

ARCHITECTS

COLLABORATIVE

DEVELOPMENT NARATIVE

Lot AR-56R The Hendricks Residence is a single family condominium with a limited common area.

The building as proposed is to be accessed off of the common area open space tract up the hill off Adams Way.

The house will be a “Modern Mountain” style with a rustic classic look and 3600 total square feet including the garage.

We are not requesting any variations for building design. The most delicate issue is attempting to maintain the existing forest trees in the fire mitigation Zones 1 and 2.

2 parking spaces are provided in the garage with 2 more in the drive

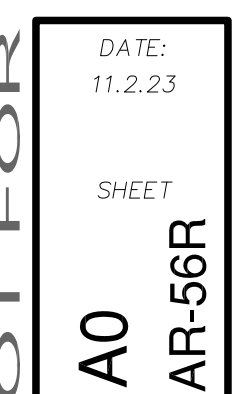
The exterior materials are:

1. Black metal roofing and 2' x 4' flat black patina metal siding.
2. 6" ½ round rusted metal gutters and 4" downspouts with rusted metal flashing.
3. Shed and flat secondary roof at varying pitches.
4. The stone is Telluride quarried grey stone.
5. The windows are Marvin Integrity series with black cladding.
6. The siding is horizontal grey patina wood.
7. The railings are 2" x 3" top rail with a secondary horizontal rail and vertical 1" Ballisters all black powder coated metal.
8. The fascia is a 2" x 12" rough sawn stained cedar.
9. The garage door is sheathed in 2' x 4' flat black patina metal panels.
10. The soffits are a stained 1 x 6 cedar rustic to match the interior ceilings.

To conclude the design is 3024 sf living with a 576 sf garage for a total off 3600 sf. The site coverage is 24.8 percent of the footprint lot. The property including the limited common area easements and additional drive and overhang areas within equals a site coverage of 20.5 percent.



The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000



DRAWING LIST:

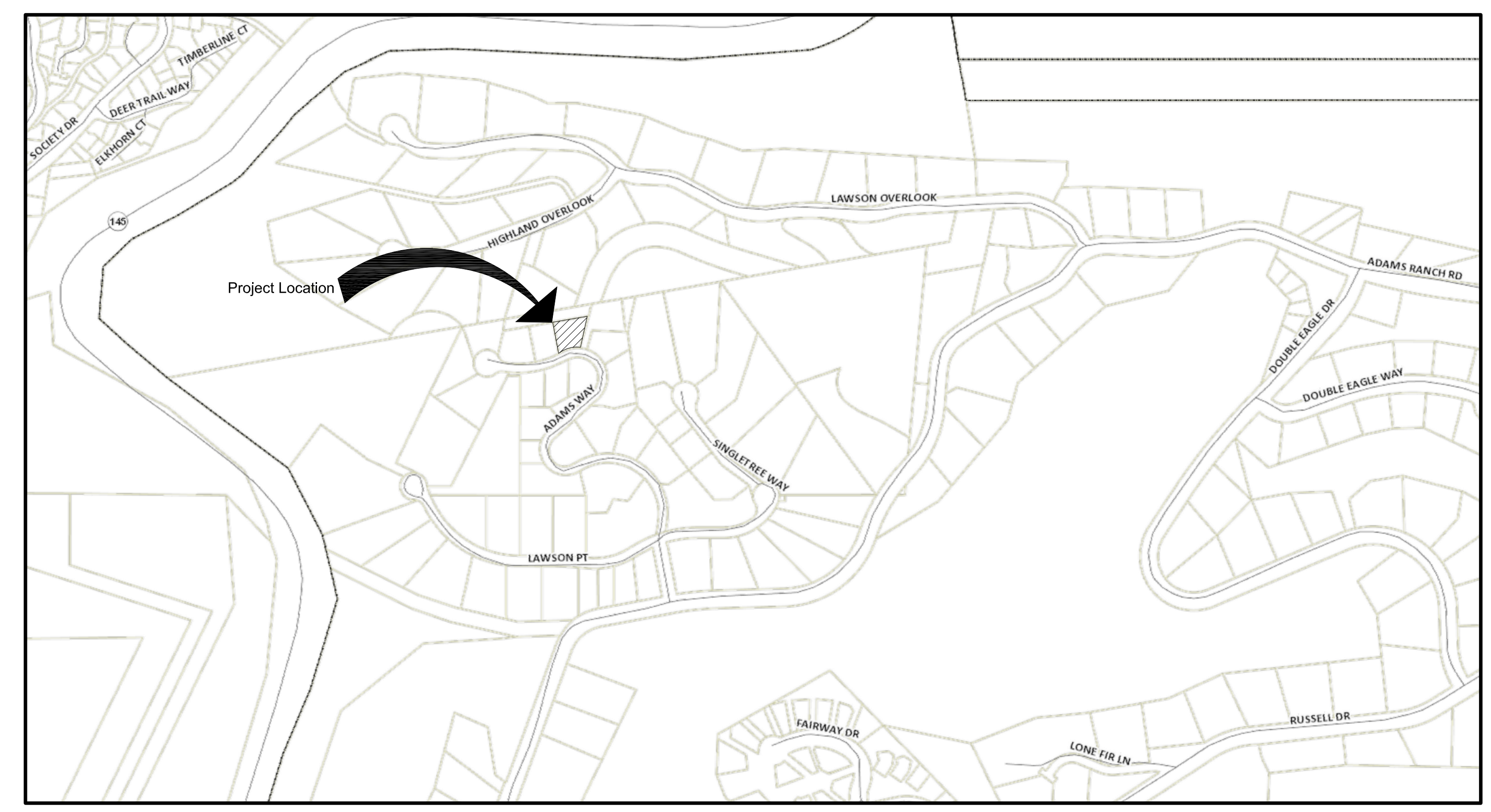
A0	Cover Sheet	Date: January 28, 2025
C1	Improvement Survey Plat	Date: August 11, 2021
A1.1	Site Plan/Roof Plan	Date: January 23, 2025
A1.2	Landscape Plan	Date: January 23, 2025
A1.3	Utility/Exterior Lighting Plan	Date: January 28, 2025
A1.4	Construction Staging Plan	Date: January 28, 2025
A2.1	Floor Plans	Date: January 28, 2025
A2.2	Floor Plans	Date: August 13, 2024
A3.1	Elevations	Date: January 28, 2025
A3.2	Elevations	Date: January 28, 2025
A3.1H	Height Calcs	Date: January 28, 2025
A3.2H	Height Calcs	Date: January 28, 2025
A3.1S	Stone Calcs	Date: January 28, 2025
A3.2S	Stone Calcs	Date: January 28, 2025
E1.1	Electrical Plan	Date: August 13, 2024
E1.2	Electrical Plan	Date: August 13, 2024

PLAN CONSULTANTS:

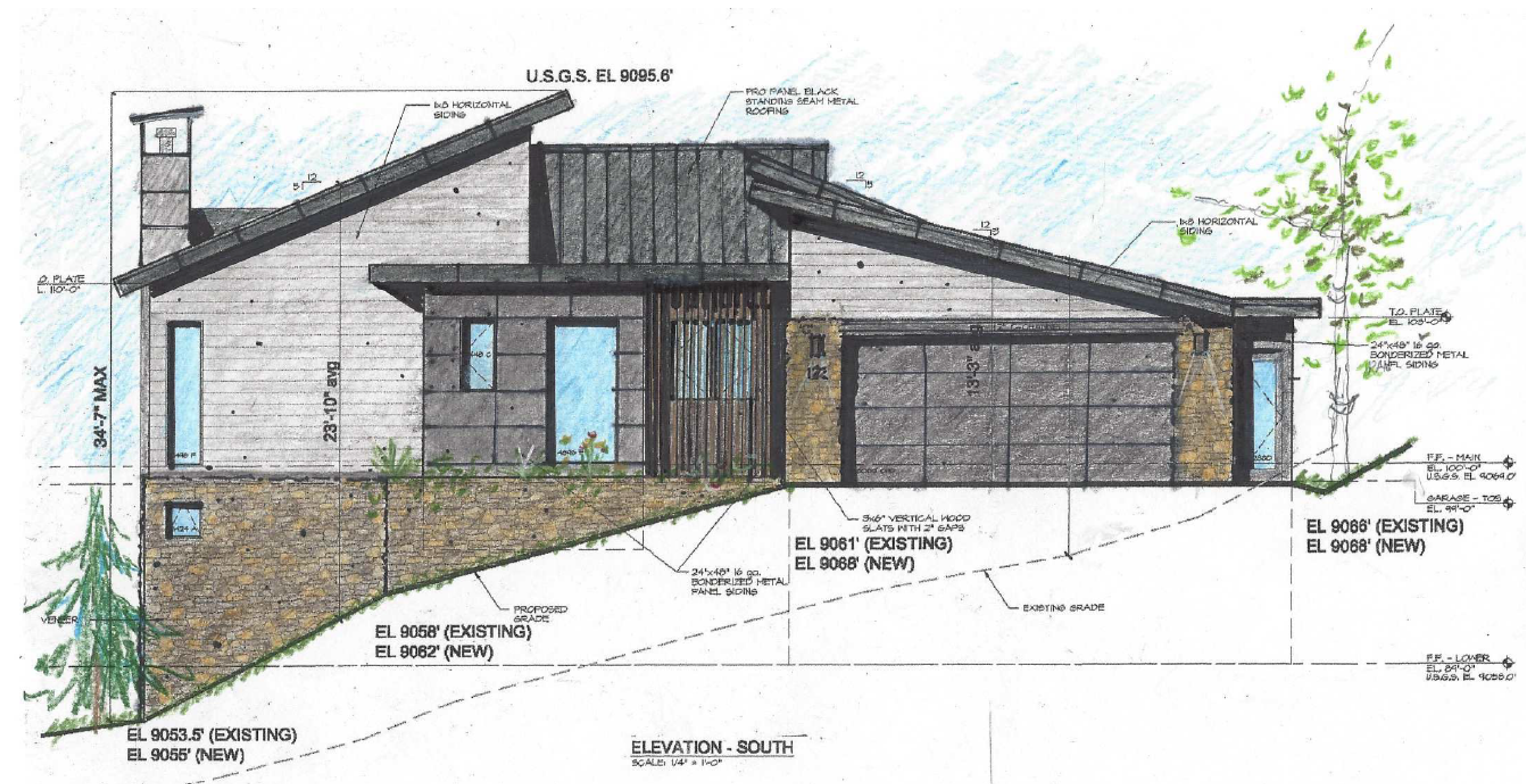
Architects Collaborative Ken Alexander PO Box 3954 Telluride, Colorado 81435 970-708-1076 ken@architectstelluride.com	San Juan Survey PO Box 3730 102 Society Drive Telluride, Colorado 81435 970-728-1128 office@sanjuansurveying.net
Black Canyon Engineering 447 E. Main St. Montrose, Colorado 81401 970-568-5391 info@blackcanyonengineers.com	

PROJECT SUMMARY

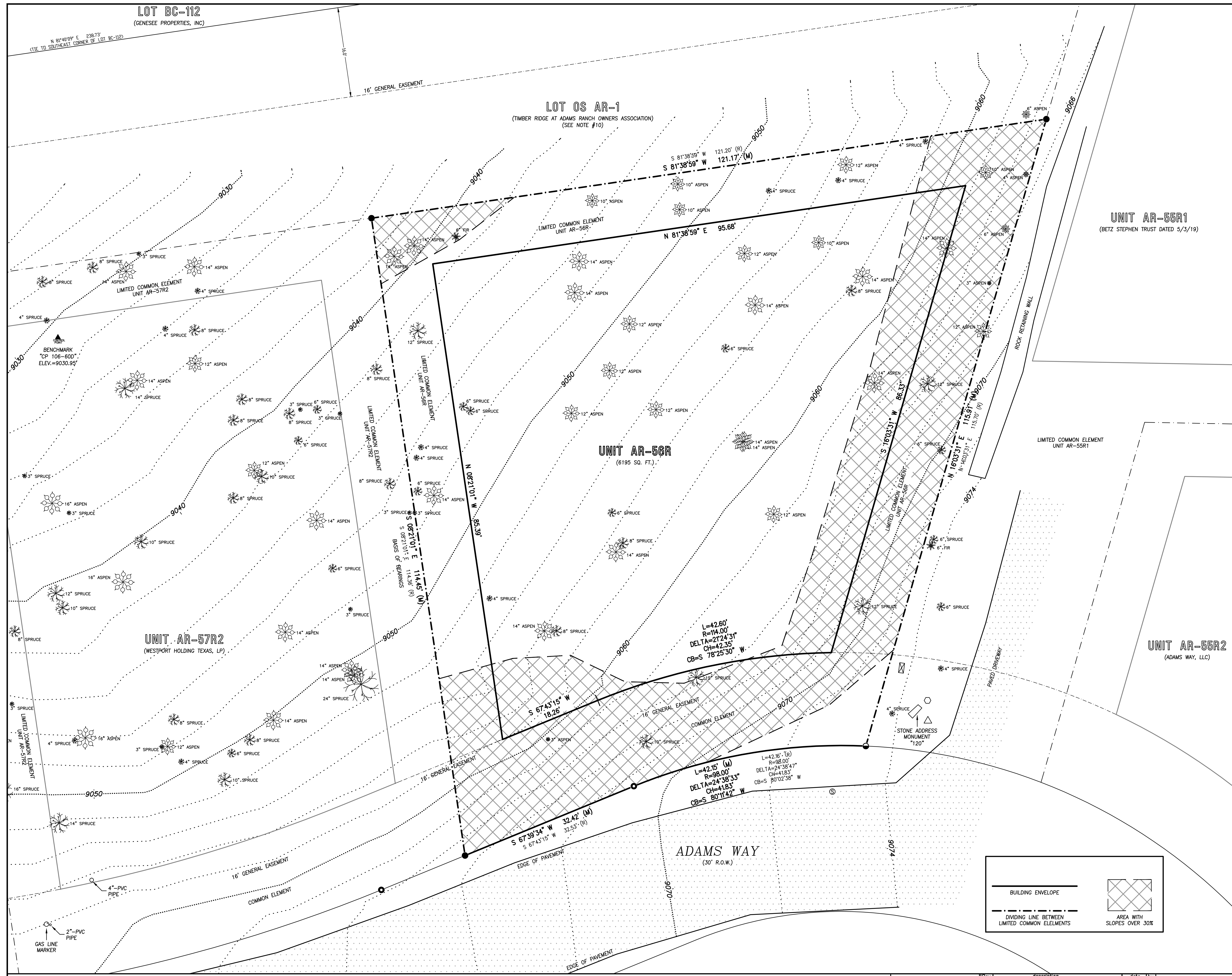
LOT SIZE:	6,195 S.F.
ZONING DESIGNATION:	SINGLE FAMILY CONDOMINIUM/Common
MAXIMUM BUILDING HEIGHT:	34.0'/40' ALLOWED
AVERAGE BUILDING HEIGHT:	26.33'/30' ALLOWED
REQUIRED PARKING:	1.5 SPACES REQ'D / 2 SPACES PROVIDED
BUILDING LOT COVERAGE:	2,800 S.F.
TOTAL LOT COVERAGE PERCENT:	40% / 65% ALLOWED



VICINITY MAP



E:\Projects\architects_collaborative\Headshots\ken_alexander_01272025_500x350_PM



○ SEWER MANHOLE
 ⊠ TRANSFORMER
 ○ TELEPHONE PEDESTAL
 △ CABLE-TV PEDESTAL
 ● FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24954
 ● FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37662
 ● FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970
 MEASURED DIMENSION ACCORDING TO THIS SURVEY
 RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 3561

SCALE: 1"=8'
 0 2 4 6 8 16

This Existing Conditions Plan of UNIT AR-56R, TIMBER RIDGE AT MOUNTAIN VILLAGE (FORMERLY THE VILLAGE AT ADAMS RANCH), TOWN OF MOUNTAIN VILLAGE, was prepared on August 25, 2021 and updated on September 23, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc. being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37970 _____ Date _____

LEGAL DESCRIPTION:

UNIT AR-56R, TIMBER RIDGE AT MOUNTAIN VILLAGE (FORMERLY THE VILLAGE AT ADAMS RANCH), A COMMON INTEREST COMMUNITY, ACCORDING TO THE PLAT RECORDED OCTOBER 27, 2005 IN PLAT BOOK 1 AT PAGE 3561, AND AS DEFINED AND DESCRIBED IN THE DECLARATION RECORDED JUNE 1, 1999 UNDER RECEPTION NO. 326890, AND AS AMENDED IN INSTRUMENT RECORDED JUNE 9, 2000 UNDER RECEPTION NO. 334770, AND AS AMENDED IN INSTRUMENT RECORDED SEPTEMBER 13, 2001 UNDER RECEPTION NO. 343817, AND AS AMENDED IN INSTRUMENT RECORDED OCTOBER 27, 2005 UNDER RECEPTION NO. 379100, AND AS AMENDED IN INSTRUMENT RECORDED AUGUST 14, 2013 UNDER RECEPTION NO. 429339, AND AS AMENDED IN INSTRUMENT RECORDED AUGUST 28, 2017 UNDER RECEPTION NO. 449950,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

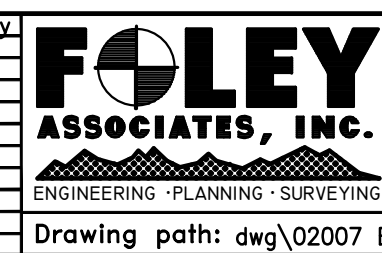
- NOTES:**
- Easement research and property description from Land Title Guarantee Company, Order Number TLR6010603-4, dated November 19, 2020 at 5:00 P.M.
 - According to FEMA Flood Insurance Rate Map 08113C0286-C, dated September 30, 1988, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
 - BASIS OF BEARINGS:** The bearing along the western boundary of Unit AR-56R, as shown hereon, assumed to have the record bearing of S 08°21'01" E according to Plat Book 1 at page 3561.
 - Benchmark: Control Point "CP 106-60D", as shown hereon, with an elevation of 9030.95 feet.
 - Contour interval is two feet.
 - Only trees 3" in diameter or greater are shown hereon.
 - Slopes 30% or greater are shown hereon.
 - Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
 - Foley Associates, Inc. is not aware of any wetlands located on this lot, but a wetland delineation was not performed as part of this survey.
 - According to Plat Book 1 at page 3561, Note #5 states: "The entirety of Open space Tract OS AR-1 is encumbered by a perpetual non-exclusive utility easement. The use of this easement is limited to providing sewer service to Lot C-2AR1." Lot C-2AR1 was further divided into Units AR-45, AR-46, AR-47, AR-49, AR-54, AR-55R1, AR-55R2, AR-56R, AR-57R1, AR-57R2, AR-58R, AR-59 and AR-60 as shown on the Third Amendment to the Common Ownership Community Plat for the Village at Adams Ranch recorded in Reception No. 379099.

NOTICE:

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

EXISTING CONDITIONS PLAN
 Unit AR-56R, Timber Ridge at Mountain Village,
 located within the SE 1/4 of Section 32 and the SW 1/4 of Section 33, T.43N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

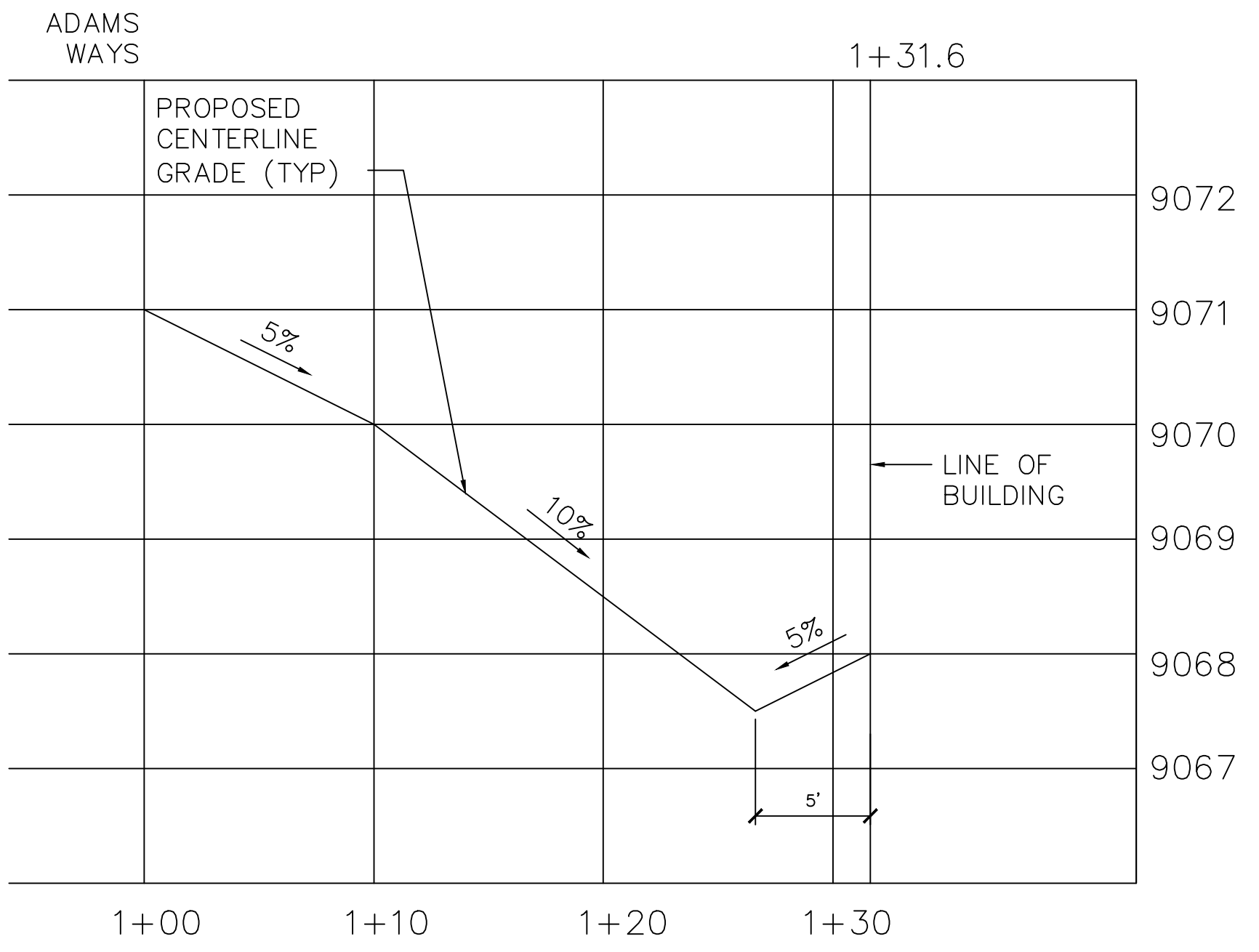
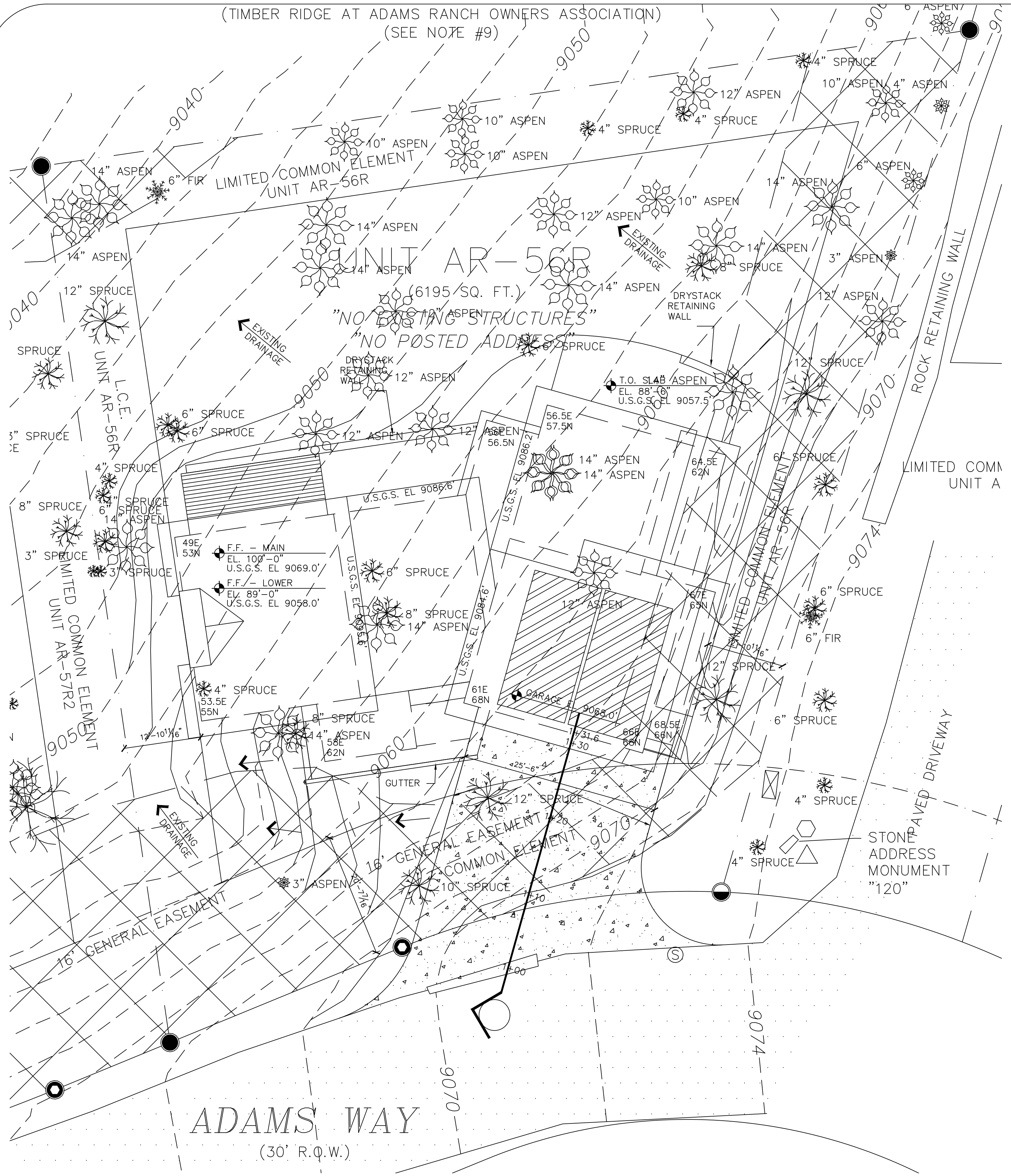
Project Mgr:	JH	Rev.	description	date	by
Technician:	MC				
Checked by:	DS				
Start date:	08/11/2021				



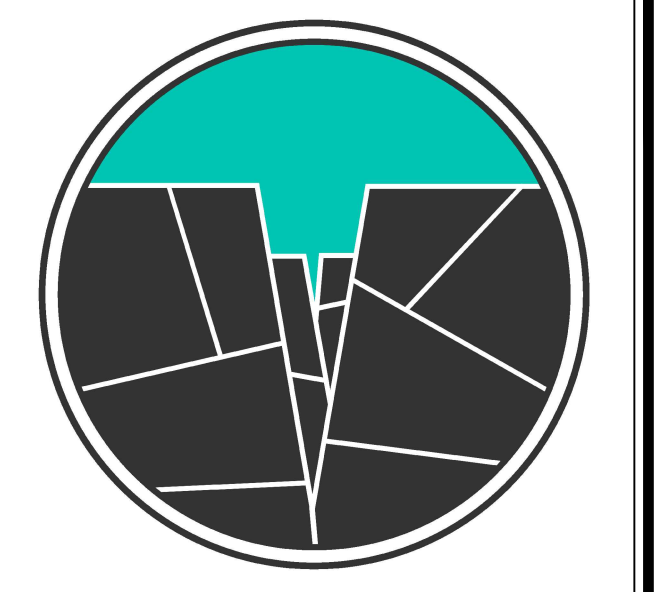
970-728-6153 970-728-6050 fax
 P.O. BOX 1385
 125 W. PACIFIC, SUITE B-1
 TELLURIDE, COLORADO 81435
 Drawing path: dws\02007 EC Plan 09-21 (Lot AR-56R).dwg Sheet 1 of 1 Project #: 02007

F:\01\W\Jobs\02007\02007.dwg (11/03/2021 10:06:12 AM) PC3

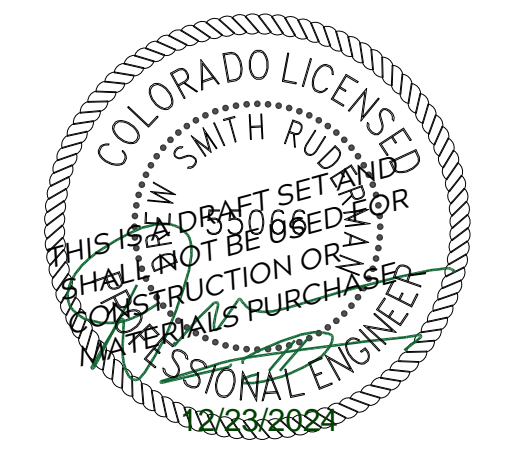
(TIMBER RIDGE AT ADAMS RANCH OWNERS ASSOCIATION)
(SEE NOTE #9)



DRIVEWAY PROFILE S-1
HORIZONTAL: 1" = 10'
VERTICAL: 1" = 2'



BLACK CANYON ENGINEERS



REV.	DESCRIPTION	DATE
0	DRB SUBMISSION	10/4/24

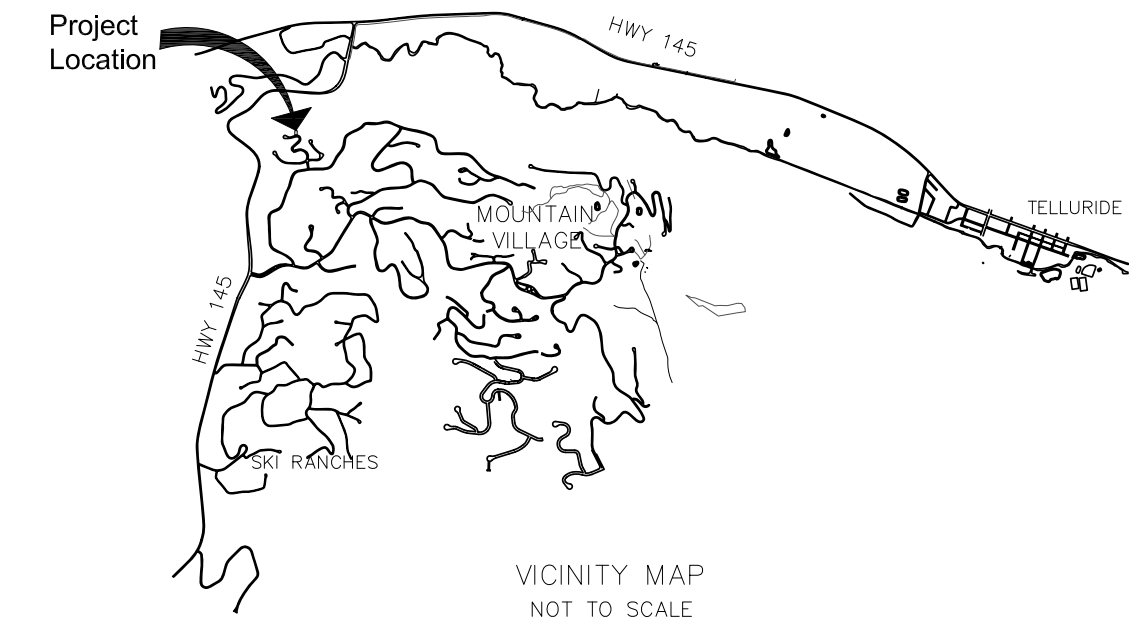
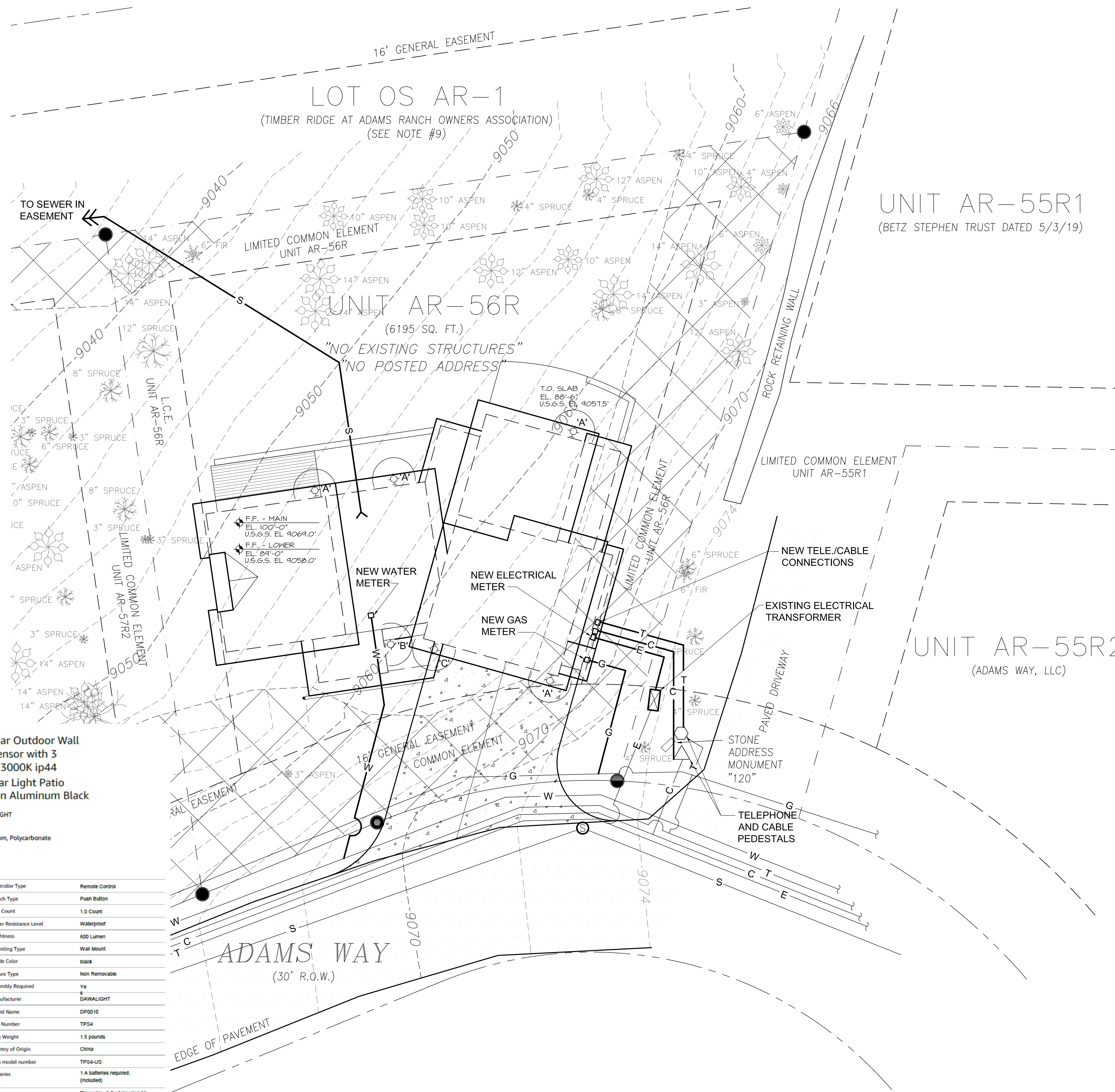
Firm Name and Address
Black Canyon Engineers
401 E. Main St.
Montrose, CO 81401
970-568-5391
Support@BlackCanyonEngineers.com
www.BlackCanyonEngineers.com

Project Name and Address
Hendricks Residence
Unit AR-56R
Mountain Village, CO

Project BCE092401	Sheet C1
Issue Date 10/4/2024	
Scale As Noted	

SITE GRADING / DRAINAGE PLAN

NOT FOR CONSTRUCTION OR MATERIALS PURCHASE



Pathfinder LED Outdoor Wall Sconce
By Maxim Lighting



Product Options
Finish: Black

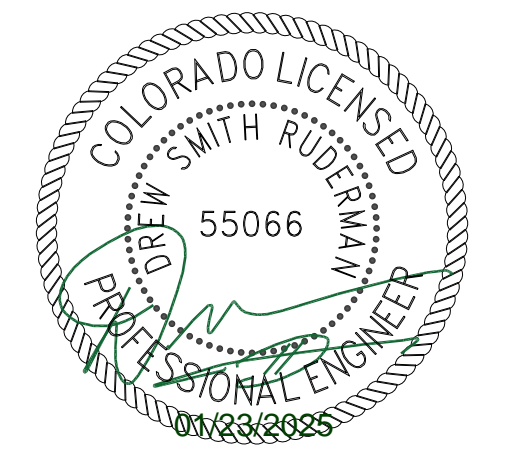
Details
Dimmable only at 120V
Can be installed as an uplight or downlight
Designed in 2020
Material: Die Cast Aluminum
Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
ADA compliant, Dark Sky compliant, Title 24 compliant
ETL Listed Wet
Warranty: Limited 5 Year
Made in China



Dimensions
Backplate: Width 5.5", Height 5.5"
Fixture: Width 5.5", Height 5.5", Depth 4", Weight 2.2Lbs

Lighting

Lamp Type	LED Built-in
Total Lumens	820
Total Watts	15.00
Volts	120 /277 Volt
Color Temp	3000 (Soft White)
CRI	80
Equivalent Halogen, CFL or LED Bulb Can Be Used	No



REV.	DESCRIPTION	DATE
0	DRB SUBMISSION	10/1/24
1	DRB REVISED, ADDED UTILITY PLAN	1/23/25



DAWALIGHT Solar Outdoor Wall Light, Motion Sensor with 3 Lighting Modes 3000K ip44 Waterproof, Solar Light Patio Porch Decoration Aluminum Black

Brand	DAWALIGHT	Controller Type	Remote Control
Color	Black	Switch Type	Push Button
Material	Aluminum, Polycarbonate	Unit Count	1.0 Count
Style	Modern	Water Resistance Level	Waterproof
Light fixture form	Wall	Brightness	600 Lumens
Room Type	Patio	Mounting Type	Wall Mount
Product Dimensions	7.44" x 3.14" W x 4.9" H	Shade Color	black
Specific Uses For Product	Patio	Fixture Type	Non Removable
Indoor/Outdoor Usage	Outdoor	Assembly Required	Yes
Power Source	Solar Powered	Manufacturer	DAWALIGHT
Installation Type	Wall Mount	Model Name	DP0010
Special Feature	Dimmable, Adjustable Height, Waterproof, Motion Sensor	Part Number	TPS4
Control Method	App	Item Weight	1.5 pounds
Light Source Type	LED	Country of Origin	China
Shade Material	Aluminum, Polycarbonate	Item model number	TPS4-US
Number of Light Sources	1	Batteries	1 A batteries required. (included)
Voltage	3.7 Volts	Special Features	Dimmable, Adjustable Height, Waterproof, Motion Sensor
Theme	Modern	Plug Format	A- US style
Light Color	Warm White	Batteries Included?	Yes
Shape	rectangular prism	Batteries Required?	Yes
Included Components	LED	Color Temperature	3000 Kelvin
Warranty Type	Limited		
Lighting Method	LED		
Item Weight	1.5 Pounds		
Number of Items	1		
Wattage	6 watts		
Bulb Base	GU10		

Product details
Product Dimensions : 7.44 x 3.14 x 4.9 inches; 1.5 Pounds Item model number : TPS4-US
Batteries : 1 A batteries required. (Included)
Date First Available : August 12, 2022
Manufacturer : DAWALIGHT

FIXTURE 'A'

11250 LED Outdoor Wall Sconce
By Kichler



Product Options
Finish: Textured Black

Details
Designed in 2015
Material: Metal
Dark Sky compliant, Title 24 compliant
ETL Listed Wet
Made in China

Dimensions
Fixture: Width 5", Height 7", Depth 6.5", Weight 2.29Lbs

Lighting

Lamp Type	LED Built-in
Total Lumens	374
Total Watts	11.00
Volts	120 /277 Volt
Color Temp	3000 (Soft White)
Average Lifespan	40000.00
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No



Notes:

Prepared by: _____ Prepared for: _____
Project: _____
Room: _____
Placement: _____
Approval: _____

Additional Details
Product URL:
<https://www.lumens.com/11250-led-outdoor-wall-sconce-by-kichler-R362210.html>
Rating: ETL Listed Wet
ITEM#: R362210

LEGEND

☼	SCONCE INCANDESCENT (+7' ABOVE GRADE)
⊙	(6) NIGHT SKY DOWNLIGHTS (+7' ABOVE DECK)

FIXTURE 'C'

SITE UTILITY & EXTERIOR LIGHTING PLAN

FIXTURE 'B'

C2

NOT FOR CONSTRUCTION OR MATERIALS PURCHASE

Firm Name and Address
Black Canyon Engineers
401 E. Main St.
Montrose, CO 81401
970-568-5391
Support@BlackCanyonEngineers.com
www.BlackCanyonEngineers.com

Project Name and Address
Hendricks Residence
Unit AR-56R
Mountain Village, CO

Project	BCE092401	Sheet	C2
Issue Date	10/4/2024		
Scale	As Noted		

LANDSCAPE GENERAL NOTES:

1. SOIL PREPARATION

Topsoil will be stripped, stored on site, and spread to a minimum depth of four inches. Soil amendments of manure and peat moss are to be roto-tilled into all areas to be sodded and three cubic yards per thousand square feet.

2. PLANTINGS AND PLANT MATERIAL

All plant material will be required to meet the American Standard for Nursery Stock. All plantings will meet the standards of the Associated Landscape Contractors of Colorado- Reference schedule and plan for quantity and locations.

3. SODDING

All sodded areas will be bluegrass. Preparation of soils will include topsoil and roto-tilling to a depth of six to eight inches. Sodded areas will be irrigated, see IRRIGATION.

4. TOWN OF MOUNTAIN VILLAGE PREFERRED LANDSCAPE 4 RE-VEG MIXES (2002)

NATIVE MIX (GENERAL RE-VEG)			
Western Yarrow	5%	Alpine Bluegrass	15%
Tall Fescue	10%	Canada Bluegrass	10%
Arizona Fescue	5%	Perennial Ryegrass	15%
Hard Fescue	5%	Slender Wheatgrass	10%
Creeping Red Fescue	10%	Mountain Brome	15%

UPLAND MIX (WETLANDS BUFFER MIX)

Western Yarrow	14%
Alpine Bluegrass	14%
Slender Wheatgrass	36%
Mountain Brome	36%

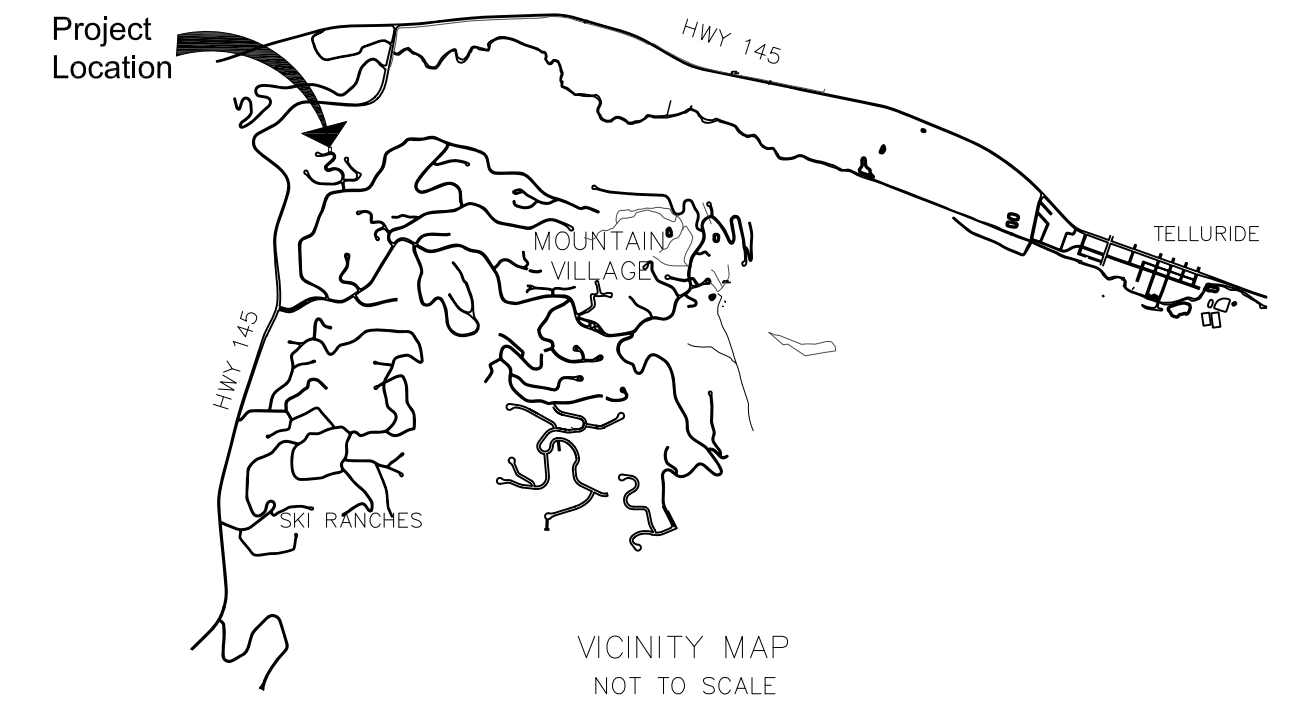
In areas to be seeded soil will be scarified and/or the topsoil replaced. Newly seeded areas will be mulched by straw, hydro-mulch, or erosion control netting on slopes steeper than 3:1.

5. IRRIGATION

Automatic irrigation will be provided in sodded areas and flower beds with a pop-up sprinkler system and drip irrigation respectively. Reference plan for design.

6. PLANT GUARANTEE

Landscape installation to provide a two-year guarantee on all newly planted material.



NOTES:

- PROPERTY OWNERS AGREE TO PROVIDE (2) YEAR PLAN GUARANTEE ON ALL PLANT MATERIALS.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE REVEGETATED TO NATURAL STATE PER MOUNTAIN VILLAGE APPROVED SEED MIX.
- PLAN SHALL COMPLY WITH SECTION 9-104 OF DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
- ALL EXISTING TREES IN THE FIRE MITIGATION ZONE 2 WILL BE TRIMMED TO A HEIGHT OF 10' ABOVE GRADE.

RE-VEGETATION NOTES:

- ENTIRE SITE CLEARED OF STANDING DEAD.
- WOOD CHIP PILES OF EXISTING SLASH & REMOVE CHIPS.
- SEE CONSTRUCTION STAGING PLAN FOR FENCING.
- ALL AREAS TO BE REVEGETATED BEFORE CONSTRUCTION BEGINS EXCEPT HOME SITE.
- REVEGETATED AREAS WILL HAVE TEMPORARY BROADCAST IRRIGATION FOR THE FIRST SEASON.
- THE NEWLY PLANTED TREES WILL BE PROVIDED WITH FLOOD IRRIGATION FOR THE FIRST 2 SEASON UNTIL ESTABLISHED.

IRRIGATION LEGEND

Check Valve	- Fetco 825Y Double Check device
Station Timer	- Toro Vision II (8) station electronic timer
Gate Valve	- Fetco gate valve - Provide hose bib for winterization of entire system
Ball Valve	- Fetco ball valve - Provide for manual shut down of system
Electronic Control Valve	- Toro series 250 electronic control valve with flow control
Drip Tubing	- Dura-pol blue strip drip tubing - 1/2"
Main Line	- Class 200 PVC
Laterals	- 80# NSF Polyethylene
Sprinkler head	- Toro series 570 pop-up sprinkler head with FGD Nozzles

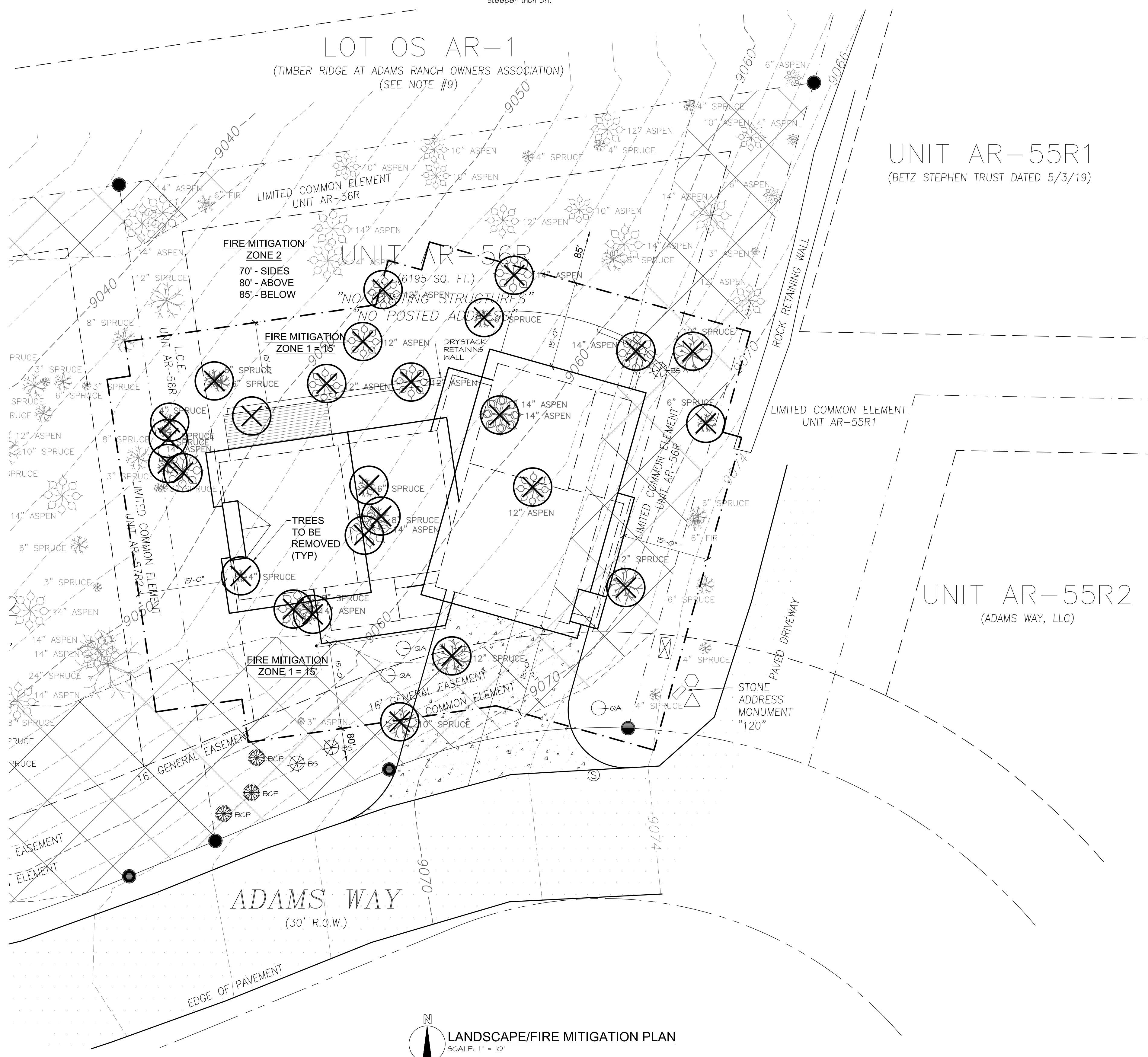
- Notes:**
- Irrigation System to be designed to 50 psi
 - Main line to be class 200 PVC, 12" min. Depth
 - Lateral lines to be #80 Poly 6 min. depth
 - All wire to be #14 UF with dri-splice connectors
 - Provide backflow prevention device at check valve
 - Slope mainline for positive winter drainage; provide manual drain valves at all low points
 - Provide Hose bib hook up for winterization of entire system.
 - Provide 2" sleeving under all paved surfaces

PLANT LEGEND

SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE
GA	3	Gauging Aspen	Populus tremuloides	3" - 3.5"
BS	3	Colorado Blue Spruce	Picea pungens	8" - 10"
BCP	3	Rocky Mountain Bristlecone Pine	Pinus aristata	5 gal.
SP	0	Sub-alpine Fir	Abies lasiocarpa	5 gal.
TJ	0	Tam Juniper	Juniperus sabin	5 gal.
HJ	0	Horizontal Juniper	Juniperus horizontal	1 gal.
////	0	Assorted Perennials		

- Notes:**
- Perennials are:

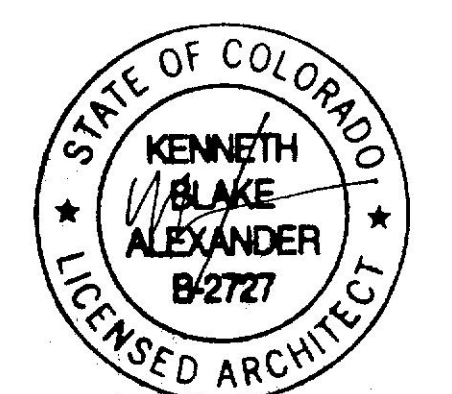
COMMON NAME	BOTANICAL NAME
Snow on the Mountain	Aegopodium podagraria variegatum
Columbine, Alpine	Aquilegia alpina
Columbine, Rocky Mountain	Aquilegia canadensis
Alpine Aster	Aster alpinus
Calendula	Calendula officinalis
Snow-in-summer	Cerastium tomentosum
Painted Daisy	Chrysanthemum coccineum
Delphinium	Delphinium spp.
Pinks, Spotted	Dianthus, alwoodii
Sweet William	Dianthus barbatus
Purple Coneflower	Echinacea purpurea
Daylily, Yellow	Hemerocallis "Hyperion"
Irish, Pink Bearded	Irish x germanica
Rocky Mountain Iris	Irish missouriensis
Irish, Blue Siberian	Irish sibirica "Caesar's Brother"
Yellow Flax	Linum flavum
Blue Flax	Linum lewisii
Flax, Blue	Linum perenne
Native Lupine	Lupinus parviflorus
Russell's lupine	Lupinus polyphyllus
Engelmann Ivy	Parthenocissus vitacea
Alpine Penstemon	Penstemon alpinus
Thyme, Hooley	Thymus pseudo-lanuginosus
Pansy, Blue Tufted	Viola cornuta "Blue Perfection"
Violet, Corsican	Viola Corsica
 - Provide 6" - 8" of topsoil in all planting beds.
 - All trees to be staked and guyed.
 - Areas of re-vegetation are to be determined after construction is completed.



LANDSCAPE/FIRE MITIGATION PLAN
SCALE: 1" = 10'
0 5 10 20

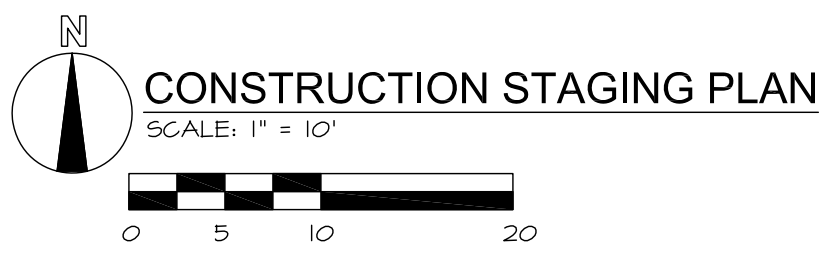
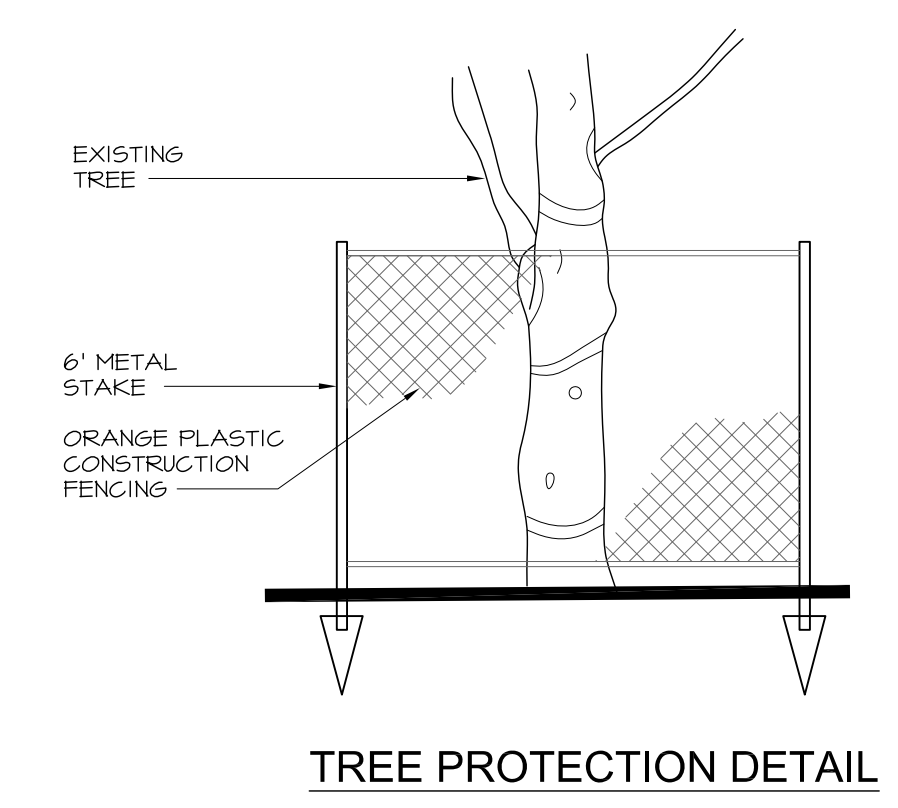
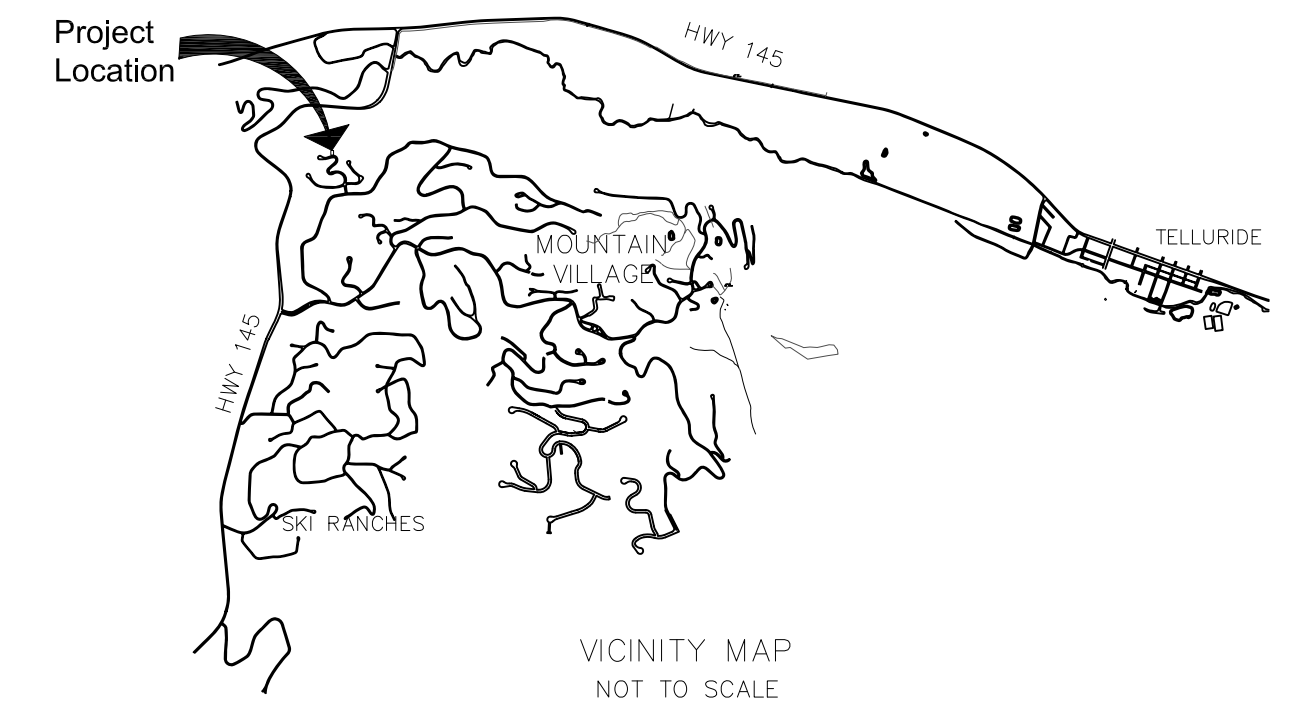
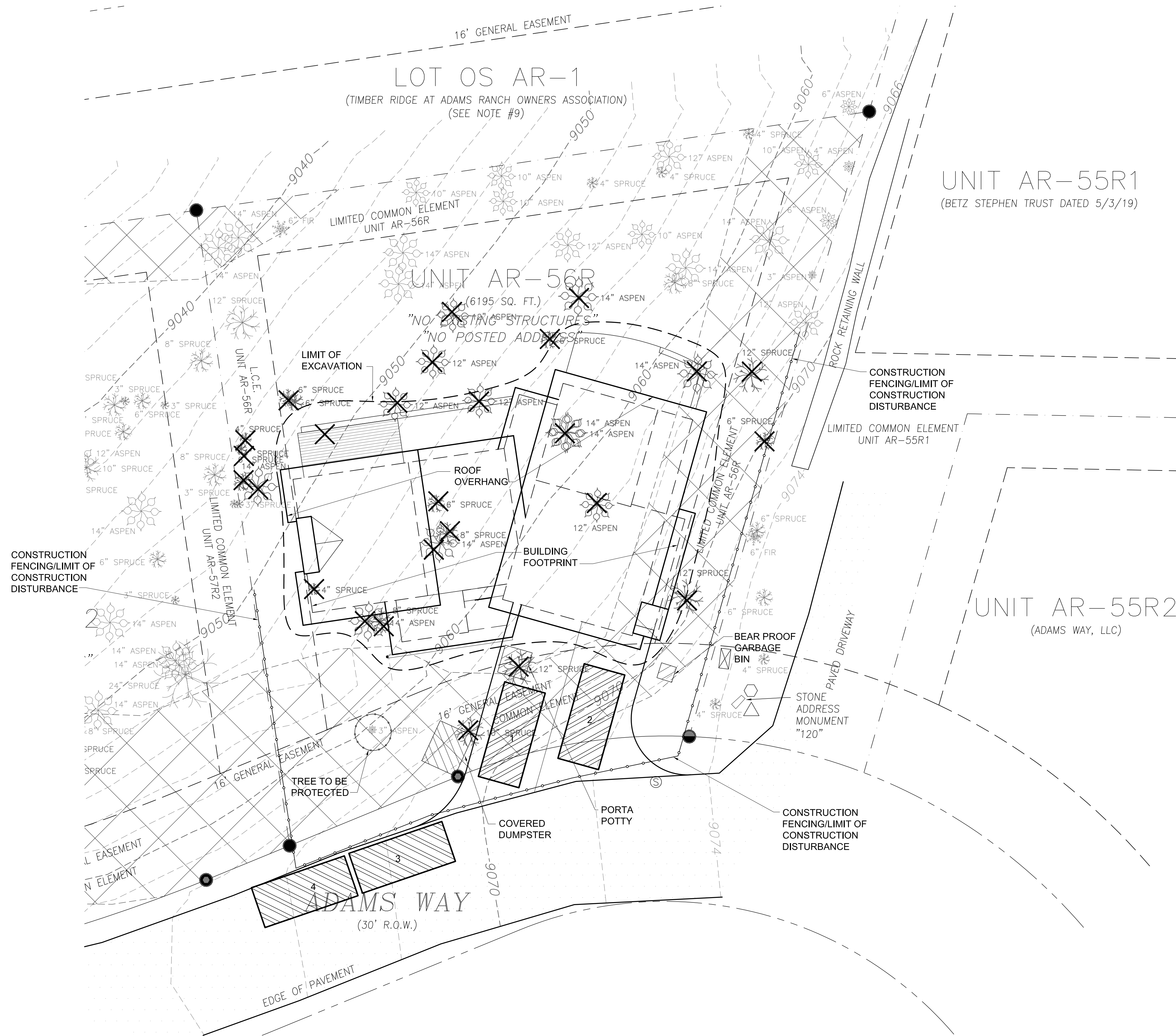
PRELIMINARY ONLY
 ARCHITECTS COLLABORATIVE
 Design + Build + Just Build + Just Design
 P.O. Box 3954 • Telluride, CO 81435
 C: 970-706-1076

NOT FOR CONSTRUCTION
 Unit AR-56R Timber Ridge at Mountain Village
 122 Adams Way, Mountain Village
 San Miguel County, Colorado
 DATE: 11.2.23
 SHEET
 A1.3
 Unit AR-56R

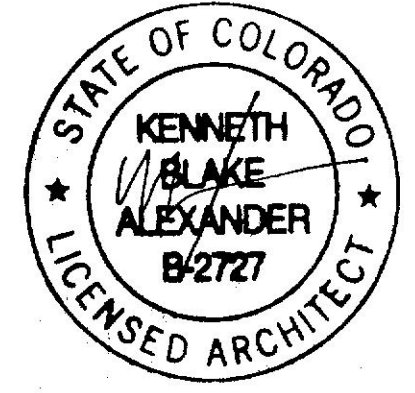


E:\Projects\architects_collaborative\Headfile\site_headfiles_ar-56r.dwg, 11/2/2023 4:52:37 PM

E:\Projects\architects_collaborative\headricks\site_headricks_ar-56r.dwg, 1/27/2025, 4:53:15 PM



NOTES:
 EXISTING TREES TO BE REMOVED
 IMMEDIATELY. ADD SLASH MATERIAL
 BY EXCAVATOR.



PRELIMINARY ONLY

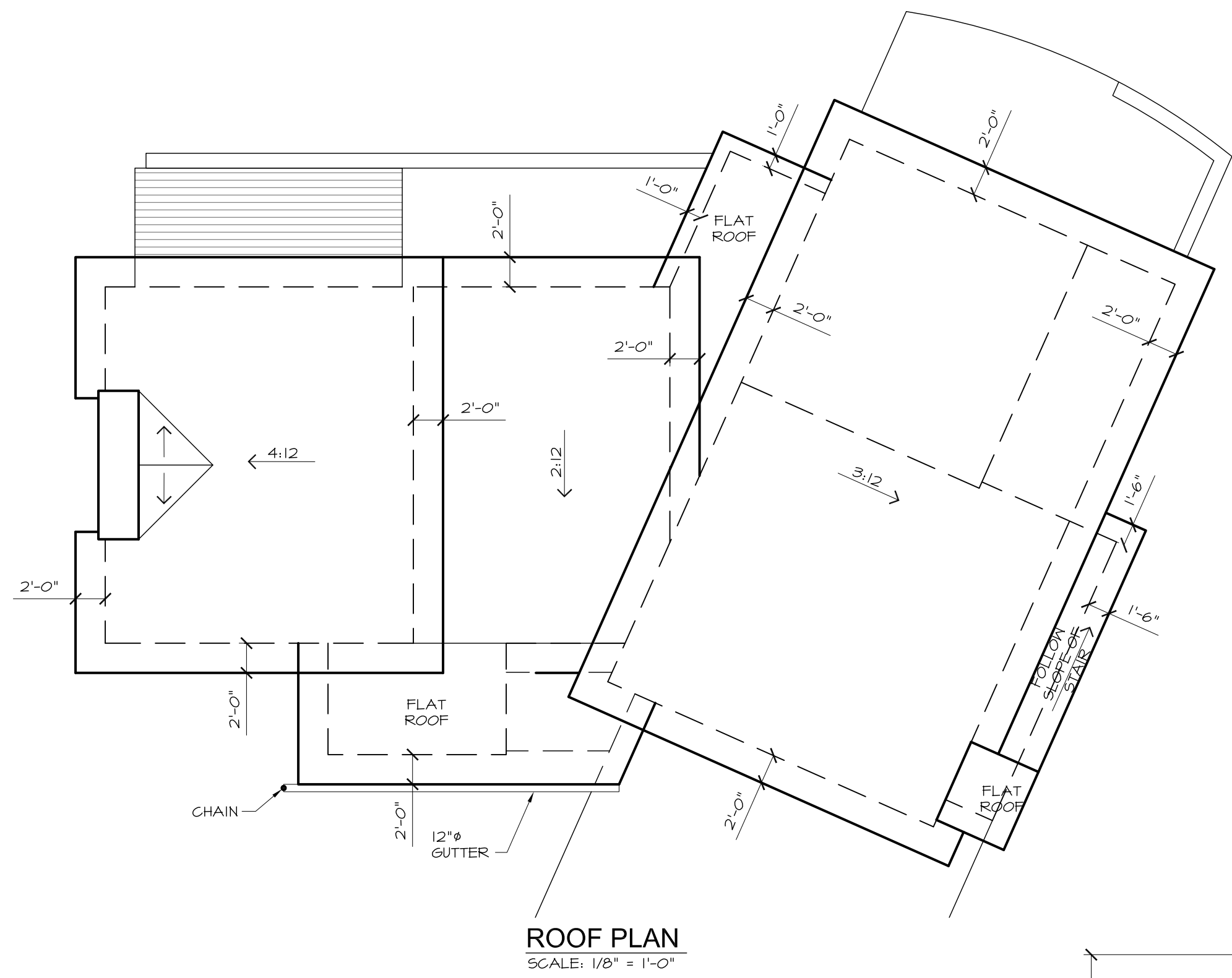
ARCHITECTS COLLABORATIVE
Design + Build • Just Design

P.O. Box 3954 • Telluride, CO 81435
C: 970-706-1076

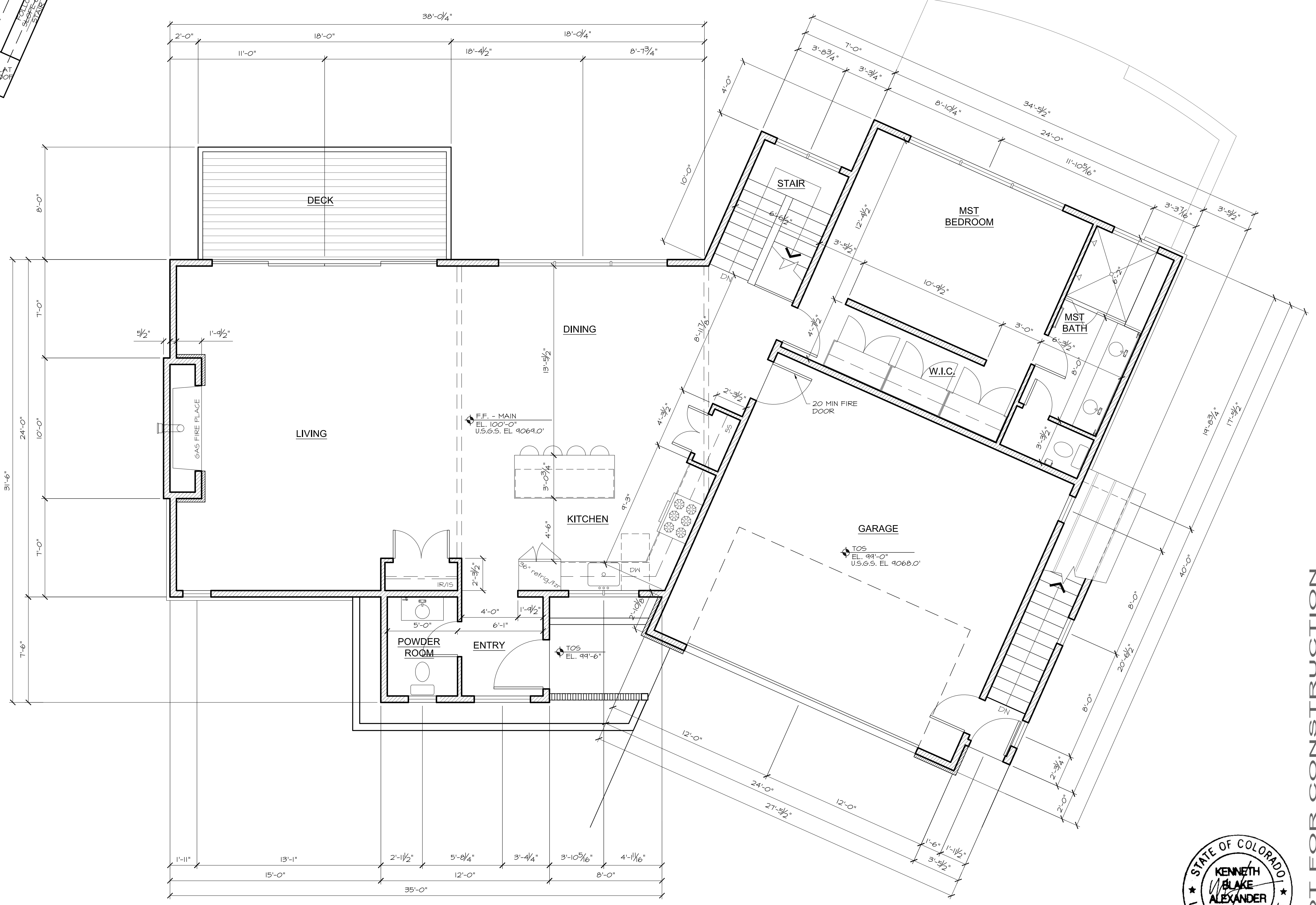
NOT FOR CONSTRUCTION

Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

DATE: 11.2.23
SHEET
A1.4
Unit AR-56R



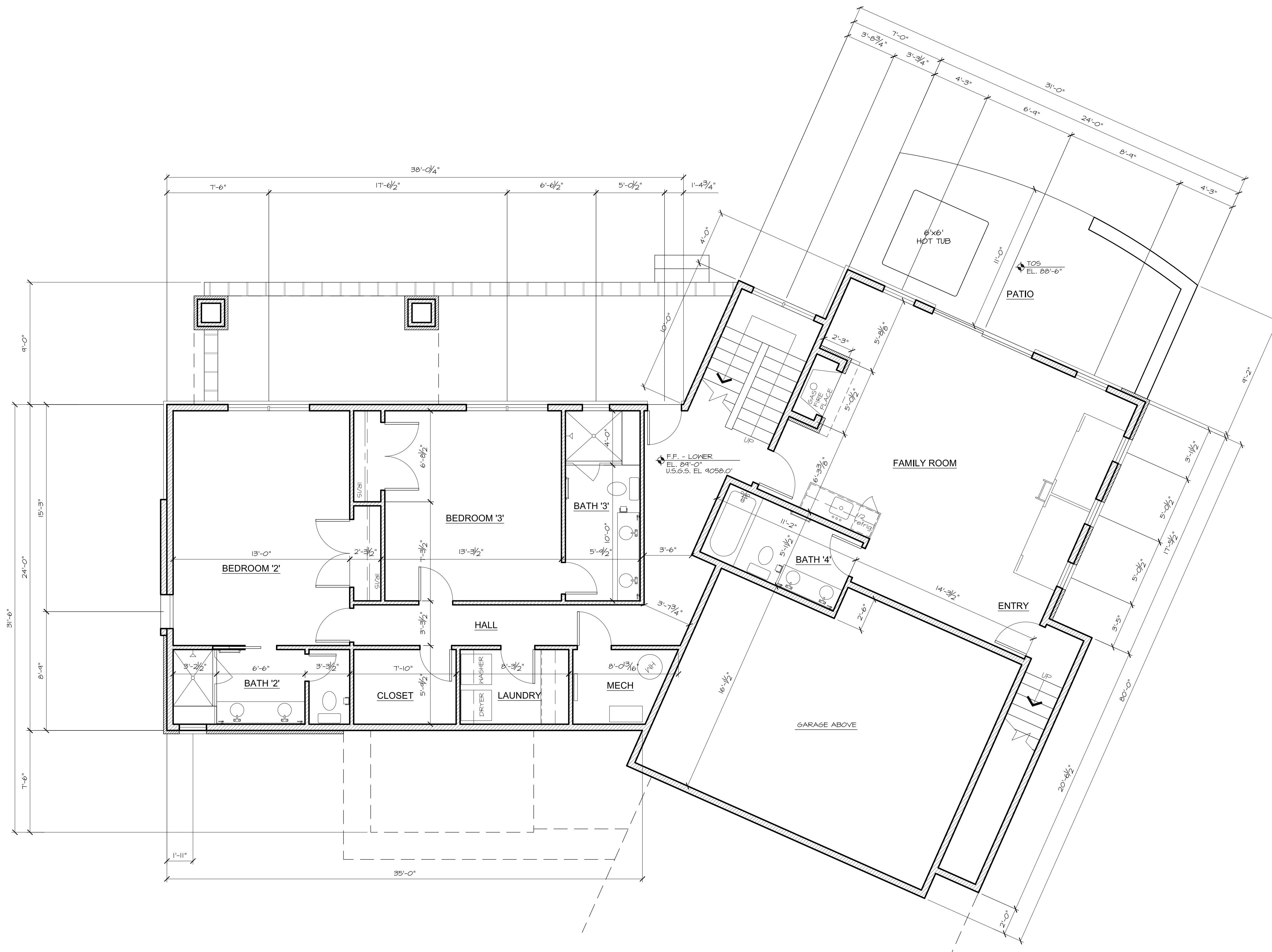
SQ. FOOTAGE CALCULATIONS	
LOWER LEVEL	1543 s.f.
GARAGE	521 s.f.
MAIN LEVEL	1486 s.f.
TOTAL LIVING SPACE	3,074 s.f.
TOTAL BUILDING	3600 s.f.



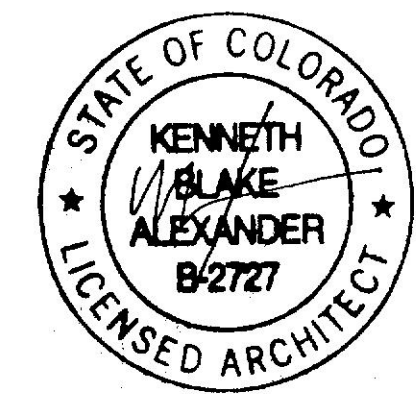
PRELIMINARY ONLY
 ARCHITECTS
 COLLABORATIVE
 Design + Build + Just Build + Just Design
 P.O. Box 3954 • Telluride, CO 81435
 C: 970-708-1076
NOT FOR CONSTRUCTION
 Unit AR-56R Timber Ridge at Mountain Village
 122 Adams Way, Mountain Village
 San Miguel County, Colorado
 DATE: 11.2.23
 SHEET
A2.1
 Unit AR-56R

REVISIONS:	
4-23-24	
6-20-24	
8-13-24	
1-28-24	
2-25	

E:\Projects\architects_collaborative\Headfile\archd_headfile.arx 8/12/2024 1:52:58 PM



FLOOR PLAN - LOWER LEVEL
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION

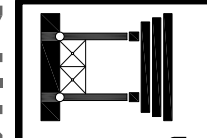
Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

A2.2
Unit AR-56R

DATE:
11.2.23

SHEET

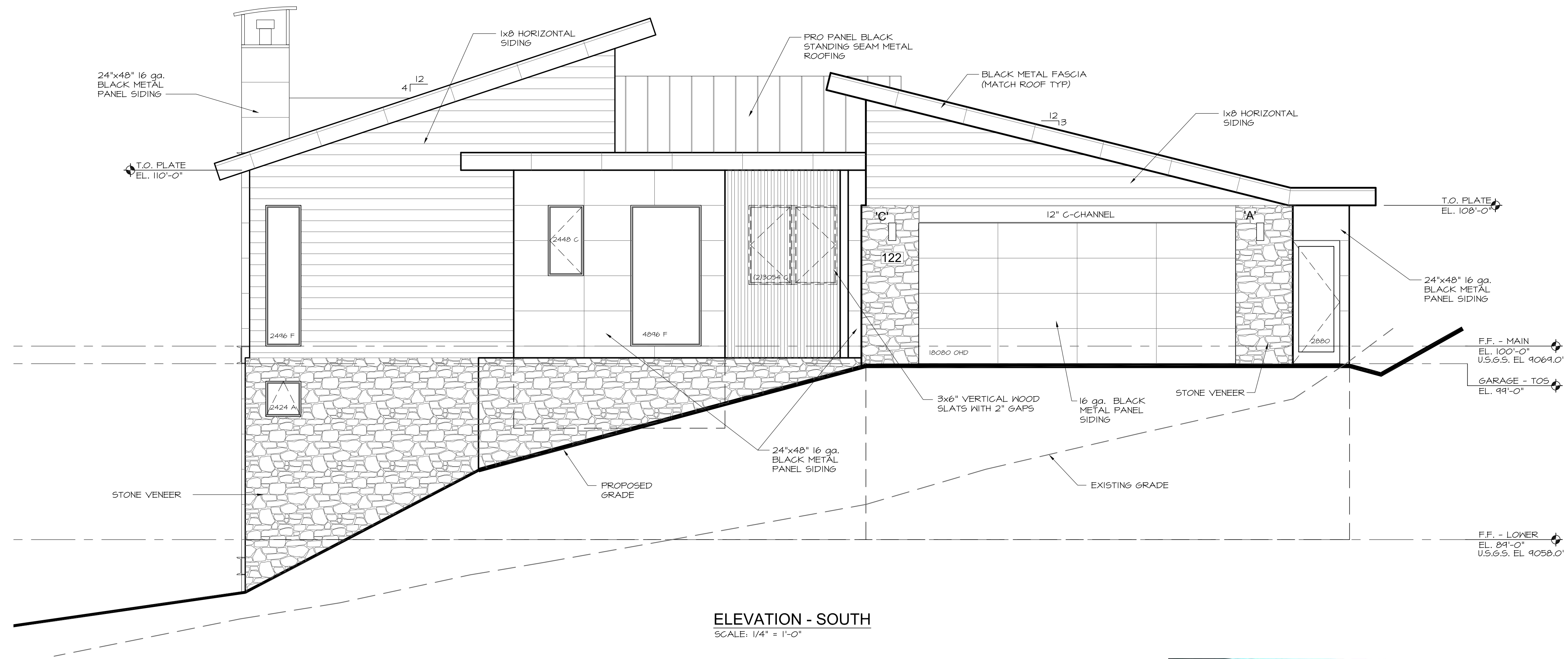
PRELIMINARY ONLY



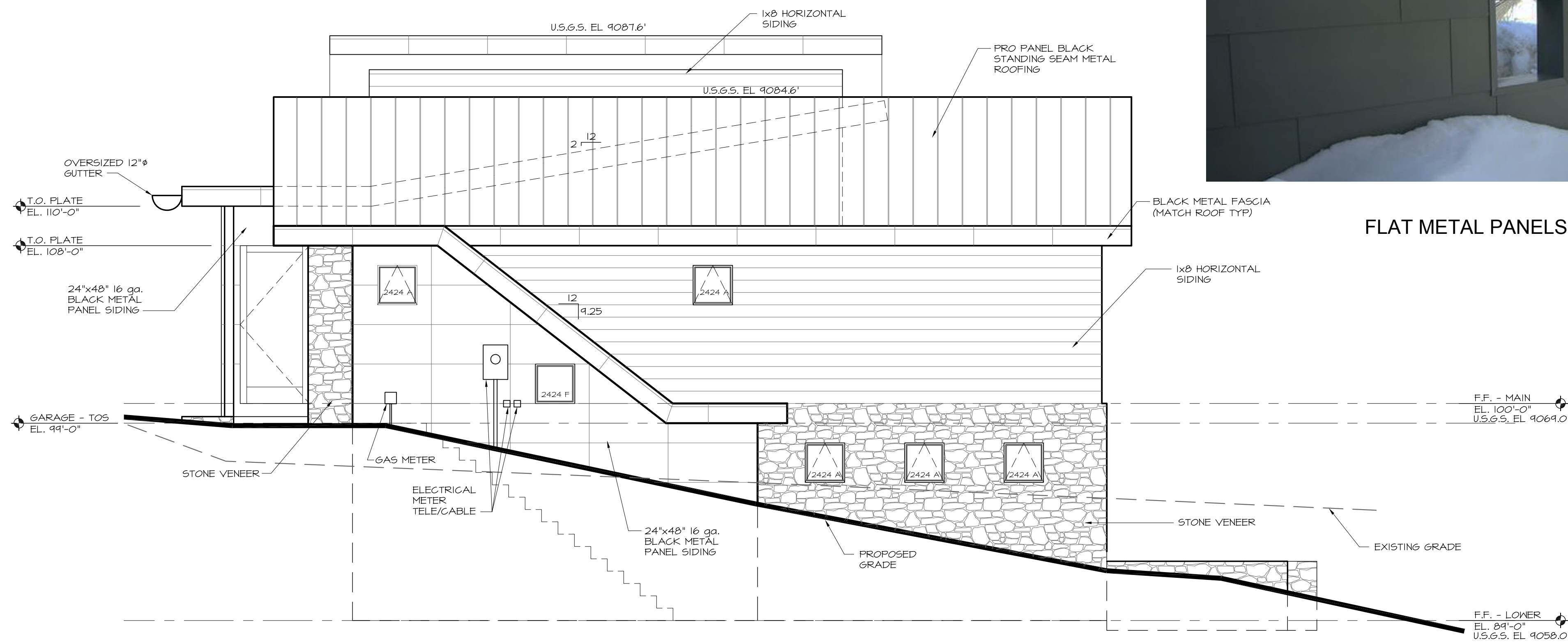
ARCHITECTS
COLLABORATIVE
Design + Build • Just Design

P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

REVISIONS:
 4-23-24
 5-2-24
 6-20-24
 9-24



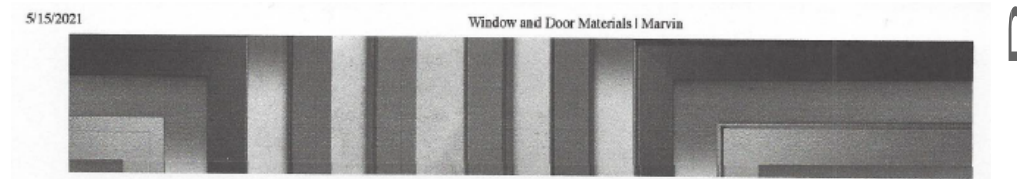
ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



ELEVATION - EAST
SCALE: 1/4" = 1'-0"



AB Martin
Textured Metal Panels - AB Martin
STANDING SEAM ROOF AND FASCIA



5/15/2021
Tibber and Door Materials
A material with a high concentration of fiberglass and a strong resin, High-Density Fiberglass is a revolutionary material that echoes the look of other modern materials but with better thermal efficiency. In our Martin Modern product line, High-Density Fiberglass is used on the exterior of the windows and doors, while the interior is finished in a strong aluminum with a low-gloss finish.
Benefits of High-Density Fiberglass



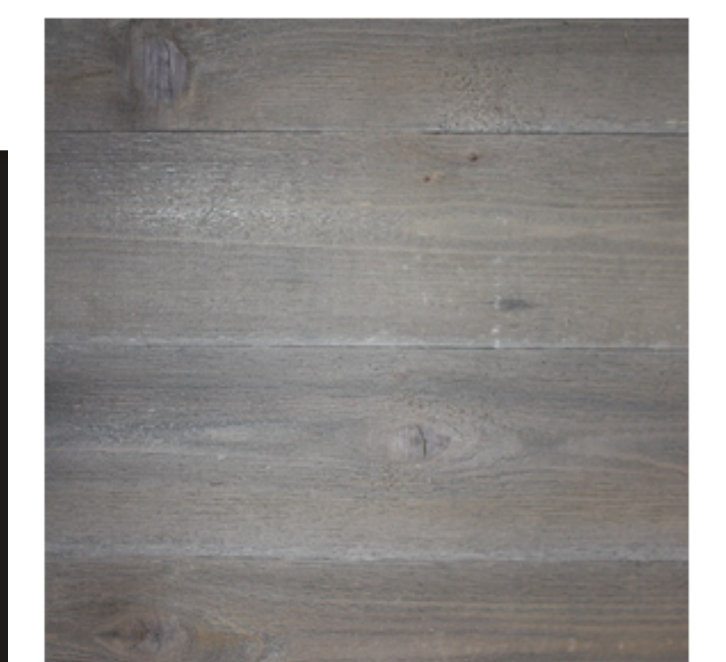
WINDOWS AND DOORS



FLAT METAL PANELS

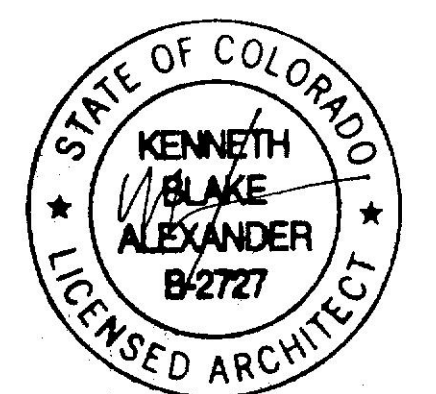


STONE VENEER



AQUAFIR™ SHAI F

WOOD SIDING



REVISIONS:
6-20-24
9-13-24
1-28-25

PRELIMINARY ONLY
ARCHITECTS
COLLABORATIVE

Design + Build + Just Design

P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

NOT FOR CONSTRUCTION
Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

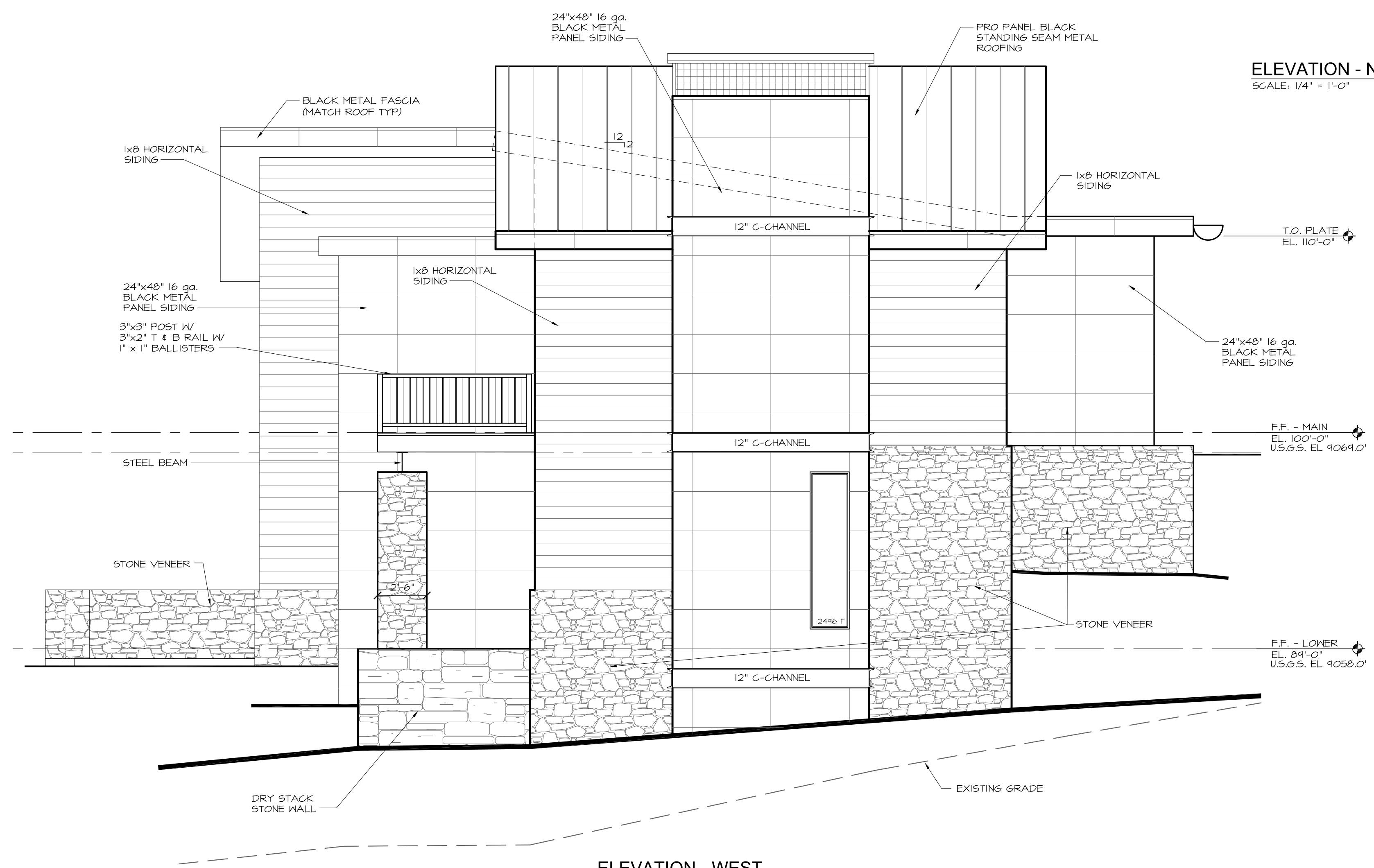
DATE:
11.2.23
SHEET
A3.1
Unit AR-56R

E:\Projects\architects_collaborative\Headquarters_handbook_ar-56R.dwg, 1/27/2025, 4:53:46 PM

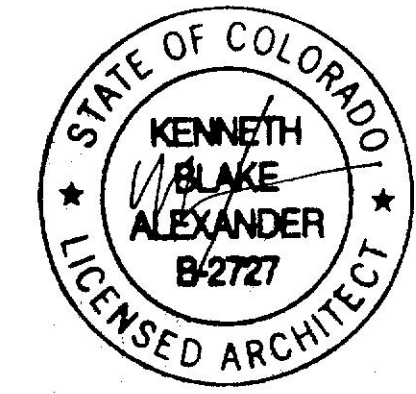
E:\projects\architects\collaborative\handbooks_arch_666.dwg, 1/27/2025, 4:54:12 PM



ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



ELEVATION - WEST
SCALE: 1/4" = 1'-0"



REVISIONS:
6-20-24
8-13-24
1-28-25

PRELIMINARY ONLY

ARCHITECTS
COLLABORATIVE

Design + Build + Just Build + Just Design

P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

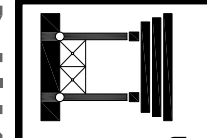
NOT FOR CONSTRUCTION

Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

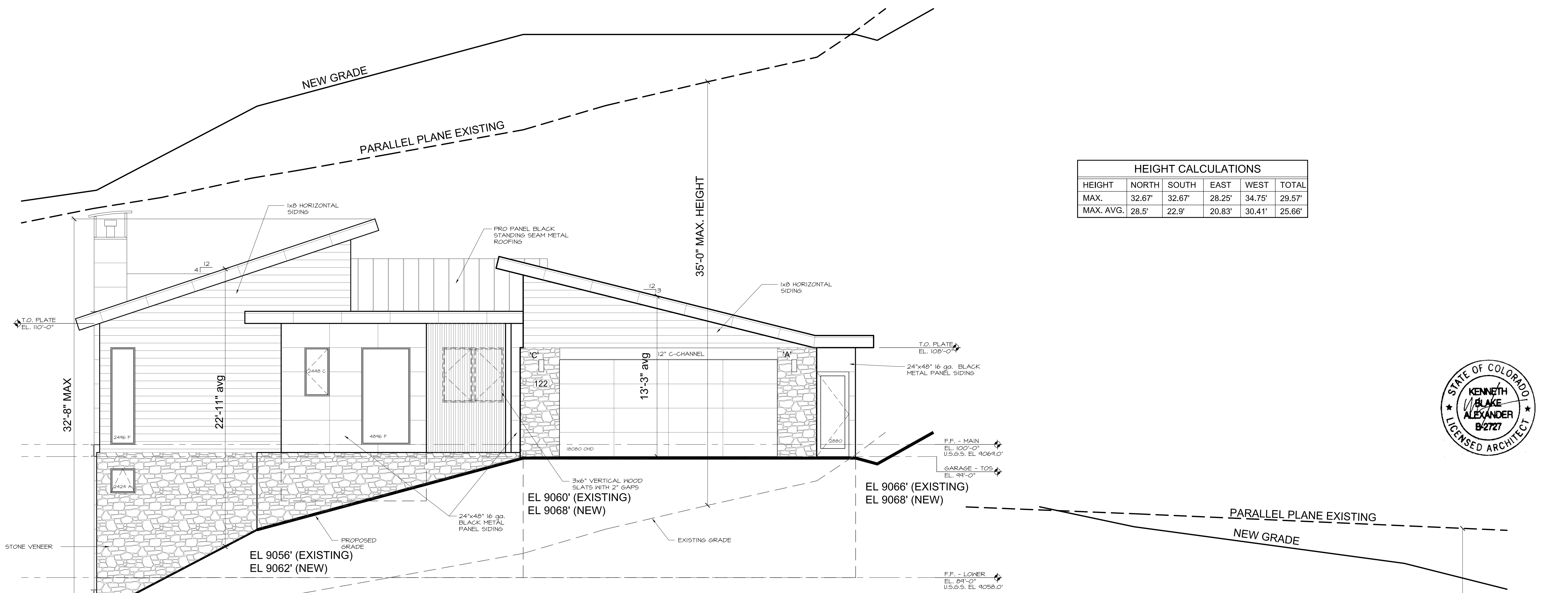
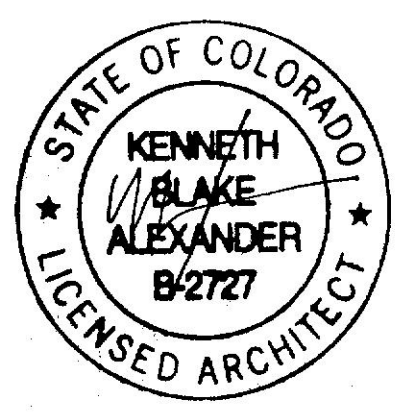
DATE: 11.2.23

SHEET

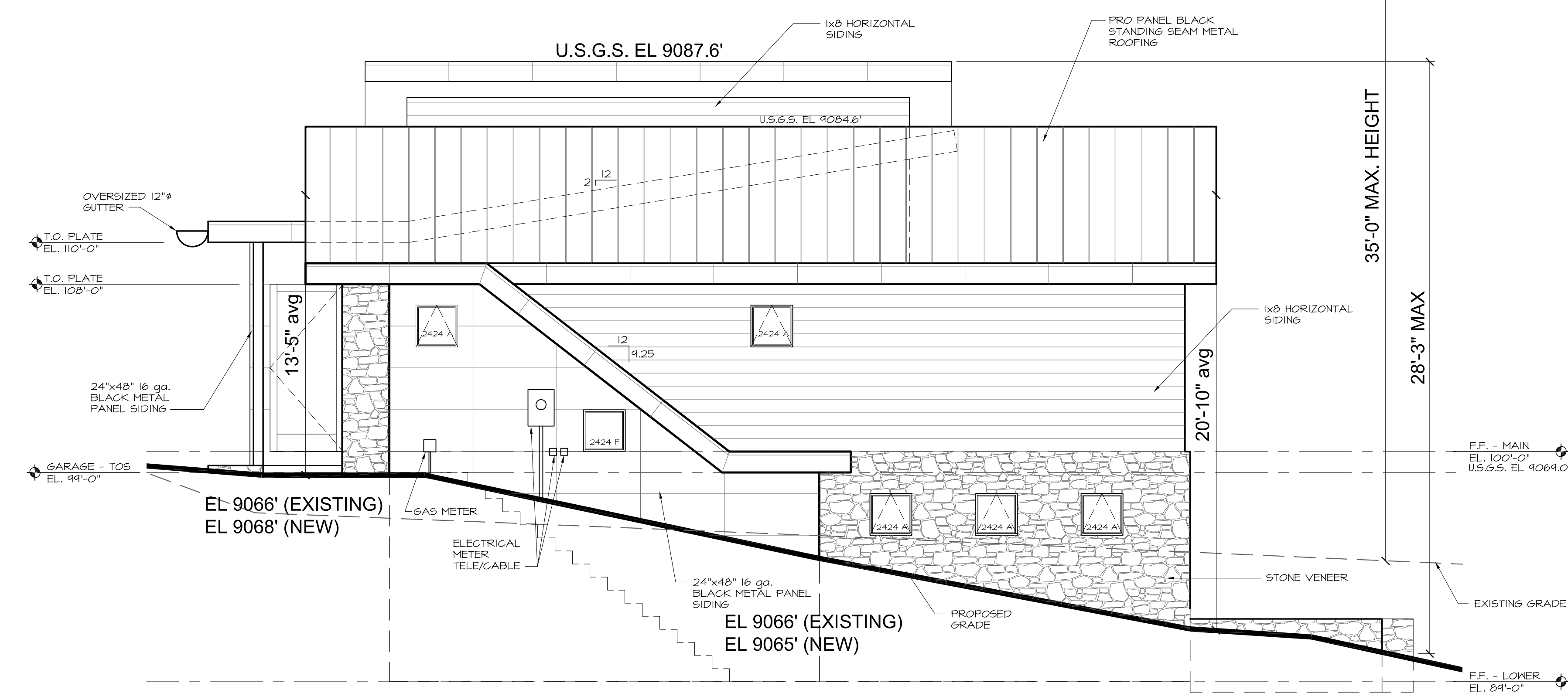
A3.2
Unit AR-56R



HEIGHT CALCULATIONS					
HEIGHT	NORTH	SOUTH	EAST	WEST	TOTAL
MAX.	32.67'	32.67'	28.25'	34.75'	29.57'
MAX. AVG.	28.5'	22.9'	20.83'	30.41'	25.66'



HEIGHT CALCULATIONS
 ELEVATION - SOUTH
 SCALE: 1/4" = 1'-0"



HEIGHT CALCULATIONS
 ELEVATION - EAST
 SCALE: 1/4" = 1'-0"

E:\Projects\architects_collaborative\Headoffice\handicaps_ar56R.dwg, 1/27/2025, 4:54:31 PM

REVISIONS:
 0-13-24
 1-28-25

PRELIMINARY ONLY
 ARCHITECTS
 COLLABORATIVE
 Design + Build + Just Build + Just Design

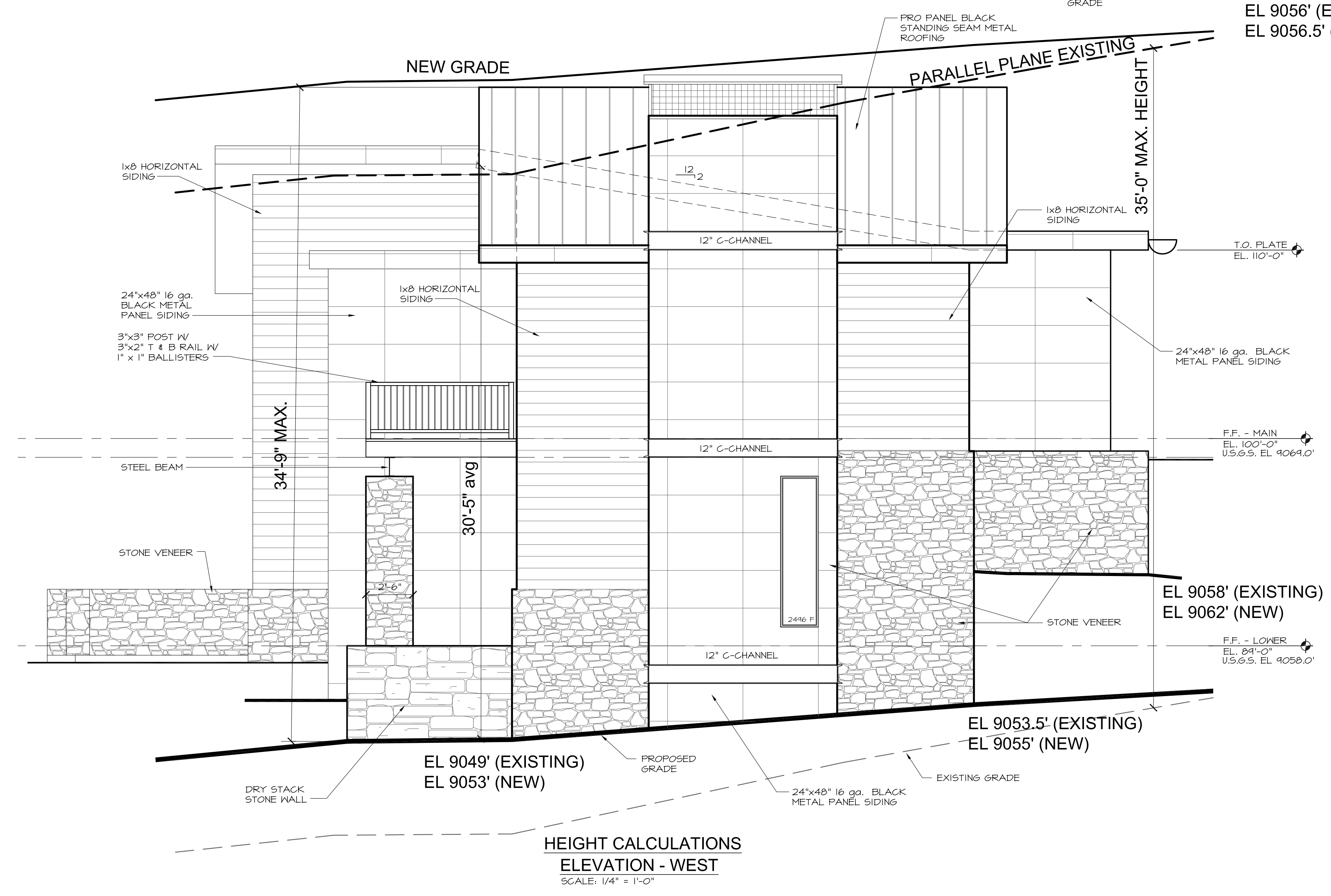
P.O. Box 3954 • Telluride, CO 81435
 C: 970-708-1076

NOT FOR CONSTRUCTION
 Unit AR-56R Timber Ridge at Mountain Village
 122 Adams Way, Mountain Village
 San Miguel County, Colorado

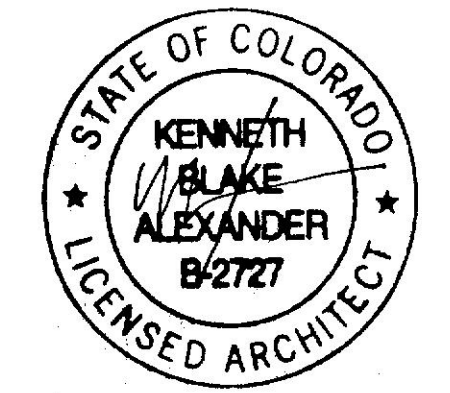
DATE:
 11.2.23
 SHEET
 A3.2H
 Unit AR-56R



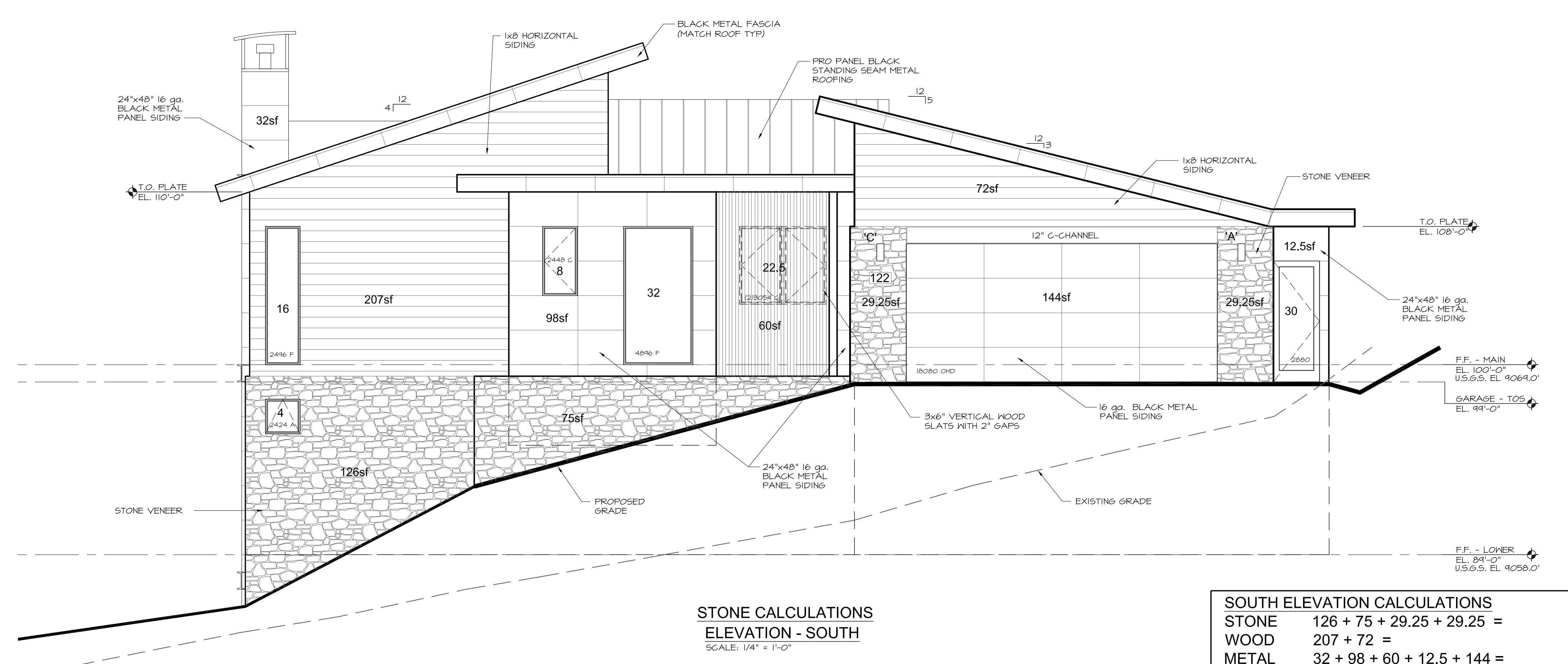
HEIGHT CALCULATIONS
 ELEVATION - NORTH
 SCALE: 1/4" = 1'-0"



HEIGHT CALCULATIONS
 ELEVATION - WEST
 SCALE: 1/4" = 1'-0"

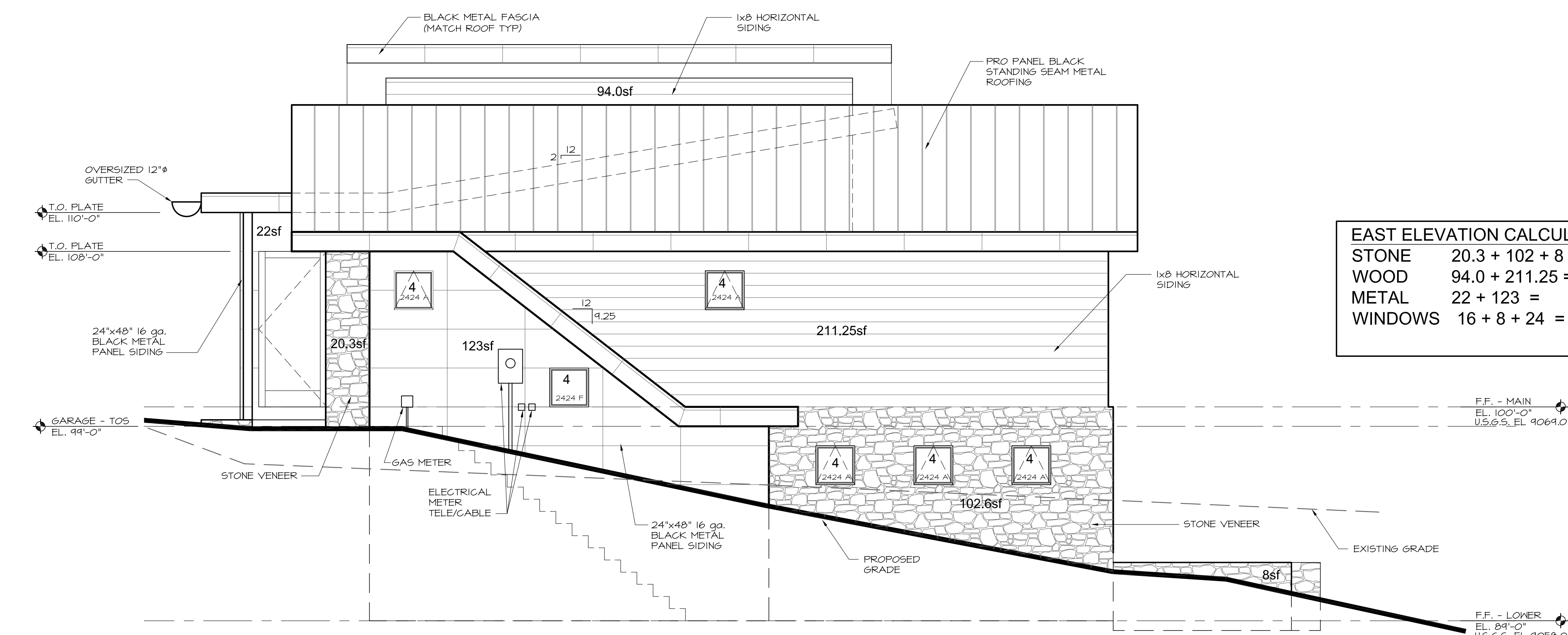


E:\Projects\architects collaborative\headsticker_arch_handbook_ar-56R.dwg, 1/27/2025, 4:54:11 PM



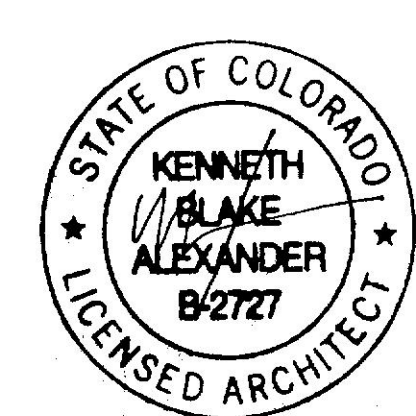
STONE CALCULATIONS
ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

SOUTH ELEVATION CALCULATIONS		
STONE	126 + 75 + 29.25 + 29.25 =	259.5 SF 26.0%
WOOD	207 + 72 =	279.0 SF
METAL	32 + 98 + 60 + 12.5 + 144 =	346.5 SF
WINDOWS	16 + 4 + 8 + 32 + 22.5 + 30 =	112.5 SF
	TOTAL	997.5 SF



STONE CALCULATIONS
ELEVATION - EAST
SCALE: 1/4" = 1'-0"

EAST ELEVATION CALCULATIONS		
STONE	20.3 + 102 + 8 =	130.3 SF 20.7%
WOOD	94.0 + 211.25 =	305.25 SF
METAL	22 + 123 =	145 SF
WINDOWS	16 + 8 + 24 =	48 SF
	TOTAL	628.55 SF



E:\Projects\architects_collaborative\Handbooks_ar-56R.dwg, 1/27/2025, 4:54:53 PM

NORTH ELEVATION CALCULATIONS

STONE	52 + 78.9 + 134.6 + 95 + 95 + 50.9 =	507.4 SF 26.4%
WOOD	185.5 + 395.1 + 47.9 =	628.5 SF
METAL	84 + 32 =	116 SF
WINDOWS	84 + 114.25 + 67.5 + 84 + 120 + 200 =	669.75 SF
TOTAL		1921.65 SF



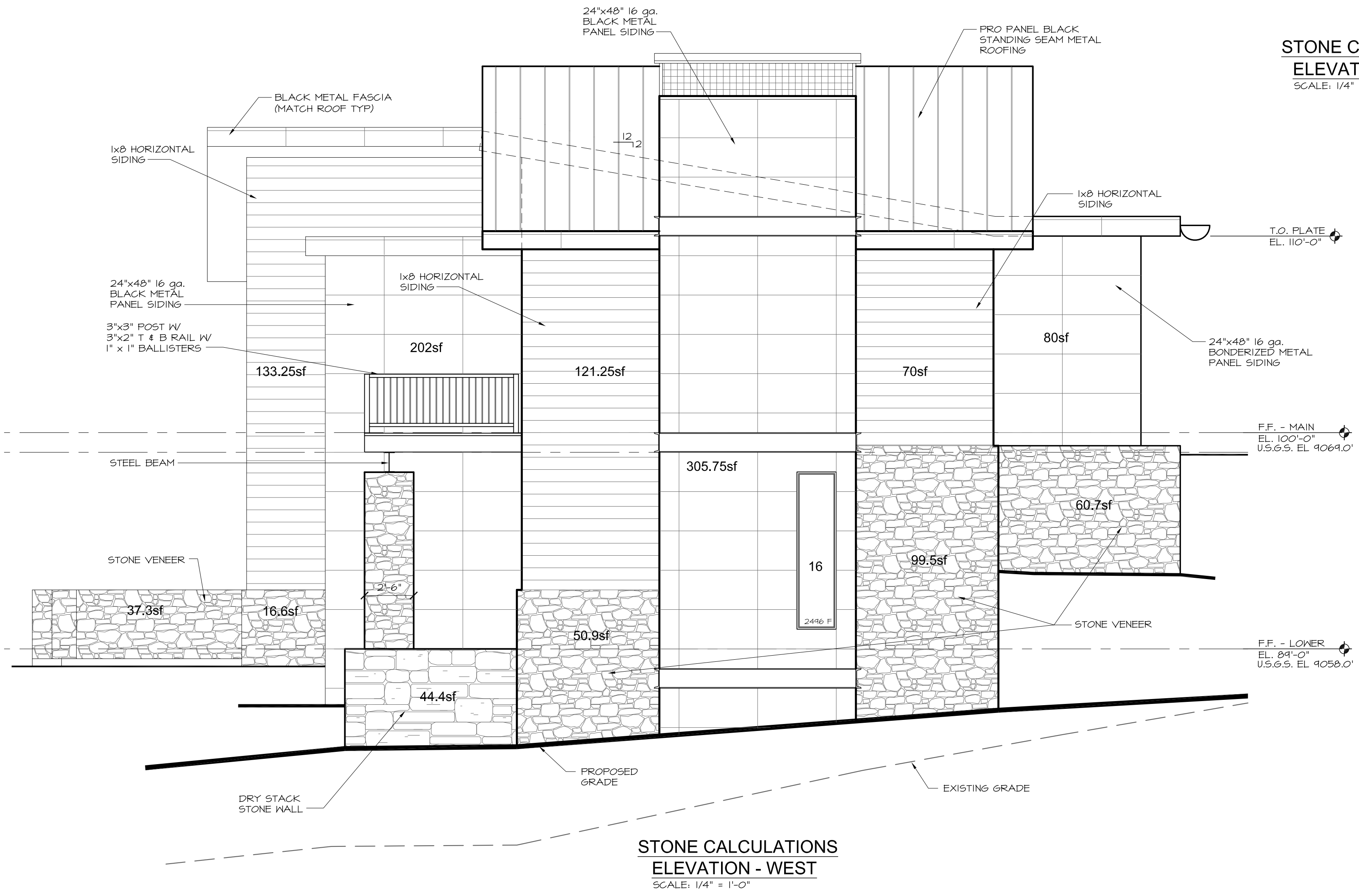
**STONE CALCULATIONS
ELEVATION - NORTH**
SCALE: 1/4" = 1'-0"

MATERIAL CALCULATION TOTALS

	NORTH	EAST	SOUTH	WEST	TOTAL	
STONE	507.4	130.3	259.5	309.4	1206.6	25.2%
WOOD	628.5	305.25	279	324.5	1537.25	
METAL	116	145	346.5	587.75	1195.25	
WINDOWS	669.75	48	112.5	16	846.25	
TOTAL	1921.65	628.55	997.5	1237.65	4785.35 SF	

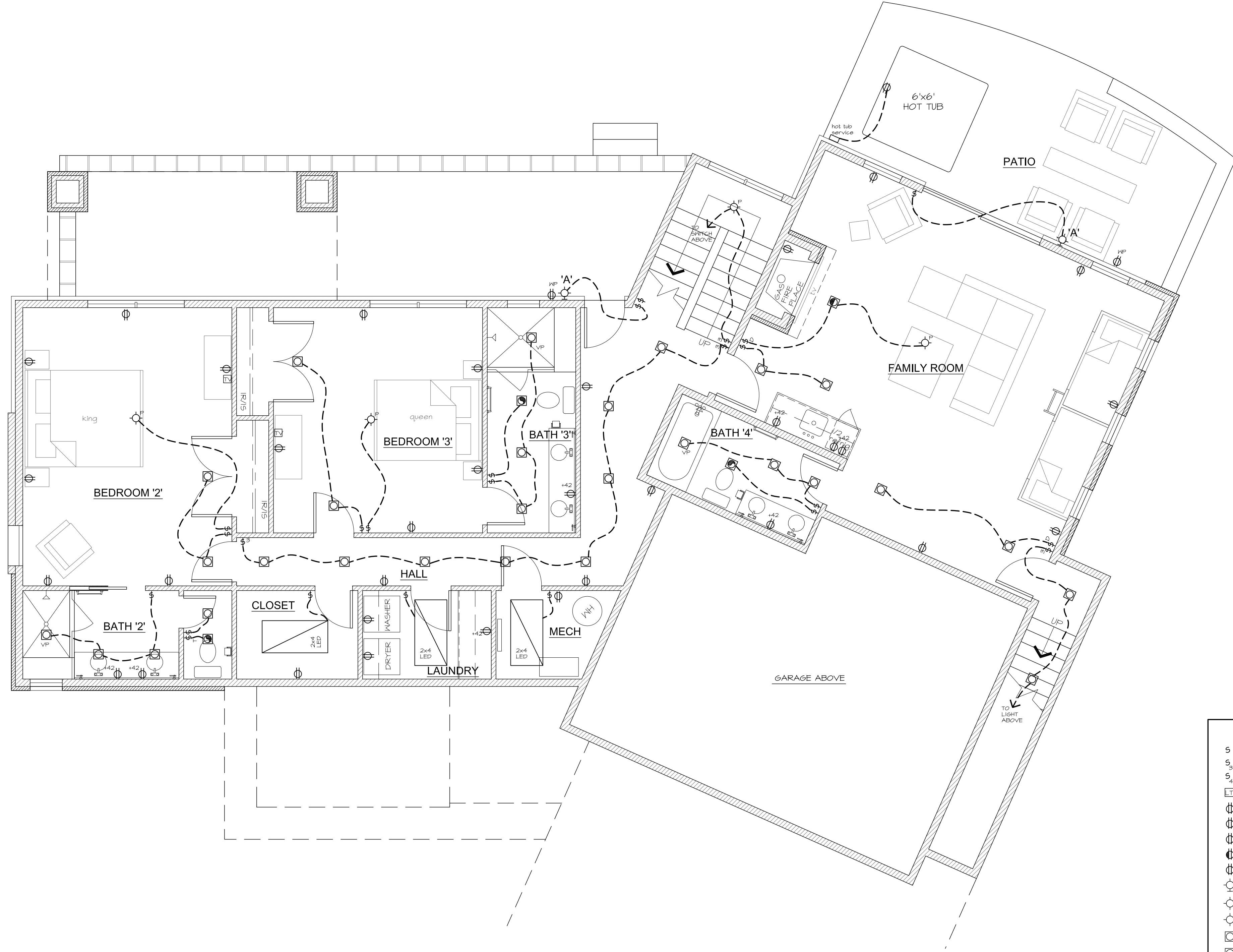
WEST ELEVATION CALCULATIONS

STONE	37.3 + 16.6 + 50.9 + 99.5 + 60.7 + 44.4 =	309.4 SF 25.0%
WOOD	133.25 + 121.25 + 70 =	324.5 SF
METAL	202 + 305.75 + 80 =	587.75 SF
WINDOWS	16 =	16 SF
TOTAL		1237.65 SF



**STONE CALCULATIONS
ELEVATION - WEST**
SCALE: 1/4" = 1'-0"





ELECTRICAL PLAN - LOWER LEVEL
SCALE: 1/4" = 1'-0"

LEGEND	
S	SWITCH
S ₃	3-WAY SWITCH
S ₄	4-WAY SWITCH
□	LITE TOUCH CONTROL
⊕	DUPLEX RECEPTACLE
⊕ ^{WP}	RECEPTACLE (WATERPROOF)
⊕ ^H	RECEPTACLE (HEIGHT ABOVE FLOOR)
⊕ ^{SO}	RECEPTACLE (SWITCH OPERATED)
⊕ ^{F.O.}	RECEPTACLE (FLOOR)
⊕	LIGHT (WALL MOUNTED)
⊕ ^C	LIGHT (SURFACE MOUNTED)
⊕ ^P	LIGHT (PENDANT)
⊕	LIGHT (RECESSED)
⊕	LIGHT (RECESSED-EYEBALL)
⊕	LIGHT W/EXHAUST FAN
⊕	EXHAUST FAN
⊕ ^{WP}	LIGHT (WATER PROOF RECESSED)
⊕ ^{WP}	LIGHT (WATER PROOF)
⊕	LIGHT (FLUORESCENT)
⊕	LIGHT (UNDER CABINET)
⊕	CEILING FAN
▼	TELEPHONE
—	CABLE
⊕	COMBINATION SMOKE/CO2 DETECTOR
⊕	SPEAKERS

NOT FOR CONSTRUCTION

Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

E1.2
Unit AR-56R

DATE:
11.2.23

SHEET

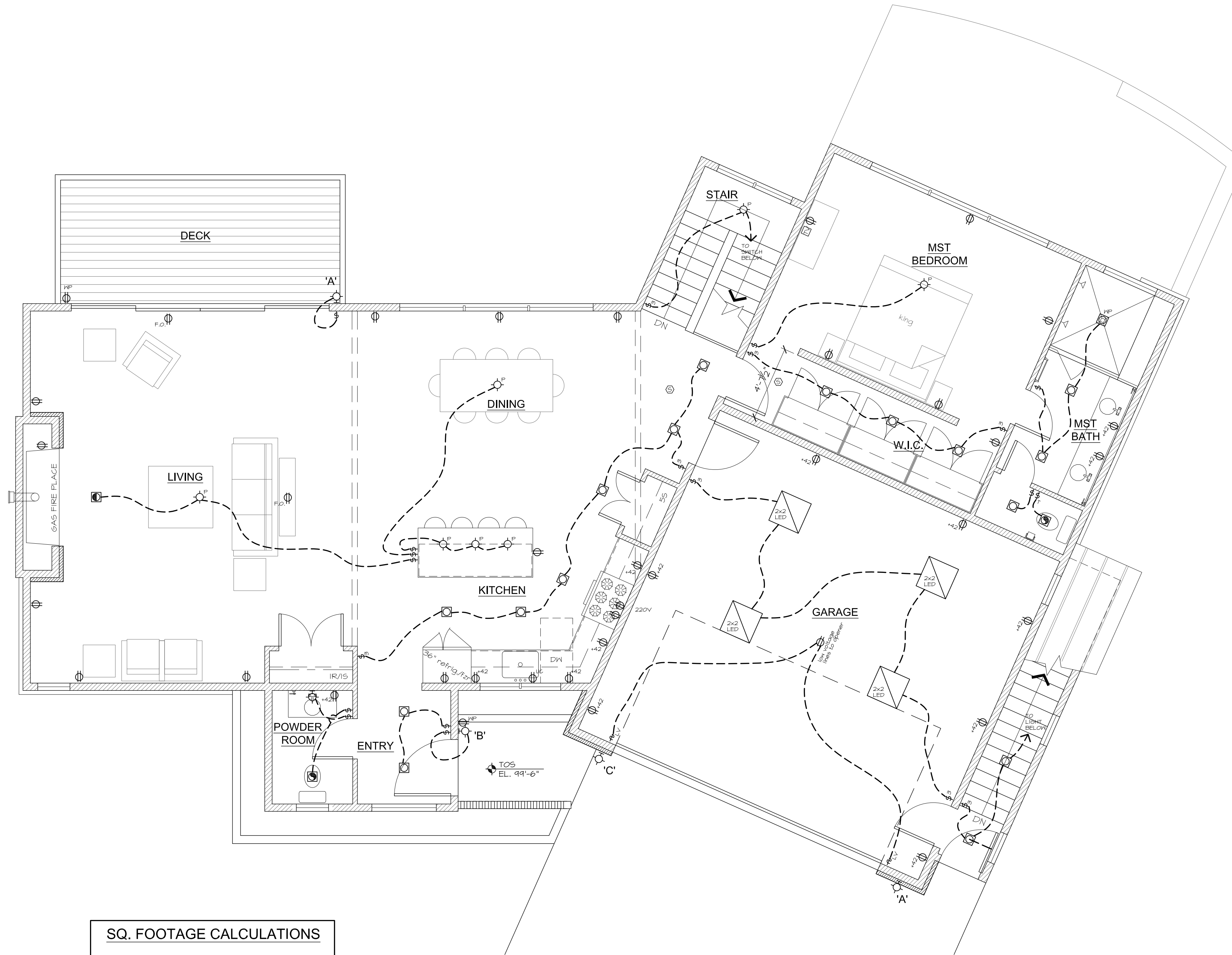
PRELIMINARY ONLY

ARCHITECTS
COLLABORATIVE
Design + Build • Just Build • Just Design

P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

REVISIONS:
0-13-24

LEGEND	
S	SWITCH
S ₃	3-WAY SWITCH
S ₄	4-WAY SWITCH
□	LITE TOUCH CONTROL
⊕	DUPLEX RECEPTACLE
⊕ ^W	RECEPTACLE (WATERPROOF)
⊕ ^H	RECEPTACLE (HEIGHT ABOVE FLOOR)
⊕ ^S	RECEPTACLE (SWITCH OPERATED)
⊕ ^F	RECEPTACLE (FLOOR)
⊙	LIGHT (WALL MOUNTED)
⊙ ^S	LIGHT (SURFACE MOUNTED)
⊙ ^P	LIGHT (PENDANT)
⊙ ^R	LIGHT (RECESSED)
⊙ ^E	LIGHT (RECESSED-EYEBALL)
⊙ ^F	LIGHT W/EXHAUST FAN
⊙ ^F	EXHAUST FAN
⊙ ^W	LIGHT (WATER PROOF RECESSED)
⊙ ^W	LIGHT (WATER PROOF)
⊙ ^F	LIGHT (FLUORESCENT)
⊙ ^U	LIGHT (UNDER CABINET)
⊙ ^F	CEILING FAN
⊙	TELEPHONE
⊙	CABLE
⊙	COMBINATION SMOKE/CO2 DETECTOR
⊙	SPEAKERS



SQ. FOOTAGE CALCULATIONS	
LOWER LEVEL	1,543 s.f.
GARAGE	521 s.f.
MAIN LEVEL	1,486 s.f.
TOTAL LIVING SPACE	3,074 s.f.
TOTAL BUILDING	3,600 s.f.

FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

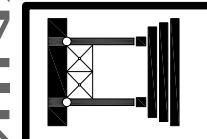
Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

E1.1
Unit AR-56R

DATE:
11.2.23

SHEET

PRELIMINARY ONLY



ARCHITECTS
COLLABORATIVE

P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

Design + Build • Just Design

REVISIONS:
0-13-24

