

**TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING AGENDA
THURSDAY MAY 1, 2025, 10:00 AM
MOUNTAIN VILLAGE TOWN HALL
455 MOUNTAIN VILLAGE BLVD, MOUNTAIN VILLAGE, COLORADO
TO BE HELD HYBRID THROUGH ZOOM:
<https://us06web.zoom.us/j/85097485733>
Meeting ID: 850 9748 5733**

Zoom participation in public meetings is being offered as a courtesy, however technical difficulties can happen, and the Town bears no responsibility for issues that could prevent individuals from participating remotely. Physical presence in Council chambers is recommended for those wishing to make public comments or participate in public hearings.

Agenda Item	Time	Min.	Presenter	Type	Item Description
1.	10:00	0	Chair	Chair	Call to Order
2.	10:00	30	McConaughy	Executive Session	Conference with the Town Attorney for the Purpose of Receiving Legal Advice, Specifically Regarding the Ridge Development Agreement
3.	10:30	2	Howe	Action	Reading and Approval of Summary of Motions of the April 3, 2025 Design Review Board Meeting
4.	10:32	15	Butt/ McConaughy	Quasi-Judicial	Review and Recommendation to Town Council for an Ordinance Amending CDC Section 17.5.13 Sign Regulations
5.	10:47	45	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture and Site Review for a New Single-Family Detached Condominium at Lot 161A-4 Unit 8, TBD Raccoon Ln, pursuant to CDC Section 17.4.11.
6.	11:32	30	Ward/ Applicant	Work Session	Conceptual Work Session for Lot 166-AR2-3, TBD Stonegate Dr Regarding Building Height, pursuant to CDC Section 17.4.11.
7.	12:02	15	Lunch	Lunch	Lunch
8.	12:17	30	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Final Architecture Review for a New Single-Family Home at Lot GH-6, 106 Cabins Ln, pursuant to CDC Section 17.4.11.
9.	12:47	45	Perez/ Applicant	Quasi-Judicial	Consideration of a Design Review: Initial Architecture Review for a New Single-Family Home at Lot AR56R, TBD Adams Way, pursuant to CDC Section 17.4.11.
10.	1:32	0	Chair	Adjourn	Adjourn

**DESIGN REVIEW BOARD MINUTES
TOWN OF MOUNTAIN VILLAGE
REGULAR DESIGN REVIEW BOARD MEETING
APRIL 3, 2025, 10:00 AM**

Call to Order

Chair **Brown** called the meeting of the Design Review Board DRB of the Town of Mountain Village to order at 10:00 a.m. on April 3, 2025.

Attendance

The following Board members were present and acting:

Liz Newton
Ellen Kramer
Scott Bennett
Greer Garner
David Eckman
Jim Austin (via Zoom)
David Craige
Banks Brown

The following Board members were absent:

Adam Miller

Town Staff in attendance:

Amy Ward – Community Development Director
Claire Perez – Planner II
Erin Howe – Planning Technician
Lars Forsythe – Chief Building Official
Lauren Tyler – GIS Administrator
Drew Nelson – Housing Director

Public Attendance:

Ken Alexander
Narcis Tudor

Public Attendance via Zoom:

Steven Hendricks
Ramiel Kenoun

Item 2. Reading and Approval of Summary of Motions of the March 6, 2025, Design Review Board Meeting.

On a **MOTION** by **Bennett** and seconded by **Kramer** the DRB voted **unanimously** to **approve** the summary of motions for the March 6, 2025, Design Review Board meeting minutes.

Item 3. Review and Recommendation to Town Council for a Vested Property Rights Application at Lot 137, 102 Granite Ridge, pursuant to CDC Section 17.4.17.

Claire Perez: Presented as Staff

Narcis Tudor: Presented as Applicant

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Garner** the DRB voted **unanimously** to recommend **approval** to Town Council of a three-year Vested Property Rights extension for Lot 137, 102 Granite Ridge, pursuant to CDC Section 17.4.17., based on the evidence provided in the staff memo of record dated March 26, 2025, and the findings of the meeting.

With the following findings:

- 1) The proposal to extend the Lot 27A vested property rights meets all of the Criteria for Decision listed in 17.4.17(D)(1)

And, with the following conditions:

- 1) *Prior to the recordation of the Ordinance approving the Extended Vested Property Rights and site-specific development plan, the Owner shall revise all documents to include the following statement: "Approval of this site-specific development plan may create a vested property right pursuant to C.R.S. § 24-68-101 et seq. and subject to the Town of Mountain Village's Community Development Code."*
- 2) *The Town shall publish a notice in the newspaper of record within 14 days of approval a notice describing that a vested property right has been created/extended consistent with CDC Section 17.4.17(E)(4)*
- 3) *Prior to the issuance of a building permit, the landscape and fire mitigation plan shall be revised to meet current standards.*
- 4) *Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 100% since the application was submitted and deemed complete in 2025.*
- 5) *All previous conditions of approval from the original 2023 Design Review approval remain applicable for any future development.*

Item 4. Consideration of a Specific Approval for a Fascia Material at Lot 165 Unit 9, 190 Cortina Dr, pursuant to CDC Section 17.4.11.

Erin Howe: Presented as Staff

Ramiel Kenoun: Presented as Applicant

Public Comment: None

On a **MOTION** by **Kramer** and seconded by **Garner** the DRB voted **unanimously** to **approve** the Specific Approval for the use of hardie plank as Fascia Material at Lot 165 Unit 9, 190 Cortina Dr, pursuant to CDC Section 17.4.11., based on the evidence provided in the staff memo of record dated March 24, 2025, and the findings of the meeting.

And with the following condition:

- 1) *All conditions of the previously approved Design Review dated February 24, 2022, still apply.*

Item 5. Review and Recommendation to Town Council for a CDC Amendment Proposing Adoption of The 2024 Editions of the International Building Code (“IBC”), International Residential Code (“IRC”)), International Mechanical Code (“IMC”), International Fuel Gas Code (“IFGC”), International Property Maintenance Code (“IPMC”), International Plumbing Code (“IPC”), International Existing Building Code (“IEBC”), International Swimming Pool and Spa Code (“ISPSC”), and the 2018 International Fire Code (“IFC”) as adopted by the Telluride Fire Protection District (TFPD), the 2023 Edition of the National Electric Code, NFPA70, (“NEC”), as adopted by the State of Colorado, (collectively referred to as the “codes”).

Amy Ward and Lars Forsythe: Presented as Staff
Public Comment: None

On a **MOTION** by **Newton** and seconded by **Craige** the DRB voted **unanimously** to recommend **approval** to Town Council for a CDC Amendment Proposing Adoption of The 2024 Editions of the International Building Code (“IBC”), International Residential Code (“IRC”)), International Mechanical Code (“IMC”), International Fuel Gas Code (“IFGC”), International Property Maintenance Code (“IPMC”), International Plumbing Code (“IPC”), International Existing Building Code (“IEBC”), International Swimming Pool and Spa Code (“ISPSC”), and the 2018 International Fire Code (“IFC”) as adopted by the Telluride Fire Protection District (TFPD), the 2023 Edition of the National Electric Code, NFPA70, (“NEC”), as adopted by the State of Colorado, (collectively referred to as the “codes”)., based on the evidence provided in the staff memo of record dated March 26, 2025, and the findings of this meeting.

Item 6. Consideration of a Design Review: Initial Architecture Review for a New Single-Family Detached Condominium at Lot AR-56-R, TBD Adams Way, pursuant to CDC Section 17.4.11.

Claire Perez: Presented as Staff

Ken Alexander: Presented as Applicant

Public Comment: None

On a **MOTION** by **Bennett** and seconded by **Newton** the DRB voted **unanimously** to **continue** the Initial Architecture Review for a New Single-Family Detached Condominium at Lot AR-56-R, TBD Adams Way, pursuant to CDC Section 17.4.11. to the May 1, 2025, Design Review Board meeting, based on the evidence provided in the staff memo of record dated March 21, 2025, and the findings of the meeting.

Item 7. Consideration of a Design Review: Initial Architecture Review for a New Single-Family Detached Condominium at Lot 161A-4 Unit 8, TBD Raccoon Ln, pursuant to CDC Section 17.4.11. The applicant is requesting a continuation to the May 1, 2025, hearing. This item will not be reviewed at today's hearing.

Claire Perez: Presented as Staff

Chris Hawkins: Presented as Applicant

Public Comment: None

On a **MOTION** by **Craige** and seconded by **Bennett** the DRB voted **unanimously** to **continue** the Initial Architecture Review for a New Single-Family Detached Condominium at Lot 161A-4 Unit 8, TBD Raccoon Ln, pursuant to CDC Section 17.4.11. to the May 1, 2025, Design Review Board meeting, based on the evidence provided in the staff memo of record dated March 21, 2025, and the findings of the meeting.

Item 9. Adjourn

The DRB voted **unanimously** to adjourn the April 3, 2025, Design Review Board Meeting at 12:15 PM.

Prepared and submitted by,

Erin Howe, Planning Technician



COMMUNITY DEVELOPMENT DEPARTMENT

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392
Agenda Item 4

TO: Mountain Village Design Review Board

FROM: Claire Perez, Planner II

FOR: Design Review Board Public Hearing; May 1, 2025

DATE: April 18, 2025

RE: Staff Memo – Initial Architecture and Site Review (IASR) for Lot 161A-4 Unit 8, TBD Raccoon Lane.

APPLICATION OVERVIEW: New Single-Family Detached Condominium on Lot 161A-4 Unit 8

PROJECT GEOGRAPHY

Legal Description: UNIT 8 THE RIDGE AT TELLURIDE LOCATED ON LOT 161A-4 ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 1 AT PAGE 3262 RECEPTION NO 365188 AND AMENDED AND SUPPLEMENTED BY THE PLATS RECORDED IN PLAT BOOK 1 AT PAGE 3649 RECEPTION NO 383984 PLAT BOOK 1 AT PAGE 3686 RECEPTION NO 385382 PLAT BOOK 1 AT PAGE 3900 RECEPTION NO 398499 PLAT BOOK 1 AT PAGE 3975 RECEPTION NO 403055 PLAT BOOK 1 AT PAGE 4283 RECEPTION NO 409853 PLAT BOOK 1 AT PAGE 4349 RECEPTION NO 413134 PLAT BOOK 1 AT PAGE 4888 RECEPTION NO 446065 AND PLAT BOOK 1 AT PAGE N/A RECEPTION NO 458069 AND ACCORDING TO THE DECLARATION FOR THE RIDGE AT TELLURIDE RECORDED AT RECEPTION NO 365201 AS AMENDED AND SUPPLEMENTED BY THE DOCUMENTS RECORDED AT RECEPTION NO 383983 RECEPTION NO 385383 RECEPTION NO 398448 RECEPTION NO 403054 RECEPTION NO 409854 RECEPTION NO 413135 AND RECEPTION NO 458070 ALL IN THE OFFICE OF THE COUNTY CLERK AND RECORDER SAN MIGUEL COUNTY COLORADO

Address: TBD Raccoon Lane

Applicant/Agent: Chris Hawkins, Alpine Planning, LLC

Owner: Sunshine Ridge Investments, LLC

Zoning: Multi-family

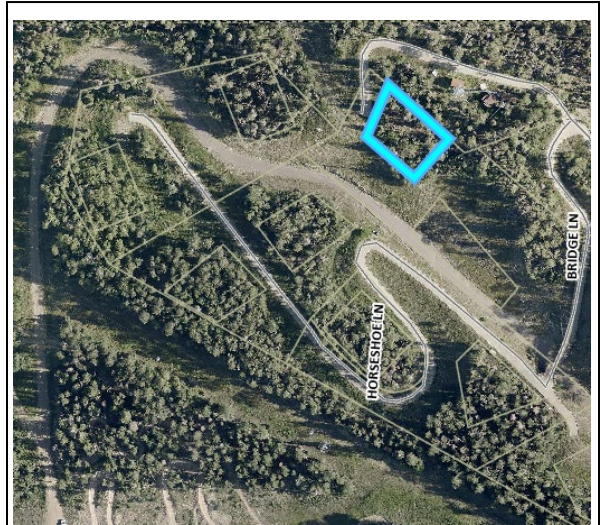


Figure 1: Vicinity Map

Existing Use: Vacant

Proposed Use: Single-Family detached condominium

Lot Size: 0.161 acres, 7,233 Sq. Ft.

Adjacent Land Uses:

- **North:** Active Open Space
- **South:** Multi-family
- **East:** Active Open Space
- **West:** Multi-family

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

Exhibit C: [The Ridge Development Agreement](#)

Exhibit D: Memo from Town Attorney

Case Summary: Chris Hawkins of Alpine Planning is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) for a new single-family detached condominium on Lot 161A-4 Unit 8, TBD Raccoon Lane. The lot is approximately 0.16 acres and is zoned multi-family. The proposed design consists of a two-story structure. The overall square footage of the home is approximately 7,543 gross square feet. Because of the home's location near the top of Coonskin Ridge, additional development regulations must be addressed in addition to the general Design Review Standards – specifically, CDC Section 17.5.16: Ridgeline Lots. The applicant has provided all the required materials for the IASR for the proposed home.

The proposed development requests design variations for a flat roof form and up-lighting, and specific approvals for building materials, the disturbance of steep slopes, and setback encroachments.

The DRB reviewed this case at the January 9, 2025, DRB meeting, and the March 6, 2025, DRB meeting, and continued the discussion to the May 1, 2025, meeting. The Board requested that the applicant provide more details on the front walkway and retaining walls.

Story Pole Requirement

In accordance with CDC Section 17.5.16(B)(5), the application is required to erect story poles “to reflect the maximum height of the proposed development where such development will extend closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window.” The applicant has provided a view plane study demonstrating that the home is not viewable from Eider (Gold King). San Miguel County has granted the applicant's request to waive the story pole requirement.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by [Italicized Text](#).***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35-45’*	29’-4”
Maximum Avg. Building Height	30’	21.13’
Maximum Lot Coverage	100% per unit	n/a
General Easement Setbacks	No GE	Setback encroachments
Roof Pitch		
Primary		Flat
Secondary		Flat
Exterior Material		
Stone	35% minimum	37%
Windows/Doors	40% maximum	33%
Parking	1	1 space offsite

*Coonskin View Plane Restrictions apply, see discussion 17.3.2

Specific Approval:

1. Development on Steep Slopes >30%
2. Materials – Composite siding and EPDM roofing material
3. Set back encroachment for eastern retaining wall*

Design Variations:

1. Flat Roof Form
2. Up-lighting, Architectural Lighting*

*if granted

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the earlier Initial Architectural and Site Reviews. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated December 16, 2024 and February 24, 2025.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Criteria met. See discussion regarding Ridgeline Lots below

17.3.14: General Easement Setbacks

Lot 161A-4 Unit 8 is not burdened by any General Easements or Setbacks. The development documents specify that each unit is permitted to utilize the full amount of square footage allocated.

The applicant has proposed several encroachments into the Common Element Open Space Tract. The Town Attorney provided a memo clarifying items related to encroachment issues pursuant to the formative documents for the Ridge as well as the CDC. The Ridge Development agreement (exhibit D) requires a covenant prohibiting “development” outside the building envelopes which is defined to include buildings and

structures, clearing, grading, paving, landscaping or hardscaping. Additionally, CDC Section 17.5.5(B)(3) authorizes the creation of building envelopes. Unit 8 is an established building envelope within the broader Lot 161A-4. The CDC states that “all improvements” must be located within the building envelope. This excludes the driveway and associated structures and walkways for direct access since they must cross setbacks to provide access to lots. CDC Section 17.3.14 refers to setbacks including but not limited to the General Easement. Section C provides that the GE “or other setbacks shall be maintained in a natural undisturbed state”. Section D prohibits “walks, hardscape, terraces and patios” outside any applicable setback. Building envelopes are essentially setbacks. The majority of the setback encroachments proposed relate to retaining walls associated with the driveway and a walkway for direct access.

There is also a retaining wall along the eastern side of the building envelope that encroaches into the Common Element Open Space Tract. This encroachment has been minimized by a change in programming of the interiors from previous reviews. The CDC does allow the DRB to waive the setback and approve via specific approval, prohibited activities in a setback if the following criteria can be met:

1. The applicant has demonstrated that avoiding grading and disturbance in the general easement setback would create a hardship, and there is not a practicable alternative that allows for reasonable use of the lot;
2. The disturbance in the general easement setback is due to natural features of the site, such as steep slopes, wetlands and streams;
3. No unreasonable negative impacts result to the surrounding properties;
4. The general easement setback or other setback will be revegetated and landscaped in a natural state;
5. The Public Works Department has approved the permanent above-grade and below-grade improvements;
6. The applicant will enter into an encroachment agreement with the Town with the form and substance prescribed by the Town; and**
7. Encroachments into the general easement setback or other setbacks are mitigated by appropriate landscaping, buffering and other measures directly related to mitigating the encroachment impacts.

**this would only be applicable for GE encroachments or other setbacks that are to the benefit of the Town

The DRB should discuss if a specific approval should be granted for this encroachment.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: Unit 8 features a contemporary design that utilizes materials often seen in modern homes. The home incorporates traditional design elements referenced in the CDC such as a strong grounded base and stone, wood, and metal. The proposed design includes several elements requiring a design variation or specific approvals. The home utilizes composite wood siding. Composite siding requires specific approval from the DRB. There

are currently no other homes on the Ridge with composite siding. The majority of homes on the Ridge follow a traditional alpine design with gable roofs and darker material palettes. The DRB should discuss if the home fits in with its surroundings and the Town design theme. The proposed materials are capable of withstanding the high alpine environment. The mass and scale of the home is consistent with other developments on the Ridge.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: The site is located at the end of Raccoon Lane and slopes towards the south. The proposed home steps with the hillside. The north and south side of the lot contain a few areas with a slope greater than 30%. Disturbances to slopes greater than 30% require specific approval by the DRB. The siting of the home has been revised to minimize the number of encroachments outside the building envelope. The garage was moved to the front of the home, and the fourth bedroom on the lower level has been replaced with a storage room. Moreover, the lower-level patio on the southwest elevation and associated retaining walls were removed. There is a 9' retaining wall along the eastern side of the building envelope. The civil drawings show a larger section of the wall encroaching outside of the building envelope, while the other drawings show a small encroachment. The applicant should clarify the length of the wall. Additional retaining walls for the driveway are proposed along the western side of the building envelope. There is also a 2' retaining wall proposed along the northwest side of the building envelope and connects the driveway to the entry walkway. The pathway is shown as paved in the renderings. The applicant should provide more details on the materiality of the walkway. The revised siting minimizes encroachments and does a better job at blending the home into the existing site. As discussed above in Section 17.3.14, the DRB should discuss if a specific approval should be granted for the encroachments not related to the driveway and direct access walkway. Additionally, the DRB should discuss if these encroachments blend into the existing landforms and vegetation.

17.5.6: Building Design

Staff: The home is a modern home that incorporates light stone in a horizontal arrangement composite oak siding, fir columns, steel railings, and black clad windows and doors. The home is comprised of a light neutral pallet. Composite wood requires specific approval by the DRB. The applicant has proposed EPDM roofing material with sections of ballasted material. EPDM roofing requires a design variation. A drawing detail of the roof material was provided on Sheet A2.4. The ballast will be 2 ½" deep with ½" diameter black stones. The fascia will be 22-gauge black metal. Staff recommends using a thicker metal to prevent oil canning. The elevations were revised to account for the changes in floor plans. Windows were removed from the lower southeast elevation. The lower-level patio was removed from the southwest elevation. The total stone percentage increased from 35.13% to 37.00%.

Much of the fenestration is located on the southwest elevation of the home. The CDC states "window placement and size shall be sensitive to light spill to adjacent properties". The Southwest facing elevation also faces the gondola corridor. The DRB should discuss whether the amount of fenestration on this elevation should be broken up to avoid large areas of illumination from being seen off property at night. The applicant provided the recess details for the windows and doors on Sheet A2.2. The windows and doors meet recess depth requirements. A full window and door schedule should be provided prior to final review.

The home has been designed with three main flat roofs. Section 17.5.6.C.1.a states, "The roof shall be a composition of multiple forms that emphasize sloped planes, varied ridgelines, and vertical offsets." Moreover, the CDC also notes that "The design of roofs shall reflect concern for snow accumulation and ice/snow shedding." The DRB should discuss if the roof form meets these requirements. Flat roof form is a design variation. There are currently no other homes on the Ridge with a flat roof.

17.5.7: Grading and Drainage Design

Staff: A revised grading plan was provided on Sheets C2.1-C2.3. The plan proposes grading and retaining walls outside of the building envelope in the Common Element Open Space Tract. See previous discussion regarding allowable encroachments outside of the building envelope. The plan includes a 4' retaining wall along the driveway, a 6' retaining wall outside of the western building envelope adjacent to the driveway, and a 9' retaining wall along the east side of the home. The retaining walls are proposed as stone veneer. The walls were previously proposed as Board form concrete. The stone walls will tie in better with the home and the surroundings on the Ridge.

The plan has been revised to include conceptual shoring along the front and sides of the building envelope. The shoring is proposed close to the property line and the adjacent open space parcel. The applicant should provide more details on whether this would extend onto OSP-49R. Moreover, the applicant should provide more details on the type of shoring proposed. The plan has also been revised to show the existing soil nails above "the crack".

17.5.8: Parking Regulations

Staff: Criteria met.

17.5.9: Landscaping Regulations

Staff: The applicant has not provided a landscape plan. It should be noted that a landscape plan is not required until final architecture review.

17.5.11: Utilities

Staff: A revised utility plan was provided on Sheet C3. The water line will be rerouted adjacent to the cart path and cross the cart path to connect to the main line. The utility line will connect to the cart path. The sewer line is shown running up the hillside to connect to the back of the house. The applicant will need to work with public works to reroute or abandon the main lines. The utilities will need to be field verified.

17.5.12: Lighting Regulations

Staff: A lighting plan was provided on Sheets LX1-LX2B. The plan includes a recessed can, step light, two wall sconces, and a 3" bollard. Fixture DX is 170 lumens and proposed as an in-slab up-light on the columns in the entry walkway. Up-lighting is prohibited per the CDC. In its proposed installation it would likely also be considered architectural lighting, which is also prohibited without a design variation. The fixture as proposed requires a design variation. The DRB should discuss if a design variation should be granted for this. The other fixtures proposed are dark sky and CDC compliant. Staff finds that there is a reasonable amount of fixtures proposed. A photometric study is required for final review.

17.5.13: Sign Regulations

Staff: The revised site plan shows the address monument outside of the garage. The design of the address monument has not been provided. Prior to final review, the applicant shall provide the address monument design and any associated lighting.

17.5.16: Ridgeline Lots

The CDC identifies Lot 161A-4 as a part of the Ridge Area and as such provides additional design restrictions. As previously described, the intent of these standards is to memorialize the restrictions in the development agreement. These provisions attempt to require the home to maintain visual subordination to the natural landscape along the ridge.

In order to accomplish this, the code requires the following:

1. *All improvements are subject to a ridgeline covenant with San Miguel County as recorded at reception number 329093. The Town does not enforce the ridgeline covenant, with enforcement solely administered by San Miguel County.*

Staff: The improvements appear to be aligned with the ridgeline covenant as discussed above within this memo. The Town of Mountain Village does not enforce this covenant but provided this application and all materials to both San Miguel County and the Town of Telluride for those agencies to provide comment on the proposed application.

2. *The building height on Lot 161A-1R shall not exceed 35 feet (35') along the ridgeline of such building.*

Staff: Not applicable. Subject unit is within Lot 161A-4.

3. *Building height on other ridge area lots shall not exceed the lesser of:*
 - a. *The height of forty-five feet (45'); or*
 - b. *The maximum height allowed to the view plane limitation set forth in section 4 below.*

Staff: The applicant has calculated a maximum height of 29'-4" and a maximum average height of 21.13'. The building height does not protrude into the 35' or 45' view plane limitations. Criteria met.

4. *Except for the existing building on Lot 161A-1R and gondola facilities, the development of ridgeline area lots shall be designed to ensure that no lighting or any part of any building or structure extends into the view plane as shown on the Coonskin View Plane drawing recorded at reception number 328113.*

Staff: The applicant has requested that San Miguel County and the Town of Telluride waive the Coonskin View Plane requirement to place story poles on the site. The County has approved the waiver request.

5. *New development in the ridgeline area, excluding the existing building on Lot 161A-4 and gondola facilities, shall require (a) the erection of a story pole to reflect the maximum height of the proposed development where such development will extend closest to the view plane as described in section 4 above; and (b) the installation of a light to illuminate the story pole where off-site light would be visible from the highest window. The applicant for development shall provide written notice of the story pole erection to San Miguel County and the Town of Telluride.*

Staff: As noted above, the story pole requirement has been waived for the site.

6. *To the extent practical, no exterior lights shall be installed on the east side of buildings. Any required exterior lighting shall be shielded, recessed, or reflected so that no lighting is oriented towards the east side of the building.*

Staff: The applicant has proposed several fixtures including up lights on northeast elevation in the entry walkway. The lights will likely be shielded by the wood pillars; however, the applicant should provide a photometric plan to demonstrate this. A photometric study is needed to determine if light fixtures on the northeast elevation should be reduced.

7. *No solid fuel burning device shall be allowed in the building on Lot 161A-1R*

Staff: All fireplaces at the home are required to be natural gas-burning fixtures as noted below.

8. *For all new development, or substantial modifications to existing development, a courtesy referral shall be provided to San Miguel County and the Town of Telluride consistent with the Referral and Review Process outlined in the Development Review Procedures. The Town is not bound by any referral comments from either jurisdiction.*

Staff: A courtesy referral was provided to both the Town of Telluride and San Miguel County.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: A fire mitigation plan has not been provided. It should be noted that fire mitigation plans are not required until final architecture review.

17.6.6: Roads and Driveway Standards

Staff: The driveway was revised to accommodate the garage at the front of the house. The maximum driveway grade increased from 12.56% to 14.44%. The typical road and driveway standards do not apply to the ridge given its unique location and access. The driveway connects to the existing snow melted road system.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does not include any solid fuel burning devices.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan has not been updated. The following comments are still relevant. The construction mitigation plan has not been provided. It should be noted that construction mitigation plans are not required until final review.

The applicant has identified a construction site access road that will take access from a ski access road on lot ROS-9-C. Lot ROS-9-C is part of the Common Element Open Space Tract owned by the Ridge HOA. The road appears to cross through an existing retaining wall. The applicant should provide more details on the access road and a revegetation plan.

Staff Recommendation: Staff recommends the DRB approve the Initial Architectural and Site Review for Lot 161A-4 Unit 8, TBD Raccoon Lane based on the findings and CDC requirements listed in the staff memo of record.

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to **approve** the Initial Architectural and Site Review for a new single-family detached condominium located at Lot 161A-4 Unit 8, based on the evidence provided within the Staff Report of record dated April 18, 2025, with the following specific approvals and design variations:

Specific Approval:

1. Steep Slopes >30%
2. Materials –composite siding and EPDM roofing material
3. Set back encroachment for eastern retaining wall*

Design Variation:

1. Flat Roof Form
2. Up-lighting, architectural lighting*

*The DRB should remove any design variations or specific approvals from the motion that are not approved.

And, with the following conditions:

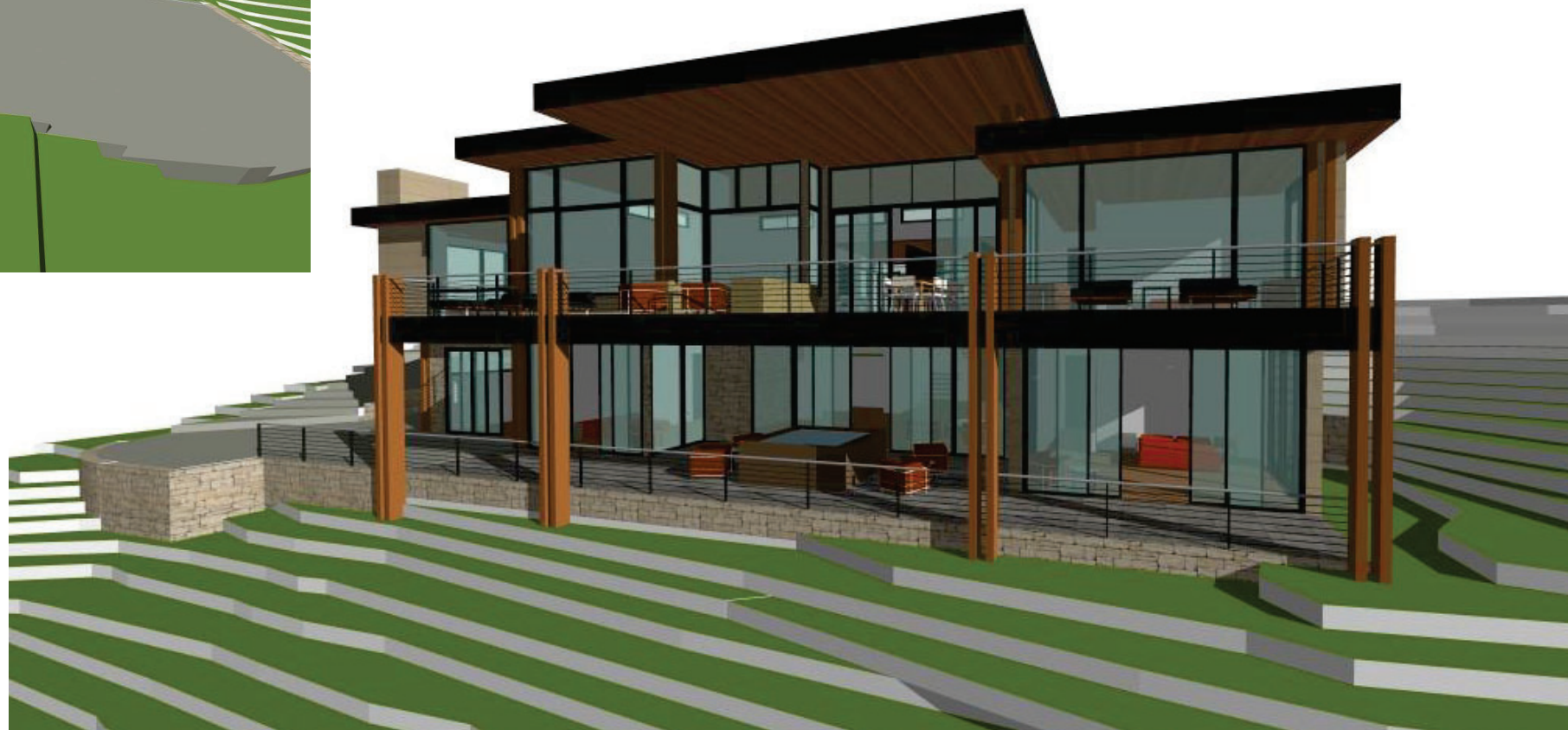
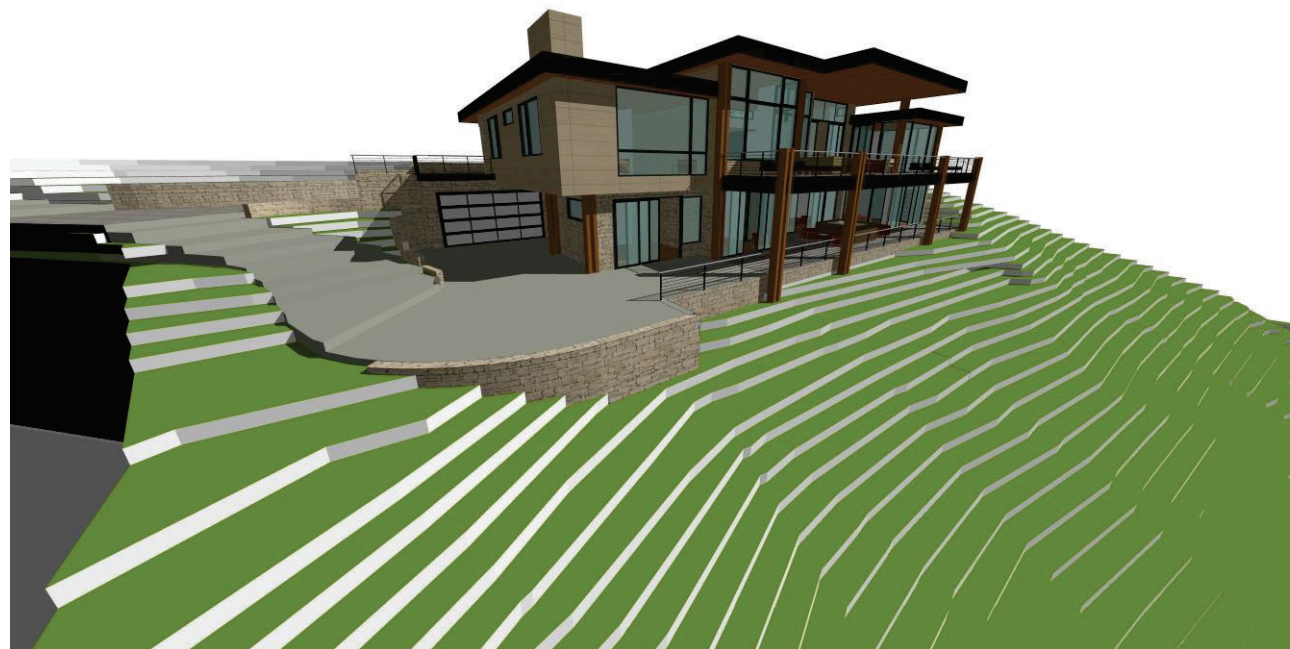
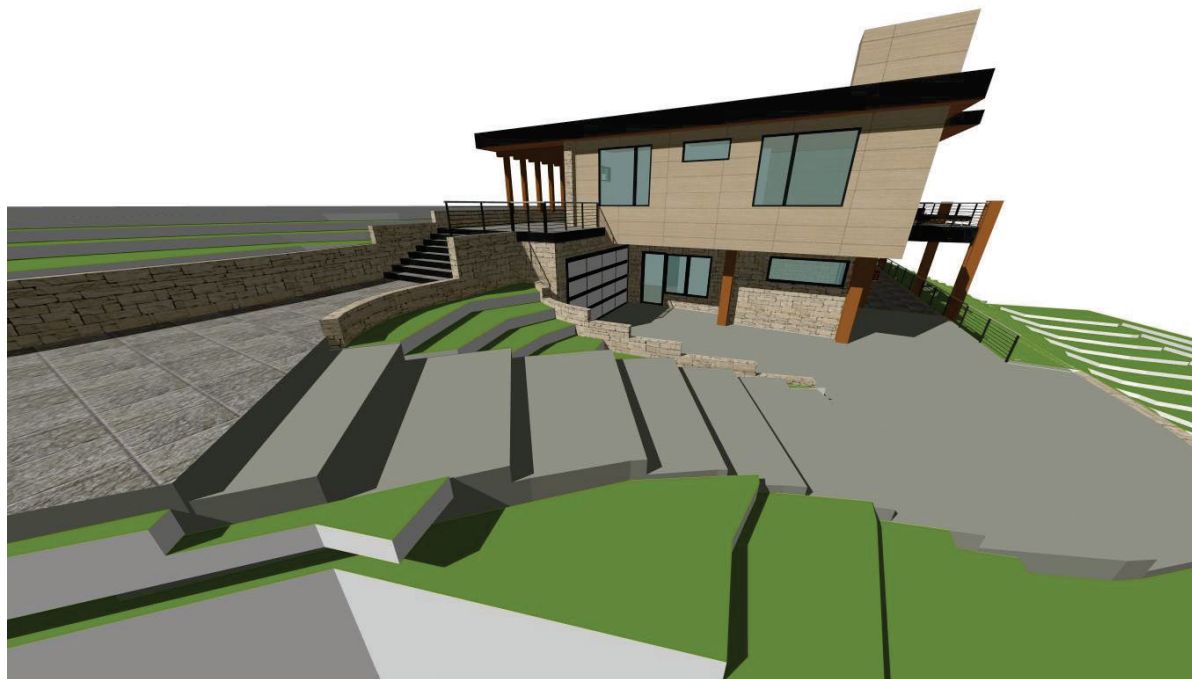
- 1) Prior to final review, the applicant shall provide a design of the address monument that meets the CDC requirements.
- 2) Prior to the issuance of a building permit, the town forester shall sign off on both the landscaping plan and fire mitigation plan.
- 3) Prior to the issuance of a building permit, the applicant shall field verify all utility locations.
- 4) Prior to the issuance of a building permit, the addendum to the reservation agreement shall be executed.
- 5) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 6) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 7) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 8) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;

- d. Roofing material(s); and
 - e. Any other approved exterior materials
- 9) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
- 10) The applicant shall meet the following conditions of the Fire Marshall:
 - a. A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
 - b. An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
 - c. Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
 - d. Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
 - e. Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
- 11) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete in 2024.

/cp



The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000



SURVEYOR

San Juan Surveying
102 Society Drive
Telluride, CO. 81435
(970) 728 - 1128
office@sanjuansurveying.net

CIVIL

Uncompahgre Engineering, LLC
David Ballode
P.O. Box 3945
Telluride, CO 81435
dballode@msn.com
(970) 729-0683

STRUCTURAL

Carl Warnke
Engineering Designworks, Inc.
1855 Ski Time DSquare, Unit E2C
Steamboat Springs, CO. 80487
P.O. Box 775729
970-879-4890
carl@engineeringdesignworks.com

ARCHITECT

Hinge Architects, Ltd.
Kurt Carruth
812 Grand Avenue, Ste 201
GWS, Co. 81601
c. 970-309-4432
e. kurt@hinge-architects.com

PLANNING

Alpine Planning, Inc.
Chris Hawkins, AICP
(970) 964-7927
Alpineplanningllc.com

CONTRACTOR

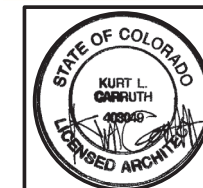
Tougher / New West
100 West Colorado Avenue, Suite G
PO Box 2760
Telluride, CO 81435
Office: (970)728-1722
Doug Gurlea / Partner
Cell: (970)389-4101
doug@toughernewwest.com

CONTRACTOR

Tougher / New West
100 West Colorado Avenue, Suite G
PO Box 2760
Telluride, CO 81435
Office: (970)728-1722
Ryan Tougher, Partner
Cell: (970) 729.1247
ryan@tougherconstruction.com

OWNER

Sunshine Ridge Investments, LLC.
1951 Faraway Road
Snowmass Village, CO. 81615



ZAPATA / BOURS RESIDENCE

Lot 8, The Ridge
Telluride, CO. 81435

DRAWING	ISSUE
SCHEMATIC PLANS 01-18-24	
HOA SCHEMATIC REVIEW	
09-07-24	
STORYPOLE HEIGHTS 12-23-24	
DRC UPDATES 01-27-25	
DRC UPDATES 02-19-25	
DRC UPDATES 04-16-25	

Project designed and drawn
to adhere to the 2021 IRC.



970.309.4432
www.hinge-architects.com
812 grand avenue, suite 201
glenwood springs, co. 81601

COVER

1) The AIA Document A201 "General conditions of the Contract for Construction," latest edition, are hereby made a part of these contract documents, except as amended herein. Copies are on file and are available for inspection at the office of the architect.

2) The Contract Documents consists of the agreement, the general notes, the specification, and the drawings, which are cooperative and continuous. Work indicated or reasonably implied in any one of the documents shall be supplied as though fully covered in all. Any discrepancy between the different parts should be reported to the architect immediately.

3) All work shall comply with all state and local codes and ordinances, and shall be performed to the highest standards of craftsmanship by journeymen of the appropriate trades.

4) These documents are intended to include all labor materials, equipment and services required to complete all work described herein. It is the responsibility of the contractor to bring to the attention of the architect conditions which will not permit construction according to the intentions of these documents. It is the responsibility of the architect to provide details and/or directions regarding design intent where it is altered by existing conditions or where neglected in the documents.

5) Any materials proposed for substitution of those specified or called out by trade name in these documents shall be presented to the architect for review. The contractor shall submit samples when required by the architect, and all such samples shall be reviewed by the architect before the work is performed. Work must conform to the reviewed samples. Any work which does not conform shall be removed and replaced with work which conforms at the contractors' expense. Subcontractors shall submit requests and samples for review through the general contractor when work is let through him or her. Required verifications and submittals to be made in adequate time as not to delay work in progress.

6) Shop drawings shall be submitted to the architect for his or her review where called for anywhere in these documents. Review shall be made by the architect before work is begun, and work shall conform to the reviewed shop drawings, subject to replacement as required for samples in paragraphs, above.

7) The building inspector shall be notified by the contractor or when there is a need of inspection as provided by the uniform building code or by any local code or ordinance.

8) The contractor shall be responsible for the safety and care of adjacent properties during construction, for compliance with federal and state OSHA regulations and for the protection of all work until it is delivered completed to the owner.

9) All dimensions noted take precedence over scaled dimensions. Dimensions noted with "NTS" denotes "Not To Scale".

10) Contractor shall verify and coordinate all openings through floors, ceilings, and walls with all architectural structural, mechanical, plumbing, and electrical drawings.

11) Contractor will assume responsibility of items requiring coordination and resolution during the bidding process.

12) Contractor will conform with material and equipment manufacturers recommendations.

13) All dimensions to framing unless noted otherwise.

14) Interior walls to be 2X4 at 16" OC. Unless noted otherwise refer to structural.

15) Crown all studs, joists, and rafters. Crown joists and rafters up.

16) Coordinate joist placement with plumbing fixture layout.

17) Hold all plumbing traps as high as possible and coordinate with cabinet accessories.

18) Property lines, utilities and topography shown is representative of information taken from a survey prepared by Surveyor of Record. Refer to the survey for this information. Notify architect immediately of any discrepancy or variation between the drawings and actual site conditions.

19) Building footprint to be laid out by a certified surveyor.

20) Architect shall field verify building location after stake out is complete and before the contractor begins any site clearing. Notify the architect 24 hours in advance to arrange inspection.

21) Surveyor shall lay out building footprint and location within the excavation prior to placing foundations.

22) Contact utility companies to field verify location of respective service lines prior to beginning construction.

23) Contractor shall insure positive drainage away from and around the structure. Notify the architect immediately whenever this is not possible. Ponding of surface waters shall not be permitted within 10 feet of the building perimeter.

24) The purpose of these drawings is only to graphically depict the general nature of the work. The contractor is responsible for confirming dimensions and selecting fabrication processes and techniques of construction. The architect and/or engineer shall be notified of any variation from dimensions or conditions shown in the drawings.

CIVIL

Uncompahgre Engineering, LLC
David Ballode
P.O. Box 3945
Telluride, CO 81435
dballode@msn.com
(970) 729-0683

STRUCTURAL

Carl Warnke
Engineering Designworks, Inc.
1855 Ski Time DSquare, Unit E2C
Steamboat Springs, CO. 80487
P.O. Box 775729
970-879-4890
carl@engineeringdesignworks.com

ARCHITECT

Hinge Architects, Ltd.
Kurt Carruth
812 Grand Avenue, Ste 201
GWS, Co. 81601
c. 970-309-4432
e. kurt@hinge-architects.com

PLANNING

Alpine Planning, Inc.
Chris Hawkins, AICP
(970) 964-7927
Alpineplanningllc.com

CONTRACTOR

Tougher / New West
100 West Colorado Avenue, Suite G
PO Box 2760
Telluride, CO 81435
Office: (970)728-1722
Doug Gurlea / Partner
Cell: (970)389-4101
doug@toughernewwest.com

CONTRACTOR

Tougher / New West
100 West Colorado Avenue, Suite G
PO Box 2760
Telluride, CO 81435
Office: (970)728-1722
Ryan Tougher, Partner
Cell: (970) 729.1247
ryan@tougherconstruction.com

OWNER

Sunshine Ridge Investments, LLC.
1951 Faraway Road
Snowmass Village, CO. 81615

INFO

MATERIAL SYMBOLS LEGEND									
	SECTION	PLAN	SECTION	PLAN					
STEEL			CONCRETE			SOIL/COMPACTED FILL			
ALUMINUM OR SHEET METAL			CONCRETE MASONRY			ROCK/NON-COMPACTED FILL			
BATT INSULATION			BRICK			SAND			
GYP WALL BOARD/STUCCO/PLASTER			FIREBRICK			FINISHED WOOD			
RIGID INSULATION			STONE			ROUGH FRAMING OR ROUGH SAWN TRIM			
ACOUSTICAL CEILING			FRAME WALL			WOOD BLOCKING			
CARPET			TILE			GLU-LAM WOOD			
			GLAZING			PARTICLE BD. OR WOOD FIBER BD			

LOT 8 DOOR SCHEDULE						
MARK	TYPE	MANUFACTURER	W x H	MATRL	FINISH	REMARKS
1	EXTERIOR	T.B.D.	4'-0" X 8'-0"	WOOD / GLASS	STAIN	ENTRY
2	INTERIOR	T.B.D.	3'-0" X 8'-0"	WOOD	STAIN	PRIVACY / PASSAGE
3	INTERIOR	T.B.D.	2'-8" X 8'-0"	WOOD	STAIN	POCKET DOOR
4	INTERIOR	T.B.D.	2'-6" X 8'-0"	WOOD	STAIN	PRIVACY / PASSAGE
5	EXTERIOR	T.B.D.	6'-0" X 8'-0"	WOOD / GLASS	STAIN	FRENCH DOOR - DOUBLE
6	EXTERIOR	T.B.D.	10'-6" X 10'-0"	WOOD / GLASS	STAIN	3 PANEL SLIDER - POCKET INTO WALL
7	EXTERIOR	T.B.D.	5'-0" X 10'-0"	WOOD / GLASS	STAIN	PASSAGE
8	EXTERIOR	T.B.D.	6'-0" X 8'-0"	WOOD / GLASS	STAIN	SLIDER
9	INTERIOR	T.B.D.	3'-0" X 8'-0"	WOOD	STAIN	1 HR RATED DOOR
10	EXTERIOR	T.B.D.	10'-0" X 9'-0"	WOOD / GLASS	STAIN	GARAGE DOOR
11	EXTERIOR	T.B.D.	9'-0" X 10'-0"	WOOD / GLASS	STAIN	GARAGE DOOR
12	INTERIOR	T.B.D.	2'-8" X 8'-0"	WOOD	STAIN	PRIVACY / PASSAGE
13	INTERIOR	T.B.D.	5'-0" X 8'-0"	WOOD	STAIN	SLIDER - CLOSET
14	INTERIOR	T.B.D.	3'-6" X 8'-0"	WOOD	STAIN	CLOSET
15	INTERIOR	T.B.D.	4'-6" X 8'-0"	WOOD	STAIN	DBL DOOR - CLOSET

Notes:
1) All exterior doors to be clad. Color T.B.D.
2) See plan for operation and pairing typical.
3) Garage passage / Mechanical Closet doors to be 1 hour fire Rating.
4) All exterior doors to have weather stripping and threshold.
Glazing to be dbl pane, insul, low-e glass, typical. U value - 0.30 or better.
5) Manufacturer - TBD

* Contractor to verify quantities / U values / handing prior to order.

LOT 8 WINDOW SCHEDULE					
MARK	TYPE	WINDOW SIZE	MATRL	FINISH	REMARKS
A	FIXED	2'-0" X 6'-0"	CLAD	FACTORY	
B	NOT USED				
C	CASEMENT	3'-6" X 5'-0"	CLAD	FACTORY	
D	FIXED	3'-0" X 5'-0"	CLAD	FACTORY	
E	FIXED	5'-0" X 1'-0"	CLAD	FACTORY	
F	AWNING	3'-0" X 2'-6"	CLAD	FACTORY	
G	NOT USED				
H	FIXED	5'-0" X 10'-0"	CLAD	FACTORY	
I	NOT USED				
J	NOT USED	1'-8" X 8'-0"	CLAD	FACTORY	
K	FIXED	2'-8" X 5'-0"	CLAD	FACTORY	
K1	CASEMENT	2'-6" X 5'-0"	CLAD	FACTORY	
L	FIXED	9'-0" X 5'-0"	CLAD	FACTORY	
M	NOT USED				
N	CASEMENT	3'-0" X 6'-0"	CLAD	FACTORY	
O	FIXED	6'-0" X 6'-0"	CLAD	FACTORY	
P	FIXED	6'-0" X 5'-0"	CLAD	FACTORY	
Q	FIXED	8'-0" X 13'-0"	CLAD	FACTORY	CAN BE TWO MULLED WINDOWS IF TOO LARGE / TOO \$
R	CASEMENT	3'-0" X 4'-6"	CLAD	FACTORY	
R1	FIXED	3'-0" X 4'-6"	CLAD	FACTORY	
S	FIXED	6'-0" X 2'-0"	CLAD	FACTORY	
T	FIXED	2'-4" X 5'-0"	CLAD	FACTORY	
U	CASEMENT	2'-6" X 4'-0"	CLAD	FACTORY	

Note: See elevations for divided lite patterns and operation
All windows to be (minimum) double pane, low E, insulated, U.N.O.
U Values 0.30 (or better) per GarCo Building requirements.
Manufacturer - TBD

* Contractor to verify Window quantities / U value / mullion layout prior to order

Project Geography + Zoning Requirements

	Existing/Requirement	Proposed (Approx.)
Unit Size	7,233	No Change
Floor Area (Gross)	No Maximum Size	7,901 sq. ft.
Zone District	Multi-Family	No Change
Maximum Building Height	45' per CDC Section 17.5.16(B)(3) or the maximum height allowed pursuant to the Coonskin View Plane	___' Please refer to Ridge Covenant discussion.
Maximum Average Building Height	30' Per County Stipulated Settlement Order at Reception No. 329093.	___'
Lot Coverage	CDC Lot Coverage is Not Applicable to The Ridge	NA
Setbacks	Not Applicable to The Ridge	NA
Parking	2 golf cart spaces per unit	2 golf cart spaces in garage

Exterior Materials Legend

Exterior Finishes:

- 1 x 4 Trespa 'PURA' Siding - 'Classic Oak' PU02 Composite material - Horizontal application
2. 1 x 12 HardiPlank 'Aspyre' siding Horizontal
3. Stone veneer
4. Concrete walkway

Beams & Columns:

11. Stained heavy timber column - (size as shown)
12. Stained beam - see structural
13. Stained rafter - see structural
14. Steel 'I Beam' column - (see structurals)

Trim:

15. Metal Fascia - 22 gauge metal - black color
16. Stained wood trim - (size and shape as shown)
17. Garage doors - Aluminum clad (black) with opaque polycarbonate panels
18. Wood braces - see structural

Roofing:

20. Ballasted Roof Material - (color TBD)
21. Metal standing seam roofing - factory paint (color TBD)
- 22.

Misc.:

24. Indicates finished grade
25. Indicates existing grade
26. Custom flue cover
27. 36" handrail per code
28. Concrete retaining wall < 48" tall
29. Trellis - TBD
30. Gutter / Down Spout
31. Steel brace - 3" x 8" - TBD

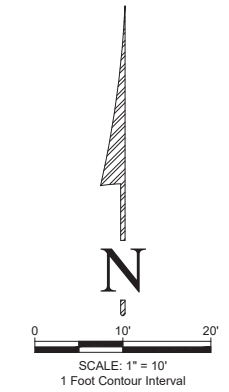
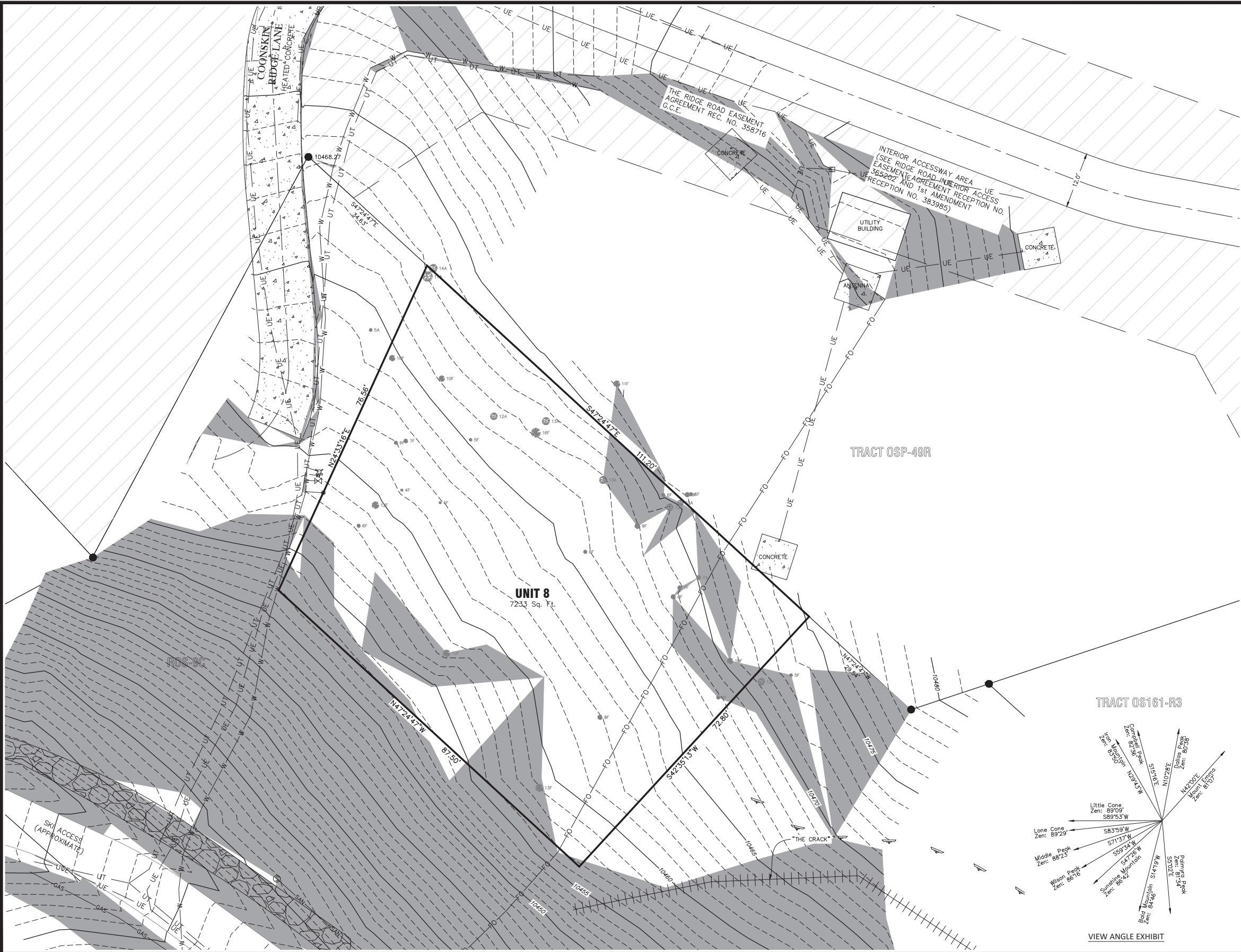
ZAPATA / BOURS RESIDENCE

Lot 8, The Ridge
Telluride, CO. 81435

DRAWING ISSUE
SCHEMATIC PLANS 01-18-24
HOA SCHEMATIC REVIEW
09-07-24

Project designed and drawn to adhere to the 2021 IRC.





- LEGEND**
- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
 - ⚡ RETAINING BOLT
 - ⊠ TELEPHONE PEDESTAL
 - COMMUNICATION PEDESTAL
 - ⊙ SEWER MANHOLE
 - ⚡ FIRE HYDRANT
 - ⚡ WATER VALVE
 - CURB STOP
 - ⚡ ELECTRIC TRANSFORMER
 - ⊠ ASPEN TREE, NUMBER INDICATES CALIPER
 - ⊠ FIR TREE, NUMBER INDICATES CALIPER

- GAS — GAS — UNDERGROUND GAS LINE
- UE — UE — UNDERGROUND ELECTRIC LINE
- UT — UT — UNDERGROUND TELEPHONE LINE
- W — W — UNDERGROUND WATER LINE
- SAN — SAN — UNDERGROUND SANITARY SEWER LINE
- FO — FO — UNDERGROUND FIBER OPTIC LINE
- SLOPES >30%

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

- NOTES:**
- According to Flood Insurance Rate Map: 08113C0287 D, map revised September 30, 1992, this parcel lies within Zone X (Areas determined to be outside the 500-year flood plain).
 - According to Flood Insurance Rate Map 08113C0287 D dated September 30, 1992, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
 - Easement research from Land Title Guarantee Company, Order No. TLR86013688, Effective Date 03/30/2023 at 5:00 P.M.
 - Vertical datum is based on the found North corner of ROS-9C, an Aluminum Cap Rebar, LS 36577, having an elevation of 10468.27 feet.
 - Lineal Units U.S. Survey Feet

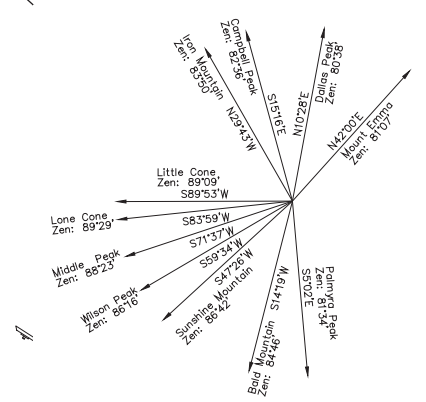
PROPERTY DESCRIPTION:

Unit 8, The Ridge at Telluride, according to the 8th supplemented and amended Planned Community Plat of the Ridge at Telluride recorded April 2, 2019 under Reception No. 458069 and as defined and described in the Declaration recorded April 5, 2004 under Reception No. 365201 and the 7th Supplement and Amendment to the Declaration recorded April 2, 2019 under Reception No. 458070.

County of San Miguel,
State of Colorado

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, being a Colorado Licensed Land Surveyor, do hereby certify that this Topographic Survey of Unit 8, The Ridge at Telluride, was made by me and under my direct supervision, responsibility, and checking. This Topographic Survey does not constitute a Land Survey Plat or Improvement Survey Plat as defined by Title 38, Article 51 C.R.S.



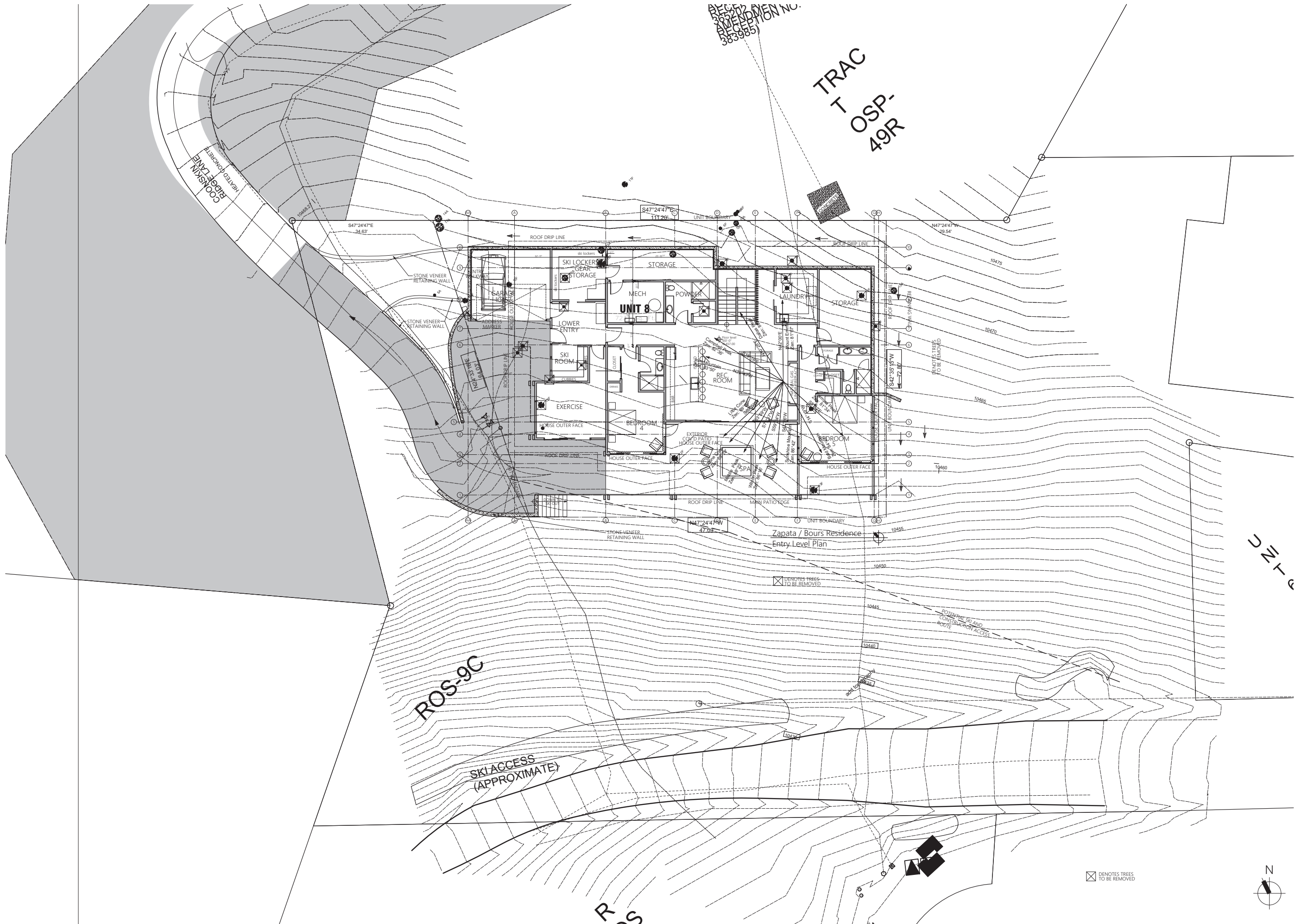
Christopher R. Kennedy
Christopher R. Kennedy, P.L.S. 36577
08/16/2023

COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR
36577
08/16/2023

TOPOGRAPHIC SURVEY UNIT 8, THE RIDGE AT TELLURIDE

SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728 - 1128 (970) 728 - 9201 fax
office@sanjuansurveying.net

DATE:	04/15/2024
JOB:	04068
DRAWN BY:	AHM
CHECKED BY:	CRK
REVISION	
DATES:	
SHEET:	1 OF 1



REC-383985
REVISION NO.
RECEPTION NO.
383985

TRAC
T OSP-
49R

ROS-9C

SKI ACCESS
(APPROXIMATE)



ZAPATA / BOURS RESIDENCE

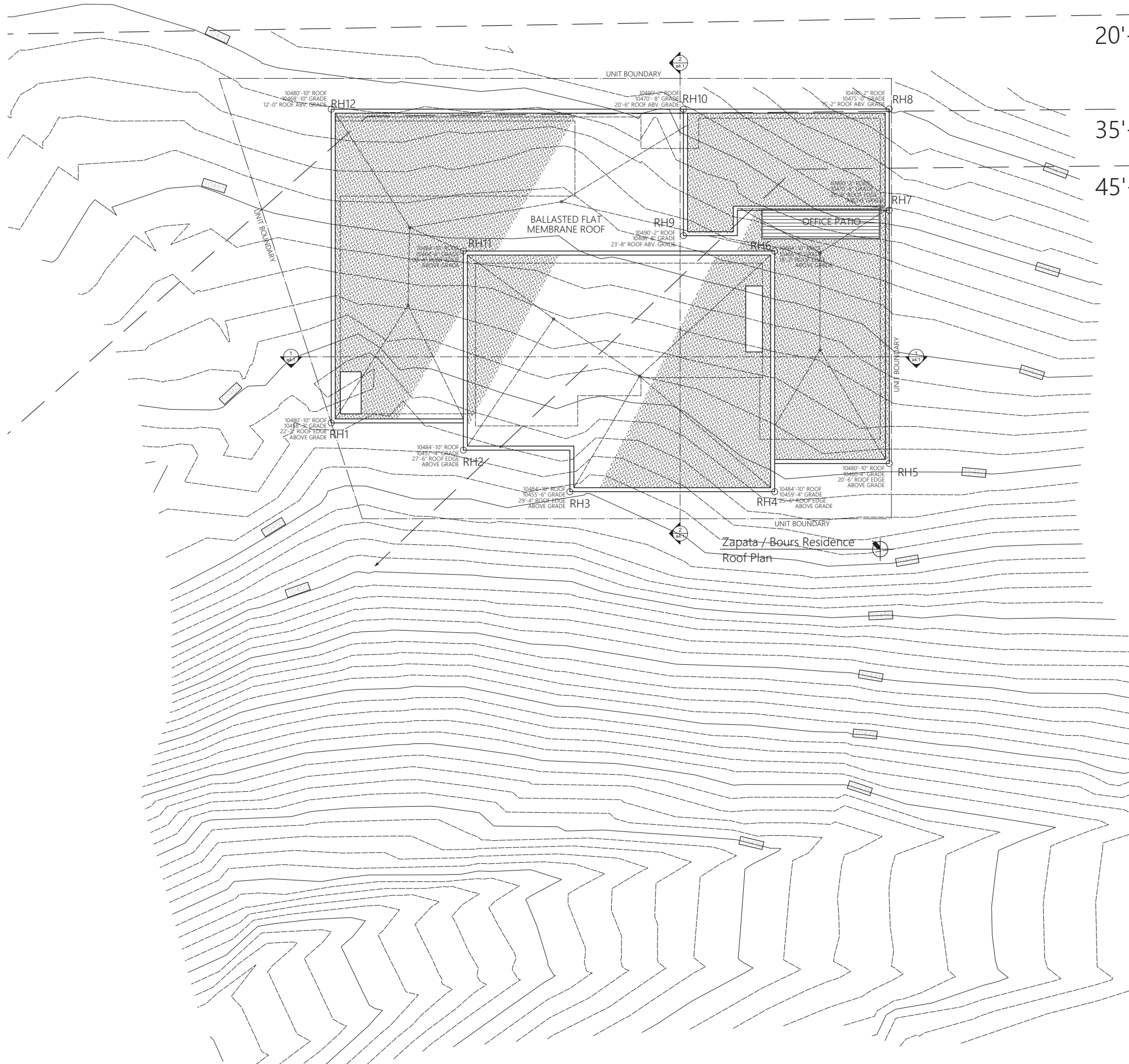
Lot 8, The Ridge
Telluride, CO. 81435

DRAWING	ISSUE
SCHEMATIC PLANS 01-18-24	
HOA SCHEMATIC REVIEW	09-07-24
STORYPOLE HEIGHTS 12-23-24	
DRC UPDATES 01-27-25	
DRC UPDATES 02-19-25	
DRC UPDATES 04-16-25	

Project designed and drawn to adhere to the 2021 IRC.



Site Plan
Scale: 1" = 10'-0"



20'-0" HEIGHT LINE

35'-0" HEIGHT LINE

45'-0" HEIGHT LINE

Zapata / Bours Residence
Roof Plan

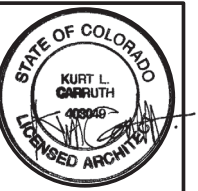
Lot 8 - The Ridge			
Maximum Roof Height Calculations			
Roof Point#	Roof Elevation	Natural Grade	Roof Height above Grade
RH1	10480'-10"	10458'-3"	22'-7"
RH2	10484'-10"	10457'-4"	27'-6"
RH3	10484'-10"	10455'-6"	29'-4"
RH4	10484'-10"	10459'-4"	25'-6"
RH5	10480'-10"	10460'-4"	20'-6"
RH6	10484'-10"	10466'-8"	18'-2"
RH7	10490'-2"	10470'-8"	19'-6"
RH8	10490'-2"	10475'-0"	15'-2"
RH9	10490'-2"	10466'-8"	23'-6"
RH10	10490'-2"	10470'-8"	19'-6"
RH11	10484'-10"	10464'-6"	20'-4"
RH12	10480'-10"	10468'-10"	12'-0"
Average Height			21.13
Max. average allowable			30.00
Compliant by:			8.87



COONSKIN
VIEWPLANE
SCALE 1/8" = 1'-0"



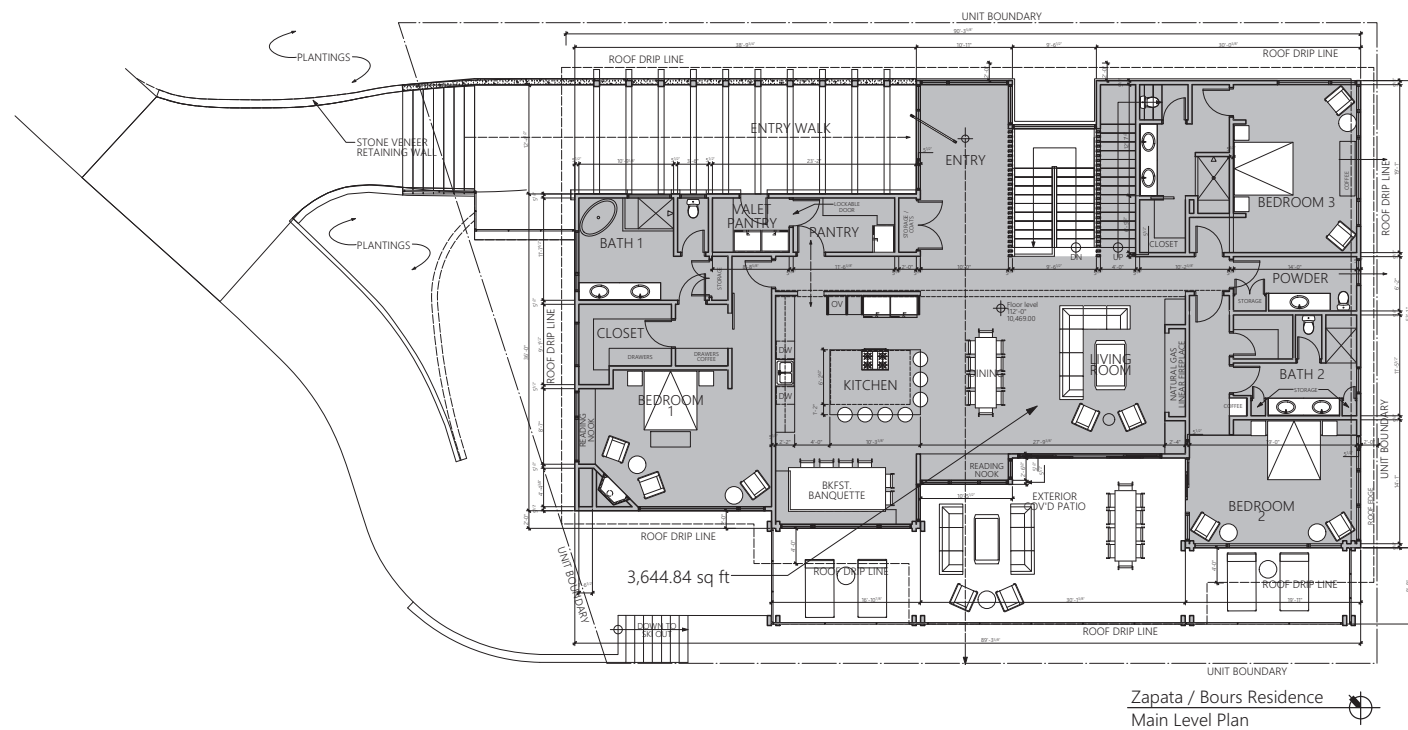
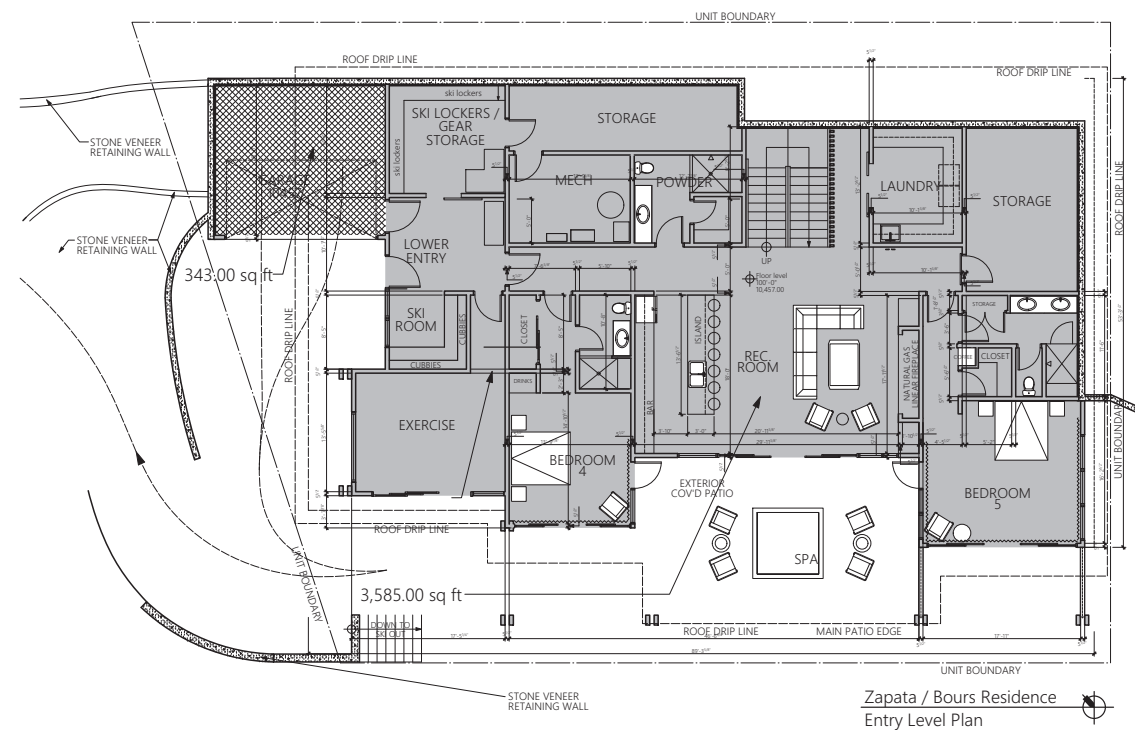
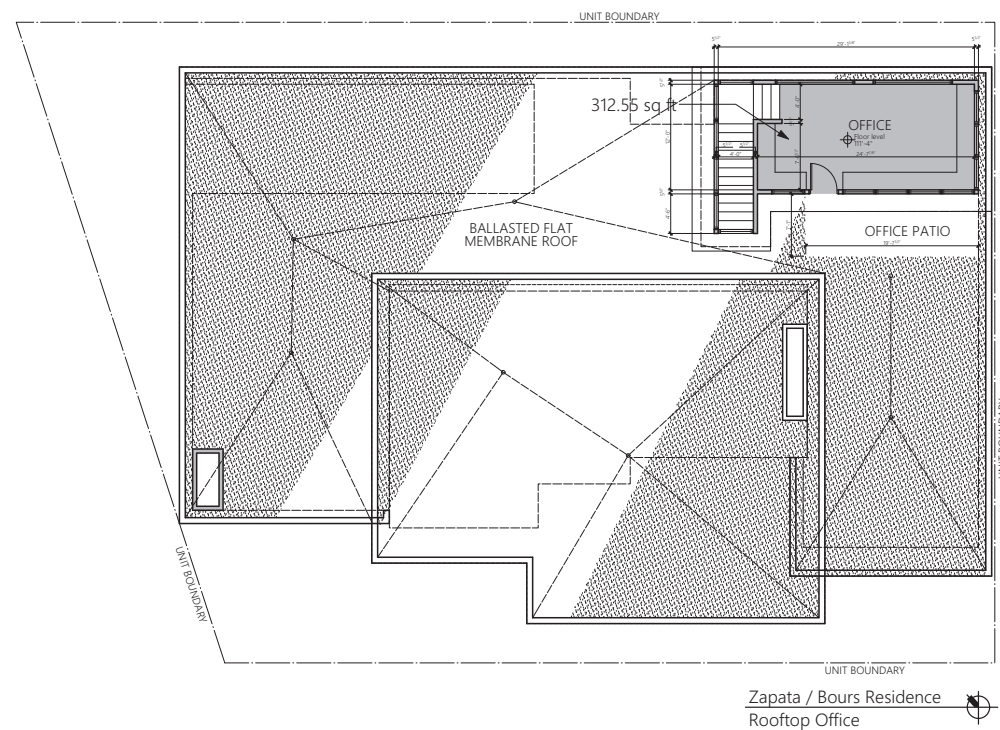
970.309.4432
www.hinge-architects.com
812 grand avenue, suite 201
glenwood springs, co. 81601



ZAPATA / BOURS RESIDENCE
Lot 8, The Ridge
Telluride, CO. 81435

DRAWING ISSUE
SCHEMATIC PLANS 01-18-24
HOA SCHEMATIC REVIEW
09-07-24

Project designed and drawn
to adhere to the 2021 IRC.



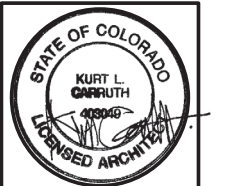
Lot 8 - The Ridge
AREA CALCULATIONS
Lot size: 7,233 s.f.

Finished Living Space (proposed):

Entry Level	3,585.00 s.f.
Garage	343.00 s.f.
Main Level	3,645.00 s.f.
Upper Level	313.00 s.f.
Total build out	7,543.00 s.f.

Heated Square footage 7,543.00 s.f.

*Decks / Patios 2,835.00 s.f.



ZAPATA / BOURS RESIDENCE

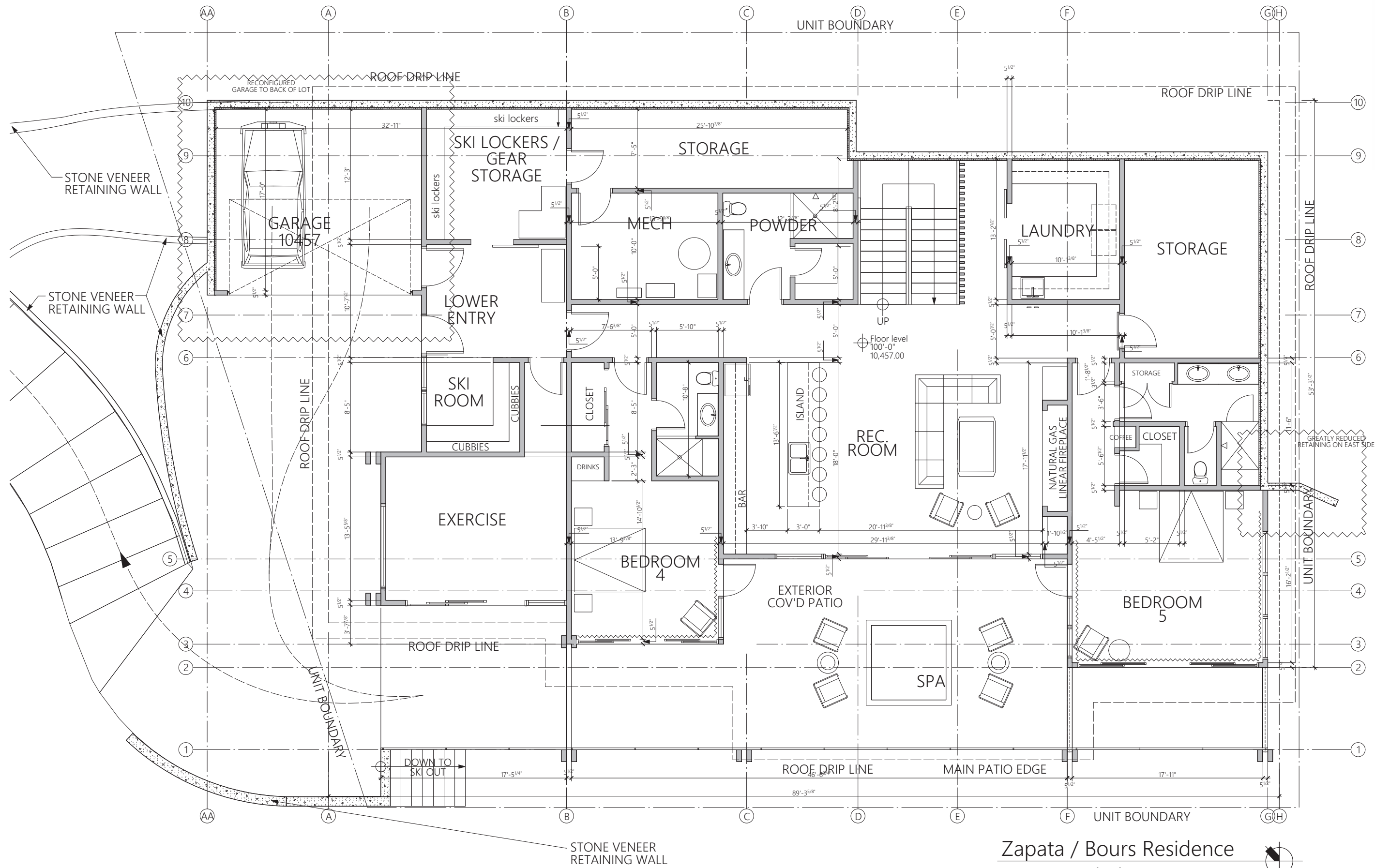
Lot 8, The Ridge
Telluride, CO. 81435

DRAWING	ISSUE
SCHEMATIC PLANS 01-18-24	
HOA SCHEMATIC REVIEW	
09-07-24	
STORYPOLE HEIGHTS 12-23-24	
DRC UPDATES 01-27-25	
DRC UPDATES 02-19-25	
DRC UPDATES 04-16-25	


Project designed and drawn to adhere to the 2021 IRC.

AREA
CALCS.

1" = 10'-0"

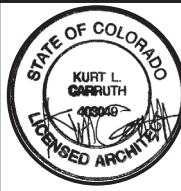


Zapata / Bours Residence
Entry Level Plan



HINGE
ARCHITECTS

970.309.4432
www.hinge-architects.com
812 grand avenue, suite 201
glenwood springs, co. 81601



ZAPATA / BOURS RESIDENCE
Lot 8, The Ridge
Telluride, CO. 81435

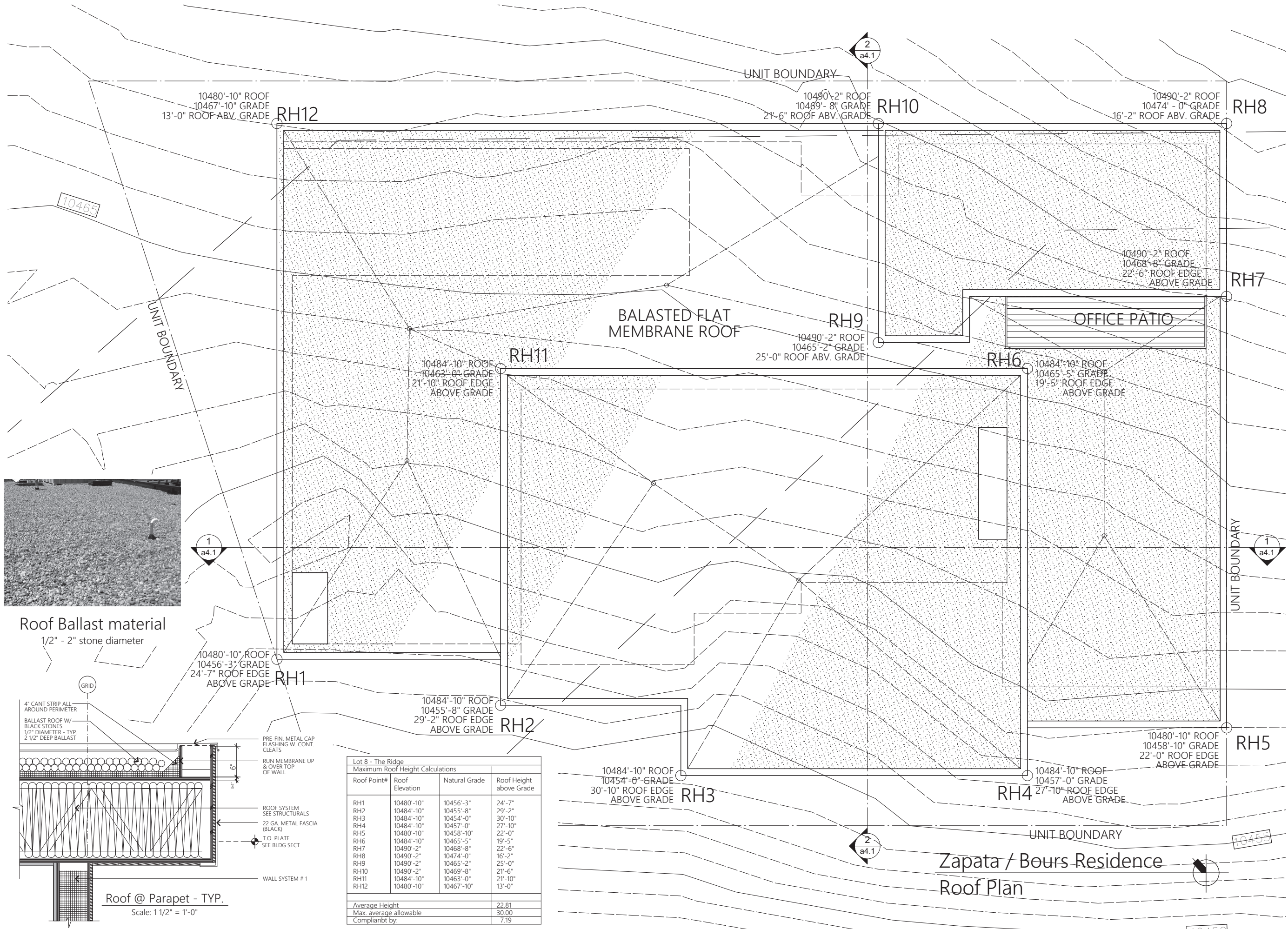
DRAWING	ISSUE
SCHEMATIC PLANS 01-18-24	
HOA SCHEMATIC REVIEW 09-07-24	
STORYPOLE HEIGHTS 12-23-24	
DRC UPDATES 01-27-25	
DRC UPDATES 02-19-25	
DRC UPDATES 04-16-25	

Project designed and drawn to adhere to the 2021 IRC.

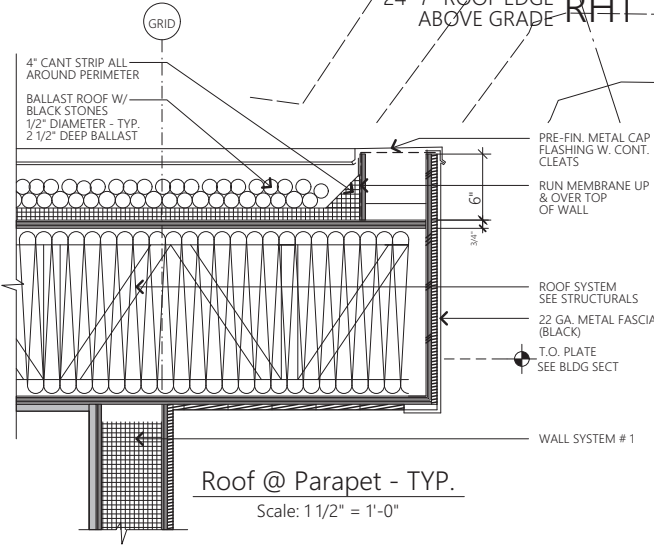
A2.1
SCALE 1/4" = 1'-0"

DRAWING	ISSUE
SCHEMATIC PLANS 01-18-24	
HOA SCHEMATIC REVIEW	
09-07-24	
STORYPOLE HEIGHTS 12-23-24	
DRC UPDATES 01-27-25	
DRC UPDATES 02-19-25	
DRC UPDATES 04-16-25	

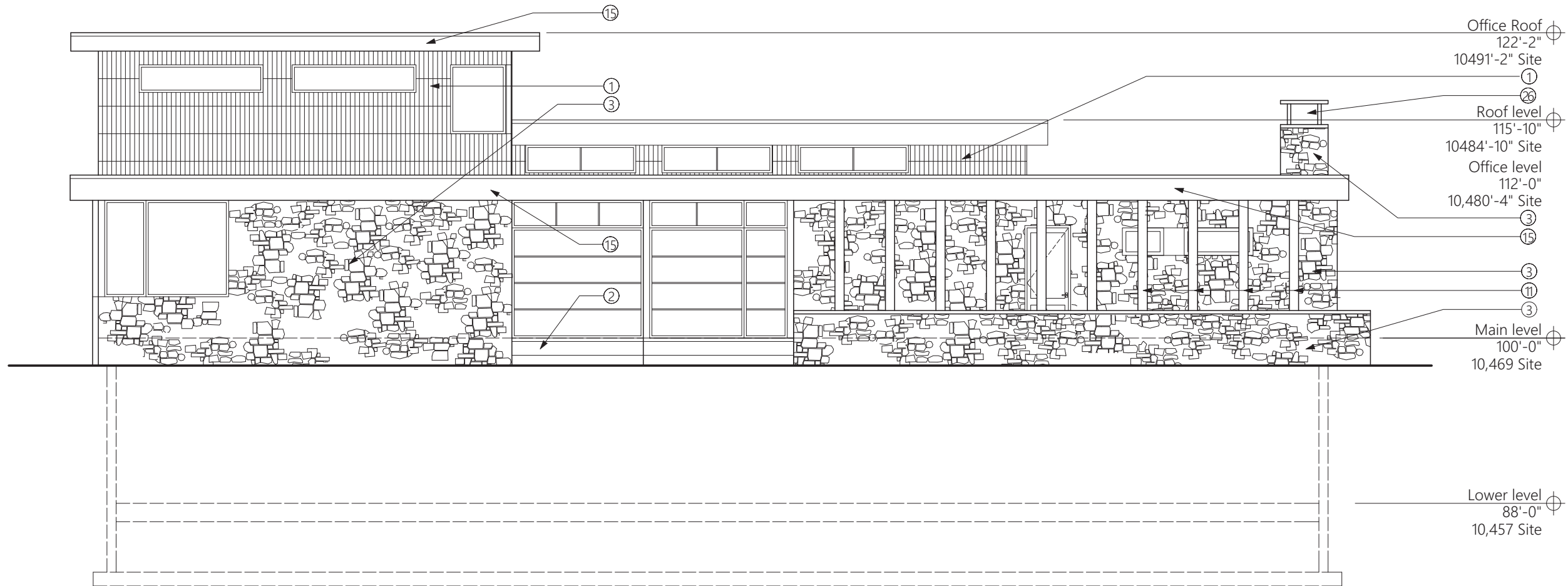
A2.2
SCALE 1/4" = 1'-0"



Roof Ballast material
1/2" - 2" stone diameter



Lot 8 - The Ridge			
Maximum Roof Height Calculations			
Roof Point#	Roof Elevation	Natural Grade	Roof Height above Grade
RH1	10480'-10"	10456'-3"	24'-7"
RH2	10484'-10"	10455'-8"	29'-2"
RH3	10484'-10"	10454'-0"	30'-10"
RH4	10484'-10"	10457'-0"	27'-10"
RH5	10480'-10"	10458'-10"	22'-0"
RH6	10484'-10"	10465'-5"	19'-5"
RH7	10490'-2"	10468'-8"	22'-6"
RH8	10490'-2"	10474'-0"	16'-2"
RH9	10490'-2"	10465'-2"	25'-0"
RH10	10490'-2"	10469'-8"	21'-6"
RH11	10484'-10"	10463'-0"	21'-10"
RH12	10480'-10"	10467'-10"	13'-0"
Average Height			22.81
Max. average allowable			30.00
Compliant by:			7.19



Exterior Materials Legend

- Exterior Finishes:**
- 1 x 4 Trespa 'PURA' Siding - 'Classic Oak' PU02 Composite material - Horizontal application
 - Not used
 - Stone veneer
 - Concrete walkway
- Beams & Columns:**
11. Stained heavy timber column - (size as shown)
 12. Stained beam - see structural
 13. Stained rafter - see structural
 14. Steel 'I' Beam' column - (see structurals)
- Trim:**
15. Metal Fascia - 22 gauge metal - black color
 16. Stained wood trim - (size and shape as shown)
 17. Garage doors - Aluminum clad (black) with opaque polycarbonate panels
 18. Wood braces - see structural
- Roofing:**
19. Ballasted Roof Material - (color TBD)
 21. Metal standing seam roofing - factory paint (color TBD)
 - 22.
- Misc.:**
24. Indicates finished grade
 25. Indicates existing grade
 26. Custom flue cover
 27. 36" handrail per code
 28. Concrete retaining wall < 48" tall
 29. Trellis - TBD
 30. Gutter / Down Spout
 31. Steel brace - 3" x 8" - TBD

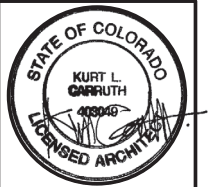
PROPOSED GLAZING AND STONE PERCENTAGE CALC.

	FACADE AREA	GLAZING SURFACE AREA	STONE SURFACE AREA
FRONT (NE FACING) ELEVATION	1,423.00 S.F.	410.00 S.F.	849.00 S.F.
REAR (SW FACING) ELEVATION	2,753.00 S.F.	872.00 S.F.	626.00 S.F.
SIDE (NW FACING) ELEVATION	1,667.00 S.F.	710.00 S.F.	510.00 S.F.
SIDE (SE FACING) ELEVATION	1,352.00 S.F.	374.00 S.F.	682.00 S.F.
TOTAL PROPOSED	7,195.00 S.F.	2,366.00 S.F. (33%)	2,667.00 S.F. (37.00%)
		40% ALLOWED	35.00% REQUIRED

Zapata / Bours Residence
NorthEast facing elevation

HINGE
ARCHITECTS

970.309.4432
www.hinge-architects.com
812 grand avenue, suite 201
glenwood springs, co. 81601



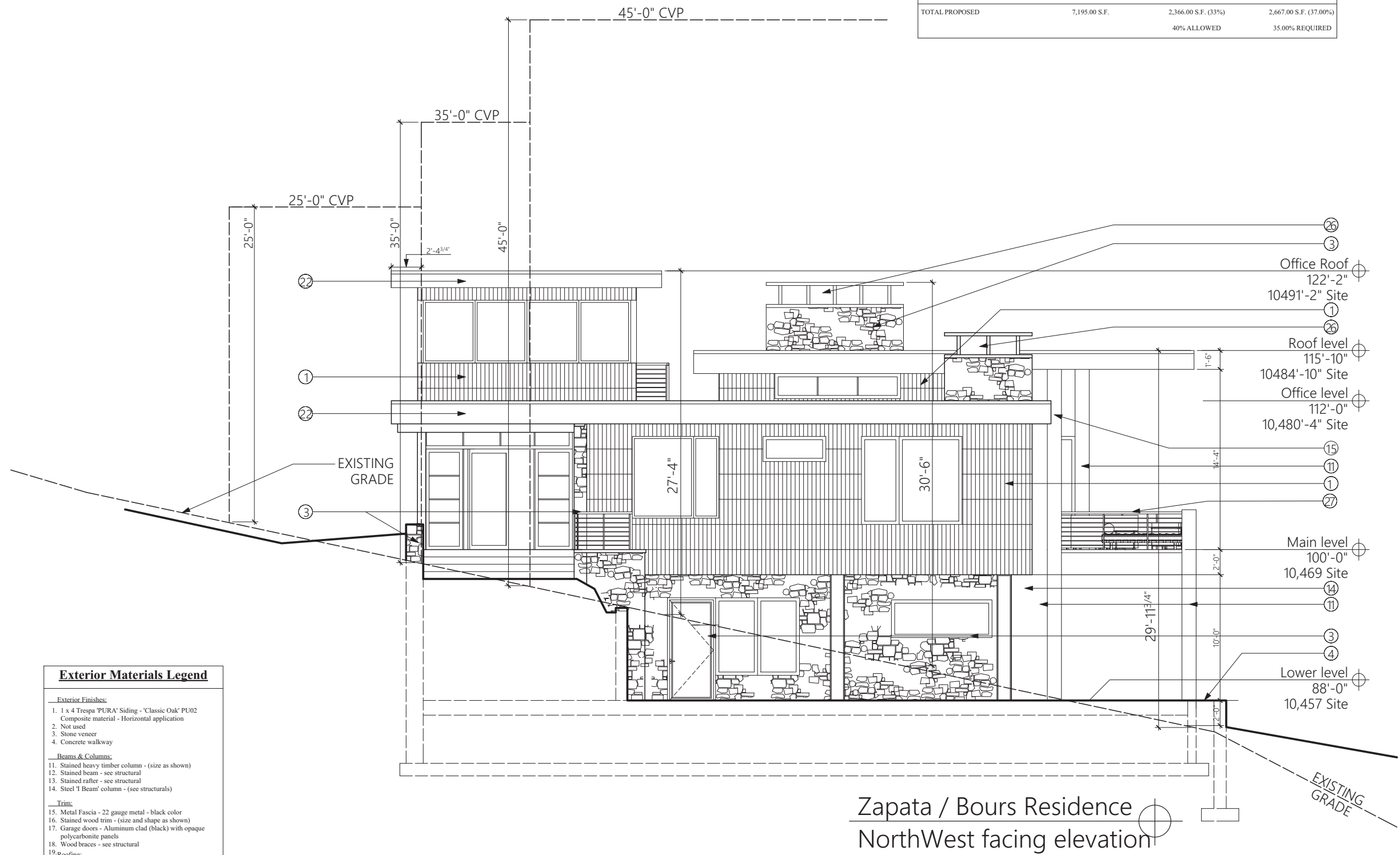
ZAPATA / BOURS RESIDENCE
Lot 8, The Ridge
Telluride, CO. 81435

DRAWING ISSUE

SCHEMATIC PLANS 01-18-24
HOA SCHEMATIC REVIEW
09-07-24
STORYPOLE HEIGHTS 12-23-24
DRC UPDATES 01-27-25
DRC UPDATES 02-19-25
DRC UPDATES 04-16-25

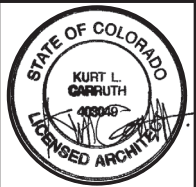
Project designed and drawn
to adhere to the 2021 IRC.

A3.1
SCALE: 1/4" = 1'-0"



PROPOSED GLAZING AND STONE PERCENTAGE CALC.			
	FACADE AREA	GLAZING SURFACE AREA	STONE SURFACE AREA
FRONT (NE FACING) ELEVATION	1,423.00 S.F.	410.00 S.F.	849.00 S.F.
REAR (SW FACING) ELEVATION	2,753.00 S.F.	872.00 S.F.	626.00 S.F.
SIDE (NW FACING) ELEVATION	1,667.00 S.F.	710.00 S.F.	510.00 S.F.
SIDE (SE FACING) ELEVATION	1,352.00 S.F.	374.00 S.F.	682.00 S.F.
TOTAL PROPOSED	7,195.00 S.F.	2,366.00 S.F. (33%)	2,667.00 S.F. (37.00%)
		40% ALLOWED	35.00% REQUIRED

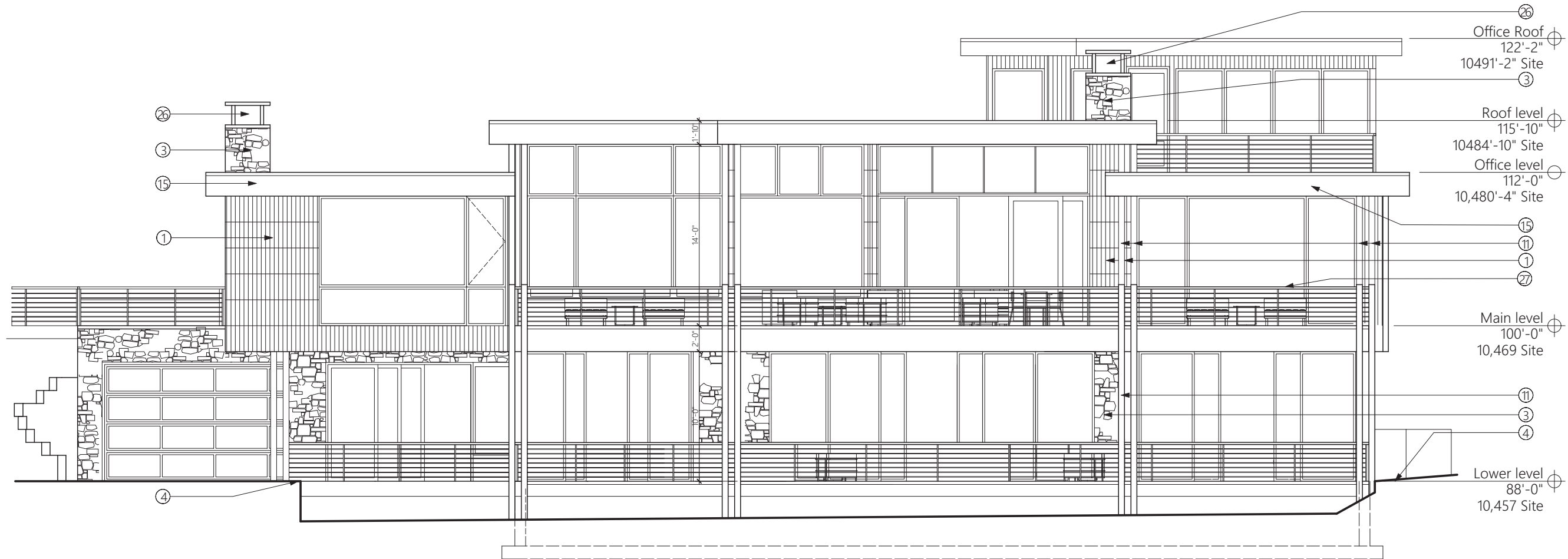
Exterior Materials Legend	
Exterior Finishes:	
1.	1 x 4 Trespa 'PURA' Siding - 'Classic Oak' PU02 Composite material - Horizontal application
2.	Not used
3.	Stone veneer
4.	Concrete walkway
Beams & Columns:	
11.	Stained heavy timber column - (size as shown)
12.	Stained beam - see structural
13.	Stained rafter - see structural
14.	Steel 'I Beam' column - (see structurals)
Trim:	
15.	Metal Fascia - 22 gauge metal - black color
16.	Stained wood trim - (size and shape as shown)
17.	Garage doors - Aluminum clad (black) with opaque polycarbonate panels
18.	Wood braces - see structural
Roofing:	
20.	Ballasted Roof Material - (color TBD)
21.	Metal standing seam roofing - factory paint (color TBD)
22.	
Misc.:	
24.	Indicates finished grade
25.	Indicates existing grade
26.	Custom flue cover
27.	36" handrail per code
28.	Concrete retaining wall < 48" tall
29.	Trellis - TBD
30.	Gutter / Down Spout
31.	Steel brace - 3" x 8" - TBD



ZAPATA / BOURS RESIDENCE
Lot 8, The Ridge
Telluride, CO. 81435

DRAWING	ISSUE
SCHEMATIC PLANS 01-18-24	
HOA SCHEMATIC REVIEW	
09-07-24	
STORYPOLE HEIGHTS 12-23-24	
DRC UPDATES 01-27-25	
DRC UPDATES 02-19-25	
DRC UPDATES 04-16-25	

Project designed and drawn to adhere to the 2021 IRC.



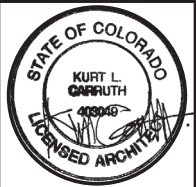
Zapata / Bours Residence
SouthWest facing elevation

Exterior Materials Legend

- Exterior Finishes:
- 1 x 4 Trespa 'PURA' Siding - 'Classic Oak' PU02 Composite material - Horizontal application
 2. Not used
 3. Stone veneer
 4. Concrete walkway
- Beams & Columns:
11. Stained heavy timber column - (size as shown)
 12. Stained beam - see structural
 13. Stained rafter - see structural
 14. Steel 'I Beam' column - (see structurals)
- Trim:
15. Metal Fascia - 22 gauge metal - black color
 16. Stained wood trim - (size and shape as shown)
 17. Garage doors - Aluminum clad (black) with opaque polycarbonate panels
 18. Wood braces - see structural
- Roofing:
20. Ballasted Roof Material - (color TBD)
 21. Metal standing seam roofing - factory paint (color TBD)
 - 22.
- Misc.:
24. Indicates finished grade
 25. Indicates existing grade
 26. Custom flue cover
 27. 36" handrail per code
 28. Concrete retaining wall < 48" tall
 29. Trellis - TBD
 30. Gutter / Down Spout
 31. Steel brace - 3" x 8" - TBD

PROPOSED GLAZING AND STONE PERCENTAGE CALC.

	FACADE AREA	GLAZING SURFACE AREA	STONE SURFACE AREA
FRONT (NE FACING) ELEVATION	1,423.00 S.F.	410.00 S.F.	849.00 S.F.
REAR (SW FACING) ELEVATION	2,753.00 S.F.	872.00 S.F.	626.00 S.F.
SIDE (NW FACING) ELEVATION	1,667.00 S.F.	710.00 S.F.	510.00 S.F.
SIDE (SE FACING) ELEVATION	1,352.00 S.F.	374.00 S.F.	682.00 S.F.
TOTAL PROPOSED	7,195.00 S.F.	2,366.00 S.F. (33%)	2,667.00 S.F. (37.00%)
		40% ALLOWED	35.00% REQUIRED



ZAPATA / BOURS RESIDENCE
Lot 8, The Ridge
Telluride, CO. 81435

DRAWING ISSUE

SCHEMATIC PLANS 01-18-24
HOA SCHEMATIC REVIEW
09-07-24
STORYPOLE HEIGHTS 12-23-24
DRC UPDATES 01-27-25
DRC UPDATES 02-19-25
DRC UPDATES 04-16-25

Project designed and drawn
to adhere to the 2021 IRC.

A3.3

SCALE: 1/4" = 1'-0"



ZAPATA / BOURS RESIDENCE
Lot 8, The Ridge
Telluride, CO. 81435

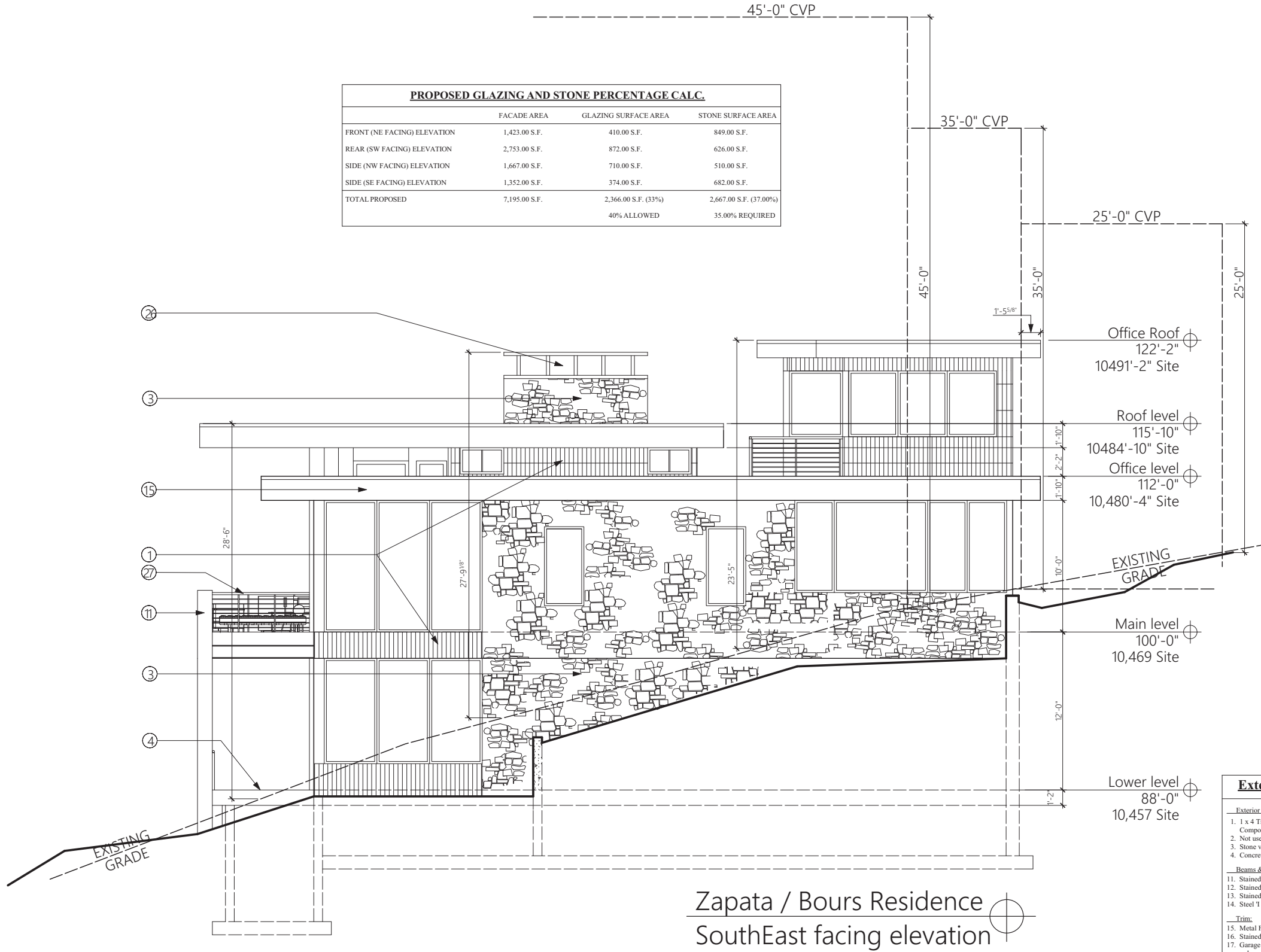
DRAWING ISSUE

SCHEMATIC PLANS 01-18-24
HOA SCHEMATIC REVIEW
09-07-24
STORYPOLE HEIGHTS 12-23-24
DRC UPDATES 01-27-25
DRC UPDATES 02-19-25
DRC UPDATES 04-16-25

Project designed and drawn
to adhere to the 2021 IRC.

A3.4

SCALE: 1/4" = 1'-0"



Exterior Materials Legend

Exterior Finishes:

1. 1 x 4 Trespa 'PURA' Siding - 'Classic Oak' PU02
2. Composite material - Horizontal application
3. Not used
4. Stone veneer
5. Concrete walkway

Beams & Columns:

11. Stained heavy timber column - (size as shown)
12. Stained beam - see structural
13. Stained rafter - see structural
14. Steel I Beam' column - (see structurals)

Trim:

15. Metal Fascia - 22 gauge metal - black color
16. Stained wood trim - (size and shape as shown)
17. Garage doors - Aluminum clad (black) with opaque polycarbonate panels
18. Wood braces - see structural

Roofing:

20. Ballasted Roof Material - (color TBD)
21. Metal standing seam roofing - factory paint (color TBD)
- 22.

Misc.:

24. Indicates finished grade
25. Indicates existing grade
26. Custom flue cover
27. 36" handrail per code
28. Concrete retaining wall < 48" tall
29. Trellis - TBD
30. Gutter / Down Spout
31. Steel brace - 3" x 8" - TBD



S/E FACING ELEVATION



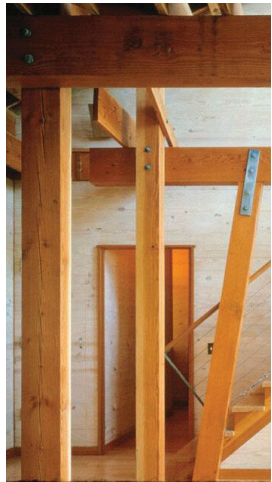
N/W FACING ELEVATION



N/E FACING ELEVATION



S/W FACING ELEVATION



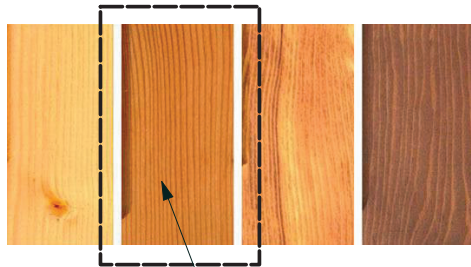
CVG Fir Columns
6 x 12



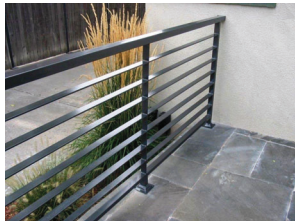
Windows
Pella Architect
Series



Front Door
Pella



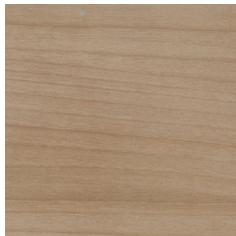
CVG Fir Columns
'Natural Clear'



Steel Railing
(Black, Powdercoated)



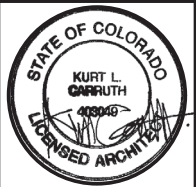
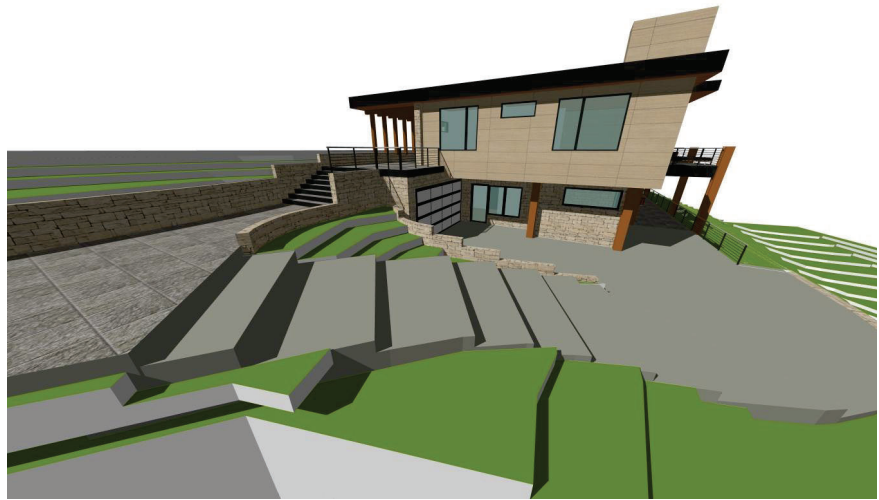
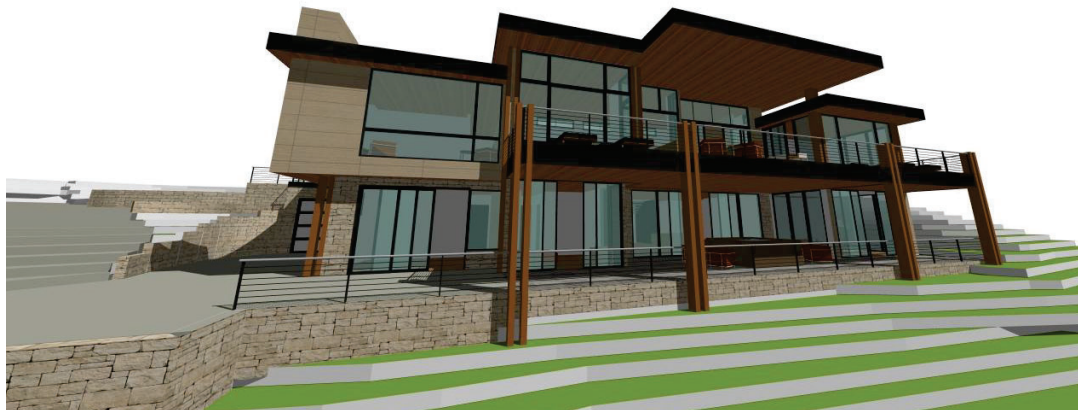
Pines Stoneyard
'Fossil Creek'



Siding - Trespa PURA
'Classic Oak' (PU02)

PROPOSED GLAZING AND STONE PERCENTAGE CALC.

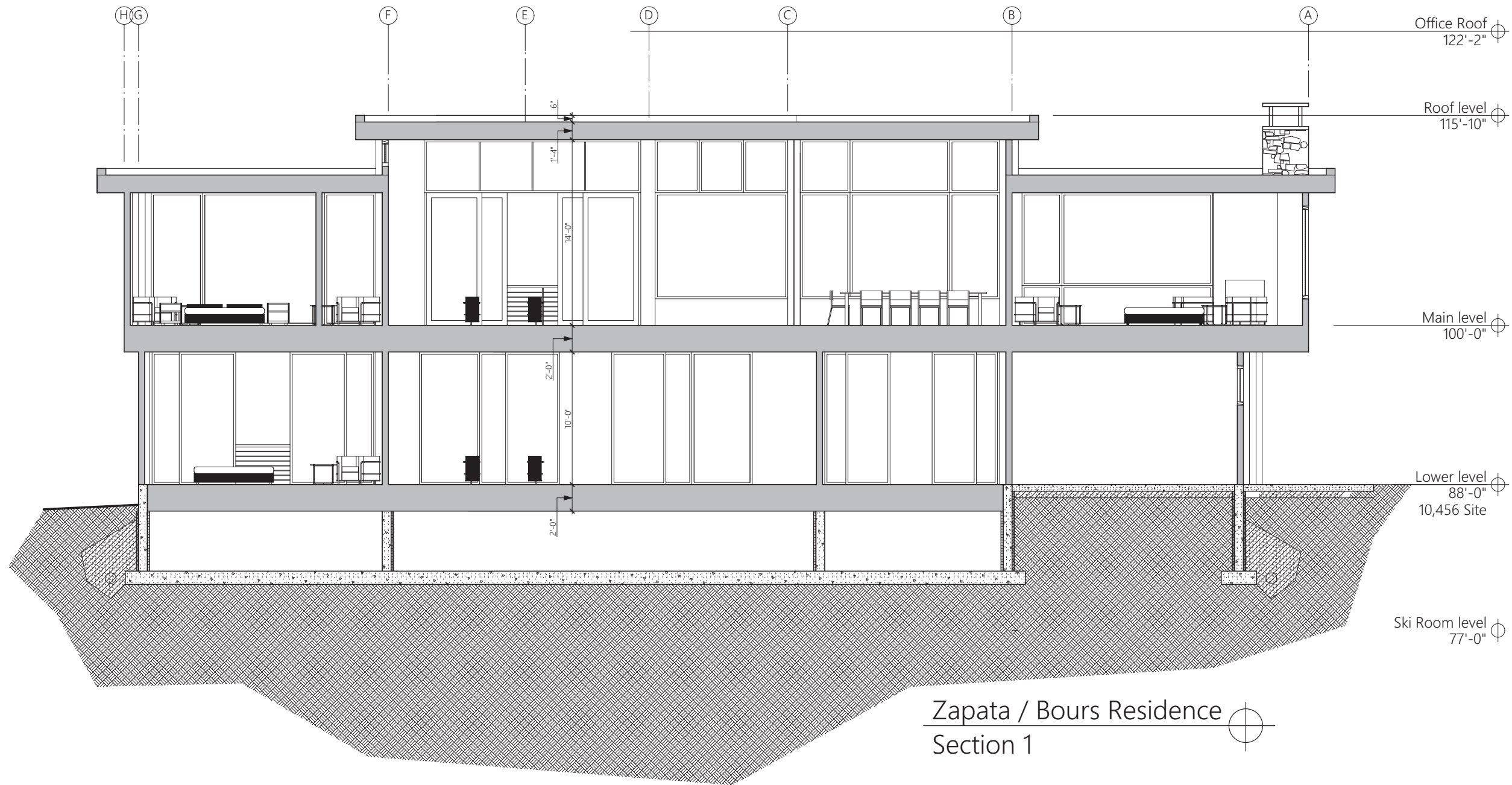
	FACADE AREA	GLAZING SURFACE AREA	STONE SURFACE AREA
FRONT (NE FACING) ELEVATION	1,423.00 S.F.	410.00 S.F.	849.00 S.F.
REAR (SW FACING) ELEVATION	2,753.00 S.F.	872.00 S.F.	626.00 S.F.
SIDE (NW FACING) ELEVATION	1,667.00 S.F.	710.00 S.F.	510.00 S.F.
SIDE (SE FACING) ELEVATION	1,352.00 S.F.	374.00 S.F.	682.00 S.F.
TOTAL PROPOSED	7,195.00 S.F.	2,366.00 S.F. (33%)	2,667.00 S.F. (37.00%)
		40% ALLOWED	35.00% REQUIRED



ZAPATA / BOURS RESIDENCE
Lot 8, The Ridge
Telluride, CO. 81435

DRAWING	ISSUE
SCHMATIC PLANS 01-18-24	
HOA SCHMATIC REVIEW	
09-07-24	
STORYPOLE HEIGHTS 12-23-24	
DRC UPDATES 01-27-25	
DRC UPDATES 02-19-25	
DRC UPDATES 04-16-25	

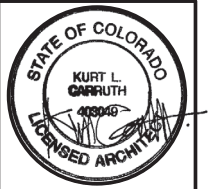
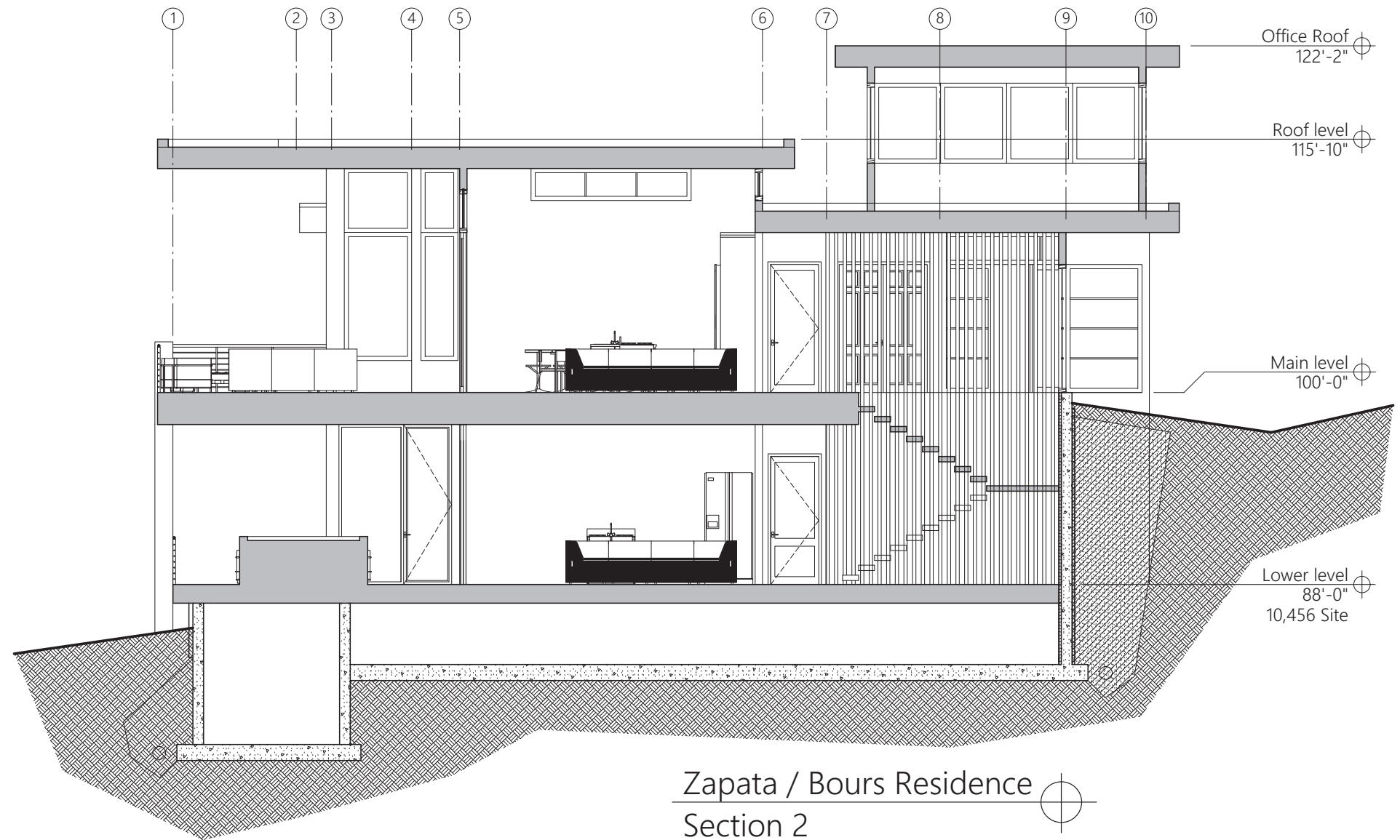
Project designed and drawn to adhere to the 2021 IRC.



ZAPATA / BOURS RESIDENCE
Lot 8, The Ridge
Telluride, CO. 81435

DRAWING	ISSUE
SCHEMATIC PLANS 01-18-24	
HOA SCHEMATIC REVIEW	
09-07-24	
STORYPOLE HEIGHTS 12-23-24	
DRC UPDATES 01-27-25	
DRC UPDATES 02-19-25	
DRC UPDATES 04-16-25	

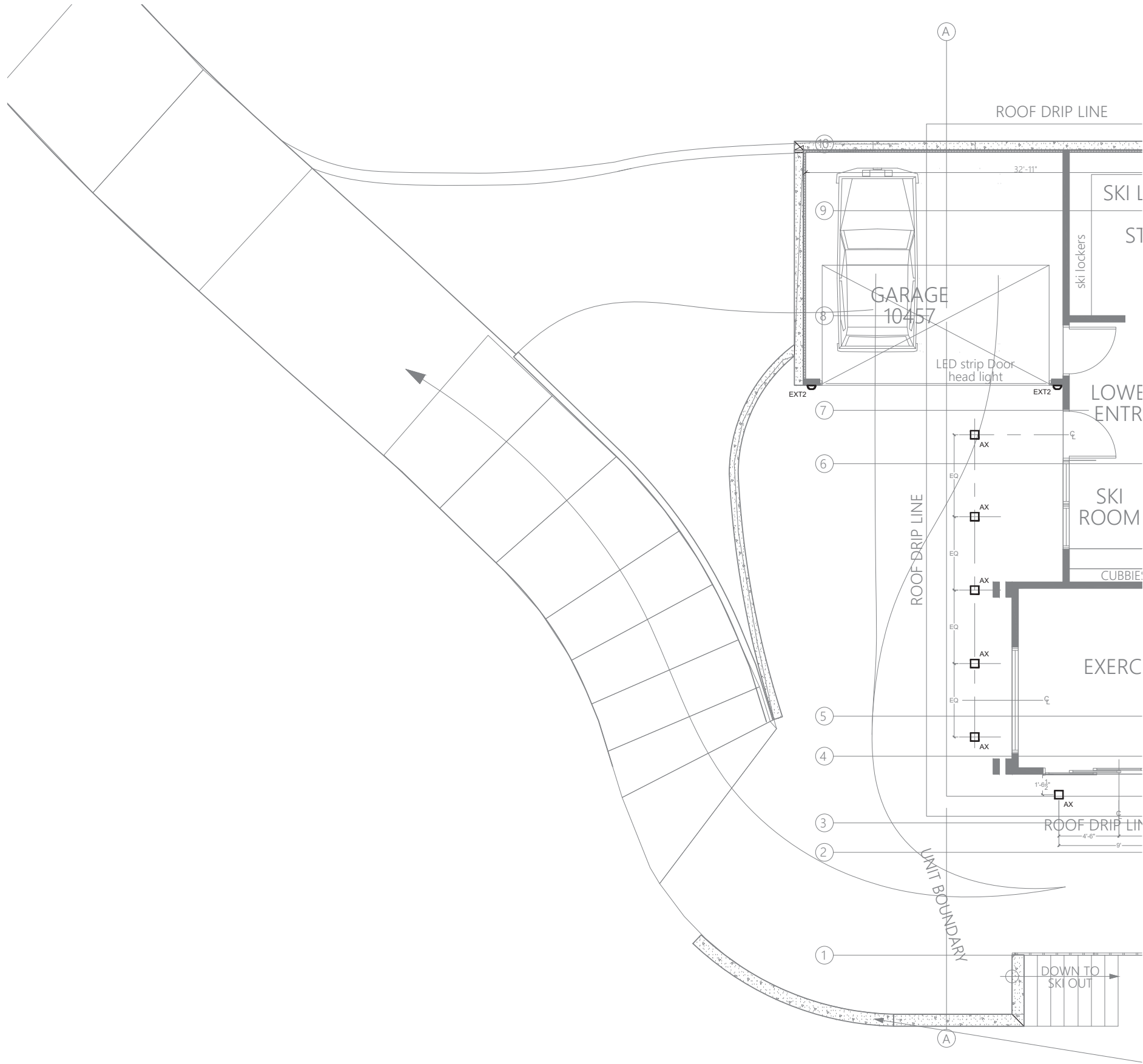
Project designed and drawn
to adhere to the 2021 IRC.



ZAPATA / BOURS RESIDENCE
Lot 8, The Ridge
Telluride, CO. 81435

DRAWING	ISSUE
SCHEMATIC PLANS 01-18-24	
HOA SCHEMATIC REVIEW 09-07-24	
STORYPOLE HEIGHTS 12-23-24	
DRC UPDATES 01-27-25	
DRC UPDATES 02-19-25	
DRC UPDATES 04-16-25	

Project designed and drawn
to adhere to the 2021 IRC.



ELECTRICAL SYMBOL DRAWING LEGEND

- C CLOCK RECEPTACLE
- FL FLOOR RECEPTACLE
- FAN CEILING FAN
- FK CEILING FAN LIGHT KIT
- FN EXHAUST FAN
- FP FIREPLACE CONTROL
- GFI GROUND FAULT OUTLET
- J IN GROUND JUNCTION BOX
- L LOAD NUMBER
- S MOTORIZED SHADE
- SB MOTORIZED BLACK OUT SHADE
- DP MOTORIZED DRAPERY
- MTV TELEVISION
- PML LIGHTING MODULE ENCLOSURE
- RU OUTLET / USB
- Sj JAMB SWITCH
- \$3 THREE WAY SWITCH
- \$f EXHAUST FAN SWITCH WITH TIME OUT
- \$m INTEGRATED WALL BOX SMART DIMMER
- SW SWITCHED OUTLET
- T TRANSFORMER / DRIVER
- Tc TIME CLOCK
- TL TABLE LAMP
- PGS PLUG STRIP

LIGHTING SYMBOL DRAWING LEGEND

- A SQUARE RECESSED CAN
- A1 SQUARE FLANGELESS RECESSED CAN
- A2 ROUND RECESSED CAN
- AG WALL GRAZE RECESSED CAN
- AP ROUND FIXED 1" RECESSED CAN
- B RECESSED CAN
- BKV/BKH EXTERIOR STEP LIGHT
- BL UPLIGHT SCENCE
- BW BOOT WARMERS
- BBQ BARBEQUE FIXTURE
- C CLOSET SQUARE RECESSED CAN
- C1 SHOWER SQUARE RECESSED CAN
- CAS WALL MOUNTED ART LIGHTING
- CLD CLOSET FIXTURE PER NEC
- D2 RECESSED DOUBLE APERTURE
- D3 RECESSED TRIPLE APERTURE
- DX WALL UPLIGHT
- EC VERGE CORNER
- ES STAIR HANDRAIL LED
- EW VERTICAL ARCHITECTURAL LED
- EW1 LED PANEL
- EWC EWC ARCHITECTURAL LED
- EXT1 EXTERIOR SCENCE
- EXT2 EXTERIOR SCENCE DARK SKY RATED
- EXT3 EXTERIOR PENDANT
- EXT4 HISTORIC EXTERIOR SCENCE
- EXT5 EXTERIOR DECORATIVE BOLLARD
- F1-2' 2' CLOSET RATED FIXTURE PER NEC
- F1-4' 4' CLOSET RATED FIXTURE PER NEC
- F LED SURFACE MOUNT FIXTURE
- GAS EXTERIOR GAS SCENCE
- H RECESSED PUCK LIGHT
- H1 ADJUSTABLE PUCK LIGHT
- HM MINI RECESSED
- HX UNDER WATER
- ID SEMI FLUSH DECORATIVE FIXTURE
- IDP HANGING FIXTURE
- IDPT SUSPENDED LINEAR
- IDS INTERIOR WALL MOUNTED SCENCE
- K RECESS TROUGH LIGHTING
- LIGHTING / SHADING KEYPAD
- FUTURE KEYPAD
- LAP LANDSCAPE PATH
- EX LANDSCAPE LOAD NUMBER
- M INTERIOR MONOPOINT
- MX EXTERIOR MONOPOINT
- MM MAKEUP MIRROR
- MO2 DOUBLE HEADED MONOPOINT
- MOTION SENSOR
- ML MIRROR W/ INTEGRATED LIGHTING
- P PENDANT
- PD2 2W/FT LED STRIP W/ STRAIGHT CHANNEL
- PD 5W/FT LED STRIP W/ STRAIGHT CHANNEL
- PD VERTICAL LED STRIP
- PD1 WET RATED LED STRIP
- PDR WET RATED LED STRIP
- PD45 LED IN 45 DEGREE CHANNEL
- PD FLOATING MIRROR
- PM PATH MARKER
- PROJ PROJECTOR
- PX POOL LIGHT
- PX1 SPA LIGHT
- S INTERIOR STEP LIGHT
- SA READING LIGHT
- TWW WALL MOUNTED MONORAIL
- TW MONORAIL SYSTEMS
- IN GROUND UPLIGHT
- VA VANITY SCENCE
- VP VAPOR PROOF FIXTURE
- VP1 VAPOR PROOF WALL MOUNT
- WW RECESS WALL WASHER
- X READING LIGHT W/ INTEGRAL SWITCH
- Z SURFACE MOUNT UTILITY LIGHT

David Craig

David Craig | CLC | IALD
209 Hillside Lane
Telluride, CO 81435
970.729.1403

ZAPATA
BOURS

Lot 8, The Ridge,
Telluride, CO 81435

2025.04.15 IAR SUBMISSION

L0 - LIGHTING FIXTURE SCHEDULE
L1 - OVERALL LOWER LEVEL LGHT PLAN
L1A - LOWER LEVEL AREA A
L1B - LOWER LEVEL AREA B
L2 - OVERALL MAIN LEVEL LGHT PLAN
L2A - MAIN LEVEL AREA A
L2B - MAIN LEVEL AREA B
L3A - UPPER LEVEL AREA A
LX1 - OVERALL LL EXT LIGHTING PLAN
LX1A - LL EXT LIGHTING PLAN - AREA A
LX1B - LL EXT LIGHTING PLAN - AREA B
LX2 - OVERALL ML EXT LIGHTING PLAN
LX2A - ML EXT LIGHTING PLAN - AREA A
LX2B - ML EXT LIGHTING PLAN - AREA B

LOWER LEVEL
EXTERIOR
LIGHTING PLAN

LX1A

1 LOWER LEVEL EXTERIOR LIGHTING PLAN - AREA A
LX1A SCALE: 1/4" = 1'-0"

PROJECT

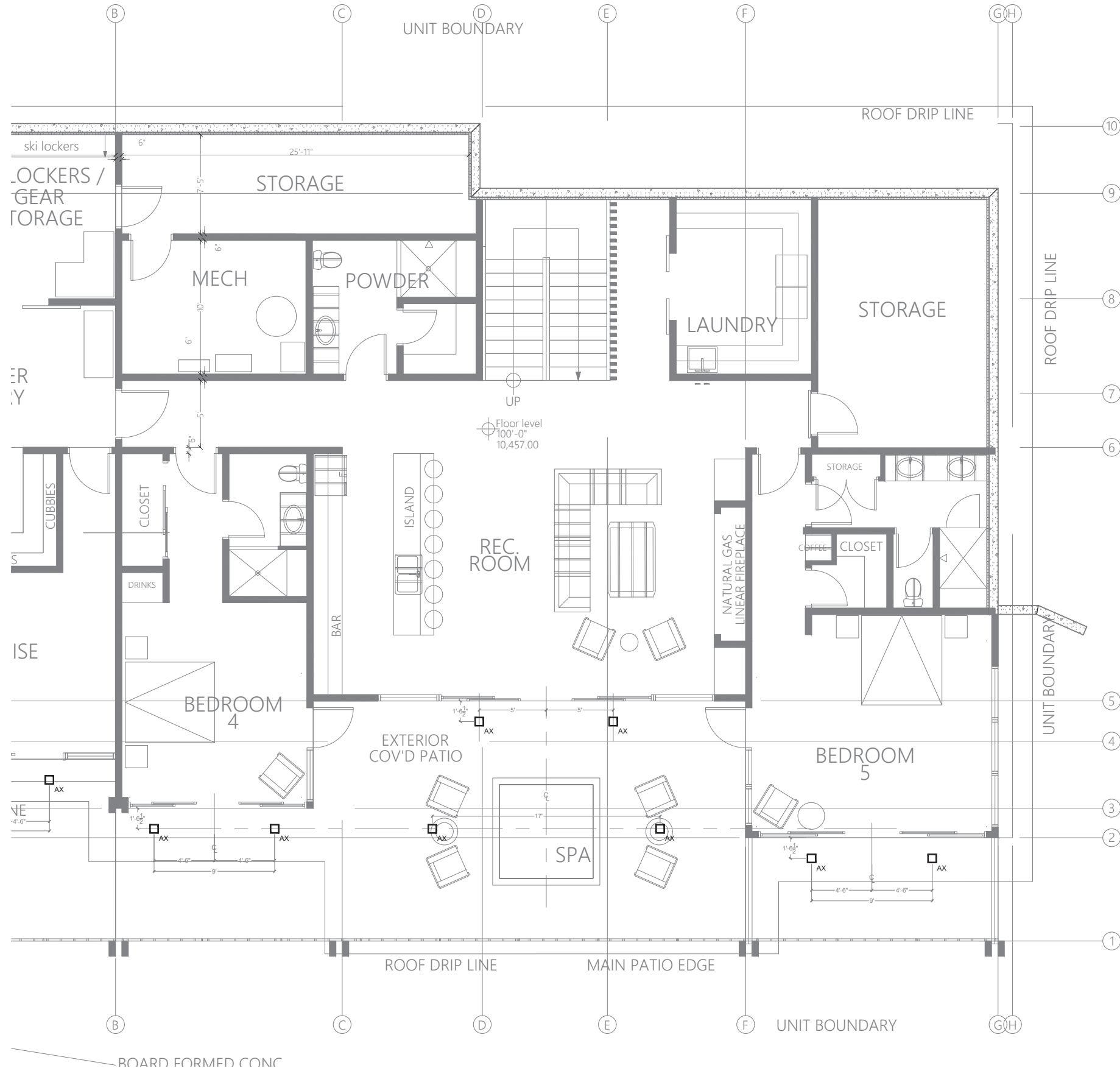
ADDRESS

SUBMITTAL

SHEET INDEX

DWG TITLE

DWG NO.



LOCKERS /
GEAR
ORAGE

STORAGE

MECH

POWDER

LAUNDRY

STORAGE

REC.
ROOM

BEDROOM
5

BEDROOM
4

SPA

EXTERIOR
COV'D PATIO

COFFEE

CLOSET

STORAGE

NATURAL GAS
LINEAR FIREPLACE

BAR

ISLAND

CLOSET

DRINKS

CUBBIES

ER
Y

ISE

ROAD FORMED CONC

1 LOWER LEVEL EXTERIOR LIGHTING PLAN - AREA B
LX1B SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOL DRAWING LEGEND

- C CLOCK RECEPTACLE
- FL FLOOR RECEPTACLE
- FAN CEILING FAN
- FK CEILING FAN LIGHT KIT
- FN EXHAUST FAN
- FP FIREPLACE CONTROL
- GFI GROUND FAULT OUTLET
- J IN GROUND JUNCTION BOX
- L LOAD NUMBER
- S MOTORIZED SHADE
- SB MOTORIZED BLACK OUT SHADE
- DP MOTORIZED DRAPERY
- MTV TELEVISION
- PML LIGHTING MODULE ENCLOSURE
- RU OUTLET / USB
- SJ JAMB SWITCH
- S3 THREE WAY SWITCH
- Sf EXHAUST FAN SWITCH WITH TIME OUT
- \$m INTEGRATED WALL BOX SMART DIMMER
- SW SWITCHED OUTLET
- T TRANSFORMER / DRIVER
- Tc TIME CLOCK
- TL TABLE LAMP
- PGS PLUG STRIP

LIGHTING SYMBOL DRAWING LEGEND

- A SQUARE RECESSED CAN
- A1 SQUARE FLANGELESS RECESSED CAN
- A2 ROUND RECESSED CAN
- AG WALL GRAZE RECESSED CAN
- AP ROUND FIXED 1" RECESSED CAN
- B RECESSED CAN
- BKV/BKH EXTERIOR STEP LIGHT
- BL UPLIGHT SCENCE
- BW BOOT WARMERS
- BBQ BARBEQUE FIXTURE
- C CLOSET SQUARE RECESSED CAN
- C1 SHOWER SQUARE RECESSED CAN
- CAS WALL MOUNTED ART LIGHTING
- CLD CLOSET FIXTURE PER NEC
- D2 RECESSED DOUBLE APERTURE
- D3 RECESSED TRIPLE APERTURE
- DX WALL UPLIGHT
- EC VERGE CORNER
- ES STAIR HANDRAIL LED
- EW VERTICAL ARCHITECTURAL LED
- EW1 LED PANEL
- EWC EWC ARCHITECTURAL LED
- EXT1 EXTERIOR SCENCE
- EXT2 EXTERIOR SCENCE DARK SKY RATED
- EXT3 EXTERIOR PENDANT
- EXT4 HISTORIC EXTERIOR SCENCE
- EXT5 EXTERIOR DECORATIVE BOLLARD
- F1-2' 2' CLOSET RATED FIXTURE PER NEC
- F1-4' 4' CLOSET RATED FIXTURE PER NEC
- F LED SURFACE MOUNT FIXTURE
- GAS EXTERIOR GAS SCENCE
- H RECESSED PUCK LIGHT
- H1 ADJUSTABLE PUCK LIGHT
- HM MINI RECESSED
- HX UNDER WATER
- ID SEMI FLUSH DECORATIVE FIXTURE
- IDP HANGING FIXTURE
- IDPT SUSPENDED LINEAR
- IDS INTERIOR WALL MOUNTED SCENCE
- K RECESS TROUGH LIGHTING
- LIGHTING / SHADING KEYPAD
- FUTURE KEYPAD
- LAP LANDSCAPE PATH
- LANDSCAPE LOAD NUMBER
- M INTERIOR MONOPOINT
- MX EXTERIOR MONOPOINT
- MM MAKEUP MIRROR
- MO2 DOUBLE HEADED MONOPOINT
- MOTION SENSOR
- ML MIRROR W/ INTEGRATED LIGHTING
- P PENDANT
- PD2 2W/FT LED STRIP W/ STRAIGHT CHANNEL
- PD 5W/FT LED STRIP W/ STRAIGHT CHANNEL
- PD VERTICAL LED STRIP
- PD1 WET RATED LED STRIP
- PDR WET RATED LED STRIP
- PD45 LED IN 45 DEGREE CHANNEL
- PD FLOATING MIRROR
- PM PATH MARKER
- PROJ PROJECTOR
- PX POOL LIGHT
- PX1 SPA LIGHT
- S INTERIOR STEP LIGHT
- SA READING LIGHT
- TWV WALL MOUNTED MONORAIL
- TW MONORAIL SYSTEMS
- IN GROUND UPLIGHT
- VA VANITY SCENCE
- VP VAPOR PROOF FIXTURE
- VP1 VAPOR PROOF WALL MOUNT
- WW RECESS WALL WASHER
- X READING LIGHT W/ INTEGRAL SWITCH
- Z SURFACE MOUNT UTILITY LIGHT

David Craige | CLC | IALD
209 Hillside Lane
Telluride, CO 81435
970.729.1403

ZAPATA
BOURS

Lot 8, The Ridge,
Telluride, CO 81435

2025.04.15 IAR SUBMISSION

L0 - LIGHTING FIXTURE SCHEDULE
L1 - OVERALL LOWER LEVEL LGHT PLAN
L1A - LOWER LEVEL AREA A
L1B - LOWER LEVEL AREA B
L2 - OVERALL MAIN LEVEL LGHT PLAN
L2A - MAIN LEVEL AREA A
L2B - MAIN LEVEL AREA B
L3A - UPPER LEVEL AREA A
LX1 - OVERALL LL EXT LIGHTING PLAN
LX1A - LL EXT LIGHTING PLAN - AREA A
LX1B - LL EXT LIGHTING PLAN - AREA B
LX2 - OVERALL ML EXT LIGHTING PLAN
LX2A - ML EXT LIGHTING PLAN - AREA A
LX2B - ML EXT LIGHTING PLAN - AREA B

LOWER LEVEL
EXTERIOR
LIGHTING PLAN

LX1B

PROJECT

ADDRESS

SUBMITTAL

SHEET INDEX

DWG TITLE

DWG NO.



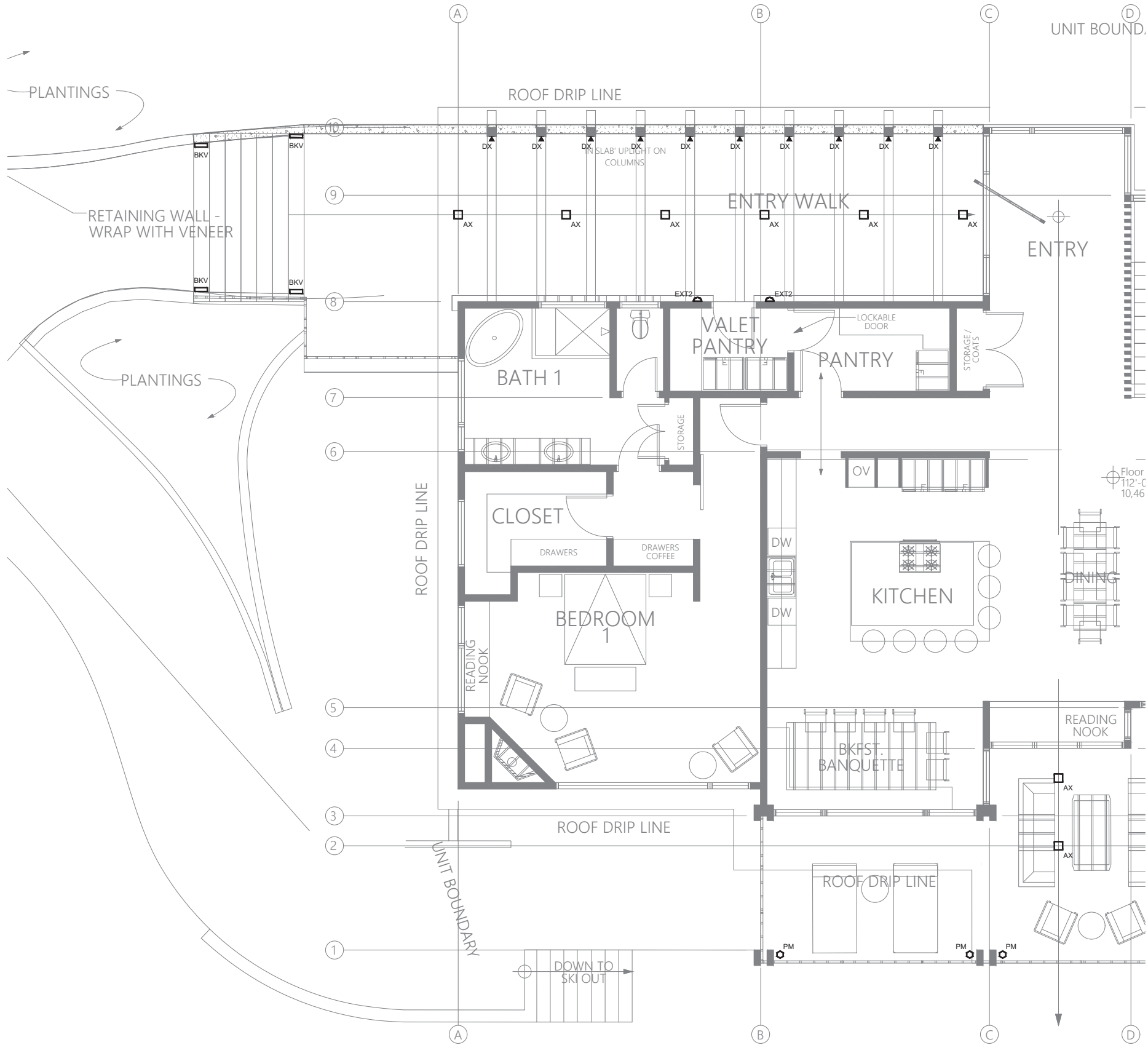
ZAPATA BOURS

2025.04.15 IAR SUBMISSION

L0 - LIGHTING FIXTURE SCHEDULE
L1 - OVERALL LOWER LEVEL LGHT PLAN
L1A - LOWER LEVEL AREA A
L1B - LOWER LEVEL AREA B
L2 - OVERALL MAIN LEVEL LGHT PLAN
L2A - MAIN LEVEL AREA A
L2B - MAIN LEVEL AREA B
L3A - UPPER LEVEL AREA A
LX1 - OVERALL LL EXT LIGHTING PLAN
LX1A - LL EXT LIGHTING PLAN - AREA A
LX1B - LL EXT LIGHTING PLAN - AREA B
LX2 - OVERALL ML EXT LIGHTING PLAN
LX2A - ML EXT LIGHTING PLAN - AREA A
LX2B - ML EXT LIGHTING PLAN - AREA B

LX2

DWG NO.	DWG TITLE	SHEET INDEX	LAN	SUBMITTAL	ADDRESS	PROJECT
		A A A B N N A A A B	N			



ELECTRICAL SYMBOL DRAWING LEGEND

- C CLOCK RECEPTACLE
- FL FLOOR RECEPTACLE
- FAN CEILING FAN
- FK CEILING FAN LIGHT KIT
- FN EXHAUST FAN
- FP FIREPLACE CONTROL
- GFI GROUND FAULT OUTLET
- J IN GROUND JUNCTION BOX
- L LOAD NUMBER
- S MOTORIZED SHADE
- SB MOTORIZED BLACK OUT SHADE
- DP MOTORIZED DRAPERY
- MTV TELEVISION
- PNL LIGHTING MODULE ENCLOSURE
- RU OUTLET / USB
- SJ JAMB SWITCH
- S3 THREE WAY SWITCH
- Sf EXHAUST FAN SWITCH WITH TIME OUT
- \$m INTEGRATED WALL BOX SMART DIMMER
- SW SWITCHED OUTLET
- T TRANSFORMER / DRIVER
- Tc TIME CLOCK
- TL TABLE LAMP
- PGS PLUG STRIP

LIGHTING SYMBOL DRAWING LEGEND

- A SQUARE RECESSED CAN
- A1 SQUARE FLANGELESS RECESSED CAN
- A2 ROUND RECESSED CAN
- AG WALL GRAZE RECESSED CAN
- AP ROUND FIXED 1" RECESSED CAN
- B RECESSED CAN
- BKV/BKH EXTERIOR STEP LIGHT
- BL UPLIGHT SCIENCE
- BW BOOT WARMERS
- BBQ BARBEQUE FIXTURE
- C CLOSET SQUARE RECESSED CAN
- C1 SHOWER SQUARE RECESSED CAN
- CAS WALL MOUNTED ART LIGHTING
- CLD CLOSET FIXTURE PER NEC
- D2 RECESSED DOUBLE APERTURE
- D3 RECESSED TRIPLE APERTURE
- DX WALL UPLIGHT
- EC VERGE CORNER
- ES STAIR HANDRAIL LED
- EW VERTICAL ARCHITECTURAL LED
- EW1 LED PANEL
- EW2 EWC ARCHITECTURAL LED
- EXT1 EXTERIOR SCIENCE
- EXT2 EXTERIOR SCIENCE DARK SKY RATED
- EXT3 EXTERIOR PENDANT
- EXT4 HISTORIC EXTERIOR SCIENCE
- EXT5 EXTERIOR DECORATIVE BOLLARD
- F1-2' 2' CLOSET RATED FIXTURE PER NEC
- F1-4' 4' CLOSET RATED FIXTURE PER NEC
- F LED SURFACE MOUNT FIXTURE
- GAS EXTERIOR GAS SCIENCE
- H RECESSED PUCK LIGHT
- H1 ADJUSTABLE PUCK LIGHT
- HM MINI RECESSED
- HX UNDER WATER
- ID SEMI FLUSH DECORATIVE FIXTURE
- IDP HANGING FIXTURE
- IDPT SUSPENDED LINEAR
- IDS INTERIOR WALL MOUNTED SCIENCE
- K RECESS TROUGH LIGHTING
- LIGHTING / SHADING KEYPAD
- FUTURE KEYPAD
- LAP LANDSCAPE PATH
- LANDSCAPE LOAD NUMBER
- M INTERIOR MONOPOINT
- MX EXTERIOR MONOPOINT
- MM MAKEUP MIRROR
- MO2 DOUBLE HEADED MONOPOINT
- MOTION SENSOR
- ML MIRROR W/ INTEGRATED LIGHTING
- P PENDANT
- PD2 2W/FT LED STRIP W/ STRAIGHT CHANNEL
- PD 5W/FT LED STRIP W/ STRAIGHT CHANNEL
- PD VERTICAL LED STRIP
- PD1 WET RATED LED STRIP
- PDR WET RATED LED STRIP
- PD45 LED IN 45 DEGREE CHANNEL
- PD FLOATING MIRROR
- PM PATH MARKER
- PROJ PROJECTOR
- PX POOL LIGHT
- PX1 SPA LIGHT
- S INTERIOR STEP LIGHT
- SA READING LIGHT
- TWV WALL MOUNTED MONORAIL
- TW MONORAIL SYSTEMS
- IN GROUND UPLIGHT
- VA VANITY SCIENCE
- VP VAPOR PROOF FIXTURE
- VP1 VAPOR PROOF WALL MOUNT
- WW RECESS WALL WASHER
- X READING LIGHT W/ INTEGRAL SWITCH
- Z SURFACE MOUNT UTILITY LIGHT

David Craig | CLC | IALD

209 Hillside Lane
Telluride, CO 81435
970.729.1403

ZAPATA
BOURS

Lot 8, The Ridge,
Telluride, CO 81435

2025.04.15 IAR SUBMISSION

L0 - LIGHTING FIXTURE SCHEDULE
L1 - OVERALL LOWER LEVEL LGHT PLAN
L1A - LOWER LEVEL AREA A
L1B - LOWER LEVEL AREA B
L2 - OVERALL MAIN LEVEL LGHT PLAN
L2A - MAIN LEVEL AREA A
L2B - MAIN LEVEL AREA B
L3A - UPPER LEVEL AREA A
LX1 - OVERALL LL EXT LIGHTING PLAN
LX1A - LL EXT LIGHTING PLAN - AREA A
LX1B - LL EXT LIGHTING PLAN - AREA B
LX2 - OVERALL ML EXT LIGHTING PLAN
LX2A - ML EXT LIGHTING PLAN - AREA A
LX2B - ML EXT LIGHTING PLAN - AREA B

MAIN LEVEL
EXTERIOR
LIGHTING PLAN

LX2A

1
LX2A
MAIN LEVEL EXTERIOR LIGHTING PLAN - AREA A
SCALE: 1/4" = 1'-0"

PROJECT

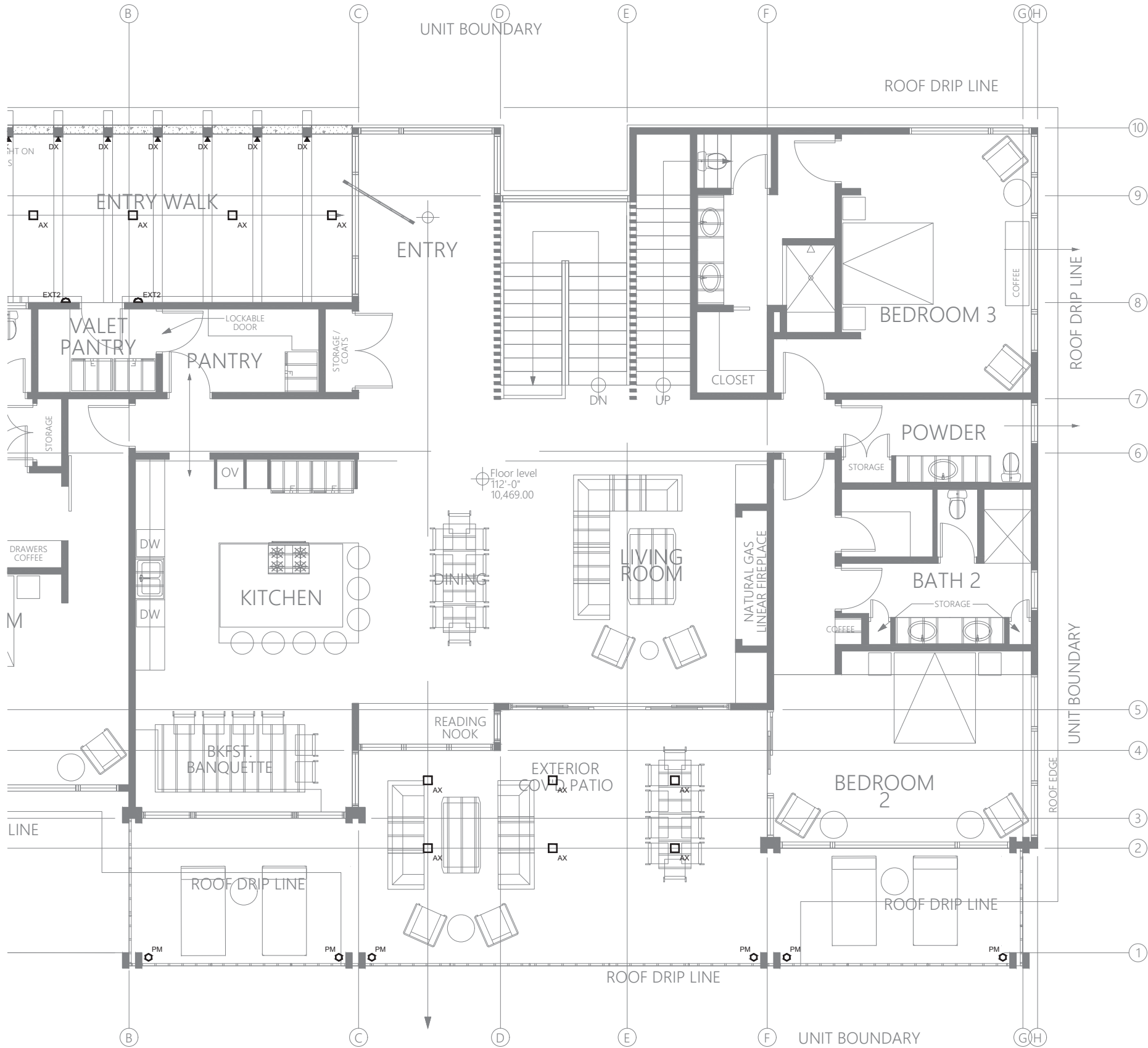
ADDRESS

SUBMITTAL

SHEET INDEX

DWG TITLE

DWG NO.



ELECTRICAL SYMBOL DRAWING LEGEND

- C CLOCK RECEPTACLE
- FL FLOOR RECEPTACLE
- FAN CEILING FAN
- FK CEILING FAN LIGHT KIT
- FN EXHAUST FAN
- FP FIREPLACE CONTROL
- GFI GROUND FAULT OUTLET
- J IN GROUND JUNCTION BOX
- L LOAD NUMBER
- S MOTORIZED SHADE
- SB MOTORIZED BLACK OUT SHADE
- DP MOTORIZED DRAPERY
- MTV TELEVISION
- PML LIGHTING MODULE ENCLOSURE
- RU OUTLET / USB
- SJ JAMB SWITCH
- S3 THREE WAY SWITCH
- Sf EXHAUST FAN SWITCH WITH TIME OUT
- \$m INTEGRATED WALL BOX SMART DIMMER
- SW SWITCHED OUTLET
- T TRANSFORMER / DRIVER
- Tc TIME CLOCK
- TL TABLE LAMP
- PGS PLUG STRIP

LIGHTING SYMBOL DRAWING LEGEND

- A SQUARE RECESSED CAN
- A1 SQUARE FLANGELESS RECESSED CAN
- A2 ROUND RECESSED CAN
- AG WALL GRAZE RECESSED CAN
- AP ROUND FIXED 1" RECESSED CAN
- B RECESSED CAN
- BKV/BKH EXTERIOR STEP LIGHT
- BL UPLIGHT SCENCE
- BW BOOT WARMERS
- BBQ BARBEQUE FIXTURE
- C CLOSET SQUARE RECESSED CAN
- C1 SHOWER SQUARE RECESSED CAN
- CAS WALL MOUNTED ART LIGHTING
- CLD CLOSET FIXTURE PER NEC
- D2 RECESSED DOUBLE APERTURE
- D3 RECESSED TRIPLE APERTURE
- DX WALL UPLIGHT
- EC VERGE CORNER
- ES STAIR HANDRAIL LED
- EW VERTICAL ARCHITECTURAL LED
- EW1 LED PANEL
- EWC EWC ARCHITECTURAL LED
- EXT1 EXTERIOR SCENCE
- EXT2 EXTERIOR SCENCE DARK SKY RATED
- EXT3 EXTERIOR PENDANT
- EXT4 HISTORIC EXTERIOR SCENCE
- EXT5 EXTERIOR DECORATIVE BOLLARD
- F1-2' 2' CLOSET RATED FIXTURE PER NEC
- F1-4' 4' CLOSET RATED FIXTURE PER NEC
- F LED SURFACE MOUNT FIXTURE
- GAS EXTERIOR GAS SCENCE
- H RECESSED PUCK LIGHT
- H1 ADJUSTABLE PUCK LIGHT
- HM MINI RECESSED
- HX UNDER WATER
- ID SEMI FLUSH DECORATIVE FIXTURE
- IDP HANGING FIXTURE
- IDPT SUSPENDED LINEAR
- IDS INTERIOR WALL MOUNTED SCENCE
- K RECESS TROUGH LIGHTING
- LIGHTING / SHADING KEYPAD
- FUTURE KEYPAD
- LAP LANDSCAPE PATH
- LANDSCAPE LOAD NUMBER
- M INTERIOR MONOPOINT
- MX EXTERIOR MONOPOINT
- MM MAKEUP MIRROR
- MO2 DOUBLE HEADED MONOPOINT
- MOTION SENSOR
- ML MIRROR W/ INTEGRATED LIGHTING
- P PENDANT
- PD2 2W/FT LED STRIP W/ STRAIGHT CHANNEL
- PD 5W/FT LED STRIP W/ STRAIGHT CHANNEL
- PD VERTICAL LED STRIP
- PD1 WET RATED LED STRIP
- PDR WET RATED LED STRIP
- PD45 LED IN 45 DEGREE CHANNEL
- PD FLOATING MIRROR
- PM PATH MARKER
- PROJ PROJECTOR
- PX POOL LIGHT
- PX1 SPA LIGHT
- S INTERIOR STEP LIGHT
- SA READING LIGHT
- TWV WALL MOUNTED MONORAIL
- TW MONORAIL SYSTEMS
- IN GROUND UPLIGHT
- VA VANITY SCENCE
- VP VAPOR PROOF FIXTURE
- VP1 VAPOR PROOF WALL MOUNT
- WW RECESS WALL WASHER
- X READING LIGHT W/ INTEGRAL SWITCH
- Z SURFACE MOUNT UTILITY LIGHT

David Craig

David Craig | CLC | IALD
209 Hillside Lane
Telluride, CO 81435
970.729.1403

ZAPATA BOURS

Lot 8, The Ridge,
Telluride, CO 81435

2025.04.15 IAR SUBMISSION

L0 - LIGHTING FIXTURE SCHEDULE
L1 - OVERALL LOWER LEVEL LGHT PLAN
L1A - LOWER LEVEL AREA A
L1B - LOWER LEVEL AREA B
L2 - OVERALL MAIN LEVEL LGHT PLAN
L2A - MAIN LEVEL AREA A
L2B - MAIN LEVEL AREA B
L3A - UPPER LEVEL AREA A
LX1 - OVERALL LL EXT LIGHTING PLAN
LX1A - LL EXT LIGHTING PLAN - AREA A
LX1B - LL EXT LIGHTING PLAN - AREA B
LX2 - OVERALL ML EXT LIGHTING PLAN
LX2A - ML EXT LIGHTING PLAN - AREA A
LX2B - ML EXT LIGHTING PLAN - AREA B

MAIN LEVEL EXTERIOR LIGHTING PLAN

LX2B

1
LX2B

MAIN LEVEL EXTERIOR LIGHTING PLAN - AREA B
SCALE: 1/4" = 1'-0"

PROJECT

ADDRESS

SUBMITTAL

SHEET INDEX

DWG TITLE

DWG NO.

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER AND WATER: TOWN OF MOUNTAIN VILLAGE
BROADBAND: CLEARNETWERX
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2024-11-04
SUBMITTAL	2025-02-19
SUBMITTAL	2025-04-16

The Ridge
Lot 8
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

Arch 100'-0" = USGS 5910.0

C1



P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2024-11-04
SUBMITTAL	2025-02-19
SUBMITTAL	2025-04-16

The Ridge
Lot 8
Mtn. Village, CO

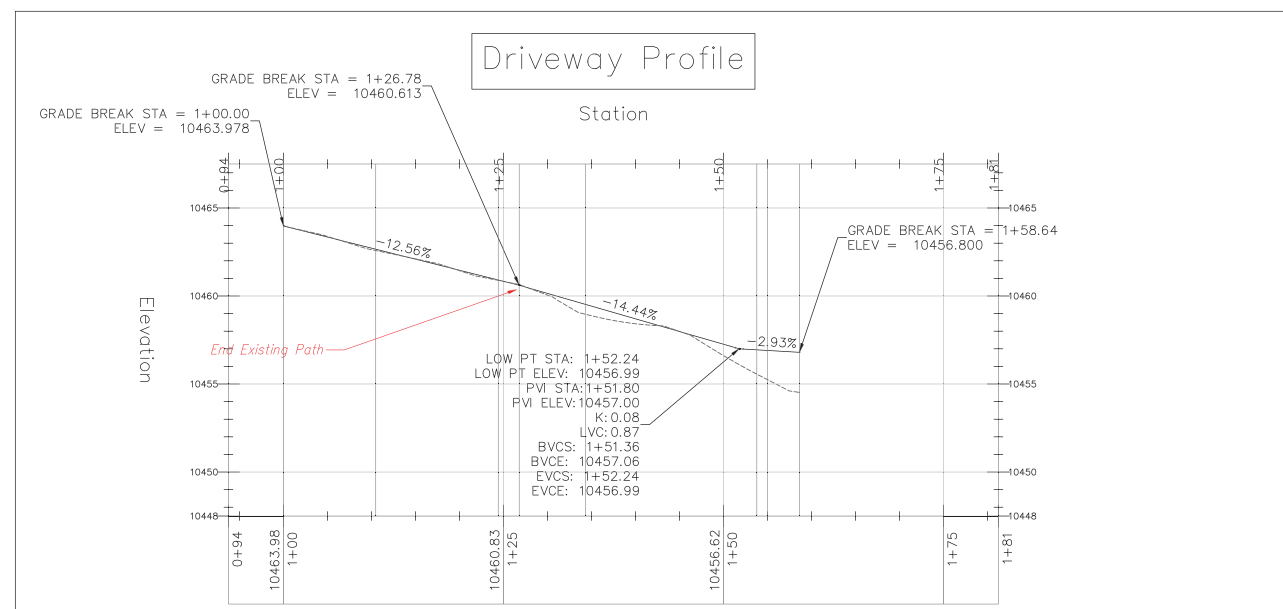
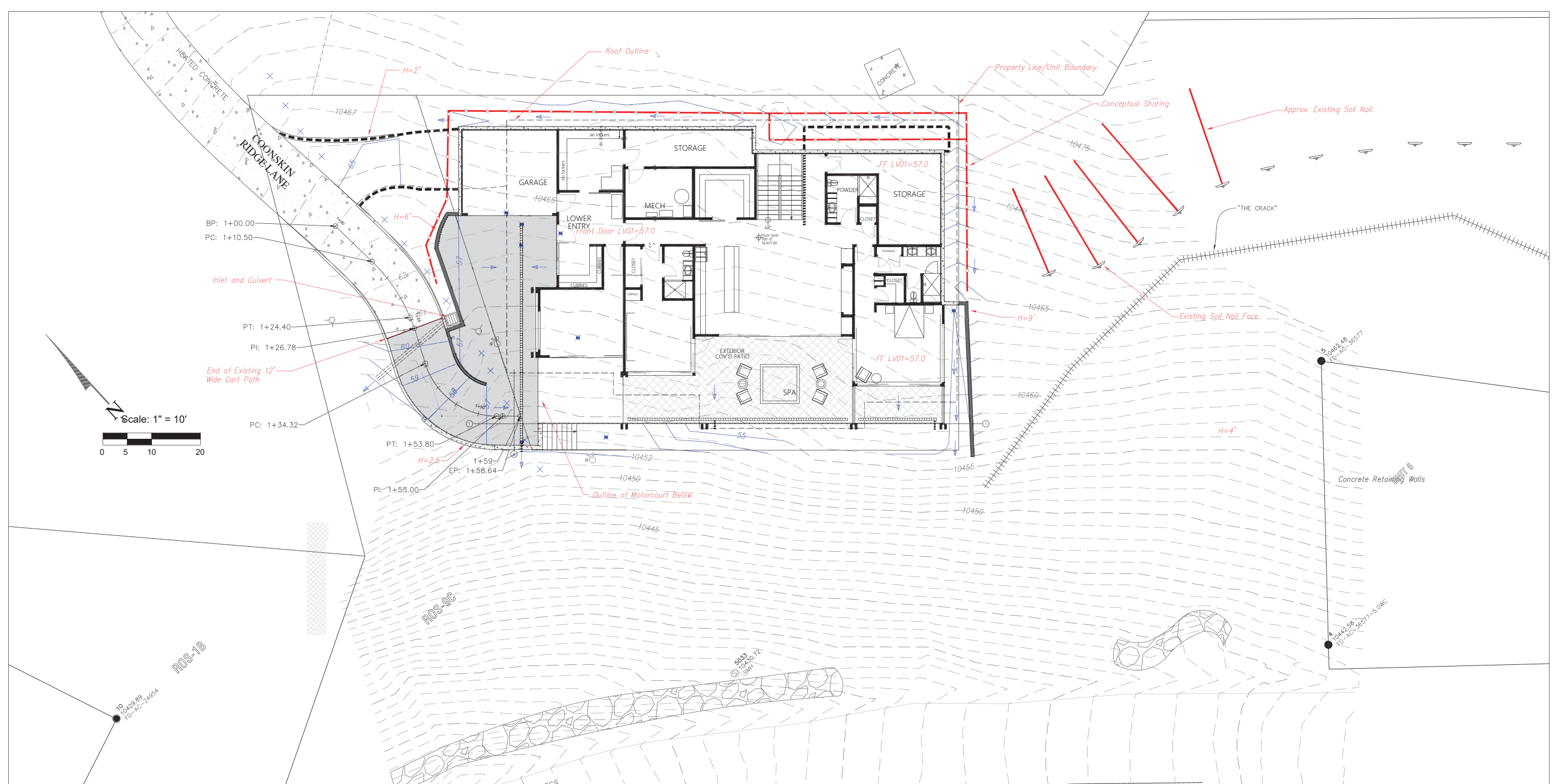


CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Grading and Driveway Profile

Arch 100'-0" = USGS 5910.0

C2.1





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2024-11-04
SUBMITTAL	2025-02-19
SUBMITTAL	2025-04-16

The Ridge
Lot 8
Mtn. Village, CO

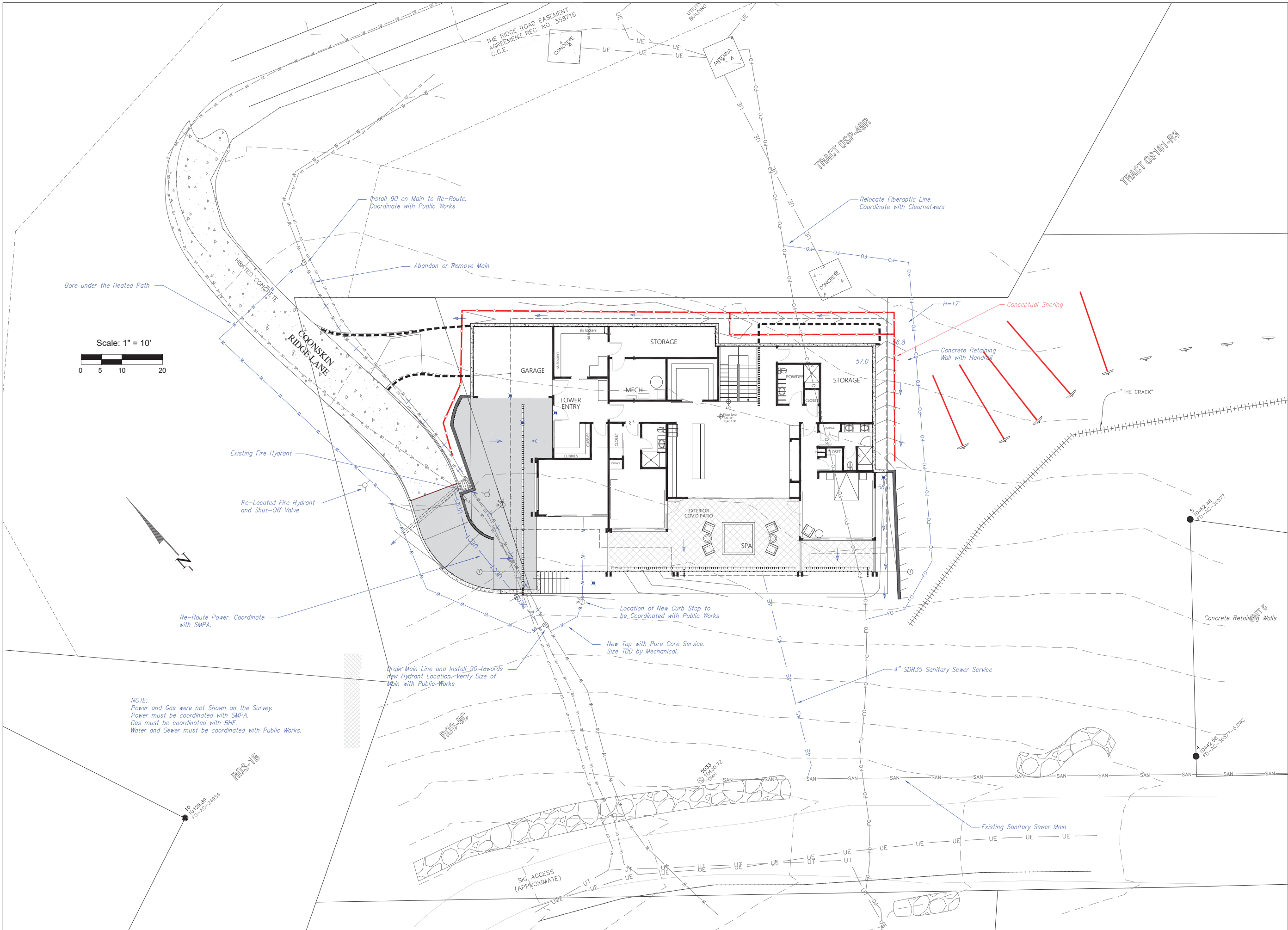


CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

Arch 100'-0" = USGS 5910.0

C3





Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2024-11-04
SUBMITTAL	2025-02-19
SUBMITTAL	2025-04-16

The Ridge
Lot 8
Mtn. Village, CO



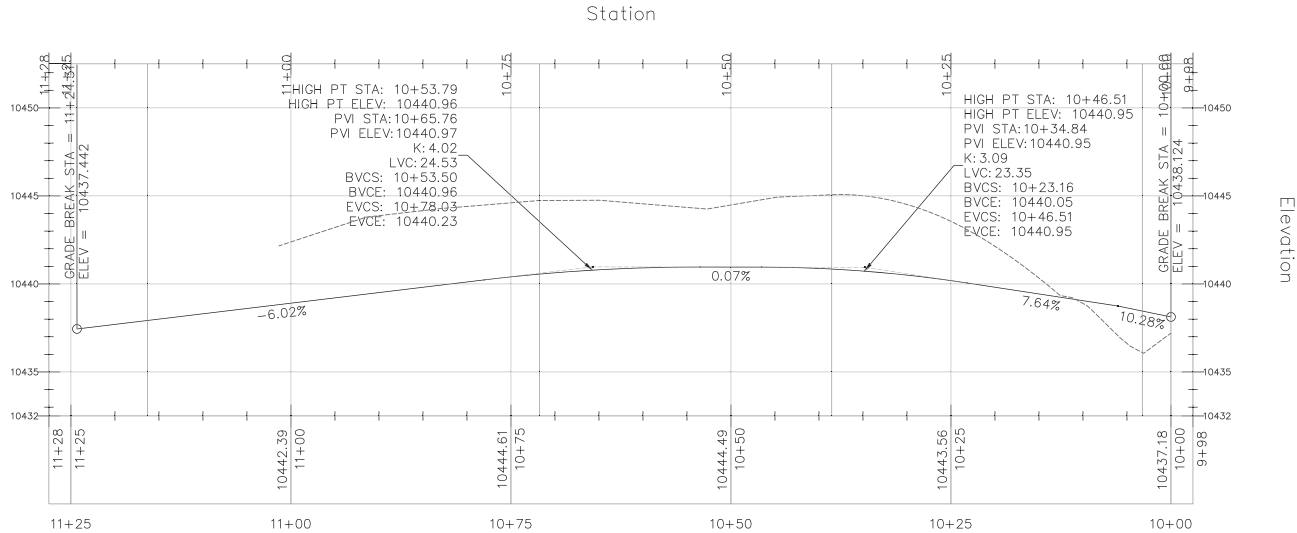
CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction
Access

Arch 100'-0" = USGS 5910.0

C4.1

Construction Access Profile





The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000

Aspen Area Pura Siding Projects

PURA® NFC
BY TRESPA

Aspen, Colorado
Multifamily



PU02
Classic Oak



For more information, visit [www. TRESPA.COM](http://www.TRESPA.COM)

Think Trespa

PURA® NFC

TRESPA®

Aspen Area Pura Siding Projects



Carbondale, CO residence
PU30 Tropical Ipe

Think Trespa

PURA ® MFC

TRESPA[®]

Aspen Area Pura Siding Projects



Homestead Condo renovation
Snowmass, CO
Mystic Cedar and Aged Ash decors

Think Trespa

PURA[®] HFC

TRESPA[®]

Aspen Area Pura Siding Projects



Henderson Residence
Snowmass, CO
Romantic Walnut decor



Think Trespa

PURA ® HFC

TRESPA ®

Aspen Area Pura Siding Projects



488 Castle Creek Rd
Aspen, CO
PU17 Aged Ash

Think Trespa

PURA ® MFC

TRESPA[®]

Aspen Area Pura Siding Projects



517 Park Circle
Aspen, CO
PU17 Aged Ash
NW04 Pacific Board

Think Trespa

PURA ® MFC

TRESPA[®]

Wall luminaires with directed light in one direction

Housing: One Piece, die cast aluminum housing with a one piece, die cast aluminum mounting plate. The mounting plate is supplied with a flat plate that mounts directly to a standard, recessed 4" octagonal wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

Enclosure: Clear tempered glass diffuser. Provided reflector made of pure anodized aluminum. Housing is secured to the mounting plate with two (2) mechanically captive, stainless steel set screws.

Electrical: 7.9W LED luminaire, 10.3 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, TRIAC, ELV, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 80 CRI. Available in 4000K, 3500K, and 2700K (80 CRI); add suffix K4 to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP64

Weight: 5.3 lbs.

Luminaire Lumens: 747

Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



Wall Luminaire • Down light					
	Lamp	β	A	B	C
33581	7.9W LED	25°	5 1/8	9	6

Solid Brass Interior or Exterior Accent Lighting Fixture
Suitable for Dry, Damp and Wet Location. Lamping: 1 x 4W LED 170 Lumens

PROJECT	TYPE DX	CATALOG NUMBER
---------	-------------------	----------------

Fixture Description:

A cast brass wet location wall sconce utilizing a 4 watt energy saving 35,000 hour LED lamp for uplighting, downlighting, wall washing or grazing illumination techniques.

Construction:

A solid brass sand casting with a glass sealed louvered aperture.

Electrical:

DLED-127: Remote 12V power supply required. **DLED-127-SSD:** 120V feed wire to LV. Integral electronic solid state power supply requiring a 120V-AC feed and supplying 12 Volt AC power to the led module. Power supply is dimmable using reverse phase technology with a neutral present.

Dimming:

Dimmable down to 20%.

Mounting:

Solid brass 8/32" phillips screws mount faceplate to custom housing.

NOTE: Fixture may be mounted directly to surface without the DL-278 Box and powered by a remote transformer.

Finishes:

1. Verde, 2. Satin Nickel, 4. White, 5. Ancient Bronze, 6. Brass Bronze, 7. Custom, 9. Ancient Verde, 10. Grey Bronze, 11. Rust Brown*, 12. Black*, 13. Pewter, 14. Oil-Rubbed Bronze, 15. Copper Edged Bronze, 16. Black Iron Textured Matte*

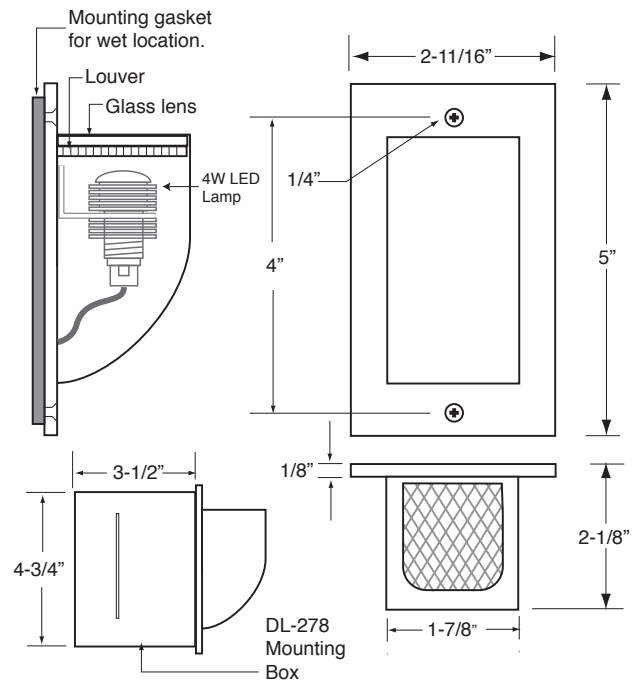
*Powder coat

Mounting Box:

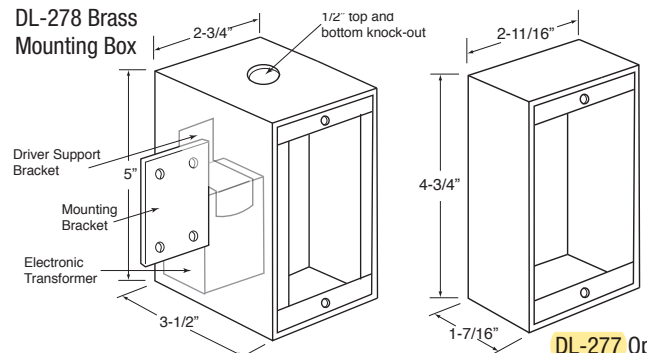
Cat. Number	Description
DL-278	Brass mounting box
DL-277	Optional brass shallow housing for remote driver

Lamp:

Cat. Number	Description
406	4W 2750K, LED, Spot or Flood (40°), 170 lumens 12V AC/DC, Optional beam patterns available



DL-278 Brass Mounting Box



DL-277 Optional Shallow Box for Remote Driver

To Form a Catalog Number:	Prefix. DLED-127-SSD	Voltage 120	Location DRY	Position UP	Lens B	Lamp 406	Finish
Which Specifies:	DLED-127-SSD Includes DL-278 mounting box and solid state driver	120V	DRY	UP	A - Linear	406- 4W 2750K LED	4 (White)
		277V	DAMP	DOWN	B - Diffusion	FL-Flood SP-Spot (other color temps. available)	See finishes above.
	DLED-127 Includes DL-278 mounting box. Requires remote transformer	12V	WET				
	Optional DL-277 Housing available						

Ordering Example: **DLED-127-SSD-120-DRY-UP-B-406-FL-4** (includes housing and solid state driver)
DLED-127-12V-DRY-UP-B-406-FL-4 (includes housing - remote transformer required)



SONOMA

IGR025402

The Sonoma directional marker is a high flux; low wattage LED luminaire. Coupled with a brass body, our Thermally Integrated® LED Module provides superior heat dissipation, longer life, and higher performance.

- Thermally Integrated® w/ Copper Core Technology®
- Cree LED™ XLAMP® High Intensity (XP-L)
- IC Rated for Interior, Exterior and Wet Location Use
- Ideal for driveways, wide pathways & walkways

CONFIGURATOR:

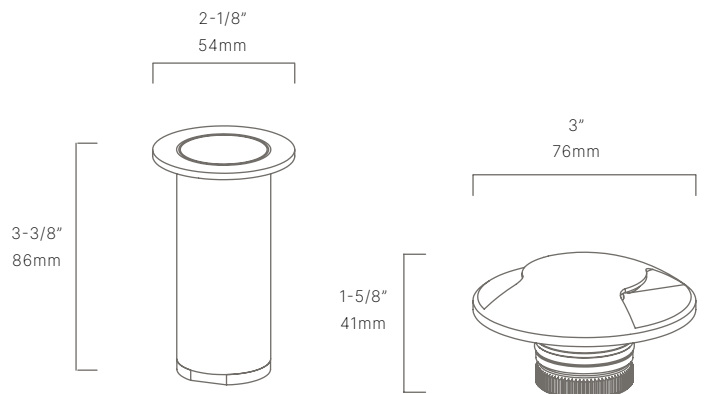
	LED	FINISH
IGR025402		
() = Most common configuration	(2703) 2700K 3W (3003) 3000K 3W	(NAT) Natural Brass (BLP) Bronze Living Patina (BLPX) Extra Dark BLP (NI) Nickel PVD

AVAILABLE FINISHES:



FIXTURE DIMENSIONS	D3" x H1-5/8"
LIGHT SOURCE	Integrated LED
COLOR TEMPERATURES	2700K, 3000K
WATTAGES	3W
CRI (RA)	80 CRI
VOLTAGE	12V
DELIVERED LUMENS	38lm (3000K)
DIMMABLE	Yes, Dim to <10% via Transformer
DRIVER	Yes, 12V Integral Constant Current
TRANSFORMER	12V AC/DC (Supplied by others)
MOUNT	Included CJB112105
BEAM SPREAD	Opposing 90°
FINISH	Included Natural Brass
MATERIAL	Brass & Copper
WIRE LENGTH	24"
LOCATION	Interior & Exterior Wet
CERTIFICATIONS	UL, IP66, IP67, IC, Drive Over

*For complete warranty terms, please visit: www.auroralight.com/warranty/



ADD-ONS

MOUNTS

SCE008	Side Conduit Entry
MJB112402	Micro J-Box
MJB112502	Micro J-Box w/ Flush Mount

*For complete details, please visit auroralight.com/mounts/





IMPACT ISL1-LED

RECESSED LED LUMINAIRE PATH & STEPLIGHT

In-wall 3.4-watt DC LED path or step light. Wide low-glare aperture projects light 4' at 4' width delivering minimum 1 fc up to 10 fc. Creates discreet path lighting for residential, commercial and hospitality applications. Durable precision milled 316 stainless steel or brass casting. 80+ CRI, delivering 43 lumens. Available in 2700K, 3000K, 3500K & 4000K color temperatures. Dry / Damp and Wet location.



PERFORMANCE

LUMINAIRE PERFORMANCE			
LED Configuration	Delivered Lumens lm	Power Consumption W	Luminous Efficacy lm/W
80L-02B	43	3.4	12.6

ORDERING INFORMATION - FIXTURE

ISL1	-		-	80L	02B	
↑ IMPACT STEPLIGHT		↑ RATING 1 Dry / Damp (Non-Locking) 2 Wet (Locking)		↑ CRI / LED 80L 80+ CRI	↑ SOURCE LUMENS 02B 200lm	↑ CCT 1 2700K 2 3000K 3 3500K 4 4000K C Custom Color (gel) ³ Color Temp: _____ K
		↑ POWDER COAT FINISH WH White BK Black AG Satin Silver AB Architectural Bronze CF Custom Finish ¹ Designation: _____ (Ex. RAL1234)	↑ NATURAL FINISH IG Industrial Gray SS Brushed Stainless Steel BR Brushed Bronze NB Natural Bronze	↑ PLATED FINISH CH Chrome PB Polished Oil-Rubbed Bronze MB Matte Oil-Rubbed Bronze ²		
		¹ Powder coat only, no plated finishes; custom finishes assigned unique suffix upon receipt of order, consult factory for additional cost. ² Dry / Damp location only				³ Custom gels assigned unique suffix upon receipt of order. Contact Product Support for guidance.

MOUNTING OPTIONS FOR REMOTE POWER SUPPLY - SELECT ONLY ONE (SEE PAGE 3 FOR MOUNTING PROVISION DETAILS)

WET OR DRY / DAMP LOCATION

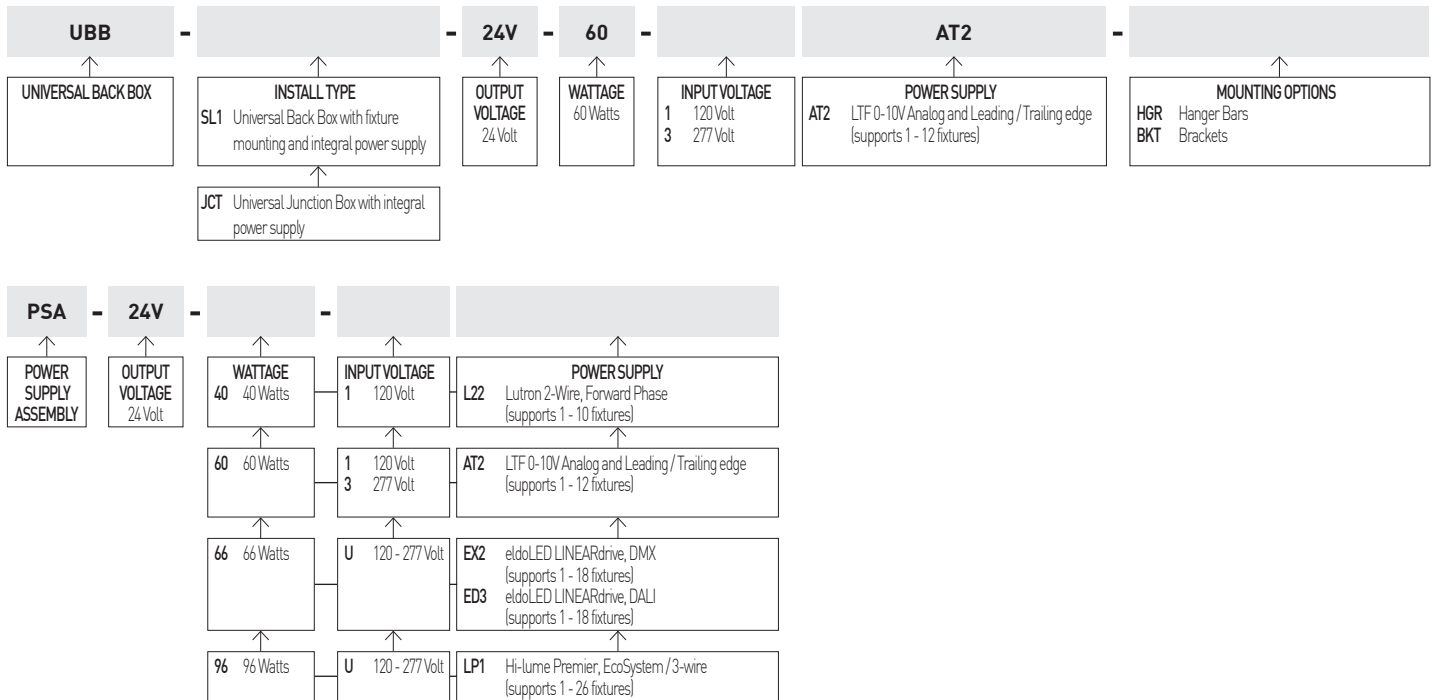
- ☐ **SSL-UMP**
Universal Mounting Plate
- ☐ **SSL-MP-(1.50 / 1.75 / 2.00 / 2.50 / 3.00)**
Mounting Plate; specify collar depth
- ☐ **SSL-BB**
Back Box with SSL-UMP mounting plate
- ☐ **SSL-BB-(1.50 / 1.75 / 2.00 / 2.50 / 3.00)**
Back Box with SSL-MP mounting plate; specify collar depth
- ☐ **SSL-SMB-(finish)**
Surface Mount Box; specify finish, powder coat only

DRY / DAMP LOCATION ONLY

- ☐ **SSL-RM**
Remodel-Mount collar (drywall / plasterboard)
- ☐ **SSL-CC**
Cavity Collar
- ☐ **SSL-SC3**
Stud-Mount collar (3")
- ☐ **SSL-SC6**
Stud-Mount collar (6")

IMPACT ISL1

POWER SUPPLY OPTIONS



FOLLOWING POWER SUPPLY FOR DEMONSTRATION AND SAMPLING PURPOSES ONLY. NOT FOR PERMANENT INSTALLATIONS.

☐ **PSA-24V-25-1EL2** Plug-in 120V Class 2 power supply (Supports 1 fixture)

TECHNICAL

CONSTRUCTION

Impact: Cast 316 stainless steel or brass, depending on finish.

Mounting Plates and Mounting Collars: Stainless Steel.

Single-gang Weatherproof Box: Aluminum.

Surface Mount Box: Aluminum.

Universal Back Box: Polycarbonate.

LED

Proprietary 2 step MacAdam ellipse LED module available with 80+ CRI in color temperatures of 2700K, 3000K, 3500K and 4000K. Average rated lamp life: 50,000 hours.

POWER SUPPLY PERFORMANCE AND DIMMING INFORMATION

Power Supply	AT2	L22	LP1	EX2	ED3
Minimum °C	-20 °C	0 °C	0 °C	-20 °C	-20 °C
Maximum °C	50 °C	40 °C	40 °C	50 °C	50 °C
Dimming %	10.0%	1.0%	0.1%	0%	0%

Note: For L22 and LP1 drivers consult chart on page 5 to confirm appropriate dimming curve for compatibility with selected control.

RECOMMENDED SPACING

Optimum 18" (457mm) above walking surface; 36" (914mm) on-center spacing.

ELECTRICAL

Luminaire requires factory-supplied 24-Volt DC power supply. May be integral to back box or remote. Secondary run lengths vary depending on power supply specified, see installation guidelines for run lengths.

LISTING

cTUVus Listed; Dark-Sky approved; Patent No. US D610,734 S; Dry / Damp (IP54 rated) and Wet (IP65 rated) location.

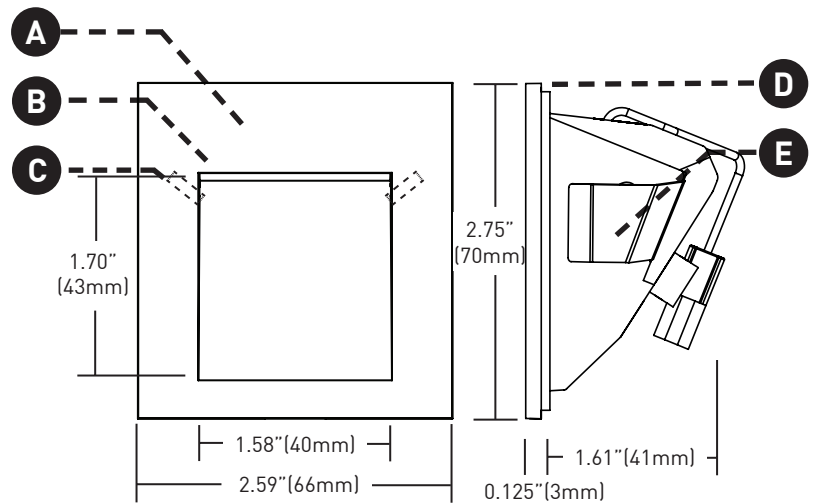
WARRANTY

Manufacturer's 1-year warranty guarantees product(s) listed to be free from defects in material and workmanship under normal use and service. 5-year warranty on LED and power supply to operate with 70% of the original flux and remain within a range of 3 duv. Warranty period begins from the date of shipment by Seller and conditional upon the use of manufacturer-supplied power supply. Consult website for full warranty terms and conditions.

FIXTURE

- A LED**
Regressed LED with wide low glare aperture, energy-efficient path and step lighting; suitable for dry / damp or wet applications. 3.4W DC LED (dimming by power supply).
- B EFFECTS DEVICES**
Provided with sealed polycarbonate linear diffusion lens; consult factory for availability of color gels, which may achieve custom color temperatures.
- C LOCKING**
Discreetly hidden tamper-resistant set screws. Included with IP65 Wet location luminaire.
- D GASKET**
Foam gasket provided. Required for IP65 wet location applications only.
- E RETENTION**
Torsion spring clips secure fixture into back box, mounting plate, or appropriately sized cut-out.

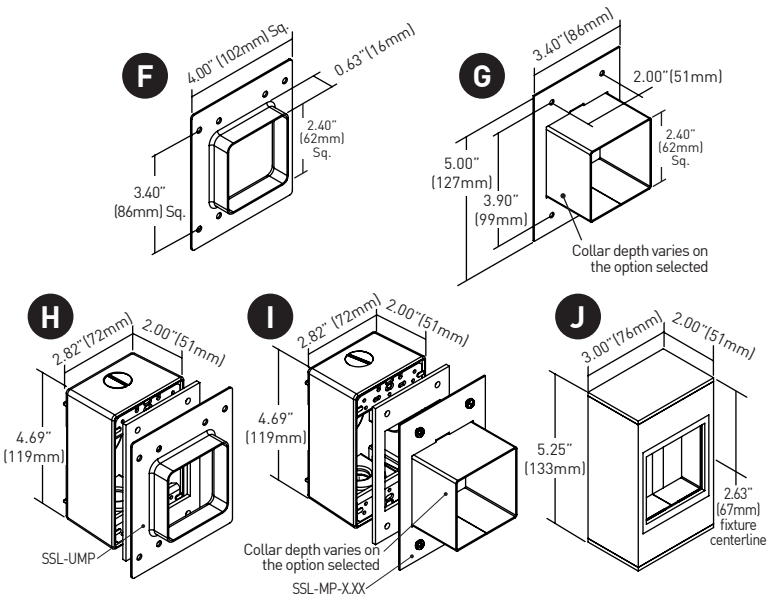
DIMENSIONS / DRAWINGS



MOUNTING REQUIRES REMOTE POWER SUPPLY

- F SSL-UMP**
Universal Mounting Plate typically used with two-gang switch box or 4-square junction box for dry /damp locations. May be used with customer-furnished single or two gang weatherproof box and factory supplied gasket for wet and concrete pour locations.
- G SSL-MP-(1.50 / 1.75 / 2.00 / 2.50 / 3.00)**
Mounting Plate includes gasket and features an extended collar for single-gang weatherproof box; specify preferred depth. Typically for wet and concrete pour locations.
- H SSL-BB**
Back Box equipped with SSL-UMP mounting plate and gasket. Typically used in wet and concrete pour applications. Features 1/2" knockouts.
- I SSL-BB-(1.50 / 1.75 / 2.00 / 2.50 / 3.00)**
Back Box equipped with SSL-MP-X.XX mounting plate and gasket; specify preferred depth. Typically used in wet and concrete pour locations. Features 1/2" knockouts.
- J SSL-SMB-(finish)**
Surface Mounting Box for interior or exterior applications, providing flush mount of luminaire. Receives secondary wiring through back of box. Powder coat finishes only.

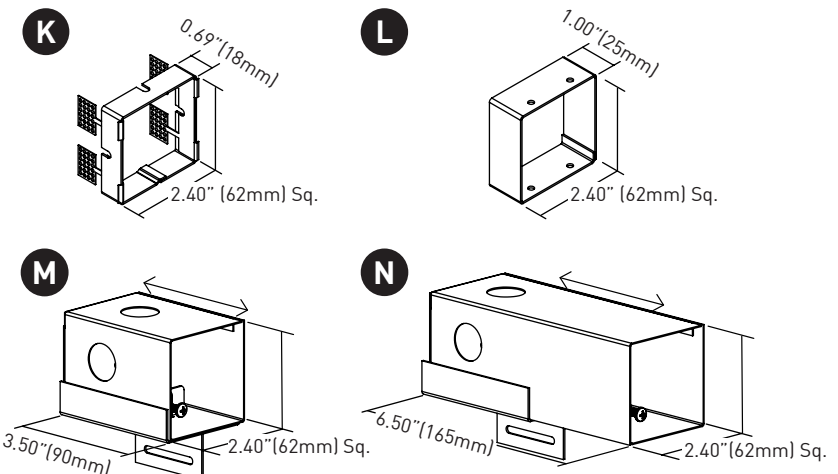
WET AND DRY / DAMP LOCATION



MOUNTING REQUIRES REMOTE POWER SUPPLY

- K SSL-RM**
Remodel Mount collar for installing fixture into drywall / plasterboard. Requires Class 2 power supply.
- L SSL-CC**
Cavity Collar for installing fixture into cavity or bore. Requires Class 2 power supply.
- M SSL-SC3**
Stud-mount Collar, adjusts with integral jackscrew from 1/2" to 3" for walls with varying substrate depths (rock, brick and stone). Features 1/2" knockouts for wiring.
- N SSL-SC6**
Stud-mount Collar, adjusts with integral jackscrew from 3" to 6" for walls with varying substrate depths (rock, brick and stone). Features 1/2" knockouts for wiring.

DRY / DAMP LOCATION ONLY



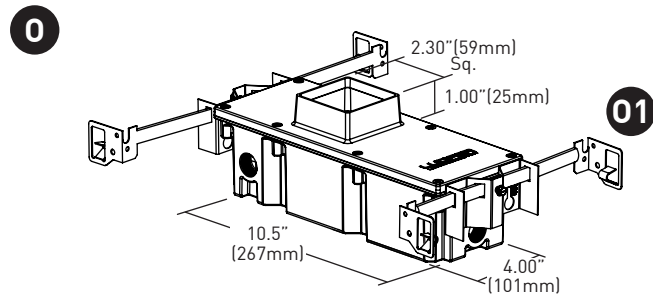
MOUNTING WITH INTEGRAL POWER SUPPLY

0 UBB-SL1-24V-60-XAT2-XXX

Universal Back Box, wet location and concrete pour rated. Can be specified with integral or remote power supply and features secondary output capacity, simplifying wiring practices and reducing budgets. See Page 2 for power supply options. Supplied with mounting hardware, specify "-HGR" or "-BKT". Shown with hanger bars [-HGR].

01 Hanger bars, adjust from 14" to 24" for standard joist spacing.

DIMENSIONS / DRAWINGS



REMOTE POWER SUPPLIES

P UBB-JCT-24V-60-XAT2-XXX

Universal Junction Box, wet location and concrete pour rated. Can be specified with integral or remote power supply and features secondary output capacity, simplifying wiring practices and reducing budgets. See Page 2 for power supply options. Supplied with "-HGR" or "-BKT" mounting hardware, shown with Bracket [-BKT].

P1 Brackets, universal stainless steel mounting flange.

Q PSA-24V-XX-XXXX

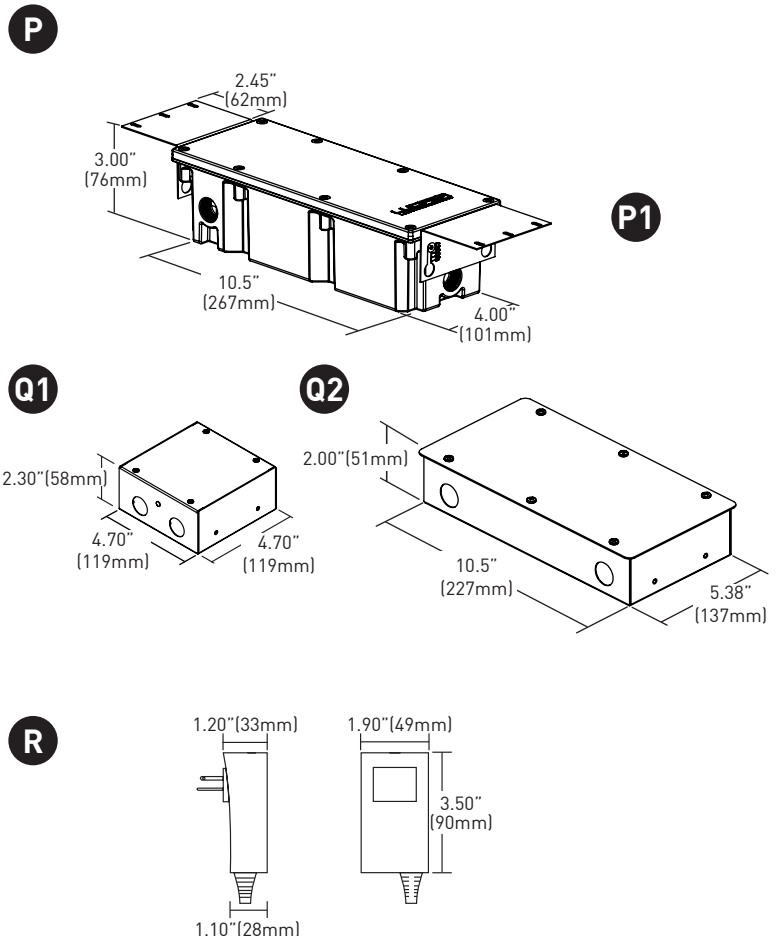
Hardwire Class 2 power supply, consists of a steel compartment and lid painted black with integral conventional electronic power supply. Wired in either a homerun or parallel method. See page 2 for power supply options.

Q1 Used for 60W electronic transformer (AT2).

Q2 Used for 40W, 66W and 96W electronic transformers (EX2, ED3, LP1 & L22).

R PSA-24V-25-1EL2

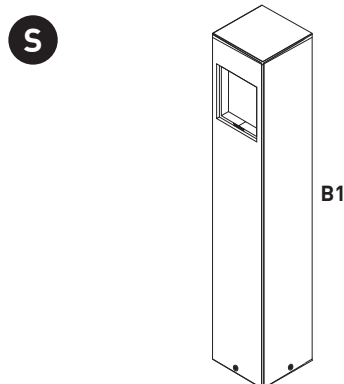
Plug-in Class 2 power supply, features connector to plug-in directly to standard fixture. **For demonstration and sampling purposes only. Not for permanent installation.**



BOLLARD

S BOLLARD

Free-standing mount. Available with integral or remote power supply. See BOLLARD spec sheet for complete details and ordering information.



LUTRON DIMMING COMPATIBILITY

Power supply L22 Product Family	Part No.	Drivers Per Control (120V only)	Power supply LP1 Product Family	120V Part No.	277V Part No.	Drivers per Control	
						120V	277V
Maestro WirelessR 600 W dimmer	MRF2-6ND-120-	1-8	NovaT®	NTF-10-	NTF-10-277-	1 - 16	1-19
Maestro WirelessR 1000 W dimmer	MRF2-10ND-120-	1-13		NTF-103P-	NTF-103P-277-	1-8	1-14
Caséta® Wireless Pro 1000 W dimmer	PD-10NXD-	1-13	Nova®	NF-10-	NF-10-277-	1-8	1-19
GRAFIK T™ CL® dimmer	GT-250M-, GTJ-250M-	1-10		NF-103P-	NF-103P-277-	1-8	1-14
HomeWorks® QS adaptive dimmer	HQRD-6NA-	1-8	Skylark®	SF-10P-	SF-12P-277-	1-8	1-14
HomeWorks® QS 600 W dimmer	HQRD-6ND-	1-8		SF-103P-	SF-12P-277-3	1-8	1-14
HomeWorks® QS 1000 W dimmer	HQRD-10ND-	1-13	Diva®	DVF-103P-	DVF-103P-277-	1-8	1-14
RadioRA® 2 adaptive dimmer	RRD-6NA-	1-8		DVSCF-103P-	DVSCF-103P-277-	1-8	1-14
RadioRA® 2 1000 W dimmer	RRD-10ND	1-13	Ariadni®	AYF-103P-	AYF-103P-277-	1-6	1-14
myRoom™ DIN power module	MQSE-4A1-D	1-6 (per output), 1A max driver input current	Maestro®	MAF-6AM-	MAF-6AM-277-	1-6	1-14
				MSCF-6AM-	MSCF-6AM-277-	1-6	1-14
			Maestro Wireless®	MRF2-F6AN-DV-		1-6	1-14
HomeWorks® QS DIN power module	LQSE-4A1-D	1-6 (per output), 1A max driver input current	RadioRA® 2	RRD-F6AN-DV-		1-6	1-14
			HomeWorks® QS	HQRD-F6AN-DV		1-6	1-14
			Interfaces	PHPM-3F-120	-	1-16	-
PHPM-3F-DV		1-16		1-38			
BCI-0-10		1-16		1-38			
HomeWorks® QS wallbox power module	HQRJ-WPM-6D-120	2-10 (per output), 26 total per module	GP Dimming Panels	Various		1-16	1-38
HomeWorks® wallbox power module	HWI-WPM-6D-120	2-10 (per output), 26 total per module	PowPak™ with EcoSystem	RMJ-ECO32-DV-B		32 per EcoSystem link	
GRAFIK Eye® QS control unit	QSGR-, QSGRJ-	2-10 (per output), 26 total per module		URMJ-ECO32-DVB		32 per EcoSystem link	
				FCJ-ECO		3 per EcoSystem link	
GRAFIK Eye® 3000 control unit	GRX-3100-, GRX-3500-	2-10 (per output), 26 total per module	Energi Savr Node™ with EcoSystem	QSN-1ECO-S, QSN-2ECO-S, QSN-2ECO-PS120, UQSN-1ECO-S, UQSN-2ECO-S		64 per EcoSystem link	
RPM-4U module (LCP, HomeWorks® QS, GRAFIK Systems™, Quantum®)	HW-RPM-4U-120, LP-RPM-4U-120	2-26 (per output), 26 total per module	GRAFIK Eye® QS with EcoSystem	QSGRJ-_E QSGR-_E	-	64 per EcoSystem link	
RPM-4A module (LCP, HomeWorks® QS, GRAFIK Systems™, Quantum®)	HW-RPM-4A-120, LP-RPM-4A-120	1-13 (per output), 26 total per module	HomeWorks® QS with EcoSystem	LQSE-2ECO-D, QSGRJ-_E, QSGR-_E		64 per EcoSystem link	
GP dimming panels	Various	1-26	Quantum®	QP2-_P_C		64 per EcoSystem link	
Ariadni CL 250W dimmer	AYCL-253P-	1-8					
Diva CL 250W dimmer	DVCL-253P-DCSCCL-253P-	1-8					
Nova T CL 250W dimmer	NTCL-250-	1-10					





SPEC-00275 ACROBAT 2.0, 2" SP, V-1.3, UPDATED 10/14/2022

ACROBAT 2" LED DOWNLIGHT SHALLOW PLENUM

A2-SIC, A2-SNC

PROJECT: Zapata Bours

TYPE: AX

NOTE:



ACROBAT PERFORMANCE AND PRECISION

A2-S - Shallow Plenum

Up to 1855 Delivered Lumens

Multiple Dimming Drivers Available

LED LIGHT ENGINE

RATED WATTAGE	10W, 15W, 20W
DELIVERED LUMENS	Up to 1855 lm @ 4000K-20W-30°Optic
EFFICACY	Up to 96.2 LPW @ 4000K-10W-30°Optic
CCT @ 90CRI	2700K, 3000K, 3500K, 4000K, Warm Dim
COLOR QUALITY	90+ CRI, 2-Step SDCM
LED LIFETIME	55,000 hours @ L90

DELIVERED LUMENS MATRIX

		10° Optic	30° Optic	50° Optic	80° Optic
10 Watt	2700K (90CRI)	848 lm	912 lm	874 lm	739 lm
	3000K (90CRI)	900 lm	968 lm	927 lm	785 lm
	3500K (90CRI)	943 lm	1014 lm	972 lm	822 lm
	4000K (90CRI)	978 lm	1052 lm	1008 lm	853 lm
	Warm Dim	572 lm	627 lm	587 lm	460 lm
15 Watt	2700K (90CRI)	1235 lm	1329 lm	1273 lm	1078 lm
	3000K (90CRI)	1311 lm	1410 lm	1351 lm	1144 lm
	3500K (90CRI)	1374 lm	1478 lm	1417 lm	1199 lm
	4000K (90CRI)	1425 lm	1533 lm	1469 lm	1243 lm
	Warm Dim	877 lm	961 lm	899 lm	705 lm
20 Watt	2700K (90CRI)	1495 lm	1608 lm	1541 lm	1304 lm
	3000K (90CRI)	1587 lm	1706 lm	1635 lm	1384 lm
	3500K (90CRI)	1663 lm	1789 lm	1714 lm	1451 lm
	4000K (90CRI)	1725 lm	1855 lm	1778 lm	1504 lm
	Warm Dim	1059 lm	1161 lm	1086 lm	852 lm

SILENT VU™ OPTICS TECHNOLOGY

OPTICS	10°, 30°, 50°, 80° available
MEDIA	Clear, Solite, Frosted, Linear Spread, Hex Louver

POWER SUPPLY

INPUT VOLTAGE	120-277V, 50/60Hz
DIMMING	Multiple dimming drivers available
SERVICEABILITY	Below Ceiling Access

TRIM OPTIONS

- Round or Square
- Pinhole, Slot Pinhole
- Wet Location
- Standard or Trimless
- Wall Wash

TRIM COLORS

- White
- Champagne
- Black
- Satin Aluminum
- Custom Color

REFLECTOR COLORS

- White
- Champagne
- Black
- Satin Aluminum
- Clear Alzak
- Custom Color

HOUSING INSTALLATION

- New Construction includes (2) galvanized steel adjustable hanger bars
- 5/8" – 2" ceiling thickness
- Min Plenum Height: 2½" Shallow
- Ceiling Material: Drywall, T-bar grid, Wood and Millwork
- Steel junction box with up to (6) ½" knockouts
- SIC models are Air Tight
- SIC models are CCEA (Chicago Plenum)
(Note: polycell spray-in foam insulation must be kept 3" from housing)

LISTINGS AND WARRANTY

cULus Listed for 40°C Ambient	ASTM E283 Certified Airtight for IC Rated Housings
UL Listed for Damp Location	UL Listed for Wet Location (Wet Location Trim Style)
IC Rated and Non IC Rated Available	CCEA (Chicago Plenum) Approved for IC Rated Housings
Five (5) years limited warranty	CA Title 24-JA8 Compliant



WET
LOCATION

DAMP
LOCATION

IC
RATED

SSS
AIR TIGHT



JA8 TITLE
24
COMPLIANT
90 CRI OPTION ONLY

5 YEAR
LIMITED WARRANTY





ACROBAT 2" LED DOWNLIGHT SHALLOW PLENUM

SPEC-00275 ACROBAT 2.0, 2" SP, V-1.3, UPDATED 10/14/2022

A2-SIC, A2-SNC

PROJECT: _____

TYPE: _____

NOTE: _____

ORDER MATRIX

A2-SIC, A2-SNC

2" SHALLOW PLENUM NEW CONSTRUCTION HOUSING (EXAMPLE: A2-SIC-RST-02790-30-10S-SHB)

HOUSING BASE					
FAMILY APERTURE	INSTALLATION TYPE		TRIM SHAPE	TRIM STYLE	
A2- Acrobat 2"	SIC	(Shallow Plenum New Construction, IC, CCEA)	-R (Round)	ST	(Standard)
	SNC	(Shallow Plenum New Construction)	-S (Square)	TL	(Trimless)
				WC	(Wood Ceiling)
CEILING	LED PERFORMANCE		OPTIC AND MEDIA		
CEILING THICKNESS	CCT	CRI	OPTIC	MEDIA 1	MEDIA 2
-0 (5/8" Ceiling Thickness)	27 (2700K)	90 (90 CRI)	-10 (10° Spot)	(blank) (None)	(blank) (None)
-1 (1 1/4" Ceiling Thickness)	30 (3000K)		-30 (30° Narrow Flood)	CL (Clear Lens)	CL (Clear Lens)
-2 (2" Ceiling Thickness)	35 (3500K)		-50 (50° Flood)	MP (Solite Lens)	MP (Solite Lens)
	40 (4000K)		-80 (80° Wide Flood)	FR (Frosted Lens)	FR (Frosted Lens)
	WD³ (1800K~3000K)			LS (Linear Spread Lens)	LS (Linear Spread Lens)
				HX¹ (Hex Louver)	
DRIVER ASSEMBLY					
WATTAGE	LED DIMMING DRIVER		HANGER BAR		
-10 (10 Watt)	S⁴ (Universal Dim Driver: 1%-100% 0-10V, TRIAC, ELV, 120V/277V)		-SHB (Standard)		
-15 (15 Watt)			-C24 (24" C-Channel)		
-20² (20 Watt)	SR1⁴ (Remote Universal Dim: 1%-100% 0-10V, TRIAC, or ELV, 120V/277V)		-C48 (48" C-Channel)		

1. Cannot be used with a second media.

2. 20 Watt option only available for SNC (Shallow Plenum New Construction) only.

3. Media 1 lens required. For WD with 10°, 30°, 50° Optic use MP (Solite Lens). For WD with 80° Optic use FR (Frosted Lens).

4. TRIAC, ELV dimming for 120V only.

2" SHALLOW PLENUM NEW CONSTRUCTION TRIM (EXAMPLE: A2-RSTWT-STWT-NL)

TRIM				REFLECTOR		
FAMILY APERTURE	TRIM SHAPE	TRIM STYLE	TRIM FINISH	REFLECTOR STYLE	REFLECTOR FINISH	REFLECTOR LENS
A2- Acrobat 2"	R (Round) S (Square)	ST (Standard)	TL⁴ (Trimless/Wood Ceiling)	-ST² (Standard)	WT (White)	-NL (No Lens)
		TL (Trimless)	WT (White/)	-PH² (Pinhole)	BK (Black)	-CL (Clear)
		WC (Wood Ceiling)	BK (Black)	-SP² (Slot Pinhole)	CA³ (Clear Alzak)	-MP (Solite)
			CN (Champagne)	-WW (Wall Wash)	CN (Champagne)	-FR (Frosted)
			SA (Satin Aluminum)		SA (Satin Aluminum)	
			CC¹ (Custom Color)		CC¹ (Custom Color)	

1. Custom color only available for ST (Standard) Trim and ST (Standard), AL (Adjustable Lens) Reflectors only, contact CSL for details.

2. Wet Location rated when used with Additional Reflector Lens.

3. CA (Clear Alzak) Finish only available for Round reflectors as ST (Standard) or AL (Adjustable Lens) styles.

4. Must be used with TL or WC trim style.

EMERGENCY OPTIONS

EM-1000 (25W Remote Inverter)

EM-1003 (35W Remote Inverter)

EM-1004 (50W Remote Inverter)

EM-1002 (10W Remote Inverter)

EM-1003-CA (35W Remote Inverter) Title 20

EM-1006 (25W Remote Inverter) Title 20



ACROBAT 2" LED DOWNLIGHT SHALLOW PLENUM

PROJECT: _____

TYPE: _____

NOTE: _____

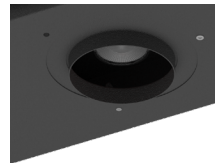
SPEC-00275 ACROBAT 2.0, 2" SP, V-1.3, UPDATED 10/14/2022

A2-SIC, A2-SNC

HOUSING AND LIGHT ENGINE LINE DRAWINGS

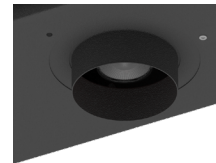
A2-SIC, A2-SNC
Shallow Plenum Housing

CEILING THICKNESS



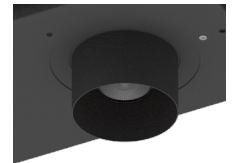
-0

5/8" Ceiling Thickness



-1

1 1/2" Ceiling Thickness



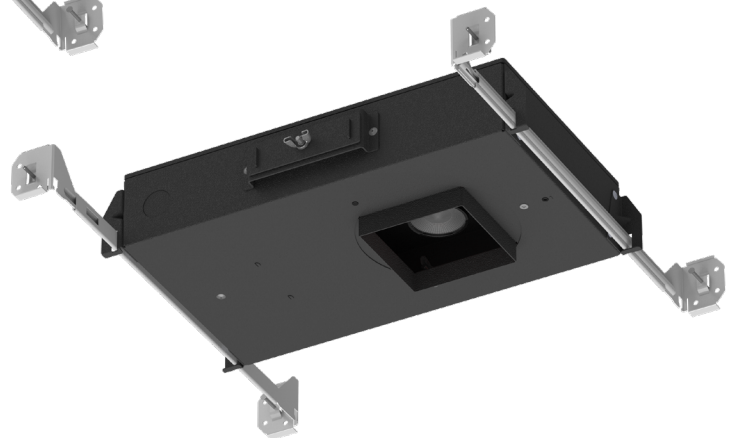
-2

2" Ceiling Thickness



A2-SIC-R

Acrobat 2" - Shallow Plenum New Construction IC Housing - Round



A2-SNC-R

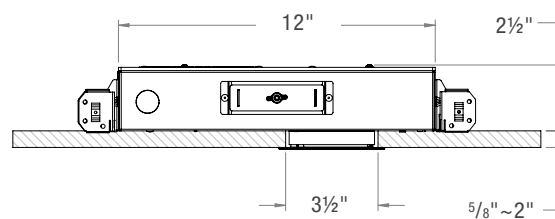
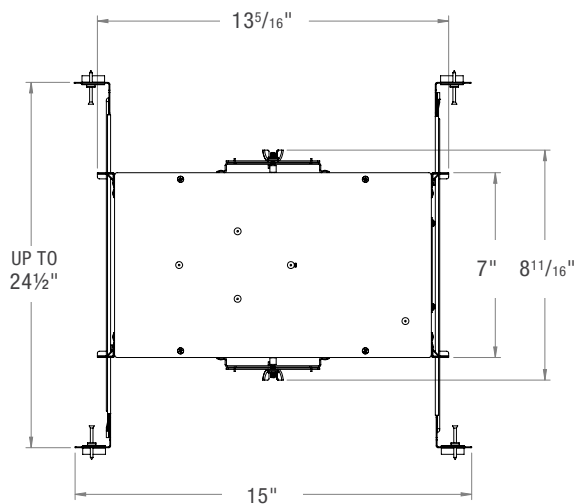
Acrobat 2" - Shallow Plenum New Construction Housing - Round

A2-SIC-S

Acrobat 2" - Shallow Plenum New Construction IC Housing - Square

A2-SNC-S

Acrobat 2" - Shallow Plenum New Construction Housing - Square





ACROBAT 2" LED DOWNLIGHT SHALLOW PLENUM

PROJECT: _____

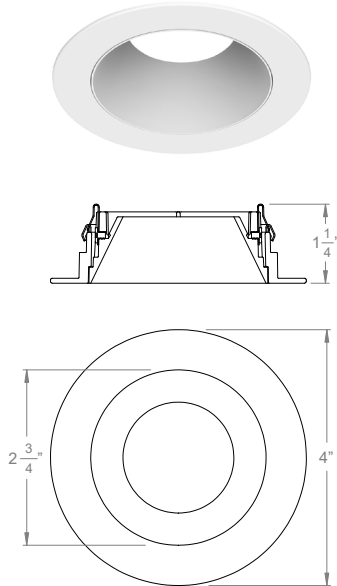
TYPE: _____

NOTE: _____

SPEC-00275 ACROBAT 2.0, 2" SP, V-1.3, UPDATED 10/14/2022

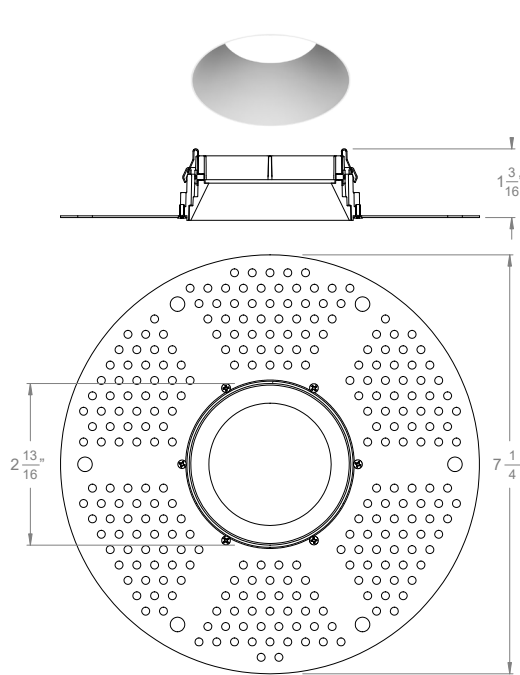
A2-SIC, A2-SNC

TRIM STYLES



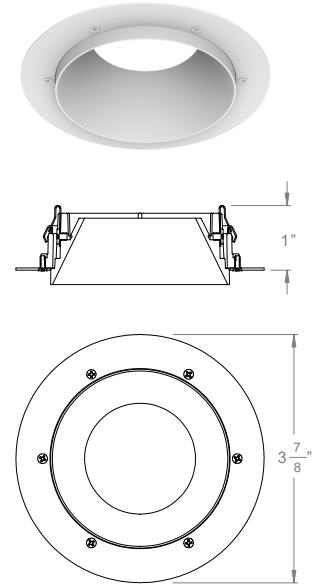
RST

2" Acrobat Round Standard Trim
(with Standard Reflector)



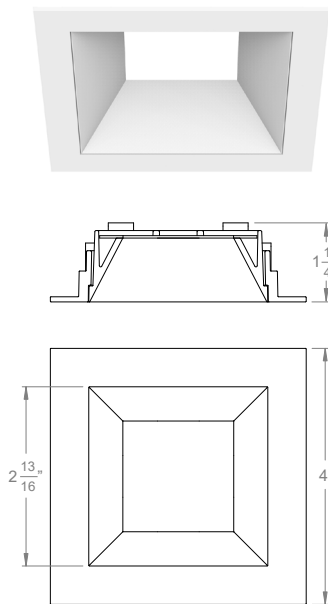
RTL

2" Acrobat Round Trimless Mud Plate
(with Standard Reflector)



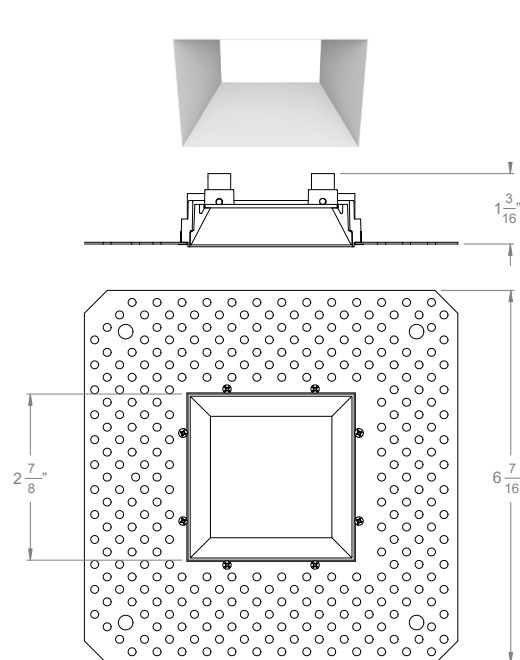
RWC

2" Acrobat Round Wood Ceiling Trim
(with Standard Reflector)



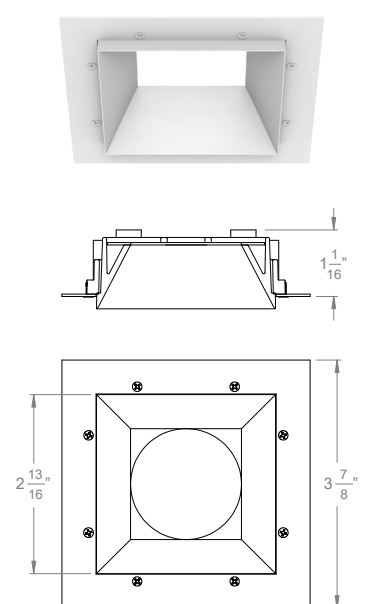
SST

2" Acrobat Square Standard Trim
(with Standard Reflector)



STL

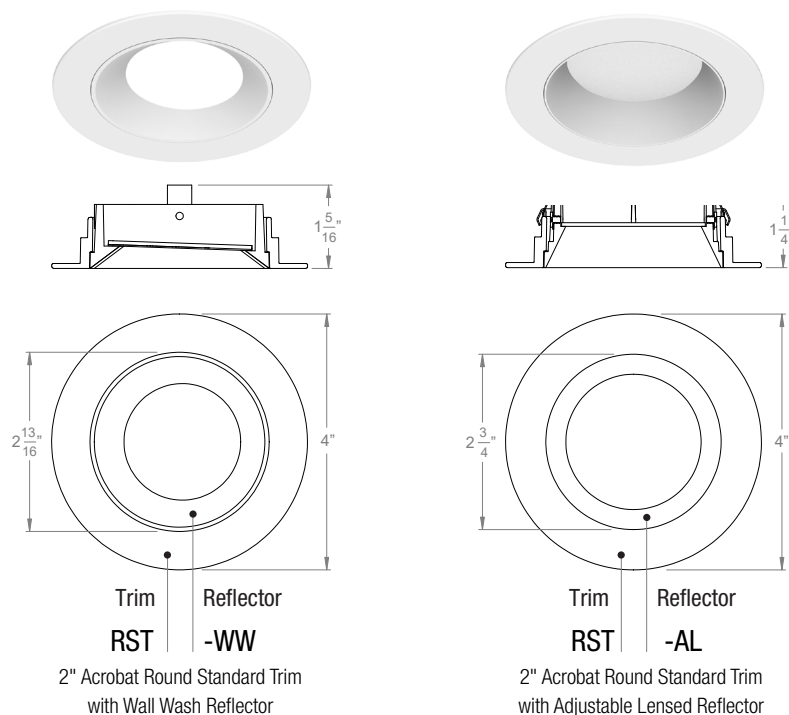
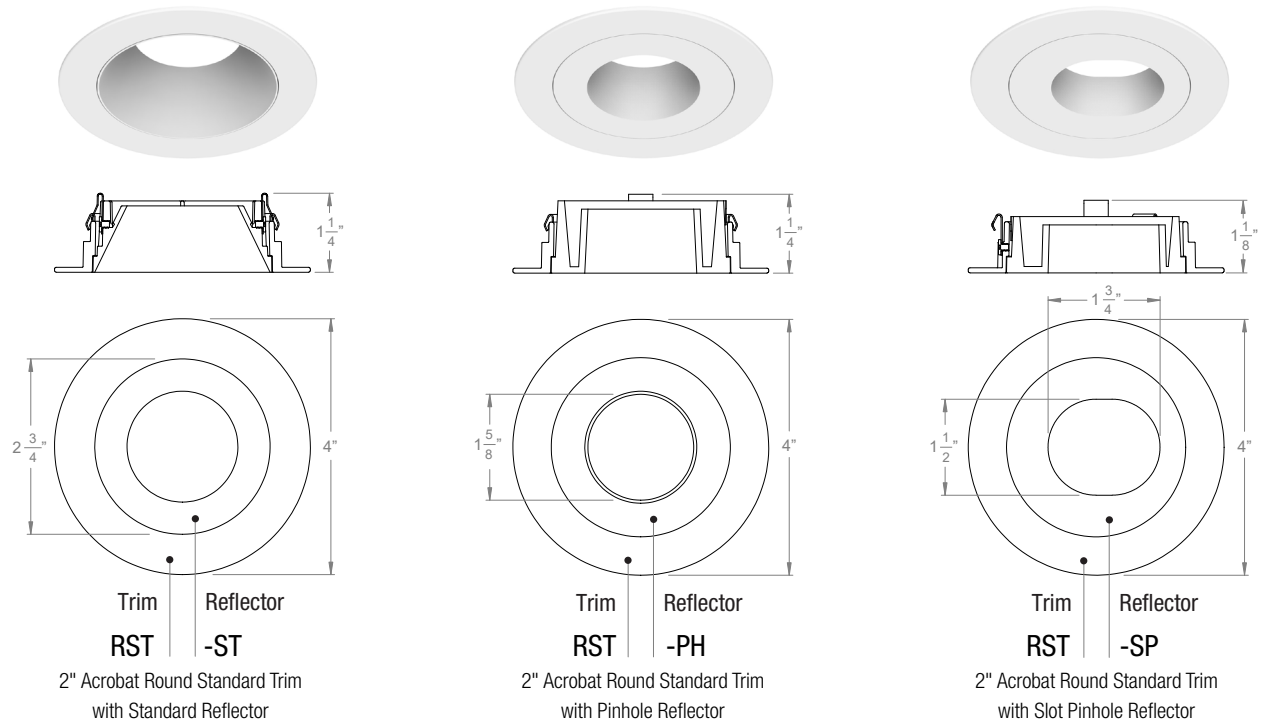
2" Acrobat Square Trimless Mud Plate
(with Standard Reflector)



SWC

2" Acrobat Square Wood Ceiling Trim
(with Standard Reflector)

REFLECTOR STYLE (ROUND)





ACROBAT 2" LED DOWNLIGHT SHALLOW PLENUM

PROJECT: _____

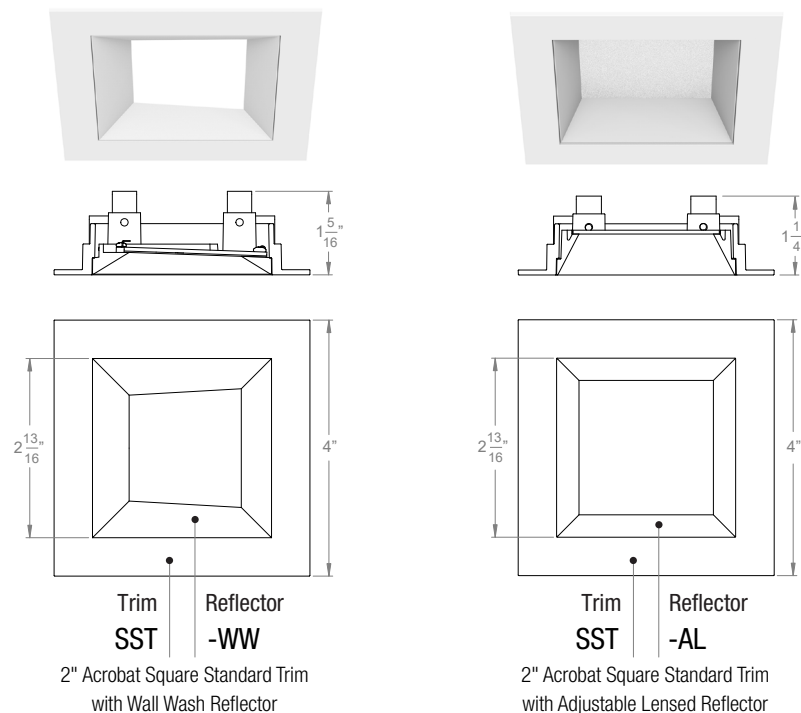
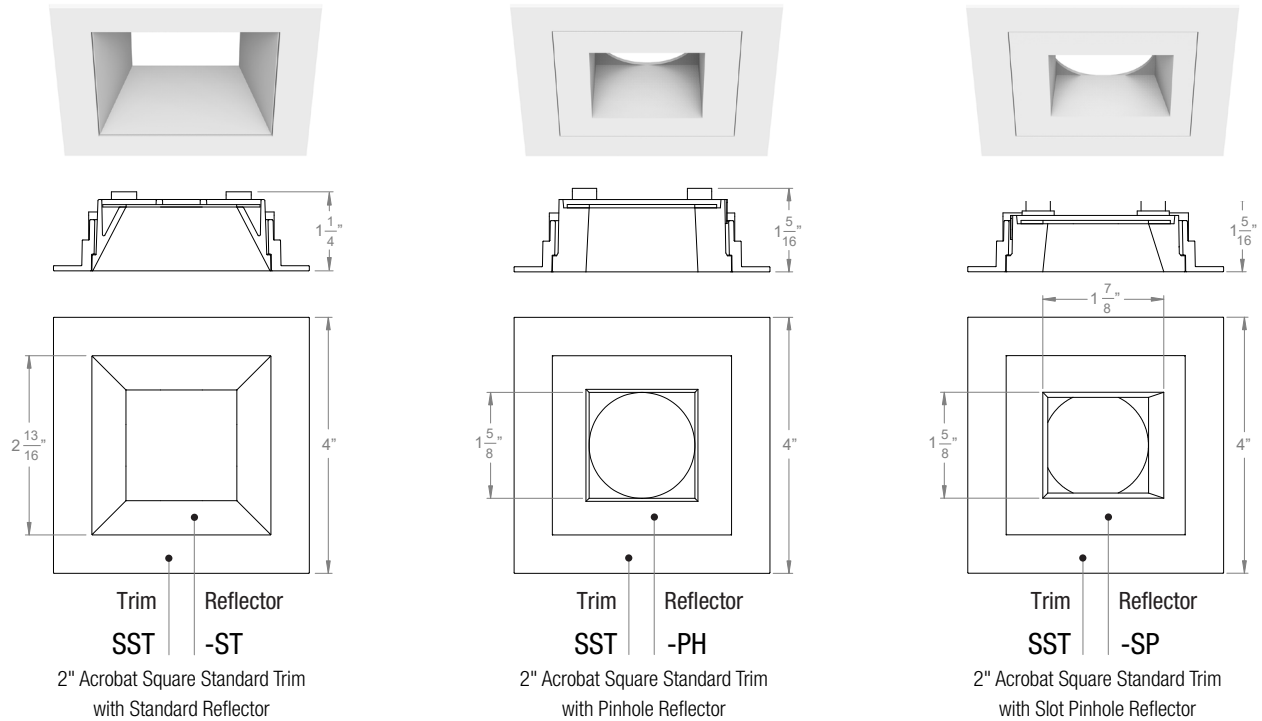
TYPE: _____

NOTE: _____

SPEC-00275 ACROBAT 2.0, 2" SP, V-1.3, UPDATED 10/14/2022

A2-SIC, A2-SNC

REFLECTOR STYLE (SQUARE)



Glenwood Springs Office
910 Grand Avenue, Suite 201
Glenwood Springs, Colorado 81601
Telephone (970) 947-1936
Facsimile (970) 947-1937

GARFIELD & HECHT, P.C.
ATTORNEYS AT LAW
Since 1975

www.garfieldhecht.com

M E M O R A N D U M

DATE: March 31, 2025

TO: Amy Ward, Mountain Village Community Development Director

FROM: David McConaughy, Town Attorney

RE: Ridge Unit 8

You asked for an interpretation of building rights outside the platted building envelope for Unit 8, the Ridge. As Town Attorney I offer advice to the Town and its departments and employees. I do not offer legal opinions to land use applicants or members of the general public. This memo therefore provides advice for you and the DRB to consider. If the applicant desires a legal opinion, they should consult with their own attorney.

Proposed Development Outside Building Envelope

The applicant proposes construction of retaining walls outside the building envelope ranging from 4 feet to 17 feet in height. At least some of these retaining walls would be constructed to allow for a patio/outdoor living space not related to access such as a driveway or path. While the patio itself would be within the building envelope, the retaining walls required for it would extend outside the envelope.

Development Agreement

Unit 8 is subject to the Development Agreement recorded on April 21, 2004 as Reception No. 365622. That document itself does not specifically allow or prohibit construction outside of platted building envelopes. However, it does set forth the DRB's position on this topic and requires certain provisions to be included in the Declaration of Covenants for the project which would limit development and may be enforced by parties to the Declaration. Specifically, Section 3.2.4 requires a covenant prohibiting "development" outside the building envelopes which is defined to include, among other things, buildings and structures, clearing, grading, paving, landscaping or hardscaping.

Community Development Code

Section 17.5.5.A.1 of the CDC states, "Siting of buildings and routing of driveways, utilities, walkways, drainage, etc. shall be designed to blend with the topography and avoid unnecessary disturbances to existing vegetation, ponds, streams and wetlands." Planning staff has pointed this

out and has recommended that the DRB consider whether the overall design complies with this general goal.

CDC Section 17.5.5(B)(3) authorizes the creation of building envelopes. That section provides that “all improvements” must be located within the building envelope. That can’t be strictly correct because obviously you’d have a driveway outside the building envelope, which might require retaining walls, drainage structures, etc. However, CDC Section 17.6.6 (Driveway Standards) limits retaining walls for driveways to 5 feet. I’m not aware of any other exception that would allow a 17 foot retaining wall for any purpose.

CDC Section 17.3.14 refers to setbacks including but not limited to the General Easement. Section C states that the GE “or other setbacks shall be maintained in a natural, undisturbed state....” Section D prohibits “walks, hardscape, terraces and patios” outside any applicable setback. A building envelope is effectively a setback, and a 17-foot retaining wall would be inconsistent with the requirement to leave such areas in a natural, undisturbed state.

Conclusion

Retaining walls of up to 5 feet to accommodate a driveway should be permitted if they are properly sited and meet other design standards. Higher retaining walls for other purposes such as allowing for a patio appear to be prohibited absent a formal variance.



AGENDA ITEM 6
COMMUNITY DEVELOPMENT DEPARTMENT
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Amy Ward, Community Development Director

FOR: Design Review Board Regular Meeting, May 1, 2025

DATE: April 23, 2025

RE: Conceptual Work Session for Lot 166AR2-3 to discuss a proposed height variance for a new Single-Family residence, pursuant to CDC sections 17.4.16

Work Session Overview

PROJECT GEOGRAPHY

Legal Description: LOT 166 AR2 3 TELLURIDE MOUNTAIN VILLAGE A REPLAT OF LOT 166 AR2 1 THROUGH 166 AR2 15 AND TRACT OS166R AND OSP51RA AND OSP 51RB AND PARCEL A LOCATED IN SEC 3 AND 10 T42N R9W NMPM TOWN OF MOUNTAIN VILLAGE COUNTY OF SAN MIGUEL COLORADO ACC TO REPLAT REC APR 4 2003 AT BK 1 PG 3116 THROUGH 3120 AND RES AT 356296 AND 356299 AND DEVELOPMENT AGREEMENT AT 356301 AND DEC OF DRIVEWAY AND UTILITY EASEMENT AT 356302 AND DEC OF COVENANTS AND RESTRICTIONS AT 356303 AND NOTICE OF DEC AFFECTING TITLE AT 356304 AND EASEMENT AGREEMENT FOR UTILITY AT 356307 AND EASEMENT AGREEMENT FOR DRIVEWAY AT 356308 AND EASEMENT AGREEMENT FOR SLOPE EASEMENT FOR BERM AT 356309

(this area left intentionally blank)

Address: TBD Stonegate Drive
Applicant/Agent: Lea Sisson, Lea Sisson Architects
Owner: ISO STONEGATE L3 LLC A CO LLC
Zoning: Single-Family
Existing Use: Vacant
Proposed Use: Single Family Home

Lot Size: 0.264 Acres

Adjacent Land Uses:

- **North:** Single-Family
- **South:** Open space
- **East:** Single-Family
- **West:** Open space

ATTACHMENTS

- Exhibit A: Conceptual Plan Set
- Exhibit B: Applicant Narrative
- Exhibit C: [Sketch Up models](#)
[Lot 166AR2-3](#)



Case Summary:

Lea Sisson (Applicant), working on behalf of the ISO Stonegate L3 LLC (Owner), has requested a work session with the Design Review Board to discuss a proposed single family home to be located at Lot 166AR2-3 (Stonegate). Stonegate is a development along the Stonegate Rd. off of San Joaquin Rd., it consists of 15 lots. The development is on a very steep hillside. The applicant has provided some conceptual architectural designs for the proposed home and as part of the work session would like to discuss plans for the development of the Lot. The proposed design includes a request for a height variance. The purpose of the work session is to allow the applicant and DRB to have an informal, non-binding review and discussion about the project, proposed design, and height considerations. Because the plans are preliminary in nature at this point, Staff has not conducted a full design review of the project in relation to the intent and standards of the Design Regulations of the CDC.

Height Variance Request:

The focus of this work session is largely to discuss the DRB's thoughts on the request for a height variance. The applicant has not called out an absolute maximum height for the project or the total requested variance, but has provided a number of sections demonstrating heights compared to grade on sheets A4.1-A4.3. Staff believes the maximum height for the project might be demonstrated on A4.1 at 41.6', which would be 6.6' over allowable, given that the home features a shed roof and therefore is allowed a 35' maximum height. See section below:

- c. The variance can be granted without substantial impairment of the intent of the CDC;
- d. Granting the variance does not constitute a grant of special privilege in excess of that enjoyed by other property owners in the same zoning district, such as without limitation, allowing for a larger home size or building height than those found in the same zone district;
- e. Reasonable use of the property is not otherwise available without granting of a variance, and the variance being granted is the minimum necessary to allow for reasonable use;
- f. The lot for which the variance is being granted was not created in violation of Town regulations or Colorado State Statutes in effect at the time the lot was created;
- g. The variance is not solely based on economic hardship alone; and
- h. The proposed variance meets all applicable Town regulations and standards unless a variance is sought for such regulations or standards.

Staff believes the most relevant criteria for discussion would be criteria a, d and e. Criteria a discusses special circumstances such as exceptional physical conditions. Criteria d discusses whether the granting of a variance would constitute granting of special privilege in excess of that given to other property owners (for context, the one other height variance that staff is aware of at Stonegate was granted to Lot 166AR2-10 for 6'). Criteria e discusses whether this is the minimum variance necessary to allow for reasonable use.

Other design considerations:

Though the purpose of the work session as requested by the applicant was to focus on issues related to the request for additional height, this is an opportunity for the Board to give other feedback related to the overall design of the project if necessary. Without getting too deep into the details (given this submittal is conceptual in nature) the board should feel free to also give general feedback on overall mass and scale, building form, materials, etc.

RECOMMENDATION

A conceptual work session is a process that allows for the DRB to provide an informal, non-binding review of a conceptual development proposal. The DRB shall evaluate a proposed concept based on the applicable criteria for decision in the future. Any comments or general direction given by the DRB shall not be considered binding or represent any warranties or guarantees of approval of any kind. No formal action is taken by the DRB on conceptual work sessions.

Staff recommends the DRB review and evaluate the proposed concept plans based on the applicable criteria for decision for the future development application and provide non-binding feedback and direction to the applicant regarding the design and proposed density.

/AW



The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000



Hughes Residence

Lot 3 Stonegate Drive: 2 Stonegate Drive , Mountain Village, Colorado

GENERAL CONSTRUCTION NOTES	OWNER:	CIVIL ENGINEER:	DRAWING INDEX																																		
<div><div>FLOOR AREA CALCULATIONS</div><table><tr><td colspan="2">SINGLE FAMILY RESIDENTIAL:</td></tr><tr><td colspan="2">LIVABLE AREA—CONDITIONED SPACE</td></tr><tr><td>LOWER LEVEL:</td><td>1180 SQ FT.</td></tr><tr><td></td><td>562 SQ FT.</td></tr><tr><td>UPPER LEVEL:</td><td>1468 SQ FT.</td></tr><tr><td>WATER-LEVELING:</td><td>3210 SQ FT.</td></tr><tr><td>GARAGE—STORAGE—MECH</td><td>786 SQ FT.</td></tr><tr><td>TOTAL—GROSS SF:</td><td>3996 SQ FT</td></tr><tr><td colspan="2">DECK/PATIOS 1200 SQ FT.</td></tr><tr><td>OTHER SF:</td><td></td></tr><tr><td>PROPOSED DENSITY</td><td>.0306%</td></tr><tr><td colspan="2">1180 FOOTPRINT SF / 11499.84 (.264 ACRES)</td></tr><tr><td colspan="2">HEIGHT CALCULATIONS A1.1 SITE—ROOFPLAN</td></tr><tr><td colspan="2">HEIGHT EXCEEDS 35' BY NO MORE THAN 5'</td></tr><tr><td>PARKING SPACES</td><td>4</td></tr><tr><td colspan="2">2 ENCLOSED IN GARAGE</td></tr><tr><td colspan="2">2 IN DRIVEWAY</td></tr></table></div>	SINGLE FAMILY RESIDENTIAL:		LIVABLE AREA—CONDITIONED SPACE		LOWER LEVEL:	1180 SQ FT.		562 SQ FT.	UPPER LEVEL:	1468 SQ FT.	WATER-LEVELING:	3210 SQ FT.	GARAGE—STORAGE—MECH	786 SQ FT.	TOTAL—GROSS SF:	3996 SQ FT	DECK/PATIOS 1200 SQ FT.		OTHER SF:		PROPOSED DENSITY	.0306%	1180 FOOTPRINT SF / 11499.84 (.264 ACRES)		HEIGHT CALCULATIONS A1.1 SITE—ROOFPLAN		HEIGHT EXCEEDS 35' BY NO MORE THAN 5'		PARKING SPACES	4	2 ENCLOSED IN GARAGE		2 IN DRIVEWAY		<div>ISO STONEGATE L3 LLC A CO LLC 850 16th Avenue Lane NW Hickory, NC 28601 T: (828) 320-6303 hughes.michael.e@gmail.co</div> <div>ARCHITECT:</div> <div>LEA SISSON ARCHITECT, LLC. Lea Sisson, Principal Centrum Building Ste. 200B Mountain Village, CO. MAILING: P.O.Box 4471 Aspen, CO. 81612 (970) 925-1224 EMAIL: lea@leasissonarchitects.com</div>	<div>Uncompahgre Engineering David Ballode, PE P.O.BOX 3945 Telluride, CO. 81435 Ph: 970-729-0683 dballode@msn.com</div> <div>SURVEYOR:</div> <div>San Juan Surveying p.o.box 3730 Telluride, CO 81435 T: (970) 728-1128 office@sanjuansurveying.net</div>	<div>ARCHITECTURAL</div> <div>A-0 COVER</div> <div>TOPOGRAPHICAL SURVEY</div> <div>A-1.1 SITE PLAN—ROOF PLAN HEIGHTS</div> <div>A-1.2 LANDSCAPE WILDFIRE MITIGATION DETAIL</div> <div>C1 GENERAL CIVIL NOTES</div> <div>A-2.1 ENTRY LEVEL & MAIN LEVEL PLAN</div> <div>A-2.2 LOWER & ROOF PLANS</div> <div>A-3.1 ELEVATION RENDERINGS</div> <div>A-4.1 SITE SECTION 1-1</div> <div>A-4.2 SITE SECTION 2-2</div> <div>A-4.3 SITE SECTION 3-3</div> <div>SPECIFICATIONS — ARE AN INTEGRAL PART OF OF THE CONTRACT DOCUMENTS AND MUST BE KEPT WITH THIS SET AT ALL TIMES. — APPLICATION PACKET — NARRATIVE</div>
SINGLE FAMILY RESIDENTIAL:																																					
LIVABLE AREA—CONDITIONED SPACE																																					
LOWER LEVEL:	1180 SQ FT.																																				
	562 SQ FT.																																				
UPPER LEVEL:	1468 SQ FT.																																				
WATER-LEVELING:	3210 SQ FT.																																				
GARAGE—STORAGE—MECH	786 SQ FT.																																				
TOTAL—GROSS SF:	3996 SQ FT																																				
DECK/PATIOS 1200 SQ FT.																																					
OTHER SF:																																					
PROPOSED DENSITY	.0306%																																				
1180 FOOTPRINT SF / 11499.84 (.264 ACRES)																																					
HEIGHT CALCULATIONS A1.1 SITE—ROOFPLAN																																					
HEIGHT EXCEEDS 35' BY NO MORE THAN 5'																																					
PARKING SPACES	4																																				
2 ENCLOSED IN GARAGE																																					
2 IN DRIVEWAY																																					



LEGEND

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
- FOUND 3/4" BRASS TAG, LS 36577
- FIR TREE, # INDICATES CALIPER
- ASPEN TREE, # INDICATES CALIPER
- SPRUCE TREE, # INDICATES CALIPER
- WOOD SIGN
- ROCK RETAINING WALL
- GUARD RAIL
- GENERAL EASEMENT LINE, PLAT BOOK 1 PAGE 3116
- INDICATES 12' WIDE DRIVEWAY AND UTILITY EASEMENT, PLAT BOOK 1 PAGE 3116
- INDICATES COMMON DRIVEWAY AND UTILITY EASEMENT PLAT BOOK 1 PAGE 3116

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

- According to Flood Insurance Rate Map 08113C0287 D dated September 30, 1988, this parcels within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
- Easement research from Land Title Guarantee Company, Commitment No. TLR86010649, Effective Date 10/06/2020 at 05:00 PM.
- Lineal Units U.S. Survey Feet
- Fieldwork was performed January 14, 2025.
- Vertical datum is based on the found Northeast corner, an aluminum cap and rebar, LS 36577 of Lot 166AR2-3 having an elevation of 9938.72 feet, as depicted.

PROPERTY DESCRIPTION:

Lot 166AR2-3, Telluride Mountain Village, According to the Replat of Lot 166-AR, OSP-51 and OS-166 to Lots 166AR2-1 thru 166AR2-15, Parcel A, OSP-51A, OSP-51RB and OS-166R recorded April 4, 2003 in Plat Book 1 at page 3116.

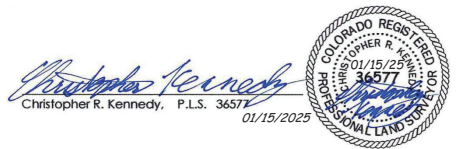
County of San Miguel,
State of Colorado

BASIS OF BEARINGS:

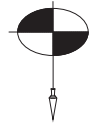
The Basis of Bearings for this Improvement Survey Plat was derived from the southwesterly boundary as depicted on the Plat filed as "THE CABINS AT GOLD HILL" recorded in Plat book 1 at page 2228. Said line also being a portion of the easterly boundary of OS-166 and having a bearing of **N 35°04'36" W.**

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, of San Juan Surveying, being a Licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Topographic Survey prepared for Land Title Guarantee Company, Jim Shute, and SLS Stonegate, LTD, A Texas Limited Partnership was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

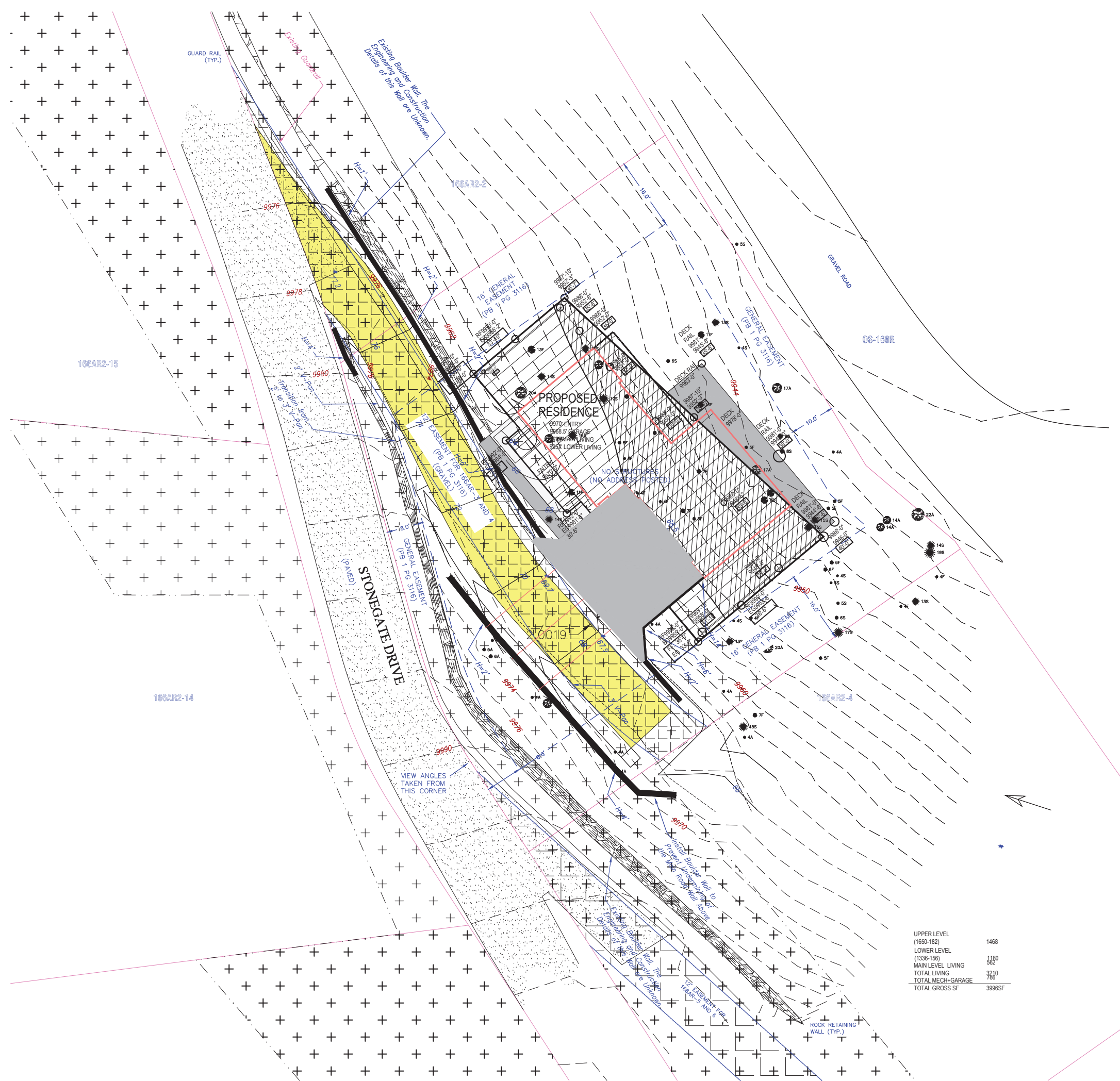


TOPOGRAPHIC SURVEY LOT 166AR2-3, TOWN OF MOUNTAIN VILLAGE



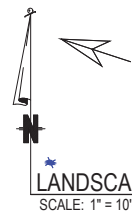
SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728 - 1128 (970) 728 - 9201 fax
office@sanjuansurveying.net

DATE:	01/15/2025
JOB:	02005
DRAWN BY:	AHM
CHECKED BY:	CRK
REVISION	
DATES:	
SHEET:	1 OF 1

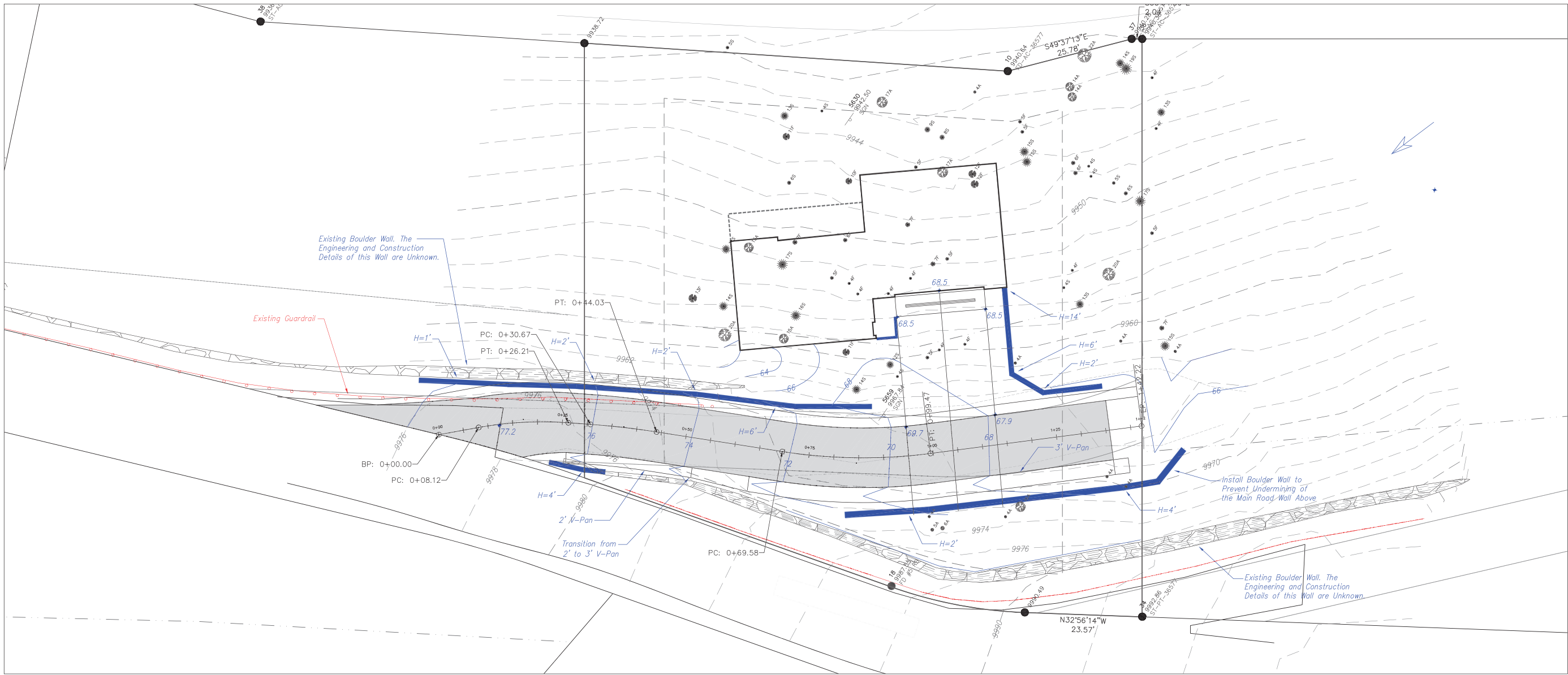


UPPER LEVEL (1650-182)	1468
LOWER LEVEL (1336-156)	1180
MAIN LEVEL LIVING	562
TOTAL LIVING	3210
TOTAL MECH+GARAGE	786
TOTAL GROSS SF	3996SF

SITE PLAN
SCALE: 1" = 10'-0"

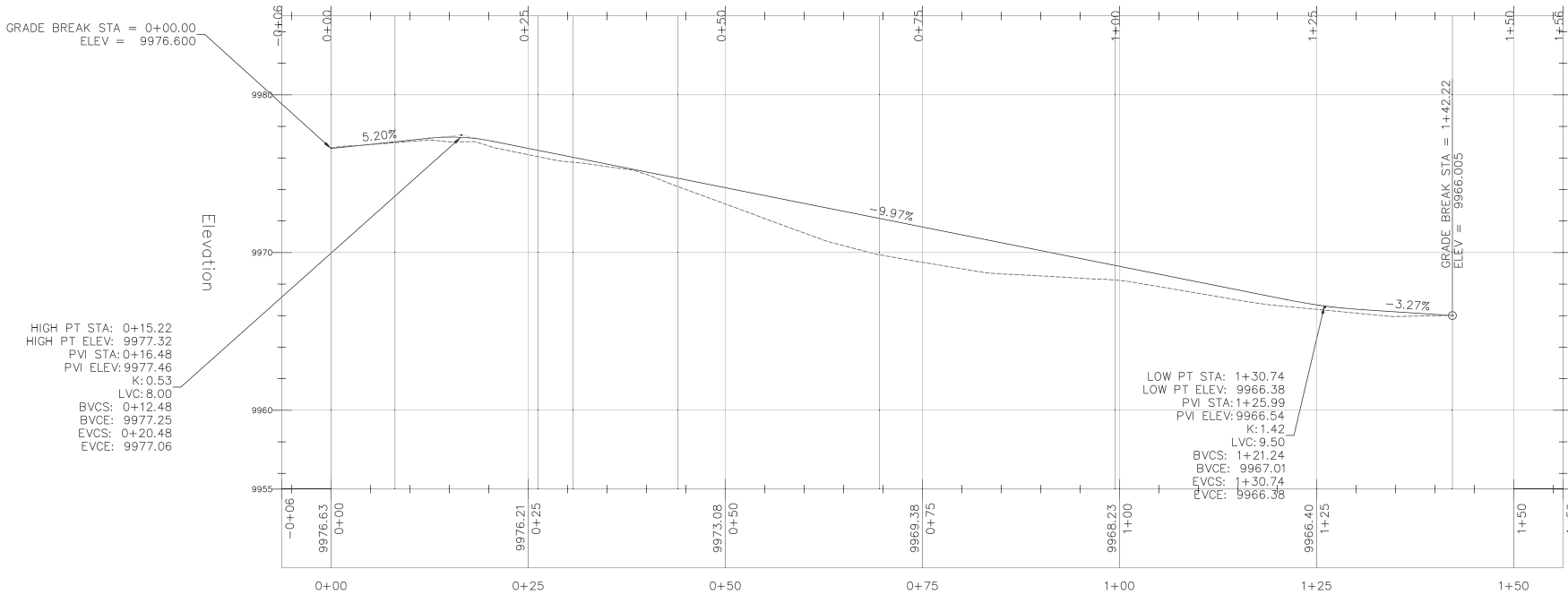


L E A S I S O N A R C H I T E C T									
200B CENTRUM BLDG., MOUNTAIN VILLAGE : P.O. BOX 4471 ASPEN, CO 81612 TEL: (970) 708-1561 EMAIL: LEASISSONARCHITECT@ICLOUD.COM									
SUBMISSIONS 30.2025 - 501 REVIEW 4.15.2025 - MORE WORKSESSION									
HUGHES TELLURIDE RESIDENCE									
LOT 166AR2 - 3 STONEGATE, MOUNTAIN VILLAGE, CO. 81435									



Driveway Profile

Station



SUBMISSIONS:

SUBMITTAL

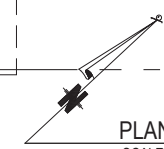
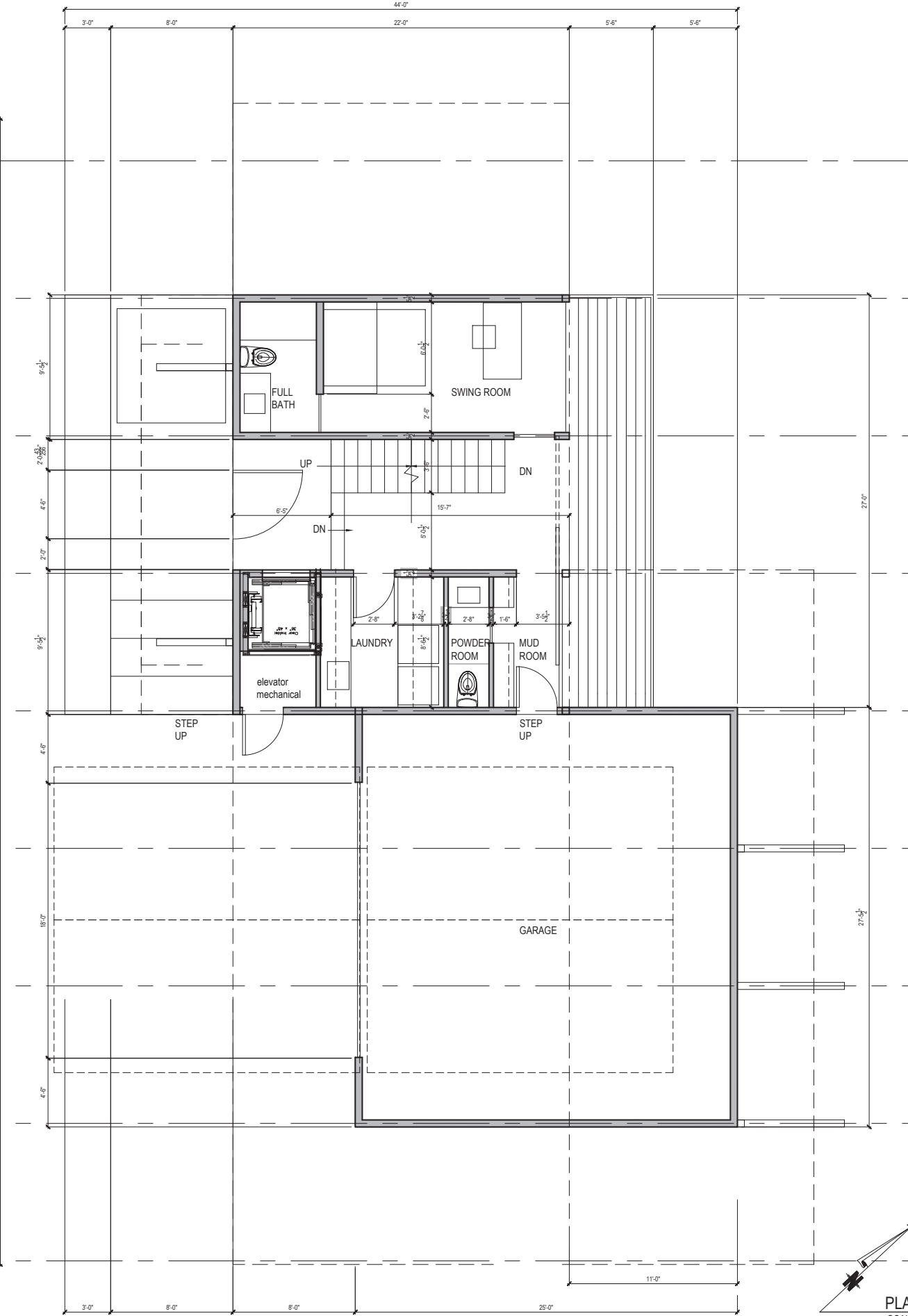
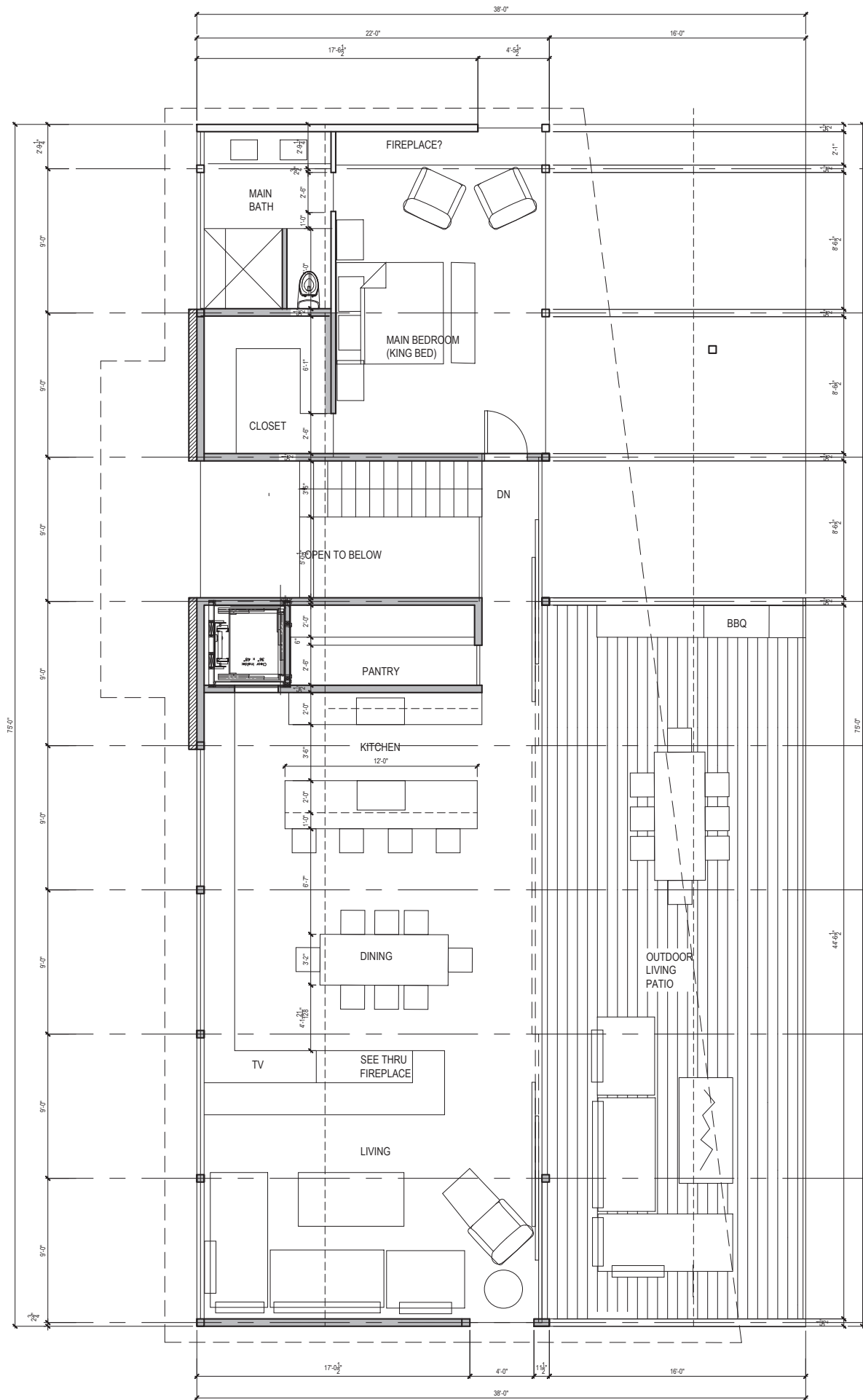
xx Residence
Street or Lot
Telluride, CO

NOT FOR CONSTRUCTION

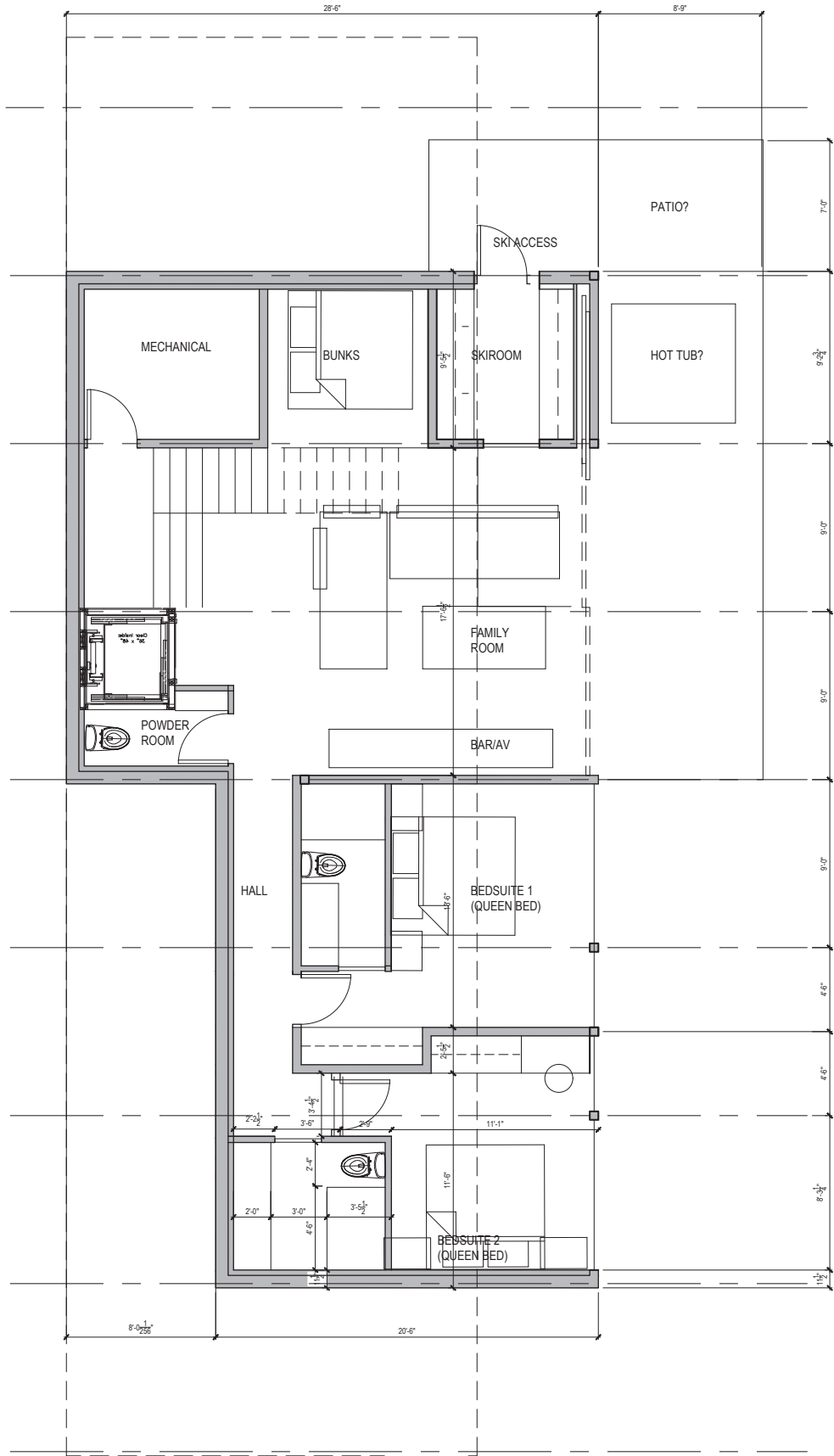
CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Type
of
Plan

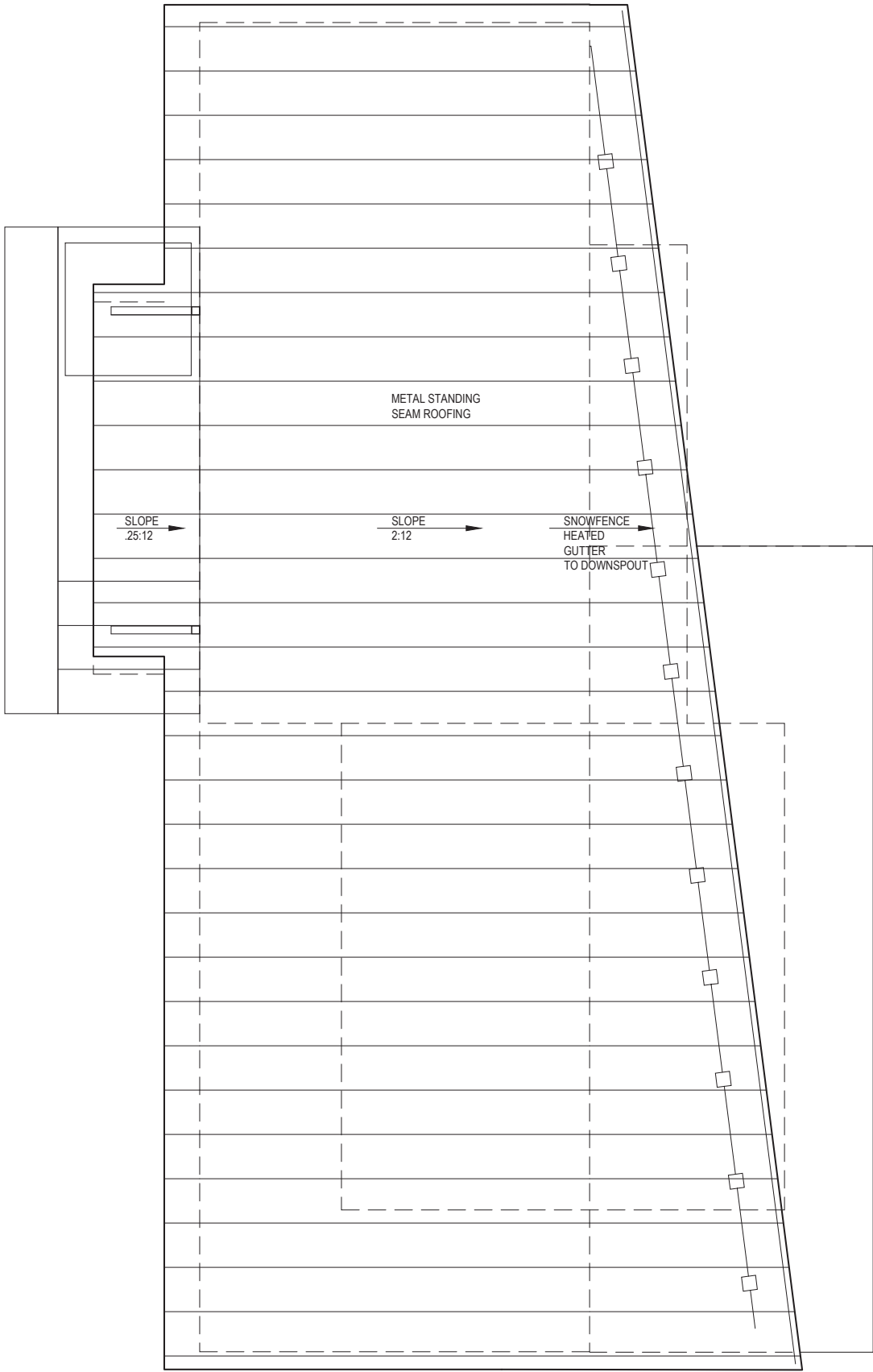
C1



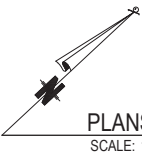
PLANS OPT 1
SCALE: 1/4" = 1'-0"



LOWER LEVEL
(1336-156)1180

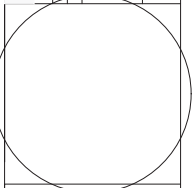


ROOF PLAN



PLANS
SCALE: 1/4" = 1'-0"

LEASING & CONSTRUCTION
200 B. CENTRUM BLDG. MOUNTAIN VILLAGE : P.O. BOX 4471 ASPEN, CO 81612 TEL: (970) 708-1561 EMAIL: LEASING@ARCHITECT@ICLOUD.COM
SUBMISSIONS 1.30.2025 - SDI REVIEW 1.15.2025 W/DRS WORKSESSION



A2.2

HUGHES TELLURIDE RESIDENCE

LOT 166AR2-3 STONEGATE, MOUNTAIN VILLAGE, CO. 81435



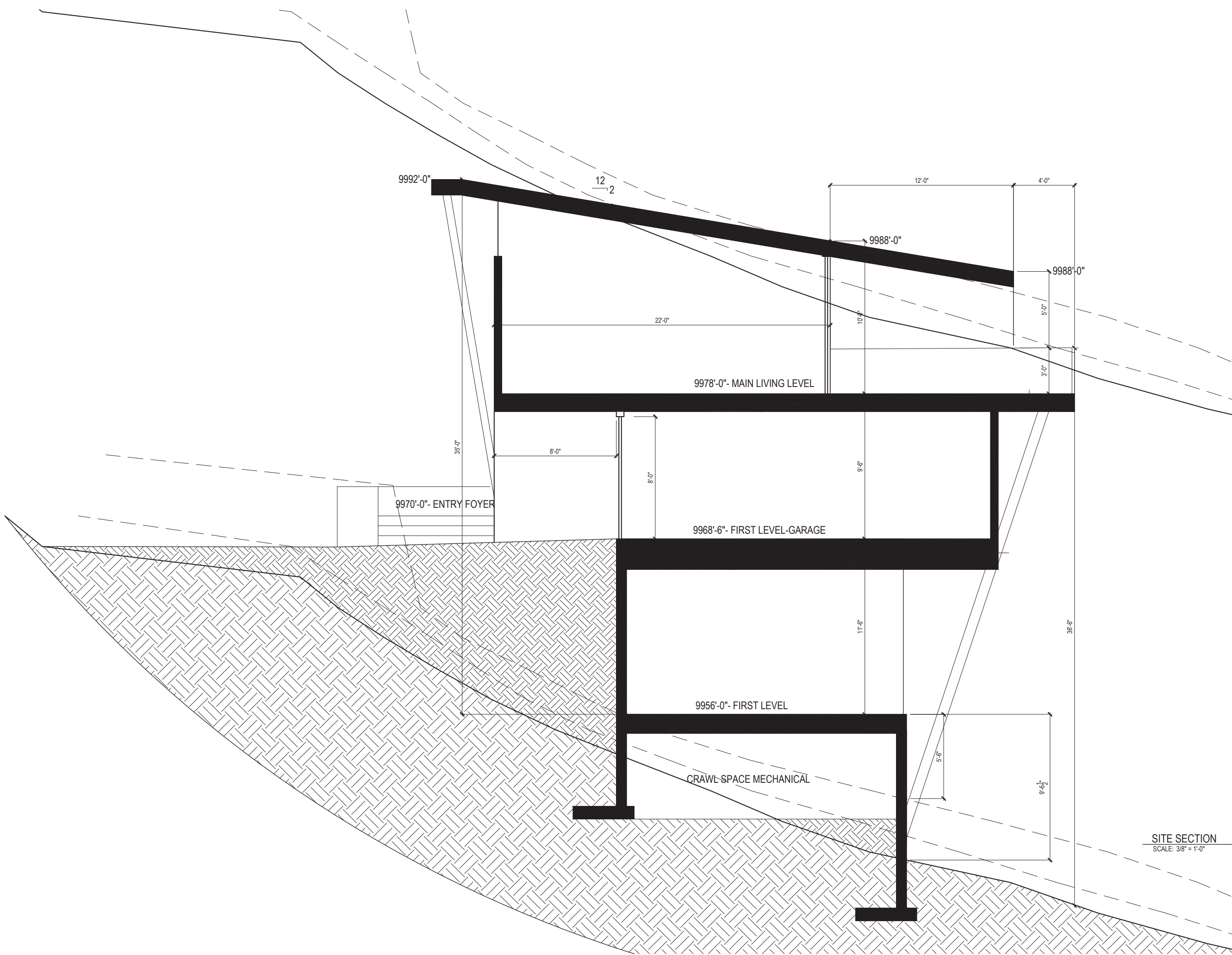
ELEVATIONS
SCALE: 1/4" = 1'-0"

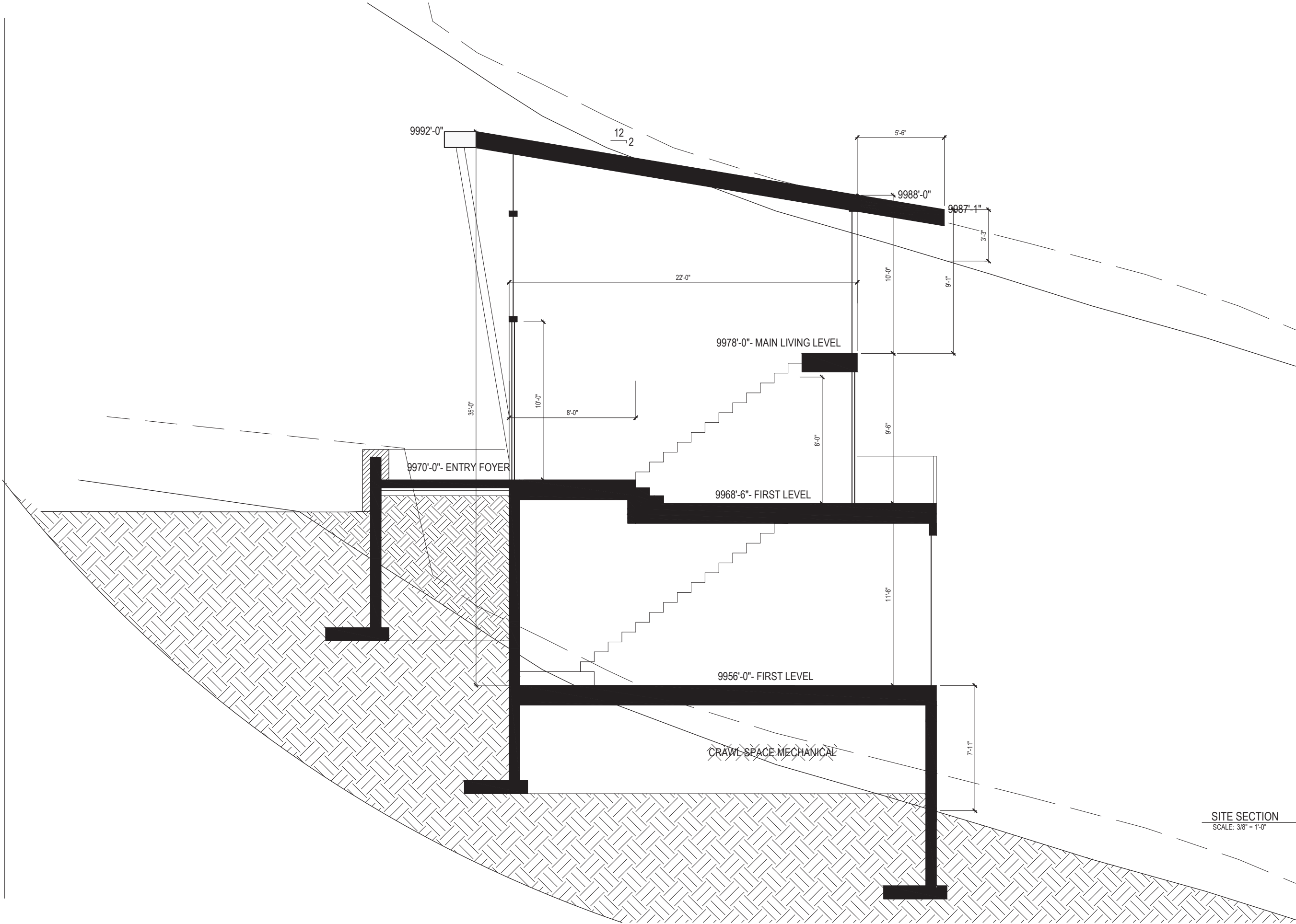
L E A S I N G S O N A R C H I T E C T
200B CENTRUM BLDG., MOUNTAIN VILLAGE, P.O. BOX 4471 ASPEN, CO 81612 TEL: (970) 708-1561 EMAIL: LEASSONARCHITECT@ICLOUD.COM
SUBMISSIONS: 1.30.2025 - 501 REVIEW: 4.15.2025 - 501 REVIEW WORKSESSION

HUGHES TELLURIDE RESIDENCE

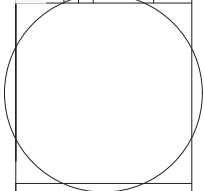
LOT 166AR2-3 STONEGATE, MOUNTAIN VILLAGE, CO. 81435

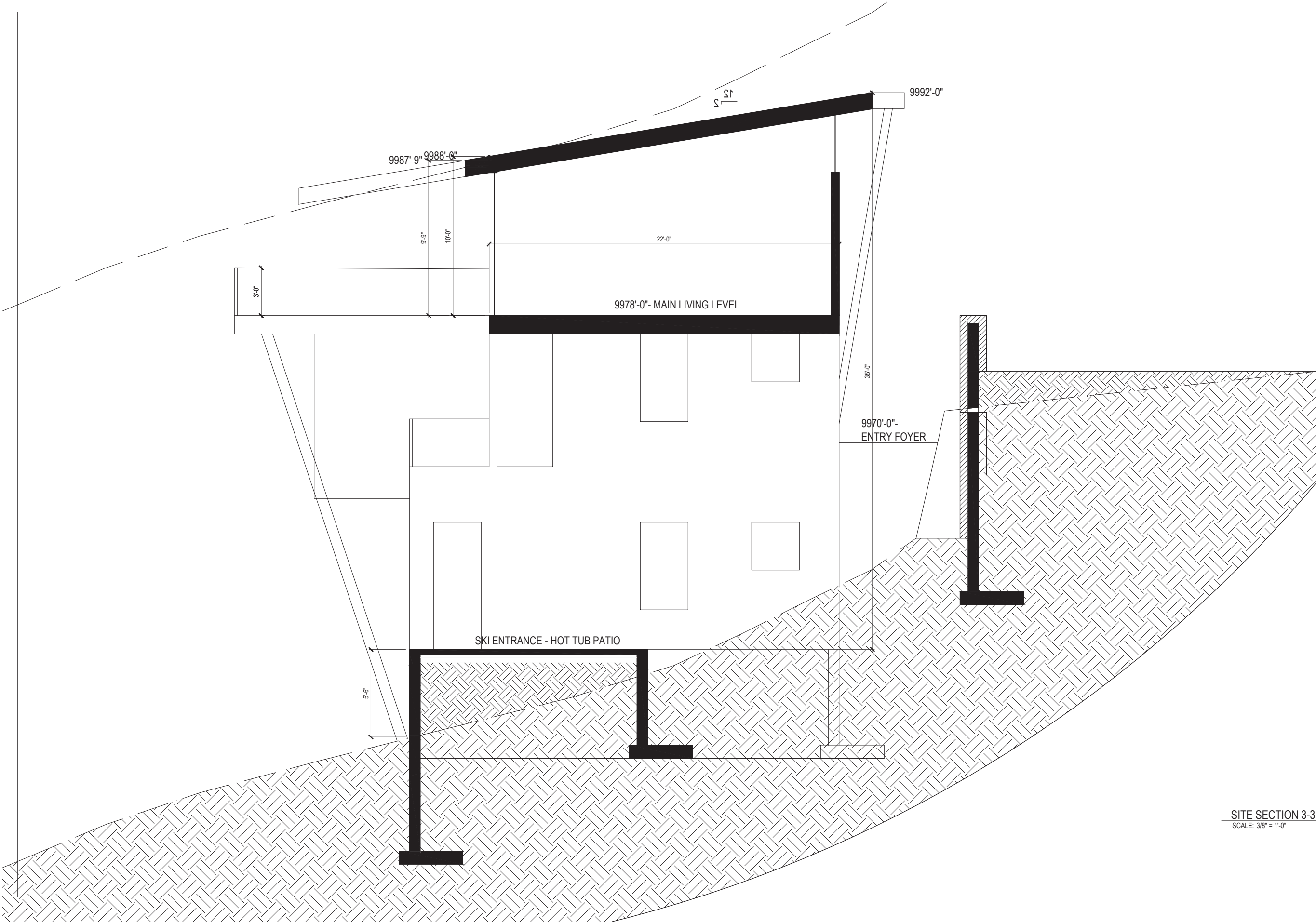
A3.1





SITE SECTION
SCALE: 3/8" = 1'-0"





SITE SECTION 3-3
SCALE: 3/8" = 1'-0"

Narrative
for LOT 166AR2-3
4.15.2025

Town of Mountain Village Planning Board and Staff;

My clients are wishing to develop their lot on 166AR2-3 in Stonegate. We have come to a work session to seek guidance towards a possible height variance due to the following hardships.

The lot has a main shared driveway to the lot to the south LOT 166AR3-4. While there is a roughed in road it is too steep to use much but its curb cut.

This driveway grade has been designed to the maximum code allowable at 10%. This still puts the elevation height for the garage access almost 2' higher than the existing high spot at the edge of the drop-off in the middle of the site. Which pushes the 'pad' of the house up even higher over the steep grades below.

To be able to park and turnaround the garage must be pushed out over the steep grades We have stepped the facade to accomplish this.

There is very little room left once the garage is placed to have adequate living space on this level. So we are attempting to place the main living spaces, all together as desired by my clients, on the upper level.

I have created a simple 2:12 shed roof following the natural grades and pitching all drainage down the site and away from the shared driveway.

I have pushed the roof down as low as possible to allow for the upper level to be livable height underneath, and attempt to stay under the 35' height above natural grade. I have not been successful in keeping it under the 35' height limit.

This is due to a combination of the fixed elevation of the garage level, and thus a fixed upper level floor elevation(need to have at least 8'+ for the garage doors to function), and having the upper level east wall meet code for height, but also providing a desirable space with view and access to outdoor space.

Our only way to bring down the roof would be to alter the grade of the drive and thus lower the garage. The civil engineer and I did look at a 12% grade that would be heated but this seemed undesirable due to the fact that it is a shared drive. It only gains us 2'.

The roof maximum height does not go above the 35' height limit by more than 5'. The area that is above the 35' max is roughly 1/2 the roof on the down hill side. As show on the site plan. I have also provided site sections to show the steepness of the grades below.

The building on the west side meets the 35' height limit with the natural grade and the finished grade but we would like to see if we could lower this finished floor level to better meet the grades below.

We have attempted to break up the form with decks and pushing the facade in and out. We have added a ski trail from the lower level, and in doing so providing a terrace for landscaping to further screen and soften the connection to grade.

We feel we have done all that is possible with the site constraints in our attempt to create a home that fits into the neighborhood.

We are looking for your consideration of this hardship and guidance how we should move forward due to the site constraints.

A dropbox file link has been sent to you with this letter the drawing set and the 3D sketchup model. Thank you everyone for your time.

Regards,

Lea Sisson, Registered Architect



The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000



DESIGN REVIEW PROCESS APPLICATION

PLANNING & DEVELOPMENT SERVICES
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435
970-728-1392
970-728-4342 Fax
cd@mtnvillage.org

TOWN OF MOUNTAIN VILLAGE FEE REQUIREMENTS ACKNOWLEDGEMENT

The Town of Mountain Village requires specific fees to be paid with a development application including legal and attorney fees associated with processing land development applications, inquiries, and review. Please read and acknowledge the below fee requirements which are found in Community Development Code Section 17.4.4. General Provisions Applicable to All Development Application Classes, Section L. Fees.

L. Fees

1. Fee Schedule. The Town Council shall, from time to time, adopt a fee resolution setting forth all development application fees and associated permit fees. Fees for submittals not listed in the fee schedule resolution shall be determined by the Director of Community Development on a case-by-case basis determined by the similarity between the submittal and the development applications listed on the fee schedule together with the estimated number of hours of staff time the review of the submittal will require. No development application shall be processed, nor any development or building permits shall be issued until all outstanding fees or money owed by the applicant, lot owner, developer, or related entity, as defined by the Municipal Code, to the Town, in any amount for any purpose, including but not limited to any fees, delinquent taxes, required Town licenses, permit fees, court fines, costs, judgments, surcharges, assessments, parking fines or attorney's fees are paid to the Town.

2. Town Attorney Fees. The applicant shall be responsible for all legal fees incurred by the Town in the processing and review of any development application or other submittal, including but not limited to any Town Attorney fees and expenses incurred by the Town in the legal review of a development application together with the legal review of any associated legal documents or issues. Legal expenses so incurred shall be paid for by the applicant prior to the issuance of any permits.

3. Property or Development Inquiries. The Town requires that Town Attorney legal fees and expenses be paid for all development or property inquiries where a legal review is deemed necessary by the Town. The developer or person making the inquiry, whichever the case may be, shall be informed of this obligation and execute a written agreement to pay such legal expenses prior to the Town Attorney conducting any legal review. A deposit may be required by the Director of Community Development prior to the commencement of the legal review.

4. Other Fees. The applicant shall be responsible for all other fees associated with the review of a development application or other submittal conducted by any outside professional consultant, engineer, agency, or organization and which are deemed necessary by the Town for a proper review.

5. Recordation Fees. The Community Development Department will record all final plats, development agreements, and other legal instruments. The applicant shall be responsible for the fees associated with the recording of all legal instruments.

I have read and acknowledge the fee requirements associated with my application.

(Signature Required)

April 16, 2025

(Date)



DESIGN REVIEW PROCESS APPLICATION

PLANNING & DEVELOPMENT SERVICES
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435
970-728-1392
970-728-4342 Fax
cd@mtnvillage.org

DESIGN REVIEW PROCESS APPLICATION			
APPLICANT INFORMATION			
Name:		E-mail Address:	
Mailing Address:		Phone:	
City:	State:	Zip Code:	
Mountain Village Business License Number:			
PROPERTY INFORMATION			
San Miguel County Property Data Search			
Physical Address: Lot 3 Stonegate Drive: 2 Stonegate Drive		Acreage: .264	
Zone District: Section 03 Township 42 Range 09	Zoning Designations: Single Family	Density Assigned to the Lot or Site:	
Legal Description: LOT 166 AR2 3			
Existing Land Uses: N/A			
Proposed Land Uses: Single Family Home			
OWNER INFORMATION			
Property Owner: ISO STONEGATE L3 LLC A CO LLC		E-mail Address: hughes.michael.e@gmail.com	
Mailing Address: 850 16th Avenue Lane NW		Phone: 828 320-6303	
City: Hickory	State: NC	Zip Code: 28601	
DESCRIPTION OF REQUEST			
(Brief description of project or request, please attach additional required documentation based on submittal requirements for application type.)			
Single family home design working session			



DESIGN REVIEW PROCESS
APPLICATION

PLANNING & DEVELOPMENT SERVICES
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435
970-728-1392
970-728-4342 Fax
cd@mtnvillage.org

DESIGN REVIEW PROCESS APPLICATION

OWNER/APPLICANT
ACKNOWLEDGEMENT
OF RESPONSIBILITIES

I, Michael & Marsha Hughes, the owner of Lot LOT 166 AR2 3 (the "Property") hereby certify that the statements made by myself and my agents on this application are true and correct. I acknowledge that any misrepresentation of any information on the application submittal may be grounds for denial of the development application or the imposition of penalties and/or fines pursuant to the Community Development Code. We have familiarized ourselves with the rules, regulations, and procedures with respect to preparing and filing the development application. We agree to allow access to the proposed development site at all times by members of Town staff, DRB, and Town Council. We agree that if this request is approved, it is issued on the representations made in the development application submittal, and any approval or subsequently issued building permit(s) or other type of permit(s) may be revoked without notice if there is a breach of representations or conditions of approval. By signing this acknowledgment, I understand and agree that I am responsible for the completion of all required on-site and off-site improvements as shown and approved on the final plan(s) (including but not limited to: landscaping, paving, lighting, etc.). We further understand that I (we) are responsible for paying Town legal fees and other fees as set forth in the Community Development Code.

Michael and Marsha Hughes

Digitally signed by Michael and Marsha Hughes
Date: 2025.04.16 11:24:22 -0400

Signature of Owner

Date

4.15.2025

Signature of Applicant/Agent

Date

OFFICE USE ONLY

Fee Paid:

By:

Planner:



DESIGN REVIEW PROCESS APPLICATION

PLANNING & DEVELOPMENT SERVICES
455 Mountain Village Blvd. Suite A
Mountain Village, CO 81435
970-728-1392
970-728-4342 Fax
cd@mtnvillage.org

OWNER AGENT AUTHORIZATION FORM

I have reviewed the application and hereby authorize (agent *name*) Lea Sisson
of (agent's business name) Lea Sisson Architects to be and to act as my designated
representative and represent the development application through all aspects of the development review
process with the Town of Mountain Village.

Michael and Marsha Hughes

Digitally signed by Michael and Marsha
Hughes
Date: 2025.04.16 11:26:04 -0400

(Signature)

April 16, 2025

(Date)

Michael Hughes

(Printed name)

State Documentary Fee
\$32.50 12-21-2020

State Documentary Fee
Date: December 18, 2020
\$32.50



General Warranty Deed
(Pursuant to C.R.S. 38-30-113(1)(a))

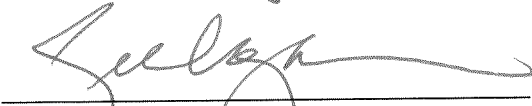
Grantor(s), **STEWART SEELIGSON**, whose street address is **PO BOX 2100, TELLURIDE, CO 81435**, City or Town of **TELLURIDE**, County of **San Miguel** and State of **Colorado**, for the consideration of **(\$325,000.00) ***Three Hundred Twenty Five Thousand and 00/100***** dollars, in hand paid, hereby sell(s) and convey(s) to **ISO STONEGATE L3, LLC, A COLORADO LIMITED LIABILITY COMPANY**, whose street address is **850 16th Avenue Lane NW, Hickory, NC 28601**, City or Town of **Hickory**, County of **Catawba** and State of **North Carolina**, the following real property in the County of **San Miguel** and State of **Colorado**, to wit:

LOT 166AR2-3, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT 166-AR, OSP-51 AND OS-166 TO LOTS 166AR2-1 THRU 166AR2-15, PARCEL A, OSP-51A, OSP-51RB AND OS-166R RECORDED APRIL 4, 2003 IN PLAT BOOK 1 AT PAGE 3116, COUNTY OF SAN MIGUEL, STATE OF COLORADO.

also known by street and number as: **(VACANT) STONEGATE DRIVE, MOUNTAIN VILLAGE, CO 81435**

with all its appurtenances and warrant(s) the title to the same, subject to Statutory Exceptions.

Signed this day of 18th December 2020



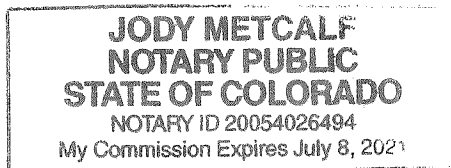
STEWART SEELIGSON

State of **Colorado**)
)ss.
County of **San Miguel**)

The foregoing instrument was acknowledged before me on this day of 12/18/2020 by **STEWART SEELIGSON**

Witness my hand and official seal

My Commission expires: 07/08/2021 
Notary Public



When recorded return to: **ISO STONEGATE L3, LLC, A COLORADO LIMITED LIABILITY COMPANY**
850 16th Avenue Lane NW, Hickory, NC 28601



From: Mike Hughes hughes.michael.e@gmail.com
Subject: Fwd: ALTA Owner's Policy ((VACANT) STONEGATE DRIVE)(Buyer: L3)(Our 86010783)
Date: April 16, 2025 at 12:57 PM
To: lea sisson leasissonarchitect@icloud.com

Old title insurance that LTA sent for temp purposes. New title commitment on order and will take a few business days.

Thanks

----- Forwarded message -----

From: **Gaylene Anderson** <ganderson@ltgc.com>
Date: Wed, Apr 16, 2025 at 2:36 PM
Subject: ALTA Owner's Policy ((VACANT) STONEGATE DRIVE)(Buyer: L3)(Our 86010783)
To: <hughes.michael.e@gmail.com>



Your Documents from Land Title Guarantee Company

Your owner's policy of title insurance is linked below. Thank you.

- [ALTA Owner's Policy](#)



Land Title Guarantee Company

Date: January 22, 2021

Subject: Attached Title Policy ISO STONEGATE L3, LLC, A COLORADO LIMITED LIABILITY COMPANY for (VACANT) [STONEGATE DRIVE, MOUNTAIN VILLAGE, CO 81435](#)

Enclosed please find the Owner's Title Insurance Policy for your purchase of the property listed above.

This title policy is the final step in your real estate transaction, and we want to take a moment to remind you of its importance. Please review all information in this document carefully and be sure to safeguard this policy along with your other legal documents.

Your owner's policy insures you as long as you own the property and requires no additional premium payments.

Please feel free to contact any member of our staff if you have questions or concerns regarding your policy, or you may contact Land Title Policy Team at (303) 850-4158 or finals@ltgc.com

As a Colorado-owned and operated title company for over 50 years, with offices throughout the state, we take pride in serving our customers one transaction at a time. We sincerely appreciate your business and welcome the opportunity to assist you with any future real estate needs. Not only will Land Title Guarantee Company be able to provide you with the title services quickly and professionally, but you may also be entitled to a discount on title premiums if you sell or refinance the property described in the enclosed policy.

Thank you for giving us the opportunity to work with you on this transaction. We look forward to serving you again in the future.

Sincerely,

Land Title Guarantee Company



OWNER'S POLICY OF TITLE INSURANCE

ANY NOTICE OF CLAIM AND ANY OTHER NOTICE OR STATEMENT IN WRITING REQUIRED TO BE GIVEN TO THE COMPANY UNDER THIS POLICY MUST BE GIVEN TO THE COMPANY AT THE ADDRESS SHOWN IN SECTION 18 OF THE CONDITIONS.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B AND THE CONDITIONS, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, a Minnesota corporation, (the "Company"), insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

Title being vested other than as stated in Schedule A.

Any defect in or lien or encumbrance on the title; This covered Risk includes but is not limited to insurance against loss from

A defect in the Title caused by

forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
failure of any person or Entity to have authorized a transfer or conveyance;
a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
failure to perform those acts necessary to create a document by electronic means authorized by law;
a document executed under a falsified, expired, or otherwise invalid power of attorney;
a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
a defective judicial or administrative proceeding.

The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.

Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.

Unmarketable Title.

No right of access to and from the Land.

The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning)

restricting, regulating, prohibiting, or relating to

the occupancy, use or enjoyment of the Land;
the character, dimensions, or location of any improvement erected on the Land;
the subdivision of land; or
environmental protection

if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.

An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.

The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.

Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.

Title being vested other than as stated in Schedule A or being defective

as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records to be timely, or
to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.

Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A. The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

Issued by:
Land Title Guarantee Company
3033 East First Avenue, Suite 600
Denver, Colorado 80206
303-321-1880

C B Rants

Craig B. Rants, Senior Vice President



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
620 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By *C Monroe* President
Attest *Daniel Wold* Secretary

AMERICAN
LAND TITLE
ASSOCIATION



Copyright 2006-2025 American Land Title Association - All rights reserved. - The use of this form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. - All other uses are prohibited. - Reprinted under license from the American Land Title Association

AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY Adopted 6-17-06

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

- (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting or relating to
- the occupancy, use, or enjoyment of the Land;
 - the character, dimensions, or location of any improvement erected on the Land;
 - the subdivision of land; or
 - environmental protection; or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5. (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.

Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.

Defects, liens, encumbrances, adverse claims, or other matters

- created, suffered, assumed, or agreed to by the Insured Claimant;
- not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
- resulting in no loss or damage to the Insured Claimant;
- attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
- resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.

Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is

- a fraudulent conveyance or fraudulent transfer; or
- a preferential transfer for any reason not stated in Covered Risk 9 of this policy.

Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

"Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b) or decreased by Sections 10 and 11 of these Conditions.

"Date of Policy": The date designated as "Date of Policy" in Schedule A.

"Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.

"Insured": The Insured named in Schedule A.

The term "Insured" also includes

- successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
- successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
- successors to an Insured by its conversion to another kind of Entity;
- a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured.
- if the grantee wholly owns the named Insured,
- if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
- if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes

With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.

"Insured Claimant": An Insured claiming loss or damage.

"Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.

"Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenue, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.

"Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.

"Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.

"Title": The estate or interest described in Schedule A. "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or

interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

(a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.

(b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

(c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

(a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligation to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

(b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance. To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay. Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in the subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expensed incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay. Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or

damage by reason of matters insured against by this policy.

(a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

the Amount of Insurance; or
the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.

(b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,

the Amount of Insurance shall be increased by 10%, and
the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.

(c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.

9. LIMITATION OF LIABILITY

(a) If the Company establishes the Title, or removes the alleged defect, lien, or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.

(b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.

(c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.

11. LIABILITY NONCUMULATIVE

The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.

12. PAYMENT OF LOSS

When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.

13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT

(a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies. If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.

(b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.

14. ARBITRATION

Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

(a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

(b) Any claim or loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.

(c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.

(d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the

Date of Policy, or (iv) increase the Amount of Insurance.

16. SEVERABILITY

In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

17. CHOICE OF LAW; FORUM

(a) Choice of Law; The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located. Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

(b) Choice of Forum; Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

18. NOTICES, WHERE SENT

Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at: [400 Second Avenue South, Minneapolis, Minnesota 55401](#) (612)371-1111.

ANTI-FRAUD STATEMENT: Pursuant to CRS 10-1-128(6)(a), it is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado division of insurance within the department of regulatory agencies.

This anti-fraud statement is affixed to and made a part of this policy.

Old Republic National Title Insurance Company Schedule A

Order Number: TLR86010783

Policy No.: OX86010783.3200211

Amount of Insurance: \$325,000.00

Property Address:

(VACANT) [STONEGATE DRIVE, MOUNTAIN VILLAGE, CO 81435](#)

1. Policy Date:

December 21, 2020 at 5:00 P.M.

2. Name of Insured:

ISO STONEGATE L3, LLC, A COLORADO LIMITED LIABILITY COMPANY

3. The estate or interest in the Land described in this Schedule and which is covered by this policy is:

A FEE SIMPLE

4. Title to the estate or interest covered by this policy at the date is vested in:

ISO STONEGATE L3, LLC, A COLORADO LIMITED LIABILITY COMPANY

5. The Land referred to in this Policy is described as follows:

LOT 166AR2-3, TELLURIDE MOUNTAIN VILLAGE, ACCORDING TO THE REPLAT OF LOT 166-AR, OSP-51 AND OS-166 TO LOTS 166AR2-1 THRU 166AR2-15, PARCEL A, OSP-51A, OSP-51RB AND OS-166R RECORDED APRIL 4, 2003 IN PLAT BOOK 1 AT PAGE [3116](#), COUNTY OF SAN MIGUEL, STATE OF COLORADO.

Copyright 2006-2025 American Land Title Association. All Rights Reserved The use of this Form is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

AMERICAN
LAND TITLE
ASSOCIATION



Old Republic National Title Insurance Company

(Schedule B)

Order Number: TLR86010783

Policy No.: OX86010783.3200211

This policy does not insure against loss or damage by reason of the following:

1. Any facts, rights, interests, or claims thereof, not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
 2. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
 3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
 4. Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
 5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water.
 6. 2020 TAXES AND ASSESSMENTS NOT YET DUE OR PAYABLE.
 7. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE FOLLOWING PLATS:
 #1 - TELLURIDE MOUNTAIN VILLAGE, FILING 1 RECORDED MARCH 9, 1984 IN PLAT BOOK 1 AT PAGE [476](#), AND TECHNICAL AMENDMENT CONCERNING DENSITY RECORDED FEBRUARY 12, 1990 IN BOOK 462 AT PAGE [759](#),
 #2 - PLAT OF THE TOWN OF MOUNTAIN VILLAGE RECORDED OCTOBER 6, 1995 IN PLAT BOOK 1 AT PAGE [1918](#) AND OFFICIAL LAND USE AND DENSITY ALLOCATION FOR ALL LAND WITHIN THE TOWN OF MOUNTAIN VILLAGE, COLORADO RECORDED OCTOBER 6, 1995 IN BOOK 551 AT PAGE [485](#) AND AS AMENDED IN INSTRUMENT RECORDED JUNE 25, 2009 UNDER RECEPTION NO. [407544](#),
 #3 - TOWN OF MOUNTAIN VILLAGE RECORDED JULY 24, 1996 IN PLAT BOOK 2 AT PAGE [2073](#), AND
 #4 - THE TOWN OF MOUNTAIN VILLAGE OFFICIAL TOWN PLAT RECORDED SEPTEMBER 8, 1997 IN PLAT BOOK 1 AT PAGE [2281](#) AND THE TOWN OF MOUNTAIN VILLAGE OFFICIAL LOT LIST RECORDED SEPTEMBER 8, 1997 IN BOOK 586 AT PAGE [548](#).
 8. RESTRICTIVE COVENANTS, FOR MOUNTAIN VILLAGE, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS CONTAINED IN INSTRUMENT RECORDED MARCH 9, 1984 IN BOOK 409 AT PAGE [714](#), AS AMENDED OR SUPPLEMENTED. AMENDED AND RESTATED GENERAL DECLARATION RECORDED DECEMBER 11, 2002 UNDER RECEPTION NO. [353668](#). FIRST AMENDMENT TO THE AMENDED AND RESTATED GENERAL DECLARATION RECORDED DECEMBER 09, 2009 UNDER RECEPTION NO. [410160](#). SECOND AMENDMENT TO THE AMENDED AND RESTATED GENERAL DECLARATION RECORDED MARCH 19, 2012 UNDER RECEPTION NO. [422188](#).
- NOTICE REGARDING CONTACT INFORMATION AND REAL ESTATE TRANSFER ASSESSMENT RECORDED MAY 25, 2011 UNDER RECEPTION NO. [418209](#).
- NOTE: UNDER THE GENERAL NOTES ON THE PLAT OF TELLURIDE MOUNTAIN VILLAGE RECORDED MARCH 9, 1984 IN PLAT BOOK 1 AT PAGE [476](#) THE TELLURIDE COMPANY RESERVES THE RIGHT TO IMPOSE ADDITIONAL RESTRICTIVE COVENANTS ON ALL LOTS IN ADDITION TO THE ONES DESCRIBED HEREIN.
9. TERMS, CONDITIONS AND PROVISIONS OF NOTICE OF WATER AND SEWER TAP FEE PAYMENT RECORDED APRIL 14, 1987 IN BOOK 435 AT PAGE [603](#), TAP FEE AGREEMENT RECORDED MAY 29, 1992 IN BOOK 492 AT PAGE [991](#), AND BY FIRST AMENDMENT TO TAP FEE AGREEMENT RECORDED DECEMBER 18, 1996 IN BOOK 573 AT PAGE [237](#), AND AS ASSIGNED BY TAP FEE ASSIGNMENT AND ASSUMPTION AGREEMENT RECORDED APRIL 29, 1999, UNDER RECEPTION NO. [326037](#).
 10. TERMS, CONDITIONS AND PROVISIONS OF FACILITIES, WATER RIGHTS AND EASEMENT AGREEMENT RECORDED APRIL 27, 1992 IN BOOK 491 AT PAGE [359](#) AND AS AMENDED IN INSTRUMENT RECORDED NOVEMBER 13, 1992 IN BOOK 501 AT PAGES [433](#) AND [437](#) AND AS AMENDED IN INSTRUMENT RECORDED APRIL 26, 1993 IN BOOK 510 AT PAGE [8](#) AND AS AMENDED IN INSTRUMENT RECORDED APRIL 26, 1993 IN BOOK 510 AT PAGE [11](#) AND AS

AMENDED IN INSTRUMENT RECORDED OCTOBER 24, 1996 IN BOOK 569 AT PAGE [668](#).

11. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN AGREEMENT REGARDING GENERAL EASEMENTS RECORDED MAY 21, 1996 IN BOOK 562 AT PAGE [97](#) AND AS AMENDED IN INSTRUMENT RECORDED OCTOBER 24, 1996 IN BOOK 569 AT PAGE [670](#).
12. TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS AS SET FORTH IN THE FOLLOWING RESOLUTIONS:
 - #1993-53 RECORDED AUGUST 2, 1993 IN BOOK 515 AT PAGE [71](#);
 - #1996-96-0109-06 RECORDED DECEMBER 23, 1996 IN BOOK 573 AT PAGE [666](#);
 - #1997-0128-04 RECORDED MAY 21, 1997 IN BOOK 581 AT PAGE [636](#) AND AS AMENDED IN INSTRUMENT RECORDED MAY 21, 1997 IN BOOK 581 AT PAGE [643](#);
 - #2002-0514-10 RECORDED JUNE 3, 2002 UNDER RECEPTION NO. [349459](#);
 - #2002-1112-28 RECORDED APRIL 4, 2003 UNDER RECEPTION NO. [356296](#);
 - #2002-1112-27 RECORDED APRIL 4, 2003 UNDER RECEPTION NO. [356299](#);
 - #2014-0515-17 RECORDED OCTOBER 20, 2014 UNDER RECEPTION NO. [435000](#); AND
 - #2018-0920-16 RECORDED JANUARY 15, 2019 UNDER RECEPTION NO. [456840](#).
- 13.



Agenda Item 8
COMMUNITY DEVELOPMENT DEPARTMENT

455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Claire Perez, Planner II

FOR: Design Review Board Public Hearing; May 1, 2025

DATE: April 16, 2025

RE: Staff Memo – Final Architecture Review (FAR) for Lot GH-6, 106 Cabins Lane.

APPLICATION OVERVIEW: New Single-Family Home on Lot GH-6

PROJECT GEOGRAPHY

Legal Description: LOT GH 6 THE CABINS AT GOLD HILL FILING 31 TELLURIDE MOUNTAIN VILLAGE ACC TO FINAL AMENDMENT REC 4 16 97 BK 1 PG 2228 CONT .18 AC

Address: 106 Cabins Lane

Applicant/Agent: Brendan Hamlet, KA Design Works

Owner: Vantage Retirement Plans LLC

Zoning: Single-family

Existing Use: Vacant

Proposed Use: Single-Family Home

Lot Size: .18 acres, 7,675 sf

Adjacent Land Uses:

- **North:** Single-family
- **South:** Single-family
- **East:** Active Open Space
- **West:** Single-family

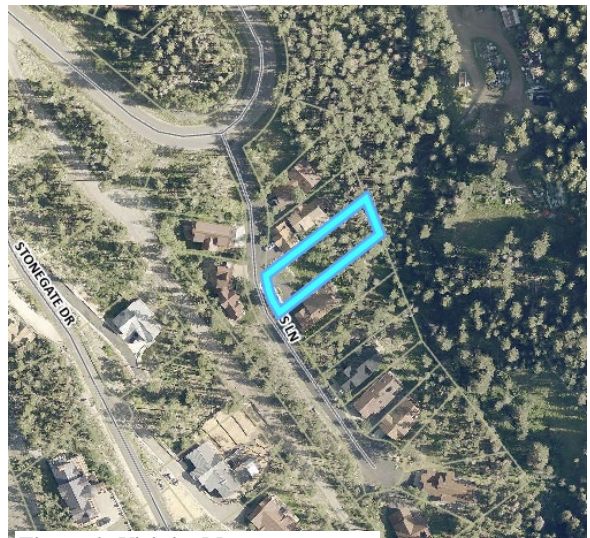


Figure 1: Vicinity Map

ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

Case Summary: Brendan Hamlet of KA Design Works is requesting Design Review Board (DRB) approval of a Final Architecture Review (FAR) for a new single-family home on Lot GH6, 106 Cabins Lane. The lot is approximately .18 acres and is zoned single-family. The proposed design consists of a two-story structure. The overall square footage of the home is approximately 3,638 gross square feet and provides 2 interior parking spaces within the proposed garage.

The proposed development requires Design Review Board specific approval for setback encroachments and exceeding the allowable retaining wall height. The application also includes a design variation for exceeding the allowable driveway grade.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	40' (gable) Maximum	38.7'
Maximum Avg. Building Height	35' (gable) Maximum	28.3'
Maximum Lot Coverage	40% (27, 529 sq ft)	14% 9,645 sq. ft
General Easement Setbacks	No encroachment	Setback Encroachment
Roof Pitch		
Primary		8:12
Secondary		5:12
Exterior Material		
Stone	35% minimum	38.65%
Windows/Doors	40% maximum	18.27%
Parking	2 interior / 2 exterior	2 interior/ 2 exterior

DRB Specific Approval:

1. Setback encroachments – parking spaces and grading
2. Retaining wall height
3. Tandem parking

Design Variation:

4. Driveway grade

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated February 19, 2025.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Staff: Criteria met.

17.3.14: General Easement Setbacks

Lot Gh-6 is not burdened by the typical General Easement (GE) that surrounds the perimeter of most lots within the Town. Instead, the lot is restricted by a five (5) foot setback on the front and side portions of the lot, and a 16' setback in the rear of the lot. Regardless of the type of setback, the CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC allows some development activity within the GE and setbacks such as ski access, natural landscaping, utilities, address monuments, driveways, walkways, and fire mitigation.

Staff: The proposal includes several setback encroachments that fall into the above category of permitted development activity including the following:

- *Utilities: The applicant has provided a utility plan for Lot GH-6 demonstrating the proposed locations of utility lines and connections. The sewer and water lines are shown running up the driveway to connect to the home. The utility and gas lines are shown crossing the front setback to connect to meters on the side of the home.*
- *Landscaping: A 2' dry-stack landscape wall is shown in the front setback for retainage on Sheet C2.*
- *Driveway and retaining wall: The driveway as shown takes access from Cabins Lane and crosses the setback to the home. A retaining wall next to the driveway encroaches into the front setback.*

The proposal also includes setback encroachments requiring DRB specific approval. The exterior parking spaces are shown encroaching into the RROW of Cabins Lane. Staff finds this reasonable given the steep slopes and building envelope. Cabins Lane is a private road maintained by the HOA. The HOA has approved the plan. Landscape stairs are also shown in the front setback and provide access to the utility meters on the side of the home. There are also stairs in the front setback that provide access to the front entrance. Grading is also proposed in the side setbacks.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

Staff: Criteria met.

17.5.5: Building Siting Design

Staff: Criteria met.

17.5.6: Building Design

Staff: Criteria met.

17.5.7: Grading and Drainage Design

Staff: The grading plan shows positive drainage away from the home. Grading is proposed in the side setbacks to allow for drainage beneath the deck. An existing stone retaining wall encroaches into the front setback of the lot. A trench drain is proposed across the driveway near the garage. Staff sees no issues with the grading plan.

17.5.8: Parking Regulations

Staff: The applicant has shown two interior parking spaces and two exterior spaces on their architectural site plan. Portions of the two exterior parking spaces encroach in the RROW of Cabins Lane, Cabins Lane is a private road owned by the HOA. The HOA has approved the plan. The parking space dimensions meet CDC requirements. The exterior parking spaces are shown as tandem with the interior parking spaces. The CDC states

that the DRB may allow for tandem parking on lots less than 0.75 acre. Staff finds this reasonable given the site constraints. Criteria met.

17.5.9: Landscaping Regulations

Staff: The applicant provided a revised landscape plan on Sheet A005. The development will require the removal of the majority of trees on the site. The applicant has noted the species of trees marked for retainage. Several spruces and fir will be removed that do not meet spacing requirements. The plan was also revised to include gravel around the home to meet fire mitigation requirements. There are no new plantings proposed on the site. CDC Section 17.5.9 states that the landscaping regulations are intended to “provide adequate and appropriate plant materials on a project site to enhance the relationship of the project to its site”. While Lot GH-6 is a small lot, the DRB should discuss if some minimal landscaping would better integrate the new home to the site.

17.5.11: Utilities

Staff: Criteria met.

17.5.12: Lighting Regulations

Staff: A lighting plan has been provided on Sheets A105-A107. The applicant has proposed utilizing a recessed can, sconce, and step light. The fixtures proposed are dark sky and CDC compliant. The applicant has proposed a minimal number of light fixtures. The fixtures are mainly proposed at doors and pathways. Because of this, the applicant has requested to waive the requirement for a photometric study. The DRB should discuss if the photometric study should be waived.

17.5.13: Sign Regulations

Staff: A wall mounted address monument is shown on Sheet A201. The address plaque was relocated to the wall per the DRB’s comments at initial review. The wall mounted plaque will have 6” tall reflective metal numbers. The plans note that the plaque will be illuminated by a concealed LED, but a light fixture has not been provided. Prior to the building permit, the applicant shall provide a light fixture for the address plaque.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: Fire Mitigation and Forestry Management: A fire mitigation plan was provided on Sheet C5. The fire mitigation plan adheres to CDC requirements.

17.6.6: Roads and Driveway Standards

Staff: The driveway grade ranges between 6.27% and 8.00%. The CDC states that the maximum roadway grade shall not exceed 5% for the first 20’ from the edge of the public roadway. The driveway grade requires a design variation for exceeding this. Staff does not have any concerns about this. There is a 10’ retaining wall proposed next to the driveway. The CDC states, “the maximum retaining wall height shall be 5 feet, with a minimum “step” in between walls of four feet to allow for landscaping to soften the walls”. The retaining wall as proposed requires DRB specific approval for exceeding the allowable height. There is also a 5’ retaining wall next to the front entry. Sheet A0004 shows the retaining walls tying into the base of the home.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does not include any solid fuel burning devices.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan shows required material staging, dumpster, bear-proof trash receptacles, and a porta toilet. The location of the silt fencing was revised to avoid trees marked for retainage. The plan notes that parking will not fit on the lot and that the HOA does not want parking on Cabins Lane. The contractor will need to work with Public Works to coordinate off-site parking.

Staff Recommendation: Staff recommends the DRB approve the Final Architecture Review for Lot GH-6, 106 Cabins Lane based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Final Architecture Review for a new single-family home located at Lot GH-6, based on the evidence provided within the Staff Report of record dated April 16, 2025 with the following design variations and specific approvals:

DRB Specific Approval:

1. Setback encroachments – parking spaces and grading
2. Retaining wall height
3. Tandem parking

Design Variation:

1. Driveway grade

And, with the following conditions:

1. Prior to the building permit, the applicant shall provide a photometric study.*
2. Prior to the building permit, the applicant shall provide a revised landscape plan including new plantings.*
3. Prior to the building permit, the applicant shall provide a light fixture for the address plaque.
4. Prior to the issuance of a building permit, the applicant shall field verify all utility locations.
5. Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
6. A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
7. A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
8. Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');

- b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
9. It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.
10. The applicant shall meet the following conditions of the Fire Marshall:
- a. A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
 - b. An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
 - c. Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
 - d. Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
 - e. Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
11. Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 75% since the application was submitted and deemed complete in 2024.

*Any conditions not deemed necessary should be removed from the motion

/cp



PROJECT: 106 Cabins Lane
REGARDING: TOMV Final Design Review Narrative
DATE: 05.01.2025

This brief narrative outlines adjustments made to the design and documentation in response to requests made during the Preliminary TOMV review which took place on 3.6.2025.

- Chimney height increased per building code | *A201, A202*
- Address numbers relocated to wall | *A002, 2/A201*
- Updated light specification per town code | *SCONCE, DOWN LIGHT EL, 2 A205*
- Updated Landscape Plan, including tree species legend, notes around irrigation | *A005*
- Updated Construction Mitigation showing silt fence to avoid tree(s) to remain | *C4*

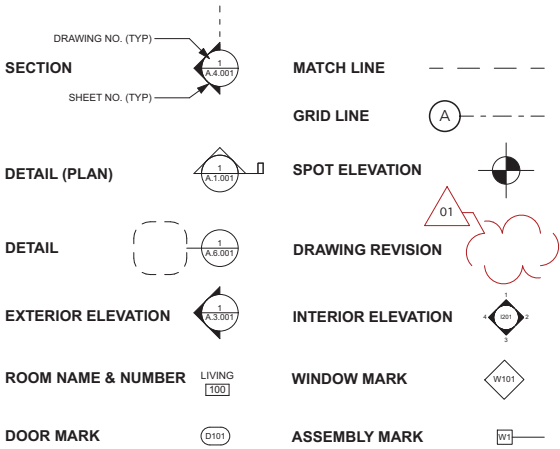
Thank You,

Kenneth Adler
KA DesignWorks
Design Principal



The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000

SYMBOL LEGEND



PROJECT DIRECTORY

OWNER
VANTAGE RETIREMENT PLANS LLC...
8742 E Via De Commercio
Scottsdale, AZ 85258

CONTACT: Amit Sahasrabudhe
amit1124@gmail.com

ARCHITECT
KA DesignWorks, Inc.
525 Basalt Avenue, Unit I-201
Basalt, CO 81621

CONTACT: Kenneth Adler
(970) 948-9510
ken@ka-designworks.com

CONTRACTOR
XXX
XXX Main Street
City, CO 12345

CONTACT: XXX XXXX
(XXX) XXX-XXXX
contractor@email.com

CIVIL ENGINEER
Uncompahgre Engineering, LLC
PO Box 3945
Telluride, CO 81435

CONTACT: David Ballode
(970) 729-0683
dballode@msn.com

STRUCTURAL ENGINEER
XXX
XXX Main Street
City, CO 12345

CONTACT: XXX XXXX
(XXX) XXX-XXXX
structural@email.com

LANDSCAPE ARCHITECT
XXX
XXX Main Street
City, CO 12345

CONTACT: XXX XXXX
(XXX) XXX-XXXX
landscape@email.com

SURVEYOR
XXX
XXX Main Street
City, CO 12345

CONTACT: XXX XXXX
(XXX) XXX-XXXX
surveyor@email.com

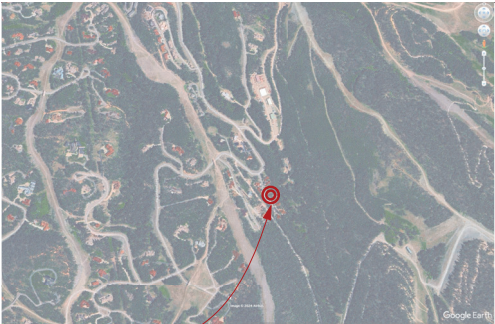
ENERGY CONSULTANT
XXX
XXX Main Street
City, CO 12345

CONTACT: XXX XXXX
(XXX) XXX-XXXX
energy@email.com

GEOTECHNICAL ENGINEER
XXX
XXX Main Street
City, CO 12345

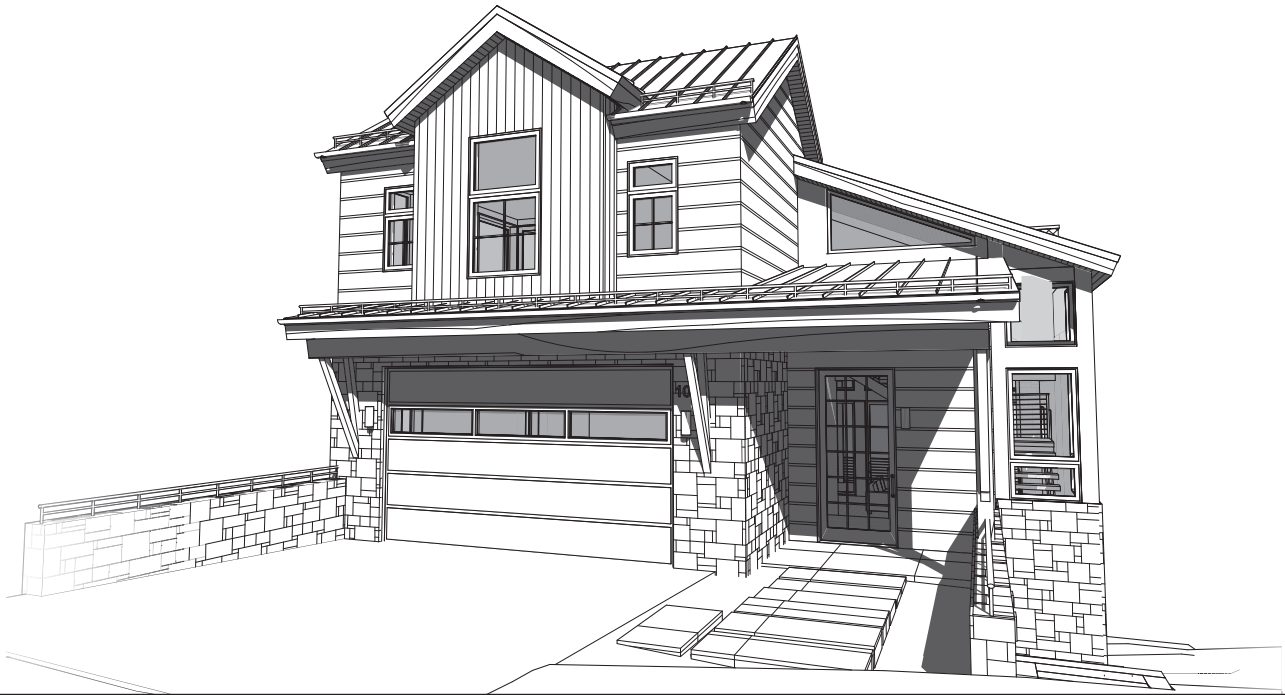
CONTACT: XXX XXXX
(XXX) XXX-XXXX
geotech@email.com

VICINITY MAP



Gold Hill Lot 6
Town of Mountain Village, CO
TOMV Final Review - 05/01/25

PROJECT INFO:		CODE & ZONING INFORMATION:		PROJECT SCOPE:
PROJECT ADDRESS:	106 Cabins LN Town of Mountain Village CO 81435	IRC EDITION:	2018	Single family residence to be constructed on vacant land.
JURISDICTION:	Town of Mountain Village	IECC EDITION:	2021	
PARCEL ID:	477910100071	CLIMATE ZONE:	6B	
LEGAL DESCRIPTION:	LOT GH 6 THE CABINS AT GOLD HILL	ZONING DISTRICT:	Single-Family	
SUBDIVISION:	CABINS AT GOLD HILL-7034	HOA:	THE CABINS AT GOLD HILL	
BLOCK:	Section 10 Township 42 Range 09			
LOT NUMBER:	Lot 6			
LOT SIZE:	7675 SF			



ABBREVIATIONS

AAD Allie Access Door	GALV Galvanized	RW Roof Window
ADD Addendum	GC General Contractor	RO Rough Opening
ADJ Adjacent	GL Glass	RO Sanitary
AOR Area of Refuge	GR Grade	SECT Section
AGG Aggregate	GLB Laminated Wood Beam	SEW Sewer
APP Above Finished Floor	GYP Gypsum	SH1 Sheet
ALT Alternate	GWB Gypsum Wallboard	SHLV Shelves
ARCH Architectural	HDW Hardware	SIM Similar
BM Beam	HD Head	SL Sliding
BRG Bearing	HVAC Heating, Ventilating, and Air Conditioning	SM Sheet Metal
BET Between	HT Height	STC Sound- Transmission Class
BO Board	HWY Highway	SPEC Specification
BS Both Sides	HCR Horizontal	STD Standard
BIO Bottom Of	ID Inside Diameter	STL Steel
BLDG Building	INT Interior	STRUCT Structure (all)
CAB Cabinet	CL Joint	SUB Substrate
CLOS Closets	LAM Laminate	SUPPL Supplement (all)
CER Ceramic	LAV Lavatory	SUSP Suspend (ed)
CLR Clear	MFG Manufacturer	TEL Telephone
CLOS Closet	MO Masonry Opening	TV Television
CMU Concrete Masonry Unit	MTL Material	TEMP Tempered
COL Column	MAX Maximum	IE That Is
CONC Concrete	MC Medicine Cabinet	THK Thick
CJ Construction Joint	MECH Mechanical	TPH Toilet Paper Holder
CONT Continuous	MIN Minimum	T&G Tongue and Groove
DP Dampproofing	MISC Miscellaneous	TAB Top and Bottom
DIET Detail	NIC Not In Contract	TO Top Of
DIA Diameter	NA Not Applicable	T Tread
DIM Dimension	NTS Not To Scale	TS Tube Steel
DW Dishwasher	OC On Center	TYP Typical
DN Down	OPG Opening	UG Underground
DR Drain	OPP Opposite	UNO Unless Noted Otherwise
DS Downspout	OPH Opposite Hand	UNFN Unfinished
DRWG Drawing	OD Outside Diameter	UBC Uniform Building Code
EA Each	d Penny (nails, etc.)	USG United States Gage
EL Elevation	PERF Perforated (d)	VAR Variable
EQ Equal	PFM Prefinished Sheet Metal	VENT Ventilate
EXIST Existing	PL Plate	VIF Verify In Field
EJ Expansion Joint	PLY Plywood	VERT Vertical
EXT Exterior	PROD Product	VWV Vinyl Asbestos Tile
FEC Fire Extinguisher Cabinet	PROJ Project	V Voltage
FOC Face Of Concrete	PROF Property	WC Water Closet
FOS Face Of Stud	R Radius or Riser	WP Waterproof
FIN Finish	REF Refer	WT Weight
FP Fireproof	REFR Refrigerator	WIN Window
FD Floor Drain	REINF Reinforce (d)	W With (comb. form)
FTG Footing	REQD Required	WO Without
FON Foundation	RHSM Round Head Sheet Metal Screw	WO Wood
GA Gauge	RM Room	

GENERAL NOTES

- A. THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 2017, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.
- B. THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATIONS, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- C. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES. GENERALLY, ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE REGULATED OR SPECIFIED BY ARCHITECT OR GOVERNING BODIES.
- D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS.
- E. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT. AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE MATERIALS ARE ORDERED AND WORK HAS COMMENCED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
- F. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.
- G. THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE UNIFORM BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- I. ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE. DRAWINGS NOT TO BE SCALED, NOTIFY ARCHITECT OF ANY CONFLICTS OR OMISSIONS.
- J. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- K. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
- L. CONTRACTOR TO PROVIDE PHYSICAL EXTERIOR MATERIAL SAMPLES INCLUDING COLORS/FINISHES AND CONFIGURATIONS FOR OWNER APPROVAL PRIOR TO PROCUREMENT AND INSTALLATION.

DRAWING INDEX

GENERAL

- A001 COVER SHEET
SURVEY
A002 SITE PLAN
A003 HEIGHT PLANS
A004 EXTERIOR MATERIAL AREAS
A005 LANDSCAPE

CIVIL

- C1 NOTES
C2.1 GRADING AND DRAINAGE
C3 UTILITIES
C4 CONSTRUCTION MITIGATION AND ACCESS
C5 FIRE MITIGATION

ARCHITECTURAL

- A101 LOWER LEVEL PLAN
A102 MAIN LEVEL PLAN
A103 UPPER LEVEL PLAN
A104 ROOF PLAN
A105 EXTERIOR LIGHTING | LOWER LEVEL
A106 EXTERIOR LIGHTING | MAIN LEVEL
A107 EXTERIOR LIGHTING | UPPER LEVEL
A201 ELEVATIONS
A202 ELEVATIONS
A203 3D EXTERIOR 1
A204 3D EXTERIOR 2
A205 LIGHTING SPECS
A301 BUILDING SECTIONS
A601 DOOR & WINDOW SCHEDULE



ASPEN | BASALT | COLORADO
P: 970.948.9510
KA-DESIGNWORKS.COM

Gold Hill Lot 6

106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25
TOMV Final	05.01.25

NOT FOR
CONSTRUCTION

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

COVER SHEET

A001

This Existing Conditions Plan of Lot GH-6, The Cabins at Gold Hill, was field surveyed on June 03, 2024 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37970 Date

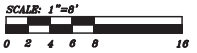
LEGAL DESCRIPTION:

LOT GH-6, THE CABINS AT GOLD HILL, AN AMENDMENT TO THE FINAL PLAT OF LOTS 166B, 166C, 166D, 166E, AND 166F, TELLURIDE MOUNTAIN VILLAGE, FILING 31, TOWN OF MOUNTAIN VILLAGE, ACCORDING TO THE PLAT RECORDED APRIL 16, 1997 IN PLAT BOOK 1 AT PAGE 222B.

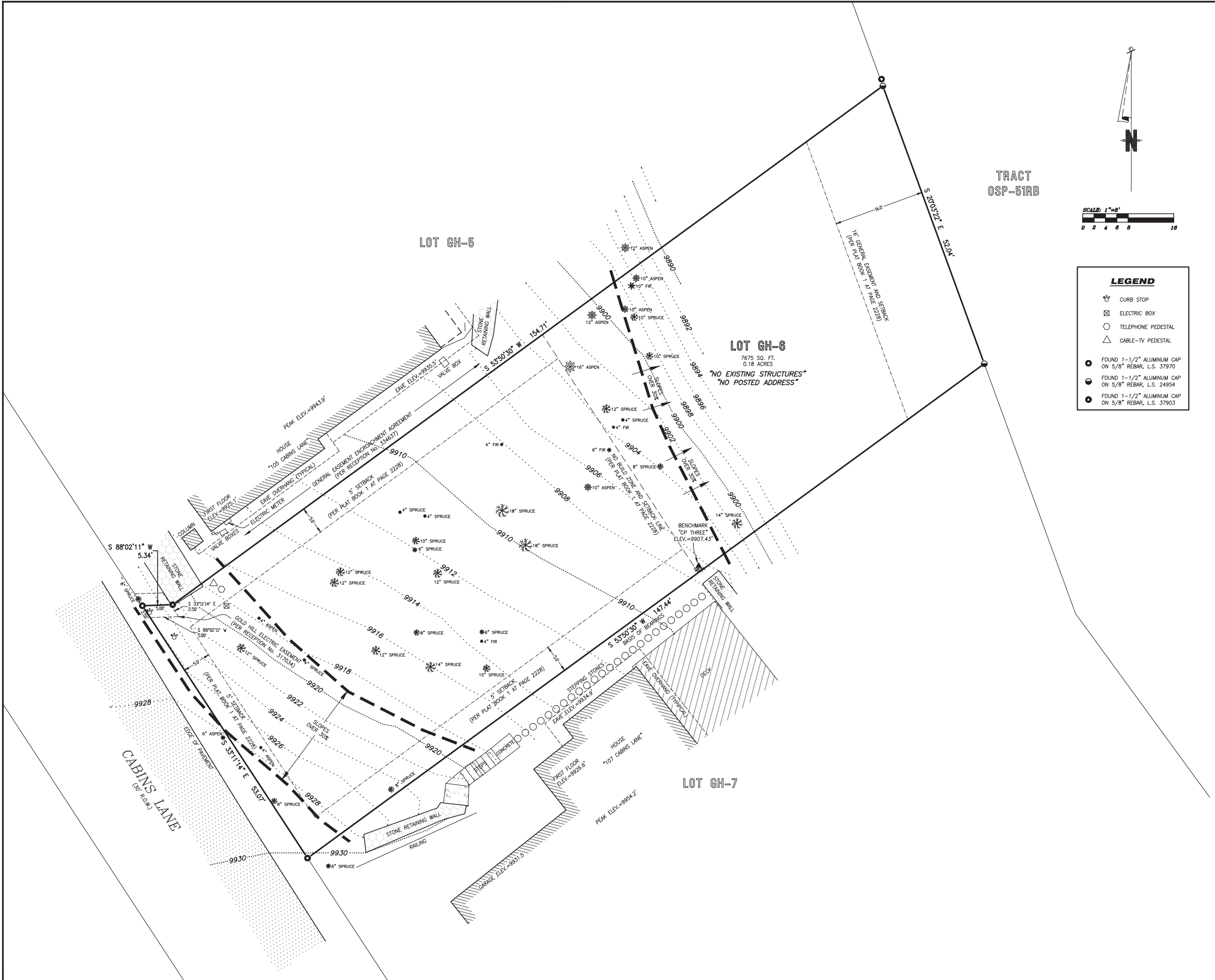
COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and legal description from Land Title Guarantee Company, Order No. TLR86015391, dated March 11, 2024 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 08113C0287-D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- BASIS OF BEARINGS: Found monuments along the southeastern boundary of Lot GH-6, as shown hereon, assumed to have the record bearing of S 53°50'30" E according to Plat Book 1 at page 222B.
- Benchmark: Control Point "CP THREE", as shown hereon, with an elevation of 9907.43 feet.
- Contour interval is two feet.
- Trees 3" in diameter or greater are shown hereon.
- Slopes 30% or greater are shown hereon.
- Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locates were not performed as part of this survey. Utility locates should be performed by respective providers before any construction.
- Foley Associates, Inc. is not aware of any wetlands located on this lot, but a wetland delineation was not performed as part of this survey.
- NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



LEGEND	
	CURB STOP
	ELECTRIC BOX
	TELEPHONE PEDESTAL
	CABLE-TV PEDESTAL
	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970
	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24954
	FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37903



EXISTING CONDITIONS PLAN
Lot GH-6, The Cabins at Gold Hill, Town of Mountain Village,
located within the NE 1/4 of Section 10, T.42N., R.9W., N.M.P.M., County of San Miguel, State of Colorado.

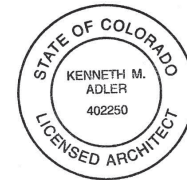
Project Mgr:	JH
Technician:	MC
Checked by:	
Start date:	06 / 2024

Rev.	description	date	by



970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Drawing path: dwg\99199 EC Plan 06-24.dwg Sheet1 of 1 Project #: 99199



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial REV 1	03.06.25
TOMV Final	05.01.25

NOT FOR
CONSTRUCTION

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

SITE PLAN

A002

LOT COVERAGE LEGEND

MAX LOT COVERAGE = 40%

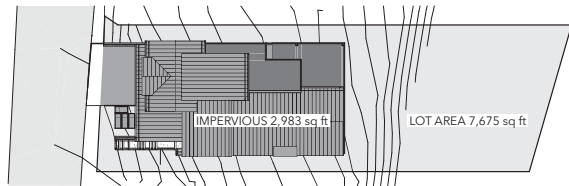
SITE AREA = 7675 SF
IMPERVIOUS AREA = 2983 SF
LOT COVERAGE = 38.9%

SITE NOTES

1. GREY BACKGROUND DENOTES EXISTING SURVEY.
 2. SEE CIVIL AND LANDSCAPE FOR RESPECTIVE SCOPE(S).
- ARCHITECTURAL SITE PLAN IS FOR CONTEXT ONLY.

FLOOR ELEVATIONS

UPPER LEVEL - T.O.PLY. = 115'-0"
ENTRY / GARAGE - T.O. CONC. = 103'-9"
MAIN LEVEL - T.O.PLY. = 100'-0" (SITE = 9923'-6")
LOWER LEVEL - T.O. PLY = 88'-0"

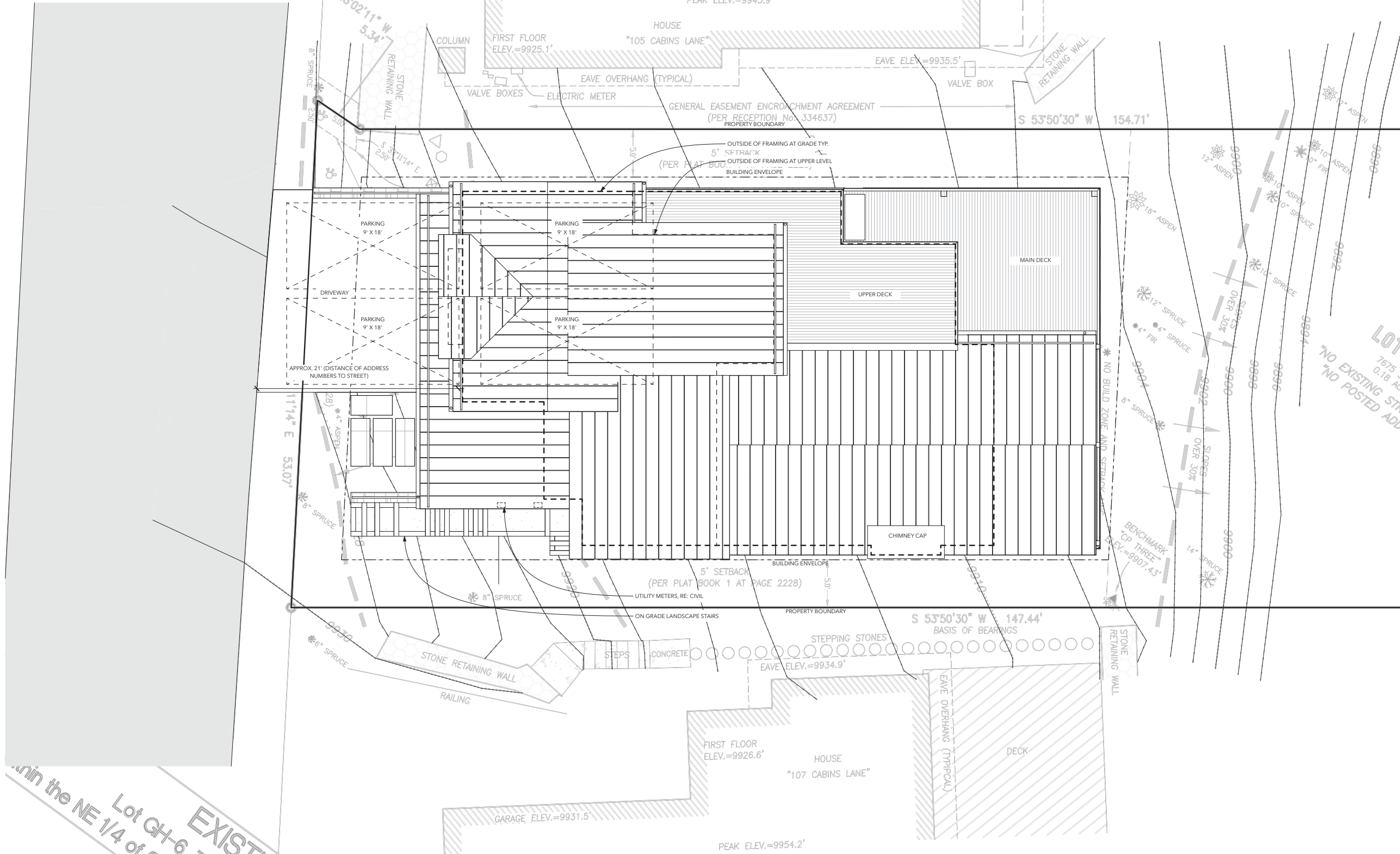


LOT COVERAGE

2



SCALE: 1" = 30'



SITE PLAN

SCALE: 1" = 5'

1

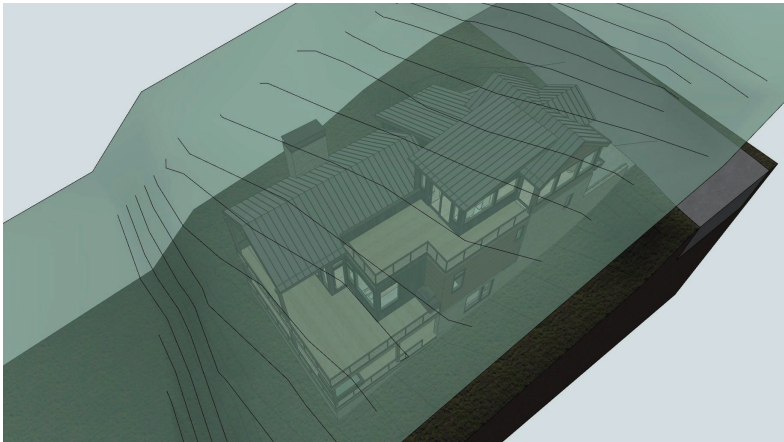


Roof Point	Roof Point Elevation	Natural Grade Below	Roof Height Above Natural Grade	Proposed Grade Below	Roof Height Above Proposed Grade
M 1	9954.36	9916.90	37.46	9916.90	37.46
M 2	9948.26	9911.00	37.26	NA	NA
M 3	9944.93	9906.20	38.73	9906.20	38.73
M 4	9941.76	9914.60	27.16	9914.60	27.16
M 5	9942.11	9918.10	24.01	9918.10	24.01
M 6	9953.36	9920.10	33.26	9927.20	26.16

MAXIMUM HEIGHT

Per TOMV code 17.3.11 which allows for the ridge of gable or similar pitched roof for a total of 40'.

2



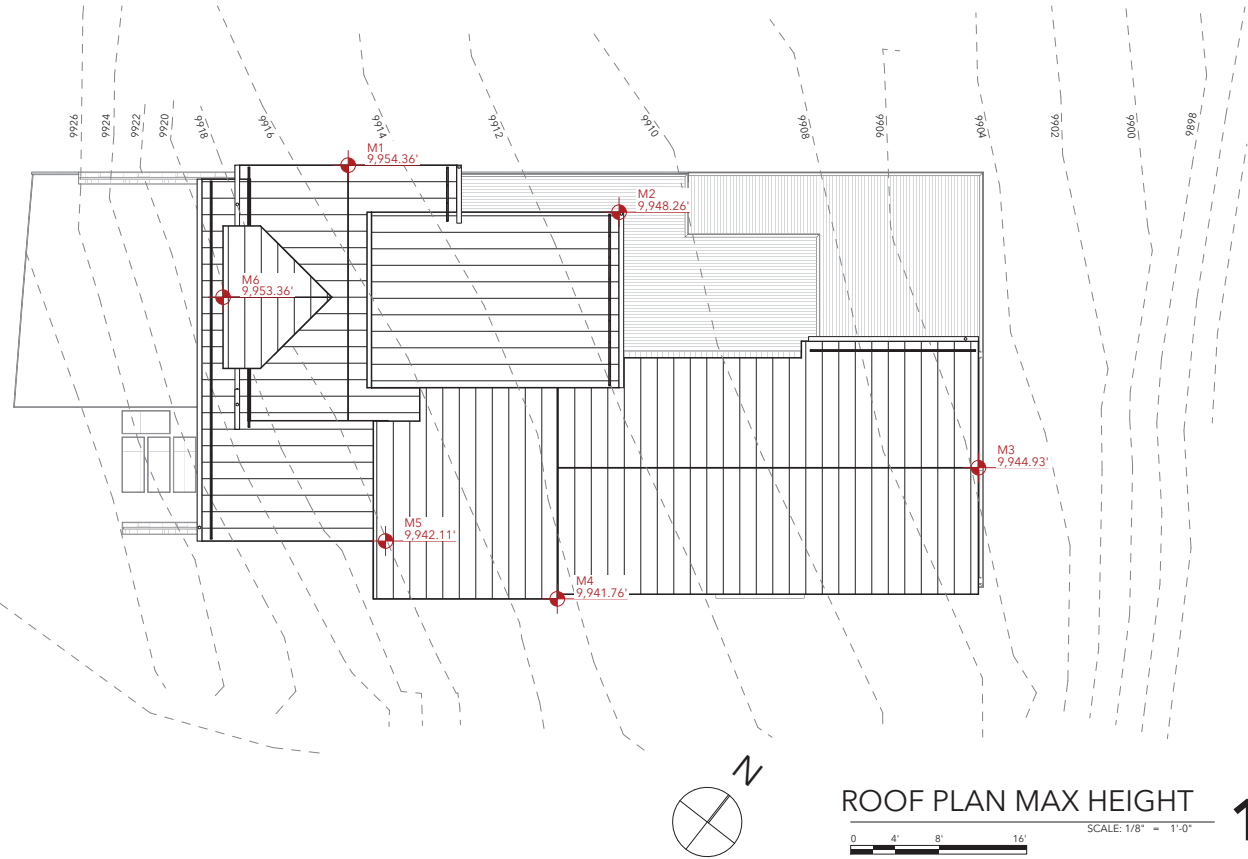
40' Height Conformance Exhibit - 62% of roofs are Gables

Roof Point	Roof Mid Point Elevation	Natural Grade Below	Proposed Grade Below	NG = Natural Grade PG = Proposed Grade	Roof Height Above Most Restrictive Grade
A 1.0	9939.07	9918.20	9927.20	NG	20.87
A 1.1	9938.07	9920.10	9927.20	NG	17.97
A1.2	9938.07	9922.00	9927.20	NG	16.07
A1.3	9940.37	9919.40	9927.20	NG	20.97
A1.4	9940.37	9921.60	9921.60	NG	18.77
A2.0	9951.07	9916.10	9916.10	NG	34.97
A2.1	9951.07	9919.50	9927.20	NG	31.57
A3.0	9950.60	9912.90	NA	NG	37.70
A3.1	9950.60	9914.50	NA	NG	36.10
A4.0	9945.76	9917.80	NA	NG	27.96
A4.1	9945.76	9913.70	NA	NG	32.06
A5.0	9941.10	9913.60	NA	NG	27.50
A5.1	9941.10	9909.60	NA	NG	31.50
A5.2	9941.10	9905.50	NA	NG	35.60
A6.0	9941.10	9914.30	NA	NG	26.80
A6.1	9941.10	9910.70	NA	NG	30.40
A6.2	9941.10	9906.30	NA	NG	34.80
AVERAGE HEIGHT					28.33

AVERAGE HEIGHT

Per TOMV code 17.3.11 which defines the maximum average roof height of 30'.

4

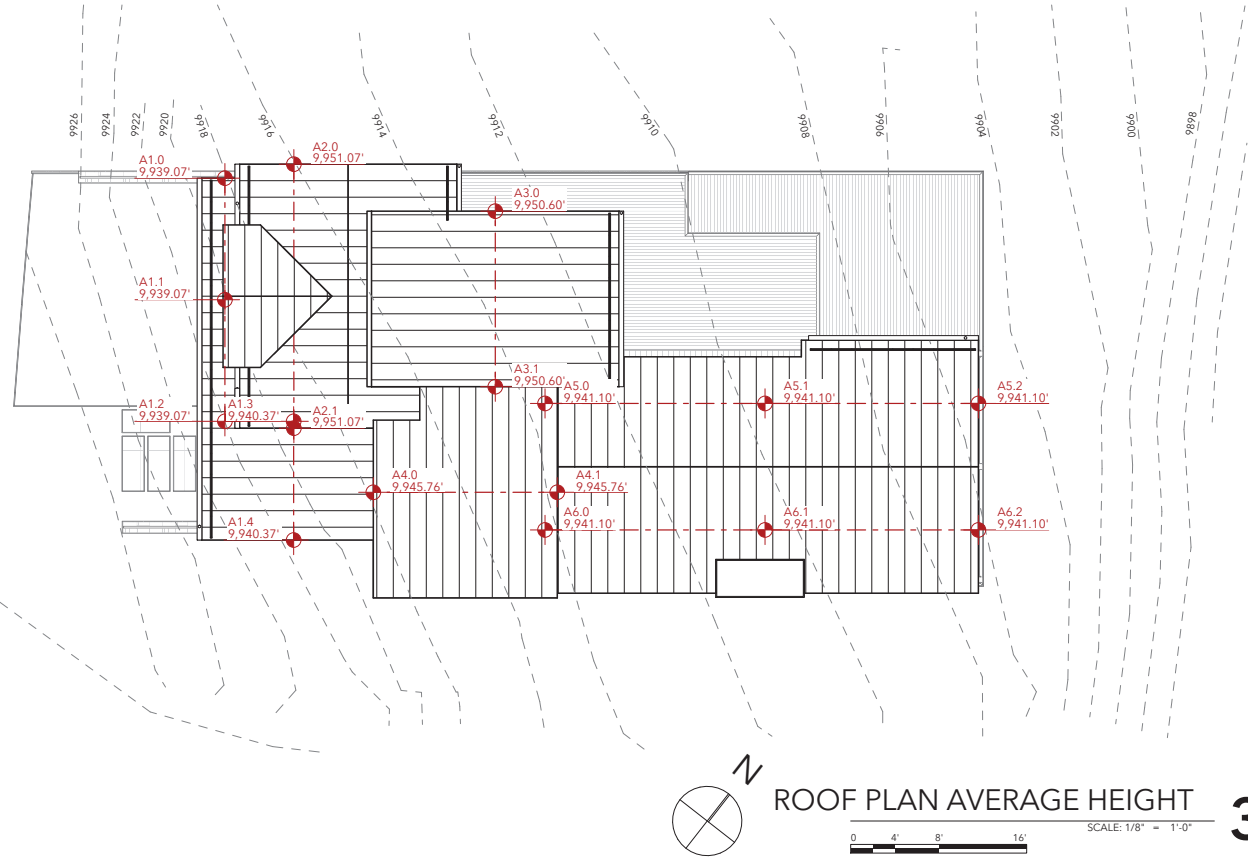


ROOF PLAN MAX HEIGHT



SCALE: 1/8" = 1'-0"

1

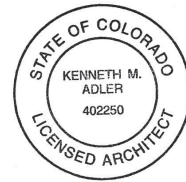


ROOF PLAN AVERAGE HEIGHT



SCALE: 1/8" = 1'-0"

3



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25
TOMV Final	05.01.25

NOT FOR
CONSTRUCTION

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

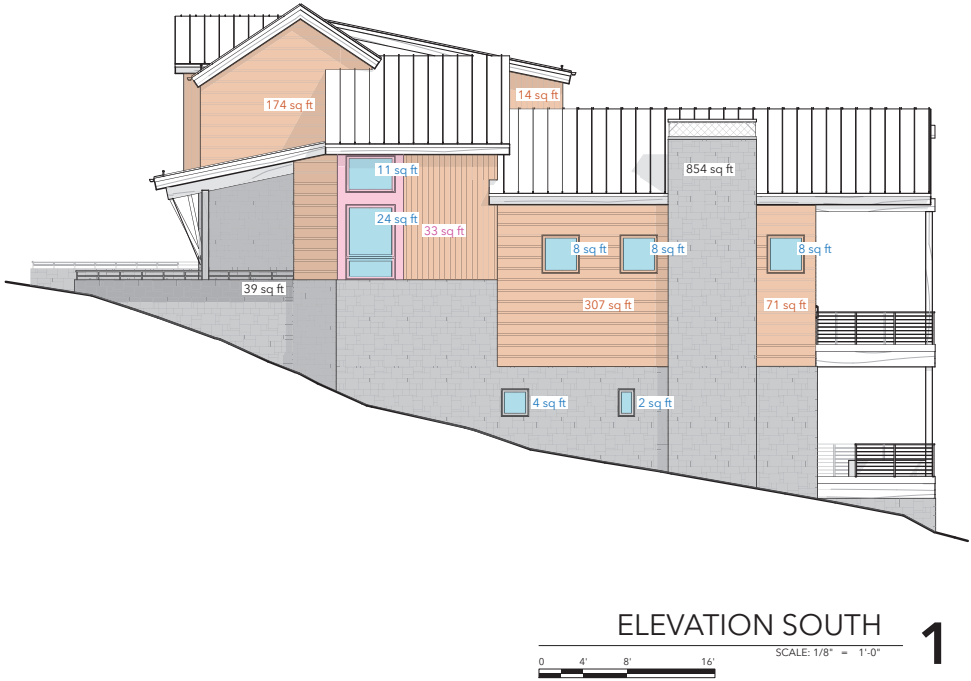
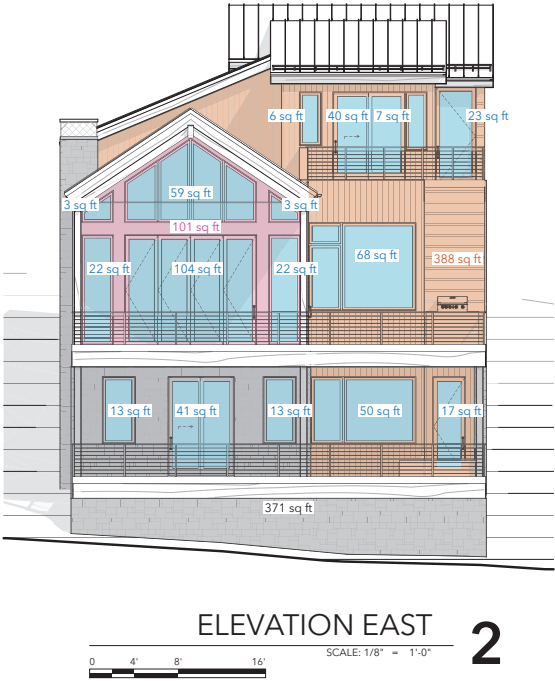
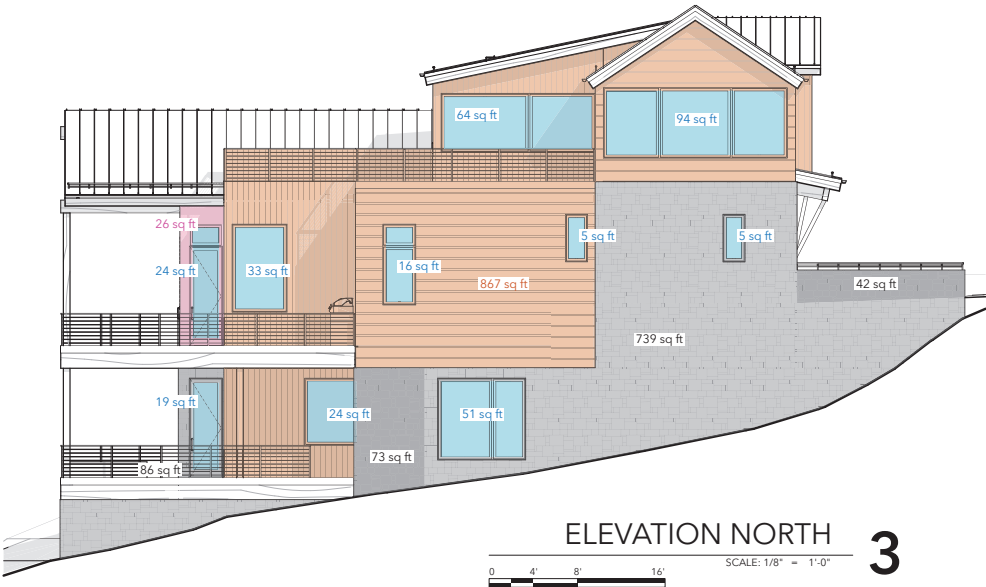
Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

HEIGHT PLANS

A003



MATERIALS	SQ FT	% OF TOTAL WALL AREA
ELEVATION NORTH		
STONE	825	40.19%
GLASS	335	16.32%
WOOD	867	42.23%
METAL	26	1.27%
TOTAL	2053	100.00%
ELEVATION EAST		
STONE	371	27.46%
GLASS	491	36.34%
WOOD	388	28.72%
METAL	101	7.48%
TOTAL	1351	100.00%
ELEVATION SOUTH		
STONE	854	56.26%
GLASS	65	4.28%
WOOD	566	37.29%
METAL	33	2.17%
TOTAL	1518	100.00%
ELEVATION WEST		
STONE	87	14.33%
GLASS	119	19.60%
WOOD	349	57.50%
METAL	52	8.57%
TOTAL	607	100.00%
TOTAL WALL AREA		
STONE	2137	38.65%
GLASS	1010	18.27%
WOOD	2170	39.25%
METAL	212	3.83%
TOTAL	5529	100.00%

WALL AREAS

SCALE: 1' = 1'-0"

5

MATERIAL LEGEND	
	METAL
	GLASS
	WOOD
	STONE

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

**EXTERIOR MATERIAL
AREAS**

A004

GENERAL NOTES

1. ALL TREES AND SHRUBS TO BE LOCATED BY ARCHITECT / OWNER. CONSULT WITH TOWN FORESTER PRIOR TO ORDERING AND PLANTING TREES / SHRUBS.
2. ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
3. NECESSARY TREES SHALL BE STAKED WITH 4" METAL "T" POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRIPS.
4. PERENNIAL PLANTING BEDS SHALL BE TILLED 6" DEEP AND AMENDED WITH TOPSOIL AND ORGANIC FERTILIZER AT A 2:1 RATIO.
5. SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
6. MULCH ALL PERENNIAL BEDS WITH LAVA ROCK.
7. ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
8. LANDSCAPING AND TREE REMOVAL SHALL BE IN ACCORDANCE WITH CDC 17.5.9, LANDSCAPE REGULATIONS AND CDC 17.6.1 ENVIRONMENTAL REGULATIONS.

NOXIOUS WEEDS:

9. ALL PLANTED MATERIALS, INCLUDING SEEDS, SHALL BE NON NOXIOUS SPECIES AS SPECIFIED IN THE NOXIOUS WEED CDC TABLE 5.5 OR SUBSEQUENTLY DESIGNATED AS A NOXIOUS WEED BY THE STATE OF COLORADO, OR THE TOWN.

LANDSCAPE MAINTENANCE NOTES:

10. TURF SHALL BE AERATED 2 TO 3 TIMES PER YEAR TO INCREASE THE WATER ABSORPTION RATE. NECESSARY ORGANIC FERTILIZATION AND AMENDMENT SHALL BE INCORPORATED AT THE SAME TIME.
11. NECESSARY ORGANIC FERTILIZERS AND AMENDMENT SHALL BE ADDED TO PERENNIAL BEDS SEASONALLY ALONG WITH MULCH.
12. ALL SHRUBS IN THE SNOW SHED AREAS TO BE CUT BACK IN FALL TO 12"-18" IN HEIGHT.
13. IRRIGATION SYSTEM TO BE BLOWN OUT BY OCTOBER 31ST EACH FALL AND TURNED ON BY JUNE 1ST EACH SPRING.

TREE PROTECTION / REMOVAL NOTES

1. TREE PROTECTION FENCING IS REQUIRED BY THE CEC TO BE INSTALLED AT OR BEYOND THE CROWN DRIPLINE OF EACH TREE THAT WILL REMAIN (TREE PROTECTION ZONE) IN ACCORDANCE WITH CDC: 17.6.1.
2. TREE PROTECTION FENCING MUST BE INSTALLED AND APPROVED BY THE TOWN FORESTER BEFORE EXCAVATION MAY BEGIN.
3. TOWN FORESTER MUST BE CONTACTED BEFORE EXCAVATION BEGINS TO MARK OR APPROVE THE TREES TO BE REMOVED AND TO APPROVE THE PLACEMENT OF THE TREE PROTECTION FENCING. A TREE REMOVAL PERMIT MUST BE OBTAINED FROM THE TOWN FORESTER BEFORE TREE REMOVAL OPERATION MAY BEGIN.
4. NO BACKFILL, STORAGE, OR STAGIN IS PERMITTED INSIDE THE TREE PROTECTION AREA INSIDE THE TREE PROTECTION FENCING.

TREE PLANTING NOTES

1. TREE PLANTING SHALL ADHERE TO CDC 17.5.9.
2. TREES AND SHRUBS SHALL BE MULCHED UPON INITIAL PLANTING AND AS NEEDED TO REDUCE WATER EVAPORATION.
3. TREES AND SHRUB HOLES SHALL BE DUG SIX INCHES (6") DEEPER THAN THE ROOT BALL SIZE TO FACILITATE THE PLACEMENT OF APPROPRIATE MULCH MATERIAL AND FACILITATE GROWTH.
4. TREES SHALL BE STAKED AND HELD IN PLACE BY WEBBING AND WIRE TO ENSURE SUCCESSFUL ROOT ESTABLISHMENT FOR A PERIOD OF TWO (2) FULL GROWING SEASONS.
5. BURLAP AND WIRE SHALL BE REMOVED FROM THE ROOT BALL AS PART OF INSTALLATION. IF THE WIRE CANNOT BE REMOVED DUE TO THE SIZE OF THE TREE, THEN TWO-THIRDS OF THE WIRE SHALL BE REMOVED FROM THE UPPER PORTION OF THE ROOT BALL. ENSURE ALL WIRE / TWINE IS REMOVED FROM AROUND THE TRUNK.

PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QTY
PICEA ENGELMANNII	ENGELMANN SPRUCE (ES)	8-10 FT IN HT W/ 30% 10 FT OR LARGER	0 EA
PSEUDOTSUGA MENZIESII	Douglas Fir (DF)	8-10 FT IN HT W/ 30% 10 FT OR LARGER	0 EA
POPULUS TREMULOIDES	ASPEN (AS)	2 IN CALLIPER W/ 30% 3 IN OR LARGER	0 EA
ACER GINNALA	AMUR MAPLE (AM)	3-4 FT IN HT W/ 30% 4-5 FT IN HT	0 EA
PRUNUS VIRGINIANA	CHOKE CHERRY (CC)	4-5 FT IN HT W/ 30% 5-6 FT IN HT	0 EA

REVEGETATION NOTES

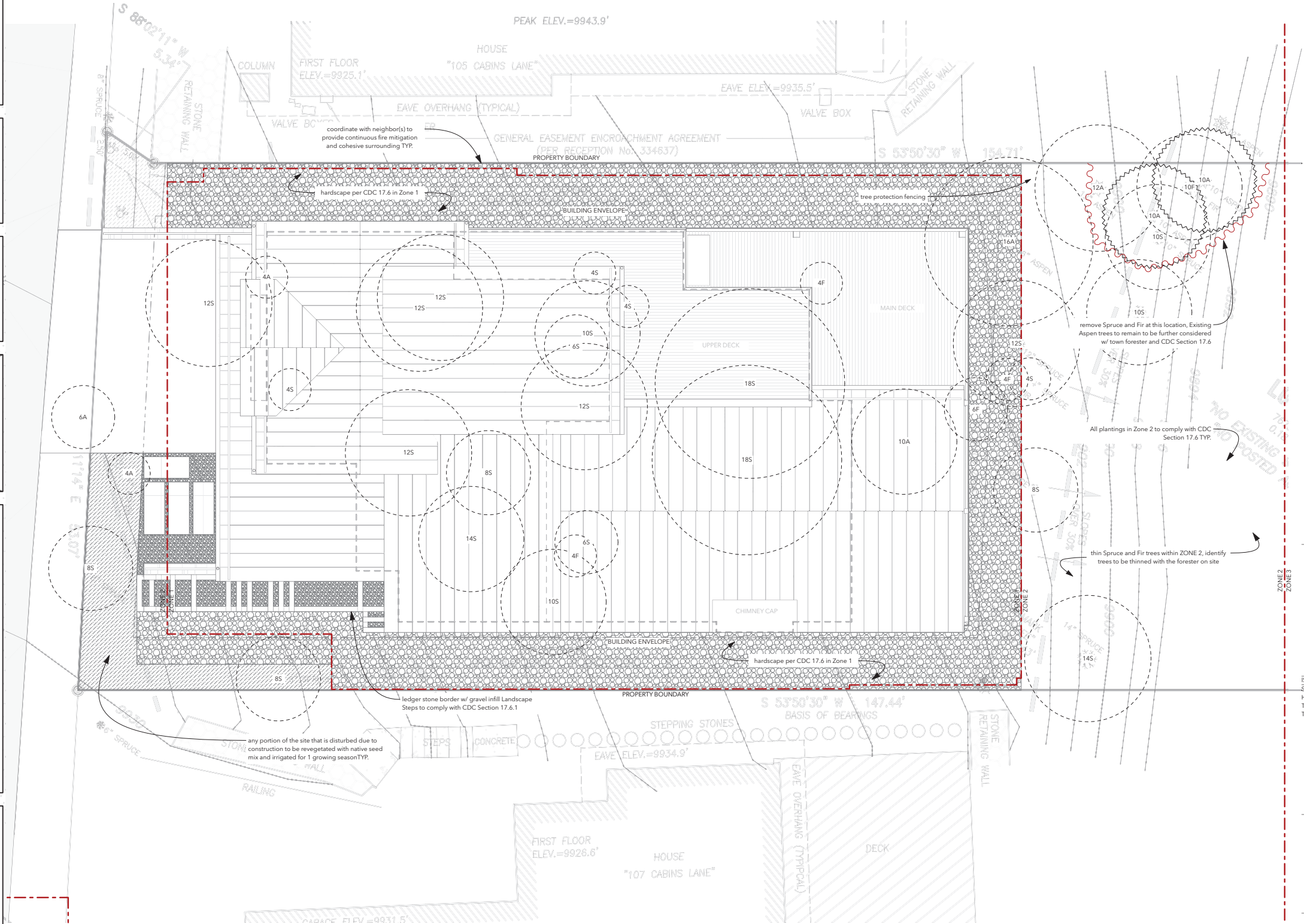
1. SUBSOIL SURFACE SHALL BE TILLED TO A 4" DEPTH ON NON FILL AREAS.
2. BROADCASTING OF SEED SHALL BE DONE IMMEDIATELY AFTER TOPSOIL IS APPLIED (WITHIN 10 DAYS) TO MINIMIZE EROSION AND WEEDS.
3. AREAS WHICH HAVE BEEN COMPACTED OR ARE RELATIVELY UNDISTURBED NEEDING SEEDING SHALL BE SCARIFIED BEFORE BROADCASTING OF SEED.
4. BROADCASTING WITH SPECIFIED SEED MIX AND FOLLOW WITH DRY MULCHING. STRAW OR HAY SHALL BE UNIFORMLY APPLIED OVER SEED AREA AT A RATE OF 1.5 TONS PER ACRE FOR HAY OR 2 TONS PER ACRE FOR STRAW, CRIMP IN.
5. ON SLOPES GREATER THAN 3:1 EROSION CONTROL BLANKET SHALL BE APPLIED IN PLACE OF STRAW MULCH AND PINNED.
6. ALL UTILITY CUTS SHALL BE REVEGETATED WITHIN TWO WEEKS AFTER INSTALLATION OF UTILITIES TO PREVENT WEED INFESTATION.
7. SEED ALL AREAS LABELED NATIVE GRASS SEED WITH THE FOLLOWING MIXTURE AT A RATE OF 12 LBS. PER ACRE.
8. REVEGETATION WILL REQUIRE 12" OF EXISTING TOP SOIL TO BE REMOVED AND STORED UNTIL REVEGETATION HAPPENS.
9. TOPSOIL SPECIFICATION: REPLACE WITH ORIGINAL EXCAVATED FROM THE SITE AND SUPPLEMENT WITH LOCAL NATIVE TOPSOIL. TOPSOIL WILL CONTAIN 5-8% ORGANIC MATTER WHICH SHALL BE MIXED IN DURING THE RESTORATION PROCESS (THE ORGANIC MATTER SHOULD BE DERIVED FROM DISEASE AND HERBICIDE FREE PARTIALLY DECOMPOSED, CURED WOOD CHIPS).
10. REVEGETATION WILL BE BROUGHT BACK TO ORIGINAL GRADE.

NATIVE GRASS SEED MIX:

SPECIES	PURE LIVE SEED PER ACRE
WESTERN YARROW	5%
TALL FESCUE	10%
ARIZONA FESCUE	5%
HARD FESCUE	5%
CREEPING RED FESCUE	10%
ALPINE BLUEGRASS	15%
CANADA BLUEGRASS	10%
PERENNIAL RYEGRASS	15%
SLENDER WHEATGRASS	10%
MOUNTAIN BROME	15%

LANDSCAPE LEGEND

	EXISTING TREE TO REMAIN S = SPRUCE, F = FIR, A = ASPEN
	TREE PROTECTION FENCING
	EXISTING TREE TO BE REMOVED S = SPRUCE, F = FIR, A = ASPEN
	PROPOSED CONIFEROUS TREE
	PROPOSED DECIDUOUS TREE
	PERENNIAL BED (SHRUBS)
	AREA TO BE REVEGETATED (NATIVE SEED MIX)



Gold Hill Lot 6

106 Cabins LN
Town of Mountain Village, CO 81435

ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial REV 1	03.06.25
TOMV Final	05.01.25

NOT FOR
CONSTRUCTION

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

LANDSCAPE

LANDSCAPE

1

SCALE: 1" = 5'



A005

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER AND WATER: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK
BROADBAND: CLEARNETWORK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2025-01-10

Unit 6
Gold Hill
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1

Wildfire Mitigation will be performed according to the Town of Mountain Village requirements, CDC Chapter 17.6. Zones 1, 2, and 3 are identified on the plan.

i. Zone 1 is the area that consists of fifteen feet (15") around the building as measured from the outside edge of the building's dripline, including decks, planters or patios attached to the building. The following provisions shall apply in Zone 1:

1. (a) All slash and flammable vegetation as identified by staff shall be removed from Zone 1.
 2. (b) All trees and shrubs located within Zone 1 shall be removed.
 3. (c) The following exceptions apply to Zone 1:
 1. (i) A tree or shrub may remain within Zone 1 provided the defensible space distance is measured commencing from the vegetation's drip edge rather than from the building plane (so the tree is considered part of or an extension of the structure), and provided the distance is not limited by a lot line.
 2. (ii) Flammable vegetation shall be allowed in planters attached to the building so long as the planter is within ten feet (10') of a building, and vegetation is not planted directly beneath windows or next to foundation vents.
 3. (d) In the event Zone 1 encroaches upon the general easement, the review authority shall allow the creation of defensible space as required by this section.
- Zone 2 is the area that extends from the outer edge of Zone 1 for the distance specified in Figure 6-1 (Sec. 17.6.1 of the CDC), Fire Mitigation Zones, based on slope, to the lot line, whichever is less.

(iii.) Dominant and co-dominant live trees with a dbh of four inches (4") or greater shall be spaced with a ten foot (10') crown-to- crown separation. All ladder fuels and slash shall be removed from the ten foot (10') crown-to-crown separation area.

4. (iv.) All stressed, diseased, dead or dying trees and shrubs, as identified by staff, shall be removed except for standing dead trees that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.
5. (v.) Shrubs over five feet (5') tall shall have an average spacing of ten feet (10') from shrub-to-shrub.

2. (i) Groupings of trees or shrubs may be allowed provided that all of the crowns in such group of trees or the edge of the shrubs are spaced ten feet (10') from crown-to- crown or from edge of shrub to any trees or shrubs outside of such grouping.
3. (ii) Aspens, narrowleaf cottonwoods, willows and other trees and shrubs listed in CSU Cooperative Extension Publication 6.305, Firewise Plant Materials as amended from time to time, may be spaced closer than the ten foot (10') crown-to-crown separation as approved by staff.

4. (iii.) Closer spacing of any trees may be allowed by staff upon a determination that the required ten foot (10') crown-to-crown spacing would put the remaining trees at undue risk of wind-throw or snow breakage.

5. (iv.) Tree removal for the creation of defensible space, if such tree removal is determined to be impractical by the Town due to steep slopes, wetland or other environmental constraints, and other mitigation is provided.

3. (c) Trees remaining within Zone 2 shall have branches pruned to a height of ten feet (10'), but notwithstanding said height requirement, branches need not be pruned to more than one-third (1/3) of the tree height with the following exceptions:

1. (i.) *Aspen trees; and*
2. (ii.) *Isolated spruce and fir trees.*

4. (d) In the event that Zone 1 or 2 extends upon the general easement, the review authority shall allow the removal of trees to implement the wildfire mitigation plan.
5. (e) Chipped wood and small timber may be spread throughout either Zone 2 or Zone 3 provided the wood chips have a maximum depth of two to three inches (2" - 3") and small timber has a diameter of three inches (3") or less and is cut up into lengths that are three feet (3') or less.

iii. Zone 3 is the area extending beyond Zone 2 to the edge of the lot subject to development. In Zone 3, all diseased, beetle infested, dead or dying trees, as identified by staff, shall be removed except for standing dead trees (aka tree snags) that staff indicates need to be maintained since standing dead trees provide important wildlife habitat.

(a) For lots greater than five (5) acres in size, the Town shall only require that Zone 3 be implemented for a distance of 500 feet from the outside edge of Zone 2. A lot owner may propose to implement Zone 3 for all of the lot.

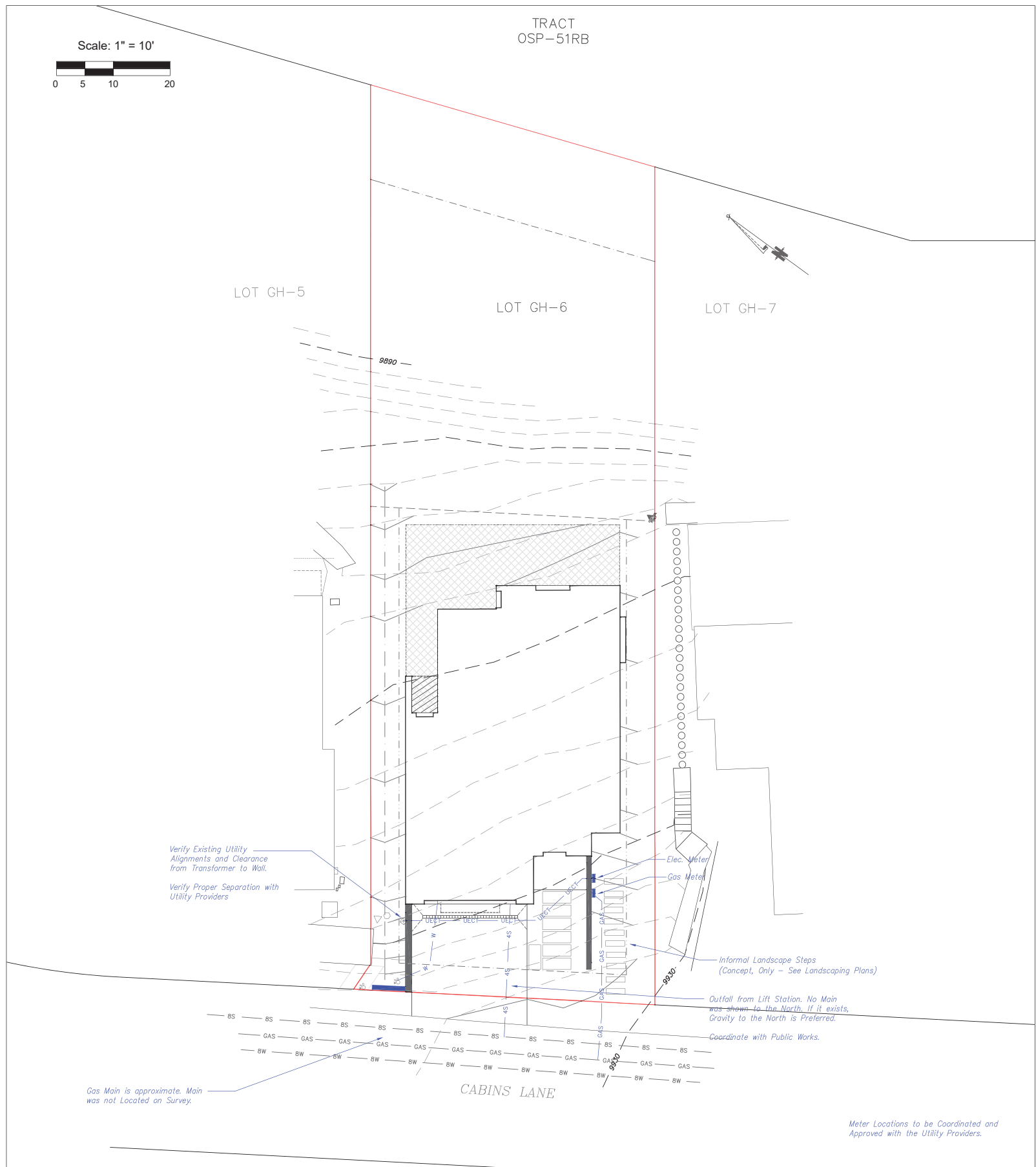
E. Firewood may only be stored on a lot that has a solid fuel burning device permit issued by the Town that meets the following limitations:

- i. Indoor storage can only occur within an enclosed room that is a part of the primary structure on the lot.
- ii. Outdoor storage shall only occur in the rear yard.
- iii. Up to ten (10) cubic feet of outdoor firewood storage may be located in Zone 1 or Zone 2.
- iv. Outdoor firewood storage larger than ten (10) cubic feet shall have a minimum thirty foot (30') distance from the structure.

v. Outdoor firewood storage shall be screened from view from surrounding lots

F. Prior to the issuance of any certificate of occupancy or certificated of completion, staff shall inspect the lot affected by the fire mitigation plan to ensure that such plan has been implemented in accordance with the approved wildfire mitigation plan.

G. The wildfire mitigation plan shall be maintained by the lot owner as required by this section.



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2025-01-10
Moved Meters	2025-03-03

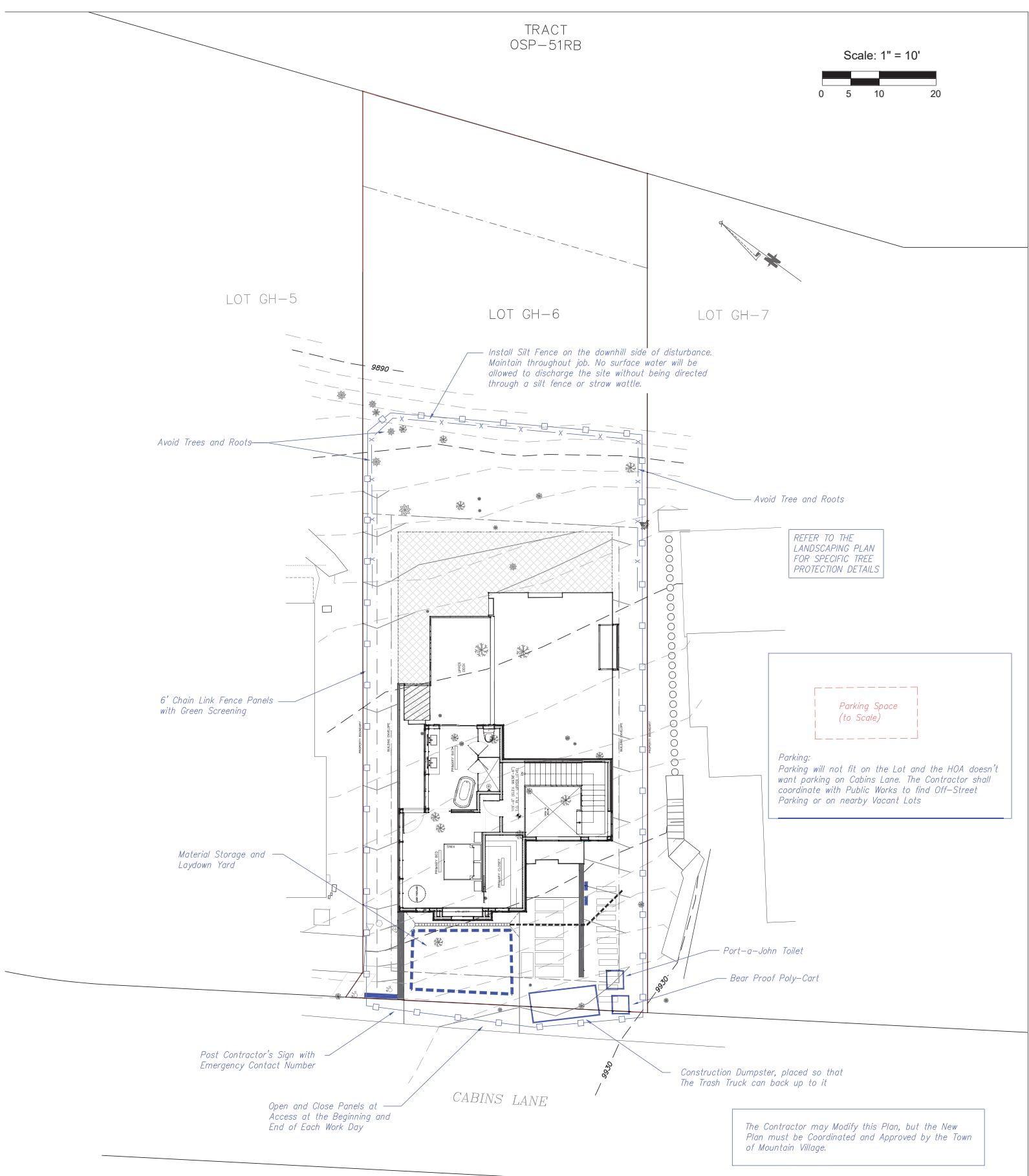
Unit 6
Gold Hill
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Utilities

C3



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2025-01-10
Moved Silt Fence	2025-04-17

Unit 6
Gold Hill
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Construction
Mitigation



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL	2025-01-10
Revised Fire Mit	2025-02-21

Unit 6
Gold Hill
Mtn. Village, CO



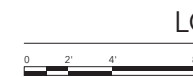
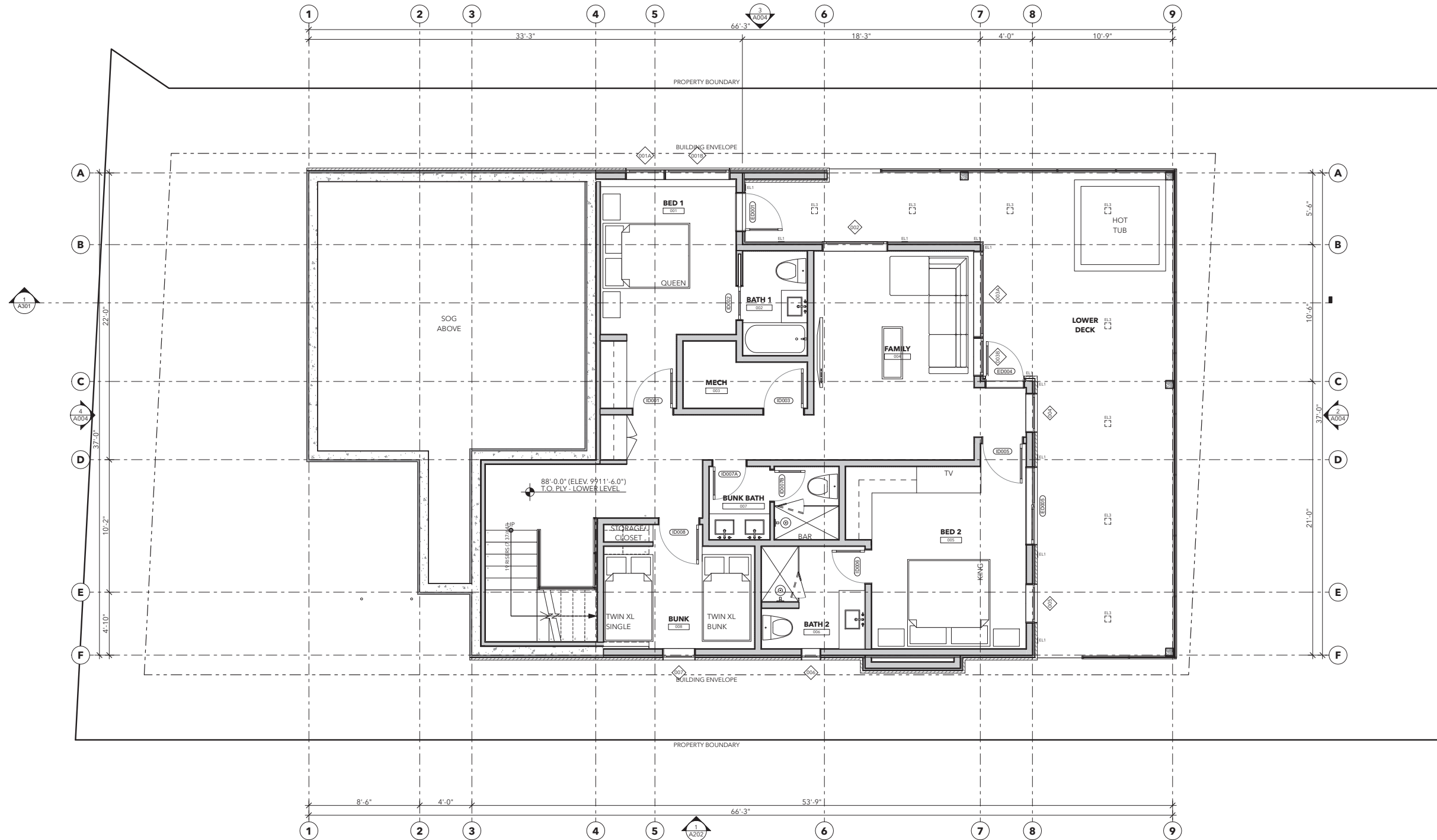
CONTRACTOR TO REVIEW AND COMPARE ALL
CHAPTERS AND INTERDISCIPLINARY DRAWINGS
AND REPORT ANY DISCREPANCIES TO THE
ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Fire
Mitigation

C5

GROSS SQUARE FOOTAGE		
ZONE		
RESIDENCE	LOWER LEVEL	1,238
GARAGE	MAIN LEVEL	540
RESIDENCE	MAIN LEVEL	1,223
RESIDENCE	UPPER LEVEL	637
		3,638 ft²

NET SQUARE FOOTAGE	
LOWER LEVEL	1,238
MAIN LEVEL	1,223
UPPER LEVEL	637
3,098 ft²	



LOWER LEVEL

SCALE: 1/4" = 1'-0"

1

A101

GROSS SQUARE FOOTAGE		
ZONE		
RESIDENCE	LOWER LEVEL	1,238
GARAGE	MAIN LEVEL	540
RESIDENCE	MAIN LEVEL	1,223
RESIDENCE	UPPER LEVEL	637
		3,638 ft²

NET SQUARE FOOTAGE	
LOWER LEVEL	1,238
MAIN LEVEL	1,223
UPPER LEVEL	637
	3,098 ft²



Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial REV 1	03.06.25
TOMV Final	05.01.25

**NOT FOR
CONSTRUCTION**

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval
of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

MAIN LEVEL PLAN

MAIN LEVEL

SCALE: 1/4" = 1'-0"

1

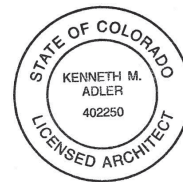
A102





ASPEN | BASALT | COLORADO
P: 970.948.9510
KA-DESIGNWORKS.COM

Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25
TOMV Final	05.01.25

**NOT FOR
CONSTRUCTION**

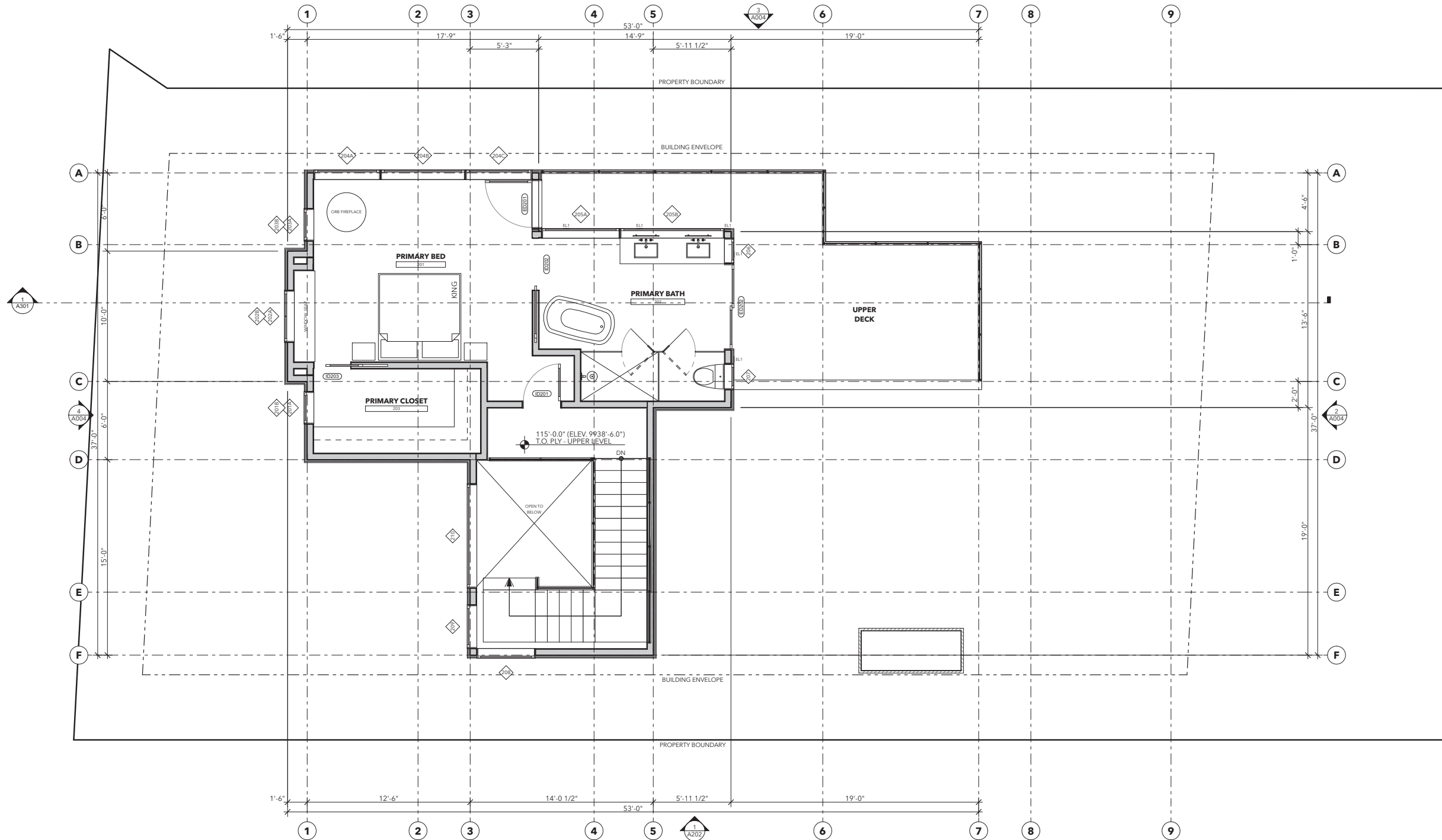
COPYRIGHT
These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.
Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE
UPPER LEVEL PLAN

GROSS SQUARE FOOTAGE		
ZONE		
RESIDENCE	LOWER LEVEL	1,238
GARAGE	MAIN LEVEL	540
RESIDENCE	MAIN LEVEL	1,223
RESIDENCE	UPPER LEVEL	637
		3,638 ft²

NET SQUARE FOOTAGE	
LOWER LEVEL	1,238
MAIN LEVEL	1,223
UPPER LEVEL	637
3,098 ft²	



UPPER LEVEL
SCALE: 1/4" = 1'-0"

1

A103

Gold Hill Lot 6

106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25
TOMV Final	05.01.25

NOT FOR
CONSTRUCTION

COPYRIGHT

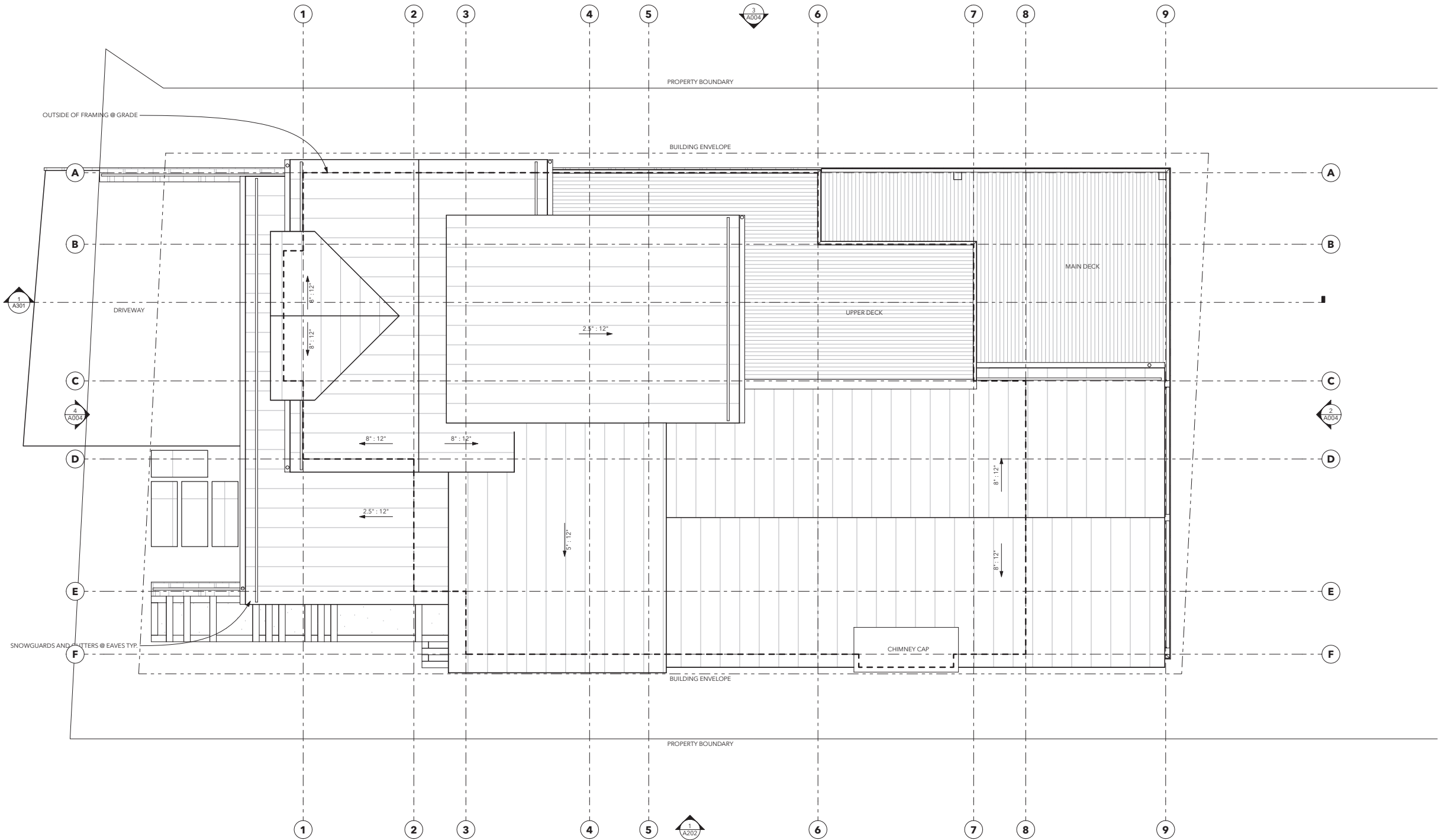
These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

ROOF PLAN

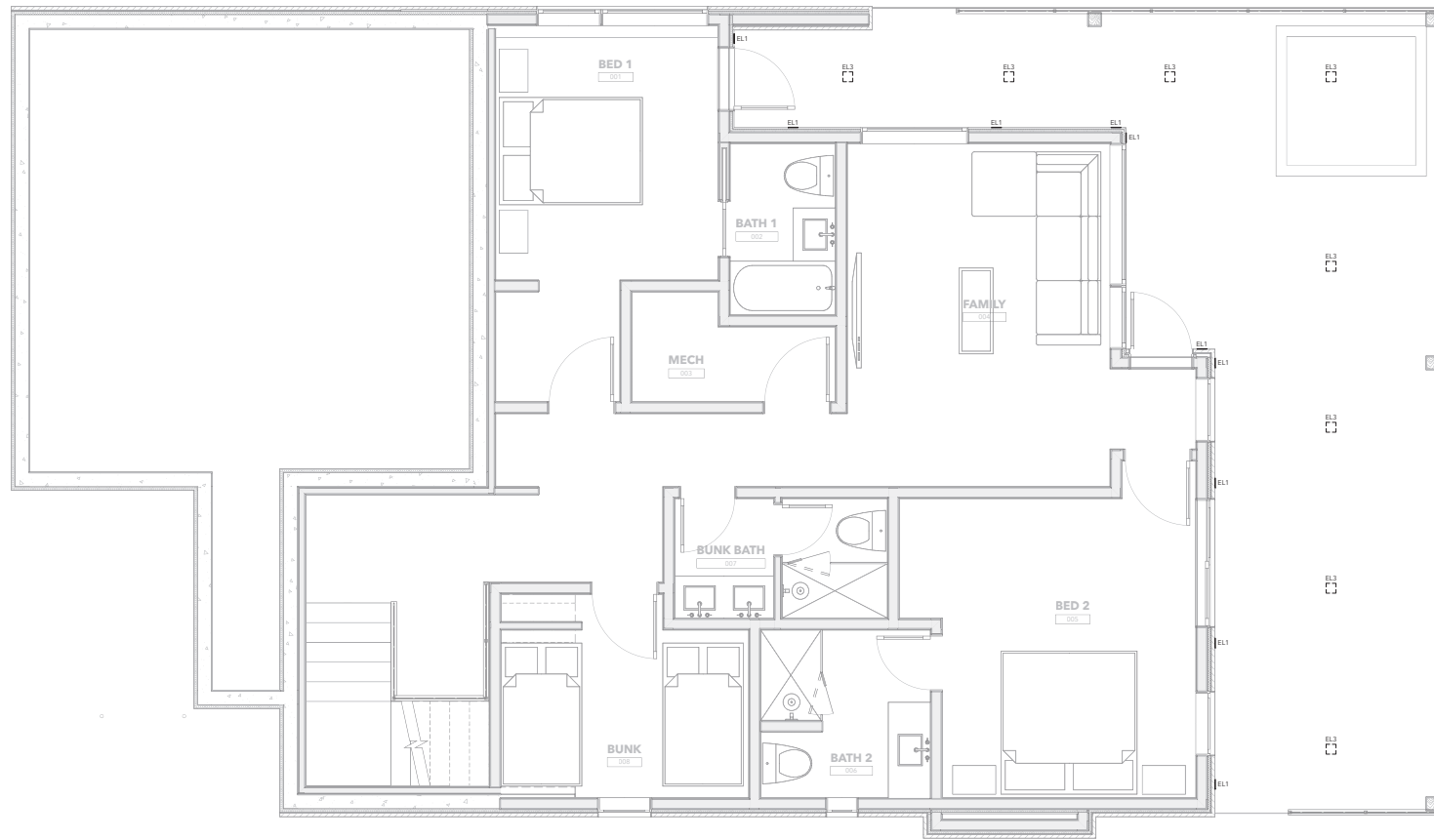


ROOF PLAN

SCALE: 1/4" = 1'-0"

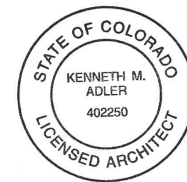
1

A104



Gold Hill Lot 6

106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HQA Prelim #2	11.08.24
TOMV Initial	03.06.25
TOMV Final	05.01.25

NOT FOR
CONSTRUCTION

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

EXTERIOR LIGHTING |
LOWER LEVEL

A105

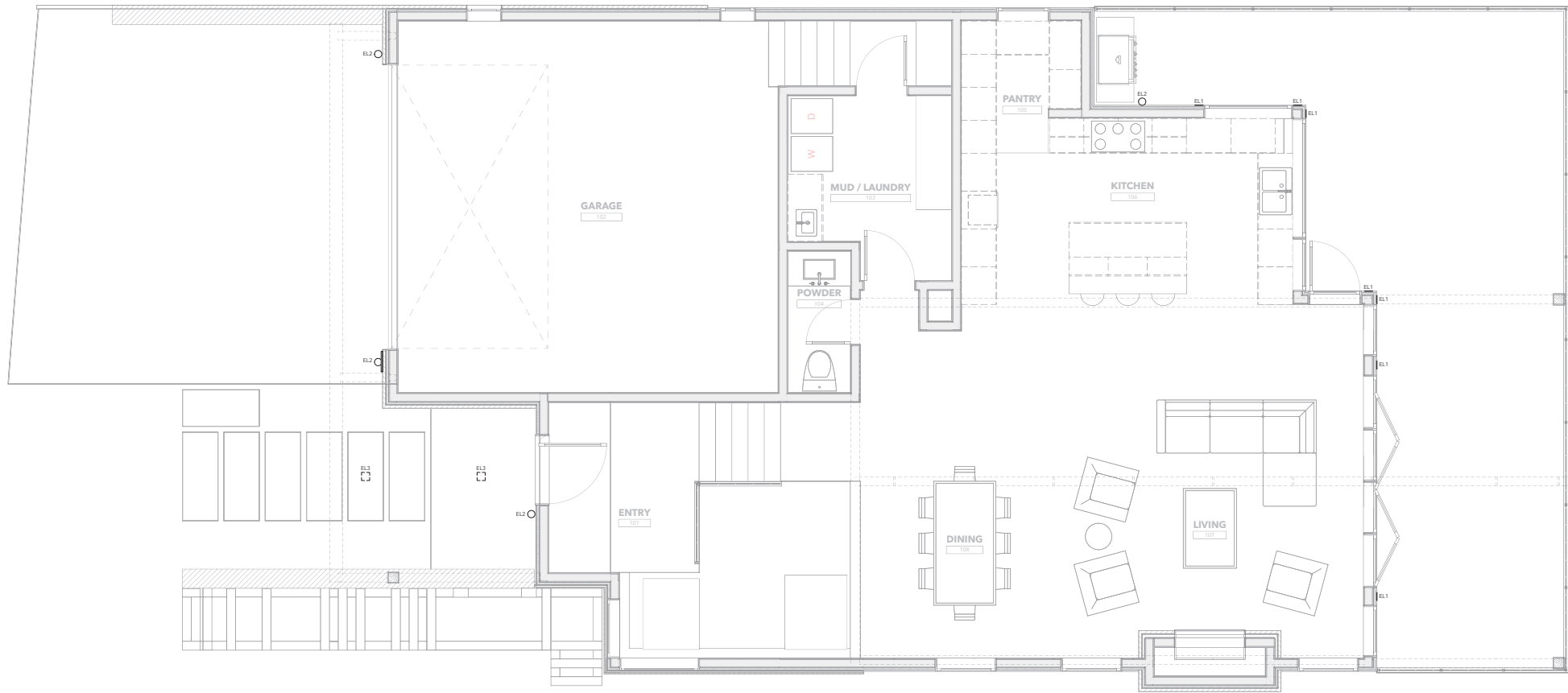


LIGHTING | LOWER LEVEL

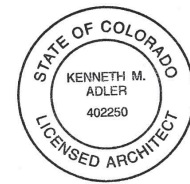


SCALE: 1/4" = 1'-0"

1



Gold Hill Lot 6
106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HQA Prelim #2	11.08.24
TOMV Initial	03.06.25
TOMV Final	05.01.25

**NOT FOR
CONSTRUCTION**

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

**EXTERIOR LIGHTING |
MAIN LEVEL**



LIGHTING | MAIN LEVEL



SCALE: 1/4" = 1'-0"

1

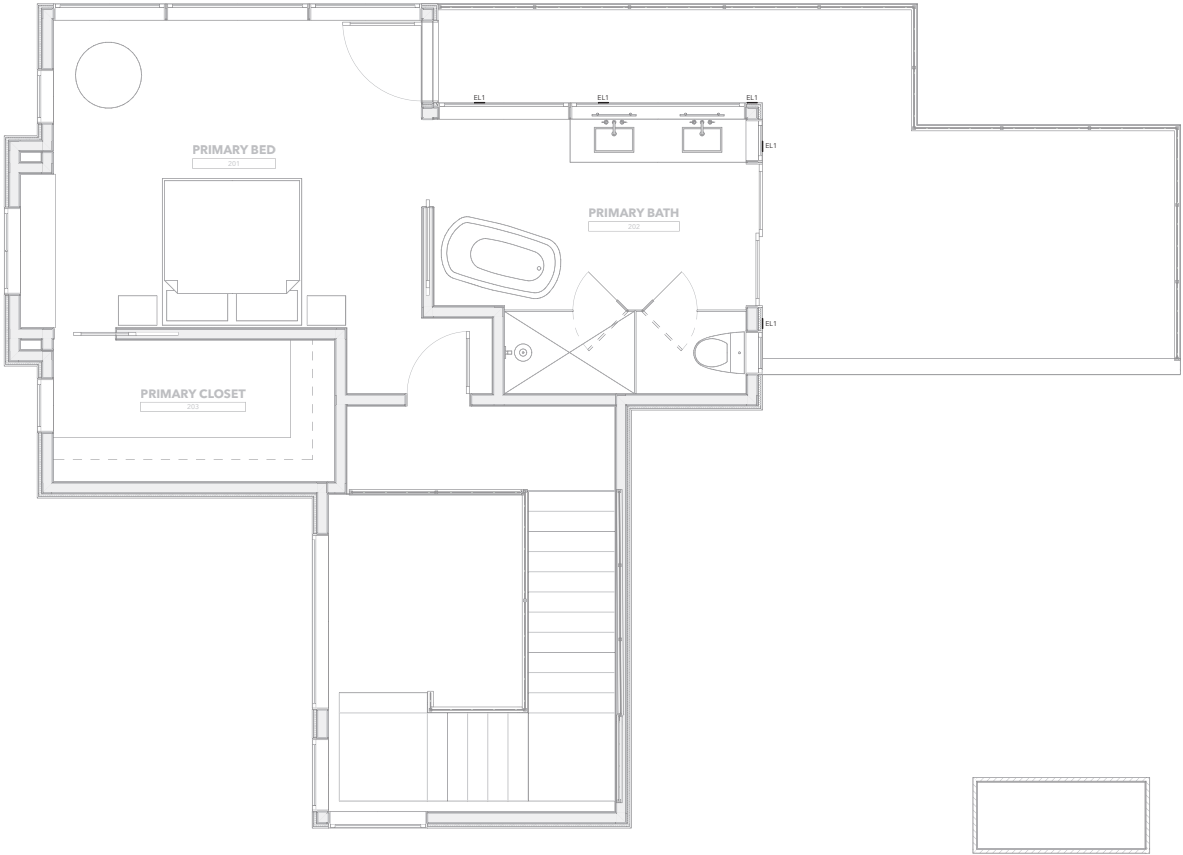
A106



ASPEN | BASALT | COLORADO
P: 970.948.9510
KA-DESIGNWORKS.COM

Gold Hill Lot 6

106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HQA Prelim #2	11.08.24
TOMV Initial	03.06.25
TOMV Final	05.01.25

NOT FOR
CONSTRUCTION

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

EXTERIOR LIGHTING |
UPPER LEVEL



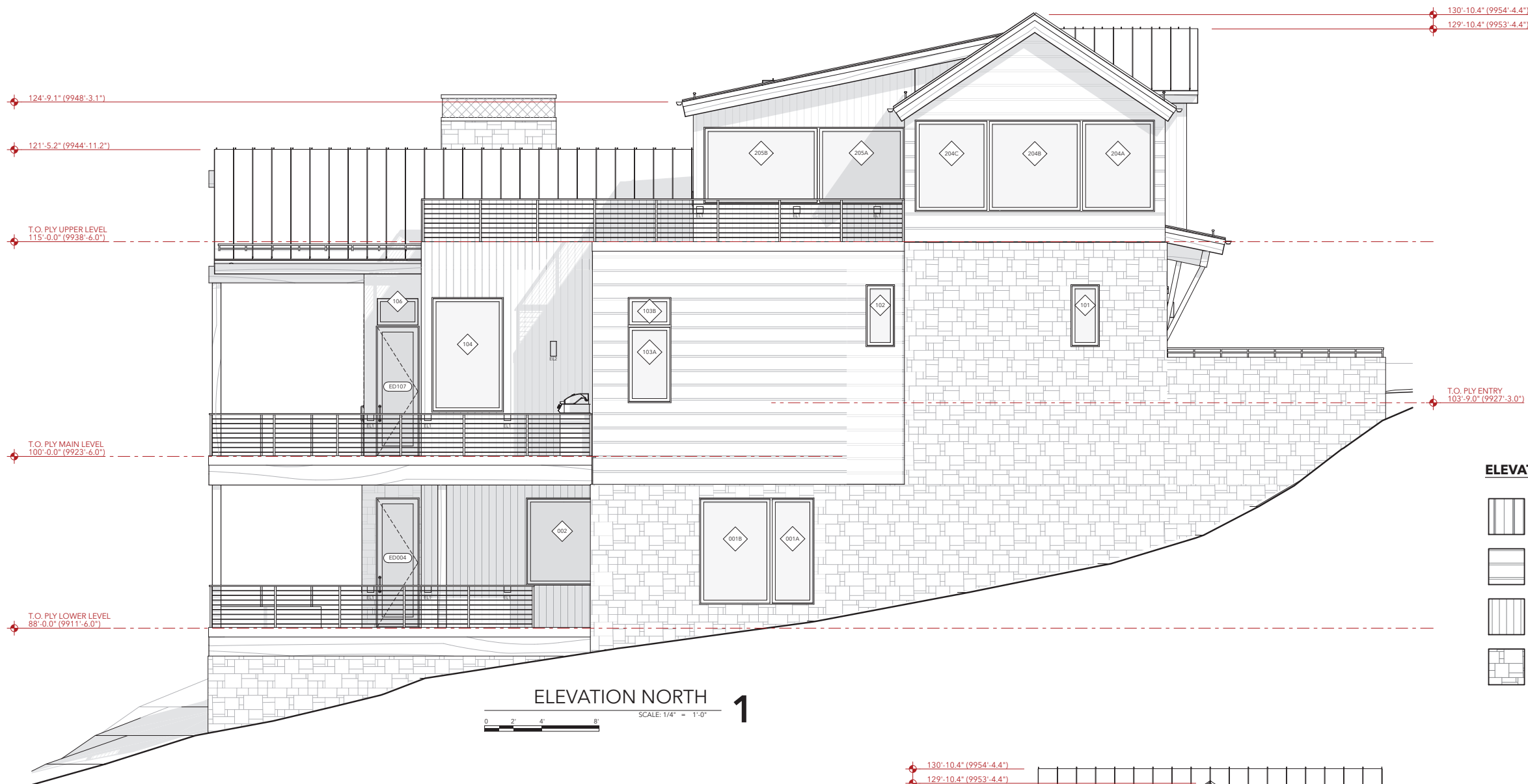
LIGHTING | UPPER LEVEL



SCALE: 1/4" = 1'-0"

1

A107

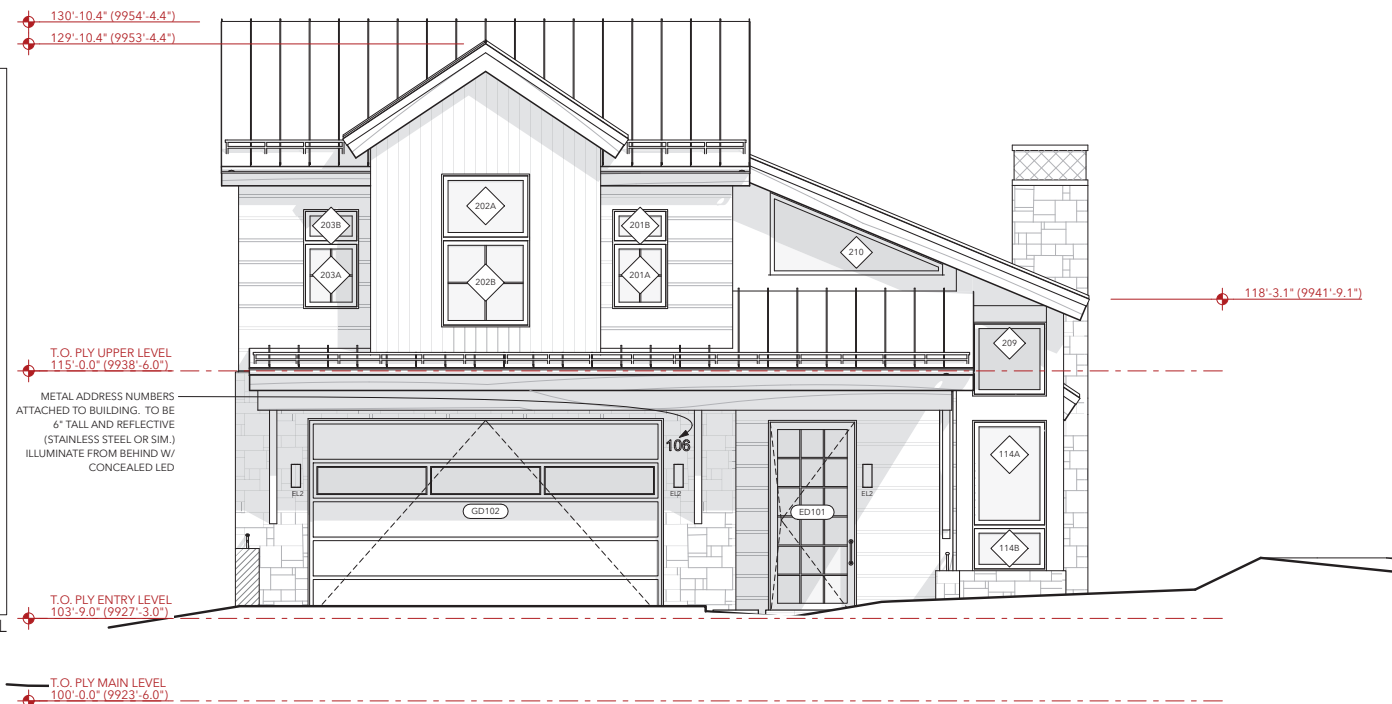
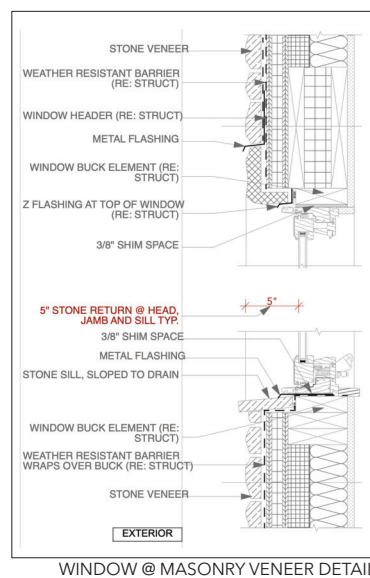


ELEVATION MATERIAL LEGEND

- STANDING SEAM METAL ROOF**
- CEDAR W/ CHINKING SIDING**
- CEDAR SIDING**
- MASONRY VENEER**

ELEVATION NORTH

1

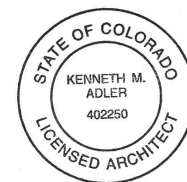


ELEVATION WEST

2

Gold Hill Lot 6

106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HQA Prelim #2	11.08.24
TOMV Initial REV 1	03.06.25
TOMV Final	05.01.25

**NOT FOR
CONSTRUCTION**

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

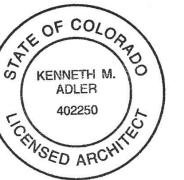
Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

ELEVATIONS

A201



ISSUE	DATE
Schematic Design	09.11.24
MOA Prelim #2	11.08.24
OMV Initial REV 1	03.06.25
OMV Final	05.01.25

**NOT FOR
CONSTRUCTION**

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

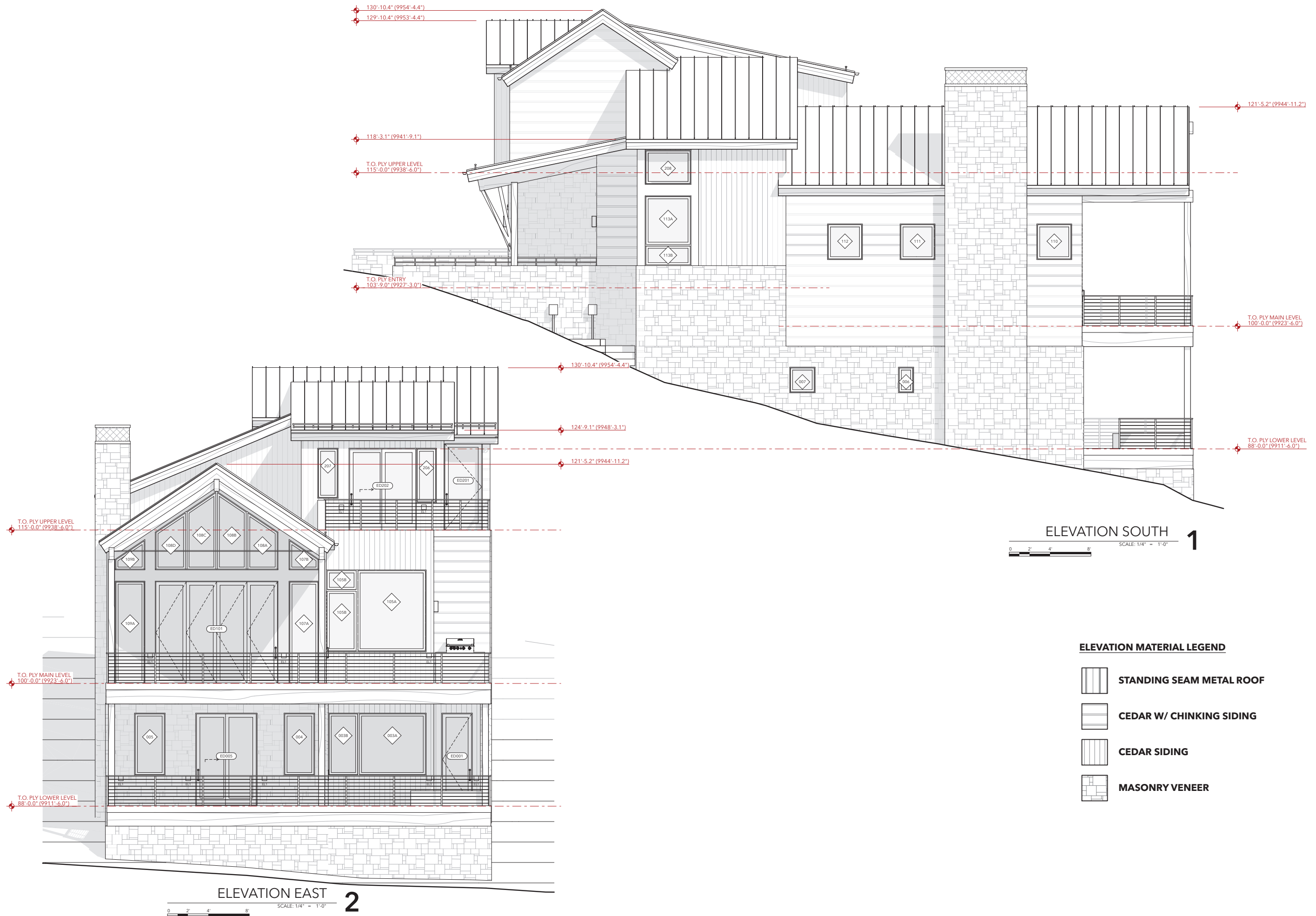
Reproduction prohibited without approval
of the Architect.

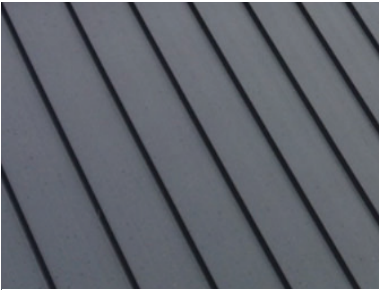
© 2025 KA DesignWorks, Inc.

SHEET TITLE

ELEVATIONS

A202





ROOF: METAL STANDING SEAM ROOF - BERRIDGE CHARCOAL GREY



PAINTED METAL / FLASHING: CANNONBALL



HORIZONTAL SIDING: DELTA MILLWORKS WESTERN RED CEDAR, HD CLEAR W/ FLASHING



VERTICAL SIDING: DELTA MILLWORKS ACCOYA, BARNWOOD, BATTLESHIP

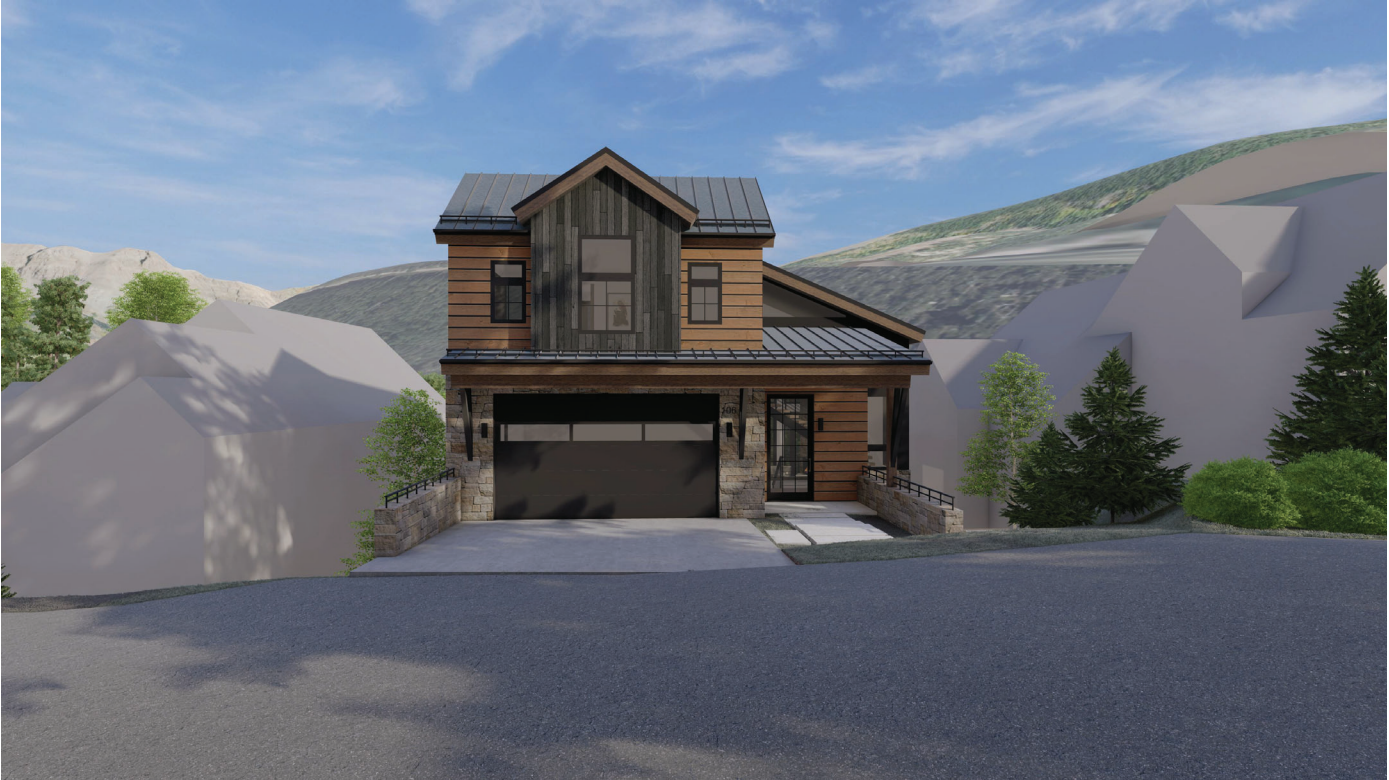


MASONRY VENEER - TELLURIDE SAGEBRUSH

KA

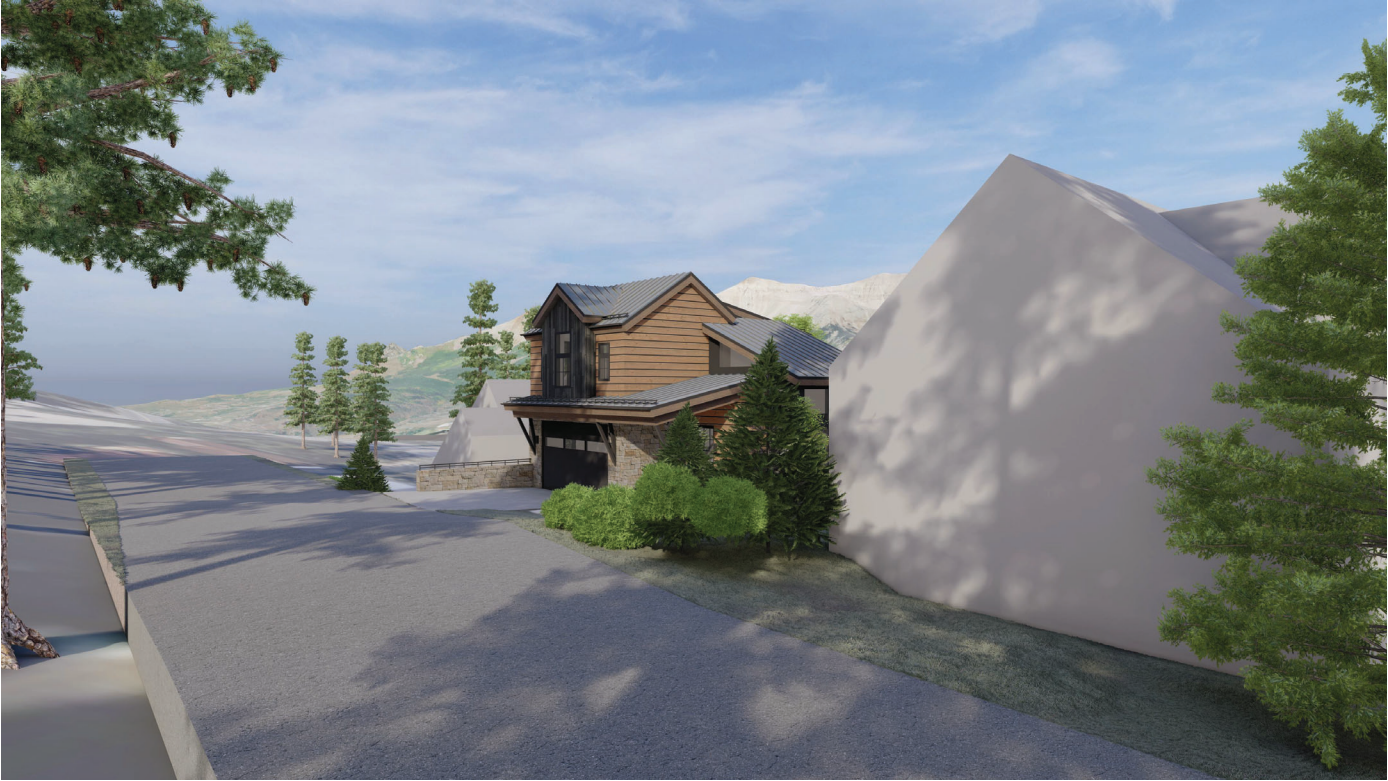
DESIGNWORKS

ASPEN | BASALT | COLORADO
P: 970.948.9510
KA-DESIGNWORKS.COM



Gold Hill Lot 6

106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
Schematic Design	09.11.24
HQA Prelim #2	11.08.24
TOMV Initial	03.06.25
TOMV Final	05.01.25

NOT FOR
CONSTRUCTION

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

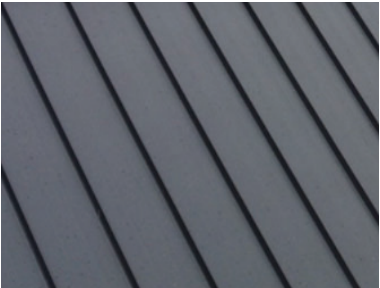
Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

3D EXTERIOR 1

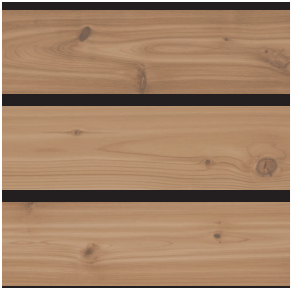
A203



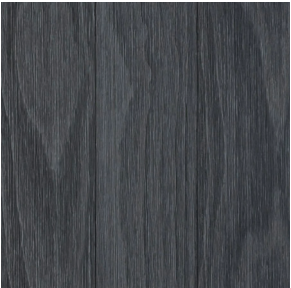
ROOF: METAL STANDING SEAM ROOF - BERRIDGE
CHARCOAL GREY



PAINTED METAL / FLASHING: CANNONBALL



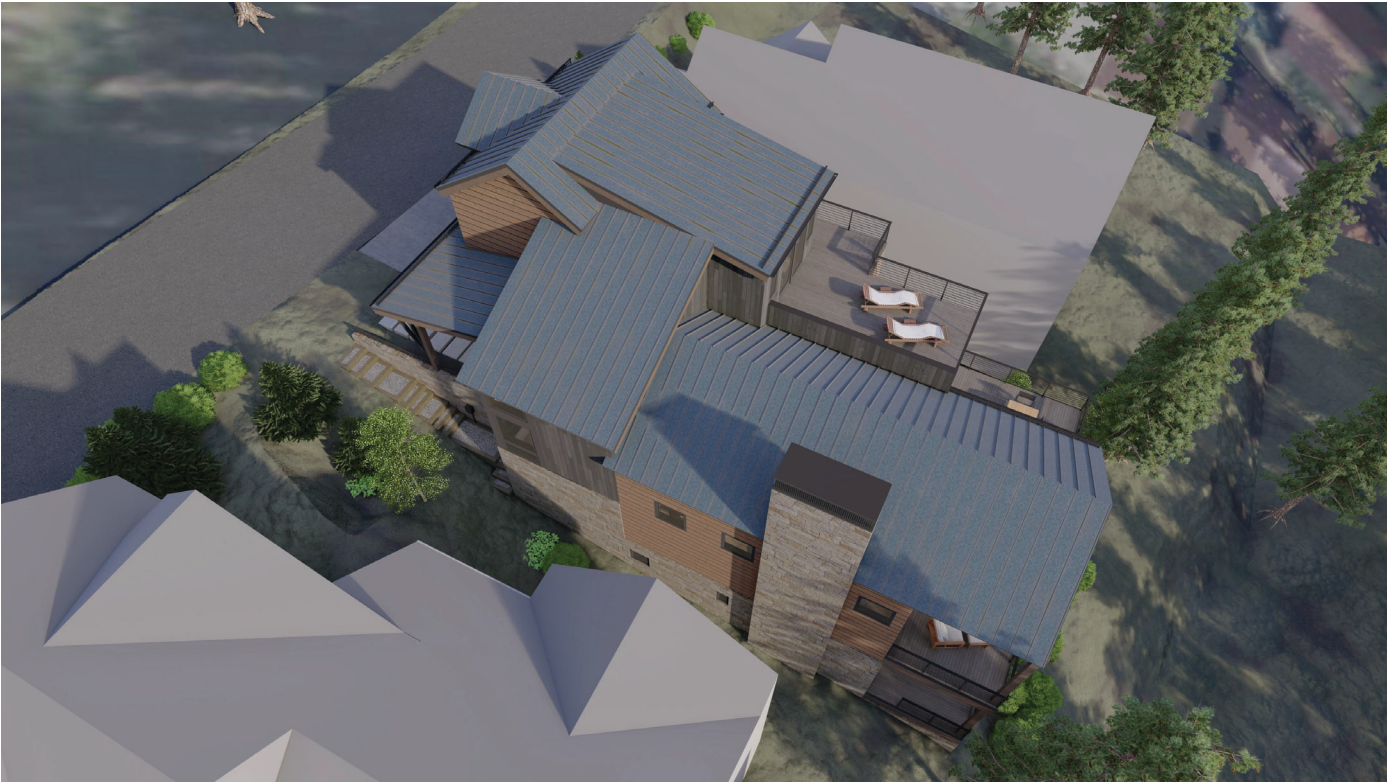
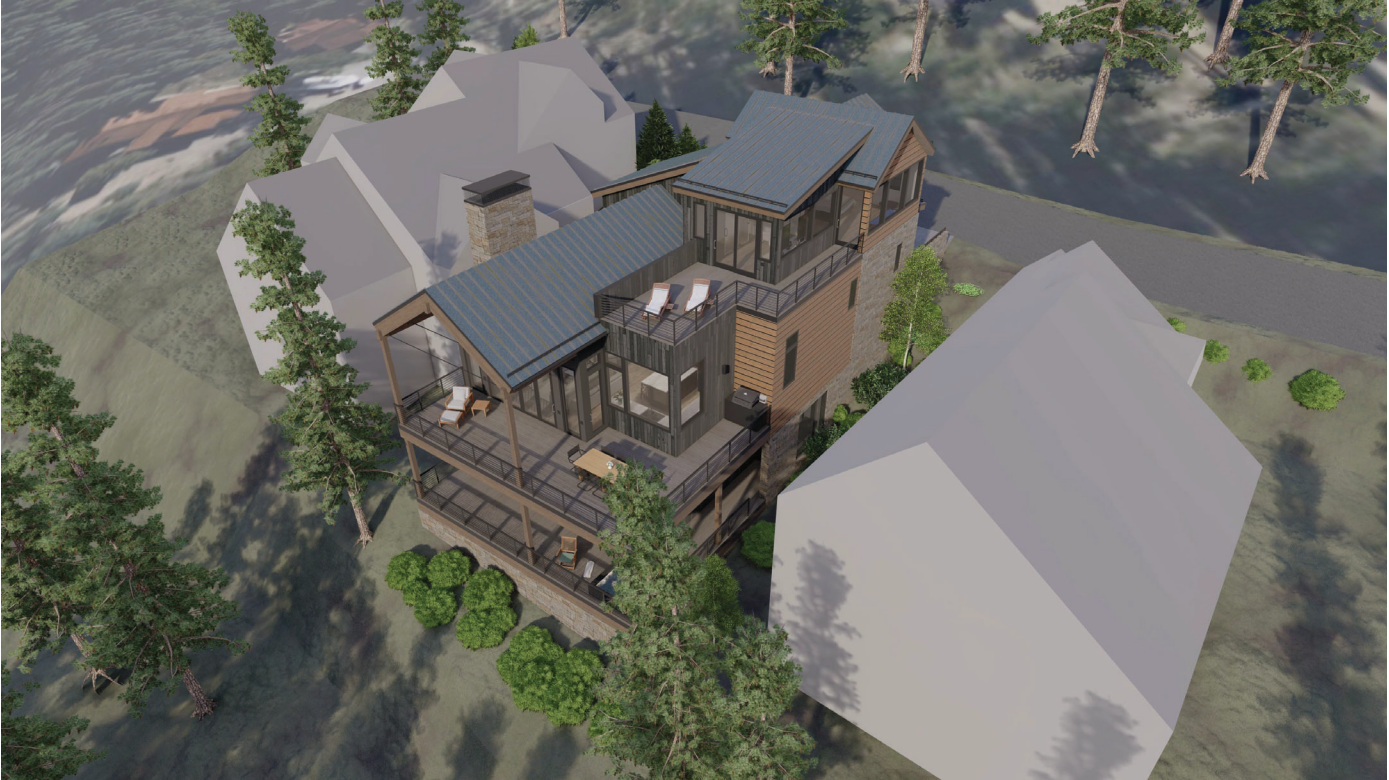
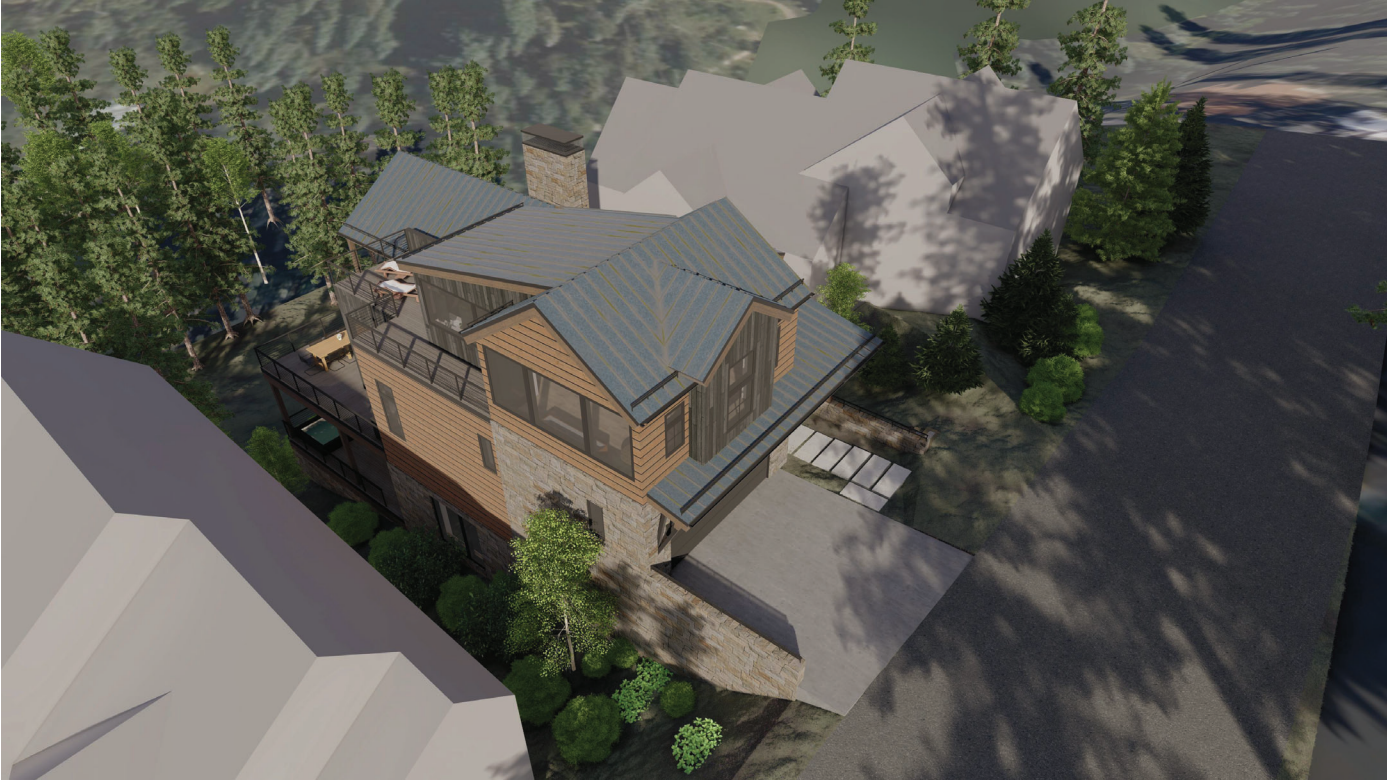
HORIZONTAL SIDING: DELTA MILLWORKS
WESTERN RED CEDAR, HD CLEAR W/ FLASHING



VERTICAL SIDING: DELTA MILLWORKS
ACCOYA, BARNWOOD, BATTLESHIP



MASONRY VENEER - TELLURIDE
SAGEBRUSH



ISSUE	DATE
Schematic Design	09.11.24
HQA Prelim #2	11.08.24
TOMV Initial	03.06.25
TOMV Final	05.01.25

NOT FOR
CONSTRUCTION

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

3D EXTERIOR 2

A204



**NOT FOR
CONSTRUCTION**

Reproduction prohibited without approval
of the Architect.

LIGHTING SPECS

A205

Lotus
LED
Lights

Type IC, Air-Tight, Wet & Plenum Rated

DESCRIPTION

4" Square Recessed LED With Integral
Driver In Connection Box
Commercial Grade Quality With Architectural Design

FEATURES & BENEFITS

2" Deep - Install Where Ceiling Space is Limited
Single CCT 2700K, 3000K, 4000K, Dim to Warm or SCCT options
CRI 90+ for True Color Rendering
Type IC Rated - No Housing Required - Save on Labour
Driver Inside Connection Box - No Junction Box Needed
Armored Cable & Metal Connectors - Open Plenum Rated

MOUNTING

Cut Hole in Ceiling And Snap Fixture In Opening With
Attached Spring Clips. Ceiling Clearance Required: 2"

DIMENSIONS: ID 4" OD 5" Sq Cut Out 4" to 4 1/4"

120V TRIAC Dimmable Driver Included

Optional 120V-347V Driver 0-10V Dimmable

Order Separately as
[model # LL-LD1535TR](#)

ORDERING GUIDE: Example: **LL4SR - 30K - WH**

	CCT	Trim Finish	
LL4SR	- xxK	- xx	
2700K	27K	WH	White
3000K	30K	BK	Black
4000K	40K		
DTW 30K-18K	3018K		
SCCT	SCCT		Dim to Warm 3000K to 1800K User Selectable 27-30-35-40-50K

Lotus LED Lights USA

250 H Street # 301, Blaine WA 98230 Tel 360-200-5500
Hainesport NJ, Naples FL, Vancouver WA

www.LotusLEDLights.com

mailing addresses
warehouses

Type IC
Air-Tight
Open Plenum

Lotus LED Lights CANADA

1080 Cliveden Ave # 6, Delta BC V3M 6G6 Tel 604-538-3090
Delta BC & Mississauga ON

LL4SR

4" Square Regressed Open Plenum LED 14.5R

Project:

Location:

Model #:

Qty:

Notes:

		SPECIFICATION						
Applications		Recessed Ceiling Mount						
Power		14.5 W						
Single CCT Models (K)		2700	3000	4000	Dim to Warm 3000-1800K			
Light Output White Trim (lm)		850	900	950	780			
5 CCT Models (K)		2700	3000	3500	4000	5000		
Light Output White Trim (lm)		800	840	890	920	890		
Halogen Equivalent		90 W						
Beam Angle		90°						
CRI		90 +						
Default Driver Input		120V AC	Triac Dimmable					
Optional Driver Input		120V-347V AC	0-10V Dimmable					
Junction Box Wire Capacity		Max 5 No 12 AWG or 8 No 14 AWG						
Power Factor		0.99						
Approved Location		Insulated Ceilings, Open Plenum, Wet						
IP Rating		IP 54						
Air Tight		Yes						
Ambient Temperature		-40°F (-40°C) to +104°F (+40°C)						
Projected Life		70% Light Output at 50,000 Hours						
Certification		cULus, Energy Star (except DTW & SCCT)						
Warranty		10 Year Residential / 5 Year Commercial						

AVAILABLE TRIMS

White

Customize	Add custom contact info, project, logo and more.	Create	Generate PDF Spec Sheet to save, print and share
------------------	--	---------------	--

Outpost Outdoor Wall Sconce

By Maxim Lighting

LUMENS

Call Us (877) 445-4486

Product Options

Finish: Black,
Size: Medium,
Light Option: Integrated LED

Details

- Only small size is dark sky compliant

Dimensions

Medium Option Backplate: Width 4.5", Height 5"
Medium Option Fixture: Width 5", Height 15", Depth 7.35", Weight 7.5lbs

Lamp Type	LED	Color Temp	3000 (Soft White)
Total Lumens	830.0	Average Lifespan (Hours)	25,000
# of Bulbs	1 (Not Included)	CRI	90
Bulb Type	10W PAR30 E26	Equivalent Halogen, CFL or LED Bulb Can Be Used	Yes
Volts	120		

ITEM#: MXLZ097590

Created April 7th, 2025

PATHLIGHTS

STEALTH AND IMPACT®

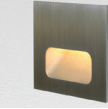

Low glare path lights lead the way through the out of doors, as built-in or from freestanding bollards.

PROJECT NAME:

GOLD HILL 6

TYPE:

E2

ORDERING INFORMATION AND DRAWINGS - FIXTURE

⚡ Quick Ship Product. All rough in components ship within 10 days up to quantities of 100.

FIXTURE	RATING	FLAME/FINISH	LUMEN/PACKAGE	QTY		
SSL1 Stealth Singlelight ISL1 Impact Singlelight	1 Dry / Damp (Non-Locking) 2 Wet (Locking)	POWDER COAT FINISH WH White BK Black AG Satin Silver AB Architectural Bronze CF Custom Finish *Custom Finish*	NATURAL FINISH IG Intrigal Gray SS Brushed Stainless Steel BR Brushed Bronze NB Natural Bronze	PLATED FINISH CH Chrome* *Plated on Stainless Steel* PB Polished/Al-Rubbed Bronze* *Plated on Stainless Steel* MB Matte Oil-Rubbed Bronze* *Plated on Stainless Steel* *Plated on Stainless Steel*	STEALTH & IMPACT SSL128 80-CRI, 200 Source Lumens SSL1 Delivered Lumens - 33 ISL1 Delivered Lumens - 43	27 3700K 30 3000K 35 2200K 40 4000K CC Custom Color light* *Color Temp. 2700K-6500K* *Custom light as per request (not Standard Product Support applies.)

LED
 Regressed LED with slot aperture for glare-free, energy-efficient path and step lighting; suitable for dry / damp or wet applications. 3.4W DC LED (dimming by power supply).

EFFECTS DEVICES
 Provided with sealed polycarbonate linear diffusion lens; consult factory for availability of color gels, which may achieve custom color temperatures.

LOCKING
 Discreetly hidden tamper-resistant set screws. Included with IP65 Wet Location luminaire.


GASKET
 Foam gasket provided. Required for IP65 wet location applications only.

RETENTION
 Torsion spring clips secure fixture into back box, mounting plate, or appropriately sized cut-out.

- Available with Bollard mounting, please visit [WEBSITE](#) for additional information.
- Double Impact ISL2 pathlight available, please visit [WEBSITE](#) for additional information.

STEALTH (SSL1)

IMPACT (ISL1)



luciferlighting.com

©2020 Lucifer® Lighting Company
 As part of its policy of continuous research and product development, the company reserves the right to change or withdraw specifications without prior notice.

[PH] +1-212-227-7329
 [FAX] +1-212-227-4967

PS - 1

[DATE OF REV: 04/29/2020]

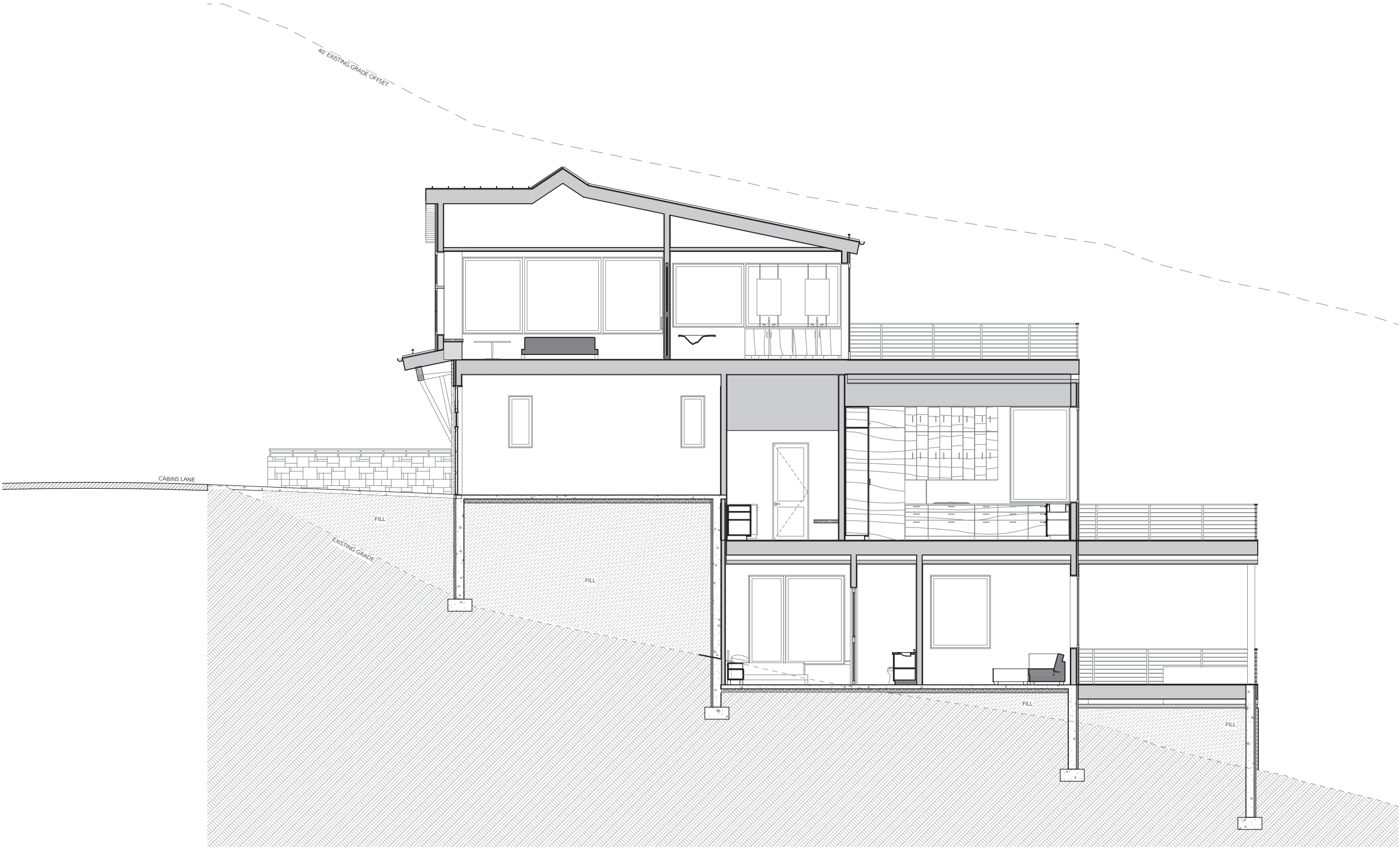
STEP LIGHT - EL1

GENERAL NOTES

1) [W1]—INDICATES WALL ASSEMBLY,
SEE WALL ASSEMBLIES ON A601



ASPEN | BASALT | COLORADO
P: 970.948.9510
KA-DESIGNWORKS.COM



North SECTION @ BUILDING

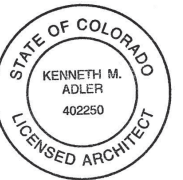


SCALE: 1/4" = 1'-0"

1

Gold Hill Lot 6

106 Cabins LN
Town of Mountain Village, CO 81435



ISSUE	DATE
09.11.24	
03.06.25	
05.01.25	

NOT FOR
CONSTRUCTION

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.




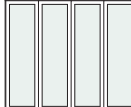



















© 2025 KA DesignWorks, Inc.

SHEET TITLE



















BUILDING SECTIONS

A301




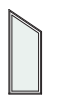
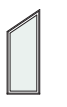













DOOR SCHEDULE

ID	ED001	ED004	ED005	ED101	ED101	ED107	ED201	ED202	GD102	ID001	ID002	ID003	ID005	ID006	ID007A	ID007B	ID008	ID102	ID103	ID104	ID201	ID202	ID203
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV																							
W x H	3'-0"×9'-0 5/8"	3'-0"×9'-0 5/8"	6'-0"×9'-0 5/8"	12'-0"×10'-0"	4'-0"×9'-0"	3'-0"×9'-1 1/4"	3'-9"×8'-6"	6'-7 1/4"×8'-0"	16'-0"×9'-0"	3'-0"×8'-0"	2'-6"×8'-0"	3'-0"×8'-0"	3'-0"×8'-0"	2'-6"×8'-0"	2'-6"×8'-0"	2'-4"×8'-0"	3'-0"×8'-0"	2'-10"×8'-0"	2'-10"×8'-0"	2'-6"×8'-0"	2'-10"×8'-0"	4'-0"×8'-0"	2'-10"×8'-0"
MAT.																							
TYPE																							
NOTES																							















WINDOW SCHEDULE

ID	001A	001B	002	003A	003B	004	005	006	007	101	102	103A	103B	104	105A	105B	105B	106
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV																		
W x H	3'-0.0"×7'-5.3"	5'-0.0"×7'-5.3"	5'-0.1"×6'-1.3"	6'-7.4"×6'-1.3"	2'-11.6"×6'-1.3"	3'-0.0"×6'-1.3"	3'-0.0"×6'-1.3"	1'-6.0"×2'-6.0"	2'-6.0"×2'-6.0"	2'-0.0"×4'-4.0"	2'-0.0"×4'-4.0"	3'-0.0"×5'-4.3"	3'-0.0"×2'-0.0"	5'-0.0"×8'-0.0"	6'-9.1"×8'-0.0"	3'-0.0"×2'-0.0"	3'-0.0"×6'-0.0"	3'-0.0"×2'-0.0"
LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	LOWER LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL
TYPE	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27
NOTES																		



WINDOW SCHEDULE

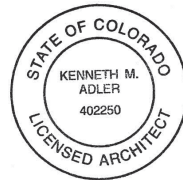
ID	107A	107B	108A	108B	108C	108D	109A	109B	110	111	112	113A	113B	114A	114B	201A	201B	202A
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV																		
W x H	2'-11.0"×10'-0.0"	2'-11.0"×2'-11.8"	3'-0.4"×5'-8.6"	2'-11.6"×7'-8.3"	2'-11.6"×7'-8.3"	3'-0.4"×5'-8.6"	2'-11.0"×10'-0.0"	2'-11.0"×2'-11.8"	3'-5.1"×3'-6.0"	3'-5.1"×3'-6.0"	3'-5.1"×3'-6.0"	4'-5.9"×4'-10.0"	4'-5.9"×2'-0.0"	3'-4.3"×4'-10.0"	3'-4.3"×2'-0.0"	2'-6.0"×3'-0.0"	2'-6.0"×1'-6.0"	4'-0.0"×2'-11.4"
LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	MAIN LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL
TYPE	W Fixed 27	W Trapezoid Fixed 27	W Trapezoid Fixed 27	W Trapezoid Fixed 27	W Trapezoid Fixed 27	W Trapezoid Fixed 27	W Fixed 27	W Trapezoid Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27
NOTES																		

WINDOW SCHEDULE

ID	202B	203A	203B	204A	204B	204C	205A	205B	206	207	208	209	210	2000
QTY	1	1	1	1	1	1	1	1	1	1	1	1	1	1
ELEV														
W x H	4'-0.0"×4'-0.0"	2'-6.0"×3'-0.0"	2'-6.0"×1'-6.0"	5'-1.3"×6'-4.8"	6'-6.1"×6'-4.8"	5'-1.3"×6'-4.8"	6'-0.1"×5'-4.0"	8'-0.0"×5'-4.0"	1'-11.5"×5'-4.0"	2'-0.0"×4'-10.8"	4'-5.9"×3'-4.3"	3'-4.3"×3'-4.3"	8'-0.0"×3'-11.4"	3'-4.3"×3'-4.3"
LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL	UPPER LEVEL
TYPE	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Fixed 27	W Trapezoid Fixed 27	W Fixed 27
NOTES														

DOOR & WINDOW NOTES

- 1) SEE PLAN & ELEVATIONS FOR DOOR/ WINDOW UNIT OPERATION & SWINGS
- 2) ALL NEW GLAZING TO BE LOW E, GLASS. MINIMUM INSULATION VALUE OF $U=.30$ PER 2021 IECC REQUIREMENTS FOR CLIMATE ZONE 6B. (OR AS SPECIFIED IN HERS ENERGY REPORT)  VERIFY
- 3) SAFETY GLAZING TO BE INSTALLED PER IRC R308.4. SEE ELEVATIONS FOR SAFETY GLAZING (SG) LOCATIONS.
- 4) WINDOW MANUFACTURER TO PROVIDE SCREENS FOR ALL OPERABLE WINDOWS. DOOR MANUFACTURER TO PROVIDED SCREENS FOR ALL PROVIDED EXTERIOR DOORS.
- 5) WINDOW/ DOOR MULLIONS PER ELEVATIONS/ SCHEDULE.
- 6) ALUMINUM CLAD DOOR & WINDOW UNITS FINISH COLOR TO BE DARK BRONZE.  VERIFY
- 7) ARCHITECTURAL INTENT ONLY. DIMENSIONS TO BE VERIFIED WITH DETAILS. SAFETY GLAZING AND OPERATIONAL LIMITERS TO BE REVIEWED. ALL INSULATED AND SOLAR HEAT GAIN RATINGS TO BE COORDINATED WITH ENERGY CODE AND VERIFIED FOR COMPLIANCE.



ISSUE	DATE
Schematic Design	09.11.24
HOA Prelim #2	11.08.24
TOMV Initial	03.06.25
TOMV Final	05.01.25

NOT FOR
CONSTRUCTION

COPYRIGHT

These documents have been prepared specifically for the Gold Hill Lot 6. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

Reproduction prohibited without approval of the Architect.

© 2025 KA DesignWorks, Inc.

SHEET TITLE

DOOR & WINDOW
SCHEDULE

A601



Agenda Item 9
COMMUNITY DEVELOPMENT DEPARTMENT
455 Mountain Village Blvd.
Mountain Village, CO 81435
(970) 728-1392

TO: Mountain Village Design Review Board

FROM: Claire Perez, Planner II

FOR: Design Review Board Public Hearing; May 1, 2025

DATE: April 17, 2025

RE: Staff Memo – Initial Architecture and Site Review (IASR) for Lot AR56R, TBD Adams Way

APPLICATION OVERVIEW: New Single-Family Home on Lot AR56R

PROJECT GEOGRAPHY

Legal Description: UNIT AR56R THE VILLAGE AT ADAMS RANCH ACC TO THE THIRD AMEND TO THE COMMON OWNERSHIP COMMUNITY PLAT FOR THE VILLAGE AT ADAMS RANCH REC 10 27 2005 PL BK 1 PG 3561-3563 RECPT 379099 LOCATED ON LOT C-2AR1 INCLUDES 0.0435 PERCENT INTEREST IN COMMON ELEMENTS

Address: TBD Adams Way

Applicant/Agent: Ken Alexander, Architects Collaborative

Owner: Sugaree, LLC

Zoning: Multi-family

Existing Use: Vacant

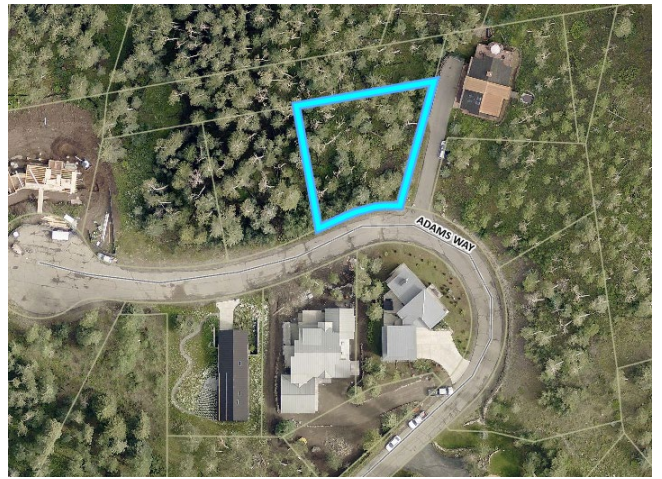
Proposed Use: Single-Family Detached Condominium

Lot Size: .23 acres, 10,077 sf

Adjacent Land Uses:

- **North:** Active Open Space
- **South:** Multi-family
- **East:** Multi-family
- **West:** Multi-family

Figure 1: Vicinity Map



ATTACHMENTS

Exhibit A: Architectural Plan Set

Exhibit B: Staff/Public Comment

Case Summary: Ken Alexander of Architects Collaborative is requesting Design Review Board (DRB) approval of an Initial Architectural and Site Review (IASR) for a new single-family detached condominium on Lot AR56R, TBD Adams Way. The lot is approximately .23 acres and is zoned multi-family. The proposed design consists of a two-story structure. The overall square footage of the home is approximately 3,540 gross square feet and provides 2 interior parking spaces within the proposed garage.

The proposed development requires Design Review Board specific approval for GE and setback encroachments and disturbance to slopes greater than 30%. The application also includes design variations for flat roof form, a wall mounted address plaque, and for not meeting the minimum stone requirement.

This DRB reviewed this case at the April 3, 2025, regular DRB meeting and continued the discussion to the May 1, 2025 regular DRB meeting. The Board requested that the applicant remove encroachments in the setback and general easement, increase the stone percentage, and provide more details for the construction mitigation plan and building materials. In response to the DRB comments, the applicant has provided revisions to the plans. The applicant outlined the changes made in their narrative.

Applicable CDC Requirement Analysis: The applicable requirements cited may not be exhaustive or all-inclusive. The applicant is required to follow all requirements even if an applicable section of the CDC is not cited. ***Please note that Staff comments will be indicated by italicized Text.***

Table 1

<u>CDC Provision</u>	<u>Requirement</u>	<u>Proposed</u>
Maximum Building Height	35' (shed) Maximum	34.75'
Maximum Avg. Building Height	30' (shed) Maximum	25.66'
Maximum Lot Coverage	65%	32%*
General Easement Setbacks	No encroachment	GE Encroachment
Roof Pitch		
Primary		4"/12"
Secondary		3"/12"
Exterior Material		
Stone	35% minimum	34.85%
Windows/Doors	40% maximum	17.6%
Parking	2 spaces	2 interior spaces

*Applicant needs to provide lot coverage calculations to clarify this.

DRB Specific Approval:

1. GE Encroachment – Roof overhang and Grading
2. Disturbance to steep slopes>30%

Design Variation:

1. Flat roof form
2. Less than 35% stone material
3. Wall mounted address plaque

Please note, this memo addresses only the design variations and specific approvals that are being requested, as well as any changes or additional information provided since the Initial Architectural and Site Review. For more information regarding the details of the Initial Architectural and Site Review please see staff memo of record dated March 21, 2025.

Chapter 17.3: ZONING AND LAND USE REGULATIONS

17.3.12: Building Height Limits

Sections 17.3.11 and 17.3.12 of the CDC provide the methods for measuring Building Height and Average Building Height, along with providing the height allowances for specific types of buildings based on their architectural form. The average height is an average of measurements from a point halfway between the roof ridge and eave. The points are generally every 20 feet around the roof. The maximum height is measured from the highest point on a roof directly down to the existing grade or finished grade, whichever is more restrictive.

Staff: The proposed structure utilizes a combination of shed roofs and flat roof form. Staff has determined that the primary roof form for the home is a shed roof and therefore is granted a maximum height of 35' and an average height of 30'. The maximum average height was reduced from 28.5' to 27.25 on the north elevation. The maximum average height was also slightly increased on the east elevation from 20.83' to 21.25'. The overall maximum height and maximum average height stayed the same from the previous review. The applicant has calculated a maximum height of 34.75' and an average height of 25.66'. Sheet A0 notes that the maximum height is 34.0' and the average building height is 26.33'. The sheet should be revised to reflect the heights noted on the height calculation table. Staff finds this criteria met.

17.3.13 Maximum Lot Coverage

Staff: The lot is zoned within the multi-family zone district and is outside of the Village Center. Therefore, the maximum lot coverage is 65 percent. The improvement survey provided by the applicant states the lot is 6,195 sf. The applicant indicated on their design narrative that the lot size should be correct to 10,618 sf. The square footage noted on the survey is not inclusive of the setbacks. The applicant has noted that the lot coverage is 32%, however, the calculations have not been demonstrated. Prior to final review, the applicant shall demonstrate the lot coverage calculations.

17.3.14: General Easement Setbacks

Lot AR56R is not burdened by the typical General Easement (GE) that surrounds the perimeter of most lots within the Town. Instead, the lot is restricted by a 16' GE in the front of the lot and is surrounded by limited common element (LCE) on the sides and back of the lot. Regardless of the type of setback, the CDC provides that the GE and other setbacks be maintained in a natural, undisturbed state to provide buffering to surrounding land uses. The CDC allows some development activity within the GE and setbacks such as ski access, natural landscaping, utilities, address monuments, driveways, walkways, and fire mitigation.

Staff: The proposal includes several setback encroachments that fall into the above category of permitted development activity including the following:

- *Utilities: The applicant has provided a utility plan for Lot AR56R demonstrating the proposed locations of utility lines and connections. It will be necessary for these to connect to existing pedestals and transformers in the GE.*
- *Landscaping: The applicant has proposed planting several trees in the GE.*
- *Driveway: The driveway as shown takes access from Adams Way and crosses the General Easement to the home.*

The proposal also includes encroachments requiring DRB specific approval. Grading is proposed in the GE. The roof overhang also encroaches into GE. Staff recommends the DRB discuss if this encroachment could be minimized or removed. The roof overhang also encroaches into the eastern limited common element (LCE). The LCE is for the benefit of the low owner and is regulated by the HOA governing documents. The HOA has provided approval of the plan.

Chapter 17.5: DESIGN REGULATIONS

17.5.4: Town Design Theme

The Town of Mountain Village has established design themes aimed at creating a strong image and sense of place for the community. Due to the fragile high alpine environment, architecture and landscaping shall be respectful and responsive to the tradition of alpine design – reflecting elements of alpine regions while blending influences that visually tie the town to mountain buildings. The town recognizes that architecture will continue to evolve and create a regionally unique mountain vernacular, but these evolutions must continue to embrace nature and traditional style in a way that respects the design context of the neighborhoods surrounding the site.

Staff: The proposed development reflects the design goals of the Town of Mountain Village as outlined in section 17.5.4 of the CDC. The proposed home features the traditional material palette of the Mountain Village – stone, wood, and metal. These materials are capable of withstanding the high alpine environment. The total stone percentage for the home increased from 25.2% to 34.85%. The applicant rounded the stone percentage up to 35%. The DRB should discuss if the total stone percentage can be rounded up, or if a design variation is needed.

17.5.5: Building Siting Design

The CDC requires that any proposed development blend into the existing landforms and vegetation.

Staff: The site is heavily forested and slopes towards the north. The site contains areas with slopes greater than 30% along the GE and LCE's. Disturbance to slopes greater than 30% require specific approval by the DRB. The number of encroachments was reduced from the previous review. The DRB should discuss if the roof overhang encroachments into the GE and LCE are warranted given the site constraints.

17.5.6: Building Design

Staff: The home follows a contemporary design that is well grounded to withstand the extreme forces of wind, snow, and heavy rain. A material board was provided on Sheet A3.1. The home is wrapped in Telluride grey stone in a horizontal arrangement. The siding is comprised of Grey Aquafir shale and 16-gauge black metal flat panels. Aquafir shale is a pre-finished wood siding product. The roof is also 16-gauge black standing seam metal with black metal fascia. The applicant has proposed a flat roof over the front entrance and near the patio at the back of the home. Flat roof form requires a design variation. The

applicant should clarify whether the flat roof is also comprised of black standing seam metal or a different material.

The soffit material is cedar with nickel gap. The design narrative indicates that the flashing and gutters are black metal. The railings on the decks will be a T & B design with balusters with black powder coated metal.

The applicant provided a window and door schedule noting the dimensions and locations of some of the windows and doors. A complete window and door schedule including the recess details, and drawings of the windows and doors needs to be provided. Prior to final review, the applicant should provide a complete window and door schedule. The windows and doors will be black.

The stone increased on the north, east, and west elevations. This increased the total stone percentage from 25.2% to 34.85%. As noted above, the applicant rounded the stone percentage up to 35% to meet the minimum stone requirement. The DRB should discuss whether a design variation should be granted for this. The windows were slightly increased on the north elevation. The stairs and flat roof were removed from the east elevation.

17.5.7: Grading and Drainage Design

Staff: Criteria met.

17.5.8: Parking Regulations

Staff: Criteria met.

17.5.9: Landscaping Regulations

Staff: The applicant provided a landscape and fire mitigation plan on Sheet A1.3 The site is heavily forested, and development will require the removal of the majority of trees on the site. The plan proposes 5 Aspen, 3 spruce, and 3 bristlecone pine. There are trees marked for retainage on the east, west, and north sides of the home that will likely need to be removed due to the proximity of construction activities. The plan should be updated per the Forester's comments prior to final review.

17.5.11: Utilities

Staff: Criteria met.

17.5.12: Lighting Regulations

Staff: A preliminary lighting plan has been provided demonstrating the specific types and locations of the proposed lighting. As part of final review, the applicant will be required to provide full 8"x11" cut sheets for each proposed fixture. The gross square footage of the home was reduced to 3,540. Because of this, the applicant is not required to provide a photometric study. The applicant has provided three light sconces. The fixtures provided meet CDC requirements.

17.5.13: Sign Regulations

Staff: The applicant has provided details of the address monument on sheet C1. The monument is in the GE next to the driveway. The monument will be illuminated by light fixture A. The monument will be steel with 6" black steel letters. The numbers on the monument should contrast from the base to provide daytime visibility. In addition to the address monument, the applicant has proposed a wall mounted address plaque adjacent to the garage. The plaque is illuminated by light fixture A. The CDC states that homes located within 20' of the roadway may attach the address identification numbers to the side of the home. The driveway is approximately 31' in length. The address plaque

requires a design variation for exceeding the allowable distance from Adams Way. The materiality and dimensions of the plaque were not provided. Prior to final, the applicant should revise the wall mounted address plaque to include the materiality and dimensions of the numbers. Staff recommends that the applicant minimize the address signage to just the wall mounted plaque or the address monument.

Chapter 17.6: SUPPLEMENTARY REGULATIONS

17.6.1: Environmental Regulations

Staff: The applicant provided an updated fire mitigation plan on Sheet A1.3. CDC Section 17.6.1 states that, "The purpose of Zone 1 is to create a vegetation-free hardscape next to the home utilizing pavers, stone, gravel, lava rock, concrete, or other nonflammable material to protect the building." The plan should be revised to include hardscape next to the home to meet the Zone 1 requirements.

17.6.6: Roads and Driveway Standards

Staff: An updated driveway plan was provided on Sheet C1. The maximum driveway grade was reduced from 10% to 5%. The entire driveway grade is 5%. The driveway width also decreased from 25'-6" to 22'. The fire department and public works have stated that they do not have any concerns with the revised plan.

17.6.8: Solid Fuel Burning Device Regulations

Staff: The applicant has indicated that the proposed home does not include any solid fuel burning devices.

Chapter 17.7: BUILDING REGULATIONS

17.7.19: Construction Mitigation

Staff: The construction mitigation plan shows required material staging, dumpster, bear-proof trash receptacles, and a port a toilet. The construction mitigation plan has been revised to include the material storage area. The limit of excavation has also been revised so it is aligned with the grading plan. The construction mitigation fencing should be revised so it encompasses the perimeter of the lot. Two parking spaces are proposed in the driveway, and two parking spaces are proposed in Adams Way. This would close one lane of traffic in Adams Way. Several neighbors have provided public comments stating concerns with the proposed construction parking. Adams Way is a private road maintained by the HOA. Due to the small proximity of the Adams Way, staff recommends reducing the parking spaces to 1 or 0. If the DRB chooses to allow no parking spots, the construction fencing should be revised to have a no parking and 15-minute unload zone sign placed on it. The HOA will need to provide approval of the construction mitigation plan. The applicant will also need to work with the Forester to determine if trees near the construction fencing will be able to be successfully retained.

Staff Recommendation: Staff recommends the DRB approve the Initial Architectural and Site Review for Lot AR56R, TBD Adams Way, based on the findings and CDC requirements listed in the staff memo of record.

Staff Note: *It should be noted that reasons for approval or rejection should be stated in the findings of fact and motion.*

Proposed Motion:

If the DRB deems this application to be appropriate for approval, Staff requests said approval condition the items listed below in the suggested motion.

I move to approve the Initial Architectural and Site Review for a new single-family home located at Lot AR56R, based on the evidence provided within the Staff Report of record dated April 17, 2025, with the following specific approval:

DRB Specific Approval:

1. GE encroachments – roof overhang and grading*
2. Development on steep slopes >30%

Design Variation:

1. Less than 35% stone material*
2. Flat roof form*
3. Wall mounted address plaque

*The DRB should remove any design variations or specific approvals from the motion that are not approved.

And, with the following conditions:

- 1) Prior to final review, the applicant shall demonstrate the site coverage calculation.
- 2) Prior to final review, the applicant should provide a complete window and door schedule.
- 3) Prior to final review, the fire mitigation and landscape plan should be revised per the Forester's comments.
- 4) Prior to final review, the address monument should be revised so the numbers contrast. **
- 5) Prior to final, the applicant should revise the wall mounted address plaque to include the materiality and dimensions of the numbers. **
- 6) Prior to final review, the construction mitigation plan shall be revised to include fencing around the perimeter of the lot.
- 7) Prior to the issuance of a building permit, the applicant shall field verify all utility locations.
- 8) Consistent with town building codes, Unenclosed accessory structures attached to buildings with habitable spaces and projections, such as decks, shall be constructed as either non-combustible, heavy timber or exterior grade ignition resistant materials such as those listed as WUIC (Wildland Urban Interface Code) approved products.
- 9) A monumented land survey shall be prepared by a Colorado public land surveyor to establish the maximum building height and the maximum average building height.
- 10) A monumented land survey of the footers will be provided prior to pouring concrete to determine there are no additional encroachments into the GE.
- 11) Prior to the Building Division conducting the required framing inspection, a four-foot (4') by eight-foot (8') materials board will be erected on site consistent with the review authority approval to show:
 - a. The stone, setting pattern and any grouting with the minimum size of four feet (4') by four feet (4');
 - b. Wood that is stained in the approved color(s);
 - c. Any approved metal exterior material;
 - d. Roofing material(s); and
 - e. Any other approved exterior materials
- 12) It is incumbent upon an owner to understand whether above grade utilities and town infrastructure (fire hydrants, electric utility boxes) whether placed in the right of way or general easement, are placed in an area that may encumber access to

their lot. Relocation of such above grade infrastructure appurtenances will occur at the owner's sole expense and in coordination with the appropriate entity (fire department, SMPA, Town of Mountain Village) so that the relocated position is satisfactory.

- 13) The applicant shall meet the following conditions of the Fire Marshall:
- a. A monitored automatic sprinkler system shall be installed in accordance with NFPA 13D, 2018 IFC, and TFPD amended codes.
 - b. An interconnected monitored fire alarm system shall be installed in accordance with NFPA 72, 2018 IFC, and TFPD amended codes.
 - c. Monitored carbon monoxide detection shall be installed in accordance with 2018 IFC 915.2.1.
 - d. Address numbers shall be a minimum of 4 feet 6 inches from grade to the bottom of 6-inch numbers/letters with a reflective coating or outlined with a reflective coating.
 - e. Electric vehicle charging stations/outlets shall be installed in accordance with NFPA 70 and located within 5 feet of the garage door.
- 14) Per CDC 17.3.9 Housing Impact Mitigation Requirements for this development application are set at 100% since the application was submitted and deemed complete in 2025.

**Any conditions not deemed necessary should be removed from the motion

/cp

ARCHITECTS

COLLABORATIVE

DEVELOPMENT NARATIVE

Lot AR-56R The Hendricks Residence is a single family condominium with limited common area.

The building as proposed is to be accessed off of Adams Way.

The house will be a “Modern Mountain” style with a rustic classic look and 3600 total square feet including the garage.

We are not requesting any variations for building design. The most delicate issue is attempting to maintain the existing forest trees in the fire mitigation Zones 1 and 2.

2 parking spaces are provided in the garage with 2 more in the drive

The exterior materials are:

1. 2' x 4' flat black patina metal siding.
2. 6" ½ round black metal gutters and 4" downspouts with black metal flashing.
3. Black metal standing seam roofing Shed and flat secondary roof.
4. The stone is Telluride quarried random stone.
5. The windows are Marvin Integrity series with black cladding.
6. The siding is horizontal grey patina wood.
7. The railings are 2" x 3" top rail with a secondary horizontal 2" x 2" rail and vertical 3/4" round balusters black powder coated metal.
8. The soffit is a 1" x 6" nickel gap natural stained cedar.
9. The garage door is sheathed in 2' x 4' flat black patina metal panels.
10. The soffits are a stained 1 x 6 cedar rustic to match the interior ceilings.

To conclude the design is 2957.5 sf living with a 540 sf garage for a total off 33497.5 sf. The site coverage is 32 percent of the lot.

A variance is requested if need for 2 small areas of flat roof. No other variances should be needed.

DRB REDLINE REVISIONS

DATE: APRIL 10, 2025

SHEET

AO COVER SHEET

The lot size is corrected to 10,618.5 sf resulting in a 32% site coverage

The drawing list is revised as follows:

AO COVER SHEET

CO IMPROVEMENT SURVEY

C1 SITE GRADING/ DRAINAGE PLAN

C2 UTILITY PLAN

A 1.2 SITE LIGHTING PLAN

A 1.3 LANDSCAPE/FIRE MITIGATION PLAN

A 1.4 CONSTRUCTION STAGING PLAN

CO IMPROVEMENT SURVEY

The site square footage is revised from 6,195 sf which did not include setbacks to the actual lot size of 10,618.50 sf.

C1 SITE GRADING AND DRAINAGE

The building footprint is slightly revised to avoid encroachments. The 30% steep slope grid is removed. The driveway grade is 5% down 18" and back up 6" to the garage. An address monument is added and detail shown.

C2 UTILITY PLAN

The building footprint is slightly revised to avoid encroachments. The 30% steep slope grid is removed. Now a separate drawing.

A 1.2 SITE LIGHTING PLAN

The building footprint is slightly revised to avoid encroachments. The 30% steep slope grid is removed. Now a separate drawing.

Lite "C" is now a step light and located on the North deck. A new detail and specification is attached.

Lite "A" replaces lite "C" where address was on garage.

Lite B is on the new address monument.

No photometric study is required as the building is less than 3500 gross square feet.

A 1.3 LANDSCAPE/FIRE MITIGATION PLAN

The building footprint is slightly revised to avoid encroachments. The 30% steep slope grid is removed.

Zone 1 is shown 5' no trees are within zone.

Zone 2 is shown 5'-30' The small grouping of bristle cone pines are shown off Adams Way are separated by 15' from Spruce or Aspen. Aspen are exempt from the 10' to 10' Crown requirement, and all Spruce meet this requirement within Zone 2.

Zone 3 is shown 30'-100' This zone only effects the lower Northern area and all trees meet the 10' crown to crown rule for spruce.

A 1.4 CONSTRUCTION STAGING PLAN

The building footprint is slightly revised to avoid encroachments. The 30% steep slope grid is removed.

Tree protection is shown for 1 Spruce on the East fence line. The fence will stop and start with the tree protected per the detail shown.

The fencing is shown on the property line and will need to be moved temporarily for the utility install and replaced.

The construction disturbance line was moved to include the grading shown.

A2.1 FLOOR PLAN MAIN LEVEL

Stair removed East side.

Square footage reduced to 3497.5 gross total

A2.2 FLOOR PLAN LOWER LEVEL

Stair removed East side. Bath moved and kitchenette moved to the North wall of Family room.

A3.1 SOUTH ELEVATION/ NORTH ELEVATION

Garage slab moved from 99' to 101'. (up 2').

Soffit 2 x6 nickel gap natural stain, photo added, and notes added.

Stair removed on East side. Side garage door to remain with 4' wide walkway. No encroachment needed.

A 3.2 NORTH ELEVATION/WEST ELEVATION

NORTH ELEVATION Garage slab moved from 99' to 101'. (up 2').

Stair East side removed.

Windows Master bedroom trapezoids are taller.

Stone added.

WEST ELEVATION Garage slab moved from 99' to 101'. (up 2').

Stone added.

A3.1S STONE CALCULATIONS

SOUTH ELEVATION Garage slab moved from 99' to 101'. (up 2').

Stair East side removed.

EAST ELEVATION Garage slab moved from 99' to 101'. (up 2').

Stair East side removed. Stone added calculations revised.

A 3.2S STONE CALCULATIONS

NORTH ELEVATION Garage slab moved from 99' to 101'. (up 2').

Stair East side removed. Stone added calculations revised.

WEST ELEVATION Garage slab moved from 99' to 101'. (up 2').

Stair East side removed. Stone added calculations revised.

A3.1H HEIGHT CALCULATIONS

SOUTH ELEVATIONS Garage slab moved from 99' to 101'. (up 2').

Stair East side removed. Height calculations changed

EAST ELEVATION Garage slab moved from 99' to 101'. (up 2'). Stair East side removed. Height calculations revised.

EAST ELEVATION Garage slab moved from 99' to 101'. (up 2').

Stair East side removed. Height calculations revised.

A 3.2H HEIGHT CALCULATIONS

NORTH ELEVATION Garage slab moved from 99' to 101'. (up 2').

Stair East side removed. Height calculations revised.

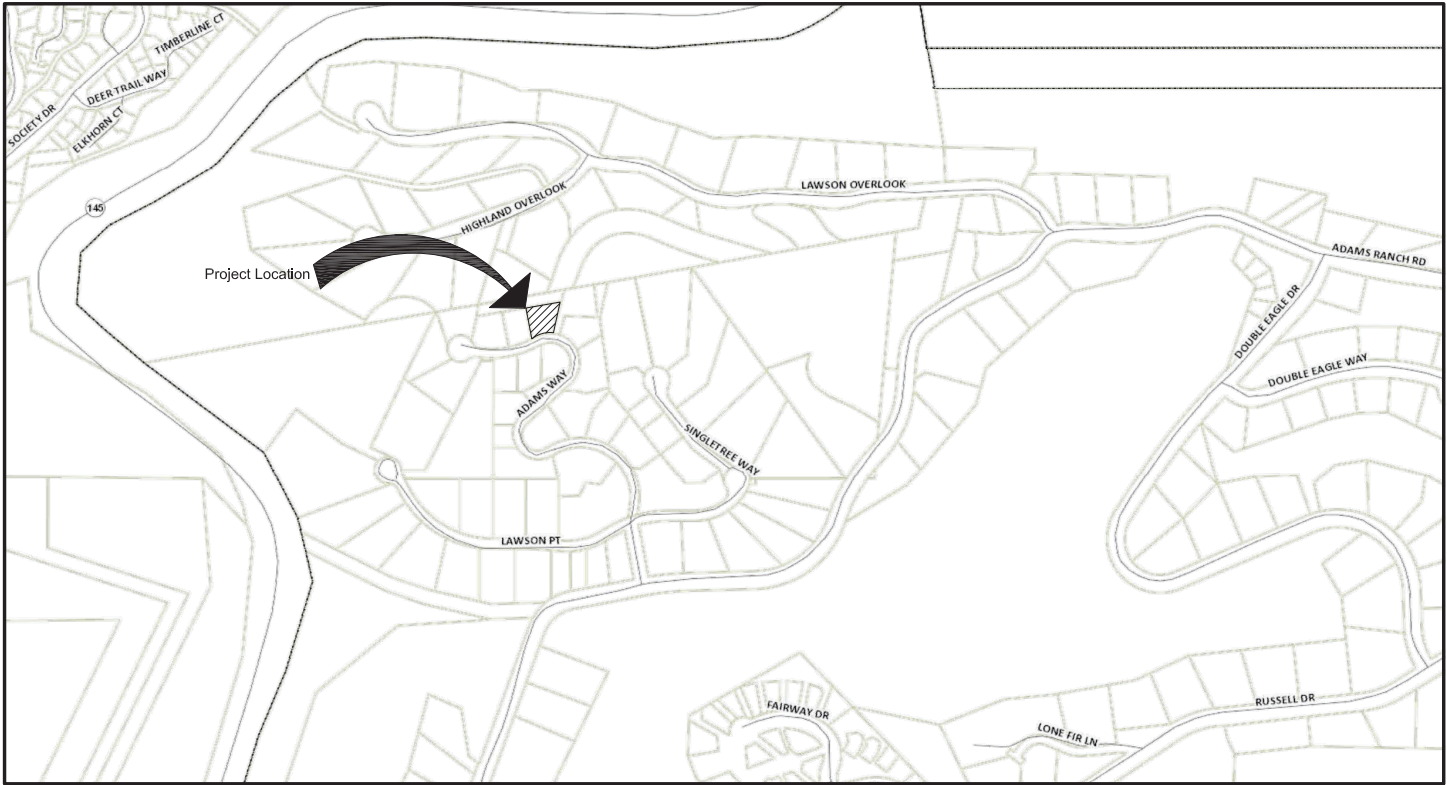
WEST ELEVATION Garage slab moved from 99' to 101'. (up 2').

Stair East side removed. Height calculations revised.

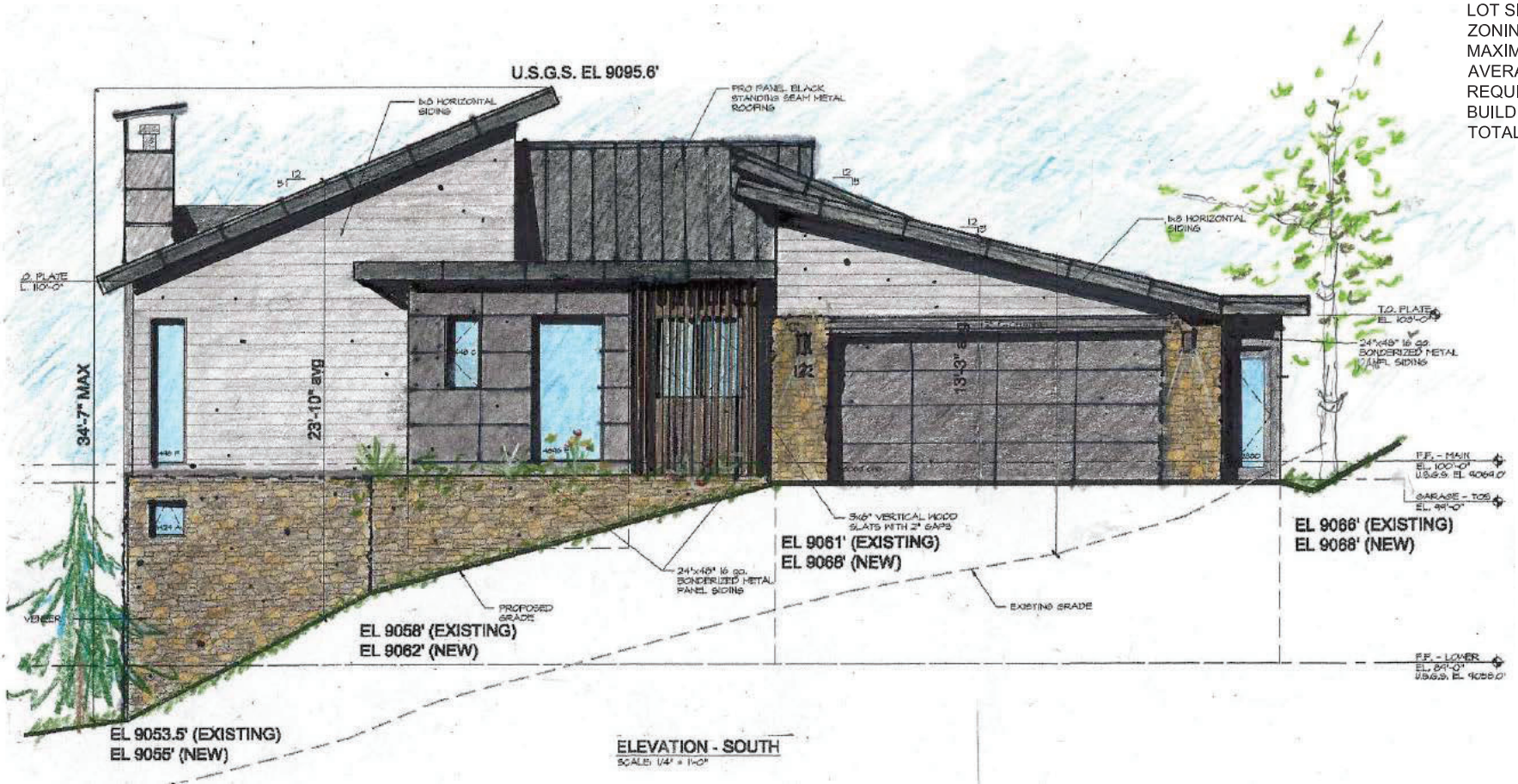


The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000

E:\projects\architects_collaborative\kenalexander\kenalexander-ar-56r.dwg, 4/9/2025 3:18:39 PM



VICINITY MAP



DRAWING LIST:

A0	Cover Sheet	Date: April 9, 2025
C0	Improvement Survey Plat	Date: August 11, 2021
C1	Site Plan/Roof Plan	Date: April 10, 2025
C2	Utility Plan	Date: April 10,2025
A1.2	Exterior Lighting Plan	Date: April 9, 2025
A1.3	Landscape/Fire Mitigation Plan	Date: April 9, 2025
A1.4	Construction Staging Plan	Date: April 9, 2025
A2.1	Floor Plans	Date: April 9, 2025
A2.2	Floor Plans	Date: April 9, 2025
A3.1	Elevations	Date: April 9, 2025
A3.2	Elevations	Date: April 9, 2025
A3.1H	Height Calcs	Date: April 9, 2025
A3.2H	Height Calcs	Date: April 9, 2025
A3.1S	Stone Calcs	Date: April 9, 2025
A3.2S	Stone Calcs	Date: April 9, 2025
E1.1	Electrical Plan	Date: April 9, 2025
E1.2	Electrical Plan	Date: April 9, 2025

PLAN CONSULTANTS:

Architects Collaborative Ken Alexander PO Box 3954 Telluride, Colorado 81435 970-708-1076 ken@architectstelluride.com	San Juan Survey PO Box 3730 102 Society Drive Telluride, Colorado 81435 970-728-1128 office@sanjuansurveying.net
Black Canyon Engineering 447 E. Main St. Montrose, Colorado 81401 970-568-5391 info@blackcanyonengineers.com	

PROJECT SUMMARY

LOT SIZE:	10,618.5 S.F.
ZONING DESIGNATION:	SINGLE FAMILY CONDOMINIUM/Common
MAXIMUM BUILDING HEIGHT:	34.0'/35' ALLOWED
AVERAGE BUILDING HEIGHT:	26.33'/30' ALLOWED
REQUIRED PARKING:	1.5 SPACES REQ'D/ 2 SPACES PROVIDED
BUILDING LOT COVERAGE:	2,800 S.F.
TOTAL LOT COVERAGE PERCENT:	32% / 65% ALLOWED



REVISIONS:
8-13-24
8-24-24
1-28-25
4-1-25

PRELIMINARY ONLY

ARCHITECTS
COLLABORATIVE
Design + Build • Just Build • Just Design

P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

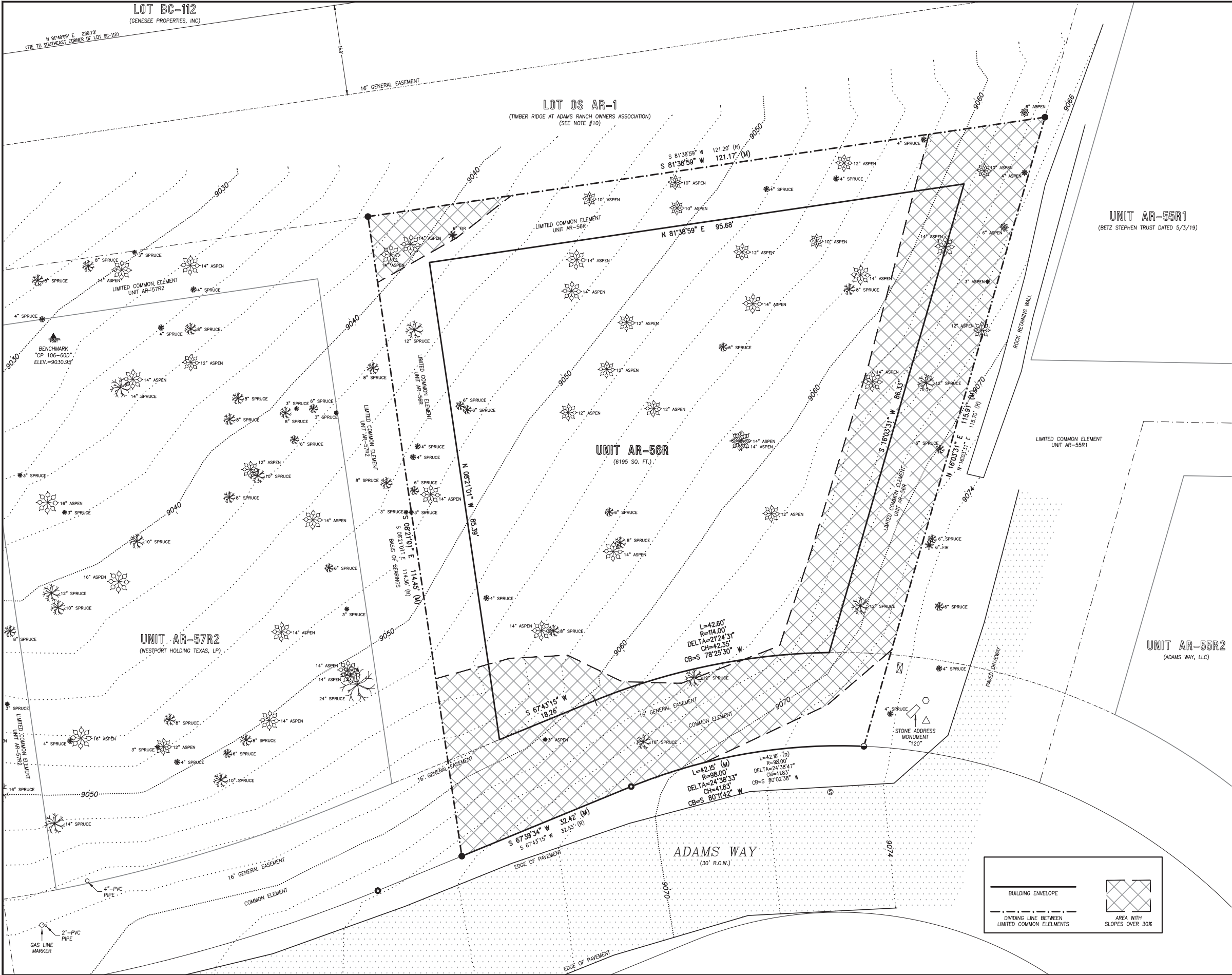
NOT FOR CONSTRUCTION

Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

A0
Unit AR-56R

DATE:
11.2.23

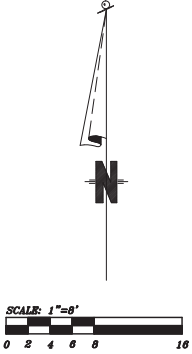
SHEET



⊙ SEWER MANHOLE
⊠ TRANSFORMER
○ TELEPHONE PEDESTAL
△ CABLE-TV PEDESTAL

● FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24954
● FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37662
● FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 37970

MEASURED DIMENSION ACCORDING TO THIS SURVEY
RECORD DIMENSIONS ACCORDING TO PLAT BOOK 1 AT PAGE 3561



This Existing Conditions Plan of UNIT AR-56R, TIMBER RIDGE AT MOUNTAIN VILLAGE (FORMERLY THE VILLAGE AT ADAMS RANCH), TOWN OF MOUNTAIN VILLAGE, was prepared on August 25, 2021 and updated on September 23, 2021 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38-51-102 C.R.S.

P.L.S. NO. 37970 _____ Date _____

LEGAL DESCRIPTION:

UNIT AR-56R, TIMBER RIDGE AT MOUNTAIN VILLAGE (FORMERLY THE VILLAGE AT ADAMS RANCH), A COMMON INTEREST COMMUNITY, ACCORDING TO THE PLAT RECORDED OCTOBER 27, 2005 IN PLAT BOOK 1 AT PAGE 3561, AND AS DEFINED AND DESCRIBED IN THE DECLARATION RECORDED JUNE 1, 1999 UNDER RECEPTION NO. 326890, AND AS AMENDED IN INSTRUMENT RECORDED JUNE 9, 2000 UNDER RECEPTION NO. 334770, AND AS AMENDED IN INSTRUMENT RECORDED SEPTEMBER 13, 2001 UNDER RECEPTION NO. 343817, AND AS AMENDED IN INSTRUMENT RECORDED OCTOBER 27, 2005 UNDER RECEPTION NO. 379100, AND AS AMENDED IN INSTRUMENT RECORDED AUGUST 14, 2013 UNDER RECEPTION NO. 429339, AND AS AMENDED IN INSTRUMENT RECORDED AUGUST 28, 2017 UNDER RECEPTION NO. 449950,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

NOTES:

- Easement research and property description from Land Title Guarantee Company, Order Number TLR86010603-4, dated November 19, 2020 at 5:00 P.M.
- According to FEMA Flood Insurance Rate Map 08113C0286-C, dated September 30, 1988, this parcel is within Zone X; Areas determined to be outside 500-year flood plain.
- BASIS OF BEARINGS: The bearing along the western boundary of Unit AR-56R, as shown hereon, assumed to have the record bearing of S 08°21'01" E according to Plat Book 1 at page 3561.
- Benchmark: Control Point "CP 106-60D", as shown hereon, with an elevation of 9030.95 feet.
- Contour interval is two feet.
- Only trees 3" in diameter or greater are shown hereon.
- Slopes 30% or greater are shown hereon.
- Foley Associates, Inc. is not aware of any underground utilities located on this lot, but utility locations were not performed as part of this survey. Utility locations should be performed by respective providers before any construction.
- Foley Associates, Inc. is not aware of any wetlands located on this lot, but a wetland delineation was not performed as part of this survey.
- According to Plat Book 1 at page 3561, Note #5 states:
"The entirety of Open space Tract OS AR-1 is encumbered by a perpetual non-exclusive utility easement. The use of this easement is limited to providing sewer service to Lot C-2AR1." Lot C-2AR1 was further divided into Units AR-45, AR-46, AR-47, AR-49, AR-54, AR-55R1, AR-55R2, AR-56R, AR-57R1, AR-57R2, AR-58R, AR-59 and AR-60 as shown on the Third Amendment to the Common Ownership Community Plat for the Village at Adams Ranch recorded in Reception No. 379099.

NOTICE:

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

BUILDING ENVELOPE

DIVIDING LINE BETWEEN LIMITED COMMON ELEMENTS

AREA WITH SLOPES OVER 30%

EXISTING CONDITIONS PLAN

Unit AR-56R, Timber Ridge at Mountain Village,

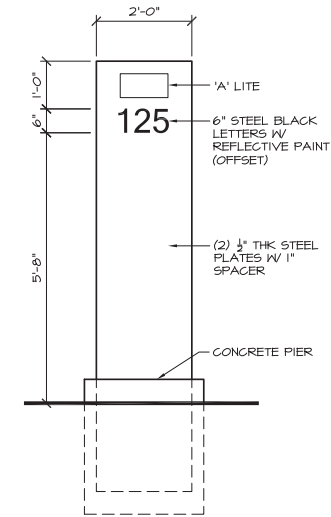
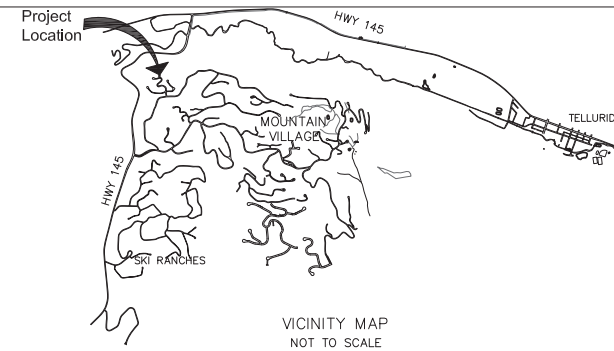
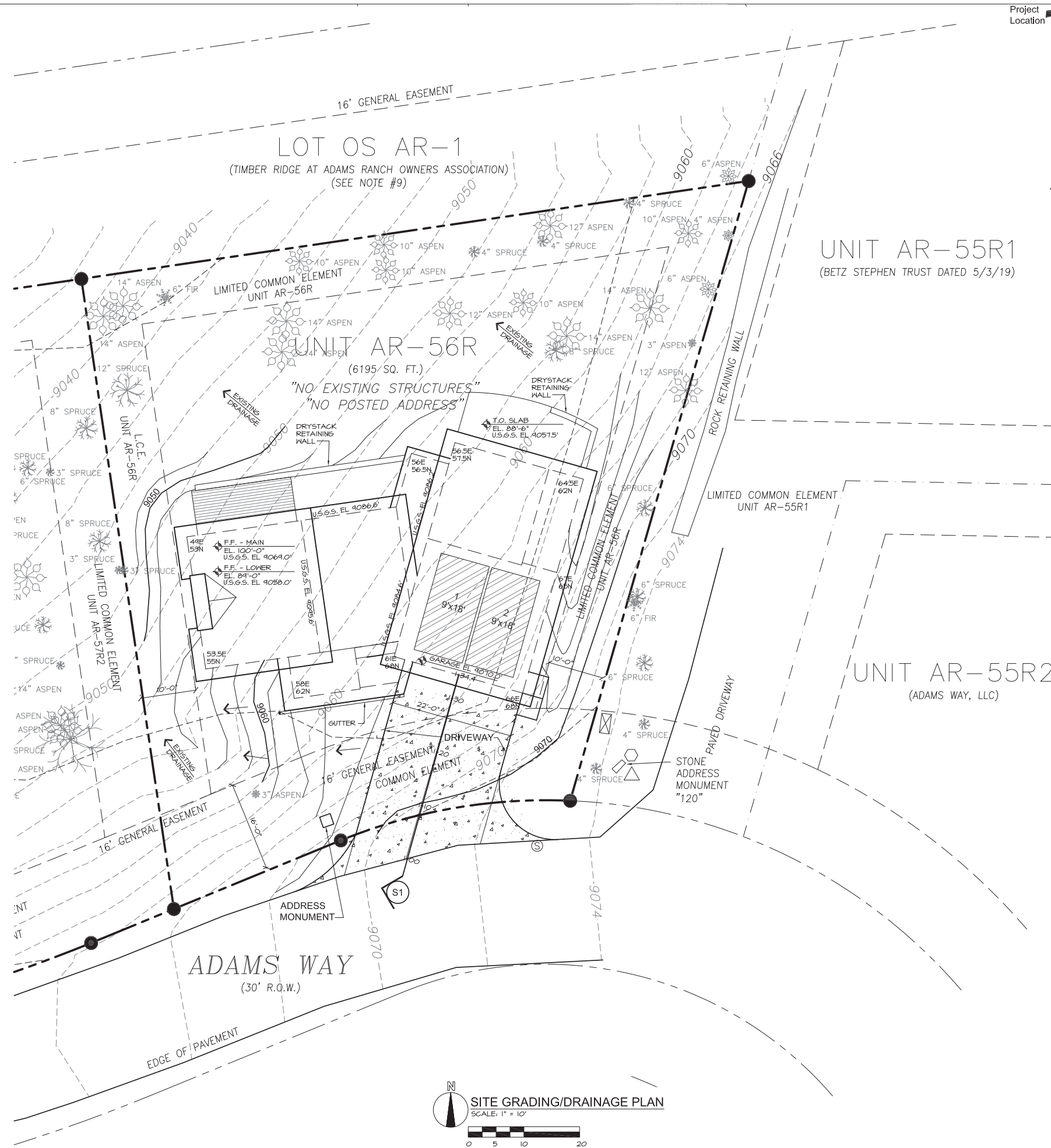
located within the SE 1/4 of Section 32 and the SW 1/4 of Section 33, T.43N, R.9W., N.M.P.M., County of San Miguel, State of Colorado.

Project Mgr.	JH	Rev.	description	date	by
Technician:	MC				
Technician:					
Checked by:	ps				
Start date:	08/11/2021				

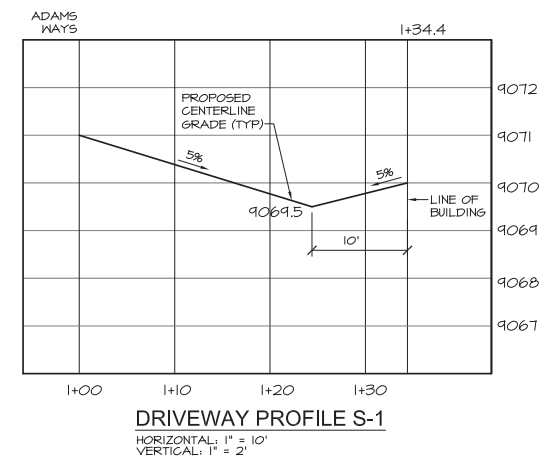
FOLEY ASSOCIATES, INC.
ENGINEERING · PLANNING · SURVEYING

970-728-6153 970-728-6050 fax
P.O. BOX 1385
125 W. PACIFIC, SUITE B-1
TELLURIDE, COLORADO 81435

Drawing path: dwg\02007 EC Plan 09-21 (Lot AR-56R).dwg Sheet1 of 1 Project #: 02007



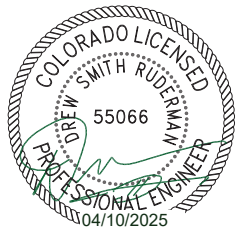
ADDRESS MONUMENT
SCALE: 1/2" = 1'-0"



NOT FOR MATERIALS PURCHASE OR CONSTRUCTION



BLACK CANYON
ENGINEERS

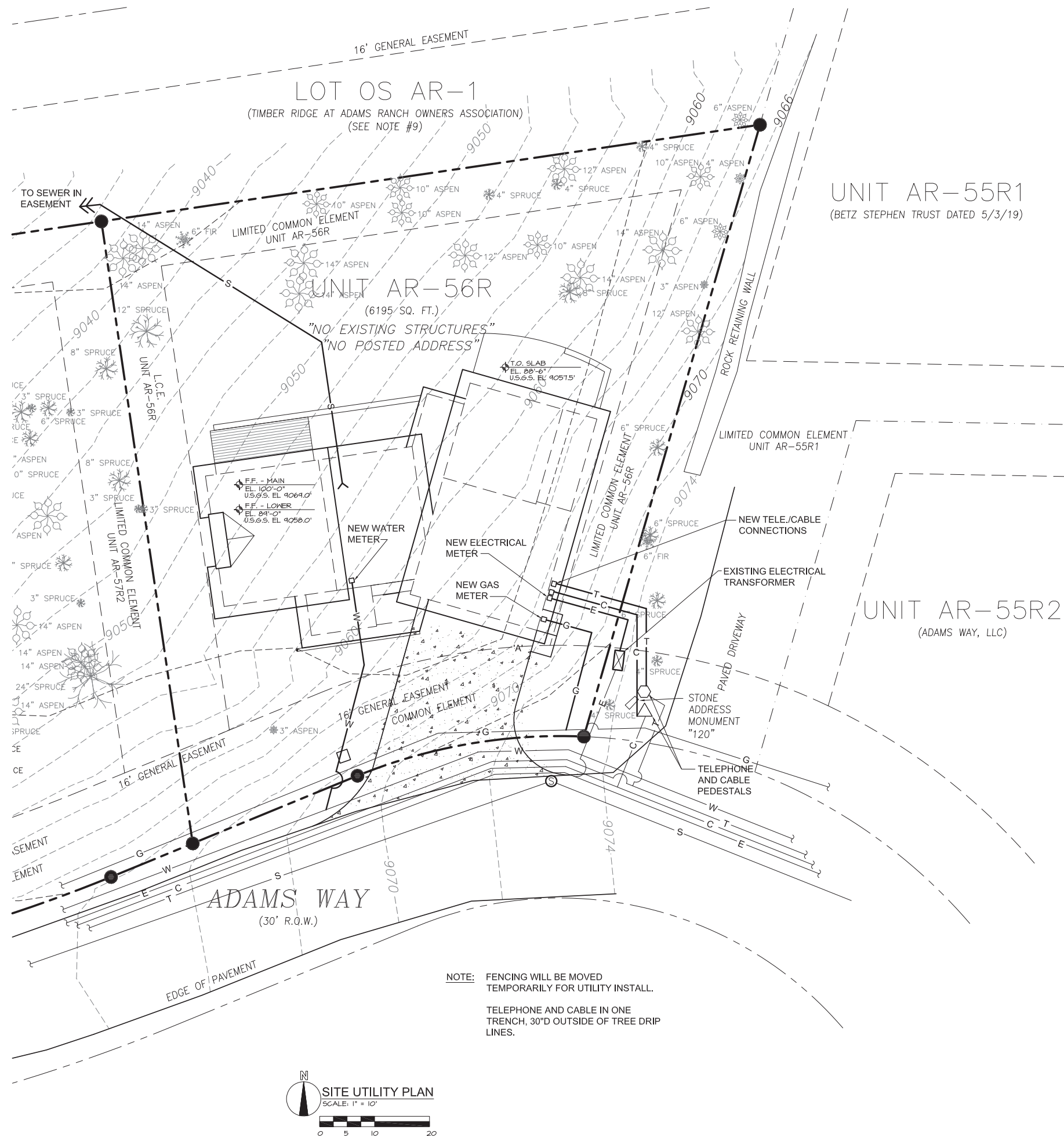


REV.	DESCRIPTION	DATE
0	DRB SUBMISSION	10/4/24
1	DRB REVISED, ADDED UTILITY PLAN	1/23/25
2	DRB SET REVISIONS	4/10/25

Firm Name and Address
Black Canyon Engineers
401 E. Main St.
Montrose, CO 81401
970-568-5391
Support@BlackCanyonEngineers.com
www.BlackCanyonEngineers.com

Project Name and Address
Hendricks Residence
Unit AR-56R
Mountain Village, CO

Project BCE092401	Sheet C1
Issue Date 10/4/2024	
Scale As Noted	



NOT FOR MATERIALS PURCHASE OR CONSTRUCTION



BLACK CANYON
ENGINEERS



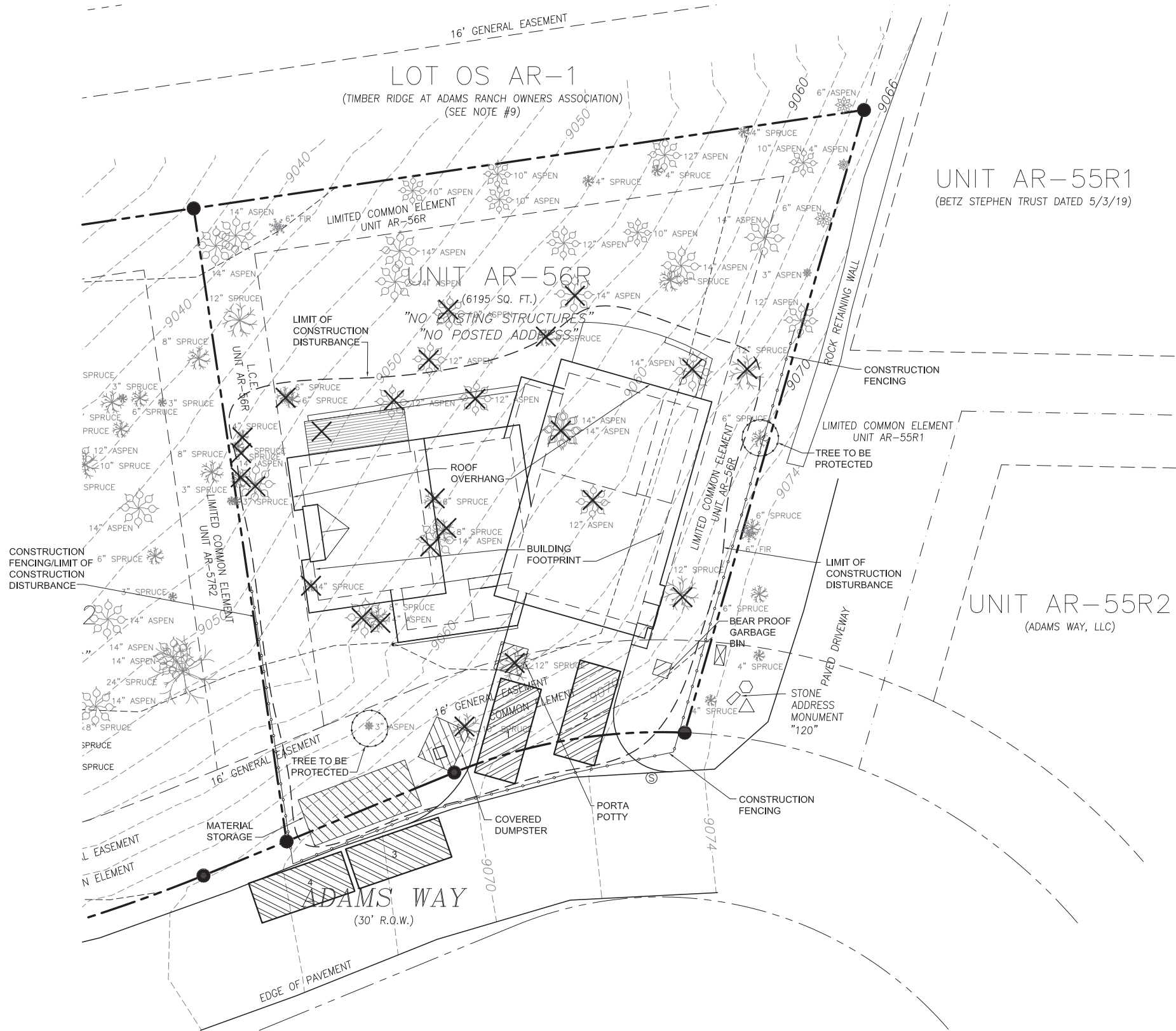
REV.	DESCRIPTION	DATE
0	DRB SUBMISSION	10/4/24
1	DRB REVISED, ADDED UTILITY PLAN	1/23/25
2	DRB SET REVISIONS	4/10/25

Firm Name and Address
Black Canyon Engineers
401 E. Main St.
Montrose, CO 81401
970-568-5391
Support@BlackCanyonEngineers.com
www.BlackCanyonEngineers.com

Project Name and Address
Hendricks Residence
Unit AR-56R
Mountain Village, CO

Project BCE092401	Sheet C2
Issue Date 10/4/2024	
Scale As Noted	

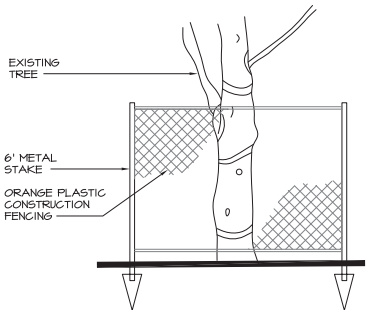
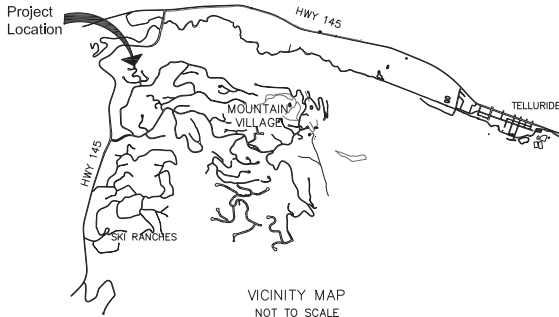
E:\projects\architecture\collaborative\timber ridge\site_plan\adams way-ar-56r.dwg 4/9/2025 1:57:11 PM



CONSTRUCTION STAGING PLAN
SCALE: 1" = 10'

NOTES:

EXISTING TREES TO BE REMOVED
IMMEDIATELY. ADD SLASH MATERIAL
BY EXCAVATOR



TREE PROTECTION DETAIL



NOT FOR CONSTRUCTION

A1.4

Unit AR-56R

Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
11.2.23

SHEET

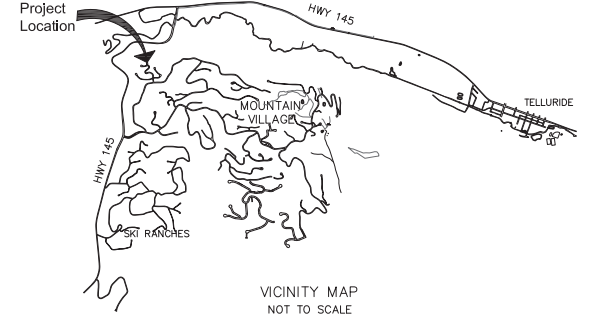
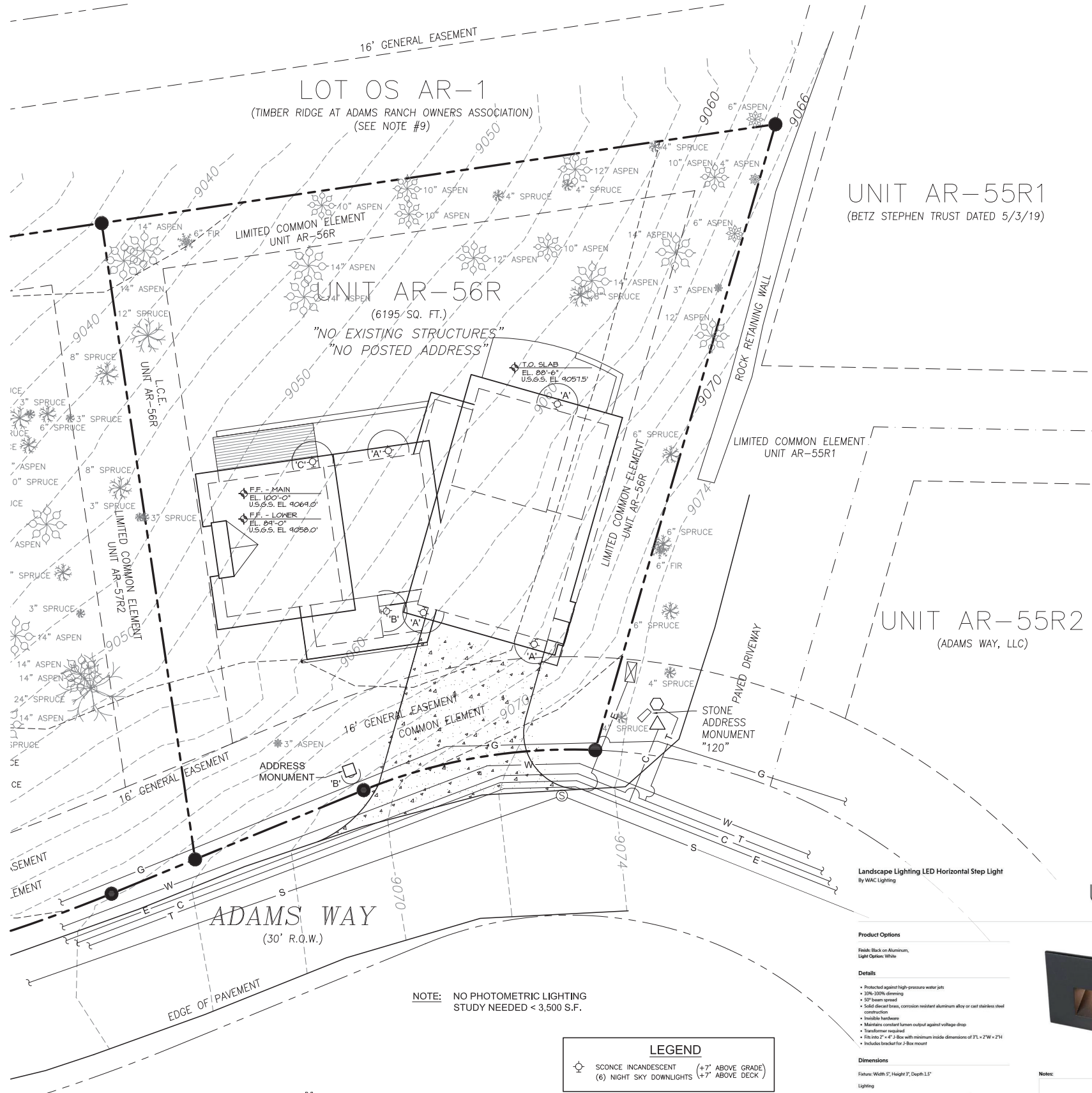
PRELIMINARY ONLY

ARCHITECTS
COLLABORATIVE

Design + Build • Just Build • Just Design

P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

REVISIONS:
8-13-24
8-24-24
1-28-25
4-4-25



Pathfinder LED Outdoor Wall Sconce

By Maxim Lighting

Pathfinder LED Outdoor Wall Sconce
By Maxim Lighting

Product Options

Finish: Black

Details

Dimmable only at 120V
Can be installed as an uplight or downlight
Designed in 2020
Material: Die Cast Aluminum
Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
ADA compliant, Dark Sky compliant, Title 24 compliant
ETL Listed Wet
Warranty: Limited 5 Year
Made In China

Dimensions

Backplate: Width 5.5", Height 5.5"
Fixture: Width 5.5", Height 5.5", Depth 4", Weight 2.2lbs

Lighting

Lamp Type	LED Built-in
Total Lumens	820
Total Watts	15.00
Volts	120 /277 Volt
Color Temp	3000 (Soft White)
CRI	80
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

FIXTURE 'A'

11250 LED Outdoor Wall Sconce
By Kichler

11250 LED Outdoor Wall Sconce
by Kichler

Product Options

Finish: Textured Black

Details

Designed in 2015
Material: Metal
Dark Sky compliant, Title 24 compliant
ETL Listed Wet
Made in China

Dimensions

Fixture: Width 5", Height 7", Depth 6.5", Weight 2.29Lbs

Lighting

Lamp Type	LED Built-in
Total Lumens	374
Total Watts	11.00
Volts	120 /277 Volt
Color Temp	3000 (Soft White)
Average Lifespan	40000.00
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Additional Details

Product URL:
<https://www.lumens.com/11250-led-outdoor-wall-sconce-by-kichler-R362210.html>
Rating: ETL Listed Wet

ITEM#: R362210

FIXTURE 'B'



LANDSCAPE GENERAL NOTES:

1. SOIL PREPARATION

Topsoil will be stripped, stored on site, and spread to a minimum depth of four inches. Soil amendments of manure and peat moss are to be rototilled into all areas to be sodded and three cubic yards per thousand square feet.

2. PLANTINGS AND PLANT MATERIAL

All plant material will be required to meet the American Standard for Nursery Stock. All plantings will meet the standards of the Associated Landscape Contractors of Colorado- Reference schedule and plan for quantity and locations.

3. SODDING

All sodded areas will be bluegrass. Preparation of soils will include topsoil and roto-tilling to a depth of six to 8 inches. Sodded areas will be irrigated, see IRRIGATION.

4. TOWN OF MOUNTAIN VILLAGE PREFERRED LANDSCAPE & RE-VEG MIXES (2002)

NATIVE MIX (GENERAL RE-VEG)	5%	Alpine Bluegrass	15%
Western Tarron	10%	Canada Bluegrass	10%
Tall Fescue	5%	Perennial Ryegrass	15%
Arizona Fescue	5%	Slender Wheatgrass	10%
Hard Fescue	10%	Mountain Brome	15%
Creeping Red Fescue	10%		

UPLAND MIX (WETLANDS BUFFER MIX)

Arizona Fescue	14%
Alpine Bluegrass	14%
Slender Wheatgrass	36%
Mountain Brome	36%

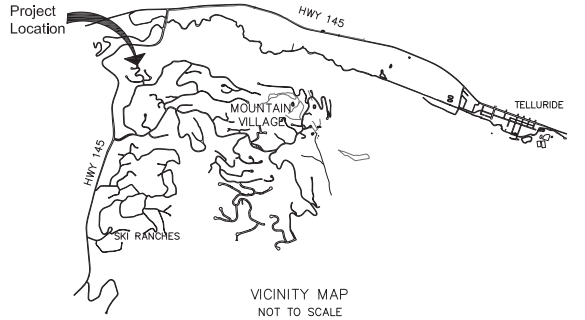
In areas to be seeded soil will be scarified and/or the topsoil replaced. Newly seeded areas will be mulched by straw, hydro-mulch, or erosion control netting on slopes steeper than 3:1.

5. IRRIGATION

Automatic irrigation will be provided in sodded areas and flower beds with a pop-up sprinkler system and drip irrigation respectively. Reference plan for design.

6. PLANT GUARANTEE

Landscape installation to provide a two-year guarantee on all newly planted material.



NOTES:

- PROPERTY OWNERS AGREE TO PROVIDE (2) YEAR PLAN GUARANTEE ON ALL PLANT MATERIALS
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE REVEGETATED TO NATURAL STATE PER MOUNTAIN VILLAGE APPROVED SEED MIX.
- PLAN SHALL COMPLY WITH SECTION 4-109 OF DESIGN REGULATIONS REGARDING NOXIOUS WEEDS.
- ALL EXISTING TREES IN THE FIRE MITIGATION ZONE 2 WILL BE TRIMMED TO A HEIGHT OF 10' ABOVE GRADE.

RE-VEGETATION NOTES:

- ENTIRE SITE CLEARED OF STANDING DEAD.
- WOOD CHIP PILES OF EXISTING SLASH & REMOVE CHIPS.
- SEE CONSTRUCTION STAGING PLAN FOR FENCING.
- ALL AREAS TO BE REVEGETATED BEFORE CONSTRUCTION BEGINS EXCEPT HOME SITE.
- REVEGETATED AREAS WILL HAVE TEMPORARY BROADCAST IRRIGATION FOR THE FIRST SEASON.
- THE NEWLY PLANTED TREES WILL BE PROVIDED WITH FLOOD IRRIGATION FOR THE FIRST 2 SEASON UNTIL ESTABLISHED.

IRRIGATION LEGEND

Check Valve	- Febco B25Y Double Check device
Station Timer	- Toro Vision II (B) station electronic timer
Gate Valve	- Febco gate valve - Provide hose bib for winterization of entire system
Ball Valve	- Febco ball valve - Provide for manual shut down of system
Electronic Control Valve	- Toro series 250 electronic control valve with flow control
Drip Tubing	- Dura-pol blue strip drip tubing - 1/2"
Main Line	- Class 200 PVC
Laterals	- 80# NSF Polyethylene
Sprinkler head	- Toro series 570 pop-up sprinkler head with PCD Nozzles

Notes:

- Irrigation System to be designed to 50 psi
- Main line to be class 200 PVC, 12" min. Depth
| 3. | Laterals lines to be #80 Poly 6 min. depth |
| 4. | All wire to be #14 UF with dri-splice connectors |
| 5. | Provide backflow prevention device at check valve |
| 6. | slope mainline for positive winter drainage, provide manual drain valves at all low points |
| 7. | Provide Hose bib hook up for winterization of entire system. |
| 8. | Provide 2" sleeving under all paved surfaces |

PLANT LEGEND

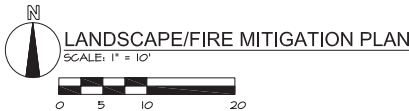
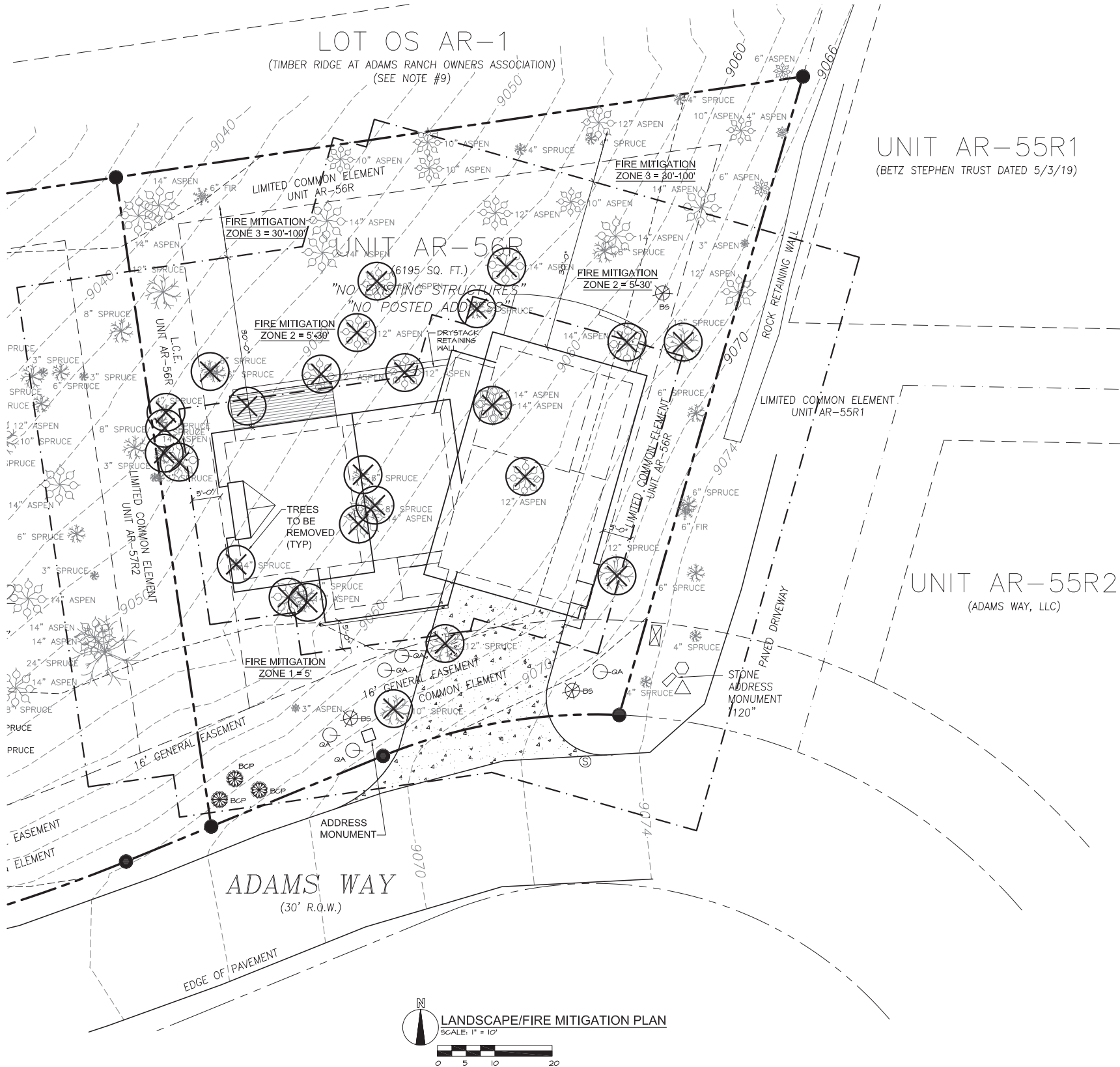
SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE
GA	5	Quaking Aspen	Populus tremuloides	3" - 3.5"
BS	3	Colorado Blue Spruce	Picea pungens	8" - 10"
BCP	3	Rocky Mountain Bristlecone Pine	Pinus aristata	5 gal.
SP	0	Sub-alpine Fir	Abies lasiocarpa	5 gal.
TJ	0	Tam Juniper	Juniperus sabinia	5 gal.
HJ	0	Horizontal Juniper	Juniperus horizontalis	1 gal.
////	0	Assorted Perennials		

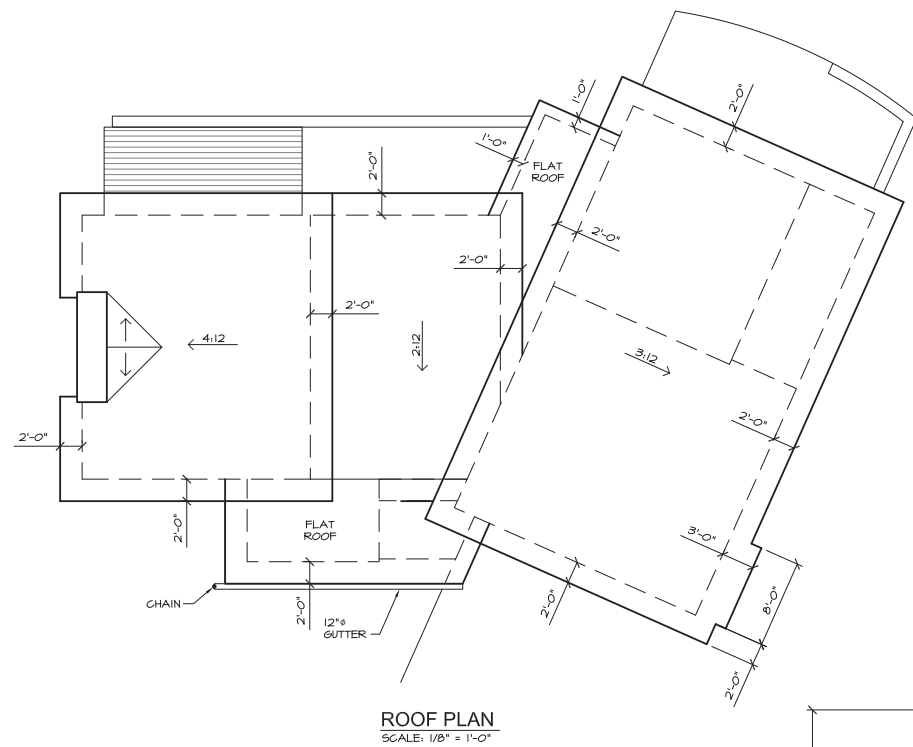
Notes:

- Perennials are:

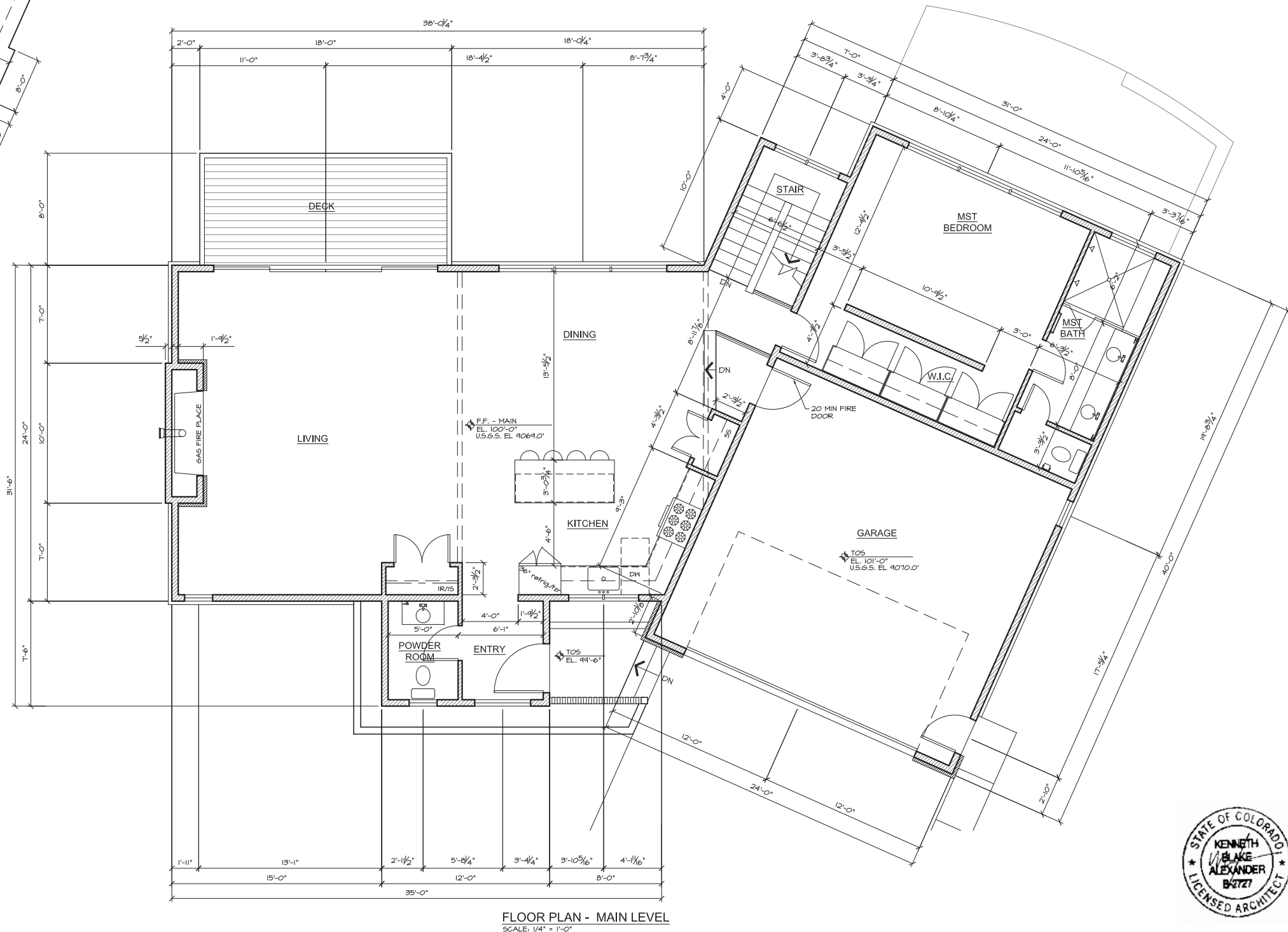
COMMON NAME	BOTANICAL NAME
Snow on the Mountain	Aegopodium podagraria variegatum
Columbine, Alpine	Aquilegia alpina
Columbine, Rocky Mountain	Aquilegia canadensis
Alpine Aster	Aster alpinus
Calendula	Calendula officinalis
Snow-in-summer	Cerastium tomentosum
Painted Daisy	Chrysanthemum coccineum
Delphinium	Delphinium spp.
Pinks, spotted	Dianthus, alwoodii
Sweet William	Dianthus barbatus
Purple Coneflower	Echinacea purpurea
Daylily, Yellow	Hemerocallis "Hyperion"
Iris, Pink Bearded	Iris x germanica
Rocky Mountain Iris	Iris missouriensis
Iris, Blue Siberian	Iris sibirica "Caesar's Brother"
Yellow Flax	Linum flavum
Blue Flax	Linum lewisii
Flax, Blue	Linum perenne
Native Lupine	Lupinus parviflorus
Russell's lupine	Lupinus polyphylus
Engelmann Ivy	Parth quinquefolia
Alpine Penstemon	Penstemon alpinus
Thyme, Woolly	Thymus pseudo lanuginosus
Pansy, Blue Tuffed	Viola cornuta "Blue Perfection"
Violet, Corsican	Viola Corsica

- Provide 6" - 8" of topsoil in all planting beds.
- All trees to be staked and guyed.
- Areas of re-vegetation are to be determined after construction is completed.

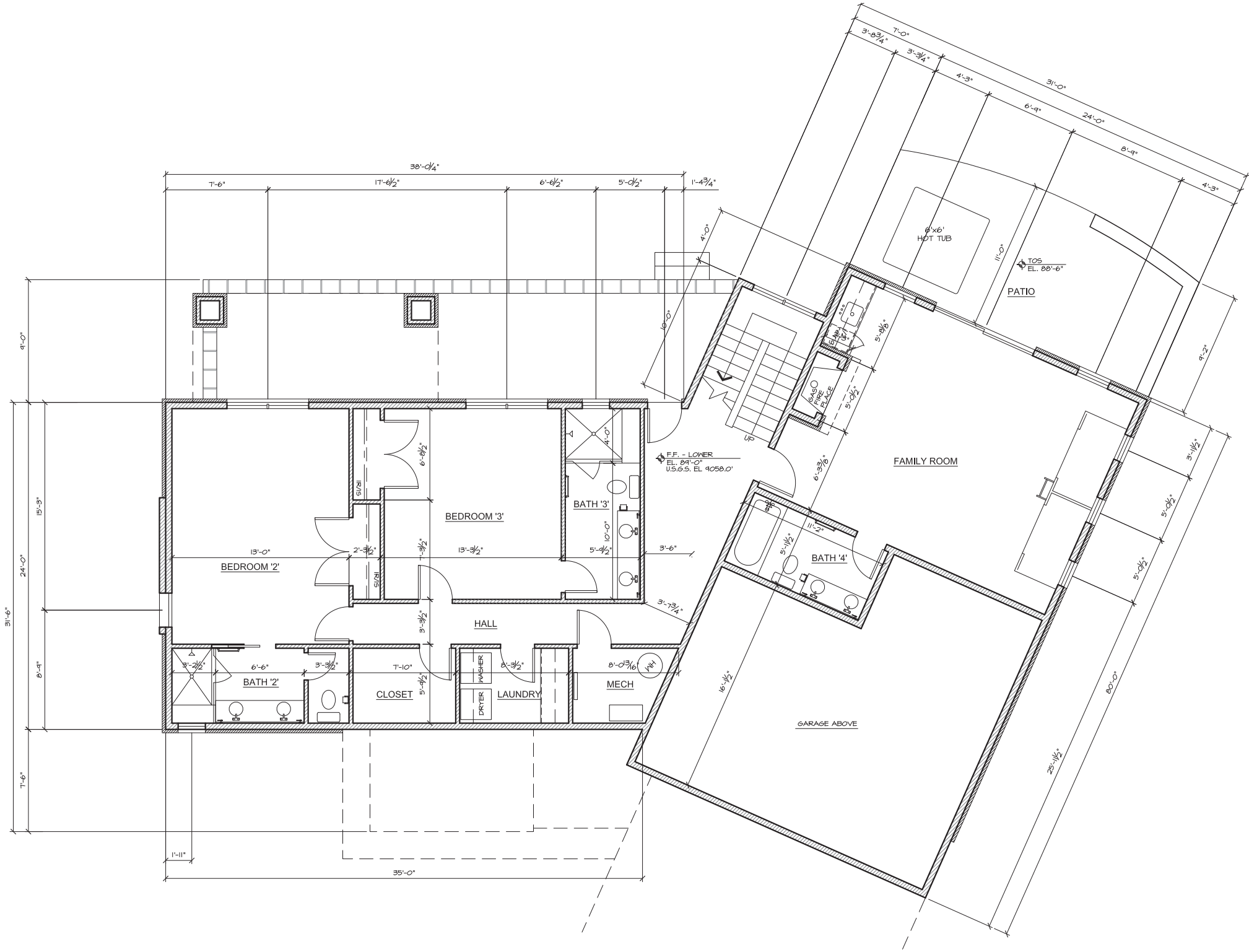




<u>SQ. FOOTAGE CALCULATIONS</u>	
LOWER LEVEL	1,533 s.f.
GARAGE	521 s.f.
MAIN LEVEL	1,486 s.f.
<hr/>	
TOTAL LIVING SPACE	3,019 s.f.
TOTAL BUILDING	3,540 s.f.



E:\Projects\architects_collaborative\hondolacarch_t_bondifda ac-56R.dwg, 4/9/2025 12:27:23 PM



FLOOR PLAN - LOWER LEVEL
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION

Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

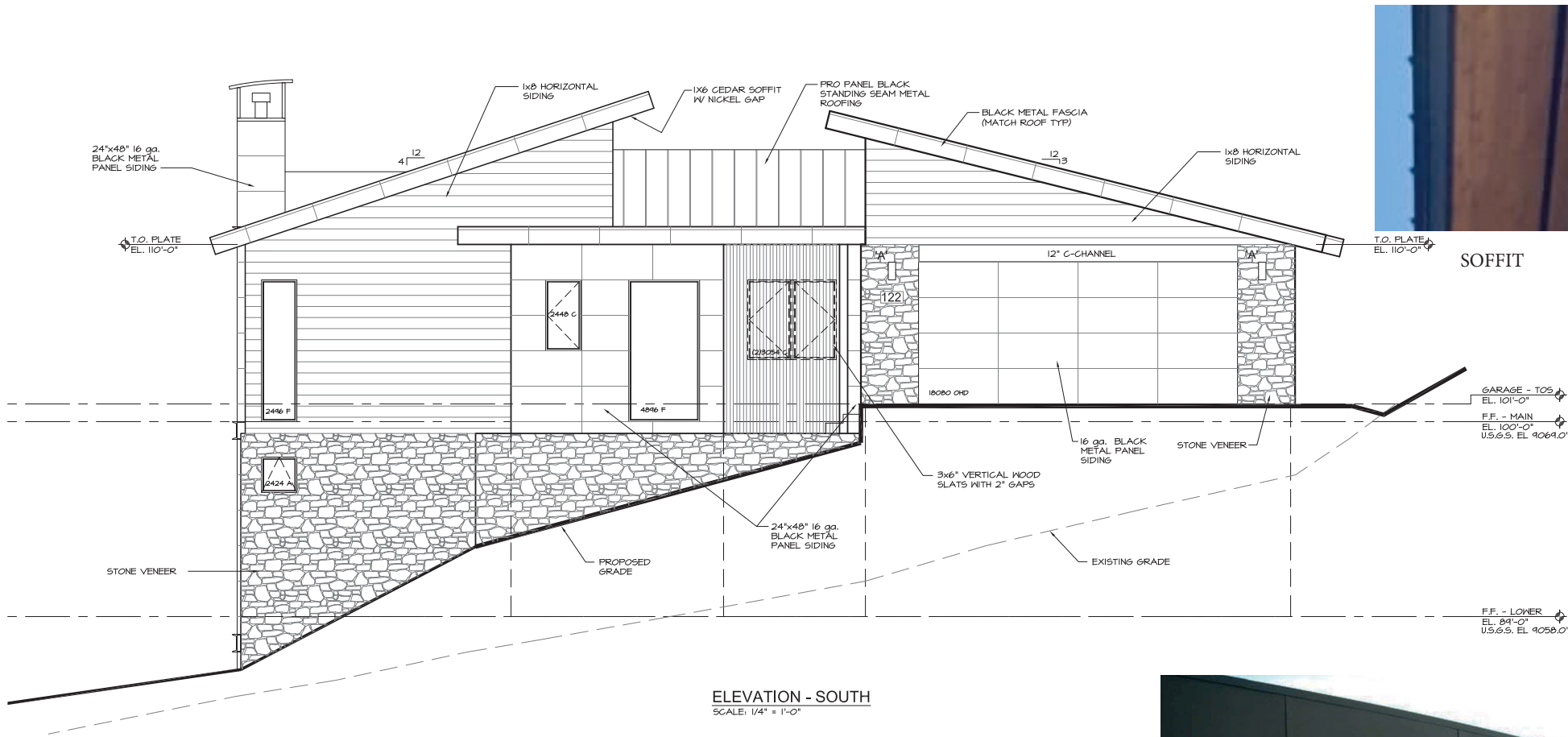
A2.2
Unit AR-56R

ARCHITECTS
COLLABORATIVE
Design + Build • Build • Just Build • Just Design
P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

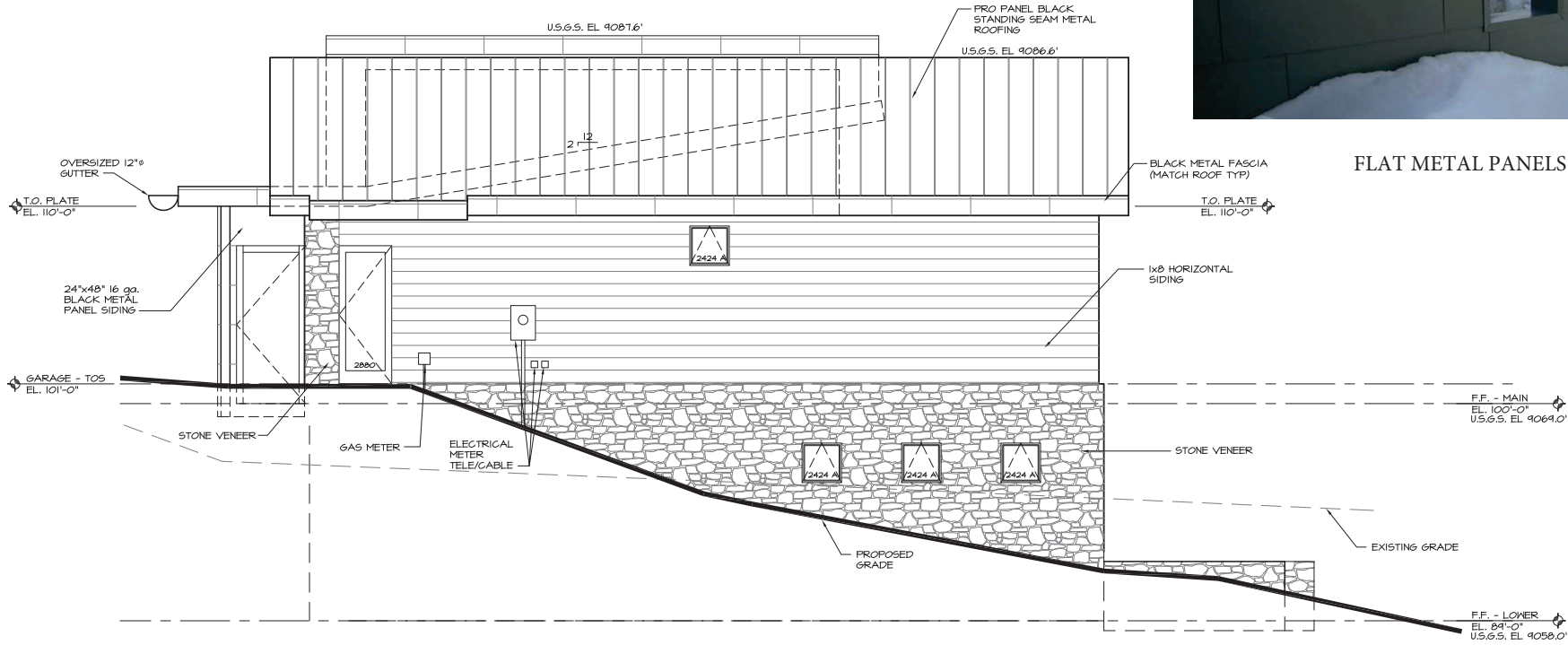
PRELIMINARY ONLY

REVISIONS:
4-23-24
5-1-24
6-20-24
8-19-24
1-4-25

E:\Projects\architects_collaborative\kenalexander\ar_kenalexander\kenalexander-ar-56R.dwg, 4/9/2025 12:27:41 PM



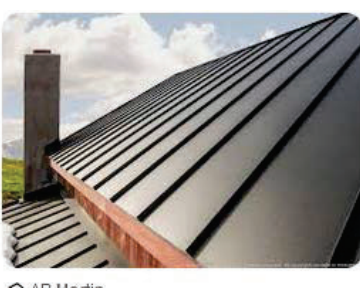
ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



ELEVATION - EAST
SCALE: 1/4" = 1'-0"

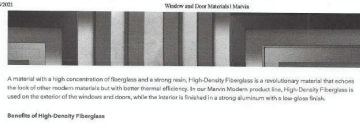


SOFFIT



AB Martin
Textured Metal Panels - AB Martin

STANDING SEAM ROOF AND FASCIA



WINDOWS AND DOOR



FLAT METAL PANELS



STONE VENEER



AQUAFIR™ SHAI F

WOOD SIDING



PRELIMINARY ONLY

REVISIONS:
6-20-24
8-19-24
1-28-25
4-1-25
4-4-25

ARCHITECTS
COLLABORATIVE
Design + Build • Just Build • Just Design

P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

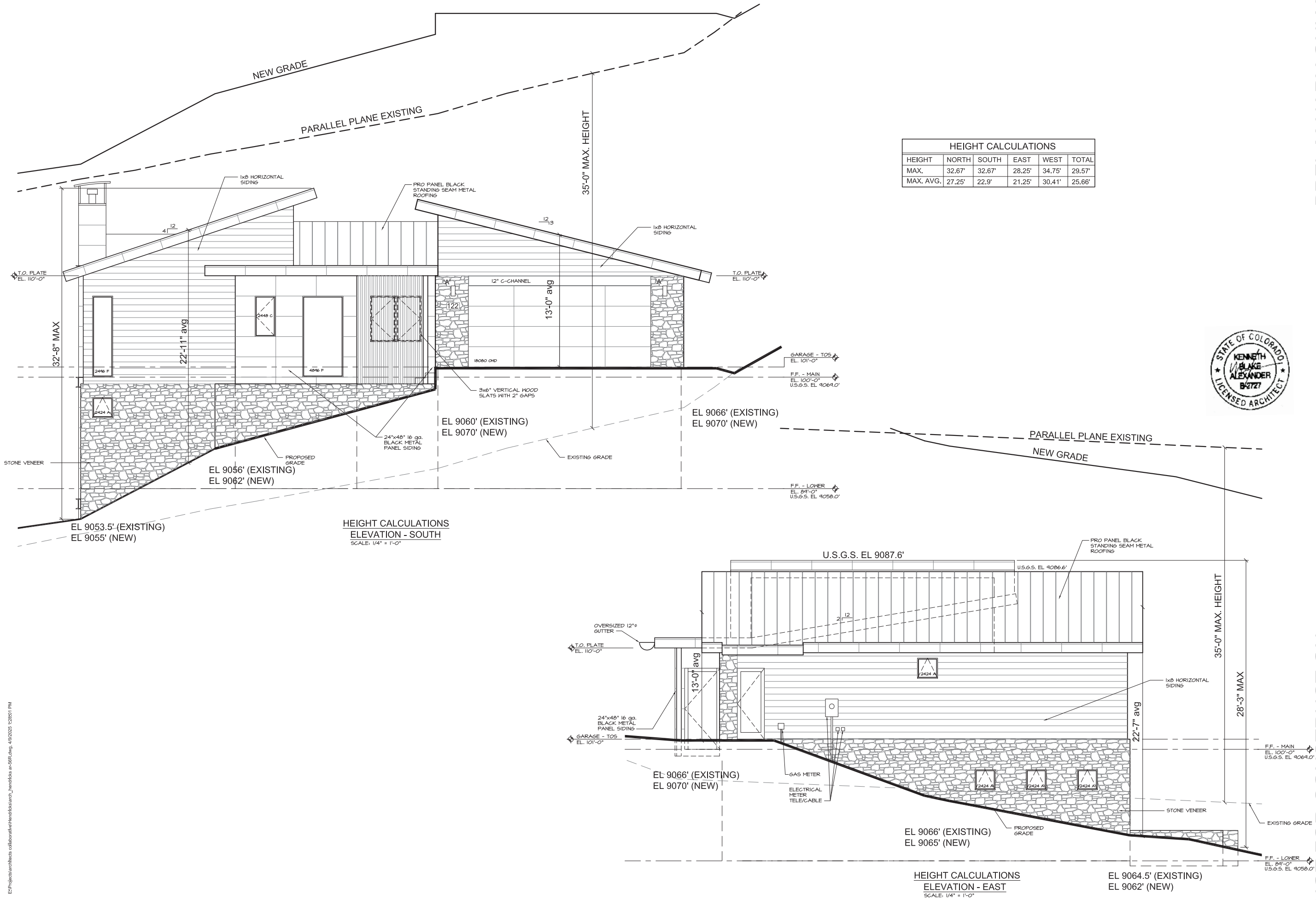
NOT FOR CONSTRUCTION

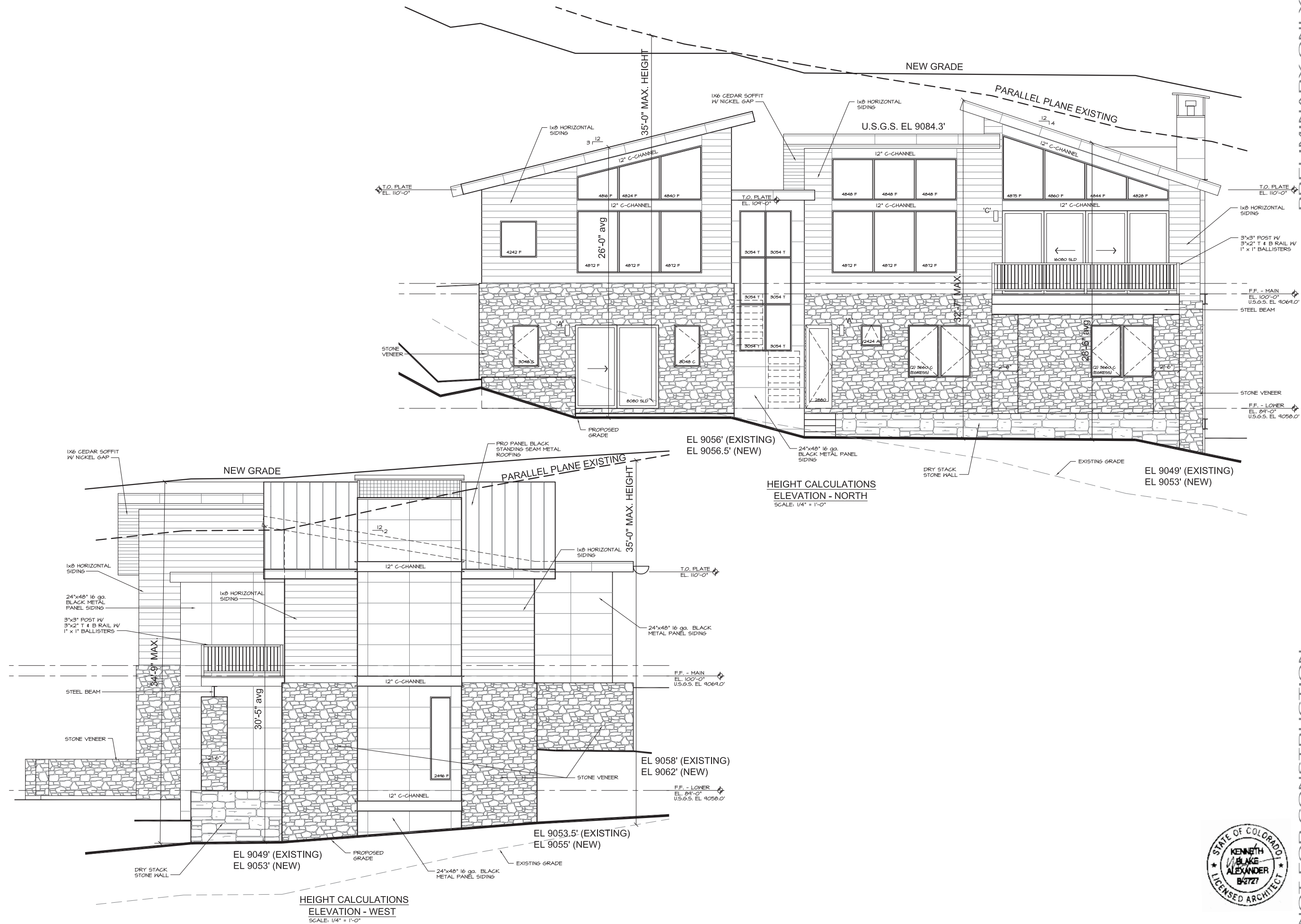
A3.1
Unit AR-56R

DATE:
11.2.23

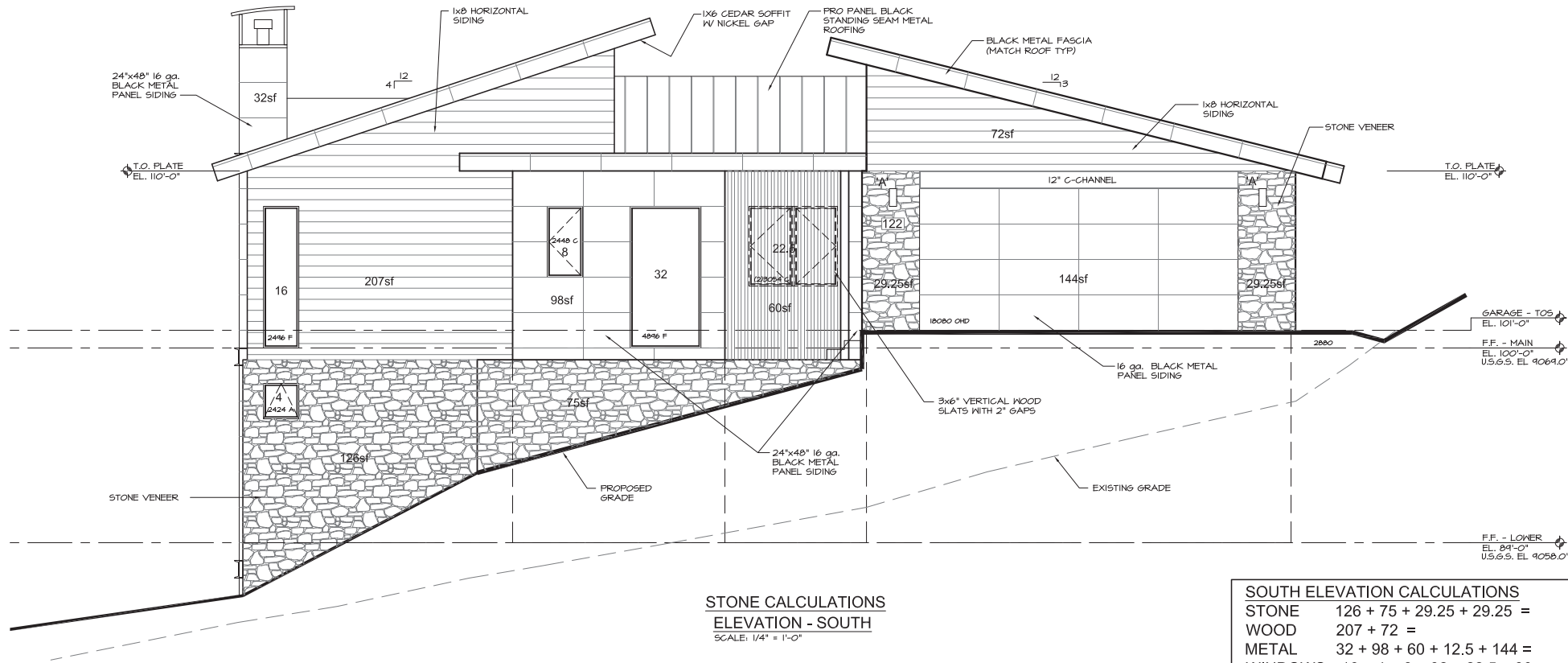
SHEET

E:\projects\architecture_collaborative\unit56R\dwg_4192025 12301 PM



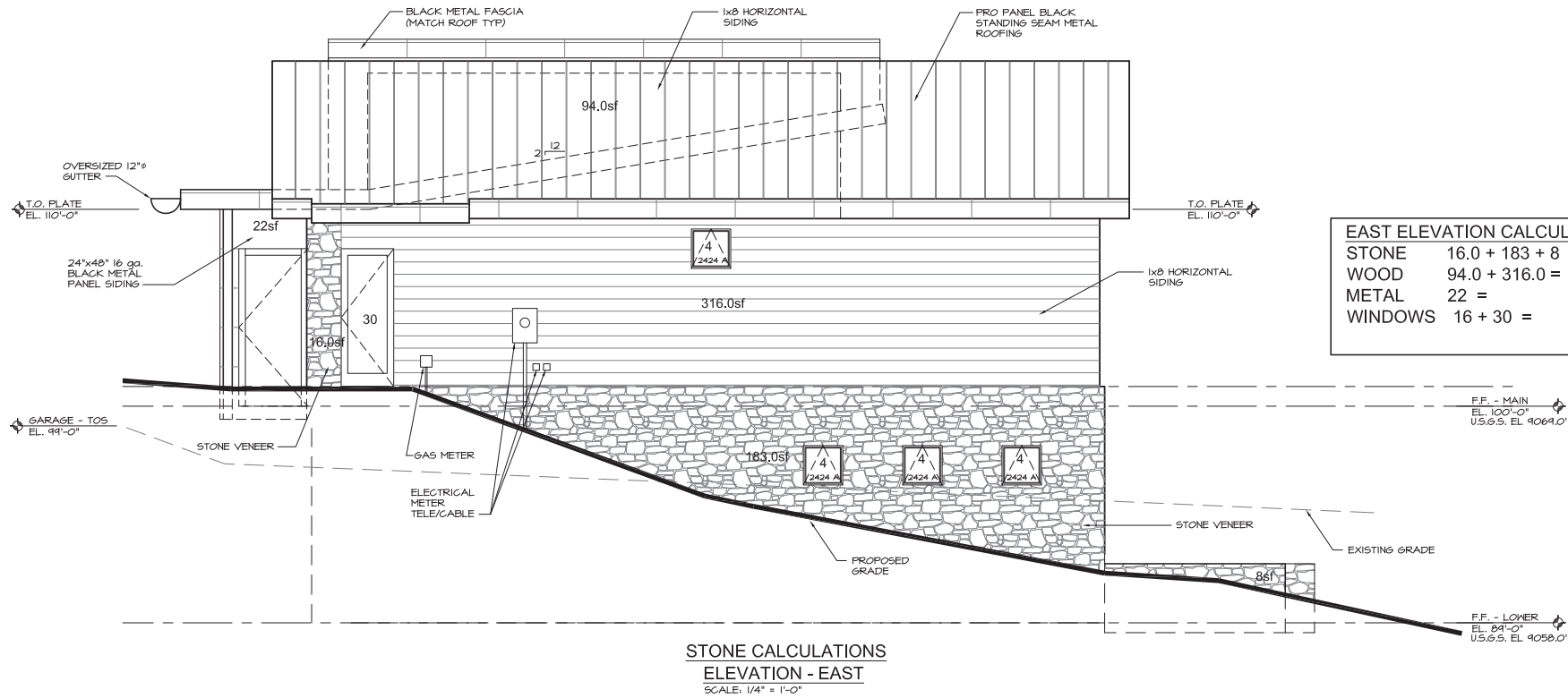


E:\Projects\architects_collaborative\hennrichs_arch_56R.dwg, 4/9/2025 12:28:25 PM



STONE CALCULATIONS
ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

SOUTH ELEVATION CALCULATIONS			
STONE	126 + 75 + 29.25 + 29.25 =	259.5 SF	26.0%
WOOD	207 + 72 =	279.0 SF	
METAL	32 + 98 + 60 + 12.5 + 144 =	346.5 SF	
WINDOWS	16 + 4 + 8 + 32 + 22.5 + 30 =	112.5 SF	
TOTAL		997.5 SF	



STONE CALCULATIONS
ELEVATION - EAST
SCALE: 1/4" = 1'-0"

EAST ELEVATION CALCULATIONS			
STONE	16.0 + 183 + 8 =	207.0 SF	30.2%
WOOD	94.0 + 316.0 =	410.0 SF	
METAL	22 =	22.0 SF	
WINDOWS	16 + 30 =	46.0 SF	
TOTAL		685.0 SF	



NOT FOR CONSTRUCTION

A3.1S

Unit AR-56R

Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
11.2.23

SHEET

P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

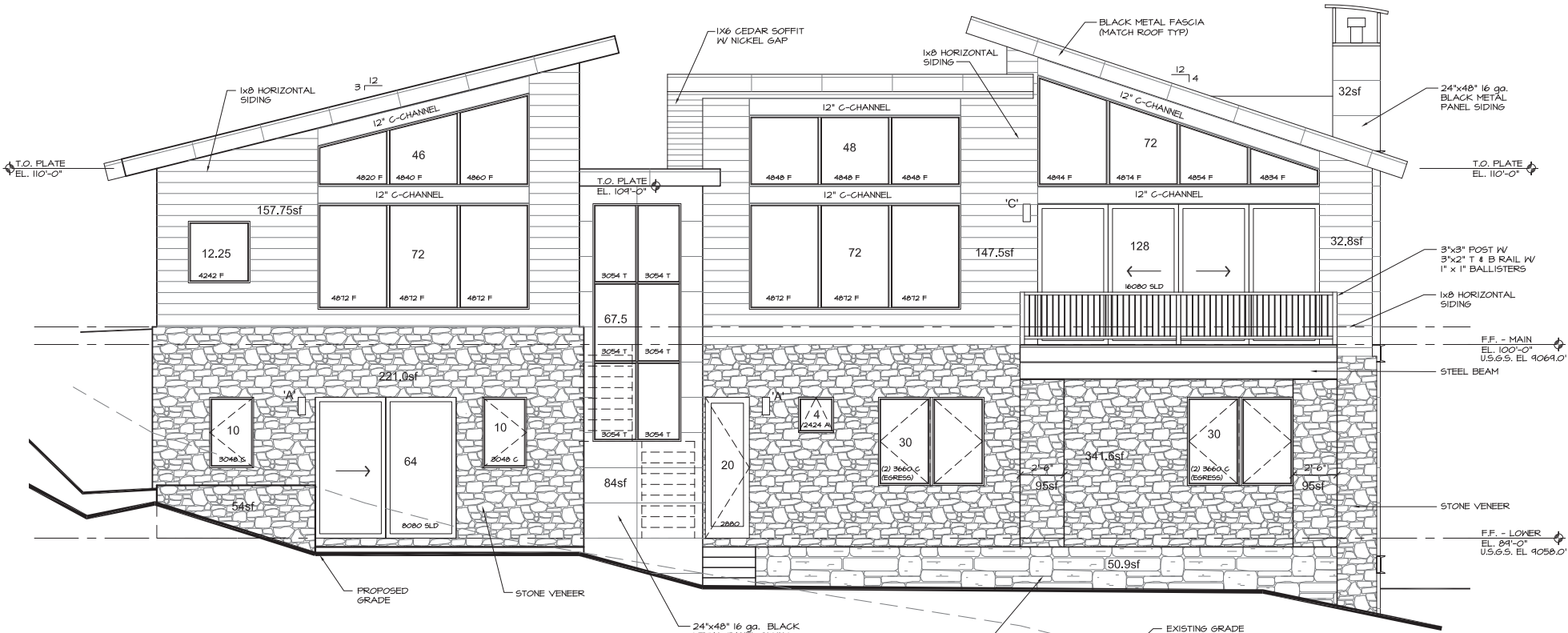
ARCHITECTS
COLLABORATIVE
Design + Build • Just Build • Just Design

PRELIMINARY ONLY

REVISIONS:
0-13-24
1-28-25
4-4-25

E:\Projects\architects_collaborative\kenalexarch_benefits\ac-56R.dwg, 4/9/2025 12:28:37 PM

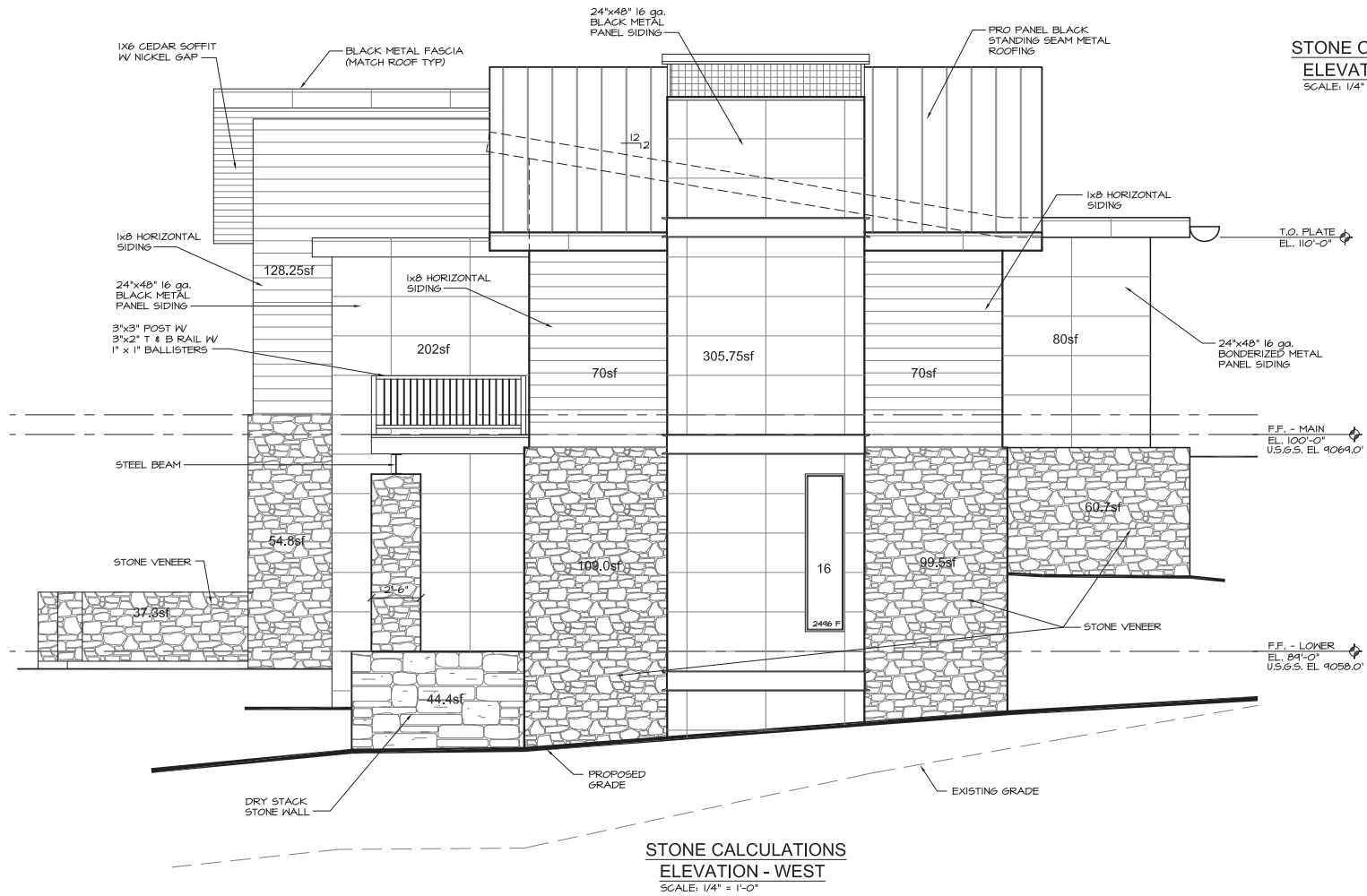
NORTH ELEVATION CALCULATIONS			
STONE	54 + 221 + 341.6 + 95 + 95 + 50.9 =	847.5 SF	42.4%
WOOD	157.75 + 147.5 + 32.8 =	338.05 SF	
METAL	84 + 32 =	116 SF	
WINDOWS	84 + 130.25 + 67.5 + 84 + 120 + 200 =	685.75 SF	
TOTAL		1997.3 SF	



STONE CALCULATIONS
ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

MATERIAL CALCULATION TOTALS					
	NORTH	EAST	SOUTH	WEST	TOTAL
STONE	847.5	207.0	259.5	405.7	1727.7
WOOD	338.05	410.0	279	268.25	1295.3
METAL	116	22	346.5	587.75	1072.25
WINDOWS	685.75	46	112.5	16	860.25
TOTAL	1997.3	685.0	997.5	1277.7	4957.5 SF

WEST ELEVATION CALCULATIONS			
STONE	37.3 + 54.8 + 109.0 + 99.5 + 60.7 + 44.4 =	405.7 SF	31.8%
WOOD	128.25 + 121.25 + 70 =	268.25 SF	
METAL	202 + 305.75 + 80 =	587.75 SF	
WINDOWS	16 =	16 SF	
TOTAL		1277.7 SF	

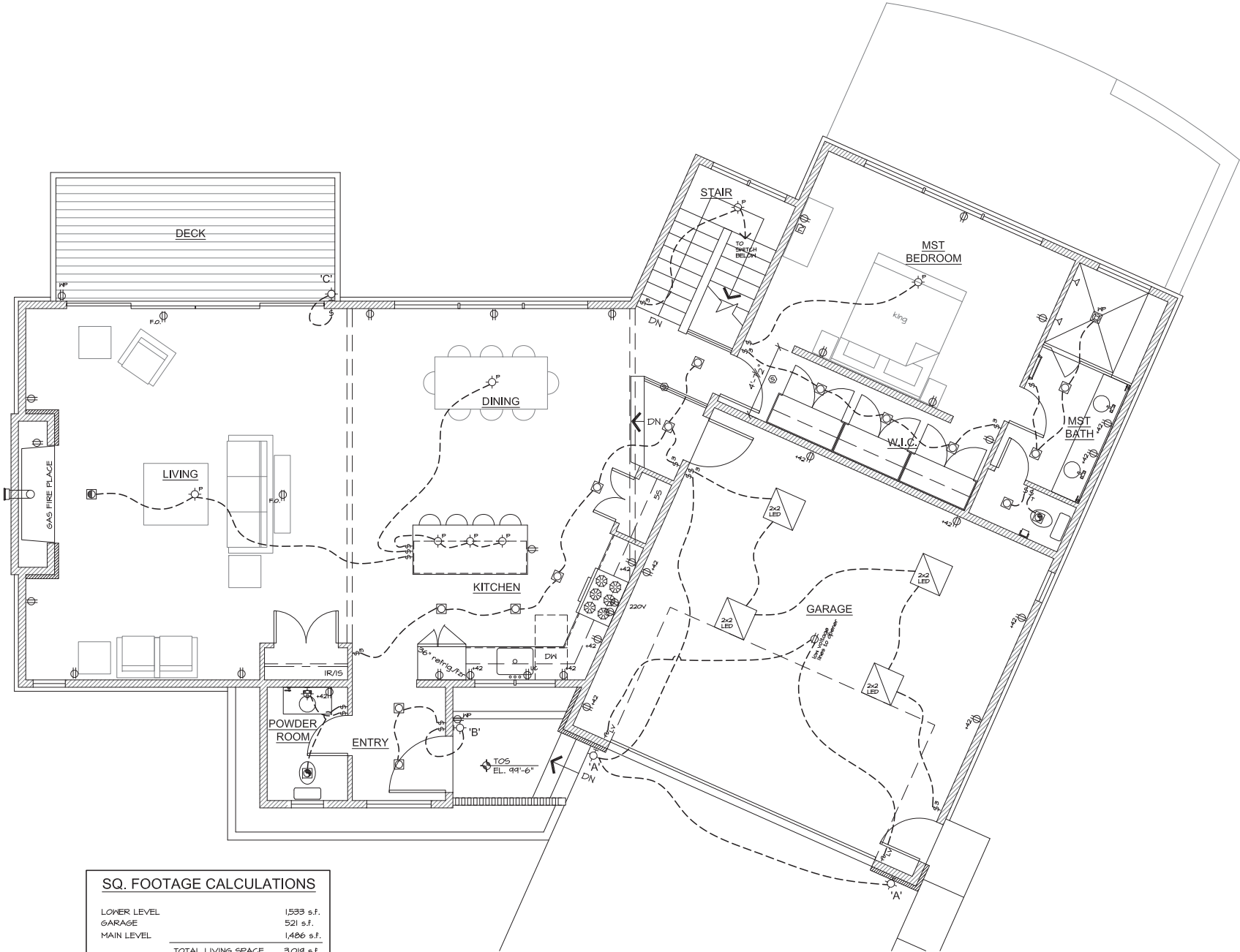


STONE CALCULATIONS
ELEVATION - WEST
SCALE: 1/4" = 1'-0"



E:\Projects\architects_collaborative\hennrichs_w-56R.dwg, 4/9/2025 2:21:34 PM

LEGEND	
S	SWITCH
S ₃	3-WAY SWITCH
S ₄	4-WAY SWITCH
⏏	LITE TOUCH CONTROL
⊕	DUPLEX RECEPTACLE
⊕ ^{WP}	RECEPTACLE (WATERPROOF)
⊕ ^{HAF}	RECEPTACLE (HEIGHT ABOVE FLOOR)
⊕ ^{SO}	RECEPTACLE (SWITCH OPERATED)
⊕ ^F	RECEPTACLE (FLOOR)
⊕ ^C	LIGHT (WALL MOUNTED)
⊕ ^S	LIGHT (SURFACE MOUNTED)
⊕ ^P	LIGHT (PENDANT)
⊕ ^R	LIGHT (RECESSED)
⊕ ^{RE}	LIGHT (RECESSED-EYEBALL)
⊕ ^W	LIGHT W/EXHAUST FAN
⊕ ^F	EXHAUST FAN
⊕ ^{WP}	LIGHT (WATER PROOF RECESSED)
⊕ ^{WP}	LIGHT (WATER PROOF)
⊕ ^F	LIGHT (FLUORESCENT)
⊕ ^{UC}	LIGHT (UNDER CABINET)
⊕ ^C	CEILING FAN
▼	TELEPHONE
⏏	CABLE
⊕ ^{CS}	COMBINATION SMOKE/CO2 DETECTOR
⊕ ^S	SPEAKERS



SQ. FOOTAGE CALCULATIONS	
LOWER LEVEL	1,533 s.f.
GARAGE	521 s.f.
MAIN LEVEL	1,486 s.f.
TOTAL LIVING SPACE	3,014 s.f.
TOTAL BUILDING	3,540 s.f.

FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

E1.1
Unit AR-56R

Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

DATE:
11.2.23

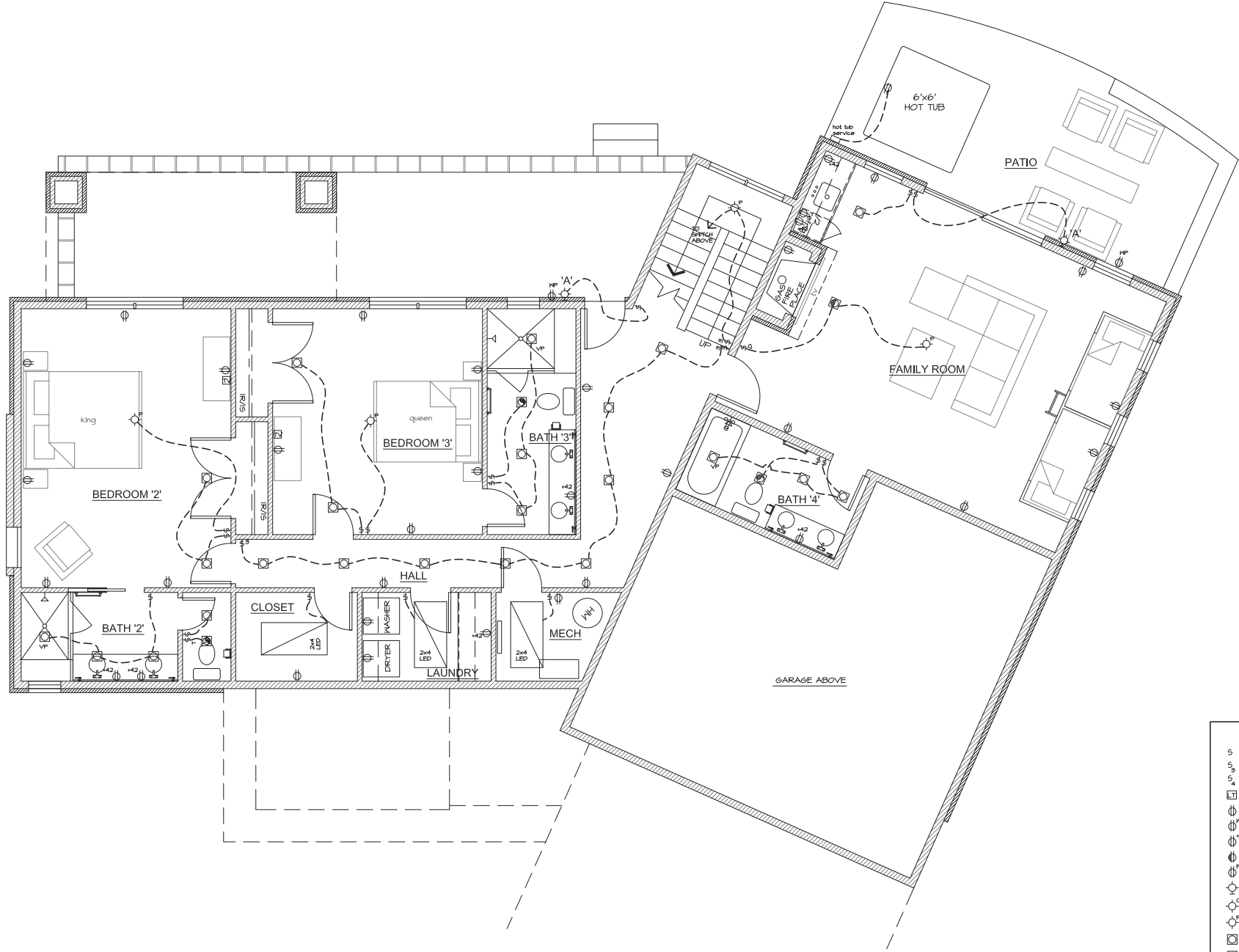
SHEET

P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

ARCHITECTS
COLLABORATIVE
Design + Build • Just Build • Just Design

REVISIONS:
8-13-24
4-4-25

E:\Projects\architects_collaborative\unit-56R.dwg, 4/9/2025 2:21:55 PM



ELECTRICAL PLAN - LOWER LEVEL
SCALE: 1/4" = 1'-0"

LEGEND	
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	LITE TOUCH CONTROL
	DUPLEX RECEPTACLE
	RECEPTACLE (WATERPROOF)
	RECEPTACLE (HEIGHT ABOVE FLOOR)
	RECEPTACLE (SWITCH OPERATED)
	RECEPTACLE (FLOOR)
	LIGHT (WALL MOUNTED)
	LIGHT (SURFACE MOUNTED)
	LIGHT (PENDANT)
	LIGHT (RECESSED)
	LIGHT (RECESSED-EYEBALL)
	LIGHT W/EXHAUST FAN
	EXHAUST FAN
	LIGHT (WATER PROOF RECESSED)
	LIGHT (WATER PROOF))
	LIGHT (FLUORESCENT)
	LIGHT (UNDER CABINET)
	CEILING FAN
	TELEPHONE
	CABLE
	COMBINATION SMOKE/CO2 DETECTOR
	SPEAKERS

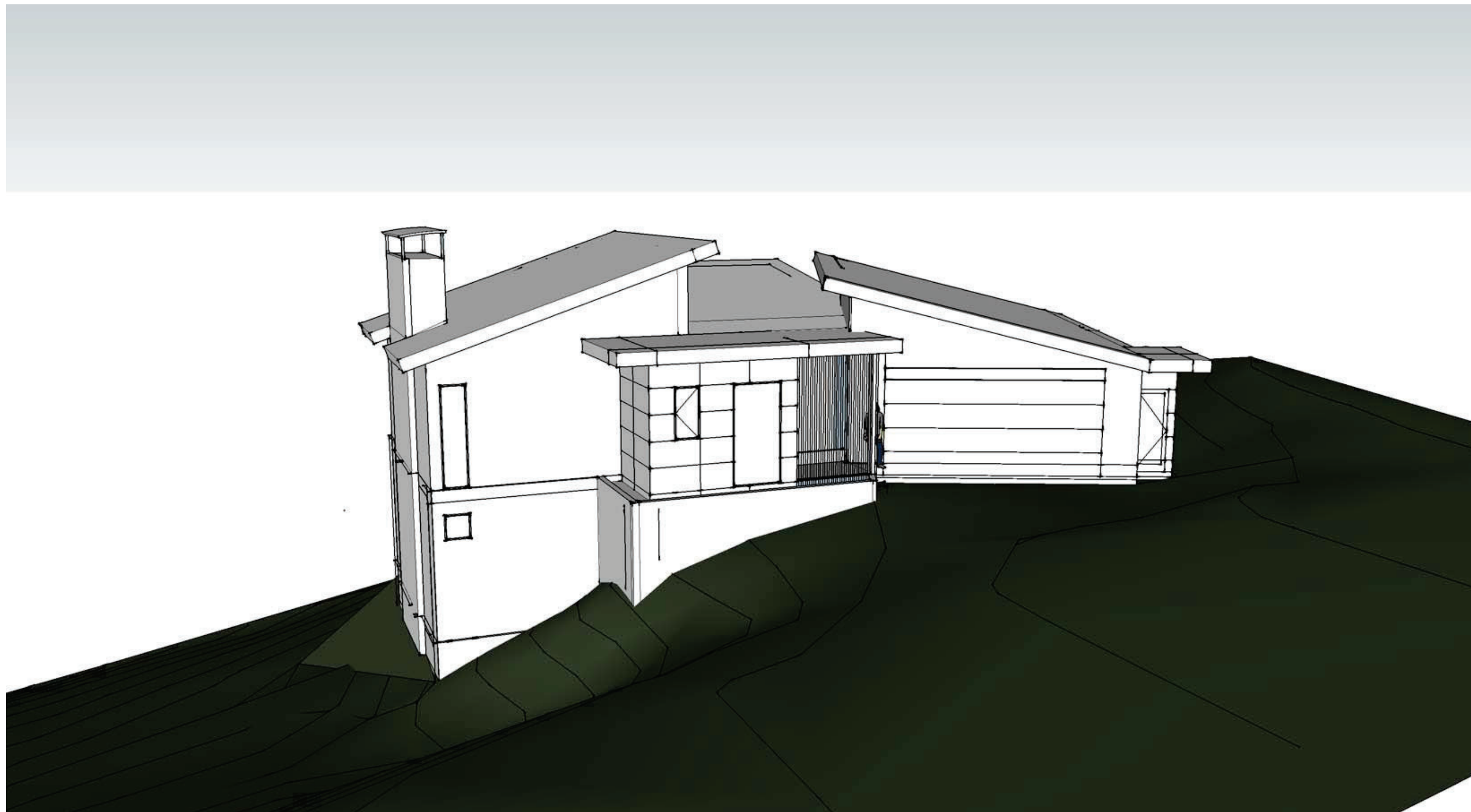
NOT FOR CONSTRUCTION

Unit AR-56R Timber Ridge at Mountain Village
122 Adams Way, Mountain Village
San Miguel County, Colorado

E1.2
Unit AR-56R

ARCHITECTS
COLLABORATIVE
Design + Build • Build • Just Build • Just Design
P.O. Box 3954 • Telluride, CO 81435
C: 970-708-1076

REVISIONS:
8-13-24
4-9-25

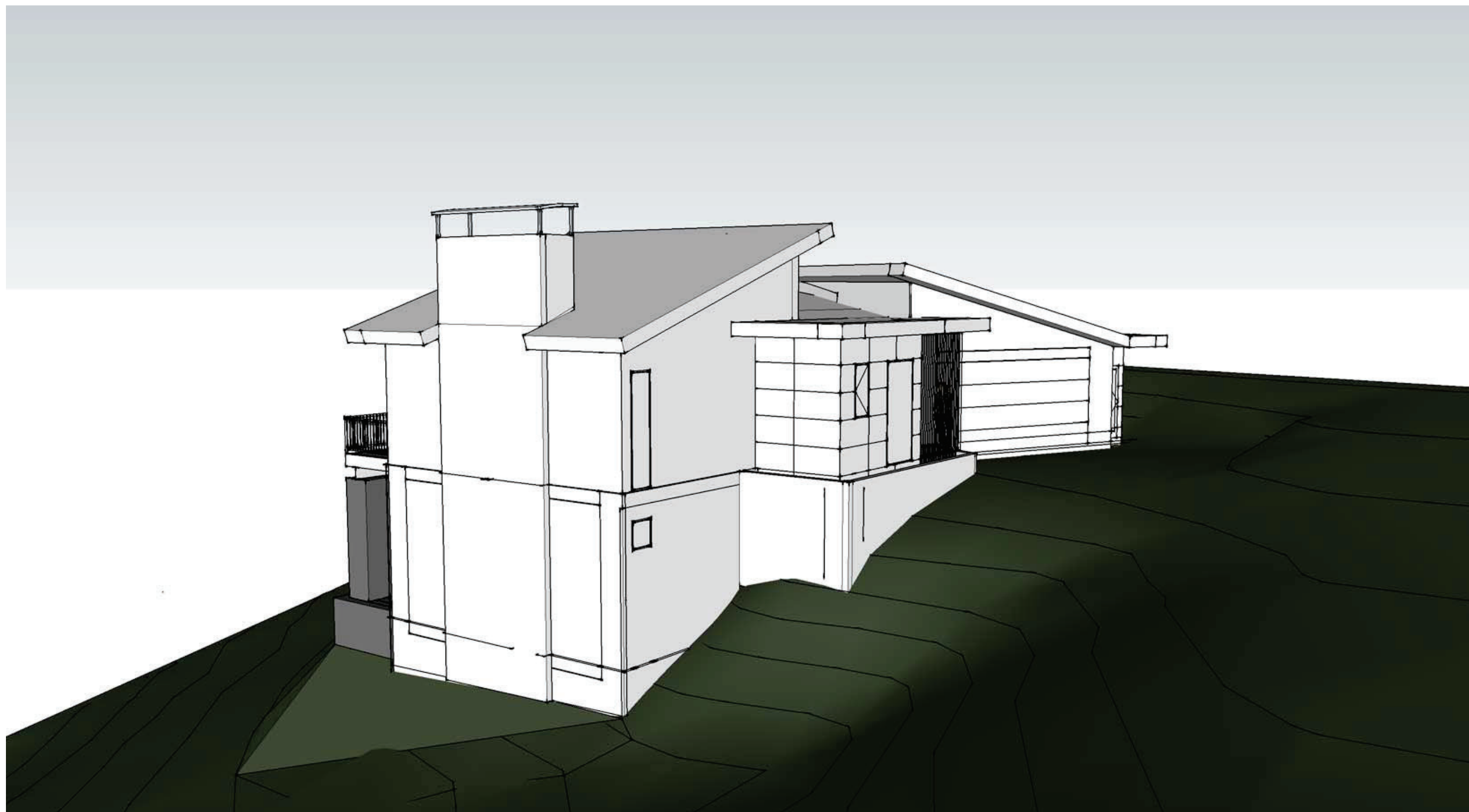












WINDOW AND DOOR SCHEDULE

HENDRICKS RESIDENCE MARVIN ESSENTIAL WINDOWS

SIZE	ROOM	QUANTITY	MATERIAL	Notes
1. 216/96	GARAGE	1	OHD/INSUL.MTL BLK.	OHD /TEMP.
2.(2)3054C	KITCHEN	1	FIBERGLASS/BLK.	
3. 3696RH	ENTRY	1	WOOD STAIN/ BLK.	GLASS PANELS/TEMP.
4. 4896F	ENTRY	1	FIBERGLASS/BLK.	TEMP.
5. 2448C	ENTRY	1	FIBERGLASS/BLK.	RH
6. 2496F	LIVING	1	FIBERGLASS/BLK.	TEMP.
7. 2424A	BATH 2	1	FIBERGLASS/BLK.	
8. 3296LH	GARAGE	1	FIBERGLASS/BLK.	TEMP.
9. 2424A	GARAGE	1	FIBERGLASS/BLK.	
10. 2424A	FAMILY RM	3	FIBERGLASS/BLK.	
11. 4242F	M.BATH	1	FIBERGLASS/BLK.	
12. 4872F	M. BEDRM.	3	FIBERGLASS/BLK.	MULL
13. 4839F	M. BEDRM.	1	FIBERGLASS/BLK.	TRAPAZOID/MULL
14. 4851F	M. BEDRM.	1	FIBERGLASS/BLK.	TRAPAZOID/MULL
15. 4863F	M. BEDRM.	1	FIBERGLASS/BLK.	TRAPAZOID/MULL
16. 3048F	FAMILY RM	1	FIBERGLASS/BLK.	RH
17. 7296SGD	FAMILY RM	1	FIBERGLASS/BLK.	R ACTIVE TEMP
18. 3048F	FAMILY RM	1	FIBERGLASS/BLK.	LH
19. 3054F	STAIR	6	FIBERGLAS/BLK.	2 TEMP/MULL

20. 4848F	DINING RM	3	FIBERGLASS/BLK.	MULL
21 4872F	DINING RM	3	FIBERGLASS/BLK.	MULL
22. 4875	LIVING RM	1	FIBERGLASS/BLK.	TRAPAZOID
23. 4860	LIVING RM	1	FIBERGLASS/BLK.	TRAPAZOID
24. 4844	LIVING RM	1	FIBERGLASS/BLK.	TRAPAZOID
25. 4828	LIVING RM	1	FIBERGLASS/BLK.	TRAPAZOID
26. 192/96	LIVING RM	1	FIBERGLASS/BLK.	SGD/TEMP.
27. 2424A	BATH 3	1	FIBERGLASS/BLK.	
28. 3296D	HALL LL	1	FIBERGLASS/BLK.	LH/TEMP.
29 (2)3660C	BEDRM 3	1	FIBERGLASS/BLK.	
30. (2)3660C	BEDRM 2	1	FIBERGLASS/BLK.	
31. 2496F	BEDRM 2	1	FIBERGLASS/BLK.	TEMP.

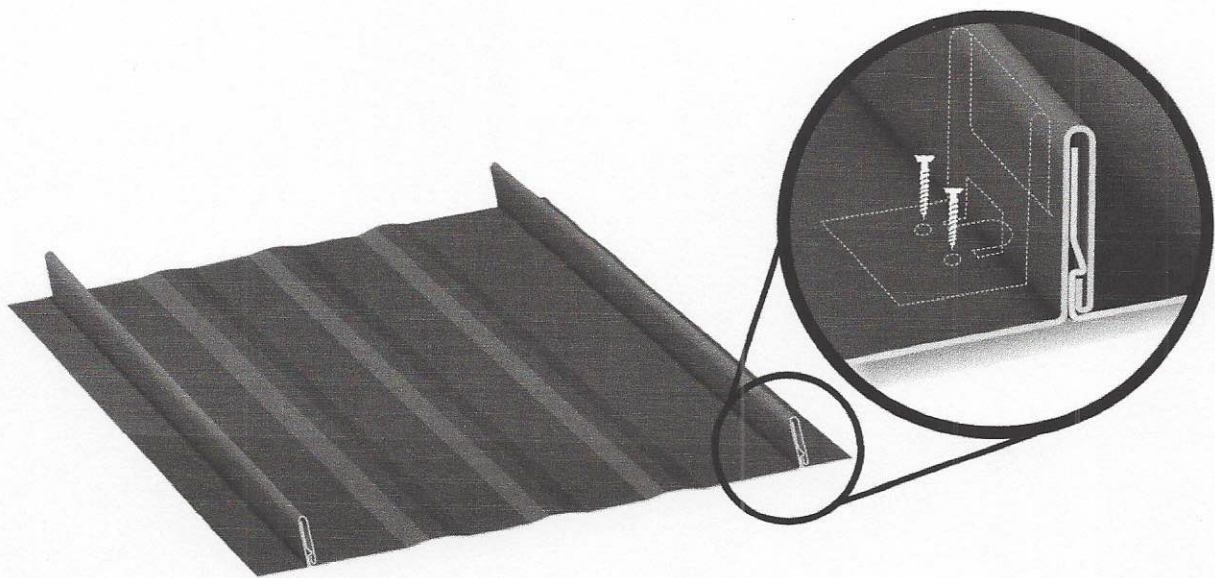


The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000

📍 10 Enterprise Ct. Lebanon, PA 17042
Other Locations: Orwell OH, Bridgton ME, & Howe IN
📞 717-389-0234 | 800-418-5057
📠 717-450-4348



COPYRIGHT © EVERLAST METALS 2021 | [PRIVACY POLICY](#) | DEVELOPED BY 📍 CRE8TIVE LOGIC



EVERLAST METALS: ASL-150 METAL ROOFING PANEL PROFILE

The Everlast Metals ASL-150 Architectural Snap Seam Standing Seam roofing panel utilizes snap together panels for quick installation and no field seaming required.

Installed over solid decking, this design allows for expansion & contraction caused by natural elements, providing a virtually leak proof roof with exceptional UL580 wind uplift ratings.

The panel is available in a wide variety of materials and finishes. Substrates include G-90 Galvanized Steel, Galvalume® steel, and Aluminum. All painted products are Fluoropon® coated.

24 Gauge Series Painted Fluoropon® Warranty

Everlast Metals ("Everlast" or "Seller") warrants, in the continental United States that under normal atmospheric conditions the exterior paint on its pre-painted 24 gauge Fluoropon® products.

FILM INTEGRITY: Will not crack, check, blister or flake for a period of thirty-five (35) years and one month.

CHALK RATING: Will not chalk in excess of a numerical rating of 8 when measured with the standard procedure specified in ASTM D4214-89, on sidewalls or roofs for a period of thirty-five (35) years and one month.

FADE RATING: Will not fade or change color by more than 5 units of color when measured with the standard procedure of ASTM D-2244, on sidewalls or roofs for a period of thirty-five (35) years and one month.

1. LIMITATIONS ON WARRANTY:

- A. Seller's Warranties apply only to panels which have been exposed to normal weather and atmospheric conditions and does not apply to defects or failures caused by acts of God, falling objects, misuse, improper assembly or installation, external forces, explosions, fire, vandalism, deliberate destruction or damage, riots, civil commotions, acts of war, radiation or harmful gases or fumes, excessive salt atmospheres, chemicals, foreign substances (i.e., abnormal quantities of sand or dirt particles) or chemicals in the air or atmosphere, and/or improper drainage or water retention regardless of roof or pitch.
- B. This Warranty does not cover failures resulting from edge corrosion or if failure is caused by failure of the metal substrate.
- C. Buyer must inspect material received from Seller prior to installation so as to mitigate expense involved in repairing, repainting or replacing defective product.

2. NOTICE REQUIREMENTS:

- A. Any claim under this warranty shall be addressed to the Warranty Department and mailed to Seller at the address for its corporate office that is identified on its website, which is currently 10 Enterprise Court, Lebanon, PA, 17042-8206.
- B. Any claim on account of a defect in the product or for any other cause whatsoever shall be deemed WAIVED by Buyer unless written notice thereof containing the information identified in Section 2(c) of this Limited Warranty is received by Seller within 30 days after discovery of the defect and within the applicable Limited Warranty period. Seller shall be given reasonable opportunity to investigate all claims, and no products shall be returned to Seller without Seller's inspection and approval and receipt by Buyer of written shipping instructions from Seller.
- C. To be effective, Buyer's notice of claim shall include such records as may enable Seller to establish the Everlast invoice number, date of shipment by Everlast, name of distributor or Lumberyard from which the materials were purchased, and the date of installation of panels. These records must be duly authenticated, be made in the ordinary course of business, and be contemporaneous with the events noted therein. Buyer shall also present such evidence that establishes that any claimed defect was due to a breach of the Limited Warranty stated herein, including without limitation photographs showing the issue.

3. EXCLUSIVITY OF WARRANTIES:

THE EXPRESS LIMITED WARRANTIES AND REMEDIES STATED HEREIN ARE THE EXCLUSIVE REPRESENTATIONS, WARRANTIES, AND REMEDIES APPLICABLE TO THE PRODUCTS. ALL IMPLIED REPRESENTATIONS OR WARRANTIES, INCLUDING ANY IMPLIED REPRESENTATIONS OR WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, ARE EXPRESSLY DENIED AND EXCLUDED. YOUR RIGHTS MAY VARY FROM STATE TO STATE. SOME STATES DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY LASTS, SO THE ABOVE LIMITATION OR EXCLUSION MAY NOT APPLY TO YOU. CHECK YOUR OWN STATE LAW FOR ADDITIONAL RIGHTS.

4. EXCLUSIVITY OF REMEDY AND DISCLAIMER OF DAMAGES:

- A. If it is determined to Seller's reasonable satisfaction, upon inspection, that the product fails to perform as warranted herein, Seller shall have the right, at its option, to either repair, repaint or replace the defective product utilizing normal materials, methods and workmanship or refund Buyer the price paid for the material as are needed to fulfill the original limited warranty but without extension of the duration thereof. Seller's liability and Buyer's exclusive remedy under this Limited Warranty shall be limited to repair, repainting, replacement or refund as Seller may elect. In fulfillment of its limited warranty, Seller shall in no event be liable to incur costs which exceed Seller's price for the defective material. In the event that Seller provides replacement product or a refund of the purchase price, Seller shall not be liable for any labor costs, including any labor costs associated with removing, replacing, or installing product.
- B. Except as expressly provided herein, Everlast shall not be liable for any losses, damage or expense, whether direct, incidental or consequential, or for loss of use, revenues or profits, and Buyer hereby WAIVES all remedies not expressly provided herein.
- C. THIS WAIVER OF DAMAGES APPLIES TO ANY CLAIM OF ANY WARRANTY CLAIM THAT MAY APPLY TO YOUR PURCHASE, WHETHER EXPRESS OR IMPLIED, WRITTEN OR ORAL. Some states do not allow the exclusion or limitation of consequential damages, so the above limitation or exclusion may not apply to you. Check your own state law for additional rights.

5. NON-TRANSFERABILITY OF WARRANTY:

This limited warranty is extended to Buyer as the original purchaser from Seller and is non-transferable and non-assignable. No rights against Seller shall be created by any transfer or assignment, nor shall any rights against Seller survive any transfer or assignment. Buyer or its agents or representatives shall not claim, represent or imply nor permit its customers, distributors, applicators or contractors to claim, represent or imply that this limited warranty extends or is available to parties other than Buyer, and to the limit of its legal right to do so Buyer shall cause any party to cease and desist of any such misrepresentation. This condition shall constitute a material term of this limited warranty and its violation by Buyer shall excuse Seller from its obligations hereunder.

6. TERMINATION:

Seller reserves the right to terminate this Limited Warranty except with respect to orders which it has already accepted upon the giving of written notice thereof.

7. MERGER:

Oral statements made by Seller's representatives and written descriptions of the products appearing elsewhere than on the face hereof are not representations or warranties by Seller and shall not be relied upon by Buyer. This writing constitutes the final, complete, and exclusive expression of the terms of the parties' agreement. Any modification hereof, to be effective, shall be in writing, shall expressly refer to this limited warranty, and shall be signed by an authorized representative of Seller.

Everlast Metals

10 Enterprise Court, Lebanon, PA 17042
Effective Date: June 5, 2023

Description:

EVERLAST METALS offers PVDF Coated Aluminum and Galvanized/Galvalume® Steel Substrates as Architectural Flat Sheet & Coil Stock. The premium paint system combines a minimum of 70% Fluoropon® polyvinylidene fluoride (PVDF) resin and is applied at a minimum total dry film thickness of 1.0 mil (+/- 0.1). For additional protection, the reverse side is coated with a polyester wash coat at 0.3-0.4 mil dry film thickness. EVERLAST METALS Architectural Flat Sheet and Coil Stock conforms to Premium materials criteria, as set forth within the Metal Construction Association's materials certification program.

Aluminum - conforms to ASTM B209 standards, with H22 temper.

Galvanized/Galvalume® Steel - conforms to ASTM A755 standards, further defined as follows: ASTM A653 Grade 50 structural steel with G90 HDG Coating, or ASTM A792 Grade 50 structural steel AZ50 coating. An optional strippable film can be applied for additional protection during handling, fabrication and installation. Avoid exposure to extreme heat an long periods of direct sunlight, as this can render the film difficult to remove. This strippable film must be removed immediately after installation.

General Use & Method of Application:

EVERLAST METALS Architectural Flat Sheet and Coil Stock is intended for general sheet metal use in building applications including but not limited to fascia, soffits, gravel stops, copings, store fronts and metal roofing.

- Install in accordance with industry-recognized sheet metal practices.
- Cut, form, and fasten using conventional hand or power tools.
- For best results cutting tool edges should be kept sharp, clean, properly dressed, and closely aligned.
- Fabrication and erection can be accomplished with strippable plastic film in place. Film should be removed from areas of concealed or joined pieces.

Storage:

- Everlast Metals metal sheet and coil should be stored in a well ventilated, dry place where no moisture can contact them. Moisture (from rain, snow, condensation, etc.) trapped between layers of material may cause water stains or white rust, which can affect the service life of the material and will detract from its appearance.
- If outdoor storage cannot be avoided, protect the sheet and coil with a ventilated canvas or waterproof paper cover. Do not use plastic, which can cause condensation. Keep the material off the ground in an inclined position with a insulator such as wood.
- Maximum 3,000 lb of sheets per pallet.

Precautions:

- Protective film may degrade or become brittle with exposure to direct sunlight. Therefore, it must be removed immediately.
- Product should not be used in areas of high abrasion or where it is subject to mechanical damage.
- Product is pre-finished material; care must be exercised during fabrication and erection to avoid surface damage.
- Everlast Metals recommends a minimum bend radius of 2T for .032 and .040 materials and a 3T bend radius for a material .050 or greater. Anything less than these minimum bend radii can cause crazing to the material.
- Attention should be paid to good house-keeping practices.
- Avoid dragging sheets over surfaces which may scratch or mar the finish.
- For general sheet metal use in building applications.
- Do not cut with power saws or abrasive blades.

#1 Home Improvement Retailer



Thomas Rd 10PM

85020

W.

Q



Thomas Rd 10PM

85020



Menu



Quotes



Lists



Ken

[...](#) / [Exterior Doors](#) / [Front Doors](#) / [Wood Doors](#) / [Wood Doors With Glass](#)

Internet # 308301797 Model # HM.451.30.80.134 UPC Code # 848068040695

Customers Also Viewed

Exclusive

**Krosswood Doors**

36 in. x 96 in. Contemporary Hemlock 3-Lite Clear Glass Unfinished Wood Front Door Slab

★★★★★ (3.8 / 71)

\$1,078⁰⁰

Exclusive

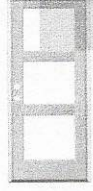
**Krosswood Doors**

36 in. x 96 in. Modern Hemlock Right-Hand/Inswing 5-Lite Clear Glass unfinished Wood Prehung Front Door

★★★★★ (3.9 / 16)

\$1,578⁰⁰

Exclusive

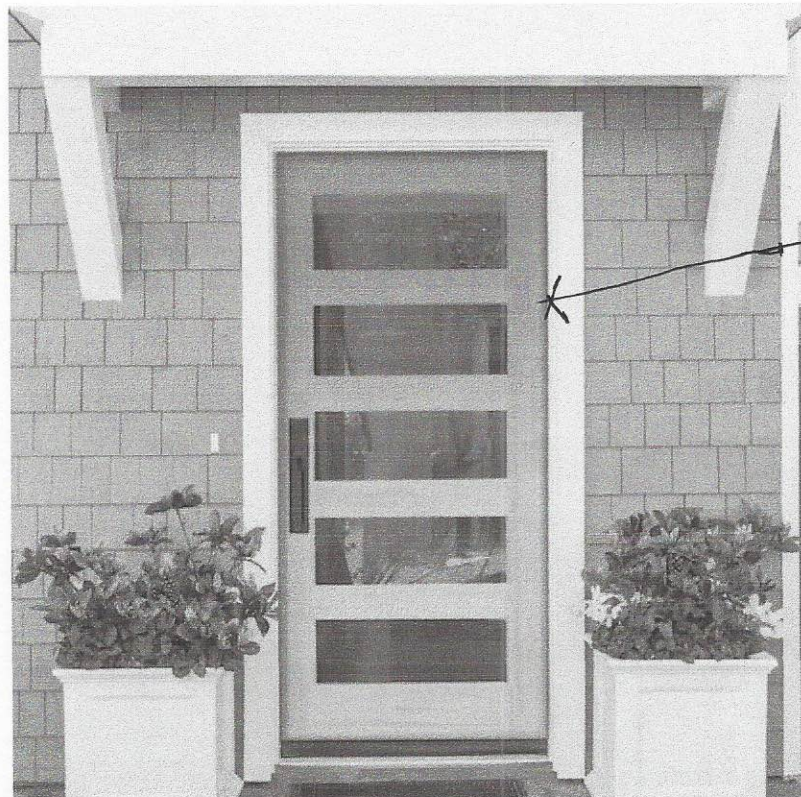
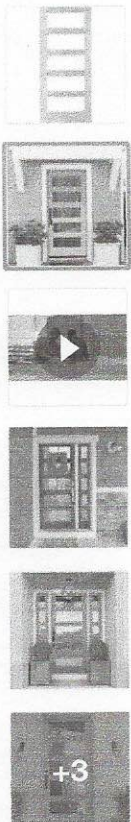


Feedback

< 1/6 >

Top Rated

Krosswood Doors

36 in. x 96 in. Contemporary Hemlock 5-Lite Clear Glass Unfinished Wood Front Door Slab★★★★★ (79) [Questions & Answers \(97\)](#)

Hover Image to Zoom

BLACK OIL
BASED SEMI
TRANSLUCENT
STAIN W/ 2
COATS CLEAR
SEALER



DEVELOPMENT REFERRAL FORM

COMMUNITY DEVELOPMENT DEPARTMENT
455 Mountain Village Blvd. Ste. A
Mountain Village, CO 81435
(970) 728-1392

Referral Agency Comments

Lot AR56R, TBD Adams Way

Public works: No issues from Public Works.

TFPD: Fire access is approved.

Forester: Based on the availability of space needed to conduct construction activities and the requirements for zone 2 wildfire mitigation, 1- 3 additional spruce trees will likely need to be removed on the east, west, and north sides of the home (see redlines on sheet A1.3 on the attached plan set copy – "X" indicates trees that likely need removed, "circled" tree indicates tree that may need to be removed). A better determination of which of these trees will be removed can be made on site once the driveway and building footprint has been staked out.

From: [Andrew Gordon](#)
To: [planning](#)
Cc: [Claire Perez](#); [cd](#)
Subject: Design Review Lot AR56R, TBD Adams Way - neighbor comment
Date: Thursday, April 10, 2025 2:30:51 PM

Caution: External Message - Please be cautious when opening links or attachments in email.

To the Members of the Design Review Board, Town Counsel, and Community Development-

I am the homeowner at 123 Adams Way, directly across the street from the project in question, referenced above.

I reviewed the submission that I believe the DRB will be considering on May 1, and had some questions/concerns.

- Construction Parking & Impact - this has been an ongoing concern/issue for the neighborhood and is increasingly burdensome as the number of projects has increased and the community continues to be more built out. We had discussed it in a HOA meeting last year and I thought it had been raised to the applicant for Lot AR56R. The current revised plan still does not seem to address the concerns. The street is quite narrow and the traffic and parking coming around the bend to the site will be unsafe, highly disruptive to other vehicle and pedestrian traffic, and likely to cause substantial damage to the road and neighboring properties. Additionally, I think it poses an issue for winter plowing which can cause additional safety risks. There is parking up by the community/HOA tennis court that can/should be utilized to a certain extent, as well as the notion that offsite parking in the Meadows area or otherwise would be reasonable for construction vehicles (from which owner/contractor could arrange for pickup and dropoff to site)
- Building Heights- I am not an architect but am unclear from the plans what the max proposed building height is from the low point of the home to the high point of the roof. The calculations and renderings seem to me to be inconsistent, or contradictory, from the cover page A0 to the height calculations from the elevation drawings. I understand the grade level was recently raised in an order to conform to other requirements, which only further increases my concern. A height variance that would affect another homeowners enjoyment, view, or property value seems unreasonable.

I appreciate you taking these issues into consideration and ask that the submitting party be asked to address them.

Thanks so much for your time.

Best,
Andrew Gordon
123 Adams Way

From: [Heidi Lauterbach](#)
To: [planning](#)
Cc: [Claire Perez](#); [cd](#); [Matt Steen](#)
Subject: DRB Lot AR56R, TBD Adams Way Comment
Date: Thursday, April 17, 2025 1:53:55 PM

Caution: External Message - Please be cautious when opening links or attachments in email.

TO: Mountain Village Design Review Board

RE: Concerns Regarding Construction Plans for Lot AR-56R

Dear Members of the Design Review Board,

We are writing in response to the recent preliminary review of the proposed construction project on Lot AR-56R. As a nearby homeowner at 116 Adams Way, we have a few concerns regarding the impact of this project on the neighborhood.

Construction Parking & Road Impact

While the submission requests two designated parking spaces on Adams Way, the reality is that construction projects of this scale typically involve many more vehicles. Past experience has shown that enforcement of construction parking regulations is minimal, and workers often park wherever convenient. Adhering to just two vehicles is unlikely. This will complicate our winter snow removal efforts.

Additionally, we have already seen the road degraded due to recent construction in the neighborhood. Workers have laid down inappropriate gravel, leading to deep gouges in the road. This past winter, construction crews also applied unapproved ice melt, which eroded not only Adams Way but also our private driveway—causing significant and costly damage. There was no oversight or approval for these actions, and it is unfair that homeowners and the HOA will bear future improvement costs done by these construction workers.

Encroachment in the General Easement

We oppose encroachments into the General Easement. These easements exist for a reason—to maintain spacing, safety, and consistency throughout the neighborhood. Our home and others have adhered to these boundaries, and new construction should do the same. Approving encroachments sets a concerning precedent and compromises the integrity of community planning.

Neighborhood Scale & Compatibility

Adams Way is a denser neighborhood than many others in Mountain Village. We respectfully suggest the Design Review Board require a more thoughtful and community-sensitive approach to this project, one that addresses parking enforcement, protects our shared infrastructure, respects easement boundaries, and maintains the character of our neighborhood.

We appreciate the Board's efforts to preserve the quality and safety of living in Mountain Village.

Sincerely,

Heidi Lauterbach & Matt Steen

April 6, 2025

To Whom It May Concern:

I have a home at 125 Adams Way, across the street from the proposed new home construction on lot AR-56R and have two concerns:

- In the "Construction Staging Plan" drawing, Construction Parking: Submission seeks two (2) Adams Way parking places for workers during construction. Adams Way is a narrow, two-lane road and such on-street parking will substantially impact our local road usage along with our neighbors to the west and the Dial-a-Ride vans that frequently turn around at the cul-de-sac. In addition, it is already treacherous in the winter due to both the steep slope and curve of the street at that location. We respectfully request that per the CDC, there should be no on-street parking allowed during construction, unless it is within the boundary of the AR-56R lot.
- Property Encroachment in General Easement: Due to the building's size and placement, there are multiple areas of encroachment into the General Easement areas around the house. There is no hardship issue so I do not understand why there should be any variance given for this.

Sincerely,

A handwritten signature in cursive script that reads "Susan Conger-Austin".

Susan Conger-Austin AIA