Cambria 203 LED**

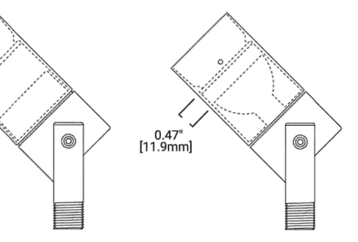
Order Information
SAMPLE ORDER NUMBER: 203-FL-50MR16-12-NSS

Domestic Preferences	Series	Construction	Source (for LED, select from each column and combine)			Voltage	Finish
[Blank]=Standard; BAA=Buy American Act	203=LED or MR16 Cambria Accent Fixture	___=Standard Side Swivel Stem, 1/2" NPS; CRS=Center Rear Swivel Stem, 1/2" NPS; FM=Rear Flush Mount, 1/2" NPS; FL=Flush Lens, Side Swivel Stem, 1/2" NPS	50MR16=50W max. Halogen MR16 (lamp not included)			12=12V	Painted: BK=Black; BZ=Bronze; CS=City Silver; VE=Verde; WT=White
			8LED=8W LED	27=2700K; 30=3000K; 40=4000K*	10=10° Spot; 25=25° Narrow; 36=36° Wide		
			5LED=5W LED	AM=Amber* (585-595nm)	25=25° Narrow		
Notes	Notes	Notes	Notes: * Not Title 20 compliant. BY OTHER			Notes	Notes: (3) Consult factory for premium/natural metals material finish.

Optical Accessories - Order Separately

Filters (2.00" Diameter)	Optical Lenses (2.00" Diameter)	Optical Louvers (2.00" Diameter)
F71=Peach Dichroic; F72=Amber Dichroic; F73=Green Dichroic; F74=Medium Blue; F75=Yellow Dichroic; F76=Red Dichroic; F77=Dark Blue Dichroic; F78=Light Blue Dichroic; F79=Neutral Density Dichroic; F80=Magenta Dichroic; F22=Red Color; F33=Blue Color; F44=Green Color; F55=Yellow Color; F66=Mercury Vapor	LSL=Linear Spread Lens (elongates standard beam spread); DIF=Diffused lens (provides even illumination); OSL=Overall Spread Lens (increases standard beam spread)	LVR=45° Hex Cell Louver (reduces glare)

Lamp or LED Module Replacement



Mounting Accessories - Order Separately

Ground Mounting	Surface / Wall Mounting	Low Voltage Tree Mounting
GS01=1-1/2"x 6-3/4" (38mm x 171mm) cast zinc ground spike; GS03=2-3/8" x 6-5/8" (960mm x 168mm) aluminum ground spike with integral 12V wiring compartment; GS04=1" x 16-1/2" (25mm x 419mm) aluminum ground spike with integral 12V wiring compartment; GS05=1" x 16-1/2" (48mm x 438mm) black polycarbonate ground spike; GS08=1-7/8" x 8" (48mm x 203mm) black ABS ground spike; GS13=3-3/4" x 4-1/2" (95mm x 114mm) brass/stainless steel 3 prong ground spike	FS1=2-7/8"x 4-5/8" (73mm x 117mm) rectagular wall plate or box cover with single 1/2 NPS mounting hole; FS2=2-7/8"x 4-5/8" (73mm x 117mm) rectagular wall plate or box cover with dual 1/2 NPS mounting holes; RS1=4-1/2" (114mm) machined aluminum standard round wall plate with single 1/2 NPS mounting hole; RS2=4-1/2" (114mm) machined aluminum standard round wall plate with single 1/2 NPS mounting hole; TM01=2-3/16" x 1-1/2" (71mm x 38mm) round mount for installation on trees or other wood surfaces with 1/2 NPS mounting hole; TM05=3-7/8" x 2" (98mm x 51mm) rectangular tree/surface mount with wiring compartment and single 1/2 NPS mounting hole	TM04=2-1/2" x 4-1/4" (64mm x 108mm) expanding tree strap with self adjusting tension release for one fixture mount. Designed for a maximum tree diameter of 24" (610mm); TM04-2=two fixture mount; TM04-3=three fixture mount; TM04-4=four fixture mount; TR07=tree friendly ring with adjustable stand-offs. Accomidates 18"-24" (457mm - 610mm) tree diameter; TR07-2=two fixture mount; TR07-3=three fixture mount; TR07-4=four fixture mount; TR07-6=six fixture mount
Notes: (3) Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information	Notes	Notes: (4) Available in galvanized stainless steel finish only

COOPER Lighting Solutions

Acoustic Designs Group
Type: BM

203-LAMP BY OTHER-12 BK w. TM05-BK
SOL:MR16-12V-8W-FL-30KWD-SL

Lumière — **Cambria 203 LED**

Product Specifications

Material
- Housing, hood and mounting stem are precision-machined from corrosion-resistant billet stock 6061-T6 aluminum, C360 brass, C932 bronze*, C110 copper or 303/304 stainless steel

Finish
- Fixtures constructed from 6061-T6 aluminum are double protected by an ROHS* compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment
- A variety of standard colors are available

Brass, Bronze*, Copper or Stainless Steel
- Fixtures constructed from brass, bronze*, copper or stainless steel are left unpainted to reveal the natural beauty of the material
- Brass, bronze* and copper will patina naturally over time

Hood
- Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects
- Model 203, 203-CRS & 203-FM: Weep holes prevent water and mineral stains from collecting on the lens, even in the straight-up position
- Model 203-FL: The flush lens design reduces fixture length, minimizes debris collection and prevents water and mineral stains from collecting on the lens

Gasket
- Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion

Lens
- Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock

Mounting Stem
- Model 203 and 203-FL include fully adjustable side-mounted swivel stem, providing 340° tilt and 360° rotation for easy aiming
- Center rear swivel (203-CRS) or stationary rear flush mount (203-FM) models are also available
- All models include 1/2" NPS threaded male fitting
- Stainless steel aim-locking mechanisms are standard (not available on 203-FM)
- Lumière's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires

Hardware
- Stainless steel hardware is standard to provide maximum corrosion-resistance

Socket
- Ceramic socket with 250° C Teflon® coated lead wires and GU5.3 bi-pin base.

Electrical
- Remote 12V transformer required (not included)
- Initial power draw on LED equipped fixtures is 12 watts
- When sizing transformer use 12 watts per LED fixture
- Nominal power draw after start up is 8 watts
- LEDs are more voltage sensitive than standard halogen MR16 lamps
- The LED module is designed to operate within the range 12V +/- 1.2V. Any less or more voltage can cause premature failures

Lamp
- Halogen lamp not included
- SORAA LED modules are included
- Available in three color temperatures (2700, 3000 and 4000) or Amber (585-595nm)
- Three distributions (spot, narrow, and flood)
- Both color temperature and distribution must be specified when ordering. Soraa lamp compatible (8W Max)

Compliance
- Tested to IESNA LM-79 and LM-80

Shipping Data
- Approximate Net Weight: 1.08 lbs. (0.49 kgs.)
- Effective Projected Area: 9.8 in²

Warranty
- Three year warranty standard.

*For natural bronze ROHS material consult factory.

Cambria 203 MR16 Halogen Photometric Data

Horizontal Illuminance on Surface - Cambria 203 Standard Recessed Hood - 50W MR16

CONE OF LIGHT

Filename	203-50MR16-12-BK-NSP.ies	
Lamp	50W MR16 NSP	
CBCP	11,000	
Distance	FC	Beam Diameter
2'	2550	1'6"
4'	638	1'0"
6'	283	1'6"
8'	159	2'0"
10'	102	3'0"
15'	45	4'0"

Filename	203-50MR16-12-BK-NFL.ies	
Lamp	50W MR16 NFL	
CBCP	3,200	
Distance	FC	Beam Diameter
2'	725	1'0"
4'	181	2'6"
6'	81	4'0"
8'	45	5'0"
10'	29	6'6"
15'	13	10'0"

View IES files

CCT MULTIPLIER TABLE

LAMP WATTAGE	MULTIPLIER
20W	0.32
35W	0.57

Filename	203-50MR16-12-BK-FL.ies	
Lamp	50W MR16 FL	
CBCP	2,000	
Distance	FC	Beam Diameter
2'	431	1'6"
4'	106	3'0"
6'	48	5'0"
8'	27	6'6"
10'	17	8'0"
15'	7	12'0"

Filename	203 -50MR16-12-BK-WFL.ies	
Lamp	50W MR16 WFL	
CBCP	1,200	
Distance	FC	Beam Diameter
2'	269	2'0"
4'	67	4'6"
6'	30	7'6"
8'	17	9'0"
10'	11	11'6"
15'	5	17'0"

NOTES AND FORMULAS
- Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.
- Bare lamp data shown. Consult lamp manufacturers to obtain detailed specifications for their lamps.

COOPER Lighting Solutions

Acoustic Designs Group
Type: BM

203-LAMP BY OTHER-12 BK w. TM05-BK
SOL:MR16-12V-8W-FL-30KWD-SL

Lumière — **Cambria 203 LED**

Cambria 203 LED Photometric Data
LED Lumen and CBCP Table - 3000K

View IES files

		Flush Hood			Regressed Hood (Black)			Regressed Hood (Silver)		
		CBCP	LUMENS	LPW	CBCP	LUMENS	LPW	CBCP	LUMENS	LPW
10	BASE	7758	456	57	7188	387	48.4	6554	385	51.4
	+DIFF	1278	372	46.5	1256	286	35.7	1206	303	40.3
	+LSL	1700	402	50.3	1685	328	41	1557	328	43.7
	+LVR	6837	315	39.9	6276	305	38.2	6010	292	38.9
	+OSL	1700	402	50.3	1685	328	41	1557	328	43.7
25	BASE	3454	536	68.7	3285	480	60.8	3026	465	63.6
	+DIFF	977	435	55.7	936	344	43.5	924	361	46.3
	+LSL	1021	482	61.8	999	406	51.4	923	401	54.1
	+LVR	1864	492	63.1	1815	443	56.1	1705	438	57.6
	+OSL	1864	492	63.1	1815	443	56.1	1705	438	57.6
36	BASE	1469	525	68.2	683	339	43.5	1444	474	60.8
	+DIFF	696	432	56.1	616	392	50.3	645	345	44.8
	+LSL	624	476	61.9	1279	324	41.5	622	408	53.6
	+LVR	1322	344	44.7	1197	434	56.3	1242	323	42.5
	+OSL	624	476	61.9	1279	324	41.5	622	408	53.6

Horizontal Illuminance on Surface - Cambria 203 Standard Recessed Hood - 3000K

CONE OF LIGHT

Filename: 203-SS-8LED3010-12-BK.ies		
Test No.: P349415		
Distance	FC	Beam Diameter
2'	1797.1	0.4
4'	449.3	0.8
6'	199.7	1.2
8'	112.3	1.6
10'	71.9	2
15'	31.9	3.2
20'	18	4.2
30'	8	6.4
40'	4.5	8.4

Filename: 203-SS-8LED3025-12-BK.ies		
Test No.: P349495		
Distance	FC	Beam Diameter
2'	821.4	0.6
4'	205.3	1.2
6'	91.3	1.8
8'	51.3	2.4
10'	32.9	3
15'	14.6	4.6
20'	8.2	6
30'	3.7	9.2
40'	2.1	12.2

Filename: 203-SS-8LED3036-12-BK.ies		
Test No.: P349480		
Distance	FC	Beam Diameter
2'	361.1	1
4'	90.3	2.2
6'	40.1	3.4
8'	22.6	4.6
10'	14.4	5.8
15'	6.4	8.6
20'	3.6	11.6
30'	1.6	17.4
40'	0.9	23.2

CCT MULTIPLIER TABLE

CCT (K) / COLOR	MULTIPLIER
2700K	1.04
3000K	1.00
4000K	0.78

Note: Multiplier can be used to calculate center beam candle power (CBCP), Lumens and footcandle (FC) values.

Horizontal Illuminance on Surface - Cambria 203 Flush Lens Hood - 3000K

Filename: 203-FL-8LED3010-12-BK.ies		
Test No.: P349420		
Distance	FC	Beam Diameter
2'	1939.5	0.4
4'	484.9	0.8
6'	215.5	1.2
8'	121.2	1.6
10'	77.6	2
15'	34.5	3
20'	19.4	4.2
30'	8.6	6.2
40'	4.8	8.4

Filename: 203-FL-8LED3025-12-BK.ies		
Test No.: P349500		
Distance	FC	Beam Diameter
2'	863.4	0.6
4'	215.9	1.2
6'	95.9	1.8
8'	54	2.4
10'	34.5	3
15'	15.3	4.6
20'	8.6	6.2
30'	3.8	9.2
40'	2.2	12.4

Filename: 203-FL-8LED3036-12-BK.ies		
Test No.: P349485		
Distance	FC	Beam Diameter
2'	367.2	1
4'	91.8	2.2
6'	40.8	3.4
8'	22.9	4.6
10'	14.7	5.8
15'	6.5	8.6
20'	3.7	11.6
30'	1.6	17.4
40'	0.9	23.2

TECHNICAL INFORMATION
1.Dimming is dependant on remote transformer compatibility with LED module. Please see compatibility for dimmer switch and transformer selection.
2.When using a magnetic dimmer switch there are two recommended LED compatible 120V magnetic dimming switches: Lutron Ariadni AVLV-600P and Lutron Diva DVLV-600P
3.IMPORTANT: When sizing transformer use 12 watts per LED fixture. Nominal power draw after start up is 8 watts. Any less or more voltage can cause premature failures.

COOPER Lighting Solutions

Cooper Lighting Solutions
18001 East Colfax Avenue
Aurora, CO 80011
P: 303-393-1522
www.cooperlighting.com

Specifications and dimensions subject to change without notice.

Acoustic Designs Group
Type: BM

203-LAMP BY OTHER-12 BK w. TM05-BK
SOL:MR16-12V-8W-FL-30KWD-SL

SOL-LIGHT® WARM DIM
MR16 12V LED LAMP GU5.3 HALOGEN CURVE SERIES

PURE EDGE LIGHTING

REV 06.07.21

DESCRIPTION
Unlike standard LEDs, SOL-Light Warm Dim LEDs are designed to shift from full brightness (2700K or 3000K) to a warmer Color Temperature (1800K) as they are dimmed down, replicating the effects of Halogen light sources with a CRI of 95+ and a High R9 of 85+. The lamp is a direct replacement for a 12VAC, 50 watt Halogen with 24° (410 Lumens) or 36° (450 Lumens) Beam Spreads. For use in Track Lighting, recessed down lights, and other indoor and outdoor applications. 30,000 hour rated lamp life. Suitable for enclosed fixtures.

FEATURES
- Two Color Temperatures: 2700K and 3000K. Both dim to warm 1800K
- Direct replacement for inefficient Halogen Lamps
- GU5.3 Base MR16
- High 97 CRI and high R9 85+
- Low blue emission for healthy vision
- Zero ultraviolet emission, won't fade colors
- Beam Angles 24° or 36°
- 30,000 Hours rating

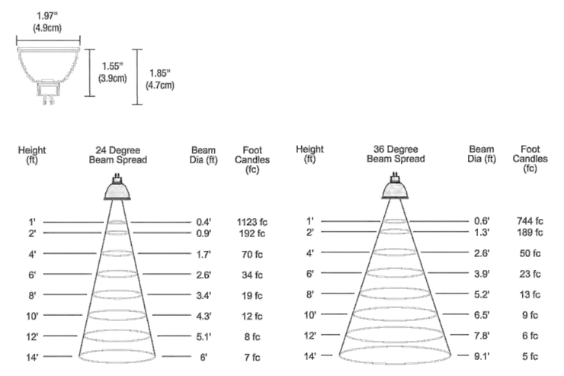
APPLICATIONS
Track and Recessed Lighting, Residential, Hospitality, Museum & Gallery, Track Lighting, Desk, and Outdoor

LED LAMPING
7.73 Watts at up to 532 Lumens at 3000K, two Color Temperatures at 2700K or 3000K (warm dims to 1800K), 97 CRI, R9-85, Rg: 101, Rf: 94, Input Voltage 12V, Max. TC 90° C, Ambient Temperature range -30° to 35° C, Power Factor .92, Inrush Cycle to <1 amp

DIMMING
- Phase and Power Dimmable, Percent of Flicker <1%
- Compatible with 12VAC LED Electronic Low-Voltage (use ELV dimmer also called "trailing-edge", or "reverse phase" dimmer) and Magnetic Low-Voltage Transformers (use MLV dimmer also called "leading-edge" or "forward-phase" dimmer)

WARRANTY / LABELS
3 years/30,000 hour warranty
Title 24 Compliant, low flicker <1% CE, UL, NOM

Designed & Powered by



Height (ft)	24° Beam Dia (ft)	24° Foot Candles (fc)	Height (ft)	36° Beam Dia (ft)	36° Foot Candles (fc)
1'	0.4'	1123 fc	1'	0.6'	744 fc
2'	0.9'	192 fc	2'	1.3'	189 fc
4'	1.7'	70 fc	4'	2.6'	50 fc
6'	2.6'	34 fc	6'	3.9'	23 fc
8'	3.4'	19 fc	8'	5.2'	13 fc
10'	4.3'	12 fc	10'	6.5'	9 fc
12'	5.1'	8 fc	12'	7.8'	6 fc
14'	6'	7 fc	14'	9.1'	5 fc

MODEL #	INPUT VOLTAGE	CCT	BEAM ANGLE	LUMENS	LUMENS PER WATT	CRI	WATTAGE	CASE FINISH
MR16-12V-8W-FL-27KWDH-SL	12V	2700K dims to 1800K	36°	390 lm	50	97	7.73W	Silver
MR16-12V-8W-FL-30KWDH-SL	12V	2700K dims to 1800K	36°	427 lm	55	97	7.73W	Silver
MR16-12V-8W-NF-27KWDH-SL	12V	3000K dims to 1800K	24°	410 lm	53	97	7.73W	Silver
MR16-12V-8W-NF-30KWDH-SL	12V	3000K dims to 1800K	24°	450 lm	58	97	7.73W	Silver

Product	Base/Voltage	Wattage	Beam Spread Lens	Color Temperature	Case Finish
MR16	12V	8W	NF	30KWDH	SL
MR16 MR16 Reflector	12V GU5.3 12VAC	8W 8 Watts	NF 24° Narrow Flood Lens; FL 36° Flood Lens	27KWDH 2700K Warm Dim; 30KWDH 3000K Warm Dim	SL Silver

PROJECT		FIXTURE TYPE		DATE	

Acoustic Designs Group
Type: BM

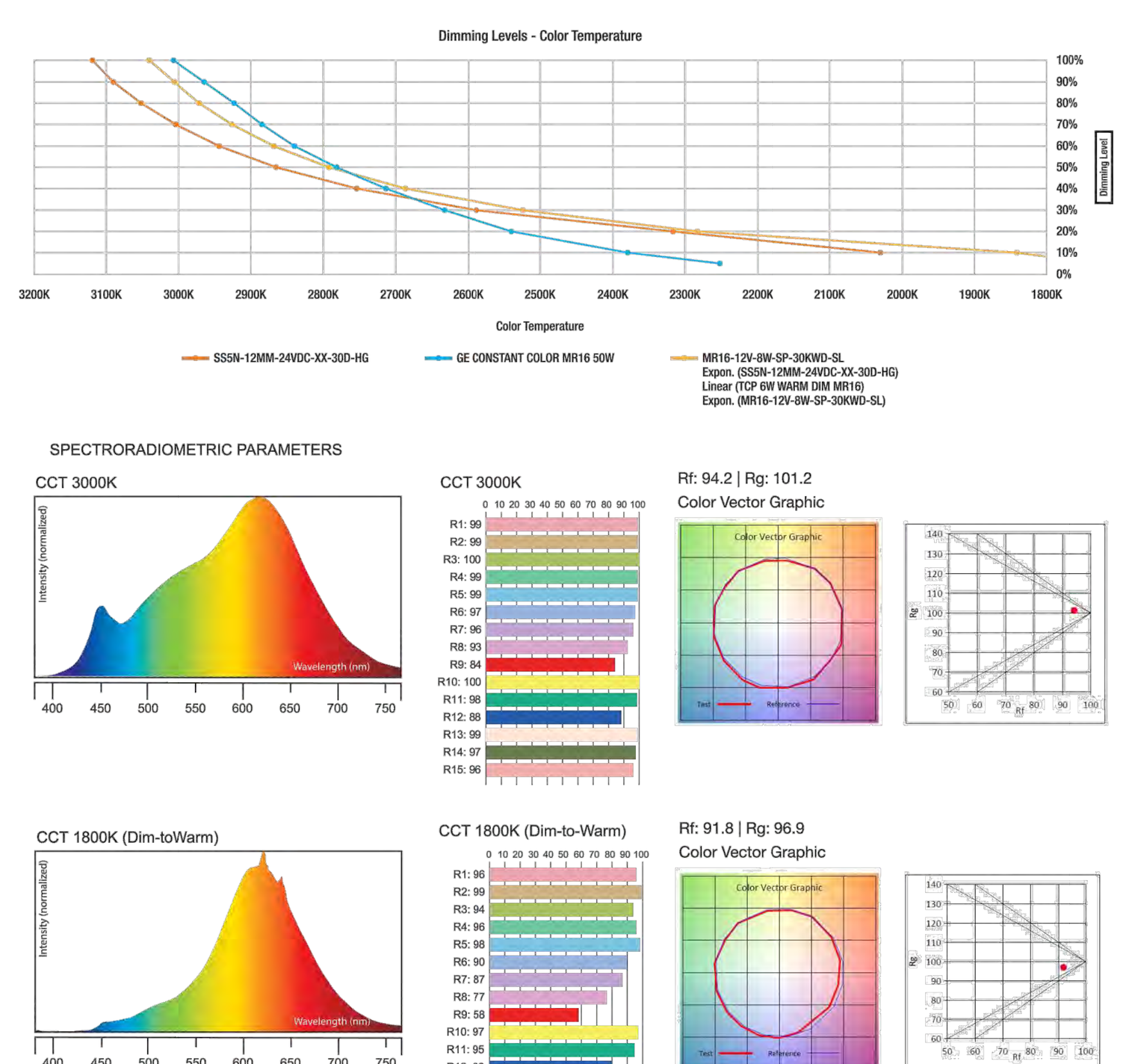
203-LAMP BY OTHER-12 BK w. TM05-BK
SOL:MR16-12V-8W-FL-30KWD-SL

TM30 DATA
MR16 12V LED LAMP GU5.3 HALOGEN CURVE SERIES

PURE EDGE LIGHTING

REV 06.07.21

TM-30-15 DATA
The data below is for a 3000K MR16 12V LED Bulbs. Consistent color temperatures throughout a single chip and among multiple chips is possible through a 3 phase binning process in which each order is inspected with a color meter to ensure uniformity.



PROJECT		FIXTURE TYPE		DATE	

Acoustic Designs Group
Type: S5

GRF-IC-AD14-A-AD-NF-C2

GRAFFITI LIGHTING

GR-F Series

Project Name:		
Specifier:		
Distributor:		
Quantity:	Type:	
Signature:		

GRAFFITI is the innovative new line of LED lighting solutions from Specialty Lighting Industries.

GRF Series in low to medium ceiling heights typically found in residential, commercial or retail applications. GRF series fixtures feature a flat trim surface that blends seamlessly with the ceiling construction. The Graffiti™ fixtures provide cost effective LED lighting solutions. As the creative spirit of its name implies, Graffiti™ systems provide all the quality SLI has grown famous for over the last 25 years, but at reduced lead times, affordable price points and innovative technologies that will liberate your creative flair.

THERMAL MANAGEMENT: Proprietary high performance aluminum black heatsink for maximum LED life

ADJUSTABLE/FIXED
SPECIFICATIONS

MOUNTING - Recessed in architectural ceiling. Butterfly brackets and Hanger bars included with housing and mounting pans.
- **RM**- Open fixture for retrofit for remodel in existing ceilings
- **IC**-Housing for new construction where insulation comes in contact with fixture
- **NIC**-Housing for new construction where IC not required
- **NP**- For New construction
- **DP**- Pan for dropped ceilings
- **BP**- Pan for metal studs
- **CP**- Chicago Plenum

HOUSING - C1/C2 Fixed housing is smaller size than Lutron/EldoLED Fixed housing (see page 3 for details)*.

TRIM - One piece die cast aluminum, flanged or flangeless trim with flat pinhole aperture. Available for wet locations.
Accommodates up to 1" ceiling thickness as standard.
- **ZT/ZST**- for use in plaster/GWB ceilings
- **FT/FST**- for use in architectural ceilings

ELECTRICAL
- **Standard 0-10v (C1)** Dimming down to 1%
- **TRIAC/ELV (C2)** Dimming down to 1%
- **EldoLED 0-10v (E1)** Logarithmic Dimming down to 0.1%
- **EldoLED Dali (E2)** Dimming down to 0.1%
- **EldoLED 0-10v (E3)** Linear Dimming down to 0.1%
- **Lutron Hi-lume (L2)** Hi-lume 1% (former A-Series) 2-wire Driver
- **Lutron Hi-lume EcoSystem 1% (LTB)** Hi-lume 1% with Fade-to-Black (former H-Series) digital EcoSystem Driver
- **Lutron Hi-lume Premier 0.1% (LTP)** Hi-lume Premier 0.1% with Fade-to-Black digital EcoSystem
- **EM Pack** Dimming driver with emergency battery backup
All drivers are field replaceable*

Specifier/Installer is responsible for testing & validating compatability of any control equipment used. Additional conductors may be required depending on dimming system.

LED
- **CZ- Citizen** 2700-4000K, 90+CRI
- **AD- Ambient Dim™** 3000-1900K, 97 CRI
- **XT- Xicato** 2700-4000K, 90+ CRI

LENS/OPTICS - Interchangeable reflector provides multiple beam patterns. Field-changeable optics
- **Spot (15°)**
- **Narrow (24°)**
- **Flood (38°)**
- **Wide Flood (60°)**
Optional lenses available for aperture include Solite and Veiling Acrylic. Accepts two optical accessories and an optional trim mounted lens.

FINISH - Black powder paint housing. Aper. trim available in white as standard. Can be field painted to match ceiling finish.

WARRANTY - 5 year limited on LED and driver. See website for details.

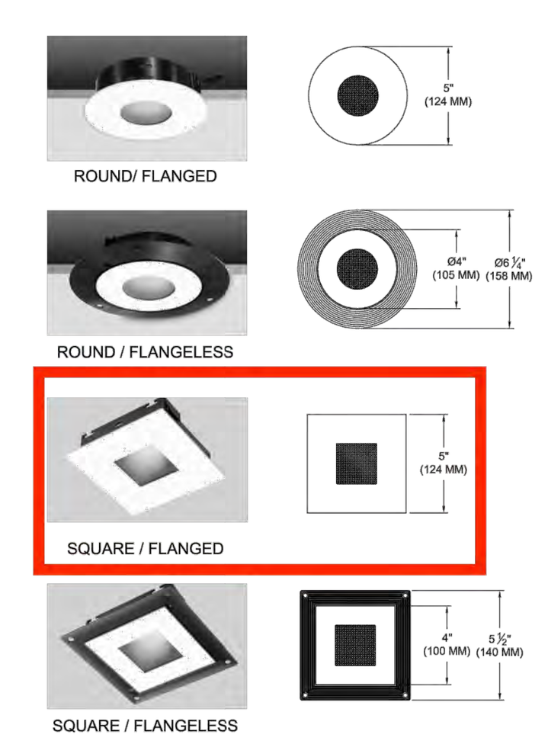
LABELS - US tested to UL standards 1598, Dry/Damp and Wet listings. IC/Airtight, compliant, compliant. Chicago Plenum Available.

Patent Pending. These specifications subject to change without notice. 12/19

SpecialtyLighting™ INDUSTRIES
1306 Doris Avenue, Ocean, NJ 07712 USA 800.462.7812 | 732.517.0800 FAX 732.517.0971
www.specialtylightingindustries.com

GRAFFITI LIGHTING

INFORMATION- TRIM



PHOTOMETRICS

*Visit website for further photometric data or Click Here

*LED Technology rapidly changes. Please consult factory for latest specs and photometry.

ORDER INFO	CODE
Graffiti™ Housing	GRF
Housing	
RM = Retrofit; IC = IC; NIC = Non IC; NP = New Pan; DP = Dropped Pan; BP = Bracket Pan; CP = Chicago Plenum	
Source/System Watts/Delivered lm/LPW (Lumens/watt)	
AD14 = Ambient Dim™ / 15W / 678lm / 45LPW; CZ14 = Citizen / 15W / 686m / 46LPW; CZ20 = Citizen / 21W / 914lm / 44LPW; XT8 = Xicato / 8W / 394lm / 47LPW; XT12 = Xicato / 15W / 618lm / 41LPW; XT17 = Xicato / 21W / 810lm / 39LPW — Based on 40° Round Optic. See photometrics tab for Square aperture and other beam angles	
Type	
F = Fixed; A = Adjustable — C1/C2 Fixed Housing is smaller size than Lutron / Eldo LED Fixed Housing (See page 3 for Details)*	
CCT	
27 = 2700K; 30 = 3000K; 35 = 3500K; 40 = 4000K; AD = 3000K-1900K* (AD14 only)	
Beam	
SP = Spot; NF = Narrow flood; FL = Flood; WF = Wide flood — Xicato Lamp Source only available with NF and FL beam options	
Driver	
C1 = 0-10V dimming, 1%, 120-277v; C2 = TRIAC/ELV 2-wire, 1% 120V only (Leading/Trailing Edge); E1 = EldoLED 0-10V Logarithmic Dim, 0.1%, 120-277v; E2 = EldoLED DALI, 0.1%, 120-277v; E3 = EldoLED 0-10V Linear Dim, 0.1%, 120-277v; L2 = Hi-lume 1% (former A-Series) 2-wire Driver, 120v only (LTEA); LTB = Hi-lume 1% with Fade-to-Black (former H-Series) digital EcoSystem Driver, 120-277v (LDE1); LTP = Hi-lume Premier 0.1% with Fade-to-Black digital EcoSystem, 120-277v (PEQ0); EM**= Emergency Pack — **Lutron & EldoLED require Inverter	
Graffiti™ Trim	GRTF
Shape	
RD = Round; SQ = Square	
Trim	
FT = Flanged; ZT = Flangeless; FST* = Flanged Shower; ZST* = Flangeless Shower — *Lens Required	
Finish	WHT
WHT = White	
Lens	79A / 91A
91A = Solite; 79A = Frosted; None	

* CLICK HERE to view Accessories for Trims.

Patent Pending. These specifications subject to change without notice. 12/18

SpecialtyLighting™ INDUSTRIES
1306 Doris Avenue, Ocean, NJ 07712 USA 800.462.7812 | 732.517.0800 FAX 732.517.0971
www.specialtylightingindustries.com

GENERAL NOTES

1. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE A COMPREHENSIVE LIGHTING PLAN WHICH SHOWS LIGHT FIXTURE LOCATIONS, FIXTURE SPECIFICATIONS, AND CIRCUITRY FOR THE PURPOSE OF A LICENSED ELECTRICAL CONTRACTOR TO BID AND INSTALL A COMPLETE LIGHTING SYSTEM.

2. THE ELECTRICAL CONTRACTOR SHALL FOLLOW AND ADHERE TO THE CURRENT NATIONAL ELECTRICAL CODE (NEC). IN THE EVENT OF A CONFLICT BETWEEN THIS DRAWING AND THE APPLICABLE CODE, THE CODE SHALL PREVAIL AND THE INSTALLATION SHALL BE MADE IN COMPLIANCE WITH THE CODE.

3. ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.

4. ALL WALL AND FLOOR OUTLETS SHOWN ON LIGHTING PLAN ARE FOR CONTROL OF LIGHTING EQUIPMENT. ALL OTHER OUTLETS AND LOCATIONS ALONG WITH CIRCUIT BREAKER AND/OR DETAILED ELECTRICAL WIRING PLEASE REFER TO THE ELECTRICAL SHEETS.

5. ALL DIMMING CIRCUITS ARE TWO-WIRE UNLESS NOTED DIFFERENTLY. NO COMMON NEUTRALS SHALL BE USED.

6. FIELD PAINT ALL CONDUIT, JUNCTION BOXES, LIGHTING TRIM AND HARDWARE TO MATCH ADJACENT SURFACES.

8. ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.

9. ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH INTERIOR DESIGNER PRIOR TO INSTALLATION.

10. ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

11. ALL WIRE USED SHALL BE COPPER

12. IN ORDER TO MAINTAIN THE INTEGRITY OF OUR ADG, ADG, WILL REQUIRE SITE VISITS DURING ELECTRICAL ROUGH AND ELECTRICAL TRIM STAGES. THE ELECTRICAL CONTRACTOR MAY BE HELD LIABLE FOR EXPENSES INCURRED IN A RESULT OF MOVING LIGHT FIXTURES INSTALLED PRIOR TO CLIENT OR ADG'S APPROVAL.

13. THE ELECTRICAL CONTRACTOR SHALL ALLOW TWO EVENINGS (4 HOUR MINIMUM EACH) AND PROVIDE ALL NECESSARY LADDERS AND MAN LIFTS TO ASSIST LIGHT CONTROL LLC DURING THE FINAL AIM AND FOCUS OF ALL ADJUSTABLE LIGHTING FIXTURES.

14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO REVIEW ALL INFORMATION ON THESE PLANS. IF THERE ARE ERRORS, OMISSIONS, OR QUESTIONS CONCERNING THESE PLANS PLEASE CONTACT ADG - 888.296.0950 FOR CLARIFICATION.

PROJECT NOTES

1. LIGHTING EQUIPMENT (MANDATORY) N1104.1 (AMENDED) NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (N1102.4.4).

3. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SUCH AS SHOWER/TUB AREA AND FIXTURED/LIGHTS INSTALLED OUTSIDE SHALL BE "LISTED" TO BE SUITABLE FOR DAMP / WET LOCATION.

4. ALL LINEAR LED STRIP TAPE LIGHT TO BE FED EVERY 16'-0". CONSULT ADG FOR WIRING DIAGRAMS

LIGHT CONTROL SYMBOL LEGEND

Symbol	Description
$	SINGLE POLE SWITCH
$J	SINGLE POLE JAMB SWITCH
$MD	SINGLE POLE MOTION SWITCH
$T	SINGLE POLE TIMER SWITCH
	SINGLE POLE DIMMER
	1/2 SWITCHED DUPLEX RECEPTACLE
CP	SWITCHED RECESSED CLOCK RECEPTACLE
FP	1/2 SWITCHED FLOOR PLUG RECEPTACLE
T#	REMOTE LOW VOLTAGE TRANSFORMER
	CEILING MOUNTED EXHAUST FAN
FIRE IGN	ELECTRIC FIREPLACE IGNITOR
XX	LIGHTING CONTROL KEYPAD
XXX	LIGHTING CONTROL SWITCHLEG
	LIGHTING CONTROL ENCLOSURE

ACOUSTIC designs group
16074 N. 78TH STREET, SUITE B104 SCOTTSDALE, AZ 85260
WWW.ADGROUPAZ.COM
T 888.296.0950

DRAWN BY:
RAY MACIAS

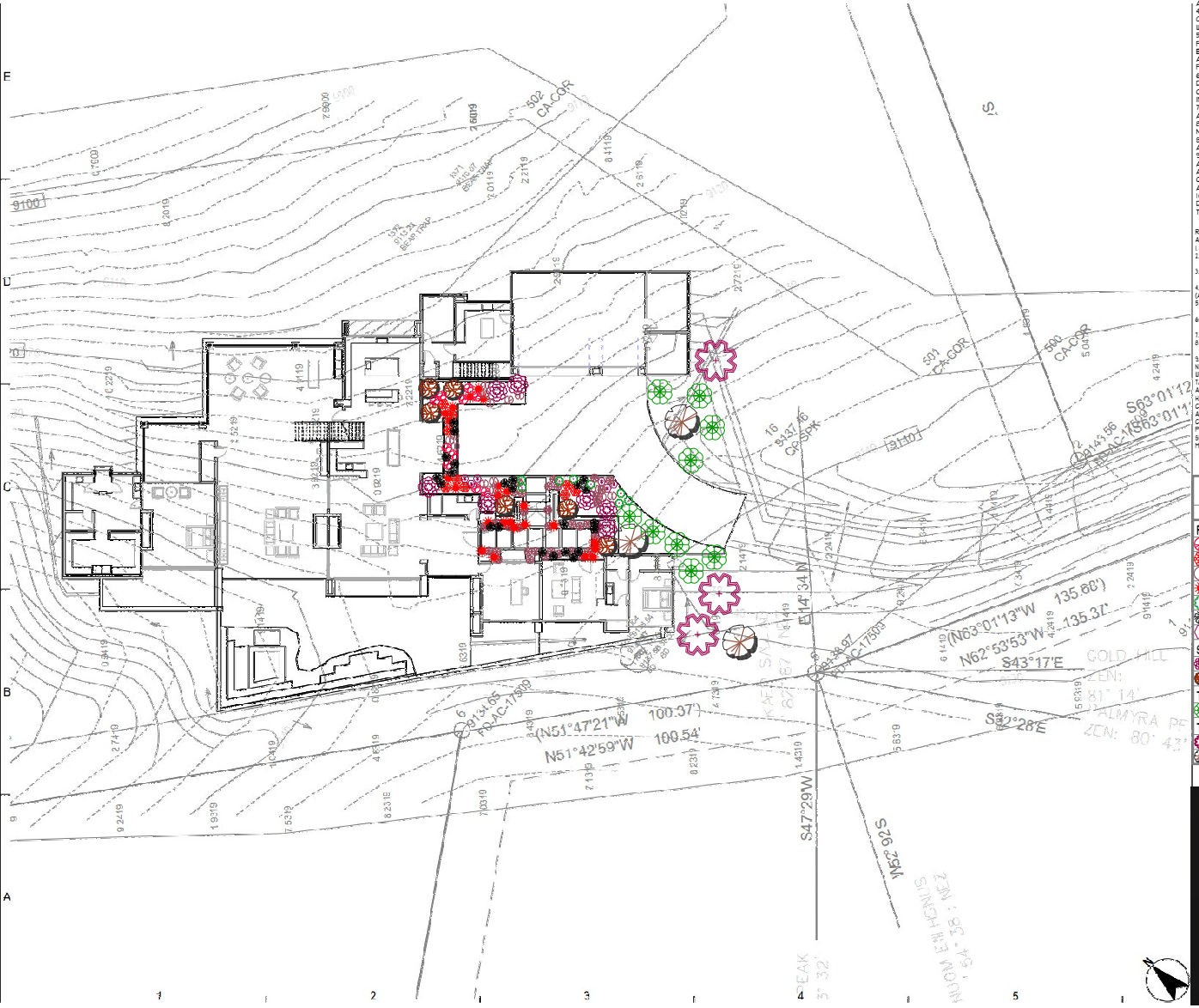
DATE: JUNE 24, 2022

SCALE: AS NOTED

REVISIONS:
1
2
3

THE BROWN RESIDENCE
ADAMS RANCH LOT 25
MOUNTAIN VILLAGE, COLORADO

SHEET NUMBER:
LIGHTING PLAN PHOTOMETRIC
EL 6



GENERAL NOTES
1. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO COMPLETE SCOPE OF WORK AS INDICATED IN DOCUMENTS.
2. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, AND SHALL COMPLY WITH PREVAILING ACCESSIBILITY REQUIREMENTS. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY PORTION OF DOCUMENTS WHICH CONFLICT WITH REGULATIONS PRIOR TO CONSTRUCTION
3. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS, APPROVALS AND INSPECTIONS RELATED TO SCOPE OF WORK.
4. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE OF REQUESTED SITE VISITS OR INSPECTIONS SEVEN (7) DAYS IN ADVANCE OF WORK.
5. DRAWINGS ARE BASED ON SURVEY DATA AND DESIGN DRAWINGS PROVIDED BY: OTHERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTS AND ACTUAL SITE CONDITIONS PRIOR TO CONSTRUCTION.
6. DO NOT PROCEED WITH ANY PORTION OF WORK AS INDICATED IN DOCUMENTS IF OBSTRUCTIONS, DISCREPANCIES OR UNKNOWN CONDITIONS ARE ENCOUNTERED. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED.
7. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER DISCIPLINES AND TRADES.
8. LIMITS OF WORK INDICATED ON DRAWINGS, IF ANY, ARE GENERAL IN NATURE AND ARE INTENDED TO DEFINE THE GENERAL VICINITY IN WHICH THE SCOPE OF WORK EXISTS. ACTUAL LIMITS OF WORK SHALL INCLUDE ALL AREAS NECESSARY TO COMPLETE SCOPE OF DESIGN INTENT.
9. REFERENCE TO "OWNER'S REPRESENTATIVE" IS MADE IN THESE DOCUMENTS, AND REFERS TO THE PROJECT OWNER OR DESIGNATED REPRESENTATIVE. IN ADDITION TO THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR DESIGN CLARIFICATIONS OR ADDITIONAL INFORMATION RELATED TO SCOPE OF WORK.
10. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL BE PROTECTED. DO NOT PARK, DRIVE, OPERATE MACHINERY OR STORE MATERIALS WITHIN THE DRIPLINE OF EXISTING TREES.

REVEGETATION NOTES
ALL DISTURBED AREAS WILL BE REVEGED
1. SUBSOIL SURFACE SHALL BE TILLER TO 4"DEPTH ON NON-FILL AREAS.
2. TOPSOIL SHALL BE SPREAD TO A 4" MINIMUM DEPTH OVER ALL AREAS TO BE REVEGETATED EXCEPT ON SLOPES GREATER THAN 3:1.
3. BROADCAST SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED TO MINIMIZE EROSION AND WEEDS.
4. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING (ASED PROPERLY), HYDRO MULCH, OR STRAW 2 BALES PER 1,000 SF.
5. SEED ALL AREAS LABELED "NATIVE GRASS WITH WILDFLOWERS AT A RATE OF 15-2 POUNDS PER 1,000 SF.
6. SEED ALL AREAS LABELED "CUSTOM WILDFLOWER MIX" AT A RATE OF 15-2 POUNDS PER 1,000 SF.
7. SEED ALL AREAS LABELED "NATIVE GRASS" AT A RATE OF 2-3 POUNDS PER 1,000 SF.
8. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET PINNED IN PLACE, OF HYDRO MULCH WITH ADDED TACTIFIER SHALL BE APPLIED.
9. REVEGETATION SEED MIX TO BE USED:
NATIVE GRASS SEED MIX (GENERAL REVEGETATION)
WESTERN YARROW 5%
TALL FESCUE 10%
ARIZONA FESCUE 5%
HARD FESCUE 5%
CREEPING RED FESCUE 10%
ALPINE BLUEGRASS 5%
CANADA BLUEGRASS 10%
PERENNIAL RYEGRASS 5%
SLENDER WHEATGRASS 10%
MOUNTAIN BROME 5%

FOREST MANAGMENT PLAN
1. CUTTING AND/OR REMOVING DEAD AND DECLINING TREES (LEAVING 1 TO 2 WILDLIFE SNAGS PER ACRE) USING A VARIETY OF SILVICULTURAL METHODS;
2. REMOVING INDIVIDUAL HAZARD TREES TO MINIMIZE RISK OF FALLING TREES TO THE PUBLIC AND TOWN/RESORT INFRASTRUCTURE;
3. REMOVING HAZARD TREES AS A SANITATION/SALVAGE TREATMENT WHERE APPROPRIATE, FOR INSTANCE WITHIN A 50-FOOT BUFFER ZONE FROM THE EDGE OF ROADWAYS, TRAILS AND LIFT CORRIDORS;
4. CREATION OF DEFENSIBLE SPACE AROUND ALL HOMES AND INFRASTRUCTURE;
5. PLANTING SEEDLINGS OR TRANSPLANTS TO SPEED UP REGROWTH IN KEY AREAS;
6. PREVENTING INSECT ATTACKS OF HIGH VALUE TREES, WHICH ARE OFTEN LARGER SPECIMENS AND POTENTIAL OLD GROWTH THAT ARE LOCATED CLOSE TO HOMES OR TOWN/RESORT INFRASTRUCTURE;
7. BARK BEETLE ATTACKS (AFFECTING SUB-ALPINE FIR, SPRUCE OR DOUGLAS FIR) MAY BE MITIGATED BY APPLYING AN INDUSTRY APPROVED INSECTICIDE OR ANTI-AGGREGATION PHEROMONE PRIOR TO BEETLE EMERGENCE EACH YEAR UNTIL THE THREAT OF INFESTATION IS OVER, SEE APPENDIX C FOR A LIST OF APPROVED INSECTICIDES AND ANTI-AGGREGATE PHEROMONES;
8. IN THE CASE OF SPRUCE BARK BEETLE INFESTATION, MITIGATION COULD INCLUDE TREATING BEETLE INFESTED TREES BY FELLING AND PEELING, CHIPPING OR REMOVAL OF THE INFECTED TREES;6
9. PURE ASPEN STANDS SHOWING SIGNS OF SUDDEN ASPEN DECLINE WILL HAVE THE OVERSTORY REMOVED OVER SEVERAL YEARS AND 25% OF THE AREA WILL BE SCARIFIED TO STIMULATE ASPEN REGENERATION;
10. SPRUCE/FIR STANDS WILL HAVE SMALL (<.5 ACRES) IRREGULAR PATCH CUTS MADE TO FACILITATE SPRUCE REGENERATION AND AGE CLASS DIVERSITY; AND
11. SLASH TREATMENTS MAY INCLUDE REMOVING LOGGING-GENERATED SLASH TO REDUCE FUEL LOADS AND TO STIMULATE ASPEN REGENERATION, USE OF AN AIR CURTAIN BURNER TO BURN SLASH ON SITE, LOP AND SCATTER OF SLASH TO DISTRIBUTE CONIFER SEED SOURCE OR CHIPPING AND SCATTERING SLASH USING EITHER A CHIPPER OR HYDRO-AXE.

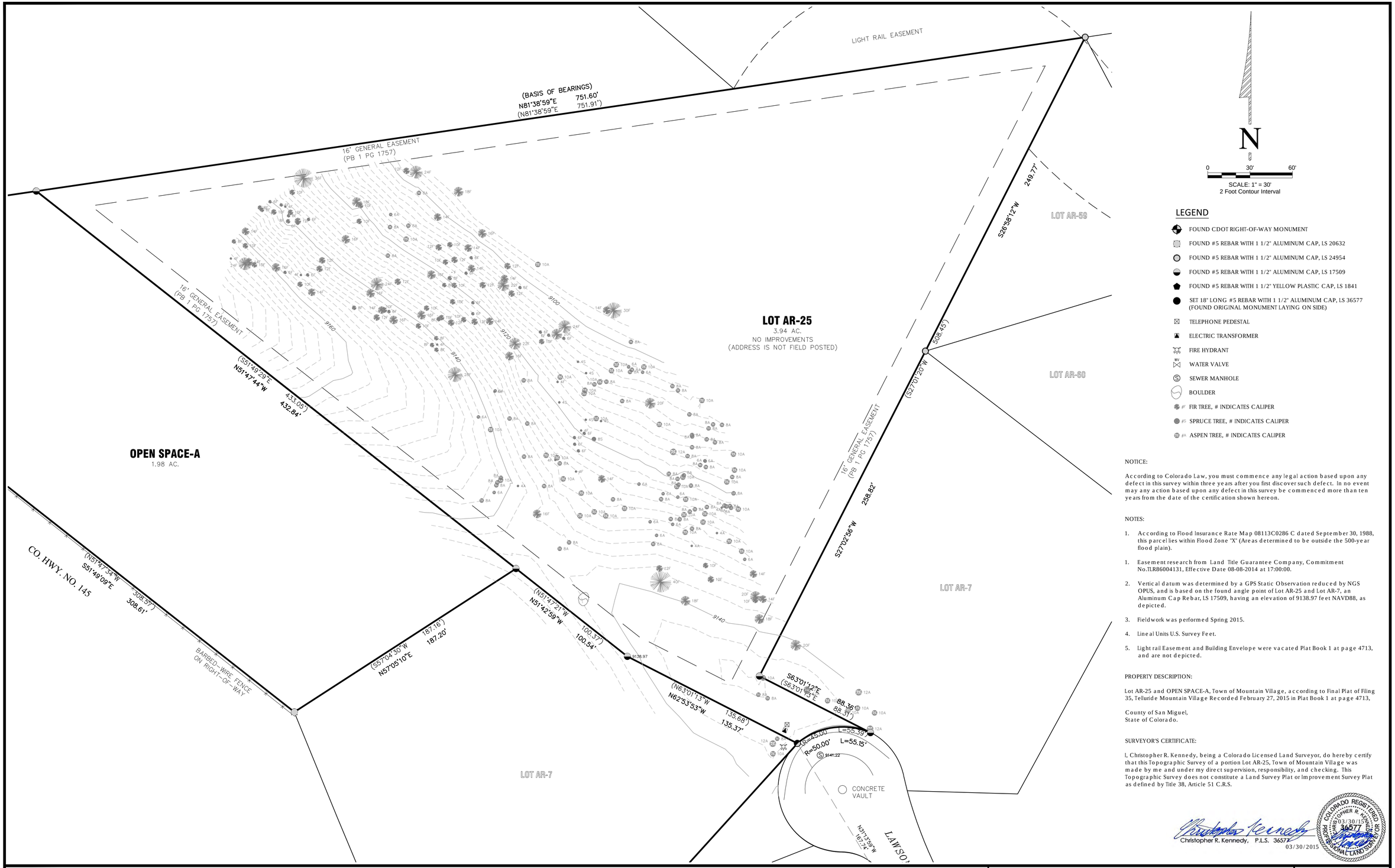
PLANTING NOTES:
1. ALL NON-DIMENSIONED PLANT SYMBOLS, EDGING AND BED LINES ARE DIAGRAMMATIC AND SHALL BE SCALED FROM DRAWINGS.
2. STAKE ALL PROPOSED TREE LOCATIONS ON FINISH GRADE WITH DIFFERENT COLOR FLAGS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS TO TREE LOCATIONS PRIOR TO EXCAVATION.
3. PAINT OR STRING ALL EDGING AND BED LINE LOCATIONS ON FINISH GRADE FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE SHALL RESERVE THE RIGHT TO MAKE MINOR ADJUSTMENTS TO LAYOUT OF PLANTING AREAS PRIOR TO EXCAVATION.
4. TREES SHALL BE PLANTED NO CLOSER THAN 4' TO PAVEMENT, CURB, EDGING, WALL OR UTILITIES UNLESS NOTED OTHERWISE.
5. TREES SHALL BE PLANTED NO CLOSER THAN 10' TO ANY STRUCTURE OR OVERHEAD UTILITY.
6. TREES OVERHANGING PEDESTRIAN AND VEHICULAR PAVEMENTS ARE INTENDED TO HAVE A MINIMUM CLEAR-TRUNK BRANCHING HEIGHT OF 7' AT MATURITY.
7. TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHTS-OF-WAY ARE INTENDED TO HAVE A MINIMUM CLEAR-TRUNK BRANCHING HEIGHT OF 9' AT MATURITY.
8. ALL TREES, LAWN AND PLANTING AREAS TO RECEIVE 100% IRRIGATION COVERAGE FROM AUTOMATIC UNDERGROUND IRRIGATION SYSTEM UNLESS NOTED OTHERWISE.
9. FINISH GRADE SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
10. ANY QUANTITIES PROVIDED ON PLANS OR SCHEDULES ARE FOR INFORMATION AND CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR QUANTITY TAKE-OFFS AND SHALL PROVIDE FULL COVERAGE OF PLANTING AREAS AS INDICATED IN DRAWINGS.
11. ALL PLANTS SHALL MEET SIZE AND QUALITY SPECIFICATIONS AS INDICATED IN DOCUMENTS AND SHALL BE OF TOP QUALITY, VIGOROUS, HEALTHY CONDITION. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT PLANTS NOT MEETING SPECIFICATIONS.
12. ALL NEW PLANTS AND LAWNS SHALL BE FERTILIZED ACCORDING TO SOIL ANALYSIS RECOMMENDATIONS, SUPPLIER RECOMMENDATIONS, AS INDICATED IN DOCUMENTS OR AS APPROVED BY OWNER'S REPRESENTATIVE.
13. COORDINATE PLANTING WITH OTHER SECTIONS OF LANDSCAPE DOCUMENTS AND WITH WORK OF OTHER DISCIPLINES.

LEGEND

COMMON NAME	BOTANICAL NAME
FLOWER, PERENNIAL	
BEARDTONGUE	PENSTEMON BARBATUS
BLEEDING HEART	DICENTRA 'LUXURIANT'
CERASTIUM	CERASTIUM TOMENTOSUM
COLUMBINE, RED & WHITE	AQUILEGIA CAERULEA 'MUSIC RED & WHITE'
DELPHINIUM, PACIFIC GIANT, VIOLET	DELPHINIUM 'BLACK KNIGHT'
HOSTA	HOSTA FORTUNEI
IRIS, SIBERIAN	IRIS SIBIRICA 'CAESAR'S BROTHER'
SHRUB, DECIDUOUS	
LILAC, SENSATION	SYRINGA VULGARIS 'SENSATION'
SAND CHERRY, PURPLE LEAF	'PRUNUS X CISTENA'
TREE, DECIDUOUS	
ASPEN, QUAKING	POPULUS TREMULOIDES
TREE, EVERGREEN	
FIR, ALPINE	ABIES LASIOCARPA
SPRUCE, COLORADO BLUE	PICEA PUNGENS

LANDSCAPES BY Lance

Revision #: 01 Date: 7/19/2022	Scale: 1" = 40'	Landscape Plan: 01 BROWN	Landscape Design by: GarrettLBL Landscapes by Lance



N

0 30' 60'

SCALE: 1" = 30'
2 Foot Contour Interval

LEGEND

- FOUND CDOT RIGHT-OF-WAY MONUMENT
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 20632
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 24954
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 17509
- FOUND #5 REBAR WITH 1 1/2" YELLOW PLASTIC CAP, LS 1841
- SET 18" LONG #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577 (FOUND ORIGINAL MONUMENT LAYING ON SIDE)
- TELEPHONE PEDESTAL
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- WV WATER VALVE
- S SEWER MANHOLE
- BOULDER
- FIR TREE, # INDICATES CALIPER
- SPRUCE TREE, # INDICATES CALIPER
- ASPEN TREE, # INDICATES CALIPER

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

1. According to Flood Insurance Rate Map 08113C0286 C dated September 30, 1988, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
1. Easement research from Land Title Guarantee Company, Commitment No.TLR86004131, Effective Date 08-08-2014 at 17:00:00.
2. Vertical datum was determined by a GPS Static Observation reduced by NGS OPUS, and is based on the found angle point of Lot AR-25 and Lot AR-7, an Aluminum Cap Rebar, LS 17509, having an elevation of 9138.97 feet NAVD88, as depicted.
3. Fieldwork was performed Spring 2015.
4. Lineal Units U.S. Survey Feet.
5. Light rail Easement and Building Envelope were vacated Plat Book 1 at page 4713, and are not depicted.

PROPERTY DESCRIPTION:

Lot AR-25 and OPEN SPACE-A, Town of Mountain Village, according to Final Plat of Filing 35, Telluride Mountain Village Recorded February 27, 2015 in Plat Book 1 at page 4713,

County of San Miguel,
State of Colorado.

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of a portion Lot AR-25, Town of Mountain Village was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

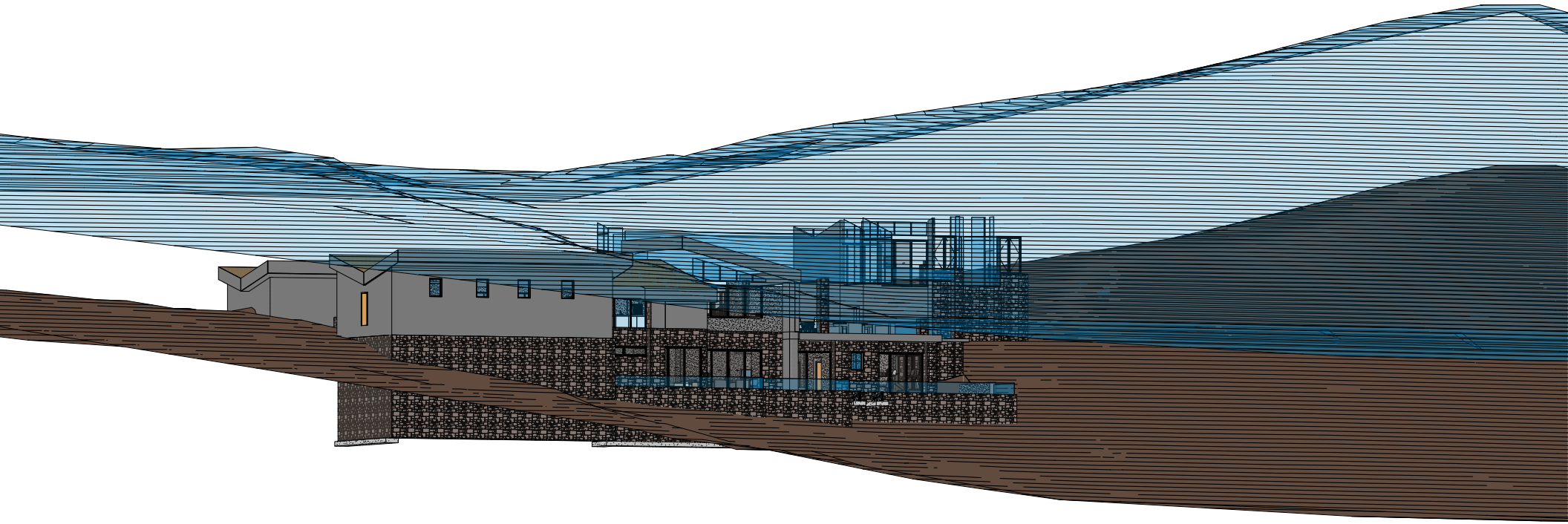
Christopher R. Kennedy, P.L.S. 36577
03/30/2015

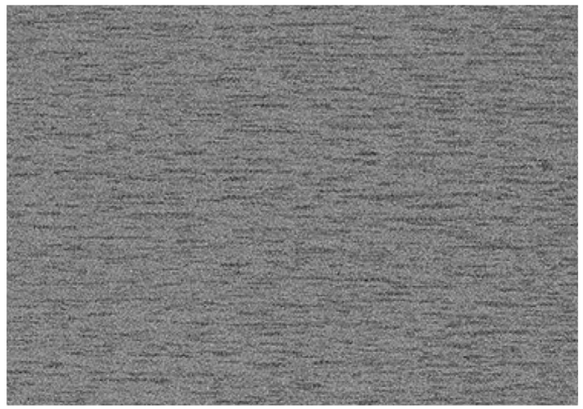
COLORADO REGISTERED
CHRISTOPHER R. KENNEDY
03/30/15
36577
PROFESSIONAL LAND SURVEYOR

TOPOGRAPHIC SURVEY
LOT AR-25 AND OPEN SPACE A, FILING 35, TELLURIDE MOUNTAIN VILLAGE

SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728 - 1128 (970) 728 - 9201 fax
office@sanjuansurveying.net

DATE:	03/30/2015
JOB:	99062
DRAWN BY:	CRK
CHECKED BY:	SDH
REVISION DATES:	
SHEET:	1 OF 1





ROOFING AND FASICA:
ZINC GRAY MATTE STANDING SEAM PANELS.

DRIVEWAY PAVERS:
CATALINA PAVERS IN RIO COLOR.

THE JK COMPANIES

ARCHITECTURE | DEVELOPMENT | HOMES + LAND

JUSTIN@JK.STUDIO POST BOX 2006- CAREFREE, AZ 85377 (480)225-7282

BROWN RESIDENCE
LOT AR-25 LAWSONE POINT. MOUNTAIN VILLAGE

EXTERIOR STONE:
TELLURIDE GOLD
DRYSTACK.

WALL PANELS :
T-8 PLANKWALL WEATHERED WOOD COLOR METAL WALL PANEL..

WINDOWS & DOORS
SIERRA PACIFIC DARK ANODIZED FINISH.

AGENDA ITEM 9
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISON
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Design Workshop on behalf of the Town of Mountain Village

FOR: Design Review Board Public Hearing; December 1, 2022

DATE: December 1, 2022

RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 1, Unit 12, Knoll Estates Drive pursuant to CDC Section 17.4.11

APPLICATION OVERVIEW: New Single-Family Detached Condominium on Lot 1, Unit 12

PROJECT GEOGRAPHY

Legal Description: UNIT 12, THE KNOLL ESTATES, A CONDOMINIUM, AS DEFINED AND DESCRIBED IN THE SECOND AMENDED AND RESTATED CONDOMINIUM DECLARATION RECORDED MAY 25, 2021 UNDER RECEPTION NO. 470308 AND AS AMENDED IN INSTRUMENT RECORDED JULY 20, 2021 UNDER RECEPTION NO. 471434 AND ACCORDING TO THE CONDOMINIUM MAP RECORDED MARCH 29, 1990 IN PLAT BOOK 1 AT PAGE 1023 AND AS AMENDED BY AMENDED AND RESTATED CONDOMINIUM MAP RECORDED MAY 25, 2021 UNDER RECEPTION NO. 470309, COUNTY OF SAN MIGUEL, STATE OF COLORADO

Figure 1: Vicinity Map

Address: TBD Eagle Drive
Applicant/Agent: Bill Tabberson, Tabberson Architects
Owner: Ryan Dyer, Andrey Xavier
Zoning: Multi-Family
Existing Use: Vacant
Proposed Use: Single-Family Detached Condominium
Lot Size: .069 acres
Adjacent Land Uses:

- **North**: Vacant
- **South:** Vacant

- **East:** Knoll Estates GCE, open space
- **West:** Single family detached condominium

ATTACHMENTS
Exbibit A: Architectural Plan Set
Exhibit B: Staff/Public Comments

Case Summary: Bill Tabberson of Tabberson Architects is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family detached condominium on Lot 1, Unit 12, Knoll Estates Drive. The building is two and a half stories. The building elevations vary with insets that break the building massing and have distinct gable roof pitches.

The highest portion of the proposed building is 37 feet seven inches, which is within the allowable height of 40 feet for a gable roof structure. The applicant has not calculated the maximum average building height.

The lot is approximately .069 acres and is zoned multi-family. This proposed building is considered a "single-family detached condo" which is an allowed use within the multi-family zone district. The overall square footage of the home with the garage is approximately 3,858 gross square feet and provides two interior parking spaces within the proposed garage. No exterior parking spaces are required or proposed.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by*** *Italicized Text.*

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

CDC Provision	**Requirement**	**Proposed**
Maximum Building Height	40' (gable) Maximum	37' 7"
Maximum Avg. Building Height	35' (gable) Maximum	Not identified
Maximum Lot Coverage	To extent of building envelope	To extent of building envelope
General Easement Setbacks	No encroachment	n/a
Roof Pitch		
Primary		12:12
Secondary		4:12
Exterior Material		
Stone	35% minimum	41%
Wood Siding	n/a	44%
Windows/Door Glazing	40% maximum	15%
Parking	2 spaces per unit	2 interior

Design Variations:
1) *Driveway Standards*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.11 and 17.3.12: Building Height and Building Height Limits
Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a combination of gable roof forms. Homes with a primary gable roof form are allowed a maximum building height of 40 feet and an average maximum of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: The applicant has calculated a maximum height of the proposed building as 37 feet seven inches, which meets the requirements of this section. The applicant has not calculated the average building height. They will need to provide this information for final review, following the method for measuring average building height as set forth in section 17.2.11.C.

Figure 2: Proposed South Elevation

Figure 3: Proposed North Elevation

Figure 4: Proposed West Elevation

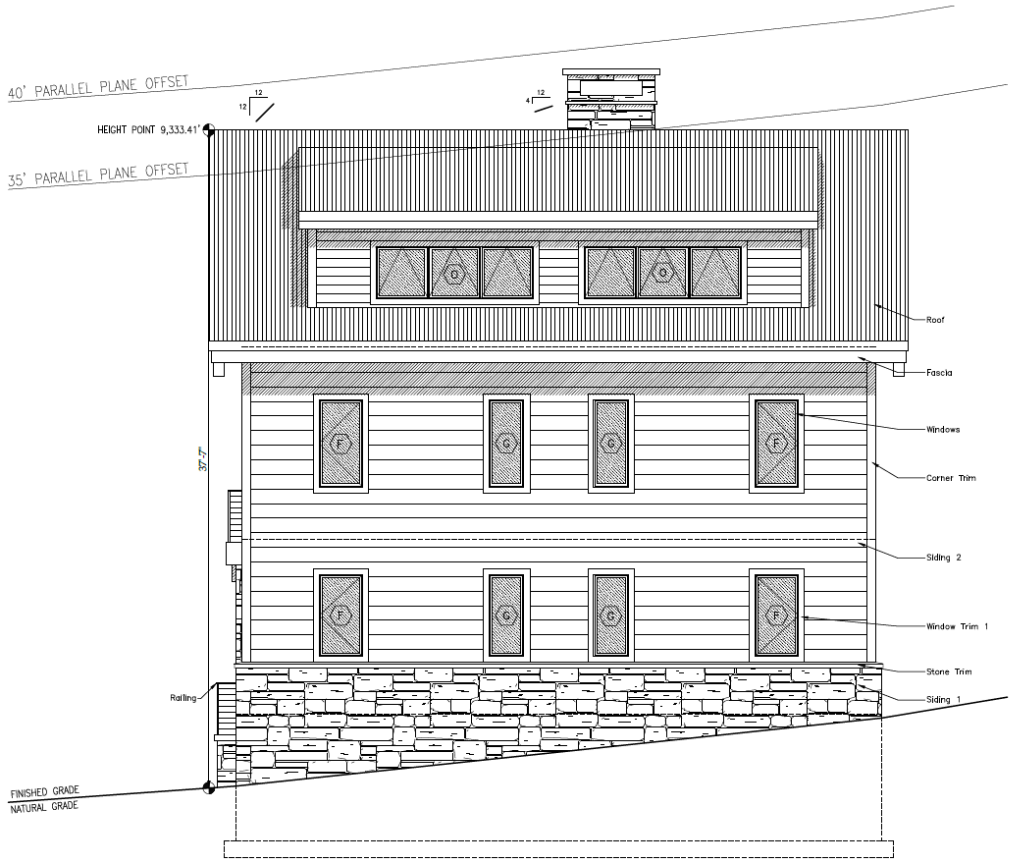
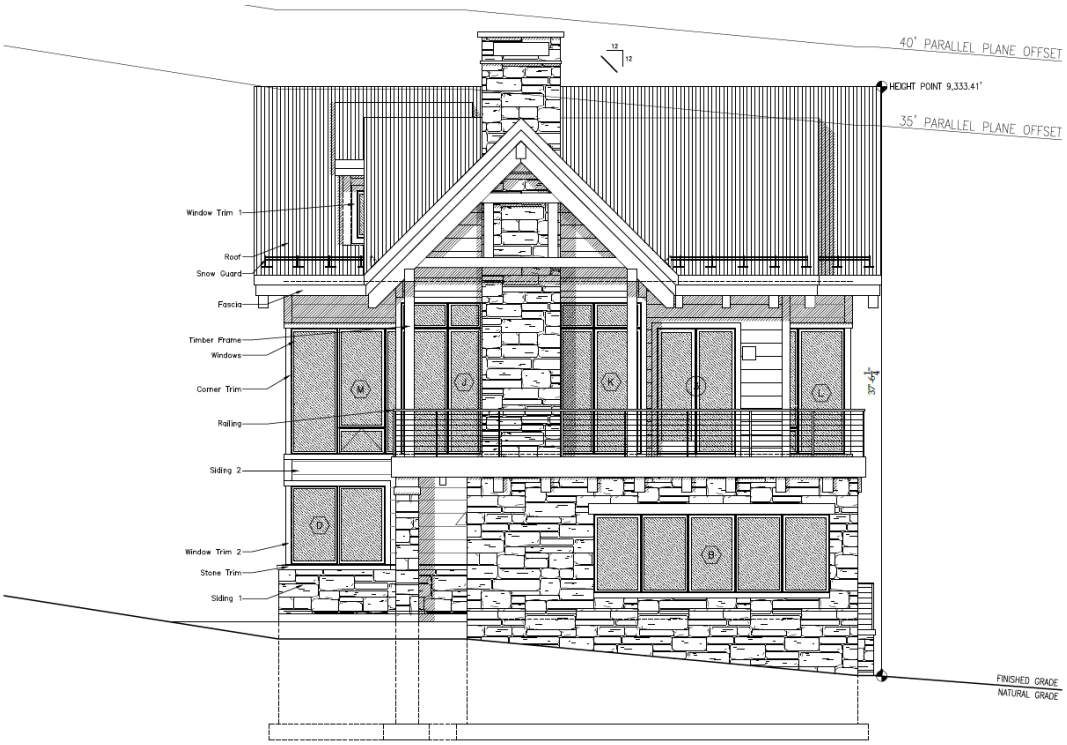


Figure 5: Proposed East Elevation



17.3.14: General Easement Setbacks

Lot 1, Building 12 does not have a general easement. Per section 17.3.14, for lots where a general easement does not exist, the review authority may require the establishment of a building setback as determined by the DRB at the time of review of a development application. The review authority may not require a setback for such lots if the Town has established other design allowances by a recorded development agreement or other legally binding approval that establishes a different general easement setback or other setback.

Lot 1, Building 12 is bound by three General Common Elements to the north, south, and east sides of the lot, which provide for common space (north and south) and public park space (east). The proposed concrete driveway does cross the General Common Element to the south but is shown following an easement that is represented in the condominium map. Because the required driveway width is wider than the easement that is shown, the easement will need to be amended, and a new condominium map should be recorded to reflect this. There is a 30' Earthwork Easement to the west.

Lot 1, Building 12 also has an established building envelope. The development may occupy up to the extent of the building envelope per the subdivision's original approval. Per Chapter 17.8 (Definitions), a disturbance envelope must contain all grading, clearing, excavation, development, drainage and other improvements. Driveways and utilities are allowable exceptions. The driveway and gas lines are proposed to run south from the southeastern edge of the lot, and both lie outside the building envelope.

Staff: The proposal includes two encroachments that fall into the above category of permitted development activity including the following:

- *Driveway: The Driveway as shown currently takes access from Eagle Drive and crosses the General Common Element to the homesite on an existing easement.*

- *Utilities: The closest transformer and pedestal cluster is located to the northwest corner of the proposed building. Utilities are assumed to cross the Earthwork Easement and General Common Element to this service source. A gas line is proposed to run from the proposed building to Eagle Drive, crossing the General Common Element and running parallel to the driveway.*

Chapter 17.5: DESIGN REGULATIONS
17.5.4: Town Design Theme
The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The two and a half story timber framed residence uses stained cedar with stone veneer and trim and corrugated metal roof, providing natural earth tones and materials that harmonize with nature. The materials used can withstand the high alpine environment.

17.5.5: Building Siting Design
The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The siting works within the General Common Elements of the surrounding area and does not propose grading, clearing, or direct drainage onto the adjoining open space. As noted previously, the proposal does include an encroachment in the General Common Element for the driveway and utilities. All proposed development except for the encroachments noted above are contained within the building envelope. The applicant's Roof Plan shown in Diagram A3.1 shows a snow guard along the north and south sides of the building where the roof would otherwise drain onto building decks and identifies the roof dripline on areas without a snowguard.

17.5.6: Building Design
The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. The CDC requires roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:
The form of the proposed residential structure follows an alpine mountain design that is well grounded to withstand the extreme natural forces of wind, snow, and heavy rain. It is made of materials such as stone, wood and metal that evoke this form.

Exterior Wall Form:
The proposed development has exterior walls that are simple in design and portray a massing that is substantially grounded to the site.

Roof Form:
The gable roof is made of corrugated metal and the design provides a roof plane that is broken up into multiple parts to create visual interest. The proposed roof addresses snow accumulation and ice/snow shedding.

Chimneys, Vent and Rooftop Equipment Design:
The applicant has not identified the fuel source for their proposed fireplace. This should be identified prior to final. If the fireplace is wood burning, the installation of a spark arrester and demonstration of necessary wood burning permits is required. The outdoor firepit is gas.

Exterior Walls Materials and Color:
The building utilizes a mix of Telluride Gold "Greystone" veneer at the base and horizontal cedar wood siding. Stone accounts for 41 percent of exterior materials, which exceeds the minimum 35 percent stone requirement. The application does not include the required photo that depicts the pattern, grout, block size and color of the proposed stone and setting pattern. This will be a condition for final review.

Layered cedar is proposed for the fascia. The applicant has not identified the material to be used for the soffit and will need to clarify this for final review. If the soffit will be made of metal, the application will be subject to specific approvals outlined in section 17.5.6.C.3.h.ii.

Glazing:
The maximum window area of the building, including window and door glazing, is 15 percent of the total building façade. The windows and doors are trimmed with cedar with an oil trim.

Doors and Entryways:
The door schedule indicates five doors to be wood and framed with aluminum clad. Staff finds this criteria to be met.

Decks and Balconies:
The proposed decks enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC.

Required Surveys and Inspections:
Since the proposed structure is within five feet or less of the maximum building height, a monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The

board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design
Public Works: Public Works reviewed the application and had no issues with the proposal as presented.

17.5.8: Parking Regulations
One and one-half parking spaces per unit are required for condominium units in multi-family zones, which translates to two required spaces for this unit.

Staff: The applicant has shown two interior parking spaces on their plan. No exterior spaces are required. This criterion is met.

17.5.9: Landscaping Regulations
Staff: The applicant is proposing the addition of several native shrubs and perennials along the north and west perimeter of the site and revegetation of a native grass seed mix in areas that will be disturbed from construction. No trees are proposed. Undisturbed areas are proposed to be left in a natural state. Topsoil will be stripped and stored prior to excavation and the applicant has stated they will replace any trees after construction if needed.

The landscaping does not require an irrigation system and plantings around the foundation will be irrigated with storm runoff roof drainage.

The primary walkways adjacent to the building are proposed to be flagstone pavers, which is a recommended material in the CDC. The development is not adjacent to a public pedestrian path or trail, so does not require a linkage.

17.5.11: Utilities
Public Works: Public Works reviewed the application and had no issues with the proposal as presented. The applicant should field verify all utilities.

17.5.12: Lighting Regulations
Staff: Exterior lighting with elevations is provided in the application (see Sheet E2). These are LED downlights and sconces, which are noted to be "dark sky friendly." The plan appears to meet all lighting regulations.

17.5.13: Sign Regulations
Staff: Sheet CE-1 shows the proposed address monument. Per Section 17.5.13.E.4, each lot shall provide a freestanding address identification sign monument and must adhere to the lettering size and height requirements noted therein. It is proposed to be made of Telluride quarry upright boulder slabs with black painted lettering and a downlit light. The monument is located to the right of the driveway in the area of the "public park space." This location is a result of the lot being sandwiched between lots 11 and 12 with a driveway access easement that does not provide space for the address monument. Location on the other side of the driveway would be in front of lot 11. The HOA approves such location.

Chapter 17.6: SUPPLEMENTARY REGULATIONS
17.6.1: Environmental Regulations

Staff: The applicant has not included a fire mitigation plan. Per Section 17.6.1.A.2, all new building construction that will create a habitable space that are occupied on a regular basis must create and implement a wildfire mitigation plan. This is a condition for final review.

Telluride Fire Protection District: TFPD approves of the proposal with the following conditions:

1) *The structure is over 3,600 sq ft and shall require a monitored NFPA 13D sprinkler system.*
2) *The structure shall require a monitored NFPA 72 alarm system.*

17.6.6: Roads and Driveway Standards
Staff: According to section 17.6.6B-2a of the Community Development Code, if the driveway is less than 150', the driveway needs to be at minimum 12 feet wide, plus (2) 2' shoulders. The proposed driveway meets this requirement. Also, in section 17.6.6.A.4, the maximum road grade shall be eight percent, but transitional sections may be allowed a maximum grade up to twelve percent with the approval of the Town in consultation of the Fire Marshal. The maximum grade of the driveway is 9.5 percent at the transitional section, requiring review by the Fire Marshal. The review authority may grant a variation to the driveway standards provided the review authority finds the exemption will not adversely affect public health, safety, and welfare.

17.6.8: Solid Fuel Burning Device Regulations
The applicant has indicated that the proposed home does include a fireplace but has not called out a fuel source. This should be clarified prior to final review. If the applicant intends to have a wood burning fireplace, then a solid fuel burning permit must be provided to the Town per section 17.6.8A of the CDC.

Chapter 17.7: BUILDING REGULATIONS
17.7.20: Construction Mitigation
Staff: The construction mitigation plan shows the required bear proof dumpster storage, materials storage, and a portable toilet. The parking plan indicates that parking will use one side of the public right-of-way when possible. Alternative parking areas are not identified. The applicant will likely still need to work with the Town for roadside parking permits. It is possible the driveway, once constructed, could serve as parking during construction.

Appropriate silt protection is shown to handle stormwater runoff. No crane is indicated on the CMP, if it is determined that one is required, the applicant shall work with Town staff to make sure the crane swing doesn't impede the roadway.

There are existing spruce trees on the eastern border of the project site. The applicant should update the construction staging plan to identify proper tree protection for trees to be saved.

Staff Recommendation: Staff recommends approval of this application.

If the DRB finds this application acceptable for approval, then staff suggest the following motion for approval of the Initial Architecture and Site Review:

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

I move to approve the Initial Architecture and Site Review for a new single-family detached condominium located at Lot 1, Building 12, Knoll Estates Drive based on the evidence provided in the staff record of memo dated December 1, 2022, and the findings of this meeting.

With the following design variation:

1) Driveway standards

And, with the following conditions:

1) *Prior to final review the applicant will calculate the maximum average building height of the development.*
2) *Prior to final review the applicant shall identify the materials to be used for the soffit.*
3) *Prior to final review, the applicant shall provide an updated landscape plan showing compliance with fire zone mitigation areas.*
4) *Prior to final review, the applicant shall specify the fuel source for all solid fuel burning devices.*
5) *Prior to final review, the applicant shall revise the construction mitigation plan to address the concerns addressed in the staff memo dated December 1, 2022.*
6) *Prior to final review, the applicant shall include a photograph or diagram depicting the pattern, grout, block size and color of the proposed stone and setting pattern.*
7) *Prior to building permit, the applicant shall work with Public Works to field verify all utilities.*
8) *The structure is over 3,600 sq ft and shall require a monitored NFPA 13D sprinkler system.*
9) *The structure shall require a monitored NFPA 72 alarm system.*
10) *TFPD recommends the installation of a Knox Box for emergency access.*
11) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
12) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
13) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height.*
14) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
    a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
    b. *Wood that is stained in the approved color(s);*
    c. *Any approved metal exterior material;*
    d. *Roofing material(s); and*
    e. *Any other approved exterior materials*
15) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

DYER-XAVIER RESIDENCE

LOT 1 UNIT 12, KNOLL ESTATES DRIVE, MOUNTAIN VILLAGE, CO 81435

BUILDING CODES

2018 International Building Code (IBC)
2018 International Residential Code (IRC)
2020 National Electrical Code
2018 International Fuel Gas Code
2018 International Energy Conservation Code
2018 International Existing Building Code
2018 International Fire Code
2018 International Mechanical Code
2018 International Plumbing Code

PROJECT SUMMARY TABLE

LOT SIZE: 75' x 40' (3000 SQ. FT.)
ZONING DESIGNATION: MULTI-FAMILY
MAX BUILDING HEIGHT: 37' - 7"
AVERAGE BUILDING HEIGHT: 27.98'
REQUIRED PARKING: 2 ENCLOSED SPACES IN GARAGE, 2 SURFACE PARKING SPACES
LOT COVERAGE: 62.6%
GROSS SQUARE FOOTAGE: 3858 SQ. FT.
LIVABLE SQUARE FOOTAGE: 2648 SQ. FT.

SQUARE FOOTAGE CALCULATIONS

HOUSE	
MAIN LEVEL GROSS	1,000 sq ft
UPPER LEVEL GROSS	1,560 sq ft
LOFT LEVEL GROSS	530 sq ft
TOTAL GROSS-HOUSE	3,090 sq ft
GARAGE GROSS	768 sq ft

CONTACT INFORMATION

TABBERSON ARCHITECTS
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1937 W. ROYALE DRIVE
MUNCIE, IN 47304-3229
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OFFICE: (765) 289-7889
EMAIL: billtabberson@tabbersonarchitects.com

UNCOMPAHGRE ENGINEERING LLC
David Ballode
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TELLURIDE, CO 81435
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Owners
Ryan Dyer
PHONE: (602) 694-0976
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Andrey Xavier
PHONE: (602) 315-3417
EMAIL: abx.us2010@gmail.com

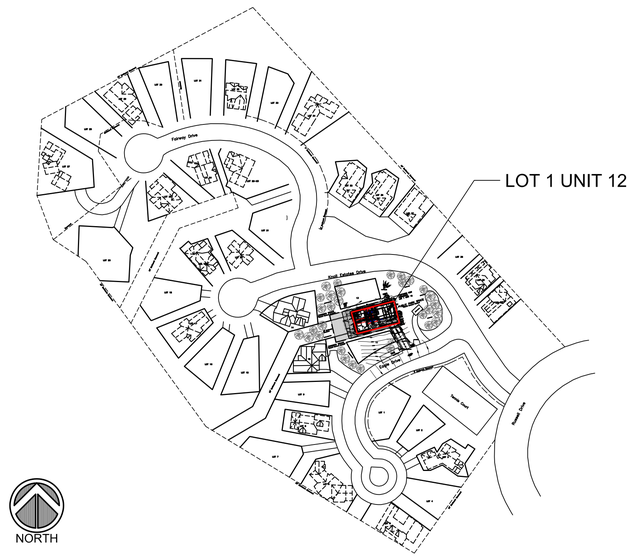
INDEX OF DRAWINGS

DESIGN NARRATIVE

Located in the Northwestern part of Mountain Village, CO, Lot 1 Unit 12 is connected southward to Eagle Drive via a driveway easement. The visual context of Lot 12 consists of the surrounding spruce trees, a lush forested mountain-side and exposed mountain range peaks to the North and Northeast.

Proposed for Lot 1 Unit 12 is a 2 ½ story timber framed residence. This single-family residence is to be finished with a timber siding of stained cedar, a Telluride Gold cut greystone veneer and trim, and a corrugated metal roof with a rusted deep-russet patina. Set within the context of the Mountain Village community, these elements work to provide strong visual harmony with the surrounding spruces and mountain peaks, along with the natural earth-tones and arboreal textures that accompany them. The welcoming exterior balcony and patio spaces encourage active observation of this context, and work to compliment the natural feel of the public park space to the east.

With a gross square footage of 3090 sq ft , this home maintains a low-footprint for its 2 ½ story stature, while incorporating additional passive design strategies to reduce energy use. The corrugated metal roof, accepting solar PV panel installation in the future, further eliminates energy usage with snow guards, while directing snowmelt and rainfall to passively irrigate low-maintenance indigenous shrubs and flowering plants without the use of any additional energy.



1 / T1 Vicinity Map
SCALE: 1/128" = 1'-0"

SUBMITTAL LOG

PREVIOUS DRAWING RELEASES:
01.07.22- CONCEPT DESIGN
01.25.22- DRAWING SET 1 SCHEMATIC DESIGN
02.02.22- DRAWING SET 1.1 SCHEMATIC DESIGN
02.18.22- DRAWING SET 2 SCHEMATIC DESIGN
02.24.22- DRAWING SET 2.1 SCHEMATIC DESIGN
03.15.22- DRAWING SET 2.2 SCHEMATIC DESIGN
04.05.22- DRAWING SET 2.3 DESIGN DEVELOPMENT
05.12.22- DRAWING SET 2.4 KNOLL ESTATES HOA REVIEW

DRAWING SET 2.5:
MOUNTAIN VILLAGE DEVELOPMENT APPLICATION
JUNE 16, 2022

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DYER-XAVIER Residence
Ryan Dyer & Andrey Xavier
Lot 1 Unit 12, Knoll Estates Dr,
Mountain Village, CO 81435

William Tabberson, AIA
NCARB Certification No. 48418
Indiana Certification No. 19700041

COLORADO LICENSED ARCHITECT
WILLIAM TABBERSON
40653
NOT FOR CONSTRUCTION

06/16/2022

TITLE PAGE
T1
DRAWING NUMBER:

JUNE 16, 2022
DRAWING ISSUE DATE:
21.829 DYER-XAVIER
PROJECT FILE NUMBER:

1
D1
Southwest Axon

4
D1
Northwest Axon

3
D1
Northeast Axon

2
D1
Southeast Axon

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WILLIAM TABBERSON
40453
ARCHITECT
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06/08/2022

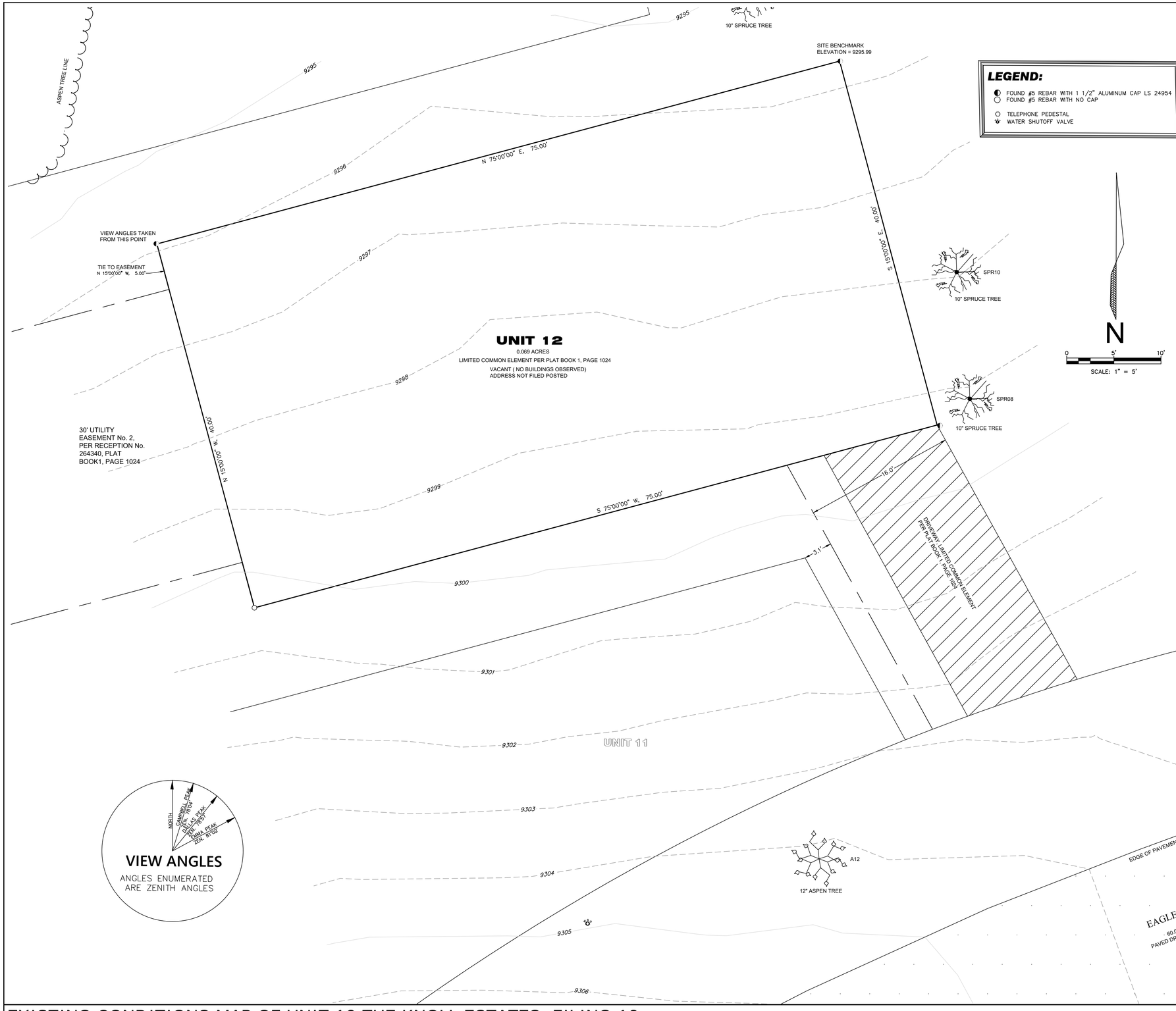
DESIGN IMAGES

D1

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:



LEGEND:

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP LS 24954
- FOUND #5 REBAR WITH NO CAP
- TELEPHONE PEDESTAL
- WATER SHUTOFF VALVE

PROPERTY DESCRIPTION:

UNIT 12, THE KNOLL ESTATES, A CONDOMINIUM, AS DEFINED AND DESCRIBED IN THE SECOND AMENDED AND RESTATED CONDOMINIUM DECLARATION RECORDED MAY 25, 2021 UNDER RECEPTION NO. 470308 AND AS AMENDED IN INSTRUMENT RECORDED JULY 20, 2021 UNDER RECEPTION NO. 471434 AND ACCORDING TO THE CONDOMINIUM MAP RECORDED MARCH 29, 1990 IN PLAT BOOK 1 AT PAGE 1023 AND AS AMENDED BY AMENDED AND RESTATED CONDOMINIUM MAP RECORDED MAY 25, 2021 UNDER RECEPTION NO. 470309,
COUNTY OF SAN MIGUEL,
STATE OF COLORADO.

SURVEYOR'S CERTIFICATE:

I, Thomas A. Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Unit 12, The Knoll Estates was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

Thomas A. Clark PLS. 38014

38014 LICENSED THOMAS A. CLARK 38014 3/11/2022 PROFESSIONAL LAND SURVEYOR

NOTES:

1. Easement research and property description provided by LAND TITLE GUARANTEE COMPANY - TELLURIDE, Policy Number OX86012315.13994465 effective on December 06, 2021 at 5:00 P.M.

2. According to FEMA Flood Insurance Rate Map 008113C0286C Panel Number 0286 C dated September 30.1988 this parcel is within Zone X; Areas determined to be outside 500-year flood plain.

3. Field work was performed in February 2022

4. Elevation datum for this survey are based on GPS observation and OPUS solution (NAVD 88) on benchmark at the Northeast property corner that elevation being 9295.99.

5. This survey is valid only if a printed or electronic copy has a seal and signature of the surveyor noted within the statement above.

6. This survey is prepared for the exclusive use of the party or parties indicated within the surveyor's statement. Said statement does not extend to any unnamed person or parties without an expressed statement by the surveyor naming said entities.

7. NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more then ten years from the date of the certification shown hereon.

EXISTING CONDITIONS MAP

EX1

DRAWING NUMBER:

EXISTING CONDITIONS MAP OF UNIT 12 THE KNOLL ESTATES, FILING 13, TOWN OF MOUNTAIN VILLAGE, SAN MIGUEL COUNTY, COLORADO.

ALL POINTS LAND SURVEY L.L.C.
PO BOX 754 OPHIR, COLORADO 81435 (970) 708-9694

DATE: 3/11/2022		
DRAWN BY	TC	JOB# 21012
CHECKED BY	JCC	
		SHEET-1-OF-1

1 EX2 Southwest View

2 EX2 Southeast View

3 EX2 Northeast View

4 EX2 Northwest View

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06/08/2022

EXISTING SITE PHOTOS- GROUND

EX2

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:

1 EX3 North View

2 EX3 East View

3 EX3 West View

4 EX3 South View

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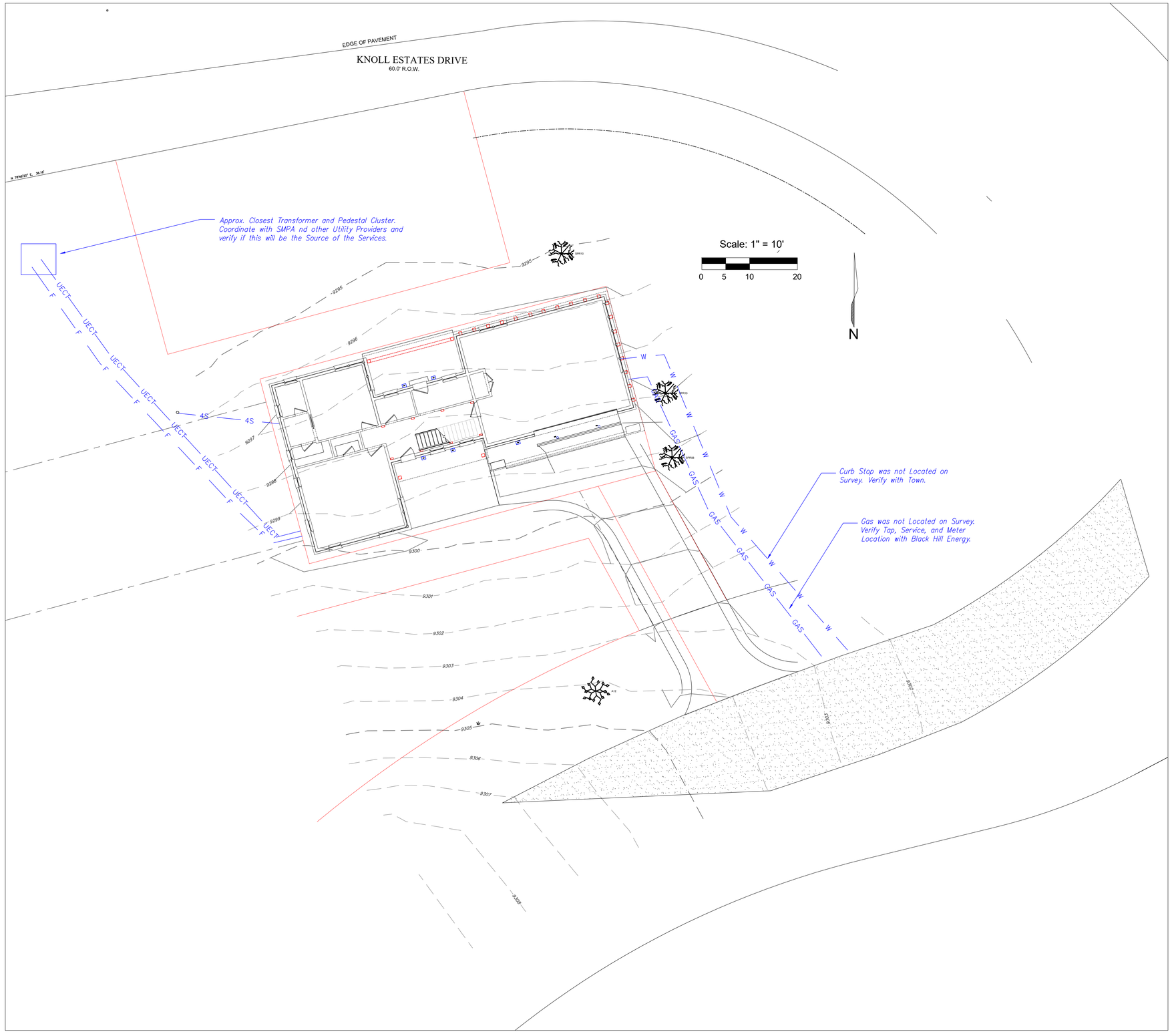
EXISTING SITE PHOTOS- AERIAL

EX3

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2022-06-04

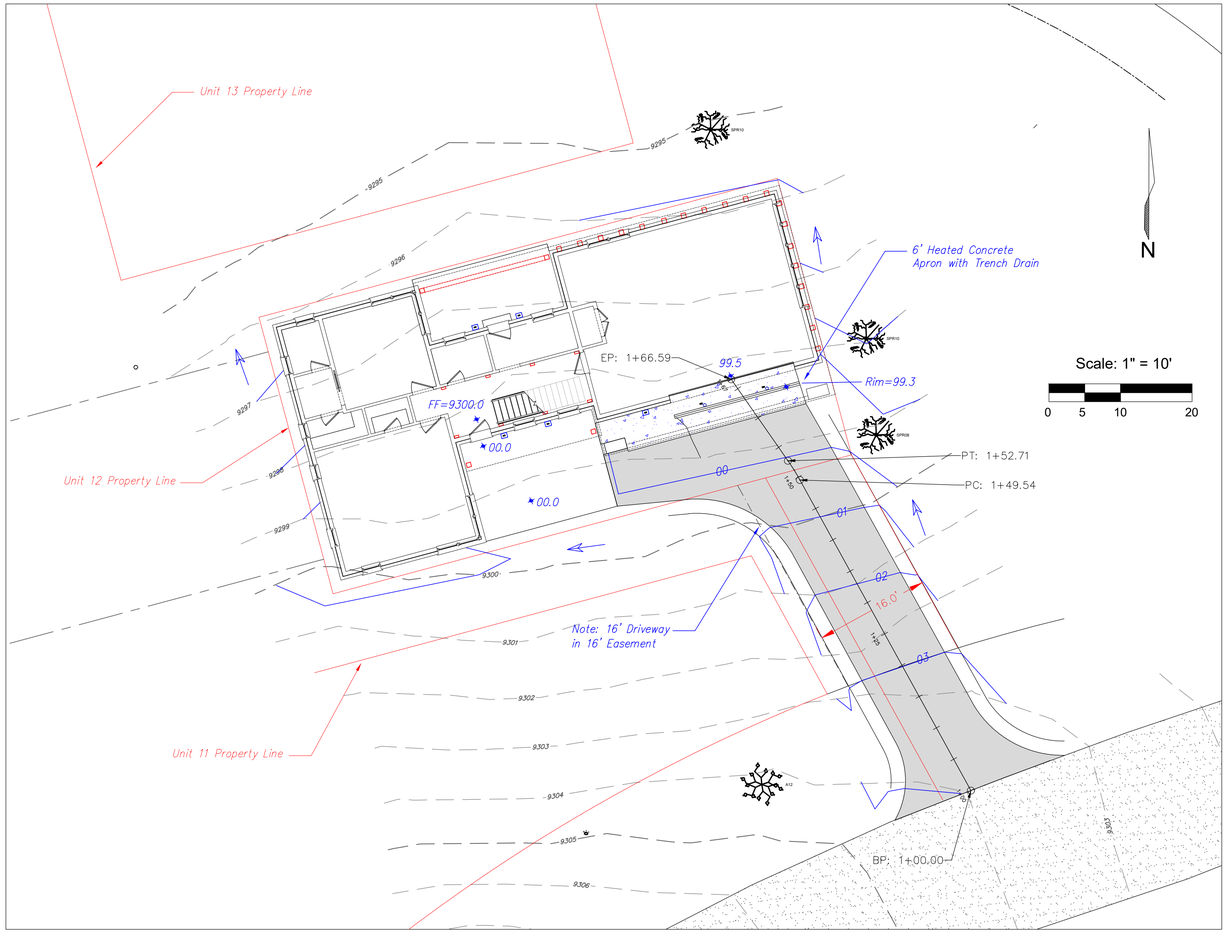
Unit 12
Knoll Estates
Mtn. Village, CO

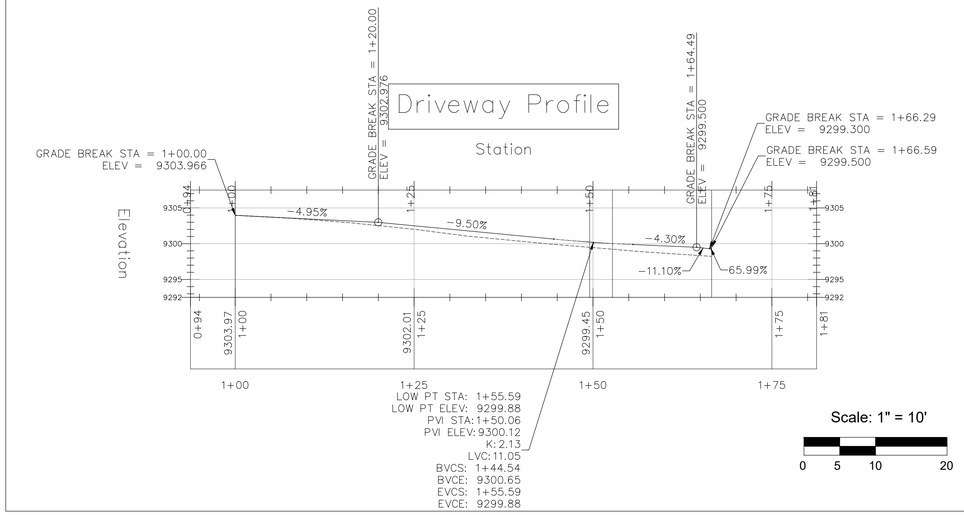
COLORADO LICENSED PROFESSIONAL ENGINEER
29645
06-04-22
NOT FOR CONSTRUCTION

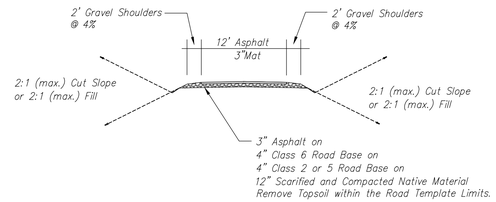
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3







DRIVEWAY CROSS-SECTION (Typ.)
16' Shoulder-to-Shoulder is the minimum Required Width

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SUBMITTAL	2022-06-04

Unit 12
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Site Grading
with
Driveway Profile

C2

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIRIEMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.

Uncompahgre
Engineering, LLC

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Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2022-06-04

Unit 12
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COLORADO LICENSED
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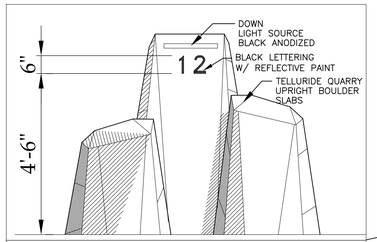
Notes

C1



1 CE1 **Address Monument**

SCALE: 1" = 1'-0"

Knoll Estates Drive

NORTH
CAMPBELL PEAK ZEN. 78°04"
DALLAS PEAK ZEN. 78°57"
EMMA PEAK ZEN. 81°02"

VIEW ANGLES

EXISTING TREES

EXISTING 10" SPRUCE TREE

PROPOSED NEW RESIDENCE LOT 1 UNIT 12

SITE BENCHMARK ELEVATION = 9295.99

13

ASPEN TREE LINE

EXISTING ASPEN TREES

COMMON SPACE "General Common Element"

PUBLIC PARK SPACE "General Common Element"

EXISTING BUILDING

HOT TUB

BUILDING ENVELOPE 40' X 75'

RAISED PATIO: CONCRETE, FLAGSTONE, OR PAVERS

PATIO: CONCRETE, FLAGSTONE, OR PAVERS

GAS FIREPIT

DRIVEWAY CONCRETE SURFACE

9299.500

12'-0"

2'-0"

2' SHOULDER

ADDRESS MONUMENT

PROPOSED CONTOURS

EXISTING CONTOURS

9303.966

EXISTING 12" ASPEN TREE

EDGE OF PAVEMENT

66'-0" R.O.W. PAVED DRIVING SURFACE

9292 9293 9294 9295 9296 9297 9298 9299 9300 9301 9302 9303 9304 9305 9306 9307 9308

14

30' Earthwork Easement

11

10

5' Earthwork Easement

Eagle Drive

1 CE1 **Site Plan**

SCALE: 1/8" = 1'-0"

NORTH

0 4 8 16 32

TABBERSON architects

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DYER-XAVIER Residence

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Indiana Certification No. 19700041

COLORADO LICENSED ARCHITECT WILLIAM TABBERSON 40683 NOT FOR CONSTRUCTION

06/16/2022

SITE PLAN

CE1

DRAWING NUMBER:

JUNE 16, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:

LANDSCAPE + REVEGETATION SCHEDULE			
COMMON NAME	PLANT SPECIES	SYMBOL	QUANTITY
TALL SHRUB	NATIVE RED-BERRIED ELDER (Sambucus racemosa) NE, W SERVICEBERRY (Amelanchier alnifolia) SW		8 3
SHORT SHRUB	COMMON JUNIPER (Juniperus communis) SW, NE		9
PERENNIALS	YARROW (Achillea lanulosa) NW SKY PILOT (Polemonium viscosum) SW		70 SQ. FT. 60 SQ. FT.
XERISCAPE	NATIVE ROCK + GRAVEL BED		330 SQ. FT.
DISTURBED AREA/ REVEGETATION AREA	NATIVE GRASS SEED MIX		1,200 SQ. FT.
UNDISTURBED AREA	UNDISTURBED NATIVE GRASS		1,150 SQ. FT.

GENERAL LANDSCAPE NOTES:

-No existing trees to be removed.

-All disturbed areas to be replanted with native grass seed mix.

-No irrigation system to be installed. Plantings around foundation irrigated with storm runoff roof drainage.

-Top soil to be stripped and stored prior to excavation.

-Newly seeded areas to be tilled 6-8" with (3) cubic yards Soil Amendment (fully composted manure) per 1,000 square feet.

-Newly seeded areas to be protected with weed-free mulch (Nylon netting is prohibited).

-Noxious weed eradication and management is the owner's responsibility in accordance with the Town Weed Management Plan.

-Replace trees after completion of construction if necessary.

Knoll Estates Drive

13

14

11

10

ASPEN TREE LINE

EXISTING ASPEN TREES

EXISTING TREES

VIEW ANGLES
NORTH
CAMPBELL PEAK ZEN. 78°04'
DALLAS PEAK ZEN. 78°57'
EMMA PEAK ZEN. 81°02'

EXISTING 10" SPRUCE TREE

PROPOSED NEW RESIDENCE LOT 1 UNIT 12

SITE BENCHMARK ELEVATION = 9295.99

PUBLIC PARK SPACE
"General Common Element"

COMMON SPACE
"General Common Element"

EXISTING BUILDING

HOT TUB

BUILDING ENVELOPE 40' X 75'

RAISED PATIO: CONCRETE, FLAGSTONE, OR PAVERS

PATIO: CONCRETE, FLAGSTONE, OR PAVERS

GAS FIREPIT

DRIVEWAY CONCRETE SURFACE

2' SHOULDER

12'-0"

2'-0"

EXISTING 12" ASPEN TREE

EDGE OF PAVEMENT

60.0' R.O.W. PAVED DRIVING SURFACE

Eagle Drive

30' Earthwork Easement

5' Earthwork Easement

1 CE2 Revegetation and Landscape Plan
SCALE: 1/8" = 1'-0"

NORTH 0 4 8 16 32

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DYER-XAVIER Residence
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William Tabberson, AIA
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Indiana Certification No. 19700041

COLORADO LICENSED WILLIAM TABBERSON 40653 ARCHITECT
NOT FOR CONSTRUCTION

06/08/2022

REVEGETATION AND LANDSCAPE PLAN

CE2

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:

GENERAL CONSTRUCTION NOTES:

–PARKING: Vehicles to be parked off the privately owned property associated with the project (this includes public ways, rights–of–way, easements, etc.), an approved CONSTRUCTION PARKING AGREEMENT with the Town of Mountain Village shall be obtained prior to parking in said locations. Vehicles shall not block reasonable public access or safety vehicle access. Vehicles shall remain in designated areas as shown on APPROVED site plan and within paid and permitted permit parking areas. Vehicles are not permitted to be left overnight.

–FENCING: Limits of disturbance fencing shall be chain link, six feet tall, and covered with green mesh fabric. Fencing shall be installed prior to PERMIT ISSUANCE. Fencing shall remain in place until final approval is given to remove.

–EROSION CONTROL: Slit fencing, straw bales, sediment traps, temporary berm's and all erosion control measures shall be done in compliance with the approved site plan and storm water management plan. Follow best management practices when wetlands are present.

–DELIVERIES: Deliveries shall be during hours of operation only. Road closure permits shall be required prior to deliveries.

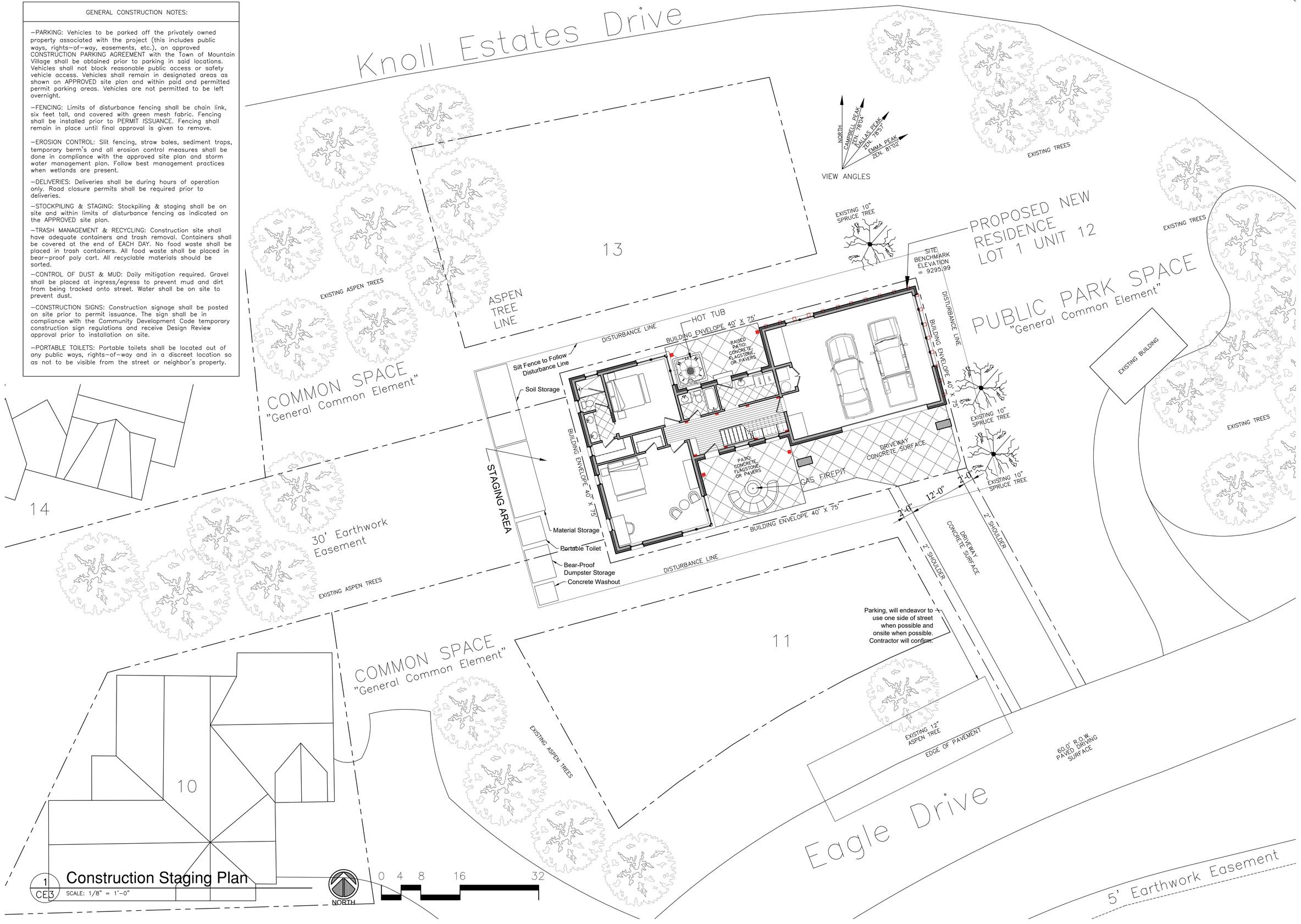
–STOCKPILING & STAGING: Stockpiling & staging shall be on site and within limits of disturbance fencing as indicated on the APPROVED site plan.

–TRASH MANAGEMENT & RECYCLING: Construction site shall have adequate containers and trash removal. Containers shall be covered at the end of EACH DAY. No food waste shall be placed in trash containers. All food waste shall be placed in bear–proof poly cart. All recyclable materials should be sorted.

–CONTROL OF DUST & MUD: Daily mitigation required. Gravel shall be placed at ingress/egress to prevent mud and dirt from being tracked onto street. Water shall be on site to prevent dust.

–CONSTRUCTION SIGNS: Construction signage shall be posted on site prior to permit issuance. The sign shall be in compliance with the Community Development Code temporary construction sign regulations and receive Design Review approval prior to installation on site.

–PORTABLE TOILETS: Portable toilets shall be located out of any public ways, rights–of–way and in a discreet location so as not to be visible from the street or neighbor's property.



1 CE3 Construction Staging Plan

SCALE: 1/8" = 1'–0"

NORTH 0 4 8 16 32

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COLORADO LICENSED WILLIAM TABBERSON 40353 ARCHITECT
NOT FOR CONSTRUCTION

06/08/2022

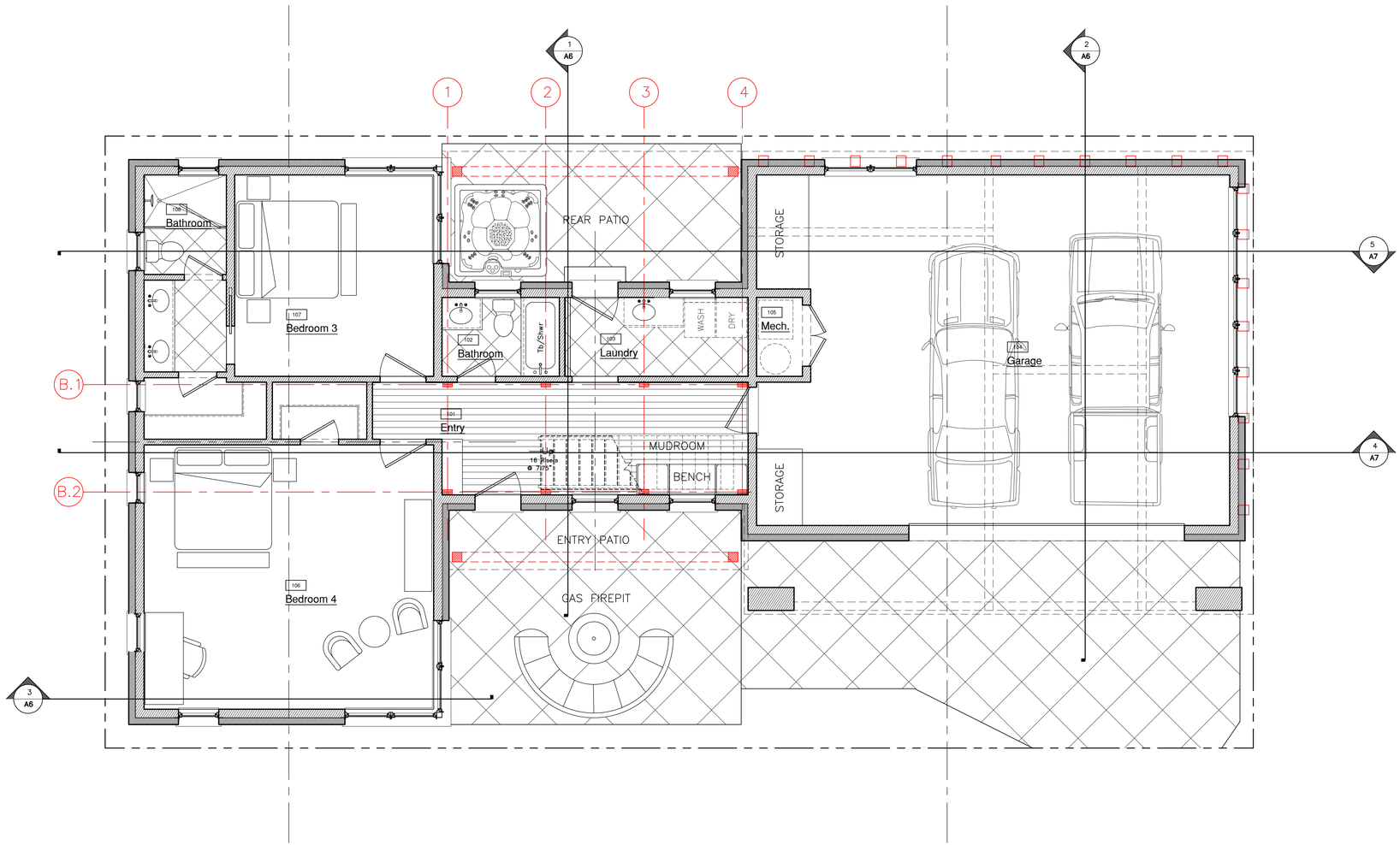
CONSTRUCTION STAGING PLAN

CE3

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:



1 / A1 Main Level Floor Plan

SCALE: 1/4" = 1'-0"

NORTH

0 4 8 16

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06/08/2022

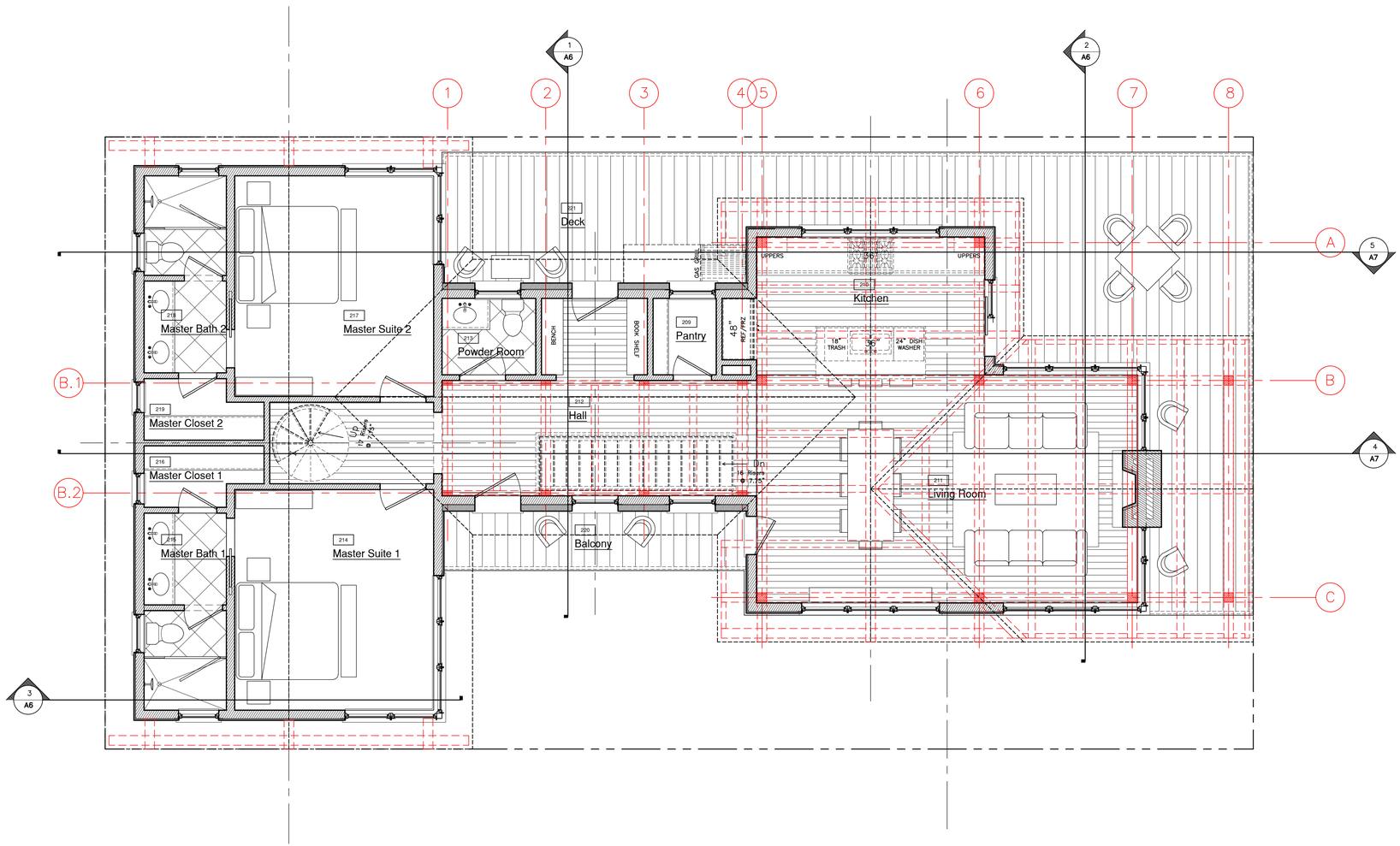
MAIN LEVEL
FLOOR PLAN

A1

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:



Upper Level Floor Plan

1 / A2

SCALE: 1/4" = 1'-0"

NORTH

0 4 8 16

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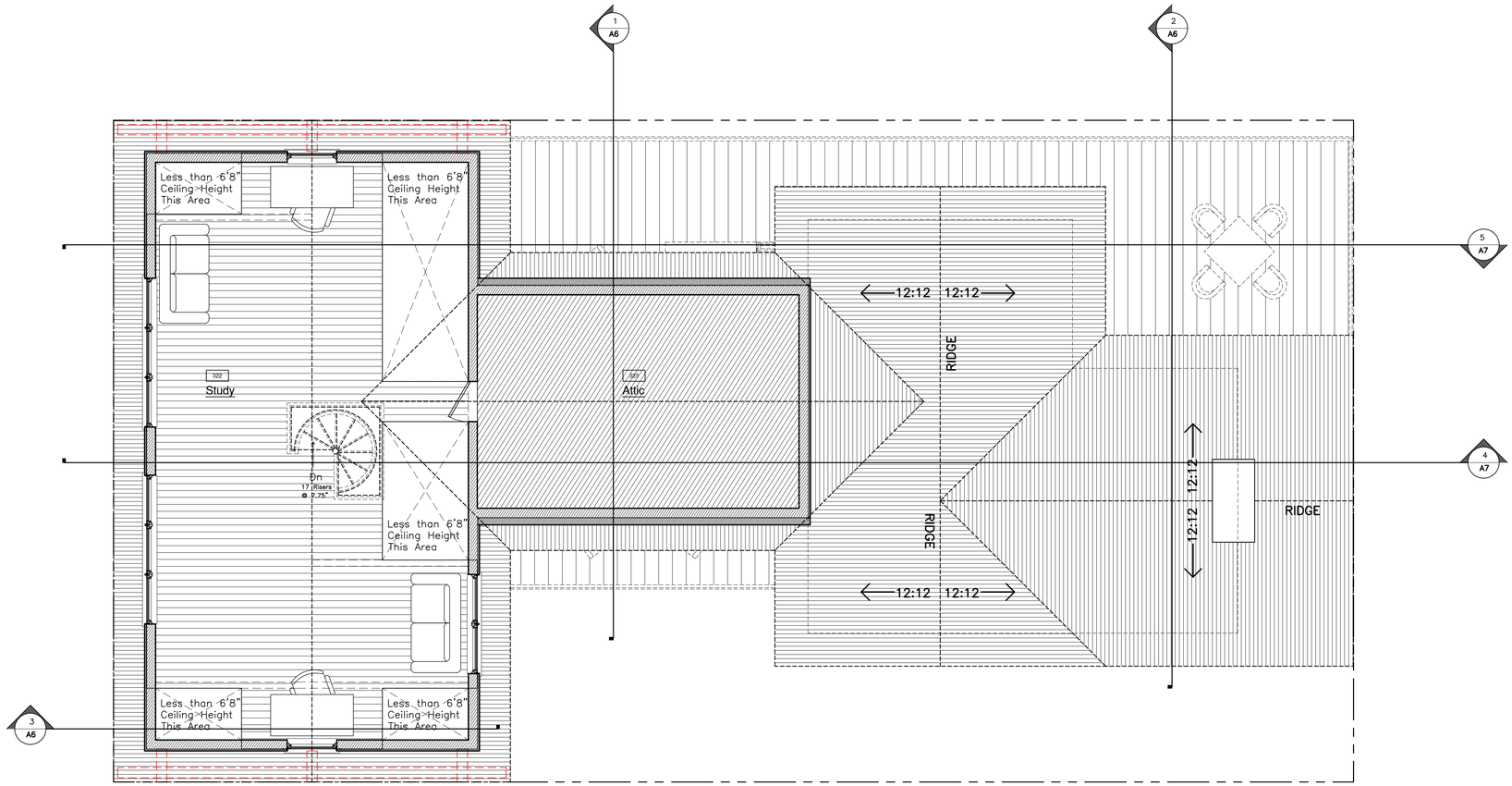
UPPER LEVEL
FLOOR PLAN

A2

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:



1 A3 Attic Floor Plan

SCALE: 1/4" = 1'-0"

NORTH

0 4 8 16

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ATTIC
FLOOR PLAN

A3

DRAWING NUMBER:

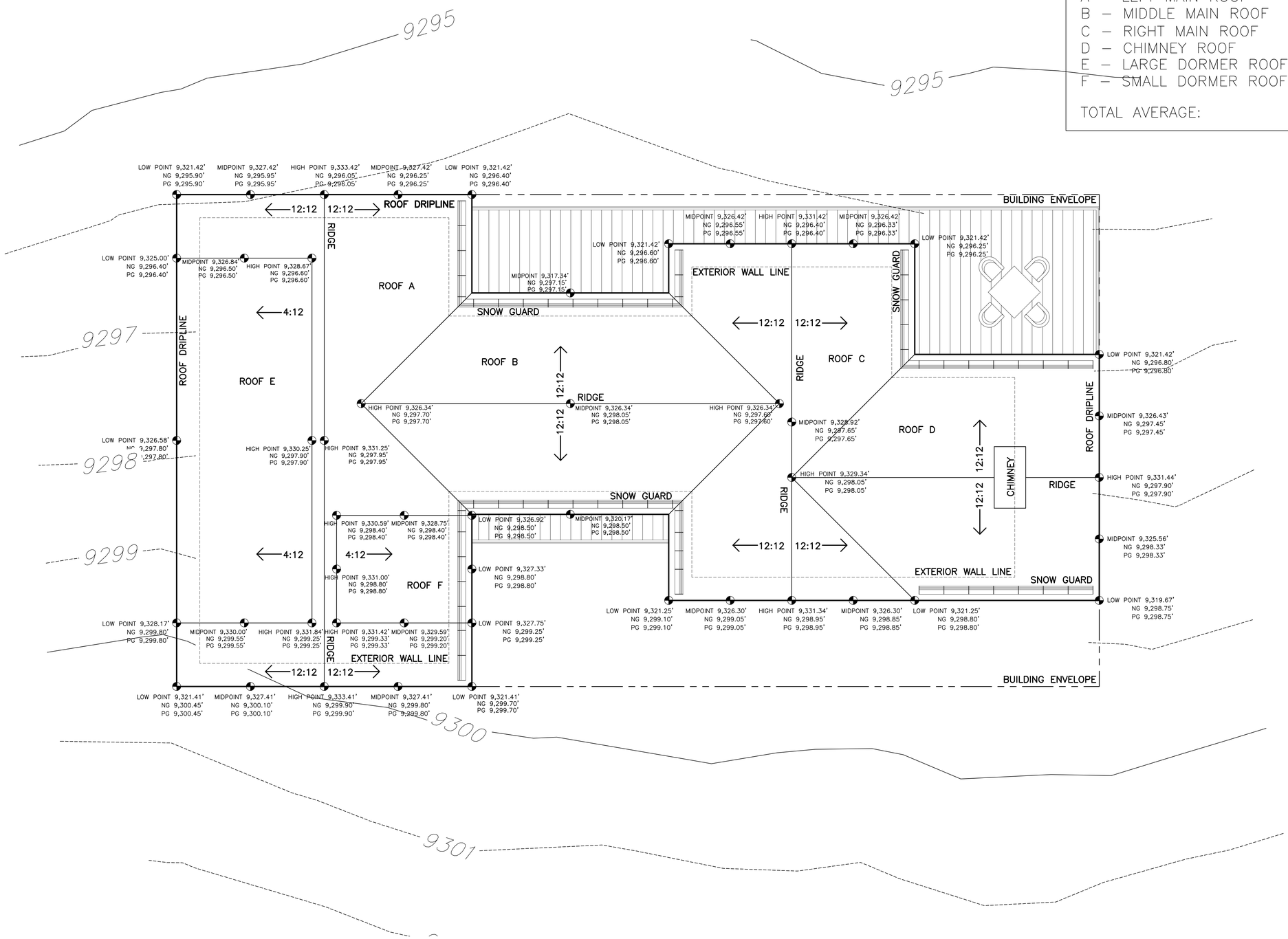
JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:

AVERAGE BUILDING HEIGHT

NG – NATURAL GRADE
PG – PROPOSED GRADE

A – LEFT MAIN ROOF	29.39’
B – MIDDLE MAIN ROOF	20.93’
C – RIGHT MAIN ROOF	28.67’
D – CHIMNEY ROOF	28.11’
E – LARGE DORMER ROOF	30.40’
F – SMALL DORMER ROOF	30.37’
TOTAL AVERAGE:	27.98’



1 / A3.1 **Roof Plan**
SCALE: 1/4” = 1’–0”

NORTH

0 4 8 16

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ROOF PLAN

A3.1

DRAWING NUMBER:

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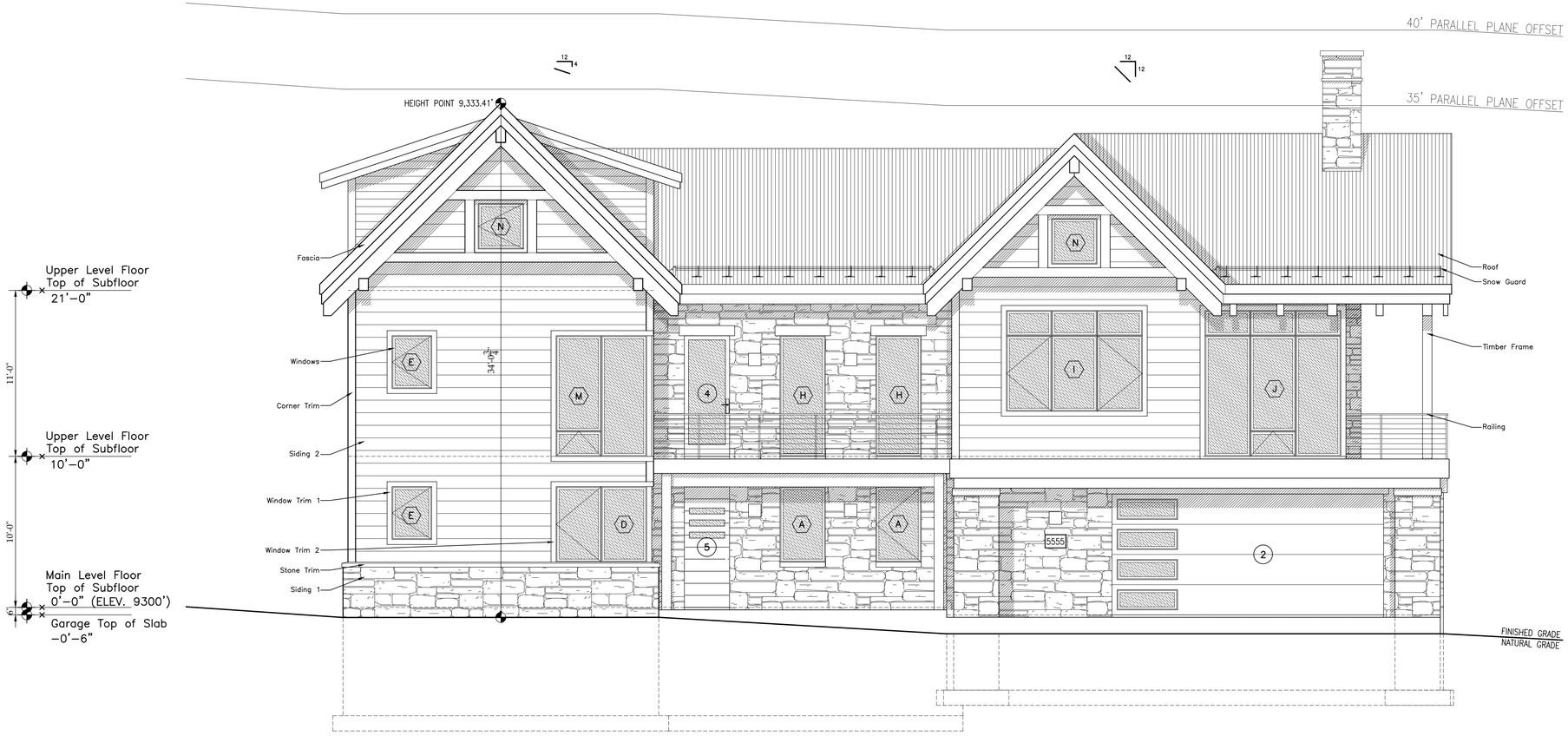
PROJECT FILE NUMBER:



South Elevation

1 / A4

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS SCHEDULE	
LABEL	MATERIAL DESCRIPTION
Siding 1	Telluride Gold – "Greystone" Full Stone Veneer – Recess Mortar Joints for Dry-Stack Appearance
Siding 2	Wood Siding – Cedar 2x10 Nominal w/Wire-brushed Surface and Oil-Penetrating Stain Finish. Install w/1-1/2" Gap and Perma-Chink (or equal) Chinking, Beige Color
Roof	Corrugated Metal Roofing – 18-22 Gauge w/Rusted Patina Finish (Rusted Prior to Installation)
Timber Frame	Timber Frame – CNC-Fabricated Mortise & Tenon Douglas-Fir Heavy Timbers w/Sanded 4 Sides Surface and Oil-Penetrating Stain Finish
Window Trim 1	Cedar 2x4 Nominal w/Wire-Brushed Surface and Oil-Penetrating Stain Finish. Miter Corner Joints and Install on 1x Furring to Achieve Projection Past Wood Siding.
Corner Trim	Cedar 2x6 Nominal w/Wire-Brushed Surface and Oil-Penetrating Stain Finish. Miter Corner Joints and Install on 1x Furring to Achieve Projection Past Wood Siding.
Stone Trim	4" Cast or Cut Stone Water Table, Project 1" Past Stone Veneer and Pitch Top for Drainage
Window Trim 2	4" Cast or Cut Stone Water Table, Project 1" Past Stone Veneer and Pitch Top for Drainage, and 8" Cast or Cut Stone Lintel, Project 1" Past Stone Veneer and Extend 4" Beyond Width of Window Each Side
Windows	Aluminum Clad Windows, Dark Grey Color
Fascia	Layered Cedar Fascia, 2" Nominal Boards with Sanded Surface, Oil Penetrating Stain Finish and Clear Wood Sealer Coat (Matte, not Gloss)
Railing	Steel Guard with Black Non-Reflective Powder Coat Finish and Wood Top
Snow Guard	Drift II Corrugated – Raw Steel. 2-Pipe Fence-Style Snow Guard System. Must be bolted directly to roof support structure, requires (3) 1/2" x 3-1/2" lag bolts.

EXTERIOR MATERIAL PERCENTAGES	
2,262 SF STONE	41% STONE
855 SF GLASS	15% GLASS
2,409 SF WOOD	44% WOOD
5,526 SF ALL FACADES TOTAL	

North Elevation

2 / A4

SCALE: 1/4" = 1'-0"

MAXIMUM BUILDING HEIGHT

NG – NATURAL GRADE
PG – PROPOSED GRADE

NORTH ELEVATION	37'-5 3/4"
EAST ELEVATION	37'-6 1/4"
SOUTH ELEVATION	34'-3/4"
WEST ELEVATION	37'-7"

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06/08/2022

BUILDING ELEVATIONS

A4

DRAWING NUMBER:

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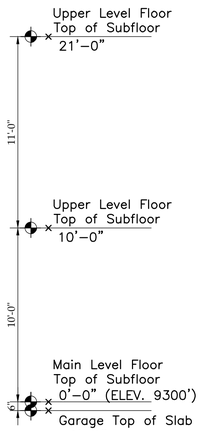
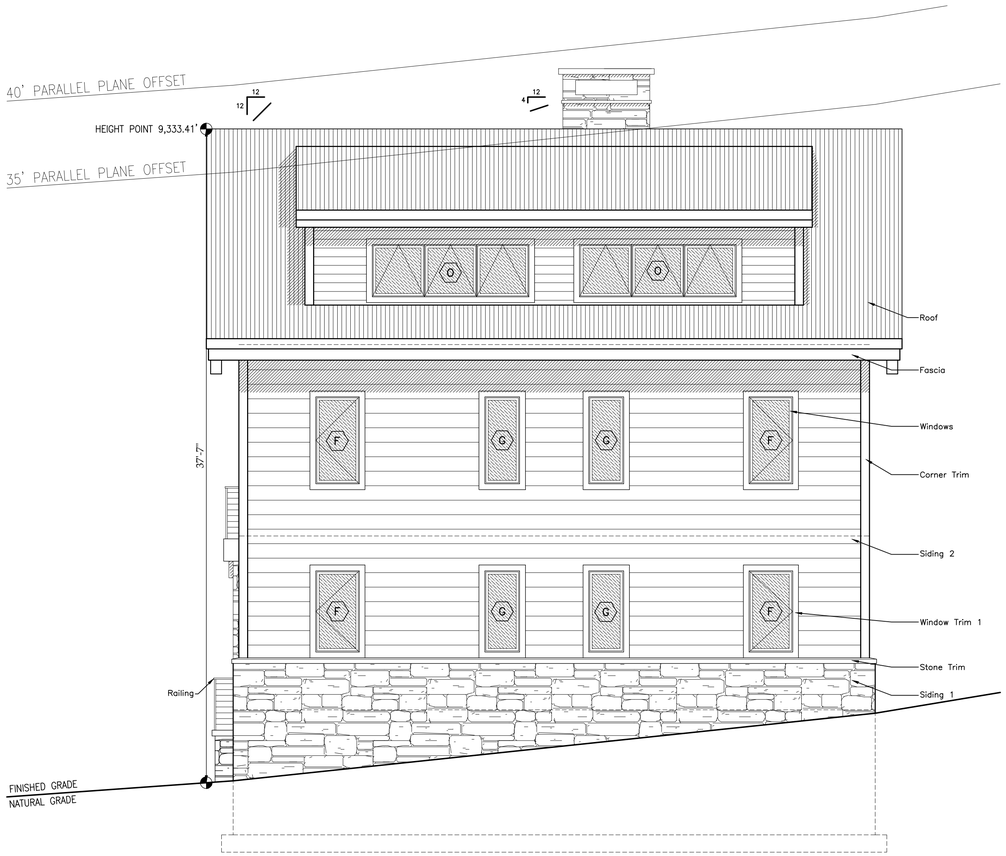
PROJECT FILE NUMBER:



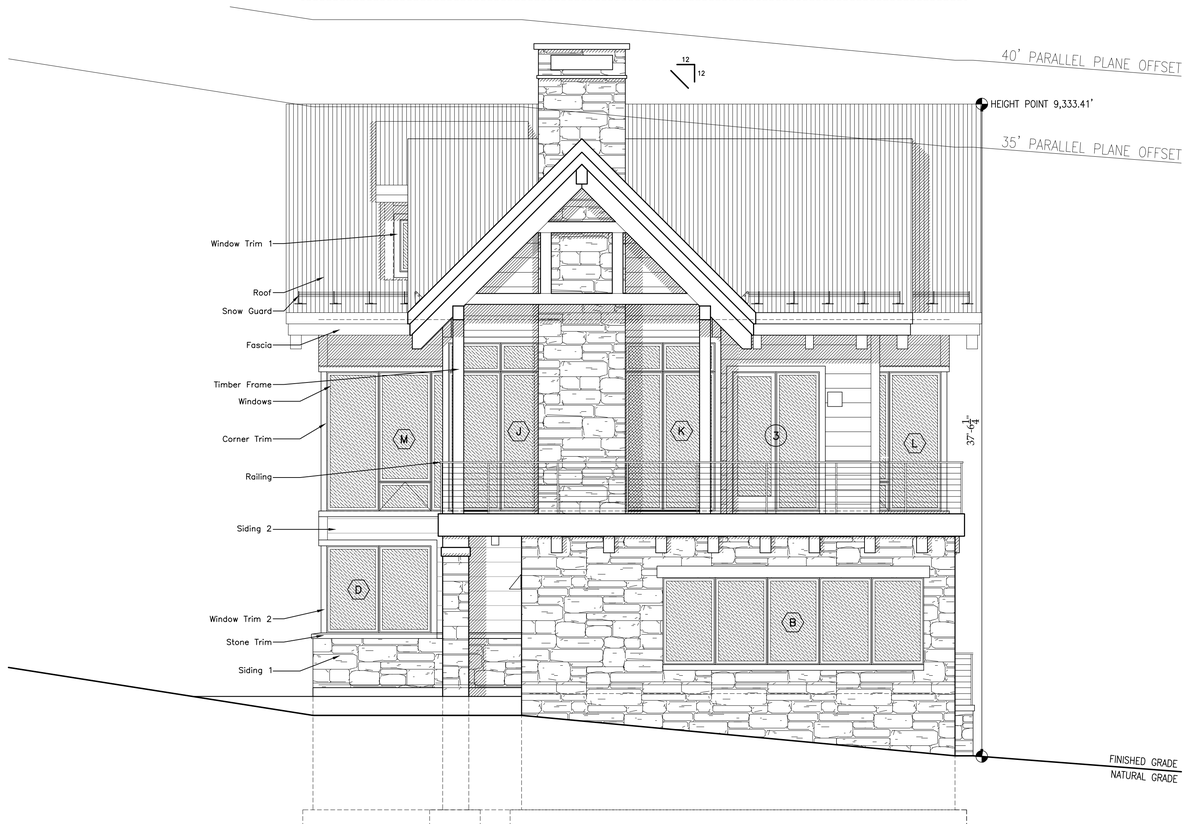


West Elevation

1 / A5

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS SCHEDULE	
LABEL	MATERIAL DESCRIPTION
Siding 1	Telluride Gold – "Greystone" Full Stone Veneer – Recess Mortar Joints for Dry-Stack Appearance
Siding 2	Wood Siding – Cedar 2x10 Nominal w/Wire-brushed Surface and Oil-Penetrating Stain Finish. Install w/1-1/2" Gap and Perma-Chink (or equal) Chinking, Beige Color
Roof	Corrugated Metal Roofing – 18-22 Gauge w/Rusted Patina Finish (Rusted Prior to Installation)
Timber Frame	Timber Frame – CNC-Fabricated Mortise & Tenon Douglas-Fir Heavy Timbers w/Sanded 4 Sides Surface and Oil-Penetrating Stain Finish
Window Trim 1	Cedar 2x4 Nominal w/Wire-Brushed Surface and Oil-Penetrating Stain Finish. Miter Corner Joints and Install on 1x Furring to Achieve Projection Past Wood Siding.
Corner Trim	Cedar 2x6 Nominal w/Wire-Brushed Surface and Oil-Penetrating Stain Finish. Miter Corner Joints and Install on 1x Furring to Achieve Projection Past Wood Siding.
Stone Trim	4" Cast or Cut Stone Water Table, Project 1" Past Stone Veneer and Pitch Top for Drainage
Window Trim 2	4" Cast or Cut Stone Water Table, Project 1" Past Stone Veneer and Pitch Top for Drainage, and 8" Cast or Cut Stone Lintel, Project 1" Past Stone Veneer and Extend 4" Beyond Width of Window Each Side
Windows	Aluminum Clad Windows, Dark Grey Color
Fascia	Layered Cedar Fascia, 2" Nominal Boards with Sanded Surface, Oil Penetrating Stain Finish and Clear Wood Sealer Coat (Matte, not Gloss)
Railing	Steel Guard with Black Non-Reflective Powder Coat Finish and Wood Top
Snow Guard	Drift II Corrugated – Raw Steel. 2-Pipe Fence-Style Snow Guard System. Must be bolted directly to roof support structure, requires (3) 1/2" x 3-1/2" lag bolts.



East Elevation

2 / A5

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL PERCENTAGES	
2,262 SF STONE	41% STONE
855 SF GLASS	15% GLASS
2,409 SF WOOD	44% WOOD
5,526 SF ALL FACADES TOTAL	

MAXIMUM BUILDING HEIGHT	
NG – NATURAL GRADE	
PG – PROPOSED GRADE	
NORTH ELEVATION	37'-5 3/4"
EAST ELEVATION	37'-6 1/4"
SOUTH ELEVATION	34'-3/4"
WEST ELEVATION	37'-7"

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DYER-XAVIER Residence

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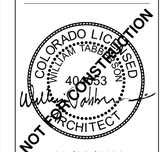


06/08/2022

BUILDING ELEVATIONS

A5

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:

EXTERIOR MATERIALS BOARD

WOOD SIDING
Cedar 2x10 Nominal w/ Wire-brushed Surface and Oil-Penetrating Stain Finish. Install w/1-1/2" Gap and Perma-Chink (or equal) Chinking, Beige Color

TRIM
Cedar 2x4 Nominal Window and 2x6 Nominal Corner Trim. Miter Corner Joints and Install on 1x Furring to Achieve Projection Past Wood Siding.

STONE
Telluride Gold - "Greystone" Full Stone Veneer - Recess Mortar Joints for Dry-Stack Appearance

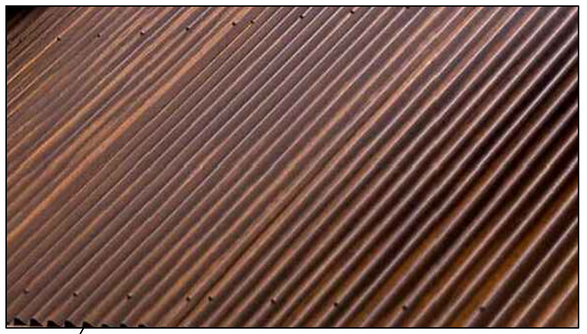
TRIM
4" Cast or Cut Stone Water Table, and 8" Cast or Cut Stone Window Sill & Lintel

TIMBER FRAME
CNC-Fabricated Mortise & Tenon Douglas-Fir Heavy Timbers w/ Sanded 4 Sides Surface and Oil-Penetrating Stain Finish

FASCIA
Layered Cedar Fascia, 2" Nominal Boards with Sanded Surface, Oil Penetrating Stain Finish and Clear Wood Sealer Coat (Matte)

ROOF
Corrugated Metal Roofing - 18-22 Gauge w/Rusted Patina Finish (Rusted Prior to Installation)

SNOW GUARD
(Not shown) Drift II Corrugated - Raw Steel. 2-Pipe Fence-Style Snow Guard System. Must be bolted directly to roof support structure, requires (3) 1/2" x 3-1/2" lag bolts.



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LABEL	MATERIAL DESCRIPTION
Siding 1	Telluride Gold – "Greystone" Full Stone Veneer – Recess Mortar Joints for Dry–Stack Appearance
Siding 2	Wood Siding – Cedar 2x10 Nominal w/Wire–brushed Surface and Oil–Penetrating Stain Finish. Install w/1–1/2" Gap and Perma–Chink (or equal) Chinking, Beige Color
Roof	Corrugated Metal Roofing – 18–22 Gauge w/Rusted Patina Finish (Rusted Prior to Installation)
Timber Frame	Timber Frame – CNC–Fabricated Mortise & Tenon Douglas–Fir Heavy Timbers w/Sanded 4 Sides Surface and Oil–Penetrating Stain Finish
Window Trim 1	Cedar 2x4 Nominal w/Wire–Brushed Surface and Oil–Penetrating Stain Finish. Miter Corner Joints and Install on 1x Furring to Achieve Projection Past Wood Siding.
Corner Trim	Cedar 2x6 Nominal w/Wire–Brushed Surface and Oil–Penetrating Stain Finish. Miter Corner Joints and Install on 1x Furring to Achieve Projection Past Wood Siding.
Stone Trim	4" Cast or Cut Stone Water Table, Project 1" Past Stone Veneer and Pitch Top for Drainage
Window Trim 2	4" Cast or Cut Stone Water Table, Project 1" Past Stone Veneer and Pitch Top for Drainage, and 8" Cast or Cut Stone Lintel, Project 1" Past Stone Veneer and Extend 4" Beyond Width of Window Each Side
Windows	Aluminum Clad Windows, Dark Grey Color
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MATERIALS BOARD

A5.1

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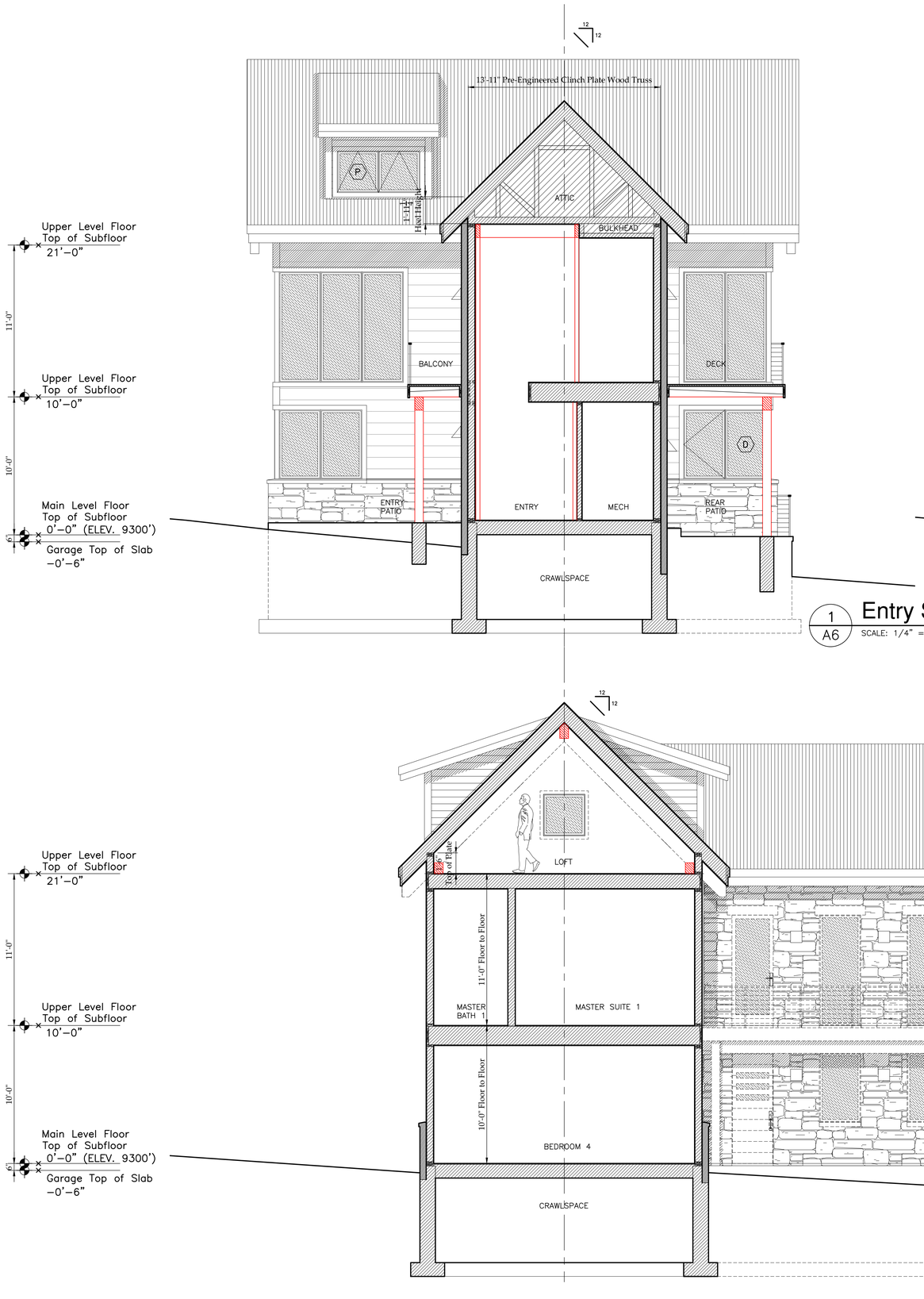
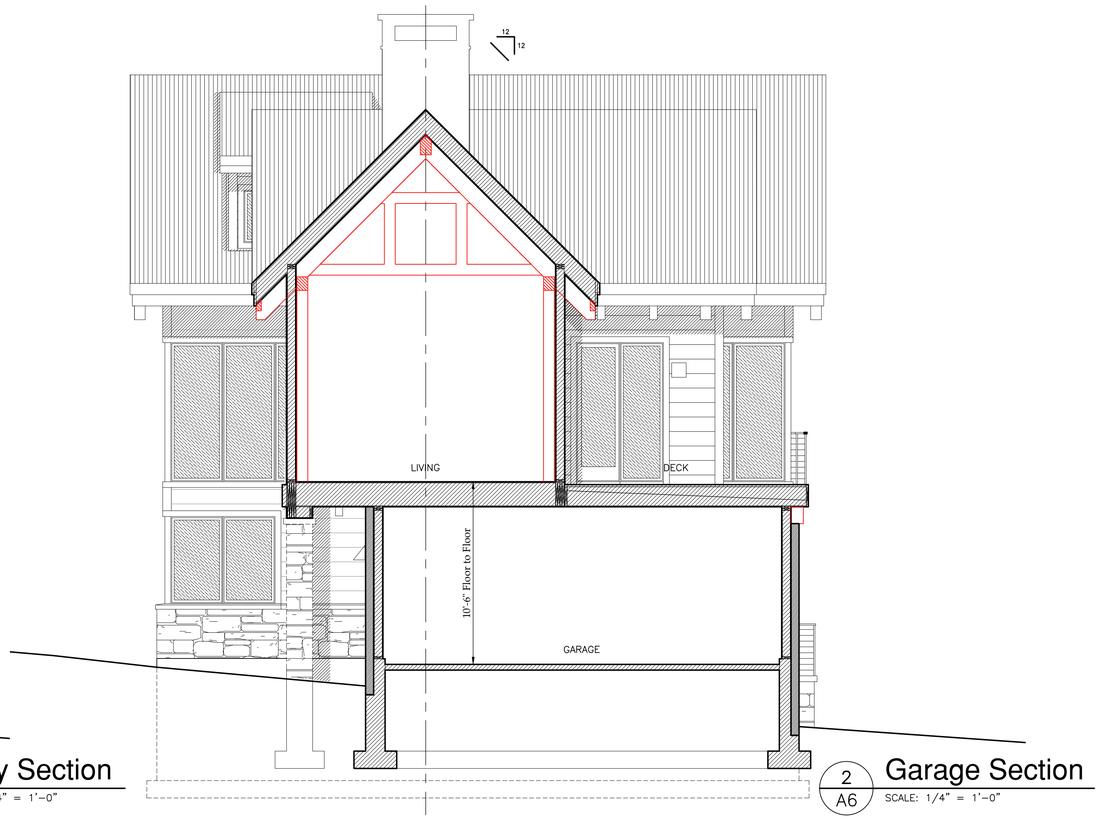


1 A6 **Entry Section**
SCALE: 1/4" = 1'-0"



2 A6 **Garage Section**
SCALE: 1/4" = 1'-0"

3 A6 **Loft Section**
SCALE: 1/4" = 1'-0"

0 4 8 16

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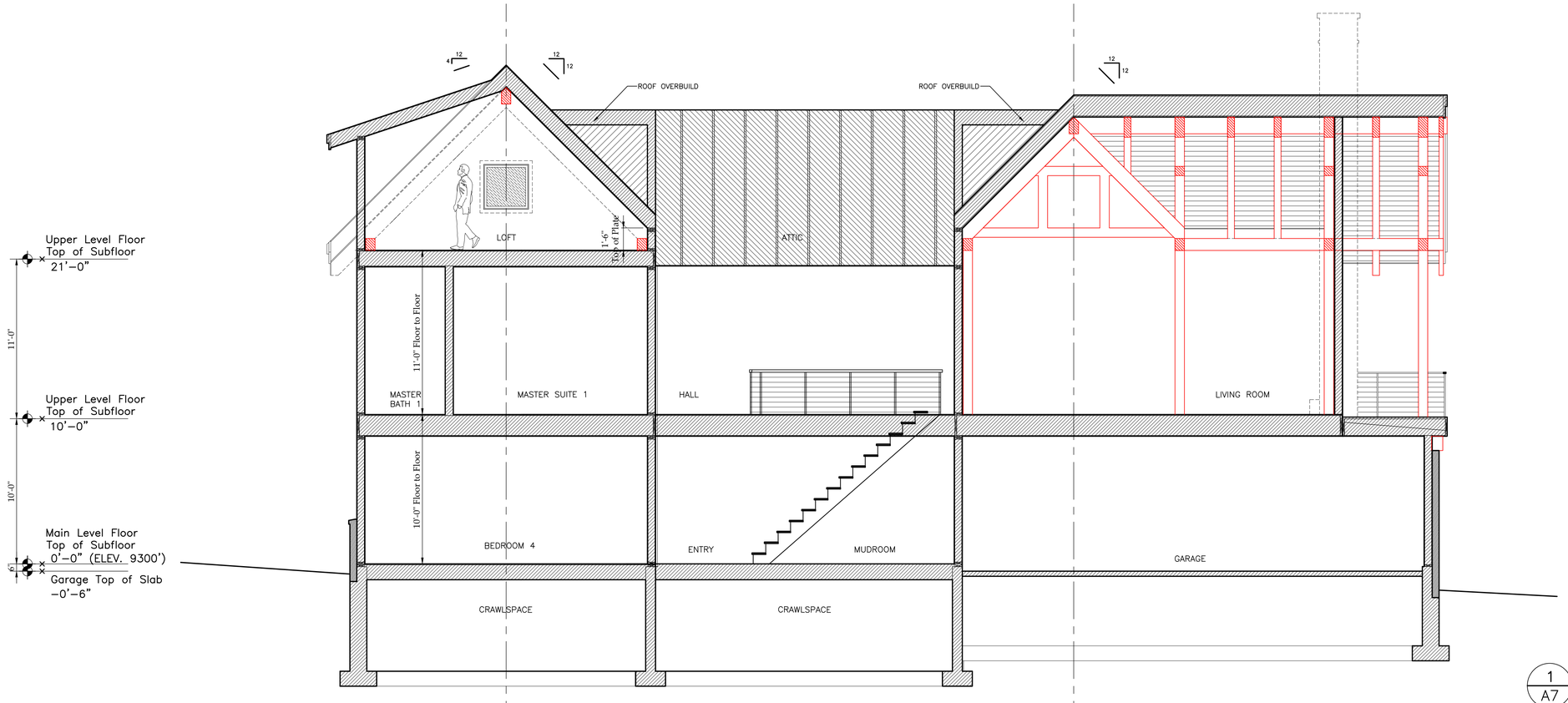
BUILDING SECTIONS

A6

DRAWING NUMBER:

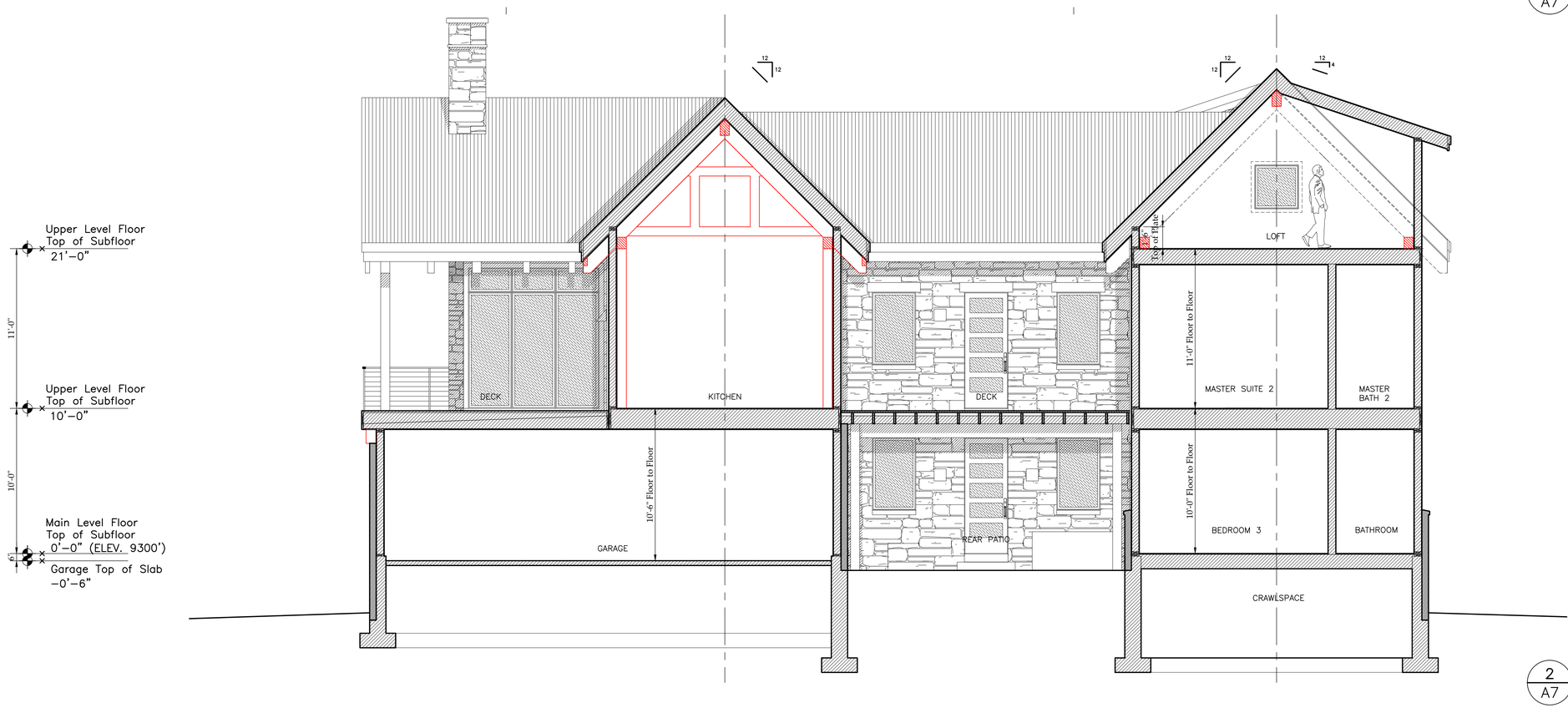
JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:



1 / A7 South Longitudinal Section

SCALE: 1/4" = 1'-0"



2 / A7 North Longitudinal Section

SCALE: 1/4" = 1'-0"

0 4 8 16

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Website: www.tabbersonarchitects.com

DYER-XAVIER Residence

Ryan Dyer & Andrey Xavier
Lot 1 Unit 12, Knoll Estates Dr,
Mountain Village, CO 81435

William Tabberson, AIA
NCARB Certification No. 45418
Indiana Certification No. 19700041

COLORADO LICENSED
WILLIAM TABBERSON
40653
ARCHITECT
NOT FOR CONSTRUCTION

06/08/2022

BUILDING SECTIONS

A7

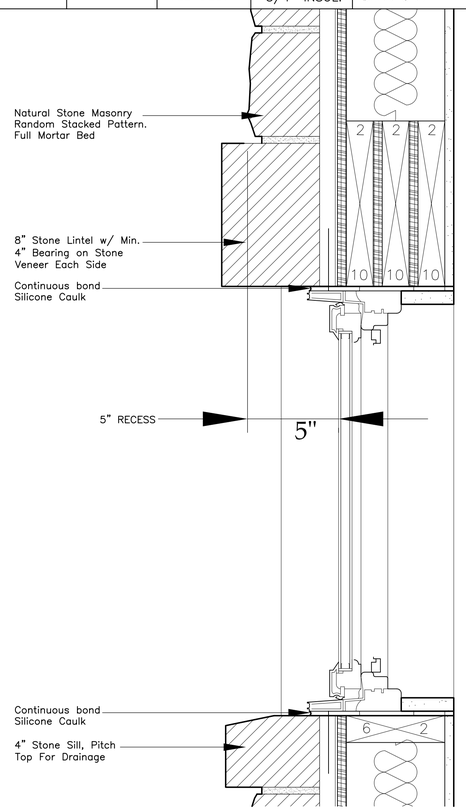
DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:

WINDOW SCHEDULE: CONTRACTOR TO VERIFY ALL UNIT SIZES AND ROUGH OPENINGS

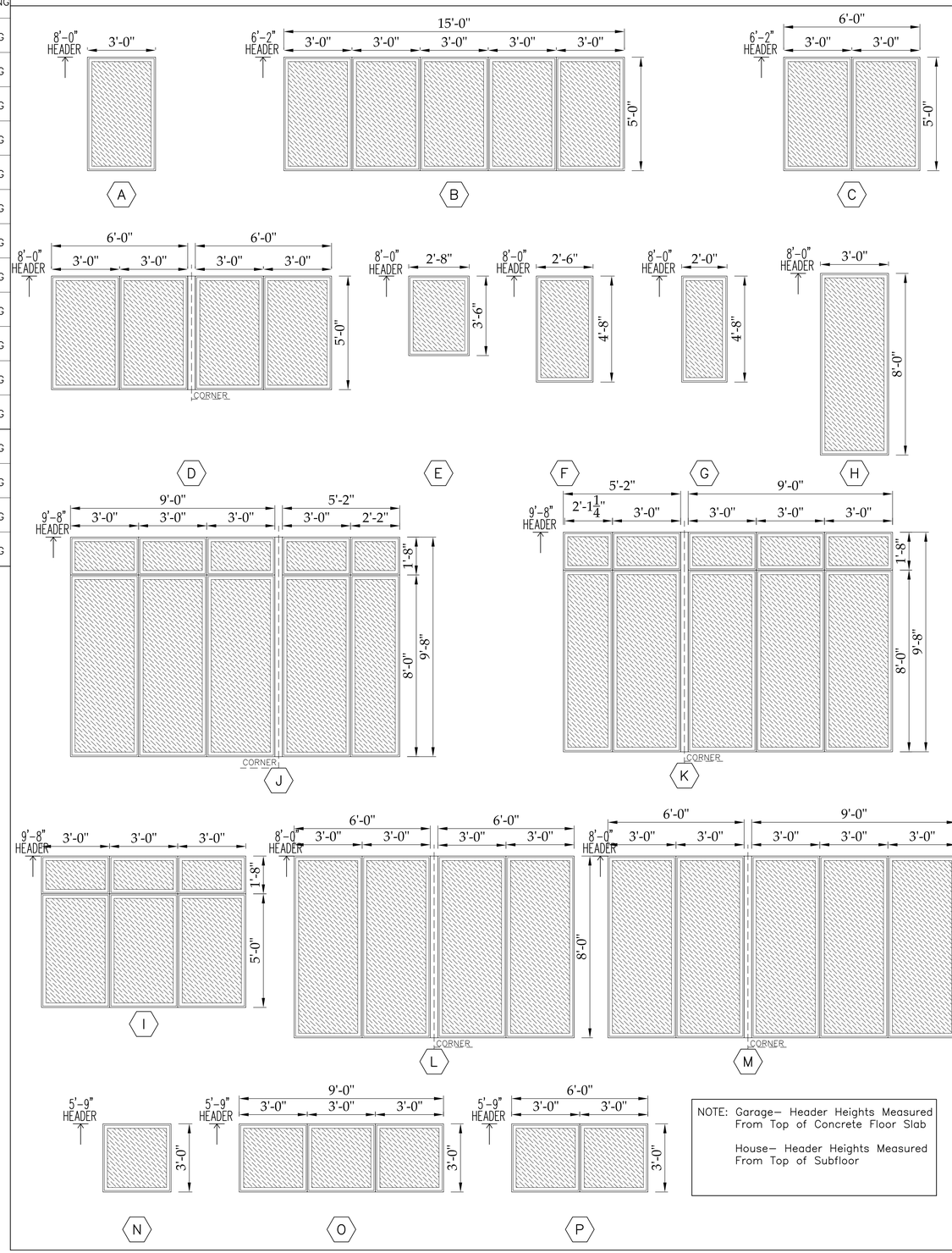
#	MFR. / SERIES	QTY.	UNIT	ROOM	UNIT SIZE	GLASS	EXTERIOR FRAME COLOR	INTERIOR MATERIAL FINISH	EXTENSION JAMB	HARDWARE	ROUGH OPENING
A	VERIFY	6		101,102, 103, 209, 213	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
B	VERIFY	1		104	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
C	VERIFY	1		104	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
D	VERIFY	2		106, 107	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
E	VERIFY	4		108, 106, 218, 215	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
F	VERIFY	4		108, 106, 218, 215	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
G	VERIFY	4		108, 106, 219, 216	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
H	VERIFY	2		212	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
I	VERIFY	2		211, 210	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
J	VERIFY	1		211	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
K	VERIFY	1		211	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
L	VERIFY	1		217	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
M	VERIFY	1		214	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
N	VERIFY	4		211, 311	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
O	VERIFY	2		311	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING
P	VERIFY	1		311	SEE BELOW	IG–LOW E 3/4" INSUL.	ALUMINUM CLAD DARK GRAY	STAIN GRADE	VERIFY	VERIFY	STUD FRAMING



1 SC1 Recessed Stone Window Detail

SCALE: 3" = 1'-0"

WINDOW TYPES *Meets Egress Requirements **Requires Egress Hardware to Meet Egress Requirements



NOTE: Garage– Header Heights Measured From Top of Concrete Floor Slab

House– Header Heights Measured From Top of Subfloor

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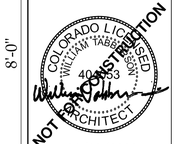


06/08/2022

WINDOW SCHEDULE

SC1

DRAWING NUMBER:

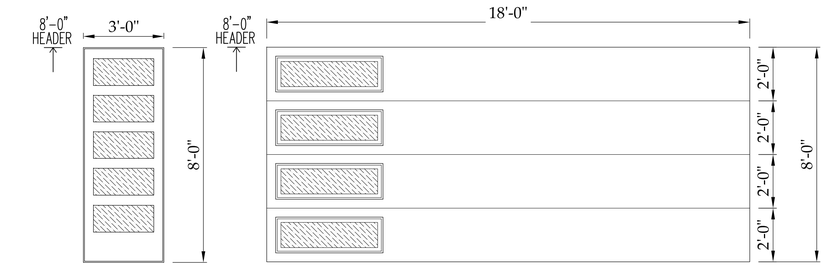
JUNE 8, 2022
DRAWING ISSUE DATE:

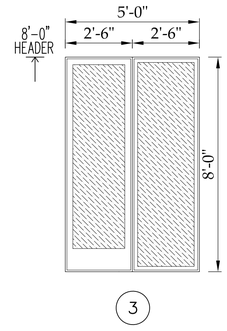
21,829 DYER-XAVIER
PROJECT FILE NUMBER:

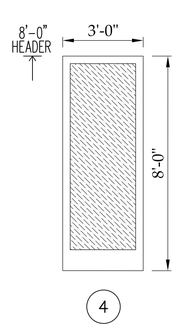
EXTERIOR DOOR SCHEDULE: CONTRACTOR TO VERIFY ALL UNIT SIZES AND ROUGH OPENINGS

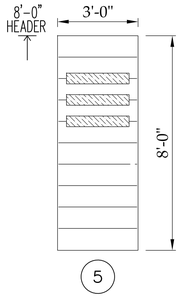
DOOR NO.	QTY.	DOOR SIZE	UNIT	ROOM	FRAME MAT. OR FINISH	DOOR MAT. OR FINISH	EXTENSION JAMB	DOOR HARDWARE	ROUGH OPENING
1	2	SEE BELOW	SOLID DOOR VERIFY MODEL	103, 212	ALUMINUM CLAD DARK GRAY	VERIFY	VERIFY	EM-TEK or Equal	STUD FRAMING
2	1	SEE BELOW	INSULATED OVERHEAD GARAGE DOOR	104	ALUMINUM CLAD DARK GRAY	VERIFY	VERIFY	EM-TEK or Equal	STUD FRAMING
3	2	SEE BELOW	SOLID DOOR FULL VIEW	212, 211	ALUMINUM CLAD DARK GRAY	VERIFY	VERIFY	EM-TEK or Equal	STUD FRAMING
4	1	SEE BELOW	SLIDING PATIO DOOR FULL VIEW	210	ALUMINUM CLAD DARK GRAY	VERIFY	VERIFY	EM-TEK or Equal	STUD FRAMING
5	1	SEE BELOW	SOLID DOOR VERIFY MODEL	101	ALUMINUM CLAD DARK GRAY	VERIFY	VERIFY	EM-TEK or Equal	STUD FRAMING

DOOR TYPES









NOTE: Garage– Header Heights Measured From Top of Concrete Floor Slab

House– Header Heights Measured From Top of Subfloor

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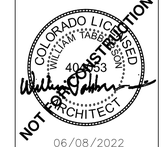


06/08/2022

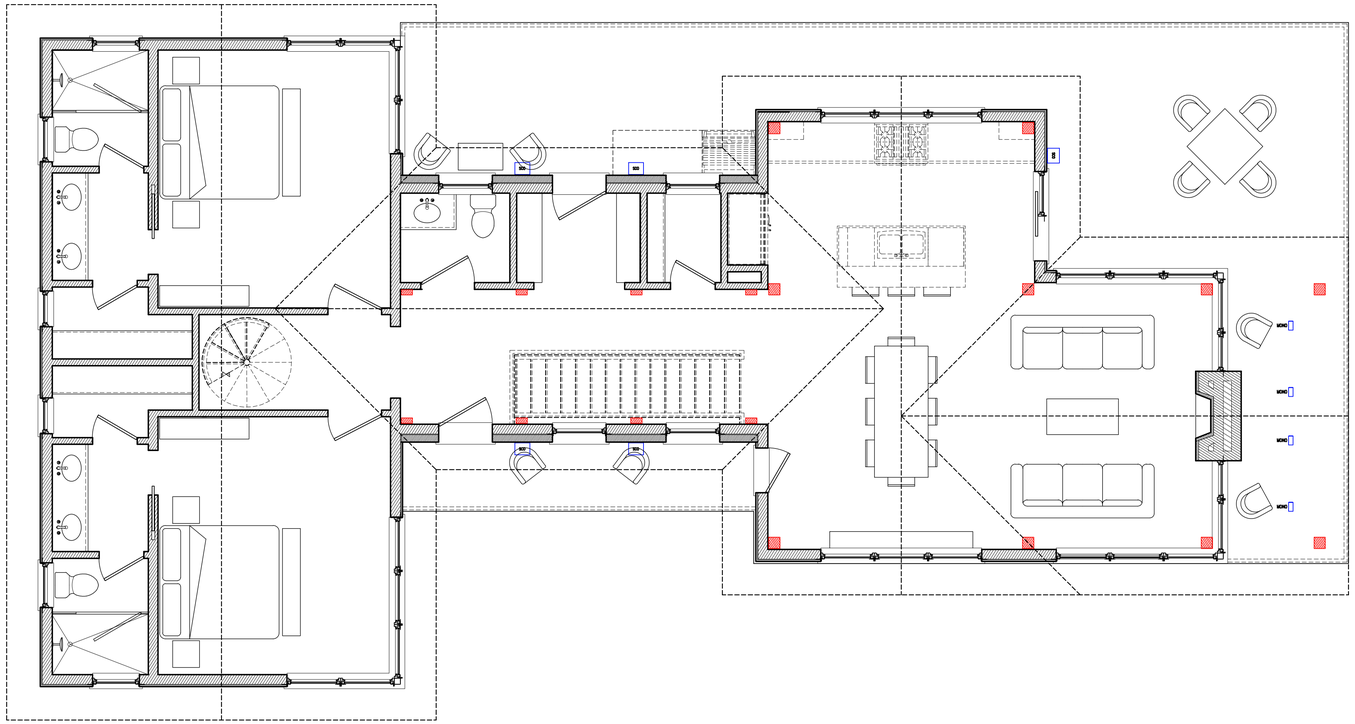
DOOR SCHEDULE

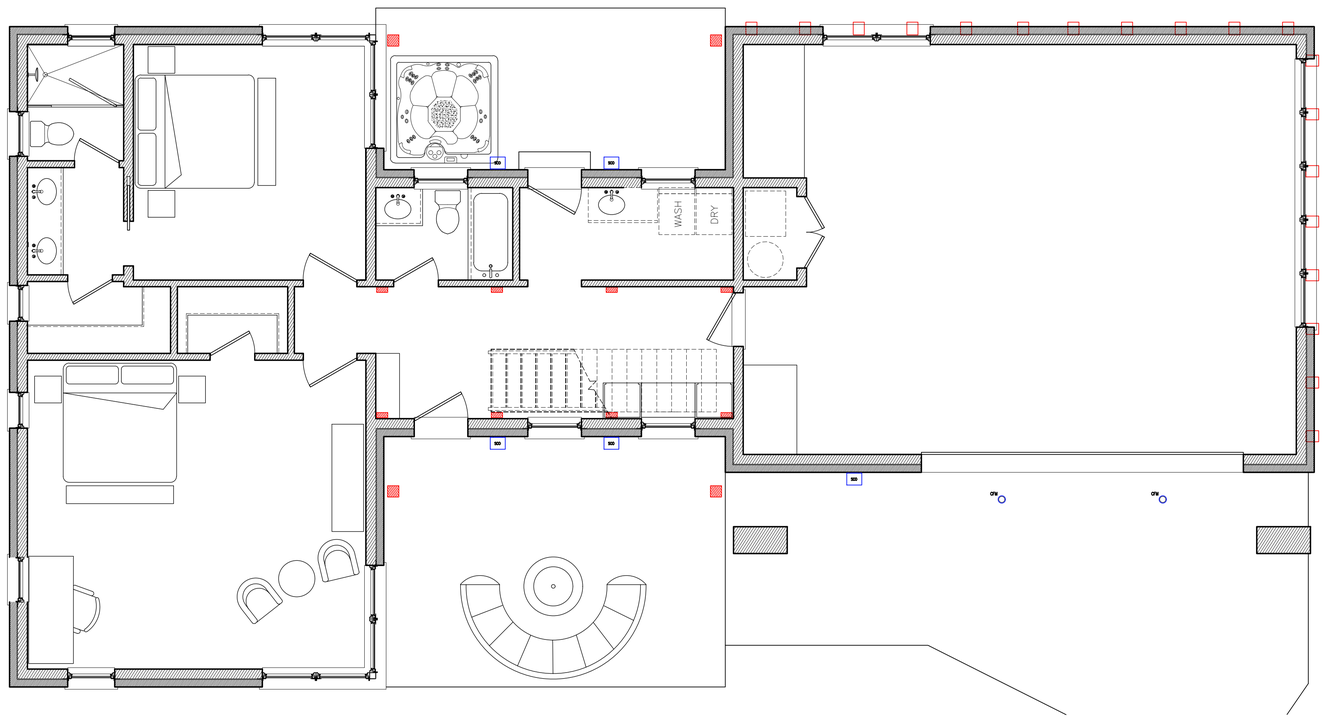
SC2

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:





EXTERIOR LIGHTING SCHEDULE							
FIXTURE TYPE	SYMBOL	FIXTURE HEIGHT	SPECIFICATION	DIMENSIONS	ILLUMINATION TYPE	TEMPERATURE	QUANTITY
CEILING FLUSH MOUNT	CFM	9'–9" ABOVE FLOOR	STUDIO M – LIGHTRAY LED SM866104ABZ	5" L x 5" W x 6.25" H	LED	2,700 KELVIN	2
LED MONOPOINT SPOT LIGHTING	MONO	15'–6" ABOVE FLOOR	LIGHTHEADED C3SAR 3" ROUND ADJUSTABLE SURFACE PIPE STANDARD LED	3" L x 3" W x 6.15" H	LED	2,700 KELVIN	4
SCONCE	SCO	7'–0" ABOVE FLOOR	ULTRALIGHTS FORTIS LED 18399CS	8.5" L x 10" W x 10" H	LED	2,700 KELVIN	10

DYER-XAVIER Residence

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COLORADO LICENSED WILLIAM TABBERSON 40453 ARCHITECT
NOT FOR CONSTRUCTION

06/08/2022

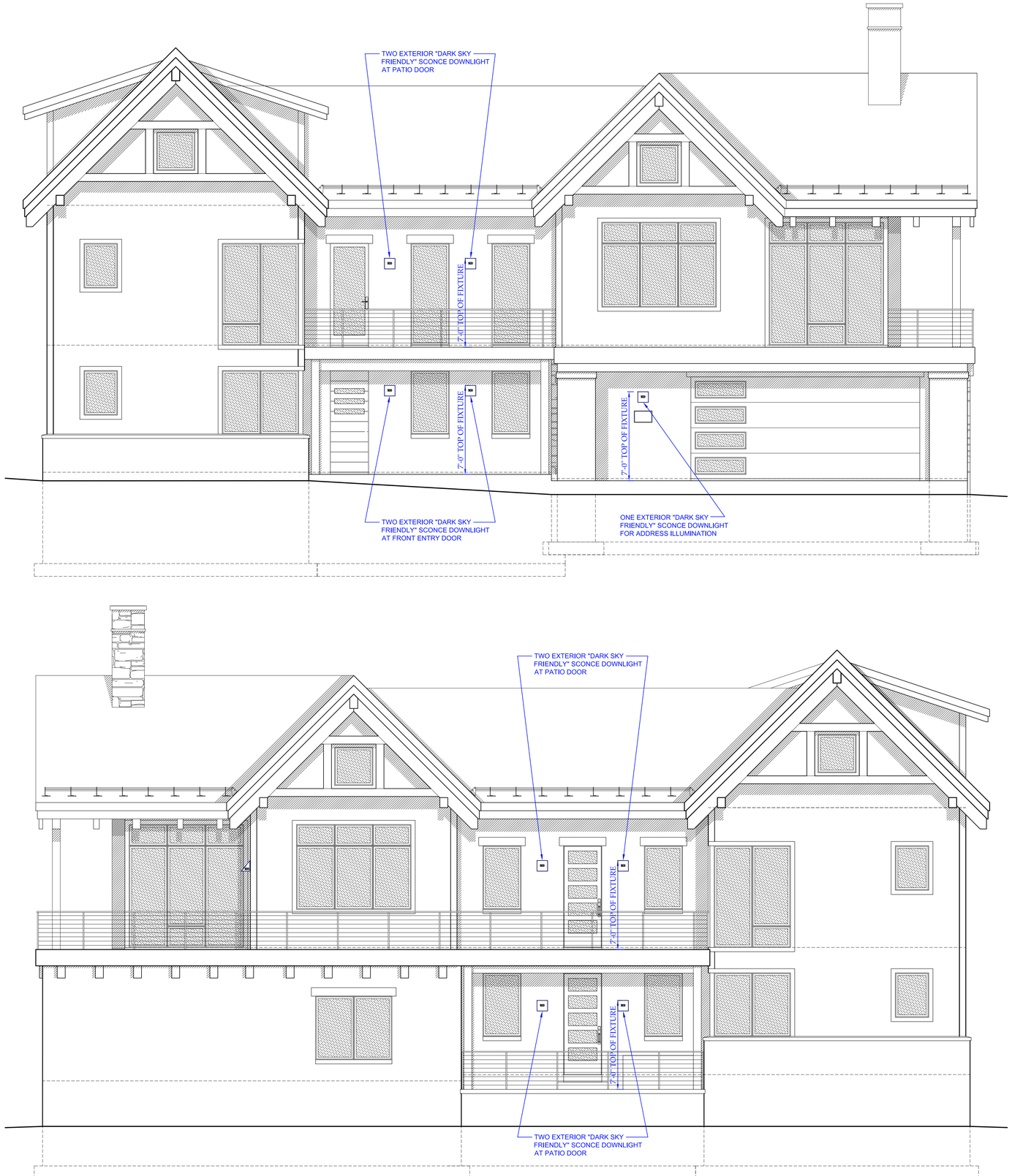
EXTERIOR LIGHTING PLANS

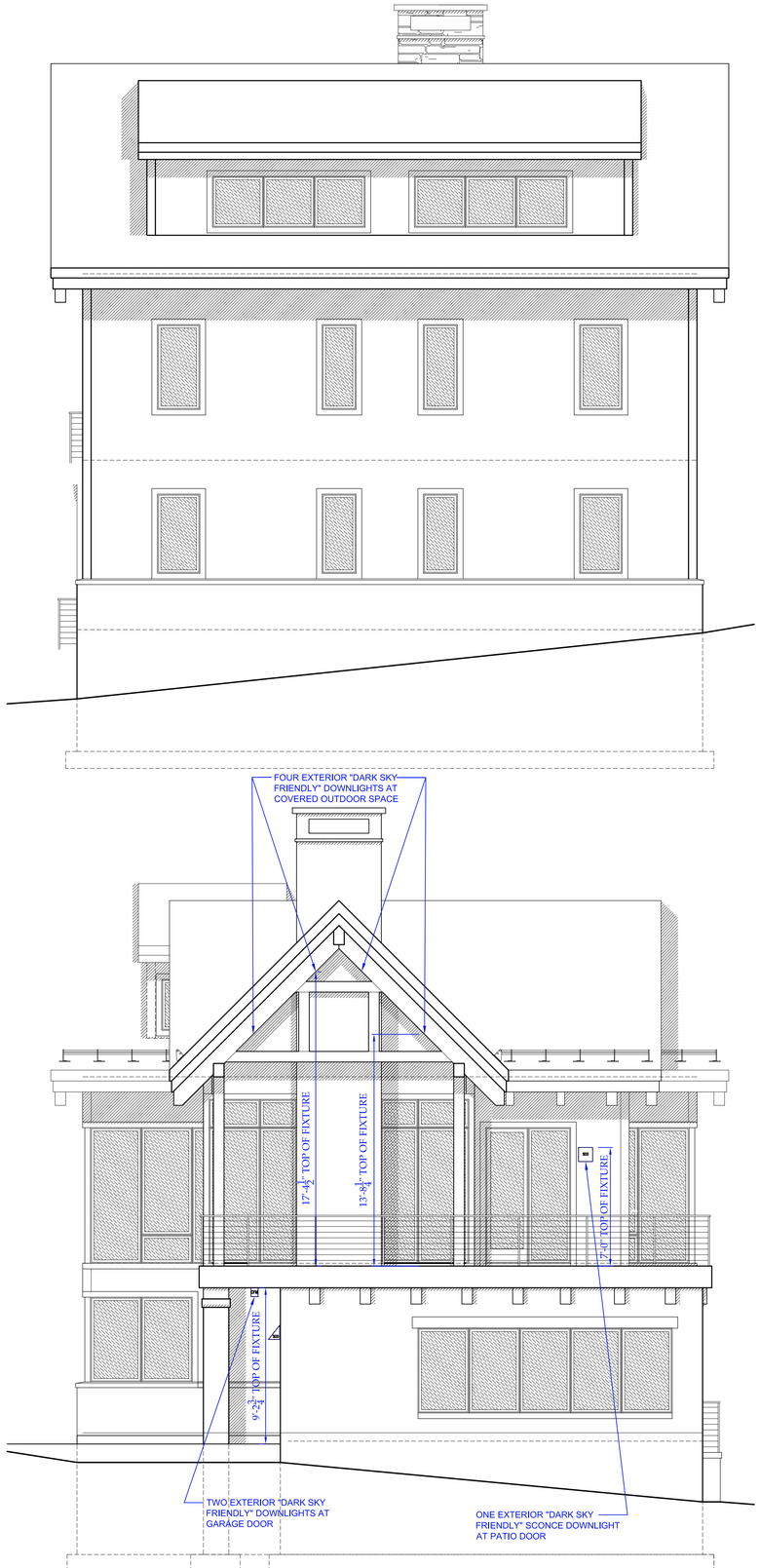
E1

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:





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COLORADO LICENSED ARCHITECT
WILLIAM TABBERSON
40353
NOT FOR CONSTRUCTION

06/08/2022

EXTERIOR LIGHTING ELEVATIONS

E2

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

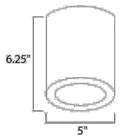
21,829 DYER-XAVIER
PROJECT FILE NUMBER:

Lightray LED | SM866104ABZ

Job Name:_____ Job Type:_____ Quantity:_____ Comments:_____

PRODUCT DESCRIPTION

Indirect exterior lighting not only provides illumination where you want but it also highlights the building structure for a beautiful architectural effect. Our collection of up and down lighting fixtures are available in both Architectural Bronze and Brushed Aluminum.



MEASUREMENTS

DIMENSION : 5" L x 5" W x 6.25" H
HANGING WEIGHT : 3.03 lb

LAMPING

INPUT VOLTAGE : 120V
LUMENS : 1,050 Rated (900 Del.)
BULB : 15W LED LED , 15W Total
BULB INCLUDED : (Integrated)
DIMMABLE : ELV or Triac CL
CRI : 90 CRI
COLOR_TEMP : 3000K

FINISHES OPTION

- Architectural Bronze
- Brushed Aluminum
- White

MATERIAL

Aluminum + Glass

RATINGS

cETLus
Damp Location
For Outdoor
DARKSKY

ADDITIONAL

RATED LIFE 35000 Hours
OPERATING TEMPERATURE:
-20°C (-4°F), 40°C (104°F)

PHOTOMETIC: Report Found Online

Always consult a qualified electrician before installing any lighting product.

STUDIO M

Modifications or Customizations: Please email orders@studiomlighting.com
Sample Request: Please email orders@studiomlighting.com with subject line "Sample Order, Project name / Specifier/Designer"
All samples are subject to Studio M approval and must show proof of project and/or explanation.

Job Name:	Job Type:
Quantity:	Comments:

StudioMlighting.com ~ 1.626.956.4209

1 E3 Exterior Lighting Cut-Sheet: Ceiling Flush Mount

UltraLights

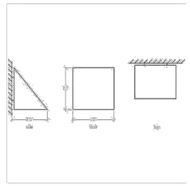
Fortís 18399CS

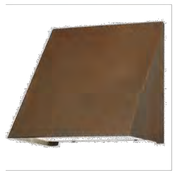
project name:	
project location:	
specifier name:	
specifier location:	
quantity:	
fixture type:	

modifications:

Base Specs
10"h x 10"w x 8.5"d

Notes
Marine grade primer available — **±$ Inquire**.





UltraLights

Fortís 18399CS

standard finish:
CS - Coretn Steel

lamping:
02: 16.8w Integrated LED, 2362 Initial Lumens, 3000K, 90 CRI, 120V, Standard Phase Dimming, UL/cUL Wet

04: 16.8w Integrated LED, 2362 Initial Lumens, 3000K, 90 CRI, 120V-277V, 0-10V Dimming, UL/cUL Dry/Damp

standard diffuser:
OA - Opal Acrylic

2 E3 Exterior Lighting Cut-Sheet: Sconce

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LED PIPE™
C3SAR | Standard LED

3" Round Adjustable Surface

Our LED Pipe™ family of cylinders provide architects and lighting designers with almost limitless design possibilities. Whether you need to light a space with inaccessible ceilings, disappear among the pipes and ducts of an open-ceiling design, focus attention on a specific architectural detail or make a dramatic statement, you can solve almost any lighting problem with a LED Pipe™.

FEATURES

- Damp location listed
- Warm dimming available
- Ø 2 5/8" [67mm] Aperture
- 65° Tilt from Nadir
- 350° Rotation
- Single media ready
- Clear lens standard
- Field interchangeable beam spreads
- Extruded aluminum cylinder body
- Machine aluminum components
- Powder coated finishes

LISTINGS

Warm Dimming

FINISHES

- Anthracite Metallic
- Espresso Metallic
- Glimmer Gold
- Ink Black Metallic
- Nano White
- Slate Grey Metallic
- Terra Metallic

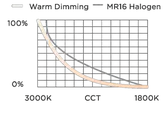
COLOR TEMPERATURES

- 3000K-1800K (Warm Dim)
- 2700K
- 3000K
- 3500K
- 4000K

BEAM SPREADS

20° 28° 40° 55°

WARM DIMMING METRICS



PERFORMANCE SUMMARY

Color Accuracy (SDCM)	<3	
L70 Estimate (h)	50,000	
Color Rendering (CRI)	80	90
Lumen Series	3	
Source Lumens	1400	1000
LED Wattage	11	11
Lumen Series	5	
Source Lumens	1800	1400
LED Wattage	16	16

PERFORMANCE SUMMARY—WARM DIMMING

Color Rendering (CRI)	95
Lumen Series	3
Source Lumens	1000
LED Wattage	12

C3SAR-3in-Round-Adjustable-Surface-PIPE-Standard-LED-Specs p. 1/5
Product specifications and dimensions are subject to change without notice

info@lightheadedlighting.com **P.** 604.464.5644 **T.** 1.800.464.9544

LIGHTHEADED™

LED PIPE™
C3SAR | Standard LED

3" Round Adjustable Surface—Integral Driver

TAG TYPE

ORDER FORM

1	2	3	4	5	6	7	8	9	10	11	12

1. TRIM
C3SA 3" Adjustable Surface

2. APERTURE
R Round

3. LAYOUT
6 6" Cylinder Length

4. FINISH
21 Nano White
23 Anthracite Metallic
24 Ink Black Metallic
25 Slate Grey Metallic
26 Espresso Metallic
27 Terra Metallic
28 Glimmer Gold
CC Custom Color

5. REFLECTOR FINISH
21 Nano White
23 Anthracite Metallic
24 Ink Black Metallic
25 Slate Grey Metallic
26 Espresso Metallic
27 Terra Metallic
28 Glimmer Gold
CC Custom Color

6. MODULE & BEAM SPREAD [1]
B20 20° Beam
B28 28° Beam
B40 40° Beam
B55 55° Beam

7. COLOR TEMPERATURE
27 2700K
30 3000K
35 3500K
40 4000K
3018 3000-1800K (Warm Dim) [2]

8. CRI, LUMENS
8014 80 CRI, 1400lm,
9010 90 CRI, 1000lm
9510 95 CRI, 1000lm (Warm Dim) [2]
8018 80 CRI, 1800lm
9014 90 CRI, 1400lm

9. DIMMING
LE Lutron Phase (1%) [3, 4]
LH Lutron EcoSystem (1%) [4]
P 0-10V Dimming (10%)
P1 0-10V Dimming (1%) [4]
S ELV Dimming (10%) [3]

10. VOLTAGE
120 120V
277 277V

11. MOUNTING
3C 3" Ceiling Canopy [5]
5C 5" Ceiling Canopy

12. OPTIONAL MEDIA (MAXIMUM 1)
FR Frosted
HC Honeycomb
PF Perimeter Frosted
SL Softening
SPDL Spread

NOTES
1 Field interchangeable beam spread options require consultation with Lightheaded personnel.
2 3018 warm dim color temperature is only available in 9510 CRI, Lumens.
3 LE & S dimming are only available in 120V.
4 LE, LH & P1 dimming require the ceiling canopy to be 6" in diameter & 3" deep. Refer to dimensional data.
5 3C ceiling canopy requires C3-R-3CMP junction box mounting plate (can be provided separately). Must be installed with octagonal junction box prior to ceiling installation. Octagonal junction box not included.

C3SAR-3in-Round-Adjustable-Surface-PIPE-Standard-LED-Specs p. 2/5
Product specifications and dimensions are subject to change without notice

info@lightheadedlighting.com **P.** 604.464.5644 **T.** 1.800.464.9544

LIGHTHEADED™

LED PIPE™
C3SAR | Standard LED

3" Round Adjustable Surface—Remodel Driver

TAG TYPE

ORDER FORM

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15

1. TRIM
C3SA 3" Adjustable Surface

2. APERTURE
R Round

3. LAYOUT
6 6"

4. FINISH
21 Nano White
23 Anthracite Metallic
24 Ink Black Metallic
25 Slate Grey Metallic
26 Espresso Metallic
27 Terra Metallic
28 Glimmer Gold
CC Custom Color

5. REFLECTOR FINISH
21 Nano White
23 Anthracite Metallic
24 Ink Black Metallic
25 Slate Grey Metallic
26 Espresso Metallic
27 Terra Metallic
28 Glimmer Gold
CC Custom Color

6. MODULE & BEAM SPREAD [1]
B20 20° Beam
B28 28° Beam
B40 40° Beam
B55 55° Beam

7. COLOR TEMPERATURE
27 2700K
30 3000K
35 3500K
40 4000K
3018 3000-1800K (Warm Dim) [2]

8. CRI, LUMENS
8014 80 CRI, 1400lm,
9010 90 CRI, 1000lm
9510 95 CRI, 1000lm (Warm Dim) [2]
8018 80 CRI, 1800lm
9014 90 CRI, 1400lm

9. DIMMING
RM Remodel Driver [3]

10. MOUNTING
3C 3" Ceiling Canopy

11. OPTIONAL MEDIA (MAXIMUM 1)
FR Frosted
HC Honeycomb
PF Perimeter Frosted
SL Softening
SPDL Spread

NOTES
1 Field interchangeable beam spread options require consultation with Lightheaded personnel.
2 3018 warm dim color temperature is only available in 9510 CRI, Lumens.
3 RM Remodel Driver is only compatible with DRB-C3 driver, sold separately.

12. REMODEL DRIVER
DRB-C3

13. SERIES
3 1400 Lumens Max
5 1800 Lumens Max

14. DIMMING
LH Lutron EcoSystem (1%)
P 0-10V Dimming (10%)
S Phase Dimming (10%) [4]

15. VOLTAGE
120 120V
277 277V

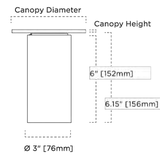
NOTES
4 S dimming is only available in 120 voltage.

C3SAR-3in-Round-Adjustable-Surface-PIPE-Standard-LED-Specs p. 3/5
Product specifications and dimensions are subject to change without notice

info@lightheadedlighting.com **P.** 604.464.5644 **T.** 1.800.464.9544

LIGHTHEADED™

5" CEILING CANOPY



	Dimming				
	P	S	LE	LH	P1
Canopy Width	Ø 4.75" Ø 121mm		Ø 6" Ø 152mm		
Canopy Height	0.25" 7mm		3" 76mm		

INTEGRAL DRIVER—CORD & STEM MOUNT

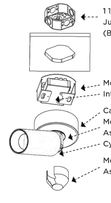
FINISHED INSTALL (LE, LH, P1)

Note: Junction box not included.

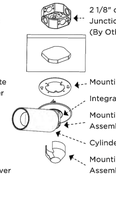
FINISHED INSTALL (P, S)

Note: Junction box not included. *Consult factory for 1 1/2" deep Junction Box option.

CANOPY ASSEMBLY (LE, LH, P1 DIMMING)



CANOPY ASSEMBLY (P, S DIMMING)



CERTIFICATIONS

C3SAR-3in-Round-Adjustable-Surface-PIPE-Standard-LED-Specs p. 5/5
Product specifications and dimensions are subject to change without notice

info@lightheadedlighting.com **P.** 604.464.5644 **T.** 1.800.464.9544

LIGHTHEADED™

2 E3 Exterior Lighting Cut-Sheet: LED Monopoint Spot Lighting

William Tabberson, AIA
NCARB Certification No. 49418
Indiana Certification No. 19700041

COLORADO LICENSED ARCHITECT WILLIAM TABBERSON 49418 NOT FOR CONSTRUCTION

06/08/2022

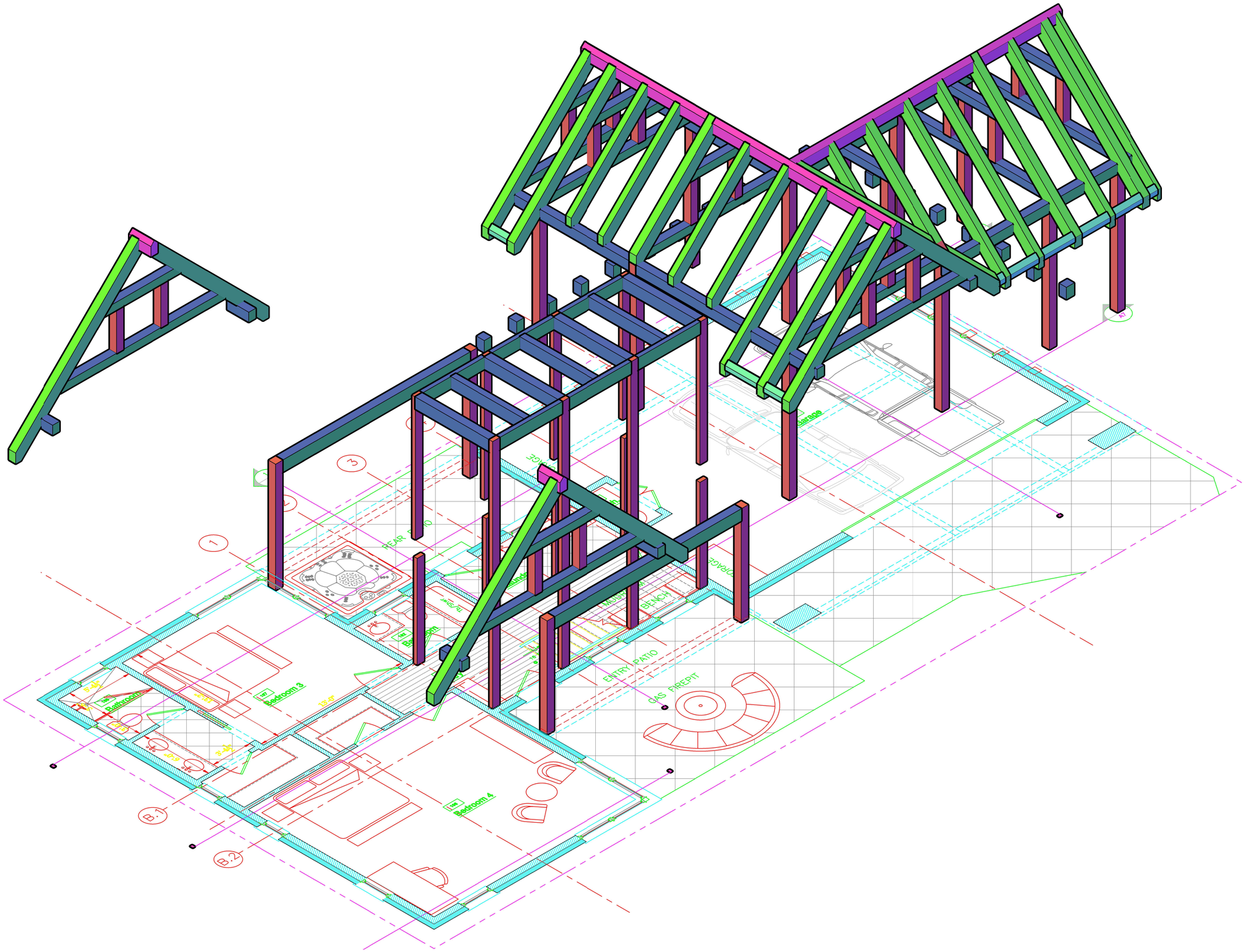
EXTERIOR LIGHTING SELECTIONS

E3

DRAWING NUMBER:

JUNE 8, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:



1 / TF1 3D Timber Model

SCALE: N.T.S.

TABBERSON architects
1937 W Royale Dr,
Muncie, Indiana 47304-3229
Phone: 317.371.3692
Email: billtabberson@tabbersonarchitects.com
Website: www.tabbersonarchitects.com

DYER-XAVIER Residence

Ryan Dyer & Andrey Xavier
Lot 1 Unit 12, Knoll Estates Dr,
Mountain Village, CO 81435

William Tabberson, AIA
NCARB Certification No. 48418
Indiana Certification No. 19700041

COLORADO LICENSED WILLIAM TABBERSON 40653 ARCHITECT
NOT FOR CONSTRUCTION

06/08/2022

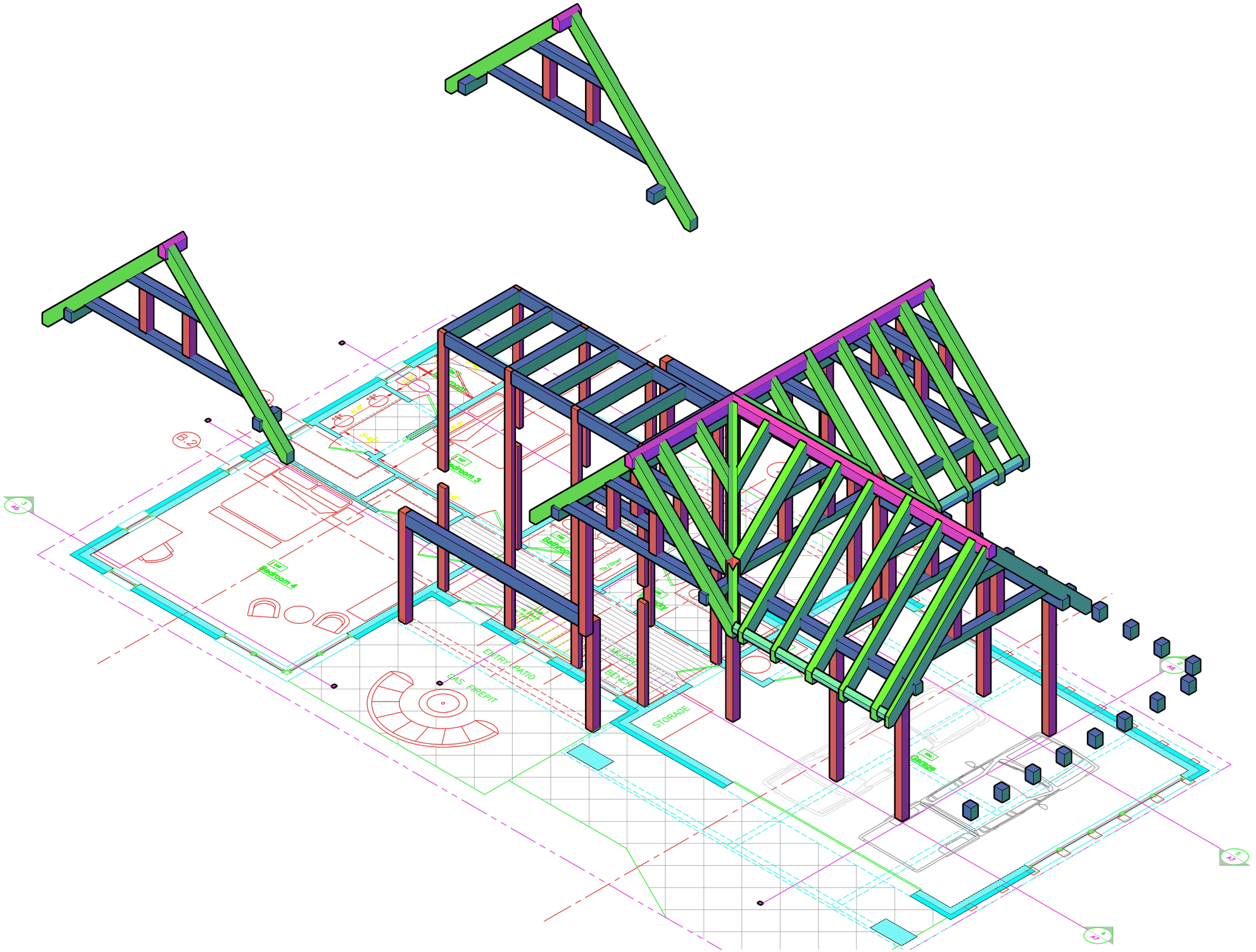
3D TIMBER FRAME MODEL

TF1

DRAWING NUMBER:

JUNE 7, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:



1 / TF2 3D Timber Model

SCALE: N.T.S.

TABBERSON architects
1937 W Royale Dr,
Muncie, Indiana 47304-3229
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DYER-XAVIER Residence

Ryan Dyer & Andrey Xavier
Lot 1 Unit 12, Knoll Estates Dr,
Mountain Village, CO 81435

William Tabberson, AIA
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Indiana Certification No. 19700041

COLORADO LICENSED ARCHITECT
WILLIAM TABBERSON
40863
NOT FOR CONSTRUCTION

06/08/2022

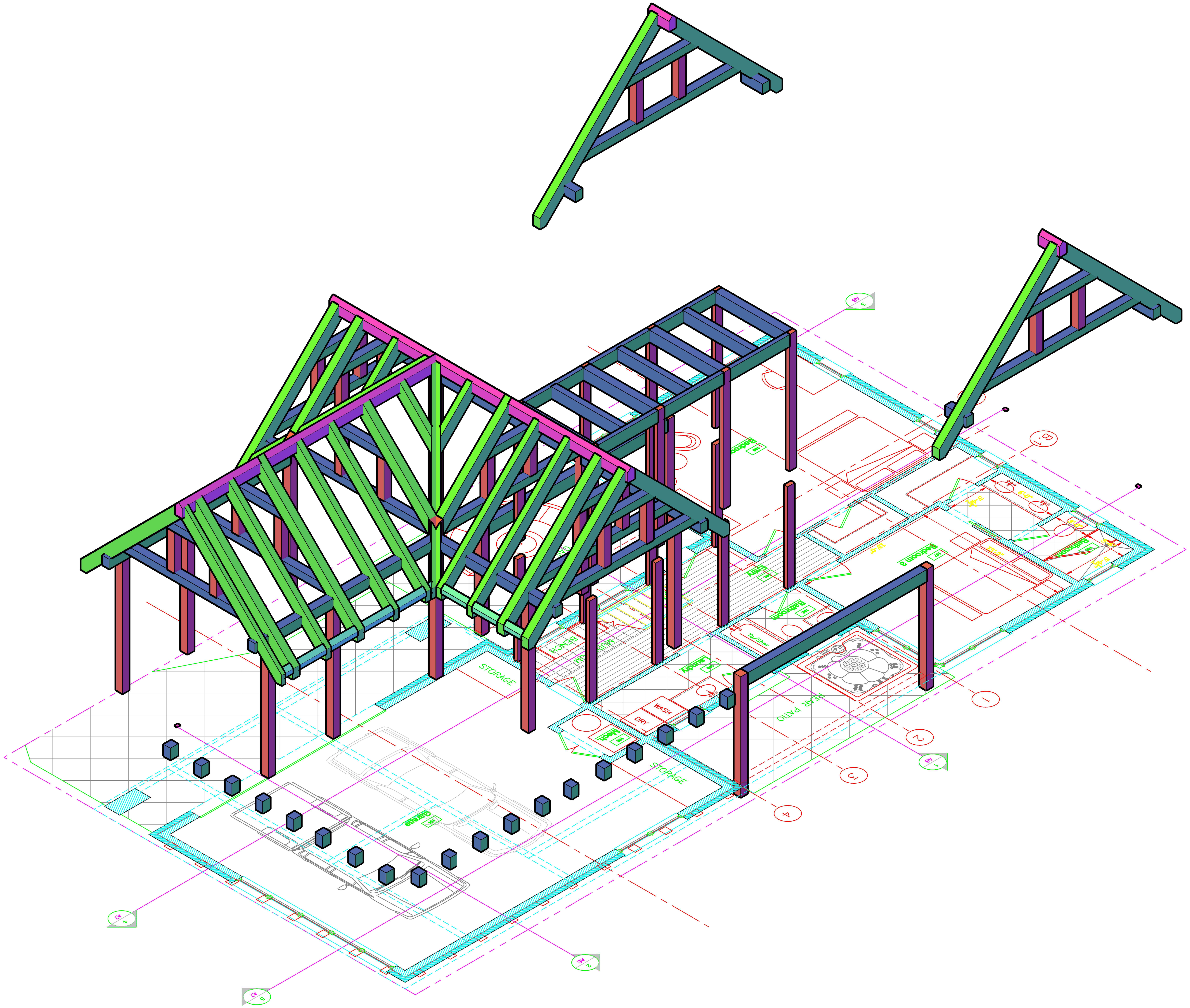
3D TIMBER FRAME MODEL

TF2

DRAWING NUMBER:

JUNE 7, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:



1 TF3 **3D Timber Model**

SCALE: N.T.S.

TABBERSON architects
1937 W Royale Dr,
Muncie, Indiana 47304-3229
Phone: 317.371.3692
Email: billtabberson@tabbersonarchitects.com
Website: www.tabbersonarchitects.com

DYER-XAVIER Residence

Ryan Dyer & Andrey Xavier
Lot 1 Unit 12, Knoll Estates Dr,
Mountain Village, CO 81435

William Tabberson, AIA
NCARB Certification No. 48418
Indiana Certification No. 19700041

COLORADO LICENSED ARCHITECT — WILLIAM TABBERSON — 404053

NOT FOR CONSTRUCTION

06/08/2022

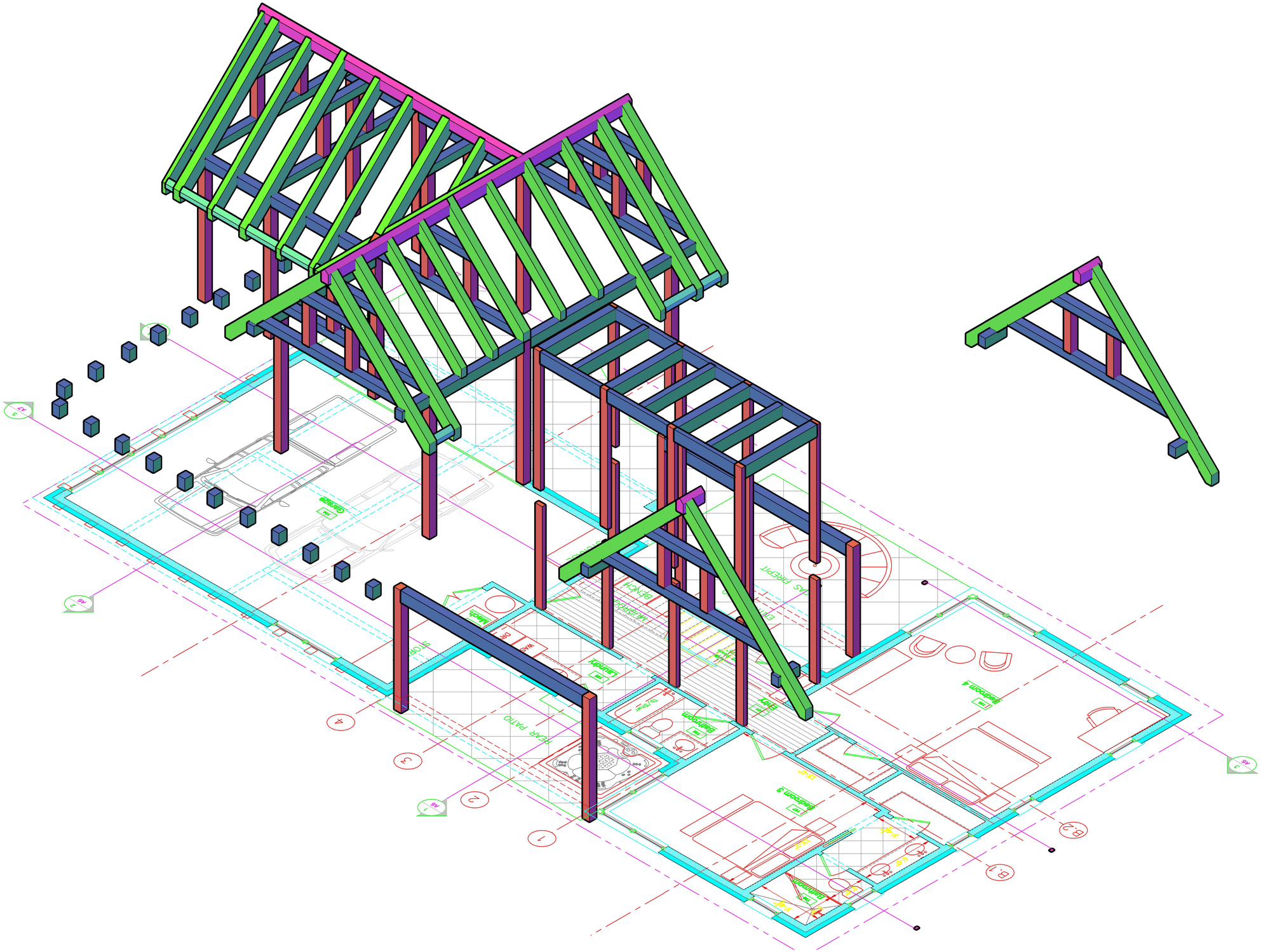
3D TIMBER FRAME MODEL

TF3

DRAWING NUMBER:

JUNE 7, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:



1 TF4 3D Timber Model

SCALE: N.T.S.

TABBERSON architects
1937 W Royale Dr,
Muncie, Indiana 47304-3229
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DYER-XAVIER Residence

Ryan Dyer & Andrey Xavier
Lot 1 Unit 12, Knoll Estates Dr,
Mountain Village, CO 81435

William Tabberson, AIA
NCARB Certification No. 68418
Indiana Certification No. 19700041

COLORADO LICENSED WILLIAM TABBERSON 40653 ARCHITECT
NOT FOR CONSTRUCTION

06/08/2022

3D TIMBER FRAME MODEL

TF4

DRAWING NUMBER:

JUNE 7, 2022
DRAWING ISSUE DATE:

21.829 DYER-XAVIER
PROJECT FILE NUMBER:

Referral Agency Comments

Lot 1 Unit 12, Knoll Estates

Dr.:

Hi Claire,

This looks like a good project. Have them field verify the existing utilities.

Thanks Finn

TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Date: 10/31/2022
Address: Lot 1, Unit 12 Knoll Estates Dr,
Mountain Village, CO 81435

TFPD approves the proposal with the following conditions:

1) The structure is over 3,600 gross sq ft and shall require a monitored sprinkler system.
2) The structure shall require a monitored fire alarm system.
3) The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
4) The address numbers shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
5) TFPD recommends the installation of a Knox Box for emergency access.

AGENDA ITEM 10
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISON
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Design Workshop on behalf of the Town of Mountain Village

FOR: Design Review Board Public Hearing; December 1,2022

DATE: December 1, 2022

RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot AR58, 127 Adams Way pursuant to CDC Section 17.4.11

APPLICATION OVERVIEW: New Single-Family, Condominium Home on Lot AR58

PROJECT GEOGRAPHY
Legal Description: UNIT AR-58R, TIMBER RIDGE AT MOUNTAIN VILLAGE (FORMERLY THE VILLAGE AT ADAMS RANCH)
Address: TBD Adams Way
Applicant/Agent: Ken Alexander, Architects Collaborative
Owner: Andrea Alexander
Zoning: Multi-Family
Existing Use: Vacant
Proposed Use: Single-Family Detached Condominium
Lot Size: .15 acres
Adjacent Land Uses:

- **North**: Vacant
- **South:** Vacant
- **East:** Vacant
- **West:** Vacant

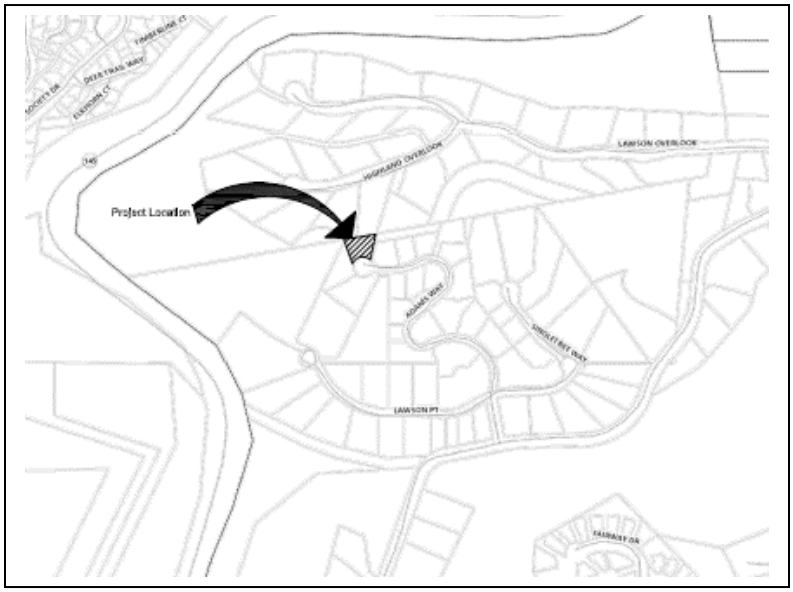


Figure 1: Vicinity Map

ATTACHMENTS
Exbibit A: Architectural Plan Set
Exhibit B: Staff/Public Comments

Case Summary:
Ken Alexander of Architects Collaborative is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family detached condominium home on Lot AR58, TBD Adams Way.

The proposed design consists of a two-story structure separated into two wings and connected by a centralized staircase. The western wing contains the garage on the upper level and an ADU unit on the lower level and has a shed roof form. The eastern wing contains the main living quarters and has a gabled roof form.

The site has an extreme slope with most of the site having over 30 percent grade and sloping downwards from the south to the north. The structure is built into the topography, with areas buried into the slope on the south, and full height at the north allowing the structure to read as a single story from Adams Way. The proposed structure includes a rusted steel bridge to accommodate the extreme slope of the site that provides access from Adams Way to the garage and building entrance.

The lot is approximately .15 acres and is zoned multi-family. The overall square footage of the home is approximately 2,620 livable square feet, including the ADU, and provides two interior parking spaces within the proposed garage.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by*** *Italicized Text.*

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

CDC Provision	**Requirement**	**Proposed**
Maximum Building Height	40’ (gabled) Maximum	34.25’
Avg. Building Height	35’ (gabled) Maximum	28.2’
Maximum Lot Coverage	65% (4,293.25 sq ft)	42.4% (2,800 sq ft)
General Easement Setbacks	No encroachment	GE encroachment
Roof Pitch		
Primary (gabled)		2:12
Secondary (shed)		8:12
Exterior Material		
Stone Veneer	35% minimum	29.1%
Wood Siding	n/a	40.4%
Windows/Door Glazing	40% maximum	17.1%
Metal Accent	n/a	13.4%
Parking	2 spaces	2 spaces

Design Review Board Specific Approvals:

1) *Metal Fascia*

Design Review Board Variation:

1) *Less than 35% Stone Material*
2) *Fiberglass windows*

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.3 Use Schedule

Staff: The applicant has identified that this structure is a single-family condominium, and the lot is located in the multi-family zone district. According to Table 3-1 Town of Mountain

Village Land Use Schedule, a single-family dwelling platted as a condominium dwelling unit is permitted within the multi-family zone district.

17.3.4 Specific Zone District Requirements

The application materials identify an ADU for the lower level of the western half of the structure, underneath the proposed garage. The Land Use Schedule permits ADUs in multi-family zones within detached condominium dwelling units. Section 17.3.4.D specifies that ADUs shall have a maximum of 800 square feet if the detached condominium dwelling unit is 4,000 square feet or less and must share a minimum of 90 percent of the combined length of its first-floor exterior walls with the principal structure. It must provide a kitchen and off-street parking. The ADU is estimated at 613 sq ft and is located to the rear of the primary structure beneath the garage. The garage and lower level ADU are off-set from the primary structure at an angle, and therefore this design does not meet the requirement of sharing 90 percent of the combined length of its first-floor exterior walls with the principal structure. This is a specific zone district requirement; therefore, this proposal requires approval of a variance from Town Council. To date, the applicant has not applied for a variance.

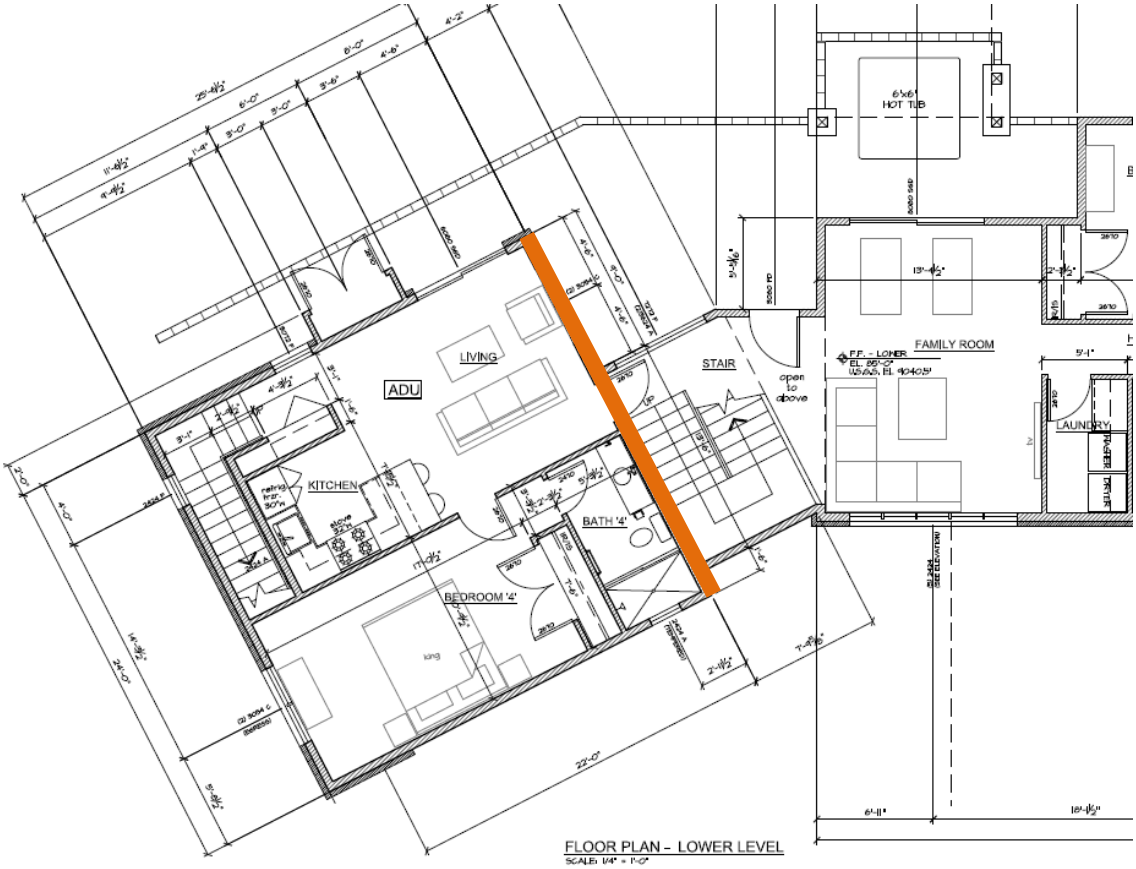


Figure 2: Lower Level Floor Plan. Shared wall between ADU and primary structure shown in orange.

Figure 3: Elevation showing garage and ADU adjacent to primary structure

Understanding that there is no path for DRB to approve this as is, the applicant will have to either redesign the home to meet the requirements of this section or, alternatively, submit an application to seek a variance from this section.

17.3.13 Maximum Lot Coverage

Staff: The lot is zoned within the multi-family zone district and is outside of the Village Center. Therefore, the maximum lot coverage is 65 percent. On this site, the maximum allowable site coverage is 4,293.25 square feet. The proposed structure only covers 2,800 square feet, or 42.4 percent of the site, and is well below that 65 percent threshold.

17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a combination of gable and shed roof forms. Homes with a primary gabled roof form are allowed a maximum building height of 40 feet and a maximum average building height of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: The proposed structure utilizes both a gabled roof form and a shed roof form. Staff has determined that the primary roof form for the proposed structure is gabled and therefore is granted a maximum height of 40' and an average height of 35' for the structure.

The applicant has calculated a maximum height of 34.25' and an average height of 28.2' for the structure. Figures 2-5 below depict the height calculations for the proposed structure.

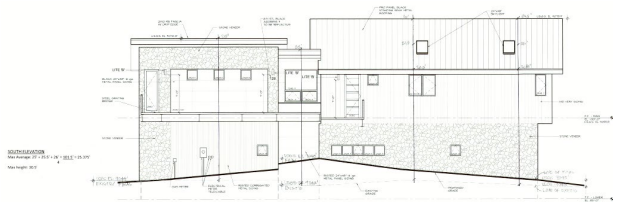


Figure 2: South Elevation – Height

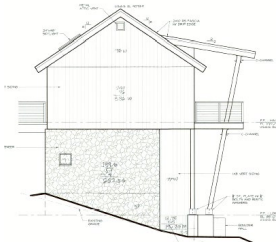


Figure 3: East Elevation – Height

Figure 4: North Elevation – Height

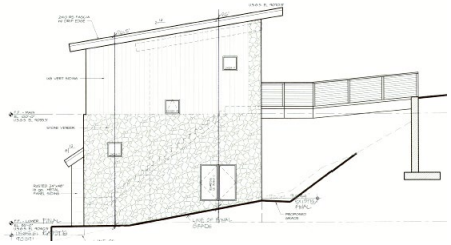


Figure 5: West Elevation – Height

17.3.14: General Easement Setbacks

Lot AR58 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some development activity within the GE and setbacks such as Ski Access, Natural Landscaping, Utilities, Address Monuments, and Fire Mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes two GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The proposed plan has a rusted steel bridge that acts as a driveway for the structure. The bridge connects the garage and entrance way to the cul-de-sac on Adams Way. This bridge also has a 10-foot concrete foundation base. Both the bridge and the foundation base exist in the General Easement providing access from Adams Way to the structure.*
- *Utilities: Utilities are located in Adams Way and cross the southern GE to the lot.*

Regardless of the encroachment, any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must

continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The materials chosen are a combination of stone veneer, wood, and rusted corrugated metal, which should create an exterior capable of withstanding the high alpine environment and reinforce the Town's aesthetic goals once the minimum stone percentage requirement is met. The proposal includes 29.1% stone material. Staff recommends the applicant revise the proposed structure to meet the 35 percent minimum stone veneer requirement to further enforce the high alpine environment characteristics outlined in section 17.5.4 of the CDC.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: A majority of Lot AR58 has a slope greater than 30% and slopes down from the south to the north. The applicant has utilized this slope to place the main level of the house at one story, as to not obstruct the views of neighbors, and place a second story below grade but following the slope and allowing for the lower level to be exposed on the north elevation. The proposed development utilizes a rusted steel bridge to provide access to Adams Way from the structure while maintaining the existing grade on the site. The development does not propose grading, clearing, direct drainage, direct access, or other direct impact onto the adjoining properties. Figure 6 illustrates how the design works with the existing site slopes.

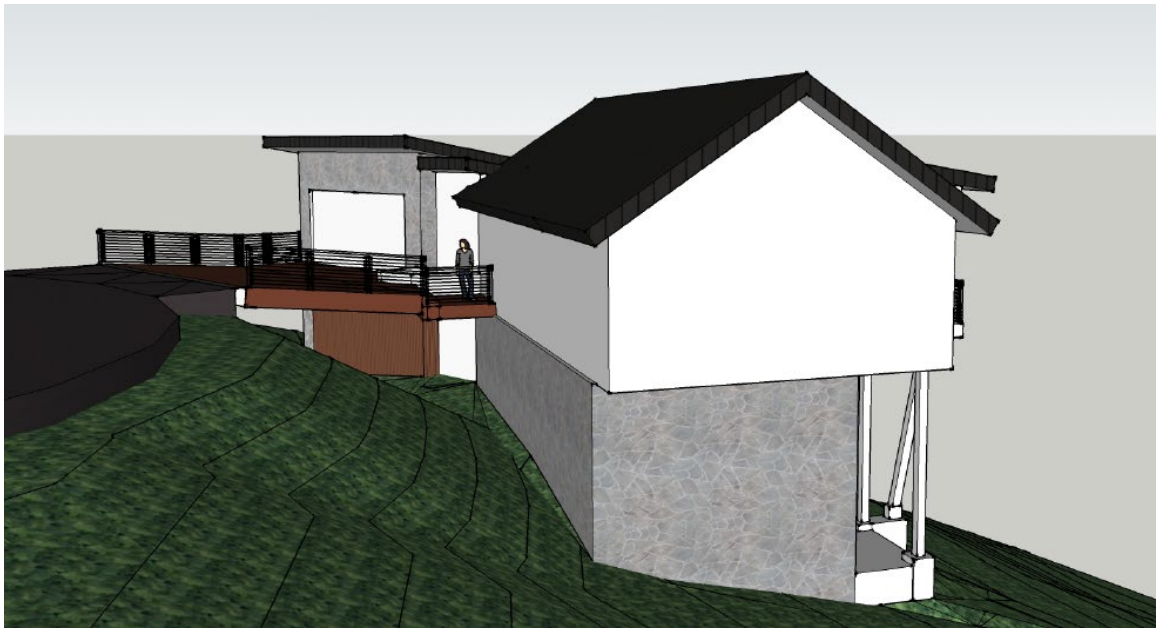


Figure 6: Perspective view of the proposed structures from the Southeast

17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are

appropriate to be adjacent to accumulated snowfall. The CDC requires roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Building Form:
The forms of the proposed residential structures follow alpine mountain designs that are well grounded to withstand the extreme natural forces of wind, snow, and heavy rain. The proposed use of the stone at the base of the structures reinforces this requirement, but staff recommends that the stone be increased to meet the required 35 percent threshold required by the CDC from the current proposed 29.1 percent. This has been included as a design variation in the conditions, but the applicant could also be asked to update the materials to comply with the required percentage as part of their final application.

Exterior Wall Form:
The proposed development has exterior walls that are simple in design and portray a massing that is substantially grounded to the site.

Roof Form:
The proposed structure utilizes both a gabled roof form and a shed roof form. The gabled roof form is used for the eastern half of the structure that contains the main living quarters for the structure, staff has determined this as the primary roof form. The shed roof form is proposed for the western half of the structure that contains the garage and ADU for the structure. The proposed structure provides a roof plane that is broken up into multiple parts to create visual interest.

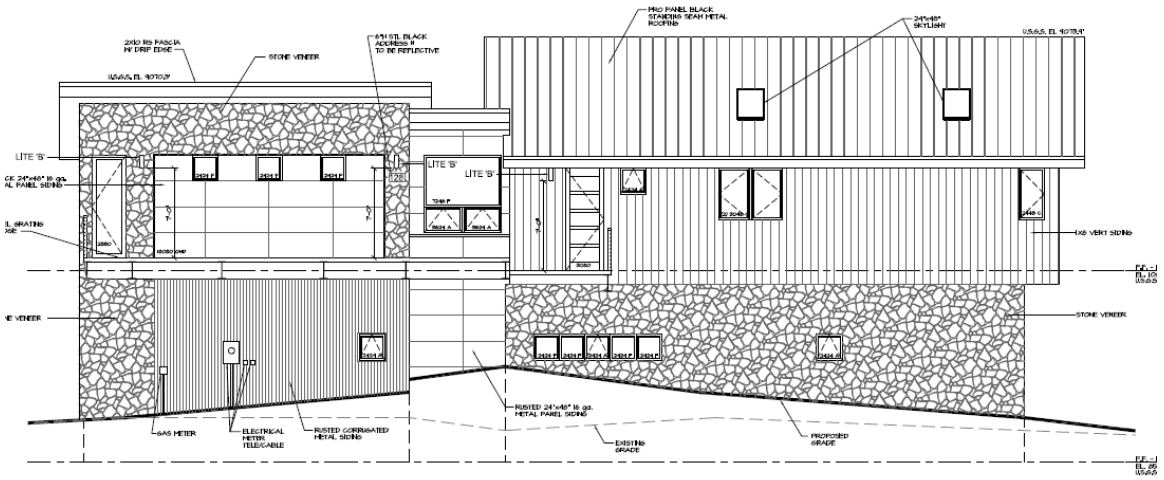


Figure 7: Proposed Structure South Elevation (multiple roof forms)

Chimneys, Vent and Rooftop Equipment Design:
A fireplace appears to be located in the living room, but there is no information about its design. Detail about the type of unit and it's venting is required as part of the final application.

Exterior Walls Materials and Color:
The exterior materials of the proposed structure are proposed to incorporate stained vertical barnwood siding, corrugated rusted steel siding, and stone veneer at the base.

The applicant has identified that the fascia will be standing seam metal and will require specific DRB approval as outlined in section 17.5.6.C.3.h.ii of the CDC. The applicant has identified the soffit to be made of wood. The western elevation includes wood siding that appears to meet the ground. The applicant should clarify if a more water-proof base is being provided on this elevation in order to address weathering concerns.

Glazing:
The maximum window area of the building, including window and door glazing, is 17.1 percent of the total building façade for the proposed structure. The applicant has indicated that the proposed glazing will be made of Marvin Integrity series Black Fiberglass, which is a design variation. The trim for the windows is not specified in the application materials and should be identified prior to final review and is a required condition of approval.

Doors and Entryways:
The garage door detail for the proposed structure is indicated on Sheet A3.2 of Exhibit A. The applicant has not provided a door schedule for the proposed structure and one shall be provided prior to final review.

Decks and Balconies:
The proposed balconies enhance the overall architecture of the building by creating variety and detail on the exterior elevations as outlined in the CDC.

Required Surveys and Inspections:
Since the proposed main house structure is within five feet or less of the average building height, a monumented land survey will need to be prepared by a Colorado public land surveyor to establish the maximum building height and the average building height. A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design
Staff: The proposed siting of the structure provides minimal impacts to the current grading of the site. There is a small amount of grading necessary to create positive drainage away from the proposed structure and bridge elements.

The applicant also proposes the creation of a boulder wall, also referred to as drystack retaining wall, on the northern façade of the building to provide level balconies for the

backyard of the structure. This boulder wall has a maximum height of 3.5 feet along the existing grade and adheres to the requirements of the CDC. Outside of the creation of the driveway bridge and its associated foundation retaining wall, there is no proposed disturbance in the GE area.

Public Works: Public Works reviewed the application and had no issues with the proposal as presented.

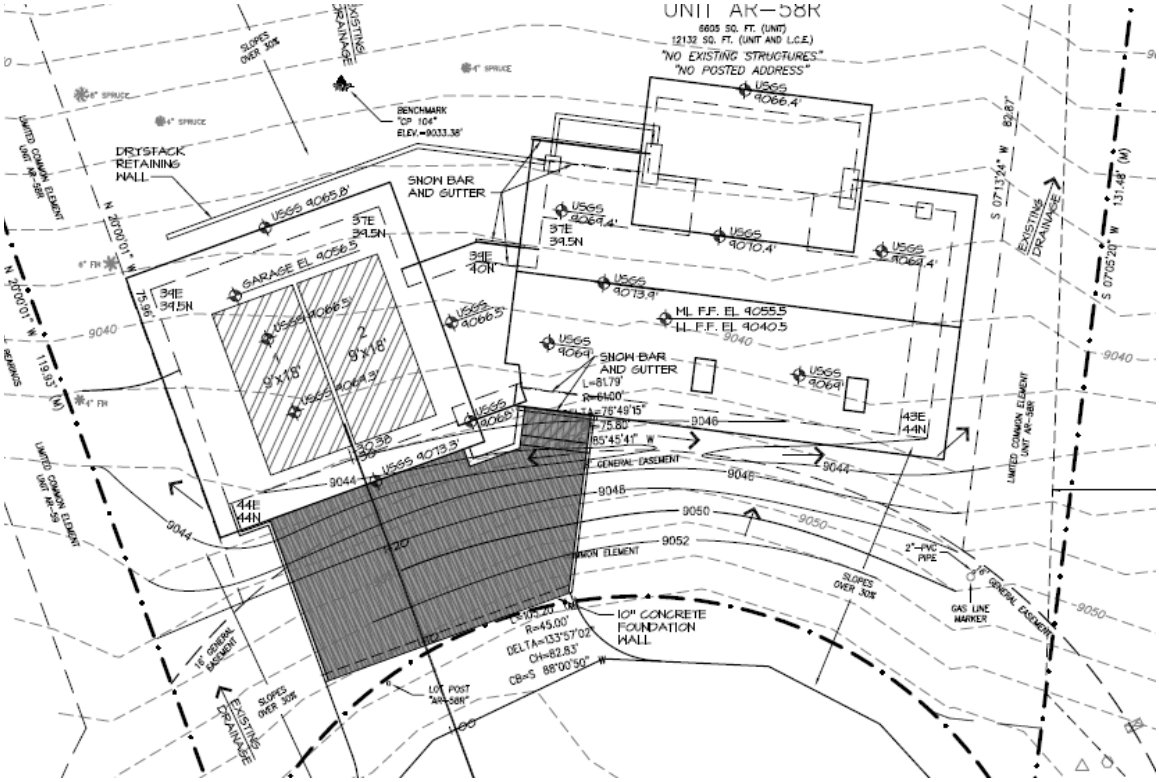


Figure 8: Grading Plan

17.5.8: Parking Regulations

Staff: The applicant has shown two parking spaces for the structure within the proposed garage. This requirement adheres to the requirements of the CDC according to Table 5-2 of Section 17.5.8 for a single-family common interest community.

17.5.9: Landscaping Regulations

Staff: The proposed landscape plan is provided on sheet A1.3 of Exhibit A. The plan calls for the removal of 28 existing trees that exist in the proposed building footprint. The plan proposes the planting of 4 Quaking Aspens and 2 Colorado Blue Spruce along the property edge on the cul-de-sac of Adams Way. The current proposal does not adhere to the diversity of species requirement of Section 17.5.9 of the CDC. The applicant must revise the landscaping plan to adhere to this requirement.

17.5.11: Utilities

Staff: The utility plan is provided on sheet A1.2 of Exhibit A. The plan shows that the proposed water and sewer lines will connect to the current lines on the cul-de-sac of Adams Way into the southeastern corner of the property and connect to the structure underneath the garage. The plan indicates that the gas, electric and telephone lines will

exist on the southern edge of the property and connect to the existing pedestals on the southeastern edge of the site.

Public Works: Public Works reviewed the application and had no issues with the proposal as presented.

17.5.12: Lighting Regulations

Staff: Lighting information was provided on sheet A1.2 of Exhibit A. This sheet indicates the use of two exterior light fixtures: a pathfinder LED outdoor wall sconce (labeled as Fixture A) and a LED 11251 up and downlight outdoor wall sconce (labeled as Fixture B). Fixture A is indicated in green below and is placed on the north facing façade in the backyard of the proposed structure. Fixture B is indicated to be placed along the garage and entrance of the structure facing Adams Way. An up and downlight does not meet the definition of a full cut-off. The lighting plan should be revised to show only a full cut off downlight.

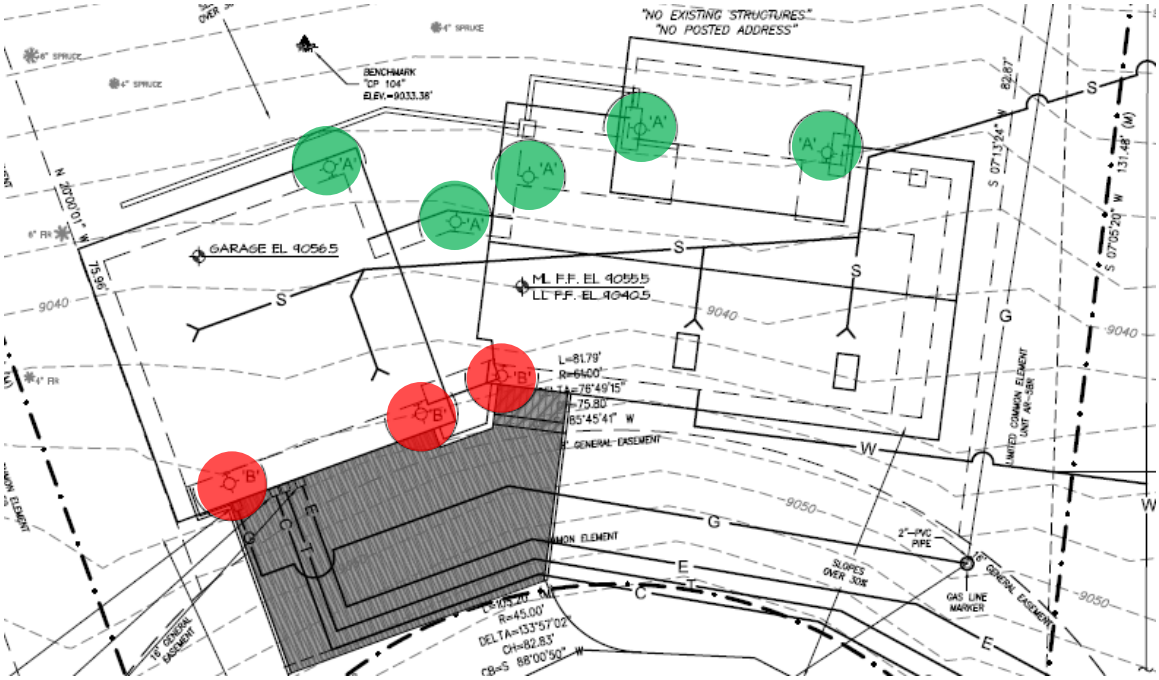


Figure 9: Exterior Lighting Plan

Figure 10: Fixture A- Pathfinder LED Outdoor Wall Sconce

Figure 11: LED 11251 Up and Downlight Outdoor Wall Sconce

17.5.13: Sign Regulations

Staff: The applicant has indicated that the address will be placed on the side of the building on the exterior of the garage facing Adams Way. The application materials indicate that the address numbers will be 6 inches tall in reflective black steel, adhering to the requirements of the CDC. Due to the close proximity of the garage to the cul-de-sac of Adams Way, the address being on the exterior of the proposed structure is permitted. The up and downlight wall sconce is proposed over the address monument; per the lighting plan conditions, the applicant will need to identify an alternative light source that adheres to the lighting requirements of the CDC.

Chapter 17.6: SUPPLEMENTARY REGULATIONS
17.6.1: Environmental Regulations
Staff: Sheet A012 of Exhibit A shows the proposed Fire Mitigation Plan. The applicant has identified a 15-foot offset to indicate Zone 1 in which all vegetation will be removed for the site.

In Zone 2, the applicant is proposing the planting of quaking aspen and colorado blue spruce trees along the property edge along Adams Way. Zone 2 requires a 10' crown-to-crown separation. The applicant shall revise the landscaping and fire mitigation plan to adhere to the Zone 2 10-foot crown to crown separation requirement.

The application materials indicate that the applicant will adhere to the pruning and maintenance requirements of section 17.6.1 of the CDC.

Telluride Fire Protection District: TFPD approves the proposal with conditions that the structure shall install a monitored fire alarm system.

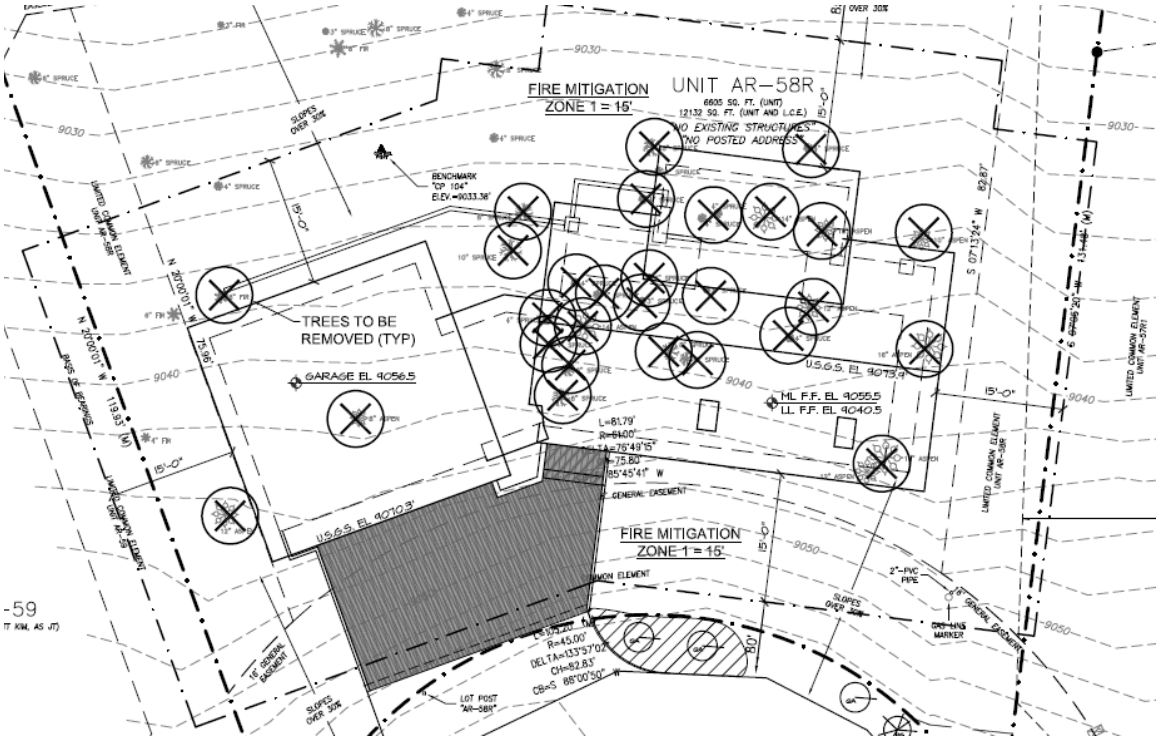


Figure 12: Landscaping and Fire Mitigation Plan

17.6.6: Roads and Driveway Standards

Staff: Sheet A1.1 of Exhibit A shows the driveway profile for the proposed structure. The driveway is made of a rusted steel grate bridge that connects the garage and entryway of the proposed structure to the cul-de-sac at the end of Adams Way. The bridge is supported by a 10-foot retaining wall that exist within the GE. The proposed driveway has a maximum grade of 5.3 percent and is within the allowed 8 percent maximum grade requirement. Staff finds the design of the bridge necessary to provide access for the site to Adams Way with minimal impacts to the natural environment. The bridge is located entirely on the subject property, and does not encroach into the right-of-way.

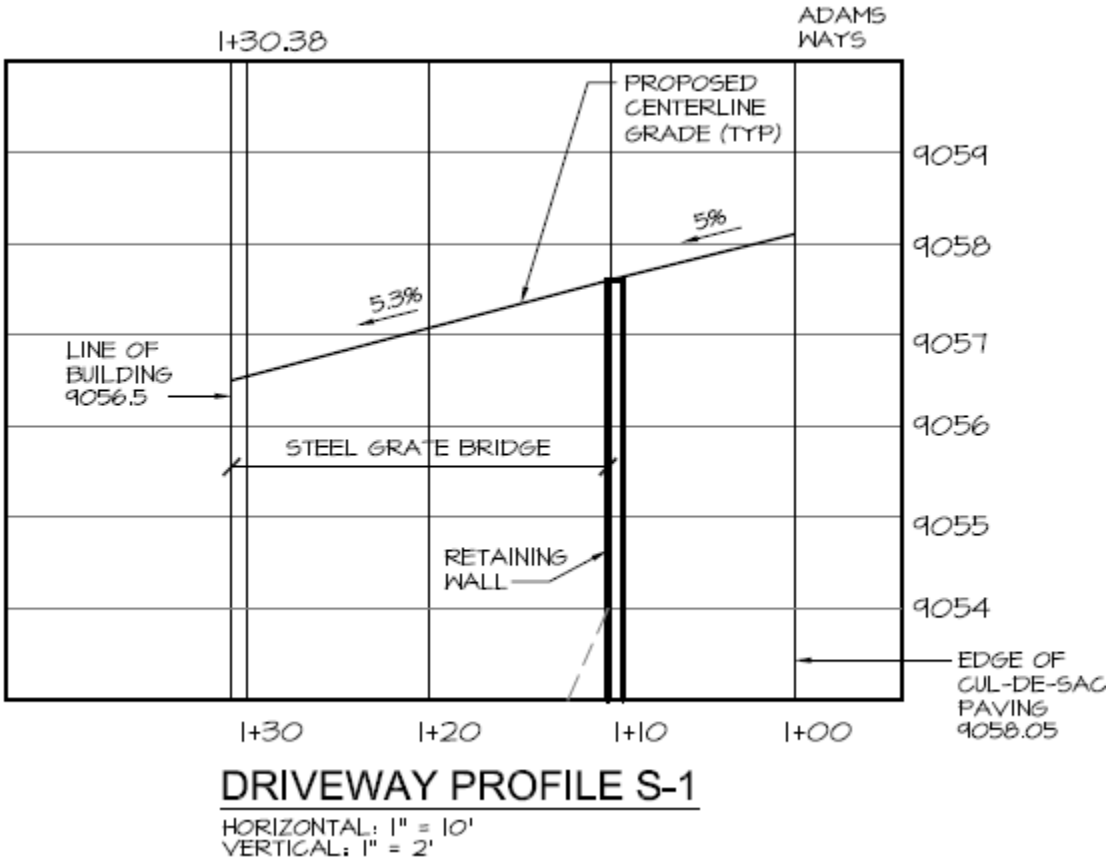


Figure 13: Driveway Profile

17.6.8: Solid Fuel Burning Device Regulations
Staff: The final application shall identify the type of burning device as either gas or solid fuel burning and adhere to the requirements of the CDC.

Chapter 17.7: BUILDING REGULATIONS
17.7.19: Construction Mitigation
Staff: A construction mitigation plan was not provided as part of the application materials for Initial Architecture and Site Review and will be required for Final Review.

Staff Recommendation: There is no current path for approval of the application due to the proposal not meeting the requirements of Section 17.3.4. Staff recommends the applicant indicate whether they will be redesigning the home to meet the aforementioned requirements of Section 17.3.4 or seeking a variance and approval from Town Council. In either scenario, the case will be continued.

Proposed Motion:
An application for a variance or a redesign is required, therefore staff recommends a motion for continuance to the regular DRB meeting on January 5, 2023.

I move to continue the Initial Architecture and Site Review for a new single-family detached condominium home located at Lot AR58 to January 5, 2023.

If the applicant applies for a variance and the DRB re-reviews the application as is presented today, the following conditions would be included in the suggested motion.

Design Review Board Specific Approvals:

1) *Metal Fascia*

Design Review Board Variation:

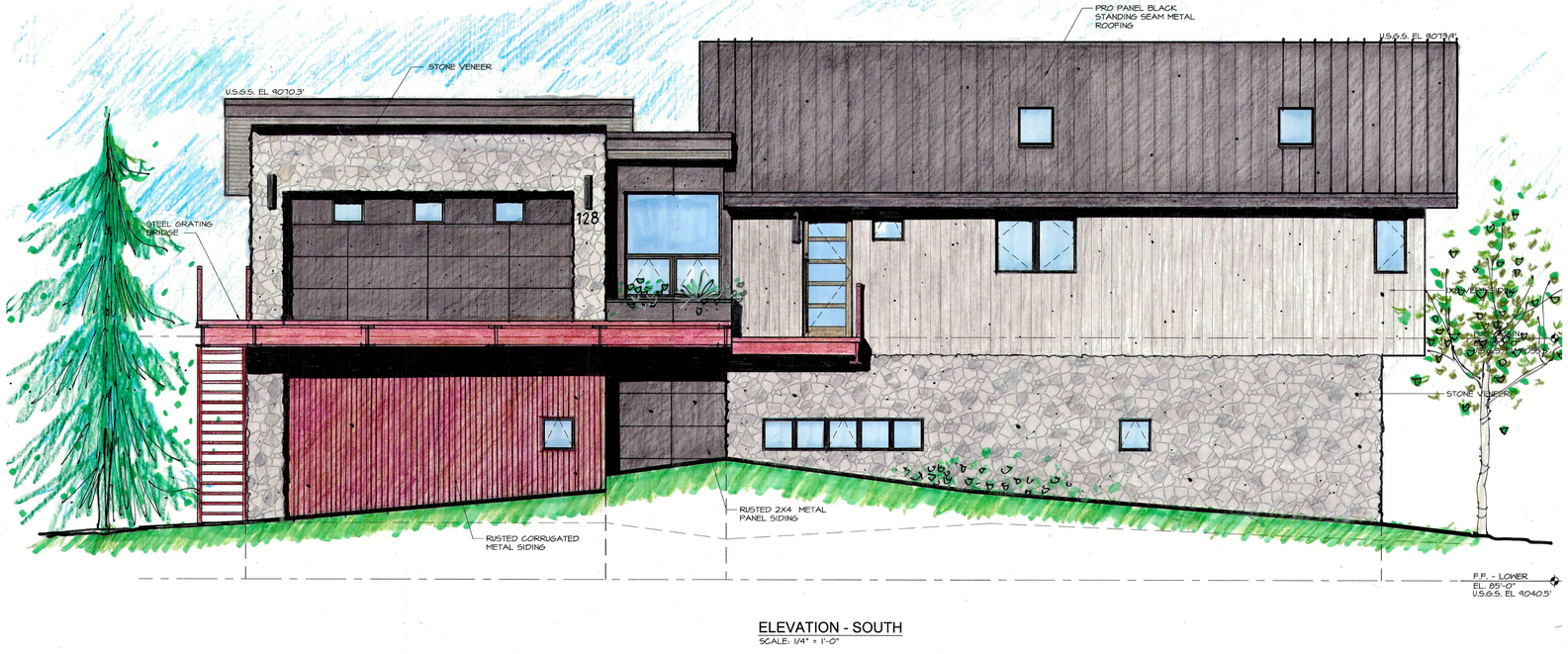
1) *Stone Material Percentage (remove condition 1 if this design variation is approved)*
2) *Fiberglass windows*
3) *Address monument location*

And, with the following conditions:

1) *Prior to final review, the applicant shall revise the exterior materials of the proposed structure to meet the stone veneer 35 percent minimum requirement.*
2) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE.*
3) *Prior to final review, the applicant shall provide information for the materials used for cladding for doors and provide a door schedule.*
4) *Prior to final review, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with diversity of species requirement and fire mitigation standards.*
5) *Prior to final review, the lighting plan should be revised to show only a full cut off downlight source, including the light source located above the address monument.*
6) *A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and average building height.*
7) *The structure shall require a monitored fire alarm system.*
8) *A Knox Box for emergency access is recommended.*
9) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
10) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
11) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
    a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
    b. *Wood that is stained in the approved color(s);*
    c. *Any approved metal exterior material;*
    d. *Roofing material(s); and*
    e. *Any other approved exterior materials*

12) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

VICINITY MAP



ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

DRAWING LIST:

A0	Cover Sheet	Date: October 18, 2022
C1	Improvement Survey Plat	Date: August 11, 2021
A1.1	Site Plan/Roof Plan	Date: October 18, 2022
A1.2	Landscape Plan	Date: October 18, 2022
A1.3	Utility/Exterior Lighting Plan	Date: October 18, 2022
A1.4	Construction Staging Plan	Date: At final submittal
A2.1	Floor Plans	Date: October 18, 2022
A2.2	Floor Plans	Date: October 18, 2022
A3.1	Elevations	Date: October 18, 2022
A3.2	Elevations	Date: October 18, 2022
A3.1H	Height Calcs	Date: October 18, 2022
A3.2H	Height Calcs	Date: October 18, 2022
A3.1S	Stone Calcs	Date: October 18, 2022
A3.2S	Stone Calcs	Date: October 18, 2022
E1.1	Electrical Plan	Date: At final submittal
E1.2	Electrical Plan	Date: At final submittal

PLAN CONSULTANTS:

Architects Collaborative
Ken Alexander
PO Box 3954
Telluride, Colorado 81435
970-708-1076
ken@architectstelluride.com

San Juan Survey
PO Box 3730
102 Society Drive
Telluride, Colorado 81435
970-728-1128
office@sanjuansurveying.net

McMillian Engineering
195 S. Lena St.
Ridgeway, Colorado 81432
970-626-5113
mcmillian@ouraynet.com

PROJECT SUMMARY

LOT SIZE:	6,605 S.F.
ZONING DESIGNATION:	SINGLE FAMILY CONDOMINUM/COMMON
MAXIMUM BUILDING HEIGHT:	34.25'/40' ALLOWED
AVERAGE BUILDING HEIGHT:	28.2'/30' ALLOWED
REQUIRED PARKING:	1.5 SPACES REQ'D/ 2 SPACES PROVIDED
BUILDING LOT COVERAGE:	2,800 S.F.
TOTAL LOT COVERAGE PERCENT:	40% / 65% ALLOWED

PRELIMINARY ONLY

REVISIONS:
6-21-22
10-18-22

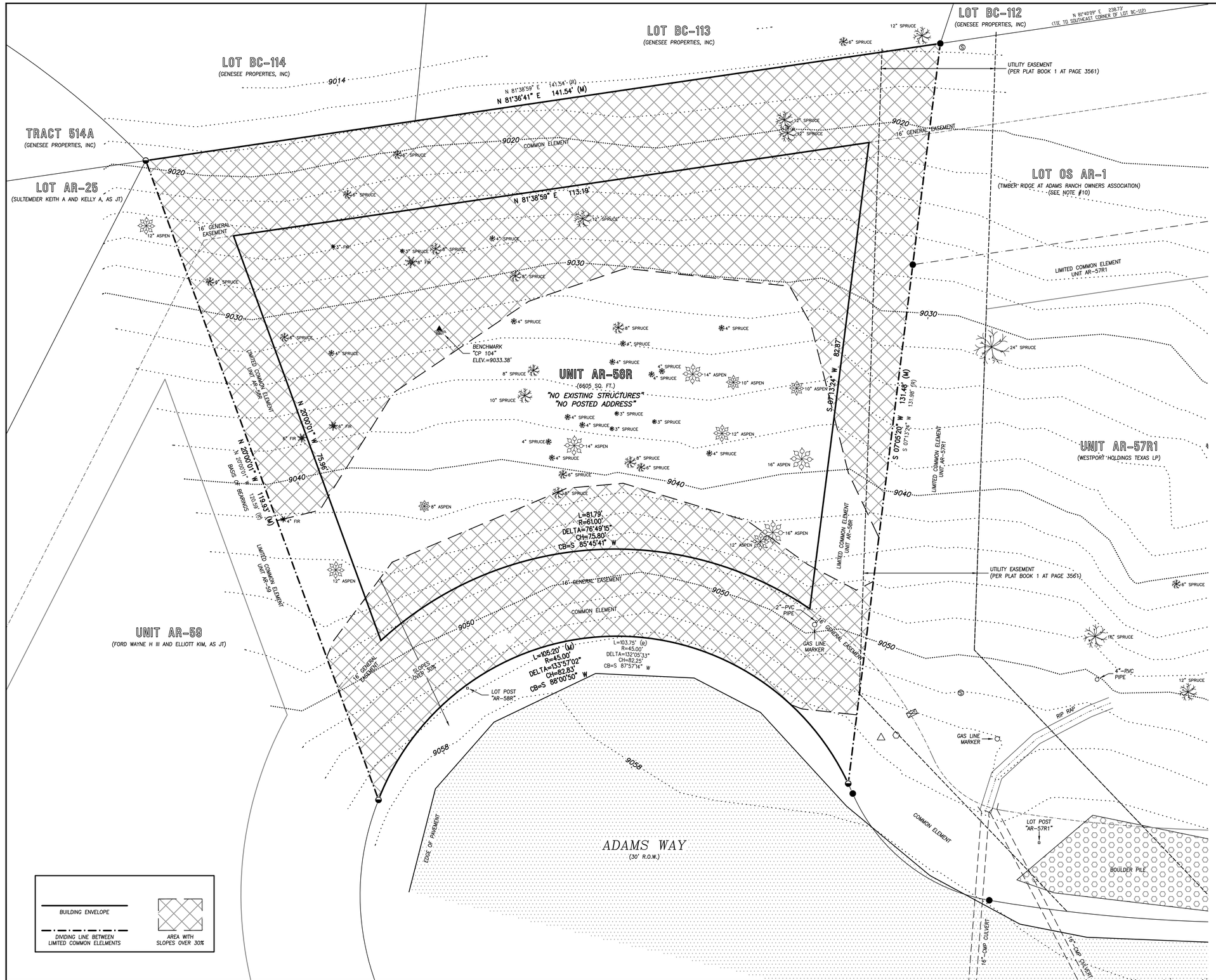
ARCHITECTS COLLABORATIVE
Design + Build • Just Build • Just Design
P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

NOT FOR CONSTRUCTION

Unit AR-58R Timber Ridge at Mountain Village
128 Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
5.19.22

SHEET
A0
Unit AR-58R



This Existing Conditions Plan of UNIT AR-57R2, TIMBER RIDGE AT MOUNTAIN VILLAGE (FORMERLY THE VILLAGE AT ADAMS RANCH), TOWN OF MOUNTAIN VILLAGE, was prepared on August 25, 2021 and updated on September 23, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102, C.R.S.

COLORADO LICENSED JEFFREY C. HASKELL 37970 PROFESSIONAL LAND SURVEYOR 01/06/22

P.L.S. NO. 37970 — Date

LEGAL DESCRIPTION:

UNIT AR-58R, TIMBER RIDGE AT MOUNTAIN VILLAGE (FORMERLY THE VILLAGE AT ADAMS RANCH), A COMMON INTEREST COMMUNITY, ACCORDING TO THE PLAT RECORDED OCTOBER 27, 2005 IN PLAT BOOK 1 AT PAGE 3561, AND AS DEFINED AND DESCRIBED IN THE DECLARATION RECORDED JUNE 1, 1999 UNDER RECEPTION NO. 326890, AND AS AMENDED IN INSTRUMENT RECORDED JUNE 9, 2000 UNDER RECEPTION NO. 334770, AND AS AMENDED IN INSTRUMENT RECORDED SEPTEMBER 13, 2001 UNDER RECEPTION NO. 343817, AND AS AMENDED IN INSTRUMENT RECORDED OCTOBER 27, 2005 UNDER RECEPTION NO. 379100, AND AS AMENDED IN INSTRUMENT RECORDED AUGUST 14, 2013 UNDER RECEPTION NO. 429339, AND AS AMENDED IN INSTRUMENT RECORDED AUGUST 28, 2017 UNDER RECEPTION NO. 449950,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

1. Easement research and property description from Land Title Guarantee Company, Order Number TLR86010603-4, dated November 19, 2020 at 5:00 P.M.

2. According to FEMA Flood Insurance Rate Map 08113C0286-C, dated September 30, 1988, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.

3. BASIS OF BEARINGS: The bearing along the western boundary of Unit AR-58R, as shown hereon, assumed to have the record bearing of N 20°00'01" W according to Plat Book 1 at page 3561.

4. Benchmark: Control Point "CP 104", as shown hereon, with an elevation of 9033.38 feet.

5. Contour interval is two feet.

6. Only trees 3" in diameter or greater are shown hereon.

7. Slopes 30% or greater are shown hereon.

8. Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.

9. Foley Associates, Inc. is not aware of any wetlands located on this lot, but a wetland delineation was not performed as part of this survey.

10. According to Plat Book 1 at page 3561, Note #5 states:
"The entirety of Open space Tract OS AR-1 is encumbered by a perpetual non-exclusive utility easement. The use of this easement is limited to providing sewer service to Lot C-2AR1." Lot C-2AR1 was further divided into Units AR-45, AR-46, AR-47, AR-49, AR-54, AR-55R1, AR-55R2, AR-56R, AR-57R1, AR-57R2, AR-58R, AR-59 and AR-60 as shown on the Third Amendment to the Common Ownership Community Plat for the Village at Adams Ranch recorded in Reception No. 379099.

NOTICE:

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

EXISTING CONDITIONS PLAN

Unit AR-58R, Timber Ridge at Mountain Village,

located within the SE 1/4 of Section 32 and the SW 1/4 of Section 33, T.43N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH
Technician:	MC
Technician:	
Checked by:	DS
Start date:	08/11/2021

Rev.	description	date	by

FOLEY ASSOCIATES, INC.
ENGINEERING · PLANNING · SURVEYING
970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Drawing path: dwg\02007 EC Plan 09-21 (Lot AR-58R).dwg | Sheet1 of 1 | Project #: 02007

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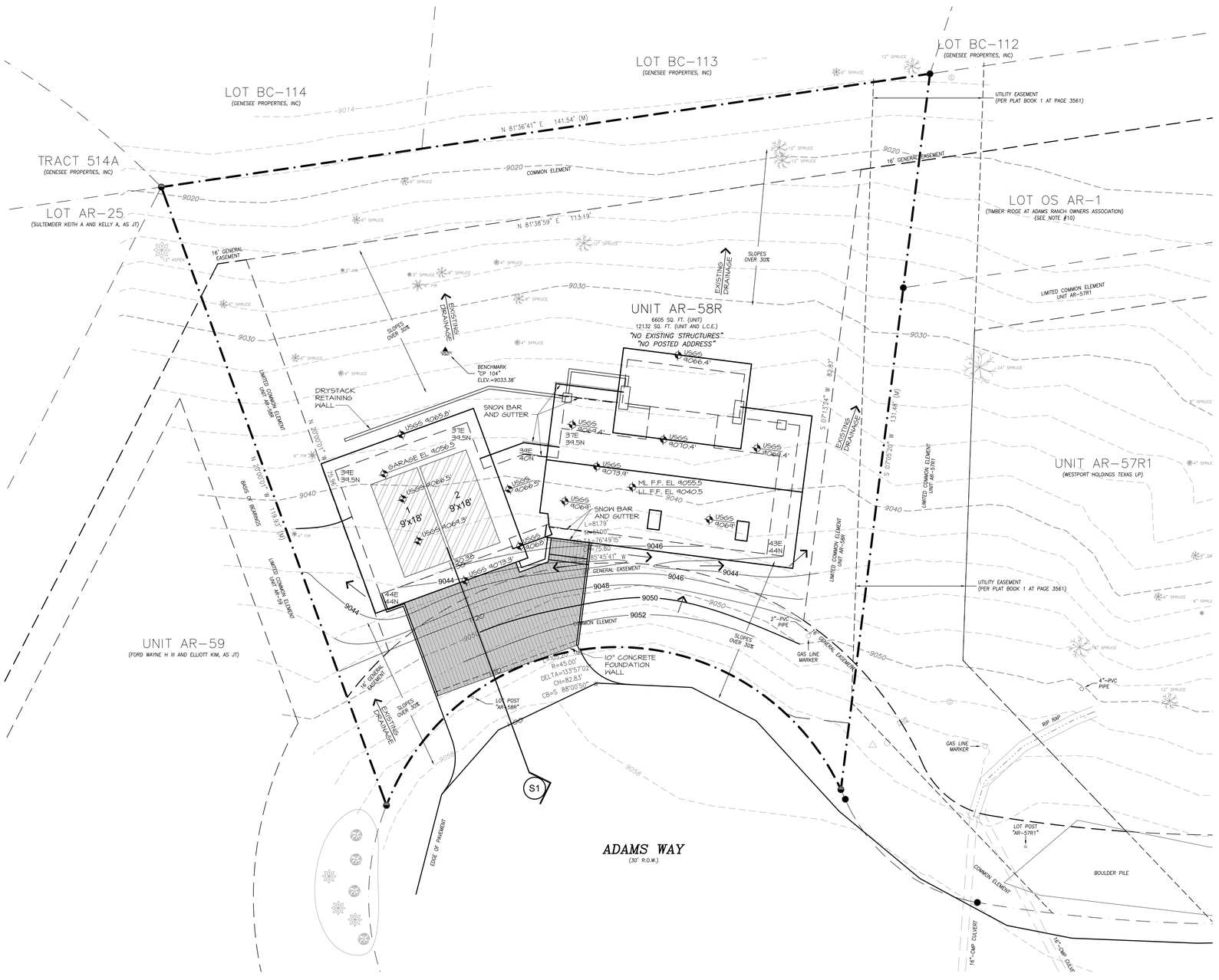

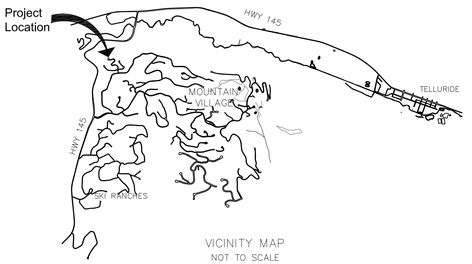

VICINITY MAP
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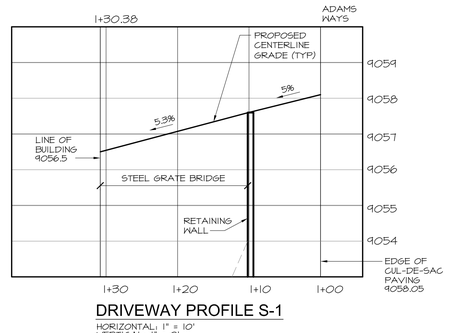

DRIVEWAY PROFILE S-1
HORIZONTAL: 1" = 10'
VERTICAL: 1" = 2'

COLORADO REGISTERED
BRADLEY D. McMILLON
28893
PROFESSIONAL ENGINEER

PRELIMINARY ONLY

REVISIONS:
5-20-22
6-6-22
6-21-22
10-18-22

ARCHITECTS
COLLABORATIVE
Design + Build • Just Build • Just Design
P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

NOT FOR CONSTRUCTION

Unit AR-58R Timber Ridge at Mountain Village
128 Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
5.19.22

SHEET
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Unit AR-58R

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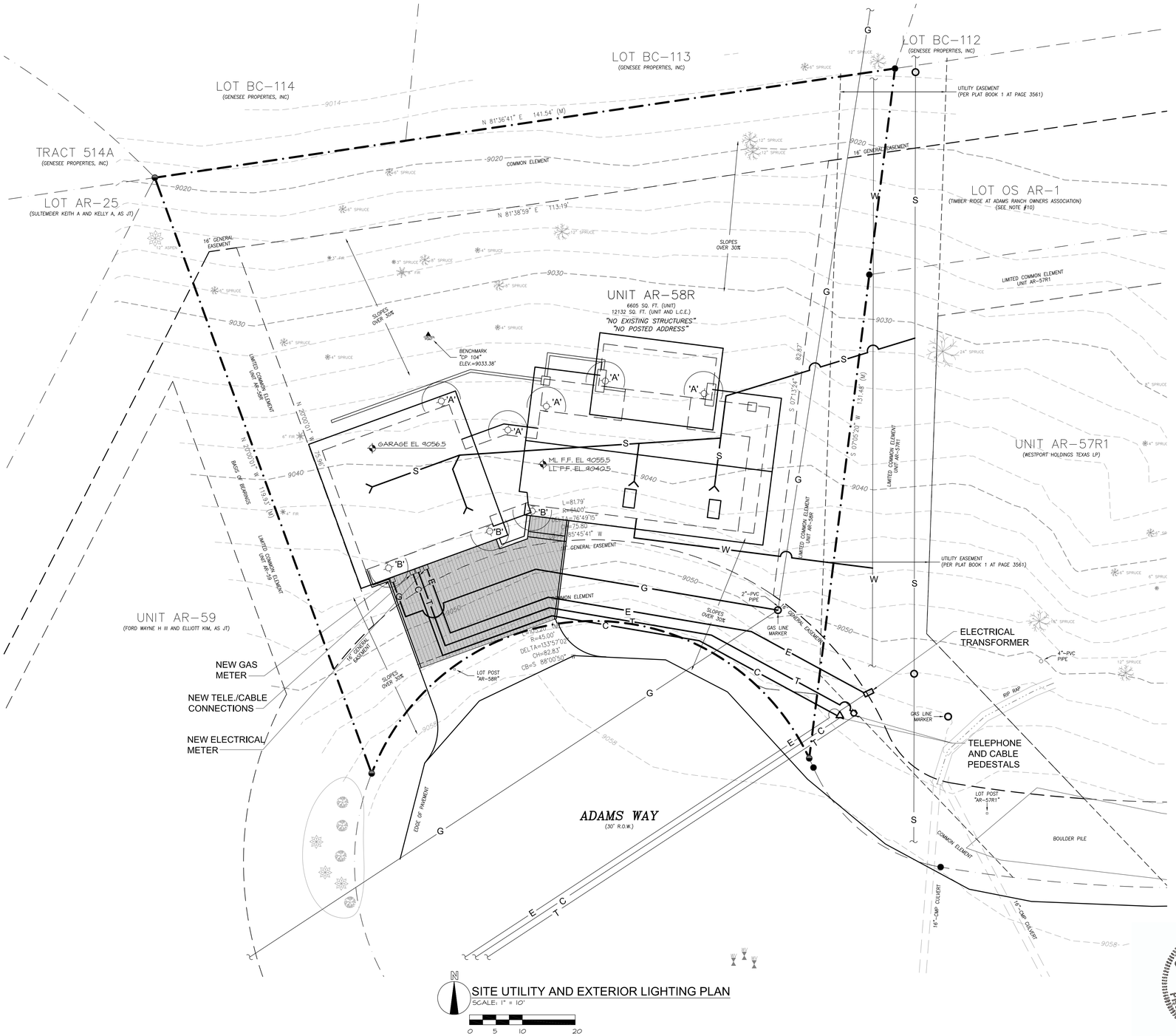

N

SITE UTILITY AND EXTERIOR LIGHTING PLAN
SCALE: 1" = 10'

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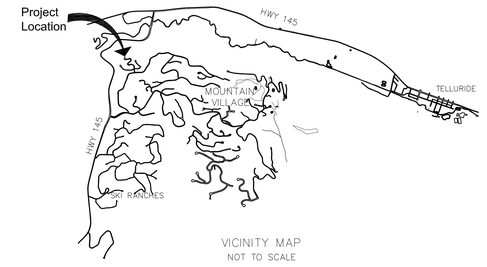


VICINITY MAP
NOT TO SCALE

Pathfinder LED Outdoor Wall Sconce
By Maxim Lighting

LUMENS
Call Us 877.445.4486

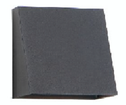
Pathfinder LED Outdoor Wall Sconce
By Maxim Lighting

Product Options

Finish: Black

Details

Dimmable only at 120V
Can be installed as an upright or downlight
Designed in 2020
Material: Die Cast Aluminum
Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
ADA compliant, Dark Sky compliant, Title 24 compliant
ETL Listed Wet
Warranty: Limited 5 Year
Made In China



Dimensions

Backplate: Width 5.5", Height 5.5"
Fixture: Width 5.5", Height 5.5", Depth 4", Weight 2.2Lbs

Lighting

Lamp Type	LED Built-In
Total Lumens	820
Total Watts	15.00
Volts	120 /277 Volt
Color Temp	3000 (Soft White)
CRI	80
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

FIXTURE 'A'

LED 11251 Up and Downlight Outdoor Wall Sconce
By Kichler

LUMENS
Call Us 877.445.4486

LED 11251 Up and Downlight Outdoor Wall Sconce
By Kichler

Product Options

Finish: Textured Black

Details

Provides both up and downlighting
Material: Metal
Shade Material: Textured Metal
Size: Large
Dark Sky compliant
UL Listed Wet
Made In China

Dimensions

Fixture: Width 5", Height 12.25", Depth 6.5"

Lighting

Lamp Type	LED Built-in
Volts	120 /277 Volt
Color Temp	3000 (Soft White)
Average Lifespan	40000.00
CRI	85
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Notes:

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:

FIXTURE 'B'

LEGEND

SCONCE INCANDESCENT (+7" ABOVE GRADE)
(9) NIGHT SKY DOWNLIGHTS (+7" ABOVE DECK)

COLORADO REGISTERED
BRADLEY D. McMILLON
28893
PROFESSIONAL ENGINEER

STATE OF COLORADO
KENNETH BLAKE ALEXANDER
B-2727
LICENSED ARCHITECT

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PRELIMINARY ONLY

REVISIONS:
6-21-22 drb
10-18-22

ARCHITECTS COLLABORATIVE
Design + Build • Just Build • Just Design
P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

Unit AR-58R Timber Ridge at Mountain Village
128 Adams Way, Mountain Village
San Miguel County, Colorado

NOT FOR CONSTRUCTION

DATE:
5.19.22

SHEET
A1.2
Unit AR-58R

LANDSCAPE GENERAL NOTES:

1. SOIL PREPARATION
Topsoil will be stripped, stored on site, and spread to a minimum depth of four inches. Soil amendments of manure and peat moss are to be roto-tilled into all areas to be sodded and three cubic yards per thousand square feet.

2. PLANTINGS AND PLANT MATERIAL
All plant material will be required to meet the American Standard for Nursery Stock. All plantings will meet the standards of the Associated Landscape Contractors of Colorado- Reference schedule and plan for quantity and locations.

3. SODDING
All sodded areas will be bluegrass. Preparation of soils will include topsoil and roto-tilling to a depth of six to 8 inches. Sodded areas will be irrigated, see IRRIGATION.

4. TOWN OF MOUNTAIN VILLAGE PREFERRED LANDSCAPE & RE-VEG MIXES (2022)

NATIVE MIX (GENERAL RE-VEG)

Western Yarrow	5%	Alpine Bluegrass	15%
Tall Fescue	10%	Canada Bluegrass	10%
Arizona Fescue	5%	Perennial Ryegrass	15%
Hard Fescue	5%	Slender Wheatgrass	10%
Creeping Red Fescue	10%	Mountain Brome	15%

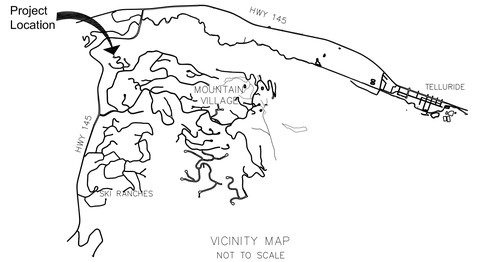
UPLAND MIX (NETLANDS BUFFER MIX)

Arizona Fescue	14%
Alpine Bluegrass	14%
Slender Wheatgrass	38%
Mountain Brome	36%

In areas to be seeded soil will be scarified and/or the topsoil replaced. Newly seeded areas will be mulched by straw, hydro-mulch, or erosion control netting on slopes steeper than 3:1.

5. IRRIGATION
Automatic irrigation will be provided in sodded areas and flower beds with a popup sprinkler system and drip irrigation respectively. Reference plan for design.

6. PLANT GUARANTEE
Landscape installation to provide a two-year guarantee on all newly planted material.



VICINITY MAP
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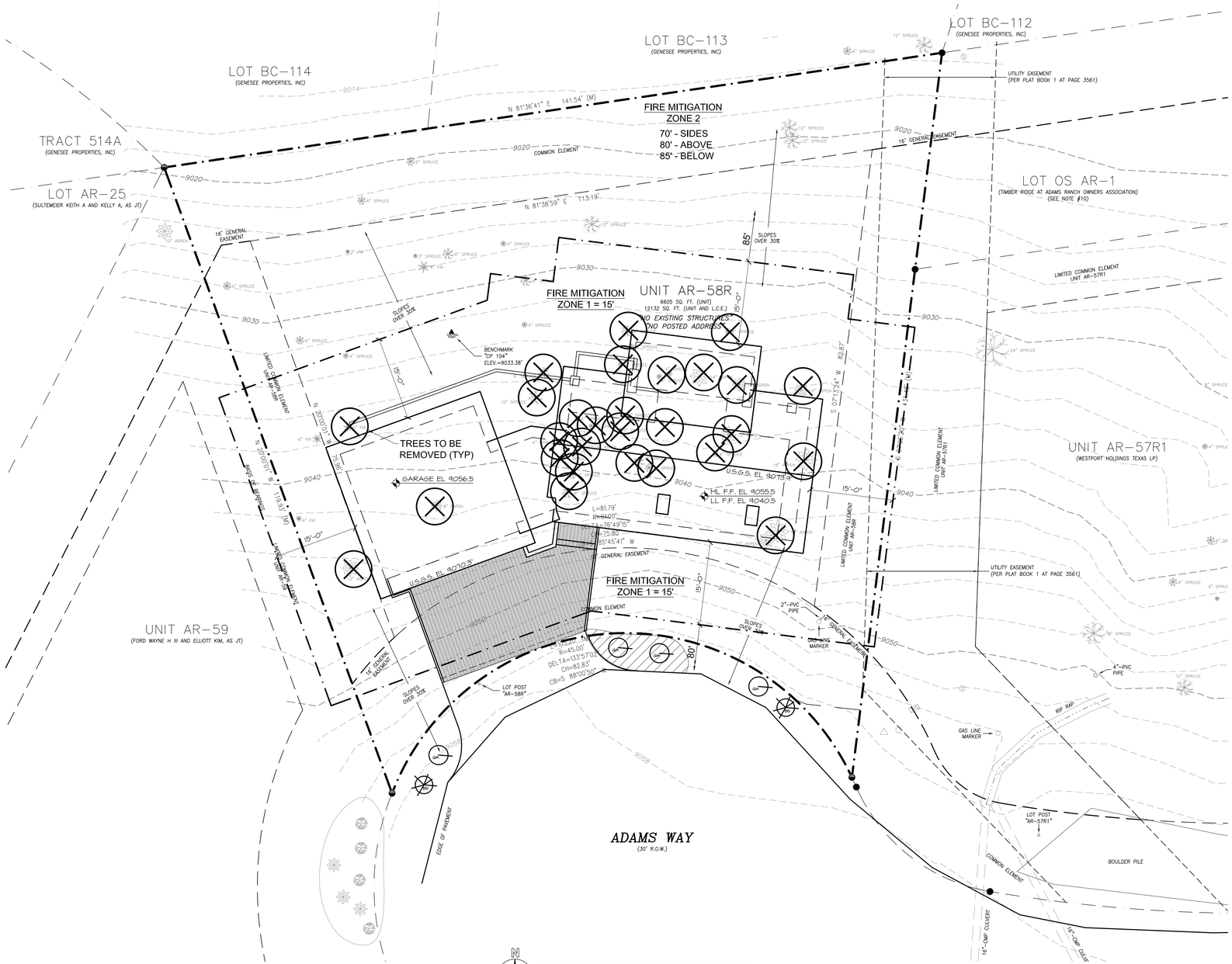

LANDSCAPE/FIRE MITIGATION PLAN
SCALE: 1" = 10'
0 5 10 20

NOTES:

1. PROPERTY OWNERS AGREE TO PROVIDE (2) YEAR PLAN GUARANTEE ON ALL PLANT MATERIALS
2. ALL AREAS DISTURBED BY CONSTRUCTION TO BE REVEGETATED TO NATURAL STATE PER MOUNTAIN VILLAGE APPROVED SEED MIX.
3. PLAN SHALL COMPLY WITH SECTION 9-109 OF DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
4. ALL EXISTING TREES IN THE FIRE MITIGATION ZONE 2 WILL BE TRIMMED TO A HEIGHT OF 10' ABOVE GRADE.

RE-VEGETATION NOTES:

1. ENTIRE SITE CLEARED OF STANDING DEAD.
2. WOOD CHIP PILES OF EXISTING SLASH & REMOVE CHIPS.
3. SEE CONSTRUCTION STAGING PLAN FOR FENCING.
4. ALL AREAS TO BE REVEGITATED BEFORE CONSTRUCTION BEGINS EXCEPT HOME SITE.
5. REVEGITATED AREAS WILL HAVE TEMPORARY BROADCAST IRRIGATION FOR THE FIRST SEASON.
6. THE NEWLY PLANTED TREES WILL BE PROVIDED WITH FLOOD IRRIGATION FOR THE FIRST 2 SEASON UNTIL ESTABLISHED.

IRRIGATION LEGEND

Check Valve	- Febco 825Y Double Check device
Station Timer	- Toro Vision 11 (8) station electronic timer
Gate Valve	- Febco gate valve - Provide hose bib for winterization of entire system
Ball Valve	- Febco ball valve - Provide for manual shut down of system
Electronic Control Valve	- Toro series 250 electronic control valve with flow control
Drip Tubing	- Dura-pol blue strip drip tubing - 1/2"
Main Line	- Class 200 PVC
Laterals	- 80# NSF Polyethylene
Sprinkler head	- Toro series 570 pop-up sprinkler head with PCD Nozzles

Notes:
1. Irrigation System to be designed to 50 psi
2. Main line to be class 200 PVC, 12" mill. Depth
3. Lateral lines to be #20 Poly 6 min. depth
4. All wire to be #14 UF with dri-splice connectors
5. Provide backflow prevention device at check valve
6. Slope mainline for positive winter drainage, provide manual drain valves at all low points
7. Provide Hose bib hook up for winterization of entire system.
8. Provide 2" sleeving under all paved surfaces

PLANT LEGEND

SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE
QA	4	Quaking Aspen	Populus temuloaldes	3" - 3.5"
BS	2	Colorado Blue Spruce	Picea pungens	8" - 10"
BCP	0	Rocky Mountain Bristlecone Pine	Pinus aristata	5 gal.
CC	0	Chokecherry	Prunus virginiana	5 gal.
SF	0	Sub-alpine Fir	Abies lasiocarpa	5 gal.
TJ	0	Tam Juniper	Juniperus sabina	5 gal.
HJ	0	Horizontal Juniper	Juniperus horizontals	1 gal.
////	0	Assorted Perennials		

Notes:
1. Perennials are:

COMMON NAME	BOTANICAL NAME
Snow on the Mountain	Aegopodium podagaria variegatum
Columbine, Alpine	Aquilegia alpine
Columbine, Rocky Mountain	Aquilegia caerulea
Alpine Aster	Aster alpinus
Calendula	Calendula officinalis
Snow-in-summer	Cerastuim tomentosum
Painted Daisy	Chrysanthemum coccineum
Delphinium	Delphinium spp.
Pinks, Spotted	Dianthus, allwoodii
Sweet William	Dianthus barbatus
Purple Coneflower	Echinacea purpurea
Daylily, Yellow	Hemerocallis "Hyperion"
Iris, Pink Bearded	Iris x germanica
Rocky Mountain Iris	Iris missouriensis
Iris, Blue Siberian	Iris siberica "Ceasar's Brother"
Yellow Flax	Linum flavum
Blue Flax	Linum lewisii
Flax, Blue	Linum perenne
Native Lupine	Lupinus parviflorus
Russell hyb Lupine	Lupinus polyphilus
Engelmann Ivy	Parth quinquefolia
Alpine Penstemon	Penstemon alpinus
Thyme, Woolly	Thymis pseudo lanuginosus
Pansy, Blue Tufted	Viola cornuta "Blue Perfection"
Violet, Corsican	Viola Corsica

2. Provide 6" - 8" of topsoil in all planting beds.
3. All trees to be staked and guyed.
4. Areas of re-vegetation are to be determined after construction is completed.

STATE OF COLORADO
KENNETH BLAKE ALEXANDER
84727
LICENSED ARCHITECT

PRELIMINARY ONLY

REVISIONS:
6-21-22 drb
10-18-22

ARCHITECTS COLLABORATIVE
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NOT FOR CONSTRUCTION

DATE:
5.19.22

SHEET
A1.3
Unit AR-58R

Unit AR-58R Timber Ridge at Mountain Village
128 Adams Way, Mountain Village
San Miguel County, Colorado

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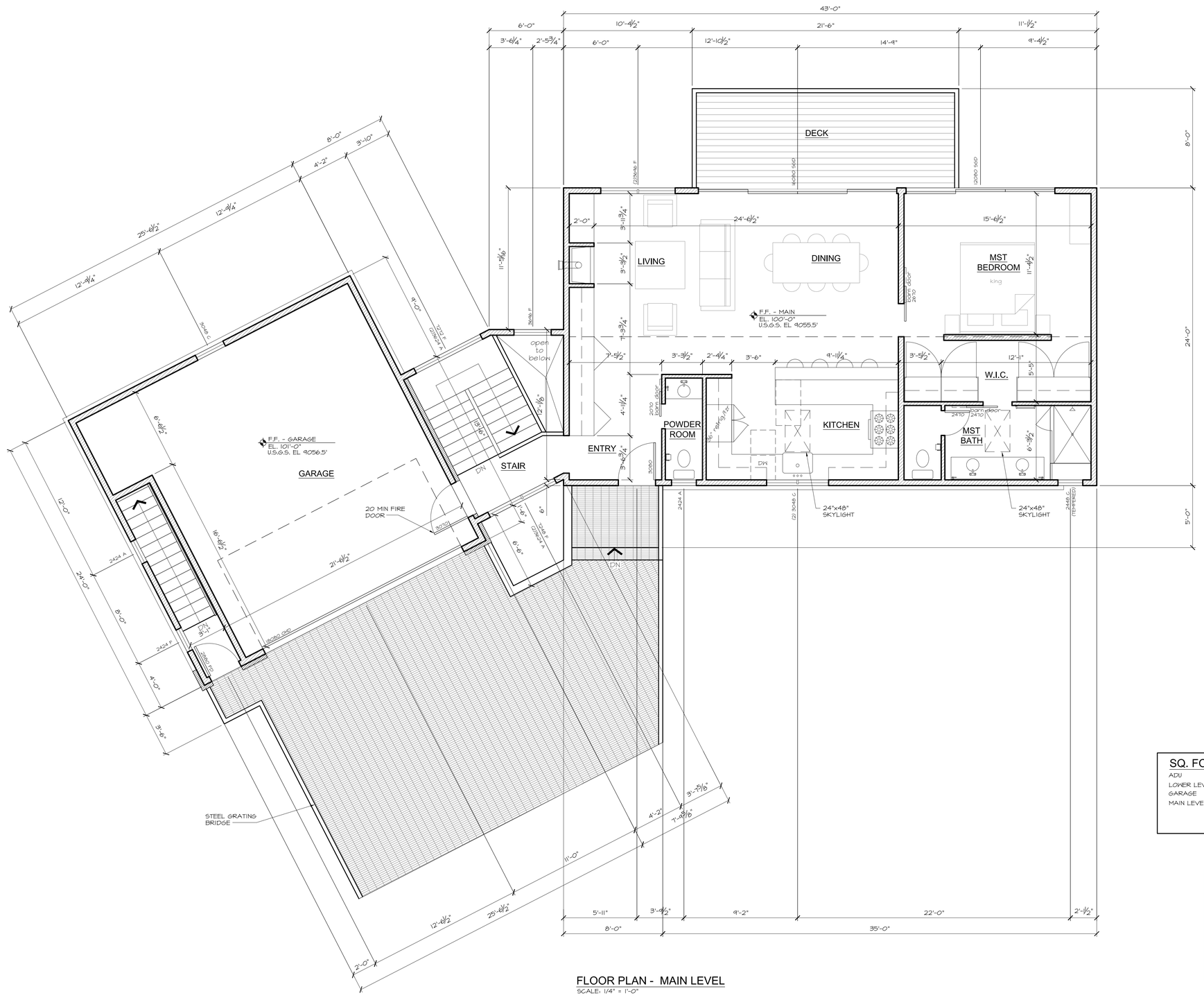

FLOOR PLAN - MAIN LEVEL

SCALE: 1/4" = 1'-0"

SQ. FOOTAGE CALCULATIONS

ADU		613 s.f.
LOWER LEVEL		938 s.f.
GARAGE		554 s.f.
MAIN LEVEL		1,069 s.f.
	TOTAL LIVING SPACE	2,620 s.f.
	TOTAL BUILDING	3,174 s.f.

STATE OF COLORADO
KENNETH BLAKE ALEXANDER
B-2727
LICENSED ARCHITECT

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PRELIMINARY ONLY

REVISIONS:
6-6-22
6-23-22
10-18-22

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C: 970-708-1076

NOT FOR CONSTRUCTION

Unit AR-58R Timber Ridge at Mountain Village
128 Adams Way, Mountain Village
San Miguel County, Colorado

DATE: 5.19.22

SHEET
A2.1
Unit AR-58R

DOOR AND WINDOW SCHEDULE

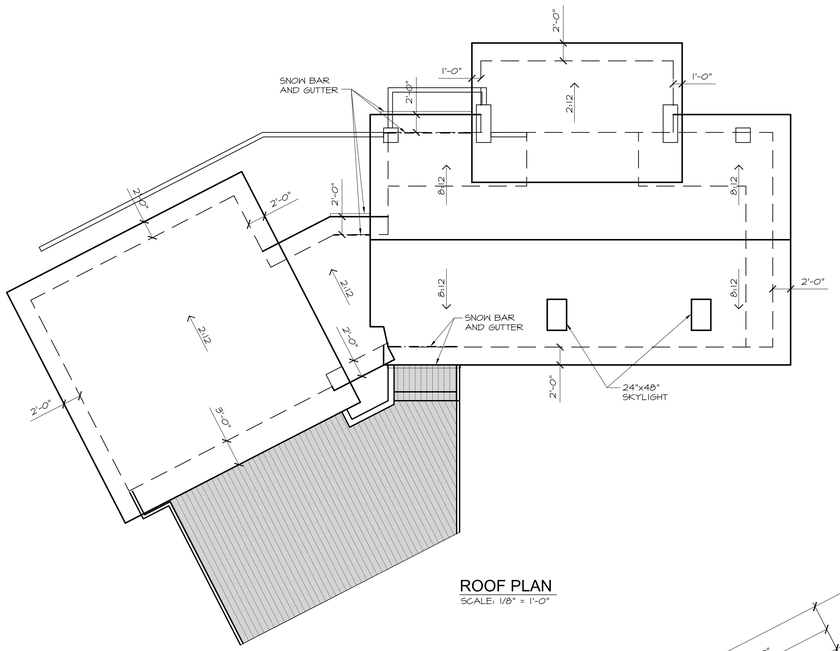
LOWER LEVEL

ROOM	DOOR/WINDOW SIZE	QUANTITY	NOTES
ADU Living	3072F	(1)	
ADU Living	7296SGD	(1)	RH/Temp.
ADU Living	(2)2454C	(1)	
ADU Entry	3696FD	(1)	LH/Temp.
ADU Kitchen	24324A	(1)	
ADU Bedroom 4	(2)3060C	(1)	
ADU Bath 4	2424A		
Stair	7272F/(2)3624A	(1)	Mulled/Temp.
Stair	3696FD	(1)	LH
Yoga	9696SGD/(2)4824F	(1)	Mulled
Bedroom 3	(2)3672C/(2)3624F	(1)	Mulled
Bedroom 2	(2)3672C/(2)3624F	(1)	Mulled
Bath 2	2424A	(1)	
Bath 3	2424A	(1)	
Family rm.	2424F	(5)	

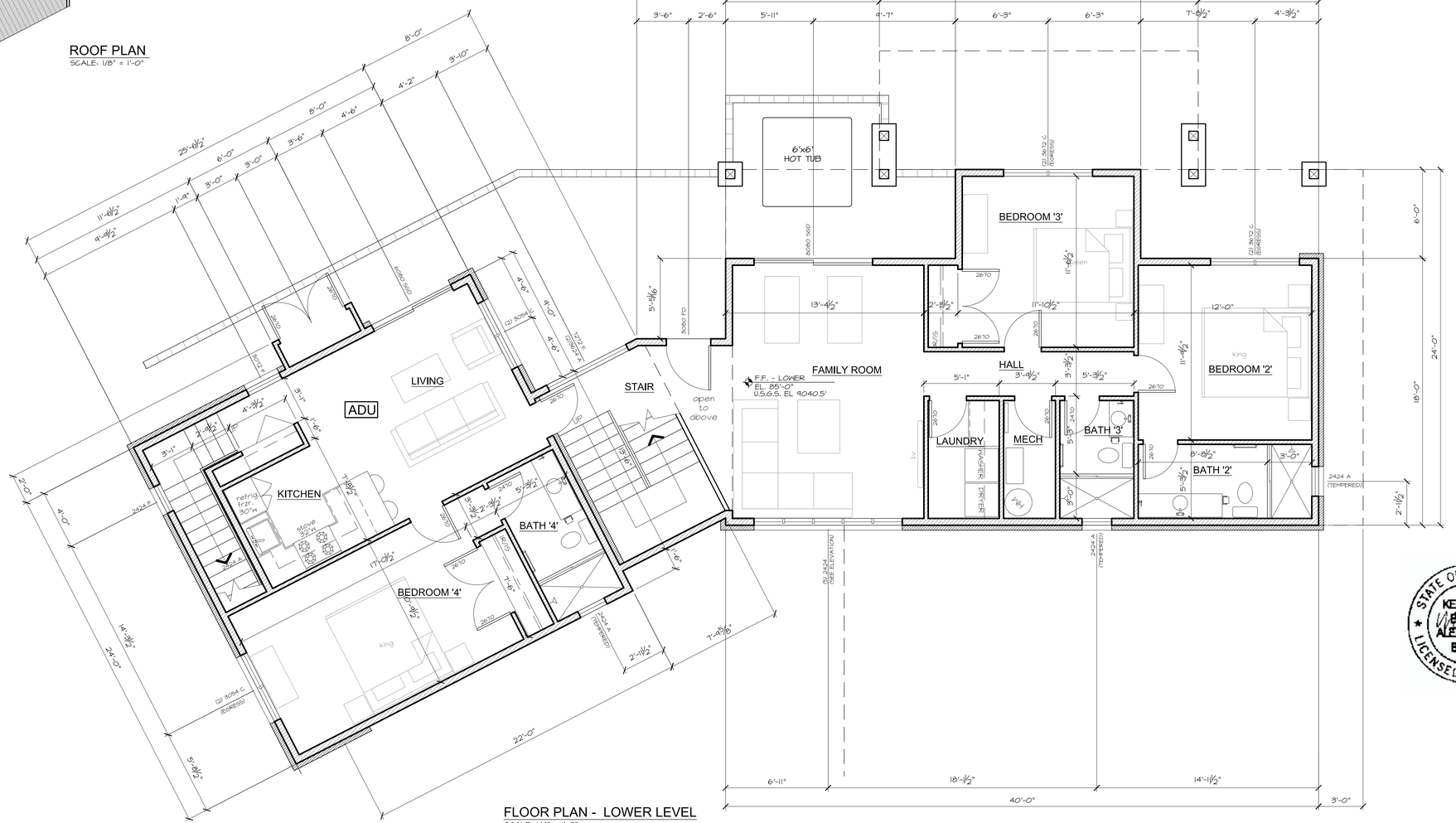
MAIN LEVEL

ROOM	DOOR/WINDOW SIZE	QUANTITY	NOTES
Entry	3696	(1)	RH
Powder	2424A	(1)	
Kitchen	(2)3048C	(1)	
M. Bath	2448A	(1)	LH
M. Bedroom	14496	(1)	RH/Temp.
Dining Room	19296	(1)	Center (2) Operable/Temp.
Living Room	(2)3696F	(1)	
Stair	3696F	(1)	
Stair	7272F/(2)3624A	(1)	Mulled/Temp.
Garage	3048C	(1)	RH
Garage	2424A	(3)	

Windows to be Marvin Integrity series Black Fiberglass inside and out.



ROOF PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN - LOWER LEVEL
SCALE: 1/4" = 1'-0"

REVISIONS:
6-6-22
6-21-22 drb
10-18-22

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Unit AR-58R Timber Ridge at Mountain Village
128 Adams Way, Mountain Village
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SHEET
A2.2
Unit AR-58R

HIGH-DENSITY FIBERGLASS

A material with a high concentration of fiberglass and a strong resin, High-Density Fiberglass is a revolutionary material that echoes the look of other modern materials but with better thermal efficiency. In our Marvin Modern product line, High-Density Fiberglass is used on the exterior of the windows and

CONTACT US FIND A DEALER TECHNICAL SPECIFICATIONS

iration Why Marvin

at a rate comparable to that of glass to help maintain performance over time
- Maintains shape and thermal performance even in demanding climates
- Enables proprietary frame design that offers strength and performance even at expansive sizes

The Marvin Materials Difference: High-Density Fiberglass

We believe that modern windows and doors should perform better, so we developed a High-Density Fiberglass and patent-pending frame design for our Marvin Modern product line that reimagines how products in this size and style can perform. From exterior to interior, a solid piece of High-Density Fiberglass forms our unique new frame, which requires no additional material to aid in its thermal performance–a departure from our thermally broken competitors. Finished seamlessly to the interior with aluminum, we're able to deliver exceptional thermal performance to enable strength at large sizes while preserving desirably narrow sight lines.

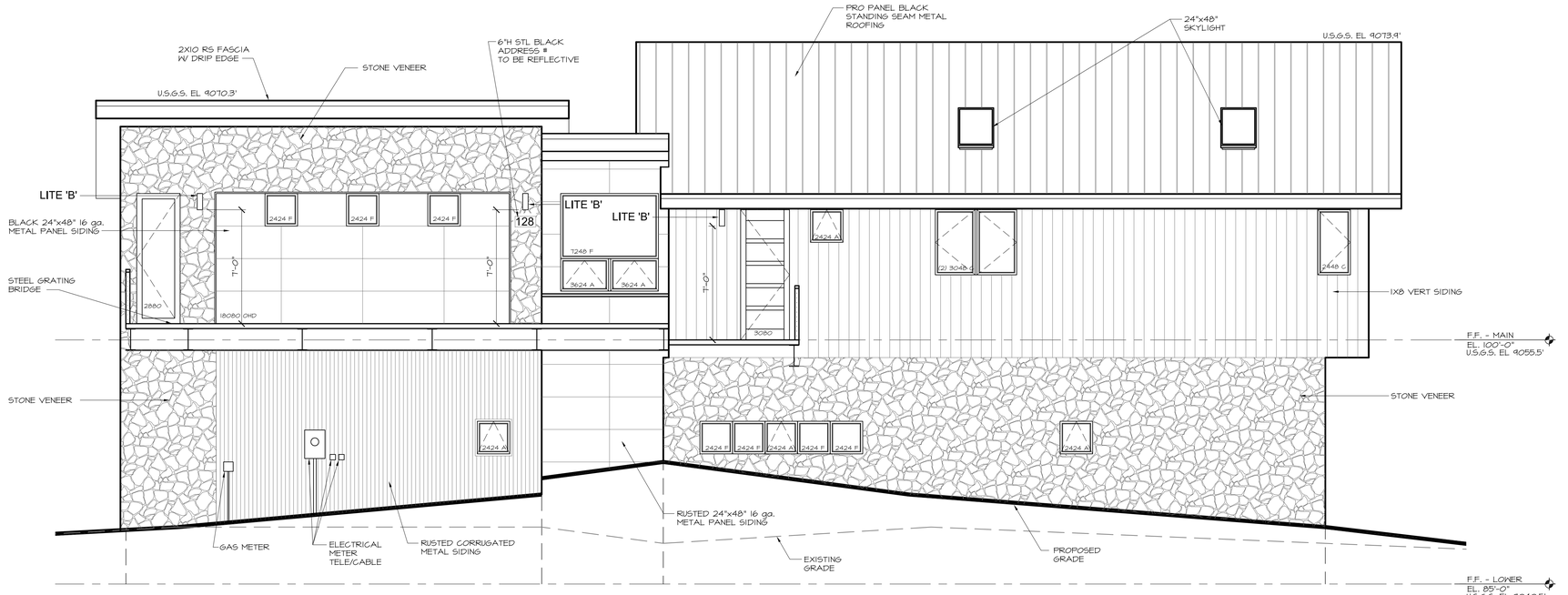
WINDOWS AND DOORS

House with Textured Black ABSeam Roof ...
abmartin.net

STANDING SEAM ROOFING AND FASCIA

RUSTED CORRUGATED SIDING

STONE VENEER



ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

PRELIMINARY ONLY

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STATE OF COLORADO
KENNETH BLAKE ALEXANDER
84727
LICENSED ARCHITECT

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Unit AR-58R Timber Ridge at Mountain Village
128 Adams Way, Mountain Village
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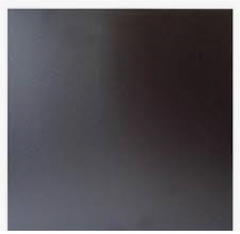
SHEET
A3.1
Unit AR-58R

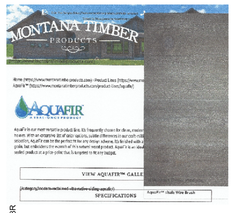


Steel - Black - Sheet Metal - Me...

BLACK FLAT STEEL PANEL

BRIDGE - RUSTED STEEL

VERTICAL BARN WOOD



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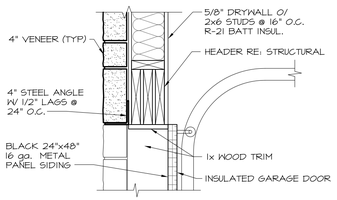
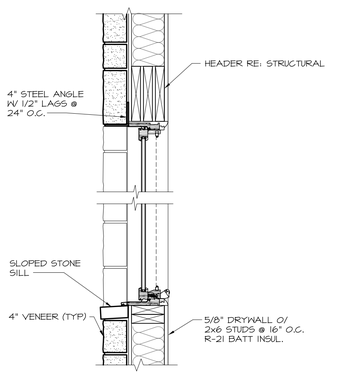
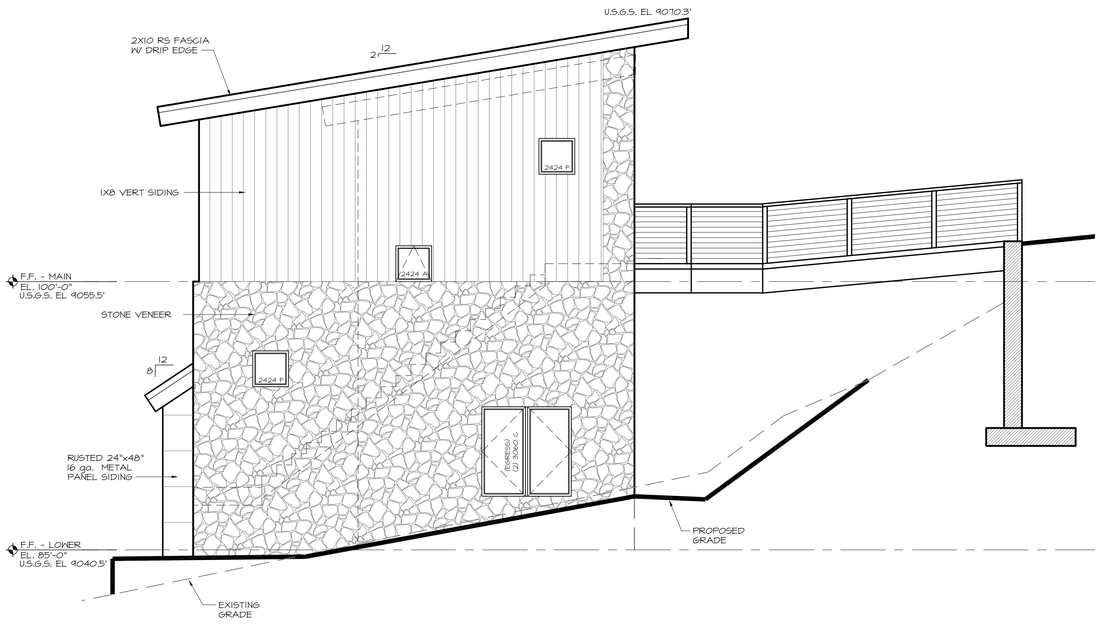


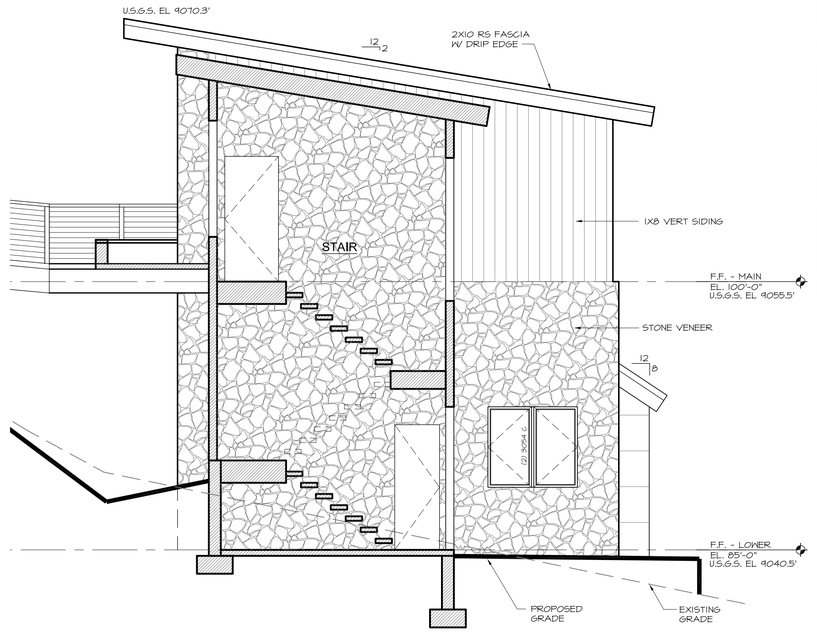
GARAGE DOOR DETAIL
SCALE: 1" = 1'-0"



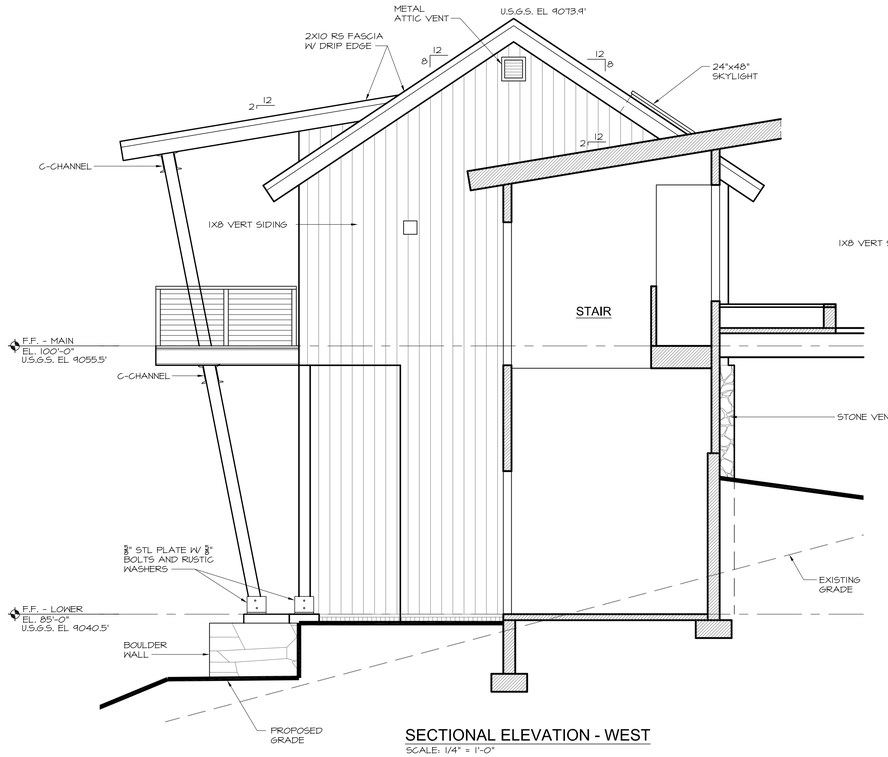
WINDOW RECESS DETAIL
SCALE: 1" = 1'-0"



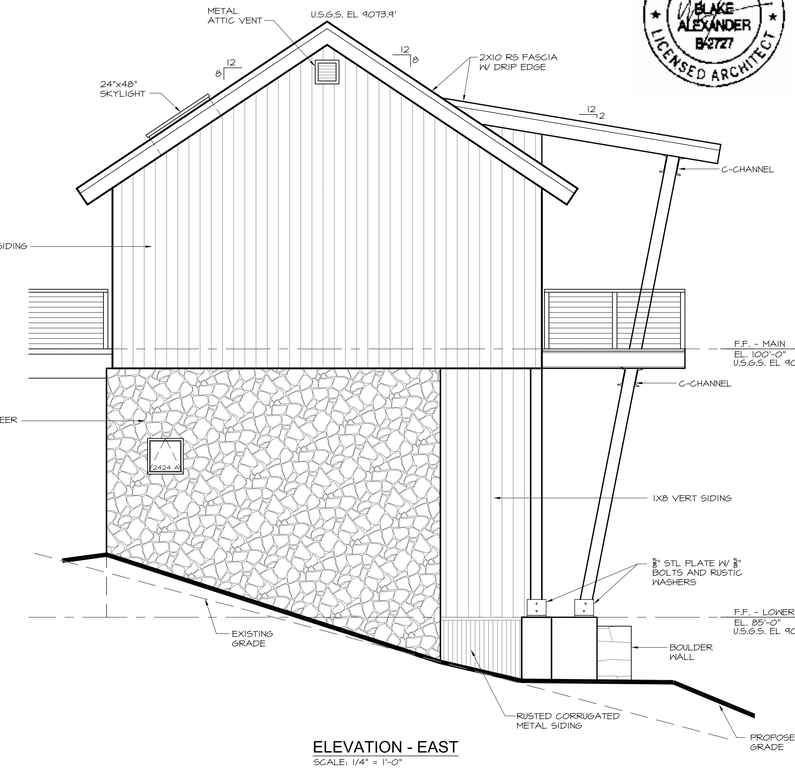
GARAGE ELEVATION - WEST
SCALE: 1/4" = 1'-0"



SECTIONAL ELEVATION - EAST
SCALE: 1/4" = 1'-0"



SECTIONAL ELEVATION - WEST
SCALE: 1/4" = 1'-0"



ELEVATION - EAST
SCALE: 1/4" = 1'-0"

STATE OF COLORADO
KENNETH BLAKE ALEXANDER
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NOT FOR CONSTRUCTION

Unit AR-58R Timber Ridge at Mountain Village
128 Adams Way, Mountain Village
San Miguel County, Colorado

DATE: 5.19.22

SHEET
A3.2
Unit AR-58R

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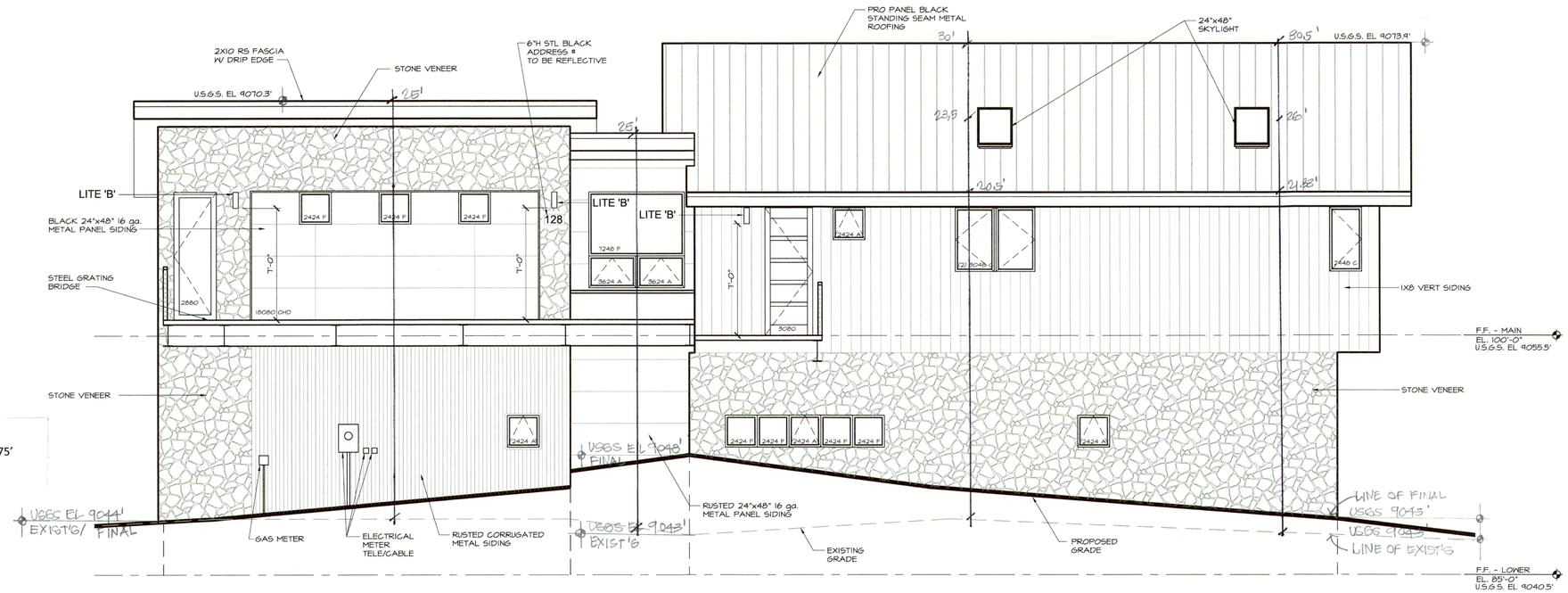

SOUTH ELEVATION
Max Average: 25' + 25.5' + 26' = 101.5' = 25.375'
4
Max height: 30.5'

NORTH ELEVATION
Max average: 28' + 27' + 33' + 34' + 32' = 154' = 30.8'
5
Max. Height: 30'

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San Miguel County, Colorado

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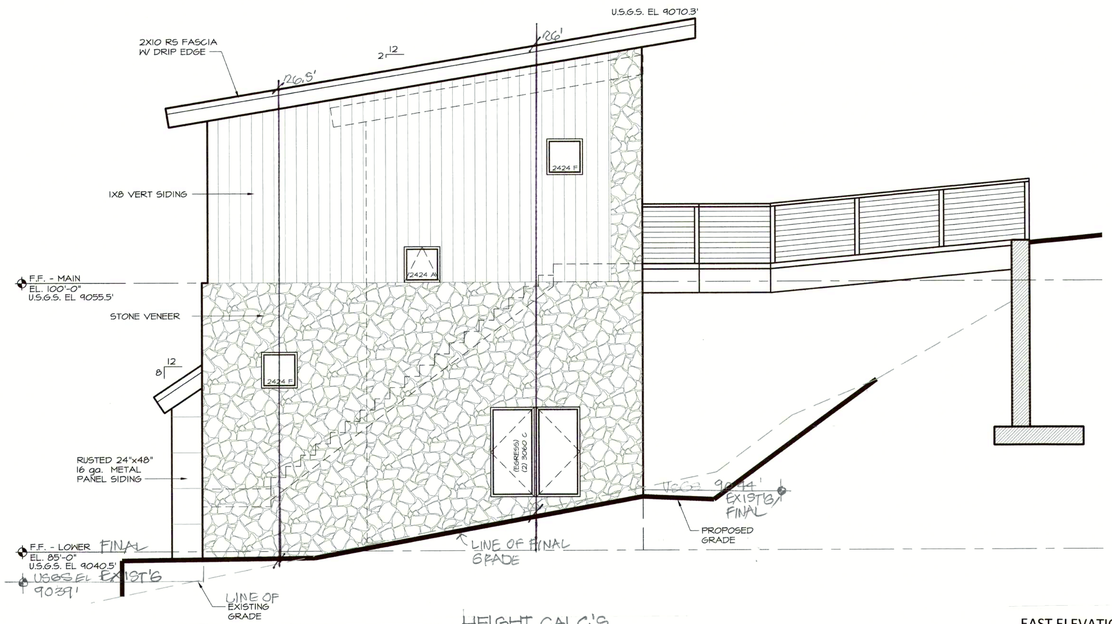
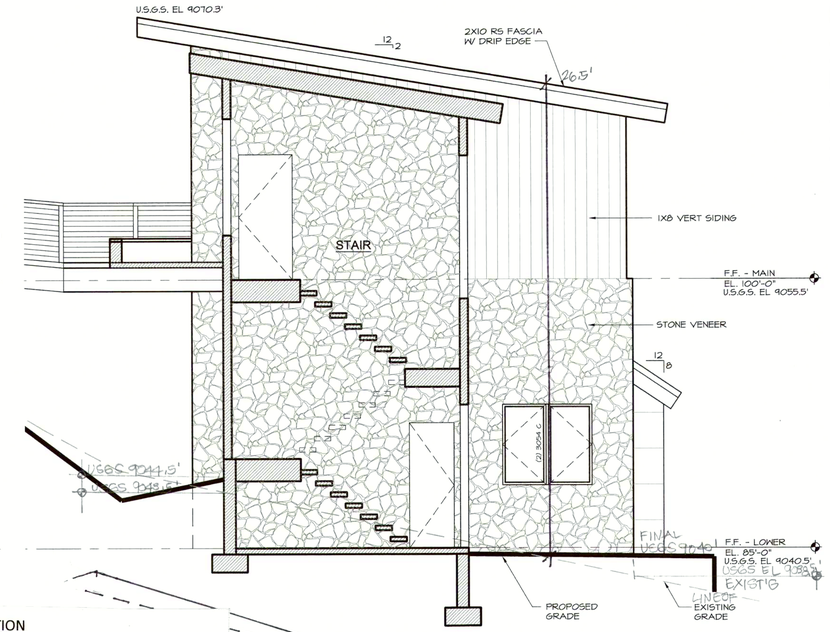
SHEET A3.1

Unit AR-58R



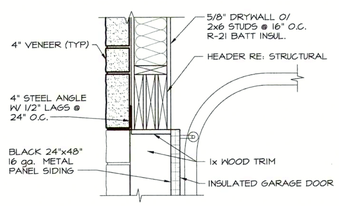
WEST ELEVATION
Max average: 26.5' + 26' = 52.5' = 26.25'
2
Max Height: 26'

HEIGHT CALC'S
GARAGE ELEVATION - WEST
SCALE: 1/4" = 1'-0"

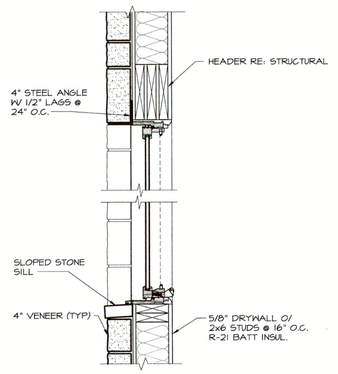


EAST ELEVATION
Max Average: 31.5' + 34.25' +23' = 88.75.' = 29.58'
3
Max Height: 34.25'

HEIGHT CALC'S
SECTIONAL ELEVATION - EAST
SCALE: 1/4" = 1'-0"

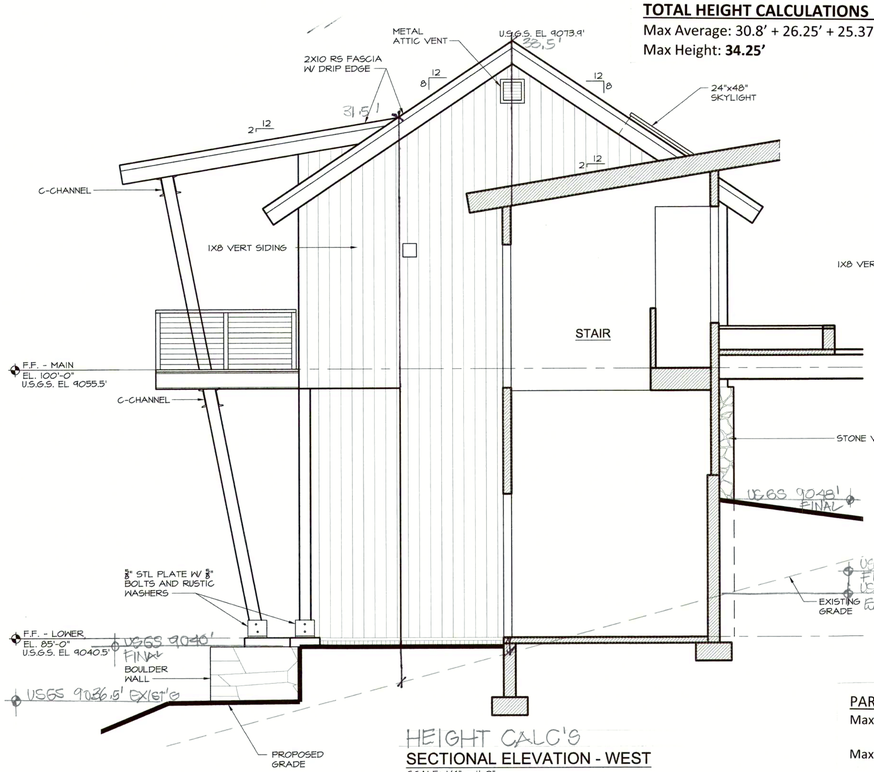


GARAGE DOOR DETAIL
SCALE: 1" = 1'-0"



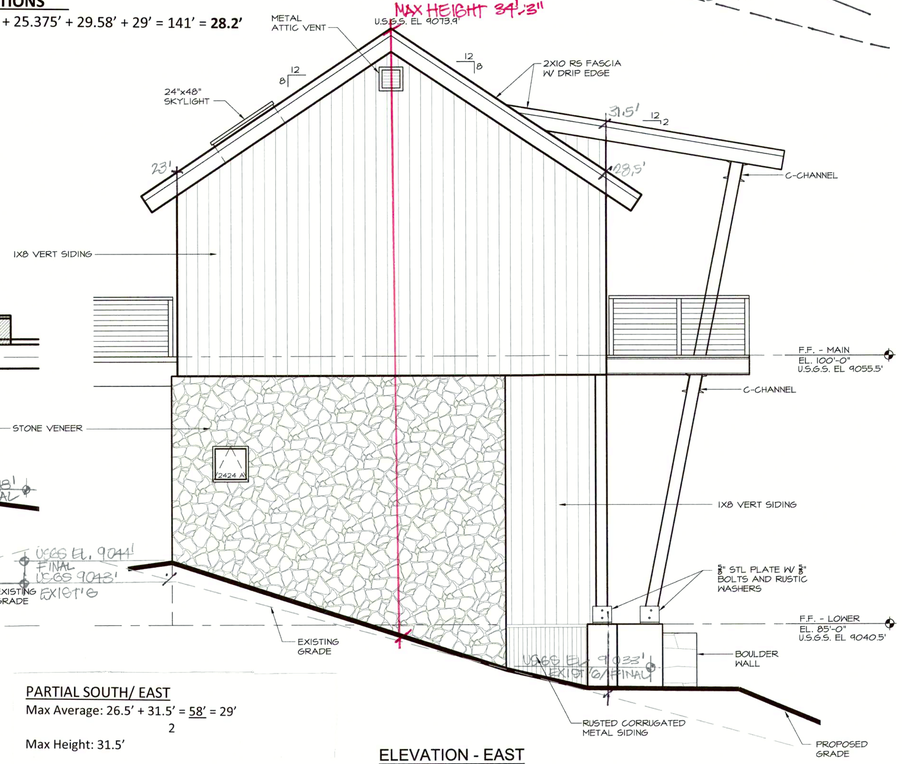
WINDOW RECESS DETAIL

TOTAL HEIGHT CALCULATIONS
Max Average: 30.8' + 26.25' + 25.375' + 29.58' + 29' = 141' = **28.2'**
Max Height: **34.25'**



HEIGHT CALC'S
SECTIONAL ELEVATION - WEST
SCALE: 1/4" = 1'-0"

PARTIAL SOUTH/ EAST
Max Average: 26.5' + 31.5' = 58' = 29'
2
Max Height: 31.5'



ELEVATION - EAST
SCALE: 1/4" = 1'-0"

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REVISIONS:
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Unit AR-58R Timber Ridge at Mountain Village
128 Adams Way, Mountain Village
San Miguel County, Colorado

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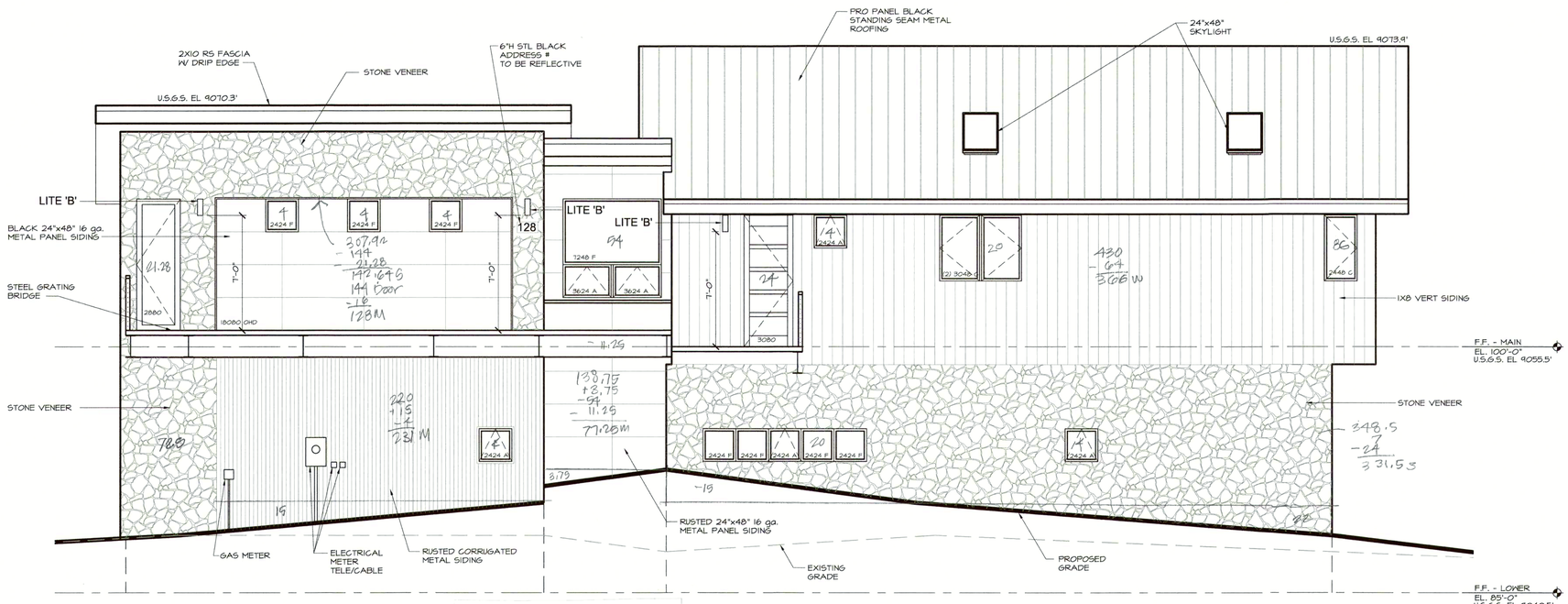
SHEET A3.2
Unit AR-58R



SOUTH ELEVATION
WOOD: **366SF**
GLASS: 20 + 54 + 44 + 28 + 8 = **144SF**
METAL: 77.25 +231+ 128 = **436.25SF**
STONE: 72 + 142.64 + 331.5 = **546.14SF**
TOTAL: **1492.39SF**

STONE CALC'S
ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

STONE CALC'S
ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

NORTH ELEVATION
WOOD: 219 + 121.25 + 319 + 71 + 46 = **776.25SF**
GLASS: 10 + 12 + 15 + 48 + 48 + 48 + 48 + 112 + 56 + 160 +96 + 96 = **653 SF**
METAL: 66 + 104 + 105 + 2.5 + 43.75 + 43.75 = **365SF**
STONE: 269.75 + 90 + 27.5 + 6 + 35 = **428.25SF**
TOTAL: **2318.75SF**

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6-23-22
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San Miguel County, Colorado

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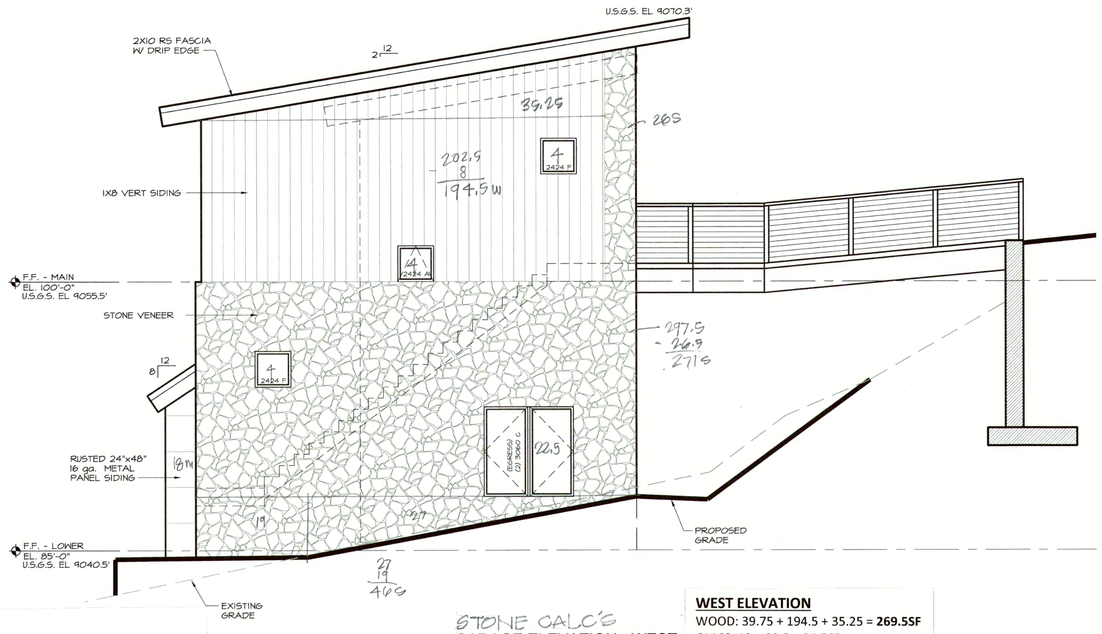
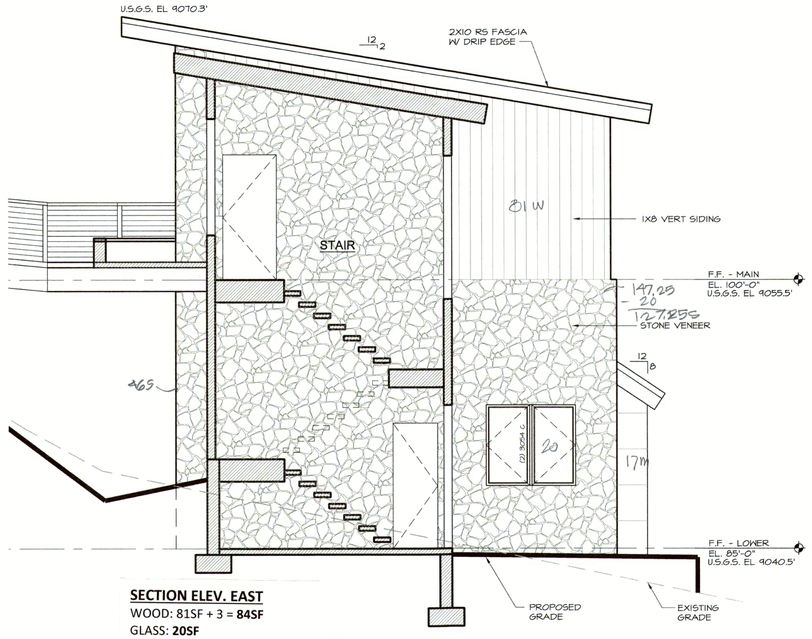
SHEET A3.1
Unit AR-58R



STONE CALC'S
GARAGE ELEVATION - WEST
SCALE: 1/4" = 1'-0"

WEST ELEVATION
WOOD: 39.75 + 194.5 + 35.25 = **269.5SF**
GLASS: 12 + 22.5 = **34.5SF**
METAL: **18SF**
STONE: 271 + 26 + 46 = **343SF**
TOTAL: **665SF**

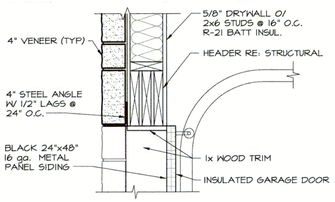


STONE CALC'S
SECTIONAL ELEVATION - EAST
SCALE: 1/4" = 1'-0"

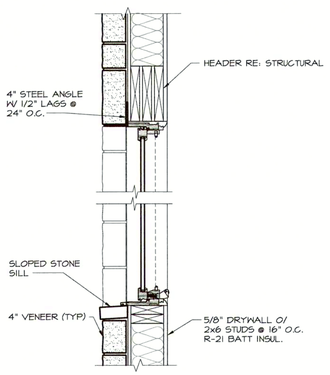
SECTION ELEV. EAST
WOOD: 81SF + 3 = **84SF**
GLASS: **20SF**
METAL: 17 + 8 = **25SF**
STONE: 46 + 127.25 = **173.25SF**
TOTAL: **302.25SF**

STONE CALCULATION TOTALS

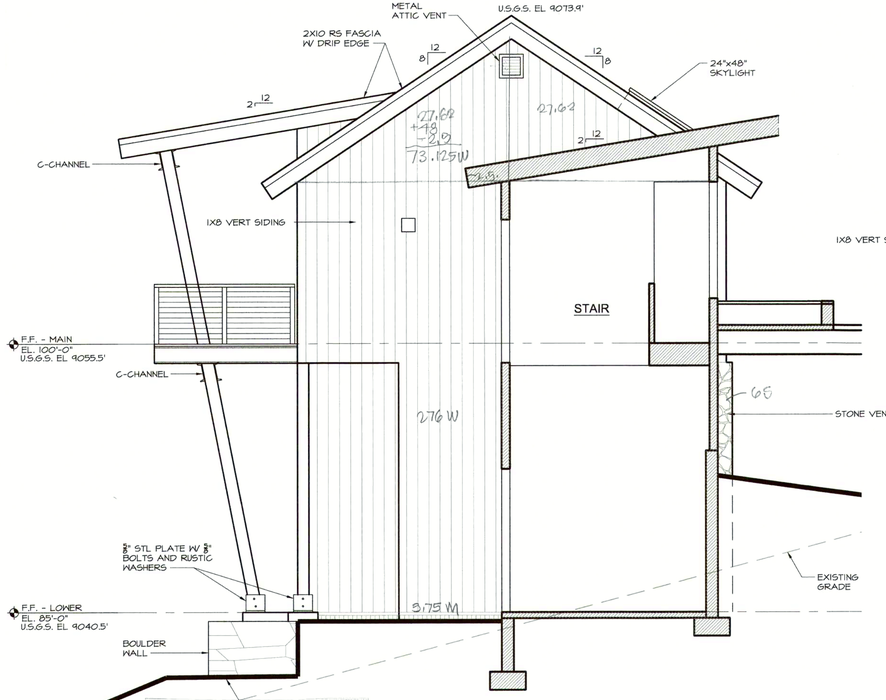
	WOOD	GLASS	METAL	STONE	TOTAL
N. ELEV.	776.25	749	365	428.25	2318.5SF
W. ELEV.	269.5	34.5	18	343	665SF
S. ELEV.	366	144	436.25	546.14	1492.39SF
E. ELEV.	413	4	19.25	252.5	688.75SF
SECT. W.	349.12	0	5.75	6	360.87SF
SECT. E.	84	20	25	173.25	302.25SF
TOTAL	2257.87	951.5	869.25	1749.14	**5827.76SF**
				30%	



GARAGE DOOR DETAIL
SCALE: 1" = 1'-0"

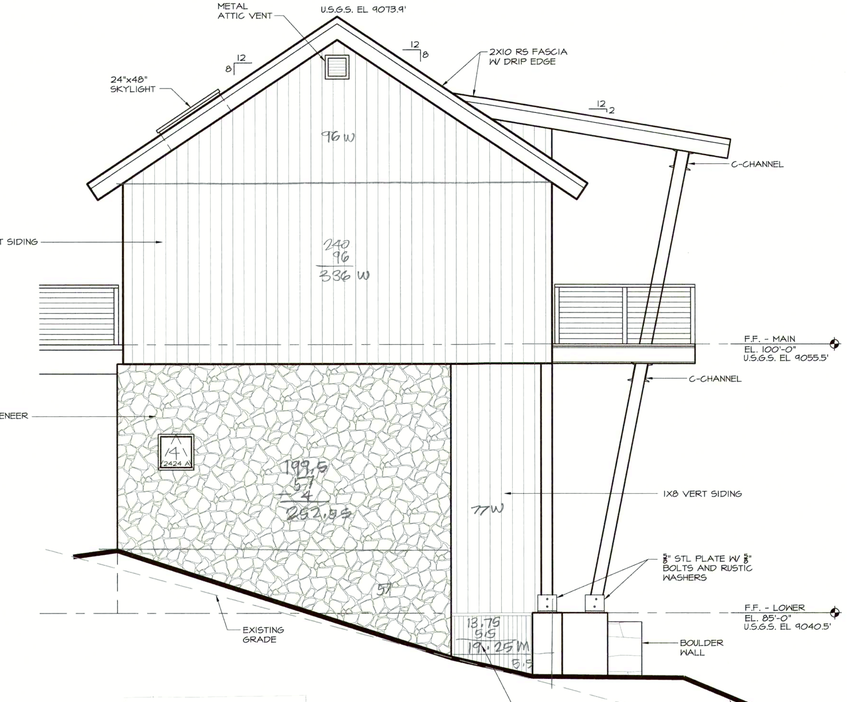


WINDOW RECESS DETAIL
SCALE: 1" = 1'-0"



SECTION ELEV. WEST
WOOD: 276 + 73.125 + = **349.125SF**
GLASS: **0SF**
METAL: **5.75SF**
STONE: **6SF**
TOTAL: **360.875SF**

STONE CALC'S
SECTIONAL ELEVATION - WEST
SCALE: 1/4" = 1'-0"



EAST ELEVATION
WOOD: 336 = 77 = **413SF**
GLASS: **4SF**
METAL: **19.25SF**
STONE: **252.5SF**
TOTAL: **688.75SF**

STONE CALC'S
ELEVATION - EAST
SCALE: 1/4" = 1'-0"

PRELIMINARY ONLY

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NOT FOR CONSTRUCTION

Unit AR-58R Timber Ridge at Mountain Village
128 Adams Way, Mountain Village
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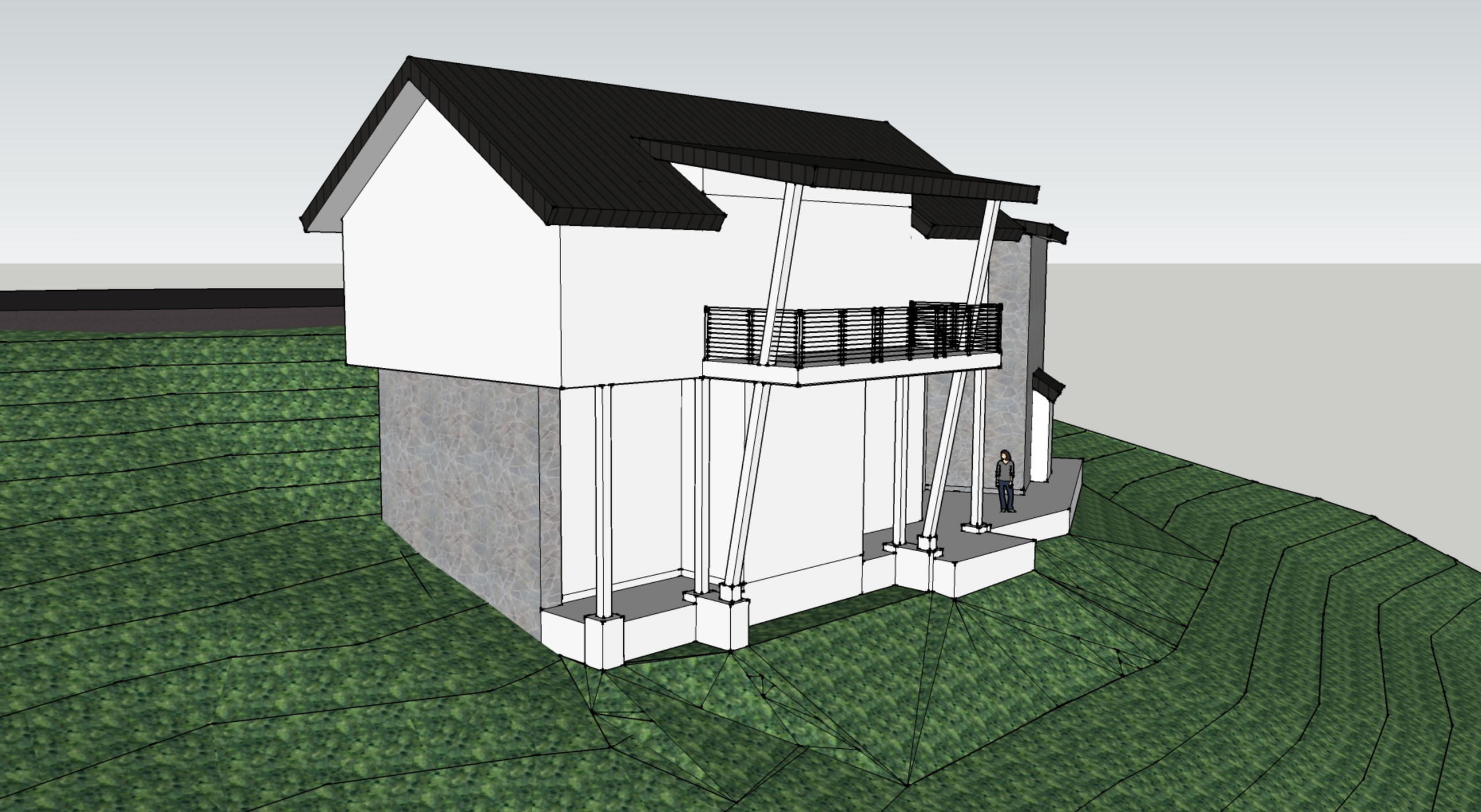
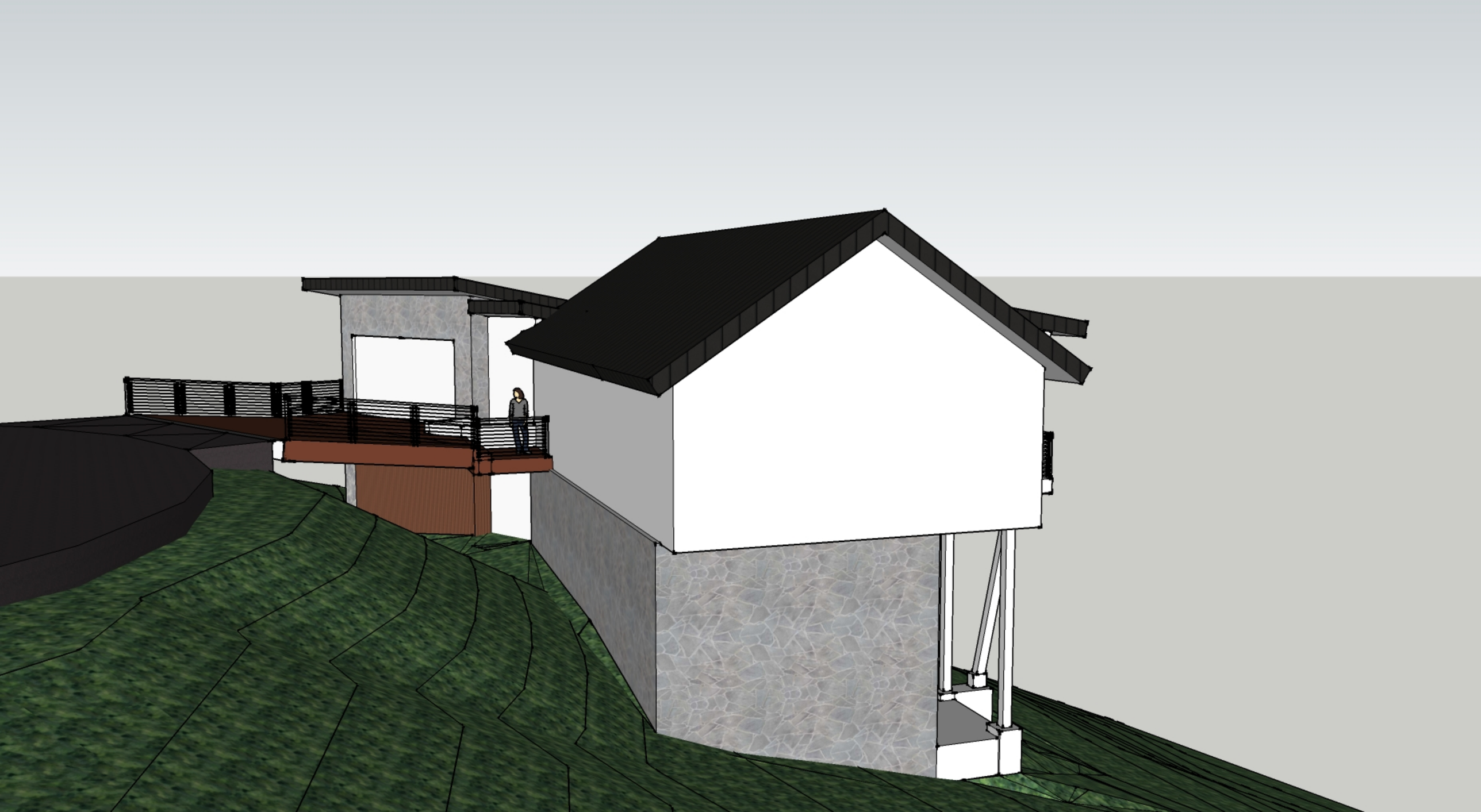
DATE: 5.19.22

SHEET
A3.2S
Unit AR-58R





DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments
Lot AR58, 127 Adams Way:

I don't see that I replied to this application. Public Works has no issues with this application. – Finn KJome

TELLURIDE FIRE PROTECTION DISTRICT

Scott Heidergott, Fire Marshal

Date: 10/31/2022
Address: Lot AR58, 127 Adams Way
Mountain Village, CO 81435

TFPD approves the proposal with the following conditions:

1) The structure shall require a monitored fire alarm system.
2) The width of the driveway shall meet the code of 16-feet total width. 12-feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
3) The address numbers shall be minimum 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated or outlined with a reflective coating.
4) TFPD recommends the installation of a Knox Box for access during emergency situations.

From: Scott Heidergott
To: Amy Ward
Cc: Ken
Subject: Re: AR58 - Andy"s
Date: Monday, July 18, 2022 8:19:18 AM
Attachments: image001.png

Amy,

The address numbers on the structure are approved with conditions:

1) The address numbers shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
2) The address numbers shall not be obstructed from view from the roadway.

Kind regards,

On Wed, Jul 13, 2022 at 12:02 PM Amy Ward <award@mtnvillage.org> wrote:

> Scott,
>
> Ken Alexander is the architect of record for Lot AR58, 126 Adam's Way. The edge of home will be over 20' from road edge, we require a separate address monument for anything over 20'. Connecting you here so he can show you what he's proposing (ken, will you send and image with dimensions). If you're ok with it, then staff would recommend a design variation be approved.
>
> Ken,
>
> Andy's Lot is AR58.
>
> We do require an engineer to stamp utility plans, see below from our design review application:
>
> **A. Engineered Infrastructure Plan.** The development shall include sufficient infrastructure designed by a Colorado registered professional engineer, including but not limited to vehicular and pedestrian access, mass transit connections, parking, traffic circulation, fire access, water, sewer and other utilities.
>
> **i. Utility Plan**. A composite utility plan showing the intended routes for providing water, sewer, electric, cable and telecommunications.
>
> Let me know if you are requesting a waiver of this and I will send on to Michelle for review.
>
> Amy Ward
>
> Senior Planner
> Town of Mountain Village
>
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--

Scott Heidergott
Fire Marshal

sheidergott@telluridefire.com | Cell: 970-708-0098

Telluride Fire Protection District | http://telluridefire.com/
PO Box 1645
131 West Columbia Avenue
Telluride, CO 81435

Station: 970-728-3801
Fax: 970-728-3292

AGENDA ITEM 11
PLANNING & DEVELOPMENT SERVICE
PLANNING DIVISON
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Design Workshop on behalf of the Town of Mountain Village

FOR: Design Review Board Public Hearing; December 1, 2022

DATE: December 1, 2022

RE: Staff Memo – Final Architecture Review (FAR) Lot 508, 125 Russell, pursuant to CDC Section 17.4.11

APPLICATION OVERVIEW: New Single-Family Home on Lot 508

PROJECT GEOGRAPHY
Legal Description: LOT 508 TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO FILING 2 SINGLE FAMILY PLAT BOOK 1 AT PAGE 702, COUNTY OF SAN MIGUEL, STATE OF COLORADO
Address: 125 RUSSELL DRIVE, MOUNTAIN VILLAGE, CO 81435
Applicant/Agent: Jack Wesson, Jack Wesson Architects, Inc.
Owner: Isa Re Holdings, LLC
Zoning: Single-Family
Existing Use: Vacant
Proposed Use: Single-Family
Lot Size: .61
Adjacent Land Uses:

- **North**: Open Space
- **East:** Single-Family
- **West:** Single-Family
- **South:** Open Space

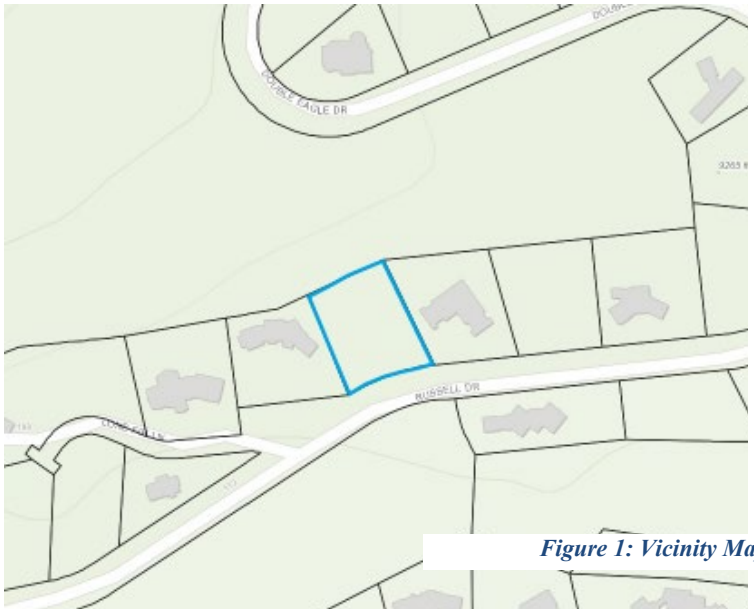


Figure 1: Vicinity Map

ATTACHMENTS
Exbibit A: Architectural Plan Set
Exhibit B: Referral Comments

Case Summary: Jack Wesson of Jack Wesson Architects, Inc. is requesting Design Review Board (DRB) approval of Final Architectural Review (FAR) Application for a new single-family home on Lot 508, 125 Russell Drive.

The proposed structure is two stories and utilizes a gable roof form. The lot has mildly steep topography that inclines from the northwest to the southeast. The property is proposed to face the southeast corner of the lot. The lot is approximately .61 acres and is zoned single-family. The overall square footage of the home is approximately 3,960 livable square feet and provides two interior parking spaces within the proposed garage and two exterior parking spaces.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by*** *Italicized Text.*

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

CDC Provision	Requirement	Proposed
Maximum Building Height	40' (gable) Maximum	32'-7 ¾"
Avg. Building Height	35' (gable) Maximum	21'-3 ½"
Maximum Lot Coverage	40% (27,369 sq ft)	14.5% (3,960 sq ft)
General Easement Setbacks	No encroachment	No encroachment
Roof Pitch		
Primary		8:12
Secondary		8:12
Exterior Material		
Stone Veneer	35% minimum	35.05%
Wood Siding	n/a	41.17%
Windows/Door Glazing	40% maximum	16.53%
Metal Siding	n/a	7.25%
Parking	2 interior/2 exterior	2 interior/ 2 exterior

Design Review Board Specific Approvals:

1) *Metal Soffit (unless indicated as another material by the applicant at the DRB Final Review)*

Please note, this Memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated November 3, 2022.

Chapter 17.3: ZONING AND LAND USE REGULATIONS
17.3.11 and 17.3.12: Building Height and Building Height Limits
Staff: Criteria met.

17.3.14: General Easement Setbacks
Lot 508 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC does provide for some

development activity within the GE and setbacks such as driveways, ski access, natural landscaping, utilities, address monuments, and fire mitigation. All encroachments not listed above will require encroachment agreements between the property owner and the Town.

Staff: The proposal includes several GE encroachments that fall into the above category of permitted GE development activity including the following:

- *Driveway: The Driveway and associated retaining wall as shown currently takes access from Russel Drive and crosses the General Easement to the homesite.*
- *Utilities: Utilities are proposed to be located on Russel Drive and will cross the southern GE to the lot. An existing gas line connects to the Telluride Ski & Golf Club's vacant property to the north and crosses the GE. This will also require an agreement with the landowner.*

Regardless of the encroachment, any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

Chapter 17.5: DESIGN REGULATIONS
17.5.4: Town Design Theme
Staff: Criteria met.

17.5.5: Building Siting Design
Staff: Criteria met.

17.5.6: Building Design
The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. Roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation is required. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

Chimneys, Vent and Rooftop Equipment Design:
The applicant has identified a wood burning fireplace. The applicant has updated their application materials to include the approved wood burning fireplace permit. The applicant has also updated their application materials to include details of chimney cap and spark arrester on Sheet A302 of Exhibit A.

Exterior Walls Materials and Color:
The applicant has not identified a material for the soffit. If metal is used, the proposal will be subject to specific approvals from the DRB outlined in section 17.5.6.C.3.h.ii.

Doors and Entryways:

The applicant has revised Sheet A302 and Sheet A800 of Exhibit A to provide a description of the doors and entryways. The provided details meet the requirements of the CDC.

Required Surveys and Inspections:
A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

17.5.7: Grading and Drainage Design

Staff: The applicant is proposing a change to grading and the use of two boulder retaining walls on the lot. The proposed grading shows that the contours are offsetting to the proposed structure rather than mimicking the natural topography of the current landscape. These walls are shown on the Civil Plans (Sheet C2). The wall along the southern elevation measures 3 feet to 3.5 feet, while the wall along the northern section elevation measures between 4 feet and 5.5 feet.

The applicant has updated their plans to provide a retaining wall perspective as well as indicate that the northern retaining wall will be visually buffered.

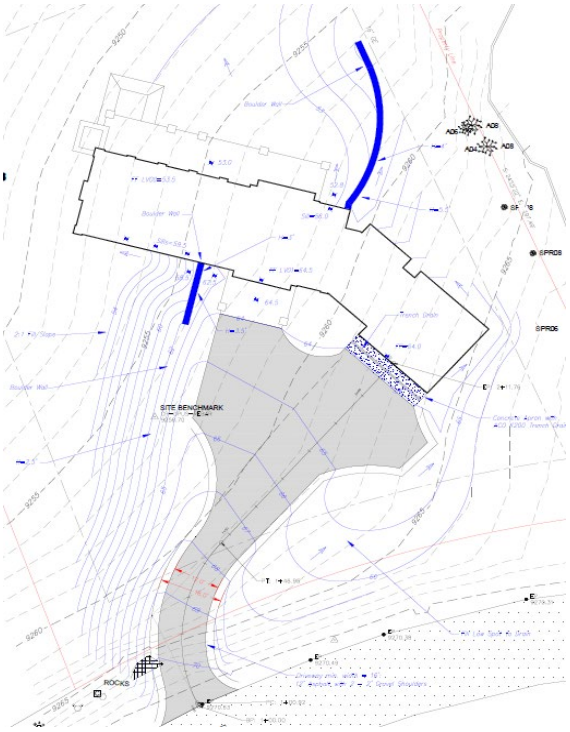


Figure 2: Proposed Grading and Retaining Walls

Figure 3: Retaining Walls Perspective

17.5.8: Parking Regulations

Staff: Criteria met.

17.5.9: Landscaping Regulations

Staff: The applicant has updated their landscape plan to include statements requiring that the landscape meet the diversity of species requirement of the CDC and meet the Town Forrester Comments requiring that every tree needs to represent at least two separate genus and one of the genus classes be represented by two separate species. The proposed plan still lists the same number of trees and their species as presented at Initial Review. The Town Forester also recommends a greater diversity of shrub species. The applicant should revise their landscaping plans to ensure that the requirements of the CDC and Town Forester are met.

17.5.11: Utilities

Staff: The applicant shall work with Public Works to field verify all utilities.

17.5.12: Lighting Regulations

Staff: The applicant has revised the outdoor light fixtures according to the conversation at the November 3,2022 DRB meeting. Staff now finds that the lighting plan is meeting all CDC lighting requirements.

Figure 4: Fixture A - Wall luminaire

Figure 5: Fixture B -Entry/ FR Sconce

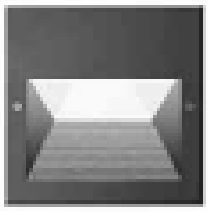


Figure 6: Fixture C - Step light

Figure 7: Fixture D - Rope Light

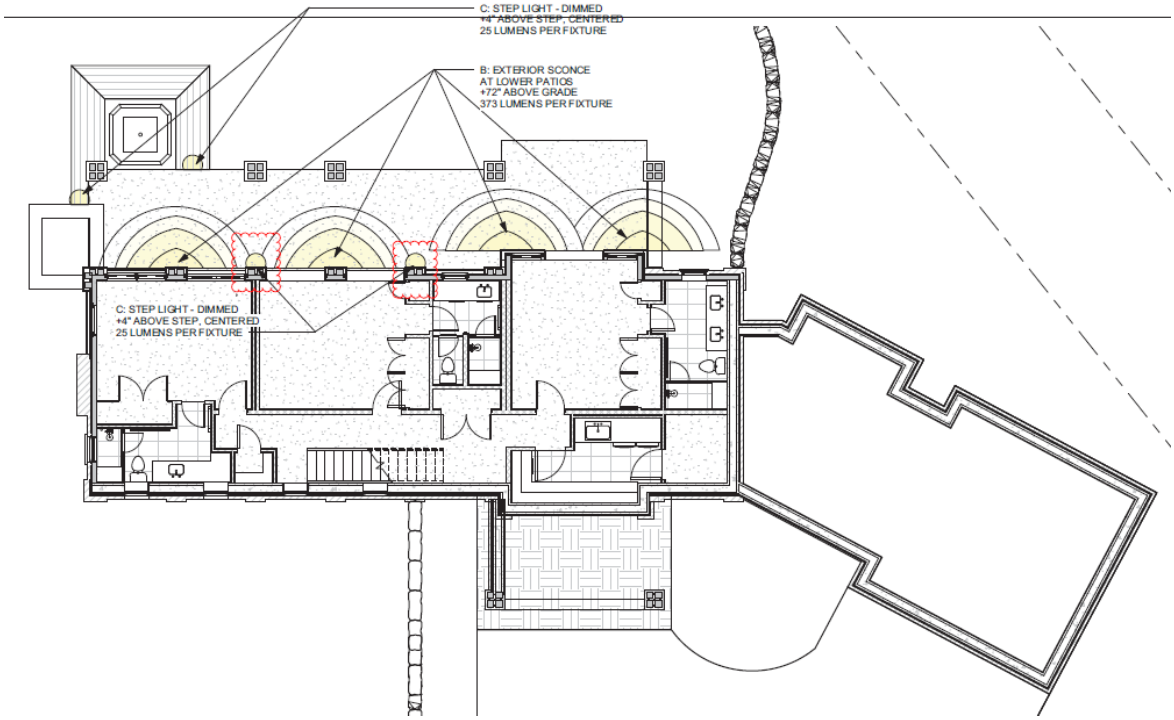


Figure 8: Exterior Lighting Plan – Lower Level

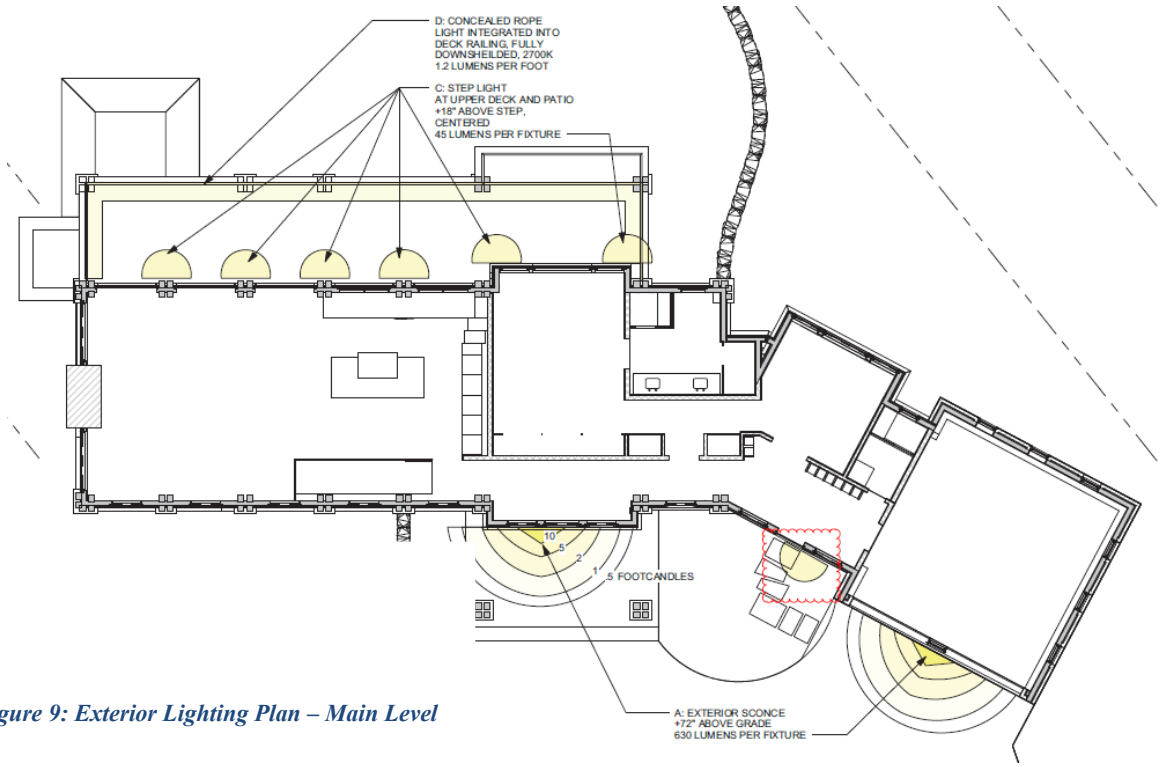


Figure 9: Exterior Lighting Plan – Main Level

17.5.13: Sign Regulations

Staff: The applicant has updated the application materials to indicate that the address monument will be outside of the General Easement closer to the structure and will adhere to the design requirements of the CDC.

Chapter 17.6: SUPPLEMENTARY REGULATIONS
17.6.1: Environmental Regulations
Staff: The applicant has revised their fire mitigation plan to indicate Zone 1 begins at the dripline of the vegetation within the outer edge of the developed area. The applicant has also revised their application materials on Sheet A101 to show the removal of all trees in Zone 1, 10-foot separation of crowns of groupings of trees and clear branches below 10 feet in Zone 2 and thinning and clearing of dead trees in Zone 3. The updated plan adheres to the requirements of the CDC.

The applicant has also indicated the use of a monitored NFPA 13D sprinkler and NFPA 72 fire alarm system in accordance with the recommendations of the TFPD.

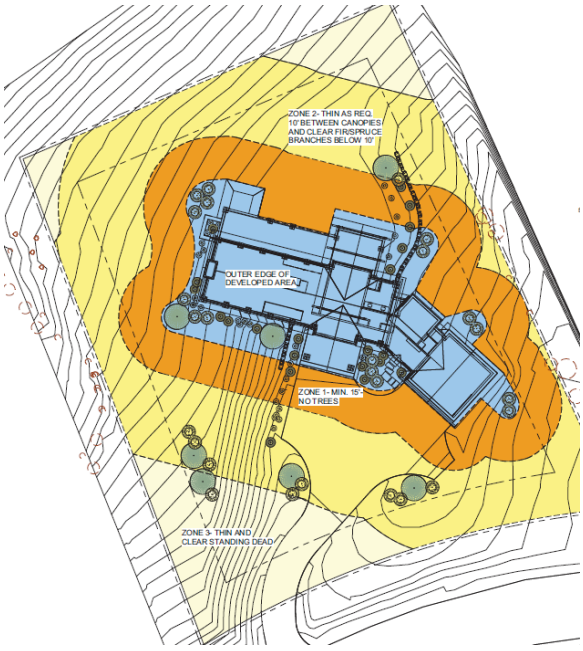


Figure 10: Fire Mitigation Plan

17.6.6: Roads and Driveway Standards
Staff: Criteria met.

17.6.8: Solid Fuel Burning Device Regulations
Staff: The applicant has indicated that the proposed home includes a solid fuel burning fireplace. A solid fuel burning permit must be provided to the Town per section 17.6.8A of the CDC. The installation of a spark arrester is also required.

Chapter 17.7: BUILDING REGULATIONS
17.7.20: Construction Mitigation
Staff: The applicant has revised the Construction Mitigation Plan per the comments from Initial Review to include areas for material storage.

The parking plan still indicates five spots on the site located in the current driveway, which is an area that won't be available for use until initial stages of construction are complete. The applicant will likely still need to work with the Town for roadside parking permits until the driveway is created. It is possible that until the driveway is created that at least some workers will need to be shuttled to the site from elsewhere.

Staff Recommendation: Staff recommends approval of the initial architectural review with conditions.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

Proposed Motion:
If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architecture Review for a new single-family home located at Lot 508, based on the evidence provided in the staff record of memo dated December 1, 2022, and the findings of this meeting with the following findings and specific approvals:

Findings:

1) *The proposed soffit material is_____*

Design Review Board Specific Approvals:

1) *Metal Soffit (unless indicated as another material by the applicant at the DRB Final Review)*

And the following Conditions:

1) *Prior to building permit, the applicant shall work with the Town to obtain proper parking permits for on-street parking for the construction mitigation plan during the construction of the driveway.*
2) *Prior to building permit, the applicant shall work with Public Works to field verify all utilities.*
3) *Prior to building permit, the applicant shall submit a revised landscaping plan for staff review to address comments provided by the Town Forrester regarding diversity of species.*
4) *If required, the applicant shall obtain necessary road closure permits from the Town prior to any crane usage that would impact roadway access on Russell Drive.*
5) *Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.*
6) *Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.*
7) *A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.*
8) *Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:*
    a. *The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');*
    b. *Wood that is stained in the approved color(s);*
    c. *Any approved metal exterior material;*
    d. *Roofing material(s); and*
    e. *Any other approved exterior materials*
9) *It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.*

BUILDING SUMMARY

SITE PERMIT NUMBER:	-
BUILDING PERMIT NUMBER:	-
PROJECT ADDRESS:	TBD- RUSSELL DRIVE
BLOCK:	-
LOT:	LOT 508
LOT AREA:	27,369 SQ. FT.
ZONING DISTRICT:	SINGLE FAMILY
PROPOSED USE:	RESIDENTIAL
NUMBER OF STORIES:	1
NUMBER OF SUB-LEVELS:	1
A Knox Box for emergency access is recommended.	
FIRE SPRINKLERS REQUIRED- monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system	

CODE SUMMARY

BUILDING CODE:	INTERNATIONAL RESIDENTIAL CODE (2012) INTERNATIONAL ELECTRICAL CODE (2012) INTERNATIONAL FIRE CODE (2012) INTERNATIONAL MECHANICAL CODE (2012) INTERNATIONAL PLUMBING CODE (2012)
ENERGY CODE:	NATIONAL ENERGY CODE (2017)
TYPE OF CONSTRUCTION:	TYPE 5-B
OCCUPANCY:	R-3
BUILDING AREA:	3,290 SF LIVING 3,830 TOTAL
130 LB GROUND SNOW LOAD, 90 MPH EXPOSURE C WIND,	
FROST DEPTH 48"	

ABBREVIATIONS & SYMBOLS

WALL, BUILDING OR MISCELLANEOUS SECTION NO. DRAWING NO. — 1 / A4.0

INTERIOR ELEVATION NO. SHEET NO. — A—7.0

ROOM NAME ROOM NO. — KITCHEN 206

DOOR NO. — 117

ELEVATION WINDOW NO. — S1

FRAME WALL

BRICK/STONE VENEER

SPOT ELEVATION

ROOF SLOPE — 12 / 10

A.B.	AS BUILT / ANCHOR BOLT	MAX.	MAXIMUM
A.C.T.	ACOUSTICAL CEILING TILE	MECH.	MECHANICAL
ADJ.	ADJUSTABLE	MFG.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	M.H.	MANHOLE
ALT.	ALTERNATE	MIN.	MINIMUM
ALUM.	ALUMINIUM	MISC.	MISCELLANEOUS
BD.	BOARD	M.L. / ML	MICRO-LAM
BLDG.	BUILDING	M.L.R./MB	MICRO-LAM BEAM.
BOT.	BOTTOM	N.I.C.	NOT IN CONTRACT
BYND.	BEYOND	NO.	NUMBER
C.A.T.V.	CABLE TELEVISION LINE	N.T.S.	NOT TO SCALE
C.J.	CONTROL JOINT	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	O.P.	OUTSIDE DIAMETER
COL.	COLUMN	OPNG.	OPENING
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS	PERF.	PERFORATED
CTR.	CENTER	P.L.	PROPERTY LINE
DET.	DETAIL	P.LAM.	PLASTIC LAMINATE
DIAG.	DIAGONAL ELECTRIC LINE	POL.	POLISHED
EA.	EACH	PR.	PAIR
E.J.	EXPANSION JOINT	PTD.	PAINTED
EQ.	EQUAL	REQ'D.	REQUIRED
EXP. JT.	EXPANSION JOINT	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
FIN.FL/F.F.	FINISHED FLOOR	SCHED.	SCHEDULE
FIN. GR.	FINISH GRADE FLOOR	SHT.	SHEET
F.S.P.	FIRE STAND PIPE	SIM.	SIMILAR
F.V.	FIELD VERIFY	SPEC.	SPECIFICATION
GA.	GAUGE	SQ. FT.	SQUARE FEET
GALV.	GALVANIZED	SQ. IN.	SQUARE INCHES
GBX.	GYPSUM BOARD TYPEX	STD.	STANDARD
GL.	GLASS	STL.	STEEL
GB.	GYPSUM WALL BOARD	TC.	TOP OF CURB.
H.C.	HOLLOW CORE	T & G.	TONGUE & GROOVE
H.M.	HOLLOW METAL	T.O.C.	TOP OF CONCRETE
HORIZ.	HORIZONTAL	T.O.S.	TOP OF SLAB
HVAC.	HEATING VENTILATION	TYP.	TYPICAL
I.D.	INSIDE DIAMETER	T.	TELEPHONE LINE
IN.	INCH / INCHES	U.B.C.	UNIFORM BUILDING CODE
INSUL.	INSULATION	U.N.O.	UNLESS NOTED OTHERWISE
JT.	JOINT	VERT.	VERTICAL
LAM.	LAMINATED	V.I.F.	VERIFY IN FIELD
LAV.	LAVATORY	WD.	WOOD

GENERAL NOTES

GN01- CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, AND DRAWINGS WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

GN02- MATERIALS AND ASSEMBLIES:
ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, O.S.H.A. REQUIREMENTS, ORDINANCES, AND REGULATIONS. THE CONTRACTOR, SUB-CONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP.

GN03- CONTRACTOR TO REVIEW GEO-TECHNICAL REPORT FOR BUILDING SYSTEM RECOMMENDATIONS. SHOULD UNEXPECTED SITE CONDITIONS ARISE DURING EXCAVATION, THE ARCHITECT AND GEO-TECHNICAL ENGINEER SHALL BE NOTIFIED FOR A SITE EVALUATION OF EXISTING CONDITIONS.

GN04- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY THE ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH THE FLOORS, CEILING AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS.

GN05- ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE GENERAL CONTRACTOR AND HIS/HER SUBCONTRACTORS. THEY SHALL BE ONE AND THE SAME.

GN06- THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE BUILDING PERMITS, ALL NECESSARY INSPECTIONS AND THE CERTIFICATE OF OCCUPANCY.

GN07- THE CONTRACTOR SHALL COMPILE AND SUBMIT AS REQUIRED TO MANUFACTURERS AND OWNER ALL MATERIAL, FIXTURE AND APPLIANCE WARRANTIES.

GN08- THE JOBSITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY MANNER, FREE OF TRASH AND CONSTRUCTION DEBRIS.
THE CONTRACTOR SHALL PROVIDE FOR RECYCLING AT THE JOB SITE.

GN09- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS BEING DELIVERED TO THE PROJECT AND THE PROTECTION OF NEIGHBORING PROPERTIES.

GN10- THE CONTRACTOR SHALL COORDINATE WITH ALL EQUIPMENT MANUFACTURERS FOR EQUIPMENT ROUGH-IN REQUIREMENTS.

GN11- THE CONTRACTOR SHALL VERIFY REQUIRED LOCATIONS OF ALL NECESSARY ACCESS PANELS IN ALL PARTITIONS, FLOORS, CEILING, AND WALLS AND COORDINATE EXACT LOCATIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. ALL ACCESS PANELS SHALL BE INSTALLED FLUSH TO SURFACE WITH NO TRIM.

GN12- FOR THIS PROJECT, DATUM 100.00' IS SET AT FINISH FLOOR, MAIN LEVEL OF THE UNIT.
GN13- DATUM ELEVATIONS ARE GIVEN TO TOP OF FINISH FLOOR. ALL OTHER FINISH MATERIALS ARE ADDED TO THESE GIVEN ELEVATIONS UNLESS OTHERWISE NOTED.

GN14- DO NOT OBTAIN DIMENSIONS BY SCALING DRAWINGS - USE WRITTEN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE PROJECT ARCHITECT BEFORE THE COMMENCEMENT OF WORK.

GN15- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TAKEN TO THE FOLLOWING IN ORDER OF PRIORITY:

A. GRID LINES
B. FLOOR LINES
C. WORK POINTS
D. STRUCTURAL STEEL
E. FACE OF STUD
F. FACE OF CONCRETE
G. FACE OF FINISH

GN16- UNLESS OTHERWISE NOTED, DIMENSIONS ARE ASSUMED TO BE:

A. PLUMB
B. LEVEL
C. SQUARE
E. PARALLEL
F. TO ESTABLISHED AXES OR BASELINES AS ESTABLISHED BY DIMENSIONAL OR ANGULAR NOTATIONS

GN17- ALL GLASS MUST CONFORM TO CODE REQUIREMENTS FOR SAFETY GLAZING.

GN18- MATERIALS, WHERE REQUIRED, ARE TO HAVE AN UL LABEL IN AN INCONSPICUOUS BUT VISIBLE LOCATION.

GN19- SIZES, DIMENSIONS, LOCATIONS, AND DETAILS OF PLANTERS, TREE GATES, CONCRETE FINISH, TILE PATTERNS, GRADING, SITE LIGHTING, ETC., ASSOCIATED WITH LANDSCAPE ARE SHOWN ON LANDSCAPE DRAWINGS.

GN20- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF UTILITY LINES, AGGREGATE BASES, SPOT ELEVATIONS ETC., ASSOCIATED WITH CIVIL ARE SHOWN ON THE CIVIL DRAWINGS.

GN21- SIZES, DIMENSIONS, LOCATIONS AND DETAILS OF STRUCTURAL MEMBERS, BEAMS, SLABS, WALLS, OPENINGS, ETC., ARE SHOWN ON STRUCTURAL DRAWINGS.

GN22- SIZES, DIMENSIONS, LOCATIONS AND DETAIL OF REGISTERS, DUCTS, EQUIPMENT, WALL OPENINGS, LOUVERS, ACCESS HATCHES, EQUIPMENT CURBS, VENTS, ETC., ASSOCIATED WITH HEATING VENTILATING AND AIR CONDITIONING ARE CONTAINED ON THE MECHANICAL DRAWINGS. COORDINATE LOCATION OF REGISTERS WITH ARCHITECTURAL REFLECTED CEILING PLAN.

SITE PLAN GENERAL NOTES
SPGN01- CONTRACTOR TO CONFIRM ALL UTILITY LOCATIONS WITH EACH UTILITY AGENCY PRIOR TO EXCAVATION.

SPGN02- CONTRACTOR TO VERIFY ALL FLOOR ELEVATIONS PRIOR TO EXCAVATION.

SPGN03- CONTRACTOR TO PROTECT ALL TREES ON PROPERTY & ADJACENT PROPERTIES THAT EXTEND OVER PROPERTY LINE.

SPGN04- THE PROJECT SHALL COMPLY WITH THE TOWNS FIRE MITIGATION STANDARDS

SPGN05- THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

DRB notes:

-Areas disturbed within the General Easement utilized during construction shall be returned to the pre-disturbed condition before the project's issuance of a certificate of occupancy.

-Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.

-Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

-Prior to issuance of a CO, the property owner will enter into a Road Right of Way and General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for the road right of way and general easement encroachments approved.

-A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height (consistent with CDC Section 17.3.12.C.)

-A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

-Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

Stone: setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4')

Wood that is stained in the approved color(s)

Any approved metal exterior material

Roofing material(s)

Any other approved exterior materials

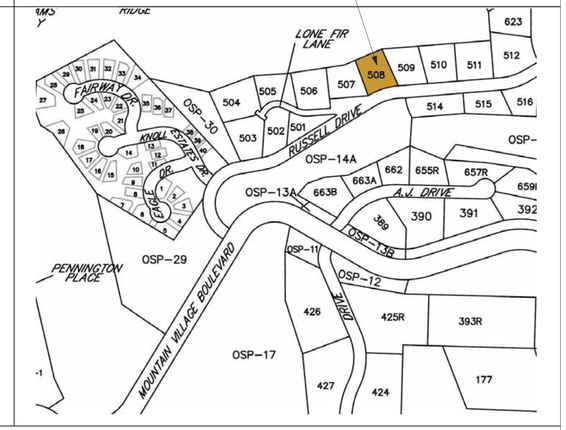
-All areas of glazing to be specified as non-reflective material.

DRAWING INDEX

ARCHITECTURAL

CIVIL

VICINITY MAP



PROJECT AXONOMETRIC

PROJECT DIRECTORY

NOT FOR CONSTRUCTION

OWNER/CONTRACTOR

ARCHITECT
JACK WESSON ARCHITECTS, INC.
PO BOX 457
TELLURIDE, CO 81435
T 970.728.9755
jwesson@me.com
adam.birck@gmail.com

STRUCTURAL ENGINEER

SURVEY INFORMATION
ALL POINTS LAND SURVEY L.L.C.
POX POX 754 OPHIR, COLORADO 81435
(970) 708-9694

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MARK	REV. DATE	DESCRIPTION
	11-16-2022	DRB SUBMISSION
	8-18-2022	SCHEDULES PACKAGE
	7-20-2022	INTERIORS PACKAGE
	5-11-2022	DRB SUBMISSION
	3-4-2022	REDLINE PICKUPS
	1-10-2022	10' SHIFT
	1-3-2022	REDLINE PICKUPS
	12-31-2021	REDLINE PICKUPS
	11-3-2021	MATERIAL AREAS
	10-25-2021	MASSING
	7-1-2021	LAYOUT

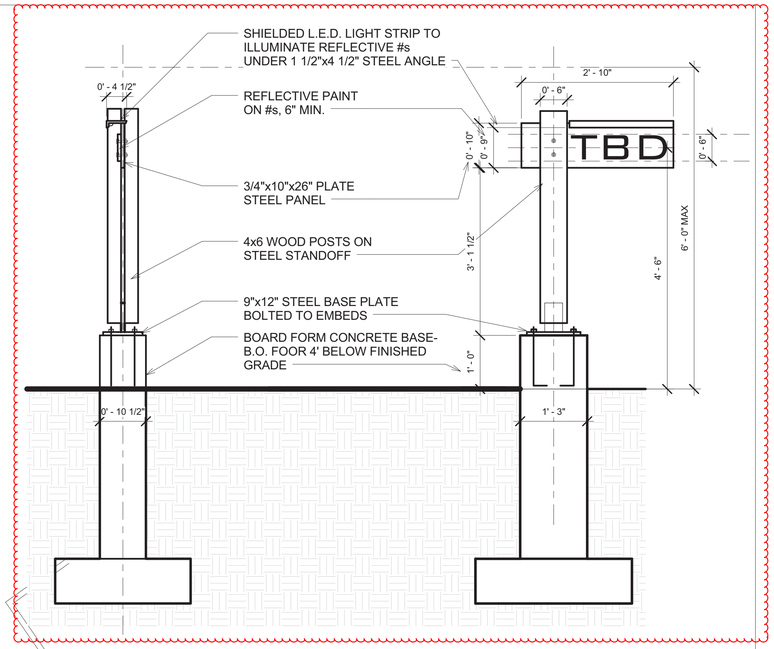
PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:

PROJECT NAME: 508 MV MOUNTAIN VILLAGE COLORADO 81435

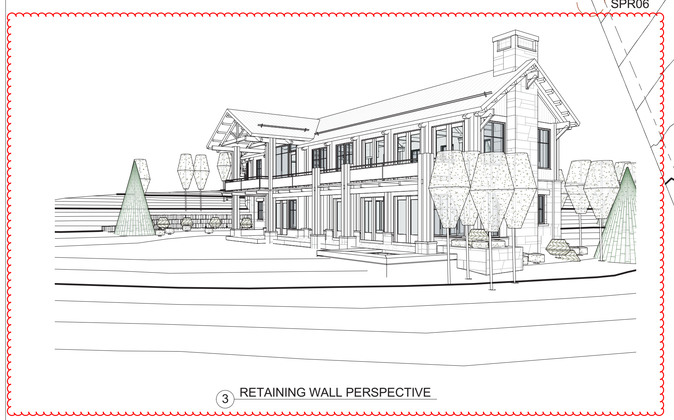
SHEET DESCRIPTION: COVER SHEET

SHEET NUMBER: A000

PrairieRegular



2 ADDRESS MONUMENT
3/4" = 1'-0"



3 RETAINING WALL PERSPECTIVE

0 16 32

SCALE: 1" = 16'

1 SITE PLAN
3/32" = 1'-0"

N

HOUSE

RIDGE
9296.32

EDGE OF FAIRWAY

N 67°00'00" E, 141.89'

16' GENERAL EASEMENT

S 20°17'55" E, 184.43'

S 24°15'22" E, 197.49'

NORTHERN RETAINING WALL TO BE VISUALLY BUFFERED

IRON
CAMPBELL
DALLAS
EMMA
90.00°

9264' - 6"

9264' - 0"

CONCRETE CURB

EDGE OF CONCRETE DRIVE

LOT 509

LOT 508

SITE BENCHMARK
CP-OPUS-REBAR
9256.70

LOCATION OF ADDRESS MONUMENT

L=156.95'
ChB=S71°52'30"W
ChL=155.47'
D=27°15'01"
R=330.00'

64' - 10 1/2"

6' - 5 1/2"

VIEW ANGLES WERE TAKEN FROM THIS POINT

20' - 0"

RUSSEL DRIVE

EP 9270.22
EP 9270.31
EP 9270.38
EP 9270.49
EP 9270.63
EP 9270.78

WSO

A04 A02 A06 A08 SPR04 SPR06 SPR08 SPR10 FIR10

SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM

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	7-1-2021	LAYOUT

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
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PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
SITE PLAN

SHEET NUMBER:
A100

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ALL DECKS TO BE BUILT OF HEAVY TIMBER CONSTRUCTION AND FIRE RESISTANT MATERIALS

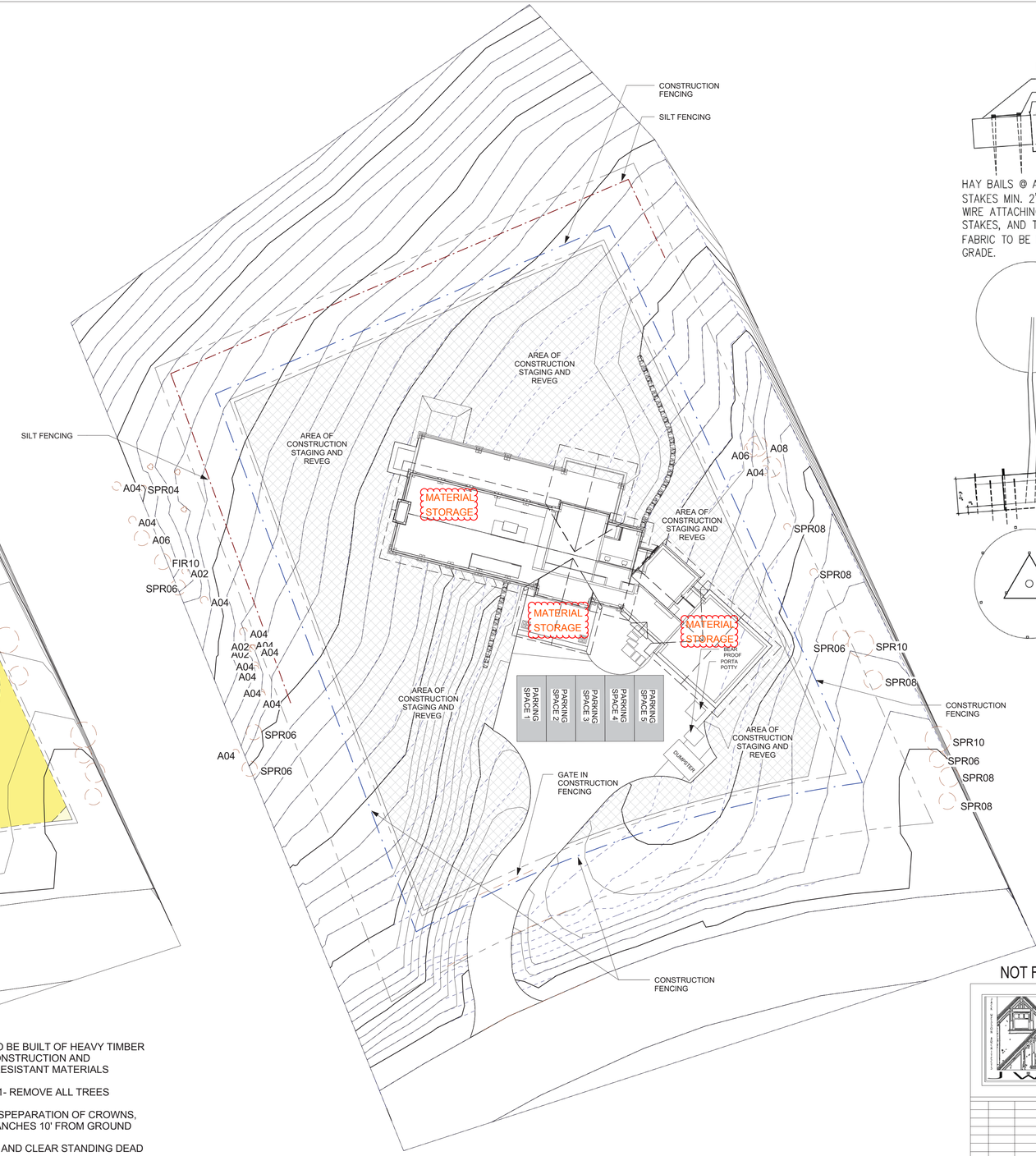
ZONE 1- REMOVE ALL TREES

ZONE 2- 10' SPEPARATION OF CROWNS, CLEAR BRANCHES 10' FROM GROUND

ZONE 3- THIN AND CLEAR STANDING DEAD

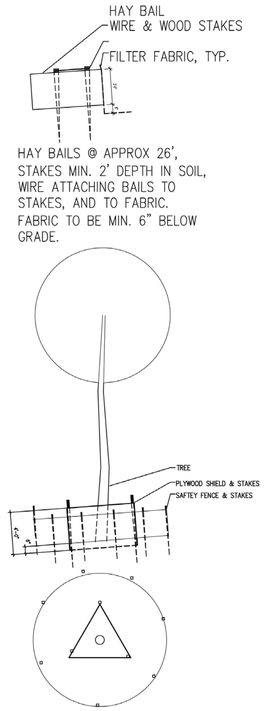
2 SITE PLAN- FIRE MITIGATION
1/16" = 1'-0"

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.



1 SITE PLAN- CONSTRUCTION STAGING
1/16" = 1'-0"

NOTE: ADDITIONAL TREE CLEARING WILL BE DONE IN ACCORDANCE WITH THE MOUNTAIN VILLAGE LAND USE ORDINANCE FIRE MITIGATION REQUIREMENTS



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	7-1-2021	LAYOUT

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2020 JWA

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
CONSTRUCTION STAGING PLAN & FIRE MITIGATION

SHEET NUMBER:
A101

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1 SITE PLAN- LANDSCAPE AND IRRIGATION PLAN
3/32" = 1'-0"

WATER USAGE CHART:

ASPEN	26 @ 10 gal.	=260 gal.
SPRUCE	7 @ 10 gal.	= 70 gal.
POTENTELLA	22 @ 2 gal.	= 44 gal.
DOGWOOD	30 @ 2 gal.	= 60 gal.
TOTAL =		334 **gal**.

***NOTE: INSTALL RAIN SHUT-OFF DEVICE AS REQ'D BY SECTION 9-210**

INSTALL BACKFLOW PREVENTERS

SHOULD THE STATE OF THE GENERAL EASEMENTS BE DISTURBED DURING CONSTRUCTION, THE APPLICANT MUST REVEGETATE THE AREA TO ITS PRIOR CONDITION USING THE NATIVE SEED MIX.

GENERAL NOTES:

1. SOIL PREPARATION SPECIFICATIONS: SOIL IN REVEG. AREA WILL BE AUGMENTED WITH HYDROMULCH.

2. THIS LANDSCAPE PLAN COMPLIES WITH SECTION 9-109 OF THE DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.

3. THE PROPERTY OWNER GUARANTEES ALL PLANT MATERIALS FOR TWO YEAR.

4. ALL TREES AND SHRUBS SHALL BE BACKFILLED WITH A TOPSOIL/ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.

5. PERENNIAL PLANTING BEDS SHALL BE TILLED TO A 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO

6. MULCH ALL PERENNIAL BEDS WITH A PINE BARK SOIL CONDITIONER BY SOUTHWEST IMPORTERS; SHREDDED CEDAR BARK.

7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK. PLANTING DETAILS FOR ROOT SYSTEMS, SOIL PREPERATION, SEEDING, MULCHING, AND FERTLIZATION TECHNIQUES SHALL BE IN ACCORDANCE WITH GUIDELINES SET FORTH BY THE ASSOCIATED LANDSCAPE CONTRACTORS OR COLORADO.

8. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATES. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.

REVEGETATION AND EROSION CONTROL NOTES:

1. SUBSOIL SURFACES SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.

2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE RE-VEGETATED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTO-TILLED AT A RATE OF 3 CUBIC YARDS PER THOUSAND SQUARE FEET.

3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.

4. NEWLY SEEDED AREAS SHALL BE PROTECTED FROM WIND AND WATER EROSION THROUGH THE USE OF MULCHES. ACCEPTABLE MULCHES ARE WOOD CHIPS, STRAW, HYDRO-MULCH AND EROSION-CONTROL NETTING.

5. BROADCAST WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.

7. EROSION-CONTROL NETTING WILL BE REQUIRED ON SLOPES 3:1 OR STEEPER, IF ALLOWED BY VARIANCE TO SECTION 9-103-2, AND IN DRAINAGE SWALES.

8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

9. ROAD AND DRIVEWAY SHALL BE RE-VEGETATED WITHIN THIRTY (30) DAYS OF THE DISTURBANCE TO AVOID UNSIGHTLY SCARS AND WEED INFESTATION ON THE LANDSCAPE. UTILITY CUTS SHALL BE RE-VEGETATED IMMEDIATELY (WITHIN TWO WEEKS) AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. LANDOWNER SHALL INSURE PROPER WEED CONTROL IN IMPACTED AREAS.

10. EROSION CONTROL ATTENTION TO DISTURBED AREAS SHALL BE IMPLEMENTED TO ENSURE THERE IS NO DETRIMENTAL IMPACT OR RUNOFF TO ANY PONDS, STREAMS OR WETLANDS.

11. IN AREAS THAT ARE TO BE RE-VEGETATED (ESPECIALLY SEEDING LOCATIONS WHICH HAVE RECEIVED HEAVY CONSTRUCTION EQUIPMENT TRAFFIC), SOIL SHALL BE SCARIFIED BEFORE THE APPLICATION OF SEED. SLOPE SURFACES SHALL BE ROUGHENED BY RUNNING TRACKED EQUIPMENT UP AND DOWN THE FACE OF THE SLOPE. (RUNNING SUCH EQUIPMENT ACROSS THE FACE OF A SLOPE ENCOURAGES EROSION AND IS NOT RECOMMENDED).

DRAINAGE WILL MAINTAIN POSITIVE FLOW AWAY FROM THE HOUSE AS REQUIRED BY TOWN'S ADOPTIVE BUILDING CODES

THE PROJECT SHALL COMPLY WITH TTHE TOWNS FIRE MITIGATION STANDARDS

THE PROJECT SHALL COMPLY WITH THE ADOPTED TOWN OF MOUNTAIN VILLAGE PRESCRIPTIVE ENERGY CODE AND GREEN BUILDING STANDARDS.

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(7) NEW EVERGREEN TREES
(1-8') (1-10') MINIMUM HEIGHT

***At least forty (40) percent of the trees on a landscaping plan shall be trees not typically found in landscaping in the Town, such as lodgepole pine, limber pine, white bark pine, ponderosa pine, bristlecone pine and pinyon pine provided such trees fit within the life zone and a site's micro climate.

Evergreen trees to be planted need to represent at least 2 separate genus (Picea, Abies, Pinus, Juniperus, Thuja, Pseudotsuga) and one of the genus classes should, ideally, be represented by two separate species (example, Pinus = limber pine & whitebark pine)

ALL EXISTING TREES TO REMAIN- SEE PLAN FOR SPECIES AND SIZE

(22) 5 GAL. MIX OF REDTWIG DOGWOOD, SNOWBERRY, ROCKY MOUNTAIN MAPLE

(30) 5 GAL. CATMINT, PAINTED DAISY, BEE BALM, CRANESBILL GERANIUM, EDELWEISS, DELPHINIUM, PENSTEMON, LAMB'S EAR, SALVIA "MAY NIGHT"

(26) NEW 3" CAL. APSEN OR 2 1/2" CA. MULTI-STEM

Z1 LANDSCAPE ZONE 1: COLUMBINE, SHOOTING STAR, INDIAN PAINTBRUSH, YARROW, BLUEBELL APPROX. 600 SF.

Z2 LANDSCAPE ZONE 2: RUSSIAN SAGE, YELLOW ROSE, DAYLILY, DELPHINIUM, BLEEDING HEART, CINQUEFOIL APPROX 1000 SF.

NOTE: REVEGETATION IS WILL BE NATIVE MIX
5% WESTERN YARROW
10% TALL FESCUE
5% ARIZONA FESCUE
5% HARD FESCUE
10% CREEPING RED FESCUE
15% ALPINE BLUEGRASS
10% CANADA BLUEGRASS
15% PERENNIAL RYEGRASS
10% SLENDER WHEATGRASS
15% MOUNTAIN BROME
APPROX. 11700 SF

LANDSCAPE LEGEND
1/4" = 1'-0"

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	10-25-2021	MASSING
	7-1-2021	LAYOUT

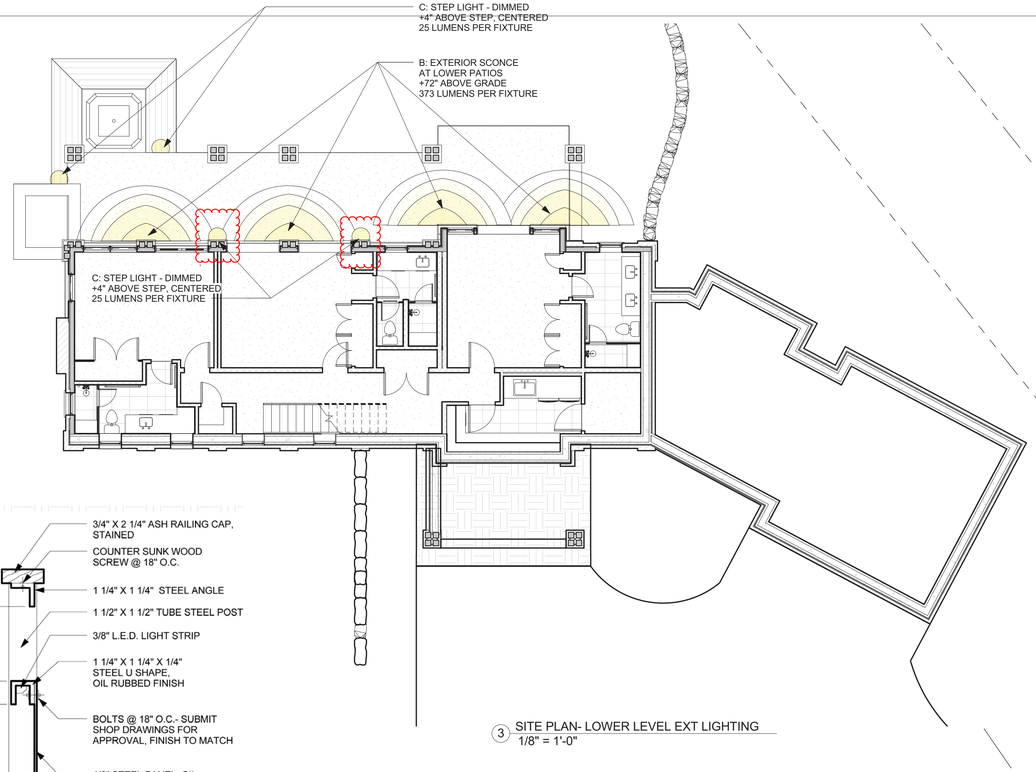
PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2020.JWA

PROJECT NAME: 508 MV MOUNTAIN VILLAGE COLORADO 81435

SHEET DESCRIPTION: LANDSCAPE & IRRIGATION PLAN

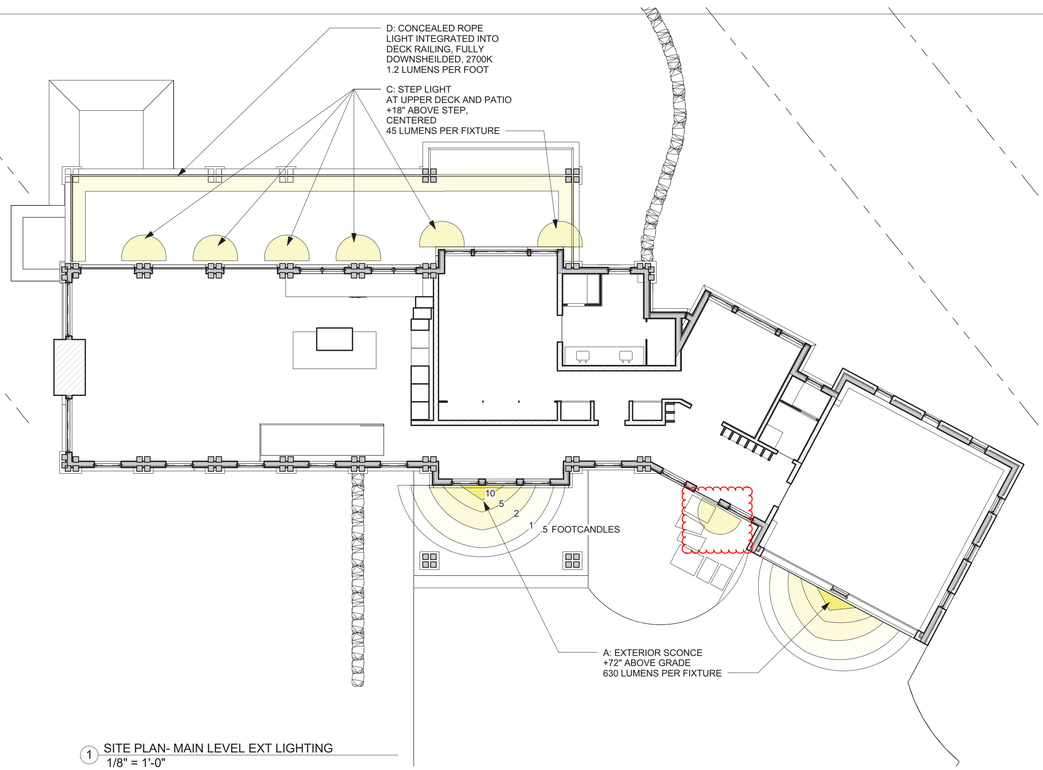
SHEET NUMBER: A103

PrairieRegular



3 SITE PLAN- LOWER LEVEL EXT LIGHTING
1/8" = 1'-0"

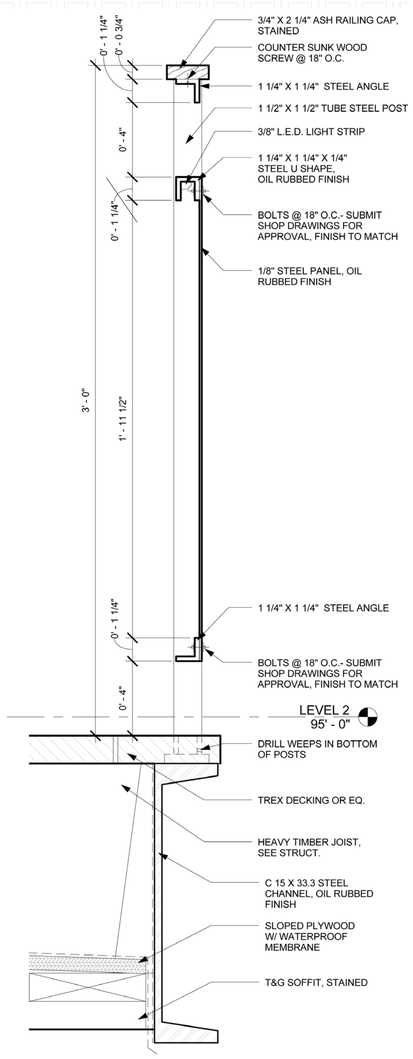
0' 4' 8' 16' 32'



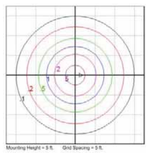
1 SITE PLAN- MAIN LEVEL EXT LIGHTING
1/8" = 1'-0"

0' 4' 8' 16' 32'

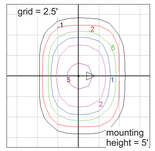
ALL LIGHTING TO BE ON A DIMMER MANAGEMENT SYSTEM, 850 LUMENS MAX



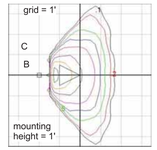
2 DETAIL- RAILING @ NORTH DECK
3" = 1'-0"



A: EXTERIOR SCONCE:
Wall Luminaire- Shielded- Bega 66411
(8.9W LED)



B: EXTERIOR SCONCE-
Entry/FR Sconce - BegaWall Luminaire 33 514
(3.0 W)



C: EXTERIOR STEP LIGHT:
Recessed Wall Luminere-Bega 22230
(2.1 W LED)

D: RAILING ACCENT LIGHT:
Rope lighting

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	7-1-2021	LAYOUT

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
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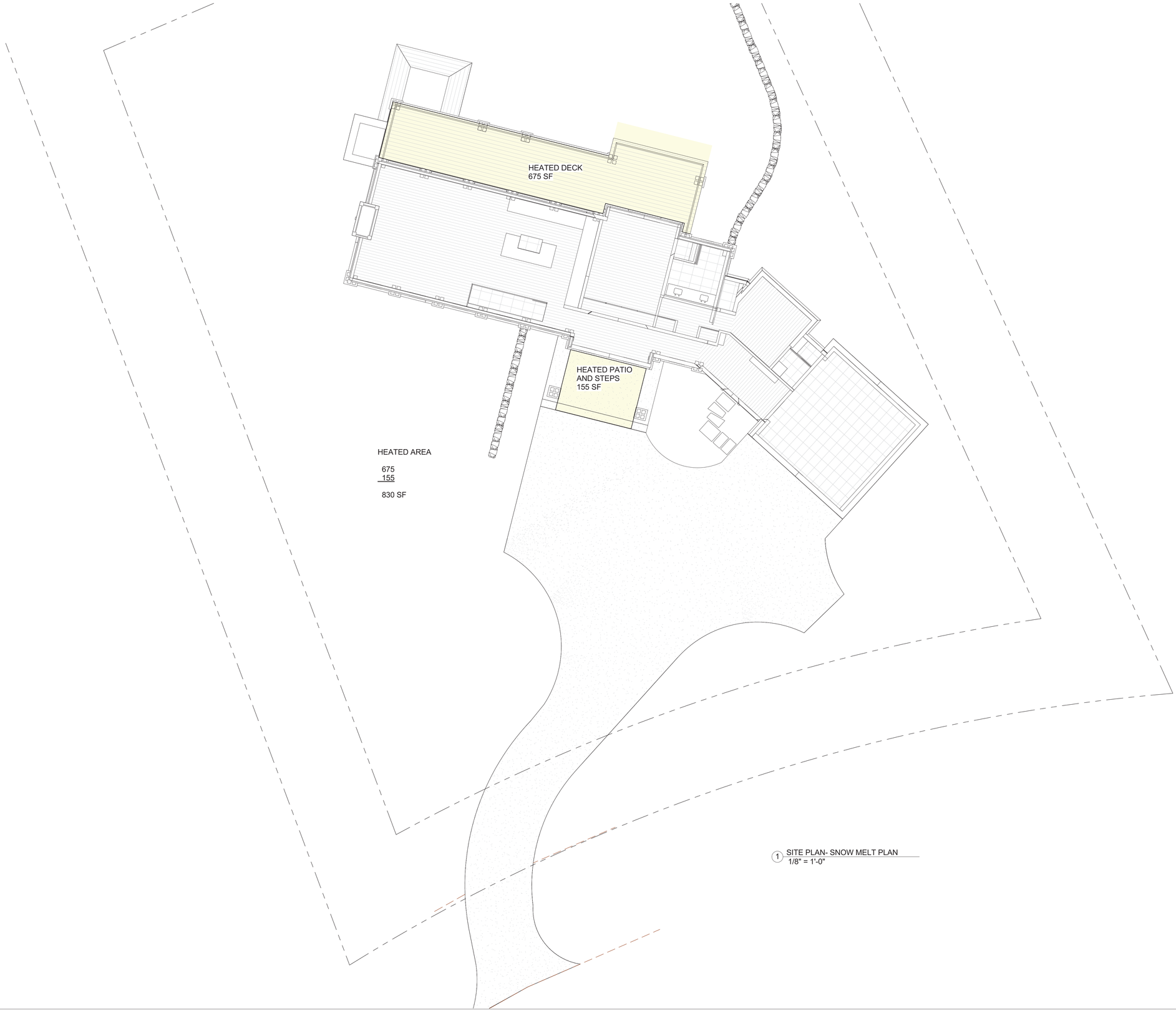
PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
EXTERIOR LIGHTING PLAN

SHEET NUMBER:
A104



HEATED AREA

675
155

830 SF

1 SITE PLAN- SNOW MELT PLAN
1/8" = 1'-0"

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PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
SNOW MELT PLAN

SHEET NUMBER:
A105

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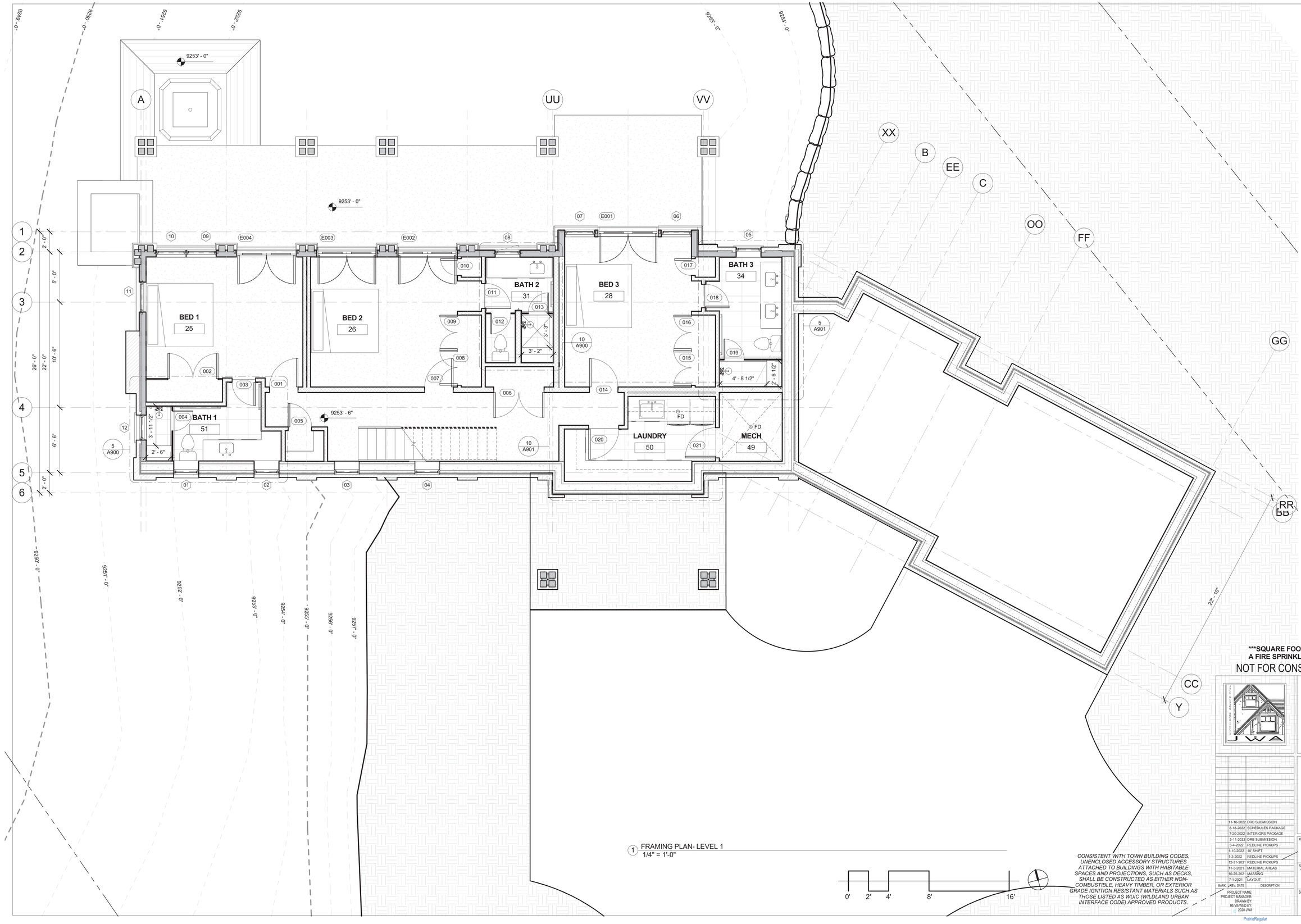

1 FRAMING PLAN- LEVEL 1
1/4" = 1'-0"

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

*****SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM*****

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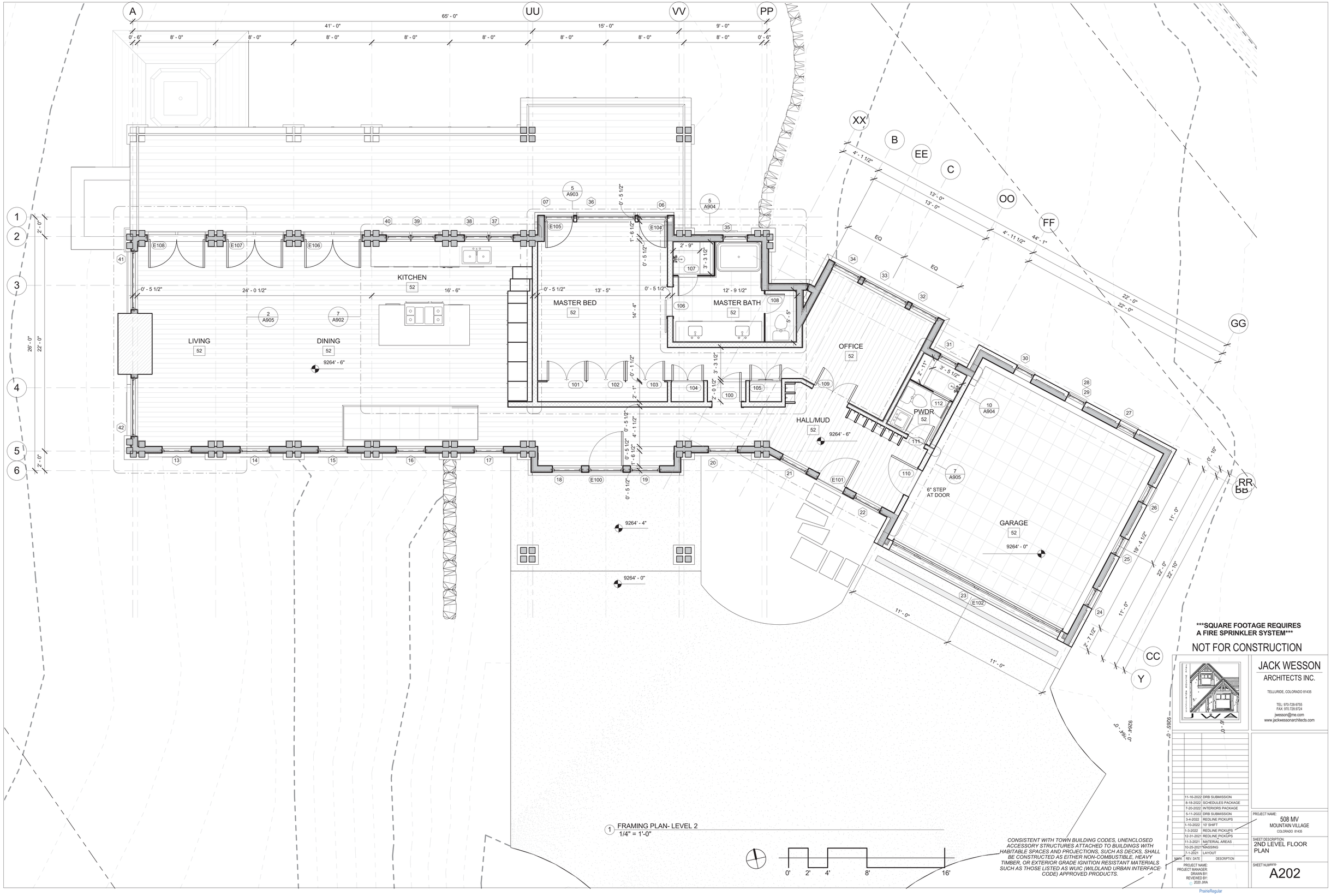
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2020 JWA

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
1ST LEVEL FLOOR PLAN

SHEET NUMBER:
A201

PrairieRegular



1 FRAMING PLAN- LEVEL 2
1/4" = 1'-0"

0' 2' 4' 8' 16'

CONSISTENT WITH TOWN BUILDING CODES, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDINGS WITH HABITABLE SPACES AND PROJECTIONS, SUCH AS DECKS, SHALL BE CONSTRUCTED AS EITHER NON-COMBUSTIBLE, HEAVY TIMBER, OR EXTERIOR GRADE IGNITION RESISTANT MATERIALS SUCH AS THOSE LISTED AS WUIC (WILDLAND URBAN INTERFACE CODE) APPROVED PRODUCTS.

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PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
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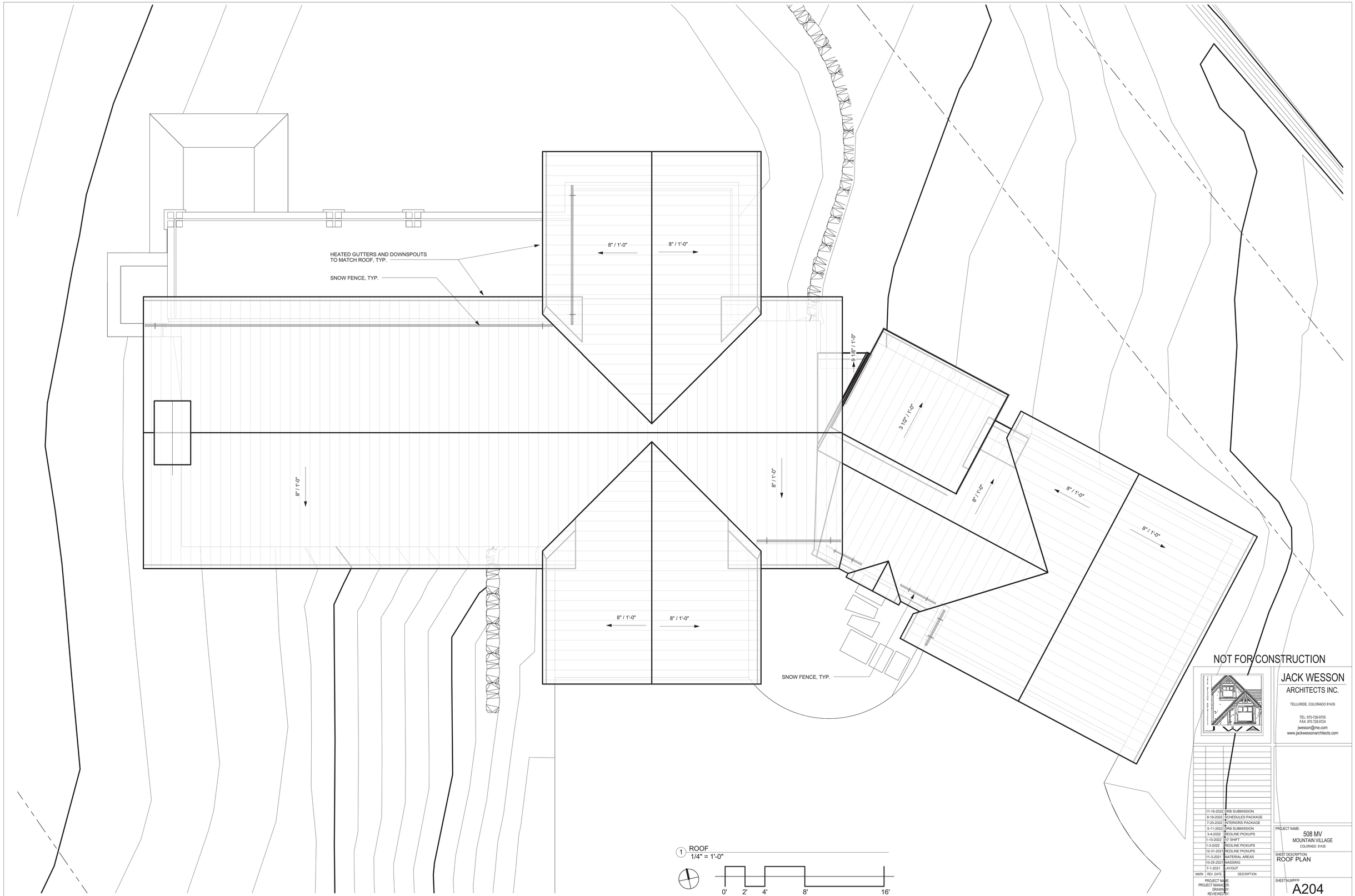
PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
2ND LEVEL FLOOR PLAN

SHEET NUMBER:
A202

PrairieRegular



1 ROOF
1/4" = 1'-0"

0' 2' 4' 8' 16'

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	5-11-2022	DRB SUBMISSION
	3-4-2022	REDLINE PICKUPS
	1-10-2022	10' SHIFT
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	12-31-2021	REDLINE PICKUPS
	11-3-2021	MATERIAL AREAS
	10-25-2021	MASSING
	7-1-2021	LAYOUT

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
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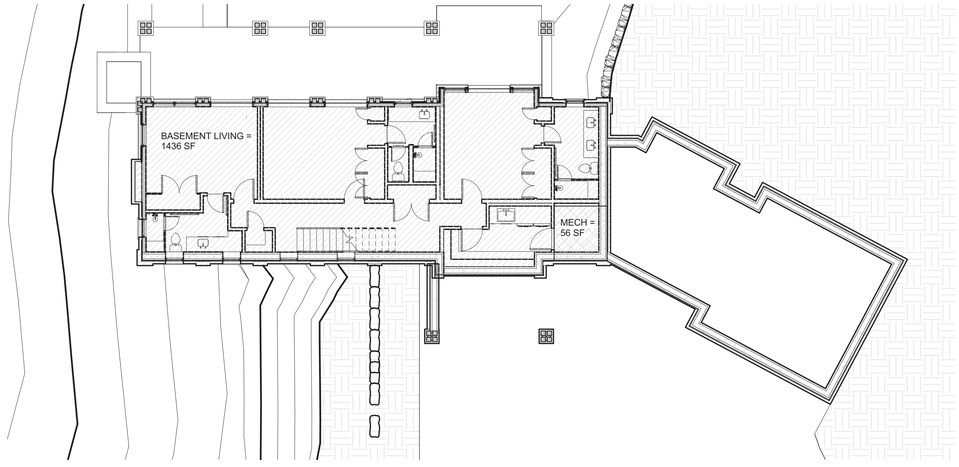
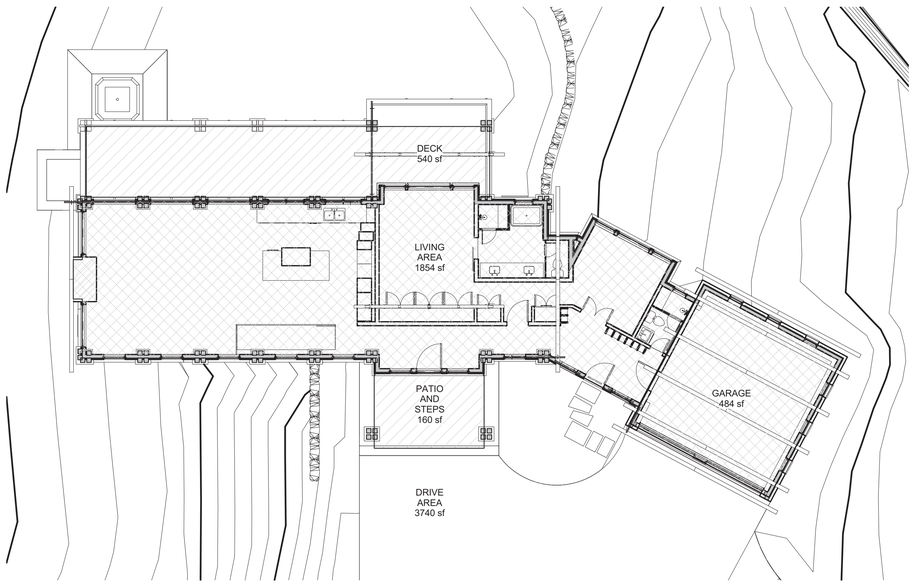
PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
ROOF PLAN

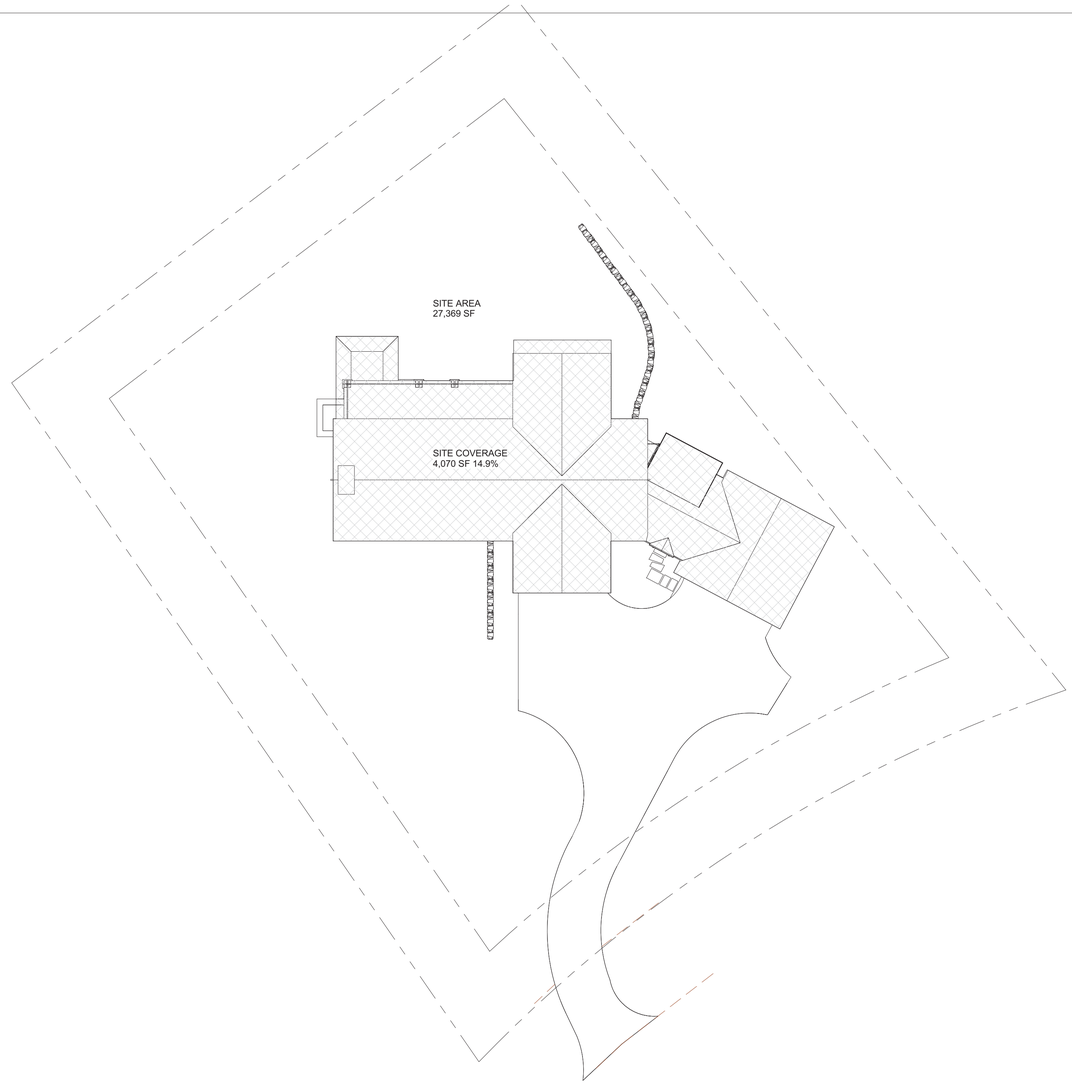
SHEET NUMBER:
A204



1 AREA PLAN- LEVEL 1
1" = 10'-0"



2 AREA PLAN- LEVEL 2
1" = 10'-0"



3 AREA- SITE COVERAGE
1/16" = 1'-0"

AREA ANALYSIS:

SITE AREA =	27,369 sf
ALLOW. SITE COVER. (40%) =	10,948 sf
PRO. SITE COVER. (14.9%) =	4,070 sf

GROSS AREA (TO FACE OF STRUCTURE):

1ST LVL	
LIVING =	1436 sf
MECH =	56 sf
2ND	
LIVING =	1854 sf
GARAGE =	484 sf
TOTAL LIVING =	3,290sf
TOTAL GROSS =	3,830 sf

*****SQUARE FOOTAGE REQUIRES A FIRE SPRINKLER SYSTEM*****

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	11-3-2021	MATERIAL AREAS
	10-25-2021	MASSING
	7-1-2021	LAYOUT

PROJECT NAME:
PROJECT MANAGER:
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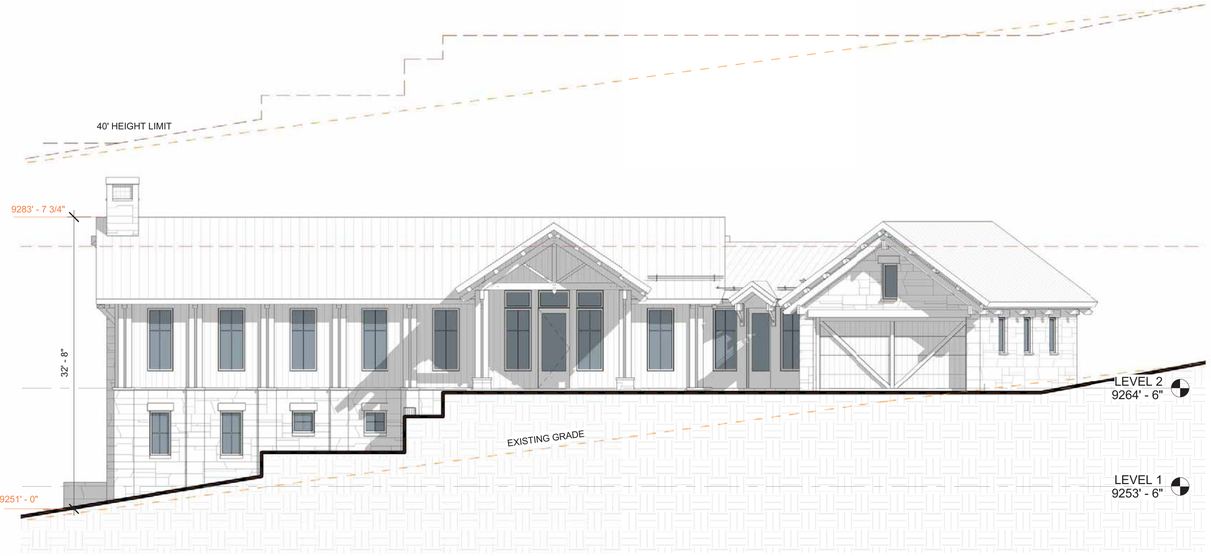
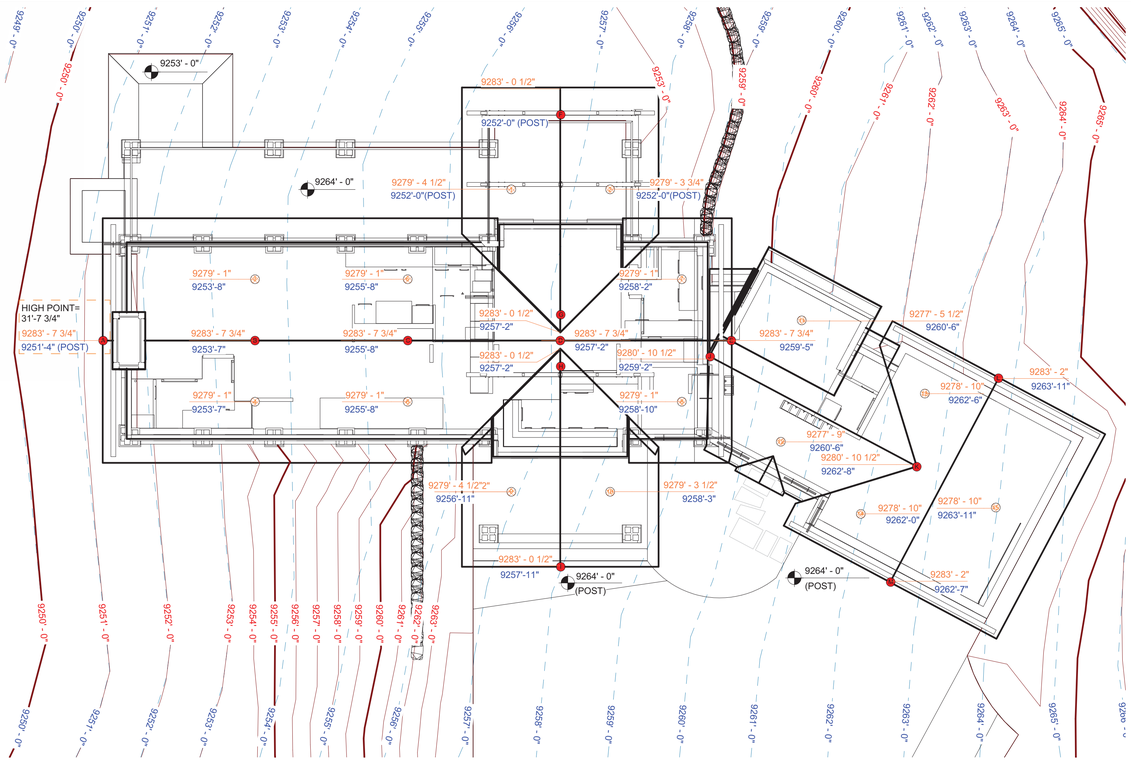
PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
AREA ANALYSIS

SHEET NUMBER:
A205



2 HEIGHT CALC- MH- SOUTH- FRONT
1/8" = 1'-0"

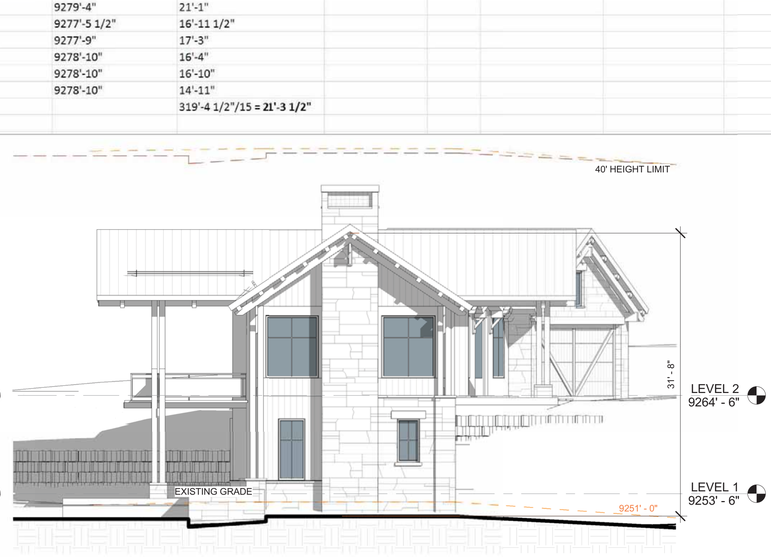


1 ROOF HEIGHT CALC
1/8" = 1'-0"

AVERAGE GRADE CALC				HIGH POINT GRADE CALC			
	GRADE (MOST RESTRICTIVE)	ROOF MID POINT	HEIGHT		GRADE (MOST RESTRICTIVE)	ROOF HIGH POINT	HEIGHT
1	9252'-0"	9279'-4"	27'-4"				
2	9252'-0"	9279'-4"	27'-4"	MOST RESTRICTIVE	SOUTH 9251'-0"	9283'-7 3/4"	32'-7 3/4"
3	9253'-8"	9279'-1"	25'-5"		WEST 9251'-0"	9283'-7 3/4"	32'-7 3/4"
4	9253'-7"	9279'-1"	25'-6"		NORTH 9251'-0"	9283'-7 3/4"	32'-7 3/4"
5	9255'-8"	9279'-1"	23'-5"		EAST 9264'-0"	9283'-2"	19'-2"
6	9255'-8"	9279'-1"	23'-5"				
7	9258'-2"	9279'-1"	20'-11"				
8	9258'-10"	9279'-1"	20'-3"				
9	9256'-11"	9279'-4"	22'-5"				
10	9258'-3"	9279'-4"	21'-1"				
11	9260'-6"	9277'-5 1/2"	16'-11 1/2"				
12	9260'-6"	9277'-9"	17'-3"				
13	9262'-6"	9278'-10"	16'-4"				
14	9262'-0"	9278'-10"	16'-10"				
15	9263'-11"	9278'-10"	14'-11"				
			319'-4 1/2"/15 = **21'-3 1/2"**				

3 HEIGHT CALC- MH- EAST
1/8" = 1'-0"

4 HEIGHT CALC- MH- NORTH
1/8" = 1'-0"



5 HEIGHT CALC- MH- WEST
1/8" = 1'-0"

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	11-3-2021	MATERIAL AREAS
	10-25-2021	MASSING
	7-1-2021	LAYOUT

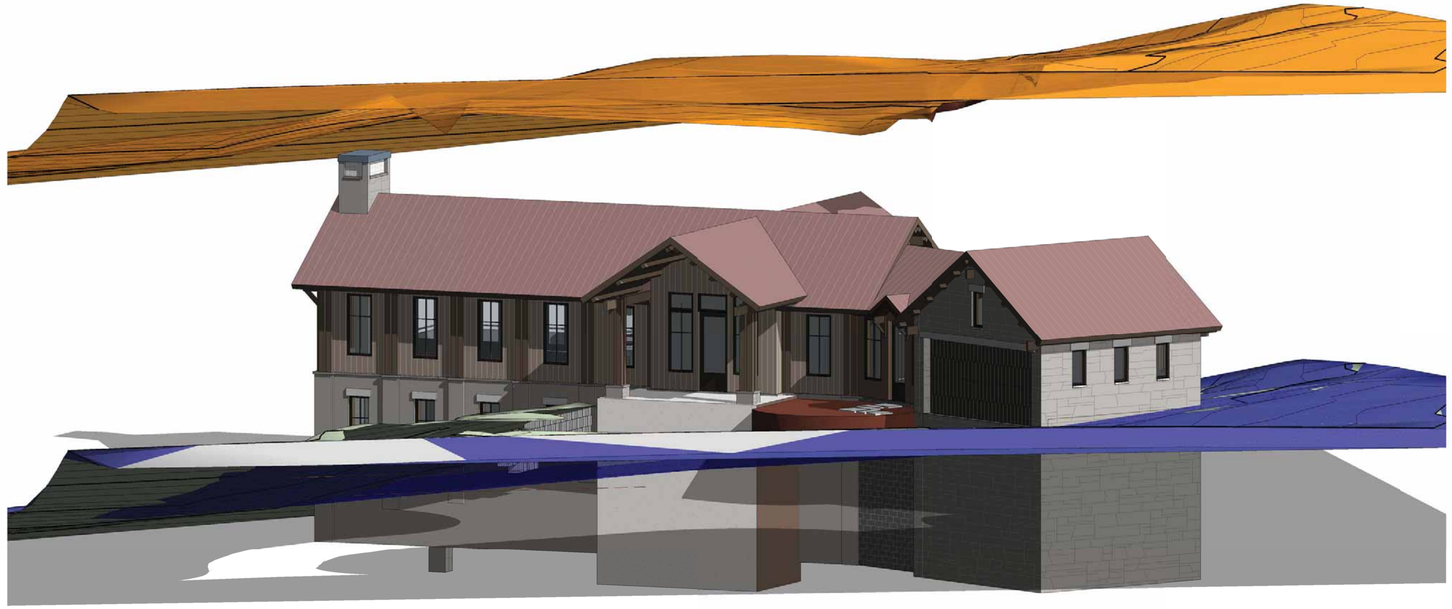
PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2020 JWA

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

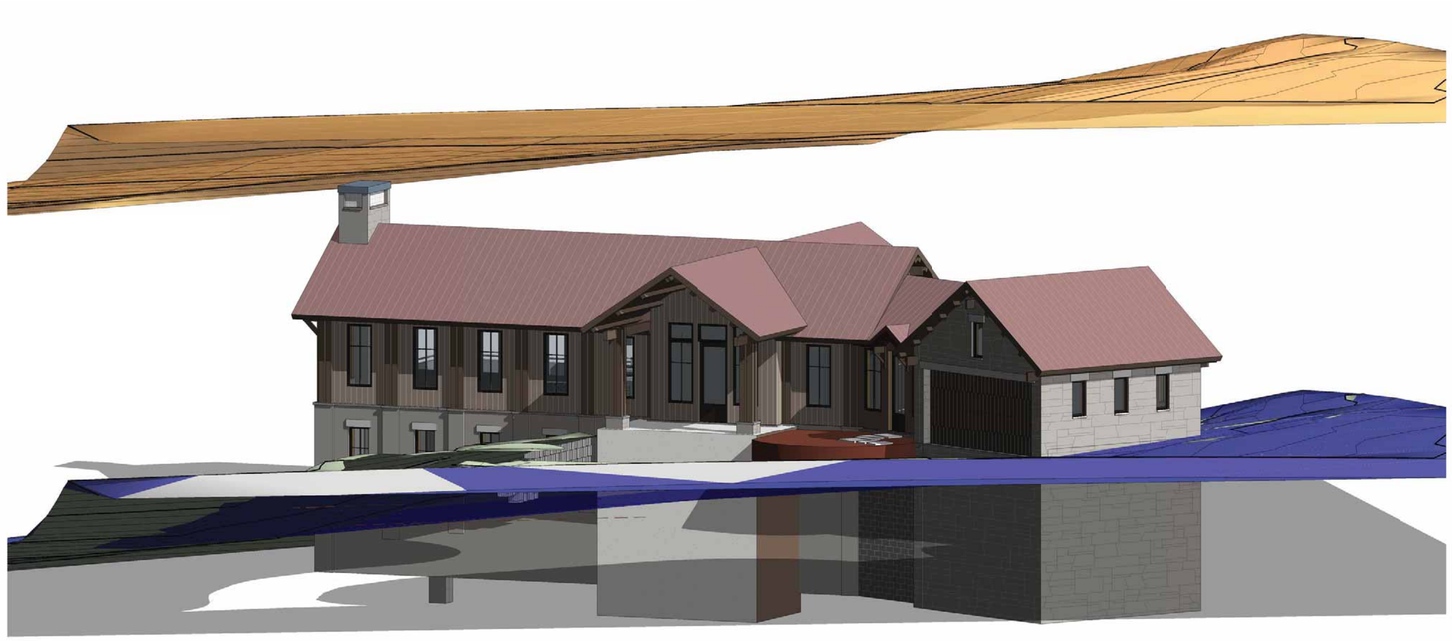
SHEET DESCRIPTION:
HEIGHT CALCS

SHEET NUMBER:
A300

PrairieRegular



1 BIRD'S EYE HEIGHT CALC- POST



2 BIRD'S EYE HEIGHT CALC- PRE

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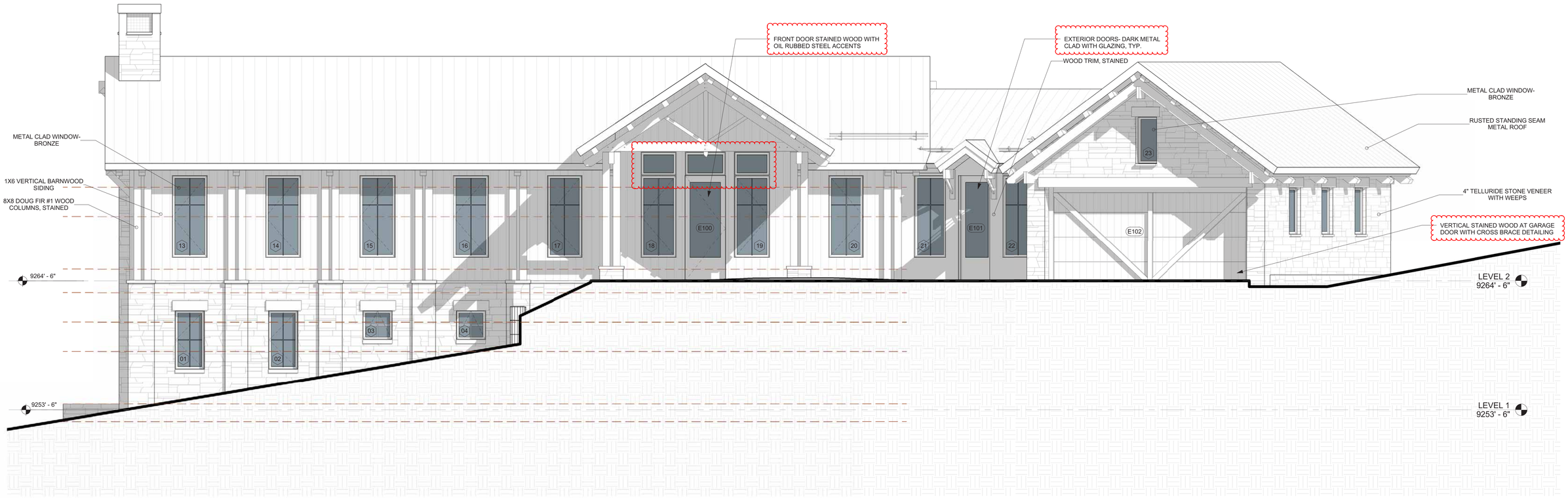
REVIEWED BY:
2020 JWA

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
HEIGHT CALCS- 40' SHELL

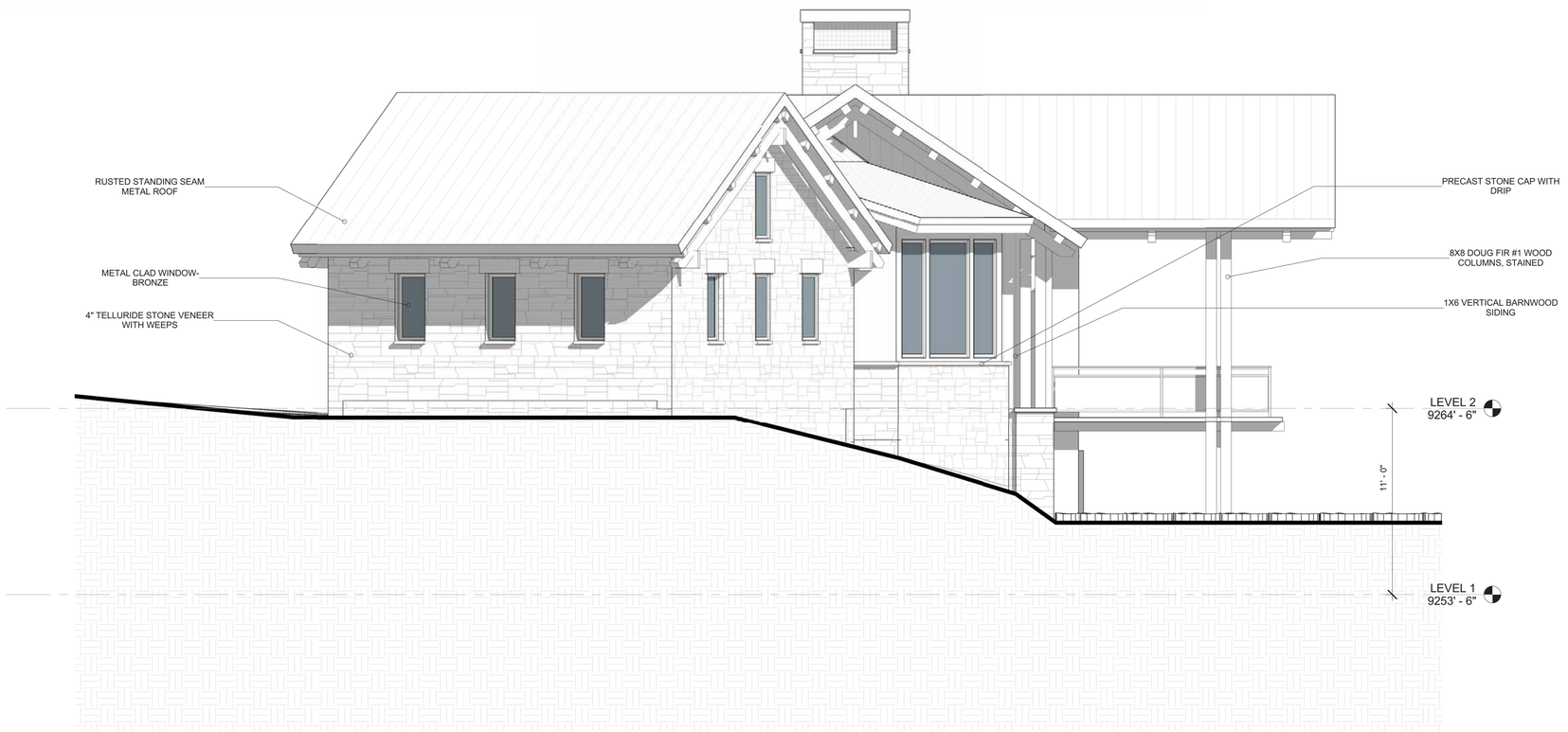
SHEET NUMBER:
A300b

PrairieRegular



1 MH- SOUTH- FRONT
1/4" = 1'-0"

0' 2' 4' 8' 16'



2 MH- EAST
1/4" = 1'-0"

0' 2' 4' 8' 16'

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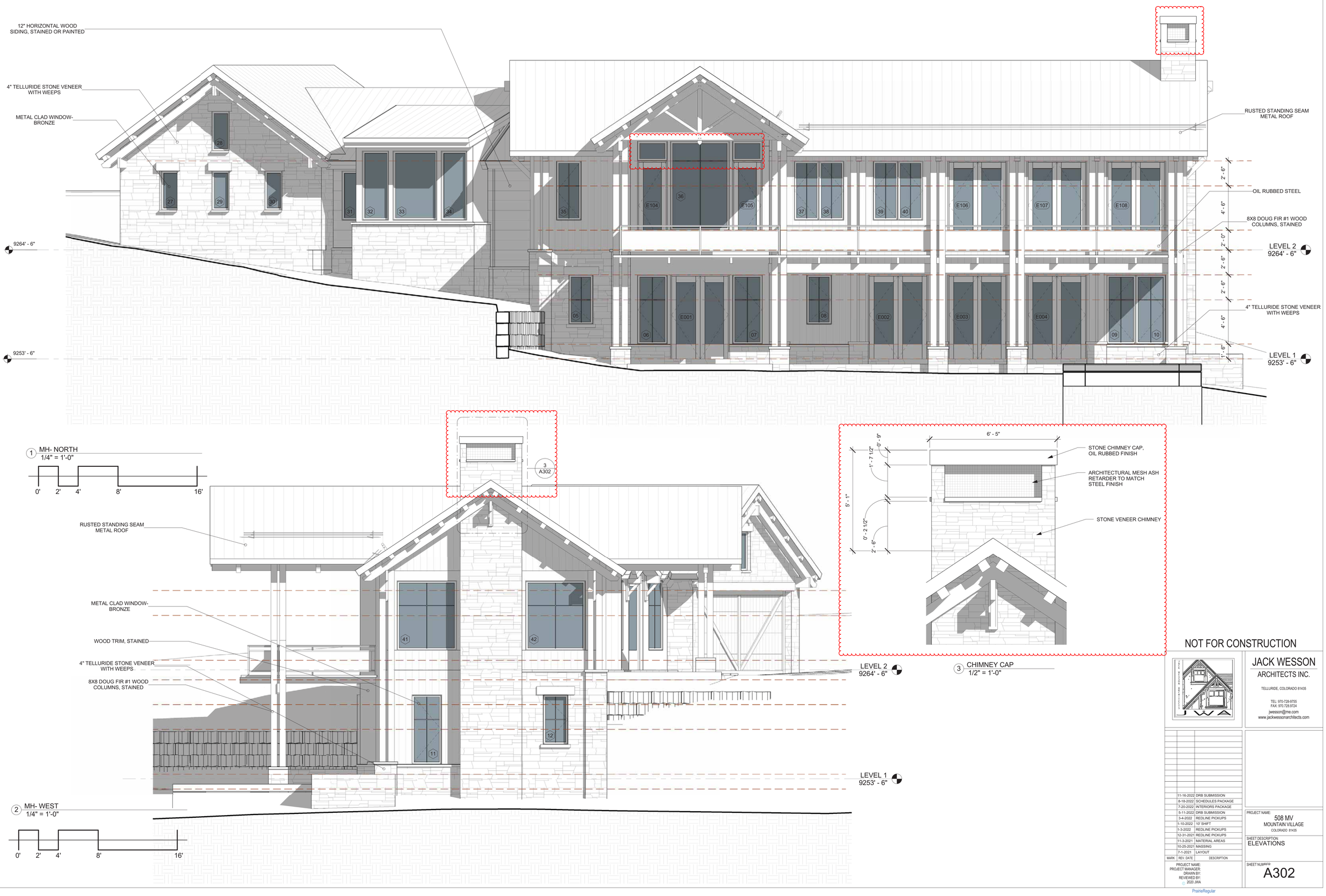
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
ELEVATIONS

SHEET NUMBER:
A301



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PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
ELEVATIONS

SHEET NUMBER:
A302

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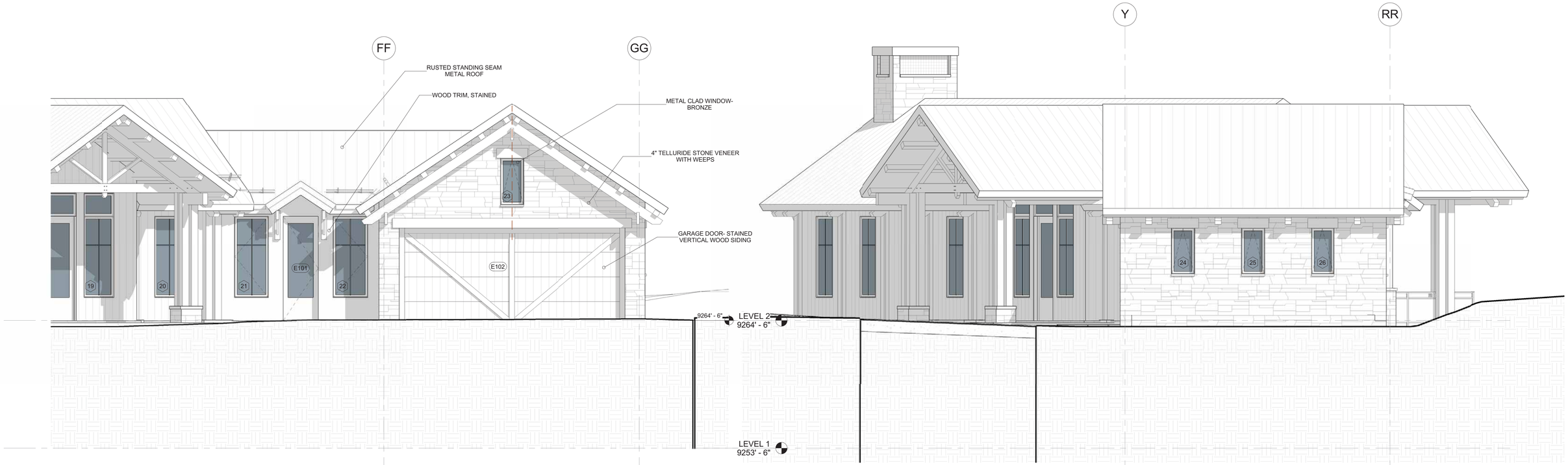
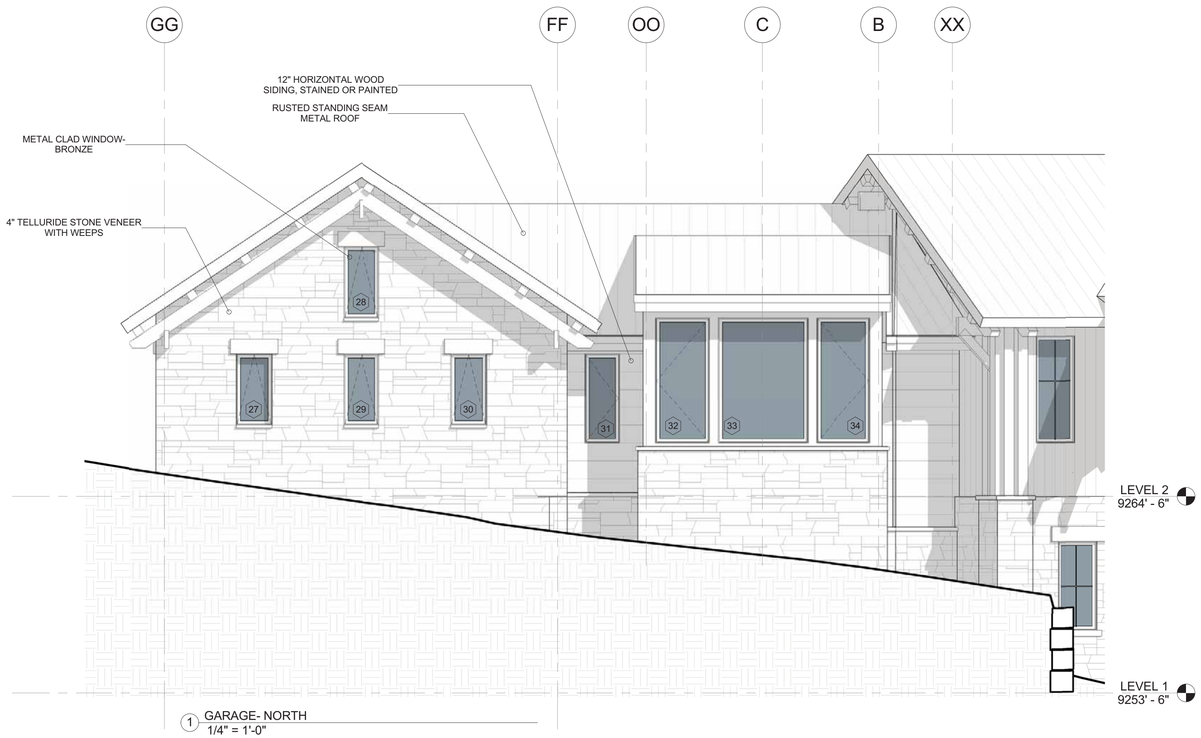


3 GARAGE- SOUTH
1/4" = 1'-0"

2 GARAGE- EAST
1/4" = 1'-0"



1 GARAGE- NORTH
1/4" = 1'-0"

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	7-1-2021	LAYOUT

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2020 JWA

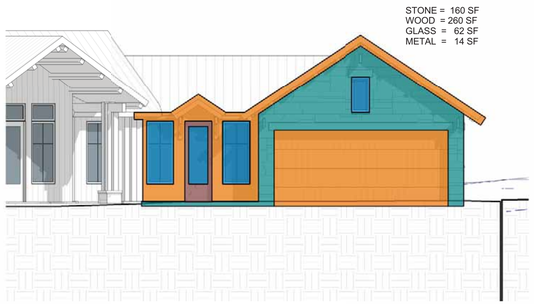
PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
ELEVATIONS

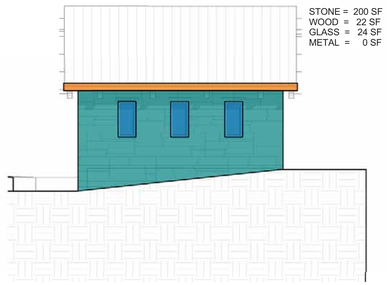
SHEET NUMBER:
A303

PrairieRegular

508 MV- Material Calculations										
Elevation	WEST	SOUTH	EAST	NORTH	G- WEST	G- SOUTH	G- EAST	G- NORTH	Total	Percent
Stone	525	432	50	310	65	160	200	380	2122	35.05%
Wood	320	648	170	972	6	260	22	95	2493	41.17%
Fenestration	125	210	0	460	0	62	24	120	1001	16.53%
Accent	30	20	30	345	0	14	0	0	439	7.25%
Total	1000	1310	250	2087	71	496	246	595	6055	

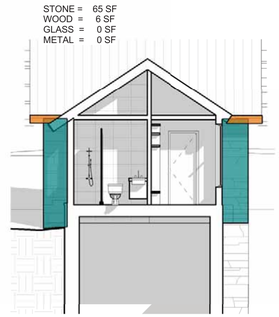


H CALCS MATERIALS- GARAGE- SOUTH
1/8" = 1'-0"



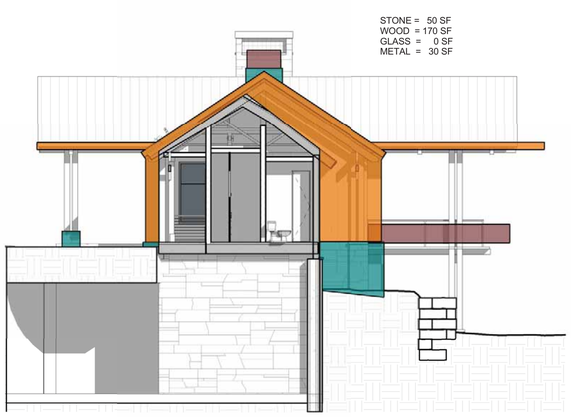
G CALCS MATERIALS- GARAGE- EAST
1/8" = 1'-0"

F CALCS MATERIALS- GARAGE- NORTH
1/8" = 1'-0"



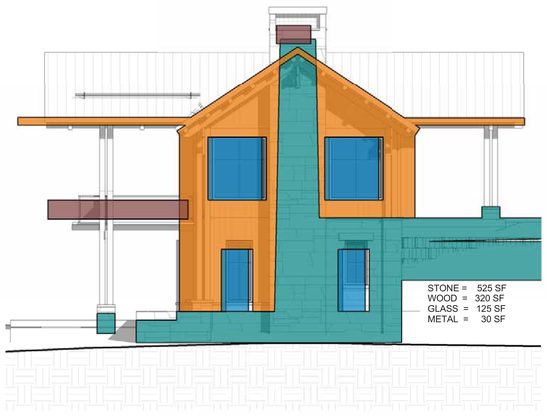
E CALCS MATERIALS- GARAGE- WEST
1/8" = 1'-0"

D CALCS MATERIALS- MH- SOUTH- FRONT
1/8" = 1'-0"



C CALCS MATERIALS- MH- EAST
1/8" = 1'-0"

B CALCS MATERIALS- MH- NORTH
1/8" = 1'-0"



A CALCS MATERIALS- MH- WEST
1/8" = 1'-0"

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	7-1-2021	LAYOUT

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
2020 JWA

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
MATERIAL CALCS

SHEET NUMBER:
A305

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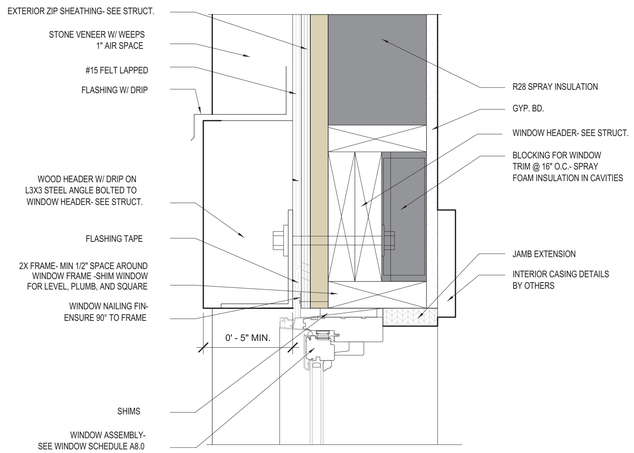
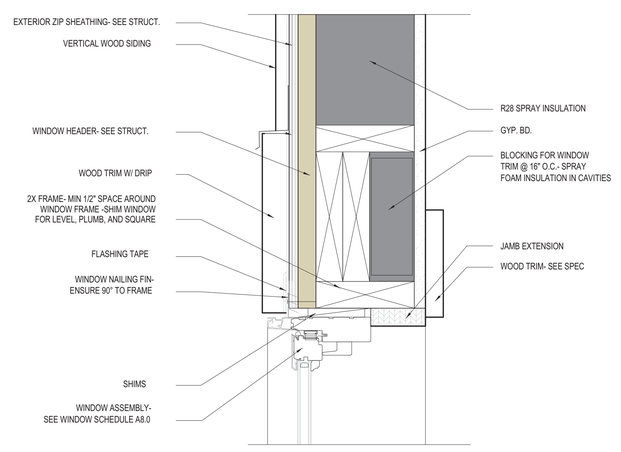
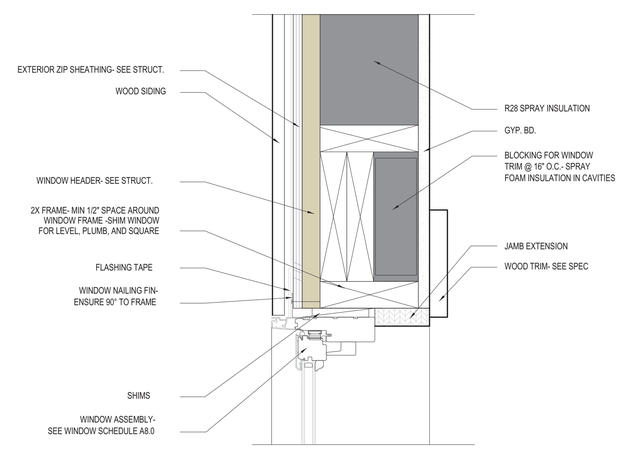


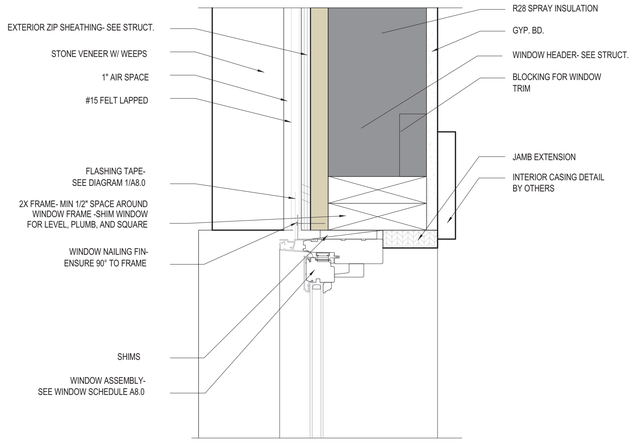
9 WINDOW HEAD — SCALE: 3" = 1'-0"
STONE SIDING



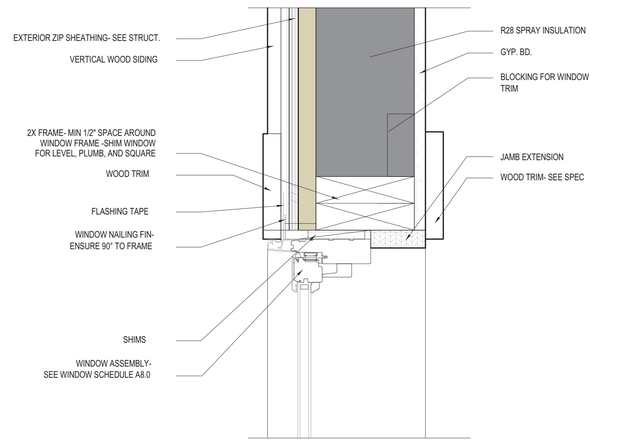
6 WINDOW HEAD — SCALE: 3" = 1'-0"
WOOD SIDING- TIMBER TRIM



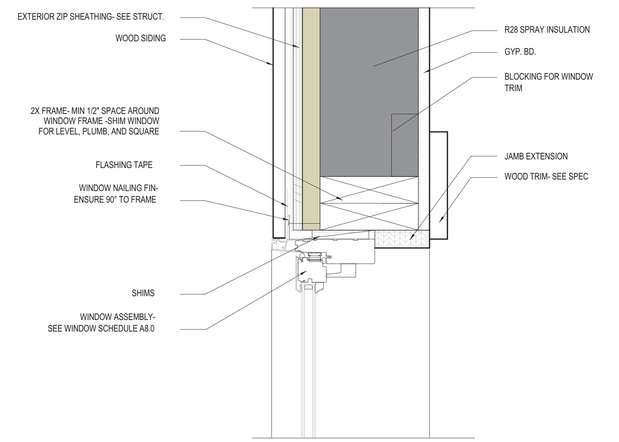
3 WINDOW HEAD — SCALE: 3" = 1'-0"
WOOD SIDING



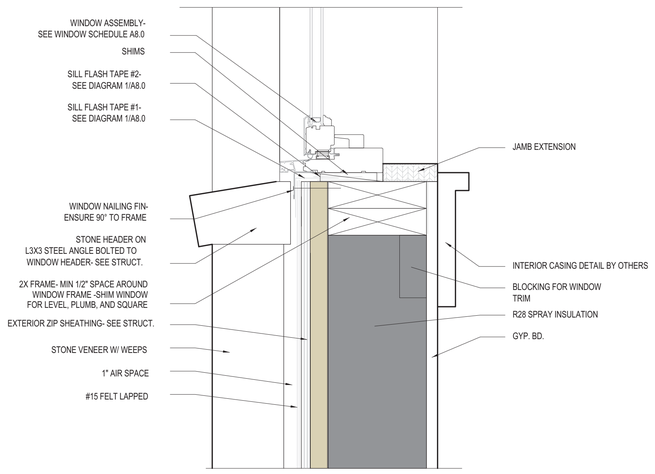
8 WINDOW JAMB — SCALE: 3" = 1'-0"
STONE SIDING



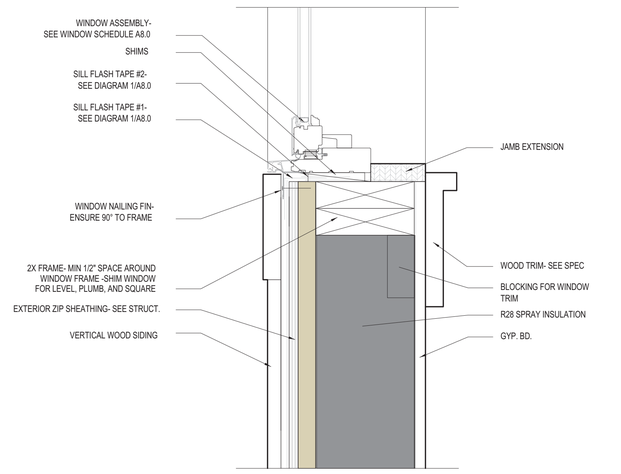
5 WINDOW JAMB — SCALE: 3" = 1'-0"
WOOD SIDING- TIMBER TRIM



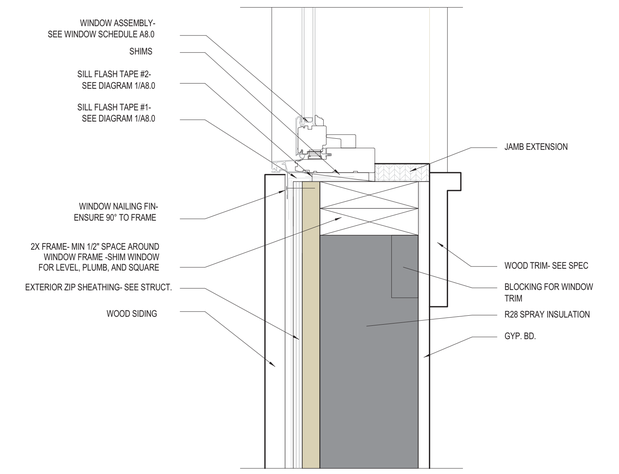
2 WINDOW JAMB — SCALE: 3" = 1'-0"
WOOD SIDING



7 WINDOW SILL — SCALE: 3" = 1'-0"
STONE SIDING



4 WINDOW SILL — SCALE: 3" = 1'-0"
WOOD SIDING- TIMBER TRIM



1 WINDOW SILL — SCALE: 3" = 1'-0"
WOOD SIDING

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	7-1-2021	LAYOUT

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PROJECT MANAGER:
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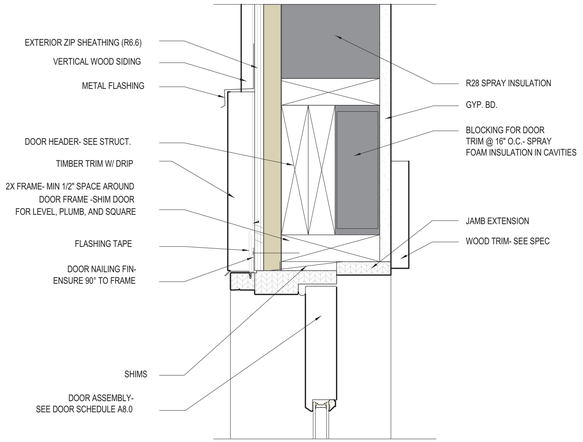
REVIEWED BY:
2020 JWA

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

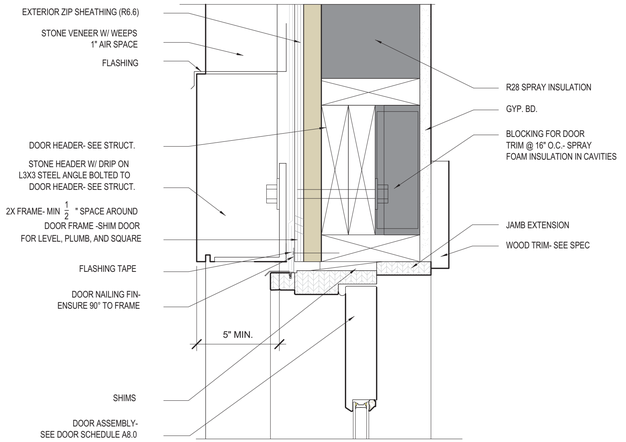
SHEET DESCRIPTION:
WINDOW DETAILS

SHEET NUMBER:
A601

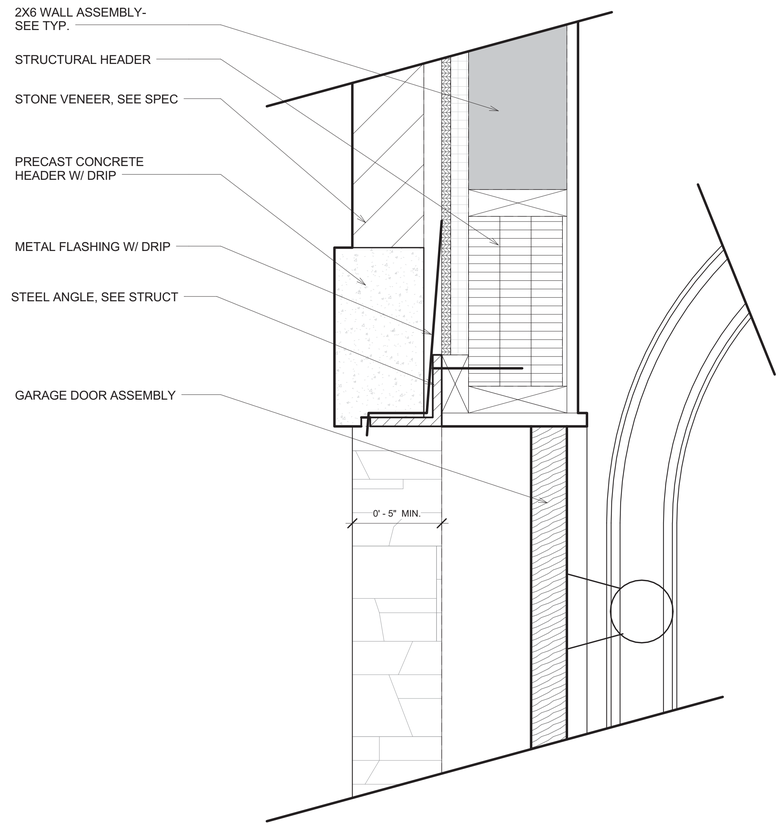
PrairieRegular



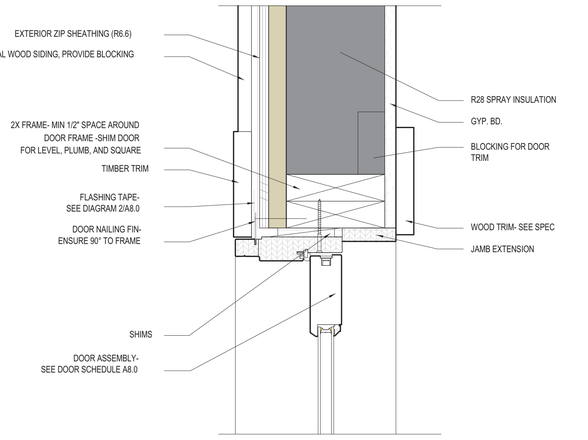
6 DOOR HEAD — SCALE: 3" = 1'-0"
WOOD SIDING- TIMBER TRIM



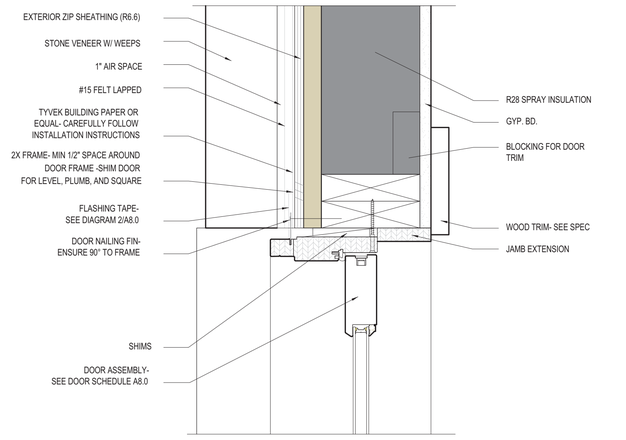
3 DOOR HEAD — SCALE: 3" = 1'-0"
STONE VENEER



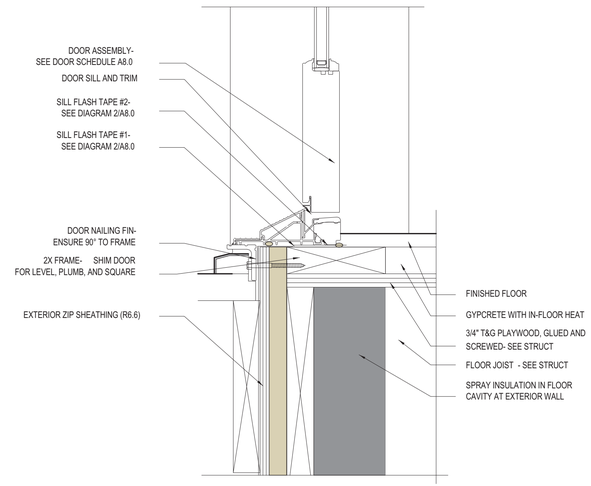
7 GARAGE DOOR DETAIL
3" = 1'-0"



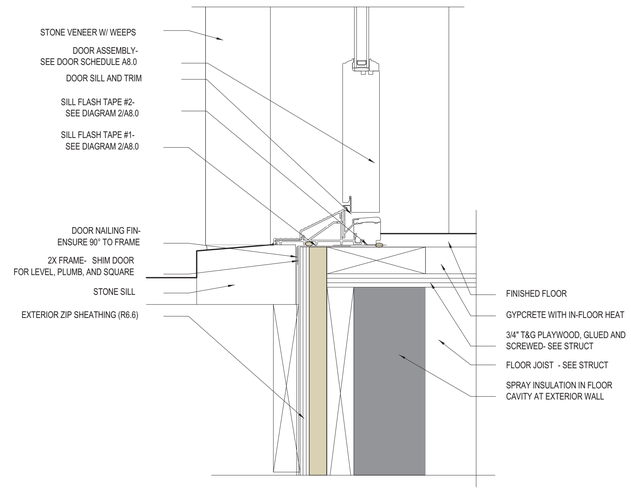
5 DOOR JAMB — SCALE: 3" = 1'-0"
WOOD SIDING- TIMBER TRIM



2 DOOR JAMB — SCALE: 3" = 1'-0"
STONE VENEER



4 DOOR SILL — SCALE: 3" = 1'-0"
WOOD SIDING- TIMBER TRIM



1 DOOR SILL — SCALE: 3" = 1'-0"
STONE VENEER

NOT FOR CONSTRUCTION

JACK WESSON
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FAX: 970.728.9724
jwesson@me.com
www.jackwessonarchitects.com

MARK	REV. DATE	DESCRIPTION
	11-16-2022	DRB SUBMISSION
	8-18-2022	SCHEDULES PACKAGE
	7-20-2022	INTERIORS PACKAGE
	5-11-2022	DRB SUBMISSION
	3-4-2022	REDLINE PICKUPS
	1-10-2022	10' SHIFT
	1-3-2022	REDLINE PICKUPS
	12-31-2021	REDLINE PICKUPS
	11-3-2021	MATERIAL AREAS
	10-25-2021	MASSING
	7-1-2021	LAYOUT

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
DOOR DETAILS

SHEET NUMBER:
A602

PrairieRegular

LOWER LEVEL INTERIOR DOORS

DOOR SCHEDULE						
Mark	Width	Height	Type	Room	Lock Set	Comments
001	2' - 10"	8' - 0"	SINGLE	BED 1	PRIVACY	
002	5' - 0"	8' - 0"	DOUBLE	BED 1 CLOSET	PASSAGE	
003	2' - 4"	8' - 0"	SINGLE	BATH 1	PRIVACY	
004	2' - 0"	7' - 8"	GLASS	BATH 1 SHOWER	PUSH/PULL HANDLE	TEMPERED, CLEAR
005	2' - 4"	8' - 0"	SINGLE	CLOSET	PASSAGE	
006	5' - 0"	8' - 0"	DOUBLE	LINEN	PASSAGE	
007	2' - 10"	8' - 0"	SINGLE	BED 2	PRIVACY	
008	3' - 6"	8' - 0"	DOUBLE	BED 2 CLOSET	PASSAGE	
009	3' - 6"	8' - 0"	DOUBLE	BED 2 CLOSET	PASSAGE	
010	1' - 8"	8' - 0"	DOUBLE	BED 2 CLOSET	PASSAGE	
011	2' - 6"	8' - 0"	SINGLE	BATH 2	PRIVACY	
012	2' - 0"	8' - 0"	GLASS	BATH 2 W.C.	PUSH/PULL HANDLE	TEMPERED, FROSTED
013	2' - 0"	7' - 8"	GLASS	BATH 2 SHOWER	PUSH/PULL HANDLE	TEMPERED, CLEAR
014	2' - 10"	8' - 0"	SINGLE	BED 3	PRIVACY	
015	3' - 6"	8' - 0"	DOUBLE	BED 3 CLOSET	PASSAGE	
016	3' - 6"	8' - 0"	DOUBLE	BED 3 CLOSET	PASSAGE	
017	1' - 8"	8' - 0"	SINGLE	BED 3 CLOSET	PASSAGE	
018	2' - 4"	8' - 0"	SINGLE	BATH 3	PRIVACY	
019	2' - 0"	7' - 8"	GLASS	BATH 3 SHOWER	PUSH/PULL HANDLE	TEMPERED, CLEAR
020	3' - 0"	8' - 0"	SINGLE	LAUNDRY	PASSAGE	
021	3' - 0"	8' - 0"	SINGLE	MECHANICAL	PASSAGE	20 MIN. SOLID CORE DOOR WITH CLOSER

ENTRY LEVEL INTERIOR DOORS

DOOR SCHEDULE						
Mark	Width	Height	Type	Room	Lock Set	Comments
100	3' - 0"	8' - 0"	SINGLE	MASTER BED	PRIVACY	
101	4' - 0"	8' - 0"	DOUBLE	MASTER BED CLOSET	PASSAGE	
102	4' - 0"	8' - 0"	DOUBLE	MASTER BED CLOSET	PASSAGE	
103	4' - 0"	8' - 0"	DOUBLE	MASTER BED CLOSET	PASSAGE	
104	3' - 3"	3' - 0"	DOUBLE	MASTER BED CLOSET	PASSAGE	
105	3' - 3"	3' - 0"	DOUBLE	MASTER BED CLOSET	PASSAGE	
106	3' - 0"	8' - 0"	SLIDING BARN DOOR	MASTER BATH	SLIDER PRIVACY	
107	2' - 0"	7' - 8"	GLASS	MASTER SHOWER	PUSH/PULL HANDLE	TEMPERED, CLEAR
108	2' - 0"	8' - 0"	GLASS	MASTER W.C.	PUSH/PULL HANDLE	TEMPERED, FROSTED
109	4' - 0"	8' - 0"	DOUBLE	OFFICE	PRIVACY	
110	3' - 0"	8' - 0"	SINGLE	GARAGE	LOCK SET	20 MIN. SOLID CORE DOOR WITH CLOSER
111	2' - 0"	8' - 0"	SINGLE	POWDER	PRIVACY	
112	2' - 0"	7' - 8"	GLASS	POWDER SHOWER	PUSH/PULL HANDLE	TEMPERED, CLEAR
E001	6' - 0"	8' - 6"	FRENCH PATIO	BED 3	LOCK SET	TEMPERED GLASS, SEE ELEV.

LOWER LEVEL EXTERIOR DOORS

DOOR SCHEDULE						
Mark	Width	Height	Type	Room	Lock Set	Comments
E002	6' - 0"	8' - 6"	FRENCH PATIO	BED 2	LOCK SET	TEMPERED GLASS, SEE ELEV.
E003	6' - 0"	8' - 6"	FRENCH PATIO	BED 2	LOCK SET	TEMPERED GLASS, SEE ELEV.
E004	6' - 0"	8' - 6"	FRENCH PATIO	BED 1	LOCK SET	TEMPERED GLASS, SEE ELEV.
E100	3' - 6"	9' - 0"	ENTRY DOOR	ENTRY	LOCK SET	TEMPERED GLASS, SEE ELEV.

ENTRY LEVEL EXTERIOR DOORS

DOOR SCHEDULE						
Mark	Width	Height	Type	Room	Lock Set	Comments
E101	3' - 0"	9' - 0"	EXTERIOR DOOR	HALL/MUD	LOCK SET	TEMPERED GLASS, SEE ELEV.
E102	19' - 6"	8' - 6"	OVERHEAD GARAGE	GARAGE	OPENER	
E104	3' - 0"	9' - 0"	EXTERIOR DOOR	MASTER BED	LOCK SET	TEMPERED GLASS, SEE ELEV.
E105	3' - 0"	9' - 0"	EXTERIOR DOOR	MASTER BED	LOCK SET	TEMPERED GLASS, SEE ELEV.
E106	3' - 0"	9' - 0"	FRENCH PATIO	LIVING RM	LOCK SET	TEMPERED GLASS, SEE ELEV.
E107	3' - 0"	9' - 0"	FRENCH PATIO	LIVING RM	LOCK SET	TEMPERED GLASS, SEE ELEV.
E108	3' - 0"	9' - 0"	FRENCH PATIO	LIVING RM	LOCK SET	TEMPERED GLASS, SEE ELEV.

MATERIAL NOTES:

EXTERIORS DOOR- DARK METAL CLAD WITH GLAZING

FRONT DOOR- STAINED WOOD WITH GLAZING AND OIL RUBBED STEEL ACCENTS

GARAGE DOOR- STAINED VERTICAL WOOD WITH CROSS BRACE DETAILING

WINDOW SCHEDULE					
Type Mark	Width	Height	Operation	U-value	Comments
01	2' - 6"	5' - 0"	CASEMENT		TEMPERED- IN BATH
02	2' - 6"	5' - 0"	CASEMENT		TEMPERED- IN BATH
03	2' - 6"	2' - 6"	AWNING		TEMPERED- NEXT TO STAIRS
04	2' - 6"	2' - 6"	AWNING		TEMPERED- NEXT TO STAIRS
05	2' - 6"	5' - 0"	CASEMENT		TEMPERED- IN BATH
06	3' - 0"	7' - 0"	CASEMENT		TEMPERED- NEXT TO DOOR
07	3' - 0"	7' - 0"	CASEMENT		TEMPERED- NEXT TO DOOR
08	2' - 6"	5' - 0"	CASEMENT		TEMPERED- IN BATH
09	3' - 0"	7' - 0"	CASEMENT		MULLED TO #10
10	3' - 0"	7' - 0"	CASEMENT		MULLED TO #9
11	3' - 0"	7' - 0"	CASEMENT		
12	2' - 6"	5' - 0"	CASEMENT		TEMPERED- IN BATH
13	3' - 0"	7' - 0"	CASEMENT		
14	3' - 0"	7' - 0"	CASEMENT		
15	3' - 0"	7' - 0"	CASEMENT		TEMPERED- NEXT TO STAIRS
16	3' - 0"	7' - 0"	CASEMENT		TEMPERED- NEXT TO STAIRS
17	3' - 0"	7' - 0"	CASEMENT		TEMPERED- NEXT TO STAIRS
18	3' - 0"	7' - 0"	CASEMENT		TEMPERED- NEXT TO DOOR
19	3' - 0"	7' - 0"	CASEMENT		TEMPERED- NEXT TO DOOR
20	3' - 0"	7' - 0"	CASEMENT		
21	3' - 0"	7' - 0"	CASEMENT		TEMPERED- NEXT TO DOOR
22	3' - 0"	7' - 0"	CASEMENT		TEMPERED- NEXT TO DOOR
23	2' - 0"	4' - 0"	AWNING		TEMPERED- IN GARAGE
24	2' - 0"	4' - 0"	AWNING		TEMPERED- IN GARAGE
25	2' - 0"	4' - 0"	AWNING		TEMPERED- IN GARAGE
26	2' - 0"	4' - 0"	AWNING		TEMPERED- IN GARAGE
27	2' - 0"	4' - 0"	AWNING		TEMPERED- IN GARAGE
28	2' - 0"	4' - 0"	AWNING		TEMPERED- IN GARAGE
29	2' - 0"	4' - 0"	AWNING		TEMPERED- IN GARAGE
30	2' - 0"	4' - 0"	AWNING		TEMPERED- IN GARAGE
31	2' - 0"	5' - 0"	CASEMENT		TEMPERED- IN BATH
32	3' - 0"	7' - 0"	CASEMENT		
33	5' - 0"	7' - 0"	FIXED		
34	3' - 0"	7' - 0"	CASEMENT		
35	2' - 6"	6' - 0"	CASEMENT		TEMPERED- IN BATH
36	6' - 0"	9' - 0"	FIXED		TEMPERED- NEXT TO DOOR
37	2' - 6"	6' - 0"	CASEMENT		TEMPERED- IN KITCHEN, MULLED TO #38
38	2' - 6"	6' - 0"	CASEMENT		TEMPERED- IN KITCHEN, MULLED TO #37
39	2' - 6"	6' - 0"	CASEMENT		TEMPERED- IN KITCHEN, MULLED TO #40
40	2' - 6"	6' - 0"	CASEMENT		TEMPERED- IN KITCHEN, MULLED TP #39
41	6' - 0"	7' - 0"	FIXED		
42	6' - 0"	7' - 0"	FIXED		
45	3' - 0"	2' - 0"	FIXED		TEMPERED- NEXT TO DOOR
45	3' - 0"	2' - 0"	FIXED		TEMPERED- NEXT TO DOOR
45	3' - 0"	2' - 0"	FIXED		TEMPERED- NEXT TO DOOR
45	3' - 0"	2' - 0"	FIXED		TEMPERED- NEXT TO DOOR
46	2' - 6"	2' - 0"	FIXED		TEMPERED- NEXT TO DOOR

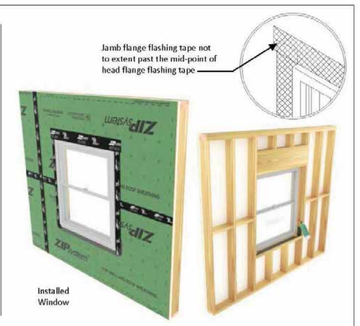
ZIP System™ R-Sheathing – Window Installation

DISCLAIMER: Please refer to/consult the installation instructions of your window manufacturer as well as local code requirements. It is the responsibility of the general contractor to coordinate rough opening dimensions with window manufacturer and make any necessary extensions or solid blocking as needed.

Step 1. Install sill/pan flashing that satisfies the requirements of ASTM E 2112 and AAMA 711into the rough opening. ZIP System™ tape or ZIP System™ stretch tape may be used as pan flashing. Other adhesive-based flashing tapes may be used if they satisfy ICC-ES AC-148 or AAMA 711.

DETAIL D

Step 2. From the interior of the rough opening, apply low-pressure polyurethane foam (for windows) between the rough opening and the window frame. (Caulk sealant compatible with the flashing and backer rod may be used in lieu of polyurethane foam.) When using ZIP System™ tape, 100% silicone, butyl and polyurethane sealants are acceptable.



NOT FOR CONSTRUCTION

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FAX: 970.728.9724
jwesson@me.com
www.jackwessonarchitects.com

MARK	REV. DATE	DESCRIPTION
	11-16-2022	DRB SUBMISSION
	8-18-2022	SCHEDULES PACKAGE
	7-20-2022	INTERIORS PACKAGE
	5-11-2022	DRB SUBMISSION
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	11-3-2021	MATERIAL AREAS
	10-25-2021	MASSING
	7-1-2021	LAYOUT

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
© 2020 JWA

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
SCHEDULES

SHEET NUMBER:
A800

PrairieRegular

Hybrid 2 Rope Light
By American Lighting

LUMENS
LIGHT AND LIVING
Call Us 877.445.4486

Hybrid 2 Rope Light
By American Lighting

Notes:

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:

Product Options

Color: White,
Size: 150 foot,
Color Temperature: 2700

Details

ETL Listed Wet
Made In China

Dimensions

150 foot Option Fixture: Length 1800", Width 0.56", Height 18"

Lighting

150 foot 2700

Lamp Type	LED Built-in
Total Lumens	180
Total Watts	2.30
Volts	120
Color Temp	2700 (Warm)
Average Lifespan	30000.00
CRI	82
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

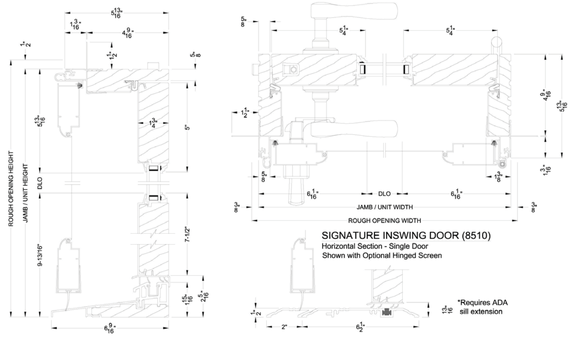
Additional Details

Product URL:
https://www.lumens.com/hybrid-2-rope-light-by-american-lighting-AML577810.html
Rating: ETL Listed Wet

ITEM#: AML577810

Weather Shield®
Signature Series™

Hinged Patio Doors
CROSS SECTION DETAILS



SIGNATURE INSWING DOOR (8510)
Vertical Section
Shown with Optional Hinged Screen

SIGNATURE INSWING DOOR (8510)
Horizontal Section - Single Door
Shown with Optional Hinged Screen

SIGNATURE INSWING DOOR (8510)
Vertical Section - ADA Sill
Shown with Optional Hinged Screen*

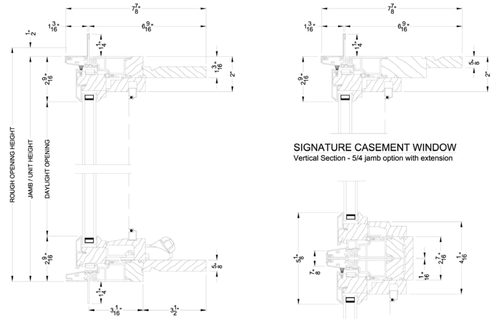
SIGNATURE INSWING DOOR (8510)
Horizontal Section - Double Door
Shown with Optional Hinged Screen

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

www.weathershield.com Weather Shield Windows and Doors REV 5/19

Weather Shield®
Signature Series™

Casement Windows
CROSS SECTION DETAILS



SIGNATURE CASEMENT WINDOW (8219)
Vertical Section - 6-9/16" jamb

SIGNATURE CASEMENT WINDOW
Vertical Section - 5/4 jamb option with extension

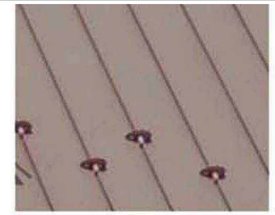
SIGNATURE CASEMENT WINDOW
Horizontal Stack Section - Transom Stack over Casement

SIGNATURE CASEMENT WINDOW (8219)
Horizontal Section - 6-9/16" jamb

SIGNATURE CASEMENT WINDOW
Vertical Mull Section

Note: All dimensions are approximate. Weather Shield reserves the right to change specifications without notice.

www.weathershield.com Weather Shield Windows and Doors REV 10/18



RUSTED STANDING SEAM METAL ROOF

BARNWOOD SIDING

OIL RUBBED METAL PANELS,
SEE ELEVATION FOR PATTERN

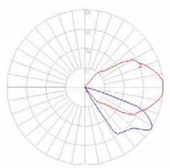
STONE VENEER

Created April 5th, 2022

BEGA

Photometric Filename: 22230.ies

TEST: BE_22230
TEST LAB: BEGA
DATE: 11/6/2012
LUMINAIRE: 22 230
LAMP: 2.1W LED, 24V DC



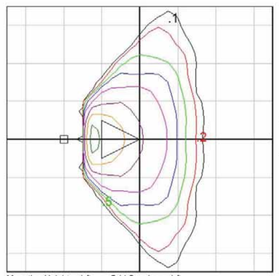
Characteristics

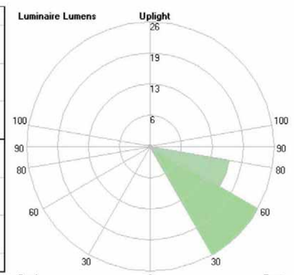
IES Classification	Type IV
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	43
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	14
Total Luminaire Watts	3
Ballast Factor	1.00
Upward Waste Light Ratio	0.01
Max. Cd.	68.3 (5H, 57.5V)
Max. Cd. (<90 Vert.)	68.3 (5H, 57.5V)
Max. Cd. (At 90 Deg. Vert.)	.6 (1.4%Lum)
Max. Cd. (80 to <90 Deg. Vert.)	2.6 (6.0%Lum)
Cutoff Classification (deprecated)	N.A. (absolute)

Lum. Classification System (LCS)

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	0.1	N.A.	0.2
FM (30-60)	25.7	N.A.	59.8
FH (60-80)	16.6	N.A.	38.6
FVH (80-90)	0.2	N.A.	0.4
BL (0-30)	< 0.05	N.A.	0.0
BM (30-60)	< 0.05	N.A.	0.0
BH (60-80)	< 0.05	N.A.	0.0
BVH (80-90)	< 0.05	N.A.	0.0
UL (90-100)	0.1	N.A.	0.2
UH (100-180)	0.3	N.A.	0.7
Total	43.0	N.A.	100.0

BUG Rating B0-U1-G0





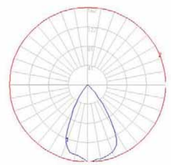
Mounting Height = 1 ft. Grid Spacing = 1 ft.

In the interest of product improvement, BEGA reserves the right to make technical changes without notice.

BEGA

Photometric Filename: 33514.IES

TEST: BE_33514
TEST LAB: BEGA
DATE: 9/20/2017
LUMINAIRE: 33 514
LAMP: 3W LED



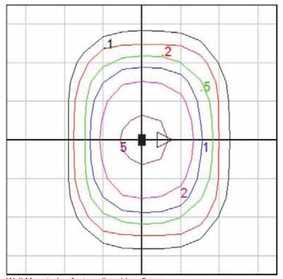
Characteristics

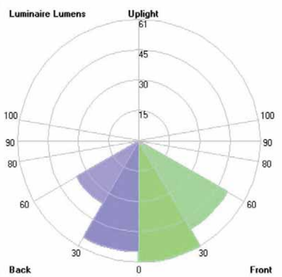
IES Classification	Type I
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	204
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	35
Total Luminaire Watts	5.8
Ballast Factor	1.00
Upward Waste Light Ratio	0.00
Max. Cd.	162.408 (180H, 0V)
Max. Cd. (<90 Vert.)	162.408 (180H, 0V)
Max. Cd. (At 90 Deg. Vert.)	0 (0.0%Lum)
Max. Cd. (80 to <90 Deg. Vert.)	.202 (0.1%Lum)
Cutoff Classification (deprecated)	N.A. (absolute)

Lum. Classification System (LCS)

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	60.5	N.A.	29.6
FM (30-60)	50.8	N.A.	24.9
FH (60-80)	0.9	N.A.	0.4
FVH (80-90)	< 0.05	N.A.	0.0
BL (0-30)	55.4	N.A.	27.1
BM (30-60)	35.9	N.A.	17.6
BH (60-80)	0.7	N.A.	0.3
BVH (80-90)	< 0.05	N.A.	0.0
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	204.2	N.A.	100.0

BUG Rating B0-U0-G0





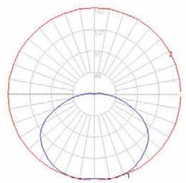
Wall Mount - Iso-footcandle grid on floor
Mounting Height = 5 ft. Grid Spacing = 2.5 ft.

In the interest of product improvement, BEGA reserves the right to make technical changes without notice.

BEGA

Photometric Filename: 66411.IES

TEST: BE_66411
TEST LAB: BEGA
DATE: 9/12/2017
LUMINAIRE: 66 411
LAMP: 8.9W LED



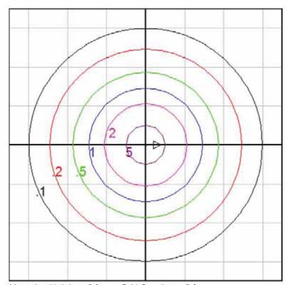
Characteristics

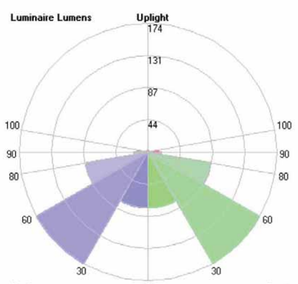
IES Classification	Type V
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	724
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	60
Total Luminaire Watts	12
Ballast Factor	1.00
Upward Waste Light Ratio	0.02
Max. Cd.	182.007 (0H, 15V)
Max. Cd. (<90 Vert.)	182.007 (0H, 15V)
Max. Cd. (At 90 Deg. Vert.)	21.828 (3.0%Lum)
Max. Cd. (80 to <90 Deg. Vert.)	47.401 (6.5%Lum)
Cutoff Classification (deprecated)	N.A. (absolute)

Lum. Classification System (LCS)

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	75.5	N.A.	10.4
FM (30-60)	174.4	N.A.	24.1
FH (60-80)	85.8	N.A.	11.8
FVH (80-90)	18.4	N.A.	2.5
BL (0-30)	75.5	N.A.	10.4
BM (30-60)	174.4	N.A.	24.1
BH (60-80)	85.8	N.A.	11.8
BVH (80-90)	18.4	N.A.	2.5
UL (90-100)	14.5	N.A.	2.0
UH (100-180)	1.9	N.A.	0.3
Total	724.6	N.A.	100.0

BUG Rating B0-U2-G1





Mounting Height = 5 ft. Grid Spacing = 5 ft.

In the interest of product improvement, BEGA reserves the right to make technical changes without notice.

NOT FOR CONSTRUCTION

JACK WESSON
ARCHITECTS INC.
TELLURIDE, COLORADO 81435
TEL: 970-728-9755
FAX: 970.728.9724
jwesson@me.com
www.jackwessonarchitects.com

MARK	REV. DATE	DESCRIPTION
	11-16-2022	DRB SUBMISSION
	8-18-2022	SCHEDULES PACKAGE
	7-20-2022	INTERIORS PACKAGE
	5-11-2022	DRB SUBMISSION
	3-4-2022	REDLINE PICKUPS
	1-10-2022	10' SHIFT
	1-3-2022	REDLINE PICKUPS
	12-31-2021	REDLINE PICKUPS
	11-3-2021	MATERIAL AREAS
	10-25-2021	MASSING
	7-1-2021	LAYOUT

PROJECT NAME:
PROJECT MANAGER:
DRAWN BY:
REVIEWED BY:
© 2020 JWA

PROJECT NAME:
508 MV
MOUNTAIN VILLAGE
COLORADO 81435

SHEET DESCRIPTION:
MATERIAL SAMPLES
AND CUT SHEETS

SHEET NUMBER:
A810

PrairieRegular

471377
Page 1 of 1
SAN MIGUEL COUNTY, CO
STEPHANNIE VAN DAMME, CLERK-RECORDER
07-16-2021 08:16 AM Recording Fee $13.00

Town of Mountain Village Fireplace Permit

Permit # 206

OWNER:
ISA RE HOLDINGS LLC, A DELAWARE LLC
C/O ANDREA FIOCCHI,
82 BEAVER ST APT 205
NEW YORK, NY 10005

LOT #
508

This is a Grandfathered permit, converted from San Miguel County permit # 89-116. This **ORIGINAL** permit must be presented to the Town of Mountain Village when you are ready to build or transfer solid fuel burning device capability to another lot or owner.

X_____ Date 7.15.2021

Michelle Haynes, MPA,
Director of Planning and Development Services
Town of Mountain Village

X Andrew Harrington Digitally signed by Andrew Harrington Date: 2021.07.15 13:01:50 -06'00' Date_____

Drew Harrington
Building Official
Town of Mountain Village

TRANSFER:

Purchasers Name: _____ LOT No:_____
Address: _____

_____

Signed: _____
(Previous Owner)

STATE OF _____)
) ss.
COUNTY OF _____)

Subscribed and sworn to me before this _____ day of _____,

20___, by _____ .

S
E
A
L

_____
Notary Public

My Commission Expires:_____

DEVELOPMENT REFERRAL FORM

Planning & Development Services
Planning Division
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments

TFPD approves the proposal with the following conditions:

1) The structure is over 3,600 gross sq ft and shall require a monitored NFPA 13D sprinkler system.
2) The structure shall require a monitored NFPA 72 fire alarm system.
3) The width of the driveway shall meet the code of 16 feet total width. 12 feet shall be a hard surface with 2-foot shoulders meeting the same compaction required as the hard surface and shall be an all-weather driving surface.
4) The address monument shall be a minimum of 4-foot 6-inches from grade to the bottom of the address numbers. Address numbers shall be 6-inches in height, reflective coated, or outlined with a reflective coating.
5) TFPD recommends the installation of a Knox Box for emergency access.

Amy,
This lot should have a water tap. Have the applicant field verify all utilities. No issues with Public Works.
Finn