

## **Design Narrative – Lot 17R Cortina**

### **Attached:**

Exhibit 01 – Design Package

Exhibit 02 – HOA Approval Letter

Exhibit 03 – Access Easement – Variance Request

Exhibit 04 – Soils Report

Exhibit 05 – ALTA Survey

Exhibit 06 – Steep Slope Analysis

This design narrative addresses the how the proposed development at Lot 17R Cortina is in compliance with the Mountain Village Municipal Code, specific to the Community Development Code (CDC) requirements. Lot 17R Cortina Drive is designed as a 3-unit condominium residence. The proposed building is designed with garages and individual unit entries provided at level 03 along the upper portion of Cortina Drive. Two (2) three-story units step down from level 03 to level 01, with level 01 set to walk out on grade above the existing lower Cortina Drive retaining wall. A third unit steps up from level 03 and spans across the footprint of the building at level 04. The building form as a whole is designed to step back into the hillside to help maintain building height and building siting requirements.

359 Design crafts projects that are architecturally contextual to not only blend with the surroundings but enhance the landscape. We have been working with mountain and destination jurisdictions since inception to create livable communities. We are committed to the mission of maintaining existing community standards while improving guest options for the future. 359 Design is also a leader in construction efficiency, with 100's of systems-built units under our belts. We know the sequence and how, when done properly, systems-built construction minimizes the impact on the surrounding community while maintaining efficiency.

### **Section 17.3.2 – Zone Districts Established**

B.4. Multifamily Zone District – The Multifamily Zone District (“MF”) is intended to provide higher density multifamily uses limited to multifamily dwellings, hotbed development, recreational trails, workforce housing and similar uses.

17.3.4.D.1 – Lots in the Multifamily Zone District shall be used for the construction of multifamily dwellings, including lodge units, efficiency lodge units, condominium units (attached or detached), workforce housing units, hotel units, hotel efficiency units, accessory commercial uses as limited below and other similar uses.

17.3.4.D.3 – Permitted accessory uses include home occupations pursuant to the Home Occupation Regulations, surface parking as limited by the Parking Regulations, and other similar uses.

### **Section 17.3.7 – Density Limitation**

C. The person-equivalent density is calculated based on the actual unit-to-person equivalent density conversion factors listed in Table 3-2:

Zoning Designation	Actual Unit	Person-Equivalent Density
Condominium	1	3.0 Person Equivalents

*The proposed development has a total of three (3) condominium units. Per Table 3-2 above, the person-equivalent density of the proposed development is 9.0.*

**Section 17.3.11 – Building Height**

B. The Building Height shall be measured from the highest point on the rooftop, roof ridge, parapet, or topmost portion of the structure (including but not limited to the roofing membrane) to the natural grade or finished grade, whichever is more restrictive, located directly below the highest point of the structure. A building height calculation is produced for each of the four (4) architectural elevations.

*Please refer to sheets A2.06, A2.08, and A9.01-A9.02 of the attached Exhibit 01 for a review of Building Height. The proposed development is conforming with all building height requirements. Per Table 3-3 and footnote 1 (the roof form is predominantly gable), the maximum building height for Multifamily Zoning is 53’ – 0”. As noted on Sheet A2.06, the maximum building height is 52’ – 10”.*

*Per Table 3-3 footnote 1; The ridge of a gable, hip, gambrel, or similar pitched roof may extend the maximum building height up to five (5) feet above the specified height limit, except on ridgeline lots.*

*Per Table 3-3 footnote 2; Chimneys, flues, vents, or similar structures may extend up to five (5) feet above the specified maximum height excluding unscreened telecommunications antenna with the height of such structures set forth in the telecommunications antenna regulations.*

C. The Average Building Height shall be measured from the natural grade or finished grade, whichever is more restrictive, to the point on the roof plane midway between the eave and the highest point on the rooftop, roof ridge, parapet, or topmost portion of the structure. An average building height calculation is produced for each of the four (4) architectural elevations. The four (4) height calculations are then averaged to derive the Average Building Height.

*Please refer to sheet A1.15 of the attached Exhibit 01 for a review of Average Building Height. The proposed development is conforming with all average building height requirements. Per Table 3-3 and footnote 1 (the roof form is predominantly gable), the maximum average building height for Multifamily Zoning is 53’ – 0”. As noted, the maximum average building height is 40’ – 7”.*

**Section 3.13 – Maximum Lot Coverage**

A. Maximum lot coverage for buildings in all zone districts is set forth in Table 3-4:

Zone District	Maximum Lot Coverage
Multifamily outside of the Village Center	65%

*Per Table 3-4 as noted above, the maximum lot coverage is 65%. As noted on sheet A0.00 of the attached Exhibit 01, the proposed lot density is 51%.*



### **Section 17.3.14 – General Easements Setbacks**

C. All general easement setbacks or other setbacks shall be maintained in a natural, undisturbed state to provide buffering to surrounding land uses and to maintain the ability to conduct any of the general easement allowed uses.

D. All above-grade and below-grade structures or structural components (soil nailing, etc.), earth disturbance, or ground level site development such as walks, hardscape, terraces and patios shall be located outside of the general easement setback or other setbacks on each lot within the allowable building area of a lot.

*Please refer Exhibit 02. The proposed development is requesting a design variance to encroach on the 5' – 0" setback as noted. Outside of the location noted, there are no proposed setback encroachments.*

### **Section 17.5.5 – Building Siting Design**

A. Effective site planning is crucial to designing a building and development that blends into the existing landscape. Building siting shall respect and relate to existing landforms and vegetation. Design solutions shall be site-specific, organizing the building mass in a way that relates to the terrain and functional constraints of the site.

*Please refer to sheets A1.02, A2.01 – A2.08, and A9.20 – A9.21 of the attached Exhibit 01. The proposed development is designed to step naturally with the significant grading on the site. Vehicular and pedestrian access are provided on the high side of Cortina Drive, with the building stepping back into the existing topography with walkout conditions above the existing lower Cortina Drive retaining wall at Level 01. The proposed topography is designed to integrate drainage measures but otherwise have a minimal impact to the existing topography.*

### **Section 17.5.6 – Building Design**

A. Building Form – The alpine mountain design shall be based on building forms that are well grounded to withstand the extreme natural forces of wind, snow, and heavy rain. All buildings shall be designed to incorporate a substantially grounded base on the first floor and at finished grade. Examples of materials which evoke this form are stone, metal, stucco, or wood. Where the base of a building meets natural grade, the materials must be appropriate to be adjacent to accumulated snow.

*Please refer to sheets A9.20 – A9.21 of the attached Exhibit 01. The proposed development is designed to integrally blend with the surrounding context. Stone is designed to ground the building as well as portions of the building as it rises to provide architectural continuity and density. Glazing and decks are designed to open to the strong views to the east, with secondary glazing and access provided on the west elevation where appropriate. Glazing on the north and south elevations is largely limited to enhance privacy while providing natural ventilation and daylighting. A combination of metal and wood façade are also introduced on the upper levels of the building to enhance the form and character of the proposed building as it rises out of the hillside.*

C.1. Roof Design Elements – The roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines, and vertical offsets. The design of roofs shall reflect concern for snow accumulation and ice/snow shedding. Entries, walkways, and pedestrian areas shall be protected from ice/snow shedding.

*Please refer to sheet A1.15 of the attached Exhibit 01. The roof form of the proposed development is predominantly gable as noted. Snow guards have been noted to provide protection below. Pedestrian pathways are proposed to be snow-melted to mitigate ice concerns.*

C.2. Roof Drainage – All development within the Village Center shall be required to provide an integral guttering system designed into the roof or other DRB approved system of gutters, downspouts, and heat-tape to contain roof run-off. Within the Village Center, all building roof run-off shall be directed to storm-sewers or drainage systems capable of handling the volume of run-off. Such systems shall be kept and maintained by the owner and/or respective homeowners association in a clean, safe condition and in good repair.

*Please refer to sheet C1.0 of the attached Exhibit 01. The roof drainage system is designed to conform with all CDC and Village Center requirements.*

C.3. Roof Material – All roofing material shall be a type and quality that will withstand high alpine climate conditions. The review authority may require class A roofing materials as a fire mitigation measure.

*Please refer to sheets A2.01, A2.03, A2.05, and A2.07 of the attached Exhibit 01. The proposed roofing material is a dark gray non-reflective standing seam. This is in accordance with CDC 17.5.6.C.3.c.i.*

E. Exterior Wall Materials – A mix of materials including natural stone, stucco (only in the Village Center), steel, and wood shall be the primary exterior materials. Proposed exterior materials shall be compatible with surrounding area development.

E.1 Stone – All buildings with wood or other approved exterior materials shall have thirty-five percent (35%) minimum stone walls. A narrative that describes the pattern, grout, block size and color of the proposed stone and color picture of the proposed stone and setting pattern shall be provided as part of the Design Review Process application for approval by the review authority.

E.2 Wood – Wood siding (horizontal or vertical), wood shingles, log, log siding and heavy timbers, and timber veneers are acceptable exterior wood materials.

E.3 Metal – The review authority may review and approve metal as a siding material. Metal soffit material and fascia material require specific approvals in a development application. Permitted metal siding types include rusted corrugated, rusted sheet metal panels, zinc panels, copper panels, and other metal types reviewed and approved by the DRB.

G. Glazing – Window design must be responsive to the energy code and site conditions. Each window wall composition will be evaluated on the basis of whether it is an integral part of the structure's complete design. The maximum window area of a building shall be forty percent (40%) of the total building façade area. Window placement and size shall be sensitive to light spill to adjacent properties.

*Please refer to sheets A2.01 – A2.08 and A9.20 – A9.21 of the attached Exhibit 01. This documentation is intended to supplement the material board provided for review and approval by the review authority. The primary materials proposed are stone, wood, metal, and glazing. The proposed design meets all material requirements as outlined above and in the MV CDC.*

### **Section 17.5.7 – Grading and Drainage Design**

L. All multifamily, mixed-use, or commercial projects shall be required to provide a drainage study prepared by a Colorado professional engineer with storm water run-off calculations that determines the volume of run-off from impervious surfaces.

*Please refer to sheet C1.0 of the attached Exhibit 01.*

**Section 17.5.8 – Parking Regulations**

A.1. Parking spaces shall be provided on-site for development as set forth in Table 5-2:

Zoning Designation	Required Number of Parking Spaces
Condominium unit (Multi-family)	1.5 spaces per unit

*Please refer to sheet A1.04 of the attached Exhibit 01. Per Table 5-2, noted above, 1.5 spaces per unit are required. The proposed development provides a private single-car garage for each unit, as well as a driveway length for one (1) parking space in each driveway. A short-term pull-off parking space is also proposed on the high side of the proposed development, as highlighted on sheet A1.04 of the attached Exhibit 01.*

**Section 17.5.9 – Landscaping Regulations**

B. The foundation to landscaping design shall be based on fitting the desired building or development into the surrounding landscape in accordance with the building site design and grading and drainage design standards as sensitively as possible to preserve trees and natural vegetation while still achieving the envisioned land use pattern in the Comprehensive Plan and within the design parameters set forth by the CDC. New landscaping shall fill in the developed/graded area of a site as a transition from the building hardscape and the outside living areas to the natural environment while also complying with the Fire Mitigation and Forestry Management Regulations.

*Per the Design Review Process Application checklist item 9.E, a landscape plan is only required for final DRB review. Landscaping is intended to meet all Mountain Village CDC requirements, with a full landscaping plan provided at final DRB review.*

**Section 17.5.10 – Trash, Recycling, and General Storage Areas**

A. For all development, all trash containers shall be bear-proof, and trash and recycling containers shall be stored in an enclosure or garage as approved by the review authority. Locations and design for trash storage shall be indicated on the site plan. For multifamily or mixed-use developments, the minimal dimensions for trash and recycling enclosures shall be ten feet by twelve feet (10' x 12') if shared by more than four (4) units with a ceiling height of ten feet (10').

*Trash and recycling storage is anticipated to be located in each individual unit garage, as shown on A1.13. The proposed trash containers would be individual in nature to provide for easy removal, with an adequate number provided to match required building occupancy.*

### **Section 17.5.12 – Lighting Regulations**

B. The basic guideline for exterior lighting is for it to be subdued, understated, and indirect to minimize the negative impacts to surrounding lots and public rights-of-way.

*Per the Design Review Process Application checklist item 9.F, an outdoor lighting plan is only required for final DRB review. Outdoor lighting is intended to meet all Mountain Village CDC requirements, with a full lighting plan provided at final DRB review.*

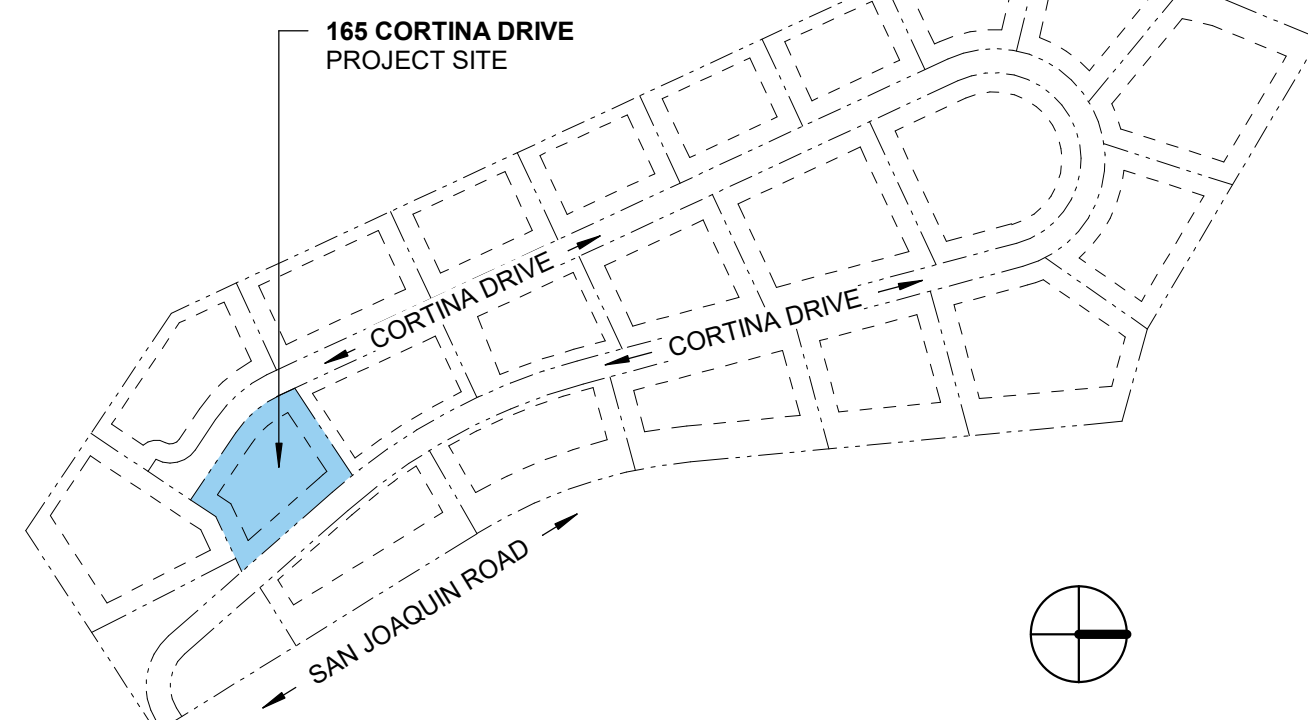
### **Section 17.6.1.C – Steep Slopes**

If a developer proposed disturbance to slopes that are thirty percent (30%) or greater, the CDC required development application shall include a thorough, written evaluation of practicable alternatives to any fill, excavation, or disturbance of any slope's thirty percent (30%) or greater.

*Please refer to Exhibit 06.*



# PROJECT LOCATION



# 165 CORTINA DRIVE UNIT 17R MOUNTAIN VILLAGE, CO DRB Package DRB PRESENTATION

TOWN STAMP

# 359 DESIGN

3450 RANSBY CT SUITE 201  
DENVER, CO 80216  
303.552.3457



## PROJECT TEAM

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## DRAWING ABBREVIATIONS

AB ANCHOR BOLT	MEM MEMBRANE
ACT ACOUSTICAL TILE CEILING	MFR MANUFACTURER
AFF ABOVE FINISH FLOOR	MIN MINIMUM
ALUM ALUMINUM	MR MOISTURE RESISTANT
AP ACCESS PANEL	MTL METAL
APPROX APPROXIMATE	NIC NOT IN CONTRACT
ARCH ARCHITECTURE	NO NUMBER
ASSOC ASSOCIATED	NOM NOMINAL
BD BOARD	NTS NOT TO SCALE
BLDG BUILDING	OA OVERALL
BLK BLOCK	OAM OVERALL MASONRY
BO BOTTOM	OC ON CENTER
BOT BOTTOM	OH OVERHEAD
BRG BEARING	ORD OVERFLOW ROOF DRAIN
BSMT BASEMENT	OS OVERFLOW SCUPPER
CJ CONTROL JOINT	OPG OPENING
CL CENTERLINE	OROI OWNER PROVIDED OWNER
CLG CEILING	OPG INSTALLED
CLR CLEAR	OPCI OWNER PROVIDED CONTRACTOR
CMU CONCRETE MASONRY UNIT	PC PRECAST
COL COLUMN	PF PREFINISHED
CONC CONCRETE	PJ PANEL JOINT
CONT CONTINUOUS	PL PLATE
COVR COVER	PLAM PLASTIC LAMINATE
CPT CARPET	PLMG PLUMBING
CT CERAMIC TILE	PNL PANEL
CTR CENTER	PT PRESSURE TREATED
DEC DETENTION EQUIPMENT CONTRACTOR	PTD PAPER TOWEL DISPENSER
DET DETENTION	REIN REINFORCED
DEMO DEMOLITION	REQ REQUIRED
DIA DIAMETER	REV REVISED
DIM DIMENSION	RD ROOF DRAIN
DF DRINKING FOUNTAIN	RM ROOM
DGB DETENTION GRAB BAR	RO ROUGH OPENING
DR DOOR	SAP SECURE PANEL ACCESS
DWG DRAWING	SC SEALED CONCRETE
EA EACH	SCHED SCHEDULED
EJ EXPANSION JOINT	SEC SECURITY
ELEC ELECTRICAL	SECT SECTION
ELEV ELEVATOR	SHT SHEET
EQ EQUAL	SHWR SHOWER
EQUIP EQUIPMENT	SK SINK
ER EPOXY RESIN	SPEC SPECIFICATIONS
EXT EXTERIOR	SS STAINLESS STEEL
FD FLOOR DRAIN	STL STEEL
FDN FOUNDATION	STIFF STIFFENER
FE FIRE EXTINGUISHER	STRUCT STRUCTURAL
FF EL FINISH FLOOR ELEVATION	T&G TONGUE AND GROOVE
FIN FINISH	TO TOP OF
FRT FIRE RESISTANT TREATED	TOF TOP OF FOOTING
FLR FLOOR	TPH TOILET PAPER HOLDER
FS FOOD SERVICE	TS TUBE STEEL
FT FOOT	TYP TYPICAL
FTG FOOTING	UNO UNLESS NOTED OTHERWISE
FUT FUTURE	VAR VARIES
GA GARAGE	VB VAPOR BARRIER
GC GENERAL CONTRACTOR	VCT VINYL COMPOSITE TILE
GL GLASS	VERT VERTICAL
GR GRADE	VIF VERIFY IN FIELD
GYP BD GYP BOARD	VT VINYL TILE
HC HOLLOW CORE	VTR VENT THROUGH ROOF
HT HEIGHT	WVC VINYL WALL COVERING
HM HOLLOW METAL	W WITH
HORIZ HORIZONTAL	WC WATER CLOSET
INT INTERIOR	WD WOOD
INSUL INSULATION	WDW WINDOW
JAN JANITOR	WP WATERPROOF
JST JOST	WT WALL TYPE
LAV LAVATORY	WWF WELDED WIRE FABRIC
MAX MAXIMUM	
MECH MECHANICAL	

## SYMBOLS

XXXXX	ROOM NAME
XXXXX	ROOM NAME/NUMBER
X	EXISTING COLUMN CENTERLINE
X	COLUMN CENTERLINE
X	ACCESSORY
1	DEMOLITION NUMBERED NOTES
01 A0.XX	BUILDING WALL SECTION
A0.X X	ELEVATION
01 A0.X	SECTION DETAIL
01 A0.X X	PLAN, BLOW-UP DETAIL
+9'-0"	CEILING HEIGHT
A3	PARTITION TYPE WITH NO SOUND ATTENUATION
A3	PARTITION TYPE WITH SOUND ATTENUATION
---	BUILDING EXPANSION JOINT

## MATERIALS

[Pattern]	CONCRETE/ PRECAST CONCRETE
[Pattern]	SOIL
[Pattern]	SAND, EIFS FINISH COAT
[Pattern]	BRICK
[Pattern]	CMU
[Pattern]	STONE
[Pattern]	FIBERGLASS BATT INSULATION
[Pattern]	XPS RIGID INSULATION
[Pattern]	FOIL-FACED POLYISO RIGID INSULATION
[Pattern]	ccSPF - CLOSED CELL SPRAY POLYISO FOAM INSULATION
[Pattern]	GYP SUM BOARD OR FIBERGLASS-REINFORCED GYP SUM BOARD
[Pattern]	PLYWOOD
[Pattern]	COVER BOARD

## GENERAL NOTES

- DO NOT SCALE DRAWINGS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. SPECIFICATIONS GOVERN ALL.
- CONTRACTOR TO ISSUE COMPLETE SET OF CONTRACT DOCUMENTS TO EACH SUBCONTRACTOR FOR COORDINATION OF WORK AND DESCRIPTION OF SCOPE.
- THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT ALONE SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.
- REFER TO STRUCTURAL DRAWINGS FOR ALL REINFORCING.
- ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND NON-STRUCTURAL SYSTEMS, COMPONENTS AND ELEMENTS PERMANENTLY ATTACHED TO STRUCTURES, INCLUDING SUPPORTING STRUCTURES AND ATTACHMENTS AND NON-BUILDING STRUCTURES THAT ARE SUPPORTED BY OTHER STRUCTURES, SHALL MEET THE REQUIREMENTS PER 2021 IBC CHAPTER 16 AND ASCE 7-02 SECTION 9.6 COORDINATE DESIGN WITH ARCHITECT AND ENGINEER OF RECORD.

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A9.21	PERSPECTIVE VIEWS
C0.01	SURVEY
C01.0	CIVIL SITE PLAN

## CEILING SYMBOLS

[Symbol]	GYP BD CEILING	[Symbol]	WALL MOUNTED FLUORESCENT FIXTURE
[Symbol]	SUPPLY AIR	[Symbol]	EXIT SIGNS - HATCH INDICATES EXIT TEXT AND ARROW INDICATES DIRECTION
[Symbol]	RETURN AIR	[Symbol]	SMOKE DETECTOR
[Symbol]	EXHAUST AIR	[Symbol]	SPEAKER
[Symbol]	ACCESS PANEL	[Symbol]	PROJECTOR
[Symbol]	FLUORESCENT LIGHT	[Symbol]	WALL WASHER
[Symbol]	SUSPENDED LIGHT	[Symbol]	PENDANT TYPE LIGHT FIXTURE
[Symbol]	SUSPENDED FLUORESCENT LIGHT	[Symbol]	WALL MOUNTED LIGHT FIXTURE
[Symbol]	CHANDELIER	[Symbol]	DOWNLIGHT
		[Symbol]	STRIP LIGHT

## PROJECT DESCRIPTION

	PROVIDED	ALLOWABLE
<b>LOT SIZE:</b>	0.200 Acres (8,721 Square Feet)	
<b>LOT COVERAGE:</b>	4,473 SF (51%)	5,668 SF (65%)
<b>ZONING DESIGNATION:</b>	MULTIFAMILY	
<b>MAX. BUILDING HEIGHT:</b>	52' - 10"	53' - 0"
<b>MAX. AVERAGE HEIGHT:</b>	40' - 7"	53' - 0"
<b>UNITS PROVIDED:</b>	3 UNITS	
<b>PARKING PROVIDED:</b>	6 PARKING SPACE - 1 GARAGE + 1 DRIVEWAY PER UNIT	

LOT 165 CORTINA DRIVE

Mountain Village, CO

No.	Description	Date

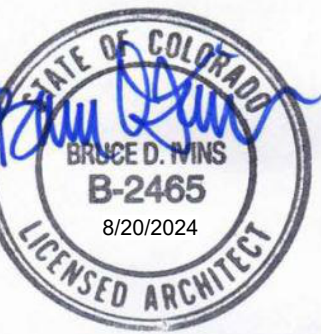
PROJECT NUMBER: B4162  
ISSUE DATE: 08/20/2024

ISSUE: DRB PACKAGE

SHEET TITLE: COVER

SHEET NO: A0.00





## LOT 165 CORTINA DRIVE

Mountain Village, CO

No.	Description	Date

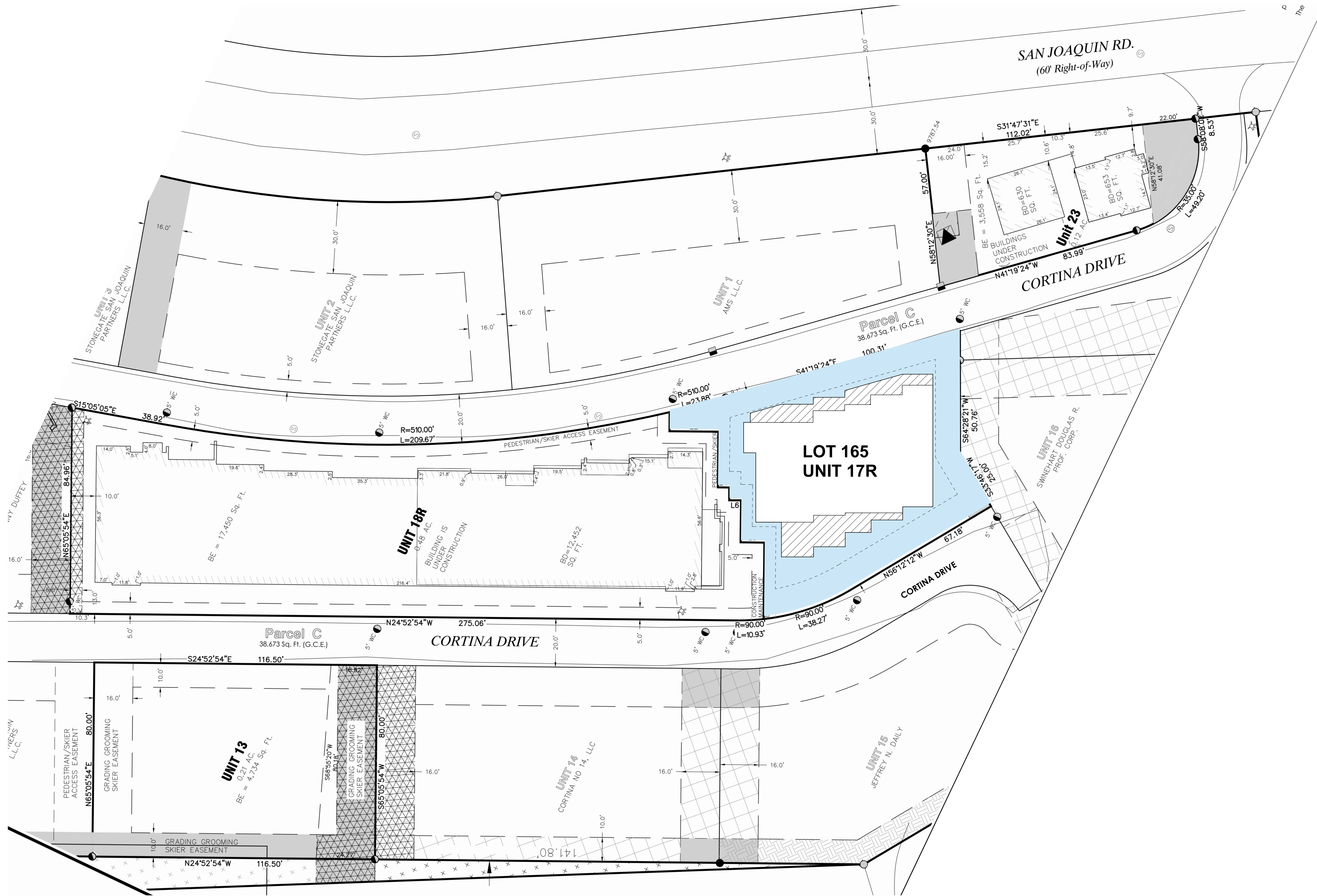
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ISSUE DATE: 08/20/2024

DRB PACKAGE

SITE PLAN

SHEET NO.

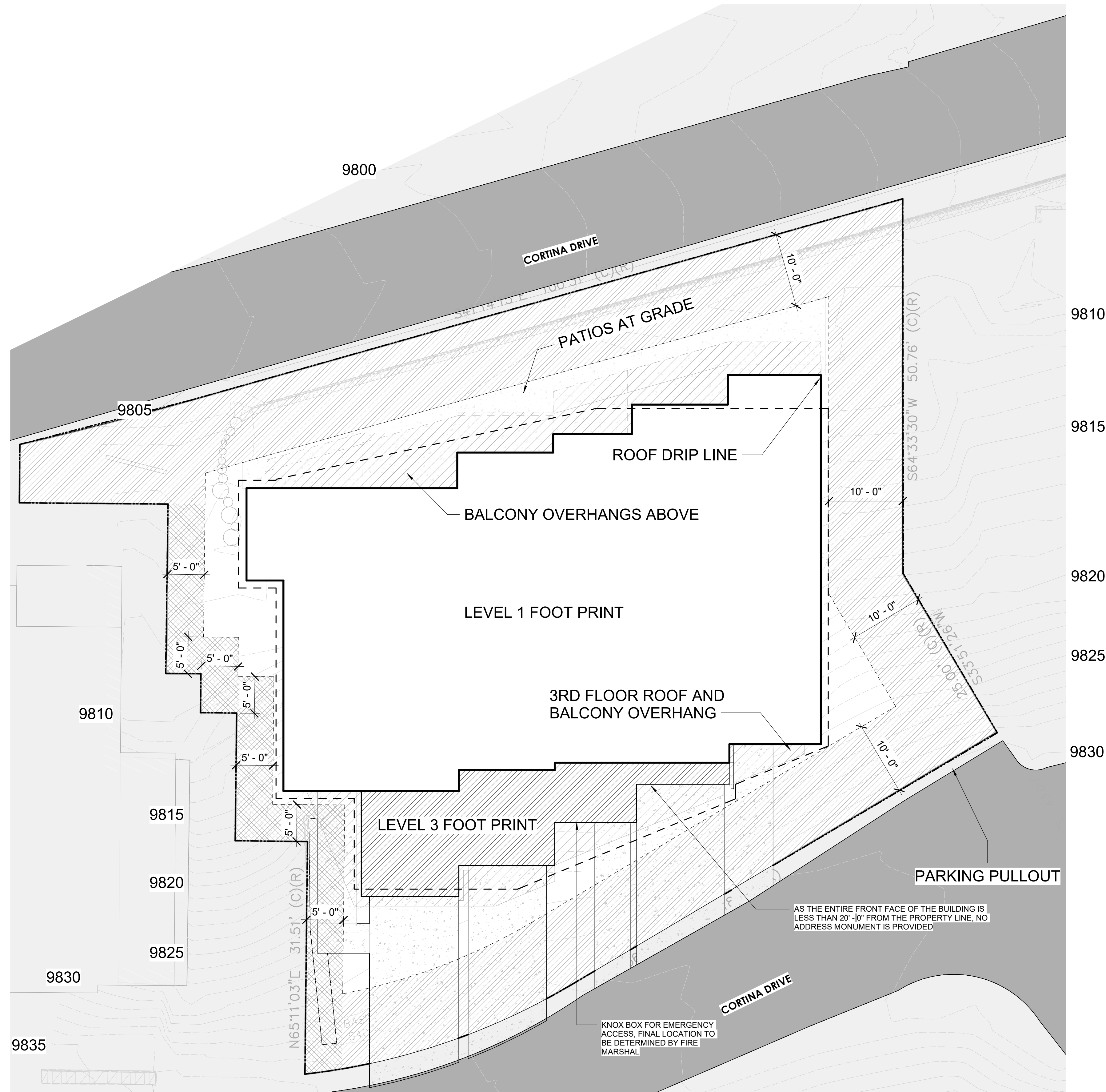
### A1.01



### 1 SITE PLAN OVERALL

1" = 20'-0"

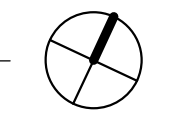




### SITE PLAN LEGEND

	BUILDING OVERHANGS
	BUILDING FOOTPRINT
	CONSTRUCTION MAINTENANCE EASEMENT
	UTILITY & GRADING GROOMING SKIER ACCESS EASEMENT
	PROPERTY LINE
	SETBACK LINE
	MAJOR PROPOSED TOPOGRAPHY LINES
	MINOR PROPOSED TOPOGRAPHY LINES
	EXISTING TOPOGRAPHY LINES

**1 SITE PLAN - LOT 17 CORTINA DRIVE**  
1/8" = 1'-0"



TOWN STAMP  
**359**  
DESIGN  
3435 RIMROCK CT SUITE 201  
DENVER, CO 80216  
703.512.2457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**

SHEET TITLE: **SITE PLAN - LOT 17 CORTINA DRIVE**

SHEET NO.: **A1.02**



NOTE: THE SUMMIT HOA WILL REQUIRE RESIDENTS TO BACK INTO UNIT GARAGES

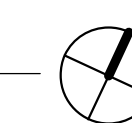


**PARKING PULLOUT**  
 SIZED TO MATCH A STANDARD DELIVERY TRUCK

**CORTINA DRIVE**

**CORTINA DRIVE**

**1 SITE PLAN - PARKING**  
 1/8" = 1'-0"



TOWN STAMP  
**359**  
 DESIGN



**LOT 165 CORTINA DRIVE**  
 Mountain Village, CO

REVISIONS

No.	Description	Date

PROJECT NUMBER 24162  
 ISSUE DATE 08/20/2024

ISSUE  
**DRB PACKAGE**

SHEET TITLE  
**SITE PLAN - PARKING**

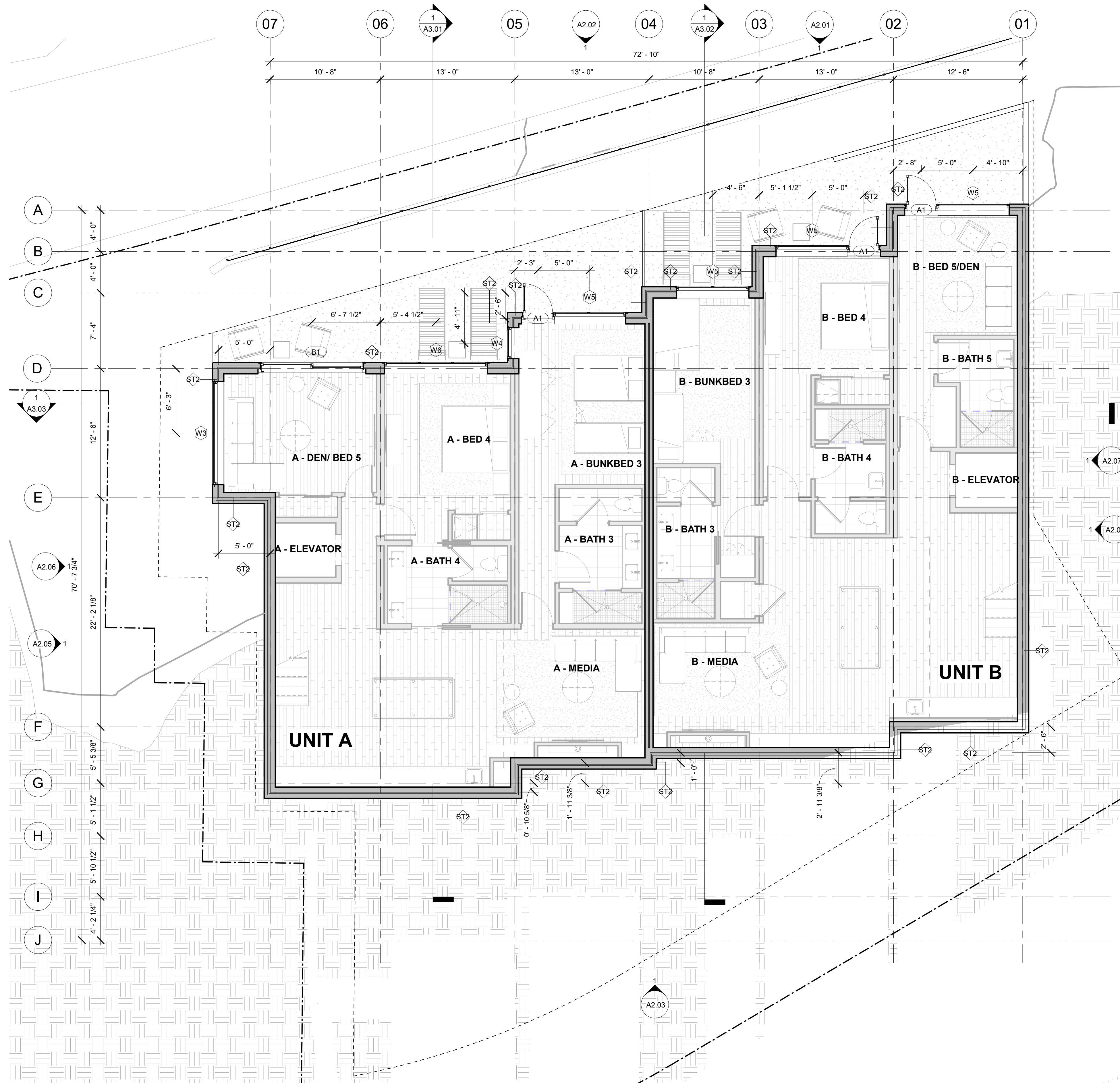
SHEET NO.

**A1.04**



GSF SCHEDULE - LEVEL 01	
Name	Area
UNIT A LEVEL 1	1590 SF
UNIT B LEVEL 1	1730 SF

NSF SCHEDULE	
Name	Area
A - BATH 3	105 SF
A - BATH 4	89 SF
A - BED 4	196 SF
A - BUNKBED 3	191 SF
A - DEN/ BED 5	169 SF
A - ELEVATOR	31 SF
A - MEDIA	155 SF
A - POOL TABLE	222 SF
B - BATH 3	64 SF
B - BATH 4	87 SF
B - BATH 5	67 SF
B - BED 4	142 SF
B - BED 5/DEN	134 SF
B - BUNKBED 3	156 SF
B - ELEVATOR	31 SF
B - MEDIA	129 SF



**1 LEVEL 01 OVERALL**  
3/16" = 1'-0"



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**

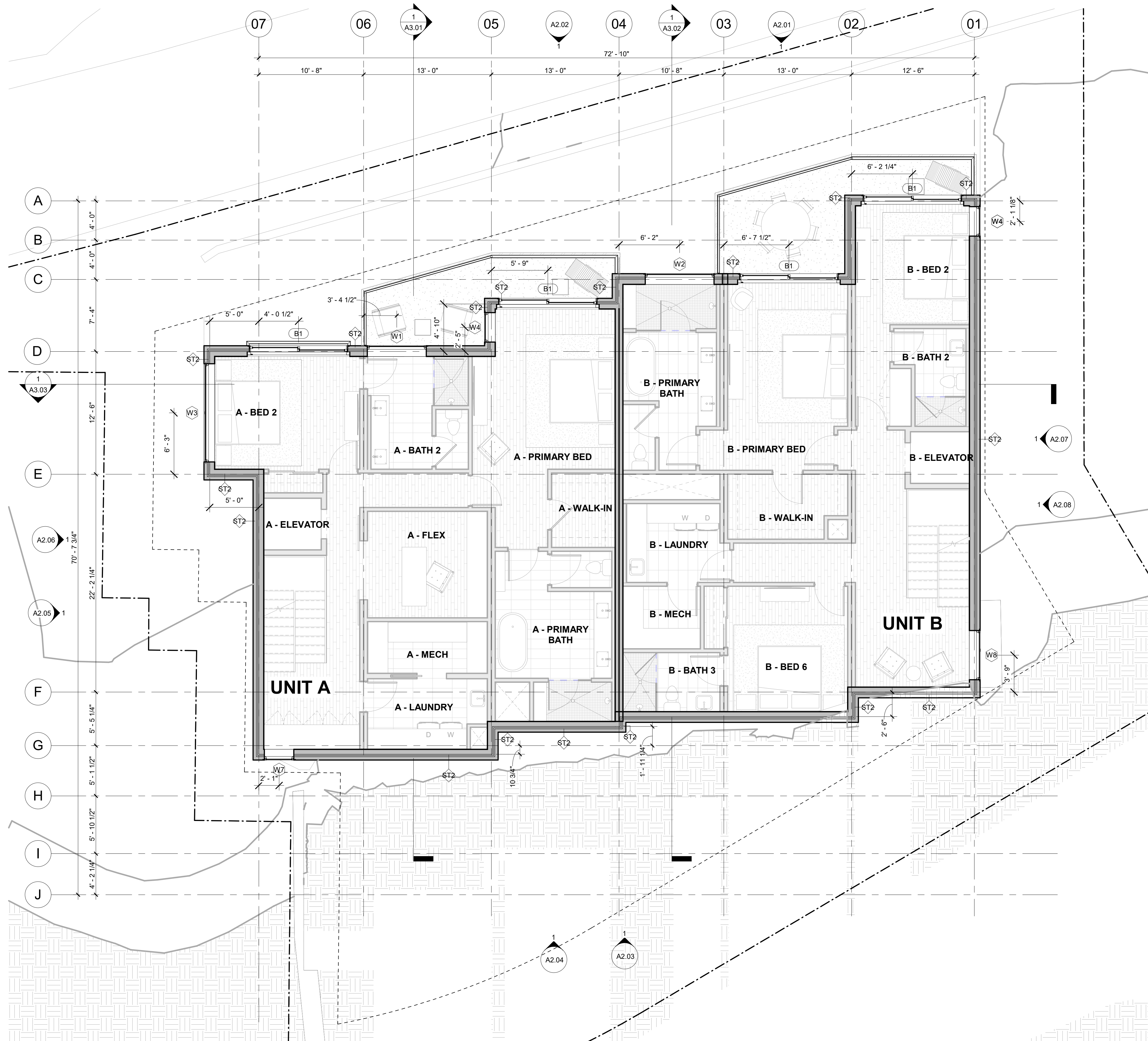
SHEET TITLE: **LEVEL 01 PLAN**

SHEET NO.:

**A1.11**

GSF SCHEDULE - LEVEL 02	
Name	Area
UNIT A LEVEL 2	1590 SF
UNIT B LEVEL 2	1678 SF

NSF SCHEDULE	
Name	Area
A - BATH 2	115 SF
A - BED 2	169 SF
A - ELEVATOR	31 SF
A - FLEX	132 SF
A - LAUNDRY	82 SF
A - MECH	64 SF
A - PRIMARY BATH	203 SF
A - PRIMARY BED	199 SF
A - WALK-IN	49 SF
B - BATH 2	63 SF
B - BATH 3	59 SF
B - BED 2	138 SF
B - BED 6	156 SF
B - ELEVATOR	31 SF
B - LAUNDRY	80 SF
B - MECH	50 SF
B - PRIMARY BATH	176 SF
B - PRIMARY BED	236 SF
B - WALK-IN	75 SF



**1 LEVEL 02 OVERALL**  
3/16" = 1'-0"



No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**

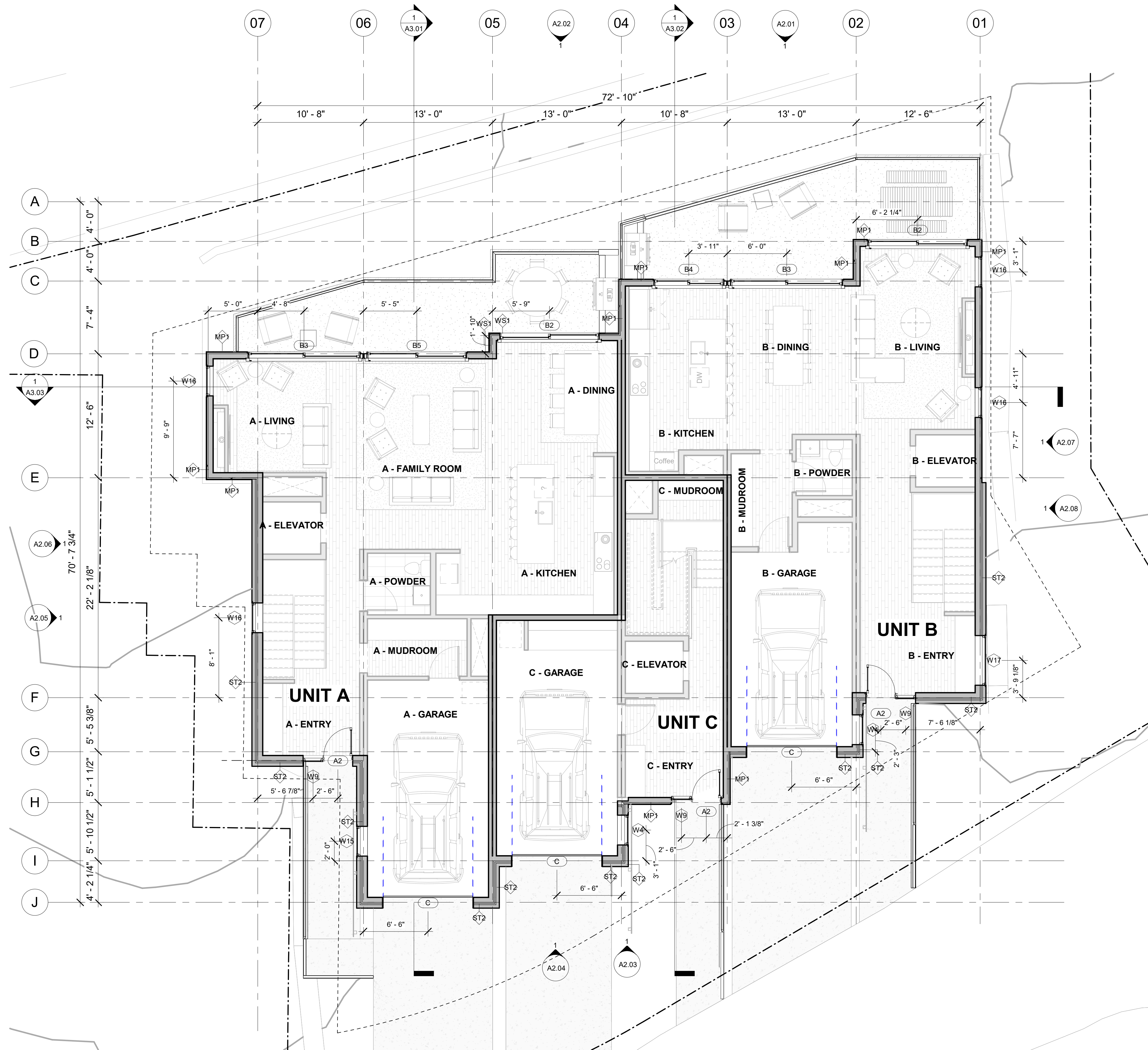
SHEET TITLE: **LEVEL 02 PLAN**

SHEET NO.:



GSF SCHEDULE - LEVEL 03	
Name	Area
UNIT A LEVEL 3	1585 SF
UNIT B LEVEL 3	1400 SF
UNIT C LEVEL 3	677 SF

NSF SCHEDULE	
Name	Area
A - DINING	134 SF
A - ELEVATOR	31 SF
A - ENTRY	71 SF
A - FAMILY ROOM	229 SF
A - GARAGE	267 SF
A - KITCHEN	272 SF
A - LIVING	140 SF
A - MUDROOM	58 SF
A - POWDER	39 SF
B - DINING	126 SF
B - ELEVATOR	31 SF
B - ENTRY	50 SF
B - GARAGE	256 SF
B - KITCHEN	211 SF
B - LIVING	253 SF
B - MUDROOM	58 SF
B - POWDER	32 SF
C - ELEVATOR	31 SF
C - ENTRY	98 SF
C - GARAGE	288 SF
C - MUDROOM	164 SF



**1 LEVEL 03 OVERALL**  
3/16" = 1'-0"



No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**

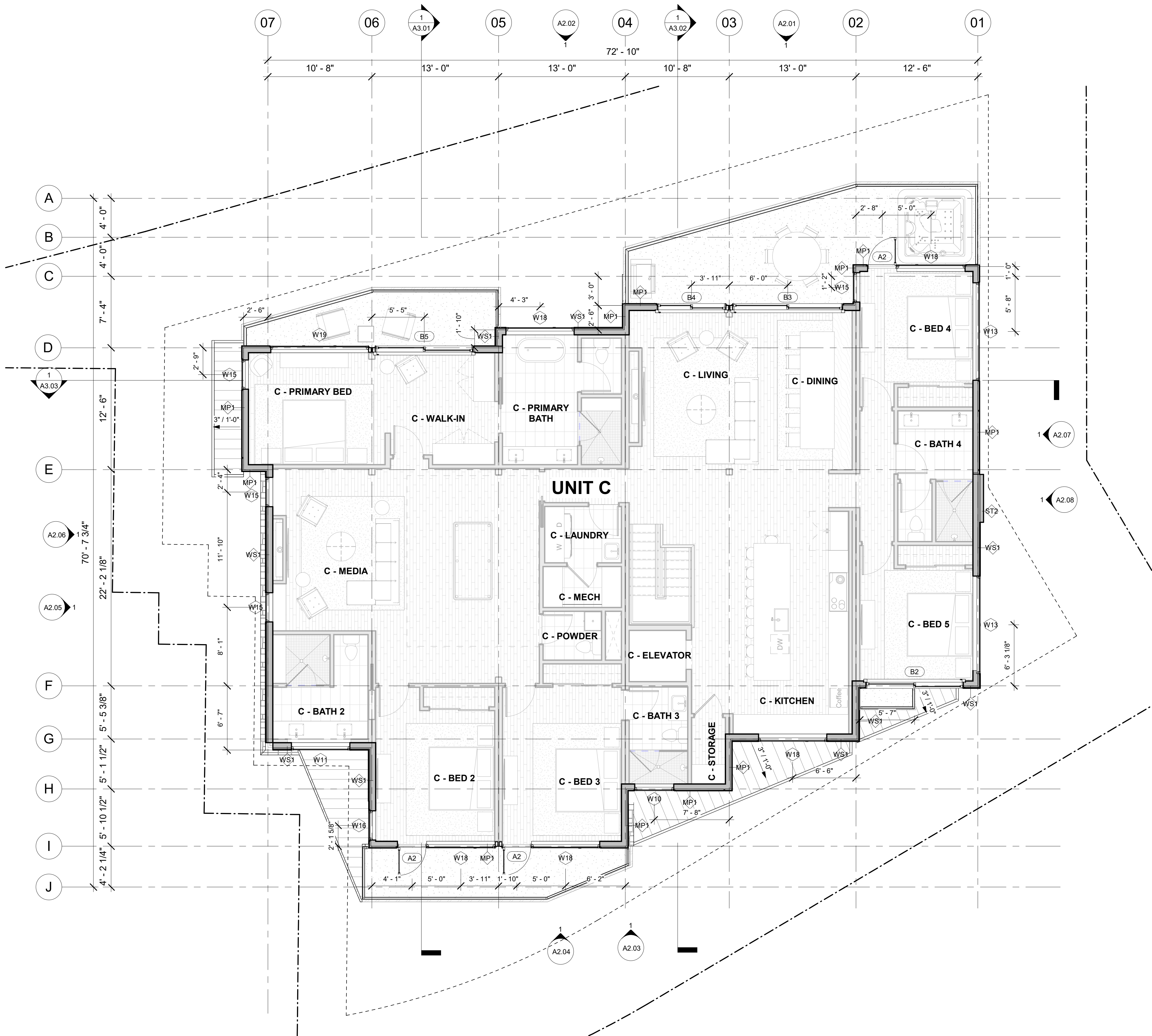
SHEET TITLE: **LEVEL 03 PLAN**

SHEET NO.:



GSF SCHEDULE - LEVEL 04	
Name	Area
UNIT C LEVEL 4	3470 SF

NSF SCHEDULE	
Name	Area
C - BATH 2	104 SF
C - BATH 3	60 SF
C - BATH 4	103 SF
C - BED 2	174 SF
C - BED 3	193 SF
C - BED 4	133 SF
C - BED 5	133 SF
C - DINING	145 SF
C - ELEVATOR	31 SF
C - KITCHEN	298 SF
C - LAUNDRY	45 SF
C - LIVING	231 SF
C - MECH	34 SF
C - MEDIA	245 SF
C - POWDER	30 SF
C - PRIMARY BATH	161 SF
C - PRIMARY BED	163 SF
C - STORAGE	24 SF
C - WALK-IN	122 SF



**1 LEVEL 04 OVERALL**  
3/16" = 1'-0"



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

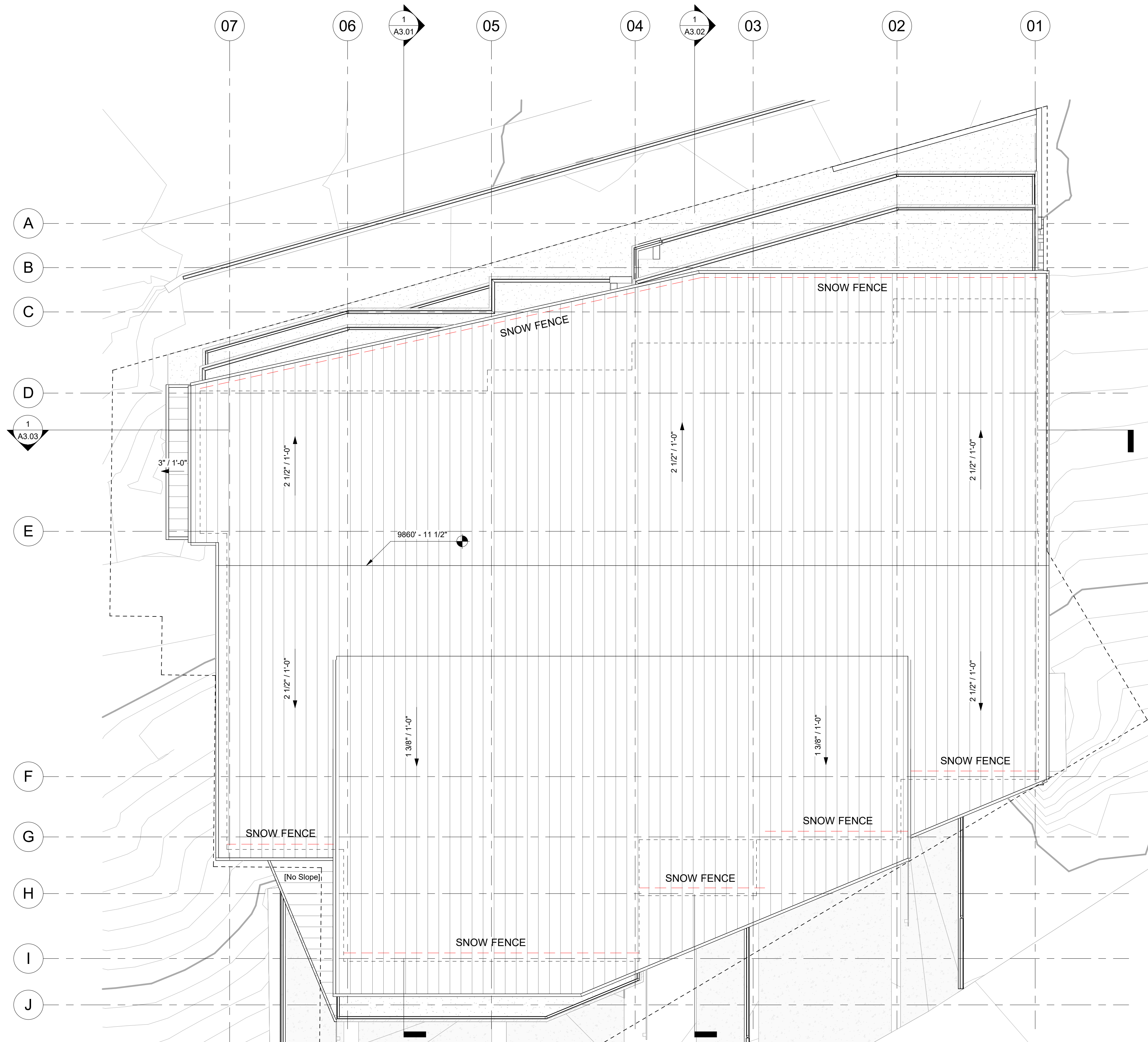
No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

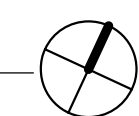
ISSUE: **DRB PACKAGE**

SHEET TITLE: **LEVEL 04 PLAN**

SHEET NO. **A1.14**



**1 ROOF PLAN**  
3/16" = 1'-0"



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

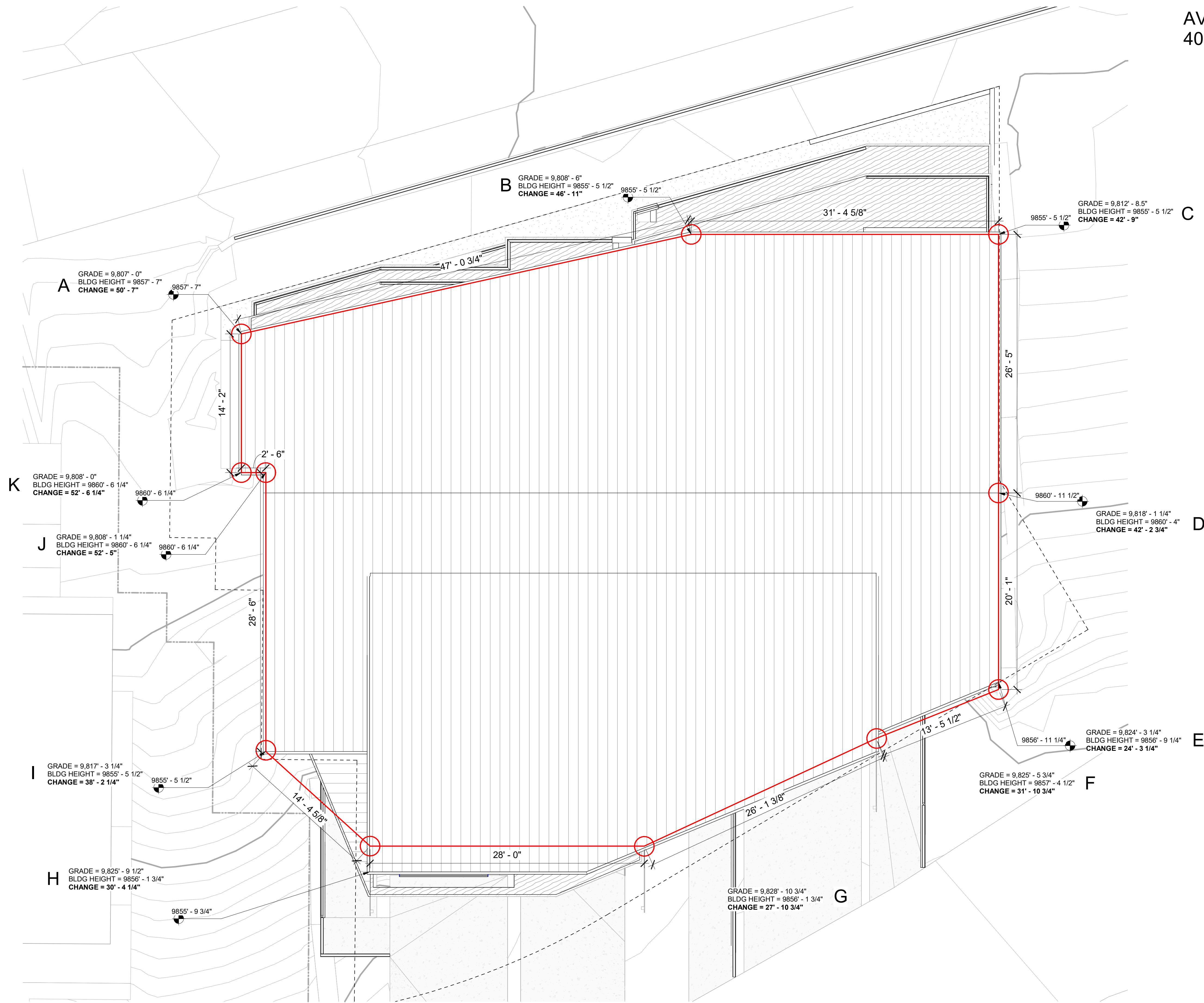
ISSUE: **DRB PACKAGE**

SHEET TITLE: **ROOF PLAN**

SHEET NO.: **A1.15**



AVERAGE BUILDING HEIGHT  
40' - 7"



**1 ROOF BASE - AVERAGE BUILDING HEIGHT**  
3/16" = 1'-0"

TOWN STAMP  
**359**  
DESIGN



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

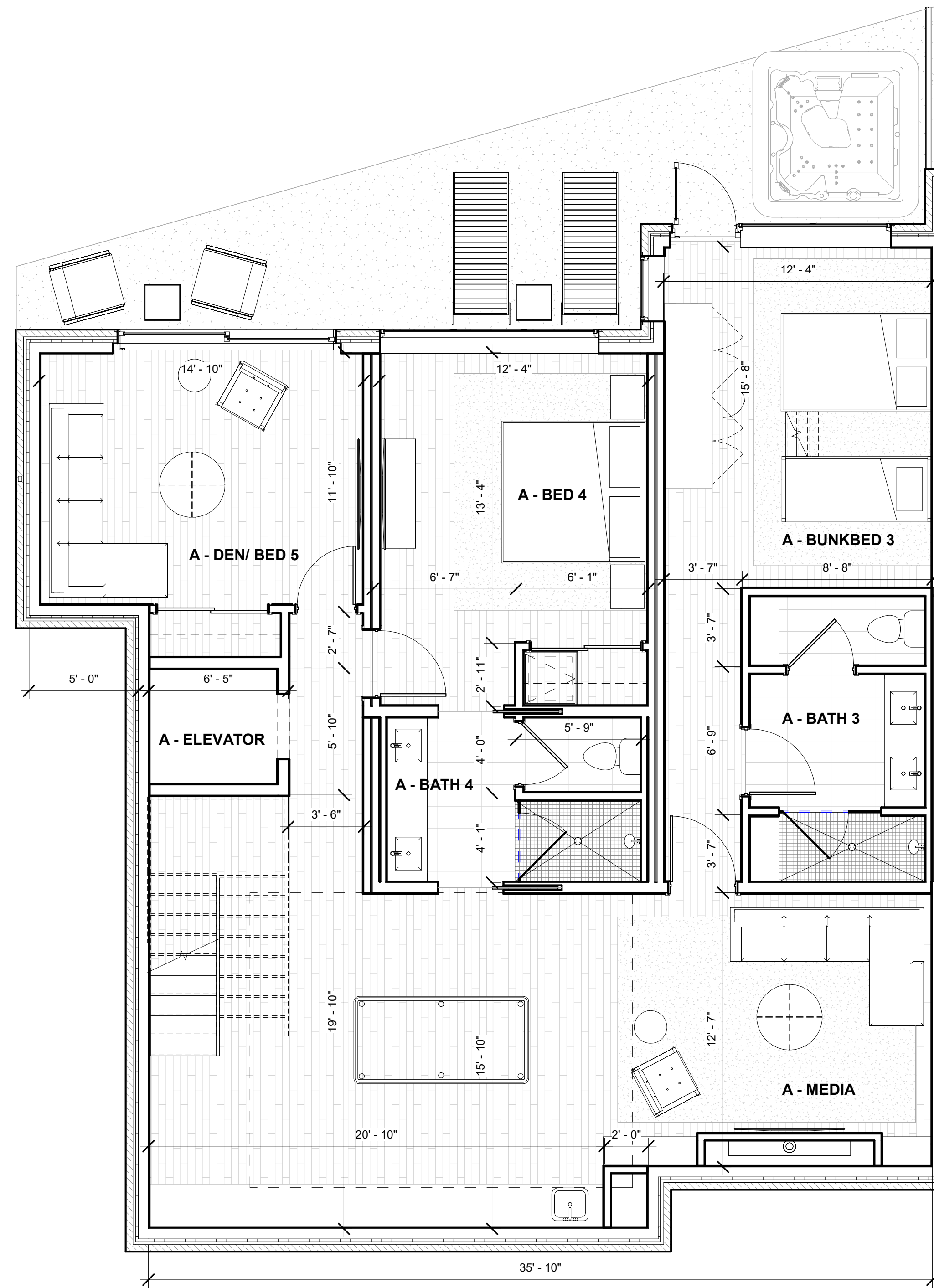
PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE  
**DRB PACKAGE**

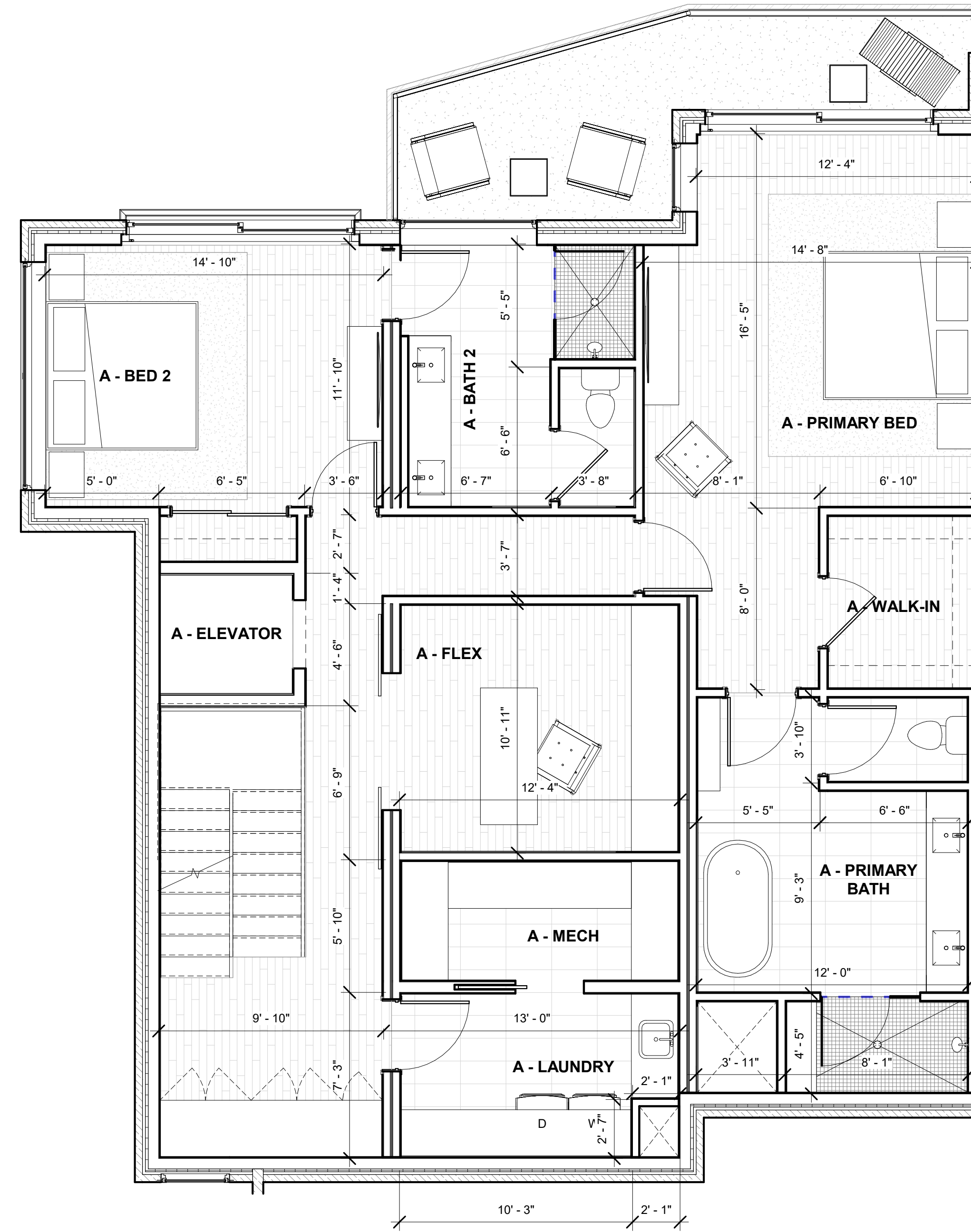
SHEET TITLE  
**AVERAGE BUILDING HEIGHT - ROOF PLAN**

SHEET NO.  
**A1.16**

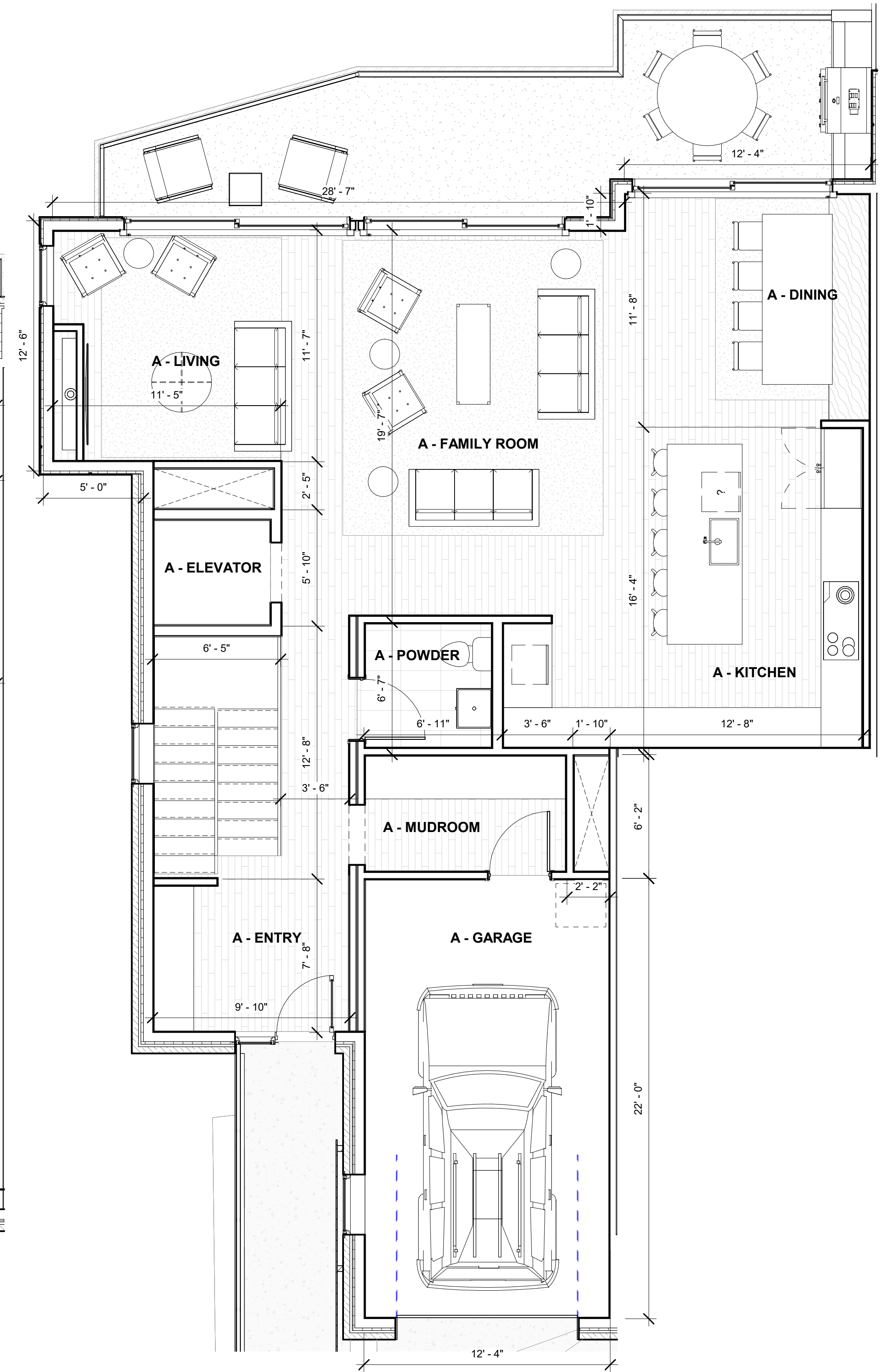




**1 LEVEL 01- UNIT A**  
1/4" = 1'-0"



**2 LEVEL 02- UNIT A**  
1/4" = 1'-0"



**3 LEVEL 03- UNIT A**  
1/4" = 1'-0"

TOWN STAMP  
**359**  
DESIGN

NEW RANSOM CT SUITE 201  
DENVER CO 80218  
703.532.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS		
No.	Description	Date

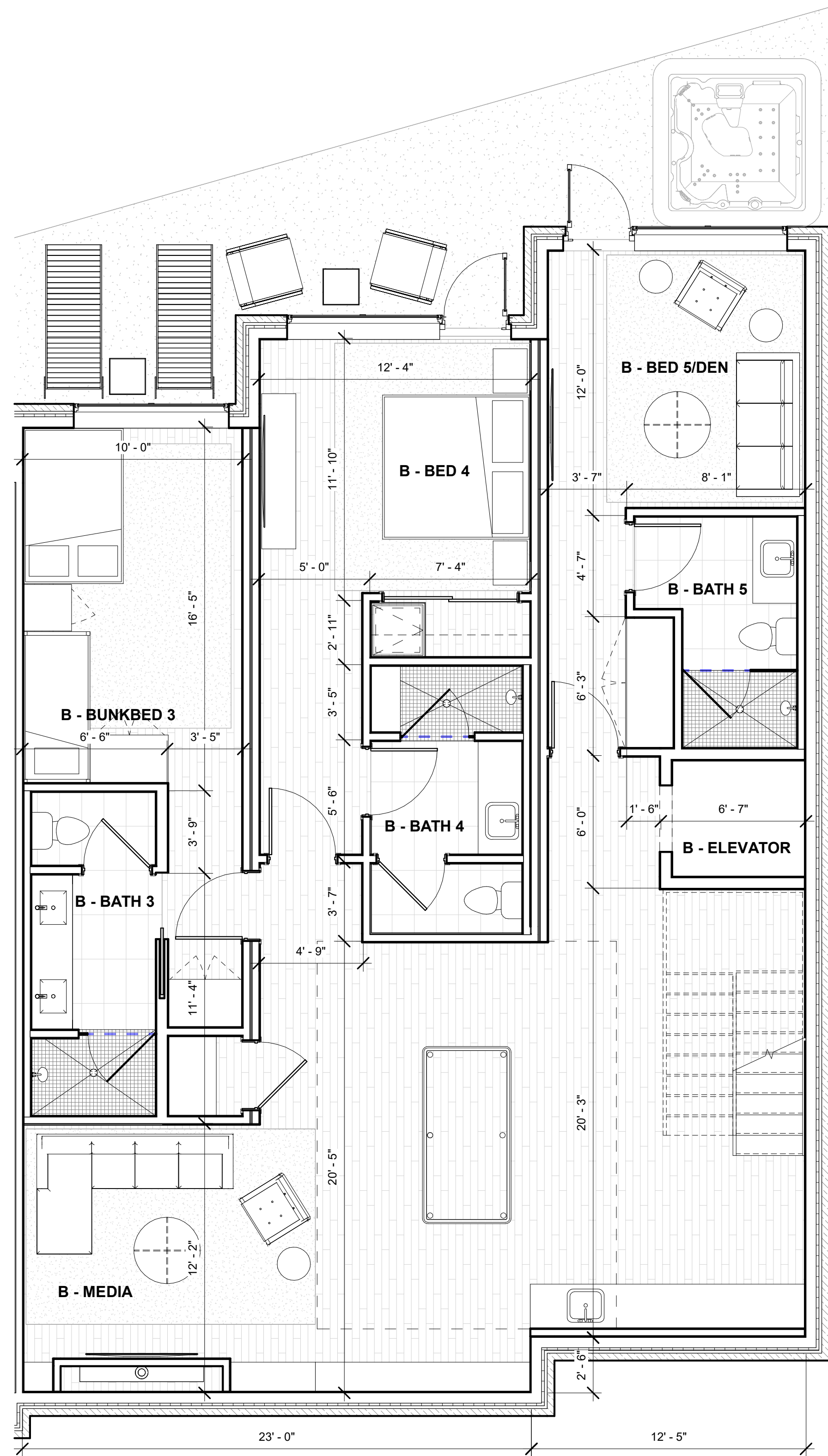
PROJECT NUMBER 24162  
ISSUE DATE 08/20/2024

ISSUE  
**DRB PACKAGE**

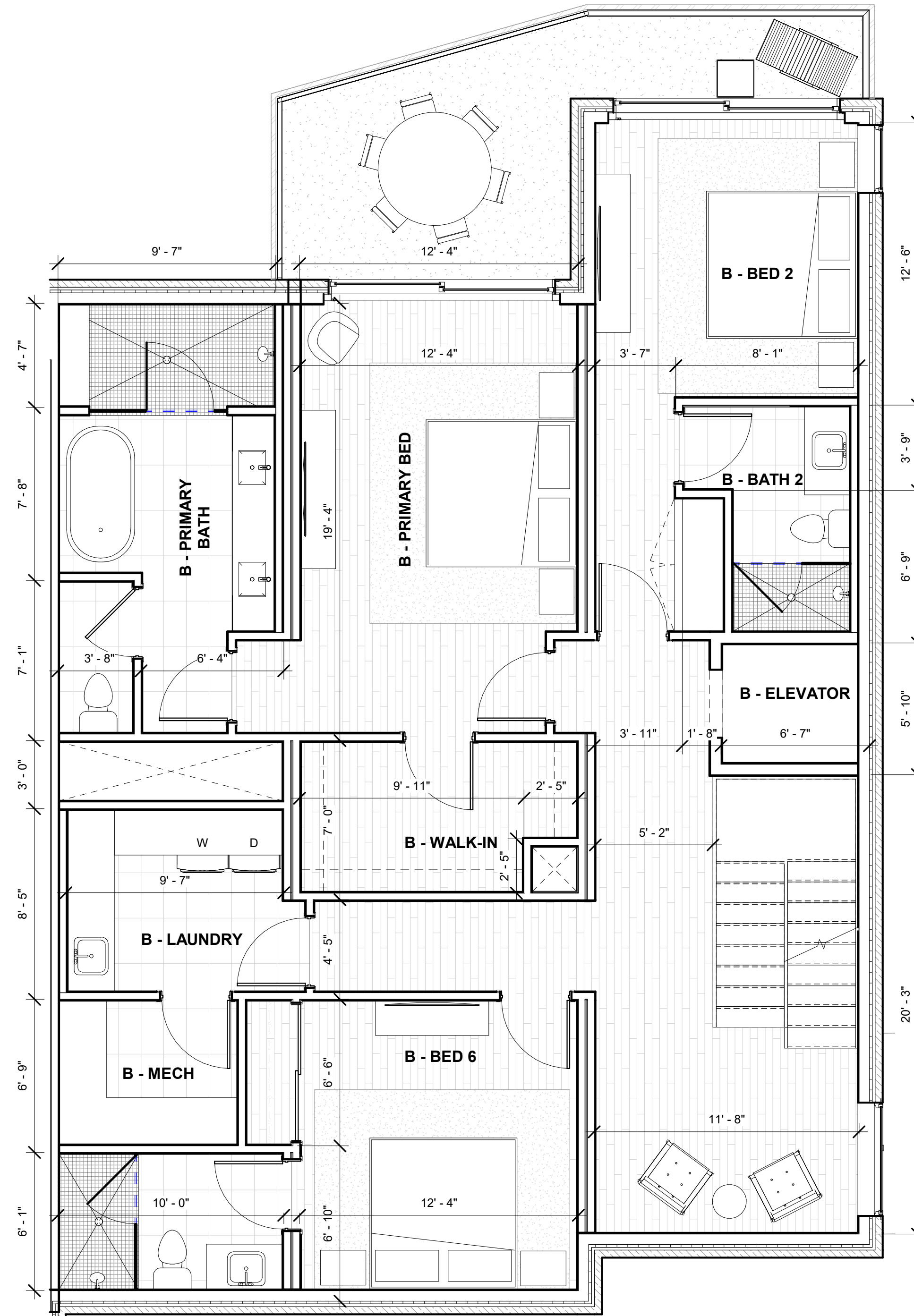
SHEET TITLE  
**UNIT A - DIM PLANS**

SHEET NO.  
**A1.21**

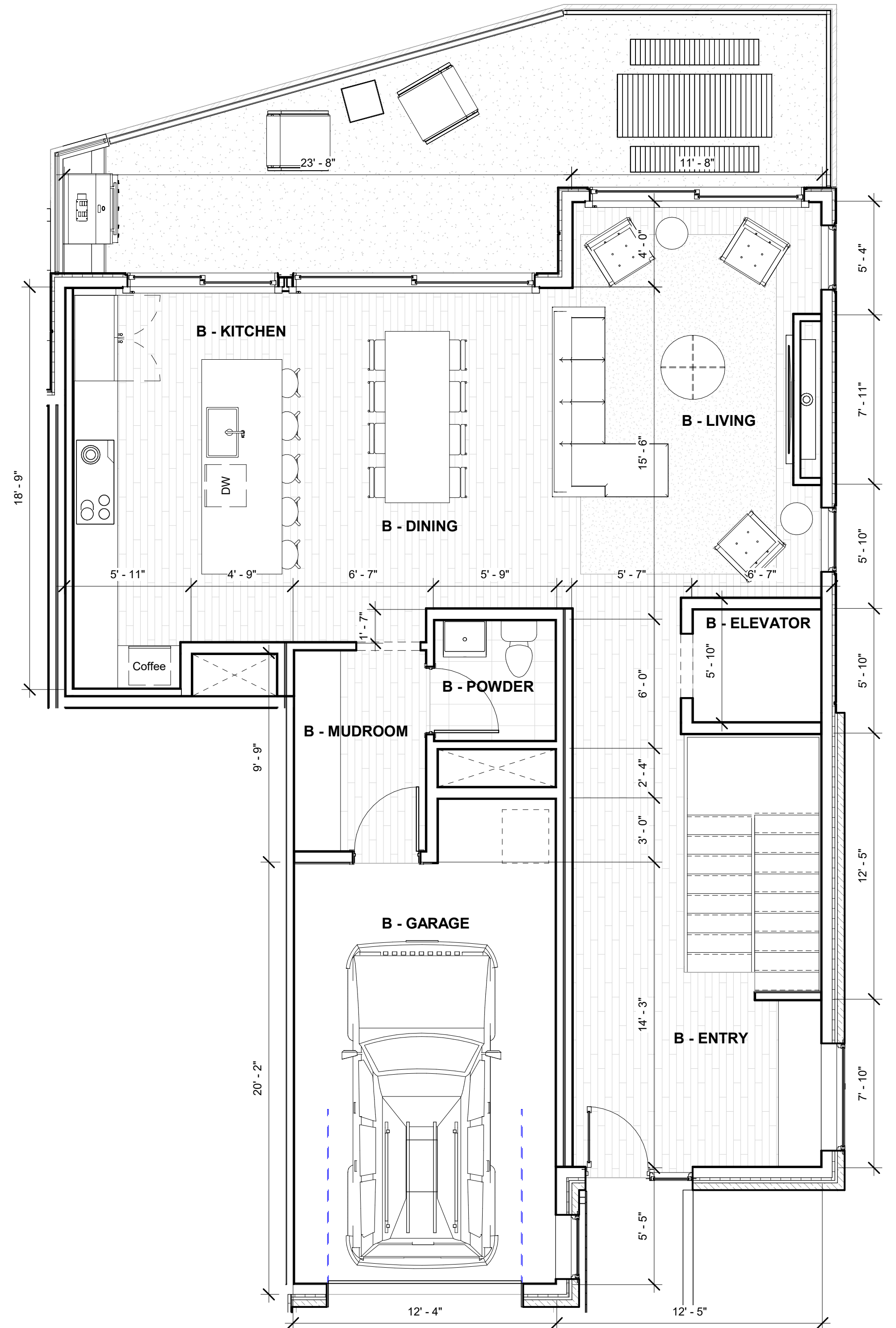




**1 LEVEL 01- UNIT B**  
1/4" = 1'-0"



**2 LEVEL 02- UNIT B**  
1/4" = 1'-0"



**3 LEVEL 03- UNIT B**  
1/4" = 1'-0"

TOWN STAMP  
**359**  
DESIGN

359 DESIGN, INC.  
DENVER, CO 80202  
303.555.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS		
No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

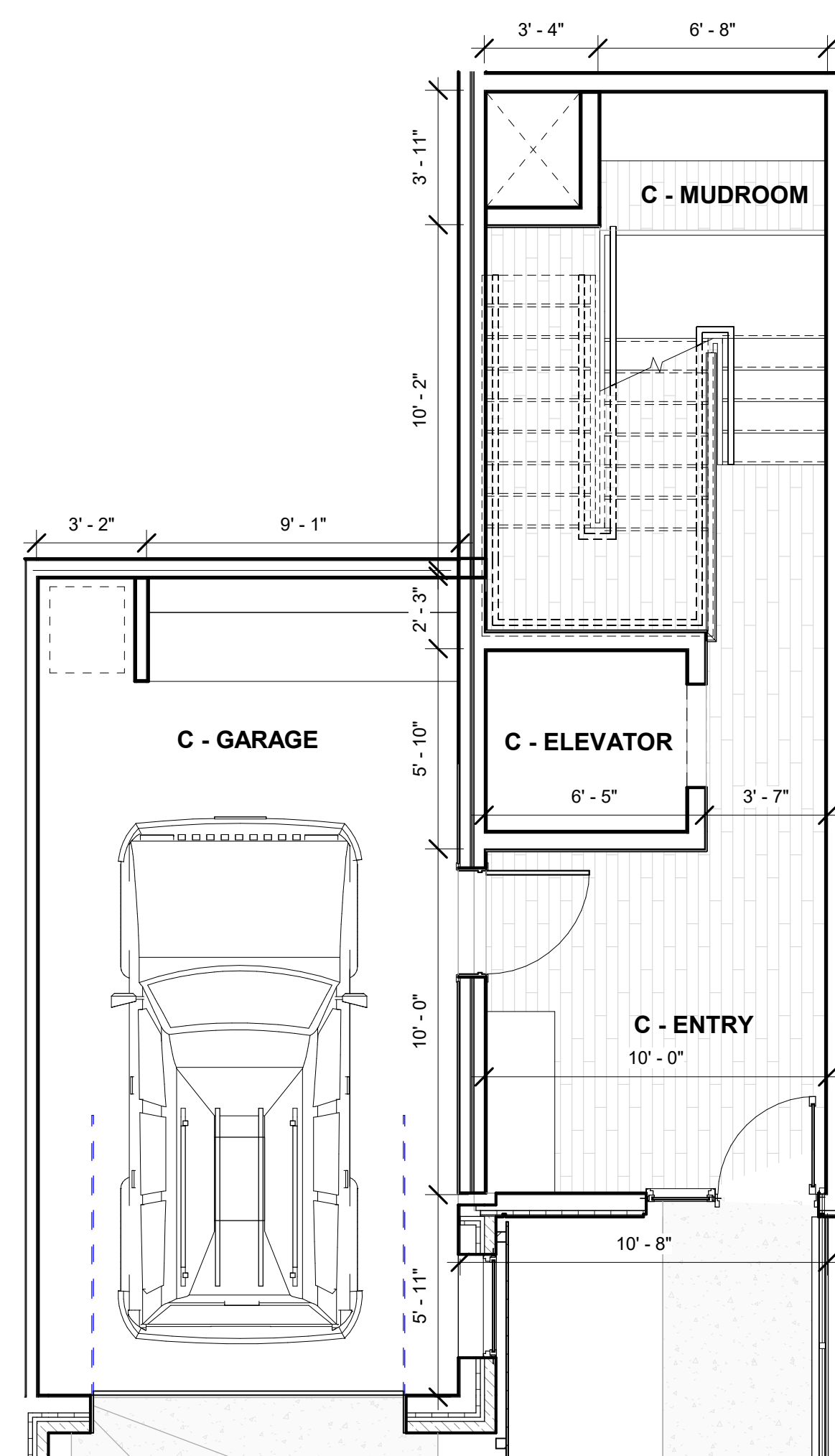
ISSUE: **DRB PACKAGE**

SHEET TITLE: **UNIT B - DIM PLANS**

SHEET NO.:

**A1.31**





**UNIT C**

**1 LEVEL 03- UNIT C**  
1/4" = 1'-0"



**2 LEVEL 04- UNIT C**  
1/4" = 1'-0"

TOWN STAMP

**359**  
DESIGN

3415 WINDSOR CT SUITE 201  
DENVER CO 80216  
720.332.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

PROJECT NUMBER 24162  
ISSUE DATE 08/20/2024

ISSUE  
**DRB PACKAGE**

SHEET TITLE  
**UNIT C - DIM PLANS**

SHEET NO.

**A1.41**





**LOT 165 CORTINA DRIVE**  
Mountain Village, CO



**01**  
**STONE SIDING:**  
Locally quarried weathered edge stone pattern

MATERIAL SF FRONT ELEVATION = 902.95  
ELEVATION OVERALL SF = 3441.97  
**MATERIAL % FRONT ELEVATION = 26%**

MATERIAL SF OVERALL = 3564.53  
BUILDING PERIMETER SF = 9919.70  
**MATERIAL % OVERALL = 36% (MIN. 35%)**



**02**  
**WOOD SIDING:**  
6" horizontal SPF (spruce, pine, fir mix) wood siding

MATERIAL SF FRONT ELEVATION = 177.09 SF  
ELEVATION OVERALL SF = 3441.97  
**MATERIAL % FRONT ELEVATION = 5%**

MATERIAL SF OVERALL = 1337.77 SF  
BUILDING PERIMETER SF = 9919.70 SF  
**MATERIAL % OVERALL = 13%**



**03**  
**METAL SIDING:**  
Corrosion-resistant charcoal grey vertical metal panel siding

MATERIAL SF FRONT ELEVATION = 586.35 SF  
ELEVATION OVERALL SF = 3441.97 SF  
**MATERIAL % FRONT ELEVATION = 17%**

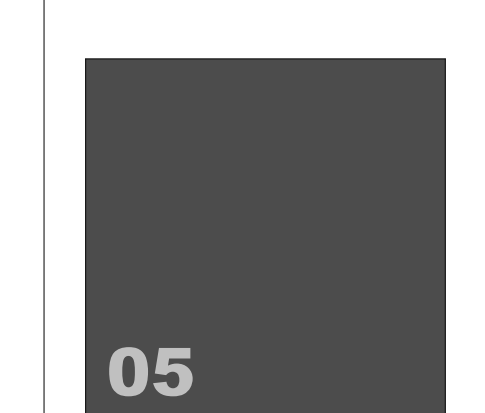
MATERIAL SF OVERALL = 2328.21 SF  
BUILDING PERIMETER SF = 9919.70 SF  
**MATERIAL % OVERALL = 23%**



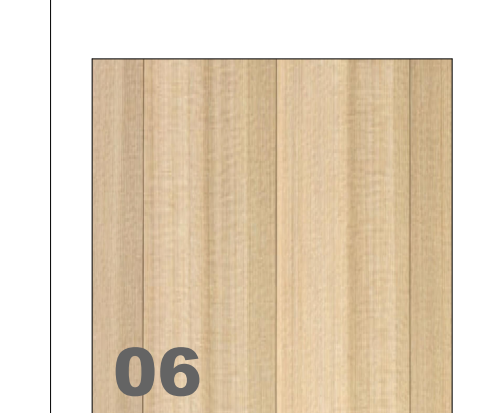
**04**  
**GLAZING:**  
High energy double-pane low-e glazing

MATERIAL SF FRONT ELEVATION = 1775.58 SF  
ELEVATION OVERALL SF = 3441.97 SF  
**MATERIAL % FRONT ELEVATION = 52%**

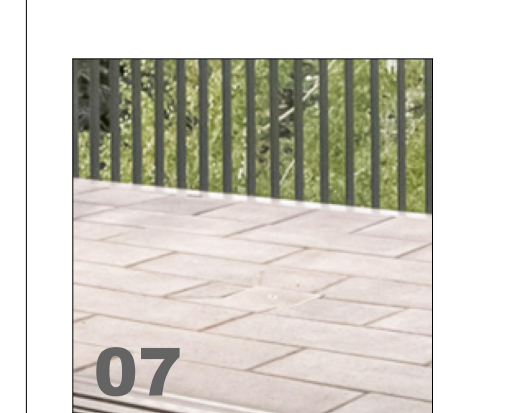
MATERIAL SF OVERALL = 2689.19 SF  
BUILDING PERIMETER SF = 9919.70 SF  
**MATERIAL % OVERALL = 27%**



**05**  
**FASCIA:**  
Dark-grey painted hardie board



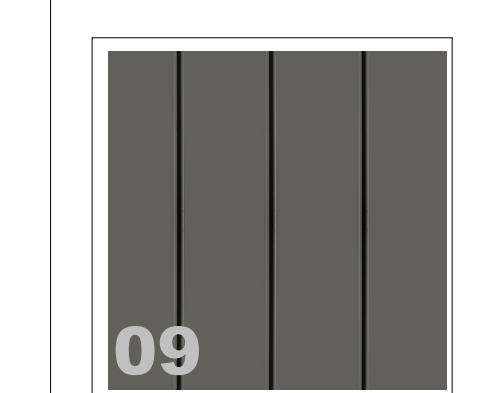
**06**  
**SOFFIT:**  
4" shiplap clearcoat soffit



**07**  
**PAVERS:**  
Citystone 12x24 stone pavers



**08**  
**RAILINGS:**  
Cable railing with 2x2 metal balusters



**09**  
**ROOF:**  
Dark-Grey Non-Reflective Standing Seam Roof

**1 FRONT ELEVATION - RENDERED**  
3/16" = 1'-0"

REVISIONS

No.	Description	Date

PROJECT NUMBER: 24102  
ISSUE DATE: 08/20/2024

DRB PACKAGE

SHEET TITLE:  
**FRONT ELEVATION - MATERIALS**

SHEET NO.:

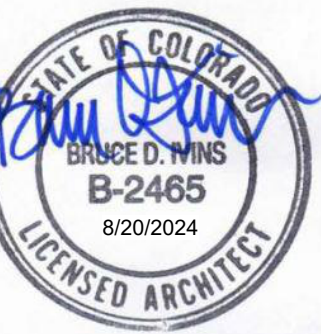
**A2.01**



TOWN STAMP

# 359 DESIGN

3455 RANGERS CT SUITE 201  
DENVER, CO 80216  
720.512.3459



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO



**1 FRONT ELEVATION - B&W**  
3/16" = 1'-0"

No.	Description	Date

PROJECT NUMBER 24162  
ISSUE DATE 08/20/2024

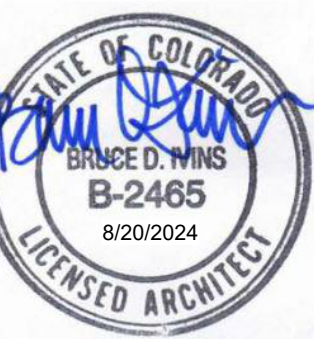
ISSUE  
**DRB PACKAGE**

SHEET TITLE  
**FRONT ELEVATION - B&W**

SHEET NO.

**A2.02**





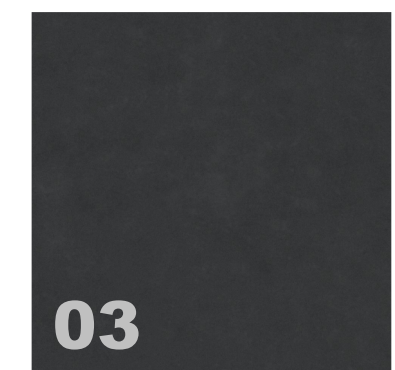
**01**  
**STONE SIDING:**  
Locally quarried weathered edge stone pattern

MATERIAL SF BACK ELEVATION = 369.07  
ELEVATION OVERALL SF = 1645.58  
**MATERIAL % BACK ELEVATION = 22%**  
  
MATERIAL SF OVERALL = 3564.53  
BUILDING PERIMETER SF = 9919.70  
**MATERIAL % OVERALL = 36% (MIN. 35%)**



**02**  
**WOOD SIDING:**  
6" horizontal SPF (spruce, pine, fir mix) wood siding

MATERIAL SF BACK ELEVATION = 312.66 SF  
ELEVATION OVERALL SF = 1645.58 SF  
**MATERIAL % BACK ELEVATION = 19%**  
  
MATERIAL SF OVERALL = 1337.77 SF  
BUILDING PERIMETER SF = 9919.70 SF  
**MATERIAL % OVERALL = 13%**



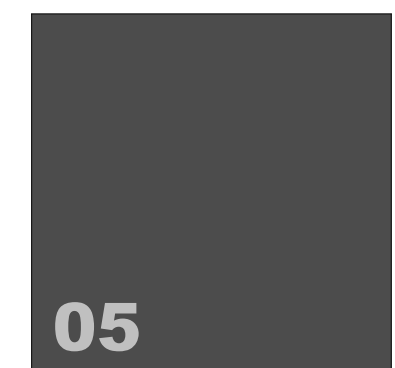
**03**  
**METAL SIDING:**  
Corrosion-resistant charcoal grey vertical metal panel siding

MATERIAL SF BACK ELEVATION = 462.24 SF  
ELEVATION OVERALL SF = 1645.58 SF  
**MATERIAL % BACK ELEVATION = 28%**  
  
MATERIAL SF OVERALL = 2328.21 SF  
BUILDING PERIMETER SF = 9919.70 SF  
**MATERIAL % OVERALL = 23%**

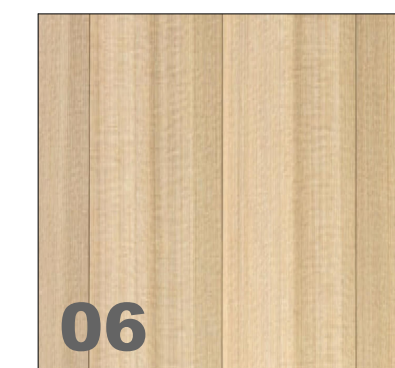


**04**  
**GLAZING:**  
High energy double-pane low-e glazing

MATERIAL SF BACK ELEVATION = 501.61 SF  
ELEVATION OVERALL SF = 1645.58 SF  
**MATERIAL % BACK ELEVATION = 30%**  
  
MATERIAL SF OVERALL = 2689.19 SF  
BUILDING PERIMETER SF = 9919.70 SF  
**MATERIAL % OVERALL = 27%**



**05**  
**FASCIA:**  
Dark-grey painted hardie board



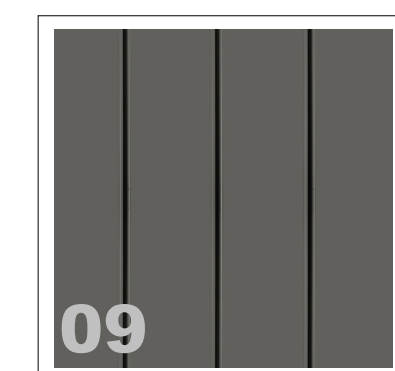
**06**  
**SOFFIT:**  
4" shiplap clearcoat soffit



**07**  
**PAVERS:**  
Citystone 12x24 stone pavers



**08**  
**RAILINGS:**  
Cable railing with 2x2 metal balusters



**09**  
**ROOF:**  
Dark-Grey Non-Reflective Standing Seam Roof

REVISIONS

No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**

SHEET TITLE: **BACK ELEVATION - MATERIALS**

SHEET NO.: **A2.03**



TOWN STAMP

# 359 DESIGN

3435 RANGERS CT SUITE 201  
DENVER, CO 80216  
720.322.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO



**1 BACK ELEVATION - B&W**  
3/16" = 1'-0"

REVISIONS

No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**



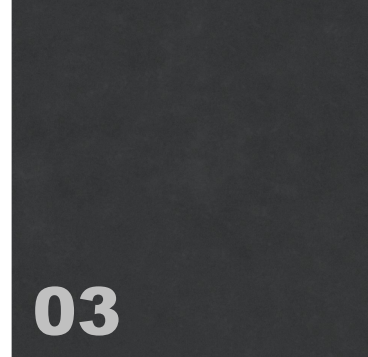


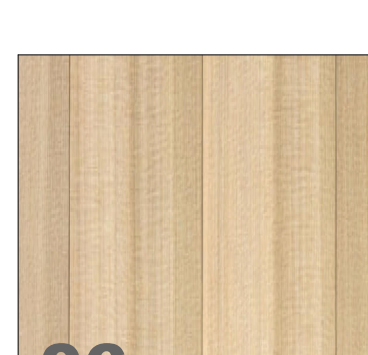
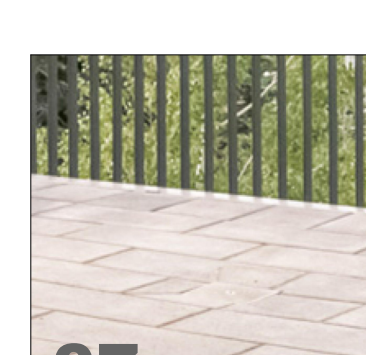
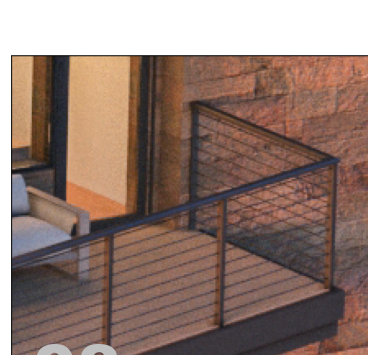
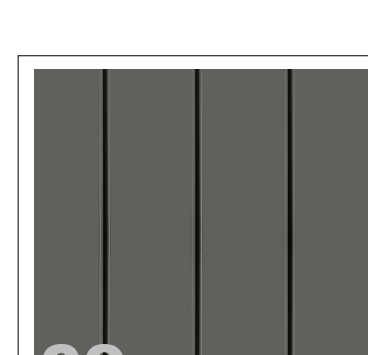
SHEET TITLE: **BACK ELEVATION - B&W**

SHEET NO.: **A2.04**





**1 RIGHT ELEVATION - RENDERED**  
3/16" = 1'-0"

 <p><b>01</b> <b>STONE SIDING:</b> Locally quarried weathered edge stone pattern</p>	<p>MATERIAL SF RIGHT ELEVATION = 1387.41 ELEVATION OVERALL SF = 2642.17 <b>MATERIAL % RIGHT ELEVATION = 53%</b></p> <p>MATERIAL SF OVERALL = 3564.53 BUILDING PERIMETER SF = 9919.70 <b>MATERIAL % OVERALL = 36% (MIN. 35%)</b></p>	
 <p><b>02</b> <b>WOOD SIDING:</b> 6" horizontal SPF (spruce, pine, fir mix) wood siding</p>	<p>MATERIAL SF RIGHT ELEVATION = 518.76 SF ELEVATION OVERALL SF = 2642.17 SF <b>MATERIAL % RIGHT ELEVATION = 20%</b></p> <p>MATERIAL SF OVERALL = 1337.77 SF BUILDING PERIMETER SF = 9919.70 SF <b>MATERIAL % OVERALL = 13%</b></p>	
 <p><b>03</b> <b>METAL SIDING:</b> Corrosion-resistant charcoal grey vertical metal panel siding</p>	<p>MATERIAL SF RIGHT ELEVATION = 507 SF ELEVATION OVERALL SF = 2642.17 SF <b>MATERIAL % RIGHT ELEVATION = 19%</b></p> <p>MATERIAL SF OVERALL = 2328.21 SF BUILDING PERIMETER SF = 9919.70 SF <b>MATERIAL % OVERALL = 23%</b></p>	
 <p><b>04</b> <b>GLAZING:</b> High energy double-pane low-e glazing</p>	<p>MATERIAL SF RIGHT ELEVATION = 229 SF ELEVATION OVERALL SF = 2642.17 SF <b>MATERIAL % RIGHT ELEVATION = 9%</b></p> <p>MATERIAL SF OVERALL = 2689.19 SF BUILDING PERIMETER SF = 9919.70 SF <b>MATERIAL % OVERALL = 27%</b></p>	
 <p><b>05</b> <b>FASCIA:</b> Dark-grey painted hardie board</p>	 <p><b>06</b> <b>SOFFIT:</b> 4" shiplap clearcoat soffit</p>	 <p><b>07</b> <b>PAVERS:</b> Citystone 12x24 stone pavers</p>
 <p><b>08</b> <b>RAILINGS:</b> Cable railing with 2x2 metal balusters</p>	 <p><b>09</b> <b>ROOF:</b> Dark-Grey Non-Reflective Standing Seam Roof</p>	

REVISIONS

No.	Description	Date

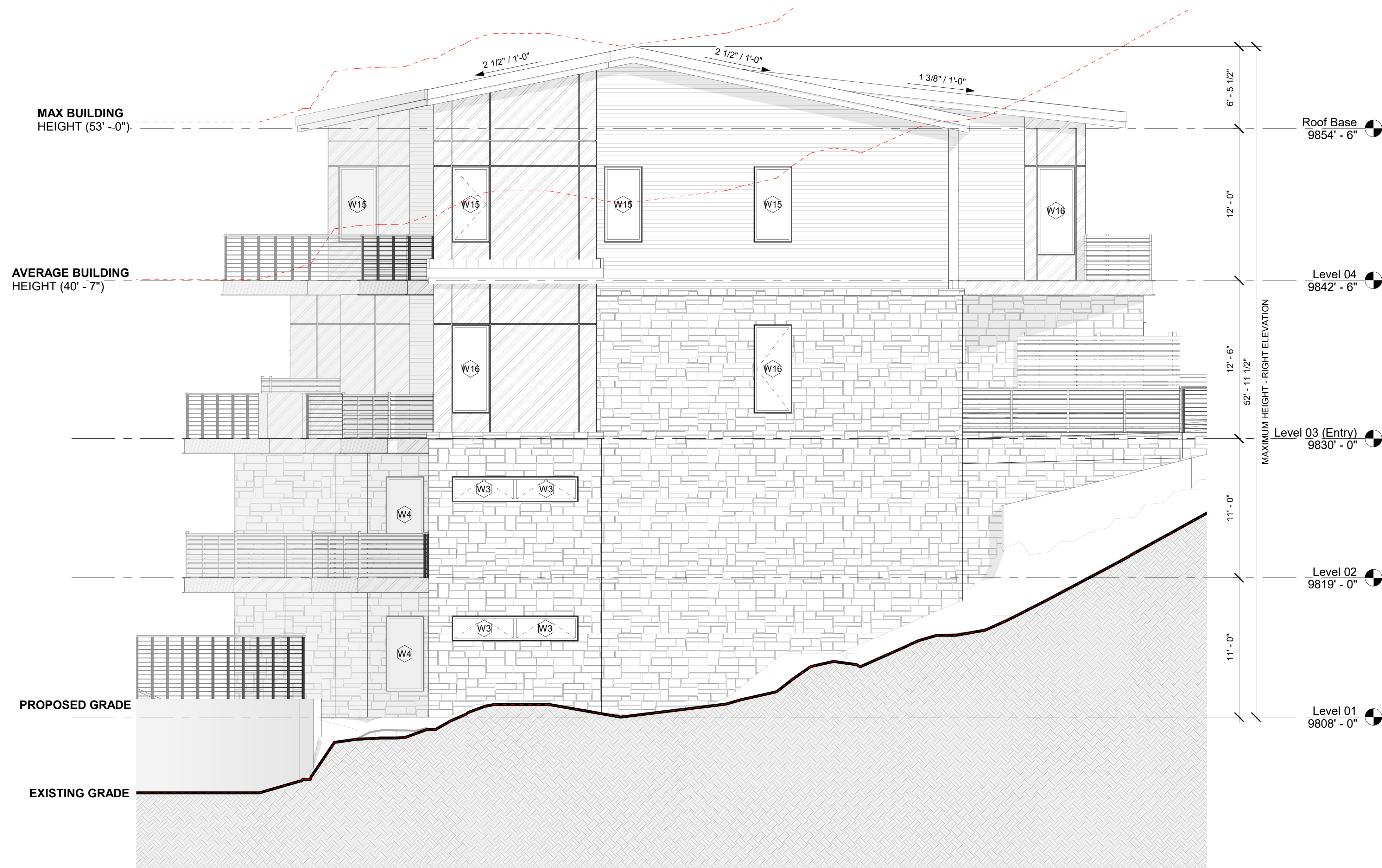
PROJECT NUMBER 24102  
ISSUE DATE 08/20/2024

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SHEET TITLE  
**RIGHT ELEVATION - MATERIALS**

SHEET NO.  
**A2.05**





**1 RIGHT ELEVATION - B&W**  
3/16" = 1'-0"



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

PROJECT NUMBER 24162  
ISSUE DATE 08/20/2024

ISSUE  
**DRB PACKAGE**



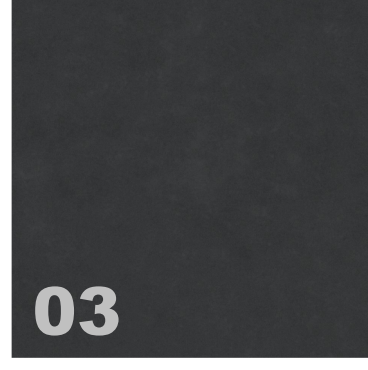

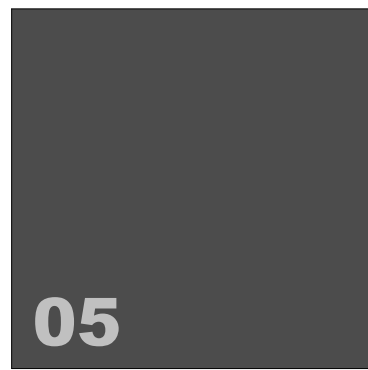
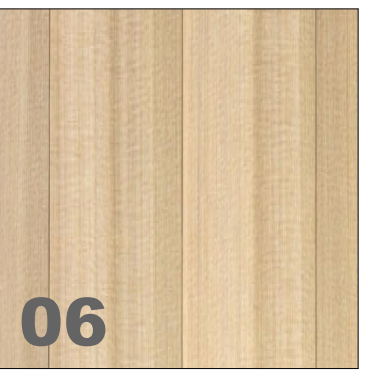


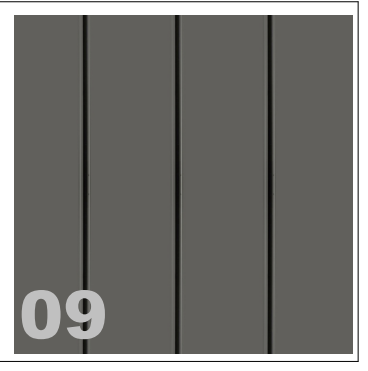
SHEET TITLE  
**RIGHT ELEVATION - B&W**

SHEET NO.





**1 LEFT ELEVATION - RENDERED**  
3/16" = 1'-0"

 <p><b>01</b> <b>STONE SIDING:</b> Locally quarried weathered edge stone pattern</p>	<p>MATERIAL SF LEFT ELEVATION = 905.10 ELEVATION OVERALL SF = 2189.98 <b>MATERIAL % RIGHT ELEVATION = 41%</b></p> <p>MATERIAL SF OVERALL = 3564.53 BUILDING PERIMETER SF = 9919.70 <b>MATERIAL % OVERALL = 36% (MIN. 35%)</b></p>	
 <p><b>02</b> <b>WOOD SIDING:</b> 6" horizontal SPF (spruce, pine, fir mix) wood siding</p>	<p>MATERIAL SF LEFT ELEVATION = 329.26 SF ELEVATION OVERALL SF = 2189.98 SF <b>MATERIAL % LEFT ELEVATION = 15%</b></p> <p>MATERIAL SF OVERALL = 1337.77 SF BUILDING PERIMETER SF = 9919.70 SF <b>MATERIAL % OVERALL = 13%</b></p>	
 <p><b>03</b> <b>METAL SIDING:</b> Corrosion-resistant charcoal grey vertical metal panel siding</p>	<p>MATERIAL SF LEFT ELEVATION = 772.62 SF ELEVATION OVERALL SF = 2189.98 SF <b>MATERIAL % LEFT ELEVATION = 35%</b></p> <p>MATERIAL SF OVERALL = 2328.21 SF BUILDING PERIMETER SF = 9919.70 SF <b>MATERIAL % OVERALL = 23%</b></p>	
 <p><b>04</b> <b>GLAZING:</b> High energy double-pane low-e glazing</p>	<p>MATERIAL SF RIGHT ELEVATION = 183 SF ELEVATION OVERALL SF = 2189.98 SF <b>MATERIAL % RIGHT ELEVATION = 8%</b></p> <p>MATERIAL SF OVERALL = 2689.19 SF BUILDING PERIMETER SF = 9919.70 SF <b>MATERIAL % OVERALL = 27%</b></p>	
 <p><b>05</b> <b>FASCIA:</b> Dark-grey painted hardie board</p>	 <p><b>06</b> <b>SOFFIT:</b> 4" shiplap clearcoat soffit</p>	 <p><b>07</b> <b>PAVERS:</b> Citystone 12x24 stone pavers</p>
 <p><b>08</b> <b>RAILINGS:</b> Cable railing with 2x2 metal balusters</p>	 <p><b>09</b> <b>ROOF:</b> Dark-Grey Non-Reflective Standing Seam Roof</p>	

REVISIONS

No.	Description	Date

PROJECT NUMBER 24102  
ISSUE DATE 08/20/2024

DRB PACKAGE

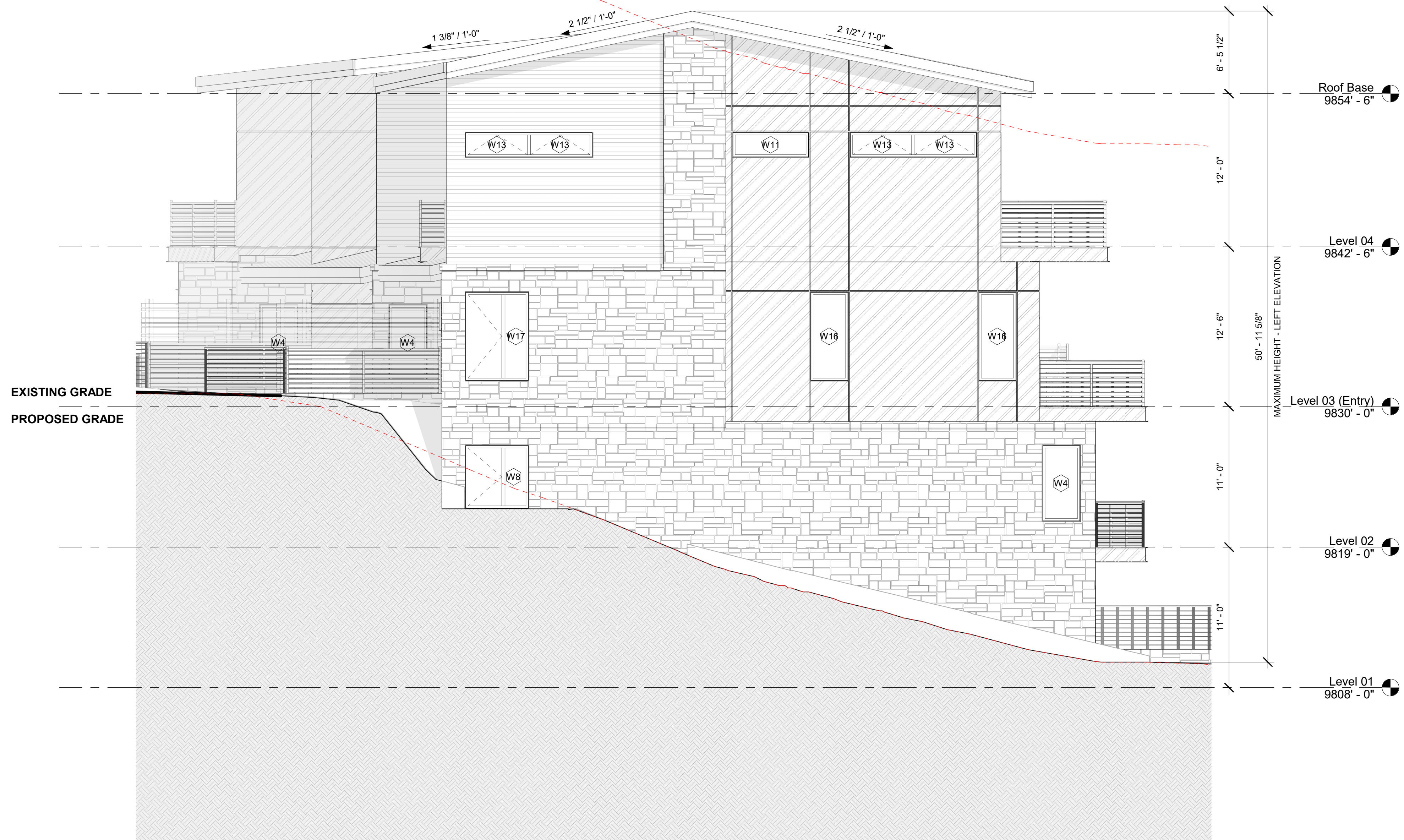
SHEET TITLE  
**LEFT ELEVATION - MATERIALS**

SHEET NO.  
**A2.07**



MAX BUILDING  
HEIGHT (53' - 0")

AVERAGE BUILDING  
HEIGHT (40' - 7")



**1 LEFT ELEVATION - B&W**  
3/16" = 1'-0"

REVISIONS

No.	Description	Date

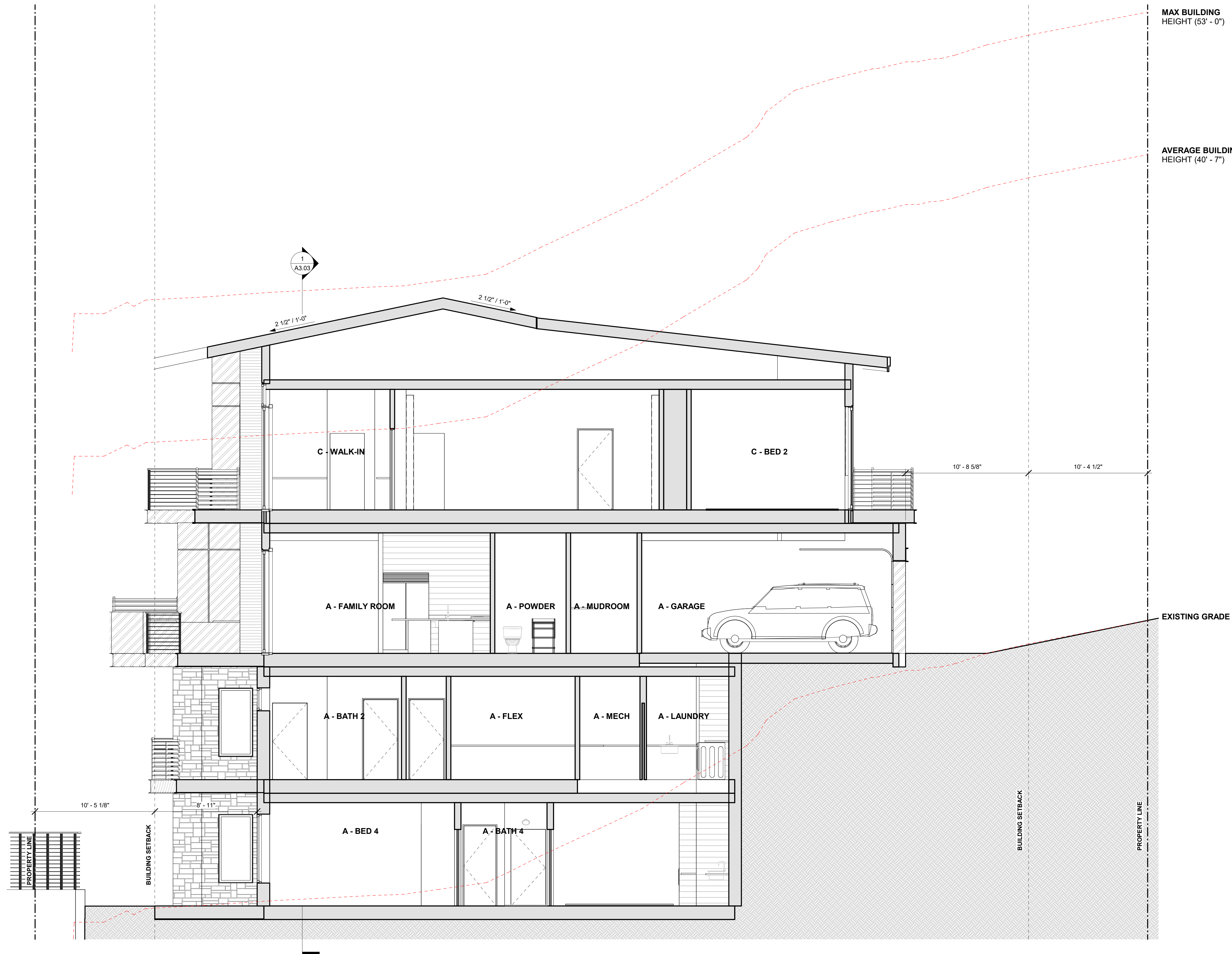
PROJECT NUMBER 24162  
ISSUE DATE 08/20/2024

ISSUE  
**DRB PACKAGE**

SHEET TITLE  
**LEFT ELEVATION - B&W**

SHEET NO.





MAX BUILDING HEIGHT (53' - 0")

AVERAGE BUILDING HEIGHT (40' - 7")

EXISTING GRADE

**1 BUILDING SECTION 1**  
1/4" = 1'-0"

TOWN STAMP  
**359 DESIGN**

345 RANGERS CT SUITE 201  
DENVER, CO 80216  
703.522.2471



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

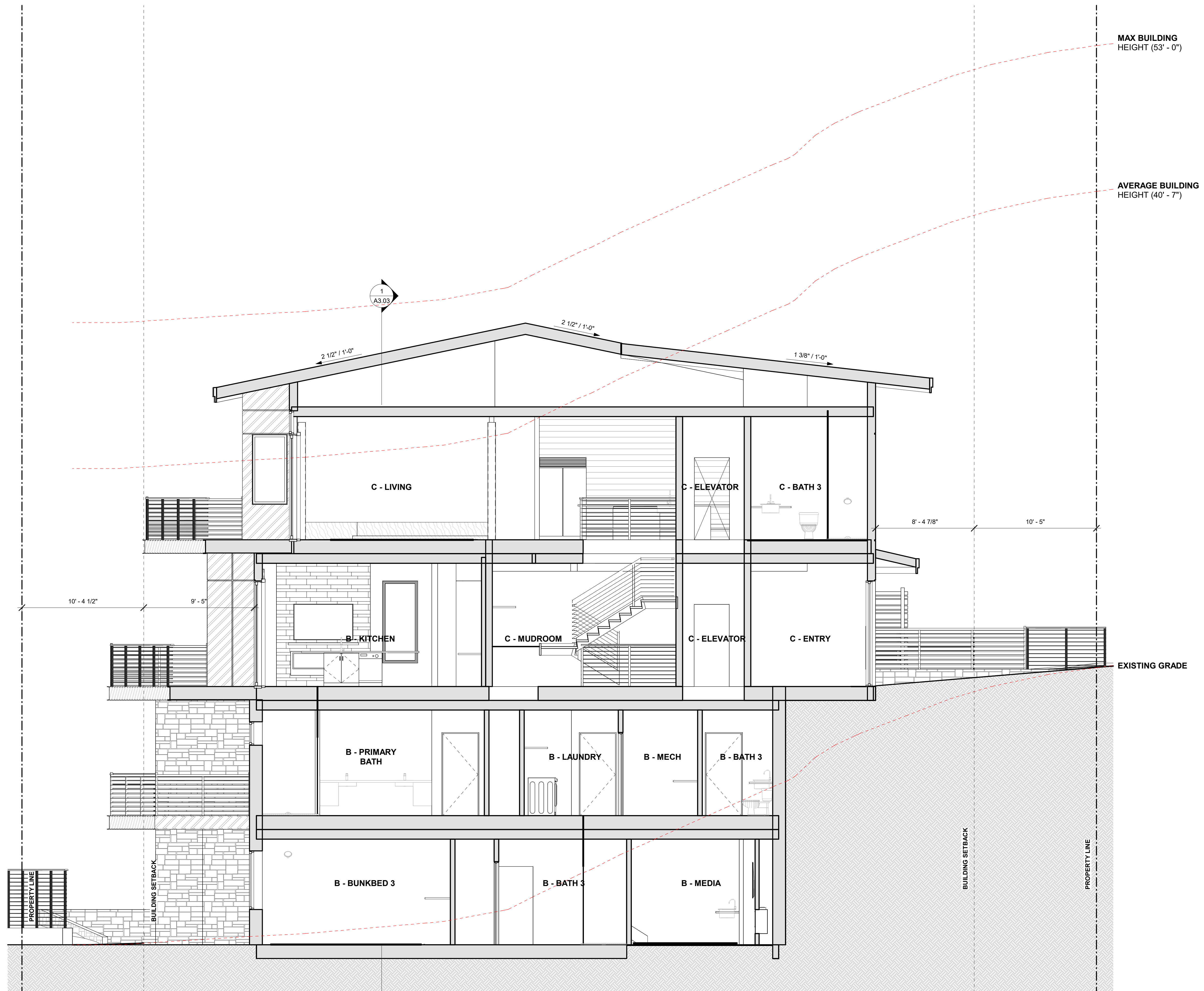
PROJECT NUMBER 24162  
ISSUE DATE 08/20/2024

ISSUE  
**DRB PACKAGE**

SHEET TITLE  
**BUILDING SECTION**

SHEET NO.  
**A3.01**

[No Slope]



MAX BUILDING HEIGHT (53' - 0")

AVERAGE BUILDING HEIGHT (40' - 7")

EXISTING GRADE

**1 BUILDING SECTION 2**  
1/4" = 1'-0"

TOWN STAMP  
**359 DESIGN**  
359 RANGERS CT SUITE 201  
DENVER, CO 80218  
720.332.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

PROJECT NUMBER 24192  
ISSUE DATE 08/20/2024

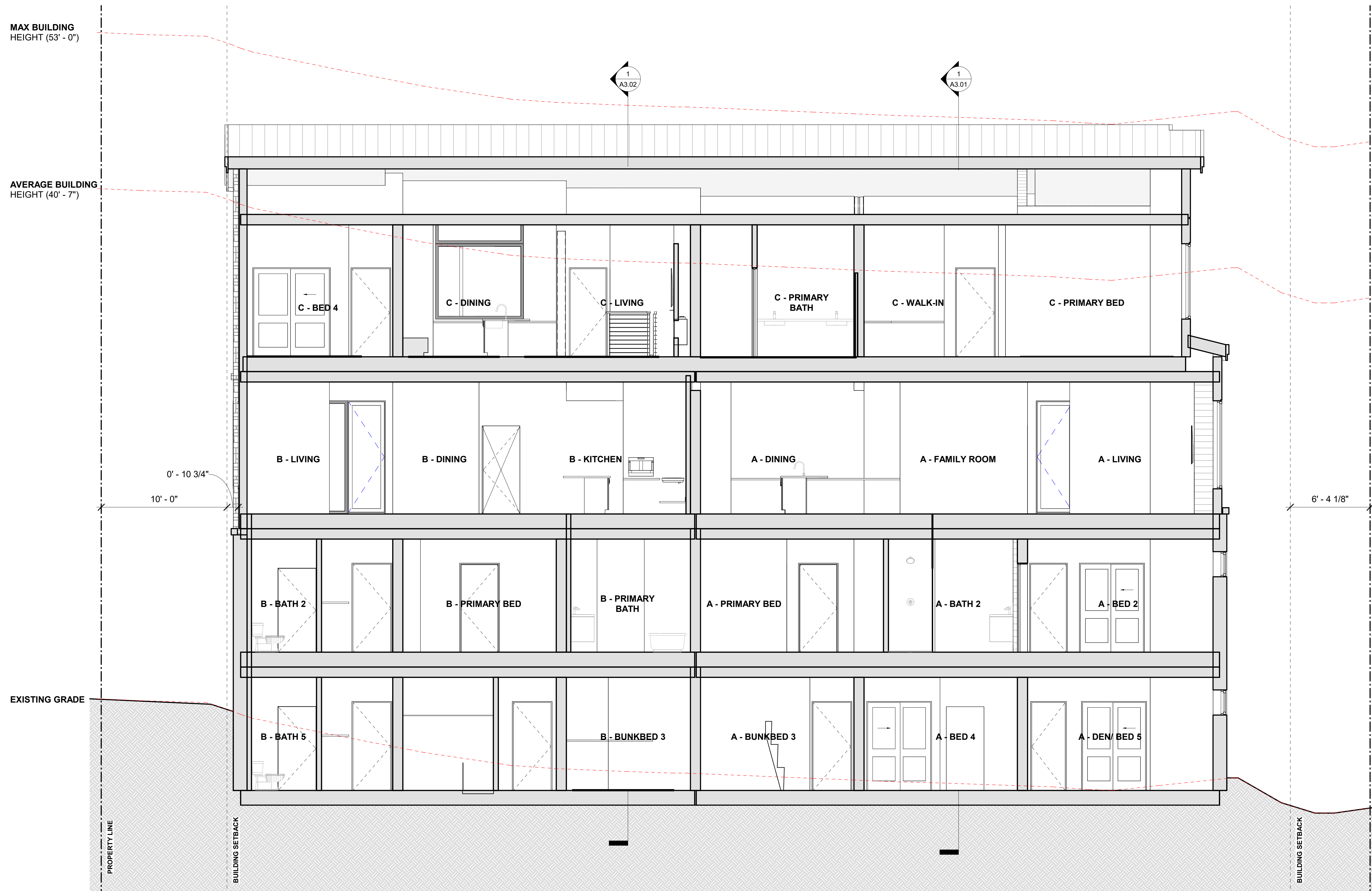
ISSUE  
**DRB PACKAGE**

SHEET TITLE  
**BUILDING SECTION**

SHEET NO.

**A3.02**





**1 BUILDING SECTION 3**

1/4" = 1'-0"

TOWN STAMP

**359**  
DESIGN

359 RANNEY CT SUITE 201  
DENVER, CO 80218  
720.332.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

PROJECT NUMBER 24162  
ISSUE DATE 08/20/2024

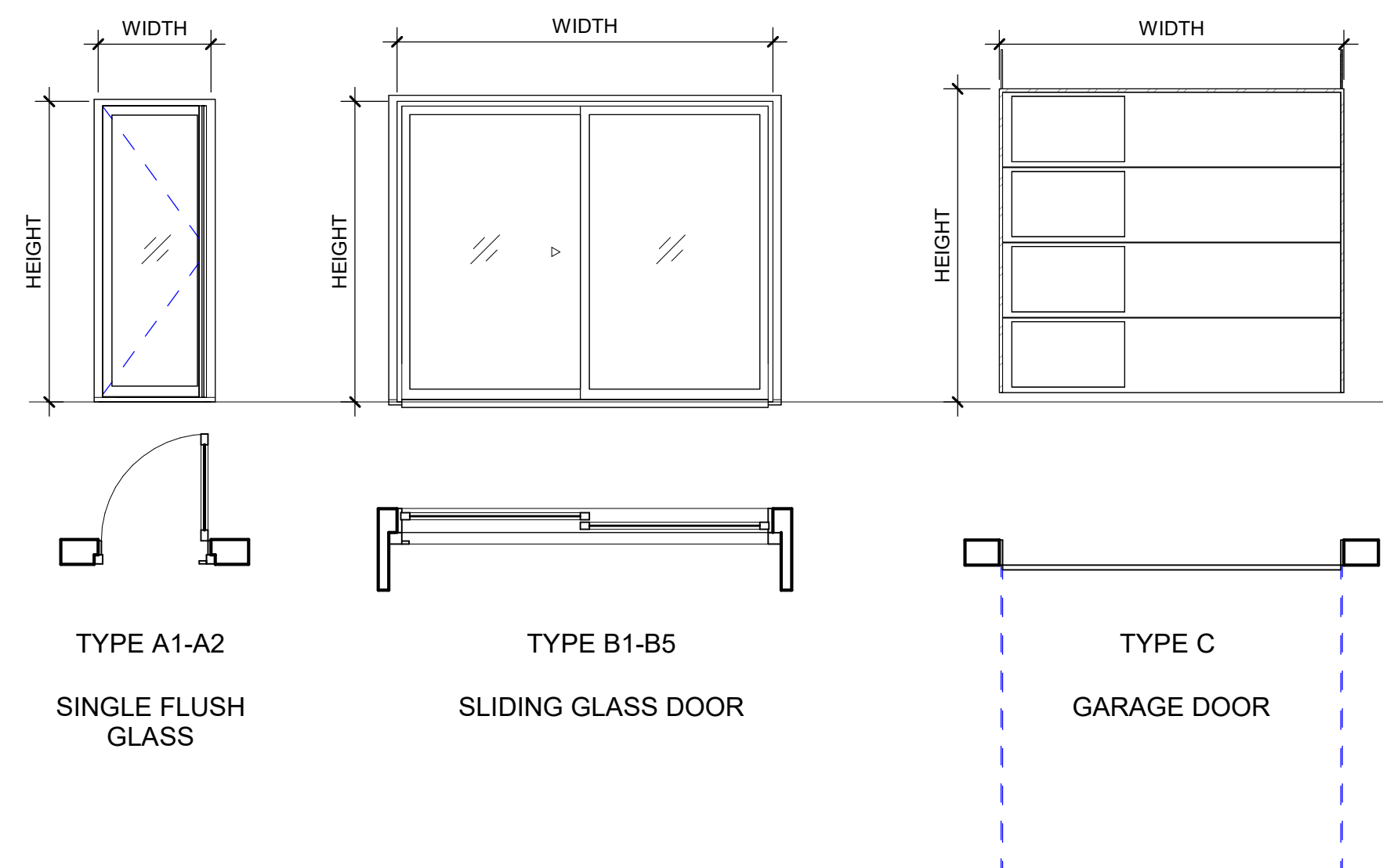
ISSUE  
**DRB PACKAGE**

SHEET TITLE  
**BUILDING SECTION**

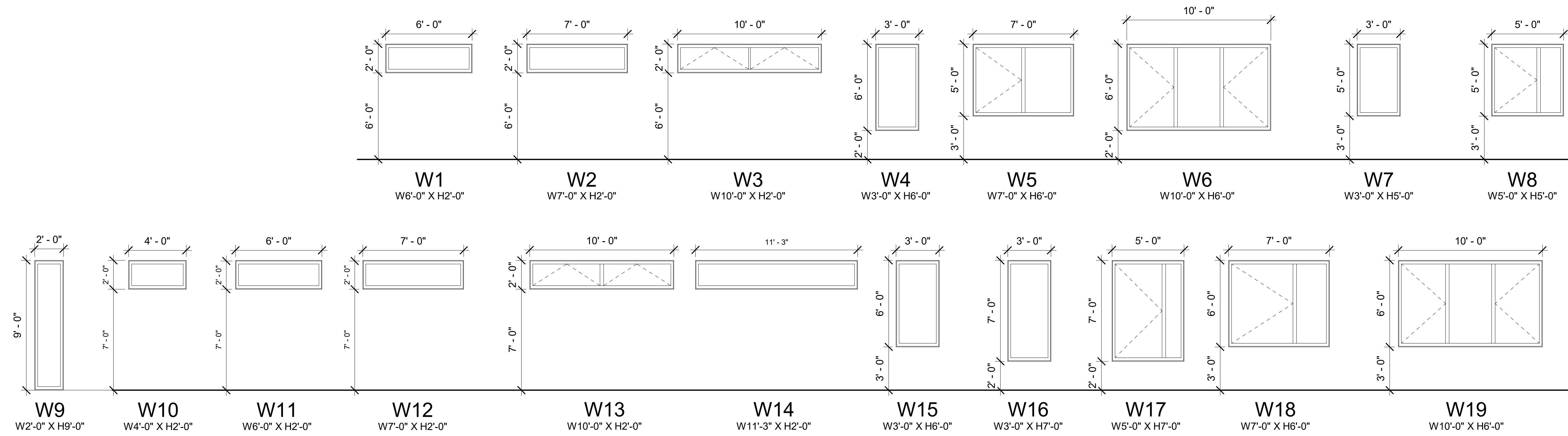
SHEET NO.  
**A3.03**

BUILDING DOOR SCHEDULE									
Type Mark	Door Number	Level	Width	Height	Operation	DOOR MATERIAL	Finish	Frame Material	Comments
A1	24	Level 01	3'-0"	8'-0"	SWING	METAL			
A1	25	Level 01	3'-0"	8'-0"	SWING	METAL			
A1	40	Level 01	3'-0"	8'-0"	SWING	METAL			
A2	10	Level 03 (Entry)	3'-0"	9'-0"	SWING	METAL			
A2	11	Level 03 (Entry)	3'-0"	9'-0"	SWING	METAL			
A2	14	Level 03 (Entry)	3'-0"	9'-0"	SWING	METAL			
A2	19	Level 04	3'-0"	9'-0"	SWING	METAL			
A2	47	Level 04	3'-0"	9'-0"	SWING	METAL			
A2	49	Level 04	3'-0"	9'-0"	SWING	METAL			
B1	18	Level 01	10'-0"	8'-0"	SLIDER	METAL			
B1	31	Level 02	10'-0"	8'-0"	SLIDER	METAL			
B1	32	Level 02	10'-0"	8'-0"	SLIDER	METAL			
B1	33	Level 02	10'-0"	8'-0"	SLIDER	METAL			
B1	36	Level 02	10'-0"	8'-0"	SLIDER	METAL			
B2	6	Level 03 (Entry)	10'-0"	7'-0"	SLIDER	METAL			
B2	22	Level 03 (Entry)	10'-0"	7'-0"	SLIDER	METAL			
B2	43	Level 04	10'-0"	7'-0"	SLIDER	METAL			
B3	42	Level 03 (Entry)	11'-3"	9'-0"	SLIDER	METAL			
B3	46	Level 03 (Entry)	11'-3"	9'-0"	SLIDER	METAL			
B3	45	Level 04	11'-3"	9'-0"	SLIDER	METAL			
B4	7	Level 03 (Entry)	7'-0"	9'-0"	SLIDER	METAL			
B4	44	Level 04	7'-0"	9'-0"	SLIDER	METAL			
B5	41	Level 03 (Entry)	10'-0"	9'-0"	SLIDER	METAL			
B5	55	Level 04	10'-0"	9'-0"	SLIDER	METAL			
C	50	Level 03 (Entry)	9'-0"	8'-0"	OVERHEAD DOOR				
C	51	Level 03 (Entry)	9'-0"	8'-0"	OVERHEAD DOOR				
C	52	Level 03 (Entry)	9'-0"	8'-0"	OVERHEAD DOOR				

### EXTERIOR BUILDING DOOR TYPES



### BUILDING WINDOW TYPES



TOWN STAMP

# 359 DESIGN

359 RANGERS CT SUITE 201  
DENVER, CO 80216  
720.332.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS		
No.	Description	Date

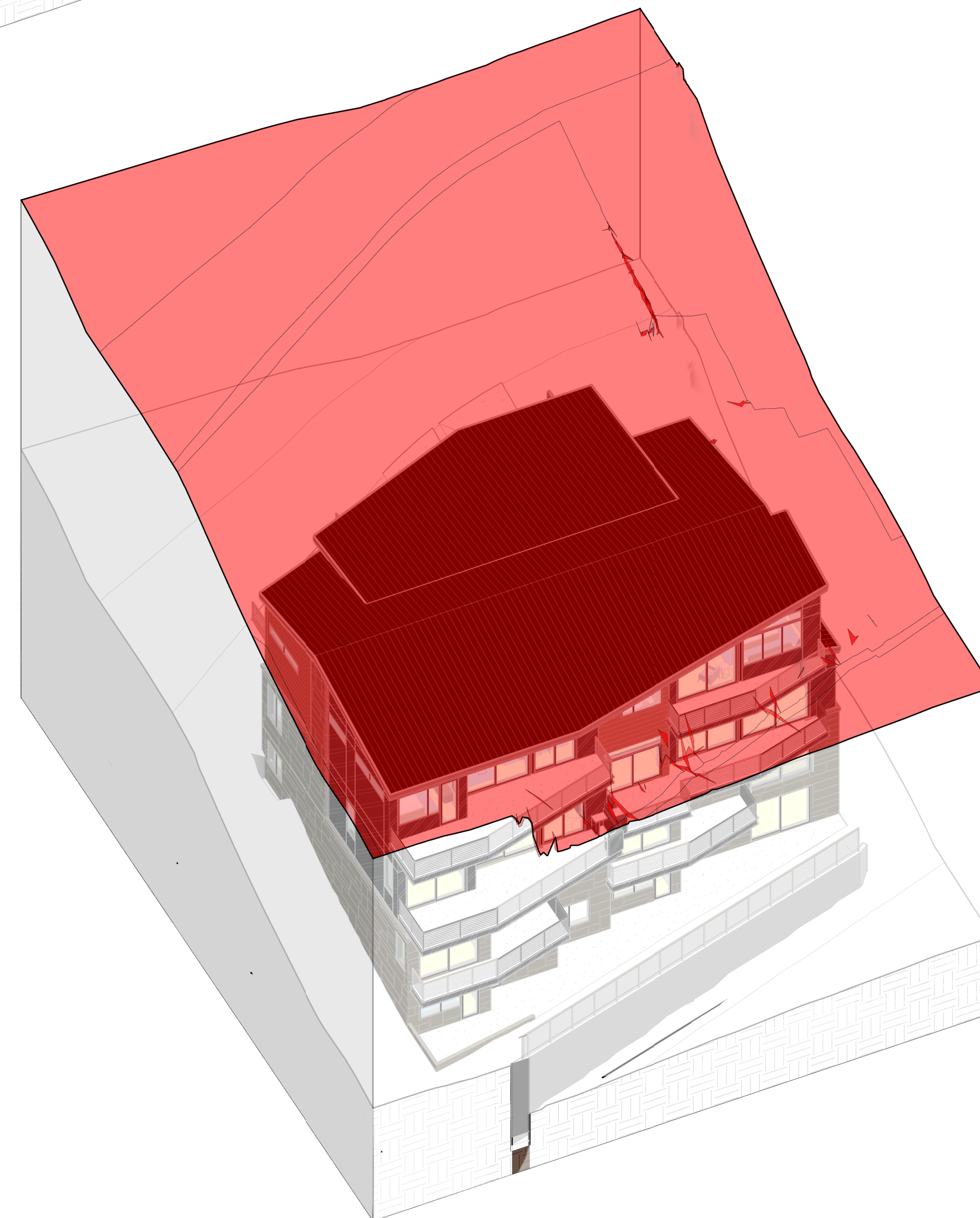
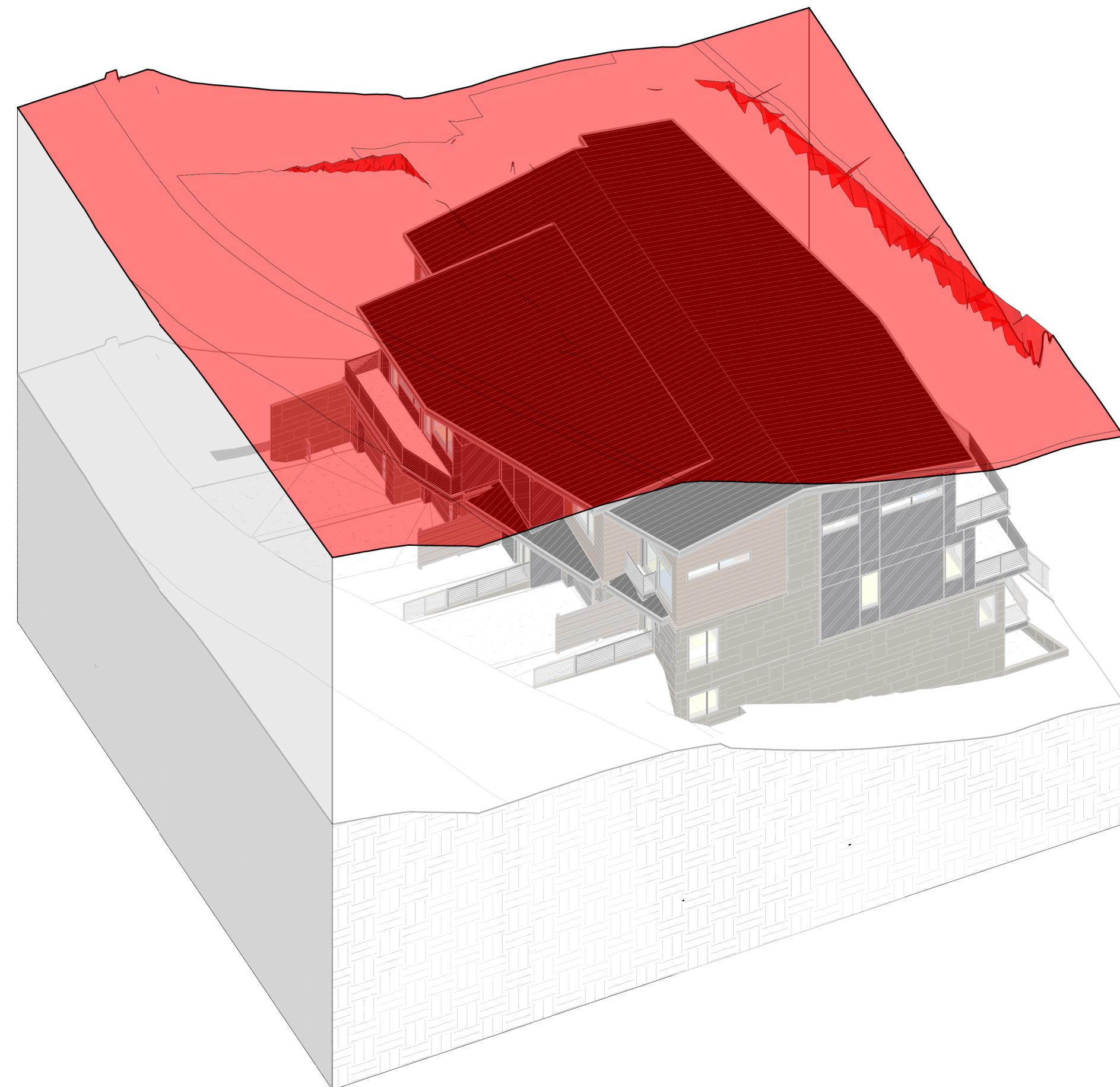
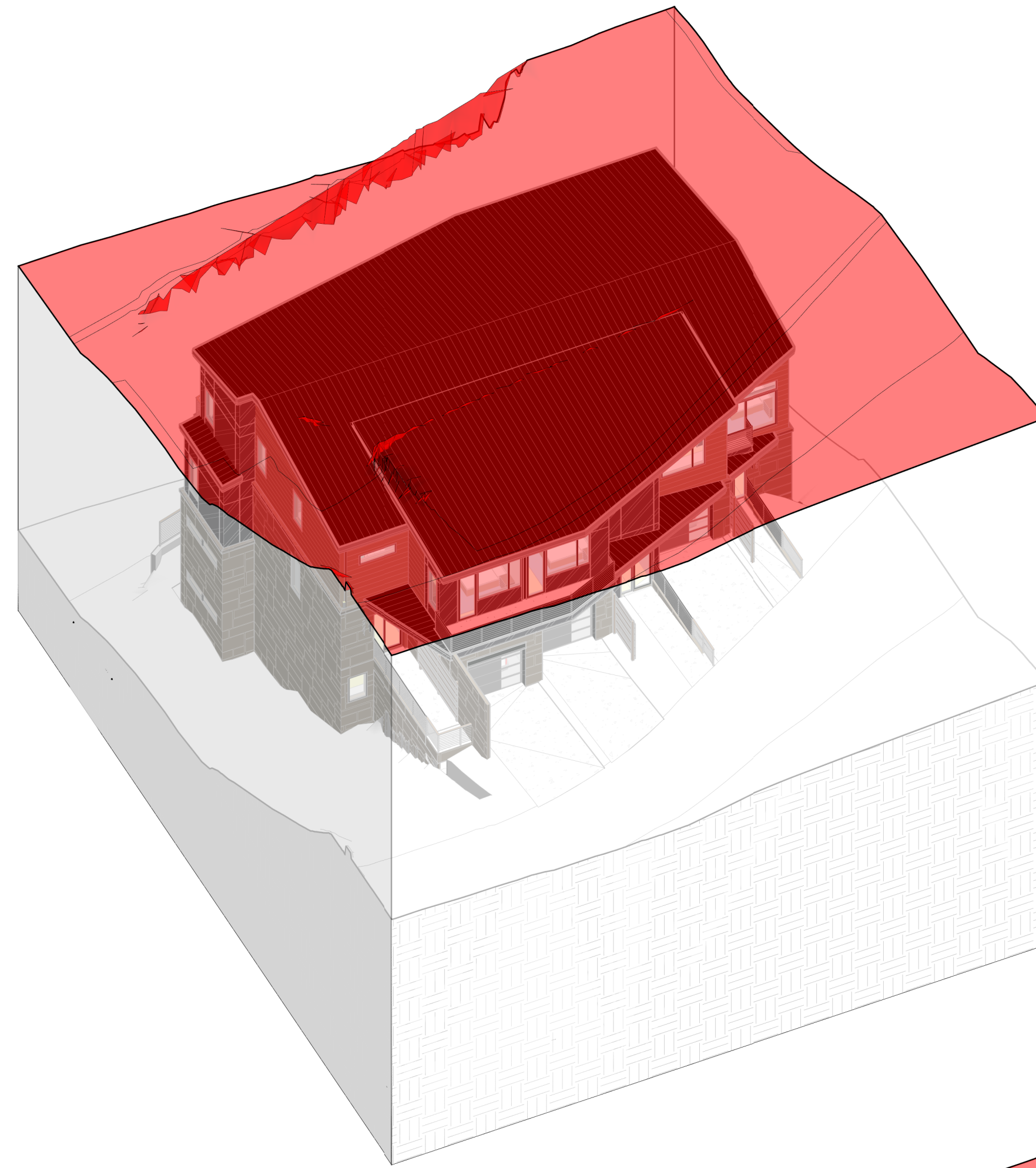
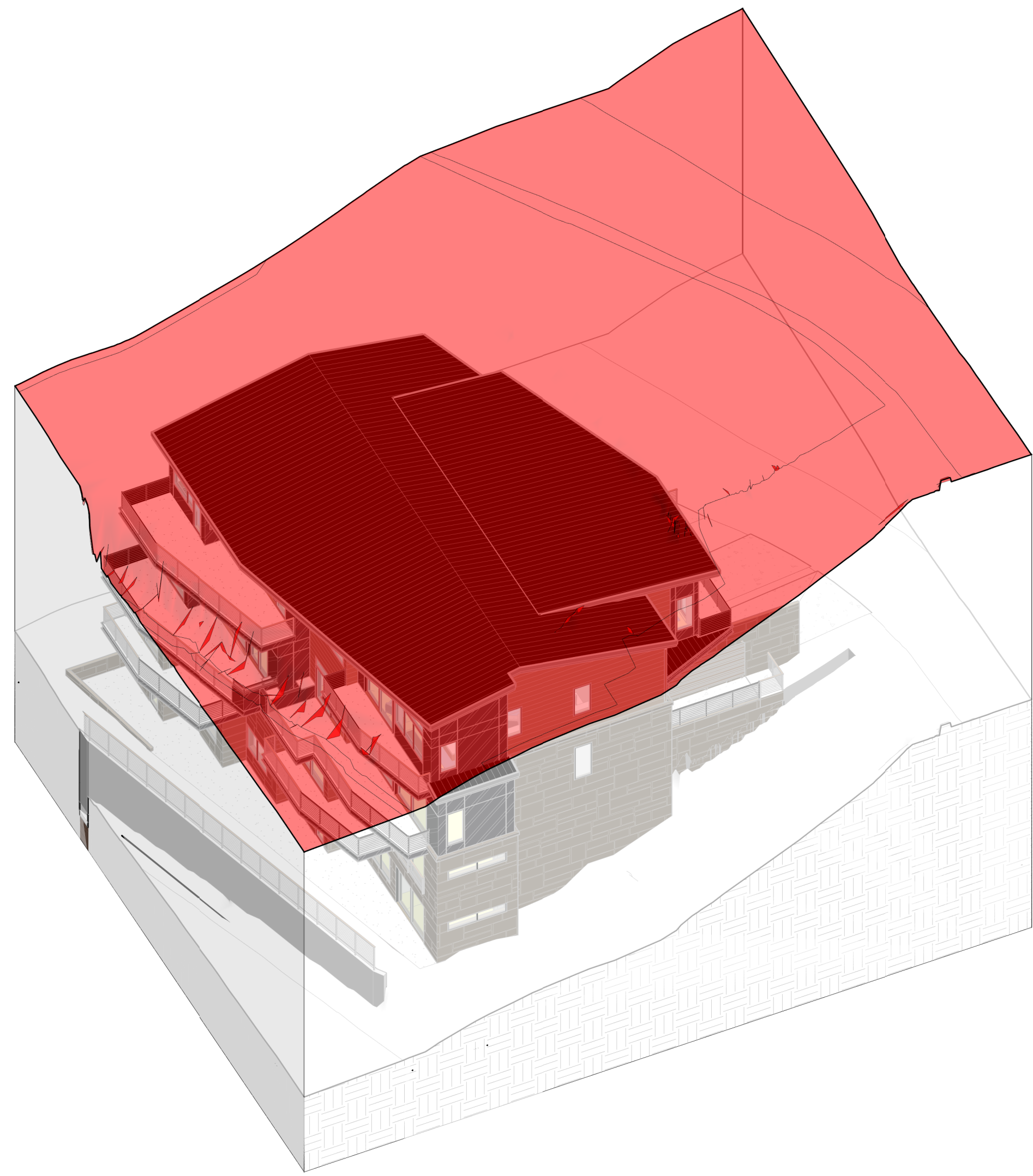
PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**

SHEET TITLE: **WINDOW & DOOR SCHEDULE**

SHEET NO.: **A5.01**





TOWN STAMP

**359**  
DESIGN

359 RANGERS CT SUITE 201  
DENVER, CO 80218  
720.332.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

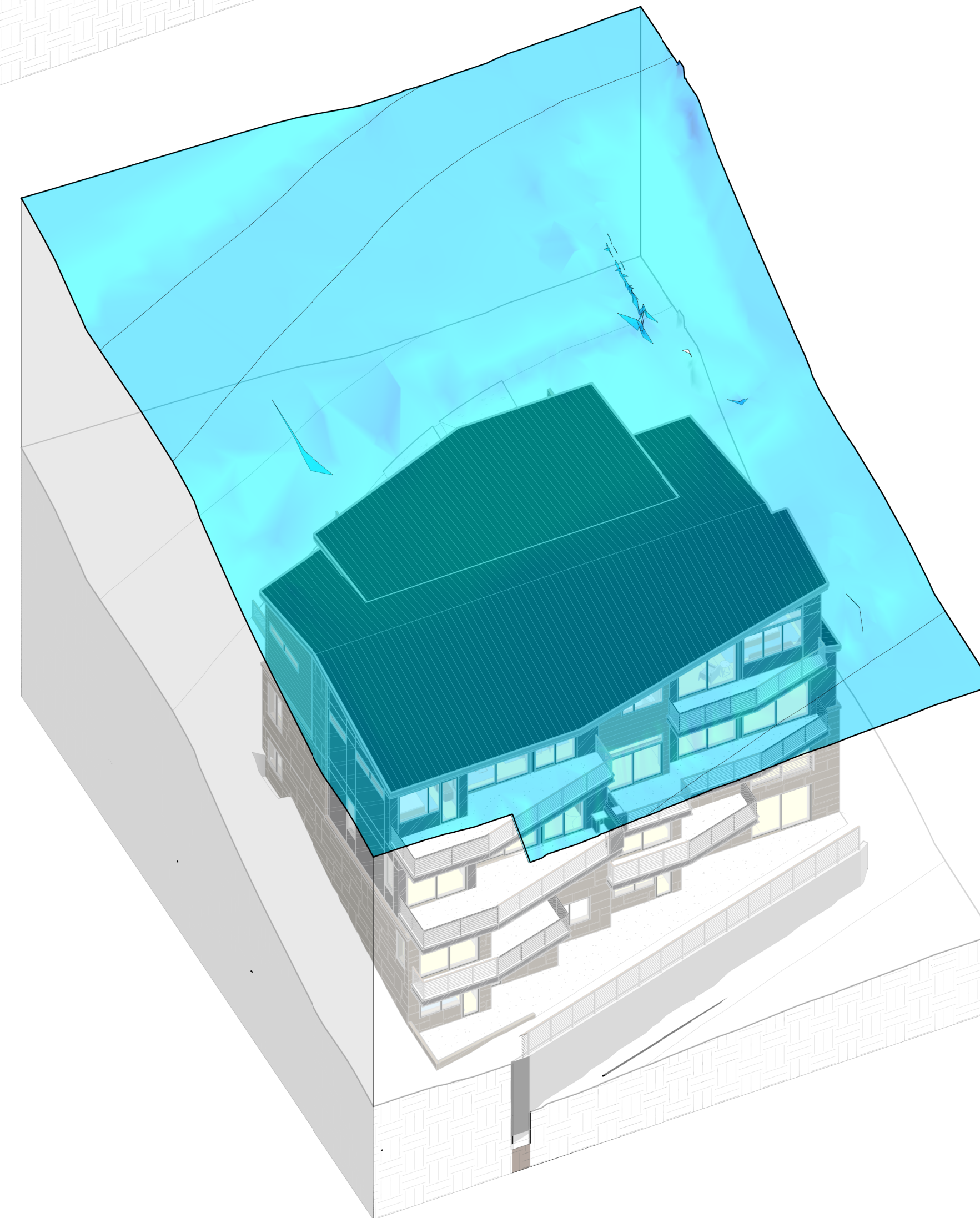
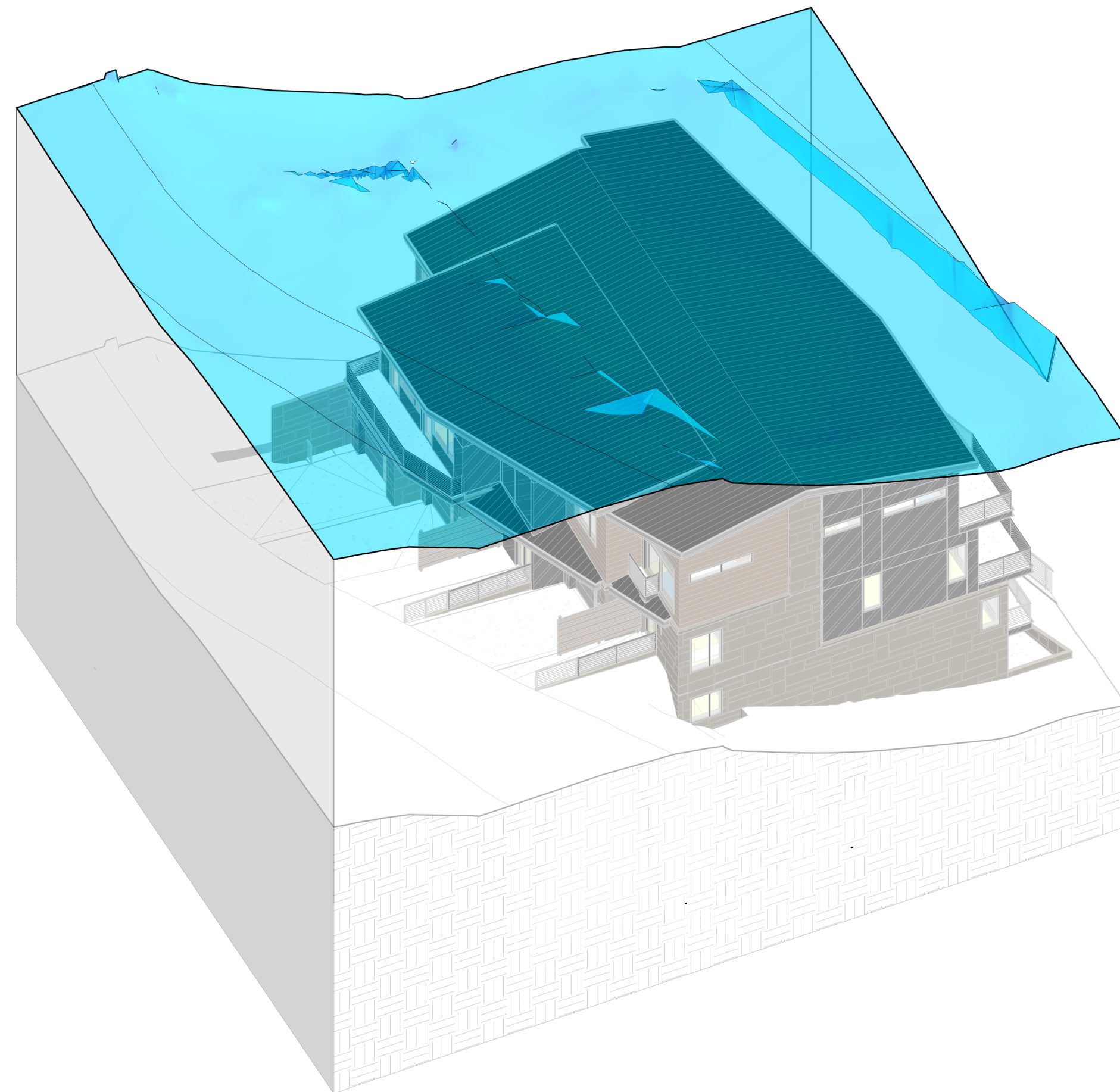
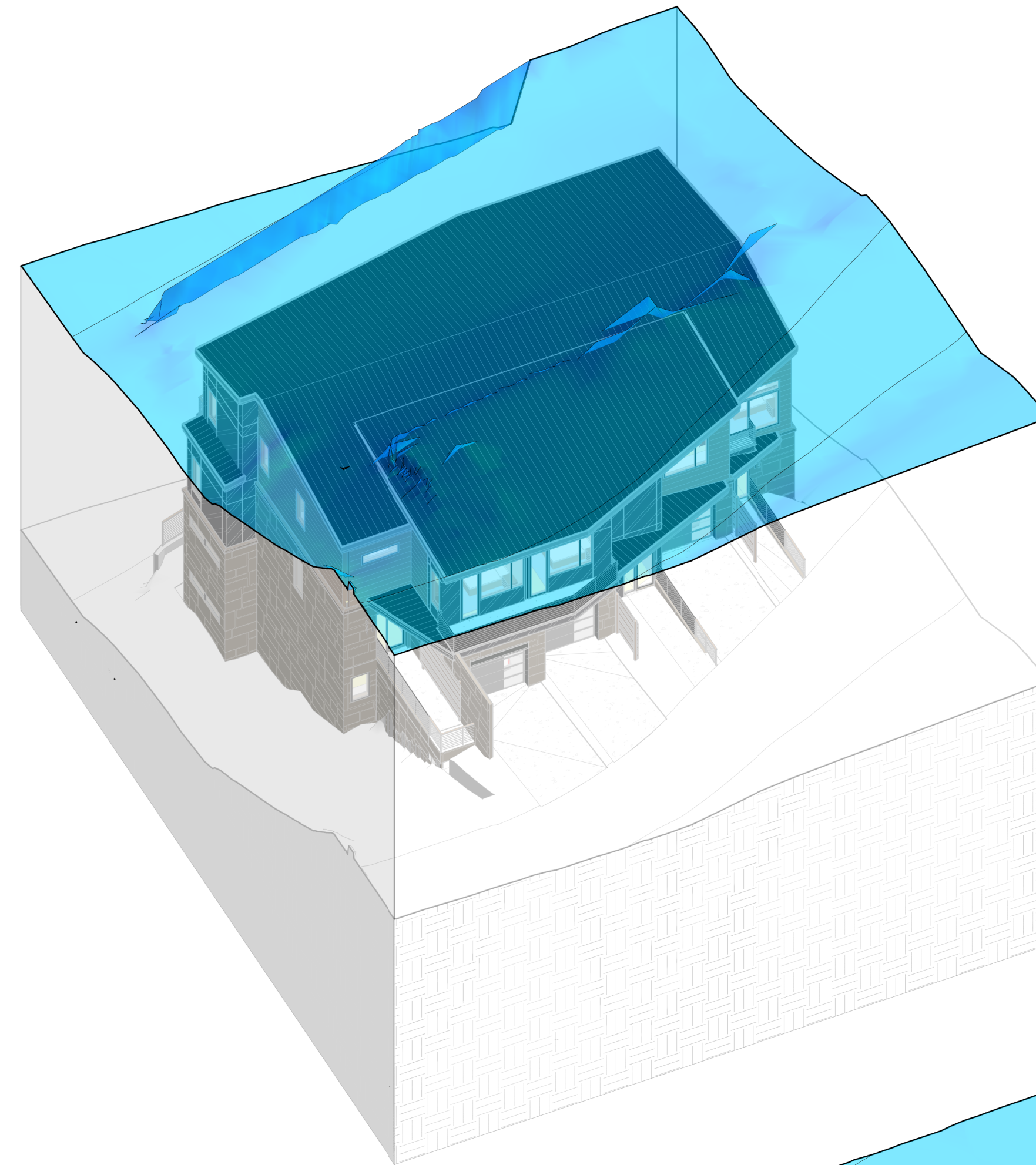
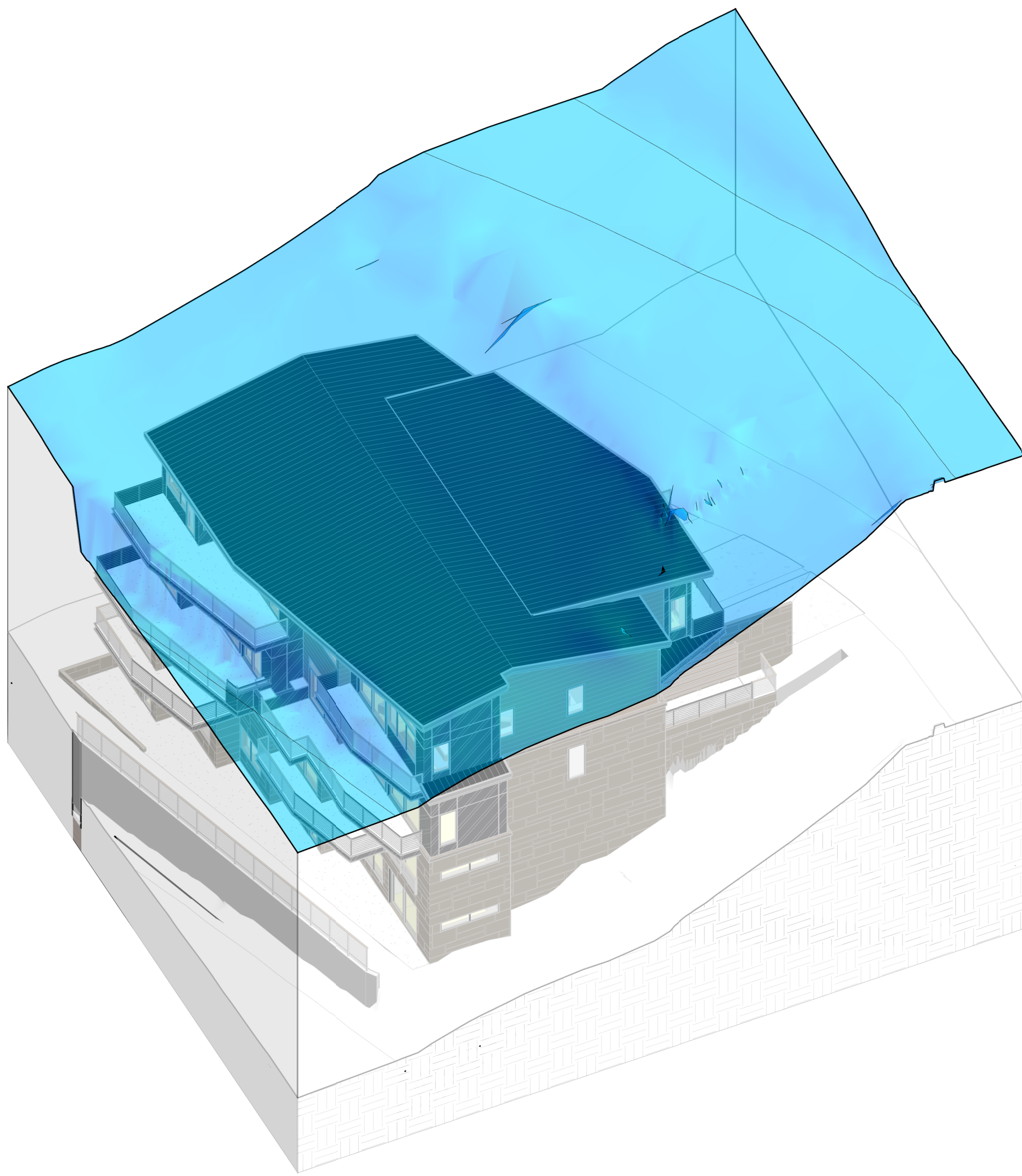
PROJECT NUMBER 24162  
ISSUE DATE 08/20/2024

ISSUE  
**DRB PACKAGE**

SHEET TITLE  
**BUILDING HEIGHT  
REVIEW - EXISTING  
GRADING**

SHEET NO.  
**A9.00**





TOWN STAMP

**359**  
DESIGN

3435 RANGERS CT SUITE 201  
DENVER, CO 80216  
720.332.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

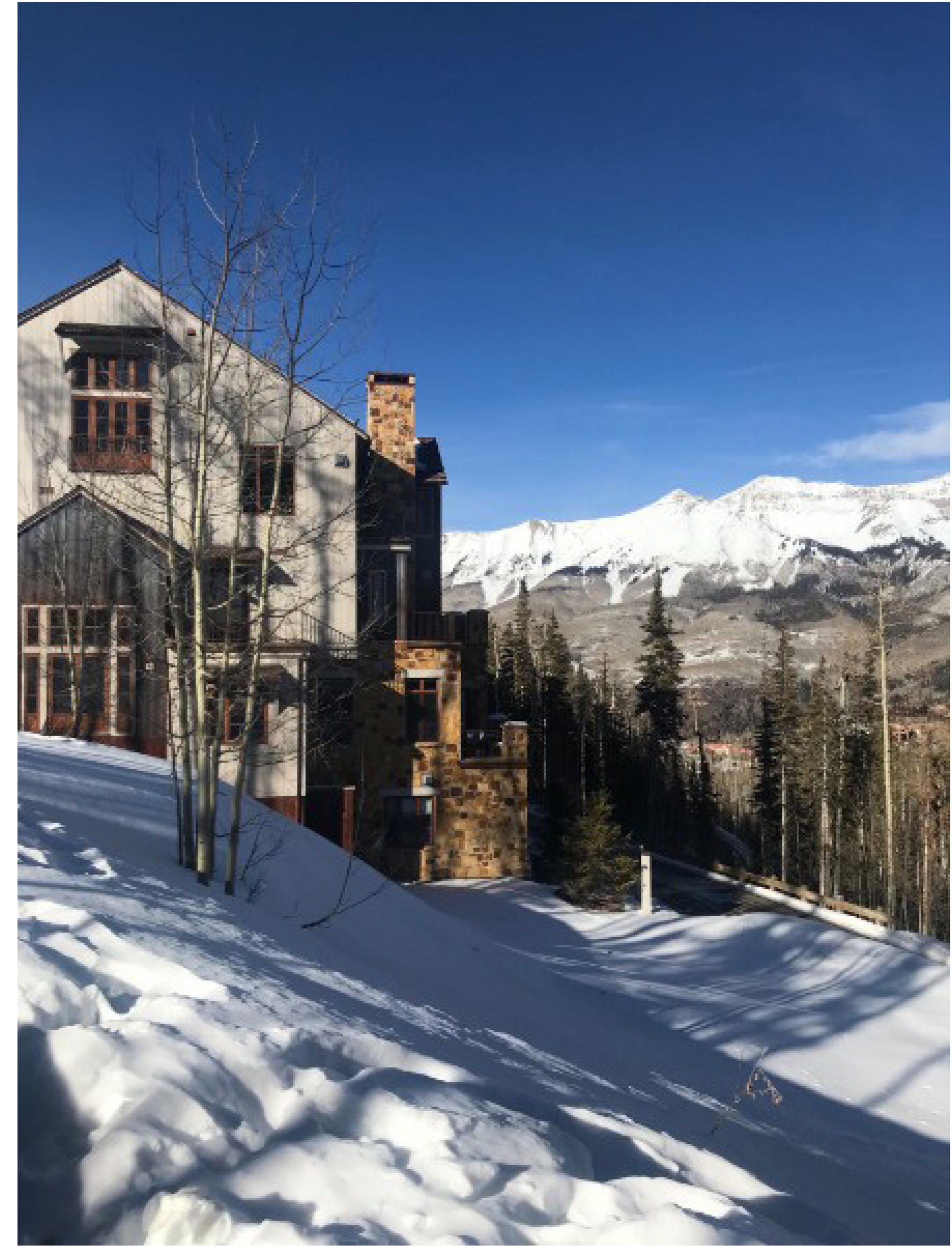
PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**

SHEET TITLE: **BUILDING HEIGHT REVIEW - PROPOSED GRADING**

SHEET NO.: **A9.01**





TOWN STAMP

**359**  
DESIGN

3435 RIMROCK CT SUITE 201  
DENVER, CO 80216  
720.332.3437



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

PROJECT NUMBER: 24102  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**

SHEET TITLE: **SITE PHOTOS**

SHEET NO.: **A9.10**





TOWN STAMP

**359**  
DESIGN

3415 RANGERS CT SUITE 201  
DENVER, CO 80216  
720.332.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**

SHEET TITLE: **PERSPECTIVE VIEWS**

SHEET NO: **A9.20**





TOWN STAMP

**359**  
DESIGN

3415 RANGERS CT SUITE 201  
DENVER, CO 80216  
720.332.3457



**LOT 165 CORTINA DRIVE**  
Mountain Village, CO

REVISIONS

No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

ISSUE: **DRB PACKAGE**

SHEET TITLE: **PERSPECTIVE VIEWS**

SHEET NO:

**A9.21**



REVISIONS		
No.	Description	Date

PROJECT NUMBER: 24162  
ISSUE DATE: 08/20/2024

DRB PACKAGE

SURVEY

SHEET NO.

**C0.01**

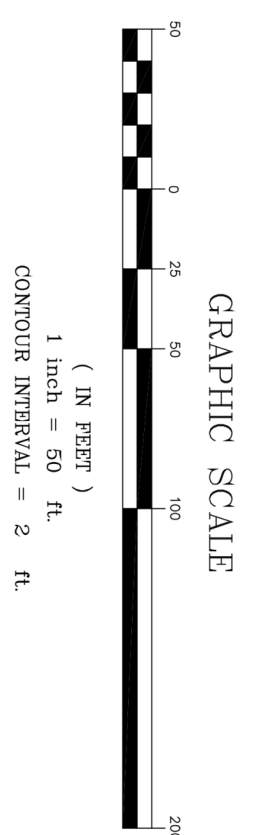
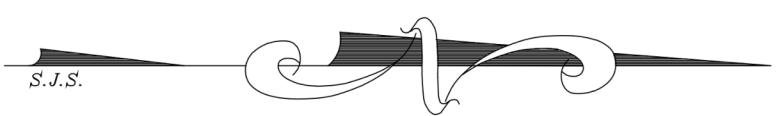
I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Lot 165 was made by me and under my direct supervision, responsibility and checking. This survey was made on or about 08/15/2024 and is a true and correct representation of the ground as surveyed. This Improvement Survey is filed as defined by Title 38, Article 51, C.R.S.



Christopher R. Kennedy, P.L.S. 36577

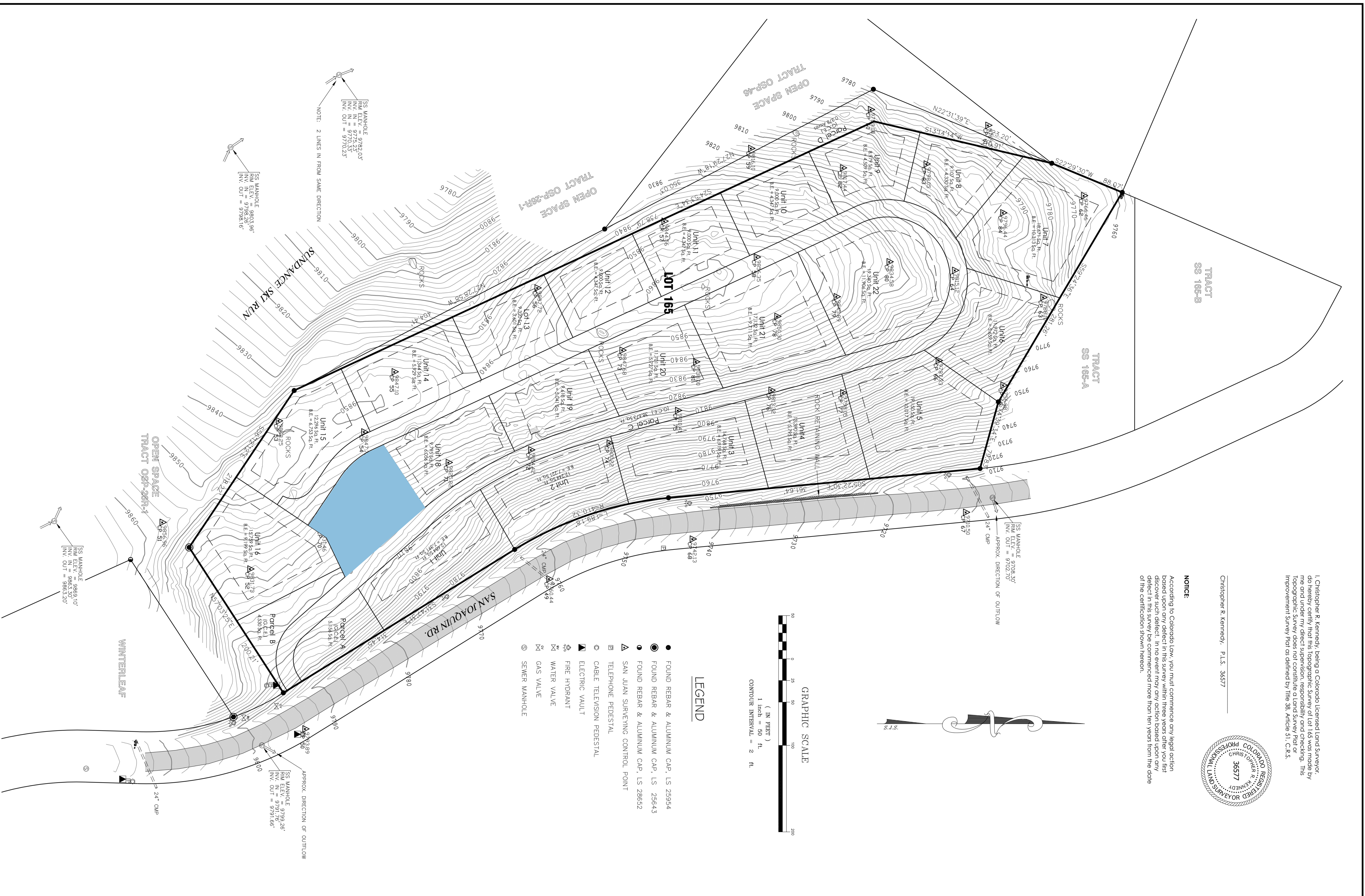
**NOTICE**

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first receive this survey. If you do not receive this survey within three years after the date of the certification shown hereon, you must commence any legal action based upon any defect in this survey within ten years from the date of the certification shown hereon.



**LEGEND**

- FOUND REBAR & ALUMINUM CAP, LS 25954
- FOUND REBAR & ALUMINUM CAP, LS 25643
- FOUND REBAR & ALUMINUM CAP, LS 28652
- ▲ SAN JUAN SURVEYING CONTROL POINT
- ⊙ TELEPHONE PEDESTAL
- ⊙ CABLE TELEVISION PEDESTAL
- ▲ ELECTRIC VAULT
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ SEWER MANHOLE



MANHOLE  
INV. IN = 9720.07  
INV. OUT = 9720.23

MANHOLE  
INV. IN = 9726.26  
INV. OUT = 9726.16

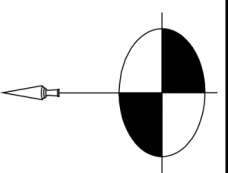
MANHOLE  
INV. IN = 9863.37  
INV. OUT = 9863.27

MANHOLE  
INV. IN = 9793.26  
INV. OUT = 9793.66

MANHOLE  
INV. IN = 9793.66  
INV. OUT = 9793.66

NOTE: 2 LINES IN FROM SAME DIRECTION

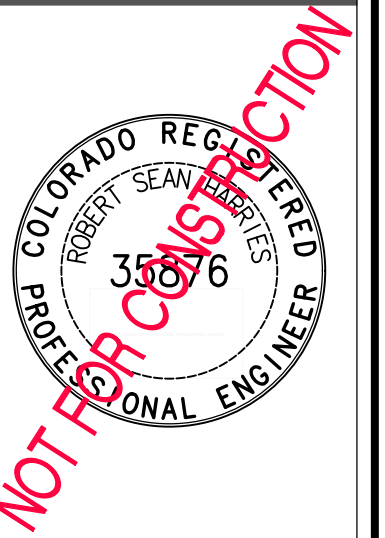
**CORTINA LAND CONDOMINIUMS WITH TOPO  
TOWN OF MOUNTAIN VILLAGE, COLORADO**



**SAN JUAN SURVEYING INC.**  
SURVEYING \* PLANNING  
1800 SPOCETT DRIVE FELLAND, CO. 81435  
(970) 728-1128 (970) 728-9202 fax  
SJS@TELLURIDECOLORADO.NET

DATE: 3/23/05  
JOB: 04028  
DRAWN BY: JML  
CHECKED BY: CRK  
DIVISION: SURVEYING  
SHEET: 1 OF 1





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**LOT 165 CORTINA DRIVE**

MOUNTAIN VILLAGE, CO

Issue Record:  
DRB PACKAGE 08-20-2024

Revisions:

Project Number: 24-142

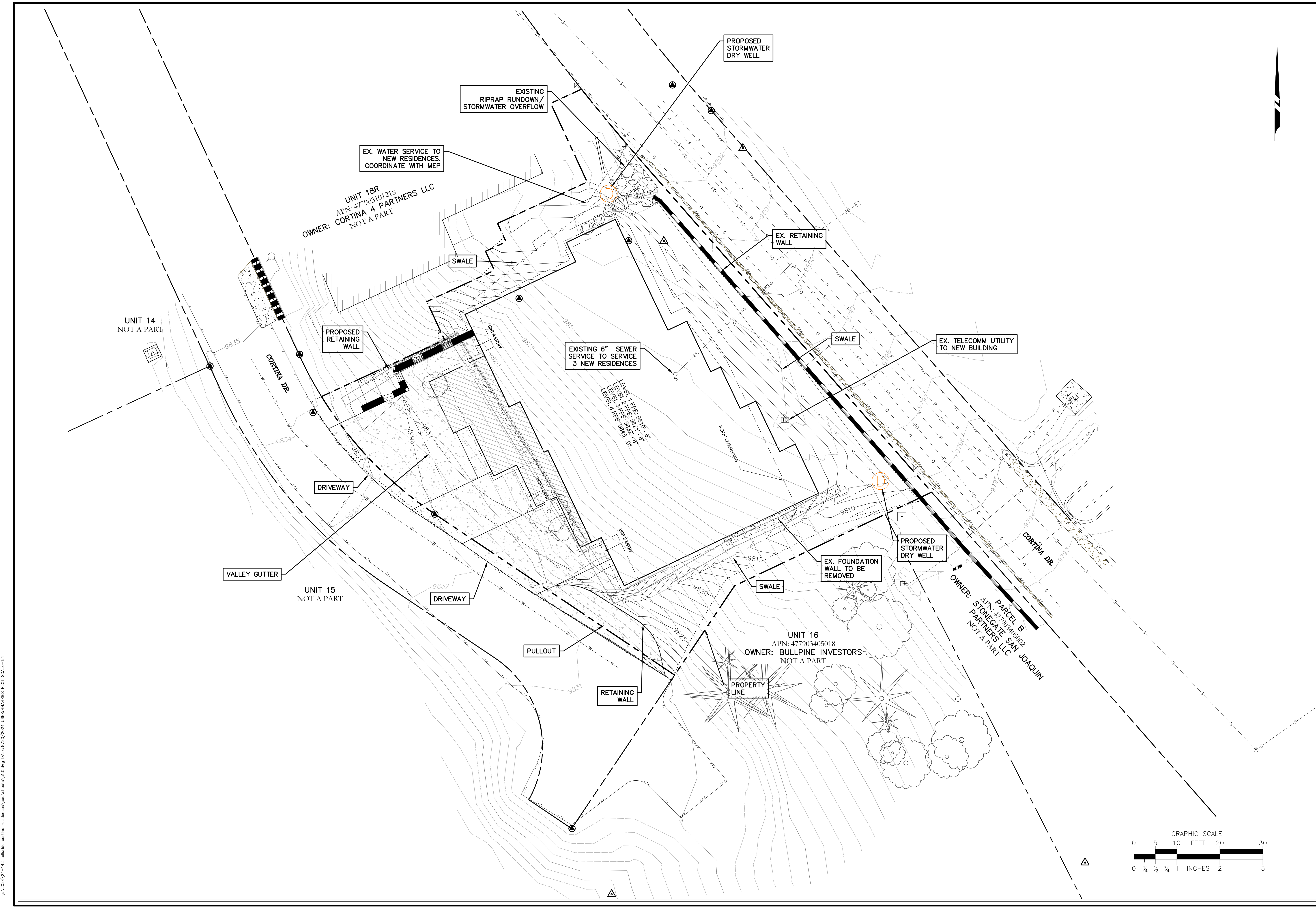
Designed by: KHK

Checked By: RSH

Sheet

**C1.0**

CIVIL PLAN



p:\2024\24-142\_telluride\_cortina\_residences\civil\plans\c1.dwg DATE: 8/20/2024 USER: RHARRIS PLOT SCALE=1:1