# TOWN OF MOUNTAIN VILLAGE REGULAR DESIGN REVIEW BOARD MEETING AGENDA THURSDAY MAY 4, 2023 10:00 AM

## MOUNTAIN VILLAGE TOWN HALL 455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO TO BE HELD HYBRID THROUGH ZOOM:

https://us06web.zoom.us/j/83287778226?pwd=cEZtZmV5cXFHdktCVC8wU0VMWEs3QT09

Meeting ID: 832 8777 8226 Passcode: 989341

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

	Time	Min.	Presenter	Туре	
1.	10:00		Chair	Chair	Call to Order
2.	10:00	3	Fallenius	Action	Reading and Approval of Summary of Motions of the March 30, 2023, Design Review Board Meeting
3.	10:03	20	Chair	Quasi-Judicial	Review of candidate applications and Recommendation to Town Council regarding 4 open Design Review Board member seats
4.	10:23	3	Ward/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture and Site Review for a single-family home on Lot 161-A4 Unit 6, The Ridge, Pursuant to CDC Section 17.4.16 and 17.5.16.  The applicant is requesting that this item be continued to the June 1, 2023 regular DRB meeting
5.	10:26	45	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a single-family home on Lot 391, 142 AJ Drive, Pursuant to CDC Section 17.4.11. This item was continued from the March 30, 2023 regular DRB meeting
6.	11:11	15	Ward/ Applicant	Quasi-Judicial	Review and Recommendation to Town Council regarding a Density Transfer and Rezone Application for Lot 648 Unit 2-3D at 313 Adams Ranch Rd, pursuant to CDC Section 17.4.9
7.	11:18	15	Ward/ Applicant	Quasi-Judicial	Review and Recommendation to Town Council regarding a major subdivision application to replat open space tracts OS-3BR2 and OS-3XRR consistent with the CDC Section 17.4.13
8.	11:33		Chair	Adjourn	Adjourn

# DESIGN REVIEW BOARD MINUTES TOWN OF MOUNTAIN VILLAGE REGULAR DESIGN REVIEW BOARD MEETING MARCH 30, 2023

#### **Call to Order**

Chair **Brown** called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:01 AM on March 30, 2023.

#### **Attendance**

#### The following Board members were present and acting:

Banks Brown
Liz Caton
Shane Jordan
Greer Garner
Ellen Kramer
Jim Austin (Attended Zoom)
David Craig

#### The following Board members were absent:

Scott Bennett Adam Miller

#### Town Staff in attendance:

Amy Ward – Community Development Director
Marleina Fallenius – Planning Tech and Housing Coordinator
Claire Perez – Planner I
Maegan Eckard – Office of Town Manager Assistant
Sean Deland

#### **Public Attendance:**

Justin Kilbane Edwin Lindell

#### **Public Attendance via Zoom:**

Kristine Perpar
Erasmus Cromwell-Smith
Mark Bertelsen
Elizabeth Williams
Rohan Shah
Ian Fallenius
Chris Hawkins
Carl Merzi
Jamie Daugaard

Caden Daugaard
Josephine Fallenius

## <u>Item 2. Reading and Approval of Summary of motions March 2, 2023, Design Review Board Meeting minutes.</u>

On a **MOTION** by **Garner** and seconded by **Caton** the DRB voted **unanimously** to approve the summary of motions of the March 2, 2023, Design Review Board meeting minutes.

## <u>Item 3. Consideration of a Design Review: Final Architecture and Site Review for a detached single-family condominium on Lot 165 Unit 4, 140 Cortina, Pursuant to CDC Section 17.4.11</u>

Amy Ward of Design Workshop: Presented as Staff

Kristine Perpar: Presented as Applicant

Public comment: None

On a **MOTION** by **Craig** and seconded by **Jordan** the DRB voted **unanimously** to approve the Final Architecture Review for a new single-family condominium located at Lot 165 Unit 4, based on the evidence provided in the staff memo of record dated March 20, 2023 and the findings of this meeting, with the following specific approvals, variation, and conditions:

#### **Design Review Board Approval:**

- 1) Metal Fascia
- 2) Metal Soffit

#### **Design Review Board Variation:**

1)Setback encroachment – hardscape

#### And with the following conditions:

- 1) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.
- 2) Prior to building permit, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Fire Mitigation standards, including a minimum 10 feet crown spacing and removal of trees identified by the Forrester. Prior to certificate of occupancy specific diameter of installed trees along San Joaquin Rd. should be 4-5 inches DBH.
- 3) The applicant shall work with public works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.
- 4) Prior to building permit the applicant will provide a consistent construction mitigation plan.
- 5) The applicant shall install a monitored carbon monoxide detection in accordance with 2018 IFC 915.2.1.
- 6) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

- 7) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials
- 8) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

# Item 4. Consideration of a Design Review: Final Architecture and Site Review for the addition of an Accessory Dwelling Unit (ADU) to an existing single family home on Lot 211, 151 Benchmark Drive, Pursuant to CDC Section 17.4.11

Claire Perez: Presented as Staff

Edwin Lindell: Presented as Applicant

Public Comment: None

On a **MOTION** by **Kramer** seconded by **Caton** DRB voted **unanimously** to approve the Final Architectural Review for a new Accessory Dwelling Unit located at Lot 211, 151 Benchmark Drive, based on the evidence provided within the Staff Report of record dated March 20, 2023, with the following design variations and specific approvals:

#### **Design Review Board Variation:**

1) Flat roof form

#### **DRB Specific Approvals:**

1) Board form concrete retaining wall

#### And, with the following conditions:

- 1) Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 2) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

- 3) Prior to issuance of a building permit, the applicant shall obtain approval from the Town Forester or other staff member for any proposed tree removal. Trees shall not be removed until the building permit has been issued.
- 4) All areas disturbed by construction must be revegetated to natural state per Mountain Village approved seed mix.
- 5) The structure shall require a monitored fire alarm system.
- 6) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials
- 7) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 8) Prior to the issuance of a building permit, the applicant must provide lighting revisions to reduce the number of recessed cans and removal of LED railing light on the upper-level stairs. All revisions to be reviewed and approved by staff.

## <u>Item 5.</u> Consideration of a Design Review: Initial Architecture and Site Review for a single-family home on Lot 391, 141 AJ Drive, Pursuant to CDC Section 17.4.11 This item was

continued from the March 2, 2023 regular DRB meeting.

Claire Perez: Presented as Staff Rohan Shah: Presented as Applicant

**Public Comment: None** 

On a **MOTION** by **Kramer** and seconded by **Caton** the DRB voted **unanimously** to continue the Initial Architecture and Site Review for a new single-family home located at Lot 391, 142 AJ Drive, based on the evidence provided in the staff memo of record dated March 30, 2023, to the May 4, 2023 Design Review Board meeting.

#### Item 6. Lunch 12:06 pm

## <u>Item 7: Consideration of a Design Review: Final Architecture and Site Review for a single-family home on Lot 311, 320 Benchmark Drive, pursuant to CDC Section 17.4.11.</u>

Amy Ward: Presented as Staff

Justin Kilbane: Presented as Applicant

#### Public comment: None

On a MOTION by **Caton** and seconded by **Austin** the DRB voted **unanimously** to approve the Final Architectural Review for a new single-family home located at Lot 311, based on the evidence provided in the staff record of memo dated March 30, 2023, and the findings of this meeting. The applicant shall address the Conditions to receive approval from the DRB

- 1) Prior to approval, the applicant shall provide a 3D plan view that depicts 35' from the natural and existing grades in relation to the highest portion of the proposed development.
- 2)Prior to approval, the applicant shall revise their plans to provide height calculations on the elevations shown on Sheet A4.1 and Sheet 5.1 of Exhibit A.
- 3)A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.
- 4)Prior to approval, the applicant shall revise the site plan to show a snow shed and storage plan for roofs, walkways, and drives.
- 5)Prior to approval, the applicant shall revise the material calculations to provide a total percentage calculation of all exterior wall materials.
- 6)Prior to approval, the applicant shall identify the material to be used for the soffit.
- 7)Prior to building permit, the applicant shall receive approval from public works for grading in the Earthwork Easement and/or confirmation that the Town will vacate the easement.
- 8)Prior to approval, the applicant shall provide a revised lighting plan per the concerns in this memo as well as additional direction provided by DRB at this hearing. Applicant shall demonstrate all fixture selections per level, and individual iso foot candle studies from the main versus the ground level and reduction of recess cans on the upper balconies per staff approval.
- 9)Prior to approval, the applicant shall provide location information for the address monument.
- 10) Prior to approval, the applicant shall provide an updated landscape and fire mitigation plans showing compliance with the Fire Mitigation standards.
- 11)Prior to approval, the applicant shall provide a construction mitigation plan that is in compliance with the CDC.
- 12)Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.
- 13) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the right of way.
- 14) The structure is over 3,600 gross sq ft and shall require a monitored sprinkler system.
- 15) The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.
- 16) A Knox Box for emergency access is recommended.
- 17)Consistent with town building codes, unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 18) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

- 19) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
- a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials
- 20) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 21) Prior to the building division applicant must increase stone percentage to at least 35%.

## Item 8: Review and Recommendation to Town Council of a Height Variance Request to the Coonskin View Corridor on 161A-4, Unit 6 The Ridge, pursuant to CDC Section 17.4.11 and 17.5.16

Amy Ward: Presented as Staff

Mark Bertlesen and Jamie Daugaard of Centre Sky: Presented as Applicant

Public Comment: None

On a **MOTION** by **Caton** seconded by **Kramer**, the DRB voted **unanimously** to recommend to Town Council a Height Variance to the Coonskin View Corridor on Lot 161A-4, Unit 6 The Ridge, based on the evidence provided within the Staff Memo of record dated March 22, 2023.

# Item 9. Consideration of a Design Review: Initial Architecture and Site Review for a single family detached condominium on Lot 161A-4 Unit 6 The Ridge IASR, pursuant to CDC Section 17.4.11

Amy Ward: Presented as Staff

Mark Bertlesen and Jamie Daugaard of Centre Sky and Chris Hawkins of Alpine Planning:

Presented as Applicant

Public Comment: None

On a **MOTION** by **Caton** seconded by **Kramer**, the DRB voted **unanimously** to approve the Initial Architectural and Site Review for a new single-family detached

condominium located at Lot 161A-4 Unit 6, based on the evidence provided within the Staff Memo of record dated March 22, 2023,

#### And with the following conditions:

- 1) Prior to submittal for Final Architectural Review, the applicant will provide additional information as to the proposed drainage swale and any potential impacts to Horseshoe Lane.
- 2) Prior to submittal for a Final Architectural Review, the applicant shall provide proof of a parking reservation agreement or indicate intent to pay the parking payment in lieu fee to the Town. If a reservation agreement has been executed, then the addendum to the reservation agreement needs to be executed prior to building permit.
- 3) Prior to the submittal for a Final Architectural Review, the applicant shall indicate the fuel source for all fireplaces.
- 4) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Prior to the issuance of a building permit, the applicant shall obtain approval for the relocation of Unit 6 per a staff level condominium amendment.
- 6) This design review approval is dependent on approval of a height variance by the Town Council. If a height variance is not approved by Town Council, the design approval is not valid as proposed and the applicant would necessarily go through additional design review with revised plans.
- 7) Owners shall indemnify, defend and hold harmless Town, its members, affiliates, officers, directors, partners, employees, and agents from and against all claims, damages, losses and expenses, including but not limited to reasonable attorney's fees, arising out of the approval of the variance granted hereunder.
- 8) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 10) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the common open-space.
- 11) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
- a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials
- 12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general

easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

#### Item 10: ADJOURN

**MOTION** to adjourn by and seconded by and **unanimous** consent, the Design Review Board voted to adjourn the March 2, 2023, meeting at **1:43 pm.** 

Prepared and submitted by,

Marleina Fallenius, Planning Technician & Housing Coordinator



## AGENDA ITEM 3 PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 728-1392

**TO:** Mountain Village Design Review Board

**FROM:** Amy Ward, Community Development Director

**FOR:** Design Review Board Public Hearing; May 4, 2023

**DATE:** April 26, 2023

**RE:** Interview Applicants for Design Review Board Open Seats

#### Overview

The Design Review Board will interview and provide a recommendation to Town Council regarding four Design Review Board open seats. Each of the DRB members serves a 4-year term.

The expiring seat terms are those currently held by

- Liz Caton, reapplied
- Greer Garner, reapplied
- Ellen Kramer, reapplied
- Shane Jordan, alternate, did not re-apply for an additional term

In addition to the three incumbent applications, one new application has been submitted.

#### The new applicant is:

David Eckman

#### **ATTACHMENTS**

Exhibit A: Letters of intent and supplementary application materials

Exhibit B: Recommended interview questions

#### **Staff Recommendation:**

Staff recommends the DRB discuss the applications and recommend its incumbent members be re-appointed, and that David Eckman is newly appointed to fill the vacant alternate seat by Town Council.

#### **Proposed Motion:**

I move to make the recommendation to Town Council to reappoint Caton, Garner and Kramer to regular seats, and David Eckman to an alternate seat, on the Design Review Board of the Town of Mountain Village.

### **Sample DRB Interview Questions**

1.	What interests you about serving on the DRB?
2.	Are you familiar with the TMV DRB and the review process?
3.	Do you have any experience serving on a similar board?
4.	What qualities do you feel are important for a DRB member to possess?
5.	What important qualities do you believe you will bring to the DRB?
6.	Do you see yourself having potential conflicts of interest?
7.	Are you able to commit the necessary time to the DRB?

#### **ELIZABETH CATON**

226 ADAMS RANCH ROAD MOUNTAIN VILLAGE, CO 81435 CELL: 949-494-1303

LIZ.CATON@GMAIL.COM

#### **OVERVIEW**

Member of Design Review Board since June 2016.

Twenty five-year management of real estate partnership. Certificate in Interior Design, specializing in Kitchen and Bath design.

Eighteen year experience as retail buyer for children's clothing for major department and specialty children's stores. Eleven year experience as financial manager for interior design and general contracting firms.

#### **EXPERIENCE**

	1972-1978	Bullocks De	partment Store,	Los A	ngeles, CA
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1978-1980 John A. Brown, Oklahoma City, OK

1980-1985 Broadway Department Stores, Los Angeles, CA

1995-1990 Abigail's Children's Boutique, Wellesley, MA

1993-2000 Ruth Soforenko Associates, Palo Alto, CA

Part-time office manager for residential interior design firm. Responsible for accounts payable, accounts receivable, payroll, and client billing.

2004-2005 Nationwide Floor & Window Coverings, West Orange, NJ

Part-time office manager for national franchise selling floor and window coverings. Responsible for scheduling, invoicing, and accounts payable.

2005-2007 The Goldsmith Company, Mountain Lakes, NJ

Part-time office manager for general contracting company. Responsible for customer invoicing, accounts payable, banking and payroll taxes.

#### **OTHER ACTIVITIES**

Volunteer for Telluride Adaptive Sports Program during ski season. Membership chair and secretary for Telluride Women's Network. Past volunteer for San Miguel Resource Center. President Emeritus of Web of Benefit, a non-profit organization providing financial aid to survivors of domestic violence.

Past finance chair for Web of Benefit

#### **EDUCATION**

Pitzer College, Claremont, CA – B.A. Literature Canada College, Redwood City, CA – Certificate in Interior Design

### Dr. Greer T. Garner

253 Adams Ranch Road Telluride, Colorado 81435 (970) 708-0154 cell garnerdr64@gmail.com

March 6, 2023

Mountain Village Town Council Town of Mountain Village, Colorado

Dear Mountain Village Town Council,

I am sending this letter to express my interest in remaining on the Design Review Board.

Having been a full time resident in Mountain Village for over 20 years, I have witnessed many changes, most recently the ongoing increase in residential building coupled with the challenges presented by the shapes and slopes of the remaining lots. This increase in new residents coupled with limited land availability and lot shapes has led to a stimulating dynamic as the DRB works with new homeowners to facilitate their architectural and building desires while also adhering to the CDC guidelines. I have found this stimulating environment to be a creative and satisfying endeavor over the past years.

Having participated on the DRB both as chair and board member for many years as well as being a Comprehensive Plan Task Force Advisory Member assisting in the formulation of the 2011 Comprehensive Plan, I believe my experience and background can continue to be of help as Mountain Village grows and thrives.

Thank you for your consideration.

Sincerely, Greer Garner

### Greer Garner, PhD

253 Adams Ranch Road Telluride, Colorado 81435 (970) 708-0154 cell garnerdr64@gmail.com

#### **Education:**

BA, Magna cum laude, Psychology MA, Counseling Psychology PhD, Counseling Psychology

#### **Work History:**

Co-owned and managed three wine tasting shops in Dallas, Ft. Worth Texas area

Counseling Internship at Salesmanship Club Family Counseling Center, Dallas, TX

University of Texas Southwest Medical Center/ VA Hospital post doctoral position, Dallas, TX

Counseling Practice, Telluride, CO

### **Volunteer History:**

American Women's Club, Germany: President

Telluride Women's Network: President

The San Miguel Resource Center: Board Member,

Clinical Consultant

Mountain Village Design Review Board: Chair; Board

Member:

Task Force Advisory

Member, 2011

Comprehensive Plan

Angel Baskets: Board Member

#### Awards:

Telluride Foundation Citizen of the Year Award Domestic Violence Service Award Professional of the Year Planning & Development Services Town of Mountain Village 455 Mountain Village Blvd., Ste A Mountain Village, CO 81435

10 April 2023

Dear Members,

As the only architect on the DRB, I feel that I have brought important insights and a unique perspective to the projects that have come before us. At this time I request to continue as a Board Member. I have a keen attention to detail and a broad understanding of the salient issues. In addition, having had more than 30 years of experience as a LEED Certified Architect in California, I have navigated between client goals and the complex realities of municipality design review boards. I also have extensive experience presenting to review boards and resubmitting projects after incorporating DRB comments, while also remaining sensitive to client desires.

These skills have served me well during the discussions and deliberations on the DRB and helped me be an effective member. The DRB has been both a challenging and a rewarding experience. I would like to continue my role as a Board Member.

Thank you for your consideration.

Sincerely, Ellen Kramer, Architect LEED, A.P. erkramer14@gmail.com 
 From:
 David Eckman

 To:
 Claire Perez

 Cc:
 Amy Ward

 Subject:
 RE: DRB seats

Date: Thursday, April 20, 2023 2:15:39 PM
Attachments: Eckman David - Resume Apr 23.pdf

I would like to submit my application for consideration of the alternate seat with the Town of Mountain Village Design Review Board. In the prior years I had served with this board with much pleasure giving back to the industry and community. Having taken time away from this board, I had sought out where I could give back with the knowledge retained and have not found an opportunity as satisfying as serving this board and the Town of Mountain Village community. Most recently, I have had several inquiries if I would consider serving once again, which has sparked an interest and kindled a new interest for the engagement in this capacity. Attached is my resume for your review and consideration. I thank you in advance for your consideration of my request.

#### David Eckman, LEED AP

**Chief Operating Officer** 

T: (970)650-8099 | M: (970)708-9336

davide@prosetconstruction.com | www.prosetconstruction.com



California Contractor License Number 1038429

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From: Amy Ward <award@mtnvillage.org>
Sent: Thursday, April 20, 2023 1:37 PM

**To:** David Eckman <davide@prosetconstruction.com>

Subject: DRB seats

Here you go.

Amy Ward

Community Development Director

Town of Mountain Village O:: 970.369.8248 M:: 970.729.2985

We are experiencing high volumes of development review and have limited staffing. Please be patient regarding our response time.

Website | Facebook | Twitter | Instagram | Email Signup | Careers We make Mountain Village a great place to live, work & visit.

#### **DAVID DALE ECKMAN**

120 Alexander Overlook Telluride, CO 81435 david@eckmancm.com 970.708.9336

#### **SUMMARY**

Project development and management professional with experience in the development and / or construction of resort, hotel, restaurant, multi-family office, industrial, medical, airport, and sport facility property. This experience spans working in the capacity of an owner, consultant, and contractor representative. A foundation of US Army experience provided essential leadership skills coupled with a graduate education.

#### **WORK EXPERIENCE**

## **PROSET CONSTRUCTION**, Montrose, Colorado *Chief Operating Officer*

April 2017 – Current

Start up providing modular construction solutions to the hospitality and multifamily market in the western US with regionally projects providing for luxury estate home and commercial ground up construction.

- Establishing and development of Preconstruction department, Implementation of standard operating protocols, integration of operating platforms, personnel development and recruitment
- National travel and engagement of prospective clientele, strategic development of industry partners in design and fabrication, participation with design charrettes and design development
- Fast track Airport remodel and expansion, terminal retrofit with fire suppression system
- Commercial unit in ski village conversion to a luxury condo
- Plaza / parking garage reconstruction with integration of snowmelt system and new boiler plant
- Active precon / contracting projects Holiday Inn San Jose, CA, Hilton Garden Inn San Jose, CA, Hyatt Place – Trinidad, CA, Holiday Inn Express – Bend, OR, Fox Hollow multi-family development – Edwards, CO, Silver Tip Investments luxury home – Mountain Village, CO
- 35+ projects engaged with precon dept provide ROM budgets to detailed costing

#### ECKMAN CONSULTING & MANAGEMENT, Telluride, Colorado Owner Representation and Project Manager Services

April 2009 - Current

Founded Eckman Consulting & Development to provide owner representation and project management services regionally for high alpine resort development.

- School expansion and remodel under Design Build methodology. Retro commissioning management on existing facilities with system replacement / upgrades. 26 Mil project, 70,000 SF of new or remodeled in under 2 years with school in session.
- Mixed use hotel Owner Rep / Project Management of facility improvements, retro commissioning, and build out of unfinished commercial spaces. Participate with Executive Committee in sales process of hotel asset. Due diligence, design development, and construction of flagship Starbucks in 5 star hotel property
- Expert witness multiple engagements and retention in construction defect claims
- Developed program, designed, and RFP for Town of Mountain Village owned multifamily property.
- Retained as Owner Representative for luxury estate home in Telluride at inception to attain approvals and see through to closeout.
- Luxury estate home with stopped work due to quality and cost control. Negotiated new contract and oversaw completion of work by GC to satisfaction of owner.
- Managed design and construction for luxury estate home build out of spacious unfinished space with existing condition constraints.
- Retained by Town of Mountain Village to consult on energy initiatives on proposed projects.

DAVID DALE ECKMAN PAGE 2

## **BUCKENDORF MANAGEMENT INC**, Mountain Village, Colorado *Project & Preconstruction Manager*

June 2008 - March 2009

BMI is a builder founded by the COO of RA Nelson & Associates with a focus on luxury homes and multifamily projects in the Telluride region. BMI emphasizes green building techniques deployed with critical path scheduling of the work.

- Developed standard forms and protocol for operations.
- Business development within regionPreconstruction for multifamily, single-family, and athletic facilities.
   Some highlighted projects are:
  - Elkstone 21 38 million, Greyhead Tennis Barn 7 million, Graysill Condos 1 million
- Consulting Town of Mountain Village develop scope and manage RFP for Village Court Apartments.

#### RA NELSON & ASSOCIATES, Telluride, Colorado Project Manager

June 2006 - June 2008

RA Nelson is a builder in the Vail, Aspen, Mammoth and Telluride regions. Focus is high-end construction in commercial, multi-family, and single family. 150 Million / Yr. Organization

- Fast track project with 25% scope change in less than 6 months from foundation.
- Commercial and multifamily project preconstruction assistance / management.
- Fire and smoke restoration project.
- Close out multiple projectsConduct business development and work on special committees for organization standardization.

## **TOWN OF MOUNTAIN VILLAGE**, Telluride, Colorado **Board Member**

Oct 2007 - Current

Design Review Board – Chairman for Planning, Zoning, and Design Review for the Town of Mountain Village. Special appointment by Mayor, Director of Development, and Chairman of Board.

### DELWEST HOLDINGS LLC, Denver, Colorado

Mar 2004 – Nov 2005

#### Development Manager, Project Manager

Delwest is a multifamily developer / builder in the Denver region. Product is an entry-level town home and condo in communities with typically 2-3 year build out projections.

- Performed contract and budget audits on projects during transitional term, reviewed departmental organizational structure and mediated subcontractor disputes
- Commenced or completed over 218 multifamily units and 3 land development projects.
- Daily responsibilities included management of design teams for pre-development, securing necessary entitlements or regulatory approvals, and assembly of construction documents. Developed / managed land development, indirect, and vertical construction budgets, wrote subcontractor contracts, created schedules, managed staff, and reported on project progress for communities.

## **ECKMAN PROJECT MANAGEMENT SERVICES**, Frisco, Colorado *President*

Oct 2002 - Mar 2004

Provide services in construction management to assist clientele achieve development to completion of projects without the liability of retaining the necessary expertise in house.

- Centex Destination Properties deployed to Palm Springs, CA to assist site managers in fast tracking land development through scheduling with SIPS principals to achieve fiscal goals.
- Intrawest US Holdings manage team in the completion of projects after corporate lay off. Continued representation on Eagles Nest Design Review Committee.
- MWA Builders, LLC joint venture and business development. Provided management services.

DAVID DALE ECKMAN PAGE 3

## **INTRAWEST US HOLDINGS**, Three Peaks Resort Development Group, Dillon, Colorado *Construction Manager*

2001-2002

Responsible for the construction of vertical products on the Three Peaks resort in Silverthorne, Colorado and performed a tenant improvement at Copper Mountain.

- Eagles Nest Design Review Committee Chairperson recognized for achievement in restructuring the committee, executed the duties of review, approval, and monitoring residential projects.
- Assembled design teams for development of project, secured necessary entitlements or regulatory
  approvals while maintaining schedule, and assembled construction documents to proceed to the
  construction phase, all within budget.
- Selected qualified general contractors to perform work, ensured compliance of construction budget, delivered quality, meeting or exceeding expectations while maintaining schedule to the close-out.
- Reported timely and concisely to corporate, the partnership, as well as senior management on project progress.

### OZ ARCHITECTURE, Summit County Studio, Dillon, Colorado

2000-2001

#### **Construction Administrator**

Functioned as construction representative of the architect in the mountain region for Boulder and Denver studios.

- Realized confidence of owner and acted as primary contact between Owner/Contractor
- Successfully administered Owner-Architect-Contractor meetings and other project manager duties
- Under own initiative identified need to implement quality control program and reported field progress on Intrawest projects at Copper Mountain with satisfaction of owner.
- Compiled concise as-built information for new construction concerns of mechanical, electrical, plumbing and architectural coordination.
- Generated thorough deficiency reports and punch lists for Copper Mountain projects.

## **NORTH STAR CONSTRUCTION MANAGEMENT, INC.**, Allentown, Pennsylvania *Project Development, Operations, & IT Management*

1997-2000

- Solicited proposals and completed conceptual estimates for projects.
- Assisted with conceptual schedules and design for Design-Build proposals.
- Involvement with sports complex, hotel, fitness facility, medical, manufacturing, and office facilities
- IT Support administered computer network system, consulted management on available technology.
- Acquired, integrated, and instructed usage of new technology for operations.
- Researched OSHA standard and developed a company safety program.
- Conducted plan review and design meeting coordination.

#### DANIEL, MANN, JOHNSON, & MENDENHALL, INC., Denver, Colorado Project Inspector at Denver International Airport (Summer Position)

1998

- Responsible for scheduling, cost tracking, and quality assurance of subcontractors.
- Without disruption to operations, successfully coordinated runway closures and planned the construction operations directly with airport operations officer, control tower, and airline operations officer.
- Oversaw subcontractors performing specialty concrete processes with assurance to compliance of the specifications.

DAVID DALE ECKMAN PAGE 4

#### **EDUCATION / TRAINING / CERTIFICATIONS**

#### MS, Architectural Engineering, Pennsylvania State University,

University Park, Pennsylvania, 1999 Advanced studies in Design Build Construction Management, Organizational Design, Contract Law, Productivity Analysis

#### BS, Architectural Engineering, Pennsylvania State University

University Park, Pennsylvania, 1999 ABET accredited degree program, Construction Management emphasis, Deans List

#### **CETC 150, Stormwater Management and Erosion Control**

CDOT certification course

#### **Intrawest Development School**

Whistler, Canada, 2002 Seminar with Senior Corporate Management Intrawest Delivery Methodology, Organizational Design and Behavior

#### **OSHA Construction Safety Certification**

Certified Class B under 2003 IBC & IRC by International Code Council

Denver Building Contractor Class B Supervisor Certificate

Certified Class B under 2003 IBC & IRC by International Code Council

### Building Contractor Class B Supervisor Certificate

Certified Class B under 2009 IBC & IRC by International Code Council

Scheduling Seminar - Scheduling Consultants private seminar

#### **LEED Accredited Professional**

#### **COMPUTER SKILLS**

**Software:** Scheduling – Primavera P3, Suretrack, and Microsoft Project

Project Management – Expedition 10 & 8.5

Estimating - Timberline, Precision Estimating, and Win Est Pro

Takeoff – On Screen Takeoff

Design – AutoCAD MS Office – all modules

**Special skills:** Proficient in the upgrade, assembly, and diagnosing of PC problems Experienced in the administration and troubleshooting of networks.

perienced in the administration and troubleshooting of networks

#### **MILITARY EXPERIENCE**

SERVED IN US ARMY AS A SCOUT, Germany & Fort Knox, Kentucky

1990-1993

- Leadership position, managed 6 personnel.
- Served as the Squadron's Operations Officer's Assistant.
- Recipient of Army Achievement, National Defense, and Good Conduct medals.
- Three years service with Honorable Discharge.



## Agenda Item No. 7 PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 369-8250

**TO:** Mountain Village Design Review Board

FROM: Claire Perez, Planner I

**FOR:** Design Review Board Meeting; May 4, 2023

**DATE:** April 26, 2023

RE: Consideration of a Design Review: Final Architecture Review for a new Single-

Family detached condominium on Lot 161A-4 Unit 6, pursuant to CDC Section

17.4.11.

**BACKGROUND:** Staff is requesting a continuation of the Final Architecture Review to the June 1, 2023, Regular Meeting. The memo is being provided not to open the public hearing but solely for the purpose of the DRB providing a motion to continue to the Regular June 1 meeting date.

DRB also has the ability to table the item, which would require the applicant to re-notice the project at a time in the future.

**RECOMMENDED MOTION:** I move to continue, the consideration of a Design Review: Final Architecture Review for a new Single-Family detached condominium on Lot 161A-4 Unit 6, pursuant to CDC Section 17.4.11 to the Regular Design Review Board Meeting on June 1, 2023.



# AGENDA ITEM 5 PLANNING & DEVELOPMENT SERVICE PLANNING DIVISON

455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 728-1392

TO: Mountain Village Design Review Board

FROM: Claire Perez, Planner I

**FOR:** Design Review Board Public Hearing; May 4, 2023

**DATE:** April 25, 2023

RE: Staff Memo – Initial Architecture and Site Review (IASR) Lot 391, 142 AJ

Drive pursuant to CDC Section 17.4.11 (continued from the March 30,

2023, regular DRB meeting)

#### APPLICATION OVERVIEW: New Single-Family Home on Lot 391

#### **PROJECT GEOGRAPHY**

Legal Description: LOT 391 TOWN OF MOUNTAIN VILLAGE FILING 38 PLAT BK 1 PG 2146 CONT 0.944 ACRES MOL 10 22

96

Address: 142 AJ Drive

Applicant/Agent: Rohan Shah,

Method Homes

Owner: Elizabeth Alper & Jeff

Williams

**Zoning:** Single-Family **Existing Use:** Vacant

Proposed Use: Single-Family

Lot Size: .94 acres Adjacent Land Uses:

North: Single-Family
South: Open Space
East: Single-Family
West: Single-Family

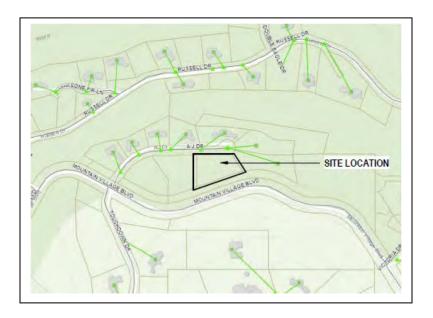


Figure 1: Vicinity Map

#### **ATTACHMENTS**

Exbibit A: Architectural Plan Set Exhibit B: Staff/Public Comments

<u>Case Summary</u>: Rohan Shah of Method Homes is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family home on Lot 391, 142 AJ Drive.

The DRB reviewed this case at the March 2, 2023, and March 30, 2023 regular DRB meetings and continued the discussion to the May 4, 2023 regular DRB meeting. Due to the steep nature of the site, the DRB requested additional information to ensure that development as proposed is feasible. This included additional information regarding driveway grade, driveway dimensions, site slope analysis, site grading/ drainage, and erosion control. The DRB also discussed other elements of the application that did not meet the requirements of the CDC, including fire mitigation, address monument design, retaining wall dimensions, and outdoor lighting. In response to the DRB comments, the applicant has provided an updated set of plans and additional information, which is included in Attachment A. These changes include:

- 1) A reduction in elevation of the main house.
- 2) Inclusion of updated driveway dimensions and grading details.
- 3) Clarification on the Address monument and the associated driveway retaining walls.
- 4) Adjustment in utility meter locations.
- 5) Updated construction mitigation plans including a crane swing radius.
- 6) Updated outdoor lighting.
- 7) A Wildfire Mitigation Plan.
- 8) Updated door and window details.

The proposed design consists of two structures, a main house, and a detached accessory dwelling unit. The main house is two stories and utilizes a combination of multiple shed roof forms. The ADU is one story and has a single shed roof form. The lot is approximately .94 acres and is zoned single-family.

The proposed development requires Design Review Board specific approvals for a maximum driveway grade of 10.21 percent, road right-of-way encroachments, GE Encroachments, and the use of metal fascia.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. **Please note that Staff comments will be indicated by** *Italicized Text*.

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

CDC Provision	Requirement	Proposed
Maximum Building Height	35' (shed) Maximum	29'0" (main house) 11' 8" (ADU)
Avg. Building Height	30' (shed) Maximum	20' 4" (main house) 9' 1" (ADU)
Maximum Lot Coverage	40% (16,378.56 sq ft)	36.3% (14,861 sq ft)
General Easement Setbacks	No encroachment	GE encroachment
Roof Pitch		
Primary		6:12
Secondary		1:12
Exterior Material		
Stone Veneer	35% minimum	38.21% (main) 42.6% (ADU)
Wood Siding	n/a	12.79% (main)

		17.97% (ADU)
Windows/Door Glazing	40% maximum	21.84% (main)
		23.12% (ADU)
Metal Accent	n/a	27.16% (main)
		16.31% (ADU)
Parking	2 interior/2 exterior	2 interior/ 2 exterior

#### Design Variation:

1) Road and Driveway Standards – grade

Design Review Board Specific Approvals:

- 1) Right-of-way Encroachment Address Monument and Retaining Walls
- 2) Materials metal fascia

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated March 2, 2023 and March 30, 2023.

## Chapter 17.3: ZONING AND LAND USE REGULATIONS 17.3.3 Use Schedule

Staff: Criteria met.

#### 17.3.4 Specific Zone District Requirements

Staff: Criteria met.

#### 17.3.13 Maximum Lot Coverage

Staff: Criteria met.

#### 17.3.11 and 17.3.12: Building Height and Building Height Limits

Staff: Criteria met.

#### 17.3.14: General Easement Setbacks

Lot 391 has a sixteen (16) foot General Easement (GE) which surrounds its perimeter. The CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC allows some development activity within the GE and setbacks such as ski access, natural landscaping, utilities, address monuments, driveways, walkways, and fire mitigation.

Staff: The proposal includes two GE encroachments that fall into the above category of permitted GE development activity including the following:

- Driveway: The driveway as shown currently takes access from AJ Drive and crosses the General Easement to the homesite. The driveway has associated retaining walls that encroach into the GE. All retaining walls are limited to 5 feet in height.
- Utilities: Utilities are located in AJ Drive and cross the northern GE to the lot.

Additionally, a portion of the driveway and associated retaining walls, as well as the address monument are located in the right-or-way. This is approvable by DRB if deemed insignificant by the Board.

Any development within the General Easement or road right of way will require the owner and the Town to enter into an Encroachment Agreement as part of a condition of approval.

#### **Chapter 17.5: DESIGN REGULATIONS**

17.5.4: Town Design Theme

Staff: Criteria met.

#### 17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The proposed structures are located on a steep lot that is uphill from the existing access road. Due to the steep nature of the site, the proposed structures are configured so that they step down the slope and maximize the views and solar exposure of the home. The Civil Sheets were updated to reflect a decrease in the elevation of the main house by 2' to reduce the driveway grades. The decrease in elevation would cause 2 additional feet of soil retention. The proposed development utilizes several retaining walls to provide structural support. The applicant has sited the ADU on a flatter portion of the site in the southeast corner.

The proposed development takes access from AJ Drive to the north. The entire northern perimeter of the site exceeds 30 percent grade. To access the site from the existing drive, the applicant is requesting a design variation for the driveway grade to exceed the 8 percent maximum slope threshold. The applicant has indicated this is necessary to limit disturbance to the lot. This is discussed in more detail in the roads and driveway section (Section 17.6.6).

#### 17.5.6: Building Design

Staff: Criteria met.

#### 17.5.7: Grading and Drainage Design

Staff: The site has an extreme grade change that slopes down towards AJ Drive. The applicant has provided an updated grading and drainage plan on sheet C2.1 and is proposing the use of retaining walls along the main building, along the driveway, and a large retaining wall along the parking areas of the driveway for both the main house and the ADU to work within the natural grade of the site.

The updated plan includes the dimensions of retaining walls. The tallest retaining wall is proposed to be five feet in height, which is the maximum allowed height. All retaining walls meet the required four-foot step between walls to allow for landscape softening.

#### 17.5.8: Parking Regulations

Staff: Criteria met.

#### 17.5.9: Landscaping Regulations

Staff: The site is currently heavily vegetated so development will require the removal of a significant amount of the existing landscape. The landscape plan was revised to reduce the overall number of planted trees. The landscape plan provided meets the diversity of

species requirement of the CDC. The plan includes 5 Aspen trees, 4 Engelmann spruce, 6 Colorado spruce, and 31 shrubs from five differing species.

The applicant is proposing the use of a two-foot boulder wall along the firepit and a 2.5foot boulder wall along the lawn area to the western edge of the property. The lawn area was increased by 3 ft in length to 37'.



Figure 3: Updated Landscape Plan

The applicant updated the plant to include tree protection fencing. The applicant added an additional note on the plan pertaining to the Forester's comments regarding soil storage and tree protection.

The applicant has included a wildfire mitigation plan on sheet L-103. The plan has been reviewed by the Town Forester.

#### 17.5.11: Utilities

Staff: The utility plan is provided on Sheet A005. The plan has been revised to show that the ADU and main house will connect to the same meter location. The plan indicates that the proposed water, phone, electric, and sewer lines will cross the northern property line and will connect to existing lines on AJ Drive and then follow the driveway up to the structures.

#### 17.5.12: Lighting Regulations

Staff: The lighting plan reduced the overall number of fixtures from 27 to 13 at the previous March 30 Meeting. The applicant has since revised the plan to include two step lights by the steps near the outdoor shower per the DRB's comments. All step lights are dark sky compliant and meet the requirements of the CDC, as shown on the full lighting description on Sheet L102.

The applicant indicates outdoor lighting on upper floors, balconies, and decks. The lighting fixture is a downlit sconce that is dark sky compliant and meets the lumen limit requirements of the CDC, as shown on Sheets E102 and E103. Staff believes that the deck on level two does not have access to grade, and therefore that fixture would need to be revised to show a step light. The applicant should verify. Otherwise, the lighting as proposed meets the requirements of the CDC.

#### 17.5.13: Sign Regulations

Staff: An address monument is proposed to be attached to the stone retaining wall located in the right of way, shown on Sheet L100. The sign has been revised to account for the height requirement. The dimensions of the sign including the retaining wall is 6'-0". The proposed address monument appears to meet the design requirements of the CDC.

#### **Chapter 17.6: SUPPLEMENTARY REGULATIONS**

#### 17.6.1: Environmental Regulations

Staff: The landscape plan has been revised to meet the CDC and has been reviewed by the Town Forester. The Wildfire Mitigation plan provided adheres to the CDC.

#### 17.6.6: Roads and Driveway Standards

Staff: The applicant revised their application materials to address the grading of the driveway and to indicate updated grade percentages with driveway dimensions, shown on Sheet C2.1. At the previous DRB meetings, the Board expressed concerns relating to the grade of the driveway. The applicant has indicated that the location of the driveway is meant to prevent any right of way issues on the lot and to minimize the slope of the driveway entrance. The maximum proposed grade is 10.51 percent, which exceeds the allowable 8 percent. The section of driveway at 10.51% grade is a short transitional section connecting the ADU driveway to the main section of driveway. Otherwise, the driveway is primarily below 10% grade. The proposed driveway also exceeds the allowable 5 percent grade within 20 feet from the edge of the public roadway, which will require a design variation approval from DRB. The applicant has indicated that they feel a design variation is appropriate given the extreme grade of the site.

Figure 4 below illustrates the previous and revised driveway and its associated grades. Areas of grade above 11% are indicated in red, areas with a grade between 10-11% are indicated in yellow, and areas with a grade below 10% are indicated in green.

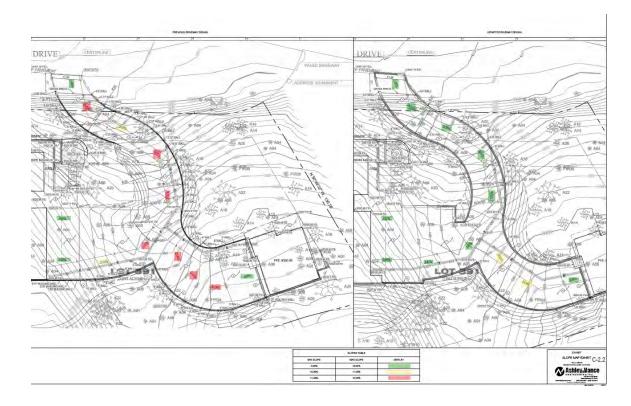


Figure 4: Slope Map Exhibit

The applicant has updated materials to show the driveway width, which varies at the narrowest sections between 16' and 17'. This meets the 12' requirement for driveways. The DRB has previously discussed the possibility of a snowmelt system, although the applicant has indicated that they are trying to avoid a snowmelt system due to the length of the driveway and that adding snowmelt will conflict with the Town's sustainability goals. The DRB should discuss if the revised driveway plan provides adequate transitions for winter driving.

#### 17.6.8: Solid Fuel Burning Device Regulations

Staff: Criteria met.

## **Chapter 17.7: BUILDING REGULATIONS 17.7.20: Construction Mitigation**

Staff: The applicant provided an updated construction mitigation plan on Sheet A007. The updated plan shows the required dumpster, material storage, bear proof trash and recycling, and port-a-toilet.

The revised Parking Plan indicates two parking spots on the driveway, and three in the yard. The spots located in the driveway will not be available for use until the initial stages of construction are complete. The applicant will likely need to work with Staff for roadside parking permits until the driveway is created. Also, until the driveway is created, some workers may need to be shuttled to the site from off site.

The construction mitigation plan also includes appropriate silt protection through an Erosion Control Plan on Sheets C5.1 and C5.2. The plan does not show tree protection measures for trees that will remain on site. The plan should be revised to include these requirements prior to final review.

The plan includes a 30' x 30' crane pad on the proposed driveway. The crane is proposed to be on site for 1-2 days and the applicant shall work with Town staff to make sure the crane swing doesn't impede the roadway. The applicant has also updated the plan to show the crane swing radius.

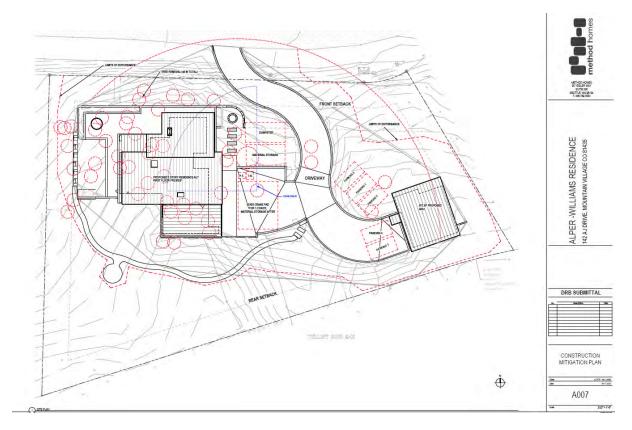


Figure 5: Updated Construction Mitigation Plan

**Staff Recommendation:** Staff recommends approval of the Initial Architectural and Site Review review with conditions.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

#### **Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architecture and Site Review for a new single-family home located at Lot 391, 142 AJ Drive, based on the evidence provided in the staff memo of record dated April 25, 2023, and the findings of this meeting with the following design variation and specific approvals:

#### Design Variation:

1) Road and Driveway Standards – grade

#### Design Review Board Specific Approvals:

1) Right-of-way Encroachment – Address Monument and Retaining Walls

2) Materials - metal fascia

And, with the following conditions:

- 1) Prior to building permit, the applicant shall work with the Town to vacate the earthwork easement.
- 2) Prior to final review the applicant will verify whether the level two deck has any direct access to grade and if necessary revise the lighting plan to eliminate wall sconces on level two and replace with step lights.
- 3) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE.
- 4) The applicant shall work with service providers to field verify existing utility locations.
- 5) A monitored automatic sprinkler system in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes shall be installed in both buildings.
- 6) A Certification of Rough Installation (CORI) from the Colorado Division of Fire Prevention and Control is required. The AHJ will inspect the on-site connection, installation, and final inspection.
- 7) A monitored fire alarm system in accordance with NFPA 72, 2018 IFC, and TFPD amended codes for a group R-3 occupancy shall be installed and interconnected between buildings. A monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
- 8) A Knox Box for emergency access is recommended.
- 9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 10) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
- 11) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either noncombustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one-hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.
- 12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire

department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

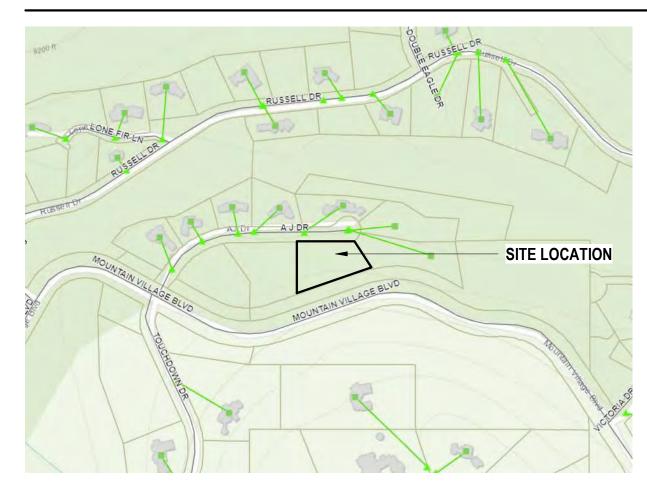
## ALPER WILLIAMS RESIDENCE + ACCESSORY DWELLING UNIT

**DRB SET** 

04/17/2023

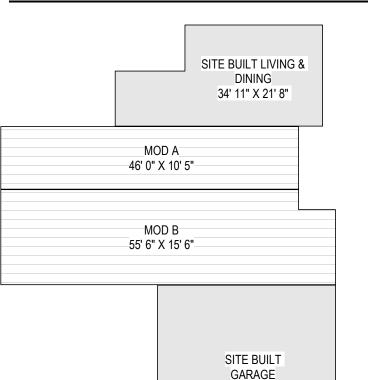


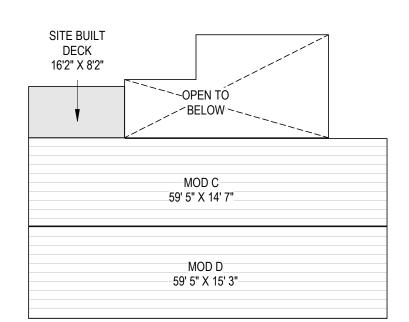
### **VICINITY MAP**



## **MODULAR KEY**

#### FIRST FLOOR MODULAR KEY PLAN SECOND FLOOR MODULAR KEY PLAN





	•	SITE BU DECK 14'6" X 8
MOD E 15' 0" X 33' 6"	MOD F —15' 0" X 30' 7"—	

ADU MODULAR KEY PLAN

### MATERIAL CALCULATIONS

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	975.56	418.49	194.94	479.29	2176.23	38.21%
WOOD	117.96	152.59	253.02	205.12	728.69	12.79%
METAL	428.38	571.96	184.5	362.12	1546.96	27.16%
GLASS	693.69	321.57	85.43	143.54	1244.23	21.84%
				TOTAL	5606 11	100%

29' 4" X 25' 0"

### **ADU MATERIAL CALCULATIONS**

NORTH	EAST	SOUTH	WEST	TOTAL	%
75.4	0	88.5	310.8	474.7	42.6%
31	151	0	18.2	200.2	17.97%
99.9	32.4	16.7	32.7	181.7	16.31%
128.1	70.6	20.8	38.2	257.7	23.12%
	75.4 31 99.9	75.4 0 31 151 99.9 32.4	75.4 0 88.5 31 151 0 99.9 32.4 16.7	75.4     0     88.5     310.8       31     151     0     18.2       99.9     32.4     16.7     32.7	75.4     0     88.5     310.8     474.7       31     151     0     18.2     200.2       99.9     32.4     16.7     32.7     181.7

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SHEET NUMBER	SHEET NAME
00. COVER	
A000	COVER SHEET
A001	GENERAL NOTES
01. SITE	
C-2.1	CIVIL - GRADING AND DRAINAGE PLAN
C-2.2	SLOPE EXHIBIT
C-5.1	EROSION CONTROL PLAN
C-5.2	EROSION CONTROL DETAILS
L-001	TREE REMOVAL PLAN
L-100	LANDSCAPE PLAN
L-101	SITE LIGHTING PLAN
L-102	SITE LIGHTING INFORMATION
L-103	WILDFIRE MITIGATION PLAN
S-1	SURVEY - EXISTING CONDITIONS TOPOGRAPHIC SURVEY
S-2	SURVEY - EXISTING CONDITIONS SLOPE SURVEY
02. ARCHITECTURAL	
A002	MATERIAL BOARD
A003	RENDERINGS 01
A004	RENDERINGS 02
A005	SITE PLAN AND UTILITY ROUTING
A007	CONSTRUCTION MITIGATION PLAN
A100	FOUNDATION PLAN
A200	FIRST FLOOR PLAN
A201	SECOND FLOOR PLAN
A203	ADU FIRST FLOOR PLAN
A300	ROOF PLAN
A301	ROOF HEIGHT DIAGRAM
A302	3D HEIGHT DIAGRAM
A310	ADU ROOF PLAN & BUILDING HEIGHT DIAGRAM
A401	ELEVATIONS
A402	ELEVATIONS
A403	BUILDING ELEVATION & SECTION ADU
A500	BUILDING SECTIONS
A501	BUILDING SECTIONS
A502	BUILDING SECTIONS
A701	ARCHITECTURAL DETAILS
A702	ARCHITECTURAL DETAILS
A704	ARCHITECTURAL DETAILS
A803	INTERIOR ELEVATIONS - BATH 2 & LAUNDRY
A900	DOOR/WINDOW SCHEDULE - MAIN HOUSE
A901	DOOR/WINDOW SCHEDULES - ADU
05. ELECTRICAL	
E102	1ST FLOOR EXTERIOR LIGHTING LAYOUT
E103	2ND FLOOR EXTERIOR LIGHTING PLAN
	THE POST EXTENSIVE ENTITION FOR

### **PROJECT TEAM**

**ELIZABETH ALPER AND JEFF WILLIAMS ARCHITECT METHOD ARCH** OWNER: 95 YESLER WAY, SUITE 300 SEATTLE, WA 98104

**SURVEY:** ALL POINTS LAND SURVEY LLC

PO BOX 754 OPHIR CO 81435

970-708-9694

MODULAR CONTRACTOR:

CONTRACTOR:

95 YESLER WAY, SUITE 300 SEATTLE, WA 98104

CONTACT: ROHAN SHAH (661) 803-8389

**ASHLEY & VANCE ENGINEERING** CONTACT: JOHN BACON (206) 789 - 5553 1653 LUCERNE ST, SUITE D

**MINDEN, NV 89423 CONTACT: JAMES TEETER, (541) 647-1445** 

GEOTECHNICAL: TRAUTNER GEOTECHNICAL 649 TECH CENTER DR, SUITE A

MITCH REWOLD, 970 871 0056

MODULAR PLANT 6819 NORTHGATE WAY LOCATION: FERNDALE, WA 98248

METHOD HOMES

**DURANGO, CO 81301 JON TRAUTNER, 970-259-5095** GENERAL

LANDSCAPE: VERTICAL ARTS ARCHITECTURE 690 MARKETPLACE PLAZA, SUITE 1

STEAMBOAT SPRINGS, CO 80487

### **PROJECT**

142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435 **PROJECT** ADDRESS:

**PROJECT** CONSTRUCTION OF A NEW TWO-STORY SINGLE FAMILY PREFABRICATED **DESCRIPTION:** 

MODULAR RESIDENCE AND DETACHED ACCESSORY DWELLING UNIT CONSTRUCTUED OFF SITE AND

**INSTALLED ON SITE BUILT FOUNDATION** 

PARCEL NO.: 477904112448

LEGAL DESCRIPTION: LOT 391 TOWN OF MOUNTAIN VILLAGE FILING 38 PLAT BK 1 PG 2146 CONT 0.944 ACRES MOL 10 22 96

TYPE OF TYPE V-B CONSTRUCTION:

SPRINKLERED:

STATE: COLORADO

THE PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES:

2018 International Building Code, International Residential Code, International Energy Conservation Code

#### **Electrical Code:** 2017 NEC with amendments

**Mechanical Codes:** 2018 International Mechanical Code, International Fuel Gas Code, International Residential Code Parts V & VI

2017 Idaho State Plumbing Code based on the 2015 Uniform Plumbing Code.

Fire Code (administered by the Idaho State Fire Marshal):

2018 International Fire Code

## PROJECT DATA PER MOUNTAIN VILLAGE REQUIREMENTS

LOT SIZE 0.94 ACRES 40946.4 SQ FT

ALLOWABLE MAX LOT CVG **40% = 16378.56 SQ FT** (40946.4 \* 0.40)

**36.3%**(14876/40946.4) INCLUDES DRÍVEWAY PROPOSED LOT COVERAGE:

0 (VACANT LOT) **EXISTING LOT COVERAGE:** 

**GROSS LOT COVERAGE:** 

9261 SF (INCLUDES WALKWAYS AND OUTDOOR LIVING AREAS; EXCLUDES DRIVEWAY) **14876 SF** (IMPERVIOUS AND PERVIOUS SURFACE) TOTAL IMPERVIOUS AREA:

LIVEABLE SQUARE FOOTAGE: 3716 SF MAIN HOUSE + 861 SF ADU = 4577 SF(ALL CONDITIONED AREA)

ALLOWABLE MAX HEIGHT: 35'-0" PROPOSED MAX HEIGHT: 29'-0" ALLOWABLE MAX AVG HEIGHT: PROPOSED AVERAGE HEIGHT: 20'-4" SIDE SETBACK 16 FT FRONT SETBACK 16 FT

PARKING: 2 COVERED & 2 UNCOVERED SPACES REQUIRED AND PROVIDED

BUILDING AREA OF MAIN HOUSE: (3716+733)= 4449 SF

BUILDING AREA OF ADU: (4363 SF X 20%)= 872.6 SF MAX 861 SF PROPOSED

16 FT

### **BUILDING AREA**

**REAR SETBACK** 

CONDITIONED SPACE	
SITE BUILT LIVING AND DINING	608 SF
MOD-A- CONDITIONED	479 SF
MOD-B- CONDITIONED	860 SF
MOD-C- CONDITIONED	862 SF
MOD-D- CONDITIONED	906 SF
ADU-MOD-E- CONDITIONED	418 SF
ADU-MOD-F- CONDITIONED	443 SF
TOTAL CONDITIONED SPACE: 7	4577 SF

UNCONDITIONED SPACE	
SITE BUILT GARAGE	733 \$
TOTAL UNCONDITIONED SPACE: 1	733 \$

IMPERVIOUS AREA	
ADIL DEOK	040.05
ADU- DECK	349 SF
ADU-ROOF	1240 SF
FIREPIT	267 SF
GARAGE ROOF	823 SF
MOD ROOF	1922 SF
PERVIOUS DECK	3261 SF
PROPOSED DRIVEWAY	5615 SF
ROOF @ OUTDOOR DINING	312 SF
ROOF DECK	132 SF
SITE BUILT LIVING AND DINING ROOF	955 SF
TOTAL IMPERVIOUS AREA: 10	14876 SF



METHOD HOMES 95 YESLER WAY SUITE 300 SEATTLE, WA 98104 T. 206.789.5553

SIDENCE RE -WILLIAMS DRIVE Ш **D** AL 142

## DRB SUBMITTAL

No.	Description	Date

**COVER SHEET** 

ALPER - WILLIAMS

A000

As indicated

4/17/2023 4:37:27 PM

04.17.2023

AB ANCHOR BOLT ANOD ANODIZED APX APPROXIMATE ARCH ARCHITECT (URAL) ASPH ASPHALT AUTO AUTOMATIC AWN AWNING BSMT BASEMENT BM BEAM BVL BEVELED BLK BLOCK

BLKG BLOCKING BLW BELOW BTW BETWEEN BD BOARD вот воттом BLDG BUILDING BUR BUILT UP ROOFING

B/O BY OTHERS CAB CABINET CRPT CARPET CLK CAULK (ING) CAS CASEMENT CB CATCH BASIN CLG CEILING CT CERAMIC TITLE CIR CIRCLE CLR CLEAR (ANCE) COL COLUMN CONC CONCRETE CMU CONCRETE MASONRY UNIT CONT CONTINUOUS OR CONTINUE CJT CONTROL JOINT CORR CORRUGATED

CUFT CUBIC FOOT CUYD CUBIC YARD DP DAMPPROOFING DTL DETAIL DIA DIAMETER DIM DIMENSION DW DISHWASHER DIV DIVISION DR DOOR DH DOUBLE HUNG DS DOWN SPOUT DRWR DRAWER DRAIN TILE DWG DRAWING NAIL SIZE EW EACH WAY

FAST ELEVATION EQ EQUAL EQUP EQUIPMENT EXCV EXCAVATE EXH EXHAUST EXIST EXISTING EXT EXTERIOR FOC FACE OF CONCRETE FOF FACE OF FRAMING FOM FACE OF MASONRY FOW FACE OF WALL FBD FIBERBOARD FGL FIBERGLASS FIN FINISH (ED) FFE FINISHED FLOOR ELEVATION FIRE ALARM

FIRE EXTINGUISHER FE FPL FIRE PLACE FLSH FLASHING FLR FLOOR (ING) FLOR FLUORESCENT FT FOOT, FEET FTG FOOTING FND FOUNDATION FRM FRAME (D), (ING) FBO FURNISHED BY OTHERS FUR FURRED (ING) GA GAGE, GAUGE GAL GALLON GALV GALVANIZED GL GLASS, GLAZING GALVANIZED IRON GLBK GLASS BLOCK

GLB GLUE LAMINATED BEAM GT GROUT GRD GRADE GRADING GWB GYPSUM WALL BOARD HDW HARDWARE HDR HEADER HTG HEATING HVAC HEATING/VENTILATION-AIR CONDITIONINVG VERTICAL GRAIN HT HEIGHT HC HOLLOW CORE HOR HORIZONTAL HB HOSE BIB INCH INCL INCLUDE (D), (ING) INSIDE DIAMETER INSULATE (D), (ION) INT INTERIOR INV INVERT

JNT JOINT JST JOIST KD KILN DRIED KIT KITCHEN LB POUND LAM LAMINATE (D) LAV LAVATORY LH LEFT HAND LENGTH LOA LENGTH OVER ALL LT LIGHT LF LINEAL FEET LIVE LOAD LL LVL LAMINATE VENEER LUMBER MFR MANUFACTURER

LVR LOUVER MO MASONRY OPENING MAX MAXIMUM MAS MASONRY MECH MECHANIC (AL)

MC MEDICINE CABINET

MED MEDIUM

MMB MEMBRANE

MWK MILLWORK

MIN MINIMUM

MIR MIRROR

NOM NORMAL N NORTH

NO.# NUMBER

OBS OBSCURE

OC ON CENTER

PNT PAINT (ED)

PRT PARTITION

PVMT PAVEMENT

PLAS PLASTER

PLYWD PLYWOOD

PLT PLATE

PERF PERFORATE (D)

PLAM PLASTIC LAMINATE

PCC PRECAST CONCRETE

PREFABRICATED

PROPERTY LINE

PRESSURE TREATED

TOILET PAPER HANGER

PREFORMED

QUANTITY

RAD RADIUS

REG REGISTER

RE REINFORCED

RISER

ROD

ROOM

SCHEDULE

SGT SLIDING GLASS DOOR

SHELF, SHELVING

RFG ROOFING

SN SCREEN

SECT SECTION

SHT SHEET

SIM SIMILAR

SLB SLAB

SKL SKY LIGHT

SOUTH

SLD SLIDER (ING

SQ SQUARE

STV STOVE

STL

SS

SYS

T/O

TS

TYP

VAR

WL

W/

STD STANDARD

STEEL

STR STRUCTURAL

SUPPLY AIR

SOLID CORE

SHEAR WAL

SYSTEM

TOP OF

TOW TOP OF WALL

TREAD

TYPICAL

UNF UNFINISHED

VRN VENEER

VERT VERTICAL

WALL

W WEST

WIN WINDOW

W/O WITHOUT

WD WOOD

WITH

TEMP TEMPERED

TELPHONE

T&G TONGUE & GROOVE

TOC TOP OF CONCRETE

TOWEL BAR

VAPOR BAR

VINYL SHEET

WATER CLOSET

WATER HEATER

WWM WELDED WIRE MESH

WATER RESISTANT

WWF WELDED WIRDED FABRIC

X OPERABLE WINDOW SECTION

WP WATER PROOFING

VARNISH

TUBULAR STEEL

UNO UNLESS NOTED OTHERWISE

UNDERWRITERS LABORATORY

STAINLESS STEEL

SPEC SPEIFICATION

SHTH SHEETHING

REQ'D REQUIRED

QUARRY TILE

REFERENCE

RETURN AIR

REFR REFRIGERATOR

RFL REFLECT (ED), (IVE), (OR)

REVISION (S), REVISED

ROUGH OPENING

POUNDS PER CUBIC FOOT

POUNDS PER LINEAL FOOT

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

OPQUE

OPENING

OP

OD

PSI

QTY

REV

RD

RO

SCH

SH

QΤ

OPG

MLD MOULDING

MISC MISCELLANEOUS

NIC NOT IN CONTRACT

NTS NOT TO SCALE

MLB MICRO LAMINATED BEAM

NON-OPERABLE WINDOW SECTION

ORIENTATED STRAND BOARD

OUTSIDE DIAMETER

PARTICLE BOARD

MTL METAL

MDF MEDIUM DENSITY FIBERBD.

MDO MEDIUM DENSITY OVERLAY

1. ALL WORK PERFORMED SHALL COMPLY WITH THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON THE DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE THE GENERAL NOTES WITH THE WORK OF ALL TRADES. INCLUDING BUT NOT LIMITED TO THE MECHANICAL, ELECTRICAL, PLUMBING, FOOD SERVICE, AND ACOUSTICAL

**GENERAL NOTES** 

2. THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF. THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE OWNER 1 ARCHITECT OF CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.

4. WHERE DISCREPANCIES EXIST BETWEEN THE DRAWINGS OF VARIOUS DISCIPLINES ARCHITECTURAL DRAWINGS SHALL GENERALLY BE ASSUMED TO GOVERN. IN SUCH INSTANCES, THE CONTRACTOR SHALL CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

5. CONDITIONS WHICH ARE NOT DETAILED SHALL BE ASSUMED TO BE SIMILAR IN CHARACTER TO THOSE WHICH ARE, WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH

CONSTRUCTION OF WORK INDICATED ON DRAWINGS AS (NIC) IS NOT IN CONTRACT. THE CONTRACTOR SHALL COORDINATE ALL TRADES OF HIS WORK, WHETHER DIRECTLY OR INDIRECTLY INVOLVED, WITH (NIC) WORK.

7. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE CODES AND GOVERNING AUTHORITIES AND SHALL BE OF BEST PRACTICE OF EACH TRADE.

8. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER DRAWN SPACE. DO NOT SCALE THE DRAWINGS.

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

10. FINISHED FLOOR ELEVATIONS ARE TO TOP OF SUBFLOOR (WOOD / STEEL) OR TOP OF SLAB (CONCRETE) UNLESS OTHERWISE NOTED.

11. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK UP PLATES, AND SUPPORTING BRACKETS REQUIRED FOR THE BEST POSSIBLE INSTALLATION OF ALL TOILET ROOM ACCESSORIES AND PARTITIONS, OWNER-FURNISHED ITEMS, AND ALL WALL-MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, OR MISCELLANEOUS EQUIPMENT

12. THE FLAME SPREAD RATING FOR ALL MATERIALS SHALL CONFORM TO ALL APPLICABLE

13. REFER TO CERTIFIED MECHANICAL AND ELECTRICAL DRAWINGS AND MANUFACTURERS TEMPLATE DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT SUPPORTS, BOLT SETUP TEMPLATES, SPRING AND VIBRATION ISOLATORS, ETC, NOT SHOWN ON DRAWINGS.

14. PROVIDE PROPER ANCHORAGE OF ESSENTIAL EQUIPMENT IN ACCORDANCE WITH APPLICABLE CODES.

15. ALL PIPE DUCTS, BUSS DUCTS, AND CONDUITS THAT PENETRATE FLOOR SLABS AND/OR RATED WALLS SHALL BE INSTALLED IN A MANNER WHICH VV1LL PRESERVE THE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.

16. COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, AND CEILING INSTALLER. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION, THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT PRIOR TO PROCEEDING WITH THE

17. PROVIDE ACCESS PANELS FOR MECHANICAL AND ELECTRICAL EQUIPMENT AS REQUIRED BY APPLICABLE CODES. ALL ACCESS PANELS SHALL BE CONCEALED AND LOCATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO START OF WORK. ELECTRICAL'S BOXES, PLUMBING CLEANOUTS, FIRE DAMPERS, AND OTHER SIMILAR ITEMS REQUIRING ACCESS ARE NOT TO BE LOCATED ABOVE GWB OR SIMILAR CEILINGS.

18. CONTRACTOR SHALL SUBMIT TO THE ARCHITECT PRIOR TO STARTING THE WORK COMPREHENSIVE LAYOUT DRAWINGS INDICATING DIMENSIONAL LOCATION OF ALL VISIBLE BUILDING ELECTRICAL, AUTOMATION, SECURITY, LIFE SAFETY, CONTROL, ETC. EQUIPMENT.

19. CONTRACTOR SHALL COORDINATE AND PROVIDE ALL SLAB AND WALL OPENINGS REQUIRED BY MECHANICAL AND ELECTRICAL CONTRACTORS. 20. THE INSULATION CONTRACTOR SHALL PROVIDE CERTIFICATE OF COMPLIANCE TO THE ARCHITECT / OWNER UPON COMPLETION OF WORK. 21. CONTRACTOR SHALL VERIFY ALL CONCRETE / MASONRY OPENINGS PRIOR TO FABRICATION

OF DOORS AND FRAMES. 22. ALL DISSIMILAR METALS SHALL BE ISOLATED FROM ONE ANOTHER TO PREVENT GALVANIC ACTION AND/OR BREAKDOWN.

23. ROOF OBSTRUCTION SUCH AS TELEVISION ANTENNAS OR GUY WIRES SHALL NOT BE INSTALLED IN A MANNER OBSTRUCTING FIRE DEPARTMENT ACCESS OR EGRESS.

24. PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT ALL CONTROL METERS. REGULATORS, AND PIPING FOR HAZARDOUS MATERIALS THAT ARE EXPOSED TO VEHICULAR DAMAGE. CONSULT WITH ARCHITECT PRIOR TO INSULATING.

25. ALL MASONRY DIMENSIONS ARE NOMINAL.

26. CEILING HEIGHT DIMENSIONS ARE FROM DESIGNED FINISH FLOOR TO FINISHED CEILING SURFACES U.O.N.

27. WHERE REQUIRED, DOORS OPENING INTO REQUIRED FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SELF-CLOSING SMOKE AND DRAFT CONTROL ASSEMBLY HAVING A RATING & S LABEL IN ACCORDANCE WITH WALL ASSEMBLY.

28. PROVIDE FIRE DAMPERS OR DOORS WHERE DUCTS PENETRATE FIRE RATED WALLS OR

29. ALL ELEVATOR OPENINGS SHALL BE CERTIFIED BY THE ELEVATOR SUBCONTRACTOR PRIOR TO FORMING. IF MODIFICATIONS ARE REQUIRED, THE CONTRACTOR SHALL BRING SUCH MODIFICATIONS TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH THE WORK.

30. CONTRACTOR SHALL PROVIDE ALL REQUIRED SIGNAGE (MAXIMUM OCCUPANT LOAD, BUILDING ASSEMBLY, ETC) AS REQUIRED BY LOCAL BUILDING CODE AUTHORITY IN ORDER TO RECEIVE PERMANENT PROJECT OCCUPANCY.

31. ALL SURFACES EXPOSED TO VIEW SHALL BE PROVIDED WITH A FINISHED CONDITION (PAINTED, SEALED, ETC).

32. DEMOLITION / CONSTRUCTION SHALL CONFORM WITH CHAPTERS 33 II-C AND 33 113C. 33. SEE DRAWINGS FOR NOTES REGARDING WALL TYPES AND PARTITIONS.

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. WHERE WINDOWS ARE PROVIDED ASA MEANS OF ESCAPE OR RESCUE, THEY SHALL

HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

ALL CORRIDORS SHALL BE NOT LESS THAN 36 INCHES WIDE

ARCHITECTURAL NOTES

SURFACES AT ABRUPT CHANGES IN LEVEL.

DEPTH 18° BELOW ADJACENT FINISH GRADE.

SUCH FOUNDATION ARE LEVEL.

AT LEAST 1 INCH ABOVE SUCH FLOORS.

SPECIFIED IN I.R.C.

ON TOP, SIDES, AND END.

PARTITIONS MORE THAN JOIST DEPTH.

LEVELS, WITH NON-COMBUSTIBLE MATERIALS.

MATERIALS SHALL BE IN ACCORDANCE WITH I.R.C.

OPENINGS OF 1/4 INCH IN DIAMETER.

ROOF

FINISH GRADE.

WIDE STANDARDS AND PRACTICES BY EXPERIENCED CRAFTSMEN.

RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THE MISINTERPRETATIONS OF THESE

DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW DIMENSIONS AND JOB

METHODS. TECHNIQUES. SEQUENCE OR PROCEDURES REQUIRED TO PERFORM THE WORK.

SLOPE GROUND AWAY FROM BUILDING WALLS TO FACILITATE DRAINAGE. GRADE TO UNIFORM

BACKFILL BEHIND RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR

CUT SLOPES FOR PERMANENT EXCAVATIONS SHALL NOT BE STEEPER THAN 2 HORIZONTAL TO 1

VERTICAL UNLESS SUBSTANTIATING DATA JUSTIFYING STEEPER SLOPES ARE SUBMITTED.

FOUNDATION FOOTINGS SHALL BE PLACED UPON FIRM, UNDISTURBED NATIVE SOIL, NOTIFY

ARCHITECT IF UNDISTURBED SOIL DEPTH IS DIFFERENT FORM DRAWINGS. MINIMUM FOOTING

FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 8 INCHES ABOVE THE ADJACENT

FOOT IN 10 FEET SHALL BE LEVEL, OR SHALL BE STEPPED SO THAT BOTH TOP AND BOTTOM OF

COLUMNS AND POSTS LOCATED ON CONCRETE OR MASONRY FLOORS OR DECKS EXPOSED TO

THE WEATHER OR TO WATER SPLASH OR IN BASEMENTS AND WHICH SUPPORT PERMANENT

STRUCTURES SHALL BE SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING

ABOVE FLOORS UNLESS APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR TREATED

LUMBER, FIBERBOARD SHEATHING (WHEN USED STRUCTURALLY), HARDBOARD SIDING (WHEN

IDENTIFIED BY THE QUALITY MARK OF AN APPROVED INSPECTION AGENCY WHICH MAINTAINS

DELIVERY AND STORAGE: KEEP MATERIALS UNDER COVER AND DRY. PROTECT AGAINST

AND UNDER TEMPORARY COVERINGS INCLUDING POLYETHYLENE AND SIMILAR MATERIALS.

INCHES OF BEARING ON WOOD OR METAL, NOR LESS THAN 3 INCHES ON MASONRY EXCEPT

JOISTS UNDER AND PARALLEL TO BEARING PARTITIONS SHALL BE DOUBLED.

SOLID BLOCKING SHALL BE PROVIDED OVER BEARING PARTITIONS, WALLS, AND BEAMS.

OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AND EFFECTIVE BARRIER

CONSIST OF 2-INCH NOMINAL LUMBER. FIRE BLOCKING SHALL BE REQUIRED IN CONCEALED

FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH HORIZONTALLY AND VERTICALLY; AT ALL

INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS

AND ALONG RUN BETWEEN STUDS; IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS,

ALL WOOD EXPOSED TO WEATHER, SUCH AS WOOD USED FOR DECK FRAMING INCI UDING

BUT UNHEATED SPACES SHALL BE NOT LESS THAN 1/10 OF THE AREA OF EACH SPACE TO BE

VENTILATED. EXCEPT THAT THE AREA MAY BE 1/300, PROVIDED THAT 50% OF THE REQUIRED

VENTILATING AREA IS LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE

BALANCE BEING PROVIDED BY THE EAVE OR CORNICE VENTS, OR IF A VAPOR RETARDER NOT

EXCEEDING AI PERM RATING IS INSTALLED ON THE WARM SIDE OF THE INSULATION. THE VENT

AREA OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH

DECKING, RAILINGS, JOISTS, REAMS, AND POSTS SHAH BE PRESSURE TREATED OR CEDAR PER

BETWEEN FLOORS, BETWEEN TOP STORY AND A ROOF OR ATTIC SPACE. FIRE BLOCKING SHALL

SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND

PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS, OR

CONTINUED SUPERVISION, TESTING, AND INSPECTION OVER THE QUALITY OF THE PRODUCT AS

ALSO SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

OF NATURAL RESISTANCE TO DECAY OR TREATED WOOD.

ALSO SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY.

FRAME NAILING TO BE IN COMPLIANCE WITH TABLE 602.3(1), I.R.C.

LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE NOTED ON DRAWINGS. ROUND

STAIRWAYS & RAILS

ALL WORK SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE (I.R.C.) CURRENT MAXIMUM RISE 7-3/4 INCHES. MINIMUM RUN 10 INCHES: HEADROOM MINIMUM 6 FEET 8 INCHES: EDITION, AND ANY LOCAL OR STATE AMENDMENTS TO THE CODE. IN ADDITION THE CURRENT MINIMUM WIDTH 36 INCHES. HANDRAILS TO HAVE ENDS RETURNED AND PLACED MINIMUM 34 VERSIONS OF THE CODES COVERING PLUMBING, MECHANICAL, ELECTRICAL, FIRE AND ENERGY INCHES: MAXIMUM 38 INCHES ABOVE TREAD NOSING, LINLESS DESIGNATED FOR THE DISABLED CONSERVATION SHALL BE FOLLOWED. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2 SHALL BE PLACED SO THAT THE TOP OF THE VENT IS BELOW THE LOWER SURFACE OF THE CONTRACT DOCUMENTS AND THE BUILDING CODES. WORK SHALL BE DONE TO CURRENT AREA INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

THESE DOCUMENTS ARE OF LIMITED SCOPE AND DO NOT COVER ALL CONSTRUCTION DETAILS. CONDITIONS, FINISHES OR PRACTICES. THE CONTRACTOR IS ASSUMED TO USE GOOD JUDGMENT A FLOOR OR LANDING IS REQUIRED ON EACH SIDE OF AN EXTERIOR DOOR. AN EXTERIOR DOOR IN THE EXECUTION OF THESE DOCUMENTS. GROUPARCHITECT (THE 'ARCHITECT') SHALL NOT BE MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7-3/4 INCHES LOWER THAN THE FLOOR LEVEL, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING.

STAIRS AND EXIT BALCONIES SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE AT 8 BE AN APPROVED PRODUCT FOR ITS INTENDED USE. CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE FEET ON CENTER MAX, OR BE DESIGNED FOR LATERAL FORCES. SUCH ATTACHMENT SHALL NOT BE ACCOMPLISHED BY USE OF TOENAILS OR NAILS SUBJECT TO WITHDRAWAL.

GRADE ENTIRE CONSTRUCTION AREA OF PROPERTY TO REASONABLY TRUE AND EVEN SURFACES. SAFETY GLASS COMPLYING WITH IS REQUIRED IN THE FOLLOWING LOCATIONS:

A GLAZING IN EGRESS AND INGRESS DOORS EXCEPT JALOUSIES. B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.

C. GLAZING IN STORM DOORS. D. GLAZING IN UNFRAMED SWINGING DOORS.

E. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS BATHTUBS AND SHOWERS.

GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE VERTICAL AND SLOPES FOR PERMANENT FILLS SHALL BE NOT STEEPER THAN 2 HORIZONTAL TO 1 BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET F. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

> G. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS E AND F ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS: EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET, EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING

H. GLAZING IN RAILINGS REGARDLESS OF HEIGHT ABOVE THE WALKING SURFACE.

FOUNDATIONS FOR ALL BUILDINGS WHERE THE SURFACE OF THE GROUND SLOPES MORE THAN 1 EXCEPTION: THE FOLLOWING PRODUCTS AND APPLICATIONS ARE EXEMPT FROM THE REQUIREMENTS FOR HAZARDOUS LOCATIONS AS LISTED IN ITEMS A THROUGH G:

GLAZING IN ITEM F WHEN THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER INDIVIDUAL CONCRETE PIER FOOTINGS SHALL PROJECT A MINIMUM OF 8 INCHES ABOVE EXPOSED BETWEEN THE DOOR AND THE GLAZING. GLAZING IN ITEM G WHEN A PROTECTIVE BAR IS GROUND UNLESS THE COLUMNS OR POSTS IN WHICH THEY SUPPORT ARE OF APPROVED WOOD INSTALLED ON THE ACCESSIBLE SIDE OF THE GLAZING 34 TO 38 INCHES ABOVE THE FLOOR. THE BAR SHALL BE ABLE TO WITHSTAND A HORIZONTAL LOAD OF 50 P.L.F. WITHOUT CONTACTING THE GLASS AND BE A MINIMUM OF 1-1/2 INCHES IN HEIGHT. OPENINGS THROUGH WHICH A 3-INCH SPHERE CANNOT PASS. ASSEMBLIES OF LEADED, FACETED OR CARVED GLASS IN ITEMS A, B, F AND G WHEN USED FOR DECORATIVE PURPOSES. GLASS BLOCK PANELS COMPLYING WITH I.R.C.

SKYLIGHT GLAZING TO BE CONSTRUCTED OF: LAMINATED GLASS WITH A MINIMUM 0.015-INCH (0.38 WOOD IS USED. THE PEDESTALS SHALL PROJECT AT LEAST 6 INCHES ABOVE EXPOSED EARTH AND mm) POLYVINYL BUTYRAL INTERLAYER FOR GLASS PANES 16 SQUARE FEET (1.5 m2) OR LESS IN AREA LOCATED SUCH THAT THE HIGHEST POINT OF THE GLASS IS NOT MORE THAN 12 FEET (3658 mm) ABOVE A WALKING SURFACE OR OTHER ACCESSIBLE AREA - FOR HIGHER OR LARGER SIZES, THÉ MINIMUM INTERLAYER THICKNESS SHALL BE 0.030 INCH (0.76 mm); FULLY TEMPERED GLASS; HEAT-STRENGTHENED GLASS; WIRED GLASS; APPROVED RIGID PLASTICS PER R308.6.2

12 UNITS HORIZONTAL (25-PERCENT SLOPE) SHALL BE MOUNTED ON A CURB EXTENDING AT LEAST USED STRUCTURALLY), PILES AND POLES SHALL CONFORM TO THE APPLICABLE STANDARDS OR 4 INCHES (102 mm) ABOVE THE PLANE OF THE ROOF UNLESS OTHERWISE SPECIFIED IN THE GRADING RULES SPECIFIED IN THE I.R.C. AND SHALL BE SO IDENTIFIED BY THE GRADE MARK OR A MANUFACTURERS INSTALLATION INSTRUCTIONS PER R308.6.8.

UNIT SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A ALL LUMBER, TIMBER, PLYWOOD, AND POLES REQUIRED TO BE TREATED WOOD UNDER SHALL BE LABEL IDENTIFYING MANUFACTURER, PERFORMANCE GRADE RATING, AND APPROVED INSPECTION KITCHENS. AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF AAMAANDMA 101/I.S.2/NAFS PER R308.6.9.

FASTENERS AND ANCHORAGES: PROVIDE NAILS, SCREWS AND OTHER ANCHORING DEVICES OF EXPOSURE TO WEATHER AND CONTACT WITH DAMP OR WET SURFACES. STACK LUMBER AS WELL TYPE, SIZE, MATERIAL AND FINISH SUITABLE FOR INTENDED USE AND REQUIRED TO PROVIDE AS PLYWOOD AND OTHER PANELS; PROVIDE FOR AIR CIRCULATION WITHIN AND AROUND STACKS SECURE ATTACHMENT, CONCEALED WHERE POSSIBLE. HOT-DIP GALVANIZE FASTENERS FOR WORK EXPOSED TO EXTERIOR AND HIGH HUMIDITIES TO COMPLY WITH ASTM A 153.

STANDING AND RUNNING TRIM: INSTALL WITH MINIMUM NUMBER OF JOINTS POSSIBLE, USING FULL-LENGTH PIECES FROM MAXIMUM LENGTH OF LUMBER AVAILABLE. COPE AT RETURNS, MITER AT WOOD MEMBERS ENTERING MASONRY OR CONCRETE REQUIRES ONE-HALF INCH NET AIR SPACE CORNERS TO PRODUCE TIGHT FITTING JOINTS. USE SCARF JOINTS FOR END-TO-END JOINTS.

INSTALL FINISH CARPENTRY WORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. FOR CONVENTIONAL CONSTRUCTION, THE ENDS OF EACH JOIST SHALL HAVE NOT LESS THAN 1-1/2 SHIM AS REQUIRED USING CONCEALED SHIMS. SCRIBE AND CUT FINISH CARPENTRY ITEMS TO FIT ADJOINING WORK. ANCHOR FINISH-CARPENTRY WORK SECURELY TO SUPPORTS AND WHERE SUPPORTED ON A 1 X 4 RIBBON STRIP NAILED TO ADJOINING STUD. BEARING PARTITIONS SUBSTRATES, USING CONCEALED FASTENERS AND BLIND NAILING WHERE POSSIBLE. USE FINE FINISHING NAILS FOR EXPOSED NAILING EXCEPT AS INDICATED. COUNTERSUNK AND FILLED FLUSH EQUIVALENT OUTDOOR AIR INLET DUCT CONNECTING A TERMINAL ELEMENT ON THE WITH FINISHED SURFACE.

**ACCESS HATCH AND DOORS** 

ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES (E.G., ATTICS AND CRAWL SPACES) SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT THAT PREVENTS DAMAGING OR COMPRESSING THE INSULATION. A WOOD FRAMED OR FIRE BLOCKING AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT EQUIVALENT BAFFLE OR RETAINER MUST BE PROVIDED WHEN LOOSE FILL INSULATION IS INSTALLED, WHEN EAVE VENTS ARE INSTALLED, BAFFLING OF THE VENT OPENINGS SHALL BE PROVIDED SO AS TO DEFLECT THE INCOMING AIR ABOVE THE SURFACE OF THE INSULATION. BAFFLES SHALL BE RIGID MATERIAL, RESISTANT TO WIND DRIVEN MOISTURE. SECTION 502.1.4.4.

CLEARANCES SOFFITS, DROP CEILINGS AND COVE CEILINGS; BETWEEN STAIR STRINGERS AT TOP AND BOTTOM WHERE REQUIRED, INSULATION SHALL BE INSTALLED WITH CLEARANCES ACCORDING TO MANUFACTURERS SPECIFICATIONS. INSULATION SHALL BE INSTALLED SO THAT REQUIRED FIREPLACES AND SIMILAR OPENINGS IMTH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR VENTILATION IS UNOBSTRUCTED. FOR BLOWN OR POURED LOOSE FILL, INSULATION CLEARANCES SHALL BE MAINTAINED THROUGH INSTALLATION OF A PERMANENT RETAINER.

> ALL INSULATION MATERIALS, INCLUDING FACINGS SUCH AS VAPOR BARRIERS OR BUILDING PAPERS, INSTALLED WITHIN FLOOR/CEILING ASSEMBLIES, ROOF/CEILING ASSEMBLIES, CRAWL SPACES, OR ATTICS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25, AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH I.B.C. STANDARD NO.8-1.

ROOF SHEATHING SHALL BE IN ACCORDANCE WITH I.R.C. PLYWOOD ROOF SHEATHING EXPOSED EXCEPTIONS: A) FOAM PLASTIC INSULATION SHALL COMPLY WITH SECTION 2606 OF THE ON THE UNDERSIDE SHALL BE BONDED WITH EXTERIOR GLUE. APPLICATION OF ROOF COVERING INTERNATIONAL BUILDING CODE; AND B) WHEN SUCH INSULATION ARE INSTALLED IN CONCEALED SPACES, THE FLAME SPREAD AND SMOKE-DENSITY LIMITATIONS DO NOT APPLY TO THE FACING, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED THE NET FREE VENTILATING AREA OF ENCLOSED RAFTER OR ATTIC SPACES OR OTHER ENCLOSED SURFACE OF THE CEILING, FLOOR, FINISH.

> ROOFS/CEILINGS MAINTAIN 1" VENTILATION ABOVE BATT & RIGID INSULATION. IF BAFFLES ARE USED THEY SHALL BE

RESISTANT TO MOISTURE, BE OF RIGID MATERIAL, AND INSTALLED TO AND EXTEND 6" VERTICALLY ABOVE BATTS OR 12" VERTICALLY ABOVE LOOSE FILL.

ALL WALL INSULATION SHALL FILL THE ENTIRE CAVITY. EXTERIOR WALL CAVITIES ISOLATED DURING FRAMING (SUCH AS BEHIND BATHTUBS AND SHOWERS) SHALL BE FULLY INSULATED TO THE LEVELS OF SURROUNDING WALLS. ALL FACED INSULATION SHALL BE FACE STAPLED TO AVOID THE DRAIN INLET. WHEN GYPSUM IS USED AS A BASE FOR TILE OR WALL PANELS FOR TUB APPROVED FOR EMERGENCY ESCAPE OR RESCUE. ESCAPE OR RESCUE WINDOWS SHALL HAVE A COMPRESSION. INSULATED HEADERS - RIGID INSULATED HEADERS REQUIRED FOR INTERMEDIATE OR SHOWER ENCLOSURES OR WATER CLOSET COMPARTMENTS WALLS, WATER-MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT AND ADVANCED FRAMING. OTHERWISE, FILL CAVITIES WITH REGULAR WALL INSULATION.

ALL FLOOR INSULATION SHALL BE INSTALLED IN A PERMANENT MANNER IN SUBSTANTIAL CONTACT WITH THE SURFACE BEING INSULATED. INSULATION SUPPORTS SHALL BE INSTALLED SO SPACING IS NO MORE THAN 24 INCHES ON CENTER. FOUNDATION VENTS

FLOOR INSULATION.

PERIMETER INSULATION INSTALLED ON THE INSIDE OF THE FOUNDATION WALL SHALL EXTEND DOWNWARD FROM THE TOP OF THE SLAB FOR A MINIMUM OF 24 INCHES. INSULATION INSTALLED ON THE OUTSIDE OF THE FOUNDATION SHALL EXTEND DOWNWARD FROM THE TOP TO THE BOTTOM OF THE FOOTING. THERMAL BREAKS SHALL BE PLACED IN THE SLAB BETWEEN CONDITIONED AND UNCONDITIONED SPACES. THE ENTIRE AREA OF A RADIANT SLAB SHALL BE THERMALLY ISOLATED FROM THE SOIL. THE INSULATION SHALL A. BELOW GRADE EXTERIOR WALL INSULATION (COLD) SIDE OF THE WALL SHALL EXTEND

FROM THE TOP OF THE BELOW GRADE WALL TO THE TOP OF THE BELOW GRADE FLOOR AND SHALL BE APPROVED FOR BELOW-GRADE USE. ABOVE GRADE INSULATION SHALL BE B. INSULATION USED ON THE INTERIOR (WARM SIDE OF THE WALL) SHALL EXTEND FROM

THE TOP OF THE BELOW-GRADE WALL TO THE BELOW-GRADE FLOOR LEVEL.

ALL FLASHINGS TO BE 26 GA GALVANIZED METAL OR ALUMINUM ALLOY ANODIZED FINISH INSTALL FLASHINGS IN ALL LOCATIONS TO MAKE BUILDING WATERTIGHT. THESE AREAS WOULD INCLUDE BUT NOT BE LIMITED TO COPINGS, CAPS, GRAVEL STOPS, BEAM CAPS, DRIP CAPS OVER DOORS WINDOWS AND OTHER OPENINGS, AND ROOF AND WALL INTERSECTIONS

THE FOLLOWING OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED OR

OTHERWISE SEALED TO LIMIT INFILTRATION. AROUND GLAZING AND DOOR FRAMES. BETWEEN THE UNIT AND THE INTERIOR SHEET ROCK OR THE TOUGH FRAMING AS SHOWN IN DETAILS WITH SPRAY FOAM SEALER; BETWEEN ALL EXTERIOR WALL SOLE PLATES AND THE STRUCTURAL FLOOR, USING TWO ROWS OF CAULKING AS SHOWN IN DETAILS: OVER ALL FRAMING JOINTS WHERE FLOORS OVER CONDITIONED SPACES INTERSECT EXTERIOR WALLS (E.G. AT RIM AND BAND JOISTS) AS SHOWN IN DETAILS; AROUND OPENINGS IN THE BUILDING ENVELOPE FOR DUCTS, PLUMBING, ELECTRICITY, TELEPHONE, AND CABLE TELEVISION LINES IN WALLS, CEILINGS AND FLOORS; AT OPENINGS IN THE CEILING, (E.G. WHERE CEILING PANELS MEET INTERIOR AND EXTERIOR WALLS, AT EXPOSED BEAMS, MASONRY FIREPLACES, WOODSTOVE FLUES, ETC.); AT PENETRATIONS. ALL OPENINGS IN THE AIR BARRIER INCLUDING SPACES AROUND PLUMBING, ELECTRIC CONDUITS AND BOXES, AND TELEPHONE SERVICE ENTRANCES. PENETRATIONS OF EXTERIOR CEILINGS AND WALLS BY METAL INSULTED FLUES SHALL BE SEALED ACCORDING TO MANUFACTURERS SPECIFICATIONS; AT RECESSED LIGHTING FIXTURES IN UNHEATED AREAS, SEAL AROUND THE EXTERIOR CAN TO BE AIR TIGHT, THE MOUNTING FLANGE ON THE EXTERIOR CAN IS CAULKED TO THE GWB. AT ELECTRICAL OUTLETS, SEAL GAPS BETWEEN GWB AND OUTLET BOX

SUPPLEMENTAL CONDITIONS

CONTRACTORS GENERAL COMMERCIAL LIABILITY INSURANCE SHALL CONTAIN NO EXCLUSION THAT WOULD DENY COVERAGE FOR ANY CLAIM FOR EITHER BODILY INJURY OR PROPERTY DAMAGE ARISING OUT OF OR OTHERWISE CAUSED, IN WHOLE OR IN PART, BY ANY FUNGUS, MILDEW, MOLD, OR RESULTING ALLERGENS. IF SUCH EXCLUSION EXISTS AND CANNOT BE REMOVED BY ENDORSEMENT, CONTRACTOR SHALL SUBMIT PROOF OF COVERAGE FOR MOLD CLAIMS UNDER A POLLUTION LEGAL LIABILITY OR CONTRACTOR'S POLLUTION LIABILITY POLICY.

WHOLE HOUSE MECHANICAL VENTILATION

ALL LUMBER, PLYWOOD, PARTICLEBOARD, STRUCTURAL GLUED-LAMINATED TIMBER, AND JOINTED ALL UNIT SKYLIGHTS INSTALLED IN A ROOF WITH A PITCH FLATTER THAN THREE UNITS VERTICAL IN WHOLE HOUSE VENTILATION SYSTEM SHALL COMPLY WITH IRC CODE REQUIREMENTS, FOR SIZING, CONTROLS, DUCTING, NOISE AND OTHER REQUIREMENTS.

> EXHAUST FANS PROVIDING SOURCE SPECIFIC VENTILATION SHALL HAVE MINIMUM FAN FLOW RATING NOT LESS THAN 50 CFM AT 0.25 INCHES WATER GAUGE FOR BATHROOM LAUNDRIES OR SIMILAR ROOMS AND 100 CFM AT 0.25 INCHES WATER GAUGE FOR

WHOLE HOUSE VENTILATION SYSTEMS MAY CONSIST OF WHOLE HOUSE EXHAUST. INTEGRATION WITH FORCED-AIR SYSTEMS OR DEDICATED HEAT RECOVERY VENTILATION SYSTEMS. WHOLE HOUSE EXHAUST SYSTEMS SHALL MEET THE FOLLOWING REQUIREMENTS:

BEDROOMS (CFM MIN)

<4500 sf <6000 sf <7500 sf < 1500 sf <3000 sf INTEGRATED FORCED-AIR VENTILATION SYSTEMS SHALL HAVE 6 INCH DIAMETER OR OUTSIDE OF THE BUILDING TO THE RETURN PLENUM OF THE FORCED-AIR SYSTEM. THE OUTDOOR AIR INLET DUCT SHALL BE EQUIPPED WITH A DAMPERS OR OTHER DEVICE THAT REGULATES AIRFLOW TO MINIMUM OF 0.35 AIR CHANGES PER HOUR BUT NOT CREATE THE 0.50 AIR CHANGES PER HOUR UNDER NORMAL OPERATIC CONDITIONS.

WHOLE HOUSE VENTILATION USING EXHAUST FANS: OUTDOOR AIR SHALL BE SUPPLIED TO EACH HABITABLE SPACE BY INDIVIDUAL OUTDOOR AIR INLETS. INDIVIDUAL ROOM OUTDOOR AIR INLETS SHALL HAVE A CONTROLLABLE AND SECURE OPENING AND IT SHOULD NOT COMPROMISE THE THERMAL PROPERTIES OF THE STRUCTURE. THE AIR INLET MUST BE CAPABLE OF A TOTAL OPENING AREA OF NOT LESS THAN FOUR SQUARE INCHES AND TESTED BY A NATIONALLY RECOGNIZED STANDARD OR APPROVED AGENCY AND LOCATED TO AVOID DRAFTS. THE INLETS SHALL BE SCREENED AND LOCATED AWAY FROM VENT OUTLETS, HAZARDOUS FUMES, PLUMBING DRAINAGE SYSTEMS, ATTIC, CRAWL SPACES, AND GARAGES.

DOMESTIC KITCHEN RANGE VENTILATION AND DOMESTIC CLOTHES DRYERS SHALL BE OF METAL AND HAVE SMOOTH INTERIOR SURFACES. DUCTS SHALL BE SUBSTANTIALLY AIRTIGHT AND SHALL COMPLY WITH THE PROVISIONS OF THE I.M.C. EXHAUST DUCTS SHALL TERMINATE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH BACK DRAFT DAMPERS. DOMESTIC CLOTHES DRYERS SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE IF IN AN AREA THAT IS HABITABLE OR CONTAINING OTHER FUEL BURNING APPLIANCES AND SHALL MEET THE PROVISIONS OF THE I.M.C., AS WELL AS CLOTHES DRYER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS. DRYER EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW. UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MANUFACTURERS INSTRUCTIONS AND APPROVED BY THE BUILDING OFFICIAL, DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90-DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90-DEGREE ELBOW IN EXCESS OF TWO.

WATER CLOSET COMPARTMENT MINIMUM 30N WIDE WITH 2' CLEAR SPACE IN FRONT OF

SHOWER WALLS SHALL BE RELATIVELY SMOOTH, HARD, NONABSORBENT, AND NOT ADVERSELY AFFECTED BY MOISTURE TO A HEIGHT OF NOT LESS THAN 70 INCHES ABOVE RESISTANT GYPSUM BACKING BOARD COMPLYING WITH I.B.C. SHALL BE USED, EXCEP I HAI WA I ER-RESIS IAN I GYPSUM BOARD SHALL NO I BE USED IN I HE FOLLOWING LOCATIONS: A) OVER A VAPOR RETARDER; B) IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS OR STEAM ROOMS; AND C) ON CEILINGS.

WOOD STOVES ALL SOLID FUEL-BURNING APPLIANCES SHALL COMPLY WITH THE PROVISIONS OF LM.C. WOOD STOVES SHALL BE APPROVED BY THE BUILDING OFFICIAL FOR SAFE USE OR COMPLY WITH APPLICABLE NATIONALLY RECOGNIZED STANDARDS AS EVIDENCED BY THE

LISTED APPLIANCES. THE INSTALLER SHALL LEAVE THE MANUFACTURER'S INSTALLATION INSTRUCTIONS ATTACHED TO THE APPLIANCE. CLEARANCES OF LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN THE LISTING OR ON THE RATING PLATE.

LISTING AND LABEL OF AN APPROVED AGENCY.

HEATING SYSTEMS ALL WARM AIR FURNACES SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY AND INSTALLED TO LISTED SPECIFICATIONS.

NO WARM AIR FURNACES SHALL BE INSTALLED IN A ROOM USED OR DESIGNED TO BE USED AS A BEDROOM, BATHROOM, CLOSET, OR IN ANY ENCLOSED SPACE WITH ACCESS ONLY THROUGH SUCH ROOM OR SPACE, EXCEPT DIRECT VENT FURNACES, ENCLOSED FURNACES, AND ELECTRIC HEATING FURNACES.

LIQUEFIED PETROLEUM GAS BURNING APPLIANCES SHALL NOT BE INSTALLED IN A PIT, BASEMENT, OR SIMILAR LOCATION WHERE HEAVIER-THAN-AIR GAS MIGHT COLLECT.

APPLIANCES SO FUELED SHALL NOT BE INSTALLED IN AN ABOVE GRADE UNDER FLOOR SPACE OR BASEMENT. NO WARM AIR FURNACE SHALL BE INSTALLED IN A CLOSET OR ALCOVE LESS THAN 12 INCHES WIDER THAN THE FURNACE OR FURNACES INSTALLED THEREIN WITH A MINIMUM CLEAR WORKING SPACE LESS THAN 3 INCHES ALONG THE SIDES, BACK, AND TOP OF THE

APPLIANCES DESIGNED TO BE IN A FIXED POSITION SHALL BE SECURELY FASTENED IN PLACE.

SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS WITHIN THE STRESS LIMITATIONS IN THE BUILDING CODE.

FIRE DAMPERS NEED NOT BE INSTALLED IN AIR DUCTS PASSING THROUGH THE WALL, FLOOR, OR CEILING SEPARATING A RESIDENCE (GROUP R, DIVISION 3 OCCUPANCY) FROM A GARAGE (GROUP U, DIVISION 1 OCCUPANCY), PROVIDED SUCH DUCTS WITHIN THE GARAGE ARE CONSTRUCTED OF STEEL HAVING A THICKNESS NOT LESS THAN 0.019 INCH (NO. 26 GALVANIZED SHEET GAUGE) AND HAVE NO OPENINGS INTO THE GARAGE.

ALL FUEL BURNING EQUIPMENT SHALL BE PROVIDED WITH COMBUSTION AIR AND MEET THE PROVISIONS OF CHAPTER 6 I.M.C. APPLIANCES LOCATED WITHIN THE BUILDING ENVELOPE SHALL OBTAIN COMBUSTION AIR FROM OUTDOORS. HEATING EQUIPMENT LOCATED WITHIN THE BUILDING ENVELOPE SHALL BE THERMALLY ISOLATED FROM THE HEATED AREA.

EVERY APPLIANCE DESIGNED TO BE VENTED SHALL BE CONNECTED TO A VENTING SYSTEM COMPLYING WITH THE I.M.C.

EVERY FACTORY BUILT CHIMNEY, TYPE L VENT, TYPE B GAS VENT, OR TYPE BW GAS VENT SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF ITS LISTING, MANUFACTURER'S INSTRUCTIONS, AND THE APPLICABLE PROVISIONS OF I.M.C.

VENT CONNECTORS SHALL BE INSTALLED WITHIN THE SPACE OR AREA IN WHICH THE APPLIANCE IS LOCATED AND SHALL BE CONNECTED TO A CHIMNEY OR VENT IN SUCH A MANNER AS TO MAINTAIN THE CLEARANCE TO COMBUSTIBLES PER I.M.C.

THERMOSTAT - WALL THERMOSTAT, LOW VOLTAGE, HEAT ANTICIPATING. FOUR TIME PERIODS PER DAY WITH INTELLIGENT RECOVERY FEATURE. PRIMARY SPACE CONDITIONING SYSTEMS IN EACH DWELLING UNIT REQUIRE A PROGRAMMABLE THERMOSTA WITH A 5-2 SCHEDULE (MINIMUM).

EACH ADDITIONAL SYSTEM WITHIN A DWELLING MUST HAVE AN ADJUSTABLE THERMOSTAT.

DUCTS- DUCTS CANNOT DISPLACE REQUIRED INSULATION. BUILDING CAVITIES CANNOT BE USED AS DUCTS. DUCTS LOCATED OUTSIDE THE CONDITIONED SPACE MUST BE TESTED.

SMOKE DETECTOR

A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GM NG ACCESS TO EACH SEPARATE SLEEPING AREA. WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH A BASEMENT, A DETECTOR SHALL BE INSTALLED ON EACH LEVEL AND IN THE BASEMENT, IN DWELLING UNITS WHERE A STORY OR BASEMENT SPLIT INTO TWO OR MORE LEVELS, A DETECTOR SHALL BE INSTALLED ON THE UPPER LEVEL. EXCEPT THAT WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA, A DETECTOR SHALL BE PLACED ON EACH LEVEL. WHEN SLEEPING ROOMS ARE LOCATED ON THE UPPER LEVEL, A DETECTOR SHALL BE PLACED AT THE CEILING OF THE UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY. WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY SERVING THE SLEEPING ROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES OR MORE, DETECTORS SHALL BE PLACED IN THE HALLWAY AND THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN AI SLEEPING AREAS OF THE DWELLING UNIT. THE REQUIRED DETECTORS SHALL RECEIVE THEIR POWER FROM THE BUILDING WIRING AND BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE

CARBON MONOXIDE ALARM AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM IN DWELLING UNITS AND ON EACH LEVEL OF THE DWELLING. SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE IRC AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS.

METHOD HOMES

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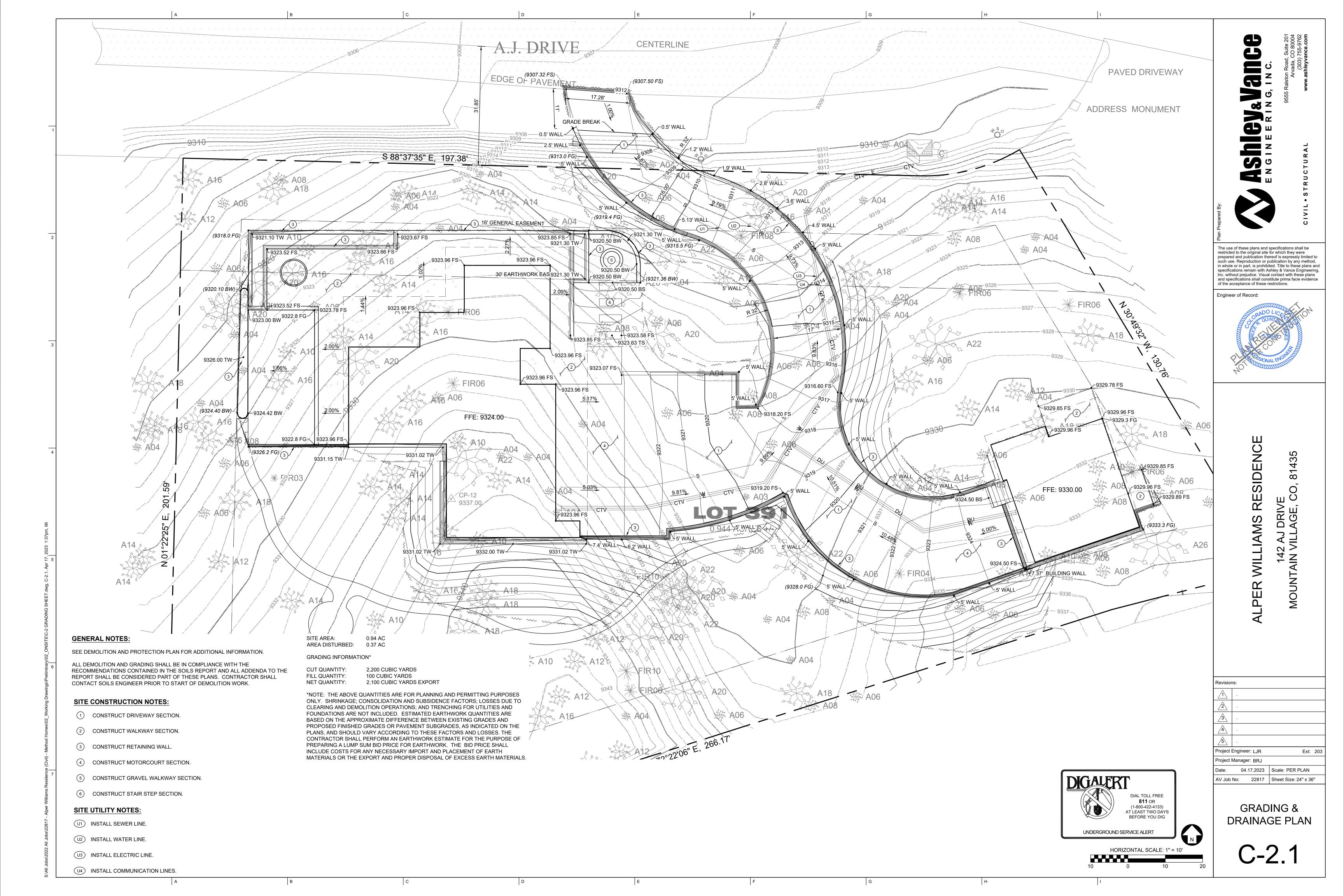
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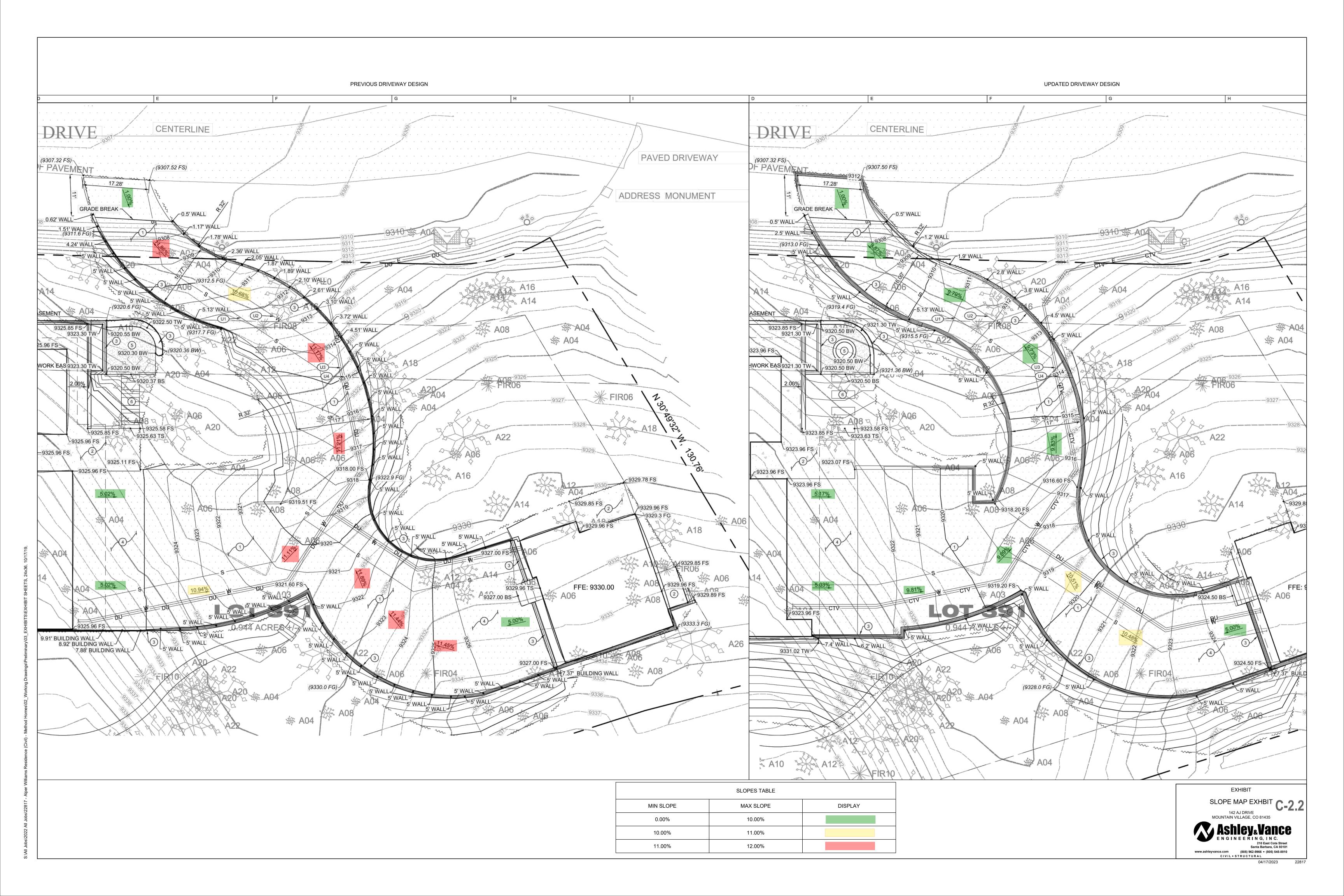
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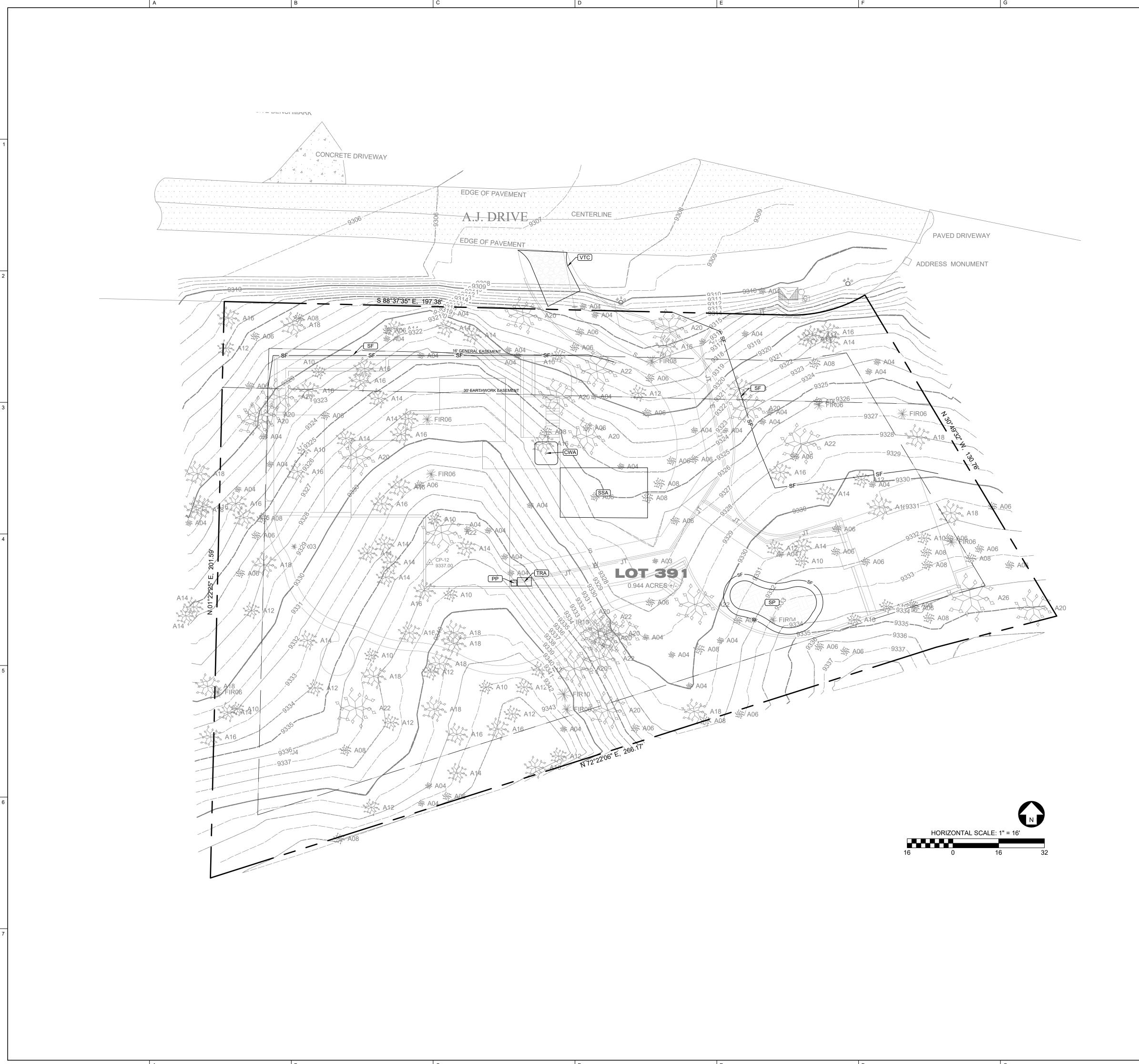
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EXTERIOR ELEVATION







### STANDARD EROSION AND SEDIMENT CONTROL NOTES:

- THE CONTRACTOR MUST NOTIFY THE SAN MIGUEL COUNTY AT LEAST THREE DAYS PRIOR TO STARTING CONSTRUCTION.
- 2. ALL GRADING, EROSION. AND SEDIMENT CONTROL MUST CONFORM TO APPROVED PLANS. REVISIONS TO LAND DISTURBANCE AREAS, SLOPES, AND/OR EROSION AND SEDIMENT CONTROL MEASURES ARE N O T PERMITTED WITHOUT PRIOR APPROVAL FROM THE SAN MIGUEL COUNTY PLANNING AND ZONING DIVISION. FIELD MODIFICATIONS TO AN EQUIVALENT BMP THAT DOES NOT AFFECT THE SITE HYDROLOGY MAY BE APPROVED BY SAN MIGUEL COUNTY TRANSPORTATION AND ENGINEERING STAFF.
- 3. THE APPROVED PLANS ARE VALID FOR TWO (2) YEARS FROM THE DATE OF APPROVAL FROM SAN MIGUEL COUNTY.
- 4. THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING A PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, AT LEAST 10 DAYS PRIOR THE START OF CONSTRUCTION ACTIVITIES FOR LAND DISTURBANCE AREAS OF ONE ACRE OR GREATER. THE PERMIT MUST BE KEPT CURRENT THROUGHOUT T H E CONSTRUCTION PROCESS.
- EROSION CONTROL BMPS MUST BE INSTALLED PRIOR TO GRADING ACTIVITIES.
   APPROVED EROSION AND SEDIMENT CONTROL BMPS SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THE PROJECT. AT A MINIMUM, THE PROPERTY OWNER OR CONTRACTOR SHALL INSPECT ALL BMPS IN ACCORDANCE WITH THE APPROVED PLANS. ALL NECESSARY MAINTENANCE AND REPAIR ACTIVITIES SHALL BE COMPLETED IMMEDIATELY. ACCUMULATED SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED.
- 7. ALL TOPSOIL MUST BE SALVAGED, SEGREGATED, AND STOCKPILED SEPARATELY FROM THE OVERBURDEN. TOPSOIL AND OVERBURDEN MUST BE REDISTRIBUTED WITHIN THE GRADED AREA AFTER ROUGH GRADING TO PROVIDE A SUITABLE BASE FOR AREAS THAT MUST BE SEEDED AND PLANTED. RUNOFF FROM THE STOCKPILED AREA MUST BE CONTROLLED TO PREVENT EROSION AND SEDIMENTATION OF RECEIVING WATERS.
- 8. SOILS THAT ARE STOCKPILED FOR MORE THAN THIRTY (30) DAYS SHALL B E SEEDED AND MULCHED WITHIN FOURTEEN (14) DAYS OF STOCKPILE CONSTRUCTION.
- 9. THE LANDOWNER AND/OR CONTRACTOR MUST IMMEDIATELY TAKE ALL NECESSARY STEPS TO CONTROL SEDIMENT DISCHARGE.
- 10. SOIL STABILIZATION MEASURES SHALL B E APPLIED WITHIN 30 DAYS TO DISTURBED AREAS, WHICH MAY NOT B E AT FINAL GRADE, BUT WILL BE LEFT
- DORMANT FOR LONGER THAN 60 DAYS.

  11. PERMANENT VEGETATIVE COVER CONSISTING OF CONIFER MIX (MIX NOTED BELOW) MUST BE DRILL SEEDED AT 8.0 POUNDS PURE LIVE SEED PER ACRE.

CONIFER MIX		TIDO I OILE LIV	L OLLD I LITTOILE.
			PLS LBS/ACRE
SPECIES	VARIETY	% OF MIX	DRILLED SEEDING
ARIZONA FESCUE	REDONDO	20	0.9
WESTERN WHEATGRASS	ROSANA	15	2.4

	SPECIES	VARIETY	% OF MIX	DRILLED SEE
	ARIZONA FESCUE	REDONDO	20	0.9
	WESTERN WHEATGRASS	ROSANA	15	2.4
	BIG BLUEGRASS	SHERMAN	15	0.5
	SHEEP FESCUE	COVAR	15	0.7
	BLUE GRAMA	LOVINGTON	15	0.5
	SLENDER WHEATGRASS	SAN LUIS	10	1.1
	MOUNTAIN BROME	BROMAR	10	1.9
	TOTAL		<del>10</del> 0%	8.0 LBS/ACRE
12	ALL DISTLIBRED SLODES (LIN	LESS IN A COMPE	TENT POCK	CUT) CREATE

- 12. ALL DISTURBED SLOPES (UNLESS IN A COMPETENT ROCK CUT) GREATER THAN OR EQUAL TO 3:1 (H2V), FLOW LINES OF SWALES, GUTTER DOWNSPOUTS, OR ADDITIONAL AREAS AT THE DISCRETION OF COUNTY STAFF, SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET OR EQUIVALENT BMP.
- 13. IF IT IS NECESSARY TO MOVE MATERIAL IN EXCESS OF 300 CUBIC YARDS AND/OR IN EXCESS OF 10,000 SQUARE FEET OF LAND DISTURBANCE AREA TO OR FROM ANOTHER SAN MIGUEL COUNTY SITE, A GRADING PERMIT OR NOTICE OF INTENT (NOI) IS NECESSARY FOR THE OFF-SITE PROPERTY. IF THE MATERIAL IS MOVED TO A PROPERTY LOCATED WITHIN ANOTHER JURISDICTION, EVIDENCE IS REQUIRED THAT THE LOCAL GOVERNMENT HAS APPROVED THE GRADING OPERATION.
- 14. THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CLEAN UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE INFRASTRUCTURE AND PUBLIC FACILITIES DURING THE ENTIRE CONSTRUCTION PROCESS.
- 15. THE LANDOWNER AND/OR CONTRACTOR MUST TAKE REASONABLE PRECAUTIONS TO ENSURE THAT VEHICLES DO NOT TRACK OR SPILL EARTH MATERIALS ON TO STREETS/ROADS AND MUST IMMEDIATELY REMOVE SUCH MATERIALS IF THIS OCCURS.
- 16. THE LANDOWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTROLLING LITTER SUCH AS DISCARDED BUILDING MATERIALS. CONCRETE TRUCK WASHOUT, CHEMICALS, AND SANITARY WASTE, AS APPLICABLE. IN ADDITION, SPILL PREVENTION AND CONTAINMENT BMPS FOR CONSTRUCTION MATERIALS, WASTE, AND FUEL MUST BE PROVIDED, AS APPLICABLE. LOCATIONS OF STOCKPILES, CONCRETE WASHOUT AREAS, AND TRASH RECEPTACLES MUST BE CLEARLY SHOWN ON THE BLANS LITTERING IS DEFINED AND ENEOPCED BY CREATER AS A 1511.
- SHOWN ON THE PLANS. LITTERING IS DEFINED AND ENFORCED B Y CRS 18-4-511.

  17. FUGITIVE DUST EMISSIONS RESULTING FROM GRADING ACTIVITIES AND/OR WIND SHALL BE CONTROLLED USING THE BEST AVAILABLE CONTROL TECHNOLOGY, AS DEFINED BY THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, AT THE TIME OF GRADING.
- 18. EARTH MATERIALS AND CONSTRUCTION SUPPLIES ARE TO BE STORED ON A CONSTRUCTION SITE STAGING AREA, AND ARE NOT TO BE STORED ON THE STREET OR SIDEWALK. LOCATIONS OF STOCKPILES, CONCRETE WASHOUT AREAS AND TRASH RECEPTACLES ARE CLEARLY LOCATED ON THE PLANS.
- 19. THE SAN MIGUEL COUNTY MAY MODIFY THE EROSION AND SEDIMENT CONTROL PLAN AS FIELD CONDITIONS WARRANT.

### BMP SELECTION & LEGEND:

THE FOLLOWING BMPS SHALL BE USED IN THE CONTRACTOR STAGING AREA:

CWA) CONCRETE WASHOUT AREA PER DETAIL 1, SHEET C-5.2

SP STOCKPILE MANAGEMENT PER DETAIL 2, SHEET C-5.2

SSA STABILIZED STAGING AREA PER DETAIL 3, SHEET C-5.2

THE FOLLOWING BMPS ARE SPECIFIED ON THIS PLAN AND ARE TO BE INSTALLED OR CONSTRUCTED PER GESC STANDARD PLANS AND DETAILS:

SF SILT FENCE PER DETAIL 4, SHEET C-5.2

VTC VEHICLE TRACKING CONTROL PER DETAIL 5, SHEET C-5.2

TRA BEARPROOF FOOD AND RECYCLING BIN

PP PORT-A-TOILET

NG, INC.

9555 Ralston Road, Suite 201

ASTIGNACION G, I



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Engineer of Record:



TEN WILLIAMS NESIDEINOL 142 AJ DRIVE 10UNTAIN VILLAGE, CO, 81435

Project Manager: BRJ

AV Job No: 22817 Sheet Size: 24" x 36"

03.13.2023 | Scale: PER PLAN

C-5.1

**EROSION CONTROL** 

PLAN

### CWA-1. CONCRETE WASHOUT AREA

### CWA INSTALLATION NOTES

- CWA INSTALLATION LOCATION

- 2. DO NOT LOCATE AN UNLINED CWA WITHIN 400 FEET OF ANY NATURAL DRAINAGE PATHWAY OR WATER BODY. DO NOT LOCATE WITHIN 1000 FEET OF ANY WELLS OR DRINKING WATER SOURCES. IF THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (18 MIL MINIMUM THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED
- 3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ONSITE.
- 4. CWA SHALL INCLUDE A FLAT SUBSURFACE FIT THAT IS AT LEAST 8 FEET BY 8 FEET WITH SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3.1
- OR FLATTER. THE PIT SHALL BE AT LEAST 3 FEET DEEP. 5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE A
- MINIMUM HEIGHT OF 1 FOOT. 6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA
- 7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA. AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWATO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS
- 8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

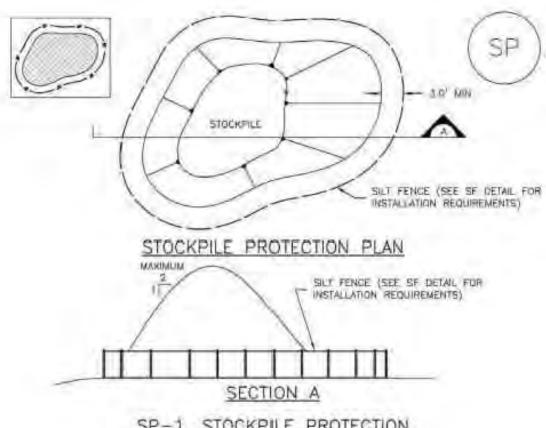
### CWA MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION, MAINTENANCE OF BMPs SHOULD BE PROACTIVE. NOT REACTIVE. INSPECT BMP & AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO M AINTAIN BMP s IN EFFECTIVE OPERATING CONDITION INSPECTIONS AND CORRECTIVE ME ASURES SHOULD BE DOCUMENTED THOROUGHLY.
- 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- 4. THE CWASHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE, CONCRETE MATERIALS. ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2.
- 5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF
- 6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- 7. WHEN THE CWAIS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY JEFFERSON COUNTY

### Concrete Washout Area

Detail 9





### SP-1. STOCKPILE PROTECTION

### STOCKPILE PROTECTION INSTALLATION NOTES

LOCATIONS OF STOCKPILES TYPE OF STOCKPILE PROTECTION

- 3. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS, HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME DIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE
- 4. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING. TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (GREATER THAN 60 DAYS) SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER DO NOT LOCATE AN UNLINED CWA WITHIN 400 FEET OF ANY NATURAL DRAINAGE PATHWAY OR WATER BODY. DO NOT LOCATE WITHIN 1000 FEET OF ANY WELLS OR DRINKING WATER SOURCES. IF THE CWA MUST BE INSTALLED WITH AN IMPERIMEABLE LINER (18 MIL MINIMUM THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE

STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE

STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER AND OTHER

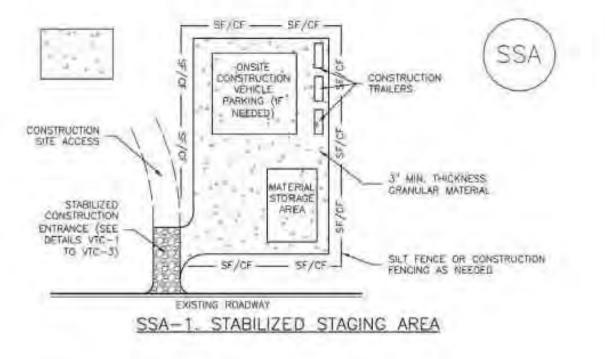
GROUND STORAGE ARE SHOULD BE USED 5. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS, INCLUDING PERIMETER CONTROL ARE IN PLACE THAN STOCKPILE PERIMETER CONTROL MAY NOT BE REQUIRED IF DEPICTED ON THE APPROVED PLANS

### STOCKPILE PROTECTION MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION, MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE
- 2 FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- 4. IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE. REPLACE PERIMETER STOCKPILE CONTROLS BY THE END OF THE
- 5. STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.

### STOCKPILE MANAGEMENT





### STABILIZED STAGING AREA IN STALLATION NOTES

I SEE PLAN VIEW FOR

- LOCATION OF STAGING AREA(S) -CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM JEFFERSON COUNTY
- 2. STABILIZED STAGING ARE A SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREATO STABILIZE FOLLOWING CONSTRUCTION.
- 3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE
- 4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL UNLESS OTHERWISE SPECIFIED BY JEFFERSON
- 5. ROCK SHALL CONSIST OF A MINIMUM 3° THICK GRANULAR MATERIAL or DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- 6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

### STABILIZED STAGING AREA MAINTENANCE NOTES

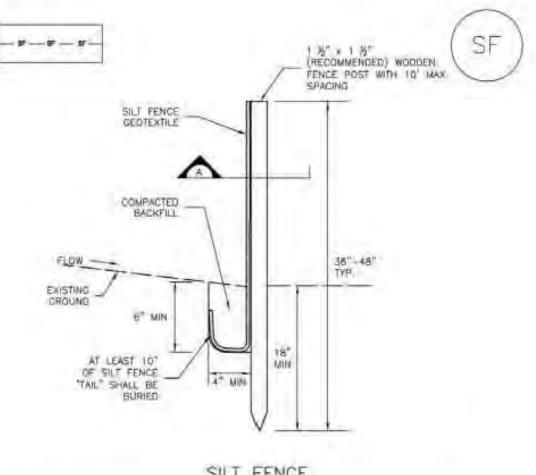
- 1. INSPECT BMPseach WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION: MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE, INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE
- 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY
- 3. WHERE BMPS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- 4. ROCK SHALL BE REAPPLIED OR REGRADED IF NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.
- 5. STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS
- 6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY JEFFERSON COUNTY, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE

STABILIZED IN A MANNER APPROVED BY JEFFERSON COUNTY.

### STABILIZED STAGING AREA



Detail 19





### SECTION A

SILT FENCE SF-1. SILT FENCE

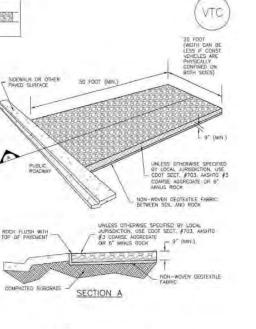
SF Detail 11

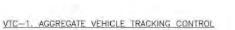
### SILT FENCE INSTALLATION NOTES

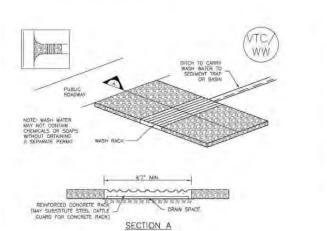
- 1. SILT FENCE MUST BE PLACED AWAY FROM THE TOW OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LO CATION AT LEAST SEVERAL (2-5 FEET) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND
- 2. A UNIFORM 6 INCH BY 4 INCH ANCH OR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD
- GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED. 3. COMPACT ANCHOR TRENCH BY HAN D WITH A JUMPING JACK OR BY WHEEL ROLLING, COMPACTION SHALL BE SUCH THAT SLIT FENCE RESISTS
- BEING PULLED OUT OF ANCHOR TRENCH BY HAND. 4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS
- BEEN ANCHORED TO THE STAKES 5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1 INCH HEAVY DUTY STAPLES OR NAILS WITH 1 INCH HEADS. STAPLES AND NAILS
- SHOULD BE PLACED 3 INCHES ALONG THE FABRIC DOWN THE STAKE. B. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE
- SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A 'U HOOK". THE "J HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10 FEET TO 20 FEET).

### SILT FENCE MAINTENANCE NOTES

- 1. INSPECT BMPS EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION, MAINTENANCE OF BMPs SHOULD BE PROACTIVE. NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE
- 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPS IN EFFECTIVE OPERATING CONDITION INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- 3. WHERE BMPS HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE
- 4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY & INCHES
- 5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR. SUCH AS SAGGING, TEARING, OR COLLAPSE
- 8. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY JEFFERSON COUNTY, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP
- WHEN SILT FENCE IS REMOVED, All DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY JEFFERSON COUNTY

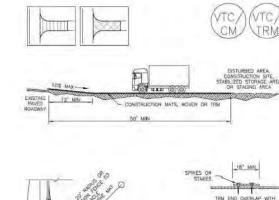


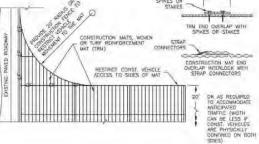




VTC-2: AGGREGATE VEHICLE TRACKING CONTROL WITH WASH RACK

CONTROL





VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)



CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES A ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING PROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR AGGESS. 4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. A NON WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT O UNLESS OTHERWISE SPECIFIED BY JEFFERSON COUNTY, ROCK SHALL CONSIST OF DOT SECT #703, AASHTO #3 COARSE AGGREGATE OR 6° MINUS) ROCK.

TABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION, MAINTEN ANCE OF BMPs SHOULD BE PROACTIVE NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITS 4HOURS) FOLLOWING A STORN THAT CAUSES SURFACE EROSION, AND TERFORM NECESSARY MAINTENANCE. 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE. 4. ROCK SHALL BE REAPPLIED DR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO M AINTAIN A CONSISTENT DEPTH

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Project Engineer: LJR Project Manager: BRJ 03.13.2023 | Scale: PER PLAN

**EROSION CONTROL DETAILS** 

AV Job No: 22817 | Sheet Size: 24" x 36"

03/13/2023 22817

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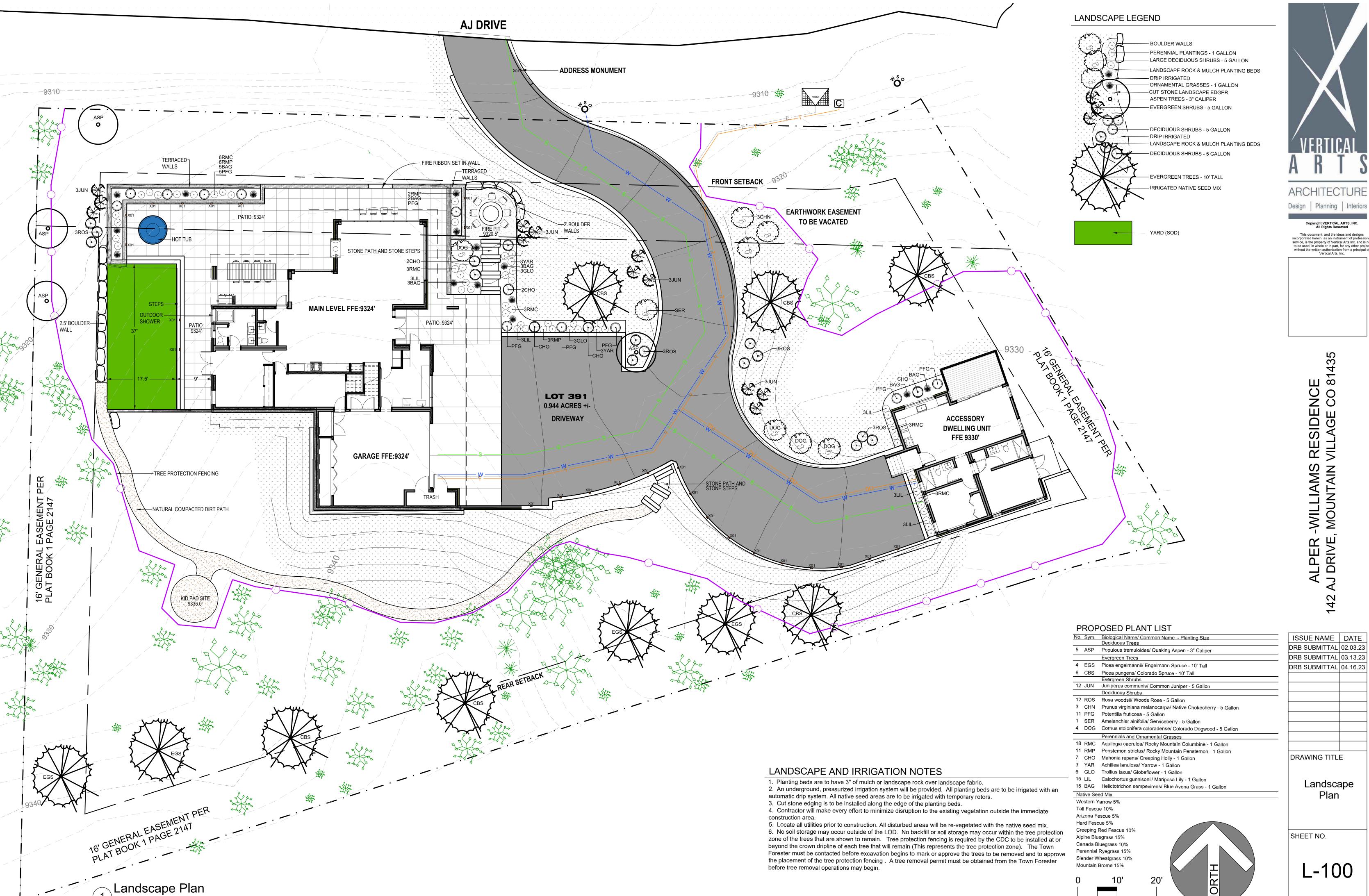
1S RESIDENCE IN VILLAGE CO 81435 ALPER -WILLIAN 142 AJ DRIVE, MOUNTA

ISSUE NAME DATE DRB SUBMITTAL 02.03.23 DRB SUBMITTAL 03.13.23 DRB SUBMITTAL 04.16.23

DRAWING TITLE

Tree Removal Plan

SHEET NO.



SCALE: 1"=10'-0"

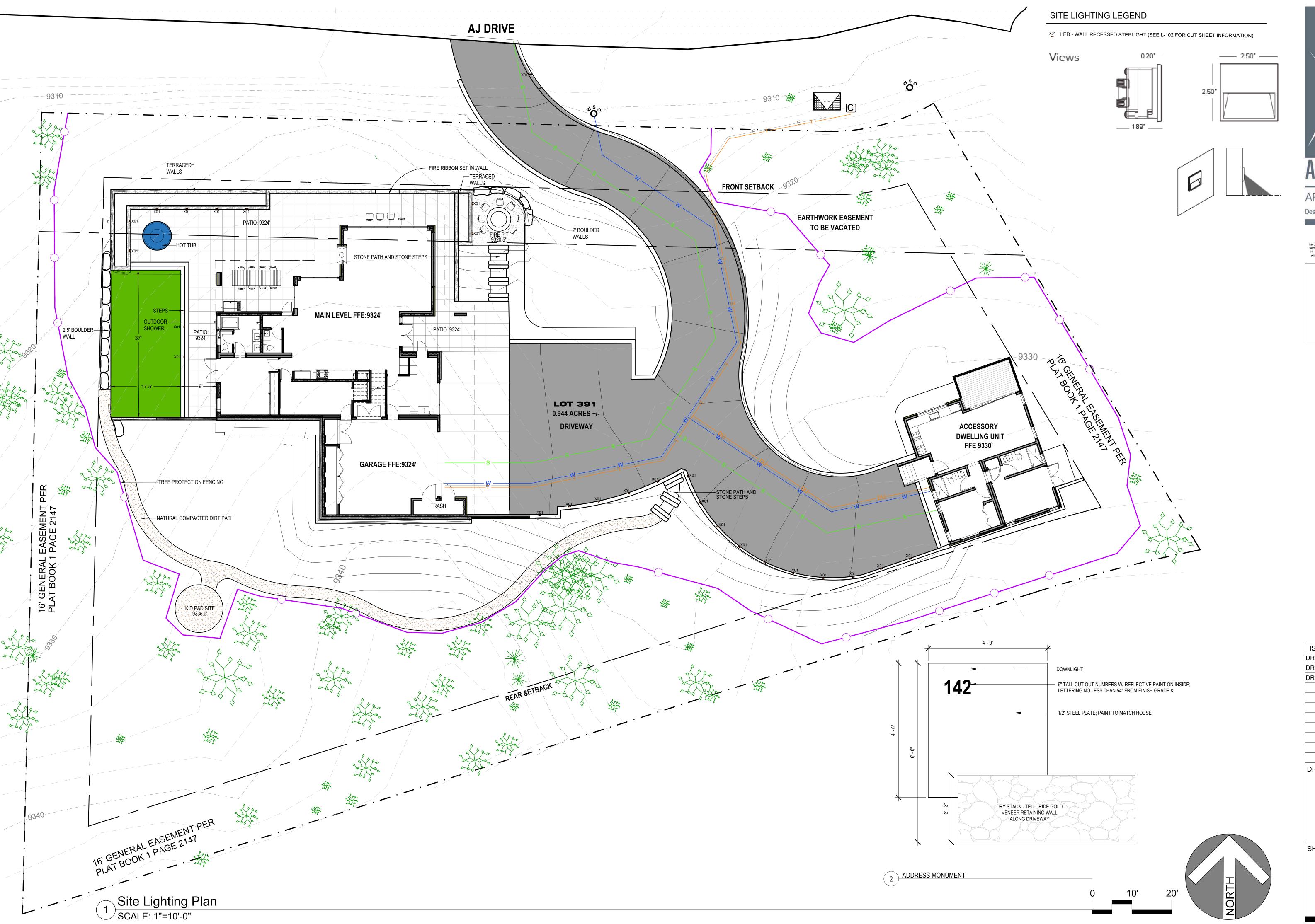
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Landscape Plan





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Site Lighting Plan

SHEET NO.



### X01 - WALL RECESSED STEPLIGHT 2700K - COLOR BLACK

### ZEDGE MINI HO

Professional Small Scale High Efficiency LED Steplight

Concept: Recessed high efficiency LED steplight for Indoor and outdoor applications. A high output steplight version of the classic Zedge Floor Wall wash fixture for applications with higher Illumination requirements.

Housing: Small 2.5" x 2.5" Floor Washer faceplate.

Materials: Die-cast anodized aluminum body fitted with a spring fixing system. Powder

coated die-cast anodized aluminum external frame. \*Consult factory for use in marine grade environments.

Source: LED High Efficiency Board. Optic: Polycarbonate clear lens.

Mounting: To be completed with installation back box. Fixture secured with stainless steel spring system for semi-flush installation only. Installation: Pre-cabled with 3' Belden 18ga 2 conductor direct burial cable (no conduit required).

Finish: Textured Standard Finishes - Ferrite Grey / Heritage Brown / Bronze RAL 8019 / White / Black / Sandstone Grey

Power Supply: Remote Class 2, 120V-277VAC power supply required, see remote driver option

pages. Wattage: 4W

Color Temperature: 2700K / 3000K / 3500K / 4000K

CRI: +Ra90

Delivered Lumens: Values in White Textured Finish

2700K 3000K 3500K 4000K 171Lm 181Lm 186Lm 187Lm Lumen Maintenance (L80/B10): 56,000hrs tq +25°C

Calculation for LED fixtures are based on measurements that comply with IES LM-80.

Voltage: 24V DC IK Rating: IK10

IP Rating: IP66

BUG: B0-U1-G0

Certifications: UL Listed Class 2 wet location E479873

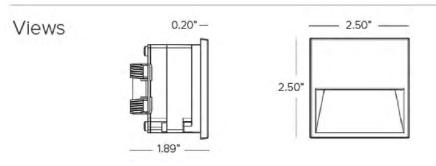
Low voltage landscape lighting. Tested in accordance with LM-79-08

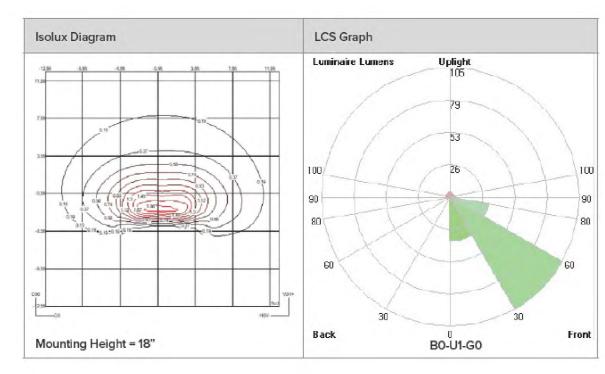
Energy efficient for California Installations. Warranty: 5 year limited warranty

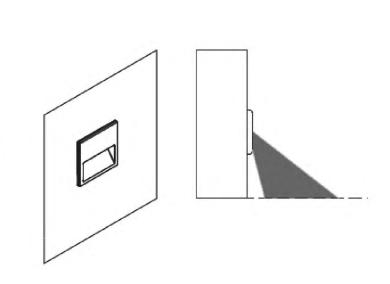
Designed in collaboration with Gensler as Product Design Consultant

<sup>A</sup>Consult factory for use in marine grade environments. Not to be in direct contact with salt for extended periods of time or used with corrosive agents.

PRODUCT CODE	TYPE	DRIVER	FACEPLATE		FINISH	WATTAGE	COLOR TEMP	VOLTAGE	+	INSTALLATION & POWER SUPPLY
ZES – ZEDGE	HO- High Output	RP - Remote Power	FW- Floor Washer	FE	- Ferrite Grey	L2 — 4W	<b>27</b> — 2700K	<b>24</b> — 24V DC		Required (See page)
				нв	<ul> <li>Heritage Brown</li> </ul>		<b>30</b> — 3000K			
				BZ	- Bronze RAL8019	9	<b>35</b> — 3500K			
				WT	<ul> <li>White Textured</li> </ul>		<b>40</b> — 4000K			
				вт	<ul> <li>Black Textured</li> </ul>					
				SG	<ul> <li>Sandstone Grey</li> </ul>					







Shown in Sandstone Grey Flnish

Suitable for indoor and outdoor applications



Design Planning Interiors

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SCALE: 1"=10'-0"

that are three feet (3') or less.



ARCHITECTURE

Design Planning Interiors

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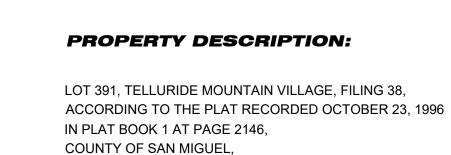
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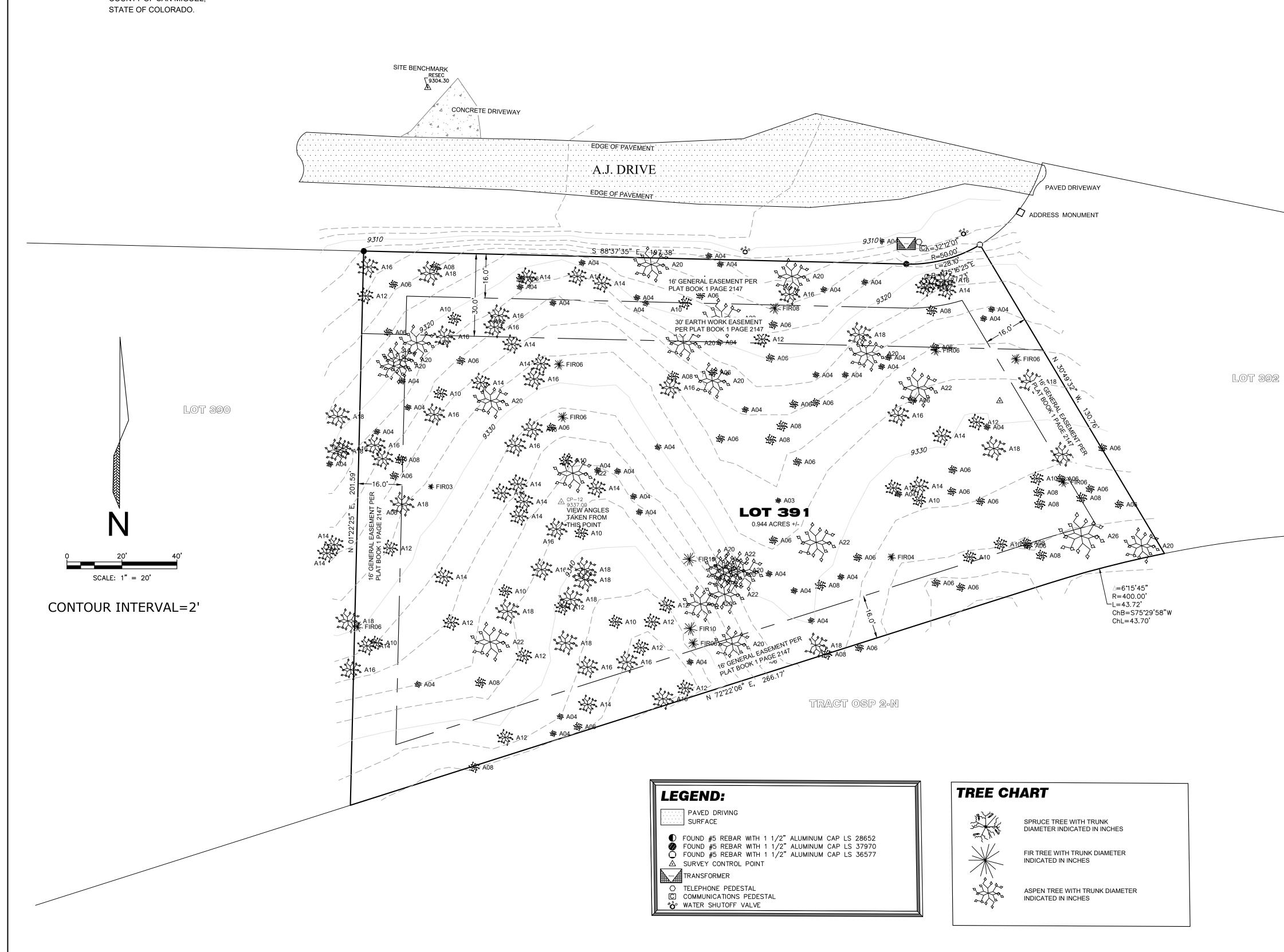
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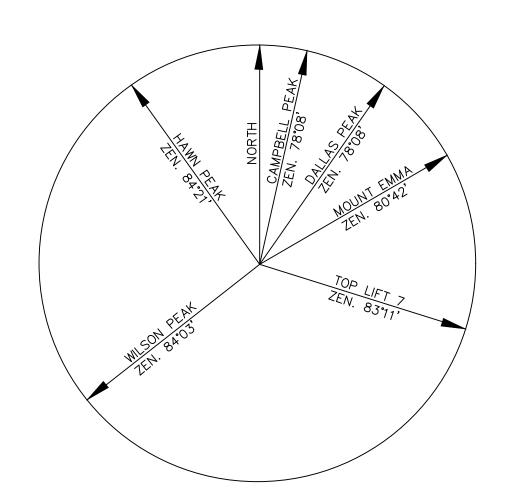
DRAWING TITLE

Wildfire Mitigation Plan

SHEET NO.







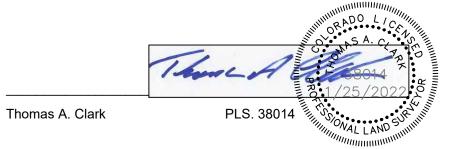
### **VIEW ANGLES**

ANGLES ENUMERATED ARE ZENITH ANGLES

### SURVEYOR'S CERTIFICATE:

I, Thomas A, Clark, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 391 Mountain Village was made by me

under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.



### NOTES:

1. Easement research and property description provided by LAND TITLE GUARANTEE COMPANY - TELLURIDE, Order Number TLR86012266-5 effective on 11/30/2021 at 5:00 P.M.

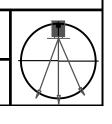
2. According to FEMA Flood Insurance Rate Map 008113C0286C dated September 30.1988 this parcel is within Zone X; Areas determined to be outside 500 year plain.

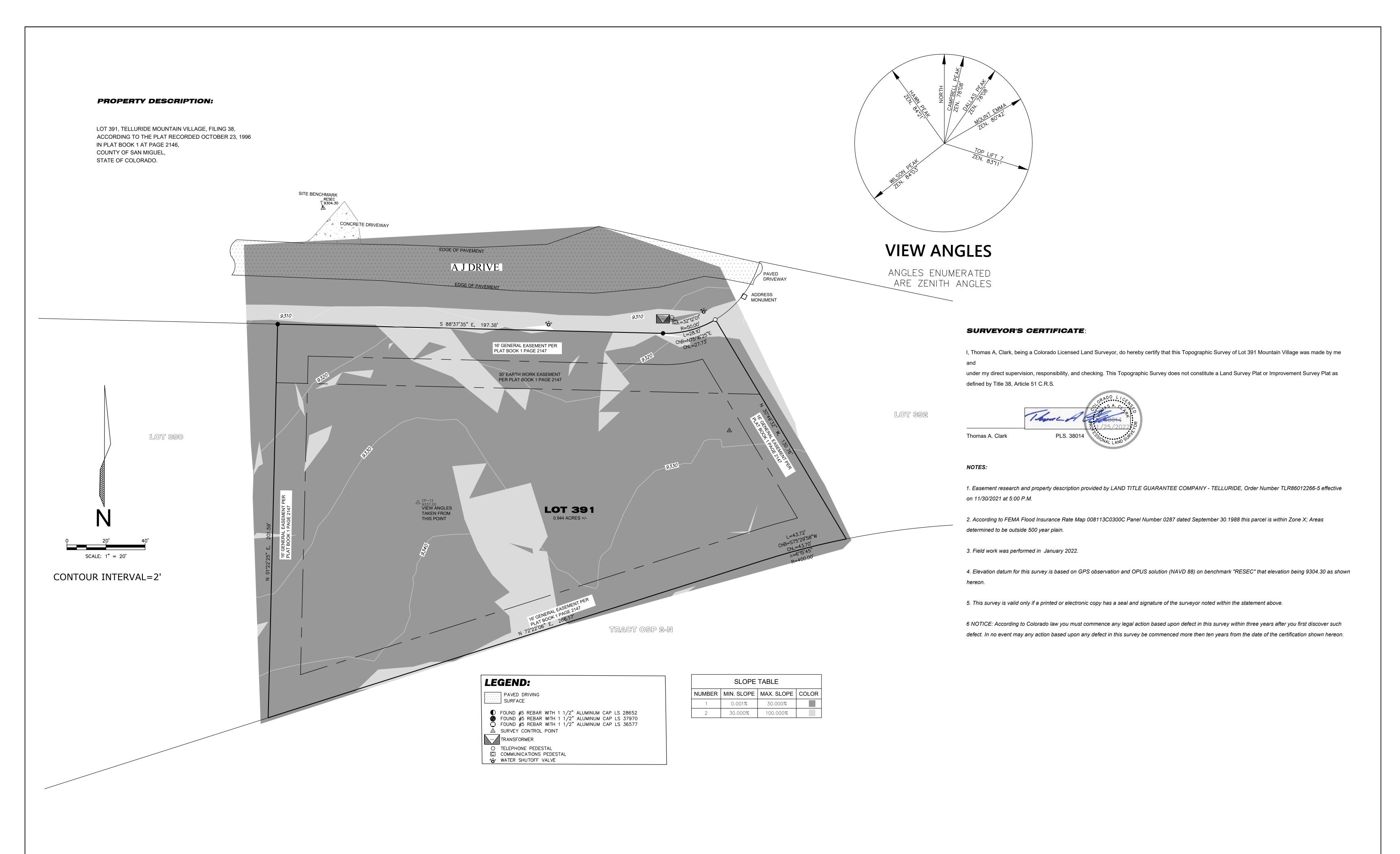
3. Field work was performed in January 2022.

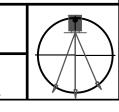
4. Elevation datum for this survey is based on GPS observation and OPUS solution (NAVD 88) on benchmark "RESEC' that elevation being 9304.30 as shown hereon.

5. This survey is valid only if a printed or electronic copy has a seal and signature of the surveyor noted within the statement above.

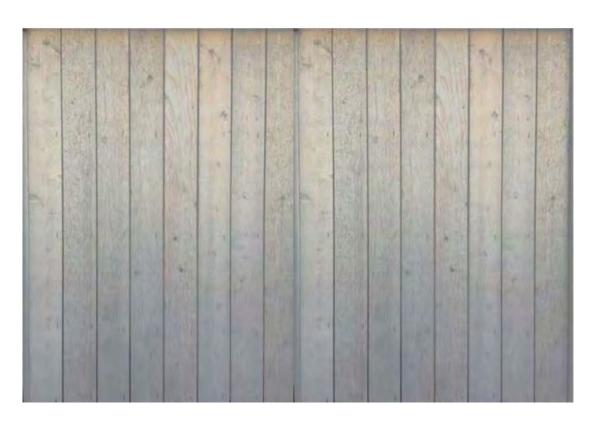
6 NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more then ten years from the date of the certification shown hereon.



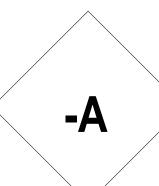


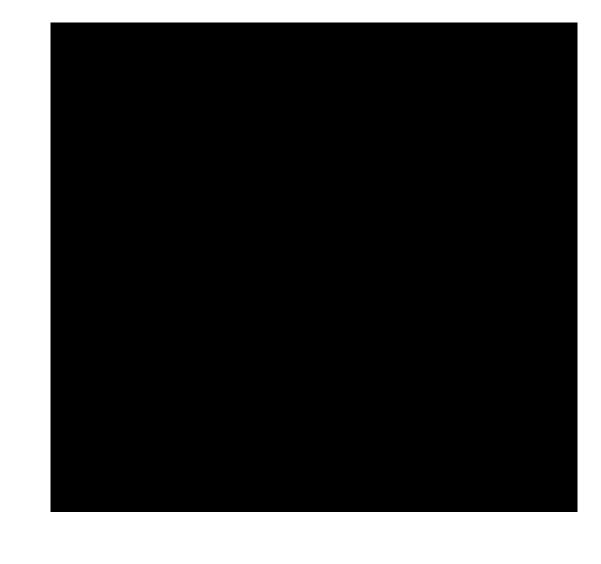


### **EXTERIOR**



VERTICAL STAINED
WOOD SIDING AND
SOFFIT





### PAINTED BRAKE METAL PANEL & FASCIA:

22 GA PAINTED BRAKE METAL PAINTED: KYNAR 500 MATTE BLACK SRI-23

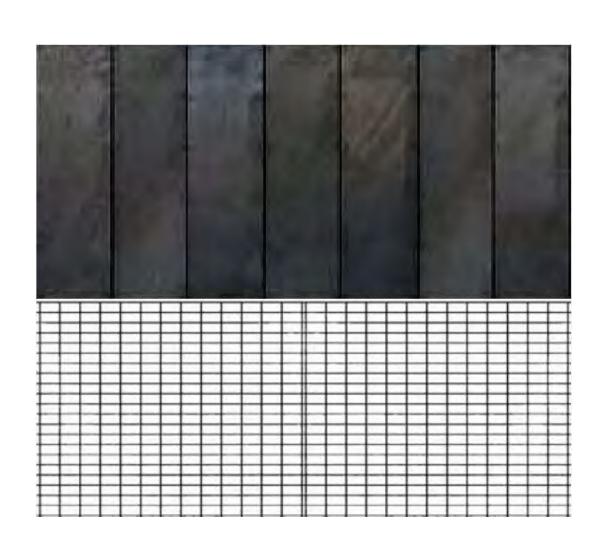
-C



DRY STACK -TELLURIDE GOLD VENEER 3 1/2" THK

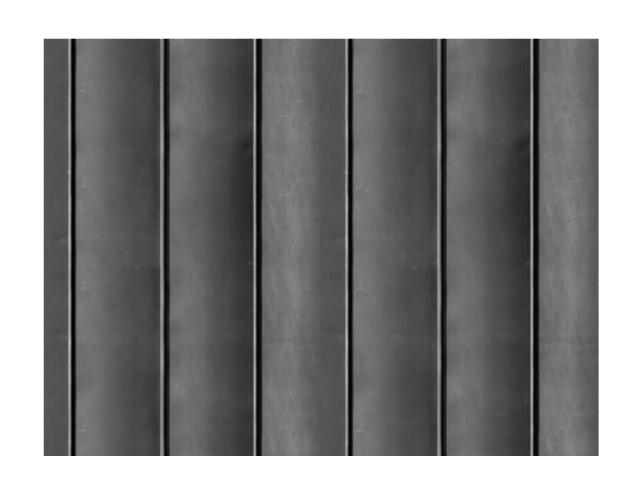
-D

SEE 5/A702 FOR WINDOW DETAIL AT STONE

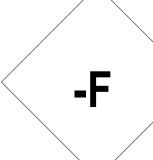


STANDING SEAM
METAL - 22 GA MIN
WALL PANEL TO
MATCH ROOFING

**-E** 



STANDING SEAM
METAL - 22 GA MIN
ROOFING AND
WALL PANEL TO
MATCH





BLACK ALUMINUM CLAD WOOD WINDOWS

-G

SEE 5/A702 FOR WINDOW DETAIL AT STONE

### MATERIAL BREAKDOWN

**ADU MATERIAL CALCULATIONS** 

**MAIN HOUSE** 

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	975.56	418.49	194.94	479.29	2176.23	38.21%
WOOD	117.96	152.59	253.02	205.12	728.69	12.79%
METAL	428.38	571.96	184.5	362.12	1546.96	27.16%
GLASS	693.69	321.57	85.43	143.54	1244.23	21.84%
	I					

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	75.4	0	88.5	310.8	474.7	42.6%
WOOD	31	151	0	18.2	200.2	17.97%
METAL	99.9	32.4	16.7	32.7	181.7	16.31%
GI ASS	128 1	70.6	20.8	38.2	257 7	23 12%

METHOD HOMES 95 YESLER WAY SUITE 300 SEATTLE, WA 98104 T. 206.789.5553

ALPER -WILLIAMS RESIDENCE 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

o. Description Date

MATERIAL BOARD

Client ALPER - WILLIAMS

Date 04.17.2023

A002

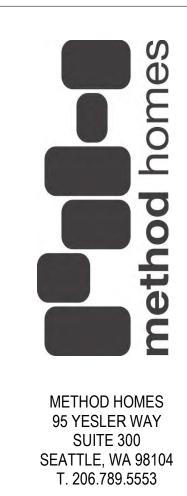
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1/4" = 1'-0" 4/17/2023 4:37:28 PM









ALPER -WILLIAMS RESIDENCE

DRB SUBMITTAL

No.	Description	Date
	·	

RENDERINGS 01

ate

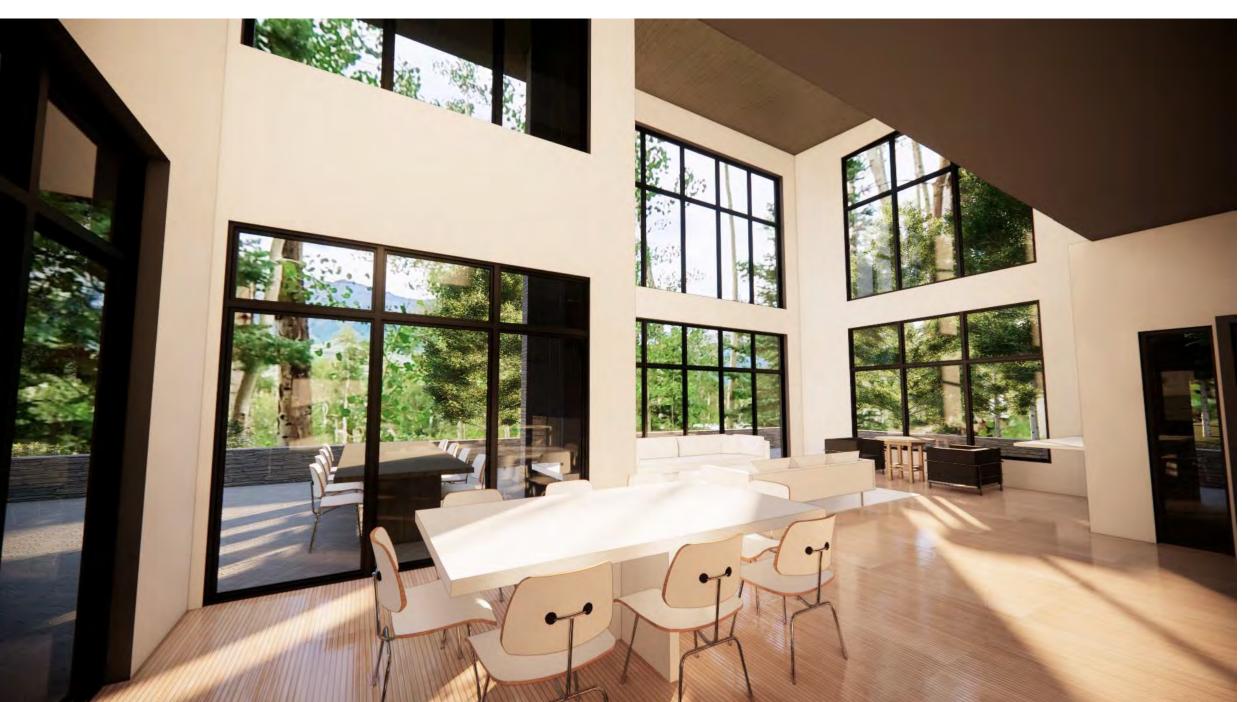
A003

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ALPER - WILLIAMS 04.17.2023









METHOD HOMES 95 YESLER WAY SUITE 300 SEATTLE, WA 98104 T. 206.789.5553

ALPER -WILLIAMS RESIDENCE

DRB SUBMITTAL

No.	Description	Date

RENDERINGS 02

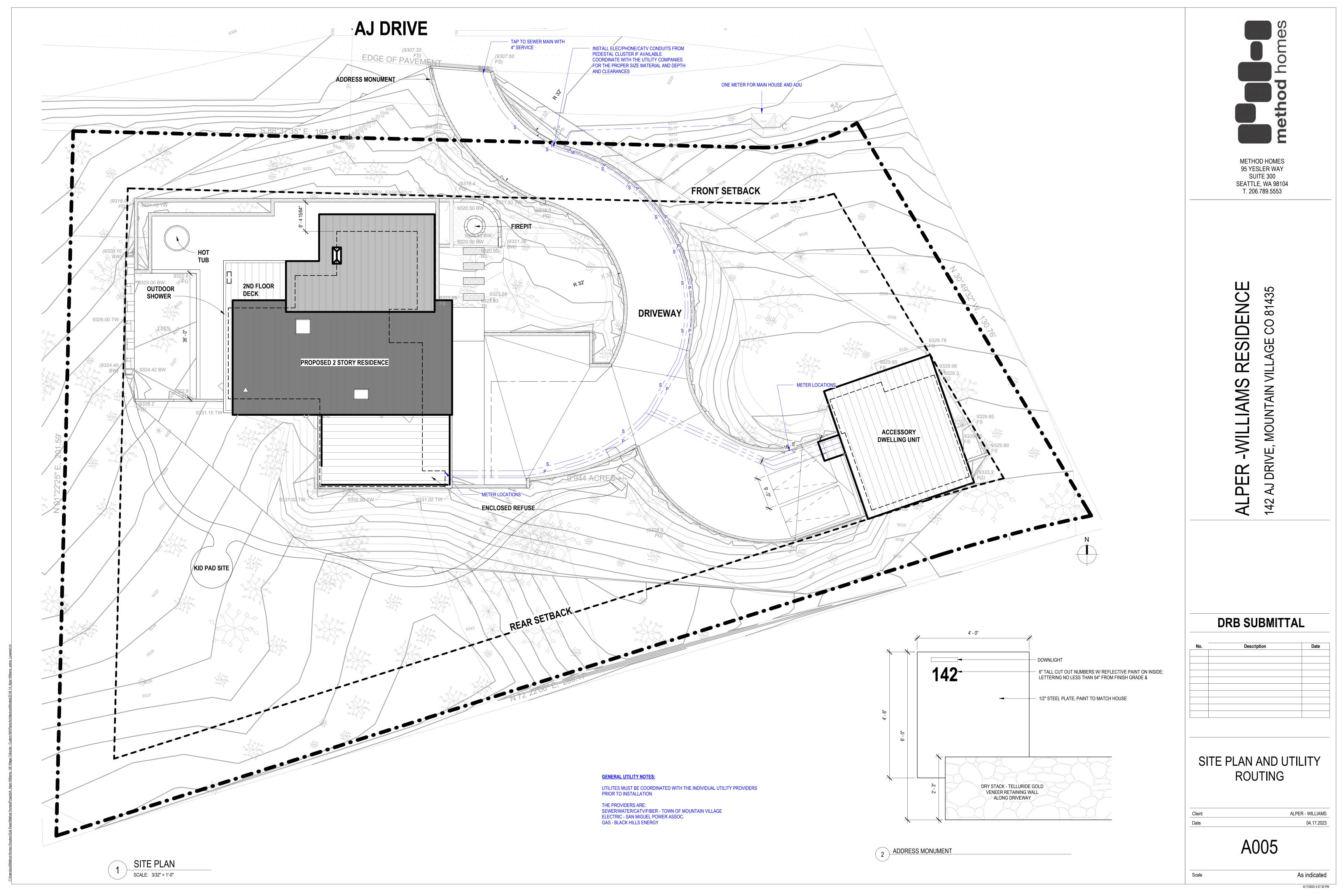
Client ALPER - WILLIAMS

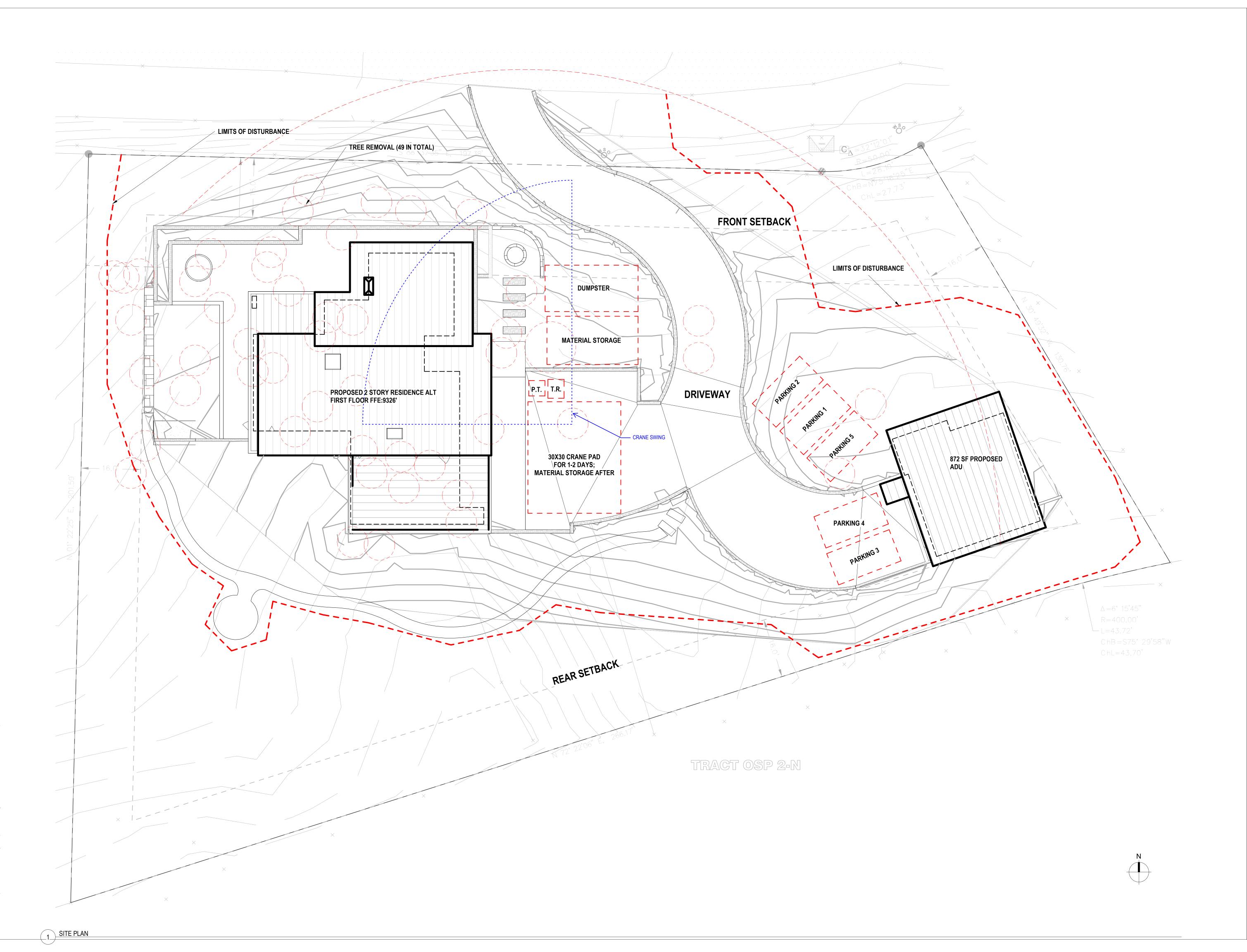
Date 04.17.2023

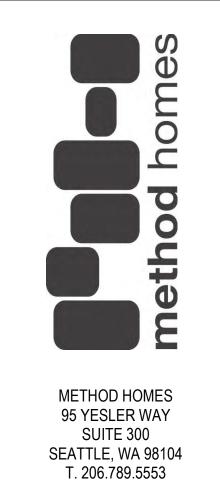
A004

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-WILLIAMS RESIDENCE MOUNTAIN VILLAGE CO 81435 ALPER -W

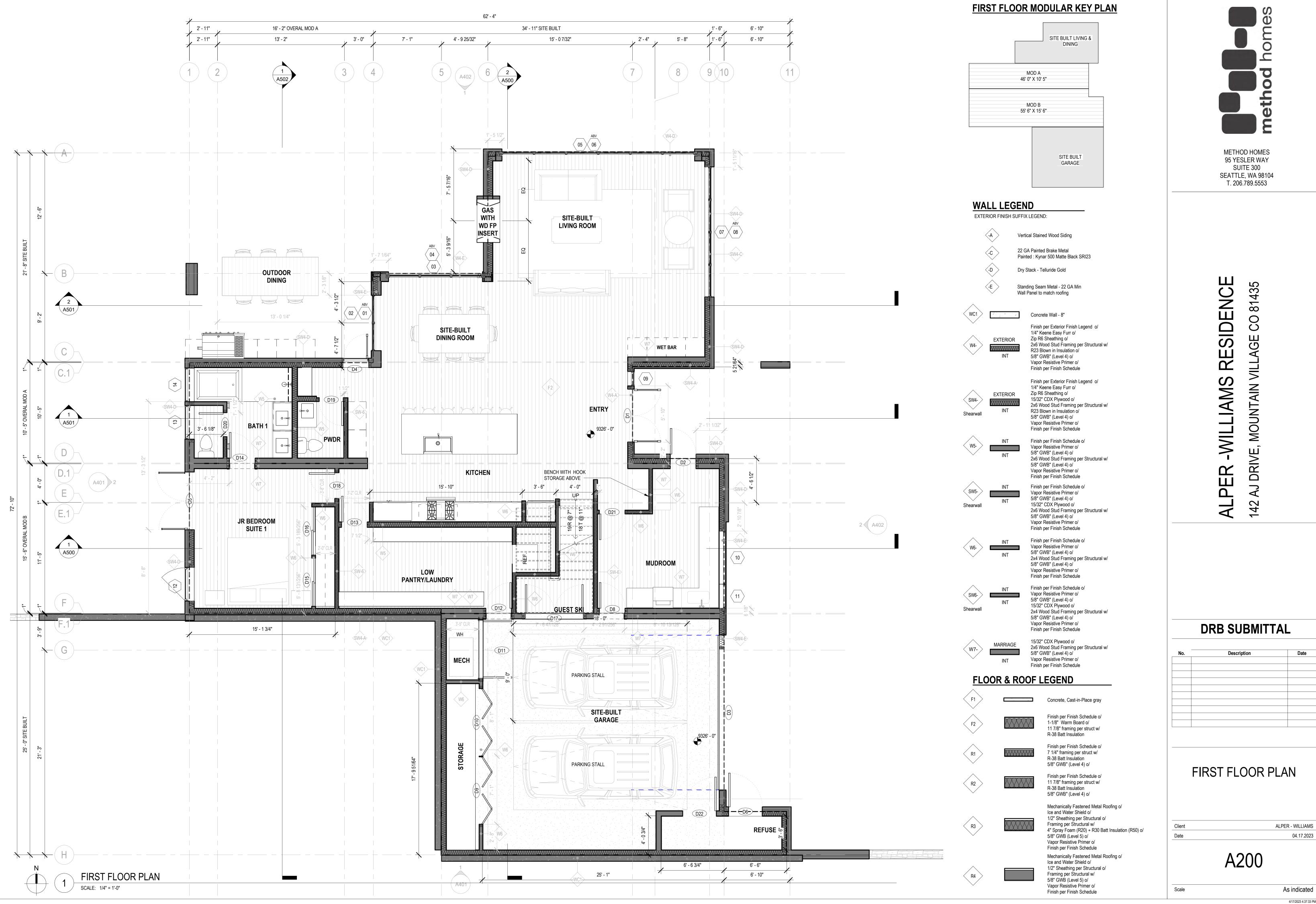
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110.	Безеприон	Dut		

CONSTRUCTION MITIGATION PLAN ALPER - WILLIAMS 04.17.2023

A007

3/32" = 1'-0"

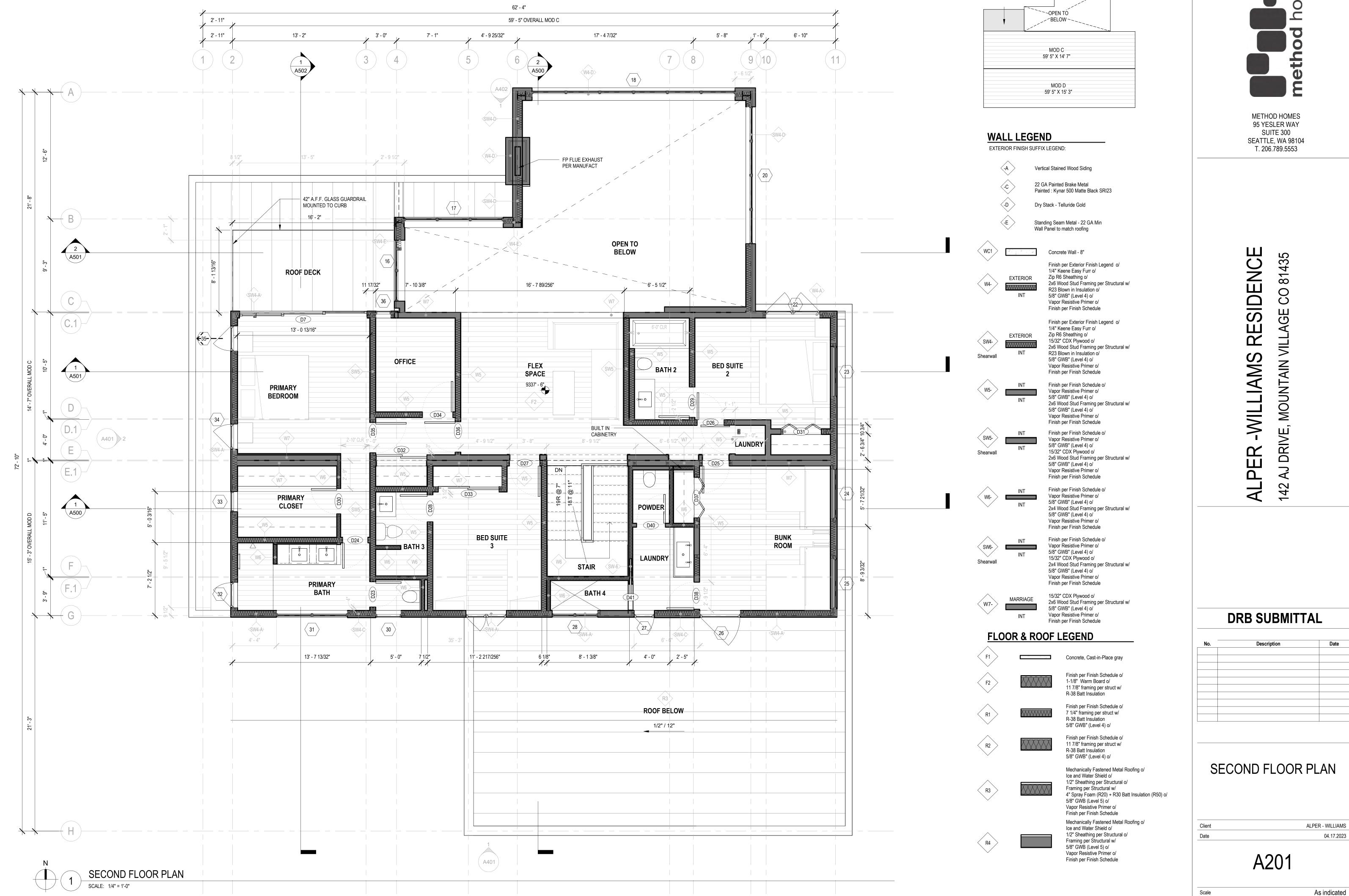
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No.	Description	Dat

ALPER - WILLIAMS 04.17.2023

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SECOND FLOOR MODULAR KEY PLAN

SITE BUILT DECK

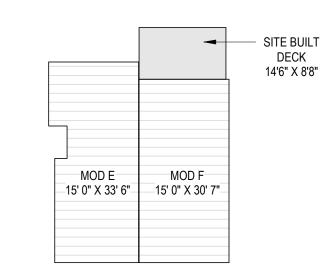
No.	Description	Date

ALPER - WILLIAMS 04.17.2023

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### 30' - 1" 15' - 0" OVERALL MOD E 15' - 0" OVERALL MOD F (AA)(DD) (EE) (BB) (BB.1) DECK 46 **47** 49 D42 50 ABV 48 (W4-D) KITCHEN **GAS FIRE** PLACE -LIVING RM 7' - 4" 9332' - 0" ( →DN 38 -\_\_\_4 A403 —⟨W4-A⟩ 39 > 6 A403 BED 3 BED 4 සු)LOSET $\frac{41}{2}$ CONDITIONED SPACE: 872 SF $\frac{40}{2}$ (A403)

### **ADU MODULAR KEY PLAN**



### **WALL LEGEND**

EXTERIOR FINISH SUFFIX LEGEND:

-A Vertical Stained Wood Siding

-C 22 GA Painted Brake Metal Painted : Kynar 500 Matte Black SRI23

Dry Stack - Telluride Gold

Standing Seam Metal - 22 GA Min Wall Panel to match roofing

1 Concrete Wall - 8"

< W4- >

Finish per Exterior Finish Legend o/
1/4" Keene Easy Furr o/
Zip R6 Sheathing o/
2x6 Wood Stud Framing per Structural w/
R23 Blown in Insulation o/
5/8" GWB" (Level 4) o/

Vapor Resistive Primer o/ Finish per Finish Schedule Finish per Exterior Finish Legend o/ 1/4" Keene Easy Furr o/

EXTERIOR
SW4
earwall

EXTERIOR

INT

EXTERIOR

Zip R6 Sheathing o/

15/32" CDX Plywood o/

2x6 Wood Stud Framing per Structural w/

R23 Blown in Insulation o/

5/8" GWB" (Level 4) o/

Vapor Resistive Primer o/

Finish per Finish Schedule

Finish per Finish Schedule o/
Vapor Resistive Primer o/
5/8" GWB" (Level 4) o/
2x6 Wood Stud Framing per Structural w/
5/8" GWB" (Level 4) o/
Vapor Resistive Primer o/

Finish per Finish Schedule

SW5
INT

INT

Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB" (Level 4) of 15/32" CDX Plywood of 2x6 Wood Stud Framing per

Finish per Finish Schedule o/
Vapor Resistive Primer o/
5/8" GWB" (Level 4) o/
15/32" CDX Plywood o/
2x6 Wood Stud Framing per Structural w/
5/8" GWB" (Level 4) o/
Vapor Resistive Primer o/
Finish per Finish Schedule

Finish per Finish Schedule

Finish per Finish Schedule o/
Vapor Resistive Primer o/
5/8" GWB" (Level 4) o/
2x4 Wood Stud Framing per Structural w/
5/8" GWB" (Level 4) o/
Vapor Resistive Primer o/

Finish per Finish Schedule

INT

SW6
INT

INT

INT

Earwall

Finish per Finish Schedule of Vapor Resistive Primer of 5/8" GWB" (Level 4) of 15/32" CDX Plywood of 2x4 Wood Stud Framing per

Finish per Finish Schedule o/
Vapor Resistive Primer o/
5/8" GWB" (Level 4) o/
15/32" CDX Plywood o/
2x4 Wood Stud Framing per Structural w/
5/8" GWB" (Level 4) o/
Vapor Resistive Primer o/
Finish per Finish Schedule

W7- MARRIAGE

15/32" CDX Plywood o/
2x6 Wood Stud Framing per Structural w/
5/8" GWB" (Level 4) o/
Vapor Resistive Primer o/

### Finish per Finish Schedule FLOOR & ROOF LEGEND

Concrete, Cast-in-Place gray

Finish per Finish Schedule o/
1-1/8" Warm Board o/
11 7/8" framing per struct w/
R-38 Batt Insulation

Finish per Finish Schedule o/

R1 R2

(R4)

R-38 Batt Insulation
5/8" GWB" (Level 4) o/

Finish per Finish Schedule o/
11 7/8" framing per struct w/

R3

Mechanically Fastened Metal Roofing o/
Ice and Water Shield o/
1/2" Sheathing per Structural o/
Framing per Structural w/
4" Spray Foam (R20) + R30 Batt Insulation (R50) o/
5/8" GWB (Level 5) o/
Vapor Resistive Primer o/

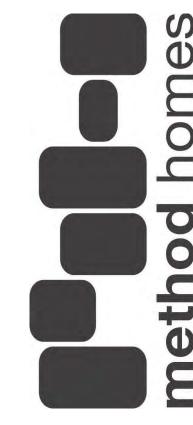
Finish per Finish Schedule

Mechanically Fastened Metal Roofing o/
Ice and Water Shield o/
1/2" Sheathing per Structural o/
Framing per Structural w/
5/8" GWB (Level 5) o/

Vapor Resistive Primer o/ Finish per Finish Schedule

7 1/4" framing per struct w/

R-38 Batt Insulation 5/8" GWB" (Level 4) o/



METHOD HOMES 95 YESLER WAY SUITE 300 SEATTLE, WA 98104 T. 206.789.5553

### NOT FOR CONSTRUCTION

ALPER -WILLIAMS RESIDENCE 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

### DRB SUBMITTAL

No.	Description	Dat

### ADU FIRST FLOOR PLAN

ClientALPER - WILLIAMSDate04.17.2023

A203

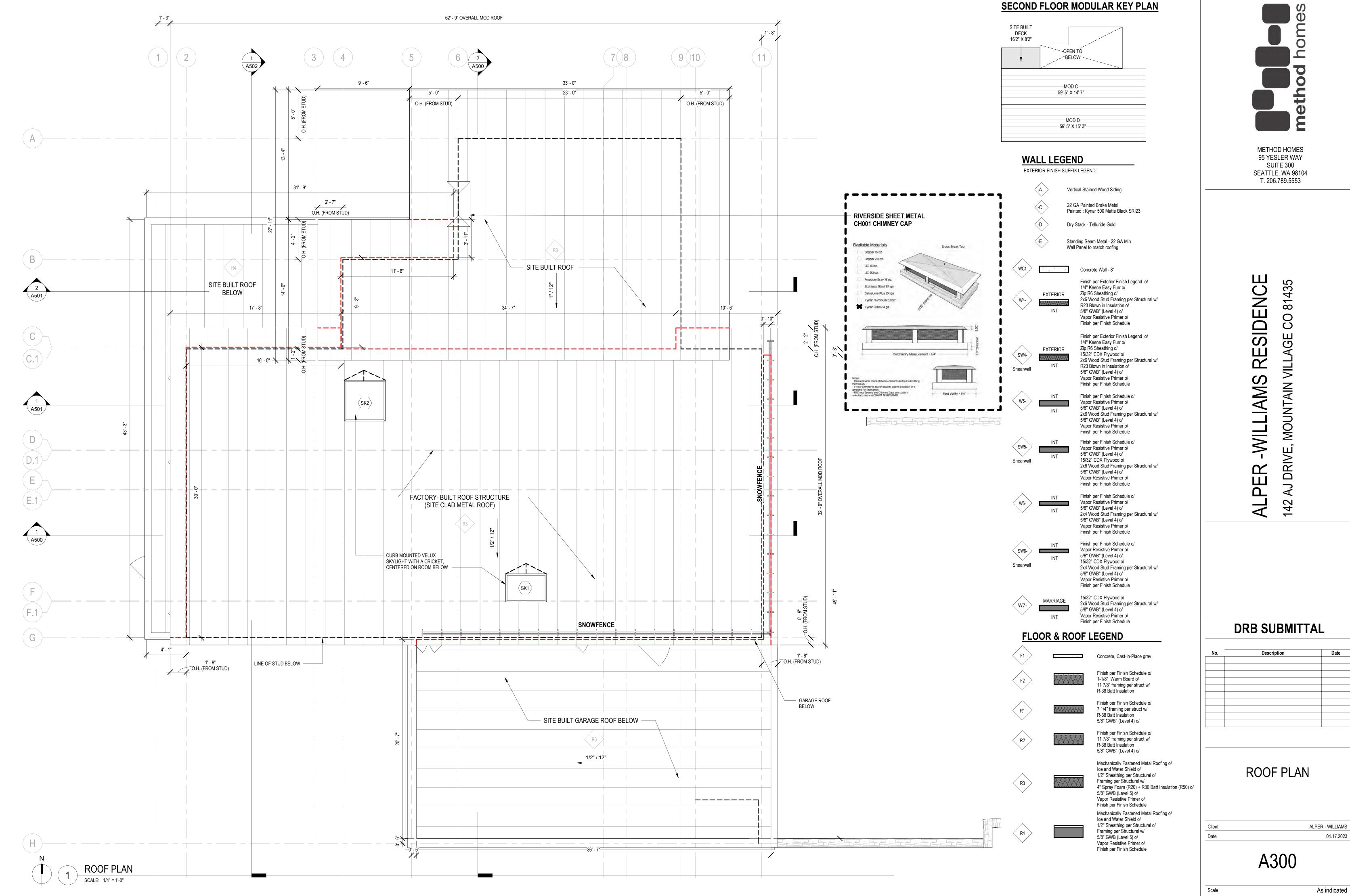
Scale

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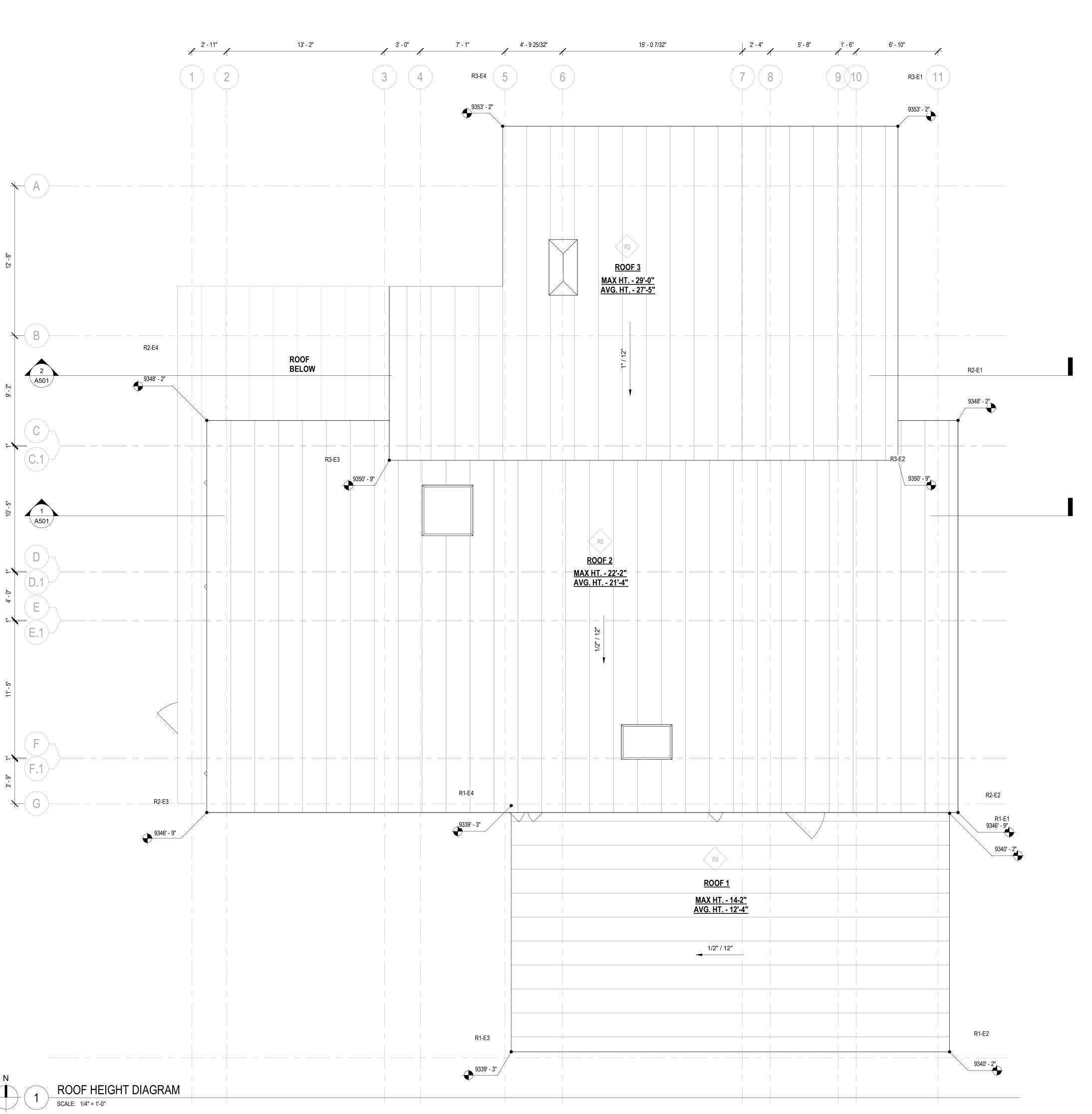
ADU FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



No.	Description	Date

4/17/2023 4:37:36 PM





# ALPER -WILLIAMS RESIDENCE 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

### **BUILDING HEIGHT DIAGRAM**

ROOF 1	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9337'-5"	9334'-11"	9330'-9"	9326'-10"	9332'-6"
FINISH GRADE	9326'	9326'	9333'-4"	9331'-7"	9329'-7"
ROOF ELEVATION	9338'-2"	9338'-2"	9337'-3"	9337'-3"	9337'-8"
(TAKEN FROM MORE RESTRICTIVE GRADE)	12' - 2"	12' - 2"	6' 6"	10' 5"	10' 4"

ROOF 2	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9331' 3"	9330' 8"	9326' 3"	9326' 3"	9328' 7"
FINISH GRADE	9326'	9326'	9326' 3"	9326'	9326'-1"
ROOF ELEVATION	9346-2"	9344'-9"	9344'-9"	9346'-2"	9345'-5"
(TAKEN FROM MORE RESTRICTIVE GRADE)	19'-10"	18'-9"	18'-6"	20'-2"	19'-4"

ROOF 3	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9328' -10"	9328' -2"	9322' -1"	9324' -2"	9325' -10"
FINISH GRADE	9326'	9326'	9326'	9326'	9326'
ROOF ELEVATION	9351'-2"	9348'-9"	9348'-9"	9351'-2"	9349'-9"
(TAKEN FROM MORE RESTRICTIVE GRADE)	27'-2"	24'-9"	28'-8"	29' -0"	27' - 5"

MAXIMUM AVERAGE HEIGHT: 12'-4" + 21'-4" + 27'5" = 59'-6"/3 = **20'-4"**MAXIMUN HEIGHT: **29'-0"** 

### DRB SUBMITTAL

No.	Description	Date
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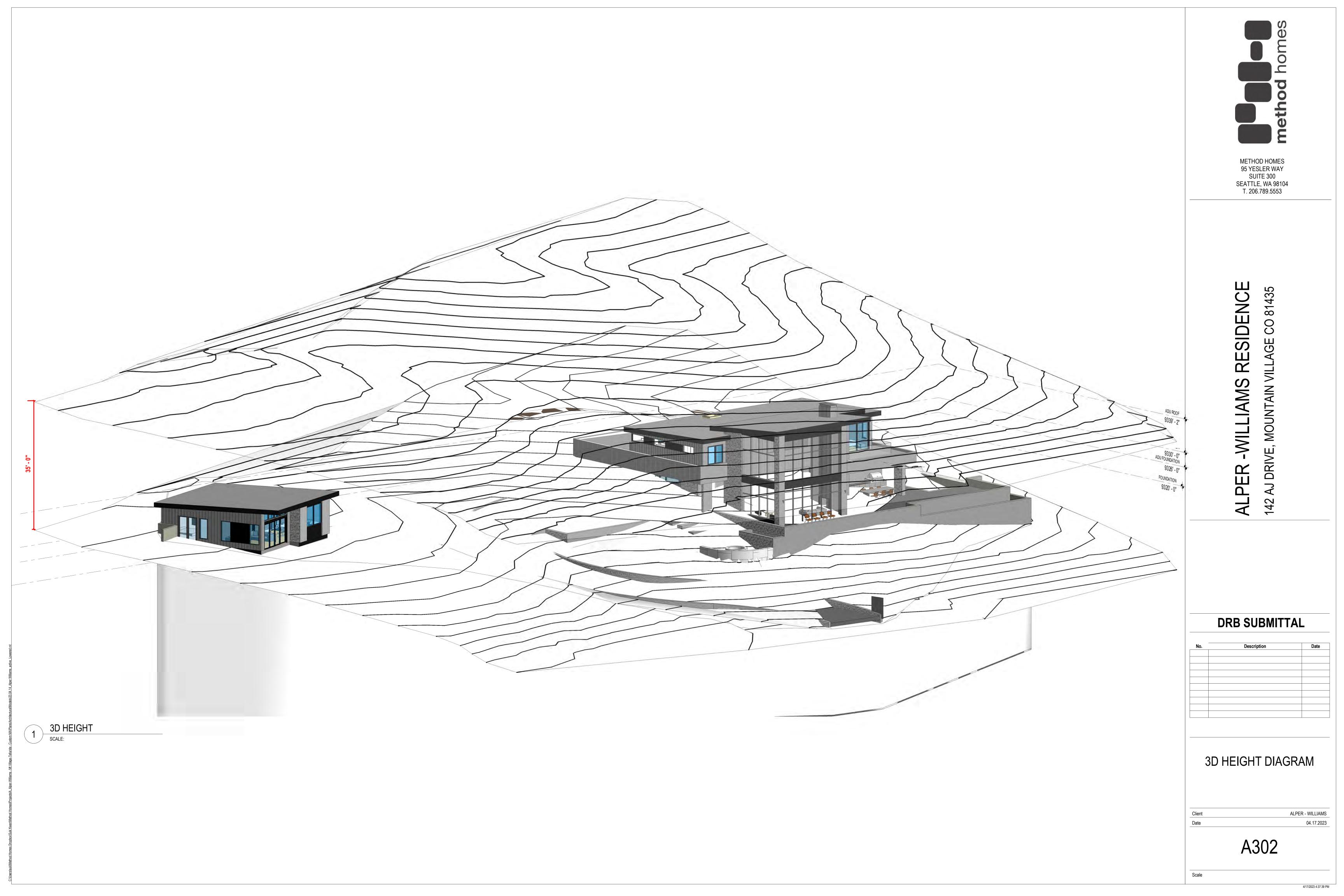
ROOF HEIGHT DIAGRAM

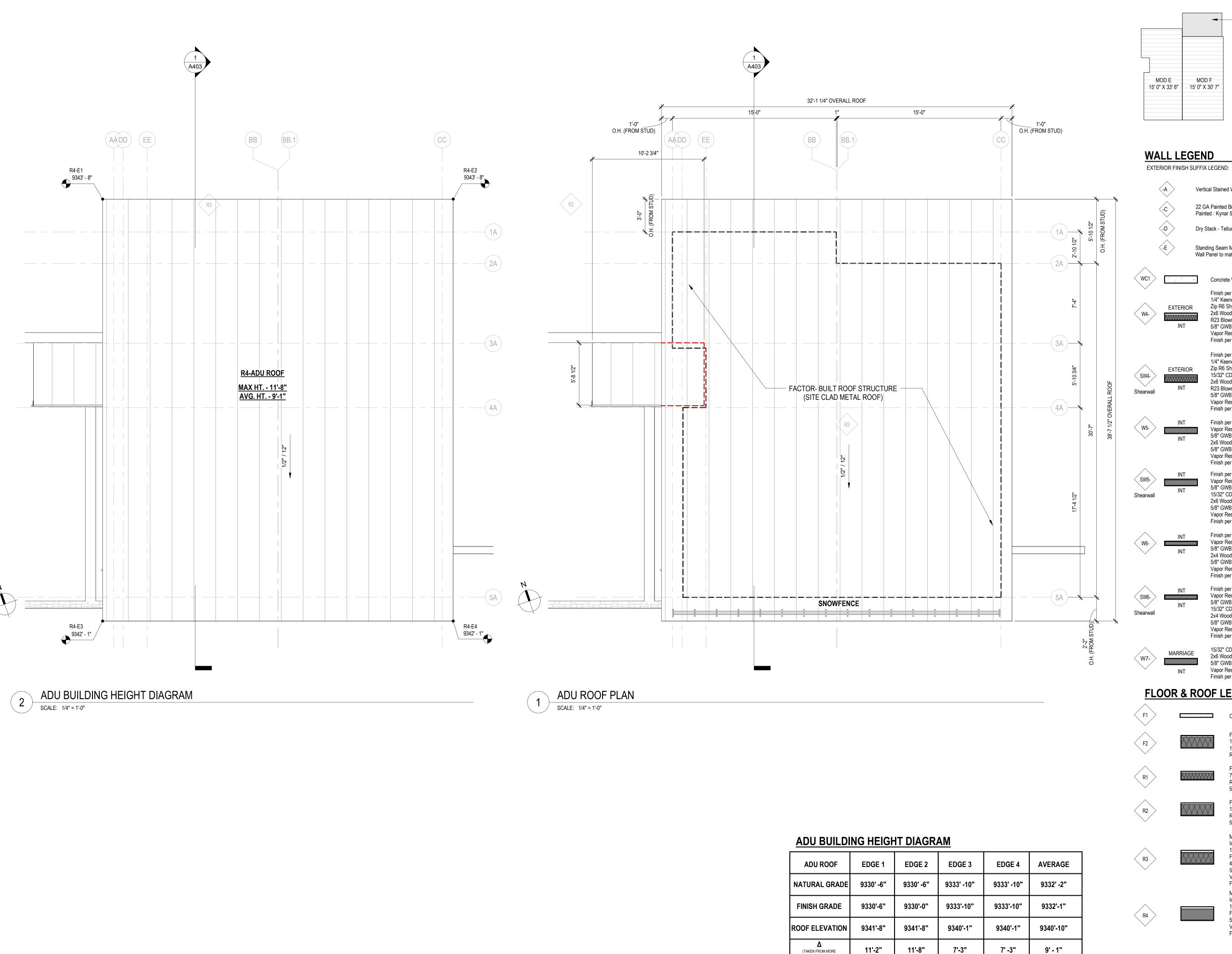
nt ALPER - WILLIAMS
e 04.17.2023

A301

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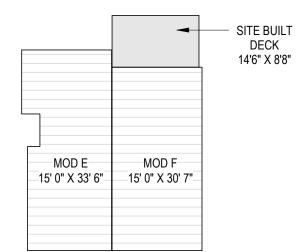
1/4" = 1'-0" 4/17/2023 4:37:36 PM





(TAKEN FROM MORE RESTRICTIVE GRADE)

### **ADU MODULAR KEY PLAN**



### WALL LEGEND

Vertical Stained Wood Siding

22 GA Painted Brake Metal Painted: Kynar 500 Matte Black SRI23

Dry Stack - Telluride Gold

Standing Seam Metal - 22 GA Min Wall Panel to match roofing

Concrete Wall - 8" Finish per Exterior Finish Legend o/ 1/4" Keene Easy Furr o/

Zip R6 Sheathing o/ 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation o/ 5/8" GWB" (Level 4) o/ Vapor Resistive Primer o/ Finish per Finish Schedule

Finish per Exterior Finish Legend o/ 1/4" Keene Easy Furr o/ Zip R6 Sheathing o/ **EXTERIOR** 15/32" CDX Plywood o/ 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation o/ 5/8" GWB" (Level 4) o/

Vapor Resistive Primer o/

Finish per Finish Schedule

Vapor Resistive Primer o/

Finish per Finish Schedule o/ Vapor Resistive Primer o/ 5/8" GWB" (Level 4) o/ 2x6 Wood Stud Framing per Structural w/ 5/8" GWB" (Level 4) o/

Finish per Finish Schedule Finish per Finish Schedule o/ Vapor Resistive Primer o/ 5/8" GWB" (Level 4) o/ 15/32" CDX Plywood o/ 2x6 Wood Stud Framing per Structural w/ 5/8" GWB" (Level 4) o/

Vapor Resistive Primer o/ Finish per Finish Schedule Finish per Finish Schedule o/ Vapor Resistive Primer o/ 5/8" GWB" (Level 4) o/

2x4 Wood Stud Framing per Structural w/ 5/8" GWB" (Level 4) o/ Vapor Resistive Primer o/ Finish per Finish Schedule Finish per Finish Schedule o/ Vapor Resistive Primer o/ 5/8" GWB" (Level 4) o/ 15/32" CDX Plywood o/

2x4 Wood Stud Framing per Structural w/ 5/8" GWB" (Level 4) o/ Vapor Resistive Primer o/ Finish per Finish Schedule

MARRIAGE

15/32" CDX Plywood o/ 2x6 Wood Stud Framing per Structural w/ 5/8" GWB" (Level 4) o/ Vapor Resistive Primer o/

Finish per Finish Schedule

### **FLOOR & ROOF LEGEND**

Concrete, Cast-in-Place gray Finish per Finish Schedule o/ 1-1/8" Warm Board o/

11 7/8" framing per struct w/ R-38 Batt Insulation Finish per Finish Schedule o/

7 1/4" framing per struct w/ R-38 Batt Insulation 5/8" GWB" (Level 4) o/ Finish per Finish Schedule o/

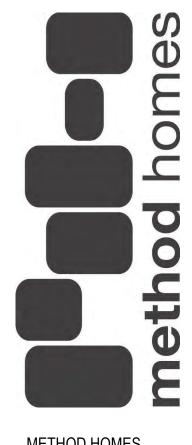


Mechanically Fastened Metal Roofing o/ Ice and Water Shield o/ 1/2" Sheathing per Structural o/ Framing per Structural w/ 4" Spray Foam (R20) + R30 Batt Insulation (R50) o/ 5/8" GWB (Level 5) o/ Vapor Resistive Primer o/ Finish per Finish Schedule



Mechanically Fastened Metal Roofing o/ Ice and Water Shield o/ 1/2" Sheathing per Structural o/ Framing per Structural w/ 5/8" GWB (Level 5) o/ Vapor Resistive Primer o/ Finish per Finish Schedule

11 7/8" framing per struct w/ R-38 Batt Insulation 5/8" GWB" (Level 4) o/



METHOD HOMES 95 YESLER WAY SUITE 300 SEATTLE, WA 98104 T. 206.789.5553

### RESIDENCE CO 81435 N VILLAGE E, MOUNTAIN -WILLIAM AJ DRIVE, PER AL 142

DRB SUBMITTAL Description Date

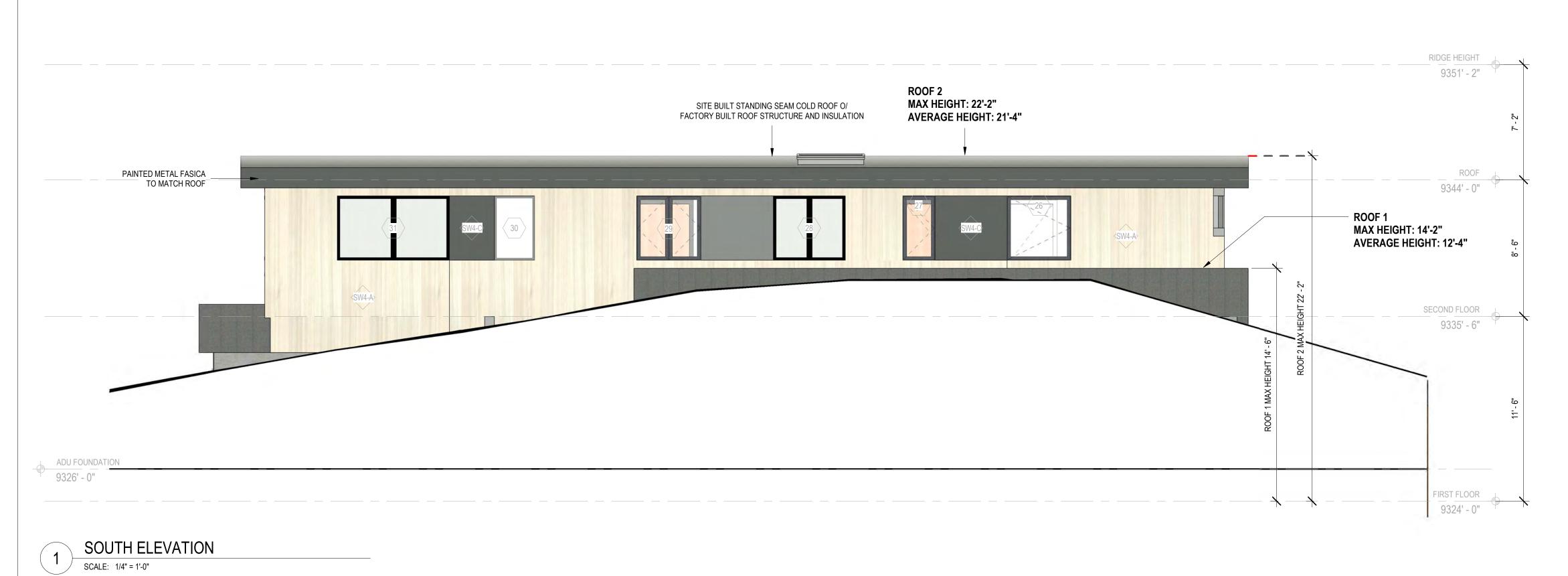
### ADU ROOF PLAN & **BUILDING HEIGHT** DIAGRAM

ALPER - WILLIAMS Client Date 04.17.2023 Drawn by

A310

Scale

As indicated 4/17/2023 4:37:40 PM



ROOF 3 MAX HEIGHT: 29'-0" AVERAGE HEIGHT: 27'-5"				
	PAINTED METAL FASCIA TO MATCH ROOF			RIDGE HEIGHT 9351' - 2"
	12" SITE BUILT STANDING SEAM COL FACTORY BUILT ROOF STRUCTURE A	ROOF 2  MAX HEIGHT: 22'-2"  AND INSULATION  AVERAGE HEIGHT: 21'-4"		72
35/256" MA-D	16 35 35 35 35 35 35 35 35 35 35 35 35 35	34' SW4-A SW4-A	ROOF 1  MAX HEIGHT: 14'-2"  AVERAGE HEIGHT: 12'-4"	9344' - 0"
ROOF 1 MAX HEIGHT 29'-0	OF 2 MAX HEIGHT 22' - 1 33/64"		HT 14' - 6"	SECOND FLOOR 9335' - 6"
	01	D5 SW4-D	ROOF 1 MAX HEIG	FIRST FLOOR 9324' - 0"
NATURAL GRADE: 9322'-1"				9324' - 0"
WEST ELEVATION  SCALE: 1/4" = 1'-0"				

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	975.56	418.49	194.94	479.29	2176.23	38.21%
WOOD	117.96	152.59	253.02	205.12	728.69	12.79%
METAL	428.38	571.96	184.5	362.12	1546.96	27.16%
GLASS	693.69	321.57	85.43	143.54	1244.23	21.84%
				TOTAL	5696.11	100%

Material Calculations

SCALE: 1/4" = 1'-0"

### **BUILDING HEIGHT DIAGRAM**

ROOF 1	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9337'-5"	9334'-11"	9330'-9"	9326'-10"	9332'-6"
FINISH GRADE	9326'	9326'	9333'-4"	9331'-7"	9329'-7"
ROOF ELEVATION	9338'-2"	9338'-2"	9337'-3"	9337'-3"	9337'-8"
(TAKEN FROM MORE RESTRICTIVE GRADE)	12' - 2"	12' - 2"	6' 6"	10' 5"	10' 4"

ROOF 2	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9331' 3"	9330' 8"	9326' 3"	9326' 3"	9328' 7"
FINISH GRADE	9326'	9326'	9326' 3"	9326'	9326'-1"
ROOF ELEVATION	9346-2"	9344'-9"	9344'-9"	9346'-2"	9345'-5"
(TAKEN FROM MORE RESTRICTIVE GRADE)	19'-10"	18'-9"	18'-6"	20'-2"	19'-4"

ROOF 3	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9328' -10"	9328' -2"	9322' -1"	9324' -2"	9325' -10"
FINISH GRADE	9326'	9326'	9326'	9326'	9326'
ROOF ELEVATION	9351'-2"	9348'-9"	9348'-9"	9351'-2"	9349'-9"
(TAKEN FROM MORE RESTRICTIVE GRADE)	27'-2"	24'-9"	28'-8"	29' -0"	27' - 5"

MAXIMUM AVERAGE HEIGHT: 12'-4" + 21'-4" + 27'5" = 59'-6"/3 = **20'-4"**MAXIMUN HEIGHT: **29'-0"** 

### WALL LEGEND

EXTERIOR FINISH SUFFIX LEGEND:

-A Vertical Stained Wood Siding

22 GA Painted Brake Metal Painted : Kynar 500 Matte Black SRI23

Dry Stack - Telluride Gold

Standing Seam Metal - 22 GA Min Wall Panel to match roofing

ELEVATIONS

Client ALPER - WILLIAMS
Date 04.17.2023

A401

Scale

1/4" = 1'-0" 4/17/2023 4:37:46 PM

Date

ALPER -WILLIAMS RESIDENCE

ALPER -WILLIAMS RESIDENCE

142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

met

DRB SUBMITTAL

Description



ROOF 3 MAX HEIGHT: 29'-0" AVERAGE HEIGHT: 27'-5" PAINTED METAL FASCIA TO MATCH ROOF ROOF 2 MAX HEIGHT: 22'-2" AVERAGE HEIGHT: 21'-4" 9351' - 2" SITE-BUILT ROOF SITE BUILT STANDING SEAM COLD ROOF O/ FACTORY BUILT ROOF STRUCTURE AND INSULATION ROOF 9344' - 0" PAINTED METAL FASCIA TO MATCH ROOF ROOF 1 MAX HEIGHT: 14'-2" AVERAGE HEIGHT: 12'-4" SITE-BUILT ROOF <SW4-A> SECOND FLOOR 9335' - 6" SW4-E FIRST FLOOR 9324' - 0" \_ \_ \_ \_

2 EAST ELEVATION

SCALE: 1/4" = 1'-0"

### **BUILDING HEIGHT DIAGRAM**

ROOF 1	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9337'-5"	9334'-11"	9330'-9"	9326'-10"	9332'-6"
FINISH GRADE	9326'	9326'	9333'-4"	9331'-7"	9329'-7"
ROOF ELEVATION	9338'-2"	9338'-2"	9337'-3"	9337'-3"	9337'-8"
(TAKEN FROM MORE RESTRICTIVE GRADE)	12' - 2"	12' - 2"	6' 6"	10' 5"	10' 4"

ROOF 2	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9331' 3"	9330' 8"	9326' 3"	9326' 3"	9328' 7"
FINISH GRADE	9326'	9326'	9326' 3"	9326'	9326'-1"
ROOF ELEVATION	9346-2"	9344'-9"	9344'-9"	9346'-2"	9345'-5"
(TAKEN FROM MORE RESTRICTIVE GRADE)	19'-10"	18'-9"	18'-6"	20'-2"	19'-4"

ROOF 3	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9328' -10"	9328' -2"	9322' -1"	9324' -2"	9325' -10"
FINISH GRADE	9326'	9326'	9326'	9326'	9326'
ROOF ELEVATION	9351'-2"	9348'-9"	9348'-9"	9351'-2"	9349'-9"
(TAKEN FROM MORE RESTRICTIVE GRADE)	27'-2"	24'-9"	28'-8"	29' -0"	27' - 5"

**MAXIMUM AVERAGE HEIGHT:** 12'-4" + 21'-4" + 27'5" = 59'-6"/3 = **20'-4" MAXIMUN HEIGHT: 29'-0"** 

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	975.56	418.49	194.94	479.29	2176.23	38.21%
WOOD	117.96	152.59	253.02	205.12	728.69	12.79%
METAL	428.38	571.96	184.5	362.12	1546.96	27.16%
GLASS	693.69	321.57	85.43	143.54	1244.23	21.84%
			1	TOTAL	5696.11	100%

Material Calculations

SCALE: 1/4" = 1'-0"

### WALL LEGEND

EXTERIOR FINISH SUFFIX LEGEND:

Vertical Stained Wood Siding

22 GA Painted Brake Metal Painted : Kynar 500 Matte Black SRI23

Dry Stack - Telluride Gold

Standing Seam Metal - 22 GA Min Wall Panel to match roofing

METHOD HOMES 95 YESLER WAY SUITE 300 SEATTLE, WA 98104 T. 206.789.5553

-WILLIAMS RESIDENCE CO 81435 AJ DRIVE, MOUNTAIN VILLAGE ALPER 142

DRB SUBMITTAL

No.	Description	Date

**ELEVATIONS** 

ALPER - WILLIAMS 04.17.2023

A402

Scale

4/17/2023 4:37:52 PM

1/4" = 1'-0"

### ADU ROOF 9339' - 2 9326' - 0"

### **ADU BUILDING HEIGHT DIAGRAM**

ADU ROOF	EDGE 1	EDGE 2	EDGE 3	EDGE 4	AVERAGE
NATURAL GRADE	9330' -6"	9330' -6"	9333' -10"	9333' -10"	9332' -2"
FINISH GRADE	9330'-6"	9330'-0"	9333'-10"	9333'-10"	9332'-1"
ROOF ELEVATION	9341'-8"	9341'-8"	9340'-1"	9340'-1"	9340'-10"
(TAKEN FROM MORE RESTRICTIVE GRADE)	11'-2"	11'-8"	7'-3"	7' -3"	9' - 1"

**ADU MODULAR KEY PLAN** 

MOD F

\_15' 0" X 30' 7'

15' 0" X 33' 6"

- SITE BUILT DECK 14'6" X 8'8"

### **ADU MATERIAL CALCULATIONS**

	NORTH	EAST	SOUTH	WEST	TOTAL	%
STONE	75.4	0	88.5	310.8	474.7	42.6%
WOOD	31	151	0	18.2	200.2	17.97%
METAL	99.9	32.4	16.7	32.7	181.7	16.31%
GLASS	128.1	70.6	20.8	38.2	257.7	23.12%

32' - 1 1/8" OVERALL MOD ROOF

1114.3

SEATTLE, WA 98104 T. 206.789.5553 NOT FOR CONSTRUCTION

CO 81435

AJ DRIVE, MOUNTAIN VILLAGE

METHOD HOMES

95 YESLER WAY SUITE 300

### **WALL LEGEND**

(AADD) (EE)

EXTERIOR FINISH SUFFIX LEGEND:

Vertical Stained Wood Siding

22 GA Painted Brake Metal Painted : Kynar 500 Matte Black SRI23

Standing Seam Metal - 22 GA Min Wall Panel to match roofing

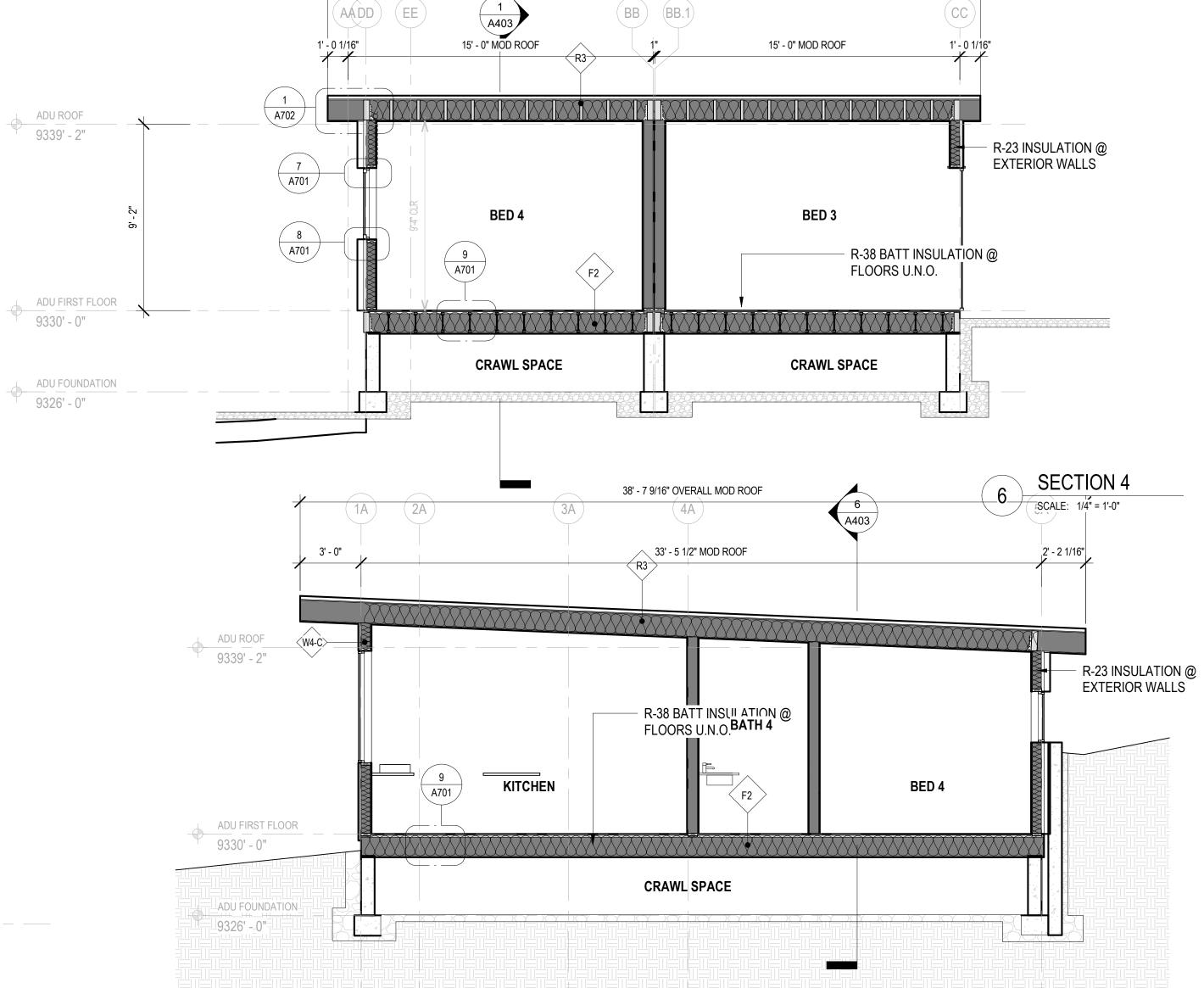


PAINTED METAL FASCIA TO MATCH ROOF

ROOF 4 MAX HT. - 11'-8" AVG. HT. - 9'-2"

PLANTER

D	Dry Stack - Telluride Gold
$\checkmark$	



### -WILLIAMS RESIDENCE ALPER

### DRB SUBMITTAL

No.	Description	Date

### **BUILDING ELEVATION & SECTION ADU**

ALPER - WILLIAMS Date 04.17.2023

A403

Scale

SECTION 5

SCALE: 1/4" = 1'-0"

As indicated 4/17/2023 4:38:00 PM

### SCALE: 1/4" = 1'-0"

ADU FOUNDATION
9326' - 0"

EAST ELEVATION - ADU

SITE BUILT STANDING SEAM COLD ROOF O/ FACTORY BUILT ROOF STRUCTURE AND INSULATION

4 EAST ELEV SCALE: 1/4" = 1'-0"

ADU ROOF 9339' - 2"

9330' - 0"

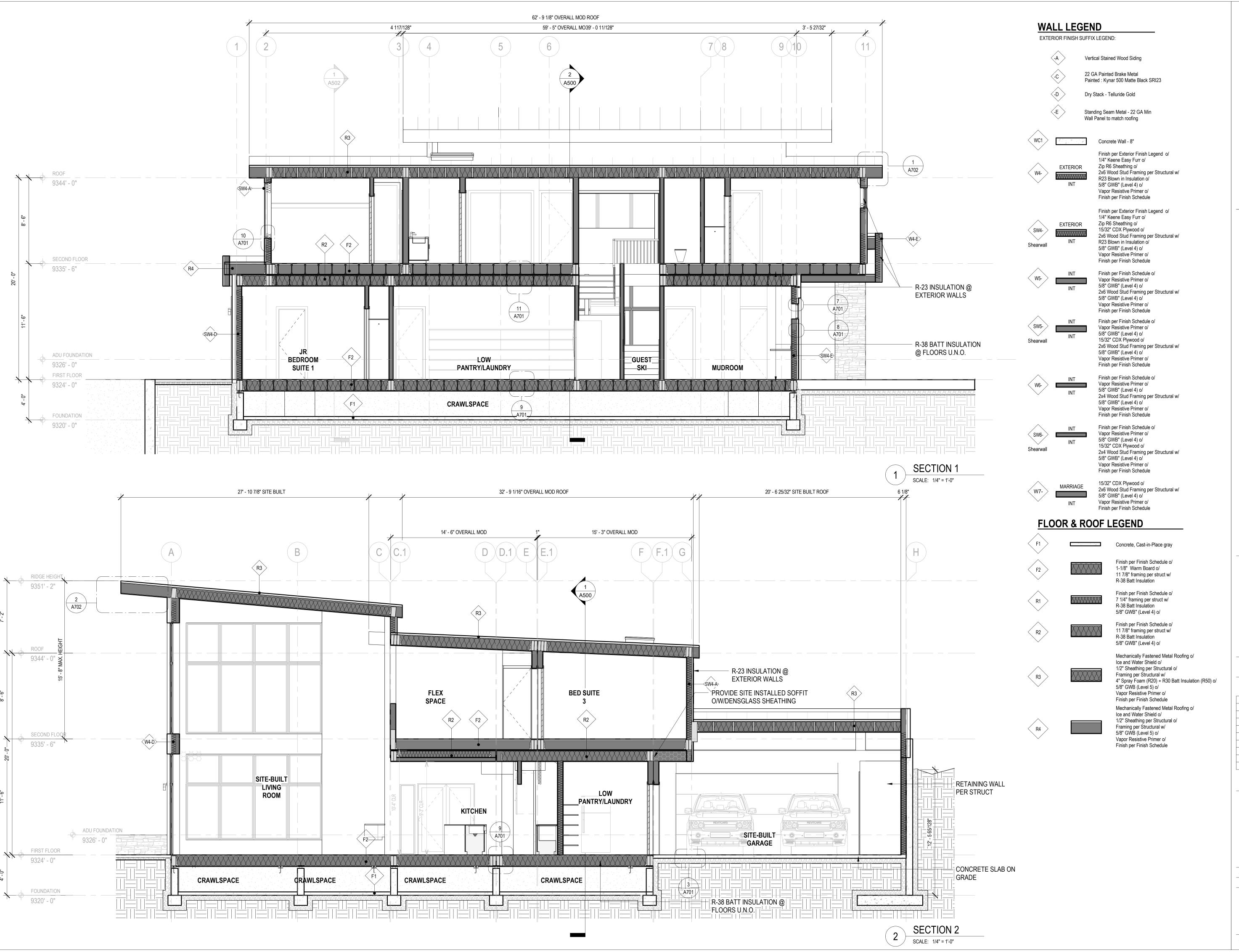
NORTH ELEVATION - ADU

SCALE: 1/4" = 1'-0"

DU FIRST FLOOR

ADU FOUNDATION

9326' - 0"





METHOD HOMES 95 YESLER WAY SUITE 300 SEATTLE, WA 98104

T. 206.789.5553

81435 8

SIDENCE 5 R -WILLIAMS ALPER

MOUNTAIN

AJ DRIVE

142

DRB SUBMITTAL

No.	Description	Date

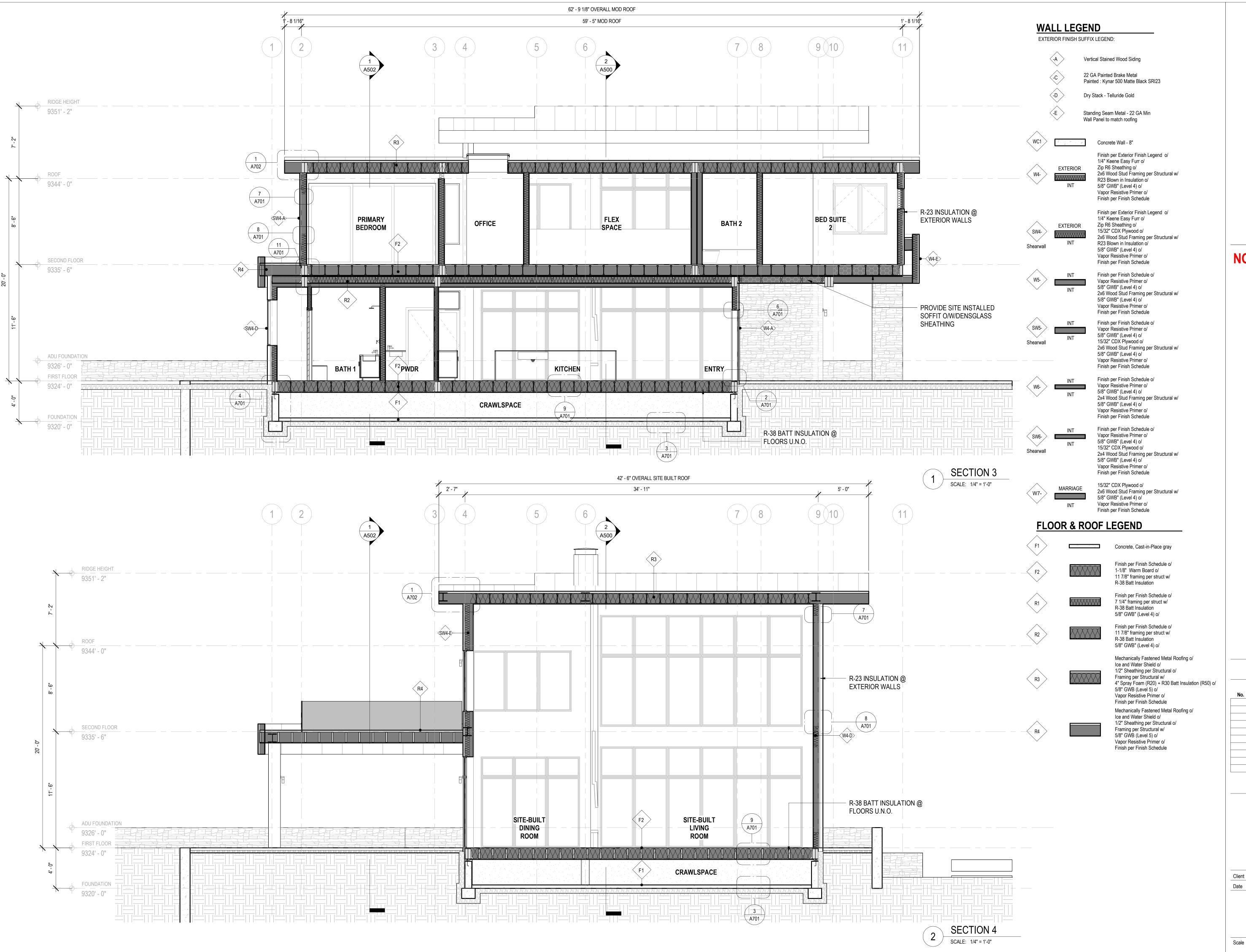
**BUILDING SECTIONS** 

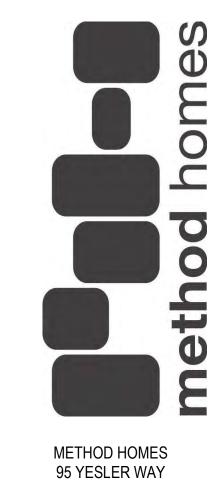
ALPER - WILLIAMS 04.17.2023

A500

Scale

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SUITE 300 SEATTLE, WA 98104 T. 206.789.5553

### **NOT FOR CONSTRUCTION**

# ALPER -WILLIAMS RESIDENCE 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL	

No.	Description	Date

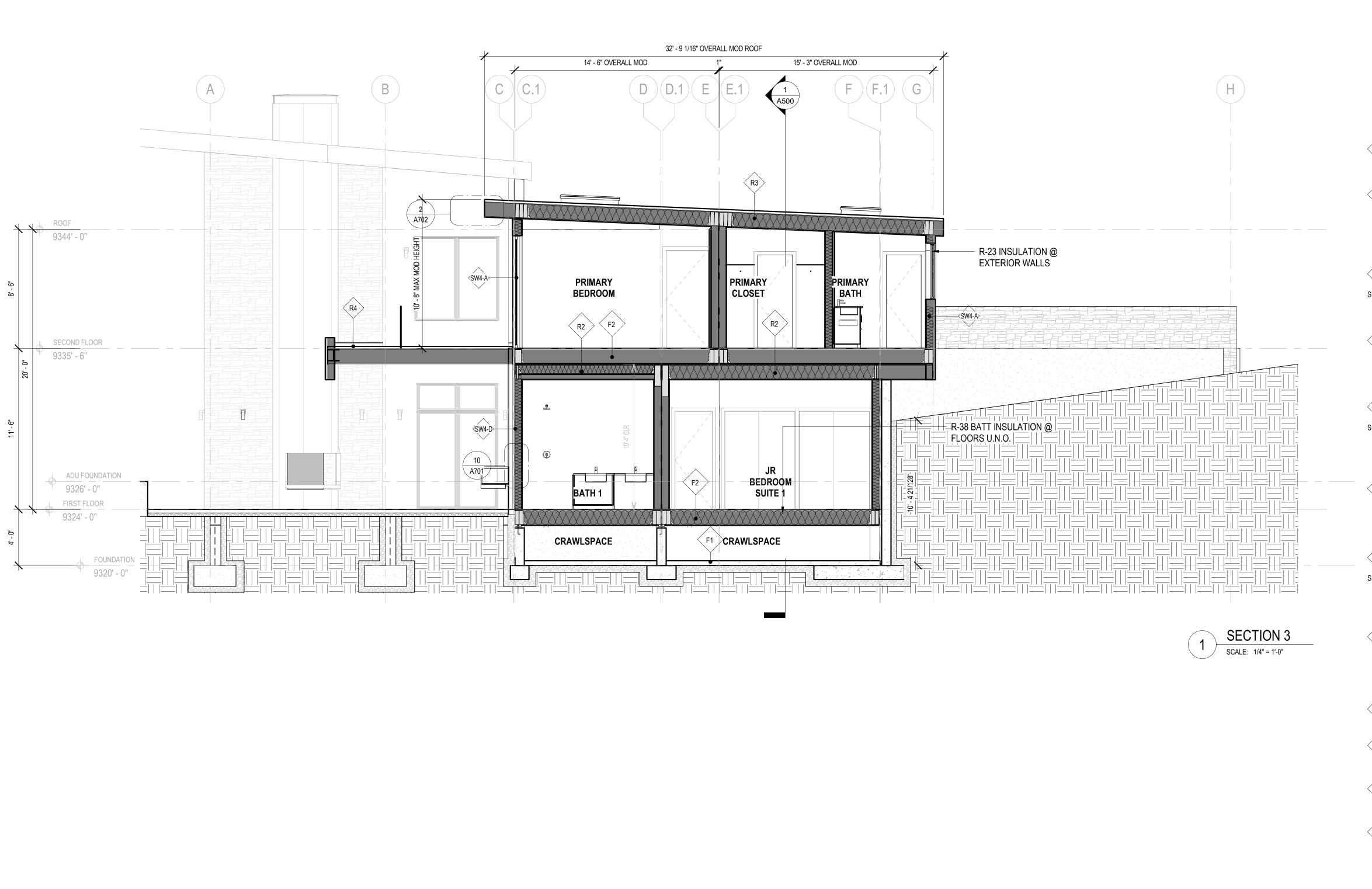
### **BUILDING SECTIONS**

ent ALPER - WILLIAMS te 04.17.2023

A501

e

1/4" = 1'-0" 4/17/2023 4:38:03 PM



**WALL LEGEND** 

EXTERIOR FINISH SUFFIX LEGEND:

Vertical Stained Wood Siding



22 GA Painted Brake Metal Painted: Kynar 500 Matte Black SRI23

Finish per Exterior Finish Legend o/

2x6 Wood Stud Framing per Structural w/

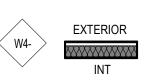


Dry Stack - Telluride Gold

Standing Seam Metal - 22 GA Min Wall Panel to match roofing



Concrete Wall - 8"

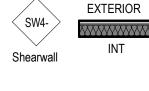


Vapor Resistive Primer o/ Finish per Finish Schedule Finish per Exterior Finish Legend o/ 1/4" Keene Easy Furr o/ Zip R6 Sheathing o/

1/4" Keene Easy Furr o/ Zip R6 Sheathing o/

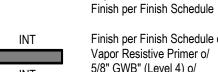
R23 Blown in Insulation o/

5/8" GWB" (Level 4) o/

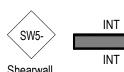


15/32" CDX Plywood o/ 2x6 Wood Stud Framing per Structural w/ R23 Blown in Insulation o/ 5/8" GWB" (Level 4) o/

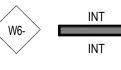
Vapor Resistive Primer o/



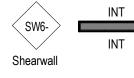
Finish per Finish Schedule o/ Vapor Resistive Primer o/ 5/8" GWB" (Level 4) o/ 2x6 Wood Stud Framing per Structural w/ 5/8" GWB" (Level 4) o/ Vapor Resistive Primer o/ Finish per Finish Schedule



Finish per Finish Schedule o/ Vapor Resistive Primer o/ 5/8" GWB" (Level 4) o/ 15/32" CDX Plywood o/ 2x6 Wood Stud Framing per Structural w/ 5/8" GWB" (Level 4) o/ Vapor Resistive Primer o/ Finish per Finish Schedule



Finish per Finish Schedule o/ Vapor Resistive Primer o/ 5/8" GWB" (Level 4) o/ 2x4 Wood Stud Framing per Structural w/ 5/8" GWB" (Level 4) o/ Vapor Resistive Primer o/ Finish per Finish Schedule



Finish per Finish Schedule o/ Vapor Resistive Primer o/ 5/8" GWB" (Level 4) o/ 15/32" CDX Plywood o/ 2x4 Wood Stud Framing per Structural w/ 5/8" GWB" (Level 4) o/ Vapor Resistive Primer o/

Finish per Finish Schedule



15/32" CDX Plywood o/ 2x6 Wood Stud Framing per Structural w/ 5/8" GWB" (Level 4) o/ Vapor Resistive Primer o/ Finish per Finish Schedule

### FLOOR & ROOF LEGEND

Concrete, Cast-in-Place gray

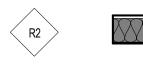


1-1/8" Warm Board o/ 11 7/8" framing per struct w/ R-38 Batt Insulation

Finish per Finish Schedule o/



Finish per Finish Schedule o/ 7 1/4" framing per struct w/ R-38 Batt Insulation 5/8" GWB" (Level 4) o/



Finish per Finish Schedule o/ 11 7/8" framing per struct w/ R-38 Batt Insulation 5/8" GWB" (Level 4) o/



Ice and Water Shield o/ 1/2" Sheathing per Structural o/ Framing per Structural w/ 4" Spray Foam (R20) + R30 Batt Insulation (R50) o/ 5/8" GWB (Level 5) o/ Vapor Resistive Primer o/ Finish per Finish Schedule Mechanically Fastened Metal Roofing o/

Mechanically Fastened Metal Roofing o/





Ice and Water Shield o/ 1/2" Sheathing per Structural o/ Framing per Structural w/ 5/8" GWB (Level 5) o/ Vapor Resistive Primer o/ Finish per Finish Schedule

### DRB SUBMITTAL

METHOD HOMES

95 YESLER WAY

SUITE 300

SEATTLE, WA 98104

T. 206.789.5553

SIDENCE

RE

-WILLIAMS

ALPER

81435

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**MOUNTAIN VILLAG** 

AJ DRIVE

142

No.	Description	Date

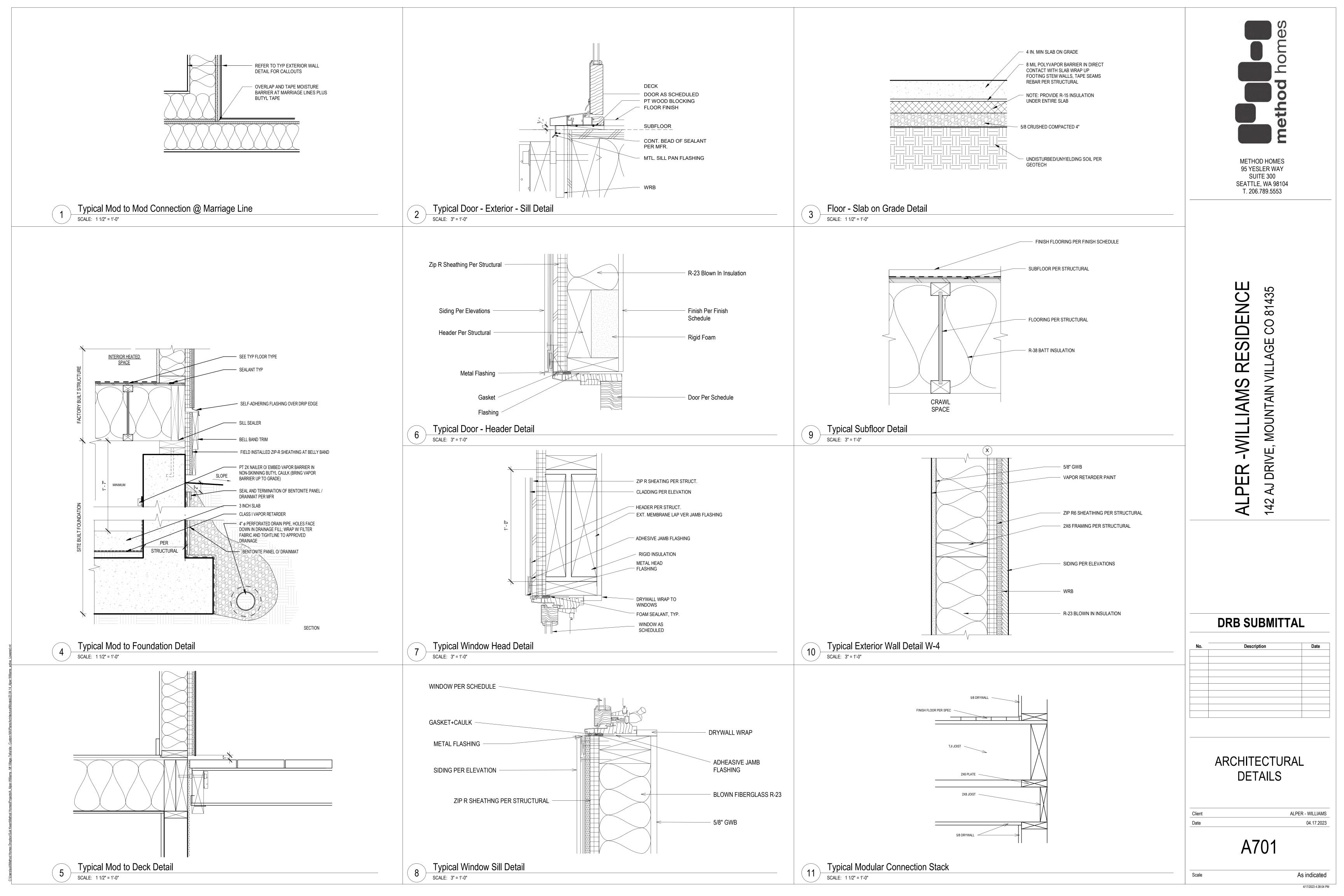
### **BUILDING SECTIONS**

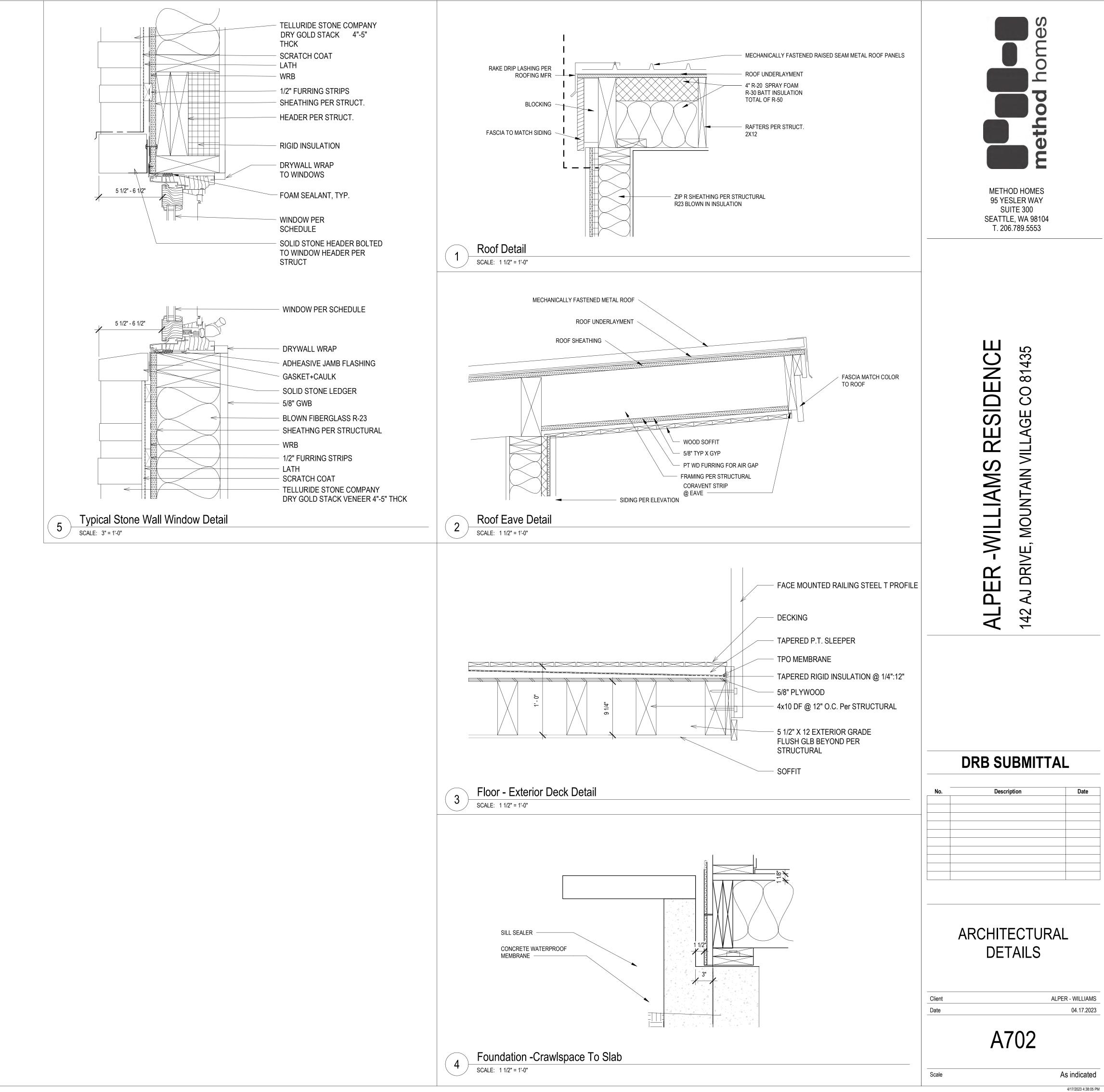
ALPER - WILLIAMS Date 04.17.2023

A502

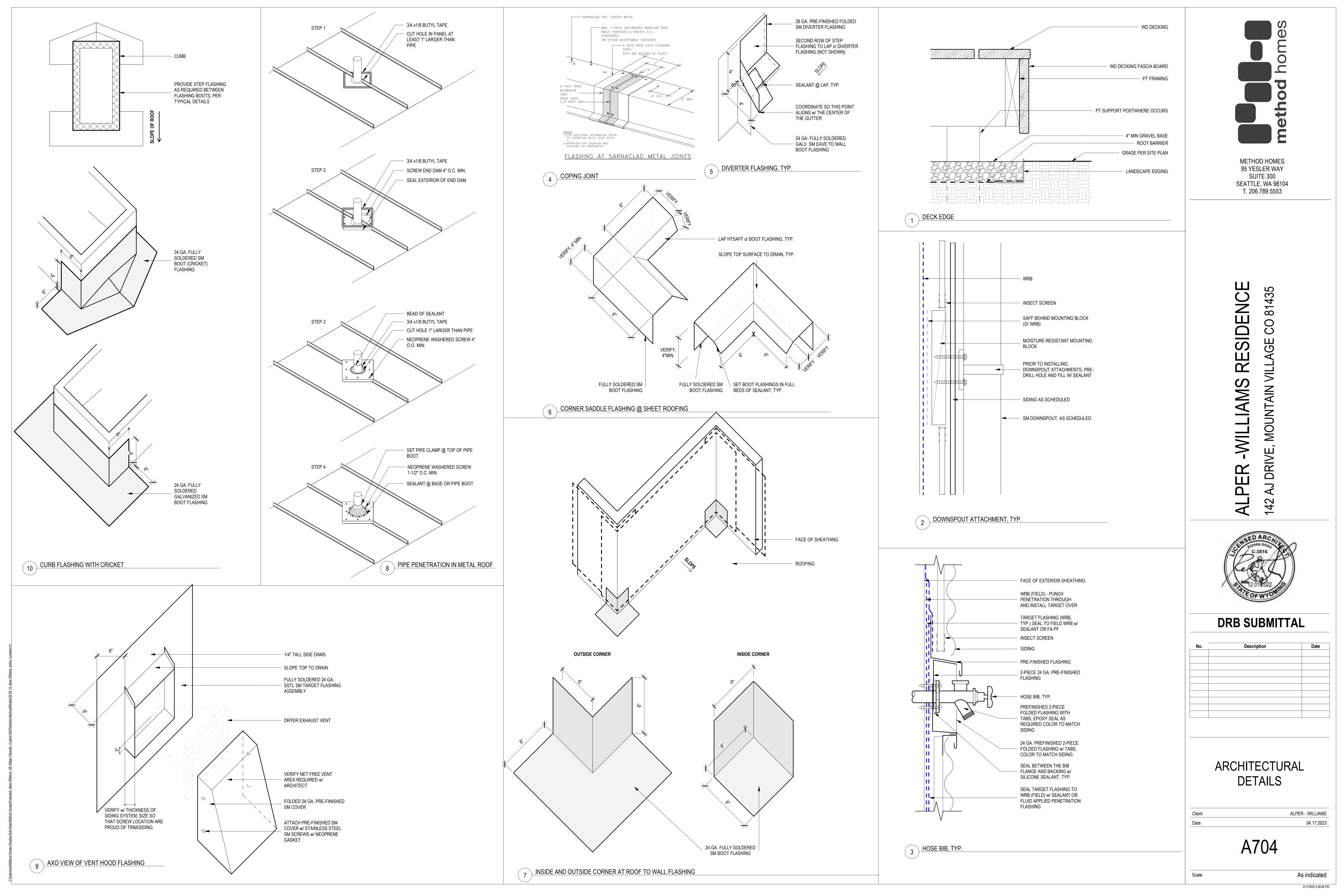
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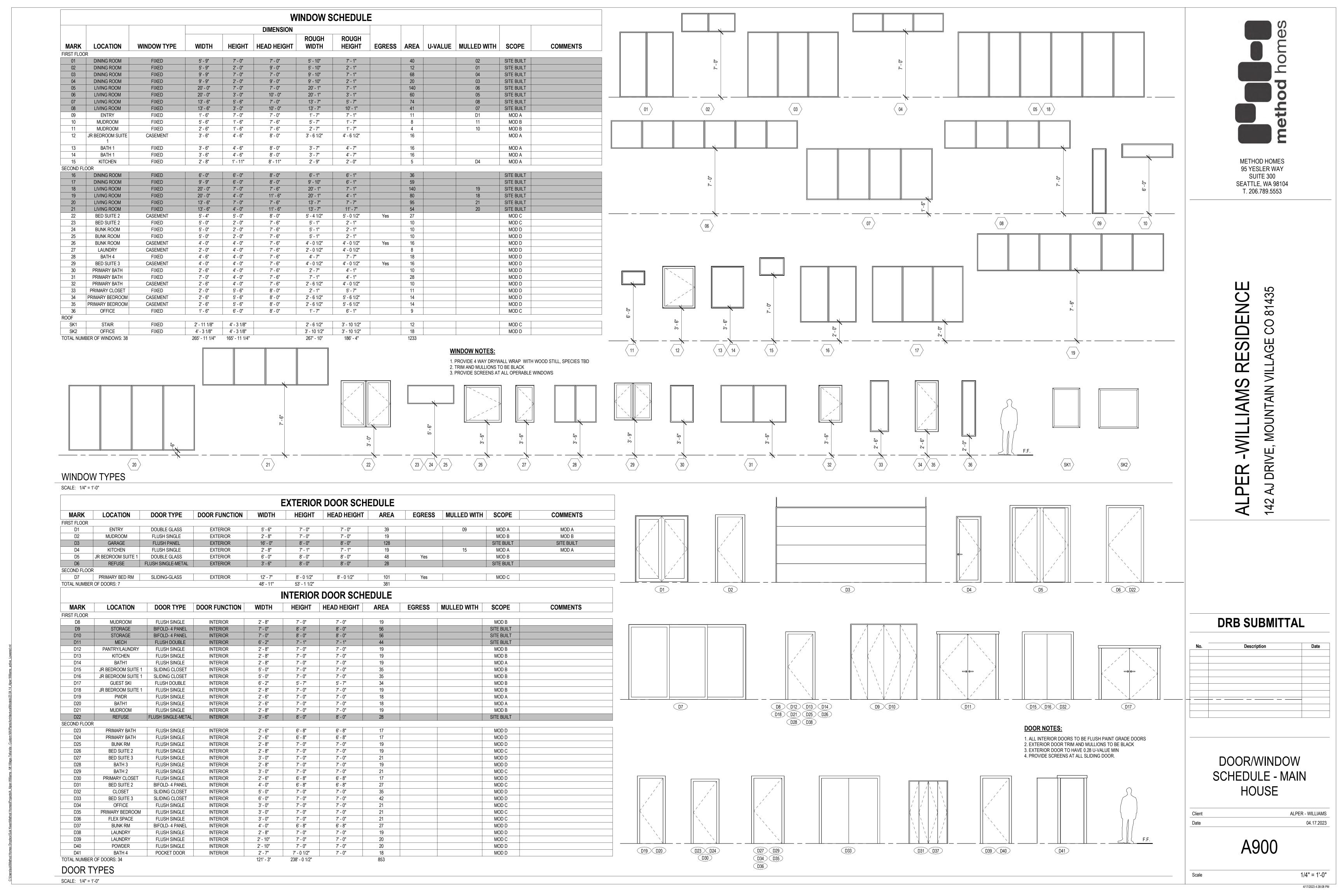
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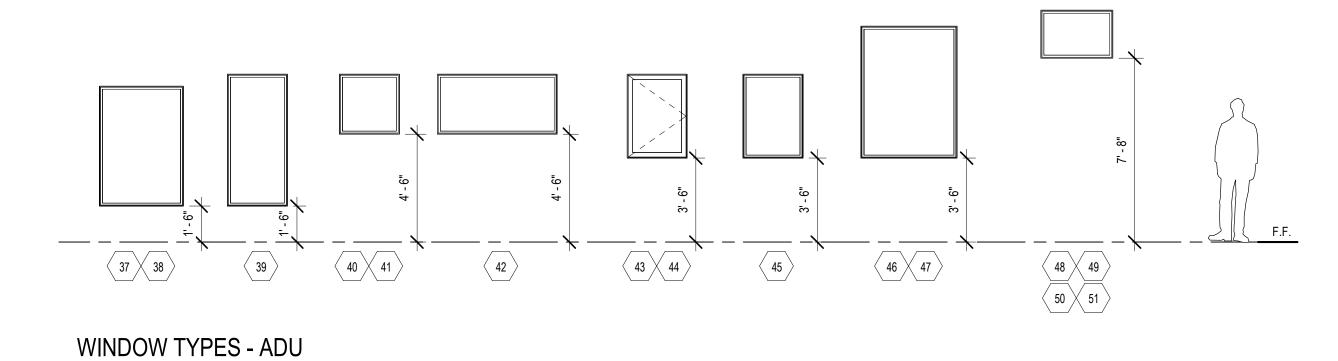
04.17.2023





WINDOW SCHEDULE_ADU													
					DIMENSION								
MARK	LOCATION	WINDOW TYPE	WIDTH	HEIGHT	HEAD HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	EGRESS	AREA	U-VALUE	MULLED WITH	SCOPE	COMMENTS
ADU FIRST F	LOOR												
37	LIVING ROOM	FIXED	3' - 0"	5' - 6"	7' - 0"	3' - 1"	5' - 7"		17			MOD F	
38	LIVING ROOM	FIXED	3' - 0"	5' - 6"	7' - 0"	3' - 1"	5' - 7"		17			MOD F	
39	BATH 3	FIXED	2' - 6"	5' - 6"	7' - 0"	2' - 7"	5' - 7"		14			MOD F	
40	BED 3	FIXED	2' - 6"	2' - 6"	7' - 0"	2' - 7"	2' - 7"		6			MOD F	
41	BED 3	FIXED	2' - 6"	2' - 6"	7' - 0"	2' - 7"	2' - 7"		6			MOD F	
42	BED 4	FIXED	5' - 0"	2' - 6"	7' - 0"	5' - 1"	2' - 7"		13			MOD E	
43	BED 4	CASEMENT	2' - 6"	3' - 6"	7' - 0"	2' - 6 1/2"	3' - 6 1/2"	Yes	9			MOD E	
44	BED 4	CASEMENT	2' - 6"	3' - 6"	7' - 0"	2' - 6 1/2"	3' - 6 1/2"	Yes	9			MOD E	
45	BATH 4	FIXED	2' - 6"	3' - 6"	7' - 0"	2' - 7"	3' - 7"		9			MOD E	
46	KITCHEN	FIXED	4' - 0"	5' - 6"	9' - 0"	4' - 1"	5' - 7"		22		47	MOD E	
47	KITCHEN	FIXED	4' - 0"	5' - 6"	9' - 0"	4' - 1"	5' - 7"		22		46	MOD E	
48	LIVING ROOM	FIXED	3' - 0"	2' - 0"	9' - 8"	3' - 1"	2' - 1"		6		49/50/51	MOD F	
49	LIVING ROOM	FIXED	3' - 0"	2' - 0"	9' - 8"	3' - 1"	2' - 1"		6		48/50/51	MOD F	
50	LIVING ROOM	FIXED	3' - 0"	2' - 0"	9' - 8"	3' - 1"	2' - 1"		6		48/49/51	MOD F	
51	LIVING ROOM	FIXED	3' - 0"	2' - 0"	9' - 8"	3' - 1"	2' - 1"		6		4//49/50	MOD F	
OTAL NUME	BER OF WINDOWS: 15		46' - 0"	53' - 6"	· ·	47' - 2"	54' - 8"	•	166		<del>'</del>	1	

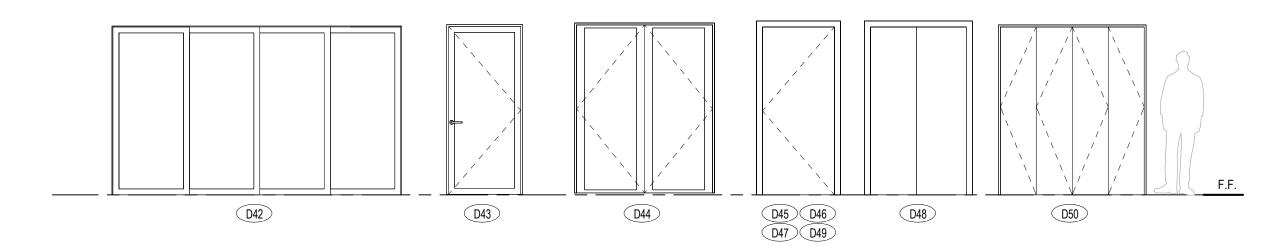
					EXICKIO	R DOOR SCH	EDOLE_	ADU			
MARK	LOCATION	DOOR TYPE	DOOR FUNCTION	WIDTH	HEIGHT	HEAD HEIGHT	AREA	EGRESS	MULLED WITH	SCOPE	COMMENTS
DU FIRST FLOOI	R										
D42	LIVING RM	SLIDING GLASS- XXXO	EXTERIOR	12' - 1"	7' - 0 1/2"	7' - 0 1/2"	85			MOD F	
D43	KITCHEN	FLUSH SINGLE-GLASS	EXTERIOR	3' - 2"	7' - 1"	7' - 1"	22			MOD E	
D44	BED 3	DOUBLE GLASS	EXTERIOR	5' - 8"	7' - 0"	7' - 0"	40	Yes		MOD F	
OTAL NUMBER (	OF DOORS: 3			20' - 11"	21' - 1 1/2"		147				
						R DOOR SCH		ADU			
MARK	LOCATION	DOOR TYPE	DOOR FUNCTION	WIDTH	HEIGHT	HEAD HEIGHT	AREA	EGRESS	MULLED WITH	SCOPE	COMMENTS
MARK DU FIRST FLOOI		DOOR TYPE	DOOR FUNCTION	WIDTH					MULLED WITH	SCOPE	COMMENTS
		DOOR TYPE  FLUSH SINGLE	DOOR FUNCTION  INTERIOR	<b>WIDTH</b> 3' - 0"					MULLED WITH	SCOPE MOD F	COMMENTS
OU FIRST FLOOI	R				HEIGHT	HEAD HEIGHT	AREA		MULLED WITH		COMMENTS
DU FIRST FLOOI D45	R BED 3	FLUSH SINGLE	INTERIOR	3' - 0"	<b>HEIGHT</b> 7' - 0"	HEAD HEIGHT  7' - 0"	AREA		MULLED WITH	MOD F	COMMENTS
DU FIRST FLOOI D45 D46	R BED 3 BATH 4	FLUSH SINGLE FLUSH SINGLE	INTERIOR INTERIOR	3' - 0"	7' - 0" 7' - 0"	7' - 0" 7' - 0"	21 21		MULLED WITH	MOD F MOD F	COMMENTS
DU FIRST FLOOI D45 D46 D47	R BED 3 BATH 4 BED 4	FLUSH SINGLE FLUSH SINGLE FLUSH SINGLE	INTERIOR INTERIOR INTERIOR	3' - 0" 3' - 0" 3' - 0"	7' - 0" 7' - 0" 7' - 0"	7' - 0" 7' - 0" 7' - 0"	21 21 21 21		MULLED WITH	MOD F MOD F MOD E	COMMENTS
DU FIRST FLOOI D45 D46 D47 D48	R BED 3 BATH 4 BED 4 BED 3	FLUSH SINGLE FLUSH SINGLE FLUSH SINGLE SLIDING CLOSET	INTERIOR INTERIOR INTERIOR INTERIOR	3' - 0" 3' - 0" 3' - 0" 4' - 0"	7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	21 21 21 21 28		MULLED WITH	MOD F MOD F MOD E MOD F	COMMENTS



### SCALE: 1/4" = 1'-0"

### **WINDOW NOTES:**

1. PROVIDE 4 WAY DRYWALL WRAP WITH WOOD STILL, SPECIES TBD 2. TRIM AND MULLIONS TO BE BLACK 3. PROVIDE SCREENS AT ALL OPERABLE WINDOWS



### DOOR TYPES - ADU

SCALE: 1/4" = 1'-0"

### **DOOR NOTES:**

- 1. ALL INTERIOR DOORS TO BE FLUSH PAINT GRADE DOORS AND TO BE 8' TALL 2. EXTERIOR DOOR TRIM AND MULLIONS TO BE BLACK
- 3. EXTERIOR DOOR TO HAVE 0.28 U-VAULE MIN 4. PROVIDE SCREENS AT ALL SLIDING DOOR.



METHOD HOMES 95 YESLER WAY SUITE 300 SEATTLE, WA 98104 T. 206.789.5553

### NOT FOR CONSTRUCTION

## ALPER -WILLIAMS RESIDENCE 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

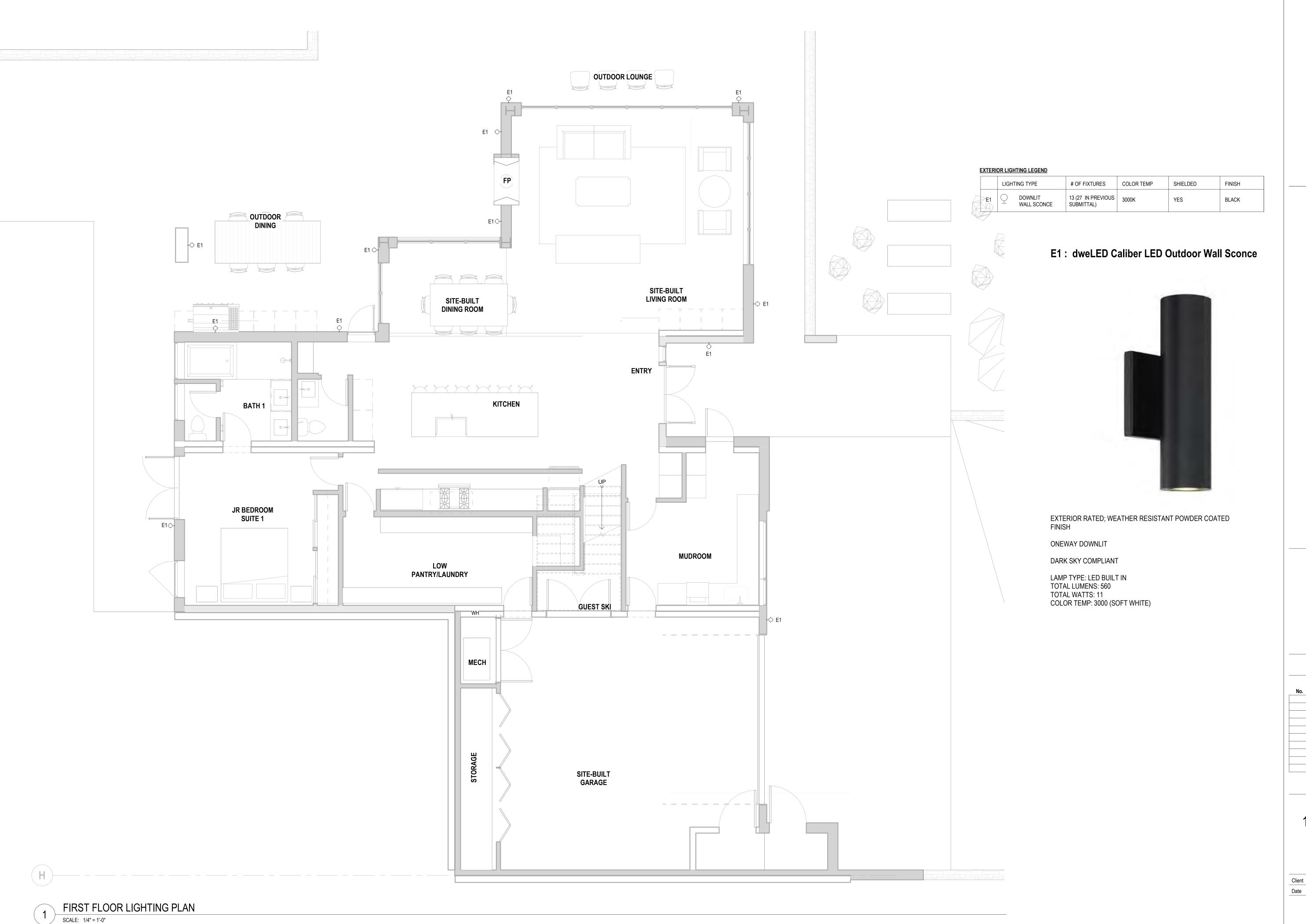
DRB SUBMITTAL							
No.	Description	Date					

DOOR/WINDOW SCHEDULES - ADU

ALPER - WILLIAMS 04.17.2023

A901

1/4" = 1'-0" 4/17/2023 4:38:09 PM





ALPER -WILLIAMS RESIDENCE 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

**DRB SUBMITTAL** 

No.	Description	Date		

1ST FLOOR EXTERIOR LIGHTING LAYOUT

Client ALPER - WILLIAMS

Date 04.17.2023

E102

3

As indicated
4/17/2023 4:38:10 PM



	LIGHTING TYPE	# OF FIXTURES	COLOR TEMP	SHIELDED	FINISH
E1	DOWNLIT WALL SCONCE	13 (27 IN PREVIOUS SUBMITTAL)	3000K	YES	BLACK

## E1: dweLED Caliber LED Outdoor Wall Sconce

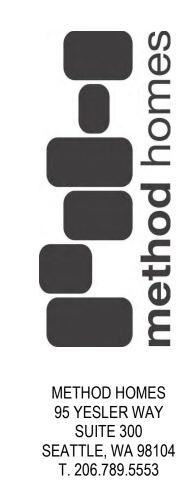


EXTERIOR RATED; WEATHER RESISTANT POWDER COATED

ONEWAY DOWNLIT

DARK SKY COMPLIANT

LAMP TYPE: LED BUILT IN TOTAL LUMENS: 560 TOTAL WATTS: 11 COLOR TEMP: 3000 (SOFT WHITE)



-WILLIAMS RESIDENCE ALPER -WILLIAMS RESIDENCE 142 AJ DRIVE, MOUNTAIN VILLAGE CO 81435

DRB SUBMITTAL

No.	Description	Date	

2ND FLOOR EXTERIOR LIGHTING PLAN

ALPER - WILLIAMS 04.17.2023

E103

As indicated

4/17/2023 4:38:11 PM

1 SECOND FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"



# Agenda Item No. 6 PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 369-8250

TO: Mountain Village Design Review Board

**FROM:** Amy Ward, Planner

**FOR:** Design Review Board Meeting, May 4, 2023

**DATE:** May 4, 2023

**RE:** A Review and Recommendation by the Design Review Board regarding a Density

Transfer and Rezone application for Lot 648AR, Prospect Plaza Building (Building 2) at 313 Adams Ranch Road per Community Development Code Sections 17.4.9

& 17.4.10

#### **PROJECT GEOGRAPHY**

Legal Description: UNIT B1 BLDG 2
PROSPECT PLAZA CONDO LOCATED
ON LOT 648AR TELLURIDE MOUNTAIN
VILLAGE FIL 22 ACC TO THE 1ST
SUPPLEMENT REC BK 1 PG 1973 AND
AMEND DECS BK 555 P 922 ON 1 15 96
AND REC NOV 8 2002 REPLAT PLAT BK
1 PG 3073 AND FIRST AMEND CONDO
MAP PLAT BK 1 PG 3075 AND THIRD
AMEND DECS AT 352918 AND REC JAN
16 2003 RES AT 354414 AND 354415 AND
CORRECTIVE AMEND TO SECOND
SUPP DECS REC AUG 12 2003 AT
359329

Address: 313 Adams Ranch Road, Unit

2 - 3D

**Applicant/ Owner:** Debra Willits

**Zoning:** Multi-Family

Lot Size: 1.01 acres

Existing Use: Multi-Family, Employee

Condominium

Proposed Use: Multi-Family, Condominium

• East: Passive Open Space

West: Multi-Family

#### **ATTACHMENTS**

Exhibit A: Application

• Exhibit B: Referral Comments



#### **CASE SUMMARY:**

Debra Willits, the owner of 3131 Adams Ranch Road, Unit 2 – 3D, is proposing a Density Transfer and Rezone associated with their property. The condominium is currently zoned as an employee condominium and was originally designated as Deed Restricted. The condominium was purchased out of foreclosure in 2012, which resulted in the Deed Restriction designation being redacted from the property. The purpose of this rezone and density transfer is to bring the condominium into compliance with the requirements of the CDC by changing the zoning from employee condominium to condominium. The owner initiated this application at the request of staff, so that the zoning on the property represents this loss of deed restriction. The HOA has provided an approval letter in support of the zoning change from an employee condominium to condominium. The rezone results in a density transfer of one unit of employee condo to one unit of condo. The person equivalent for the condominium remains the same. The DRB and Town Council will need to determine that the application for density transfer and rezone is appropriate.

The following referrals were received for this application:

- Public Works has no issues with this application.
- Approval from TFPD.

#### **CRITERIA, ANALYSIS, AND FINDINGS**

The criteria for rezone that changes the zoning designation and/or density allocation assigned to a lot are listed below. The following criteria must be met for the review authority to approve a rezoning application:

#### 17.4.9: Rezoning Process

(\*\*\*)

- 3. Criteria for Decision: (\*\*\*)
- a. The proposed rezoning is in general conformance with the goals, policies, and provisions of the Comprehensive Plan;

  Staff Finding: The applicant requests to rezone the condomium from a deed restricted employee condominium to a regular condominium. The foreclosure of this property and resulting purchase causes the deed restriction of this property to no longer apply to this property. The rezone will bring the property into compliance with local zoning and therefore conform to the goals of the Comprehensive Plan and meet the requirements of the CDC.
- b. The proposed rezoning is consistent with the Zoning and Land Use Regulations; Staff Finding: The proposed rezone and density transfer meet the requirements of the CDC. Because the deed restriction was removed as a result of the foreclosure of the property in 2012, rezoning the property from "Multi-Family, Deed Restricted" to "Multifamily" will accurately depict the unencumbered zoning of the property.
- c. The proposed rezoning meets the Comprehensive Plan project standards;

The Comprehensive Plan Project Standards are listed as follows:

 Visual impacts shall be minimized and mitigated to the extent practical, while also providing the targeted density identified in each subarea plan development table. It is understood that visual impacts will occur with development.

- **2.** Appropriate scale and mass that fits the site(s) under review shall be provided.
- 3. Environmental and geotechnical impacts shall be avoided, minimized and mitigated, to the extent practical, consistent with the Comprehensive Plan, while also providing the target density identified in each subarea plan development table.
- **4.** Site-specific issues such as, but not limited to the location of trash facilities, grease trap cleanouts, restaurant vents and access points shall be addressed to the satisfaction of the Town.
- **5.** The skier experience shall not be adversely affected, and any ski run width reductions or grade changes shall be within industry standards.

Staff Finding: The proposed rezone and density transfer does not include any additional development, and therefore impacts to visual/scenic, environmental, geotechnical and ski resources are not anticipated. It is assumed that the existing development was evaluated through the Community Development Code, which contains requirements related to visual impact, scale and massing, environmental and geotechnical impacts, waste, and ski experience.

- d. The proposed rezoning is consistent with public health, safety and welfare, as well as efficiency and economy in the use of land and its resources; Staff Finding: This neighborhood is a multi-family zone and would continue to be maintained as the same use. The rezone will not result in any changes to public health, safety and welfare. The condominium has not functioned as a deed restricted unit since its foreclosure in 2012 and therefore the rezone would not result in loss of deed-restricted units. Impacts to the economy are therefore not anticipated from this rezone.
- e. The proposed rezoning is justified because there is an error in the current zoning, [and/or] there have been changes in conditions in the vicinity [and/] or there are specific policies in the Comprehensive Plan that contemplate the rezoning; Staff Finding: The proposed rezoning is the resulf of an error in current zoning. With the purchase of the condominium after a foreclosure, the deed restriction should have been removed. This rezone is to update the current zoning to remove this deed restriction and update the property to its current requirements.
- f. Adequate public facilities and services are available to serve the intended land uses;

  Staff Finding: There are no proposed changes to the existing condominium and the public facilities and services that currently serve the existing development will not be impacted.
- g. The proposed rezoning shall not create vehicular or pedestrian circulation hazards or cause parking, trash or service delivery congestion; and Staff Finding: The rezoning will not create vehicular or pedestrian circulation hazards or impact parking for the property.
- h. The proposed rezoning meets all applicable Town regulations and standards.

#### 17.4.10: Density Transfer Process

Table 1: Lot 648AR Zoning Designations and Density Table Existing and Proposed

	Existing Zoning Designations Built	Proposed Zoning Designations Built	Person Equivalents	Total Person Equivalents
Lot	1	1	3	3
648AR				

Staff Note: The proposal will result in the same number of persons equivalent for Lot 648AR, but the difference will be that the density evquivalent changes from 1 unit of employee deed restricted condominium to 1 unit of condominium.

(\*\*\*)

D. Criteria for Decision

(\*\*\*)

- 2. Class 4 Applications. The following criteria shall be met for the Review Authority to approve a density transfer.
- a. The criteria for decision for rezoning are met since such density transfer must be processed concurrently with a rezoning development application (except for MPUD development applications); Staff Finding: The applicant has met the criteria for the decision for rezoning as provided above.
- b. The density transfer meets the density transfer and density bank policies; and. Staff Finding: The application meets all applicable density transfer and density bank policies. The applicant is requesting the change of the density equivalent from one unit of employee housing deed-restricted condominium to one unit of condominium.
- c. The proposed density transfer meets all applicable Town regulations and standards. Staff Finding: The application meets all applicable regulations and standards.

#### **DESIGN REVIEW BOARD CRITERIA FOR REVIEW:**

The Design Review Board's purview relates specifically to how rezone and density transfer applications may have design-related implications. The DRB must determine if the proposed rezone meets the standards of the CDC. The DRB is a recommending body to Town Council.

**RECOMMENDATION:** If DRB determines that the application for a Rezone and Density Transfer of Lot 648AR, Unit 2-3D meets the criteria for decision listed within this staff memo, then staff has provided the following suggested motion:

I move to recommend to Town Council an Ordinance regarding the Rezone and Density Transfer application pursuant to CDC Sections 17.4.9 & 17.4.10 of the Community Development Code to rezone Lot 648AR, Unit 2-3D form employee condominium to condominium based on the evidence provided within the Staff Report of record dated May 4, 2023, and with the following conditions:

- 1. The owner of record shall be responsible to to pay the full tap fee of this unit at a free-market rate, instead of the half-rate that workforce housing units are offered.
- 2. The Community Development Director shall be directed to change the Official Lot List and Density List to reflect the change in zoning.

This motion is based on the evidence and testimony provided at a public hearing held on May 4, 2023, with notice of such hearing as required by the Community Development Code.



# REZONING/DENSITY TRANSFER APPLICATION

Planning & Development Services 455 Mountain Village Blvd. Mountain Village, CO 81435 970-728-1392 970-728-4342 Fax cd@mtnvillage.org

Revised 1.3.2020

REZONII	NG/DENSITY TRANSFER APP	LICATION		
	APPLICANT INFORMATION			
Name: Debra Willits	E-mail Add	E-mail Address: Leloski 79 Cgmail. Com		
Mailing Address:	Phone: /			
City: Ridgway	State:	zip Code: 81432		
Mountain Village Business License Numbe	r:			
	PROPERTY INFORMATION			
Physical Address: 313 Adams Ranch Rd, Unit	- 2 - 3D Acreage:			
Zone District: Zoning Design		Density Assigned to the Lot or Site:		
Legal Description:				
Existing Land Uses:				
Proposed Land Uses:				
	OWNER INFORMATION			
Property Owner: Debra Willits	E-mail Add	lress: OSKi 790gmail. Com		
Mailing Address:	Phone: /			
city: Ridgway	State:	Zip Code: 81432		
This condo, which was zon of foreclosure in 2012. have gone away with pure zoning into compliance.	ine been perint	icted, was purchased out		





# REZONING/DENSITY TRANSFER APPLICATION

Planning & Development Services 455 Mountain Village Blvd. Mountain Village, CO 81435 970-728-1392 970-728-4342 Fax cd@mtnvillage.org

#### **HOA APPROVAL LETTER**

I, (print name) Sherri K Reeder	, the HOA president of property located at
313 Adams Ranch Road 2-3D	
written approval of the plans dated	Condo Man Dated 1/15/1996
Town of Mountain Village Planning & Development	Services Department for the proposed improvements to be
completed at the address noted above. I understand	d that the proposed improvements include (indicate below):
To bring zoning into conformance. Zoning t	to be change from employee condominium to condominium.
Channi K Dandan	4/00/0000
Sherri K Reeder	4/20/2022
(Signature)	(Date)
President, Prospect Plaza Owners Assn.	
(Title)	



#### **DEVELOPMENT REFERRAL FORM**

## Planning & Development Services Planning Division

455 Mountain Village Blvd. Ste. A Mountain Village, CO 81435 (970) 728-1392

Referral Agency Comments Lot 648AR, 313 Adams Ranch Rd, Unit 2-3D:

No issues from Public Works. Finn

Claire, Approval from TFPD. Kind regards,



## PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 728-1392

Agenda Item #7

TO: Mountain Village Design Review Board

**FROM:** Amy Ward, Community Development Director

**FOR:** May 4, 2023

**DATE:** April 26, 2023

**RE:** Review and Recommendation to Town Council regarding a major subdivision

application to replat open space tracts OS-3BR2 and OS-3XRR consistent with

the CDC Section 17.4.13

#### **Executive Summary**

The applicant requests a Major Subdivision of OS-3BR2 and OS-3XRR into (4) four open space parcels. The purpose of the re-configuration is to facilitate the future conveyance of Town owned property to the Lot 161CR property which was a conditional approval that required this subdivision application. This conveyance was previously approved per Resolution 2022-0908-14 as part of the SPUD and associated Major Subdivision for lots 161C-R, 67, 69R-2 and 71R, tract OS-3Y, and portions of OS-3BR-2 and OS-3XRR to be replatted as lot 161C-RR, also known as the Four Seasons Hotel and Development. A portion of Open Space Parcel OS-3BR2 is also contemplated for re-plat pursuant to a separate development application (related to Lot 109R), so by creating these separate parcels for future conveyance helps to avoid any complexities related to unknown timelines of two separate development applications affecting the same parcel.

#### **PROJECT GEOGRAPHY**

Legal Description: VACANT TRACTS OS-3BR-2 AND OS-3XRR MOUNTAIN VILLAGE

BOULEVARD, MOUNTAIN VILLAGE, CO 81435

Address: TBD Mountain Village Boulevard, Mountain Village, CO 81435

Applicant/Agent: Merrimac Fort Partners, LLC on behalf of Town of Mountain Village

TOWN OF MOUNTAIN VILLAGE, A HOME RULE MUNICIPALITY AND

POLITICAL SUBDIVISION OF THE STATE OF COLORADO **Zoning:** Village Center, Active Open Space

**Existing Use:** Vacant

**Proposed Use:** Village Center, Active Open Space – Future Re-plat into Lot 161-CRR for

a Multi-family mixed used development Zoned PUD zone district

**Lot Acreage** 1.968 acres OS-3BR2 and 2.935 acres OS-3XRR-1

**Adjacent Land Uses:** 

North: Village Center, Multi-family
 South: Ski Resort Active Open Space
 East: Village Center, Multi-Family

West: Village Center, Muti-Family

#### **ATTACHMENTS**

- A. Applicant's Narrative
- B. Existing Conditions/Improvements Survey dated 3.08.23
- C. Proposed Replat

There were no public comments or referral comments received for this application

#### **ASSOCIATED FORMATIVE RECORD DOCUMENTS**

- Resolution No. 2022-0908-14
- Ordinance No. 2022-09

Figure 1. Vicinity Map



#### **BACKGROUND**

Merrimac Fort Partners, LLC is the developer of property described as Lot 161C-R, Lot 67, Lot 69R-2, Lot 71R, and OS-3Y. These properties, in aggregate, have gone through Town processes for approval of a Site Specific Planned Unit Development (SPUD) and Major Subdivision consisting of a Mixed-Use Hotel/Resort Development Including Plaza, Commercial and Residential Uses. The development is intended to be operated by The Four Seasons Resorts. The project received its final approvals by Town Council on September 8, 2022.

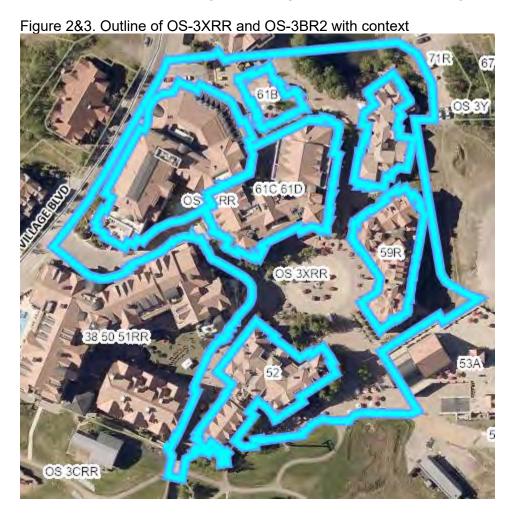
Condition 3.2 of the Ordinance approving the SPUD states:

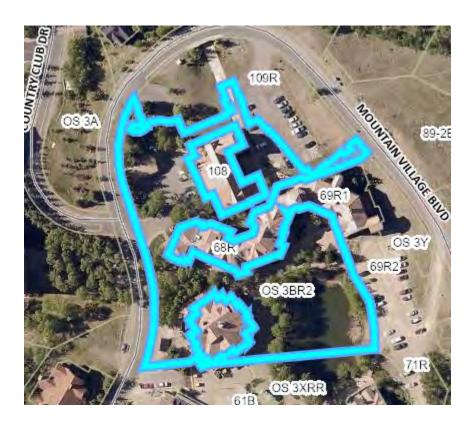
3.2. The Town Council must separately approve a Major Subdivision application to create the Adjustment Parcels ("Adjustment Parcels Subdivision Application"). The Developer shall submit the Adjustment Parcels Subdivision Application to the Town no later than six (6) months after the Effective Date of this Ordinance in accordance with the Conveyance MOU (defined below).

The Town received a subdivision application for the adjustment parcels from the developer on February 28, 2023, this is the current application being reviewed per this memo.

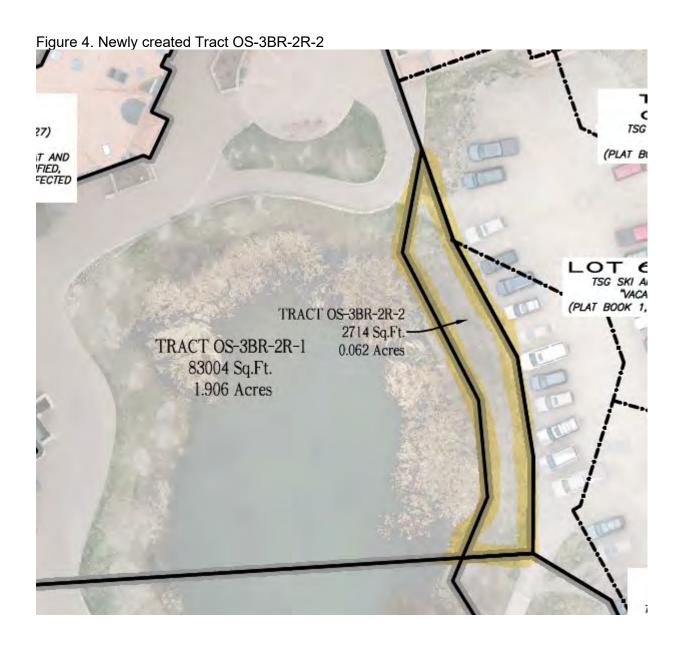
#### **OVERVIEW OF THE MAJOR SUBDIVISON APPLICATION**

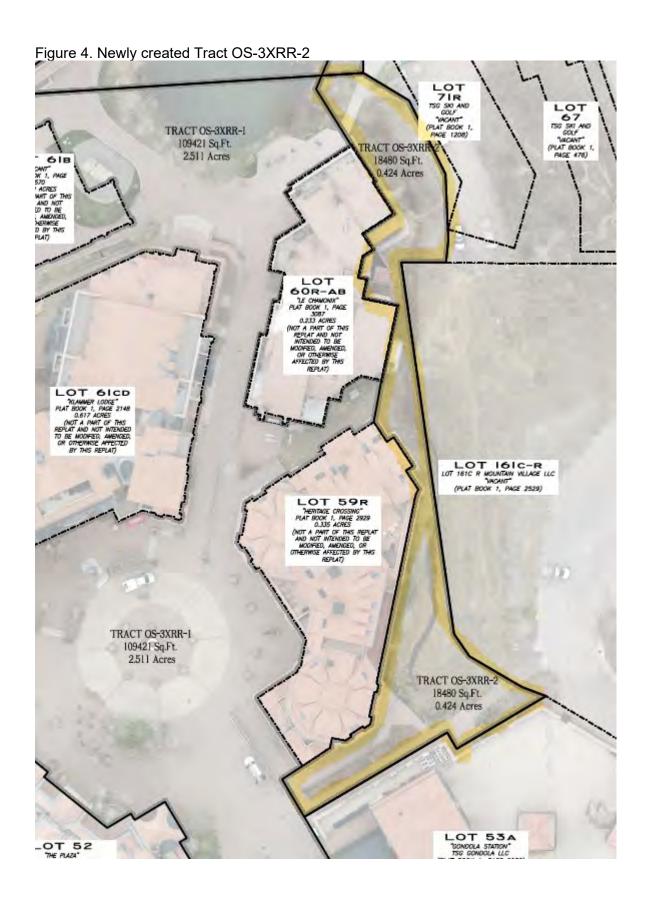
There are two parcels being sub-divided with this proposal, OS3BR-2 and OS-3XRR. Both are owned by the Town and are Village Center Active Open Space. They primarily serve as open space and plazas surrounding the building footprints within the Village Center.





Tract OS-3BR-2 contains 1.968 acres and Tract OS-3XRR contains 2.935 acres. Once complete, this plat will create 2 new additional tracts. Tract OS-3BR-2R-2 will be carved out of Tract OS-3BR2 and will be 0.062 acres. It is generally located west of the Village Pond and below the existing TSG parking lot. The second, Tract OS-3XRR-2, will be carved out of Tract OS-3XRR and will be 0.424 acres. It is located easterly of the Heritage Crossing/Le Chamonix Condominiums and below Lot 161CR. The remaining portion of Tract OS-3BR2 and Tract OS-3XRR will be redesignated as Tract OS-3BR2-1 and Tract OS-3XRR-1. Tract OS-3BR2-1 will contain 1.906 acres and Tract OS-3XRR-1 will contain 2.511 acres.





Existing Parcels, Proposed Parcels, Zoning and Acreage

Existing Parcel	Proposed Parcel	Current Zoning	Proposed Zoning	Proposed Acreage
Tract OS- 3BR-2 (1.968 acres)	Tract OS- 3BR2-1	Village Center Active Open Space	Village Center Active Open Space	1.906 Acres
	Tract OS- 3BR-2R-2	Village Center Active Open Space	Village Center Active Open Space*	0.062 Acres
Tract OS- 3XRR (2.935 acres)	Tract OS- 3XRR-1	Village Center Active Open Space	Village Center Active Open Space	2.511 Acres
	Tract OS- 3XRR-2	Village Center Active Open Space	Village Center Active Open Space*	.424 Acres

<sup>\*</sup>future re-plat to PUD zone district with the Development of Lot 161CRR final plat

#### 17.4.13 Subdivision Regulations:

**Criteria for Decisions Major Subdivisions.** The following criteria shall be met for the review authority to approve a major subdivision:

- 1. The proposed subdivision is in general conformance with the goals, policies and provisions of the Comprehensive Plan;
- 2. The proposed subdivision is consistent with the applicable Zoning and Land Use Regulations and any PUD development agreement regulating development of the property;
- 3. The proposed density is assigned to the lot by the official land use and density allocation, or the applicant is processing a concurrent rezoning and density transfer;
- 4. The proposed subdivision is consistent with the applicable Subdivision Regulations;
- 5. Adequate public facilities and services are available to serve the intended land uses;
- 6. The applicant has provided evidence to show that all areas of the proposed subdivision that may involve soil or geological conditions that may present hazards or that may require special precautions have been identified, and that the proposed uses are compatible with such conditions:
- 7. Subdivision access is in compliance with Town standards and codes unless specific variances have been granted in accordance with the variance provisions of this CDC; and
- 8. The proposed subdivision meets all applicable Town regulations and standards.

Staff: This subdivision is expressly for creating the adjustment parcels necessary to execute the previously approved Major Subdivision for lots 161C-R, 67, 69R-2 and 71R, tract OS-3Y, and portions of OS-3BR-2 and OS-3XRR to be re-platted as lot 161C-RR. Resolution 2022-0908-14 found that all of the criteria above had been met, therefore the same criteria would be met with this application.

#### F. Subdivision Design Standards and General Standards

- 1. Lot Standards (a-f)
- 2. Environmental Standards (a-c)
- 3. Drainage

- G. Fire Protection (1-4)
- H. Street Improvements (1-9)
- I. Water, Sewage Disposal & Utilities (1-5)
- J. Required Dedications and Easements (1-9)
- **K. Maintenance of Common Areas**
- L. Public Improvements Policy
- M. Subdivision, Road and Driveway Naming Requirements (1-6)

Staff: This subdivision is expressly for creating the adjustment parcels necessary to execute the previously approved Major Subdivision for lots 161C-R, 67, 69R-2 and 71R, tract OS-3Y, and portions of OS-3BR-2 and OS-3XRR to be re-platted as lot 161C-RR. Ordinance 2022-2022-09 approved the SPUD to be developed on Lot 161C-RR, through that SPUD approval the criteria F-M will be met with the proposed development.

#### N. Plat Standards (1-6)

Final subdivision plat contains all required CDC subdivision elements, monument standards, plat notes and certifications, provisions of digital plat data and provision of digital copy final recorded legal instruments and has been developed by a Colorado licensed surveyor.

Staff finds this criteria met

#### 17.5.16 Subdivision Regulations:

#### A. Ridgeline Lots (2)

Staff: This provision is not applicable to this application as the Lots are not pursuant to the Ridgeline Regulations

#### **STAFF ANALYSIS**

Staff finds this Major Subdivision Application to be meeting the intent of Condition 3.2 of Ordinance 2022-09. It creates the adjustment parcels necessary for the future conveyance of the parcels to Merrimac Fort Partners, LLC for the inclusion into the future Lot 161C-RR. If for any reason that development never happens, and these parcels are not conveyed they would retain their current zoning and allowable uses pursuant to existing zoning of Village Center Active Open Space.

#### **RECOMMENDATION**

This application is before the DRB for a Review and Recommendation to Town Council.

Staff recommends that DRB recommend approval of a major subdivision to allow re-platting the aforementioned properties into newly created Tract OS-3BR2-1, Tract OS-3BR-2R-2, Tract OS-3XRR-1, and Tract OS-3XRR-2 as shown in its proposed configuration on the Replat.

#### RECOMMENDED MOTION

I move to recommend approval of a major subdivision application to replat open space tracts OS-3BR2 and OS-3XRR into Tract OS-3BR2-1, Tract OS-3BR-2R-2, Tract OS-3XRR-1, and Tract OS-3XRR-2 consistent with the CDC Section 17.4.13 and consistent with the findings, and conditions:

#### Findings:

- 1. The proposed major subdivision is in general conformance with the future land use map and Comprehensive Plan.
- 2. The proposed major subdivision is consistent with the criteria for review
- 3. The proposed major subdivision is consistent with the subdivision purpose and intent at 17.4.13.A.

#### And the following conditions:

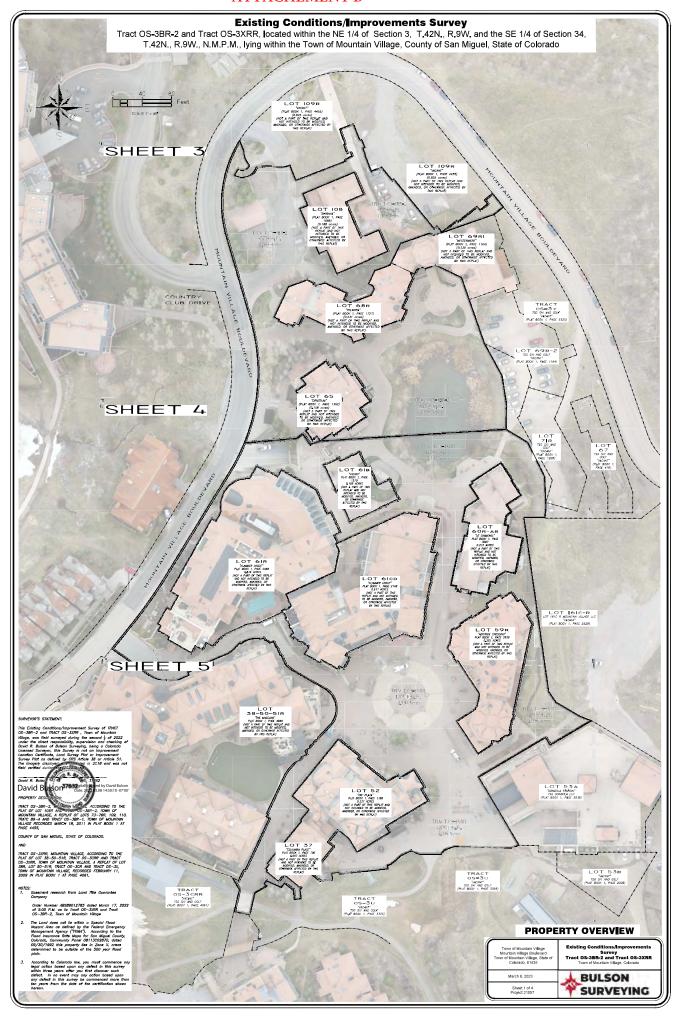
- 1. Town Staff will review and must approve the final proposed Property Replat to verify consistency with CDC Section 17.4.13.N Plat Standards, including subsection 3 Plat Notes and Certifications, and provide redline comments to the Developer prior to execution of the final mylar.
- 2. Town Staff has the authority to provide ministerial and conforming comments on the mylar prior to recordation of the Property Replat.
- 3. Permanent monuments on the external boundary of the subdivision shall be set within thirty (30) days of the recording of the Property Replat. Block and lot monuments shall be set pursuant to C.R.S. § 38-51-101. All monuments shall be located and described. Information adequate to locate all monuments shall be noted on the Property Replat.
- 4. All recording fees related to the recording of the Property Replat in the records of the San Miguel County Clerk and Recorder shall be paid by the Developer.
- 5. A separate subdivision application is anticipated for Tract OS-3BR2 to create adjustment parcels in connection with the separate PUD application for Lot 109R. It is not clear which plat will be completed and recorded first or whether both will be approved. In the event that the separate plat adjusting the boundaries between Tract OS-3BR2 and Lot 109R is approved and recorded first, the plat approved here shall be modified to reflect the updated parcel boundaries and as necessary to reconcile the two subdivision applications without the need for further review by the DRB or Town Council.

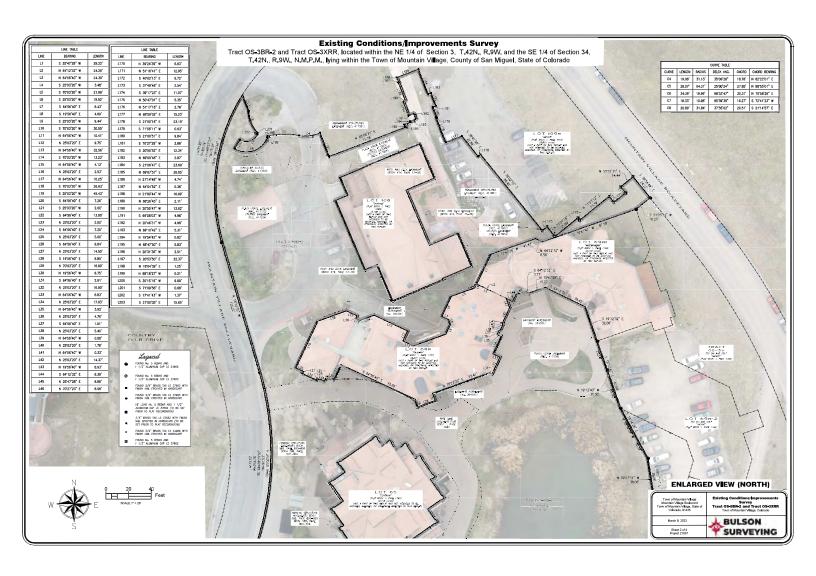
This motion is based on the evidence and testimony provided at a public hearing held on May 4, 2023, with notice of such hearing as required by the Community Development Code.

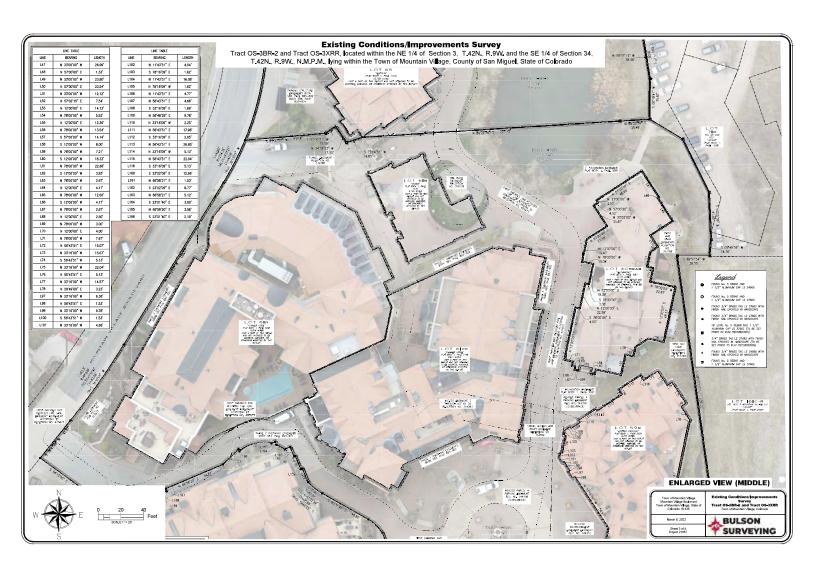
#### ATTACHMENT A

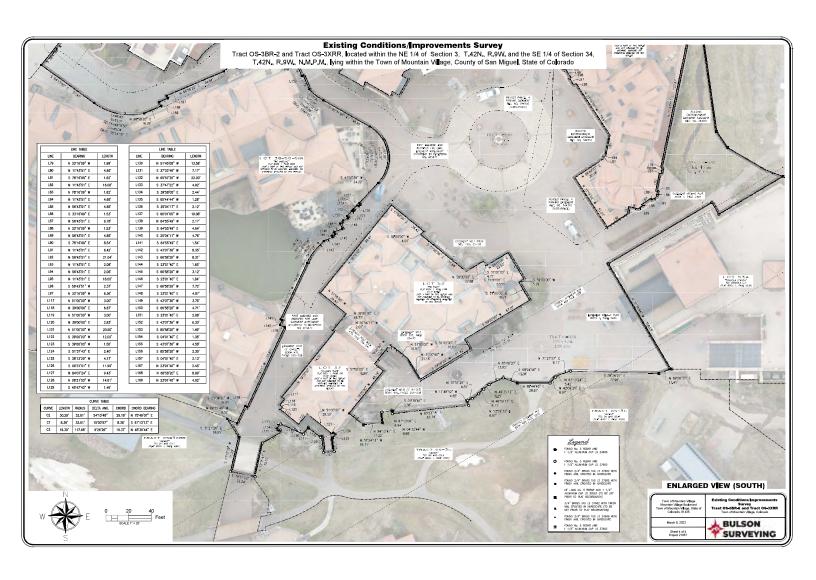
This replat includes two Town owned Open Space Parcels (Tract OS-3BR2 and Tract OS-3XRR) being located north of Heritage Plaza and otherwise surrounded by Mountain Village Boulevard. The purpose of this replat is to create 4 legal Open Space Tracts out of the two existing Tracts. This platting will facilitate the future conveyance of Town owned property to the Lot 161CR property which was previously approved through the Specific Planned Unit Development process for Lot 161CR, Lot 67, Lot 69R-2, Lot 71R, OS-3Y and Portions of OS- 3BR2 and OS-3XRR for a Mixed-Use Hotel/Residence. This replat will not change the underlying zoning, existing easements or total amount of Open Space.

Existing Tract OS-3BR-2 and Tract OS-3XRR are currently zoned as Full Use Ski Resort Active Open Space. Tract OS-3BR-2 contains 1.968 acres and Tract OS-3XRR contains 2.935 acres. Once complete, this plat will create 2 new, additional tracts. Tract OS-3BR-2R-2 will be carved out of Tract OS-3BR2 and will be 0.062 acres. It is generally located west of the Village Pond and below the existing TSG parking lot. The second, Tract OS-3XRR-2, will carved out of Tract OS-3XRR and will be 0.424 acres. It is located easterly of the Heritage Crossing/Le Chamonix Condominiums and below Lot 161CR. The remaining portion of Tract OS-3BR2 and Tract OS-3XRR will be redesignated as Tract OS-3BR2-1 and Tract OS-3XRR-1. Tract OS-3BR2-1 will contain 1.906 acres and Tract OS-3XRR-1 will contain 2.511 acres.











### MAJOR SUBDIVISION APPLICATION

Planning & Development Services
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435
970-728-1392
970-728-4342 Fax
cd@mtnvillage.org

	SUBDIVIS	SION A	PPLICATION		
	APPLICA	NT INF	ORMATION		
Name:			E-mail Address:		
Mailing Address:			Phone:		
City:		State	Zip Code:		
Mountain Village Business	License Number:				
	PROPER	TY INF	ORMATION		
Physical Address:			Acreage:		
Zone District:	Zoning Designations:		Density Assigned to the Lot or Site:		
Legal Description: OS-3BR	-2 and OS-3XRR				
Existing Land Uses: Open S	Space				
Proposed Land Uses: Open	1 Space				
		R INFO	RMATION		
Property Owner: Town of Mountain Village			E-mail Address:		
Mailing Address: 455 Mountain Village Blvd			Phone:		
City: Sta			zip Code:		
	DESCRIP	TION (	OF REQUEST		
A subdivision and replat o and replat with 161C-R an		e to cre	rate parcels which have be	een approved for subdivision	

## Tract OS-3BR-2R-1, Tract OS-3BR-2R-2, Tract OS-3XRR-1, and Tract OS-3XRR-2

A Subdivision of Tract OS-3BR-2 and Tract OS-3XRR, located within the NE 1/4 of Section 3, T.42N., R.9W. and the SE 1/4 of Section 34, T.42N., R.9W., N.M.P.M., lying within the Town of Mountain Village, County of San Miguel, State of Colorado

#### **CERTIFICATE OF OWNERSHIP** KNOW ALL PERSONS BY THESE PRESENTS:

THAT the Town of Mountain Village, a Colorado Home-charter-rule municipality (the "Town"), is the owner in fee simple of:

TRACT OS-3BR-2, MOUNTAIN VILLAGE, ACCORDING TO THE PLAT OF LOT 109R AND TRACT OS-3BR-2, TOWN OF MOUNTAIN VILLAGE, A REPLAT OF LOTS 73-76R, 109, 110, TRATC 89-A AND TRACT OS-3BR-1, TOWN OF MOUNTAIN VILLAGE RECORDED MARCH 18, 2011 IN PLAT BOOK 1 AT PAGE 4455,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

TRACT OS-3XRR, MOUNTAIN VILLAGE, ACCORDING TO THE PLAT OF LOT 38-50-51R, TRACT OS-3CRR AND TRACT OS-3XRR, TOWN OF MOUNTAIN VILLAGE, A REPLAT OF LOT 38R, LOT 50-51R, TRACT OS-3CR AND TRACT OS-3X, TOWN OF MOUNTAIN VILLAGE, RECORDED FEBRUARY 11, 2009 IN PLAT BOOK 1 AT PAGE 4061,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

THE OWNER DOES HEREBY MAKE, EXECUTE, DELIVER, AND ENTER INTO this Replat under the name and style of "TRACT OS-3BR-2R-1. TRACT OS-3BR-2R-2. TRACT OS-3XRR-1. AND TRACT OS-3XRR-2, A SUBDIVISION OF TRACT OS-3BR-2 Notary Public AND TRACT OS-3XRR, LOCATED WITHIN THE NE 1/4 OF SECTION 3, T.42N., R.9W. AND THE SE 1/4 OF SECTION 34, T.42N., R.9W., N.M.P.M., LYING WITHIN THE TOWN OF MOUNTAIN VILLAGE, COUNTY OF SAN MIGUEL, STATE OF COLORADO" (the "Replat");

THEREBY, CREATE the following new lots (the "Replatted Lots/Tracts"):

1. Tract OS-3BR-2R-1, Tract OS-3BR-2R-2, Tract OS-3XRR-1, and Tract OS-3XRR-2

THEREBY, DELETES the following new lots (the "Deleted Lots/Tracts"):

1. TRACT OS-3XRR and TRACT OS-3BR-2

### **OWNER SIGNATURES**

TOWN OF MOUNTAIN VILLAGE, a home rule municipality and political subdivision of the state of

Leila Benitez, Mayor

**ACKNOWLEDGMENT** 

STATE OF COLORADO COUNTY OF SAN MIGUEL

to before me this \_\_\_\_\_ day of \_, 2022 by Leila Benitez, as Mayor Subscribed and sworn to before me this \_ of the Town of Mountain Village, a home rule municipality and political subdivision of the state of Colorado

My commission expires Witness my hand and seal.

### SHEET INDEX

Page 1 - Certifications and notes Page 2 - Overview (1"=40') Pages 3-5 - Enlarged View (1"=20')

### PARCEL AREA SUMMARY

Current Lot	Acreage
TRACT OS-3XRR TRACT OS-3BR-2	2.935 acres 1.968 acres
TOTAL	4.903 acres

Replatted Lot Tracts Acreage Tract OS-3BR-2R-1 1.906 acres Tract OS-3BR-2R-2 0.062 acres Tract OS-3XRR-1 2.511 acres 0.424 acres Tract OS-3XRR-2

Total 4.903 acres

### TITLE INSURANCE COMPANY CERTIFICATE

Land Title Guarantee Company does hereby certify that we have examined the title to the lands herein shown on this Replat and that the title to this land is in the name of the Town of Mountain Village, a home rule municipality and political subdivision of the State of Colorado and is free and clear of all liens and taxes, except as follows:

Title Insurance Company Representative

## NOTES

Approval of this plan may create a vested property right pursuant to Article 68 of Title 24, C.R.S., as amended and Town of Mountain Village Land Use Ordinance Section 4-6 and Article 6.

Easement research from Land Title Guarantee

- Land Title Guarantee Company, Order Number ABS86012785 dated March 17, 2022 at 5:00 P.M. as to Tract OS-3XRR and Tract OS-3BR-2, Town of Mountain Village
- SURVEY NOTES
- BASIS OF BEARINGS. The bearing from monument "Overpass" to monument "Rim", as shown monumented hereon, was assumed to bear N31°16'24"W according to Banner Associates, Inc. project bearings.
- b. LINEAL DISTANCES shown hereon measured in US
- Notice is hereby given that the area included in the plat described herein is subject to the regulations of the Land Use Ordinance, of the Town of Mountain Village, February 08, 2005 as amended.

The approval of this Replat vacates all prior plats for the area described in the Legal Description as shown hereon in the Certificate of Ownership.

7. NOTICE: According to Colorado law you must commence any legal action based upon defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

### TOWN OF MOUNTAIN VILLAGE **APPROVAL**

I, Leila Benitez as Mayor, and I, Paul Wisor as Manager, of the Town of Mountain Village, Colorado, do hereby certify that this plat has been approved by the Town Council in the same resolution that has authorized and directed us to execute this document.

Leila Benitez, Mayor, Date

Paul Wisor, Town Manager

**ACKNOWLEDGMENT** State of

County of

The foregoing signature was acknowledged before me this Leila Benitez as Mayor of the Town of Mountain Village.

My commission expires Witness my hand and seal.

Notary Public

**ACKNOWLEDGMENT** 

County of

The foregoing signature was acknowledged before me this

\_\_\_\_\_ day of \_\_\_\_\_\_\_, 20 \_\_\_\_ A.D. by Paul Wisor as Manager of the Town of Mountain Village. \_\_\_day of \_\_\_\_\_

My commission expires Witness my hand and seal.

Notary Public **PLANNING APPROVAL:** 

Development Services Director of Mountain Village, Colorado, do hereby certify that this Replat has been approved by the Town in accordance with the Community Development Code.

Date: \_ Planning and Development Services Director

### SURVEYOR'S CERTIFICATE

I, David R. Bulson of Bulson Surveying, a Professional Land Surveyor licensed under the laws of the State of Colorado, do hereby certify that this TRACT OS-3BR-2R-1, TRACT OS-3BR-2R-2, TRACT OS-3XRR-1, AND TRACT OS-3XRR-2, A SUBDIVISION OF TRACT OS-3BR-2 AND TRACT OS-3XRR, LOCATED WITHIN THE NE 1/4 OF SECTION 3, T.42N., R.9W. AND THE SE 1/4 OF SECTION 34, T.42N., R.9W., N.M.P.M., LYING WITHIN THE TOWN OF MOUNTAIN VILLAGE, COUNTY OF SAN MIGUEL, STATE OF COLORADO as shown hereon has been prepared under my direct responsibility and checking, and accurately represents a survey conducted under my direct supervision. This survey complies with applicable provisions of Title 38, Article 51, C.R.S. to the best of my

IN WITNESS HEREOF, I here unto affix my hand and official

P.L.S. No. 37662

## TREASURER'S CERTIFICATE

knowledge and belief.

I, the undersigned, Treasurer of the County of San Miguel, do hereby certify that according to the records of the San Miguel County Treasurer there are no liens against the subdivision or any part thereof for unpaid state, county, municipal or local taxes or special assessments due and payable, in accordance with Land Use Code Section

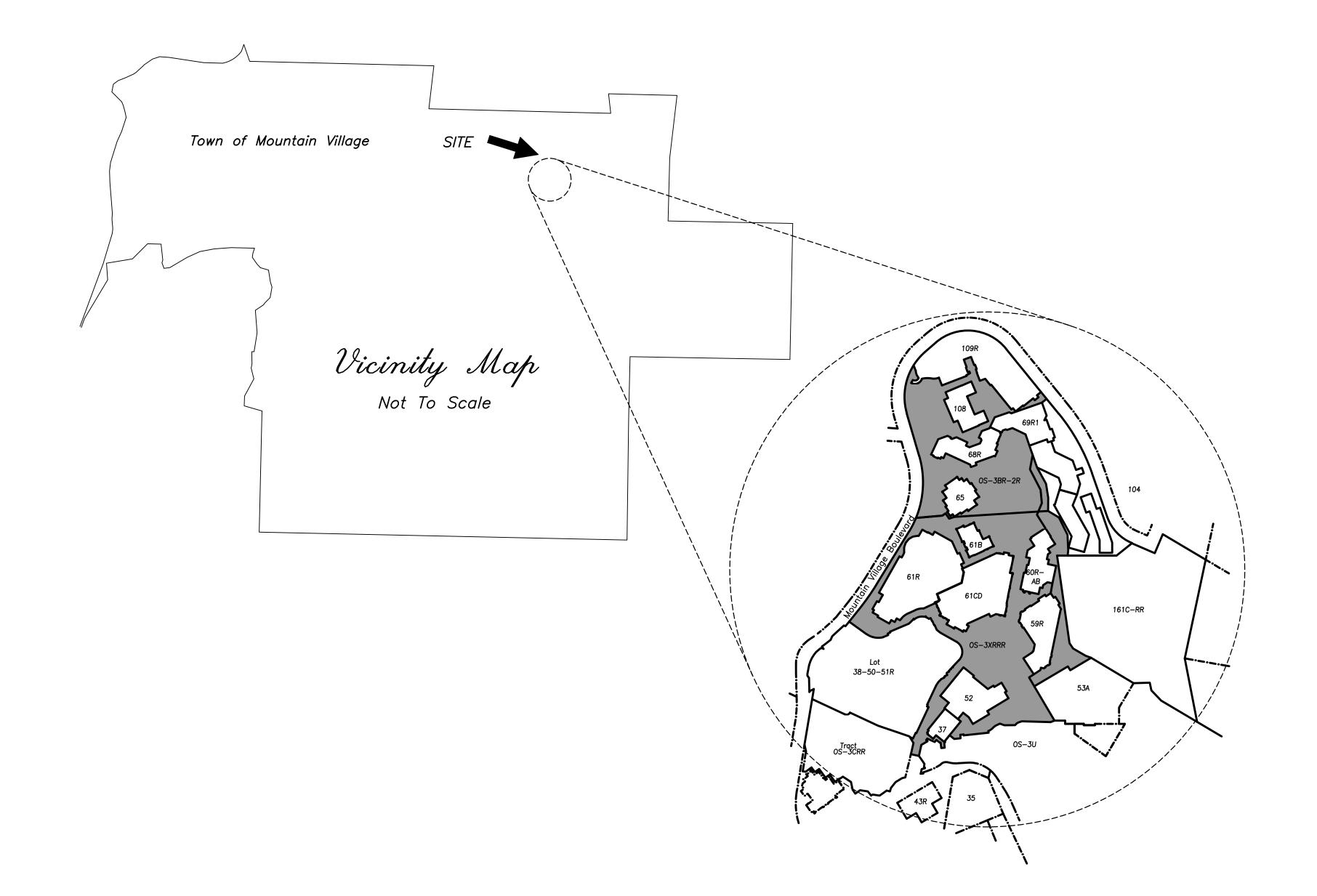
Dated this \_\_\_\_\_ day of \_\_

## RECORDER'S CERTIFICATE

San Miguel County Treasurer

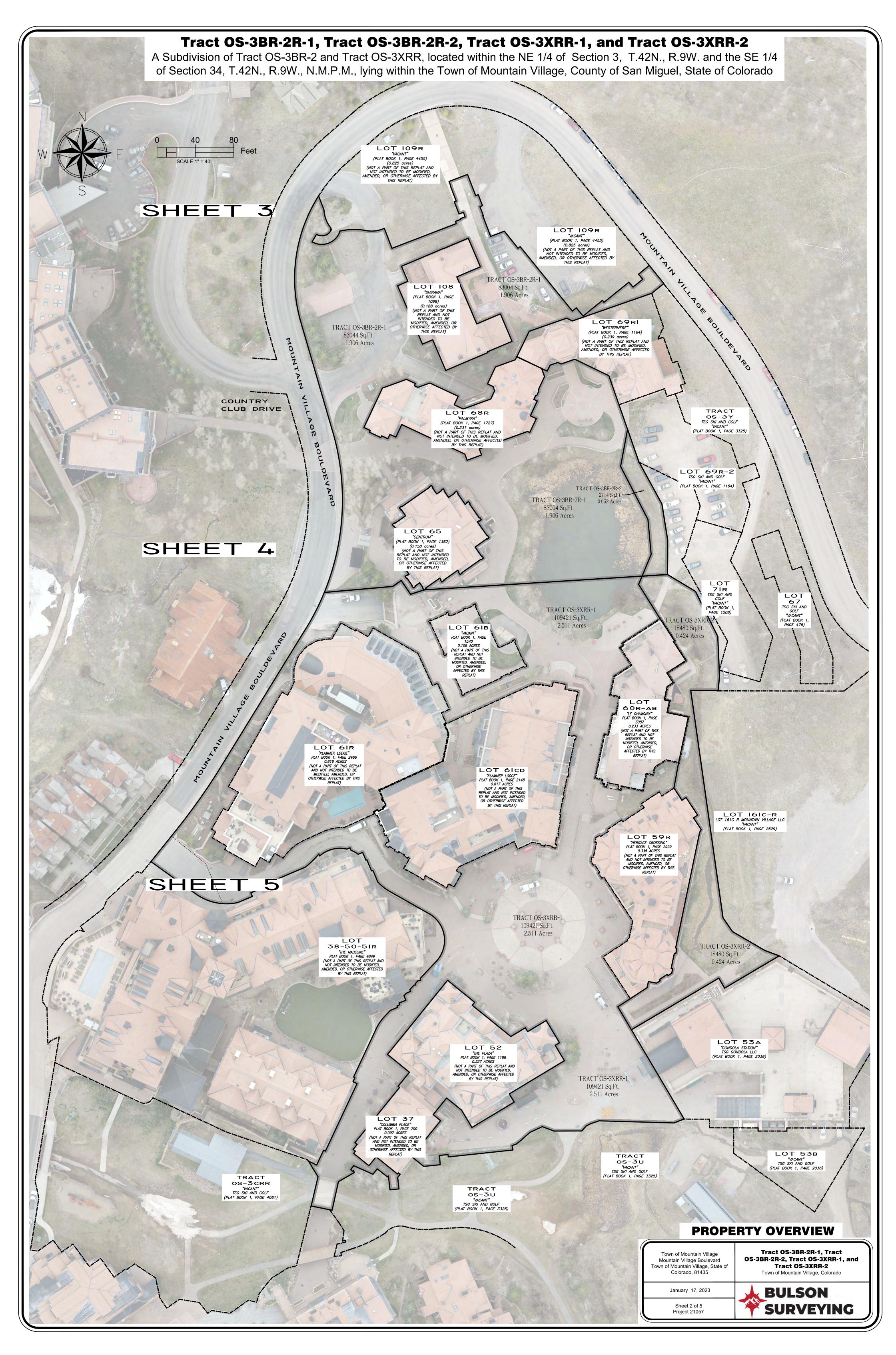
This Replat was filed for record in the office of the San Miguel County Clerk and Recorder on this \_\_\_\_\_ day of Reception No. \_

San Miguel County Clerk and Recorder



## **CERTIFICATIONS AND VICINITY MAP**

Town of Mountain Village Mountain Village Boulevard Town of Mountain Village, State of Colorado, 81435	Tract OS-3BR-2R-1, Tract OS-3BR-2R-2, Tract OS-3XRR-1, and Tract OS-3XRR-2 Town of Mountain Village, Colorado
January 17, 2023	<b>BULSON</b>
Sheet 1 of 5 Project 21057	SURVEYING



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