



PROJECT: 106 Cabins Lane
REGARDING: TOMV Preliminary Design Review Narrative
DATE: 03.06.2025

Site

The vacant site is located on the East side of Cabins Lane, within the Gold Hill neighborhood. The terrain slopes down to the East toward a drainage at the bottom of the hill leaving the building envelope confined to the Western portion of the lot. The orientation of the B.E. is generally running East / West, and the primary long views are to the North.

Design

Most of the homes on the East side of Cabins Lane employ an Architectural configuration consisting of the garage being the first element that a visitor would encounter with the front door being set backwards some amount. The design of the home at Gold Hill Lot 6 follows suit by using the same organizational concept. The driveway slopes down from Cabins Lane and the front entry is located to the South and beyond relative to the Garage door. The entry of the home is at the same level of the Garage, the occupant would descend about 4 feet to the Living / Dining / Kitchen area. The upper most level of the home is host to the Primary bedroom which offers spectacular views to the North. The lower level has 2 bedrooms, a bunk room and a family room. The lower deck offers connection to grade. Grade flanking the sides of the home will equal approximately existing grade. The topography of the lot does not allow for occupiable landscape areas and as a result outdoor living will occur on decks. The Architectural character of this home is meant to fit in well with the neighborhood from a geometry and material standpoint.

Lighting

We work within the constraints of the night sky initiative frequently. The Entry of the home has a combination of ceiling mounted lights and a singular wall sconce at the front door. Step lights have been placed at the exterior of the building at walkways and doorways to assist the occupant in safely navigating the property while not creating an oppressive beacon of light in the night. The back decks also have ceiling mounted lights per TOMV code.

Construction

This steep lot is bracketed by existing homes on both sides and is only accessible from the street side. It will be up to the general contractor to coordinate sequencing to avoid impacts to the neighboring properties. Contractor parking will need to be coordinated to minimize the nuisance of construction within the neighborhood. Only a certain number of spaces will be available on site, the General Contractor may have to implement a shuttle or other means to convey laborers to the site. Parking will be addressed in the Construction Management Plan.

Property and Zoning Information

Legal Description: LOT GH-6, THE CABINS AT GOLD HILL, AN AMENDMENT TO THE FINAL PLAT OF LOTS 166B, 166C, 166D, 166E, AND 166F, TELLURIDE MOUNTAIN VILLAGE, FILING 31, TOWN OF MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED APRIL 16, 1997 IN PLAT BOOK 1 AT PAGE 2228, COUNTY OF SAN MIGUEL, STATE OF COLORADO

Parcel ID: 477910100071

Address: 106 Cabins Lane Mountain Village, CO 81435

Lot Size: 7,675 SF

Zone District: Single Family

Max Building Height: Required = 40' for Gable Roof. Proposed = 38.7"

Average Building Height: Required = 30'. Proposed = 28.3'

Lot Coverage: Required = 40% Max. Proposed = 38.9%

Setbacks:

Front: Required = 5'. Proposed = 15'-8"

Sides: Required = 5". Proposed North = 6'-6". Proposed South = 6'-6"

Rear: Required = 64'. Proposed = 65'

Roof Pitches: Primary 8"/12". Secondary 5"/12"

Exterior Materials:

Stone: Required = 35% Minimum. Proposed = 38.65%

Windows: Required 40% Maximum. Proposed = 18.27%

Parking: Required = 2 Enclosed. Proposed 2 Enclosed

17.5.4.F: Town Design Theme

1. The home is sited very similarly to the other homes located on the East side of Cabins Lane, garage and entry doors located on the West side of the home. The prominent views are to the North, although largely obscured by trees and other homes on all levels excluding the upper level. All trees surrounding the building envelope will need to be removed, trees to the East (down the hill) will remain as much as able within the constraints of fire mitigation.

2. The simple massing steps down with the topography and appears low from the street view.

3. All uncovered portions of the home at grade are resting upon a rusticated base to withstand the alpine snow conditions. Covered or otherwise exposed facades will have a hefty base flashing to combat the alpine snow conditions.

4. All roofs to be guttered and contain snow retention bars for the safety of the occupants and their surroundings.

5 & 6. Exterior materials have been chosen for their natural quality and their ability to fit in with the neighborhood.

15.5.5.A. Building Siting Design

1. The siting of the building and routing of driveway and walkways are designed in a similar manner to the other homes in the neighborhood. Utility meters are located to be screened somewhat from the street, but still provide access for maintenance. Drainage will be directed away from the home and largely follow the existing topography; down the hill.

Design Variation: 17.3.13 D: We will likely be asking for on grade utility access stairs to be located outside of the B.E.

2. The building siting, foundation plan and construction plan envisions minimizing the amount of site disturbance as reasonable while allowing for tree and fire mitigation as noted on the Civil plans.

3. All roofs will be guttered and contain snow retention bars for the safety of the occupants and their surroundings.

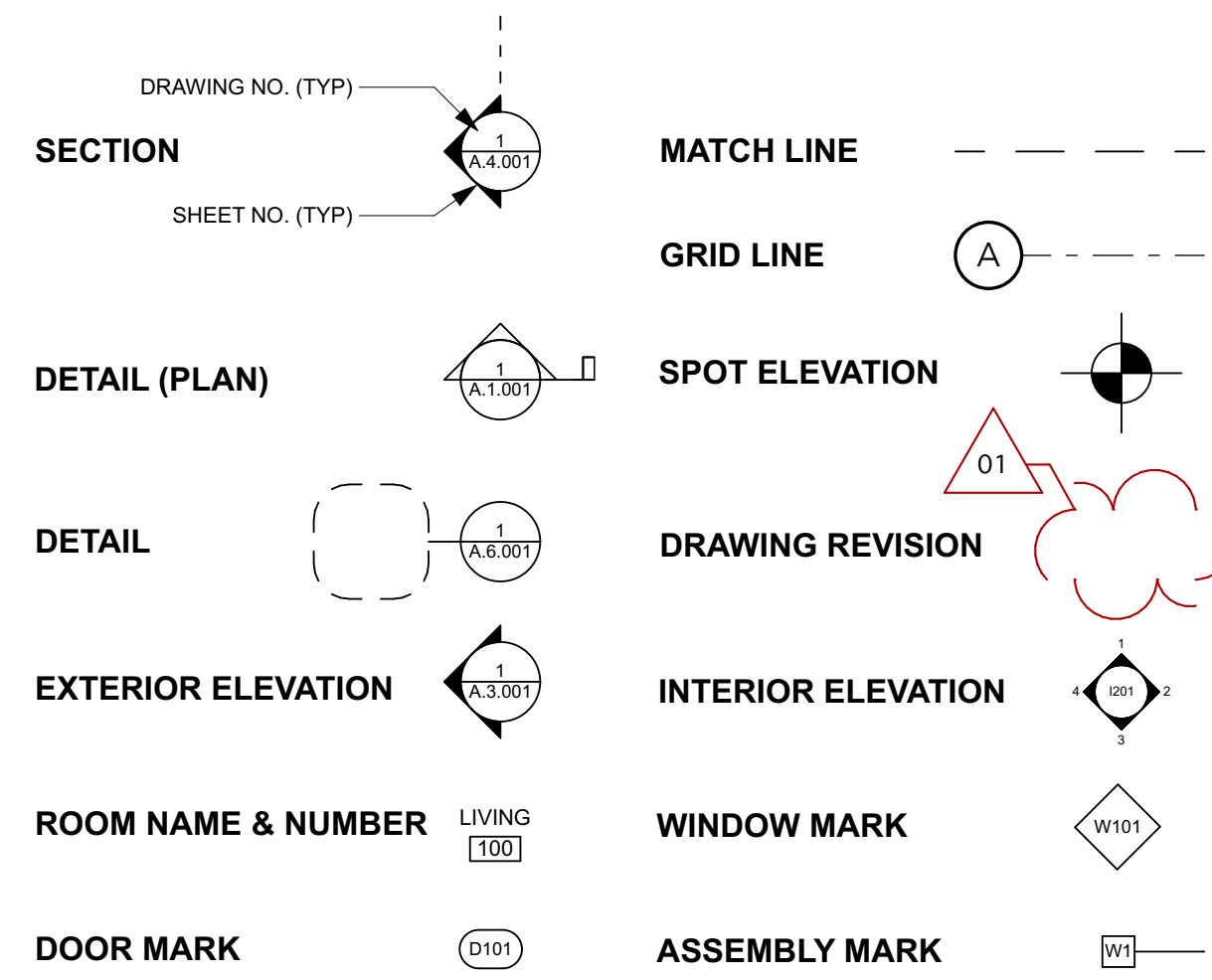
17.5.6.A Building Form

The form of the building has a substantially grounded base. The massing of the overall building is broken into smaller elements in floor plan and in elevation. Masonry walls have only a select few windows located, they will be recessed back from the face of the masonry to reveal a 5" depth to convey heavy, thick massing.

17.5.6.B Exterior Wall Form

Walls of varied materials overall are simple in design allowing the larger expanses of windows to express views from the interior with overhangs assisting in shielding the glass from the adjacent view lines. A heavy stone base supports the majority of the home.

SYMBOL LEGEND



Gold Hill Lot 6

Town of Mountain Village, CO

TOMV Preliminary - 03/06/25

PROJECT INFO:		CODE & ZONING INFORMATION:		PROJECT SCOPE:
PROJECT ADDRESS:	106 Cabins LN Town of Mountain Village CO 81435	IRC EDITION:	2018	Single family residence to be constructed on vacant land.
JURISDICTION:	Town of Mountain Village	IECC EDITION:	2021	
PARCEL ID:	477910100071	CLIMATE ZONE:	6B	
LEGAL DESCRIPTION:	LOT GH 6 THE CABINS AT GOLD HILL	ZONING DISTRICT:	Single-Family	
SUBDIVISION:	CABINS AT GOLD HILL-7034	HOA:	THE CABINS AT GOLD HILL	
BLOCK:	Section 10 Township 42 Range 09			
LOT NUMBER:	Lot 6			
LOT SIZE:	7675 SF			

GENERAL

- A001 COVER SHEET SURVEY
- A002 SITE PLAN
- A003 HEIGHT PLANS
- A004 EXTERIOR MATERIAL AREAS
- A005 LANDSCAPE

CIVIL

- C1 NOTES
- C2.1 GRADING AND DRAINAGE
- C3 UTILITIES
- C4 CONSTRUCTION MITIGATION AND ACCESS
- C5 FIRE MITIGATION

ARCHITECTURAL

- A101 LOWER LEVEL PLAN
- A102 MAIN LEVEL PLAN
- A103 UPPER LEVEL PLAN
- A104 ROOF PLAN
- A201 ELEVATIONS
- A202 ELEVATIONS
- A203 3D EXTERIOR 1
- A204 3D EXTERIOR 2
- A205 LIGHTING SPECS
- A301 BUILDING SECTIONS
- A601 DOOR & WINDOW SCHEDULE

PROJECT DIRECTORY

OWNER
VANTAGE RETIREMENT PLANS LLC... CONTACT: Amit Sahasrabudhe
8742 E Via De Commercio
Scottsdale, AZ 85258
Contact: amit1124@gmail.com

ARCHITECT
KA DesignWorks, Inc. CONTACT: Kenneth Adler
525 Basalt Avenue, Unit I-201
Basalt, CO 81621
Contact: ken@ka-designworks.com

CONTRACTOR
XXX CONTACT: XXX XXXX
XXX Main Street
City, CO 12345
Contact: contractor@email.com

CIVIL ENGINEER
Uncompahgre Engineering, LLC CONTACT: David Ballode
PO Box 3945
Telluride, CO 81435
Contact: dballode@msn.com

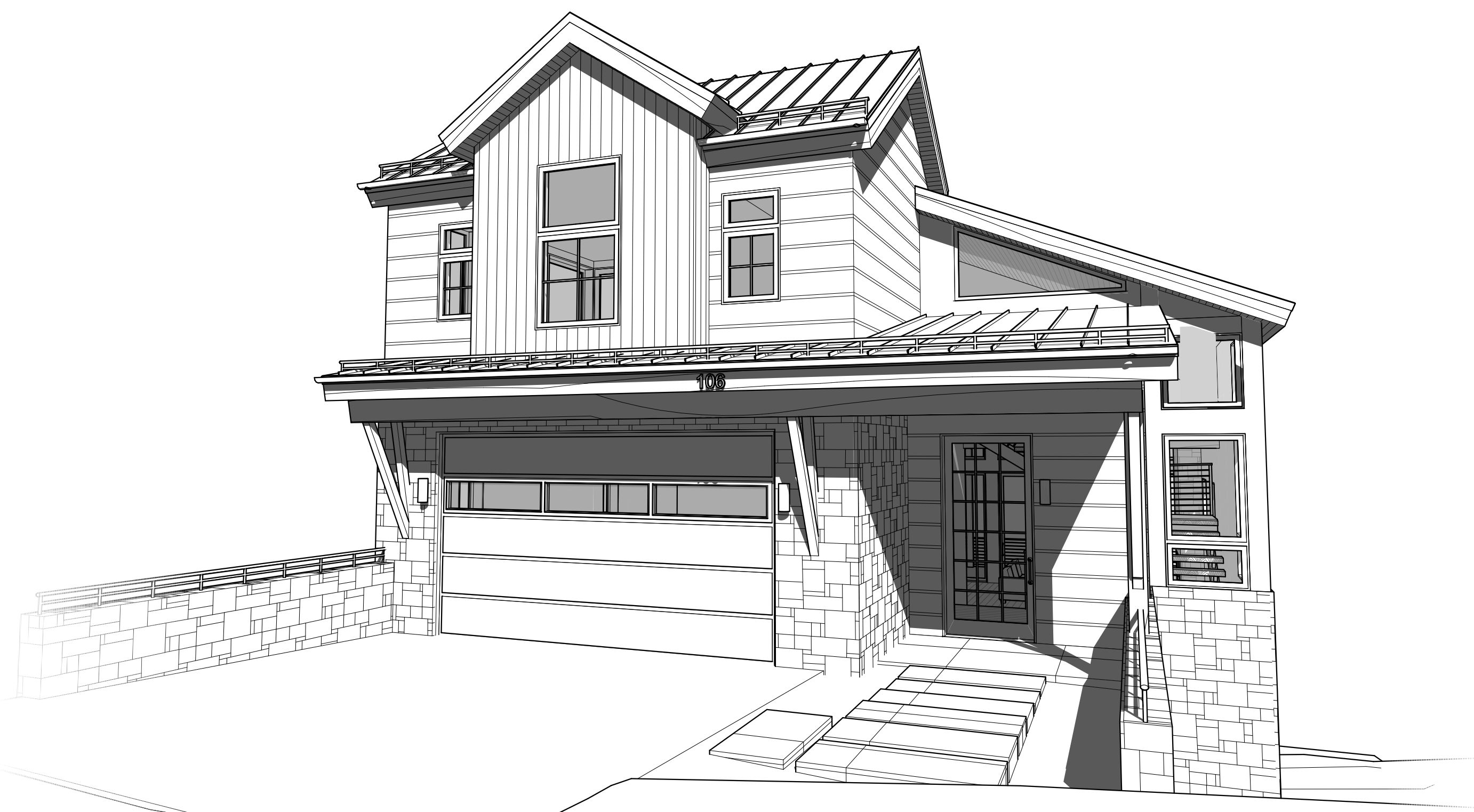
STRUCTURAL ENGINEER
XXX CONTACT: XXX XXXX
XXX Main Street
City, CO 12345
Contact: structural@email.com

LANDSCAPE ARCHITECT
XXX CONTACT: XXX XXXX
XXX Main Street
City, CO 12345
Contact: landscape@email.com

SURVEYOR
XXX CONTACT: XXX XXXX
XXX Main Street
City, CO 12345
Contact: surveyor@email.com

ENERGY CONSULTANT
XXX CONTACT: XXX XXXX
XXX Main Street
City, CO 12345
Contact: energy@email.com

GEOTECHNICAL ENGINEER
XXX CONTACT: XXX XXXX
XXX Main Street
City, CO 12345
Contact: geotech@email.com



ABBREVIATIONS

AAD	Attic Access Door	GALV	Galvanized	RW	Roof Window
ADD	Addendum	GC	General Contractor	RD	Rough Opening
ADJ	Adjacent	GL	Glass	RQ	Rough Opening
ADR	Area of Refuge	GR	Grade	SECT	Section
AGG	Aggregate	GLB	Laminated Wood Beam	SEW	Sewer
AFF	Above Finished Floor	GYP	Gypsum	SHT	Sheet
ALT	Alternate	GWB	Gypsum Wallboard	SHV	Shelves
ARCH	Architectural	HDW	Hardware	SHL	Shelving
ARM	Arm	HD	Head	SL	Sliding
BS	Bearing	HVAC	Heating, Ventilating, and Air Conditioning	SM	Sheet Metal
BET	Between	HT	Height	STC	Sound-Transmission Class
BO	Board	HWY	Highway	SPEC	Specification
BS	Both Sides	HOR	Horizontal	SQ	Square
BO	Bottom Of	ID	Inside Diameter	STD	Standard
BLDG	Building	INT	Interior	STL	Steel
CAB	Cabinet	JT	Joint	STRCT	Structure (all)
CL	Centerline	LAM	Laminate	SUB	Substrate
CER	Ceramic	LAV	Lavatory	SUPPL	Supplier (all)
CLR	Clear	MFG	Manufacturer	SUSP	Suspend (ed)
CLOS	Close	MD	Masonry Opening	TEL	Telephone
CMU	Concrete Masonry Unit	MTL	Material	TV	Television
COL	Column	MAX	Maximum	TEMP	Tempered
CONC	Concrete	MC	Medicine Cabinet	IE	Is
CJ	Construction Joint	MECH	Mechanical	THK	Thick
CONT	Continuous	MIN	Minimum	TPH	Toilet Paper Holder
CP	Dampproofing	MISC	Miscellaneous	T&G	Tongue and Groove
DET	Detail	NIC	Not In Contract	T&B	Top and Bottom
DIA	Diameter	NTS	Not to Scale	TO	Top Of
DIM	Dimension	OC	On Center	T	Tread
DW	Dishwasher	OPG	Opening	TS	Tube Steel
DN	Down	OPP	Opposite	TYP	Typical
DR	Drain	OPH	Opposite Hand	UG	Underground
DS	Downspout	OD	Outside Diameter	U.N.O.	Unless Noted Otherwise
DRWG	Drawing	OD	Outside Diameter	UNFIN	Unfinished
EA	Each	P	Penny (nails, etc.)	UBC	Uniform Building Code
EL	Elevation	PERF	Perforated (d)	USG	United States Gage
EQ	Equal	PFM	Prefinished Sheet Metal	VAR	Variable
EXIST	Existing	PL	Plate	VENT	Ventilate
EJ	Expansion Joint	PLY	Plywood	VFT	Verify In Field
EXT	Exterior	PRD	Product	VERT	Vertical
FEC	Fire Extinguisher Cabinet	PROJ	Project	VAT	Vinyl Asbestos Tile
FOC	Face Of Concrete	PROP	Property	V	Voltage
FOS	Face Of Stud	R	Radius or Riser	WC	Water Closet
FIN	Finish	REF	Refer	WP	Waterproof
FP	Fingroof	REFR	Refrigerator	W	Weight
FL	Floor	RENF	Reinforce (d)	WN	Window
FD	Floor Drain	REQD	Required	W	With (comb. form)
FTG	Footing	RHSM	Round Head Sheet Metal Screw	WO	Without
FDN	Foundation	RM	Room	W	Wood
GA	Gauge				

GENERAL NOTES

- A. THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 2017, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.
- B. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATIONS, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- C. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES. GENERALLY, ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE REGULATED OR SPECIFIED BY ARCHITECT OR GOVERNING BODIES.
- D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS.
- E. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE MATERIALS ARE ORDERED AND WORK HAS COMMENCED. WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
- F. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.
- G. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE UNIFORM BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- I. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE. DRAWINGS NOT TO BE SCALED, NOTIFY ARCHITECT OF ANY CONFLICTS OR OMISSIONS.
- J. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- K. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
- L. CONTRACTOR TO PROVIDE PHYSICAL EXTERIOR MATERIAL SAMPLES INCLUDING COLORS/FINISHES AND CONFIGURATIONS FOR OWNER APPROVAL PRIOR TO PROCUREMENT AND INSTALLATION.

VICINITY MAP

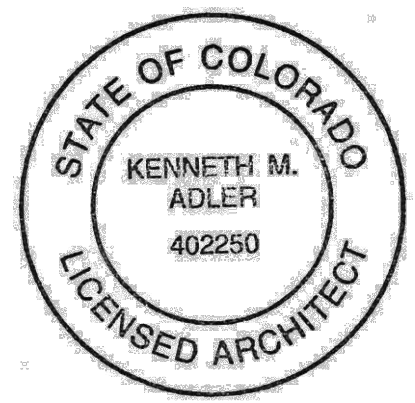


PROJECT LOCATION

DRAWING INDEX



Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25

NOT FOR CONSTRUCTION

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SHEET TITLE

COVER SHEET

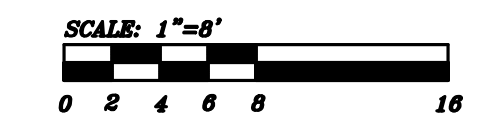
A001

This Existing Conditions Plan of Lot GH-6, The Cabins at Gold Hill, Town of Mountain Village, was field surveyed on June 03, 2024 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37970 Date

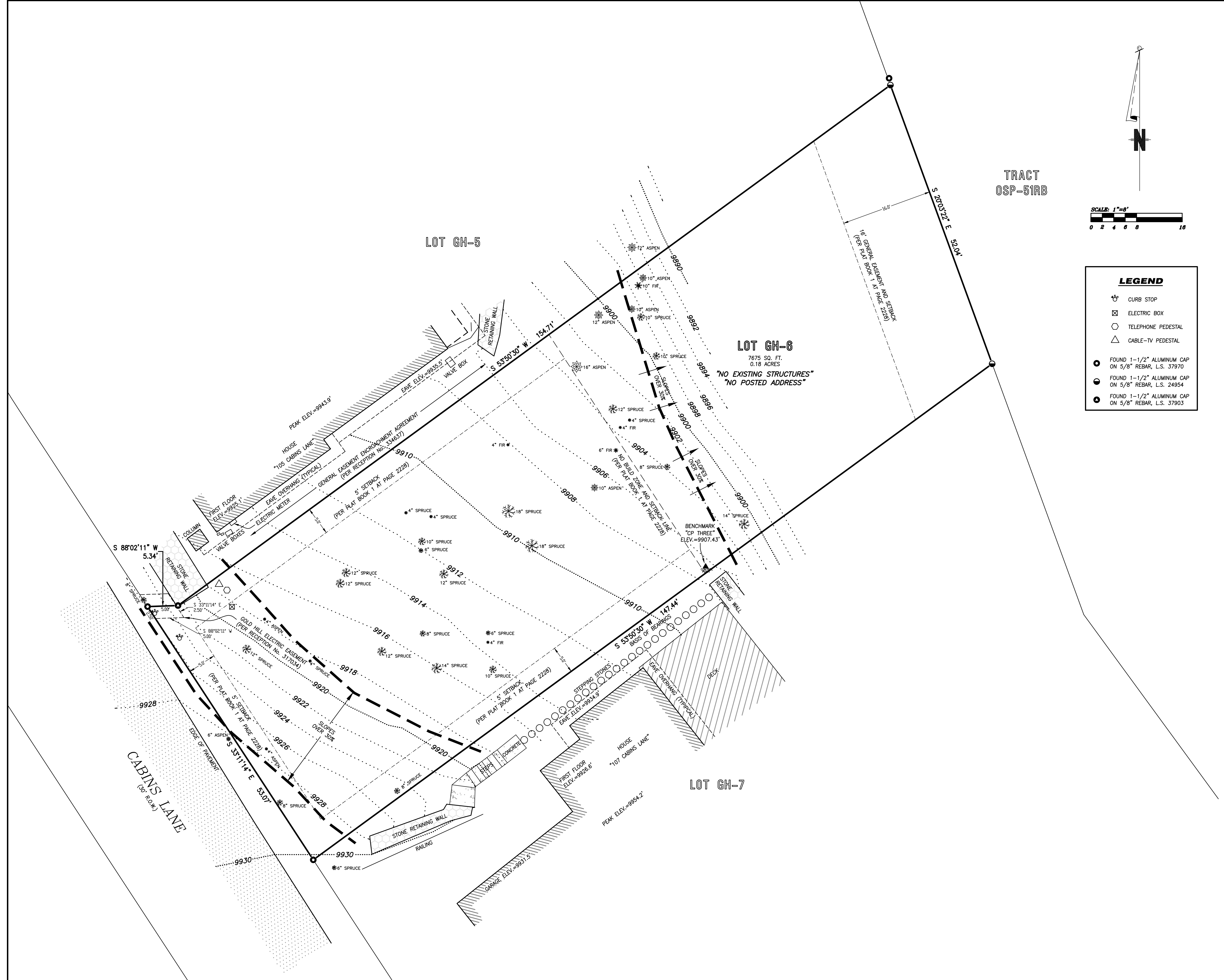
LEGAL DESCRIPTION:
 LOT GH-6, THE CABINS AT GOLD HILL, AN AMENDMENT TO THE FINAL PLAT OF LOTS 166B, 166C, 166D, 166E, AND 166F, TELLURIDE MOUNTAIN VILLAGE, TOWN OF MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED APRIL 16, 1997 IN PLAT BOOK 1 AT PAGE 222B,
 COUNTY OF SAN MIGUEL, STATE OF COLORADO.

- NOTES:**
- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86015391, dated March 11, 2024 at 5:00 P.M.
 - According to FEMA Flood Insurance Rate Map 08113C0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
 - BASIS OF BEARINGS:** Found monuments along the southeastern boundary of Lot GH-6, as shown hereon, assumed to have the record bearing of S 53°50'30" E according to Plat Book 1 at page 222B.
 - Benchmark: Control Point "CP THREE", as shown hereon, with an elevation of 9907.43 feet.
 - Contour interval is two feet.
 - Trees 3" in diameter or greater are shown hereon.
 - Slopes 30% or greater are shown hereon.
 - Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
 - Foley Associates, Inc. is not aware of any wetlands located on this lot, but a wetland delineation was not performed as part of this survey.
 - NOTICE:** According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



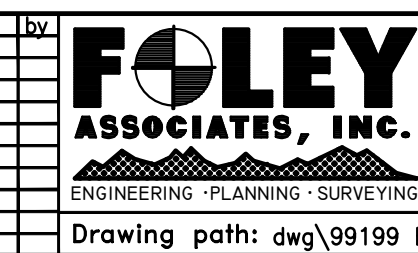
LEGEND

	CURB STOP
	ELECTRIC BOX
	TELEPHONE PEDESTAL
	CABLE-TV PEDESTAL
	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970
	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24954
	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37903

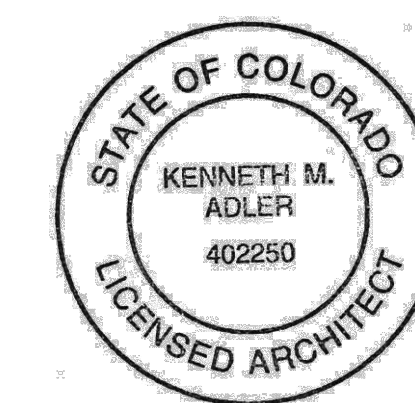


EXISTING CONDITIONS PLAN
 Lot GH-6, The Cabins at Gold Hill, Town of Mountain Village,
 located within the NE 1/4 of Section 10, T.42N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr:	JH
Technician:	MC
Checked by:	
Start date:	06 / 2024



970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25

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SHEET TITLE

SITE PLAN

A002

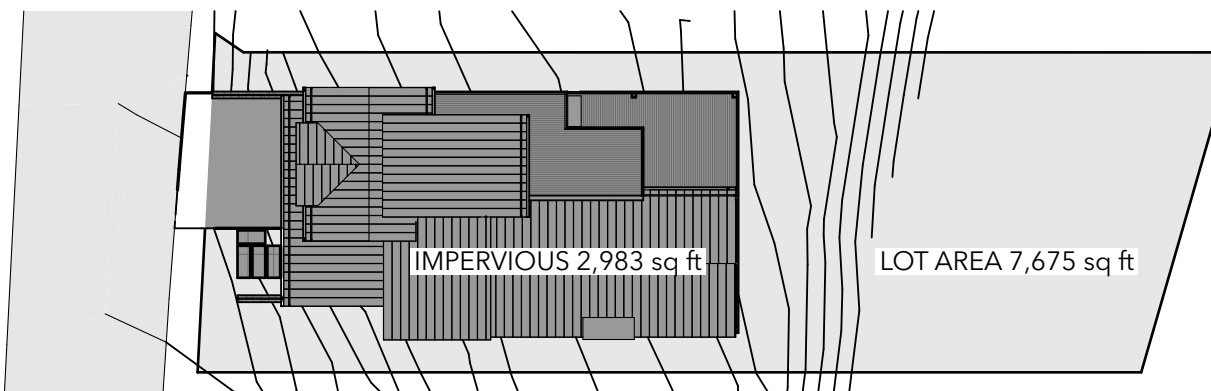
LOT COVERAGE LEGEND
MAX LOT COVERAGE = 40%

SITE AREA =	7675 SF
IMPERVIOUS AREA =	2983 SF
LOT COVERAGE =	38.9%

SITE NOTES
1. GREY BACKGROUND DENOTES EXISTING SURVEY.
2. SEE CIVIL AND LANDSCAPE FOR RESPECTIVE SCOPE(S).
ARCHITECTURAL SITE PLAN IS FOR CONTEXT ONLY.

FLOOR ELEVATIONS

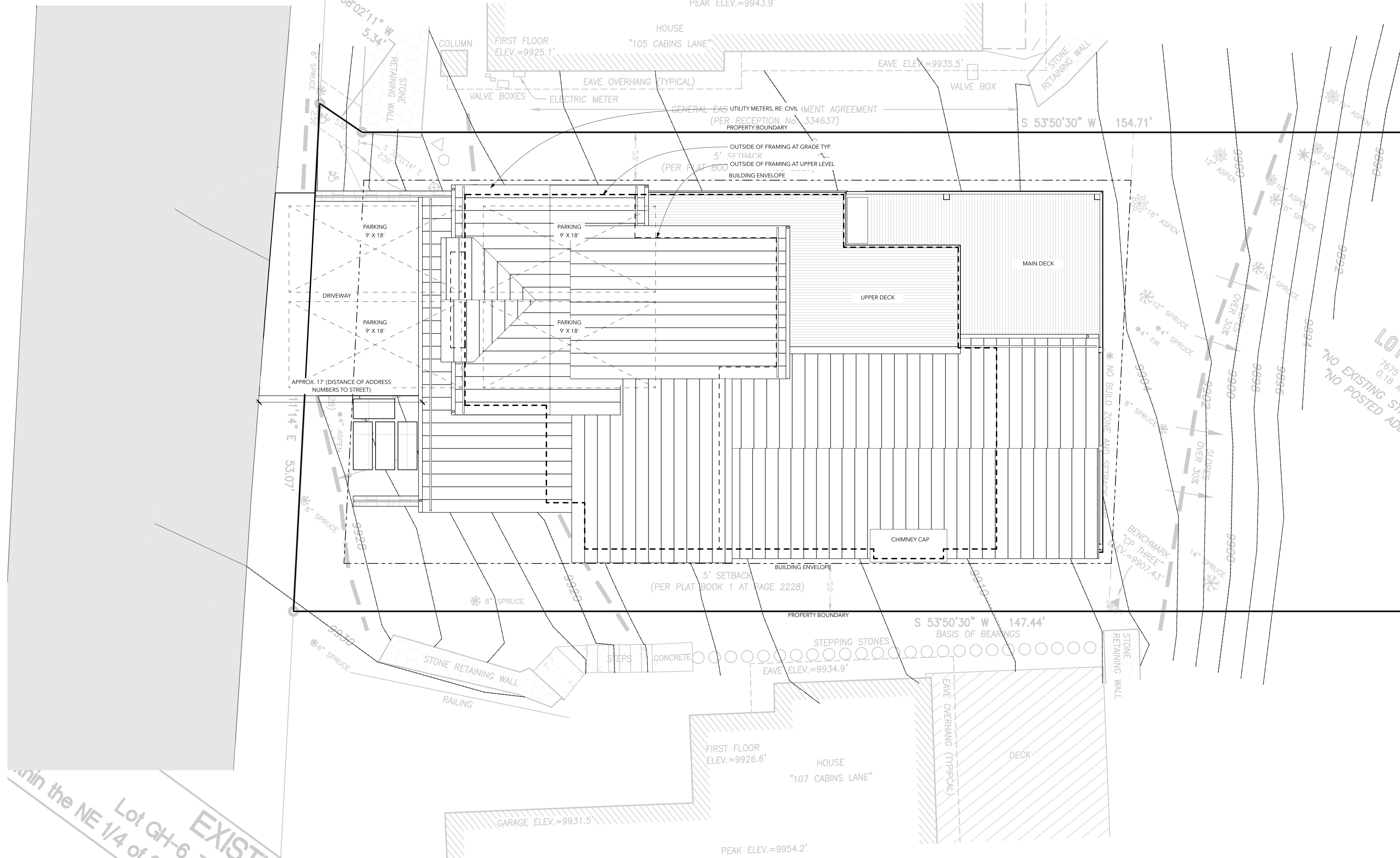
UPPER LEVEL - T.O. PLY.	= 115'-0"
ENTRY / GARAGE - T.O. CONC.	= 103'-9"
MAIN LEVEL - T.O. PLY.	= 100'-0" (SITE = 9923'-6")
LOWER LEVEL - T.O. PLY.	= 88'-0"



LOT COVERAGE

SCALE: 1" = 30'

2

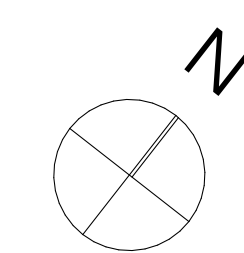


within the NE 1/4 of Lot GH-6 EXIST

SITE PLAN

1

SCALE: 1" = 5'

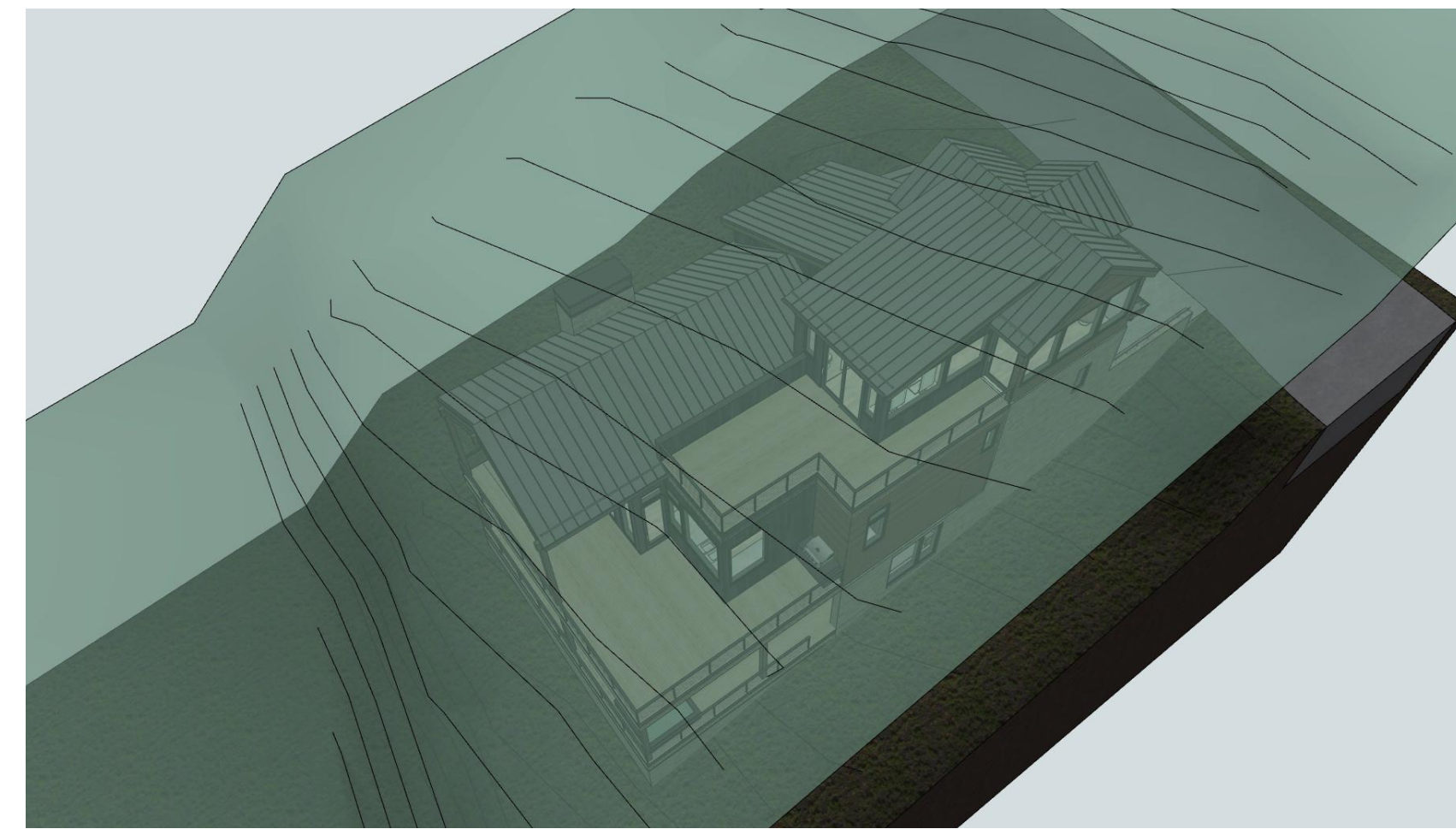


Roof Point	Roof Point Elevation	Natural Grade Below	Roof Height Above Natural Grade	Proposed Grade Below	Roof Height Above Proposed Grade
M 1	9954.36	9916.90	37.46	9916.90	37.46
M 2	9948.26	9911.00	37.26	NA	NA
M 3	9944.93	9906.20	38.73	9906.20	38.73
M 4	9941.76	9914.60	27.16	9914.60	27.16
M 5	9942.11	9918.10	24.01	9918.10	24.01
M 6	9953.36	9920.10	33.26	9927.20	26.16

MAXIMUM HEIGHT

Per TOMV code 17.3.11 which allows for the ridge of gable or similar pitched roof for a total of 40'.

2



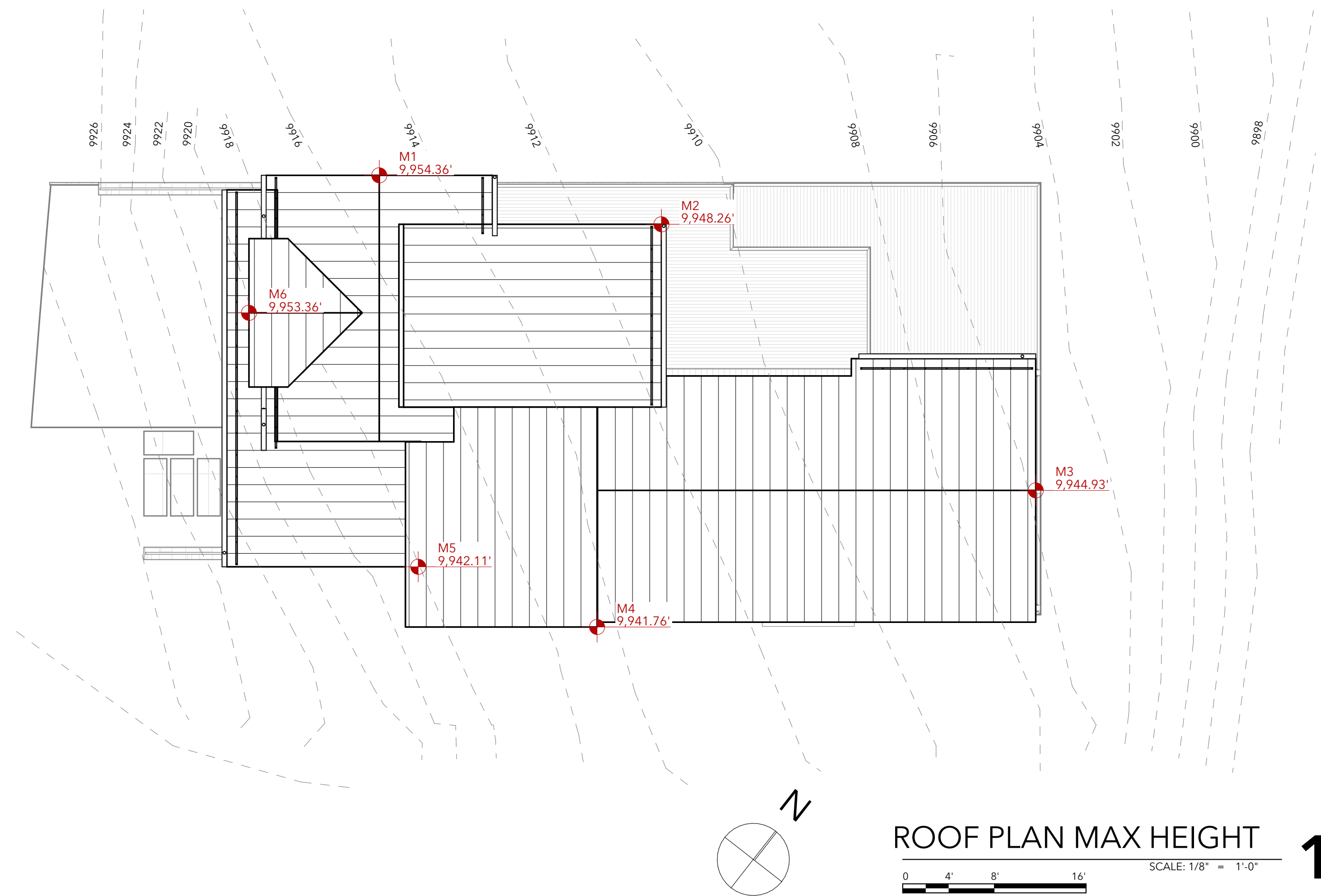
40' Height Conformance Exhibit - 62% of roofs are Gables

Roof Point	Roof Mid Point Elevation	Natural Grade Below	Proposed Grade Below	NG = Natural Grade PG = Proposed Grade	Roof Height Above Most Restrictive Grade
A 1.0	9939.07	9918.20	9927.20	NG	20.87
A 1.1	9938.07	9920.10	9927.20	NG	17.97
A1.2	9938.07	9922.00	9927.20	NG	16.07
A1.3	9940.37	9919.40	9927.20	NG	20.97
A1.4	9940.37	9921.60	9921.60	NG	18.77
A2.0	9951.07	9916.10	9916.10	NG	34.97
A2.1	9951.07	9919.50	9927.20	NG	31.57
A3.0	9950.60	9912.90	NA	NG	37.70
A3.1	9950.60	9914.50	NA	NG	36.10
A4.0	9945.76	9917.80	NA	NG	27.96
A4.1	9945.76	9913.70	NA	NG	32.06
A5.0	9941.10	9913.60	NA	NG	27.50
A5.1	9941.10	9909.60	NA	NG	31.50
A5.2	9941.10	9905.50	NA	NG	35.60
A6.0	9941.10	9914.30	NA	NG	26.80
A6.1	9941.10	9910.70	NA	NG	30.40
A6.2	9941.10	9906.30	NA	NG	34.80
AVERAGE HEIGHT					28.33

AVERAGE HEIGHT

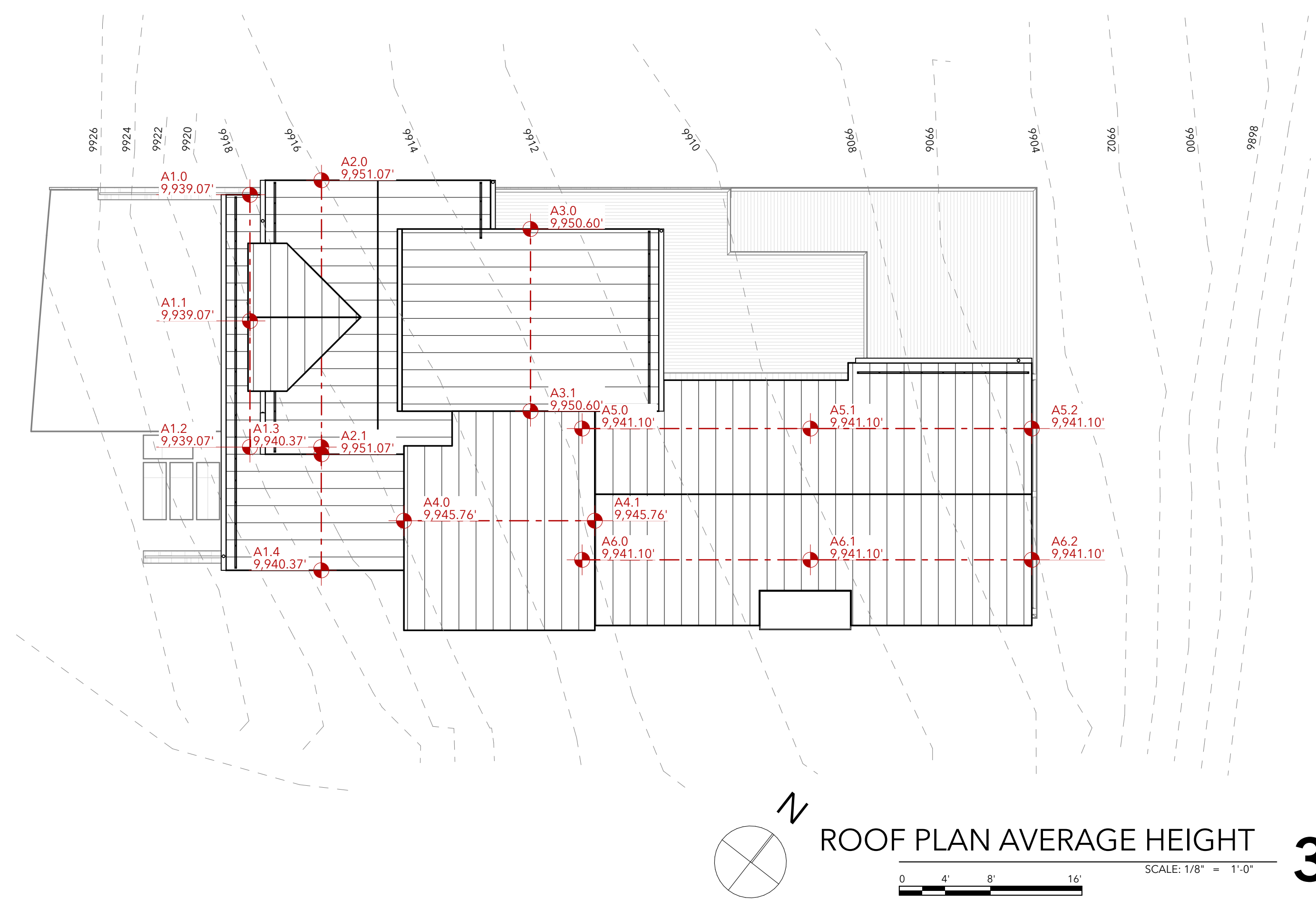
Per TOMV code 17.3.11 which defines the maximum average roof height of 30'.

4



ROOF PLAN MAX HEIGHT

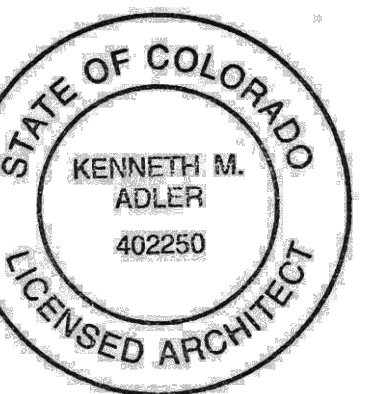
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ROOF PLAN AVERAGE HEIGHT

3

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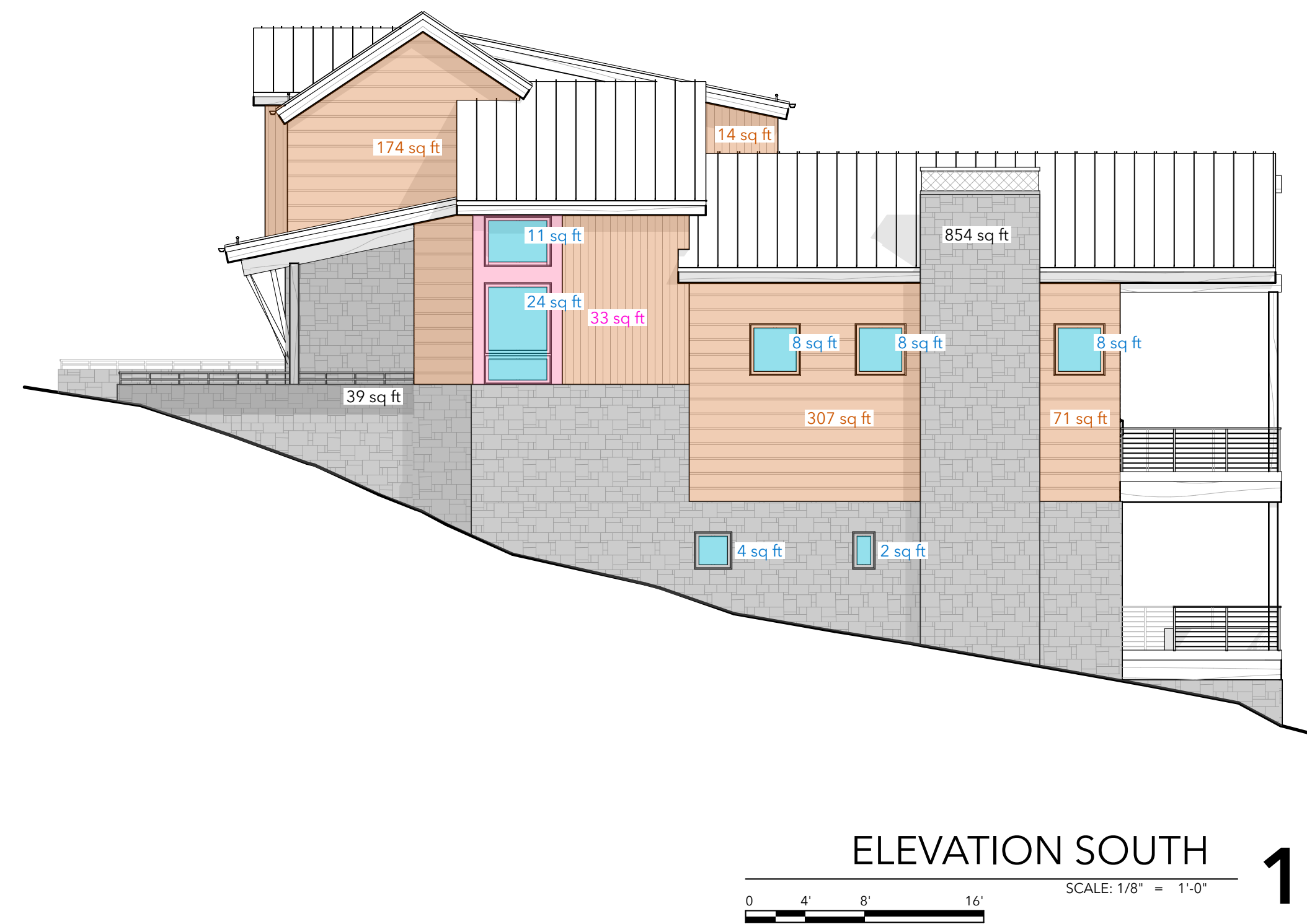
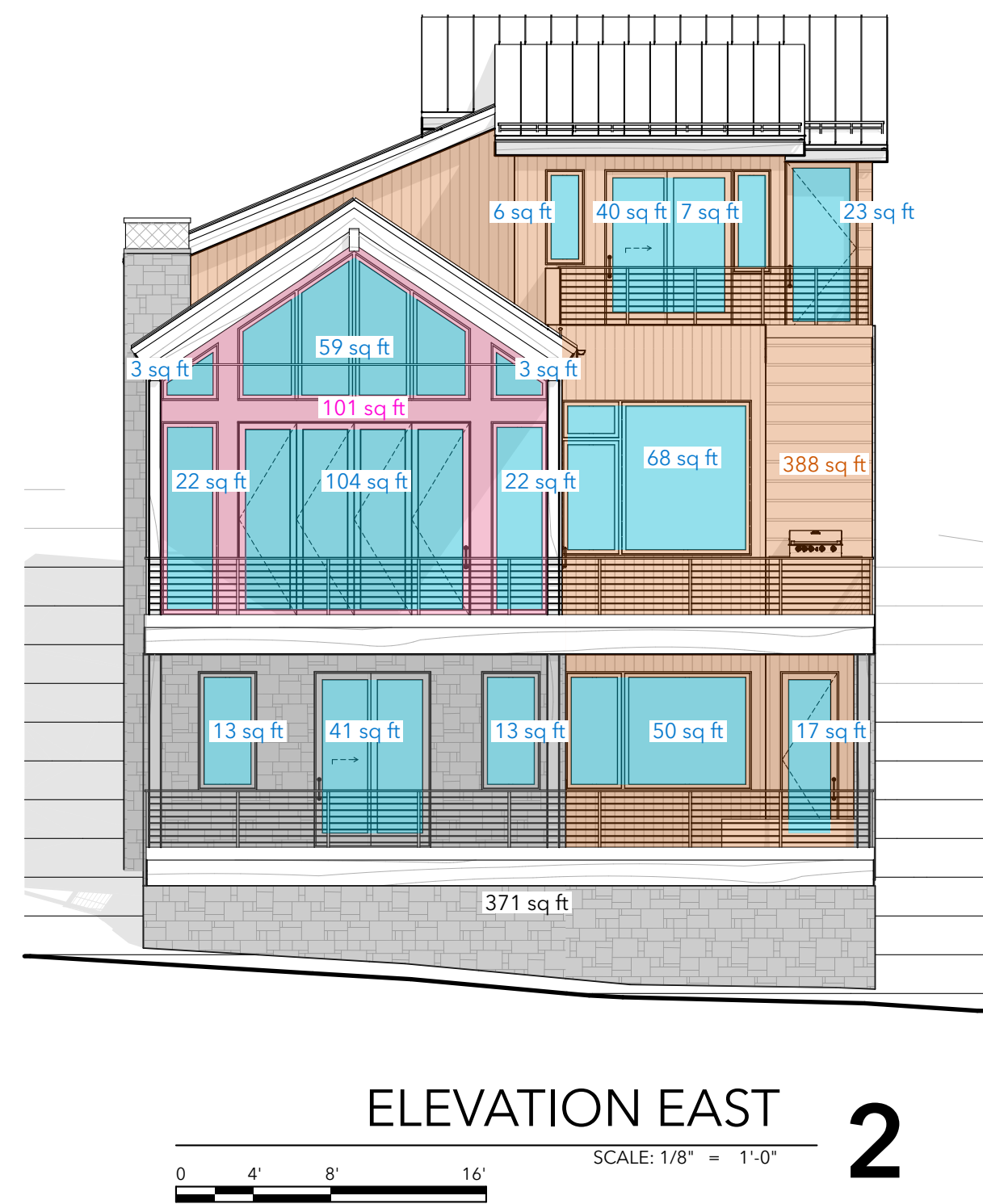
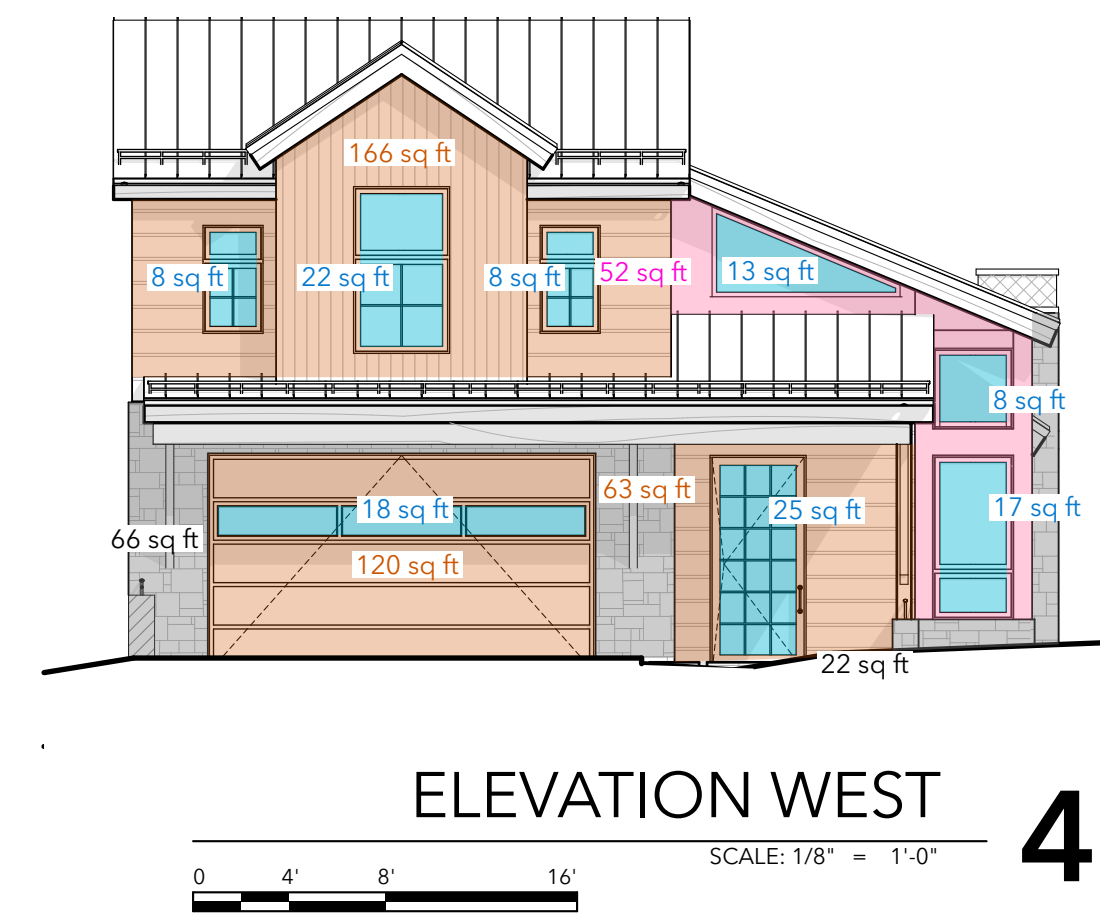
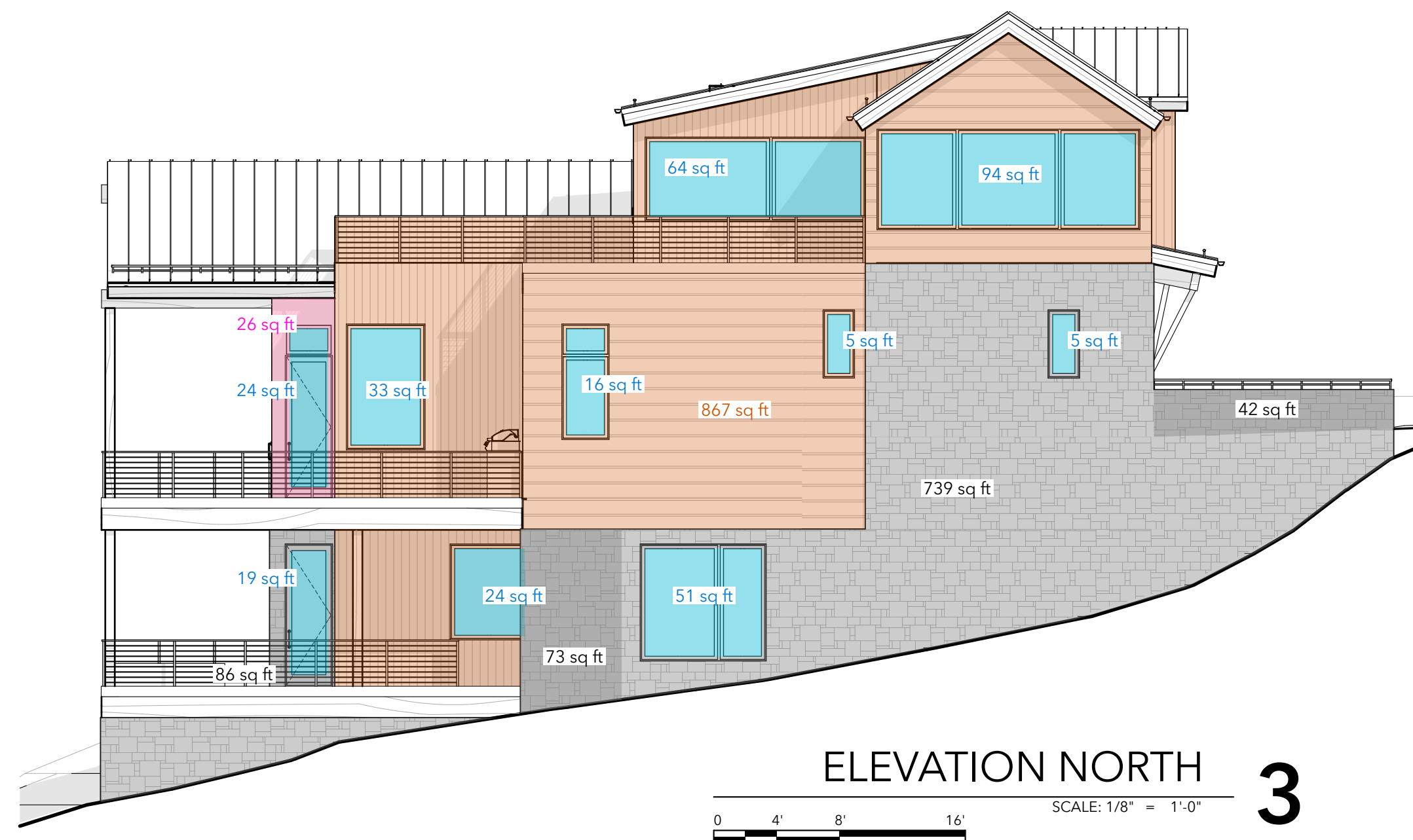
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SHEET TITLE

HEIGHT PLANS

A003



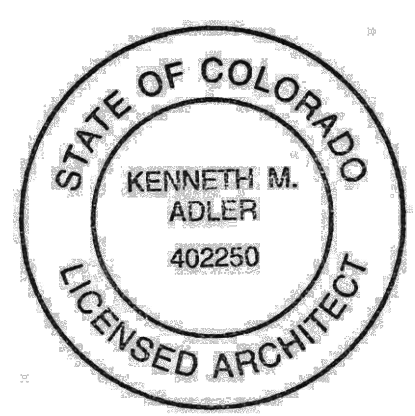
MATERIALS	SQ FT	% OF TOTAL WALL AREA
ELEVATION NORTH		
STONE	825	40.19%
GLASS	335	16.32%
WOOD	867	42.23%
METAL	26	1.27%
TOTAL	2053	100.00%
ELEVATION EAST		
STONE	371	27.46%
GLASS	491	36.34%
WOOD	388	28.72%
METAL	101	7.48%
TOTAL	1351	100.00%
ELEVATION SOUTH		
STONE	854	56.26%
GLASS	65	4.28%
WOOD	566	37.29%
METAL	33	2.17%
TOTAL	1518	100.00%
ELEVATION WEST		
STONE	87	14.33%
GLASS	119	19.60%
WOOD	349	57.50%
METAL	52	8.57%
TOTAL	607	100.00%
TOTAL WALL AREA		
STONE	2137	38.65%
GLASS	1010	18.27%
WOOD	2170	39.25%
METAL	212	3.83%
TOTAL	5529	100.00%

WALL AREAS 5

SCALE: 1" = 1'-0"

MATERIAL LEGEND

- METAL
- GLASS
- WOOD
- STONE



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25

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SHEET TITLE

EXTERIOR MATERIAL AREAS

A004

GENERAL NOTES

1. ALL TREES AND SHRUBS TO BE LOCATED BY ARCHITECT / OWNER. CONSULT WITH TOMV FORESTER PRIOR TO ORDERING AND PLANTING TREES / SHRUBS.
2. ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
3. NECESSARY TREES SHALL BE STAKED WITH 4" METAL "T" POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEEP AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
6. MULCH ALL PERENNIAL BEDS WITH LAVA ROCK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9, LANDSCAPE REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

NOXIOUS WEEDS:
9. ALL PLANTED MATERIALS, INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5-5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

LANDSCAPE MAINTENANCE NOTES:
10. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
11. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
12. ALL SHRUBS IN THE SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
13. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

TREE PROTECTION / REMOVAL NOTES

1. TREE PROTECTION FENCING IS REQUIRED BY THE CEC TO BE INSTALLED AT OR BEYOND THE CROWN DRIFLINE OF EACH TREE THAT WILL REMAIN (TREE PROTECTION ZONE) IN ACCORDANCE WITH CDC: 17.6.1.
2. TREE PROTECTION FENCING MUST BE INSTALLED AND APPROVED BY THE TOWN FORESTER BEFORE EXCAVATION MAY BEGIN.
3. TOWN FORESTER MUST BE CONTACTED BEFORE EXCAVATION BEGINS TO MARK OR APPROVE THE TREES TO BE REMOVED AND TO APPROVE THE PLACEMENT OF THE TREE PROTECTION FENCING. A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE TOWN FORESTER BEFORE TREE REMOVAL OPERATION MAY BEGIN.
4. NO BACKFILL, STORAGE, OR STAGIN IS PERMITTED INSIDE THE TREE PROTECTION AREA INSIDE THE TREE PROTECTION FENCING.

TREE PLANTING NOTES

1. TREE PLANTING SHALL ADHERE TO CDC 17.5.9.
2. TREES AND SHRUBS SHALL BE MULCHED UPON INITIAL PLANTING AND AS NEEDED TO REDUCE WATER EVAPORATION.
3. TREES AND SHRUB HOLES SHALL BE DUG SIX INCHES (6") DEEPER THAN THE ROOT BALL SIZE TO FACILITATE THE PLACEMENT OF APPROPRIATE MULCH MATERIAL AND FACILITATE GROWTH.
4. TREES SHALL BE STAKED AND HELD IN PLACE BY WEBBING AND WIRE TO ENSURE SUCCESSFUL ROOT ESTABLISHMENT FOR A PERIOD OF TWO (2) FULL GROWING SEASONS.
5. BURLAP AND WIRE SHALL BE REMOVED FROM THE ROOT BALL AS PART OF INSTALLATION. IF THE WIRE CANNOT BE REMOVED DUE TO THE SIZE OF THE TREE, THEN TWO-THIRDS OF THE WIRE SHALL BE REMOVED FROM THE UPPER PORTION OF THE ROOT BALL. ENSURE ALL WIRE / TWINE IS REMOVED FROM AROUND THE TRUNK.

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE
PICEA ENGELMANNII	ENGLEMANN SPRUCE (ES)	8-10 FT IN HT W/ 30% 10 FT OR LARGER
PSEUDOTSUGA MENZIESII	DOUGLAS FIR (DF)	8-10 FT IN HT W/ 30% 10 FT OR LARGER
POPULUS TREMULOIDES	ASPEN (AS)	2 IN CALLIPER W/ 3 IN OR LARGER
ACER GINNALA	AMUR MAPLE (AM)	3-4 FT IN HT 4-5 FT IN HT
PRUNUS VIRGINIANA	CHOKE CHERRY (CC)	4-5 FT IN HT W/ 30% 5-6 FT IN HT

TBD

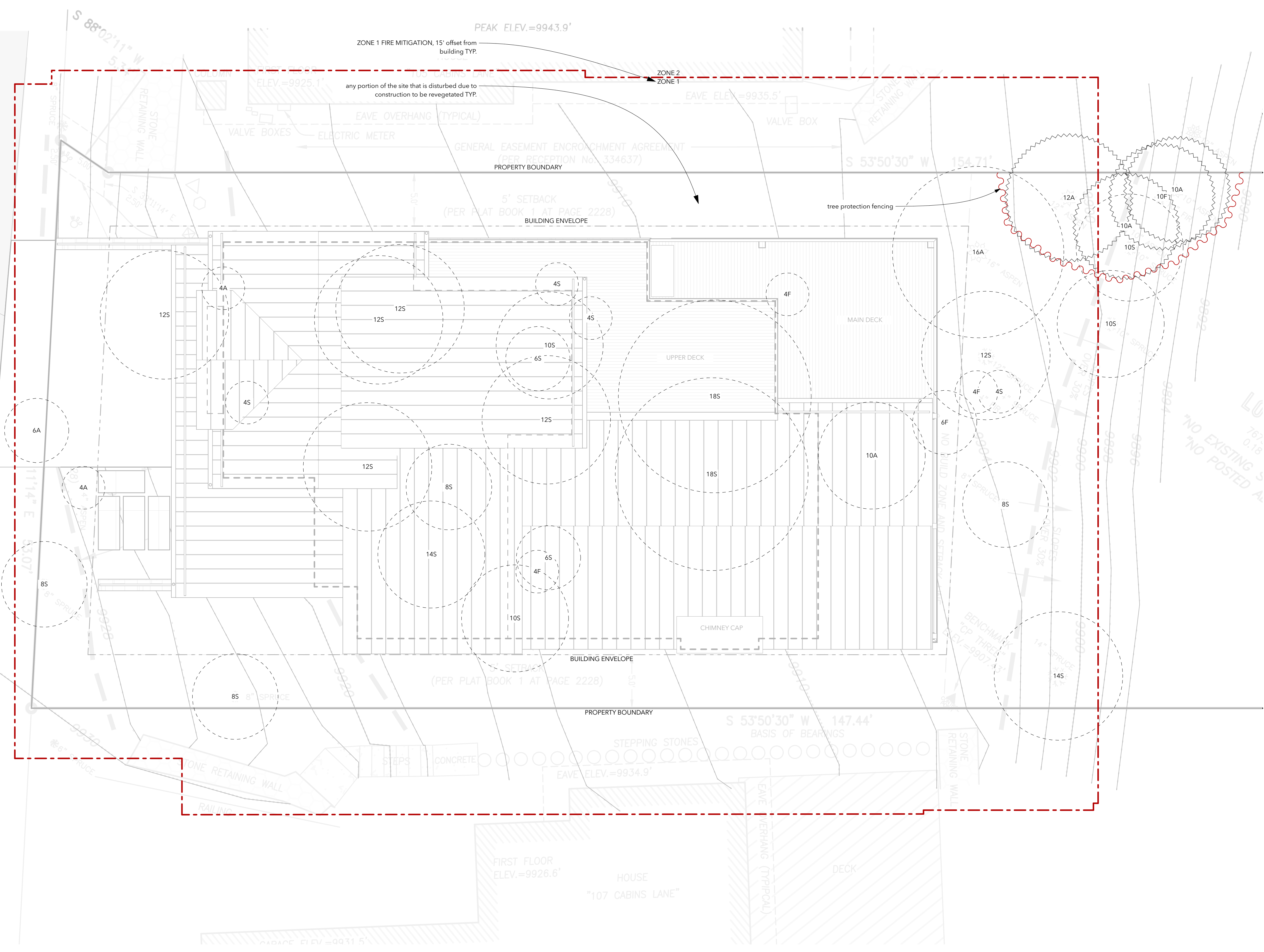
REVEGETATION NOTES

1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS
2. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
3. AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
4. BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING, STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEEDED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
5. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
6. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
7. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.
8. REVEGETATION WILL REQUIRE 12" OF EXISTING TOP SOIL TO BE REMOVED AND STORED UNTIL REVEGETATION HAPPENS.
9. TOPSOIL SPECIFICATION: REPLACE WITH ORIGINAL EXCAVATED FROM THE SITE AND SUPPLEMENT WITH LOCAL NATIVE TOPSOIL. TOPSOIL WILL CONTAIN 5-8% ORGANIC MATTER WHICH SHALL BE MIXED IN DURING THE RESTORATION PROCESS (THE ORGANIC MATTER SHOULD BE DERIVED FROM DISEASE AND HERBICIDE FREE PARTIALLY DECOMPOSED, CURED WOOD CHIPS).
10. REVEGETATION WILL BE BROUGHT BACK TO ORIGINAL GRADE.

NATIVE GRASS SEED MIX SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREeping RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

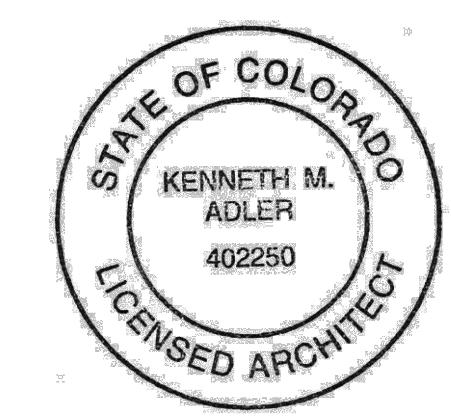
LANDSCAPE LEGEND

- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCING
- EXISTING TREE TO BE REMOVED
- PROPOSED CONIFEROUS TREE
- PROPOSED DECIDUOUS TREE
- PERENNIAL BED (SHRUBS)
- AREA TO BE REVEGETATED (NATIVE SEED MIX)



LOT GH-5

Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.04.25

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SHEET TITLE
LANDSCAPE

A005



GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER AND WATER: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK
BROADBAND: CLEARNETWORKX

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION.

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

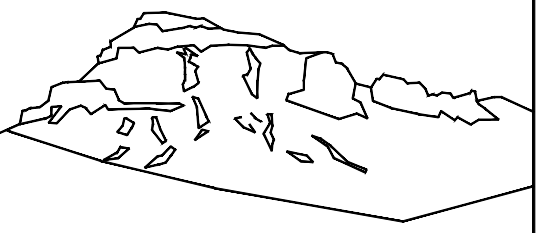
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2025-01-10

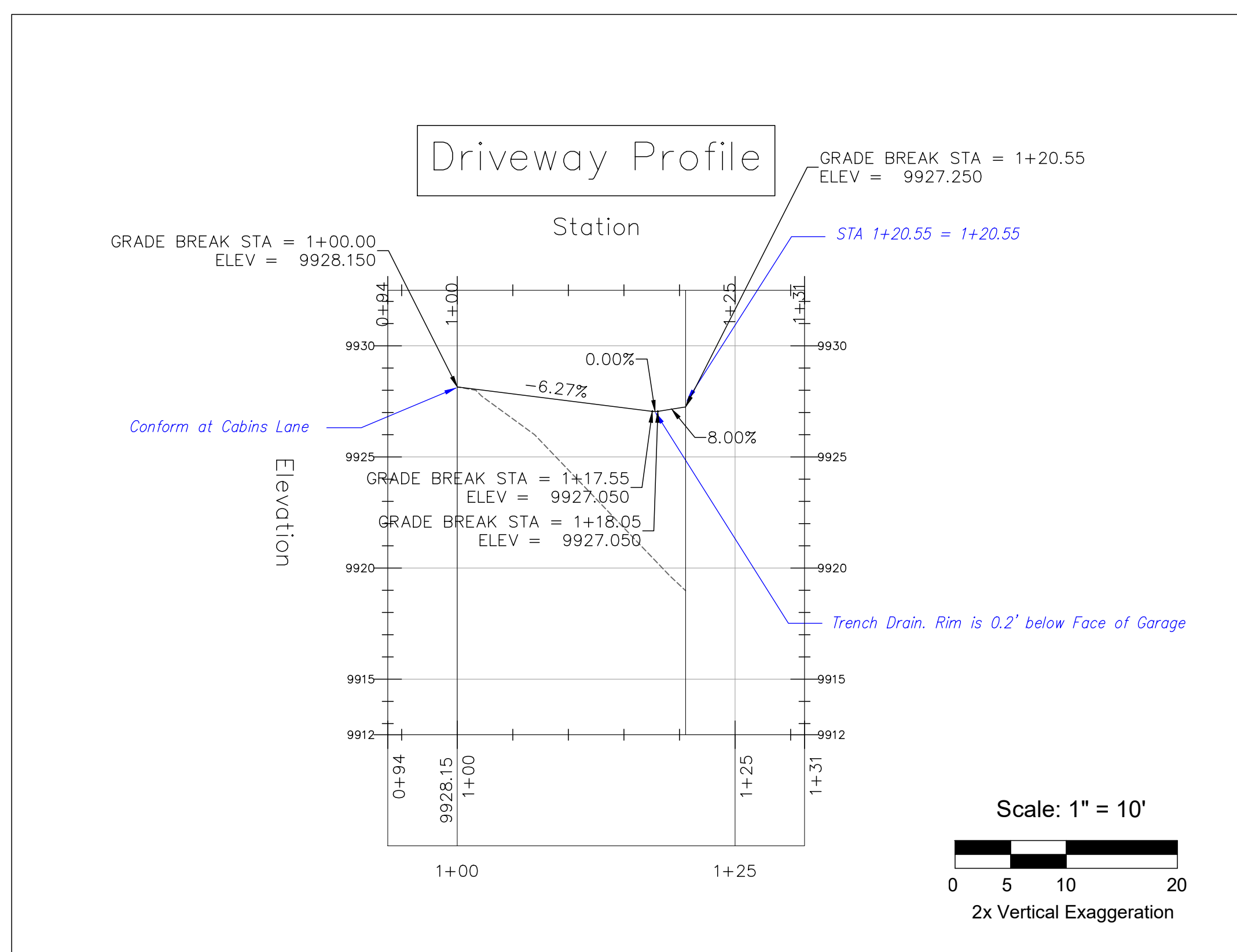
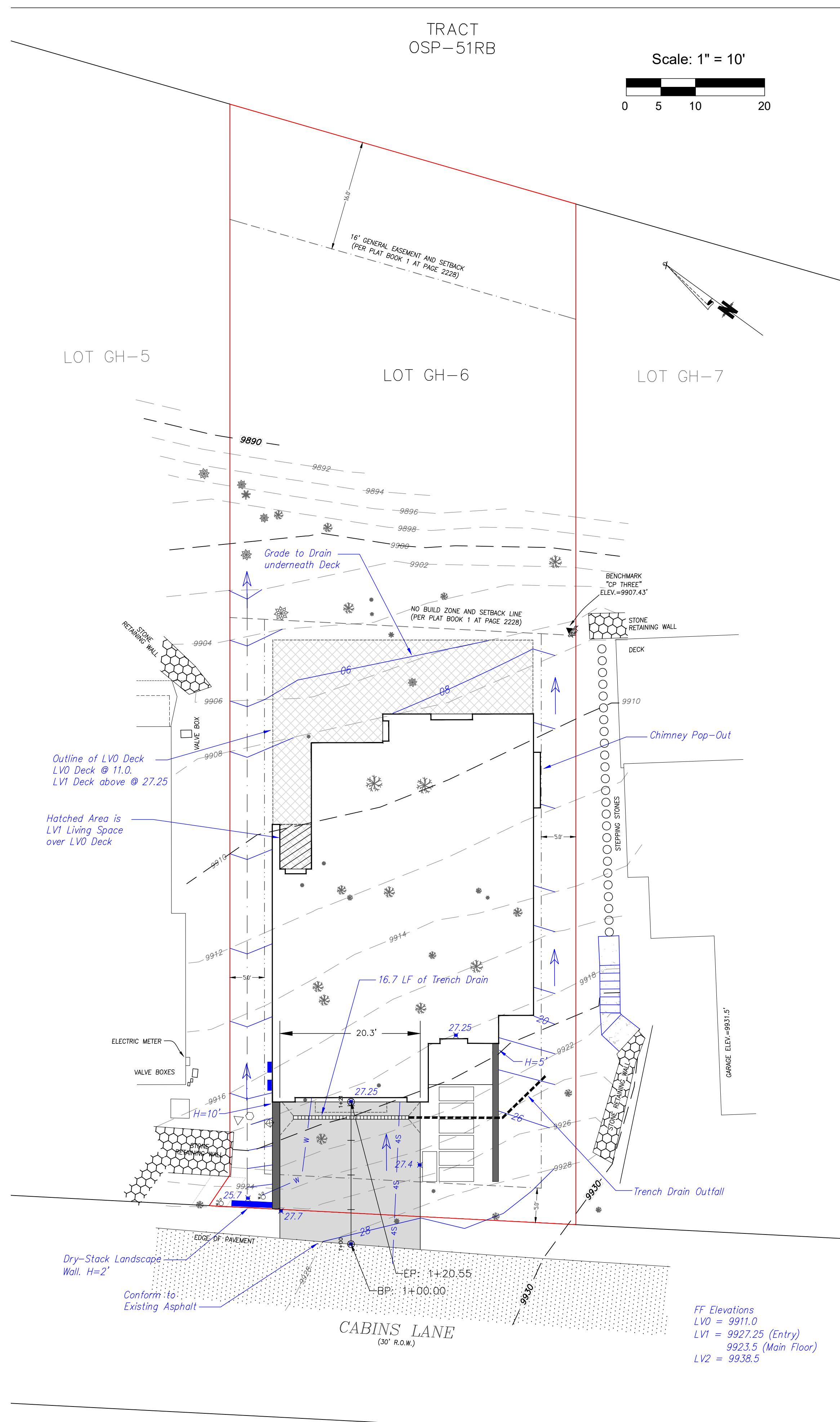
Unit 6
Gold Hill
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



ZURN Z886-HD 6-3/4 [171] WIDE REVEAL TRENCH DRAIN SYSTEM WITH HEAVY-DUTY FRAME ASSEMBLY

Design and Dimensional Data (Inches and [mm]) are Subject to Manufacturing Tolerances and Change Without Notice

ENGINEERING SPECIFICATION: Zurn Z886-HD Channels are 80" [2032 mm] long, 6-3/4" [171 mm] wide reveal and have a 4" [102 mm] throat. Modular channel sections are made of 0% water absorbent High Density Polyethylene (HDPE). Channels have a positive mechanical connection between channel sections that will not separate during the installation and mechanically lock into the concrete surround every 10' [254 mm]. Channels weigh less than 2.31 lbs [1.05kg] per linear foot, have a smooth, 1-1/2" [38 mm] radius self-cleaning bottom with a Manning coefficient of 0.09 and 1.5% or neutral 0% built in slope. Channels have rebar clips standard to secure trench in its final location. Channels provided with standard DGC grates that lock down to frame. Zurn 5.375" [137 mm] wide reveal Ductile Iron Slotted Grate conforming to ASTM specification A536-04, Grade 80-55-06. Ductile Iron grate is rated class C per the DIN EN1433 top load classifications. Supplied in 20' [508 mm] nominal lengths with 1/2" [13 mm] wide slots, and 3/4" [19 mm] bearing depth. Grate has an open area of 28.1 sq. in per ft. [594cm²/m]. The 102" [267 mm] thick Heavy Duty Carbon Steel Frame Assembly conforms to ASTM specification A36 with 10 - 4" [102 mm] long concrete anchors per 80" [2032 mm]. Grate lockdown bars are to be integral to the frame. Frame supplied with powder coated finish. All welds must be performed by a certified welder per ASTM standard AWS D1.1. Frames produced in the U.S.A.

PREFIX OPTIONS (Check/specify appropriate options)

SUF Six-foot, Eight-inch High Density Polyethylene (HDPE)*

Outlet Adapters Available (Check/specify appropriate options)

Outlet	Part No.	Part Description
E1	2 [51]	Closed End Cap
E2	2 [51]	No-Hub End Outlet
E3	3 [78]	No-Hub End Outlet
E4	4 [102]	No-Hub End Outlet
E6	6 [152]	No-Hub End Outlet
U2	2 [51]	No-Hub Bottom Outlet
U3	3 [78]	No-Hub Bottom Outlet
U4	4 [102]	No-Hub Bottom Outlet
U6	6 [152]	No-Hub Bottom Outlet

Frame Options

- CBF Black Acid Resistant Coated Top Frame
- LD Light Duty Grates on Heavy Duty Frame
- SW Sidewall Extension - 9 [229] High
- SW2 Sidewall Extension - 18 [457] High

Grate Options (Load Classifications are per DIN EN1433)

- BDC Black Acid Resistant Epoxy Coated Ductile Grate - Class C
- BDE Black Acid Resistant Epoxy Coated Ductile Grate - Class E
- BG Galvanized Ductile Iron Bar Grate - Class C
- DBG Ductile Iron Cast Bar Grate - Class C
- DC Ductile Iron Solid Cover - Class C
- DGC Ductile Iron Slotted Grate - Class C
- DGE Ductile Iron Slotted Grate - Class E
- GDC Galvanized Ductile Iron Slotted Grate - Class C
- GDE Galvanized Ductile Iron Slotted Grate - Class E
- GHPDE Galvanized Heel-Proof Ductile Grate - Class E
- HPDE Heel-Proof Ductile Slotted Grate - Class E
- RFPC Reinforced Slotted Galvanized Grate - Class C
- RFSC Reinforced Slotted Stainless Steel Grate - Class C
- RPCC Reinforced Perforated Galvanized Grate - Class C
- RPGRCC Reinforced Galvanized Perforated Reverse Punch Anti-Slip Grate - Class C
- RPSC Reinforced Perforated Stainless Steel Grate - Class C
- RPSRCC Reinforced Perforated Stainless Steel Reverse Punch Grate - Class C

Miscellaneous Options

- CB Bottom Dome Strainer
- JC Joint Connector
- VP Vandal-Proof Lockdown

* Regularly furnished unless otherwise specified

Decorative Grate Options (Load Classifications are per DIN EN1433)

- DTW Decorative Tidal Wave Grate - Class C
- SBC Stainless Steel Bar Grate - Class E

MADE in the U.S.A. (Load Classifications are per DIN EN1433)

- BDC-USA Black Acid Resistant Epoxy Coated Ductile Grate - Class C
- DGC-USA Ductile Iron Slotted Grate - Class C
- DGE-USA Ductile Iron Slotted Grate - Class E
- GDC-USA Galvanized Ductile Slotted Grate - Class C
- GDE-USA Galvanized Ductile Slotted Grate - Class E
- GHPDE-USA Galvanized Heel-Proof Ductile Grate - Class E
- HPDE-USA Heel-Proof Ductile Slotted Grate - Class E
- PPC Plastic Perforated Grate - Class B

Trench No.	'A' Shallow Inv.	'B' Deep Inv.	Flow (cfs)	(gpm)	(lps)
8601	3.50 [89]	4.10 [104]	0.21	93	6
8602	4.10 [104]	4.70 [119]	0.27	122	8
8603	4.70 [119]	5.30 [135]	0.34	152	10
8604	5.30 [135]	5.90 [150]	0.41	183	12
8605	5.90 [150]	6.50 [165]	0.48	214	13
8606	6.50 [165]	7.10 [180]	0.55	245	15
8607	7.10 [180]	7.70 [196]	0.62	276	17
8608	7.70 [196]	8.30 [211]	0.69	308	19
8609	8.30 [211]	8.90 [226]	0.76	339	21
8610	8.90 [226]	9.50 [241]	0.83	371	23
8611	9.50 [241]	10.10 [257]	0.90	403	25
8612	10.10 [257]	10.70 [272]	0.97	435	27
8612N	10.70 [272]	10.70 [272]	-	-	-
8613	10.70 [272]	11.30 [287]	1.04	467	29
8614	11.30 [287]	11.90 [302]	1.11	498	31
8615	11.90 [302]	12.50 [318]	1.18	530	33

WARNING: Cancer and Reproductive Harm - www.P65Warnings.ca.gov

AVERTISSEMENT: Cancer et effets néfastes sur la reproduction - www.P65Warnings.ca.gov

Zurn Industries, LLC | Specification Drainage Operation
1801 Pittsburgh Avenue, Erie, PA 16502, Ph. 855.663.9876

In Canada | Zurn Industries Limited
7900 Goreway Drive, Unit 10, Brampton, Ontario L6T 5W6, Ph. 877.892.5216

Rev. J
Date: 05/16/24
C.N. No. 146095
Prod. | Dwg. No. Z886-HD

ZURN P6-BDC 6 [152] WIDE GRATE

Design and Dimensional Data (Inches and [mm]) are Subject to Manufacturing Tolerances and Change Without Notice

Back to Index

Please Check	Item No.	Part Number	Item I.D.
✓	3	94472	P6-BDC

BDC GRATE ENGINEERING SPECIFICATION: ZURN P6-BDC
20" [508mm] X 5-3/8" [137mm] Black acid resistant epoxy coated Ductile Iron slotted grate weighing 4.5 lbs per linear foot [6.5kg/m]. The grate has an open area of 28.2 in² per linear foot [594cm²/m]. Grate conforms to DIN rating of C, ANSI rating of Heavy-Duty, H-20 load rated and ASTM A536 Grade 80-55-06.

BDC - Black Acid Resistant Ductile

Material:	Ductile Iron
DIN Rating:	Class C
Weight:	4.5 lbs/ft. [6.5kg/m]
Open Area:	28.2 in ² /ft. [594cm ² /m]
ANSI Rating:	Heavy-Duty
Application:	Dynamic Loads
Slot Width/Hole Size:	1/2" [12.7mm]
ADA:	No
H-20:	Yes
FAA:	No

WARNING: Cancer and Reproductive Harm - www.P65Warnings.ca.gov

AVERTISSEMENT: Cancer et effets néfastes sur la reproduction - www.P65Warnings.ca.gov

Zurn Industries, LLC | Specification Drainage Operation
1801 Pittsburgh Avenue, Erie, PA 16502, Ph. 855.663.9876

In Canada | Zurn Industries Limited
7900 Goreway Drive, Unit 10, Brampton, Ontario L6T 5W6, Ph. 877.892.5216

Rev. AU
Date: 01/03/23
C.N. No. 144998
Patent zum.com/patents
Form # FT641

Trench Drain
Units 8604 - 8606, Drain to East
Bottom Outlet

Trench Drain Grate

Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2025-01-10

Unit 6
Gold Hill
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Grading
and
Drainage

C2

Wildfire Mitigation Notes:

Wildfire Mitigation will be performed according to the Town of Mountain Village requirements, CDC Chapter 17.6. Zones 1, 2, and 3 are identified on the plan.

D. The following requirements shall be followed in creating the required wildfire mitigation plan:

- i. Zone 1 is the area that consists of fifteen feet (15') around the building as measured from the outside edge of the building's dripline, including decks, planters or patios attached to the building. The following provisions shall apply in Zone 1:
 - 1. (a) All slash and flammable vegetation as identified by staff shall be removed from Zone 1.
 - 2. (b) All trees and shrubs located within Zone 1 shall be removed.
 - 3. (c) The following exceptions apply to Zone 1:
 - 1. (i.) A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation's drip edge rather than from the building plane (so the tree is considered part of or an extension of the structure), and provided the distance is not limited by a lot line.
 - 2. (ii.) Flammable vegetation shall be allowed in planters attached to the building so long as the planter is within ten feet (10') of a building, and vegetation is not planted directly beneath windows or next to foundation vents.
 - 4. (d) In the event Zone 1 encroaches upon the general easement, the review authority shall allow the creation of defensible space as required by this section.
- ii. Zone 2 is the area that extends from the outer edge of Zone 1 for the distance specified in Figure 6-1 (Sec. 17.6.1 of the CDC), Fire Mitigation Zones, based on slope, to the lot line, whichever is less.

The following provisions shall apply in Zone 2:

- (iii.) Dominant and co-dominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown-to-crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown-to-crown separation area.
 - 4. (iv.) All stressed, diseased, dead or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
 - 5. (v.) Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub-to-shrub.
- (A) The following exceptions apply to Zone 2:
- 2. (i.) Groupings of trees or shrubs may be allowed provided that all of the crowns in such group of trees or the edge of the shrubs are spaced ten feet (10') from crown-to-crown or from edge of shrub to any trees or shrubs outside of such grouping.
 - 3. (ii.) Aspens, narrowleaf cottonwoods, willows and other trees and shrubs listed in CSU Cooperative Extension Publication 6.305, Firewise Plant Materials as amended from time to time, may be spaced closer than the ten foot (10') crown-to-crown separation as approved by staff.
 - 4. (iii.) Closer spacing of any trees may be allowed by staff upon a determination that the required ten foot (10') crown-to-crown spacing would put the remaining trees at undue risk of wind-throw or snow breakage.
 - 5. (iv.) Tree removal for the creation of defensible space, if such tree removal is determined to be impractical by the Town due to steep slopes, wetland or other environmental constraints, and other mitigation is provided.
 - 3. (c) Trees remaining within Zone 2 shall have branches pruned to a height of ten feet (10'), but notwithstanding said height requirement, branches need not be pruned to more than one-third (1/3) of the tree height with the following exceptions:
 - 1. (i.) Aspen trees; and
 - 2. (ii.) Isolated spruce and fir trees.
 - 4. (d) In the event that Zone 1 or 2 extends upon the general easement, the review authority shall allow the removal of trees to implement the wildfire mitigation plan.
 - 5. (e) Chipped wood and small timber may be spread throughout either Zone 2 or Zone 3 provided the wood chips have a maximum depth of two to three inches (2" - 3") and small timber has a diameter of three inches (3") or less and is cut up into lengths that are three feet (3') or less.

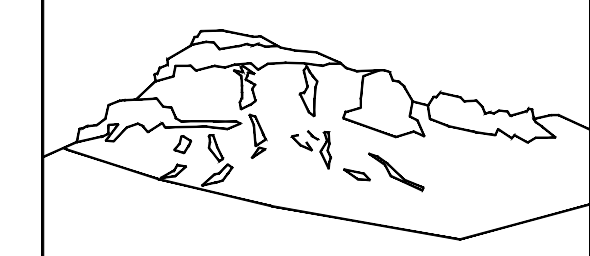
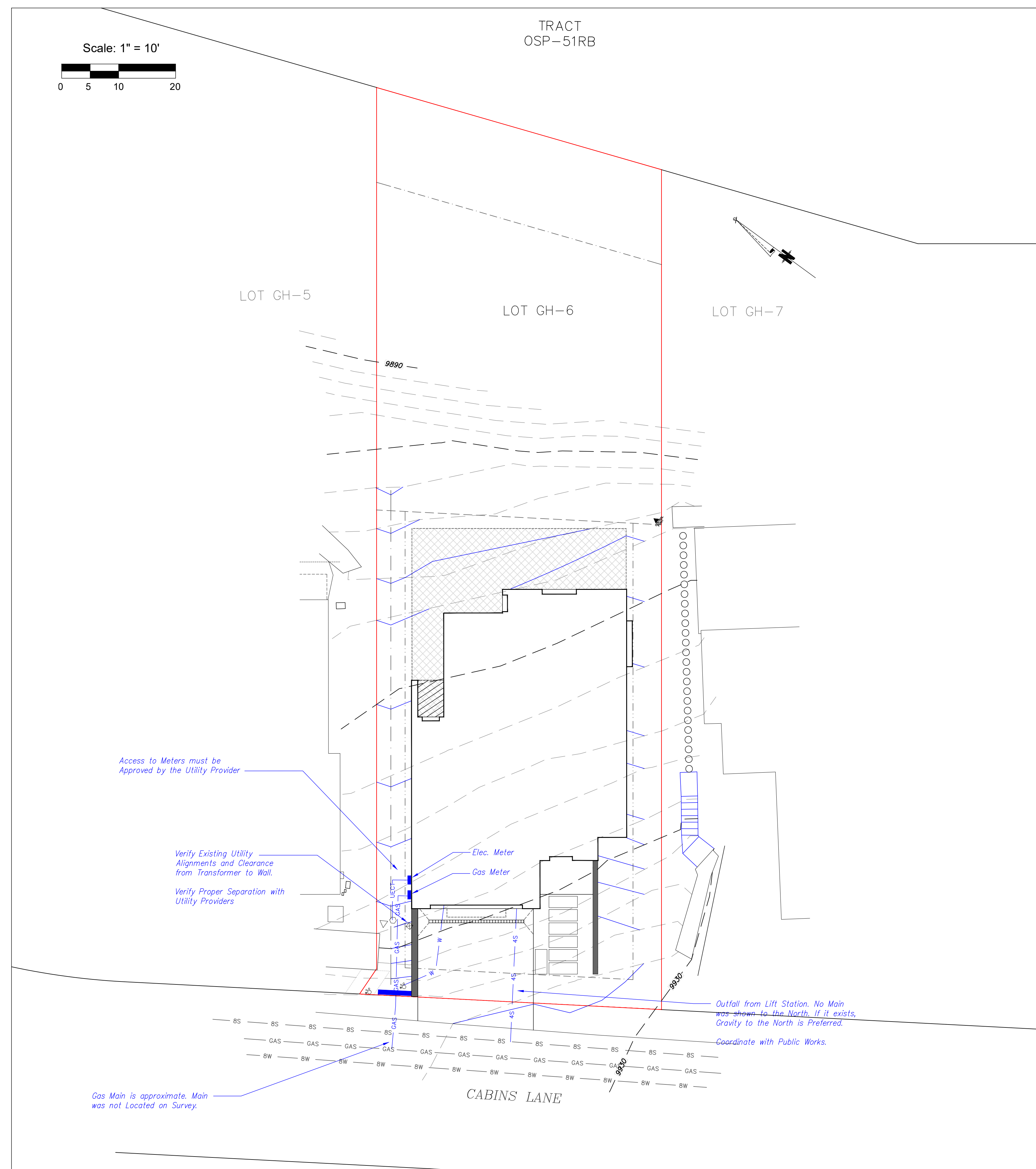
- iii. Zone 3 is the area extending beyond Zone 2 to the edge of the lot subject to development. In Zone 3, all diseased, beetle infested, dead or dying trees, as identified by staff, shall be removed except for standing dead trees (aka tree snags) that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
- (a) For lots greater than five (5) acres in size, the Town shall only require that Zone 3 be implemented for a distance of 500 feet from the outside edge of Zone 2. A lot owner may propose to implement Zone 3 for all of the lot.

E. Firewood may only be stored on a lot that has a solid fuel burning device permit issued by the Town that meets the following limitations:

- i. Indoor storage can only occur within an enclosed room that is a part of the primary structure on the lot.
- ii. Outdoor storage shall only occur in the rear yard.
- iii. Up to ten (10) cubic feet of outdoor firewood storage may be located in Zone 1 or Zone 2.
- iv. Outdoor firewood storage larger than ten (10) cubic feet shall have a minimum thirty foot (30') distance from the structure.
- v. Outdoor firewood storage shall be screened from view from surrounding lots

F. Prior to the issuance of any certificate of occupancy or certificated of completion, staff shall inspect the lot affected by the fire mitigation plan to ensure that such plan has been implemented in accordance with the approved wildfire mitigation plan.

G. The wildfire mitigation plan shall be maintained by the lot owner as required by this section.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2025-01-10

Unit 6
Gold Hill
Mtn. Village, CO

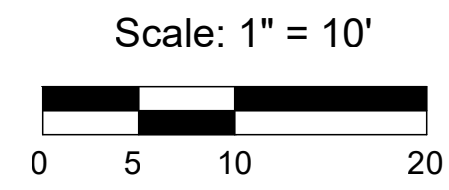


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3

TRACT
OSP-51RB



LOT GH-5

LOT GH-6

LOT GH-7

Install Silt Fence on the downhill side of disturbance. Maintain throughout job. No surface water will be allowed to discharge the site without being directed through a silt fence or straw wattle.

6' Chain Link Fence Panels with Green Screening

Material Storage and Laydown Yard

Post Contractor's Sign with Emergency Contact Number

Open and Close Panels at Access at the Beginning and End of Each Work Day

Parking Space (to Scale)

Parking: Parking will not fit on the Lot and the HOA doesn't want parking on Cabins Lane. The Contractor shall coordinate with Public Works to find Off-Street Parking or on nearby Vacant Lots

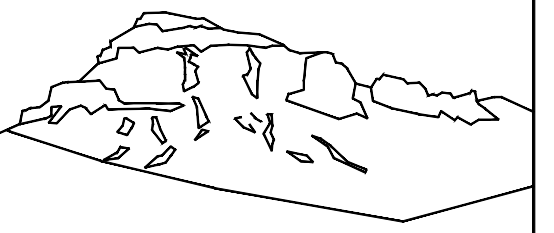
Port-a-John Toilet

Bear Proof Poly-Cart

Construction Dumpster, placed so that The Trash Truck can back up to it

The Contractor may Modify this Plan, but the New Plan must be Coordinated and Approved by the Town of Mountain Village.

CABINS LANE



Uncompahgre
Engineering, LLC

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Construction
Mitigation

C4

Wildfire Mitigation Notes:

Wildfire Mitigation will be performed according to the Town of Mountain Village requirements, CDC Chapter 17.6. Zones 1, 2, and 3 are identified on the plan.

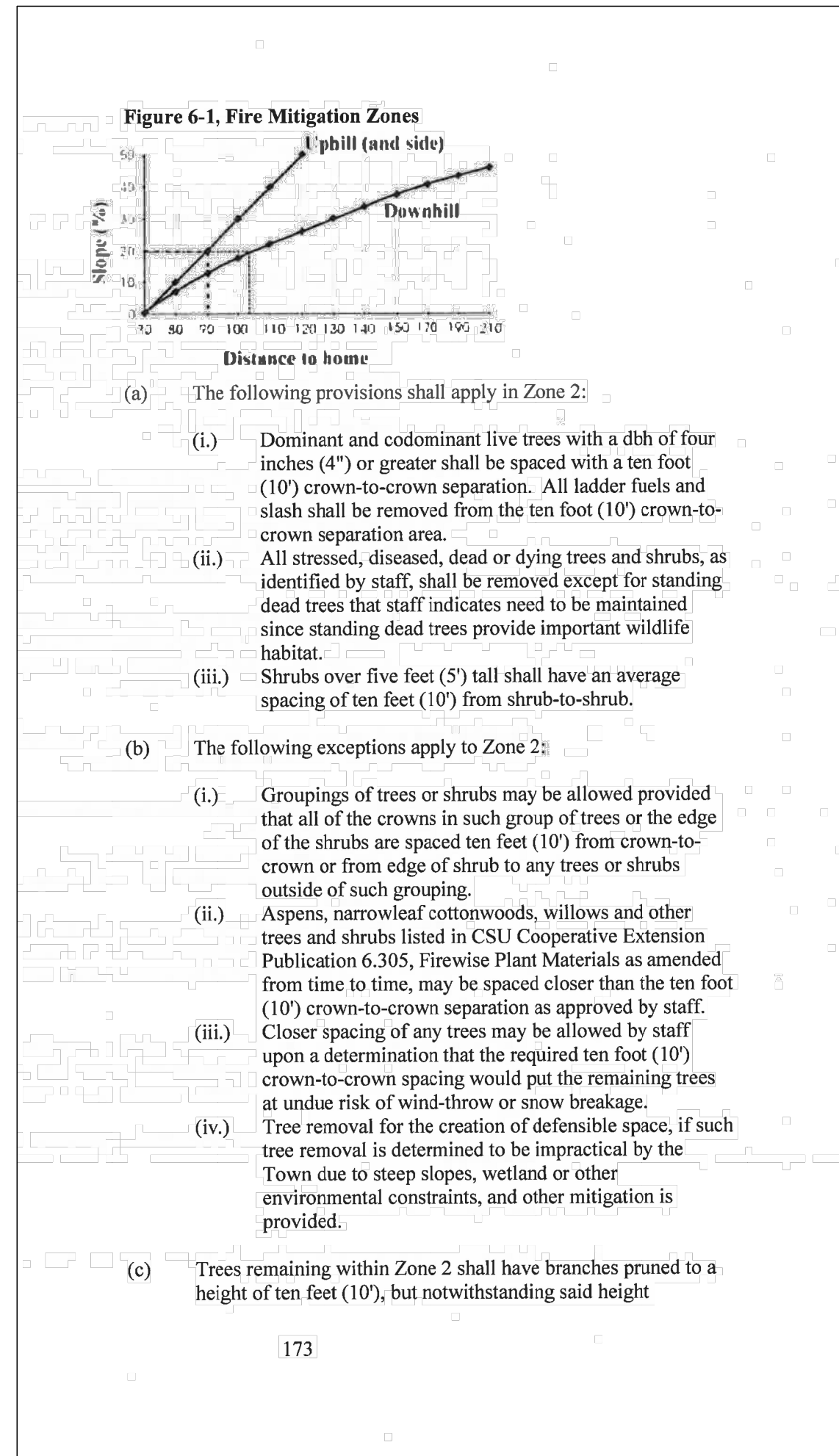
- D. The following requirements shall be followed in creating the required wildfire mitigation plan:
- i. Zone 1 is the area that consists of fifteen feet (15') around the building as measured from the outside edge of the building's dripline, including decks, planters or patios attached to the building. The following provisions shall apply in Zone 1:
 1. (a) All slash and flammable vegetation as identified by staff shall be removed from Zone 1.
 2. (b) All trees and shrubs located within Zone 1 shall be removed.
 3. (c) The following exceptions apply to Zone 1:
 1. (i.) A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation's drip edge rather than from the building plane (so the tree is considered part of or an extension of the structure), and provided the distance is not limited by a lot line.
 2. (ii.) Flammable vegetation shall be allowed in planters attached to the building so long as the planter is within ten feet (10') of a building, and vegetation is not planted directly beneath windows or next to foundation vents.
 4. (d) In the event Zone 1 encroaches upon the general easement, the review authority shall allow the creation of defensible space as required by this section.
 - ii. Zone 2 is the area that extends from the outer edge of Zone 1 for the distance specified in Figure 6-1 (Sec. 17.6.1 of the CDC), Fire Mitigation Zones, based on slope, to the lot line, whichever is less.

The following provisions shall apply in Zone 2:

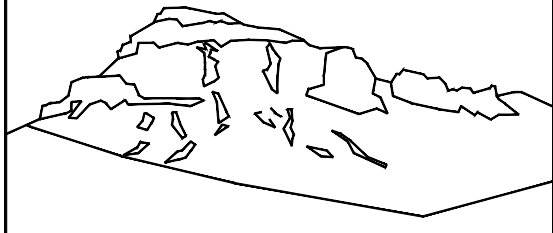
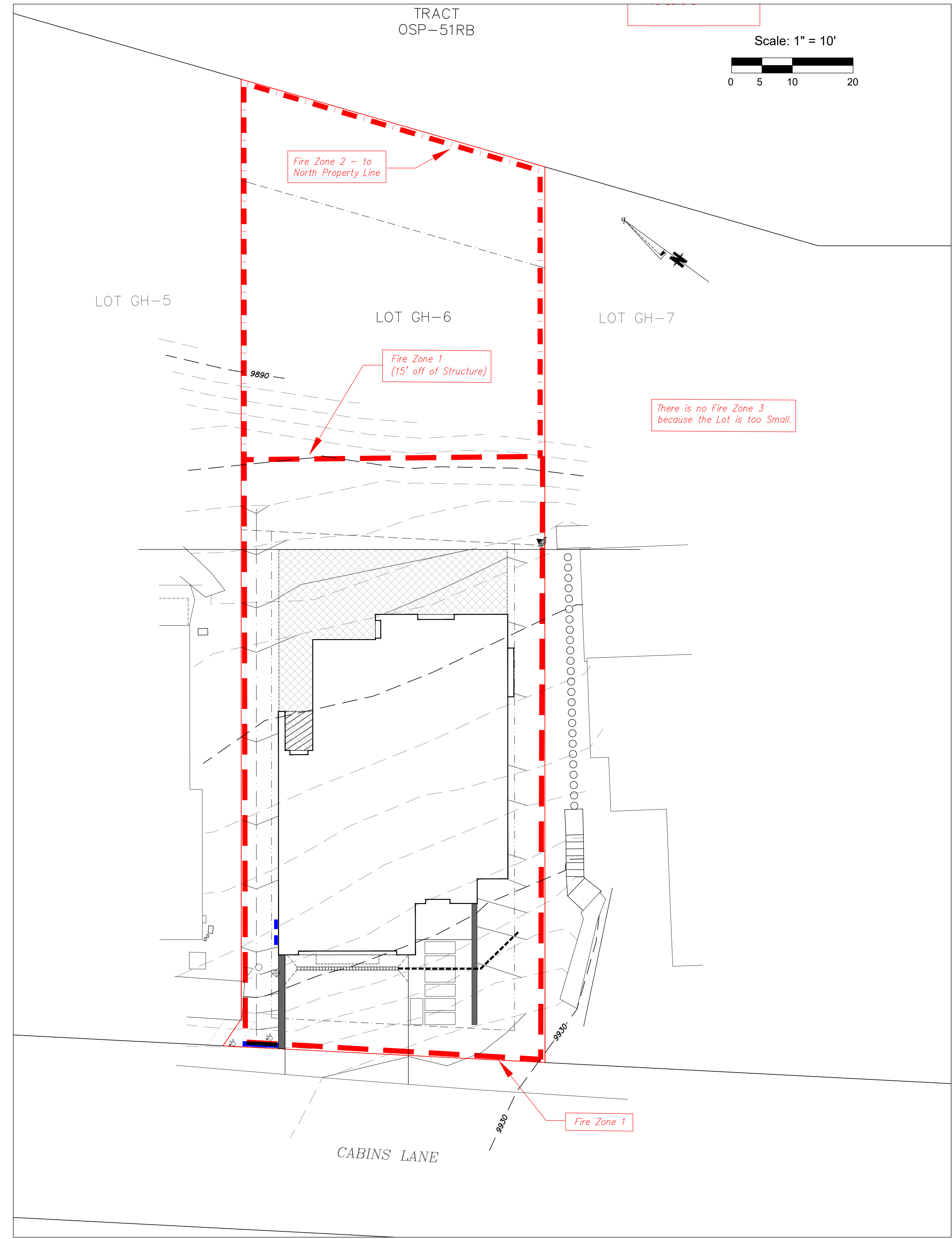
 - (iii.) Dominant and co-dominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown-to-crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown-to-crown separation area.
 4. (iv.) All stressed, diseased, dead or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
 5. (v.) Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub-to-shrub.

(A) The following exceptions apply to Zone 2:

 2. (i.) Groupings of trees or shrubs may be allowed provided that all of the crowns in such group of trees or the edge of the shrubs are spaced ten feet (10') from crown-to-crown or from edge of shrub to any trees or shrubs outside of such grouping.
 3. (ii.) Aspens, narrowleaf cottonwoods, willows and other trees and shrubs listed in CSU Cooperative Extension Publication 6.305, Firewise Plant Materials as amended from time to time, may be spaced closer than the ten foot (10') crown-to-crown separation as approved by staff.
 4. (iii.) Closer spacing of any trees may be allowed by staff upon a determination that the required ten foot (10') crown-to-crown spacing would put the remaining trees at undue risk of wind-throw or snow breakage.
 5. (iv.) Tree removal for the creation of defensible space, if such tree removal is determined to be impractical by the Town due to steep slopes, wetland or other environmental constraints, and other mitigation is provided.
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 1. (i.) Aspen trees; and
 2. (ii.) Isolated spruce and fir trees.
 4. (d) In the event that Zone 1 or 2 extends upon the general easement, the review authority shall allow the removal of trees to implement the wildfire mitigation plan.
 5. (e) Chipped wood and small timber may be spread throughout either Zone 2 or Zone 3 provided the wood chips have a maximum depth of two to three inches (2" - 3") and small timber has a diameter of three inches (3") or less and is cut up into lengths that are three feet (3') or less.
 - iii. Zone 3 is the area extending beyond Zone 2 to the edge of the lot subject to development. In Zone 3, all diseased, beetle infested, dead or dying trees, as identified by staff, shall be removed except for standing dead trees (aka tree snags) that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
 - (a) For lots greater than five (5) acres in size, the Town shall only require that Zone 3 be implemented for a distance of 500 feet from the outside edge of Zone 2. A lot owner may propose to implement Zone 3 for all of the lot.
- E. Firewood may only be stored on a lot that has a solid fuel burning device permit issued by the Town that meets the following limitations:
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 - ii. Outdoor storage shall only occur in the rear yard.
 - iii. Up to ten (10) cubic feet of outdoor firewood storage may be located in Zone 1 or Zone 2.
 - iv. Outdoor firewood storage larger than ten (10) cubic feet shall have a minimum thirty foot (30') distance from the structure.
 - v. Outdoor firewood storage shall be screened from view from surrounding lots
- F. Prior to the issuance of any certificate of occupancy or certificated of completion, staff shall inspect the lot affected by the fire mitigation plan to ensure that such plan has been implemented in accordance with the approved wildfire mitigation plan.
- G. The wildfire mitigation plan shall be maintained by the lot owner as required by this section.



Fire Zone 2 Chart



Uncompahgre Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2025-01-10

Unit 6
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Mtn. Village, CO

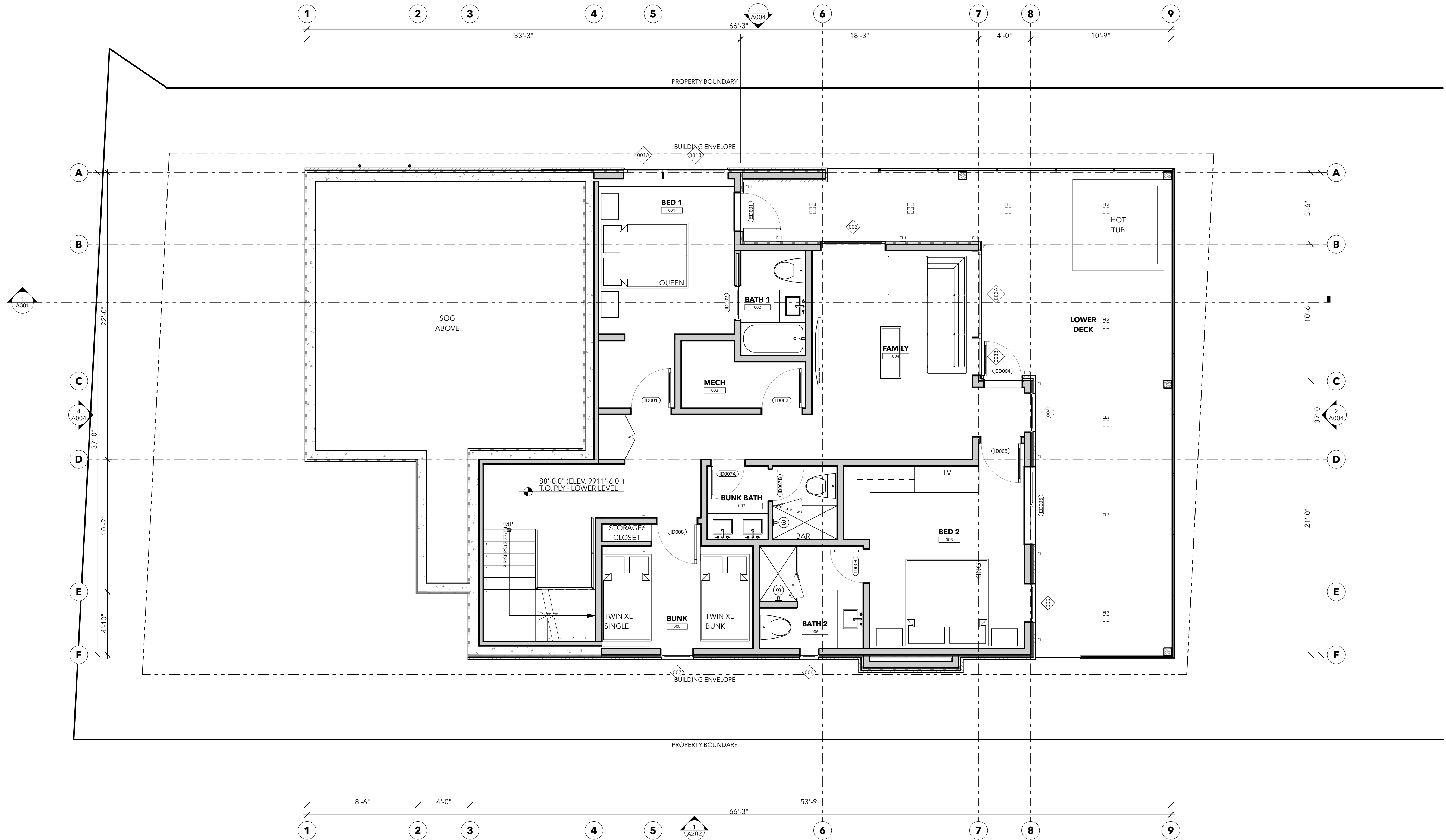


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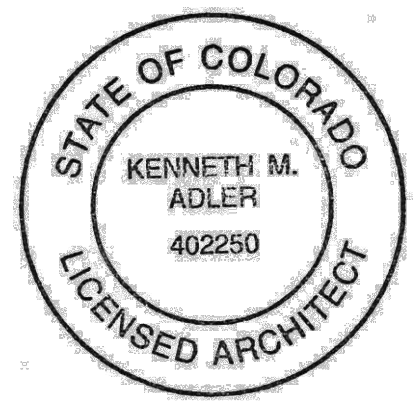
Fire Mitigation

C5

GROSS SQUARE FOOTAGE			NET SQUARE FOOTAGE	
ZONE				
RESIDENCE	LOWER LEVEL	1,238	LOWER LEVEL	1,238
GARAGE	MAIN LEVEL	540	MAIN LEVEL	1,223
RESIDENCE	MAIN LEVEL	1,223	UPPER LEVEL	637
RESIDENCE	UPPER LEVEL	637		3,098 ft²
		3,638 ft²		



Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



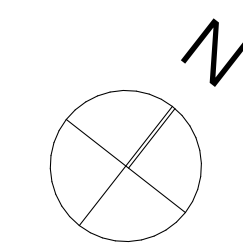
ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25

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SHEET TITLE
LOWER LEVEL PLAN



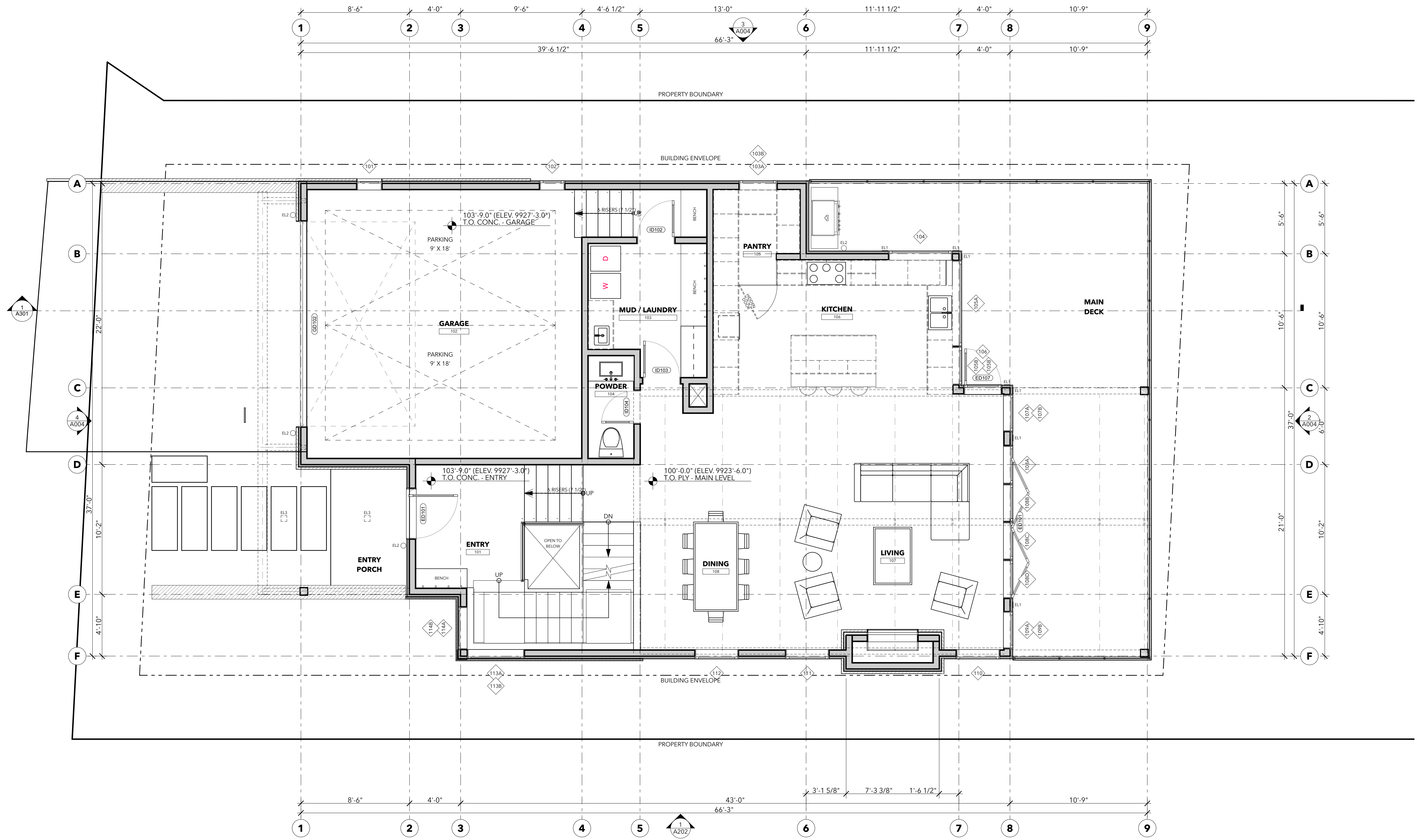
LOWER LEVEL
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

1

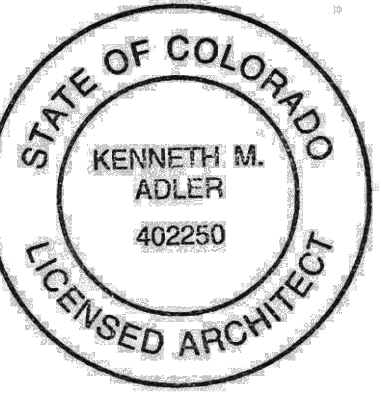
A101

(STAINLESS STEEL OR SIM.)
ILLUMINATE W/ CONCEALED LED

GROSS SQUARE FOOTAGE			NET SQUARE FOOTAGE	
ZONE				
RESIDENCE	LOWER LEVEL	1,238	LOWER LEVEL	1,238
GARAGE	MAIN LEVEL	540	MAIN LEVEL	1,223
RESIDENCE	MAIN LEVEL	1,223	UPPER LEVEL	637
RESIDENCE	UPPER LEVEL	637		3,098 ft²
		3,638 ft²		



Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



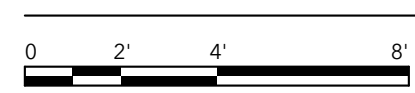
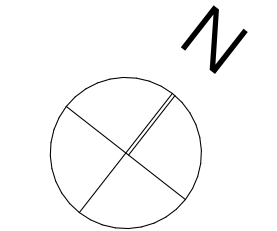
ISSUE	DATE
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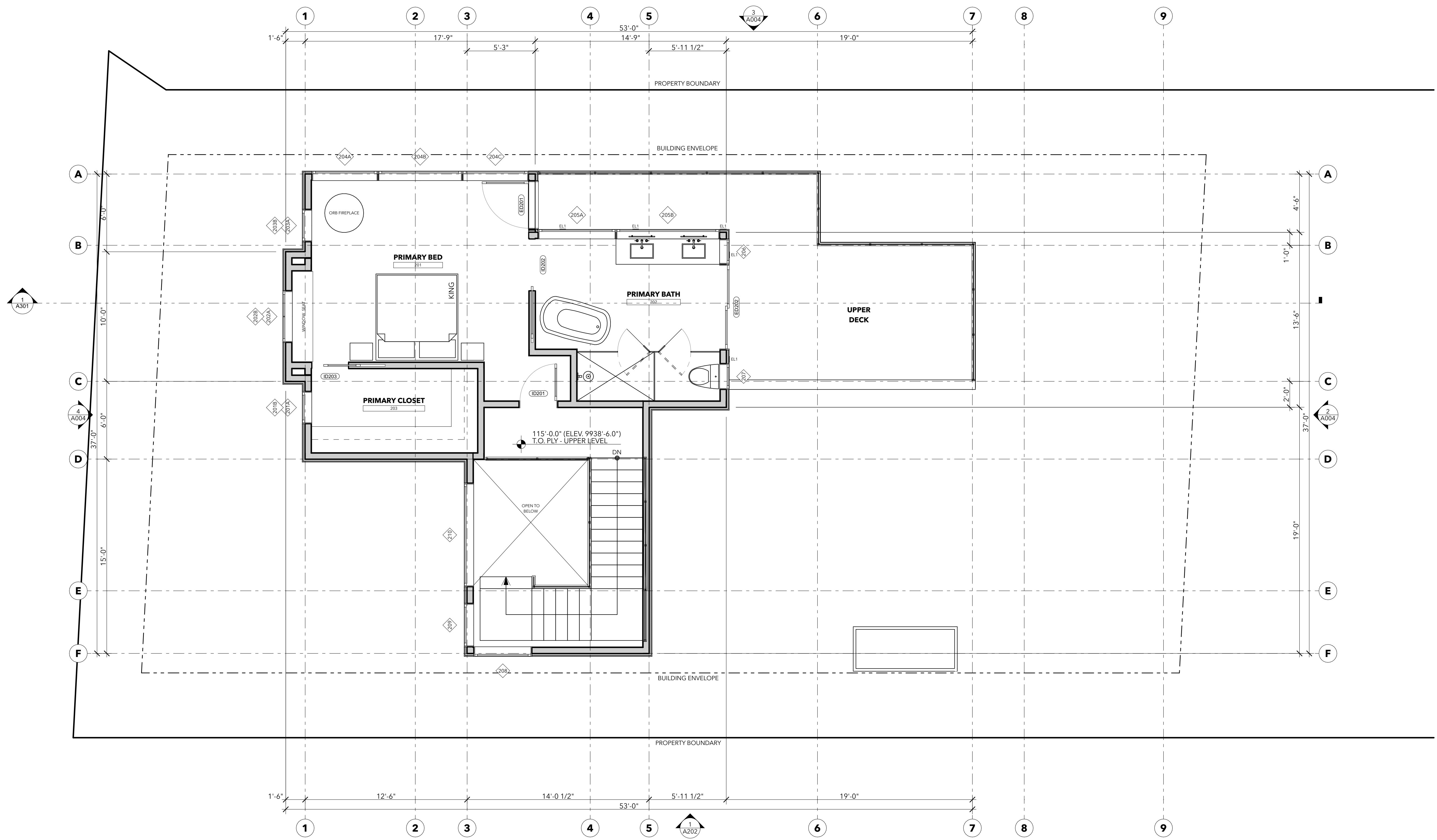
SHEET TITLE
MAIN LEVEL PLAN



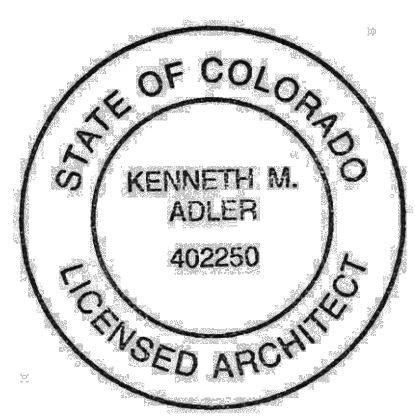
MAIN LEVEL
SCALE: 1/4" = 1'-0"

A102

GROSS SQUARE FOOTAGE			NET SQUARE FOOTAGE	
ZONE				
RESIDENCE	LOWER LEVEL	1,238	LOWER LEVEL	1,238
GARAGE	MAIN LEVEL	540	MAIN LEVEL	1,223
RESIDENCE	MAIN LEVEL	1,223	UPPER LEVEL	637
RESIDENCE	UPPER LEVEL	637		3,098 ft²
		3,638 ft²		



Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



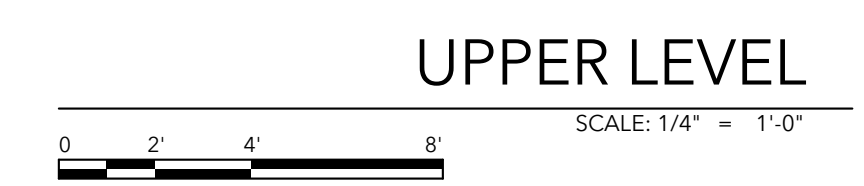
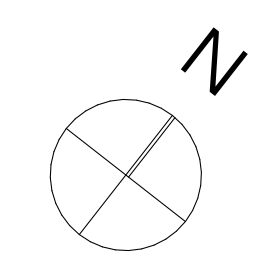
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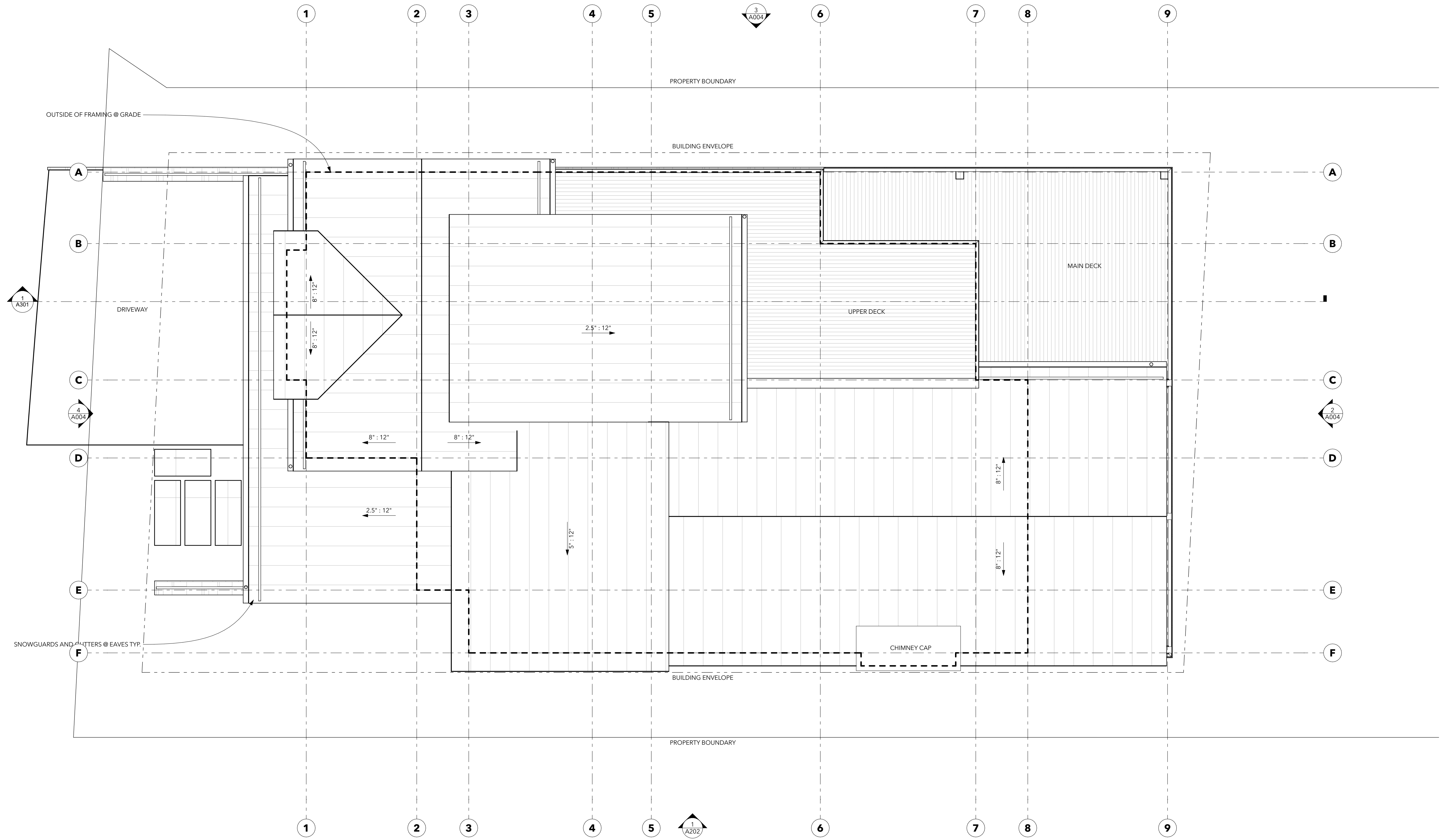
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SHEET TITLE
UPPER LEVEL PLAN

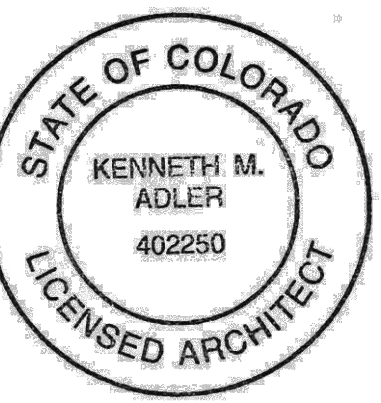


UPPER LEVEL

A103



Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



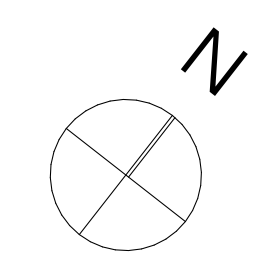
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SHEET TITLE
ROOF PLAN




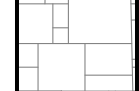


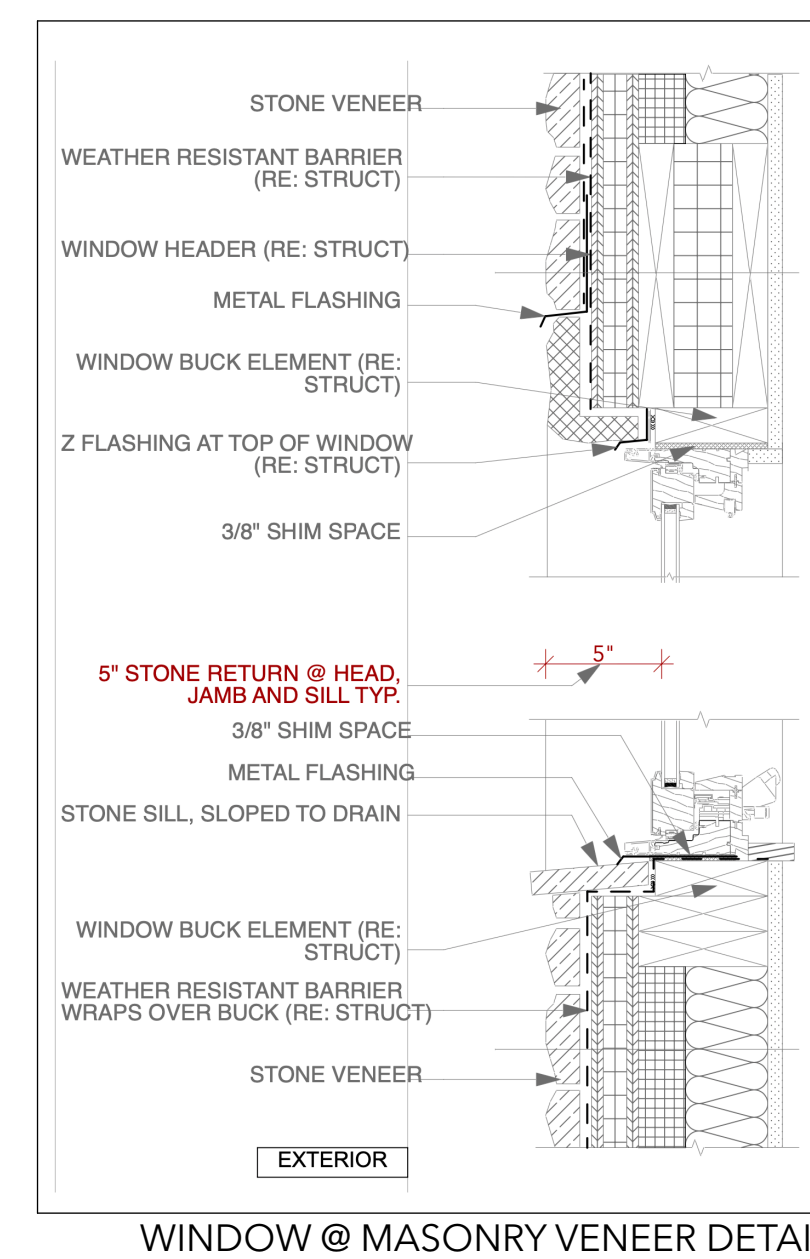
ROOF PLAN 1

A104

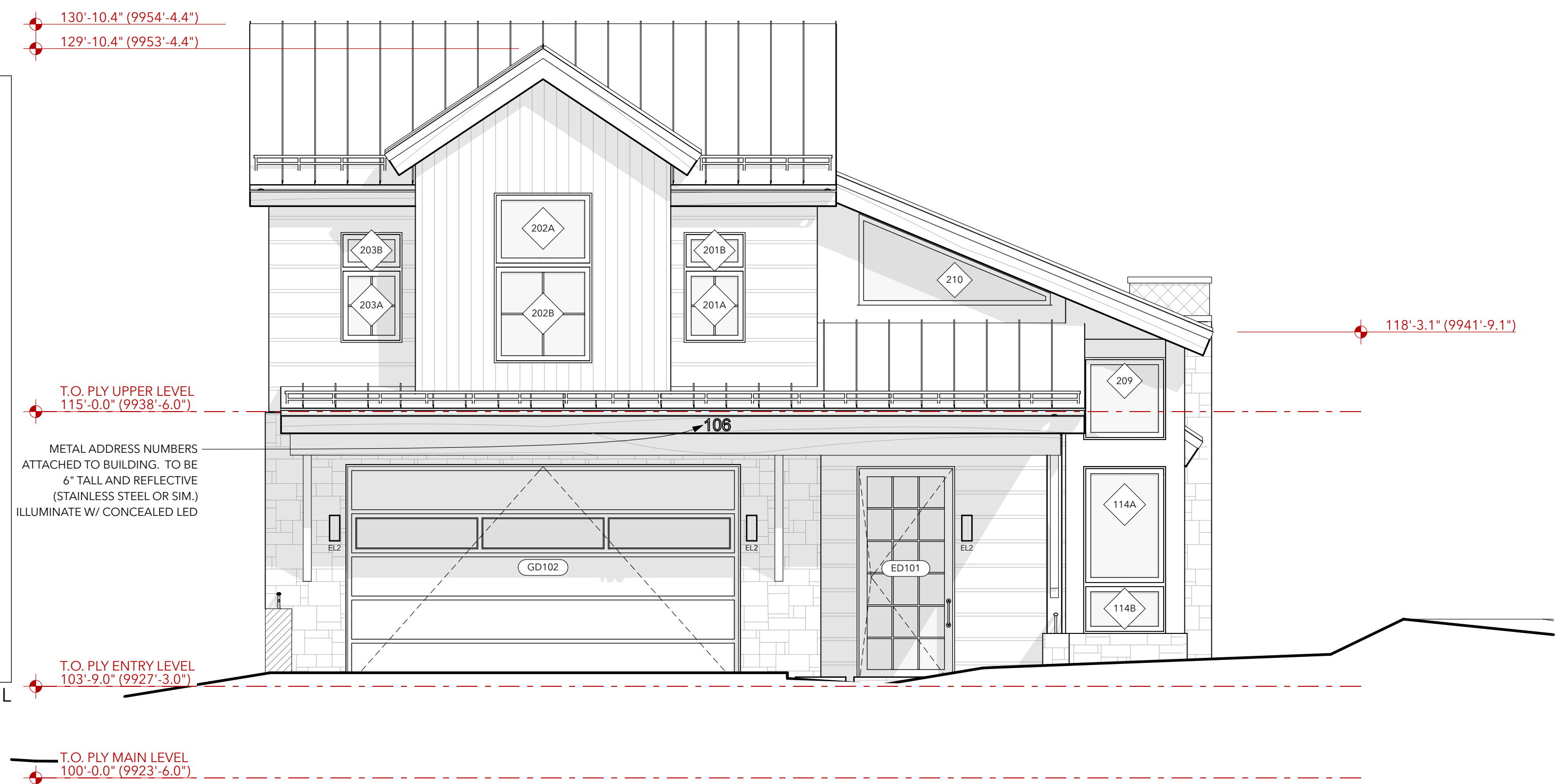


ELEVATION MATERIAL LEGEND

-  **STANDING SEAM METAL ROOF**
-  **CEDAR W/ CHINKING SIDING**
-  **CEDAR SIDING**
-  **MASONRY VENEER**

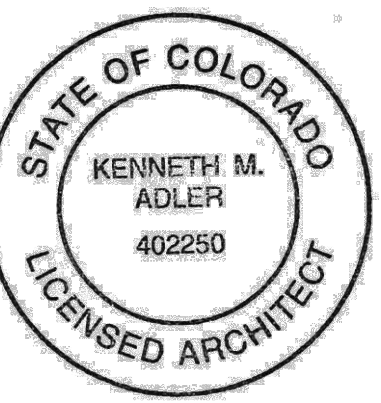


WINDOW @ MASONRY VENEER DETAIL



ELEVATION WEST 2

SCALE: 1/4" = 1'-0"



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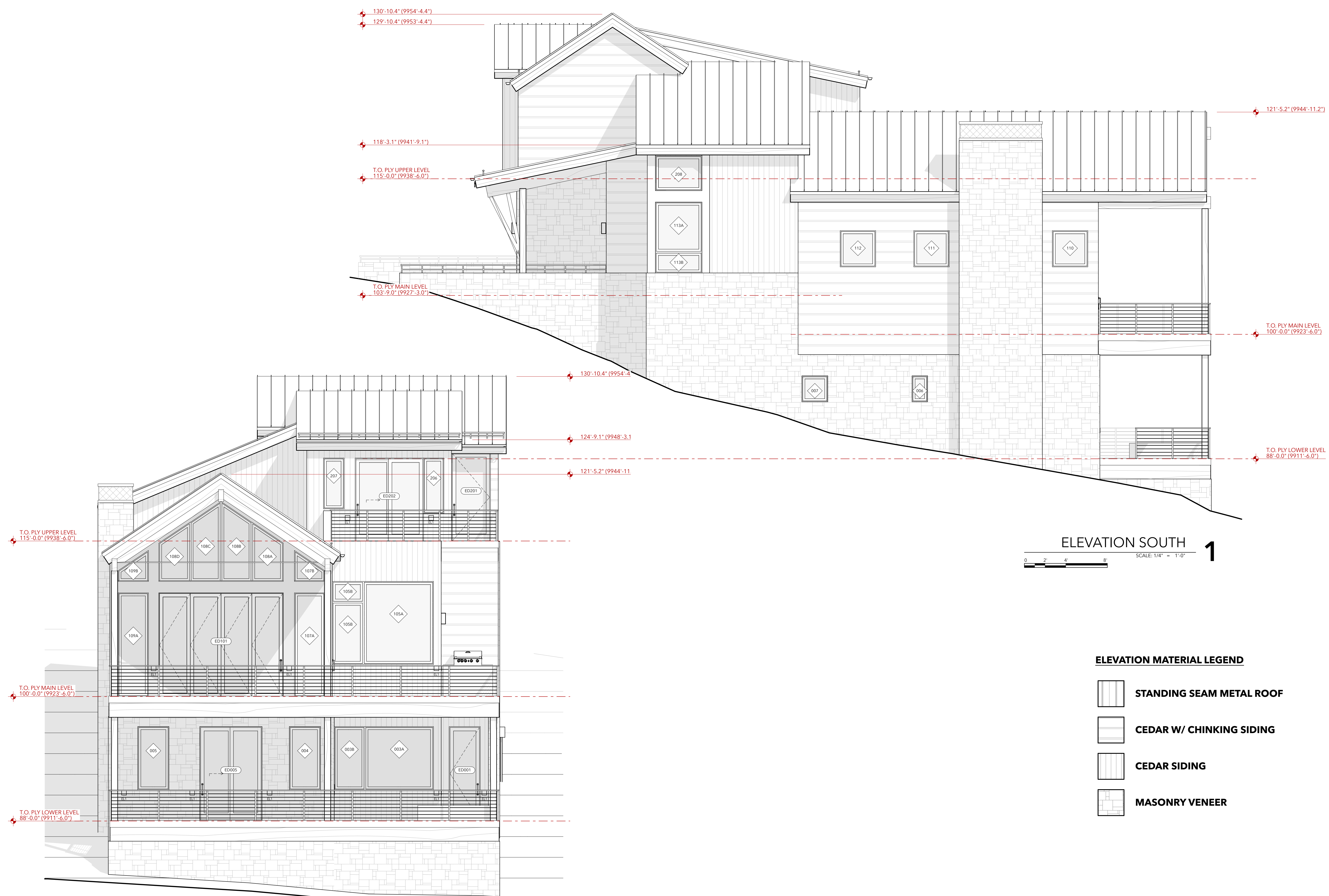
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SHEET TITLE

ELEVATIONS

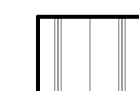



A201



ELEVATION SOUTH 1

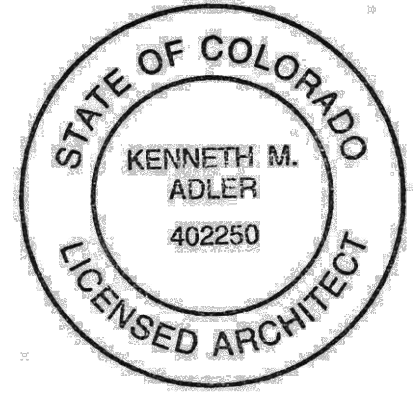
SCALE: 1/4" = 1'-0"

ELEVATION MATERIAL LEGEND

-  **STANDING SEAM METAL ROOF**
-  **CEDAR W/ CHINKING SIDING**
-  **CEDAR SIDING**
-  **MASONRY VENEER**

ELEVATION EAST 2

SCALE: 1/4" = 1'-0"



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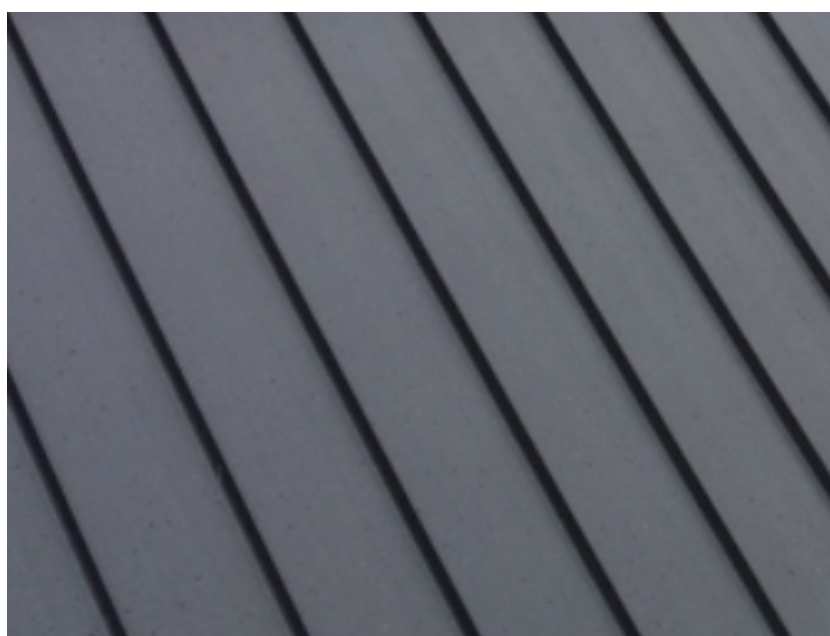
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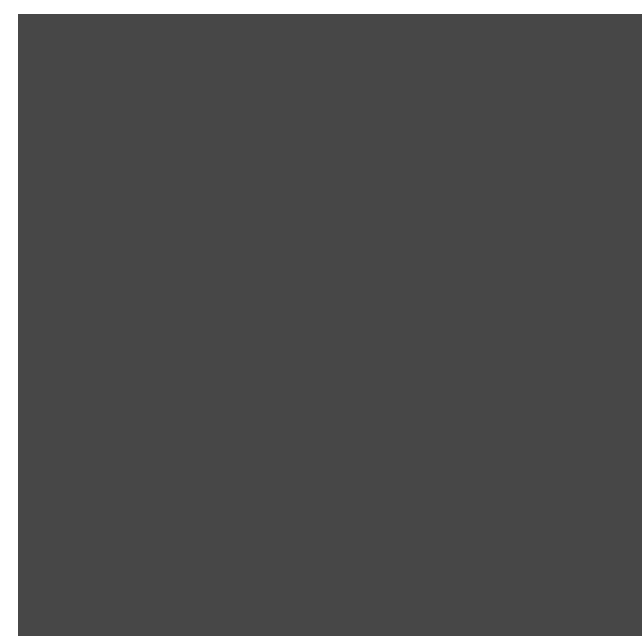
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SHEET TITLE
ELEVATIONS

A202



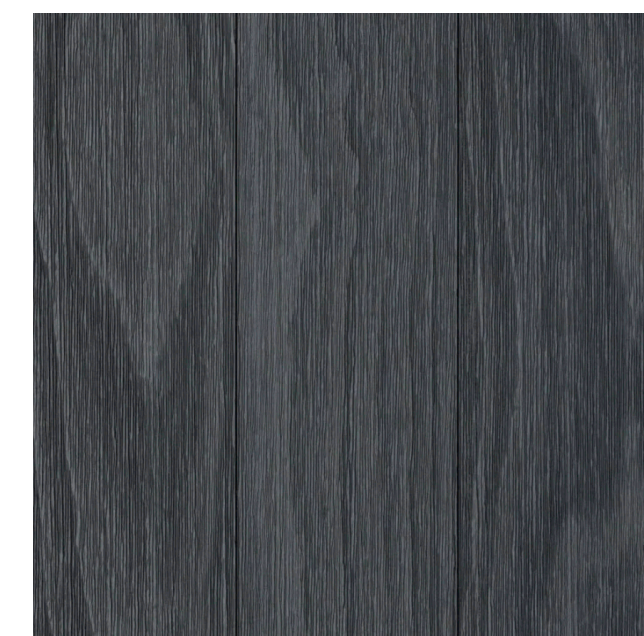
ROOF: METAL STANDING SEAM ROOF - BERRIDGE CHARCOAL GREY



PAINTED METAL / FLASHING: CANNONBALL



HORIZONTAL SIDING: DELTA MILLWORKS WESTERN RED CEDAR, HD CLEAR W/ FLASHING



VERTICAL SIDING: DELTA MILLWORKS ACCOYA, BARNWOOD, BATTLESHIP



MASONRY VENEER - TELLURIDE SAGEBRUSH

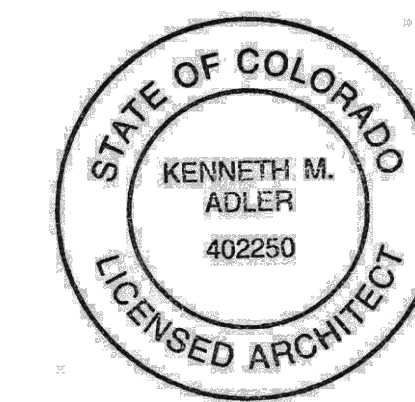


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Gold Hill Lot 6

106 Cabins LN
Town of Mountain Village, CO 81435



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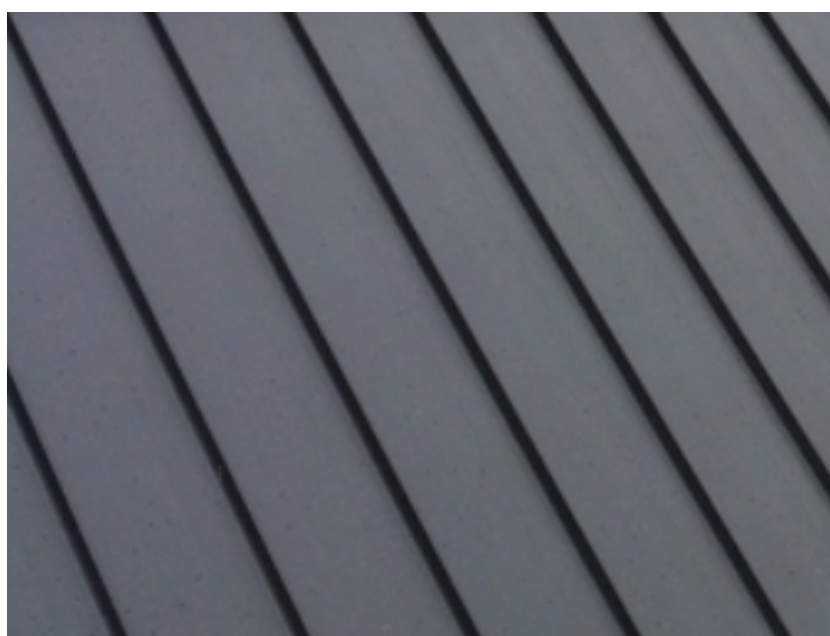
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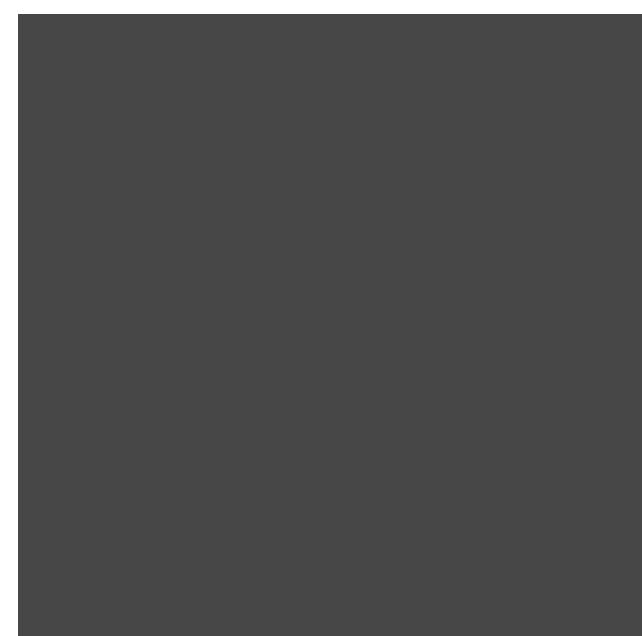
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SHEET TITLE
3D EXTERIOR 1

A203



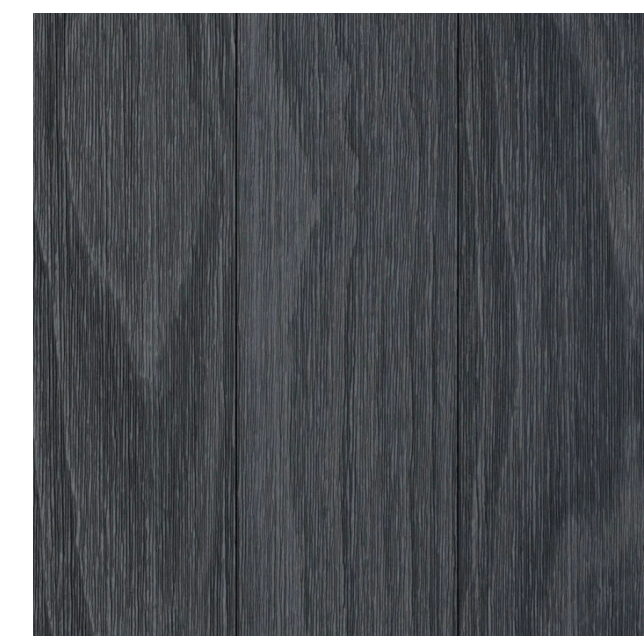
ROOF: METAL STANDING SEAM ROOF - BERRIDGE CHARCOAL GREY



PAINTED METAL / FLASHING: CANNONBALL



HORIZONTAL SIDING: DELTA MILLWORKS WESTERN RED CEDAR, HD CLEAR W/ FLASHING



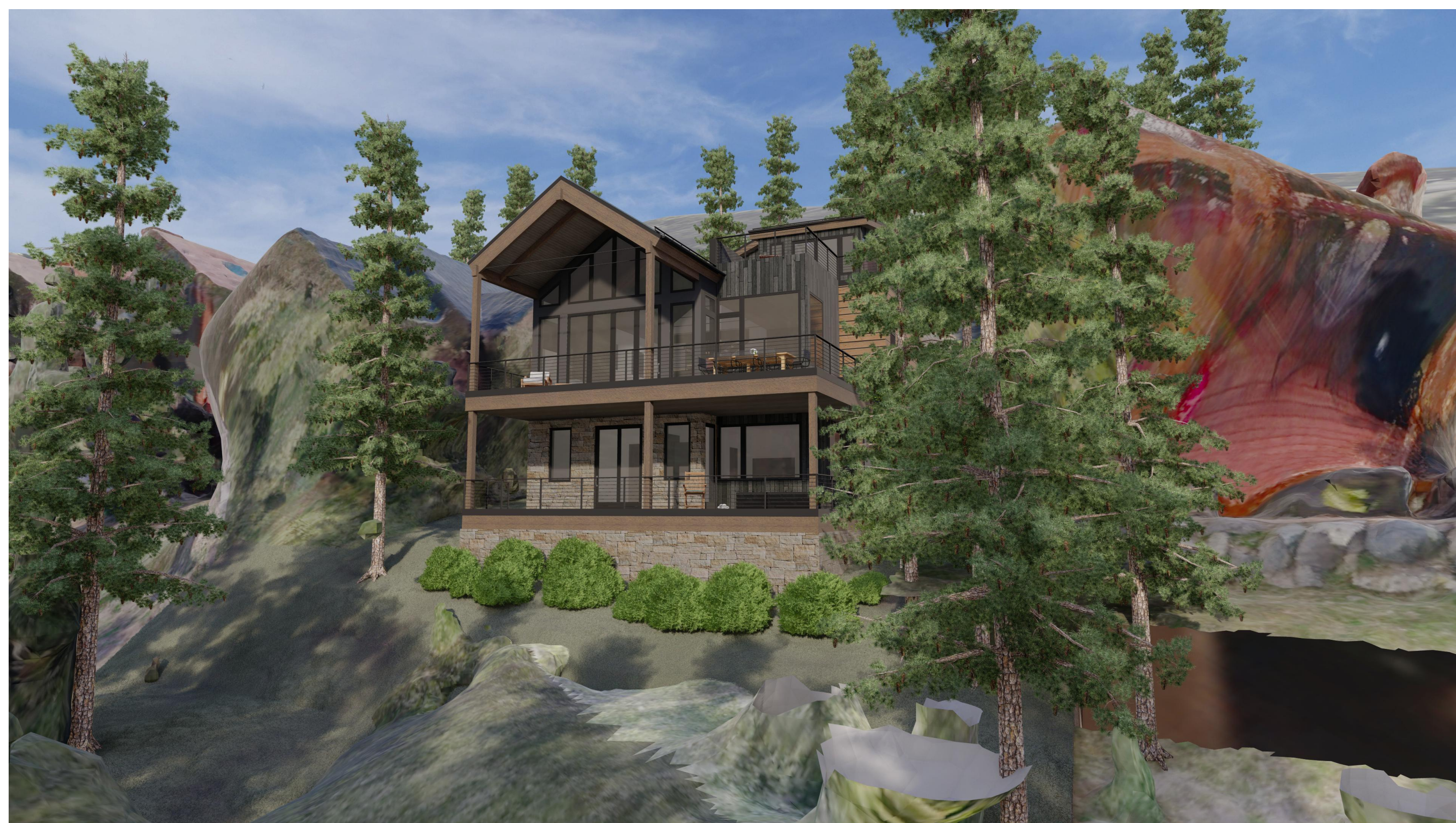
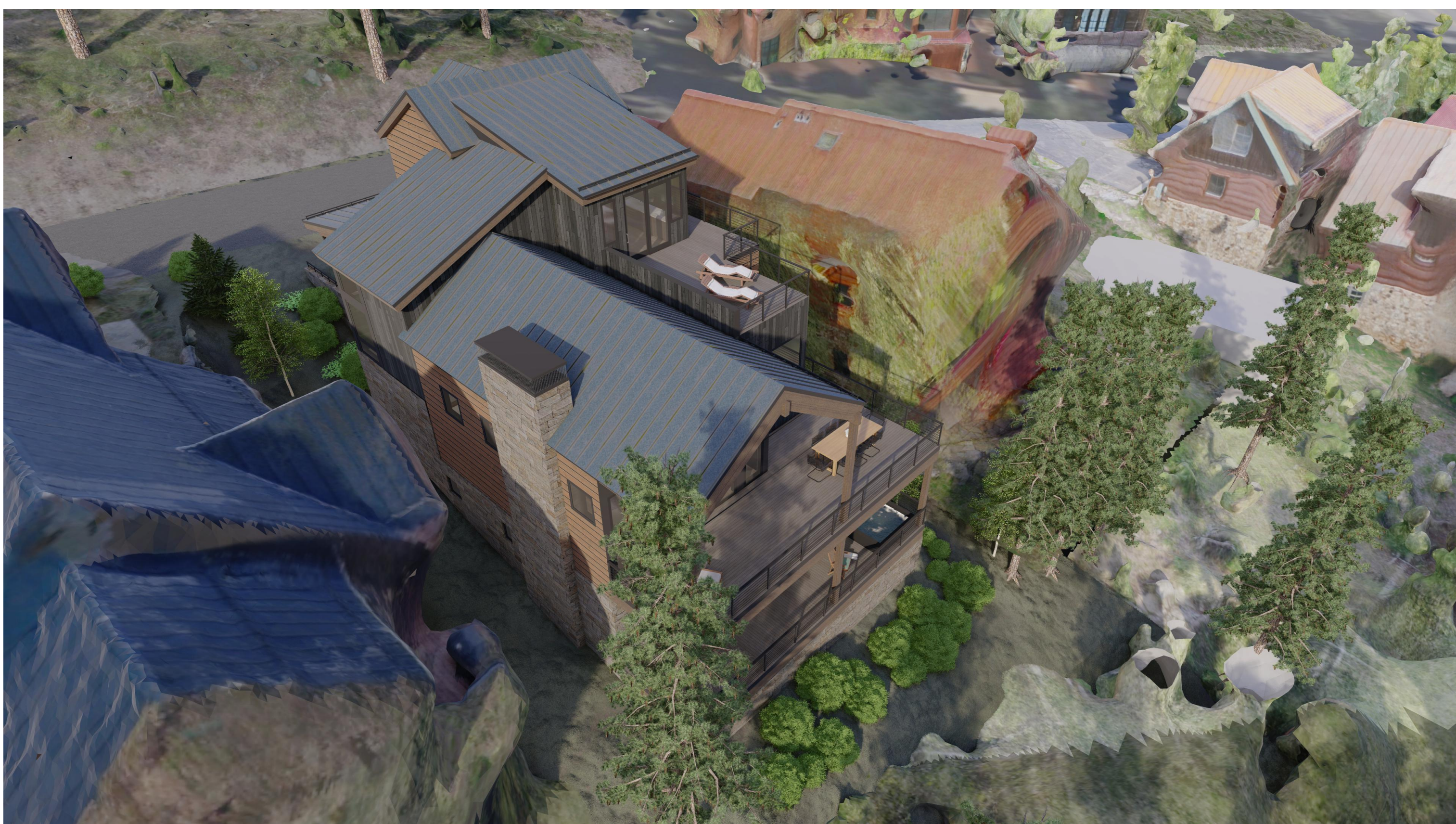
VERTICAL SIDING: DELTA MILLWORKS ACCOYA, BARNWOOD, BATTLESHIP



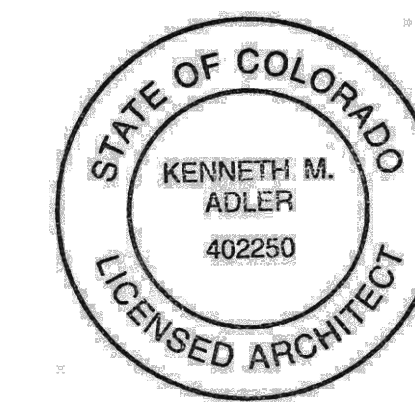
MASONRY VENEER - TELLURIDE SAGEBRUSH



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Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25



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SHEET TITLE
3D EXTERIOR 2

A204

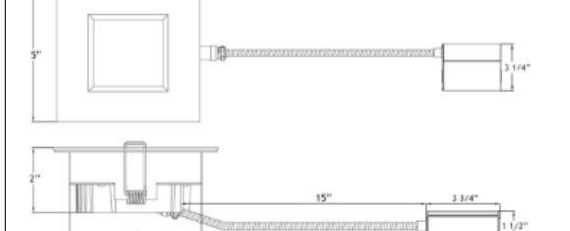
Type IC, Air-Tight, Wet & Plenum Rated

DESCRIPTION
4" Square Recessed LED With Integral Driver In Connection Box
Commercial Grade Quality With Architectural Design


FEATURES & BENEFITS
2" Deep - Install Where Ceiling Space is Limited
Single CCT 2700K, 3000K, 4000K, Dim to Warm or SCCT options
CRI 90+ for True Color Rendering
Type IC Rated - No Housing Required - Save on Labour
Driver Inside Connection Box - No Junction Box Needed
Armored Cable & Metal Connectors - Open Plenum Rated

MOUNTING
Cut Hole In Ceiling And Snap Fixture In Opening With Attached Spring Clips. Ceiling Clearance Required: 2"

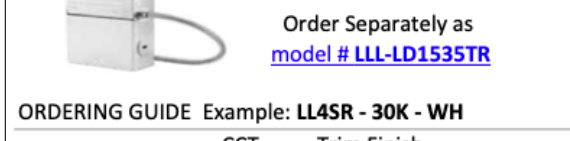
DIMENSIONS: ID 4" OD 5" Sq Cut Out 4" to 4 1/4"



120V TRIAC Dimmable Driver Included



Optional 120V-347V Driver 0-10V Dimmable



Order Separately as model # **LL-LD1535TR**

ORDERING GUIDE Example: LL4SR - 30K - WH

LL4SR	-xxK	-xx	Trim Finish
2700K	27K	WH	White
3000K	30K	BK	Black
4000K	40K		
DTW 30K-18K	3018K		Dim to Warm 3000K to 1800K
SCCT	SCCT		User Selectable 27-30-35-40-50K

Lotus LED Lights USA
250 H Street # 301, Blaine WA 98230 tel 360-200-5500
Hainesport NJ, Naples FL, Vancouver WA

www.LotusLEDlights.com
mailing addresses
warehouses


Lotus LED Lights CANADA
1080 Cliveden Ave # 6, Delta BC V3M 6G6 tel 604-538-3090
Delta BC & Mississauga ON

LL4SR
4" Square Regressed Open Plenum LED 14.5W


Project: _____
Location: _____
Model #: _____ Qty: _____
Notes: _____

Applications	Recessed Ceiling Mount
Power	14.5 W
Single CCT Models (K)	2700 3000 4000 Dim to Warm 3000-1800K
Light Output White Trim (lm)	850 900 950 780
5 CCT Models (K)	2700 3000 3500 4000 5000
Light Output White Trim (lm)	800 840 890 920 890
Halogen Equivalent	90 W
Beam Angle	90°
CRI	90+
Default Driver Input	120V AC Triac Dimmable
Optional Driver Input	120V-347V AC 0-10V Dimmable
Junction Box Wire Capacity	Max 5 No 12 AWG or 8 No 14 AWG
Power Factor	0.98
Approved Location	Insulated Ceilings, Open Plenum, Wet
IP Rating	IP 54
Air Tight	Yes
Ambient Temperature	-40°F (-40°C) to +104°F (+40°C)
Projected Life	70% Light Output at 50,000 Hours
Certification	cULus, Energy Star (except DTW & SCCT)
Warranty	10 Year Residential / 5 Year Commercial

AVAILABLE TRIMS



White




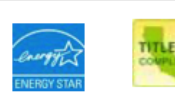

Black

ACCESSORIES

Sold Separately

- Armored Low Voltage Extension FT6 / CMP rated 10ft model # **MEC10**
- 13" Mounting Plate Flat model # **MP4-2**
- 13" Mounting Plate Flanged model # **MP4**
- 26" Flat Rough-In Plates model # **RIP4**
- Flanged Plate with Hanger Bars model # **FRP4**

COMPLIANCE

Type IC
Air-Tight
Open Plenum

Tube Architectural LED Up and Down Wall Light
By WAC Lighting



Call Us (877) 445-4486

Tube Architectural LED Up and Down Wall Light
By WAC Lighting

Product Options

Finish: Black,
Size: 5 Inch,
Light Direction: Away From Wall,
Color Temperature: 2700,
CRI: 90

Dimensions

5 Inch Option Backplate: Width 4.88", Height 4.88",
Depth 0.5"
5 Inch Option Fixture: Width 4.88", Height 12.5",
Depth 7.63", Weight 20.64Lbs
Lighting
5 Inch 2700



Lamp Type	LED Built-in
Total Lumens	2700
Total Watts	48.00
Volts	120/240/277
Color Temp	2700 (Warm)
Average Lifespan (Hours)	60,000
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Notes:

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:

Additional Details

Product URL:
<https://www.lumens.com/tube-architectural-led-up-and-down-wall-light-by-wac-lighting-WAC1830940.html>
Rating: ETL Listed Wet

ITEM#: WAC1830940

Created January 10th, 2025

CEILING MOUNTED, DOWN LIGHT - EL3

PATHLIGHTS
STEALTH AND IMPACT®

PROJECT NAME: Gold Hill 6
TYPE: E2



Low glare path lights lead the way through the out of doors, as built-ins or from freestanding bollards.

ORDERING INFORMATION AND DRAWINGS - FIXTURE

Quick Ship Product. All rough in components ship within 10 days up to quantities of 100.

FIXTURE	RATING	FLAKE FINISH	LUMEN PACKAGE	CCT	
SSL1 Stealth Sleightlight	1 Dry / Damp (Non-Locking)	POWDER COAT FINISH WH White BK Black AB Satin Silver AB Antichlorine Bronze CF Custom Finish* *Special Order	NATURAL FINISH ID Industrial Ring SS Brushed Stainless Steel PB Polished / Rubbed Bronze NB Natural Bronze MB Matte / Rubbed Bronze *Microplastic finish not available in wet location	STEALTH & IMPACT SSL1 SSL2	27K 2700K 30K 3000K 40K 4000K Custom Color (opt) 50K 5000K Color Temp. _____K *Custom color requires color sample Product Supporter guidance

A LED
Recessed LED with slot aperture for glare-free, energy-efficient path and step lighting; suitable for dry / damp or wet applications. 3.4W DC LED (dimming by power supply).

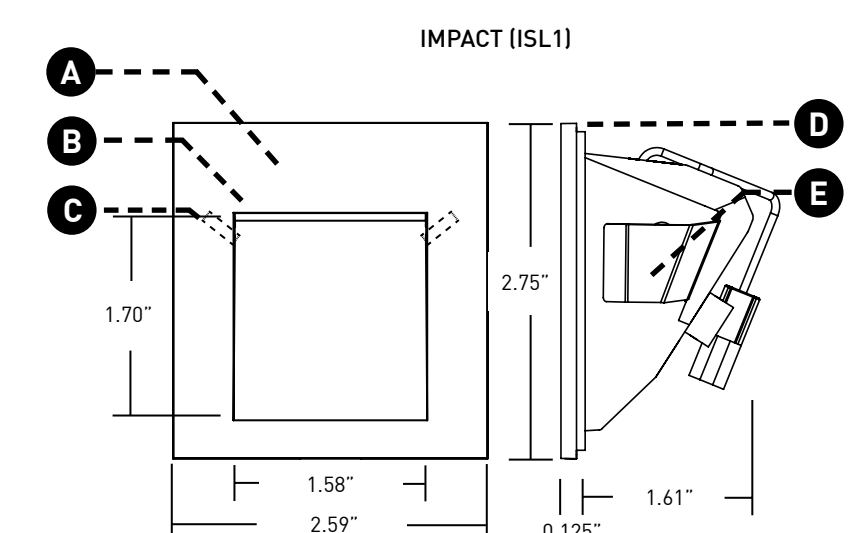
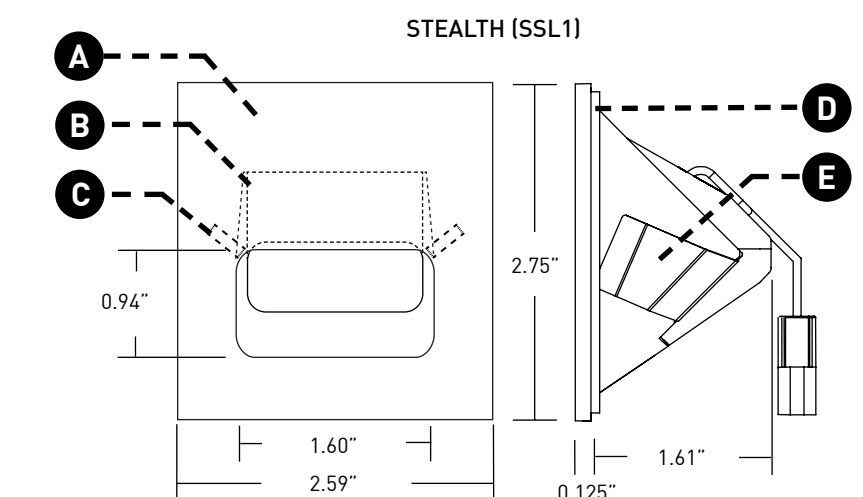
B EFFECTS DEVICES
Provided with sealed polycarbonate linear diffusion lens; consult factory for availability of color gels, which may achieve custom color temperatures.

C LOCKING
Discreetly hidden tamper-resistant set screws. Included with IP65 Wet location luminaire.

D GASKET
Foam gasket provided. Required for IP65 wet location applications only.

E RETENTION
Torsion spring clips secure fixture into back box, mounting plate, or appropriately sized cut-out.

- Available with Bollard mounting, please visit WEBSITE for additional information.
- Double Impact ISL2 pathlight available, please visit WEBSITE for additional information.

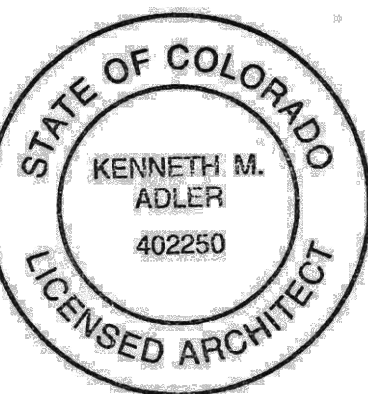


LUCIFER
LIGHTING COMPANY
[DATE OF REV: 06/29/2020]

luciferlighting.com

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As part of its policy of continuous research and product development, the company reserves the right to change or withdraw specifications without prior notice.

[PH] +1-210-227-7329 pg. 1
[FX] +1-210-227-4947



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25

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SHEET TITLE

LIGHTING SPECS

A205

SCNCE, DOWN LIGHT - EL2

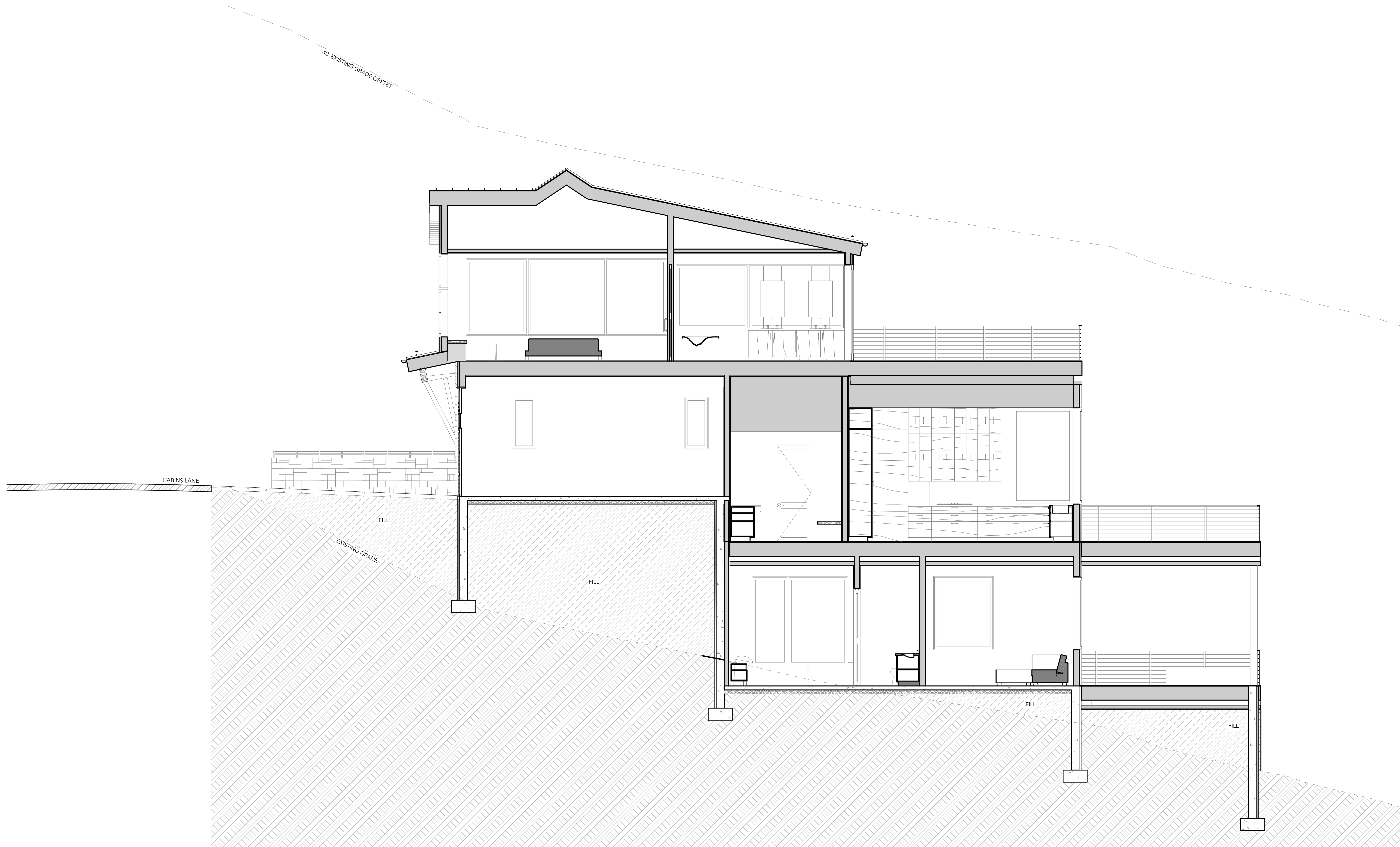
STEP LIGHT - EL1

GENERAL NOTES

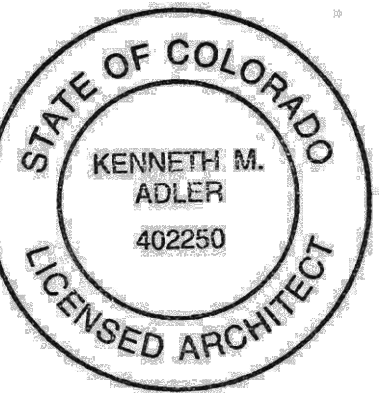
1) [Symbol] INDICATES WALL ASSEMBLY, SEE WALL ASSEMBLIES ON A601



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Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
SCHEMATIC DESIGN	09.11.24
NOA PERMITS #2	11.08.24
NOA PERMITS #1	03.04.25
01 SCHEMATIC DESIGN	

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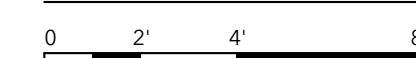
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SHEET TITLE

BUILDING SECTIONS

North SECTION @ BUILDING



SCALE: 1/4" = 1'-0"

1

A301

DOOR SCHEDULE

ID	ED001	ED004	ED005	ED101	ED101	ED107	ED201	ED202	GD102	ID001	ID002	ID003	ID005	ID006	ID007A	ID007B	ID008	ID102	ID103	ID104	ID201	ID202	ID203
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV																							
W x H	3'-0" x 9'-0.5/8"	3'-0" x 9'-0.5/8"	6'-0" x 9'-0.5/8"	12'-0" x 10'-0"	4'-0" x 9'-0"	3'-0" x 9'-1 1/4"	3'-9" x 8'-6"	6'-7 1/4" x 8'-0"	16'-0" x 9'-0"	3'-0" x 8'-0"	2'-6" x 8'-0"	3'-0" x 8'-0"	3'-0" x 8'-0"	2'-6" x 8'-0"	2'-6" x 8'-0"	2'-4" x 8'-0"	3'-0" x 8'-0"	2'-10" x 8'-0"	2'-10" x 8'-0"	2'-6" x 8'-0"	2'-10" x 8'-0"	4'-0" x 8'-0"	2'-10" x 8'-0"
MAT.																							
TYPE																							
NOTES																							

WINDOW SCHEDULE

ID	001A	001B	002	003A	003B	004	005	006	007	101	102	103A	103B	104	105A	105B	105B	106
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV																		
W x H	3'-0.0" x 7'-5.3"	5'-0.0" x 7'-5.3"	5'-0.1" x 6'-1.3"	6'-7.4" x 6'-1.3"	2'-11.6" x 6'-1.3"	3'-0.0" x 6'-1.3"	3'-0.0" x 6'-1.3"	1'-6.0" x 2'-6.0"	2'-6.0" x 2'-6.0"	2'-0.0" x 4'-4.0"	2'-0.0" x 4'-4.0"	3'-0.0" x 5'-4.3"	3'-0.0" x 2'-0.0"	5'-0.0" x 8'-0.0"	6'-9.1" x 8'-0.0"	3'-0.0" x 2'-0.0"	3'-0.0" x 6'-0.0"	3'-0.0" x 2'-0.0"
LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL
TYPE	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27
NOTES																		

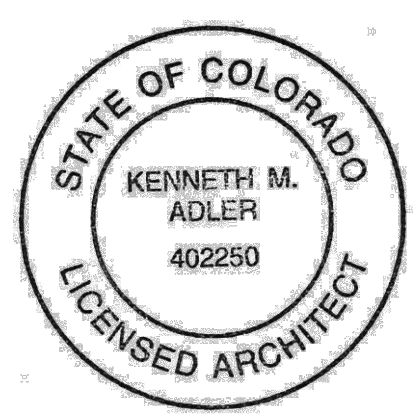
WINDOW SCHEDULE

ID	107A	107B	108A	108B	108C	108D	109A	109B	110	111	112	113A	113B	114A	114B	201A	201B	202A
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV																		
W x H	2'-11.0" x 10'-0.0"	2'-11.0" x 2'-11.8"	3'-0.4" x 5'-8.6"	2'-11.6" x 7'-8.3"	2'-11.6" x 7'-8.3"	3'-0.4" x 5'-8.6"	2'-11.0" x 10'-0.0"	2'-11.0" x 2'-11.8"	3'-5.1" x 3'-6.0"	3'-5.1" x 3'-6.0"	3'-5.1" x 3'-6.0"	4'-5.9" x 4'-10.0"	4'-5.9" x 2'-0.0"	3'-4.3" x 4'-10.0"	3'-4.3" x 2'-0.0"	2'-6.0" x 3'-0.0"	2'-6.0" x 1'-6.0"	4'-0.0" x 2'-11.4"
LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL
TYPE	W Fixed 27	W Trapezoid Fixed 27	W Trapezoid Fixed 27	W Trapezoid Fixed 27	W Trapezoid Fixed 27	W Trapezoid Fixed 27	W Fixed 27	W Trapezoid Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27
NOTES																		

WINDOW SCHEDULE

ID	202B	203A	203B	204A	204B	204C	205A	205B	206	207	208	209	210	2000
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV														
W x H	4'-0.0" x 4'-0.0"	2'-6.0" x 3'-0.0"	2'-6.0" x 1'-6.0"	5'-1.3" x 6'-4.8"	6'-6.1" x 6'-4.8"	5'-1.3" x 6'-4.8"	6'-0.1" x 5'-4.0"	8'-0.0" x 5'-4.0"	1'-11.5" x 5'-4.0"	2'-0.0" x 4'-10.8"	4'-5.9" x 3'-4.3"	3'-4.3" x 3'-4.3"	8'-0.0" x 3'-11.4"	3'-4.3" x 3'-4.3"
LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL
TYPE	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Trapezoid Fixed 27	W Fixed 27
NOTES														

Gold Hill Lot 6
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DOOR & WINDOW NOTES

- SEE PLAN & ELEVATIONS FOR DOOR/ WINDOW UNIT OPERATION & SWINGS
- ALL NEW GLAZING TO BE LOW E- GLASS. MINIMUM INSULATION VALUE OF U= .30 PER 2021 IECC REQUIREMENTS FOR CLIMATE ZONE 6B. (OR AS SPECIFIED IN HERS ENERGY REPORT) ← VERIFY
- SAFETY GLAZING TO BE INSTALLED PER IRC R308.4. SEE ELEVATIONS FOR SAFETY GLAZING (SG) LOCATIONS.
- WINDOW MANUFACTURER TO PROVIDE SCREENS FOR ALL OPERABLE WINDOWS. DOOR MANUFACTURER TO PROVIDED SCREENS FOR ALL PROVIDED EXTERIOR DOORS.
- WINDOW/ DOOR MULLIONS PER ELEVATIONS/ SCHEDULE.
- ALUMINUM CLAD DOOR & WINDOW UNITS FINISH COLOR TO BE DARK BRONZE. ← VERIFY
- ARCHITECTURAL INTENT ONLY. DIMENSIONS TO BE VERIFIED WITH DETAILS. SAFETY GLAZING AND OPERATIONAL LIMITERS TO BE REVIEWED. ALL INSULATED AND SOLAR HEAT GAIN RATINGS TO BE COORDINATED WITH ENERGY CODE AND VERIFIED FOR COMPLIANCE.

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SHEET TITLE

DOOR & WINDOW SCHEDULE

A601