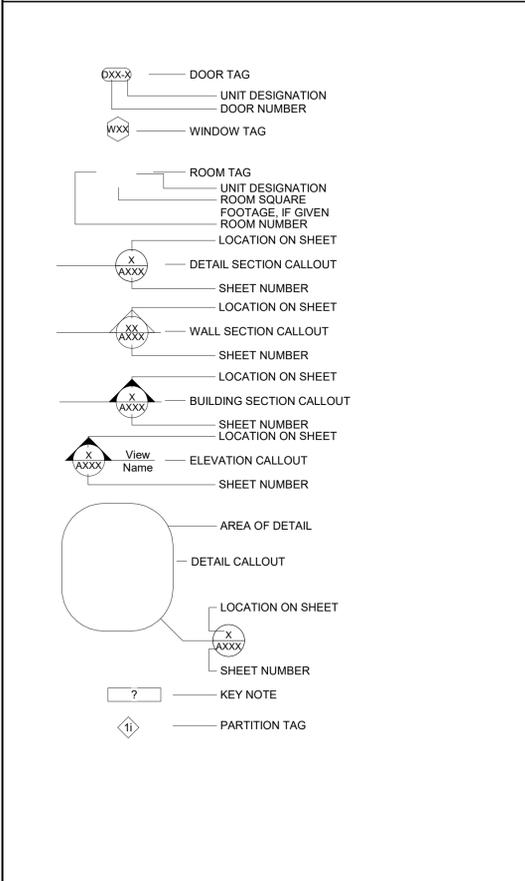


ABBREVIATION LIST

A.A.	ADHESIVE ANCHOR	FRMG	FRAMING
A.B.	ANCHOR BOLT	FTG	FOOTING
ABC	AGGREGATE BASE COURSE	GA	GALVANE
ABV	ABOVE	GALV	GALVANIZED
ADJ	ADJACENT	G.B.	GRADE BEAM
AFF	ABOVE FINISHED FLOOR	G.L.B.	GLULAM BEAM
AGG	AGGREGATE	HDR	HEADER
ARCHT	ARCHITECT	H.F.	HEM FIR
ASBO	AS SELECTED BY OWNER	HORIZ	HORIZONTAL
B.B.	BOND BEAM	H.S.	HIGH STRENGTH
BD	BOARD	H.T.	HEAVY TIMBER
B.F.	BOTTOM OF FOOTING OR BACKFILL	INFO	INFORMATION
BLDG	BUILDING	INT.	INTERIOR
BLK	BLOCK	JST.	JOIST
BLKG	BLOCKING	JT.	JOINT
BM	BEAM	L.L.	LIVE LOAD
BOD	BASE OF DESIGN	LLH	LONG LEG HORIZONTAL
BRG	BEARING	LLV	LONG LEG VERTICAL
BTWN	BETWEEN	LVL	LAMINATED VENEER LUMBER
B.U.	BUILT-UP	MAS	MASONRY
CJ	CONTROL JOINT	MAT	MATERIAL
CLG	CEILING	MAX	MAXIMUM
CMU	CONCRETE MASONRY UNIT	MFR.	MANUFACTURER
COL	COLUMN	MIN	MINIMUM
CONC.	CONCRETE	NA	NOT APPLICABLE
CONN.	CONNECTION	NLG	NAILING
CONT	CONTINUOUS	NTS	NOT TO SCALE
CONTR	CONTRACTOR	O.C.	ON CENTER
CTR	CENTER	O.H.	OVERHANG
CTR'D.	CENTERED	OPNG.	OPENING
DBL	DOUBLE	OSB	ORIENTED STRAND BOARD
D.F.	DOUGLAS FIR	PC	PRE-CAST
DIA	DIAMETER	PL	PLATE
DL	DEAD LOAD	PLYWD	PLYWOOD
DTL	DETAIL	PNL	PANEL
DWG	DRAWING	P.T.	PRESSURE TREATED
DWL	DOWEL	REINF.	REINFORCEMENT
EA	EACH	R.J.	ROOF JOIST
E.E.	EACH END	SH	SIMPSON HARDWARE
E.F.	EACH FACE	SHT.	SHEET
E.G.	EXISTING GATE	SHTG.	SHEATHING
E.J.	EXPANSION JOINT	SIM	SIMILAR
ENGR.	ENGINEER	SL	SNOW LOAD
EQ	EQUAL	S.S.	STEEL STUD
E.S.	EACH SIDE	STL	STEEL
E.W.	EACH WAY	S.W.	SHEAR WALL
EXP	EXPANSION	T.B.	TOP OF BEAM
EXT	EXTERIOR	T.J.	TOP OF JOIST
FFE	FINISH SUB-FLOOR ELEVATION	T.M.	TOP OF MASONRY
F.G.	FINISH GRADE	T.O.	TOP OF
F.J.	FLOOR JOINT	T.O.C.	TOP OF CONCRETE
FND	FOUNDATION	T.O.W.	TOP OF WALL
F.O.	FACE OF	T.P.	TOP OF PARAPET
F.O.C.	FACE OF CONCRETE	T.PL.	TOP OF PLATE
F.O.M.	FACE OF MASONRY	TS	TRIM STUD OR TUBE STEEL
F.O.S.	FACE OF STUD	TYP	TYPICAL

DRAWING LEGEND



GENERAL NOTES

- TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAIL OR SECTIONS ARE GIVEN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- ANY DEVIATIONS FROM THE PLANS WHICH ARE NECESSITATED BY FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS, SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN TRADES WHERE REQUIRED IS ACCOMPLISHED.
- ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, ELEVATIONS, SECTIONS AND DETAILS. ALL LAYOUT WORK SHALL BE CHECKED FROM BOTH DIRECTIONS. DIMENSION STRINGS SHALL BE CLOSED.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER TYPICAL DETAILS.
- VERIFY ALL OPENINGS THROUGHOUT CONSTRUCTION WITH HEATING AND VENTILATION CONTRACTOR, PLUMBING CONTRACTOR AND ELECTRICAL CONTRACTOR FOR SIZE AND LOCATION. NOTIFY ARCHITECT OF ANY DEVIATIONS FROM THE DRAWINGS.
- SEE ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF ALL DOOR AND WINDOW OPENINGS. LOCATIONS OF ALL NON BEARING PARTITIONS, CONCRETE SLABS, FLOOR AND ROOF SLOPES, DRAINS, ELEVATION. (LOCATION OF ALL STAIRWAYS, IF ANY) MISC. HANDRAILS, LADDERS, HANGERS, STEEL GRATINGS, LOCATION OF ALL CONCRETE INSERTS, GROOVES, CLIPS, GROUNDS, AND VENEER ANCHORS. LOCATION AND DETAIL OF MISC. YARD WORK INCLUDING WALKS, CURBS, DRIVEWAYS, TUNNELS, AND FINISHED GRADING PLAN.
- FRAMING CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE FRAMED SIMILAR TO OTHER DETAILS FOR THE RESPECTIVE MATERIAL.
- EACH TRADE SHALL INSPECT THE WORK UPON WHICH THEY WILL BE WORKING PRIOR TO THE START OF WORK. COMMENCEMENT OF THEIR WORK SHALL BE CONSIDERED AS ACCEPTANCE OF PRIOR WORK.
- IN THE EVENT OF DISCREPANCIES OF CONTRACT DRAWING SPECIFICATIONS, CLARIFICATION SHALL BE OBTAINED FROM THE ARCHITECT OR ENGINEER BEFORE PROCEEDING WITH WORK.
- ALL WORK SHALL BE CONSTRUCTED/INSTALLED/PLACED/ETC. PLUMB/SQUARE/LEVEL/ETC. UNLESS OTHERWISE NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS MANUAL. ALL EQUIPMENT/ACCESSORIES/ETC. SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS UNLESS NOTED OTHERWISE ON THE DRAWINGS OR IN THE SPECIFICATION MANUAL.
- THE GENERAL CONTRACTOR SHALL PROVIDE DIRECT SUPERVISION OF ALL SUBCONTRACTORS TO ASSURE ACCURATE PLACEMENT OF REINFORCING STEEL, EMBEDS, AND PROVISIONS FOR OTHER TRADES.
- PRODUCTS WHICH ARE SPECIFIED BUT ENGINEERED BY OTHERS SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, AND IN A MANNER CONSISTENT WITH THE QUALITY AND INTEGRITY OF INTENDED USE OF THE STRUCTURE.
- OPENINGS, POCKETS, ETC. SHALL NOT BE PLACED IN SLABS, DECKS, BEAMS, JOISTS, COLUMNS, WALLS, ETC. UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS.

Mountain Munchkins Addition Mountain Village, Colorado

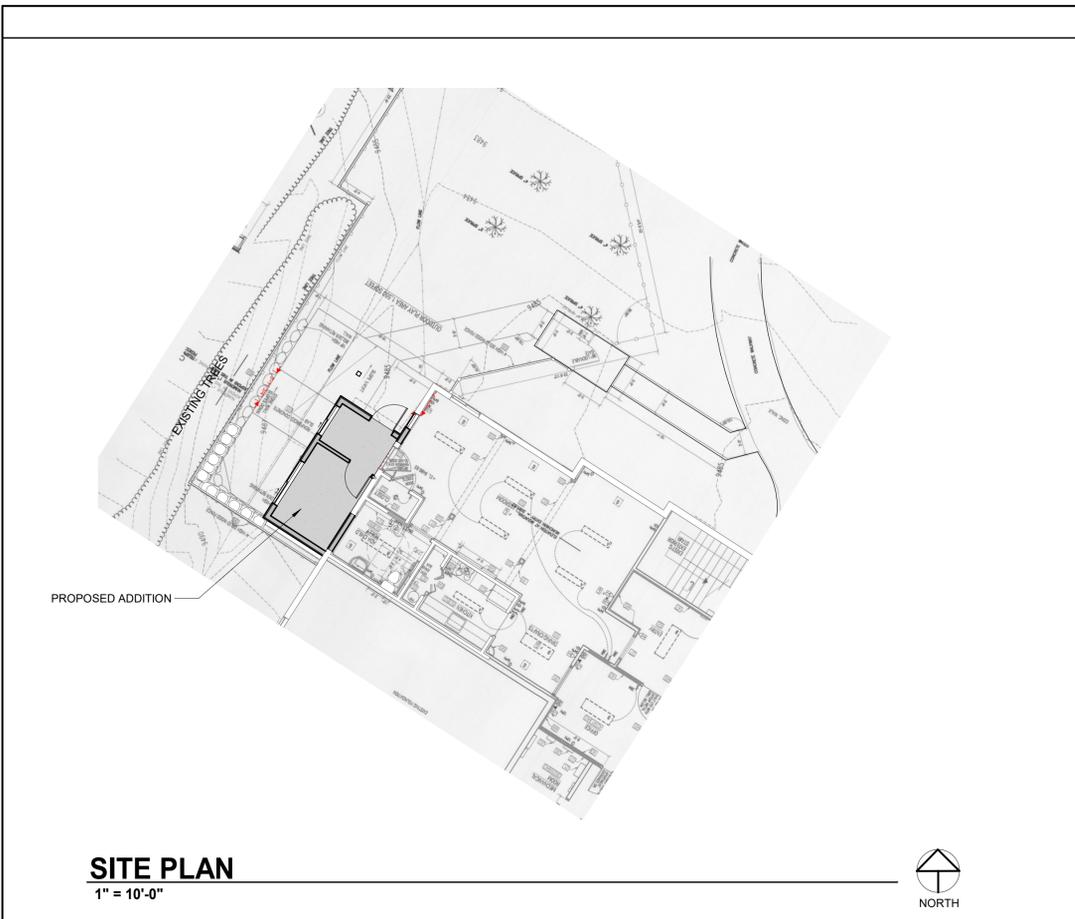


MOUNTAIN MUNCHKINS ADDITION
415 MOUNTAIN VILLAGE BLVD
MOUNTAIN VILLAGE, CO 81435
PROJECT NO: 003-2022
ASSESSORS PARCEL NO: 477903205001

PERMIT SET 03.15.22

GRADING & SITE WORK NOTES

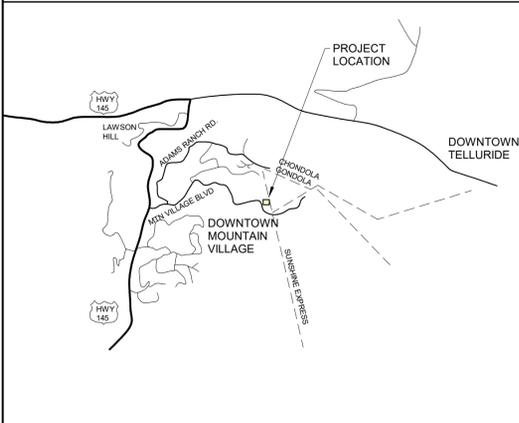
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AND LOCATE ALL EXISTING UTILITY LINES PRIOR TO STARTING EXCAVATION. CONTRACTOR TO ESTABLISH A BENCHMARK TO BE USED AT A FUTURE DATE AND BE USED TO REFERENCE ELEVATIONS.
- ANY DEVIATIONS FROM THE PLANS WHICH ARE NECESSITATED BY FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS, SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN TRADES, WHERE REQUIRED, IS ACCOMPLISHED.
- IN THE EVENT OF DISCREPANCIES OF CONTRACT DRAWINGS OR SPECIFICATIONS TO ACTUAL FIELD CONDITIONS, CLARIFICATION SHALL BE OBTAINED FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY WORK CONSTRUCTED WHERE A DISCREPANCY WAS DISCOVERED IN THE FIELD AND CONSTRUCTION WAS PERFORMED WITHOUT CLARIFICATION OR CORRECTION BY THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL PROVIDE DIRECT SUPERVISION OF ALL SUBCONTRACTORS TO ASSURE ACCURATE PLACEMENT OF ANY NEW UTILITY TRENCHES AND UTILITY LINES ACCORDING TO THE GRADING AND SITE PLAN AND PER UTILITY COMPANY'S SPECIFICATIONS FOR CORRECT SEPARATION AND EMBEDMENT OF UTILITY LINES IN SAND, GRAVEL, OR OTHER SPECIFIED MATERIALS. ALL UTILITY LINES SHALL BE BACKFILLED AND COMPACTED AND ALL LINES TO BE MARKED WITH THE APPROPRIATE UTILITY TAPE BURIED IN THE TRENCH.
- THE OWNER/CONTRACTOR SHALL TAKE ALL RESPONSIBILITY FOR COMPACTION, FILL SPECIFICATIONS AND TESTING. ANY SETTLEMENT PROBLEMS SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- ALL FINISH GRADE (F.G.) ELEVATIONS ARE APPROXIMATE.
- A GEO-TECHNICAL SOILS REPORT WAS NOT PROVIDED FOR THIS PROJECT. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR ALL SUB-SURFACE SOIL PREPARATIONS.



PROJECT DATA

PROJECT NAME	MOUNTAIN MUNCHKINS ADDITION
PROJECT ADDRESS	415 MOUNTAIN VILLAGE BLVD MOUNTAIN VILLAGE, COLORADO 81435
PROJECT DESCRIPTION	OFFICE ADDITION TO EXISTING BUILDING.
ARCHITECT	OLSON ARCHITECTS, LLC RACHEL M. OLSON - AIA P.O. BOX 4241 DURANGO, CO 81302
BUILDING REVIEW CRITERIA	2018 IBC
BUILDING AREA SUMMARY	ADDITION = 140 SQ FT

VICINITY MAP



DRAWING INDEX

#	NAME
GENERAL	
G1.01	COVER SHEET
ARCHITECTURAL	
A1.01	PROPOSED PLANS
A2.01	BUILDING ELEVATIONS
A5.01	DETAILS

THESE DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

APPROVALS
PROJ MGR:
RMO
PRINCIPAL
RMO
DRAWING TITLE
COVER SHEET

SHEET NO.
G1.01
Page 1 of 4



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 Rachel M. Olson, AIA
 P.O. Box 4241
 Durango, Colorado 81302
 T 303.305.9342



MOUNTAIN MUNCHKINS ADDITION
 415 MOUNTAIN VILLAGE BLVD
 MOUNTAIN VILLAGE, CO 81435
 PROJECT NO: 003-2022
 ASSESSORS PARCEL NO: 477903205001

PERMIT SET 03.15.22

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APPROVALS
 PROJ MGR
RMQ
 PRINCIPAL
RMQ
 DRAWING TITLE
PROPOSED PLANS

SHEET NO.
A1.01
Page 2 of 4

WINDOW SCHEDULE

WIN #	SIZE		#	ROOM NAME	OPERATION	HD HEIGHT	COMMENTS
	WIDTH	HEIGHT					
W01	4'-0"	4'-0"	101	FOYER	SL	7'-0"	
W02	6'-0"	2'-0"	102	OFFICE	SL	7'-0"	
W03	2'-0"	4'-0"			CS	MATCH EXISTING	VERIFY FINAL SIZE IN FIELD

- NOTES:
1. VERIFY ALL ROUGH OPENINGS WITH WINDOW MANUFACTURER PRIOR TO FRAMING.
 2. PROVIDE HIGH ALTITUDE INSULATED GLASS.
 3. PROVIDE INSECT SCREENS FOR ALL OPERATING WINDOWS.
 4. CONTRACTOR TO VERIFY REQUIRED QUANTITIES OF WINDOWS.
 5. ALL DIMENSIONS ARE NOMINAL. FIELD VERIFY ALL DIMENSIONS PRIOR TO PLACING ORDER FOR WINDOWS.
 6. CONTRACTOR SHALL VERIFY AND PROVIDE TEMPERED GLAZING IN ALL REQUIRED LOCATIONS PER SECTION 2406 OF THE 2018 IBC / R308 OF 2018 IRC.
 7. U.N.O. - WINDOW FRAMING TO MATCH EXISTING
 8. ALL WINDOWS TO BE INSTALLED USING 'EBBA' WATER MANAGEMENT STRATEGIES.

DOOR SCHEDULE

DR #	STYLE	SIZE		#	ROOM NAME	FINISH		HARDWARE	COMMENTS
		WIDTH	HEIGHT			INT	EXT		
D101	HINGED	3'-0"	6'-8"	101	FOYER	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	
D102	HINGED	3'-0"	6'-8"	102	OFFICE	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	

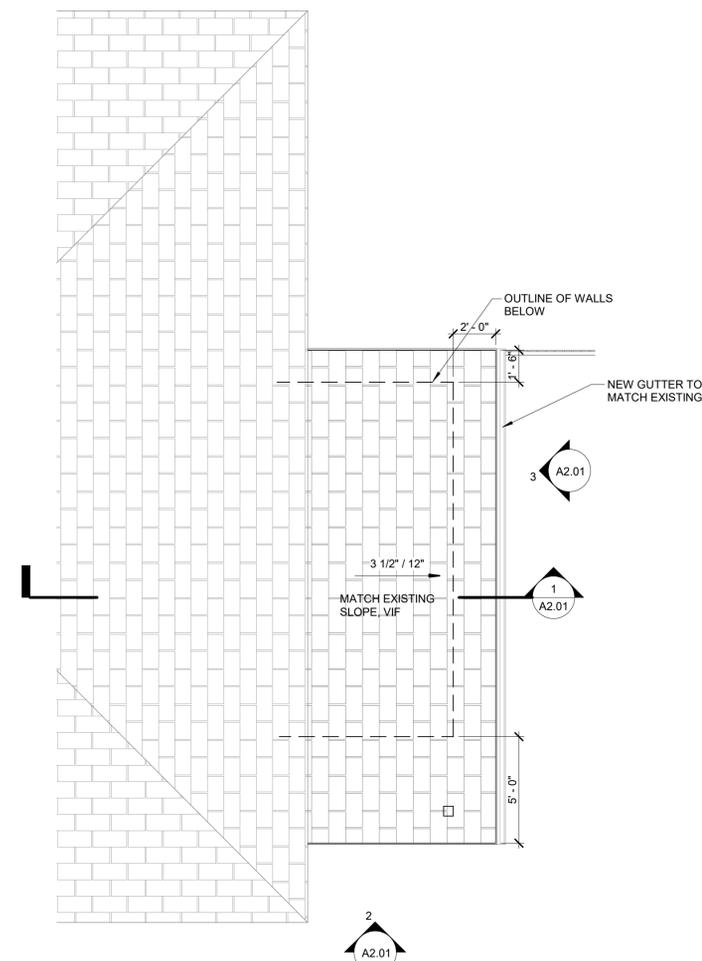
- NOTES:
1. VERIFY ALL ROUGH OPENING SIZES WITH DOOR MANUFACTURER PRIOR TO FRAMING.
 2. DOOR STYLE TO BE SELECTED BY OWNER.
 3. CONTRACTOR TO LOCATE/VERIFY ALL TEMPERED GLAZING AS MAY BE REQUIRED BY OWNER AND PROVIDE AS PER SECTION 2406 OF THE 2018 IBC.

FLOOR PLAN NOTES

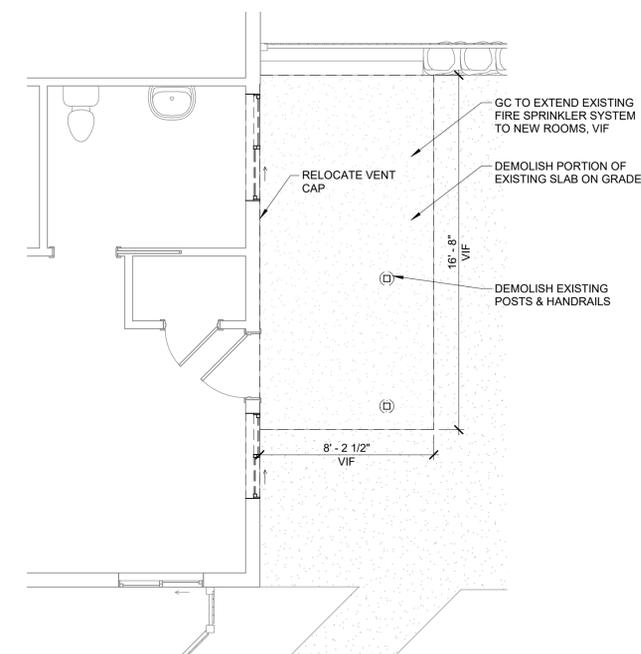
1. ALL EXTERIOR WALLS TO BE OF 2X6 @ 16" O.C. NOMINAL CONSTRUCTION, UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS TO BE OF 2X4 @ 16" O.C. CONSTRUCTION, UNLESS OTHERWISE NOTED.
2. GENERAL CONTRACTOR TO COORDINATE WITH OWNER FOR ALL INTERIOR FINISHES.
3. INTERIOR TRIM PACKAGE (i.e. BASE, CASE, ETC.) TO BE DETERMINED.
4. ANY DISCREPANCIES WITH DIMENSIONS TO BE REPORTED TO ARCHITECT PRIOR TO CONSTRUCTION. IF CONTRACTOR, OWNER, OR SUBCONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT ARCHITECT APPROVAL THEN THE ARCHITECT IS NOT RESPONSIBLE FOR THAT PART OF THE WORK.
5. PROVIDE MINIMUM INSULATION AT BUILDING ENVELOPE AS FOLLOWS: WALLS - R20 MIN + R3.8 CONTINUOUS INSULATION, ROOFS - R49 MIN. (OR AS NOTED ON DRAWINGS.), STEMWALL - R13 MIN.
6. DIMENSION SYSTEM NOTE: ALL DIMENSIONS ARE FACE OF FRAMING TO FACE OF FRAMING OR FACE OF FRAMING TO CENTERLINE, U.N.O.

ROOF PLAN NOTES

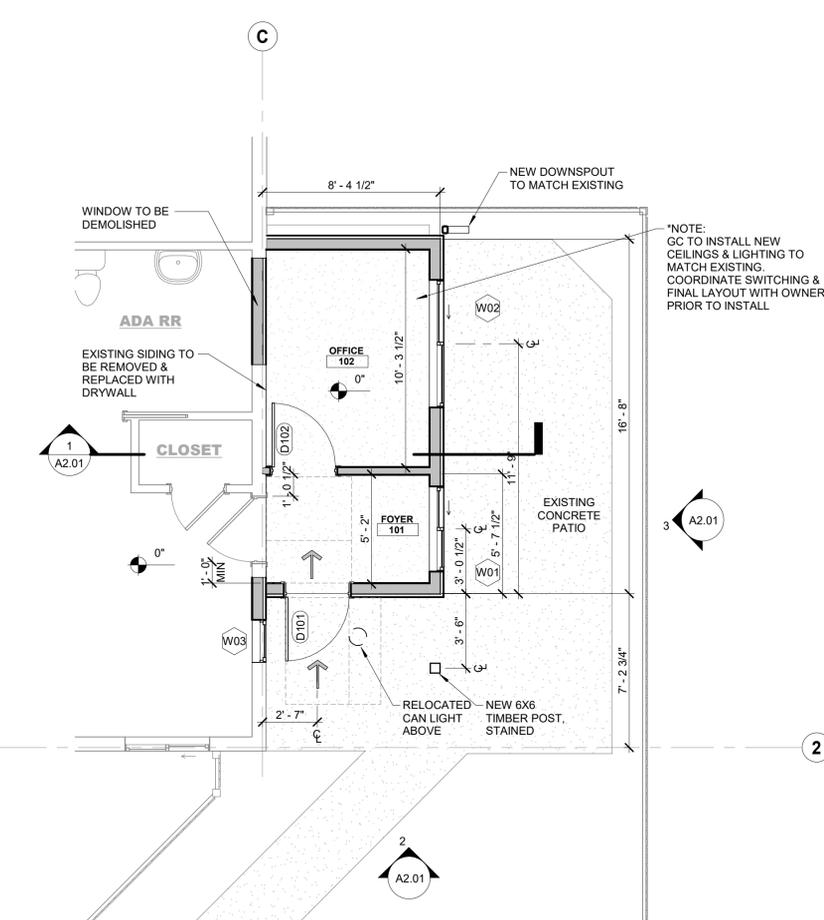
1. ROOF SLOPE SHALL MATCH EXISTING ROOF SLOPE.
2. ALL ROOF PENETRATIONS ARE TO BE FLASHED PER ROOFING SYSTEM MANUFACTURER'S RECOMMENDATIONS.
3. ALL FLASHING USED SHALL BE MIN. 24GA. GALV.
4. PROVIDE AND INSTALL 2-COURSES ICE & WATER SHIELD MEMBRANE @ EAVES AND VALLEYS AND 1-LAYER ON REMAINDER OF ROOF. ICE & WATER SHIELD TO WRAP SUB-FASCIA. FINISHED ROOF TO BE INSTALLED WITHIN 30 DAYS OF THE INSTALLATION OF THE ICE & WATER SHIELD.
5. INSTALL ALL ROOFING MATERIALS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE ALL REQUIRED UNDERLAYMENTS AND ADDITIONAL MATERIALS FOR A COMPLETE AND THOROUGH INSTALLATION.



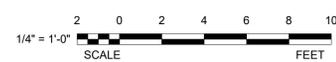
ROOF PLAN
 1/4" = 1'-0"

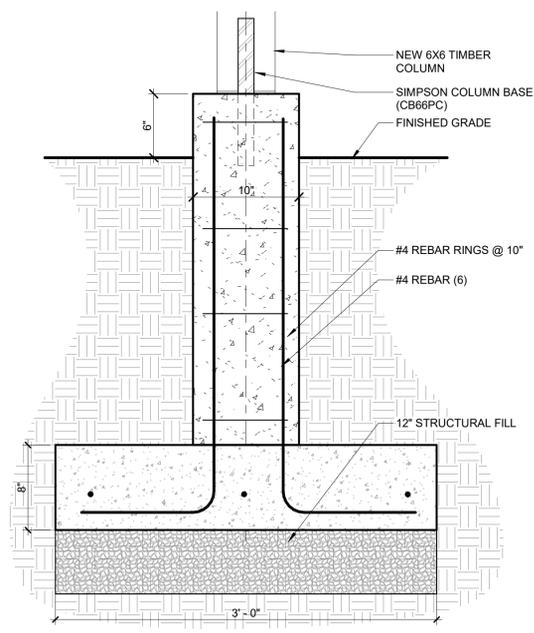


DEMOLITION PLAN
 1/4" = 1'-0"

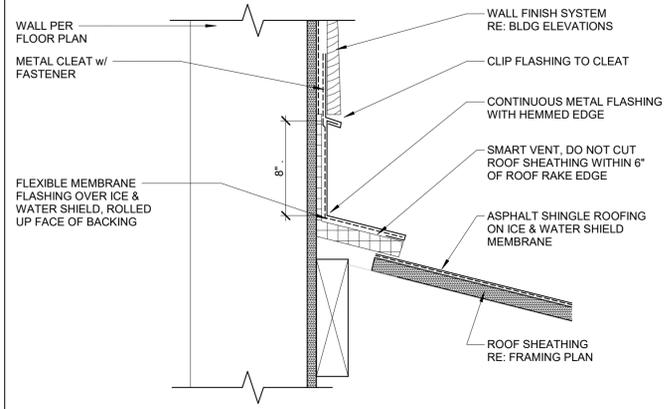


PROPOSED FLOOR PLAN
 1/4" = 1'-0"

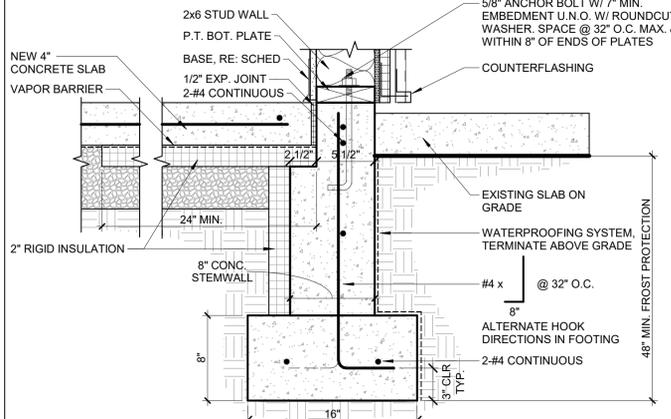




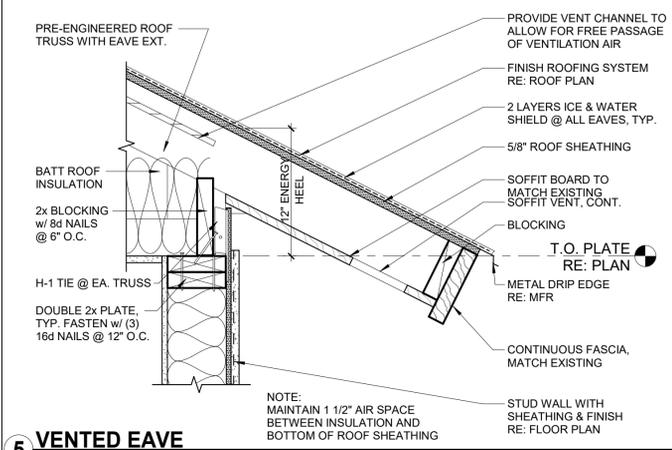
8 FOUNDATION @ WOOD COLUMN
1 1/2" = 1'-0"



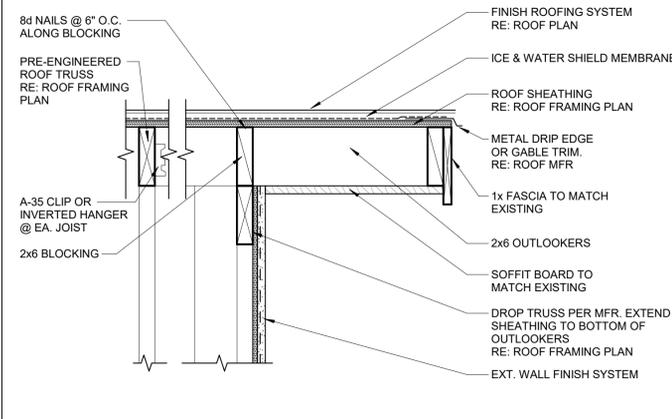
7 ENDWALL FLASHING - SHINGLE
3" = 1'-0"



6 TYP. FOUNDATION @ WALL w/ MTL SIDING
1 1/2" = 1'-0"



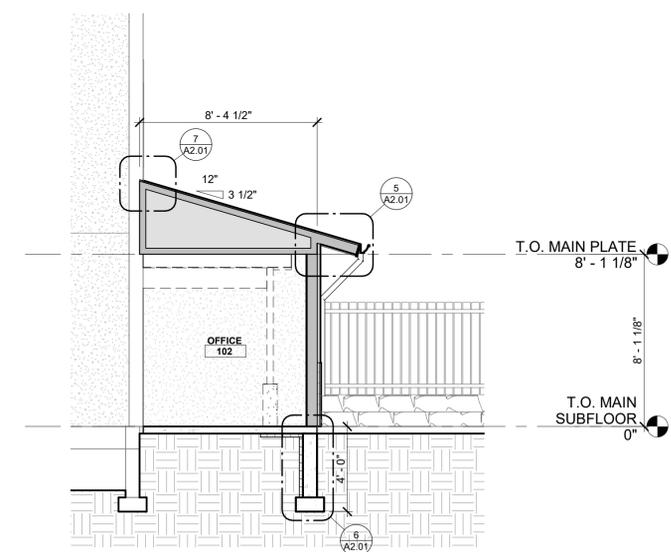
5 VENTED EAVE
1 1/2" = 1'-0"



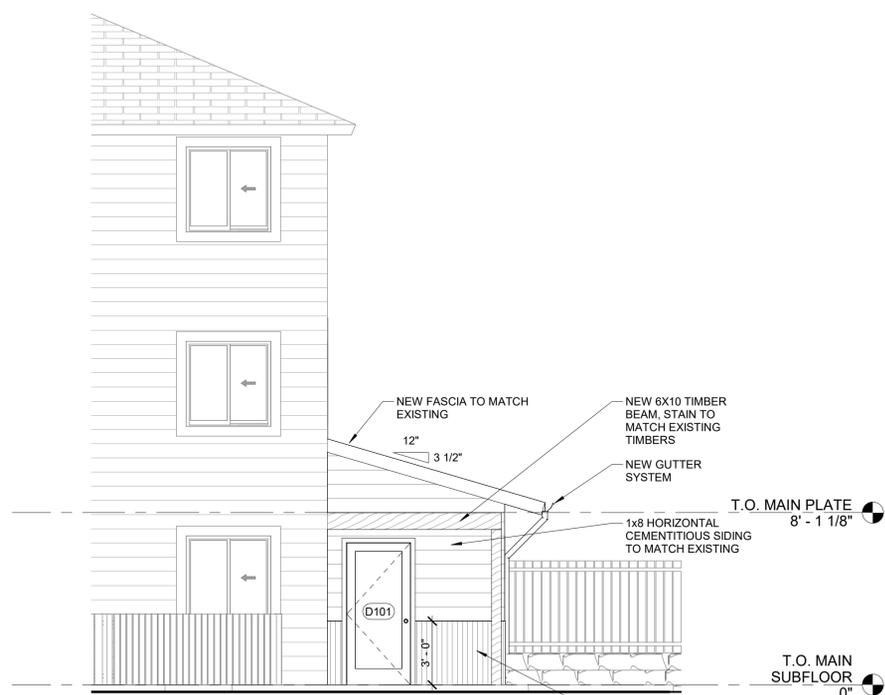
4 RAKE, TYP.
1 1/2" = 1'-0"

ELEVATION NOTES

1. GENERAL CONTRACTOR TO COORDINATE EXT. BUILDING LIGHT LOCATIONS WITH ELECTRICAL CONTRACTOR.
2. ALL FASTENERS USED IN AN EXTERIOR APPLICATION SHALL BE GALVANIZED.
3. ALL STAIN COLORS TO MATCH EXISTING.
4. ALL FLASHING USED SHALL BE 24ga GALVANIZED.



1 BUILDING SECTION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"



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MOUNTAIN MUNCHKINS ADDITION
415 MOUNTAIN VILLAGE BLVD
MOUNTAIN VILLAGE, CO 81435
PROJECT NO: 003-2022
ASSESSORS PARCEL NO: 477903205001

PERMIT SET 03.15.22

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APPROVALS
PROJ MGR
RMQ
PRINCIPAL
RMQ
DRAWING TITLE
BUILDING ELEVATIONS

SHEET NO
A2.01



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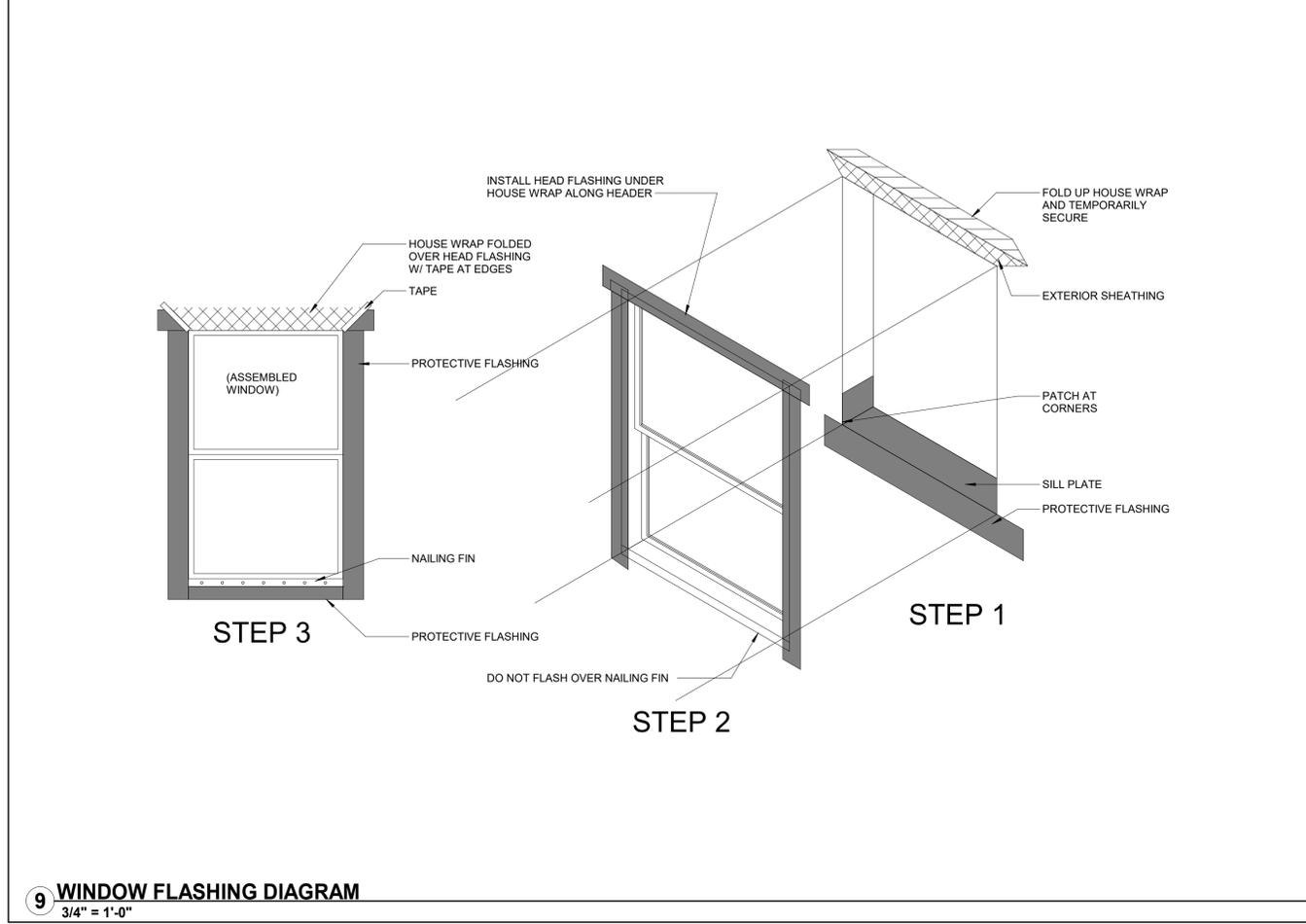
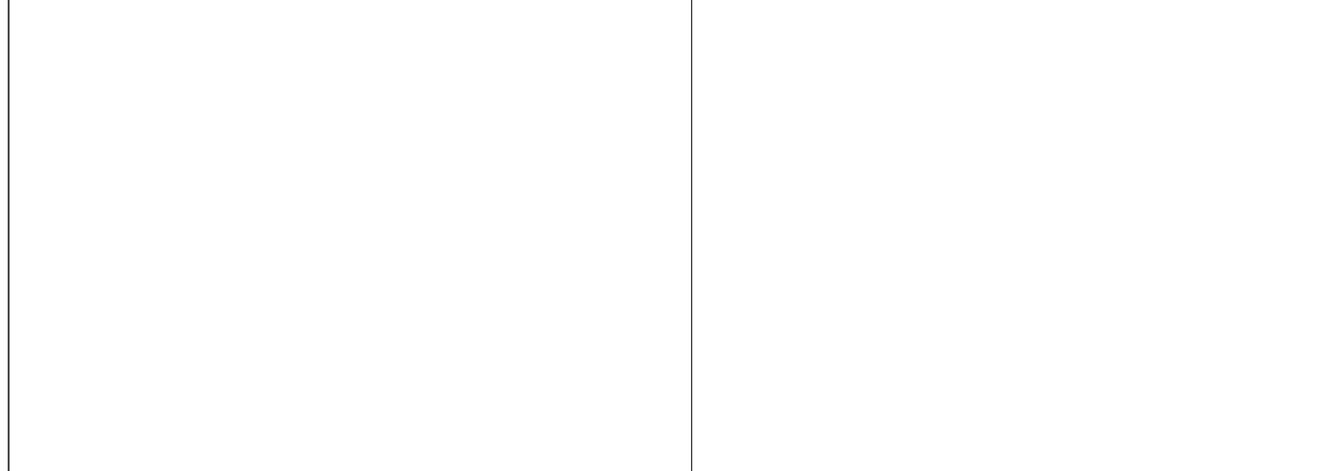
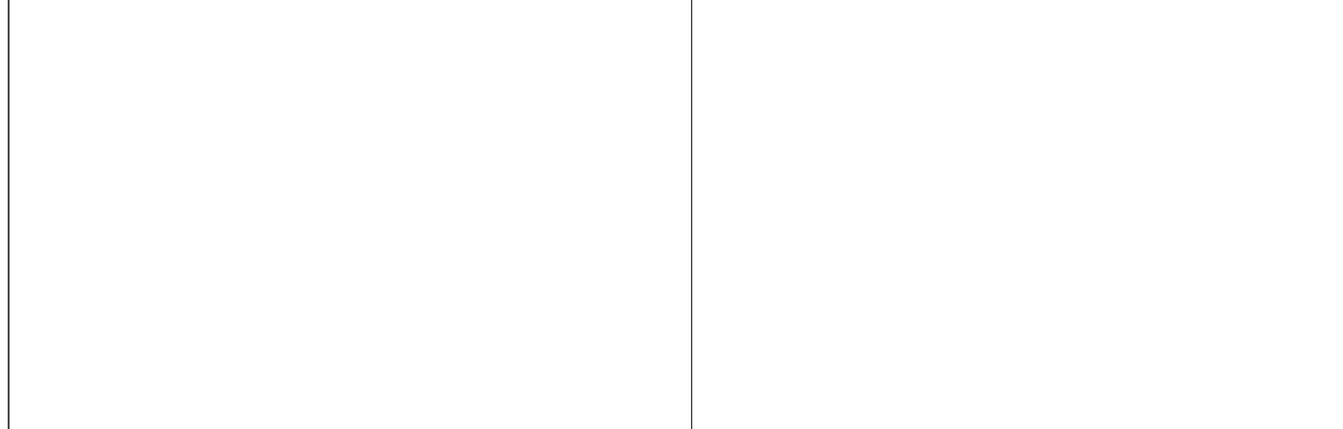
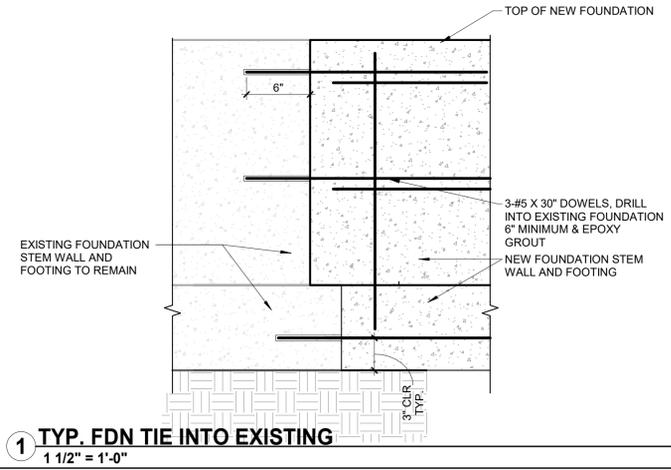
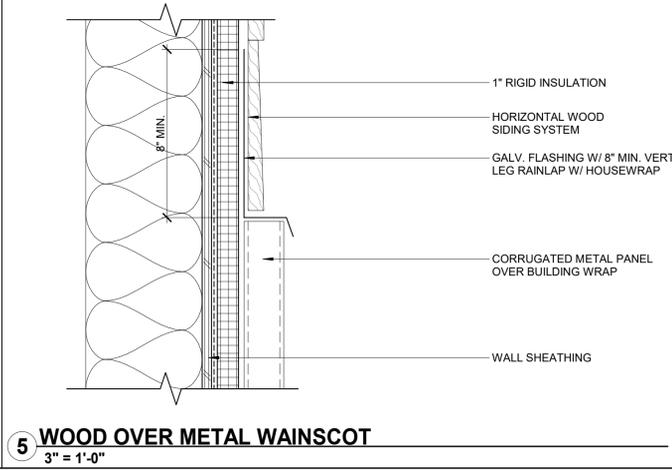
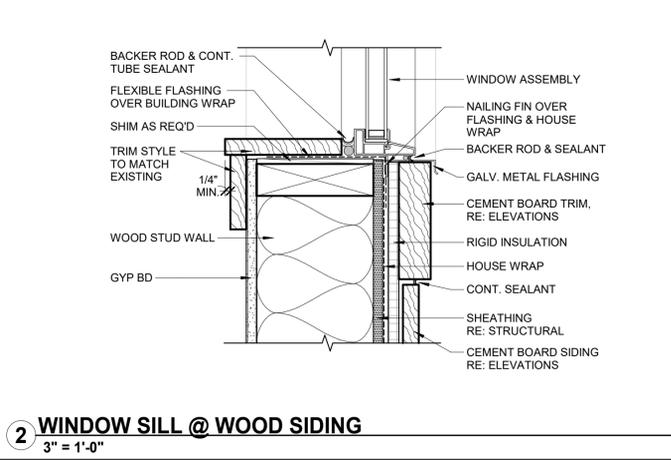
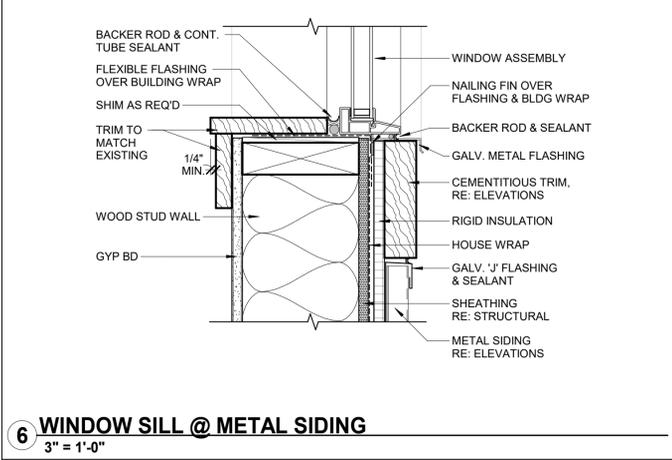
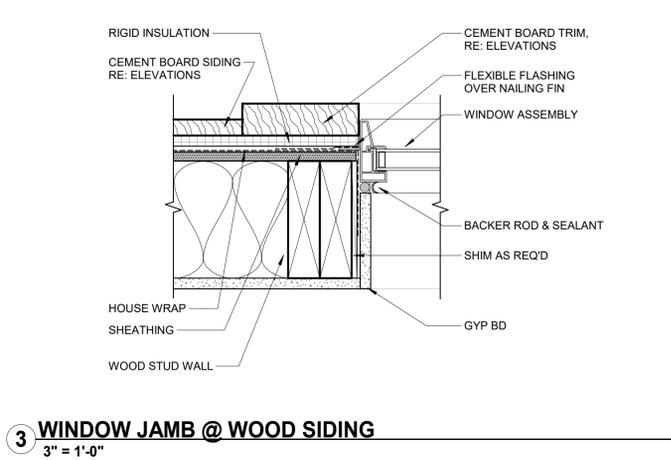
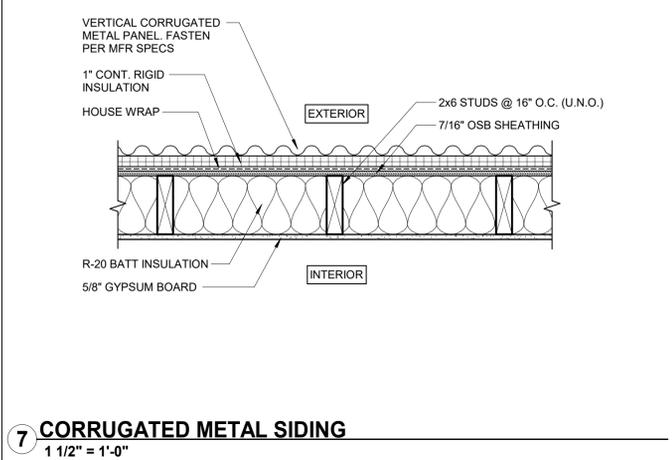
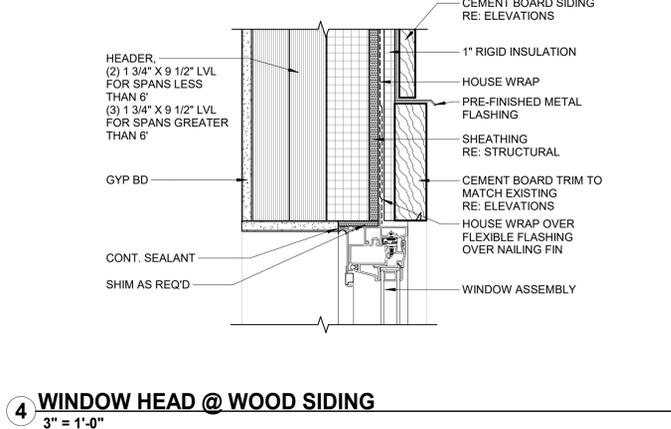
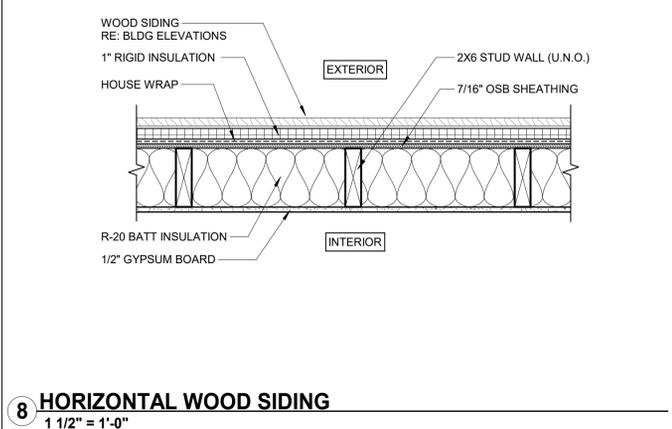
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APPROVALS
 PROJ MGR: **RMQ**
 PRINCIPAL: **RMQ**
 DRAWING TITLE: **DETAILS**

SHEET NO: **A5.01**

PERMIT SET 03.15.22



9 WINDOW FLASHING DIAGRAM
 3/4" = 1'-0"

5 WOOD OVER METAL WAINSCOT
 3" = 1'-0"

1 TYP. FDN TIE INTO EXISTING
 1 1/2" = 1'-0"