# Unit 1, The Ridge at Telluride Initial Architecture and Site Review



September 30, 2024







#### **Site Context**

Hot Dog House Telluride, LLC ("Owner") is the owner of Unit 1, the Ridge at Telluride as platted under the 8th Supplemented and Amended Planned Community Plat of The Ridge at Telluride as recorded at Reception Number 458069 that has an assigned address of 3 Coonskin Ridge Lane ("Property" or "Current Site"). The Property contains 0.508 acres and is located on Lot 161A-R2 that also contains 0.508 acres. Unit 1 is the only condominium at The Ridge that is located on its own lot. Unit 1 is located in the Multi-family Zone District. The Property is currently vacant, and the Owner proposes to build a 14,231.9 sq. ft. single-family dwelling as a detached condominium. Unit 1 was originally allowed to have four condominium units and was downzoned to allow just one detached condominium dwelling unit under Ordinance No. 2019-0221-01.

The Property is located on the northeast side of The Ridge Subdivision to the north of The Ridge Club Building and east of Coonskin Ridge Lane as shown in Figure 1. The Property has a high USGS elevation of 10560 in the northwest corner and a low elevation of 10520 in the southeast corner for an overall elevation gain of 40 feet with a slope of approximately 31%. The slopes over 30% are located on the south side of the Property and appear to be associated with grading for The Ridge Development including grading for Coonskin Ridge Lane. The Property is vegetated with aspen and coniferous trees.

**Project Geography + Zoning Requirements** 

	Existing/Requirement	Proposed (Approx.)
Unit Size		
Floor Area (Gross)	No Maximum Size	14,231.9 sq. ft.
Zone District	Multi-Family	Multi-family
Maximum Building Height	45' per CDC Section 17.5.16(B)(3) and Per County Stipulated Settlement Order at Reception No. 329093 or the maximum height allowed pursuant to the Coonskin View Plane.	33.5' (11.5 feet lower than allowed that minimizes visual impacts)
Maximum Average Building Height	30' Per County Stipulated Settlement Order at Reception No. 329093.	22.02' (7.98 feet lower than allowed)
Lot Coverage	CDC Lot Coverage is Not Applicable to Condominium Units at The Ridge	Not Applicable to The Ridge ("N/A")
Setbacks	Not Applicable to The Ridge	N/A
Parking	Up to Two Golf Cart Parking Spaces	1 golf cart spaces in garage

#### **Concurrent Development Applications**

The Property owner proposes to concurrently relocate the Unit 1 boundary as shown in Figure 2 ("**Proposed Site**"). The Owner's development team proposed the boundary shift to relocate Coonskin Ridge Lane out of the Current Site due to insurance agency concerns on liability to the Property owner if the lane remained on the Property; accommodate a future site for a planned community elevator that provides owner and guest pedestrian access to the planned and zoned cabins on Lot 161A-R3 and to the Proposed Site; and to prevent a canyon affect along Coonskin Ridge Lane that would have been caused by the home and associated retaining walls being located closer to the lane combined with the planned cabins units on Lot 161A-R3.

The Unit 1 boundary relocation requires a Minor Subdivision application because it is adjusting lot lines with Tract OS161-R3 and a concurrent Staff Subdivision to amend the condominium map for the Property. The Minor Subdivision application proposes to relocate the Unit 1 boundary and create a new lot for the future elevator building and associated connection to The Ridge Club Building. This subdivision's elevator lot Page 1



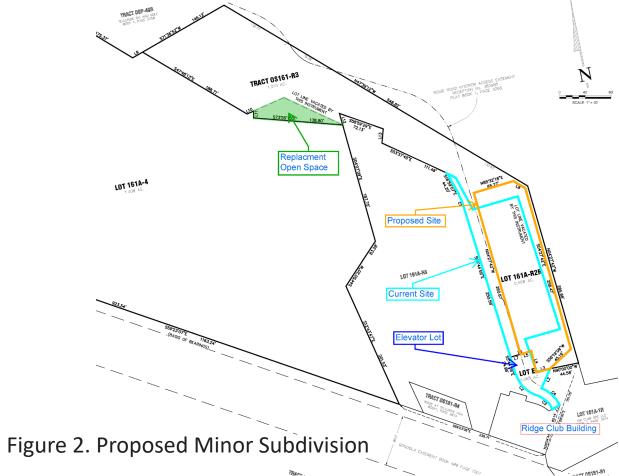
Figure 1. The Site

would have resulted in a reduction of the land area in Tract OS161-R3 that is located in the Full Use Active Open Space Zone District; however, replacement open space has been provided from Lot 161A-4 to ensure that there is no net loss of open space as required by Community Development Code Section 17.3.10. The proposed Minor Subdivision is shown in Figure 2. The proposed boundary and lot shift also necessitates a concurrent rezoning application to ensure all of relocated Unit 1 is located in the Multi-family Zone District and also ensure there is no net loss of Full Use Active Open Space. Please refer to the rezoning application and narrative for details on the rezoning.

The following is a list of required applications for the development of Unit 1:

- 1. Rezoning Process DRB Recommendation and Town Council approval (Please refer to application)
- 2. Design Review Process Initial Architectural and Site Review + Final Review by the DRB.
- 3. Variance Process for the Inaccurate Coonskin Viewplane DRB Recommendation and Council Approval Per Variance Process Application
- 4. Minor Subdivision Process Town Council Approval
- 5. Staff Subdivision Process Administrative Staff Approval

Development within the Property is regulated by the Development Agreement for The Ridge at Telluride as recorded at Reception Number 365622 ("**Development Agreement**") and the Mountain Village Community Development Code ("**CDC**").



#### The Ridge at Telluride Development Agreement

The Development Agreement has several requirements that are applicable to Unit 1 which are discussed further below, with our design responses shown in *blue italics*.

Section 3.2.3 DRB review and approval and San Miguel County and Town of Telluride review pursuant to the Ridge Covenant. The First Amended and Restated Development Covenant as recorded at Reception Number 329093 ("Ridge Covenant") was created and executed to ensure that development and associated lighting within The Ridge would not be visible from Telluride and certain locations along the Valley Floor. The Ridge Covenant also states:

"...under no circumstances shall any lighting or any part of any structure extend into the view plane (the "View Plane") shown on the Coonskin View Plane drawing prepared by Jacobsen Associates and dated July 21, 1999, as recorded in the office of the San Miguel County, Colorado, Clerk and Recorder in Plat Book 1 at Page 2601"

This Ridge Covenant requirement was codified into the CDC in Section 17.5.16.B.3 and 17.5.16.B.4 as follows:

- "3. Building height on other ridge area lots shall not exceed the lesser of:
- a. The height of forty-five feet (45'); or
- b. The maximum height allowed to the view plane limitation set forth in section 4 below.
- 4. Except for the existing building on Lot 161A-1R and gondola facilities, the development of ridgeline area lots shall be designed to ensure that no lighting or any part of any building or structure extends into the view plane as shown on the Coonskin View Plane drawing recorded at reception number 328113."

The Unit 1 boundary relocation and associated home design has been evaluated per the View Plane analysis as shown on Sheet A0.20 and in the View Angle Study prepared by San Juan Surveying shown on Sheet 11 or 44 in the plan set. The View Angle Study shows that the proposed home will project into the View Plane; however, the View Plane is not an accurate analysis per the surveyor who prepared and signed the View Plane survey as documented in the concurrent Variance Process application narrative. The Owner is therefore seeking a Variance Process to CDC Sections 17.5.16.B.1, 17.5.16.B.3 and 17.5.16.B.4. The View Angle Study combined with the Luminosity Lighting Study included as Exhibit A show that the proposed home and associated lighting will not be visible from the required locations.

Story poles will be set for the home with lighting pursuant to the Ridge Covenant so that San Miguel County, Telluride and Mountain Village planning departments' staff can conduct day and nighttime observations to ensure the proposed building and lighting on the Proposed Site are not visible. The Mountain Village DRB will also be informed of the story pole and lighting placement date and times if individual members want to see if the story poles or lighting are visible. We are also respectfully requesting a scheduled and noticed DRB site visit to the Property prior to the DRB hearing to view the story poles, home location and geographic setting.

**Section 3.2.6 Required Golf Cart Access.** The Development Agreement states: "Access on all roads, access tracts and driveways within the Project is restricted to golf carts." *The Owner has designed golf cart access to the home from Coonskin Ridge Lane as shown in the plan set.* 

**Section 3.2.7 Maximum Number of Golf Carts.** The Development Agreement states: "Each Unit is allowed to have a maximum of two golf carts." *Sheet A2.03a shows parking for one golf cart.* 

**Section 3.2.10 Trash Compactor Required.** The Development Agreement requires all units to have a trash compactor to facilitate the efficient removal of trash from The Ridge. *A trash compactor will be designed into the kitchen area prior to submitting for the Final Review.* 

**3.2.11 Landscaping Buffers.** The Development Agreement and Property plat requires the provision of a landscaping buffer to the adjoining ski run. *There is no adjoining ski run to Unit 1.* 

**Section 3.2.12 Tree Removal.** The Development Agreement requires that the Town must approve tree removal which is consistent with the CDC Fire Mitigation and Forestry Management Regulations. *The landscaping plan on Sheets 17-19 of 44 documents the proposed tree removal and fire mitigation plan.* 

**Section 3.2.13 Landscaping Installation.** The Development Agreement requires the Owners to be responsible for installing and maintaining landscaping as required for the Landscape Buffer Area and as may be required by the CDC Landscaping Regulations. The Owners will install and maintain the landscaping as shown on the landscaping plan. There are no Landscape Buffer Areas on the Property or the relocated Unit 1 boundary.

**3.2.13 + 3.2.14 Tree Protection and Utility Routing.** The Development Agreement states: "In order to protect trees the possibility exists that the DRB may not allow utilities servicing a Unit to be installed along the shortest route from the main utility lines to the Unit." A utility plan is included in the civil plan set that shows no additional trees will need to be removed other than those indicated for removal on the landscaping plan.

#### **Design Regulation Compliance**

Mountain Village Design Theme. The proposed design meets the Mountain Village Design Theme in CDC Section 17.5.4 because the home has been sited and designed in consideration of golf cart, pedestrian and future elevator access; views; solar gain; and visual impacts to the design context of The Ridge. The home is designed within The Ridge community as a simple, stepped form with flat roofs that blends with the natural topography and surrounding landscape. The proposed building height is 11.5 feet less than allowed and the average height is almost 8 feet less than allowed which demonstrates the design team's efforts to create a low-profile home that minimizes visual impacts. The home is also designed with a stone grounded base and

Page 3 Page 4

durable exterior materials to withstand the extreme alpine conditions at The Ridge. The proposed home is designed with natural and sustainable materials and colors that blend with the natural surroundings.

**Building Siting Design.** The proposed design is consistent with the Building Siting standards in CDC Section 17.5.5, with the home blending into the existing landscape and topographic setting. The proposed building is sited based on site considerations that include the existing Ridge Club Building, the location of the future elevator and pedestrian connection to the Ridge Club Building; the location of the geographic ridge; locating the proposed home away from Coonskin Ridge Lane to avoid creating a canyon affect along the path; and to have the lane be located on The Ridge at Telluride Homeowners Association ("**Association**") property.

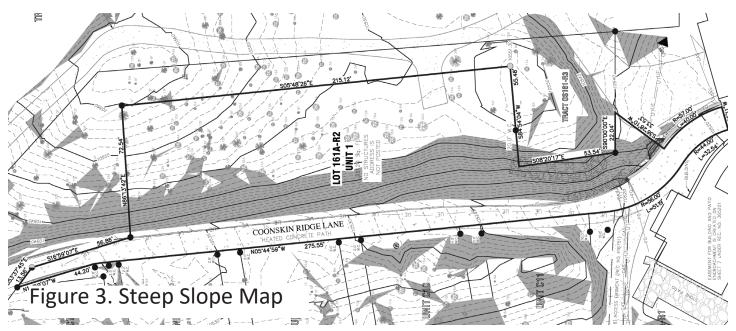
Building Design. The home is designed consistent with the Building Design standards in CDC Section 17.5.6. The home is designed with a stone base and massing substantially grounded to the Property that will withstand high alpine conditions. The overall building form is a simple rectangular design with flat roof forms that step with the surrounding topography. The roof is designed with a composition three flat forms and substantial eaves that emphasize varied ridgelines and vertical offsets. Flat roof forms are also the best option when dealing with snow, as the roofs will hold the snow and there is no risk of snow fall onto pedestrian areas. The proposed pavers on pedestals flat roof system provides a durable roof material that will withstand the high alpine climate conditions (Please refer to Design Variation section). The roof eaves and fascia are responsive and proportional to the design of the building. The proposed chimneys provide the required chimney cap. Exterior materials are provided consistent with the Design Regulations as presented in this narrative. The exterior materials are compatible with surrounding development at The Ridge. The proposed stone material is a white/cream color reflecting the surrounding aspen bark while the stone on landscape/retaining walls is a local gray stone reflecting the more common stone colors in the area as shown on Sheet A3.10. Windows are designed to be consistent in proportion and detail, with the window glazing at 29.2% of the overall facade area. Windows in stone will be setback 5" as shown in the cross section on Sheet A8.01. The design includes the following exterior materials consistent with CDC Section 17.5.6:

Exterior Material	Area	Percent
Wood	2,379.6 sq. ft.	21.6%
Stone	4042.4 sq. ft.	36.7%
Metal Accent Material	1,389.6 sq. ft.	12.6%
Fenestration/Glazing	3,213.5 sq. ft.	29.2%
Total	11,025.1 sq. ft.	

**Grading Design.** Grading has been designed to relate to and blend into the surrounding topographic landscape.

Parking Regulations. The Town, TMVOA, CO Lot 161C-R, LLC, and owners at The Ridge entered into a settlement agreement in 2019 that released several old parking and land use agreement in exchange for deeded parking spaces for The Ridge on Lot 161C-R in the Village Center. Most units at The Ridge were allocated one parking space on Lot 161C-R with an allowance to enter into a Reservation Agreement and escrow \$60,000 for a parking space by a set date, or to purchase a space based on construction costs at a later date. The Unit 1 Owner received an assignment of a Reservation and Escrow Agreement from the prior Property owner that has an escrow deposited in the amount of \$60,000 for a deeded parking space dated May 3, 2023 and recorded at Reception Number 480862 per the parking settlement agreement. Unit 1 will park on the temporary surface parking lot north of Station Telluride on Lot 161C-R until the completion of the Four Seasons project when a deeded garage parking space will be provided.

Lot Coverage - The Development Agreement for The Ridge does not establish any lot coverage requirements that were adopted by the Town in 2013 and after the approval of The Ridge development and the associated Development Agreement. Therefore, the CDC maximum lot coverage limits set forth in CDC Section 17.3.13 do not apply to The Ridge since the Development Agreement and development plan are based on



building envelopes that are now platted as condominium units. The Ridge concept is to locate buildings and driplines within the condominium units that are surrounded by open space. Town staff indicated that lot coverage should apply to the Property because Unit 1 and Lot 161A-R2 have the same boundary. Unit 1 is a condominium unit that allows for a detached condominium that should be treated the same as other condo units at The Ridge, especially since the Town approval of the downzoning from 4 units to 1 condo unit did not have any conditions stipulating a different lot coverage. That said, the design of the home within Unit 1 has a lot coverage of 64% that is in line with the lot coverage for normal platted lots without land condominium units.

**Setbacks.** The Development Agreement for The Ridge as well as all plats for The Ridge do not require or establish any General Easement or setback requirements. The Ridge is platted as condominium units with development allowed to extend to each unit boundary. Therefore, the provisions of CDC Section 17.3.14 are not applicable to The Ridge.

#### Lighting

The lighting plan will be submitted for approval during Final Review consistent with the Design Review Process submittal requirements. The Owner commissioned the Luminosity Lighting Study included as Exhibit A to ensure that there are no lighting impacts due to relocating the Unit 1 to the Proposed Site.

#### **Sites Adjacent to Open Space**

CDC Section 17.5.5(D) states that: "Prior to the review authority approving the development of a site that proposes grading, clearing, direct drainage, direct access or other direct impact (as solely determined by the review authority) onto an adjoining open space, the applicant shall submit the proposed improvements on the open space to the owner of the affected open space for review and approval." The proposed plans have been submitted to the Association for review and approval due to the proposed Minor Subdivision, Staff Subdivision and Rezoning Process applications that involve land owned by the Association, and some of the proposed improvements shown on the Design Review Process plans are located on Association land. We will also be submitting the plans to TSG Ski and Golf, LLC to relocate the service road that encroaches onto the proposed Unit 1 boundary as shown.

#### **Steep Slope Regulations**

The Property has a linear area of steep slopes that are greater than 30% as shown on the survey and Figure 3. It appears that the steep slope areas were caused by grading for The Ridge development and Coonskin Ridge Lane. Section 17.6.1(C)(2)(a) of the Community Development Code ("CDC") states that:

"Building and development shall be located off slopes that are thirty percent (30%) or greater to the extent practical.

i. In evaluating practicable alternatives, the Town recognizes that is may be necessary to permit disturbance of slopes that are 30% or greater on a lot to allow access to key viewsheds, avoid other environmental issues, buffer development and similar site-specific design considerations."

The development of the Property necessitates disturbance of man-made steep slopes that are 30% or greater because they encompass a large portion of the Property; the Proposed Site must be moved away from Coonskin Ridge Lane to convey the lane to the Association; an elevator lot must be created; and the home should be moved to the east of Coonskin Ridge Lane to avoid creating a canyon affect along the lane. There is no way to avoid the man-made steep slope areas in Property or the Proposed Site.

#### CDC Section 17.6.1(C)(2)(c) states:

"The review authority shall only allow for disturbance to slopes thirty percent (30%) or greater if it is demonstrated that there is not a practicable alternative to avoiding such activities and if the following criteria are met:

- i. The proposed steep slope disturbance is in general conformance with the Comprehensive Plan; The proposed home is in general conformance with the Mountain Village Comprehensive Plan because it envisions the Property and OS161-R3 in the Multi-family Zone District.
- ii. The proposed disturbance is minimized to the extent practical. The steep slopes appear to be man-made and there is no way to minimize disturbing such slopes in a 0.508 building envelope where you have to access a home and design a home that steps up the hillside within the unit boundaries. Extensive landscaping and retaining walls with landscaping planters to soften their appearance are provided to minimize development of steep slope areas.
- iii. A Colorado professional engineer or geologist has provided: (a) A soils report or, for a subdivision, a geologic report. A geotech report has been prepared for the Property.
- (b) An engineered civil plan for the lot, including grading and drainage plans. *Grading and drainage plans have been prepared by a Colorado Professional Engineer.*

iv. And the proposal provides mitigation for the steep slope development in accordance with the engineered plans." Mitigation of steep slope development is provided on the engineered grading and drainage plan, with a detailed erosion control plan to be submitted with the required building permit application.

#### **CDC Design Variations**

#### **Roofing Material Design Variation**

CDC Section 17.5.6.C.1.a states:

"The roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines and vertical offsets."

CDC Section 17.5.6.C.3.c does not list concrete pavers over a membrane roof as permitted roof materials.

We are seeking design variations to these CDC sections to not have sloped planes and allow for the proposed flat roof forms, and also to have a membrane roof system covered by concrete pavers for the flat roof form.

CDC Section 17.4.11.E.5.f establishes the following criteria for a design variation, with our compliance comments shown in blue text:

- i. The design variation may contrast with the design context of the surrounding area. The flat roof forms will contrast with the surrounding area homes at The Ridge that have traditionally included gable roof forms. The allowance for flat roof, modern forms in Mountain Village is well established in the community. The flat roof form is a reflection of the Owner's desire to have a mountain modern building design that is characterized by the flat roof forms, large eaves and large glass areas to capture the sun and views. Flat roof forms also better follow the mountain topography and minimize visual impacts by creating a low-profile home.
- ii. The design variation is contextually compatible with the Town design theme although creativity is encouraged. The design variation is contextually compatible with the Town Design Theme and The Ridge because the flat roof forms are lower in building height and are less visible than shed or gable roof forms. The proposed roofing material will not be visible to surrounding properties because Unit 1 is located at the highest elevation on the east side of The Ridge, with no homes above the Property. Flat roof forms are commonly approved by the DRB in the community along with mountain modern designs. Thus, flat roof forms are contextually compatible with development in the town and The Ridge. While The Ridge Association does not have a formal design review process, the Association has reviewed the plans and supports the design as presented by the Owner and its team. The proposed concrete pavers represent an evolution in ballasted roof materials for high elevation areas that are designed to capture and hold the anticipated snow load.
- iii. The design variation is consistent with purpose and intent of the Design Regulations. The proposed concrete paver roof will not be visible from surrounding homes due to the proposed flat roof design and the location of the Proposed Site relative to surrounding condominium units. The overall home has been designed in accordance with the Design Regulations and the Town Design Theme.
- iv. The design variation does not have an unreasonable negative impact on the surrounding neighborhood. The proposed concrete paver roof will be hidden from public view due to the low profile of the roof and the location of the Proposed Site so there will not be any unreasonable impacts on the surrounding neighborhood.
- v. The design variation meets all applicable Town regulations and standards. The proposed concrete paver roofing meets other applicable Town regulations.
- vi. The design variation supports a design interpretation that embraces nature, recalls the past, interprets our current times, and moves us into the future. Concrete paver roofing is a heavy duty and durable ballast material that provides for home protection. This design interpretation embraces nature by its natural earth tone, recalls a high alpine past of heavy-duty building materials and interprets current time and moves the Town into the future by using a modern concrete paver to ballast the membrane roof system below.





July 19, 2024

Amy Ward Community Development Director 455 Mtn Vlg Blvd, Ste A Mountain Village, CO 81435

Subject: Ridge Lot 1 | Lighting Study

Dear Ms. Ward:

After potential concerns of visibility for the Lot 1 Ridge project were expressed, the design team proposed a lighting study that would go well beyond anticipated light levels and luminances to review visibility from locations within Mountain Village, Telluride, and the valley floor. In an attempt to alleviate the concerns of the DRB, this study used sources in direct view (bare bulbs) with light emanating in all directions. The final lighting design will meet Title 17.5.12 Lighting Regulations within the Mountain Village Municipal Code, where no visibility of light sources will occur, combined with an IDA (<a href="DarkSky International">DarkSky International</a>) approach, focusing all lighting downward, at low levels to minimize any light pollution.

#### LIGHTING STUDY

To ensure all roof planes and building facades of the proposed house were accounted for, story poles (Fig. 1) were installed at all corners of each roof at their proposed height, while lengths of construction lighting were installed at the top edge of proposed glazing, defining the entire wall perimeter.

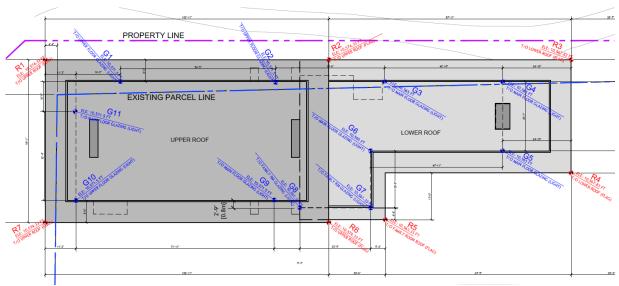


Figure 1: Site Plan - Story Pole + Light String Locations



Figure 2: Story Pole + Light String Locations

Typically, approved downlights under MV Municipal Code 17.5.12(F) for exterior lighting applications have a maximum light output of 850 lumens, which is typically recessed into the ceiling and *completely* out of view. For this study, a bare bulb emitting 800 lumens (Fig. 2) was used to ensure any visibility could be picked up while photographing from each view point (Fig. 3).



Figure 3: View Points - 1) Town Park Bra 2) Clark's Market 3) Shell Gas Station 4) Hillside 5) Village Market 6) Touchdown Dr 7) Lot 1

Since we wanted to review several viewpoints, we started photographing promptly at sunset, and then returned to each spot after dark. The first image provides perspective (28 mm), and the zoomed (300 mm) images zero in on any lighting of concern near Lot 1 and the adjacent Gondola Station.

#### TOWN PARK







Town park had no visibility of any lighting until complete darkness. Once we went back to town park, we photographed and videoed the bright source at the top of the hill. After review, it was apparent the source was coming from the Gondola Station, with a repetitive frequency as a gondola would come in or out blocking the light. We recommend that we work with Telluride Ski Resort to shield those sources and eliminate any view from Telluride and Mountain Village. See images below.

#### **GONDOLA STATION**









After review from both sides of the Gondola Station from Telluride Town Park and Mountain Village, it would be worthwhile to install louvers to maintain the light levels within the station, but eliminate the view of the actual LED bulbs/linear sources from MV / Telluride.

#### CLARK'S MARKET







No illumination was visible at either time, of Lot 1 or the Gondola Station.

#### SHELL GAS STATION



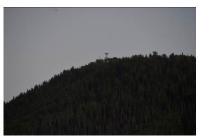




No illumination was visible at either time, of Lot 1 or the Gondola Station.

#### HILLSIDE







No illumination was visible at either time, of Lot 1 or the Gondola Station.

#### HILLSIDE I SEE FOREVER



After photographing Lot 1, we panned down the ridge to show the lighting from See Forever. Several buildings / windows / lights were visible.

#### VILLAGE MARKET







One of most prominent locations in Mountain Village is the Village Market. This location draws numerous people from around the region because of the gondola, public parking, market, etc. In addition, it raises above other hotels and homes in the surrounding area, which creates a direct line of sight to Lot 1. After sunset, no Lot 1 illumination was visible. After dark, only the Gondola Station where gondolas enter/exit was visible (300 mm lens).

#### TOUCHDOWN DR



After driving up San Joaquin Road and Benchmark Drive, we were not able to find any visibility of the Lot 1 property after dark. We continued, thinking at the top of Touchdown Drive, there may be an open area (near Lower Galloping Goose ski run) that comes out of the trees and may have a view point. The Peaks Resort dominated the view, with the catenary lighting below Altezza as the brightest source, then the illuminated rooms, as you can see glowing in the image above. In

addition, the Gondola Station opening was visible, but trees dampened the light levels significantly. Finally, from this high perch, all that was visible of the Lot 1 site, was a very subtle glow. This can likely be contributed to the bare bulbs used for the study that radiate light in all directions. At this location there is one house wrapping up construction, and others surrounding are situated in the trees which should minimize any view of the Lot 1 site.

#### **SUMMARY**

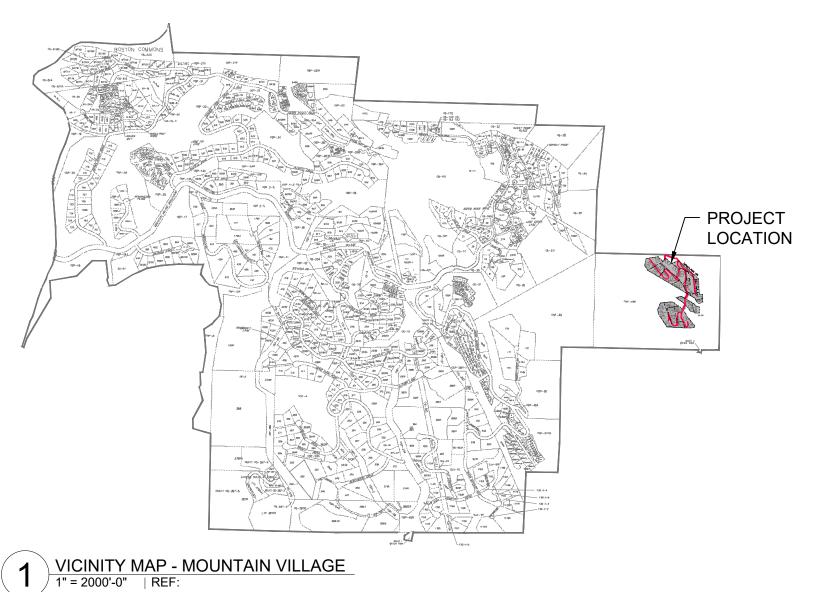
After spending several hours that evening looking for views of Lot 1, while using a high resolution Nikon D810 DSLR camera with a 28-300 mm lens, we were excited to see how the project nestles down into the site and the surrounding trees conceal the view of the future home. For adjacent properties on the southern side, as they get purchased and then built upon, homes will continue to obstruct the views of Lot 1 that trees currently help to conceal on the Mountain Village side, and the dense forest on the northern side will remain intact. In addition, the design team aims to create a subdued exterior and interior environment, to blend into the landscape, which we hope to review with the Mountain Village DRB in the near future.

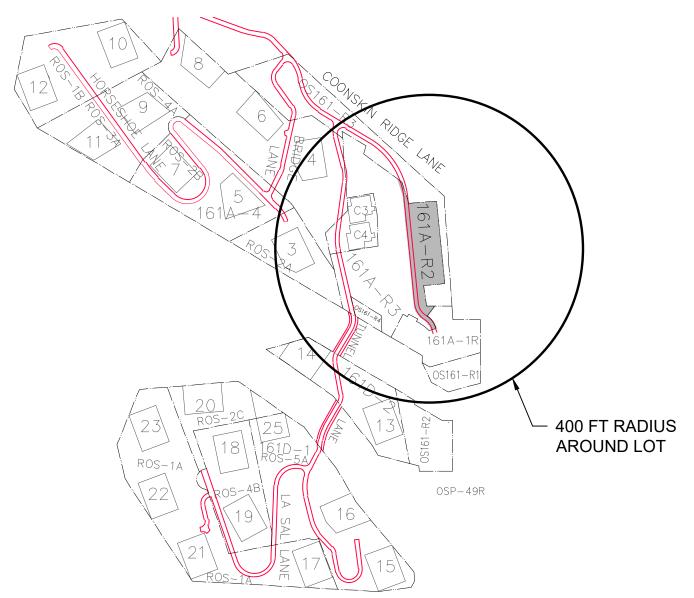
Sincerely,

Craig Spring, IALD, IES, LC, LEED AP

Principal







# VICINITY MAP - RIDGE AREA 1" = 250'-0" | REF:

#### DRAWING LIST

A0.00 COVER SHEET
A0.01 DATA & SITE PHOTOS

A0.10 RENDERS
A0.11 RENDERS
A0.12 RENDERS

ARCHITECTURAL CALCULATIONS

A0.20 COONSKIN VIEWPLANE STUDY
A0.21 MATERIAL CALCULATIONS
A0.22 AVERAGE BUILDING HEIGHT CALCULATIONS
SITE COVERAGE CALCULATIONS

SURVEY

S1 SURVEY - TOPOGRAPHIC SURVEY (EXISTING CONDITIONS PLAN)
S2 SURVEY - VIEW ANGLE STUDY

ARCHITECTURAL

A1.02a PROPOSED SITE PLAN - MAIN FLOOR
A1.02b PROPOSED SITE PLAN - ROOF

A1.02b PROPOSED SITE PLAN - ROOF

CIVIL C1

CIVIL - UTILITY SERVICES PLAN

C3 CIVIL - DRAINAGE AND EROSION CONTROL PLAN

CIVIL - GRADING PLAN

LANDSCAPE

LC-1.01 LANDSCAPE - MASTERPLAN

LC-1.02 LANDSCAPE - TREE AND PLANTING PLAN LC-1.03 LANDSCAPE - FIRE MITIGATION PLAN

**ARCHITECTURAL** 

A2.01 LOWER FLOOR PLAN OVERALL
A2.01a LOWER FLOOR PLAN
A2.01b LOWER FLOOR PLAN
A2.02 MAIN FLOOR PLAN OVERALL
A2.02a MAIN FLOOR PLAN
A2.02b MAIN FLOOR PLAN
A2.03 UPPER FLOOR PLAN OVERALL

A2.03 UPPER FLOOR PLAN OVERA A2.03a UPPER FLOOR PLAN A2.03b LOW ROOF PLAN A2.04 ROOF PLAN OVERALL

A2.04a HIGH ROOF PLAN

A3.01 WEST ELEVATION OVERALL
A3.01a WEST ELEVATION
A3.01b WEST ELEVATION
A3.02 SOUTH ELEVATION
A3.03 EAST ELEVATION OVERALL

A3.03a EAST ELEVATION
A3.03b EAST ELEVATION
A3.04 NORTH ELEVATION

A3.10 MATERIAL PALETTE

A8.01 WINDOW SCHEDULE - LOWER FLOOR
A8.02 WINDOW SCHEDULE - MAIN FLOOR
A8.03 WINDOW SCHEDULE - MAIN FLOOR
A8.04 WINDOW SCHEDULE - MAIN FLOOR
A8.05 WINDOW SCHEDULE - UPPER FLOOR

# THE BUILDER IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND SHALL NOTIFY OPENSPACE ARCHITECTURE OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. DRAWINGS NOT TO BE SCALED FOR DIMENSIONS. ALL WINDOW AND DOOR SIZES ARE APPROXIMATE AND THE MANUFACTURER AND BUILDER SHALL CO-ORDINATE ACTUAL ROUGH OPENING DIMENSIONS. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF OPENSPACE ARCHITECTURE AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF THESE PARTIES.

ISSUE / REVISION

ISSUED FOR DRB

2024.09.27

#### SEAL



# RIDGE LOT 1

#### **ARCHITECT**

# OPENSPACE ARCHITECTURE INC. DON GURNEY, ARCHITECT AIBC

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#### **SAN JUAN SURVEYING**

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#### GEOTECHNICAL ENGINEERING

GROUP
JOHN WITHERS
3510 PONDEROSA WAY
GRAND JUNCTION, CO 81506
T. 970.261.3415
jwithers@geotechnicalgroup.net

PAUL SANGHA
125 EAST 4TH AVENUE
VANCOUVER, BC V5T 1G2
T. 604.736.2323
paul@paulsangha.com

#### PLANNING CONSULTANT

#### ALPINE PLANNING LLC

CHRIS HAWKINS #2-523 CLINTON ST / P.O. BOX 654 RIDGWAY, CO 81432-0654 T. 970.964.7927 chris@alpineplanningllc.com

**PAUL SANGHA CREATIVE** 

#### LANDSCAPE ARCHITECT LIGHTING

#### LUMINOSITY

CRAIG SPRING #203A-618 MOUNTAIN VILLAGE BLVD MOUNTAIN VILLAGE, CO 81435 T. 970.729.8892 craig@luminosityald.com

#### <u>OWNER</u>

HOT DOG HOUSE TELLURIDE LLC 6501 RED HOOK PLAZA, SUITE 201-271 ST. THOMAS, VI 00802 T. 734.277.4020 nicowarden@gmail.com

ADDRESS: LOT 161A-R2, UNIT 1 COONSKIN RIDGE LANE MOUNTAIN VILLAGE, CO 81435

**ZONING: MULTI-FAMILY** 

RIDGE - LOT 1 3 COONSKIN RIDGE LANE MOUNTAIN VILLAGE, CO 81435

PROJECT:

SHEET TITLE

**COVER SHEET** 

PROJECT NUMBER

SCALE (SHEET SIZE 36"x24") N/A

A0.00

23-03

# **GENERAL NOTES:**

The structure shall be in accordance with the 2018 IFC, TFPD Amended Fire Code, and NFPA Standards for a Group R-3 occupancy.

- 1) A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
- 2) An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes. 3) Monitored carbon monoxide detection shall be installed in accordance with
- 2018 IFC 915.2.1. 4) Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
- 5) Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
- 6) A Knox box is recommended at the main entrance on the address side for emergency access.

# DATA:

BUILDING CODE (CHAPTER 17.7)	IBC 2018
OCCUPANCY CLASSIFICATION	RESIDENTIAL
ZONING	MULTI-FAMILY
SITE STATISTICS	
SITE AREA	22,114.7 ft <sup>2</sup>

14,374.6 ft<sup>2</sup>

14,374.6 ft<sup>2</sup>

45 ft

# AREA CALCULATIONS SUMMARY

SITE COVERAGE PERMITTED (65%)

LOWER FLOOR (LIVABLE)	5,524.8 f
MIDDLE FLOOR (LIVABLE) UPPER FLOOR (LIVABLE)	5,076.7 f 2,602.9 f
MECHANICAL	703.8 f
CART GARAGE	323.7 f

TOTAL FLOOR AREA:	14,231.9 ft <sup>2</sup>
TOTAL HEATED FLOOR AREA:	13,528.1 ft <sup>2</sup>
(EXCLUDING MECHANICAL)	

PATIOS / PLAZAS	4,343.6 ft <sup>2</sup>

### SITE COVERAGE

BUILDING	10,023.1 ft <sup>2</sup>
LANDSCAPE ELEMENTS	4,097.2 ft <sup>2</sup>
COVERAGE PROPOSED (63.83%):	14,120.3 ft <sup>2</sup>

# CONFORMING

COVERAGE PERMITTED (65%):

REFER TO A0.23

#### **BUILDING HEIGHT**

DISTANCE FROM FINISHED	
GRADE TO <b>PROPOSED</b> HEIGHT	33.5 ft

#### DISTANCE FROM FINISHED GRADE TO **PERMITTED** HEIGHT

# CONFORMING

REFER TO A3.01-3.04

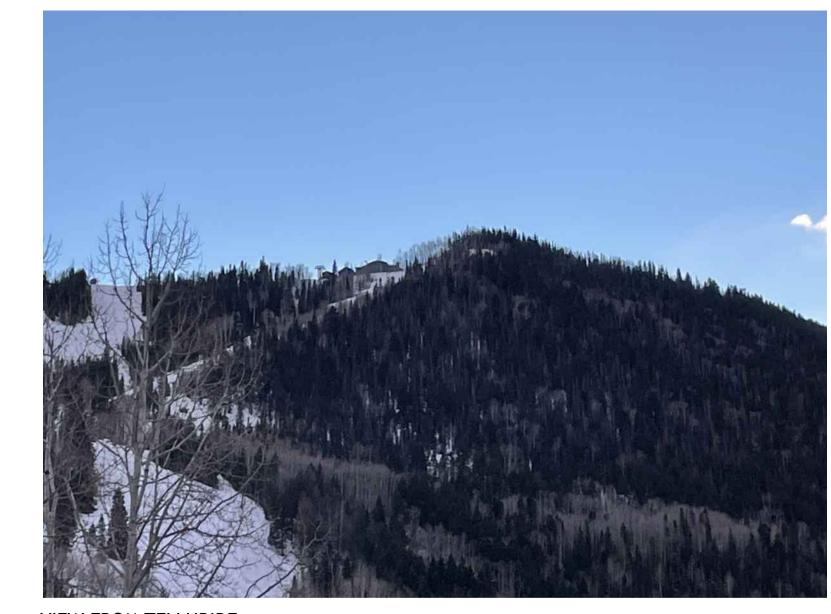
#### **AVERAGE BUILDING HEIGHT**

PROPOSED AVERAGE BUILDING HEIGHT	22.02 ft
PERMITTED AVERAGE BUILDING HEIGHT	30 ft

# CONFORMING

REFER TO A0.22

# SITE PHOTOS:



VIEW FROM TELLURIDE



VIEW OF HEATED CART PATH LOOKING SOUTH (SITE TO THE LEFT)



VIEW OF SITE FROM LODGE SERVICE AREA



VIEW OF SITE FROM GONDOLA



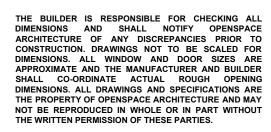
VIEW OF HEATED CART PATH LOOKING NORTH (SITE TO THE RIGHT)



VIEW OF SERVICE ROAD LOOKING NORTH (SITE TO THE LEFT OF ROAD)



	Ì
DATE	ISSUE / REVISION
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SEAL



PROJECT: RIDGE - LOT 1 3 COONSKIN RIDGE LANE MOUNTAIN VILLAGE, CO 81435 USA

SHEET TITLE DATA & SITE PHOTOS

PROJECT NUMBER

SCALE (SHEET SIZE 36"x24") N/A

SHEET NUMBER A0.01

SHEET TITLE RENDERS

PROJECT NUMBER SCALE (SHEET SIZE 36"x24") N/A

SHEET NUMBER A0.10













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SEAL



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2024.09.27



PROJECT: RIDGE - LOT 1 3 COONSKIN RIDGE LANE MOUNTAIN VILLAGE, CO 81435 USA

\* ALL EXISTING TREES SHOWN IN RENDERINGS REFLECT THE LANDSCAPE PLAN

SCALE (SHEET SIZE 36"x24") N/A SHEET NUMBER

PROJECT NUMBER

SHEET TITLE RENDERS

RIDGE - LOT 1 3 COONSKIN RIDGE LANE MOUNTAIN VILLAGE, CO 81435 USA

PROJECT:

SEAL

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1 SOUTH EAST PERSPECTIVE | REF:





EAST PERSPECTIVE WITH TREE OVERLAY
N/A | REF:



23-03 SCALE (SHEET SIZE 36"x24") N/A SHEET NUMBER

\* ALL EXISTING TREES SHOWN IN RENDERINGS REFLECT THE LANDSCAPE PLAN











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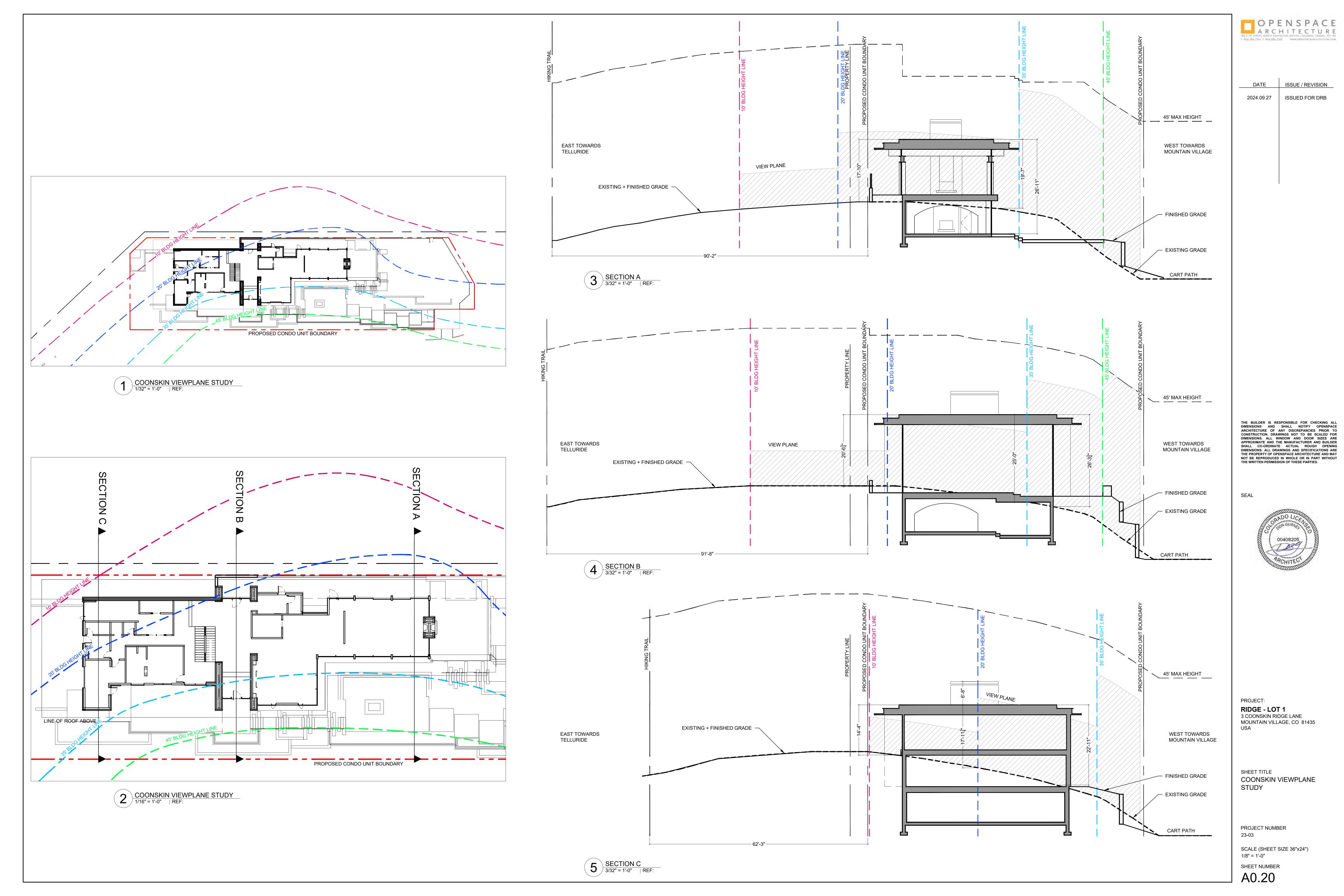
SEAL

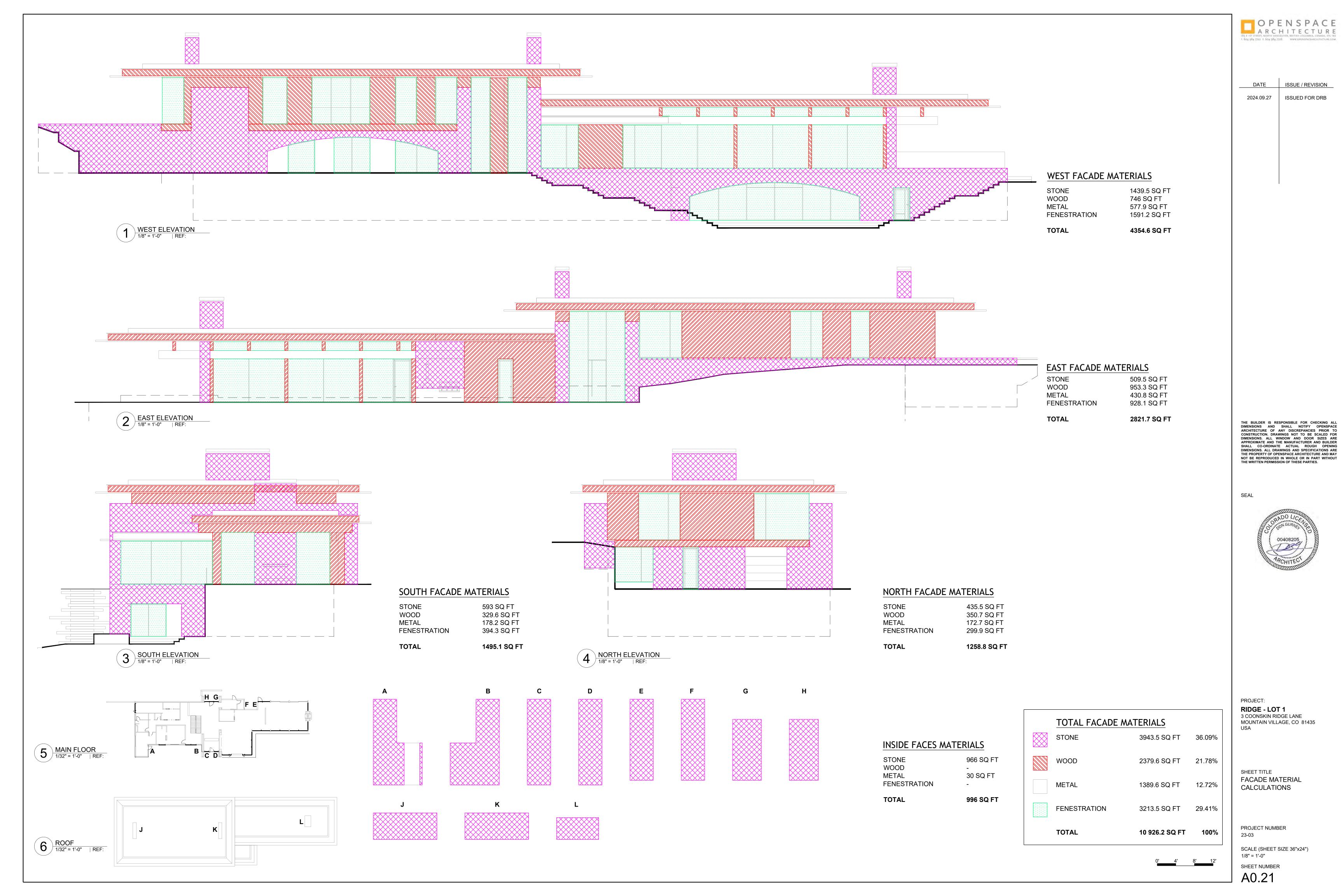
PROJECT NUMBER

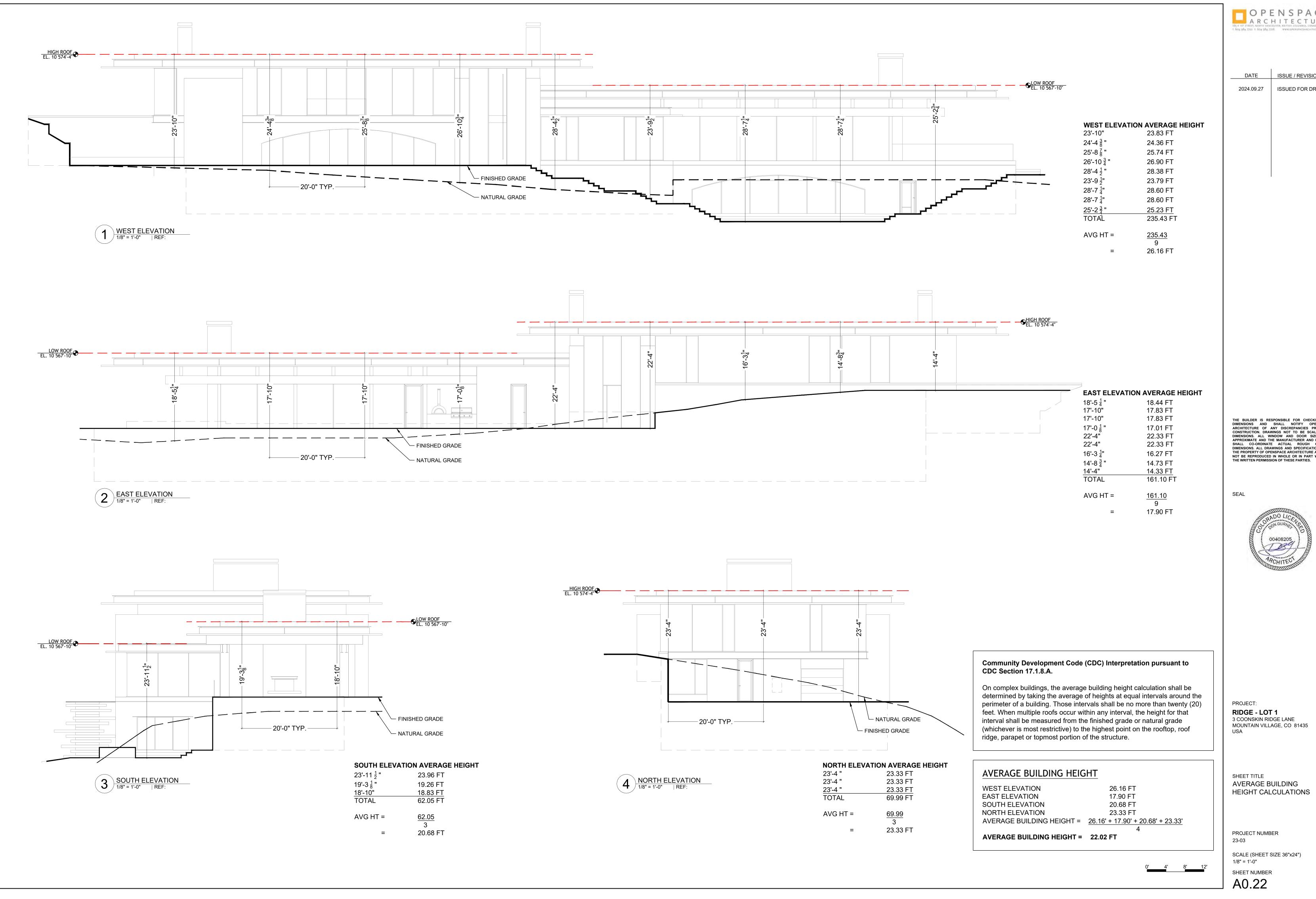
PROJECT:

SHEET TITLE RENDERS

RIDGE - LOT 1
3 COONSKIN RIDGE LANE
MOUNTAIN VILLAGE, CO 81435
USA

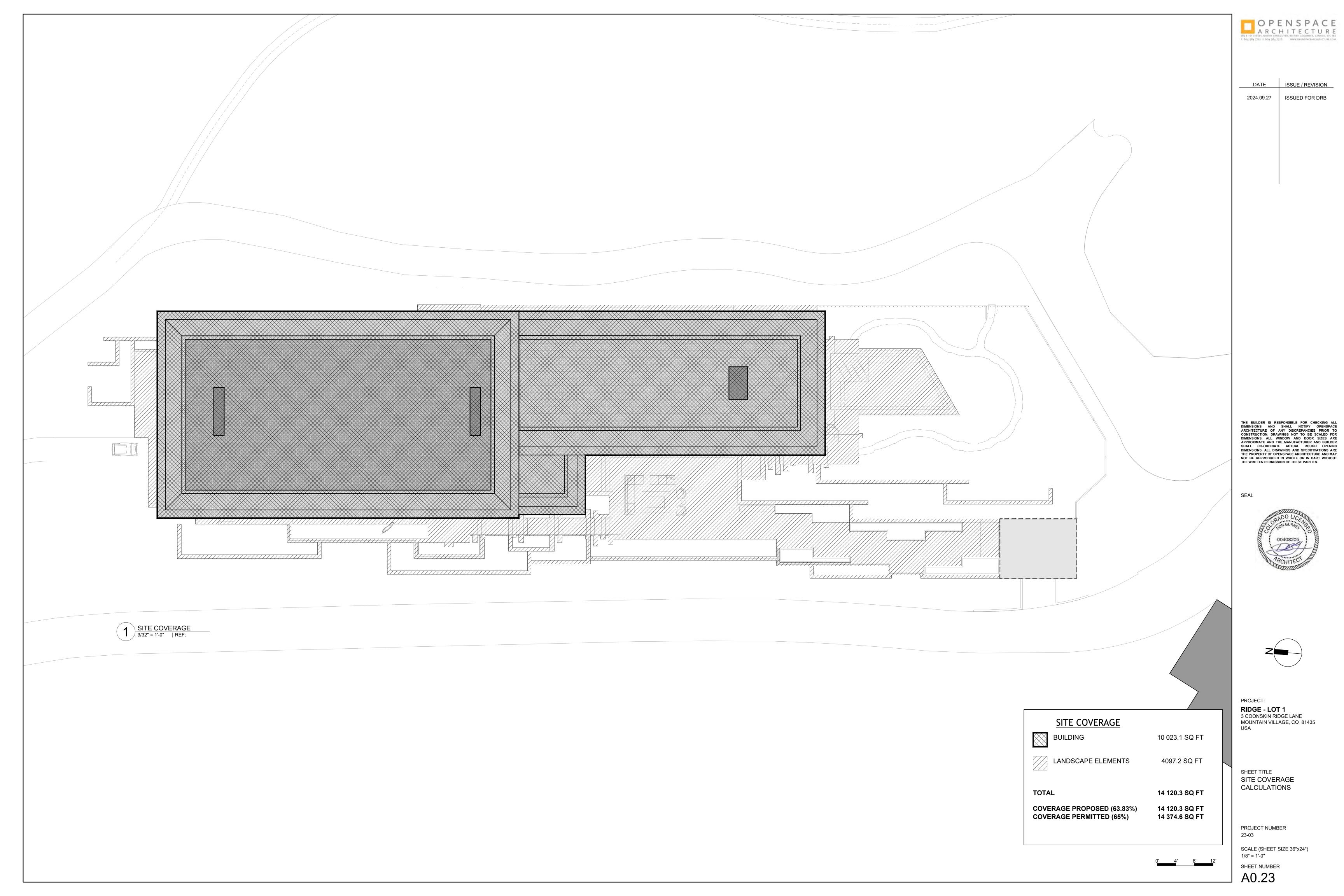


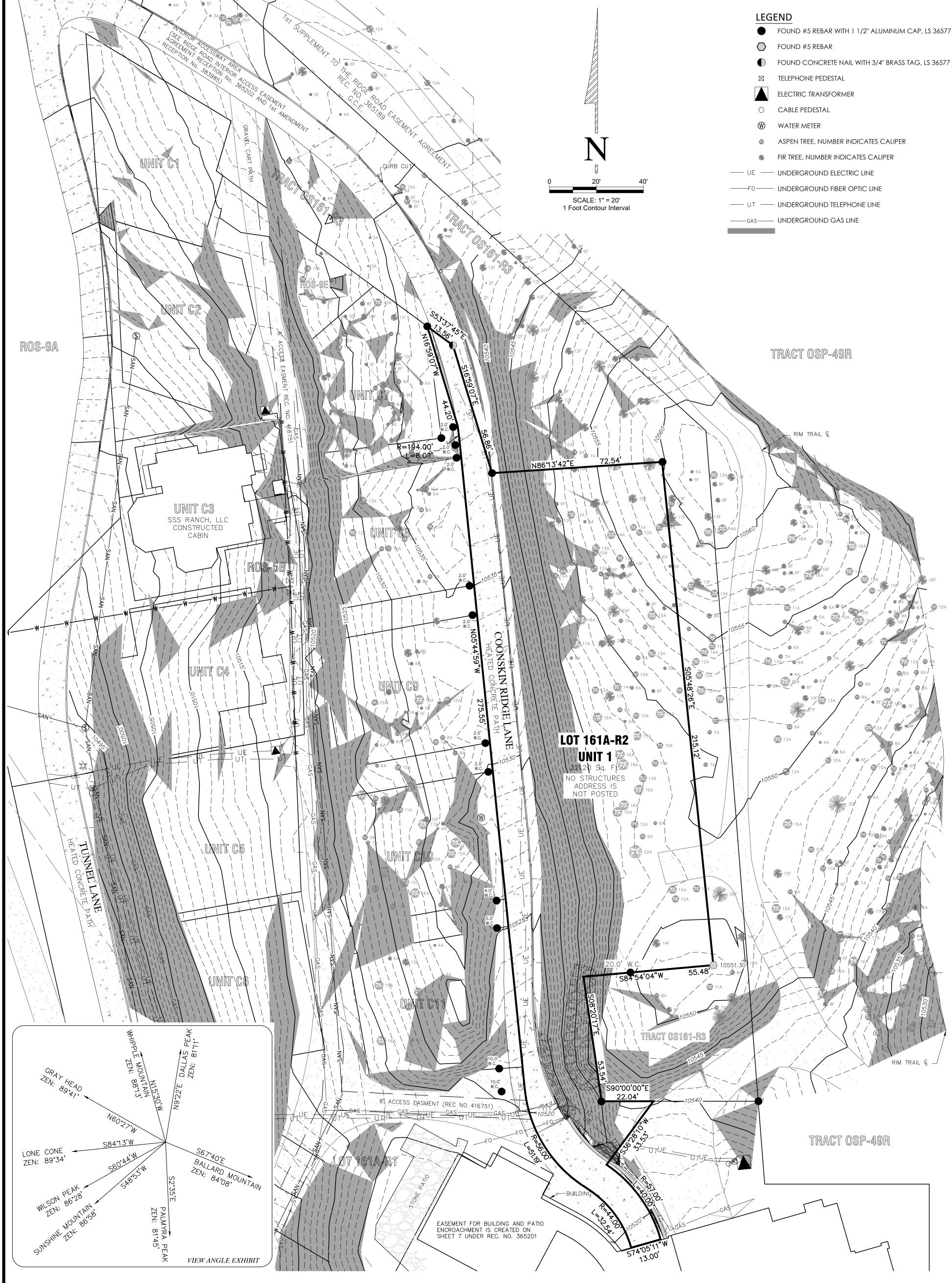




ISSUED FOR DRB

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NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT





# NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

# **NOTES:**

- According to Flood Insurance Rate Map: 08113C0287 D, map revised September 30, 1992, this parcel lies within Zone X (Areas determined to be outside the 500-year flood plain).
- 2. Easement research from Land Title Guarantee Company, Order No. TLR86013658, Policy Date May 03, 2023 at 05:00 PM.

3. Vertical datum is based on the found Southeast corner of Unit 1, a #5 Rebar, having an elevation of 10551.30 feet, as depicted.

- 5. Utility locates were done by others, provided for design and engineering and are not to be used for excavation.

# 6. Lineal Units U.S. Survey Feet

PROPERTY DESCRIPTION:

Unit 1, The Ridge a Telluride, according to the Planned Community Plat of The Ridge at Telluride recorded on April 5, 2004, at Reception No. 365188 in the records of the San Miguel County Clerk and Recorder, as amended and supplemented by the Plats recorded at Reception Nos. 383984, 385382, 398449, 403055, 409853, 413134, 446065, and 458069 in the records of the San Miguel County Clerk and Recorder, and according to the Declaration for the Ridge at Telluride, a Planned Community, recorded on April 5, 2004 at Reception No. 365201 in records of the San Miguel County Clerk and Recorder, as amended and supplemented by the documents recorded at Reception Nos. 383983, 398448, 403064, 413135, and 458070 in the records of the San Miguel County Clerk and Recorder,

County of San Miguel, State of Colorado

# SURVEYOR'S CERTIFICATE:

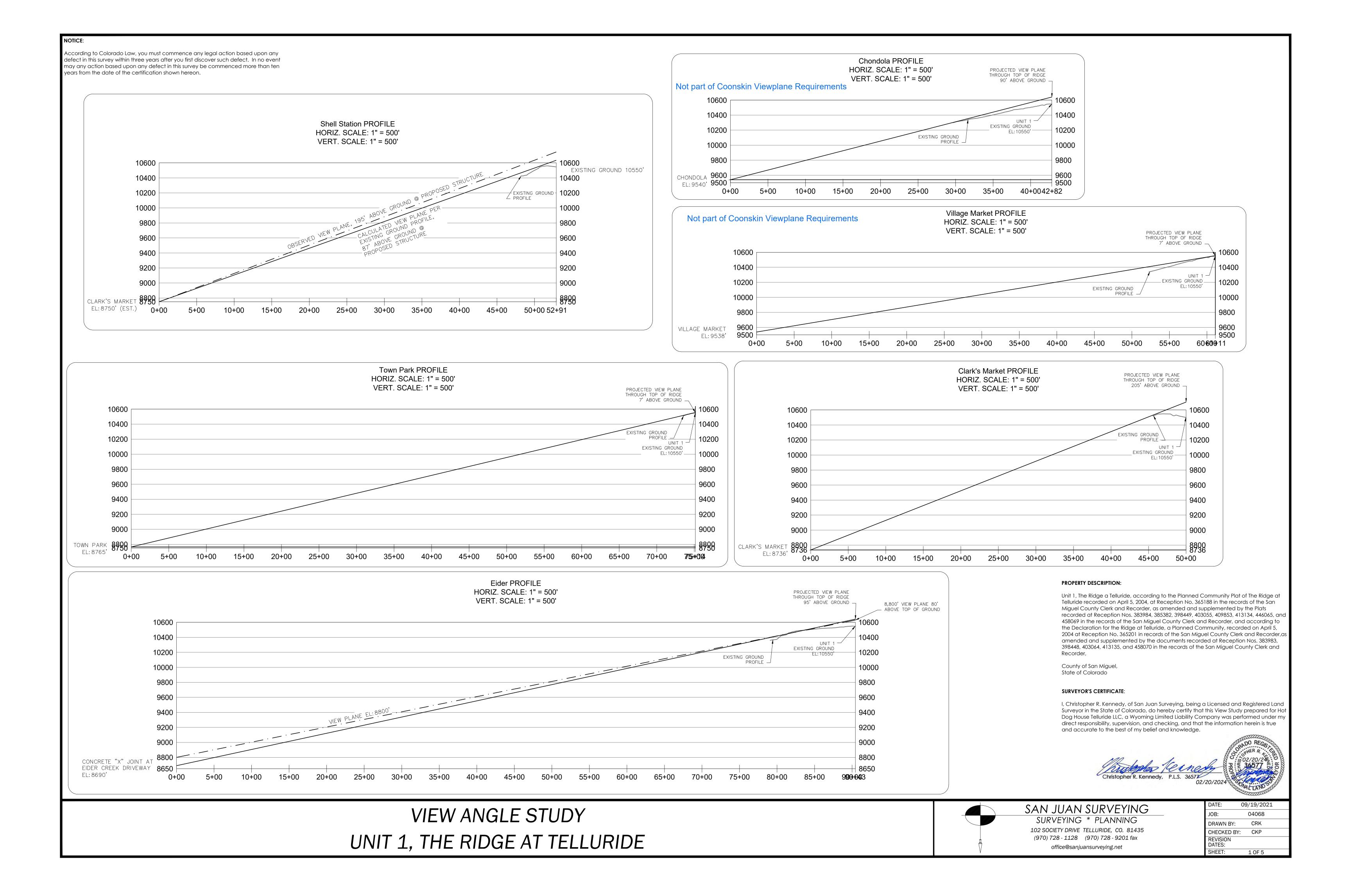
I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Unit 1, The Ridge a Telluride, was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.

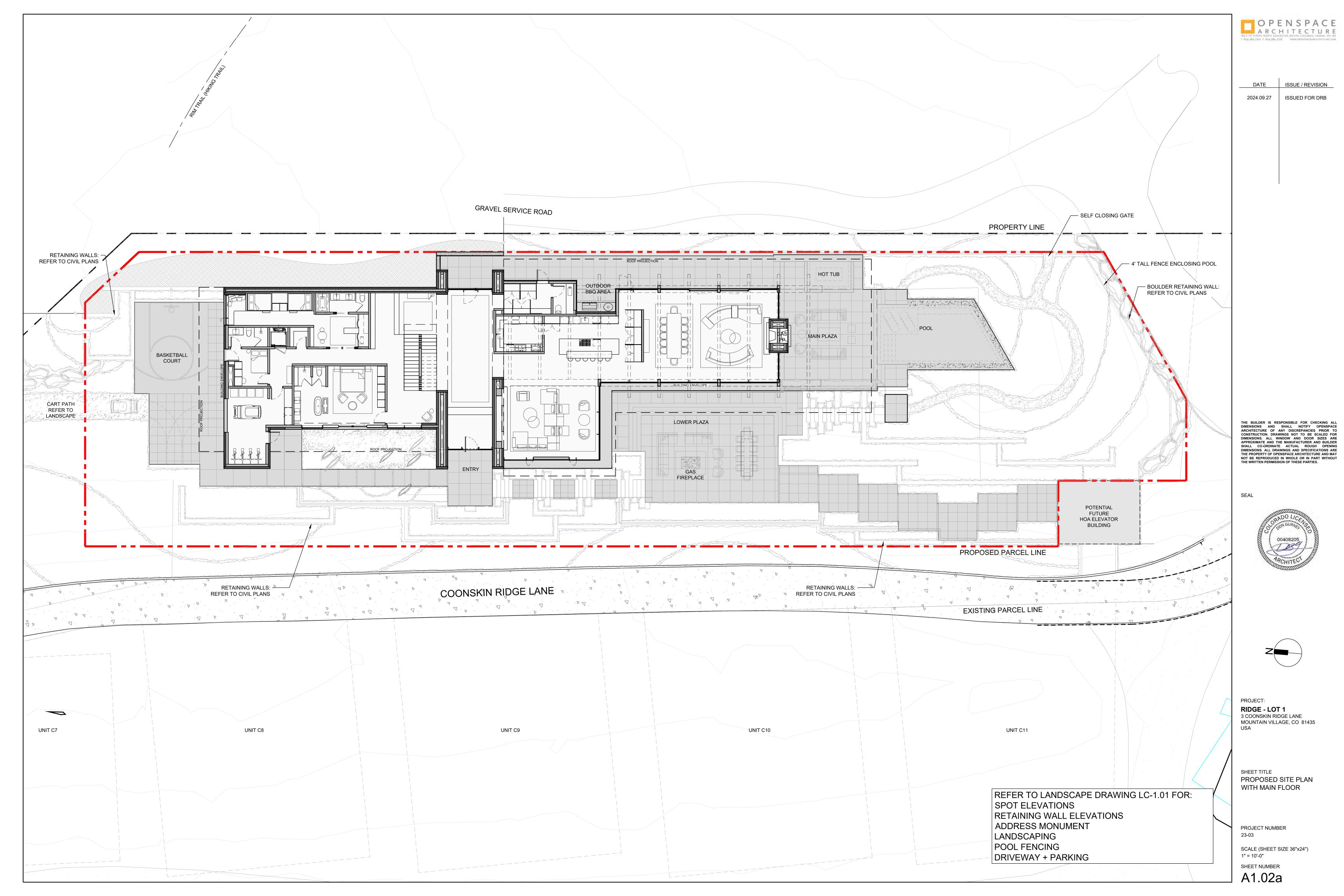


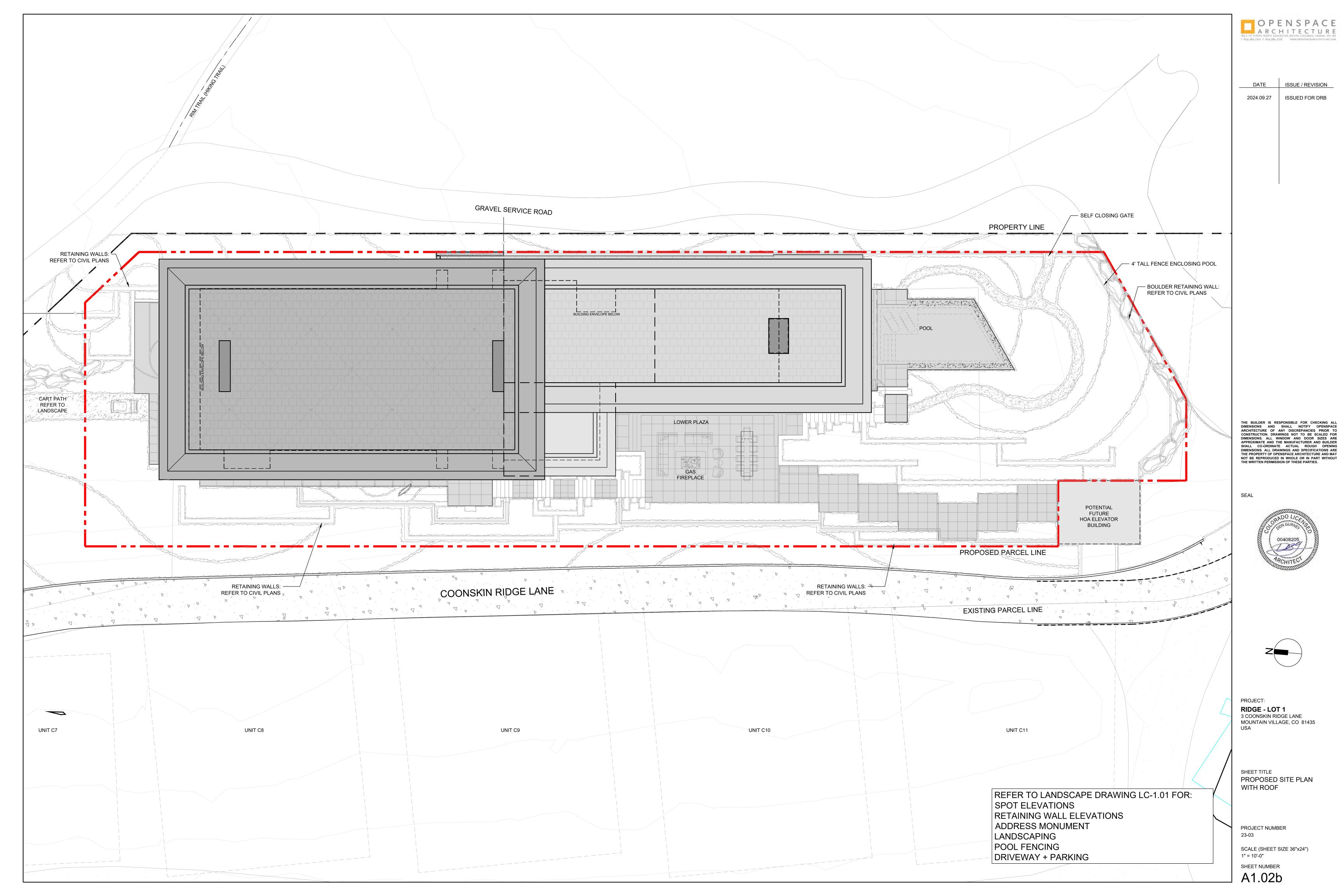
TOPOGRAPHIC SURVEY UNIT 1, THE RIDGE AT TELLURIDE

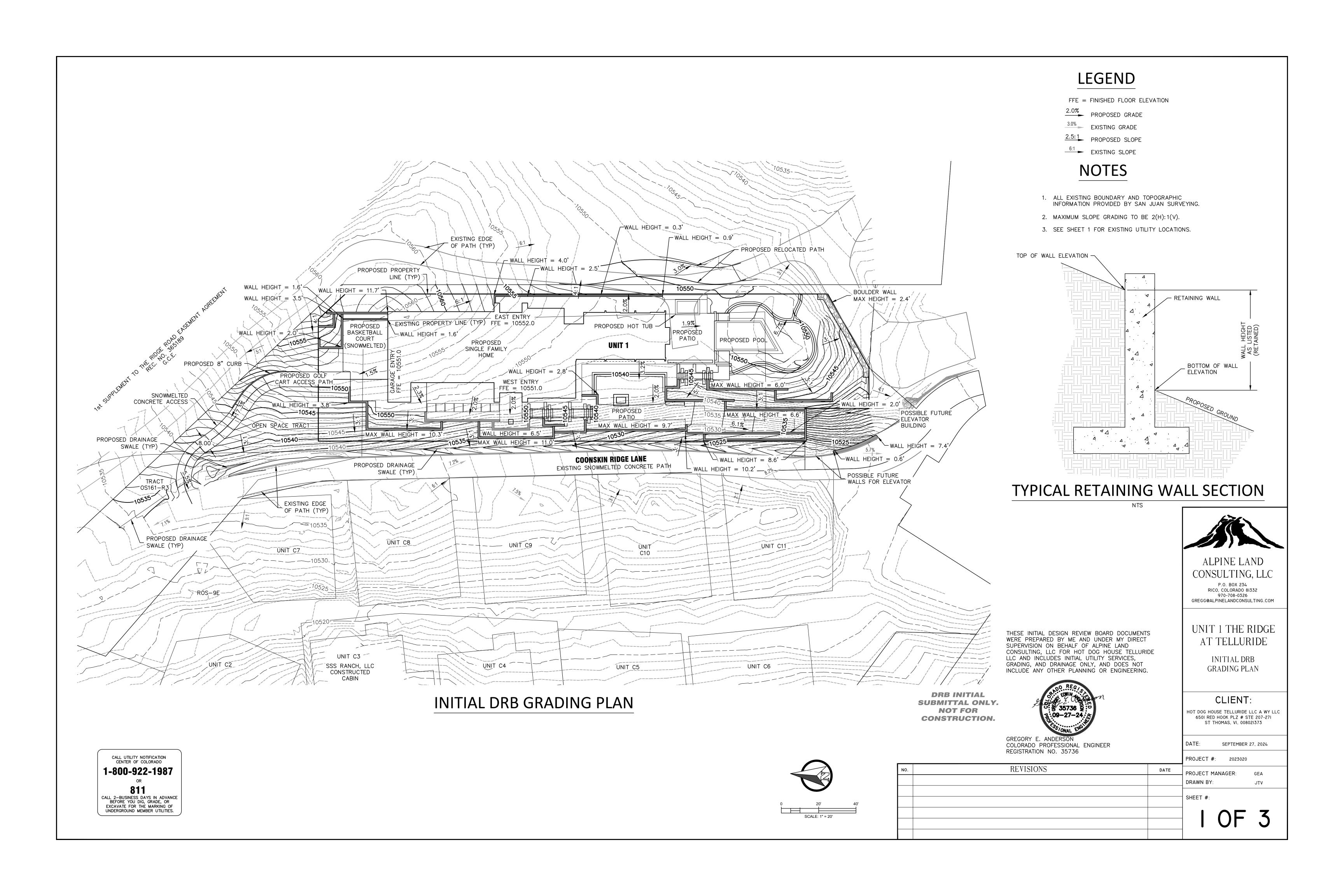


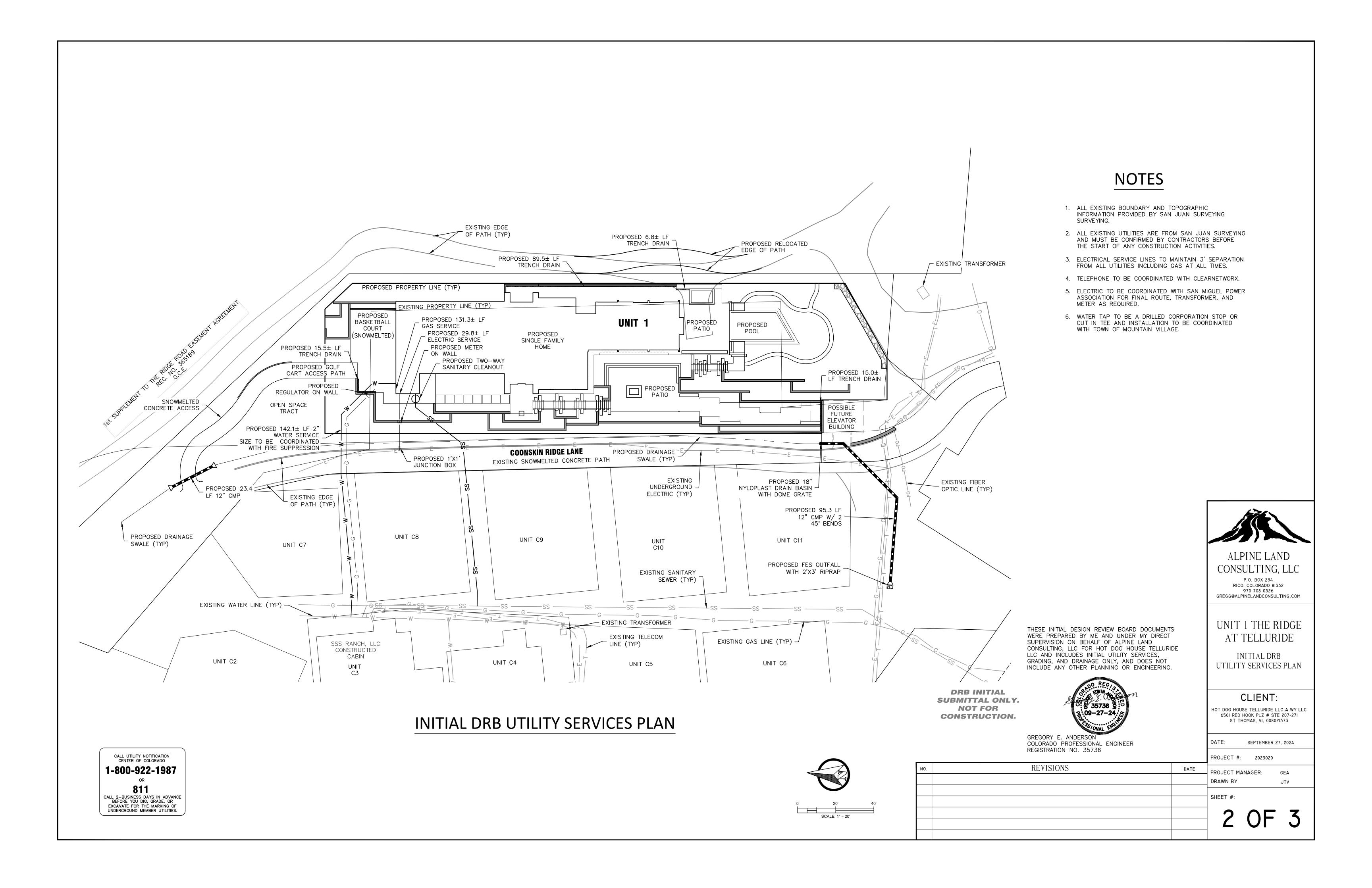
DATE:	04/24/2024	
 JOB:	04068	
DRAWN BY:	AHM	
CHECKED BY:	CRK	
REVISION DATES:		
SHFFT	1 OF 1	

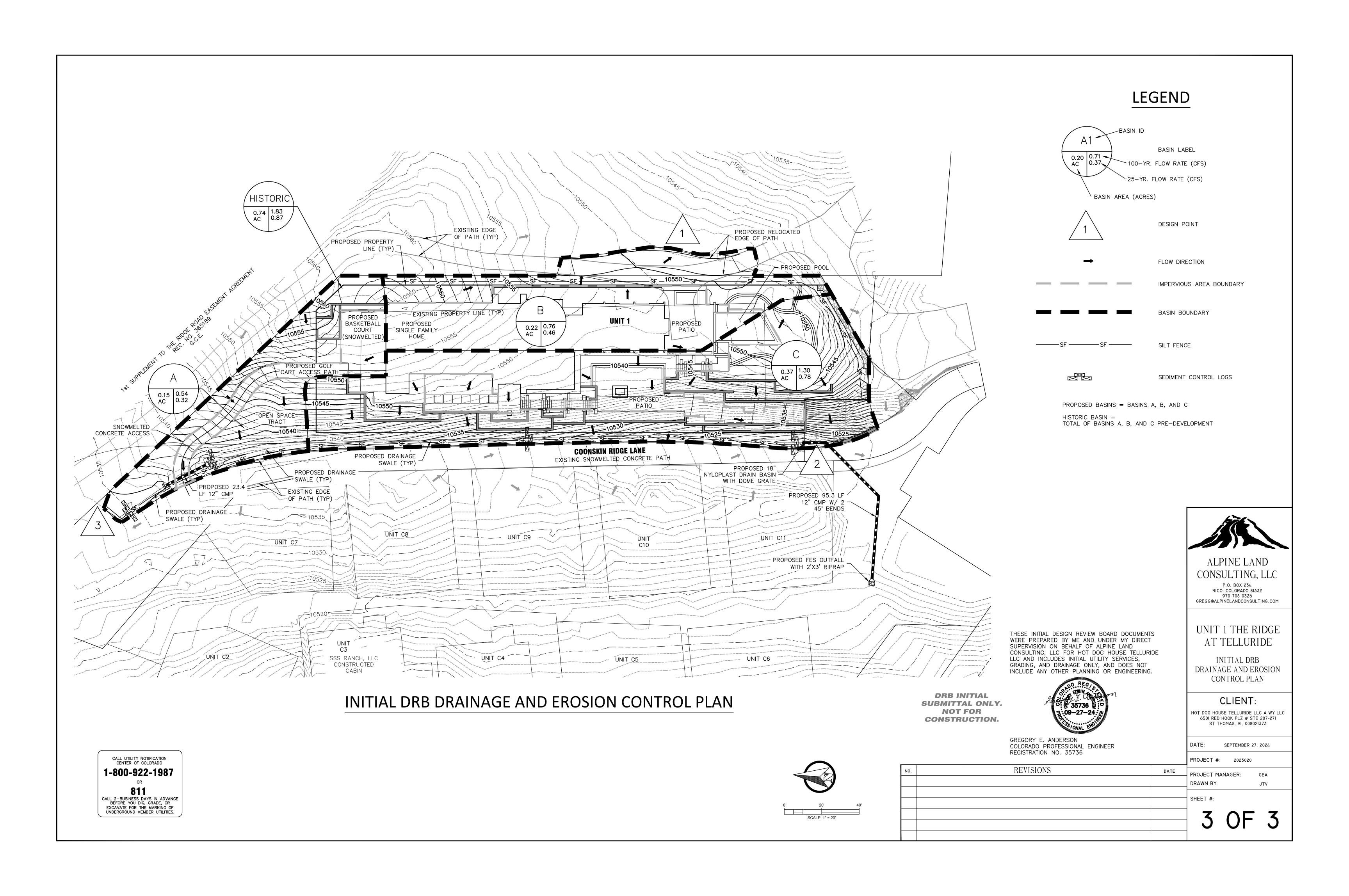


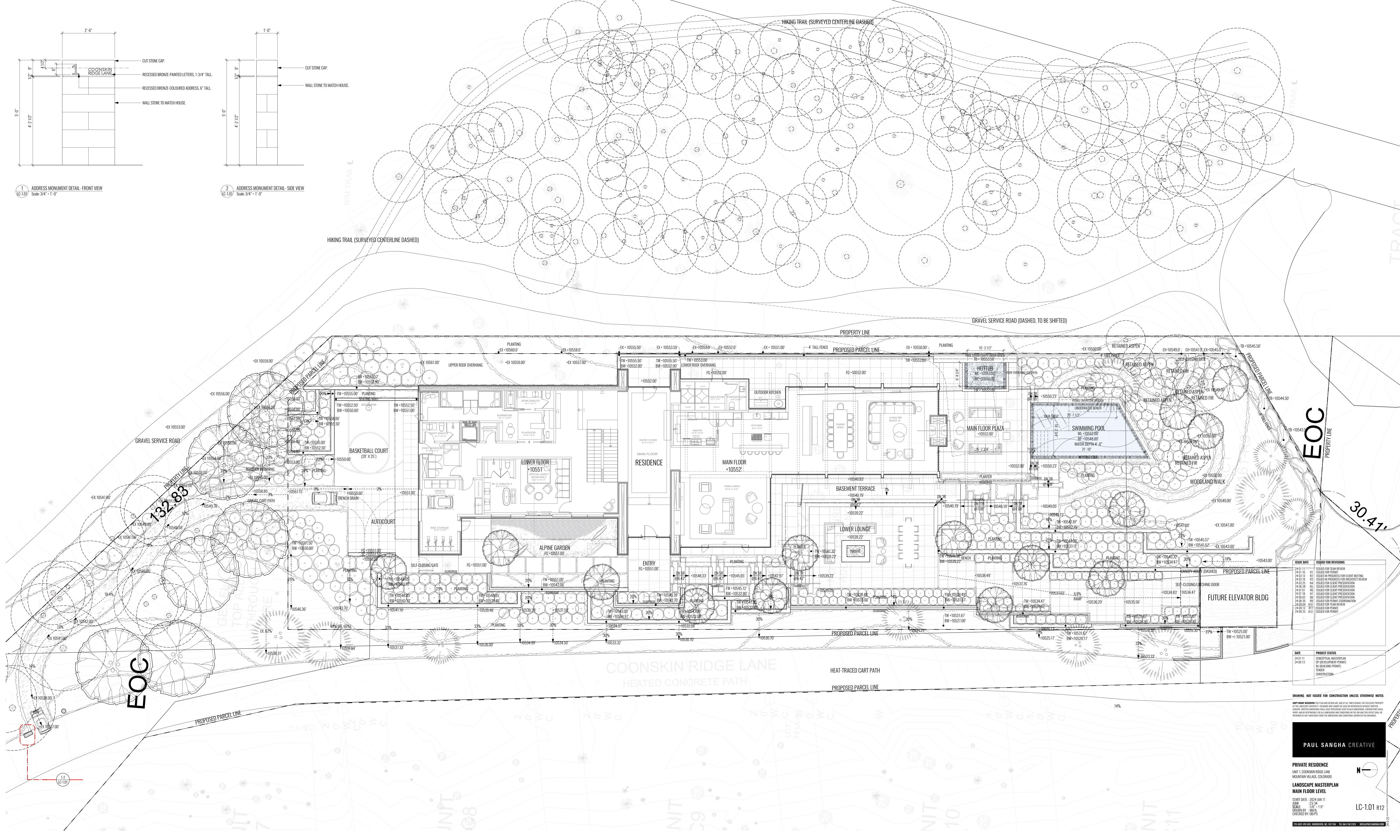


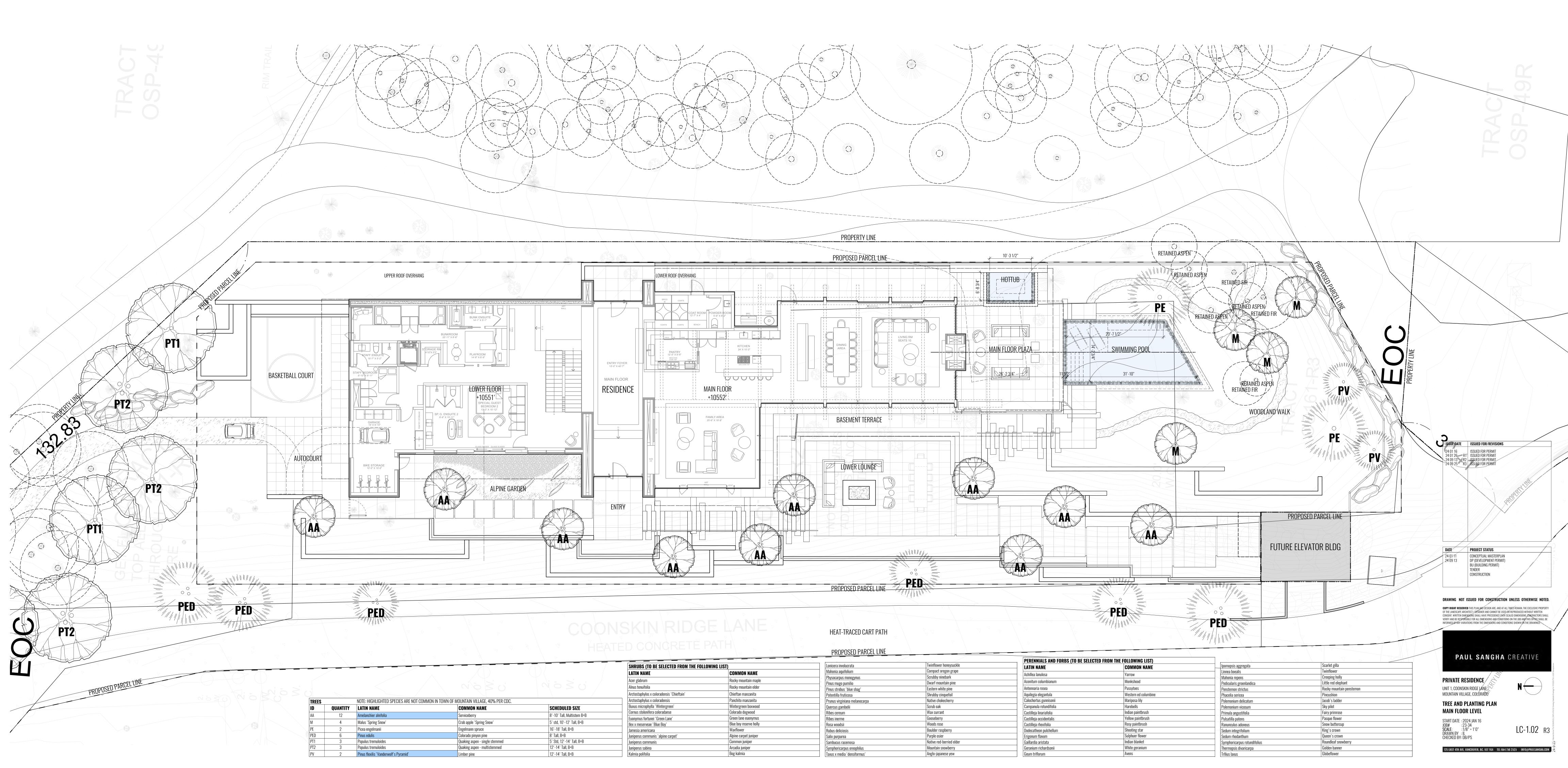














#### FIRE MITIGATION PLAN LEGEND

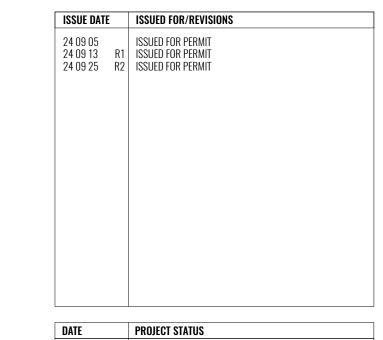


#### PERMITTING GUIDELINES

FIRE MITIGATION ZONE 1: 15' AROUND THE BUILDING MEASURED FROM THE DRIPLINE OF THE ROOF, DECKS, PATIOS, PLANTERS AND TREES.

# FIRE MITIGATION ZONE 2: EXTENDS FROM ZONE 1 TO THE LOT LINE OR THE DISTANCE SPECIFIED IN CH.

- ALL NON-FIRESAFE PLANTINGS ABOVE 4" MUST BE SPACED A MINIMUM OF 10' APART. - ANY PLANT LISTED AS FIREWISE PLANT MATERIALS MAY BE PLANTED CLOSER THAN 10' APART.



24 01 11 CONCEPTUAL MASTERPLAN DP (DEVELOPMENT PERMIT) BU (BUILDING PERMIT) CONSTRUCTION

DRAWING NOT ISSUED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.

COPY RIGHT RESERVED THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN, THE EXCLUSIVE PROPERTY OF THE LANDSCAPE ARCHITECT / DESIGNER AND CANNOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS

PAUL SANGHA CREATIVE

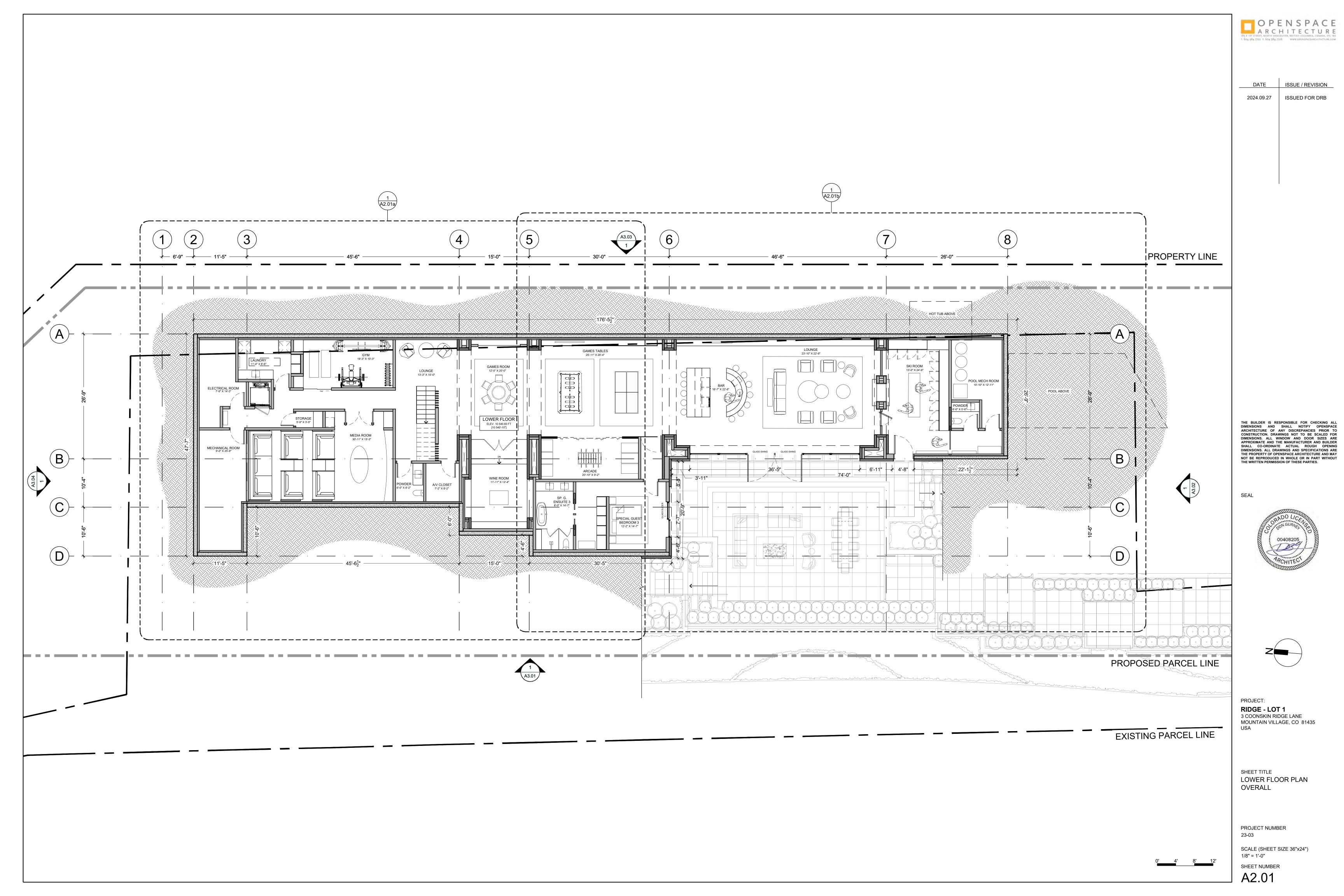
UNIT 1, COONSKIN RIDGE LANE MOUNTAIN VILLAGE, COLORADO

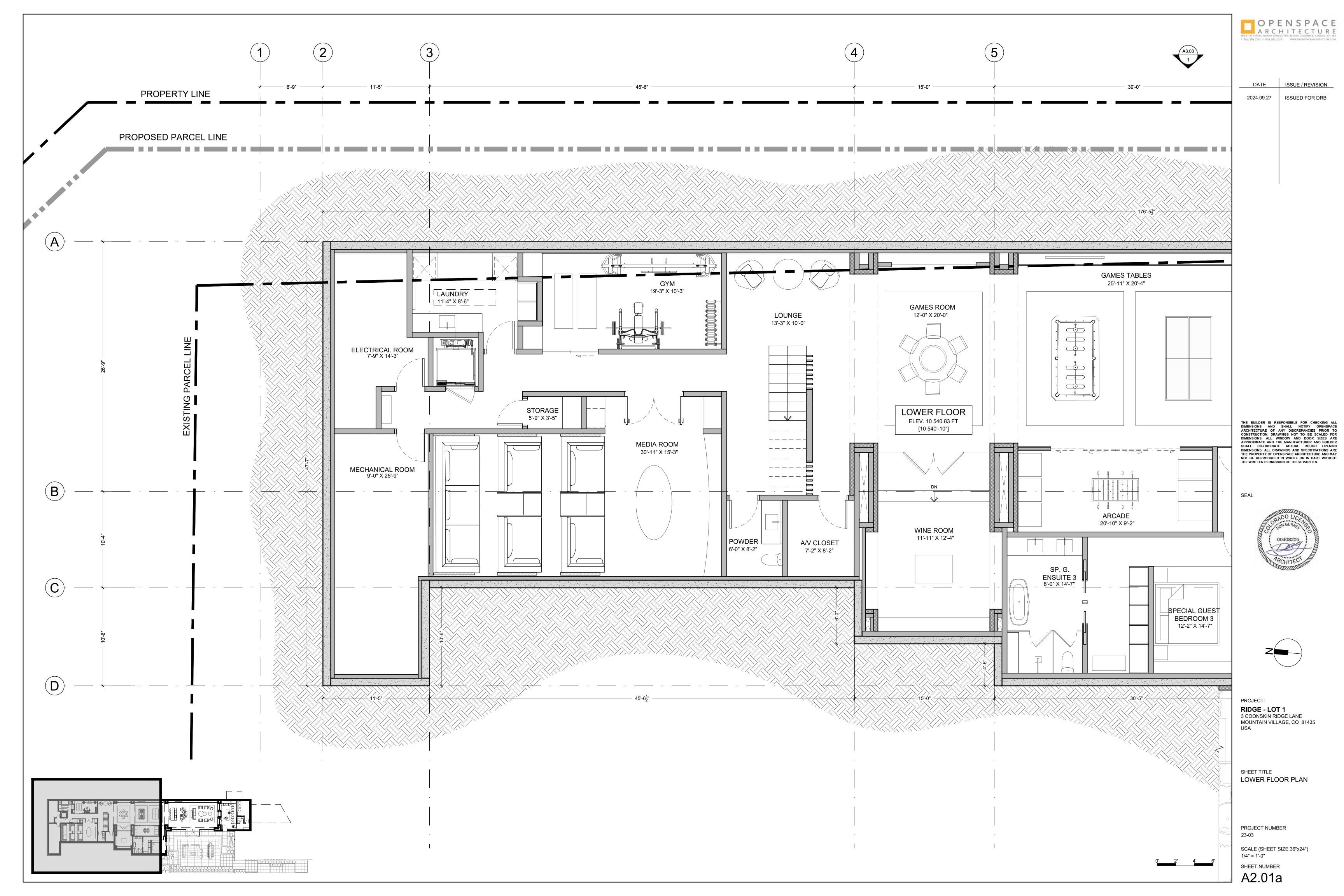
FIRE MITIGATION PLAN

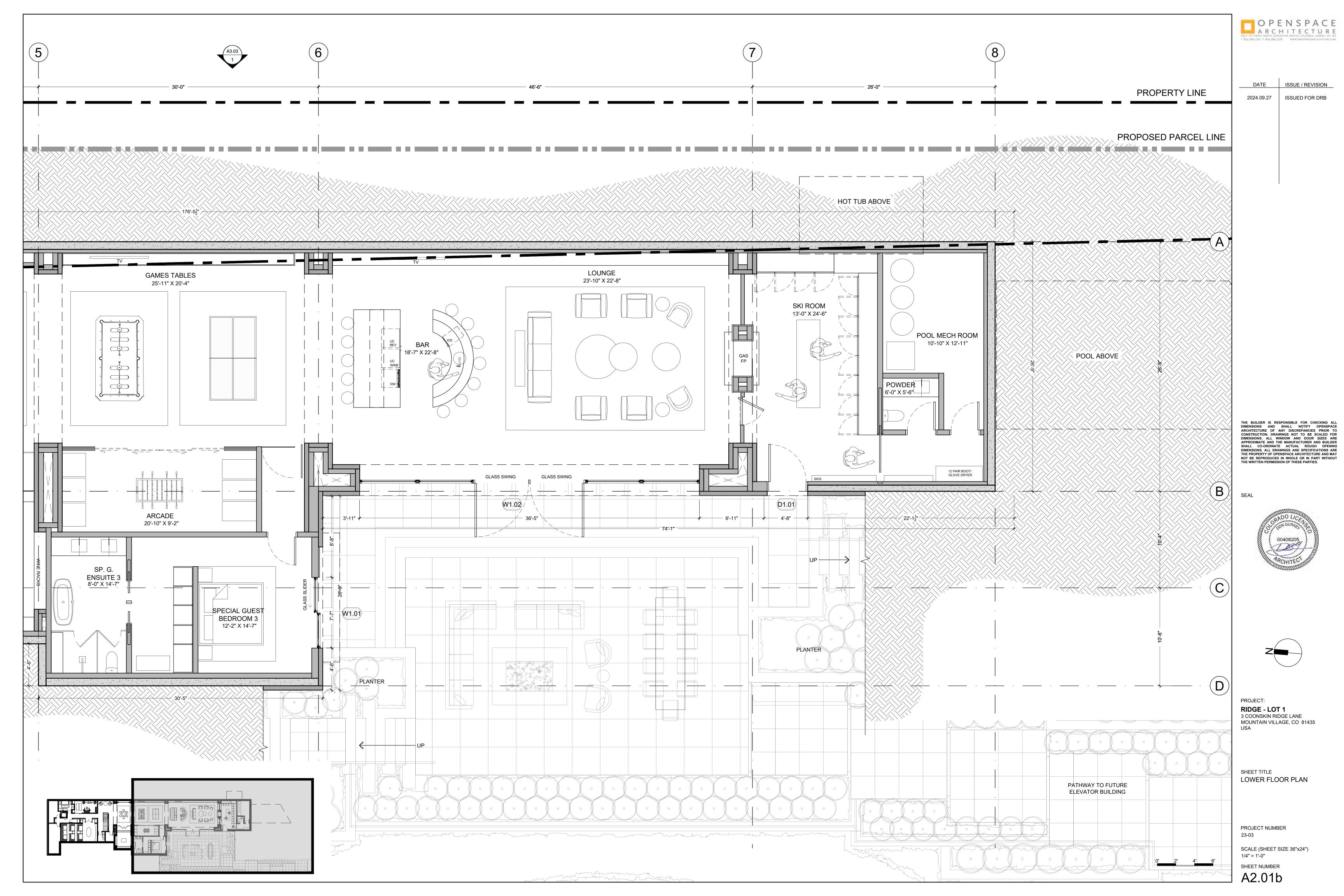
START DATE : 2024 JULY 30 JOB# : 23-34 SCALE: : 1/16" = 1'0" DRAWN BY : IL

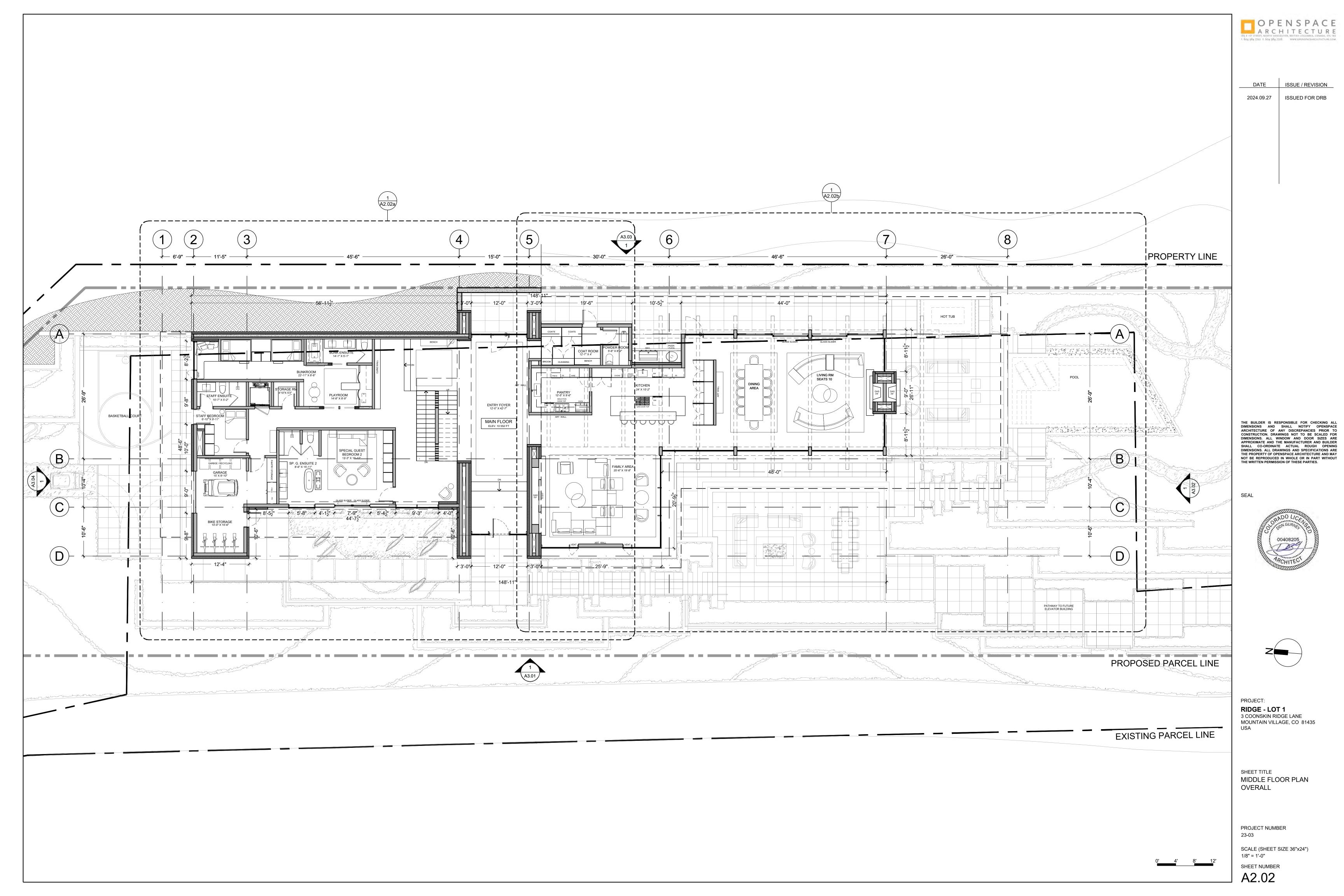
LC-1.04 R2

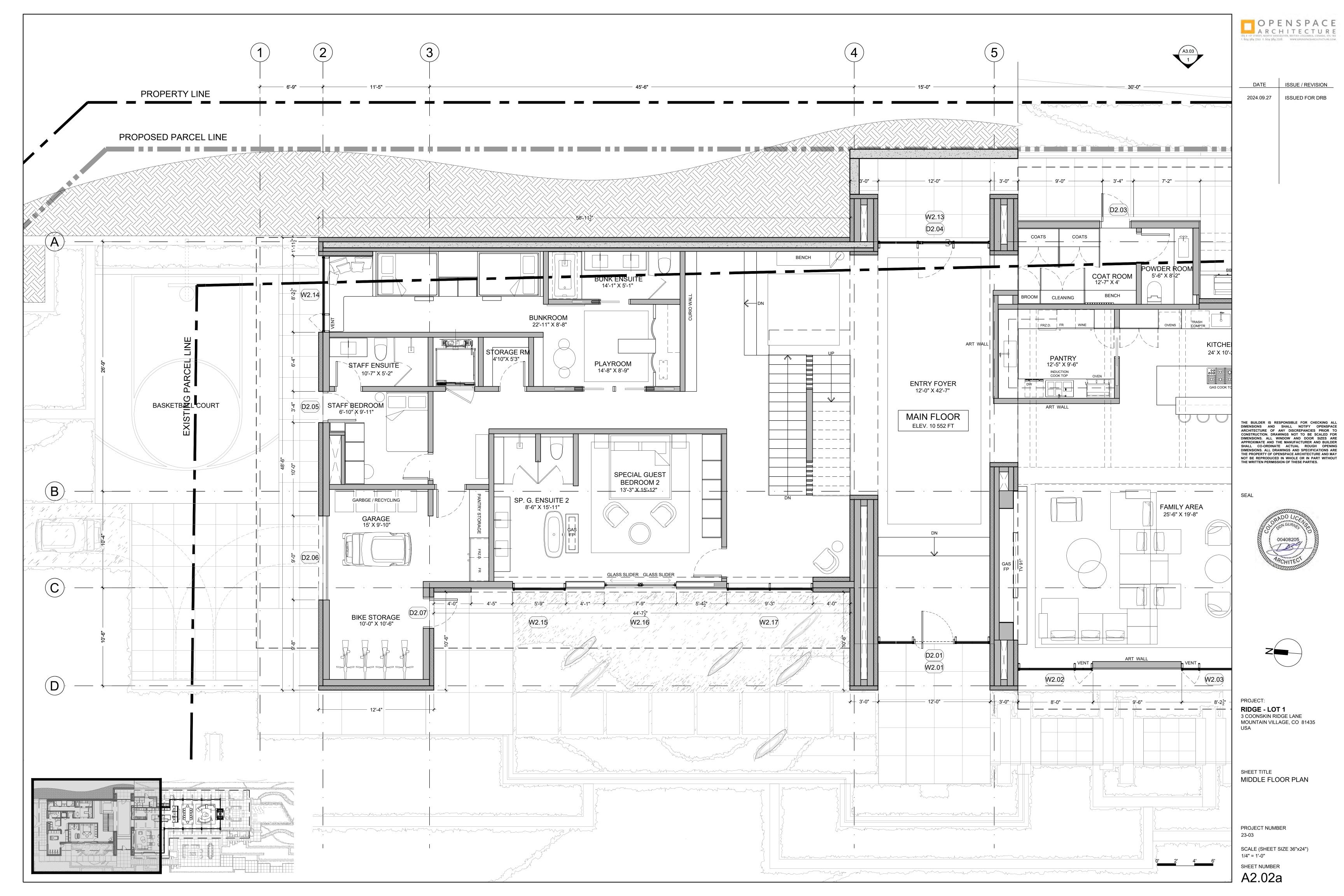
125 EAST 4TH AVE, VANCOUVER, BC. V5T 1G4 TEL 604 736 2323 INFO@PAULSANGHA.COM

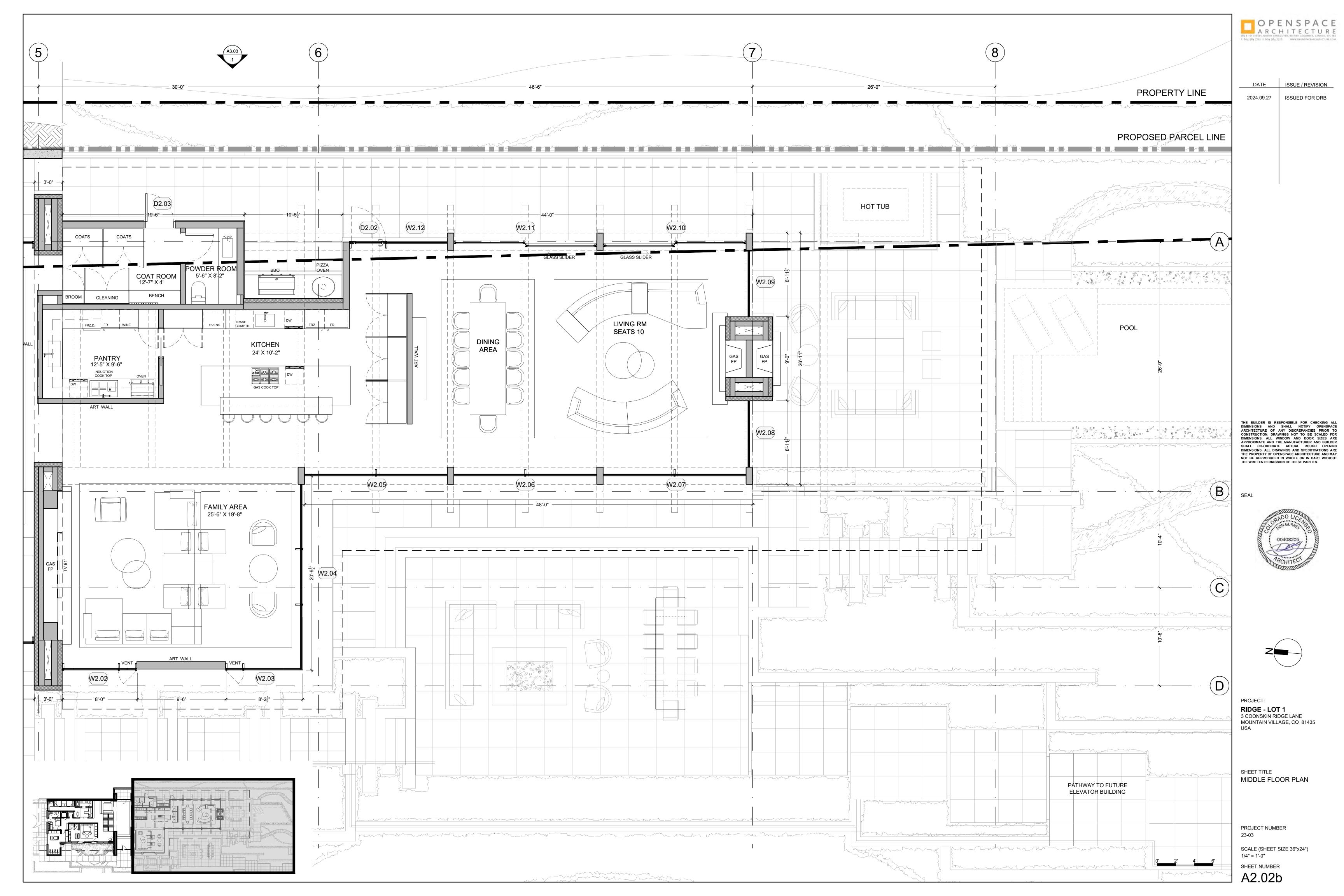


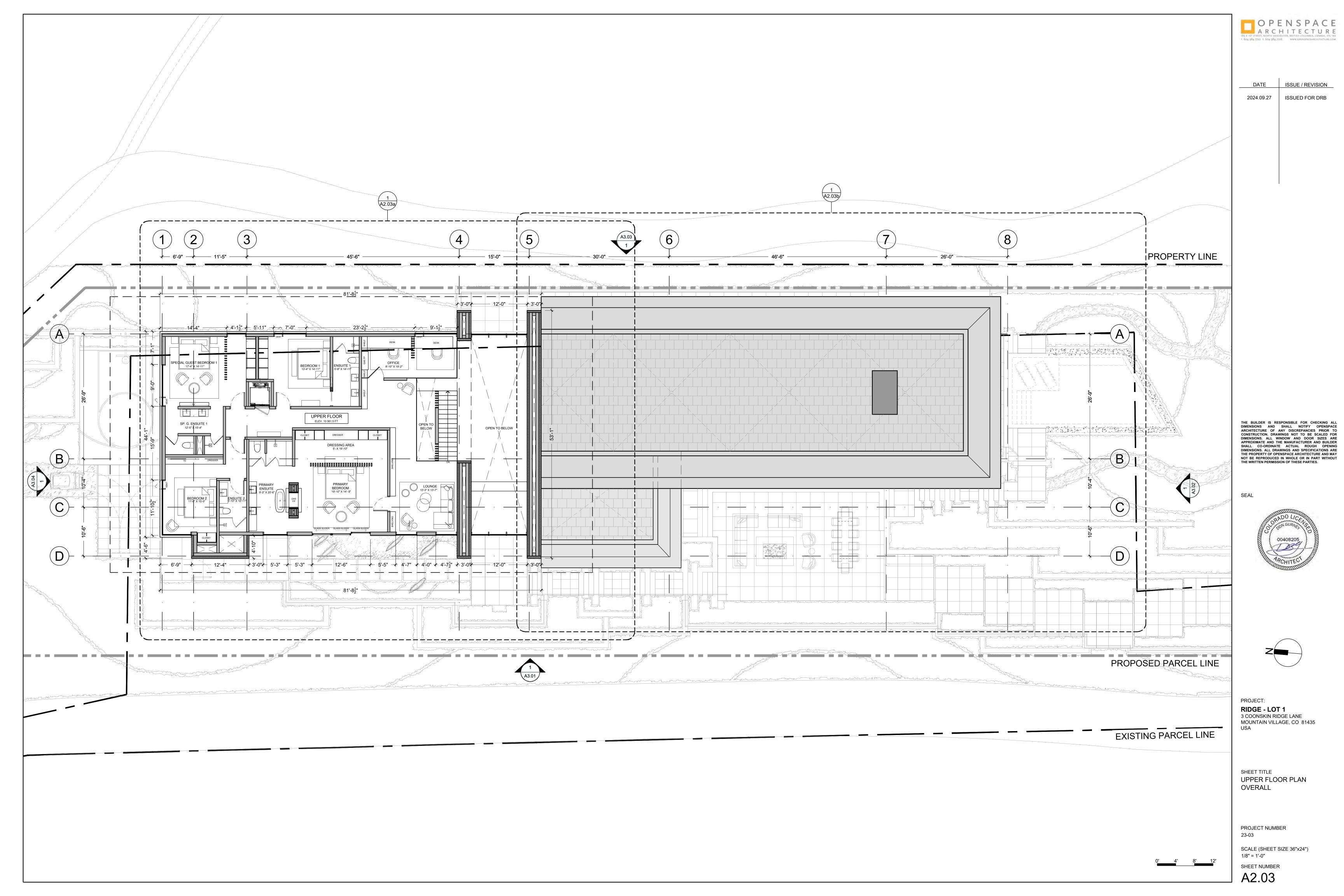


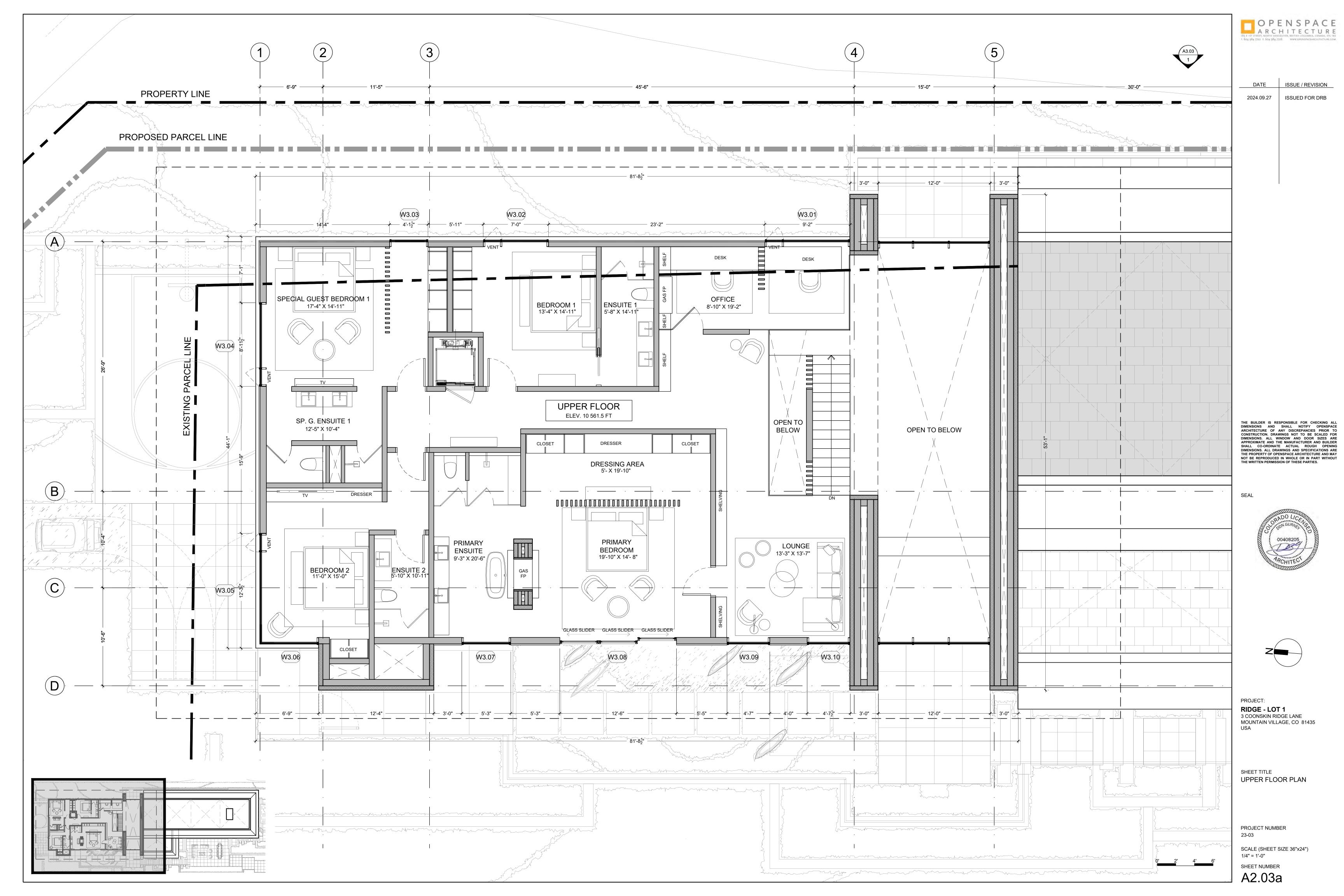


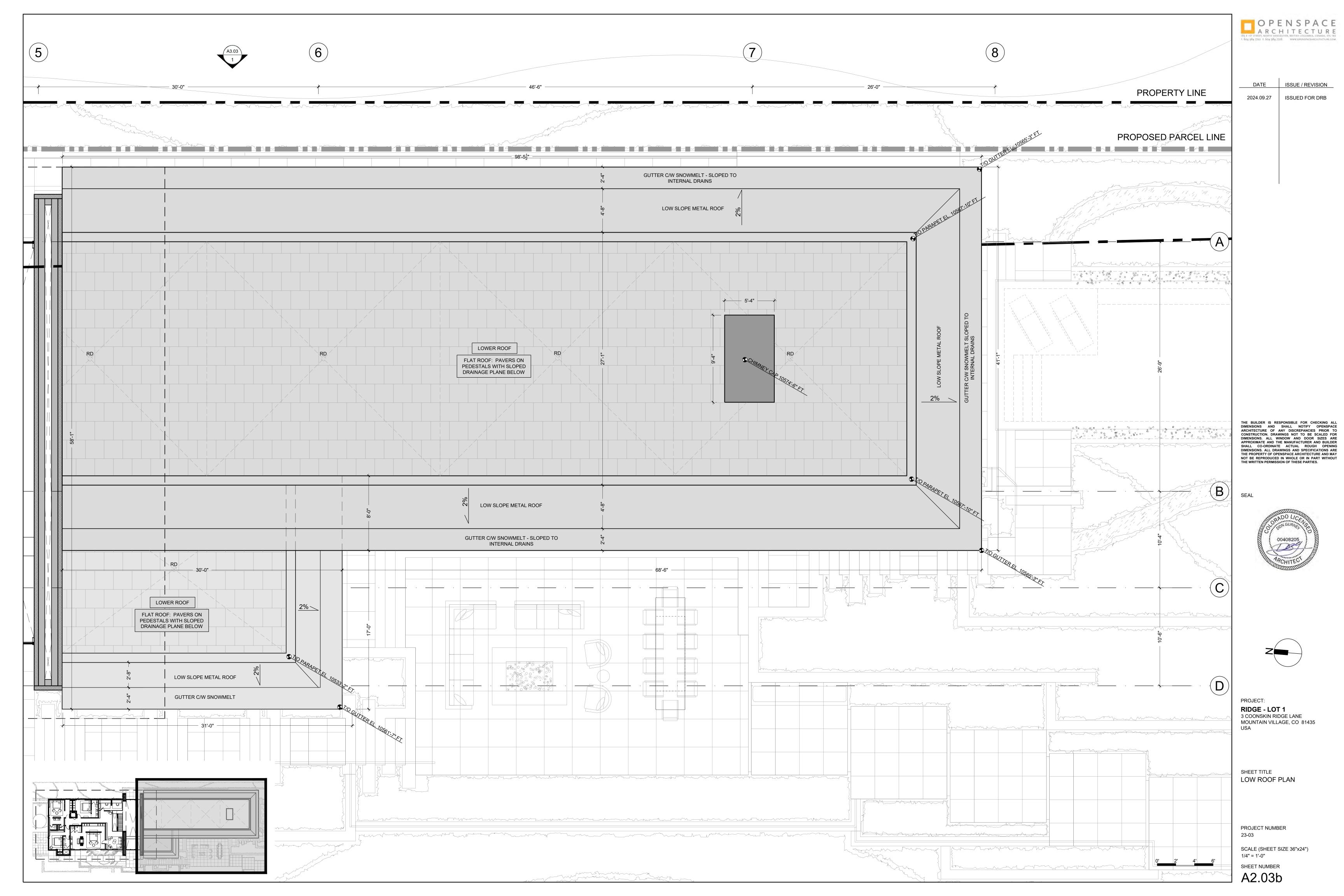


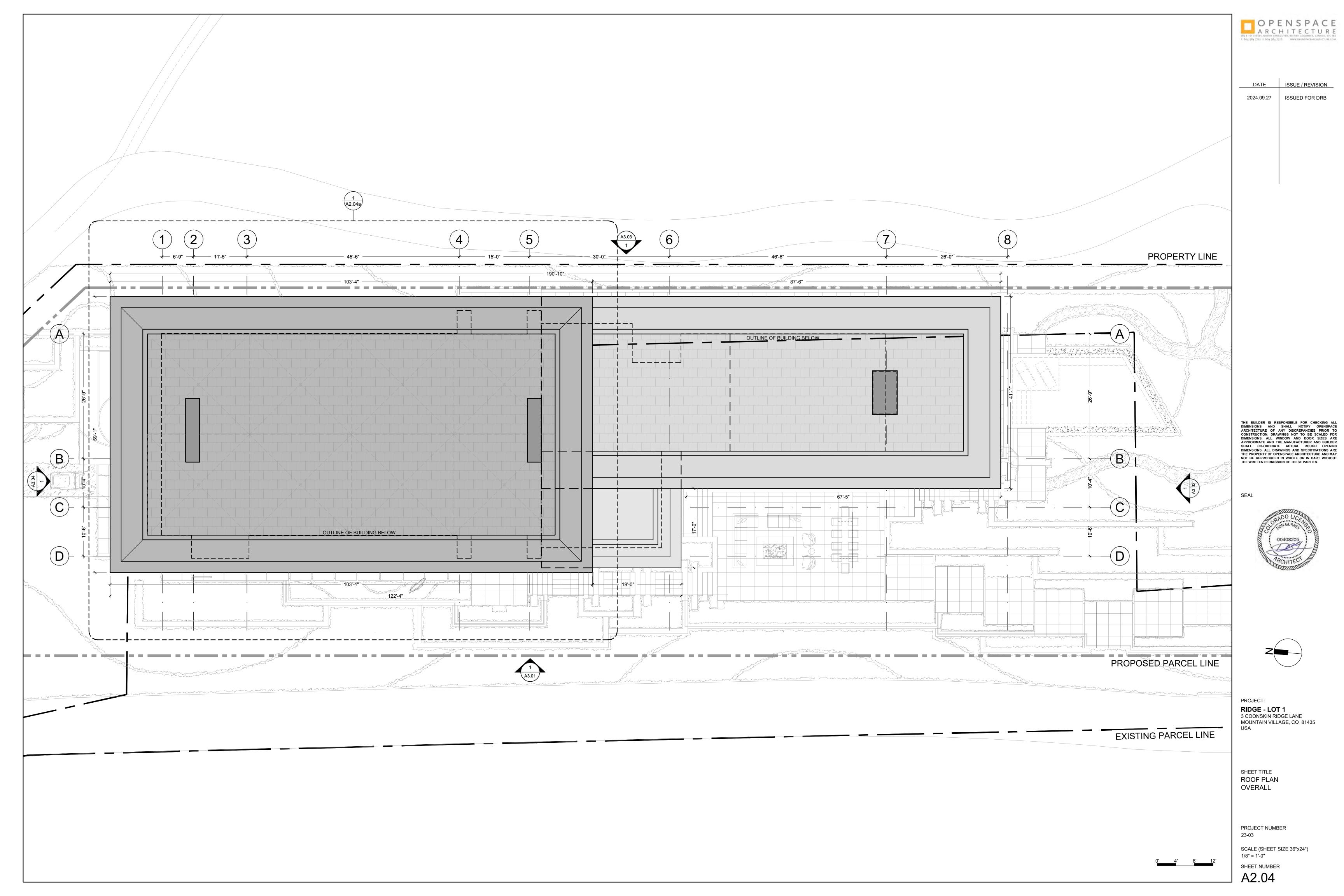


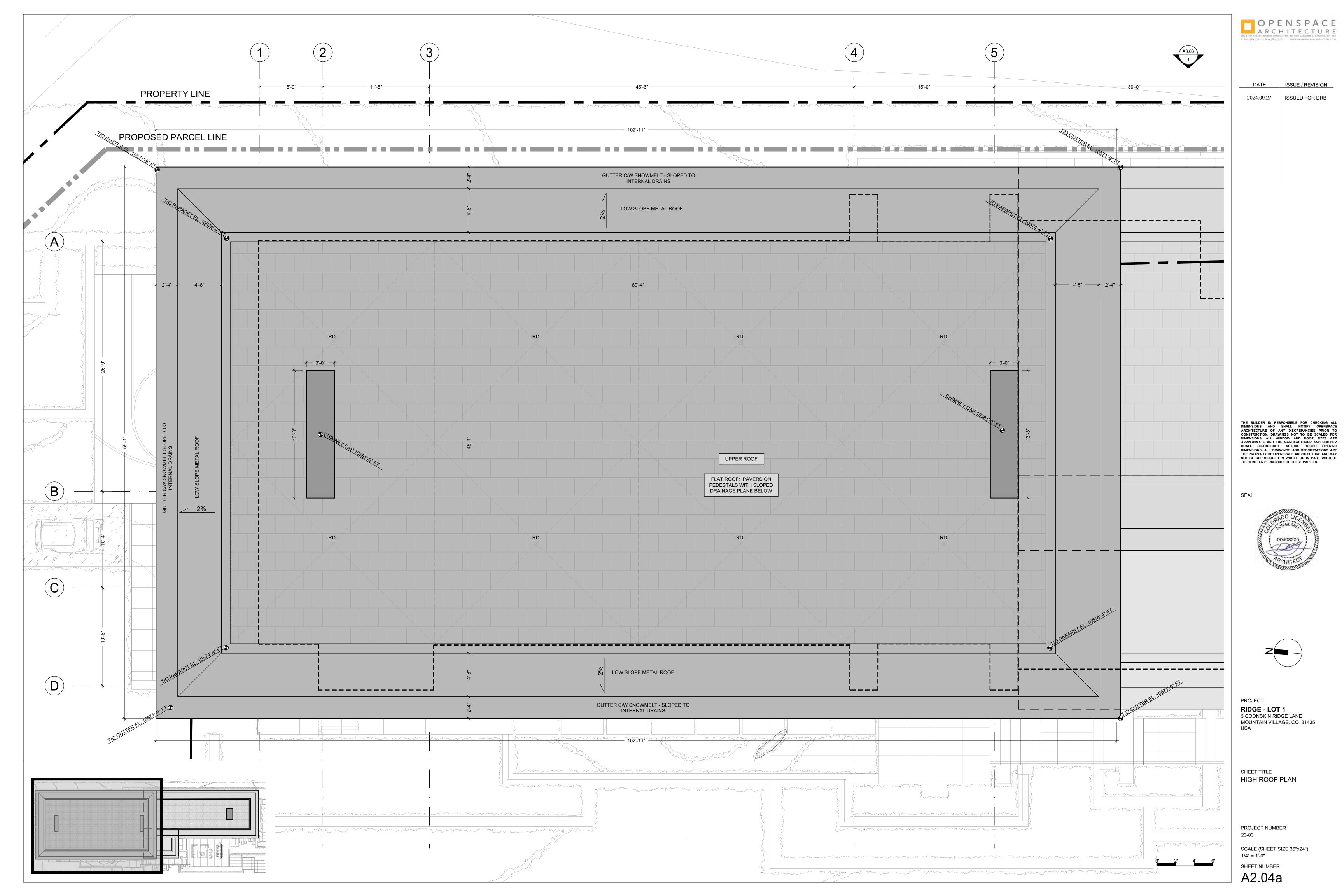






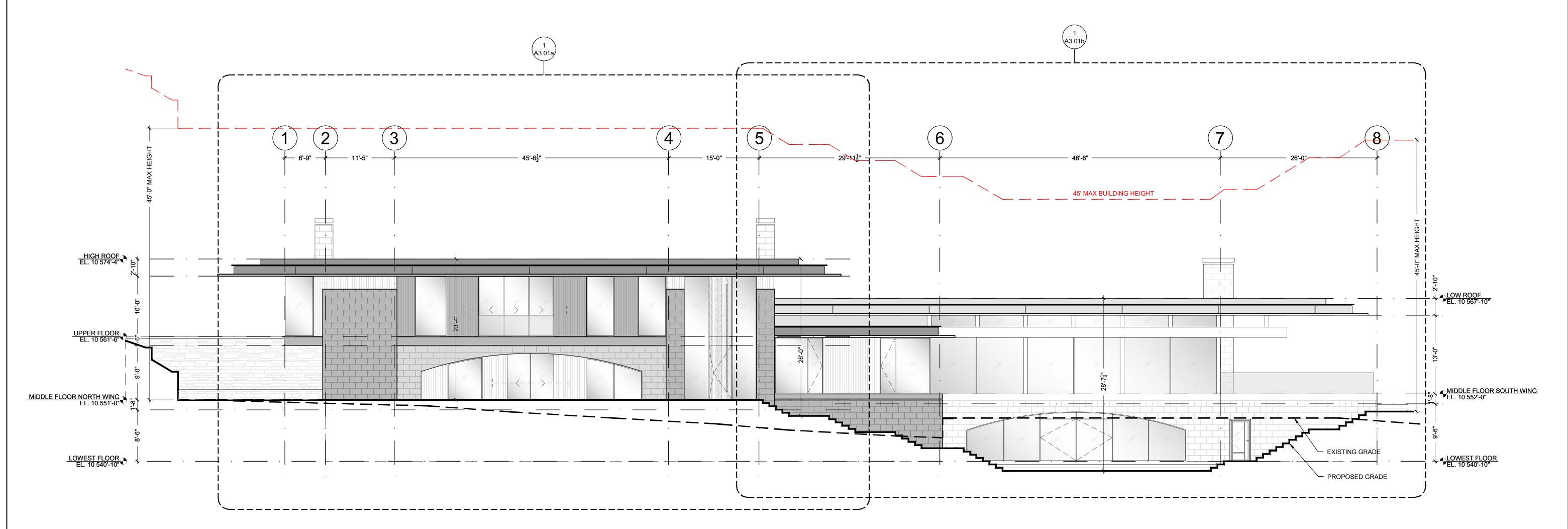








DATE	ISSUE / REVISION
2024.09.27	ISSUED FOR DRB



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#### SEAL



PROJECT:

RIDGE - LOT 1
3 COONSKIN RIDGE LANE
MOUNTAIN VILLAGE, CO 81435
USA

SHEET TITLE
WEST ELEVATION

PROJECT NUMBER 23-03

OVERALL

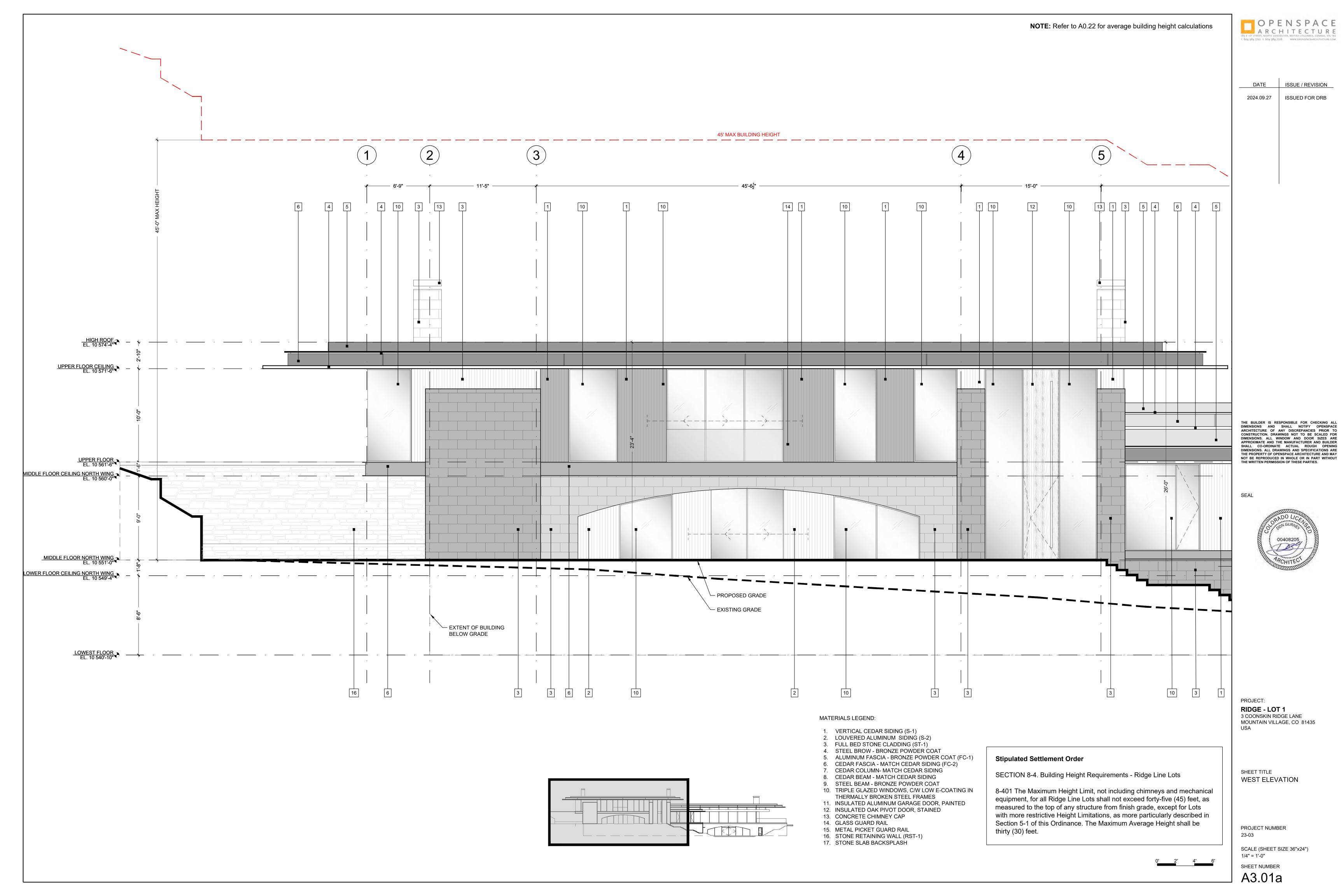
SCALE (SHEET SIZE 36"x24") 1/8" = 1'-0"

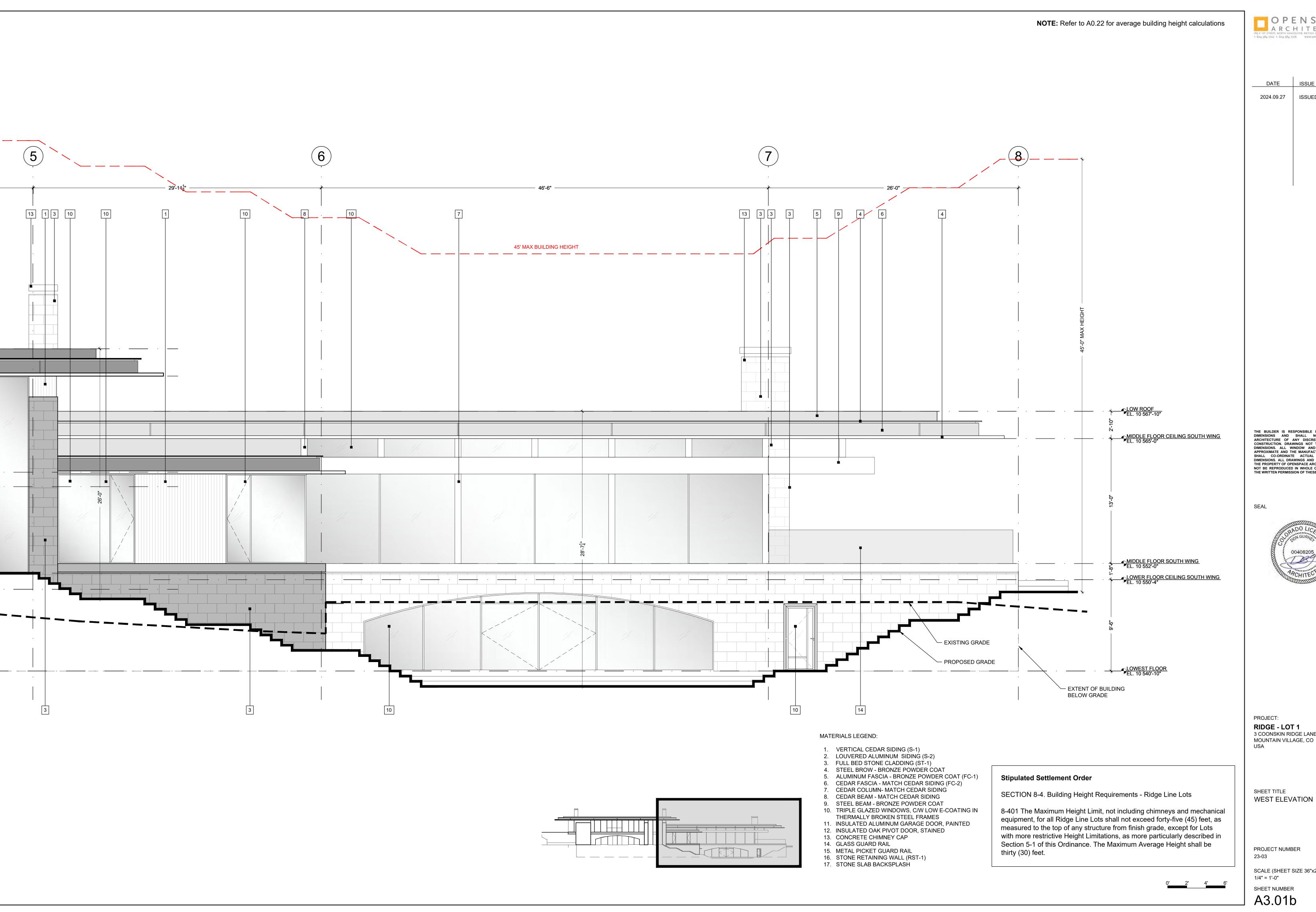
A3.01

# Stipulated Settlement Order

SECTION 8-4. Building Height Requirements - Ridge Line Lots

8-401 The Maximum Height Limit, not including chimneys and mechanical equipment, for all Ridge Line Lots shall not exceed forty-five (45) feet, as measured to the top of any structure from finish grade, except for Lots with more restrictive Height Limitations, as more particularly described in Section 5-1 of this Ordinance. The Maximum Average Height shall be thirty (30) feet.





ARCHITECTURE

ISSUE / REVISION ISSUED FOR DRB

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RIDGE - LOT 1
3 COONSKIN RIDGE LANE
MOUNTAIN VILLAGE, CO 81435
USA

SCALE (SHEET SIZE 36"x24") 1/4" = 1'-0"

A3.01b

measured to the top of any structure from finish grade, except for Lots

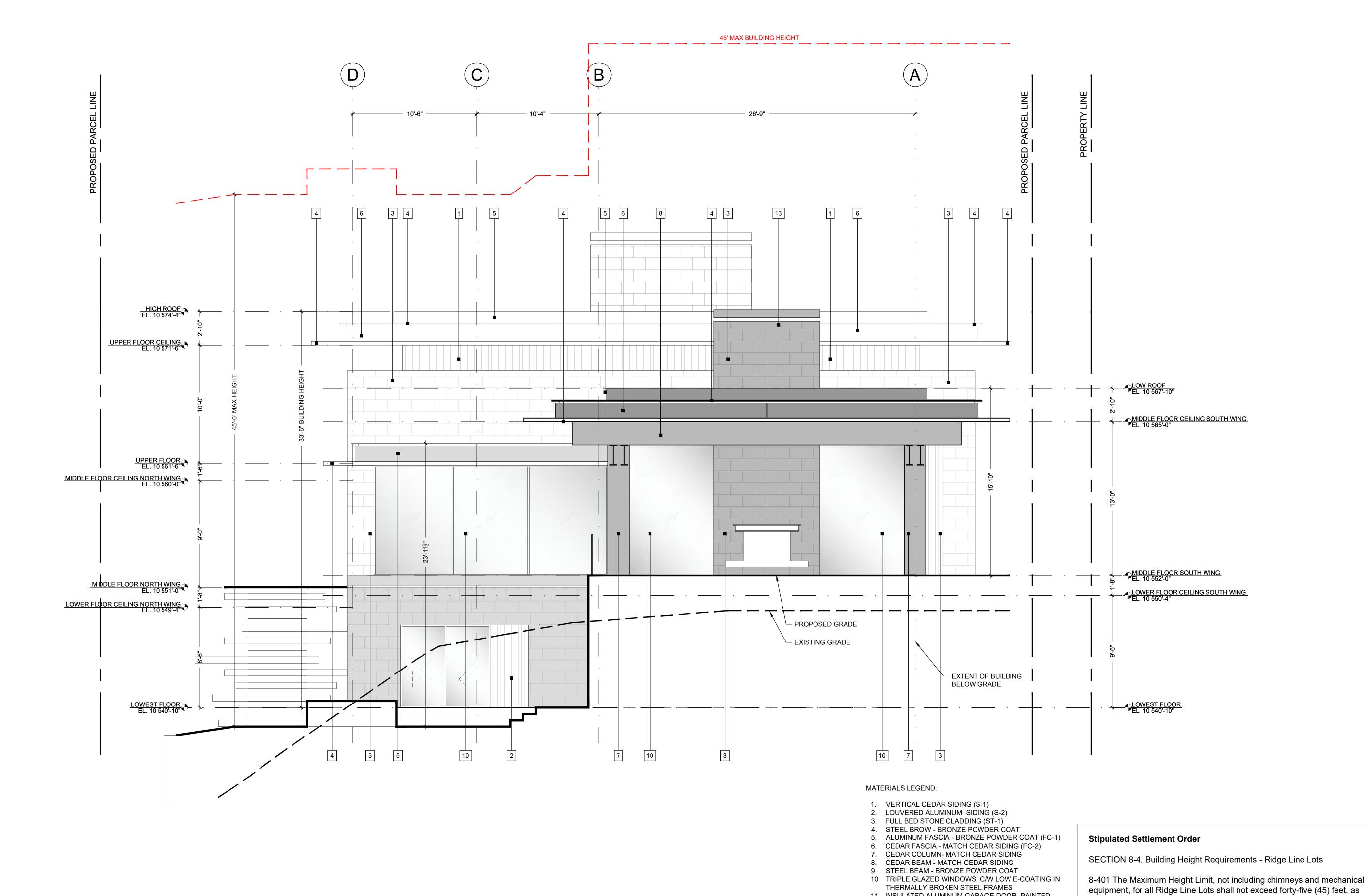
Section 5-1 of this Ordinance. The Maximum Average Height shall be

thirty (30) feet.

with more restrictive Height Limitations, as more particularly described in



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11. INSULATED ALUMINUM GARAGE DOOR, PAINTED

12. INSULATED OAK PIVOT DOOR, STAINED

13. CONCRETE CHIMNEY CAP

15. METAL PICKET GUARD RAIL

17. STONE SLAB BACKSPLASH

16. STONE RETAINING WALL (RST-1)

14. GLASS GUARD RAIL

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SEAL



PROJECT: RIDGE - LOT 1 3 COONSKIN RIDGE LANE MOUNTAIN VILLAGE, CO 81435

SHEET TITLE SOUTH ELEVATION

PROJECT NUMBER 23-03

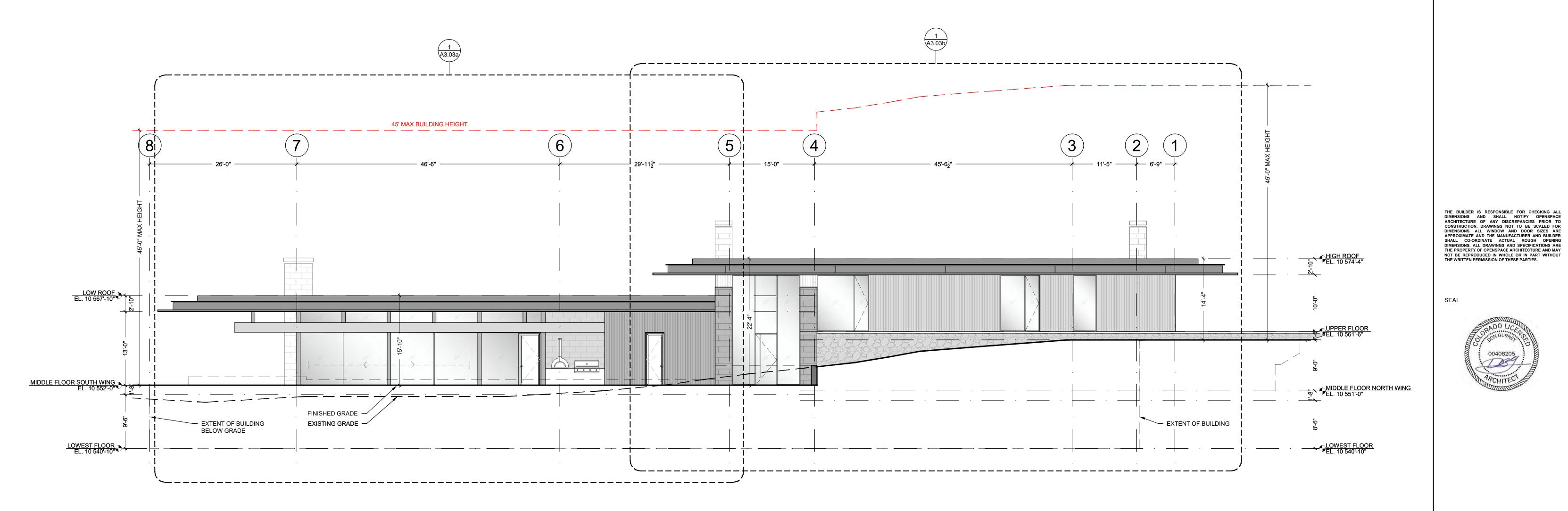
SCALE (SHEET SIZE 36"x24") 1/4" = 1'-0"

SHEET NUMBER

A3.02



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### Stipulated Settlement Order

SECTION 8-4. Building Height Requirements - Ridge Line Lots

8-401 The Maximum Height Limit, not including chimneys and mechanical equipment, for all Ridge Line Lots shall not exceed forty-five (45) feet, as measured to the top of any structure from finish grade, except for Lots with more restrictive Height Limitations, as more particularly described in Section 5-1 of this Ordinance. The Maximum Average Height shall be thirty (30) feet.

SHEET TITLE
EAST ELEVATION OVERALL

PROJECT:

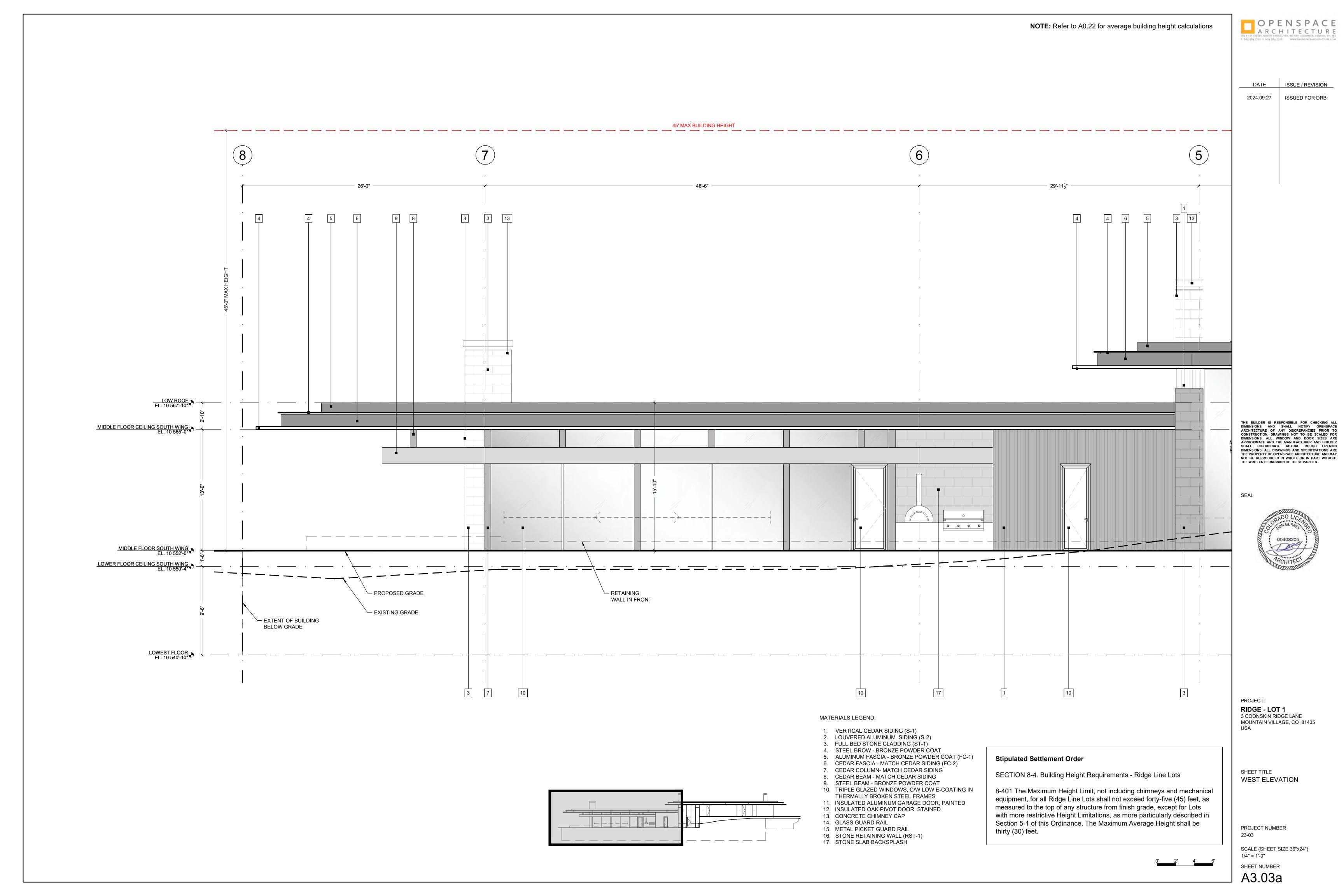
RIDGE - LOT 1
3 COONSKIN RIDGE LANE
MOUNTAIN VILLAGE, CO 81435
USA

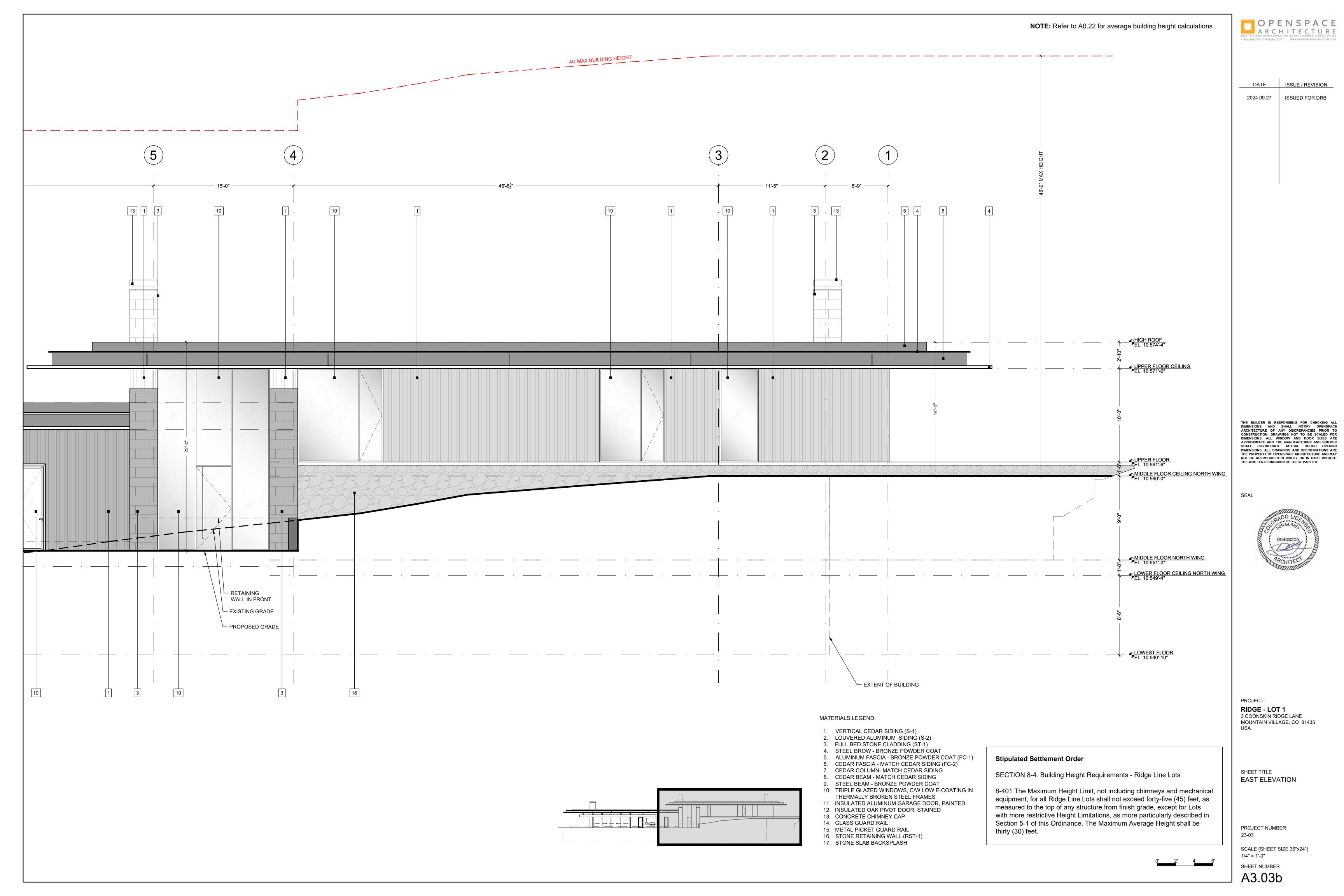
PROJECT NUMBER 23-03

SCALE (SHEET SIZE 36"x24") 1/8" = 1'-0"

SHEET NUMBER

A3.03







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SEAL



PROJECT: RIDGE - LOT 1 3 COONSKIN RIDGE LANE MOUNTAIN VILLAGE, CO 81435

SHEET TITLE NORTH ELEVATION

PROJECT NUMBER 23-03

SCALE (SHEET SIZE 36"x24") 1/4" = 1'-0"

SHEET NUMBER A3.04

2. LOUVERED ALUMINUM SIDING (S-2) 3. FULL BED STONE CLADDING (ST-1) 4. STEEL BROW - BRONZE POWDER COAT 5. ALUMINUM FASCIA - BRONZE POWDER COAT (FC-1) 6. CEDAR FASCIA - MATCH CEDAR SIDING (FC-2) CEDAR COLUMN- MATCH CEDAR SIDING 8. CEDAR BEAM - MATCH CEDAR SIDING

1. VERTICAL CEDAR SIDING (S-1)

MATERIALS LEGEND:

45' MAX BUILDING HEIGHT

3

10

3

GAS & ELEC SERVICE

6

9. STEEL BEAM - BRONZE POWDER COAT 10. TRIPLE GLAZED WINDOWS, C/W LOW E-COATING IN THERMALLY BROKEN STEEL FRAMES

EXISTING GRADE

ېة PROPOSED GRADE -

OUTLINE OF BUILDING

**BELOW GRADE** 

11. INSULATED ALUMINUM GARAGE DOOR, PAINTED 12. INSULATED OAK PIVOT DOOR, STAINED

13. CONCRETE CHIMNEY CAP

14. GLASS GUARD RAIL 15. METAL PICKET GUARD RAIL

17. STONE SLAB BACKSPLASH

16. STONE RETAINING WALL (RST-1)

SECTION 8-4. Building Height Requirements - Ridge Line Lots

8-401 The Maximum Height Limit, not including chimneys and mechanical equipment, for all Ridge Line Lots shall not exceed forty-five (45) feet, as measured to the top of any structure from finish grade, except for Lots with more restrictive Height Limitations, as more particularly described in Section 5-1 of this Ordinance. The Maximum Average Height shall be

thirty (30) feet.

Stipulated Settlement Order

MIDDLE FLOOR CEILING NORTH WING EL. 10 560'-0"





# MATERIAL LEGEND

- 1. Vertical Cedar Siding (S-1)
- 2. Louvered Aluminum Siding (S-2)
- 3. Full Bed Stone Cladding (ST-1)
- 4. Steel Brow Bronze Powder Coat
- 5. Low Slope Roof & Flashing Bronze Powder Coat (FC-1)
- 6. Cedar Fascia Match Cedar Siding (FC-2)
- 7. Cedar Column Match Cedar Siding
- 8. Cedar Beam Match Cedar Siding
- 9. Steel Beam Bronze Powdercoat

- 10. Triple Glazed Windows, c/w low E-coating in Painted steel frames
- 11. Insulated Aluminum Garage Door Bronze Powder Coat
- 12. Insulated Oak Pivot Door Stained
- 13. Concrete Chimney Cap Natural
- 14. Glass Guard Rail
- 15. Metal Picket Guard Rail/Pool Fence
- 16. Stone Retaining Wall (RST-1)
- 17. Paving stone / Accent Paving stone
- 18. Hemlock Soffit
- 19. Roof Paving stone



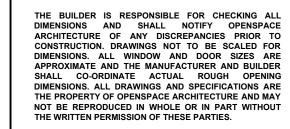












SEAL



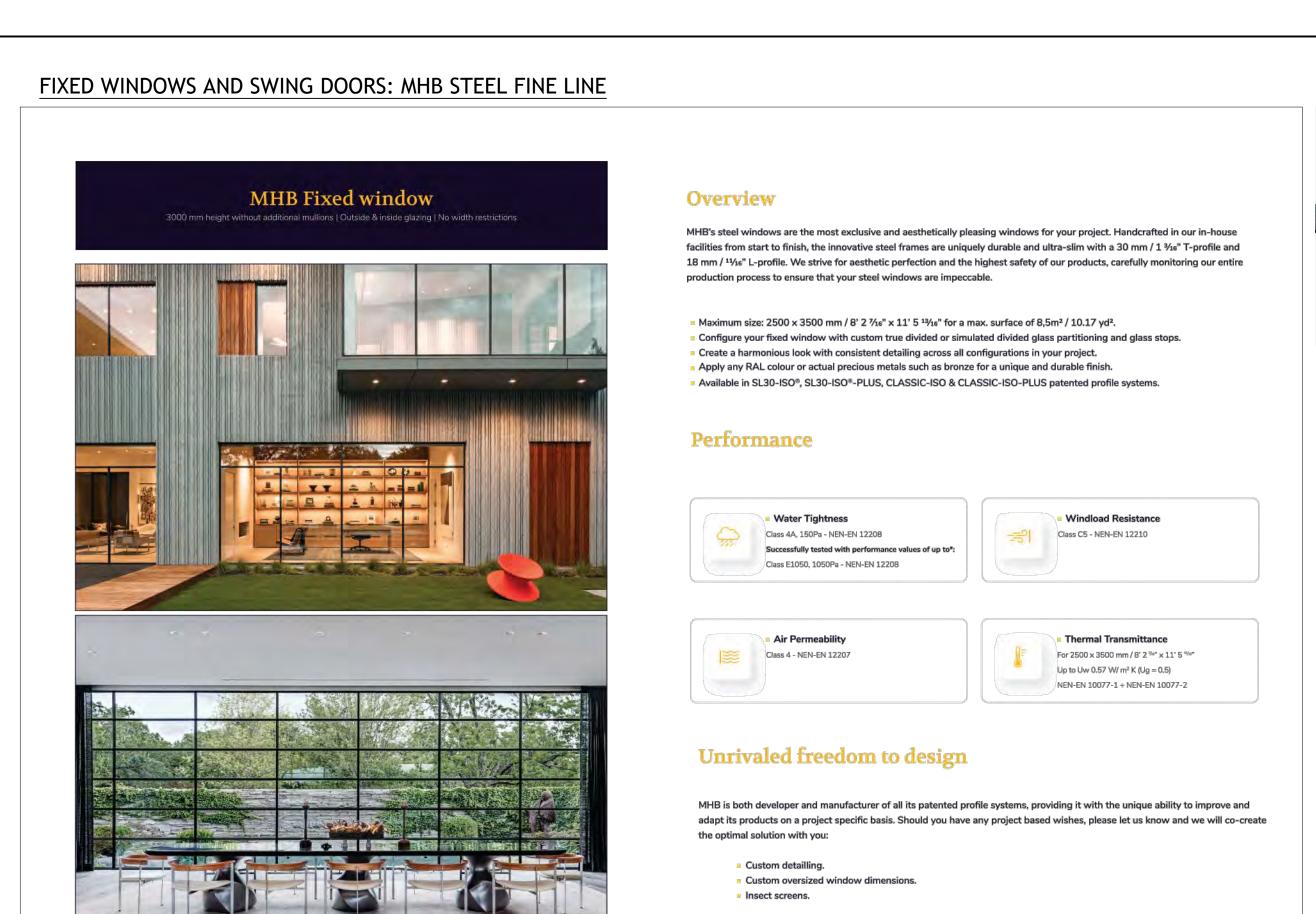
PROJECT: RIDGE - LOT 1 3 COONSKIN RIDGE LANE MOUNTAIN VILLAGE, CO 81435 USA

SHEET TITLE
MATERIAL PALETTE

PROJECT NUMBER

A3.10

SCALE (SHEET SIZE 36"x24") N/A SHEET NUMBER





#### SLIDING DOORS: SKY-FRAME ALUMINUM FINE LINE SYSTEM





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2024.09.27 ISSUED FOR DRB

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SEAL



PROJECT:
RIDGE - LOT 1

3 COONSKIN RIDGE LANE MOUNTAIN VILLAGE, CO 81435 USA

SHEET TITLE
WINDOW SCHEDULE
LOWER FLOOR

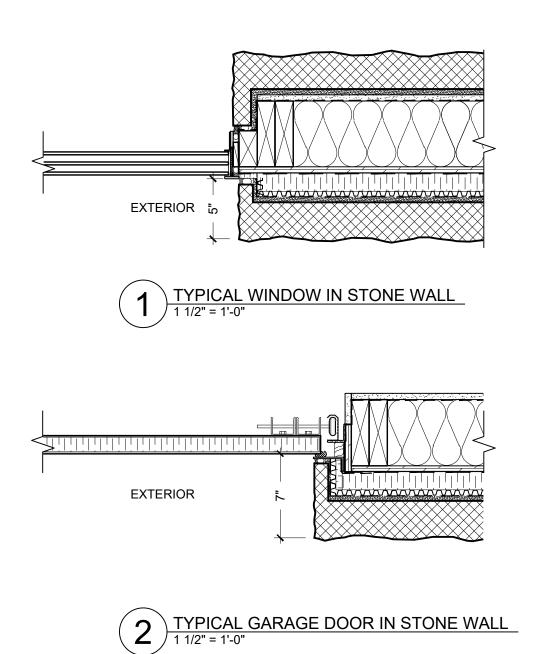
PROJECT NUMBER 23-03

SCALE (SHEET SIZE 36"x24") 1/4" = 1'-0"

A8.01

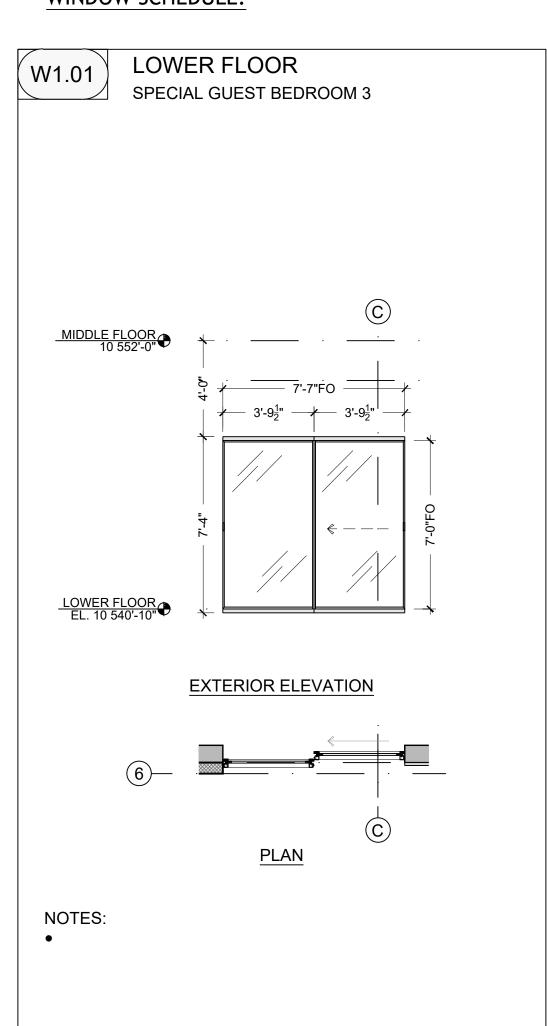
# WINDOW AND DOOR DETAILS:

мнв 💢

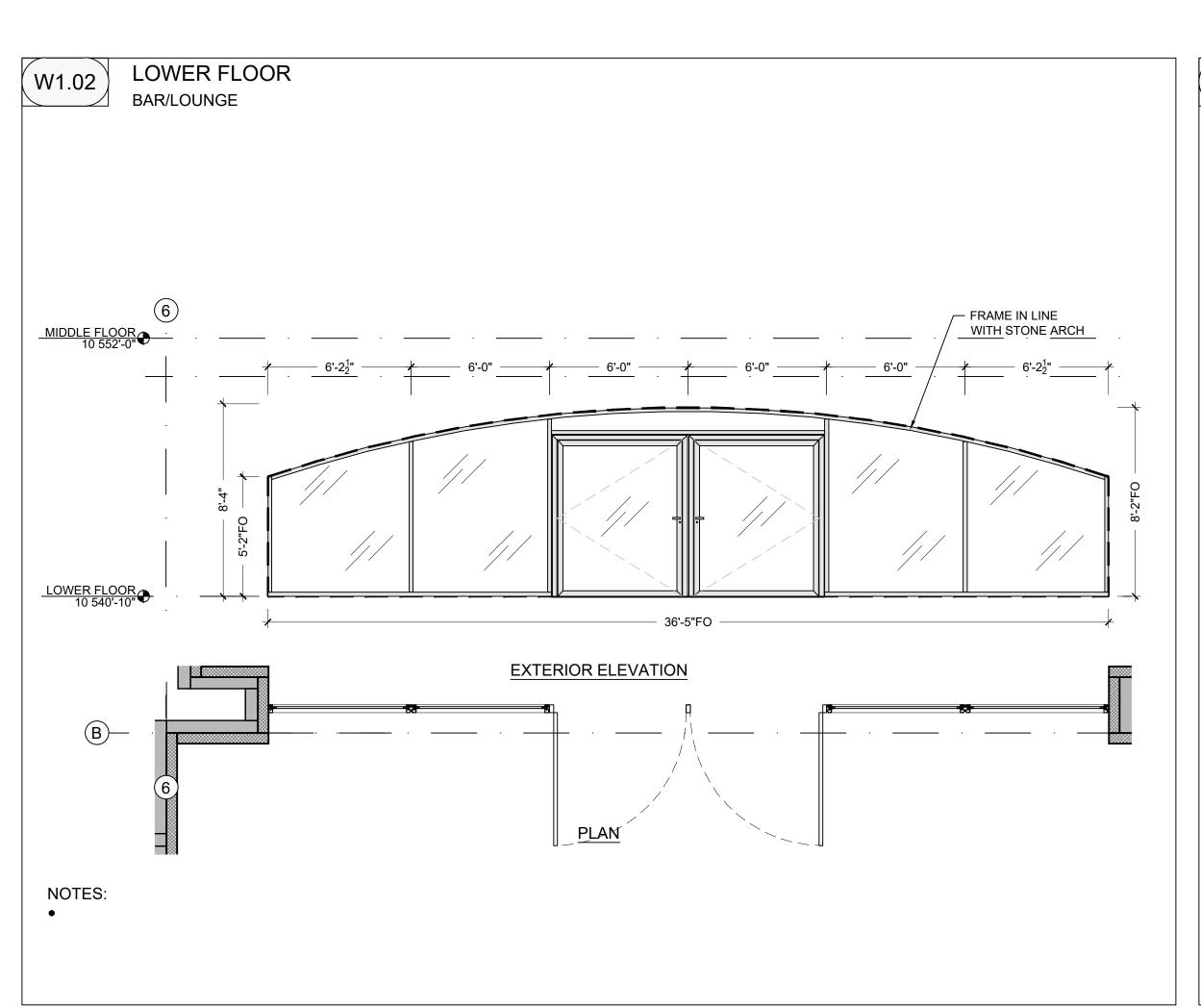


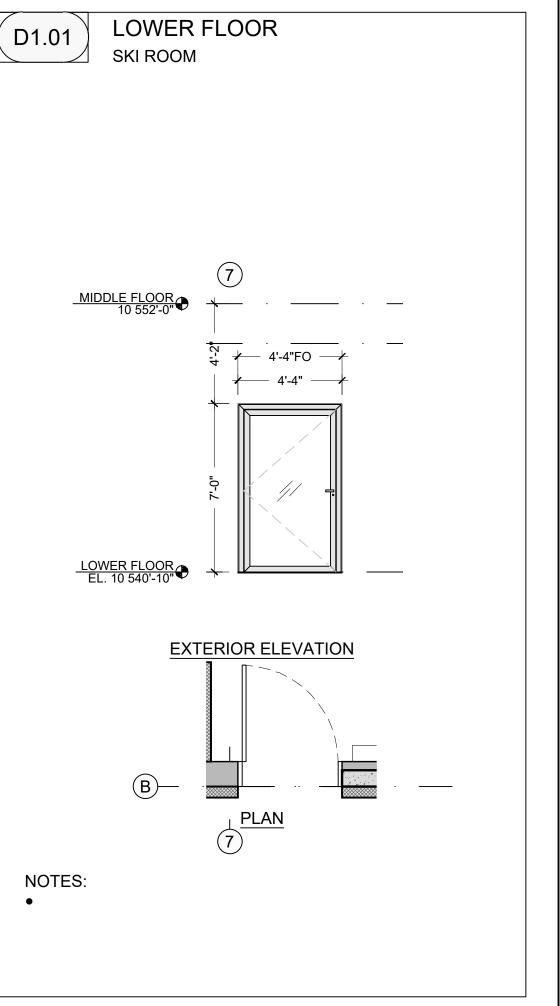
### WINDOW SCHEDULE:

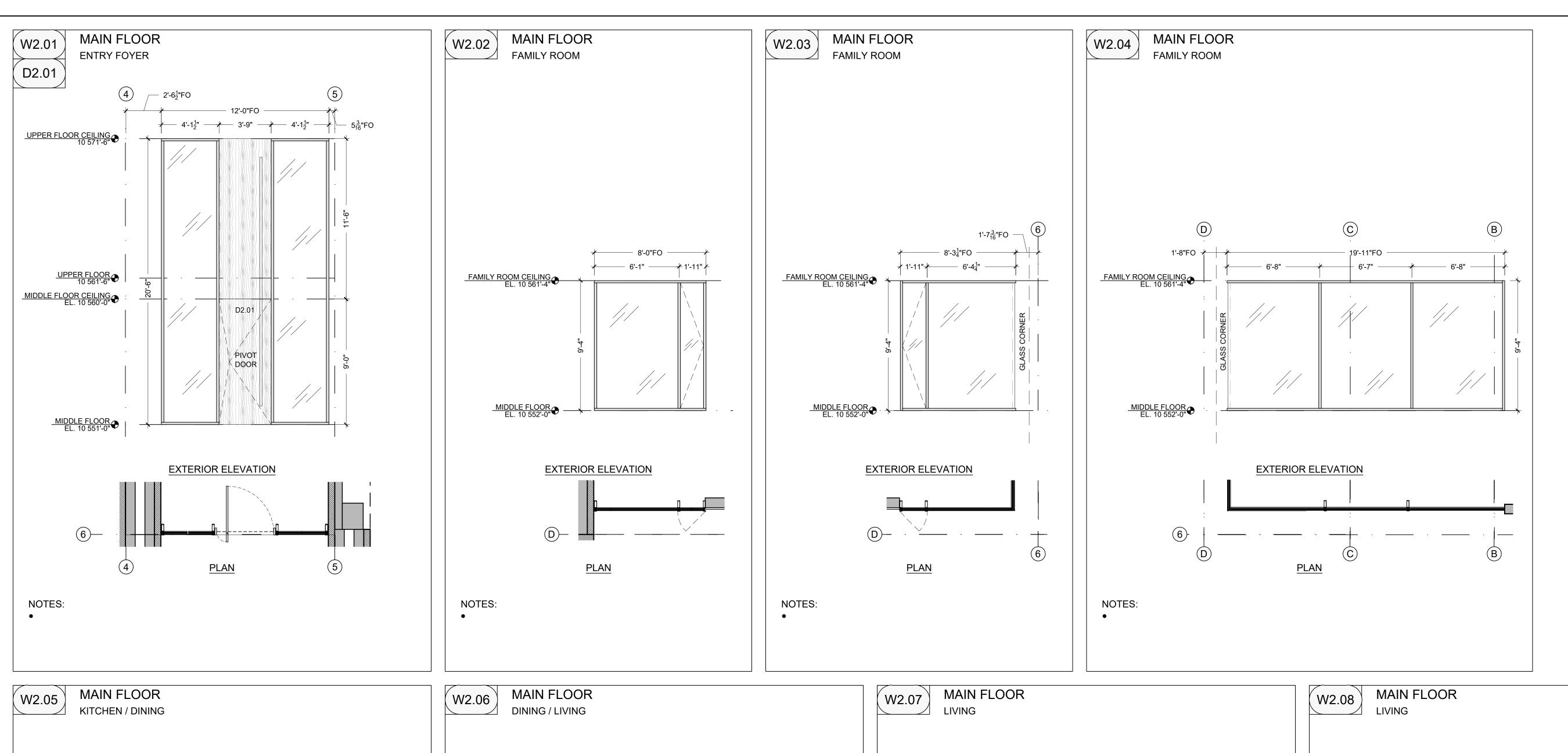
\* Summary of test results available upon request.

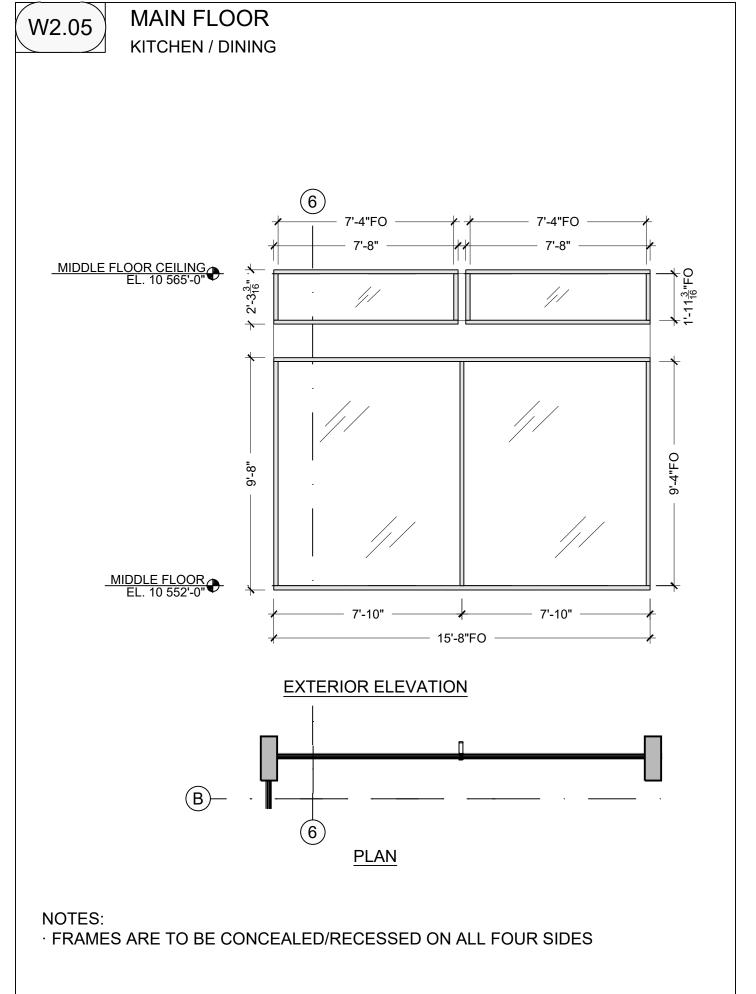


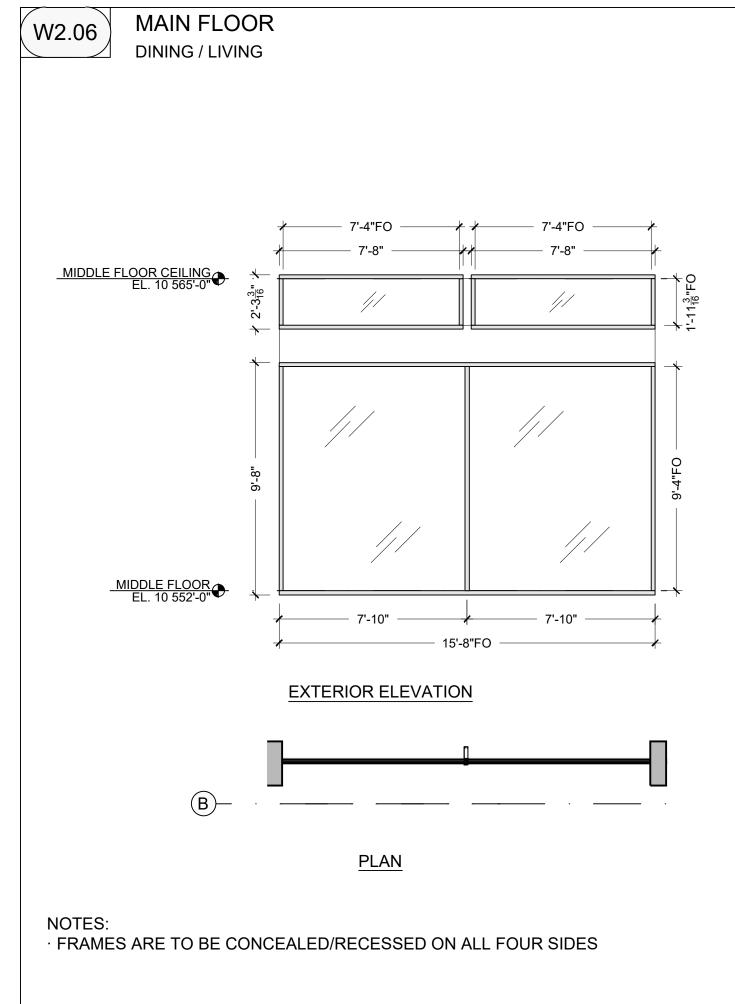
Dutch Masters of Steel since 1667

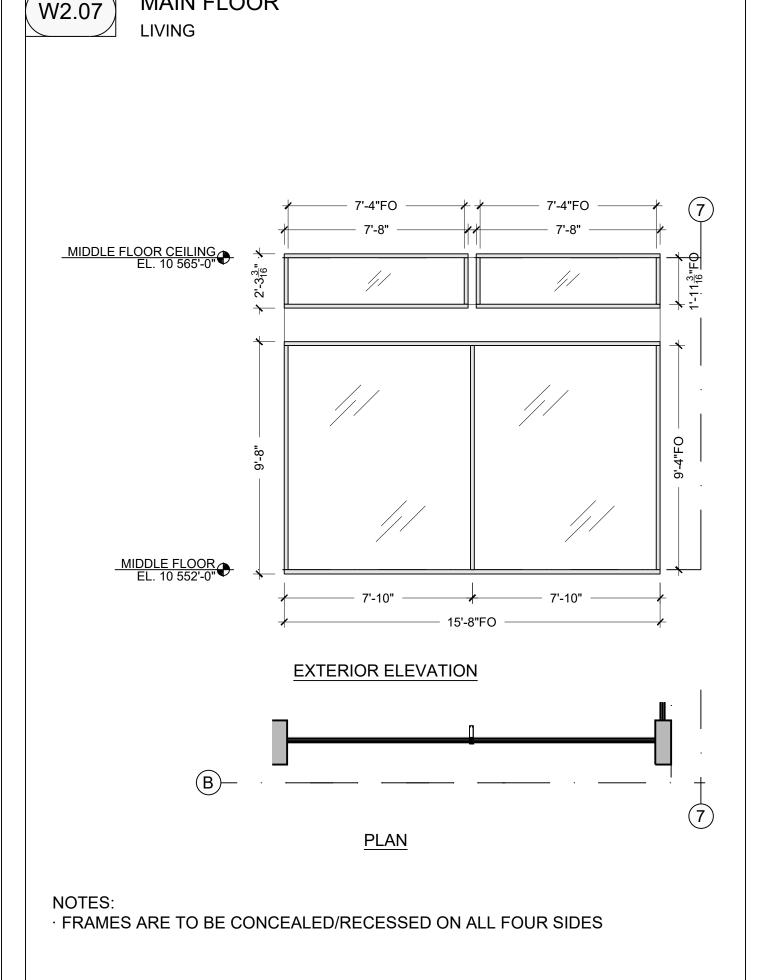


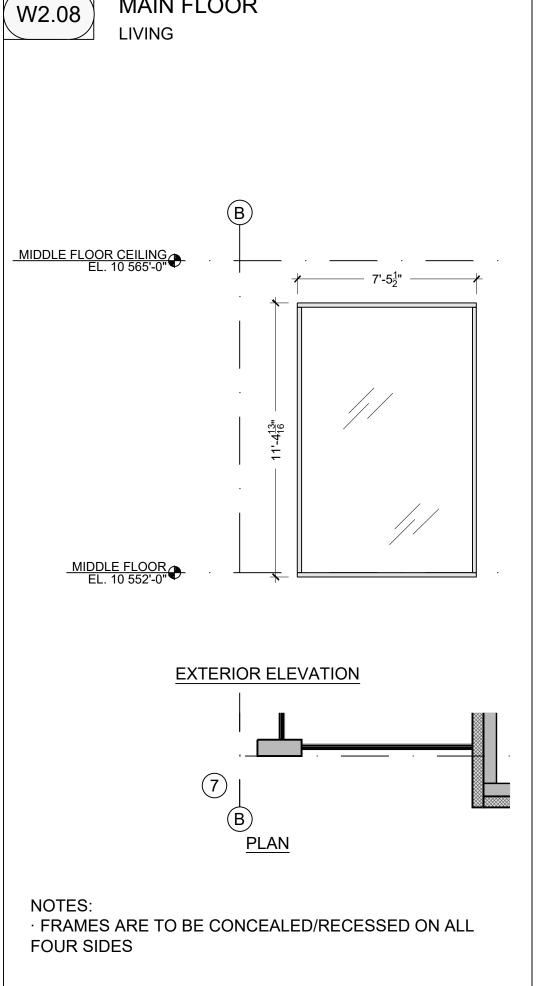








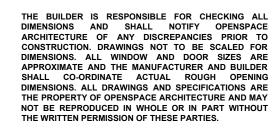






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SEAL



PROJECT:

RIDGE - LOT 1
3 COONSKIN RIDGE LANE
MOUNTAIN VILLAGE, CO 81435
USA

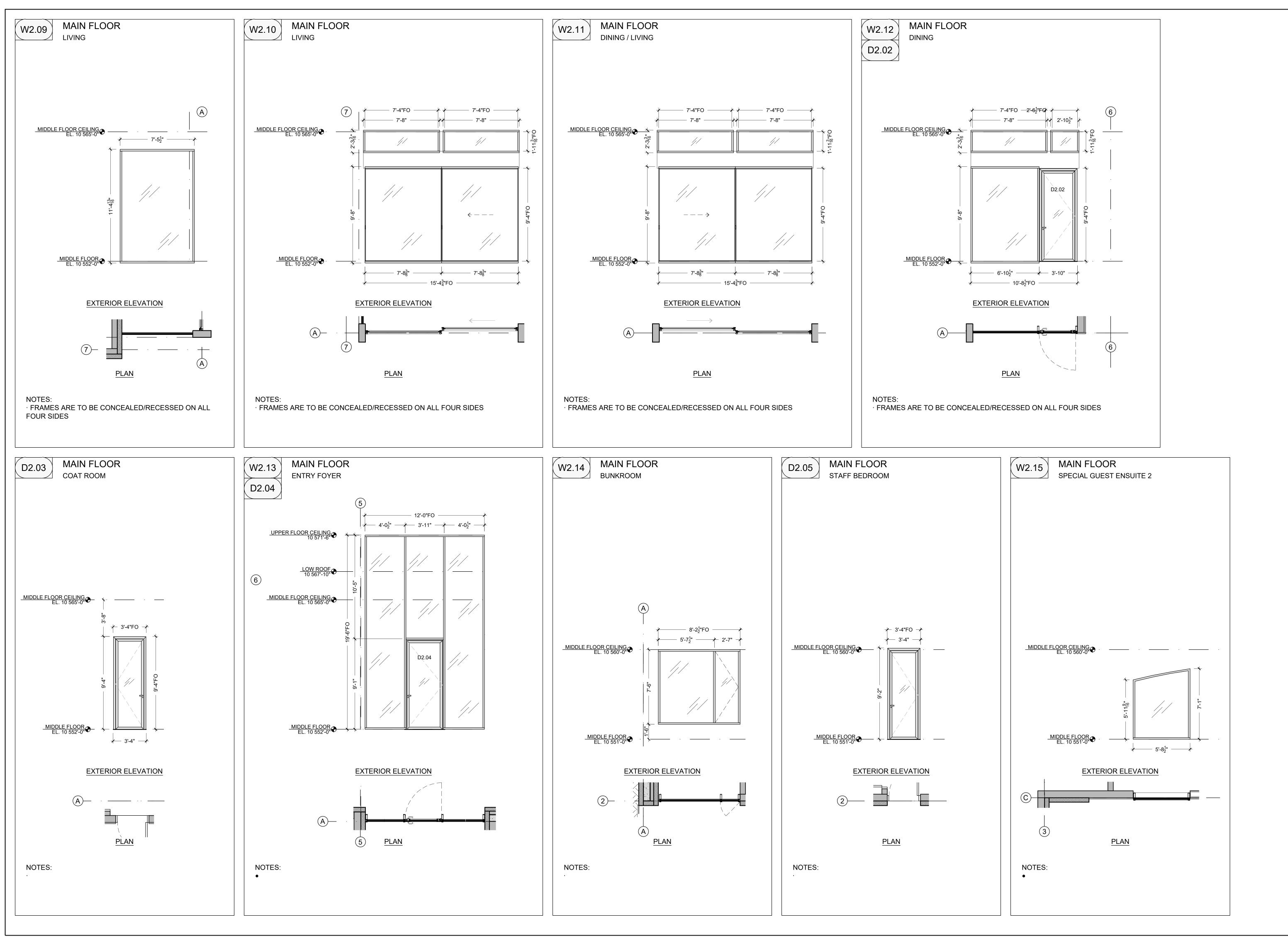
SHEET TITLE
WINDOW SCHEDULE
MAIN FLOOR

PROJECT NUMBER 23-03

SCALE (SHEET SIZE 36"x24") 1/4" = 1'-0"

SHEET NUMBER

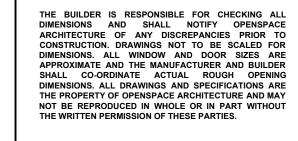
A8.02



OPENSPACE
ARCHITECTURE

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PROJECT:

RIDGE - LOT 1
3 COONSKIN RIDGE LANE
MOUNTAIN VILLAGE, CO 81435
USA

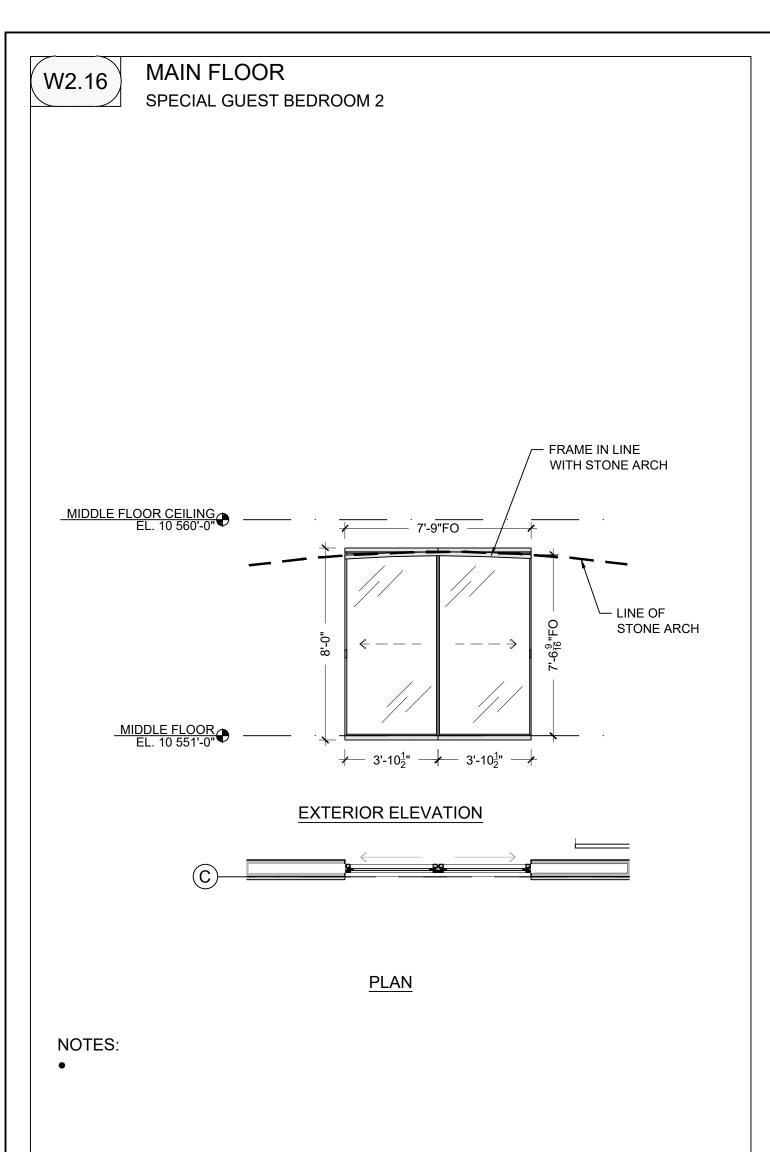
SHEET TITLE
WINDOW SCHEDULE
MAIN FLOOR

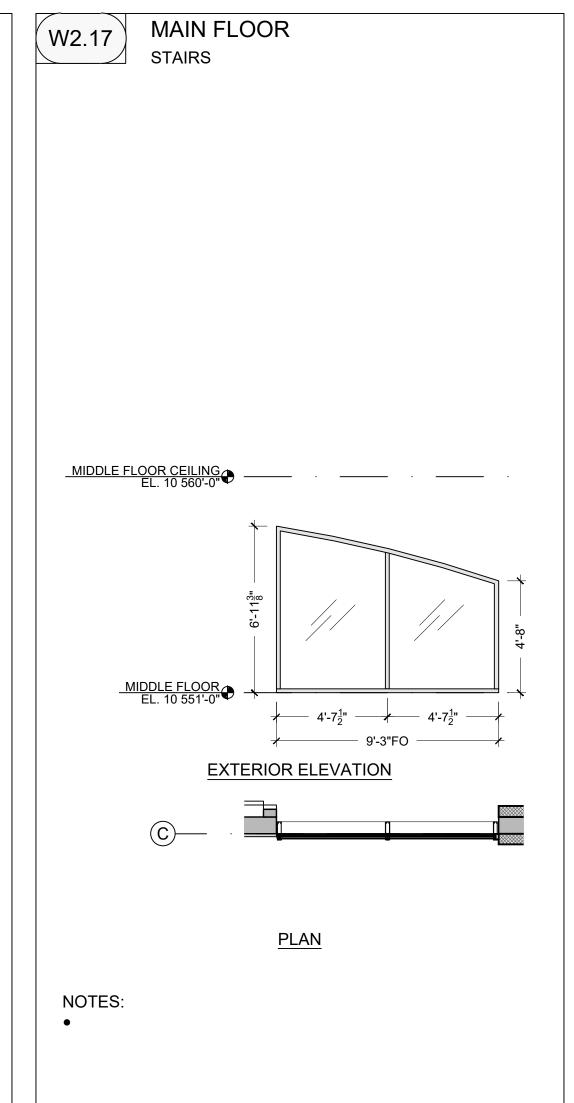
PROJECT NUMBER 23-03

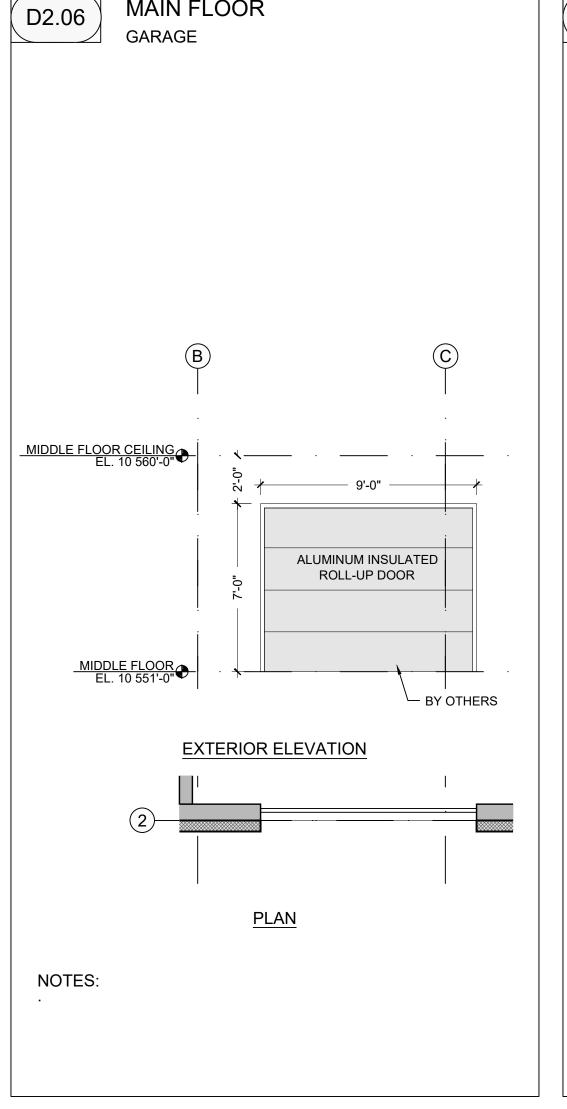
SCALE (SHEET SIZE 36"x24") 1/4" = 1'-0"

SHEET NUMBER

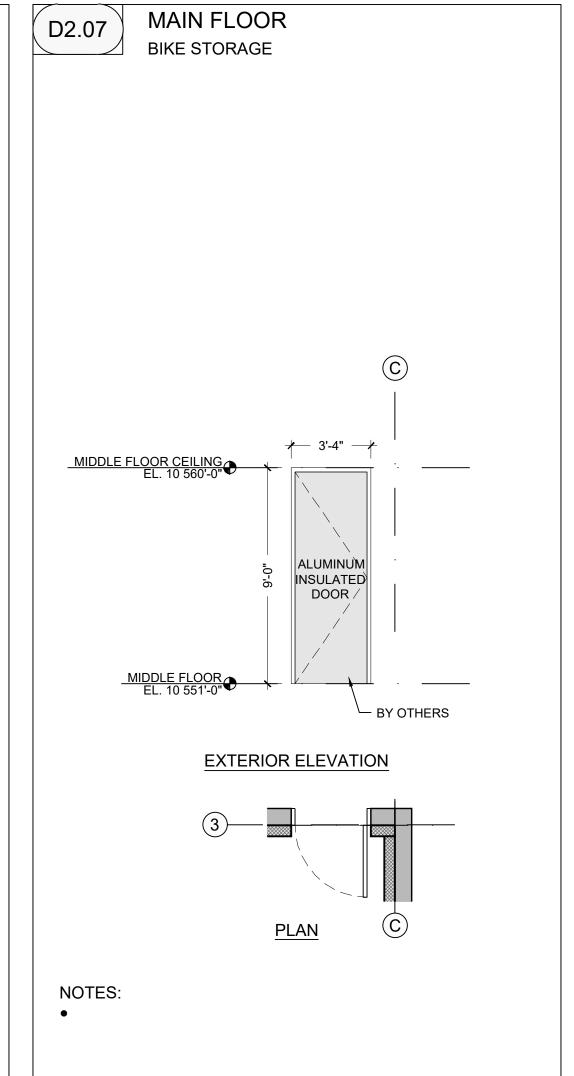
A8.03





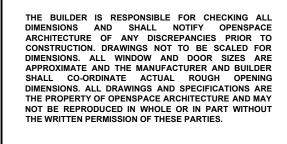


MAIN FLOOR





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2024.09.27	ISSUED FOR DRB



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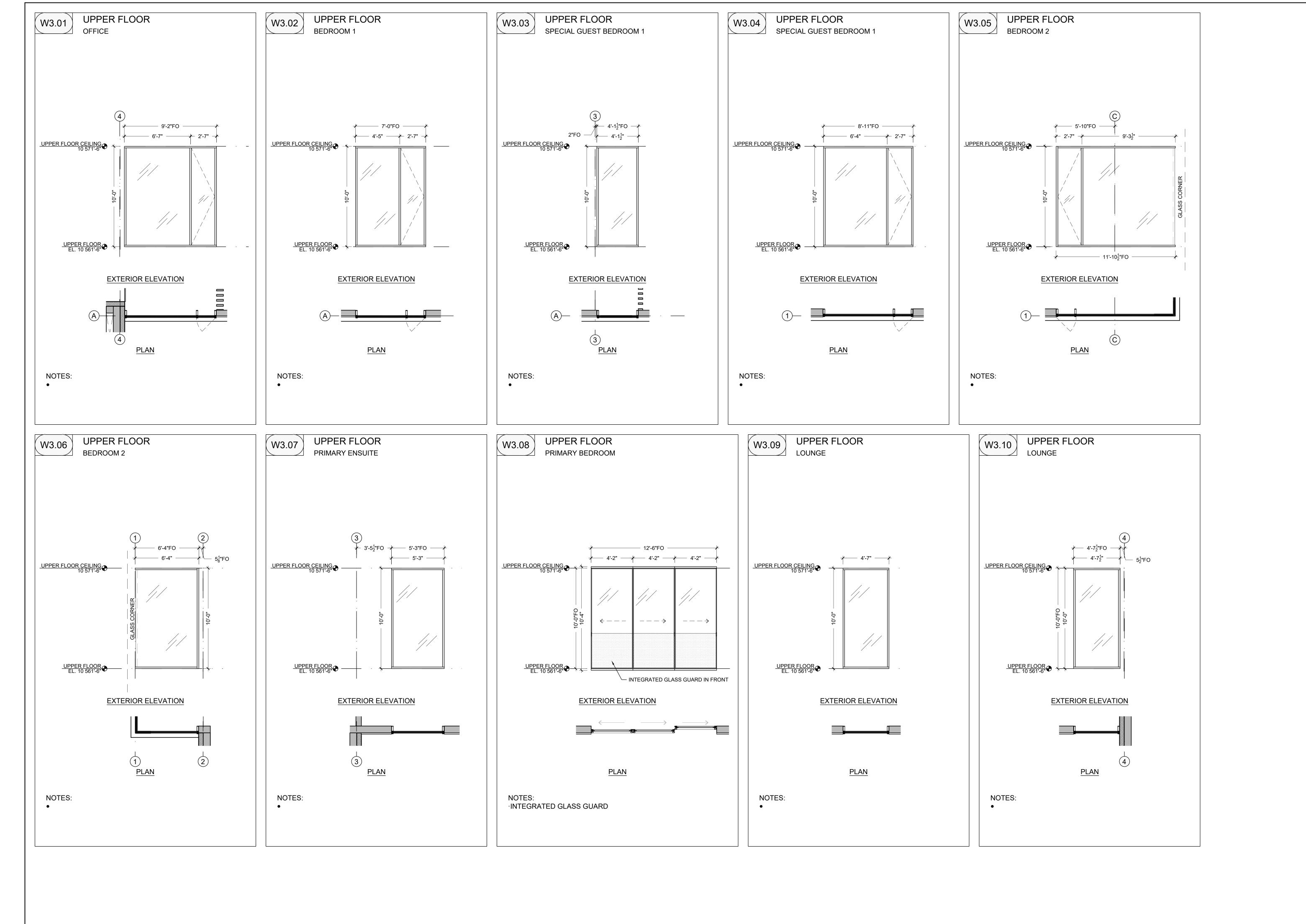
PROJECT: RIDGE - LOT 1
3 COONSKIN RIDGE LANE
MOUNTAIN VILLAGE, CO 81435
USA

SHEET TITLE WINDOW SCHEDULE MAIN FLOOR

PROJECT NUMBER 23-03

SCALE (SHEET SIZE 36"x24") 1/4" = 1'-0" SHEET NUMBER

A8.04



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SEAL

PROJECT:

SHEET TITLE

UPPER FLOOR

PROJECT NUMBER

SHEET NUMBER

A8.05

23-03

RIDGE - LOT 1

3 COONSKIN RIDGE LANE MOUNTAIN VILLAGE, CO 81435 USA

WINDOW SCHEDULE

SCALE (SHEET SIZE 36"x24") 1/4" = 1'-0"