

Narrative
for LOT 166AR2-3
5.30.2025

Town of Mountain Village Planning Board and Staff;

My clients are wishing to develop their lot on 166AR2-3 in Stonegate. We have come to a work session to seek guidance towards a possible height variance due to the following hardships.

The lot has a main shared driveway to the lot to the south LOT 166AR3-4. While there is a roughed in road it is too steep to use much but its curb cut.

This driveway grade has been designed to the maximum code allowable at 10%. This still puts the elevation height for the garage access almost 2' higher than the existing high spot at the edge of the drop-off in the middle of the site. Which pushes the 'pad' of the house up even higher over the steep grades below.

To be able to park and turnaround the garage must be pushed out over the steep grades We have stepped the facade to accomplish this.

There is very little room left once the garage is placed to have adequate living space on this level. So we are attempting to place the main living spaces, all together as desired by my clients, on the upper level.

I have created a simple 2:12 shed roof following the natural grades and pitching all drainage down the site and away from the shared driveway.

I have pushed the roof down as low as possible to allow for the upper level to be livable height underneath, and attempt to stay under the 35' height above natural grade. I have not been successful in keeping it under the 35' height limit.

This is due to a combination of the fixed elevation of the garage level, and thus a fixed upper level floor elevation(need to have at least 8'+ for the garage doors to function), and having the upper level east wall meet code for height, but also providing a desirable space with view and access to outdoor space.

Our only way to bring down the roof would be to alter the grade of the drive and thus lower the garage. The civil engineer and I did look at a 12% grade that would be heated but this seemed undesirable due to the fact that it is a shared drive. It only gains us 2'.

The roof maximum height is 42'-8" . The area that is above the 35' max is roughly 2/3 the roof on the down hill side. As show on the site plan. I have also provided site sections to show the steepness of the grades below.

The building on the west side meets the 35' height limit with the natural grade and the finished grade.

We have attempted to break up the form with decks and pushing the facade in and out. We have added a ski trail from the lower level, and in doing so providing a terrace for landscaping to further screen and soften the connection to grade.

We feel we have done all that is possible with the site constraints in our attempt to create a home that fits into the neighborhood.

We are looking for your consideration of this hardship and guidance how we should move forward due to the site constraints.

A dropbox file link has been sent to you with this letter the drawing set and the 3D sketchup model. Thank you everyone for your time.

Regards,

Lea Sisson, Registered Architect



The following document contains drawings and plan sets that are not accessible to screen readers. For assistance in accessing and interpreting these documents, please email cd@mtnvillage.org or call (970) 728-8000



Hughes Telluride Residence

LOT 2-3, Stonegate Dr., Mountain village, Telluride, Colorado

GENERAL CONSTRUCTION NOTES

- The Contract Documents shall consist of the general notes and the architectural, mechanical, and structural drawings. All future additional specifications, details, drawings, clarifications, or changes shall, in turn, become part of these documents. Work indicated or reasonably implied in any one of the documents shall be supplied as though fully covered in all. Any discrepancy between any parts of the drawings shall be reported to the Architect/Designer immediately for clarification.
- The Plans and Specifications are the property of the Architect/Designer and are not to be used without the permission of same.
- All work shall comply with all state and local codes, ordinances, rules, regulations and laws of building officials or authorities having jurisdiction. All work shall be performed to the highest standards or craftsmanship by journeymen of the appropriate trades.
- The contract Documents represent the finished structure. They do not indicate the method of construction. The Contractor shall provide all measures necessary to protect the structure during construction. Observation visits to the site by the Structural Engineer or Architect shall not include inspection of the above items nor will the architect or structural engineer be responsible for the contractor's means, methods, techniques, sequences for procedure of construction, or the safety precautions and the programs incident thereto. The Contractor shall be responsible for all Federal and OSHA regulations.
- THE DRAWINGS ARE NOT TO BE SCALED. Written dimensions are to be used. If there is a discrepancy in dimensions, the Architect should be notified for clarification. All dimensions on the drawings shall be verified against the existing conditions. All dimensions are to rough framing or face of concrete unless noted otherwise.
- All existing conditions must be verified by the Contractor in the field. Unknown and varied conditions may be found. Contractor must notify the Structural Engineer and/or Architect of any structural or architectural conditions found to vary from that indicated in the drawings. Design revisions may be required, and are to be expected as a process of remodel work.
- These documents are intended to include all labor, materials, equipment, and services required to complete all work described herein. It is the responsibility of the Contractor to bring to the attention of the Architect/designer any conditions which will not permit construction according to the intentions of these documents.
- The Building inspector shall be notified by the contractor when there is need of an inspection as required by the U.B.C., or by any local code or ordinance.
- Locating Building: Working from established lines and levels at or near the project site, Contractor to establish and maintain dependable markers for lines and levels of the work, including markers for each story of construction. Calculate dimension and measure for layout of work; DO NOT SCALE THE DRAWINGS. Maintain surveyor's log of layout work. Record deviations (if any) from drawing information on existing conditions, and review with Architect at time of discovery.
- Record Drawings: Contractor to maintain a complete set of blue/black-line prints of contract drawings and shop drawings for record markup purposes throughout the contract time. Markup drawings during course of the work to show changes and actual installation conditions, sufficient to form a complete record for Owner's purposes. Give particular attention to work which will be concealed and difficult to measure and record at a later date, and work which may require servicing or replacement during life of project. Require entities marking prints, to sign and date each mark-up. Bind prints into manageable sets, with durable paper cover, appropriately labeled.
- Soils and Concrete: The general contractor shall arrange for a visual site inspection at the completion of excavation by a soils engineer, and the required concrete testing prior to any foundation work.

GENERAL CONSTRUCTION NOTES

FLOOR AREA CALCULATIONS

SINGLE FAMILY RESIDENTIAL:	
LIVABLE AREA-CONDITIONED SPACE	
LOWER LEVEL:	1235 SQ FT.
MAIN LEVEL:	562 SQ FT.
UPPER LEVEL:	1468 SQ FT.
TOTAL-LIVING:	3265 SQ FT.
GARAGE-STORAGE-MECH	786 SQ FT.
TOTAL-GROSS SF:	4051 SQ FT
OTHER SF:	
DECK/PATIOS	750 SQ FT.
PROPOSED DENSITY	1.8%
2100 FOOTPRINT SF / 114,880.5(2.637ACRES)	
HEIGHT CALCULATIONS SEE A2.3&A3.1-4	
MAXIMUM HEIGHT 42'-8" > 35'	
AVERAGE HEIGHT 36'-1.5" > 35'	
MATERIAL CALCULATIONS SEE A3.5	
FENESTRATION	- 1683 26%
WOOD SIDING	- 952 14%
METAL	- 1455 23%
STONE	- 2486 37%
TOTAL	- 6566 100%
PARKING SPACES 4	
2 ENCLOSED IN GARAGE	
2 IN DRIVEWAY	
L.U.C. NOTES	
R-3 TYPE V CONSTRUCTION.	

OWNER:

ISO Stongate L3, LLC
850 16th ave land NW
Hickory, NC 28601
T: (828)320-6303
Hughes.michael@gmail.com

ARCHITECT:

LEA SISSON ARCHITECT, LLC.
Lea Sisson, Principal
Centrum Building Ste. 200B
Mountain Village, CO.
MAILING:
P.O.Box 4471 Aspen, CO. 81612
(970) 925-1224
EMAIL: lea@leasissonarchitects.com

CONTRACTOR:

ALPINE MOUNTAIN CONSTRUCTION
G.C. : Rod Kukulan
120 North Fir Street
Telluride CO 81435
(970) 209-6594 Office
(970)275-2050 Cell
alpinemtn.com
alpine.mountain@yahoo.com

SURVEYOR:

San Juan Surveying
p.o.box 3730
Telluride, CO 81435
T: (970) 728-1128
office@sanjuansurveying.net

CIVIL ENGINEER:

Uncompahgre Engineering
David Ballode, PE
P.O.BOX 3945
Hickory, NC 28601
Telluride, CO. 81435
Ph: 970-729-0683
dballode@msn.com

STRUCTURAL ENGINEER:

CARYATID Structural Engineering
Elizabeth Lozner
Carbondale, CO. 81623
Ph: 970-239-1187
caryatidstructural.com

GEOTECHNICAL ENGINEER:

John Withers
GrandValley Consulting,LLCdba
3510 PonderosaWay
Grand Junction,CO 81506
970-261-3415
jwithers@geotechnicalgroup.net

LIGHTING DESIGNER

MARTIN SUNDAY
(713)834-1157
INFO@MARTINSUNDAYDESIGNS.com

LANDSCAPE ARCHITECT

Escape Garden Design
Jennifer Dolecki-Smith
312-E AABC
Aspen, CO. 81611
Ph: 970-920-3700
Fx: 970-920-9589
jennifer@escapegardendesign.com

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DRAWING INDEX

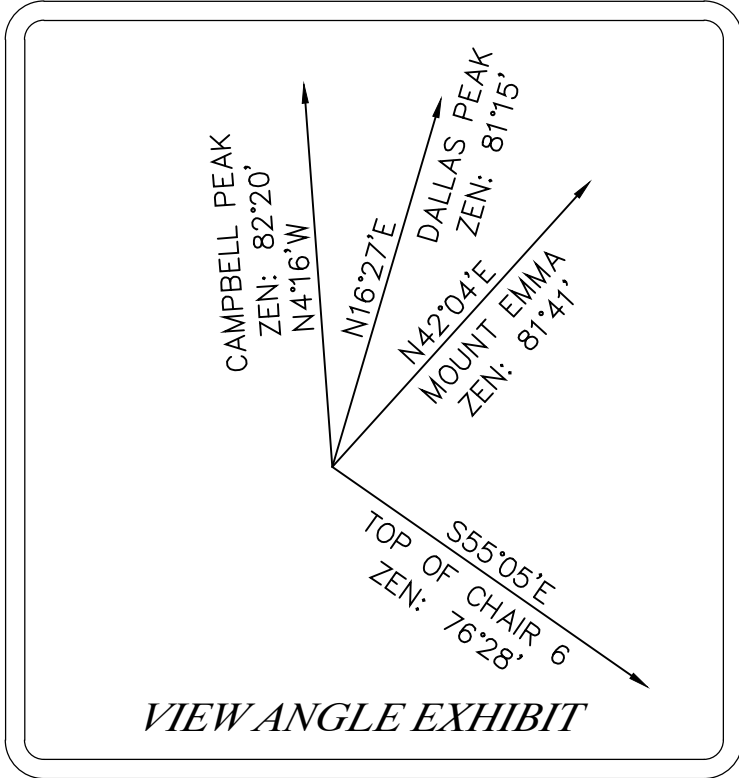
SPECIFICATIONS - ARE AN INTEGRAL PART OF
OF THE CONTRACT DOCUMENTS AND MUST BE
KEPT WITH THIS SET AT ALL TIMES.
- APPLICATION PACKET
- NARRATIVE
- WINDOW AND DOOR SCHEDULE AND SPEC
- ROOFING SPEC
- EXTERIOR LIGHTING

LEA SISSON ARCHITECT
200B CENTRUM BLDG. MOUNTAIN VILLAGE : P.O. BOX 4471 ASPEN, CO 81612 TEL: (970) 708-11561 EMAIL: LEA@SISSEONARCHITECT.COM
SUBMISSIONS 1.30.2025 - SD REVIEW 4.15.2025 LADRE WORKSESSION 5.30.2025 SKETCH DBB - TOWN COUNCIL

HUGHES TELLURIDE RESIDENCE

A-0

LOT 166AR2-3 STONEGATE, MOUNTAIN VILLAGE, CO. 81435



LEGEND

- FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP, LS 36577
- FOUND 3/4" BRASS TAG, LS 36577
- FIR TREE, # INDICATES CALIPER
- ASPEN TREE, # INDICATES CALIPER
- SPRUCE TREE, # INDICATES CALIPER
- WOOD SIGN
- ROCK RETAINING WALL
- GUARD RAIL
- GENERAL EASEMENT LINE, PLAT BOOK 1 PAGE 3116
- INDICATES 12' WIDE DRIVEWAY AND UTILITY EASEMENT, PLAT BOOK 1 PAGE 3116
- INDICATES COMMON DRIVEWAY AND UTILITY EASEMENT, PLAT BOOK 1 PAGE 3116

NOTICE:

According to Colorado Law, you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTES:

- According to Flood Insurance Rate Map 08113C0287 D dated September 30, 1988, this parcel lies within Flood Zone "X" (Areas determined to be outside the 500-year flood plain).
- Easement research from Land Title Guarantee Company, Commitment No. TLR86010649, Effective Date 10/06/2020 at 05:00 PM.
- Lineal Units U.S. Survey Feet
- Fieldwork was performed January 14, 2025.
- Vertical datum is based on the found Northeast corner, an aluminum cap and rebar, LS 36577 of Lot 166AR2-3 having an elevation of 9938.72 feet, as depicted.

PROPERTY DESCRIPTION:

Lot 166AR2-3, Telluride Mountain Village, According to the Replat of Lot 166-AR, OSP-51 and OS-166 to Lots 166AR2-1 thru 166AR2-15, Parcel A, OSP-51A, OSP-51RB and OS-166R recorded April 4, 2003 in Plat Book 1 at page 3116.

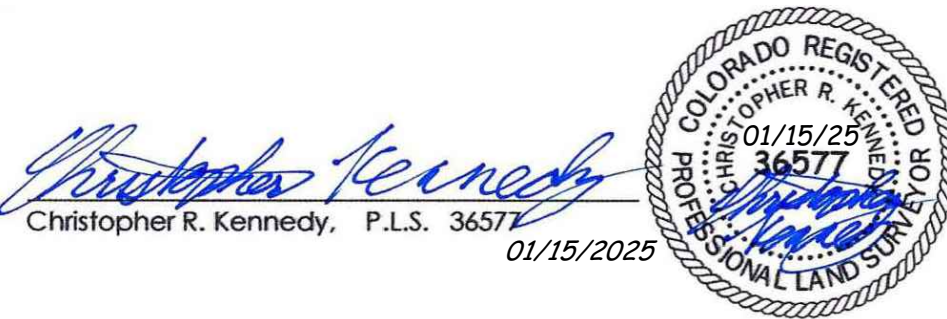
County of San Miguel,
State of Colorado

BASIS OF BEARINGS:

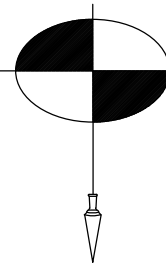
The Basis of Bearings for this Improvement Survey Plat was derived from the southwesterly boundary as depicted on the Plat filed as "THE CABINS AT GOLD HILL" recorded in Plat book 1 at page 2228. Said line also being a portion of the easterly boundary of OS-166 and having a bearing of **N 35°04'36" W**.

SURVEYOR'S CERTIFICATE:

I, Christopher R. Kennedy, of San Juan Surveying, being a Licensed and Registered Land Surveyor in the State of Colorado, do hereby certify that this Topographic Survey prepared for Land Title Guarantee Company, Jim Shute, and SLS Stonegate, LTD, A Texas Limited Partnership was performed under my direct responsibility, supervision, and checking, and that the information herein is true and accurate to the best of my belief and knowledge. I further certify that the monuments as shown were field set as required by Articles 50 and 51 of Title 38, C.R.S.

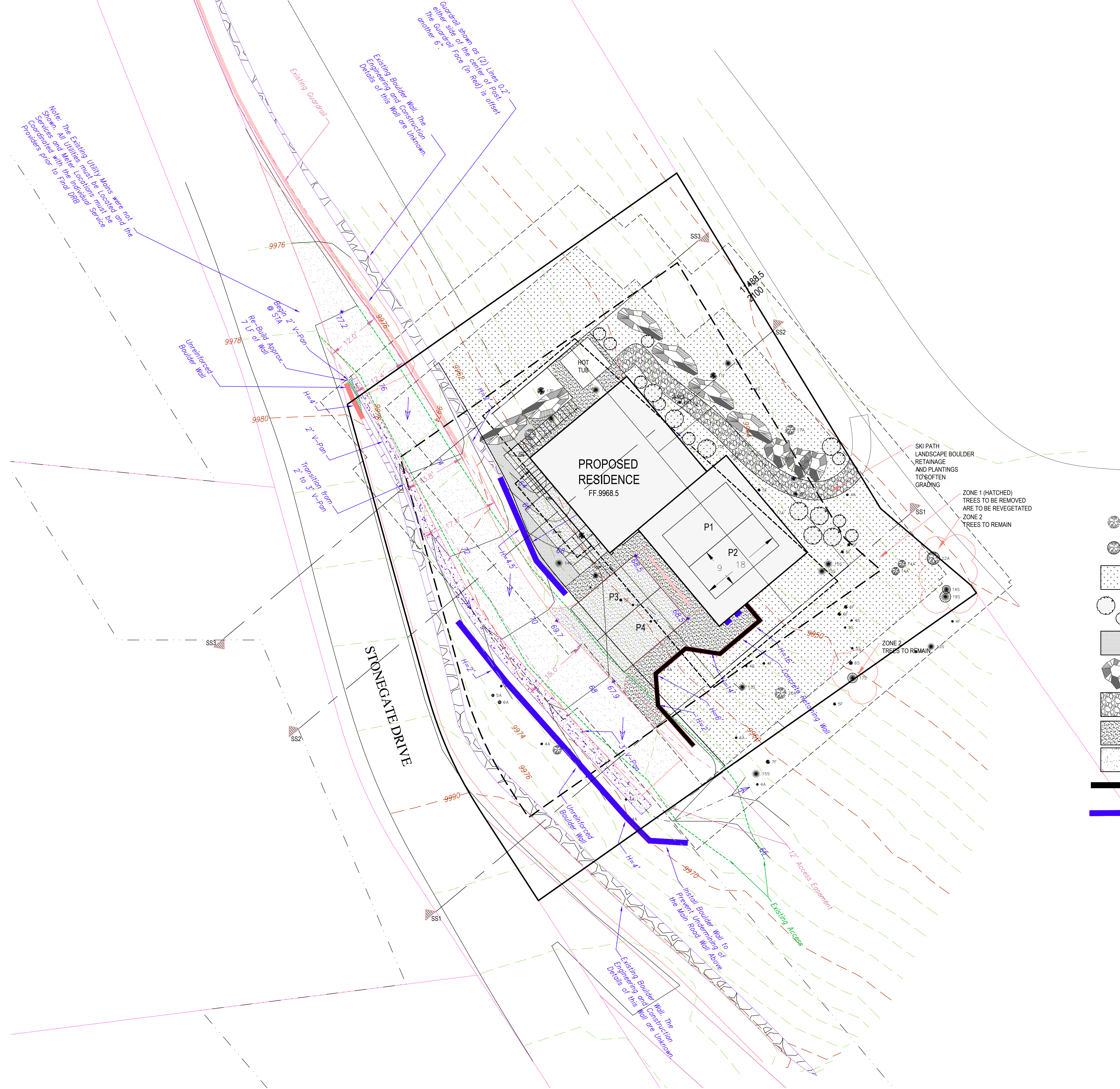


TOPOGRAPHIC SURVEY
LOT 166AR2-3, TOWN OF MOUNTAIN VILLAGE



SAN JUAN SURVEYING
SURVEYING * PLANNING
102 SOCIETY DRIVE TELLURIDE, CO. 81435
(970) 728 - 1128 (970) 728 - 9201 fax
office@sanjuansurveying.net

DATE:	01/15/2025
JOB:	02005
DRAWN BY:	AHM
CHECKED BY:	CRK
REVISION	
DATES:	
SHEET:	1 OF 1



Note: The Existing Utility Maps were not shown. All Utilities must be located and the Services and Meter Locations must be coordinated with the individual Service Providers prior to final DGS.

STONEGATE DRIVE

PROPOSED RESIDENCE
FF.9968.5

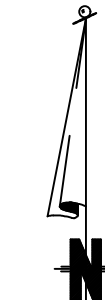
P1
P2
P3
P4

HOT TUB

SKI PATH
LANDSCAPE BOULDER
RETAINAGE
AND PLANTINGS
TO SOFTEN
GRADING

ZONE 1 (HATCHED)
TREES TO BE REMOVED
ARE TO BE REVEGETATED
ZONE 2
TREES TO REMAIN

- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO REMAIN
- AREA TO BE REVEGETATED
- SHRUBS
- PERINIAL MIX
- BOULDER RETAINING 4' MAX
- MULCHED/ GRAVEL PATH
- EXPOSED AGGREGATE CONCRETE
- ASPHALT
- CONCRETE WALLS TO HAVE APPLIED STONE TO MATCH STONE ON HOUSE
- BOULDER WALL 4' MAX MATCH EXISTING

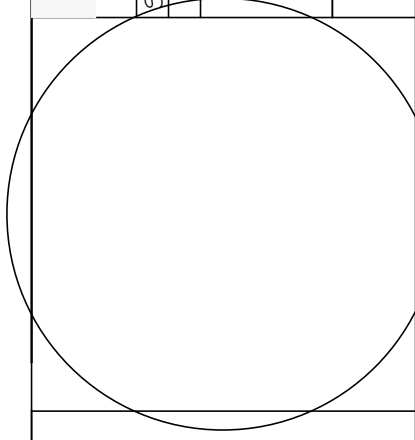


SITE PLAN WITH LANDSCAPE & WILD FIRE
MITIGATION PLAN
SCALE: 1" = 10'-0"

L E A S I N G A R C H I T E C T
2008 CENTRUM BLDG. MOUNTAIN VILLAGE : P.O. BOX 4471 ASPEN, CO 81612 TEL: (970) 708-1561 EMAIL: LEASISSONARCHITECT@ICLOUD.COM
SUBMISSION 1: 30.2025 - SDI REVIEW 4.15.2025 - WYDRB WORKSESSION 5.30.2025 - SKETCH DRB - TOWN COUNCIL

HUGHES TELLURIDE RESIDENCE

LOT 166AR2 -3 STONEGATE, MOUNTAIN VILLAGE, CO. 81435



A1.1

GENERAL CIVIL ENGINEERING NOTES:

1. THE EXISTING UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO @ 1-800-922-1987 OR 811 TO GET ALL UTILITIES LOCATED. IF ANY OF THESE UNDERGROUND UTILITIES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND WORK WITH THE ENGINEER TO FIND A SOLUTION BEFORE THE START OF CONSTRUCTION.

INSTALLATION AND SEPARATION REQUIREMENTS SHALL BE COORDINATED WITH THE INDIVIDUAL UTILITY PROVIDERS.

THE UTILITY PROVIDERS ARE:
SEWER, WATER, CABLE TV AND FIBEROPTIC: TOWN OF MOUNTAIN VILLAGE
NATURAL GAS: BLACK HILLS ENERGY
POWER: SAN MIGUEL POWER
TELEPHONE: CENTURY LINK

2. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES, ALL NECESSARY PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT EXCAVATED SLOPES ARE SAFE AND COMPLY WITH OSHA REQUIREMENTS. REFER TO THE SITE-SPECIFIC REPORT FOR THIS PROJECT FOR ADDITIONAL INFORMATION..

4. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED OR LAID BACK PER OSHA REGULATIONS.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOWN OF MOUNTAIN VILLAGE DESIGN STANDARDS LATEST EDITION. ALL CONSTRUCTION WITHIN EXISTING STREET OR ALLEY RIGHT-OF-WAY SHALL BE SUBJECT TO TOWN OF MOUNTAIN VILLAGE INSPECTION.

6. THE CONTRACTOR SHALL HAVE ONE COPY OF THE STAMPED PLANS ON THE JOB SITE AT ALL TIMES.

7. THE CONTRACTOR SHALL NOTIFY THE TOWN 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

8. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE ADJOINING ROADWAYS SHALL BE FREE OF DEBRIS AT THE END OF CONSTRUCTION ACTIVITIES EACH DAY.

9. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. ANY TRAFFIC CLOSURES MUST BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

10. ALL DAMAGE TO PUBLIC STREETS AND ROADS, INCLUDING HAUL ROUTES, TRAILS, OR STREET IMPROVEMENTS, OR TO PRIVATE PROPERTY, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE ORIGINAL CONDITIONS.

11. WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET MUST BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL CONDITION. THE FINISHED PATCH SHALL BLEND SMOOTHLY INTO THE EXISTING SURFACE. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE.

12. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. ANY DISCHARGE REQUIREMENTS SHALL BE COORDINATED WITH THE TOWN OF MOUNTAIN VILLAGE.

13. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL.

14. CONTRACTOR SHALL KEEP SITE CLEAN AND LITTER FREE (INCLUDING CIGARETTE BUTTS) BY PROVIDING A CONSTRUCTION DEBRIS TRASH CONTAINER AND A BEAR-PROOF POLY-CART TRASH CONTAINER, WHICH IS TO BE LOCKED AT ALL TIMES.

15. CONTRACTOR MUST BE AWARE OF ALL TREES TO REMAIN PER THE DESIGN AND APPROVAL PROCESS AND PROTECT THEM ACCORDINGLY.

16. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY AS-BUILTS TO THE TOWN.

17. ALL STRUCTURAL FILL UNDER HARDSCAPE OR ROADS MUST BE COMPACTED TO 95% MODIFIED PROCTOR (MIN.) AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT. NON-STRUCTURAL FILL SHALL BE PLACED AT 90% (MIN.) MODIFIED PROCTOR.

18. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, TOPSOIL OR ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.

19. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN.

20. NATIVE TOPSOIL SHALL BE STOCKPILED TO THE EXTENT FEASIBLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, IF CONDITIONS WARRANT THEM.

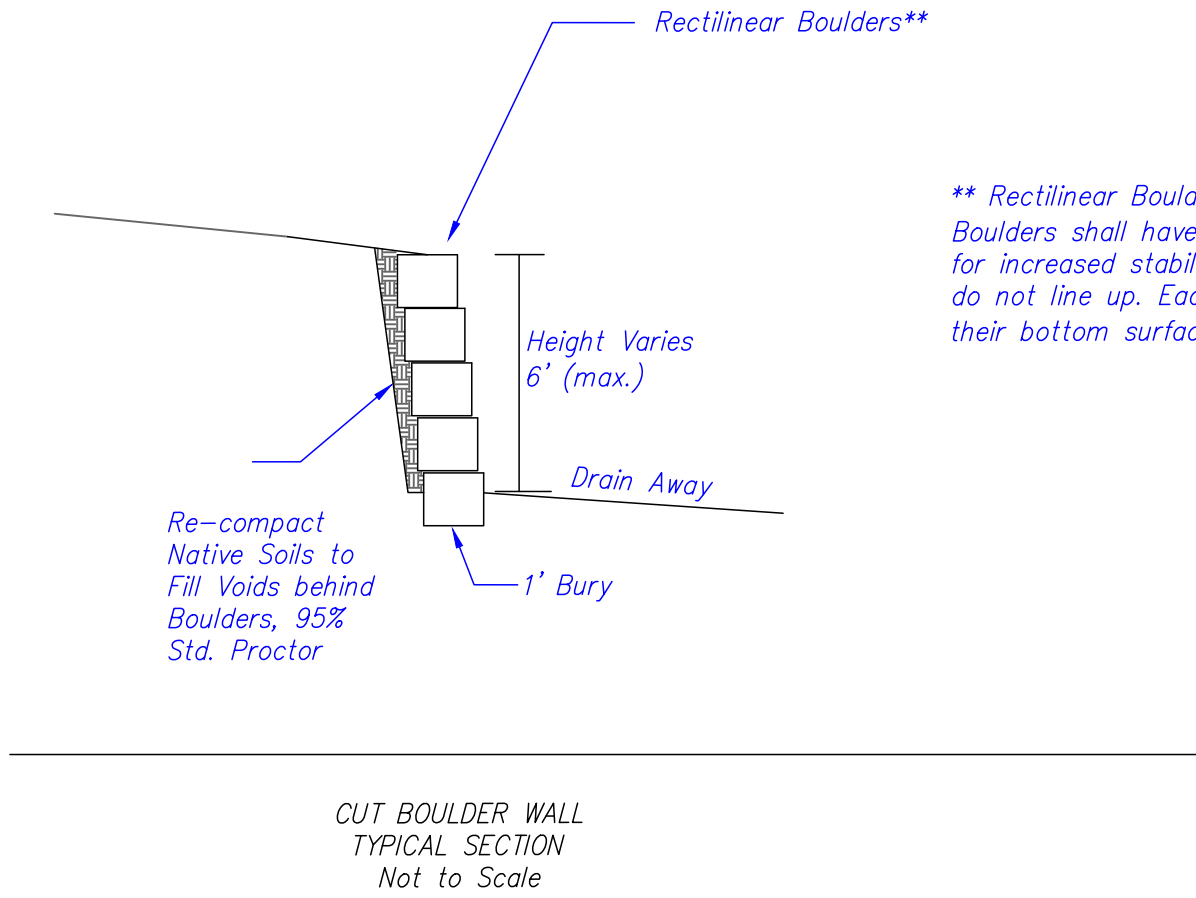
22. ALL DISTURBED GROUND SHALL BE RE-SEEDDED WITH A TOWN-APPROVED SEED MIX. REFER TO THE LANDSCAPE PLAN.

23. THE CONTRACTOR IS REQUIRED TO PROTECT ALL EXISTING SURVEY MONUMENTS AND PROPERTY CORNERS DURING GRADING AND CONSTRUCTION.

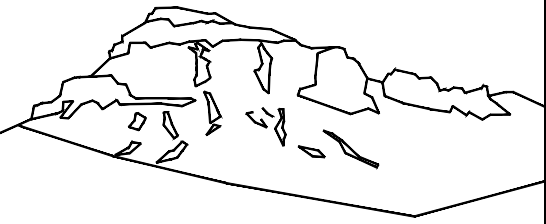
24. ALL UNDERGROUND PIPE SHALL BE PROTECTED WITH BEDDING TO PROTECT THE PIPE FROM BEING DAMAGED.

25. HOT TUBS SHALL DRAIN TO THE SANITARY SEWER (OR PUMPED TO AA CLEAN-OUT).

26. THE UTILITY PLAN DEPICTS FINAL UTILITY LOCATIONS BUT HAS BEEN COMPLETED AT A PRELIMINARY STAGE. CONTRACTOR SHALL VERIFY ALIGNMENTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.



**** Rectilinear Boulders (Flat)** to provide stable bearing for all courses. Boulders shall have a Nominal Depth of 16" and be deeper than they are tall for increased stability. Stagger the Courses so that the ends of the boulders do not line up. Each course shall step back, but shall bear at least 80% of their bottom surface on the course below (typically 2"-3" per course).



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:

SUBMITTAL 2025-05-28

Stonegate Lot 3

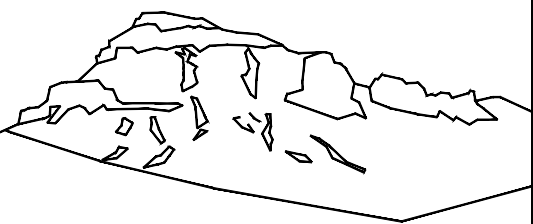
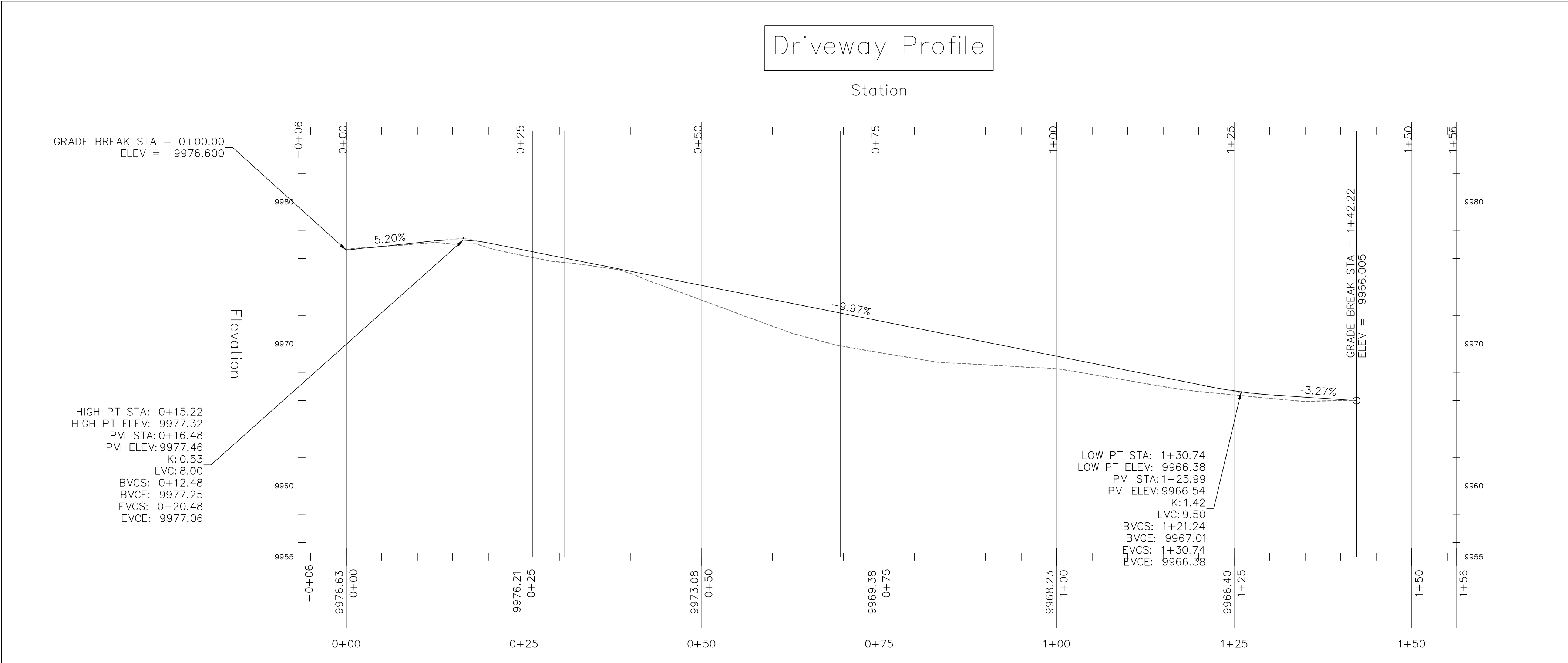
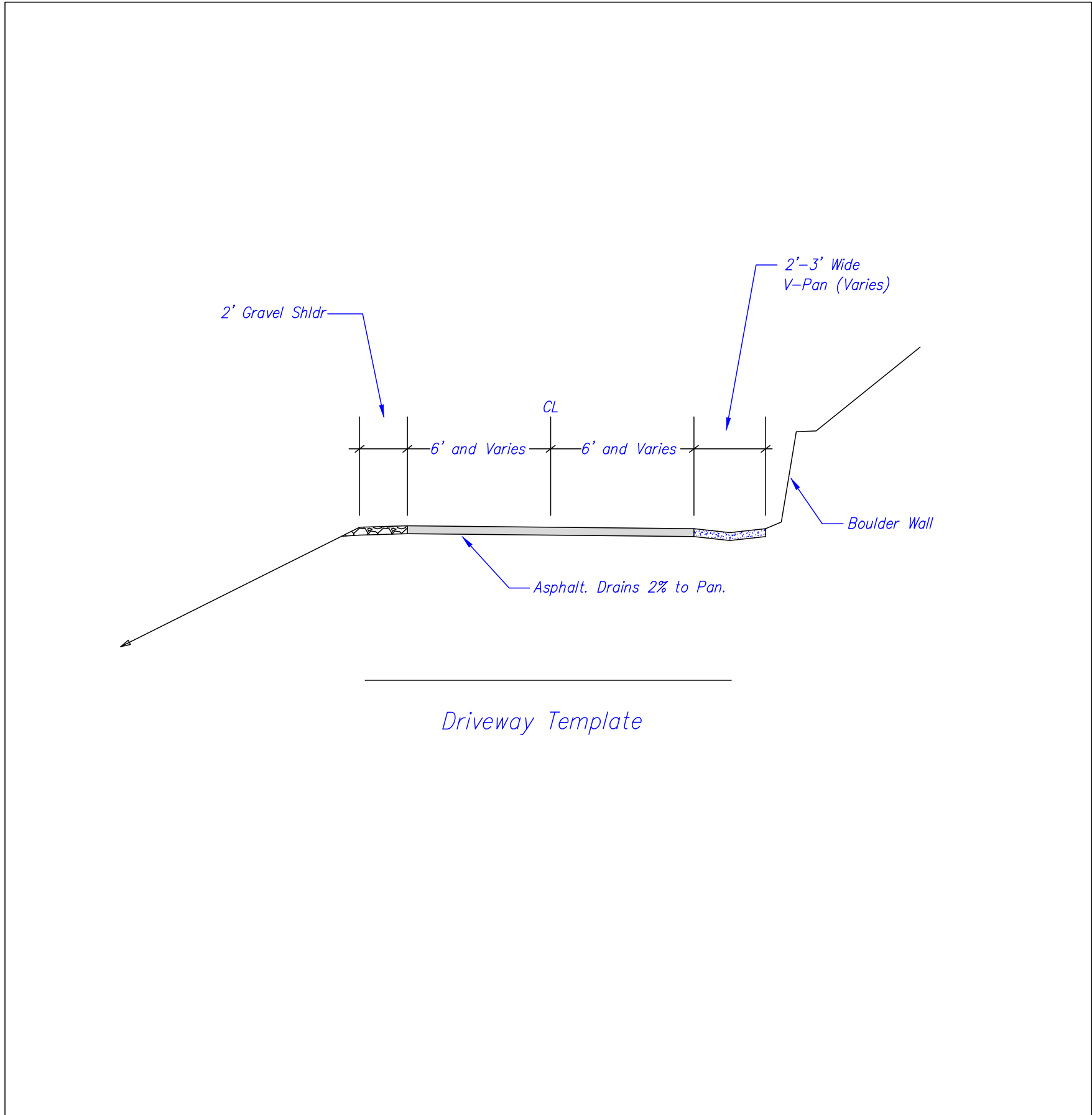
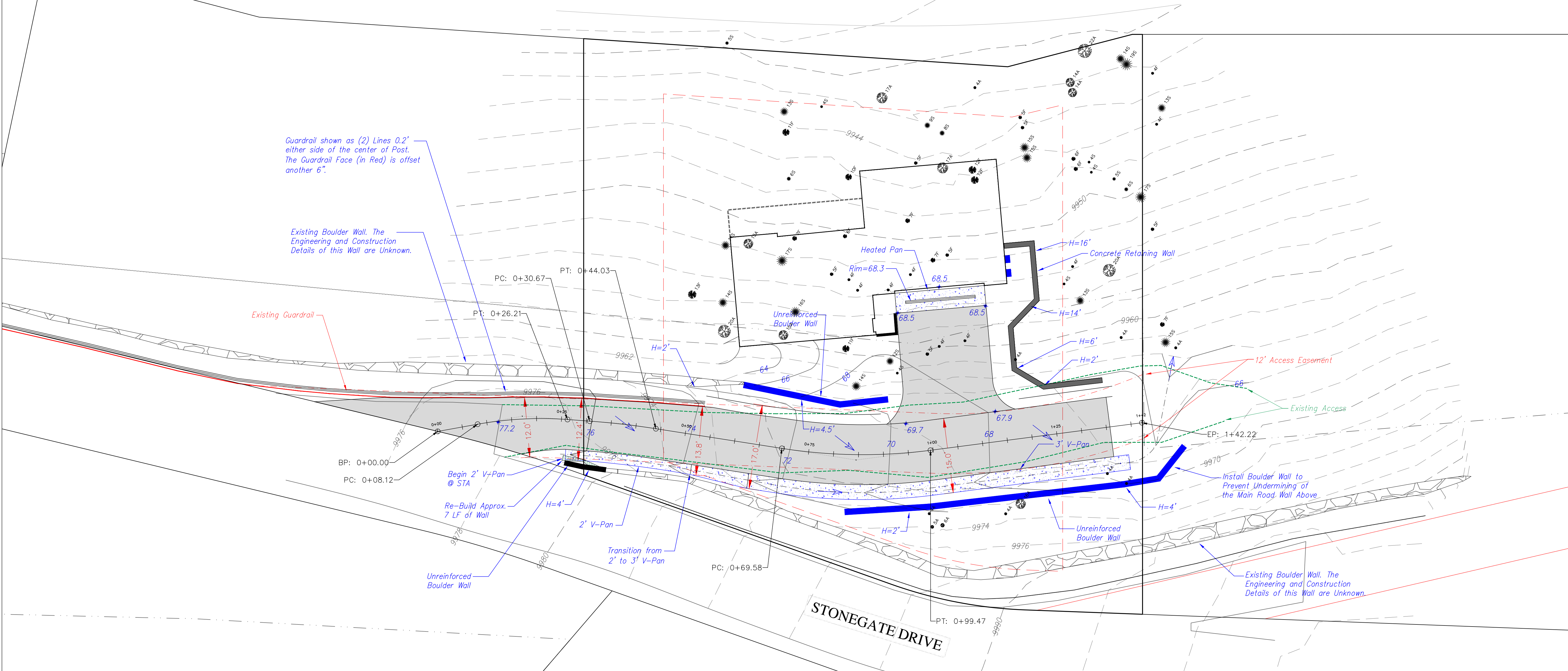
Mtn. Village, CO



CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Notes

C1



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2025-05-28

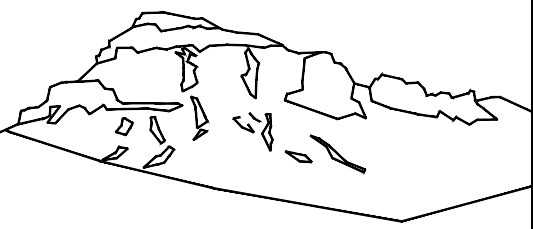
Stonegate Lot 3
Mtn. Village, CO



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ARCHITECT PRIOR TO ANY FIELD WORK BEING
DONE IN ACCORDANCE WITH AIA DOCUMENT A201

Site Plan
with
Driveway
Profile

C2.1



Uncompahgre
Engineering, LLC

P.O. Box 3945
Telluride, CO 81435
970-729-0683

SUBMISSIONS:
SUBMITTAL 2025-05-28

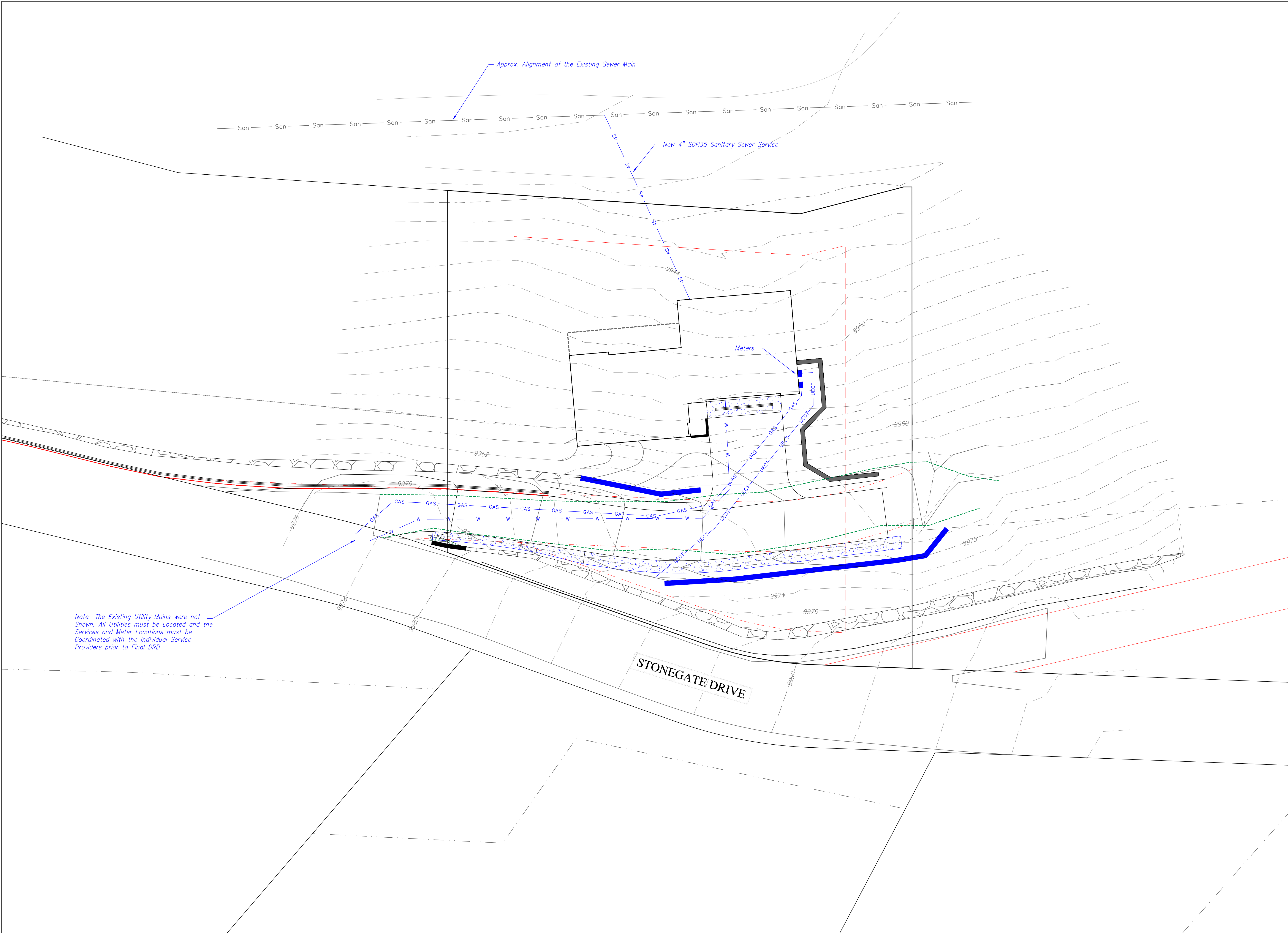
Stonegate Lot 3
Mtn. Village, CO

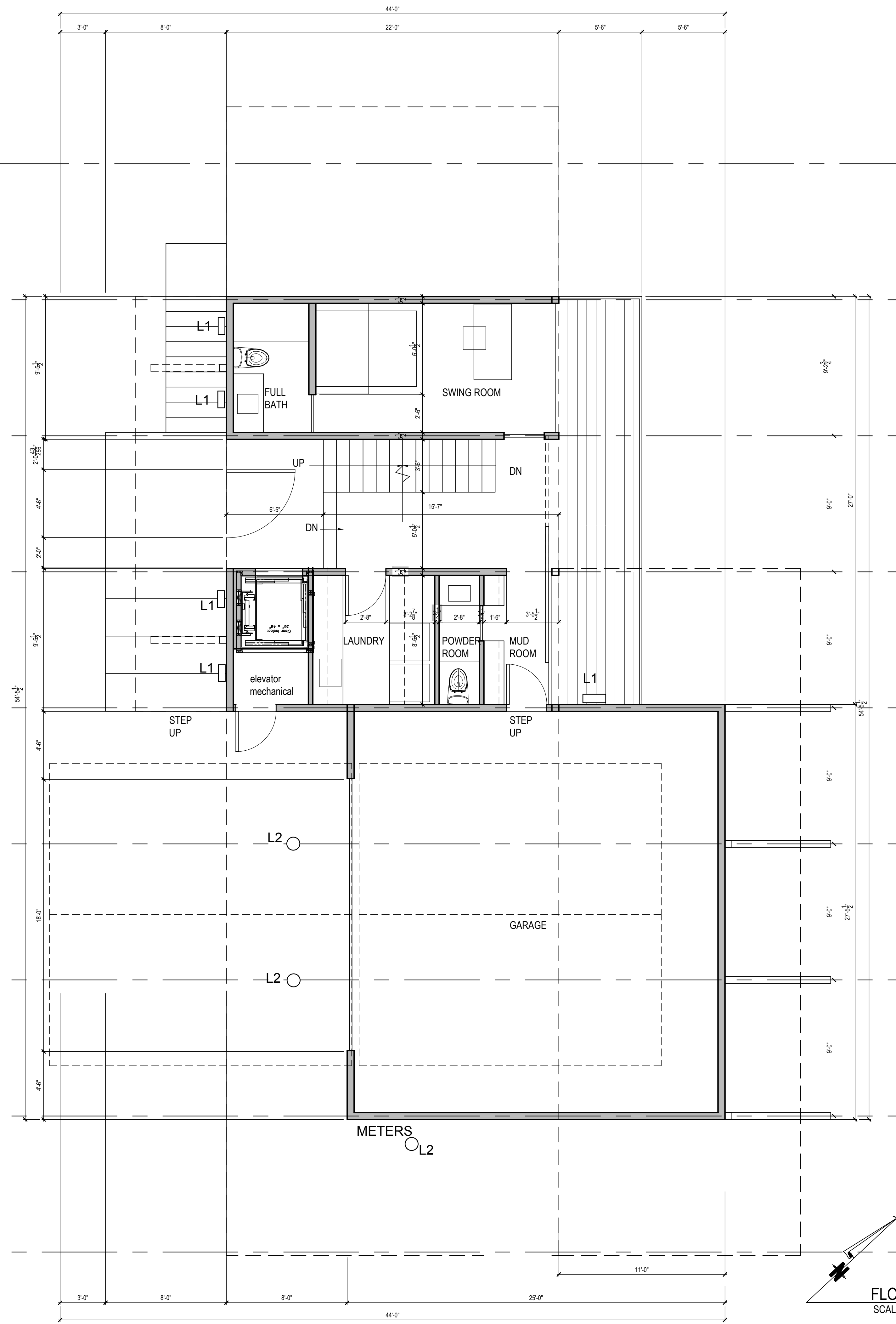
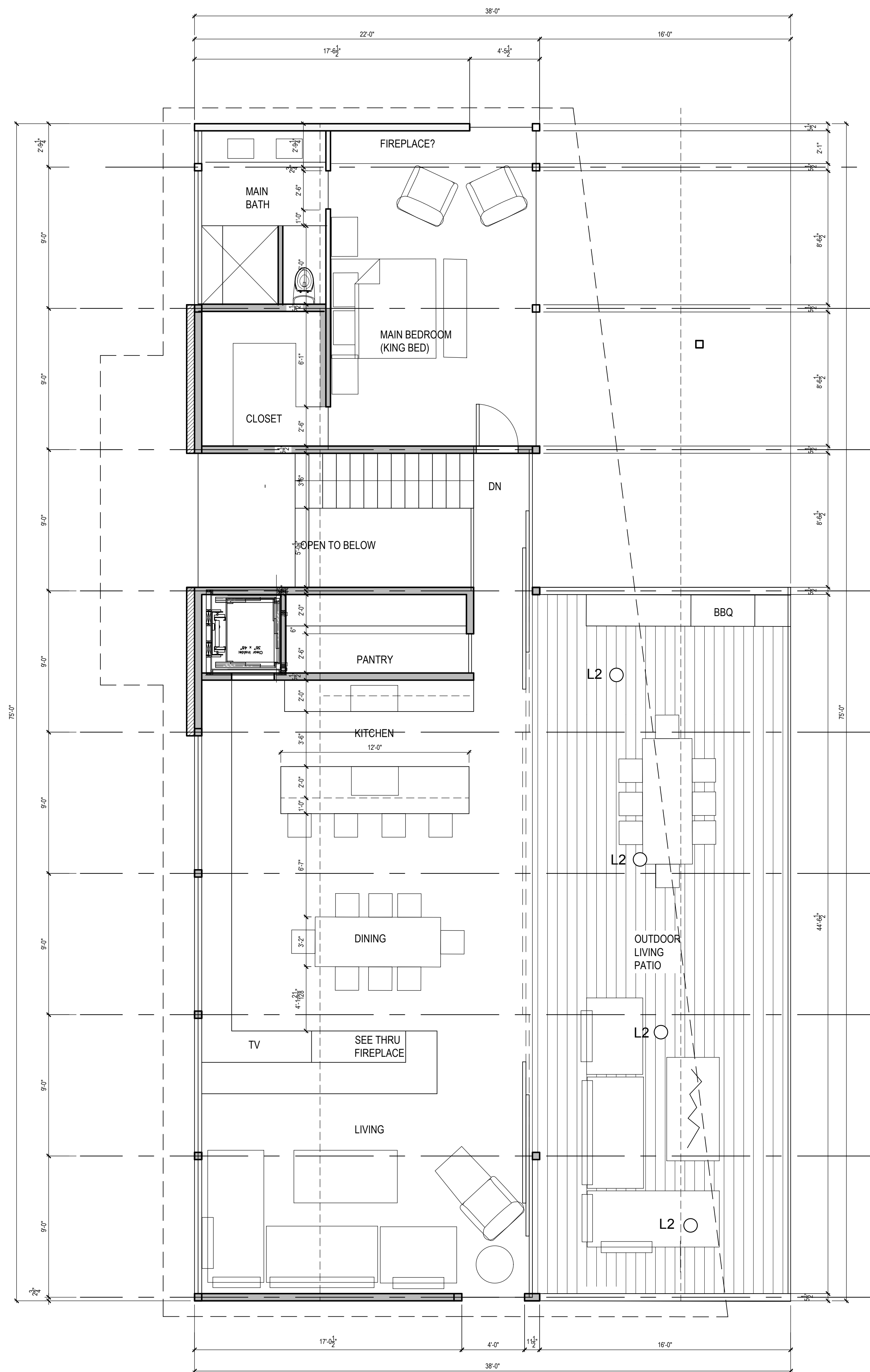


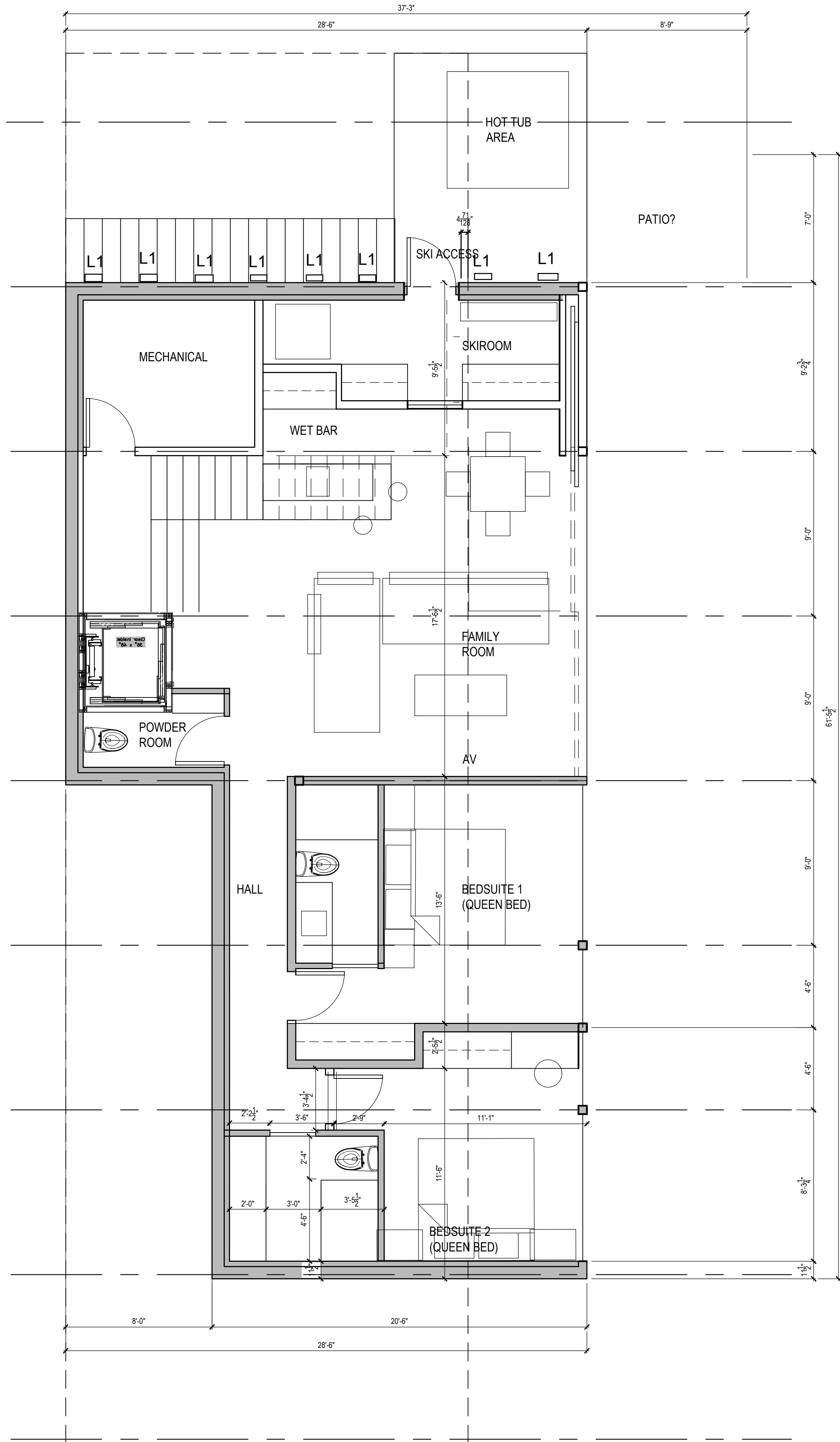
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Utilities

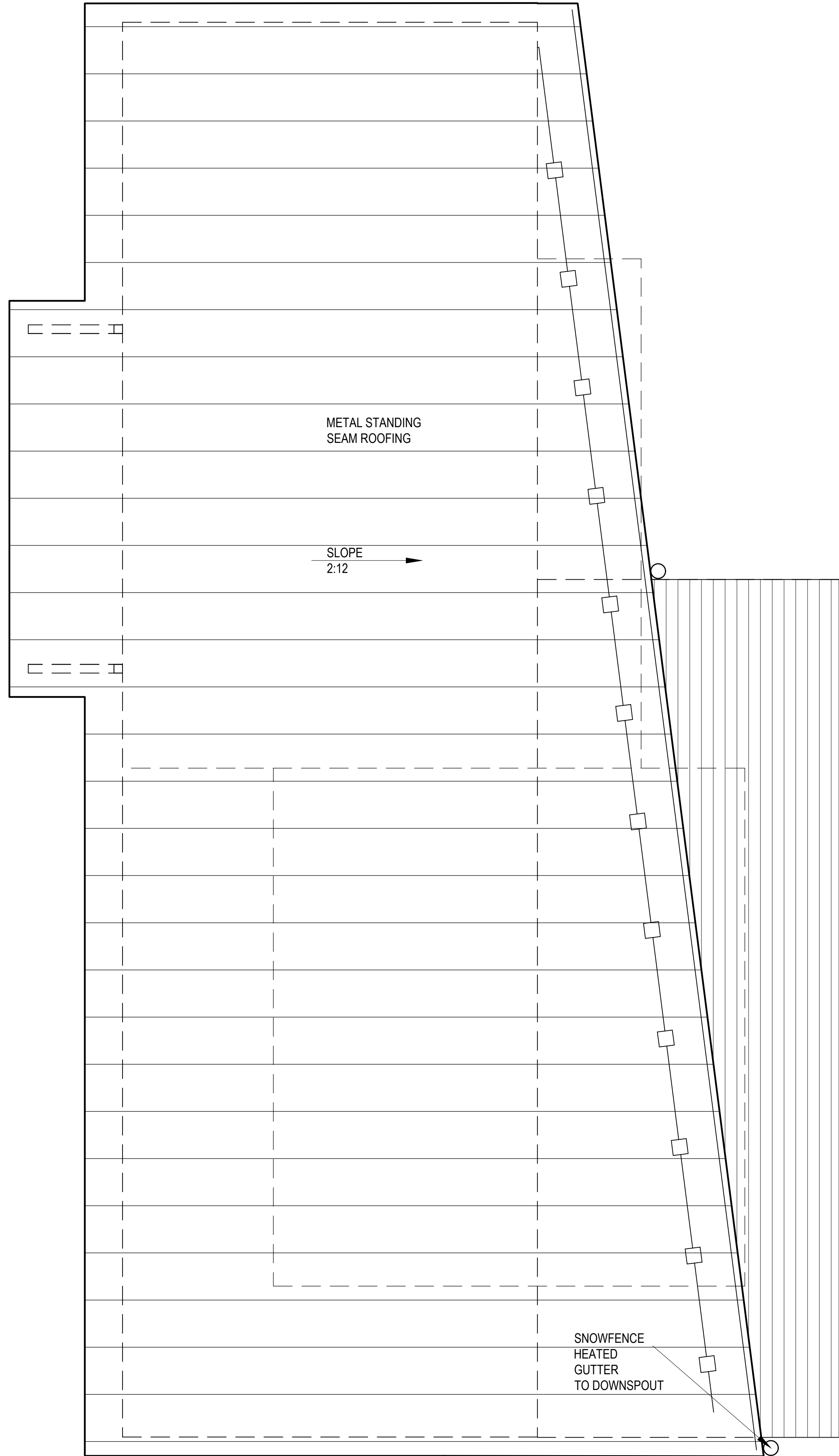
C3



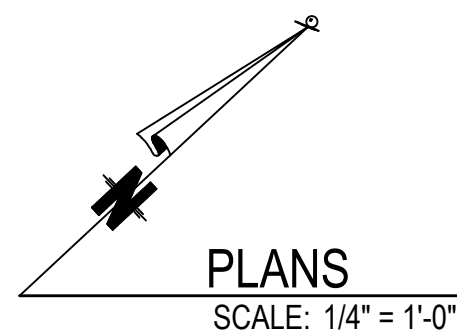


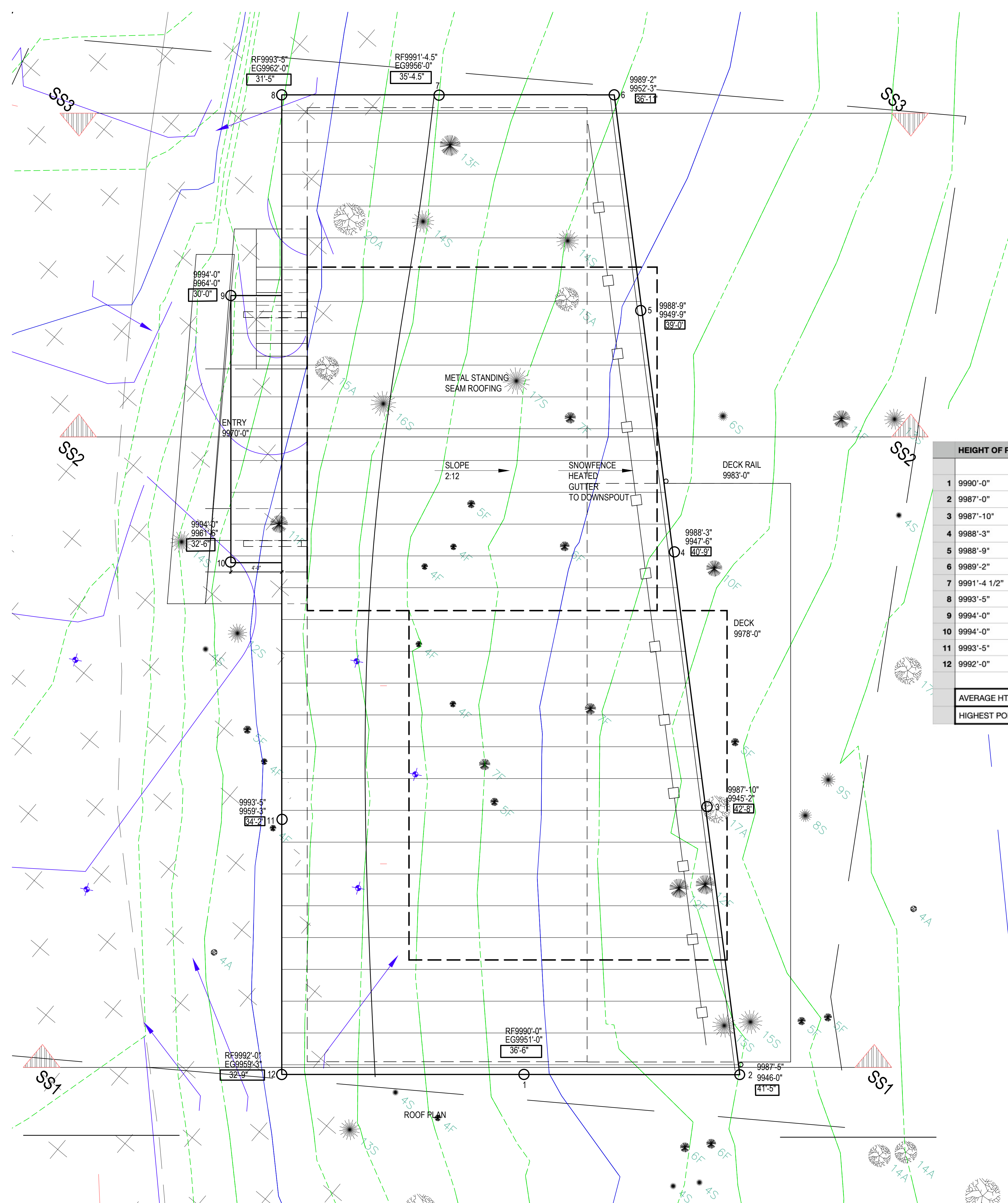


LOWER LEVEL
LIVING 1235sf
MECHANICAL 100sf
TOTAL GROSS 1335sf



SQUARE FOOTAGE TOTALS
LIVING 3265sf
MECHANICAL 786sf
TOTAL GROSS 4051sf





HEIGHT CALCULATION

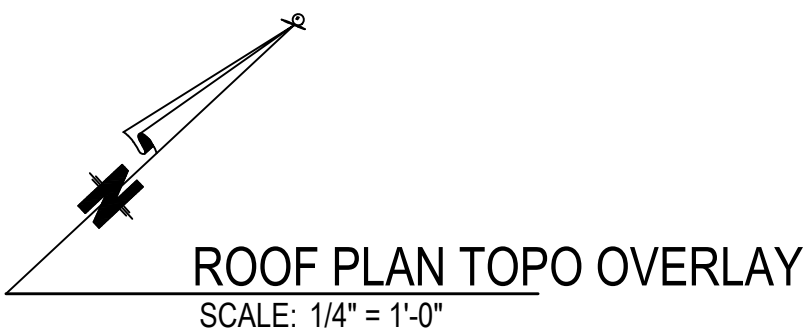
	HEIGHT OF ROOF	EXISTING GRADE	HEIGHT E.G.	FINISHED GRADE	HEIGHT F.G.
1	9990'-0"	9951'-0"	36'-6"	9951'-6"	36'-0"
2	9987'-0"	9946'-0"	41'-5"	9951'-0"	36'-0"
3	9987'-10"	9945'-2"	42'-8"	9950'-2"	37'-8"
4	9988'-3"	9947'-6"	40'-9"	9951'-9"	36'-6"
5	9988'-9"	9949'-9"	39'-0"	9954'-6"	34'-3"
6	9989'-2"	9952'-3"	36'-11"	9955'-0"	35'-11"
7	9991'-4 1/2"	9956'-6"	34'-10 1/2"	9956'-0"	35'-4 1/2"
8	9993'-5"	9962'-0"	31'-5"	9963'-0"	30'-5"
9	9994'-0"	9964'-0"	30'-0"	9966'-0"	28'-0"
10	9994'-0"	9961'-6"	32'-6"	9970'-0"	24'-0"
11	9993'-5"	9959'-3"	34'-2"	9968'-6"	24'-11"
12	9992'-0"	9959'-3"	32'-9"	9968'-6"	23'-6"
	AVERAGE HT.	433'-5.5"	/12	36'-1 1/2"	
	HIGHEST POINT	42'-8"			

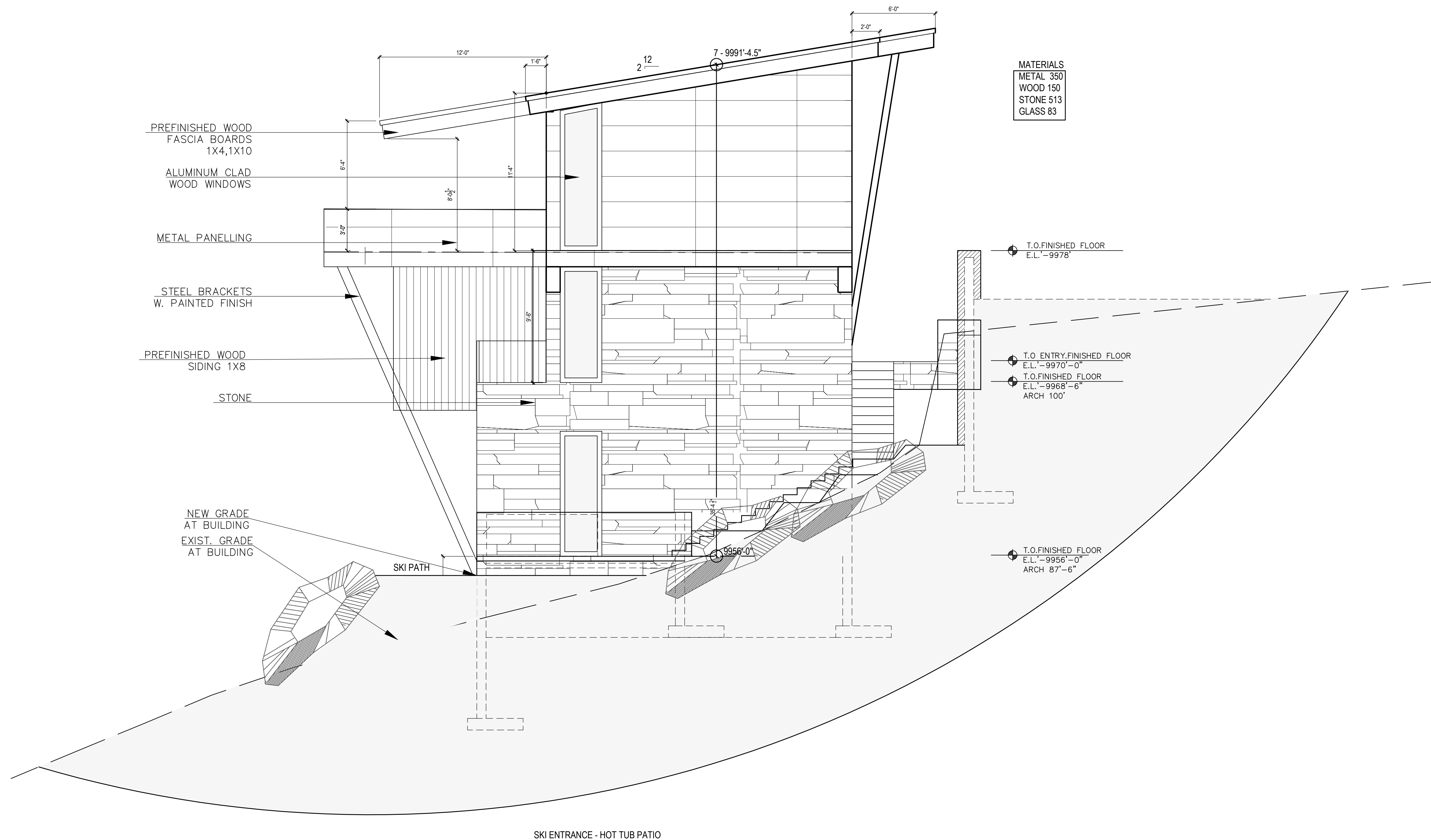
MAX HEIGHT 42'-8"

AVE HEIGHT 36 1 1/2"
1-12 TOTAL 433'-5 1/2" / 12

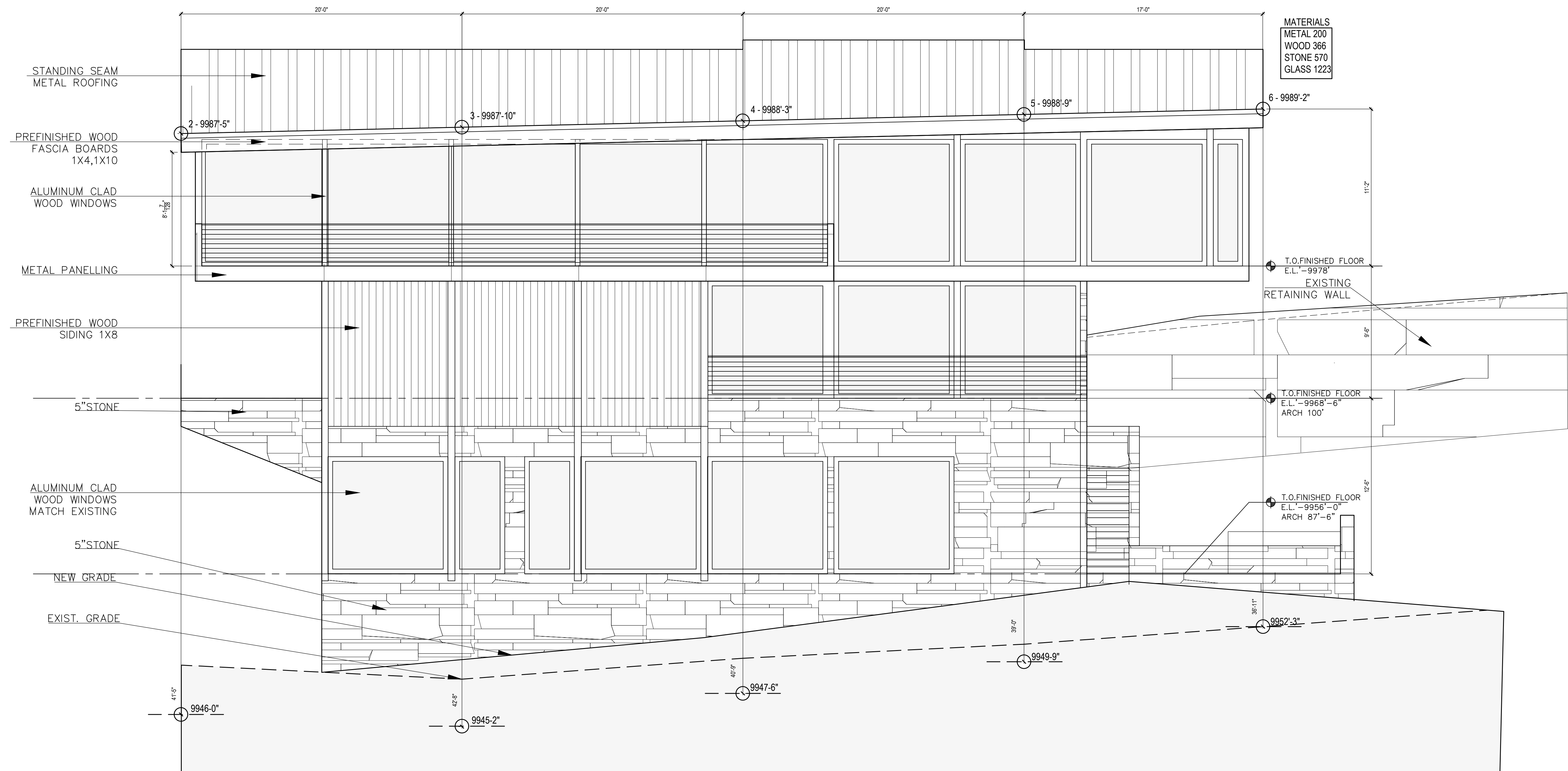
BOTH HEIGHTS ARE ABOVE
MAXIMUM ALLOWABLE
WE HAVE ATTENDED A
WORKSESSION TO ASSESS
WHETHER OR NOT THIS IS
ACCEPTABLE DUE TO THE
SITE CONSTRAINTS,
WE WERE ENCOURAGED
TO PURSUE A VARIANCE.

SEE SITE SECTIONS SS1-3
ON A4.1-4.3

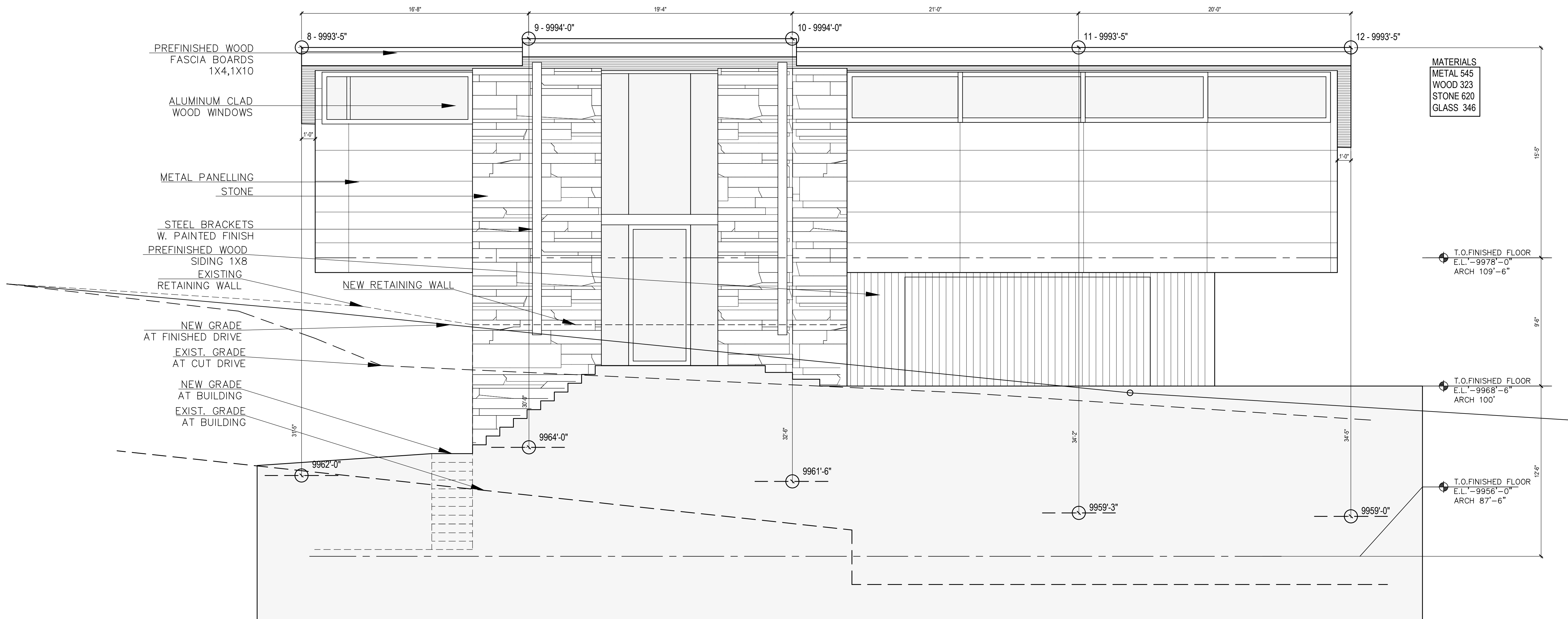




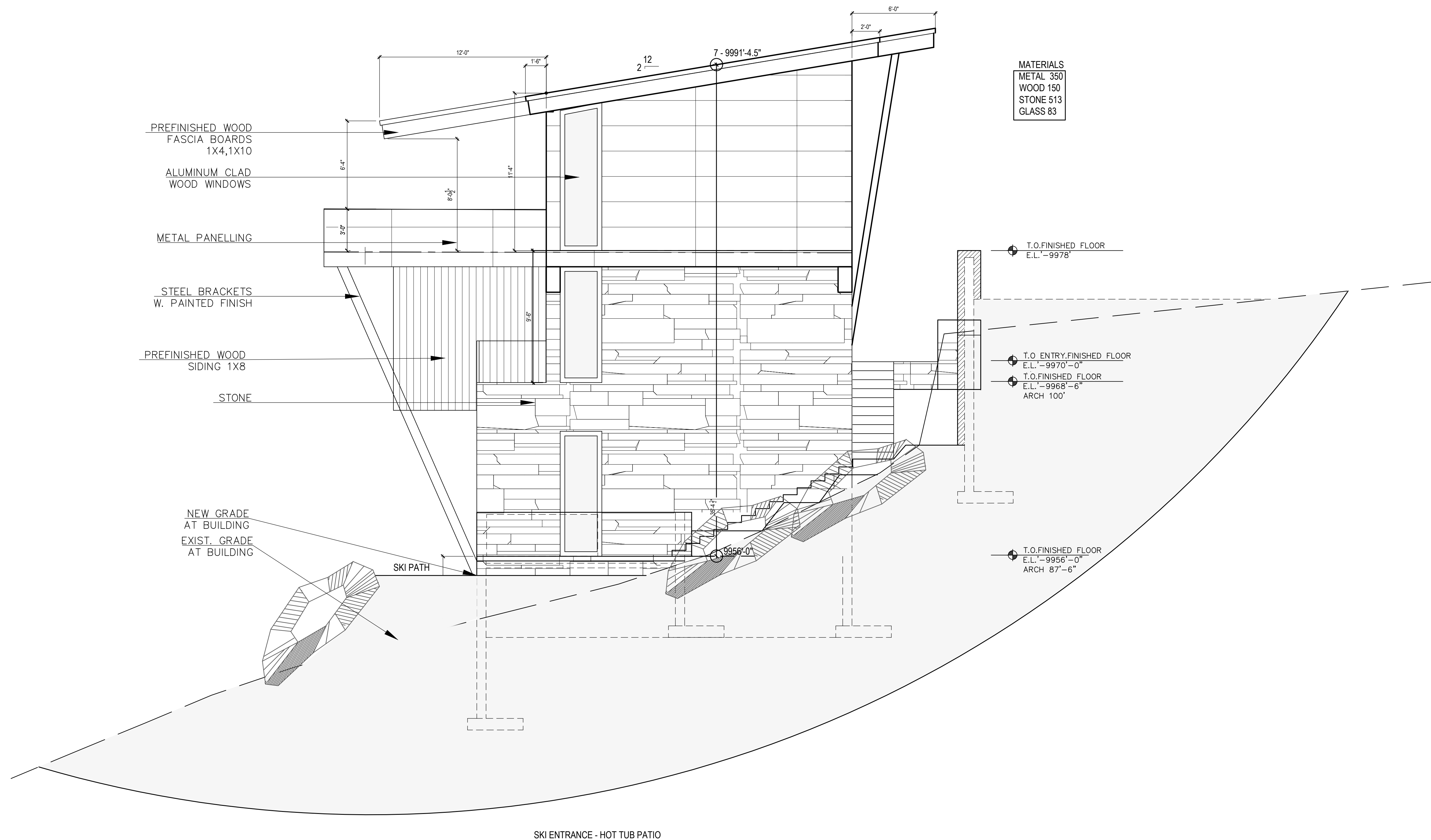
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



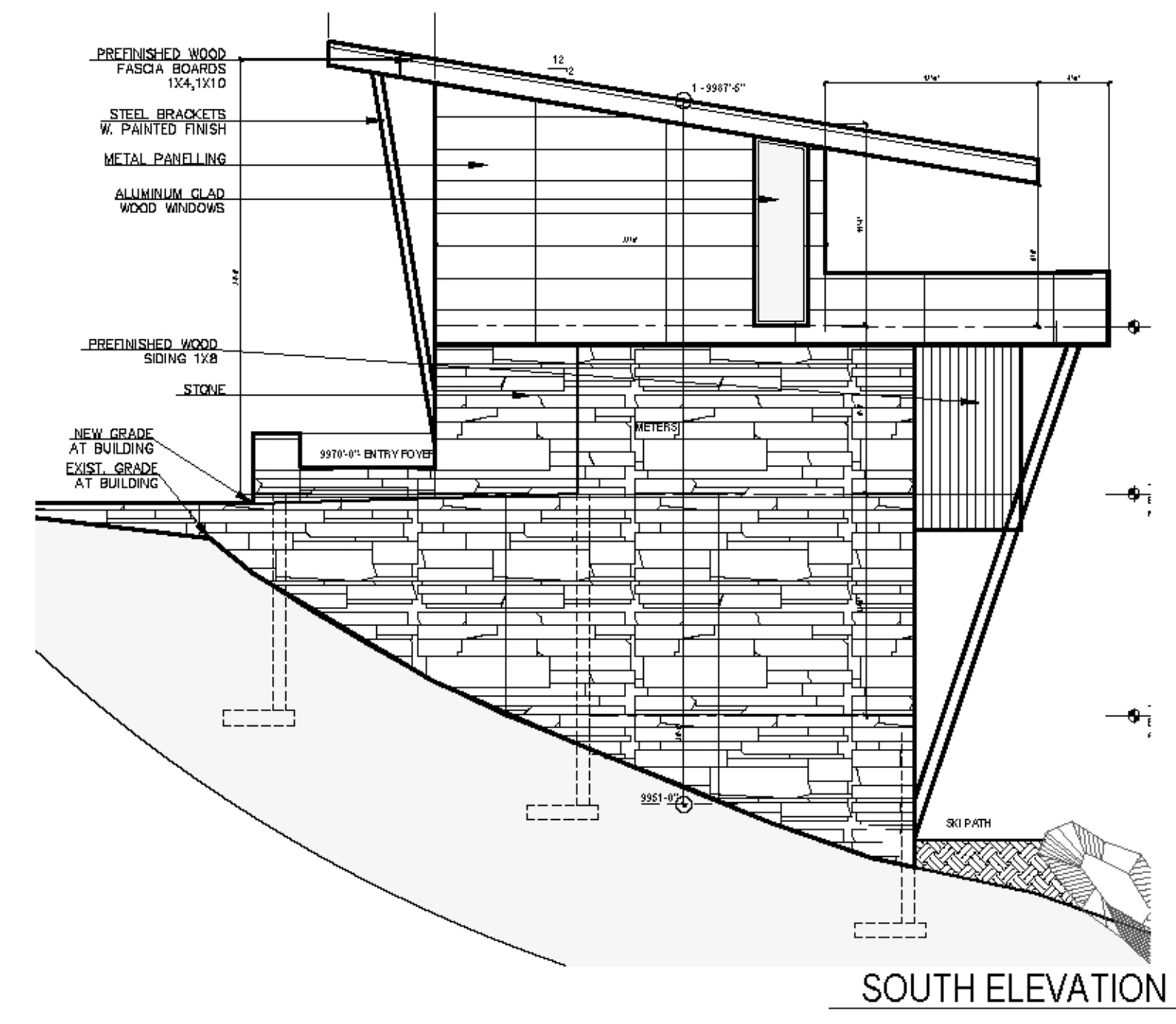
EAST ELEVATION
SCALE: 1/4" = 1'-0"



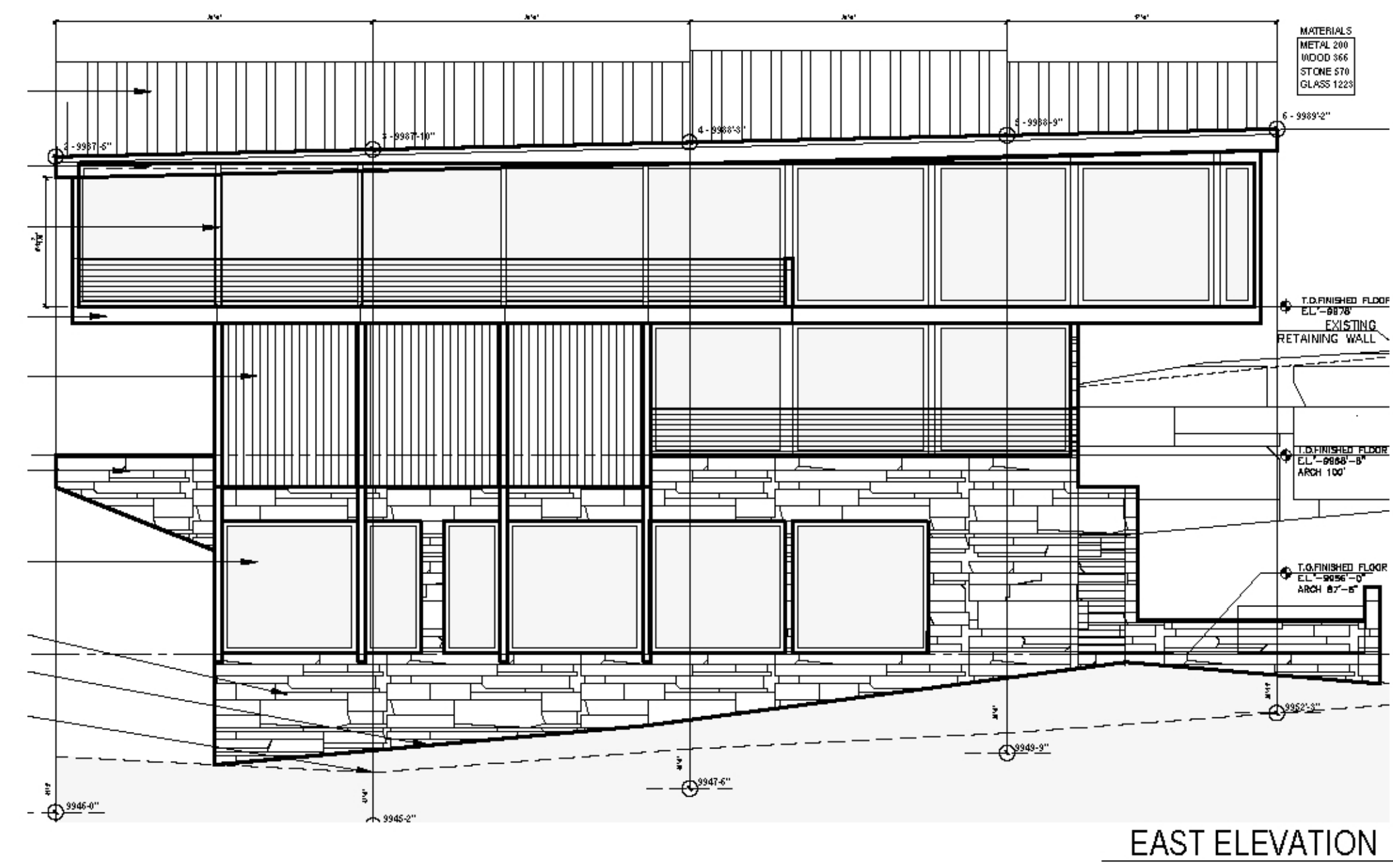
WEST ELEVATION
SCALE: 1/4" = 1'-0"



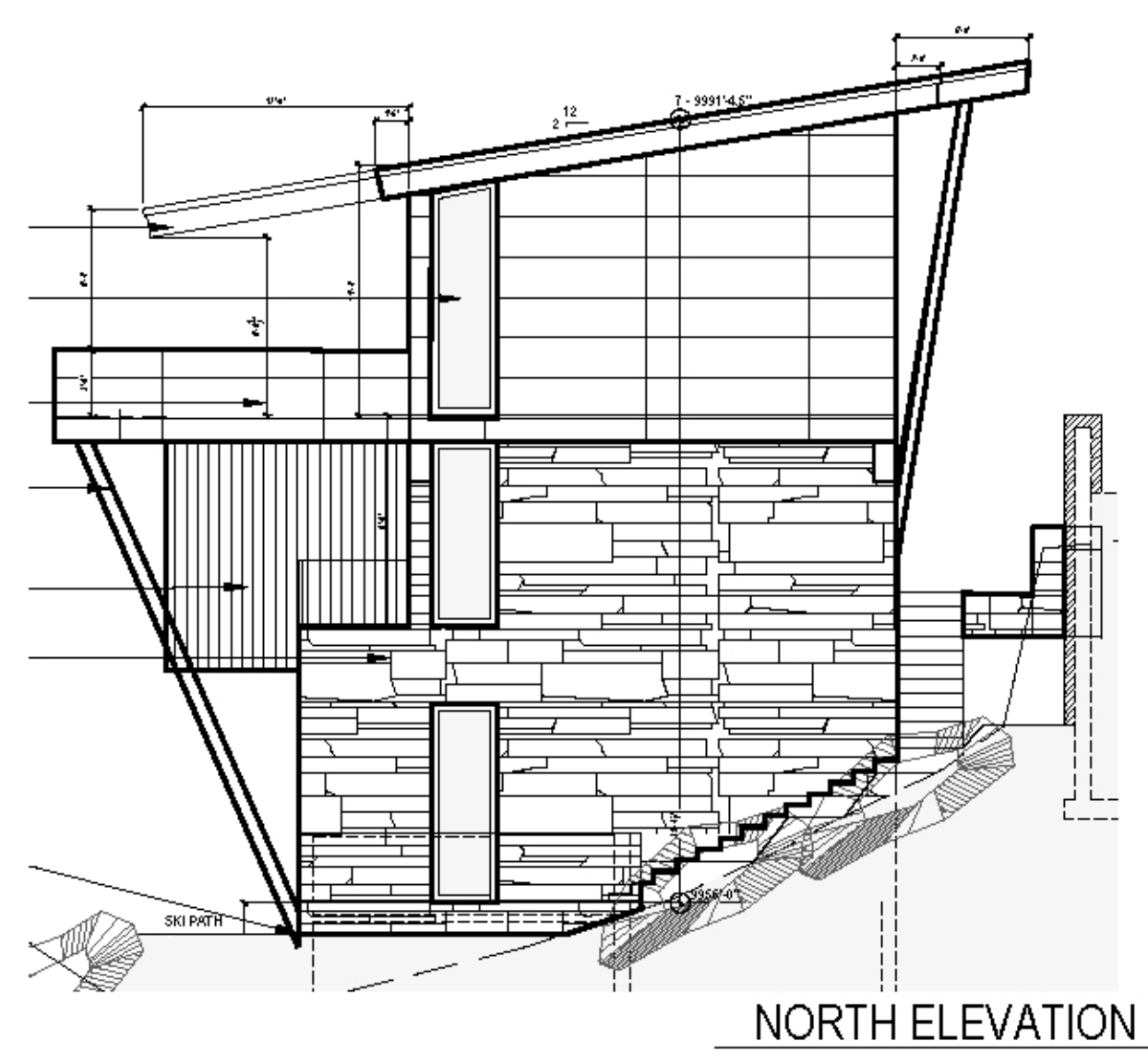
NORTH ELEVATION
SCALE: 1/4" = 1'-0"

[illegible][illegible]

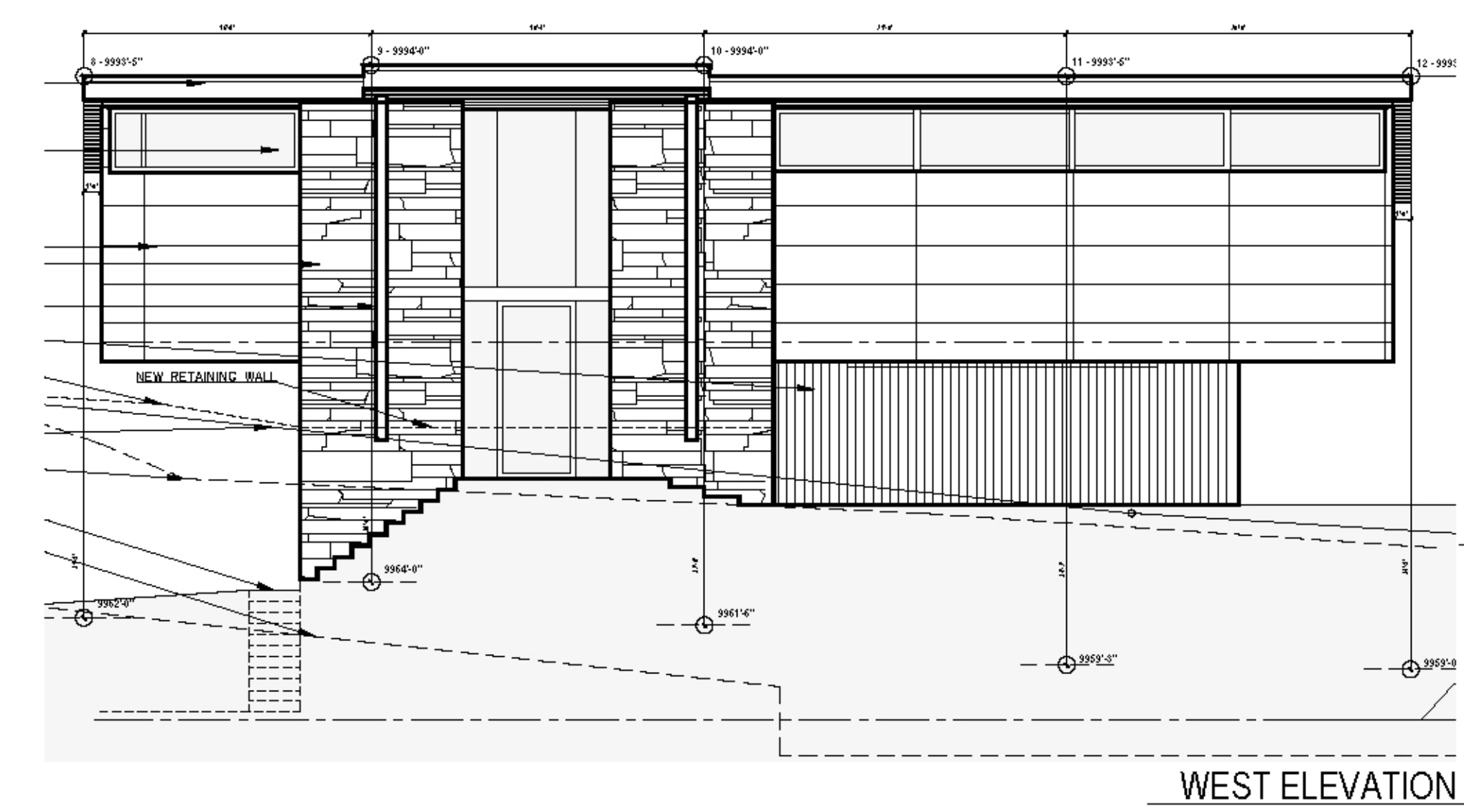
MATERIALS	
METAL	350
WOOD	113
STONE	783
GLASS	31



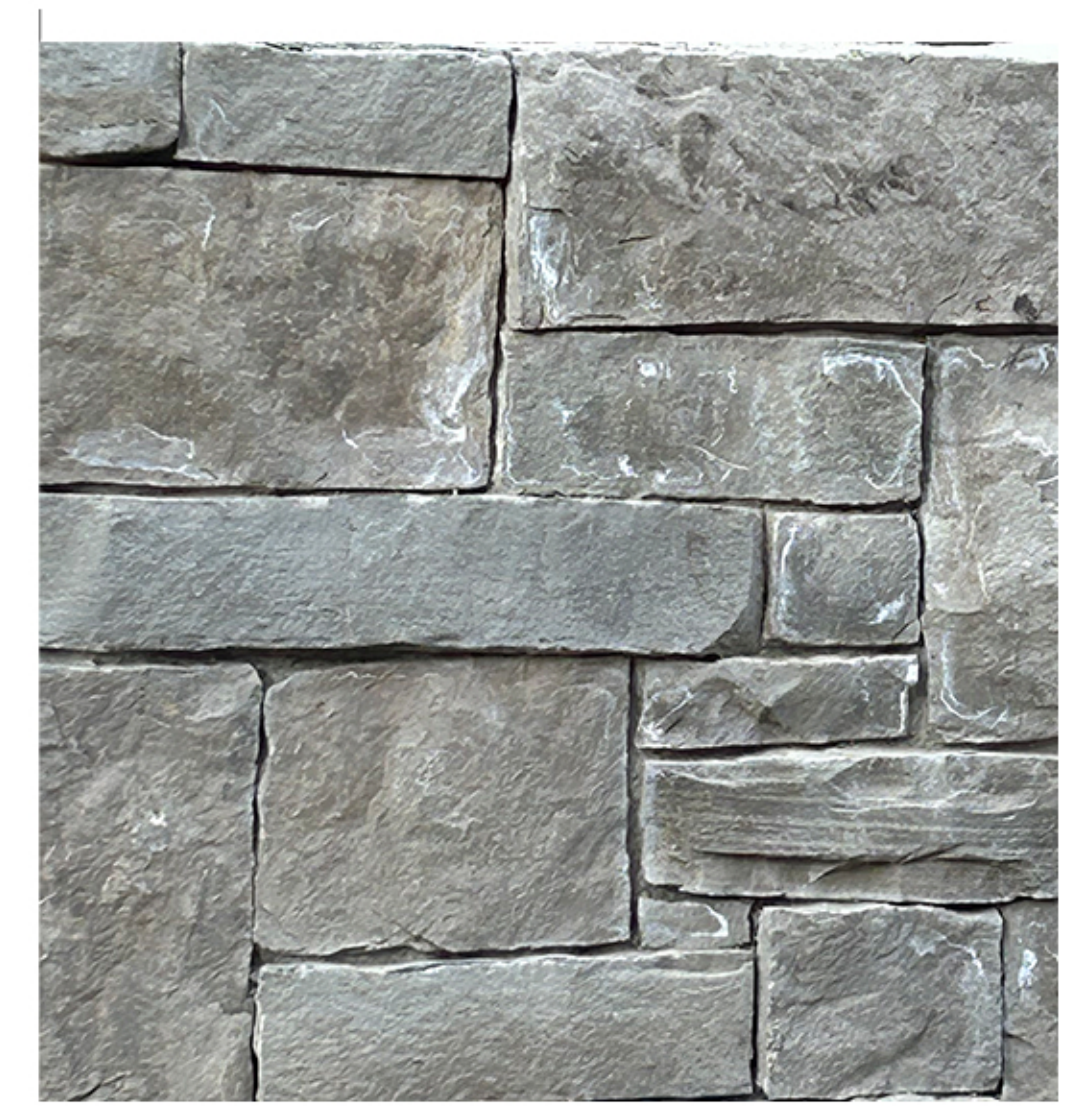
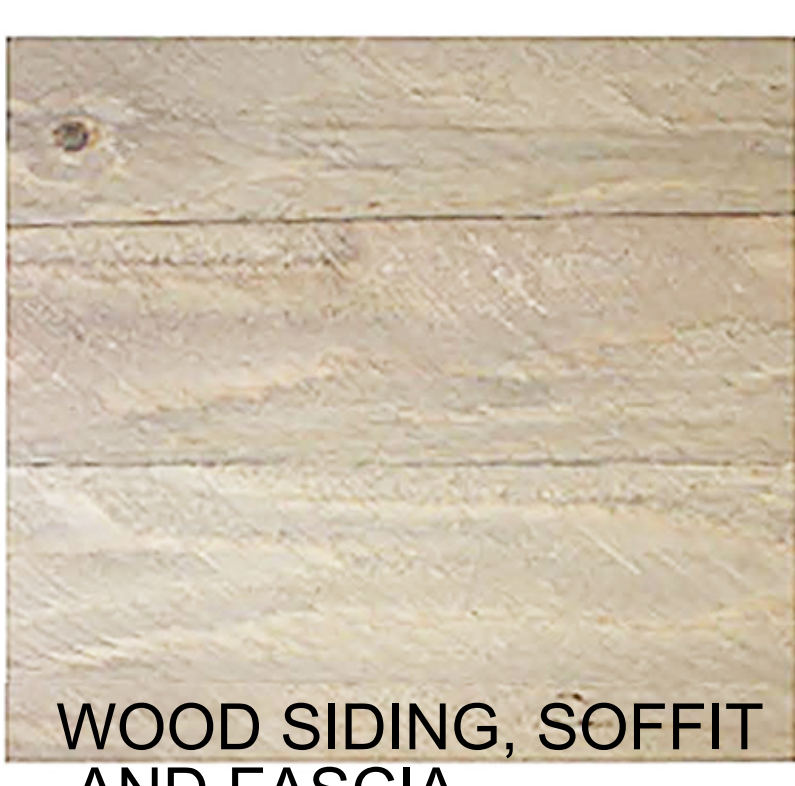
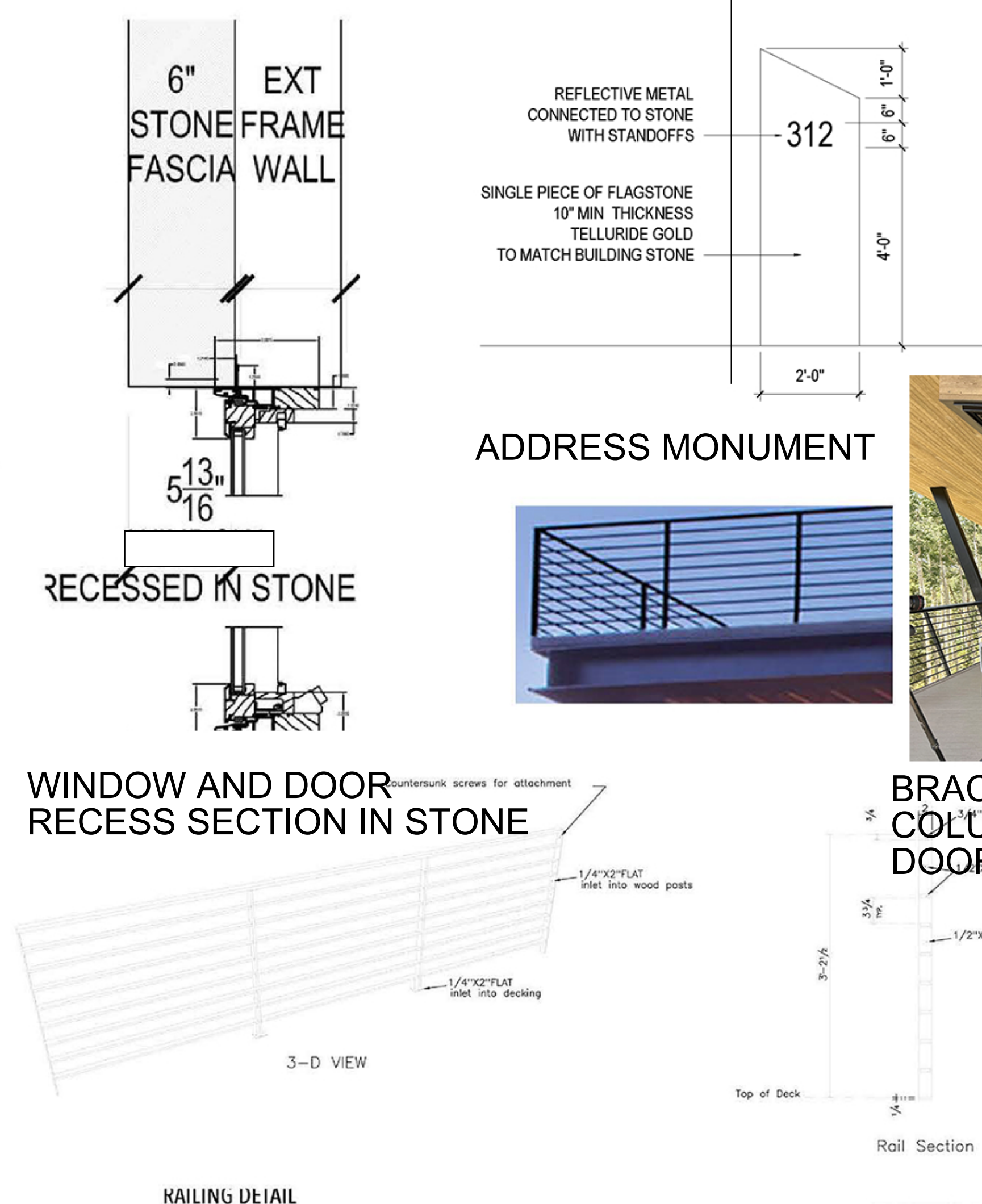
MATERIALS	
METAL	200
WOOD	366
STONE	570
GLASS	1223



MATERIALS	
METAL	350
WOOD	150
STONE	513
GLASS	83



MATERIALS
METAL 545
WOOD 323
STONE 620
GLASS 346



METAL PANELING

VERTICAL WOOD SIDING

STONE

MATERIAL TOTALS		
METAL	1445	23%
WOOD	952	14%
STONE	2486	37%
GLASS	1683	26%
TOTAL	6566	100%

MATERIALS- DETAILS

L E A S I S O N A R C H I T E C T									
2008 CENTRUM BLDG. MOUNTAIN VILLAGE : P.O. BOX 4471 ASPEN, CO 81612 TEL: (970) 706-1561 EMAIL: LEASISSONARCHITECT@ICLOUD.COM									
SUBMISSIONS 3.0.2025 - SDI REVIEW 4.15.2025 - MWDRB WORKSESSION 5.30.2025 - SKETCH DRB - TOWN COUNCIL									
HUGHES TELLURIDE RESIDENCE									
LOT 166AR2-3 STONEGATE, MOUNTAIN VILLAGE, CO. 81435									

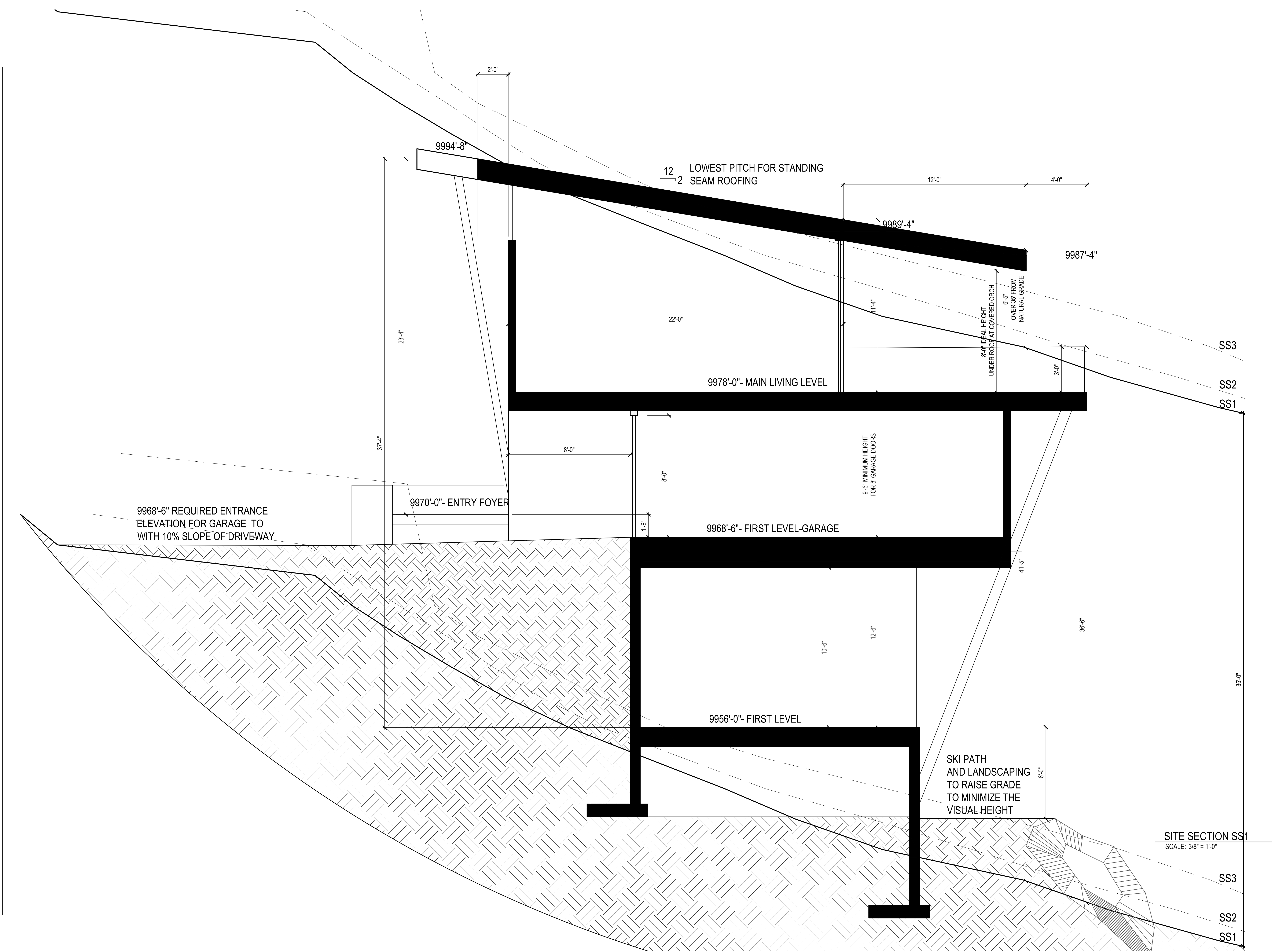


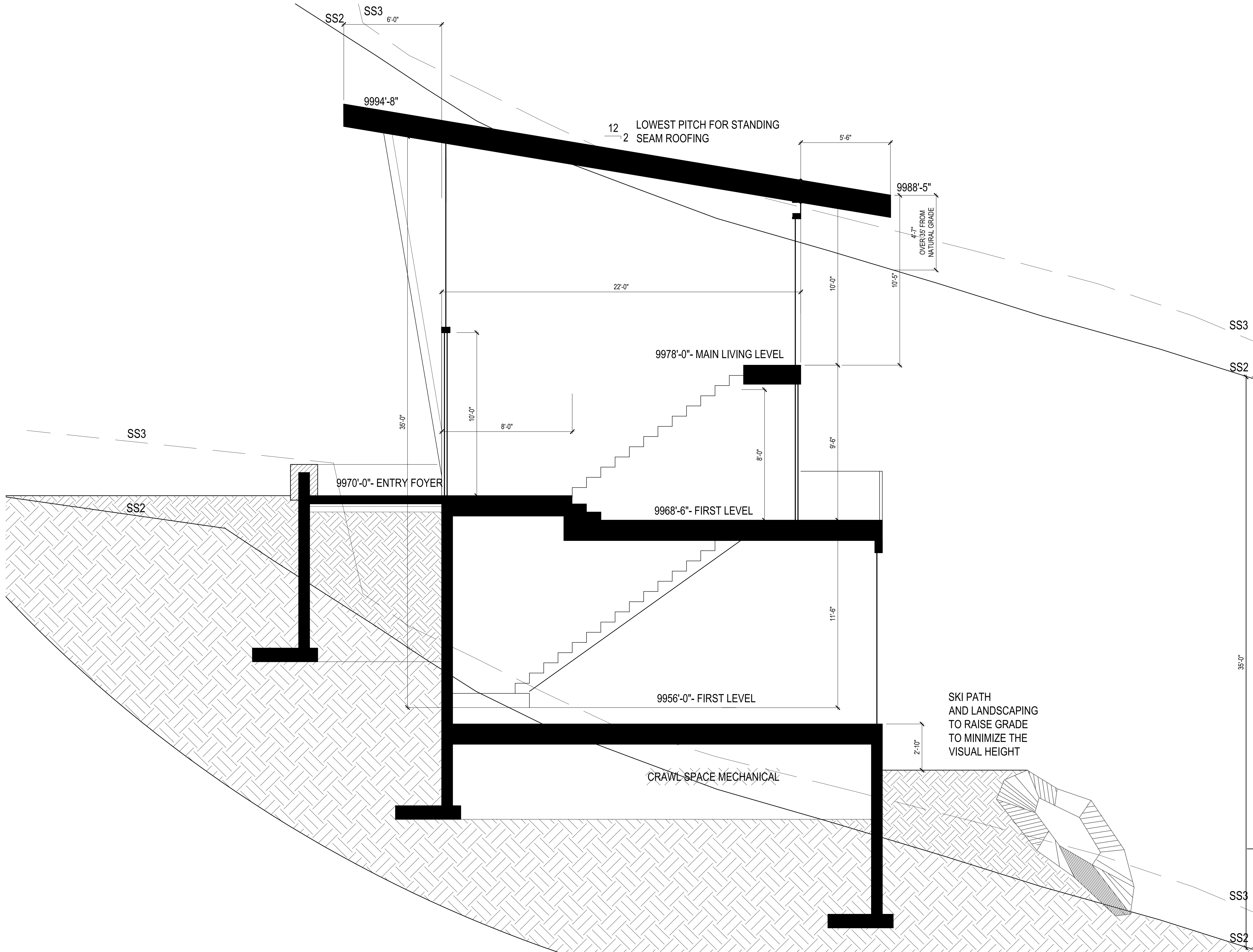
LEASISSONARCHITECT
200B CENTRUM BLDG. MOUNTAIN VILLAGE, P.O. BOX 4471 ASPEN, CO 81612 TEL: (970) 706-1561 EMAIL: LEASISSONARCHITECT@ICLOUD.COM
SUBMISSIONS 1.30.2025 - 30.1 REVIEW 4.15.2025 - MIDREB WORKSESSION 5.30.2025 - SKETCH DEB - TOWN COUNCIL

HUGHES TELLURIDE RESIDENCE

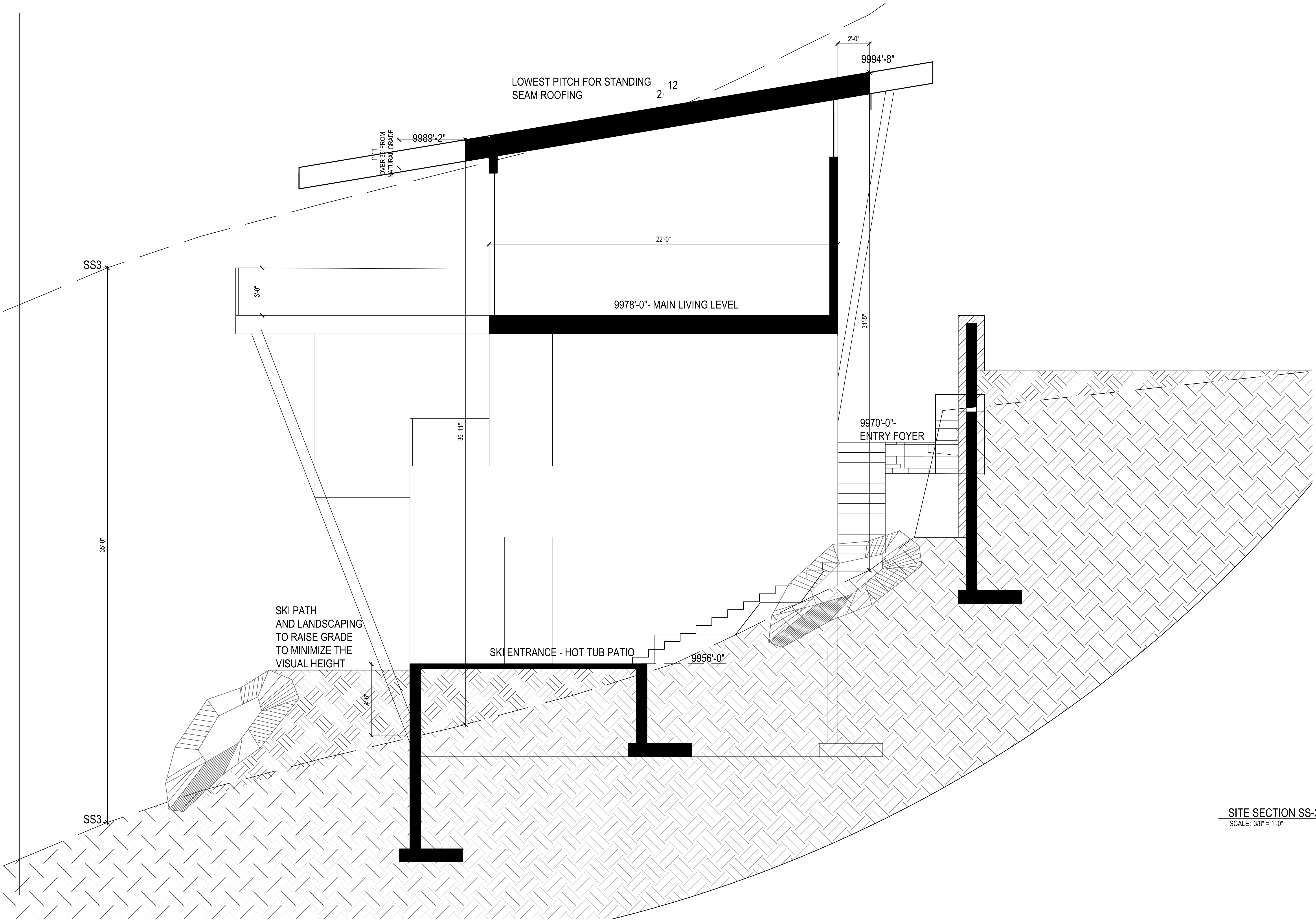
LOT 166AR.2-3 STONEGATE, MOUNTAIN VILLAGE, CO. 81435

A36





SITE SECTION SS2
SCALE: 3/8" = 1'-0"



SITE SECTION SS-3
SCALE: 3/8" = 1'-0"