### TOWN OF MOUNTAIN VILLAGE REGULAR DESIGN REVIEW BOARD MEETING AGENDA THURSDAY JANUARY 4, 2023, 10:00 AM MOUNTAIN VILLAGE TOWN HALL 455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO TO BE HELD HYBRID THROUGH ZOOM:

https://us06web.zoom.us/j/81241591670 Meeting ID: 812 4159 1670

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

	Time	Min.	Presenter	Туре	
1.	10:00		Chair	Chair	Call to Order
2.	10:00	20	Town Attorney	Executive Session	Conference with the Town Attorney for the purpose of receiving legal advice on specific legal questions, specifically regarding recent pending changes in wetlands law, under C.R.S Section 24-6-402(4)(b)
3.	10:20	2	Habib	Action	Reading and Approval of Summary of Motions of the December 7, 2023, Design Review Board Meeting
4.	10:22	30	Perez/ Applicant	Quasi-judicial	Consideration of a Design Review: Final Architecture Review for Lot 161A-4 Unit 12, The Ridge Unit 12, pursuant to CDC Section 17.4.11
5.	10:52	45	Design Workshop/ Applicant	Quasi-judicial	Consideration of a Design Review: Initial Architecture and Site Review for Lot 1 Unit 38, pursuant to CDC Section 17.4.11
6.	11:37	45	Nelson/ Applicant	Quasi-Judicial	Review and recommendation to Town Council of a Conditional Use Permit for driveway access on Lot OSP 18A for a single-family home on Lot SS 811, pursuant to CDC Section 17.4.14
7.	12:22	15	Lunch	Lunch	
8.	12:37	45	Nelson/ Applicant	Quasi-Judicial	Review and recommendation to Town Council of a Conditional Use Permit for Wok of Joy Food Trailer on Lot OS 3XRR, Conference Center Plaza, pursuant to CDC Section 17.4.14
9.	1:22	30	Design Workshop/ Applicant	Quasi-Judicial	Review and recommendation to Town Council regarding a Vested Property Rights Renewal Application for Lot 27A, pursuant to CDC Section 7.4.17
10.	1:52	2	Chair	Adjourn	

### DESIGN REVIEW BOARD MINUTES TOWN OF MOUNTAIN VILLAGE REGULAR DESIGN REVIEW BOARD MEETING December 7, 2023

### Call to Order

Chair **Brown** called the meeting of the Design Review Board (DRB) of the Town of Mountain Village to order at 10:02 AM on December 7, 2023.

### **Attendance**

### The following Board members were present and acting:

David Eckman Ellen Kramer (via zoom) Banks Brown David Craige Liz Caton Adam Miller Scott Bennett Greer Garner

### The following Board members were absent:

Jim Austin

### Town Staff in attendance:

Claire Perez – Planner II Amy Ward – Community Development Director Rodney Walters – Town Forester Jason Habib – Planning Technician Drew Nelson – Senior Planner Maegan Eckard - zoom Sonny Sin – Design Workshop (via zoom) Jessica Garrow - Design Workshop (via zoom) Jennifer Pintar - Design Workshop (via zoom)

### **Public Attendance:**

Craig Spring Jack Wesson Steve Morton Casey Culbertson Brandon Bell Clay Wadman Public Attendance via Zoom: Jefrall Betancourt Nicole Pieterse John Miller Kristine Perpar Kevin Cappon Dylan Henderson

### Item 2. Reading and Approval of Summary of motions November 2, 2023, Design Review Board Meeting minutes

On a **MOTION** by **Garner** and seconded by **Miller** the DRB voted **unanimously** to approve the summary of motions of the November 2, 2023, Design Review Board meeting minutes.

### Item 3. Consideration of a Design Review: Final Architecture Review for Lot 926R, TBD Sundance Lane, pursuant to CDC Section 17.4.11

Claire Perez Presented as Staff

Public Comment: None

On a **MOTION** by **Miller** and seconded by **Bennett** the DRB voted **unanimously** to continue the Final Architecture Review for Lot 926R, TBD Sundance Lane, to the March 7, 2024, Regular Design Review Board Meeting, based on the evidence provided within the Staff Report of record dated November 27, 2023.

### <u>Item 4. Consideration of a Design Review: Final Architecture Review for Lot 710, TBD Adams</u> <u>Ranch Rd, pursuant to CDC Section 17.4.11</u>

Claire Perez: Presented as Staff

Public Comment: None

On a **MOTION** by **Miller** and seconded by **Bennett** the DRB voted **unanimously** to continue the Final Architecture Review for Lot 710, TBD Adams Ranch Rd, to the February 1, 2024, Regular Design Review Board Meeting, based on the evidence provided within the Staff Report of record dated November 27, 2023.

### Item 5. Consideration of a Design Review: Final Architecture Review for Lot 161A-4 Unit 12, 8 Horseshoe Lane, pursuant to CDC Section 17.4.11

Claire Perez: Presented as Staff

Steve Morton: Presented as Applicant

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Bennett** the DRB voted **unanimously** to continue the Consideration of a Design Review: Final Architecture Review for a new single-family detached condominium located at Lot 161A-4, Unit 12, to the Regular Design Review Board Meeting on January 4, 2024, based on the evidence provided within the Staff Report of record dated November 22, 2023.

### <u>Item 6. Consideration of a Design Review: Final Architecture Review for Lot 389, TBD AJ Drive,</u> <u>pursuant to CDC Section 17.4.11</u>

Claire Perez: Presented as Staff

Jack Wesson: Presented as Applicant

On a **MOTION** by **Bennett** and seconded by **Caton** the DRB voted **unanimously** to approve the Consideration of a Design Review: Final Architecture Review for a new single-family home located at Lot 389, TBD AJ Drive, based on the evidence provided within the Staff Report of record dated November 22, 2023, with the following design variations and specific approvals:

### Design variations:

- 1. Tandem Parking
- 2. Road and Driveway Standards Driveway width

### DRB Specific Approvals:

- 1. GE Encroachment Grading
- 3. Road Right of Way Encroachment Address Monument
- 4. Materials Board Form Concrete

### And, with the **following conditions**:

1) Prior to building permit, the applicant shall revise the lighting plan to reduce the number of light fixtures by the wetland and provide a specification sheet for the proposed fixture for the address monument. Fixture A is to be replaced with an alternate fixture, and a 20% reduction on all exterior lighting is to be achieved.

2) Prior to building permit, the applicant shall revise the dimensions of the parking spaces, so they are meeting the CDC.

3) Prior to building permit, the applicant shall submit a revised landscape plan that

identifies all the species proposed.

4) Prior to the issuance of a building permit, the applicant shall field verify all utility locations.

5) Prior to issuance of a building permit the applicant will demonstrate that the chimney meets CDC height requirements

6) Prior to issuance of a CO, the property owner will enter into a General Easement Encroachment Agreement, as applicable, with the Town of Mountain Village for any general easement encroachments approved.

7) Prior to building permit, the applicant will obtain permissions from the Town for all encroachments in Town open space and will enter into a licensing

agreement with the Town for any approved use. Any structural encroachments must be approved by Mountain Village Town Council. If structural encroachments are removed by applicant, a temporary layback area in Town open space and an easement for continued maintenance of retaining walls is subject to a staff-level review.

8) Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.

9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.

10) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

11) Prior to the Building Division conducting the required framing inspection, a fourfoot(4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');

b. Wood that is stained in the approved color(s);

c. Any approved metal exterior material;

d. Roofing material(s); and

e. Any other approved exterior materials

12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to

their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

13) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete in 2023.

14) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.

15) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.

16) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.

17) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.

18) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.

19) Knox box is recommended at the main entrance on the address side for emergency access.

### <u>ltem 7. Lunch</u>

Item 8: Discussion regarding tree protection during construction. Rodney Walters: Presented as Staff

Public Comment: None

### Item 9. Consideration of a Design Review: Final Architecture Review for Lot 536, 219 Russell Drive, pursuant to CDC Section 17.4.11

Jennifer Pintar of Design Workshop: Presented as Staff Casey Culbertson of Pure Desing Architects: Presented as Applicant

Public Comment: None

On a **MOTION** by **Caton** and seconded by **Miller** the DRB voted **unanimously** to approve the Consideration of a Design Review: Final Architecture Review for a new single-family home located at Lot 536, based on the evidence provided within the Staff Report of record dated November 27, 2023, and the findings of this meeting with the following conditions and specific approvals:

### **DRB Specific Approvals:**

1. Right-of-way Encroachment - Address Monument

### And, with the **following conditions**:

1) Prior to building permit, the applicant shall submit a revised Irrigation Plan that incorporates staff comments contained in this memo, removing irrigation from the right of way.

2) Prior to building permit the applicant shall verify the proposed location of the address monument is set back far enough from the road with Public Works.

3) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.

4) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum and average building height.

5) A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC. The board shall remain on the site in a readily visible location until the project receives a certificate of occupancy. The Planning Division is responsible for conducting site inspections prior to the issuance of a certificate of occupancy to ensure the development is proceeding in accordance with the approved plans.

6) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete 2023.

7) Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE.

8) The structure shall require a monitored NFPA 72 alarm system and monitored NFPA 13D sprinkler system.

9) A Knox Box for emergency access is recommended.

10) Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods:

Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.

11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

12) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');

b. Wood that is stained in the approved color(s);

c. Any approved metal exterior material;

d. Roofing material(s); no TPO allowed - Standing seam or ballasted flat roof, will be submitted to staff for final approval

e. Any other approved exterior materials

13) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

Item 10. Review and Recommendation to Town Council regarding a height variance application for Lot 165 Unit 3, TBD Cortina Dr, pursuant to CDC Section 17.4.16

Sonny Sin of Design Workshop: Presented as Staff

Kristine Perpar: Presented as Applicant

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Bennett** the DRB voted **unanimously** to recommend denial to Town Council of a maximum height variance of 18.31 feet above the allowable and an average height variance of 5.76 feet above the allowable, per the height restrictions listed in the CDC for portions of a new single-family detached condominium located at Lot 165 Unit 3, 130 Cortina Drive based on the evidence provided in the staff memo of record dated November 27, 2023 and the findings of this meeting.

Item 11. Consideration of a Design Review: Initial Architecture and Site Review for Lot 165 Unit 3, TBD Cortina Dr, pursuant to CDC Section 17.4.11

Sonny Sin of Design Workshop: Presented as Staff

Kristine Perpar: Presented as Applicant

Public Comment: None

On a **MOTION** by **Bennett** and seconded by **Miller** the DRB voted **unanimously** to continue the Initial Architecture and Site Review for a new single-family detached condominium on Lot 165

Unit 3, TBD Cortina Dr, to the Regular Design Review Board Meeting on **February 1, 2024**, based on the evidence provided in the staff record of memo dated December 7, 2023.

### Item 12. Consideration of a Design Review: Final Architecture Review for Lot AR 613-C2, TBD Lawson Point, pursuant to CDC Section 17.4.11

Jessica Garrow of Design Workshop: Presented as Staff

Dylan Henderson: Presented as Applicant

On a **MOTION** by **Craige** and seconded by **Caton** the DRB voted **unanimously** to approve the Consideration of a Design Review: Final Architecture Review for a new single-family home located at Lot AR 613-C2, based on the evidence provided within the Staff Report of record dated November 29, 2023, and the findings of this meetings, with the following specific approval:

### **DRB Specific Approvals:**

1. EPDM Roofing

### And, with the **following conditions**:

 The applicant shall verify at building permit that the proposed maximum Lot Coverage calculation includes any proposed hardscaping, including pavers.
 Prior to certificate of occupancy the applicant will enter into a Licensing Agreement with the Town for any approved encroachments in the GE and the road right of way.

3) The applicant shall work with public works and utility providers to finalize the utilities plan as a condition of approval prior to building permit.

4) The applicant shall comply with all TFPD requirements:

a. A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.

b. A monitored fire alarm system shall be installed and interconnected in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.

c. The applicant shall install a monitored carbon monoxide detection in accordance with 2018 IFC 915.2.1.

d. The applicant shall install a Knox box at the main entrance on the address side for emergency access.

5) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.

6) Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) – Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:

- a) The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
- b) Wood that is stained in the approved color(s);
- c) Any approved metal exterior material;
- d) Roofing material(s); and
- e) Any other approved exterior materials

7) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

8) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete in 2023.

9) The applicant shall be allowed grading and drainage in the general easement, as shown on Civil grading plans

### Item 13: ADJOURN

On a **MOTION** by **Brown** the DRB voted **unanimously** to adjourn the December 7, 2023, meeting at 2:14 pm.

Prepared and submitted by,

Jason Habib, Planning Technician



AGENDA ITEM 3 PLANNING & DEVELOPMENT SERVICE PLANNING DIVISON 455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 728-1392

**TO:** Mountain Village Design Review Board

**FROM:** Claire Perez, Planner II

**FOR:** Design Review Board Public Hearing; December 7, 2023

DATE: December 21, 2023

RE: Staff Memo – Final Architecture Review (FAR) for Lot 161A-4 Unit 12

### APPLICATION OVERVIEW:

### PROJECT GEOGRAPHY

**Legal Description:** UNIT 12 THE RIDGE AT TELLURIDE LOCATED ON LOT 161A-4 ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 1 AT PAGE 3262 RECEPTION NO 365188 AND AMENDED AND SUPPLEMENTED BY THE PLATS RECORDED IN PLAT BOOK 1 AT PAGE 3649 RECEPTION NO 383984 PLAT BOOK 1 AT PAGE 3686 RECEPTION NO 385382 PLAT BOOK 1 AT PAGE 3900 RECEPTION NO 398499 PLAT BOOK 1 AT PAGE 3975 RECEPTION NO 403055 PLAT BOOK 1 AT PAGE 4283 RECEPTION NO 409853 PLAT BOOK 1 AT PAGE 4349 RECEPTION NO 413134 PLAT BOOK 1 AT PAGE 4888 RECEPTION NO 446065 AND PLAT BOOK 1 AT PAGE N/A RECEPTION NO 458069 AND ACCORDING TO THE DECLARATION FOR THE RIDGE AT TELLURIDE RECORDED AT RECEPTION NO 365201 AS AMENDED AND SUPPLEMENTED BY THE DOCUMENTS RECORDED AT RECEPTION NO 403054 RECEPTION NO 409854 RECEPTION NO 413135 AND RECEPTION NO 458070 ALL IN THE OFFICE OF THE COUNTY CLERK AND RECORDER SAN MIGUEL COUNTY COLORADO

Address:8 Horseshoe LaneApplicant/Agent:Steve Morton, Morton Architects

Owner:Jonathan & TiffanyHorton Family TrustMulti-FamilyZoning:Multi-FamilyExisting Use:Vacant LotProposed Use:Detached CondominiumLot Size:.17 acres. 7500 sg. ft.

### Adjacent Land Uses:

- North: Ridge Open Space
- South: Active Open Space
- East: Multi-family
- West: Active Open Space

### **ATTACHMENTS**

Exbibit A: Architectural Plan Set Exhibit B & C: Resolution No. 2021-1216-29 and Story Pole Requirement Waiver by San Miguel County (See staff memo dated October 3, 2023)

Exhibit D: Staff Referral Comments – no new comments received from Initial Review Exhibit E: Ridge Development Agreement



Figure 1: Vicinity Map

**Case Summary:** Steve Morton of Morton Architects (Applicant), on the behalf of the Jonathan and Tiffany Horton Living Trust (Owner) is requesting Design Review Board (DRB) approval of a Final Architectural Review (FAR) Application for a new single-family detached condominium located at Lot 161A-4, Unit 12, 8 Horseshoe Lane. The Lot is 7,500 square feet and is zoned multi-Family. The proposal includes a detached condo with an approximate gross square footage of 21,313 square feet. Because of the home's location near the top of Coonskin Ridge, additional development regulations must be addressed in addition to the general Design Review Standards – specifically, CDC Section 17.5.16: Ridgeline Lots.

### County and Town Settlement Agreement

In 1999 the Town and County entered into a settlement agreement that addressed several county issues including and not limited to the operations of the gondola, the Ridgeline Covenant, the final Mountain Village development plan, wetland regulations, and deed-restricted housing. Pursuant to the settlement agreement, the Town of Mountain Village sends development application referrals for comment to San Miguel County and the Town of Telluride when a development is proposed subject to the Ridgeline Covenant. What is within the DRB's purview are the provisions outlined in the CDC and the enhanced design requirements found under the Ridgeline Lots section of the CDC and outlined below. The Town does not enforce the provisions of the Settlement Agreement although we adhere to the courtesy notice provisions as outlined in the settlement agreement and any additional requirement as outlined in the CDC.

### Story Pole Requirement

Due to the location of the home the application is required to erect story poles "to reflect the maximum height of the proposed development where such development will extend closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window." This site was previously approved for a height variance in January of 2021. The variance allows for building up to 35 feet plus 5 feet for chimneys, flues, vents, and similar structures but otherwise subject to the design and heights approved by the Design Review Board when applying the regulations of the CDC, inclusive of design regulations. If the variance had not been granted the building height would have been limited to 20 feet per the Coonskin View Plane Regulations. As part of the previous variance application, story poles were erected over the period of January 4<sup>th</sup>, 2021, and January 8,2021. Additionally, the Town contracted to obtain a visual time-lapse on January 6<sup>th</sup>, 2021, to determine if the story poles were visible from Eider Creek Condos. The link to the video is below. Town of Mountain Village Staff and San Miguel County Planning Staff / Legal Counsel visited the site on January 6, 2021, and it was determined that the illuminated story poles were not visible from the entrance to Eider Creek Condos. Because story poles were previously erected for the building height, San Miguel County has waived the story pole requirement for this application.

### https://www.youtube.com/watch?v=zkm9WouMn3A

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. *Please note that Staff comments will be indicated by Italicized Text.* 

		Table 1
CDC Provision	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35'*	35'
Maximum Average Height	Not applicable	30'- 7 ½"
Maximum Lot Coverage	100% per Unit	
General Easement Setbacks	No GE	
Roof Pitch		
Primary		4:12
Secondary		3:12
Exterior Material		
Stone	35% minimum	36.57%
Windows/Doors	40% maximum	32.98%
Parking	1	1 space offsite

\*35' reflects allowable height per Height Variance Resolution No. 2021-1216-29, Plus 5' allowable for chimneys etc.

The DRB reviewed this case at the December 7, 2023, regular DRB meeting and voted unanimously to continue the Final Architecture Review to the January 4, 2023, Regular Design Review Board Meeting. The sections below include the revised Final Architecture Review. For more information regarding the details of the Initial Architectural and Site Review and the previous Final Architecture Review please see staff memo of record dated October 3, 2023, and November 22, 2023.

### Chapter 17.3: ZONING AND LAND USE REGULATIONS 17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The proposed design incorporates gabled roof forms with minor secondary shed roof forms. Because of development agreements memorialized in the CDC, Unit 12 is classified as a ridge lot,

and with that, it is granted a different height allowance than other detached condominiums in the Mountain Village. As noted above, this lot was granted a Variance to CDC Section 1.5.16.B.4 which refers to the Coonskin Ridge View Plane, to allow for a detached condominium to be built up to 35 feet plus 5 feet to allow for chimneys, flues, vents, or similar structures. The variance notes that the maximum height is measured from the lowest grade located directly below the highest point of the structure. There is not a maximum average height requirement.

Staff: Criteria met.

### **17.3.14: General Easement Setbacks**

Lot 161A-4, Unit 12 is not burdened by any General Easements or Setbacks. The development documents specify that each unit is permitted to utilize the full amount of square feet allocated.

### Chapter 17.5: DESIGN REGULATIONS

**17.5.4: Town Design Theme** *Staff: Criteria met.* 

### 17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: This lot functions as a footprint lot and allows for the full development of the allocated 7,500 square feet. With that, the location of the home's building envelope is tied to the subdivision documents and the location of the specific units within Lot 161A-4. At the December 7, 2023, Design Review Board Meeting, the applicant was asked to remove several structural elements that were located beyond the building envelope. The revised building envelope is shown on Sheet A-1.2. The Ridge Development Agreement does "not allow future development and construction, including hardscape, decks, and all improvements, outside of the building envelopes. The applicant removed the first level deck and hot tub. Roof overhangs are also included in the envelope. A small patio and retaining wall remain on the northwest side of the home to provide ski in and ski out access to the ski room. Moreover, the retaining wall is now stepped to reduce the visual impact of it. Staff has determined that the retaining wall and patio are allowable per the Ridge Development Agreement language below:

"Common Element Open Space Tracts A tract of land owned by The Ridge At Telluride Homeowners Association, Inc., which may be used for, but is not limited to, the following: ski slopes, ski trails, ski lifts, snow making facilities or other recreational facilities, lift structures, communication receiving stations, communication transmitting stations, drainage ditches, drainage swales, drainage structures, access roads, service roads, maintenance roads, utility transmission lines, pedestrian paths, hiking and biking trails, transportation system facilities, golf cart parking lots, storm drainage systems, retaining walls, benches, snow storage, landscaping, cross-country skiing trails, golf cart access, snowcat access and all Buildings and incidental or accessory facilities related to any of the above-described Uses. No Use shall be allowed on these tracts that is incompatible with the general resort nature of the Town as determined by the DRB and the Town Council. " (2)

Moreover, it does not appear the total exterior surface calculations shown on AC.A were updated to show the removal of the first level patio. The calculations should be updated prior to Building permit.

### 17.5.6: Building Design

Staff: The home's exterior palette is a mix of stone with cedar siding and accents. The material calculations have been updated. The glass total was reduced from 33.32% to 32.98%. Metal decreased slightly from 6.21% to 6.12%. Stone increased from 35.18% to 36.57%. Steel decreased from 14.16% to 13.34%. Wood also decreased slightly from 10.16% to 10.04%. Although the material calculations shifted slightly, the overall materiality of the home remains consistent with the previous review.

### 17.5.7: Grading and Drainage Design

Staff: Criteria met.

### 17.5.8: Parking Regulations

Criteria met.

### 17.5.9: Landscaping Regulations

Staff: The landscape plan is shown on Sheet L-1. DRB should discuss whether additional plantings should be required to replace those to be removed. Plantings in zone 1 were shifted and increased due to the removal of the first level deck. The species proposed have not changed since the previous review.

### 17.5.11: Utilities

Staff: Criteria met.

### 17.5.12: Lighting Regulations

Staff: The applicant provided a revised lighting plan. Fixture L4 was changed from a LED Round Surface Cylinder fixture to a 2" LED Square Adjustable Downlight. The fixture exceeds the allowable lumen count at 930 lumens; however, it will be dimmed to 50% to meet lighting requirements. Moreover, Fixture L5 also exceeds the lumen count, but will be dimmed to 50%. Fixture L8, was also revised to an LED path light. It will be dimmed to 43% of its full luminance. At the previous DRB meeting, the DRB asked the applicant to remove all (landscape) lighting fixtures from the outside of the building envelope. The fixtures should be removed prior to building permit. The exterior sconce was removed from the first level patio and replaced with 4 downlights. The lighting was not revised on the second level and third level. The sconce on the private deck on the fifth level was changed to a step light. Moreover, fixture L5, an LED downlight, was changed to a fixture L4 on the fifth level deck. The fixtures to the Porte cochere and garage have not been revised. The DRB should clarify if these fixtures are considered architectural lighting and if a specific approval for such needs to be granted. Overall, Staff finds that there is an appropriate number of fixtures on each level.

### 17.5.13: Sign Regulations

Staff: The applicant has revised the lighting on the address monument. The fixture proposed is the same, however, the dimming level will be set to 50% minimum to meet lighting regulations. The applicant also provided a drawing detail of the fixture on sheet L2.0. The dimensions of the lettering of Horseshoe Lane were not provided, but it does not appear to meet the minimum 6" requirement. The dimensions should be provided prior to building permit.

### 17.5.16: Ridgeline Lots

The CDC identifies Lot 161A-4 as a part of the Ridge Area and as such provides additional design restrictions. As previously described, the intent of these standards is to memorialize the restrictions in the development agreement. These provisions aim to require the home to maintain visual subordinance to the natural landscape along the ridge.

In order to accomplish this, the code requires the following:

1. All improvements are subject to a ridgeline covenant with San Miguel County as recorded at reception number 329093. The Town does not enforce the ridgeline covenant, with enforcement solely administered by San Miguel County.

Staff: The improvements appear to be mostly aligned with the ridgeline covenant as discussed above within this memo. The removal of the first level deck better allows the proposed home to maintain visual subordinance to the natural landscape. The Town of Mountain Village does not enforce this covenant but provided this application and all materials to both San Miguel County and the Town of Telluride in order for those agencies to provide comment on the proposed application.

2. The building height on Lot 161A-1R shall not exceed 35 feet (35') along the ridgeline of such building.

Staff: Not applicable. Subject unit is within Lot 161A-4.

- 3. Building height on other ridge area lots shall not exceed the lesser of:
  - a. The height of forty-five feet (45'); or
  - b. The maximum height allowed to the view plane limitation set forth in section 4 below.

Staff: Not applicable. The lot has an existing approval for a height variance.

4. Except for the existing building on Lot 161A-1R and gondola facilities, the development of ridgeline area lots shall be designed to ensure that no lighting or any part of any building or structure extends into the view plane as shown on the Coonskin View Plane drawing recorded at reception number 328113.

Staff: The story pole requirement was waived by San Miguel County as story poles were previously erected for the height variance application

5. New development in the ridgeline area, excluding the existing building on Lot 161A-4 and gondola facilities, shall require (a) the erection of a story pole to reflect the maximum height of the proposed development where such development will extend closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window. The applicant for development shall provide written notice of the story pole erection to San Miguel County and the Town of Telluride.

*Staff: The applicant erected the story poles and illuminated them* over the period of January 4<sup>th</sup>, 2021, and January 8, 2021. *Notice of was provided to Town of Telluride and San Miguel County.* 

6. To the extent practical, no exterior lights shall be installed on the east side of buildings. Any required exterior lighting shall be shielded, recessed, or reflected so that no lighting is oriented towards the east side of the building.

Staff: The lighting plan on the eastern side of the home has not been revised since the previous meeting. The DRB previously indicated that they approved of the fixtures, however, the board should discuss if the fixtures proposed are considered architectural lighting. Architecture lighting requires specific approval by the DRB.

7. No solid fuel burning device shall be allowed in the building on Lot 161A-1R

Staff: All fireplaces at the home are required to be natural gas-burning fixtures as noted below.

8. For all new development, or substantial modifications to existing development, a courtesy referral shall be provided to San Miguel County and the Town of Telluride consistent with the Referral and Review Process outlined in the Development Review Procedures. The Town is not bound by any referral comments from either jurisdiction.

Staff: A courtesy referral was provided to both the Town of Telluride and San Miguel County.

### Chapter 17.6: SUPPLEMENTARY REGULATIONS

### 17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: The applicant provided an updated fire mitigation plan on Sheet A-1.6. The plantings shown in zone 1 shifted due to the removal of the first level deck. The plantings shown are compliant with zone 1 requirements. The applicant will need to obtain a tree removal permit prior to the removal of any trees. The fire mitigation plan adheres to the CDC requirements.

### 17.6.6: Road and Driveway Standards

Staff: The typical road and driveway standards do not apply to the ridge given its unique location and access. The driveway slopes are demonstrated on sheet C2.0. The dimensions of the cart court and front entry need to be demonstrated.

### 17.6.8: Solid Fuel Burning Device Regulations

Staff: Criteria met.

### Chapter 17.7: BUILDING REGULATIONS 17.7.19: Construction Mitigation

Staff: The construction mitigation plan has not been revised since the previous review. The construction mitigation plan adheres to the CDC requirements.

### Staff Recommendation:

Staff recommends the approval of the Final Architectural Review with conditions. If the DRB deems this application is **approvable** as presented, Staff requests said approval condition the items listed below in the suggested motion.

I move to **approve** the Final Architectural Review for a new single-family detached condominium located at Lot 161A-4 Unit 12, based on the evidence provided within the Staff Memo of record dated December 21, 2023

With the following conditions:

- 1) Prior to Building Permit, the applicant shall provide an updated landscaping plan showing a realistic plan of trees that will be preserved, and any additional plantings that the DRB requests during the hearing for staff review.
- 2) Prior to Building Permit, the applicant shall provide approval from the HOA of the construction mitigation plan.

- 3) Prior to the issuance of a building permit, the applicant shall provide proof of a parking reservation agreement or indicate intent to pay the parking payment in lieu fee to the Town. If a reservation agreement has been executed, then the addendum to the reservation agreement needs to be executed prior to building permit.
- 4) Prior to the issuance of a building permit, the applicant shall field verify all utilities and submit a revised utility plan to the public works director identifying the location of utilities and connection points.
- 5) Prior to the issuance of a building permit, the applicant shall obtain approval for the re-location of Unit 12 per a staff level minor subdivision, condominium map amendment.
- 6) Owners shall indemnify, defend and hold harmless Town, its members, affiliates, officers, directors, partners, employees, and agents from and against all claims, damages, losses and expenses, including but not limited to reasonable attorney's fees, arising out of the approval of the height variance granted hereunder.
- 7) Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection.
- 8) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 9) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the common open-space.
- 10) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern, and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
- 11) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 12) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development are set at 50% since the application was submitted in 2023.
- 13) Applicant must meet the following conditions of the Fire Marshal:

- a) The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.
- b) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
- c) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
- d) Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
- e) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
- f) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
- g) A Knox box is recommended at the main entrance on the address side for emergency access.

/cp

### architect

### Town of Mountain Village Final Design Review Horton Residence – Lot 12 The Ridge 1-4-23

Changes and comments from prior review.

The site design has deleted an outdoor firepit area outside of the building envelope AND deleted the hot tub outside of the envelope.

Additionally, the deck at the lower level outside of the envelope has been removed. A small patio remains with a retaining wall on the northwest side to provide ski in and ski out access the ski room/home. The retaining wall at this area has been stepped/broken into two sections to reduce the perceived scale of it.

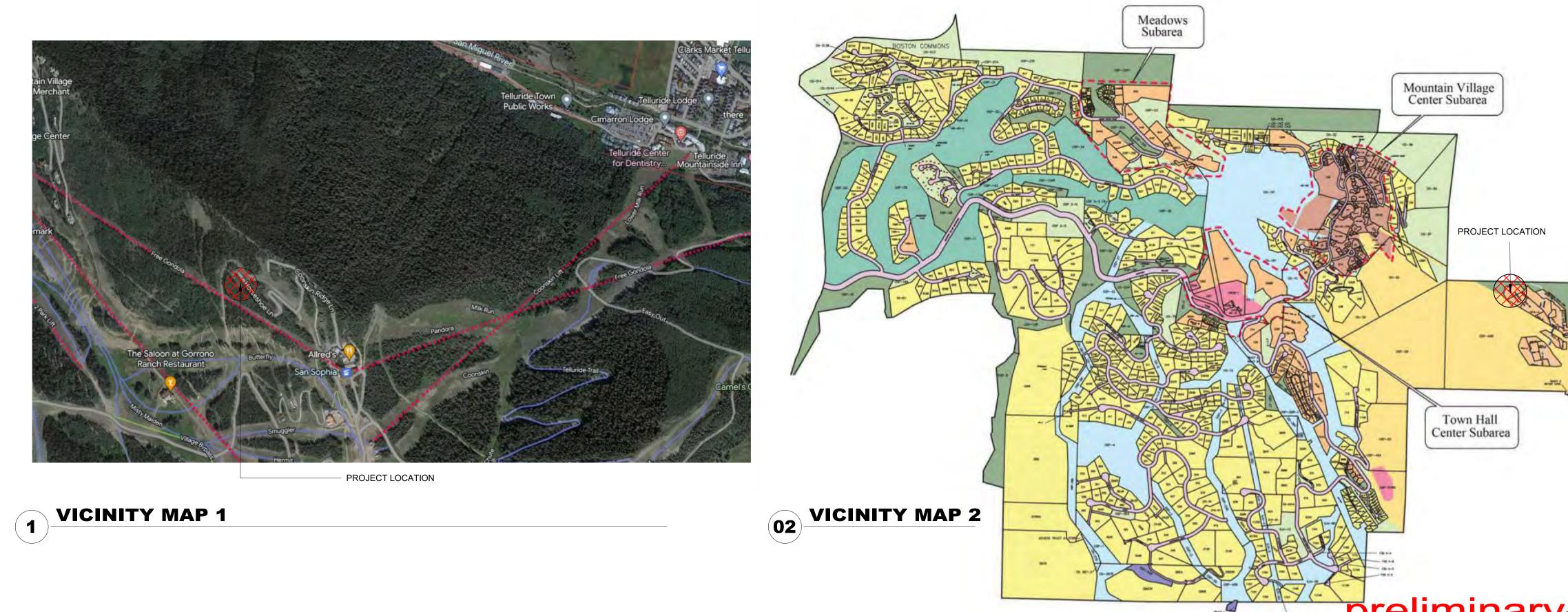
The building envelope has been better described to include all roof overhangs.

The lighting plans have been revise to reduce the number of fixtures, drop lumens, lower mounting heights and recess where possible. Additionally, the landscape bollard spec has been revised.

# HORTON RESIDENCE

JON & TIFFANY HORTON Lot 12-The Ridge, Town of Mountain Village, CO. 81435







# FINAL DRB SUBMITTAL SET 01/04/24

[	ARCHITE	
	AC.A	
	A-1.0	SITE PLAN - EXISTING
	A-1.1	SITE PLAN
	A-1.2	SITE PLAN
	A-1.3	SITE - ROOF PLAN
	A-1.4	CONST. STAGING
	A-1.5	SITE SNOWMELT
	A-1.6	FIRE MITIGATION
^	A-1.7	SITE UTILITY PLAN
2	A-1.8	BLDG. ENVELOPE
	A-1.9	BLDG. ENVELOPE
	0.0.0	
	CIVIL	
	0	SITE - SURVEY
	C1.0	PRELIMINARY GRADING AND
		UTILITY PLAN
	C2.0	DRIVEWAY EXTENSION CENTERLINE ALIGNMENT
	LANDSCA	
	LANDSCA	
	L-1	LANDSCAPE DETAILS
	L-2 L-3	IRRIGATION PLAN
	L-3	IRRIGATION DETAILS
	L-4	IRRIGATION DETAIES
	A-2.0	FLOOR PLANS
	A-2.1	FLOOR PLANS
	A-2.2	FLOOR PLANS
	A-3.0	ELEVATIONS
	A-3.1	BLDG. HT. ELEVATION
	A-3.2	EXTERIOR MATERIALS
	A-5.1	WINDOW SCHEDULES
	A-5.2	DOOR SCHEDULE
	D-1	DETAILS
	D-2	DETAILS
	(A-9.0)	PERSPECTIVE VIEWS
<u> </u>	<b>(</b> A-9.1 <b>)</b>	PERSPECTIVE VIEWS
2	A-9.2	PERSPECTIVE VIEWS

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L0.0	COVER SHEET + LI DRAWING INDEX + GENERAL NOTES
L1.1	FIRST LEVEL LIGH
L1.2	SECOND LEVEL LIC
L1.3	THIRD LEVEL LIGH
L1.4	FOURTH LEVEL LIG
L1.5	FIFTH LEVEL LIGHT
L2.0	LIGHTING DETAILS
L3.1	FIRST LEVEL EXTE CALCULATION PLA
L3.2	SECOND LEVEL EX
L3.3	THIRD LEVEL EXTE CALCULATION PLA
L3.4	FOURTH LEVEL EX
L3.5	FIFTH LEVEL EXTE CALCULATION PLA

Grand total: 43



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### OWNER

JON HORTON & TIFFANY Lot 12-The Ridge, Town of Mountain Village, CO. 81435

### **ARCHITECT**:

**STEVE MORTON - PRINCIPAL** 221 S. PINE ST. P.O. BOX 3561 TELLURIDE, CO. 81435 970.708.2246 SMORTON@MORTONARCHIETCS.COM

### CIVIL:

AEC CONSULTING BUILT ENVIRONMENTS SPECIALISTS 415 NORTH TEJON STREET COLORADO SPRINGS, COLORADO 80903 413.961.9453 NANDERSEN@AECCONSULTINGSERVICES.COM

### LANDSCAPE

RICHFIELD LAND DESIGN LANDSCAPE ARCHITECTURE AND LAND PLANNING

### STRUCTURAL:

ALPINE EDGE ENGINEERING LLC MATTHEW D. HEPP, P.E. 605 RIVER PARK DR. RIDGWAY, CO 81432 970.318.1469 MATTHEPPENG@GMAIL.COM

### **MEP-ENGINEERS**:

BIGHORN CONSULTING ENGINEERS, CO. BLAINE BUCK, P.E. 386 INDIAN ROAD, **GRAND JUNCTION, CO 81501** 970.241.8709 BLAINE@BIGHORNENG.COM

### **INTERIOR DESIGN:**

### TBD

### LIGHTING DESIGN:

**CRAIG SPRING - PRINCIPAL** 618 MOUNTAIN VILLAGE BLVD. STE. 203A P.O. BOX 3610 MOUNTAIN VILLAGE, CO. 81435 970.729.8892 craig@luminosityald.com

### **CONTRACTOR:**

HT DEVELOPMENT

### PROJECT SUMMARY - 12.07.23

**SINGLE FAMILY DWELLING UNIT - LOT 12** 

1ST/LOWER LIVING 2ND/LOWER LIVING 3RD/MAIN LIVING 4TH/UPPER LIVING 5TH/UPPER LIVING	4,689 S.F. 5,654 S.F. 5,684 S.F. 3,307 S.F. 1,979 S.F.
TOTAL LIVING	21,313 S.F.
5TH LEVEL PATIO 3RD LEVEL PATIO 2ND LEVEL PATIO 1ST LEVEL PATIO 3RD LEVEL PORT COCHERE	1,236 S.F. 1,166 S.F. 1,960 S.F. 1,166 S.F. 160 S.F.
TOTAL EXT. SURFACE	5,688 S.F.
TOTAL CAR COURT	620 S.F.
LOT 164-A4 TMV LOT 12 RIDGELINE LOT AREAS	

PARKING REQ.

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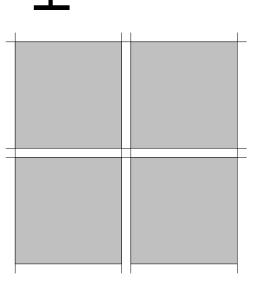
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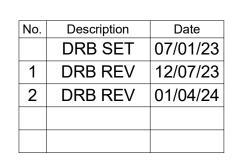
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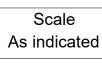
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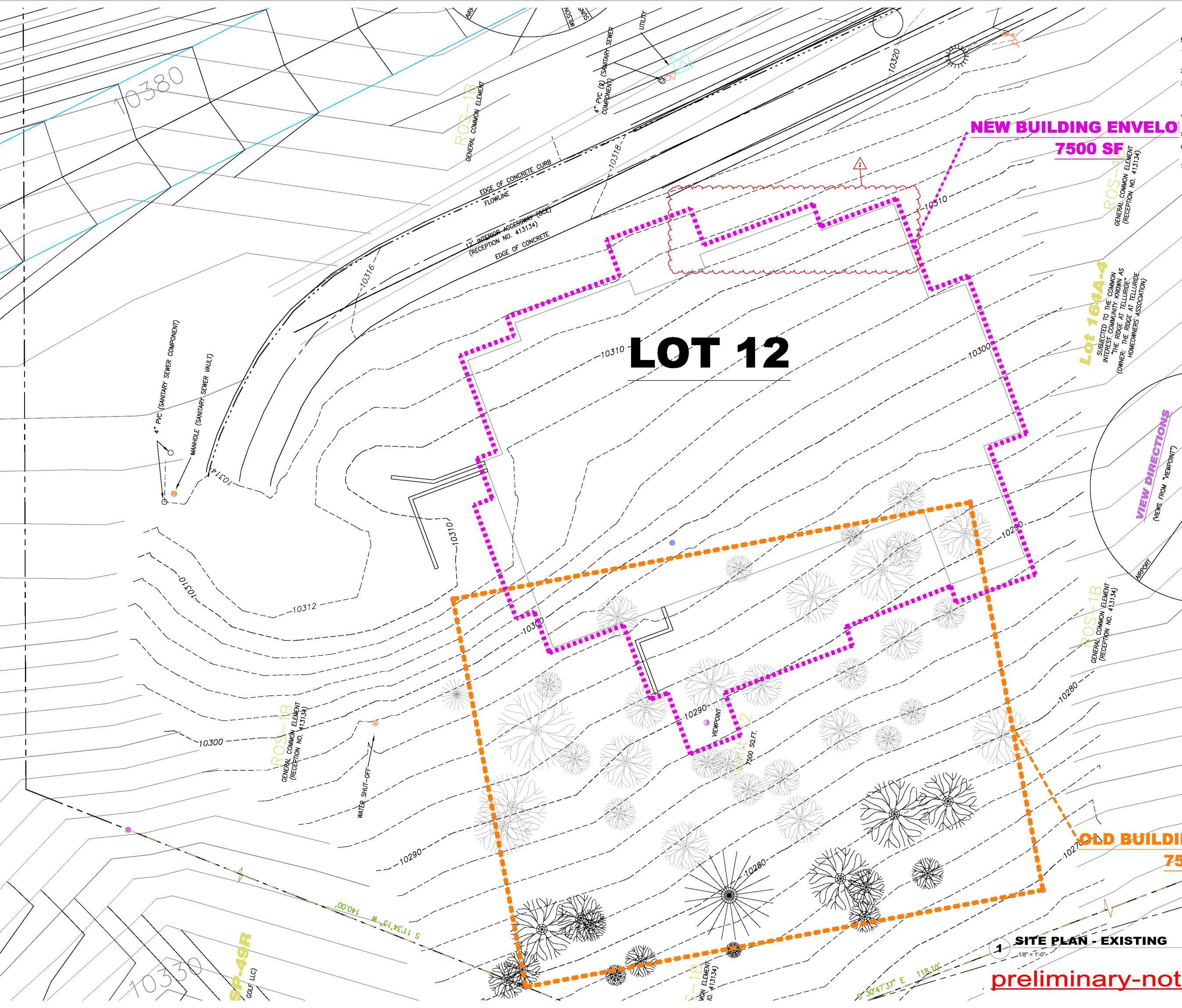
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Project Number MAI-23002	
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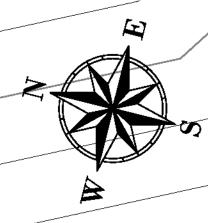
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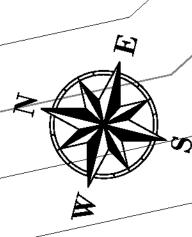
SITE PLAN - EXISTING

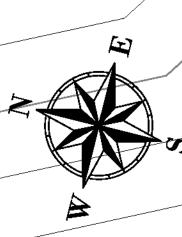
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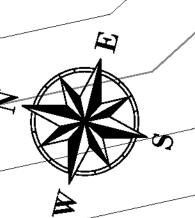
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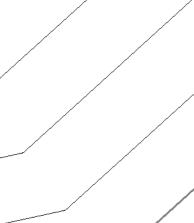


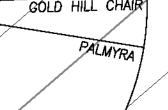












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SILT FENCING MAY BE REQUIRED AT A INSPECTOR'S REQUEST. ALL EXCAVATION, CONSTRUCTION AND BACKFILL TO BE DONE

BUILDING DEPARTMENT AND THE DRB ON ALL STAGING ISSUES.

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IT IS THE RESPONDSIBILITY OF THE CONTRACTOR TO OBTAIN AND FOLLOW THE SOILS REPORT AND ALL RECOMENDATIONS

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**ISSUE LOG** 

DRB SET 07/01/23

1 DRB REV 12/07/23 DRB REV 01/04/24

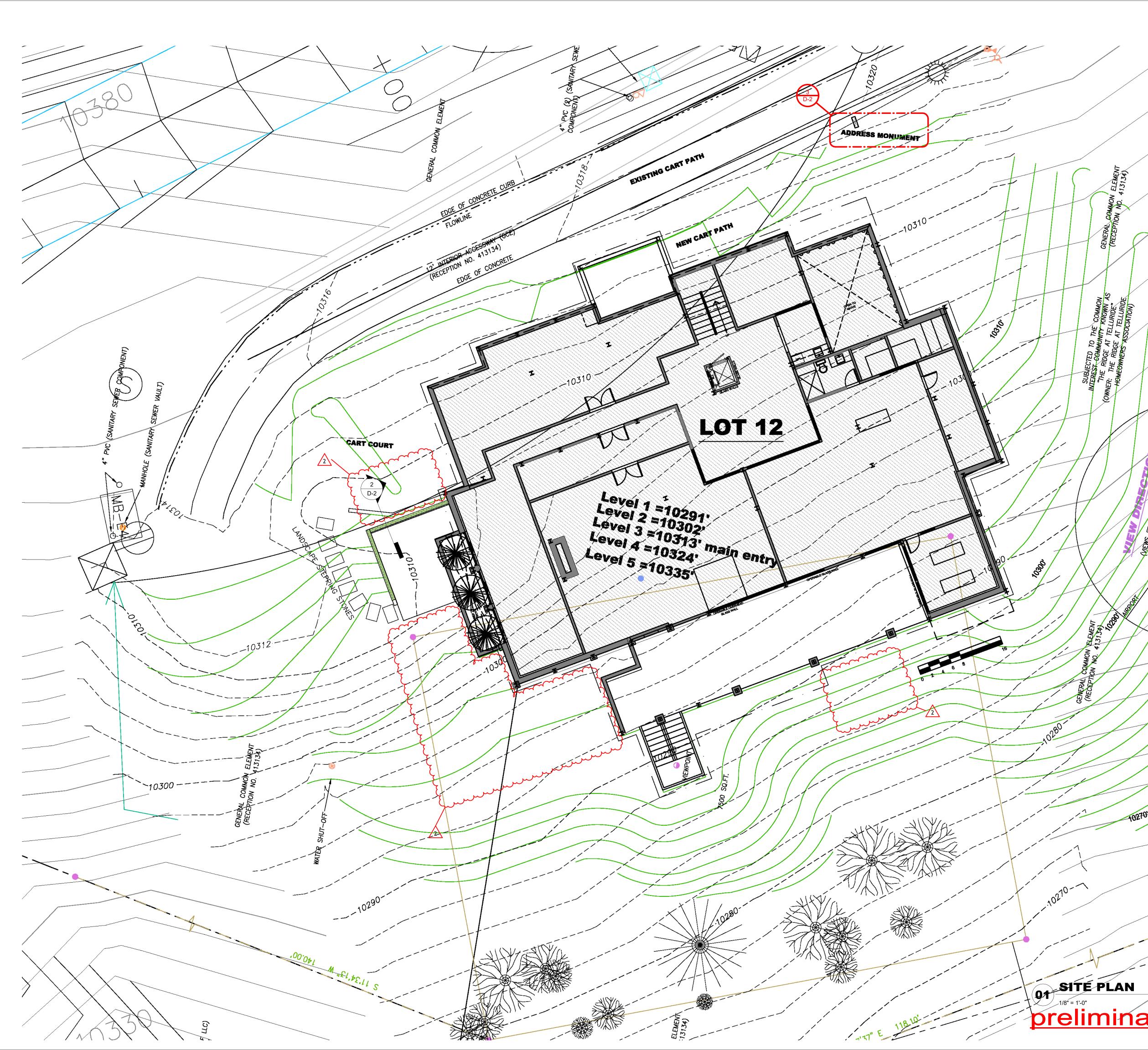
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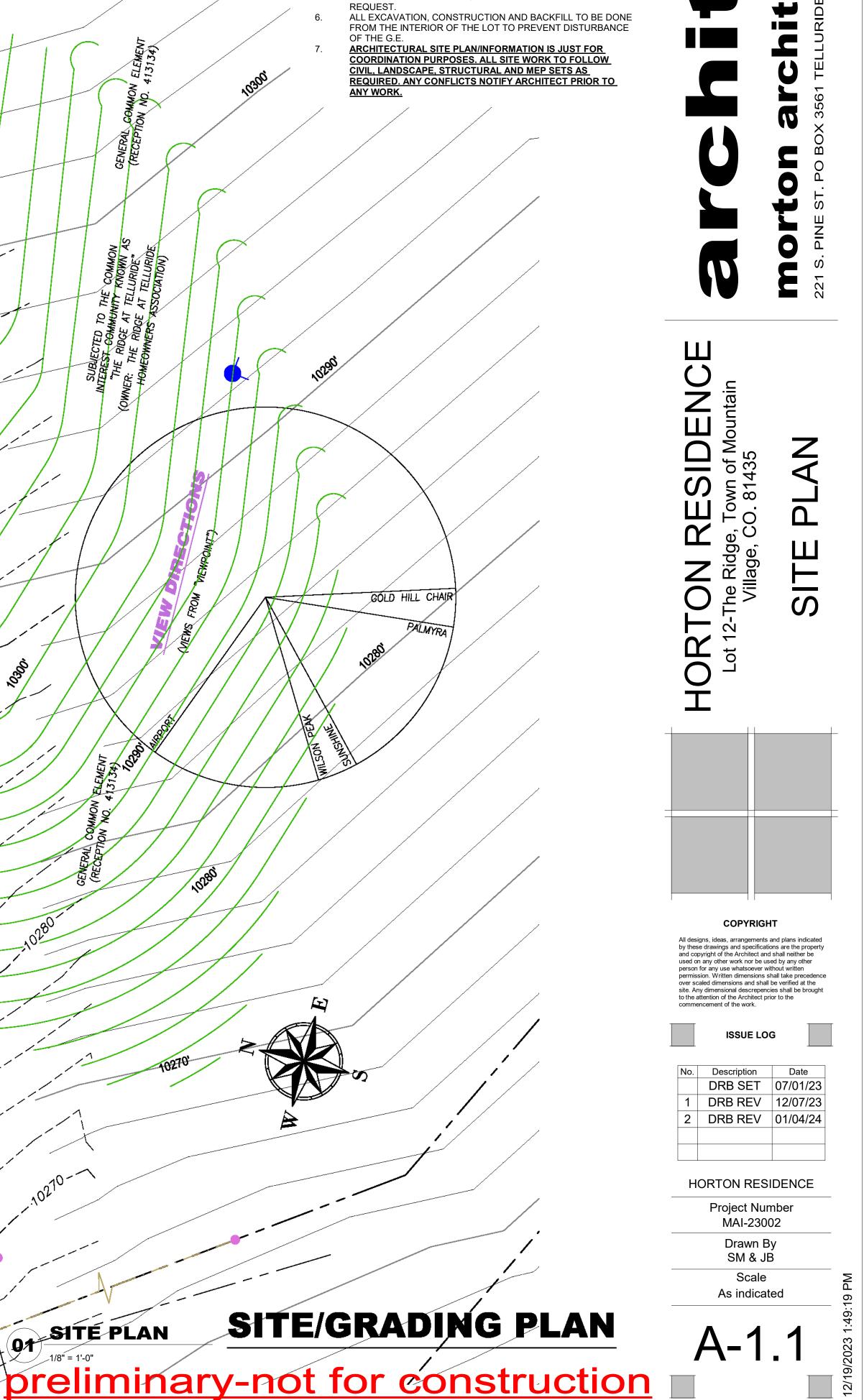
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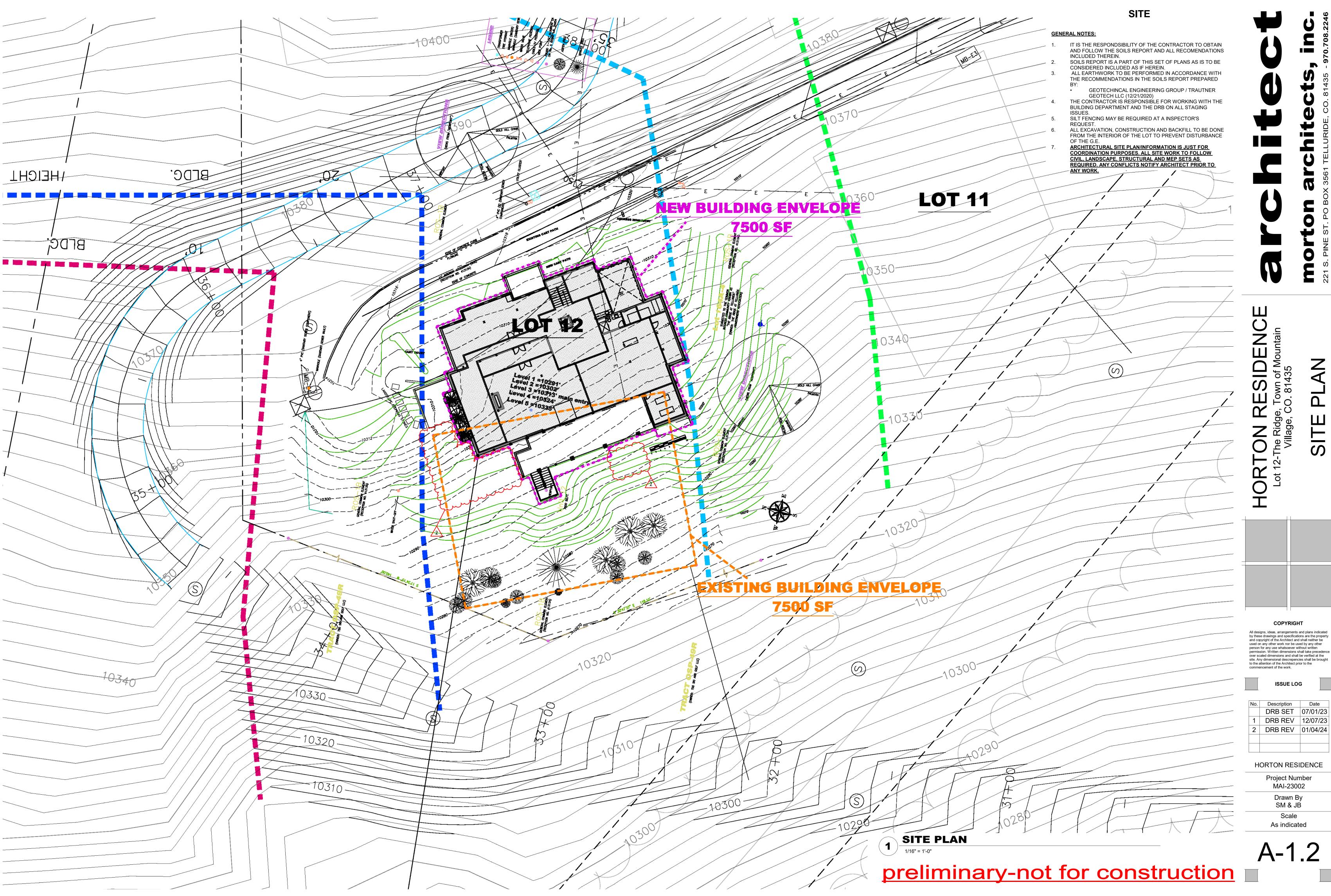
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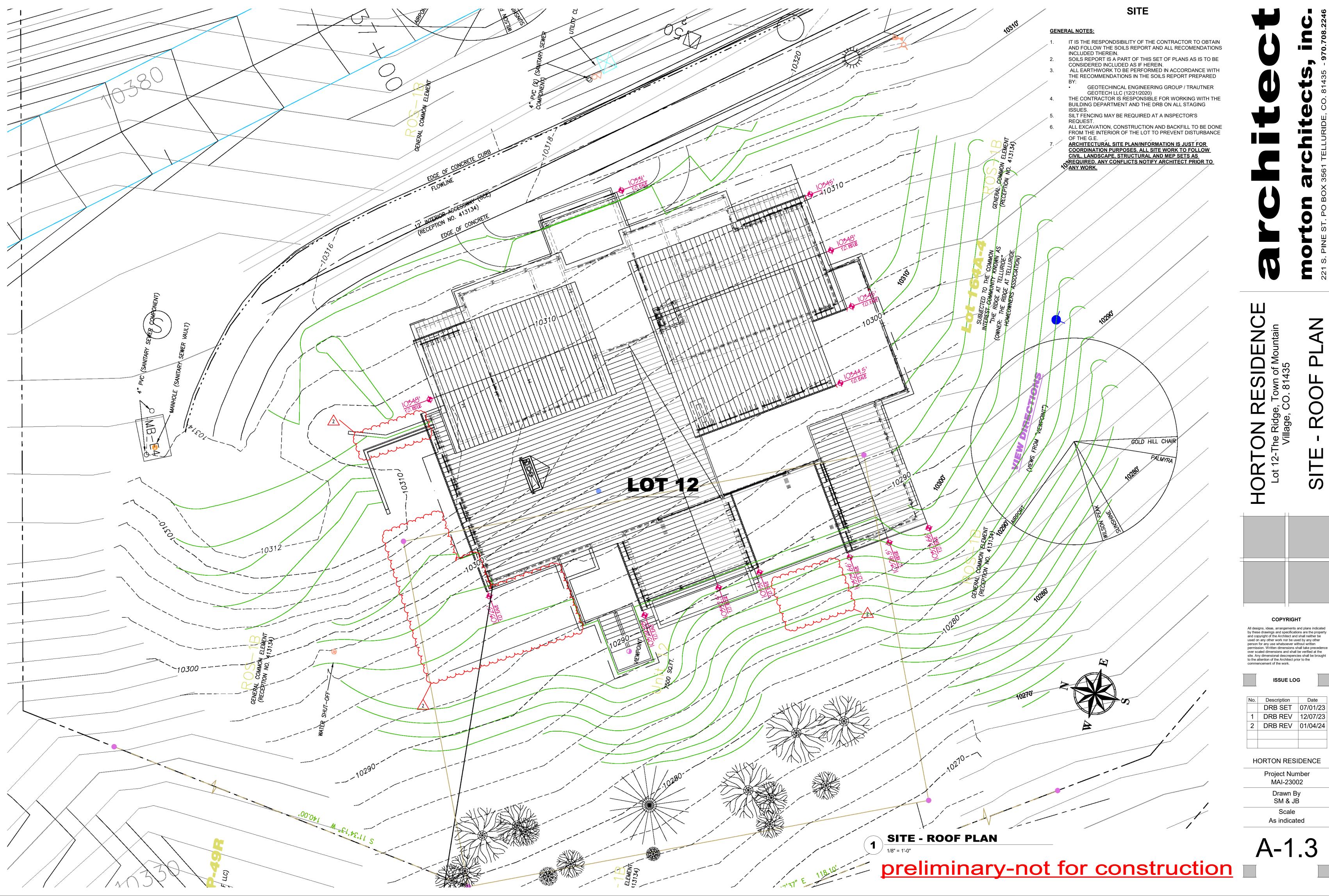
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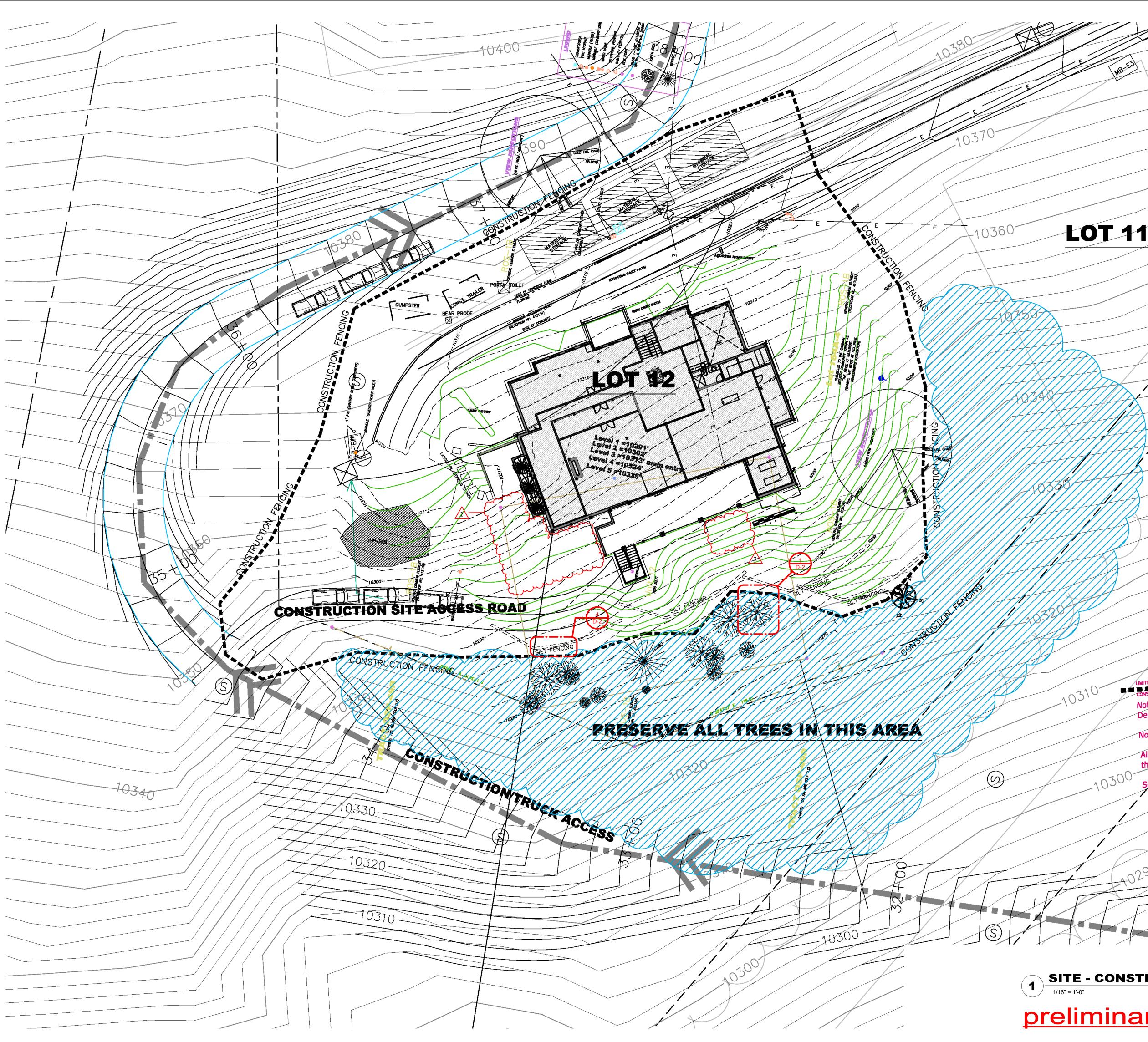
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BUILDING DEPARTMENT AND THE DRB ON ALL STAGING ISSUES.

SILT FENCING MAY BE REQUIRED AT A INSPECTOR'S REQUEST.

ALL EXCAVATION, CONSTRUCTION AND BACKFILL TO BE DONE FROM THE INTERIOR OF THE LOT TO PREVENT DISTURBANCE

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ARCHITECTURAL SITE PLAN/INFORMATION IS JUST FOR

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Description Date DRB SET 07/01/23 1 DRB REV 12/07/23 DRB REV 01/04/24

HORTON RESIDENCE

Project Number MAI-23002 Drawn By SM & JB Scale



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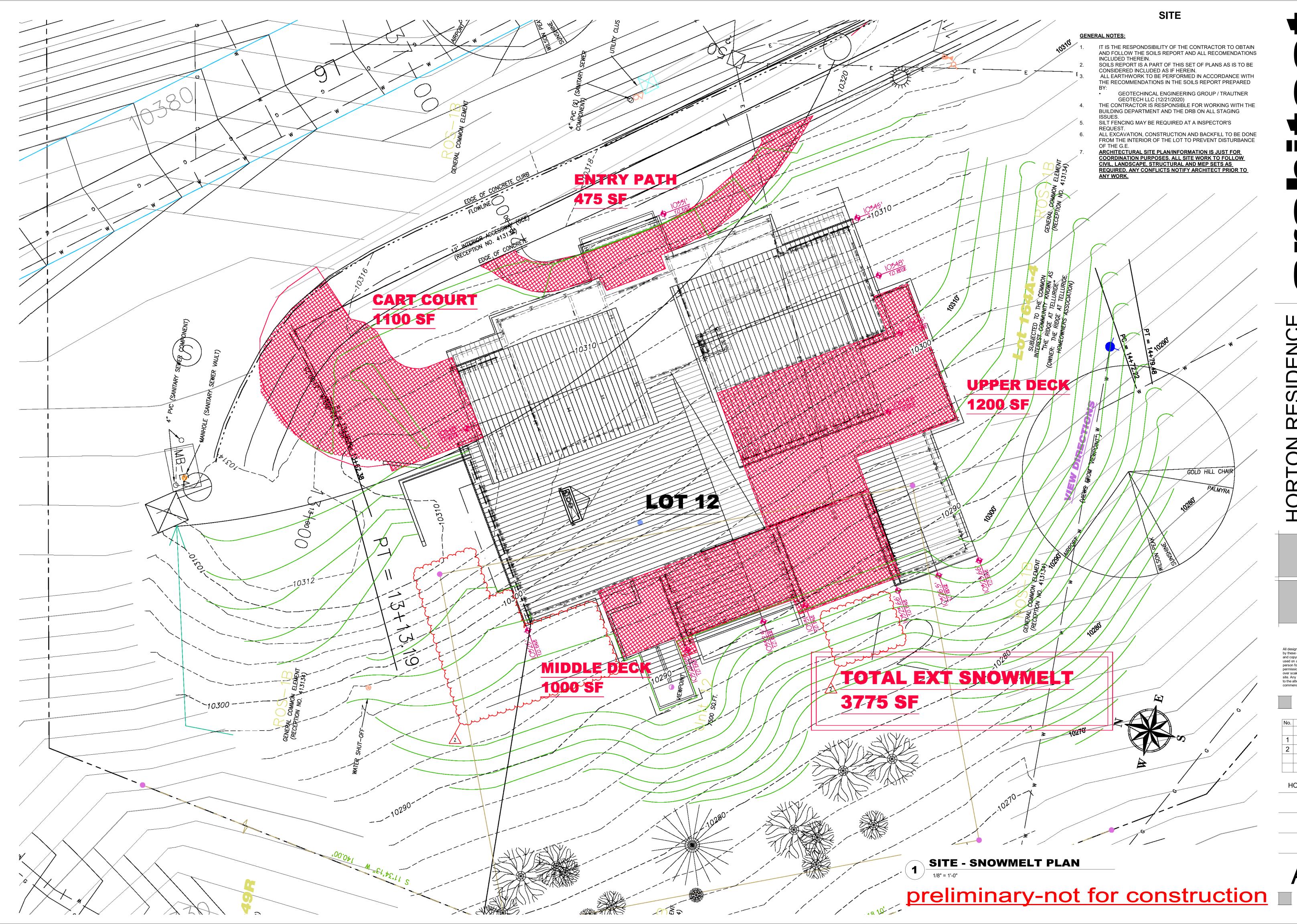
LIMITS OF CONSTRUCTION Note: The contractor is responsible for working with the Buildin. Department and the DRB on all staging issues. Note: Silt fencing may be required at an inspector's request. All excavation, construction and backfill to be done from the interior of the lot to prevent disturbance of the G.E. 10300-See tree proteection drawing on sheet D-

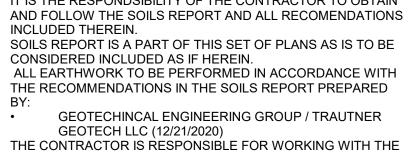
**SITE - CONSTRUCTION STAGING PLAN** 

preliminary-not for construction

**GENERAL NOTES:** 

INCLUDED THEREIN.





ALL EARTHWORK TO BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE SOILS REPORT PREPARED

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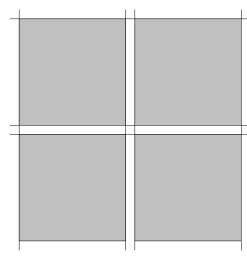


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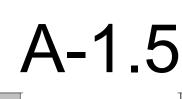
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No.	Description	Date
	DRB SET	07/01/23
1	DRB REV	12/07/23
2	DRB REV	01/04/24

HORTON RESIDENCE

Project Number MAI-23002 Drawn By SM & JB Scale As indicated



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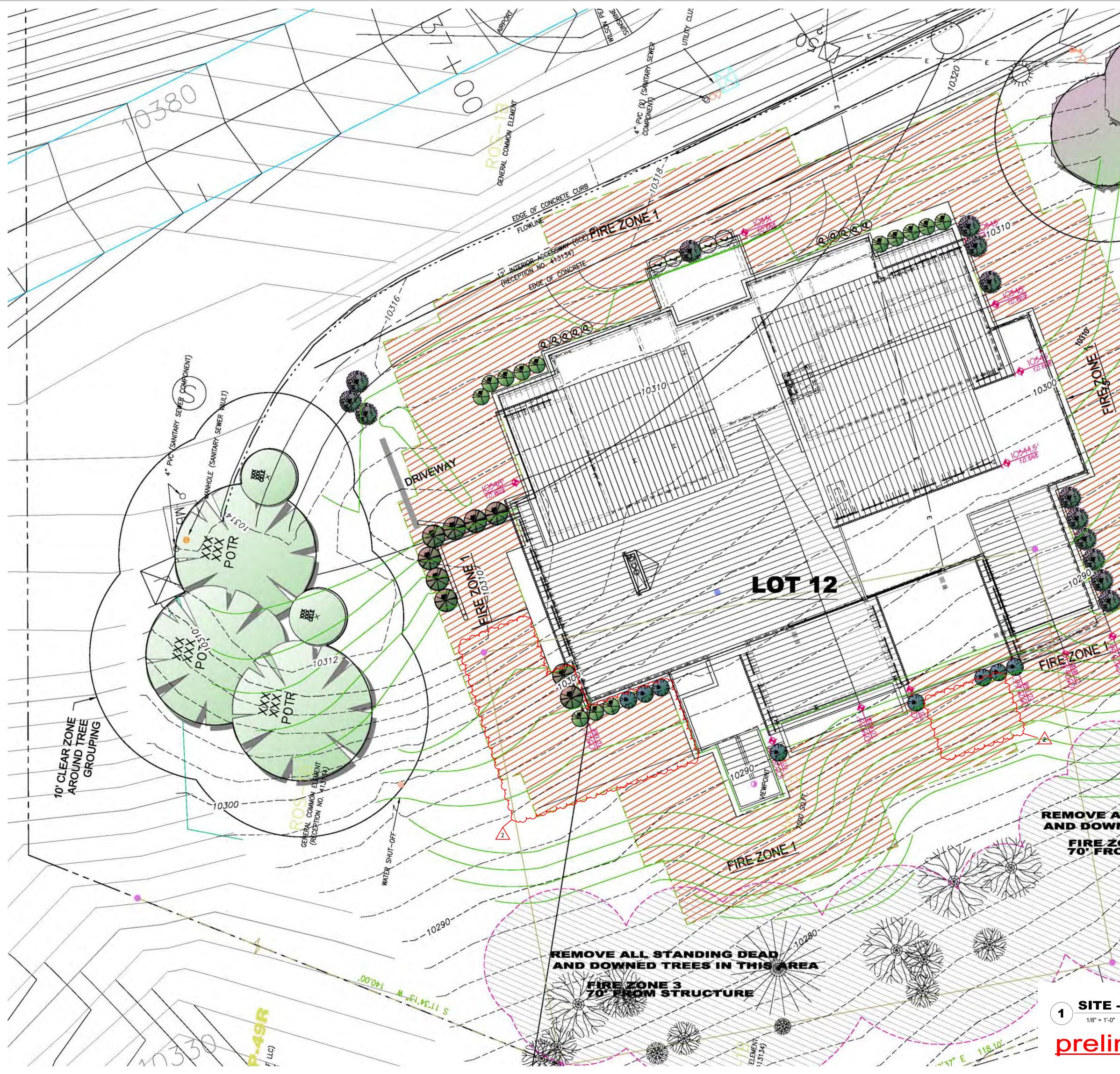
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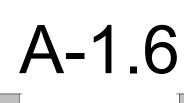
person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional descrepencies shall be brought to the attention of the Architect prior to the commencement of the work.

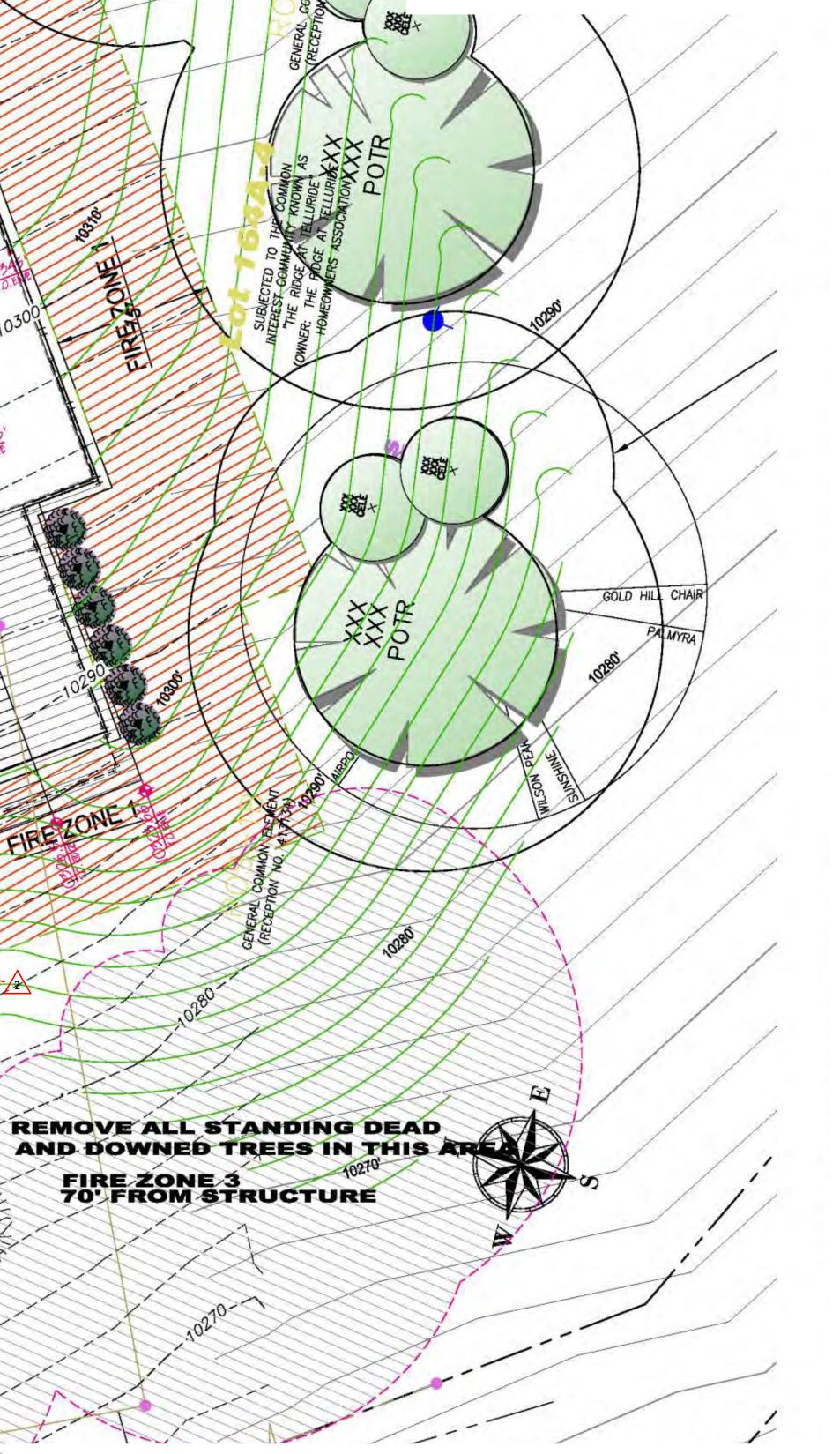


No.	Description	Date
	DRB SET	07/01/23
1	DRB REV	12/07/23
2	DRB REV	01/04/24

HORTON RESIDENCE

Project Number MAI-23002 Drawn By SM & JB Scale As indicated





**SITE - FIRE MITIGATION** 

### preliminary-not for construction

IT IS THE RESPONDSIBILITY OF THE CONTRACTOR TO OBTAIN

AND FOLLOW THE SOILS REPORT AND ALL RECOMENDATIONS

SOILS REPORT IS A PART OF THIS SET OF PLANS AS IS TO BE CONSIDERED INCLUDED AS IF HEREIN. ALL EARTHWORK TO BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE SOILS REPORT PREPARED

BUILDING DEPARTMENT AND THE DRB ON ALL STAGING

ALL EXCAVATION, CONSTRUCTION AND BACKFILL TO BE DONE FROM THE INTERIOR OF THE LOT TO PREVENT DISTURBANCE

ARCHITECTURAL SITE PLAN/INFORMATION IS JUST FOR

COORDINATION PURPOSES. ALL SITE WORK TO FOLLOW CIVIL, LANDSCAPE, STRUCTURAL AND MEP SETS AS REQUIRED. ANY CONFLICTS NOTIFY ARCHITECT PRIOR TO

SILT FENCING MAY BE REQUIRED AT A INSPECTOR'S

GEOTECHINCAL ENGINEERING GROUP / TRAUTNER GEOTECH LLC (12/21/2020) THE CONTRACTOR IS RESPONSIBLE FOR WORKING WITH THE

**GENERAL NOTES:** 

BY:

ISSUES.

REQUEST.

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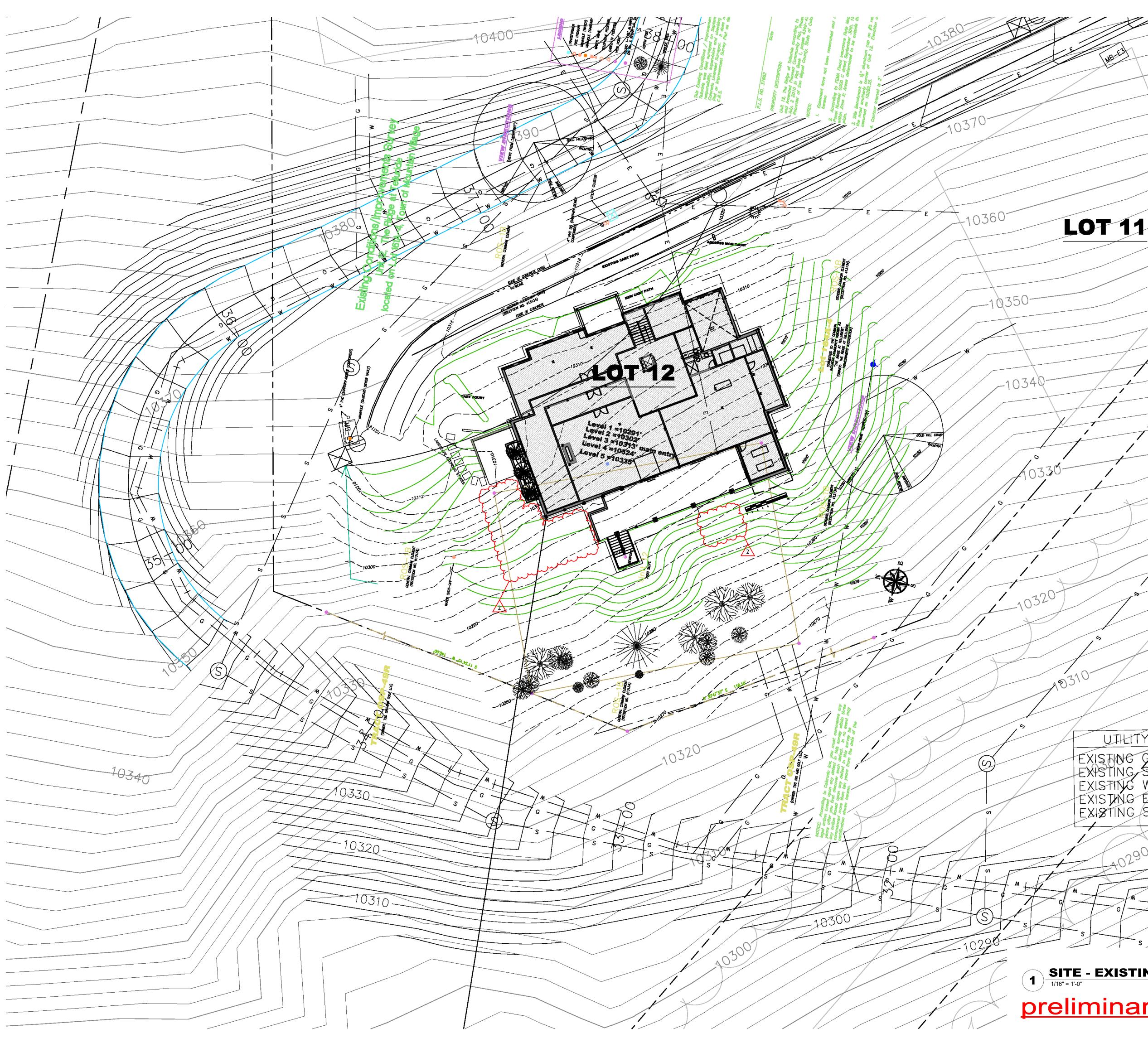
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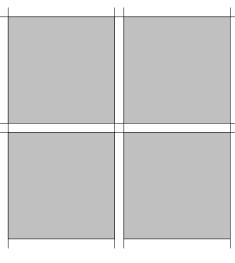




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COPYRIGHT

All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the Architect and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the site. Any dimensional descrepencies shall be brought to the attention of the Architect prior to the commencement of the work.



110.	Booonplion	Duto
	DRB SET	07/01/23
1	DRB REV	12/07/23
2	DRB REV	01/04/24

HORTON RESIDENCE

Project Number MAI-23002 Drawn By SM & JB Scale As indicated



**GENERAL NOTES:** 

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5

IT IS THE RESPONDSIBILITY OF THE CONTRACTOR TO OBTAIN AND FOLLOW THE SOILS REPORT AND ALL RECOMENDATIONS INCLUDED THEREIN.

SITE

SOILS REPORT IS A PART OF THIS SET OF PLANS AS IS TO BE CONSIDERED INCLUDED AS IF HEREIN. ALL EARTHWORK TO BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE SOILS REPORT PREPARED BY

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ARCHITECTURAL SITE PLAN/INFORMATION IS JUST FOR COORDINATION PURPOSES. ALL SITE WORK TO FOLLOW CIVIL, LANDSCAPE, STRUCTURAL AND MEP SETS AS REQUIRED. ANY CONFLICTS NOTIFY ARCHITECT PRIOR TO ANY WORK.



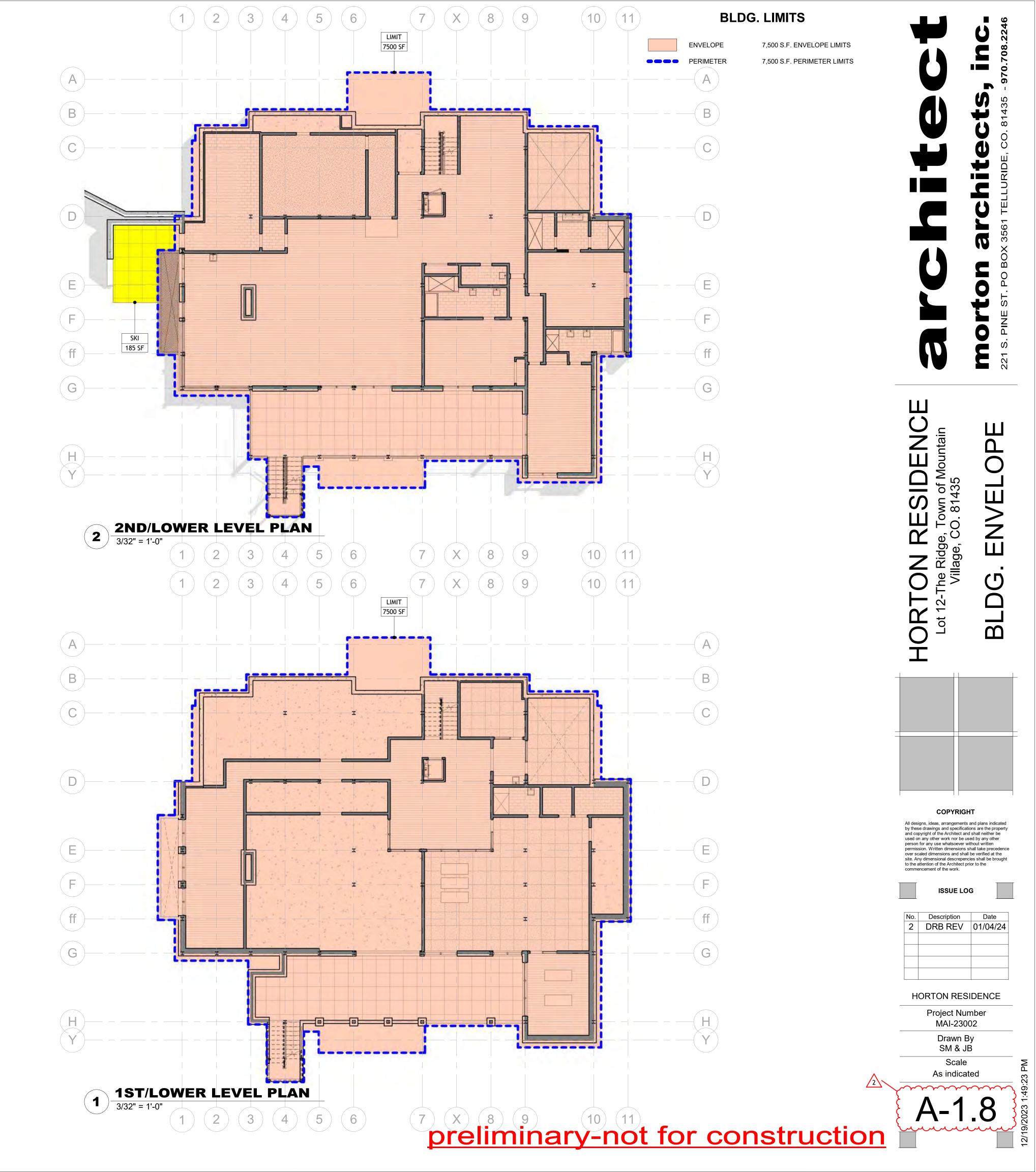
UTILITY LEGEND EXISTING GAS EXISTING SEWER EXISTING WATER EXISTING ELECTRIC EXISTING STREET LIGHI

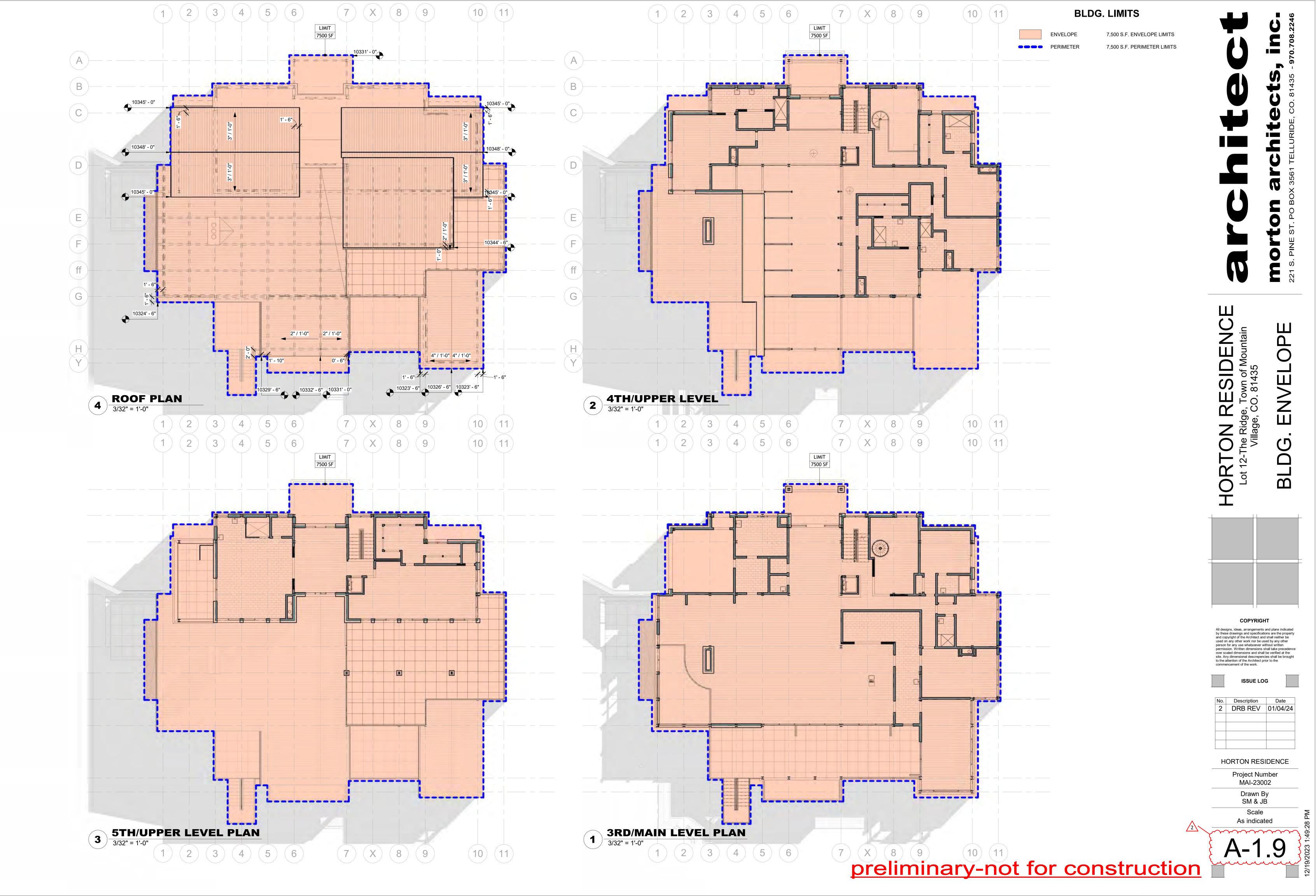
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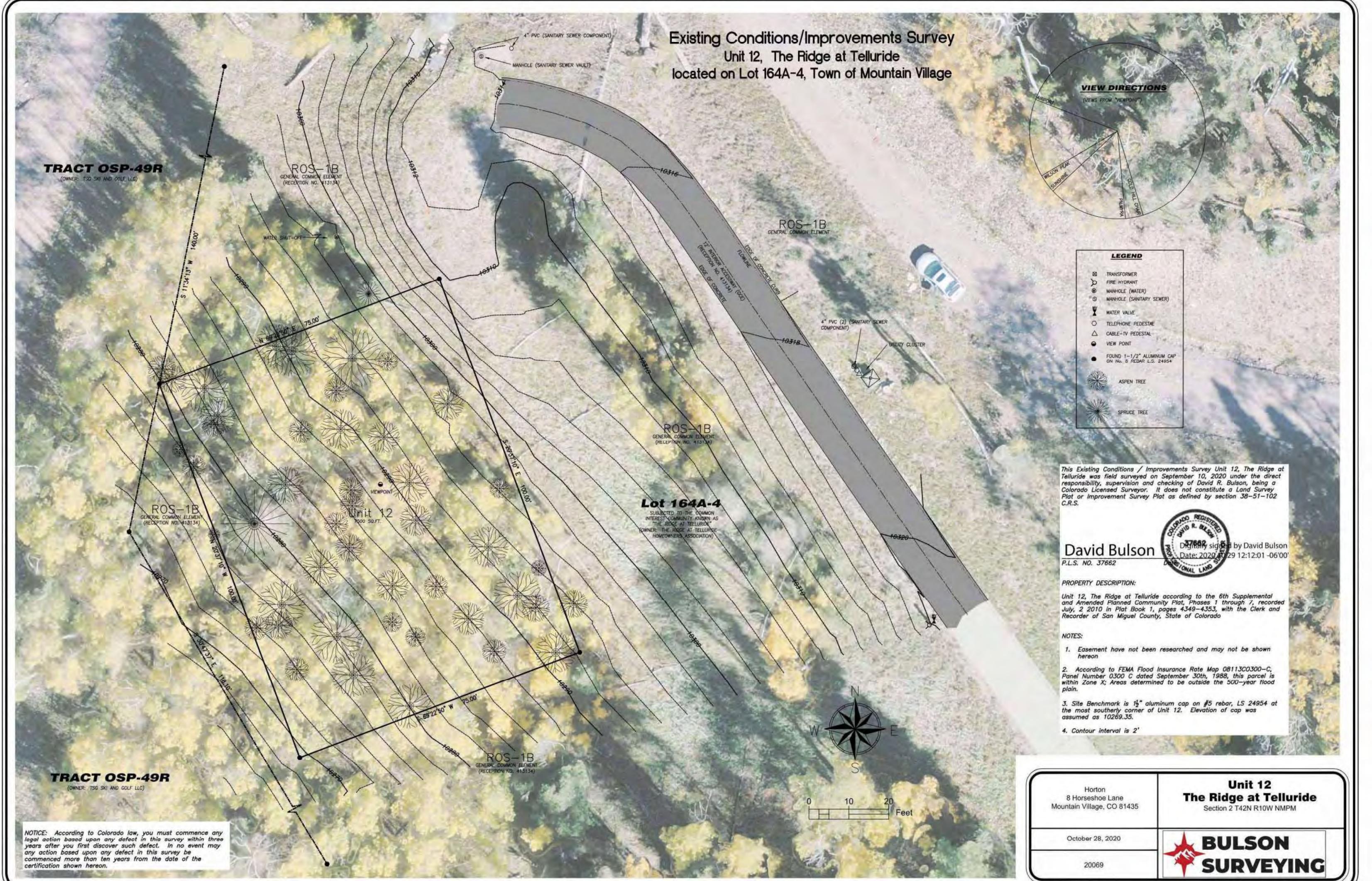
1 SITE - EXISTING UTILITY PLAN

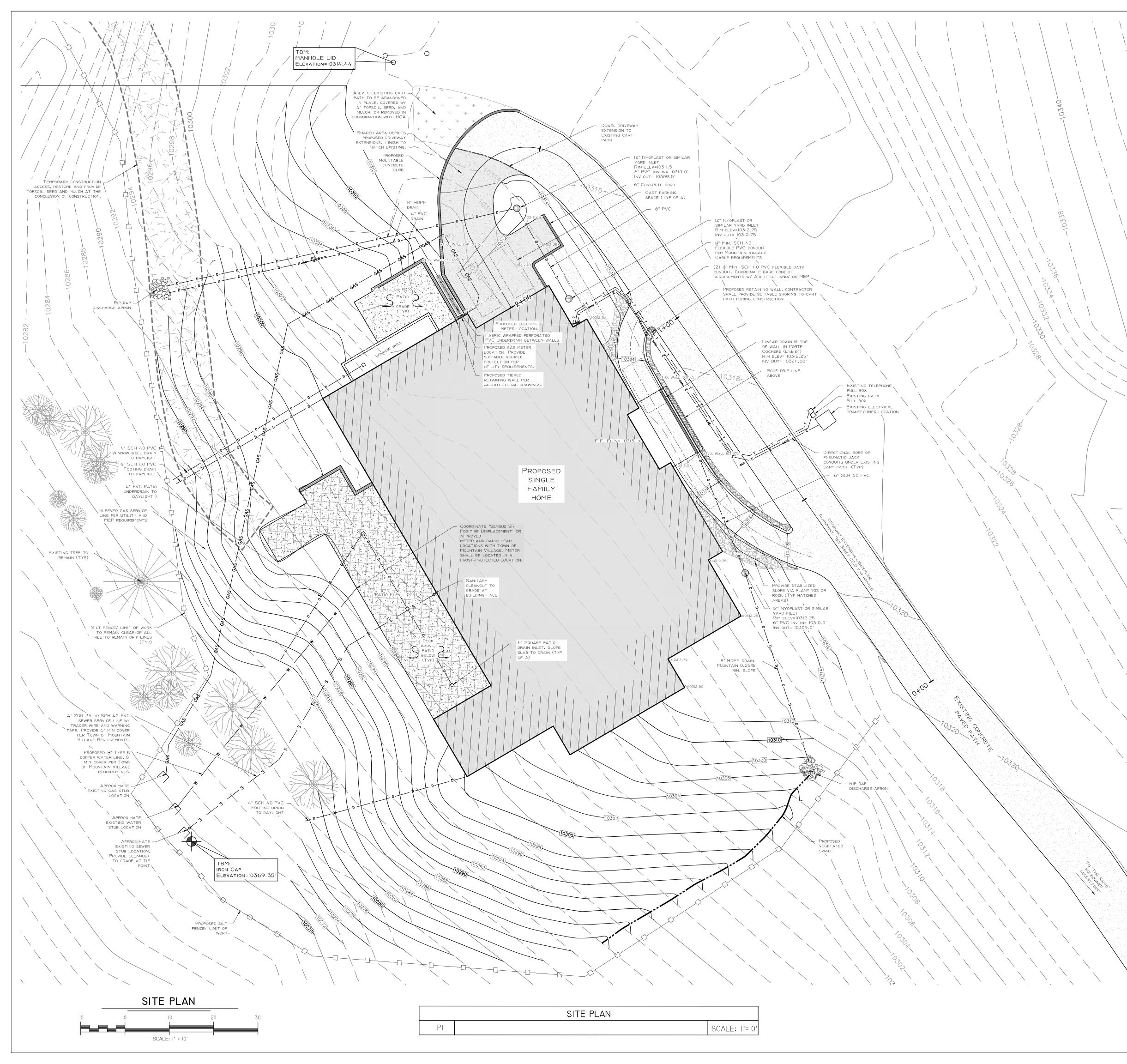
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preliminary-not for construction









GENERAL NOTES: CONTOUR INTERVAL IS 2' REFERENCED TO A LOCAL ARBITRARY DATUM.

CONTRACTOR TO NOTIFY ENGINEER BEFORE PROCEEDING IF CONDITIONS

COMMENCEMENT OF WORK. CONTRACTOR SHALL TRANSFER BENCHMARK TO SUITABLE PERMANENT LOCATION AWAY FROM DISRUPTION UPON

DIFFER FROM THOSE INDICATED ON THIS PLAN.

ALL UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE TO NOTIFY COLORADO 811 PRIOR TO

COMMENCEMENT OF WORK AS NECESSARY.

ALL PROPOSED WORK SHALL BE IN COMPLIANCE WITH COLORADO SANITARY, PLUMBING, BUILDING, ENVIRONMENTAL, AND FIRE CODE REQUIREMENTS.

THIS PLAN IS NOT THE RESULT OF A PROPERTY BOUNDARY SURVEY. ALL PROPERTY LINES SHOWN ARE APPROXIMATE. PROPERTY LINE INFORMATION IS BASED ON FIELD RECOVERED MONUMENTATION, INFORMATION PROVIDED BY THE LAND OWNER, AND ASSESSORS OFFICE. THE BUILDING OWNER SHALL ENSURE ALL PROPOSED WORK IS TO OCCUR ON LAND UNDER THEIR OWNERSHIP, OR PROPER CONSTRUCTION EASEMENTS ARE IN PLACE, PRIOR

TO COMMENCING CONSTRUCTION ACTIVITIES. TOPOGRAPHIC MAPPING PERFORMED BY OTHERS.

RECOMMENDED TOE-IN 

SILT FENCE INSTALLATION DETAIL DI SCALE: N.T.S

- CRUSHED STONE BACKFILL HEIGHT 1'-3' Ø BOULDERS FOUND ON SITE, IMPORTED AS NECESSARY OR APPROVED EQUAL VARIES FILTER FABRIC MIRAFI 140-N (OR APPROVED EQUAL) TOP SO - FILL VOIDS WITH SMALLER STONES COMPACTED OR UNDISTURBED SUBGRADE

LANDSCAPE RETAINING WALL DETAIL SCALE: N.T.S D2

MEET EXISTING GRADE WIDTH TO BE APPROX. 3' INSTALL SC250 EROSION CONTROL FABRIC BY NORTH AMERICAN GREEN RAKE TOPOSOIL APPLY SEED VEGETATED SWALE DETAIL D3 SCALE: N.T.S.

AEC CONSULTING BUILT ENVIRONMENT SPECIALISTS Box 41 | Glendale, Massachusetts, 01229 & 415 North Tejon Street | Colorado Springs, Colorado 80903 (413) 961–9453 | NAndersen@AECConsultingServices.com

Misc. Grading, deck & patio 12/18/23 Date REVISION Revisions DC/NWA NWA 10/17/23 CHECKED Project Data

ARREN ට <u>5</u>9734

AS NOTED SCALE NC-CV23-810 Drawing Number Single Family DATE RESIDENTIAL DEVELOPMENT

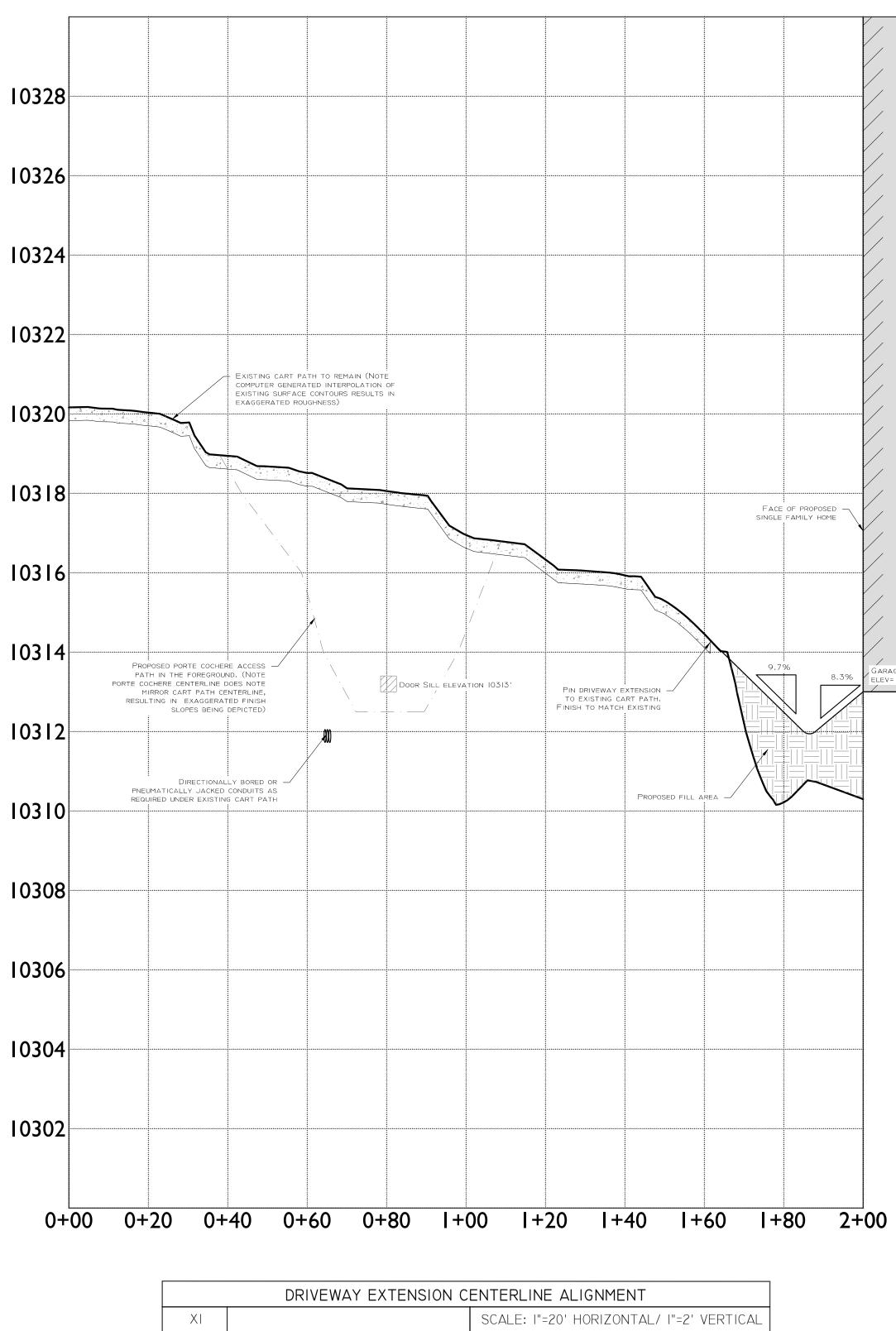
PROJECT TYPE

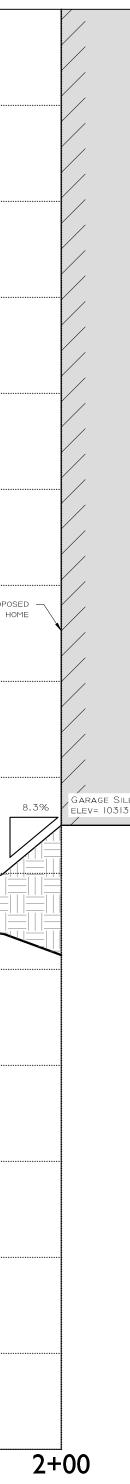
JOHN & TIFFANY HORTON 24008 N. 123RD WAY SCOTTSDALE, AZ 85255 CLIENT

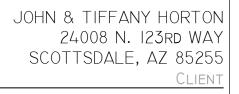
HORTON RESIDENCE LOT 12 - THE RIDGE MOUNTAIN VILLAGE COLORADO, 81435 LOCATION

DRAFT PRELIMINARY Grading and Utility Plan TITIE 1 OF 2 CI.0 Page Sheet









HORTON RESIDENCE LOT 12 - THE RIDGE MOUNTAIN VILLAGE COLORADO, 81435 LOCATION

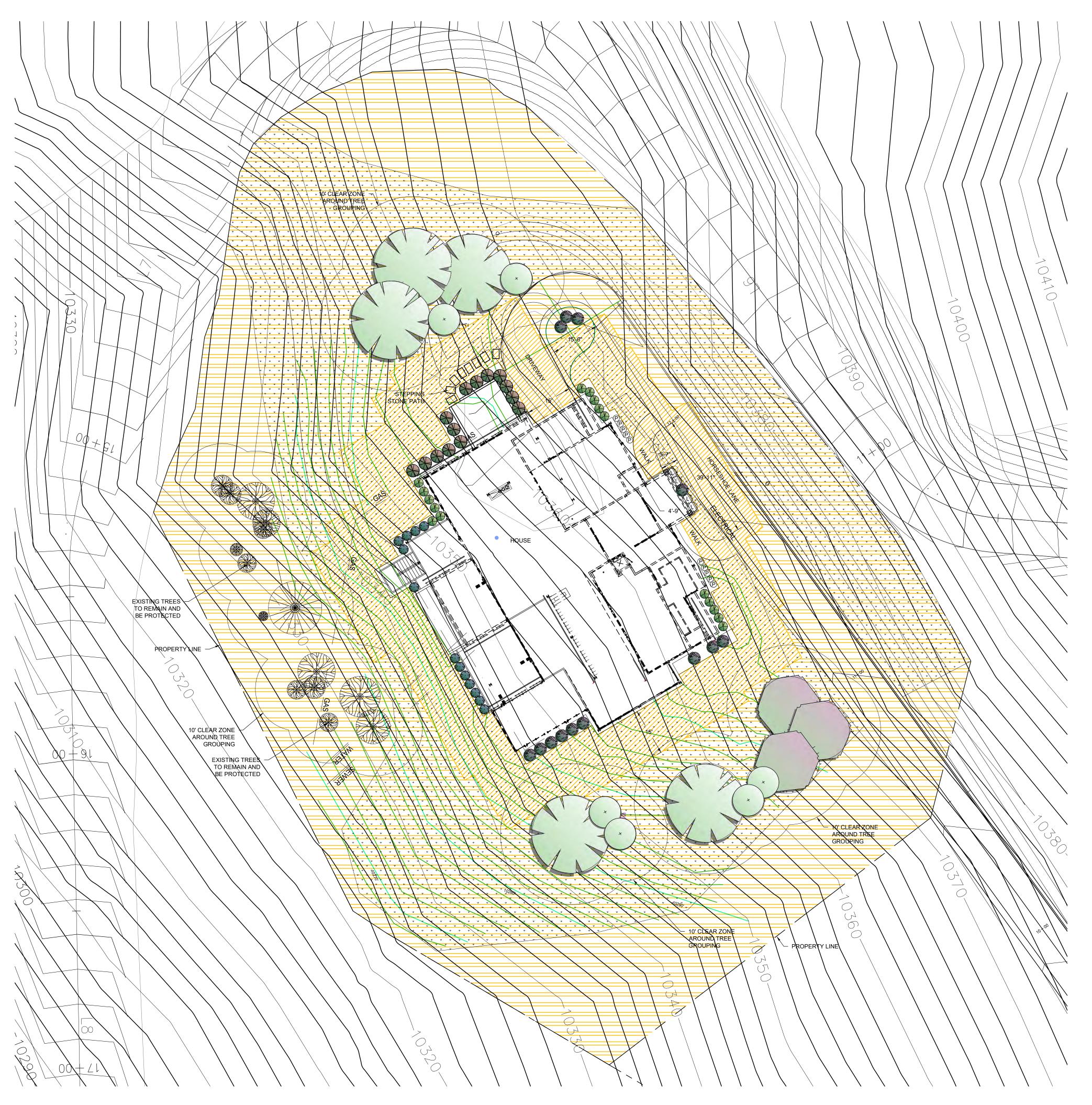
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\_\_\_\_\_ AS NOTED Scale NC-CV23-810 Drawing Number SINGLE FAMILY RESIDENTIAL DEVELOPMENT PROJECT TYPE



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			TREES			
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)	6	CELE	CERCOCARPUS I			
	5	POTR	POPULUS TREMU			
			SHRUBS			
ALC: NO	13	FAPA	FALLUGIA PARAD			
)	13	PHMI	PHILADELPHUS N			
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	14	ROWO	ROSA WOODSII			
-						
			PERENNIALS			
.)	4	L	LAVANDULA ANG			
.) )	10	Р	PHLOX SUBULAT			
	FIRE MITIGATION ZONE 1 -					
		AREA	AREA			
			FIRE MITIGATION ZONE 2 - TREE GROUPS.			
		INCE GRO	TREE GROUPS.			
	Ψ Ψ	REVEGET	ATION AREA - SEI			
	$\checkmark$		DE. MIX SHALL IN			
			ARIZONA FESCUE (5%), HA			
			BLUEGRASS (15%), CANADA SLENDER WHEATGRASS (1			
		JLENDEN	SELIDER WHEATGRASS (1			

### LANDSCAPE NOTES:

LANDSCAPE WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, THE SUPPLYING OF ALL PLANT MATERIALS SPECIFIED, THE FURNISHING OF ALL LABOR, WATER, ELECTRICITY, EQUIPMENT AND ALL MATERIALS CALLED FOR, INCLUDING ALL RELATED PREPARATION WORK REGARDING SITE INCONSISTENCIES AND SOIL ISSUES.

CONTRACTOR SHALL MAINTAIN ALL PLANTS AND PLANTED AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE OWNER AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE.

ALL LANDSCAPE WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. PERMITTING IS THE RESPONSIBILITY OF THE CONTRACTOR.

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION, AT NO ADDITIONAL COST TO OWNER.

THE CONTRACTOR MUST CONFIRM THE AVAILABILITY OF ALL SPECIFIED PLANT MATERIAL PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL ARRANGE FOR APPROVAL FOR PLANT MATERIALS BY THE OWNER VIA FIELD VISITS/TAGGING AND OR SUBMISSION OF PLANT SAMPLES AT THE DISCRETION OF THE OWNER.

ALL PLANT MATERIAL MUST MEET OR EXCEED THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK. ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. ALL CONTAINERS ARE MINIMUM. CONTAINER SIZE MAY BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.

ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL AT THE JOB SITE BY THE OWNER PRIOR TO INSTALLATION. WHEN DELIVERED PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS. THE OWNER RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED AND FOUND TO BE ACCEPTABLE. THE CONTRACTOR SHALL REMOVE REJECTED PLANTS AND MATERIALS FROM THE PLANTING SITE WITHIN 72 HOURS AND REPLACE WITH ACCEPTABLE MATERIAL AT THE COST OF CONTRACTOR.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SOIL IN ALL PLANTED AREAS IS OF AN APPROPRIATE TYPE AND CONSISTENCY FOR PLANTING. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING SOIL AND SUITABILITY, AND ANY NECESSARY AMENDMENTS SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. ALL PLANTED AREAS SHALL RECEIVE CLASS I COMPOST AMENDMENT PRIOR TO PLANTING.

ALL FRONT PLANTING BEDS SHALL RECEIVE 3" DEEP ROCK MULCH AS SPECIFIED IN DETAILS.

ALL PLANT MATERIALS SHALL RECEIVE ADEQUATE WATERING BY THE CONTRACTOR AS REQUIRED UNTIL FINAL ACCEPTANCE BY OWNER. THE CONTRACTOR SHALL COORDINATE SUPPLEMENTAL WATERING OF NEWLY PLANTED MATERIAL UNTIL IRRIGATION SYSTEM IS FULLY OPERATIONAL.

THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY CONTRACT DOCUMENT DISCREPANCIES OR CONFLICTS TO THE OWNER, INCLUDING, BUT NOT LIMITED TO MATERIAL QUANTITIES AND LOCATIONS PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS. THE CONTRACTOR MUST COMPARE WITH HIS OWN ESTIMATES. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK AFTER EXECUTION OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIAL ACCORDING TO DRAWINGS.

CONTRACTOR SHALL INSPECT ALL DELIVERED PLANT MATERIAL TO ENSURE ALL MATERIAL MEETS ALL MINIMUM STANDARDS OF THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), INCLUDING SHIPPING STANDARDS.

SHRUB ROOTBALLS ARE APPROXIMATELY 12" IN DIAMETER AND 18" HIGH.

CARE SHOULD BE TAKEN TO NOT OVER DIG HOLES. PLANTS SHOULD BE PLANTED ON UNDISTURBED OR SLIGHTLY COMPACTED SOIL.

WHEN BACKFILLING PLANTER HOLES, STOP AT LEAST TWICE TO WATER IN PLANT AND SOIL. COMPLETE PLANTING WITH A THOROUGH WATERING OF EACH PLANT.

PLANT SCHEDULE						
ME	COMMON NAME	SIZE	HXW	H2O		
DENTATUM	WASATCH MAPLE	#25	20' X 20'	М		
S LEDIFOLIUS	MOUNTAIN MAHOGANY	#15	15' X 15'	L		
AULOIDES	QUAKING ASPEN	#25	40' X 25'	М		
ADOXA	APACHE PLUME	#5	4' X 4'	L		
MICROPHYLLUS	LITTLE-LEAF MOCKORANGE	#5	3' X 3'	М		
RUTICOSA	SHRUBBY CINQUEFOIL	#5	3' X 3'	М		
l	WOOD'S ROSE	#5	3' X 3'	М		
IGUSTIFOLIA 'MUNSTEAD'	MUNSTEAD LAVENDER	#1	3' X 3'	М		
TA	MOSS PHLOX	#1	6" X 18"	М		

- 15' WIDE - NO SHRUBS OR TREES OUTSIDE OF BUILDING

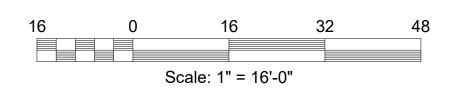
- 100' WIDE OR TO PROPERTY LINE - 10' SPACING BETWEEN

EED ALL DISTURBED AREAS WITH NATIVE SEED MIX PER NCLUDE WESTERN YARROW (5%), TALL FESCUE (10%), ARD FESCUE (5%), CREEPING RED FESCUE (10%), ALPINE DA BLUEGRASS (10%), PERENNIAL RYEGRASS (15%), (10%), MOUNTAIN BROME (15%)

ALL PLANTING SHALL BE IN ACCORDANCE TO MOUNTAIN VILLAGE REGULATIONS.

WIRE BASKETS AND STRAPPING SHALL BE REMOVED FROM ALL PLANT MATERIALS PRIOR TO INSTALLATION, SEE DETAILS.

WHERE POSSIBLE, PLANTING HOLES SHOULD EXTEND TO THREE TIMES THE ROOTBALL WIDTH.





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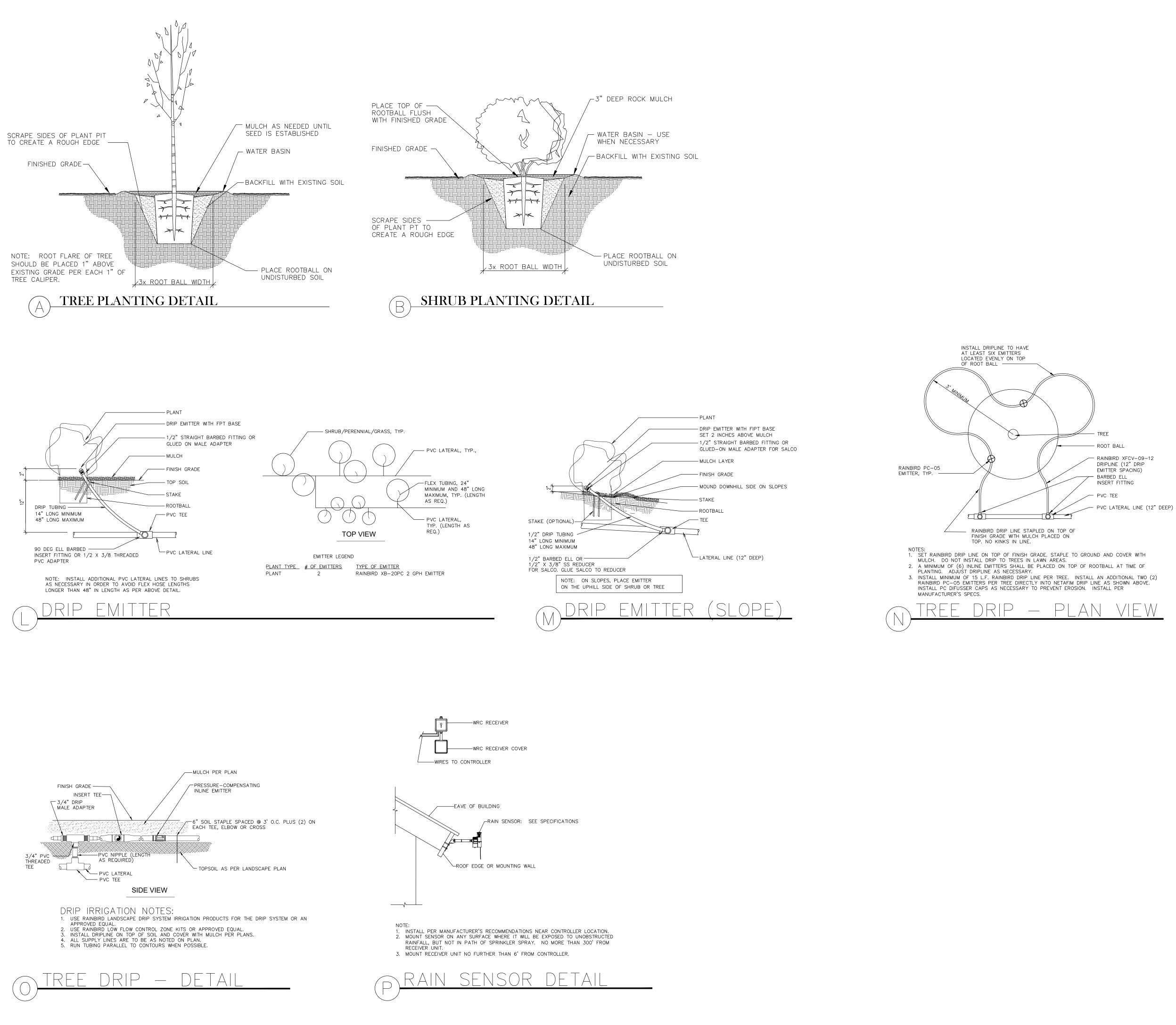
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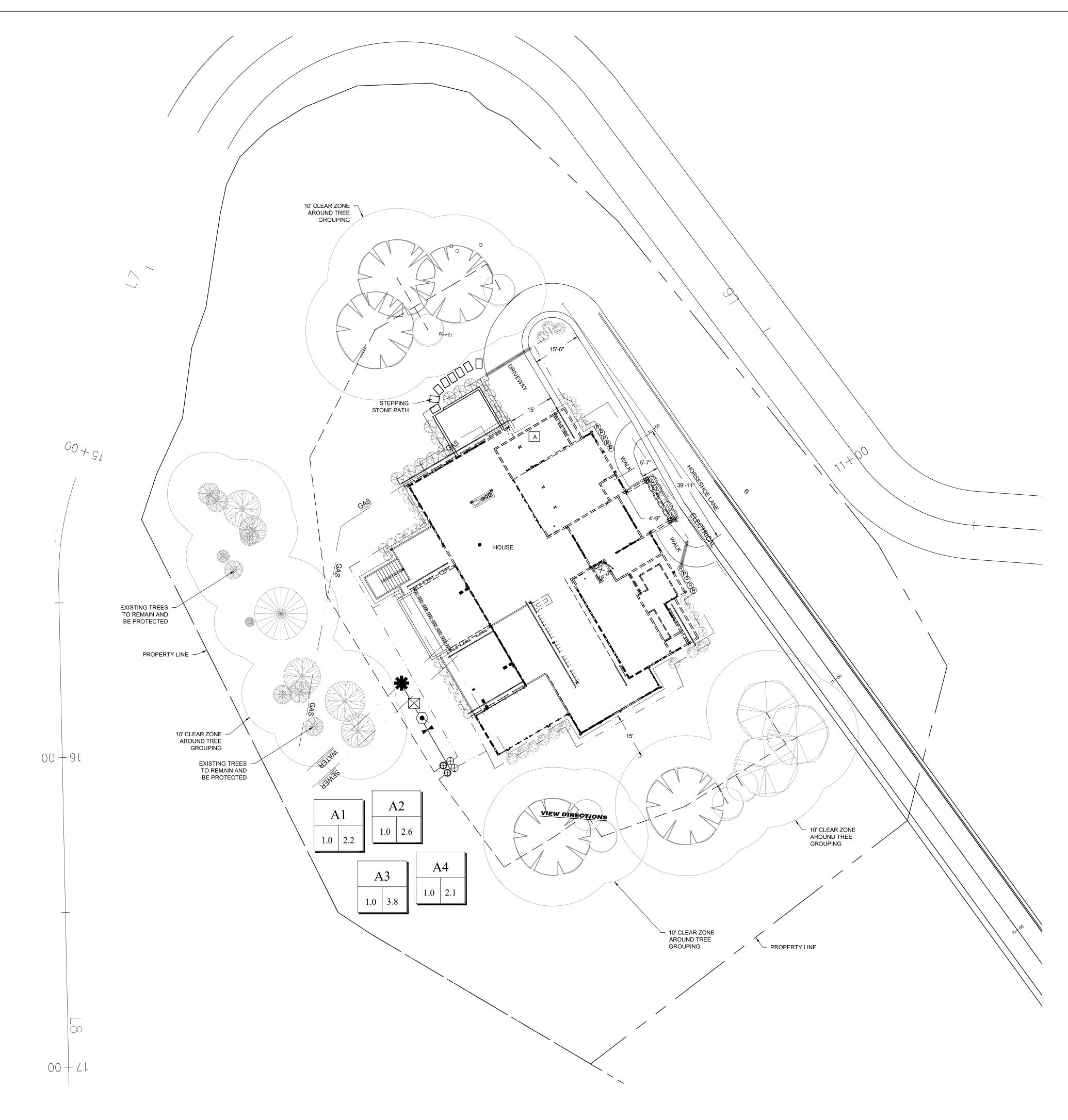
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SYMBOL	DESCRIPTION IRRIGATION LEGEND	REMARKS
$\Box \oplus$	RAINBIRD XCZ-100-B-COM CONTROL ZONE KIT (SHRUBS)	INSTALL IN STD. VALVE BOX
$\bigcirc$	RAINBIRD XCZ-100-B-COM CONTROL ZONE KIT (TREES)	INSTALL IN STD. VALVE BOX
	1" RAINBIRD QUICK COUPLER VALVE, MODEL #44LRC	INSTALL IN 10" ROUND VALVE BOX
A	RAINBIRD ESP-M3 CONTROLLER WITH RAIN SENSOR - 7 STATIONS	CONNECT TO POWER AND VALVES
$\square$	2" APOLLO REDUCED PRESSURE BACKFLOW ASSEMBLY #4A-218-A2	INSTALL IN JUMBO VALVE BOX
M	ISOLATION VALVE	INSTALL IN 10" ROUND VALVE BOX
	1.5" SCHEDULE 40 MAIN LINE (UNLESS OTHERWISE NOTED)	REFERENCE IRRIGATION DETAILS
	CLASS 200 SLEEVE (SIZE TO BE A MIN. OF TWICE THE DIAMETER OF THE LATERAL.)	COORDINATE W/CONCRETE & ASPHALT
	3/4" SCHEDULE 40 PVC LATERAL LINE FOR TREES	REFERENCE IRRIGATION DETAILS
· · ·	3/4" SCHEDULE 40 PVC LATERAL LINE FOR SHRUBS	REFERENCE IRRIGATION DETAILS
NOT SHOWN	14 GAUGE CONTROL WIRE (SOLID COPPER, SINGLE STRAND)	ROUTE WITH MAINLINE
*	POINT OF CONNECTION - 1.5" STUB AND STOP AND WASTE BY GENERAL CONTRACTOR	SEE PLAN

#### **IRRIGATION NOTES:**

LANDSCAPE CONTRACTOR SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRING UNDER HARDSCAPING SHALL BE IN SEPERATE SLEEVES (NOT SHOWN).

MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK SHALL BE ALLOWED IN TRENCHES.

PROVIDE AN AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SYSTEM SHALL BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL THROUGH QUICK COUPLER VALVES.

PLACE PIPES, VALVE BOXES, AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. VALVE BOXES IN PLANTER AREAS SHALL BE TAN OR BROWN IN COLOR. VALVE BOXES IN LAWN AREAS SHALL BE GREEN IN COLOR. VALVE BOXES SHALLBE CAPABLE OF BEING BOLTED CLOSED AFTER INSTALLATION.

LANDSCAPE CONTRACTOR SHALL HAVE ALL UTILITIES STAKED BEFORE DIGGING, ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE L.C. WITH NO EXTRA COST TO THE OWNER.

MAIN LINE SHALL BE 2" (UNLESS OTHERWISE NOTED). LATERAL LINES SHALL BE NO SMALLER THAN 3/4". MAINLINE AND LATERAL LINE LAYOUT IS SCHEMATIC. ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLANTING TREES, SHRUBS AND/OR PLACING BOULDERS DIRECTLY OVER PIPES. PIPES SHALL CARRY NO MORE THAN THE FOLLOWING:

3/4" PIPE MAX. 8 GPM 1" PIPE MAX. 13 GPM

1-1/4" PIPE MAX. 23 GPM 1-1/2" PIPE MAX. 35 GPM

INSTALL ALL HEADS 2" AWAY FROM ALL WALKS AND 12" AWAY FROM ALL WALLS. INSTALL VALVE BOXES 12" MIN. FROM WALKS AND WALLS SQUARED WITH THE WALK.

LANDSCAPE CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE RAINBIRD PRODUCTS OR EQUAL. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.

LANDSCAPE CONTRACTOR SHALL BUILD IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE FOR ALL LAWN AREAS. VAN AND/OR U-SERIES NOZZLES SHALL BE USED WHERE NECESSARY TO PROVIDED HEAD TO HEAD COVERAGE AND/OR TO MINIMIZE OVERSPRAY ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.

LANDSCAPE CONTRACTOR SHALL PRESSURE TEST MAIN AND VALVES AT 100 PSI BEFORE BURIAL.

ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE LANDSCAPE CONTRACTOR SHALL APPLY FOR ALL PERMITS AND PAY FOR THE SAME.

ALL SPRINKLERS TO BE ADJUSTED ON SITE AS NECESSARY TO AVOID ANY WATER SPRAYING ONTO STREETS, SIDEWALKS AND BUILDINGS.

ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS AS NEEDED TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.

POWER TO CONTROLLER TO BE PROVIDED BY OWNER. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER.

DETAILS AND SPECS FOR SPECIFICS. INSTALL RAINBIRD QUICK COUPLERS PER PLAN.

RAIN SENSOR DEVICE TO BE INSTALLED AT OR NEAR CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS.

STATIC PRESSURE AT POINT OF CONNECTION IS UNKNOWN. CONTRACTOR SHALL FIELD VERIFY EXACT STATIC PRESSURE PRIOR TO INSTALLING IRRIGATION SYSTEM. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO IRRIGATION SYSTEM IF PRESSURE FLUCTUATES FROM STATED PRESSURE. PRESSURE REDUCER TO BE INSTALLED IF STATIC PRESSURE EXCEEDS 100 PSI AT POINT OF CONNECTION.

1.5" IRRIGATION STUB SHALL BE INSTALLED BY GENERAL CONTRACTOR. 2" BACKFLOW PREVENTER SHALL BE INSTALLED BY LANDSCAPE CONTRACTOR.

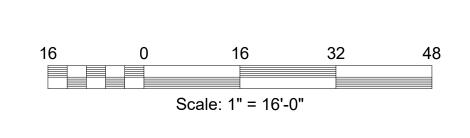
NO BLUE GLUE ALLOWED FOR ANY PVC WELD CONNECTIONS. CONNECTIONS TO BE GLUED WITH GRAY CEMENT AND PURPLE PRIMER PER MANUFACTURES SPECS.

IRRIGATION CONTROL WIRE SHALL BE AS FOLLOWS: WHITE WIRE FOR COMMON, RED WIRE FOR HOT AND GREEN WIRE FOR SPARE WIRE. PROVIDE A MINIMUM OF (1) SPARE WIRE FOR EVERY (5) REMOTE CONTROL VALVES IN THE IRRIGATION SYSTEM. SPARE WIRE SHALL BE AVAILABLE AT ALL VALVE MANIFOLDS OR CLUSTERS. ALL SPARE WIRES SHALL BE "HOME RUN" TO THE IRRIGATION CONTROLLER. ALL CONTROL WIRE SHALL BE SOLID COPPER 14 GUAGE, SINGLE STRAND WIRE.

IRRIGATION SYSTEM SHALL BE CONSTRUCTED TO MEET MUNICIPAL CODES. SYSTEM SHALL INCLUDE A FLOW SENSOR AT POINT OF CONNECTION.

ALL MAIN LINES AND LATERALS SHALL BE SCH. 40 PVC.

LANDSCAPE CONTRACTOR IS RESPONSIBLE TO ENSURE SYSTEM DRAINS PROPERLY. INSTALL MANUAL DRAINS AS NECESSARY. SEE



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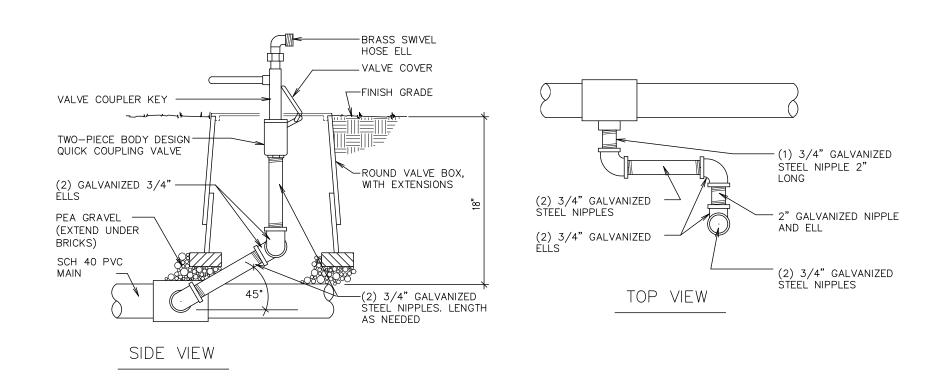
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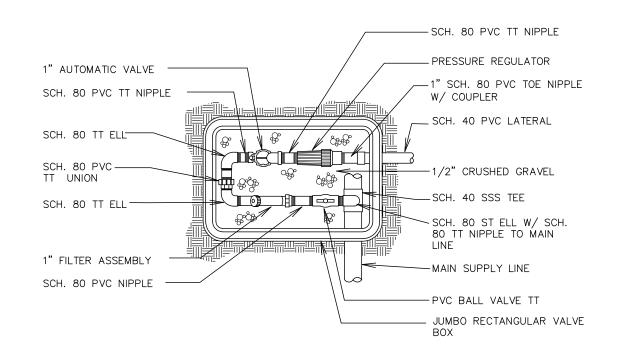
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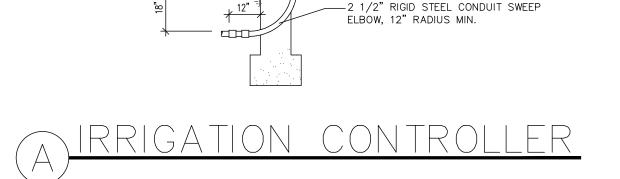
NORTH

# JICK COUPLING VALVE









FLOOR

AUTOMATIC IRRIGATION

CONTROLLER PROVIDED BY

2 1/2" RIGID STEEL CONDUIT

LOCATED NEXT TO WALL (ONE

~\*\*\*

IRRIGATION CONTRACTOR

FOR EACH CONTROLLER)

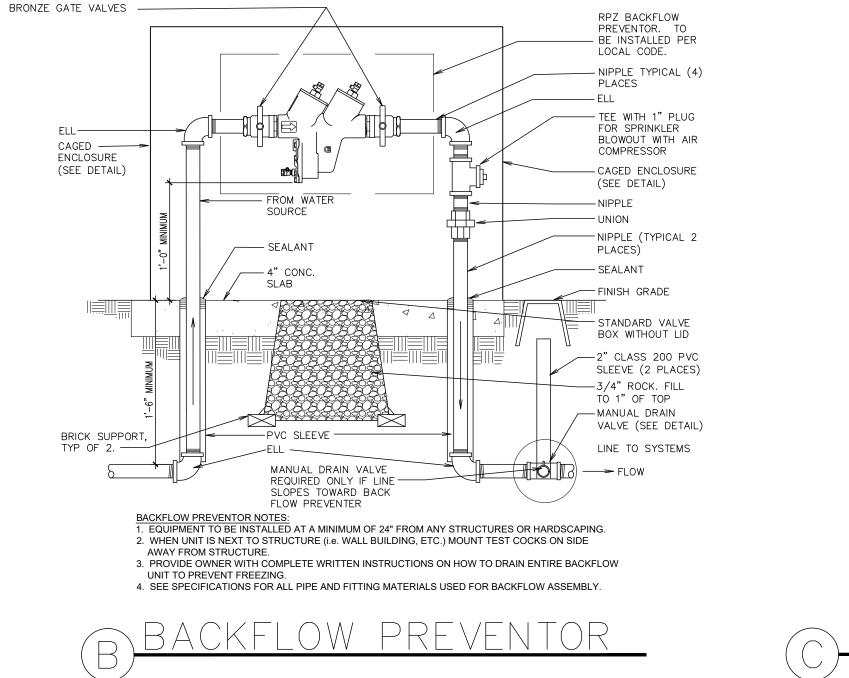
FINISH GRADE

THREADED CONNECTOR TO BOTTOM OF CONTROLLER

METAL ELECTRICAL JUNCTION BOX BY

INTERMATIC AG2401 SURGE SUPPRESSOR BY OTHERS. REFER TO ELECTRICAL SPEC.

OTHERS



RECTANGULAR HEAVY DUTY \_\_\_\_\_

APOLLO/CONBRACO 3/4" WELD TOP VALVE MOD. 78-154-01 /

SCH. 40 ST MALE ADAPTER7

/MANUAL DRAIN VALVE AT LOW

′3/4" NIPPLE

POINTS IN SYSTEM.

— SCH. 40 PVC

LATERAL 12"

DEEP MIN.

<sup>\*</sup> <u>4</u> <u>CLEARANCE</u>

VALVE

6" DEEP PEA GRAVEL

\_ WIRE TAPED TO SIDE OF MAIN LINE AT 10'-0" O.C.

/ALVE

TOP VIEW OF MANUAL

DRAIN VALVE

BETWEEN GRAVEL AND

24" COILED EXTRA WIRE (DIFFERENT COLOR) INSTALL

COIL IN EACH VALVE BOX

PLASTIC VALVE BOX

"ACTION"

jna il

FINISH

GRADE

24" COILED WIRE

18" VALVE BOX

TO BLOCK HOLES

SCH. 40 PVC SSS — TEE

SCH. 40 PVC MAIN -----

PAVING BRICK

18" DEEP MIN.

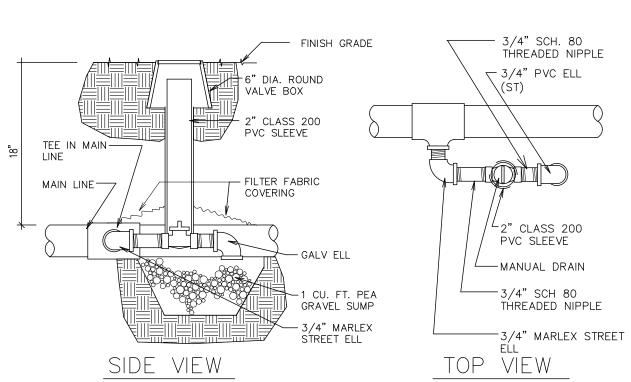
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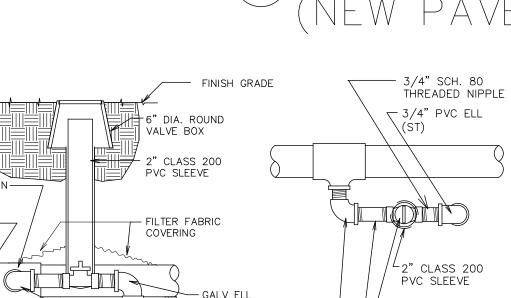
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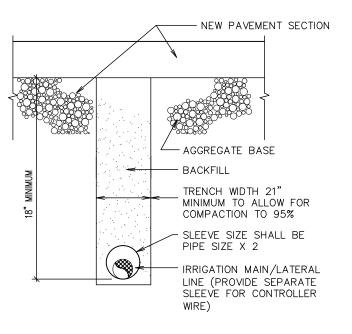


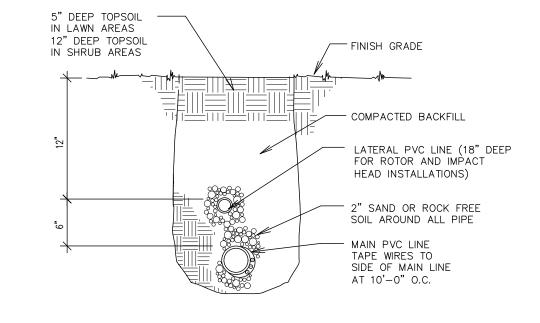


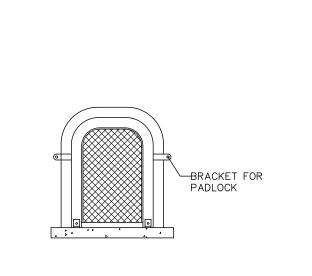




THREADED NIPPLE







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OSURE

L2 STEEL HINGES, GATE ONLY

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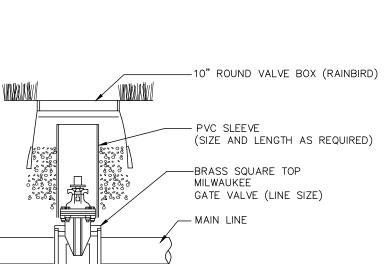
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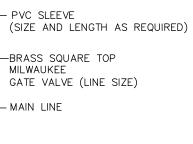
-2 STEEL HINGES

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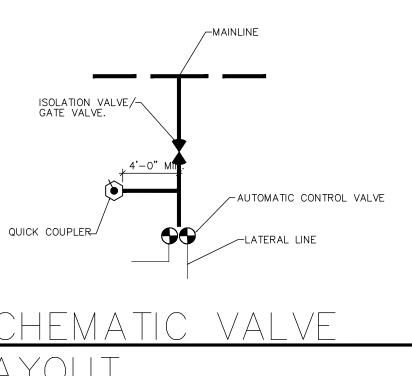








NOTES: 1. INSTALL ISOLATION VALVES (GATE VALVE) ONLY ON LAWN VALVE GROUPINGS. 2. INSTALL 1 ISOLATION VALVE (GATE VALVE) PER EVERY VALVE GROUPING. ISULAIIUľ VALVE







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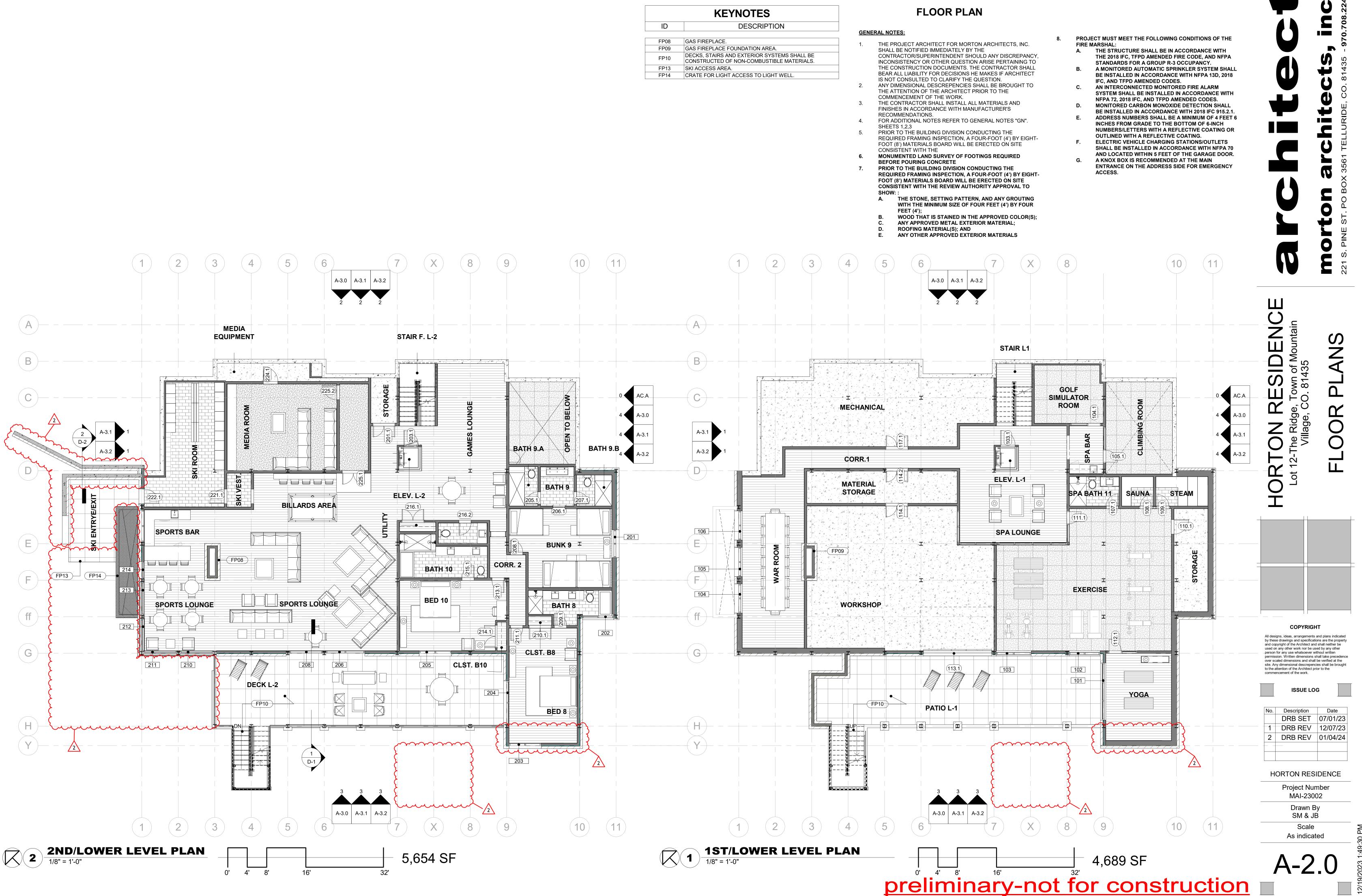
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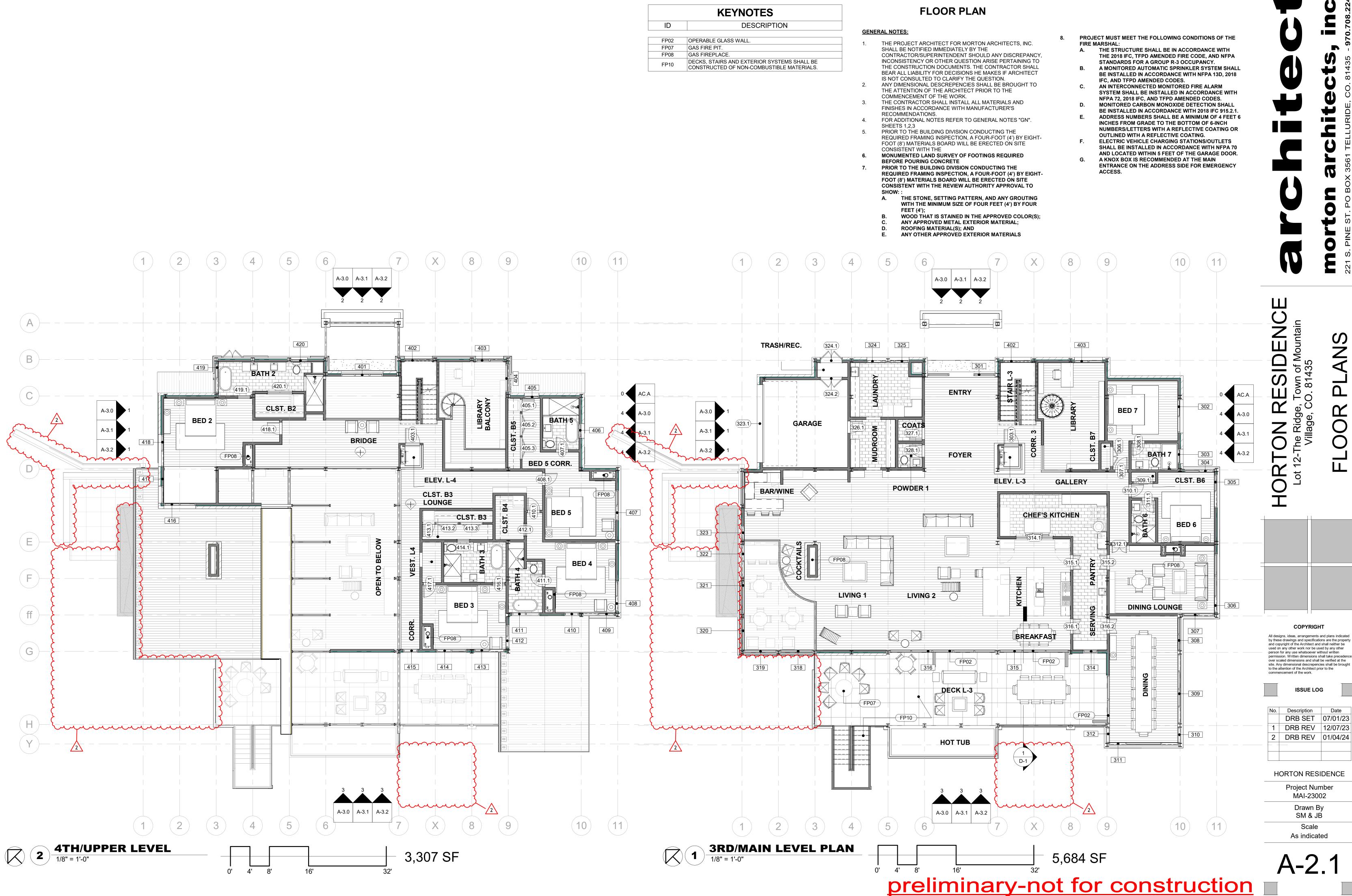
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DATE: 12/11/23 DRAFTED BY: WJ



	KEYNOTES					
ID DESCRIPTION						
FP08	GAS FIREPLACE.					
FP09	GAS FIREPLACE FOUNDATION AREA.					
FP10	DECKS, STAIRS AND EXTERIOR SYSTEMS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.					
FP13	SKI ACCESS AREA.					
FP14	CRATE FOR LIGHT ACCESS TO LIGHT WELL.					





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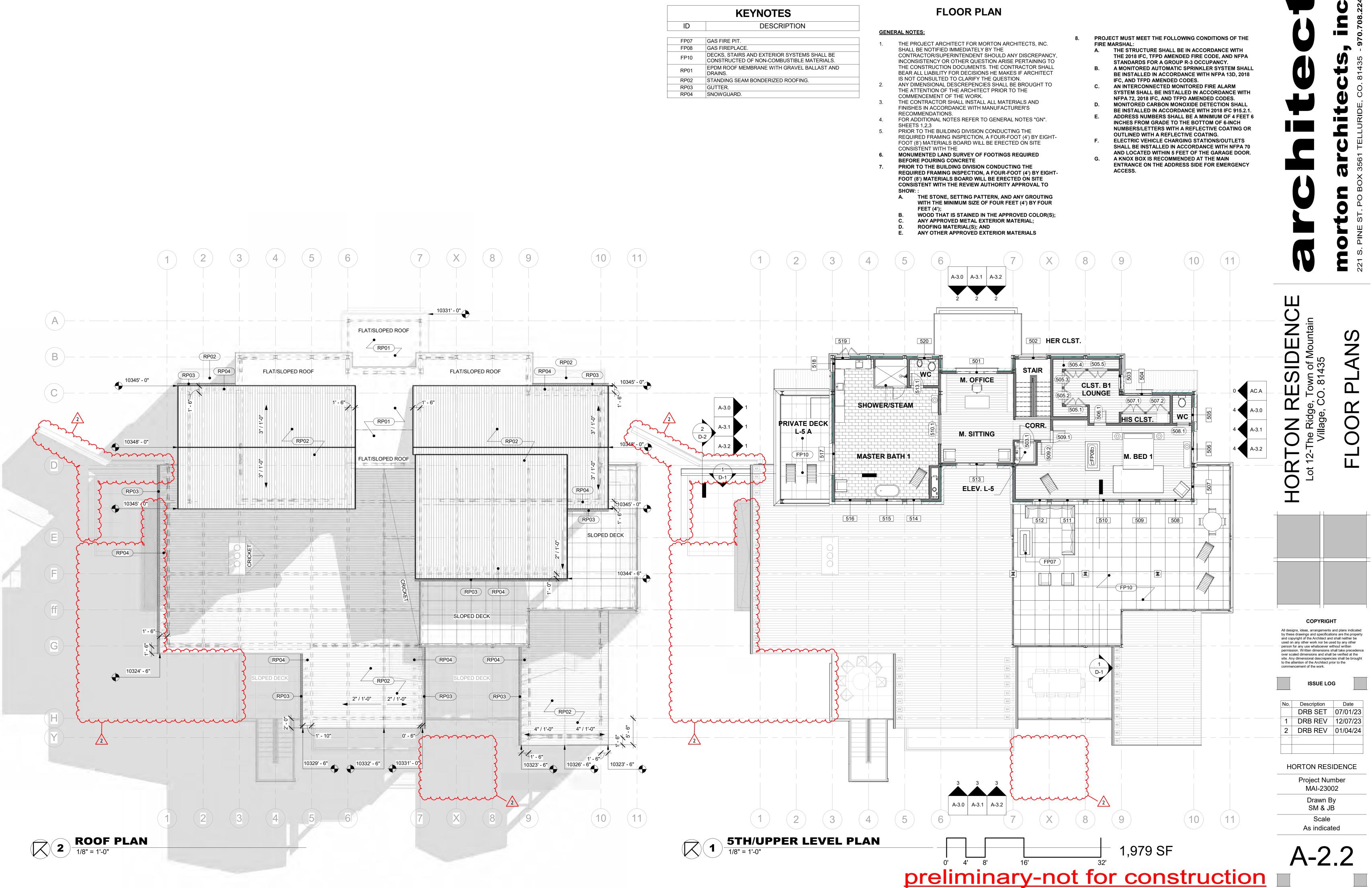
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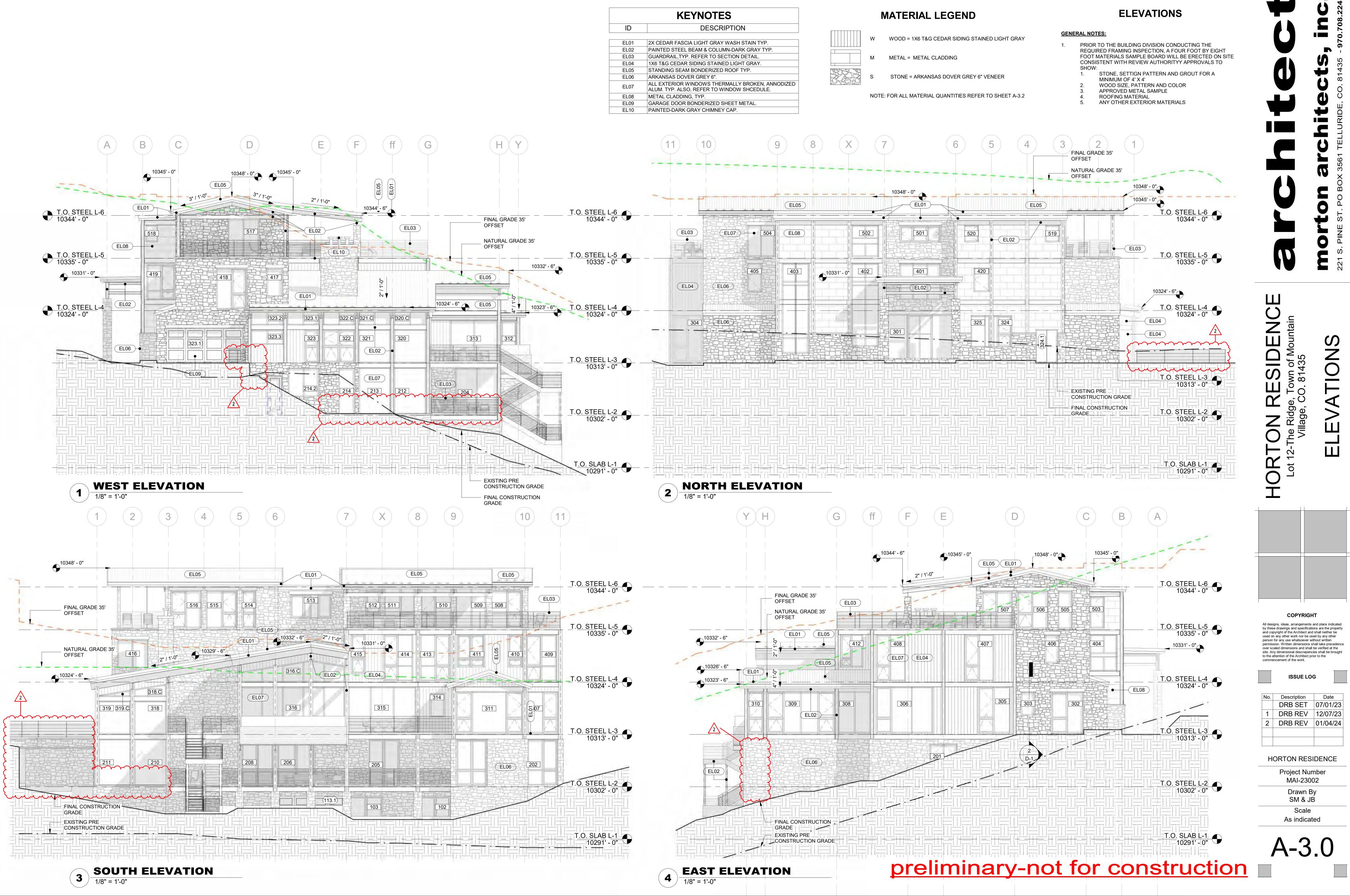
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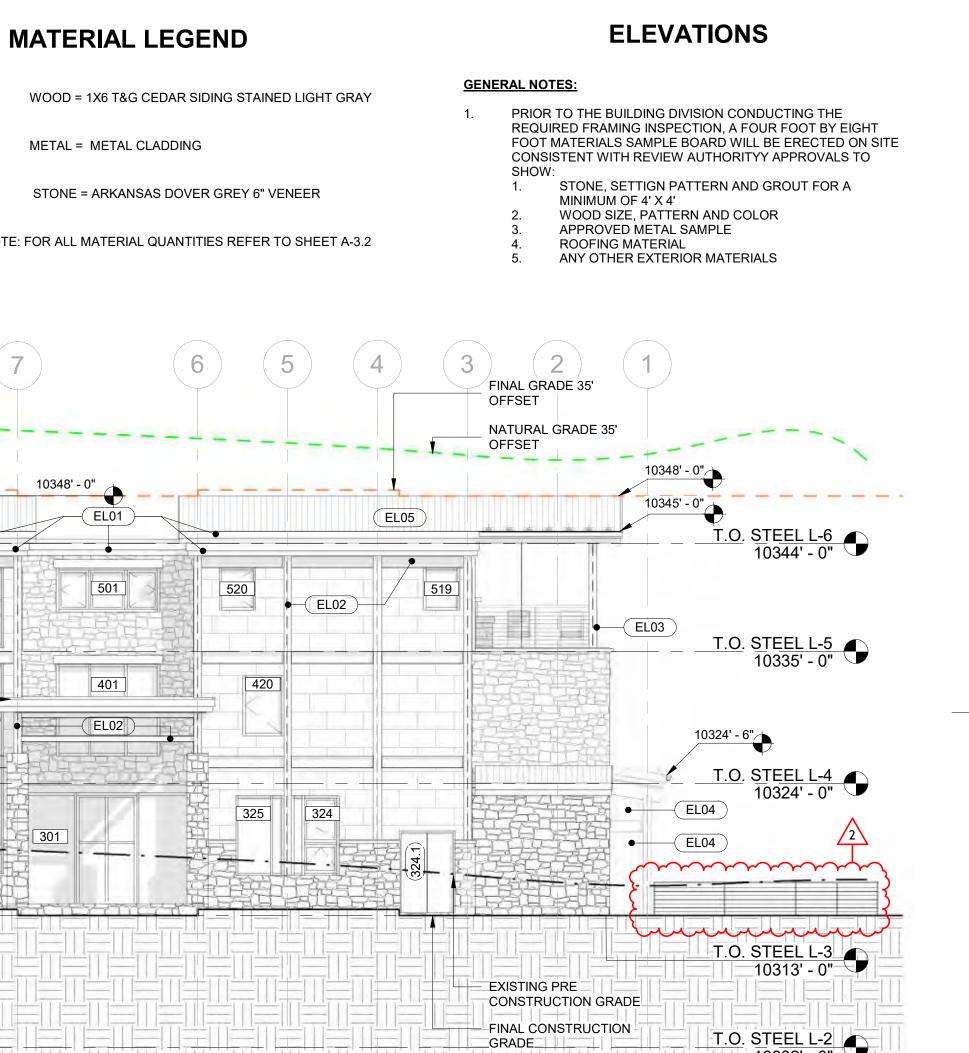


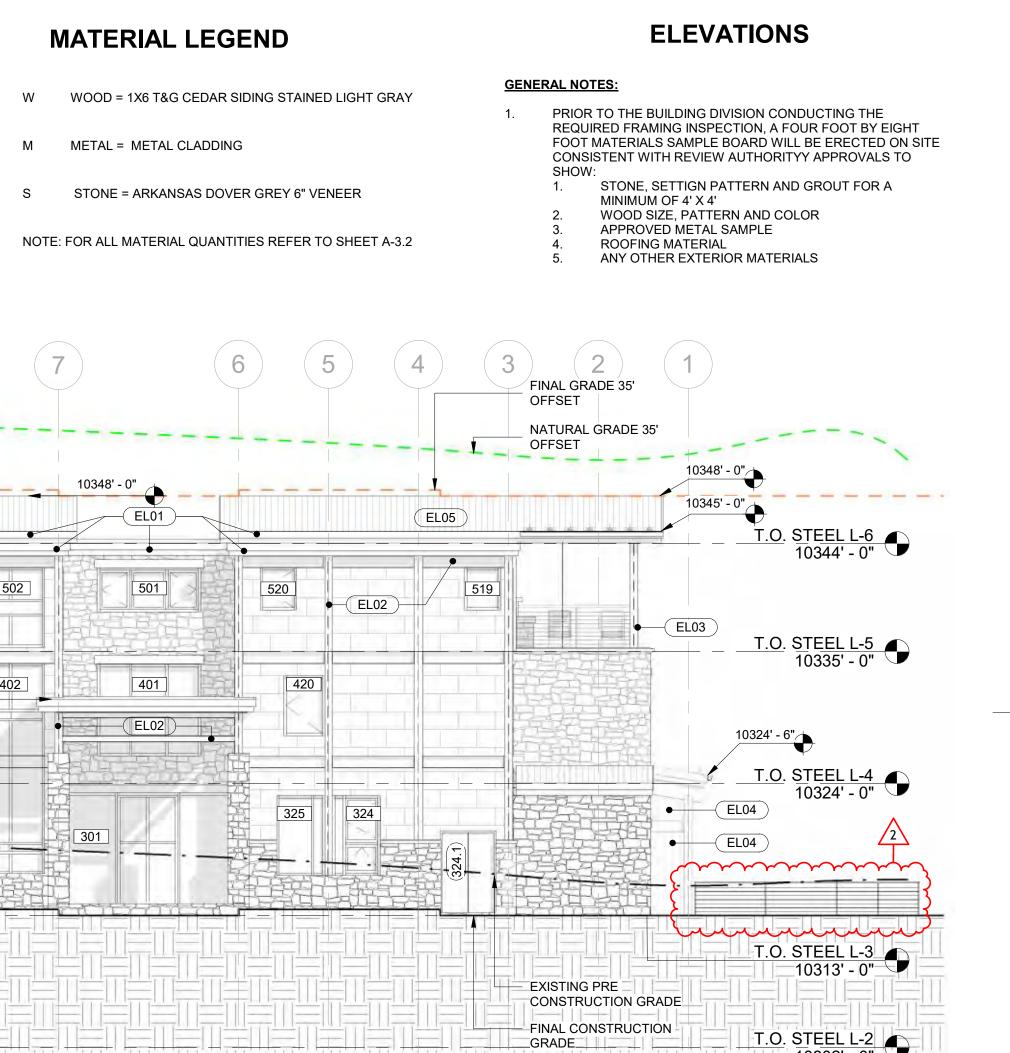
KEYNOTES								
ID DESCRIPTION								
FP07	GAS FIRE PIT.							
FP08	GAS FIREPLACE.							
FP10	DECKS, STAIRS AND EXTERIOR SYSTEMS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.							
RP01	EPDM ROOF MEMBRANE WITH GRAVEL BALLAST AND DRAINS.							
RP02	STANDING SEAM BONDERIZED ROOFING.							
RP03	GUTTER.							
RP04	SNOWGUARD.							

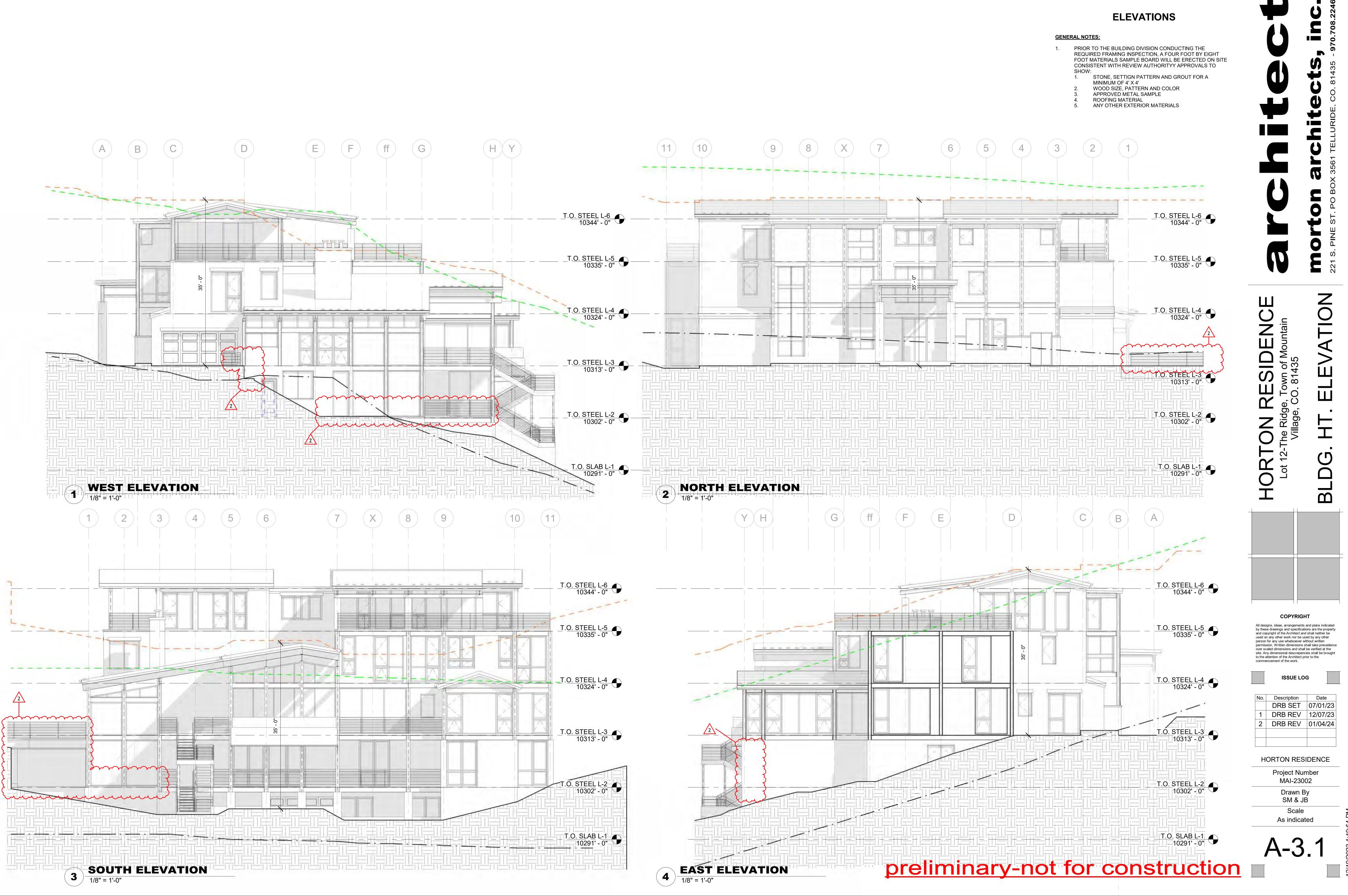
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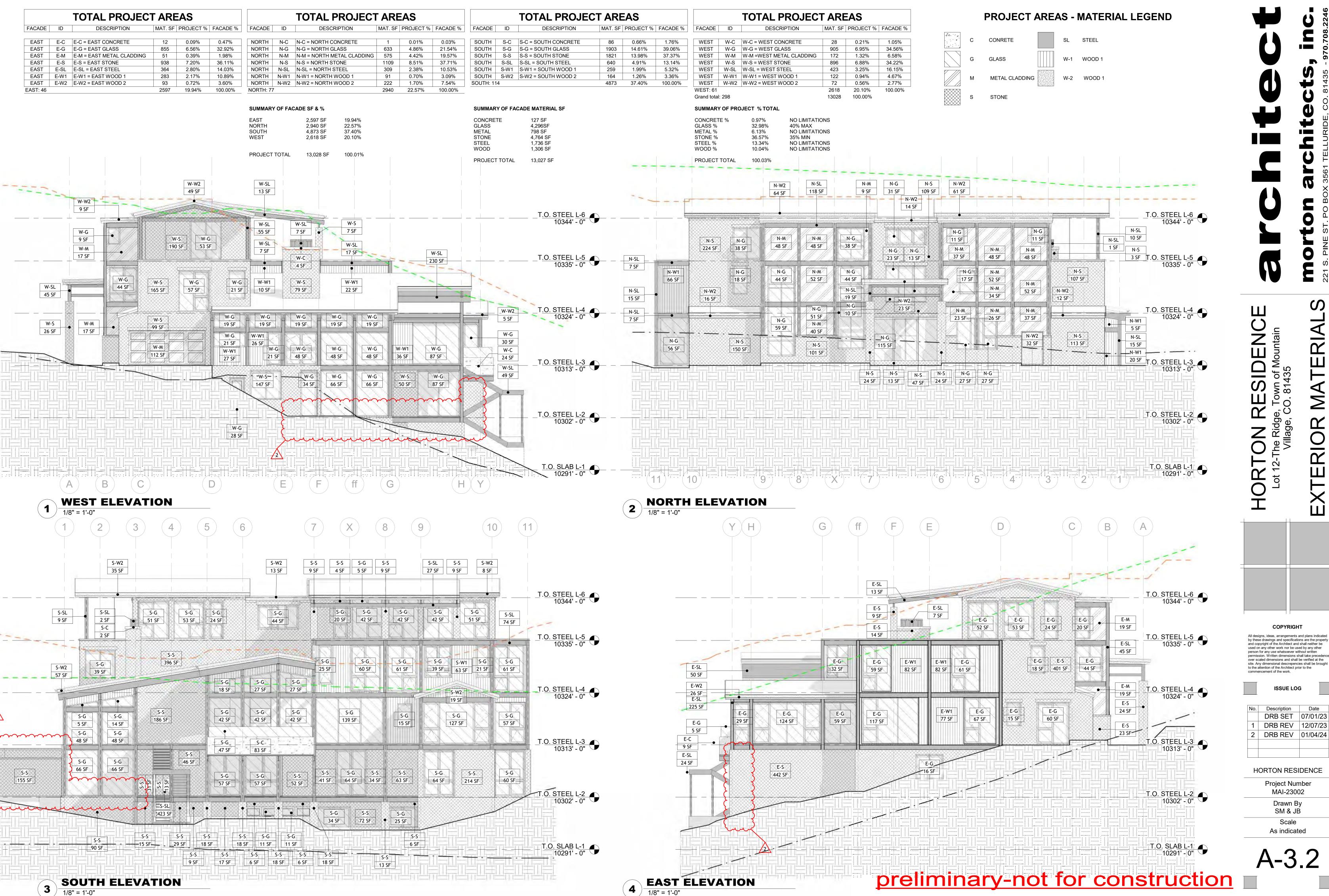


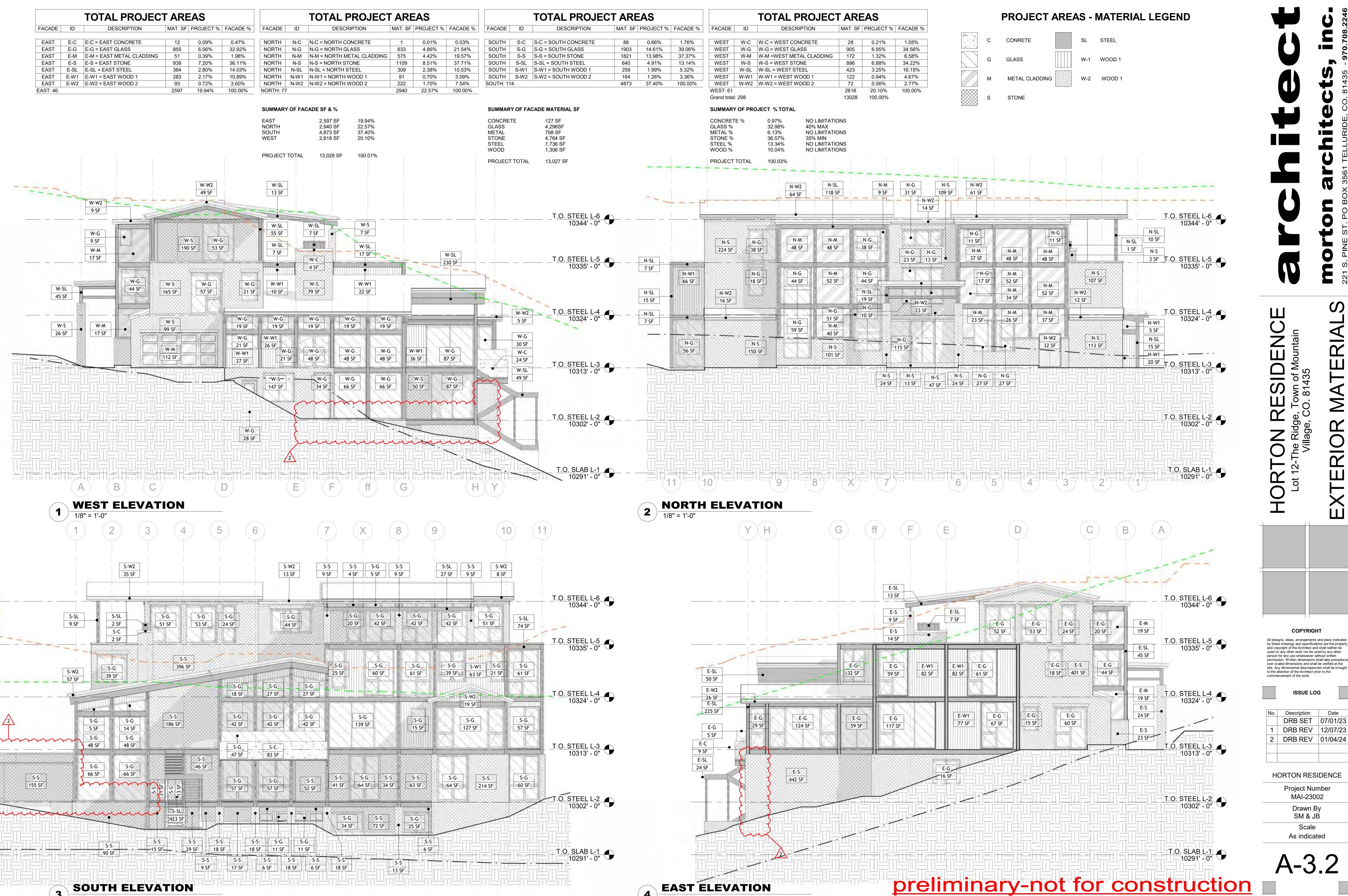














	WINDOW SCHEDULE (L1-L5)										
NAME	WIDTH	HEIGHT	TYPE.	MATERIAL.	EXT. FIN.	INT. FIN	HDWR CLR	REMARKS.			
				·							
414	6' - 3"	9' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
415	3' - 0"	8' - 3"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
416	6' - 6"	6' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
417	3' - 6"	6' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
418	6' - 7"	8' - 8"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
419	6' - 0"	7' - 4"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
420	3' - 5"	5' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
501	8' - 7"	3' - 8"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
502	5' - 9"	6' - 8"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
503	3' - 0"	6' - 8"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
504	5' - 9"	6' - 8"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
505	3' - 0"	8' - 0"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
506	6' - 7"	8' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
507	6' - 7"	8' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
508	6' - 7"	8' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
509	6' - 7"	9' - 6"	SLIDER	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
510	6' - 7"	9' - 6"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
511	6' - 7"	9' - 6"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
512	3' - 0"	8' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
513	8' - 7"	5' - 1 13/32"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
514	3' - 0"	8' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
515	6' - 7"	8' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
516	6' - 7"	8' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
517	6' - 7"	8' - 0"	SLIDER	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
518	2' - 6"	3' - 6"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
519	3' - 0"	3' - 6"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			
520	3' - 0"	3' - 6"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN			

WINDOW SCHEDULE (L1-L5)										
NAME	WIDTH	HEIGHT	TYPE.	MATERIAL.	EXT. FIN.	INT. FIN	HDWR CLR	REMARKS.		
		1								
101	11' - 9"	9' - 1"	OPERABLE GLASS WALL	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
102	6' - 4"	9' - 0"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
103	7' - 2"	9' - 0"	OPERABLE GLASS WALL	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
104	6' - 0"	6' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
105	6' - 0"	6' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
106	6' - 0"	6' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		

	WINDOW SCHEDULE (L1-L5)									
NAME	WIDTH	HEIGHT	TYPE.	MATERIAL.	EXT. FIN.	INT. FIN	HDWR CLR	REMARKS.		
						-	-			
201	5' - 9"	5' - 2"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
202	6' - 5"	9' - 8"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
203	6' - 7"	9' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
204	9' - 0"	9' - 8"	OPERABLE GLASS WALL	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
205	6' - 7"	9' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
206	8' - 0"	9' - 9"	OPERABLE GLASS WALL	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
208	6' - 10"	9' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
210	6' - 10"	9' - 9"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
211	6' - 10"	9' - 9"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
212	6' - 10"	9' - 9"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
213	6' - 10"	9' - 9"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
214	3' - 6"	9' - 9"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		
214.2	6' - 7 1/16"	6' - 1 1/4"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN		

				WIND	OW SCHEDULE (L1	-L5)		
NAME	WIDTH	HEIGHT	TYPE.	MATERIAL.	EXT. FIN.	INT. FIN	HDWR CLR	REMARKS.
301	14' - 5 5/16"	10' - 0"	CASEMENT/FXD	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
302	6' - 10"	8' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
303	3' - 0"	5' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
304	6' - 0"	9' - 9 3/32"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
305	6' - 10"	9' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
306	12' - 0"	9' - 9"	CASEMENT/FXD	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
307	6' - 5"	8' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
308	6' - 10"	8' - 9 3/32"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
309	14' - 4"	8' - 9 3/32"	CASEMENT/FXD	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
310	3' - 4"	8' - 9 3/32"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
311	14' - 3 27/32"	8' - 9 3/32"	CASEMENT/FXD	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
312	3' - 4"	8' - 9 3/32"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
313	10' - 0"	8' - 9 3/32"	OPERABLE GLASS WALL	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
314	3' - 0"	5' - 0"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
315	14' - 4"	9' - 9"	OPERABLE GLASS WALL	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
316	21' - 10"	9' - 9"	OPERABLE GLASS WALL	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
316.C	21' - 10"	4' - 8"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
318	6' - 10"	7' - 0"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
318.C	7' - 6 3/32"	2' - 7"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
319	6' - 10"	7' - 0"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
319.C	6' - 10"	1' - 4"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
320	6' - 10"	7' - 0"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
320.C	6' - 10"	2' - 10"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
321	6' - 10"	7' - 0"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
321.C	6' - 10"	2' - 10"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
322	6' - 10"	7' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN
322.C	6' - 10"	2' - 10"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN

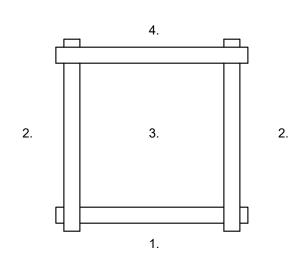
	WINDOW SCHEDULE (L1-L5)									
F	NAME	WIDTH	HEIGHT	TYPE.	MATERIAL.	EXT. FIN.	INT. FIN	HDWR CLR	REMARKS.	
_		1				1				
	323	3' - 0"	7' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	323.1	6' - 10"	2' - 10"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	323.2	6' - 10"	2' - 10"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	323.3	6' - 10"	3' - 0"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	324	4' - 0"	6' - 8"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	325	4' - 0"	6' - 8"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	401	8' - 7"	7' - 8"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	402	5' - 9"	17' - 6"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	403	5' - 8 3/4"	19' - 0"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	404	5' - 9"	7' - 8"	FIXED	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	405	3' - 0"	6' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	406	3' - 0"	6' - 0"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	407	6' - 3"	9' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	408	6' - 3"	9' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	409	6' - 6 13/16"	9' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	410	3' - 0"	6' - 10"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	411	5' - 9"	6' - 10"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	412	4' - 9"	6' - 10"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	
	413	6' - 3"	9' - 9"	CASEMENT	ALUM.	ANNODIZED ALUM.	ANNODIZED ALUM.	BLACK	THERMALLY BROKEN	



### WINDOW INSTALLATION NOTES

#### "BITUTHENE" ICE & WATER SHIELD

RUBBERIZED ASPHALT SHEET MEMBRANE MANUFACTURED BY W.R. GRACE & COMPANY CAMBRIDGE, MASS.



#### **INSTALLATION NOTES:**

- 1. ATTACH 12" "BITUTHENE" FLASHING FLUSH ALONG THE BOTTOMOF THE OPENING. THE LENGTH OF THE FLASHING MUST BE LONG ENOUGH TO FALL A MINIMUM OF 12" BEYOND THE OPENING ON BOTH SIDES, SO THAT IT IS BEYOND THE TWO VERTICAL THAT ARE ATTACHED IN STEP 2.
- 2. ATTACH FLASHING ALONG THE VERTICAL SIDES OF OPENING. FLUSH WITH THE EDGE, MAKING SURE THAT IT IS OVER THE BOTTOM HORIZONTAL STRIP. LENGTH OF THE FLASHING MUST BE LONG ENOUGH TO FALL A MINIMUM OF 12" BEYOND THE OPENING ON TOP AND BOTTOM SO THAT IT IS BEYOND THE TOP HORIZONTAL PIECE THAT IS ATTACHED IN STEP 4 AFTER THE DOOR IS PLACED IN THE OPENING
- 3. CAULK FACE OF OPENING, 1/2" FROM THE INSIDE EDGE. POSITION WINDOW IN THE OPENING, PLUMB AND SQUARE AND NAIL FLANGE TO STUDS. CAULKING SHOULD EXTRUDE FROM EDGE OF FLANGE
  - ATTACH THE FOURTH STRIP OF FLASHING ALONG THE HORIZONTAL EDGE OF THE WINDOW, MAKING SURE THAT THE FLASHING IS POSITIONED OVER THE WINDOW FLANGE AND OVER THE VERTICAL PIECES. THIS STRIP MUST FALL A MINIMUM OF 12" BEYOND THE OPENING SO THAT IT IS BEYOND THE VERTICAL PIECES ON EA. SIDE.



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#### COPYRIGHT

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#### HORTON RESIDENCE

Project Number MAI-23002	
Drawn By SM & JB	
Scale	
1" = 1'-0"	

A-5.1

# preliminary-not for construction

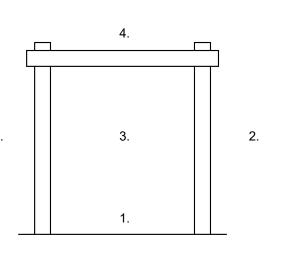
NO.         103.1         104.1         105.1         107.1         108.1         109.1         110.1         111.1         111.1         113.1         114.2         117.1         201.1         203.1         205.1         205.1         206.1         207.1         208.1         209.1         210.1         211.1         213.1         214.1         215.1         216.2         221.1         222.1         224.1         225.1	WIDTH $3' - 0"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $4' - 6"$ $4' - 6"$ $4' - 6"$ $4' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $2' - 6"$ $4' - 6"$ $2' - 6"$ $4' - 6"$ $2' - 6"$ $4' - 6"$ $2' - 6"$ $4' - 6"$ $2' - 6"$ $3' - 0"$ $3' - 0"$ $3' - 0"$ $3' - 0"$ $3' - 0"$ $3' - 0"$ $3' - 0"$ $3' - 0"$	HEIGHT  8' - 0"  7' - 9 1/2"  7' - 9 1/2"  8' - 0"  7' - 9 1/2"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8' - 0"  8	TYPE         SINGLE         PAIR         PAIR         PAIR         PAIR         SINGLE         SINGLE         SINGLE         SINGLE         PAIR         PAIR         PAIR         PAIR         SINGLE	LOCATION INT. ELEVATOR INT. GOLF SIMULATOR INT. CLIMBING ROOM INT. SPA BATH INT. SPA BATH INT. SAUNA INT. STORAGE INT. STORAGE INT. EXERCISE INT. YOGA EXT. WORKSHOP/OVERHEAD/GLASS FIN. INT. MATERIAL STORAGE INT. MATERIAL STORAGE INT. MATERIAL STORAGE INT. MECHANICAL INT. STORAGE INT. ELEVATOR INT. ELEVATOR INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK 9 INT. BUNK 9 INT. BUNK 9 INT. BATH 8 INT. BED 8 CLOSET INT. BED 10 INT. BED 10 INT. BED 10 INT. BATH 10	MATERIAL WHITE OAK ALUM. ALUM. WHITE OAK ALUM. ALUM. WHITE OAK WHITE OAK	EXT, FINISH STAINED ANNOD. ALUM. ANNOD. ALUM. STAINED ANNOD. ALUM. ANNOD. ALUM. STAINED ANNOD. ALUM. STAINED ANNOD. ALUM. GLASS STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	INT, FINISH STAINED ANNOD. ALUM. ANNOD. ALUM. STAINED ANNOD. ALUM. STAINED ANNOD. ALUM. STAINED ANNOD. ALUM. STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	HDWR ROCKY MTN. ROCKY MTN.	REMARKS         SINGLE PANEL SHAKER STYLE         SINGLE PANEL SHAKER STYLE         SINGLE PANEL SHAKER STYLE         GLASS WINDOW         SINGLE PANEL SHAKER STYLE         SINGLE PANEL SHAKER STYLE
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111.1         112.1         113.1         114.1         114.2         117.1         201.1         203.1         205.1         206.1         207.1         208.1         209.1         210.1         211.1         213.1         214.1         216.2         221.1         222.1         224.1	2' - 6'' 2' - 6'' 14' - 0'' 4' - 6'' 4' - 6'' 4' - 6'' 2' - 6'' 2' - 6'' 2' - 6'' 2' - 6'' 2' - 6'' 2' - 6'' 4' - 6'' 2' - 6'' 4' - 6'' 2' - 6'' 4' - 6'' 2' - 6'' 3' - 0'' 3' - 0''' 3' - 0''' 3' - 0''' 3' - 0'''' 3' - 0''''	8' - 0" 8' - 0" 9' - 0" 8' - 0"	SINGLE           SINGLE           OVERHEAD           PAIR           PAIR           PAIR           PAIR           PAIR           SINGLE           PAIR	INT. EXERCISE INT. YOGA EXT. WORKSHOP/OVERHEAD/GLASS FIN. INT. MATERIAL STORAGE INT. MATERIAL STORAGE INT. MECHANICAL INT. MECHANICAL INT. STORAGE INT. STORAGE INT. ELEVATOR INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK 9 INT. BUNK 9 INT. BATH 8 INT. BED 8 INT. BED 8 INT. BED 10 INT. BED 10 INT. BED 10 CLOSET	ALUM. ALUM. ALUM. WHITE OAK WHITE OAK	ANNOD. ALUM. ANNOD. ALUM. GLASS STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	ANNOD. ALUM. ANNOD. ALUM. STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	ROCKY MTN. ROCKY MTN.	GLASS WINDOWSINGLE PANEL SHAKER STYLESINGLE PANEL SHAKER STYLE
113.1114.1114.2117.1201.1203.1205.1206.1206.1207.1208.1209.1210.1211.1213.1214.1215.1216.2221.1222.1224.1	$\begin{array}{c} 14' - 0'' \\ 4' - 6'' \\ 4' - 6'' \\ 4' - 6'' \\ 4' - 6'' \\ 3' - 0'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 4' - 6'' \\ 2' - 6'' \\ 4' - 6'' \\ 2' - 6'' \\ 4' - 6'' \\ 2' - 6'' \\ 3' - 0'' \\ 3' - 0'' \\ 3' - 0'' \\ 4' - 6'' \end{array}$	9' - 0" 8' - 0"	OVERHEADEPAIRPAIRPAIRPAIRPAIRSINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLESINGLEPAIRSINGLEPAIRPAIRSINGLEPAIRSINGLEPAIRSINGLE	EXT. WORKSHOP/OVERHEAD/GLASS FIN. INT. MATERIAL STORAGE INT. MATERIAL STORAGE INT. MECHANICAL INT. STORAGE INT. STORAGE INT. ELEVATOR INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK 9 INT. BUNK 9 INT. BATH 8 INT. BED 8 CLOSET INT. BED 8 INT. BED 10 INT. BED 10	ALUM. WHITE OAK WHITE OAK	GLASS STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLESINGLE PANEL SHAKER STYLE
114.1114.2117.1201.1203.1205.1206.1207.1208.1209.1210.1211.1213.1214.1216.2221.1222.1224.1	4' - 6'' 4' - 6'' 4' - 6'' 3' - 0'' 2' - 6'' 2' - 6'' 2' - 6'' 2' - 6'' 4' - 6'' 3' - 0'' 3' - 0'' 3' - 0'' 4' - 6''	8' - 0" 8' - 0"	PAIR PAIR PAIR PAIR SINGLE SINGLE POCKET SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE PAIR SINGLE PAIR	INT. MATERIAL STORAGE INT. MATERIAL STORAGE INT. MECHANICAL INT. STORAGE INT. ELEVATOR INT. ELEVATOR INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK 9 INT. BUNK 9 INT. BATH 8 INT. BED 8 CLOSET INT. BED 8 INT. BED 10 INT. BED 10 INT. BED 10 CLOSET	WHITE OAK WHITE OAK	STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLESINGLE PANEL SHAKER STYLE
114.2117.1201.1203.1205.1206.1207.1208.1209.1210.1211.1213.1214.1216.2221.1222.1224.1	$\begin{array}{c} 4' - 6'' \\ 4' - 6'' \\ 3' - 0'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 4' - 6'' \\ 2' - 6'' \\ 4' - 6'' \\ 2' - 6'' \\ 4' - 6'' \\ 2' - 6'' \\ 4' - 6'' \\ 2' - 6'' \\ 3' - 0'' \\ 3' - 0'' \\ 3' - 0'' \\ 4' - 6'' \end{array}$	8' - 0" 8' - 0"	PAIR PAIR PAIR PAIR SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE SINGLE PAIR SINGLE PAIR	INT. MATERIAL STORAGE INT. MECHANICAL INT. STORAGE INT. ELEVATOR INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK 9 INT. BUNK 9 INT. BATH 8 INT. BED 8 INT. BED 8 INT. BED 10 INT. BED 10 INT. BED 10 CLOSET	WHITE OAK WHITE OAK	STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLESINGLE PANEL SHAKER STYLE
201.1203.1205.1206.1207.1208.1209.1210.1211.1213.1214.1215.1216.2221.1222.1224.1	$\begin{array}{c} 4' - 6'' \\ 3' - 0'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 2' - 6'' \\ 4' - 6'' \\ 2' - 6'' \\ 4' - 6'' \\ 2' - 6'' \\ 4' - 6'' \\ 2' - 6'' \\ 3' - 0'' \\ 3' - 0'' \\ 3' - 0'' \\ 3' - 0'' \\ 4' - 6'' \end{array}$	8' - 0" 8' - 0"	PAIR SINGLE SINGLE POCKET SINGLE SINGLE SINGLE PAIR SINGLE SINGLE PAIR SINGLE PAIR SINGLE PAIR	INT. STORAGE INT. ELEVATOR INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK 9 INT. BUNK 9 INT. BATH 8 INT. BED 8 CLOSET INT. BED 8 INT. BED 10 INT. BED 10	WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK	STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLESINGLE PANEL SHAKER STYLE
203.1205.1206.1207.1208.1209.1210.1211.1213.1214.1216.1216.2221.1222.1224.1	3' - 0" 2' - 6" 2' - 6" 2' - 6" 2' - 6" 2' - 6" 4' - 6" 2' - 6" 4' - 6" 2' - 6" 4' - 6" 2' - 6" 3' - 0" 3' - 0" 4' - 6"	8' - 0" 8' - 0"	SINGLE SINGLE POCKET SINGLE SINGLE SINGLE PAIR SINGLE SINGLE PAIR SINGLE PAIR	INT. ELEVATOR INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK 9 INT. BUNK 9 INT. BATH 8 INT. BED 8 CLOSET INT. BED 8 INT. BED 10 INT. BED 10 CLOSET	WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK	STAINED STAINED STAINED STAINED STAINED STAINED STAINED STAINED	STAINED STAINED STAINED STAINED STAINED STAINED STAINED	ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLESINGLE PANEL SHAKER STYLE
205.1206.1207.1208.1209.1210.1211.1213.1214.1215.1216.2221.1222.1224.1	2' - 6'' 2' - 6'' 2' - 6'' 2' - 6'' 4' - 6'' 2' - 6'' 4' - 6'' 2' - 6'' 4' - 6'' 2' - 6'' 3' - 0'' 3' - 0'' 4' - 6''	8' - 0" 8' - 0"	SINGLE POCKET SINGLE SINGLE SINGLE PAIR SINGLE SINGLE PAIR SINGLE PAIR	INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK BATH 9 INT. BUNK 9 INT. BATH 8 INT. BED 8 CLOSET INT. BED 8 INT. BED 10 INT. BED 10 CLOSET	WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK	STAINED STAINED STAINED STAINED STAINED STAINED STAINED	STAINED STAINED STAINED STAINED STAINED STAINED	ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLESINGLE PANEL SHAKER STYLE
207.1208.1209.1210.1211.1213.1214.1215.1216.2221.1222.1224.1	2' - 6" 2' - 6" 2' - 6" 4' - 6" 2' - 6" 4' - 6" 2' - 6" 4' - 6" 2' - 6" 3' - 0" 3' - 0" 3' - 0" 4' - 6"	8' - 0" 8' - 0"	SINGLE SINGLE SINGLE PAIR SINGLE SINGLE PAIR SINGLE PAIR	INT. BUNK BATH 9 INT. BUNK 9 INT. BATH 8 INT. BED 8 CLOSET INT. BED 8 INT. BED 10 INT. BED 10 CLOSET	WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK	STAINED STAINED STAINED STAINED STAINED	STAINED STAINED STAINED STAINED	ROCKY MTN. ROCKY MTN. ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
208.1209.1210.1211.1213.1213.1214.1215.1216.2221.1222.1224.1	2' - 6" 2' - 6" 4' - 6" 2' - 6" 2' - 6" 4' - 6" 2' - 6" 2' - 6" 2' - 6" 3' - 0" 3' - 0" 3' - 0" 4' - 6"	8' - 0" 8' - 0"	SINGLE SINGLE PAIR SINGLE SINGLE PAIR SINGLE PAIR	INT. BUNK 9 INT. BATH 8 INT. BED 8 CLOSET INT. BED 8 INT. BED 10 INT. BED 10 CLOSET	WHITE OAK WHITE OAK WHITE OAK WHITE OAK WHITE OAK	STAINED STAINED STAINED STAINED	STAINED STAINED STAINED	ROCKY MTN. ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
209.1210.1211.1213.1214.1215.1216.2221.1222.1224.1	2' - 6" 4' - 6" 2' - 6" 2' - 6" 4' - 6" 2' - 6" 4' - 6" 2' - 6" 3' - 0" 3' - 0" 3' - 0" 4' - 6"	8' - 0" 8' - 0"	SINGLE PAIR SINGLE SINGLE PAIR SINGLE PAIR	INT. BATH 8 INT. BED 8 CLOSET INT. BED 8 INT. BED 10 INT. BED 10 CLOSET	WHITE OAK WHITE OAK WHITE OAK WHITE OAK	STAINED STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
211.1213.1214.1215.1216.1216.2221.1222.1224.1	2' - 6" 2' - 6" 4' - 6" 2' - 6" 4' - 6" 2' - 6" 3' - 0" 3' - 0" 3' - 0" 3' - 0" 4' - 6"	8' - 0" 8' - 0" 8' - 0" 8' - 0" 8' - 0" 8' - 0" 8' - 0"	SINGLE SINGLE PAIR SINGLE PAIR	INT. BED 8 INT. BED 10 INT. BED 10 CLOSET	WHITE OAK WHITE OAK	STAINED			
213.1214.1215.1216.1216.2221.1222.1224.1	2' - 6" 4' - 6" 2' - 6" 4' - 6" 2' - 6" 3' - 0" 3' - 0" 3' - 0" 4' - 6"	8' - 0" 8' - 0" 8' - 0" 8' - 0" 8' - 0" 8' - 0"	SINGLE PAIR SINGLE PAIR	INT. BED 10 INT. BED 10 CLOSET	WHITE OAK		STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
214.1215.1216.1216.2221.1222.1224.1	4' - 6" 2' - 6" 4' - 6" 2' - 6" 3' - 0" 3' - 0" 3' - 0" 4' - 6"	8' - 0" 8' - 0" 8' - 0" 8' - 0" 8' - 0"	PAIR SINGLE PAIR	INT. BED 10 CLOSET			STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
216.1216.2221.1222.1224.1	4' - 6" 2' - 6" 3' - 0" 3' - 0" 3' - 0" 4' - 6"	8' - 0" 8' - 0" 8' - 0"	PAIR		WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
216.2221.1222.1224.1	2' - 6" 3' - 0" 3' - 0" 3' - 0" 4' - 6"	8' - 0" 8' - 0"			WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
221.1 222.1 224.1	3' - 0" 3' - 0" 3' - 0" 4' - 6"	8' - 0"	יסוואנים 🛏	INT. UTILITY INT. UTILITY	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
224.1	3' - 0" 4' - 6"	8' - 0"	SINGLE	INT. SKI VESTIBULE	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
	4' - 6"		SINGLE	EXT. SKI ROOM / FULL LITE	ALUM.	ANNOD. ALUM.	ANNOD. ALUM.	ROCKY MTN.	
	_	8' - 0" 8' - 0"	SINGLE PAIR	INT. MEDIA EQUIPMENT INT. MEDIA ROOM	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
225.2	3-0	8' - 0"	SINGLE	INT. MEDIA ROOM	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
	2' - 11 3/4"	2' - 10 1/4"							
	2' - 11 3/4" 2' - 11 3/4"	2' - 10 1/4" 6' - 3 1/4"							
	2' - 11 3/4"	6' - 3 1/4"							
303.1	3' - 0"	8' - 0"	SINGLE	INT. ELEVATOR	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
305.1 305.2	5' - 0" 5' - 0"	8' - 0" 8' - 0"	POCKET POCKET	INT. LIBRARY INT. LIBRARY	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
306.1	4' - 0"	8' - 0"	PAIR	INT. BED 7 CLOSET	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
307.1	2' - 6"	8' - 0"	SINGLE	INT. BED 7		STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
308.1 309.1	2' - 6" 4' - 0"	8' - 0" 8' - 0"	SINGLE PAIR	INT. BATH 7 INT. BED 6 CLOSET	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
310.1	2' - 6"	8' - 0"	SINGLE	INT. BED 6	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
311.1	2' - 6" 3' - 0"	8' - 0" 8' - 0"	SINGLE PAIR	INT. BATH 6 INT. DINING LOUNGE	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE
312.1 314.1	3 - 0 7' - 6"	8' - 0"	PAIR PAIR/POCKET	INT. CHEF'S KITCHEN	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
315.1	3' - 0"	8' - 0"	PAIR	INT. PANTRY	WHITE OAK	STAINED	STAINED	ROCKY MTN.	
315.2 316.1	3' - 0" 3' - 0"	8' - 0" 8' - 0"	PAIR	INT. PANTRY INT. SERVING	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
316.2	3' - 0"	8' - 0"	PAIR	INT. SERVING	WHITE OAK	STAINED	STAINED	ROCKY MTN.	
323.1	16' - 0"	7' - 0"	OVERHEAD	EXT. GARAGE/OVERHEAD/GLASS	ALUM.	GLASS	ANNOD. ALUM.		GLASS WINDOW
324.1 324.2	4' - 4" 4' - 4"	6' - 8" 6' - 8"	PAIR PAIR	EXT. TRASH/REC.	ALUM.	ANNOD. ALUM.	ANNOD. ALUM. ANNOD. ALUM.	ROCKY MTN. ROCKY MTN.	THERMALLY BROKEN THERMALLY BROKEN
326.1	2' - 6"	8' - 0"	SINGLE	INT. GARAGE	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
327.1	2' - 6"	8' - 0"	SINGLE	INT. COATS	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
328.1 403.1	2' - 6" 3' - 0"	8' - 0" 8' - 0"	SINGLE SINGLE	INT. POWDER 1 INT. ELEVATOR	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
405.1	2' - 6"	8' - 0"	SINGLE	INT. BED 5 CLOSET	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
405.2	4' - 6"	8' - 0"	PAIR	INT. BED 5 CLOSET		STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
405.3 407.1	4' - 6" 2' - 6"	8' - 0" 8' - 0"	PAIR SINGLE	INT. BED 5 CLOSET INT. BATH 5	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
408.1	2' - 6"	8' - 0"	SINGLE	INT. BED 5	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
410.1 411.1	2' - 6" 2' - 6"	8' - 0" 8' - 0"	SINGLE	INT. BED 4 INT. BATH 4	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
411.1	2 - 6	8 - 0 8' - 0"	POCKET	INT. BED 4 CLOSET	WHITE OAK WHITE OAK	STAINED	STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE
413.1	2' - 6"	8' - 0"	SINGLE	INT. BED 3 CLOSET	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
413.2 413.3	4' - 6" 4' - 6"	8' - 0" 8' - 0"	PAIR PAIR	INT. BED 3 CLOSET INT. BED 3 CLOSET	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
413.3	2' - 6"	8 - 0 8' - 0"	POCKET	INT. BED 3 CLOSET LOUNGE	WHITE OAK WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
416.1	2' - 6"	8' - 0"	POCKET	INT. BATH 3	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
417.1 418.1	2' - 6" 2' - 6"	8' - 0" 8' - 0"	SINGLE	INT. BED 3 INT. BED 2	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
419.1	2' - 6"	8 - 0" 8' - 0"	POCKET	INT. BATH 2	WHITE OAK	STAINED	STAINED		SINGLE PANEL SHAKER STYLE
420.1	5' - 0"	8' - 0"	PAIR/POCKET	INT. BED 2 CLOSET	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
503.1 504.1	3' - 0" 7' - 4"	8' - 0" 6' - 8"	SINGLE POCKET	INT. ELEVATOR INT. CORR. L-5	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
504.1	4' - 0"	8' - 0"	PAIR	INT. BED 1 HER CLOSET	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
505.2	3' - 0"	8' - 0"	PAIR	INT. BED 1 HER CLOSET		STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
505.3 505.4	3' - 0" 4' - 0"	8' - 0" 8' - 0"	PAIR PAIR	INT. BED 1 HER CLOSET INT. BED 1 HER CLOSET	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
505.5	4' - 0"	8' - 0"	PAIR	INT. BED 1 HER CLOSET	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
506.1	2' - 6"	8' - 0" 8' - 0"	SINGLE	INT. BED 1 CLOSET LOUNGE		STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
507.1 507.2	4' - 6" 4' - 6"	8' - 0" 8' - 0"	PAIR PAIR	INT. BED 1 HIS CLOSET INT. BED 1 HIS CLOSET	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
508.1	2' - 6"	8' - 0"	POCKET	INT. WATER CLOSET	WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
509.1 509.2	2' - 6" 2' - 6"	8' - 0" 8' - 0"	SINGLE	INT. BED 1 INT. BED 1	WHITE OAK WHITE OAK	STAINED STAINED	STAINED STAINED	ROCKY MTN. ROCKY MTN.	SINGLE PANEL SHAKER STYLE SINGLE PANEL SHAKER STYLE
510.1	2 - 0 6' - 0"	8 - 0 8' - 0"	PAIR/POCKET	INT. BATH 1	WHITE OAK WHITE OAK	STAINED	STAINED	ROCKY MTN.	SINGLE PANEL SHAKER STYLE
513.1	2' - 6"	8' - 0"	SINGLE	INT. BATH			STAINED		preliminary



### **DOOR INSTALLATION NOTES**

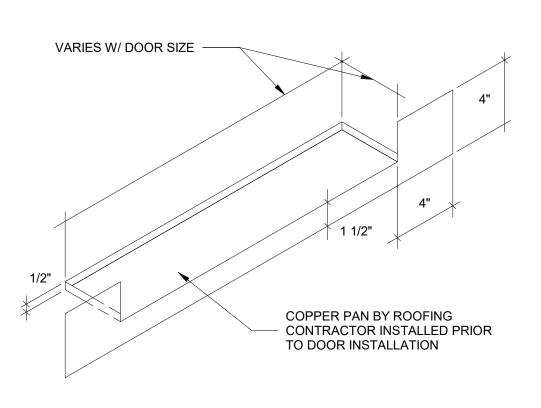
#### "BITUTHENE" ICE & WATER SHIELD

RUBBERIZED ASPHALT SHEET MEMBRANE MANUFACTURED BY W.R. GRACE & COMPANY CAMBRIDGE, MASS.



**INSTALLATION NOTES: CONCRETE FLOOR** 

- 1. INSTALL COPPER PAN ALONG THE BOTTOM OF THE OPENING IF THE INSTALLATION IS OVER WOOD FLOOR. SEE BELOW FOR DIMENSIONS.
- 2. ATTACH 12" "BITUTHENE" ALONG THE VERTICAL SIDES OF OPENING. FLUSH WITH THE EDGE, MAKING SURE THAT IT IS OVER THE BOTTOM HORIZONTAL STRIP. LENGTH OF THE FLASHING MUST BE LONG ENOUGH TO FALL A MINIMUM OF 12" BEYOND THE OPENING ON TOP AND BOTTOM SO THAT IT IS BEYOND THE TOP HORIZONTAL PIECE THAT IS ATTACHED IN STEP 4 AFTER THE DOOR IS PLACED IN THE OPENING
- CAULK FACE OF OPENING, 1/2" FROM THE INSIDE EDGE. 3. POSITION WINDOW IN THE OPENING, PLUMB AND SQUARE AND NAIL FLANGE TO STUDS. CAULKING SHOULD EXTRUDE FROM EDGE OF FLANGE
- 4. ATTACH THE FOURTH STRIP OF FLASHING ALONG THE HORIZONTAL EDGE OF THE DOOR, MAKING SURE THAT THE FLASHING IS POSITIONED OVER THE DOOR FLANGE AND OVER THE VERTICAL PIECES. THIS STRIP MUST FALL A MINIMUM OF 12" BEYOND THE OPENING SO THAT IT IS BEYOND THE VERTICAL PIECES ON EA. SIDE.
- 5. NAIL FRAME 4" FROM EACH END AND 16" O.C. TO STUDS. NOTE: STAPLE PERIMETER OF MOISTOP TO FRAMING MEMBERS 1" FROM OUTSIDE EDGE TO PREVENT WIND DAMAGE.





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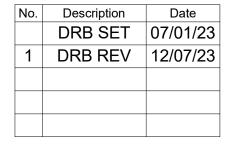


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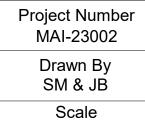
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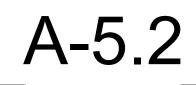




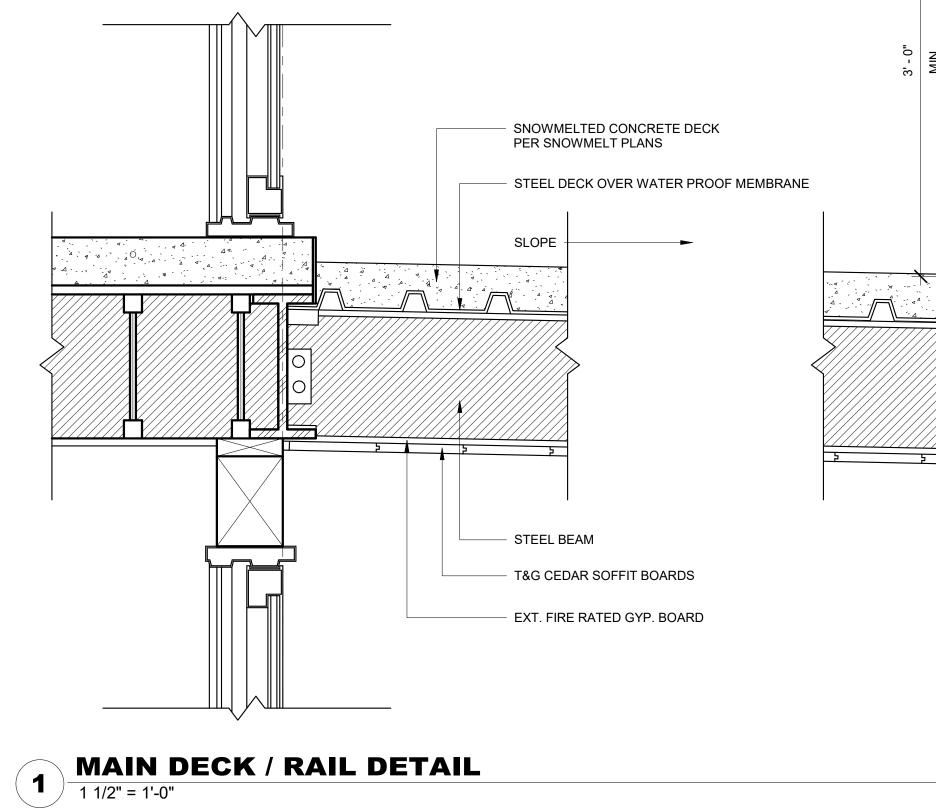
HORTON RESIDENCE

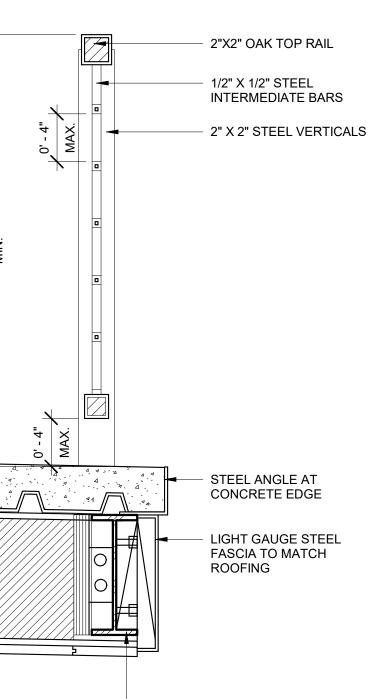


1" = 1'-0"









STEEL BEAM

GYP. BOARD 2X6 WALL FRAMING BATT INSULATION PLASTER/PAINT WHERE APPLICABLE

6X HEADER WOOD SHIM

OAK JAMB EXTENSION TRIM.

ANODIZED ALUMINUM WINDOW SYSTEM

ANODIZED ALUMINUM WINDOW SYSTEM

WOOD SHIM

2X6 WALL FRAMING GYP. BOARD

BATT INSULATION PLASTER/PAINT WHERE APPLICABLE

FINISH BASE PER INT. FINISHES

1 1/2" GYPCRETE W/HYDRONIC IN-FLOOR HEAT PLYWOOD SUB-FLOOR

WOOD FINISH PER INT. TILE FINISH PER INT.

0' - 0 3/8" CT PER SPE 0' - 0 3/8" MORTAR BE

**R-38 INSULATION** 

TJI FLOOR JOISTS PER STRUCTURAL DWGS. HANGER PER STRUCTURAL DWGS.

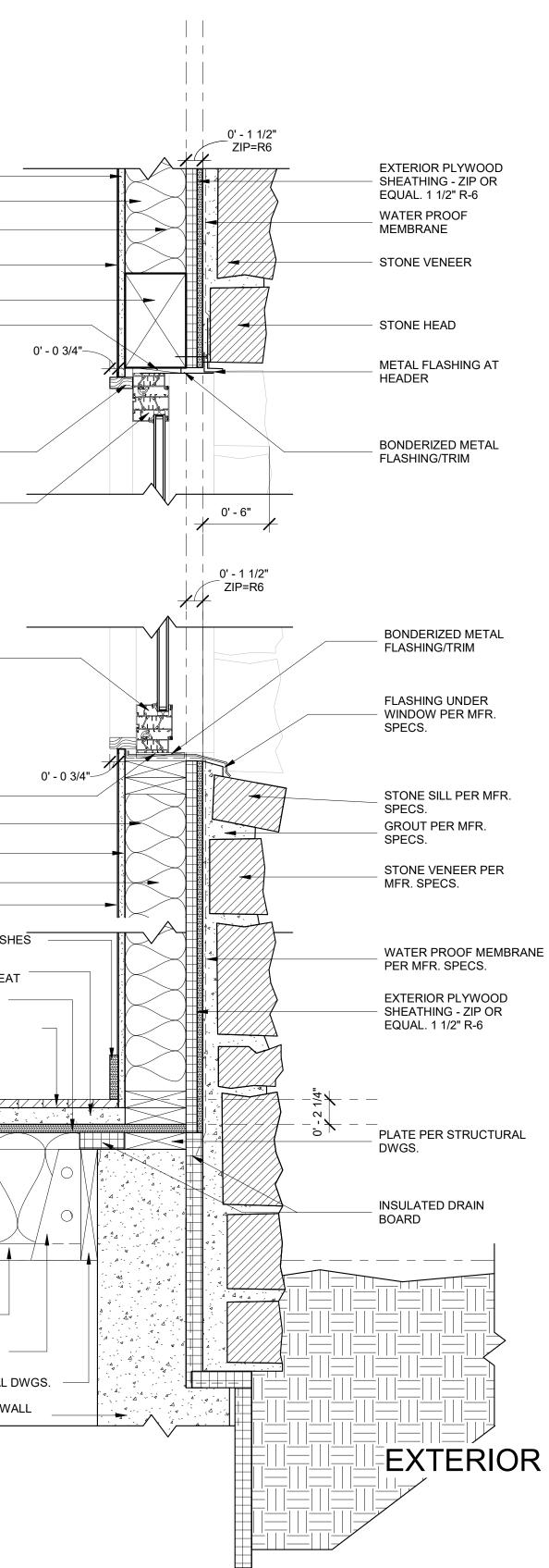
LEDGER PER STRUCTURAL DWGS.

CONCRETE FOUNDATION WALL

PER STRUCTURAL DWGS.

INTERIOR







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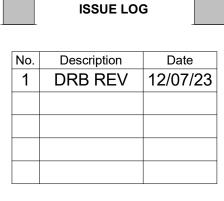
SIDENC π wn of Mour 81435 Ш С ΡÖ С G he Ridge Village, N N N HOR Lot 1

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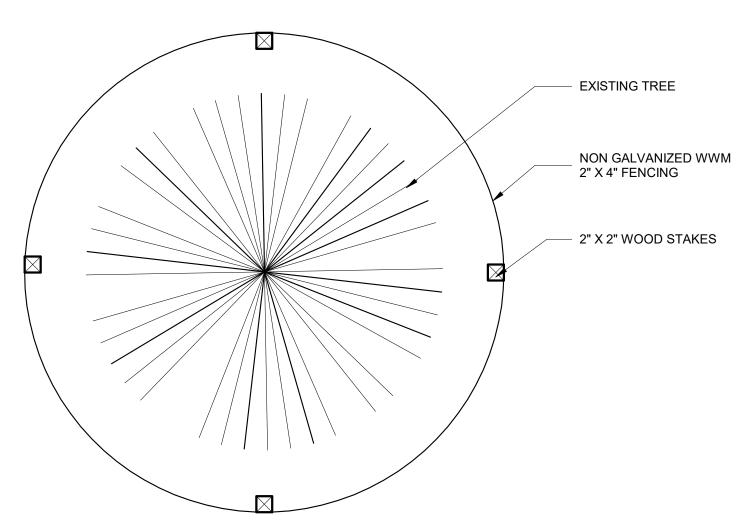
#### HORTON RESIDENCE

Project Number MAI-23002 Drawn By SM & JB Scale 1 1/2" = 1'-0"

D-1

# preliminary-not for construction

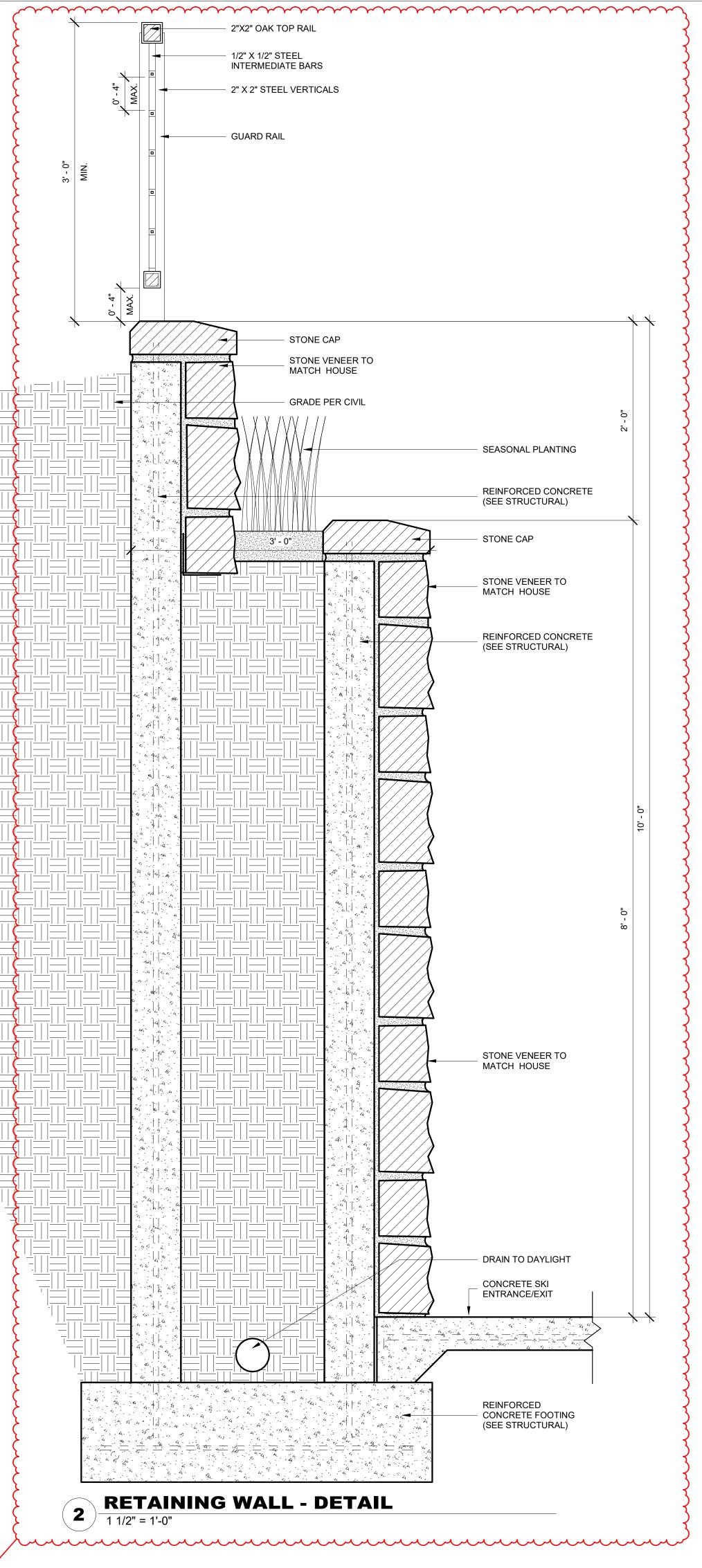




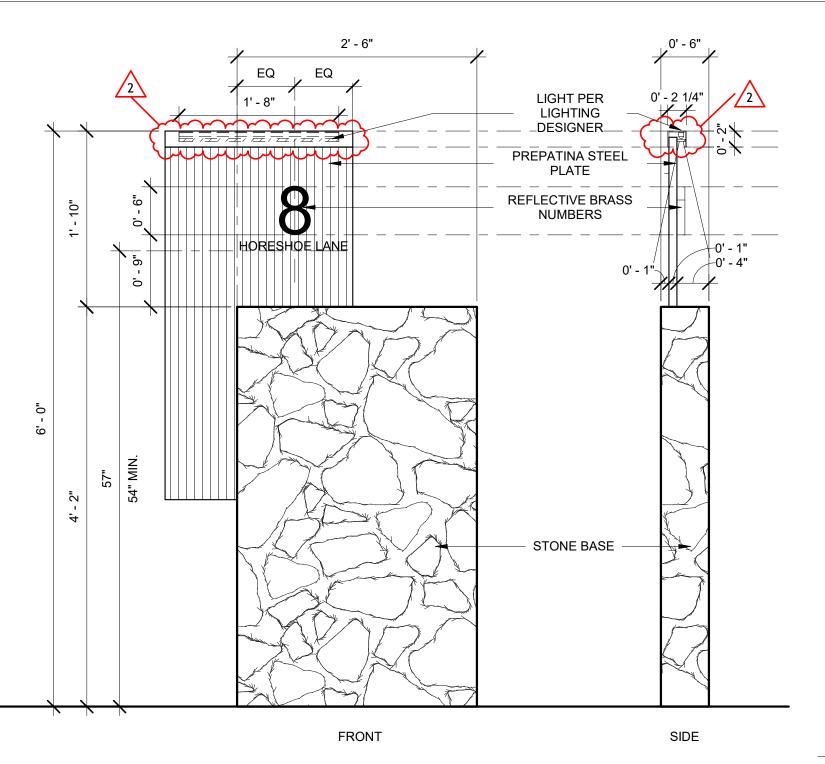
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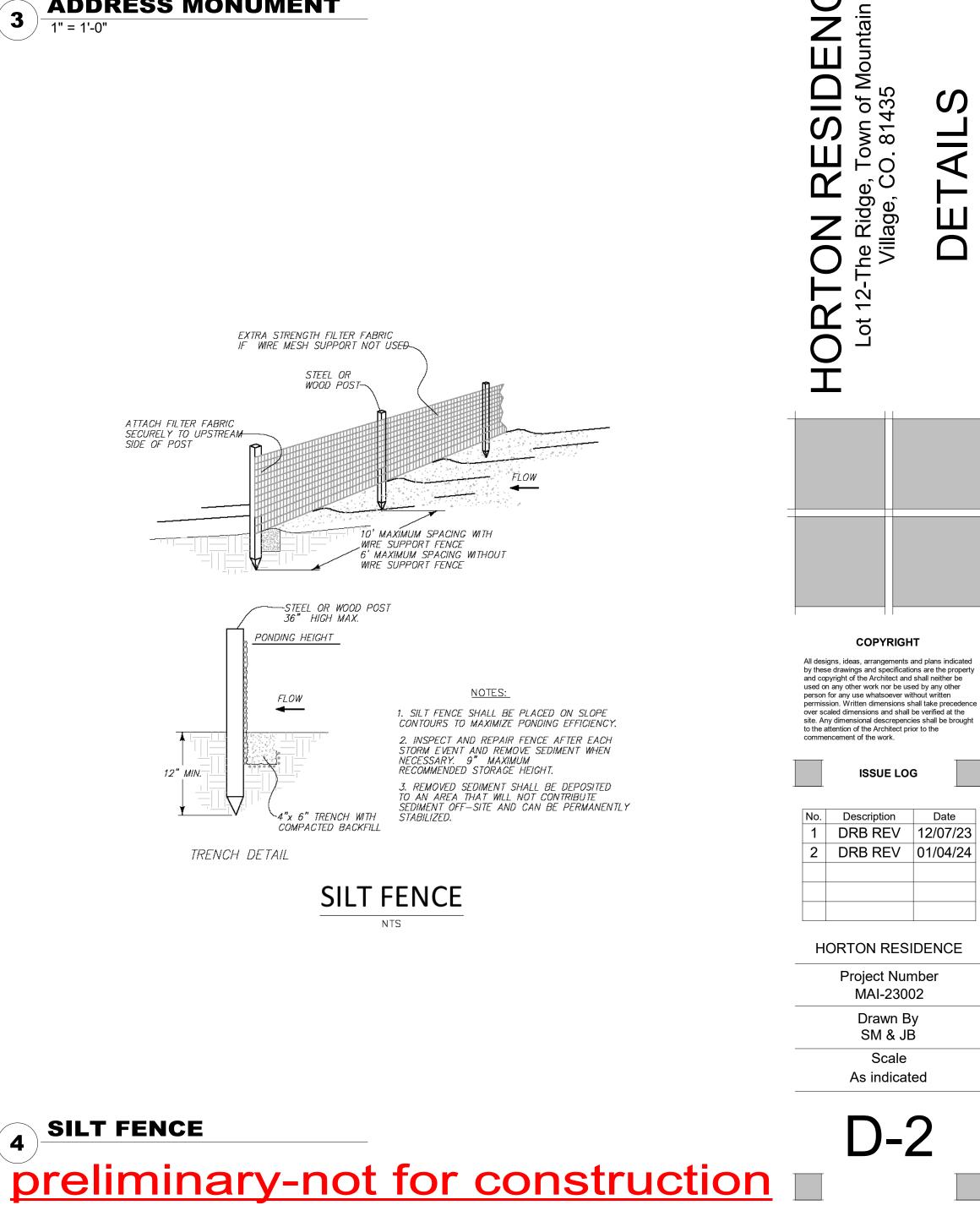


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# ADDRESS MONUMENT

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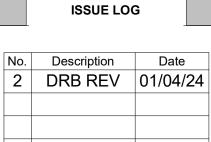
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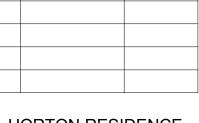
# VIEWS SPECTIVE Ŷ Ш

HORTON RESIDENCE Lot 12-The Ridge, Town of Mountain Village, CO. 81435

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HORTON RESIDENCE

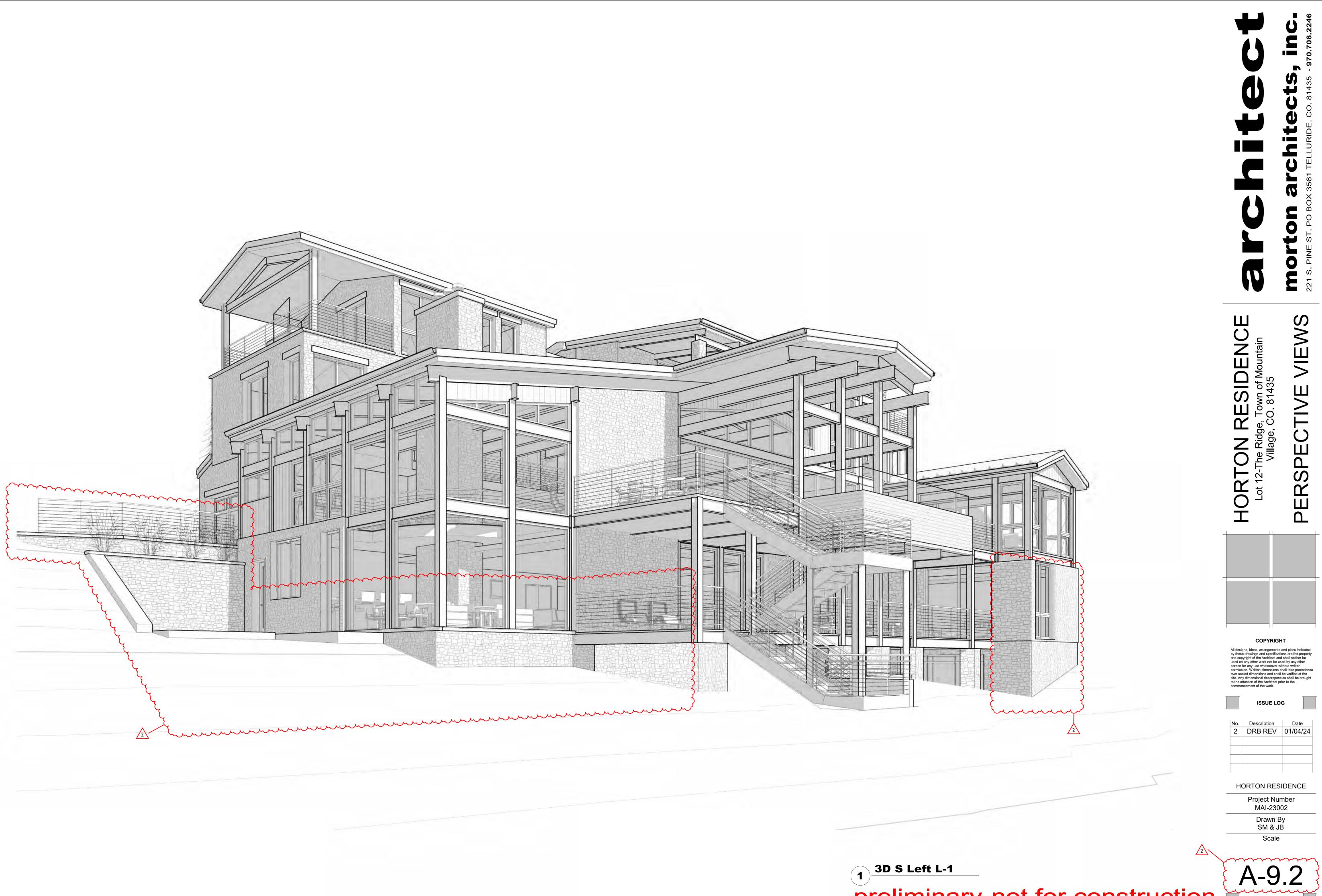
Project Number MAI-23002 Drawn By SM & JB

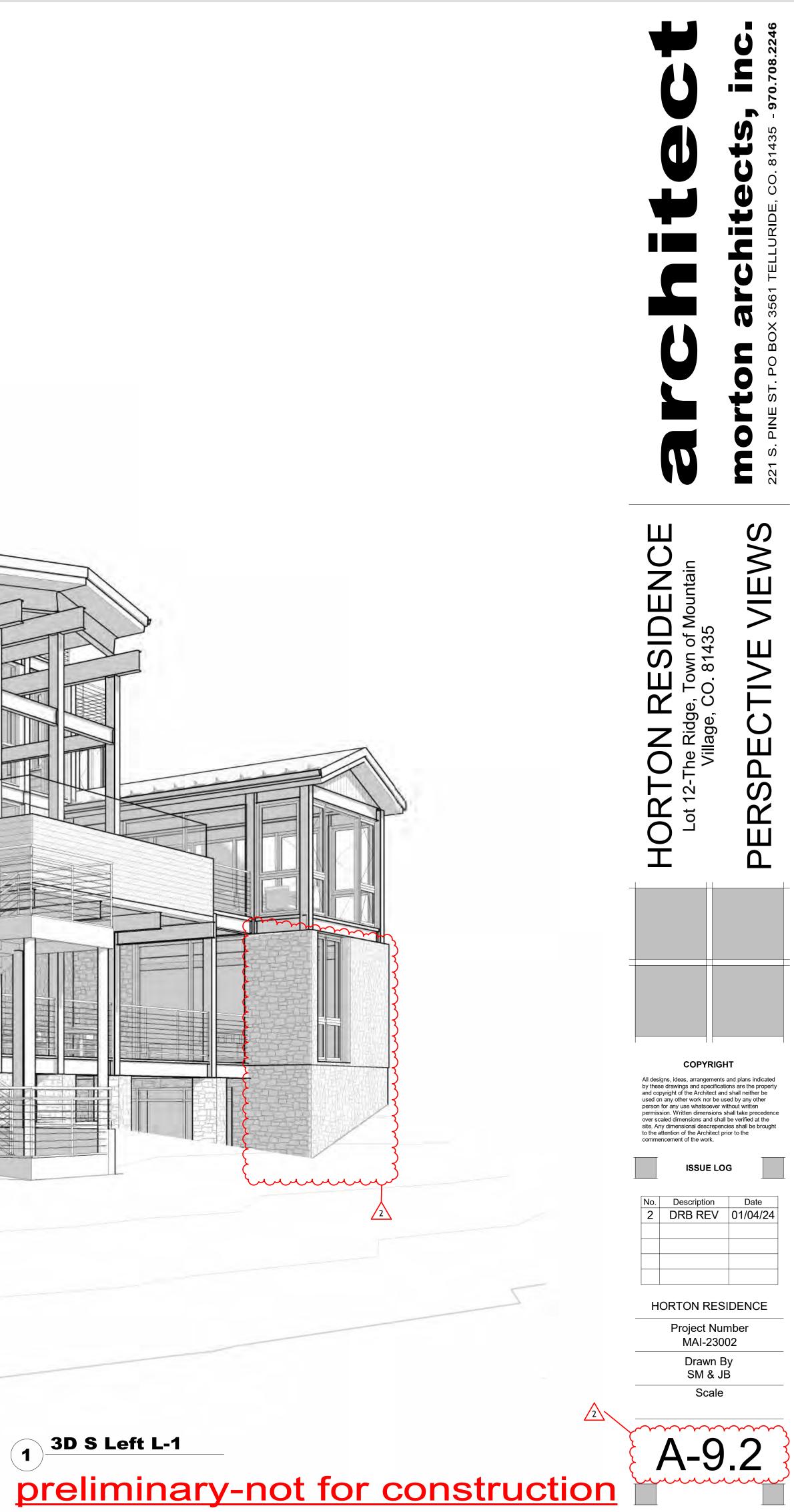
Scale

A-9.1

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preliminary-not for construction





# HORTON RESIDENCE ARCHITECTURAL LIGHTING



# ARCHITECTURAL LIGHTING DESIGN SERVICES : DRAWING SCHEDULE

- COVER SHEET + LIGHTING DRAWING INDEX L0.0 + LEGEND + GENERAL NOTES
- FIRST LEVEL LIGHTING PLAN L1.1
- SECOND LEVEL LIGHTING PLAN L1.2
- THIRD LEVEL LIGHTING PLAN L1.3
- FOURTH LEVEL LIGHTING PLAN L1.4
- FIFTH LEVEL LIGHTING PLAN L1.5
- LIGHTING DETAILS L2.0
- FIRST LEVEL EXTERIOR LIGHTING CALCULATION PLAN + L3.1 **PROJECT CALCULATION SUMMARY**
- SECOND LEVEL EXTERIOR LIGHTING CALCULATION PLAN L3.2
- L3.3 THIRD LEVEL EXTERIOR LIGHTING CALCULATION PLAN
- L3.4 FOURTH LEVEL EXTERIOR LIGHTING CALCULATION PLAN
- L3.5 FIFTH LEVEL EXTERIOR LIGHTING CALCULATION PLAN

## **GENERAL NOTES**

**1. ELECTRICAL CONTRACTOR TO INSTALL** AND PROGRAM LIGHTING CONTROL SYSTEM. EC TO UTILIZE CONTROL OVERVIEW SPREADSHEET IN INITIAL PROGRAMMING OF THE SYSTEM, AND REVIEW FINAL LEVELS WITH LIGHTING DESIGNER ONSITE DURING NIGHTTIME AIMING SESSIONS.

2. PROVIDE PRICING FOR LUTRON QSX/HOMEWORKS SYSTEM, WITH ALISSE KEYPAD OR EQUIVALENT TO BE PROVIDED. EXACT KEYPAD TO BE CONFIRMED.

3. PROVIDE ALL SWITCHES AND DIMMERS AS SMART DEVICES ON THE LUTRON SYSTEM FOR THE ALL OFF FUNCTION/FEATURE.

4. PROVIDE FIXTURE, COMPATIBLE DIMMING DRIVER, ALL NECESSARY COMPONENTS AND CONNECTIONS, TO PROVIDE A SYSTEM OF SMOOTH DIMMING WITHOUT FLICKER AT ALL LEVELS OF DIMMING.

5. EC TO PROVIDE SUBMITTAL PACKAGE FOR REVIEW BY LIGHTING DESIGNER AND SIGN OFF PRIOR TO ORDERING.

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architectural lighting design

618 Mtn Vlg Blvd, Ste 203A PO Box 3610 Telluride, CO 81435 P 970.729.8892 www.luminosityald.com

CONSULTANTS

Architect MORTON ARCHITECTS 221 S. Pine St. PO Box 3561 Telluride, CO 81435 970.708.2246

Interior Architect

Landscape Architect

**General Contractor** 

**Electrical Contractor** 

REVISIONS

11.15.2023 EXTERIOR DRB SUBMISSION 12.20.2023 EXTERIOR DRB SUBMISSION

PROJECT

## HORTON RESIDENCE Lot 12 - The Ridge

Mountain Village, CO.

SITE ORIENTATION

DRAWING TITLE

COVER

DRAWING ISSUE

ISSUE:	EXTERIOR DRB SUBMISSION
DATE:	20 DECEMBER 2023
DRAWING:	ARCH D - 24 X 36
SCALE:	AS NOTED ON DRAWING
JOB #:	NA
DRAWN BY:	МН
CHECKED BY:	CS

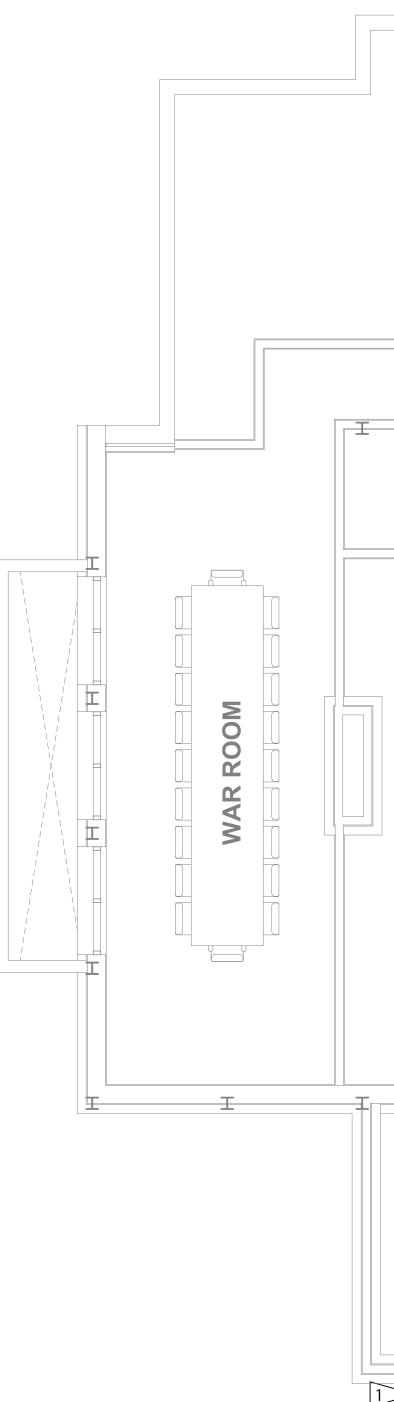
DRAWING NO.

L0.0

	LIGHTING SYMBOLS
0/00	REC ADJ DOUBLE DOWNLIGHT
<b>-</b> O	SURF MNTD CLG MONOPOINT
∎/●	RECESSED ADJ DOWNLIGHT
<b>□</b> /o	RECESSED ADJ DOWNLIGHT. WET RATED.
+	SURF MNTD CLG FIXT. STEAM RATED.
-\$-	SURF MTD CLG FIXT
	SURF MNTD LINEAR LED FIXT
<b></b>	CEILING MOUNTED PENDANT
	CEILING MOUNTED FIXT
-ф-	WALL MOUNTED SCONCE
	WALL MOUNTED LINEAR FIXT
4	VERT MOUNTED LED EXTRUSION
đ	STEP LIGHT
\$	SWITCH - SINGLE POLE
\$ <sub>D</sub>	SWITCH - DIMMER
\$3	SWITCH - THREE WAY
\$ <sub>3D</sub>	SWITCH - THREE WAY DIMMER
\$	SWITCH - DOOR JAMB
\$к	SWITCH - CONTROL SYSTEM KEYPAD
\$ <sub>T</sub>	SWITCH - TIMER
\$	SWITCH - DUPLEX RECEPTACLE
ф	DUPLEX RECEPTACLE
٠	SWITCHED - DUPLEX RECT FLUSH IN FLOOR
Ø	DUPLEX RECEPTACLE FLUSH IN FLOOR
F	EXHAUST FAN
J	JUNCTION BOX
Т	REMOTE TRANSFORMER
D	REMOTE DRIVER - LED POWER SUPPLY

- 1 L3 LUMENPOD TO THREAD INTO HANDRAIL, 25 DEG OFF NADIR, TOWARDS STAIRS. CONNECT ALL L3'S FOR ENTIRE STAIR RUN (TOTAL OF 8). RUN LOW VOLTAGE WIRE IN HANDRAIL. PROVIDE REMOTE ACCESSIBLE DRIVER.
- 2 MOUNT CENTER OF TYPE L1 FIXTURE AT 18" AFF.

3



STAIR L1 GOLF \_ \_ \_ \_ \_ \_ # = = = ======###*=* SIMULATOR I Ι + = = = = : CLIMBING ROOM \_ \_ \_ \_ ROOM MECHANICAL = = = : \_ \_ \_ \_ \_ \_ \_ ----- - - -AR  $\mathbf{\Omega}$ 4 Ω CORR.1 ົ ELEV. L-1 MATERIAL STORAGE SPA BATH 11 SAUNA SPA LOUNGE I I I Ι EXERCISE WORKSHOP 2 L1 TYP YOGA L4  $\langle 002 
angle$ (003) PATIO L-1  $\mathbf{u}^{-} = = \begin{bmatrix} \mathbf{1} \\ \mathbf{3} \\ \mathbf{3} \end{bmatrix} \begin{bmatrix} \mathbf{1} \\ \mathbf{3} \end{bmatrix} = \begin{bmatrix} \mathbf{3} \\ \mathbf{3} \end{bmatrix}$ 

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CONSULTANTS

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Interior Architect

Landscape Architect

General Contractor

Electrical Contractor

<u> </u>	DATE	DESCRIPTION
$\Lambda$	11.15.2023	EXTERIOR DRB SUBMISSION
$\sum_{n=1}^{\infty}$	12.20.2023	EXTERIOR DRB SUBMISSION

PROJECT

#### HORTON RESIDENCE Lot 12 - The Ridge Mountain Village, CO.

SITE ORIENTATION

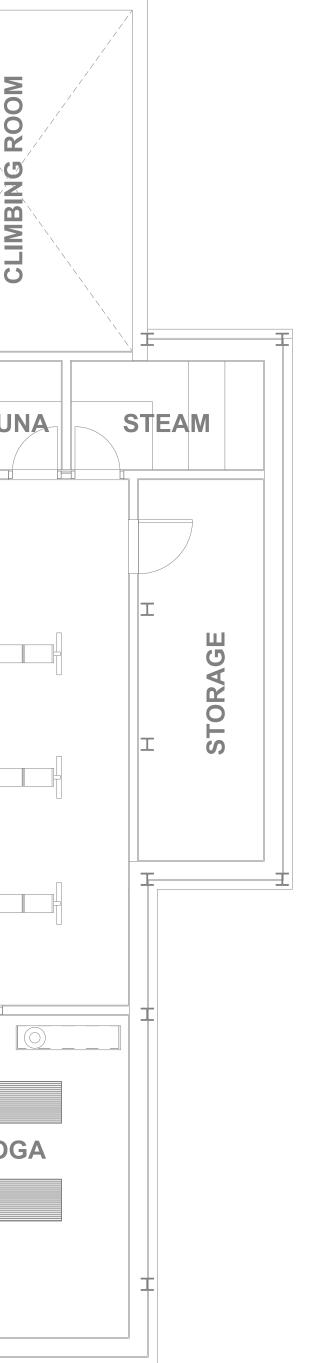
DRAWING TITLE FIRST LEVEL LIGHTING PLAN

DRAWING	ISSU

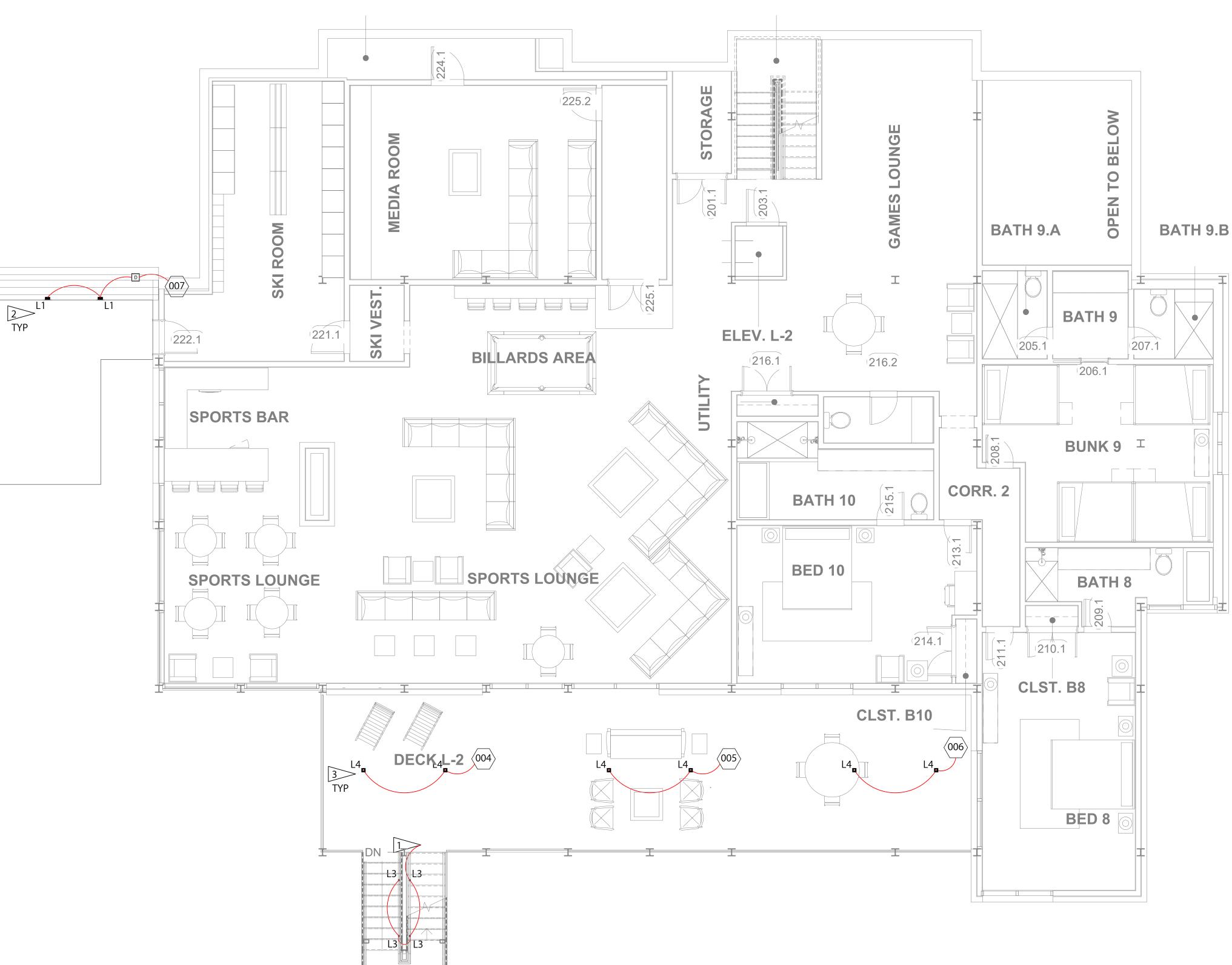
ISSUE:	EXTERIOR DRB SUBMISSION
DATE:	20 DECEMBER 2023
DRAWING:	ARCH D - 24 X 36
SCALE:	AS NOTED ON DRAWING
JOB #:	NA
DRAWN BY:	MH
CHECKED BY:	CS

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DRAWING NO.

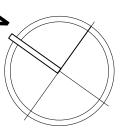


- 1 L3 LUMENPOD TO THREAD INTO HANDRAIL, 25 DEG OFF NADIR, TOWARDS STAIRS. CONNECT ALL L3'S FOR ENTIRE STAIR RUN (TOTAL OF 8). RUN LOW VOLTAGE WIRE IN HANDRAIL. PROVIDE REMOTE ACCESSIBLE DRIVER.
- 2 MOUNT CENTER OF TYPE L1 FIXTURE AT 18" AFF.
- 3 L4 DIMMED TO 50% TO MEET MV LIGHTING STANDARDS.



MEDIA EQUIPMENT

STAIR F. L-2



'<u>``````````````````</u>`'

anchitectural lighting da	s)gn

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Landscape Architect

General Contractor

Electrical Contractor

REVISIONS 

$\Lambda$	11.15.2023	EXTERIOR DRB SUBMISSION
2	12.20.2023	EXTERIOR DRB SUBMISSION

PROJECT

## HORTON RESIDENCE Lot 12 - The Ridge Mountain Village, CO.

SITE ORIENTATION

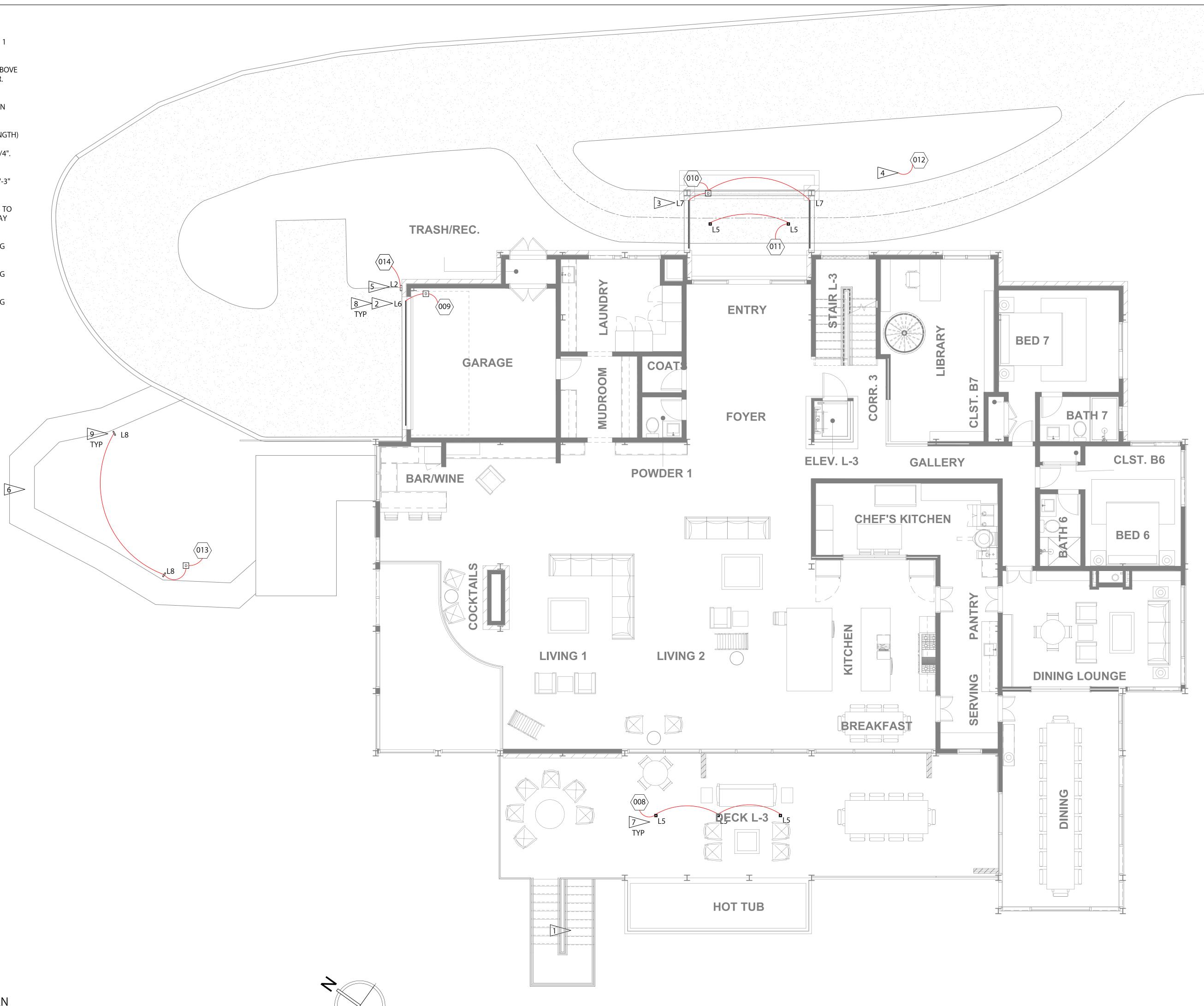
DRAWING TITLE SECOND LEVEL LIGHTING PLAN

#### DRAWING ISSUE

ISSUE:	EXTERIOR DRB SUBMISSION
DATE:	20 DECEMBER 2023
DRAWING:	ARCH D - 24 X 36
SCALE:	AS NOTED ON DRAWING
JOB #:	NA
DRAWN BY:	МН
CHECKED BY:	CS

DRAWING NO.

- TYPE L3 RAIL LIGHTING SHOWN ON LEVEL 1 AND LEVEL 2 DRAWINGS.
- 2 LINEAR LED LIGHTING TO BE INSTALLED ABOVE GARAGE DOOR, AND GRAZE DOWN DOOR. SEE LIGHTING DETAIL L2.0-1.
- 3 LINEAR LED LIGHTING TO BE INSTALLED ON BEAM. SEE LIGHTING DETAIL L2.0-2.
- 4 CONCEALED LINEAR LED (TYPE L9, 20" LENGTH) TO GRAZE DOWN STEEL PLATE. ADDRESS NUMBERS TO SIT PROUD OF PLATE BY 1-1/4". SEE LIGHTING DETAIL L2.0-3.
- 5 MOUNT CENTER OF TYPE L2 FIXTURE AT 5'-3" AFF.
- 6 STONE BOULDER PATH / STEP LOCATIONS TO BE CONFIRMED. LIGHTING LOCATIONS MAY NEED TO SHIFT ACCORDINGLY.
- 7 L5 DIMMED TO 50% TO MEET MV LIGHTING STANDARDS.
- 8 L6 DIMMED TO 50% TO MEET MV LIGHTING STANDARDS.
- 9 L8 DIMMED TO 43% TO MEET MV LIGHTING STANDARDS.



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Interior Architect

Landscape Architect

General Contractor

Electrical Contractor

# A DATE DESCRIPTION 11.15.2023 EXTERIOR DRB SUBMISSION 12.20.2023 EXTERIOR DRB SUBMISSION

PROJECT HORTON RESIDENCE

Lot 12 - The Ridge Mountain Village, CO.

SITE ORIENTATION

DRAWING TITLE THIRD LEVEL LIGHTING PLAN

DRAWING ISSUE				
ISSUE:	EXTERIOR DRB SUBMISSION			
DATE:	20 DECEMBER 2023			
DRAWING:	ARCH D - 24 X 36			
SCALE:	AS NOTED ON DRAWING			
JOB #:	NA			
DRAWN BY:	МН			
CHECKED BY:	CS			

DRAWING NO.

1 NOTES	
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CONSULTANTS

Architect MORTON ARCHITECTS 221 S. Pine St. PO Box 3561 Telluride, CO 81435 970.708.2246

Interior Architect

Landscape Architect

General Contractor

Electrical Contractor

 ATE
 DESCRIPTION

 11.15.2023
 EXTERIOR DRB SUBMISSION

 2
 12.20.2023
 EXTERIOR DRB SUBMISSION

PROJECT HORTON RESIDENCE Lot 12 - The Ridge Mountain Village, CO.

SITE ORIENTATION

DRAWING TITLE FOURTH LEVEL LIGHTING PLAN

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ISSUE:	EXTERIOR DRB SUBMISSION
DATE:	20 DECEMBER 2023
DRAWING:	ARCH D - 24 X 36
SCALE:	AS NOTED ON DRAWING
JOB #:	NA
DRAWN BY:	MH
CHECKED BY:	CS

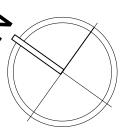
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MOUNT CENTER OF TYPE L1 FIXTURE AT 18" AFF.

2 L4 DIMMED TO 50% TO MEET MV LIGHTING STANDARDS.

3





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Interior Architect

Landscape Architect

General Contractor

Electrical Contractor

 REVISIONS

 Image: Amount of the system of the system

PROJECT HORTON RESIDENCE

Lot 12 - The Ridge Mountain Village, CO.

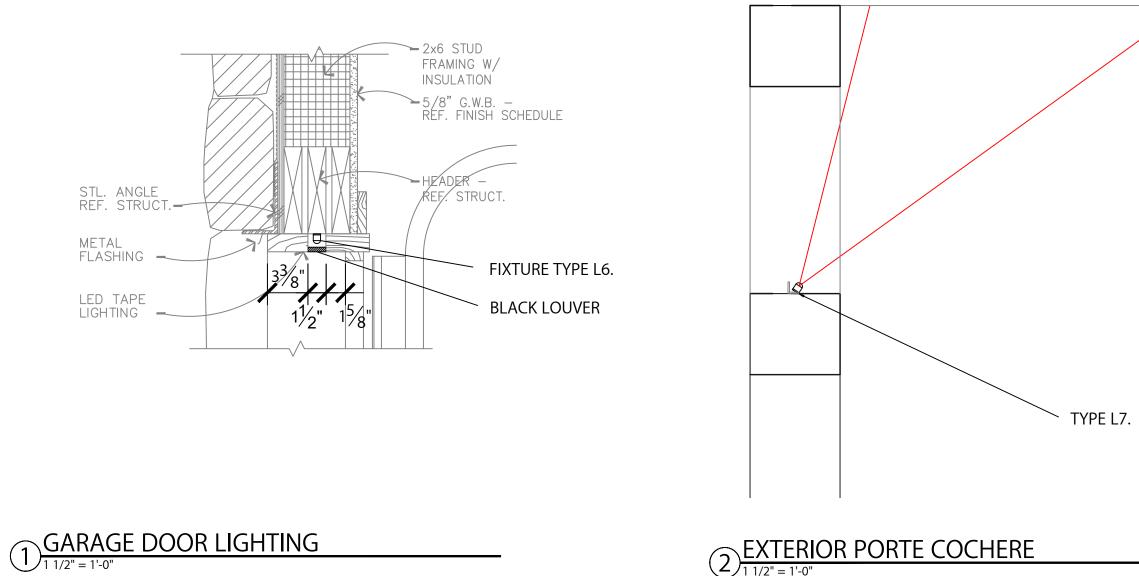
SITE ORIENTATION

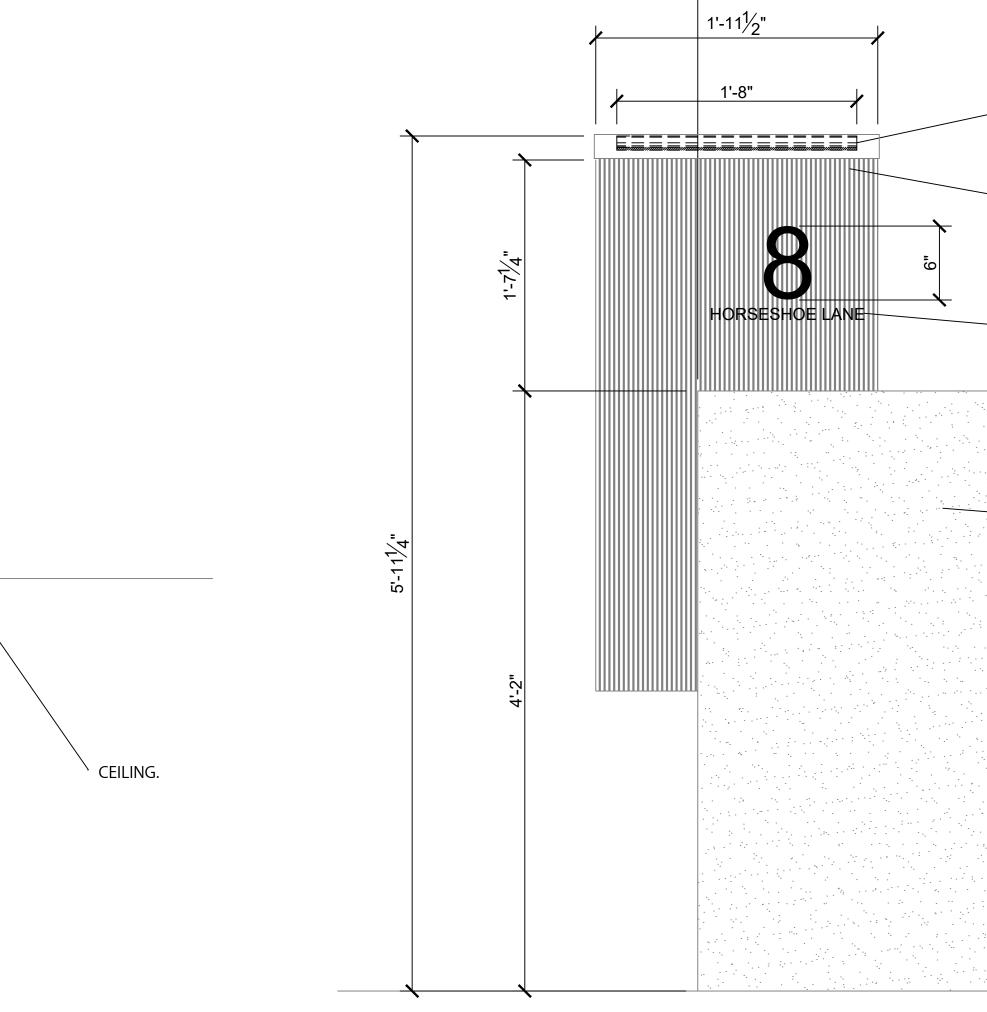
DRAWING TITLE FIFTH LEVEL LIGHTING PLAN



ISSUE:	EXTERIOR DRB SUBMISSION
DATE:	20 DECEMBER 2023
DRAWING:	ARCH D - 24 X 36
SCALE:	AS NOTED ON DRAWING
JOB #:	NA
DRAWN BY:	МН
CHECKED BY:	CS

DRAWING NO.





FRONT

2'-6"

3 ADDRESS MONUMENT DETAIL

		LUMINOSITY
		aich fectural lighting design
		618 Mtn Vlg Blvd, Ste 203A PO Box 3610
		Telluride, CO 81435 P 970.729.8892
		www.luminosityald.com
		CONSULTANTS
		Architect MORTON ARCHITECTS
		221 S. Pine St. PO Box 3561 Telluride, CO 81435 970.708.2246
		Interior Architect
		Landscape Architect
		General Contractor
		TBD
		Electrical Contractor
		TBD
		REVISIONS
		DATE DESCRIPTION
		1     11.15.2023 EXTERIOR DRB SUBMISSION       2     12.20.2023 EXTERIOR DRB SUBMISSION
	6"	PROJECT
		HORTON RESIDENCE
- FIXTURE TYPE L9	21/4"	Lot 12 - The Ridge
		Mountain Village, CO.
PREPATINA STEEL		SITE ORIENTATION
REFLECTIVE BRASS NUMBERS		
- CONCRETE BASE		
		DRAWING TITLE
		LIGHTING DETAILS
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		DRAWING ISSUE
		ISSUE: EXTERIOR DRB SUBMISSION DATE: 20 DECEMBER 2023
		DRAWING: ARCH D - 24 X 36
		SCALE: AS NOTED ON DRAWING JOB #: NA
		DRAWN BY: MH CHECKED BY: CS

SIDE

DRAWING NO.

L2.0

Label	CalcType	Units	Avg	Max	M
5th Fl Deck 1 Planar	Illuminance	Fc	0.44	5.3	0
5th Fl Deck 2 Planar	Illuminance	Fc	1.02	5.3	0
First Floor	Illuminance	Fc	1.75	6.6	0
Floor 2 Planar	Illuminance	Fc	1.84	5.6	0
Floor 3 Floor_Planar	Illuminance	Fc	0.97	3.5	0
Garage + Surround	Illuminance	Fc	0.39	6.6	0
Landing 1 Planar	Illuminance	Fc	0.46	2.2	0
Landing Planar	Illuminance	Fc	0.47	2.0	0
Lower Stair Plane 1 Planar	Illuminance	Fc	1.10	3.6	0
Lower Stair Plane Planar	Illuminance	Fc	1.20	3.7	0
Porte Cochere	Illuminance	Fc	0.60	3.5	0
Upper Stair Plane 1 Planar	Illuminance	Fc	1.67	3.4	0.
Upper Stair Plane Planar	Illuminance	Fc	1.62	2.8	0

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WAR ROOM

2 PROJECT CALCULATION SUMMARY

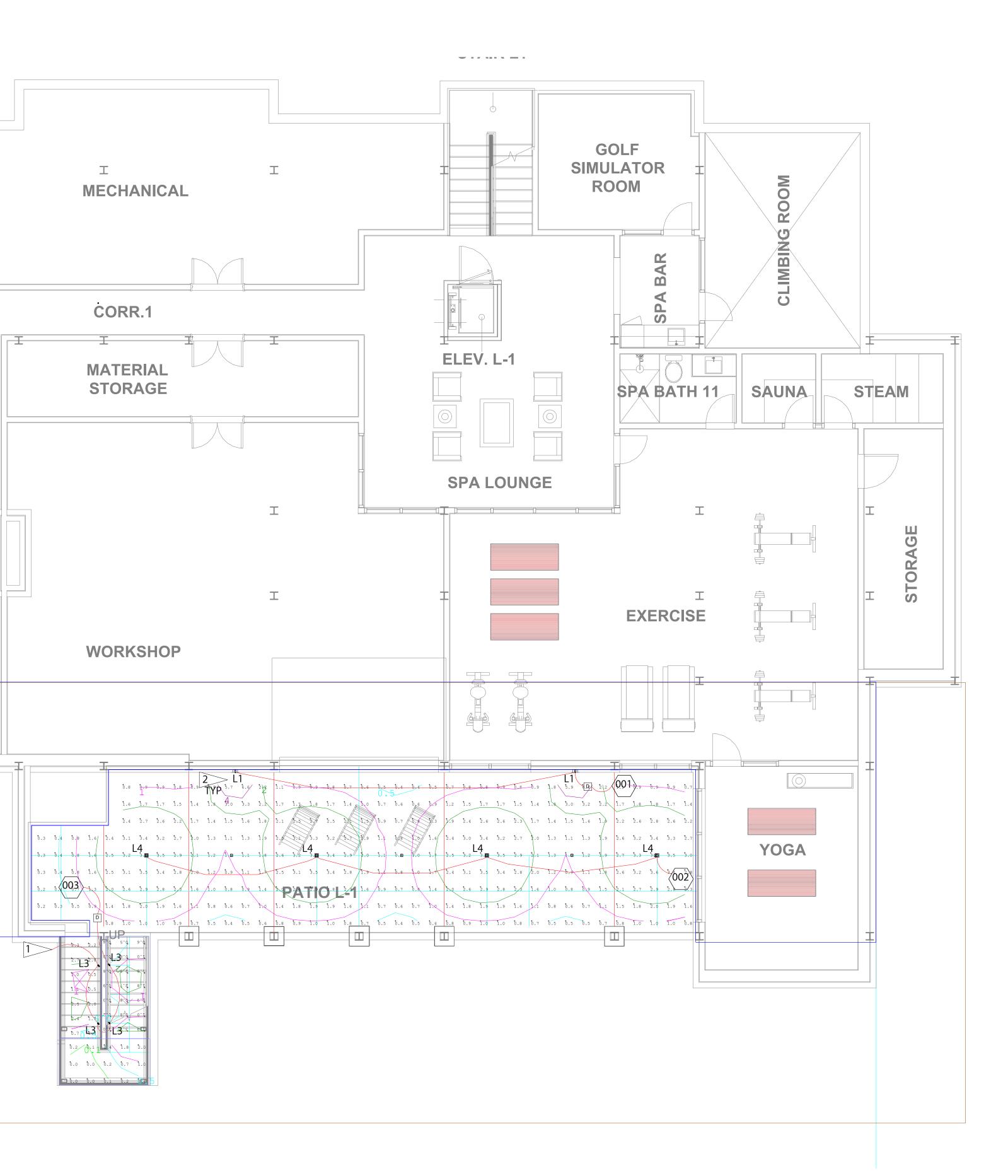
## NOTES

- 1 L3 LUMENPOD TO THREAD INTO HANDRAIL, 25 DEG OFF NADIR, TOWARDS STAIRS. CONNECT ALL L3'S FOR ENTIRE STAIR RUN (TOTAL OF 8). RUN LOW VOLTAGE WIRE IN HANDRAIL. PROVIDE REMOTE ACCESSIBLE DRIVER.
- 2 MOUNT CENTER OF TYPE L1 FIXTURE AT 18" AFF.

3



Luminaire So	chedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
->	6	L1 - Step Light	SINGLE	N.A.	0.350	7000SIKN92730x120 - Dimm
•	9	L3 - Stair Rail Ltg - Asym Tilt	SINGLE	N.A.	0.700	LULF30K705 25 degree til
÷	11	L5 - 2 in Ext Dwn Ltg - 40 Deg	SINGLE	N.A.	0.290	E2SL-LO83040AI - Dimmed
	1	L2 - Wall Sconce	SINGLE	N.A.	0.700	7000BSYN42SCUNV830Z
+	15	L6 - Garage Graze	SINGLE	281	0.350	VERS-04-SW-3 0-30-DRY-25
+	12	L7 - Port Cochere	SINGLE	375	0.640	TQ1SW-5_0-30-DRY-WO-60-S
+	2	L8 - Bollard	SINGLE	N.A.	0.310	7000ASTR93018DB12S
+	2	L9 - Sign	SINGLE	162	0.350	VERS-04-SW-1 5-30-DRY-25
÷	11	L4 - 2 in Ext Dwn Ltg - 60 Deg	SINGLE	N.A.	0.320	E2SL-LO83060AI - Dimmed



mmed to 50% minimum to meet DRB and MV Lighting Standards ilt d to 50% minimum to meet DRB and MV Lighting Standards 25D-ST - Dimmed to 50% minimum to meet DRB and MV Lighting -ST 25D-ST - Dimmed to 50% minimum to meet DRB and MV Lighting d to 50% minimum to meet DRB and MV Lighting Standards

# LUMINOSITY

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CONSULTANTS

Architect MORTON ARCHITECTS 221 S. Pine St. PO Box 3561 Telluride, CO 81435 970.708.2246

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REVISIONS

#	DATE	DESCRIPTION
$\sqrt{1}$	11.15.2023	EXTERIOR DRB SUBMISSION
2	12.20.2023	EXTERIOR DRB SUBMISSION

PROJECT

HORTON RESIDENCE Lot 12 - The Ridge Mountain Village, CO.

SITE ORIENTATION

#### DRAWING TITLE

FIRST LEVEL EXTERIOR CALCULATION + PROJECT CALCULATION SUMMARY

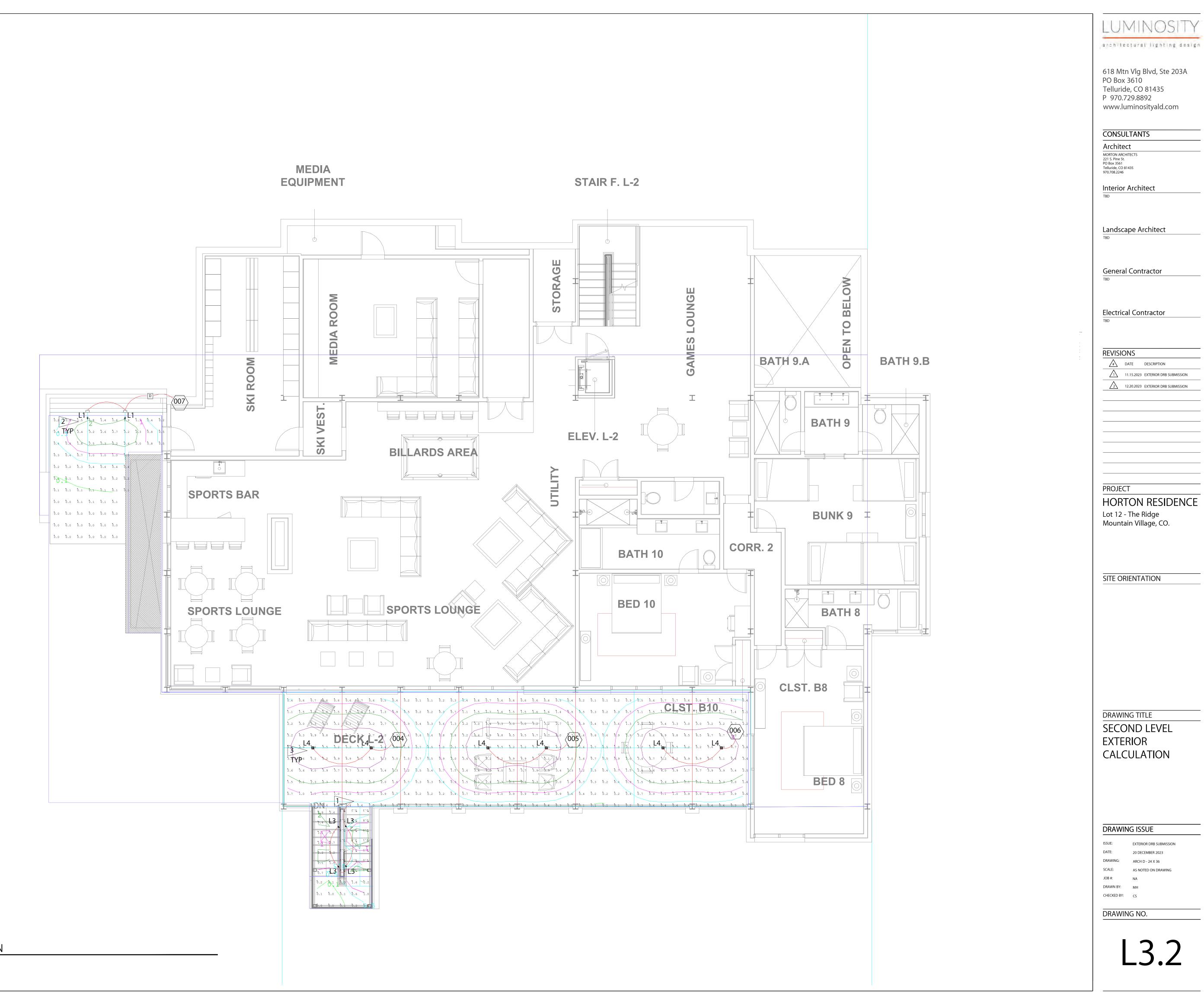
DRAWING	ISSUE

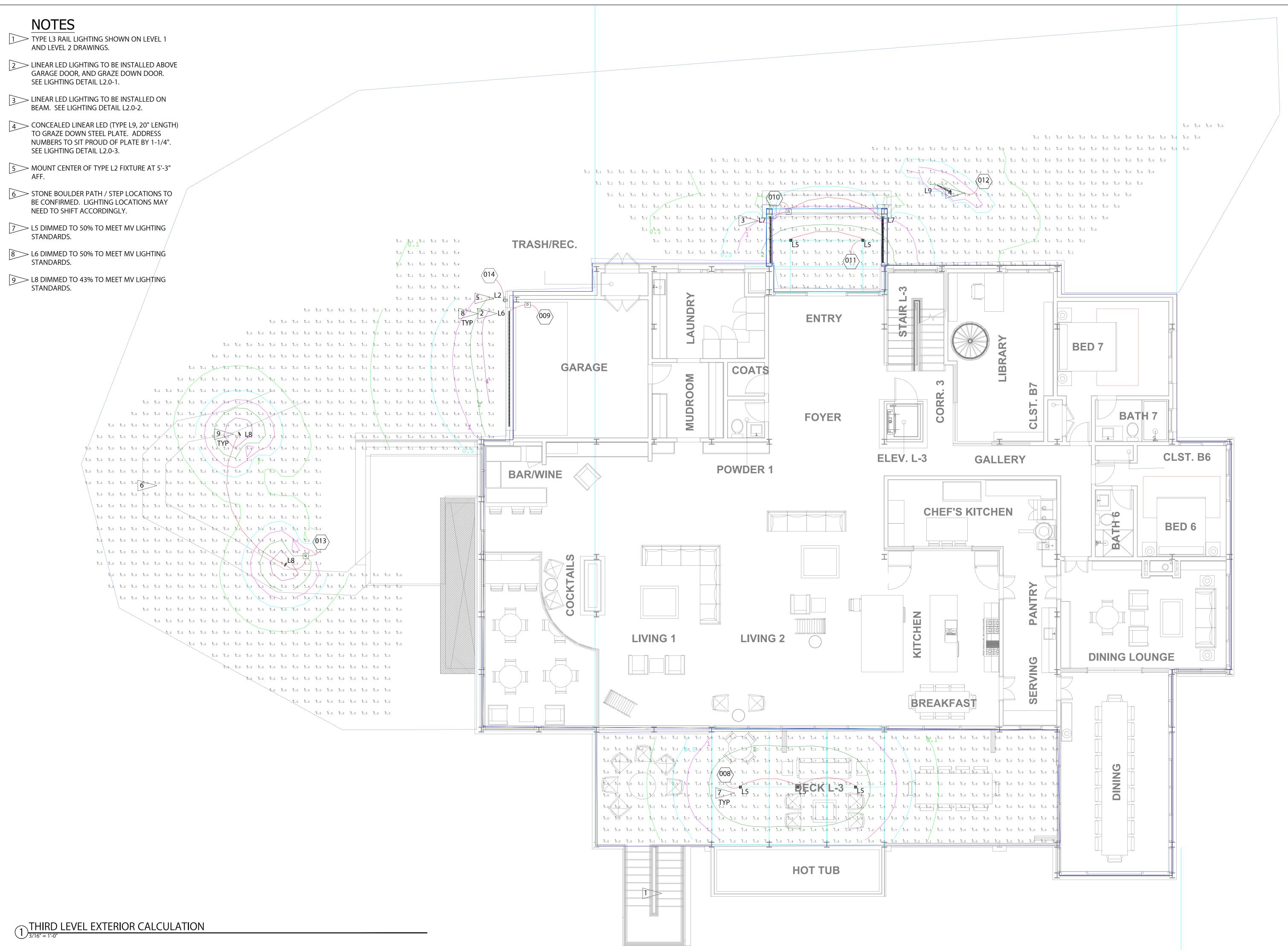
ISSUE:	EXTERIOR DRB SUBMISSION
DATE:	20 DECEMBER 2023
DRAWING:	ARCH D - 24 X 36
SCALE:	AS NOTED ON DRAWING
JOB #:	NA
DRAWN BY:	MH
CHECKED BY:	CS

DRAWING NO.

L3.1

- 1 L3 LUMENPOD TO THREAD INTO HANDRAIL, 25 DEG OFF NADIR, TOWARDS STAIRS. CONNECT ALL L3'S FOR ENTIRE STAIR RUN (TOTAL OF 8). RUN LOW VOLTAGE WIRE IN HANDRAIL. PROVIDE REMOTE ACCESSIBLE DRIVER.
- 2 MOUNT CENTER OF TYPE L1 FIXTURE AT 18" AFF.
- 3 L4 DIMMED TO 50% TO MEET MV LIGHTING STANDARDS.





618 M	tn Vlg Blvd, Ste 203A
PO Bo	x 3610 de, CO 81435
P 970.	729.8892
www.l	uminosityald.com
CONSU	JLTANTS
Archite MORTON AR	
221 S. Pine S PO Box 3561 Telluride, CC 970.708.2246	81435
	r Architect
TBD	
Landso TBD	cape Architect
Genera TBD	al Contractor
Electrie	cal Contractor
	DATE DESCRIPTION
	11.15.2023 EXTERIOR DRB SUBMISSION
2	12.20.2023 EXTERIOR DRB SUBMISSION
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HOR Lot 12 Mount SITE O	TON RESIDENCE - The Ridge ain Village, CO. RIENTATION ING TITLE RD LEVEL RIOR CULATION ING ISSUE EXTERIOR DRB SUBMISSION 20 DECEMBER 2023 ARCH D - 24 X 36 AS NOTED ON DRAWING NA MH

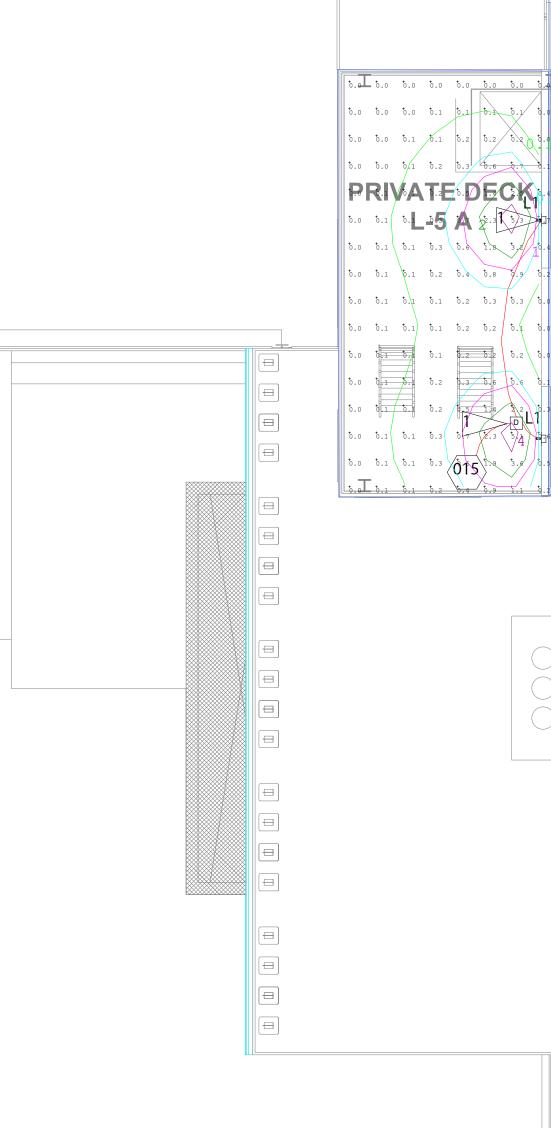
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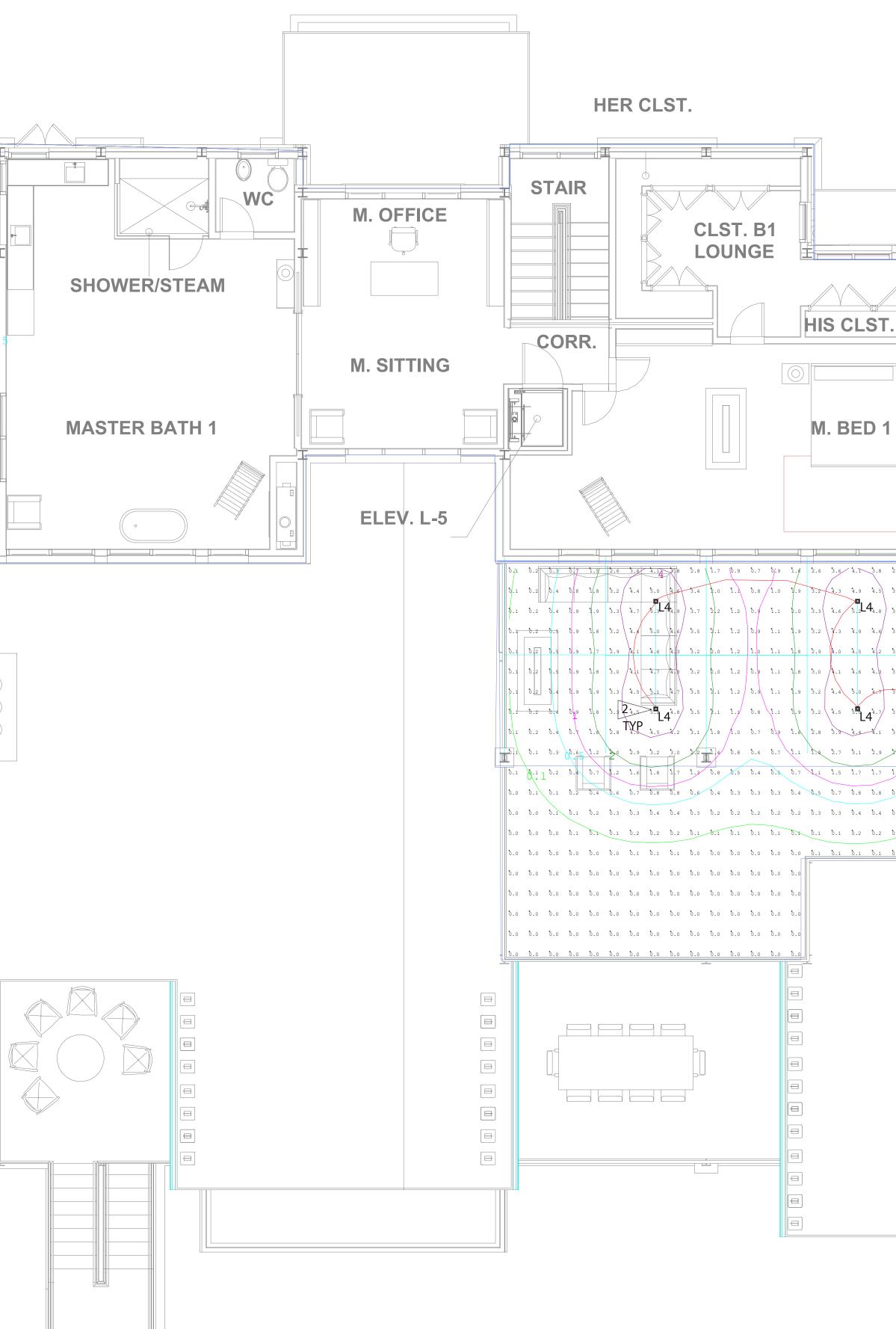


MOUNT CENTER OF TYPE L1 FIXTURE AT 18" AFF.

2 L4 DIMMED TO 50% TO MEET MV LIGHTING STANDARDS.

3





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aichit	ectural lighting design
	Itn Vlg Blvd, Ste 203A
	ox 3610 ide, CO 81435
P 970	.729.8892
www.	luminosityald.com
CONS	ULTANTS
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MORTON AI 221 S. Pine PO Box 356	St.
Telluride, C0 970.708.224	O 81435
	or Architect
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	DATE DESCRIPTION
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HOF	RTON RESIDENCE
	2 - The Ridge
Moun	tain Village, CO.
SITE C	RIENTATION

DRAWING TITLE
FIFTH LEVEL
EXTERIOR
CALCULATION

#### DRAWING ISSUE

ISSUE:	EXTERIOR DRB SUBMISSION
DATE:	20 DECEMBER 2023
DRAWING:	ARCH D - 24 X 36
SCALE:	AS NOTED ON DRAWING
JOB #:	NA
DRAWN BY:	MH
CHECKED BY:	CS

DRAWING NO.

L3.5



FIXT TYPE	IMAGE	DESCRIPTION	MANUFACTURER	MODEL	CATALOG NO	LAMP	LENGTH (FT.)	VOLTAGE	DIMMING	REMOTE / INTEGRAL POWER SUPPLY	ENERGY (W)	ENERGY (W/FT)	FINISH / IP RATING	DIMENSIONS	ACCESSORIES	DIMMING LEVELS	NOTES	LOCATION
L1	-	LED Step Light	Tech	lkon	Fixture 700OSIKN 92730Z12 Transformer 700OT150T	2700k, 202 Lumens, 12.2 Watts, 90+ CRI		12V	MLV	Remote 12V Transformer	12.0		Bronze / Wet Location / IP 66	6"W X 4"H X		Dimmed to 50% minimum to meet DRB and MV Lighting Standards		Exterior Step Light
L2	8°	Exterior Sconce Light	Tech Lighting	Square	WS-S38608 BZ (TBD	3000K, 10.7 Watts, 391 Delivered Lumens, 80 CR		120V	ELV	120V	10.7		Bronze (TBD) / IP66	8"W X 8"T X 2.375"D				Exterior Sconce Lights
L3	0	Stair Rail Spot Downlight	Wagner	Lumenpod 16	LULF 27 70 5	2700K, 2.2 Watts, 94 Lumens, 80+ CRI		24VDC	0-10 V		2		316 Solid Stainless Steel / IP67	0.63"W X 0.76"T			Lumenpod to thread into bottom of handrail Til 25 degrees above nadir	Exterior - Stair Rail
L4	25° [ 44 mn ] [ ] [ ] ] ] ] ] ] ] ] ] ] ] ] ] ] ] ]	2° LED Square Adjustable Downlight	Element	2" Adj	Housing: E2S-WC-LO 927-60- A-I Trims: E2S-L-F-H-TBD	2700K, 930 Lumens, 12 watts, 90 CRI.	NA	120V	ELV @1%	Integral Universal Phase Driver	12.0		TBD / Wet Location	2.5"W, 1.4"W Aperture Housing: 12" L x 10" W x 5.25" T		Dimmed to 50% minimum to meet DRB and MV Lighting Standards	60 Degree Beam Spread Finish TBD, Flangeless Flat Shower Trim	Exterior Downlight
L5	22° [ €4 mm] [ ] [ ] [ ] ] ] ] ] ] ] ] ] ] ] ] ] ]	2° LED Square Adjustable Downlight	Element	2" Adj	Housing: E2S-WC-LO 927-40- A-1 Trims: E2S-L-F-H-TBD	2700K, 930 Lumens, 12 watts, 90 CRI.	NA	120V	ELV @1%	Integral Universal Phase Driver	12.0		TBD / Wet Location	2.5"W, 1.4"W Aperture Housing: 12" L x 10" W x 5.25" T		Dimmed to 50% minimum to meet DRB and MV Lighting Standards	40 Degree Beam Spread Finish TBD, Flangeless Flat Shower Trim	Exterior Downlight



FIXT TYPE	IMAGE	DESCRIPTION	MANUFACTURER	MODEL CATALOG NO	LAMP LENGTH (FT.)	VOLTAGE	DIMMING	REMOTE / INTEGRAL POWER SUPPLY	ENERGY ENERGY (W) (W/FT)	FINISH / IP RATING	DIMENSIONS	ACCESSORIES	DIMMING LEVELS	NOTES	LOCATION
L6		3.0W Static White LED Linear	Qtran	VERS-04-SW-3.0-27 VERS-04-SW WET-25D-L2-BK-XX XX-XX-BK-XX-MG- BK	- 2700K, 281 Lumens/FT,	24VDC	MLV	Remote Power Supply	3.0	Black / Wet Location	1.08"W X 1.18"T	Black metal louver. Magnet Clip. Connectors: Provide PS to tape, jumper cables and end caps as required.	Dimmed to 50% minimum to meet DRB and MV Lighting Standards	25 Degree Optic	Exterior Garage Graze
L7	Police with field for the field of the field	5.0W Static White LED Linear	Qtran	TQ1SW-5.0-27-WET TORQ 60 Deg W0-CL/60-XX-XX- / SW24/5.0 XX-BK-HINGE-HME M-BK	2700K, 345 Lumens/ft,	24VDC	MLV	Remote Power Supply	5.0	Black / Wet Location	0.81"W X 0.66"T	Connectors: Provide PS to tape, jumper cables and end caps as required.		Torq Extrusion, 60 Degree Beam Spread	Exterior LED Linear Lighting - Exterior Porte Croshere
L8		LED Path Light	Tech	Strut Pathway Transformer 7000ASTR 927 18 7 12 Transformer 7000T150T	2700K, 693 Lumens, 15 Watts, 90+ CRI	12v	MLV	Remote Power Supply - Location wet rated	15.0	Bronze / Wet Location	1.5"W X 6.5"L X 18"T + 4" sq base		Dimmed to 43% minimum to meet DRB and MV Lighting Standards	Bolt mounting in concrete standard. ST stake mounting kit available if needed.	Exterior Path Lighting
L9		1.5W Static White LED Linear	Qtran	VERS-04-SW-1.5-27 VERS-04-SW WET-25D-12-BK-XX-XX-BK-XX-MG- BK	- 2700K, 162 Lumens/FT,	24VDC	MLV	Remote Power Supply	1.50	Black / Wet Location	1.08"W X 1.18"T	Black metal louver. Magnet Clip. Connectors: Provide PS to tape, jumper cables and end caps as required.	Dimmed to 50% minimum to meet DRB and MV Lighting Standards	25 Degree Optic	Exterior Address Monument

NOTES

1) Each Manufacturer to provide fixture, compatible dimming driver, and all necessary components and connections, to provide a system of smooth dimming without flicker at all levels of dimming.



FIXT TYPE	IMAGE	DESCRIPTION	MANUFACTURER	MODEL	CATALOG NO	LAMP	LENGTH (FT.)	VOLTAGE	DIMMING	REMOTE / INTEGRAL POWER SUPPLY	ENERGY (W)	ENERGY (W/FT)	FINISH / IP RATING	DIMENSIONS	ACCESSORIES	DIMMING LEVELS	NOTES	LOCATION
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FIXT TYPE	IMAGE	DESCRIPTION	MANUFACTURER	MODEL CATALOG NO	LAMP LENGTH (FT.)	VOLTAGE	DIMMING	REMOTE / INTEGRAL POWER SUPPLY	ENERGY ENERGY (W) (W/FT)	FINISH / IP RATING	DIMENSIONS	ACCESSORIES	DIMMING LEVELS	NOTES	LOCATION
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NOTES

1) Each Manufacturer to provide fixture, compatible dimming driver, and all necessary components and connections, to provide a system of smooth dimming without flicker at all levels of dimming.

The Ikon outdoor step light features a minimized rectangular aperture that aims illumination downward to light stairs with minimal glare. Ideal for wayfinding and added safety after dark. Available in two finishes, Black and Bronze.

#### • Selectable CCT (2700K/3000K)

- 120V or 12V
- Outstanding protection against the elements: - Wet Listed IP66 Rated
  - Stainless Steel Mounting Hardware
  - Powder Coat Finishes

#### **SPECIFICATIONS**

DELIVERED LUMENS	202 (2700K)
WATTS	12.2
VOLTAGE	12V (Transformer sold separately) or 120V
DIMMING	12V ELV, MLV and Triac. 120V not dimmable
LIGHT DISTRIBUTION	Symmetric
OPTICS	Not applicable
MOUNTING OPTIONS	Step: 2x4 junction box
ССТ	2700K/3000K Selectable
CRI	90+
COLOR BINNING	3 Step
BUG RATING	B0-U3-G1
DARK SKY	Compliant
WET LISTED	IP66
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 Years
WEIGHT	1 lb.

\* Visit techlighting.com for specific warranty limitations and details.





IKON OUTDOOR WALL/STEP LIGHT shown in black



IKON OUTDOOR WALL/STEP LIGHT shown in bronze

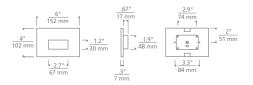
#### 12V AC TRANSFORMERS\*

ITEM	DESCRIPTION	HOUSING	DIMMING
700OT150T 700OT300T	MAGNETIC, 150W, 120V MAGNETIC, 300W, 120V	STAINLESS STEEL STAINLESS STEEL	MAGNETIC MAGNETIC
	COMMEND USING GREATER		

THE MAXIMUM WATTAGE SPECIFIED FOR THE LOW VOLTAG TRANSFORMER DUE TO INRUSH CURRENT REQUIREMENTS.

#### ORDERING INFORMATION

PRODUCT	CRI/CCT	FINISH	VOLTAGE
700OSIKN	92730 90 CRI 2700K/3000K SELECTABLE	<ul><li>B BLACK</li><li>Z BRONZE</li></ul>	12 12V* 120 120V



Ikon Outdoor Wall/Step Light

#### **PROJECT INFO**

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

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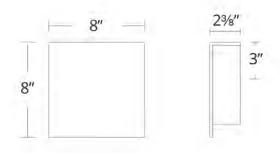
#### TECH LIGHTING

VISUAL COMFORT & CO.

7400 Linder Avenue, Skokie, Illinois 60077 T 847.410.4400







Project:

Location:

Fixture Type:

Catalog Number:

#### **AVAILABLE FINISHES:**



FIXT TYPE L2 WS-S38608 BZ

#### Square

WS-W38608

#### PRODUCT DESCRIPTION

Four equal sides and a stream of light. Square artfully provides geometry to wall surfaces in the daytime when mounted in multiples while providing safe illumination of pathways anddramatic visual intrigue in the evening. Perfect for wall grazing surfaces. **FEATURES** 

• 277V option available for special order.

ACLED driverless technology

- State of the art LEDs in a geometric form
- IDA Dark Sky compliant when mounted in a downward orientation

#### SPECIFICATIONS

Rated Life	54000 Hours
Standards	ETL, cETL,Wet Location Listed,IP65,Title 24 JA8: 2019 Compliant,Dark
	Sky Friendly
Input	120 VAC,50/60Hz
Dimming	ELV
Color Temp	3000K
CRI	90
Construction	Aluminum hardware

#### REPLACEMENT PARTS

RPL-GLA-38608 - Glass

WS-W38608

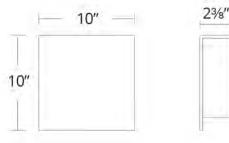
Model & Size	Color Temp	Finish	LED Watts	LED Lumens	<b>Delivered Lumens</b>
WS-W38608 8"	3000K	BK Black	10.7W	800	391
	3000K	BZ Bronze	10.7W	800	391

#### Example: WS-W38608-BZ

•For 277V special order, add an "F" before the finish: WS-W38608F-BZ

For custom requests please contact customs@modernforms.com







Project:

Location:

Fixture Type:

Catalog Number:

#### **AVAILABLE FINISHES:**



#### Square

WS-W38610

#### **PRODUCT DESCRIPTION**

Four equal sides and a stream of light. Square artfully provides geometry to wall surfaces in the daytime when mounted in multiples while providing safe illumination of pathways anddramatic visual intrigue in the evening. Perfect for wall grazing surfaces. FEATURES

• 277V option available for special order.

ACLED driverless technology

- State of the art LEDs in a geometric form
- · IDA Dark Sky compliant when mounted in a downward orientation

#### SPECIFICATIONS

Rated Life	54000 Hours
Standards	ETL, cETL,Wet Location Listed,IP65,Title 24 JA8: 2019 Compliant,Dark
	Sky Friendly
Input	120 VAC,50/60Hz
Dimming	ELV
Color Temp	3000К
CRI	90
Construction	Aluminum hardware

#### **REPLACEMENT PARTS**

RPL-GLA-38610 - Glass

WS-W38610

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W38610 10"	3000K	BK Black	18.4W	1400	700
	3000K	BZ Bronze	18.4W	1400	700

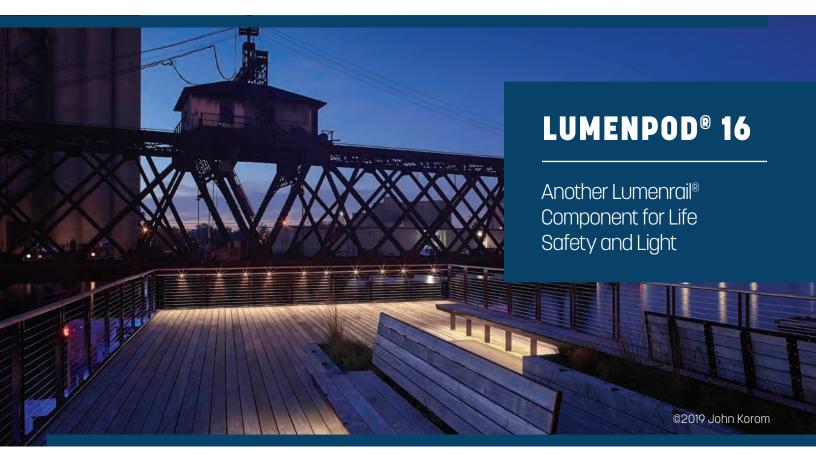
#### Example: WS-W38610-BZ

•For 277V special order, add an "F" before the finish: WS-W38610F-BZ

For custom requests please contact customs@modernforms.com



FIXT TYPE L3 LULF 27-70-5



#### **COMPACT PERFORMER**

The next generation point source from Wagner Architectural Systems has performance that far exceeds the expectations of its discreet 5/8" diameter. The mechanically threaded luminaire is designed for pathway illumination with mounting options for hand rail, guardrail, decks, and shelter or entry structures. Asymmetric performance can be precisely achieved, and superior harsh environment protection and vandal resistance are combined with a simple installation. The Lumenpod provides a low-profile architectural solution for new or retrofit applications and egress compliance opportunities



- Solid machined 316 stainless steel
- Universal installation in a variety of materials
- 116 lumens per watt LED (500 mA)
- 5 IES file supported optic distributions
- IK10 impact rating and secure installation
- 24VDC operation
- ETL wet location listed
- IP67 ingress protection
- Standard in 2700 K, 3000 K and 4000 K
- 4 CCT whites and solid colors available

#### Page 1 of 2

Specifications subject to change without notice. Verify data at time of order.

# LUMENPOD<sup>®</sup> 16

Another Lumenrail® Component for Life Safety and Light



SCAN OR CODE

for technical information, downloads and instructions.

### 

## PART NUMBER BUILDER

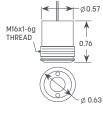
LULF40K703  EXAMPLE	LULF FIXTURE TYPE	COLOR	TEMP	OPTIC	DRIVE CURRENT
* Indicates stock, other options may require additional lead-time.	LULF- Lumenpod®16	*27K- 2700 K *30K- 3000 K *40K- 4000 K 50K- 5000 K	BLU- Blue GRN- Green RED- Red AMB- Amber	16-16° beam 23-23° beam 46-46° beam *70-70° beam 94-94° beam	*5- 2.2W @ 500 mA *3- 1.7W @ 350 mA Extended life 100,000HR version requires 350 mA

## **ELECTRICAL SPECIFICATIONS**

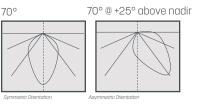
	24VDC	ETL LISTED WET, IK10, IP67, CE	0-10V INPUT	-40°F T(	0 +120°F
	INPUT VOLTAGE	CERTIFICATIONS	DIMMING	OPERATI	NG TEMP
All electrical connections to be made by a qualified electrician in accordance	CLASS 2 REQUIRED	5 YEARS	UP TO 116 LM/W LED	80+	8″
with all national, state and local electrical codes.	DRIVER	WARRANTY	EFFICIENCY	CRI	WIRE LENGTH

**PHOTOMETRICS** 

### CONSTRUCTION



The Lumenpod's threaded stainless steel body dissipates heat directly into the mounting material. A machined shoulder positions it nearly flush with any diameter hand rail, as well as flat or square stock.



Asymmetric performance can be fine tuned on fabricated systems by rotating the fixture around the rail diameter. A 25° angle provides superb illumination results in most applications. IES reports to view or download are available by scanning the QR code or visiting our website.

## LUMENGEAR™ LED DRIVER & NEMA ENCLOSURE OPTIONS

Wagner offers multiple ETL listed options for both 24VDC power supplies and NEMA enclosures. Quantities and types will be configured based on your specifications and design. Additional specification options are available by request. Not all options apply to all products, please verify compatibility with the factory.

### CLASS II DRIVERS:

- STD 100W
- Dali, DMX, 0-10V Dimming Protocols
- Multiple Wattages
- Made in USA Units Available

### NEMA ENCLOSURES:

4X - Polycarbonate, Painted Steel or Stainless Steel

### LUMENPOST™:

Integrated 100W, 0-10V DIM

Specifications may change without prior notice, verify data at time of order, all rights reserved



888-243-6914 // rfq@mailwagner.com 10600 West Brown Deer Road // Milwaukee, WI 53224, USA

### Page 2 of 2

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## ELEMENT<sup>TM</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

The ELEMENT 2" Adjustable Downlight is your solution for an aesthetically minimal recessed fixture featuring a quiet ceiling and high lumen output. The Adjustable Downlight delivers on performance and adjustability including lockable and tool-free hot aiming. ELEMENT's patented high/low lamp positioning allows the LED to be positioned closer or further from the 1.4" aperture for maximum light output or to minimize glare. Complementing ELEMENT 3" and 4" fixtures, the 2" Adjustable Downlight and Wall Wash platforms offer wood ceiling installation and a convenient Remodel option with the same performance and trim options.

- 2-step standard
- · Lensed and shower aperture includes Solite soft focus lens
- Lockable tool-free aiming, 0-45° tilt, 361° rotation, and high/low lamp positioning (patent protected)
- Interchangeable optics: 20°, 30°, 40°, 60°, or wall wash trim options
- · Wood ceiling and remodel installation available



FIXT TYPE L4



SHOWN IN FLANGELESS BEVEL SQUARE

#### LUMEN MULTIPLIER (CRI/CCT)

ССТ	80 CRI MULTIPLIER	90 CRI MULTIPLIER
2700K	0.95	0.80
3000K	1.00	0.85
3500K	1.05	0.90

Lumen output will vary by CCT and CRI. See photometric charts for output information.

### SPECIFICATIONS

		STATIC	WHITE		WARM DIM	TUNABL	E WHITE
	HIGH	DUTPUT	LOW O	UTPUT	LOW OUTPUT	HIGH OUTPUT (5000K)	HIGH OUTPUT (4000K)
DELIVERED LUMENS	1500	1250	1163	930	850	919	830
WATTS	17	17	12	12	12	16	16
EFFICACY	88	73	97	77	71	57	52
CRI	80+	90+	80+	90+	90+	90	)+
СВСР			20° - 5,136   30°	- 4,644   40° - 3,0	050   60° - 1,764		
ССТ		2700K, 3000	0K, or 3500K		3000K - 1800K	5000K - 2700K	4000K - 1800K
COLOR CONSISTENCY		2-s	step		3-step	2-s	tep
VOLTAGE				120V or 277V			
DIMMING	Standard reverse-phase, forward-phase, TRIAC, and 0-10V dimming (down to 1%)     eldoLED 0-10V or DALI-2       eldoLED 0-10V or DALI-2 (down to 0.1%)     (down to 0.1%)       Lutron Hi-lume EcoSystem (down to 0.1%)     (down to 0.1%)						
POWER SUPPLY	Constant current driver with +.9 power factor and +80% efficiency						
OPTICS	20°, 30°, 40°, 60°, or wall wash						
ADJUSTABILITY	0-45° tilt, high/low positioning. Round housing has 361° rotation. Square housing has 90° rotation increments. 45° alignment for square collar.						
CEILING APPEARANCE	Flanged, flangeless, flangeless in wood ceiling						
CEILING MOUNT CEILING THICKNESS	Flanged, flangeless: 3/8" to 2"   Flangeless in wood ceiling: 1/2" to 2" Note: Tilt restricted in thicker ceilings. Not for use with T-grid (acoustic tile)						
HOUSING MOUNT CEILING THICKNESS				T-grid/flanged: Up to 1	1		
CEILING APERTURE				2-3/4" ceiling cutout			
HOUSING	Sauna/s	IC Aii eam-room use availa	rtight, Chicago Plenu Ible only with combir		1 5		ng rating.
CONSTRUCTION		Н	ousing: Heavy-gauge	, cold-rolled steel   T	rim: Die-cast aluminu	ım	
FINISH		Housing: Black	powder coat   Trim:	Antique Bronze, Blac	ck, Satin Nickel, or W	hite (paintable)	
GENERAL LISTINGS			ETL Listed. Damp	Location. Shower v	ersion Wet Listed.		
CALIFORNIA TITLE 24	Registered CEC appliance database. Complies with CEC 2019 Title 24 Part 6 (JA8-2016, JA8-2019) (for 90 CRI versions).						
L70				50,000 hours min			
WARRANTY <sup>2</sup>				5 years			

Data in chart reflect 3000K/80 CRI values unless noted.

Custom output/custom RAL/custom CCT available, contact Quotes Department.

#### Ordering grids available on page 2.

1See visualcomfort.com for dimmer compatibility.

<sup>2</sup>Visit visualcomfort.com for specific warranty limitations and details.

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## ELEMENT<sup>™</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

ORDERING GRIDS

#### HOUSING

PRODUCT A	APPEARANCE	LAMP	CRI/C	СТ	BEAM SPREAD	FUNCTION	HOUSING RATING	DRIVER
E2R ELEMENT 2" L ROUND E2S ELEMENT 2" F SQUARE V	(CEILING MOUNT)1	-LH HIGH OUTPUT, 17W4 -LO LOW OUTPUT, 12W5	830 835 927 930 935 9WD 9TW52	80 CRI, 2700K, 2-STEP 80 CRI, 3000K, 2-STEP 90 CRI, 3700K, 2-STEP 90 CRI, 3700K, 2-STEP 90 CRI, 3000K, 2-STEP 90 CRI, 3000K-3505K, WARM DIM, 3-STEP6 90 CRI, 5000K-300K, TUNABLE WHITE, 2-STEP7 90 CRI, 4000K-1800K, TUNABLE WHITE, 2-STEP7	20° 30° 40° 60°	A ADJUSTABLE <sup>8</sup>	I IC AIRTIGHT C CHICAGO PLENUM	INTEGRATED DRIVERS 120V/277V UNIVERSAL PHASE/0-10V 1% (LEAVE BLANK)9 REMOTE DRIVERS 120V/277Vr0 -ELD0 ELDOLED 0.1% 0-10V LINEAR -ELD0A ELDOLED 0.1% 0-10V LOGARITHMIC -ELD0 ELDOLED 0.1% DALI-2 -ELT0 ELDOLED TUNABLE WHITE 0.1% 0-10V LINEAR7 -ELT0 ELDOLED TUNABLE WHITE 0.1% DALI-27 -HLEC0 LUTRON HI-LUME 0.1% ECOSYSTEM

Trims are required and must be ordered separately.

For dimming details, refer to dimmer compatibility chart.

1L, F, WC - For max 2" ceiling thickness, mechanism and collar are field assembled to the ceiling, per instructions.

 $2_{\mbox{WC}}$  - Wood ceiling accommodates flangeless trims only.

3T - For max 1" ceiling thickness, mechanism and collar are factory assembled to the housing; trim extender collar is required

for ceiling thicknesses greater than 0.500".

4LH - High output available for Wet Rated. Not rated for sauna/steam-room.

5LO - Sauna/steam-room use available only with combination of H shower trim, LO low output housing, and I IC housing rating.

69WD - Only available low output.

79TW52/9TW41 - Tunable white only available in high output, only available with ELTO (0-10V, linear), or ELTD (DALI-2). For 0-10V logarithmic dimming consult Quotes Department.

8A - Adjust to 15° tilt for wall wash application, 30° beam spread optimal.

9Universal dimming is reverse-phase, forward-phase, TRIAC, and 0-10V dimming. 277V is only compatible with 0-10V dimming.

10 Remote driver ships with 4" x 8" x 1.8" black enclosure for remote location mounting.

#### TRIM

PRODUCT	CEILING APPEARANCE	STYLE	APERTURE	FINISH
E2R ELEMENT 2" ROUND E2S ELEMENT 2" SQUARE	<ul> <li>L FLANGELESS<sup>1</sup></li> <li>F FLANGED</li> <li>F FLANGED TRIM EXTENDER, 0.500" - 0.625" CEILING THICKNESS<sup>3</sup></li> <li>F FLANGED TRIM EXTENDER, 0.625" - 0.750" CEILING THICKNESS<sup>3</sup></li> <li>F FLANGED TRIM EXTENDER, 0.750" - 0.875" CEILING THICKNESS<sup>3</sup></li> <li>F FLANGED TRIM EXTENDER, 0.875" - 1.000" CEILING THICKNESS<sup>3</sup></li> </ul>	B BEVEL F FLAT W WALL WASH4	-O NO LENS -H SHOWER5.6 -L LENSED6 -W WALL WASH (LENSED)4	<ul> <li>Z ANTIQUE BRONZE</li> <li>B BLACK</li> <li>S SATIN NICKEL</li> <li>W WHITE (PAINTABLE)</li> </ul>

1L - For use with L flangeless or WC wood ceiling housing option.

2F - If used with T-grid/flanged (T) style housing, flanged trims work for 0.500" ceiling thickness without trim extenders.

3F6/F7/F8/F1 - For use with T-grid/flanged (T) style housing and ceiling thickness greater than 0.500".

4W - Wall wash style trim (W) requires wall wash lensed aperture (W).

5H - Sauna/steam-room use available only with combination of H shower trim, LO low output housing, and IIC housing rating.

6H, L - Lensed products come with Solite Soft Focus lens.

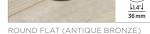
#### APERTURE SHIELD FOR CEILING THICKER THAN 1" LENSES/LOUVERS<sup>1</sup> **REPLACEMENT OPTICS** PLASTER PLATES BEAM CEILING PRODUCT TYPE PRODUCT SPREAD PRODUCT APPEARANCE FINISH PRODUCT мос GG PLAIN GLASS 353LEDGATOPT **20** 20° E2R ELEMENT 2" ROUND AC APERTURE COLLAR FOR B BLACK 150E2RCL SOFT FOCUS **30** 30° E2S ELEMENT 2" SQUARE UP TO 2" THICK CEILINGS ROUND SHEET METAL SF LINEAR SPREAD LL 40 40° 150E2SCL-A 2" PLASTER PLATE EC EGGCRATE LOUVER **60** 60° SQUARE SHEET METAL LS1 1" LONG SNOOT LS12 1/2" LONG SNOOT AC MOC 353LEDGATOPT В 1Lenses/louvers mounted to lamp Plaster plates are used to convert assembly only (max 2). flanged housings into flangeless housings. Ships standard with flangeless housings.

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## ELEMENT<sup>™</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

TRIMS







ROUND FLAT (ANTIQUE BRONZE)

1.4". 36 mm

SQUARE FLAT (SATIN NICKEL)



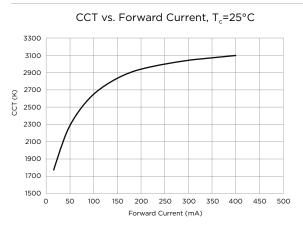
SQUARE FLAT (SATIN NICKEL)

SHOWN WITH AND WITHOUT A LENS (ROUND FLANGELESS BEVEL)

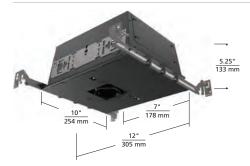
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## ELEMENT<sup>™</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

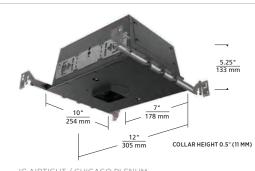
WARM DIM CURVE



HOUSING



IC AIRTIGHT/ CHICAGO PLENUM FLANGED / WOOD CEILING / FLANGELESS CEILING MOUNT

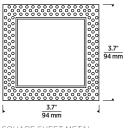


IC AIRTIGHT / CHICAGO PLENUM T-GRID / FLANGED HOUSING MOUNT

MUD/PLASTER PLATES



ROUND SHEET METAL MUD/PLASTER PLATE IS INCLUDED FOR FLANGELESS INSTALLATION

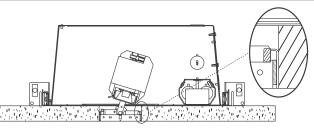


SQUARE SHEET METAL MUD/PLASTER PLATE IS INCLUDED FOR FLANGELESS INSTALLATION

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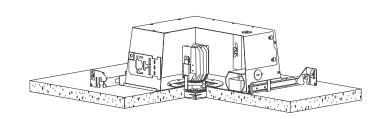
## ELEMENT<sup>TM</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

### FLANGED/FLANGELESS/WOOD CEILING - CEILING MOUNTED COLLAR



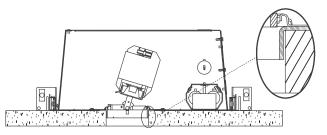
Ceiling Mounted Collar

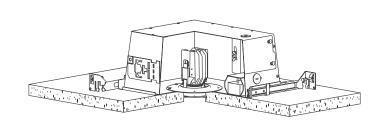
- Flanged, flangeless or flangeless in wood ceiling (see instructions)
- Compatible with drywall, wood



- Not compatible with T-Grid (Acoustic Tile)
- Optimizes lamp position regardless of ceiling thickness
- Allows install in up to 2" ceiling thickness

### T-GRID/FLANGED - HOUSING MOUNTED COLLAR





Housing Mounted Collar

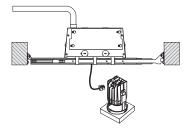
- Flanged only
- Compatible with T-Grid (Acoustic Tile), drywall, wood
- For 1" ceiling thickness max

When ordering the T-Grid/Flanged with Housing Mounted Collar, please order trim extender for ceiling thicknesses greater than 0.5" and for use up to 1" thickness (max). **Please consult instruction sheet.** 

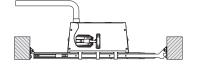
### FLANGELESS IN WOOD CEILING INSTALLATION

#### IMPORTANT:

READ INSTALLATION INSTRUCTIONS THOROUGHLY PRIOR TO INSTALL



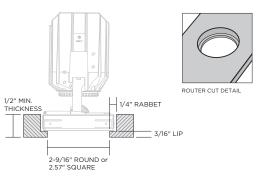
PLACE LIGHT MODULE INTO HOUSING BEFORE CEILING ASSEMBLY



#### PREPARE WOOD CEILING

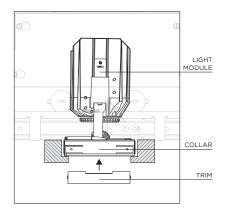
Use a 2-9/16" hole saw (round) or mill a 2.57" square opening in the wood. The wood must be at least 1/2" thick for the trims to hold firmly in place.

Use a 1/4" rabbet router bit to create a larger opening on the top side of the wood. The rabbet must cut to a depth that leaves 3/16" of wood above the ceiling level.



#### INSERT TRIM INTO THE COLLAR

Align the trim with the inner edge of the collar. Push the trim into the collar so that it snaps into place.



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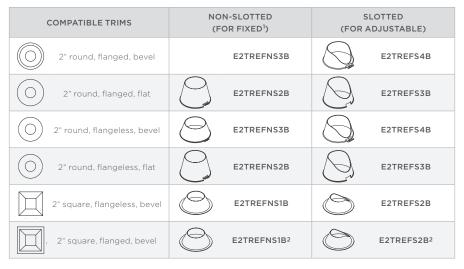
## ELEMENT<sup>TM</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

ELEMENT Specular Reflectors reduce glare while creating a clean, quiet ceiling appearance. These beautiful trim accessories have been specifically designed to minimize any effect on light performance, color and output. Specular Reflectors are available for both Adjustable and Fixed downlights and are compatible with ELEMENT 2" trims and housings.

- Can be easily installed or removed
- Assembles to existing ELEMENT 2" trim
- Compatible with fixed and adjustable housings



BELOW CEILING VIEW





SHOWN MOUNTED TO TRIM

REFLECTOR ONLY

Only compatible with ELEMENT 2" LED series.

May require lamp to be placed in high position.

Not available for ELEMENT 2" square flat trims.

Not compatible with lensed trims.

<sup>1</sup>Non-slotted reflectors may be used in adjustable housings with the lamp assembly placed in the 0° tilt position.

2Not compatible with flanged trim extenders F6, F7, F8, F1.

#### ORDERING GRIDS

### **E2 TRIM MOUNTED REFLECTORS**<sup>1</sup>

PRODUCT	STYLE	FINISH
E2TREF	NS1 NON-SLOTTED NS2 NON-SLOTTED NS3 NON-SLOTTED S2 SLOTTED S3 SLOTTED S4 SLOTTED	<b>B</b> ANODIZED BLACK
E2TREF		В

Not compatible with lensed trims. Reflectors are placed on top of the inside of the trim or affixed via screws (only if provided).

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## ELEMENT<sup>™</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

### PHOTOMETRICS

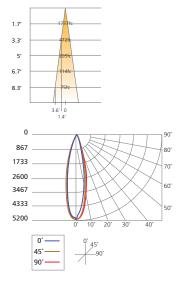
Description:	2" LED Module 20° Beam - 0° Tilt, 3000K	Description:	2" LED Module 30° Beam - 0° Tilt, 3000K	Description:	2" LED Module 40° Beam - 0° Tilt, 3000K
Model:	E2 Adjustable 20° High Output	Model:	E2 Adjustable 30° High Output	Model:	E2 Adjustable 40° High Output
Input Power (Watts):	18.7	Input Power (Watts):	18.7	Input Power (Watts):	18.7
Input Power Factor:	0.98	Input Power Factor:	0.98	Input Power Factor:	0.98
Absolute Luminous		Absolute Luminous		Absolute Luminous	
Flux (Lumens):	1206	Flux (Lumens):	1414	Flux (Lumens):	1565
Lumen Efficacy		Lumen Efficacy		Lumen Efficacy	
(Lumens per Watt):	64.5	(Lumens per Watt):	75.5	(Lumens per Watt):	83.7

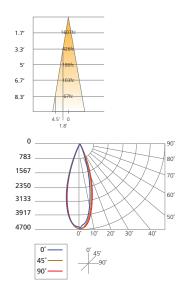
Output difference between CCTs ~ 5%, CRIs ~ 15%.

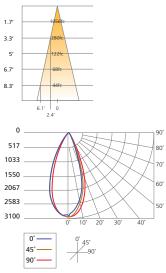
ANGLE	0°	45°	90°
0°	5136	5136	5136
5°	4054	4347	4616
10°	2654	2956	3278
15°	1383	1756	1896
20°	627	878	924
25°	249	326	393
30°	81	128	151
35°	24	65	50
40°	6	30	12
45°	3	6	4
50°	1	2	2
55°	1	1	1
60°	0	1	0
65°	0	1	0
70°	0	1	0
75°	0	1	0
80°	0	0	0
85°	0	0	0
90°	0	0	0

ANGLE	٥°	45°	90°
0°	4644	4644	4644
5°	4184	4322	4434
10°	3249	3454	3698
15°	1948	2286	2488
20°	933	1178	1304
25°	342	428	544
30°	87	161	176
35°	27	68	52
40°	7	27	12
45°	2	5	4
50°	1	2	1
55°	0	1	0
60°	0	1	0
65°	0	1	0
70°	0	0	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0

(Lumens per Watt): 83.7				
ANGLE	0°	45°	90°	
0°	3050	3050	3050	
5°	2774	2892	2971	
10°	2436	2549	2701	
15°	1847	2085	2260	
20°	1188	1460	1594	
25°	571	776	959	
30°	216	353	411	
35°	84	142	154	
40°	30	53	55	
45°	11	18	20	
50°	1	7	4	
55°	0	2	0	
60°	0	0	0	
65°	0	0	0	
70°	0	0	0	
75°	0	0	0	
80°	0	0	0	
85°	0	0	0	
90°	0	0	0	







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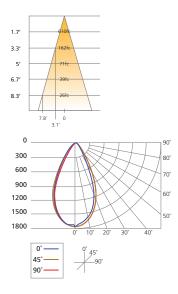
## ELEMENT<sup>™</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

### PHOTOMETRICS

Description:	2" LED Module 60° Beam - 0° Tilt, 3000K
Model:	E2 Adjustable 60° High Output
Input Power (Watts):	18.7
Input Power Factor:	0.98
Absolute Luminous	
Flux (Lumens):	1382
Lumen Efficacy	
(Lumens per Watt):	73.7

Output difference between CCTs ~ 5%, CRIs ~ 15%.

ANGLE	0°	45°	90°
0°	1764	1764	1764
5°	1667	1724	1721
10°	1562	1612	1629
15°	1380	1445	1483
20°	1109	1233	1235
25°	718	921	923
30°	442	638	542
35°	310	377	350
40°	208	239	238
45°	83	142	139
50°	1	70	26
55°	1	6	1
60°	0	1	0
65°	0	0	0
70°	0	1	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0



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- 2-step standard
- · Lensed and shower aperture includes Solite soft focus lens
- Lockable tool-free aiming, 0-45° tilt, 361° rotation, and high/low lamp positioning (patent protected)
- Interchangeable optics: 20°, 30°, 40°, 60°, or wall wash trim options
- · Wood ceiling and remodel installation available



E2S-WC-LO-927-40-A-I

FIXT TYPE L5

SHOWN IN FLANGELESS BEVEL SQUARE

#### LUMEN MULTIPLIER (CRI/CCT)

ССТ	80 CRI MULTIPLIER	90 CRI MULTIPLIER
2700K	0.95	0.80
3000K	1.00	0.85
3500K	1.05	0.90

Lumen output will vary by CCT and CRI. See photometric charts for output information.

### SPECIFICATIONS

		STATIC	WHITE		WARM DIM	TUNABL	E WHITE
	HIGH	OUTPUT	LOW C	UTPUT	LOW OUTPUT	HIGH OUTPUT (5000K)	HIGH OUTPUT (4000K)
DELIVERED LUMENS	1500	1250	1163	930	850	919	830
WATTS	17	17	12	12	12	16	16
EFFICACY	88	73	97	77	71	57	52
CRI	80+	90+	80+	90+	90+	9	)+
CBCP			20° - 5,136   30°	° - 4,644   40° - 3,	050   60° - 1,764		
ССТ		2700K, 300	0K, or 3500K		3000K - 1800K	5000K - 2700K	4000K - 1800K
COLOR CONSISTENCY		2-5	step		3-step	2-s	tep
VOLTAGE				120V or 277V			
DIMMING <sup>1</sup>	Standard reverse-phase, forward-phase, TRIAC, and 0-10V dimming (down to 1%) eldoLED 0-10V or DALI-2 (down to 0.1%) Lutron Hi-lume EcoSystem (down to 0.1%)						
POWER SUPPLY	Constant current driver with +.9 power factor and +80% efficiency						
OPTICS		20°, 30°, 40°, 60°, or wall wash					
ADJUSTABILITY			)-45° tilt, high/low po housing has 90° rota		•		
CEILING APPEARANCE			Flanged, flar	ngeless, flangeless in	wood ceiling		
CEILING MOUNT CEILING THICKNESS			nged, flangeless: 3/8 Tilt restricted in thick		· ·		
HOUSING MOUNT CEILING THICKNESS				T-grid/flanged: Up to 1			
CEILING APERTURE				2-3/4" ceiling cutout	-		
HOUSING	Sauna/s		rtight, Chicago Plenu able only with combir		, ,		ng rating.
CONSTRUCTION		Н	lousing: Heavy-gauge	e, cold-rolled steel   T	rim: Die-cast aluminu	m	
FINISH		Housing: Black	x powder coat   Trim:	Antique Bronze, Bla	ck, Satin Nickel, or W	hite (paintable)	
GENERAL LISTINGS			ETL Listed. Damp	Location. Shower v	ersion Wet Listed.		
CALIFORNIA TITLE 24	Registe	red CEC appliance da	atabase. Complies wit	h CEC 2019 Title 24	Part 6 (JA8-2016, JA	8-2019) (for 90 CRI	versions).
L70				50,000 hours min			
WARRANTY <sup>2</sup>				5 years			

Data in chart reflect 3000K/80 CRI values unless noted.

Custom output/custom RAL/custom CCT available, contact Quotes Department.

#### Ordering grids available on page 2.

1See visualcomfort.com for dimmer compatibility.

 ${\bf 2}_{\rm Visit}$  visual comfort.com for specific warranty limitations and details.

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## ELEMENT<sup>™</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

ORDERING GRIDS

#### HOUSING

PRODUCT A	APPEARANCE	LAMP	CRI/C	СТ	BEAM SPREAD	FUNCTION	HOUSING RATING	DRIVER
E2R ELEMENT 2" L ROUND E2S ELEMENT 2" F SQUARE V	(CEILING MOUNT)1	-LH HIGH OUTPUT, 17W4 -LO LOW OUTPUT, 12W5	830 835 927 930 935 9WD 9TW52	80 CRI, 2700K, 2-STEP 80 CRI, 3000K, 2-STEP 90 CRI, 3700K, 2-STEP 90 CRI, 3700K, 2-STEP 90 CRI, 3000K, 2-STEP 90 CRI, 3000K-3505K, WARM DIM, 3-STEP6 90 CRI, 5000K-300K, TUNABLE WHITE, 2-STEP7 90 CRI, 4000K-1800K, TUNABLE WHITE, 2-STEP7	20° 30° 40° 60°	A ADJUSTABLE <sup>8</sup>	I IC AIRTIGHT C CHICAGO PLENUM	INTEGRATED DRIVERS 120V/277V UNIVERSAL PHASE/0-10V 1% (LEAVE BLANK)9 REMOTE DRIVERS 120V/277Vr0 -ELD0 ELDOLED 0.1% 0-10V LINEAR -ELD0A ELDOLED 0.1% 0-10V LOGARITHMIC -ELD0 ELDOLED 0.1% DALI-2 -ELT0 ELDOLED TUNABLE WHITE 0.1% 0-10V LINEAR7 -ELT0 ELDOLED TUNABLE WHITE 0.1% DALI-27 -HLEC0 LUTRON HI-LUME 0.1% ECOSYSTEM

Trims are required and must be ordered separately.

For dimming details, refer to dimmer compatibility chart.

1L, F, WC - For max 2" ceiling thickness, mechanism and collar are field assembled to the ceiling, per instructions.

 $2_{\mbox{WC}}$  - Wood ceiling accommodates flangeless trims only.

3T - For max 1" ceiling thickness, mechanism and collar are factory assembled to the housing; trim extender collar is required

for ceiling thicknesses greater than 0.500".

4LH - High output available for Wet Rated. Not rated for sauna/steam-room.

5LO - Sauna/steam-room use available only with combination of H shower trim, LO low output housing, and I IC housing rating.

69WD - Only available low output.

79TW52/9TW41 - Tunable white only available in high output, only available with ELTO (0-10V, linear), or ELTD (DALI-2). For 0-10V logarithmic dimming consult Quotes Department.

8A - Adjust to 15° tilt for wall wash application, 30° beam spread optimal.

9Universal dimming is reverse-phase, forward-phase, TRIAC, and 0-10V dimming. 277V is only compatible with 0-10V dimming.

10 Remote driver ships with 4" x 8" x 1.8" black enclosure for remote location mounting.

#### TRIM

PRODUCT	CEILING APPEARANCE	STYLE	APERTURE	FINISH
E2R ELEMENT 2" ROUND E2S ELEMENT 2" SQUARE	<ul> <li>L FLANGELESS<sup>1</sup></li> <li>F FLANGED</li> <li>F FLANGED TRIM EXTENDER, 0.500" - 0.625" CEILING THICKNESS<sup>3</sup></li> <li>F FLANGED TRIM EXTENDER, 0.625" - 0.750" CEILING THICKNESS<sup>3</sup></li> <li>F FLANGED TRIM EXTENDER, 0.750" - 0.875" CEILING THICKNESS<sup>3</sup></li> <li>F FLANGED TRIM EXTENDER, 0.875" - 1.000" CEILING THICKNESS<sup>3</sup></li> </ul>	B BEVEL F FLAT W WALL WASH4	-O NO LENS -H SHOWER5.6 -L LENSED6 -W WALL WASH (LENSED)4	<ul> <li>Z ANTIQUE BRONZE</li> <li>B BLACK</li> <li>S SATIN NICKEL</li> <li>W WHITE (PAINTABLE)</li> </ul>

1L - For use with L flangeless or WC wood ceiling housing option.

2F - If used with T-grid/flanged (T) style housing, flanged trims work for 0.500" ceiling thickness without trim extenders.

3F6/F7/F8/F1 - For use with T-grid/flanged (T) style housing and ceiling thickness greater than 0.500".

4W - Wall wash style trim (W) requires wall wash lensed aperture (W).

5H - Sauna/steam-room use available only with combination of H shower trim, LO low output housing, and IIC housing rating.

6H, L - Lensed products come with Solite Soft Focus lens.

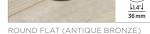
#### APERTURE SHIELD FOR CEILING THICKER THAN 1" LENSES/LOUVERS<sup>1</sup> **REPLACEMENT OPTICS** PLASTER PLATES BEAM CEILING PRODUCT TYPE PRODUCT SPREAD PRODUCT APPEARANCE FINISH PRODUCT мос GG PLAIN GLASS 353LEDGATOPT **20** 20° E2R ELEMENT 2" ROUND AC APERTURE COLLAR FOR B BLACK 150E2RCL SOFT FOCUS **30** 30° E2S ELEMENT 2" SQUARE UP TO 2" THICK CEILINGS ROUND SHEET METAL SF LINEAR SPREAD LL 40 40° 150E2SCL-A 2" PLASTER PLATE EC EGGCRATE LOUVER **60** 60° SQUARE SHEET METAL LS1 1" LONG SNOOT LS12 1/2" LONG SNOOT AC MOC 353LEDGATOPT В 1Lenses/louvers mounted to lamp Plaster plates are used to convert assembly only (max 2). flanged housings into flangeless housings. Ships standard with flangeless housings.

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## ELEMENT<sup>™</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

TRIMS







ROUND FLAT (ANTIQUE BRONZE)

1.4". 36 mm

SQUARE FLAT (SATIN NICKEL)



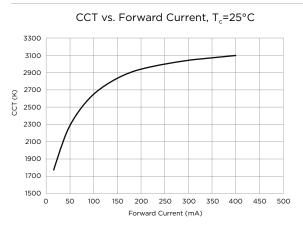
SQUARE FLAT (SATIN NICKEL)

SHOWN WITH AND WITHOUT A LENS (ROUND FLANGELESS BEVEL)

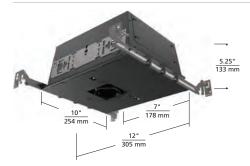
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## ELEMENT<sup>™</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

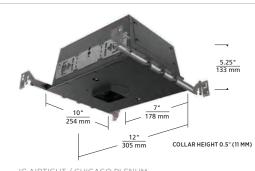
WARM DIM CURVE



HOUSING



IC AIRTIGHT/ CHICAGO PLENUM FLANGED / WOOD CEILING / FLANGELESS CEILING MOUNT

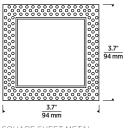


IC AIRTIGHT / CHICAGO PLENUM T-GRID / FLANGED HOUSING MOUNT

MUD/PLASTER PLATES



ROUND SHEET METAL MUD/PLASTER PLATE IS INCLUDED FOR FLANGELESS INSTALLATION

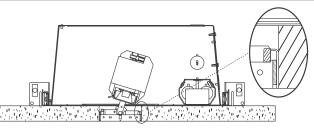


SQUARE SHEET METAL MUD/PLASTER PLATE IS INCLUDED FOR FLANGELESS INSTALLATION

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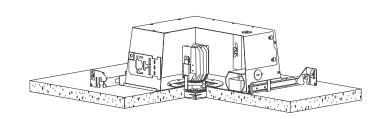
## ELEMENT<sup>TM</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

### FLANGED/FLANGELESS/WOOD CEILING - CEILING MOUNTED COLLAR



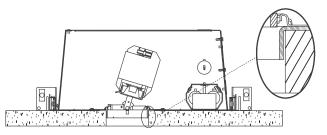
Ceiling Mounted Collar

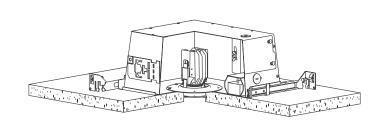
- Flanged, flangeless or flangeless in wood ceiling (see instructions)
- Compatible with drywall, wood



- Not compatible with T-Grid (Acoustic Tile)
- Optimizes lamp position regardless of ceiling thickness
- Allows install in up to 2" ceiling thickness

### T-GRID/FLANGED - HOUSING MOUNTED COLLAR





Housing Mounted Collar

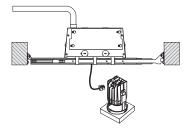
- Flanged only
- Compatible with T-Grid (Acoustic Tile), drywall, wood
- For 1" ceiling thickness max

When ordering the T-Grid/Flanged with Housing Mounted Collar, please order trim extender for ceiling thicknesses greater than 0.5" and for use up to 1" thickness (max). **Please consult instruction sheet.** 

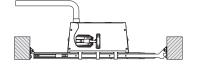
### FLANGELESS IN WOOD CEILING INSTALLATION

#### IMPORTANT:

READ INSTALLATION INSTRUCTIONS THOROUGHLY PRIOR TO INSTALL



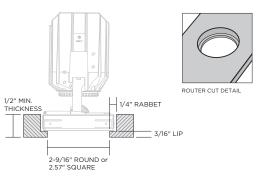
PLACE LIGHT MODULE INTO HOUSING BEFORE CEILING ASSEMBLY



#### PREPARE WOOD CEILING

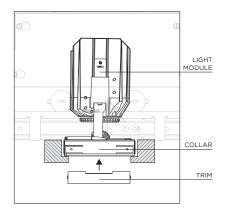
Use a 2-9/16" hole saw (round) or mill a 2.57" square opening in the wood. The wood must be at least 1/2" thick for the trims to hold firmly in place.

Use a 1/4" rabbet router bit to create a larger opening on the top side of the wood. The rabbet must cut to a depth that leaves 3/16" of wood above the ceiling level.



#### INSERT TRIM INTO THE COLLAR

Align the trim with the inner edge of the collar. Push the trim into the collar so that it snaps into place.



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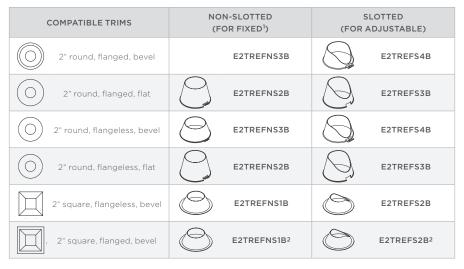
## ELEMENT<sup>TM</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

ELEMENT Specular Reflectors reduce glare while creating a clean, quiet ceiling appearance. These beautiful trim accessories have been specifically designed to minimize any effect on light performance, color and output. Specular Reflectors are available for both Adjustable and Fixed downlights and are compatible with ELEMENT 2" trims and housings.

- Can be easily installed or removed
- Assembles to existing ELEMENT 2" trim
- Compatible with fixed and adjustable housings



BELOW CEILING VIEW





SHOWN MOUNTED TO TRIM

REFLECTOR ONLY

Only compatible with ELEMENT 2" LED series.

May require lamp to be placed in high position.

Not available for ELEMENT 2" square flat trims.

Not compatible with lensed trims.

<sup>1</sup>Non-slotted reflectors may be used in adjustable housings with the lamp assembly placed in the 0° tilt position.

2Not compatible with flanged trim extenders F6, F7, F8, F1.

#### ORDERING GRIDS

### **E2 TRIM MOUNTED REFLECTORS**<sup>1</sup>

PRODUCT	STYLE	FINISH
E2TREF	NS1 NON-SLOTTED NS2 NON-SLOTTED NS3 NON-SLOTTED S2 SLOTTED S3 SLOTTED S4 SLOTTED	<b>B</b> ANODIZED BLACK
E2TREF		В

Not compatible with lensed trims. Reflectors are placed on top of the inside of the trim or affixed via screws (only if provided).

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## ELEMENT<sup>™</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

### PHOTOMETRICS

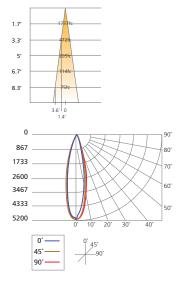
Description:	2" LED Module 20° Beam - 0° Tilt, 3000K	Description:	2" LED Module 30° Beam - 0° Tilt, 3000K	Description:	2" LED Module 40° Beam - 0° Tilt, 3000K
Model:	E2 Adjustable 20° High Output	Model:	E2 Adjustable 30° High Output	Model:	E2 Adjustable 40° High Output
Input Power (Watts):	18.7	Input Power (Watts):	18.7	Input Power (Watts):	18.7
Input Power Factor:	0.98	Input Power Factor:	0.98	Input Power Factor:	0.98
Absolute Luminous		Absolute Luminous		Absolute Luminous	
Flux (Lumens):	1206	Flux (Lumens):	1414	Flux (Lumens):	1565
Lumen Efficacy		Lumen Efficacy		Lumen Efficacy	
(Lumens per Watt):	64.5	(Lumens per Watt):	75.5	(Lumens per Watt):	83.7

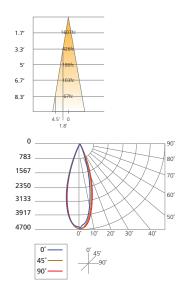
Output difference between CCTs ~ 5%, CRIs ~ 15%.

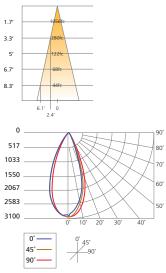
ANGLE	0°	45°	90°
0°	5136	5136	5136
5°	4054	4347	4616
10°	2654	2956	3278
15°	1383	1756	1896
20°	627	878	924
25°	249	326	393
30°	81	128	151
35°	24	65	50
40°	6	30	12
45°	3	6	4
50°	1	2	2
55°	1	1	1
60°	0	1	0
65°	0	1	0
70°	0	1	0
75°	0	1	0
80°	0	0	0
85°	0	0	0
90°	0	0	0

ANGLE	٥°	45°	90°
0°	4644	4644	4644
5°	4184	4322	4434
10°	3249	3454	3698
15°	1948	2286	2488
20°	933	1178	1304
25°	342	428	544
30°	87	161	176
35°	27	68	52
40°	7	27	12
45°	2	5	4
50°	1	2	1
55°	0	1	0
60°	0	1	0
65°	0	1	0
70°	0	0	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0

(Lumens per Watt): 83.7				
ANGLE	0°	45°	90°	
0°	3050	3050	3050	
5°	2774	2892	2971	
10°	2436	2549	2701	
15°	1847	2085	2260	
20°	1188	1460	1594	
25°	571	776	959	
30°	216	353	411	
35°	84	142	154	
40°	30	53	55	
45°	11	18	20	
50°	1	7	4	
55°	0	2	0	
60°	0	0	0	
65°	0	0	0	
70°	0	0	0	
75°	0	0	0	
80°	0	0	0	
85°	0	0	0	
90°	0	0	0	







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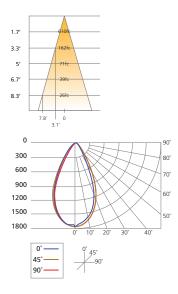
## ELEMENT<sup>™</sup> 2" LED ADJUSTABLE DOWNLIGHT & WALL WASH

### PHOTOMETRICS

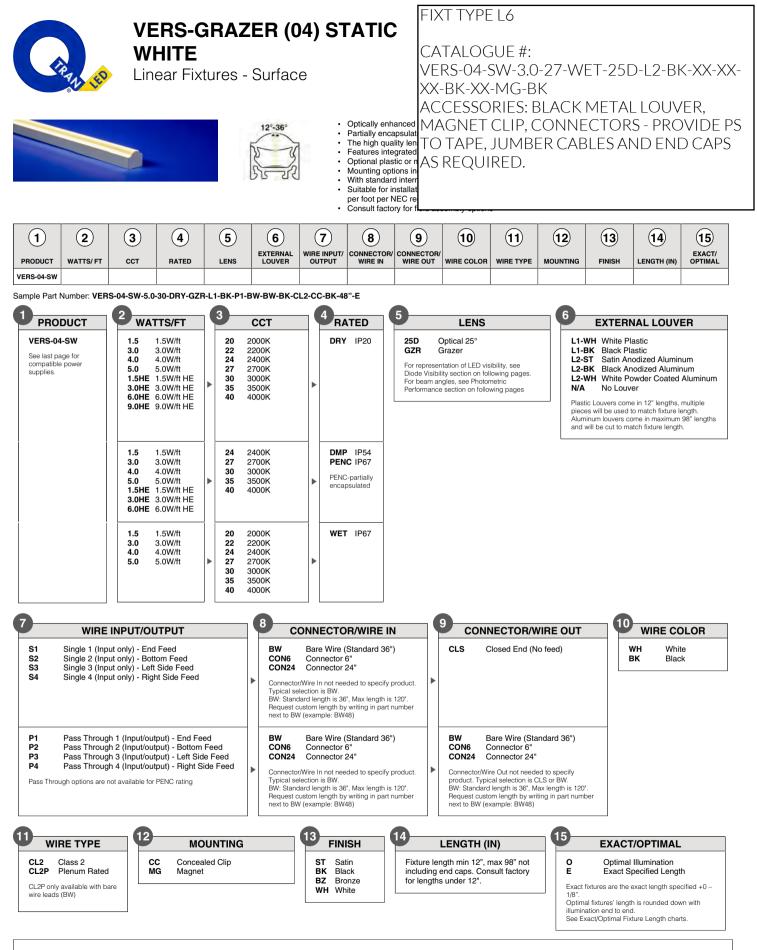
Description:	2" LED Module 60° Beam - 0° Tilt, 3000K
Model:	E2 Adjustable 60° High Output
Input Power (Watts):	18.7
Input Power Factor:	0.98
Absolute Luminous	
Flux (Lumens):	1382
Lumen Efficacy	
(Lumens per Watt):	73.7

Output difference between CCTs ~ 5%, CRIs ~ 15%.

ANGLE	0°	45°	90°
0°	1764	1764	1764
5°	1667	1724	1721
10°	1562	1612	1629
15°	1380	1445	1483
20°	1109	1233	1235
25°	718	921	923
30°	442	638	542
35°	310	377	350
40°	208	239	238
45°	83	142	139
50°	1	70	26
55°	1	6	1
60°	0	1	0
65°	0	0	0
70°	0	1	0
75°	0	0	0
80°	0	0	0
85°	0	0	0
90°	0	0	0



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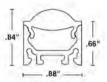
5 year warranty | Warranty only valid with Q-Tran power supplies | Field modifications void warranty | Data subject to change, all data has +/- 5% tolerance | Suitable for installation in the storage area of a clothes closet when using wattage of 4.0W/ft or less



## **VERS-GRAZER (04) STATIC WHITE**

Linear Fixtures - Surface

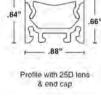
## PRODUCT - DIMENSIONS



Profile with GZR lens

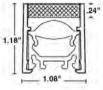


Profile with 25D lens, concealed clip & end cap



.91

Profile with GZR lens, magnet mount clip & magnetic mount.



VERS-04 with L1/L2 Louver

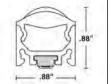
accessory & end cap





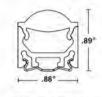
.88

Profile with GZR lens and PENC rating (partial encapsulation)

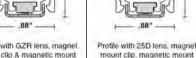


Profile with 25D lens,

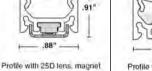
magnetic clip & end cap



Profile with GZR lens & concealed clip



accessory



## **2** DELIVERED LUMENS

[Calculated L70 = 70000 hrs, L70 = 66000 hrs for HE] Tested with VERS-04-SW-\*\*-30-DRY

	1.5 V	W/FT	1.5HE	W/FT	3.0 V	V/FT	3.0HE	W/FT	4.0 V	V/FT	5.0 V	V/FT	6.0HE	W/FT	9,0HE	W/FT
	LM/FT	CRI														
GZR	169	98	216	98	294	98	404	97	372	98	449	98	751	98	1108	98
25D	162	98	184	98	281	98	359	97	344	98	422	98	704	98	994	98

## **5** DIODE VISIBILITY

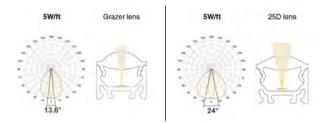


Optical lens

GZR - Grazer lens

### PHOTOMETRIC PERFORMANCE

Nominal beam spread shown, beam spread varies based on light engine. For more detailed information, see photometric data.

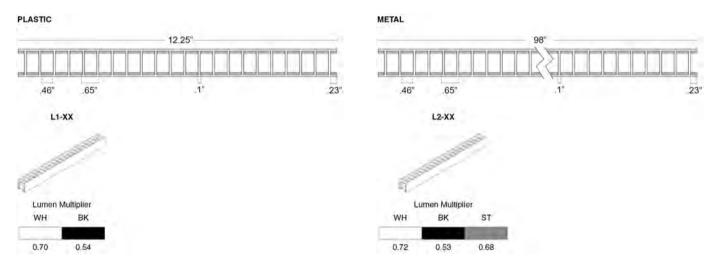




### **TEMPERATURE RATINGS**

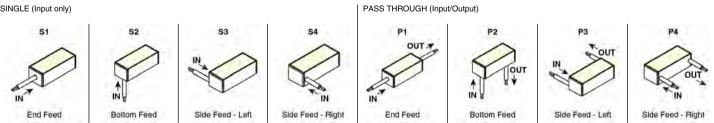
Light Engine (LED Strip)	W/FT	Minimum Limit (°F)	Maximum Limit (°F)
	1.5	-40	138
Charlie Manufa	3.0	-40	124
Static White	4.0	-40	115
	5.0	-40	108
	1.5HE	-40	152
Static White High Efficacy	3.0HE	-40	140
Flight Enteacy	6.0HE	-40	118

## **6** EXTERNAL LOUVER



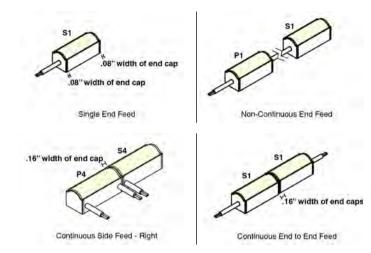
### **WIRE INPUT/OUTPUT**

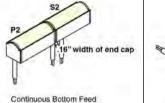
### SINGLE (Input only)

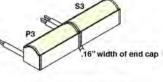




### **CONFIGURATION OPTIONS**



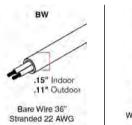




Continuous Side Feed - Left

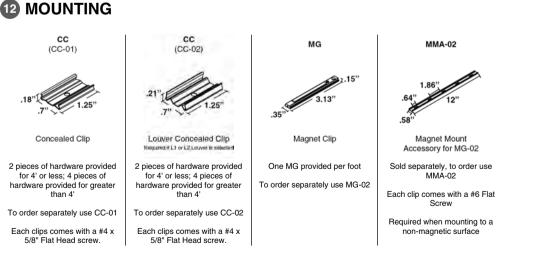
## 8/9 CONNECTOR/WIRE - IN/OUT

Connector/Wire In or Out not needed to specify product.





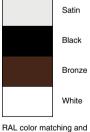
Wire Connector | 22 AWG IP67 Rated, UL Listed



**10 WIRE COLOR** 



13 FINISH



RAL color matching and anodization color available, call factory



Linear Fixtures - Surface

### **15 EXACT/OPTIMAL FIXTURE LENGTH**

EXAMPLES OF 12" OPTIMIZED STATIC WHITE FIXTURES WITH DIFFUSED LENS

S1 & S2	P1 & P2	
S3 & S4	P3 & P4	

SW DRY, DMP LENGTHS BY INCH Available in any length in between 12" and 98.43", chart below shows example lengths. Exact fixtures are the length specified. Optimal fixtures' length is rounded down with illumination end to end. All fixtures' tolerance is +0 – 1/8". Consult factory for lengths under 12".

ACT LENGT	Н	OPTIMAL	LENGTH							
			S1	& S2	P1	& P2	53	& S4	P3 /	5 P4
Requested Length	Potential dim spot on either end of fixture	Requested Nominal Length	S1	S2	PI OUT #	P2 Our	53 IN.	Z Contraction	P3	P4
		in the second		Bollom Feed	End Fied	Bottom Feed	Side Feed - Lull	Side Feed - Right	Side Feed - Lall	Side Feed - Rig
12"	.5*	12"		.5"		.75"		375"		375"
13"	.,5"	13"		2.5"	12	.75"		375"		375"
14"	.5*	14"	13	3.5"	13	.75"	13.	375"	13.3	375*
15"	.5*	15"	1.	1.5"	14	.75"	14.	375"	14.3	375"
16"		16"	15	5.5"	15	.75"	15.	375"	15,3	375"
17°	.5*	17°	16	5.5"	16	.75"	16.	375"	16.3	375"
18"	.5*	18"	17	.5"	17	.75"	17.	375"	17.3	375"
19"	.5"	19"	18	8.5"	18	75"	18.	375"	18.	375"
20"	.5*	20*	19	9.5"	19	.75"	19.	375"	19.3	375*
21"		21"	20	).5"	20	.75"	20.	375"	20.3	375"
22"	.5*	22"	2	.5"	21	75°	21.	375"	21.3	375"
23"	.5*	23*	22	2.5"	22	.75"	22.	375"	22.3	375*
24"	.5*	24"	2	3.5°	23	.75"	23	375"	23.	375"
36"	.5*	36"	35	5.5"	35	.75"	35.	375"	35.3	375"
48"	.5"	48"			47	.75"	47.	375"	47.3	375"
60"	.5"	60"	59	9.5*	59	.75"	59.	375"	59.3	375"
72"	.5*	72"	7	1.5	71	.75"	71.	375"	71.3	375*
84"	.5*	84"	80	3.5"	83	.75"	83.	375"	83.	375"
96"	.5"	96"	95	5.5"	95	.75"	.95.	375"	95.3	375"



Linear Fixtures - Surface

### SW WET LENGTHS BY INCH

Available in any length in between 12" and 98.43", chart below shows example lengths. Exact fixtures are the length specified. Optimal fixtures' length is rounded down with illumination end to end. All fixtures' tolerance is +0 - 1/8". Consult factory for lengths under 12".

### EXACT LENGTH

### OPTIMAL LENGTH

		1.1	S1	& S2	P1	& P2	\$3	& S4	P3 (	& P4
Requested Length	Potential dim spot on either end of fixture	Requested Nominal Length	S1	S2 AV IN Bolliam Foed	Pt OUT * IN End Fired	P2 F2 F0 F0 F0 F0 F0 F0 F0 F0 F0 F0	53 IN Contraction Side Feed - Lott	Star Ford - Flight	P3	P4
12"	.5*	12"	11.	625"	11	.75"	11	.5"	11.	375"
13"	.5"	13"	12	625"	12	.75"	12	2.5"	12.	375"
14°	5*	14"	13.	625	13	.75"	13	3.5"	13.	375*
15"	.5*	15"	14.	625"	14	.75"	14	.5"	14.	375"
16"	.5*	16"	15.	625"	15	.75°	15	5.5"	15.	375"
17°	.5"	17*	16.	625"	16	.75"	16	5.5"	16.	375°
18"	.5"	18"	17.	625"	17	.75"	17	,5"	17.	375"
19"	.5"	19"	18.	625"	18	.75"	18	1.5"	18.	375"
20"	.5*	20*	19.	625*	19	.75"	19	9.5"	19.	375*
21"	.5*	21"	20.	625"	20	.75"	20	0,5"	20.	375"
22"	.5"	22"	21.	625"	21	75°	21	.5"	21.	375"
23"	.5*	23*	22.	625*	22	.75"	22	2.5"	22.	375*
24"	.5*	24"	23.	625"	23	.75"	23	1.5"	23.	375"
36"	.5*	36"	35.	625"	35	.75°	35	5.5"	35.	375"
48"	.5'	48*	47.	625"	.47	.75"	47	.5"	47.	375"
60"	.5"	60"	59.	625"	59	.75"	59	.5"	59.	375"
72"	.5*	72"	71.	625*	71	.75"	71	.5"	71.	375*
84"	.5*	84"	83.	625"	83	.75"	83	1.5"	83.	375"
96"	.5*	96*	95.	625"	95	.75"	95	5.5"	95.	375°

### SW-HE DRY, DMP LENGTHS BY INCH

Available in any length in between 12" and 98.43", chart below shows example lengths. Exact fixtures are the length specified. Optimal fixtures' length is rounded down with illumination end to end. All fixtures' tolerance is +0 - 1/8". Consult factory for lengths under 12". OPTIMAL LENGTH: highlighted rows are closest to requested nominal length

### EXACT LENGTH

			S1	& S2	P1	& P2	S3 .	& S4	P3 /	§ P4
Requested Length	Potential dim spot on either end of fixture	Requested Nominal Length	S1 N End Feed	S2	P1 OUT * IN End Fired	P2 P2 P2 Puttor	S3	54 October N Bittle Fored - Right	P3	P4
12"	1"	12"	10	).5"	10	.75"	10.	375"	10.3	375"
13"	0.5"	13"	12	2.5"	12	.75"	12.	375"	12.3	375"
14"	1.	14"	12	2.5"	12	.75"	12.	375"	12.3	375*
15"	0.5"	15"	14	1.5"	14	.75"	14.	375"	14.	375"
16"	17	16"	14	1.5"	14	.75"	14.3	375"	14.5	375"
17"	0,5°	17"	16	8.5"	16	75"	16.	375°	16.3	375"
18"	1"	18"	16	5.5"	16	.75"	16.	375"	16.	375"
19"	0.5"	19"	18	8.5"	18	75"	18.	375"	18.3	375"
20"	1.	20"	18	8.5"	18	.75"	18.	375"	18.	375*
21"	0.5"	21"	20	).5"	20	75"	20,	375"	20.3	375"
22"	17	22"	20	),5"	20	75"	20.	375"	20.3	375"
23"	0.5"	23"	22	2.5"	22	.75"	22.	375"	22.3	375°
24"	1*	24"	22	2,5"	22	.75"	22	375"	22.3	375"
36"	1.	36"	34	1.5"	34	.75"	34.	375"	34.3	375"
48"	1"	48*	46	5.5"	46	.75"	46.	375"	46.3	375"
60"	1*	60"	58	3.5"	58	.75°	58.	375"	58.	375"
72"	1.	72*	70	0,5"	70	.75"	70.	375"	70.3	375"
84"	1*	84"	82	2.5"	82	.75"	82.	375"	82.3	375"
96"	1	96"	94	1.5"	94	.75"	94.	375"	94.3	375°



### **COMPATIBLE POWER SUPPLIES**

See power supplies cut sheets for more information. Data subject to change, all data has +/- 5% tolerance.

DIM TO LEVEL	IND	OOR	Ουτι	DOOR
	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+
Dim to Black	Q6M-DC+CAP QTM-DC+CAP iQ-PH iQ-PH+QD1	Q6M-DC+CAP QTM-DC+CAP iQ-PH iQ-PH+QD1	QOM-DC+CAP QOM-PH iQ-PH	QOM-DC+CAP QOM-PH iQ-PH
0.1%	QTM-eLED+0-10V QTM-eLED-AWN QZ-DMX QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP	QTM-eLED+0-10V QTM-eLED-AWN QZ-DMX QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP	Q-SET-Q2-DMX Q-SET-Q2-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-DMX QZ-PH/0-10V	Q-SET-Q2-DMX Q-SET-Q2-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-DMX QZ-PH/0-10V
1%	QTM-eLED(E) QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QTM-eLED(E) QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QOM-eLED+DALI-DT6	QOM-eLED+DALI-DT6
10%	Non-Dim Power Supply with SW App Dongle	Non-Dim Power Supply with SW App Dongle	Q-HEX-mini-DC Q-SET-mLED	

	INDO	DOR	ou	IDOOR
DIMMING PROTOCOL	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+
Non-Dim	QTM-eLED-ND QZ-ND	QTM-eLED-ND QZ-ND	Q-SET-QZ-ND Q-SET-eLED-ND QOM-eLED-ND QZ-ND iQ-ND-50-65	Q-SET-QZ-ND Q-SET-eLED-ND QOM-eLED-ND QZ-ND iQ-ND-50-65
Phase	Q6M-DC+CAP QTM-DC+CAP QTM-eLED(E) QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP iQ-PH iQ-PH iQ-PH+QD1	Q6M-DC+CAP QTM-DC+CAP QTM-eLED(E) QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP iQ-PH iQ-PH iQ-PH	Q-HEX-mini-DC Q-SET-QZ-PH/0-10V Q-SET-mLED QOM-DC+CAP QOM-PH QZ-PH/0-10V (Q-PH	Q-SET-QZ-PH/0-10V QOM-DC+CAP QOM-PH QZ-PH/0-10V iQ-PH
0-10V	QTM-eLED+0-10V QTM-eLED-AWN QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP	QTM-eLED+0-10V QTM-eLED-AWN QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP	Q-SET-QZ-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-PH/0-10V	Q-SET-QZ-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-PH/0-10V
Lutron Athena	QTM-eLED+DALI-DT6-AWN QTM-eLED-AWN	QTM-eLED+DALI-DT6-AWN QTM-eLED-AWN		
ECO System	QTM-eLED(E)	QTM-eLED(E)		
DMX	QZ-DMX	QZ-DMX	Q-SET-QZ-DMX QZ-DMX	Q-SET-QZ-DMX QZ-DMX
DALI-2: DT6	QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QOM-eLED+DALI-DT6	QOM-eLED+DALI-DT6
SCENE App Dimmed	Non-Dim Power Supply with SW App Dongle	Non-Dim Power Supply with SW App Dongle		



Linear Fixtures - Surface

### COMPATIBLE MOUNTING ACCESSORIES



bracket - Medium



bracket - XLarge



1.03

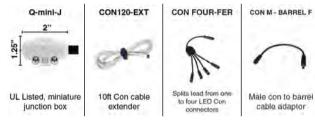
accessory



Adjustable mounting accessory

## COMPATIBLE WIRING ACCESSORIES

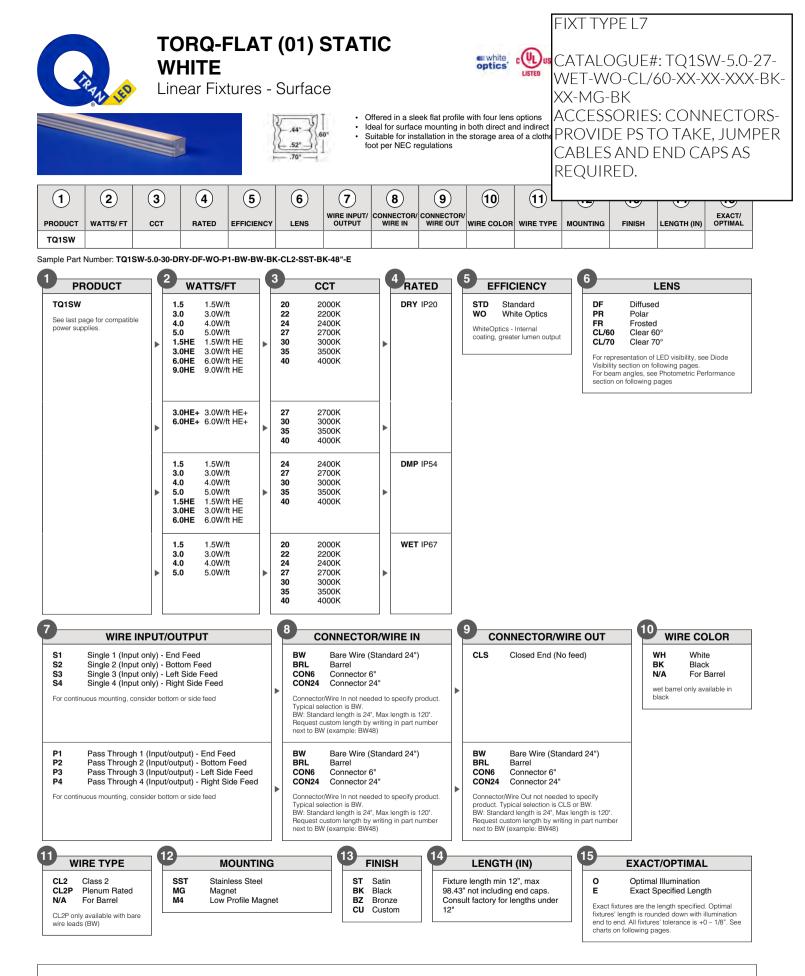
bracket - Large



## COMPATIBLE CONTROL ACCESSORIES



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5 year warranty | Warranty only valid with Q-Tran power supplies | Field modifications void warranty | Data subject to change, all data has +/- 5% tolerance



Linear Fixtures - Surface

### PRODUCT - DIMENSIONS



Profile



Profile with flat lens, stainless steel mounting clip, and mounting tray



Profile with flat lens and magnet mounting clip



Profile with flat lens and low profile magnet

## 2 DELIVERED LUMENS

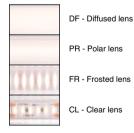
[Calculated L70 = 70000 hrs, L70 = 50000 for HE+] Tested with TQ1SW-\*\*-30-DRY-STD

	1.5 V	V/FT	1.5HE	W/FT	3.0 \	V/FT	3.0HE	W/FT	3.0HE-	W/FT	4.01	N/FT	5.0 V	WFT	6.0HE	W/FT	6.0HE+	W/FT	9.0HE	W/FT
	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI
60	131	98	169	98	225	98	309	98	446	92	277	98	345	98	542	98	825	92	881	98
70	10	98	11.	98	234	98		98		17	292	98	11)	98		98				98
FR	127	98	164	98	222	98	301	98	434	92	266	98	337	98	571	98	803	92	858	98
PR	110	98	142	98	193	.98	260	.98	376	92	237	98	294	98	493	98	694	92	742	98
DF	98	98	127	98	166	98	232	98	335	92	204	98	260	98	439	98	618	92	661	98

[Calculated L70 = 70000 hrs, L70 = 50000 for HE+] Tested with TQ1SW-\*\*-30-DRY-WO

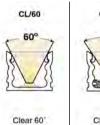
	1.5 V	V/FT	1.5HE	W/FT	3.0 V	W/FT	3.0HE	W/FT	3.0HE-	W/FT	4.0 V	V/FT	5.0	N/FT	6.0HE	W/FT	6.0HE+	W/FT	9.0HE	W/FT
	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI	LM/FT	CRI
60	138	98	178	98	241	98	327	98	472	14	300	98	375	98	620	98	872	**	932	98
70	H	98		98		98		98				98		98		98			- 27	98
FR	123	98	159	98	215	98	292	98	421	**	268	98	368	98	554	98	779	**	832	98
PR	118	98	153	98	206	98	280	98	403	**	256	98	335	98	530	98	745	**	779	98
DF	102	98	132	98	179	98	242	98	349	**	222	98	300	98	467	98	646	**	699	98

## **6** DIODE VISIBILITY



### PHOTOMETRIC PERFORMANCE

Nominal beam spread shown, beam spread varies based on light engine. For more detailed information, see photometric data.





Clear 70

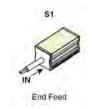


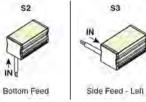
### **TEMPERATURE RATINGS**

		1.5	W/FT	1.5 HE	E W/FT	3.0	W/FT	3.0 HE	W/FT	3.0 HE	+ W/FT	4.0	N/FT	5.0	N/FT	6.0 HE	W/FT	6.0	HE+	9.0	HE
		Min	Мах	Min	Мах	Min	Max	Min	Max	Min	Max	Min	Max	Min	Max	Min	Max	Min	Max	Min	Max
DRY	Ambient Operating Temp - Surface	-4°F	140°F	-4°F	145°F	-4°F	135°F	-4°F	135°F	-13°F	135°F	-4°F	130°F	-4°F	125°F	-4°F	130°F	-13ºF	125°F	-4°F	100°F
DMP	Ambient Operating Temp - Surface	-4°F	135°F	-4°F	140°F	-4°F	130°F	-4°F	130°F			-4°F	125°F	-4°F	120°F	-4°F	125°F				
WET	Ambient Operating Temp - Surface	-4°F	135°F			-4°F	130°F					-4°F	125°F	-4°F	120°F						

## **WIRE INPUT/OUTPUT**

SINGLE (Input only)





Side Feed - Right



PASS THROUGH (Input/Output)

P2

Bottom Feed Si

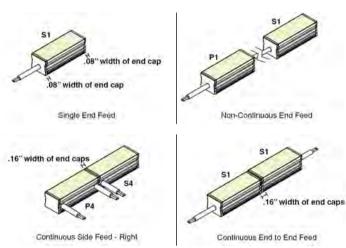
Side Feed - Left Side

P3



Side Feed - Right

## **CONFIGURATION OPTIONS**



S2 P2 16" width of end caps Continuous Boltom Feed

P3 .16" width of end caps

Continuous Side Feed - Left

## **8**/**9** CONNECTOR/WIRE – IN/OUT

Connector/Wire In or Out not needed to specify product. Standard configuration is BW for Wire In and CLS for Wire out



## 10 WIRE COLOR





Linear Fixtures - Surface

## 





Stainless Steel Clip

2 clips provided for 4' or less; 4 clips provided for greater than 4'

> To order separately use SST-01

Each clip comes with a #4 x 5/8" Flat Head SS



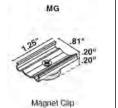


Magnet Mount Accessory for M4

Sold separately, to order use MMA-04

Each bracket comes with 2 #6 x 5/8 Flat Head SS

Required when mounting to a non-magnetic surface



One MG provided per foot To order separately use MG-01

Sold separately, to order use MMA-01 Each bracket comes with 2 #6 x 5/8" Flat Head SS

Required when mounting to a non-magnetic surface

Magnet Mount

Accessory of MG-01

MMA-01



Low Profile Magnet

One M4 provided per foot.

To order separately use MG-04





Custom color available

## **15 EXACT/OPTIMAL FIXTURE LENGTH**

EXAMPLES OF 12" OPTIMIZED STATIC WHITE FIXTURES WITH DIFFUSED LENS

S1 & S2	P1 & P2	
S3 & S4	P3 & P4	

OPTIMAL LENGTH

Linear Fixtures - Surface

### SW DRY, DMP LENGTHS BY INCH

Exact fixtures are the length specified. Optimal fixtures' length is rounded down with illumination end to end. All fixtures' tolerance is +0 - 1/8". Consult factory for lengths under 12".

### EXACT LENGTH

Requested Length	Potential dim spot on either end of fixture
12"	.5*
13"	.5"
14"	.5*
15"	.5*
16"	.,5*
17°	.5*
18"	.5*
19"	.5*
20"	.5*
21"	.5*
22"	.,5*
23"	.5*
24"	.5*
36"	.5*
48"	.5*
60"	.5
72"	.5*
84"	.5*
96"	.5"

1.1.1	S1 & S	2	P1	& P2	S3	& S4	P3 (	& P4
Requested Nominal Length	S1	52 4 N	PI OUT #	P2 OUT NN	53 IN	a Contra	P3	R Contraction
ing and		Bollism Feed	End Feed	Boltom Feed	Sittle Feed - Lott	Skile Feed - Right	Side Feed - Loft	Side Feed - Right
12"	11.5"			.75"	11.	375"	11.	375"
13"	12.5"		12	.75"	12.	375"	12.	375"
14"	13.5"		13	.75"	13.	375"	13.375*	
15"	14.5"		14	.75"	14.375"		14.375"	
16"	15.5*		15	.75"	15.	375"	15.	375"
17°	16.5"		16.75"		16.375"		16.375"	
18"	17.5"		17	.75"	17.	375"	17.	375"
19"	18.5"		18	75"	18.	375"	18.	375"
20"	19.5"	0	19	.75"	19.	375"	19.375*	
21"	20.5"	_	20	.75"	20.	375"	20.3	375"
22"	21.5*		21	75°	21.	375"	21.	375"
23*	22.5"	n	22	.75"	22.	375"	22.	375*
24"	23.5*		23	.75"	23	375"	23.	375"
36"	35.5"		35	.75°	35.	375"	35.	375"
48"	47.5"	0	47	.75"	47.	375"	47.3	375"
60"	59.5*	·	59	.75"	59.	375"	59.	375"
72*	71.5*			.75"		375"	1.011	375*
84"	83.5"			.75"		375"		375"
96"	95.5*			.75"		375"	the second	375"

### SW WET LENGTHS BY INCH

Exact fixtures are the length specified. Optimal fixtures' length is rounded down with illumination end to end. All fixtures' tolerance is +0 - 1/8". Consult factory for lengths under 12".

### EXACT LENGTH

### OPTIMAL LENGTH

			S1	& S2	P1	& P2	\$3	& S4	P3 /	& P4
Requested Potential dim spot on either Length end of fixture	Requested Nominal Length	S1 IN End Feed	52 AV IN Bolliam Foed	P1 OUT * IN End Field	P2 Our NN Bollom Feed	53 IN Side Feed - Luff	54 Side Feed - Right	P3	P4	
12"	.5*	12"	11.	625*	11	.75"	11	.5"	11.3	375*
13"	.5	13"	12	625"	12	75"	12	2.5"	12.	375"
14°	5*	14"	13.	625	13	.75"	13	1.5"	13.3	375*
15"	.5*	15"	14.	625"	14	75"	14	.5"	14.3	375"
16"	.5*	16"	15.	625"	15	.75°	15	5.5"	15.	375"
17°	.5"	17°	16.	625"	16	.75"	16	5.5"	16.3	375°
18"	.5"	18"	17.	625"	17	.75"	17	,5"	17.3	375"
19"	.5'	19"	18.	625"	18	75"	18	1.5"	18.3	375"
20"	.5*	20*	19.	625*	19.75"		19.5"		19.375*	
21"	.5*	21"	20.	625"	20,75"		20.5"		20.375"	
22"	.5'	22"	21.	625"	21.75"		21.5"		21.375"	
23"	.5*	23*	22.	625*	22	.75"	22.5"		22.375*	
24"	.5*	24"	23.	625"	23.	75"	23.5"		23.375"	
36"	.5*	36"	35.	625"	35	.75°	35	5.5"	35.3	375"
48"	.5'	48"	47.	625*	47	75"	47	.5"	47.3	375"
60"		60"	59.	625"	59	75"	59	.5"	59.3	375"
72"	.5*	72"	71.	625*	71	.75"	71	.5"	71.5	375*
84"	.5*	84"	83.	625"	83	.75"	83.5"		83.	375"
96"	.5'	96"	95.	625"	95	75"	95	5.5"	95.3	375"

Linear Fixtures - Surface

### SW-HE, SW-HE+ DRY, DMP LENGTHS BY INCH

Exact fixtures are the length specified. Optimal fixtures' length is rounded down with illumination end to end. All fixtures' tolerance is +0 - 1/8". Consult factory for lengths under 12".

EXACT LENGTH

OPTIMAL LENGTH: highlighted rows are closest to requested nominal length

			S1	& S2	P1	& P2	53	& S4	P3 /	& P4
Requested Potential dim Length spot on either end of fixture	spot on either	Requested Nominal Length	S1 IN End Feed	S2	Pt OUT # IN End Fired	P2 P2 P2 our but m Boltom Feed	53 IN Side Feed - Loff	54 W Bitte Feed - Right	P3	P4
12"	1"	12"	10	).5"	10	.75"	10.5	375"	10.3	375"
13"	0.5"	13"	12	2.5"	12	.75"	12.	375"	12.3	375"
14"	1°	14"	12	2.5"	12	.75"	12.	375"	12.3	375*
15"	0.5"	15"	14	1.5"	14	.75"	14.3	375"	14.	375"
16"	1*	16"	14	1.5"	14	.75"	14.3	375"	14.5	375"
17"	0,5°	17°	16	3.5"	16.75"		16.375*		16.375°	
18"	1"	18"	16	5.5"	16.75"		16.375"		16.375"	
19"	0.5"	19"	18	8.5"	18	75"	18.3	375"	18.3	375"
20"	1.	20*	18	8.5"	18.75"		18.375"		18.375*	
21"	0.5"	21"	20	).5"	20,75"		20.375"		20.375"	
22"	17	22"	20	),5"	20.75"		20.375"		20.375*	
23"	0.5"	23"	22	2.5"	22.75"		22.375"		22.375"	
24"	1*	24"	22	2,5*	22	.75"	22.375"		22.375"	
36"	1.	36"	34	1.5"	34	.75"	34.3	375"	34.3	375"
48"	1"	48"	46	5.5"	46	.75"	46.3	375"	46.3	375"
60"	1*	60"	58	3.5"	58	.75°	58.3	375"	58.3	375"
72"	1"	72"	70	0,5"	70	.75"	70.375"		70.3	375*
84"	1*	84"	82	2.5"	82	.75"	82.375"		82.3	375"
96"	1*	96"	94	1.5"	94	.75"	.94.3	375"	94.3	375°

### **COMPATIBLE POWER SUPPLIES**

See power supplies cut sheets for more information. Data subject to change, all data has +/- 5% tolerance.

DIM TO LEVEL	INDOOR		OUTDOOR			
DIM TO LEVEL	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+		
Dim to Black	Q6M-DC+CAP QTM-DC+CAP iQ-PH iQ-PH+QD1	Q6M-DC+CAP QTM-DC+CAP iQ-PH iQ-PH+QD1	QOM-DC+CAP QOM-PH iQ-PH	QOM-DC+CAP QOM-PH iQ-PH		
0.1%	QTM-eLED+0-10V QTM-eLED-AWN QZ-DMX QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP	QTM-eLED+0-10V QTM-eLED-AWN QZ-DMX QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP	Q-SET-QZ-DMX Q-SET-QZ-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-DMX QZ-PH/0-10V	Q-SET-Q2-DMX Q-SET-Q2-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-DMX QZ-PH/0-10V		
1%	QTM-eLED(E) QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QTM-eLED(E) QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QOM-eLED+DALI-DT6	QOM-eLED+DALI-DT6		
10%	Non-Dim Power Supply with SW App Dongle	Non-Dim Power Supply with SW App Dongle	Q-HEX-mini-DC Q-SET-mLED			



Linear Fixtures - Surface

	IND	DOR	OUT	DOOR
DIMMING PROTOCOL	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+
Non-Dim	QTM-eLED-ND QZ-ND	QTM-eLED-ND QZ-ND	Q-SET-QZ-ND Q-SET-eLED-ND QOM-eLED-ND QZ-ND ¡Q-ND-50-65	Q-SET-QZ-ND Q-SET-eLED-ND QOM-eLED-ND QZ-ND iQ-ND-50-65
Phase	Q6M-DC+CAP QTM-DC+CAP QTM-eLED(E) QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP iQ-PH iQ-PH iQ-PH+QD1	Q6M-DC+CAP QTM-DC+CAP QTM-eLED(E) QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP iQ-PH iQ-PH	Q-HEX-mini-DC Q-SET-0Z-PH/0-10V Q-SET-mLED QOM-DC+CAP QOM-PH QZ-PH/0-10V iQ-PH	Q-SET-QZ-PH/0-10V QOM-DCCAP QOM-PH QZ-PH/0-10V iQ-PH
0-10V	QTM-eLED+0-10V QTM-eLED-AWN QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP	QTM-eLED+0-10V QTM-eLED-AWN QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP	Q-SET-QZ-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-PH/0-10V	Q-SET-QZ-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-PH/0-10V
Lutron Athena	QTM-eLED+DALI-DT6-AWN QTM-eLED-AWN	QTM-eLED+DALI-DT6-AWN QTM-eLED-AWN		
ECO System	QTM-eLED(E)	QTM-eLED(E)		
DMX	QZ-DMX	QZ-DMX	Q-SET-QZ-DMX QZ-DMX	Q-SET-QZ-DMX QZ-DMX
DALI-2: DT6	QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QOM-eLED+DALI-DT6	QOM-eLED+DALI-DT6
SCENE App Dimmed	Non-Dim Power Supply with SW App Dongle	Non-Dim Power Supply with SW App Dongle		

## **COMPATIBLE MOUNTING ACCESSORIES**



NL-LARGE

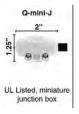
SD-L-LARGE

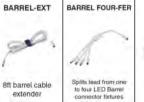


L Mounting Bracket

L Mounting Bracket

### COMPATIBLE WIRING ACCESSORIES







CON FOUR-FER

CON120-EXT

CON M - BARREL F

Male con to barrel cable adaptor



### **COMPATIBLE CONTROL ACCESSORIES**



# STRUT OUTDOOR PATH

## PRODUCT FEATURES

- Powerful, long lasting (L70, 70,000 hours) dimmable LED tested against the highest quality standards to ensure it delivers consistent LED performance and color over time.
- Die-cast aluminum structure, powder coat finish, and stainless steel hardware for robust durability in harsh elements. appropriate for commercial use.
- Path features a 12V driver with optional magnetic low voltage transformer (sold separately).
- Wet listed, IP65 (International Protection rating indicating resistance to dust and water. Suitable and safe for commercial use).
- 5-year Warranty. Go to <u>www.techlighting.com</u> for warranty details.
- Available in modern finish options

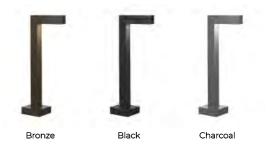
### LAMPING



## 7000ASTR 927 18 Z 12 TRANSFORMER: 7000T150T



Charcoal



### ORDERING INFORMATION

7000ASTR	CRI	COLOR TEMP	LENGTH (A)	FINISH	VOLTAGE
	9 90 CRI	27 2700K	18 18"	B BLACK	1212V
		30 3000K		Z BRONZE	
				H CHARCOAL	

7000ASTR			
JOB NAME	 		
NOTES			



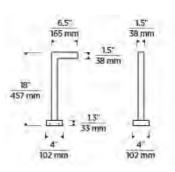
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## STRUT OUTDOOR PATH

## VISUAL COMFORT & CO.

## **SPECIFICATIONS**

PRIMARY MATERIAL	Aluminum	
SHADE MATERIAL		
NET WEIGHT	4 lbs	
HEIGHT	18in	
WIDTH	4in	
LENGTH	6.5in	
WET LISTED		
DAMP LISTED		
DRY LISTED		
GENERAL LISTING	ETL Listed	
INCLUDES		



### LAMPING SPECIFICATIONS

	LED LAMP	INTEGRATED LED	NON LED	NO LAMP
DELIVERED LUMENS		693		
WATTS		14.6		
MAX WATTAGE PER BULB		14.6W		
		12V MLV		
ССТ		2700K		
		3000K		
CRI		90 CRI		
LED LIFETIME				
L70		>60000		
AVERAGE BULB HOURS				
FIELD SERVICEABLE LED				
LAMP BASE		Integrated LED		
LAMP SHAPE		Integrated LED		
LAMP INCLUDED?		True		
WARRANTY**		5 Years		

\* Dimming information available at <u>www.techlighting.com/Downloads#dimming</u> \*\* Visit techlighting.com for specific warranty limitations and details.

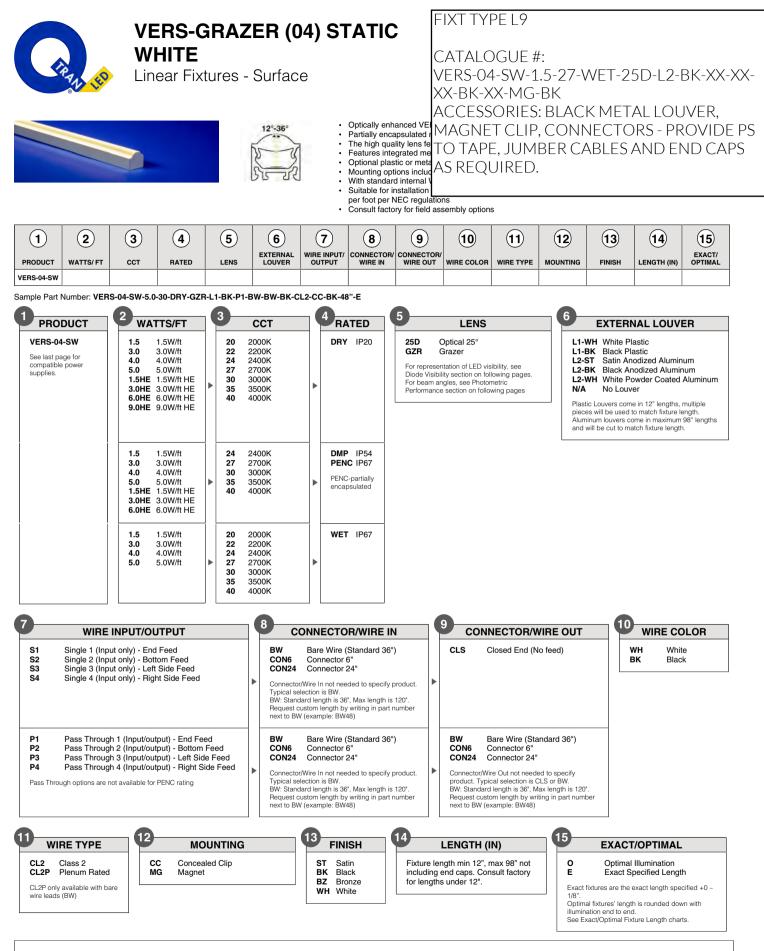
## T20 / T24 / JA8 INFORMATION

	Integrated LED	Replacement LED Lamp	No Lamp *
This product can be used to comply with California Building Energy Efficiency Standards 2016 Title 24 Part 6 / JA8.	Yes		
This product can be used to comply with California Appliance Efficiency Standards 2016 Title 20 and may be shipped to and sold in California.	N/A		

\* If a light fixture or component does not include a lamp or light source, it is the responsibility of the customer to select a lamp that meets the T24 and T20 requirements.



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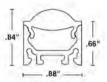
5 year warranty | Warranty only valid with Q-Tran power supplies | Field modifications void warranty | Data subject to change, all data has +/- 5% tolerance | Suitable for installation in the storage area of a clothes closet when using wattage of 4.0W/ft or less



## **VERS-GRAZER (04) STATIC WHITE**

Linear Fixtures - Surface

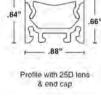
## PRODUCT - DIMENSIONS



Profile with GZR lens

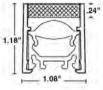


Profile with 25D lens, concealed clip & end cap



.91

Profile with GZR lens, magnet mount clip & magnetic mount.



VERS-04 with L1/L2 Louver

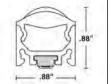
accessory & end cap





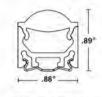
.88

Profile with GZR lens and PENC rating (partial encapsulation)

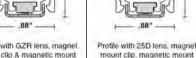


Profile with 25D lens,

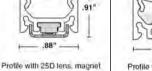
magnetic clip & end cap



Profile with GZR lens & concealed clip



accessory



## **2** DELIVERED LUMENS

[Calculated L70 = 70000 hrs, L70 = 66000 hrs for HE] Tested with VERS-04-SW-\*\*-30-DRY

	1.5 V	W/FT	1.5HE	W/FT	3.0 V	V/FT	3.0HE	W/FT	4.0 V	V/FT	5.0 V	V/FT	6.0HE	W/FT	9,0HE	W/FT
	LM/FT	CRI														
GZR	169	98	216	98	294	98	404	97	372	98	449	98	751	98	1108	98
25D	162	98	184	98	281	98	359	97	344	98	422	98	704	98	994	98

## **5** DIODE VISIBILITY

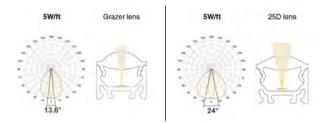


Optical lens

GZR - Grazer lens

## PHOTOMETRIC PERFORMANCE

Nominal beam spread shown, beam spread varies based on light engine. For more detailed information, see photometric data.

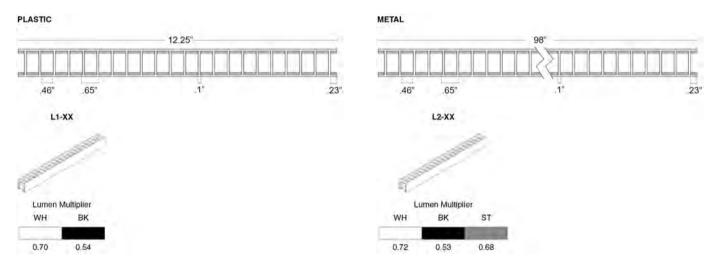




## **TEMPERATURE RATINGS**

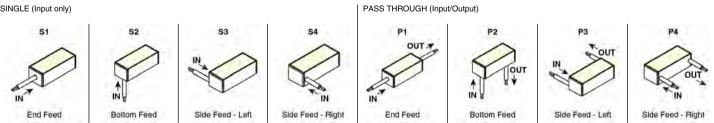
Light Engine (LED Strip)	W/FT	Minimum Limit (°F)	Maximum Limit (°F)
	1.5	-40	138
Charlie Manufa	3.0	-40	124
Static White	4.0	-40	115
	5.0	-40	108
	1.5HE	-40	152
Static White High Efficacy	3.0HE	-40	140
Flight Enteacy	6.0HE	-40	118

## **6** EXTERNAL LOUVER



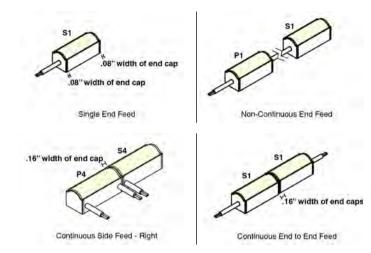
## **WIRE INPUT/OUTPUT**

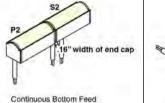
#### SINGLE (Input only)

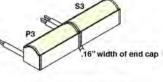




## **CONFIGURATION OPTIONS**



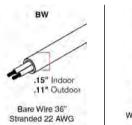




Continuous Side Feed - Left

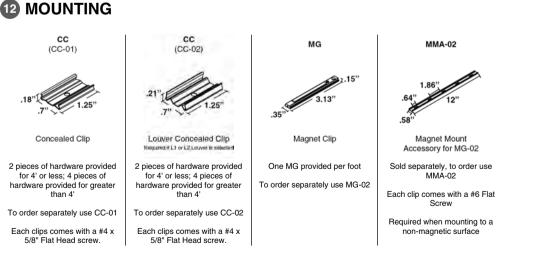
## 8/9 CONNECTOR/WIRE - IN/OUT

Connector/Wire In or Out not needed to specify product.





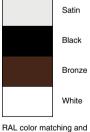
Wire Connector | 22 AWG IP67 Rated, UL Listed



**10 WIRE COLOR** 



13 FINISH



RAL color matching and anodization color available, call factory



Linear Fixtures - Surface

## **15 EXACT/OPTIMAL FIXTURE LENGTH**

EXAMPLES OF 12" OPTIMIZED STATIC WHITE FIXTURES WITH DIFFUSED LENS

S1 & S2	P1 & P2	
S3 & S4	P3 & P4	

SW DRY, DMP LENGTHS BY INCH Available in any length in between 12" and 98.43", chart below shows example lengths. Exact fixtures are the length specified. Optimal fixtures' length is rounded down with illumination end to end. All fixtures' tolerance is +0 – 1/8". Consult factory for lengths under 12".

XACT LENGTH		OPTIMAL	LENGTH							
			S1	& S2	P1	& P2	53	& S4	P3 /	5 P4
Requested Length	Potential dim spot on either end of fixture	Requested Nominal Length	S1	S2	PI OUT #	P2 Our	53 IN.	Z Contraction	P3	P4
		in the second		Bollom Feed	End Fied	Bottom Feed	Side Feed - Lull	Side Feed - Right	Side Feed - Lall	Side Feed - Rig
12"	.5*	12"		.5"		.75"		375"	11.375"	
13"	.,5"	13"		2.5"	12.75"		12.375"		12.375"	
14"	.5*	14"	13.5"		13.75"		13.375"		13.375*	
15"	.5*	15"	14.5"		14.75"		14.375"		14.375"	
16"		16"	15.5"		15.75"		15.	375"	15,3	375"
17°	.5*	17°	16	5.5"	16.75"		16.	375"	16.3	375"
18"	.5*	18"	17	.5"	17.75"		17.	375"	17.3	375"
19"	.5"	19"	18	8.5"	18.75"		18.375"		18.	375"
20"	.5*	20*	19	9.5"	19.75"		19.375"		19.375*	
21"		21"	20	).5"	20.75"		20.375"		20.375"	
22"	.5*	22"	2	.5"	21,75*		21,375"		21.375"	
23"	.5*	23*	22	2.5"	22.75"		22.375"		22.375*	
24"	.5*	24"	2	3.5°	23.75"		23.375"		23.	375"
36"	.5*	36"	35.5"		35	.75"	35.375"		35.3	375"
48"	.5"	48"	47.5"		47	75"	47.	375"	47.3	375"
60"	.5"	60"	59.5*		59.75"		59.375"		59.3	375"
72"	.5*	72"	7	1.5	71	.75"	71.	375"	71.3	375*
84"	.5*	84"	80	3.5"	83	.75"	83.	375"	83.	375"
96"	.5'	96"	95	5.5"	95	.75"	.95.	375"	95.3	375"



Linear Fixtures - Surface

## SW WET LENGTHS BY INCH

Available in any length in between 12" and 98.43", chart below shows example lengths. Exact fixtures are the length specified. Optimal fixtures' length is rounded down with illumination end to end. All fixtures' tolerance is +0 - 1/8". Consult factory for lengths under 12".

#### EXACT LENGTH

#### OPTIMAL LENGTH

		1.1	S1	& S2	P1	& P2	\$3	& S4	P3 (	& P4			
Requested Length	Potential dim spot on either end of fixture	Requested Nominal Length	S1	S2 AV IN Bolliam Foed	Pt OUT * IN End Fired	P2 F2 F0 F0 F0 F0 F0 F0 F0 F0 F0 F0	53 IN Contraction Side Feed - Lott	Star Ford - Flight	P3	P4			
12"	.5*	12"	11.	625"	11	.75"	11	.5"	11.	375"			
13"	.5"	13"	12	625"	12.75"		12	2.5"	12.375"				
14°	5*	14"	13.	625	13.75"		13.5"		13.375*				
15"	.5*	15"	14.625"		14.75"		14.5"		14.375"				
16"	.5*	16"	15.625"		15,75"		15.5"		15.375"				
17°	.5"	17*	16.	625"	16	.75"	16	5.5"	16.	375°			
18"	.5"	18"	17.	625"	17	.75"	17	,5"	17.	375"			
19"	.5"	19"	18.	625"	18	.75"	18	1.5"	18.	375"			
20"	.5*	20*	19.	625" 19.75"		.75"	19.5"		19.375*				
21"	.5*	21"	20.	20.625"		20,75"		20,5"		20.375"			
22"	.5"	22"	21.625"		21.75"		21.5"		21.375"				
23"	.5*	23*	22.625*		22.75"		22.5"		22.375*				
24"	.5*	24"	23.	23.625"		23.625"		23.75"		23.5"		23.375"	
36"	.5*	36"	35.	625"	35	.75°	35	5.5"	35.	375"			
48"	.5'	48*	47.625*		.47	.75"	47	.5"	47.	375"			
60"	.5"	60"	59.625"		59.		59	.5"	59.	375"			
72"	.5*	72"	71.	625*	71	.75"	71	.5"	71.	375*			
84"	.5*	84"	83.	625"	83	.75"	83	1.5"	83.	375"			
96"	.5*	96*	95.	625"	95	.75"	95	5.5"	95.	375°			

## SW-HE DRY, DMP LENGTHS BY INCH

Available in any length in between 12" and 98.43", chart below shows example lengths. Exact fixtures are the length specified. Optimal fixtures' length is rounded down with illumination end to end. All fixtures' tolerance is +0 - 1/8". Consult factory for lengths under 12". OPTIMAL LENGTH: highlighted rows are closest to requested nominal length

#### EXACT LENGTH

			S1	& S2	P1	& P2	S3 .	& S4	P3 /	§ P4			
Requested Length	Potential dim spot on either end of fixture	Requested Nominal Length	S1 N End Feed	S2	P1 OUT * IN End Fired	P2 P2 P2 Purchar Boltom Feed	S3	54 October N Bittle Fored - Right	P3	P4			
12"	1"	12"	10	).5"	10	.75"	10.	375"	10.3	375"			
13"	0.5"	13"	12	2.5"	12	.75"	12.	375"	12.3	375"			
14"	1.	14"	12	2.5"	12.75"		12.375"		12.375*				
15"	0.5"	15"	14.5"		14.75"		14.375"		14.375"				
16"	17	16"	14	1.5"	14	.75"	14.3	375"	14.5	375"			
17"	0,5°	17"	16	8.5"	16	75"	16.	375°	16.3	375"			
18"	1"	18"	16	5.5"	16	.75"	16.	375"	16.	375"			
19"	0.5"	19"	18	8.5"	18	75"	18.	375"	18.3	375"			
20"	1°	20"	18	18.5" 18.75"		.75"	18.375"		18.375*				
21"	0.5"	21"	20.5"		20,75"		20.375"		20.375"				
22"	17	22"	20.5"		20	75"	20.	375"	20.3	375"			
23"	0.5"	23"	22.5		22	.75"	22.375"		22.375*				
24"	1*	24"	22	22.5"		22.5*		22.75"		22.375"		22.375"	
36"	1.	36"	34	1.5"	34	.75"	34.	375"	34.3	375"			
48"	1"	48*	46.5"		46	.75"	46.	375"	46.3	375"			
60"	1*	60"	58.5*		58.75"		58.375"		58.	375"			
72"	1.	72*	70	0,5	70	.75"	70.	375"	70.3	375"			
84"	1*	84"	82	2.5"	82	.75"	82.	375"	82.3	375"			
96"	1	96"	94	1.5"	94	.75"	94.	375"	94.3	375°			



## **COMPATIBLE POWER SUPPLIES**

See power supplies cut sheets for more information. Data subject to change, all data has +/- 5% tolerance.

DIM TO LEVEL	IND	OOR	OUTDOOR			
	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+		
Dim to Black	Q6M-DC+CAP QTM-DC+CAP iQ-PH iQ-PH+QD1	Q6M-DC+CAP QTM-DC+CAP iQ-PH iQ-PH+QD1	QOM-DC+CAP QOM-PH iQ-PH	QOM-DC+CAP QOM-PH iQ-PH		
0.1%	QTM-eLED+0-10V QTM-eLED-AWN QZ-DMX QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP	QTM-eLED+0-10V QTM-eLED-AWN QZ-DMX QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP	Q-SET-Q2-DMX Q-SET-Q2-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-DMX QZ-PH/0-10V	Q-SET-Q2-DMX Q-SET-Q2-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-DMX QZ-PH/0-10V		
1%	QTM-eLED(E) QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QTM-eLED(E) QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QOM-eLED+DALI-DT6	QOM-eLED+DALI-DT6		
10%	Non-Dim Power Supply with SW App Dongle	Non-Dim Power Supply with SW App Dongle	Q-HEX-mini-DC Q-SET-mLED			

	INDO	DOR	ou	IDOOR
DIMMING PROTOCOL	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+	SW24/1.5-4.0	SW24/5.0, SW-HE, SW-HE+
Non-Dim QTM-eLED-ND QZ-ND		QTM-eLED-ND QZ-ND	Q-SET-QZ-ND Q-SET-eLED-ND QOM-eLED-ND QZ-ND iQ-ND-50-65	Q-SET-QZ-ND Q-SET-eLED-ND QOM-eLED-ND QZ-ND iQ-ND-50-65
QTM-DC+CAP         Q           QTM-eLED(E)         Q           QZ-PH/0-10V         Q           QZ-STICK-PH/0-10V         QZ-STICK-PH/0-10V           QZLP         QZLP           iQ-PH         iQ-PH		Q6M-DC+CAP QTM-DC+CAP QTM-eLED(E) QZ-PH/0-10V QZ-STICK-PH/0-10V QZLP iQ-PH iQ-PH iQ-PH	Q-HEX-mini-DC Q-SET-QZ-PH/0-10V Q-SET-mLED QOM-DC+CAP QOM-PH QZ-PH/0-10V (Q-PH	Q-SET-QZ-PH/0-10V QOM-DC+CAP QOM-PH QZ-PH/0-10V iQ-PH
0-10V	QTM-eLED+0-10V         QTM-eLED+           QTM-eLED-AWN         QTM-eLED-           0-10V         QZ-PH/0-10V         QZ-PH/0-10V           QZ-STICK-PH/0-10V         QZ-STICK-PH           QZLP         QZLP		Q-SET-QZ-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-PH/0-10V	Q-SET-QZ-PH/0-10V Q-SET-eLED+0-10V QOM-eLED+0-10V QZ-PH/0-10V
Lutron Athena	QTM-eLED+DALI-DT6-AWN QTM-eLED-AWN	QTM-eLED+DALI-DT6-AWN QTM-eLED-AWN		
ECO System	QTM-eLED(E)	QTM-eLED(E)		
DMX	QZ-DMX	QZ-DMX	Q-SET-QZ-DMX QZ-DMX	Q-SET-QZ-DMX QZ-DMX
DALI-2: DT6	QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QTM-eLED+DALI-DT6 QTM-eLED+DALI-DT6-AWN	QOM-eLED+DALI-DT6	QOM-eLED+DALI-DT6
SCENE App Dimmed	Non-Dim Power Supply with SW App Dongle	Non-Dim Power Supply with SW App Dongle		



Linear Fixtures - Surface

## COMPATIBLE MOUNTING ACCESSORIES



bracket - Medium



bracket - XLarge



1.03

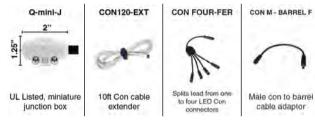
accessory



Adjustable mounting accessory

## COMPATIBLE WIRING ACCESSORIES

bracket - Large



## COMPATIBLE CONTROL ACCESSORIES



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AGENDA ITEM 4 PLANNING & DEVELOPMENT SERVICE PLANNING DIVISON 455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 728-1392

- **TO:** Mountain Village Design Review Board
- **FROM:** Design Workshop on behalf of the Town of Mountain Village
- FOR: Design Review Board Public Hearing; January 4, 2024
- DATE: January 4, 2024
- **RE:** Staff Memo Initial Architecture and Site Review (IASR) Lot 1, Unit 38, TBD Knoll Estates Drive, Knoll Estates pursuant to CDC Section 17.4.11

## APPLICATION OVERVIEW: New Single-Family Detached Condominium on Lot 1, Unit 38

## PROJECT GEOGRAPHY

Legal Description UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24 Address: TBD Knoll Estates Drive Applicant/Agent: Kristine Perpar, Shift Architects Owner: Savoca William J Zoning: Multi-Family Existing Use: Vacant Proposed Use: Single-Family Detached Condominium Lot Size: 0.068 acres Adjacent Land Uses:

- North: Open Space (OSP-30), Telski
- South: Single family detached condominium
- East: Single family detached condominium
- West: Single family detached condominium

#### **ATTACHMENTS**

Exbibit A: Architectural Plan Set Exhibit B: Staff/Public Comments



Figure 1: Vicinity Map

**<u>Case Summary</u>**: Kristine Perpar of Shift Architects Inc. is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) Application for a new single-family detached condominium on Lot 1, Unit 38, TBD Knoll Estates Drive. The building is three stories including a basement. Visually, the residence reads as a three story from the north facing the open space and a two story from the south facing Knoll Estates Drive. Though the lot has a significant slope, the structure blends into the surrounding hillside with the residence cutting into the slope.

The highest portion of the proposed building is 31.94', which is within the allowable height of 40 feet for a gable roof structure. The applicant has calculated the maximum average building height as 20.83' which is also under the maximum height of 35'.

The lot is approximately 0.068 acres and is zoned multi-family. This proposed building is considered a "single-family detached condo" which is an allowed use within the multi-family zone district. The overall square footage is 1,925 sqft, including main house, garage, patio, and covered porch. The structure has two single vehicle garages providing two interior parking spaces.

**Applicable CDC Requirement Analysis:** The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. *Please note that Staff comments will be indicated by Italicized Text.* 

CDC Provision	Requirement	Proposed
Maximum Building Height	40' (gable) Maximum	31.94'
Maximum Avg. Building Height	35' (gable) Maximum	20.83'
Maximum Lot Coverage	To extent of building envelope	To extent of building envelope
General Easement Setbacks	No encroachment	n/a
Roof Pitch		
Primary		9:12
Secondary		3:12
Exterior Material		
Stone	35% minimum	46%
Windows/Door Glazing	40% maximum	19%
Parking	2 spaces per unit	2 interior spaces

Table 1: Relevant information from CDC Sections 17.3.11-14; 17.5.6 (materials); 17-5.8 (parking)

#### **Design Review Board Specific Approvals:**

1) Materials – Black Metal Fascia

#### **Design Review Board Design Variation:**

1) Address Monument: Wall-mounted

### Chapter 17.3: ZONING AND LAND USE REGULATIONS

#### 17.3.11 and 17.3.12: Building Height and Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring maximum building height and average building height, along with providing the height allowances for specific types of buildings based on their roof form. The proposed design incorporates a combination of gable roof forms. Homes with a primary gable roof form are allowed a maximum building height of 40 feet and an average maximum of 35 feet. The average height is an average of measurements from a point halfway between the roof ridge and eave. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: Staff have determined that the two primary roof forms are gable and therefore granted a maximum height of 40' and an average height of 35'. The applicant has calculated a maximum height of 31.94'. The applicant has also calculated the proposed average building height as 20.83'. However, the plan set elevations do not clearly indicate the 40' offset. This has been included as a condition for final review.

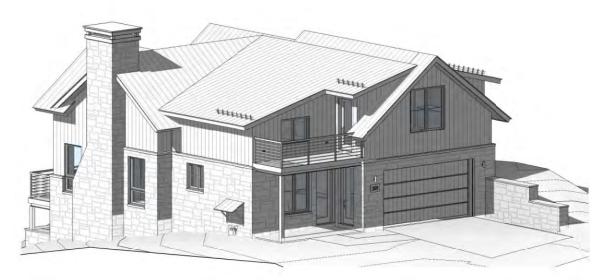
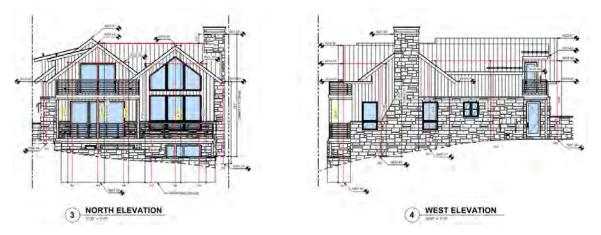


Figure 2 Proposed Architectural Design



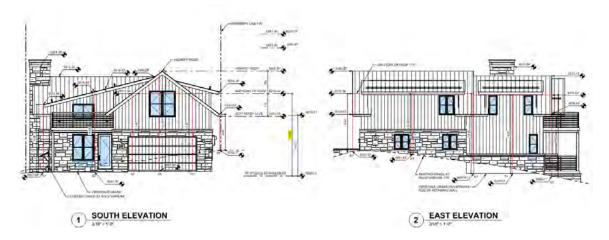


Figure 3, 4, 5, 6 Proposed Elevations

## 17.3.14: General Easement Setbacks

Lot 1, Building 38 does not have a general easement. Per section 17.3.14, for lots where a general easement does not exist, the DRB may require the establishment of a building setback at the time of review of a development application. The review authority may not require a setback for such lots if the Town has established other design allowances by a recorded development agreement or other legally binding approval that establishes a different general easement setback or other setback.

Lot 1, Building 38 is bound by three General Common Elements to the north, east, and west sides of the lot, which provide for common space (east and west) and open space (north). The south does not have a GCE with the driveway backing to Knoll Estates Drive.

Lot 1, Building 38 also has an established building envelope. The development may occupy up to the extent of the building envelope per the subdivision's original approval. Per Chapter 17.8 (Definitions), a disturbance envelope must contain all grading, clearing, excavation, development, drainage and other improvements. Driveways and utilities are allowable exceptions. The driveway, electricity, water, wastewater and gas lines are proposed to run south from the proposed building to the southern edge with the utility lines within the building envelope. The sewer line is proposed north from the main house extending through the GCE extending into the Telski open space.

Staff: The proposal includes the following encroachment that falls into the above category of permitted development activity including the following:

- Utilities: Utilities cross the General Common Element to Knowll Estates Drive, including electricity, water, wastewater, and gas line.
- An electric meter is proposed in the eastern area of the lot, with the specific location to be coordinated with SMPA.
- A sewer line is proposed to run north from the proposed building through the General Common Element extending into the Telski open space.

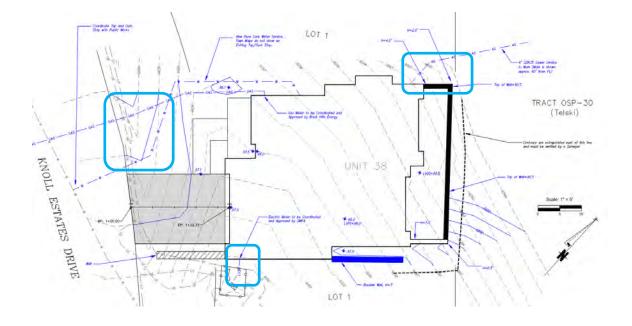


Figure 7 Proposed Utilities

However, a retaining wall on the south side of the auto court extends past the building envelope and lot line but does not extend into Knoll Estates Drive. As a condition for final review, the applicant shall demonstrate that the encroachment has been reviewed and approved by the HOA.

Finally, there is grading encroachment into the Track OSP-30(Telski). The applicant indicates that they are working through the agreement related to this and it is required for the final review.

## Chapter 17.5: DESIGN REGULATIONS 17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The residence uses stone veneer and wood siding with metal trim and metal roofing, providing natural earth tones and materials that harmonize with nature. The materials used can withstand the high alpine environment.



Figure 8 Proposed Rendering

## 17.5.5: Building Siting Design

The CDC requires that any proposed development blend into and protect to the extent possible the existing landforms and vegetation. The CDC requires that any proposed improvements on sites adjacent to open space are submitted to the owner of the affected open space for review and approval.

Staff: The CDC stipulates that any proposed development must seamlessly integrate with existing landforms and vegetation, an objective achieved by this design. While some tree removal is inevitable during construction, the emphasis is on minimizing overall tree removal, especially within the GCE between Unit 38 and Unit 39. The home's location adheres to the established building envelope from Knoll Estates' platting. Given the site's natural slope, the home design deliberately incorporates this by stepping down towards the rear of the lot.

## 17.5.6: Building Design

The CDC requires that building form and exterior wall forms are well grounded to withstand extreme climate conditions, with the base of the building using materials that are appropriate to be adjacent to accumulated snowfall. The CDC requires roof design elements that utilize multiple forms with varied ridgelines and vertical offsets and reflect concern for snow accumulation. The code permits rusted, black or gray standing seam or metal roofs. Doors and entryways must be constructed using handcrafted materials whenever possible and garage doors shall be recessed and visually interesting. Glazing must be responsive to the energy code and site conditions and cannot exceed a maximum façade coverage of 40 percent. The exterior color must be natural, warm and subtle and harmonize with the natural landscape.

Staff: Staff comments regarding each of the relevant subsections are below.

## Building Form:

The proposed residence reads as a three-story building from the north, facing the Telski open space and a two story from the south facing Knoll Estates Drive. Though the lot has a significant slope, the structure blends into the surrounding hillside with the residence cutting into the slope. The lower level (considered the basement) is built into the hillside. Sheet A3.1 shows the lower level with a bedroom, bunk room, and rec room. There is a patio on the northside of the lower level. The second level is the main living room with dining area (Sheet A3.2), and the main level contains the entrance and the mud room and two single vehicle garages (A3.2). The main, lower, and second levels propose balconies with steel railing. The balconies and patio are north facing towards the open space.

The form of the proposed residential structure follows an alpine mountain design that is meant to withstand the extreme natural forces of wind, snow, and heavy rain. It is made of materials such as stone, wood and metal that evoke this form.

#### Exterior Wall Form:

The proposed development has exterior walls that are simple in design and portray a massing that is substantially grounded to the site.

#### Roof Form:

The roof design has three gable roofs. The roof material will be made of standing seam metal which is a type and quality that will withstand high alpine climate

conditions. The application specifies the roof color as dark bronze standing seam which meets the requirements of the CDC as being a gray tone.

The snow retention system is proposed on the edge of roof main level at the doorway entrance and on the north side of the roof. The application indicates the exterior snow melt areas are at the north lower patio and south driveway apron to the front door. The total snow melt area is 454 sq ft (A1.1). However, it does not address additional snow accumulation. As a condition for final review, the applicant shall demonstrate there is sufficient space for snow storage. There are portions of the snowmelt proposed as part of the driveway that are located off property. The applicant shall demonstrate that this has been approved by the HOA at final review.

#### Chimneys, Vent and Rooftop Equipment Design:

Based on Sheet A2.2, the building contains a direct vent for a fireplace on Sheet A3.2. The applicant also indicated that the fuel source is gas for the fireplace.

#### Exterior Walls Materials and Color:

Sheet A2.2 outlines the material percentages, outlining the percentage of stone, wood, metal, and glazing. The exterior wall structure utilizes earth tone stone veneer and wood siding. Stone walls at the base of the structure account for approximately 35 percent of exterior materials. This calculation does not include the attached retaining boulder wall. Earth tone wood siding is proposed for the upper levels of the structure.

The plan set indicates the use of wood for the soffit and fascia (2x8 Doug Fir Fascia and T&G Pine for the soffit); however the applicant's narrative states they would like to request a DRB Design Variation to have metal fascia that will match the material of the standing seam roof. This should be clarified and either materials board or narrative updated to reflect the actual request prior to final review.

The CDC requires the applicant provide "a narrative of the pattern, grout and block of the proposed stone and setting pattern" as a part of the Design Review Process application for approval by the review authority. This is required for the final review.

#### Glazing:

The maximum window area of the building, including window, door glazing and balcony guard rail, is 19 percent of the total building façade.

#### Doors and Entryways:

The window and door schedule are provided on Sheet A8.1 and 8.2. The windows schedule indicates the window dimensions and identifies steel cladding. The door schedule indicates four doors to be sliding glass. These materials are indicated to be dark bronze color metal also.

#### Decks and Balconies:

The application proposes three balconies on the north side of the building towards Open Space.

#### <u>Required Surveys and Inspections:</u>

A materials board is required to be created for the DRB final approval per the requirements outlined in section 17.5.6-J3 of the CDC.

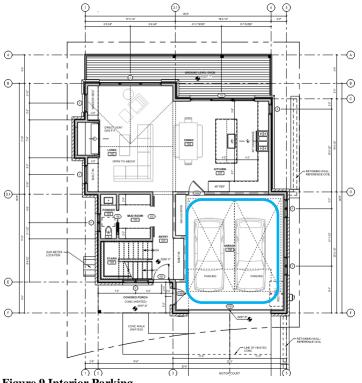
### 17.5.7: Grading and Drainage Design

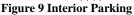
Staff: Minor grading, as illustrated on sheet C2, will be necessary for the home to ensure positive drainage away from its rear. However, this grading will be confined to the rear of the home. Due to the lot's slope and restricted size, minor grading is proposed on Tract OSP-30, owned by Telluride Ski and Golf (TSG). The applicant has indicated that TSG has expressed a willingness to accommodate this request, and they are working on finalizing an agreement. This is required to be complete prior to final review. As proposed, the home maintains positive drainage away from its structure, aligning with the CDC requirements, as depicted.

### 17.5.8: Parking Regulations

One and one-half parking spaces per unit are required for condominium units in multifamily zones, which translates to two required spaces for this unit.

Staff: The proposal complies with the parking standards of two spaces per single-family detached condominium. The parking plan provides evidence that the requirements for both the quantity and dimensions of the parking spaces have been satisfied.





## 17.5.9: Landscaping Regulations

Staff: While the Landscaping Plan is not mandatory for the Initial Architecture and Site Review, it has been conceptually considered in this application. The current proposal outlines the removal of existing aspen trees within the building footprint, with plans to replace them with 4 aspen and 6 honey locust trees. The entire site is slated for revegetation with native grass, and irrigation will be implemented as part of the landscaping strategy. On the initial review, the applicant does not need to indicate Fire Mitigation Zone 1. However, the plan needs to remove more trees than indicated on Sheet A1.4 to meet those requirements at final review. Additional details regarding the landscaping plan, diversity of species, irrigation and a fire mitigation plan are required for final. Revisions to the landscape plan to address the Town Forester comments below will be necessary.

Town Forester Comments:

When looking at the grading plan (C2) it looks like grading is planned to extend onto Telluride Ski and Golf (TSG) Property. This must first be permitted by Planning and TSG must also provide permission before this may happen. The trees in this area that extend onto TSG property are marked for preservation on the landscape plan A1.4. It is impossible to grade an area and preserve trees in the same area unless extraordinary tree protection measures (such as creating tree wells with retaining walls) are specified. These trees cannot realistically be marked for preservation if the area is graded.

The building site plan (A1.2) appears to be showing the wildfire mitigation zone at 4-5 feet away from the edge of the building. The wildfire mitigation zone 1 needs to be shown on the landscaping plan at a distance of 15 feet away from the dripline of the home and its associated decks (CDC 17.6.1.A.3.d.).

The building site plan (A1.2) and landscape plan (A1.4) indicates trees to be preserved at a distance of only 4-8 feet away from the foundation footprint of the home. Given the excavation required and space that is needed to set the footers and pour the foundation, this is unrealistic. Excavation will likely destroy all trees to a distance of at least 8 feet away from the building footprint. Current wildfire mitigation best management practices (BMPs) recommend that no vegetation be located within 5 feet of the exterior building walls. The recommendation is that all trees be kept trimmed away from the soffits and roofs to a minimum distance of 10 feet, therefore, the mature size of trees must be considered when determining their preservation and planting locations. No large stature tree should be planted within 10 feet of the building, porches, or deck drip edges.

The landscape plan (A1.4) shows 3 aspen trees to be planted within 4 feet of the edge of the building , porch, or deck footprint. It also shows large stature species (honeylocusts) to be planted 2-10 feet away from the covered porch, which is too close. The landscape plan indicates 6 honeylocusts to be planted around the front porch. Honeylocusts, though hardy, are not native to the Mountain Village area and are, therefore, not allowable by the CDC (17.5.9.A.6.e.) as a primary species selection for a landscape. An Acer ginalla, Mallus, or Alnus species would represent better species selections as indicated in the table on page 146 in the CDC. Placement must consider th mature size of the selected species and the species selection must also be considered to be a "firewise" species if they are located in the zone 1 fire mitigation zone area. The plants should not touch the edge of the home, porch, or deck when they have reached their mature size. According to wildfire mitigation BMPs, it is recommended that no plant be placed directly under a window of the home.

## 17.5.11: Utilities

Staff: Utility connections, including water and gas, are positioned immediately adjacent to Unit 38, with access points on Knoll Estate Drive and within the Telluride Ski and Golf (TSG) open space to the rear of the home. The utility plan submitted, found on sheet C.2 of the provided documents, outlines these specific locations. It is assumed that the HOA would have approved the utility plan and allow connection through the GCE. The applicant shall demonstrate that this has been approved by the HOA at final review. The applicant will also need to obtain any necessary easements from Telski for the proposed utilities prior to building permit.

Public Works comment:

### Approval from TFPD.

There should be an existing water shutoff but I didn't see it when I went by this morning. Other than that it looks like a straight forward project. No issues.

## 17.5.12: Lighting Regulations

Staff: While the Initial Architecture and Site Review does not mandate the presentation of Lighting Plans, a conceptual plan is included in this application. In general, the lighting plan is modest, proposing a total of 14 fixtures. All these fixtures are Dark Sky compliant and appear to adhere to the CDC's requirements for lumen output and Color Temperature. Additional information regarding the lumens and overall light output for the "Large Wall Mount Lantern" is needed. Furthermore, a photometric diagram is included, illustrating foot-candle levels at each fixture. Full cut sheets for these fixtures is required for the final review.



17.5.13: Sign Regulations

Staff: Considering the close proximity to Knoll Estate Drive, the applicant proposes an address plaque affixed to the garage wall. This is located approximately 4 feet from the property line and 22 feet from the edge of roadway. Address monuments can be wall mounted if within 20 feet of the road right of way. The current location is set back slightly more than 20 feet from the edge of roadway, which requires CDC Design Variation. This plaque comprises a 1/2" steel plate mounted on stone veneer and is illuminated by a wall-mounted fixture positioned directly above. Apart from this, the monument aligns with the requirements outlined by the CDC.

## Chapter 17.6: SUPPLEMENTARY REGULATIONS

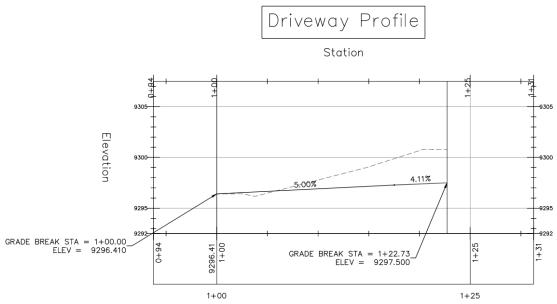
## 17.6.1: Environmental Regulations

Staff: The applicant has not included a fire mitigation plan. This is not required for initial review; Considering the lot's size, it is expected that most trees on the site will be removed for construction and fire mitigation purposes. However, since the predominant tree type

on the site is aspen, the applicant indicated that there is no plan to remove the existing trees between Unit 38 and Unit 39.

### 17.6.6: Roads and Driveway Standards

Staff: According to section 17.6.6B-2a of the Community Development Code, if the driveway is less than 150', the driveway needs to be at minimum 12 feet wide, plus (2) 2' shoulders. The proposed driveway meets this requirement. The driveway on the plan is 16 feet wide with a maximum of 5% slope.



#### Figure 11 Driveway profile

The applicant has proposed a heated driveway apron ending at the building envelope on the main level of the site and the concrete walkway to the entry porch as heated surface.

Section 17.6.6.A.4 specifies that the maximum road grade shall be eight percent, but transitional sections may be allowed a maximum grade up to twelve percent with the approval of the Town in consultation of the Fire Marshal. The application meets this requirement.

The site has retaining boulder walls on the North, West, and the East side of the building. The retaining walls on the main level run along the east side of the driveway from the structure extending past the building. The height of this wall is not clearly indicated on the civil or architectural plans. Retaining walls are limited to 5 feet in height, and any height above that will require a Design Variation. The applicant is required to clearly identify the height of this retaining wall as part of the final application. Additionally, because this wall extends outside of the property line, the applicant shall demonstrate that the retaining walls in the GCE have been approved by the HOA at final review.

The retaining walls on the lower-level increase in height as they follow the envelop of the building. There is no maximum height for retaining walls not associated with the driveway, but a landscape buffering of retaining walls is needed to mitigate visual impacts. This needs to be updated as part of the final review.

## 17.6.8: Solid Fuel Burning Device Regulations

The applicant indicates a fireplace in the proposed home with the direct exhaust vent. The source for the fireplace is indicated as gas.

## Chapter 17.7: BUILDING REGULATIONS 17.7.20: Construction Mitigation

Staff: The construction mitigation plan (Sheet C3) shows the required materials storage and a portable toilet. The plan indicates the location of the dumpster, with additional notes that the general contractor will display a sign with the name and phone number as an emergency contact.

However, the applicant did not indicate on-site construction parking spaces or an alternate construction parking plan which needs to be provided for the final review.

Appropriate silt fence protection is shown on the downhill side of disturbance to handle stormwater runoff. The applicant has indicated that no crane is proposed.

**Staff Recommendation:** Staff recommends approval of this application.

If the DRB finds this application acceptable for approval, then staff suggest the following motion for approval of the Initial Architecture and Site Review:

## Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

I move to approve the Initial Architecture and Site Review for a new single-family detached condominium located at Lot 1, Unit 38, TBD Knoll Estates Drive based on the evidence provided in the staff record of memo dated January 4, 2024, and the findings of this meeting.

#### **Design Review Board Specific Approvals:**

1) Materials – Black Metal Fascia

#### **Design Review Board Design Variation:**

1) Address Monument: Wall-mounted

And, with the following conditions:

- 1) Prior to final review the applicant shall identify the height of the chimney and the maximum allowable height of the building through the required offset drawing.
- 2) Prior to final review the applicant shall provide verified approval from the HOA related to all GCE encroachments.
- 3) Prior to building permit the applicant shall provide the agreement with Telski related to the grading and any utilities encroachment.
- 4) Prior to final review the applicant address snow storage, demonstrating sufficient space for snow storage.
- 5) Prior to final review, the applicant shall provide an updated landscape plan showing compliance with fire zone mitigation areas and additional staff comments.
- 6) Prior to final review, the applicant shall update the lighting plan to show legible cutsheets for all light sources, and photometric study to comply with the CDC.
- 7) The applicant shall comply with all TFPD requirements.
- 8) Prior to final review, the applicant shall include a photograph or diagram depicting the pattern, grout, block size and color of the proposed stone and setting pattern.

- 9) Prior to building permit, the applicant shall work with Public Works to field verify all utilities.
- 10) Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be protected by one of the following methods: Constructed with either non-combustible materials, heavy timber as specified in the (2018 IBC section 2304.11) or exterior grade ignition resistant materials as specified in the (2018 IBC section 2303.2). Or constructed so that all exposed structural members are enclosed with an approved one hour assembly by the Building Official, or constructed in coordination with the Planning Department upon approval of a wildfire mitigation plan addressing defensible space criteria provided in CDC Section 17.6.1(A) Fire Mitigation and Forestry Management. All appendages and projections regardless of method of construction shall provide a cleanable ground surface, as applicable. The fire mitigation approach will require a planning department sign off on the inspection record, prior to the framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
- 11) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 12) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height.
- 13) Prior to the Building Division conducting the required framing inspection, a fourfoot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
  - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
  - b. Wood that is stained in the approved color(s);
  - c. Any approved metal exterior material;
  - d. Roofing material(s); and
  - e. Any other approved exterior materials
- 14) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 15) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 50% since the application was submitted and deemed complete in 2023.



Planning & Development Services Planning Division 455 Mountain Village Blvd. Ste. A Mountain Village, CO 81435 (970) 728-1392

## The Planning & Development Services Department has provided this referral form to solicit your input on a development proposal that has been submitted to the Town.

Within the first five (5) calendar days of the referral for a Class 1 or 2 application, or ten (10) calendar days for a Class 3, 4 or 5 application, a referral agency may request an extension of time to review a development application for good cause. The Planning Division shall determine if any requested extension is warranted and notify the referral agency and applicant of its decision and the number of days allowed for the extended review time, if any, within three (3) business days of such request.

If a referral agency fails to respond by the date requested on the referral form, its failure to respond shall be interpreted as "no comment" in which case it shall be presumed that such referral agency does not take issue with the development application.

## **Application Information**

**Class of Development Application : Class 3** 

Date Referral Emailed to Dept. or Agency :

11/8/2023

Class 1 or 2 Application Referral Comment Deadline: 15 calendar days from date above: n/a

Class 3,4, & 5 Application Referral Comment

Deadline: 21 calendar days from date above (11/29/23)

Planner Name: Claire Perez

Planner Email: <u>cperez@mtnvillage.org</u>

Planner Phone Number: 970-369-8103

Applicant Name: Kristine Perpar, Shift Architects

**Applicant Email Address:** 

Kristine@shift-architects.com

Page 1 of 3



Planning & Development Services Planning Division 455 Mountain Village Blvd. Ste. A Mountain Village, CO 81435 (970) 728-1392

## **Description of Development Application(s):**

New single-family home

## **Referral Agency Information**

Referral Agency	Referral	Email Address
Town Public Works	x	fkjome@mtnvillage.org
Town Plazas and Environmental Services Dept.		bbutton@mtnvillage.org
Town Attorney		dmcconaughy@garfieldhecht.com
Town Forester	х	rwalters@mtnvillage.org
Mountain Village Cable	х	doug@clearnetworx.com
Transportation Department		jloebe@mtnvillage.org
Recreation Department		jloebe@mtnvillage.org
Police Department	x	cbroady@mtnvillage.org
Telluride Fire Protection District	x	sheidergott@telluridefire.com
San Miguel Power Association	х	jeremy@smpa.com; terry@smpa.com
		Benjamin.wiles@smpa.com,
		<u>bwilliams@smpa.com</u>
Black Hills Gas	х	brien.gardner@blackhillscorp.com
		paul.ficklin@blackhillscorp.com
Century Link (800-526-3557)	х	Mike.Gardner@lumen.com
Colorado Geologic Survey (fee required)		Kaberry@mines.edu
San Miguel County		kayes@sanmiguelcountyco.gov
Town of Telluride		rquarles@telluride-co.gov
San Miguel Regional Housing Authority		courtney@smrha.org
Colorado State Forest Service		Jodi.rist@colostate.edu
United States Army Corps of Engineers		Carrie.A.Sheata@usace.army.mil



Planning & Development Services Planning Division 455 Mountain Village Blvd. Ste. A Mountain Village, CO 81435 (970) 728-1392

#### Referral Agency Comments Lot 1 Unit 38, TBD Knoll Estates Drive:

When looking at the grading plan (C2) it looks like grading is planned to extend onto Telluride Ski and Golf (TSG) Property. This must first be permitted by Planning and TSG must also provide permission before this may happen. The trees in this area that extend onto TSG property are marked for preservation on the landscape plan A1.4. It is impossible to grade an area and preserve trees in the same area unless extraordinary tree protection measures (such as creating tree wells with retaining walls) are specified. These trees cannot realistically be marked for preservation if the area is graded.

The building site plan (A1.2) appears to be showing the wildfire mitigation zone at 4-5 feet away from the edge of the building. The wildfire mitigation zone 1 needs to be shown on the landscaping plan at a distance of 15 feet away from the dripline of the home and its associated decks (CDC 17.6.1.A.3.d.).

The building site plan (A1.2) and landscape plan (A1.4) indicates trees to be preserved at a distance of only 4-8 feet away from the foundation footprint of the home. Given the excavation required and space that is needed to set the footers and pour the foundation, this is unrealistic. Excavation will likely destroy all trees to a distance of at least 8 feet away from the building footprint. Current wildfire mitigation best management practices (BMPs) recommend that no vegetation be located within 5 feet of the exterior building walls. The recommendation is that all trees be kept trimmed away from the soffits and roofs to a minimum distance of 10 feet, therefore, the mature size of trees must be considered when determining their preservation and planting locations. No large stature tree should be planted within 10 feet of the building, porches, or deck drip edges.

The landscape plan (A1.4) shows 3 aspen trees to be planted within 4 feet of the edge of the building, porch, or deck footprint. It also shows large stature species (honeylocusts) to be planted 2-10 feet away from the covered porch, which is too close. The landscape plan indicates 6 honeylocusts to be planted around the front porch. Honeylocusts, though hardy, are not native to the Mountain Village area and are, therefore, not allowable by the CDC (17.5.9.A.6.e.) as a primary species selection for a landscape. An *Acer ginalla*, *Mallus*, or *Alnus* species would represent better species selections as indicated in the table on page 146 in the CDC. Placement must consider the mature size of the selected species and the species selection must also be considered to be a "firewise" species if they are located in the zone 1 fire mitigation zone area. The plants should not touch the edge of the home, porch, or deck when they have reached their mature size. According to wildfire mitigation BMPs, it is recommended that no plant be placed directly under a window of the home.



Planning & Development Services Planning Division 455 Mountain Village Blvd. Ste. A Mountain Village, CO 81435 (970) 728-1392

Referral Agency Comments Lot 1 Unit 38, TBD Knoll Estates Drive:

Approval from TFPD.

There should be an existing water shutoff but I didn't see it when I went by this morning. Other than that it looks like a straight forward project. No issues.

Finn

Date: September 13, 2023
By: Kristine Perpar, Architect
Sent to: Mountain Village Planning Staff
Re: Design Review Application Narrative
Property Address: Unit 38 Knoll Estates, Mountain Village, CO 81435

Dear Mountain Village Town Council and Design Review Board, This narrative outlines a request for Design Review Board Initial Architecture and Site Review for Lot 1 - Unit 38, 38 Knoll Estates ("Unit 38") along with the relevant Criteria for Decision provided in the CDC.

## Requests:

1. Initial Architectural and Site Review Approval

### Project Overview:

Legal Description: UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN VILLAGE FILING 13 ACC TO PLAT BK 1 PG 1023 THRU 24 Address: TBD Knoll Estates Drive Zoning: Multi-Family outside Village Center Existing Use: Vacant Proposed Use: Single-Family Detached Condominium Lot Size: 0.068 Acres

CDC Provision	Requirement	Proposed
Maximum Building Height	40'-0" (Gable)	31.94'
Maximum Avg. Building Height	35'-0"	20.83'
Maximum Lot Coverage	1981.98 SF (65%)	1,925 SF
General Easement Setbacks	No GE	No GE
Roof Pitch		
Primary		9:12
Secondary		3:12
Exterior Materials		
Stone	35% Minimum	46%
Glazing	40% Maximum	19%
Parking	2 spaces	2 spaces

## DRB Specific Approvals:

Materials – Black Metal Fascia



**Criteria for Decision:** The following criteria for Initial Architecture and Site Review have been addressed as part of this narrative. We feel that we are meeting the CDC requirements within this application, narrative, and architectural plan set; allowing for the DRB to grant approval of this Initial Review.

Applicant notes will be provided in Blue Text. In order to reduce the length of this narrative, only relevant sections of the DRB Rules and Regulations related to the project have been addressed.

## Chapter 17.3: Zoning and Land Use Regulations 17.3.12: Building Height Limits

Applicant Note: Building Height and Maximum Average Building heights along with parallel slope projections are shown on sheets A2.1 and A2.2 of the submitted documents. The current Maximum and Maximum Average Building Heights are 31.94' and 20.83' respectively. Both heights are below the allowable maximums per the CDC requirements.

## 17.3.14: General Easement Setbacks

Applicant Note: Knoll Estates does not have the typical General Easements (GE) seen in the Mountain Village. Instead, there are building sites with General Common Elements between lots. As such, the provisions of Section 17.3.14 do not apply to this project.

## Chapter 17.5: Design Regulations

## 17.5.4: Town Design Theme

Applicant Note: The proposed design theme of the home is one that works to blend into the existing architectural designs found within Knoll Estates and throughout the Mountain Village. The building siting is sensitive to not only the surrounding homes, but the topography and vegetation of the site. As shown in the provided materials, the massing of the home is simple in form with a heavy grounded base anchoring the home to the site. The design is relatively traditional in style, and the materials and colors have been shown in a way that blends with nature and the surrounding homes – fitting well with the context of the surrounding neighborhood.

## 17.5.5: Building Siting Design

Applicant Note: The CDC requires that proposed development blend in with the existing landforms and vegetation, which we believe this design accomplishes. Although some trees will be required to be removed as part of construction, the goal was to limit overall tree removal, especially as it relates to the GCE between Unit 38 and Unit 39. Overall, the siting of the home was limited to the building envelope that was established when Knoll Estates was platted. Generally speaking, the site does slope and the home design works to incorporate the sloping of the lot by stepping the home down towards the rear of the lot. As such, we believe that the building has been sited in such a way to blend in with existing landscapes and vegetation.

## 17.5.6: Building Design

Applicant Note: The proposed architectural design incorporates some modern features but is largely what could be characterized as traditional mountain design. The home features primary gable roof forms with some projecting shed roofs and maintains limited overall glazing in order to blend with the existing homes located adjacent in Knoll Estates. The context of the home as it relates to its neighbors can be best seen on Sheet A2.3 of the submitted documents. The material palette of the home incorporates façade materials



such as stone, wood, and metal in a way that portrays a thick strong mass with a heavy grounded foundation. As currently proposed, the home utilizes a Telluride Gold Series Highland Stone in a dry stack arrangement with dark stained horizontal wood square edge siding. The home is relatively modest in height, and the horizontal arrangement of the wood siding allows the façade to project upwards as viewed from the south elevation. The stone and vertical wood arrangement along with the metal elements of the home allow for the massing to be otherwise broken up in a way that provides contrast to the existing homes adjacent, without overpowering the streetscape.

As part of this submittal, we have also included a full window and door schedule, along with recess depth details for installation as required by the CDC. As proposed, all windows and doors are currently shown as dark bronze aluminum clad, accenting the proposed dark bronze standing seam roof. It should be noted that we are requesting DRB Specific Approval for the roof's fascia to be the same bronze material as the proposed roof.

## 17.5.7: Grading and Drainage Design

Applicant Note: The home will require minor grading as shown on sheet C2 to allow for positive drainage away from the home, but this grading is limited to the rear of the home. Because of the slope and limited size of the Lot, we are proposing minor grading on Tract OSP-30, owned by Telluride Ski and Golf (TSG). TSG has indicated a willingness to grant this request and we are working through this agreement in tandem with this application. The goal of the project is to limit site disturbance to all extents possible and the site will be generally regraded to existing conditions prior to finalization of the build. The home currently has positive drainage away from the home and is meeting the requirements of the CDC as shown.

## 17.5.8: Parking Regulations

Applicant Note: The proposal currently is meeting the parking requirements of two spaces per home for single-family detached condominiums. The parking plan demonstrates that parking requirements have been met for both number and size of spaces.

## 17.5.9: Landscaping Regulations

Applicant Note: Although the Landscaping Plan is not required to be shown for Initial Architecture and Site Review, it has been conceptually addressed as part of this application. As currently proposed, the plan calls for removal of existing aspen trees within the building footprint, to be replaced with 4 aspen and 6 honey locust trees. The entirety of the site is to be revegetated with native grass and will include irrigation.

## 17.5.11: Utilities

Applicant Note: Utilities are located directly adjacent to Unit 38, with water and gas connections in Knoll Estate Drive and located within TSG open space to the rear of the home. The submitted utility plan on sheet C.2 of the provided submittal demonstrates these locations.

## 17.5.14: Lighting Regulations

Applicant Note: Although Lighting Plans are not required to be shown for Initial Architecture and Site Review, a conceptual plan has been provided as part of this application. Overall, the lighting plan is relatively subdued with only 14 total fixtures proposed. All of these fixtures as shown are Dark Sky compliant and otherwise meet the



requirements of the CDC for lumen output and Color Temperature. Additionally, a photometric diagram has been provided demonstrating foot candle levels at each fixture.

### 17.5.13: Signs

Applicant Note: Due to the proximity to Knoll Estate Drive, we are proposing a wall mounted address plaque consisting of a 1/2" steel plate mounted to stone veneer. The plaque is illuminated by a wall mounted fixture directly above. Otherwise, the monument is meeting the requirements of the CDC.

## Chapter 17.6: Supplementary Regulations

### 17.6.1: Environmental Regulations

Applicant Note: Fire Mitigation and Forestry Management: Given the size of the lot, it is anticipated that the majority of trees on the site will need to be removed for construction as well as fire mitigation requirements. Because the majority of the trees on the site are currently aspen, we do not anticipate removal of the existing trees between Unit 38 and Unit 39.

## 17.6.6: Road and Driveway Standards

Applicant Note: As shown, the driveway is meeting the slope and width requirements of the CDC, with the grade for the driveway shown between 5% and 4.11% slope and its width at 16 feet.

## 17.6.8: Solid Fuel Burning Device Regulations

Applicant Note: There are currently no solid fuel burning devices in the home. We have proposed a direct vent gas fireplace as shown on sheet A3.2.

## Chapter 17.7: Building Regulations

Applicant Note: Although not required at Initial, a conceptual construction mitigation plan has been provided for conceptual review. The project will be fenced in accordance with the CDC requirements, with silt fencing on all downhill sides of the project. The majority of the staging will occur in the front of the home once the driveway and grading has been constructed.

Additionally, it should be noted that the proposed snowmelt is well under the 1000 sq. ft. allowance at 425 sq. ft. total.

Please let us know if you need any additional information or have any further comments

Sincerely,

7 Jegar.

Kristine Perpar



## **GENERAL NOTES:**

CONTRACT DOCUMENTS: CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, GENERAL CONDITIONS, SPECIFICATIONS, DETAIL BOOK AND DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCIES BETWEEN THE PARTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT. THESE DRAWINGS ARE THE GRAPHIC ILLUSTRATION OF THE WORK TO BE ACCOMPLISHED. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTES WITH "N.T.S." DENOTES NOT TO SCALE.

## **ORGANIZATION**

THE DRAWINGS FOLLOW A LOGICAL, INTERDISCIPLINARY FORMAT: ARCHITECTURAL DRAWINGS (A SHEETS), CIVIL DRAWINGS (C SHEETS), STRUCTURAL (S SHEETS), MECHANICAL AND PLUMBING (M SHEETS), ELECTRICAL (E SHEETS) AND LIGHTING (LTG SHEETS).

## CODE COMPLIANCE:

ALL WORK, MATERIALS AND ASSEMBLIES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS. THE CONTRACTOR, SUBCONTRACTORS AND JOURNEYMEN OF THE APPROPRIATE TRADES SHALL PERFORM WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND IN ACCORDANCE WITH AIA DOCUMENT A201-SECTION 3. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.

## INTENT:

THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.

## COORDINATION:

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE DOCUMENTS, VERIFY ACTUAL CONDITIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IN A TIMELY MANNER. THE ARCHITECT SHALL CLARIFY OR PROVIDE REASONABLE ADDITIONAL INFORMATION REQUIRED FOR SUCCESSFUL EXECUTION. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, INTERIOR, STRUCTURAL, MECHANICAL AND PLUMBING, ELECTRICAL AND LIGHTING DRAWINGS. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS

## **SUBSTITUTIONS**

ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR THE CALLED-OUT-BY-TRADE-NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATION AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

## SHOP DRAWINGS

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "SUBSTITUTIONS" ABOVE.

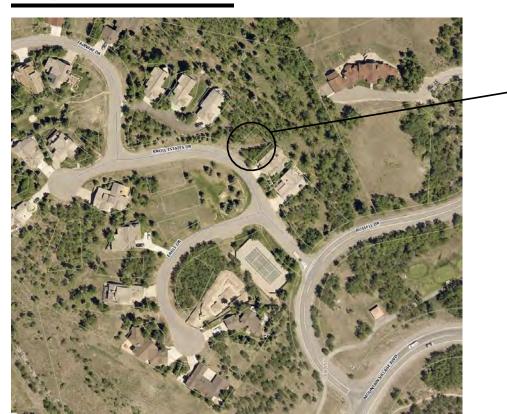
## SAFETY & PROTECTION OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.

PROJECT CODE INFORMATION						
ZONING:	MULTI-FAMILY (LOT K38)					
BUILDING CODE:	IRC 2018 AND ALL APPLICABLE CODES AS REQUIRED BY THE TOWN OF MOUNTAIN VILLAGE					
	DECLARATION AND KNOLL ESTATES DESIGN COVENANTS IN ADDITION TO ANY REQUIREMENTS BY THE TOWN OF MOUNTAIN VILLAGE					
DESCRIPTION:	MULTI-STORY DWELLING					
OCCUPANCY CLASSIFICATION:	R-3					
AUTOMATIC FIRE SPRINKLER:	MONITORED NFPA 13D, 2018 IFC AND TFPD AMENDED CODES SPRINKLER SYSTEM REQUIRED					
NATIONAL FIRE ALARM & SIGNALING CODE:	MONITORED NFPA 72, 2018 IFC, AND TFPD AMENDED CODES ALARM SYSTEM REQUIRED					
EMERGENCY ACCESS:	PROVIDE KNOX BOX FOR EMERGENCY ACCESS					
FIRE RESISTIVE RATING:	GARAGE - 1 HR, MECHANICAL - 1 HR					
CARBON MONOXIDE DETECTION:	PROVIDED MONITORED DETECTION IN ACCORDANCE WITH 2018 IFC 915.2.1					
ELECTRIC VEHICLE CHARGING	INSTALLED IN ACCORDANCE WITH NFPA 70 AND					

## VICINITY MAP

STATION / OUTLET:





LOCATED WITHIN 5 FT OF THE GARAGE DOOR

SITE LOCATION: UNIT 38, THE KNOLL ESTATES 205 KNOLL ESTATES DR.

# **PROJECT INFORMATION**

PROPOSED FLOOR A LOWER LEVEL **GROUND LEVEL** UPPER LEVEL

TOTAL FLOOR AREA: GARAGE

TOTAL:

LOT AREA:

**BUILDING FOOTPRIN** ALLOWABLE PROPOSED

SEE SHEET A2.1 FOR MAXIMUM BUILDING **HEIGHT / BUILDING FOOTPRINT CALCULATIONS** 

## **PROJECT T**

## OWNER:

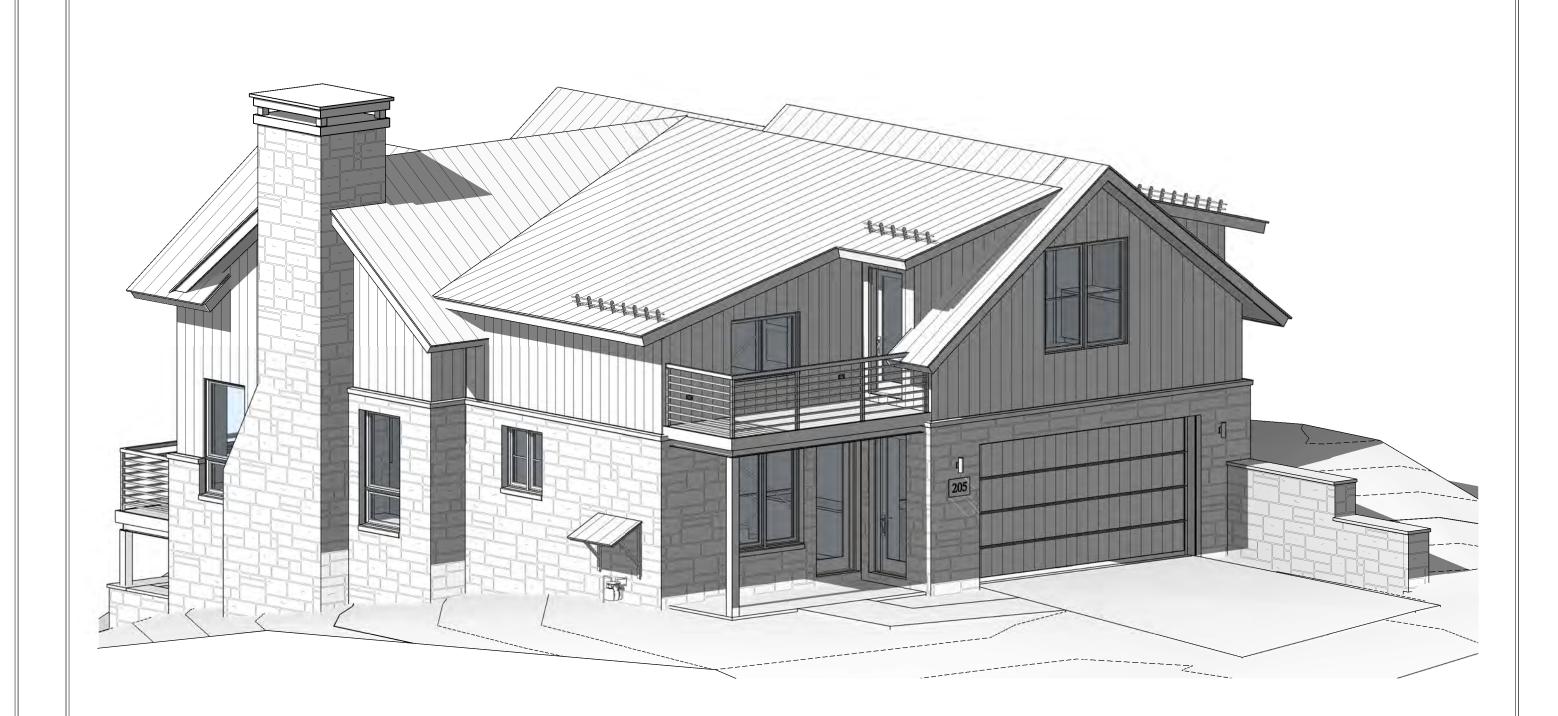
SAVOCA WILLIAM **48 CASTLE HALL** COLUMBIA, SC, 29 C. 803.767.8172 bsavoca@aol.com

ARCHITECT:

SHIFT ARCHITEC **KRISTINE PERPAI 100 WEST COLOR** TELLURIDE, CO 87 P. 970.275.0263 kristine@shift-archi

GENERAL CONTRAC

**BILL WARD CONS** BILL WARD PO BOX 3422 TELLURIDE, CO 81435 P. 970.708.1502 F. 970.728.4247 bill@billwardconstruction.com



AREA:	
	980.03 SF 926.96 SF
	1,131.77 SF
Λ:	<u>3,038.76 SF</u> 480.55 SF
	<u>3,519.31 SF</u>
	.07 ACRES (3,049.2 SF)
NT:	2,400 SF
	1 005 05

MAX BUILDING HEIGHT ALLOWABLE PROPOSED MAX AVERAGE HEIGHT: ALLOWABLE PROPOSED

KNOLL ESTATES HEIGHT ALLOWABLE PROPOSED

1,925 SF PARKING REQUIRED:

40'-0" (35'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1) 31.94'

35'-0" (30'-0" + 5'-0" GABLE RIDGE, CDC TABLE 3-3 FOOTNOTE 1) 20.61'

14'-0" ROOF MID-POINT 18.95'

2 SPACES PROVIDED (2 REQUIRED) (2 ENCLOSED IN GARAGE)

EAM		
	SURVEYOR:	MECHANICAL:
M J - LN 29209-0808 n	FOLEY ASSOCIATES, INC. 125 W. PACIFIC, SUITE B-1 P.O. BOX 1385 TELLURIDE, CO 81435 P. 970.728.6153 F. 970.728.6050	HUGHES CONSULTING ENGINEERING, PA DIMITRI MERRILL, P.E. TELLURIDE, CO 81435 P. 970.239.1949 F. 785.842.2492 dimitri@hce-pa.com
	<u>CIVIL</u> :	LANDSCAPING:
CTS, LLC AR - ARCHITECT RADO STE. 211 81435 hitects.com	UNCOMPAHGRE ENGINEERING LLC DAVID BALLODE P.E. PO BOX 3945 TELLURIDE, CO 81435 P. 970.729.0683 dballode@msn.com	SHIFT ARCHITECTS, LLC KRISTINE PERPAR - ARCHITECT 100 WEST COLORADO STE. 211 TELLURIDE, CO 81435 P. 970.275.0263 kristine@shift-architects.com
<u>CTOR:</u>	STRUCTURAL:	
STRUCTION, LLC		
81435	ANVIL ENGINEERING, LLC CHRIS BURNETT, P.E. 3247 E. 7TH AVENUE	

DURANGO, CO 81301

chris@anvil-EFD.com

P. 970.988.2576

## **SHEET INDEX**

GENERAL	
G1.0	COVER SHEET
G1.1	ABBREVIATIONS AND LE
CIVIL	
C2	GRADING AND UTILITY F
C3	CONSTRUCTION MITIGA
SURVEY /	MAPPING
0	EXISTING CONDITIONS
ARCHITEC	TURAL
A1.1	ARCHITECTURAL SITE F
A1.2	BUILDING SITE PLAN
A1.3	LANDSCAPE PLAN NOTE
A1.4	LANDSCAPE PLAN
A1.5	IRRIGATION PLAN
A2.1	MAX BUILDING HEIGHT
A2.2	MATERIAL CALCULATIO
A2.3	STREETSCAPE
A3.1	FLOOR PLAN
A3.2	FLOOR PLAN
A3.3	FLOOR PLAN
A3.4	ROOF PLAN
A4.1	EXTERIOR ELEVATION
A4.2	EXTERIOR ELEVATION
A4.3	PRESENTATION ELEVAT
A8.1	DOOR SCHEDULE
A8.2	WINDOW SCHEDULE
LTG1.1	EXTERIOR LIGHTING PL

EGENDS

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**SHIF** 

P.O. Box 3206 100 W. Colorado Suite 211 Telluride, Colorado 81435 p 970-728-8145 kristine@shift-architects.com www.shift-architects.com

PROJECT ISSUE DATE: 09.05.23 DRB PRELIMINARY SUBMITTAL REVISIONS NO. DATE DESC.

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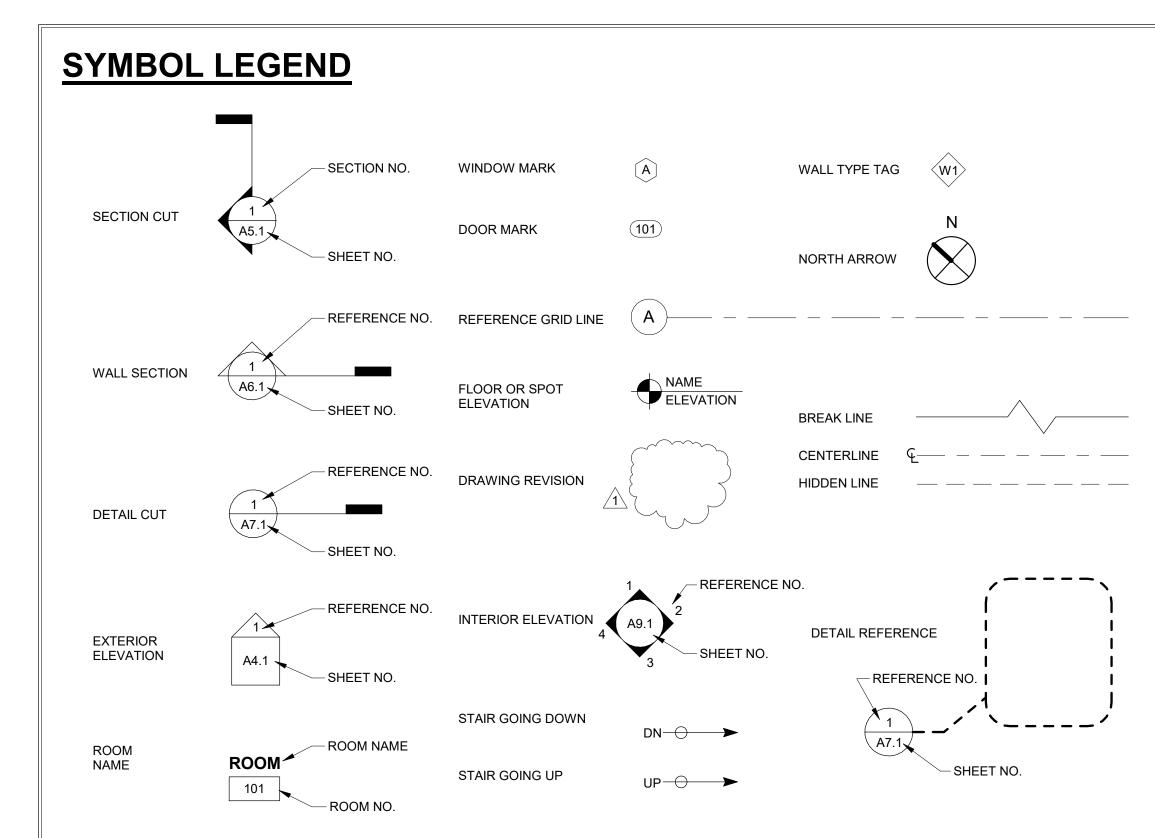
COVER SHEET

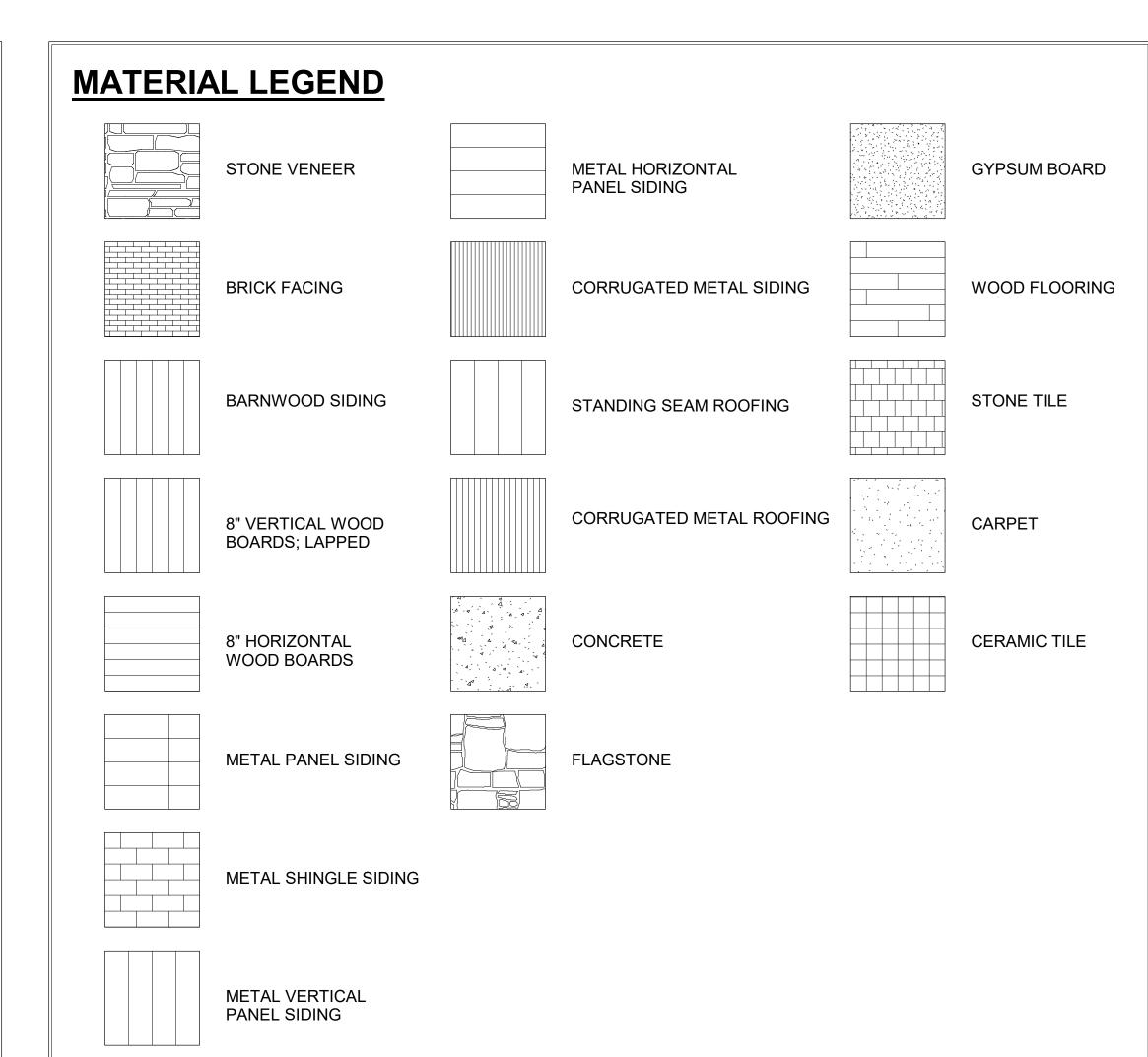
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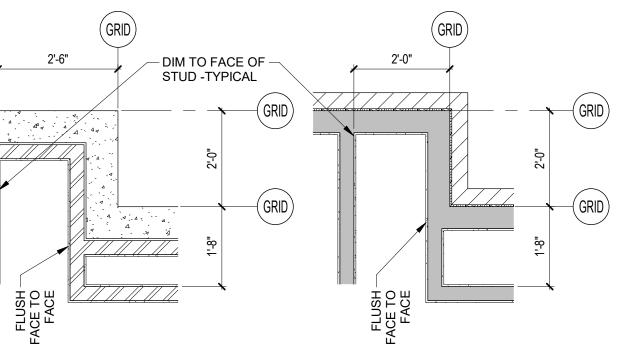
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		4. INT CO
	WOOD STUD FRAMING INTERIOR PARTITION	×
	1 HOUR FIRE WALL	
	STONE VENEER	
	WOOD SIDING	PROJE
	CONCRETE FOUNDATION	T.O. Slab Grou

ABBREVIATIONS				
AC	Acres			
AFF	Above Finished Floor			
AGG	Aggregate			
AL	Aluminum			
BM	Bench Mark			
BSN	Basin			
BTH	Bath			
CL	Centre Line			
CJ	Control Join			
CLST	Closet			
CP	Carpet			
CT	Ceramic Tile			
DIA	Diameter			
DP	Downpipe			
DW	Dishwasher			
EX	Existing			
FF	Finished Floor			
FHR	Fire Hose Reel			
FP	Flue Pipe			
GAL	Galvanized			
GL	Ground Line			
GFI	Ground Fault Circuit Interrupter			
GPO	General Power Outlet			
IBC	International Building Code			
MDF	Medium Density Fibreboard			
MR	Metal Roofing			
MSB	Main Switch Board			
NTS	Not To Scale			
PFC	Parallel Flanged Steel Channel			
PL	Plastic Laminate			
PT	Paint			
RC	Reinforced Concrete			
REF	Refrigerator Reduced Level			
S	Sanitary Drainage Pipe			
SHR SK	Shower Sink Stone			
SN	Stone			
SS	Stainless Steel			
ST	S Trap			
STF	Steel Trowel Finished Concrete			
SW	Stormwater Drainage Line			
T&G	Tongue and Grooved			
TO TPH	Top Of Toilet Paper Holder Tiled Day fina			
TR	Tiled Roofing			
TSF	Timber Strip Floor			
TYP	Typical			
U	Urinal			
UOS	Unless Otherwise Specified			
V	Valley			
VIF	Verify In Field			
VP	Vent Pipe			
WC	Water Closet (Toilet)			
WM	Washing Machine			
WPM	Water Proof Membrane			

# ISIONING LEGEND

RIDS ALIGN WITH OUTSIDE FACE OF FOUNDATION WALL AND OUTSIDE ACE OF STUD AT EXTERIOR STRUCTURAL FRAME WALL.

- ALLS AND PARTITIONS SHOWN IN PLAN INCLUDE FINISH MATERIALS.
- IMENSIONS ARE SHOWN FROM GRID TO GRID, GRID TO FACE OF STUD, ND FACE OF STUD TO FACE OF STUD AT INTERIOR PARTITIONS, TYPICAL.
- ITERIOR PARTITIONS FLUSH FACE TO FACE WITH THEIR EXTERIOR OUNTERPARTS, TYPICAL.



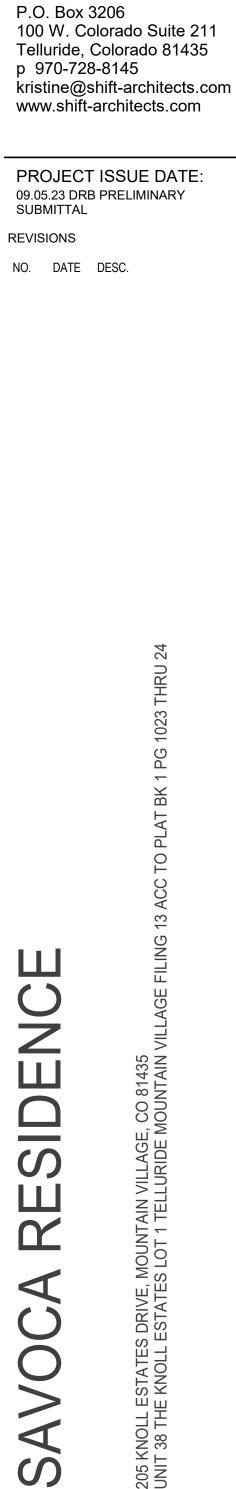
# ECT DATUM LEGEND

JAL ELEVATION ABOVE SEA LEVEL = PROJECT 0'-0"



bund LvI T.O. Ply Ground LvI T.O. Gyp Ground LvI

XXXX.X' USGS 0'-0" PROJECT ELEV



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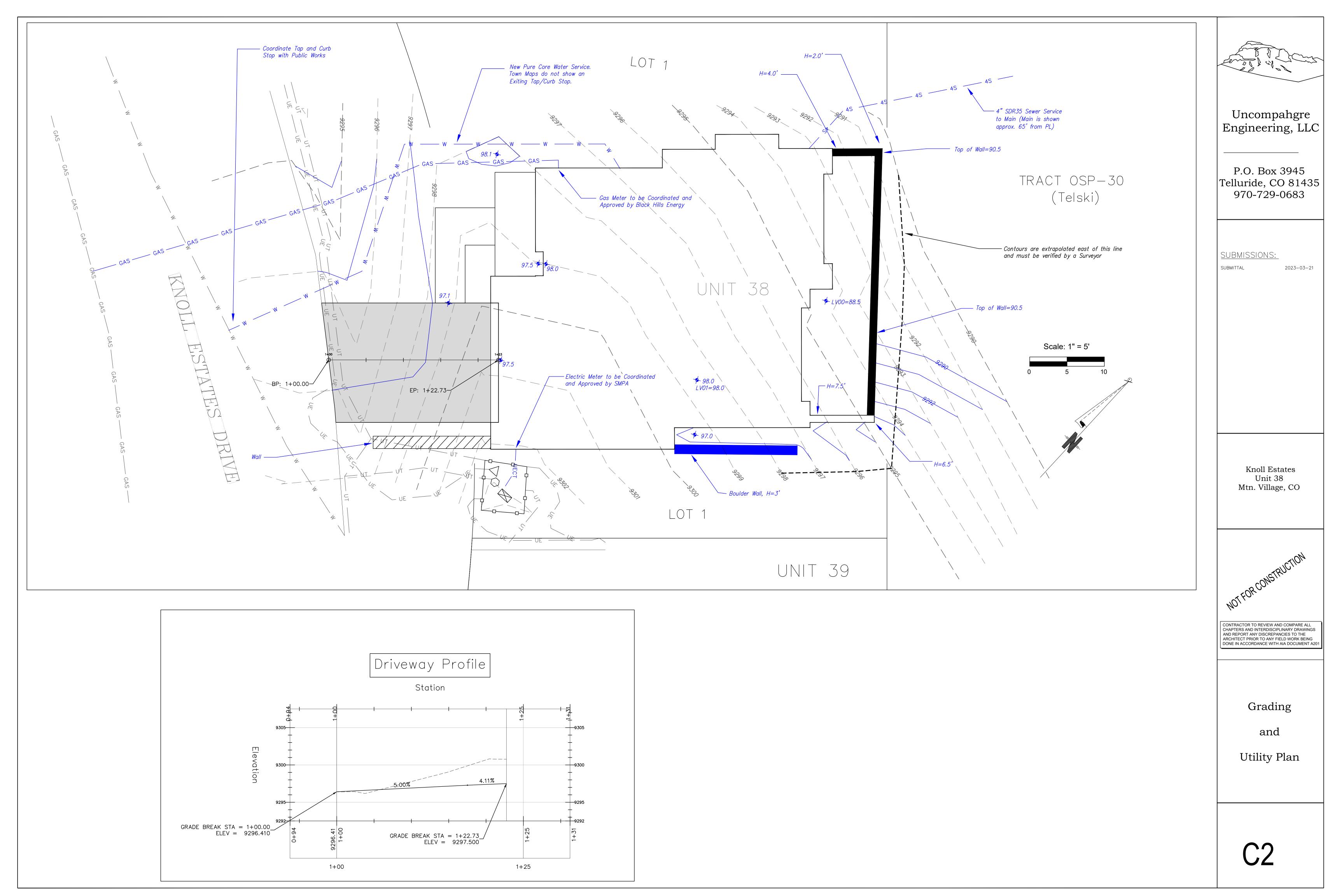
LEGENDS

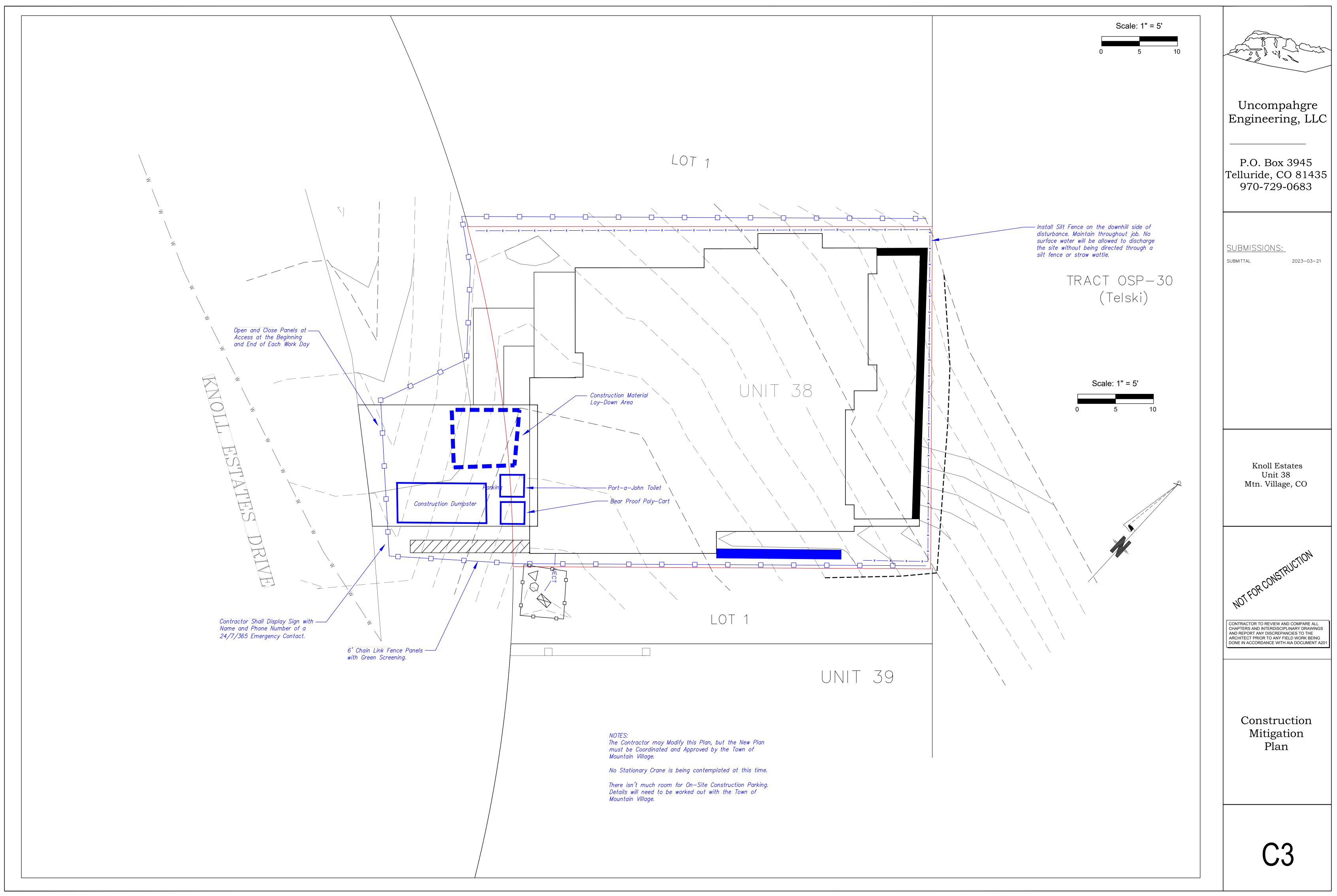
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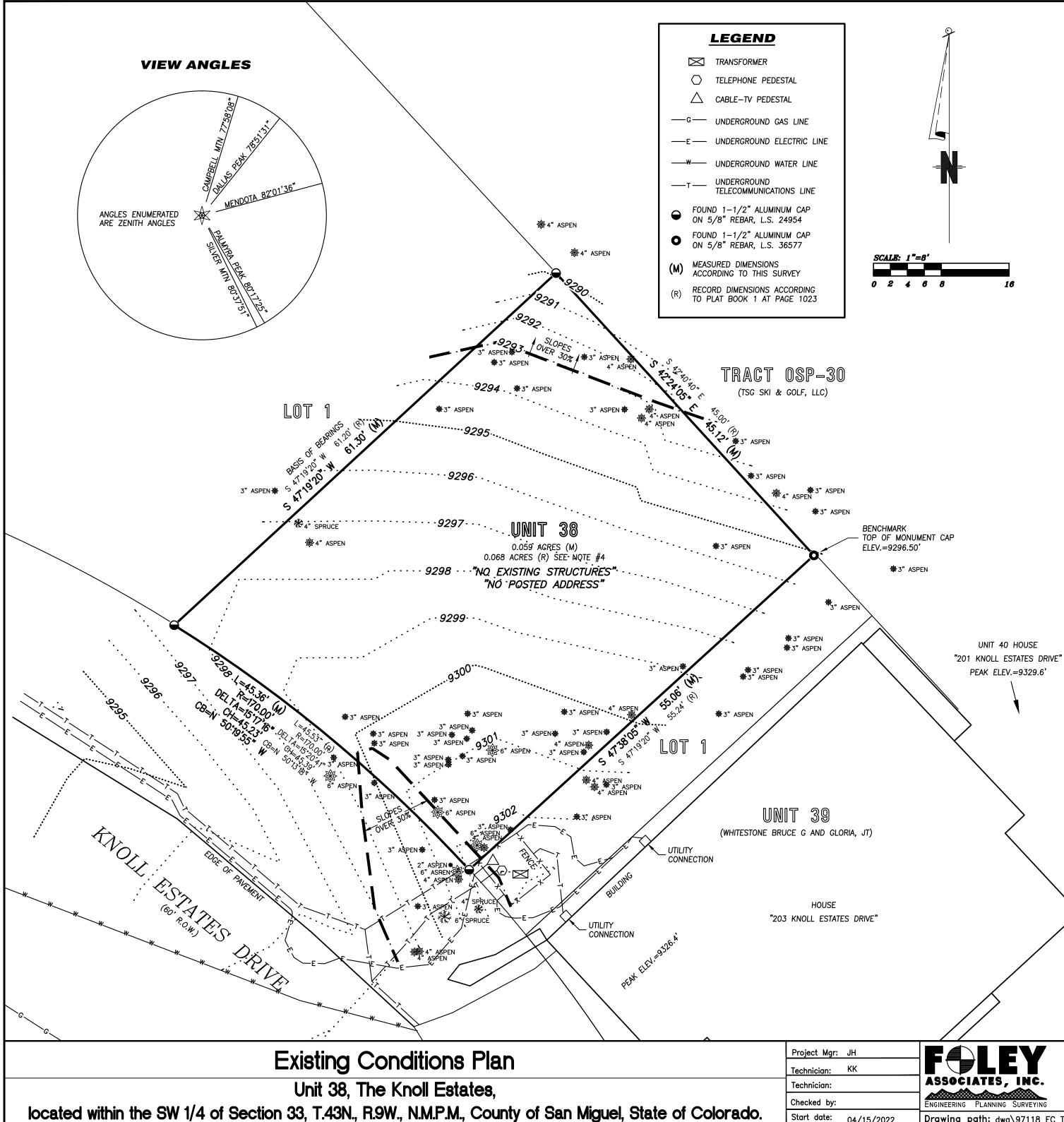
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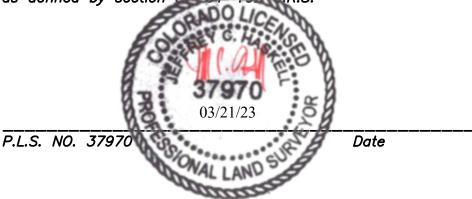
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This Existing Conditions Plan of Unit 38, The Knoll Estates, was prepared on April 14, 2022 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38



#### **LEGAL DESCRIPTION:**

UNIT 38, THE KNOLL ESTATES, A CONDOMINIUM, AS DEFINED AND DESCRIBED IN THE AMENDED AND RESTATED CONDOMINIUM DECLARATION RECORDED JULY 22, 2005 UNDER RECEPTION NO. 376405 AND FIRST AMENDMENT RECORDED SEPTEMBER 25, 2009 UNDER RECEPTION NO. 409017 AND SUPPLEMENT RECORDED OCTOBER 10, 2017 UNDER RECEPTION NO. 450743 AND ACCORDING TO THE CONDOMINIUM MAP RECORDED MARCH 29, 1990 IN PLAT BOOK 1 AT PAGE 1023,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

#### **NOTES:**

1. Easement research and property description from Land Title Guarantee Company, Order Number TLR86011379, dated March 10, 2021 at 5:00 P.M.

2. According to FEMA Flood Insurance Rate Map 08113C0286–C, dated September 30, 1988, this parcel is within Zone X; Areas determined to be outside 500–year flood plain.

3. BASIS OF BEARINGS: Found monuments along the western boundary of Unit 38, as shown hereon, assumed to have the record bearing of S 47°19'20" W according to Plat Book 1 at page 1023.

4. The lot dimensions listed on the plat in Plat Book 1 at page 1023, do not agree with the Lot Area listed on the plat. The dimensions describe a figure with an area of 0.059 acres.

5. Due to winter conditions, only visible improvements are shown on this survey. Any improvements buried under snow cover will not be shown.

6. Benchmark: Found monument at the easternmost corner of Unit 38, as shown hereon, with an elevation of 9296.50 feet.

- 7. Contour interval is one foot.
- 8. Slopes over 30% or greater are shown hereon.

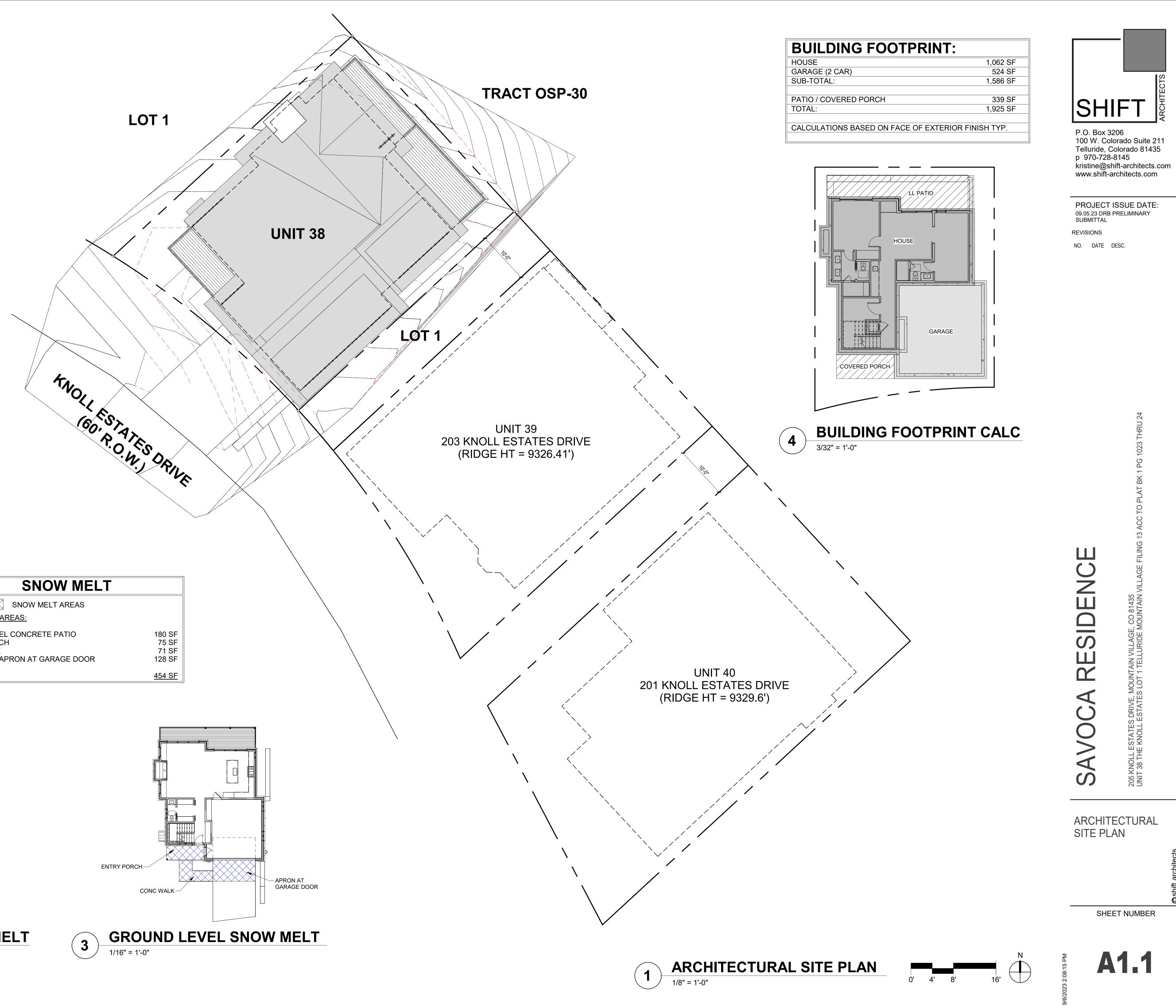
9. Trees 3 inches in diameter or greater are shown hereon.

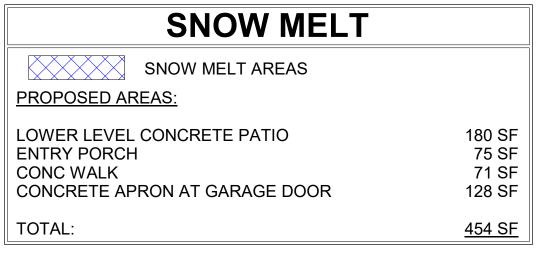
10. Underground utilities, as shown hereon, were marked by various local utility providers and located by Foley Associates, Inc. in April, 2022.

11. Foley Associates, Inc. is not aware of any wetlands located on this lot, but a wetlands delineation was not performed as part of this survey.

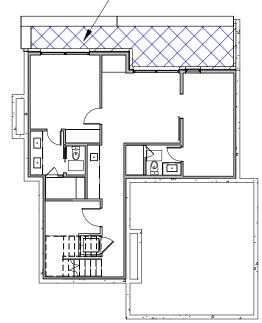
12. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

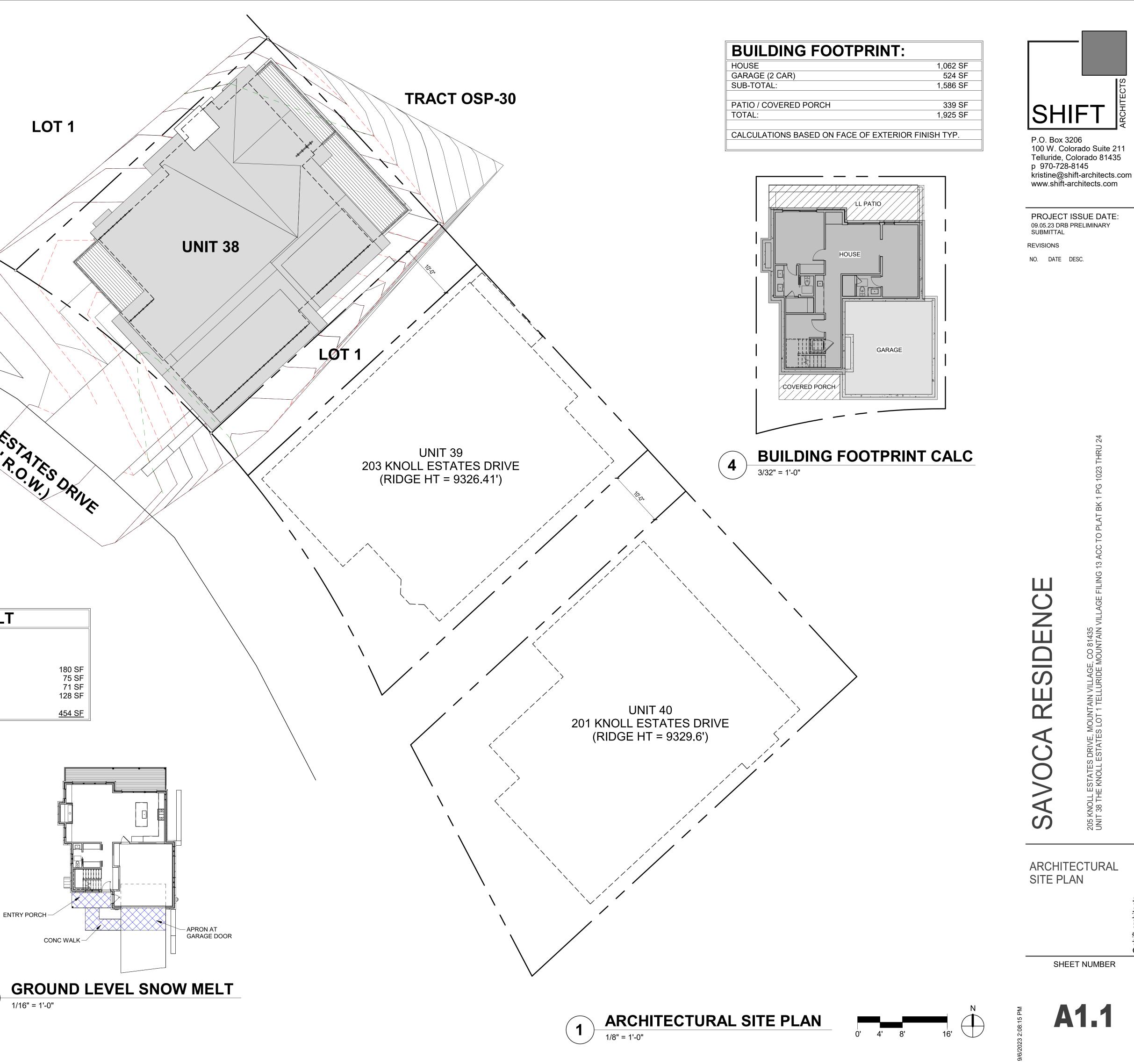
Project Mgr: JH		970-728-615	3 970-7	28-6050 fax
Technician: KK		PC	D Box 138	5
Technician:		125 W. Pa	cific Ave.,	Suite B-1
Checked by:	Engineering Planning Surveying	Telluride	, Colorado	o, 81435
Start date: 04/15/2022	Drawing path: dwg\97118 EC Topo 02-22	2 (Unit 38).dwg	Sheet1 of 1	Project #: 97118
	Technician: KK Technician: Checked by:	Technician: KK Technician: Checked by: Technician: Checked by: Technician: Technician: Checked by: Technician: Technician: Technician: Checked by: Technician: Technician: Checked by: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Technician: Te	Technician:     KK     PC       Technician:     ASSOCIATES, INC.     125 W. Pa       Checked by:     ENGINEERING PLANNING SURVEYING     Telluride	Technician:       ASSOCIATES, INC.       125 W. Pacific Ave.,         Checked by:       Telluride, Colorado



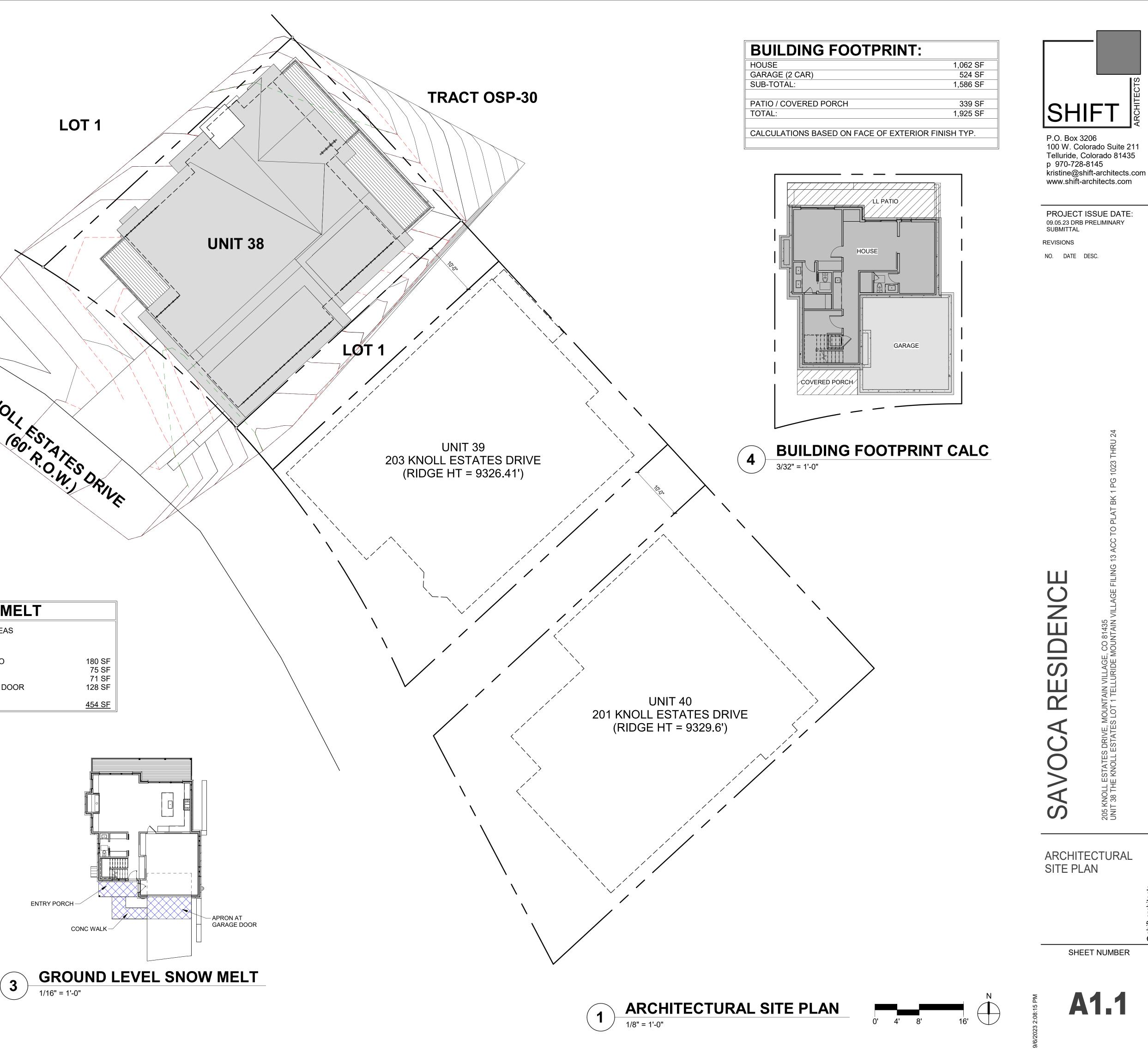




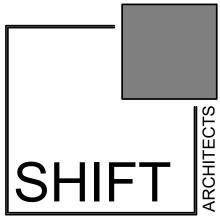








<b>BUILDING FOOTPRIN</b>	IT:
HOUSE	1,062 SF
GARAGE (2 CAR)	524 SF
SUB-TOTAL:	1,586 SF
PATIO / COVERED PORCH	339 SF
TOTAL:	1,925 SF
CALCULATIONS BASED ON FACE OF EXT	ERIOR FINISH TYP.



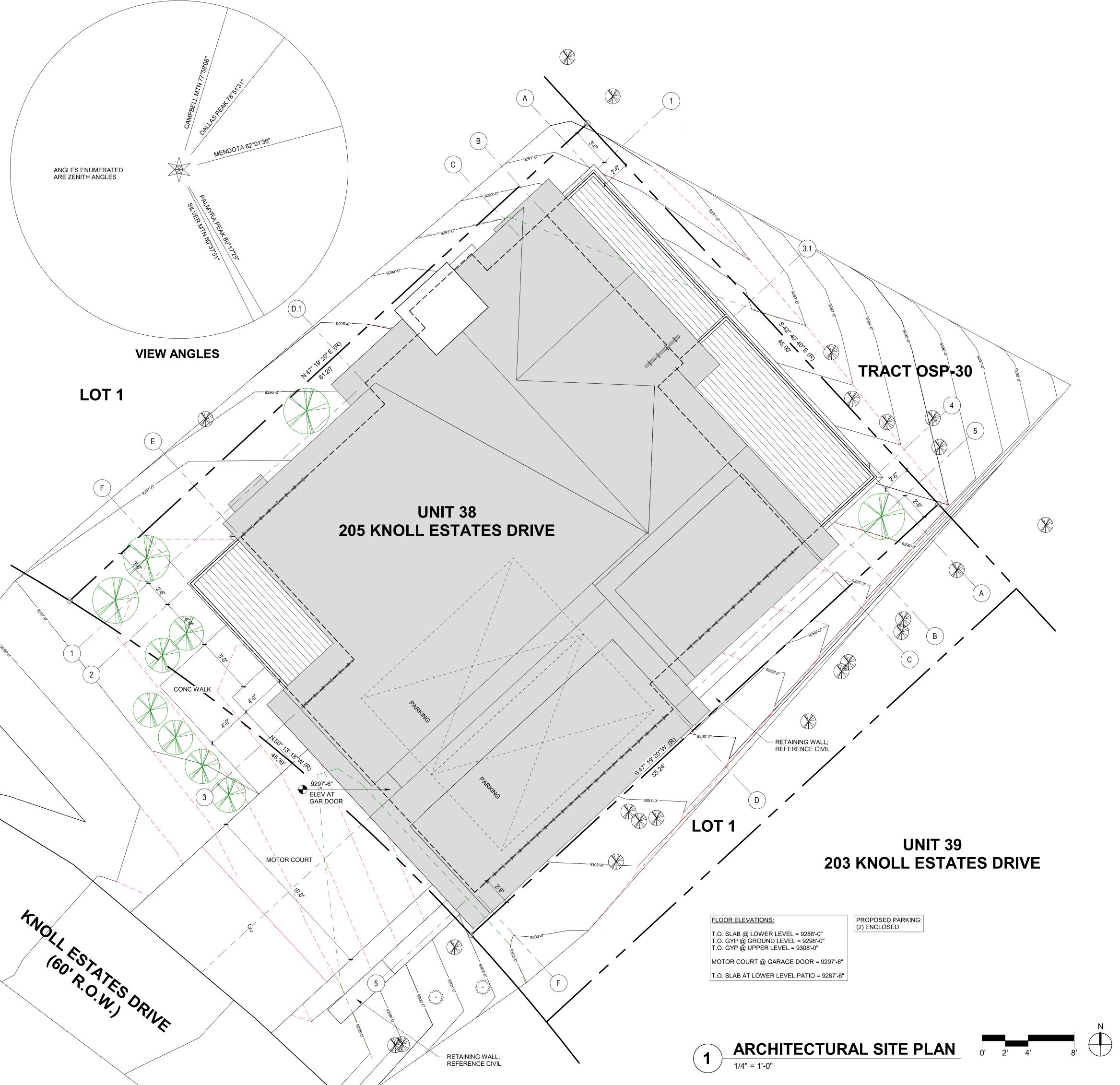
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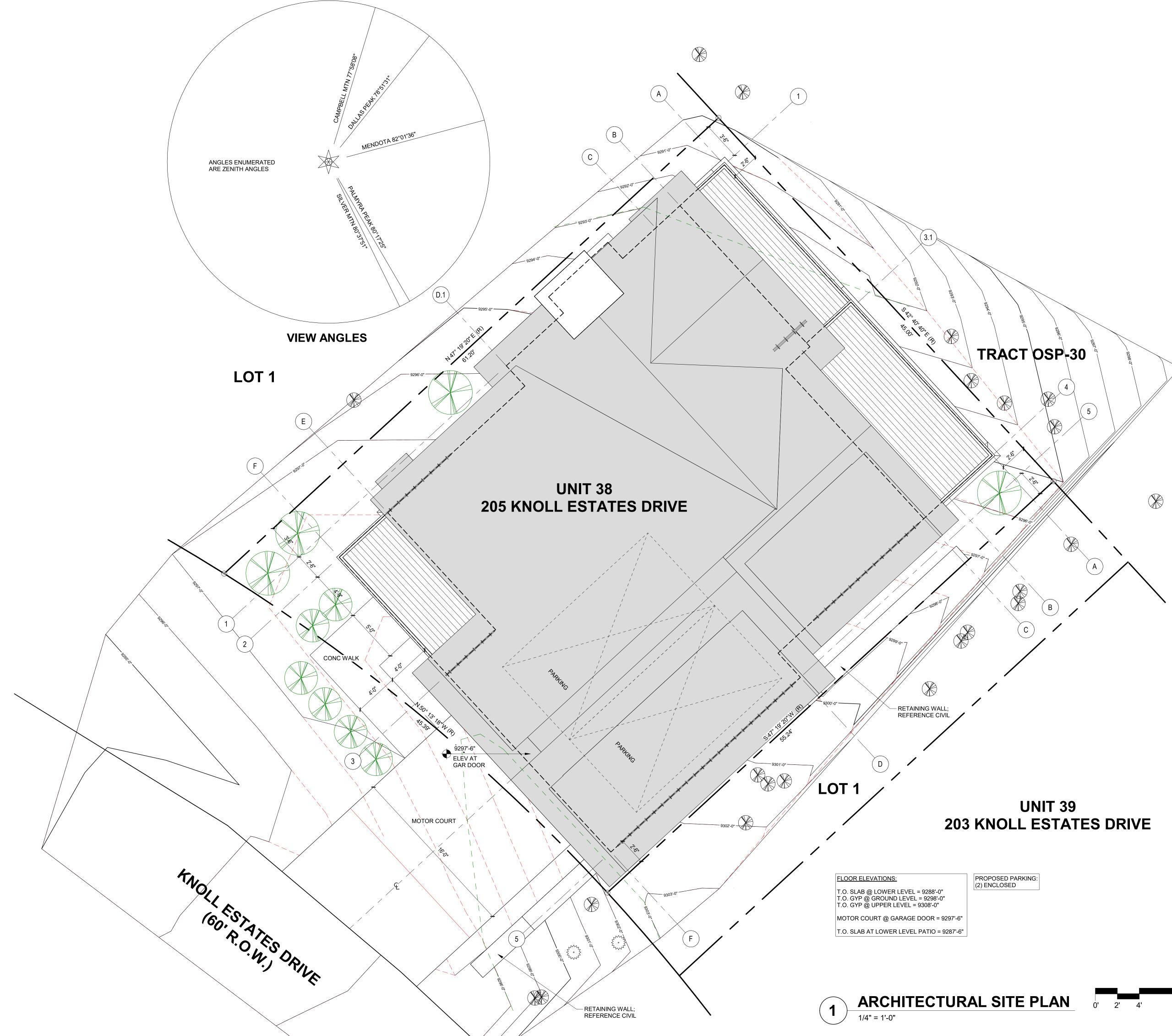
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205 KNOLL ESTATES DRIVE, MOUNTAIN VILLAGE, CO 81435 UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN

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P.O. Box 3206 100 W. Colorado Suite 211 Telluride, Colorado 81435 p 970-728-8145 kristine@shift-architects.com www.shift-architects.com

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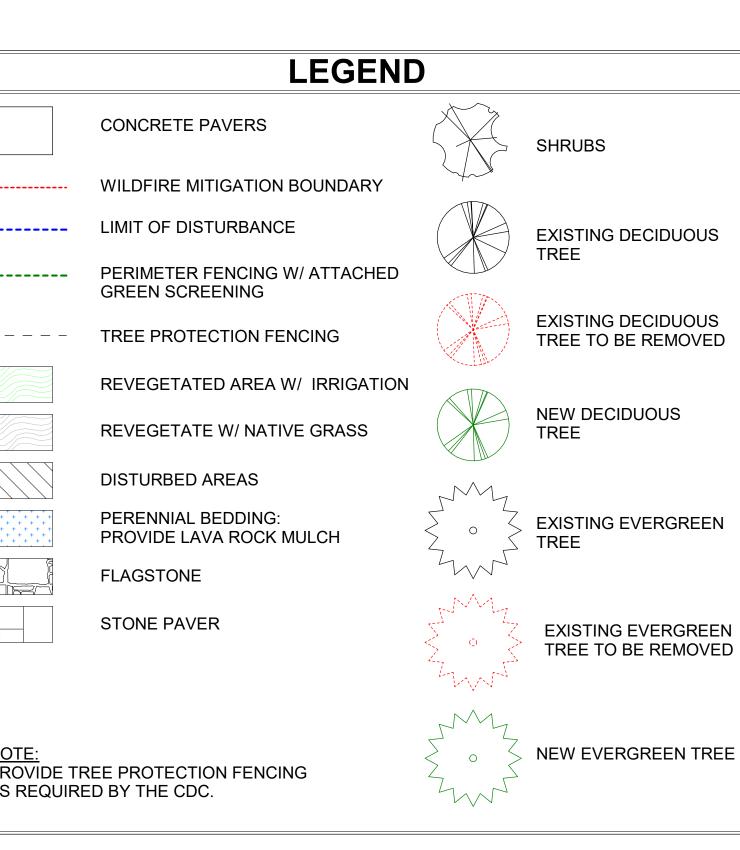
BUILDING SITE PLAN

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D	LANT SCHE			
BOTANICAL NAME POPULUS TREMULOIDES GLEDITSIA TRIACONTHOS PERENNIAL BEDDING	COMMON NAME QUAKING ASPEN	<u>SIZE</u> 3" CAL. DBH	<u>QTY</u> 4 EA 6 EA 29 SF	
<b>TREE PROTECTION FEND</b> 1. TREE PROTECTION FENDOR BEYOND THE CROWNPROTECTION ZONE) IN J2. TREE PROTECTION FENDTOWN FORESTER BEFC3. THE TOWN FORESTER BEFC3. THE TOWN FORESTER BEFC3. THE TOWN FORESTER INMARK OR APPROVE THINPLACEMENT OF THE TRMUST BE OBTAINED FROMOPERATIONS MAY BEGI4. NO BACKFILL, STORAGEPROTECTION AREA INS	CING IS REQUIRED BY N DRIPLINE OF EACH ACCORDANCE WITH CI CING MUST BE INSTAL RE EXCAVATION MAY MUST BE CONTACTED TREES TO BE REMOV EE PROTECTION FENC OM THE TOWN FORES N. E, OR STAGING IS PERI	THE CDC TO BE INST TREE THAT WILL REM DC: 17.6.1.A.4.f. LED AND APPROVED BEGIN. BEFORE EXCAVATION (ED AND TO APPROVE CING. A TREE REMOVA TER BEFORE TREE RE	ALLED AT AIN (TREE BY THE N BEGINS TO E THE NL PERMIT EMOVAL	
1. TREE PLANTING SHALL 2. IRRIGATED LAWN AREA INCREASE THE WATER ORGANICS, FERTILIZAT ARE ENCOURAGED.	S SHOULD BE AERATE ABSORPTION RATES A	9.C.7. D TWO (2) TIMES PER ND PROVIDE A HEAL1	THY LAWN.	
<ol> <li>TREES AND SHRUBS SH NEEDED TO REDUCE W</li> <li>TREES AND SHRUB HOL ROOT BALL SIZE TO FAC MATERIAL AND FACILIT/</li> <li>TREES SHALL BE STAKE ENSURE SUCCESSFUL GROWING SEASONS.</li> <li>BURLAP AND WIRE SHA PLANTING. IF ALL OF TH THE TREE, THEN TWO-T UPPER PORTION OF TH</li> </ol>	ATER EVAPORATION. ES SHALL BE DUG SIX CILITATE THE PLACEMI ATE GROWTH. ED AND HELD IN PLACE ROOT ESTABLISHMENT LL BE REMOVED FROM E WIRE CANNOT BE R HIRDS OF THE WIRE S	INCHES (6") DEEPER ENT OF APPROPRIATE E BY WEBBING AND W FFOR A PERIOD OF T I THE ROOT BALL PRI EMOVED DUE TO THE	THAN THE E MULCH IRE TO WO (2) FULL OR TO SIZE OF	<b>GI</b> 1. A 2. A 5 3. N



# **ENERAL NOTES:**

LL TREES AND SHRUBS TO BE LOCATED BY PROJECT ARCHITECT / OWNER. LL TREES AND SHRUBS SHALL BE BACKED FILLED WITH A TOPSOIL / ORGANIC ERTILIZER MIXTURE AT A 2:1 RATIO.

ECESSARY TREES SHALL BE STAKED WITH 4' METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE

4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEPTH AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.

5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES. 6. MULCH ALL PERENNIAL BEDS WITH LAVA ROCK.

7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK. 8. LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9 LANDSCAPING REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

## NOXIOUS WEEDS:

STRIPS.

1. ALL PLANTED MATERIALS INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN. LANDSCAPE MAINTENANCE NOTES:

1. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME. 2. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO

PERENNIAL BEDS SEASONALLY ALONG WITH MULCH. 3. ALL SHRUBS IN SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT. 4. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

## **REVEGETATION NOTES:**

1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS. 2. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4" OVER ALL AREAS TO BE REEMITTED (EXCEPT ON SLOPES GREATER THAN 3:1) AND AMENDMENTS ROTOTILLED AT A RATE OF THREE CUBIC YARDS PER THOUSAND SQUARE FEET. 3. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS. 4. AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING, SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED. 5. BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN. 6. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.

7. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION. 8. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

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LANDSCAPE PLAN NOTES / LEGENDS

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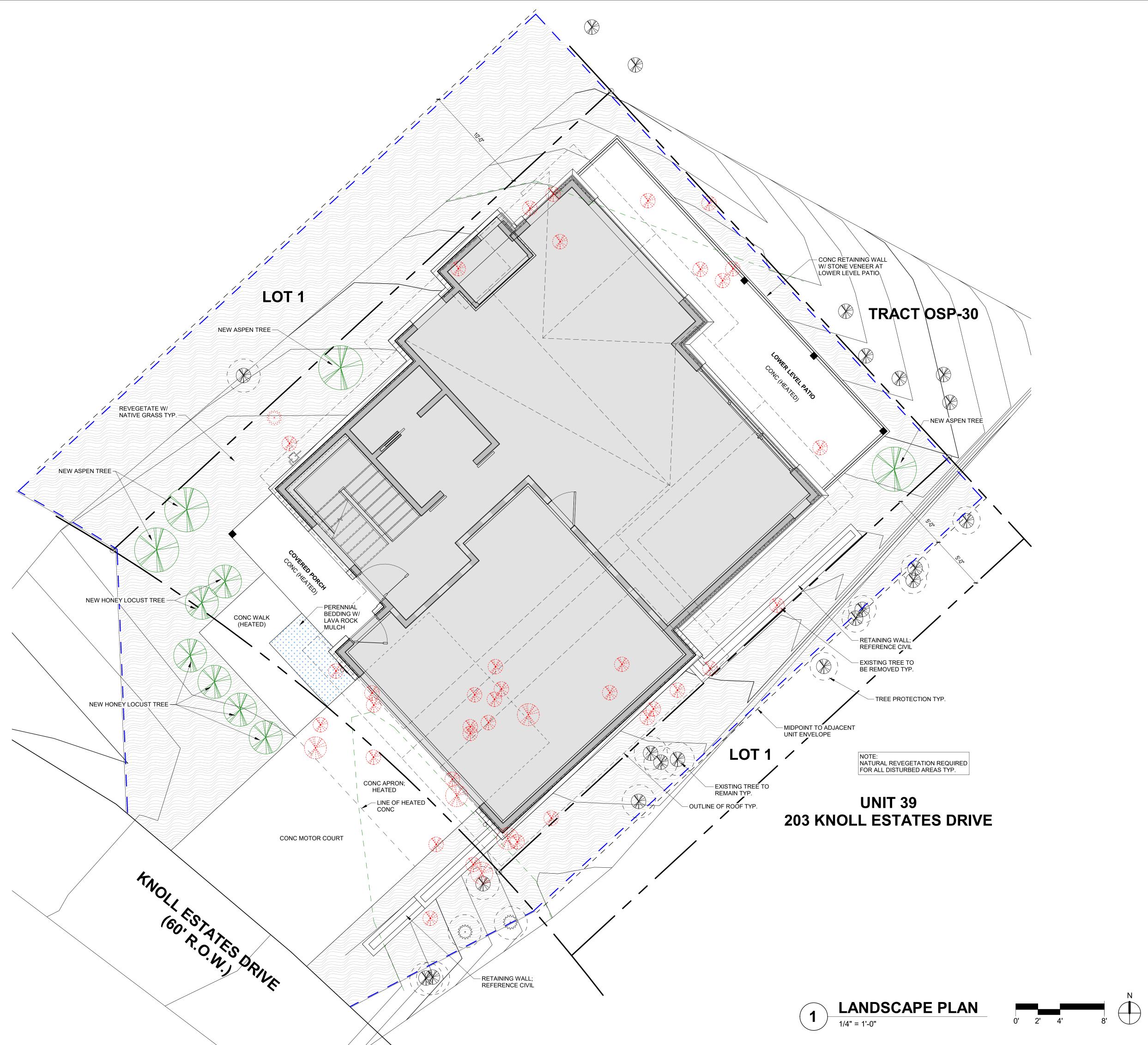
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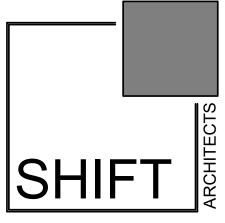
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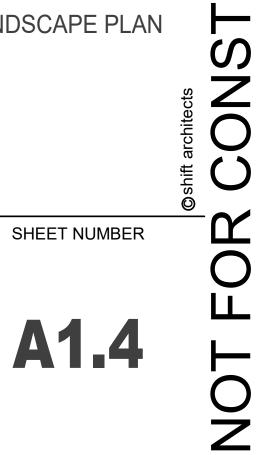


205 KNOLL ESTATES DRIVE, MOUNTAIN VILLAGE, CO 81435 UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN

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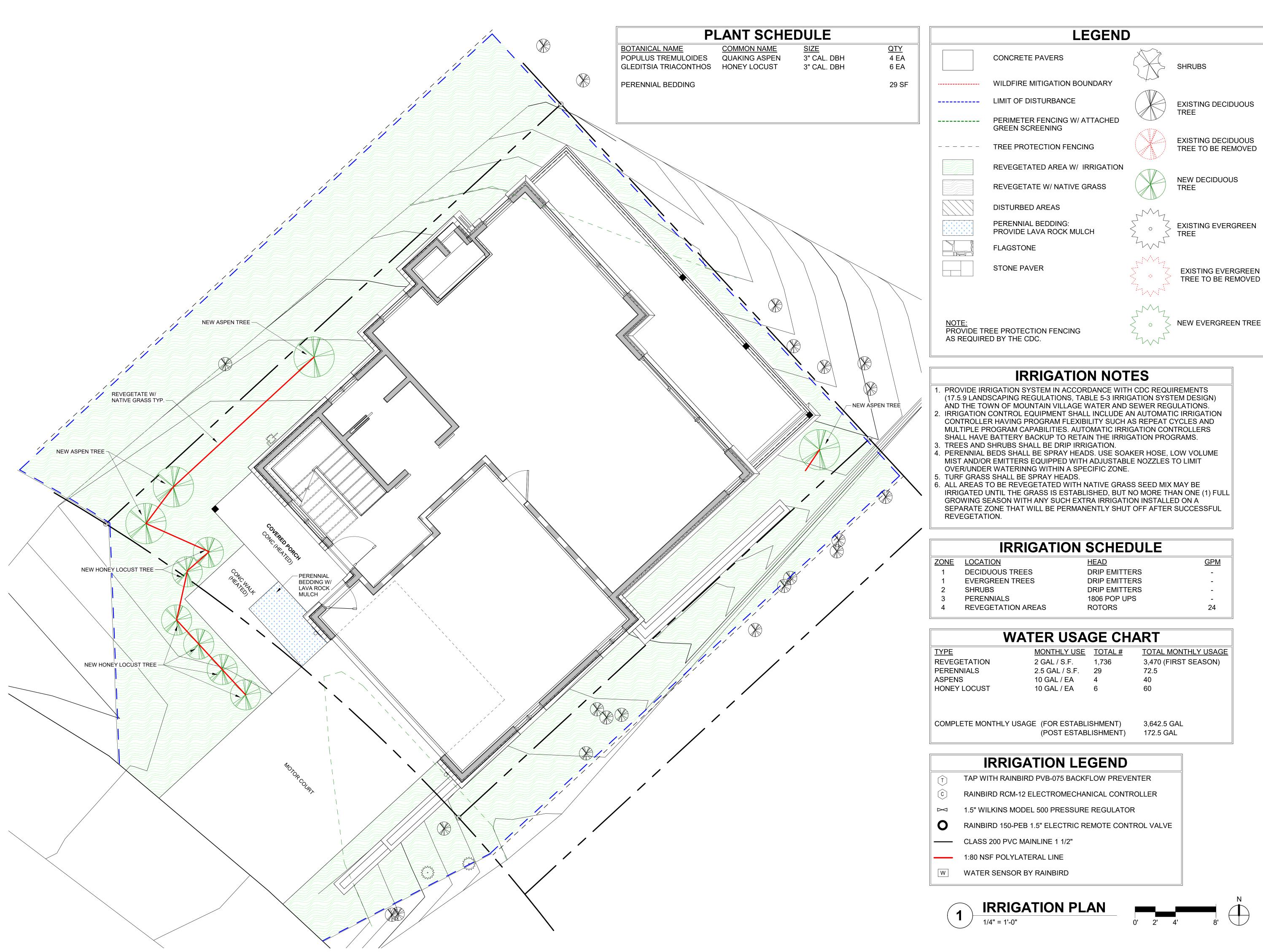


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**IRRIGATION PLAN** 

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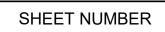
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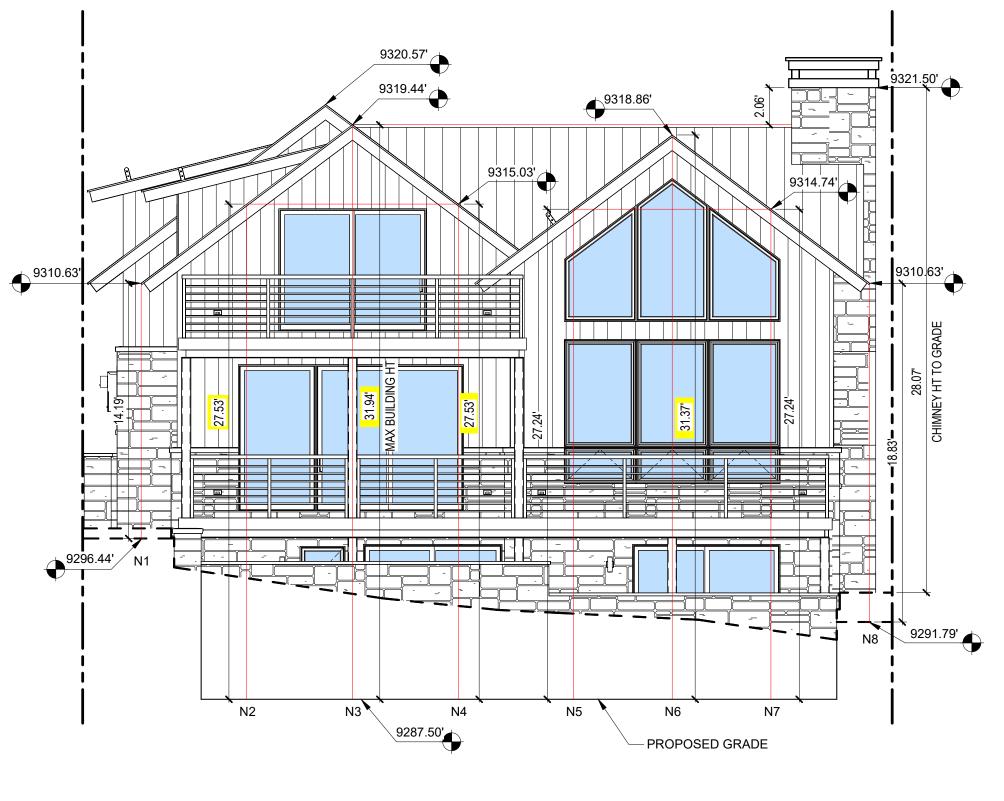
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205 KNOLL ESTATES DRIVE, MOUN UNIT 38 THE KNOLL ESTATES LOT



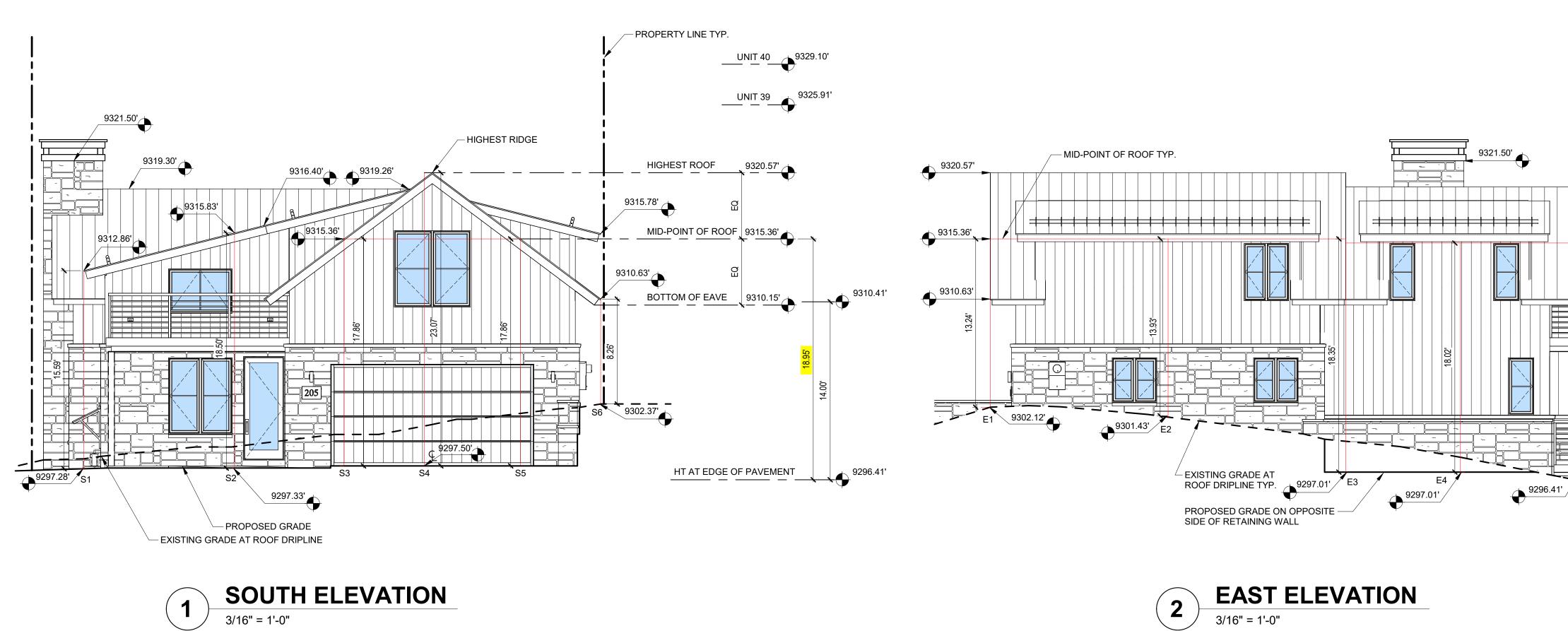






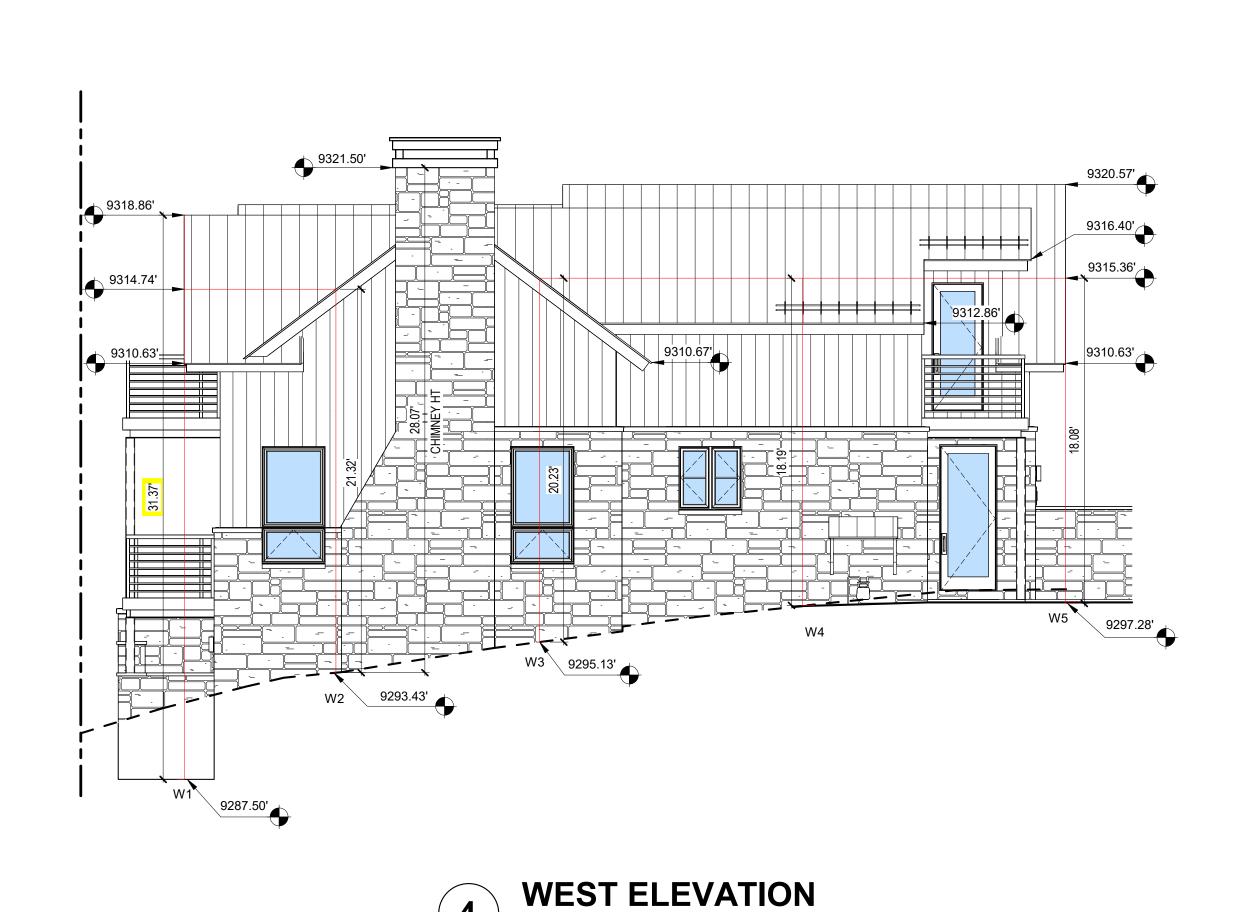
NORTH ELEVATION 3/16" = 1'-0"

3





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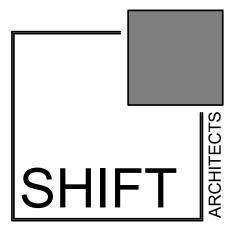


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3/16" = 1'-0"

AVG ROOF	HT :
NORTH ELEVATION	
N1	14.19'
N2	27.53'
N3	31.94'
N4	27.53'
N5	27.24'
N6	31.37'
N7	27.24'
N8	18.83'
SUB-TOTAL:	205.87'
# OF LOCATIONS:	8
AVERAGE:	25.73'
SOUTH ELEVATION	
S1	15.59'
S2	18.5'
S3	17.86'
S4	23.07
S5	17.86
<u>S6</u>	8.26
SUB-TOTAL:	101.14'
# OF LOCATIONS:	6
AVERAGE:	16.85'
	10.05
EAST ELEVATION	
E1	13.24'
E2	13.93'
E3	18.35'
E4	18.02'
E5	18.62'
SUB-TOTAL:	82.16'
# OF LOCATIONS:	5
AVERAGE:	16.43'
/// _// 0/02/	
WEST ELEVATION	
W1	31.37'
W2	21.32'
W3	20.23
W3 W4	18.19
W5	18.08
SUB-TOTAL:	109.19
# OF LOCATIONS:	109.19
AVERAGE:	ح '21.83
AVENAUE.	21.03
ΤΟΤΑΙ	100 201
	498.36
NUMBER OF LOCATIO	NS: 24

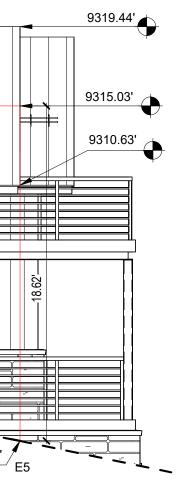


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MAX BUILDING HT :	
HIGHEST POINT RELATIVE TO GRADE:	
LOCATION: N3	31.94'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9319.44'
MOST RESTRICTIVE GRADE BELOW	9287.5'
2ND HIGHEST POINT RELATIVE TO GR	ADE:
LOCATION: N6, W1	31.37'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9318.86'
MOST RESTRICTIVE GRADE BELOW	9287.5'
3RD HIGHEST POINT RELATIVE TO GR	ADE:
LOCATION: N2, N4	27.53'
MAX BUILDING HT ALLOWABLE	40.00'
ROOF HEIGHT	9315.03'
MOST RESTRICTIVE GRADE BELOW	9287.5'

AVERAGE:



KNOLL ESTATES NOTE :
FOR PERIMETER UNITS, THE MID-POINT OF THE
ROOF, FROM THE TOP OF RIDGE TO THE
BOTTOM OF THE EAVE, SHALL NOT EXCEED A
HEIGHT THAT IS 14 FEET ABOVE THE ROAD
ADJACENT TO THE UNIT. THE REFERENCE POINT
IN THE ROAD IS DETERMINED BY THE
INTERSECTION OF THE CENTER OF THE
DRIVEWAY AND EDGE OF THE ROAD PAVEMENT.

### RESIDENCE SAVOCA

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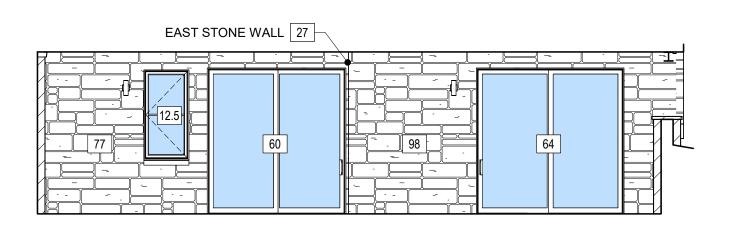
205 KNOLL ESTATES DRIVE, MOUNTAIN VILLAG UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE

20.61'

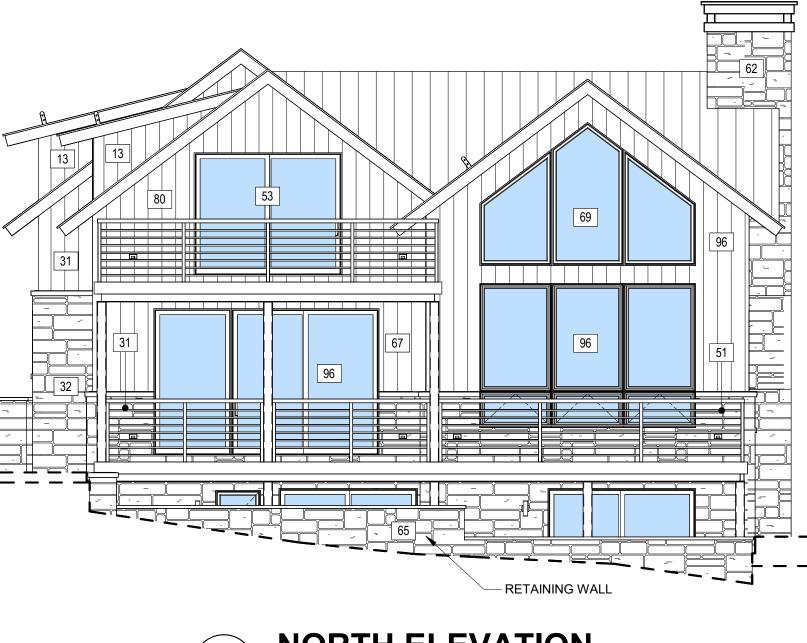
### MAX BUILDING HEIGHT

SHEET	NUMBER
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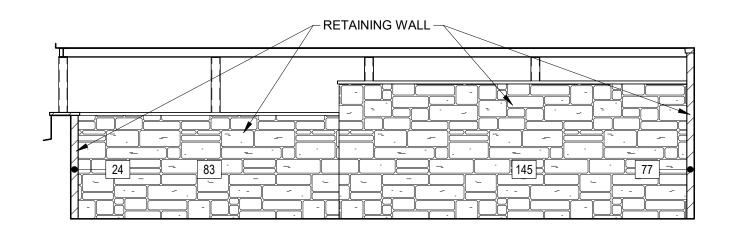










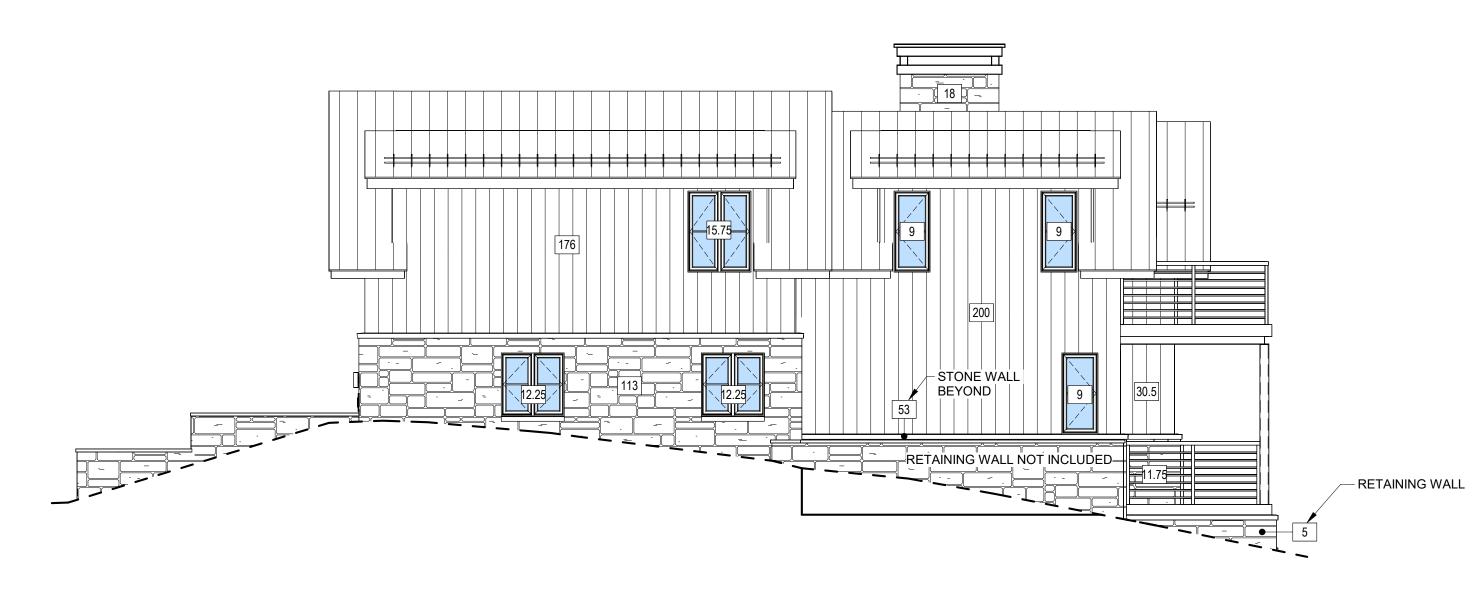




SOUTH ELEV AT LOWER LVL RETAINING WALL 3/16" = 1'-0"



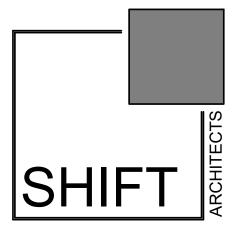






MATERIAL	CALCULAT	IONS

NORTH		
STONE	1176 SF	22%
WOOD SIDING	300 SF	38%
WINDOW/DOOR GLAZING	314 SF	44%
SUBTOTAL:	790 SF	100%
SOUTH		
STONE	273.5 SF	35%
VOOD SIDING	278 SF	35%
VINDOW/DOOR GLAZING	108.5 SF	14%
VOOD GARAGE DOOR	128 SF	16%
SUBTOTAL:	788 SF	100%
EAST		
	405 75 05	000/
	195.75 SF	29%
VOOD SIDING	406.5 SF	61%
VINDOW/DOOR GLAZING	67.25 SF	10%
SUBTOTAL:	669.50 SF	100%
WEST		
STONE	490 SF	58%
VOOD SIDING	255 SF	30%
VINDOW/DOOR GLAZING	100.75 SF	12%
SUBTOTAL:	845.75 SF	100%
NORTH @ LOWER LVL PATIO		
STONE	202 SF	60%
VINDOW/DOOR GLAZING	136.5 SF	40%
SUBTOTAL:	338.5 SF	100%
RETAINING WALLS		
STONE	415 SF	100%
SUBTOTAL:	415 SF	100%
TOTALS		
STONE	1,337.25 SF	
STONE @ RETAINING WALL	415 SF	
VOOD SIDING	1,239.5 SF	
VINDOW/DOOR GLAZING	727 SF	
VOOD GARGE DOOR	128 SF	
OTAL:	3,846.75 SF	
PERCENTAGES		
STONE	35 %	46 %
STONE @ RETAINING WALL	11 %	
VOOD SIDING	32 %	
VINDOW/DOOR GLAZING	19 %	
VOOD GARAGE DOOR	3 %	
TOTAL:	100 %	
STONE VENEER CALCULATIONS ARE IN A TITLE 17 OF THE TOWN OF MOUNTAIN VIL CODE CDC 17.5.6.E.1		



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PROJECT ISSUE DATE: 09.05.23 DRB PRELIMINARY SUBMITTAL REVISIONS

NO. DATE DESC.



CO 81435 10UNTAIN

205 KNOLL ESTATES DRIVE, MOUNTAIN VILLAGE, UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE N

### MATERIAL CALCULATIONS

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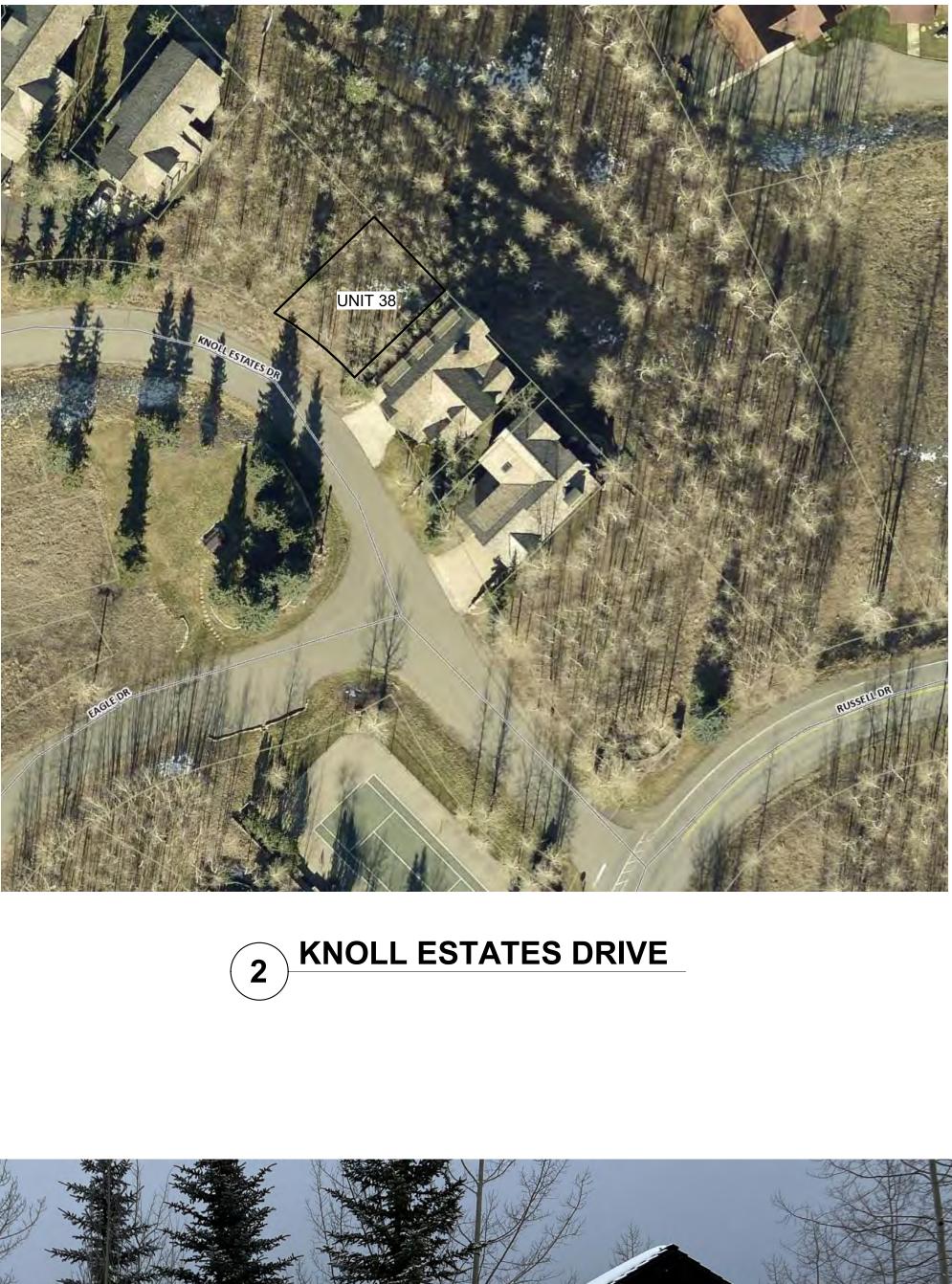
A2.2

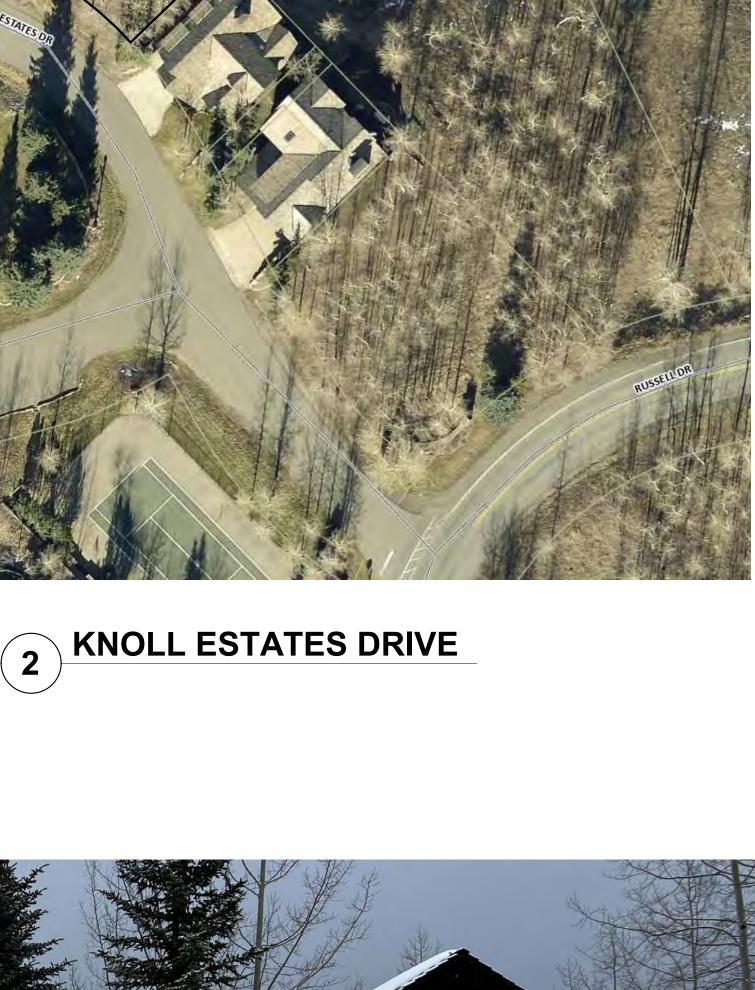


SHEET NUMBER

### **UNIT 38** 205 KNOLL ESTATES DRIVE (RIDGE HT = 9320.57')



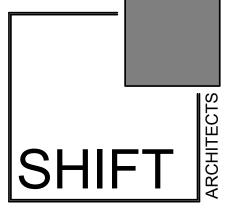




**UNIT 39** 203 KNOLL ESTATES DRIVE (RIDGE HT = 9326.41')

**UNIT 40** 201 KNOLL ESTATES DRIVE (RIDGE HT = 9329.6')





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STREETSCAPE

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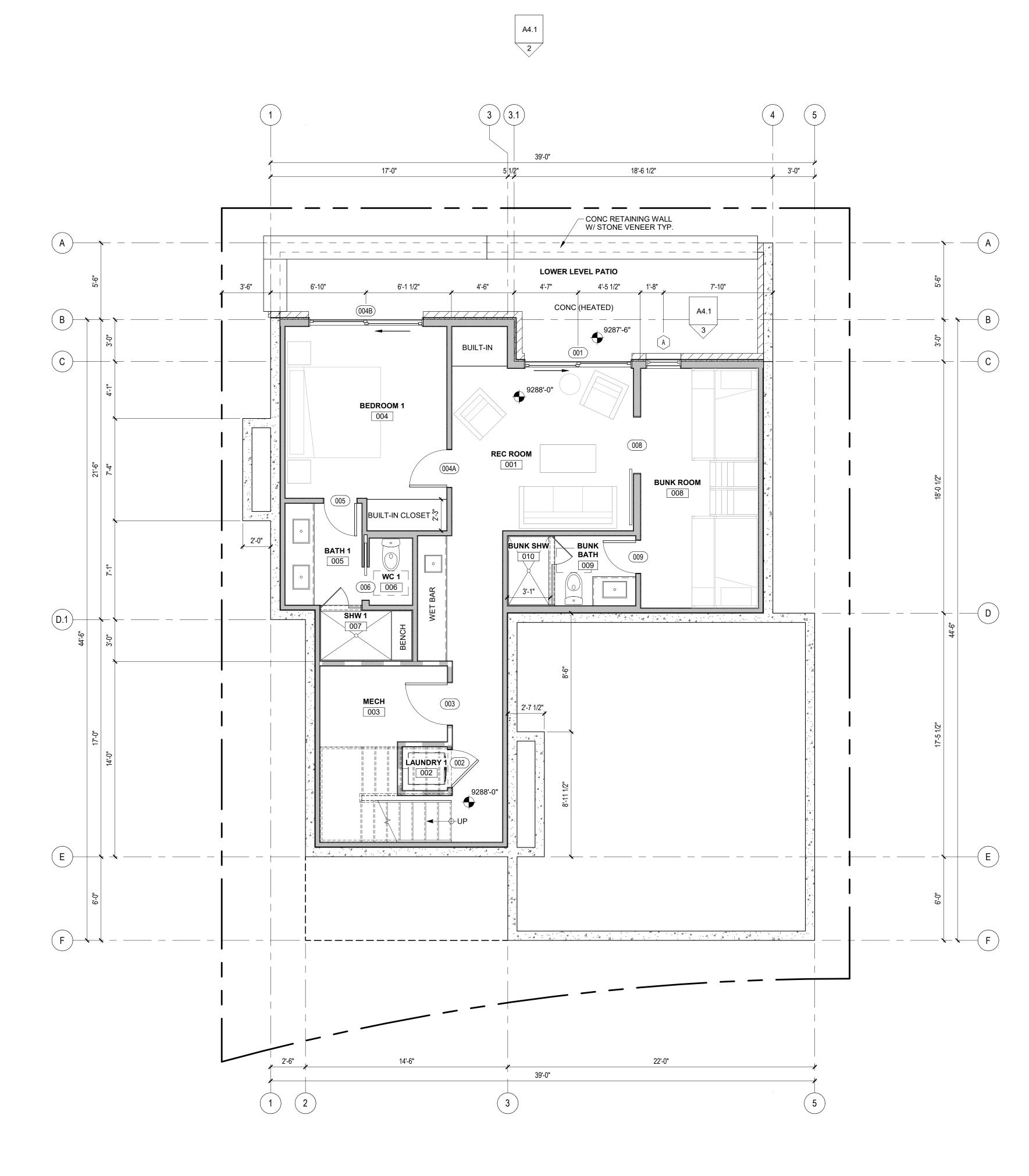


CO 81435 AOUNTAIN

205 KNOLL ESTATES DRIVE, MOUNTAIN VILLAGE, UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE M

A2.3

SHEET NUMBER



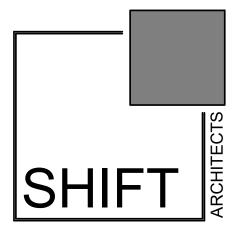
### FLOOR PLAN GENERAL NOTES:

### DIMENSIONS:

ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

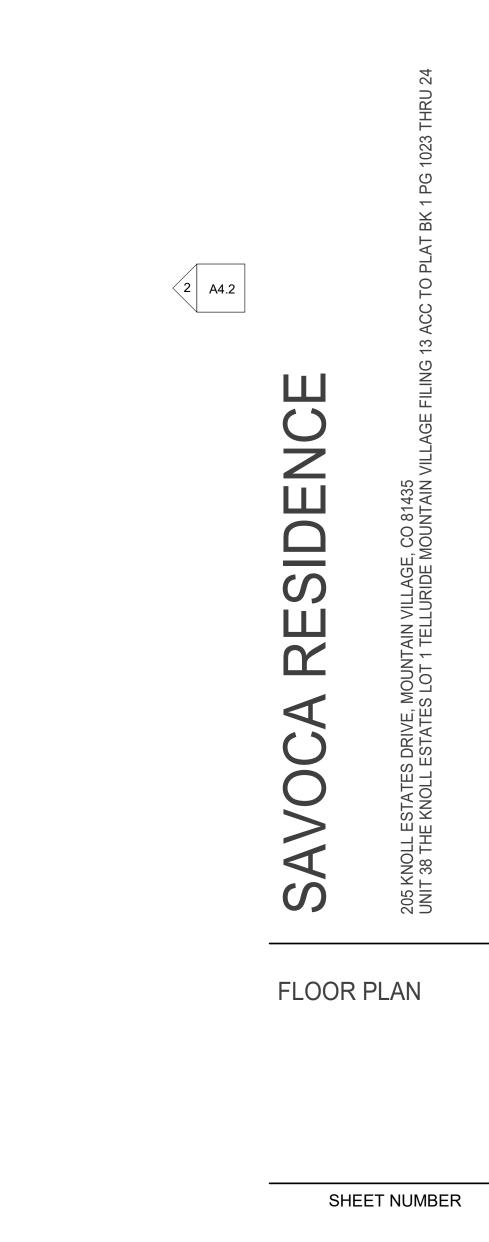
DOORS ARE T0 BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.

**1 LOWER LEVEL** 0' 2' 4' 8' N



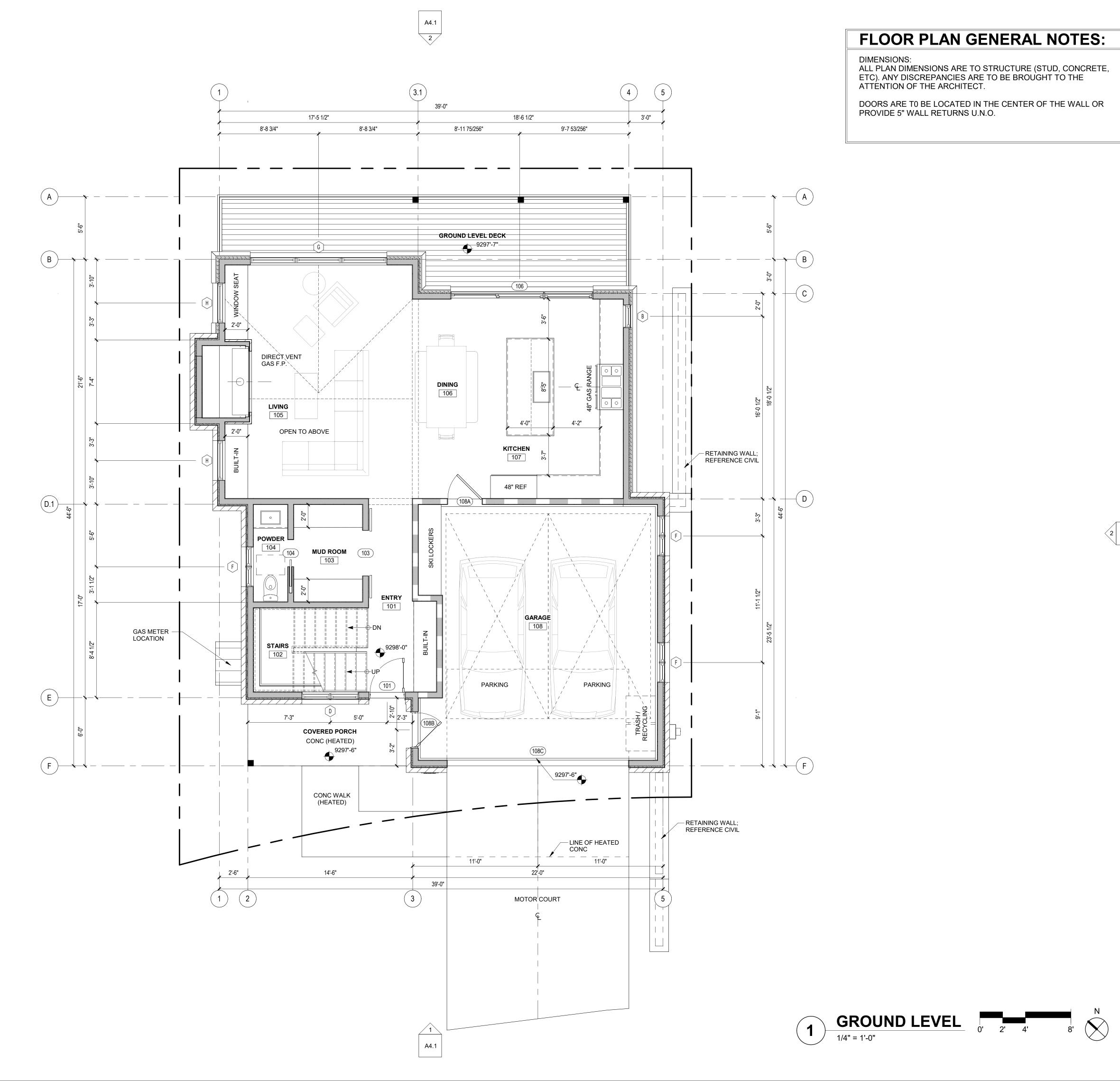
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# NOT FOR CONSTRUCTION

**A3.1** 

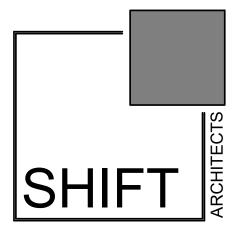


### **FLOOR PLAN GENERAL NOTES:**

### DIMENSIONS:

ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE TO BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.



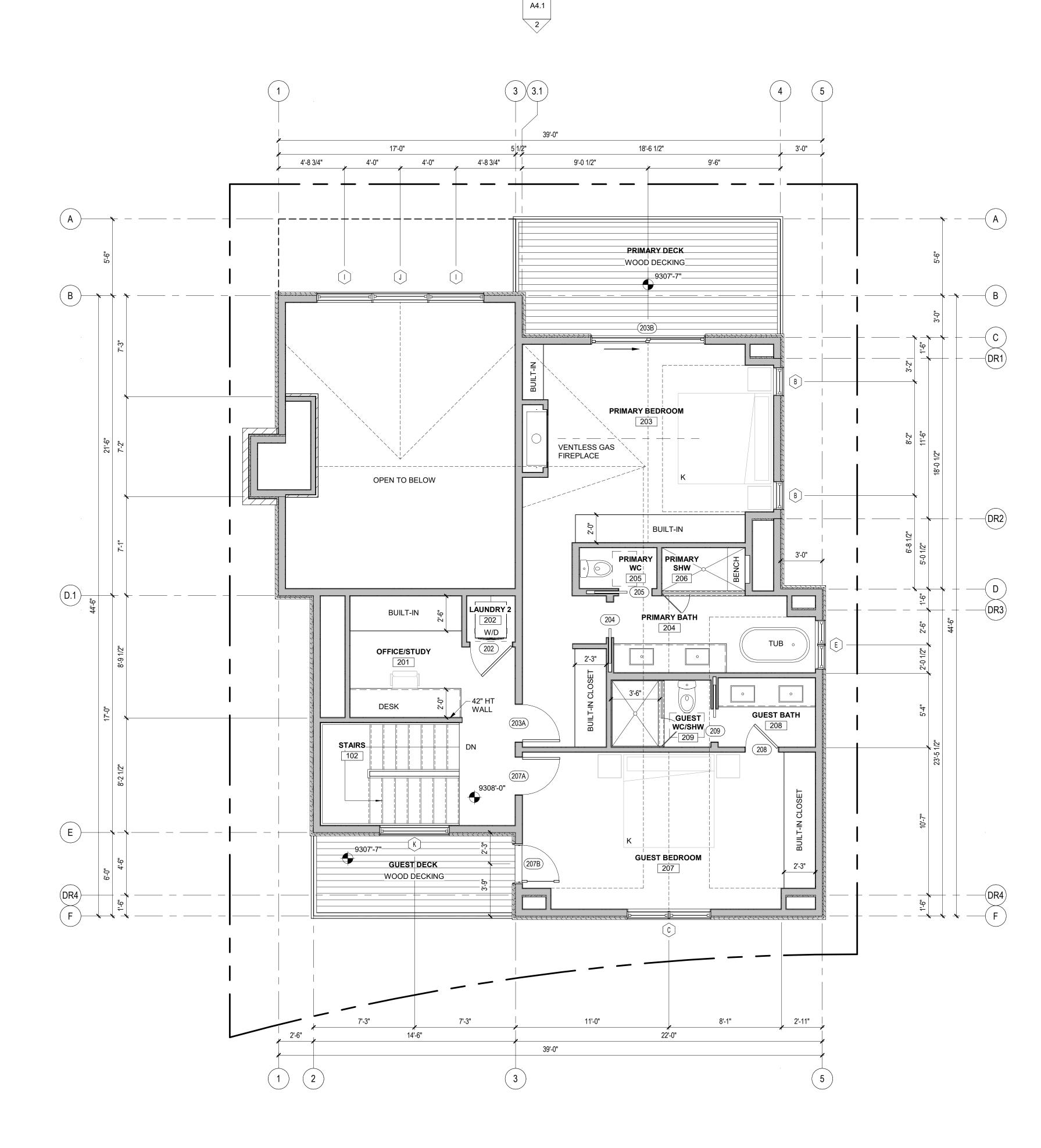
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A3.2

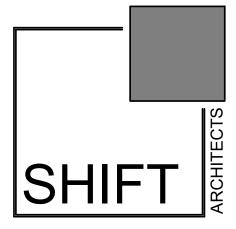


### FLOOR PLAN GENERAL NOTES:

DIMENSIONS:

ALL PLAN DIMENSIONS ARE TO STRUCTURE (STUD, CONCRETE, ETC). ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DOORS ARE T0 BE LOCATED IN THE CENTER OF THE WALL OR PROVIDE 5" WALL RETURNS U.N.O.

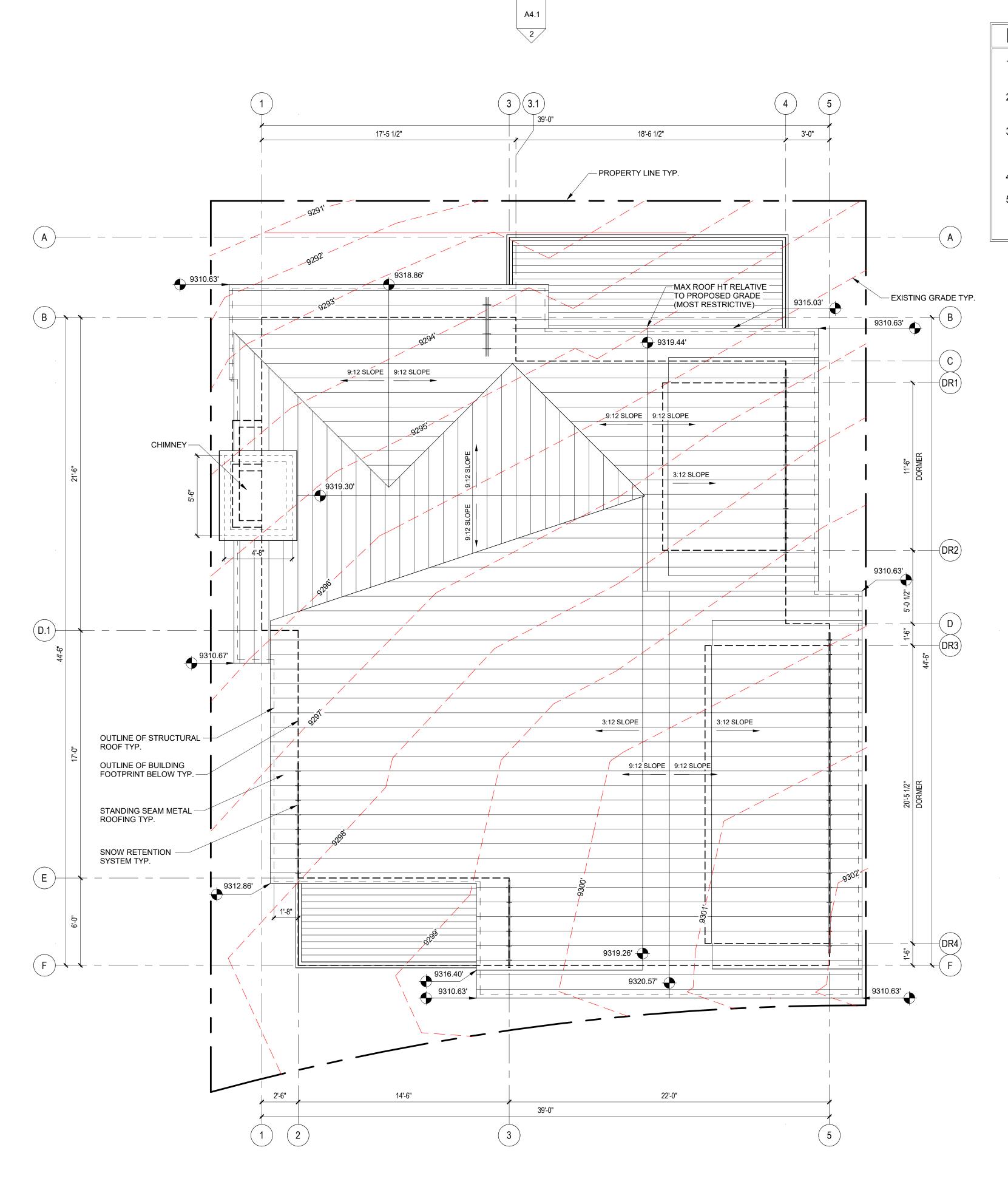


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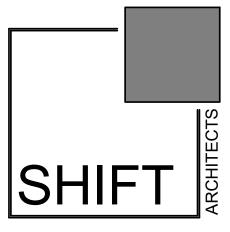




1 A4.1

### **ROOF PLAN NOTES**

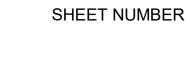
- 1. ROOFING SYSTEM TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- ALL OVERHANG DIMENSIONS ARE FROM EXTERIOR FACE OF STUD (GRID) TO STRUCTURAL ROOF.
- 3. PROVIDE SNOW RETENTION SYSTEM WHERE SHOWN. CONTRACTOR AND ROOF MANUFACTURER TO PROVIDE WATERPROOFING FOR FULL WARRANTY AT SNOW RETENTION PENETRATIONS TYP.
- 4. REFERENCE MECHANICAL DRAWINGS FOR LOCATIONS OF ROOF PENETRATIONS.
- 5. PAINT ALL ROOF APPURTENANCES TO MATCH ADJACENT ROOF.



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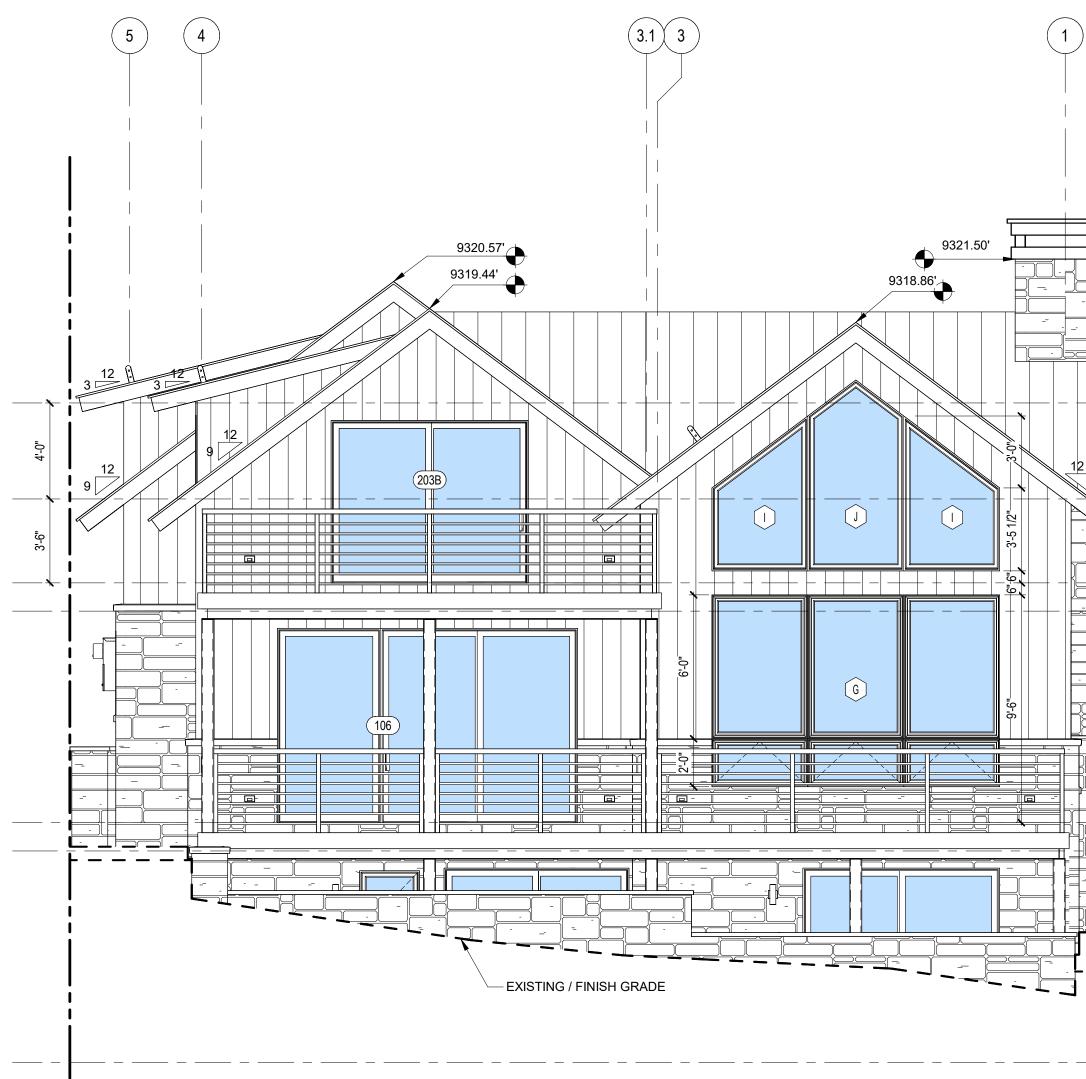
PROJECT ISSUE DATE: 09.05.23 DRB PRELIMINARY SUBMITTAL REVISIONS NO. DATE DESC.



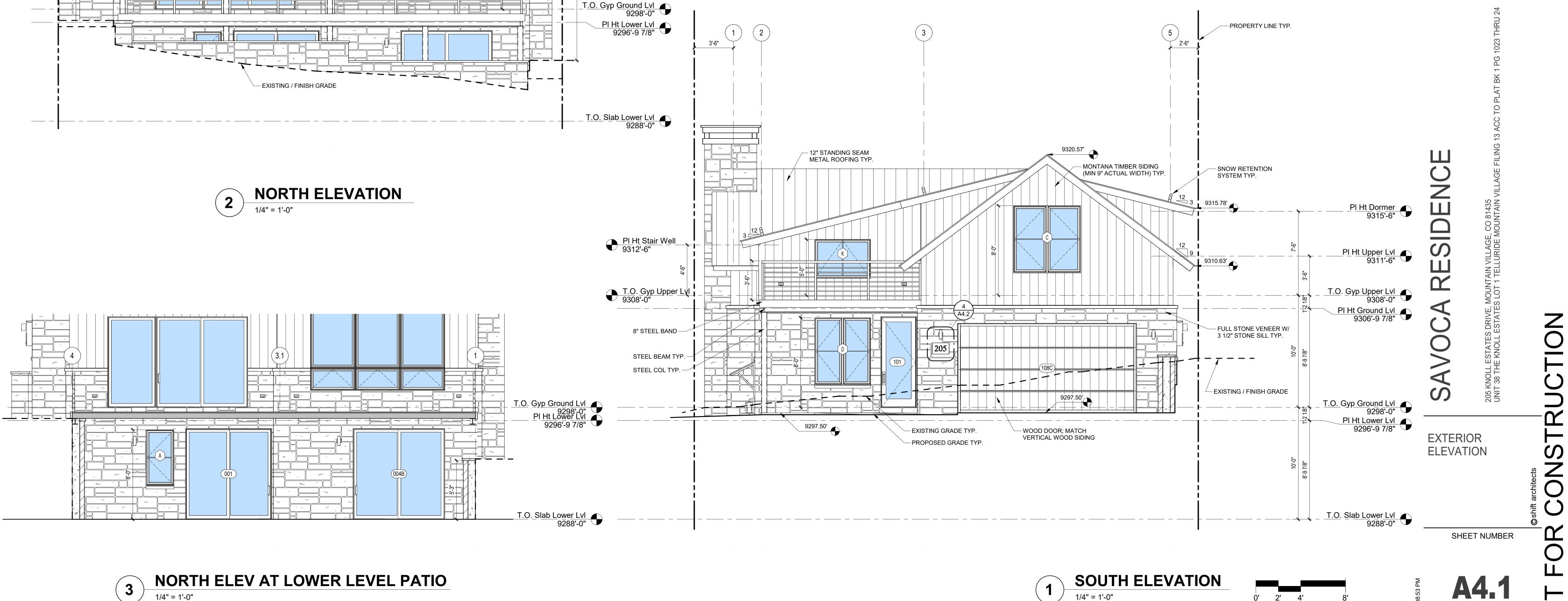




















WIRE BRUSHED - CEDAR SQUARE EDGE, NO PROFILE HORIZONTAL APPLICATION



WINDOWS / DOORS: WINDSOR PINNACLE WOOD CLAD EXTERIOR: STANDARD DARK BRONZE INTERIOR: PRE-PAINTED BLACK

PI Ht Dormer 9315'-6"

PI Ht Upper Lvl 9311'-6"

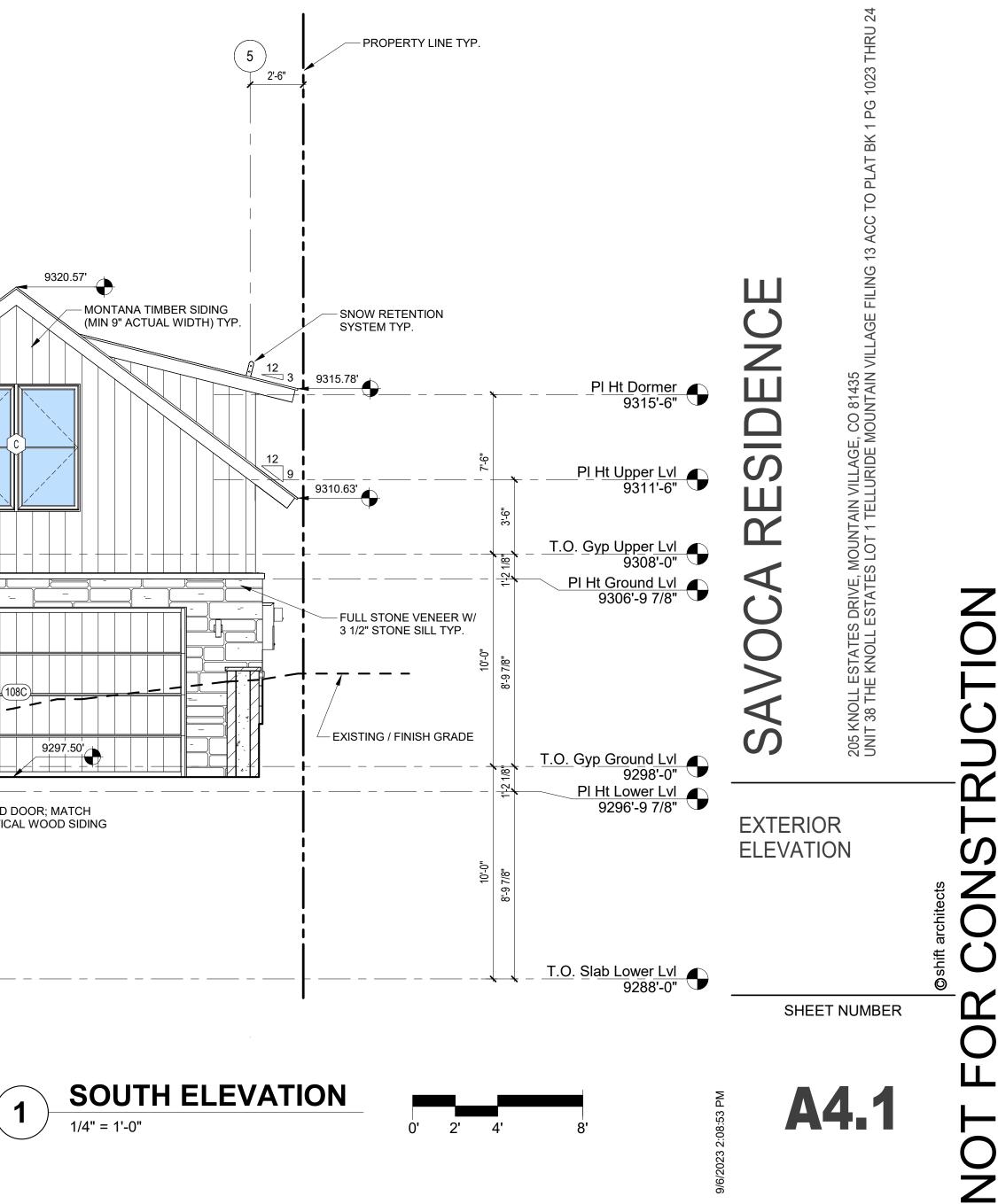
<u>T.O. Gyp Upper Lvl</u> 9308'-0"

PI Ht Ground Lvl 9306'-9 7/8"



<u>ROOFING:</u> PAC-CLAD 150 12" STANDING SEAM METAL ROOFING; DARK BRONZE





WOOD SIDING: MONTANA TIMBER, RANCHWOOD WESTERN 2X10 (10" PROFILE, 9 1/8" FACE)



WOOD DECKING: THERMORY; BENCHMARK ASH 5/4X6 MAX GROOVED (JEM) SPECIES: WHITE ASH INSTALLATION TYPE: HIDDEN COLOR: BROWN (NATURAL)

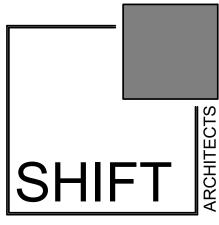
<u>TYPICAL STAIN:</u> NATURAL

<u>STEEL BEAMS / COLUMNS / BRACING:</u> FINISH: BLACK POWDER COATED

<u>FASCIA:</u> 2X8 DOUG FIR FASCIA; 2X6 RAFTER TAILS FINISH: TYPICAL STAIN

<u>SOFFIT:</u> 1X4 T&G PINE FINISH: STAINED; NATURAL

RAILING: STEEL RAILING SYSTEM FINISH: BLACK POWDER COATED



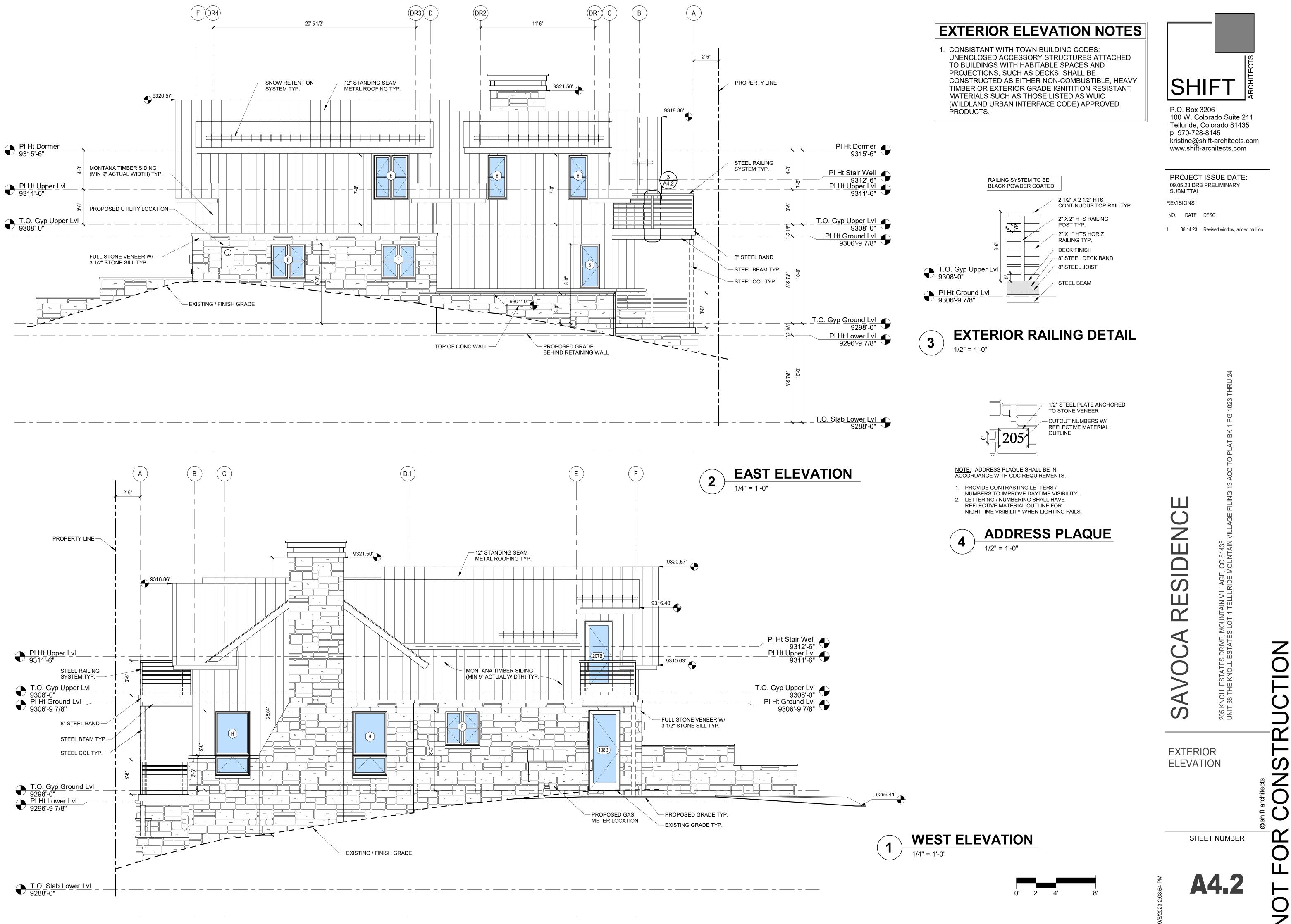
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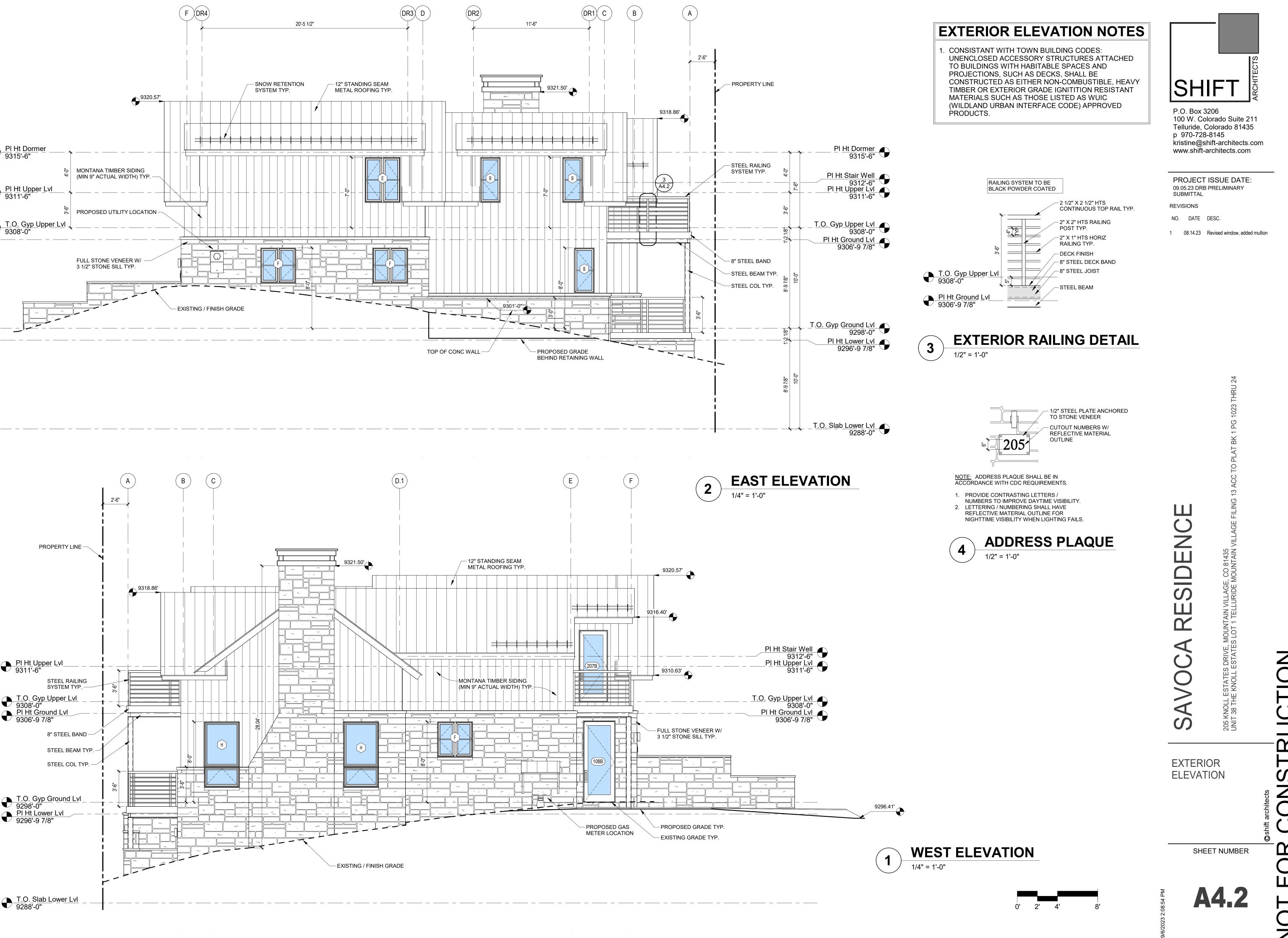
PROJECT ISSUE DATE: 09.05.23 DRB PRELIMINARY SUBMITTAL REVISIONS NO. DATE DESC. 1 08.14.23 Revised window, added mullion

2 08.14.23 Revised window size, added mullion

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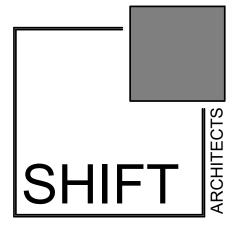












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## SAVOCA RESIDENCE

205 KNOLL ESTATES DRIVE, MOUNTAIN VILLAGE, CO 81435 UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN

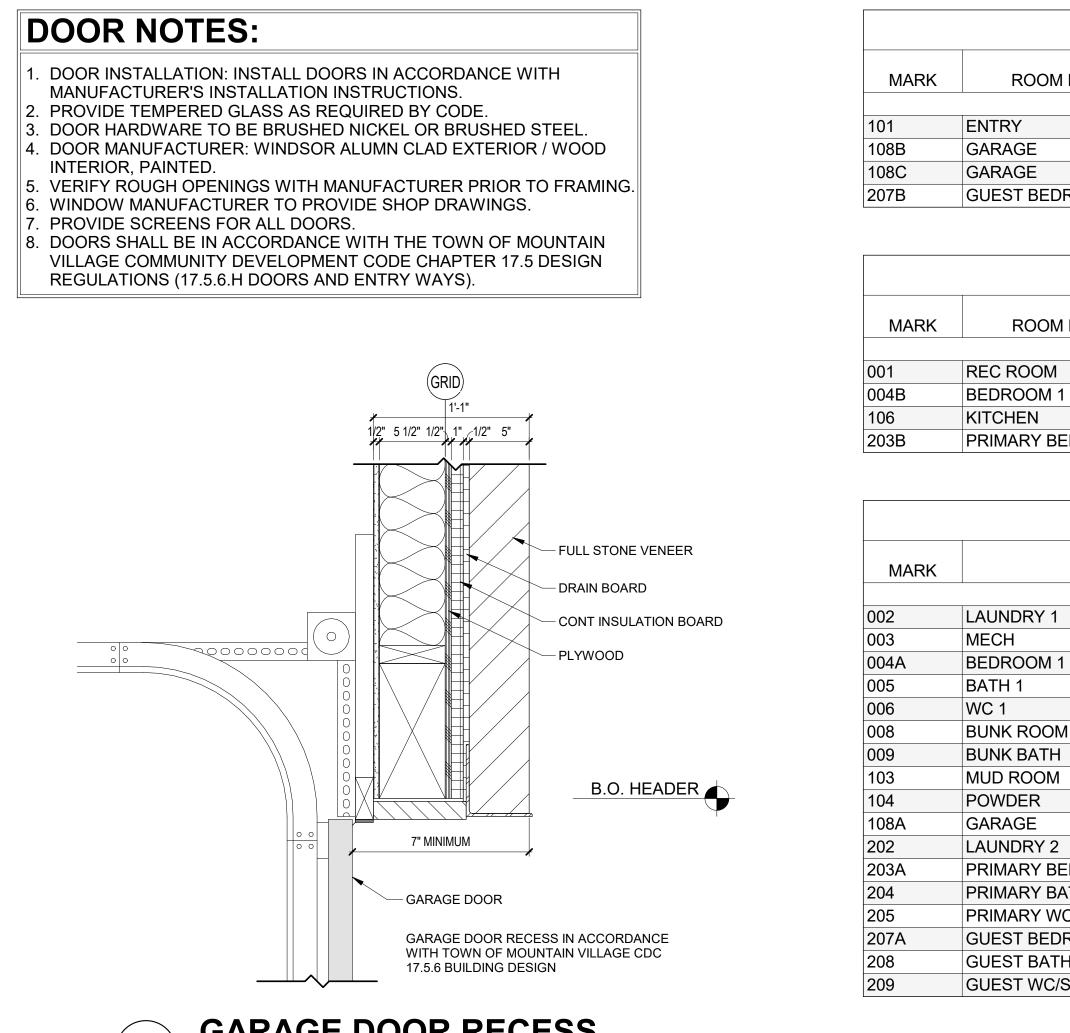
PRESENTATION ELEVATIONS

SHEET NUMBER

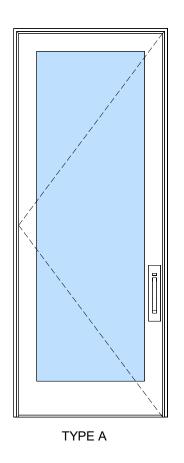


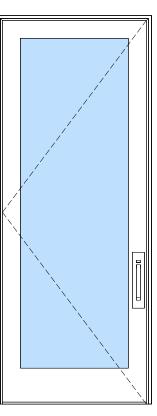


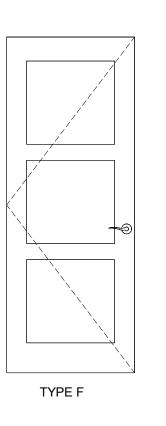
NORTH ELEVATION

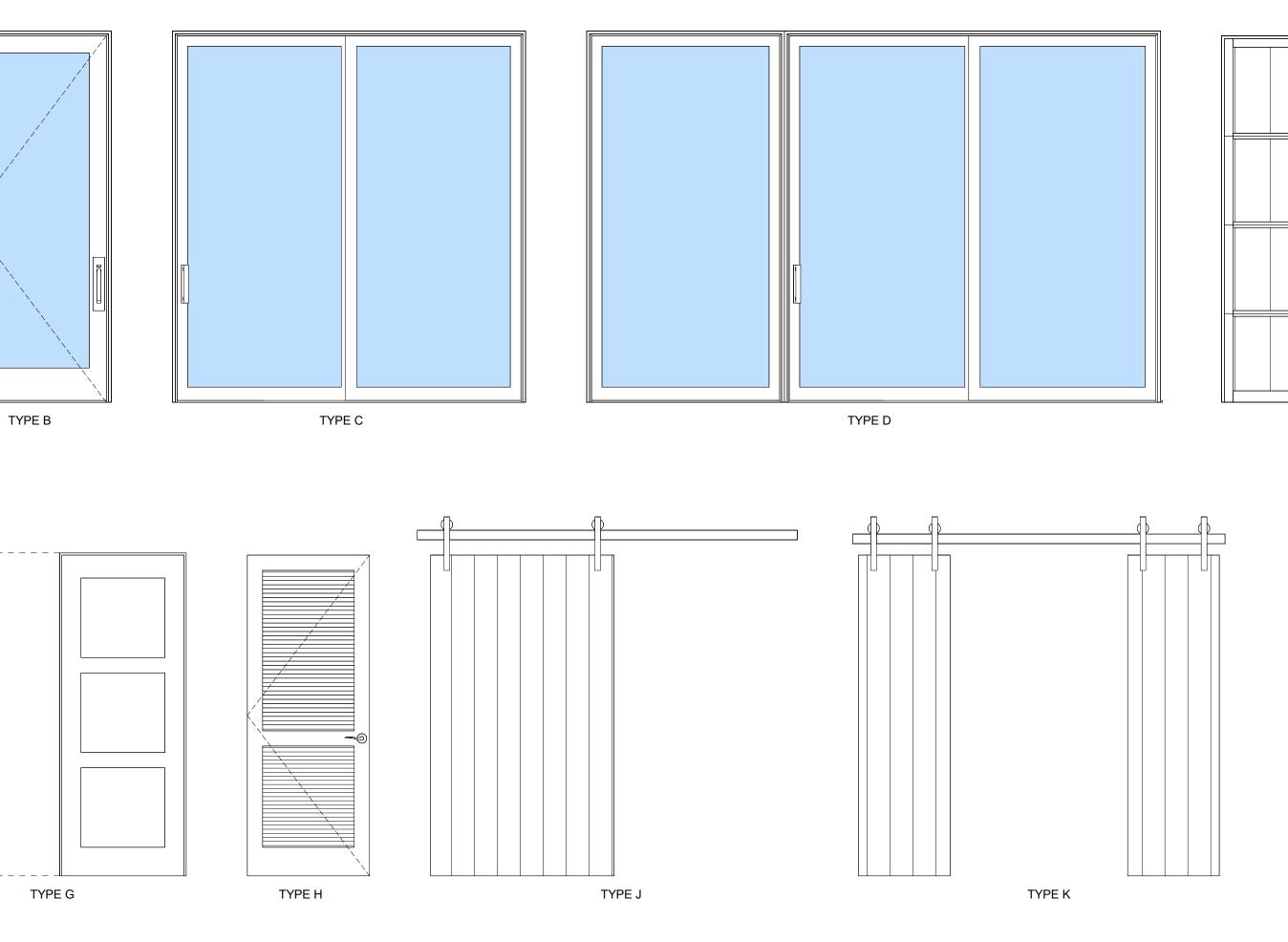












				DOC	OR SCHEDULE EXTERIOR PANEL		
OM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS	
	A	3'-0"	8'-0"	SWING	CUSTOM DOOR T.B.D.		
	В	3'-0"	8'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
	E	16'-0"	8'-0"	OVERHEAD DOOR		VERTICAL WOOD; MATCH SIDING	
EDROOM	В	2'-8"	7'-0"	SWING	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
				DOC	OR SCHEDULE EXTERIOR FRAME		
OM NAME	TYPE MARK	UNITT WIDTH	UNIT HEIGHT	ТҮРЕ	MANUFACTURER	COMMENTS	

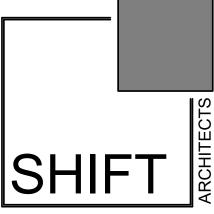
OM NAME	TYPE MARK	WIDTH	HEIGHT	TYPE	MANUFACTURER
М	С	7'-6"	8'-0"	SLIDING PATIO (2 PANEL)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PR
VI 1	С	8'-0"	8'-0"	SLIDING PATIO (2 PANEL)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PR
	D	12'-0"	8'-0"	SLIDING PATIO (3 PANEL)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PF
BEDROOM	С	8'-0"	6'-8"	SLIDING PATIO (2 PANEL)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PF

### **DOOR SCHEDULE INTERIOR PANEL**

ROOM NAME	TYPE MARK	PANEL WIDTH	PANEL HEIGHT	TYPE	MANUFACTURER	COMMENTS
	Ι			1		
Y 1	Н	2'-8"	7'-0"	SWING (ILOUVERED)		
	F	3'-0"	7'-0"	SWING		20 MIN FIRE RATED
M 1	F	2'-8"	7'-0"	SWING		
	F	2'-4"	7'-0"	SWING		
	G	2'-4"	7'-0"	POCKET		
OOM	l	4'-0"	7'-0"	BARN DOOR (SINGLE)		
ТН	F	2'-4"	7'-0"	SWING		
MC	J	4'-0"	7'-0"	BARN DOOR (DOUBLE)		
2	G	2'-4"	7'-0"	POCKET		
	F	3'-0"	7'-0"	SWING		20 MIN FIRE RATED
Y 2	Н	3'-0"	7'-0"	SWING (ILOUVERED)		
/ BEDROOM	F	2'-8"	7'-0"	SWING		
′ BATH	G	2'-6"	7'-0"	POCKET		
′ WC	G	2'-4"	7'-0"	POCKET		
EDROOM	F	2'-8"	7'-0"	SWING		
ATH	F	2'-4"	7'-0"	SWING		
VC/SHW	G	2'-4"	7'-0"	POCKET		

PRE-PAINTED BLACK INTERIOR PRE-PAINTED BLACK INTERIOR PRE-PAINTED BLACK INTERIOR PRE-PAINTED BLACK INTERIOR

TYPE E



. Box 3206 W. Colorado Suite 211 luride, Colorado 81435 70-728-8145 tine@shift-architects.com w.shift-architects.com

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DOOR SCHEDULE

205 KNOLL ESTATES DRIVE, MOUNTAIN VILLAGE, CO 81435 UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN



SHEET NUMBER

**A8.1** 



VINDOW NOTES:	WINDOW SCHEDULE									
WINDOW INSTALLATION: INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.	ROOM NUMBE		TYPE MAR	UNIT K WIDTH	UNIT HEIGHT	TYPE MARK	TYPE	MANUFACTURER	COMMENTS	
PROVIDE TEMPERED GLASS AS REQUIRED BY CODE. SEE ELEVATIONS FOR WINDOW MULLION PATTERN. SEE ELEVATIONS FOR CASEMENT WINDOW SWING.	008	BUNK ROOM	A	2'-6"	5'-0"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
/INDOW MANUFACTURER: WINDSOR PINNACLE ALUMN CLAD XTERIOR / WOOD INTERIOR. PAINTED.	102	STAIRS	D	5'-0"	6'-0"	2	CASEMENT (2 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR	TEMPERED GLASS	
/INDOW HARDWARE TO BE BRUSHED NICKEL OR BRUSHED STEEL.	102	STAIRS	K	5'-0"	3'-6"	6	AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR	TEMPERED GLASS	
/ERIFY ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING. VINDOW MANUFACTURER TO VERIFY WINDOW SWINGS. VINDOW MANUFACTURER TO PROVIDE SHOP DRAWINGS.	104	POWDER	F	3'-6"	3'-6"	2	CASEMENT (2 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
ROVIDE SCREENS FOR ALL OPERABLE WINDOWS.	105	LIVING	G	12'-0"	8'-0"	3	PICTURE O/ AWNING (3 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 6'-0" HT OVER AWNING 2'-0" I	
/ILLAGE COMMUNITY DEVELOPMENT CODE CHAPTER 17.5 DESIGN	105	LIVING	Н	3'-6"	6'-6"	4	PICTURE O/ AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 4'-6" HT OVER AWNING 2'-0"	
EGULATIONS (17.5.6.G GLAZING).	105	LIVING	Н	3'-6"	6'-6"	4	PICTURE O/ AWNING (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR	PICTURE 4'-6" HT OVER AWNING 2'-0"	
	105	LIVING	I	4'-0"	3'-5 1/2"	5	PICTURE (TRAPEZOID)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
	105	LIVING	I	4'-0"	3'-5 1/2"	5	PICTURE (TRAPEZOID)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
(GRID)	105	LIVING	J	4'-0"	6'-5 1/2"	5	PICTURE (PENTOID)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
	107	KITCHEN	В	2'-0"	4'-6"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
5 1/2" 11" 1/2" 5"	108	GARAGE	F	3'-6"	3'-6"	2	CASEMENT (2 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
	108	GARAGE	F	3'-6"	3'-6"		CASEMENT (2 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
	203	PRIMARY BEDROOM	1 B	2'-0"	4'-6"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
CONT INSULATION BOARD	203	PRIMARY BEDROOM	1 B	2'-0"	4'-6"	1	CASEMENT (1 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
DRAIN BOARD	204	PRIMARY BATH	E	3'-6"	4'-6"	2	CASEMENT (2 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		
Full Stone veneer	207	GUEST BEDROOM	С	6'-0"	6'-0"	2	CASEMENT (2 WIDE)	WINDSOR PINNACLE WOOD CLAD; DARK BRONZE EXTERIOR, PRE-PAINTED BLACK INTERIOR		



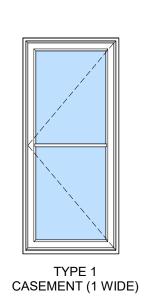
- STONE SILL

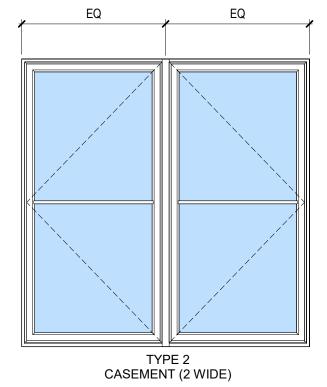
- LOEWEN ALUMN CLAD WOOD WINDOW

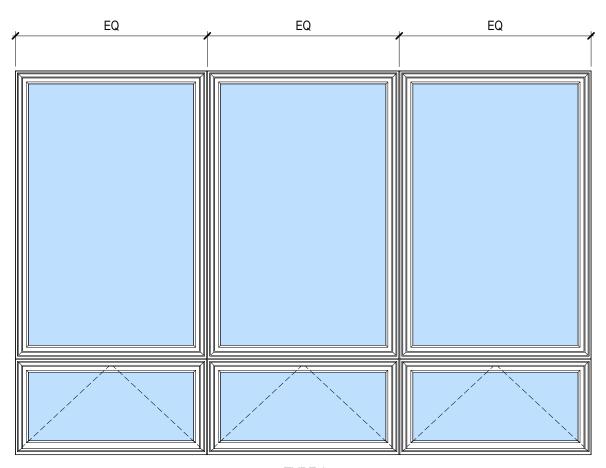


### WINDOW HEAD/SILL STONE VENEER 1 1/2" = 1'-0"

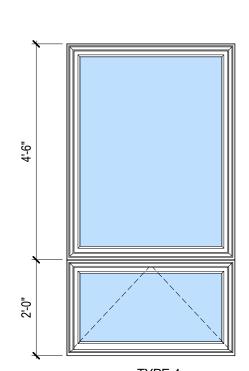
6" +/-5" MIN REQUIRED



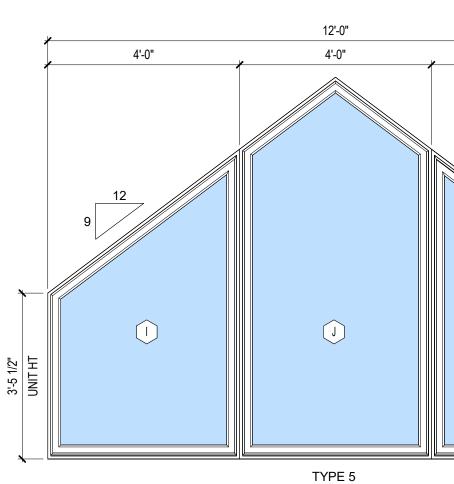




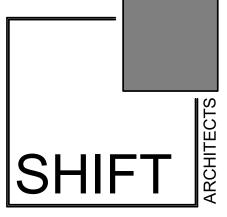
TYPE 3 PICTURE OVER AWNING (3 WIDE)



TYPE 4 PICTURE OVER AWNING (1 WIDE)



TYPE 5 TRAPEZOID / PENTOID / TRAPEZOID (3 WIDE)



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4'-0" 

TYPE 6 AWNING (1 WIDE)



205 KNOLL ESTATES DRIVE, MOUNTAIN VILLAGE, CO 81435 UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE MOUNTAIN

UCTION Oshift architects Oshift archit 0 R NOT F(



SHEET NUMBER





RESIDENCE

SAVOCA

### EXTERIOR FIXTURE X1:

EXTERIOR WALL SCONCE (4 TOTAL)



### LARGE WALL MOUNT LANTERN

BLACK ON ALUMINUM MANUFACTURER ITEM CONSTRUCTION SHADE MATERIAL WIDTH HEIGHT BACK PLATE LIGHT SOURCE BULB TYPE VOLTAGE DARK SKY SAFETY RATING

HINKLEY
2305BK
ALUMINUM
STAINLESS STEEL MESH SHADE
7.3"
21.8"
4.5" W X 8.25" H
LED LAMP
(1) 6.5W MED LED
120 V
COMPLIANT
WET RATED DEFINED BY NEC AND CEC

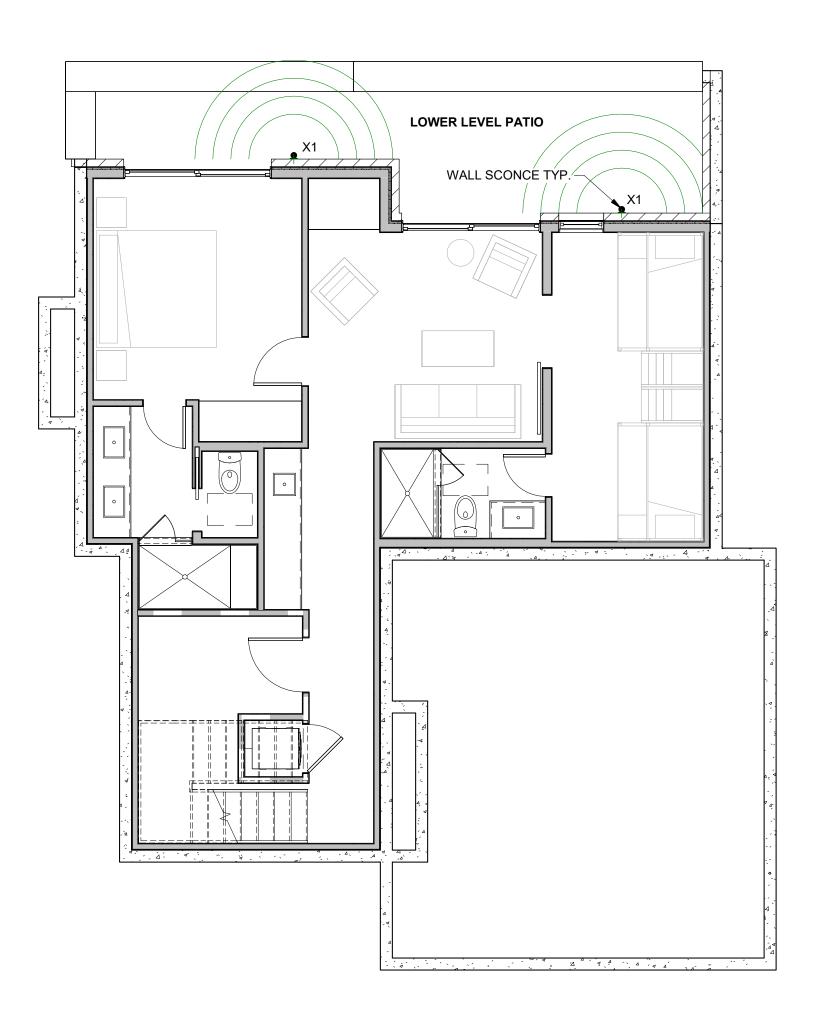
### EXTERIOR FIXTURE X2:

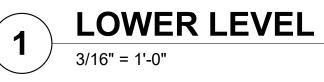
EXTERIOR WALL / STEP LIGHT (8 TOTAL)



### LANDSCAPE LIGHTING LED HORIZONTAL STEP LIGHT

BLACK ON ALUMINUM		
MANUFACTURER	WAC LIGHTING	
ITEM	4011-30-BK	
MATERIAL	CORROSION RESISTANT ALUMINUM ALLOY	
GLASS	FROSTED GLASS DIFFUSER	
WIDTH	5"	
HEIGHT	3"	
DEPTH	1 1/2"	
LUMENS	68	
BEAM SPREAD	50"	
CRI	90	
COLOR TEMP	3000K	
PRIMARY BULB	1 X 2.0 WATTS 2.0 LED	
RATED LIFE	60,000 HOURS	
DIMMABLE	10% - 100% DIMMING	
	WITH ELECTRONIC LOW VOLTAGE (ELV) DIMMER	
VOLTAGE	12V	
LIGHT SOURCE	2 WATT (68 LUMENS) 12 VOLT INTEGRATED LED	
CERTIFICATION	UL1838, IP66 WET LOCATIONS	





### EXTERIOR FIXTURE X3:

CEILING MOUNT TUBE (2 TOTAL)

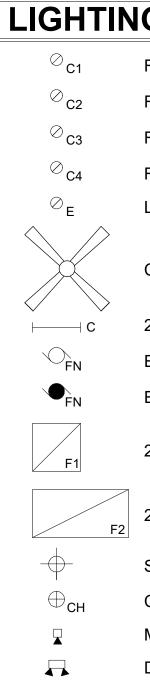


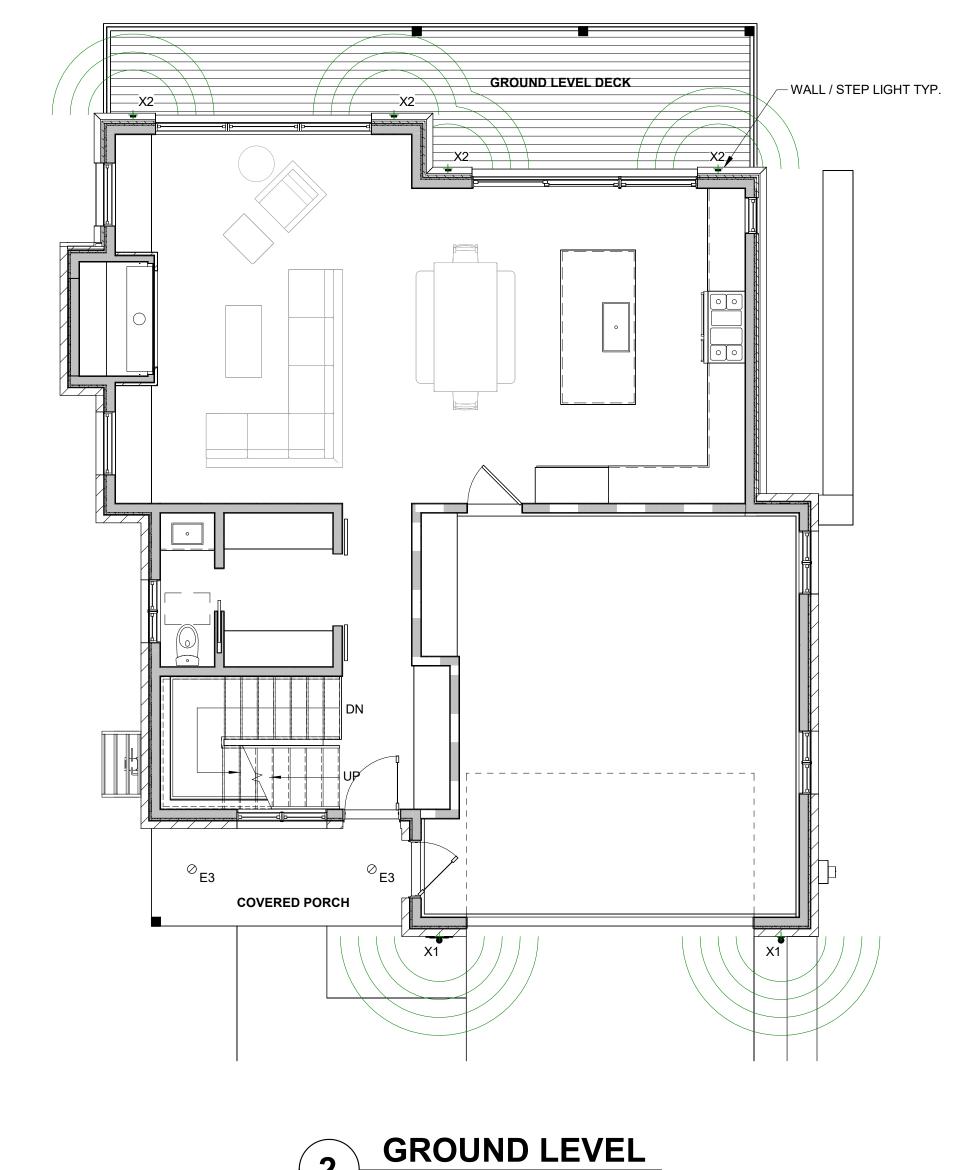
### **TUBE ARCHITECTURAL 5" CEILING MOUNT LIGHT**

BLACK	
MANUFACTURER	WAC LIGHTING
ITEM	DS-CD05-S-CC-BK
MATERIAL	DIE CAST ALUMINUM; ELECT POWDER COATED
WIDTH	4 7/8"
HEIGHT	7 1/8"
DELIVERED LUMENS	735 AT 3000K
BEAM SPREAD	15°
COLOR TEMP / CRI	COLOR CHANGING / 90
CBCP AT 3000K	6186
CCT RANGE	TUNABLE WHITE RANGE: 1650-8000K
RATED LIFE	54,000 HOURS
DIMMABLE	100%-1% IN CCT & COLOR VIA DMX
VOLTAGE	UNIVERSAL 120V-277V, 50/60HZ
LIGHT SOURCE	HIGH OUTPUT 2 STEP MACADAM ELLIPSE LED
CERTIFICATION	IP65 RATED, ETL & cETL WET LOCATION

### **LIGHTING NOTES:**

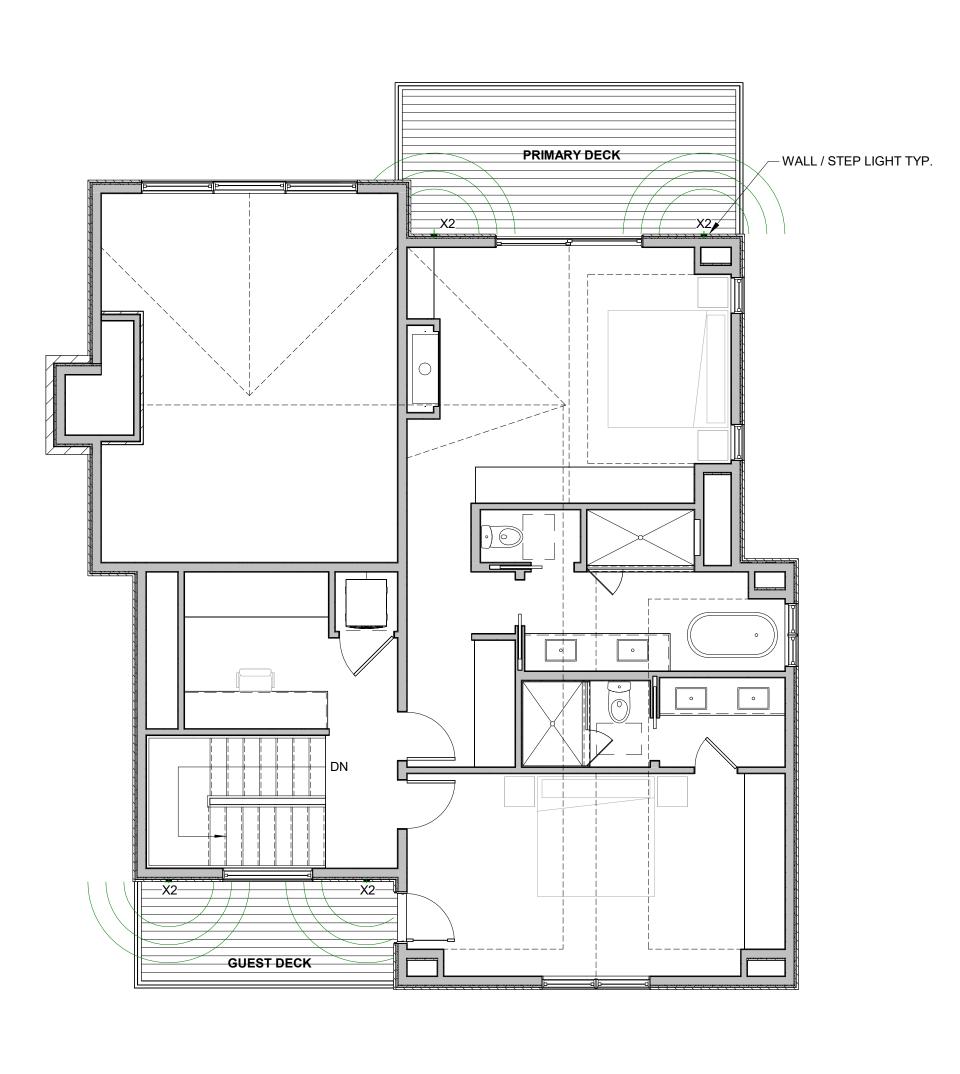
- 1. FIELD VERIFY ALL LIGHTING LOCATIONS.
- 2. TYPICAL LIGHTING LOCATION AT STAIRS: (1 EA) PER LANDING (2 EA) PER RUN
- 3. CONTRACTOR SHALL TAKE CARE IN PLANNING ROUGH FRAMING LAYOUT AS IT RELATES TO THE NEED TO CENTER FIXTURES IN HALLWAYS, RECESSES AND OTHER AREAS WHERE RELATIONSHIPS DON'T OFFER ANY LATITUDE OR FIELD ADJUSTMENTS.
- 4. ALL RECESSED FIXTURES AT INSULATED CEILINGS TO BE IC RATED AND CERTIFIED AIR TIGHT CONSTRUCTION. ALL EXTERIOR FIXTURES, SHOWER FIXTURES AND FIXTURES OVER TUBS TO BE MARKED "SUITABLE FOR DAMP LOCATIONS".
- 5. LIGHTING SHALL BE IN ACCORDANCE WITH TOWN OF MOUNTAIN VILLAGE COMMUNITY DEVELOPMENT CODE 17.5.12 LIGHTING REGULATIONS
- 6. PROVIDE FULL CUT OFF FIXTURES WITH LED 10W 2500K-2700K BULBS PER CDC REQUIREMENTS.
- 7. MOUNT FIXTURES AT 7'-0" AFF MAX PER CDC REQUIREMENTS.
- 8. EXTERIOR LIGHTING ON SECOND AND UPPER FLOORS SHALL REQUIRE EITHER A TIMER OR SENSOR TO REDUCE USAGE AND ENERGY LOSS DURING TIMES OF INACTIVITY.





2

3/16" = 1'-0"



3

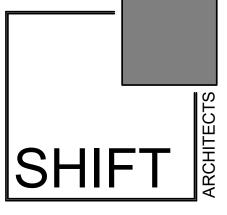
 UPPER LEVEL
 0'
 2'
 4'
 8'
 N

 3/16" = 1'-0"
 0'
 2'
 4'
 8'
 N

### LIGHTING LEGEND

RECESSED CAN	MS
RECESSED CAN; DIRECTIONAL	° <sub>P</sub>
RECESSED CAN; WET LOCATIONS	— – – – <sub>UC</sub>
RECESSED CAN; LOW PROFILE	R
LIGHT; EXTERIOR	$\oplus^{TL}$
	⊕FL
CEILING FAN CEILING FAN W/ LIGHT	
2' LINEAR CLOSET FIXTURE	S
EXHAUST FAN	ST
EXHAUST FAN WITH LIGHT	<sup>ې</sup> 2
	<sup>ې</sup> 3
2'X2' FLUSH MOUNT LED LIGHT	TV
2'X4' FLUSH MOUNT LED LIGHT	— - — - — WG
	<u> </u>
SURFACE MOUNT FIXTURE	<b>_</b> X2
CHANDELIER	
MONO POINT FIXTURE	
DOUBLE HEADED MONO POINT	

MOTION SENSOR PENDANT UNDER CABINET LED STRIP RECESSED LED LIGHT TABLE LAMP RECEPTACLE FLOOR LAMP RECEPTACLE OUTLET WITH USB WALL MOUNTED SCONCE STEP LIGHT TWO WAY SWITCH THREE WAY SWITCH TV OUTLET G WALL GRAZING EXTERIOR SCONCE EXTERIOR WALL / STEP FIXTURE LAYOUT GRID



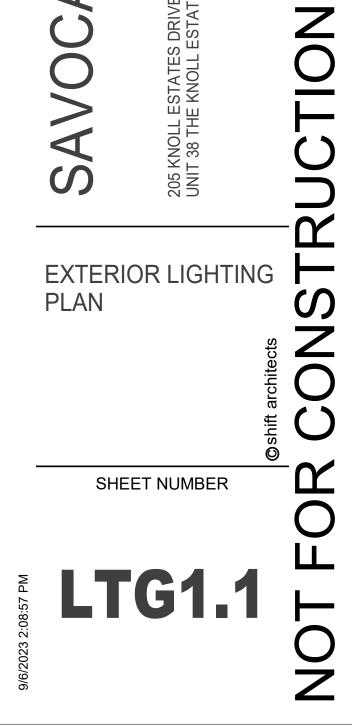
P.O. Box 3206 100 W. Colorado Suite 211 Telluride, Colorado 81435 p 970-728-8145 kristine@shift-architects.com www.shift-architects.com

PROJECT ISSUE DATE: 09.05.23 DRB PRELIMINARY SUBMITTAL REVISIONS NO. DATE DESC.

RESIDENCE SAVOCA

EXTERIOR LIGHTING PLAN

205 KNOLL ESTATES DRIVE, MOUNTAIN VILLAGE, UNIT 38 THE KNOLL ESTATES LOT 1 TELLURIDE N



SHEET NUMBER



AGENDA ITEM 5 PLANNING & DEVELOPMENT SERVICE PLANNING DIVISON 455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 728-1392

- **TO:** Mountain Village Design Review Board
- FROM: Drew Nelson, Senior Planner
- FOR: Design Review Board Public Hearing; January 4, 2024
- DATE: December 27, 2023
- **RE:** Staff Memo Conditional Use Permit Application, Lot SS811, 2 Mountain Village Boulevard pursuant to CDC Section 17.4.14

### APPLICATION OVERVIEW: Conditional Use Permit for Driveway Construction and Use on Tract OSP-18A

### PROJECT GEOGRAPHY

Legal Description: Tract OSP-18A, Telluride Mountain Village, according to the plat recorded August 23, 1993 in Plat Book 1 at page 1553, County of San Miguel, State of Colorado. Address: 2 Mountain Village

Boulevard **Applicant/Agent:** Ankur Patel, 2 MV Blvd LLC **Owner:** Chad Horning, TSG Ski & Golf, LLC.

Zoning: Open Space Existing Use: Open Space Proposed Use: Open Space and Driveway

Lot Size: 1.231 acres

Adjacent Land Uses:

- North: Mountain Village Boulevard, Open Space
- South: Vacant / Proposed Single-Family
- East: Open Space
- West: Open Space



Figure 1: Vicinity Map, OSP-18A (north) and SS811 (south)

### **ATTACHMENTS**

Exbibit A: Sight Distance Analysis Exhibit B: Narrative from Chris Hazen, Wetlands Specialist Exhibit C: Applicant Narrative (11.30.22)

- 1. Existing conditions
- 2. Encroachment Agreement
- 3. Easement Agreement
- 4. Army Corps Correspondence

Exhibit D: Alternative Driveway Access from Arizona St

Exhibit E: Staff and Public Comment

**<u>Case Summary</u>**: Ankur Patel of 2 MV Blvd LLC, on behalf of Chad Horning of TSG Ski & Golf, LLC is requesting Design Review Board (DRB) approval of a Conditional Use Permit Application for construction of a driveway on Tract OSP-18A. The construction of a driveway is to serve as access to an approved single-family home on Lot SS811, 2 Mountain Village Boulevard.

The Conditional Use Permit application is required for construction of a driveway on Tract OSP-18A, which is zoned as dedicated open space. Tract OSP-18A is situated between Lot SS811 and Mountain Village Boulevard. Both OSP-18A and Lot SS811 contain wetlands, which has been significantly considered in the design of the proposed home on SS811.

The driveway location on Lot OSP-18A is proposed in an effort to avoid impacts to significant wetlands that encompass Lot SS811. Wetlands are present along the eastern portion of SS811 and in areas adjacent to Arizona Drive, the other public roadway that could reasonably provide access to the site.

A wetland delineation was conducted in 2014, as shown on the existing conditions map dated 6/11/21 in the application materials (Exhibit A). Per the "Finkbeiner Report" conducted by the Environmental Protection Agency in 1990, a comprehensive assessment of wetlands and wetland impacts for the Town of Mountain Village, the sedge-willow wetland that spans the two land tracts is 2.08 acres. Tract OSP-18A is approximately 1.231 acres. An updated preliminary wetlands delineation was submitted with the application for development on SS811, which includes updated mapping and analysis. This analysis was completed in the fall of 2022. The proposed driveway would impact approximately 200 sq ft of the wetland along Mountain Village Boulevard.

**Applicable CDC Requirement Analysis:** The applicable requirements cited below follow CDC Section 17.4.14.D Conditional Use Permits, Criteria for Decision and 17.4.14.E General Standards for Review. *Please note that Staff comments will be indicated by* Blue Text.

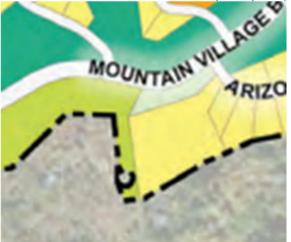
### 17.4.14.D. Criteria for Decision.

Section 17.4.14.D contains nine criteria which must be met for approval of a Conditional Use Permit. Staff has described the criteria in relation to the proposed development below.

### Conformity with Policies, Principles, and Actions of Comprehensive Plan

The predominate land uses in the Future Land Use Map of the Comprehensive Plan are "Single-Family" and "Active Open Space (Limited Use Golf Course, Full Use Ski Resort, and Limited Use Ski Resort) Tract OSP-18A is currently zoned Active Open Space and located between Mountain Village Boulevard and a vacant lot that is designated and zoned as single-family residential. The proposed driveway on Tract OSP-18 would be used for access to a proposed single-family home and otherwise remain as open space.

The future land-use map shows OSP-18A as Resource Conservation Active Open Space. Though the future land use categories don't apply until the property is re-zoned, resource conservation does allow for access as an allowable use per the use table (without a CUP). See below (resource conservation is shown in pale green, vs. olive green for passive open space and kelly green for Limited Use Golf Course active open space):



It could be inferred that the previous drafters of the Comprehensive Plan recognized the proposed access and existing easement across OSP-18A and that is why the future land use category differs from that of the surrounding open space.

### Compatibility and Impacts to Surrounding Land Uses

Surrounding land uses are single-family residential or both passive and active open space. The proposed development on SS811 would take access from Mountain Village Boulevard via Tract OSP-18A or from Arizona Drive. The proposed driveway on Tract OSP-18A would minimize impacts to wetlands to a reasonable extent. Construction of a driveway from Arizona Drive would impose more substantial impacts to wetlands or require the construction of a bridge. This option has been determined by the applicant to be the least impactful alternative.

### Physical Hazards to Neighborhood, Public Facilities, Infrastructure, or Open Space

The construction of a driveway is considered a typical development activity and will not present a substantial physical hazard to any neighborhood, public facilities, or infrastructure or open space. The applicant has also conducted a line-of-sight study comparing access between the proposed driveway location off Mountain Village Blvd. and the intersection of Arizona Street with Mountain Village Blvd. It appears that the site line of the proposed driveway location is slightly better than that of the Arizona St. intersection.

### Significant Adverse Effect to Surrounding Property Owners and Uses

A driveway is necessary for access to the property at Lot SS811. Depending on where access is located, it affects neighboring properties differently. A driveway off of Arizona Drive (orange arrow below) would be highly visible to the owners of Lot 810C. A driveway off of Mountain Village Blvd. presents a new development pattern, as there are no other single-family driveways with direct access to Mountain Village Blvd. until you get beyond the Village Center. DRB should discuss

whether granting of a CUP on Lot OSP 18A presents significant adverse effects to surrounding properties.



### Significant Adverse Effect on Open Space

Tract OSP-18 is approximately 1.231 acres in size. As demonstrated by the Site Grading and Drainage Plan in the application materials for Lot SS811, the proposed driveway runs north to south from Mountain Village Boulevard to Lot SS811.

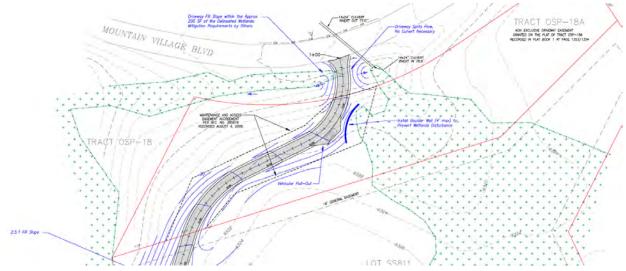


Figure 2: Site Grading and Drainage Plan, per application materials for Lot SS811

Tract OSP-18A is a lot that lies between a primary ingress and egress road to the Town of Mountain Village (Highway 145) and a proposed single-family home. While the lot does prohibit development and therefore preserves open space, it is not a contiguous, large tract of land that is being unreasonably fragmented by the driveway, since development already occurs on all sides.

Although the proposed driveway will cause construction in an open space tract, the location is chosen as it is deemed to be the least impactful to wetlands, which are an important feature of open space and the immediate area.

### Adverse Environmental and Visual Impacts

A planning alternatives exercise was conducted in 2014/15, to analyze access to the property from either Arizona Drive or Mountain Village Boulevard. It was determined at that time that the access point off Mountain Village Boulevard created the least impact to wetlands. As stated in the Practicable Analysis in Exhibit A, "Access off Arizona Drive would require a 20' x 180' driveway (approximately 3,600 sq. ft.), which would have direct impacts to wetlands and could potentially impact hydrology of adjacent areas due to disruption of groundwater movement." This study was referenced and used as rationale by the applicant of Lot SS811 in determining the most appropriate access to the site.

Following the alternatives exercise, the owner of Lot SS811 prepared a design for access off Mountain Village Boulevard and obtained a permit from the Army Corps of Engineers for impacts to the wetland (see Exhibit A). The issuance of the permit was based on the fact that the "least impactful" alternative had been selected for access. Note that this permit was valid for two years and expired in 2017.

The applicant of Lot SS811 has provided site plans demonstrating the proposed driveway on OSP-18 would impact approximately 200 sq. ft. of wetlands. The DRB found during the November 3, 2022, meeting that this is the least impactful option. The applicant has provided a sight distance analysis (dated October 13, 2023), which indicates that the preferred access from Mountain Village Boulevard would provide better sight distance when turning movements are going to be made onto the street from the proposed driveway over Arizona Drive.

Despite recent changes to federal rules with regard to wetlands, the Town of Mountain Village is still a participant in the Consent Decree with the Environmental Protection Agency from 1997. This Consent Decree requires that the Town be an active partner in regulating wetlands in conformance with the Clean Water Act, the Colorado Water Quality Control Act, and the Town's Wetlands Regulations in Section 17.6.1.B. of the CDC.

### Adequate Infrastructure

The driveway provides adequate infrastructure for the intended use. Additionally, the revised sight distance study along Mountain Village Boulevard has been included in Exhibit A. Sight distances were determined for both a passenger vehicle and a small box truck at the height of the driver. The analysis was completed in both directions, east and west. LSC Transportation Consultants, Inc. summarized their study by saying, "The existing sight distance along Mountain Village Boulevard from both the preferred location and via Arizona Street are acceptable, but the sight distance to the east is slightly better for the preferred site access directly to Mountain Village Boulevard. The applicant requests access directly to Mountain Village Boulevard."

### Damage or Contamination to Public, Private, Residential, or Agricultural Water Supply

Although wetlands are necessary for the recharge and health of groundwater, the wetland is not used as a direct water supply. It is therefore determined the access driveway will not contaminate

or damage any water supply sources. Additionally, the location of the driveway compared to Arizona Street will have a minimal impact on the wetland and can be mitigated effectively.

### Applicable Town Regulations and Standards

Tract OSP-18A is located in an area currently classified as "Full Use Ski Resort Active Open Space (Class 3 AOS)". The use of land classified as Class 3 AOS for an access road or driveway requires a conditional use permit.

The owner of Lot SS811 has an access easement through OSP-18A from TSG Ski & Golf, LLC, for the use of a driveway to Lot SS811. This easement was recorded with San Miguel County on August 4, 2006. Additionally, the Town Council approved a right-of-way encroachment agreement for an address monument on Mountain Village Boulevard associated with Lot SS811 in 2015 (Resolution Number 2015-0820-16), which reflects that a driveway was contemplated to take access from Mountain Village Boulevard at that time.

### 17.4.14.E. General Standards for Review

The location of a conditional use shall best serve the proposed use while minimizing potential adverse impacts.

Two access alternatives have been contemplated for the development of Lot SS811 as a singlefamily residence. Constructing a driveway through Tract OSP-18A is deemed to be the least adverse option. This option has the smallest physical impact to wetlands, which are considered a critical natural feature to protect.

**Staff Recommendation:** Staff recommends the DRB recommend approval of the Conditional Use Permit with conditions to Town Council.

Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

### **Proposed Motion:**

If the DRB wants to make a recommendation of approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to recommend approval to Town Council for a Conditional Use for a driveway access on Lot OSP-18A to the adjacent Lot SS811, based on the evidence provided in the staff record of memo dated December 26, 2023, and the findings of this meeting with the following conditions:

- 1) Prior to building permit the applicant shall provide an updated wetland delineation.
- 2) Prior to building permit the applicant shall obtain approval and any necessary federal permits for any proposed wetland disturbances.
- 3) If no federal approval is required, the applicant will submit detailed plans regarding any wetland disturbance for staff review and approval in coordination with a contracted wetland consultant.
- 4) Lot OSP-18A shall not be used for the storage of any materials, vehicles, or any other items related to the construction of the home on Lot SS811. All construction activity related to development on SS811 shall be located on that parcel.
- 5) To mitigate the impact to wetlands on OSP-18A, the applicant shall provide a replacement wetland of equal or greater size as well as an agreement with the Town in a form to be

approved by the Town Attorney to guarantee functioning of the replacement wetland in perpetuity.

6) Should the Conditional Use Permit be denied by the Town Council, all Design Review Board approvals shall be deemed null and void for development on Tract OSP-18A and Lot SS811.



1889 York Street Denver, CO 80206 (303) 333-1105 FAX (303) 333-1107 E-mail: lsc@lscdenver.com

October 13, 2023

Mr. Matthew Shear 2 MV, LLC <u>matthew@vaulthomecollection.com</u>

> Re: SS811/2MV Sight Distance Evaluation Mountain Village, CO LSC #230400

Dear Mr. Shear:

Per your request, we have completed this sight distance evaluation along Mountain Village Boulevard for the proposed SS811/2MV development in Mountain Village, Colorado. Figure 1 shows the vicinity map for the site.

### INTRODUCTION

The purpose of this letter is to evaluate the sight distance along Mountain Village Boulevard from both the preferred location directly to Mountain Village Boulevard and a less desired option via the Mountain Village Boulevard/Arizona Street intersection. Figure 2 shows the study area, existing topography, and the two site access options.

### SIGHT DISTANCE EVALUATION FOR SITE ACCESS DIRECTLY TO MOUNTAIN VILLAGE BOULEVARD (PREFERRED SCENARIO)

### **Looking East**

Figure 3 shows a photo looking east along Mountain Village Boulevard from near the preferred site access intersection. The required entering sight distance for a posted speed limit of 30 mph would be 300 feet for passenger vehicles and 390 feet for single-unit (box) trucks. It is important to note the passenger vehicles approaching from the east have a minimum required stopping sight distance of only 200 feet.

### **Looking West**

Figure 4 shows a photo looking west along Mountain Village Boulevard from near the preferred site access intersection. The required entering sight distance for a posted speed limit of 30 mph would be 300 feet for passenger vehicles and 390 feet for single-unit (box) trucks. It is important to note the passenger vehicles approaching from the west have a minimum required stopping sight distance of only 200 feet.

### **Plan and Profile View**

Figure 5 shows the lines of sight plotted on a Plan/Profile sheet. It shows acceptable sight distance is available for passenger cars and single-unit trucks. The approaching passenger vehicles have a stopping sight distance requirement of only 200 feet which is also available.

### SIGHT DISTANCE EVALUATION FOR SITE ACCESS ON ARIZONA STREET (LESS DESIRED SCENARIO)

### **Looking East**

Figure 6 shows a photo looking east along Mountain Village Boulevard from the intersection with Arizona Street. The required entering sight distance for a posted speed limit of 30 mph would be 300 feet for passenger vehicles and 390 feet for single-unit (box) trucks. It is important to note the passenger vehicles approaching from the east have a minimum required stopping sight distance of only 200 feet.

### **Looking West**

Figure 7 shows a photo looking west along Mountain Village Boulevard from the intersection with Arizona Street. The required entering sight distance for a posted speed limit of 30 mph would be 300 feet for passenger vehicles and 390 feet for single-unit (box) trucks. It is important to note the passenger vehicles approaching from the west have a minimum required stopping sight distance of only 200 feet.

### **Plan and Profile View**

Figure 8 shows the lines of sight plotted on a Plan/Profile sheet. It shows acceptable sight distance is available for passenger cars and single-unit trucks. The approaching passenger vehicles have a stopping sight distance requirement of only 200 feet which is also available.

### CONCLUSION

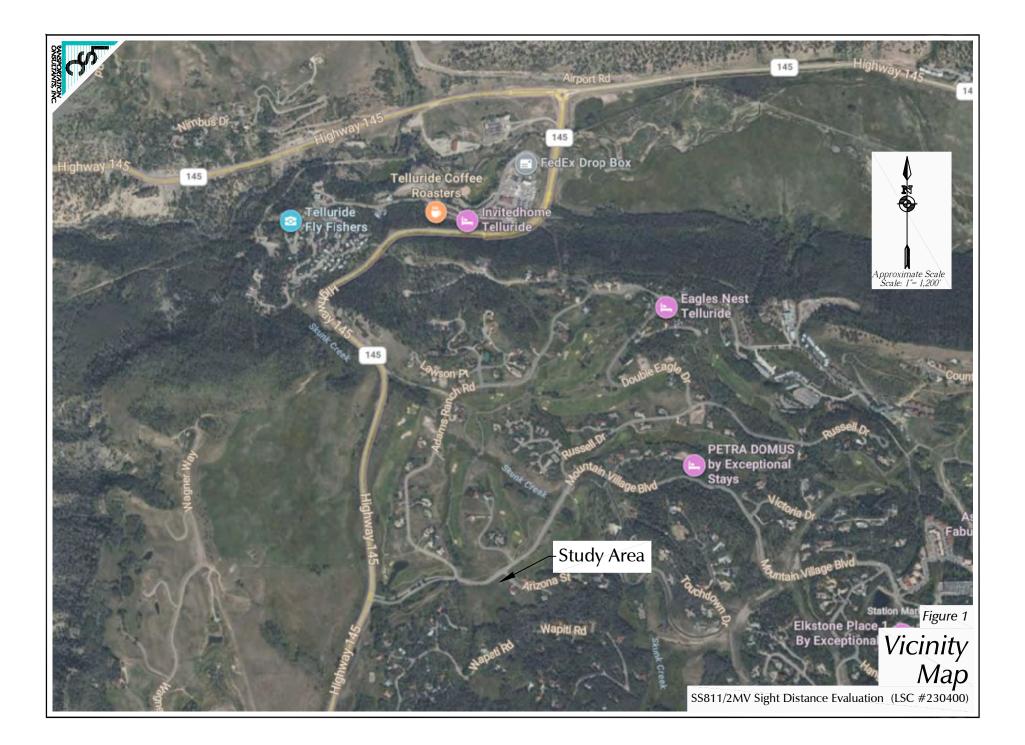
The existing sight distance along Mountain Village Boulevard from both the preferred location and via Arizona Street are acceptable, but the sight distance to the east is slightly better for the preferred site access directly to Mountain Village Boulevard. The applicant requests access directly to Mountain Village Boulevard.

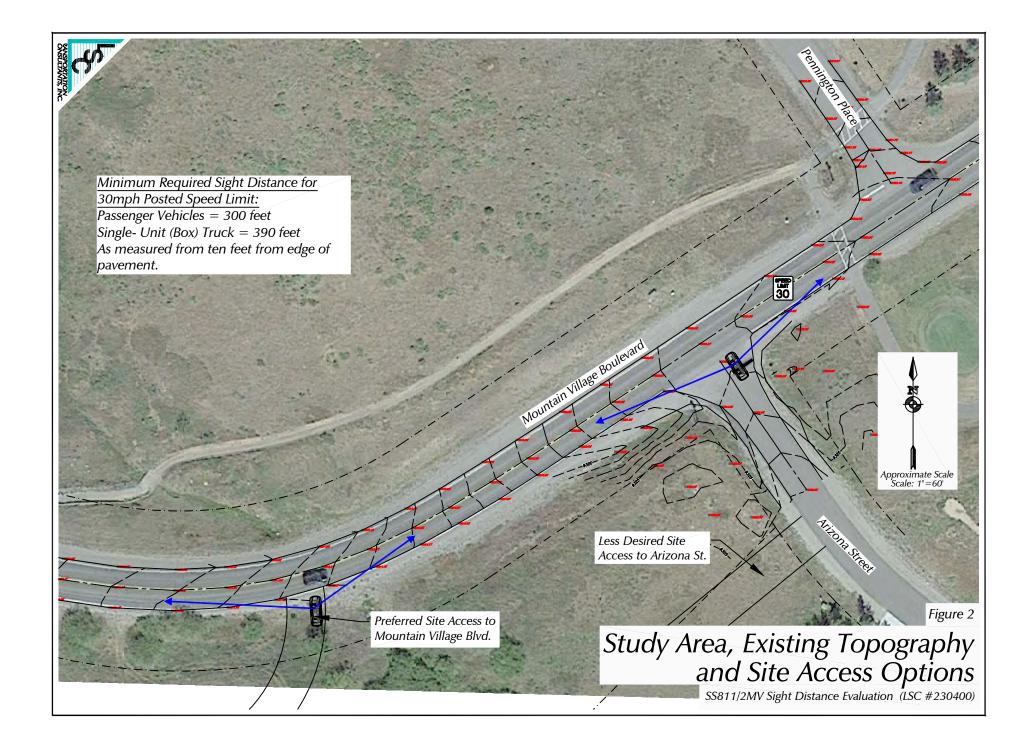
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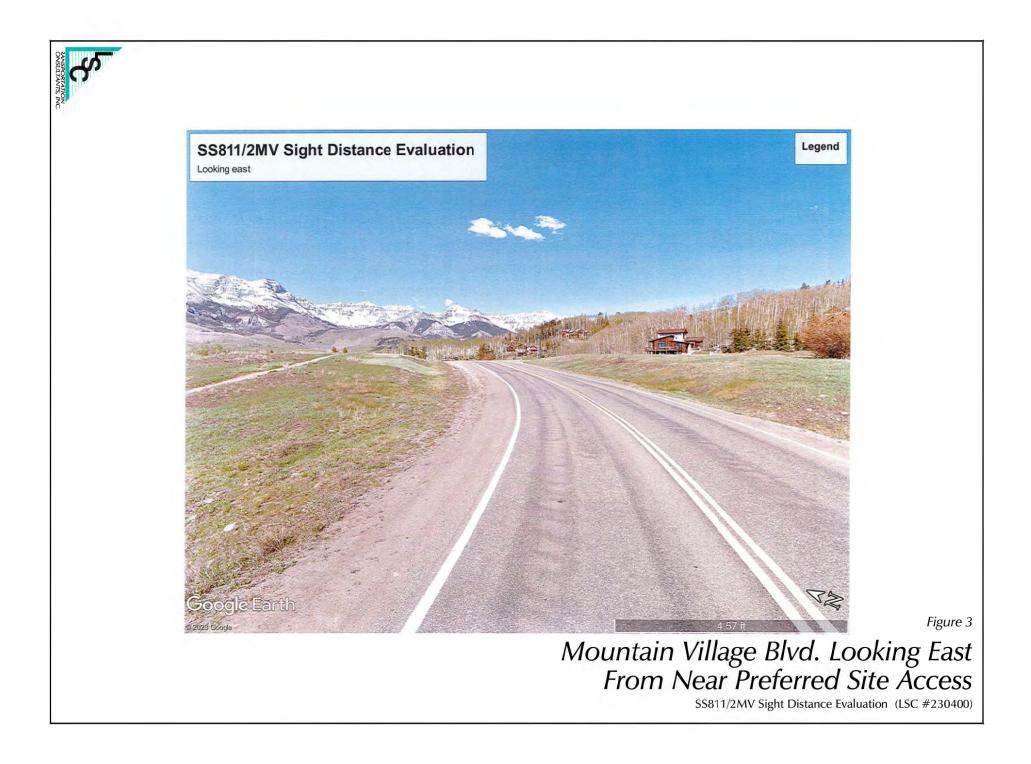
We trust this information will assist you in planning for access to the SS811/2MV development.

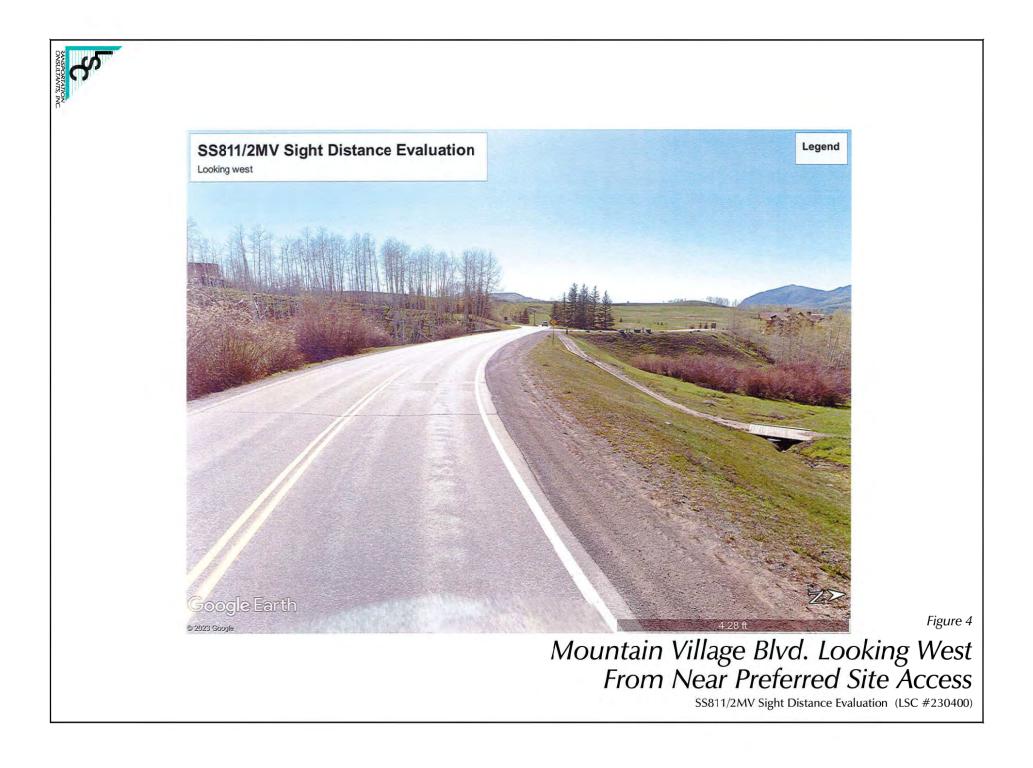
Respectfully submitted LSC Transport Inc. By: ( Christopher P.E. Principal/Pres 10-13-23 CSM/wc

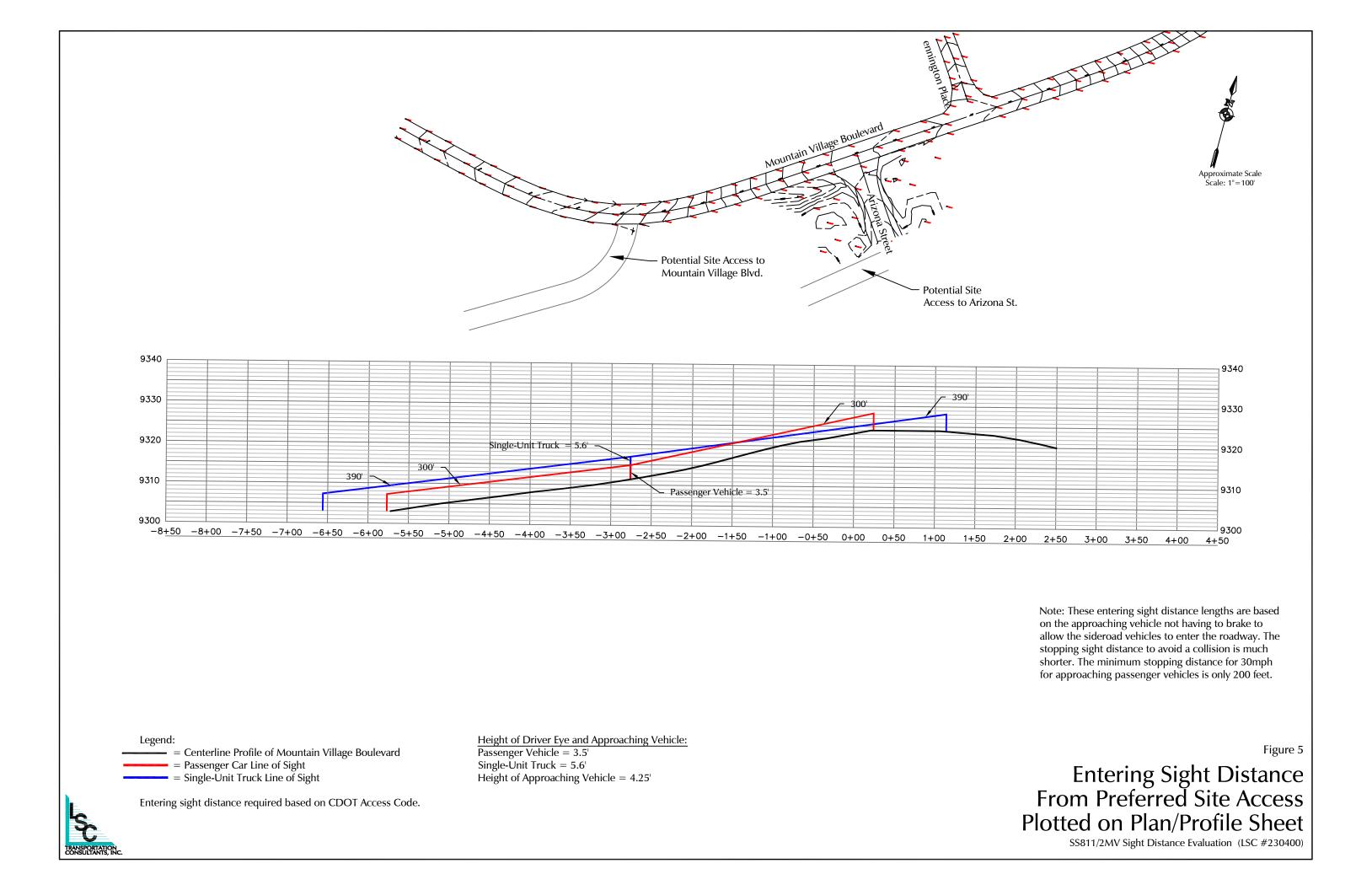
### Enclosures: Figures 1 - 8



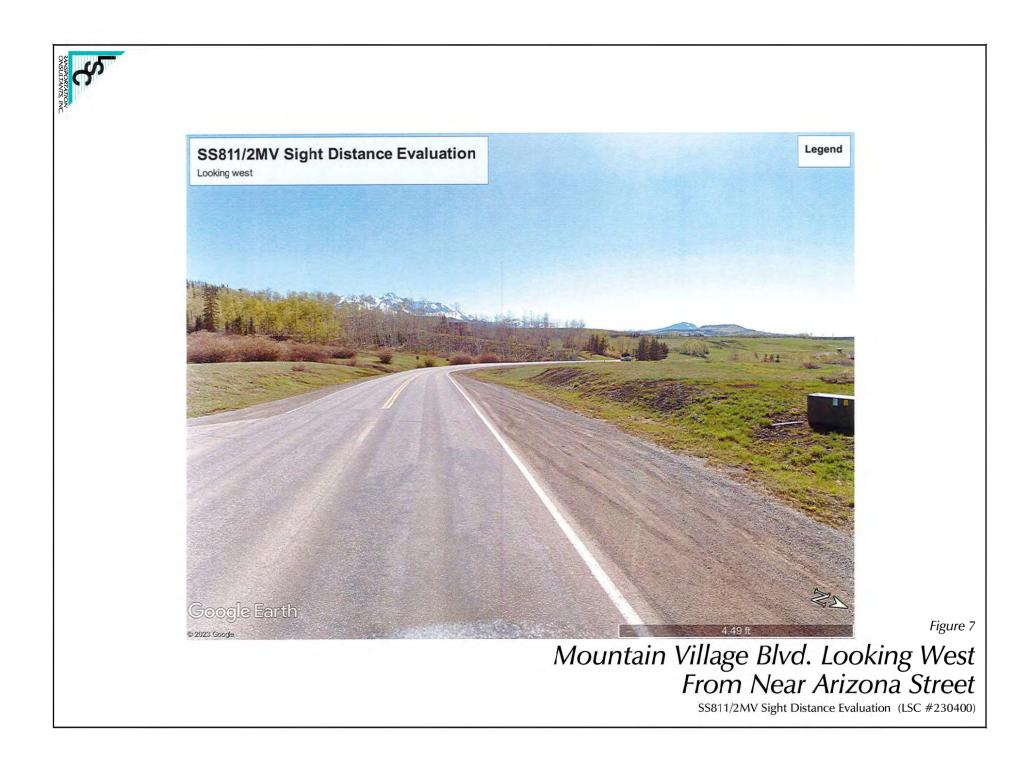


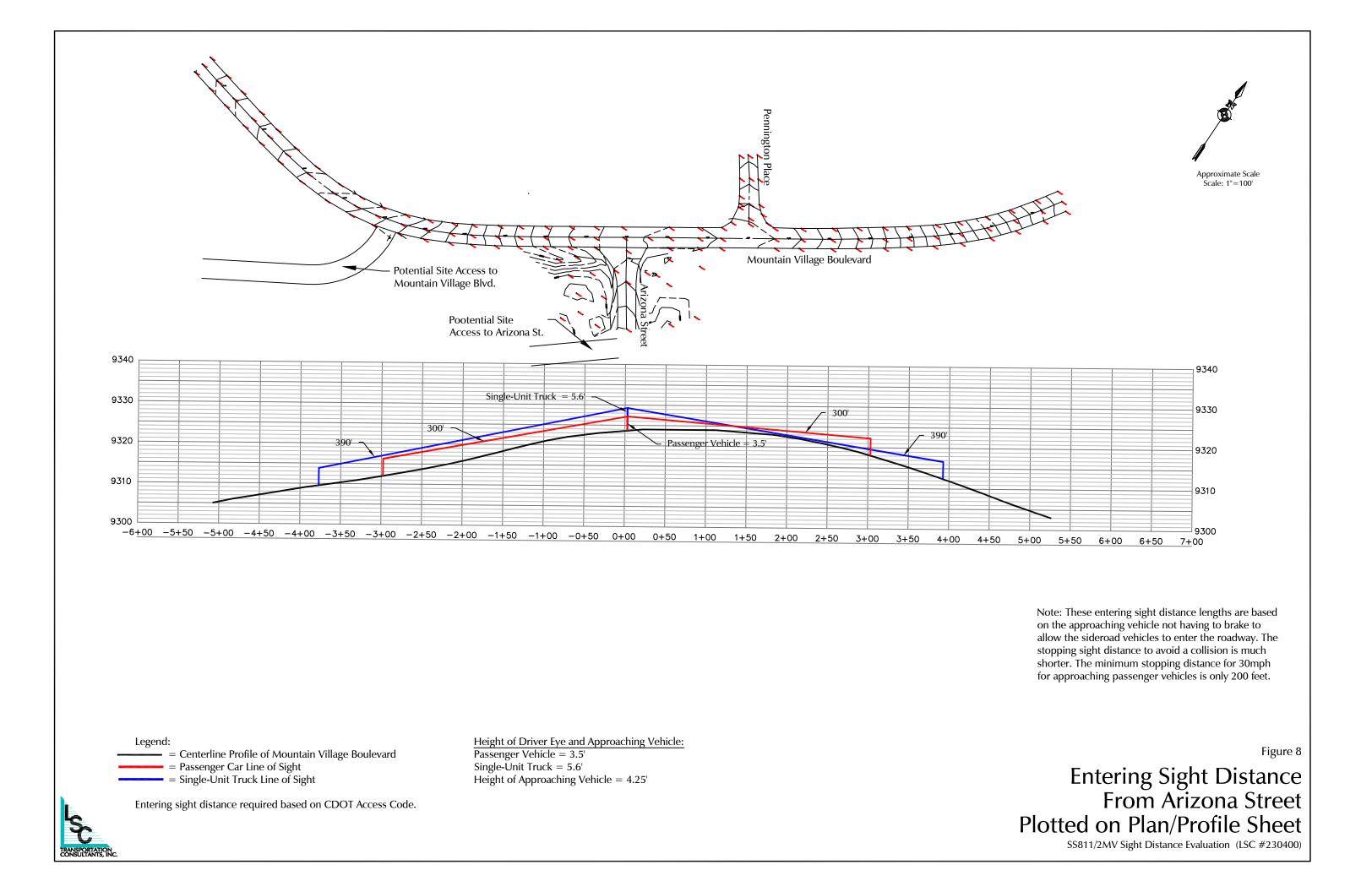












### EXHIBIT B

Lot SS811 was originally platted as a school site with a planned access/driveway off of Arizona Drive. In 2014/15, Davis Fansler (owner of SS811at the time) sought to evaluate access options to Lot 811, and engaged Chris Hazen of The Terra Firm, Inc. to conduct a comprehensive wetland delineation on the site and to evaluate with the project engineer (David Ballode) access alternatives to Lot SS811. It was determined in 2014 that a significant wetland resource occupies the east half of SS811, and lies between the developable portions of the subject parcel and Arizona Drive. The wetland area on the east half of SS811 was mapped by the Environmental Protection Agency in 1990 as a part of the "Finkbeiner Report" (the comprehensive assessment of wetlands and wetland impacts for the Mountain Village), and was named wetland 92M. Wetland 92M is described in the Finkbeiner report as a 2.08 acre sedge-willow wetland.

Access off of Arizona Drive would require the development of a 3,600 sq. ft. (20' x 180') driveway corridor - an at grade driveway would have direct impacts to wetlands and could potentially impact hydrology of adjacent areas due to a disruption of groundwater movement. An elevated driveway "bridge" could minimize impacts provided that the bottom chord of the bridge is 3-5' above grade, allowing for natural light to reach the plant community below. A bridge design would need to use abutments outside the wetland area, and any necessary supporting abutments along the middle portions of the bridge. Helical piers could also be used to support the bridge spans as they cross over the wetland area.

Alternate access, with a minimal impact to wetlands can be achieved off Mountain Village Blvd. - as identified during the 2014/15 planning alternatives exercise. Ultimately, it was determined that the access point off Mountain Village Blvd. provided the least impactful access alternative based on wetlands. A design was prepared in 2015, and a permit was obtained from the Army Corps of Engineers (ACOE) for the wetland impacts associated with the access point off Mountain Village Blvd. The Nationwide 29 ACOE permit issued (permit ID SPK-2015-0073) was valid for a period of two years, and expired in 2017. The issuance of the NWP permit was in part based on the fact that the "least impactful" alternative had been selected for access.

The rule of thumb the ACOE uses when considering wetland permits hinges on the mindset of "avoid, minimize and then mitigate" wetland impacts - in general, the least impactful alternative should always be weighed as a preferred alternative when considering options.

Chris Hazen The Terra Firm, Inc. PO Box 362 Telluride, Colorado 81435

970.708.1221 cell

### EXHIBIT C (1)

### 2 MV Blvd LLC 450 S. Old Dixie Hwy., Suite 8-9 Jupiter, FL 33458

November 30, 2022

2 MV Blvd LLC ("**Applicant**") is the owner of Lot SS811, Telluride Mountain Village, commonly known as 2 Mountain Village Boulevard, Mountain Village, CO 81435 ("**Single Family Lot**"). Prior to its acquisition of the Single Family Lot, Applicant's predecessor in interest, Robert G. Kerrigan and Sharon S. Kerrigan, as grantee ("**Grantee**"), entered into a Maintenance and Access Easement Agreement recorded with the San Miguel County Clerk and Recorded on August 4, 2005 as Reception Number 385819 ("**Easement Agreement**") with TSG Ski & Golf, LLC, a Colorado limited liability company, as grantor ("**Owner**") whereby Owner granted to grantee a driveway easement across OSP-18A, the property that is the subject of this application, to access the Single Family Lot, as more particularly described in the Easement Agreement.

On August 20, 2015, the Town of Mountain Village adopted Resolution 2015-0820-16 ("**Resolution**") approving a revocable encroachment agreement into the Mountain Village Boulevard Right-Of-Way for a new address monument for the Single Family Lot, adjacent to OSP-18A.

OSP-18A is currently classified as "Full Use Ski Resort Active Open Space (Class 3 AOS)". The use of land classified as Class 3 AOS for an access road or driveway requires a conditional use permit. As further described herein, this application meets the criteria for approval of such conditional use permit.

### Criteria for Approval

This Conditional Use Permit Application meets the criteria for decision contained in Section 17.4.14.D of the Town of Mountain Village Community Development Code (the "**CDC**"):

- 1. The proposed conditional use is in general conformity with the policies of the principles, policies and actions set forth in the Comprehensive Plan
  - a. The use of a small portion OSP-18A for a driveway is not inconsistent with the Comprehensive Plan. Furthermore, the driveway is necessary to allow for the use of the Single Family Lot for a single family home, a use consistent with the Comprehensive Plan.
- 2. The proposed conditional use is in harmony and compatible with surrounding land uses and the neighborhood and will not create a substantial adverse impact on adjacent properties or on services and infrastructure;
  - a. The use of OSP-18A for a driveway has been located to minimize impact to the Single Family Lot and minimizes any strain on infrastructure. The necessity of the driveway across OSP-18A arises out the extensive wetlands disturbance and bridge construction that would occur in the event the driveway was constructed in any other location across the Single Family Lot.

- 3. The design, development and operation of the proposed conditional use shall not constitute a substantial physical hazard to the neighborhood, public facilities, infrastructure or open space;
  - a. The construction of a driveway will not present a substantial physical hazard to any neighborhood, public facilities, or infrastructure or open space.
- 4. The design, development and operation of the proposed conditional use shall not have significant adverse effect to the surrounding property owners and uses;
  - a. The construction of a driveway will not have an adverse effect on surrounding property owners and is consistent with the surrounding single-family home properties.
- 5. The design, development and operation of the proposed conditional use shall not have a significant adverse effect on open space, or the purposes of the facilities owned by the Town;
  - a. The driveway will not have a significant adverse effect on open space or town facilities and will help preserve wetlands which are a necessary component of open space.
- 6. The design, development and operation of the proposed conditional use shall minimize adverse environmental and visual impacts to the extent possible considering the nature of the proposed conditional use;
  - a. The main purpose of locating the driveway across an adjacent open space parcel, as opposed to locating it on the Single Family Lot, is due to the determination of the Army Corps of Engineers that the placement of the entirety of the driveway on the Single Family Lot would present a substantial disturbance of wetlands. The location of the access driveway for the Single Family Lot across OSP-18A will present the least environmental and visual impact to the land. This is in contrast to placing the driveway in another location inconsistent with the plan proposed under this Application.
- 7. The design, development and operation of the proposed conditional use shall provide adequate infrastructure;
  - a. The driveway provides adequate infrastructure for the intended use.
- 8. The proposed conditional use does not potentially damage or contaminate any public, private, residential or agricultural water supply source; and
  - a. The access driveway will not contaminate or damage any water supply sources.
- 9. The proposed conditional use permit meets all applicable Town regulations and standards.
  - a. As set forth above, the use of Class 3 AOS land for a driveway is a conditionally permitted use and provided the criteria are met, the Town is permitted to issue a conditional use permit for such purposes.

It is important to note that the approved Resolution contemplated the location of the driveway of the Single Family Lot across OSP-18A, directly off of Mountain Village Blvd. While a conditional use permit was not issued in 2015, the Resolution clearly contemplated a driveway across OSP-18A and the Resolution was approved by Town Council at that time. The approval of a conditional use permit at this point would be consistent with the Resolution.

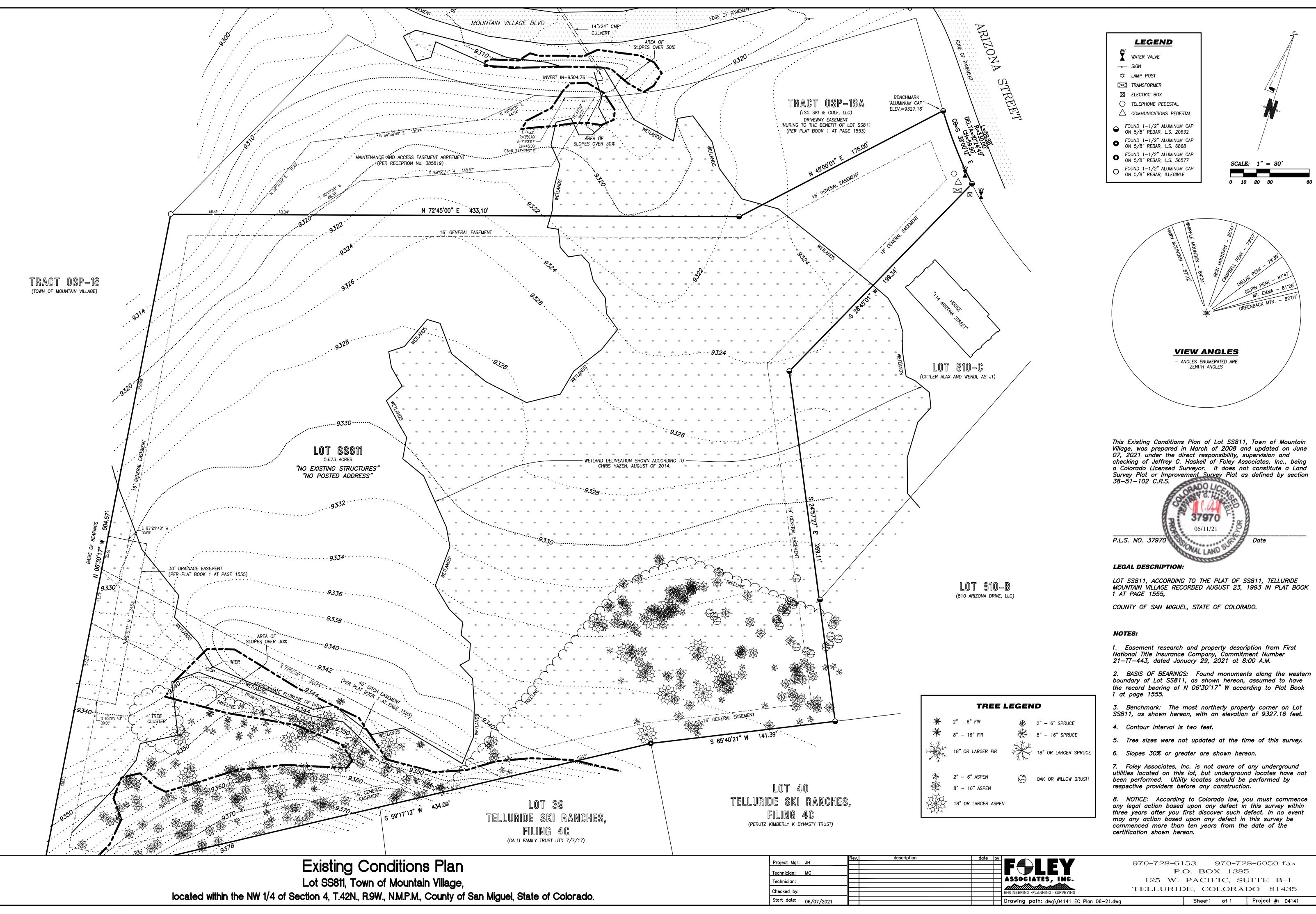
Respectfully Submitted,

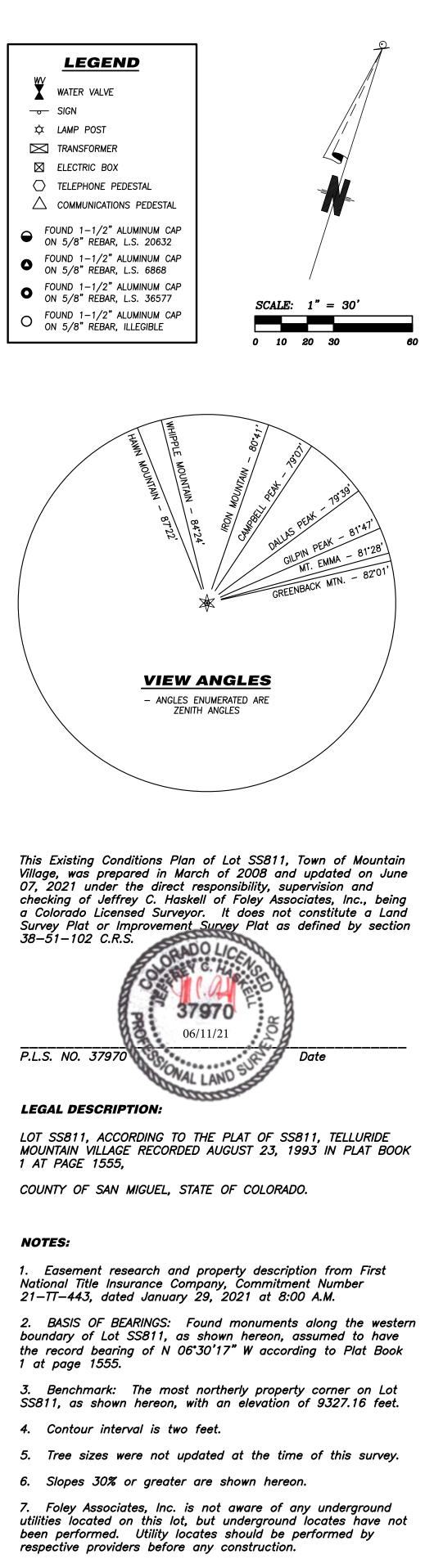
2 Mountain Village, LLC, A Colorado limited liability company

11/30/22

Signature of Applicant/Agent

Date





# EXHIBIT C(2)

# RESOLUTION OF THE TOWN OF MOUNTAIN VILLAGE, COLORADO TOWN COUNCIL APPROVING A REVOCABLE ENCROACHMENT AGREEMENT INTO THE MOUNTAIN VILLAGE BOULEVARD RIGHT-OF-WAY FOR A NEW ADDRESS MONUMENT FOR THE ADJACENT SINGLE FAMILY RESIDENCE LOCATED ON LOT <u>SS-811</u>

### **RESOLUTION NO. 2015-0820-16**

### **RECITALS:**

- A. The Town of Mountain Village ("Town") is the owner of record of real property described as the Mountain Village Boulevard Right-of-Way; and,
- **B.** Davis D. Fansler ("Owner") is the owner of record of real property described as Lot SS-811, Town of Mountain Village, CO;
- C. Right-of-way encroachments are a discretionary allowance of the Town Council; and
- D. The proposed revocable encroachment is needed to allow for the new address monument; and,
- E. The Town Council conducted a public meeting on August 20, 2015.

Now, Therefore, Be It Resolved that the Town Council hereby approves a revocable encroachment in the Mountain Village Boulevard Right-of-Way as set forth in Exhibit A with a condition that the Planning Division staff prepares a revocable encroachment agreement for execution by the Town Manager and the Owner.

### Section 1. Resolution Effect

- A. This Resolution shall have no effect on pending litigation, if any, and shall not operate as an abatement of any action or proceeding now pending under or by virtue of the resolutions repealed or amended as herein provided and the same shall be construed and concluded under such prior resolutions.
- B. All resolutions, of the Town, or parts thereof, inconsistent or in conflict with this Resolution, are hereby repealed, replaced and superseded to the extent only of such inconsistency or conflict.

### Section 2. Severability

The provisions of this Resolution are severable and the invalidity of any section, phrase, clause or portion of this Resolution as determined by a court of competent jurisdiction shall not affect the validity or effectiveness of the remainder of this Resolution.

### Section 3. Effective Date

This Resolution shall become effective on August 20, 2015 (the "Effective Date") as herein referenced throughout this Resolution.

### Section 4. Public Meeting

A public meeting on this Resolution was held on the 20<sup>th</sup> day of August, 2015 in the Town Council Chambers, Town Hall, 455 Mountain Village Blvd, Mountain Village, Colorado 81435.

Approved by the Mountain Village Town Council at a public meeting on August 20, 2015.

Town of Mountain Village, Town Council

-By: Dan Jansen, Mayor

Attest:

Jackie Kennefick, Town Clerk By:

Approved as to form:

By: James Mahoney, Assistant Town Attorney

# EXHIBIT C (3)

385819 Pase 1 of 6 SAN MIGUEL COUNTY, CO DORIS RUFFE CLERK-RECORDER 08-04-2006 11:07 AM Recording Fee \$31.00

# MAINTENANCE AND ACCESS EASEMENT AGREEMENT

This MAINTENANCE AND ACCESS EASEMENT AGREEMENT (the "Agreement") is entered into October 4, 2005, by TSG Ski & Golf, LLC, a Colorado limited liability company, as grantor ("Grantor") and Robert G. Kerrigan and Sharon S. Kerrigan, as grantee ("Grantee").

# RECITALS

A. Grantor is the owner of certain real property in the Town of Mountain Village, San Miguel county, Colorado, more particularly described as Tract OSP-18A, Telluride Mountain Village, County of San Miguel, State of Colorado, according to the Plat of Tract OSP-18 and OSP-18A recorded in Plat Book 1 at pages 1553-1554 ("Grantor Property").

B. Grantee is the owner of certain real property in the Town of Mountain Village, San Miguel County, Colorado, more particularly described as Lot SS811, Town of Mountain Village, according to the plat filed in the office of the Clerk and Recorder in Plat Book 1 at page 2281, and according to the Town of Mountain Village Official Lot List, recorded in Book 586 at page 548, County of San Miguel, State of Colorado, also known by street and number as: Lot SS-811, Mountain Village, Colorado 81435 ("Grantee Property").

C. The terms, conditions and covenants made by the parties herein are made in their capacities as the owners of the subject properties. As such, the covenants herein are not personal to the parties but rather are personal to and shall run with the land according to the record title holder of the properties.

D. The Plat of Tract OSP-18 and OSP-18A recorded in Plat Book 1 at pages 1553-1554, Note 1, established a non-exclusive driveway easement ("the Original Easement") inuring to the benefit of Lot SS-811 on, over, across and under Tract OSP-18A for the purpose of constructing, operating and maintaining pedestrian and vehicular access and subsurface utilities to Lot SS-811.

E. Grantor desires to grant to Grantee an additional easement, consistent with the Original Easement, for the purposes set forth below across certain portions of the Grantor Property, more particularly described on the attached <u>Exhibit A</u> Map and Legal Description ("Easement Area"), in accordance with the terms and conditions of this Agreement.

# **AGREEMENT**

NOW, THEREFORE, in consideration of \$10.00, the mutual covenants and agreements contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the undersigned parties hereby covenant and agree as follows:

1. <u>Grant of Easement</u>. Grantor hereby grants to Grantee and its agents, employees, representatives, contractors and subcontractors ("Permittees") a non-exclusive easement for pedestrian and vehicular ingress and egress on, over, through, and across the Easement Area for the purposes of accessing, constructing, operating, maintaining and repairing any improvements to be located on Grantee Property ("Maintenance and Access Easement"), including the construction of a vehicular and pedestrian bridge in the Easement Area to span the small area of wetlands in the Easement Area. Grantor hereby expressly reserves the right to make any use of the Easement Area that does not unreasonably interfere with the Maintenance and Access Easement. Grantee and its Permittees will not use the Easement Area for any use or purpose other than as expressly provided herein. Grantee's times of use of the Maintenance and Access Easement shall be limited to those hours permitted for construction activities under any applicable regulations of the Town of Mountain Village.

2. <u>Term of Easement</u>. The term of the Maintenance and Access Easement shall be perpetual.

3. <u>Compliance with Laws</u>. All activities carried on by Grantee and its Permittees in the Easement Area shall be conducted in accordance with all applicable laws, including compliance with Wetlands regulations. Grantee's and Permittees' use of the Easement Area shall be done in a manner and with such safeguards as to avoid any personal injury or property damage.

4. <u>Construction and Maintenance</u>. Neither Grantee nor Grantor shall have any responsibility to construct or maintain any improvements within the Easement Area. Any damage to the Easement Area or improvements located within the Easement Area caused by Grantee or Permittees shall be repaired at Grantee's sole cost. All work will be done in a professional, workmanlike manner.

5. <u>Runs with the Land; Heirs, Successors and Assigns</u>. The easements, benefits and rights granted and agreed to herein and the burdens, duties and obligations imposed and agreed to herein shall run with the land and shall be a benefit of, and burden upon, the Grantor Property and the Grantee Property. Further, the easements, benefits and rights granted and agreed to herein and the burdens, duties and obligations imposed and agreed to herein shall be binding upon and shall inure to the benefit of, and be a burden upon, the heirs, designees, successors, and assigns of both of the parties to this Agreement.

6. <u>Indemnity</u>. Grantee hereby agrees to indemnify, defend and hold harmless Grantor from and against any and all claims, actions, causes of actions, liability, losses damages, costs or expenses, including reasonable attorneys fees, and including, without limitation, any and all mechanics' and materialmen's liens and claims, that may be imposed upon or incurred by Grantor and that arise from Grantee's or its Permittees' use of the Easement Area, except to the extent due to Grantor's actions or conditions that are not created on the Easement Area or caused to be created thereon by Grantee or its Permittees.

7. Wetland Issues. Grantee acknowledges that it has received and is familiar with the

Wetlands Management Plan for the Telluride Mountain Village dated October 1996 ("Wetlands Management Plan"). Grantee hereby covenants and agrees that any and all construction, operation, maintenance and/or repair carried out within any of the easement areas described herein will comply with the Wetlands Management Plan.

8. <u>Contractors and Sub-Contractors Affidavits</u>. Prior to the commencement of any construction relating to the Maintenance Access Easement, Grantee shall cause all of its contractors and subcontractors to execute Contractor and Sub-Contractor Affidavits in accordance with Section 6.2 of the Wetlands Management Plan and shall forward copies of all such affidavits to Grantor.

9. <u>Liens</u>. Grantee shall keep the Easement Area free of any liens or encumbrances caused by any act or omission of Grantee or its Permittees.

10. <u>Headings</u>. The captions and headings of any section herein are not part of and in no manner or way define, limit, amplify, change or alter any term, covenant or condition of this Agreement.

11. <u>Governing Law</u>. This Agreement shall be governed and construed in accordance with the laws of the State of Colorado.

12. <u>Recordation</u>. This Agreement shall be recorded in the real property records of San Miguel County, Colorado.

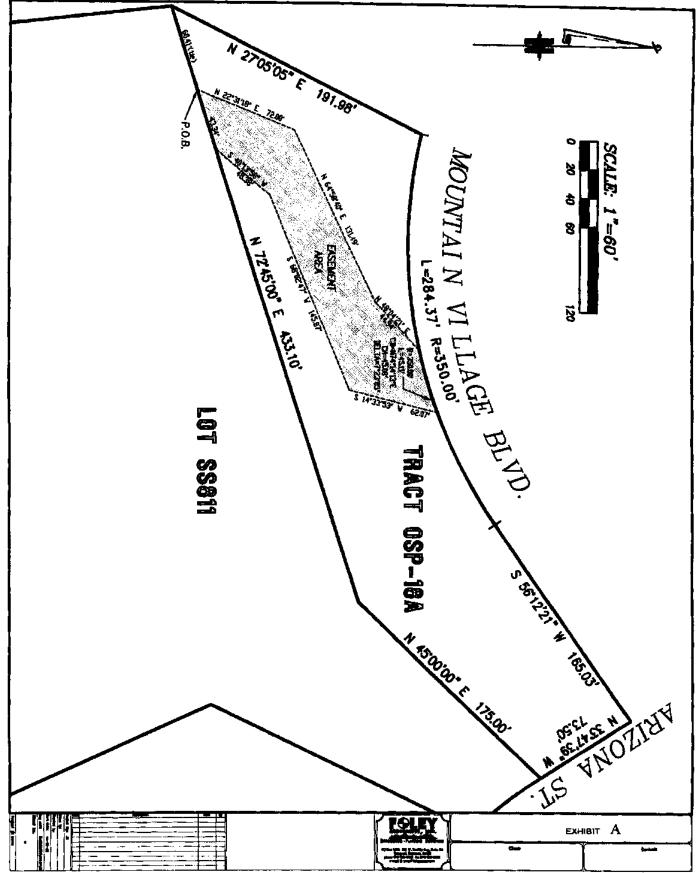
13. <u>Amendments</u>. No amendments, waivers or modifications hereof shall be made or deemed to have been made unless in writing and executed by the parties to be bound thereby.

14. <u>Attorneys' Fees</u>. In the event of any litigation, controversy, claim or dispute between the parties hereto arising out of or relating to this Agreement or the breach or threatened or claimed breach hereof, the prevailing party, whether by judgment of out of court settlement, shall be entitled to recover from the losing party, reasonable expenses, attorneys' fees and other costs incurred in connection therewith, or in the enforcement or collection of any judgment or award rendered therein. 15. <u>Severability</u>. The enforceability, invalidity or illegality of any provision of this Agreement shall not render the other provisions of this Agreement unenforceable, invalid, or illegal or illegal, but rather the unenforceable, invalid or illegal provisions of this Agreement shall be deemed severed from this Agreement, and this Agreement shall remain in full force and effect to the greatest extent permitted by applicable law.

IN WITNESS WHEREOF, the undersigned have executed this Agreement intending it to be effective as of the date first set forth above.

**GRANTOR:** 

TSG Ski & Golf, LLC, a Colorado limited liability company Βv 'signed] FP PROTERN, SR. VICE PRESID print name and title] RESIDET MERATION STATE OF COLORADO Ì COUNTY OF SAN MIGUEL ì The foregoing instrument was acknowledged before me this the day of , 200 by \ Nolean [name], [title], TSG Ski & Golf, LLC, alcolorado limited liability company. INDA RODGERS OTARY PUBLIC N STATE OF BOOM RADIO otary Public GRANTE Robert G. Kerrigan Sharon S. Kerrigan STATE OF COUNTY OF ESCH The foregoing instrument was acknowledged before me this 2005, by Robert G. Kerrigan and Sharon S. Kerrigan. 2006 My commission expires: Witness my hand and official seal. Notary Public CHARATI D. JENN Notary Public-Stat Comm. Exp: Dec. 20, 2009 Comm. No: DD 475324



2:VOBS2004/04141/dwg/EXHIBIT-11-05.dwg, 11/16/2005 10:24:54 AM, josh

### FOLEY ASSOCIATES, INC. CIVIL ENGINEERING AND LAND SURVEYING P. O. BOX 1385 TELLURIDE, CO 81435 970-728-6153

### LEGAL DESCRIPTION

A portion of Tract OSP-18A, Town of Mountain Village, according to the Plat of Tract OSP-18 and Tract OSP-18A, Telluride Mountain Village filed in the office of the Clerk and Recorder in Plat Book 1 at page 1553, further described as follows:

Beginning at a point on the southern boundary of said Tract OSP-18A the from which the westernmost corner bears S 72°45'00" W, 60.41 feet;

Thence N 22º31'18" E, 72.00 feet;

Thence N 64°58'40" E, 131.49 feet:

Thence N 48°04'21" E, 44.94 feet to a point on the northern boundary of said Tract OSP-18A;

Thence along the northern boundary of said Tract OSP-18A, 45.11 feet along a nontangential curve concave to the north with a radius of 350 feet, a deita angle of 7°23'05", a chord bearing of N 74°14'13" E and a chord distance of 45.08 feet;

Thence S 14°33'53" W, 62.07 feet;

Thence S 68°02'47" W, 145.87 feet;

Thence S 40°13'58" W, 48.38 feet to a point on the southern boundary of said Tract OSP-18A;

Thence S 72°45'00" W, 43.34 feet along the southern boundary of said Tract OSP-18A to the Point of Beginning,

County of San Miguel, State of Colorado



Z:\JOBS2004\04141\DOC\EXHIBIT-11-05

### EXHIBIT C (4)



DEPARTMENT OF THE ARMY U.S. ARMY CORPS OF ENGINEERS, SACRAMENTO DISTRICT 1325 J STREET SACRAMENTO CA 95814-2922

REPLY TO ATTENTION OF

June 15, 2015

Regulatory Division SPK-2015-00073

Mr. Davis Fansler Post Office Box 2758 Telluride, Colorado 81435

Dear Mr. Fansler:

We are responding to your June 5, 2015, request for a preliminary jurisdictional determination (JD), in accordance with our Regulatory Guidance Letter (RGL) 08-02, for the Lot SS-811 Development site. The site is located within the Town of Mountain Village on Lot SS-811, on Mountain Village Boulevard, Latitude 37.9328°, Longitude - 107.8745°, San Miguel County, Colorado.

Based on available information, we concur with the amount and location of wetlands and/or other water bodies on the site as depicted on the enclosed map entitled **Sheet 1**, **Project No. 04141, dated January 22, 2015,** prepared by Foley Associates, Incorporated. The approximately 2.8 acres of wetlands and/or other water bodies present within the survey area are potential waters of the United States regulated under Section 404 of the Clean Water Act.

You should not start any work in potentially jurisdictional waters of the United States unless you have Department of the Army permit authorization for the activity. You may request an approved JD for this site at any time prior to starting work within waters. In certain circumstances, as described in RGL 08-02, an approved JD may later be necessary. You should provide a copy of this letter and notice to all other affected parties, including any individual who has an identifiable and substantial legal interest in the property.

This preliminary determination has been conducted to identify the potential limits of wetlands and other water bodies which may be subject to Corps of Engineers' jurisdiction for the particular site identified in this request. A Notification of Appeal Process and Request for Appeal form is enclosed to notify you of your options with this determination.

Please refer to identification number SPK-2015-00073 in any correspondence concerning this project. If you have any questions, please contact Carrie Sheata at the Colorado West Regulatory Branch, 400 Rood Avenue, Room 224, Grand Junction, Colorado 81501, by email at *Carrie.A.Sheata@usace.army.mil*, or telephone at 970-243-1199 X14. We appreciate your feedback. At your earliest convenience, please tell us how we are doing by completing the customer survey on our website under *Customer Service Survey*. For more information regarding our program, please visit our website at *www.spk.usace.army.mil/Missions/Regulatory.aspx*.

Sincerely,

# **Original Signed**

Susan Bachini Nall Chief, Colorado West Branch Regulatory Division

Enclosures:

- 1. Sheet 1, Project No. 04141, dated January 22, 2015
- 2. Notification of Appeal Form

cc: (w/ encl 1)

Mr. Chris Hazen, The Terra Firm, Incorporated, Post Office Box 362, Telluride, Colorado 81435

Mr. Chris Hawkins, Town of Mountain Village, 455 Mountain Village Blvd. Suite A, Telluride, Colorado 81435



DEPARTMENT OF THE ARMY U.S. ARMY CORPS OF ENGINEERS, SACRAMENTO DISTRICT 1325 J STREET SACRAMENTO CA 95814-2922

REPLY TO ATTENTION OF

November 2, 2015

Regulatory Division (SPK-2015-00073)

Mr. Davis Fansler Post Office Box 2758 Telluride, Colorado 81435

Dear Mr. Fansler:

We are responding to your October 7, 2015, request for a Department of the Army permit for the Lot SS811 Development project. This project involves work, including discharges of dredged or fill material, in waters of the United States to install utilities and construct a driveway. The site is located within the Town of Mountain Village on Lot SS811, on Mountain Village Boulevard, Latitude 37.9328°, Longitude -107.8745°, San Miguel County, Colorado.

Based on the information you provided, the proposed activity will permanently impact approximately 0.013 acre of wetlands and temporary impact approximately 0.009 acre of wetlands. The proposed activity is authorized by Nationwide General permit number (NWP) 29 Residential Developments. You must comply with the general terms and conditions listed on the NWP information sheet and applicable regional conditions. Information on the NWP and regional conditions are available on our website at

http://www.spk.usace.army.mil/Missions/Regulatory/Permitting/NationwidePermits.aspx. Within 30 days after completion of the authorized work, you must sign the enclosed Compliance Certification and return it to this office.

This verification is valid until March 18, 2017, when the existing NWP's are scheduled to be modified, reissued, or revoked. Furthermore, if you commence or are under contract to commence this activity before the date the NWP is modified, reissued, or revoked, you will have 12 months from the date of the modification, reissuance or revocation of the NWP to complete the activity under the present terms and conditions. Failure to comply with the general and regional conditions of this NWP, or the project-specific special conditions of this authorization, may result in the suspension or revocation of your authorization.

Please refer to identification number SPK-2015-00073 in any correspondence concerning this project. If you have any questions, please contact Carrie Sheata at the Colorado West Regulatory Branch, 400 Rood Avenue, Room 224, Grand Junction, Colorado 81501, by email at *Carrie.A. Sheata@usace.army.mil*, or telephone at 970-243-1199 X14. We would appreciate your feedback. At your earliest convenience, please tell us how we are doing by completing the customer survey from the link on our website, listed below. For more information regarding our program, please visit our website at *www.spk.usace.army.mil/Missions/Regulatory.aspx*.

Sincerely,

Original Signed

FOR

Susan Bachini Nall Chief, Colorado West Branch Regulatory Division

Enclosure:

**Compliance Certification** 

cc: (w/o encl)

Mr. Chris Hazen, The Terra Firm, Incorporated, Post Office Box 362, Telluride, Colorado 81435

Ms. Sarah Fowler, U.S. Environmental Protection Agency, Region 8, 1595 Wynkoop Street, Denver, Colorado 80202

Ms. Savannah Jameson, Town of Mountain Village, 455 Mountain Village Blvd. Suite A, Mountain Village, Colorado 81435 This Topographic Survey of Lot SS811 and Tract OSP-18A, Town of Mountain Village, was prepared in March of 2008 under the direct responsibility, supervision and checking of David R. Bulson, of Foley Associates, Inc., being a Colorado Licensed Surveyor. Foley Associates, Inc. provided only the electronic drafting, view directions, and project benchmark conversion for this mapping. Trees shown hereon were located by Foley Assoc. on May 16, 2005. Mountain Village Boulevard was surveyed by Foley Assoc. in February of 2008. All other information contained hereon, was provided by Wellington Land Surveying, Topographic Map dated 8/12/99. Foley Associates, Inc. makes no assurances as to the accuracy or the precision of the information contained. It does not constitute a Land Survey Plat or an Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37662

# NOTES

This survey does not constitute a title search by Foley Associates, Inc. to determine the ownership of this property or easements of record.

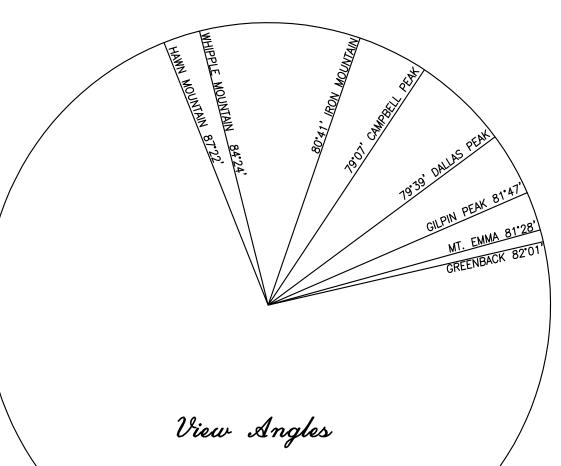
Date

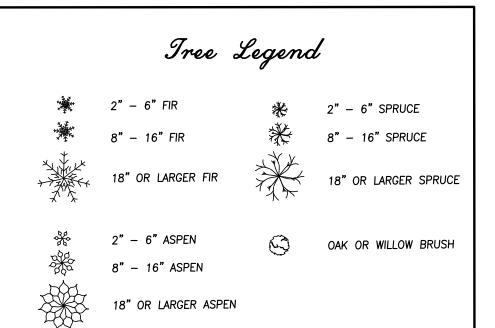
Benchmark: The elevation of the most northerly property corner on Lot SS811 has the elevation on 9327.16 according to the Town of Mountain Village elevation datum. This point has a corresponding elevation of 101.3 on the Wellington Survey originally dated 8/13/99 and subsequently recertified 5/7/05.

The wetland delineation shown according to Bikis Water Consultants field work conducted during May of 2010.

# NOTICE

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

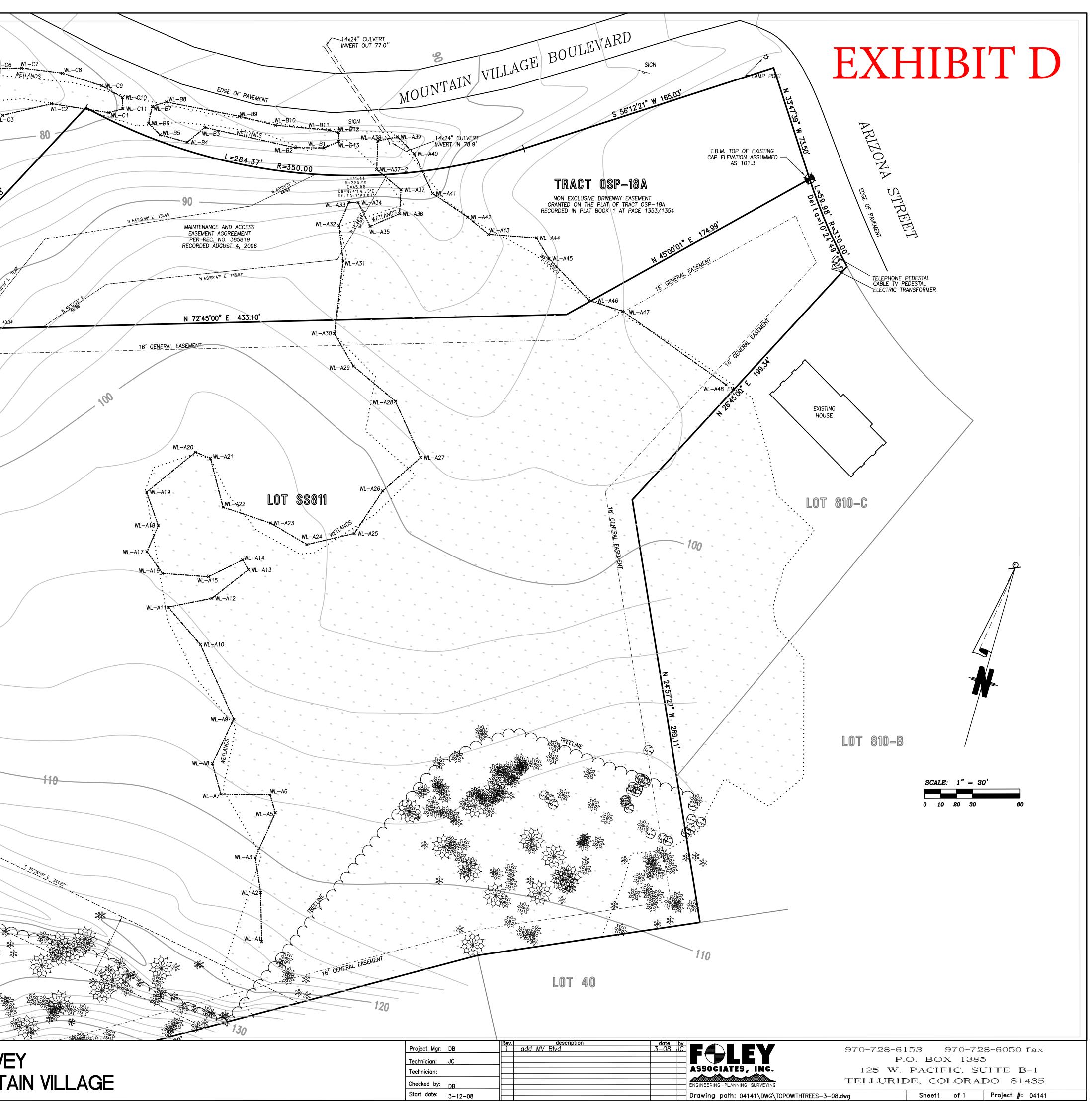


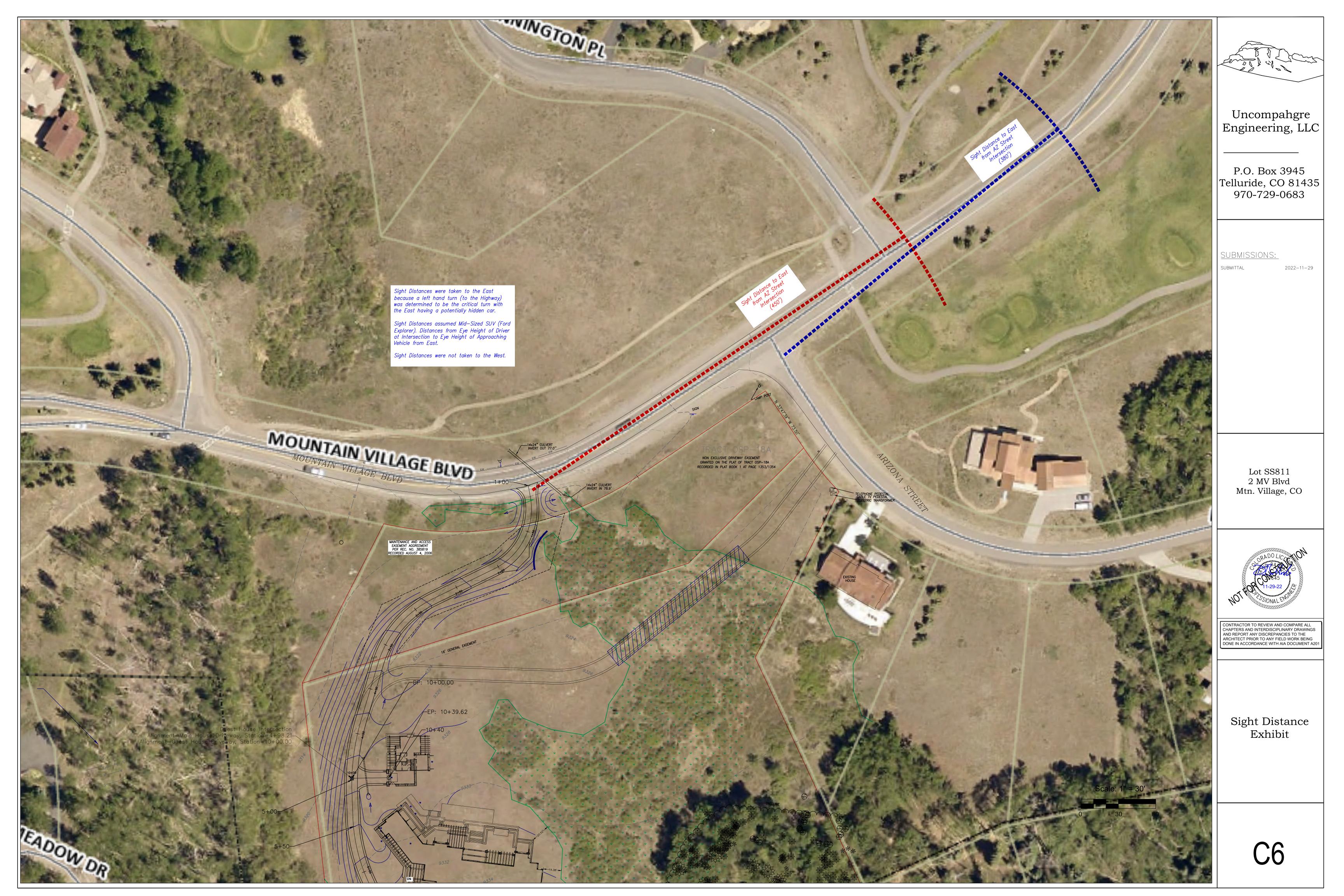


WL-C6 WL-C7 . . . . . . . . . . . WL-C3 N210505 F 191.98 TRACT OSP-18 43.3 60.41' WL-D15; END .×WL-D14 WL-D13 00 **★**WL<u>-</u>D12 X.₩L-D11 `× WL≁Ď

WL-C5

# TOPOGRAPHIC SURVEY LOT SS811, TOWN OF MOUNTAIN VILLAGE







# LOCATION MAP



# 2 MOUNTAIN VILLAGE BLVD

# LEGAL DESCRIPTION/LOT INFORMATION

LOT INFO:

LOT SS811 TELLURIDE MOUNTAIN VILLAGE ACC TO PLAT BK 1 PG 1555 8-23-93. LOT NAME: LOT SS81 ZONING: SINGLE FAMILY RESIDENTIAL LOT SIZE: 5.673 ACRES

# **BUILDING INFO:**

DESCRIPTION	1-STORY W/ WALKOUT BASEMENT & GUEST HOUSE	
BUILDING HEIGHT	ALLOWED	ACTUAL
MAXIMUM	35'	29'-2"
AVERAGE	30'	18'-7"
PARKING SPACES	2 REQUIRED	6 PROVIDED

# **DESIGN CRITERIA**

Climate Zone: 6B Elevation: 9338.8 Live Roof Snow Load: 80-180 PSF Ground Snow Load: 130 PSF Wind Speed: 90 MPH (3 Sec. Gust) Exp. C/110 MPH Ultimate

# AREA CALCULATIONS

MAIN HOUSE BASEMENT LEVEL (HEATED): <u>MAIN LEVEL (HEATED):</u> TOTAL HEATED AREA:	2,319 SF 7,007 SF 9,326 SF	GUEST HOUSE UPPER LEVEL (HEATED): <u>MAIN LEVEL (HEATED):</u> TOTAL HEATED AREA:
GARAGE/MECH/STOR. (UNHEATED): COVERED PATIO:	2,050 SF 1,637 SF	GARAGE/MECH/STOR. (UNHEATED): COVERED PATIO:
TOTAL GROSS AREA (UNDER ROOF):	13,013 SF	TOTAL GROSS AREA (UNDER ROOF

Seismic Zone: C

Weathering: Severe

Termite: Moderate

Decay: None to Slight

Frost Depth: 48 Inches

# SPECULATIVE RESIDENCE 2 MOUNTAIN VILLAGE BLVD. MOUNTAIN VILLAGE, CO 81435 **DESIGN REVIEW BOARD**

# PROJECT DIRECTORY

# CONTRACTOR:

CODY ABBOTT TOP NOTCH CONSTRUCTION 8121 PRESERVE DR. TELLURIDE, CO 81435 970-596-1014

# SURVEYOR:

JEFFREY HASKELL FOLEY ASSOCIATES, INC. P.O. BOX 1385 125 W PACIFIC AVE SUITE B-1 TELLURIDE, CO 81435 970-728-6153

# **CIVIL ENGINEER:**

DAVID BALLODE UNCOMPAHGRE ENGINEERING 113 LOST CREEK LN SUITE D MOUNTAIN VILLAGE, CO 81435 970-279-0683

# ARCHITECT:

SHORT ELLIOTT HENDRICKSON INC. 2000 SOUTH COLORADO BLVD. TOWER ONE, **SUITE 6000** DENVER, CO. 80222 720.540.6800

# **STRUCTURAL ENGINEER:**

SHORT ELLIOTT HENDRICKSON INC. 2000 SOUTH COLORADO BLVD. TOWER ONE, **SUITE 6000** DENVER, CO. 80222 720.540.6800

# LANDSCAPE ENGINEER: HOLLY TERRY

DESIGNSCAPES COLORADO 15440 E FREMONT DR CENTENNIAL, CO 80113 303-721-9003

# DRAWING INDEX

- A0.0 COVER SHEET & PROJECT DATA
- A0.1 ARCHITECTURAL SITE PLAN A0.4 HEIGHT LIMIT ANALYSIS
- A0.5 HEIGHT LIMIT ANALYSIS ELEVATIONS
- A0.6 HEIGHT LIMIT ANALYSIS ELEVATIONS
- A.1 FLOOR PLANS
- A.2 ROOF PLAN A.3 ELEVATIONS
- MATERIAL CALCULATIONS A.7
- A.8 MATERIAL CALCULATIONS
- A.9 EXTERIOR MATERIAL DIAGRAM
- A.10 SCHEDULES
- G1 GUEST HOUSE SCHEMATIC
- C1 NOTES
- C2.1 SITE GRADING AND DRAINAGE
- C2.2 GRADING WITH DRIVEWAY PROFILES C3 UTILITIES
- C4 CONSTRUCTION MITIGATION
- L1 LANDSCAPE

# APPLICABLE CODES

ALL CONSTRUCTION TO BE COMPLETED PER GOVERNING CODES BELOW: 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) W/ LOCAL AMENDMENTS 2018 INTERNATIONAL PLUMBING CODE (IPC) W/ LOCAL AMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE (IMC) W/ LOCAL AMENDMENTS 2018 INTERNATIONAL FUEL GAS CODE W/ LOCAL AMENDMENTS 2018 INTERNATIONAL ENERGY CONSERVATION CODE W/ LOCAL AMENDMENTS 2020 NATIONAL ELECTRICAL CODE

362 SF 1,068 SF 1,430 SF 434 SF 330 SF BUILDING COVERAGE: MAIN HOUSE 13,013 SF 2,194 SF GUEST HOUSE TOTAL 15,197 SF LOT SIZE: 247115.88 15,197 SF = 6%

2,194 SF

TOP NOTCH CONSTRUCTION 8121 PRESERVE DR. TELLURIDE, CO 81435

ARCHITECT SHORT ELLIOTT HENDRICKSON, INC 934 MAIN AVENUE, SUITE C DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER PHONE: 970.459.9017

<u>OWNER</u>

CONTACT 305.710.4907

**CONTRACTOR** 

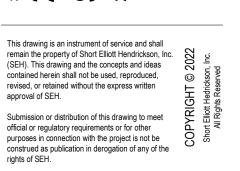
CODY ABBOTT 970-596-1014

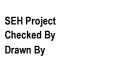
THE VAULT HOME COLLECTION

450 S. OLD DIXIE HWY, SITE 8

JUPITER, FL 33458

# BLVD NCE AGE, C0 814 I VILLAGE I /E RESIDEN 2 MOUNTAIN VILLAGE BLVD 2 MOUNTAIN V 2 MOUNTAIN VILLAGE BLVT 2 MOUNTAIN VILLAGE BLVT





**Project Status** DESIGN REVIEW BOARD

Issue Date 10.17.2022

NM

Project Number

Rev. #

SITE/COVER

A0.0



# GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE: SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE NATURAL GAS: BLACK HILLS ENERGY POWER: SAN MIGUEL POWER TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIRIEMENTS. REFER TO THE SITE—SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT—OF—WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON—STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

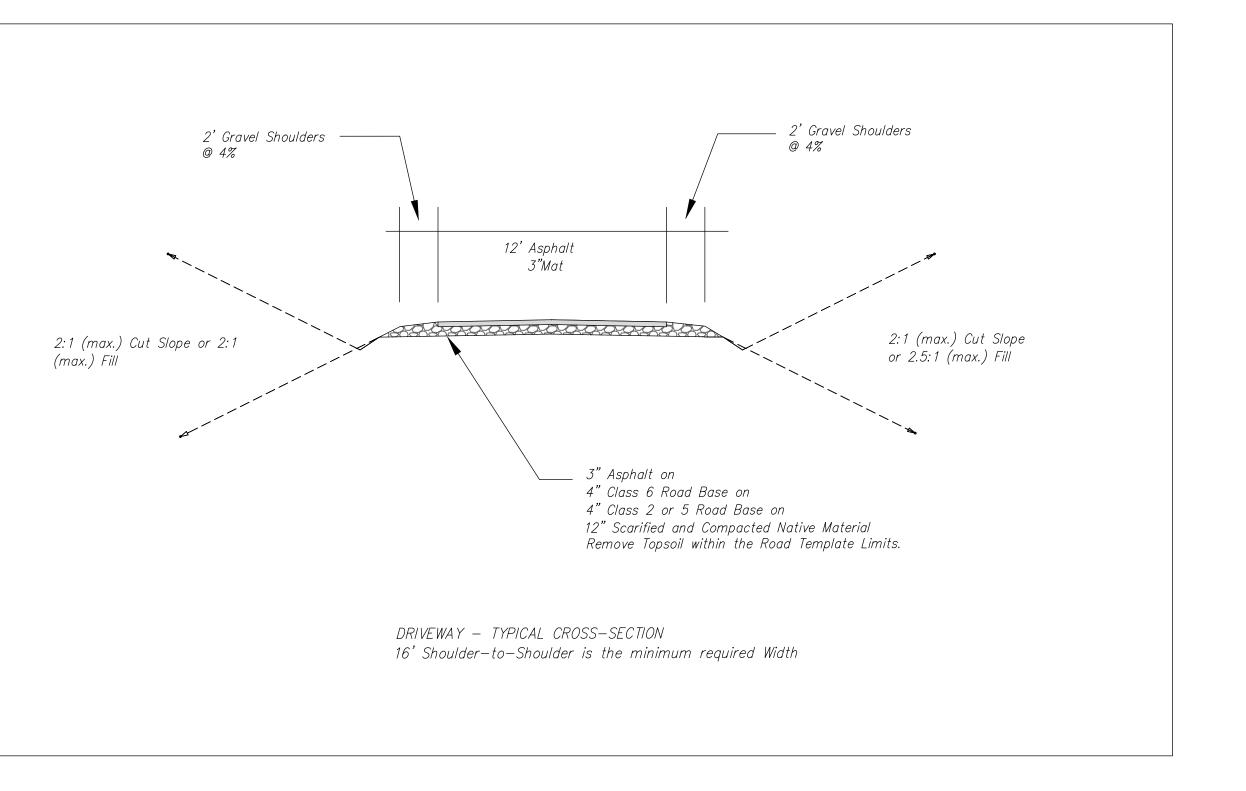
22. ALL DISTURBED GROUND SHALL BE RE—SEEDED WITH A TOWN—APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

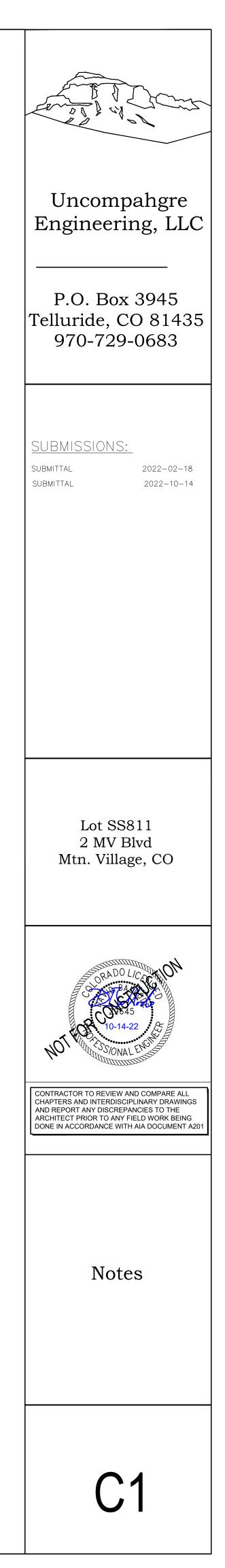
23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

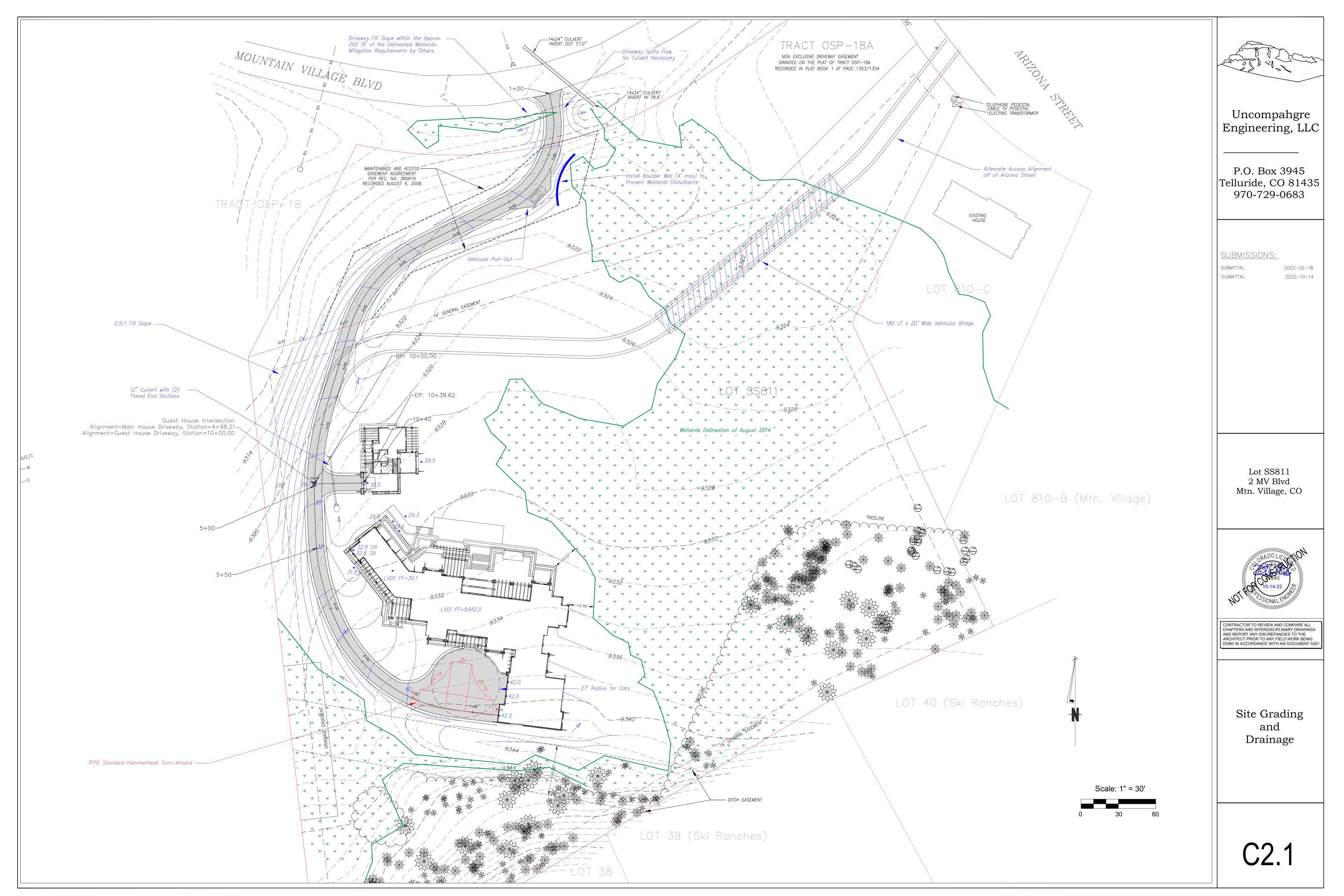
24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

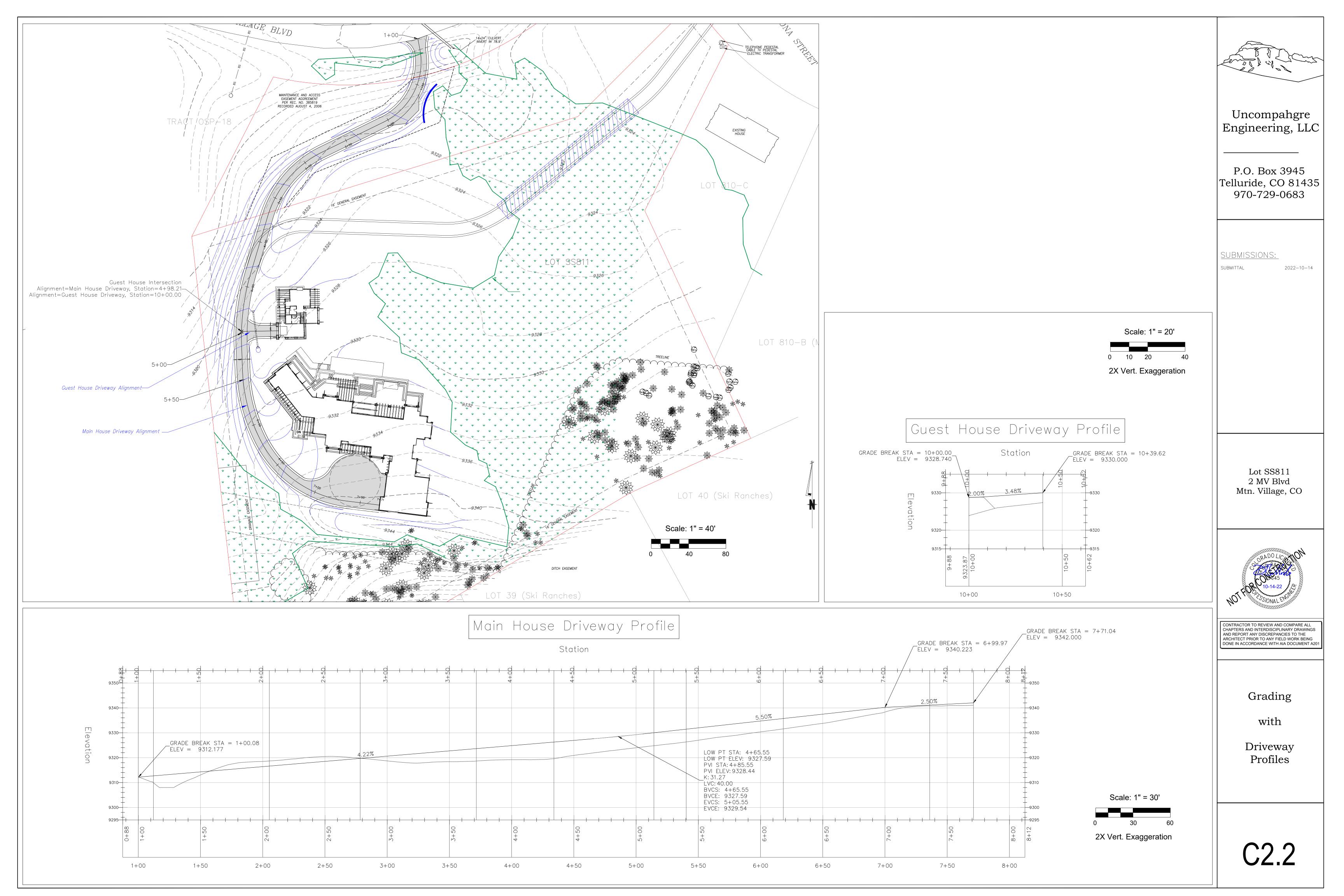
25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

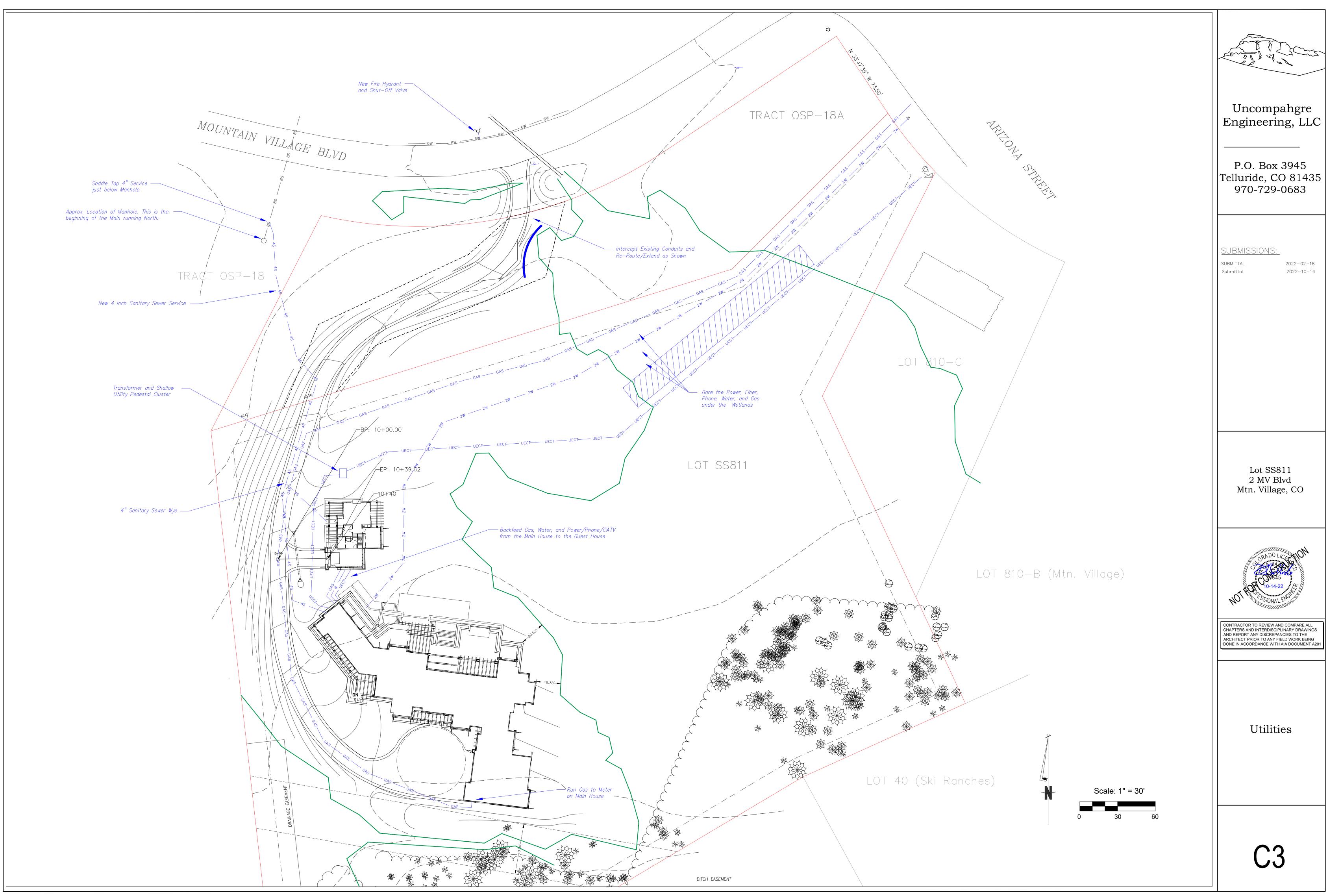
26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.

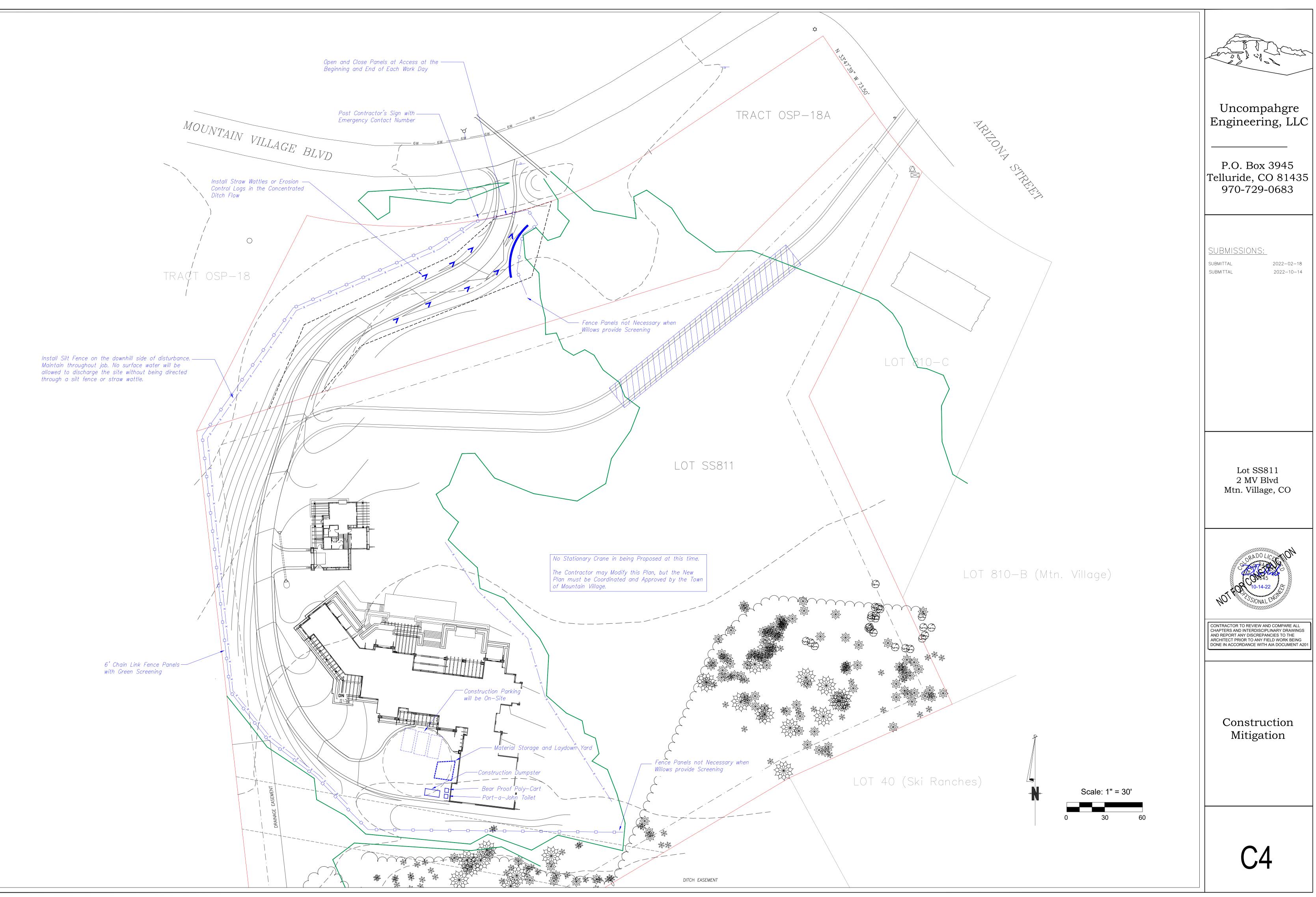


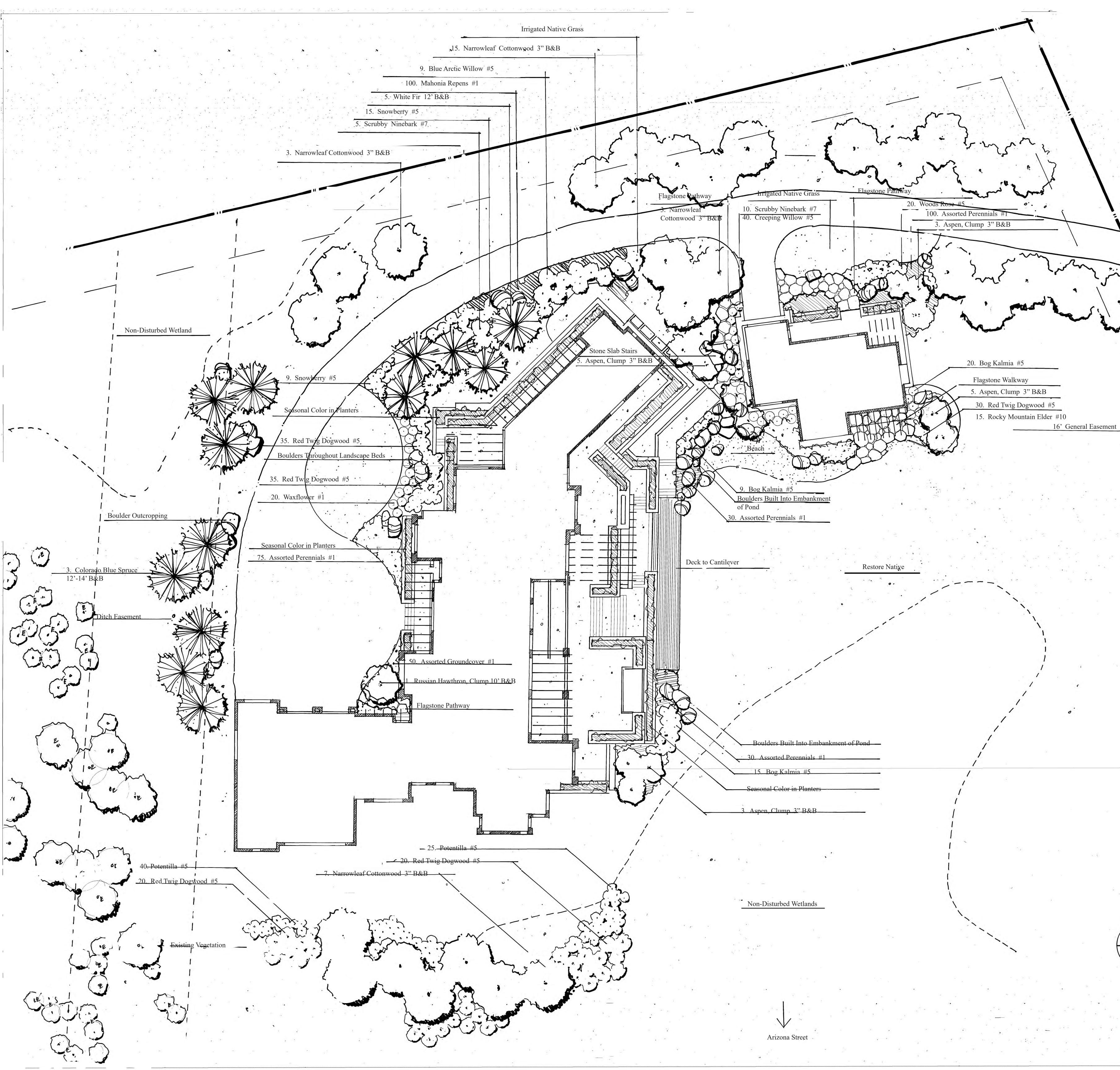














DESIGN-CONSTRUCTION-MAINTENANCE 15440 EAST FREMONT DRIVE CENTENNIAL, CO 80112 (303)721.9003

Mountain Village Blv

# 2 Mountain Village Blvd.

Mountain Village, Colorado 801435

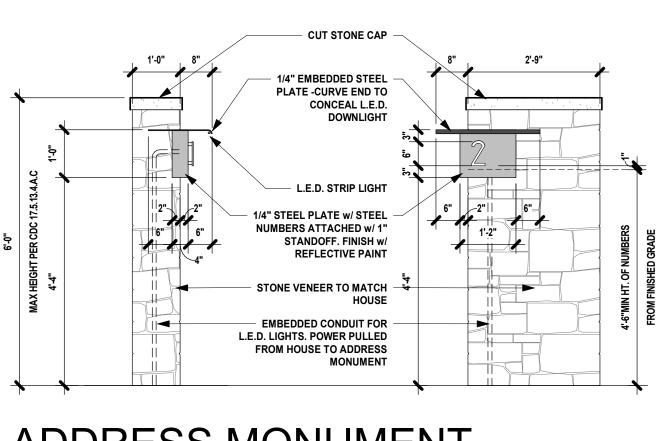
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CONCEPTUAL LANDSCAPE DESIGN Designed by: Phil Steinhauer Holly Terry SCALE: 1"= 10'-0"

0 10 ZU

40







NOI CONSTR

<u>OWNER</u> THE VAULT HOME COLLECTION 450 S. OLD DIXIE HWY, SITE 8 JUPITER, FL 33458

CONTACT 305.710.4907

CONTRACTOR TOP NOTCH CONSTRUCTION 8121 PRESERVE DR. TELLURIDE, CO 81435

CODY ABBOTT 970-596-1014

ARCHITECT SHORT ELLIOTT HENDRICKSON, INC. 934 MAIN AVENUE, SUITE C DURANGO, COLORADO 81301

CONTACT: ALLISON MILLER PHONE: 970.459.9017

2 MOUNTAIN VILLAGE BLVD 2 MOUNTAIN VILLAGE BLVD SPECULATIVE RESIDENCE 2 MOUNTAIN VILLAGE BLVD. MOUNTAIN VILLAGE, CO 81435

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ARCHITECTURAL SITE PLAN				

A0.1



# EXHIBIT E

# Referral Agency Comments Lot OSP-18A, CUP for Driveway Access by Lot SS 811

Finn Kjome: Public Works has no issues with this application. (12/14/23)

Rodney Walters, Forester (12/6/23): A part of the proposed driveway cuts across a small portion of wetland. The environmental impacts of this must be understood and accounted for. Local, State, and Federal wetland protection provisions must be adhered to. Approvals and permits must be acquired from all relevant Local, State, and Federal agencies before any work may begin in or around any designated wetland area.

The driveway is proposed to be constructed near the GE adjacent to Lot OSP 18. The critical root zones (CRZ) on Lot OSP 18 must be protected with tree protection fencing. The tree protection fencing required for these trees must be indicated on the plans. No grading may occur within the CRZ of any existing trees without prior written approval from Town of Mountain Village staff, including trees located on Lot OSP 18.

The Conceptual Landscape Design sheet must indicate the zone 1 fire mitigation zone area. No conifers may be planted in the zone 1 wildfire mitigation area and tree plantings in the zone must be limited by spacing requirements and CDC and Colorado Firewise approved plants. All landscape materials must be designed to adhere to landscape design requirements and wildfire safety guidelines in accordance with the Community Code (CDC), Landscape Regulations (17.5.9) and Environmental Regulations (17.6.1). A formal landscape plan will be required.

No additional public comment was received, please refer to the January 5, 2023 Design Review Board Packet for previous public comments.



AGENDA ITEM 7 PLANNING & DEVELOPMENT SERVICE PLANNING DIVISON 455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 728-1392

- **TO:** Mountain Village Design Review Board
- FROM: Drew Nelson, Senior Planner
- FOR: Design Review Board Public Hearing; January 4, 2024
- DATE: December 21, 2023
- **RE:** Staff Memo Conditional Use Permit Application, Lot OS 3XRR, Conference Center Plaza, pursuant to CDC Section 17.4.14

# APPLICATION OVERVIEW: Conditional Use Permit for a Food Truck/Trailer in Conference Center Plaza

# PROJECT GEOGRAPHY

Legal Description: A TRACT OF LAND LYING IN THE NE QUARTER OF SECTION 3 T42N R9W AND THE SE QUARTER OF SECTION 34 T43N R9W NMPM SAN MIGUEL COUNTY COLORADO DESCRIBED AS FOLLOWS: TRACT OS 3XRR TOWN OF MOUNTAIN VILLAGE PLAT BK 1 PG 4061 RECPT 405665 FEB 11 2000 CONT 2.726 ACRES MOL Address: Conference Center

Address: Conference Center Plaza

Applicant/Agent: Jason Smith Owner: Town of Mountain Village Zoning: Village Center Open Space

Existing Use: Open Space Proposed Use: Food truck/trailer Lot Size: 2.951 acres Adjacent Land Uses:

- North: Open Space/Mixed Use
- South: Mixed Use
- East: Open Space/Mixed Use



Figure 1: Vicinity Map, Conference Center Plaza

• West: Mixed Use/Conference Center

# **ATTACHMENTS**

Exbibit A: Project Narrative/Pictures Exhibit B: Staff/Public Comments

- 1. Economic Development
- 2. Telluride Fire Protection District
- 3. Public Comment

**Case Summary:** Jason Smith, on behalf of The Wok of Joy, is requesting Design Review Board (DRB) recommendation of approval of a Conditional Use Permit Application for the ability to position a food truck/trailer in the Conference Center Plaza, adjacent to the climbing rock. The proposal would allow for the preparation of food in a contained trailer unit with a full kitchen assembly, with a service counter for ordering and food delivery. This application is different from the Town's Plaza Vending application process, as it would allow for a larger, more complex operation in an area that currently has lower activity and foot traffic than other plaza locations. If approved for a Conditional Use Permit, the Town would issue a plaza license agreement for the specific space on the plaza where the food trailer is located. The trailer would be allowed to remain on the plaza overnight, instead of being removed daily like our more traditional vending carts. The Wok of Joy previously did business in Mountain Village under the existing cart program, it left in 2021 to open a retail space in the Town of Telluride, and now wishes to return to the Village.

The Conditional Use Permit process allows for uses that are not contemplated within the Community Development Code (CDC) and which are outside of the normal permitting review and approval process. Since food trucks are not a contemplated use within the Land Use Schedule of the CDC (Section 17.3.3.), the Director of Community Development has determined that this application can be reviewed under the CUP process as codified. The CDC identifies this proposal as a Class 4 Development Application, and referrals to internal and external agencies was performed. This report and analysis will focus solely on the use, not specific design standards required by the CDC.

This application was also analyzed by the Economic Development Department in accordance with policies and goals identified by the Town. As this proposal involves a trailer larger than the typical vending space, and would be somewhat more permanent than a use removed daily, this proposal falls outside of the Town's normal vending permit process. The Economic Development team also reports in their referral that they do not believe that there are other viable locations for a similar use in Mountain Village, making this a unique proposal and thus the Conditional Use Permit standards were applied in this review.

**Applicable CDC Requirement Analysis:** The applicable requirements cited below follow CDC Section 17.4.14.D Conditional Use Permits, Criteria for Decision and 17.4.14.E General Standards for Review. *Please note that Staff comments will be indicated by* Blue Text.

# 17.4.14.D. Criteria for Decision.

Section 17.4.14.D contains nine criteria which must be met for approval of a Conditional Use Permit. Staff has described the criteria in relation to the proposed development below.

# Conformity with Policies, Principles, and Actions of the Comprehensive Plan

Within the Comprehensive Plan, multiple policies provide direction on economic development opportunities within the Village Center Subarea. In particular, the following apply to the proposed CUP application:

### Land Use Principles and Policies

*I.* Mountain Village promotes a balanced approach to land use that responds to the different character of areas throughout the Town.

# Mixed-Use Center

B. Support strategies to increase year-round activity in the Village Center, which serves as the community's vital core.

# Mountain Village Center Subarea Plan

- I. Mountain Village Center is developed and redeveloped in accordance with the Mountain Village Center Subarea Plan to reinforce its role as the center of tourist accommodations, activity, and conferencing in addition to locally-serving commercial, cultural, recreational, and civic spaces in order to maintain year-round vibrancy.
  - *K.* Evaluate the inclusion of small, iconic, architecturally interesting commercial buildings in Heritage Plaza to provide a human scale and interconnect this wide open space.

# Implementation Strategies

Economic Development

- Diversify the retail base to include more locally-focused establishments. Recognizing the data that shows an increasingly homogenized retail base, invest funds that expand the commercial composition of Mountain Village.
- Form a policy framework in which the Town can leverage resources to support more local retail opportunity. Within this framework, include traditional and innovative sources of revenue.

Staff has observed that use of the Conference Center Plaza area, tends to receive less foot traffic than other parts of the Village Center, especially as compared to the adjacent Heritage Plaza. This is due to a variety of factors, not the least of which is a smaller amount of locally-serving restaurant establishments that front onto the Plaza. Currently, the largest restaurant space on that Plaza area (the previous site of the Village Table) is vacant. The proposed addition of a retail food establishment that was previously in the Village Center and ran a successful business (though on a more limited scale through the cart vending program) would add foot traffic to this part of the community, in conformance with the general policies of the Comprehensive Plan.

The applicant has proposed to provide a unique food trailer that could mimic the visual interest seen in the gondola cars that populate various areas of the Village Center. The applicant has suggested that this could include a horse trailer conversion (similar to Coffee Cowboy), a vintage camper conversion (i.e. Airstream), or vintage trucks. Sample photographs are attached to this staff memo.

### Compatibility and Impacts to Surrounding Land Uses

The proposed use is compatible with surrounding uses, as the Conference Center Plaza currently includes plaza-level retail uses, and would allow for other restaurants if proposed. By its nature alone as a restaurant, the proposed use would compete with surrounding similar businesses/restaurants; however, the proposed use is a different product in that it provides more

of a "grab and go" opportunity rather than sit-down dining found elsewhere in the Village Center. In addition, there are currently no similar restaurants currently operating in the Conference Center Plaza.

# Physical Hazards to Neighborhood, Public Facilities, Infrastructure, or Open Space

The applicant has indicated a willingness to situate the trailer in a location that does not create a hazard to the neighborhood, public facilities, public infrastructure, or open space. The Town received referral comments from the Plaza Services Manager reflecting the need to not place or drive the trailer over the FKL parking garage, and that the trailer would need to be removed during the Telluride Film Festival (see attached). Otherwise, staff believes that the proposed location is appropriate and would not cause a hazard.

# Significant Adverse Effect to Surrounding Property Owners and Uses

Since Heritage and Sunset Plazas currently allow for smaller vendors, staff does not believe that the proposed use would create a significant adverse effect on adjacent property owners and uses. This application is unique to existing Mountain Village uses within the Village Center and would increase the diversity of food offerings in the Conference Center Plaza. However, inclusion of new food opportunities in the Village Center would increase competition to other food providers and may create an imbalance in equity for existing brick-and-mortar restaurants. Since this proposal would bring back a local business that previously operated in the Village Center, staff believes this impact would not be significant. Finally, the Business Development Advisory Committee and Town staff has met with surrounding businesses, and the general sentiment is that adding this particular business to Conference Center Plaza would increase interest in the area and hopefully drive additional foot traffic to the vicinity. It is important to note that there are no vending carts currently licensed or operating in Conference Center Plaza.

# Significant Adverse Effect on Open Space or the Purposes of Facilities Owned by the Town

As the Conference Center Plaza is owned by the Town of Mountain Village, this application could impact facilities owned by the Town since it has the potential to increase similar requests by other business owners who would like to operate from a food trailer in the Village Center as well. However, the physical impact of swapping out gondola cars for a food truck would not create significant strain on a Town-owned facility. They would request to connect to an electric outlet on the plaza and can be accommodated by the Town and would expect to pay a utilities fee for this service.

# Adverse Environmental and Visual Impacts

The proposed use would not create adverse environmental or visual impacts to the area, as the proposed trailer would be much smaller in scale than the surrounding buildings. In addition, the total size of the proposed trailer would be relatively similar to the two gondola cars that currently occupy the space, essentially swapping out similar infrastructure.

# Adequate Infrastructure

In the application, the proponents state that the proposed trailer unit would be entirely selfcontained with washing stations, grease traps, coolers, and the like. The only infrastructure required would be an electrical hookup, which would be provided through a building permit application with the Building Department. They would request to connect to an electric outlet on the plaza and can be accommodated by the Town and would expect to pay a utilities fee for this service.

# Damage or Contamination to Public, Private, Residential, or Agricultural Water Supply

Again, as this is a fully self-contained trailer unit, there would be no damage or contamination from the use of any water supply. The applicant has indicated that all water resources would be brought to the trailer and any gray water would be removed daily.

# Applicable Town Regulations and Standards

Interestingly, the CDC does not contemplate mobile food trucks/trailers and thus does not have any relevant regulations or standards that would apply to this application. However, the CDC does include certain use designations within the Land Use Schedule (Section 17.3.3.) that specifically identifies restaurants as a permitted use within the Village Center. As such, staff believes that this proposed use is generally in conformance with the applicable use table in the CDC.

# 17.4.14.E. General Standards for Review

The location of a conditional use shall best serve the proposed use while minimizing potential adverse impacts.

Generally, the proposed Conditional Use would be located in an area that has lower levels of pedestrian activity. It is Town staff's belief that the proposed use is in line with other retail and restaurant uses within the Village Center. In addition, staff believes that the application is supported by provisions within the Comprehensive Plan, and would add vitality to the community. Finally, there are few (if any) potential adverse impacts that the use would create.

**Staff Recommendation:** Staff recommends the DRB recommend approval of the Conditional Use review with conditions to Town Council.

# Staff Note: It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.

# **Proposed Motion:**

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to recommend approval to the Mountain Village Town Council for a Conditional Use Permit for a mobile food truck/trailer to be located in Conference Center Plaza on Tract OS 3XRR, owned by the Town of Mountain Village, based on the evidence provided in the staff memo dated December 21, 2023, and the findings of this meeting with the following conditions:

- 1) The Conditional Use Permit shall be valid for a period of three (3) years, expiring on December 31, 2026. The applicant shall be solely responsible for any reapplication in the future.
- 2) Prior to siting the mobile food truck/trailer, the applicant shall acquire a building permit for installation of an electric power source in conformance with all applicable building codes.

- 3) The applicant will enter into an agreement with the Town, the form of which to be approved by the Town Attorney, for monthly billing of electric utility, the rate to be determined by Town Manager.
- 4) The applicant shall provide proof of compliance to the Telluride Fire Protection District of Section 319 of the 2018 International Fire Code.
- 5) Prior to siting the mobile food truck/trailer, the applicant shall work with the Plaza Services Manager to site the truck/trailer in such a manner as to avoid driving over or parking on all underground parking structures.
- 6) Prior to purchasing the mobile food truck/trailer, the applicant shall provide designs and pictures of the proposed vehicle to the Business Development Advisory Committee Chairperson, the Design Review Board Chairperson, the Community Outreach Coordinator, and the Community Development Director for review and approval. The applicant shall strive to acquire a vehicle that is visually interesting and complimentary to the existing resort infrastructure of Mountain Village.
- 7) Prior to operation of business, the applicant will execute a plaza license agreement with the Town for the trailer space.

The Wok of Joy would like to return to food vending in the Mountain Village core this summer, but we wish to elevate the food vending experience by using a custom, professionally built, and professionally wrapped food trailer. From our several years as a MV food cart vendor and restaurant operator in Telluride, we know that we can provide another popular food option that is fast and affordable for the Mountain Village.

We would like to keep our food trailer in place, on site, in the Conference Center plaza along the short stone wall where the two blue gondola cabins are currently situated. This is an ideal location for our food trailer as the pavers are solid enough to support the weight (which is similar to an average pickup truck) and power is available. We believe The Wok of Joy can attract a lot of local and tourist foot traffic to this underserved plaza, and add some vibrancy to this area of the MV core.

Our food trailer will measure 14' long by 8.5' wide by 7.5' high. It is completely selfcontained, so there will be no business equipment outside of the trailer. Nor will there be any mess on the pavers created by cooking. Having an enclosed trailer will allow us to offer more consistent food service and higher food quality since the weather will not have an impact on doing business outdoors. We plan to stay open all year, roughly following the Gondola schedule. Our operating hours would focus on lunch service extending into early evening to allow people getting off work or skiers coming off the mountain to grab a meal at the end of their day. Special events at the Conference Center could also see us stay open later to serve those customers.

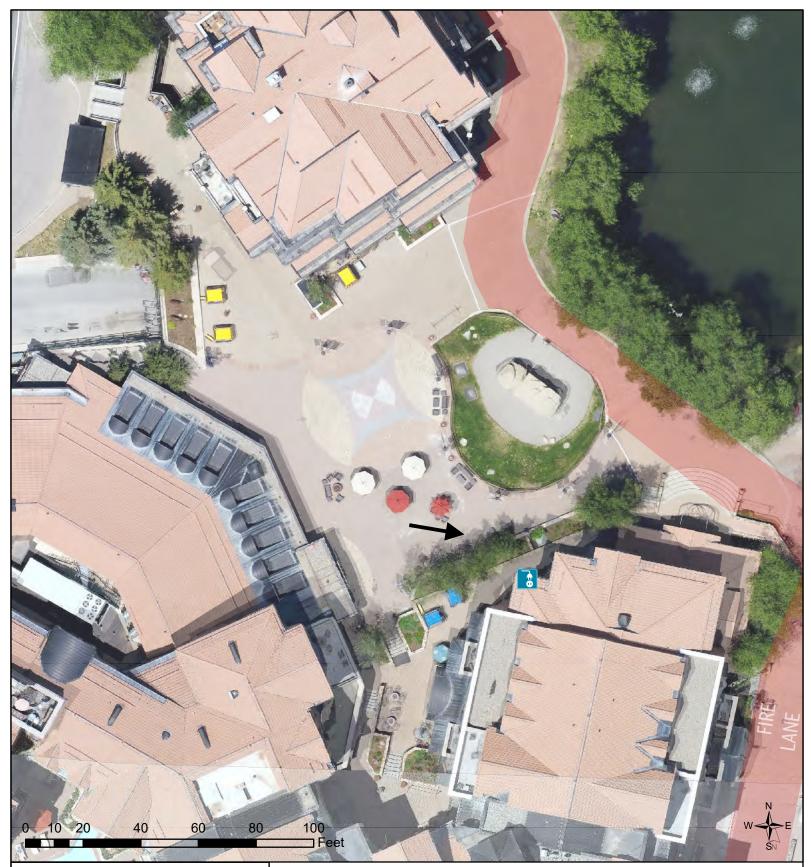
The location along the short stone wall will keep us on the peripheral of Conference Plaza, yet still easily accessible via the Fairmont Breezeway and the Boot Doctors corridor. There is a power junction box directly behind the stone wall at this location that will allow us to run the cooking hood, fridges, and lights in the trailer. We would pay for an electrician to create a shore power connection for our trailer, and we would expect to pay a monthly electric bill for this service. The simple 115V power cord to the trailer would be discreet and out of sight. The trailer does not need a water connection as our water system is self-contained within the trailer. Propane gas powers the cooking equipment.

The food trailer can easily be moved as needed by The Town. Access in and out can be done via the stanchions entry next to the old Wells Fargo Bank. Our daily movement of supplies would be managed by hand cart, so there will be no need for us to drive onto the site once the trailer is in place. Our commissary is the Ghost Pocket Kitchen in Illium, where our food supplies will be kept and prepped. The aesthetics of the trailer will be clean and professional, using our soft-color graphics and logo from our original food cart (as shown in the image attached).

Joy plans to offer her Pad Thai noodles, daily curry, and daily specials as available. We will also sell our Bao Buns, steamed dumplings, and a variety of house-made drinks. All containers and utensils will be eco-friendly. Customers can take advantage of the Town's existing seating options in Conference Plaza.

As shown in the attachments, the food trailer will contain a professionally-built commercial kitchen on a tiny scale. Equipment includes a griddle, two burners, and undercounter fridges. A commercial hood will vent all of the cooking vapor through the roof of the trailer, minimizing the effects of cooking on the surrounding environment. For a size perspective, the length of a 14' food trailer is shorter than your average pickup truck (at 19' long) so we feel the visual impact on the Conference Plaza will be minimal. If approved, The Wok of Joy hopes to have the trailer built and in operation by June 1 2024.

As we have learned from our time as a food cart and a restaurant, there is still a massive demand for affordable, fast food options in both the Mountain Village and Telluride. We have our menu and cooking methods completely dialed in, and will be able run at full speed from Day One. We are fully licensed and insured. We look forward to returning to our roots as food vendors and keeping Joy's Thai food accessible to everyone.



Town of Mountain Village Geographical Information Systems



455 Mountain Village Blvd. Unit A Mountain Village, Colorado 81435

# Mountain Village Special Events Conference Center Plaza

# Map Disclaimer

This information is a product of the Town of Mountain Village Geographic Information Systems (GIS) Department and is intended for the display of relative positions and locations only. Users of this information hereby recognize, acknowledge, and agree that it is not a guaranteed accurate legal or surveyed representation of land. Users assume all risk and responsibility for any and all direct and indirect damages, including consequential damages, that may flow from the use of this information. Users further recognize, acknowledge, and agree that the Town of Mountain Village GIS Department has not made and representations, warranties, or guarantees of any kind that this information is survey accurate or fit to be used or relied upon for any particular purpose.



# Build Plans for 8.5 ft x 18ft Food Trailer

—POTABLE WATER TANK—

TWO – 1.5 FEMALE NPT TWO - .5 FEMALE NPT

33 Gal. 36 x 12 x 17.75

-WATER INLETS-R.V. style fill dish W Gravity Fill/AIR VENT/CITY FILL (with Anti-Backflow) -OVERFLOW LINES-.5" Pex Line Tank Drain - .5" Vent Hose -WASTEWATER TANK-

40 Gal. 56.5" x 24.5" x 9" 3" Lug with Cap Dump Valve From Tank 1.5" DWV PVC Backwater Valve In-line Under Sink —WATER HEATER— ARISTON ANDRIS 4 GALLON 120 Volt Electric —HAND WASH SINK— 12"x16" with side splash bowl – 9"x 9"x 4" – 1.5" Drain —ASSOCIATED PLUMBING— All DRAIN LINES schudgle 40 PVC (1.5") All DREASRED WATER LINES .5" PEX All Vent Hoses 5/8 ID CLEAR VINYL TUBING WATER FILL HOSE 11/4" NFS COMPLIANT

-FINISH SCHEDULE-INTERIOR WALLS & CEILING – PAINTED ALUMINUM .030 RUBBER COIN FLOORING OR ATP ALL PREP TABLES SURFACE ARE 304 STAINLESS NFS SAFE SINK COUNTERTOP .020 ALUMINUM DOOR SKINED ALUMINUM PAINTED .030 BOTH SIDES 60x34 SERVING WINDOW LEFT TO RIGHT SLIDER

—GAS HARD PIPE & FLEX—

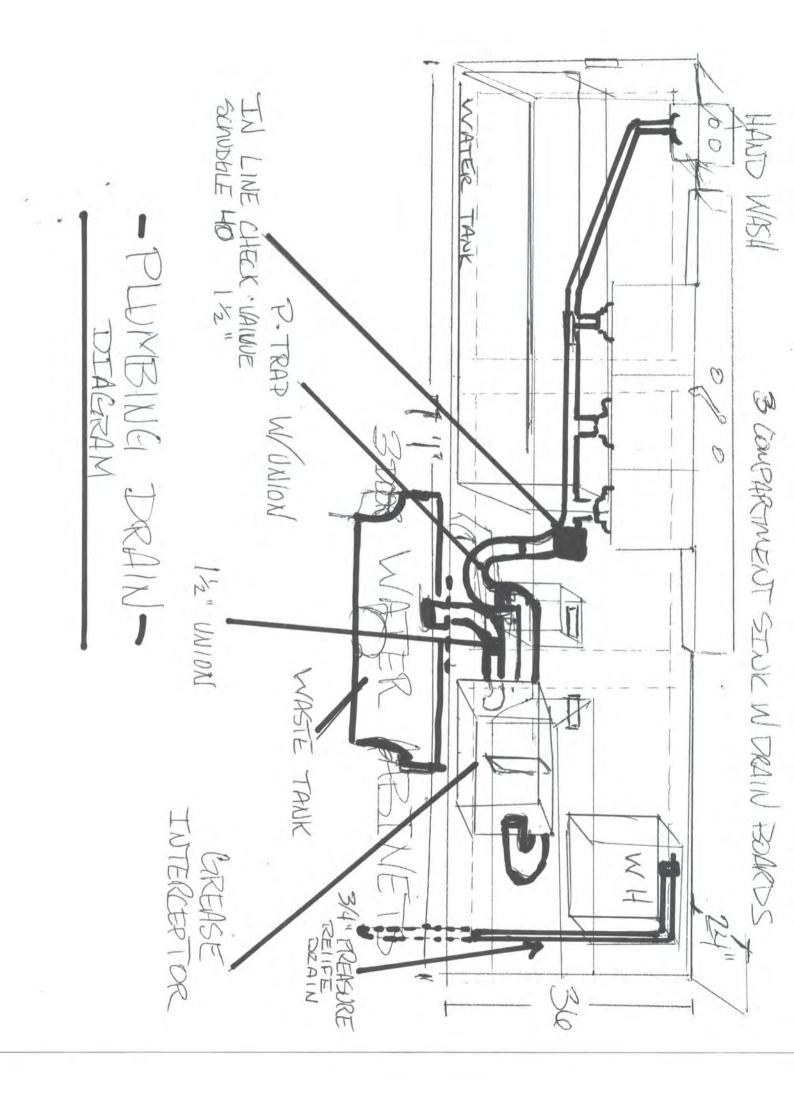
ALL BLACK IRON GAS LINES <sup>3</sup>/<sub>4</sub>" APPLIANCE LINES – REGENCY 36" GAS HOSE <sup>3</sup>/<sub>4</sub>

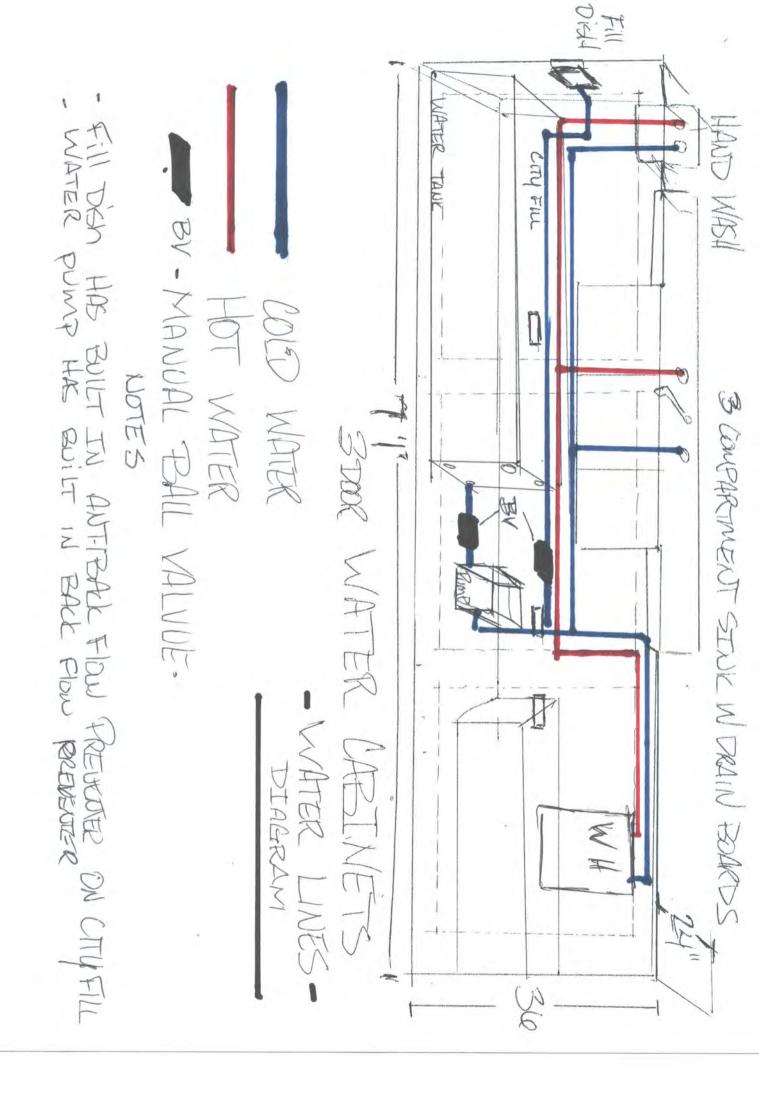
-ELECTRICAL LINES-

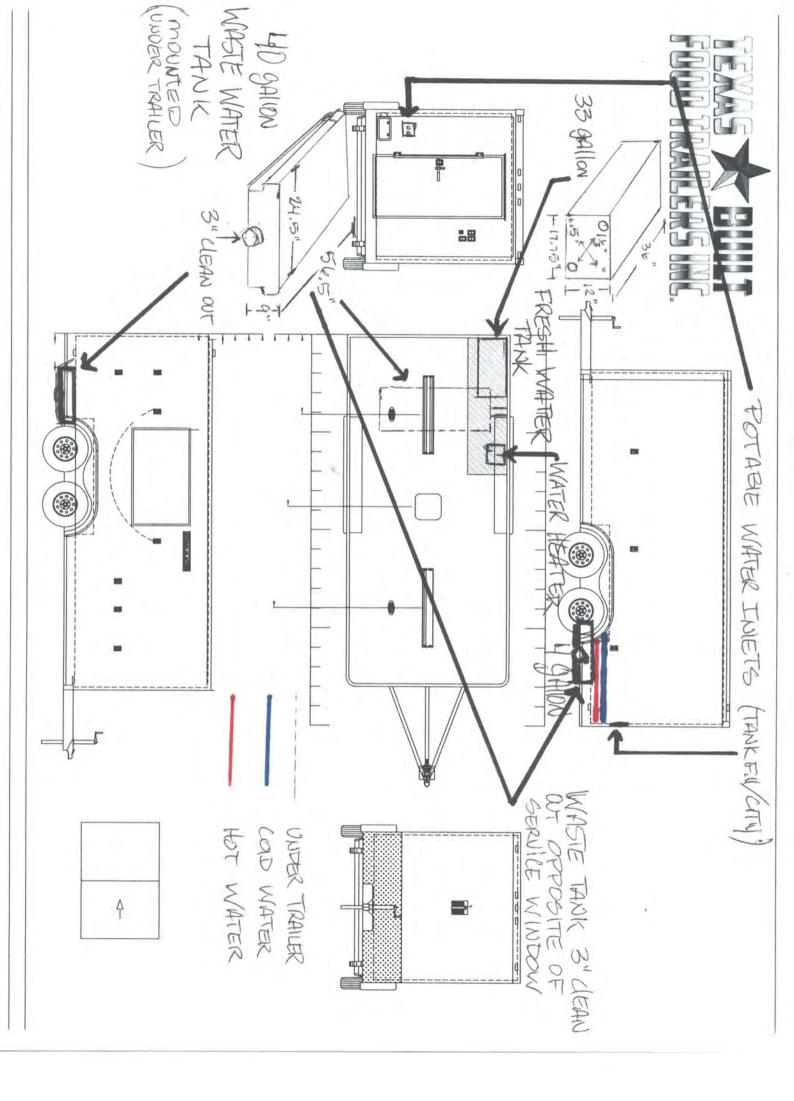
ROMEX SOUTHWIRE 12/2 & 14/2 NM-B 25' 50 AMP LIFELINE 6/3 + 8/1 POWER CORD N14-50P UL & C-UL PLUG & STW CABLE

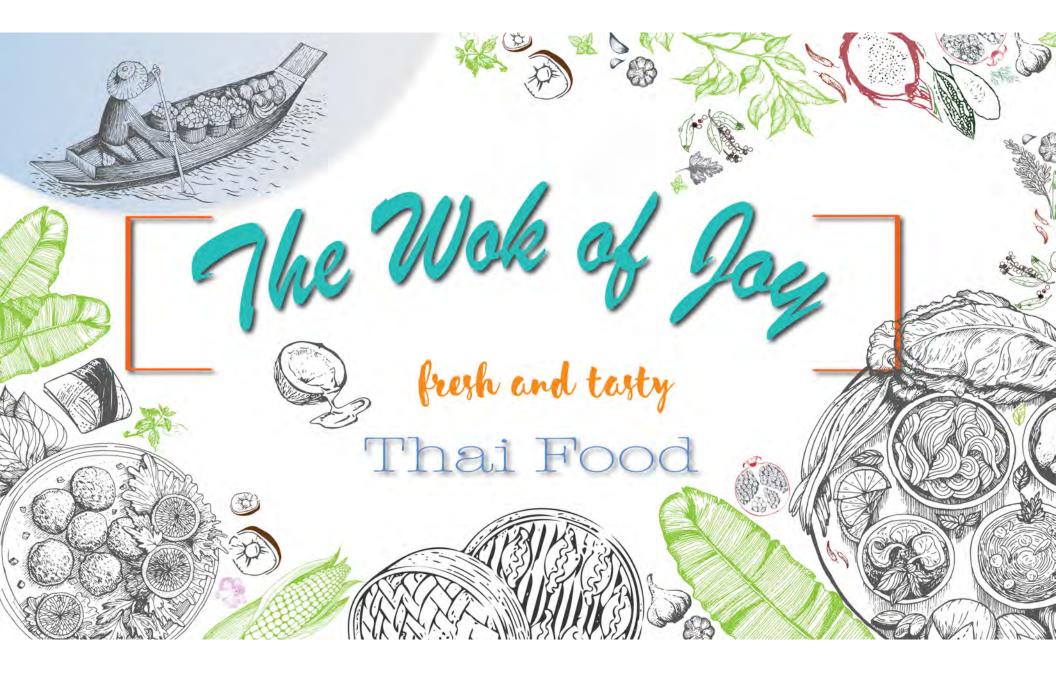
-MECHANICAL VENTILATION-

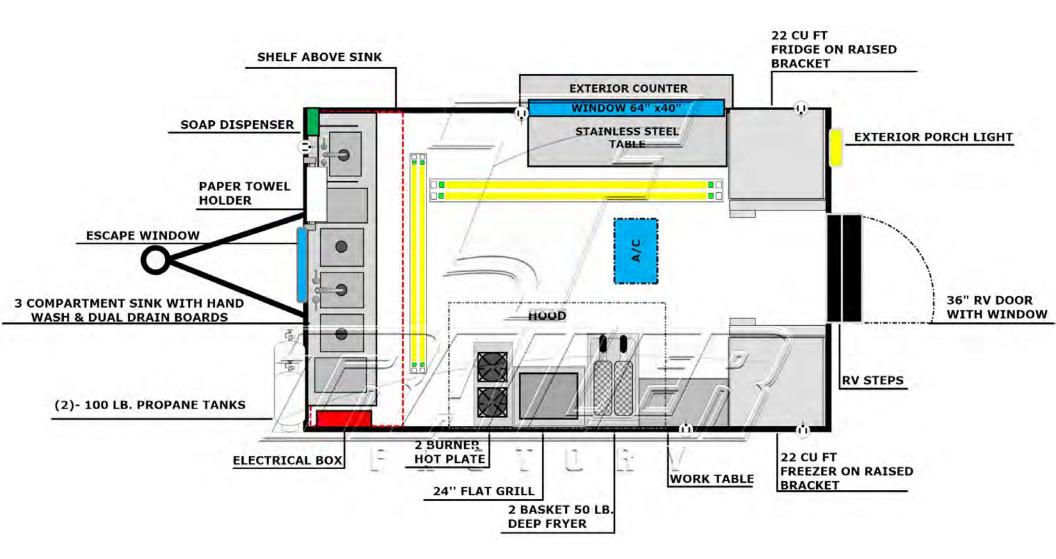
STAINLESS STEEL EXHAUST HOOD STAINLESS FILTERS DIRECT DRIVE EXHAUST 115V SINGLE PHASE ¼ HP





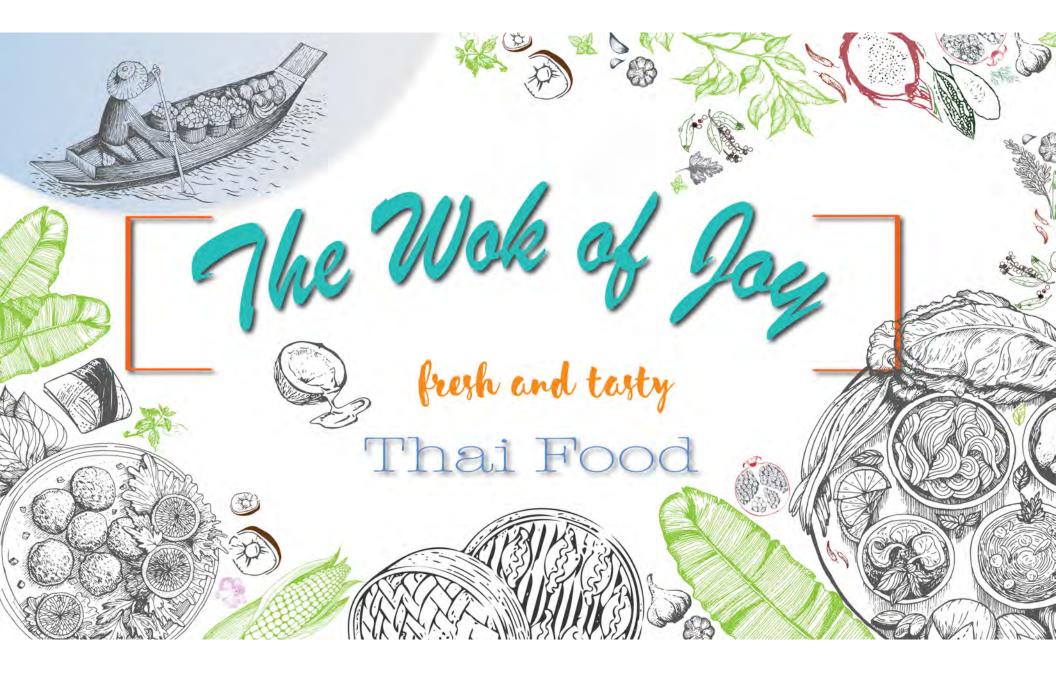


















TO: Planning Department

FROM: Economic Development Department

DATE: December 22, 2023

RE: Economic Development Department Referral - Wok of Joy Conditional Use Permit Application

#### **SUMMARY:**

The Economic Development team was approached by the owners of the Wok of Joy in the Summer of 2023 to begin exploring the possibility of bringing their Thai food concept back to Mountain Village as a food trailer. After discussing ideas and concepts, it was proposed to bring a Conditional Use Permit forward as the request differs from and does not fall within the traditional plaza vending program and the Plaza Vending Regulations. This memo outlines the Economic Development team's referral on the application to place the Wok of Joy food trailer in Conference Center Plaza as well as recommendations related to the possible implementation of the proposal.

#### BACKGROUND:

Mountain Village's vending program was established to provide diversity of food and service options for guests and community members in the Village Center. Town's vending program provides a unique and flexible opportunity for the micro-entrepreneur looking to test their family recipes, incubate their business ideas and/or showcase their wares and services to our community.

While vending requests typically fall under the Town of Mountain Village Plaza Vending Regulations and application process, the use being discussed falls outside of the Plaza Vending process as the trailer will remain on the plaza (like Coffee Cowboy in Oak Street Plaza) rather than moved to storage each day and does not fit in the small footprint size allocated for plaza vending carts.

Town staff has heard repeatedly from Conference Center Plaza businesses the need for more vibrancy and vitality in this plaza space. With the Village Table space sitting empty for over a year now, there is currently only one food offering provided in Conference Center Plaza (Communion Wine Bar – small plates, evenings only).

#### **CONSIDERATIONS:**

#### Existing Vending Program

The existing vending program regulations exist to provide small scale vending, primarily in Heritage Plaza. Vendors are limited to a footprint of 40 square feet and carts must be removed from the plaza at the end of each day. Currently, the most desirable location for vending is Heritage Plaza. It receives the most foot traffic and provides the easiest location for moving carts from the storage locations to the plaza. Town staff has encouraged and attempted to incentivize vending in Sunset and Conference Center Plazas as a way to add more vibrancy to these plazas, but thus far, no vending cart has been able to successfully operate outside of Heritage Plaza. The general consciousness is that any vending cart in an outer plaza would need 1) a different storage option, 2) be an establishment with an existing following (i.e. not a brand new vendor trying a brand new concept), and 3) create a destination – a place guests want to visit.



The Wok of Joy's application provides an opportunity to explore a new and unique concept to the Village Center. The Wok of Joy is an established business with a strong local following as well as offering menu items not currently available in Mountain Village during daytime hours. A fully wrapped and customized trailer for Mountain Village with tables and chairs and firepits set up outside of the trailer provides a destination location. It would be ideally situated near two establishments primarily catering to beverage service.

Of course, an application like this may open the door for other vendors to pursue a Conditional Use Permit to move from cart to trailer vending. The Economic Development team, at this time, does not see any additional viable locations for food trailers in the Village Center beyond this proposed location. Both Sunset Plaza and Conference Center Plaza are constrained with underground garages and weight limitations. While Town staff intends to further explore the idea of additional food trailer concepts in Conference Center Plaza, until the adventure rock is removed and proper utilities can be provided, space in this plaza for additional trailers is limited. Additionally, the Economic Development team is not supportive of changing the vending program in Heritage Plaza at this time and would not support the use of trailer vending apparatuses in Heritage Plaza for a number of reasons. There is not the need nor the space nor the desire for such use in Heritage Plaza.

#### Brick and mortar businesses

In November 2023, the Economic Development team and TMVOA met with the Conference Center Plaza businesses to discuss ways to drive more foot traffic and vibrancy to their businesses. A major point of feedback from the group was the vacant Village Table space and lack of food options in their plaza area. Town and TMVOA are currently working on a separate project to bring live music, vending, and pop-up shops to the Conference Center Plaza for a weekly après event in the winter. We believe adding the Wok of Joy to this space with their trailer concept is in line with the requests of the business community in the Conference Center Plaza.

The vending program has a rather contentious history in Heritage Plaza, with disagreement between brick and mortar and vending carts on the purpose, location and competitiveness of food products. The vending program is strongly supported by Town staff and Council. In November 2023, Town Council heard an appeal of a vending cart application which was approved with a limited menu due to competitiveness and overlap of product with existing brick and mortar. Council overturned the Plaza Vending Panel's discussion, disagreeing with the Panel's views on competition. Town staff does not believe that adding a trailer concept to Conference Center Plaza, with a food offering not found elsewhere in Mountain Village, offered by two Mountain Village residents with a local following will have a significant impact on Mountain Village's existing brick and mortar businesses.

#### Comprehensive Plan and Economic Development Goals

Town staff feels the Wok of Joy application is in line with the goals and strategies of the Economic Development department and the Comprehensive Plan. The Economic Development team is responsible for working closely with the Mountain Village business community to promote vibrancy and vitality of the Village Center. Town staff has heard the feedback of our Conference Center Plaza business community and believe this application is a step in the right direction to assisting the business community in that plaza. The Comprehensive Plan recognizes the significant costs of brick and mortar, the substandard sales/square foot of our retail outlets and promotes diversifying our homogeneous retail base and considering the inclusion of different types of commercial spaces to provide a better



human scale and better interconnect the wide open spaces of our plazas.

#### STAFF RECOMMENDATION:

The Economic Development department supports the application for the Wok of Joy to operate out of a food trailer in Conference Center Plaza. A plaza license agreement shall be established, similar to the Coffee Cowboy, for the semi-permanent use of Town-owned plaza space. Rent and utilities shall be set by the Town Manager, recognizing the more significant impact and use of the plaza space as compared to a vending cart. Requirements around operating days, hours and need to move the trailer for special events shall also be outline by Town staff in the plaza license agreement.



## **DEVELOPMENT REFERRAL FORM**

Planning & Development Services Planning Division 455 Mountain Village Blvd. Ste. A Mountain Village, CO 81435 (970) 728-1392

#### Referral Agency Comments Lot OS-3X, CUP for Wok of Joy:

Approval from TFPD with the condition of compliance with 2018 IFC Section 319.

Page **3** of **3** 

From:	Christopher Luck
То:	<u>cd</u>
Subject:	Jason Smith
Date:	Thursday, December 21, 2023 10:58:33 AM

**Caution:** External Message - Please be cautious when opening links or attachments in email.

As a condo owner at Centrum in Mountain Village, I am totally in favor of the Wok of Joy food trailer in the Conference Center Plaza.

Christopher Luck



AGENDA ITEM 8 PLANNING & DEVELOPMENT SERVICES 455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 728-1392

- **TO:** Mountain Village Design Review Board
- FROM: Design Workshop on behalf of the Town of Mountain Village
- FOR: Design Review Board Public Hearing, January 4, 2023

DATE: December 22, 2023

**RE:** Review and Recommendation to Town Council regarding a Vested Property Rights Extension for Lot 27A, Parcel Three -R, TBD Lost Creek Lane

# Project Geography

**Legal Description:** Lot 27A, Parcel 3R, Belvedere Park Condo.

According to the Second Amendment to the Condo map for Belvedere Park Condos,

Recorded June 15, 2006 in Plat Book 1 at page 3674-3675 under Reception Number 384818, County of San Miguel, State of Colorado

Address: TBD Lost Creek Lane Applicant/Agent: James Mahoney Owner: MV Lot 27A, LLC Zone District: Multi-Family Zoning Designation: Condo; Employee Condo Existing Use: Vacant Proposed Use: 19 Condominiums and 2 Employee Condominiums



#### Adjacent Uses:

- **North:** Multi-Family Residential
- South: Vacant Land and Single-Family Residential
- East: Multi-Family Residential
- West: Multi-Family Residential

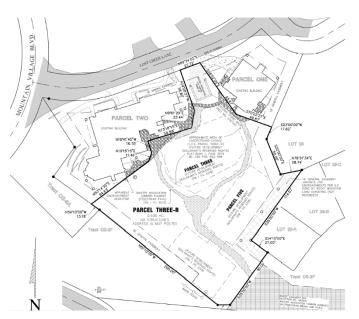
#### **Attachments**

Exhibit A: Applicant Narrative Full Application (including approved plan set) can be found at this link: https://mtnvillage.files.com/f/d9492cfb677c3b06

#### **Current Entitlements**

Lot 27A was approved for a new multifamily Condominium development, comprised of 19 condominium units and 2 employee condominium units by the DRB on October 6, 2022. The applicant has submitted an application for a threeyear Vested Property Rights Extension for this property.

The development is the third phase of a Master Development Plan which was approved as early as 2004 and amended several times. Ordinance No. 2021-14, included in the application, provided approval for the density transfer and rezone on Lot 27A which was critical to the Final Architectural Review approval. The applicant is



requesting a three-year extension on the issued approval in order to move forward with the planned development on Lot 27A, Parcel Three-R. They cite construction and construction financing difficulties as the primary deterrent to being able to commence construction immediately.

#### Vested Property Rights

A vested property rights extension allows a developer to extend their existing approvals through a Class 4 development application process for a period longer than the initial 18-month period. Town Council can elect to approve an extended vested period that is specific to their sitespecific development plan (approved design drawings), typically for an additional three-year period. This is the most logical way for a developer to request additional time to construct their project without losing their current entitlements.

Section 17.4.17 of the CDC lists the following criteria for the Town Council to approve a vested property right application. The DRB is a recommending body to Town Council.

#### Please note staff comments in blue:

a. A vested property right is warranted in light of relevant circumstances, such as the size and phasing of the development, economic cycles and market conditions;

Staff: The significant size of the Master Development Plan necessitated a phased approach, which the Town Council approved as part of the rezoning approval in Ordinance 2021-14. The applicant indicated that the development plan for Parcel Three-R and adjacent parcels (developed under phases I and II) were approved as a whole and are coordinated to work together. However, the applicant states that "the existing financial and financing markets over the past year and uncertainty into the future as well as the tight trade and labor markets may make construction and construction financing difficult for the near term, warranting a three-year vested rights in the above noted approvals" for the last phase of development on Parcel Three-R. It is the staff's understanding that the applicant intends to construct within the three years and would not require an extension beyond the three-year period.

b. The site-specific development plan is consistent with public health, safety and welfare;

Staff: The design review went through a lengthy assessment prior to unanimous approval, and staff feels that the final approval represents site-specific development that meets these criteria.

c. The site-specific development plan provides for the construction and financing of improvements and facilities needed to support the proposed development;

Staff: The design review went through a lengthy assessment prior to unanimous approval, and staff feels that the final approval represents site-specific development that meets these criteria. In addition, the applicant affirms that "The construction plans are near building permit plan set ready and provide for the construction of the project. The Owner is confident that with its financing relationships if granted the three-year vested rights financing of the construction will be feasible."

d. The site-specific development plan meets the criteria for decision for concurrent, required development application(s); and

Staff: Staff finds this condition met. As indicated in the application, there are no concurrent development applications, as the site-specific plans have been approved.

e. The proposed vested property right meets all applicable Town regulations and standards.

Staff: Staff finds this condition met.

#### **General Comments:**

The criteria listed under subsection (a) are the most pertinent to the board's discussion. If DRB finds that the claimed site-specific circumstances, such as size and phasing of development, and economic circumstances, such as economic cycles and market conditions, to be valid obstacles for initiating construction currently, then a vested property right extension seems reasonable. DRB should also discuss the length of vesting, whether they would recommend the typical three-year period requested by the applicant or a different length.

# Staff Note: DRB should note the reasons for approval or rejection in the findings of fact and motion.

**Staff Recommendation:** The DRB is asked to make a recommendation to Town Council regarding a vested rights extension. Staff recommends that DRB make a recommendation of approval of this application. Staff has provided a motion for both recommendation of approval and denial depending on the findings of DRB.

If DRB chooses to recommend **approval** of the **vested rights extension**, then staff suggests the following motion:

I move to recommend approval to Town Council of a three-year vested rights extension, per the criteria listed in the CDC for a multi-family and employee housing development on Lot 27A Parcel Three-R based on the evidence provided in the staff memo of record dated December 22, 2023 and the findings of this meeting.

If DRB choses to recommend **denial** of the **vested rights extension**, then staff suggests the following motion:

I move to recommend denial to Town Council of a three-year vested rights extension, per the criteria listed in the CDC for a multi-family and employee housing development on Lot 27A Parcel Three-R based on the evidence provided in the staff memo of record dated December 22, 2023 and the findings of this meeting.



<u>www.telluriderlaw.com</u> James Mahoney, Esq.

### LOT 27A PARCEL THREE -R VESTED PROPERTY RIGHTS APPLICATION NARRATIVE

To: Town of Mountain Village

From: James Mahoney and Chris Chaffin

Date: August 16, 2023

Re: Lot 2A, Parcel Three R - Vested Property Rights Application Narrative

On behalf of the owner of Lot 27A, Parcel Three-R (Parcel Three-R), MV Lot 27A, LLC, we have submitted an application to secure vested property rights for the current site-specific development approvals for Parcel Three-R which consist of the following:

- The Design Review Board (DRB) approved the Final Architectural Review on October 6, 2022 allowing for the construction of a new multi-family building consisting of 19 Condominium Units, and 2 Employee Condominium Units. These approvals also include the specific approvals and design variations as noted therein.
- 2. Master Development Plan for Lot 27A including the phased approach as approved in 2004 and amended from time to time including ordinance No. 2021-14.
- 3. 2006 Parcel Three-R Condo Plat and Resolution No.2006-0509-03. These documents are recorded and not subject to expiring; however, they are important to the overall development and Master Development Plan as it combined and altered that plan to create one final parcel for development and its density which was amended by Ordinance No 2021-14 as noted below.
- 4. Ordinance No. 2021-14 Approving a Density Transfer and Rezone at Lot 27A removing efficiency lodge and lodge density to have 19 Condo Units and 2 Employee Condo Units. While this Ordinance was recorded on January 12, 2022 at reception number 474709 and is not subject to expiring due to the recording, this is a key piece to the site specific development plan for Lot 27 as it drove the Final Architectural Review and was the last piece of the master development plan for Lot 27A.
- 5. January 13, 2022, Density Transfer of the lodge and efficiency lodge density to the density bank and 2 condo units to the Parcel Three-R.

Pursuant to the Community Development Code ("**CDC**") in order for the Town to approve a vested property rights application the Town must consider the following criteria:

a. A vested property right is warranted in light of relevant circumstances such as the size and phasing of the development, economic cycles and market conditions:

PO Box 1902 Telluride, Colorado 81435 970.708.5070 jmahoney@telluriderlaw.com



<u>www.telluriderlaw.com</u> James Mahoney, Esq.

- i. Applicant: The development is of a significant size and is phased through the Master Development Plan of parcel 27A of which Parcel Three-R is the final phase. Ordinance 2021-14 on rezoning clearly contemplates the development pursuant to the Final Architecture Review Approval in that it references and requires a submittal of that application within 18 months (which was complied with) as a condition of the rezone and Master Development Plan. Further, the existing financial and financing markets over the past year and uncertainty into the future as well as the tight trade and labor markets may make construction and construction financing difficult for the near term, warranting a three-year vested rights in the above noted approvals.
- b. The site-specific development plan is consistent with public health, safety, and welfare:
  - i. Applicant: Extension of the current approvals would not negatively impact public health, safety or welfare as they were discussed and approved with the same considerations and standards. No changes have altered this analysis.
- c. The site-specific development plan provides for the construction and financing of improvements and facilities needed to support the proposed development:
  - i. Applicant: The construction plans are near building permit plan set ready and provide for the construction of the project. The Owner is confident that with its financing relationships if granted the three-year vested rights financing of the construction will be feasible.
- d. The site-specific development plan meets the criteria for decision for a concurrent, required development application(s):
  - i. Applicant: There are no concurrent development applications as the site-specific development plans outlined above are already currently approved.
- e. The proposed vested property rights meet all applicable Town regulations and standards:
  - i. Applicant: At the time of their approvals the site-specific development plans outlined above were approved as meeting all applicable Town regulations and standards as does this application.

The CDC also requires two general standards regarding document notation and duration of vested rights consideration. First the CDC states that each document that comprises a site-specific development plan shall contain the following language:

Approval of this site-specific development plan may create a vested property right pursuant to C.R.S. § 24-68-101 et seq. and subject to the Town of Mountain Village's Community Development Code.

The Applicant and Owner request that upon approval of this application the resulting ordinance would have the above required language and that the applicant shall add to all approval letters and plans that consist of the site-specific development plan the above required notation as is consistent with prior

PO Box 1902 Telluride, Colorado 81435 970.708.5070 jmahoney@telluriderlaw.com



<u>www.telluriderlaw.com</u> James Mahoney, Esq.

vested rights approvals of a similar nature. The typical vesting period is three years and no consideration need to be given to vesting beyond three years.

As you can see the above listed documents which constitute the site-specific development plan for Parcel Three-R taken as a whole describe with great certainty the type and intensity of use for Parcel Three-R. They are coordinated to all work together and the applicant believes it would not only be in the applicants interest to get vested property rights for this project, but it would be in the Town's and communities best interest as there exists an approved coordinated plan that is acceptable to the community, meet all standards of approval, was not controversial and would not require the town staff, boards and Council to process and review an entire new application should the approvals expire. For these reasons the Applicant and Owner request that the Town grant the three-year vested rights requested herein.

Included Documents:

- i. Title Commitment
- ii. 2021 Deed to Property
- iii. Lot 27A DRB Approval
- iv. Lot 27A 2006 Parcel Three-R Plat
- v. Lot 27A Parcel Three-R Ordinance and Density Cert Approvals



#### **PLANNING & DEVELOPMENT SERVICES DEPARTMENT**

PLANNING DIVISON 455 Mountain Village Blvd. Mountain Village, CO 81435 (970) 728-1392

November 10, 2022

MV Lot 27A, LLC C/o Chris Chaffin PO Box 2107 Telluride, CO 81435

RE: Lot 27A, Notice of Action for Class 3 Design Review Process Application

Dear Mr. Chaffin:

At the October 6, 2022, Design Review Board (DRB) meeting the board voted unanimously to approve the Design Review Process application for a new multi-family Condominium on Lot 27A, TBD Lost Creek Lane. The development application was approved with the following conditions:

1. Prior to building permit, the applicant will revise the landscaping plan for review by staff to address concerns raised by the Town Forrester.

2. A reflective surface is required on the address monument in case of power outage.

3. Prior to certificate of occupancy the applicant shall provide the Town with a two (2) year landscaping financial guarantee on all plant materials planted as part of the approved landscape plan. The developer shall enter into an improvements agreement with the Town to ensure performance.

4. Concurrent with Certificate of Occupancy, the condominium map and condominium declarations need to be submitted to the Town for review.

5. Prior to issuance of the certificate of occupancy, the deed restrictions associated with the two employee condominiums need to be executed. The 1997 ordinance/acknowledgment applies.

6. The deed restricted units must receive certificate of occupancies prior to our concurrent with the free market units.

7. The Mountain Village Housing Authority will perform a walk-through inspection of the two deed restricted units prior to issuance of a certificate of occupancy.

8. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either

noncombustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.

9. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the setbacks.

10. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eightfoot (8') materials board will be erected on site consistent with the review authority approval to show:

a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by

four feet (4');

- b. Wood that is stained in the approved color(s);
- c. Any approved metal exterior material;
- d. Roofing material(s); and
- e. Any other approved exterior materials

11. It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

DRB Specific Approval:

Exterior Materials – metal hardie-board fascia, board form concrete of 8" horizontal spacing
 GE Encroachments – Patio surface, retaining walls, decks, green roof, emergency turnaround (subgrade)

3. Green roof

**Design Variations:** 

1. Exterior materials- less than 25% stucco, more than 25% wood, less than 25% stone

2. Loading/Unloading Zone Waiver

Findings:

1. The door and window cladding material approved is specified as metal to match the roof

Length of validity shall be for 18 months from the date of approval, expiring on April 6, 2024. If the development has not commenced, legal instruments not recorded, or if a building or development permit has not been issued, as applicable, the approval shall expire unless a Renewal Process development application is approved. Once all of the conditions set forth above are met, unless such condition is deferred until after a building or development permit has been issued, the Town will issue a development permit for the project in accordance with the requirements set forth in the Community Development Code. Sincerely,

1 h Q R

Amy Ward

Community Development Director Town of Mountain Village O :: 970.369.8248 M :: 970.729.2985