Conditional Use Permit Narrative – Temporary Parking Lot

Lots 122, 123, and OS-1R2 Town of Mountain Village, Colorado

Applicant: John Miller, Telluride Ski & Golf LLC Property Owner: Telluride Ski & Golf LLC

Date: 5/15/2025

Project Summary

This application is submitted to request a Conditional Use Permit (CUP) for the establishment of a temporary surface parking lot on Lots 122, 123, and OS-1R2 within the Town of Mountain Village. The purpose of the proposed temporary parking lot is to address the loss of TSG employee parking in the Mountain Village due to the construction of the Four Seasons Development.

Although the proposed use is temporary in nature, due to the topography of the site it will necessitate grading to meet parking design requirements. The proposed parking site will be improved to a safe and functional standard using removable materials, with erosion control and dust mitigation measures in place. While TSG understands that this largely impacts TSG employees as it relates to parking, there are also implications for Gondola Parking Garage demand and supply with the loss of the surface parking pond lot. Because of this, TSG is requesting that this Conditional Use Permit be granted or a period of 5 years. It should be noted that Lots 122 and 123 are designated for future hotel development so this parking use would ultimately be temporary given the future development of these sites per the TMV Comprehensive Plan.

Lighting is not proposed for the temporary employee parking lot on Lots 122, 123, and OS-1R2 because the lot will primarily serve employees who are familiar with the area and accustomed to navigating it under varying conditions. While the lot may be used during early morning or evening hours, the low traffic volume, limited duration of use, and temporary nature of the installation do not warrant the visual and environmental impacts associated with installing lighting. In addition, the site is in close proximity to existing light sources along adjacent roadways and buildings, which provide sufficient ambient lighting for basic visibility. Avoiding new lighting also aligns with the Town of Mountain Village's dark-sky goals and helps minimize potential disturbance to surrounding residential areas and open space.

TSG is proposing the installation of a paved apron at the entrance to the temporary parking lot to reduce dust, control sediment runoff, and maintain a clean transition between the lot and the public roadway. However, paving the entire lot is not proposed due to the temporary nature of the use. Full paving would require significant investment and site disturbance for a parking facility that is not intended to be permanent. Instead, the lot will be surfaced with gravel or other pervious, removable materials that provide adequate vehicle access while minimizing environmental impact and allowing for easy restoration of the site once the temporary use concludes.

Pedestrian connectivity between the temporary parking lot on Lots 122, 123, and OS-1R2 and the Mountain Village Core will be provided via an existing hiking trail that leads directly from the site into the core area.

This trail offers a convenient and direct route for employees walking to and from the lot. While the existing trail is functional, minor improvements are proposed to enhance safety and accessibility for regular daily use. These improvements may include selective trail widening, resurfacing with compacted gravel or similar material, and minor grading to ensure a stable and walkable surface in all weather conditions. These enhancements will maintain the natural character of the trail while ensuring that it is suitable for regular commuter use throughout the duration of the parking lot's operation.

Property Description

Lot 122 & Lot 123 are currently vacant and are zoned Village Center. OS-1R2 surrounds Lots 122 & 123 entirely and is designated as Active Open Space. The lots are located along Country Club Drive and slope towards the west. While the proposed parking is more remote than the existing pond lot, it is located adjacent to The Peaks to allow for easy access to the Mountain Village Core via the existing dirt path.

Proposed Use Details

- Duration of Use: TSG is proposing this use be granted approval for 5 years.
- Parking Capacity: 33 proposed parking spaces for employee vehicles.
- Surface Treatment: Temporary gravel or matting surface, no permanent paving.
- Lighting: No lighting is proposed for this parking area.
- Access: Access is proposed from Country Club Blvd
- Signage: Signage specifying that the parking area is for TSG Employees only is proposed. Proposed as a 1'x2' sign to be located at the entrance to the parking area with simple lettering and TSG Logo.

Compliance with CDC Conditional Use Criteria

In accordance with CDC Section 17.4.14, this proposal meets the following required findings: Consistency with Comprehensive Plan: The use supports community mobility and seasonal capacity objectives. It aligns with goals to reduce congestion, improve access, and support resort operations.

Compatibility with Surrounding Uses:

The temporary parking lot is adjacent to a mix of residential and resort properties. The proposed use is seasonal, unobtrusive, and mitigated to minimize impacts on neighbors.

Adequate Public Infrastructure:

The site has safe access to the public road network and will not burden utility services. No water or sewer connections are required.

Design Compatibility:

Temporary surface materials and signage will be visually subdued and compatible with surrounding natural and built environments.

Traffic and Pedestrian Safety:

Traffic flow will be managed through site signage and layout. There will be adequate ingress/egress for vehicles, and safe pedestrian access to nearby sidewalks or trails.

Temporary Nature:

The CUP is sought specifically for a limited-term use.

Community Benefits

Helps alleviate GPG and other parking garage congestion during high-demand seasons.

Reduces unauthorized parking.

Preserves long-term land use integrity by avoiding permanent development.

Conclusion

The applicant respectfully requests approval of this Conditional Use Permit to allow for a temporary surface parking lot on Lots 122, 123, and OS-1R2. The proposed use is consistent with the Town of Mountain Village's goals for sustainable, seasonal capacity management and minimizes environmental and community impacts. The applicant is committed to working with Town staff to ensure proper installation, monitoring, and timely restoration of the lots.



The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000

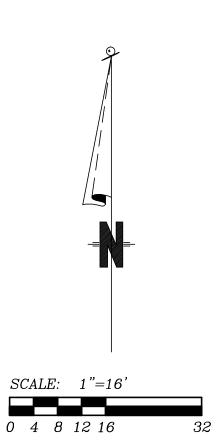


LEGEND

WATER VALVE

FIRE HYDRANT

- S SEWER MANHOLE FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 24966
- ← FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, ILLEGIBLE
- O FOUND 1-1/2" ALUMINUM CAP ON 5/8" REBAR, L.S. 20632



This Existing Conditions Plan of Lot 122, Lot 123, and Tract OS-1R-2, Town of Mountain Village, was prepared on October 21, 2022 under the direct responsibility, supervision and checking of Jeffrey C. Haskell of Foley Associates, Inc., being a Colorado Licensed Surveyor. It does not constitute a Land Survey Plat or Improvement Survey Plat as defined by section 38–51–102 C.R.S.

P.L.S. NO. 37970

LEGAL DESCRIPTION:

LOT 122, TELLURIDE MOUNTAIN VILLAGE, FILING 1, ACCORDING TO THE REPLAT AND REZONING OF LOT 122 OF TELLURIDE MOUNTAIN VILLAGE, FILING 1, RECORDED OCTOBER 7, 1992 IN PLAT BOOK 1 AT PAGE 1367,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

LOT 123, TELLURIDE MOUNTAIN VILLAGE, FILING 1, ACCORDING TO THE PLAT RECORDED MARCH 9, 1984 IN PLAT BOOK 1 AT PAGE 476,

COUNTY OF SAN MIGUEL, STATE OF COLORADO.

- 1. Easement research and legal description from Land Title Guarantee Company, Order No. ABS86013342, dated October 06, 2022 at 5:00 P.M.
- 2. According to FEMA Flood Insurance Rate Map 08113C0287—D, dated September 30, 1992, this parcel is within Zone X; Areas determined to be outside 500—year flood plain.
- 3. BASIS OF BEARINGS: Found monuments along the Northern boundary of Lot 123, as shown hereon, assumed to have the record bearing of N 52°00'00" E according to Plat Book 1 at page 476.
- 4. Benchmark: Control Point "CP BASE", also the Southwest corner of Lot 123, as shown hereon, with an elevation of 9449.67 feet.
- 5. Contour interval is two feet.
- 6. All trees shown hereon are Aspen trees labeled with diameter at chest height, unless otherwise noted. Only trees 4" or greater in diameter are
- 7. Slopes 30% or greater are shown hereon.
- 8. Underground utility locates have not been painted at the time of this survey. Utility locates should be performed by respective providers before any construction.
- 9. Foley Associates, Inc. is not aware of any wetland areas located on these lots, but a wetland delineation was not performed as part of this
- 10. Per Exception No. 20 of the TBD Commitment referenced above, "ANY LOSS OR DAMAGE RESULTING FROM A LACK OF ACCESS TO AND FROM SUBJECT PROPERTY AS A RESULT OF TSG SKI & GOLF, LLC, A DELAWARE LIMITED LIABILITY COMPANY NO LONGER OWNING BOTH THE SUBJECT PROPERTY AND THE ADJACENT OPEN SPACE TRACT OS-1R-2. ACCESS TO AND FROM SUBJECT PROPERTY IS DEPENDENT UPON COMMON OWNERSHIP OF SUBJECT PROPERTY AND OPEN SPACE TRACT OS-1R-2.

NOTE: THERE HAVE BEEN NO RECORDED RIGHTS ACROSS TRACT OS-1 OR TRACT OS-1R-2 FROM SUBJECT PROPERTY TO COUNTRY CLUB DRIVE."

11. NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

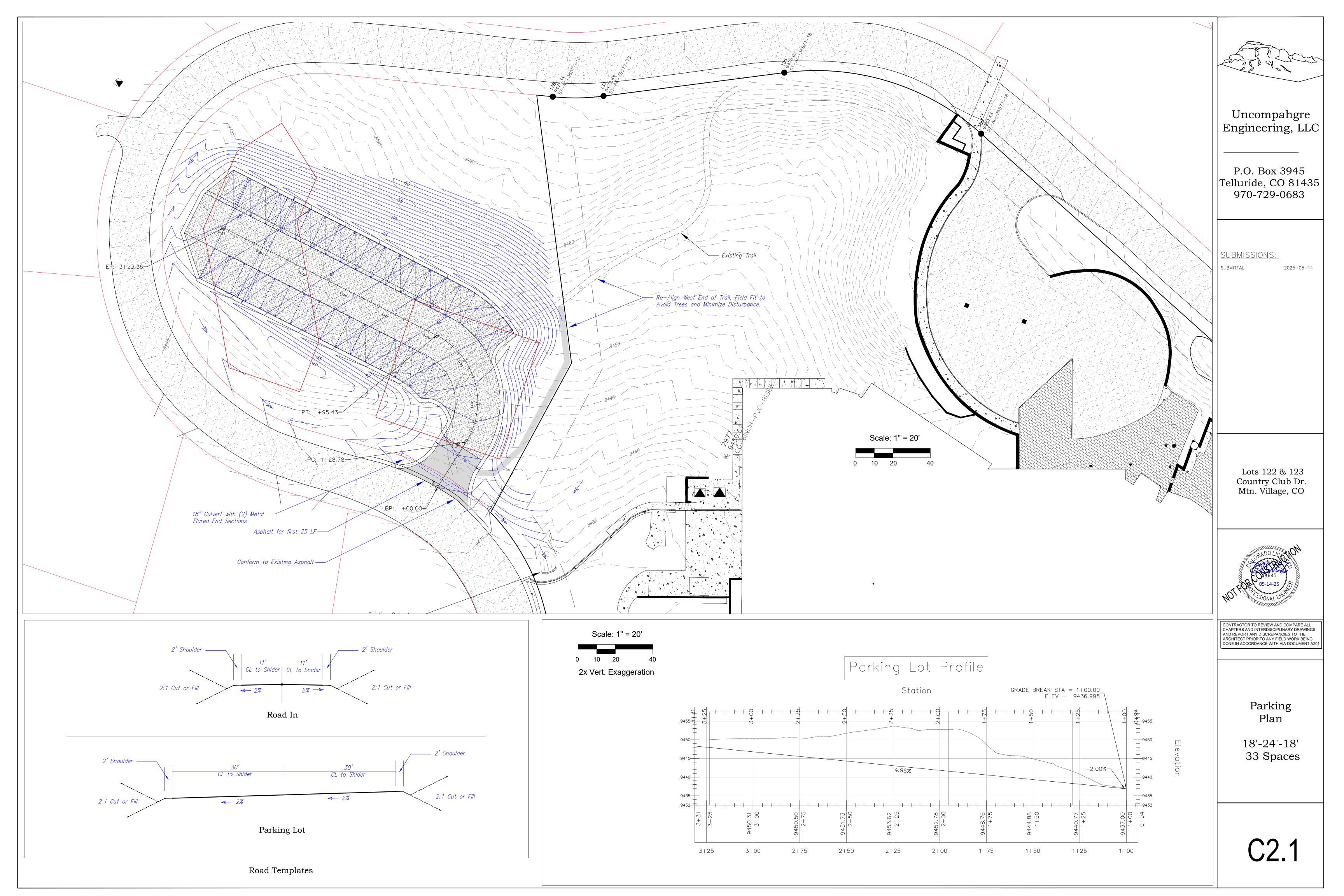
EXISTING CONDITIONS PLAN

Lots 122 and 123 and Tract OS-1R-2, Town of Mountain Village, San Miguel County, Colorado.

Checked by: Start date: 10/21/2022 970-728-6153 970-728-6050 fax P.O. BOX 1385

125 W. PACIFIC, SUITE B-1 TELLURIDE, COLORADO 81435

— Drawing path: dwg\02021 EC Plan 10−22 (Lots 122 and 123).dwg Sheet1 of 1 Project #: 02021



SHEET INDEX

C1 - Notes

C2.1 - Site Plan with No Trees Displayed

C2.2 - Site Plan with Trees Displayed

C4 - Construction Mitigation

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:

SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE

NATURAL GAS: BLACK HILLS ENERGY

POWER: SAN MIGUEL POWER TELEPHONE: CENTURY LINK

TEELT TONE. CENTON TENN

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIRIEMENTS. REFER TO THE SITE—SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT—OF—WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY—DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE.
THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY
PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN
VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON—STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

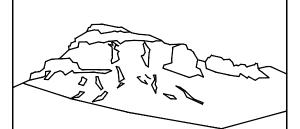
22. ALL DISTURBED GROUND SHALL BE RE-SEEDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



Uncompahgre Engineering, LLC

P.O. Box 3945 Telluride, CO 81435 970-729-0683

SUBMISSIONS:

CLIDAAITTAI

2025-05-28

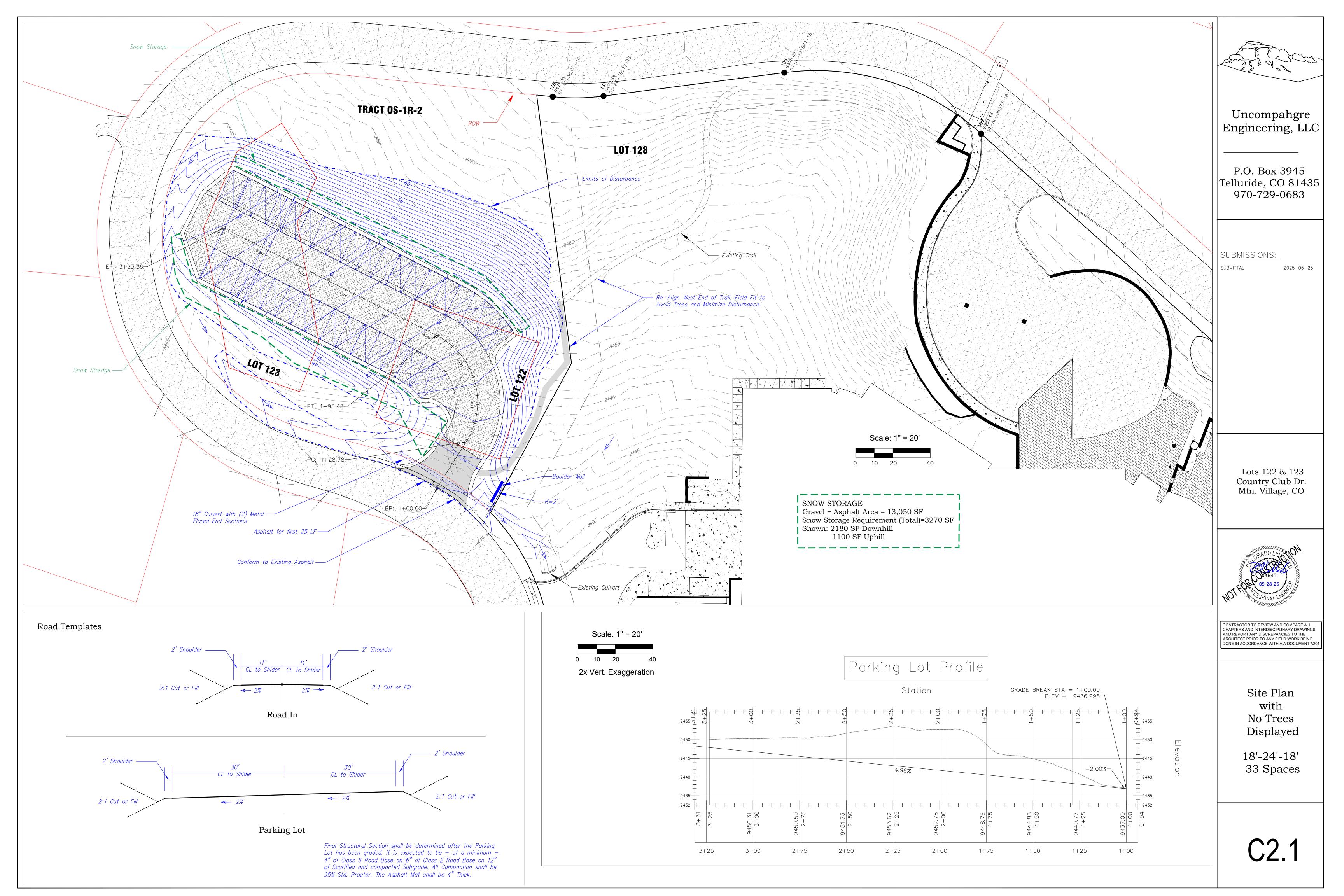
Lots 122 & 123 Country Club Dr. Mtn. Village, CO

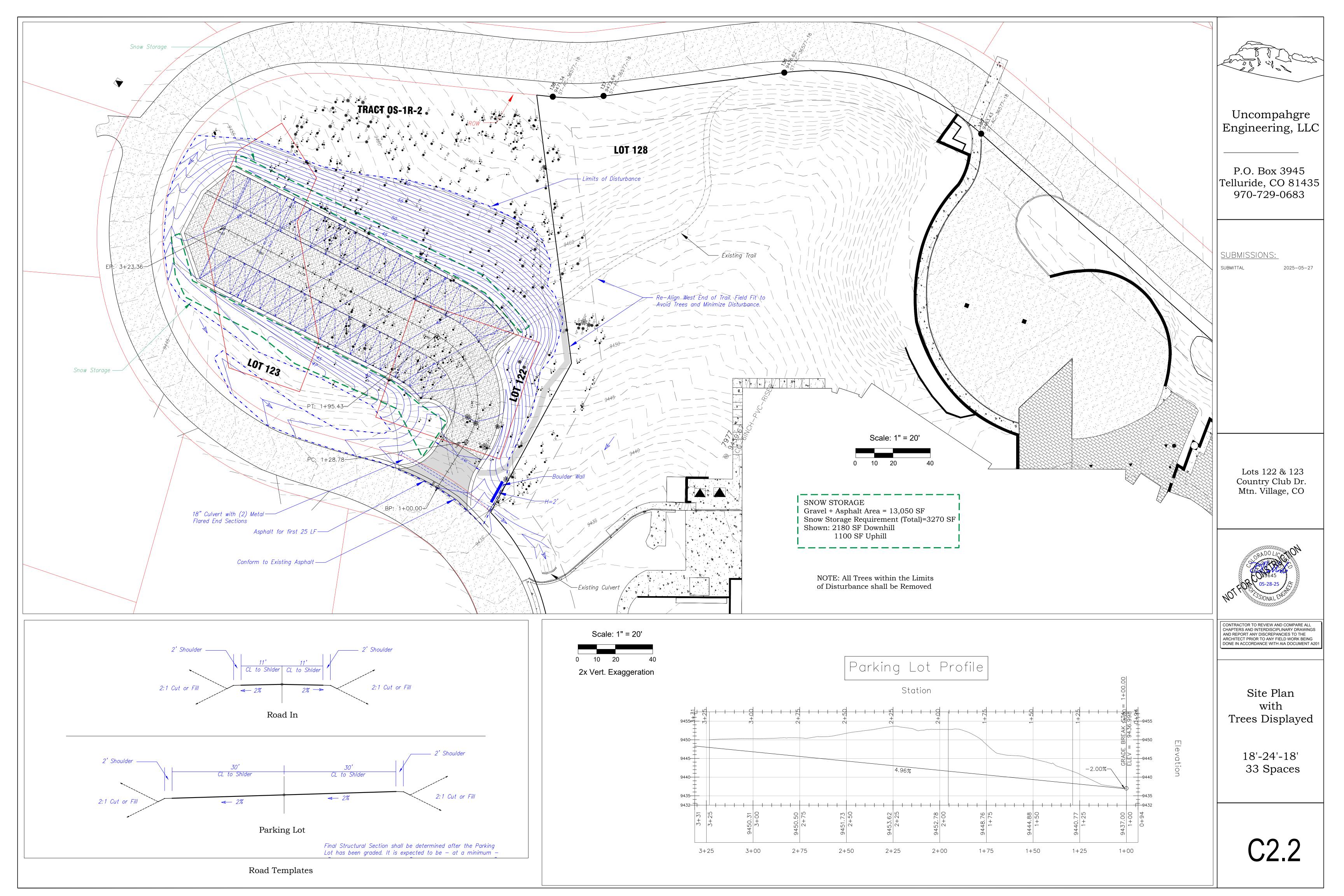


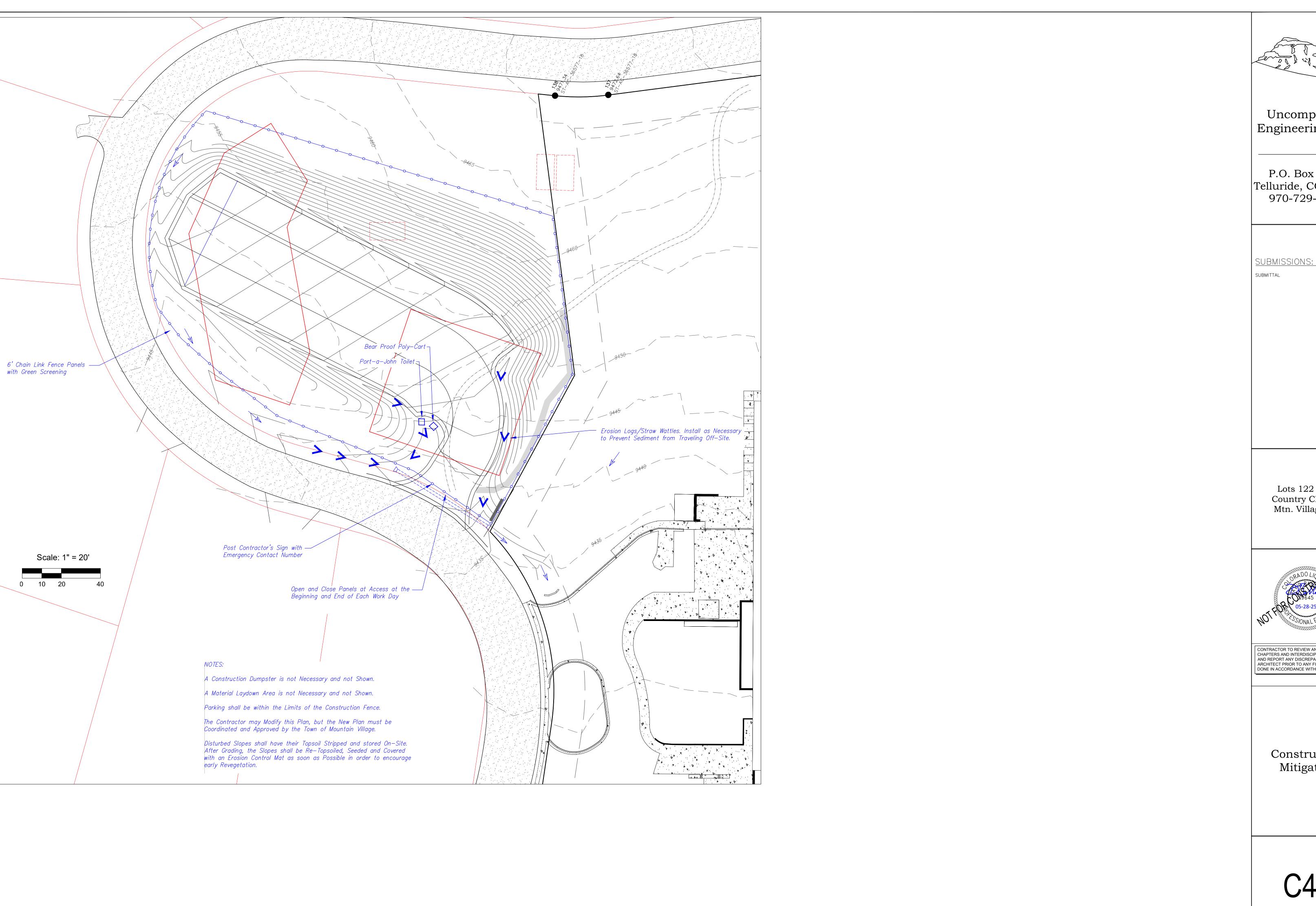
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

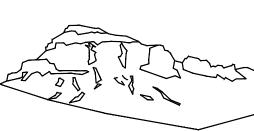
Notes

C1









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P.O. Box 3945 Telluride, CO 81435 970-729-0683

2025-05-25

Lots 122 & 123 Country Club Dr. Mtn. Village, CO



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Construction Mitigation